

#### **KETCHUM URBAN RENWAL AGENCY**

Tuesday, January 21, 2025 at 2:00 PM 191 5th Street West, Ketchum, Idaho 83340

#### **AGENDA**

#### PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

We welcome you to watch Council Meetings via live stream.

You will find this option on our website at <a href="https://www.ketchumura.org/kura/meetings">https://www.ketchumura.org/kura/meetings</a>.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

Join us via Zoom (please mute your device until called upon).

Join the Webinar: https://ketchumidaho-org.zoom.us/j/82893804319

Webinar ID: 828 9380 4319

Join us at City Hall.

Submit your comments in writing at <a href="mailto:info@ketchumura.org">info@ketchumura.org</a> (by noon the day of the meeting).

This agenda is subject to revisions. All revisions will be underlined.

#### CALL TO ORDER:

**ROLL CALL:** 

#### COMMUNICATIONS FROM THE BOARD OF COMMISSIONERS:

CONSENT CALENDAR: (ALL ACTION ITEMS)

1. ACTION ITEM: Approval of KURA Bills

2. ACTION ITEM: Approval of November 18, 2024 Minutes and December 16, 2024 Minutes

#### **ACTION ITEMS:**

3. ACTION ITEM: Request from Corey Street Mass LLC, for a Reimbursement Agreement for Public Improvements Located at 380 N First Avenue



4. ACTION ITEM: Recommendation to Provide Direction on First + Washington Design Review Plans and Amendment to the Development and Disposition Agreement Project Schedule

#### **ADJOURNMENT:**

#### Report Criteria:

Invoices with totals above \$0 included.

Paid and unpaid invoices included.

[Report].GL Account Number = "9610000000"-"9848009999"

Vendor Name	Invoice Number	Description	Net Invoice Amount
URBAN RENEWAL AGENCY URBAN RENEWAL EXPENDITURE	S		
08-4410-4200 PROFESSIONAL SER	VICES		
KETCHUM COMPUTERS, INC.	20789	Monthly Workstation Maintenance	49.50
KETCHUM COMPUTERS, INC.	20837	Monthly Workstation Maintenance	49.50
SUN VALLEY ECONOMIC DEVEL	1635	KURA QRTLY CONTRACT FOR SERVICES	2,250.00
ELAM & BURKE	212016	1ST & WASHINGTON PROJECT 12/04-12/31	725.00
ELAM & BURKE	8962	GENERAL REPRESENTATION - 12/16 TO 12/31	493.00
08-4410-7100 INFRASTRUCTURE P	ROJECTS		
STEVE BUTLER & ASSOCIATES	6887	Geotechnical Report	10,630.00
PIVOT NORTH	5935	PROFESSIONAL SERVICES FOR CONCEPT DESIGN AND REVIEW	4,320.0
PIVOT NORTH	5966	PROFESSIONAL SERVICES FOR CONCEPT DESIGN AND REVIEW	3,280.0
DECHASE DEVELOPMENT SERV	KURA-08	DEVELOPMENT FEES	7,500.0
98-4410-8801 REIMBURSE CITY GI	ENERAL FUND		
CITY OF KETCHUM	8801	SALARIES & BENEFITS DECEMBER 2024	8,535.93
Total URBAN RENEWAL EXPE	NDITURES:		37,832.9
Total URBAN RENEWAL AGEN	CY:		37,832.9
Grand Totals:			37,832.9



#### **CITY OF KETCHUM**

P.O. Box 2315 Ketchum ID 83340 Phone: (208) 726-3841

#### **INVOICE**

Date	Number	Page
01/06/2025	8801	1

Bill To: KETCHUM URBAN RENEWAL AGENCY

**BOX 2315** 

KETCHUM ID 83340

Customer No. 410

Project:

Terms: Due Upon Receipt

**Invoice Due Date:** 01/06/2025

Quantity	Description	Unit Price	Net Amount
1	SALARIES & BENEFITS DECEMBER 2024	8,535.93	8,535.93
	98-4410-8801		
https://www.k	Please remit payment via: etchumidaho.org/administration/page/online-payments OR	Amount	8,535.93
	City of Ketchum PO Box 2315 Ketchum, ID 83340	Balance Due	8,535.93

Page: 1	Jan 06, 2025 10:51AM	
Timesheet Register - KURA	Report Dates: 11/16/2024 - 12/13/2024	
City of Ketchum		

Comments

Pay Code 5.00 2.00 9.00 3.00 5.00 2.00 4.00 5.00 7.00 Hours **URA ADMINISTRATION URA ADMINISTRATION** Description Activity 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 415003 Activity Code 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 Number Task Reference Number 2/13/2024 2/08/2024 2/09/2024 2/10/2024 2/11/2024 2/12/2024 1/17/2024 1/18/2024 1/19/2024 1/20/2024 11/21/2024 1/24/2024 11/25/2024 11/26/2024 1/27/2024 11/28/2024 1/22/2024 Date Activity. Activity code = 415003,417002 Name FRICK, SUZANNE FRICK, SUZANNE FRICK, SUZANNE 1700 FRICK, SUZANNE 1700 FRICK, SUZANNE Report Criteria: 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 1700 Employee Number

5.00 3.00 5.00 4.00 5.00 4.00 3.00 2.00 92.00 92.00 **URA ADMINISTRATION URA ADMINISTRATION** 415003 415003 415003 415003 415003 415003 415003 415003 4 4

11/29/2024

FRICK, SUZANNE

1700

FRICK, SUZANNE

1700 1700 1700 1700

FRICK, SUZANNE

FRICK, SUZANNE

FRICK, SUZANNE FRICK, SUZANNE

12/01/2024 12/02/2024 12/03/2024 12/04/2024 2/05/2024 2/06/2024

Total FRICK, SUZANNE:

Grand Totals:

FRICK, SUZANNE

#### Sun Valley Economic Development \_ SVED

PO Box 3893

Ketchum, ID 83340 US

+1 2087217847

Harry@sunvalleyeconomy.org

www.sunvalleyeconomy.org

#### **BILL TO**

Shellie Gallagher

Ketchum Urban Renewal Agency

City of Ketchum



INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
1635	01/01/2025	\$2,250.00	01/31/2025	Net 30	

Invoice

ACTIVITY	QTY	RATE	AMOUNT
Public Sector - KURA Quarterly Contract for Service	1	2,250.00	2,250.00

Thank you for your support.

**BALANCE DUE** 

\$2,250.00



# **Invoice**



Bill To	
Ketchum Urban Renewal Agency finance@ketchumidaho.org	

Date	Invoice #	
12/1/2024	20789	
Terms	Due Date	
Net 30	12/31/2024	

Federal Tax ID: 26-1671669

billing@ketchumcomputers.com

Date	Employee	Description	Quantity	Rate	Amount
2/3/2024	Mandeville	Monthly Workstation Maintenance: KURA laptop  98-4410-4200	1	49.50	49.50

**Total** 

\$49.50

# **Invoice**



Bill To	
Ketchum Urban Renewal Agency finance@ketchumidaho.org	

Date	Invoice #	
1/1/2025	20837	
Terms	Due Date	
Net 30	1/31/2025	

Federal Tax ID: 26-1671669

billing@ketchumcomputers.com

Date	Employee	Description	Quantity	Rate	Amount
/3/2025	Mandeville	Monthly Workstation Maintenance: KURA laptop  98-9410-4200	1	49.50	49.50

**Total** 

\$49.50

251 E. Front Street, Suite 300 Boise, Idaho 83702 Tax ID No. 82-0451327 Telephone 208-343-5454 Fax 208-384-5844



December 31, 2024

Invoice No.

212015

Client No.

8962

Matter No.

1

Billing Attorney:

ARG

Ketchum Urban Renewal Agency

Attn: Suzanne Frick **Executive Director** PO Box 2315

Ketchum, ID 83340

#### INVOICE SUMMARY

For Professional Services Rendered from December 16, 2024 through December 31, 2024.

**General Representation** RE:

**Total Professional Services** 

\$ 493.00

**Total Costs Advanced** 

\$.00

**TOTAL THIS INVOICE** 

\$ 493.00

98-4410-4200

# **ELAM & BURKE**

December 31, 2024

Invoice No.

212015

Client No.

8962

Matter No.

1

Billing Attorney: ARG

#### **PROFESSIONAL SERVICES**

Date	Atty	Description	Hours
12/16/24	ARG	Review Board packet for KURA meeting. Attend KURA Board meeting via Zoom. Analyze issues related to 1st and Washington funding of parking aspects. Consider additional reimbursement for Bluebird project.	1.70

#### **TOTAL PROFESSIONAL SERVICES**

\$ 493.00

#### SUMMARY OF PROFESSIONAL SERVICES

Name	Staff Level	Rate	Billed	Billed	Non-Chargeable	Non-Chargeable
			Hours	Amount	Hours	Amount
Germaine, Abbey R.	Shareholder	290.00	1.70	493.00	.00	.00
Total			1.70	\$ 493.00	.00	\$ .00

**TOTAL THIS INVOICE** 

\$ 493.00

251 E. Front Street, Suite 300 Boise, Idaho 83702 Tax ID No. 82-0451327 Telephone 208-343-5454 Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency

Attn: Suzanne Frick Executive Director PO Box 2315

Ketchum, ID 83340

Invoice No.

212015

Client No.

8962

Matter No.

1

Billing Attorney:

ARG

#### **REMITTANCE**

RE: General Representation

#### **BALANCE DUE THIS INVOICE**

\$ 493.00

#### **ONLINE PAYMENTS**

Elam & Burke is committed to offering safe, secure, and convenient options to pay your bill using Visa, MasterCard, Discover, American Express, Apple Pay, Google Pay, and eCheck.

NOTE: A 3% convenience surcharge will be applied to all of these transactions.

To pay online, please click here: or go to: www.elamburke.com/payments

#### **ACH PAYMENTS IN USD**

Account Holder:

Elam & Burke, PA

Bank Name:

U.S. Bank

Branch Name:

Meridian CenterPoint Office

Account Number:

82982196

ABA Routing Number:

021052053

#### CHECK PAYMENTS

All checks should be made payable to:

Elam & Burke, PA

ATTN: Accounts Receivable 251 E. Front Street, Suite 300

Boise, ID 83702

(Please return this advice with payment.)

Please reference: Invoice 212015, File # 8962 - 1 on all payments.

INVOICES ARE PAYABLE UPON RECEIPT Thank you! Your business is greatly appreciated. 251 E. Front Street, Suite 300 Boise, Idaho 83702 Tax ID No. 82-0451327 Telephone 208-343-5454 Fax 208-384-5844



December 31, 2024

Invoice No.

212016

Client No.

8962

Matter No.

3

Billing Attorney:

ARG

Ketchum Urban Renewal Agency

Attn: Suzanne Frick Executive Director PO Box 2315

Ketchum, ID 83340

#### **INVOICE SUMMARY**

For Professional Services Rendered from December 4, 2024 through December 31, 2024.

RE: 1st and Washington Project

Total Professional Services Total Costs Advanced \$ 725.00

\$.00

**TOTAL THIS INVOICE** 

\$ 725.00



98-4410-4200

December 31, 2024

Invoice No.

212016

Client No.

8962

Matter No.

3

Billing Attorney:

ARG

#### **PROFESSIONAL SERVICES**

Date	Atty	Description	Hours
12/04/24	ARG	Review email correspondence from Suzanne Frick regarding outcome of KBAC meeting. Consider input from Tyler Davis Jeffers regarding same.	.20
12/05/24	ARG	Review email correspondence from KURA Board members regarding serial meeting issues. Draft email advising client of issues with correspondence over email.	.20
12/09/24	RPA	Review options for parking and position of KURA and City. Telephone conference with Evan Robertson re interest by property owners/business owners to challenge any decision by KURA Board.	.50
12/10/24	RPA	Prepare summary of conversation with Evan Robertson concerning business owner objections on the project and demand for parking. Review response from Suzanne Frick. Prepare confidential email to Board members.	1.00
12/11/24	ARG	Discussion related to potential litigation by Ketchum business group. Review and respond to email correspondence regarding same and information to Board for consideration.	.30
12/19/24	RPA	Review request for revised schedule of performance in light of design changes resulting from public input. Consider response and timeline.	.30

#### **TOTAL PROFESSIONAL SERVICES**

\$ 725.00

#### SUMMARY OF PROFESSIONAL SERVICES

Name	Staff Level	Rate	Billed	Billed	Non-Chargeable	Non-Chargeable
			Hours	Amount	Hours	Amount
Germaine, Abbey R.	Shareholder	290.00	.70	203.00	.00	.00
Armbruster, Ryan P.	Of Counsel	290.00	1.80	522.00	.00	.00
Total			2.50	\$ 725.00	.00	\$ .00

**TOTAL THIS INVOICE** 

\$ 725.00

251 E. Front Street, Suite 300 Boise, Idaho 83702 Tax ID No. 82-0451327 Telephone 208-343-5454 Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency

Attn: Suzanne Frick Executive Director PO Box 2315

Ketchum, ID 83340

Invoice No.

212016

Client No.

8962

Matter No.

3

Billing Attorney:

ARG

#### REMITTANCE

RE: 1st and Washington Project

#### **BALANCE DUE THIS INVOICE**

\$ 725.00

#### **ONLINE PAYMENTS**

Elam & Burke is committed to offering safe, secure, and convenient options to pay your bill using Visa, MasterCard, Discover, American Express, Apple Pay, Google Pay, and eCheck.

NOTE: A 3% convenience surcharge will be applied to all of these transactions.

To pay online, please click here: or go to: www.elamburke.com/payments

#### **ACH PAYMENTS IN USD**

Account Holder:

Elam & Burke, PA

Bank Name:

U.S. Bank

Branch Name:

Meridian CenterPoint Office

Account Number:

82982196

ABA Routing Number:

021052053

#### CHECK PAYMENTS

All checks should be made payable to:

Elam & Burke, PA

ATTN: Accounts Receivable 251 E. Front Street, Suite 300

Boise, ID 83702

(Please return this advice with payment.)

Please reference: Invoice 212016, File #8962 - 3 on all payments.

INVOICES ARE PAYABLE UPON RECEIPT Thank you! Your business is greatly appreciated.

#### Steve Butler and Associates

PO Box 1034 Ketchum, ID 83340 USA (208) 720-6432 svgeotech@gmail.com

#### INVOICE

BILL TO

Matt Neilson-deChase Miksis

401 W Idaho

Boise, ID 83702 United States

INVOICE DATE 6887

MIE

DUE DATE

12/19/2024

TERMS Net 15

01/03/2025

DATE	DESCRIPTION	QTY	RATE	AMOUNT
	This fee is for the geotechnical report and includes at several site visit to determine access, mark the lot for DIGLINE, contacting DIGLINE Utility Locate, contacting the City of Ketchum, site visit to cone off sections of parking lot for drilling rig, leasing of the truck mounted drill rig, operators and support truck, overnight per diem for operators, increased boring depth for two story below grade parking garage, time associated with the subsurface investigation, contacting Conrad Brothers and the final report PDF.	1	10,630.00	10,630.00

Please send checks to: PO Box 1034 Ketchum, ID 83340 Thank you.

BALANCE DUE

\$10,630.00



98-4410-7100



**Pivot North Architecture** 

PO Box 45503 Boise, ID 83711 (208) 690-3108

98-4410-7100

De Chase Miksis DeChase Miksis P.O. Box 733 Boise, ID 83701 Sammy Newell

Invoice number

5935

Date

11/30/2024

Project 22-059 1st & Washington

For Professional Services Through November 30, 2024

#### A1-02. Design Review/Concept Design

Professional Fees					
	Date	Hours	Multiplior	Rate	Billed Amount
	Date	nours	Multiplier	Rate	Amount
Concept Design					
Project Manager Lead					
	11/07/2024	0.50		160.00	80.00
Weekly meeting					
	11/14/2024	0.50		160.00	80.00
Weekly meeting					
	11/21/2024	1.50		160.00	240.00
Weekly design meeting, coordination					
weekly design meeting, coordination	11/26/2024	1.00		160.00	160.00
		1.00		100.00	100.00
Project coordination, code research, review massing pro	ogress				
Design Studio Lead					
	11/21/2024	3.00		160.00	480.00
OAC meeting, start conceptualizing alternate design dir	ection based of	on feedback			
	11/22/2024	4.50		160.00	720.00
New concept massing and layout design work					
Committee and Co	11/25/2024	7.50		160.00	1,200.00
Revised concept (broken form)					
Nevised concept (broken form)	11/26/2024	5.00		160.00	800.00
Desired assertion and with the second such as of forms	11/20/2024	5.00		100.00	000.00
Revised massing and unit mix study, roof forms	4410710004	1.00		100.00	100.00
850s. ¥ 0 962 00	11/27/2024	1.00		160.00	160.00
New concept unit mix					
	11/29/2024	2.50		160.00	400.00
Unit mix study model	a			<u> </u>	
	Subtotal	27.00		20 m	4,320.00
		Phase subtotal		<del>17</del>	4,320.00

16

Invoice number

5935

11/30/2024

Date Invoice total 4,320.00

#### **Invoice Summary**

Description		Contract Amount	Total Billed	Percent Complete	Prior Billed	Current Billed
A1-02. Design Review/Concept Design		73,300.99	68,130.95	92.95	63,810.95	4,320.00
A3-01. Schematic Design		0.00	0.00	0.00	0.00	0.00
A3-02. Design Development		0.00	0.00	0.00	0.00	0.00
A3-03. Construction Documents		0.00	0.00	0.00	0.00	0.00
A3-04. Permitting		0.00	0.00	0.00	0.00	0.00
A3-05. Construction Administration		0.00	0.00	0.00	0.00	0.00
AS-01. Parking Studies		12,000.99	11,655.00	97.12	11,655.00	0.00
AS-02. Parking Studies 2 (NTE)		0.00	0.00	0.00	0.00	0.00
Reimbursable Expenses		0.00	2,087.36	0.00	2,087.36	0.00
	Total	85,301.98	81,873.31	95.98	77,553.31	4,320.00

Ag	ing	Su	mn	na	ry
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Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
5615	04/30/2024	1,200.00					1,200.00
5897	10/31/2024	1,617.50		1,617.50			
5935	11/30/2024	4,320.00	4,320.00				
	Total	7,137.50	4,320.00	1,617.50	0.00	0.00	1,200.00

Thank you! We appreciate your business



**Pivot North Architecture** 

PO Box 45503 Boise, ID 83711 (208) 690-3108

> De Chase Miksis DeChase Miksis P.O. Box 733 Boise, ID 83701 Sammy Newell

98-4410-7100

\*\*Redesign effort for the revised massing with tuck under parking. Massing will now be redesigned to match KPFF's option 6 with below grade parking\*\*

Invoice number

5966

Date

12/31/2024

Project 22-059 1st & Washington

For Professional Services Through December 31, 2024

#### A1-02. Design Review/Concept Design

Professional Fees

	Date	Hours	Multiplier	Rate	Billed Amount
Concept Design					
Project Manager Lead					
	12/02/2024	1.50		160.00	240.00
Team meeting-review massing progress, Meeting with V	VRCHT & deCha	ise			
	12/05/2024	0.50		160.00	80.00
weekly meeting					
	12/09/2024	1.50		160.00	240.00
Meeting with Planning Staff, follow up call with Matt					
	12/12/2024	0.50		160.00	80.00
Weekly meeting					
	12/18/2024	0.50		160.00	80.00
Review Geotechnical report					
Design Studio Lead					
	12/02/2024	6.50		160.00	1,040.00
concept options and discussion with John/lan, meeting	with client, unit m	nix and areas			
	12/03/2024	4.00		160.00	640.00
unit mix and area spread sheet					
	12/04/2024	3.00		160.00	480.00
new design study package for client					
	12/05/2024	1.00		160.00	160.00
OAC meeting					
	12/09/2024	1.50		160.00	240.00
meeting with planning staff and follow up recap meeting	with Matt				
	Subtotal	20.50			3,280.00
	Ph	ase subtotal		3 <del>1</del>	3,280.00

18

Invoice number Date

5966

12/31/2024



#### **Invoice Summary**

Description		Total Billed	Prior Billed	Current Billed
A1-02. Design Review/Concept Design	•	71,410.95	68,130.95	3,280.00
A3-01. Schematic Design		0.00	0.00	0.00
A3-02. Design Development		0.00	0.00	0.00
A3-03. Construction Documents		0.00	0.00	0.00
A3-04. Permitting		0.00	0.00	0.00
A3-05. Construction Administration		0.00	0.00	0.00
AS-01. Parking Studies		11,655.00	11,655.00	0.00
AS-02. Parking Studies 2 (NTE)		0.00	0.00	0.00
Reimbursable Expenses		2,087.36	2,087.36	0.00
	Total	85,153.31	81,873.31	3,280.00

#### **Aging Summary**

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
5615	04/30/2024	1,200.00					1,200.00
5897	10/31/2024	1,617.50			1,617.50		
5935	11/30/2024	4,320.00		4,320.00			
5966	12/31/2024	3,280.00	3,280.00				
	Total	10,417.50	3,280.00	4,320.00	1,617.50	0.00	1,200.00

Thank you! We appreciate your business

## deChase > Miksis

# deChase Development Services, LLC

PO Box 733 Boise, ID 83701 EIN: 27-5253797

AR Contact: Sammy Newell 208-570-0025

Sammy@deChase.com

# Invoice

Invoice Number: KURA-08 Invoice Date: Dec 24, 2024 **Due Date: Jan 23, 2025** 

98-4410-4200

#### Bill To:

Ketchum Urban Renewal Agency, KURA

PO Box 2315 Ketchum, ID 83340

#### Billing Details:

Description		Amount
Development Fees, December		7,500.00
	Subtotal	7,500.00
	Retainage	0.00
	Tax	0.00
	Total	\$7,500.00

We accept check and ACH payments. You can call our controller at 208-570-0025 for ACH information. Thank you for your business,

	DRA	DRAW SUBMISSION			
1st and Washington Development LLC	APPLICATION #:	6			
PO Box 733 Boise, ID 83701	DATE:	Dec 3, 2024			
Construction Manager:					
Development Manager: Matthew Neilson	matt@dechase.com				

PROJECT	
PROJECT #:	22-33-K
NAME:	1st & Washington
TYPE:	WFHOUSE
ADDRESS:	PO Box 2315 Ketchum, ID 83340

SUMMARY OF DRAW	AMOUNT
Current Job Costs	25,730.00
Current Retainage Amount	0.00
Current Draw Amount Due	25,730.00

# 22-33 - 1st and Washington Development LLC This Period Transactions Report

Job: 22-33-K - 1st & Washington Application #: 6

**Date:** January 13, 2025

Date GENERAL CONDITION	Vendor Name DNS	Reference	Description	Amount
10-1700 - Predevelop	omet - Geotechnical			
12/19/2024	Steve Butler and Associates	6887	Steve Butler and Associates-Inv#6887	\$10,630.00
20-1000 - A&E				
11/30/2024	Pivot North Architecture	5935	Pivot North Architecture-Inv#5935	\$4,320.00
12/31/2024	Pivot North Architecture	5966	Pivot North Architecture-Inv#5966	\$3,280.00
20-1000 Subtotal				\$7,600.00
40-1000 - Developme	ent Fee			
12/24/2024	deChase Development Services, LLC	KURA-08	deChase Development Services, LLC-Inv#KURA-08	\$7,500.00
GENERAL CONDITIO	ONS TOTAL			\$25,730.00
Job Total				\$25,730.00

Generated By: Lee Ruff @ January 13, 2025 2:28:23 PM

# 22-33 - 1st and Washington Development LLC Billing Breakdown

**Job:** 22-33-K - 1st & Washington **Application #:** 6 **Date:** January 13, 2025

Item No. Description Of Work GENERAL CONDITIONS	Previously Billed	Current Bill	Cost To Date
10 - Site and Due Diligence			
10-1700 Predevelopmet - Geotechnical	\$4,000.00	\$10,630.00	\$14,630.00
10-1800 Predevelopmet - Boundary Survey/ALTA	\$6,800.00	\$0.00	\$6,800.00
10 - Site and Due Diligence Subtotal	\$10,800.00	\$10,630.00	\$21,430.00
20 - Other Soft Costs			
20-1000 A&E	\$67,782.52	\$7,600.00	\$75,382.52
20-1100 A&E (Reimbursable Expenses)	\$2,525.79	\$0.00	\$2,525.79
20-1200 Civil	\$787.50	\$0.00	\$787.50
20-1400 Lanscaping	\$918.75	\$0.00	\$918.75
20 - Other Soft Costs Subtotal	\$72,014.56	\$7,600.00	\$79,614.56
40 - Professional Fees			
40-1000 Development Fee	\$52,500.00	\$7,500.00	\$60,000.00
40 - Professional Fees Subtotal	\$52,500.00	\$7,500.00	\$60,000.00
GENERAL CONDITIONS TOTAL	\$135,314.56	\$25,730.00	\$161,044.56
Job Total	\$135,314.56	\$25,730.00	\$161,044.56

Generated By: Lee Ruff @ January 13, 2025 2:25:04 PM



#### **Meeting Minutes**

Monday, November 18, 2024,

2:00p.m.

**Ketchum City Hall** 

#### **CALL TO ORDER:**

Susan Scovell called the meeting to order. (00:01:07 in video)

#### **ROLL CALL:**

#### **Present:**

Board Chair—Susan Scovell

Board Member—Gary Lipton

Board Member—Tyler Davis-Jeffers

Board Member—Courtney Hamilton

Board Member—Amanda Breen

Board Member—Casey Burke

#### Absent:

Board Member—Mason Frederickson

#### Other attendees:

Suzanne Frick, KURA Executive Director Trent Donat, City Clerk and KURA Secretary

#### **COMMUNICATION FROM THE BOARD MEMBERS:**

Suzanne Frick made a modification to the SVED Contract on the Consent Calendar. (00:01:40 in video)

#### **CONSENT CALENDAR**

Motion to approve the Consent Calendar (Items #1 - #5) with the changes to the SVED

Contract as detailed by Suzanne Frick. (00:02:23 in video)
Motion made by: Amanda Breen; seconded by: Casey Burke

Ayes: Gary Lipton, Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey

Burke

**Result:** Motion Passes

#### **DISCUSSION ITEMS**

1. Discussion on operation of First and Washington Parking Lot.

Presented by: Suzanne Frick (00:02:41 in video)

**Comments, questions, and discussion by Board Members.** (00:03:50 in video)

#### **ADJOURNMENT:**

Motion to adjourn. (00:29:47 in video)

Motion made by Amanda Breen; seconded by; Courtney Hamilton

Ayes: Gary Lipton, Courtney Hamilton, Susan Scovell, Amanda Breen, Tyler Davis-Jeffers,

Casey Burke
Result: Adjourned



	Susan Scovell, Board Chair	
ATTEST:		
	_	
Trent Donat, KURA Secretary		



#### **Meeting Minutes**

Monday, December 16, 2024,

2:00p.m.

**Ketchum City Hall** 

#### **CALL TO ORDER:**

Susan Scovell called the meeting to order. (00:00:12 in video)

#### **ROLL CALL:**

#### Present:

Board Chair—Susan Scovell

Board Member—Tyler Davis-Jeffers

Board Member—Courtney Hamilton (via teleconference)

Board Member—Amanda Breen

Board Member—Casey Burke

#### **ABSENT:**

Board Member—Gary Lipton

Board Member Mason Frederickson

#### Other attendees:

Suzanne Frick—KURA Executive Director

Jade Riley—City Administrator

Brent Davis—Finance Director

Daniel Hansen—Community Engagement Manager

Trent Donat—City Clerk and KURA Secretary

Greg Dunfield—GMD Development

Abbey Germain—KURA Attorney

Neil Bradshaw—City of Ketchum Mayor (arrived at 2:40pm)

#### **COMMUNICATION FROM THE BOARD MEMBERS:**

No Communications

#### **CONSENT CALENDAR**

1. Motion to approve the KURA Bills (00:00:52 in video)

Motion made by: Amanda Breen; seconded by: Casey Burke

Ayes: Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

2. Motion to approve November 18, 2024, joint meeting minutes if the KURA and Ketchum City

**Council.** (00:01:06 in video)

Motion made by: Susan Scovell; seconded by: Amanda Breen

Ayes: Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes



#### **DISCUSSION ITEMS**

- **3.** Sun Valley Economic Development Quarterly Update. . Presented by: Harry Griffith (00:01:30 in video)
- Courtney Hamilton Asked a question. (00:06:59 in video)
- Harry Responded (00:07:30 in video)

#### **ACTION ITEMS:**

**4.** Recommendation to approve a reimbursement of \$820,813.00 to Ketchum Community Development Corporation and 4% Bluebird Housing Partners LLC, and Consideration of amending Reimbursement Agreement #50078 for reimbursement of additional public infrastructure expenditures.

Presented by: Suzanne Frick (00:09:43 in video) Joined by: Greg Dunfield (00:12:53 in video)

**Comments, questions and discussion by board members.** (00:021:32 in video)

Motion to approve the reimbursement agreement for the \$820,813.00 for Bluebird Project infrastructure costs and authorize staff to issue the reimbursement check once a Certificate of Occupancy and city approvals of the public infrastructure have been granted.

(00:33:54 in video)

Motion made by: Amanda Breen; seconded by: Casey Burke

Ayes: Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

Motion to amend Reimbursement Agreement #50078 to provide additional reimbursement in the amount of \$128,050.00 and authorize staff to issue the reimbursement check once a Certificate of Occupancy and city approvals of the infrastructure have been granted.

(00:34:13 in video)

Motion made by: Amanda Breen; seconded by: Casey Burke

Ayes: Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

5. Direction to Staff on First and Washington Project scope and funding.

Introduced by: Suzanne Frick (00:35:03 in video)

Survey results presented by: Daniel Hansen (00:37:10 in video) LID Assessment presented by: Brent Davis (00:45:10 in video)

**Comments, questions and discussion by Suzanne Frick and board members**. (00:57:09 in video)

Neil Bradshaw joined the discussion. (01:06:26 in video)

Public Comment Open. (01:18:02 in video)

- Jed Gray (01:18:16 in video)
- Scott Curtis (01:20:20 in video)
- Jim Slanetz (01:22:36 in video)

Public Comment Closed. (01:25:27 in video)



Trent Donat, KURA Secretary

# Comments, questions and discussion by Suzanne Frick and board members. (00:57:09 in video) ADJOURNMENT: Motion to adjourn. (01:28:13 in video) Motion made by Amanda Breen; seconded by; Casey Burke Ayes: Courtney Hamilton, Susan Scovell, Amanda Breen, Tyler Davis-Jeffers, Casey Burke Result: Adjourned Susan Scovell, Board Chair



#### **Ketchum Urban Renewal Agency**

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

January 21, 2024

Chair and Commissioners Ketchum Urban Renewal Agency Ketchum, Idaho

# FROM COREY STREET MASS, LLC, FOR A REIMBURSEMENT AGREEMENT FOR PUBLIC IMPROVEMENTS LOCATED AT 380 N FIRST STREET IN THE AMOUNT OF \$667,828

#### **Summary**

Corey Street Mass, LLC, applied to the KURA to enter into a reimbursement agreement for public improvements installed as part of a private development project located at 380 N First Avenue (Attachment A) in the amount of \$667,828. Staff requests Board direction on the request. Should the Board agree to reimburse for the improvements, staff will return to the Board for approval of an Owner Participation Agreement (OPA).

#### **Background**

The Board has not entered into a reimbursement agreement for a private development improvements since 2020. Instead, the Board has focused funding of city public infrastructure projects and the First + Washington project. The public improvements as part of the request are identified in the funding application (Attachment A). The improvements are located at the corner of First Avenue and 4<sup>th</sup> Street as part of the construction of a mixed-use building consisting of 2 market rate residential units and offices. The project was approved by the Planning and Zoning Commission in December 2021 and a building permit was issued in May 2023. A certificate of occupancy has not yet been issued.

In 2022 the KURA amended the funding criteria for reimbursement of improvements associated with private development projects (Attachment B). The criteria for funding applicable to this application are as follows:

 All requests for funding shall be made no later than 30 days after the applicant applies for a building permit.

- Reimbursement for public infrastructure shall commence after the project is generating tax increment to benefit the Agency.
- No more than 50% of the total tax increment generated by the project may be used for reimbursement to the developer.
- KURA may fund 40% of the cost of the following:
  - Cost differential between concrete sidewalks and paver sidewalks, snowmelt systems will not be funded
  - Installation of street trees
  - Art or other public amenities in the public right of way
- Mixed use projects are considered commercial projects and may apply for tax increment financing provided they meet all the criteria.

Historically, the KURA has not reimbursed for public improvements that apply to all development projects such as replacement of curbs, gutters, installation of concrete sidewalks and ADA ramps around a project, installation of streetlights, upgrades to water and sewer lines and repair of any damage to public property as a result of the construction project. In this case, with the exception of the sidewalk pavers, street trees, benches and bike racks, the list of improvements provided by the applicant are required improvements for all development projects.

Based on prior reimbursements and the KURA reimbursement policy, the following improvements would be eligible for reimbursement:

•	Irrigation systems	\$1,837
•	Topsoil	\$4,140
•	Landscaping Improvements	\$1,040
•	Trees	\$3,912
•	Tree grates	\$14,271
•	Silva cells	\$31,638
•	Bike racks	\$3,700
•	Bench seating	\$15,761
•	Sidewalk pavers	\$43,611 (need to calculate difference
	between concrete sidewalk and pay	vers)

Total: \$119,910

Per the KURA funding resolution, KURA would reimburse 40% of the costs which result in a KURA contribution of up to \$47,964 depending on the differential cost between the pavers and concrete sidewalks.

#### **Reimbursement Calculations**

The 2024 taxable value of the property is \$1,137,197. The applicant estimates the taxable value of the property once the project is completed will be \$6,000,000. Using the 2023 applicable tax levy, the current tax increment yield to KURA is \$3,723. If the future taxable value of the property is \$6,000,000, the tax increment yield to KURA is

estimated to be \$19,641 based on the 2023 tax levy. The new net annual amount to KURA is estimated to be \$15,918 (\$19,641 minus \$3,723).

The projected annual reimbursement amount would be 50% of the projected net increment totaling \$7,959 if the taxable value of the property is \$6,000,000. Typically, new construction projects start generating additional tax increment one year after issuance of a certificate of occupancy. Reimbursement calculations are based on the actual taxable value determined by the Blaine County Assessor and verified with documentation. If a certificate of occupancy is issued in 2025, additional tax increment would begin in 2026. Reimbursement would occur 2026-2029, or annually for 4 years. Total reimbursement is projected to be \$31,836.

#### Requested Funding

The request is for \$667,828, however, based on KURA funding criteria, eligible costs total \$119,910. KURA would reimburse 40% of the costs totaling \$47,764. However, based on the funding calculations, the projected reimbursement amount would be \$31,836.

#### **KURA Financial Impact**

KURA revenue projections through 2030 assume no loss in projected revenue due to reimbursement agreements. If this agreement is approved, there will be a revenue loss.

#### Recommendation and Motion

Staff requests direction from the KURA on the proposed funding request.

#### Attachments:

Attachment A: Applicant funding request Attachment B: KURA Funding Criteria

## Attachment A



# Ketchum Urban Renewal Agency P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

## **APPLICATION FOR PROJECTS REQUESTING FUNDING FROM THE KURA**

Applicant and Project Information		
Applicant Name:	Date Submitted:	
Corey Street Mass, LLC	11/18/2024	<u> </u>
Name of Project: 380 First Ave N Mixed Use Building	Estimated Date of 1 12/15/2025	Completion:
Project Description: Mixed use building in downtown KEtchum. Public ROW work includes new sidewalks, snow me	lt, street lamps, 4x trees and be	nches.
Project Location: 380 First Ave N Ketchum, ID 83340		
		<u>.</u>
Application Submittal Requirements	Notes a	n Submittals
Brief narrative describing the proposed public benefit of the project	12	b
■ Map of project location	elcolor	——————————————————————————————————————
Attached professional bids		
■ Attached preliminary/construction drawings		
Projects Questions:		
1. Is this project identified within the Urban Renewal Plan for KURA?	Yes: 🗏	No: □
2. If identified in the Urban Renewal Plan, indicate section and page:	Section: 3.2	Page: 6
3. Estimated assessed value of project after completion (taxable value):	\$ 6,000,000.00	
4. Will any KURA board members or staff financially benefit from the project?	Yes: □	No: ■
5. New or retained jobs resulting from project:	Full Time: 2	Part Time: 0
6. Approximate return on public fund investment. (I.e. Public\$/Private\$)	\$\$500,000.00	
7. Funding amount requested:	\$ \$667,828.00	
	ł	
		2 12 12 12 12 12 12
Applicant's Signature	Date: 11/18/2024	
Property Owner's Signature (if different):	Date:	

Construction, Inc.

Project...... 380 1st Street Mixed Use Building

Architect......Williams Partners

**BUDGET ESTIMATE WORKSHEET** 

Project Description: 380 1st Street Mixed Use Building. All work associated with the scope of work associated within the City

03/03/23

DH 03/03/22 Estimator: Bid Date:

Run Date:

of Ketchum right-of-way

Location..... Ketchum, Idaho Bid Time: 2:00 PM

	. Corey Streey Mass, LLC	Project Duration Work days:		Addenda:	0		
Spec.		Notes	Responsibility	Quantity	UOM	\$/Unit	To
01303	CONDITIONS: Field Labor			31	hr	45.00	
01206	Temporary Site Facilities				day	139.84	
01214	Temporary Construction Facilities				day	59.68	
01604	Plan Copies				ea	100.00	
01004	i iaii oopies				Ca	100.00	
	Subtotal General Conditions						
	PER DIEM						
01306	Travel/Exp Perdiem	Lodging per IRS Blaine County	Superintendent Travel	47	Day	106.00	
	Subtotal Travel / Per Diem						
ILITIES							
01207	Temporary Utilities		Temp Site Power	47	Is	36.70	
	Subtotal Utilities						
mpsters	s						
01701	Dumpsters and Debris Hauling			1	ea	795.00	
	•						
	Subtotal Clean UP / Debris						
PERVIS							
01301	Superintendent		CSDI		day	278.00	
01401	Project Manager		CSDI		day	326.00	
01410	Project Executive		CSDI	10	day	381.00	
	Subtotal Supervision						
VISION	V 1						
01600	Material Testing			1	ls	3,755.00	
01600	Erosion & Sediment Control			1	Is	4,500.00	
01600	Traffic Control			1	Is	3,200.00	
01600	Surveying		Galena Engineering	1	Is	3,120.00	
	Division Subtotal			4			
OW WC	NDI/						
	Mobilization		CSDI Construction, Inc.	1	ea	4,386.00	
3 37 00			E & J Concrete	666		15.76	
3 37 00	Concrete i latwork					6.91	
3 37 00	Concrete Flatwork prep		IE & I Concrete	666	31	0.91	
	<u> </u>		E & J Concrete	666		25.40	
3 37 00	Concrete Vert Curb		E & J Concrete	261	lf	25.49	
3 37 00 3 37 00	Concrete Vert Curb Concrete Wash Out		E & J Concrete E & J Concrete	261 1	lf ea	5,200.00	
3 37 00 3 37 00 3 37 00	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep	Includes Radiant Heating	E & J Concrete E & J Concrete E & J Concrete	261 1 261	If ea	5,200.00 20.06	
3 37 00 3 37 00 3 37 00 3 00 02	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems	Includes Radiant Heating Includes Landscape Shrubs Asphalt Curb and Sidewalk	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal	261 1 261 2,727	If ea If sf	5,200.00 20.06 68.38	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation	261 1 261 2,727 2,000	If ea If sf	5,200.00 20.06 68.38 6.70	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00 6 00 01	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk Relocation of Existing	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation Roberts Electric ALLOWANCE	261 1 261 2,727 2,000 3	If ea If sf ea	5,200.00 20.06 68.38 6.70 8,208.00	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00 6 00 01 6 00 01	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights Ketchum- Light bollards	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE	261 1 261 2,727 2,000 3 4	If ea If sf sf ea ea	5,200.00 20.06 68.38 6.70 8,208.00 1,052.00	
3 00 02 4 00 00 6 00 01 6 00 01	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights Ketchum- Light bollards Electrical, pipe, wire bollards & lights	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk Relocation of Existing Provided by City of Ketchum	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE	261 1 261 2,727 2,000 3 4	If ea If sf sf ea ea Is	5,200.00 20.06 68.38 6.70 8,208.00 1,052.00 1,024.00	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00 6 00 01 6 00 01 1 00 00	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights Ketchum- Light bollards Electrical, pipe, wire bollards & lights Traffic Control	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk Relocation of Existing	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE CSDI Construction, Inc.	261 1 261 2,727 2,000 3 4 7	If ea If sf sf ea ea ls	5,200.00 20.06 68.38 6.70 8,208.00 1,052.00 1,024.00 1,750.00	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00 6 00 01 6 00 01 1 00 00 2 17 24	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights Ketchum- Light bollards Electrical, pipe, wire bollards & lights Traffic Control Post Mounted Signage	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk Relocation of Existing Provided by City of Ketchum  Utility scope	E & J Concrete  E & J Concrete  E & J Concrete  Thorton Heating & Sheetmetal  Canyon Excavation  Roberts Electric ALLOWANCE  Roberts Electric ALLOWANCE  CSDI Construction, Inc.  Roberts Electric ALLOWANCE	261 1 261 2,727 2,000 3 4 7	If ea If sf sf ea ea ls ea ea	5,200.00 20.06 68.38 6.70 8,208.00 1,052.00 1,024.00 1,750.00 800.00	
3 37 00 3 37 00 3 37 00 3 00 02 4 00 00 6 00 01 6 00 01 1 00 00 2 17 24 3 06 40	Concrete Vert Curb Concrete Wash Out Vert Curb Exc/Prep Concrete and Paver Snow Melting Systems Demolition Ketchum - Street Lights Ketchum- Light bollards Electrical, pipe, wire bollards & lights Traffic Control	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk Relocation of Existing Provided by City of Ketchum	E & J Concrete E & J Concrete E & J Concrete Thorton Heating & Sheetmetal Canyon Excavation Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE Roberts Electric ALLOWANCE CSDI Construction, Inc.	261 1 261 2,727 2,000 3 4 7 1	If ea If sf sf ea ea ls	5,200.00 20.06 68.38 6.70 8,208.00 1,052.00 1,024.00 1,750.00	

**Construction, Inc.** 

**BUDGET ESTIMATE** 

**WORKSHEET** 

Project Description: 380 1st Street Mixed Use Building. All work associated with the scope of work associated within the City

of Ketchum right-of-way

Project...... 380 1st Street Mixed Use Building 03/03/22 Estimator: DH Bid Date:

Location...... Ketchum, Idaho Bid Time: 2:00 PM Williams Partners Run Date: 03/03/23

chitect	. Williams Partners			Run Date:	03/03/23		
/ner	. Corey Streey Mass, LLC	Project Duration Work days:	47	Addenda:	0		
Spec.	Systems/Component	Notes	Responsibility	Quantity	UOM	\$/Unit	Total
33 10 00	6" Fire Line		Canyon Excavation	267	If	219.06	58,48
33 10 00	4" Water Service		Canyon Excavation	90	If	201.16	18,10
32 11 00	2" Minus pit run Asphalt Sub Base 8"		Canyon Excavation	4,030	sf	3.92	15,80
32 11 00	4" Crushed Aggregate		Canyon Excavation	4,030	sf	4.64	18,69
32 12 16	Asphalt Pavement	City of Ketchum Standard	Idaho Materials & Construction	3,364	sf	9.48	31,88
32 12 16	Sawcut Asphalt		CSDI Construction, Inc.	506	If	12.00	6,07
32 17 23	Pavement Markings	Includes Cross Walk	CSDI Construction, Inc.	1.0	ea	3,250.00	3,25
32 80 00	Irrigations Systems		Native Evergreen Landscapes	100	If	18.37	1,83
32 80 00	Topsoil		Native Evergreen Landscapes	90	су	46.00	4,14
32 80 00	Landscaping/Improvements		Native Evergreen Landscapes	1	Is	1,040.00	1,04
32 80 00	Trees		Native Evergreen Landscapes	4	ea	978.01	3,91
32 80 00	Tree Grates		Native Evergreen Landscapes	4	ea	3,567.65	14,27
32 80 00	Silva Cells		Native Evergreen Landscapes	4	ea	31,638.00	31,63
32 80 00	Concrete Unit Pavers		Native Evergreen Landscapes	2,300	sf	18.96	43,61
32 80 00	Bench Seating	Includes Powder coating	Native Evergreen Landscapes	3	ea	5,253.50	15,76
32 80 00	Bike Racks	Includes Powder coating	Native Evergreen Landscapes	2	ea	1,850.00	3,70
33 33 00	Sanitary Sewer Utility	Includes Relocation to new tie in Location	Canyon Excavation	1	ea	4,000.00	4,00
	Division Subtotal						562,20
SUBTOTAL	L - HARD COSTS						615,49
01100	Liability Insurance	0.52%	)			3,201	3,20
01106	Builders Risk Insurance	By Owner				0	-
01101	Building Permits	By Owner				-	-
	Overhead	5.25%	)			35,080	35,08
	Fee	2.10%	)			14,056	14,05
						SUBTOTAL =	667,82
01151	State/Local Sales/use tax	0.00%	)			0	-
01151	Local/city tax	0.00%	)			0	-
01103	Bonding	Not included in total add \$8,049 if req	uired.		(	0	-
01910	Owner Contingency	0.00%	)			0	-
				BUDGET	<b>ESTIMAT</b>	E TOTAL =	667,82



Los Angeles, California 90049

Architect:

Williams | Partners Architects

Jeff Williams: jeff@williams-partners.com

P.O. Box 4373

Ketchum, ID 83340

Ph. 208.726.0020 Fax 208.726.0019

**Geotechnical Engineer:** 

**Butler Associates** 

Steve Butler: svgeotech@gmail.com

P.O. Box 1034

Ketchum, ID 83340

Ph. 208.720.6432

**Landscape Architect:** 

Landwork Studio LLC

Rob King: rob@landworkstudio.com

P.O. Box 300

Ketchum, ID 83340

Ph. 208.726.5331

Civil Engineer:

Galena Engineering, Inc

Sean Flynn: sflynn@galena-engineering.com

317 N. River Street Hailey, ID 83333

Ph. 208.788.1705

**Structural Engineer:** 

Liv Jensen Engineering, PLLC

Liv Jensen: liv@cox.net

441 Eastridge Drive

Hailey, ID 83333

Ph. 208.720.5549

**Interior Design:** 

Jennifer Hoey Interior Design

Jennifer Hoey: jennifer@jenniferhoey.com

Abbey Mayhew: abbey@jenniferhoey.com

P.O. Box 6409

Ketchum, ID 83340

Ph. 208.726.1561

**Electrical Consultant:** 

**SYSWEST** 

Ross Williams: ross@syswest.net

22922 Lake Wenatchee Highway

Leavenworth, WA 98826

Owner's Representative:

**Grabher Construction** 

P.O. Box 507

Sun Valley, ID 83353

Ph. 208.726.3916

Fax 208.726.9081

**General Contractor:** 

**CSDI** Construction, Inc.

Gabriel Myers: gmyers@csdiconstruction.com

6353 Supply Way, Boise, Idaho 83716

Office: 208-338-5973 Cell: 208-830-5120

# 380 N. 1ST AVE. MIXED-USE BUILDING



### Land Use Information Map



**Satellite View** 380 North First Avenue; Ketchum, Idaho

0.01 0.03

Made by: Blaine County GIS

### **PROJECT INFORMATION**

LEGAL	LOT 5, BLO
DESCRIPTION:	KETCHUM

ADDRESS: 380 NORTH FIRST AVENUE

KETCHUM, ID 83340

CC, SD 2 (COMMUNITY CORE, SUBDISTRICT 2: MIXED USE)

SETBACKS: FRONT AND STREET SIDE: 5' AVERAGE

INTERIOR SIDE: 0' **ADJACENT TO ALLEYWAY: 3'** 

MAX BUILDING HEIGHT: 42'

[AVERAGE FRONT PROPERTY LINE ELEVATION = 5827.2' AVERAGE REAR PROPERTY LINE ELEVATION = 5827.05' MAX HEIGHT = 42' + 5827.05' = 5869.05'

CONSTRUCTION TYPE: V-B (IBC SECTION 602.5)

OCCUPANCY: OFFICE: BUSINESS GROUP B (IBC 304.1),

(2) RESIDENTIAL UNITS (APARTMENTS): RESIDENTIAL GROUP R-3 (IBC 310.4), GARAGES: UTILITY AND MISCELLANEOUS GROUP U (IBC 312)

\*BUILDING WILL NOT BE CONDOMINIUMIZED.

### **DRAWING INDEX**

### **COVER SHEET**

```
△02 A 0.0 COVER SHEET
```

CIVIL	
TOPO	CIVIL SURVEY
C 0.1	COVER & CONSTRUCTION NOTES 🐽
C 0.3	CIVIL SITE DEMOLITION PLAN 🐽
C 1.0	SITE GEOMETRY PLAN 🐽
C 1.1	GRADING & DRAINAGE PLAN 📶
(12	DETAIL SHEET AT

### **LANDSCAPE**

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GRADING PLAN
LANDSCAPE PLAN Z
LANDSCAPE MATERIALS PLAN 1
```

```
BULDING INFORMATION / SYSTEMS
                CODE ANALYSIS / EGRESS DIAGRAMS
                BUILDING SYSTEMS
                BUILDING SYSTEMS
```

BUILDING SYSTEMS

### BUILDING SYSTEMS **BUILDING SYSTEMS** MATERIALS BOARD 🗸

ARCHITECTURAL SITE PLAN ARCHITECTURAL SITE PLAN ARCHITECTURAL SITE PLAN 101

```
FLOOR PLANS
                  FIRST FLOOR PLAN - 1/8"
                 SECOND FLOOR PLAN - 1/8" /
                  THIRD FLOOR PLAN - 1/8" /oi
                  ROOF PLAN - 1/8"/01
                  FIRST FLOOR PLAN - 1/4"/
                 THIRD FLOOR PLAN - 1/4"01
                ROOF PLAN - 1/4"/01
```

ROILDING 3	SECTIONS
02 A 3.1	BUILDING SECTIONS 01
<u>∕01</u> € Å 3.2	BUILDING SECTIONS
<b>€</b> A 3.3	<b>BUILDING SECTIONS</b>
<b>A</b> 3.4	BUILDING SECTIONS
A 3.5	BUILDING SECTIONS
€ A 3.6	BUILDING SECTIONS

### **EXTERIOR ELEVATIONS**

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### **REFLECTED CEILING PLANS**

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A 5.1 REFLECTED CEILING PLAN
A 5.2 REFLECTED CEILING PLAN
A 5.3 REFLECTED CEILING PLAN
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### **INTERIOR ELEVATIONS**

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A 6.2	INTERIOR ELEVATIONS
EA 6.3	INTERIOR ELEVATIONS
€ A 6.4	INTERIOR ELEVATIONS
A 6.5	INTERIOR ELEVATIONS
₹ A 6.6	INTERIOR ELEVATIONS
€ A 6,7	INTERIOR ELEVATIONS
A 6.8	INTERIOR ELEVATIONS

### **ARCHITECTURAL DETAILS**

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A 7.1	ARCHITECTURAL DETAILS
$\underline{01} \in A7.2$	` AŘCHITECTŮŘAL ĎĚTAILŠ }
£ A 7.3	ARCHITECTURAL DETAILS
<b>A</b> 7.4	ARCHITECTURAL DETAILS 🗧
₹ A 7.5	ARCHITECTURAL DETAILS 3

### DOOR AND WINDOW SCHEDULES

A 8.1	WINDOW SCHEDULE
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A 8.3	DOOR AND WINDOW DETAILS
A 8.4	DOOR AND WINDOW DETAILS
<u>∕01</u>	DOOR AND WINDOW DETAILS

### **3D VIEWS**

A 9.1 3D VIEWS

### STRUCTURAL DRAWINGS

### **ELECTRICAL, TELCOMM DRAWINGS**

E 1.1	FIRST FLOOR ELECTRICAL PLA
E 1.2	SECOND FLOOR ELECTRICAL F
E 1.3	THIRD FLOOR ELECTRICAL PL
E 1.4	ROOF ELECTRICAL PLAN
E 1.5	ELECTRICAL NOTES
E 1.6	FIXTURE SCHEDULE
E 2.1	FIRST FLOOR TELCOM PLAN
E 2.2	SECOND FLOOR TELCOM PLAI
E 2.3	THIRD FLOOR TELCOM PLAN

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INTERIORS
                 INTERIOR DESIGN COVER SHEET
                  FIRST FLOOR OVERALL PLAN
                 UNIT 1 BED ALCOVE
                  UNIT 1 HALLWAY/STORAGE
                  BREAKROOM/KITCHENETTE
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BEDROOM 2 BEDROOM 2 ID 2.6 BATH 2 Master Bed/Hallway/Linen MASTER BATH ID 2.10 MASTER CLOSET

**OUTDOOR KITCHEN** ID 4.0 FINISHES

WILLIAMS PARTNERS

### ARCHITECTS

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Building

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MAIL P.O.B. 4373 KETCHUM, IDAHO PHONE 208.726.0020 FAX 208.726.0019 www WILLIAMS-PARTNERS.COM

05/12/2021 COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS NUMBER: DATE: 01 08/02/2023

49'-6"

TO EXIT 5

THIRD FLOOR EGRESS AND FIRE RATING DIAGRAM

Tot 2, Block 37, Ketchum, Idaho 83340

Howe 208.726.0019

WILKED — NEW MILKED — NEW

FIRST FLOOR EGRESS AND FIRE RATING DIAGRAM

SCALE: 1/8" = 1'-0"

DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS

01 12/08/22 PERMIT REVISION

DATE: ISSUED:

06/10/2021 | COK HPC REVIEW 09/30/2021 | DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT

NUMBER: DATE:

WITH SECTION 717. 714.4 FIRE-RESISTANCE-RATED WALLS. PENETRATIONS INTO OR THROUGH FIRE WALLS, FIRE BARRIERS, SMOKE BARRIER WALLS AND FIRE PARTITIONS SHALL COMPLY WITH SECTIONS 714.4.1 THROUGH 714.4.3. PENETRATIONS IN SMOKE BARRIER WALLS SHALL ALSO COMPLY WITH SECTION 714.5.4. 714.4.1 THROUGH PENETRATIONS. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALLS SHALL COMPLY WITH SECTION 714.4.1.1 OR 714.4.1.2.

714.4.2 MEMBRANE PENETRATIONS. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION 714.4.1. WHERE WALLS OR PARTITIONS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.

THERMAL- AND SOUND- INSULATING MATERIALS (SECTION 720) 720.2 CONCEALED INSTALLATION. INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. EXCEPTION: CELLULOSIC FIBER LOOSE-FILL INSULATION COMPLYING WITH THE REQUIREMENTS OF SECTION 720.6 SHALL NOT BE REQUIRED TO MEET A FLAME SPREAD INDEX REQUIREMENT BUT SHALL BE REQUIRED TO MEET A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHEN TESTED IN ACCORDANCE WITH CAN/ULC \$102.2.

INTERIOR FINISH REQUIREMENTS (TABLE 803.13) WALL AND CEILING FINISH MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN THE FOLLOWING FOR THE GROUP AND LOCATION DESIGNATED, PER TABLE 803.13:

EXIT STAIRS AND CORRIDORS AND ROOMS & EXIT PASSAGEWAYS EXIT ACCESS STAIRWAYS ENCLOSED SPACES R-3 NO RESTRICTIONS NO RESTRICTIONS NO

803.1.2 INTERIOR WALL AND CEILING FINISH MATERIALS TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDICES.

<u>CLASS A</u> = FLAME SPREAD INDEX 0-25; SMOKE-DEVELOPED INDEX 0-450. CLASS B = FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450. CLASS C = FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450. EXCEPTION: MATERIALS TESTED IN ACCORDANCE WITH SECTION 803.1.1 AND AS INDICATED IN SECTIONS 803.1.3 THROUGH 803.13.

FIRE ALARM AND DETECTION SYSTEMS (SECTION 907) [F] 907.2 WHERE REQUIRED-NEW BUILDINGS AND STRUCTURES. AN APPROVED FIRE ALARM SYSTEM INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND NFPA 72 SHALL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES IN ACCORDANCE WITH SECTIONS 907.2.1 THROUGH 907.2.23 AND PROVIDE OCCUPANT NOTIFICATION IN ACCORDANCE WITH SECTION 907.5, UNLESS OTHER REQUIREMENTS ARE

NOT FEWER THAN ONE MANUAL FIRE ALARM BOX SHALL BE PROVIDED IN AN 711.2.4 FIRE-RESISTANCE RATING. THE FIRE-RESISTANCE RATING OF APPROVED LOCATION TO INITIATE A FIRE ALARM SIGNAL FOR FIRE ALARM SYSTEMS EMPLOYING AUTOMATIC FIRE DETECTORS OR WATERFLOW DETECTION DEVICES. WHERE OTHER SECTIONS OF THIS CODE ALLOW ELIMINATION OF FIRE ALARM BOXES DUE TO SPRINKLERS, A SINGLE FIRE ALARM BOX SHALL BE INSTALLED.

PROVIDED BY ANOTHER SECTION OF THIS CODE.

[F] 907.2.2 GROUP B. A MANUAL FIRE ALARM SYSTEM SHALL BE INSTALLED IN GROUP B OCCUPANCIES WHERE ONE OF THE FOLLOWING CONDITIONS

1. THE COMBINED GROUP B OCCUPANT LOAD OF ALL FLOORS IS 500 OR

2. THE GROUP B OCCUPANT LOAD IS MORE THAN 100 PERSONS ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE. 3. THE FIRE AREA CONTAINS AN AMBULATORY CARE FACILITY. EXCEPTION: MANUAL FIRE ALARM BOXES ARE NOT REQUIRED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER

SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 AND THE

NOTIFICATION ZONES UPON SPRINKLER WATER FLOW

OCCUPANT NOTIFICATION APPLIANCES WILL ACTIVATE THROUGHOUT THE

NUMBER OF EXITS AND EXIT ACCESS DOORWAYS (SECTION 1006) 1006.3.3.1 MIXED OCCUPANCIES. WHERE ONE EXIT, OR EXIT ACCESS STAIRWAY OR RAMP PROVIDING ACCESS TO EXITS AT OTHER STORIES, IS PERMITTED TO SERVE INDIVIDUAL STORIES, MIXED OCCUPANCIES SHALL BE PERMITTED TO BE SERVED BY SINGLE EXITS PROVIDED EACH INDIVIDUAL OCCUPANCY COMPLIES WITH THE APPLICABLE REQUIREMENTS OF TABLE 1006.3.3(1) OR 1006.3.3(2) FOR THAT OCCUPANCY. WHERE APPLICABLE, CUMULATIVE OCCUPANT LOADS FROM ADJACENT OCCUPANCIES SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1004.1. IN EACH STORY OF A MIXED OCCUPANCY BUILDING, THE MAXIMUM NUMBER OF OCCUPANTS SERVED BY A SINGLE EXIT SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE CALCULATED NUMBER OF OCCUPANTS OF THE SPACE DIVIDED BY THE ALLOWABLE NUMBER OF OCCUPANTS INDICATED IN TABLE 1006.3.3(2) FOR EACH OCCUPANCY DOES NOT EXCEED ONE. WHERE DWELLING UNITS ARE LOCATED ON A STORY WITH OTHER OCCUPANCIES, THE ACTUAL NUMBER OF DWELLING UNITS DIVIDED BY FOUR PLUS THE RATIO FROM THE OTHER OCCUPANCY DOES NOT EXCEED ONE.

GENERAL MEANS OF EGRESS (SECTION 1003) CEILING HEIGHT SHALL NOT BE LESS THAN 7 FEET 6 INCHES. EXITS SHALL BE CONTINOUS FROM THE POINT OF ENTRY INTO THE EXIT TO THE EXIT

MEANS OF EGRESS SIZING (SECTION 1005)

DISCHARGE PER SECTION 1003.6.

1005.7 ENCROACHMENT. ENCROACHMENTS INTO THE REQUIRED MEANS OF EGRESS WIDTH SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION. 1005.7.1 DOORS. DOORS, WHEN FULLY OPENED, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7 INCHES (178 MM). DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF.

2. THE RESTRICTIONS ON DOOR SWING SHALL NOT APPLY TO DOORS WITHIN INDIVIDUAL DWELLING UNITS AND SLEEPING UNITS OF GROUP R-2 OCCUPANCIES AND DWELLING UNITS OF GROUP R-3 OCCUPANCIES.

### CODE INFORMATION

FIRE PARTITIONS (SECTION 708), CONTINUED 3. FIRE PARTITIONS SERVING AS A CORRIDOR WALL SHALL BE PERMITTED TO TERMINATE AT THE UPPER MEMBRANE OF THE CORRIDOR CEILING ASSEMBLY WHERE THE CORRIDOR CEILING IS CONSTRUCTED AS REQUIRED FOR THE CORRIDOR WALL.

708.4.1 SUPPORTING CONSTRUCTION. THE SUPPORTING CONSTRUCTION FOR A FIRE PARTITION SHALL HAVE A FIRE-RESISTANCE RATING THAT IS EQUAL TO OR GREATER THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE SUPPORTED FIRE PARTITION. EXCEPTION: IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION, THE SUPPORTING CONSTRUCTION REQUIREMENT SHALL NOT APPLY TO FIRE PARTITIONS SEPARATING TENANT SPACES IN COVERED AND OPEN MALL BUILDINGS, FIRE PARTITIONS

SEPARATING DWELLING UNITS, FIRE PARTITIONS SEPARATING SLEEPING UNITS AND FIRE PARTITIONS SERVING AS CORRIDOR WALLS. IN BUILDINGS OF TYPE IIB, IIIB AND VB CONSTRUCTION, THE SUPPORTING

CONSTRUCTION REQUIREMENT SHALL NOT APPLY TO FIRE PARTITIONS SEPARATING TENANT SPACES IN COVERED AND OPEN MALL BUILDINGS, FIRE PARTITIONS SEPARATING DWELLING UNITS, FIRE PARTITIONS SEPARATING SLEEPING UNITS AND FIRE PARTITIONS SERVING AS CORRIDOR WALLS. 708.4.2 FIREBLOCKS AND DRAFTSTOPS IN COMBUSTIBLE CONSTRUCTION. IN COMBUSTIBLE CONSTRUCTION WHERE FIRE PARTITIONS DO NOT EXTEND TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE, THE SPACE ABOVE AND ALONG THE LINE OF THE FIRE PARTITION SHALL BE PROVIDED WITH ONE OF THE FOLLOWING: 1. FIREBLOCKING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.2.1

2. DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH SECTION 718.3.1 FOR FLOORS OR SECTION 718.4.1 FOR ATTICS.

1. BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1, OR IN ACCORDANCE WITH SECTION 903.3.1.2 PROVIDED THAT PROTECTION IS PROVIDED IN THE SPACE BETWEEN THE TOP OF THE FIRE PARTITION AND UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE AS REQUIRED FOR SYSTEMS COMPLYING WITH SECTION 903.3.1.1. 2. WHERE CORRIDOR WALLS PROVIDE A SLEEPING UNIT OR DWELLING UNIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.

5. IN GROUP R-3 OCCUPANCIES WITH FEWER THAN THREE DWELLING UNITS, FIRE-BLOCKING AND DRAFTSTOPPING SHALL NOT BE REQUIRED IN FLOOR ASSEMBLIES.

FLOOR AND ROOF ASSEMBLIES (SECTION 711) 711.2 HORIZONTAL ASSEMBLIES. HORIZONTAL ASSEMBLIES SHALL COMPLY

WITH SECTIONS 711.2.1 THROUGH 711.2.6. 711.2.1 MATERIALS. ASSEMBLIES SHALL BE OF MATERIALS PERMITTED BY THE BUILDING TYPE OF CONSTRUCTION. 711.2.2 CONTINUITY. ASSEMBLIES SHALL BE CONTINUOUS WITHOUT

VERTICAL OPENINGS, EXCEPT AS PERMITTED BY THIS SECTION AND SECTION 711.2.3 SUPPORTING CONSTRUCTION. THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED EXCEPTION: IN BUILDINGS OF TYPE IIB, IIIB OR VB CONSTRUCTION, THE

CONSTRUCTION SUPPORTING THE HORIZONTAL ASSEMBLY IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED AT THE FOLLOWING: 1. HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF INCIDENTAL USES AS SPECIFIED BY TABLE 509 PROVIDED THAT THE REQUIRED FIRE-RESISTANCE RATING DOES NOT EXCEED 1 HOUR.

2. HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF DWELLING UNITS AND SLEEPING UNITS AS REQUIRED BY SECTION 420.3. 3. HORIZONTAL ASSEMBLIES AT SMOKE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 709.

HORIZONTAL ASSEMBLIES SHALL COMPLY WITH SECTIONS 711.2.4.1 THROUGH 711.2.4.6 BUT SHALL BE NOT LESS THAN THAT REQUIRED BY THE BUILDING TYPE OF CONSTRUCTION. 711.2.4.1 SEPARATING MIXED OCCUPANCIES. WHERE THE HORIZONTAL

ASSEMBLY SEPARATES MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED. 711.2.4.3 DWELLING UNITS AND SLEEPING UNITS. HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-

RATED CONSTRUCTION. EXCEPTION: HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS AND SLEEPING UNITS SHALL BE NOT LESS THAN 1/2-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IN A BUILDING OF TYPES IIB, IIIB AND VB CONSTRUCTION, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

711.2.6 UNUSABLE SPACE. IN 1-HOUR FIRE-RESISTANCE-RATED FLOOR/CEILING ASSEMBLIES, THE CEILING MEMBRANE IS NOT REQUIRED TO BE INSTALLED OVER UNUSABLE CRAWL SPACES. IN 1-HOUR FIRE-RESISTANCE-RATED ROOF ASSEMBLIES, THE FLOOR MEMBRANE IS NOT REQUIRED TO BE INSTALLED WHERE UNUSABLE ATTIC SPACE OCCURS ABOVE.

SHAFT ENCLOSURES (SECTION 713) 713.2 CONSTRUCTION. SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH. 713.4 FIRE-RESISTANCE RATING. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE, AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2 HOURS. SHAFT ENCLOSURES SHALL MEET THE REQUIREMENTS OF SECTION 703.2.1. 713.5 CONTINUITY. SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE

BARRIERS IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH, AND SHALL HAVE CONTINUITY IN ACCORDANCE WITHSECTION 707.5 FOR FIRE BARRIERS OR SECTION 711.2.2 FOR HORIZONTAL ASSEMBLIES, AS APPLICABLE 713.7 OPENINGS. OPENINGS IN A SHAFT ENCLOSURE SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716 AS REQUIRED FOR FIRE BARRIERS. DOORS SHALL BE SELF- OR AUTOMATIC-CLOSING BY SMOKE DETECTION IN ACCORDANCE WITH SECTION 716.2.6.6.

713.7.1 PROHIBITED OPENINGS. OPENINGS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED IN SHAFT ENCLOSURES.

CODE INFORMATION

FIRE-RESISTANCE RATING OF STRUCTURAL MEMBERS (SECTION 704) 704.4.1 LIGHT-FRAME CONSTRUCTION. STUDS, COLUMNS AND BOUNDARY ELEMENTS THAT ARE INTEGRAL ELEMENTS INWALLS OF LIGHT-FRAME CONSTRUCTION AND ARE LOCATED ENTIRELY BETWEEN THE TOP AND BOTTOM PLATES OR TRACKS SHALL BE PERMITTED TO HAVE REQUIRED FIRE-RESISTANCE RATINGS PROVIDED BY THE MEMBRANE PROTECTION PROVIDED FOR THE WALL.

**EXTERIOR WALLS (SECTION 705)** 

INCHES (762 MM).

705.11 PARAPETS. PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS OF BUILDINGS.

EXCEPTIONS: A PARAPET NEED NOT BE PROVIDED ON AN EXTERIOR WALL WHERE ANY OF THE FOLLOWING CONDITIONS EXIST: 5. IN GROUPS R-2 AND R-3 WHERE THE ENTIRE BUILDING IS PROVIDED WITH A CLASS C ROOF COVERING, THE EXTERIOR WALL SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING OR DECK IN TYPES III, IV AND V CONSTRUCTION, PROVIDED THAT ONE OR BOTH OF THE FOLLOWING CRITERIA IS MET:

5.1. THE ROOF SHEATHING OR DECK IS CONSTRUCTED OF APPROVED NONCOMBUSTIBLE MATERIALS OR OF FIRE-RETARDANT TREATED WOOD FOR A DISTANCE OF 4 FEET (1220 MM).

5.2. THE ROOF IS PROTECTED WITH 0.625-INCH (16 MM) TYPE X GYPSUM BOARD DIRECTLY BENEATH THE UNDERSIDE OF THE ROOF SHEATHING OR DECK, SUPPORTED BY NOT LESS THAN NOMINAL 2-INCH (51 MM) LEDGERS ATTACHED TO THE SIDES OF THE ROOF FRAMING MEMBERS FOR A MINIMUM DISTANCE OF 4 FEET (1220 MM)

6. WHERE THE WALL IS PERMITTED TO HAVE NOT LESS THAN 25 PERCENT OF

THE EXTERIOR WALL AREAS CONTAINING UNPROTECTED OPENINGS BASED ON FIRE SEPARATION DISTANCE AS DETERMINED IN ACCORDANCE WITH SECTION 705.8. [= FSD OF 5' OR GREATER IN A SPRINKLERED BUILDING] 705.11.1 PARAPET CONSTRUCTION, PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR THE SUPPORTING WALL, AND ON ANY SIDE ADJACENT TO A ROOF SURFACE, SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 18 INCHES (457 MM), INCLUDING COUNTERFLASHING AND COPING MATERIALS. THE HEIGHT OF THE PARAPET SHALL BE NOT LESS THAN 30 INCHES (762 MM) ABOVE THE POINT WHERE THE ROOF SURFACE AND THE WALL INTERSECT. WHERE THE ROOF SLOPES TOWARD A PARAPET AT A SLOPE GREATER THAN TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (16.7-PERCENT SLOPE), THE PARAPET SHALL EXTEND TO THE SAME HEIGHT AS ANY PORTION OF THE ROOF WITHIN A FIRE SEPARATION DISTANCE WHERE PROTECTION OF WALL OPENINGS IS REQUIRED, BUT THE HEIGHT SHALL BE NOT LESS THAN 30

FIRE BARRIERS (SECTION 707) 707.3 FIRE-RESISTANCE RATING. THE FIRE-RESISTANCE RATING OF FIRE BARRIERS SHALL COMPLY WITH THIS SECTION 707.3.1 SHAFT ENCLOSURES. THE FIRE-RESISTANCE RATING OF THE FIRE

SECTION 713.4. 707.3.2 INTERIOR EXIT STAIRWAY AND RAMP CONSTRUCTION. THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN INTERIOR EXIT STAIRWAY OR RAMP SHALL COMPLY WITH SECTION 1023.1. 707.3.3 ENCLOSURES FOR EXIT ACCESS STAIRWAYS. THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT ACCESS STAIRWAY OR RAMP SHALL COMPLY WITH SECTION 713.4. 707.3.4 EXIT PASSAGEWAY. THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT PASSAGEWAY SHALL COMPLY

BARRIER SEPARATING BUILDING AREAS FROM A SHAFT SHALL COMPLY WITH

WITH SECTION 1024.3. 707.3.9 SEPARATED OCCUPANCIES. WHERE THE PROVISIONS OF SECTION 508.4 ARE APPLICABLE, THE FIRE BARRIER SEPARATING MIXED OCCUPANCIES SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED. 707.5 CONTINUITY. FIRE BARRIERS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE AND SHALL BE SECURELY ATTACHED THERETO. SUCH FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACE, SUCH AS THE SPACE ABOVE A SUSPENDED CEILING. JOINTS AND VOIDS AT INTERSECTIONS SHALL COMPLY WITH SECTIONS 707.8 AND 707.9

**EXCEPTIONS:** 1. SHAFT ENCLOSURES SHALL BE PERMITTED TO TERMINATE AT A TOP ENCLOSURE COMPLYING WITH SECTION 713.12. 2. INTERIOR EXIT STAIRWAY AND RAMP ENCLOSURES REQUIRED BY SECTION 1023 AND EXIT ACCESS STAIRWAY AND RAMP ENCLOSURES REQUIRED BY SECTION 1019 SHALL BE PERMITTED TO TERMINATE AT A TOP ENCLOSURE COMPLYING WITH SECTION 713.12.

707.5.1 SUPPORTING CONSTRUCTION. THE SUPPORTING CONSTRUCTION FOR A FIRE BARRIER SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE FIRE BARRIER SUPPORTED. HOLLOW VERTICAL SPACES WITHIN A FIRE BARRIER SHALL BE FIRE BLOCKED IN ACCORDANCE WITH SECTION 718.2 AT EVERY FLOOR LEVEL.

**EXCEPTIONS:** 2. SUPPORTING CONSTRUCTION FOR 1-HOUR FIRE BARRIERS REQUIRED BY TABLE 509 IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED UNLESS REQUIRED BY OTHER SECTIONS OF THIS CODE.

FIRE PARTITIONS (SECTION 708) 708.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

1. CORRIDOR WALLS PERMITTED TO HAVE A 1/2-HOUR FIRE-RESISTANCE RATING BY TABLE 1020.1

2. DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPES IIB, IIIB AND VB CONSTRUCTION SHALL HAVE FIRE RESISTANCE RATINGS OF NOT LESS THAN 1/2-HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION

708.4 CONTINUITY. FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW AND BE SECURELY ATTACHED TO ONE OF THE FOLLOWING:

1. THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB 2. THE UNDERSIDE OF A FLOOR/CEILING OR ROOF/CEILING ASSEMBLY HAVING A FIRE-RESISTANCE RATING THAT IS NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE PARTITION. **EXCEPTIONS:** 

1. FIRE PARTITIONS SHALL NOT BE REQUIRED TO EXTEND INTO A CRAWL SPACE BELOW WHERE THE FLOOR ABOVE THE CRAWL SPACE HAS A MINIMUM 1-HOUR FIRE-RESISTANCE RATING. 2. FIRE PARTITIONS SERVING AS A CORRIDOR WALL SHALL NOT BE REQUIRED TO EXTEND ABOVE THE LOWER MEMBRANE OF A CORRIDOR CEILING PROVIDED THAT THE CORRIDOR CEILING MEMBRANE IS EQUIVALENT TO CORRIDOR WALL MEMBRANE, AND EITHER OF THE FOLLOWING CONDITIONS IS MET:

2.1. THE ROOM-SIDE MEMBRANE OF THE CORRIDOR WALL EXTENDS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB OF A FIRE-RESISTANCE-RATED FLOOR OR ROOF ABOVE. 2.2. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, INCLUDING AUTOMATIC SPRINKLERS INSTALLED IN THE SPACE BETWEEN THE TOP OF THE FIRE PARTITION AND UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE.

### CODE INFORMATION

CITY OF KETCHUM CODE AMENDMENTS COMBUSTIBLE MATERIALS ON THE EXTERIOR SIDE OF EXTERIOR WALLS

(SECTION 1405, CITY OF KETCHUM CODE AMENDMENT) SECTION 1405.1 IS AMENDED AS FOLLOWS BY ADDING THE FOLLOWING SENTENCE: ALL MATERIALS WITHIN 12" VERTICAL OF FINISHED GRADE SHALL BE 1 HOUR RATED, NONCOMBUSTIBLE, OR COVERED WITH MINIMUM 28 GAUGE FLASHING. THE AREA 12" HORIZONTAL FROM THE BASE OF A WALL SHALL BE FINISHED IN A WAY TO PREVENT ANY VEGETATION GROWING, AND FOR VEGETATIVE DEBRIS TO BE EASILY REMOVED.

ROOFING FIRE CLASSIFICATION (SECTION 1505, CITY OF KETCHUM CODE AMENDMENT)

SECTION 1505.1 IS AMENDED AS FOLLOWS: 1505.2 CLASS A ROOFING REQUIRED. CLASS A ROOF ASSEMBLIES WITH NO WOOD PRODUCTS IN THE ROOF COVERING ARE REQUIRED ON ALL NEW BUILDINGS. CLASS A ROOF ASSEMBLIES WITH NO WOOD PRODUCTS IN ROOF COVERING ARE REQUIRED FOR ALL RE-ROOFS OVER 3,000 SQUARE FEET OF ROOF AREA. CLASS A IS NOT REQUIRED WHEN LESS THAN TWENTY-FIVE (25) PERCENT OF THE ROOF AREA IS BEING REPAIRED AND ADDITIONAL AREAS ARE NOT SUBSEQUENTLY REPAIRED WITHIN FIVE (5) YEARS. ADDITIONS TO BUILDINGS OVER 1,000 SQUARE FEET OF ROOF AREA REQUIRE THAT THE ROOF OF THE ENTIRE BUILDING BE UPGRADED TO A CLASS A ROOF ASSEMBLY WITH NO WOOD PRODUCTS IN THE ROOF COVERING SECTION 1513 IS ADDED: 1513 SNOW RETENTION DEVICES. THESE DEVICES

ARE PERMANENTLY ATTACHED TO THE ROOFING ASSEMBLY AND SHALL BE PLACED ON THE ROOF ABOVE, INCLUDING BUT NOT LIMITED TO, SKYLIGHTS, SUN ROOMS, GREENHOUSES, AND PEDESTRIAN AREAS, TO LIMIT THE POTENTIAL FOR SLIDING SNOW OR ICE ONTO PEDESTRIAN AREAS BELOW SAID ROOF AREAS FOR ALL OCCUPANCIES. MINIMUM DESIGN SHALL BE EQUAL TO THE DESIGN ROOF SNOW LOAD OF 100 POUNDS PER SQUARE FOOT.

2018 INTERNATIONAL BUILDING CODE (IBC) REFERENCES MOTOR-VEHICLE-RELATED OCCUPANCIES (SECTION 406)

406.2.1 AUTOMATIC GARAGE DOOR OPENERS AND VEHICULAR GATES. AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 325. WHERE PROVIDED, AUTOMATIC VEHICULAR GATES SHALL COMPLY WITH SECTION 3110.

406.2.2 CLEAR HEIGHT. THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7 FEET (2134 MM). CANOPIES UNDER WHICH FUELS ARE DISPENSED SHALL HAVE A CLEAR HEIGHT IN ACCORDANCE WITH SECTION 406.7.2.

406.2.3 ACCESSIBLE PARKING SPACES. WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES SERVING ACCESSIBLE PARKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1106.

406.2.7 ELECTRIC VEHICLE CHARGING STATIONS. WHERE PROVIDED, ELECTRIC VEHICLE CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70. ELECTRIC VEHICLE CHARGING SYSTEM EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2202. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2594. ACCESSIBILITY TO ELECTRIC VEHICLE CHARGING STATIONS SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 1.

406.3.1 CLASSIFICATION: PRIVATE GARAGES AND CARPORTS SHALL BE CLASSIFIED AS GROUP U OCCUPANCIES. EACH PRIVATE GARAGE SHALL BE NOT GREATER THAN 1,000 SQUARE FEET (93 M ) IN AREA. MULTIPLE PRIVATE GARAGES ARE PERMITTED IN A BUILDING WHERE EACH PRIVATE GARAGE IS SEPARATED FROM THE OTHER PRIVATE GARAGES BY 1-HOUR FIRE BARRIERS IN ACCORDANCE WITH SECTION 707, OR 1-HOUR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH

\*406.3.2 SEPARATION: FOR OTHER THAN PRIVATE GARAGES ADJACENT TO DWELLING UNITS, THE SEPARATION OF PRIVATE GARAGES FROM OTHER OCCUPANCIES SHALL COMPLY WITH SECTION 508. SEPARATION OF PRIVATE GARAGES FROM DWELLING UNITS SHALL COMPLY WITH SECTIONS 406.3.2.1

406.3.2.1 DWELLING UNIT SEPARATION: THE PRIVATE GARAGE SHALL BE Separated from the dwelling unit and its attic area by means of GYPSUM BOARD, NOT LESS THAN 1/2-INCH IN THICKNESS, APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2-INCH GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8-INCHES IN THICKNESS, OR DOORS IN COPMLIANCE WITH SECTION 716.2.2.1 WITH A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING.

GROUPS I-1, R-1, R-2, R-3 AND R-4 (SECTION 420) 420.2 SEPARATION WALLS. WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER

OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708. 420.3 HORIZONTAL SEPARATION. FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711 EXCEPTION: IN GROUP R-3 AND R-4 FACILITIES, FLOOR ASSEMBLIES WITHIN THE DWELLING UNITS OR SLEEPING UNITS ARE NOT REQUIRED TO BE

CONSTRUCTED AS HORIZONTAL ASSEMBLIES. [F] 420.4 AUTOMATIC SPRINKLER SYSTEM. GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2.

[F] 420.5 FIRE ALARM SYSTEMS AND SMOKE ALARMS. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP I-1, R-1 AND R-2 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8 AND 907.2.9, RESPECTIVELY. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUPS I-1, R-2, R-3 AND R-4 IN ACCORDANCE WITH SECTION 907.2.10

420.9 GROUP R COOKING FACILITIES. IN GROUP R OCCUPANCIES, COOKING APPLIANCES USED FOR DOMESTIC COOKING OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 917.2 OF THE INTERNATIONAL MECHANICAL CODE.

### CODE INFORMATION

ALLOWABLE BUILDING AREA TABLE 506.2 ALLOWABLE AREA FACTOR:

R-3, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1, TYPE V-B =  $\underline{\text{UNLIMITED}}$ B, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1), TYPE V-B =  $\underline{27,000}$  SF U, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1), TYPE V-B = 16,500 SF\*FRONTAGE AND SPRINKLER INCREASES NOT CALC'D DUE TO

AREA CONFORMANCE WITHOUT AREA MODIFICATIONS **OCCUPANT LOAD:** 

TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GROSS

**BUSINESS AREAS OCCUPANT LOAD FACTOR: 150 GROSS** RESIDENTIAL OCCUPANT LOAD FACTOR: 200 GROSS PARKING GARAGES OCCUPANT LOAD FACTOR: 200 GROSS

FIRST FLOOR: OFFICE (B): 848 / 150 = 5.65COMMON HALL (B): 442 / 150 = 2.95PRIVATE GARAGES (U): (774+490) / 200 = 6.32UNIT 1 RESIDENTIAL (R-3): 750 / 200 = 3.75UNIT 2 RESIDENTIAL (R-3): 175 / 200 = 0.875

SECOND FLOOR: <u>UNIT 2 RESIDENTIAL (R-3): 1,951 / 200 = 9.755</u> TOTAL SECOND FLOOR OCCUPANT LOAD: 9.755 = 10

TOTAL FIRST FLOOR OCCUPANT LOAD: 19.545 = 20

UNIT 2 RESIDENTIAL (R-3): 38 / 200 = 0.19MECHANICAL: 377 / 300 = 1.26TOTAL THIRD FLOOR OCCUPANT LOAD: 1.45 = 2

TOTAL 'B' OCCUPANT LOAD: TOTAL UNIT 1 'R-3' OCCUPANT LOAD: TOTAL UNIT 2 'R-3' OCCUPANT LOAD: TOTAL PRIVATE GARAGE 'U' OCC LOAD: TOTAL BUILDING OCCUPANT LOAD:

TYPE OF CONSTRUCTION: V-B **SPRINKLER SYSTEM** NFPA 13 SPRINKLER SYSTEM THROUGHOUT

THE BUILDING PER 903.3.1.1

**BUILDING AREA AND HEIGHT (TABLE 503)** 

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS Table 601, based on type V-B construction: PRIMARY STRUCTURAL FRAME: 0-HOUR INTERIOR / EXTERIOR BEARING WALLS 0-HOUR EXTERIOR NONBEARING WALLS AND PARTITIONS: SEE TABLE 602 INTERIOR NONBEARING WALLS AND PARTITIONS: 0-HOUR FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS: 0-HOUR ROOF CONSTRUCTION AND ASSOCIATED MEMBERS: 0-HOUR

FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE TABLE 602, BASED ON TYPE V-B CONSTRUCTION AND OCCUPANCIES R-3, B, AND U:

<u>SOUTH</u> **WEST** LESS THAN 5 FT N/A 1-HOUR N/A N/A 5 TO 10 FEET N/A N/A N/A 0-HOUR 10 TO 30 FEET 0-HOUR 30 FEET PLUS 0-HOUR 0-HOUR 0-HOUR 0-HOUR

\*NOTE I' FOR OCCUPANCY GROUP R: FOR A GROUP R-3 BUILDING OF TYPE VB CONSTRUCTION, THE EXTERIOR WALL SHALL NOT BE REQUIRED TO HAVE A FIRE-RESISTANCE RATING WHERE THE FIRE SEPARATION DISTANCE IS 5 FEET OR GREATER.

EXTERIOR WALLS (SECTION 705)

705.5 FIRE-RESISTANCE RATINGS. EXTERIOR WALLS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLES 601 AND 602 AND THIS SECTION. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET (3048 MM) SHALL BE RATED FOR EXPOSURE TO FIRE FROM THE INSIDE. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF LESS THAN OR EQUAL TO 10 FEET (3048 MM) SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES.

TABLE 705.8: MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION SOUTH ELEVATION AT INTERIOR PROPERTY LINE: EXTERIOR WALLS WITH A FIRE SEPARATION OF 0' TO LESS THAN 3' SHALL NOT BE PERMITTED TO HAVE OPENINGS.

SOUTH ELEVATION AT OFFICE ENTRY: EXTERIOR WALLS WITH A FIRE SEPARATION OF 25' TO LESS THAN 30' HAVE NO LIMIT OF EXTERIOR WALL OPENINGS WHEN UNPROTECTED AND SPRINKLERED. EAST ELEVATION\* (20' ALLEY ROW WIDTH + 3' ALLEY SETBACK = 13' MINIMUM SEPARATION DISTANCE TO CENTERLINE OF ALLEY]: EXTERIOR WALLS WITH A FIRE SEPARATION OF 10' TO LESS 15' SHALL HAVE WALL OPENINGS LIMITED TO 45% WHEN UNPROTECTED AND SPRINKLERED. NORTH ELEVATION\* (60' ROW WIDTH = 30' MINIMUM SEPARATION DISTANCE TO CENTERLINE OF ROW) AND WEST ELEVATION\* (100' ROW <u>WIDTH = 50' MINIMUM SEPARATION DISTANCE TO CENTERLINE OF ROW):</u> EXTERIOR WALLS WITH A FIRE SEPARATION OF 30' OR GREATER HAVE NO

LIMIT OF EXTERIOR WALL OPENINGS. \*NOTE 'f': THE AREA OF UNPROTECTED AND PROTECTED OPENINGS SHALL NOT BE LIMITED FOR GROUP R-3 OCCUPANCIES, WITH A FIRE SEPARATION DISTANCE OF 5 FEET OR GREATER.

MIXED USE AND OCCUPANCY (SECTION 508) TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES OCCUPANCY 'R' TO OCCUPANCY 'B' (SPRINKLERED): 1-HR OCCUPANCY 'R' TO OCCUPANCY 'U' (SPRINKLERED): 1-HR\* \*SEE 406.3.2 RE: PRIVATE GARAGES

508.2.4 SEPARATION OF OCCUPANCIES EXCEPTION 2: GROUP I-1, R-1, R-2, AND R-3 DWELLING UNITS AND SLEEPING UNITS SHALL BE SEPARATED FROM OTHER DWELLING OR SLEEPING UNITS AND FROM ACCESSORY OCCUPANCIES CONTIGUOUS TO THEM IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 420. 508.4.4 SEPARATION. INDIVIDUAL OCCUPANCIES SHALL BE SEPARATED FROM ADJACENT OCCUPANCIES IN ACCORDANCE WITH TABLE 508.4. 508.4.4.1 CONSTRUCTION. REQUIRED SEPARATIONS SHALL BE FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH, SO AS TO COMPLETELY SEPARATE ADJACENT OCCUPANCIES.

### CODE INFORMATION

CODES REFERENCED: 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE

> 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2017 ICC 400 (STANDARDS ON THE DESIGN AND

CONSTRUCTION OF LOG STRUCTURES) JURISDICTIONS: CITY OF KETCHUM PLANNING & BUILDING

DEPARTMENTS

CITY OF KETCHUM FIRE DEPARTMENT <u>CITY OF KETCHUM PROJECT INFORMATION</u>

**BUILDING AREA**: FIRST FLOOR EXISTING (OFFICE): 742 S.F. NEW (OFFICE) 86 S.F. **NEW COMMON SPACE:** 442 S.F. **NEW COMMON PARKING:** 774 S.F. NEW UNIT 1 LIVING: 750 S.F. **NEW UNIT 2 GARAGE:** 510 S.F. **NEW UNIT 2 LIVING:** <u> 175 S.F.</u> 3,479 S.F. SUB-TOTAL:

> SUB-TOTAL TOWARDS F.A.R.: THREE PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 S.F. IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION  $[3,479 \text{ S.F.} - (3 \times (9 \times 18)) = 2,993 \text{ S.F.}$

SECOND FLOOR 1,944 S.F. UNIT 2 LIVING: 710 S.F. TERRACE: THIRD FLOOR UNIT 2 LIVING: 46 S.F. COMMON MECHANICAL: 377 S.F. TERRACE: 792 S.F. TOTAL REMODEL (EXISTING CABIN): 742 S.F.

TOTAL G.S.F. (INCLUDING GARAGES): 5,846 S.F.

5,104 S.F.

TOTAL TOWARDS F.A.R.: 5,360 S.F. [5,360 / 5,505 = 0.97 F.A.R.]

SITE AREA: 0.126 ACRES (5,505 S.F.) PARKING RQMTS: UNIT 1 (750 S.F. OR LESS): 0 SPACES UNIT 2 (2,001 S.F. AND ABOVE): 2 SPACES OFFICE (1 SPACE PER 1,000 G.S.F.): 1 SPACE

TOTAL NEW:

BUILDING COVERAGE: 3,559 S.F. (OR 64.7% OF LOT AREA)

**ZONING**: CC, SD 2 (COMMUNITY CORE, SUBDISTRICT 2: MIXED USE)

<u>SETBACKS</u>: FRONT AND STREET SIDE: 5' AVERAGE INTERIOR SIDE: 0' ADJACENT TO ALLEYWAY: 3

MAX BUILDING HEIGHT: 42'

2018 INTERNATIONAL BUILDING CODE (IBC) PROJECT INFORMATION

OFFICE: BUSINESS GROUP B (IBC 304.1), (2) RESIDENTIAL DWELLING UNITS: RESIDENTIAL GROUP R-3 (IBC 310.4), (2) PRIVATE GARAGES: UTILITY AND MISCELLANEOUS GROUP U (IBC 312), COMMON AREA HALL: MIXED USE, BUSINESS GRP B \*BUILDING WILL NOT BE CONDOMINIUMIZED,

OCCUPANCIES ARE TO BE SEPARATED PER CODE

6,066 SF

EXISTING OCCUPANCY OF CABIN: RESTAURANT GROUP A-2 (SECTION 303) TO CHANGE TO BUSINESS GROUP B WITH APPROVAL OF CODE OFFICIAL

TYPE OF CONSTRUCTION: V-B

NFPA 13 SPRINKLER SYSTEM THROUGHOUT SPRINKLER SYSTEM: THE BUILDING PER 903.3.1.1

ACTUAL BUILDING AREA (PER "AREA, BUILDING" DEFINITION OF SECTION 202) FIRST FLOOR: 3,432 SF SECOND FLOOR: 2,097 SF THIRD FLOOR: 537 SF

**ALLOWABLE BUILDING HEIGHT** TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE: R-3, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1,

TYPE V-B = 60 FEET B, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1, TYPE V-B = 60 FEETU, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1,

TYPE V-B = 60 FEETTABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE: R-3, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1, TYPE V-B = 4 STORIES B, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1, TYPE V-B = 3 STORIES

TYPE V-B = 2 STORIES504.2 MIXED OCCUPANCY. IN A BUILDING CONTAINING MIXED OCCUPANCIES IN ACCORDANCE WITH SECTION 508, NO INDIVIDUAL OCCUPANCY SHALL EXCEED THE HEIGHT AND NUMBER OF STORY LIMITS SPECIFIED IN THIS SECTION FOR THE APPLICABLE OCCUPANCIES.

U, SPRINKLERED IN ACCORDANCE WITH 903.3.1.1,

ALLOWABLE BUILDING AREA TABLE 506.2 ALLOWABLE AREA FACTOR:

R-3, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1, TYPE V-B = <u>UNLIMITED</u> B, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1), TYPE V-B = 27,000 SFU, SM (BUILDINGS TWO OR MORE STORIES SPRINKLERED IN ACCORDANCE WITH 903.3.1.1), TYPE V-B = 16,500 SF

\*FRONTAGE AND SPRINKLER INCREASES NOT CALC'D DUE TO CONFORMANCE WITHOUT AREA MODIFICATIONS

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ARCHITECTS

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DRAWINGS DATE: | ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 | DESIGN REVIEW 04/22/2022 | PRICING SET

08/05/2022 | PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION NUMBER: DATE:

3005.4 MACHINE ROOMS, CONTROL ROOMS, MACHINERY SPACES, AND CONTROL SPACES. ELEVATOR MACHINE ROOMS, CONTROL ROOMS, CONTROL SPACES AND MACHINERY SPACES OUTSIDE OF BUT ATTACHED TO A HOISTWAY THAT HAVE OPENINGS INTO THE HOISTWAY SHALL BE ENCLOSED WITH FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH. THEFIRE-RESISTANCE RATING SHALL BE NOT LESS THAN THE REQUIRED RATING OF THE HOISTWAY ENCLOSURE SERVED BY THE MACHINERY. OPENINGS IN THE FIRE BARRIERS SHALL BE PROTECTED WITH ASSEMBLIES HAVING A FIRE PROTECTION RATING NOT LESS THAN THAT REQUIRED FOR THE HOISTWAY ENCLOSURE DOORS.

1. FOR OTHER THAN FIRE SERVICE ACCESS ELEVATORS AND OCCUPANT EVACUATION ELEVATORS, WHERE MACHINE ROOMS, MACHINERY SPACES, CONTROL ROOMS AND CONTROL SPACES DO NOT ABUT AND DO NOT HAVE OPENINGS TO THE HOISTWAY ENCLOSURE THEY SERVE, THE FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH, SHALL BE PERMITTED TO BE REDUCED TO A 1-HOURFIRE-

RESISTANCE RATING. 2. FOR OTHER THAN FIRE SERVICE ACCESS ELEVATORS AND OCCUPANT EVACUATION ELEVATORS, IN BUILDINGS FOUR STORIES OR LESS ABOVE GRADE PLANE WHERE MACHINE ROOM, MACHINERY SPACES, CONTROL ROOMS AND CONTROL SPACES DO NOT ABUT AND DO NOT HAVE OPENINGS TO THE HOISTWAY ENCLOSURE THEY SERVE, THE MACHINE ROOM, MACHINERY SPACES, CONTROL ROOMS AND CONTROL SPACES ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED.

3006.2 HOISTWAY OPENING PROTECTION REQUIRED. ELEVATOR HOISTWAY DOOR OPENINGS SHALL BE PROTECTED IN ACCORDANCE WITHSECTION 3006.3 WHERE AN ELEVATOR HOISTWAY CONNECTS MORE THAN THREE STORIES, IS REQUIRED TO BE ENCLOSED WITHIN ASHAFT ENCLOSURE IN ACCORDANCE WITH SECTION 712.1.1 AND ANY OF THE FOLLOWING CONDITIONS APPLY

1. THE BUILDING IS NOT PROTECTED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 2. THE BUILDING CONTAINS A GROUP I-1, CONDITION 2 OCCUPANCY. 3. THE BUILDING CONTAINS A GROUP I-2 OCCUPANCY.

4. THE BUILDING CONTAINS A GROUP I-3 OCCUPANCY 5. THE BUILDING IS A HIGH RISE AND THE ELEVATOR HOISTWAY IS MORE THAN 75 FEET (22 860 MM) IN HEIGHT. THE HEIGHT OF THE HOISTWAY SHALL BE MEASURED FROM THE LOWEST FLOOR TO THE HIGHEST FLOOR OF

THE FLOORS SERVED BY THE HOISTWAY.

CODE INFORMATION

INTERIOR SPACE DIMENSIONS (SECTION 1207) 1207.1 MINIMUM ROOM WIDTHS. HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL BE NOT LESS THAN 7 FEET (2134 MM) IN ANY PLAN DIMENSION. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET (914 MM) BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS.

1207.2 MINIMUM CEILING HEIGHTS. OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES (2286 MM) ABOVE THE FINISHED FLOOR. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET (2134 MM) ABOVE THE FINISHED FLOOR.

1207.3 ROOM AREA. EVERY DWELLING UNIT SHALL HAVE NOT LESS THAN ONE ROOM THAT SHALL HAVE NOT LESS THAN 120 SQUARE FEET (11.2 M) OF NET FLOOR AREA. OTHER HABITABLE ROOMS SHALL HAVE ANET FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET (6.5 M). EXCEPTION: KITCHENS ARE NOT REQUIRED TO BE OF A MINIMUM FLOOR

SAFETY GLAZING, HAZARDOUS LOCATIONS (CHAPTER 24) 2406.4 HAZARDOUS LOCATIONS. THE LOCATIONS SPECIFIED IN SECTIONS 2406.4.1 THROUGH 2406.4.7 SHALL BE CONSIDERED TO BE SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS. 2406.4.1 GLAZING IN DOORS. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE

CONSIDERED TO BE A HAZARDOUS LOCATION. 2406.4.2 GLAZING ADJACENT TO DOORS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A

HAZARDOUS LOCATION. 2406.4.3 GLAZING IN WINDOWS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:

1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET (0.84 M). 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM)

ABOVE THE FLOOR. 3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES (914 MM)

ABOVE THE FLOOR. 4. ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES (914 MM) MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.

2406.4.4 GLAZING IN GUARDS AND RAILINGS. GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

2406.4.5 GLAZING AND WET SURFACES

GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING. EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES (1524 MM),

MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. SHALL BE MEASURED FROM THE LOWEST FLOOR TO THE HIGHEST FLOOR OF THE FLOORS SERVED BY THE HOISTWAY. 2406.4.6 GLAZING ADJACENT TO STAIRWAYS AND RAMPS. GLAZING WHERE

THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. **EXCEPTIONS:** 

1. THE SIDE OF A STAIRWAY, LANDING OR RAMP THAT HAS A GUARD COMPLYING WITH THE PROVISIONS OF SECTIONS 1015 AND 1607.8, AND THE PLANE OF THE GLASS IS GREATER THAN 18 INCHES (457 MM) FROM THE

RAILING. 2. GLAZING 36 INCHES (914 MM) OR MORE MEASURED HORIZONTALLY FROM THE WALKING SURFACE. 2406.4.7 GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING.

GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE LANDING AND WITHIN A 60-INCH (1524 MM) HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES (3.14 RAD) FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

FOAM PLASTIC INSULATION (SECTION 2603) 2603.4 THERMAL BARRIER. EXCEPT AS PROVIDED FOR IN SECTIONS 2603.4.1 AND 2603.9, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF 1/2-INCH (12.7 MM) GYPSUM WALLBOARD, HEAVY TIMBER IN ACCORDANCE WITHSECTION 602.4 OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275. COMBUSTIBLE

MINIMUM PLUMBING FACILITIES (SECTION 2902)

CONCEALED SPACES SHALL COMPLY WITHSECTION 718.

**TABLE 2902** BUSINESS (OCCUPANT LOAD = 9 PEOPLE TOTAL): - 1 WATER CLOSET PER 25 FOR THE FIRST 50

- 1 LAVATORY PER 40 FOR THE FIRST 80

- 0 BATHTUBS/SHOWERS - 1 DRINKING FOUNTAIN PER 100 (SEE SECTION 410 OF THE IPC) - 1 SERVICE SINK, <u>SUBNOTE E</u>: NOT REQUIRED FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER.

**RESIDENTIAL (APARTMENT HOUSE):** 

- 1 WATER CLOSET PER DWELLING UNIT - 1 LAVATORY PER DWELLING UNIT

- 1 BATHTUB/SHOWER PER DWELLING UNIT

- 1 KITCHEN SINK PER DWELLING UNIT - 1 AUTOMATIC CLOTHES WASHER CONNECTION PER 20 DWELLING UNITS [P] 2902.2 SEPARATE FACILITIES. WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

**EXCEPTIONS:** 1. SEPARATE FACILITIES SHALL NOT BE REQUIRED FOR DWELLING UNITS AND 2. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT

SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER. 4. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 25 OR FEWER. [P] 2902.6 SMALL OCCUPANCIES. DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER

CODE INFORMATION

ACCESSIBLE ENTRANCES (SECTION 1105) 1105.1 PUBLIC ENTRANCES. IN ADDITION TO ACCESSIBLE ENTRANCES REQUIRED BY SECTIONS 1105.1.1 THROUGH 1105.1.7, AT LEAST 60 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE 1105.1.7 DWELLING UNITS AND SLEEPING UNITS. AT LEAST ONE ACCESSIBLE ENTRANCE SHALL BE PROVIDED TO EACH DWELLING UNIT AND SLEEPING

UNIT IN A FACILITY. EXCEPTION: AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO DWELLING UNITS AND SLEEPING UNITS THAT ARE NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS.

DWELLING AND SLEEPING UNITS (SECTION 1107)

1107.6.3 GROUP R-3. IN GROUP R-3 OCCUPANCIES WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT AND SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT. BEDROOMS WITHIN CONGREGATE LIVING FACILITIES, DORMITORIES, SORORITIES, FRATERNITIES, AND BOARDING HOUSES SHALL BE COUNTED AS SLEEPING UNITS FOR THE PURPOSE OF DETERMINING THE NUMBER OF UNITS.

VENTILATION (SECTION 1202)

1202.3 UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILINGS APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS/RAFTERS AND THE STRUCTURAL ROOF SHEATHING AT THE TOP OF THE ROOF FRAMING MEMBERS SHALL BE PERMITTED WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE UNVENTED ATTIC SPACE IS COMPLETELY WITHIN THE BUILDING thermal envelope.

2. NO INTERIOR CLASS I VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY 3. WHERE WOOD SHINGLES OR SHAKES ARE USED, NOT LESS THAN A 1/4-INCH (6.4 MM) VENTED AIRSPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHEATHING. 4. IN CLIMATE ZONES 5, 6, 7 AND 8, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER OR SHALL HAVE A CLASS II VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT WITH THE UNDERSIDE OF THE INSULATION. 5. INSULATION SHALL BE LOCATED IN ACCORDANCE WITH THE FOLLOWING:

5.1. ITEM 5.1.1, 5.1.2, 5.1.3 OR 5.1.4 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHEATHING.

5.1.1. WHERE ONLY AIR-IMPERMEABLE INSULATION IS PROVIDED, IT SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.

5.1.2. WHERE AIR-PERMEABLE INSULATION IS PROVIDED INSIDE THE BUILDING THERMAL ENVELOPE, IT SHALL BE INSTALLED IN ACCORDANCE WITH ITEM 5.1.1. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHEATHING, RIGID BOARD OR SHEET INSULATION SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING IN ACCORDANCE WITH THE R-VALUES IN TABLE 1202.3 FOR CONDENSATION CONTROL.

5.1.3. WHERE BOTH AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION ARE PROVIDED, THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING IN ACCORDANCE WITH ITEM 5.1.1 AND SHALL BE IN ACCORDANCE WITH THE R-VALUES IN TABLE 1202.3 FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION.

5.1.4. ALTERNATIVELY, SUFFICIENT RIGID BOARD OR SHEET INSULATION SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING TO MAINTAIN THE MONTHLY AVERAGE TEMPERATURE OF THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING ABOVE 45°F (7°C). FOR CALCULATION PURPOSES, AN INTERIOR AIR TEMPERATURE OF 68°F (20°C) IS ASSUMED AND THE EXTERIOR AIR TEMPERATURE IS ASSUMED TO BE THE MONTHLY AVERAGE OUTSIDE AIR TEMPERATURE OF THE THREE COLDEST MONTHS.

TABLE 1202.3 INSULATION FOR CONDENSATION CONTROL CLIMATE ZONE 6: R-25 MINIMUM R-VALUE OF AIR-IMPERMEABLE

INSULATION.

1202.5 NATURAL VENTILATION. NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER OPENINGS TO THE OUTDOORS. THE OPERATING MECHANISM FOR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENINGS ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. 1202.5.1 VENTILATION AREA REQUIRED. THE OPENABLE AREA OF THE OPENINGS TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

1202.5.1.1 ADJOINING SPACES. WHERE ROOMS AND SPACES WITHOUT OPENINGS TO THE OUTDOORS ARE VENTILATED THROUGH AN ADJOINING ROOM, THE OPENING TO THE ADJOINING ROOM SHALL BE UNOBSTRUCTED AND SHALL HAVE AN AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE INTERIOR ROOM OR SPACE, BUT NOT LESS THAN 25 SQUARE FEET (2.3 M ). THE OPENABLE AREA OF THE OPENINGS TO THE OUTDOORS SHALL BE BASED ON THE TOTAL FLOOR AREA BEING VENTILATED.

1202.5.2.1 BATHROOMS. ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

LIGHTING (SECTION 1024)

1204.1 GENERAL. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1204.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT IN ACCORDANCE WITH SECTION 1204.3. EXTERIOR GLAZED OPENINGS SHALL OPEN DIRECTLY ONTO A PUBLIC WAY OR ONTO A YARD OR COURT IN ACCORDANCE WITH SECTION 1205. 1204.2 NATURAL LIGHT. THE MINIMUM NET GLAZED AREA SHALL BE NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED. 1204.3 ARTIFICIAL LIGHT. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS

ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOTCANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762 MM) ABOVE THE FLOOR LEVEL.

1204.4 STAIRWAY ILLUMINATION. STAIRWAYS WITHIN DWELLING UNITS AND EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOTCANDLE (11 LUX). STAIRWAYS IN OTHER OCCUPANCIES SHALL BE GOVERNED BY

CHAPTER 10. 1204.4.1 CONTROLS. THE CONTROL FOR ACTIVATION OF THE REQUIRED STAIRWAY LIGHTING SHALL BE IN ACCORDANCE WITH NFPA 70.

### CODE INFORMATION

GUARDS (SECTION 1015), CONTINUED 1015.4 OPENING LIMITATIONS. REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD

HEIGHT.

**EXCEPTIONS:** 6. WITHIN INDIVIDUAL DWELLING UNITS AND SLEEPING UNITS IN GROUP R-2 AND R-3 OCCUPANCIES, GUARDS ON THE OPEN SIDES OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 3/8 (111 MM)

INCHES IN DIAMETER. 1015.6 MECHANICAL EQUIPMENT, SYSTEMS AND DEVICES. GUARDS SHALL BE PROVIDED WHERE VARIOUS COMPONENTS THAT REQUIRE SERVICE ARE LOCATED WITHIN 10 FEET (3048 MM) OF A ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE AND SUCH EDGE OR OPEN SIDE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR, ROOF OR GRADE BELOW. THE GUARD SHALL EXTEND NOT LESS THAN 30 INCHES (762 MM) BEYOND EACH END OF SUCH COMPONENTS. THE GUARD SHALL BE CONSTRUCTED SO AS TO PREVENT THE PASSAGE OF A SPHERE 21 INCHES (533 MM) IN DIAMETER. EXCEPTION: GUARDS ARE NOT REQUIRED WHERE PERSONAL FALL ARREST ANCHORAGE CONNECTOR DEVICES THAT COMPLY WITH ANSI/ASSE Z 359.1 ARE INSTALLED.

1015.7 ROOF ACCESS. GUARDS SHALL BE PROVIDED WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET (3048 MM) OF A ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE AND SUCH EDGE OR OPEN SIDE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR, ROOF OR GRADE BELOW. THE GUARD SHALL BE CONSTRUCTED SO AS TO PREVENT THE PASSAGE OF A SPHERE 21 INCHES (533 MM) IN DIAMETER. EXCEPTION: GUARDS ARE NOT REQUIRED WHERE PERSONAL FALL ARREST ANCHORAGE CONNECTOR DEVICES THAT COMPLY WITH ANSI/ASSE Z 359.1 ARE INSTALLED.

1015.8 WINDOW OPENINGS. WINDOWS IN GROUP R-2 AND R-3 BUILDINGS INCLUDING DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES (1829 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WHERE THE TOP OF THE SILL OF THE OPENING IS LOCATED MORE THAN 75 FEET (22 860 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW AND THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2006. 2. OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION.

3. OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090. 4. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION 1015.8.1 1015.8.1 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN

EXIT ACCESS TRAVEL DISTANCE (SECTION 1017) 1017.2 LIMITATIONS. EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED

THE AREA REQUIRED BY SECTION 1030.2.

THE VALUES GIVEN IN TABLE 1017.2. 1017.3 MEASUREMENT. EXIT ACCESS TRAVEL DISTANCE SHALL BE MEASURED FROM THE MOST REMOTE POINT OF EACH ROOM, AREA OR SPACE ALONG THE NATURAL AND UNOBSTRUCTED PATH OF HORIZONTAL AND VERTICAL EGRESS TRAVEL TO THE ENTRANCE TO AN EXIT.

1017.3.1 EXIT ACCESS STAIRWAYS AND RAMPS. TRAVEL DISTANCE ON EXIT ACCESS STAIRWAYS OR RAMPS SHALL BE INCLUDED IN THE EXIT ACCESS TRAVEL DISTANCE MEASUREMENT. THE MEASUREMENT ALONG STAIRWAYS SHALL BE MADE ON A PLANE PARALLEL AND TANGENT TO THE STAIR TREAD NOSINGS IN THE CENTER OF THE STAIR AND LANDINGS. THE MEASUREMENT ALONG RAMPS SHALL BE MADE ON THE WALKING SURFACE IN THE CENTER OF THE RAMP AND LANDINGS.

EXIT ACCESS STAIRWAYS AND RAMPS (SECTION 1019) 1019.3 OCCUPANCIES OTHER THAN GROUPS I-2 AND I-3. IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS THAT DO NOT COMPLY WITH ONE OF THE CONDITIONS LISTED IN THIS SECTION SHALL BE ENCLOSED WITH A SHAFT ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713. 2. IN GROUP R-1, R-2 OR R-3 OCCUPANCIES, EXIT ACCESS STAIRWAYS AND RAMPS CONNECTING FOUR STORIES OR LESS SERVING AND CONTAINED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT OR LIVE/WORK

CORRIDORS (SECTION 1020) 1020.1 CONSTRUCTION. CORRIDORS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 1020.1. THE CORRIDOR WALLS REQUIRED TO BE

FIRE-RESISTANCE RATED SHALL COMPLY WITH SECTION 708 FOR FIRE PARTITIONS. 2. A FIRE-RESISTANCE RATING IS NOT REQUIRED FOR CORRIDORS CONTAINED WITHIN A DWELLING UNIT OR SLEEPING UNIT IN AN OCCUPANCY IN GROUPS I-1 AND R.

4. A FIRE-RESISTANCE RATING IS NOT REQUIRED FOR CORRIDORS IN AN OCCUPANCY IN GROUP B THAT IS A SPACE REQUIRING ONLY A SINGLE MEANS OF EGRESS COMPLYING WITH SECTION 1006.2. 5. CORRIDORS ADJACENT TO THE EXTERIOR WALLS OF BUILDINGS SHALL BE PERMITTED TO HAVE UNPROTECTED OPENINGS ON UNRATED EXTERIOR WALLS WHERE UNRATED WALLS ARE PERMITTED BY TABLE 602 AND UNPROTECTED OPENINGS ARE PERMITTED BY TABLE 705.8. TABLE 1020.1: CORRIDOR FIRE-RESISTANCE RATING OCCUPANCY B REQUIRED FIRE-RESISTANCE RATING: 0-HOUR, WITH

SPRINKLER SYSTEM TABLE 1020.2: MINIMUM CORRIDOR WIDTH: WITH AN OCCUPANT LOAD OF LESS THAN 50: 36" MINIMUM WIDTH WITHIN A DWELLING UNIT: 36" MINIMUM WIDTH

ACCESSIBLE ROUTE (SECTION 1104) 1104.1 SITE ARRIVAL POINTS. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE SERVED. EXCEPTION: OTHER THAN IN BUILDINGS OR FACILITIES CONTAINING OR SERVING TYPE B UNITS, AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF VERTICALLY ABOVE THE ADJACENT WALKING SURFACES. THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT

PROVIDING FOR PEDESTRIAN ACCESS. 1104.2 WITHIN A SITE. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.

### CODE INFORMATION

STAIRWAYS (SECTION 1011)

1011.2 WIDTH AND CAPACITY. THE REQUIRED CAPACITY OF STAIRWAYS SHALL BE DETERMINED AS SPECIFIED IN SECTION 1005.1, BUT THE MINIMUM WIDTH SHALL BE NOT LESS THAN 44 INCHES (1118 MM). SEE SECTION 1009.3 FOR ACCESSIBLE MEANS OF EGRESS STAIRWAYS. **EXCEPTIONS**:

1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES (914 MM). 1011.3 HEADROOM. STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 80 INCHES (2032 MM) MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING. 1011.5.2 RISER HEIGHT AND TREAD DEPTH

EXCEPTION: 2. IN GROUP R-3 OCCUPANCIES; WITHIN DWELLING UNITS IN GROUP R-2 OCCUPANCIES; AND IN GROUP U OCCUPANCIES THAT ARE ACCESSORY TO A GROUP R-3 OCCUPANCY OR ACCESSORY TO INDIVIDUAL DWELLING UNITS IN GROUP R-2 OCCUPANCIES; MINIMUM TREAD DEPTH SHALL BE 10 INCHES (254 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19.1 MM) BUT NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES (279 MM)

1011.6 STAIRWAY LANDINGS. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH OF LANDINGS, MEASURED PERPENDICULARLY TO THE DIRECTION OF TRAVEL, SHALL BE NOT LESS THAN THE WIDTH OF STAIRWAYS SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH, MEASURED PARALLEL TO THE DIRECTION OF TRAVEL, EQUAL TO THE WIDTH OF THE STAIRWAY OR 48 INCHES (1219 MM), WHICHEVER IS LESS. DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH. WHEN FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN 7 INCHES (178 MM) INTO A LANDING. WHERE WHEELCHAIR SPACES ARE REQUIRED ON THE STAIRWAY LANDING IN ACCORDANCE WITH SECTION 1009.6.3, THE WHEELCHAIR SPACE SHALL NOT BE LOCATED IN THE REQUIRED WIDTH OF THE LANDING AND DOORS SHALL NOT SWING OVER THE WHEELCHAIR SPACES

1011.7.3 ENCLOSURES UNDER INTERIOR STAIRWAYS. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIRWAY ENCLOSURE.

EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD

1011.11 HANDRAILS. FLIGHTS OF STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND SHALL COMPLY WITH SECTION 1014. WHERE GLASS IS USED TO PROVIDE THE HANDRAIL, THE HANDRAIL SHALL COMPLY WITH SECTION 2407. EXCEPTIONS: 1. FLIGHTS OF STAIRWAYS WITHIN DWELLING UNITS AND FLIGHTS OF SPIRAL STAIRWAYS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY. 1011.12.2 ROOF ACCESS. WHERE A STAIRWAY IS PROVIDED TO A ROOF

ACCESS TO THE ROOF SHALL BE PROVIDED THROUGH A PENTHOUSE COMPLYING WITH SECTION 1510.2. EXCEPTION: IN BUILDINGS WITHOUT AN OCCUPIED ROOF, ACCESS TO THE ROOF SHALL BE PERMITTED TO BE A ROOF HATCH OR TRAP DOOR NOT LESS THAN 16 SQUARE FEET (1.5 M ) IN AREA AND HAVING A MINIMUM

**EXIT SIGNS (SECTION 1013)** 

DIMENSION OF 2 FEET (610 MM).

1013.1 WHERE REQUIRED. EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR MM). THE CLEAR OPENING WIDTH OF DOORWAYS WITH SWINGING THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS WITHIN 100 FEET (30 480 MM) OR THE LISTED VIEWING DISTANCE OF THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

**EXCEPTIONS**: 1. EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS THAT REQUIRE ONLY ONE EXIT OR EXIT ACCESS.

2. MAIN EXTERIOR EXIT DOORS OR GATES THAT ARE OBVIOUSLY AND CLEARLY IDENTIFIABLE AS EXITS NEED NOT HAVE EXIT SIGNS WHERE APPROVED BY THE BUILDING OFFICIAL. 3. EXIT SIGNS ARE NOT REQUIRED IN OCCUPANCIES IN GROUP U AND

INDIVIDUAL SLEEPING UNITS OR DWELLING UNITS IN GROUP R-1, R-2 OR R-

GUARDS (SECTION 1015)

1015.2 WHERE REQUIRED. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, AISLES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES (762 MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914 MM) HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH

SECTION 1607.8. 1015.3 HEIGHT. REQUIRED GUARDS SHALL BE NOT LESS THAN 42 INCHES (1067 MM) HIGH, MEASURED VERTICALLY AS FOLLOWS: 1. FROM THE ADJACENT WALKING SURFACES. 2. ON STAIRWAYS AND STEPPED AISLES, FROM THE LINE CONNECTING THE LEADING EDGES OF THE TREAD NOSINGS. 3. ON RAMPS AND RAMPED AISLES, FROM THE RAMP SURFACE AT THE GUARD.

**EXCEPTIONS**: 1. FOR OCCUPANCIES IN GROUP R-3 NOT MORE THAN THREE STORIES ABOVE GRADE IN HEIGHT AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2 NOT MORE THAN THREE STORIES ABOVE GRADE IN HEIGHT WITH SEPARATE MEANS OF EGRESS, REQUIRED GUARDS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT MEASURED 2. FOR OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING

UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES (864 MM) MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. 3. FOR OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE

GUARD SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE

THAN 38 INCHES (965 MM) MEASURED VERTICALLY FROM A LINE

CONNECTING THE LEADING EDGES OF THE TREADS.

CODE INFORMATION

MEANS OF EGRESS ILLUMINATION (SECTION 1008) 1008.2 ILLUMINATION REQUIRED. THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. **EXCEPTIONS:** 

1. OCCUPANCIES IN GROUP U.

3. DWELLING UNITS AND SLEEPING UNITS IN GROUPS R-1, R-2 AND R-3. 1008.2.1 ILLUMINATION LEVEL UNDER NORMAL POWER. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOTCANDLE (11

LUX) AT THE WALKING SURFACE. 1008.2.3 EXIT DISCHARGE. ILLUMINATION SHALL BE PROVIDED ALONG THE PATH OF TRAVEL FOR THE EXIT DISCHARGE FROM EACH EXIT TO THE PUBLIC EXCEPTION

ILLUMINATION SHALL NOT BE REQUIRED WHERE THE PATH OF THE EXIT DISCHARGE MEETS BOTH OF THE FOLLOWING REQUIREMENTS: 1. THE PATH OF EXIT DISCHARGE IS ILLUMINATED FROM THE EXIT TO A SAFE DISPERSAL AREA COMPLYING WITH SECTION 1028.5 2. A DISPERSAL AREA SHALL BE ILLUMINATED TO A LEVEL NOT LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE. 1008.3 EMERGENCY POWER FOR ILLUMINATION

THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (197 MM); THE THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. 1008.3.1 GENERAL. IN THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS: 1. AISLES.

2. CORRIDORS. 3. EXIT ACCESS STAIRWAYS AND RAMPS.

1008.3.2 BUILDINGS. IN THE EVENT OF POWER SUPPLY FAILURE IN BUILDINGS THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:

1. INTERIOR EXIT ACCESS STAIRWAYS AND RAMPS.

2. INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS.

3. EXIT PASSAGEWAYS. 4. VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH SECTION 1028.1 5. EXTERIOR LANDINGS AS REQUIRED BY SECTION 1010.1.6 FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THEEXIT DISCHARGE. 1008.3.3 ROOMS AND SPACES. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE

ALL OF THE FOLLOWING AREAS: 1. ELECTRICAL EQUIPMENT ROOMS.

2. FIRE COMMAND CENTERS. 3. FIRE PUMP ROOMS

4. GENERATOR ROOMS

5. PUBLIC RESTROOMS WITH AN AREA GREATER THAN 300 SQUARE FEET (27.87 M).

1008.3.4 DURATION. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702

1008.3.5 ILLUMINATION LEVEL UNDER EMERGENCY POWER. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. IN GROUP I-2 OCCUPANCIES, FAILURE OF A SINGLE LAMP IN A LUMINAIRE SHALL NOT REDUCE THE ILLUMINATION LEVEL TO LESS THAN 0.2 FOOTCANDLE (2.2 LUX).

DOORS, GATES AND TURNSTILES (SECTION 1010)

1010.1.1 SIZE OF DOORS. THE REQUIRED CAPACITY OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THEOCCUPANT LOAD THEREOF AND SHALL PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 32 INCHES (813 DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). WHERE THIS SECTION REQUIRES A MINIMUM CLEAR OPENING WIDTH OF 32 INCHES (813 MM) AND A DOOR OPENING INCLUDES TWO DOOR LEAVES WITHOUT A MULLION, ONE LEAF SHALL PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 32 INCHES (813 MM). IN GROUP I-2, DOORS SERVING AS MEANS OF EGRESS DOORS WHERE USED FOR THE MOVEMENT OF BEDS SHALL PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 41 1/2 INCHES (1054) MM). THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48 INCHES (1219 MM) NOMINAL. THE MINIMUM CLEAR OPENING HEIGHT OF DOORS SHALL BE NOT LESS THAN 80 INCHES (2032 MM). EXCEPTIONS: 1. IN GROUP R-2 AND R-3 DWELLING AND SLEEPING UNITS THAT ARE NOT REQUIRED TO BE AN ACCESSIBLE UNIT, TYPE A UNIT OR TYPE B UNIT, THE

MINIMUM AND MAXIMUM WIDTH SHALL NOT APPLY TO DOOR OPENINGS THAT ARE NOT PART OF THE REQUIRED MEANS OF EGRESS. 7. IN DWELLING AND SLEEPING UNITS THAT ARE NOT REQUIRED TO BE ACCESSIBLE, TYPE A OR TYPE B UNITS, EXTERIOR DOOR OPENINGS OTHER THAN THE REQUIRED EXIT DOOR SHALL HAVE A MINIMUM CLEAR OPENING HEIGHT OF 76 INCHES (1930 MM).

8. IN GROUPS I-1, R-2, R-3 AND R-4, IN DWELLING AND SLEEPING UNITS THAT ARE NOT REQUIRED TO BE ACCESSIBLE, TYPE A OR TYPE B UNITS, THE MINIMUM CLEAR OPENING WIDTHS SHALL NOT APPLY TO INTERIOR EGRESS DOORS. 11. THE MINIMUM CLEAR OPENING WIDTH SHALL NOT APPLY TO DOORS

FOR NON-ACCESSIBLE SHOWER OR SAUNA COMPARTMENTS 12. THE MINIMUM CLEAR OPENING WIDTH SHALL NOT APPLY TO THE DOORS FOR NONACCESSIBLE TOILET STALLS. 1010.1.1.1 PROJECTIONS INTO CLEAR WIDTH. THERE SHALL NOT BE PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES (864 MM) ABOVE THE FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES (864 MM) AND 80 INCHES (2032 MM) ABOVE THE FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES (102 MM).

EXCEPTION: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES (1980 MM) MINIMUM ABOVE THE FLOOR.

ACCESSIBLE MEANS OF EGRESS (SECTION 1009) 1009.1 ACCESSIBLE MEANS OF EGRESS REQUIRED. ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS IS REQUIRED BY SECTION 1006.2 OR 1006.3 FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO

ACCESSIBLE MEANS OF EGRESS.

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[BS] 1205.1 GENERAL. HISTORIC BUILDINGS SHALL COMPLY WITH THE APPLICABLE STRUCTURAL PROVISIONS FOR THE WORK AS CLASSIFIED IN CHAPTER 4 OR 5.

**EXCEPTIONS:** 1.THE CODE OFFICIAL SHALL BE AUTHORIZED TO ACCEPT EXISTING FLOORS AND EXISTING LIVE LOADS AND TO APPROVE OPERATIONAL CONTROLS THAT

LIMIT THE LIVE LOAD ON ANY FLOOR. 2.REPAIR OF SUBSTANTIAL STRUCTURAL DAMAGE IS NOT REQUIRED TO COMPLY WITH SECTIONS 405.2.3 AND 405.2.4. SUBSTANTIAL STRUCTURAL DAMAGE SHALL BE REPAIRED IN ACCORDANCE WITH SECTION 405.2.1. RELOCATED BUILDINGS (SECTION 1206)

1206.1 RELOCATED BUILDINGS. FOUNDATIONS OF RELOCATED HISTORIC BUILDINGS AND STRUCTURES SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE. RELOCATED HISTORIC BUILDINGS SHALL OTHERWISE BE CONSIDERED A HISTORIC BUILDING FOR THE PURPOSES OF THIS CODE. RELOCATED HISTORIC BUILDINGS AND STRUCTURES SHALL BE SITED SO THAT EXTERIOR WALL AND OPENING REQUIREMENTS COMPLY WITH THE INTERNATIONAL BUILDING CODE OR WITH THE COMPLIANCE ALTERNATIVES OF THIS CODE.

RELOCATED OR MOVED BUILDINGS (CHAPTER 14) [BS] 1402.2 FOUNDATION. THE FOUNDATION SYSTEM OF RELOCATED BUILDINGS SHALL COMPLY WITH THEINTERNATIONAL BUILDING CODE OR THE INTERNATIONAL RESIDENTIAL CODE AS APPLICABLE

[BS] 1402.3 WIND LOADS. BUILDINGS SHALL COMPLY WITH INTERNATIONAL BUILDING CODE OR INTERNATIONAL RESIDENTIAL CODE WIND PROVISIONS AS APPLICABLE. **EXCEPTIONS:** 

2. STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 10 PERCENT. [BS] 1402.4 SEISMIC LOADS. BUILDINGS SHALL COMPLY WITH INTERNATIONAL BUILDING CODE OR INTERNATIONAL RESIDENTIAL CODE

SEISMIC PROVISIONS AT THE NEW LOCATION AS APPLICABLE. **EXCEPTIONS:** 1. STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY

MORE THAN 10 PERCENT [BS] 1402.5 SNOW LOADS. STRUCTURES SHALL COMPLY WITH INTERNATIONAL BUILDING CODE OR INTERNATIONAL RESIDENTIAL CODE SNOW LOADS AS APPLICABLE WHERE SNOW LOADS AT THE NEW LOCATION ARE HIGHER THAN THOSE AT THE PREVIOUS LOCATION. EXCEPTION: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT

### CODE INFORMATION

2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

MECHANICAL (SECTION 808)

808.1 RECONFIGURED OR CONVERTED SPACES. RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND SPACES CONVERTED TO HABITABLE OR OCCUPIABLE SPACE IN ANY WORK AREA SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE. **EXCEPTION:** EXISTING MECHANICAL VENTILATION SYSTEMS SHALL COMPLY

WITH THE REQUIREMENTS OF SECTION 808.2. 808.2 ALTERED EXISTING SYSTEMS. IN MECHANICALLY VENTILATED SPACES, EXISTING MECHANICAL VENTILATION SYSTEMS THAT ARE ALTERED, RECONFIGURED, OR EXTENDED SHALL PROVIDE NOT LESS THAN 5 CUBIC FEET PER MINUTE (CFM) (0.0024 M /S) PER PERSON OF OUTDOOR AIR AND NOT LESS THAN 15 CFM (0.0071 M /S) OF VENTILATION AIR PER PERSON; OR NOT LESS THAN THE AMOUNT OF VENTILATION AIR DETERMINED BY THE INDOOR AIR QUALITY PROCEDURE OF ASHRAE 62.1

CHAPTER 9 - LEVEL 3 ALTERATIONS FIRE PROTECTION (SECTION 904)

904.1 AUTOMATIC SPRINKLER SYSTEMS. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED IN AWORK AREA WHERE REQUIRED BY SECTION 802.2 OR THIS SECTION.

904.2 FIRE ALARM AND DETECTION SYSTEMS. FIRE ALARM AND DETECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907 OF THE INTERNATIONAL BUILDING CODE AS REQUIRED FOR NEW CONSTRUCTION MEANS OF EGRESS (SECTION 905)

905.1 GENERAL. THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OFSECTION 805 EXCEPT AS SPECIFICALLY REQUIRED INSECTIONS 905.2 AND 905.3. STRUCTURAL (SECTION 906)

[BS] 906.2 EXISTING STRUCTURAL ELEMENTS RESISTING LATERAL LOADS. WHERE WORK INVOLVES A SUBSTANTIAL STRUCTURAL ALTERATION, THE LATERAL LOAD-RESISTING SYSTEM OF THE ALTERED BUILDING SHALL BE SHOWN TO SATISFY THE REQUIREMENTS OF SECTIONS 1609 AND 1613 OF the international building code. Reduced Seismic Forces shall be PERMITTED.

907.1 MINIMUM REQUIREMENTS. LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY <u>RELATE TO NEW CONSTRUCTION ONLY.</u>

CHAPTER 10 - CHANGE OF OCCUPANCY

GENERAL (SECTION 1001) 1001.2 CERTIFICATE OF OCCUPANCY. A CHANGE OF OCCUPANCY OR A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE SHALL NOT BE MADE TO ANY STRUCTURE WITHOUT THE APPROVAL OF THE CODE OFFICIAL. A CERTIFICATE OF OCCUPANCY SHALL BE ISSUED WHERE IT HAS BEEN DETERMINED THAT THE REQUIREMENTS FOR THE CHANGE OF OCCUPANCY HAVE BEEN MET.

STRUCTURAL (SECTION 1006) [BS] 1006.1 LIVE LOADS. STRUCTURAL ELEMENTS CARRYING TRIBUTRARY LIVE LOADS FROM AN AREA WITH ACHANGE OF OCCUPANCY SHALL SATISFY THE REQUIREMENTS OF SECTION 1607 OF THE INTERNATIONAL BUILDING CODE. DESIGN LIVE LOADS FOR AREAS OF NEW OCCUPANCY SHALL BE BASED ON SECTION 1607 OF THE INTERNATIONAL BUILDING CODE. DESIGN LIVE LOADS FOR OTHER AREAS SHALL BE PERMITTED TO USE PREVIOUSLY APPROVED DESIGN LIVE LOADS. EXCEPTION: STRUCTURAL ELEMENTS WHOSE DEMAND-CAPACITY RATIO CONSIDERING THE CHANGE OF OCCUPANCY IS NOT MORE THAN 5 PERCENT GREATER THAN THE DEMAND-CAPACITY RATIO BASED ON PREVIOUSLY APPROVED LIVE LOADS

CHANGE OF OCCUPANCY CLASSIFICATION (SECTION TOTAL 1011.1 GENERAL. THE PROVISIONS OF THIS SECTION SHALL APPLY TO BUILDINGS OR PORTIONS THEREOF UNDERGOING A CHANGE OF OCCUPANCY CLASSIFICATION. THIS INCLUDES A CHANGE OF OCCUPANCY CLASSIFICATION WITHIN A GROUP AS WELL AS A CHANGE OF OCCUPANCY CLASSIFICATION FROM ONE GROUP TO A DIFFERENT GROUP OR WHERE THERE IS A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE. SUCH BUILDINGS SHALL ALSO COMPLY WITH SECTIONS 1002 THROUGH 1010 OF THIS CODE. THE APPLICATION OF REQUIREMENTS FOR THE CHANGE OF OCCUPANCY SHALL BE AS SET FORTH IN SECTIONS 1011.1.1 THROUGH 1011.1.4. A CHANGE OF OCCUPANCY, AS DEFINED IN SECTION 202, WITHOUT A CORRESPONDING CHANGE OF OCCUPANCY CLASSIFICATION SHALL COMPLY WITH SECTION 1001.2.

1011.1.1 COMPLIANCE WITH CHAPTER 9. THE REQUIREMENTS OF CHAPTER 9 SHALL BE APPLICABLE THROUGHOUT THE BUILDING FOR THE NEW OCCUPANCY CLASSIFICATION BASED ON THE SEPARATION CONDITIONS SET FORTH IN SECTIONS 1011.1.1.1 AND 1011.1.1.2. 1011.1.1.2 CHANGE OF OCCUPANCY CLASSIFICATION WITH SEPARATION. WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION OR WHERE THERE IS A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE, AND THAT PORTION IS SEPARATED FROM THE REMAINDER OF THE BUILDING WITH FIRE BARRIERS HAVING A FIRE-RESISTANCE RATING AS REQUIRED IN THE INTERNATIONAL BUILDING CODE FOR THE SEPARATE OCCUPANCY, THAT PORTION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTER 9 OF THIS CODE FOR THE NEW OCCUPANCY CLASSIFICATION AND WITH THE REQUIREMENTS OF THIS CHAPTER.

HISTORIC BUILDINGS (CHAPTER 12) [BS] 1201.2 REPORT. A HISTORIC BUILDING UNDERGOING ALTERATION OR CHANGE OF OCCUPANCY SHALL BE INVESTIGATED AND EVALUATED. IF IT IS INTENDED THAT THE BUILDING MEET THE REQUIREMENTS OF THIS CHAPTER, A WRITTEN REPORT SHALL BE PREPARED AND FILED WITH THE CODE OFFICIAL BY A REGISTERED DESIGN PROFESSIONAL WHERE SUCH A REPORT IS NECESSARY IN THE OPINION OF THE CODE OFFICIAL. SUCH REPORT SHALL BE IN ACCORDANCE WITH CHAPTER 1 AND SHALL IDENTIFY EACH REQUIRED SAFETY FEATURE THAT IS IN COMPLIANCE WITH THIS CHAPTER AND WHERE COMPLIANCE WITH OTHER CHAPTERS OF THESE PROVISIONS WOULD BE DAMAGING TO THE CONTRIBUTING HISTORIC FEATURES. FOR BUILDINGS ASSIGNED TO SEISMIC DESIGN CATEGORY D, E OR F, A STRUCTURAL EVALUATION DESCRIBING, AT A MINIMUM, THE VERTICAL AND HORIZONTAL ELEMENTS OF THE LATERAL FORCE-RESISTING SYSTEM AND ANY STRENGTHS OR WEAKNESSES THEREIN SHALL BE PREPARED. ADDITIONALLY, THE REPORT SHALL DESCRIBE EACH FEATURE THAT IS NOT IN COMPLIANCE WITH THESE PROVISIONS AND SHALL DEMONSTRATE HOW THE INTENT OF THESE PROVISIONS IS COMPLIED WITH IN PROVIDING AN EQUIVALENT LEVEL OF

### CODE INFORMATION

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BUILDING ELEMENTS AND MATERIALS (SECTION 802), CONTINUED 802.6 FIRE-RESISTANCE RATINGS. WHERE APPROVED BY THE CODE OFFICIAL, BUILDINGS WHERE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 OF THE INTERNATIONAL BUILDING CODE HAS BEEN ADDED, AND THE BUILDING IS NOW SPRINKLERED THROUGHOUT, THE REQUIRED FIRE-RESISTANCE RATINGS OF BUILDING ELEMENTS AND MATERIALS SHALL BE PERMITTED TO MEET THE REQUIREMENTS OF THE CURRENT BUILDING CODE. THE BUILDING IS REQUIRED TO MEET THE OTHER APPLICABLE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. PLANS, INVESTIGATION AND EVALUATION REPORTS, AND OTHER DATA SHALL BE SUBMITTED INDICATING WHICH BUILDING ELEMENTS AND MATERIALS THE APPLICANT IS REQUESTING THE CODE OFFICIAL TO REVIEW AND APPROVE FOR DETERMINATION OF APPLYING THE CURRENT BUILDING CODE FIRE-RESISTANCE RATINGS. ANY SPECIAL CONSTRUCTION FEATURES, INCLUDING FIRE-RESISTANCE-RATED ASSEMBLIES AND SMOKE-RESISTIVE ASSEMBLIES, CONDITIONS OF OCCUPANCY, MEANS-OF-EGRESS CONDITIONS, FIRE CODE DEFICIENCIES, APPROVED MODIFICATIONS OR APPROVED ALTERNATIVE MATERIALS, DESIGN AND METHODS OF CONSTRUCTION, AND EQUIPMENT APPLYING TO THE BUILDING THAT IMPACT REQUIRED FIRE-RESISTANCE RATINGS SHALL BE IDENTIFIED IN THE EVALUATION REPORTS SUBMITTED. FIRE PROTECTION (SECTION 803)

803.2 AUTOMATIC SPRINKLER SYSTEMS. AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 803.2.1 THROUGH 803.2.4. INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE. 803.4 FIRE ALARM AND DETECTION. AN APPROVED FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 803.4.1 THROUGH 803.4.3. WHERE AUTOMATIC SPRINKLER PROTECTION IS PROVIDED IN ACCORDANCE WITH SECTION 803.2 AND IS CONNECTED TO THE BUILDING FIRE ALARM SYSTEM, AUTOMATIC HEAT DETECTION SHALL NOT BE REQUIRED. AN APPROVED AUTOMATIC FIRE DETECTION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND NFPA 72. DEVICES, COMBINATIONS OF DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE APPROVED. THE AUTOMATIC FIRE DETECTORS SHALL BE SMOKE DETECTORS, EXCEPT THAT AN APPROVED ALTERNATIVE TYPE OF DETECTOR SHALL BE INSTALLED IN SPACES SUCH AS BOILER ROOMS, WHERE PRODUCTS OF COMBUSTION ARE PRESENT DURING NORMAL OPERATION IN SUFFICIENT QUANTITY TO ACTUATE A SMOKE DETECTOR. MEANS OF EGRESS (SECTION 805)

805.4.3 DOOR CLOSING. IN ANY WORK AREA, ALL DOORS OPENING ONTO AN EXIT PASSAGEWAY AT GRADE OR AN EXIT STAIRWAY SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING BY LISTED CLOSING DEVICES. **EXCEPTIONS:** 

1. WHERE EXIT ENCLOSURE IS NOT REQUIRED BY THE INTERNATIONAL BUILDING CODE

2. MEANS OF EGRESS WITHIN OR SERVING ONLY A TENANT SPACE THAT IS ENTIRELY OUTSIDE THE WORK AREA. STRUCTURAL (SECTION 806)

[BS] 806.2 EXISTING STRUCTURAL ELEMENTS CARRYING GRAVITY LOADS. ANY EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENT FOR WHICH AN ALTERATION CAUSES AN INCREASE IN DESIGN DEAD, LIVE OR SNOW LOAD, INCLUDING SNOW DRIFT EFFECTS, OF MORE THAN 5 PERCENT SHALL BE REPLACED OR ALTERED AS NEEDED TO CARRY THE GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW STRUCTURES. ANY EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENT WHOSE GRAVITY LOAD-CARRYING CAPACITY IS DECREASED AS PART OF THE ALTERATION SHALL BE SHOWN TO HAVE THE CAPACITY TO RESIST THE APPLICABLE DESIGN DEAD, LIVE AND SNOW LOADS, INCLUDING SNOW DRIFT EFFECTS, REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW STRUCTURES. **EXCEPTIONS** 

1. BUILDINGS OF GROUP R OCCUPANCY WITH NOT MORE THAN FIVE DWELLING OR SLEEPING UNITS USED SOLELY FOR RESIDENTIAL PURPOSES WHERE THE ALTERED BUILDING COMPLIES WITH THE CONVENTIONAL LIGHT-FRAME CONSTRUCTION METHODS OF THE INTERNATIONAL BUILDING CODE OR THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE. 2. BUILDINGS IN WHICH THE INCREASED DEAD LOAD IS ATTRIBUTABLE TO THE ADDITION OF A SECOND LAYER OF ROOF COVERING WEIGHING 3 POUNDS PER SQUARE FOOT (0.1437 KN/M ) OR LESS OVER AN EXISTING SINGLE LAYER OF ROOF COVERING

[BS] 806.3 EXISTING STRUCTURAL ELEMENTS RESISTING LATERAL LOADS. EXCEPT AS PERMITTED BY SECTION 806.4, WHERE THE ALTERATION INCREASES DESIGN LATERAL LOADS, OR WHERE THE ALTERATION RESULTS IN PROHIBITED STRUCTURAL IRREGULARITY AS DEFINED IN ASCE 7, OR WHERE THE ALTERATION DECREASES THE CAPACITY OF ANY EXISTING LATERAL LOAD-CARRYING STRUCTURAL ELEMENT, THE STRUCTURE OF THE ALTERED BUILDING OR STRUCTURE SHALL MEET THE REQUIREMENTS OF SECTIONS 1609 AND 1613 OF THE INTERNATIONAL BUILDING CODE. REDUCED SEISMIC FORCES SHALL BE PERMITTED.

**EXCEPTION:** ANY EXISTING LATERAL LOAD-CARRYING STRUCTURAL ELEMENT WHOSE DEMAND-CAPACITY RATIO WITH THE ALTERATION CONSIDERED IS NOT MORE THAN 10 PERCENT GREATER THAN ITS DEMAND-CAPACITY RATIO WITH THE ALTERATION IGNORED SHALL BE PERMITTED TO REMAIN UNALTERED. FOR PURPOSES OF CALCULATING DEMAND-CAPACITY RATIOS, THE DEMAND SHALL CONSIDER APPLICABLE LOAD COMBINATIONS WITH DESIGN LATERAL LOADS OR FORCES IN ACCORDANCE WITH SECTIONS 1609 AND 1613 OF THE INTERNATIONAL BUILDING CODE. REDUCED SEISMIC FORCES SHALL BE PERMITTED. FOR PURPOSES OF THIS EXCEPTION, COMPARISONS OF DEMAND-CAPACITY RATIOS AND CALCULATION OF DESIGN LATERAL LOADS, FORCES AND CAPACITIES SHALL ACCOUNT FOR THE CUMULATIVE EFFECTS OF ADDITIONS AND ALTERATIONS SINCE ORIGINAL CONSTRUCTION. [BS] 806.4 VOLUNTARY LATERAL FORCE-RESISTING SYSTEM ALTERATIONS. STRUCTURAL ALTERATIONS THAT ARE INTENDED EXCLUSIVELY TO IMPROVE THE LATERAL FORCE-RESISTING SYSTEM AND ARE NOT REQUIRED BY OTHER SECTIONS OF THIS CODE SHALL NOT BE REQUIRED TO MEET THE REQUIREMENTS OF SECTION 1609 OR SECTION 1613 OF THE INTERNATIONAL BUILDING CODE, PROVIDED THAT THE FOLLOWING CONDITIONS ARE MET: 1. THE CAPACITY OF EXISTING STRUCTURAL SYSTEMS TO RESIST FORCES IS NOT REDUCED. 2. NEW STRUCTURAL ELEMENTS ARE DETAILED AND CONNECTED TO EXISTING OR NEW STRUCTURAL ELEMENTS AS REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW CONSTRUCTION. 3. NEW OR RELOCATED NONSTRUCTURAL ELEMENTS ARE DETAILED AND CONNECTED TO EXISTING OR NEW STRUCTURAL ELEMENTS AS REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW CONSTRUCTION. 4. THE ALTERATIONS DO NOT CREATE A STRUCTURAL IRREGULARITY AS DEFINED IN ASCE 7 OR MAKE AN EXISTING STRUCTURAL IRREGULARITY MORE SEVERE ELECTRICAL (SECTION 807)

807.1 NEW INSTALLATIONS. NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING RELATING TO WORK DONE IN ANYWORK AREA SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA 70 EXCEPT AS PROVIDED FOR IN SECTION 807.3.

### CODE INFORMATION

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SCOPE AND ADMINISTRATION (SECTION 101) [A] 101.4 APPLICABILITY. THIS CODE SHALL APPLY TO THE REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION AND RELOCATION OF EXISTING BUILDINGS, REGARDLESS OF OCCUPANCY, SUBJECT TO THE CRITERIA OF SECTIONS 101.4.1 AND 101.4.2. SECTION 604 ALTERATION-LEVEL 3

604.1 SCOPE. LEVEL 3 ALTERATIONS APPLY WHERE THE WORK AREA EXCEEDS 50 PERCENT OF THE BUILDING AREA. 604.2 APPLICATION. LEVEL 3 ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 FOR LEVEL 1 AND 2 ALTERATIONS, RESPECTIVELY, AS WELL AS THE PROVISIONS OF CHAPTER 9. CHAPTER 7 - LEVEL 1 ALTERATIONS

702.1 INTERIOR FINISHES. NEWLY INSTALLED INTERIOR WALL, FLOOR, TRIM AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.

702.6 MATERIALS AND METHODS. NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING. FIRE PROTECTION (SECTION 703) AND MEANS OF EGRESS (SECTION 704) 703.1, 704.1 GENERAL. ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION AND MEANS OF EGRESS

PROVIDED. REROOFING (SECTION 705)

[BS] 705.1 GENERAL. MATERIALS AND METHODS OF APPLICATION USED FOR RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 15 OF THE INTERNATIONAL BUILDING CODE.

[BS] 705.2 STRUCTURAL AND CONSTRUCTION LOADS. STRUCTURAL ROOF

COMPONENTS SHALL BE CAPABLE OF SUPPORTING THE ROOF-COVERING SYSTEM AND THE MATERIAL AND EQUIPMENT LOADS THAT WILL BE ENCOUNTERED DURING INSTALLATION OF THE SYSTEM. [BS] 705.3 ROOF REPLACEMENT. ROOF REPLACEMENT SHALL INCLUDE THE REMOVAL OF ALL EXISTING LAYERS OF ROOF COVERINGS DOWN TO THE ROOF DECK. EXCEPTION: WHERE THE EXISTING ROOF ASSEMBLY INCLUDES AN ICE BARRIER MEMBRANE THAT IS ADHERED TO THE ROOF DECK, THE EXISTING ICE BARRIER MEMBRANE SHALL BE PERMITTED TO REMAIN IN PLACE AND COVERED WITH AN ADDITIONAL LAYER OF ICE BARRIER MEMBRANE IN ACCORDANCE WITH SECTION 1507 OF THE INTERNATIONAL BUILDING CODE. [BS] 705.3.1 ROOF RECOVER. THE INSTALLATION OF A NEW ROOF COVERING OVER AN EXISTING ROOF COVERING SHALL BE PERMITTED WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR: 1. THE NEW ROOF COVERING IS INSTALLED IN ACCORDANCE WITH THE ROOF COVERING

MANUFACTURER'S APPROVED INSTRUCTIONS. 2. COMPLETE AND SEPARATE ROOFING SYSTEMS, SUCH AS STANDING-SEAM METAL ROOF PANEL SYSTEMS, THAT ARE DESIGNED TO TRANSMIT THE ROOF LOADS DIRECTLY TO THE BUILDING'S STRUCTURAL SYSTEM AND THAT DO NOT RELY ON EXISTING ROOFS AND ROOF COVERINGS FOR SUPPORT, ARE

INSTALLED. 3. METAL PANEL, METAL SHINGLE AND CONCRETE AND CLAY TILE ROOF COVERINGS ARE INSTALLED OVER EXISTING WOOD SHAKE ROOFS IN ACCORDANCE WITH SECTION 705.4. 4. A NEW PROTECTIVE ROOF COATING IS APPLIED OVER AN EXISTING PROTECTIVE ROOF COATING, A METAL ROOF PANEL, METAL ROOF

SHINGLES, MINERAL-SURFACED ROLL ROOFING, A BUILT-UP ROOF MODIFIED BITUMEN ROOFING, THERMOSET AND THERMOPLASTIC SINGLE-PLY ROOFING OR A SPRAY POLYURETHANE FOAM ROOFING SYSTEM. [BS] 705.3.1.1 EXCEPTIONS. A ROOF RECOVER SHALL NOT BE PERMITTED WHERE ANY OF THE FOLLOWING CONDITIONS OCCUR: 1. THE EXISTING ROOF OR ROOF COVERING IS WATER SOAKED OR HAS DETERIORATED TO THE POINT THAT THE EXISTING ROOF OR ROOF COVERING IS NOT ADEQUATE AS A BASE FOR ADDITIONAL ROOFING. 2. THE EXISTING ROOF COVERING IS SLATE, CLAY, CEMENT OR ASBESTOS-CEMENT TILE. 3. THE EXISTING ROOF HAS TWO OR MORE APPLICATIONS OF ANY TYPE OF ROOF COVERING.

STRUCTURAL (SECTION 706) [BS] 706.2 ADDITION OR REPLACEMENT OF ROOFING OR REPLACEMENT OF **EQUIPMENT.** ANY EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENT FOR WHICH AN ALTERATION CAUSES AN INCREASE IN DESIGN DEAD, LIVE OR SNOW LOAD, INCLUDING SNOW DRIFT EFFECTS, OF MORE THAN 5 PERCENT SHALL BE REPLACED OR ALTERED AS NEEDED TO CARRY THE GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW STRUCTURES.

CHAPTER 8 - LEVEL 2 ALTERATIONS

OUTSIDE THE WORK AREA.

GENERAL (SECTION 801) 801.3 COMPLIANCE. NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. EXCEPTIONS:

1. WHERE WINDOWS ARE ADDED THEY ARE NOT REQUIRED TO COMPLY WITH THE LIGHT AND VENTILATION REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

2. NEWLY INSTALLED ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 807. 3. THE LENGTH OF DEAD-END CORRIDORS IN NEWLY CONSTRUCTED SPACES SHALL ONLY BE REQUIRED TO COMPLY WITH THE PROVISIONS OF

SECTION 805.6. 4. THE MINIMUM CEILING HEIGHT OF THE NEWLY CREATED HABITABLE AND OCCUPIABLE SPACES AND CORRIDORS SHALL BE 7 FEET (2134 MM). 6. NEW STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE PERMITTED TO COMPLY WITH ALTERNATIVE DESIGN CRITERIA IN ACCORDANCE WITH SECTION 302.

BUILDING ELEMENTS AND MATERIALS (SECTION 802) 802.4 INTERIOR FINISH. THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

**EXCEPTION: EXISTING INTERIOR FINISH MATERIALS THAT DO NOT COMPLY** WITH THE INTERIOR FINISH REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE SHALL BE PERMITTED TO BE TREATED WITH AN APPROVED FIRE-RETARDANT COATING IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO ACHIEVE THE REQUIRED RATING. 802.4.1 SUPPLEMENTAL INTERIOR FINISH REQUIREMENTS. WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THE FLOOR AREA, SECTION 802.4 SHALL APPLY TO THE INTERIOR FINISH IN EXITS AND CORRIDORS SERVING THE WORK AREA THROUGHOUT THE FLOOR.

**EXCEPTION:** INTERIOR FINISH WITHIN TENANT SPACES THAT ARE ENTIRELY

### CODE INFORMATION

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS AMENDED BY THE IDAHO BUILDING CODE BOARD PER CITY OF KETCHUM MUNICIPAL CODE 15.04.010 CODES ADOPTED

SCOPE AND ADMINISTRATION (SECTION R101) R101.4.1 MIXED RESIDENTIAL AND COMMERCIAL BUILDINGS. WHERE A BUILDING INCLUDES BOTH RESIDENTIAL BUILDING AND COMMERCIAL BUILDING PORTIONS, EACH PORTION SHALL BE SEPARATELY CONSIDERED AND MEET THE APPLICABLE PROVISIONS OF THE IECC-COMMERCIAL PROVISIONS OR IECC-RESIDENTIAL PROVISIONS.

<u>CLIMATE ZONE</u>:

TABLE R402.1.2 (AMENDED BY IDAHO BUILDING CODE BOARD), INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT FENESTRATION U-FACTOR: 0.30 SKYLIGHT U-FACTOR: 0.55 **CEILING R-VALUE:** WOOD FRAME WALL R-VALUE: 22 OR 13+5ci MASS WALL R-VALUE: 15 (CONTINOUS) / 20 (CAVITY) FLOOR R-VALUE: 15 (CONINUOUS) / 19 (CAVITY) **BASEMENT WALL R-VALUE:** 10, 4 FT SLAB R-VALUE & DEPTH:

TABLE R402.6 (AMENDED BY IDAHO BUILDING CODE BOARD), LOG HOME PRESCRIPTIVE THERMAL ENVELOPE REQUIREMENTS BY COMPONENT

FENESTRATION U-FACTOR: 0.30 SKYLIGHT U-FACTOR: 0.60 **CEILING R-VALUE:** MIN AVERAGE LOG SIZE: 8 INCHES FLOOR R-VALUE: BASEMENT WALL R-VALUE: 15 (CONINUOUS) / 19 (CAVITY) SLAB R-VALUE & DEPTH: 10, 4 FT CRAWLSPACE WALL R-VALUE: 10 (CONTINOUS) / 13 (CAVITY)

CRAWLSPACE WALL R-VALUE: 15 (CONTINOUS) / 19 (CAVITY)

CITY OF KETCHUM REQUIREMENTS

NATIONAL GREEN BUILDING STANDARD (NGBS) SILVER CERTIFICATION DOCUMENTATION VERIFIED BY A NAHB VFRIFIFR PRESCRIPTIVE PATH, PERFORMANCE PATH, COMCHECK OR RESCHECK, <u>OR</u> IECC SECTION C406 ADDITIONAL EFFICIENCY PACKAGE OPTIONS

EXTERIOR ENERGY CONSERVATION (KETCHUM 15.20.050) SNOWMELT REQUIREMENTS:

- INSULATE BELOW AND PERIMETER WITH MINIMUM R-10 STRUCTURAL

- MINIMUM 92 PERCENT EFFICIENCY BOILER AUTOMATED CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WITH THE PAVEMENT TEMPERATURE IS ABOVE 50 DEGREES AND NO PRECIP IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40 DEGREES

- POSITIVE DRAINAGE OFF DRIVEWAY (USE GEOFABRIC UNDER PAVERS)

•

ARCHITECTS

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www | WILLIAMS-PARTNERS.COM DRAWINGS DATE: | ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT

08/02/2023 | ISSUED FOR CONSTRUCTION NUMBER: DATE:

- 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE
- DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION.
- 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING
- ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION
- SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THIN SET MORTAR 5/8" CEMENT BACKER BOARD.
- 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 10000 SPECIALTIES REFER TO PLAN NOTES.
- 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
- 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S
- **SPECIFICATIONS** 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT

THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS.

MANUFACTURER'S SPECIFICATIONS.

- 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S
- 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK
- 7.40 MCNICHOLS WIRE MESH SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED FOUAL

### 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

- 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10).
- BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT.
- GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /
- WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN
- ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER
- TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE
- (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

- <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for ADDITIONAL INFORMATION. 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK.
- 6.18 NOT USED.
- 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
- WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

### 07000 THERMAL & MOISTURE PROTECTION

FACE. 12-15 WET MIL THICKNESS.

- BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING
- 7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
- BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS
- AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN
- ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL
  - FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
  - MANUFACTURER'S SPECIFICATIONS.

VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT

OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON

- 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED
  - RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).
  - SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

- SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 06000 WOOD
- 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL
- 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.

ALL CONCEALED DRAFT OPENINGS).

OWNER AND ARCHITECT'S APPROVAL.

- 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION.
- 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR

- 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
- PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
  - 2.07 CUTOFF TRENCH DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND
  - PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

### 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND
- OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL 3.04 DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

- WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.
- 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE
- SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

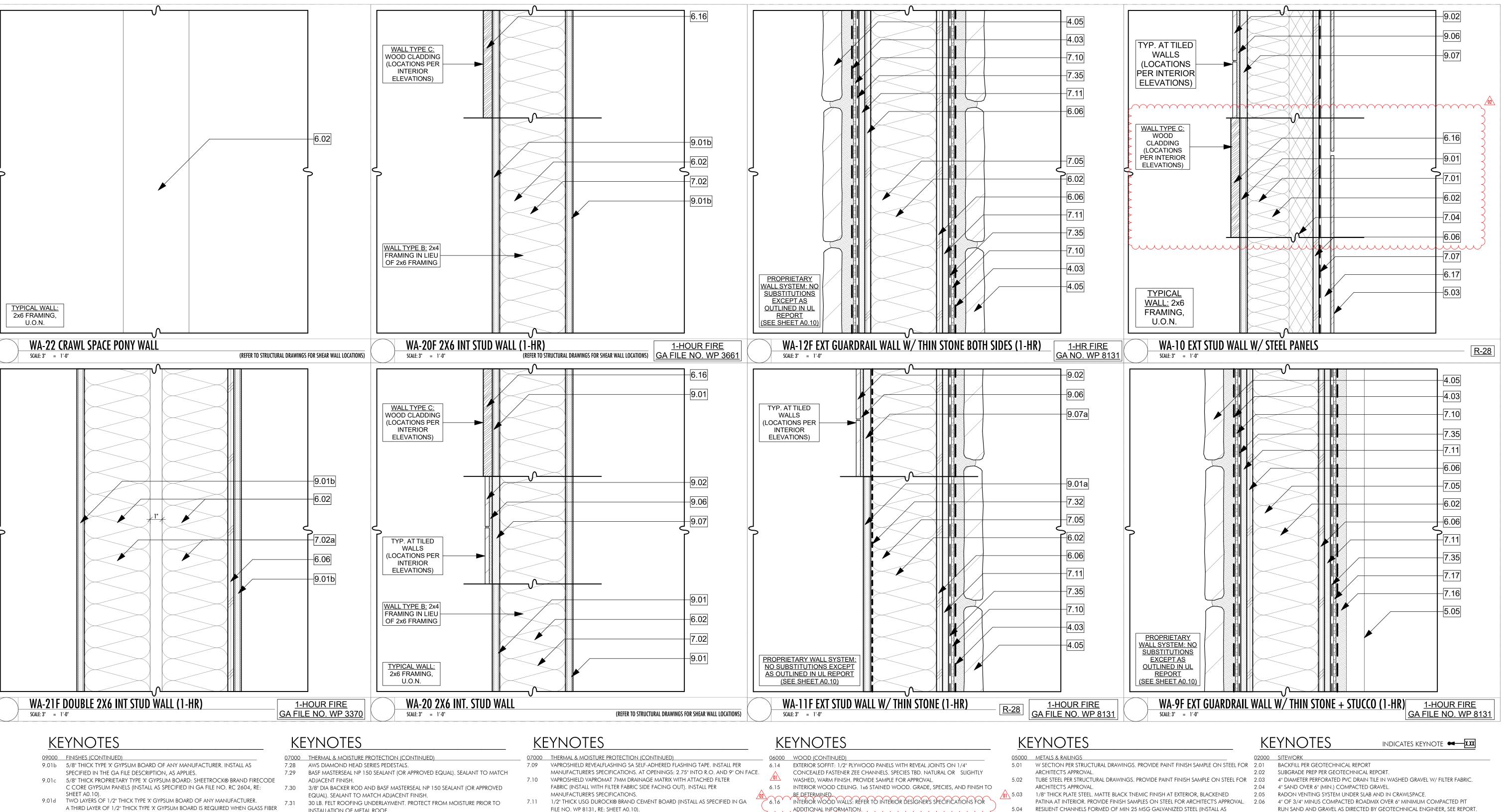
ARCHITECTS

KETCHUM, IDAHO PHONE 208.726.0020 FAX 208.726.0019 www|WILLIAMS-PARTNERS.COM DRAWINGS

MAIL P.O.B. 4373

DATE: | ISSUED: 04/18/2022 | PRICING SET 08/05/2022 | PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION

> REVISIONS NUMBER: DATE: 01 02/17/2023 02 08/02/2023



- A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE
- DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION.
- 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING
- ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.
- 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### 10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- INSTALLATION OF METAL ROOF. 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S
- **SPECIFICATIONS** 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT

THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
- 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4"
- MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x
- 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED FOUAL 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

- FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER
- TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER
- (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT).
- COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN
- ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE
- COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE
- (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

SCHEDULE

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED

### 07000 THERMAL & MOISTURE PROTECTION

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

- 7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE
- REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS

AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO

- FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN
- ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL
- FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON FACE. 12-15 WET MIL THICKNESS.

- RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR.
- 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR
- STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

### 06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

- VERIFY FINISH WITH ARCHITECT 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
- 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

1/2" WOOD FIBERBOARD.

- FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING
- 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR OWNER AND ARCHITECT'S APPROVAL.

- RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.
- 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT.
- 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

### 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL

- INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR)
- CONCRÉTE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL 3.04 DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### 4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

- WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.
- 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

in

ARCHITECTS

MAIL P.O.B. 4373 KETCHUM, IDAHO

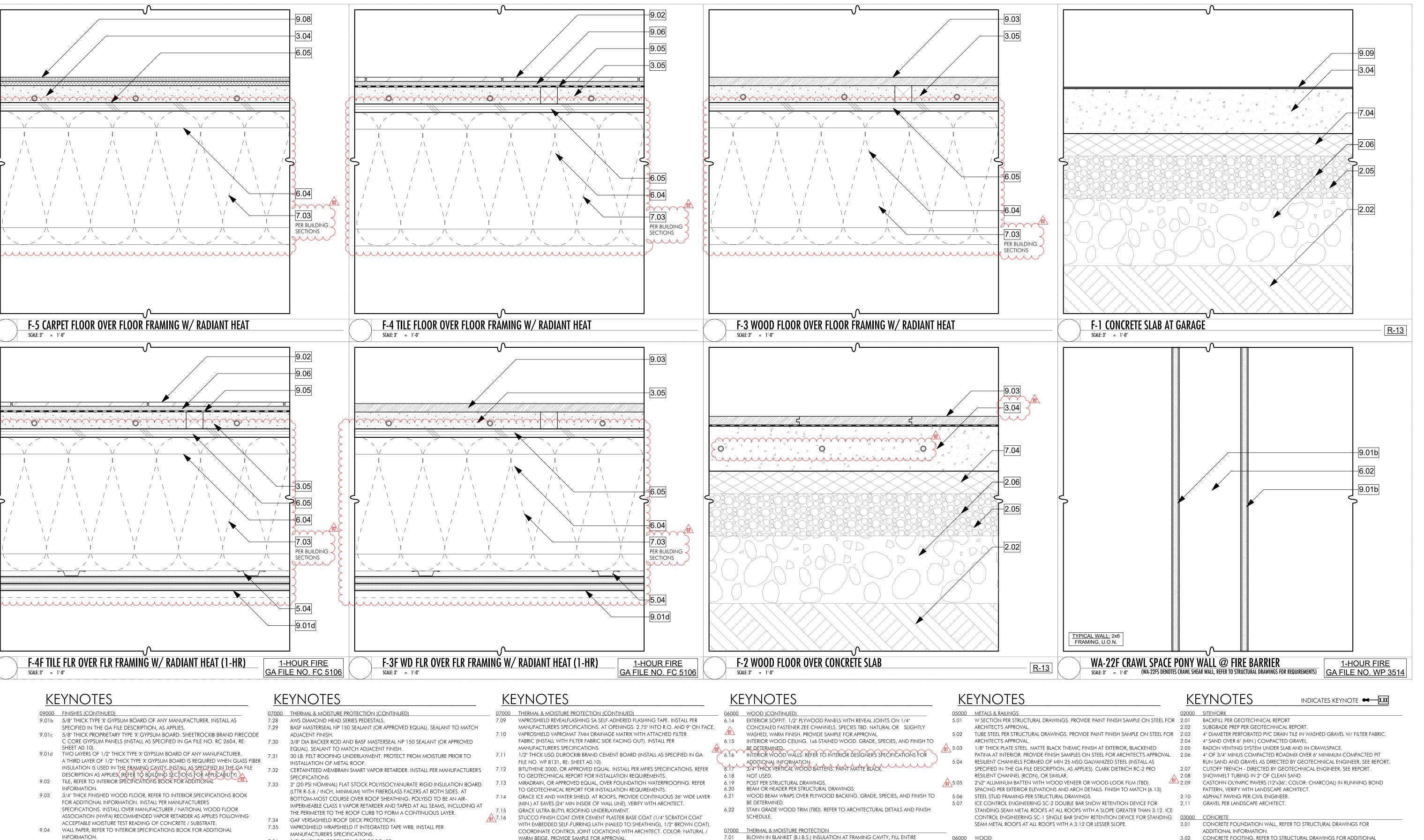
PHONE 208.726.0020 FAX 208.726.0019 www | WILLIAMS-PARTNERS.COM

DRAWINGS DATE: | ISSUED: 04/18/2022 | PRICING SET 08/05/2022 | PERMIT

REVISIONS

08/02/2023 | ISSUED FOR CONSTRUCTION

NUMBER: DATE: 01 02/17/2023 02 08/02/2023



Building

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3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE

SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

THIN SET MORTAR.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4"

MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.

STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM.

HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2"

(VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).

BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS

AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER

2018 IECC REQUIREMENTS.

FACE. 12-15 WET MIL THICKNESS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON 06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH.

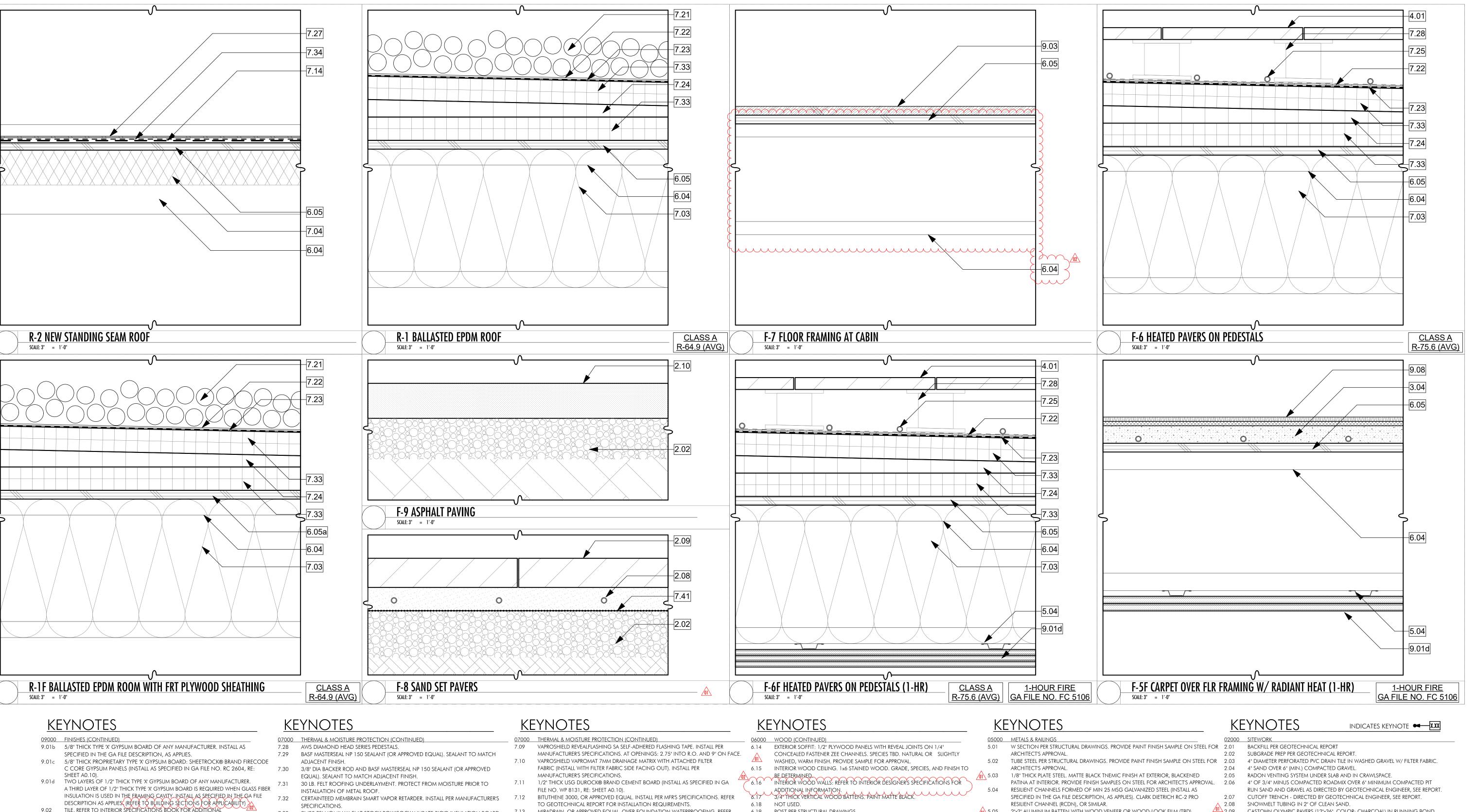
6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

VERIFY WITH ARCHITECT. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR

OWNER AND ARCHITECT'S APPROVAL.

4.03 LATH AND SCRATCH COAT AS REQUIRED.

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).



- TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION.
- 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING
- ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.
- 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 10000 SPECIALTIES REFER TO PLAN NOTES.
- 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK
- 7.40 MCNICHOLS WIRE MESH SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED FOUAL
- 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

- 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL
- WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

- MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER
- (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT).
- COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER
- NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

MANUFACTURER'S SPECIFICATIONS.

- ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE
- COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE
- (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

- 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

### 07000 THERMAL & MOISTURE PROTECTION

FACE. 12-15 WET MIL THICKNESS.

BE DETERMINED

SCHEDULE

- BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING
- 7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE
- REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO
- FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).
- 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
- VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT

OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON

- 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).
  - SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE

### SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 06000 WOOD

- 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF
- 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

ALL CONCEALED DRAFT OPENINGS).

OWNER AND ARCHITECT'S APPROVAL.

- 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
- EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09
- ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR

- 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND
- PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

### 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND
- OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL
- DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

- WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

din

ARCHITECTS

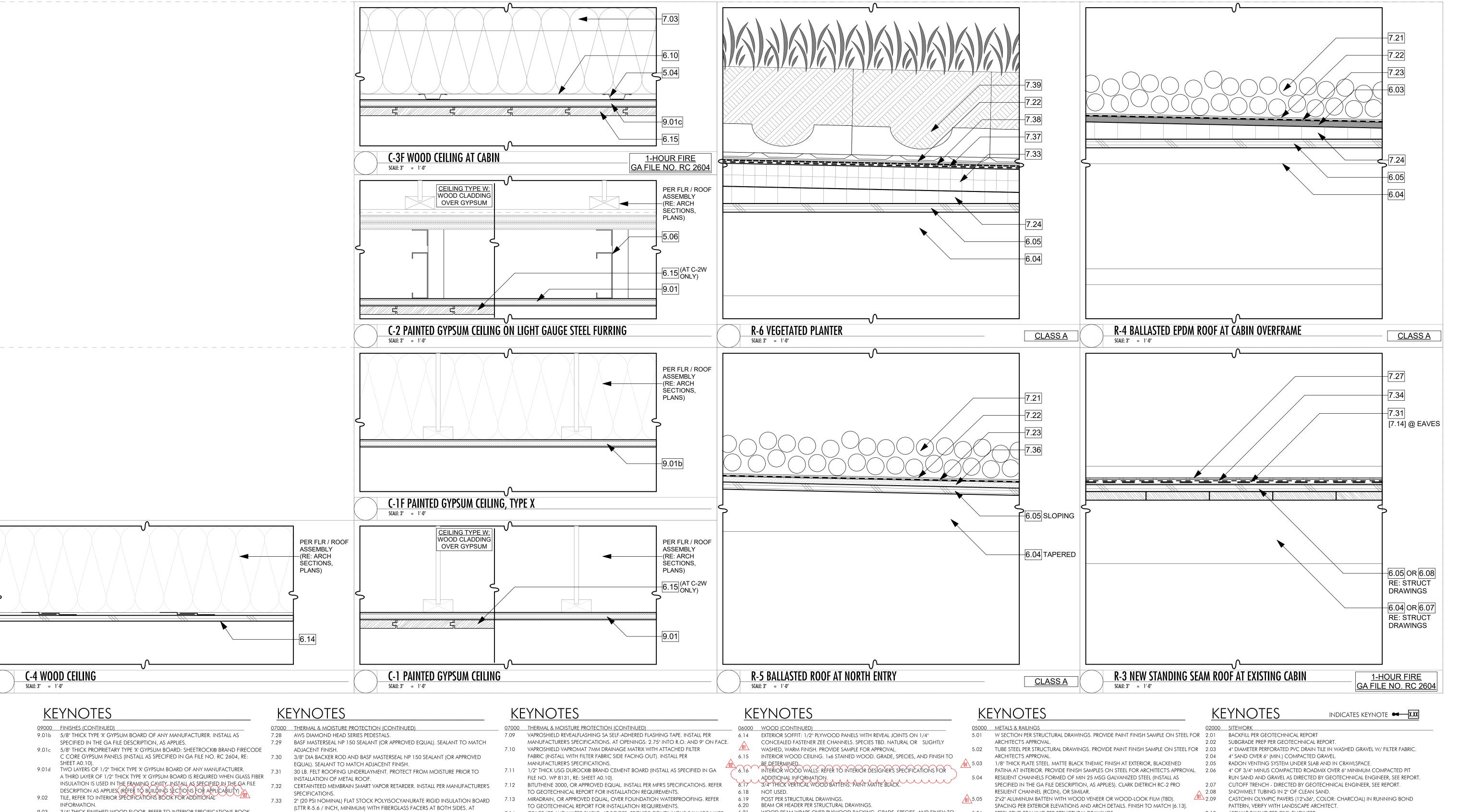
MAIL P.O.B. 4373 KETCHUM, IDAHO

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DRAWINGS DATE: | ISSUED: 04/18/2022 | PRICING SET 08/05/2022 | PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION

> REVISIONS NUMBER: DATE: 01 02/17/2023

> > 02 08/02/2023



3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THIN SET MORTAR. 5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD

(SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT

THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND

GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.

STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL

VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE

COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).

HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR:

BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

07000 THERMAL & MOISTURE PROTECTION

SCHEDULE

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE

REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO

FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON

FACE. 12-15 WET MIL THICKNESS.

STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD.

6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH.

VERIFY WITH ARCHITECT. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR OWNER AND ARCHITECT'S APPROVAL.

2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR)

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

ARCHITECTS

Building

**BULDING INFORMATION / SYSTEMS** 

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DRAWINGS

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS

01 02/17/2023

02 08/02/2023

DATE: | ISSUED:

04/18/2022 | PRICING SET

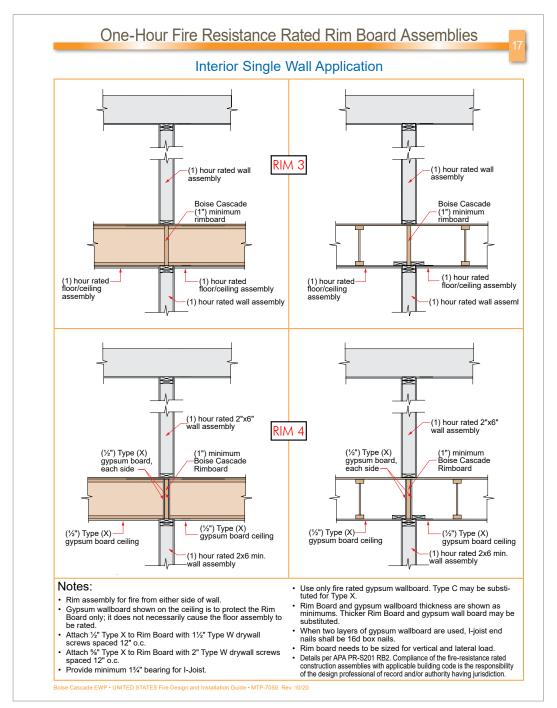
08/05/2022 | PERMIT

NUMBER: DATE:

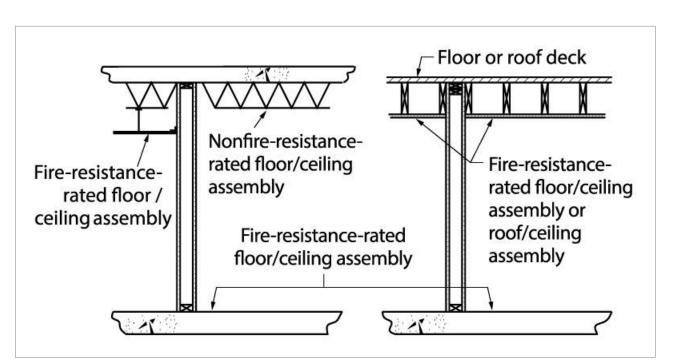
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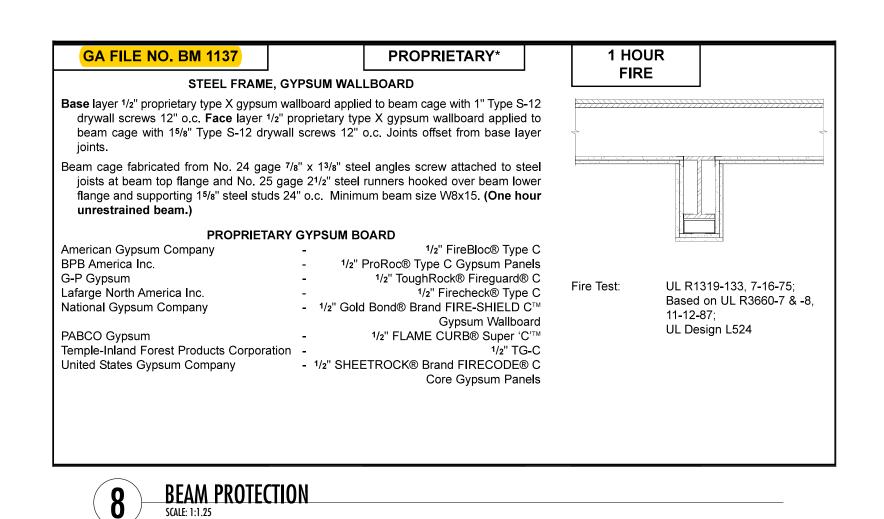
# FIRE PARTITION AND BARRIER CONTINUITY AT EXTERIOR WALLS SCALE: 1:1.54

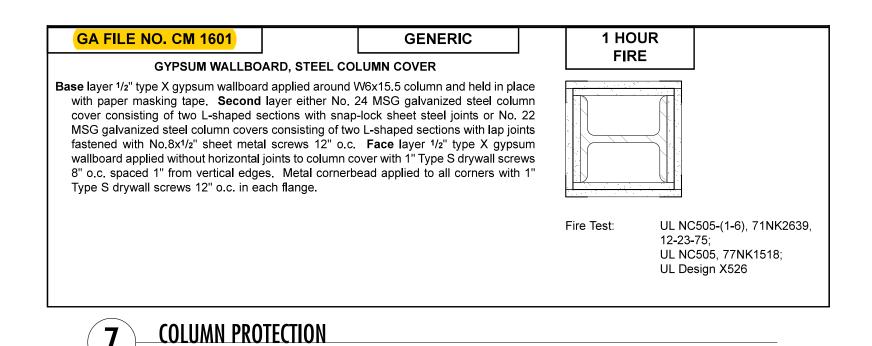


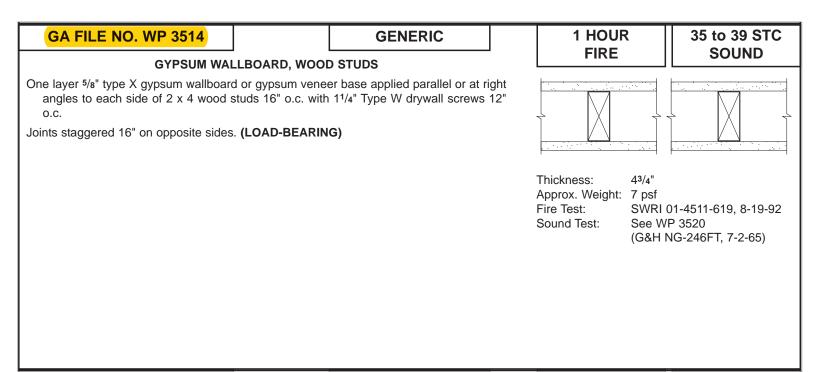
# FIRE PARTITION AND BARRIER CONTINUITY AT INTERIOR WALLS SCALE: 1:1.54



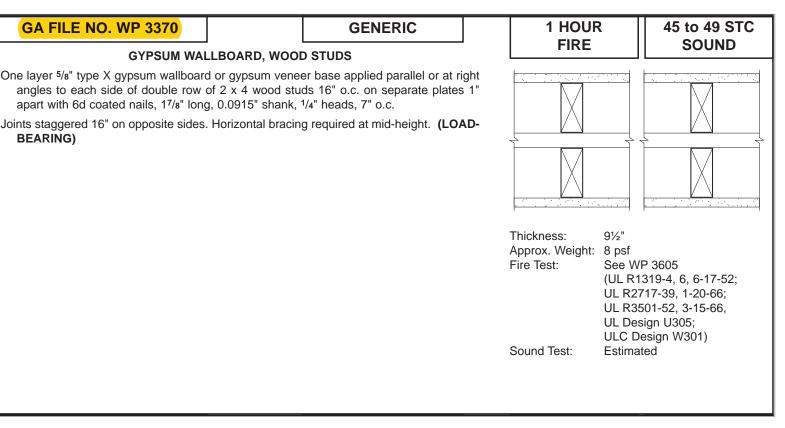
9 HORIZONTAL FIRE BARRIER AT CABIN (R-3 + C-3F)
SCALE: 1:1.67



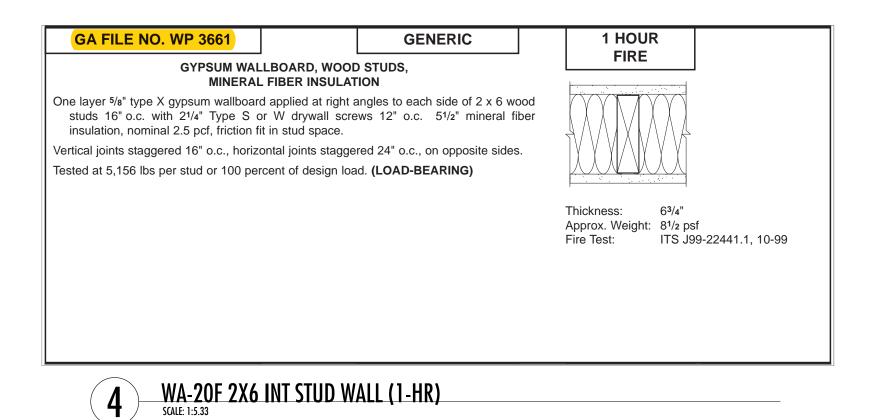


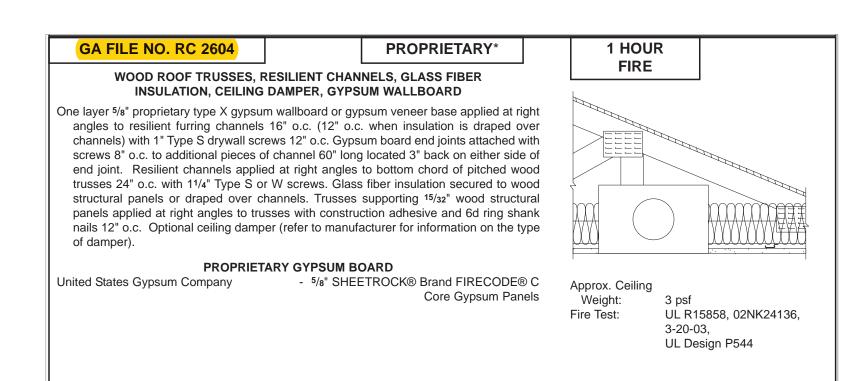


# WA-22F CRAWL SPACE PONY WALL @ FIRE BARRIER



5 DOUBLE 2X6 INT STUD WALL (1-HR)
SCALE: 1:5.39





# HORIZONTAL FIRE BARRIER AT CABIN (R-3 + C-3F)

GA FILE NO. FC 5106	GENERIC	1 HOU	11
WOOD I-JOISTS, GYPSUI RESILIENT CHA	· · · · · · · · · · · · · · · · · · ·	FIRE	
Base layer 1/2" type X gypsum wallboard applied o.c. with 11/4" Type S drywall screws 12" o.c. R to minimum 91/2" deep wood I-joists, with miniminimum 3/8" webs, 24" o.c. with 11/4" Type W gypsum wallboard applied at right angles to ch 12" o.c. Face layer end joints located midway	Resilient channels applied at right angles mum 11/4" deep x 11/2" wide flanges and drywall screws. <b>Face</b> layer 1/2" type X nannels with 15/8" Type S drywall screws		
layer with 11/2" Type G screws 12" o.c. Edge joints. Wood I-joists supporting 5/8" oriented st joists with 8d common nails 12" o.c.	e joints offset 24" from base layer edge	Approx. Ceiling Weight: Fire Test:	5 psf NRCC A-4440.1 (Revised),



<b>GA FILE NO. WP 8131</b>		PROPRIETARY*	1 HOU	R
GYPSUM WALLBOARD INSULATION, WO CEMENTIT	·	AL PANELS,	FIRE	
EXTERIOR SIDE: <b>Base</b> layer 15/32" wo studs 16" o.c. with 10d galvanized and 12" o.c. at intermediate studs. Value 1/2" proprietary cementitious bawith 15/8" long corrosion resistant so	nails 6" o.c. at ed Weather resistive cker units applied	ges and at top and bottom pla barrier applied over panels. Fa	tes ace uds	
right angles to studs with either 6d	One layer 5/8" proprietary type X gypsum wallboard applied parallel or at studs with either 6d cement coated nails, 17/8" long 7" o.c. or 17/8" long w W drywall screws 8" o.c. 3" mineral fiber insulation, 3.0 pcf, friction fit in		ong Fire Test	61/2" 14 psf UL R1319, 97NK14997, 4-25-97, UL Design U303
PROPRIET. United States Gypsum Company	ARY GYPSUM BO - 5/8" SH	OARD EETROCK® Brand FIRECOD Core Gypsum Pan	_	

WA-7F EXT STUD WALL W/ STUCCO (1-HR)
SCALE: 1:5.33

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DRAWINGS

DATE: ISSUED:

05/12/2021 COK SCHEMATIC PRESENTATION

06/10/2021 COK HPC REVIEW

09/30/2021 DESIGN REVIEW

04/22/2022 PRICING SET

08/05/2022 PERMIT

08/02/2023 ISSUED FOR CONSTRUCTION

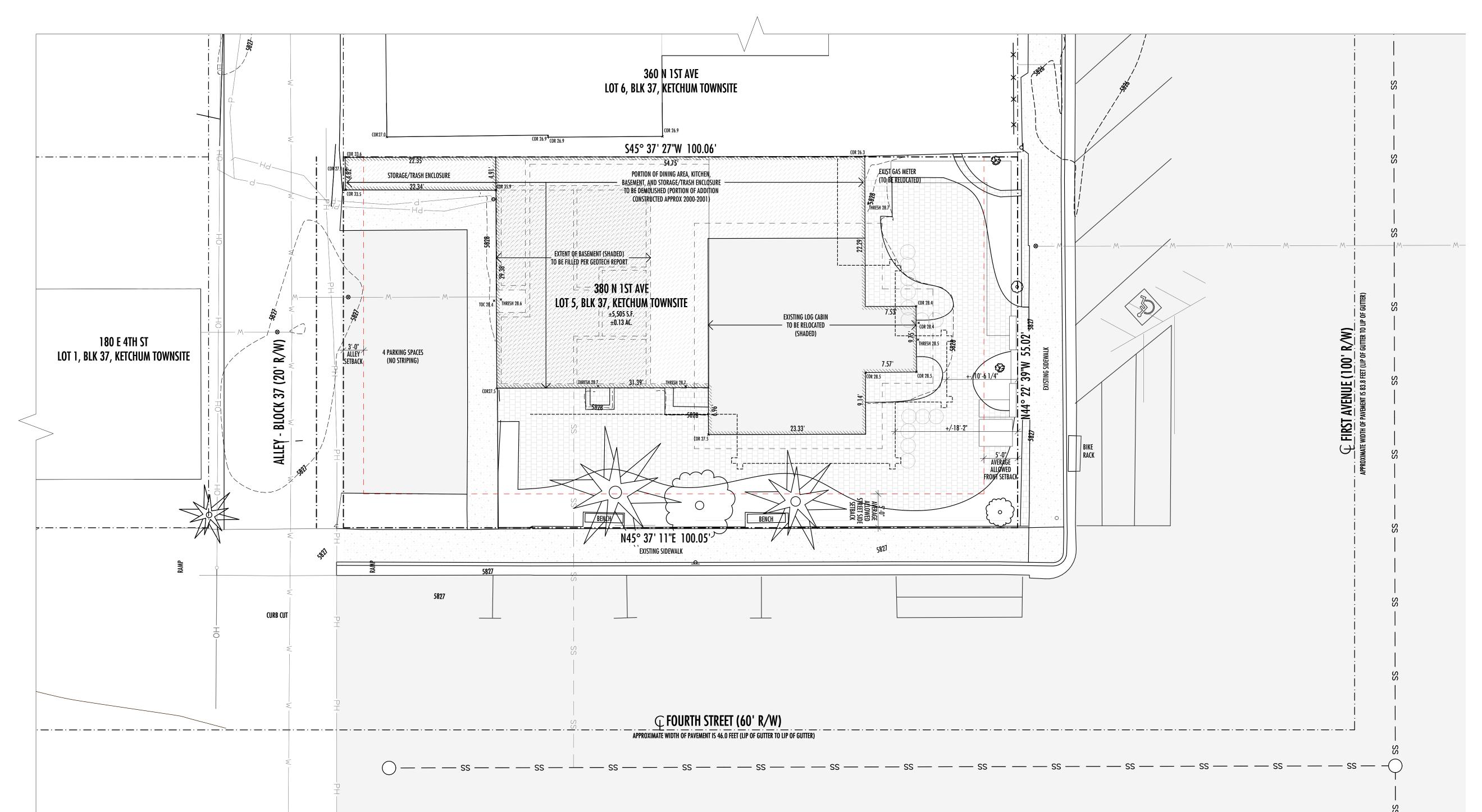
3/05/2022 PERMIT

3/02/2023 ISSUED FOR CONST

REVISIONS

NUMBER: DATE:

A 0.10



SITE PLAN - EXISTING

SCALE: 1/8" = 1'-0"

north

Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln

A 1 1

ARCHITECTURAL SITE PLAN

WILLIAMS PARTNERS

ARCHITECTS

MAIL P.O.B. 4373

83340 PHONE 208.726.0020 FAX 208.726.0019

KETCHUM, IDAHO

www WILLIAMS-PARTNERS.COM

DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS

DATE: ISSUED:

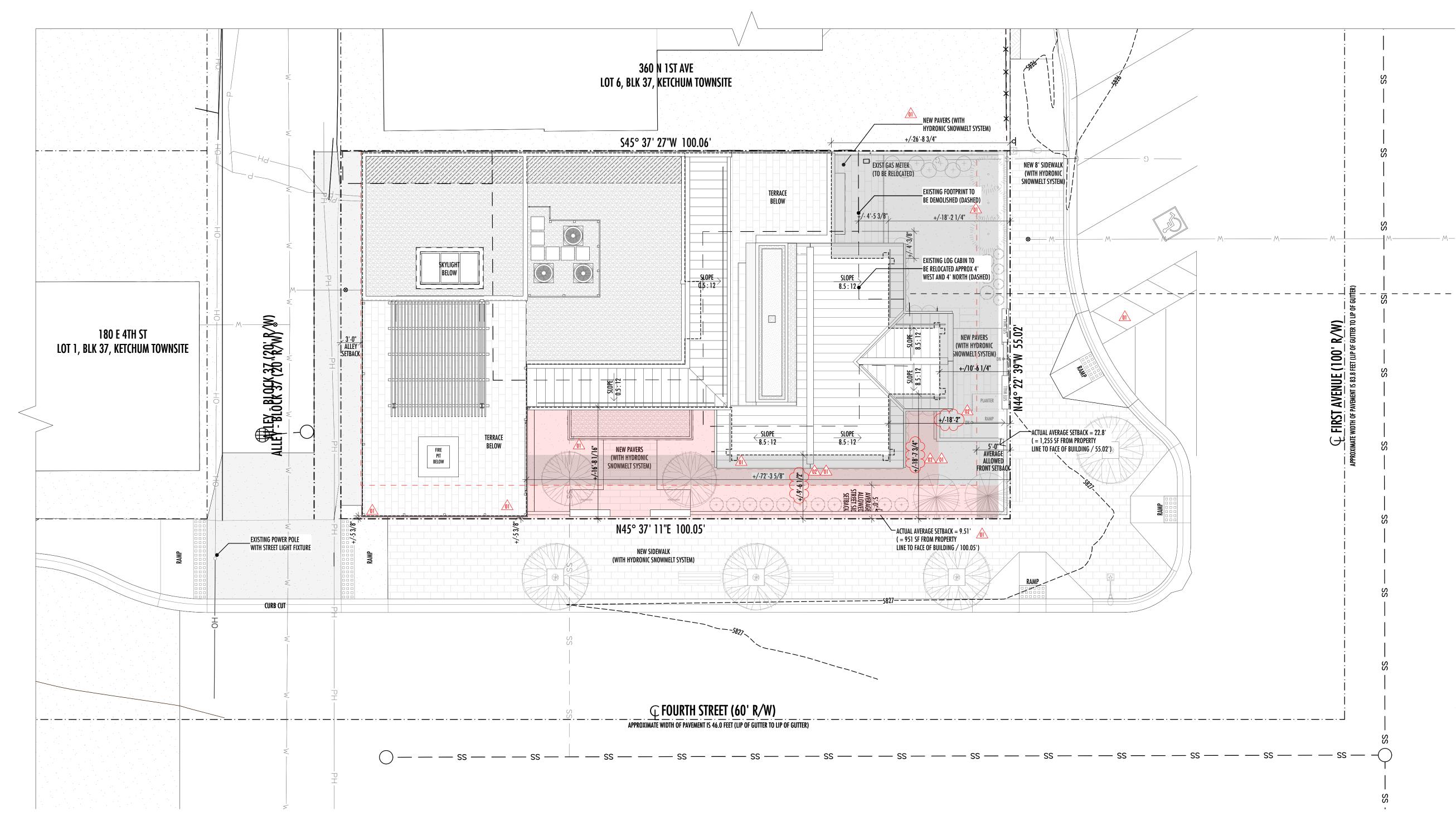
06/10/2021 | COK HPC REVIEW 09/30/2021 | DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT

NUMBER: DATE:

CITY OF KETCHUM SNOWMELT REQMTS. FOR COMMERCIAL PROJECTS:

SNOWMELT SYSTEMS INSTALLED IN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED AND OPERATE AT ALL TIMES DURING THE WINTER ACCORDING TO THE FOLLOWING:

- THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC, C403.12.2)
- THE SYSTEM SHALL HAVE AN ELECTRONIC MAIN CONTROL BOARD TO OPERATE THE SYSTEM THAT IS PROGRAMMABLE AND
- OPTIMIZES THE WAY THE SYSTEM FUNCTIONS. - INSTALLATION OF IN-GROUND CONTROL SENSORS LINKED TO THE MAIN CONTROL BOARD THAT DETECT SNOW AND ICE ON
- THE SURFACE, MONITOR THE SIDEWALK OR DRIVEWAY TEMPERATURE, AND AUTOMATICALLY ACTIVATES THE SYSTEM TO BE TURNED ON OR OFF BASED ON THE SNOW CONDITIONS AND AIR TEMPERATURE.



SITE PLAN - PROPOSED

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ARCHITECTURAL SITE PLAN

ARCHITECTS

MAIL P.O.B. 4373

PHONE 208.726.0020 FAX 208.726.0019

DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS

01 02/17/2023 02 08/02/2023

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KETCHUM, IDAHO

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TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS. DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS. 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADD'L INFO. 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC -COFFEE MACHINE ABOVE COUNTERTOP, REFER TO INTERIOR DESIGNER'S SPECS FOR

ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

ADDITIONAL INFORMATION. 

EXTERIOR GAS FIRE PIT T.B.D. SNOW RETENTION BARS, REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR MORE INFORMATION. LUTRON SIVIOA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMENDED BY MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES.

SUPPLY AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION. RETURN AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION. PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-30VQ3", OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S SPEICIFICATIONS. HARDWIRED, INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH 2018 IRC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. 57 PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL

METHODS (AF 130, IRC 2018). CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP, INSTALL IN A 60 2'x2' BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL 61 FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS, SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY, (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER..

KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO. KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO. GRILL T.B.D., PROVIDE GAS HOOK UP. STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND

SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS. TV. REFER TO INTERIOR DESIGNER'S SEPCIFICATIONS FOR ADD'L INFORMATION. FROST FREE HOSE BIBB, INTEGRATE IN CABINET BOX WHERE SHOWN. (5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH

INTERMOUNTAIN GAS. ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER. PHONE / CABLE / IRRIGATION EQUIPMENT. GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.

OPEN ROOM

**FURNITURE STORE** 

23'-8 1/4"

**FOURTH STREET** 

HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D. ELECTRICAL PANEL AS REQUIRED. AC UNITS AS REQUIRED ON CONCRETE PAD OUTDOOR REFRIGERATOR T.B.D.

MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.

SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS. MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS. MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS, PER INTERIOR DESIGNERS SPECIFICATIONS.

MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFCATIONS. SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S

SPECIFICATIONS. SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS. TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS.

BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT. KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. 27 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION.

**8'-6 3/4"** 7'-7 3/4"

KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L

BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

BUILT IN CUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 05 BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 07

DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 09 DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND 13 INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SHOWER BENCH, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR 15 ADDITIONAL INFORMATION.

HOOKS, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADD'L

INDICATES PLAN NOTE • XX

LINE OF ROOF ABOVE (SHOWN DASHED). LINE OF BEAM ABOVE (SHOWN DASHED). LINE OF WALL ABOVE (SHOWN DASHED). LINE OF OUTRIGGER ABOVE (SHOWN DASHED).

LINE OF COLUMN ABOVE (SHOWN DASHED). LINE OF FOOTING BELOW (SHOWN DASHED). LINE OF COLUMN BELOW (SHOWN DASHED). LINE OF WALL BELOW (SHOWN DASHED).

LINE OF ROOF BELOW (SHOWN DASHED). PARAPET WALL BELOW LINE OF ROOF EDGE LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

ADDITIONAL INFORMATION. CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR

STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR

ADDITIONAL INFORMATION.

WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

**GENERAL NOTES** 

COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.

ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

CONTRACTOR SHALL PATCH, REPAIR AND REFINISH ANY EXISTING ELEMENTS REMOVED OR DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.

PROTECTION SHALL BE PROVIDED TO ALL EXISTING BUILDING ELEMENTS AS REQUIRED.

REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLANS, FOOTING LOCATIONS AND SIZES.

ALL STRUCTURAL COMPONENTS OF THE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS AND SPECIFICATIONS.

PROVIDE BACKING / BLOCKING PER MANUFACTURER'S RECOMENDATIONS FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND CASEWORK. FOLLOW ALL RECOMMENDATIONS FOR INSTALLATION FOR THEIR SPECIFIC PRODUCT.

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ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.

ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS.

BUILDING SECTIONS DO NOT DEPICT EXACT STRUCTURAL CONDITIONS FOR

FIRST FLOOR PLAN - PROPOSED

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ARCHITECTS

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24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC -COFFEE MACHINE ABOVE COUNTERTOP, REFER TO INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

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HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D. ELECTRICAL PANEL AS REQUIRED. AC UNITS AS REQUIRED ON CONCRETE PAD OUTDOOR REFRIGERATOR T.B.D.

BATH 2

**BEDROOM** 

CLOSET

UNIT 2

TERRACE

23'-8 1/4"

BELOW

MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.

SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS. MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS. MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS, PER INTERIOR DESIGNERS SPECIFICATIONS.

MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFCATIONS. SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S

SPECIFICATIONS. SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS. TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS. BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.

TERRACE

14'-10 3/4"

**FOURTH STREET** 

**8'-6 3/4"** 7'-7 3/4"

KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. 27 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L

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SHOWER BENCH, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR 15 ADDITIONAL INFORMATION.

INDICATES PLAN NOTE • XX

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LINE OF OUTRIGGER ABOVE (SHOWN DASHED). LINE OF COLUMN ABOVE (SHOWN DASHED). LINE OF FOOTING BELOW (SHOWN DASHED). LINE OF COLUMN BELOW (SHOWN DASHED).

LINE OF WALL BELOW (SHOWN DASHED). LINE OF ROOF BELOW (SHOWN DASHED). PARAPET WALL BELOW LINE OF ROOF EDGE.

LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

BENCH. WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

**GENERAL NOTES** 

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CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

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PROVIDE BACKING / BLOCKING PER MANUFACTURER'S RECOMENDATIONS FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND CASEWORK. FOLLOW ALL RECOMMENDATIONS FOR INSTALLATION FOR THEIR SPECIFIC PRODUCT.

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ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

SPECIFICATIONS.

PRIOR TO SUBMITTING A BID.

REMOVED OR DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.

ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.

SECOND FLOOR PLAN - PROPOSED

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ADDITIONAL INFORMATION.

COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB

2"W x 1"T WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN

SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT

TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36"

30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF

ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.

SHEET METAL GUTTER, REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.

TAPE TO 30" MIN. BELOW GRADE, PROVIDE ELECTRICAL FOR HEAT TAPE, REFER TO

TRASH PULL-OUT, REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.

15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADD'L INFO.

DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM.

ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC -

COFFEE MACHINE ABOVE COUNTERTOP, REFER TO INTERIOR DESIGNER'S SPECS FOR

MORE INFORMATION.

METHODS (AF 130, IRC 2018).

DUAL ROLL AND SINGLE ROLL SHADE BOXES.

SNOW RETENTION BARS, REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR

MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR

PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-

PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL

DRAIN BODIES WITH VERTICAL OUTLETS, SIDE OUTLET DRAIN BODIES TO HAVE

THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE, PROVIDE HEAT TAPE AT DRAIN

BODY, (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER..

ACCORDANCE WITH 2018 IRC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. 57

CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP, INSTALL IN A 60

2'x2' BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL 61

FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT

LUTRON SIVIOA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMENDED BY

SUPPLY AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION.

RETURN AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION.

30VQ3", OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S SPEICIFICATIONS.

HARDWIRED, INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTOR IN

INTERMOUNTAIN GAS.

**MECHANICAL** 

ROOF

BELOW

23'-8 1/4"

GRILL T.B.D., PROVIDE GAS HOOK UP.

PHONE / CABLE / IRRIGATION EQUIPMENT.

AC UNITS AS REQUIRED ON CONCRETE PAD

ELECTRICAL PANEL AS REQUIRED.

OUTDOOR REFRIGERATOR T.B.D.

SPECIFICATIONS FOR ADDITIONAL INFORMATION.

KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO.

STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND

KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS.

FROST FREE HOSE BIBB, INTEGRATE IN CABINET BOX WHERE SHOWN.

ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER.

GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.

HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D.

(5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH

LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

TV. REFER TO INTERIOR DESIGNER'S SEPCIFICATIONS FOR ADD'L INFORMATION.

KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO.

SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS.

MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.

ADDITIONAL INFORMATION.

LINE OF ROOF ABOVE (SHOWN DASHED). LINE OF BEAM ABOVE (SHOWN DASHED).

LINE OF WALL ABOVE (SHOWN DASHED). LINE OF OUTRIGGER ABOVE (SHOWN DASHED). LINE OF COLUMN ABOVE (SHOWN DASHED).

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BENCH.

LINE OF ROOF BELOW (SHOWN DASHED). PARAPET WALL BELOW LINE OF ROOF EDGE. LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND 13 ADDITIONAL INFORMATION. CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN CUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 05 DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 07 DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 09

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HOOKS, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADD'L

SHOWER BENCH, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR 15

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SPECIFICATIONS. MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFCATIONS. SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S SPECIFICATIONS.

MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS, PER INTERIOR DESIGNERS

KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.

SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S

SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS. TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS. BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.

TERRACE

BELOW

BELOW

14'-10 3/4"

BELOW

/02\

THIRD FLOOR PLAN - PROPOSED

8'-6 3/4" 7'-7 3/4"

SLOPE 0.5 : 12

ROOF

BELOW

**FOURTH STREET** 

BELOW

KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. 27 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH

KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L

**GENERAL NOTES** 

COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.

ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

CONTRACTOR SHALL PATCH, REPAIR AND REFINISH ANY EXISTING ELEMENTS REMOVED OR DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.

PROTECTION SHALL BE PROVIDED TO ALL EXISTING BUILDING ELEMENTS AS REQUIRED.

REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLANS, FOOTING LOCATIONS AND SIZES.

BUILDING SECTIONS DO NOT DEPICT EXACT STRUCTURAL CONDITIONS FOR ALL STRUCTURAL COMPONENTS OF THE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS AND SPECIFICATIONS.

PROVIDE BACKING / BLOCKING PER MANUFACTURER'S RECOMENDATIONS FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND CASEWORK. FOLLOW ALL RECOMMENDATIONS FOR INSTALLATION FOR THEIR SPECIFIC PRODUCT.

INTERIOR AND EXTERIOR ELEVATIONS EXIST THAT MAY NOT BE DEPICTED IN ELEVATION, BUT ARE CLEARLY SHOWN AND REFERENCEED IN PLAN. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR / SUB-CONTRACTORS TO IDENTIFY AND INCLUDE ALL SUCH AREAS IN THEIR PROJECT PRICING AND/OR BID SCOPE OF WORK.

ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.

ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS.

ARCHITECTS MAIL P.O.B. 4373 KETCHUM, IDAHO 83340 PHONE 208.726.0020 FAX 208.726.0019

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ADDITIONAL INFORMATION.

...POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN,

COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB

2"W x 1"T WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN

SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT

24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC <

COFFEE MACHINE ABOVE COUNTERTOP, REFER TO INTERIOR DESIGNER'S SPECS FOR

TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36"

30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF

ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.

SHEET METAL GUTTER, REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.

TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO

TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.

15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADD'L INFO.

DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM.

ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS. MORE INFORMATION.

METHODS (AF 130, IRC 2018).

DUAL ROLL AND SINGLE ROLL SHADE BOXES.

SNOW RETENTION BARS, REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR

MANUFACTURER, REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR

PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-

PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL

DRAIN BODIES WITH VERTICAL OUTLETS, SIDE OUTLET DRAIN BODIES TO HAVE

THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN

BODY, (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER..

ACCORDANCE WITH 2018 IRC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. 57

CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP, INSTALL IN A 60

2'x2' BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL 61

FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT

LUTRON SIVIOA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMENDED BY

SUPPLY AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION.

RETURN AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION.

30VQ3", OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S SPEICIFICATIONS.

HARDWIRED, INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTOR IN

GRILL T.B.D., PROVIDE GAS HOOK UP.

PHONE / CABLE / IRRIGATION EQUIPMENT.

AC UNITS AS REQUIRED ON CONCRETE PAD

ELECTRICAL PANEL AS REQUIRED.

OUTDOOR REFRIGERATOR T.B.D.

INTERMOUNTAIN GAS.

SPECIFICATIONS FOR ADDITIONAL INFORMATION.

KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO.

STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND

KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS.

TV. REFER TO INTERIOR DESIGNER'S SEPCIFICATIONS FOR ADD'L INFORMATION.

FROST FREE HOSE BIBB, INTEGRATE IN CABINET BOX WHERE SHOWN.

ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER.

GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.

HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D.

(5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH

KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO.

MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH

**BELOW** I

1 A 3.6

LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

SPECIFICATIONS.

SPECIFICATIONS.

INFORMATION.

SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS.

BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS

GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.

SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS.

MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.

SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S

MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFCATIONS.

SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS.

SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S

KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L

KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L

KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.

LINE OF ROOF ABOVE (SHOWN DASHED). LINE OF BEAM ABOVE (SHOWN DASHED).

LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR

CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR

LINE OF WALL ABOVE (SHOWN DASHED).

LINE OF OUTRIGGER ABOVE (SHOWN DASHED).

LINE OF COLUMN ABOVE (SHOWN DASHED).

LINE OF FOOTING BELOW (SHOWN DASHED).

LINE OF COLUMN BELOW (SHOWN DASHED).

LINE OF WALL BELOW (SHOWN DASHED).

LINE OF ROOF BELOW (SHOWN DASHED).

PARAPET WALL BELOW.

LINE OF ROOF EDGE.

ADDITIONAL INFORMATION.

ADDITIONAL INFORMATION.

INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

BUILT IN CUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 05 BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 07 DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS, PER INTERIOR DESIGNERS BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR 09 DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

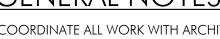
CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND 13 INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. HOOKS, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADD'L 14 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. 27

SHOWER BENCH, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR 15 ADDITIONAL INFORMATION.

WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

ARCHITECTS



DO NOT SCALE DRAWINGS.

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AND/OR BID SCOPE OF WORK.

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### **GENERAL NOTES**

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ALL STRUCTURAL COMPONENTS OF THE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS AND SPECIFICATIONS.

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**ROOF PLAN - PROPOSED** 

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83340

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DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 ISSUED FOR CONSTRUCTION REVISIONS

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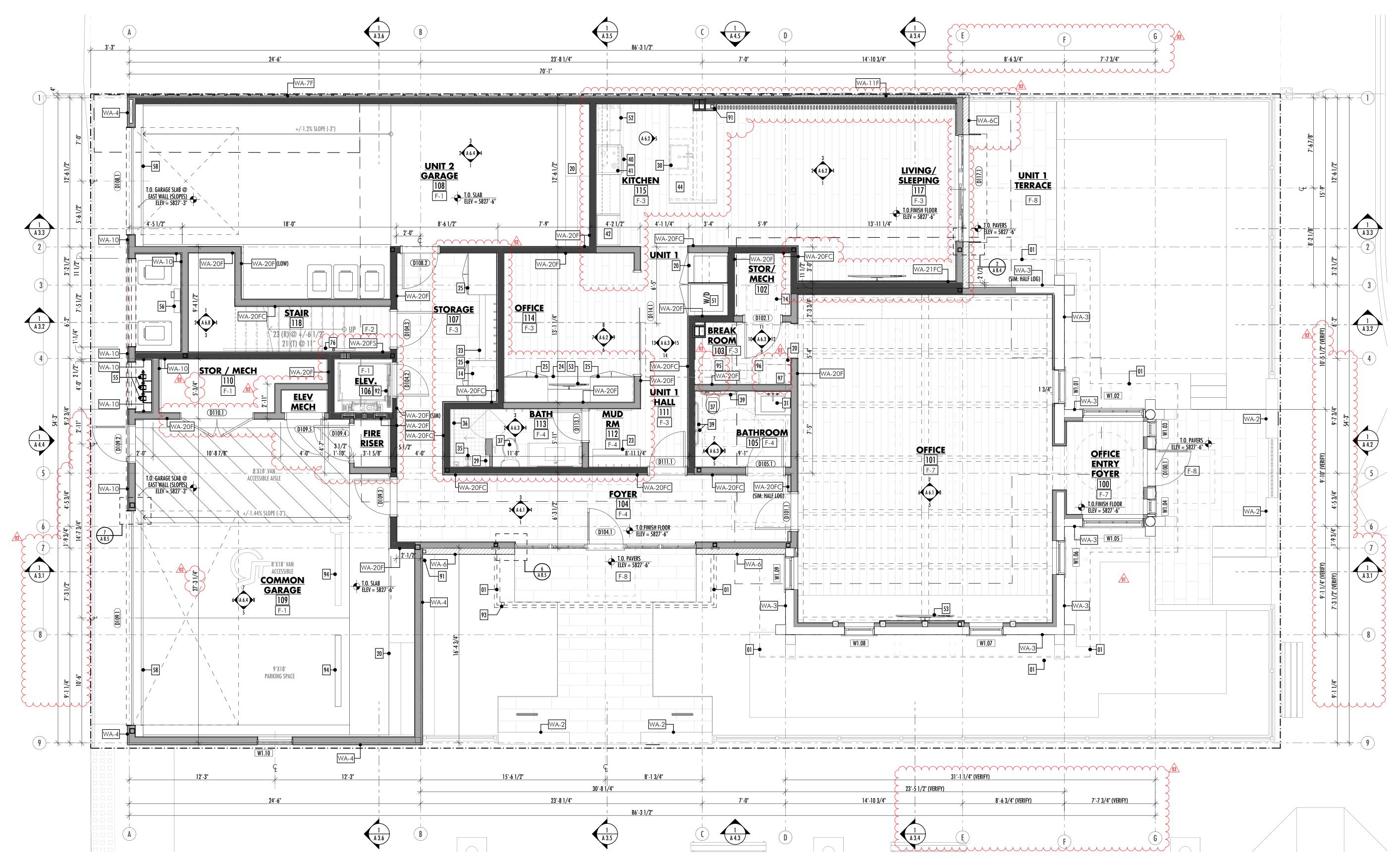
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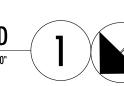
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### PLAN NOTES

...POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF

- MEMBRANE). 2"W x 1"T WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC. SHEET METAL GUTTER, REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO. SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS. DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. VEHICULAR WHEELSTOP. TRASH PULL-OUT. RÉFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADD'L INFO. 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC < COFFEE MACHINE ABOVE COUNTERTOP, REFER TO INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

### PLAN NOTES

EXTERIOR GAS FIRE PIT T.B.D. SNOW RETENTION BARS, REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR MORE INFORMATION.

MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES. SUPPLY AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION. RETURN AIR GRILLE T.B.D., SEE SYTEMS NOTES FOR ADDITIONAL INFORMATION. PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-30VQ3", OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S SPEICIFICATIONS. HARDWIRED, INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH 2018 IRC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. 57

LUTRON SIVIOA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMENDED BY

METHODS (AF 130, IRC 2018). CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 60 2'x2' BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL 61 FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT 62 DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY, (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER..

### PLAN NOTES

KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO. KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO. GRILL T.B.D., PROVIDE GAS HOOK UP.

STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS. TV. REFER TO INTERIOR DESIGNER'S SEPCIFICATIONS FOR ADD'L INFORMATION. FROST FREE HOSE BIBB, INTEGRATE IN CABINET BOX WHERE SHOWN. (5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH INTERMOUNTAIN GAS.

ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER. PHONE / CABLE / IRRIGATION EQUIPMENT. PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL 58 GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR. HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D. ELECTRICAL PANEL AS REQUIRED.

> AC UNITS AS REQUIRED ON CONCRETE PAD. OUTDOOR REFRIGERATOR T.B.D. MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### PLAN NOTES

SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS. SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS. MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.

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SPECIFICATIONS. SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS. TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS. BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS.

GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.

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KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFORMATION. 27

BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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# ADDITIONAL INFORMATION.

### PLAN NOTES

INDICATES PLAN NOTE **XX** LINE OF ROOF ABOVE (SHOWN DASHED). LINE OF BEAM ABOVE (SHOWN DASHED).

LINE OF WALL ABOVE (SHOWN DASHED). LINE OF OUTRIGGER ABOVE (SHOWN DASHED). LINE OF COLUMN ABOVE (SHOWN DASHED). LINE OF FOOTING BELOW (SHOWN DASHED).

LINE OF COLUMN BELOW (SHOWN DASHED). LINE OF WALL BELOW (SHOWN DASHED). LINE OF ROOF BELOW (SHOWN DASHED). PARAPET WALL BELOW.

LINE OF ROOF EDGE. LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BENCH.

WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

ARCHITECTS

MAIL P.O.B. 4373

PHONE 208.726.0020 FAX 208.726.0019

DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 | ISSUED FOR CONSTRUCTION

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03 08/02/2023

REVISIONS

02 | 04/20/2023 PERMIT REVISION

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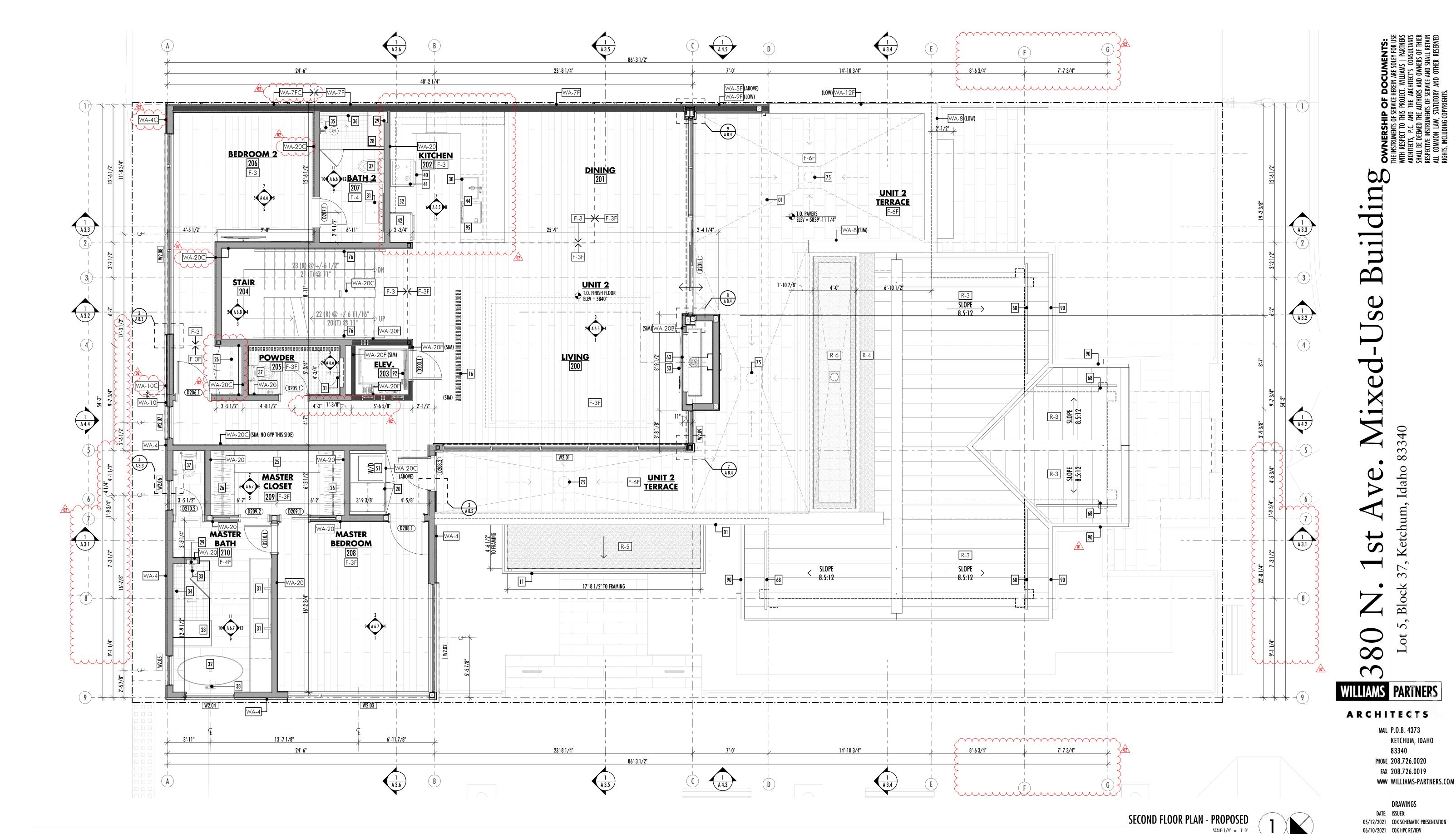
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PLAN NOTES

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### PLAN NOTES

KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO. KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADD'L INFO.

GRILL T.B.D., PROVIDE GAS HOOK UP. STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS. TV. REFER TO INTERIOR DESIGNER'S SEPCIFICATIONS FOR ADD'L INFORMATION. FROST FREE HOSE BIBB, INTEGRATE IN CABINET BOX WHERE SHOWN. (5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH

INTERMOUNTAIN GAS. ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER. PHONE / CABLE / IRRIGATION EQUIPMENT GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR. HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D. ELECTRICAL PANEL AS REQUIRED.

> AC UNITS AS REQUIRED ON CONCRETE PAD OUTDOOR REFRIGERATOR T.B.D. MONTIGO EXEMPLAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

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SHOWER NICHE, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS. SINK AND FAUCET PER INTERIOR DESIGNERS SPECIFICATIONS. MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.

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CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

BENCH. WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

KETCHUM, IDAHO

DRAWINGS

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS

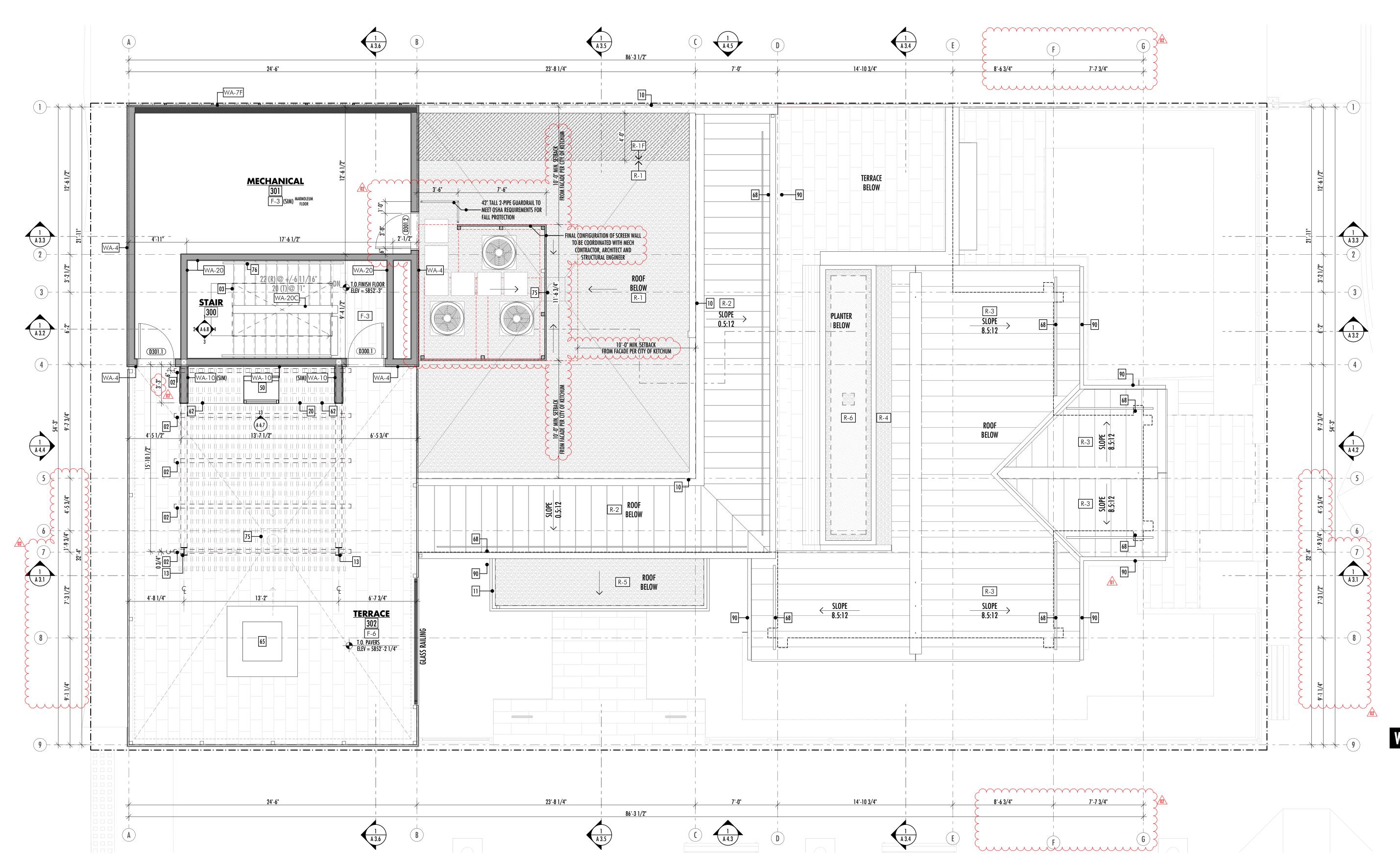
01 02/17/2023

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09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET

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PLAN NOTES PLAN NOTES ...POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, EXTERIOR GAS FIRE PIT T.B.D. COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF

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THIRD FLOOR PLAN - PROPOSED

CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

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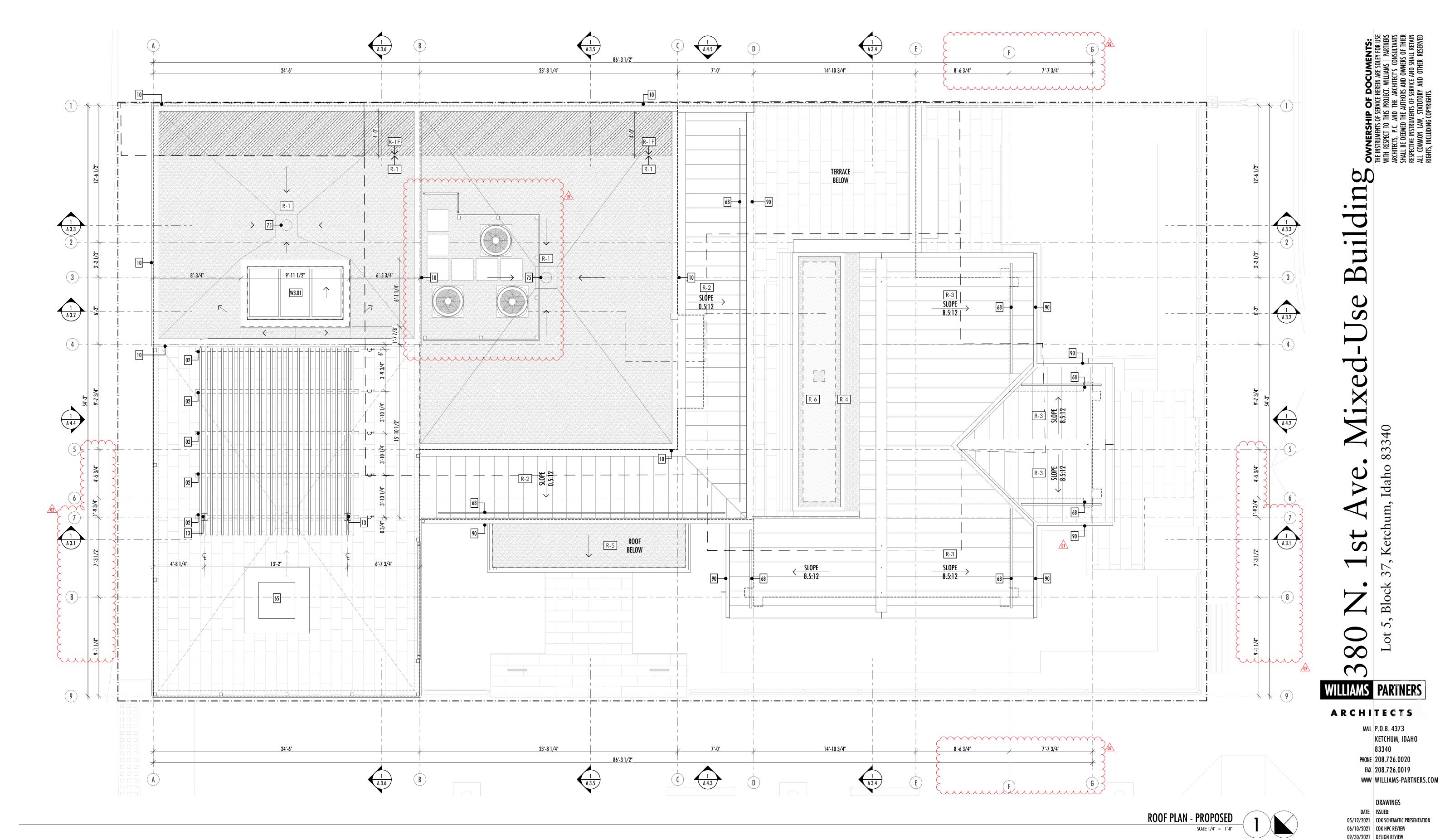
ARCHITECTS MAIL P.O.B. 4373 KETCHUM, IDAHO

> PHONE 208.726.0020 FAX 208.726.0019 www | WILLIAMS-PARTNERS.COM

DRAWINGS DATE: ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 PERMIT

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BENCH. WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS. 08/05/2022 PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS NUMBER: DATE: 01 02/17/2023 02 08/02/2023

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DRAWINGS

www WILLIAMS-PARTNERS.COM DRAWINGS

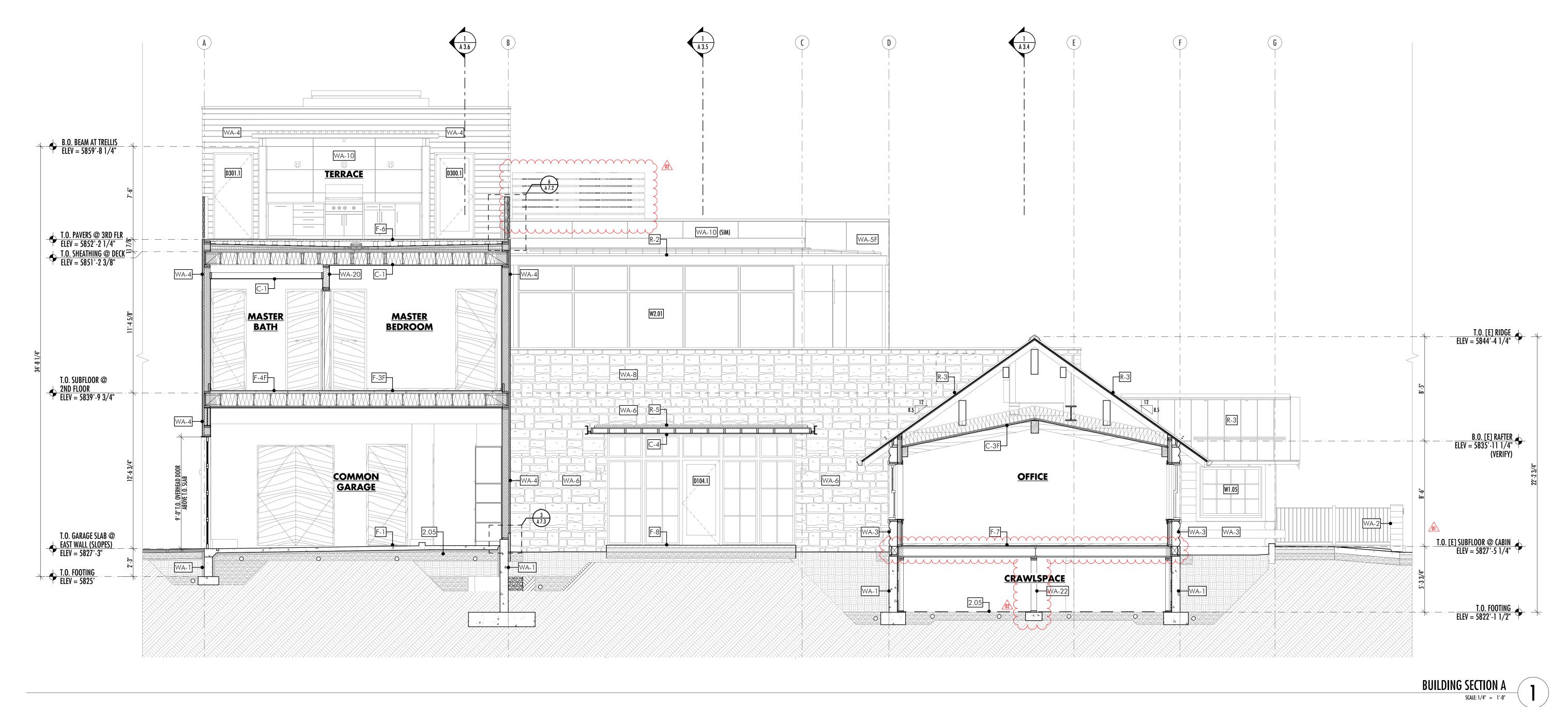
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# **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER.

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY)

TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING

ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.

9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS. 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT

BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL, CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE WERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

SCHEDULE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO

<sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for ADDITIONAL INFORMATION. 6.17 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK.

6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE

REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE

REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO

FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED

EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER

2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT

ARCHITECT'S APPROVAL. TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR.

2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

INDICATES KEYNOTE **← X.XX** 

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR, PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES, REFER TO STRUCTURAL 3.04

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

www WILLIAMS-PARTNERS.COM DRAWINGS

DATE: ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION

06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET

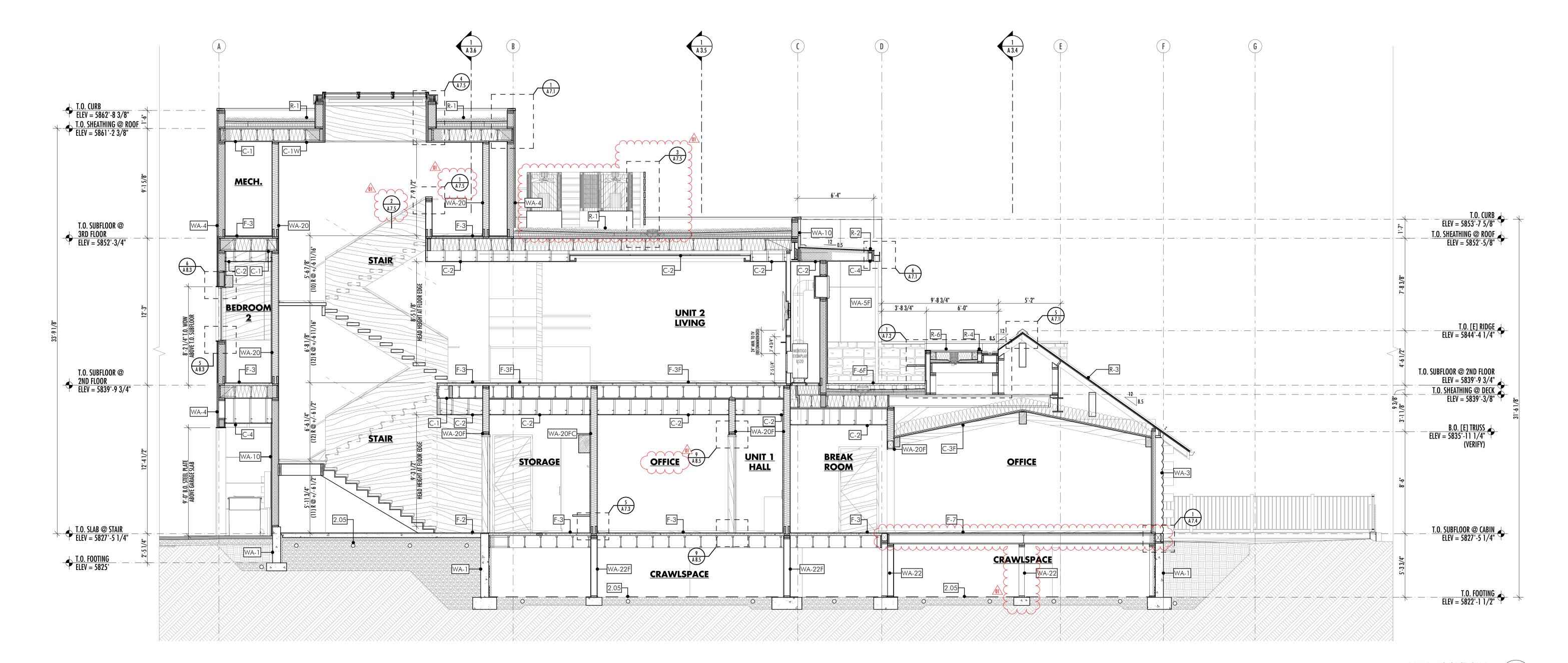
08/05/2022 PERMIT

08/02/2023 | ISSUED FOR CONSTRUCTION

REVISIONS NUMBER: DATE:

01 08/02/2023





### **KEYNOTES**

09000 FINISHES (CONTINUED) 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER

FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

MANUFACTURER'S SPECIFICATIONS.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.

7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT.

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.

VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE WERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

SCHEDULE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.

6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for ADDITIONAL INFORMATION.

6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

### 07000 THERMAL & MOISTURE PROTECTION

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).

BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS

AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL.

TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13].

STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> <u>CONCRETE</u> SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

INDICATES KEYNOTE **← X.XX** 

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND

PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR)

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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DRAWINGS DATE: ISSUED:

05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET

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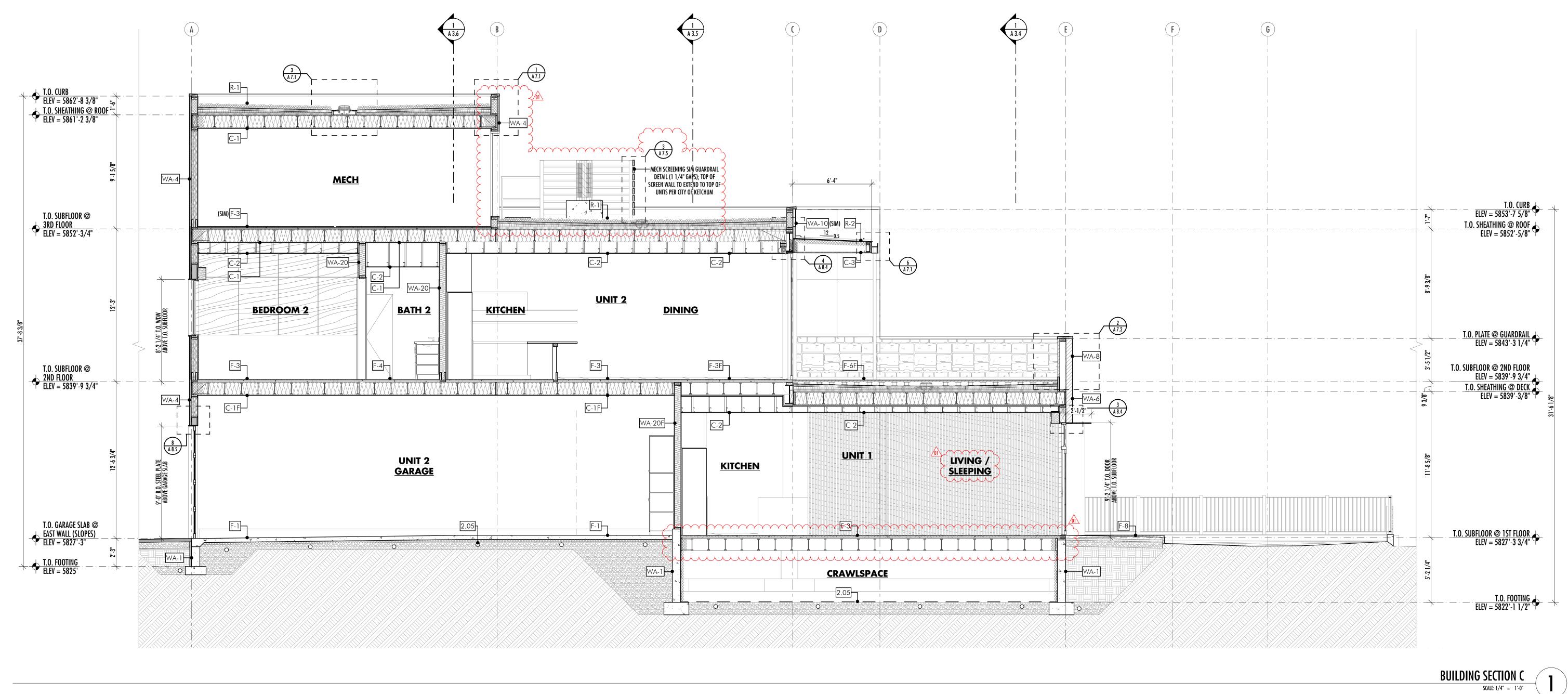
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01 08/02/2023





# **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.

9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHFFT AO 10) 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER.

A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER

INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY)

TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11000 EQUIPMENT

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS. 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.

7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF. 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S

SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED FOUAL 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.

VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT

WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER

FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER.

GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM.

TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

(VERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for

ADDITIONAL INFORMATION. 6.17 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK. 6.18 NOT USED.

6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED.

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE 07000 THERMAL & MOISTURE PROTECTION

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE

REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING 7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).

7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL.

TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).

SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE

SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

INDICATES KEYNOTE 🕶 X.XX

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR, PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT

RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND

PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL

INFORMATION. 3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER). CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE

TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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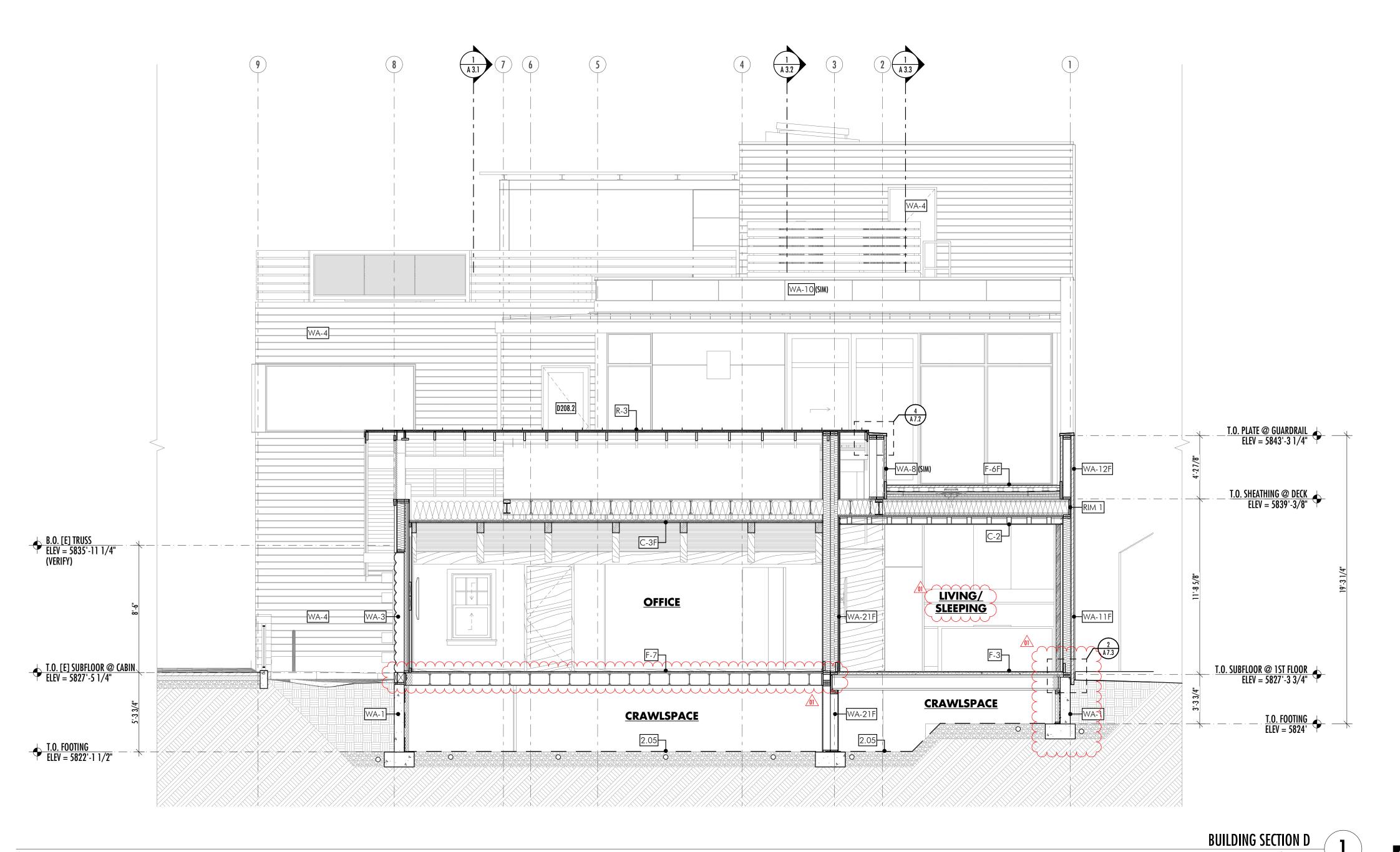
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### **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE

C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

SHFFT AO 10) 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER

10000 SPECIALTIES REFER TO PLAN NOTES.

11000 EQUIPMENT

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

MANUFACTURER'S SPECIFICATIONS.

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.28 AWS DIAMOND HEAD SERIES PEDESTALS

7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT.

PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23

0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL.

7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER

SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL, CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for ADDITIONAL INFORMATION.

6.17 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.

WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).

7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER

(R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL.

ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS

**KEYNOTES** 

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.

ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

GRAVEL PER LANDSCAPE ARCHITECT.

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT. TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.

INDICATES KEYNOTE **← X.XX** 

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR, PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL

INFORMATION. 3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL 3.04

3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

DRAWINGS FOR ADDITIONAL INFORMATION.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE

TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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DRAWINGS

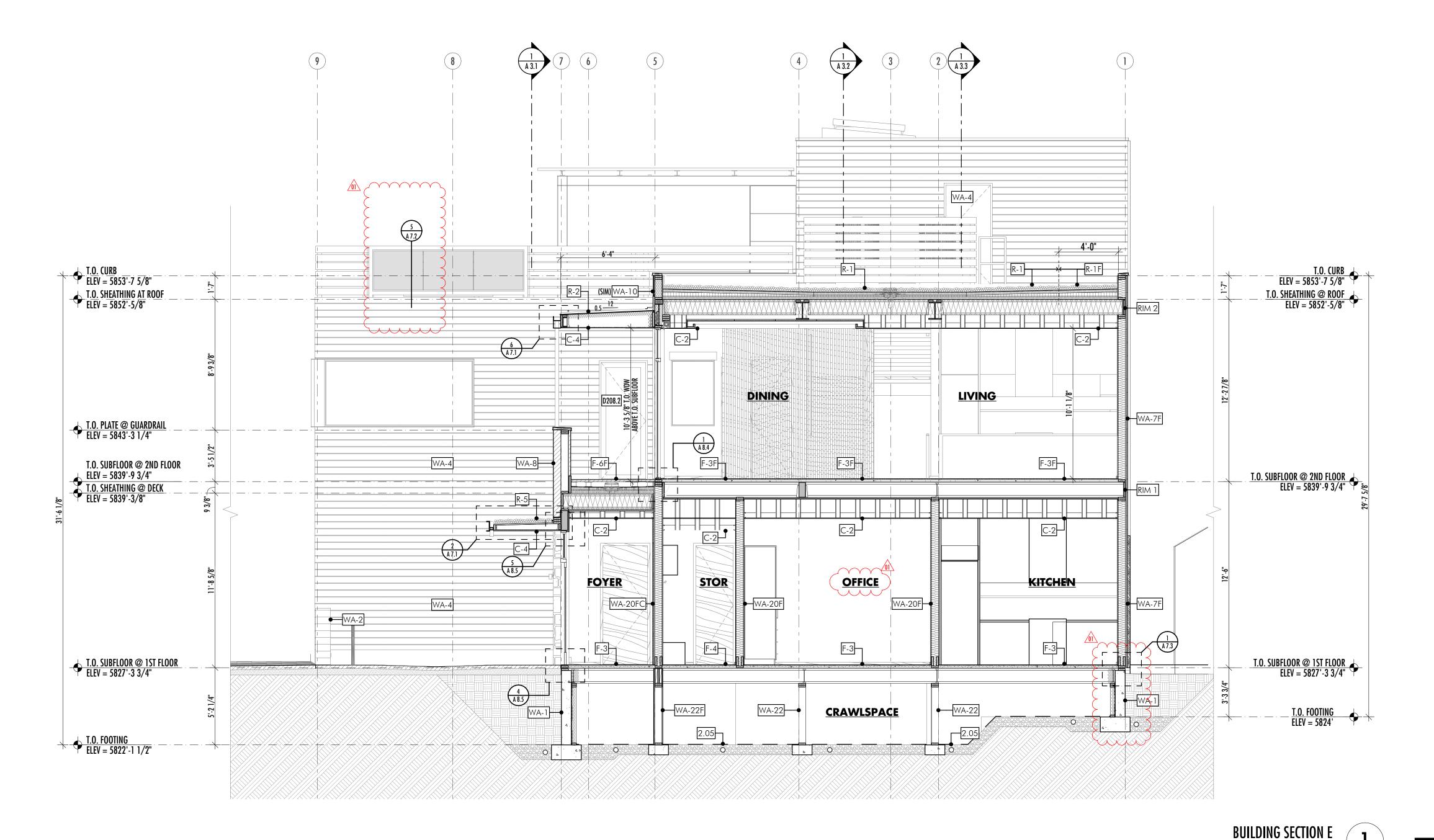
DATE: ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET

08/05/2022 PERMIT

08/02/2023 | ISSUED FOR CONSTRUCTION REVISIONS

NUMBER: DATE: 01 08/02/2023





### **KEYNOTES**

09000 FINISHES (CONTINUED) 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) tile, refer to interior specifications book for additional

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT.

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.

STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL

VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

(VFRIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for

ADDITIONAL INFORMATION. 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED.

6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21

BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT

ARCHITECT'S APPROVAL. TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13].

STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> <u>CONCRETE</u> SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION.

6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

Indicates keynote **←** X.XX

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

GRAVEL PER LANDSCAPE ARCHITECT. 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR

ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS.

PROVIDE REINFORCEMENT AS REQUIRED. MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE

(PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE

TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

PHONE 208.726.0020

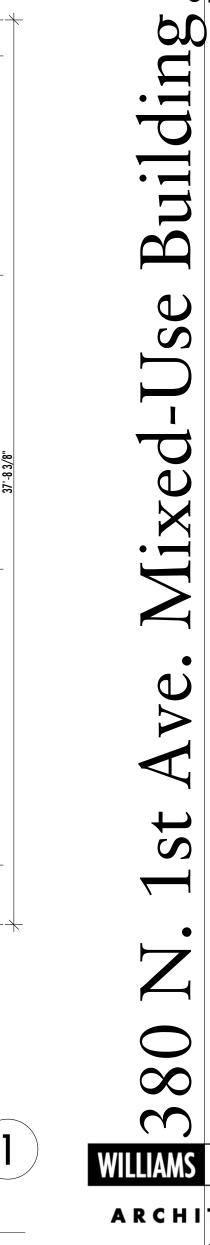
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2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

Indicates keynote **←** X.XX

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.

PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND

**BUILDING SECTION F** 

2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. PATTERN, VERIFY WITH LANDSCAPE ARCHITECT.

2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR)

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

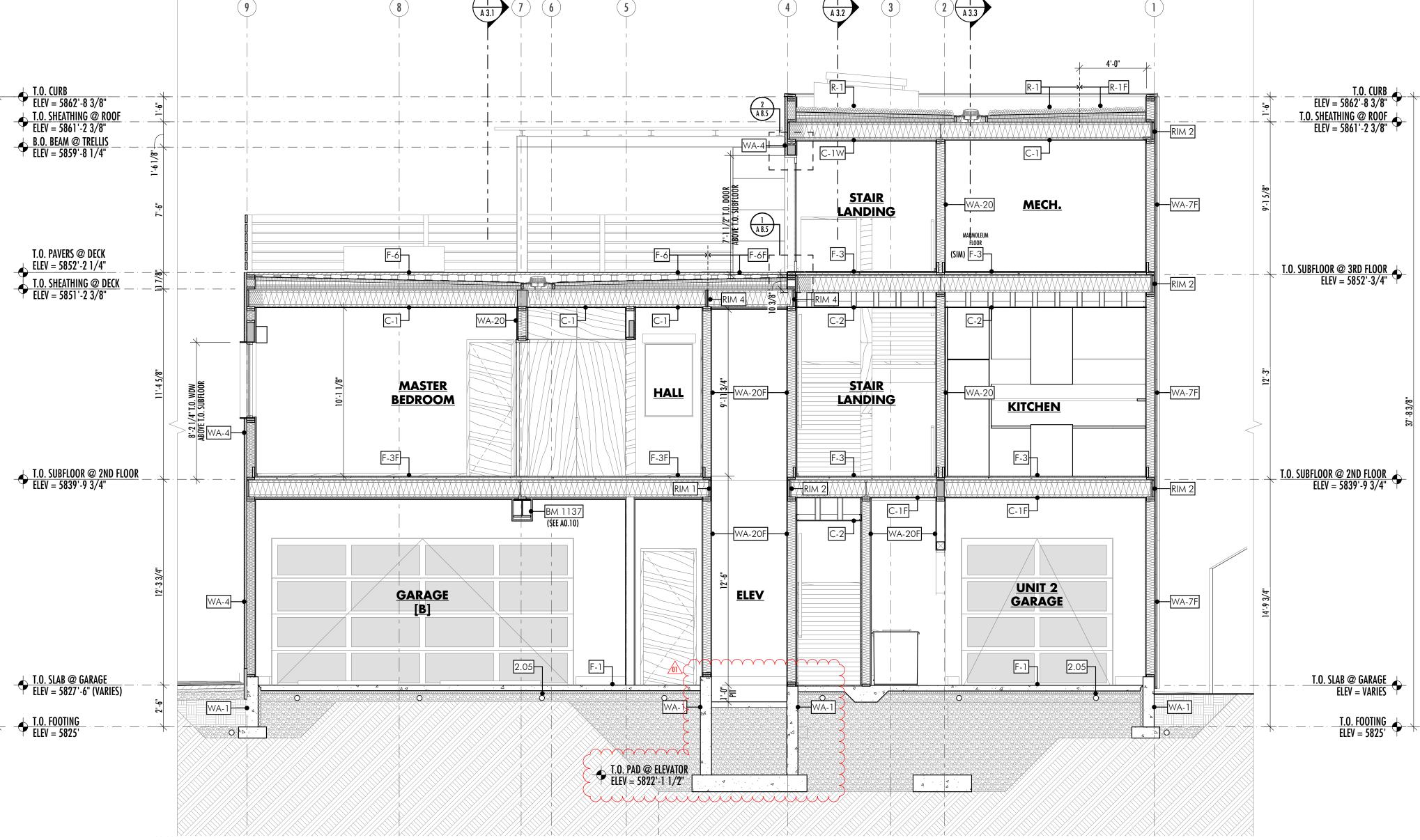
3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.

4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE

TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).



### **KEYNOTES**

09000 FINISHES (CONTINUED) 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) tile, refer to interior specifications book for additional

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS. 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT

BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER

SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VFRIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR-BONDERIZED), MIN. 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.

6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO ₹ 6.16 × Y INTERIOR WOOD WALLS: RĚFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION. 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK.

6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.

WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

SCHEDULE 07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE

REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).

7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING 7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.

7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER

2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL.

TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

WOOD SHINGLES TO BE REMOVED AND
—REPLACED WITH METAL STANDING SEAM

(2) EXISTING INTERIOR DOOR OPENINGS

WINDOW AND DOOR FRAMES TO BE REPLAC
WITH LIKE STYLE, BLACK ALUMINUM CLADD
CASING TO BE REFINISHED (NATURAL STAIN

\_\_SCALLOPED PORTION OF FASCIA TO BE REMOVED (TYPICAL AT (3) GABLE ENDS)

WOOD SHINGLES TO BE REMOVED

—AND REPLACED WITH METAL

STANDING SEAM CLASS 'A' ROOF

DINING ROOM ADDITION TO BE

DEMOLISHED (SHOWN DASHED)

AND (1) PASS-THROUGH WINDOW -OPENING: WALL TO BE DEMOLISHED AND REPLACED WITH WOOD FRAMED

INTERIOR WALL CONSTRUCTION

KITCHEN ADDITION TO BE

SHUTTERS TO BE REMOVED LOGS TO BE REFINISHED (NATURAL STAIN)

EAST ELEVATION - EXISTING

-DEMOLISHED (SHOWN

CLASS 'A' ROOF

ARCHITECTS

MAIL P.O.B. 4373 KETCHUM, IDAHO 83340 PHONE 208.726.0020

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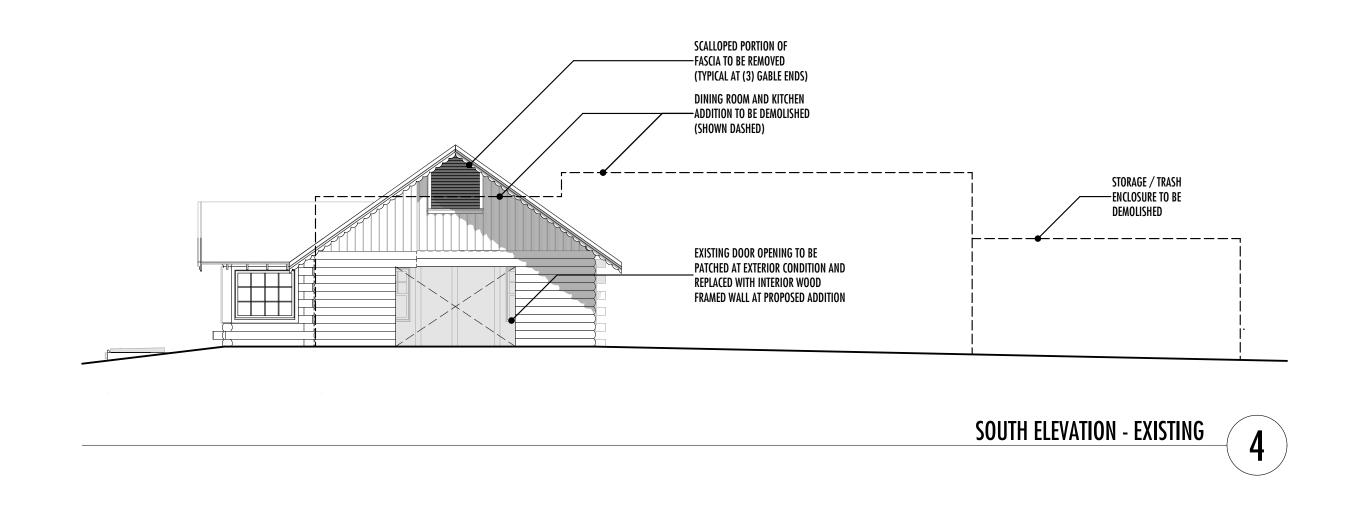
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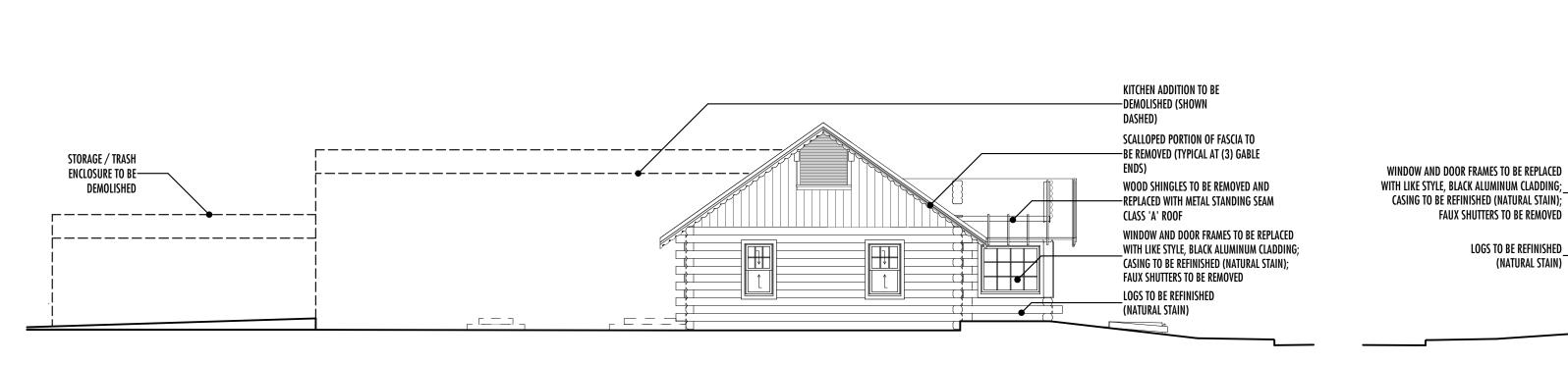
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EXTERIOR ELEVATIONS

WEST ELEVATION - EXISTING





NORTH ELEVATION - EXISTING

WINDOW AND DOOR FRAMES TO BE REPLACED

CASING TO BE REFINISHED (NATURAL STAIN);

FAUX SHUTTERS TO BE REMOVED

LOGS TO BE REFINISHED\_\_\_ (NATURAL STAIN)

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DRAWINGS

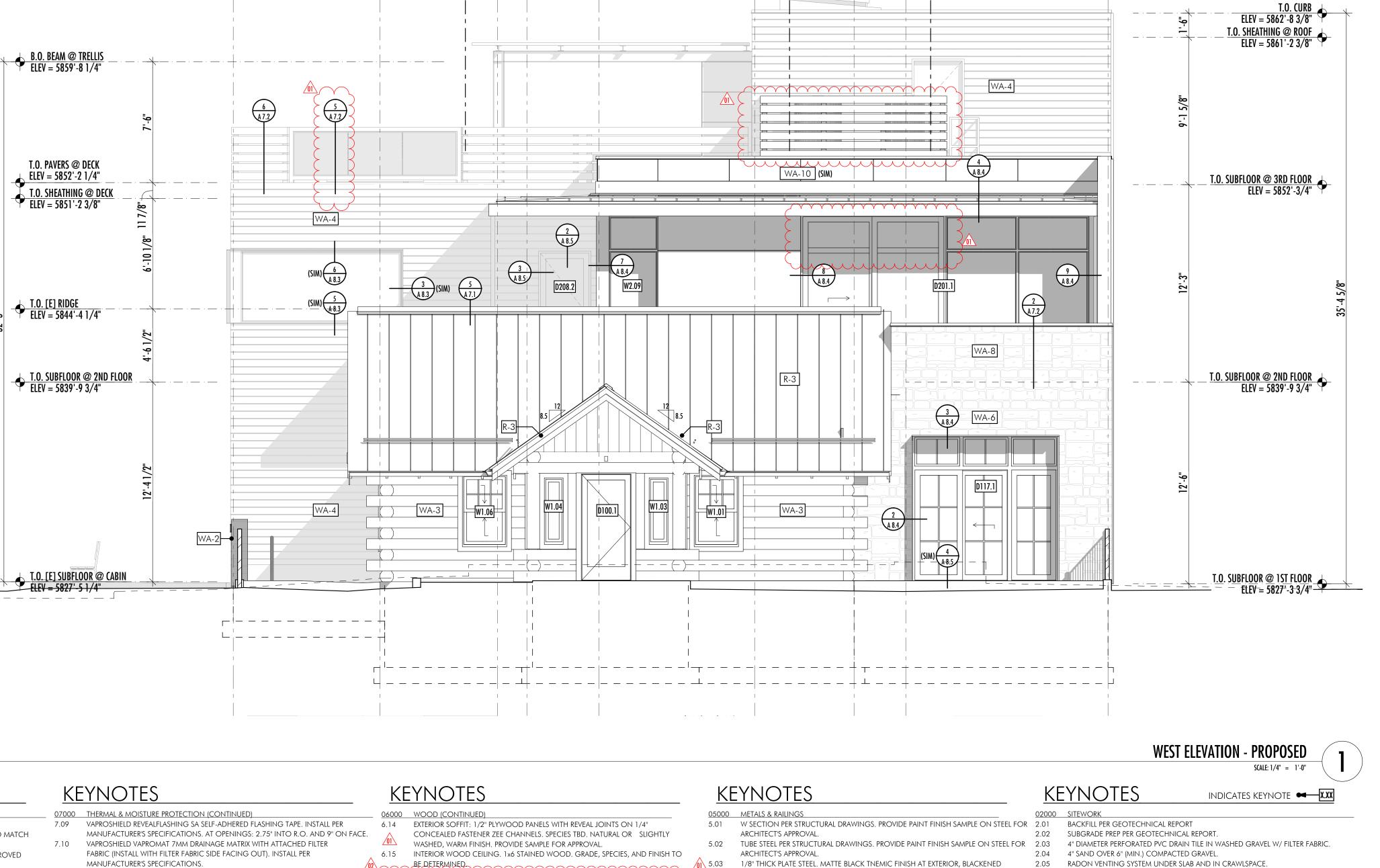
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01 08/02/2023



### **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.

SHFFT AO 10) 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER

10000 SPECIALTIES REFER TO PLAN NOTES.

11000 EQUIPMENT

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

MANUFACTURER'S SPECIFICATIONS.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.

7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF. 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S

SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT

THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS.

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT

PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23

0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED FOUAL 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

### **KEYNOTES**

T.O. PAVERS @ DECK

ELEV = 5852'-2 1/4"

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER

1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT).

COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).

HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27 WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE <sup>2</sup> 6.16 ° ' INTERIOR WOÓD WÄLLS': RÉFER TÓ INTERIÖR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.

WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED. 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL

FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13].

STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

### 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

GRAVEL PER LANDSCAPE ARCHITECT.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES, REFER TO STRUCTURAL 3.04 DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS.

### PROVIDE REINFORCEMENT AS REQUIRED. 4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE

(PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE

SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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DRAWINGS DATE: ISSUED:

05/12/2021 | COK SCHEMATIC PRESENTATION

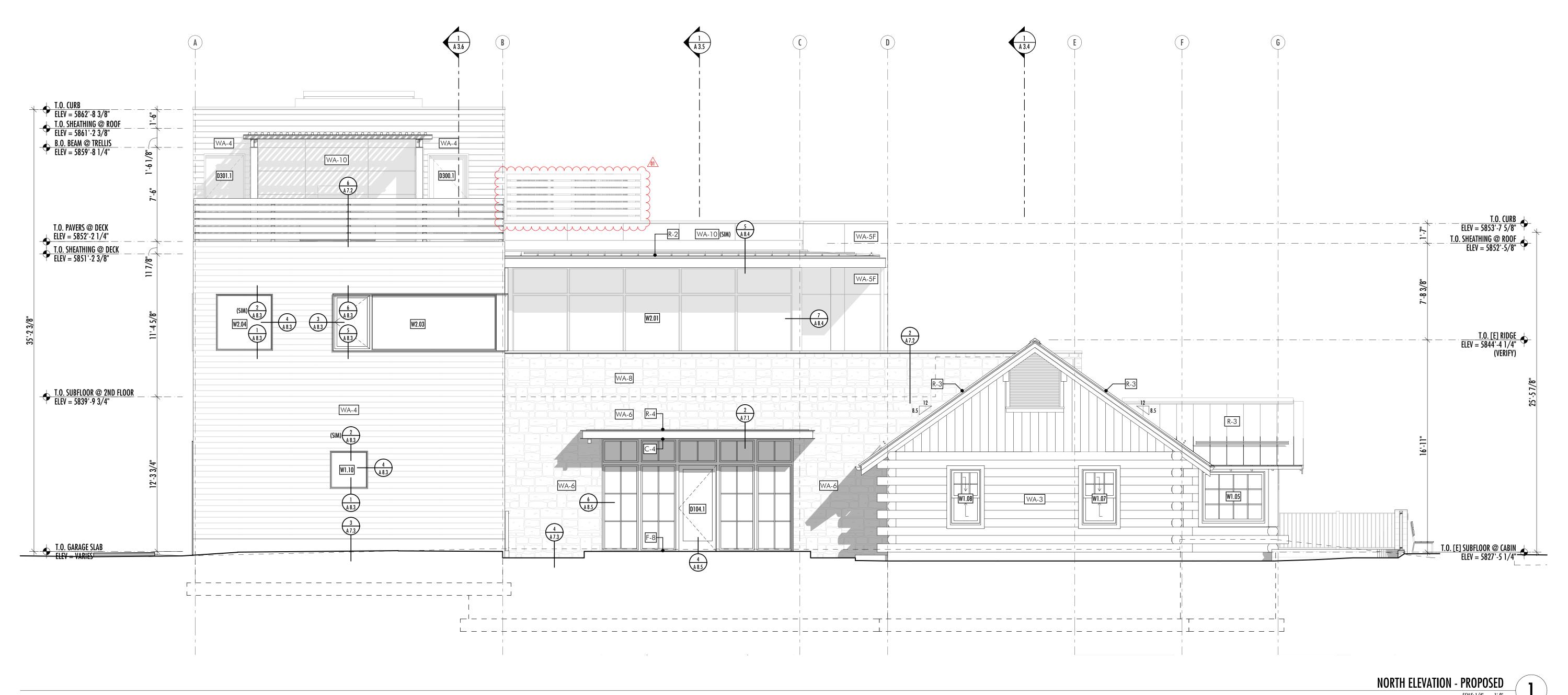
06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT

08/02/2023 | ISSUED FOR CONSTRUCTION REVISIONS

NUMBER: DATE: 01 08/02/2023



INDICATES KEYNOTE **← X.XX** 



### **KEYNOTES**

09000 FINISHES (CONTINUED) 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) tile, refer to interior specifications book for additional INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK

FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

9.08 CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS. 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF. 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S

SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S

SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

MANUFACTURER'S SPECIFICATIONS.

1/8" ASPHALT PROTECTION BOARD.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT).

COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VFRIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.

6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>v v</sup> interior woód walls: réfer tó interior designer's specifications for

ADDITIONAL INFORMATION. 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK.

6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21

BE DETERMINED. 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED

EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL.

TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).

SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE

CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

GRAVEL PER LANDSCAPE ARCHITECT.

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL

INFORMATION. BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

### MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE

TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

KETCHUM, IDAHO

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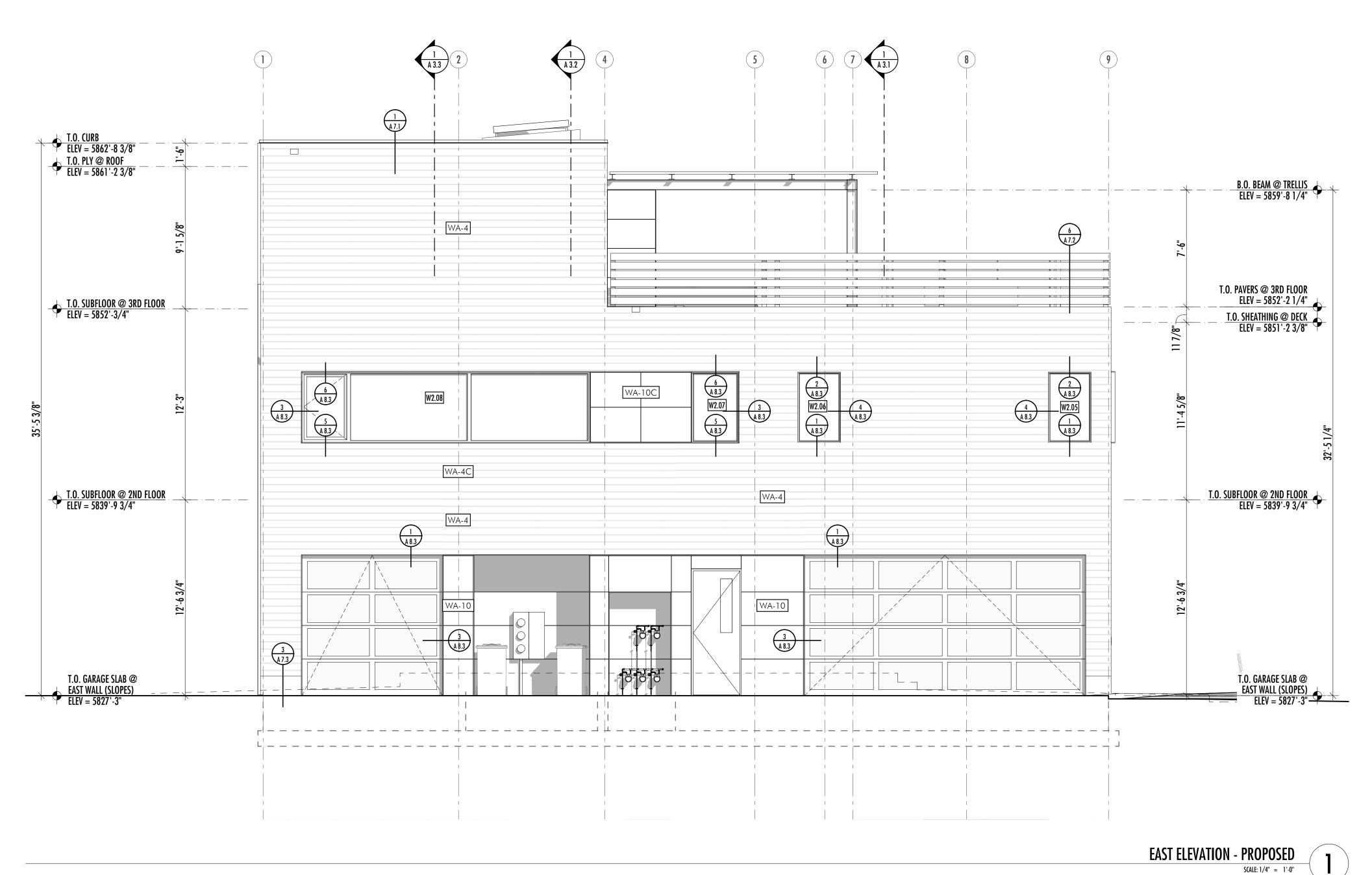
www WILLIAMS-PARTNERS.COM DRAWINGS

DATE: ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION

06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 | PERMIT

08/02/2023 | ISSUED FOR CONSTRUCTION REVISIONS

NUMBER: DATE:



### **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.

9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE

C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) tile, refer to interior specifications book for additional

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION

INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11000 EQUIPMENT

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.

7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM.

PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S

SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED FOUAL 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

### **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 ° ' INTERIOR WOÓD WÄLLS': RÉFER TÓ INTERIÖR DESIGNER'S SPECIFICATIONS FOR

ADDITIONAL INFORMATION. 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED. 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).

7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT

ARCHITECT'S APPROVAL. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13].

STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> <u>CONCRETE</u> SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

06000 WOOD 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1.

6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION.

6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT. 6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13

RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT. TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.

INDICATES KEYNOTE **← X.XX** 

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER.

GRAVEL PER LANDSCAPE ARCHITECT. 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNER). CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES, REFER TO STRUCTURAL 3.04 DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS.

PROVIDE REINFORCEMENT AS REQUIRED.

4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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DRAWINGS DATE: ISSUED:

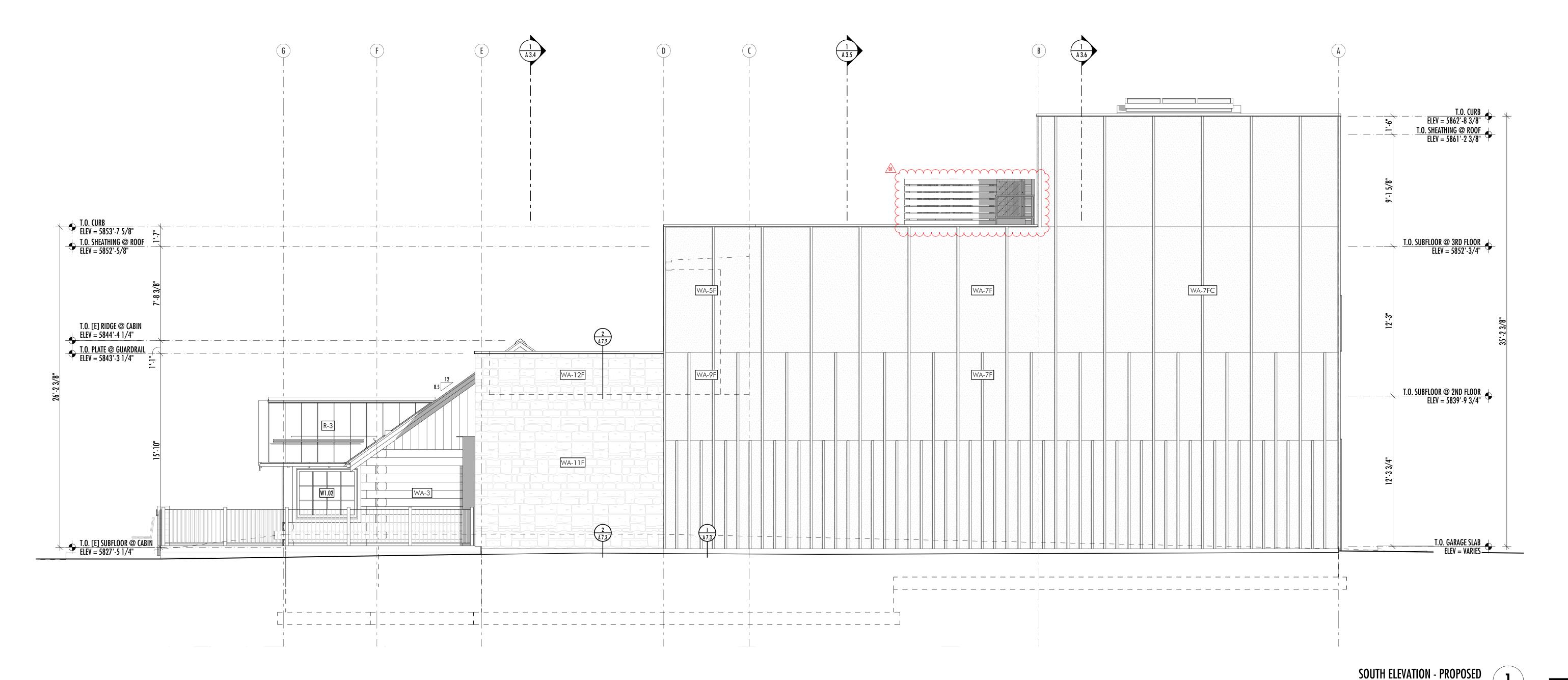
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01 08/02/2023





### **KEYNOTES**

09000 FINISHES (CONTINUED)

9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.

9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER

INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY)

tile, refer to interior specifications book for additional INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING

ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIN SET MORTAR.

5/8" CEMENT BACKER BOARD.

9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.28 AWS DIAMOND HEAD SERIES PEDESTALS. 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

EQUAL). SEALANT TO MATCH ADJACENT FINISH. 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF. 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S

SPECIFICATIONS. 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT

THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS.

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4"

MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT. PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER

MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

(VFRIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

SCHEDULE

SECTIONS.

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO <sup>2</sup> 6.16 <sup>1</sup> INTERIOR WOÓD WÄLLS: RÉFER TÓ INTERIÖR DESÍGNER'S SPEČIFICATIONS FOR

ADDITIONAL INFORMATION. 6.17 3/4" THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21 BE DETERMINED.

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

07000 THERMAL & MOISTURE PROTECTION

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE

REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL

FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

05000 METALS & RAILINGS 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT

ARCHITECT'S APPROVAL. TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).

SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

INDICATES KEYNOTE **← X.XX** 

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND

PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.03 BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).

CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS.

PROVIDE REINFORCEMENT AS REQUIRED.

MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

PLAN NOTES INDICATES PLAN NOTE • XX

REFER TO A2.1 - A2.4 FOR PLAN NOTES

FIRST FLOOR REFLECTED CEILING PLAN

SYSTEMS NOTES INDICATES SYSTEM NOTE • X-XX

REFER TO A0.1- A0.2 FOR SYSTEMS NOTES

Building ARCHITECTS MAIL P.O.B. 4373 KETCHUM, IDAHO

A 5.1

REFLECTED CEILING PLANS

83340 PHONE 208.726.0020 FAX 208.726.0019

DRAWINGS

05/12/2021 | COK SCHEMATIC PRESENTATION

08/02/2023 ISSUED FOR CONSTRUCTION REVISIONS

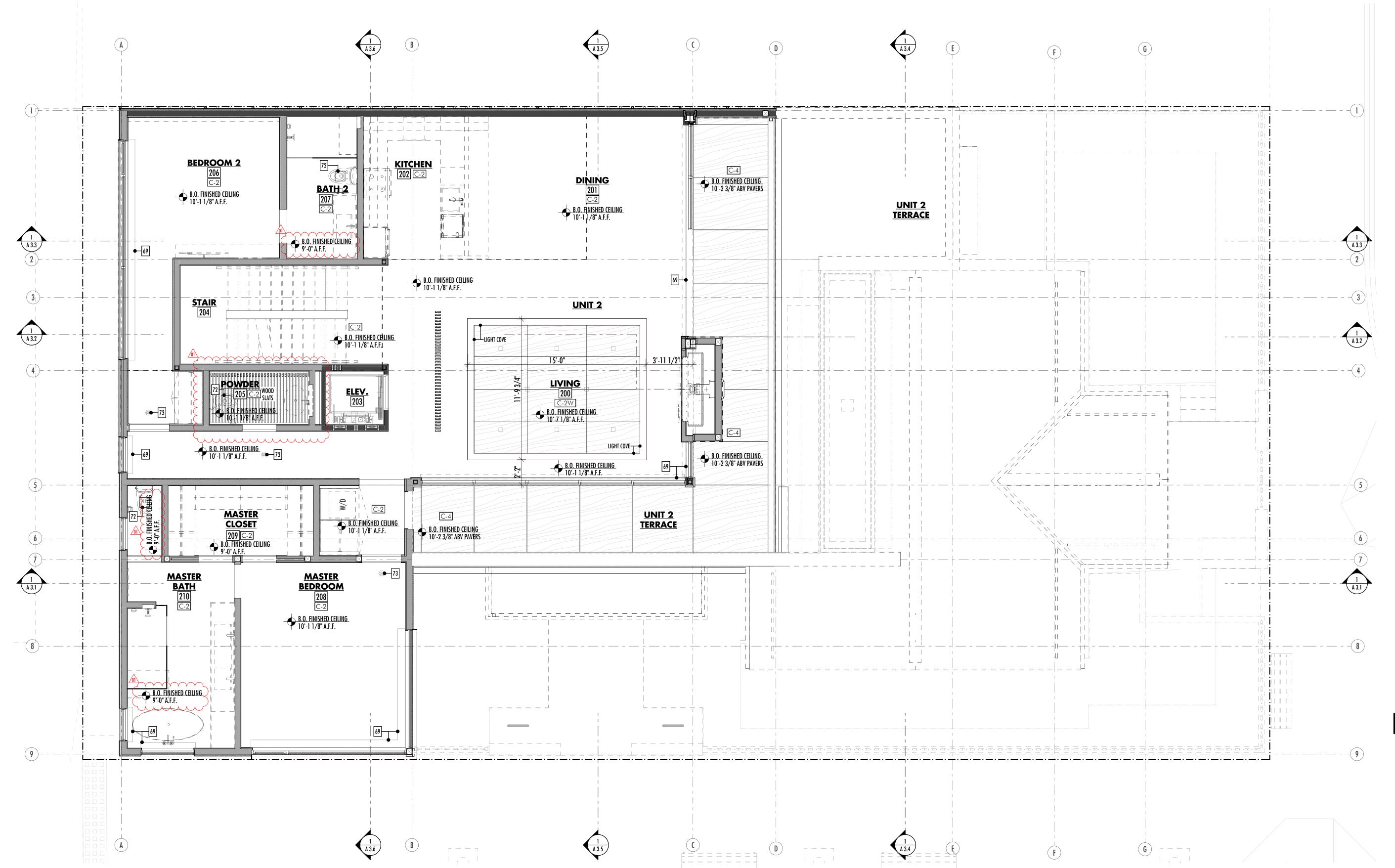
DATE: ISSUED:

06/10/2021 | COK HPC REVIEW

09/30/2021 DESIGN REVIEW
04/22/2022 PRICING SET
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ARCHITECTS MAIL P.O.B. 4373 KETCHUM, IDAHO 83340

PHONE 208.726.0020 FAX 208.726.0019 www WILLIAMS-PARTNERS.COM

DRAWINGS DATE: ISSUED: 05/12/2021 | COK SCHEMATIC PRESENTATION 06/10/2021 | COK HPC REVIEW 09/30/2021 DESIGN REVIEW 04/22/2022 | PRICING SET 08/05/2022 PERMIT 08/02/2023 | ISSUED FOR CONSTRUCTION

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SECOND FLOOR REFLECTED CEILING PLAN

SYSTEMS NOTES INDICATES SYSTEM NOTE •—X-XX

PLAN NOTES

REFER TO A2.1 - A2.4 FOR PLAN NOTES

REFER TO A0.1- A0.2 FOR SYSTEMS NOTES

ARCHITECTS MAIL P.O.B. 4373 KETCHUM, IDAHO 83340 PHONE 208.726.0020 FAX 208.726.0019

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REFLECTED CEILING PLANS

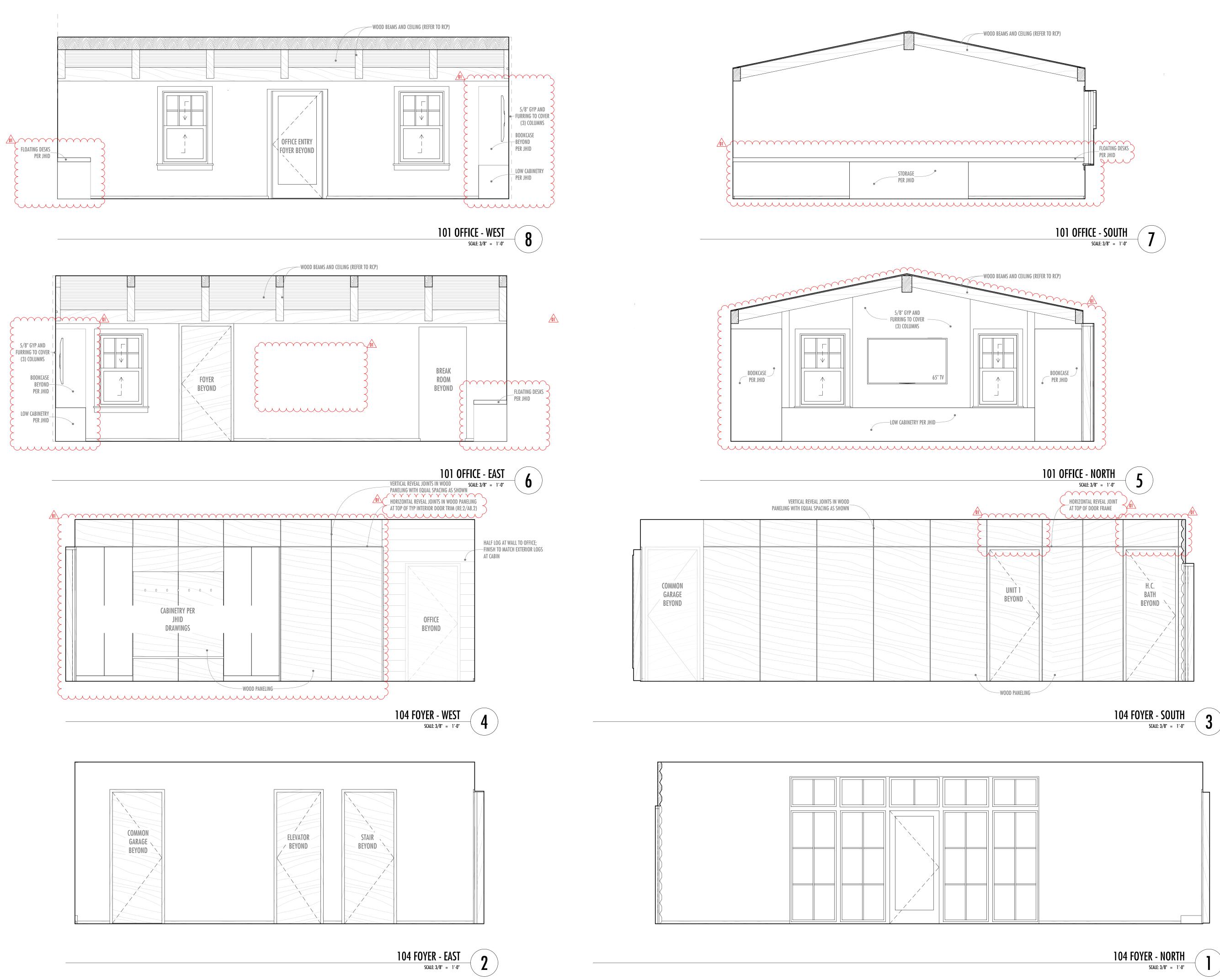
THIRD FLOOR REFLECTED CEILING PLAN

SYSTEMS NOTES INDICATES SYSTEM NOTE •—X-XX

PLAN NOTES

REFER TO A2.1 - A2.4 FOR PLAN NOTES

REFER TO A0.1- A0.2 FOR SYSTEMS NOTES



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REVISIONS NUMBER: DATE:

01 08/02/2023

115/116/117 UNIT 1 LIVING / KITCHEN / DINING - WEST

REF. /

FZR.

HOOD

CABINETRY BY

JHID

RANGE

115/116/117 UNIT 1 LIVING / KITCHEN / DINING - EAST

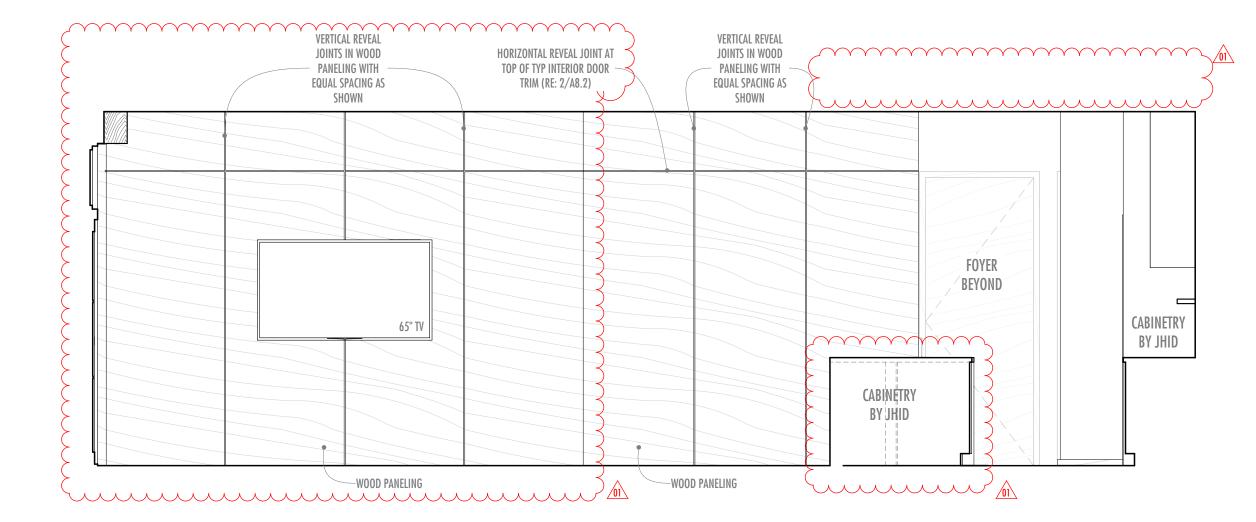
SCALE: 3/8" = 1'-0"

115 ISLAND - WEST

SCALE: 3/8" = 1'-0"

115/116/117 UNIT 1 LIVING / KITCHEN / DINING - SOUTH

SCALE: 3/8" = 1'-0"



115/116/117 UNIT 1 LIVING / KITCHEN / DINING - NORTH

ARCHITECTS

MAIL P.O.B. 4373

83340

PHONE 208.726.0020 FAX 208.726.0019

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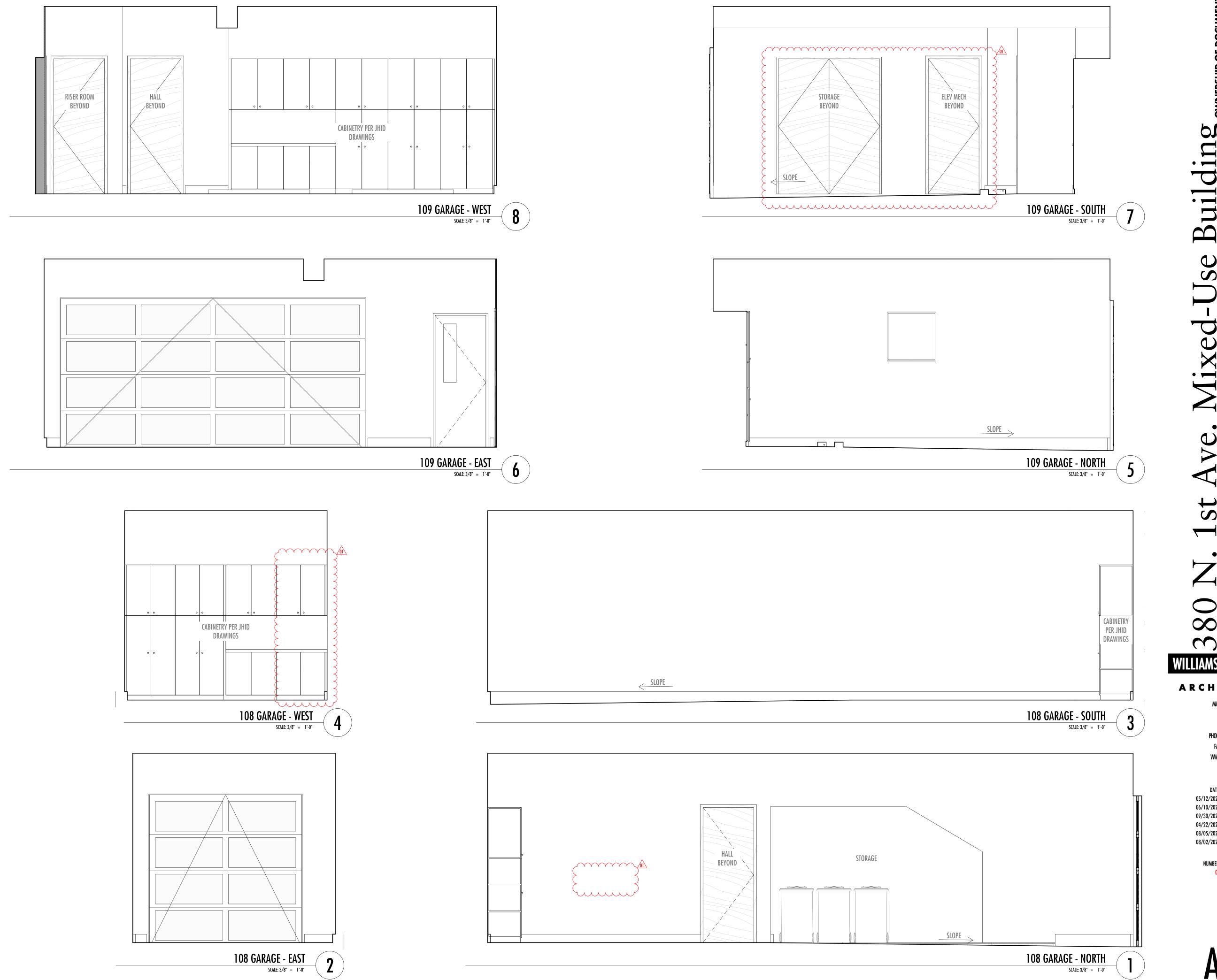
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Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln



INTERIOR ELEVATIONS

Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln

SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"

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SCALE: 3/8" = 1'-0"

Idaho

ARCHITECTS

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SCALE: 3/8" = 1'-0"

INTERIOR ELEVATIONS



Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln

MECHANICAL

STAIR

BEYOND

ARCHITECTS MAIL P.O.B. 4373

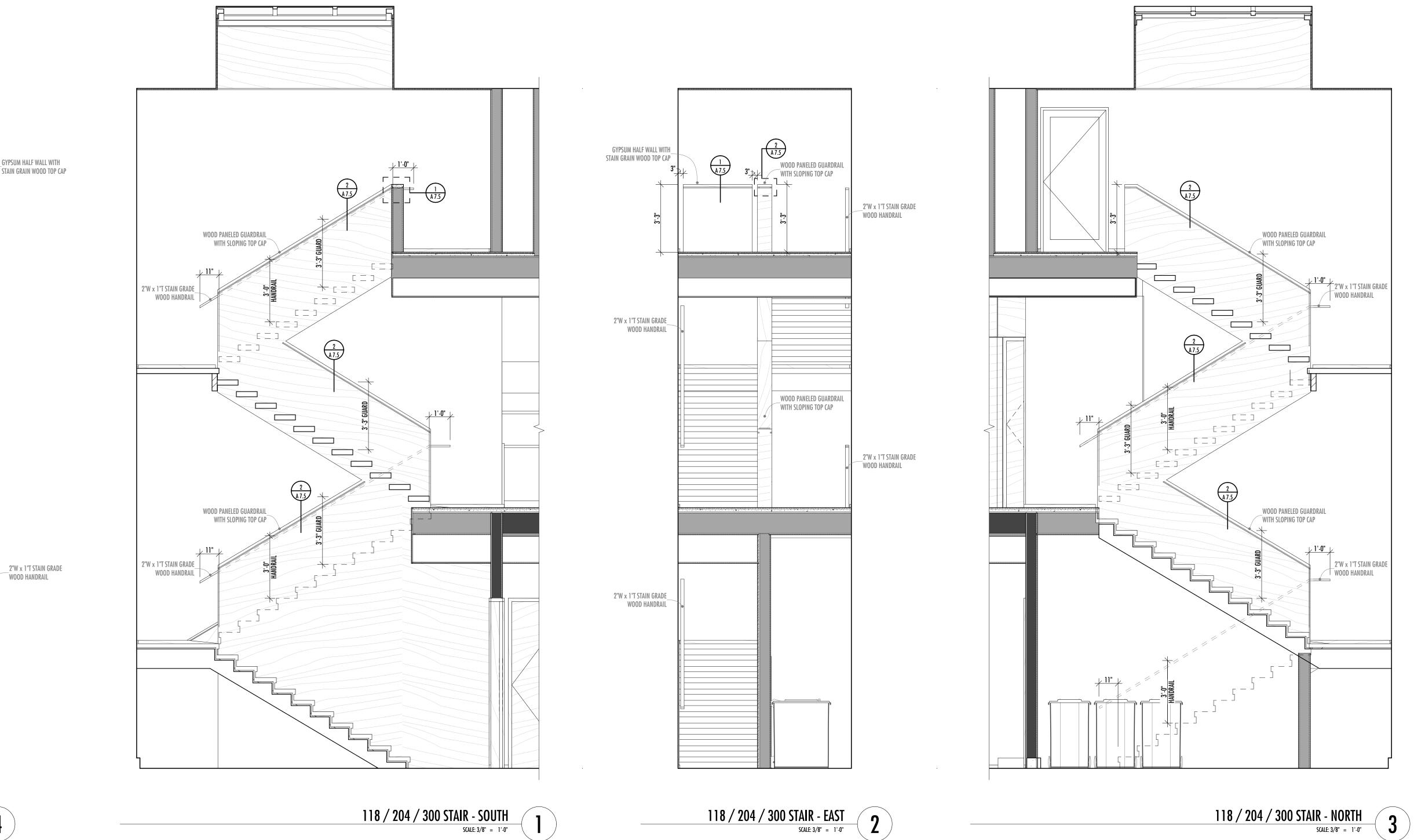
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REVISIONS NUMBER: DATE:



2"W x 1"T STAIN GRADE\_ WOOD HANDRAIL WOOD PANELED GUARDRAIL WITH SLOPING TOP CAP 2"W x 1"T STAIN GRADE Wood Handrail

2"W x 1"T STAIN GRADE\_ WOOD HANDRAIL

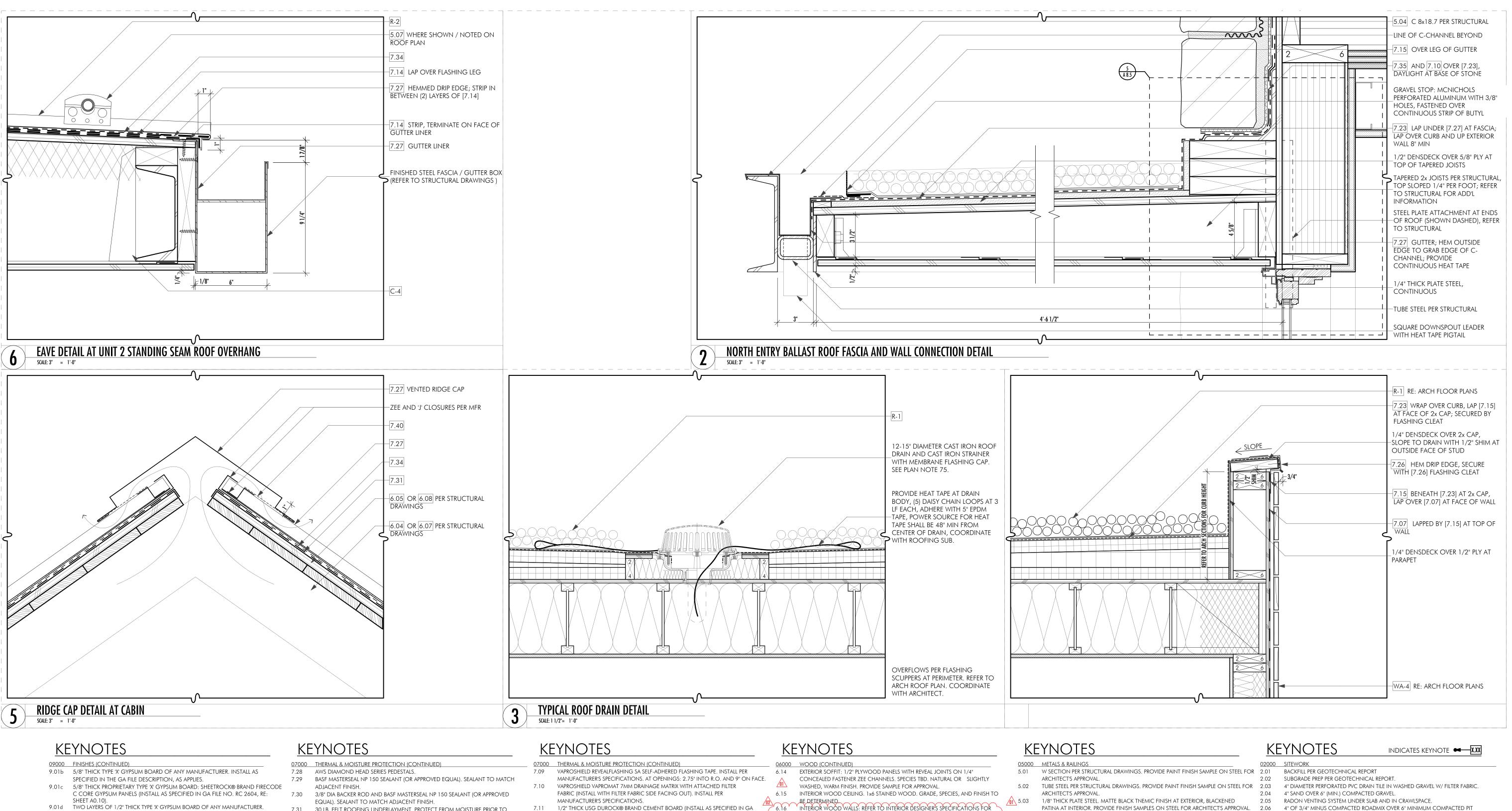
WOOD PANELED GUARDRAIL
WITH SLOPING TOP CAP

118 / 204 / 300 STAIR - WEST

SCALE: 3/8" = 1'-0"

Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln

79



A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIN SET MORTAR

5/8" CEMENT BACKER BOARD. 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS

CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER

MANUFACTURER'S SPECIFICATIONS.

ALLOWED FOR IN USG FIRE-RATING LITERATURE)

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13

(LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.

7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4"

MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x

0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD.

TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM.

WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED. 6.19 POST PER STRUCTURAL DRAWINGS.

6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21

BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

## 07000 THERMAL & MOISTURE PROTECTION

ADDITIONAL INFORMATION.

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING

(REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING

SECTIONS. 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON FACE. 12-15 WET MIL THICKNESS.

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR.

2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

# 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

VERIFY FINISH WITH ARCHITECT 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD.

6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY

FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

OWNER AND ARCHITECT'S APPROVAL.

6.09

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR

6.13 EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR

RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.

2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. 2.11 GRAVEL PER LANDSCAPE ARCHITECT.

## 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNFR) CONCRÉTE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

# MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE

(PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT, SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE

SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

ARCHITECT AR-1720

ARCHITECTS

MAIL P.O.B. 4373 KETCHUM, IDAHO

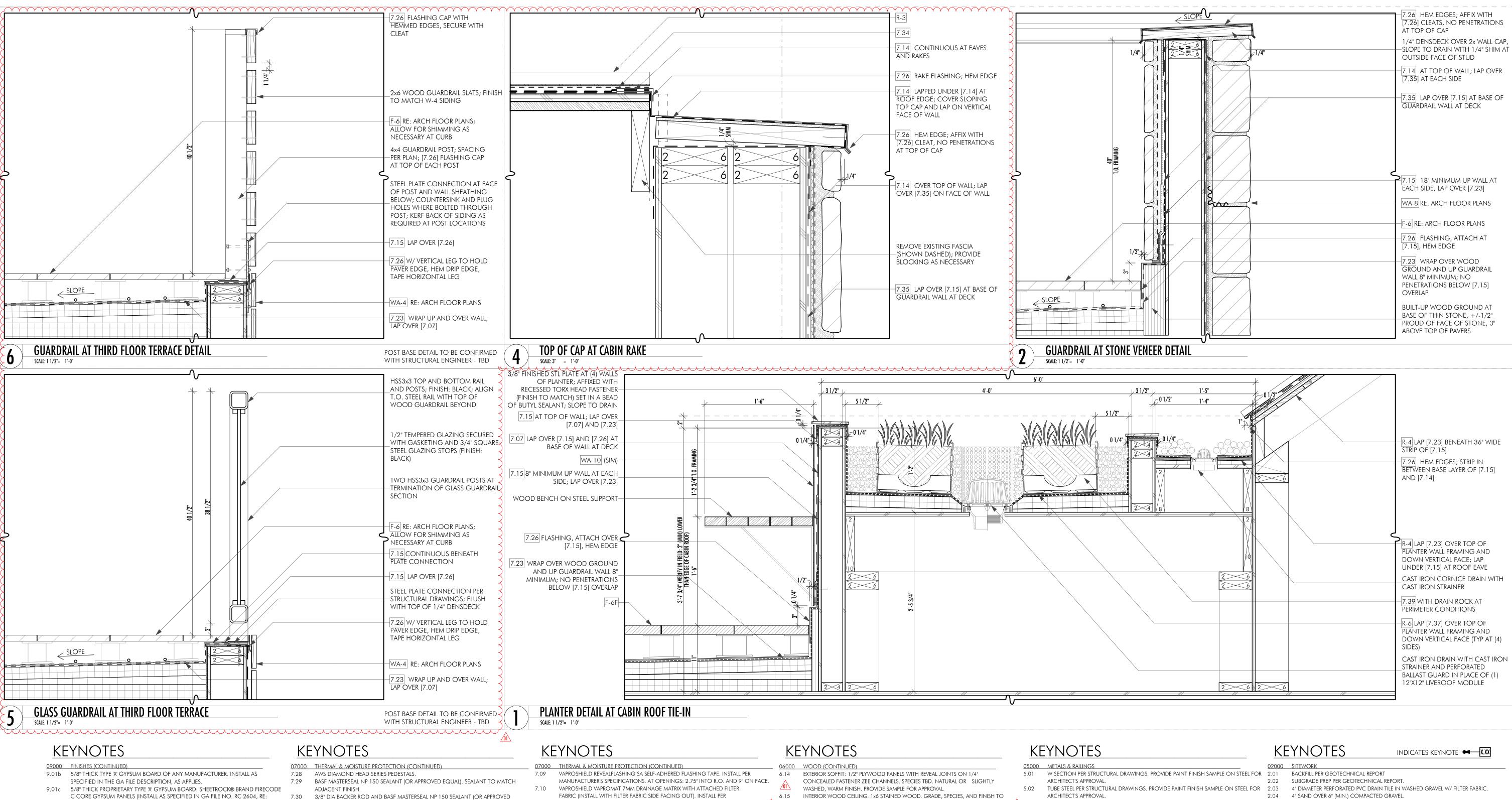
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NUMBER: DATE:

ARCHITECTURAL DETAILS



9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY)

TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR

ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.

9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

EQUAL). SEALANT TO MATCH ADJACENT FINISH.

7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S **SPECIFICATIONS** 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT

BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER. 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S

7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO.

38083248C5, OR APPROVED EQUAL. 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL

WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER

MANUFACTURER'S SPECIFICATIONS.

1/8" ASPHALT PROTECTION BOARD.

TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL /

WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER

FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER.

GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).

HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET

BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR:

🕇 6.16 🎽 TINTERIOR WOÓD WALLS': RÉFER TÓ INTERIÓR DESIGNER'S SPEČIFICATIONS FOR ADDITIONAL INFORMATION.

6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED.

BE DETERMINED

SCHEDULE

6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO 6.21

6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH

07000 THERMAL & MOISTURE PROTECTION

BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE

REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS

AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.

3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER

2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

FACE. 12-15 WET MIL THICKNESS.

VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT

OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON

1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).

SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF

SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

**VERIFY FINISH WITH ARCHITECT** 

6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.

EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION.

6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY 6.13 RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR OWNER AND ARCHITECT'S APPROVAL.

2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT

RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.

2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT.

2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

## 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

# MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE

(PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

4.03 LATH AND SCRATCH COAT AS REQUIRED. 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT, SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE

SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION. ARCHITECT AR-1720

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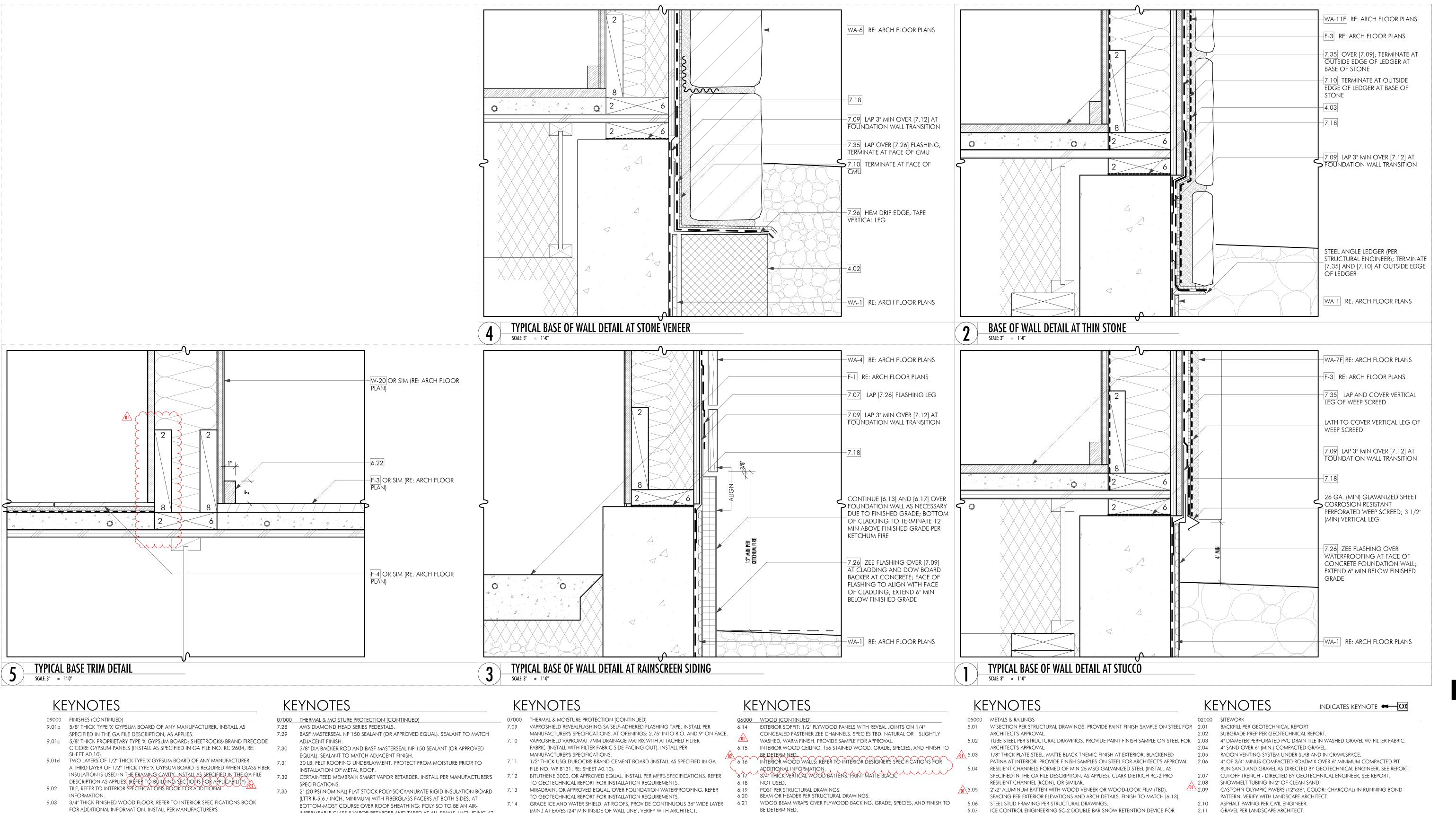
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> > 01 08/02/2023



FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.

9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S

7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL.

7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

(MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT).

COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER

FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.

STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN

ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER). 1/8" ASPHALT PROTECTION BOARD.

HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM.

TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2"

(VERIFY WITH ARCHITECT). WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).

7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING 7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN

ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).

7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.

3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH).

3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER

MANUFACTURER'S SPECIFICATIONS. VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON FACE. 12-15 WET MIL THICKNESS.

ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE

SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.

ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1.

**VERIFY FINISH WITH ARCHITECT** 

6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09 ADDITIONAL INFORMATION.

6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.

6.13 EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR OWNER AND ARCHITECT'S APPROVAL.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR

ADDITIONAL INFORMATION. 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION

BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

# MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE

(PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.

4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES

AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE

SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

ARCHITECT

ARCHITECTS MAIL P.O.B. 4373

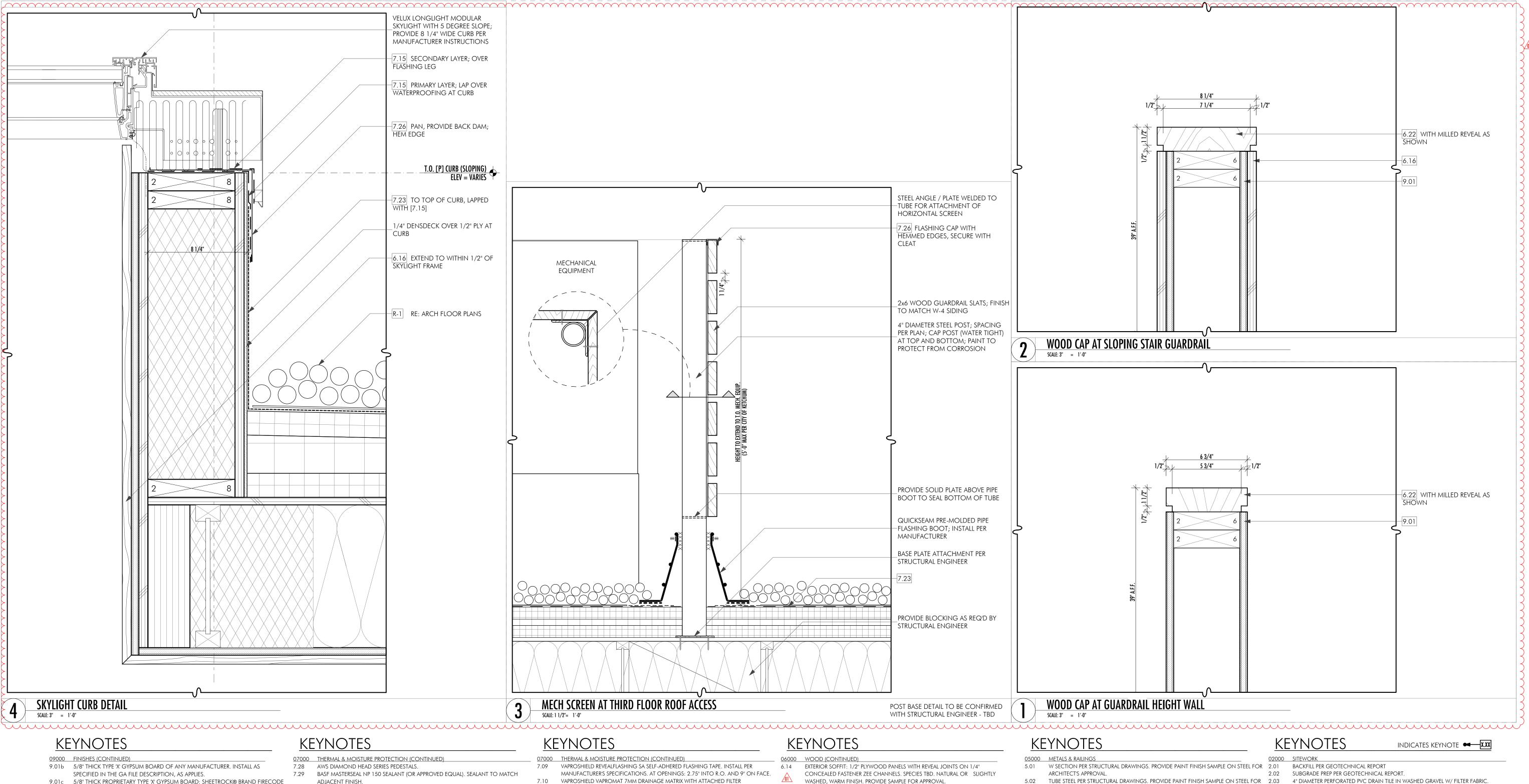
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- 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:
- 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY)
- tile, refer to interior specifications book for additional
- INFORMATION.
- 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING
- ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION
- SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.
- 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL
- INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 10000 SPECIALTIES REFER TO PLAN NOTES.
- 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- ADJACENT FINISH. 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
- 7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S **SPECIFICATIONS** 7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13
- (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION. 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
- 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK
- 7.40 MCNICHOLS WIRE MESH SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 7.23 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL.

## 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

- 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL
- WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7.27 CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS.

- VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER
- MANUFACTURER'S SPECIFICATIONS. 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10).
- BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER 6.21 (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT. GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT
- WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER
- FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS. NEOPRENE GASKETED SILL SEALER.
- GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN
- ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD.

- 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).
- 7.25 HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
  - WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.032") (VERIFY WITH ARCHITECT).

- WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO
- <sup>2</sup>6.16 <sup>1</sup> INTERIOR WOOD WALLS: RÉFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 6.17 3/4"THICK VERTICAL WOOD BATTENS, PAINT MATTE BLACK. 6.18 NOT USED.
- 6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
- WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

# 07000 THERMAL & MOISTURE PROTECTION

- BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING
- 7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE
- REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS
- AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN
- ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL (R-3.8/INCH). 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL
  - 2018 IECC REQUIREMENTS. VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - VAPROSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON FACE. 12-15 WET MIL THICKNESS.

FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER

- ARCHITECT'S APPROVAL. 1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED
- RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).
- SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR
- STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING <u>03000</u> CONCRETE SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.

# 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. **VERIFY FINISH WITH ARCHITECT**

6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL

LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS). 1/2" WOOD FIBERBOARD. 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.

ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.

- 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1. 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
- EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09
- ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH.
- VERIFY WITH ARCHITECT. 6.13 EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR

OWNER AND ARCHITECT'S APPROVAL.

- 2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL.
- 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE. PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
  - 2.07 CUTOFF TRENCH DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND
  - PATTERN, VERIFY WITH LANDSCAPE ARCHITECT. 2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

## 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND
- OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

# MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

- WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED.
- 4.04 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES
- AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL). 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

ARCHITECT

ARCHITECTS

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ARCHITECTURAL DETAILS

**EXTERIOR WINDOWS**:

- 2ND AND 3RD FLOORS: - WEATHERSHIELD VUE COLLECTION, SQUARE BEAD

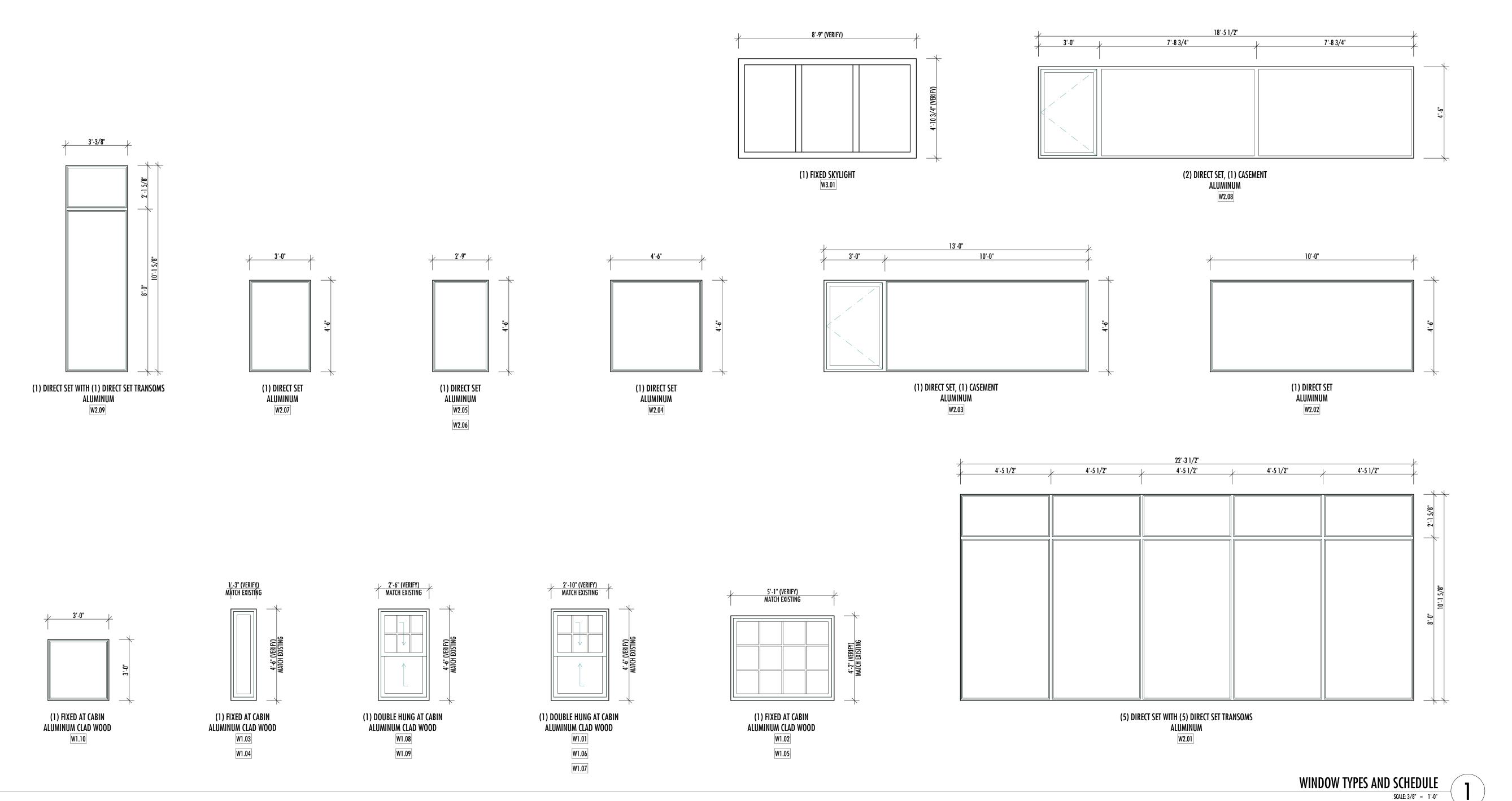
- HOLLOW CORE METAL AT MECH ROOM DOOR? -1ST FLOOR: - SIERRA PACIFIC ALUMINUM CLAD WOOD AT ALL CABIN REPLACEMENT OPENINGS; AT NEW CONSTRUCTION: SIERRA

PACIFIC ALUMINUM CLAD WOOD OR WEATHERSHIELD VUE COLLECTION, SQUARE BEAD (TBD) - 3RD FLOOR SKYLIGHT: VELUX FIXED CURB-MOUNTED LONGLIGHT (5 DEGREES) MODULAR SKYLIGHT OR ALADDIN (TBD).

- EXTERIOR FINISH: ALUMINUM COLOR: "BLACK" (VERIFY WITH ARCHITECT).

- INTERIOR FINISH (@ SIERRA PACIFIC): FIR, UNFINISHED, SHALL BE FINISHED ONSITE.

- DOUBLE GLAZING, TYPICAL (0.30 MAX U-FACTOR). LOW-E 272. PLEASE PROVIDE PRICING FOR TRIPLE GLAZING FOR THE MASTER BEDROOM AND 2ND FLOOR LIVING/DINING WINDOW WALL. - PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE (IBC 2018). - EXTERIOR WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM THE



ARCHITECTS

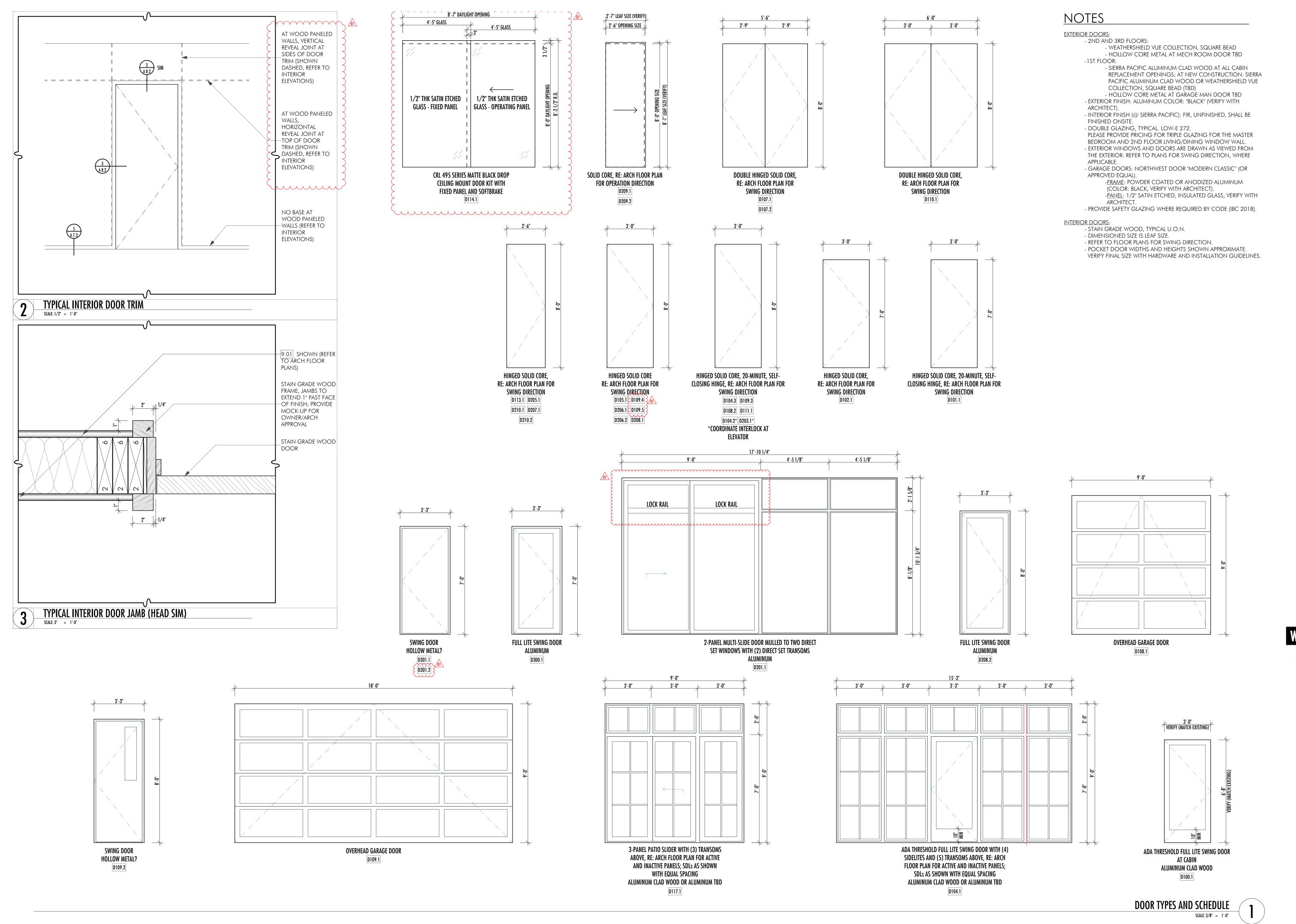
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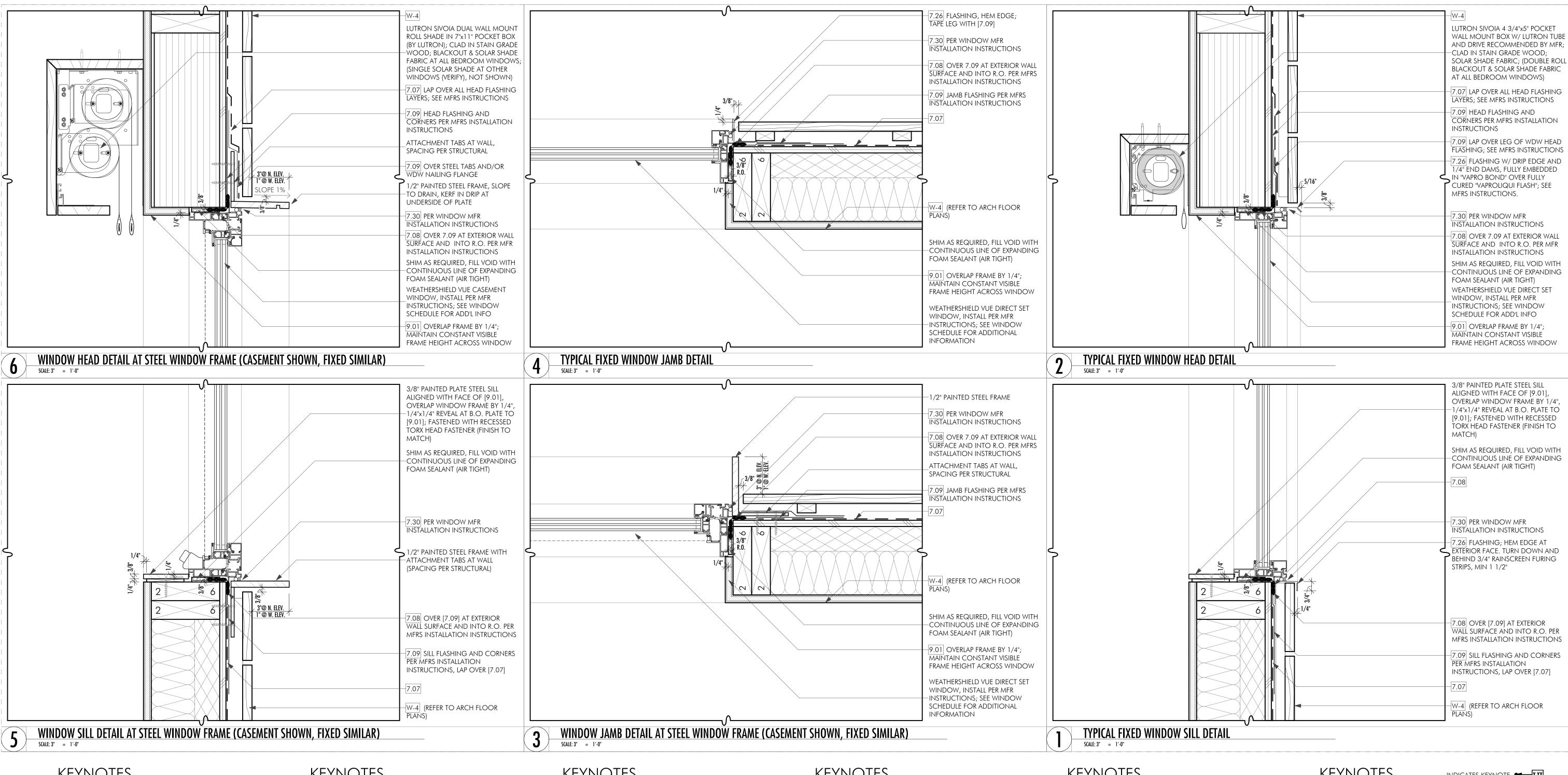
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**KEYNOTES** 

09000 FINISHES (CONTINUED) 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS

SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES. 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE:

9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY INSTALL AS SPECIFIED IN THE GA FILE

DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY) TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION.

3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.

WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.

SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THIN SET MORTAR. 5/8" CEMENT BACKER BOARD.

9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE). CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL

INFORMATION. EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

10000 SPECIALTIES REFER TO PLAN NOTES.

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

07000 THERMAL & MOISTURE PROTECTION (CONTINUED) 7.28 AWS DIAMOND HEAD SERIES PEDESTALS

EQUAL). SEALANT TO MATCH ADJACENT FINISH.

7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH AD IACENT FINISH 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED

7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.

7.32 CERTAINTEED MEMBRAIN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S **SPECIFICATIONS** 

7.33 2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD 7.13 (LTTR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.

7.34 GAF VERSASHIELD ROOF DECK PROTECTION 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.36 1/2" THICK DENSDECK PRIME ROOF BOARD. 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4"

MODULES WITH 8" SOIL DEPTH). 55-65 PSF SATURATED AND VEGETATED WEIGHT PROVIDE DRIP IRRIGATION (SYSTEM BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK

7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA; PRODUCT NO. 38083248C5, OR APPROVED EQUAL.

7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.

9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER: LOCATIONS PER INT. SPECS. 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE 7 27

# **KEYNOTES**

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)

VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE. VAPROSHIELD VAPROMAT 7MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

FILE NO. WP 8131, RE: SHEET A0.10). BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS. 6.21 GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT.

1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA

GRACE ULTRA BUTYL ROOFING UNDERLAYMENT. STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL

VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NEOPRENE GASKETED SILL SEALER. GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING. STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER

SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER). 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).

1/8" ASPHALT PROTECTION BOARD. 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" HICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER

TO ARCHITECTURAL CURB AND PARAPET DETAILS), TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF. WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE

(VERIFY WITH ARCHITECT). WESTERN STATES SHEFT METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GALIGE

06000 WOOD (CONTINUED) 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY

WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL. 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO 6.16 VINTERIOR WOOD WALLS: RÉFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR

ADDITIONAL INFORMATION. 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK. 6.18 NOT USED

6.19 POST PER STRUCTURAL DRAWINGS. 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS. WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO

BE DETERMINED 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE

07000 THERMAL & MOISTURE PROTECTION BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE

REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL). 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING

7.02α 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661). BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE

REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F). 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO

FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS. 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED

EQUAL (R-3.8/INCH). 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.

VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

# **KEYNOTES**

1/2" WOOD FIBERBOARD.

VERIFY WITH ARCHITECT.

05000 METALS & RAILINGS

W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.01 BACKFILL PER GEOTECHNICAL REPORT ARCHITECT'S APPROVAL TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC. ARCHITECT'S APPROVAL.

RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR. 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).

1/8" THICK PLATE STEEL. MATTE BLACK TNEMIC FINISH AT EXTERIOR, BLACKENED

SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13]. STEEL STUD FRAMING PER STRUCTURAL DRAWINGS. ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING 03000 CONCRETE

SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE. 06000 WOOD EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER.

**VERIFY FINISH WITH ARCHITEC** 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).

6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS. ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.11, EXCEPTION 5.1.

6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS. EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS. 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS. 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR 6.09

ADDITIONAL INFORMATION. 6.10 2x DROPPED CEILING FRAMING 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH.

6.12 NOT USED. EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY. "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8"

INDICATES KEYNOTE **X.XX** 

2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.

2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL. 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.

PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL. 2.06 4" OF 3/4" MINUS COMPACTED ROADMIX OVER 6" MINIMUM COMPACTED PIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.

2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND. 2.09 CASTOHN OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT.

2.10 ASPHALT PAVING PER CIVIL ENGINEER. GRAVEL PER LANDSCAPE ARCHITECT.

3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION BOARD-FORMED CONCREȚE SITE WALL (VERIFY FINISH WITH ARCHITECT AND

OWNFR) CONCRETE SLAB ON GRADE WITH RADIANT HEAT, TUBES REFER TO STRUCTURAL 3.04

DRAWINGS FOR ADDITIONAL INFORMATION. 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.

4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE

WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER. 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 4.03 LATH AND SCRATCH COAT AS REQUIRED. 6"-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED

FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).

4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADD'L INFORMATION.

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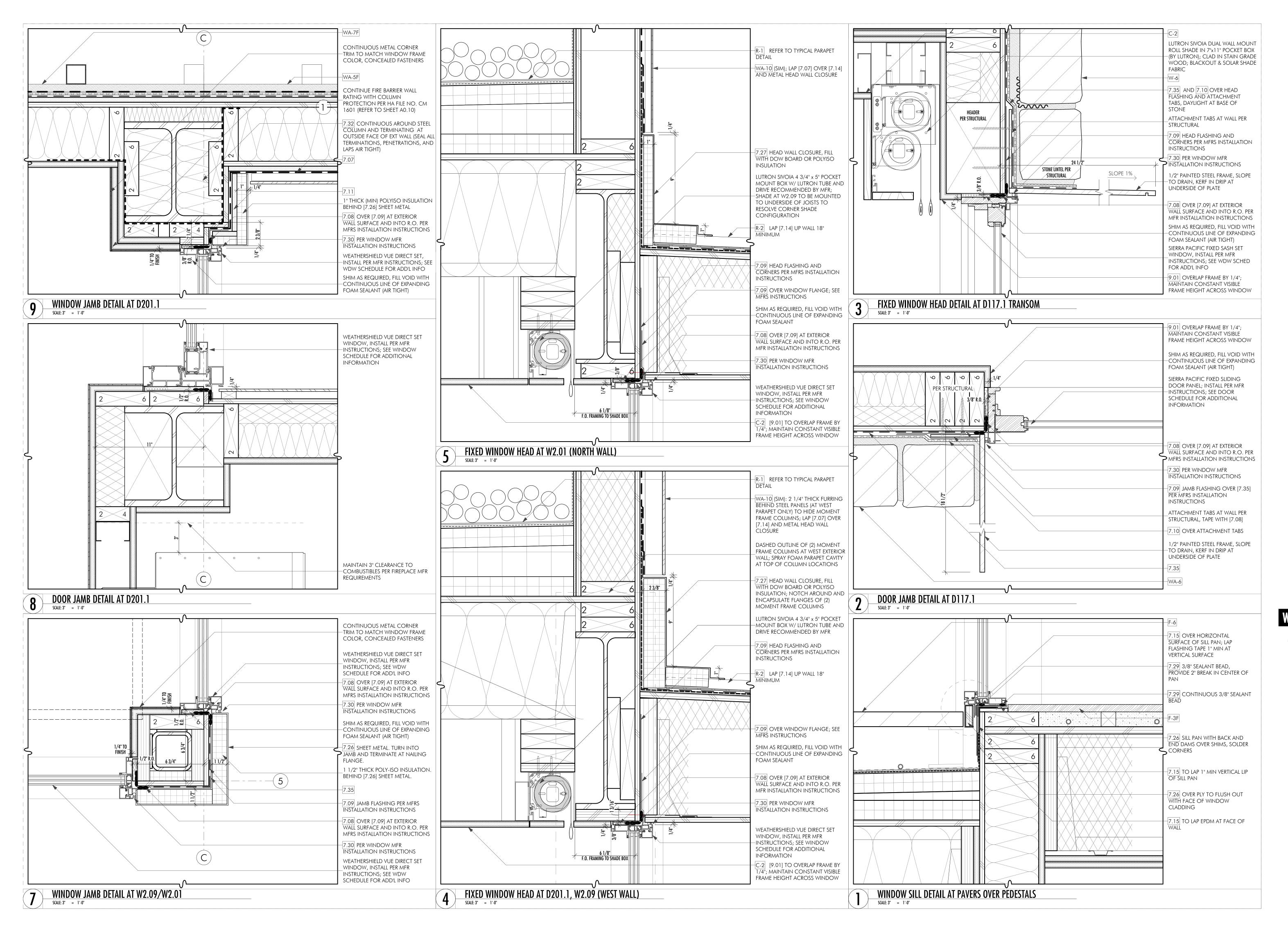
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RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN

LICENSED ARCHITECT AR-1720

PROVICE CHARLES WILLIAM FATE OF IDAHO

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ARCHITECTS

ARCHITECTS

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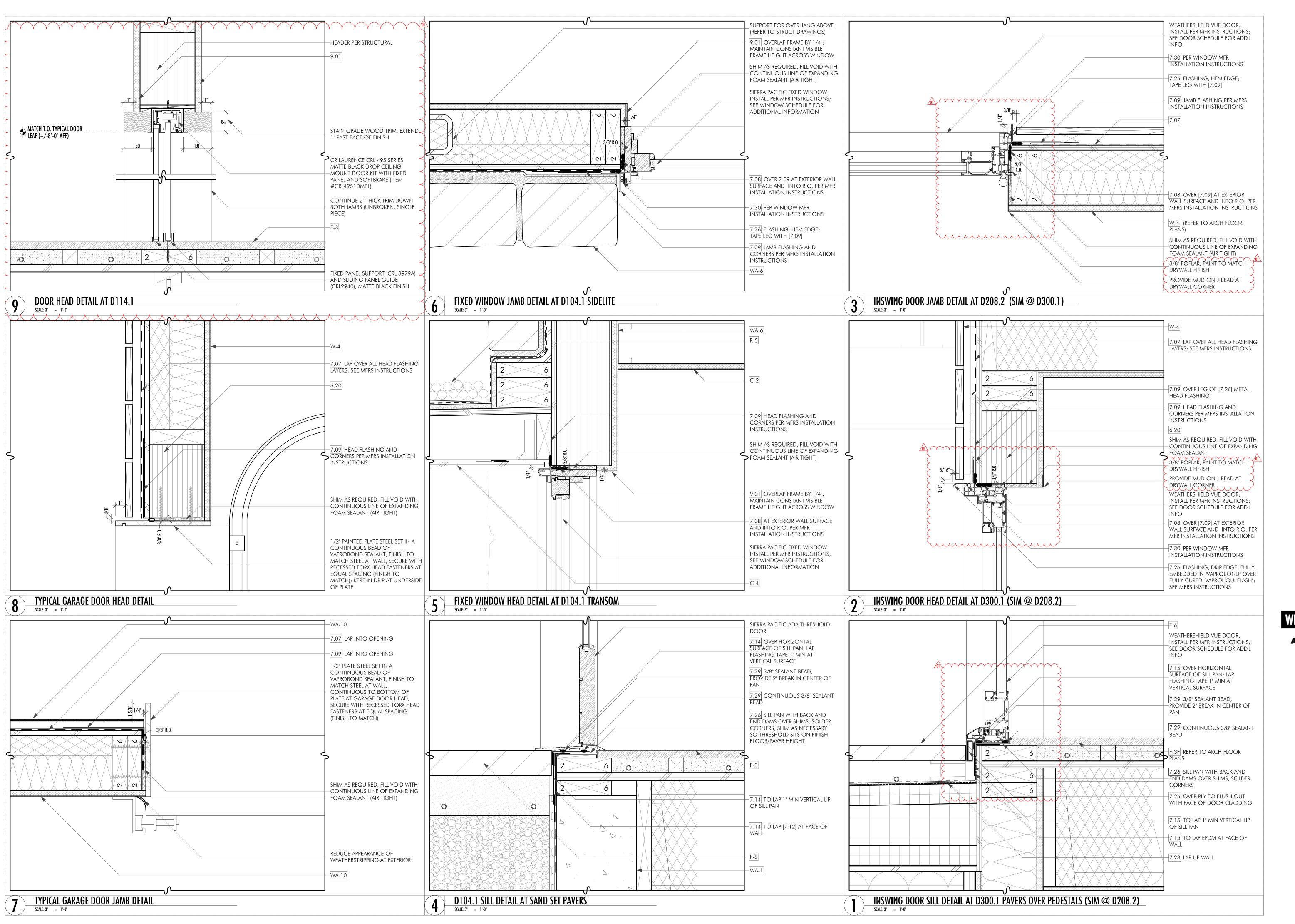
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ARCHITECT

AR-1720

DOOR AND WINDOW SCHEDULES

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### Attachment B

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO, AMENDING THE AGENCY'S PARTICIPATION POLICY; AUTHORIZING THE CHAIR AND EXECUTIVE DIRECTOR TO TAKE APPROPRIATE ACTION; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, made on the date hereinafter set forth by the Urban Renewal Agency of Ketchum, Idaho, also known as the Ketchum Urban Renewal Agency, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, a duly created and functioning urban renewal agency for Ketchum, Idaho, hereinafter the Ketchum Urban Renewal Agency is referred to as the "Agency."

WHEREAS, the Agency, an independent public body, corporate and politic, is an urban renewal agency created by and existing under the authority of and pursuant to the Idaho Urban Renewal Law of 1965, being Idaho Code, Title 50, Chapter 20 (the "Law"), and the Local Economic Development Act, being Idaho Code, Title 50, Chapter 29, as amended and supplemented (the "Act");

WHEREAS, the City of Ketchum (the "City") by adoption of Ordinance No. 992 on November 15, 2006, duly adopted the Ketchum Urban Renewal Plan (the "2006 Plan") to be administered by the Agency;

WHEREAS, upon the approval of Ordinance No. 1077 adopted by the City Council on November 15, 2010, and deemed effective on November 24, 2010, the Agency began implementation of the amended Ketchum Urban Renewal Plan (the "Amended Plan");

WHEREAS, the Agency Board adopted a formal participation policy that sets out the criteria for funding projects requested by various entities on May 16, 2016;

WHEREAS, since May 16, 2016, the Agency has considered several requests for funding through the Participation Policy, which has raised the prospect for greater discretion and flexibility in response to requests for funding through the Participation Policy;

WHEREAS, by virtue of those requests, Agency staff has determined a need for an amendment to the Participation Policy;

WHEREAS, at the Agency Board meeting of June 19, 2017, the Board considered amendments to the Participation Policy;

WHEREAS, Agency adopted amendments to the Participation Policy July 17, 2017:

WHEREAS, the Agency adopted additional amendments to the Participation Policy on June 27, 2022;

WHEREAS, the Board finds it in the best interests of the Agency and the public to approve and adopt the Amended Participation Policy.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE KETCHUM URBAN RENEWAL AGENCY OF THE CITY OF KETCHUM, IDAHO, AS FOLLOWS:

<u>Section 1</u>: That the above statements are true and correct.

Section 2: That the Participation Policy, as amended, set forth below is hereby approved and adopted by the Agency Board, and that the Chair and Executive Director are authorized and directed to take all action to implement the Amended Participation Policy.

# Participation Policy KURA Funding Criteria for Projects

#### **Section 1: General Funding Criteria for All Projects:**

- A. The KURA is not obligated to fund any project, even when the project meets all funding criteria. Funding a project is a discretionary decision by the Ketchum Urban Renewal Board.
- B. Funds generated from projects within the Revenue Allocation Area shall be used first and foremost for publically owned infrastructure and for infrastructure that serves a direct public purpose.
- C. Public infrastructure located below ground or at-grade shall be given priority.
- D. In rare circumstances, funding for a non-infrastructure request may be considered if it is found to meet the criteria described in the section below.
- E. Projects specifically identified in the 2010 Ketchum Urban Renewal Plan shall take priority for funding in all cases.
- F. All requests for Tax Increment Financing shall be made no later than thirty (30) days after the applicant applies for a building permits.
- G. The Agency shall not consider requests to fund public infrastructure that <u>have has-been</u> required by the City of Ketchum in exchange for development bonuses, such as density waivers, variances, and other development bonuses. In these situations, the public infrastructure that was required in exchange for development bonuses shall be paid by the private developer.
- H. Funding approvals are valid for the duration of the fiscal year in which the request was granted, unless otherwise stated in an agreement between the Agency and the entity.

#### Section 2: Project Funding Categories

- A. Reimbursement to Private Entities for Public Infrastructure
  - 1. Tax increment funds generated by a project within the Revenue Allocation Area may be allocated for reimbursement of public infrastructure expenses incurred by the private development.
  - 2. Reimbursement for public infrastructure shall commence after the project is generating a tax increment benefit to the Agency.
  - 3. No more than 50% of the total tax increment revenue generated from a project may be used for reimbursement to the project developer
  - 4. Commitments for reimbursement in Owner Participation Agreements shall not be greater than five years from the time the project is generating property tax revenue to the Agency.
  - 5. KURA may fund 40% of the cost of the following:
    - a. Cost differential between concrete sidewalks and paver sidewalks, snowmelt systems will not be funded
    - b. Installation of street trees
    - c. Art or other public amenities in the public right-of way
- B. Direct Funding of Public Infrastructure as Defined in Idaho Code §§ 50-2018(10), 50-2903(13) and 50-2903 (14):
  - 1. Tax increment funds may be used to directly finance public infrastructure without a reimbursement agreement.
  - 2. In these cases, payments should be made directly to a public entity, public utility, or other public or semi-public entity that will own and maintain the infrastructure.
- C. Funding for Non-Infrastructure Requests:
  - 1. Requests for funding non-infrastructure may only be considered when a good, service, or benefit is received by the KURA in exchange for funds. In these cases, the approval of funds would result in a benefit to the revenue allocation area that the KURA could not have achieved on its own.
  - 2. Entities requesting funding must be a legally recognized Idaho non-profit corporation organized under Chapter 30, Title 30, Idaho Code or equivalent or a public governmental entity and must have a proven track record of success.
  - 3. Non-infrastructure funding request must result in a net financial benefit to the KURA.
  - 4. Requests for funding administrative or operational costs shall not be considered except as may be proportionally allocated for the project.
- D. Funding of Residential Projects:
  - 1. Only residential projects that incorporate community housing, as defined by the City of Ketchum, will be considered for tax increment funding. Funding will be proportionate to the amount of community housing the project provides. For example, if ten out of 100 residential units are considered community housing, the Agency may consider funding 10% of infrastructure costs. All other residential projects will not be considered.
  - 2. Mixed-Use projects of any scale are considered commercial projects and may apply for tax increment financing, provided they meet all other criteria.

Section 3: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED By the Urban Renewal Agency of Ketchum, Idaho, on June 27, 2022. Signed by the Chair of the Board of Commissioners, and attested by the Secretary to the Board of Commissioners, on June 27, 2022.

URBAN RENEWAL AGENCY OF KETCHUM

Susan Scovell, Chair

ATTEST:

Secretary



### **Ketchum Urban Renewal Agency**

#### P.O. Box 2315 | 191 5th Street | Ketchum, ID 83340

January 21, 2025

Chair and Commissioners Ketchum Urban Renewal Agency Ketchum, Idaho

# RECOMMENDATION TO PROVIDE DIRECTION ON FIRST + WASHINGTON DESIGN REVIEW PLANS AND AMENDMENT TO THE DEVELOPMENT AND DISPOSITION AGREEMENT PROJECT SCHEDULE

#### Introduction

Staff requests direction on two topics:

- The project design to be prepared and submitted to the city for design review
- Feedback on amending the First + Washington project schedule in the Development and Disposition Agreement

#### Project Design

At the December KURA meeting the board supported establishment of a Local Improvement District (LID) to assist with the funding of a public parking structure in the First + Washington project. In January, the City Council supported establishment of an LID in concept with a request for additional public outreach and refinement of the assessment methodology.

KURA and Wood River Community Housing Trust (WRCHT) are at a crossroads and need to determine the project design to prepare and submit to the city for design review. Prior to the December KURA meeting and the January City Council meeting, the development team was preparing design plans that did not include public parking. With the recent actions on the LID, staff and WRCHT are seeking direction on how to proceed. The options for consideration include:

- 1. Project design without public parking
- 2. Project design with public parking
- 3. Prepare two options, one with and one without public parking

#### **LID Process and Timeline**

A definitive decision on the LID will occur after additional public outreach occurs, the assessment methodology is further refined, and the city council conducts formal hearings to establish the LID. It is anticipated this process will take 3-4 months to complete. The next step is public outreach on the expanded LID boundaries and preliminary assessment estimates for individual properties.

The next phase of outreach will include a survey, newspaper and social media ads, postcard notification of all property owners within the LID boundaries and at least two public open houses. The outreach plan is underway, and the open houses will take place the week of February 10<sup>th</sup>. KURA and city staff are recommending a joint meeting of the KURA and city council on February 18<sup>th</sup> to share the outreach results and confirm the direction from both KURA and city council.

#### Issues for KURA Consideration

The following is offered when considering the path forward:

- The approach to addressing the Planning and Zoning Commission design comments is different depending on the inclusion of public parking. A project with subterranean parking must facilitate a parking ramp and the parking dictates the location for building circulation (stairs, elevator) and equipment locations. These factors change the exterior design of the project.
- A final decision on the LID is not expected for at least 3-4 months. Waiting until a final
  decision is made on the LID before project design work starts delays the project and
  likely shifts construction into 2027. The original schedule in the DDA anticipated
  construction in 2025, and with the delays to date, construction has shifted to 2026. The
  additional delay may or may not be accepted by WRCHT and the development team.
- There is risk proceeding with any of the options. The risk is the LID will not be approved and design work and costs associated with the public parking option will be forfeited.

Staff recommends the KURA provide direction on the project design option so the project can continue moving forward.

#### Amendment to DDA

The project DDA was approved by the KURA and became effective March 26, 2024. The DDA included deadlines and a schedule of performance for the KURA and development team (Attachment A). The development team and KURA met the performance schedule for submission and review of the preliminary and schematic design plans (items 7-10 in schedule).

Due to the delay in evaluating the public parking options, submission of design review documents and the subsequent deadlines have not been met. WRCHT and deChase Miksis submitted a letter requesting KURA provide guidance on how best to proceed with an updated project design and timeline (Attachment B).

To date, the development team has been accommodating with the delays. A change to the performance schedule requires approval of both the KURA and development team. The KURA decision on the project design approach will provide the requested direction and allow for a renegotiation of the DDA performance schedule. Once KURA provides direction, staff will work with the development team and present an amendment to the DDA and performance schedule to the KURA.

#### Financial Requirement/Impact

Depending on the decision of the KURA, there could be additional design expenses. It is difficult to quantify the expenses at this time. Once a decision is made, staff will provide information on the projected costs.

### Recommendation

Staff recommends the KURA provide direction on the design approach and any feedback on revisions to the DDA schedule of performance.

Attachment A: DDA Schedule of Performance

Attachment B: December 18, 2024 Letter from WRCHT and deChase Miksis

### Attachment A

### Attachment 5

### **Schedule of Performance**

	Action	Due Date	Section
1	Execution & Delivery of Agreement by Developer.  Developer shall execute and deliver this Agreement to Agency.	As soon as practical	16.10
2	<b>Execution of Ground Lease</b>		5.1.1
3	Execution and Delivery of Agreement by Agency. Agency shall consider approval of this Agreement, and if approved, shall deliver one executed original to Developer.	Within forty-five (45) days of execution by Developer	16.10
4	<b>Payment of Deposit</b> . Developer previously deposited with Agency the sum of \$10,000.00	Completed.	5.2.4(b)
5	Submission of Preliminary Evidence of Financing. Developer shall submit to Agency evidence satisfactory to the Agency that Developer will have at or before execution of the Ground Lease the financial capability necessary for the development of the Project thereon pursuant to this Agreement.	No later than ninety (90) prior to execution of Ground Lease	4.1
6	Time to Approve Evidence of Financing. Agency shall approve or disapprove of Developer's evidence of financing	Within twenty (20) days of Developer's submission of evidence of financing.	4.3
7	Submission of Preliminary Plans	Within one hundred twenty (120) days after Effective Date	8.4
8	Approval of Preliminary Plans	Within twenty-one (21) after receiving submission.	8.4
9	Submission to Agency of Schematic Design Documentation	Within sixty (60) days after Agency approval of the Preliminary Plans	8.5
10	Approval of Schematic Design Documentation.	Within fifteen (15) days following the public workshop	8.5
11	Submission of Design Review Drawings.	Within ninety (90) days after Agency approval of Schematic Design Documentation.	8.6
12	Approval of Design Review Drawings	Within twenty (20) days after receiving submission.	8.6

13	Submission of Final Construction Drawings	Within ninety (90) days after the City's issuance of a Design Review Permit.	8.7
14	Approval by Agency of Final Construction Drawings	Within twenty-one (21) days of receipt by Agency.	8.7
15	Submission of Building Permit Application to the City by the Developer.	Within 30 days of Agency approval of Final Construction Documents	8.7
16	Commencement of Construction	Within ninety (90) days of Developer receiving Building Permit from City.	8.7
17	Completion of the Project and Issuance of a Certificate of Occupancy	Within 30 months of issuance of the Building Permit by the City.	8.7
18	<b>Insurance</b> . Developer shall furnish evidence of the insurance required under the Agreement to Agency.	Prior to Execution of Ground Lease.	10
19	Construction Loan Closings.	Concurrently with execution of Ground Lease	4
20	Conditions Precedent to Ground Lease. All Conditions Precedent to Closing shall be satisfied or waived as appropriate.	Prior to Execution of Ground Lease	5
21	Construction Contract. Requires Project to be constructed for under the Project Budget.	Prior to Execution of Ground Lease	5.2.4(f)
22	Certificate of Completion. Agency shall provide Certification of Completion to Developer.	Promptly following City's issuance of a certificate of occupancy for 100% of the residential units and a certificate of occupancy/completion of at least the shell/core of the retail and/or office and/or commercial use and Developer is not in default.	11.1

### Attachment B





December 18, 2024

Suzan Frick, Executive Director Ketchum Urban Renewal Agency 191 5th Street West Ketchum, ID 83340

VIA EMAIL: sfrick@ketchumidaho.org

# RE: 1st AND WASHINGTON AFFORDABLE WORKFORCE HOUSING PROJECT SCHEDULE OF PERFORMANCE UPDATE

Ms. Frick:

On behalf of First + Washington Properties, LLC ("Developer"), this letter serves to update The Ketchum Urban Renewal Agency ("Agency") on the 1st and Washington Affordable Workforce Housing Project ("Project") and to formally request a revision to the Disposition and Development Agreement ("DDA") Schedule of Performance to reflect the delay outlined below.

In accordance with Sections 8.4 and 8.5 of the DDA, the Developer submitted the Preliminary and Schematic plans for Agency. A public workshop was held, during which valuable input was received from both the public and the Agency. In response to this feedback, the Agency requested the Developer pause and study additional parking design options. The time required to study additional parking options will require an amendment to the Schedule of Performance.

We respectfully request that the Agency provide guidance on how best to proceed with the updated design and a timeline we can expect direction. Once this direction is provided, the Developer will propose updated milestones for the Schedule of Performance through a DDA amendment.

Thank you for your understanding and continued collaboration. We look forward to receiving your feedback and direction on the next steps.

Please feel free to reach out with any questions or to discuss this matter further.

Sincerely,

-Signed by:

Steven M. Shafran

Steven M Shafran

**WRCHT** 

-Sianed by:

Jatt Neilson

deChase Miksis