



**KETCHUM URBAN RENWAL AGENCY**  
**Tuesday, January 21, 2025 at 2:00 PM**  
**191 5th Street West, Ketchum, Idaho 83340**

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## **AGENDA**

### **PUBLIC PARTICIPATION INFORMATION**

Public information on this meeting is posted outside City Hall.

**We welcome you to watch Council Meetings via live stream.**

You will find this option on our website at <https://www.ketchumura.org/kura/meetings>.

**If you would like to comment on a public hearing agenda item, please select the best option for your participation:**

Join us via Zoom (*please mute your device until called upon*).

**Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/82893804319>

Webinar ID: 828 9380 4319

Join us at City Hall.

Submit your comments in writing at [info@ketchumura.org](mailto:info@ketchumura.org) (*by noon the day of the meeting*).

*This agenda is subject to revisions. All revisions will be underlined.*

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**CALL TO ORDER:**

**ROLL CALL:**

**COMMUNICATIONS FROM THE BOARD OF COMMISSIONERS:**

**CONSENT CALENDAR: (ALL ACTION ITEMS)**

1. ACTION ITEM: Approval of KURA Bills
2. ACTION ITEM: Approval of November 18, 2024 Minutes and December 16, 2024 Minutes

**ACTION ITEMS:**

3. ACTION ITEM: Request from Corey Street Mass LLC, for a Reimbursement Agreement for Public Improvements Located at 380 N First Avenue



4. ACTION ITEM: Recommendation to Provide Direction on First + Washington Design Review Plans and Amendment to the Development and Disposition Agreement Project Schedule

**ADJOURNMENT:**

Report Criteria:

Invoices with totals above \$0 included.  
 Paid and unpaid invoices included.  
 [Report].GL Account Number = "9610000000"-9848009999"

Vendor Name	Invoice Number	Description	Net Invoice Amount
<b>URBAN RENEWAL AGENCY</b>			
<b>URBAN RENEWAL EXPENDITURES</b>			
<b>98-4410-4200 PROFESSIONAL SERVICES</b>			
KETCHUM COMPUTERS, INC.	20789	Monthly Workstation Maintenance	49.50
KETCHUM COMPUTERS, INC.	20837	Monthly Workstation Maintenance	49.50
SUN VALLEY ECONOMIC DEVEL	1635	KURA QRTLY CONTRACT FOR SERVICES	2,250.00
ELAM & BURKE	212016	1ST & WASHINGTON PROJECT 12/04-12/31	725.00
ELAM & BURKE	8962	GENERAL REPRESENTATION - 12/16 TO 12/31	493.00
<b>98-4410-7100 INFRASTRUCTURE PROJECTS</b>			
STEVE BUTLER & ASSOCIATES	6887	Geotechnical Report	10,630.00
PIVOT NORTH	5935	PROFESSIONAL SERVICES FOR CONCEPT DESIGN AND REVIEW	4,320.00
PIVOT NORTH	5966	PROFESSIONAL SERVICES FOR CONCEPT DESIGN AND REVIEW	3,280.00
DECHASE DEVELOPMENT SERV	KURA-08	DEVELOPMENT FEES	7,500.00
<b>98-4410-8801 REIMBURSE CITY GENERAL FUND</b>			
CITY OF KETCHUM	8801	SALARIES & BENEFITS DECEMBER 2024	8,535.93
Total URBAN RENEWAL EXPENDITURES:			37,832.93
Total URBAN RENEWAL AGENCY:			37,832.93
Grand Totals:			37,832.93



**CITY OF KETCHUM**

P.O. Box 2315  
Ketchum ID 83340  
Phone: (208) 726-3841

**INVOICE**

Date	Number	Page
01/06/2025	8801	1

**Bill To:** KETCHUM URBAN RENEWAL AGENCY  
BOX 2315

KETCHUM ID 83340

**Customer No.** 410

**Project:**

**Terms:** Due Upon Receipt

**Invoice Due Date:** 01/06/2025

Quantity	Description	Unit Price	Net Amount
1	SALARIES & BENEFITS DECEMBER 2024  98-4410-8801	8,535.93	8,535.93

Please remit payment via:  
<https://www.ketchumidaho.org/administration/page/online-payments>  
 OR  
 City of Ketchum  
 PO Box 2315  
 Ketchum, ID 83340

<b>Amount</b>	8,535.93
<b>Balance Due</b>	<u>8,535.93</u>

Report Criteria:  
 Activity,Activity code = 415003,417002

Employee Number	Name	Date	Reference Number	Task Number	Activity Code	Activity Description	Hours	Pay Code	Comments
<b>FRICK, SUZANNE</b>									
1700	FRICK, SUZANNE	12/08/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	12/09/2024	1	14	415003	URA ADMINISTRATION	4.00		
1700	FRICK, SUZANNE	12/10/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	12/11/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	12/12/2024	1	14	415003	URA ADMINISTRATION	7.00		
1700	FRICK, SUZANNE	12/13/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	11/17/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	11/18/2024	1	14	415003	URA ADMINISTRATION	9.00		
1700	FRICK, SUZANNE	11/19/2024	1	14	415003	URA ADMINISTRATION	3.00		
1700	FRICK, SUZANNE	11/20/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	11/21/2024	1	14	415003	URA ADMINISTRATION	3.00		
1700	FRICK, SUZANNE	11/22/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	11/24/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	11/25/2024	1	14	415003	URA ADMINISTRATION	4.00		
1700	FRICK, SUZANNE	11/26/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	11/27/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	11/28/2024	1	14	415003	URA ADMINISTRATION	1.00		
1700	FRICK, SUZANNE	11/29/2024	1	14	415003	URA ADMINISTRATION	3.00		
1700	FRICK, SUZANNE	12/01/2024	1	14	415003	URA ADMINISTRATION	2.00		
1700	FRICK, SUZANNE	12/02/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	12/03/2024	1	14	415003	URA ADMINISTRATION	4.00		
1700	FRICK, SUZANNE	12/04/2024	1	14	415003	URA ADMINISTRATION	5.00		
1700	FRICK, SUZANNE	12/05/2024	1	14	415003	URA ADMINISTRATION	4.00		
1700	FRICK, SUZANNE	12/06/2024	1	14	415003	URA ADMINISTRATION	3.00		
<b>Total FRICK, SUZANNE:</b>							<b>92.00</b>		
<b>Grand Totals:</b>							<b>92.00</b>		

Sun Valley Economic Development \_ SVED  
PO Box 3893  
Ketchum, ID 83340 US  
+1 2087217847  
Harry@sunvalleyeconomy.org  
www.sunvalleyeconomy.org

# Invoice



**SUN VALLEY  
ECONOMIC  
DEVELOPMENT**

**BILL TO**

Shellie Gallagher  
Ketchum Urban Renewal Agency  
City of Ketchum

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
1635	01/01/2025	\$2,250.00	01/31/2025	Net 30	

ACTIVITY	QTY	RATE	AMOUNT
<b>Public Sector - KURA</b> Quarterly Contract for Service	1	2,250.00	2,250.00

Thank you for your support.

**BALANCE DUE**

**\$2,250.00**



98-4410-4200

# Invoice



P.O. Box 5186  
Ketchum, ID 83340

Date	Invoice #
12/1/2024	20789
Terms	Due Date
Net 30	12/31/2024

Bill To
Ketchum Urban Renewal Agency finance@ketchumidaho.org

Federal Tax ID: 26-1671669
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billing@ketchumcomputers.com
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Date	Employee	Description	Quantity	Rate	Amount
12/3/2024	Mandeville	Monthly Workstation Maintenance: KURA laptop  98-4410-4200	1	49.50	49.50

<b>Total</b>	\$49.50
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P.O. Box 5186  
Ketchum, ID 83340

# Invoice

Date	Invoice #
1/1/2025	20837
Terms	Due Date
Net 30	1/31/2025

Bill To
Ketchum Urban Renewal Agency finance@ketchumidaho.org

Federal Tax ID: 26-1671669
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billing@ketchumcomputers.com
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Date	Employee	Description	Quantity	Rate	Amount
1/3/2025	Mandeville	Monthly Workstation Maintenance: KURA laptop  98-4410-4200	1	49.50	49.50

<b>Total</b>	\$49.50
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251 E. Front Street, Suite 300  
Boise, Idaho 83702  
Tax ID No. 82-0451327  
Telephone 208-343-5454  
Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency  
Attn: Suzanne Frick  
Executive Director  
PO Box 2315  
Ketchum, ID 83340

Invoice No. 212015  
Client No. 8962  
Matter No. 1  
Billing Attorney: ARG

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### INVOICE SUMMARY

For Professional Services Rendered from December 16, 2024 through December 31, 2024.

**RE: General Representation**

Total Professional Services	\$ 493.00
Total Costs Advanced	<u>    \$ .00</u>
<b>TOTAL THIS INVOICE</b>	<b>\$ 493.00</b>

98-4410-4200

# ELAM & BURKE

December 31, 2024  
Invoice No. 212015  
Client No. 8962  
Matter No. 1  
Billing Attorney: ARG

## PROFESSIONAL SERVICES

Date	Atty	Description	Hours
12/16/24	ARG	Review Board packet for KURA meeting. Attend KURA Board meeting via Zoom. Analyze issues related to 1st and Washington funding of parking aspects. Consider additional reimbursement for Bluebird project.	1.70

**TOTAL PROFESSIONAL SERVICES** \$ 493.00

## SUMMARY OF PROFESSIONAL SERVICES

Name	Staff Level	Rate	Billed Hours	Billed Amount	Non-Chargeable Hours	Non-Chargeable Amount
Germaine, Abbey R.	Shareholder	290.00	1.70	493.00	.00	.00
<b>Total</b>			<b>1.70</b>	<b>\$ 493.00</b>	<b>.00</b>	<b>\$ .00</b>

**TOTAL THIS INVOICE** \$ 493.00

251 E. Front Street, Suite 300  
Boise, Idaho 83702  
Tax ID No. 82-0451327  
Telephone 208-343-5454  
Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency  
Attn: Suzanne Frick  
Executive Director  
PO Box 2315  
Ketchum, ID 83340

Invoice No. 212015  
Client No. 8962  
Matter No. 1  
Billing Attorney: ARG

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**REMITTANCE**

**RE: General Representation**

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**BALANCE DUE THIS INVOICE \$ 493.00**

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**ONLINE PAYMENTS**

Elam & Burke is committed to offering safe, secure, and convenient options to pay your bill using Visa, MasterCard, Discover, American Express, Apple Pay, Google Pay, and eCheck.

NOTE: A 3% convenience surcharge will be applied to all of these transactions.

To pay online, please click here: [www.elamburke.com/payments](http://www.elamburke.com/payments) or go to: [www.elamburke.com/payments](http://www.elamburke.com/payments)

**ACH PAYMENTS IN USD**

Account Holder: Elam & Burke, PA  
Bank Name: U.S. Bank  
Branch Name: Meridian CenterPoint Office  
Account Number: 82982196  
ABA Routing Number: 021052053

**CHECK PAYMENTS**

All checks should be made payable to:  
Elam & Burke, PA  
ATTN: Accounts Receivable  
251 E. Front Street, Suite 300  
Boise, ID 83702  
(Please return this advice with payment.)

*Please reference: Invoice 212015, File # 8962 - 1 on all payments.*

**INVOICES ARE PAYABLE UPON RECEIPT**  
***Thank you! Your business is greatly appreciated.***

251 E. Front Street, Suite 300  
Boise, Idaho 83702  
Tax ID No. 82-0451327  
Telephone 208-343-5454  
Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency  
Attn: Suzanne Frick  
Executive Director  
PO Box 2315  
Ketchum, ID 83340

Invoice No. 212016  
Client No. 8962  
Matter No. 3  
Billing Attorney: ARG

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### INVOICE SUMMARY

For Professional Services Rendered from December 4, 2024 through December 31, 2024.

**RE: 1st and Washington Project**

Total Professional Services	\$ 725.00
Total Costs Advanced	<u>    \$ .00</u>
<b>TOTAL THIS INVOICE</b>	<b>\$ 725.00</b>

A handwritten signature in blue ink, appearing to be "Suzanne Frick".

98-4410-4200

# ELAM & BURKE

December 31, 2024  
 Invoice No. 212016  
 Client No. 8962  
 Matter No. 3  
 Billing Attorney: ARG

## PROFESSIONAL SERVICES

Date	Atty	Description	Hours
12/04/24	ARG	Review email correspondence from Suzanne Frick regarding outcome of KBAC meeting. Consider input from Tyler Davis Jeffers regarding same.	.20
12/05/24	ARG	Review email correspondence from KURA Board members regarding serial meeting issues. Draft email advising client of issues with correspondence over email.	.20
12/09/24	RPA	Review options for parking and position of KURA and City. Telephone conference with Evan Robertson re interest by property owners/business owners to challenge any decision by KURA Board.	.50
12/10/24	RPA	Prepare summary of conversation with Evan Robertson concerning business owner objections on the project and demand for parking. Review response from Suzanne Frick. Prepare confidential email to Board members.	1.00
12/11/24	ARG	Discussion related to potential litigation by Ketchum business group. Review and respond to email correspondence regarding same and information to Board for consideration.	.30
12/19/24	RPA	Review request for revised schedule of performance in light of design changes resulting from public input. Consider response and timeline.	.30
<b>TOTAL PROFESSIONAL SERVICES</b>			<b>\$ 725.00</b>

## SUMMARY OF PROFESSIONAL SERVICES

Name	Staff Level	Rate	Billed Hours	Billed Amount	Non-Chargeable Hours	Non-Chargeable Amount
Germaine, Abbey R.	Shareholder	290.00	.70	203.00	.00	.00
Armbruster, Ryan P.	Of Counsel	290.00	1.80	522.00	.00	.00
<b>Total</b>			<b>2.50</b>	<b>\$ 725.00</b>	<b>.00</b>	<b>\$ .00</b>

**TOTAL THIS INVOICE \$ 725.00**

251 E. Front Street, Suite 300  
Boise, Idaho 83702  
Tax ID No. 82-0451327  
Telephone 208-343-5454  
Fax 208-384-5844



December 31, 2024

Ketchum Urban Renewal Agency  
Attn: Suzanne Frick  
Executive Director  
PO Box 2315  
Ketchum, ID 83340

Invoice No. 212016  
Client No. 8962  
Matter No. 3  
Billing Attorney: ARG

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**REMITTANCE**

**RE: 1st and Washington Project**

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**BALANCE DUE THIS INVOICE**

**\$ 725.00**

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**ONLINE PAYMENTS**

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NOTE: A 3% convenience surcharge will be applied to all of these transactions.

To pay online, please click here: [www.elamburke.com/payments](http://www.elamburke.com/payments) or go to: [www.elamburke.com/payments](http://www.elamburke.com/payments)

**ACH PAYMENTS IN USD**

Account Holder: Elam & Burke, PA  
Bank Name: U.S. Bank  
Branch Name: Meridian CenterPoint Office  
Account Number: 82982196  
ABA Routing Number: 021052053

**CHECK PAYMENTS**

All checks should be made payable to:  
Elam & Burke, PA  
ATTN: Accounts Receivable  
251 E. Front Street, Suite 300  
Boise, ID 83702  
(Please return this advice with payment.)

*Please reference: Invoice 212016, File # 8962 - 3 on all payments.*

**INVOICES ARE PAYABLE UPON RECEIPT**  
***Thank you! Your business is greatly appreciated.***

**Steve Butler and Associates**

PO Box 1034  
Ketchum, ID 83340 USA  
(208) 720-6432  
svgeotech@gmail.com

INVOICE

BILL TO  
Matt Neilson-deChase Miksis  
401 W Idaho  
Boise, ID 83702 United States

INVOICE 6887  
DATE 12/19/2024  
TERMS Net 15  
DUE DATE 01/03/2025

DATE	DESCRIPTION	QTY	RATE	AMOUNT
	This fee is for the geotechnical report and includes at several site visit to determine access, mark the lot for DIGLINE, contacting DIGLINE Utility Locate, contacting the City of Ketchum, site visit to cone off sections of parking lot for drilling rig, leasing of the truck mounted drill rig, operators and support truck, overnight per diem for operators, increased boring depth for two story below grade parking garage, time associated with the subsurface investigation, contacting Conrad Brothers and the final report PDF.	1	10,630.00	10,630.00

Please send checks to:  
PO Box 1034  
Ketchum, ID 83340  
Thank you.

BALANCE DUE

**\$10,630.00**

98-4410-7100



**Pivot North Architecture**  
 PO Box 45503  
 Boise, ID 83711  
 (208) 690-3108

98-4410-7100

De Chase Miksis  
 DeChase Miksis  
 P.O. Box 733  
 Boise, ID 83701  
 Sammy Newell

Invoice number 5935  
 Date 11/30/2024  
 Project **22-059 1st & Washington**

For Professional Services Through November 30, 2024

**A1-02. Design Review/Concept Design**

Professional Fees

	Date	Hours	Multiplier	Rate	Billed Amount
Concept Design					
Project Manager Lead					
	11/07/2024	0.50		160.00	80.00
<i>Weekly meeting</i>					
	11/14/2024	0.50		160.00	80.00
<i>Weekly meeting</i>					
	11/21/2024	1.50		160.00	240.00
<i>Weekly design meeting, coordination</i>					
	11/26/2024	1.00		160.00	160.00
<i>Project coordination, code research, review massing progress</i>					
Design Studio Lead					
	11/21/2024	3.00		160.00	480.00
<i>OAC meeting, start conceptualizing alternate design direction based on feedback</i>					
	11/22/2024	4.50		160.00	720.00
<i>New concept massing and layout design work</i>					
	11/25/2024	7.50		160.00	1,200.00
<i>Revised concept (broken form)</i>					
	11/26/2024	5.00		160.00	800.00
<i>Revised massing and unit mix study, roof forms</i>					
	11/27/2024	1.00		160.00	160.00
<i>New concept unit mix</i>					
	11/29/2024	2.50		160.00	400.00
<i>Unit mix study model</i>					
	Subtotal	27.00			4,320.00
	Phase subtotal				4,320.00



Invoice total **4,320.00**

**Invoice Summary**

Description	Contract Amount	Total Billed	Percent Complete	Prior Billed	Current Billed
<b>A1-02. Design Review/Concept Design</b>	73,300.99	68,130.95	92.95	63,810.95	4,320.00
<b>A3-01. Schematic Design</b>	0.00	0.00	0.00	0.00	0.00
<b>A3-02. Design Development</b>	0.00	0.00	0.00	0.00	0.00
<b>A3-03. Construction Documents</b>	0.00	0.00	0.00	0.00	0.00
<b>A3-04. Permitting</b>	0.00	0.00	0.00	0.00	0.00
<b>A3-05. Construction Administration</b>	0.00	0.00	0.00	0.00	0.00
<b>AS-01. Parking Studies</b>	12,000.99	11,655.00	97.12	11,655.00	0.00
<b>AS-02. Parking Studies 2 (NTE)</b>	0.00	0.00	0.00	0.00	0.00
<b>Reimbursable Expenses</b>	0.00	2,087.36	0.00	2,087.36	0.00
<b>Total</b>	<b>85,301.98</b>	<b>81,873.31</b>	<b>95.98</b>	<b>77,553.31</b>	<b>4,320.00</b>

**Aging Summary**

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
5615	04/30/2024	1,200.00					1,200.00
5897	10/31/2024	1,617.50		1,617.50			
5935	11/30/2024	4,320.00	4,320.00				
	<b>Total</b>	<b>7,137.50</b>	<b>4,320.00</b>	<b>1,617.50</b>	<b>0.00</b>	<b>0.00</b>	<b>1,200.00</b>

*Thank you! We appreciate your business*



98-4410-7100

**Pivot North Architecture**

PO Box 45503  
Boise, ID 83711  
(208) 690-3108

\*\*Redesign effort for the revised massing with tuck under parking. Massing will now be redesigned to match KPFF's option 6 with below grade parking\*\*

De Chase Miksis  
DeChase Miksis  
P.O. Box 733  
Boise, ID 83701  
Sammy Newell

Invoice number 5966  
Date 12/31/2024

Project **22-059 1st & Washington**

For Professional Services Through December 31, 2024

**A1-02. Design Review/Concept Design**

Professional Fees

	Date	Hours	Multiplier	Rate	Billed Amount
<b>Concept Design</b>					
<b>Project Manager Lead</b>					
	12/02/2024	1.50		160.00	240.00
<i>Team meeting-review massing progress, Meeting with WRCHT &amp; deChase</i>					
	12/05/2024	0.50		160.00	80.00
<i>weekly meeting</i>					
	12/09/2024	1.50		160.00	240.00
<i>Meeting with Planning Staff, follow up call with Matt</i>					
	12/12/2024	0.50		160.00	80.00
<i>Weekly meeting</i>					
	12/18/2024	0.50		160.00	80.00
<i>Review Geotechnical report</i>					
<b>Design Studio Lead</b>					
	12/02/2024	6.50		160.00	1,040.00
<i>concept options and discussion with John/Ian, meeting with client, unit mix and areas</i>					
	12/03/2024	4.00		160.00	640.00
<i>unit mix and area spread sheet</i>					
	12/04/2024	3.00		160.00	480.00
<i>new design study package for client</i>					
	12/05/2024	1.00		160.00	160.00
<i>OAC meeting</i>					
	12/09/2024	1.50		160.00	240.00
<i>meeting with planning staff and follow up recap meeting with Matt</i>					
	Subtotal	20.50			3,280.00
	Phase subtotal				3,280.00

Invoice total **3,280.00**

**Invoice Summary**

Description	Total Billed	Prior Billed	Current Billed
<b>A1-02. Design Review/Concept Design</b>	71,410.95	68,130.95	3,280.00
<b>A3-01. Schematic Design</b>	0.00	0.00	0.00
<b>A3-02. Design Development</b>	0.00	0.00	0.00
<b>A3-03. Construction Documents</b>	0.00	0.00	0.00
<b>A3-04. Permitting</b>	0.00	0.00	0.00
<b>A3-05. Construction Administration</b>	0.00	0.00	0.00
<b>AS-01. Parking Studies</b>	11,655.00	11,655.00	0.00
<b>AS-02. Parking Studies 2 (NTE)</b>	0.00	0.00	0.00
<b>Reimbursable Expenses</b>	2,087.36	2,087.36	0.00
<b>Total</b>	<b>85,153.31</b>	<b>81,873.31</b>	<b>3,280.00</b>

**Aging Summary**

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
5615	04/30/2024	1,200.00					1,200.00
5897	10/31/2024	1,617.50			1,617.50		
5935	11/30/2024	4,320.00		4,320.00			
5966	12/31/2024	3,280.00	3,280.00				
	<b>Total</b>	<b>10,417.50</b>	<b>3,280.00</b>	<b>4,320.00</b>	<b>1,617.50</b>	<b>0.00</b>	<b>1,200.00</b>

*Thank you! We appreciate your business*

deChase > Miksis  
deChase Development  
Services, LLC

PO Box 733  
Boise, ID 83701  
EIN: 27-5253797

AR Contact: Sammy Newell  
208-570-0025  
Sammy@deChase.com

# Invoice

Invoice Number: KURA-08  
Invoice Date: Dec 24, 2024  
Due Date: Jan 23, 2025

98-4410-4200

**Bill To:**

Ketchum Urban Renewal Agency, KURA

PO Box 2315  
Ketchum, ID 83340

*Billing Details:*

<b>Description</b>	<b>Amount</b>
Development Fees, December	7,500.00
Subtotal	7,500.00
Retainage	0.00
Tax	0.00
<b>Total</b>	<b>\$7,500.00</b>

We accept check and ACH payments. You can call our controller at 208-570-0025 for ACH information.  
Thank you for your business,

## DRAW SUBMISSION

<b>1st and Washington Development LLC</b>	APPLICATION #:	6
PO Box 733 Boise, ID 83701	DATE:	Dec 3, 2024
Construction Manager:		
Development Manager: Matthew Neilson	matt@dechase.com	

## PROJECT

PROJECT #:	22-33-K
NAME:	1st & Washington
TYPE:	WFHOUSE
ADDRESS:	PO Box 2315 Ketchum, ID 83340

SUMMARY OF DRAW	AMOUNT
Current Job Costs	25,730.00
Current Retainage Amount	0.00
Current Draw Amount Due	25,730.00

**22-33 - 1st and Washington Development LLC**  
**This Period Transactions Report**  
**Job: 22-33-K - 1st & Washington Application #: 6**  
**Date: January 13, 2025**

<b>Date</b>	<b>Vendor Name</b>	<b>Reference</b>	<b>Description</b>	<b>Amount</b>
<b>GENERAL CONDITIONS</b>				
<b>10-1700 - Predevelopment - Geotechnical</b>				
12/19/2024	Steve Butler and Associates	6887	Steve Butler and Associates-Inv#6887	\$10,630.00
<b>20-1000 - A&amp;E</b>				
11/30/2024	Pivot North Architecture	5935	Pivot North Architecture-Inv#5935	\$4,320.00
12/31/2024	Pivot North Architecture	5966	Pivot North Architecture-Inv#5966	\$3,280.00
<b>20-1000 Subtotal</b>				<b>\$7,600.00</b>
<b>40-1000 - Development Fee</b>				
12/24/2024	deChase Development Services, LLC	KURA-08	deChase Development Services, LLC-Inv#KURA-08	\$7,500.00
<b>GENERAL CONDITIONS TOTAL</b>				<b>\$25,730.00</b>
<b>Job Total</b>				<b>\$25,730.00</b>

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**22-33 - 1st and Washington Development LLC**  
**Billing Breakdown**  
**Job: 22-33-K - 1st & Washington Application #: 6**  
**Date: January 13, 2025**

Item No.	Description Of Work	Previously Billed	Current Bill	Cost To Date
<b>GENERAL CONDITIONS</b>				
<b>10 - Site and Due Diligence</b>				
10-1700	Predevelopmet - Geotechnical	\$4,000.00	\$10,630.00	\$14,630.00
10-1800	Predevelopmet - Boundary Survey/ALTA	\$6,800.00	\$0.00	\$6,800.00
<b>10 - Site and Due Diligence Subtotal</b>		<b>\$10,800.00</b>	<b>\$10,630.00</b>	<b>\$21,430.00</b>
<b>20 - Other Soft Costs</b>				
20-1000	A&E	\$67,782.52	\$7,600.00	\$75,382.52
20-1100	A&E (Reimbursable Expenses)	\$2,525.79	\$0.00	\$2,525.79
20-1200	Civil	\$787.50	\$0.00	\$787.50
20-1400	Lanscaping	\$918.75	\$0.00	\$918.75
<b>20 - Other Soft Costs Subtotal</b>		<b>\$72,014.56</b>	<b>\$7,600.00</b>	<b>\$79,614.56</b>
<b>40 - Professional Fees</b>				
40-1000	Development Fee	\$52,500.00	\$7,500.00	\$60,000.00
<b>40 - Professional Fees Subtotal</b>		<b>\$52,500.00</b>	<b>\$7,500.00</b>	<b>\$60,000.00</b>
<b>GENERAL CONDITIONS TOTAL</b>		<b>\$135,314.56</b>	<b>\$25,730.00</b>	<b>\$161,044.56</b>
<b>Job Total</b>		<b>\$135,314.56</b>	<b>\$25,730.00</b>	<b>\$161,044.56</b>

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**Meeting Minutes**

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**Monday, November 18, 2024,**

**2:00p.m.**

**Ketchum City Hall**

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**CALL TO ORDER:**

Susan Scovell called the meeting to order. *(00:01:07 in video)*

**ROLL CALL:**

**Present:**

Board Chair—Susan Scovell  
Board Member—Gary Lipton  
Board Member—Tyler Davis-Jeffers  
Board Member—Courtney Hamilton  
Board Member—Amanda Breen  
Board Member—Casey Burke

**Absent:**

Board Member—Mason Frederickson

**Other attendees:**

Suzanne Frick, KURA Executive Director  
Trent Donat, City Clerk and KURA Secretary

**COMMUNICATION FROM THE BOARD MEMBERS:**

Suzanne Frick made a modification to the SVED Contract on the Consent Calendar. *(00:01:40 in video)*

**CONSENT CALENDAR**

**Motion to approve the Consent Calendar (Items #1 - #5) with the changes to the SVED Contract as detailed by Suzanne Frick.** *(00:02:23 in video)*

**Motion made by:** Amanda Breen; seconded by: Casey Burke

**Ayes:** Gary Lipton, Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

**DISCUSSION ITEMS**

1. Discussion on operation of First and Washington Parking Lot.  
Presented by: Suzanne Frick *(00:02:41 in video)*

**Comments, questions, and discussion by Board Members.** *(00:03:50 in video)*

**ADJOURNMENT:**

**Motion to adjourn.** *(00:29:47 in video)*

Motion made by Amanda Breen; seconded by; Courtney Hamilton

**Ayes:** Gary Lipton, Courtney Hamilton, Susan Scovell, Amanda Breen, Tyler Davis-Jeffers, Casey Burke

**Result:** Adjourned





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Susan Scovell, Board Chair

**ATTEST:**

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Trent Donat, KURA Secretary

## Meeting Minutes

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**Monday, December 16, 2024,**

**2:00p.m.**

**Ketchum City Hall**

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**CALL TO ORDER:**

Susan Scovell called the meeting to order. *(00:00:12 in video)*

**ROLL CALL:**

**Present:**

Board Chair—Susan Scovell

Board Member—Tyler Davis-Jeffers

Board Member—Courtney Hamilton (via teleconference)

Board Member—Amanda Breen

Board Member—Casey Burke

**ABSENT:**

Board Member—Gary Lipton

Board Member Mason Frederickson

**Other attendees:**

Suzanne Frick—KURA Executive Director

Jade Riley—City Administrator

Brent Davis—Finance Director

Daniel Hansen—Community Engagement Manager

Trent Donat—City Clerk and KURA Secretary

Greg Dunfield—GMD Development

Abbey Germain—KURA Attorney

Neil Bradshaw—City of Ketchum Mayor *(arrived at 2:40pm)*

**COMMUNICATION FROM THE BOARD MEMBERS:**

No Communications

**CONSENT CALENDAR**

**1. Motion to approve the KURA Bills *(00:00:52 in video)***

**Motion made by:** Amanda Breen; seconded by: Casey Burke

**Ayes:** Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

**2. Motion to approve November 18, 2024, joint meeting minutes if the KURA and Ketchum City Council. *(00:01:06 in video)***

**Motion made by:** Susan Scovell; seconded by: Amanda Breen

**Ayes:** Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

**DISCUSSION ITEMS**

3. Sun Valley Economic Development Quarterly Update. .  
Presented by: Harry Griffith (00:01:30 in video)
  - Courtney Hamilton Asked a question. (00:06:59 in video)
  - Harry Responded (00:07:30 in video)

**ACTION ITEMS:**

4. Recommendation to approve a reimbursement of \$820,813.00 to Ketchum Community Development Corporation and 4% Bluebird Housing Partners LLC, and Consideration of amending Reimbursement Agreement #50078 for reimbursement of additional public infrastructure expenditures.  
Presented by: Suzanne Frick (00:09:43 in video)  
Joined by: Greg Dunfield (00:12:53 in video)

**Comments, questions and discussion by board members.** (00:021:32 in video)

**Motion to approve the reimbursement agreement for the \$820,813.00 for Bluebird Project infrastructure costs and authorize staff to issue the reimbursement check once a Certificate of Occupancy and city approvals of the public infrastructure have been granted.**

(00:33:54 in video)

**Motion made by:** Amanda Breen; seconded by: Casey Burke

**Ayes:** Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

**Motion to amend Reimbursement Agreement #50078 to provide additional reimbursement in the amount of \$128,050.00 and authorize staff to issue the reimbursement check once a Certificate of Occupancy and city approvals of the infrastructure have been granted.**

(00:34:13 in video)

**Motion made by:** Amanda Breen; seconded by: Casey Burke

**Ayes:** Courtney Hamilton, Amanda Breen, Susan Scovell, Tyler Davis-Jeffers, Casey Burke

**Result:** Motion Passes

5. Direction to Staff on First and Washington Project scope and funding.

Introduced by: Suzanne Frick (00:35:03 in video)

Survey results presented by: Daniel Hansen (00:37:10 in video)

LID Assessment presented by: Brent Davis (00:45:10 in video)

**Comments, questions and discussion by Suzanne Frick and board members.** (00:57:09 in video)

Neil Bradshaw joined the discussion. (01:06:26 in video)

Public Comment Open. (01:18:02 in video)

- Jed Gray (01:18:16 in video)
- Scott Curtis (01:20:20 in video)
- Jim Slanetz (01:22:36 in video)

Public Comment Closed. (01:25:27 in video)



*Comments, questions and discussion by Suzanne Frick and board members. (00:57:09 in video)*

**ADJOURNMENT:**

**Motion to adjourn.** (01:28:13 in video)

Motion made by Amanda Breen; seconded by; Casey Burke

**Ayes:** Courtney Hamilton, Susan Scovell, Amanda Breen, Tyler Davis-Jeffers,  
Casey Burke

**Result:** Adjourned

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Susan Scovell, Board Chair

**ATTEST:**

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Trent Donat, KURA Secretary



## **Ketchum Urban Renewal Agency**

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**P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340**

January 21, 2024

Chair and Commissioners  
Ketchum Urban Renewal Agency  
Ketchum, Idaho

### **RECOMMENDATION TO REVIEW AND PROVIDE DIRECTION TO STAFF ON THE REQUEST FROM COREY STREET MASS, LLC, FOR A REIMBURSEMENT AGREEMENT FOR PUBLIC IMPROVEMENTS LOCATED AT 380 N FIRST STREET IN THE AMOUNT OF \$667,828**

#### Summary

Corey Street Mass, LLC, applied to the KURA to enter into a reimbursement agreement for public improvements installed as part of a private development project located at 380 N First Avenue (Attachment A) in the amount of \$667,828. Staff requests Board direction on the request. Should the Board agree to reimburse for the improvements, staff will return to the Board for approval of an Owner Participation Agreement (OPA).

#### Background

The Board has not entered into a reimbursement agreement for a private development improvements since 2020. Instead, the Board has focused funding of city public infrastructure projects and the First + Washington project. The public improvements as part of the request are identified in the funding application (Attachment A). The improvements are located at the corner of First Avenue and 4<sup>th</sup> Street as part of the construction of a mixed-use building consisting of 2 market rate residential units and offices. The project was approved by the Planning and Zoning Commission in December 2021 and a building permit was issued in May 2023. A certificate of occupancy has not yet been issued.

In 2022 the KURA amended the funding criteria for reimbursement of improvements associated with private development projects (Attachment B). The criteria for funding applicable to this application are as follows:

- All requests for funding shall be made no later than 30 days after the applicant applies for a building permit.

- Reimbursement for public infrastructure shall commence after the project is generating tax increment to benefit the Agency.
- No more than 50% of the total tax increment generated by the project may be used for reimbursement to the developer.
- KURA may fund 40% of the cost of the following:
  - Cost differential between concrete sidewalks and paver sidewalks, snowmelt systems will not be funded
  - Installation of street trees
  - Art or other public amenities in the public right of way
- Mixed use projects are considered commercial projects and may apply for tax increment financing provided they meet all the criteria.

Historically, the KURA has not reimbursed for public improvements that apply to all development projects such as replacement of curbs, gutters, installation of concrete sidewalks and ADA ramps around a project, installation of streetlights, upgrades to water and sewer lines and repair of any damage to public property as a result of the construction project. In this case, with the exception of the sidewalk pavers, street trees, benches and bike racks, the list of improvements provided by the applicant are required improvements for all development projects.

Based on prior reimbursements and the KURA reimbursement policy, the following improvements would be eligible for reimbursement:

- |                            |  |
|----------------------------|--|
| • Irrigation systems       | \$1,837  |
| • Topsoil                  | \$4,140  |
| • Landscaping Improvements | \$1,040  |
| • Trees                    | \$3,912  |
| • Tree grates              | \$14,271   |
| • Silva cells              | \$31,638   |
| • Bike racks               | \$3,700  |
| • Bench seating            | \$15,761   |
| • Sidewalk pavers          | \$43,611 (need to calculate difference between concrete sidewalk and pavers) |

Total: \$119,910

Per the KURA funding resolution, KURA would reimburse 40% of the costs which result in a KURA contribution of up to \$47,964 depending on the differential cost between the pavers and concrete sidewalks.

Reimbursement Calculations

The 2024 taxable value of the property is \$1,137,197. The applicant estimates the taxable value of the property once the project is completed will be \$6,000,000. Using the 2023 applicable tax levy, the current tax increment yield to KURA is \$3,723. If the future taxable value of the property is \$6,000,000, the tax increment yield to KURA is

estimated to be \$19,641 based on the 2023 tax levy. The new net annual amount to KURA is estimated to be \$15,918 (\$19,641 minus \$3,723).

The projected annual reimbursement amount would be 50% of the projected net increment totaling \$7,959 if the taxable value of the property is \$6,000,000. Typically, new construction projects start generating additional tax increment one year after issuance of a certificate of occupancy. Reimbursement calculations are based on the actual taxable value determined by the Blaine County Assessor and verified with documentation. If a certificate of occupancy is issued in 2025, additional tax increment would begin in 2026. Reimbursement would occur 2026-2029, or annually for 4 years. Total reimbursement is projected to be \$31,836.

#### Requested Funding

The request is for \$667,828, however, based on KURA funding criteria, eligible costs total \$119,910. KURA would reimburse 40% of the costs totaling \$47,764. However, based on the funding calculations, the projected reimbursement amount would be \$31,836.

#### KURA Financial Impact

KURA revenue projections through 2030 assume no loss in projected revenue due to reimbursement agreements. If this agreement is approved, there will be a revenue loss.

#### Recommendation and Motion

Staff requests direction from the KURA on the proposed funding request.

#### Attachments:

Attachment A: Applicant funding request

Attachment B: KURA Funding Criteria

## Attachment A





**Ketchum Urban Renewal Agency**  
P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

## APPLICATION FOR PROJECTS REQUESTING FUNDING FROM THE KURA

### Applicant and Project Information

Applicant Name:  
Corey Street Mass, LLC

Name of Project:  
380 First Ave N Mixed Use Building

Project Description: Mixed use building in downtown Ketchum. Public ROW work includes new sidewalks, snow melt, street lamps, 4x trees and benches.

Project Location: 380 First Ave N Ketchum, ID 83340

Date Submitted:  
11/18/2024

Estimated Date of Completion:  
12/15/2025

### Application Submittal Requirements

- Brief narrative describing the proposed public benefit of the project
- Map of project location
- Attached professional bids
- Attached preliminary/construction drawings

*Notes on Submittals*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Projects Questions:

1. Is this project identified within the Urban Renewal Plan for KURA?
2. If identified in the Urban Renewal Plan, indicate section and page:
3. Estimated assessed value of project after completion (*taxable value*):
4. Will any KURA board members or staff financially benefit from the project?
5. New or retained jobs resulting from project:
6. Approximate return on public fund investment. (I.e. Public\$/Private\$)
7. Funding amount requested:

Yes:  No:

Section: 3.2 Page: 6

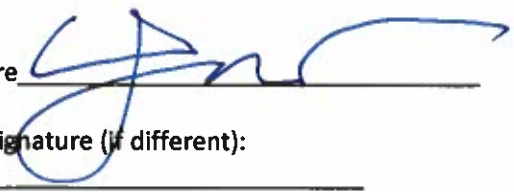
\$ 6,000,000.00

Yes:  No:

Full Time: 2 Part Time: 0

\$ 500,000.00

\$ 667,828.00

Applicant's Signature 

Property Owner's Signature (if different): \_\_\_\_\_

Date: 11/18/2024

Date: \_\_\_\_\_

	<b>Project Description:</b> 380 1st Street Mixed Use Building. All work associated with the scope of work associated within the City of Ketchum right-of-way
	<b>BUDGET ESTIMATE WORKSHEET</b>

Project..... <b>380 1st Street Mixed Use Building</b>	Estimator: <b>DH</b>	Bid Date: <b>03/03/22</b>	
Location..... <b>Ketchum, Idaho</b>		Bid Time: <b>2:00 PM</b>	
Architect..... <b>Williams Partners</b>		Run Date: <b>03/03/23</b>	
Owner..... <b>Corey Streey Mass, LLC</b>	Project Duration Work days: <b>47</b>	Addenda: <b>0</b>	

Spec.	Systems/Component	Notes	Responsibility	Quantity	UOM	\$/Unit	Total
<b>GENERAL CONDITIONS:</b>							
01303	Field Labor			31	hr	45.00	1,395
01206	Temporary Site Facilities			47	day	139.84	6,572
01214	Temporary Construction Facilities			47	day	59.68	2,805
01604	Plan Copies			2	ea	100.00	200
<b>Subtotal General Conditions</b>							<b>10,972</b>
<b>TRAVEL / PER DIEM</b>							
01306	Travel/Exp Perdiem	Lodging per IRS Blaine County	Superintendent Travel	47	Day	106.00	4,982
<b>Subtotal Travel / Per Diem</b>							<b>4,982</b>
<b>UTILITIES</b>							
01207	Temporary Utilities		Temp Site Power	47	ls	36.70	1,725
<b>Subtotal Utilities</b>							<b>1,725</b>
<b>Dumpsters</b>							
01701	Dumpsters and Debris Hauling			1	ea	795.00	795
<b>Subtotal Clean UP / Debris</b>							<b>795</b>
<b>SUPERVISION</b>							
01301	Superintendent		CSDI	47	day	278.00	13,066
01401	Project Manager		CSDI	22	day	326.00	7,172
01410	Project Executive		CSDI	10	day	381.00	3,810
<b>Subtotal Supervision</b>							<b>20,238</b>
<b>DIVISION 1</b>							
01600	Material Testing			1	ls	3,755.00	3,755
01600	Erosion & Sediment Control			1	ls	4,500.00	4,500
01600	Traffic Control			1	ls	3,200.00	3,200
01600	Surveying		Galena Engineering	1	ls	3,120.00	3,120
<b>Division Subtotal</b>							<b>14,575</b>
<b>ROW WORK</b>							
01 71 13	Mobilization		CSDI Construction, Inc.	1	ea	4,386.00	4,386
03 37 00	Concrete Flatwork		E & J Concrete	666	sf	15.76	10,496
03 37 00	Concrete Flatwork prep		E & J Concrete	666	sf	6.91	4,602
03 37 00	Concrete Vert Curb		E & J Concrete	261	lf	25.49	6,652
03 37 00	Concrete Wash Out		E & J Concrete	1	ea	5,200.00	5,200
03 37 00	Vert Curb Exc/Prep		E & J Concrete	261	lf	20.06	5,236
23 00 02	Concrete and Paver Snow Melting Systems	Includes Radiant Heating	Thorton Heating & Sheetmetal	2,727	sf	68.38	186,472
24 00 00	Demolition	Includes Landscape, Shrubs, Asphalt, Curb and Sidewalk	Canyon Excavation	2,000	sf	6.70	13,400
26 00 01	Ketchum - Street Lights	Relocation of Existing	Roberts Electric ALLOWANCE	3	ea	8,208.00	24,624
26 00 01	Ketchum- Light bollards	Provided by City of Ketchum	Roberts Electric ALLOWANCE	4	ea	1,052.00	4,208
26 00 01	Electrical, pipe, wire bollards & lights		Roberts Electric ALLOWANCE	7	ls	1,024.00	7,168
31 00 00	Traffic Control	Utility scope	CSDI Construction, Inc.	1	ea	1,750.00	1,750
32 17 24	Post Mounted Signage		Roberts Electric ALLOWANCE	1	ea	800.00	800
33 06 40	Drop Inlet Catch Basin	Includes 30" Diameter	Canyon Excavation	1	ea	2,500.00	2,500
33 06 40	Drywell	Includes 30" Diameter	Canyon Excavation	2	ea	3,500.00	7,000
33 06 40	Storm Drain Pipe	Includes 12" ADS N-12	Canyon Excavation	20	lf	75.00	1,500

	<b>Project Description:</b> 380 1st Street Mixed Use Building. All work associated with the scope of work associated within the City of Ketchum right-of-way
	<b>BUDGET ESTIMATE WORKSHEET</b>

Project..... <b>380 1st Street Mixed Use Building</b>	Estimator: <b>DH</b>	Bid Date: <b>03/03/22</b>	
Location..... <b>Ketchum, Idaho</b>		Bid Time: <b>2:00 PM</b>	
Architect..... <b>Williams Partners</b>		Run Date: <b>03/03/23</b>	
Owner..... <b>Corey Streey Mass, LLC</b>	Project Duration Work days: <b>47</b>	Addenda: <b>0</b>	

Spec.	Systems/Component	Notes	Responsibility	Quantity	UOM	\$/Unit	Total
33 10 00	6" Fire Line		Canyon Excavation	267	lf	219.06	58,488
33 10 00	4" Water Service		Canyon Excavation	90	lf	201.16	18,104
32 11 00	2" Minus pit run Asphalt Sub Base 8"		Canyon Excavation	4,030	sf	3.92	15,801
32 11 00	4" Crushed Aggregate		Canyon Excavation	4,030	sf	4.64	18,698
32 12 16	Asphalt Pavement	City of Ketchum Standard	Idaho Materials & Construction	3,364	sf	9.48	31,887
32 12 16	Sawcut Asphalt		CSDI Construction, Inc.	506	lf	12.00	6,072
32 17 23	Pavement Markings	Includes Cross Walk	CSDI Construction, Inc.	1.0	ea	3,250.00	3,250
32 80 00	Irrigations Systems		Native Evergreen Landscapes	100	lf	18.37	1,837
32 80 00	Topsoil		Native Evergreen Landscapes	90	cy	46.00	4,140
32 80 00	Landscaping/Improvements		Native Evergreen Landscapes	1	ls	1,040.00	1,040
32 80 00	Trees		Native Evergreen Landscapes	4	ea	978.01	3,912
32 80 00	Tree Grates		Native Evergreen Landscapes	4	ea	3,567.65	14,271
32 80 00	Silva Cells		Native Evergreen Landscapes	4	ea	31,638.00	31,638
32 80 00	Concrete Unit Pavers		Native Evergreen Landscapes	2,300	sf	18.96	43,611
32 80 00	Bench Seating	Includes Powder coating	Native Evergreen Landscapes	3	ea	5,253.50	15,761
32 80 00	Bike Racks	Includes Powder coating	Native Evergreen Landscapes	2	ea	1,850.00	3,700
33 33 00	Sanitary Sewer Utility	Includes Relocation to new tie in Location	Canyon Excavation	1	ea	4,000.00	4,000
<b>Division Subtotal</b>							<b>562,204</b>

<b>SUBTOTAL - HARD COSTS</b>							<b>615,491</b>
01100	Liability Insurance	0.52%				3,201	3,201
01106	Builders Risk Insurance	By Owner				0	-
01101	Building Permits	By Owner				-	-
	Overhead	5.25%				35,080	35,080
	Fee	2.10%				14,056	14,056
						SUBTOTAL =	667,828
01151	State/Local Sales/use tax	0.00%				0	-
01151	Local/city tax	0.00%				0	-
01103	Bonding	Not included in total add \$8,049 if required.				0	-
01910	Owner Contingency	0.00%				0	-
<b>BUDGET ESTIMATE TOTAL =</b>							<b>667,828</b>

Java Primo

TNT

Washington Ave N

1st Ave N

4th St E

Smoky Mountain Pizzeria

Ketchyum

Harvey Art Projects

V A

Maude's Coffee & Clothes

Sun Tone

Core Engine Fitness

4th St W

Premier Cleaners

1st Ave N

# 380 N. 1ST AVE. MIXED-USE BUILDING

**Owner:**  
Corey Streey Mass, LLC  
11361 Farlin Street  
Los Angeles, California 90049

**Architect:**  
Williams | Partners Architects  
Jeff Williams: jeff@williams-partners.com  
P.O. Box 4373  
Ketchum, ID 83340  
Ph. 208.726.0020  
Fax 208.726.0019

**Geotechnical Engineer:**  
Butler Associates  
Steve Butler: svgeotech@gmail.com  
P.O. Box 1034  
Ketchum, ID 83340  
Ph. 208.720.6432

**Landscape Architect:**  
Landwork Studio LLC  
Rob King: rob@landworkstudio.com  
P.O. Box 300  
Ketchum, ID 83340  
Ph. 208.726.5331

**Civil Engineer:**  
Galena Engineering, Inc  
Sean Flynn: sflynn@galena-engineering.com  
317 N. River Street  
Hailey, ID 83333  
Ph. 208.788.1705

**Structural Engineer:**  
Liv Jensen Engineering, PLLC  
Liv Jensen: liv@cox.net  
441 Eastridge Drive  
Hailey, ID 83333  
Ph. 208.720.5549

**Interior Design:**  
Jennifer Hoey Interior Design  
Jennifer Hoey: jennifer@jenniferhoey.com  
Abbey Mayhew: abbey@jenniferhoey.com  
P.O. Box 6409  
Ketchum, ID 83340  
Ph. 208.726.1561

**Electrical Consultant:**  
SYSWEST  
Ross Williams: ross@syswest.net  
22922 Lake Wenatchee Highway  
Leavenworth, WA 98826

**Owner's Representative:**  
Grabber Construction  
P.O. Box 507  
Sun Valley, ID 83353  
Ph. 208.726.3916  
Fax 208.726.9081

**General Contractor:**  
CSDI Construction, Inc.  
Gabriel Myers: gmyers@csdiconstruction.com  
6353 Supply Way, Boise, Idaho 83716  
Office: 208-338-5973  
Cell: 208-830-5120



March 18, 2021  
**Satellite View**  
380 North First Avenue; Ketchum, Idaho  
Scale: 1:984  
0 0.01 0.01 0.03 mi  
0 0.01 0.03 0.05 km  
Blaine County GIS  
Made by: Blaine County GIS

## PROJECT INFORMATION

**LEGAL DESCRIPTION:** LOT 5, BLOCK 37 KETCHUM

**ADDRESS:** 380 NORTH FIRST AVENUE KETCHUM, ID 83340

**ZONING:** CC, SD 2 (COMMUNITY CORE, SUBDISTRICT 2: MIXED USE)

**SETBACKS:** FRONT AND STREET SIDE: 5' AVERAGE  
INTERIOR SIDE: 0'  
ADJACENT TO ALLEYWAY: 3'

**MAX BUILDING HEIGHT:** 42'  
[AVERAGE FRONT PROPERTY LINE ELEVATION = 5827.2'  
AVERAGE REAR PROPERTY LINE ELEVATION = 5827.05'  
MAX HEIGHT = 42' + 5827.05' = 5869.05']

**CONSTRUCTION TYPE:** V-B (IBC SECTION 602.5)

**OCCUPANCY:** OFFICE: BUSINESS GROUP B (IBC 304.1),  
(2) RESIDENTIAL UNITS (APARTMENTS): RESIDENTIAL GROUP R-3 (IBC 310.4),  
GARAGES: UTILITY AND MISCELLANEOUS GROUP U (IBC 312)  
\*BUILDING WILL NOT BE CONDOMINIUMIZED.

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A.0.2 CODE ANALYSIS / EGRESS DIAGRAMS  
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A.0.6 BUILDING SYSTEMS  
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A.0.9 BUILDING SYSTEMS  
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380 N. 1st Ave. Mixed-Use Building

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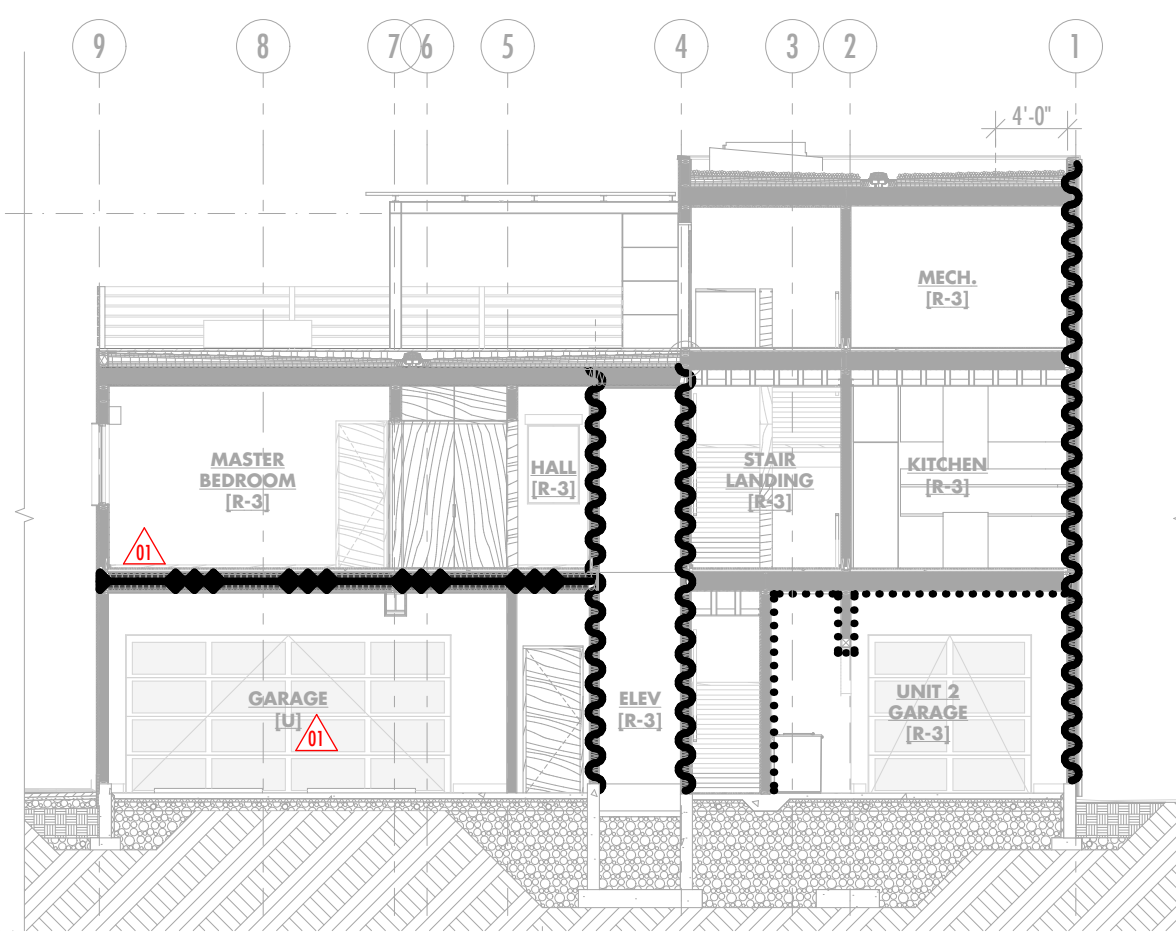
**WILLIAMS PARTNERS**

## ARCHITECTS

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**REVISIONS**  
NUMBER: 01  
DATE: 08/02/2023

**A.0.0**



BUILDING SECTION 'F' EGRESS AND FIRE RATING DIAGRAM

SCALE: 3/32" = 1'-0"

5

**EGRESS AND FIRE RATING KEY**

**PARAPET, IBC EXCEPTION 705.11.5.1:**  
A 30" TALL PARAPET NEED NOT BE PROVIDED ON AN EXTERIOR WALL WHERE THE WALL TERMINATES AT THE UNDERSIDE OF ROOF SHEATHING CONSTRUCTED OF FIRE-RETARDANT TREATED WOOD FOR A DISTANCE OF 4 FEET.

**IN PLAN, THE DARK GRAY POCHÉ REPRESENTS FIRE PARTITIONS OR FIRE BARRIERS THAT MUST MEET CONTINUITY REQUIREMENTS OF IBC 707.5 OR 708.4. SEE SHEET A0.10 FOR ACCEPTABLE CONSTRUCTION METHODS.**

**EGRESS AND FIRE RATING KEY**

**SEPARATED OCCUPANCIES (R to B, R to U):**  
1-HOUR FIRE PARTITION PER SECTION 420.2, CONSTRUCTED IN ACCORDANCE WITH SECTION 708

**SEPARATED OCCUPANCIES (R to B, R to U):**  
1-HOUR HORIZONTAL ASSEMBLY CONSTRUCTED IN ACCORDANCE WITH SECTION 711

**EGRESS AND FIRE RATING KEY**

**DWELLING UNIT-TO-DWELLING UNIT SEPARATION:**  
1/2-HOUR FIRE PARTITION CONSTRUCTED IN ACCORDANCE WITH SECTION 708

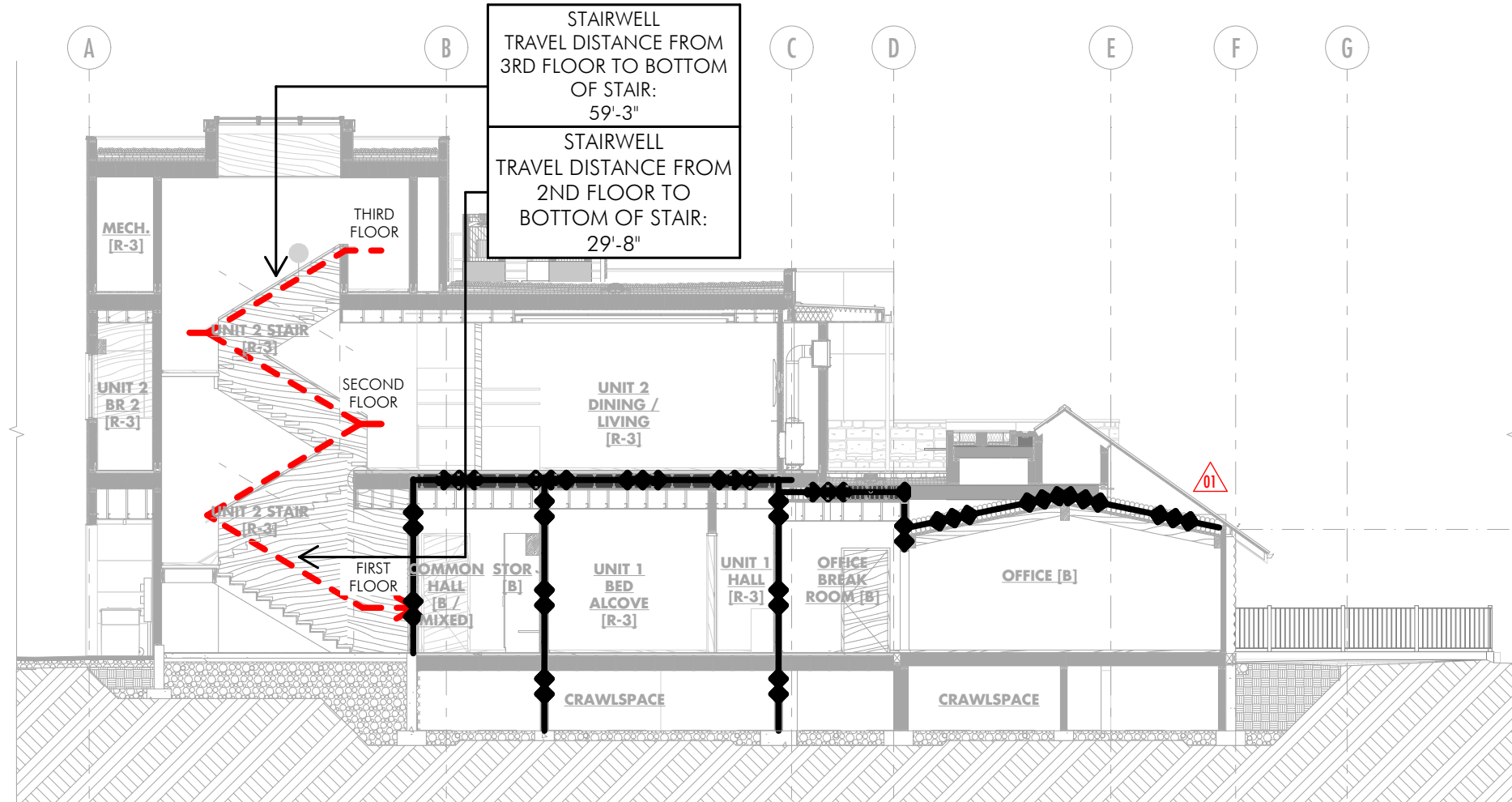
**SEPARATED OCCUPANCIES (U to B), SHAFT ENCLOSURES, INTERIOR PROPERTY LINE WALL BASED ON FSD:**  
1-HOUR FIRE BARRIER SEPARATION PER TABLE 508.4 AND TABLE 602, CONSTRUCTED IN ACCORDANCE WITH IBC SECTION 707

**EGRESS AND FIRE RATING KEY**

**EGRESS PATHWAYS:**  
COMMON PATH OF EGRESS TRAVEL AND EXIT ACCESS TRAVEL DISTANCE

**PRIVATE GARAGE-TO-THE DWELLING UNIT SEPARATION:**  
5/8-INCH MIN TYPE 'X' GYPSUM BOARD AT WALLS AND CEILING APPLIED TO THE GARAGE SIDE.

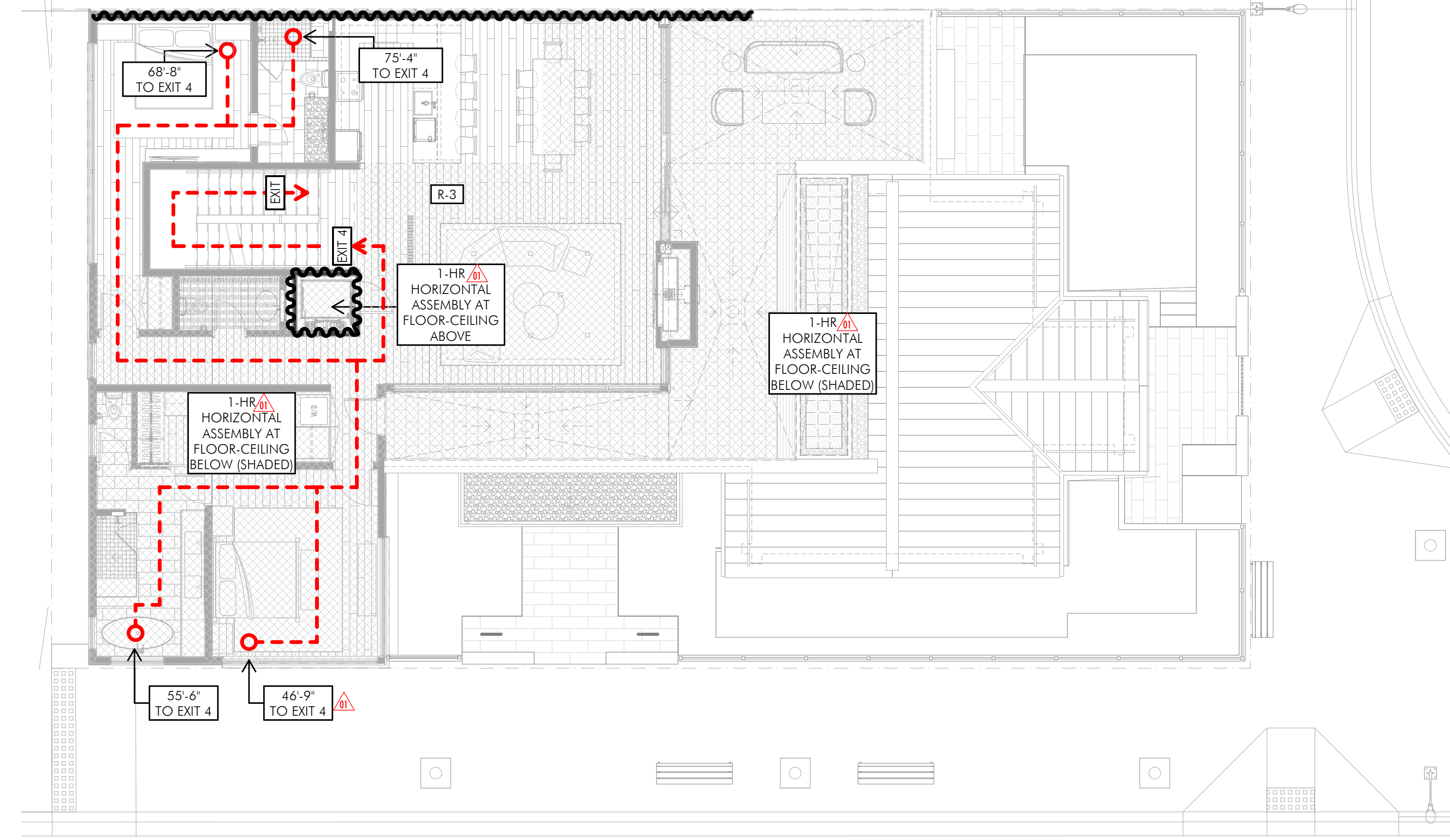
**DWELLING UNIT-TO-DWELLING UNIT SEPARATION:**  
1/2-HOUR HORIZONTAL ASSEMBLY CONSTRUCTED IN ACCORDANCE WITH SECTION 711



BUILDING SECTION 'B' EGRESS AND FIRE RATING DIAGRAM

SCALE: 3/32" = 1'-0"

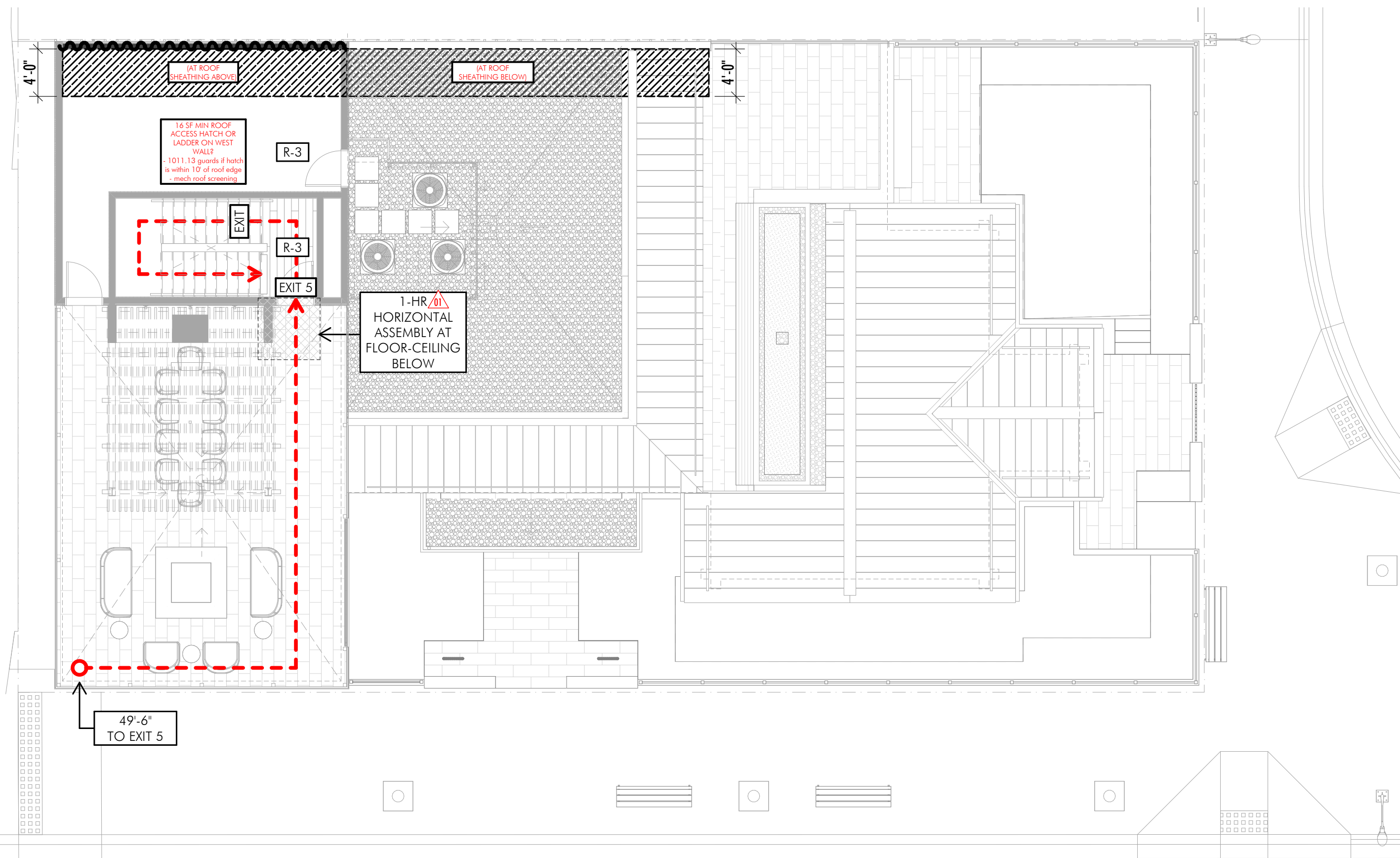
4



SECOND FLOOR EGRESS AND FIRE RATING DIAGRAM

SCALE: 1/8" = 1'-0"

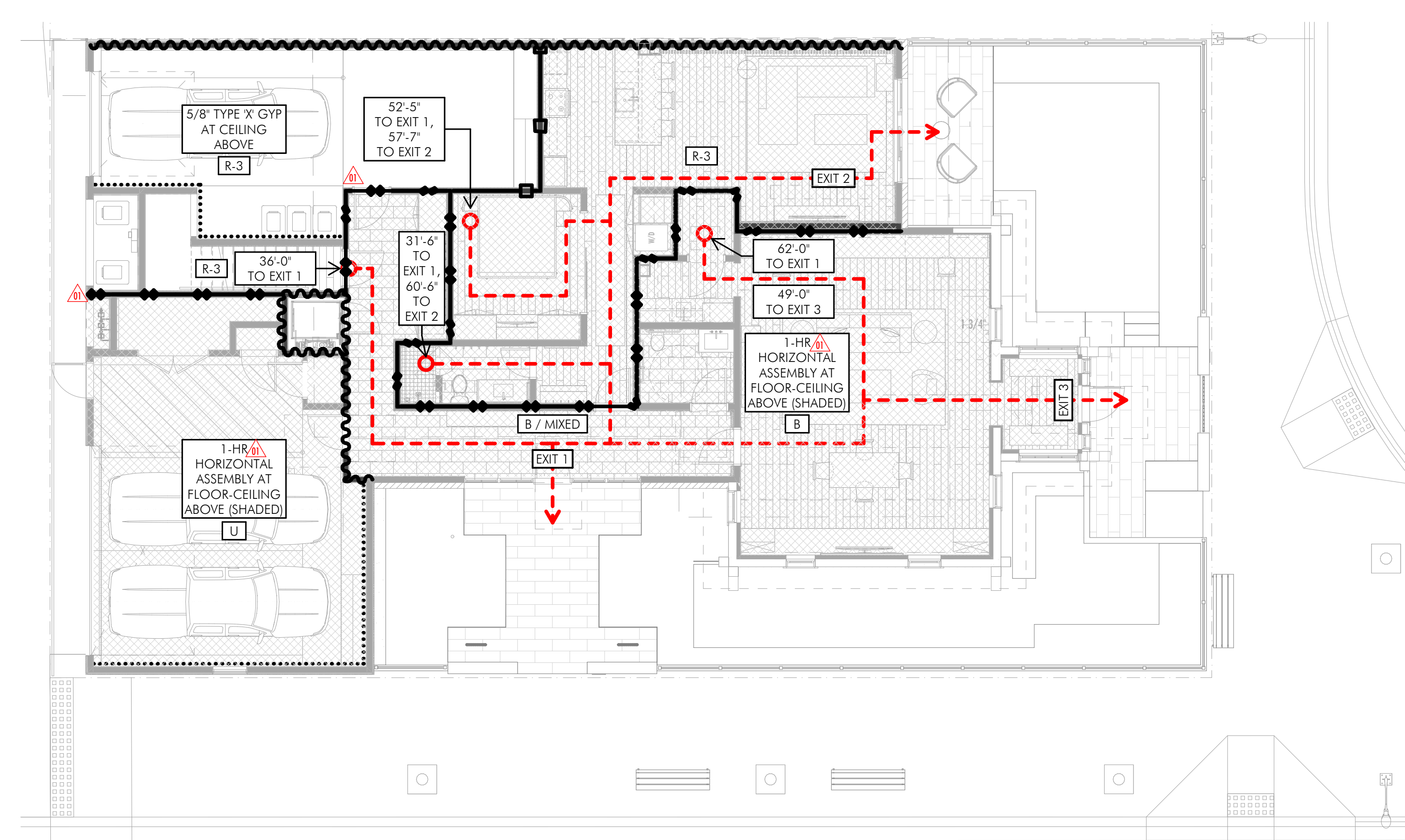
2



THIRD FLOOR EGRESS AND FIRE RATING DIAGRAM

SCALE: 1/8" = 1'-0"

3



FIRST FLOOR EGRESS AND FIRE RATING DIAGRAM

SCALE: 1/8" = 1'-0"

1

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

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08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**  
NUMBER: 01  
DATE: 12/08/22 PERMIT REVISION

**A 0.1**

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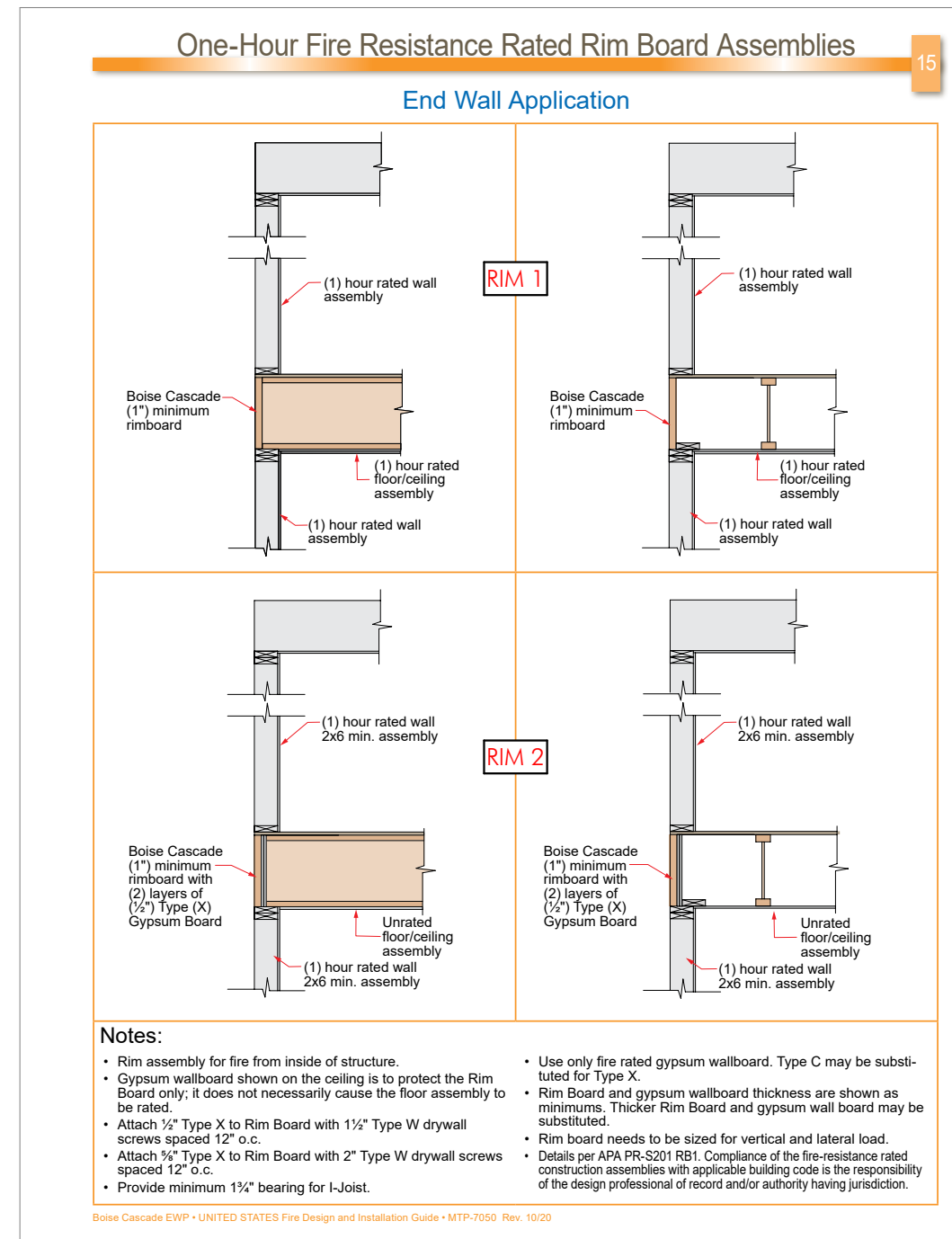
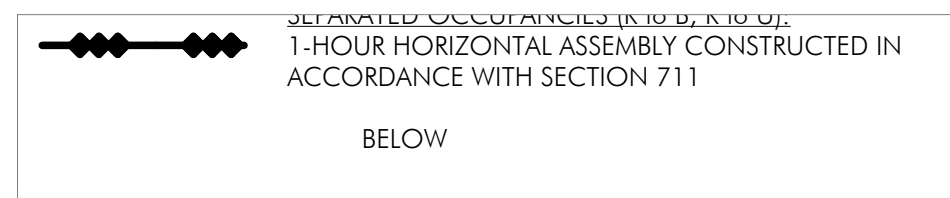






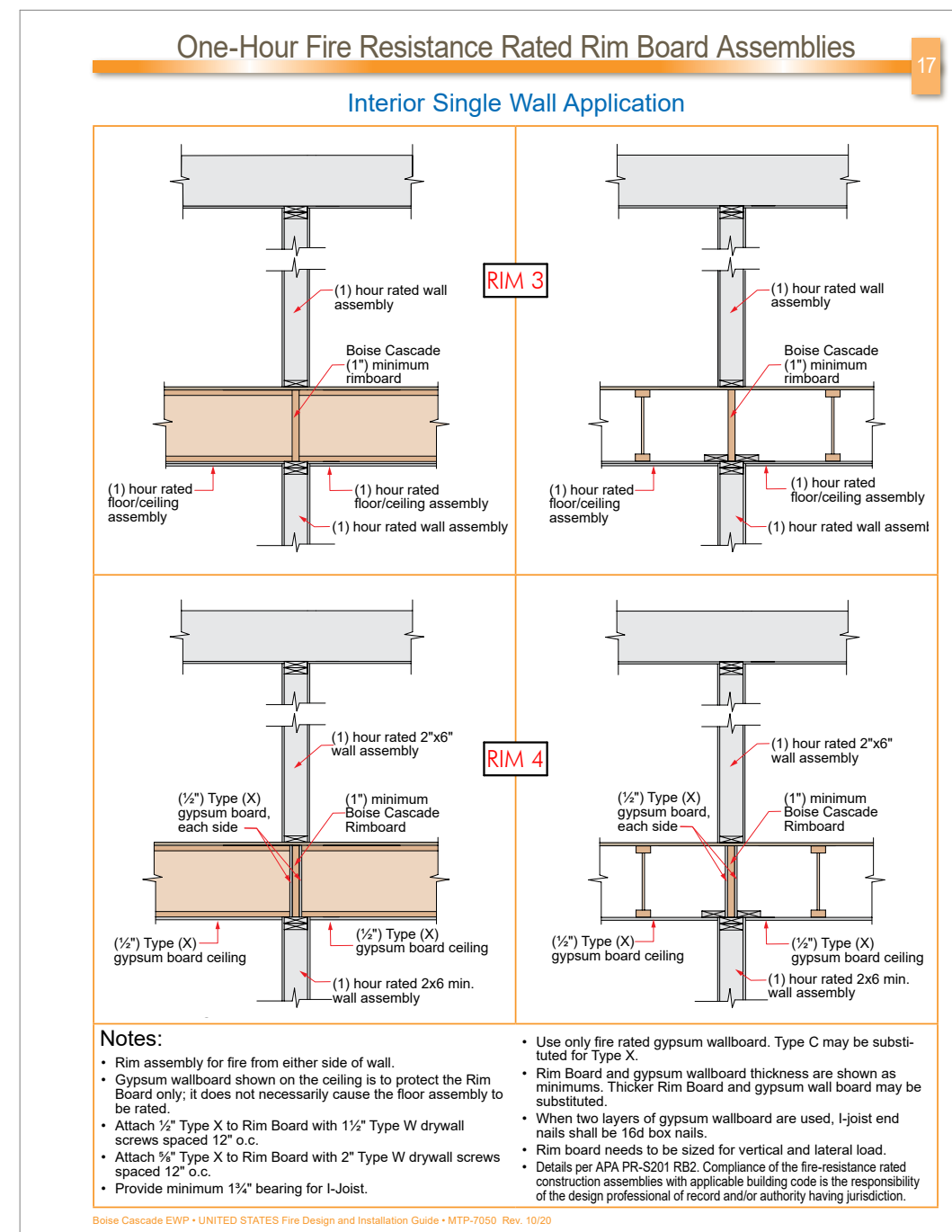






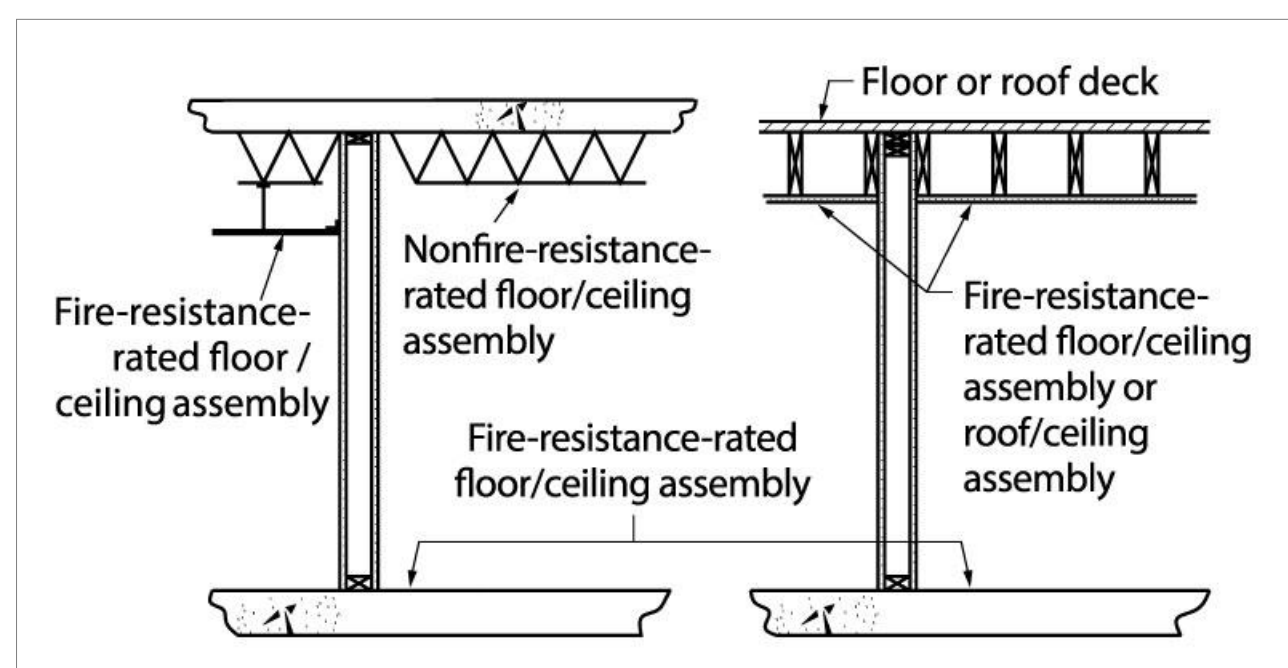
### 11 FIRE PARTITION AND BARRIER CONTINUITY AT EXTERIOR WALLS

SCALE: 1:1.54



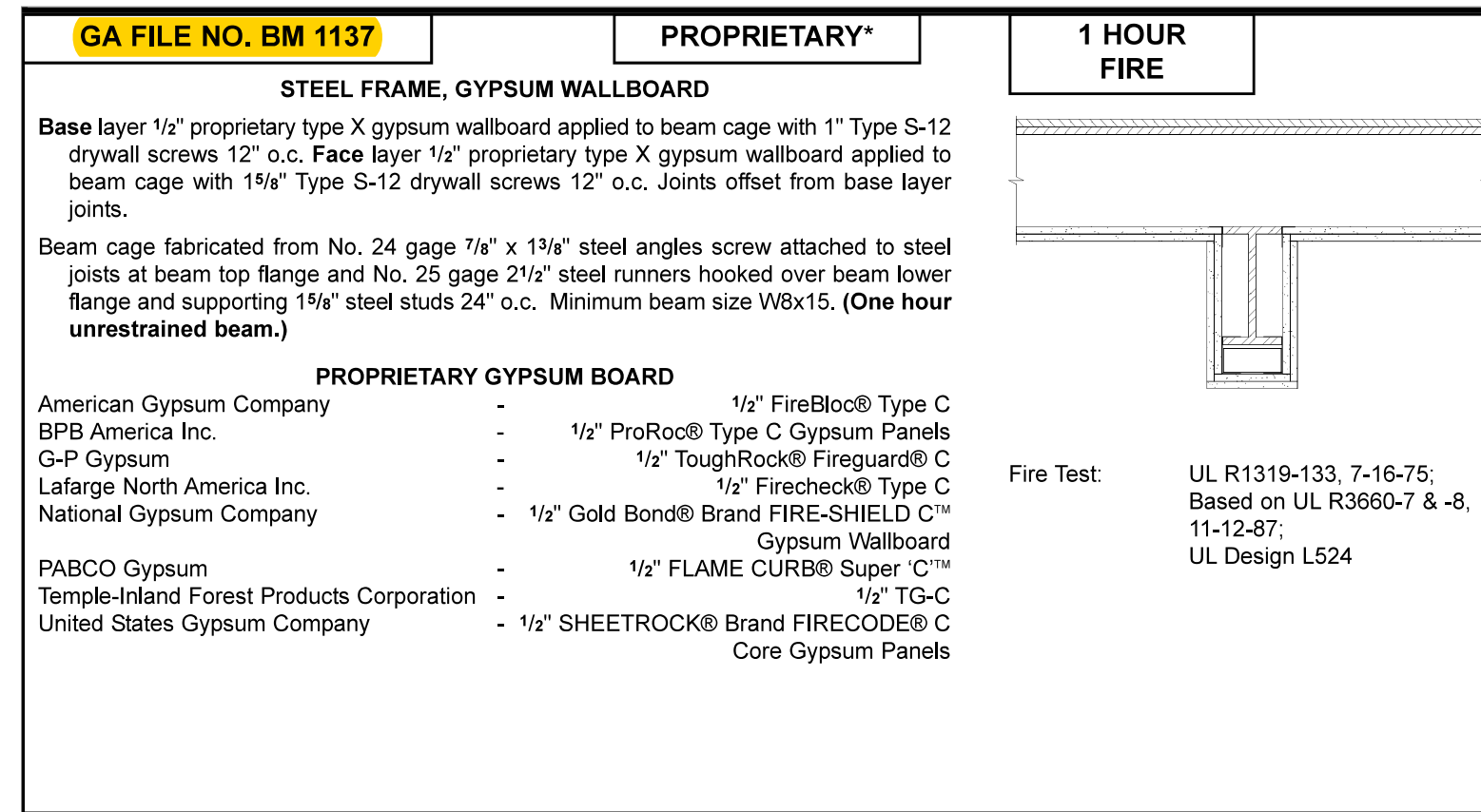
### 10 FIRE PARTITION AND BARRIER CONTINUITY AT INTERIOR WALLS

SCALE: 1:1.54



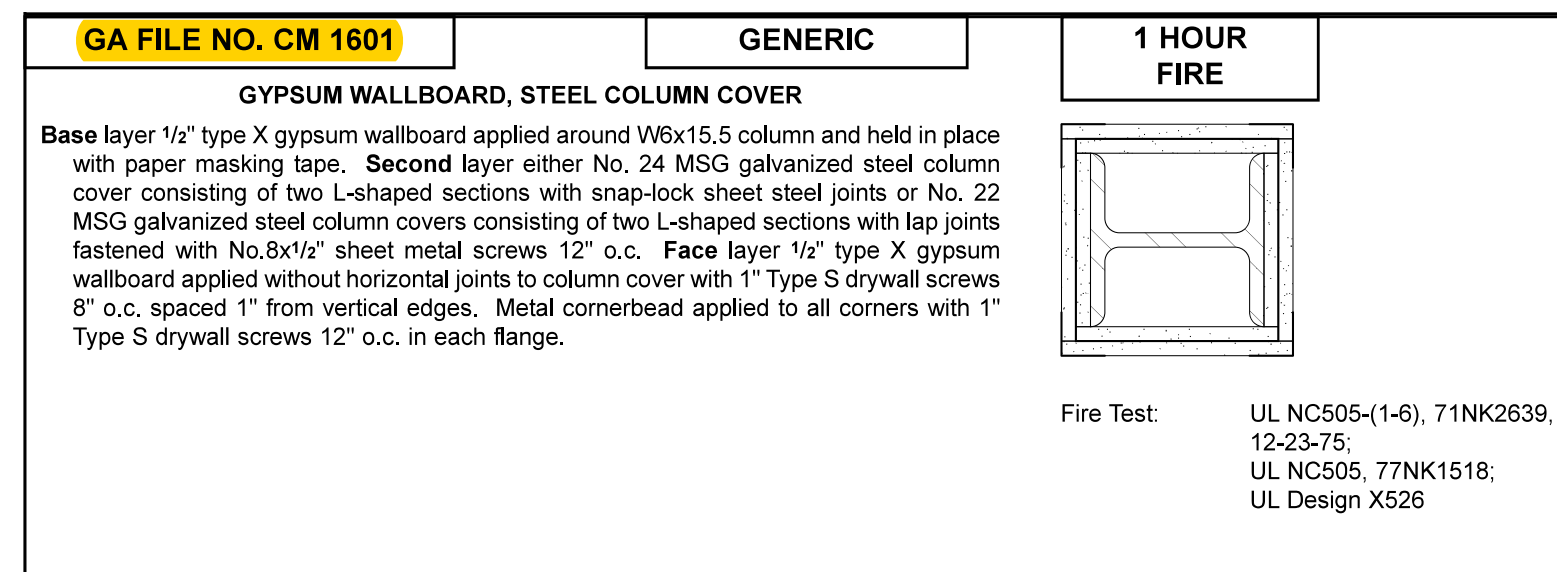
### 9 HORIZONTAL FIRE BARRIER AT CABIN (R-3 + C-3F)

SCALE: 1:1.47



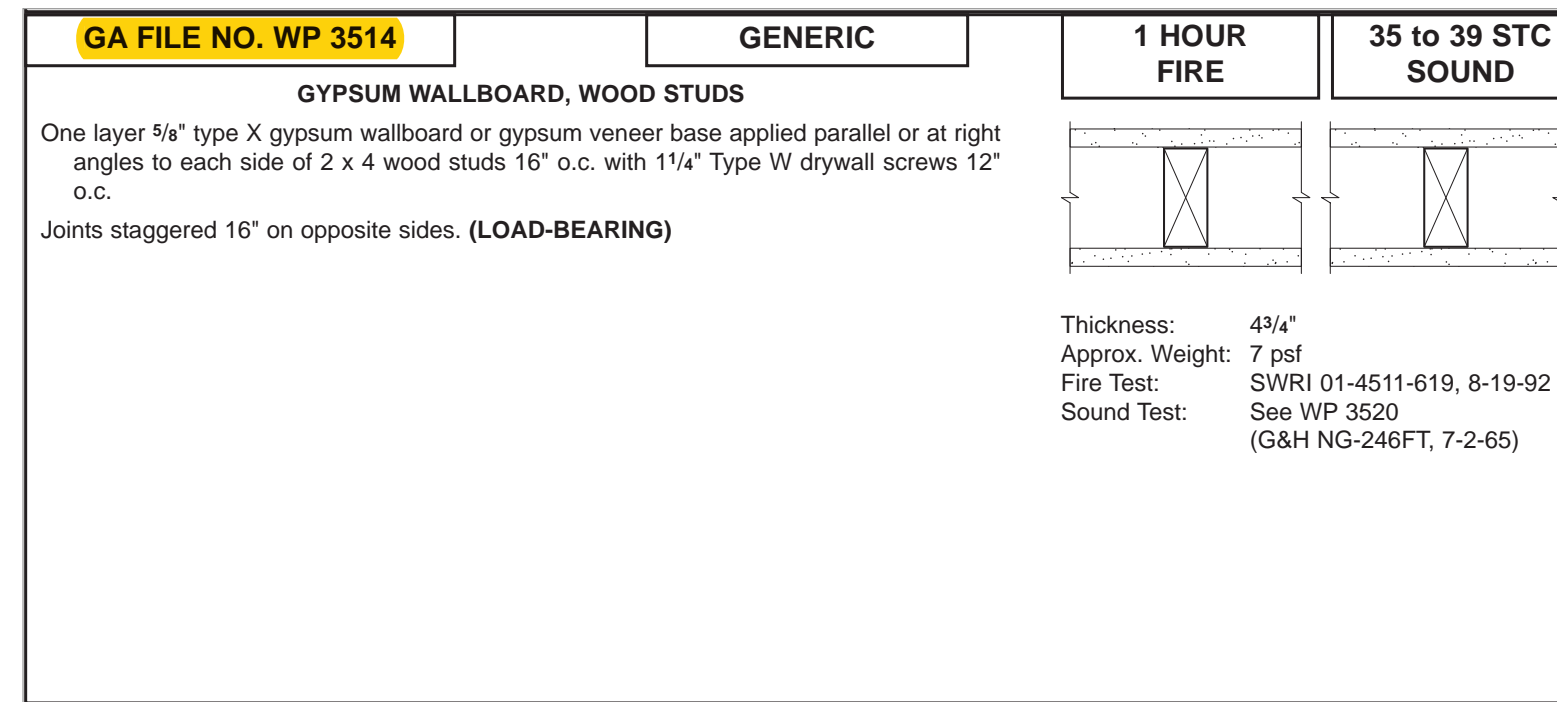
### 8 BEAM PROTECTION

SCALE: 1:1.25



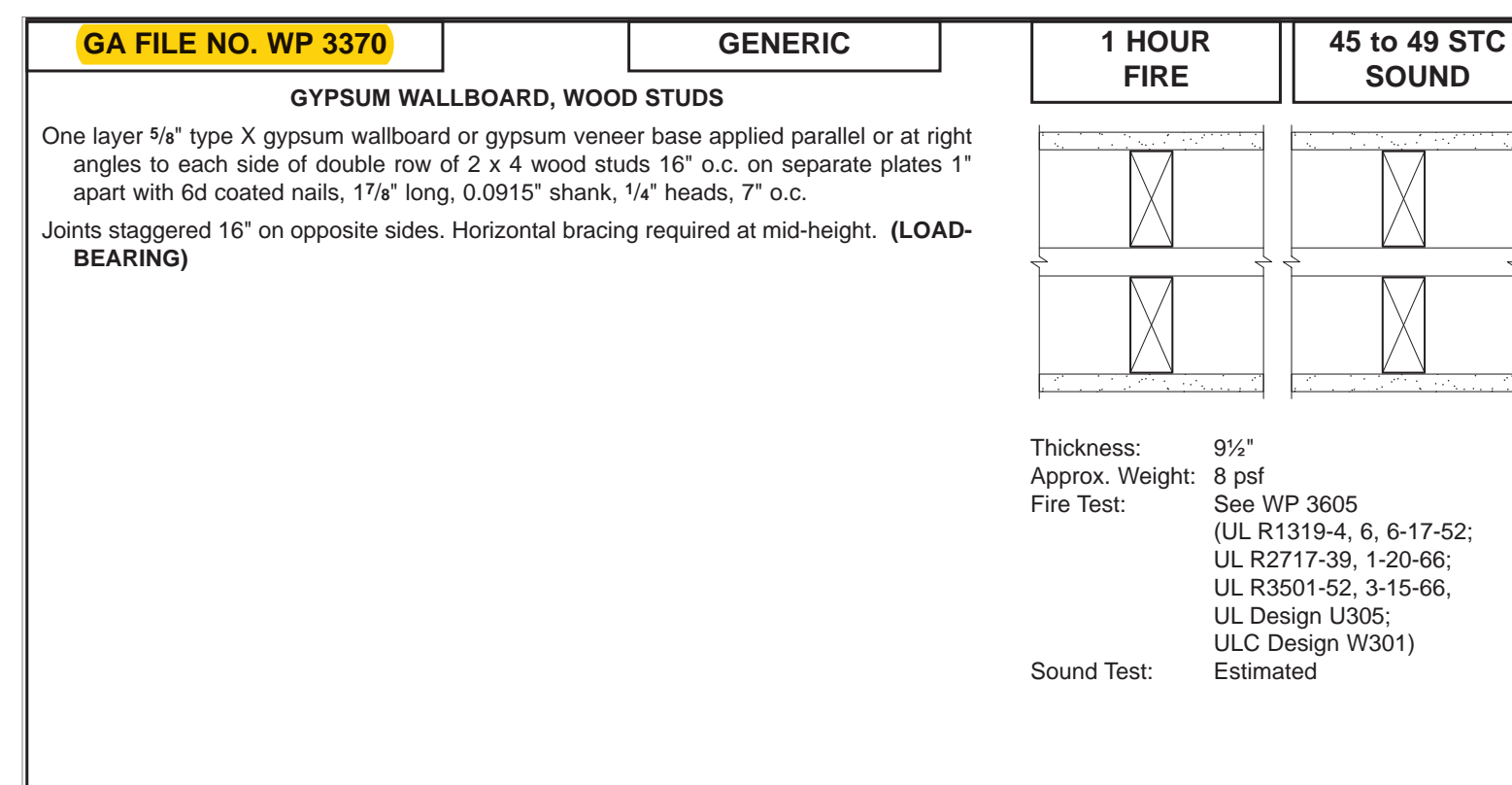
### 7 COLUMN PROTECTION

SCALE: 1:1.25



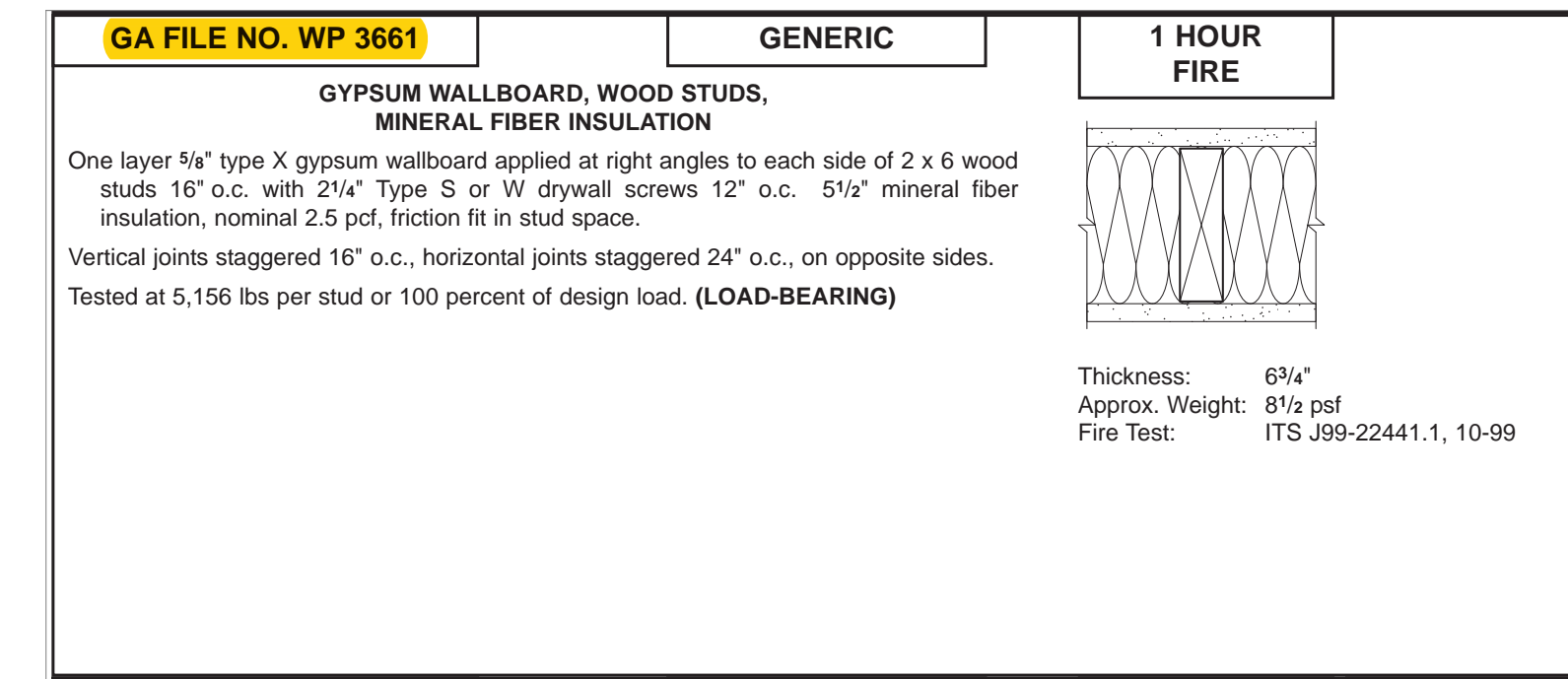
### 6 WA-22F CRAWL SPACE PONY WALL @ FIRE BARRIER

SCALE: 1:5.33



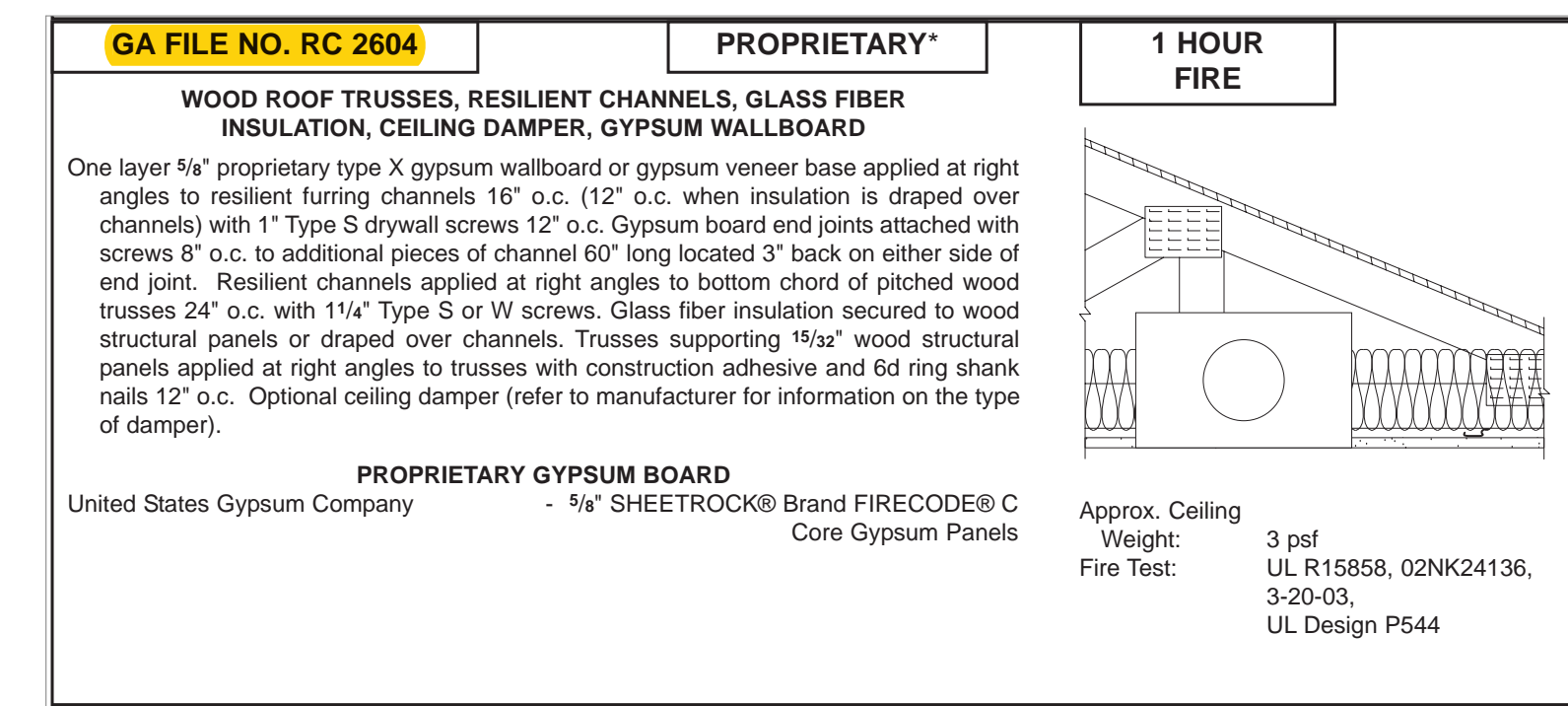
### 5 DOUBLE 2X6 INT STUD WALL (1-HR)

SCALE: 1:5.39



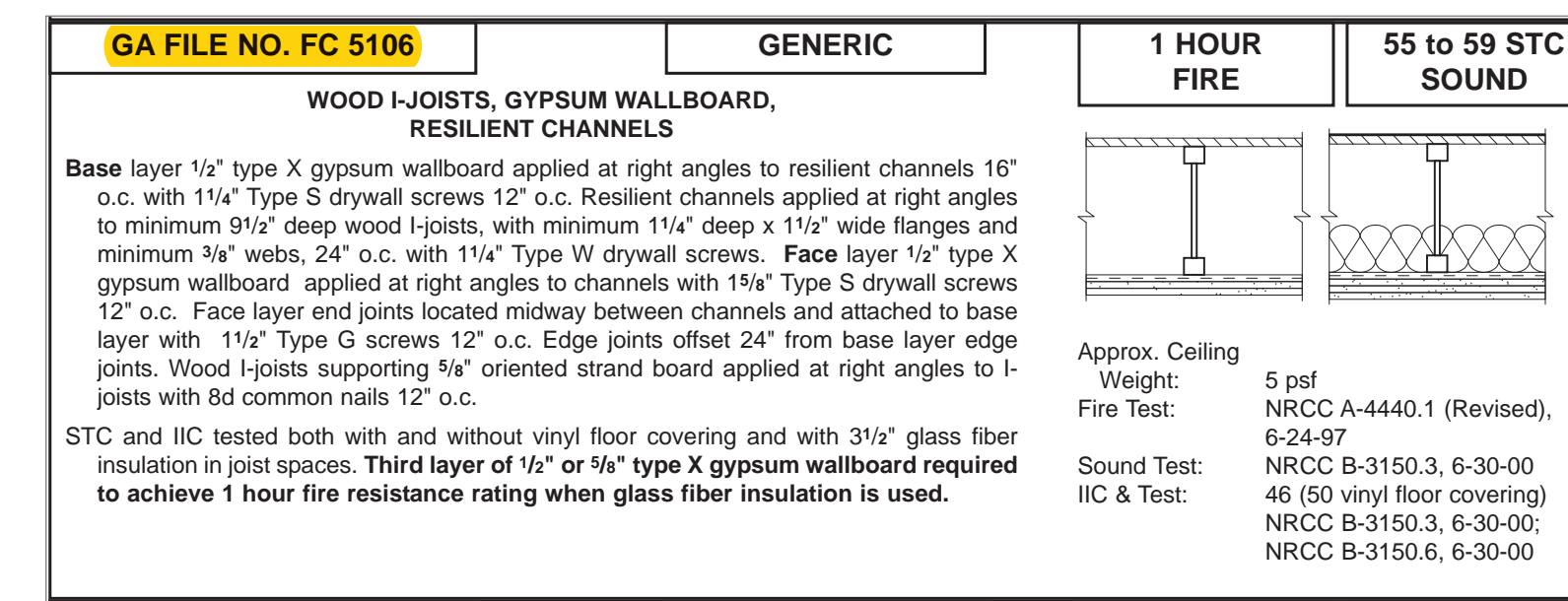
### 4 WA-20F 2X6 INT STUD WALL (1-HR)

SCALE: 1:5.33



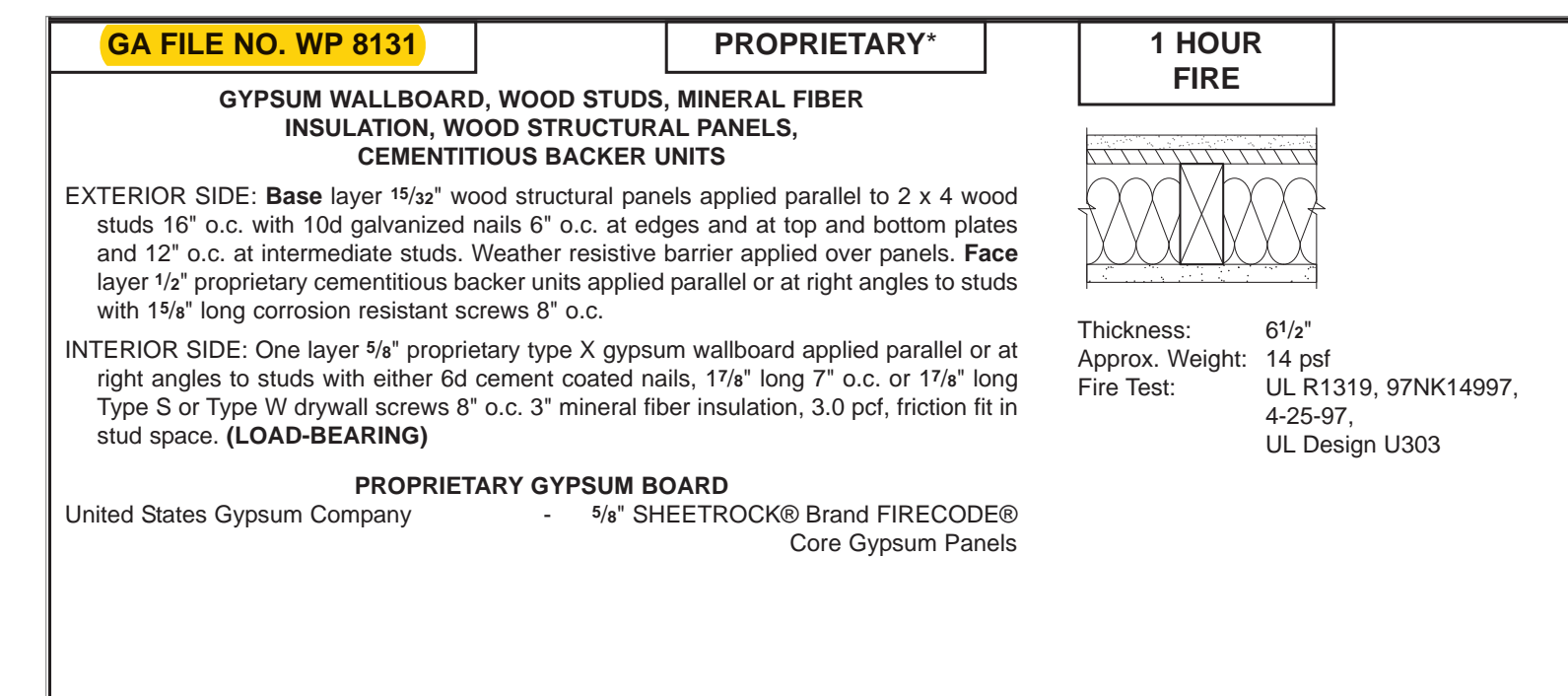
### 3 HORIZONTAL FIRE BARRIER AT CABIN (R-3 + C-3F)

SCALE: 1:5.33



### 2 HORIZONTAL FIRE BARRIER

SCALE: 1:5.33



### 1 WA-7F EXT STUD WALL W/ STUCCO (1-HR)

SCALE: 1:5.33

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# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

## WILLIAMS PARTNERS

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WWW: WILLIAMS-PARTNERS.COM

### DRAWINGS

ISSUED: 05/12/2021  
06/10/2021  
09/30/2021  
04/22/2022  
08/05/2022  
08/02/2023

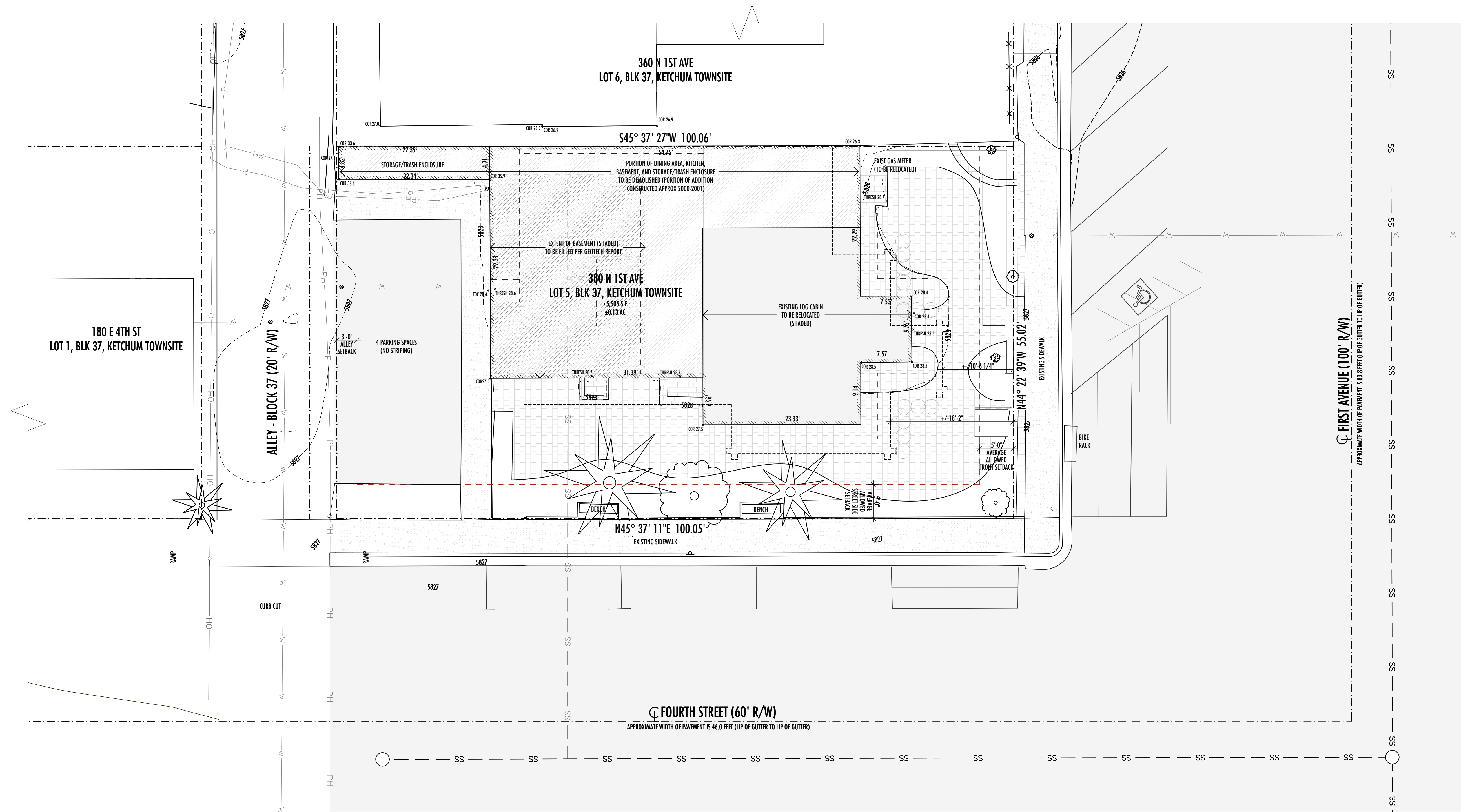
CON SCHEMATIC PRESENTATION  
CON HFC REVIEW  
DESIGN REVIEW  
PRICING SET  
PERMIT  
ISSUED FOR CONSTRUCTION

### REVISIONS

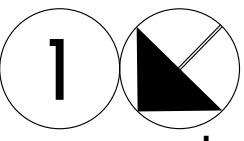
NUMBER: DATE:

# A 0.10

BUILDING INFORMATION / SYSTEMS



SITE PLAN - EXISTING  
SCALE: 1/8" = 1'-0"



Y:\McMorrow\04 - BIM Project Files\380 North 1st Avenue.pln

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**REVISIONS**  
NUMBER: DATE:

**A1.1**  
ARCHITECTURAL SITE PLAN

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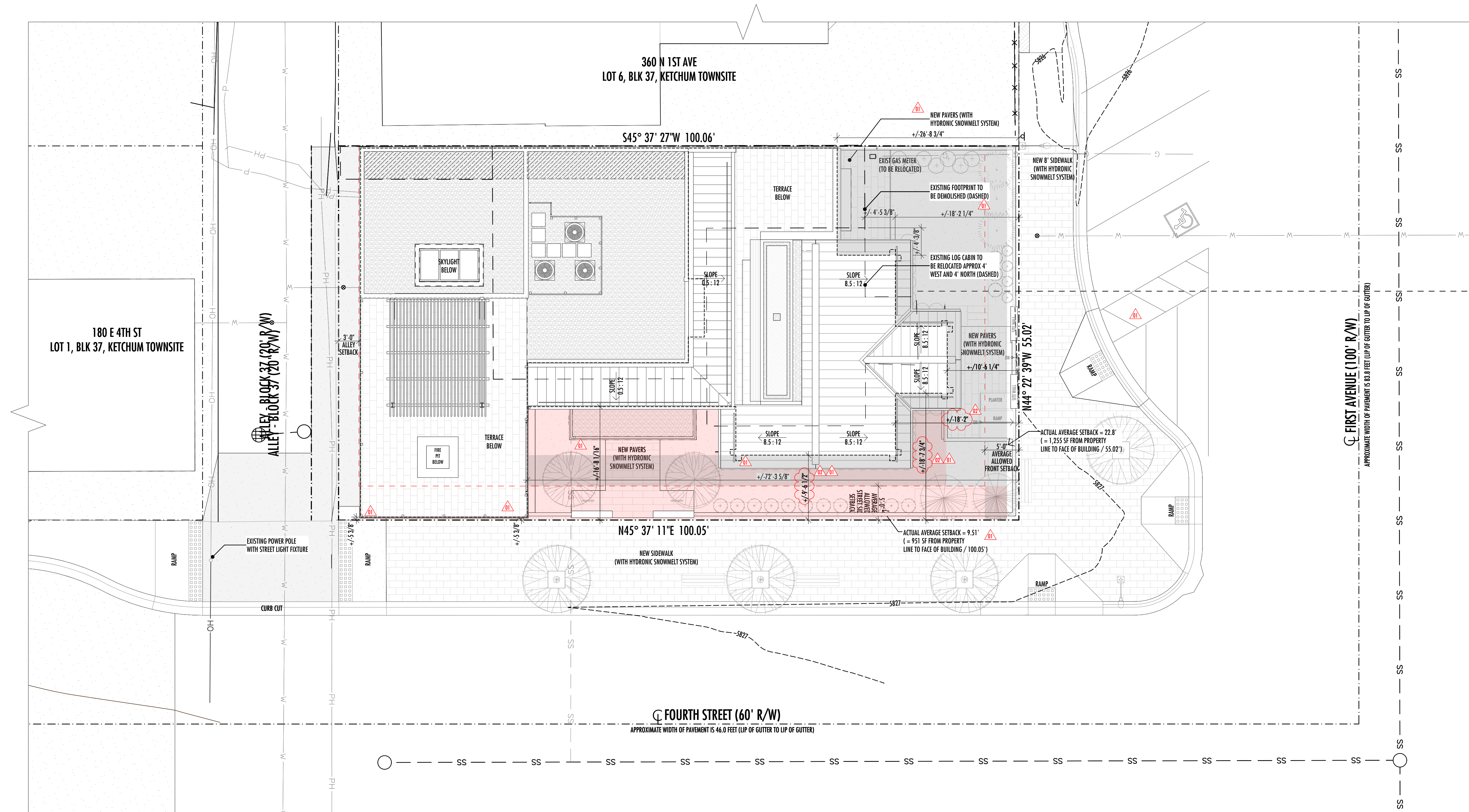
# EXTERIOR SNOWMELT

CITY OF KETCHUM SNOWMELT REQMTS. FOR COMMERCIAL PROJECTS:

SNOWMELT SYSTEMS INSTALLED IN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED AND OPERATE AT ALL TIMES DURING THE WINTER ACCORDING TO THE FOLLOWING:

- THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC, C403.12.2)
- THE SYSTEM SHALL HAVE AN ELECTRONIC MAIN CONTROL BOARD TO OPERATE THE SYSTEM THAT IS PROGRAMMABLE AND OPTIMIZES THE WAY THE SYSTEM FUNCTIONS.
- INSTALLATION OF IN-GROUND CONTROL SENSORS LINKED TO THE MAIN CONTROL BOARD THAT DETECT SNOW AND ICE ON THE SURFACE, MONITOR THE SIDEWALK OR DRIVEWAY TEMPERATURE, AND AUTOMATICALLY ACTIVATES THE SYSTEM TO BE TURNED ON OR OFF BASED ON THE SNOW CONDITIONS AND AIR TEMPERATURE.

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**REVISIONS**  
NUMBER: 01  
DATE: 02/17/2023  
02 08/02/2023

SITE PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"  
1 north

# A 1.2

ARCHITECTURAL SITE PLAN

**PLAN NOTES**

- 75 cont. ... POWER SOURCE FOR HEAT TAPE SHALL BE 4" MIN FROM CENTER OF DRAIN. COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, 1/2" DIA, 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
- 76 2" W x 1" W WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.
- 90 SHEET METAL GUTTER, REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.
- 91 SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 92 TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS. DOWNSPOUT, HARDPIPE TO SUBSURFACE DRAIN SYSTEM.
- 94 VEHICULAR WHEEL STOP.
- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 96 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADDL INFO.
- 97 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC COFFEE MACHINE ABOVE COUNTERTOP. REFER TO INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

**PLAN NOTES**

- 65 EXTERIOR GAS FIRE PIT T.B.D.
- 68 SNOW RETENTION BARS, REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR MORE INFORMATION.
- 69 LUTRON SMOVA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMMENDED BY MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES.
- 70 SUPPLY AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 71 RETURN AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 72 PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-30VQ3" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
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- 74 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2x2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY, (5) DAISY CHAIN LOOPS AT 3' LF EACH, ADHERE WITH 5" EPDM TAPE, POWER...

**PLAN NOTES**

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- 44 KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 50 GRILL T.B.D., PROVIDE GAS HOOK UP.
- 51 STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
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- 31 SINK AND FAUCET PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 32 MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 33 MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS, PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 34 MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 35 SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 36 SHOWER DRAIN, REFER TO INTERIOR DESIGNER'S SPECIFICATIONS.
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- 41 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
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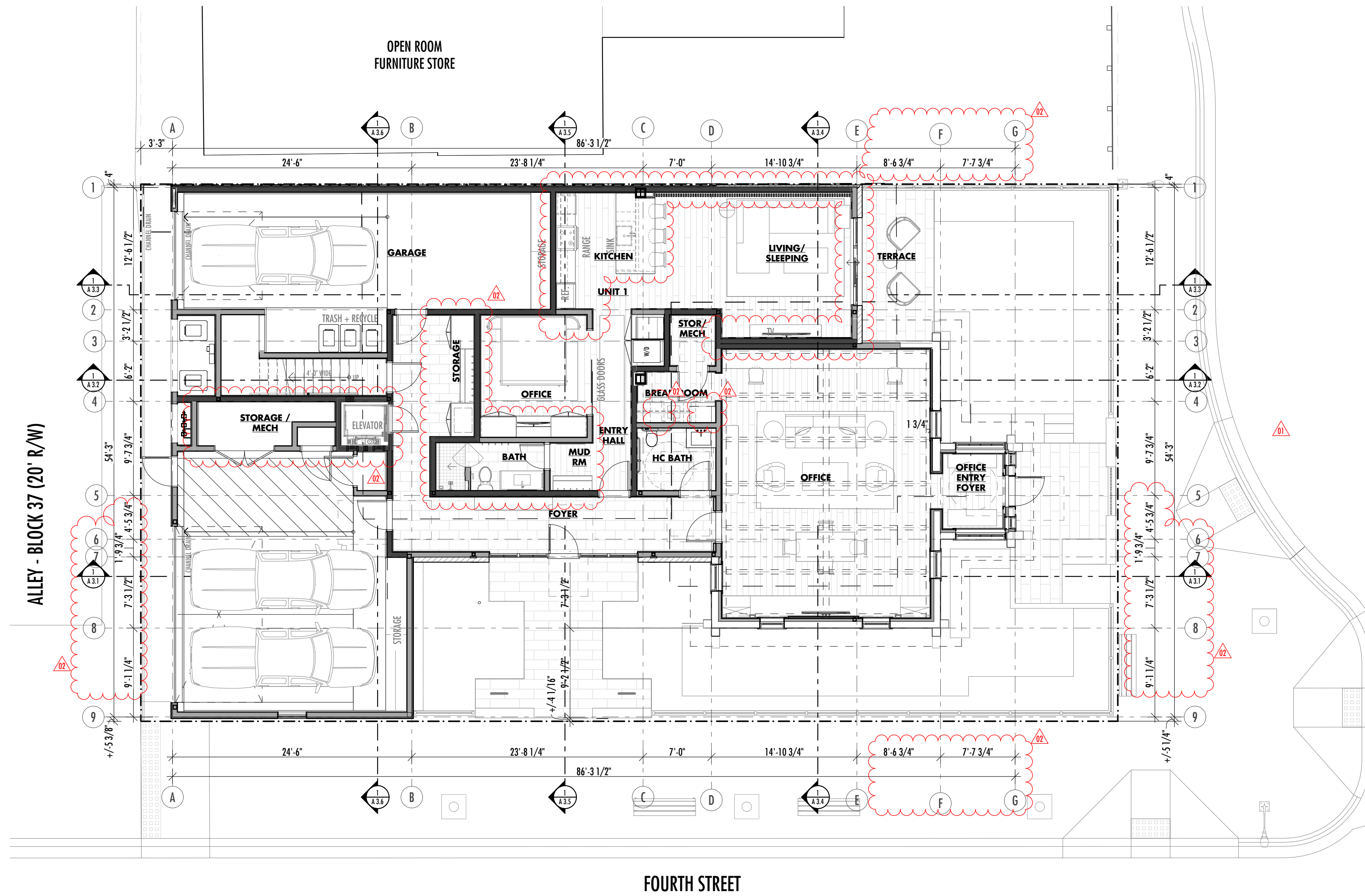
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**PLAN NOTES**

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
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- 08 LINE OF ROOF BELOW (SHOWN DASHED).
- 09 PARAPET WALL BELOW.
- 10 LINE OF ROOF EDGE.
- 11 LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 BENCH.
- 15 WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

INDICATES PLAN NOTE



**FIRST FLOOR PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"  
1

**GENERAL NOTES**

COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.

CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

CONTRACTOR SHALL PATCH, REPAIR AND REFINISH ANY EXISTING ELEMENTS REMOVED OR DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.

PROTECTION SHALL BE PROVIDED TO ALL EXISTING BUILDING ELEMENTS AS REQUIRED.

REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLANS, FOOTING LOCATIONS AND SIZES.

BUILDING SECTIONS DO NOT DEPICT EXACT STRUCTURAL CONDITIONS FOR ALL STRUCTURAL COMPONENTS OF THE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS AND SPECIFICATIONS.

PROVIDE BACKING / BLOCKING PER MANUFACTURER'S RECOMMENDATIONS FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND CASEWORK. FOLLOW ALL RECOMMENDATIONS FOR INSTALLATION FOR THEIR SPECIFIC PRODUCT.

INTERIOR AND EXTERIOR ELEVATIONS EXIST THAT MAY NOT BE DEPICTED IN ELEVATION, BUT ARE CLEARLY SHOWN AND REFERENCED IN PLAN. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR / SUB-CONTRACTORS TO IDENTIFY AND INCLUDE ALL SUCH AREAS IN THEIR PROJECT PRICING AND/OR BID SCOPE OF WORK.

ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.

ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340



**ARCHITECTS**

MAIL P.O. B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HFC PRESENTATION  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**  
NUMBER: 01  
DATE: 02/17/2023  
02 08/02/2023

**A 2.1**

FLOOR PLANS

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**PLAN NOTES**

- 75 cont. ...POWER SOURCE FOR HEAT TAPE SHALL BE 4" MIN FROM CENTER OF DRAIN. COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
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- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 96 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADDL INFO.
- 97 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC COFFEE MACHINE ABOVE COUNTERTOP. REFER TO INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

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**PLAN NOTES**

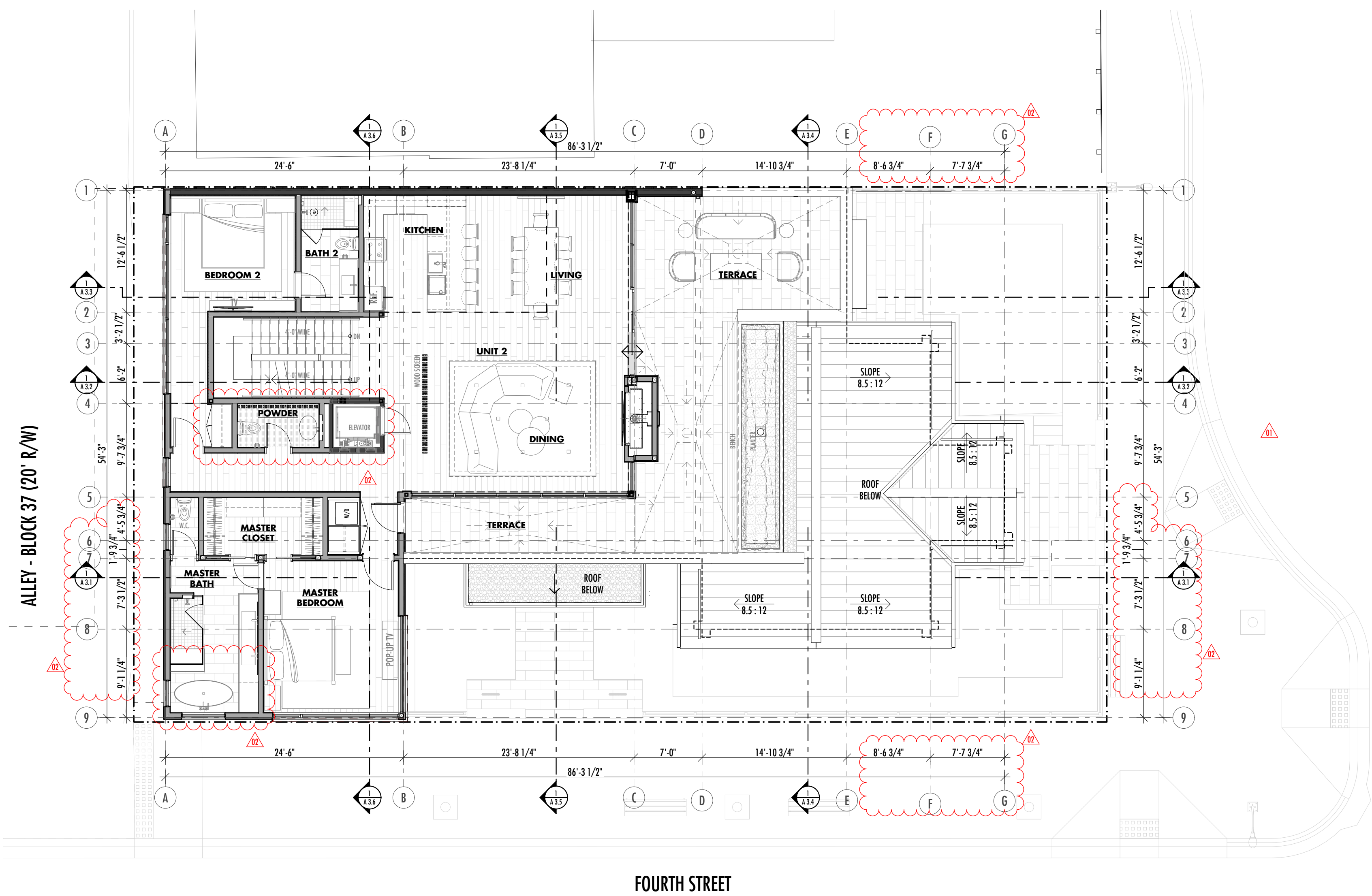
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**SECOND FLOOR PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"  
1 north

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340



**ARCHITECTS**  
MAIL P.O. B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION  
**REVISIONS**  
NUMBER: 01  
DATE: 02/17/2023  
02 08/02/2023

**A 2.2**

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- 37 TOILET, PER INTERIOR DESIGNERS SPECIFICATIONS.
- 38 BATH TUB FILLER PER INTERIOR DESIGNERS SPECIFICATIONS.
- 39 GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.
- 40 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNERS SPECS FOR ADDL INFORMATION.
- 41 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNERS SPECS FOR ADDL INFORMATION.
- 42 KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNERS SPECS FOR ADDL INFORMATION.

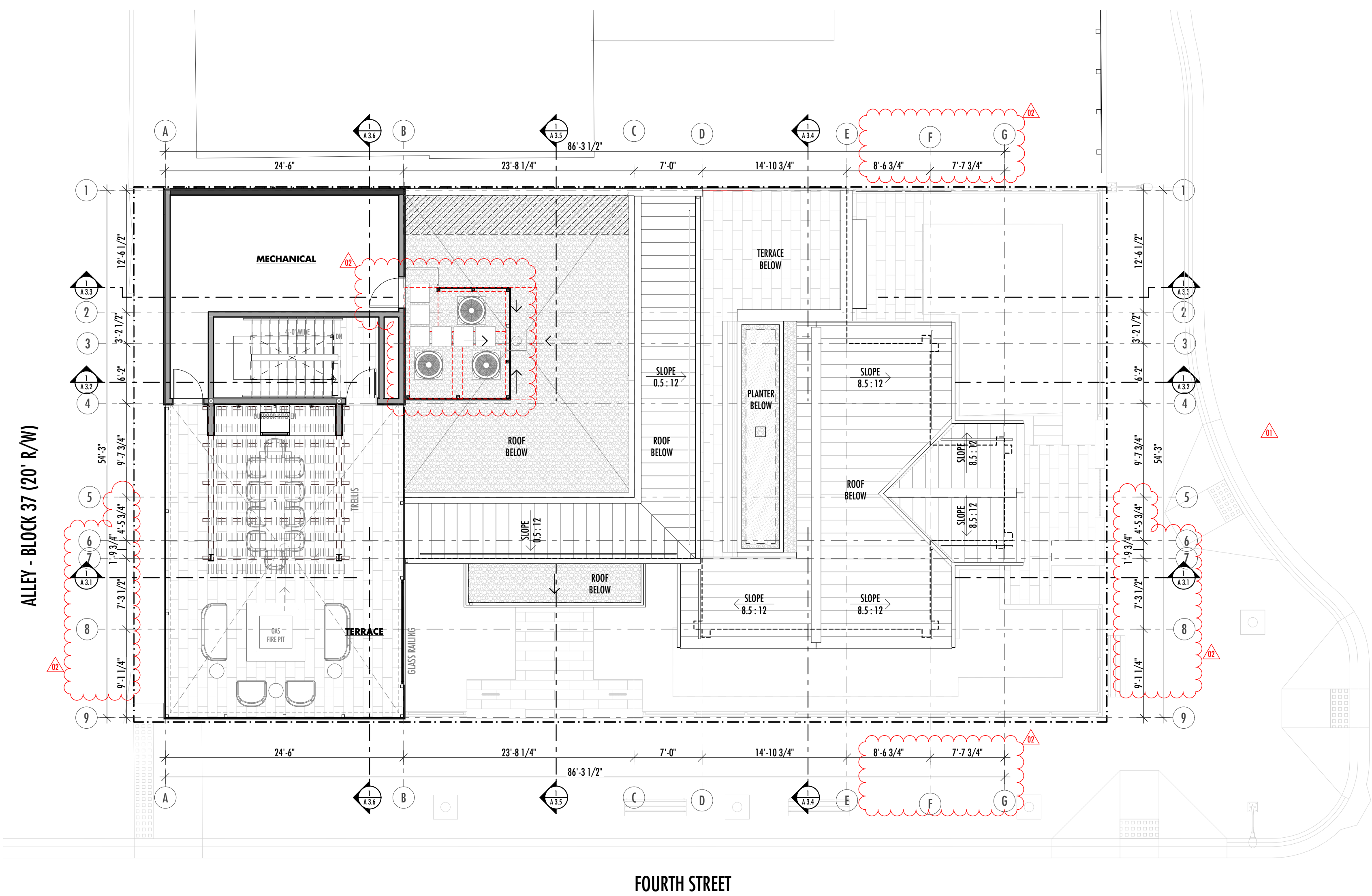
**PLAN NOTES**

- 20 BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNERS SPECIFICATIONS FOR ADDITIONAL INFORMATION.
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- 25 CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNERS SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 26 CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNERS SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 27 HOOKS, REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNERS SPECS FOR ADDL INFO.
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**PLAN NOTES**

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
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- 05 LINE OF COLUMN ABOVE (SHOWN DASHED).
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- 09 LINE OF ROOF BELOW (SHOWN DASHED).
- 10 PARAPET WALL BELOW.
- 11 LINE OF ROOF EDGE.
- 12 LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 STEEL COLUMN, REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

INDICATES PLAN NOTE



**GENERAL NOTES**

COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

DO NOT SCALE DRAWINGS.

CONTRACTOR AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, LOCATIONS, AND PROJECT REQUIREMENTS PRIOR TO SUBMITTING A BID.

CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.

CONTRACTOR SHALL PATCH, REPAIR AND REFINISH ANY EXISTING ELEMENTS REMOVED OR DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION.

PROTECTION SHALL BE PROVIDED TO ALL EXISTING BUILDING ELEMENTS AS REQUIRED.

REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION PLANS, FOOTING LOCATIONS AND SIZES.

BUILDING SECTIONS DO NOT DEPICT EXACT STRUCTURAL CONDITIONS FOR ALL STRUCTURAL COMPONENTS OF THE BUILDING. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS AND SPECIFICATIONS.

PROVIDE BACKING / BLOCKING PER MANUFACTURERS RECOMMENDATIONS FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND CASEWORK. FOLLOW ALL RECOMMENDATIONS FOR INSTALLATION FOR THEIR SPECIFIC PRODUCT.

INTERIOR AND EXTERIOR ELEVATIONS EXIST THAT MAY NOT BE DEPICTED IN ELEVATION, BUT ARE CLEARLY SHOWN AND REFERENCED IN PLAN. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR / SUB-CONTRACTORS TO IDENTIFY AND INCLUDE ALL SUCH AREAS IN THEIR PROJECT PRICING AND/OR BID SCOPE OF WORK.

ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.

ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340



**ARCHITECTS**

MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

**DRAWINGS**

DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HFC PRESENTATION  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**

NUMBER: 01  
DATE: 02/17/2023  
02 08/02/2023

THIRD FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"  
1

**A 2.3**  
FLOOR PLANS

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE HELD THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

**PLAN NOTES**

- 75 cont. ...POWER SOURCE FOR HEAT TAPE SHALL BE 4" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
- 76 2" W x 1" W WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.
- 90 SHEET METAL GUTTER. REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.
- 91 SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 92 TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURERS SPECIFICATIONS. DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM.
- 94 VEHICULAR WHEEL STOP.
- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 96 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADDL INFO.
- 97 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC COFFEE MACHINE ABOVE COUNTERTOP. REFER TO INTERIOR DESIGNERS SPECS FOR ADDITIONAL INFORMATION.

**PLAN NOTES**

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- 68 SNOW RETENTION BARS. REFER TO KEYNOTE [5.07] AND ARCHITECTURAL DETAILS FOR MORE INFORMATION.
- 69 LUTRON SMOVA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMMENDED BY MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES.
- 70 RETURN AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 71 PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (290CFM) PRODUCT NO. "FV-30VQ3" OR APPROVED EQUAL. INSTALL PER MANUFACTURERS SPECIFICATIONS. HARDWIRED, INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH 2018 IBC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL METHODS (AF 130, IRC 2018).
- 74 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2'x2' BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY. (5) DAISY CHAIN LOOPS AT 3 LF EACH. ADHERE WITH 5" EPDM TAPE. POWER...

**PLAN NOTES**

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- 44 KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNERS SPECS FOR ADDL INFO.
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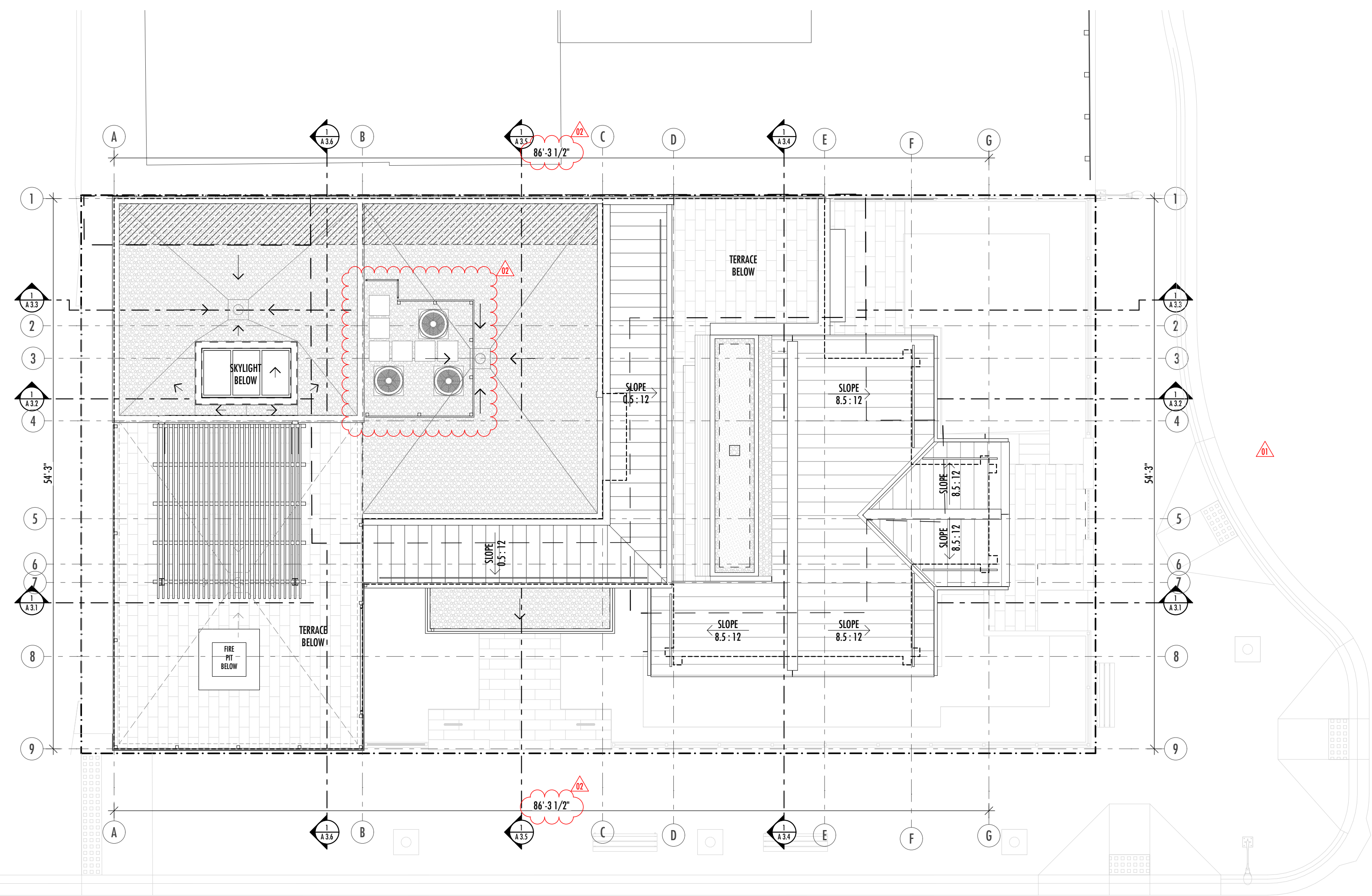
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**PLAN NOTES**

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- 14 CRAWL SPACE ACCESS, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN, REFER TO ARCHITECTURAL DETAILS.

INDICATES PLAN NOTE



**ROOF PLAN - PROPOSED**  
SCALE: 1/8" = 1'-0"  
1 north

**GENERAL NOTES**

- COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
- DO NOT SCALE DRAWINGS.
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- ADVANCED FRAMING TECHNIQUES SHALL BE PERFORMED.
- ALL APPLICABLE BUILDING CODES SHALL BE FOLLOWED.

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**  
NUMBER: 01  
DATE: 02/17/2023  
02 08/02/2023

**A 2.4**

FLOOR PLANS

**OWNERSHIP OF DOCUMENTS:**  
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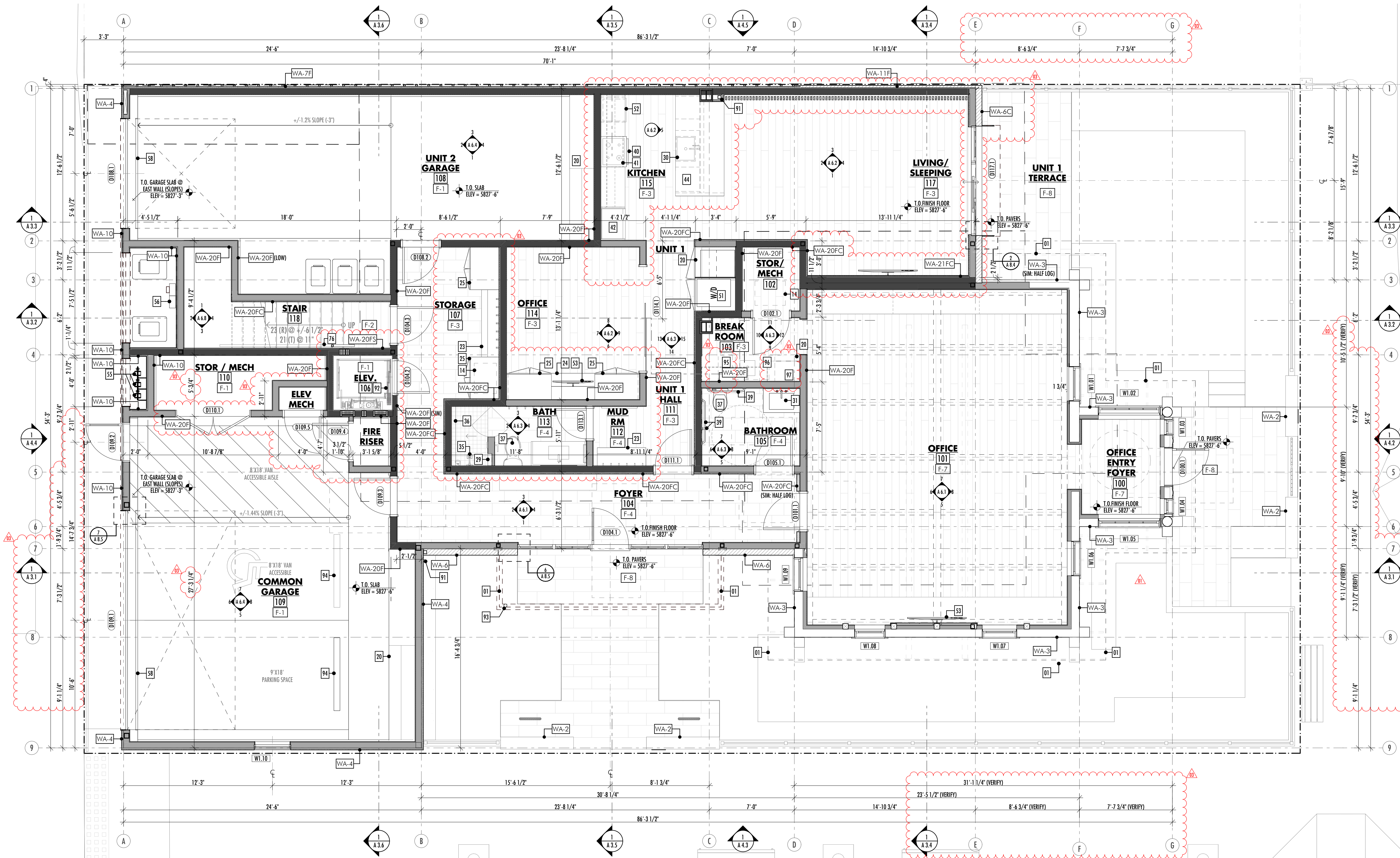
**DRAWINGS**  
ISSUED: 05/12/2021  
06/10/2021  
09/30/2021  
04/22/2022  
08/05/2022  
08/02/2023

**REVISIONS**  
DATE: 02/17/2023  
04/20/2023 PERMIT REVISION  
08/02/2023

**A 2.5**

FLOOR PLANS

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**FIRST FLOOR PLAN - PROPOSED**  
SCALE: 1/4" = 1'-0"  
1  
north

### PLAN NOTES

- 75 cont. ... POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
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- 28 SHOWER BENCH. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

### PLAN NOTES

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
- 02 LINE OF BEAM ABOVE (SHOWN DASHED).
- 03 LINE OF WALL ABOVE (SHOWN DASHED).
- 04 LINE OF OUTRIGGER ABOVE (SHOWN DASHED).
- 05 LINE OF COLUMN ABOVE (SHOWN DASHED).
- 06 LINE OF FOOTING BELOW (SHOWN DASHED).
- 07 LINE OF COLUMN BELOW (SHOWN DASHED).
- 08 LINE OF WALL BELOW (SHOWN DASHED).
- 09 LINE OF ROOF BELOW (SHOWN DASHED).
- 10 PARAPET WALL BELOW.
- 11 LINE OF ROOF EDGE.
- 12 LINE OF FOOTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 STEEL COLUMN. REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 CRAWL SPACE ACCESS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN. REFER TO ARCHITECTURAL DETAILS.

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAIL P.O. B. 4373  
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83340  
PHONE 208.726.0020  
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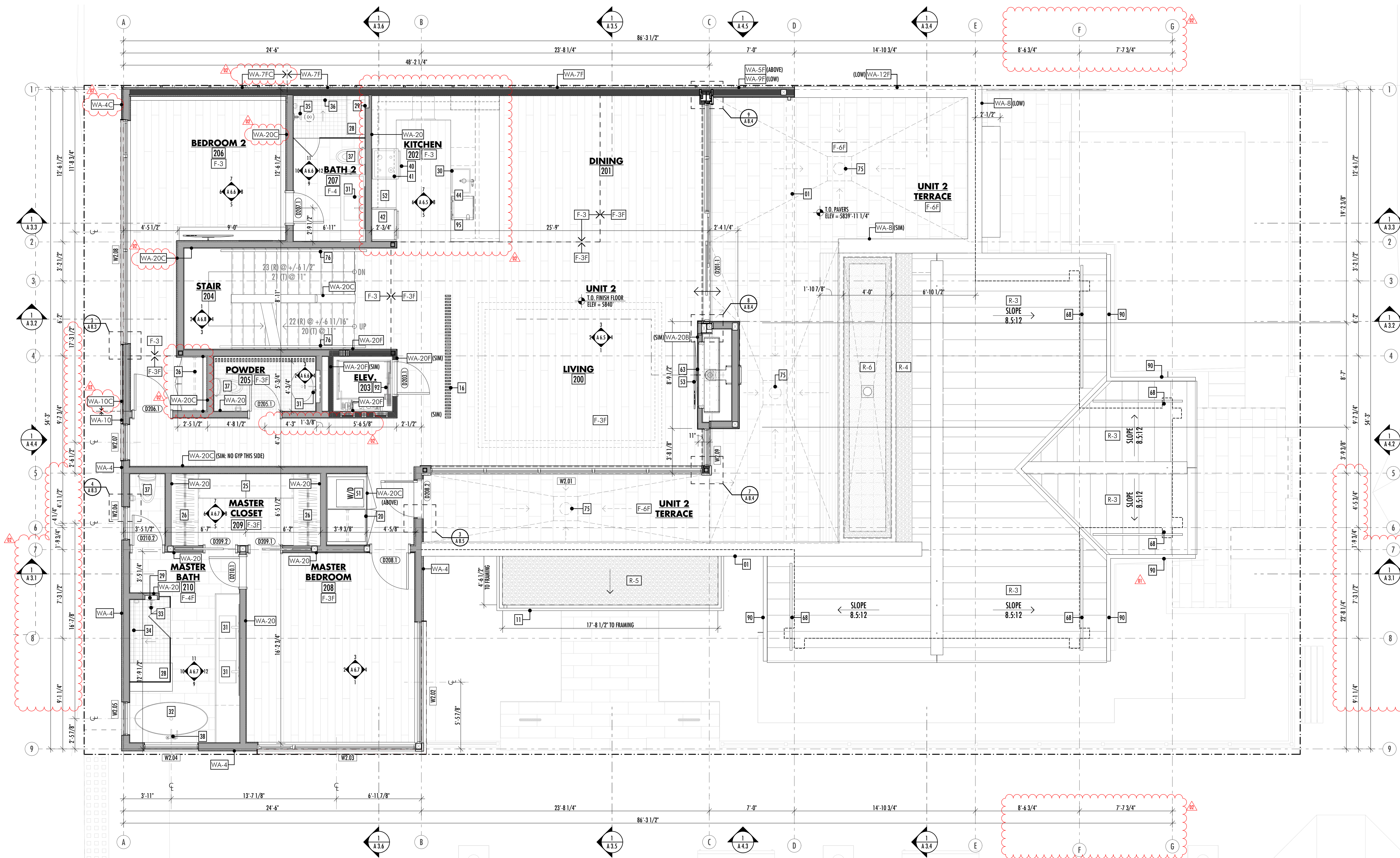
**DRAWINGS**  
ISSUED: 05/12/2021  
06/10/2021  
09/30/2021  
04/22/2022  
08/05/2022  
08/02/2023

**REVISIONS**  
DATE: 02/17/2023  
02/08/2023

**A 2.6**

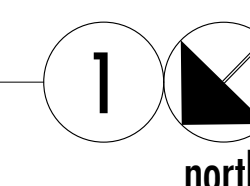
FLOOR PLANS

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



**SECOND FLOOR PLAN - PROPOSED**

SCALE: 1/4" = 1'-0"



**PLAN NOTES**

- 75 cont. ... POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE);
- 76 2"X 1/4" WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.
- 90 SHEET METAL DOWNSPOUT. REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.
- 91 SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 92 TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 93 DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM.
- 94 VERTICAL WHEEL STOP.
- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 96 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADDL INFO.
- 97 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC COFFEE MACHINE ABOVE COUNTERTOP. REFER TO INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

**PLAN NOTES**

- 65 EXTERIOR GAS FIRE PIT T.B.D.
- 68 SNOW RETENTION BARS. REFER TO KEYNOTE (S.07) AND ARCHITECTURAL DETAILS FOR MORE INFORMATION.
- 69 LUTRON SHOCK SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMMENDED BY MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES.
- 70 SUPPLY AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 71 RETURN AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 72 PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (PVCFM) PRODUCT NO. "FV-30VQ3", OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 73 HARDWIRED, INTERCONNECTED SMOKE - CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH 2018 IBC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL METHODS (AF 130, IRC 2018).
- 74 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2X2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FLOOR PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY. (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER...

**PLAN NOTES**

- 43 KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 44 KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 50 GRILL T.B.D., PROVIDE GAS HOOD UP.
- 51 STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 52 KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS.
- 53 TV. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDL INFORMATION.
- 54 FROST FREE HOSE BIBB. INTEGRATE IN CABINET BOX WHERE SHOWN.
- 55 (5) GAS METER MANIFOLD (2 LOW, 2 HIGH), GC TO COORDINATE WITH INTERMOUNTAIN GAS.
- 56 ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER.
- 57 PHONE / CABLE / BRIGATION EQUIPMENT.
- 58 GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.
- 59 HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D.
- 60 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2X2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FLOOR PLAN).
- 61 MONTROGO DEXIMPAR R520. GLASS VIEW SIZE: 61 1/4" X 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**PLAN NOTES**

- 29 SHOWER NICHE. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 30 KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 31 SINK AND FAUCET PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 32 MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 33 MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 34 TV. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDL INFORMATION.
- 35 MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 36 SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 37 SHOWER DRAIN. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS.
- 38 TOILET. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 39 BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 40 GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.
- 41 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 42 OUTDOOR REFRIGERATOR T.B.D. REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.

**PLAN NOTES**

- 20 BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 21 BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 22 BUILT IN CLUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 23 BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 24 BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 25 CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 26 BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 27 INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 28 HOOKS. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDL INFO.

**PLAN NOTES**

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
- 02 LINE OF BEAM ABOVE (SHOWN DASHED).
- 03 LINE OF WALL ABOVE (SHOWN DASHED).
- 04 LINE OF OUTRIGGER ABOVE (SHOWN DASHED).
- 05 LINE OF COLUMN ABOVE (SHOWN DASHED).
- 06 LINE OF FOOTING BELOW (SHOWN DASHED).
- 07 LINE OF COLUMN BELOW (SHOWN DASHED).
- 08 LINE OF WALL BELOW (SHOWN DASHED).
- 09 LINE OF ROOF BELOW (SHOWN DASHED).
- 10 PARAPET WALL BELOW.
- 11 LINE OF ROOF EDGE.
- 12 LINE OF FOOTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 STEEL COLUMN. REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 CRAWL SPACE ACCESS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN. REFER TO ARCHITECTURAL DETAILS.

INDICATES PLAN NOTE

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

## ARCHITECTS

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83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

**DRAWINGS**  
ISSUED: 05/12/2021  
06/10/2021  
09/30/2021  
04/22/2022  
08/05/2022  
08/02/2023

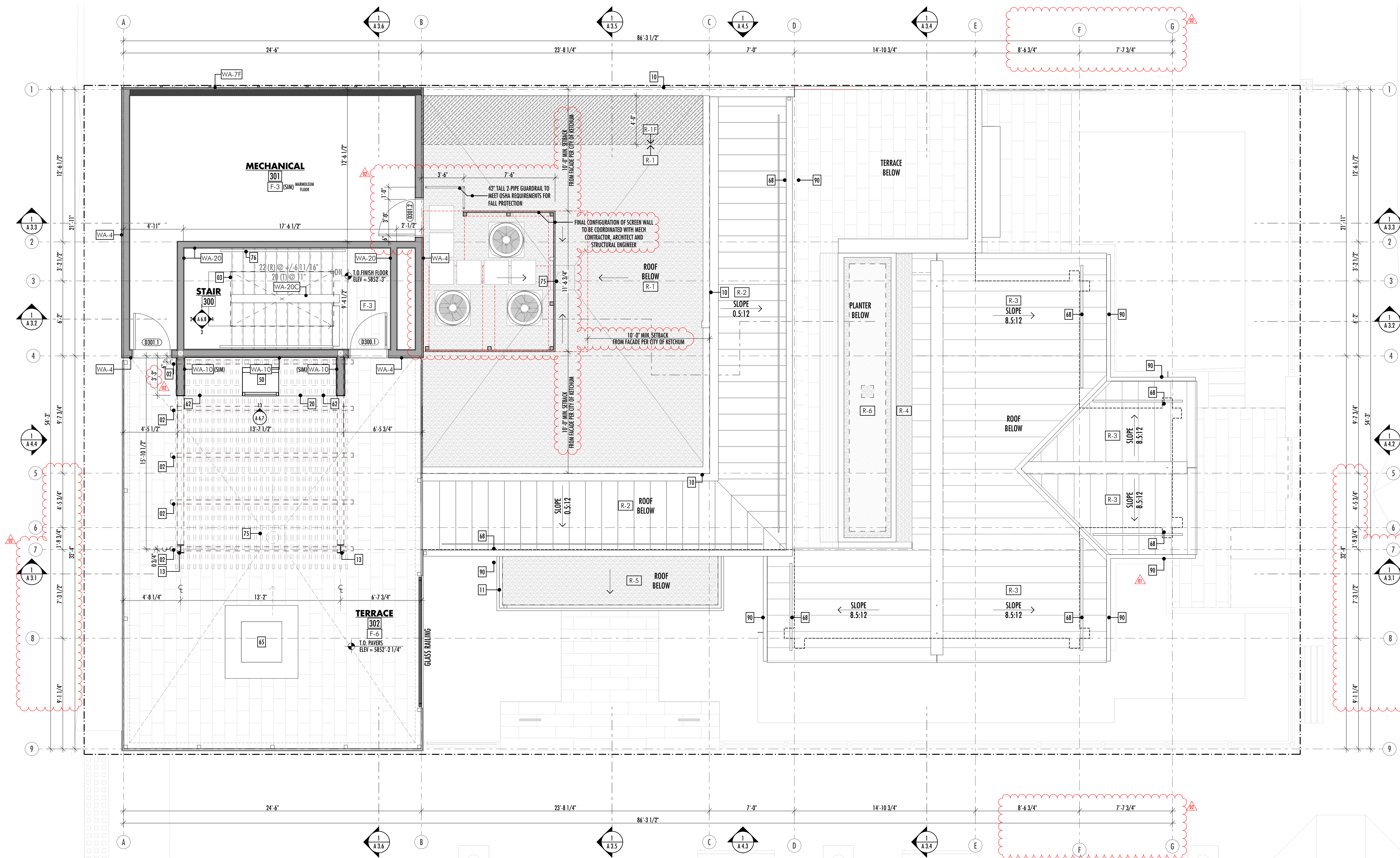
**REVISIONS**  
DATE: 02/17/2023  
02/08/2023

NUMBER: 01  
02

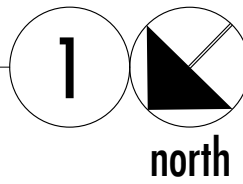
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FLOOR PLANS

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**THIRD FLOOR PLAN - PROPOSED**  
SCALE: 1/4" = 1'-0"



### PLAN NOTES

- 75 cont. ... POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
- 76 2"x1" WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.
- 90 SHEET METAL GUTTER. REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.
- 91 SHEET METAL DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM. PROVIDE HEAT TAPE TO 30" MIN. BELOW GRADE. PROVIDE ELECTRICAL FOR HEAT TAPE. REFER TO ARCHITECTURAL DETAILS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 92 TWO-STOP RESIDENTIAL ELEVATOR T.B.D. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 93 DOWNSPOUT. HARDPIPE TO SUBSURFACE DRAIN SYSTEM.
- 94 VERMILION WHEEL STOP.
- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
- 96 15" ICE MAKER. REFER TO INTERIOR DESIGNER SPECS FOR ADDL INFO.
- 97 24" UNDERCOUNTER REFRIGERATOR BELOW COUNTERTOP. TOP-MOUNT AUTOMATIC COFFEE MACHINE ABOVE COUNTERTOP. REFER TO INTERIOR DESIGNER SPECS FOR ADDITIONAL INFORMATION.

### PLAN NOTES

- 65 EXTERIOR GAS FIRE PIT T.B.D.
- 68 SNOW RETENTION BARS. REFER TO KEYNOTE (S.07) AND ARCHITECTURAL DETAILS FOR MORE INFORMATION.
- 69 LUTRON SHIKA SHADE POCKET BOX WITH TUBE AND DRIVE AS RECOMMENDED BY MANUFACTURER. REFER TO DETAILS FOR RECESSED SHADES AND VALENCE DETAILS FOR DUAL ROLL AND SINGLE ROLL SHADE BOXES.
- 70 SUPPLY AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 71 RETURN AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 72 PANASONIC "WHISPER CEILING" SPOT VENTILATION FAN (PVCFM) PRODUCT NO. "FV-30VQ3", OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 73 HARDWIRED, INTERCONNECTED SMOKE = CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH 2018 IBC, SECTION R314.4. NEST PROTECT, OR APPROVED EQUAL. PROVIDE AND INSTALL RADON MITIGATION SYSTEM PER APPENDIX F RADON CONTROL METHODS (AF 130, IRC 2018).
- 74 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2x2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY. (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER...

### PLAN NOTES

- 43 KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 44 KITCHEN DISHWASHER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 50 GRILL T.B.D., PROVIDE GAS HOOK UP.
- 51 STACK WASHER / DRYER T.B.D., REFER TO INTERIOR DESIGNER'S DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 52 KITCHEN MICROWAVE DRAWERS T.B.D., REFER TO INTERIOR DESIGNER'S SPECS.
- 53 TV. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDL INFORMATION.
- 54 FROST FREE HOSE BIBB. INTEGRATE IN CABINET BOX WHERE SHOWN.
- 55 (5) GAS METER MANIFOLD (3 LOW, 2 HIGH), GC TO COORDINATE WITH INTERMOUNTAIN GAS.
- 56 ELECTRICAL METERS, GC TO COORDINATE WITH IDAHO POWER.
- 57 PHONE / CABLE / IRRIGATION EQUIPMENT.
- 58 GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.
- 59 HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D.
- 60 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 61 AC UNITS AS REQUIRED ON CONCRETE PAD.
- 62 OUTDOOR REFRIGERATOR T.B.D.
- 63 MONTGOMERY BLIMP #520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

### PLAN NOTES

- 29 SHOWER NICHE. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 30 KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 31 SINK AND FAUCET PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 32 MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 33 MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 34 MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 35 SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 36 SHOWER DRAIN. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS.
- 37 TOILET. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 38 BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 39 GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.
- 40 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 41 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 42 KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.

### PLAN NOTES

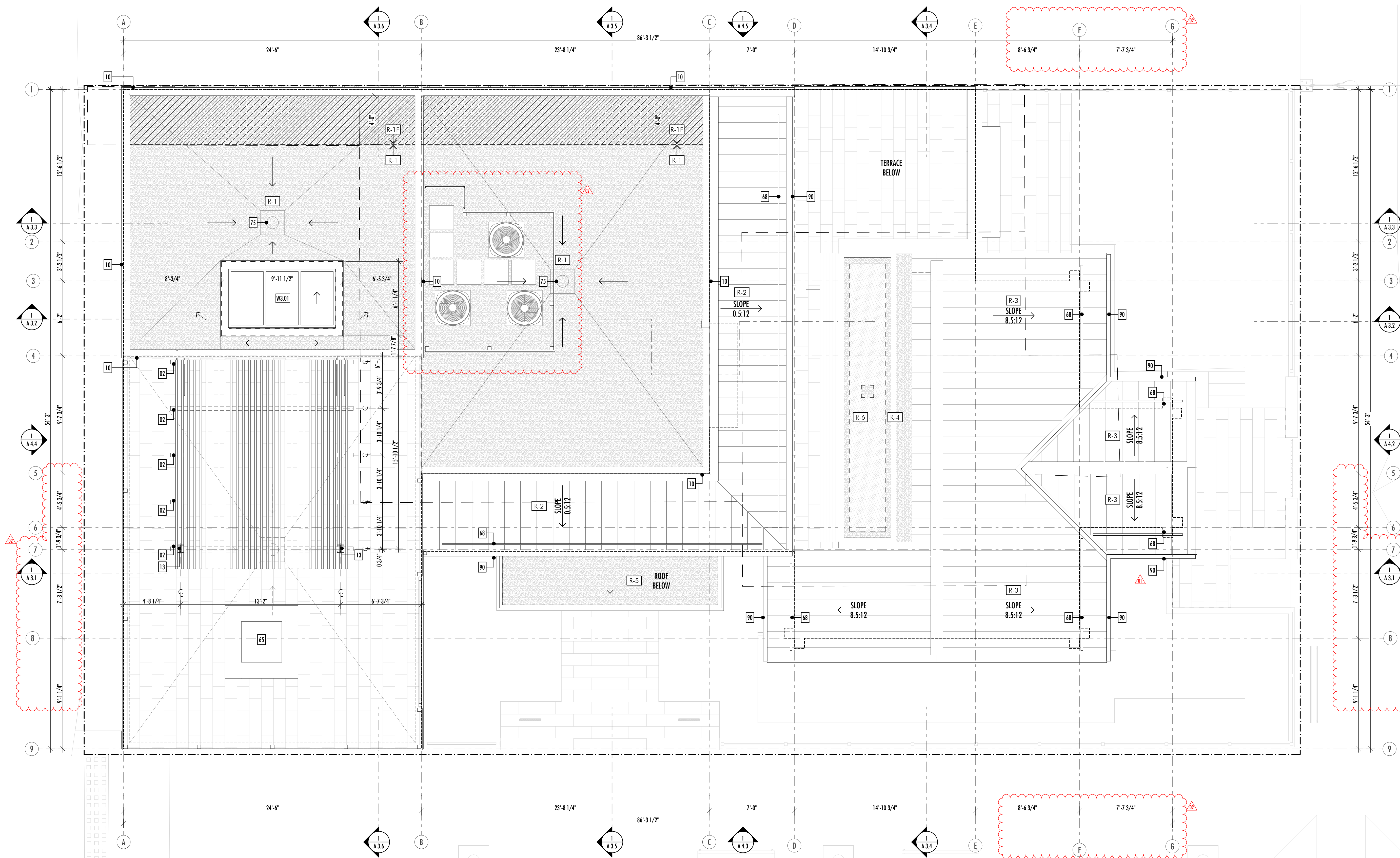
- 20 BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 21 BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 22 BUILT IN CLUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 23 BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 24 BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 25 CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 26 CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 27 HOOKS. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 28 SHOWER BENCH. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

### PLAN NOTES

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
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- 05 LINE OF COLUMN ABOVE (SHOWN DASHED).
- 06 LINE OF FOOTING BELOW (SHOWN DASHED).
- 07 LINE OF COLUMN BELOW (SHOWN DASHED).
- 08 LINE OF WALL BELOW (SHOWN DASHED).
- 09 LINE OF ROOF BELOW (SHOWN DASHED).
- 10 PARAPET WALL BELOW.
- 11 LINE OF ROOF EDGE.
- 12 LINE OF FOOTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 STEEL COLUMN. REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 CRAWL SPACE ACCESS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN. REFER TO ARCHITECTURAL DETAILS.

INDICATES PLAN NOTE





**PLAN NOTES**

- 75 cont. ... POWER SOURCE FOR HEAT TAPE SHALL BE 48" MIN FROM CENTER OF DRAIN, COORDINATE WITH ROOFING SUB. PROVIDE CAST IRON OVERFLOW DRAIN, STUB 30" FROM MAIN DRAIN BODY (SET TOP OF OVERFLOW DRAIN 2" ABOVE TOP OF MEMBRANE).
- 76 2"V x 1" T WOOD HANDRAIL AFFIXED TO WALL WITH STEEL HANDRAIL BRACKETS. RETURN TO WALL AT ENDS. ALLOW 1 1/2" MIN CLEAR TO ADJACENT WALL SURFACE. MOUNT 36" ABOVE THE SLOPED PLANE ADJOINING THE TREAD NOSINGS TO MEET 2018 IBC.
- 90 SHEET METAL GUTTER. REFER TO ARCHITECTURAL DETAILS FOR ADDITIONAL INFO.
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- 95 TRASH PULL-OUT. REFER TO INTERIOR DESIGNER INTERIOR ELEVATIONS.
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**PLAN NOTES**

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- 70 SUPPLY AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
- 71 RETURN AIR GRILLE T.B.D., SEE SYSTEMS NOTES FOR ADDITIONAL INFORMATION.
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- 74 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2X2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY. (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER...

**PLAN NOTES**

- 43 KITCHEN FREEZER T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
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- 58 GARAGE TRENCH DRAIN WITH SAND AND OIL INTERCEPTOR.
- 59 HIGH EFFICIENCY WATER HEATER AND BOILERS T.B.D.
- 60 CAST IRON ROOF DRAIN AND DOME WITH MEMBRANE FLASHING CAP. INSTALL IN A 2X2 BOX 4 3/8" ABOVE OF ROOF SHEATHING (COORDINATE AND VERIFY WITH FINAL FOAM PLAN). 4-BAND COUPLINGS TO BE PROVIDED FOR ANY NO-HUB OUTLETS AT DRAIN BODIES WITH VERTICAL OUTLETS. SIDE OUTLET DRAIN BODIES TO HAVE THREADED OUTLET TO 3" DIA CAST IRON DRAIN PIPE. PROVIDE HEAT TAPE AT DRAIN BODY. (5) DAISY CHAIN LOOPS AT 3 LF EACH, ADHERE WITH 5" EPDM TAPE, POWER...
- 61 AC UNITS AS REQUIRED ON CONCRETE PAD.
- 62 OUTDOOR REFRIGERATOR T.B.D.
- 63 MONTROIG EXEMPAR R520. GLASS VIEW SIZE: 61 1/4" x 18 1/8". HORIZONTAL FLUSH LOUVERED POWER VENT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**PLAN NOTES**

- 29 SHOWER NICHE. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 30 KITCHEN SINK, FAUCET, AND DISPOSAL PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 31 SINK AND FAUCET PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 32 MASTER BATH TUB PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 33 MASTER BATH SHOWER HEAD AND THERMOSTATIC CONTROLS. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 34 MASTER BATH SHOWER DRAIN PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 35 SHOWER HEAD AND THERMOSTATIC CONTROLS PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 36 SHOWER DRAIN. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS.
- 37 TOILET. PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 38 BATH TUB FILLER PER INTERIOR DESIGNER'S SPECIFICATIONS.
- 39 GRAB BAR. REFER TO INTERIOR ELEVATIONS FOR PLACEMENT.
- 40 KITCHEN RANGE T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 41 KITCHEN RANGE HOOD T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.
- 42 KITCHEN REFRIGERATOR T.B.D., REFER TO INTERIOR DESIGNER'S SPECS FOR ADDL INFORMATION.

**PLAN NOTES**

- 20 BUILT IN CABINET (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 21 BUILT IN SHELVING (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 22 BUILT IN CLUBBIES (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 23 BUILT IN BENCH (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 24 BUILT IN DRESSER (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 25 CLOSET CABINETS (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 26 CLOSET ROD AND SHELF (ABOVE SHOWN DASHED), REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 27 HOOKS. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDL INFO.
- 28 SHOWER BENCH. REFER TO INTERIOR ELEVATIONS AND INTERIOR DESIGNER'S SPECS FOR ADDITIONAL INFORMATION.

**PLAN NOTES**

- 01 LINE OF ROOF ABOVE (SHOWN DASHED).
- 02 LINE OF BEAM ABOVE (SHOWN DASHED).
- 03 LINE OF WALL ABOVE (SHOWN DASHED).
- 04 LINE OF OUTRIGGER ABOVE (SHOWN DASHED).
- 05 LINE OF COLUMN ABOVE (SHOWN DASHED).
- 06 LINE OF FOOTING BELOW (SHOWN DASHED).
- 07 LINE OF COLUMN BELOW (SHOWN DASHED).
- 08 LINE OF WALL BELOW (SHOWN DASHED).
- 09 LINE OF ROOF BELOW (SHOWN DASHED).
- 10 PARAPET WALL BELOW.
- 11 LINE OF ROOF EDGE.
- 12 LINE OF FOOTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 STEEL COLUMN. REFER TO ARCHITECTURAL DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 CRAWL SPACE ACCESS. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 BENCH.
- 16 WOOD SCREEN. REFER TO ARCHITECTURAL DETAILS.

**ROOF PLAN - PROPOSED**  
SCALE: 1/4" = 1'-0"  
1  
north

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**380 N. 1st Ave. Mixed-Use Building**  
Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS | PARTNERS**

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**DRAWINGS**  
ISSUED: 05/12/2021  
06/10/2021  
09/30/2021  
04/22/2022  
08/05/2022  
08/02/2023

**REVISIONS**  
DATE: 02/17/2023  
02/08/2023

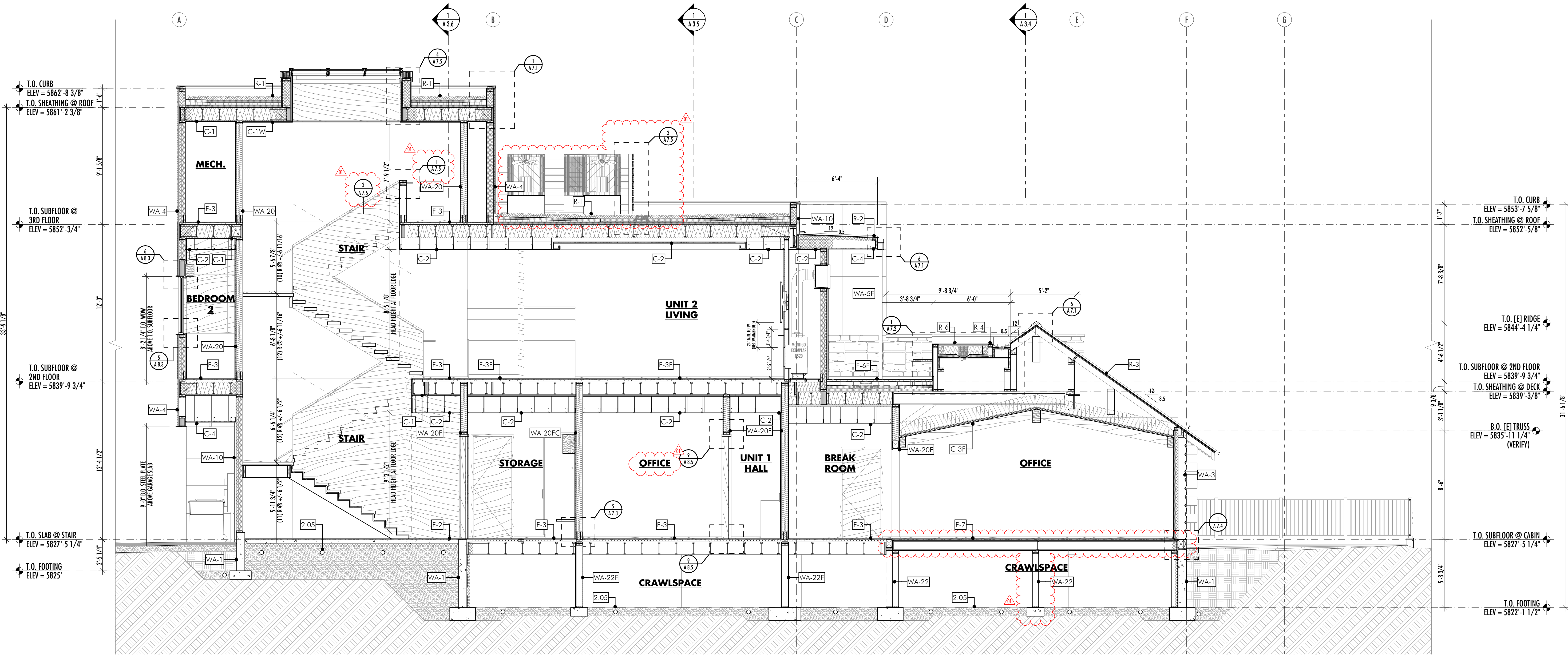
**A 2.8**



380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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BUILDING SECTION B SCALE 1/4" = 1'-0" 1

KEYNOTES

09000 FINISHES (CONTINUED)
9.016 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD...

KEYNOTES

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
7.28 AWS DIAMOND HEAD SERIES PEDESTALS. BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.

KEYNOTES

07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
7.10 VAPORSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.

KEYNOTES

06000 WOOD (CONTINUED)
6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
6.15 INTERIOR WOOD CEILING: 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO BE DETERMINED.

KEYNOTES

05000 METALS & RAILINGS
5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.

KEYNOTES

02000 SITEWORK
2.01 BACKFILL PER GEOTECHNICAL REPORT
2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL.

INDICATES KEYNOTE

10000 SPECIALTIES

11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.



ARCHITECTS

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DRAWINGS

Table with columns for DATE, ISSUED, and REVISIONS. Includes entries for 05/12/2021 CONCRETE and 08/02/2023 MASONRY.

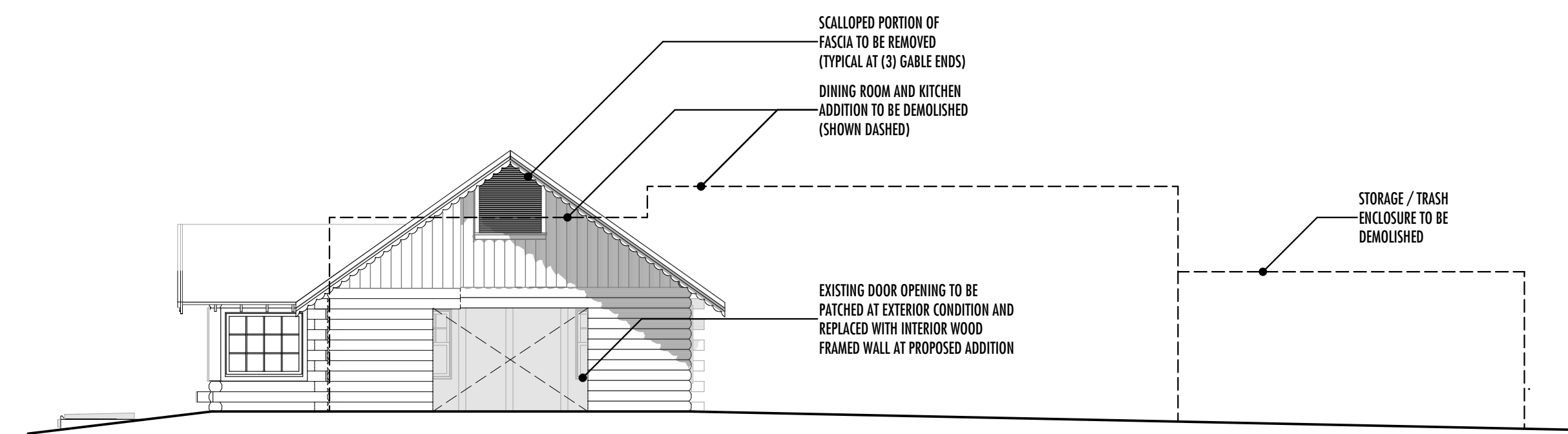
A 3.2



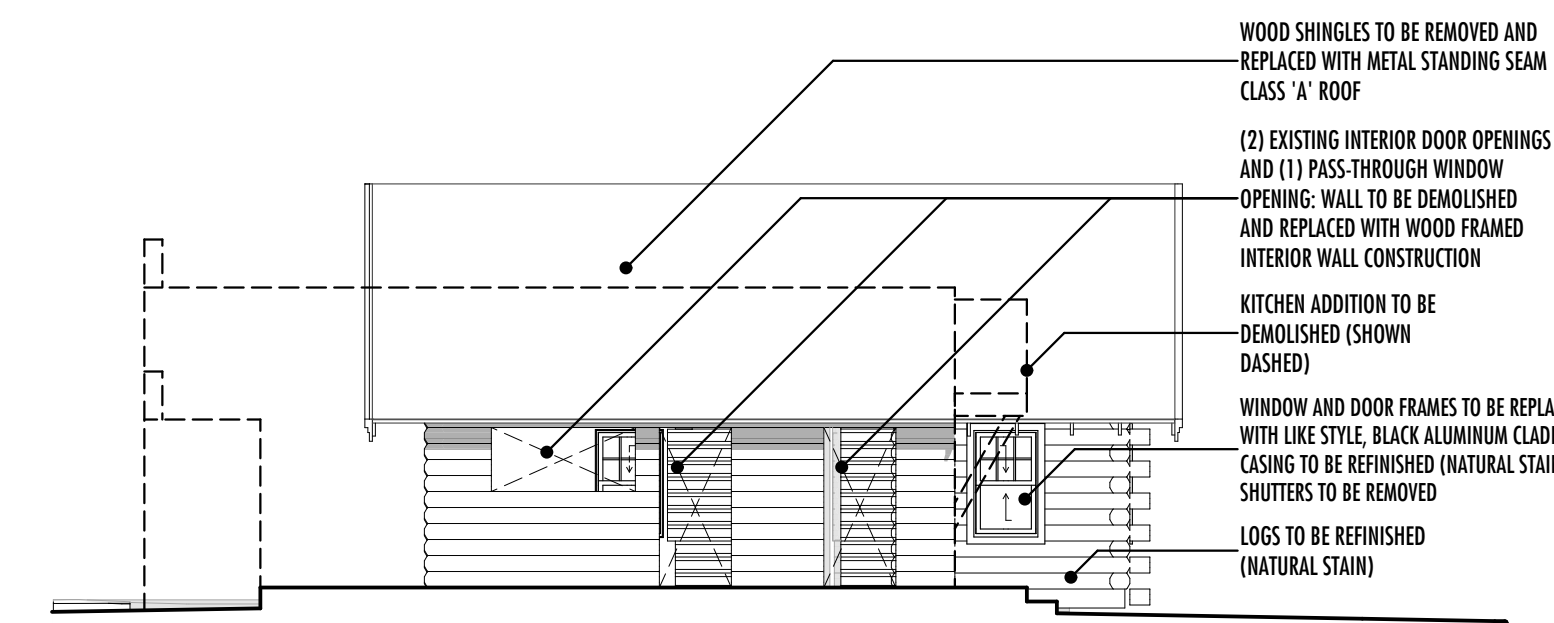




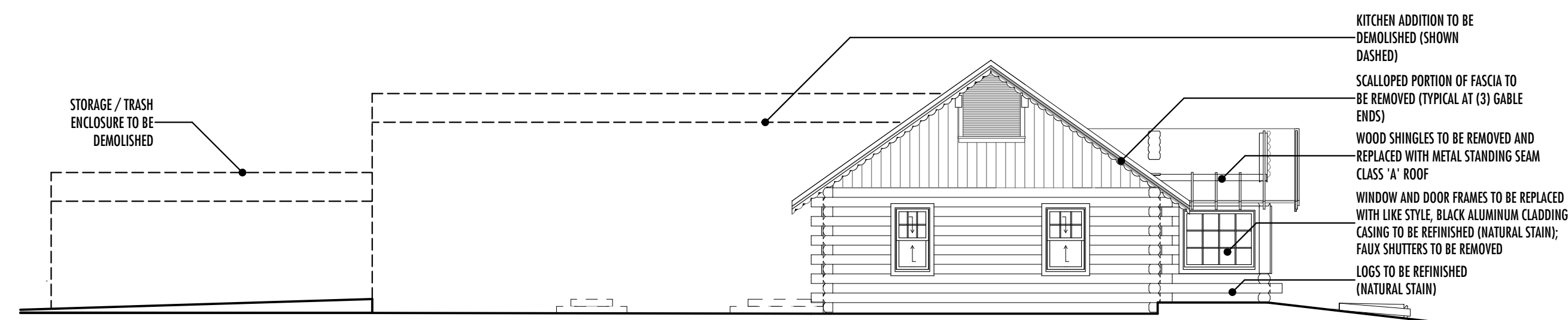




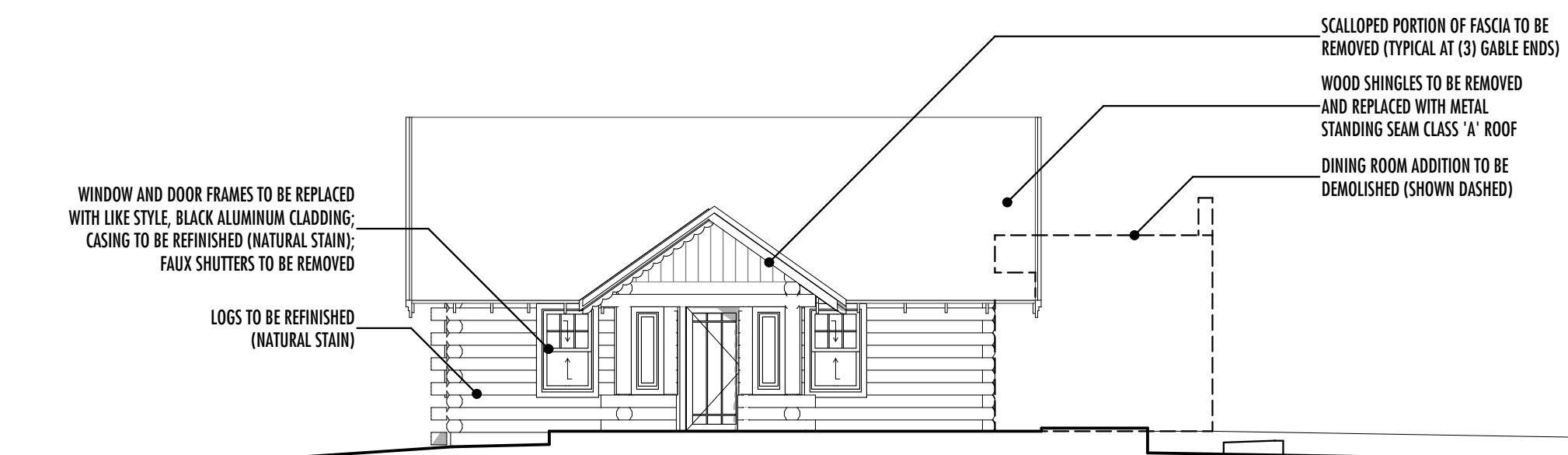
SOUTH ELEVATION - EXISTING 4



EAST ELEVATION - EXISTING 2



NORTH ELEVATION - EXISTING 3



WEST ELEVATION - EXISTING 1

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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DRAWINGS

DATE: 05/12/2021  
ISSUED: COK SCHEMATIC PRESENTATION  
06/10/2021 COK HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

REVISIONS

NUMBER: DATE:

# A 4.1

EXTERIOR ELEVATIONS

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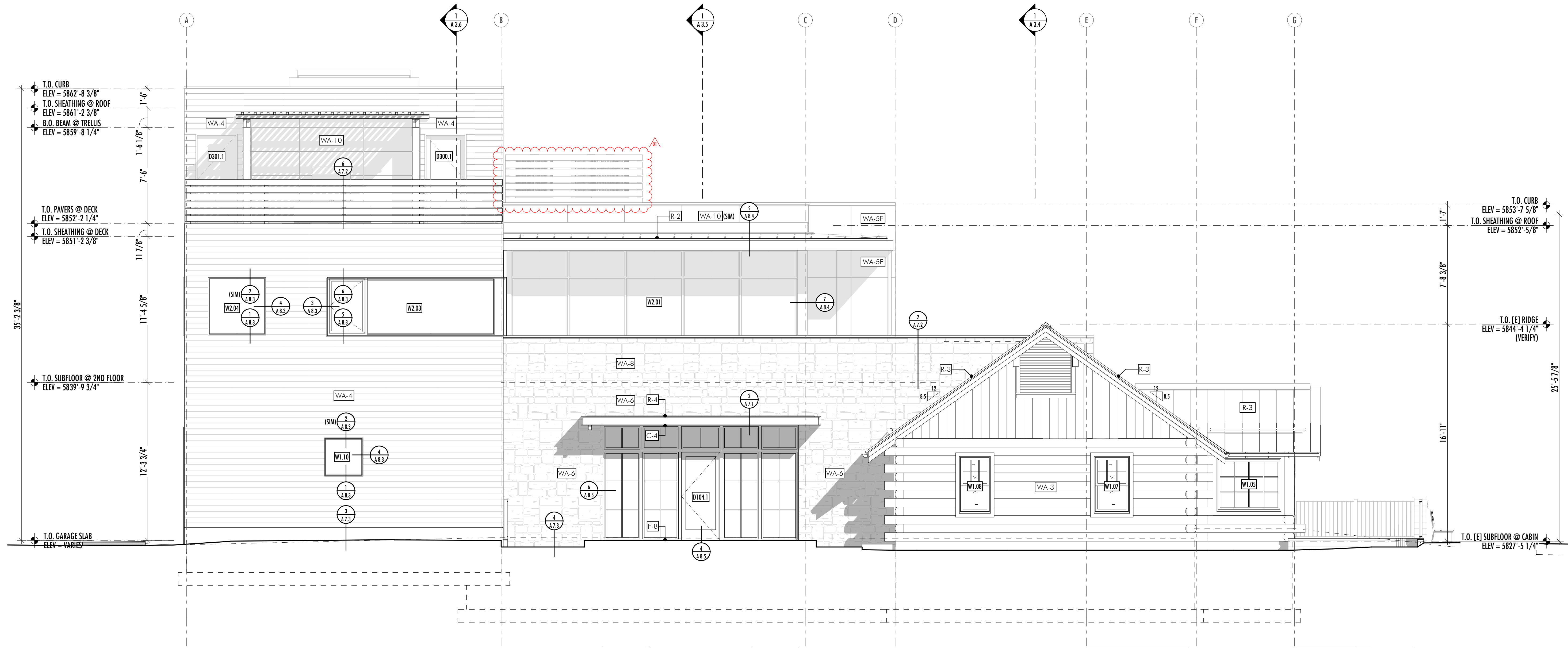




# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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**NORTH ELEVATION - PROPOSED**  
SCALE 1/4" = 1'-0"

## KEYNOTES

- 09000 FINISHES (CONTINUED)
- 9.016 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
- 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD 10).
- 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES. REFER TO BUILDING SECTIONS FOR APPLICABILITY.
- 9.02 TILE. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.03 3/4" THICK FINISHED WOOD FLOOR. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURERS' SPECIFICATIONS. NATIONAL WOOD FLOOR ASSOCIATION (NWFPA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.
- 9.04 WALL PAPER. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.05 SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURERS' INSTALLATION INSTRUCTIONS.
- 9.06 THIN SET MORTAR.
- 9.07a 5/8" CEMENT BACKER BOARD.
- 9.07b 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK® BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
- 9.08 CARPET AND PAD. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 10000 SPECIALTIES  
REFER TO PLAN NOTES.
- 11000 EQUIPMENT
- 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILT WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

## KEYNOTES

- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.
- 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
- 7.32 CERTAINTED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.33 2" (20 PSI NOMINAL) FLAT STYCK POLYISOCYANURATE RIGID INSULATION BOARD (LTR R-5.6 / INCH. MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURBS TO FORM A CONTINUOUS LAYER.
- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.
- 7.35 VAPORSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.36 1/2" THICK DECK PRIME ROOF BOARD.
- 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12x12x3 1/4" 0.0930" OPENING [SQUARE], 21 GAUGE, 55% OPEN AREA). PRODUCT NO. 38052/ABC5, OR APPROVED EQUAL.
- 7.40 MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL. TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING [SQUARE], 21 GAUGE, 55% OPEN AREA. PRODUCT NO. 38052/ABC5, OR APPROVED EQUAL.
- 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.
- 09000 FINISHES
- 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL VET LOCATIONS). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
- 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE

## KEYNOTES

- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURERS' SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
- 7.10 VAPORSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10).
- 7.12 BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.13 MIRA-DRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.14 GRACE ICE AND WATER SHIELD, AT ROOFS. PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE). VERIFY WITH ARCHITECT.
- 7.15 STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
- 7.16 VAPORSHIELD VAPROMAT 3MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS' SPECIFICATIONS.
- 7.17 NEOPRENE GASKETED SILL SEALER.
- 7.18 GRACE VVOR PLUS SELF-ADHERED REVEALED ASPHALT FLASHING.
- 7.19 STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
- 7.21 ASTM D 448 SMOOTH STONE BALLASTS (3/4" x 1 1/2" DIAMETER), 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 7.22 1/8" ASPHALT PROTECTION BOARD.
- 7.23 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM.
- 7.24 TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEK AFFXED TO WWF.
- 7.25 WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
- 7.26 WESTERN STATES SHEET METAL FLASHING (COLOR: BROWN/BRUNN), MIN 24 GAUGE
- 7.27 WESTERN STATES SHEET METAL FLASHING (COLOR: BROWN/BRUNN), MIN 24 GAUGE

## KEYNOTES

- 06000 WOOD (CONTINUED)
- 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
- 6.15 INTERIOR WOOD CEILING: 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
- 6.16 INTERIOR WOOD WALLS: REFER TO INTERIOR DESIGNERS SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 6.17 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK.
- 6.18 NOT USED.
- 6.19 POST PER STRUCTURAL DRAWINGS.
- 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
- 6.21 WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
- 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
- 07000 THERMAL & MOISTURE PROTECTION
- 7.01 BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
- 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
- 7.02b 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3641).
- 7.03 BLOWN IN BLANKET (B.I.B.S.) INSULATION, AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12" ABOVE CEILING (REFER TO CEILING TYPE C-3)).
- 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB-ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.
- 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
- 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS).
- 7.07 VAPORSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS' SPECIFICATIONS.

## KEYNOTES

- 05000 METALS & RAILINGS
- 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.03 1/8" THICK PLATE STEEL. MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECTS APPROVAL.
- 5.04 RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR.
- 5.05 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).
- 5.06 SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH (6.13).
- 5.07 STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
- 5.07 ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
- 06000 WOOD
- 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
- 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
- 6.03 1/2" WOOD FIBERBOARD.
- 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
- 6.05 ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.05b FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.1.1, EXCEPTION 5.1.
- 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
- 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
- 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 6.10 2x DROPPED CEILING FRAMING.
- 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- 6.12 NOT USED.
- 6.13 EXTERIOR SIDING: 3/4" x 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY REASAWN TIMBER COMPANY. HURON ACCENTIA EXTERIOR CLADDING: 5.3/8"

## KEYNOTES

- 02000 SITEWORK
- 2.01 BACKFILL PER GEOTECHNICAL REPORT.
- 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
- 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
- 2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL.
- 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
- 2.06 4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
- 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
- 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.
- 2.09 CAST-ON LYMPC PAVERS (12x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
- 2.10 ASPHALT PAVING PER CIVIL ENGINEER.
- 2.11 GRAVEL PER LANDSCAPE ARCHITECT.
- 03000 CONCRETE
- 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.03 BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
- 3.04 CONCRETE SLAB ON GRADE WITH RADIAN HEAT TUBES. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIAN HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
- 04000 MASONRY
- 4.01 MUTUAL MATERIALS VANCOVER BAY SERIES (12x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
- 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. LATH AND SCRATCH COAT AS REQUIRED.
- 4.03 6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IREGULAR SANDSTONE OR CORTANA LIMESTONE. PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL.
- 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

INDICATES KEYNOTE



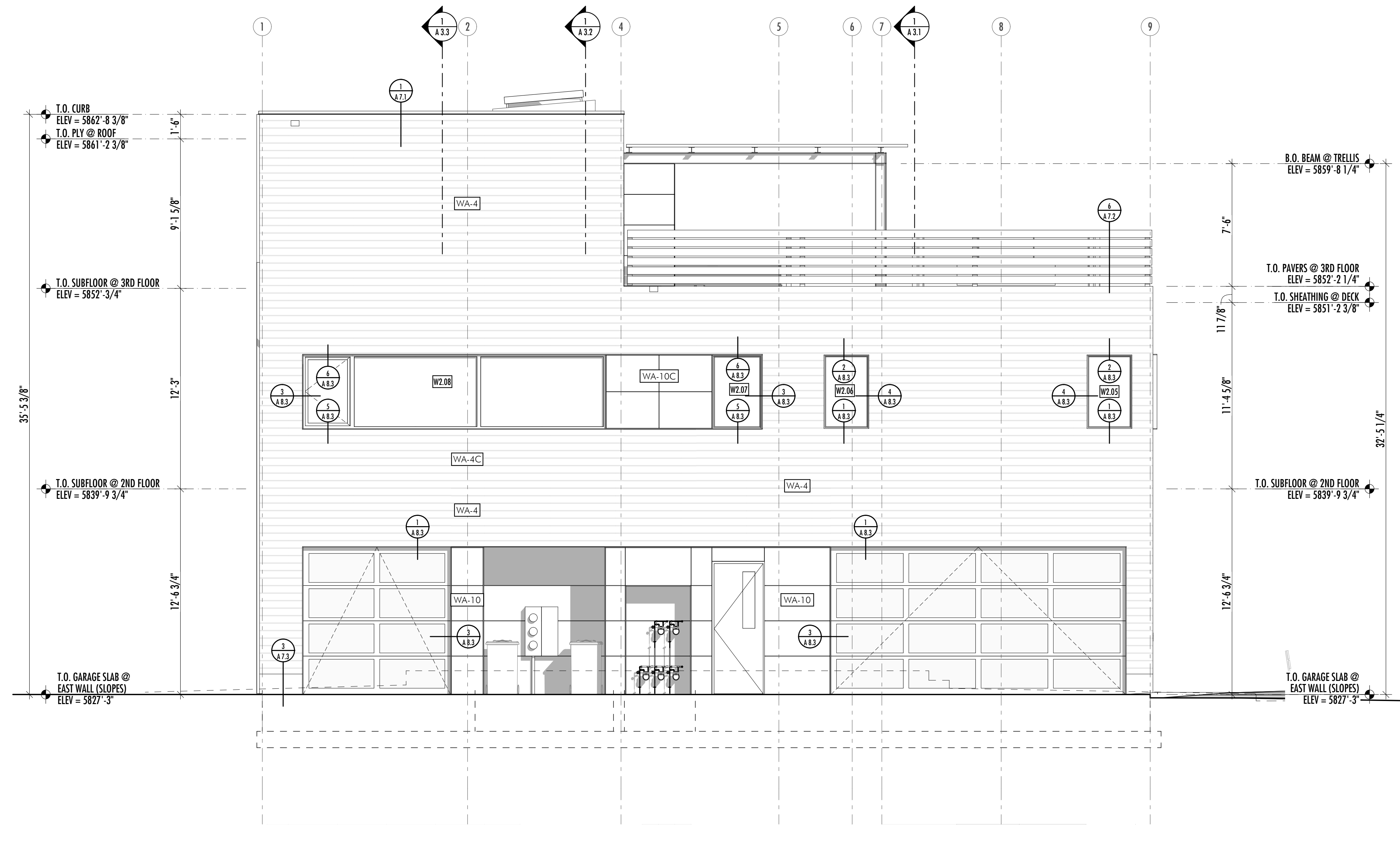
## ARCHITECTS

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DRAWINGS  
DATE ISSUED:  
05/12/2021 CON SCHEMATIC PRESENTATION  
06/10/2021 CON HPC REVIEW  
09/30/2021 CON PERMITS  
04/22/2022 DESIGN SET  
08/02/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

REVISIONS  
DATE  
01 08/02/2023

# A 4.3



EAST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"

1

KEYNOTES

09000	FINISHES (CONTINUED)
9.01b	5/8" THICK TYPE X GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
9.01c	5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD. 10).
9.01d	TWO LAYERS OF 1/2" THICK TYPE X GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE X GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES. (REFER TO BUILDING SECTIONS FOR APPLICABILITY).
9.02	TILE: REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.03	3/4" THICK FINISHED WOOD FLOOR. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALL OVER MANUFACTURER'S NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE. WALL PAPER: REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.04	3/4" THICK UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
9.06	THIN SET MORTAR.
9.07	5/8" CEMENT BACKER BOARD.
9.07a	5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
9.08	CARPET AND PAD: REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.09	EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
10000	SPECIALTIES
11.01	REFER TO PLAN NOTES.
11000	EQUIPMENT
11.01	MECHANICAL EQUIPMENT SHALL BE DESIGN BUILT WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

KEYNOTES

02000	THERMAL & MOISTURE PROTECTION (CONTINUED)
7.28	AWS DIAMOND HEAD SERIES PEDESTALS.
7.29	BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
7.30	3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
7.31	30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
7.32	CERTAINTED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.33	2" (20 PSI NOMINAL) FLAT STOCK POLYISOCYANURATE RIGID INSULATION BOARD (ITR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
7.34	STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
7.35	VAPOSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.36	1/2" THICK DENSDECK PRIME ROOF BOARD.
7.37	60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.38	45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.39	PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x3.1/4" THICKNESS AT DRAIN BODIES), TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSION STRENGTH SYSTEM (BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK ANCHORED FINISH).
7.40	MCNICHOLS WIRE MESH - SQUARE STAINLESS STEEL, TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA. PRODUCT NO. 3808324BC5, OR APPROVED EQUAL.
7.41	SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.
09000	FINISHES
9.01	5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL WET LOCATIONS). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
9.01a	5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD: SHEETROCK® BRAND FIRECODE

KEYNOTES

07000	THERMAL & MOISTURE PROTECTION (CONTINUED)
7.09	VAPOSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
7.10	VAPOSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.11	1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD. 10).
7.12	BUTYLENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
7.13	MIRADRAN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
7.14	GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE). VERIFY WITH ARCHITECT.
7.15	GRACE ULTRA BUTY. ROOFING UNDERLAYMENT.
7.16	STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
7.17	VAPOSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.18	NEOPRENE GASKETED GILL SEALER.
7.19	GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.
7.20	STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
7.21	ASTM D 448 5/8" SMOOTH STONE BALLASTS (3/4" x 1 1/2" DIAMETER), 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
7.22	1/8" ASPHALT PROTECTION BOARD.
7.23	60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOF MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS).
7.24	COORDINATE COMPRESSION STRENGTH SYSTEM (BY OTHERS). INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK ANCHORED FINISH).
7.25	HYDRONIC PEX AFFIXED TO W/B.
7.26	WESTERN STATES SHEET METAL FLASHING (COLOR: MATT BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
7.27	WESTERN STATES SHEET METAL ROOFING (COLOR: BONDFRUFER), MIN 24 GAUGE

KEYNOTES

06000	WOOD (CONTINUED)
6.14	EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
6.15	INTERIOR WOOD CEILING: 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
6.16	INTERIOR WOOD WALLS: REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6.17	3/4" THICK VERTICAL WOOD BATTENS. PAINT MATT BLACK.
6.18	NOT USED.
6.19	POST PER STRUCTURAL DRAWINGS.
6.20	BEAM OR HEADER PER STRUCTURAL DRAWINGS.
6.21	WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
6.22	STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
07000	THERMAL & MOISTURE PROTECTION
7.01	BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
7.02	BATT OR BLOWN IN BLANKET (B.I.B.S.) INSULATION TO FILL FRAMING CAVITY.
7.02a	5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
7.03	BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12" ABOVE CEILING (REFER TO CEILING TYPE C-3F).
7.04	2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-4.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.
7.05	3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
7.06	3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
7.07	VAPOSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

KEYNOTES

05000	METALS & RAILINGS
5.01	W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
5.02	TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
5.03	1/8" THICK PLATE STEEL. MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL.
5.04	RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCND), OR SIMILAR.
5.05	2X2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH (6.13).
5.06	STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
5.07	ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
06000	WOOD
6.01	EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
6.02	2X STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
6.03	1/2" WOOD FIBERBOARD.
6.04	ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
6.05	ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
6.05a	FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY LOCATION WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
6.06	WALL SHEATHING PER STRUCTURAL DRAWINGS.
6.07	EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
6.08	EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
6.09	2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6.10	2x DROPPED CEILING FRAMING.
6.11	3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
6.12	NOT USED.
6.13	EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAVNI TIMBER COMPANY. HURON ACCENT EXTERIOR CLADDING: 5.3/8"

KEYNOTES

02000	SITEWORK
2.01	BACKFILL PER GEOTECHNICAL REPORT.
2.02	SUBGRADE PREP PER GEOTECHNICAL REPORT.
2.03	4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
2.04	4" SAND OVER 6" (MIN.) COMPACTED GRAVEL.
2.05	RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
2.06	4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
2.07	CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
2.08	SNOWMELT TUBING IN 2" OF CLEAN SAND.
2.09	CASHTON OLYMPIC PAVERS (12"x24", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
2.10	ASPHALT PAVING PER CIVIL ENGINEER.
2.11	GRAVEL PER LANDSCAPE ARCHITECT.
03000	CONCRETE
3.01	CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.02	CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.03	BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
3.04	CONCRETE SLAB ON GRADE WITH RADIANT HEAT TUBES. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.05	1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
04000	MASONRY
4.01	MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
4.02	CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. LATH AND SCRATCH COAT AS REQUIRED.
4.03	6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE. PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL.
4.05	1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
4.06	MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

INDICATES KEYNOTE

1

**WILLIAMS PARTNERS**

ARCHITECTS

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DRAWINGS

DATE: ISSUED:  
05/12/2021 CON SCHEMATIC PRESENTATION  
06/10/2021 CON HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 DESIGN SET  
08/05/2023 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

REVISIONS

NUMBER: DATE:

A 4.4

OWNERSHIP OF DOCUMENTS:  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS CONSULTANTS SHALL BE HELD BY THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

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**DRAWINGS**

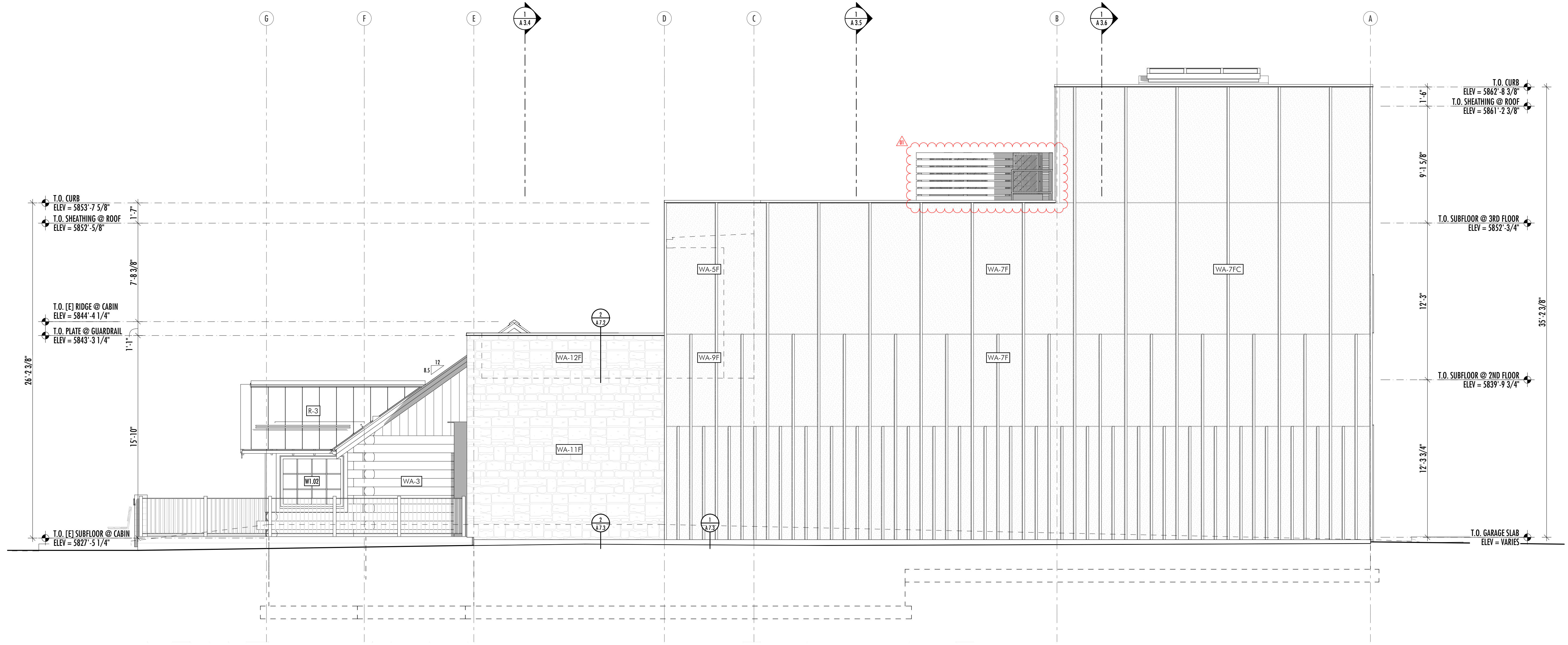
DATE: 05/12/2021  
 06/10/2021  
 09/30/2021  
 04/22/2022  
 08/02/2023

**REVISIONS**

DATE: 01 08/02/2023

**A 4.5**

EXTERIOR ELEVATIONS



**SOUTH ELEVATION - PROPOSED**  
 SCALE: 1/4" = 1'-0"  
**1**

- KEYNOTES**
- 09000 FINISHES (CONTINUED)
  - 9.016 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
  - 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD.10).
  - 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES. REFER TO BUILDING SECTIONS FOR APPLICABILITY.
  - 9.02 3/4" THICK FINISHED WOOD FLOOR. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS. NATIONAL WOOD FLOOR ASSOCIATION (NWLFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.
  - 9.04 WALL PAPER. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
  - 9.05 SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  - 9.06 THIN SET MORTAR.
  - 9.07 5/8" CEMENT BACKER BOARD.
  - 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR USG SHEETROCK® BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
  - 9.08 CARPET AND PAD. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
  - 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADHESIVE / AGGREGATE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 10000 SPECIALTIES  
 REFER TO PLAN NOTES.
  - 11000 EQUIPMENT
  - 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILD WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- KEYNOTES**
- 02000 THERMAL & MOISTURE PROTECTION (CONTINUED)
  - 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.
  - 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
  - 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
  - 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
  - 7.32 CERTAINTED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.33 2" (20 PSI NOMINAL) FLAT SLOTTED POLYISOCYANURATE RIGID INSULATION BOARD (ITR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYSTY TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURBS TO FORM A CONTINUOUS LAYER.
  - 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.
  - 7.35 VAPROSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
  - 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.39 PRE-VEGETATED LIVEROOF MAX MODULAR ROOF SYSTEM (12x12x3.14" 38052/4BCS, OR APPROVED EQUAL).  
 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.
  - 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL VET LOCATIONS). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
  - 9.01a 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE

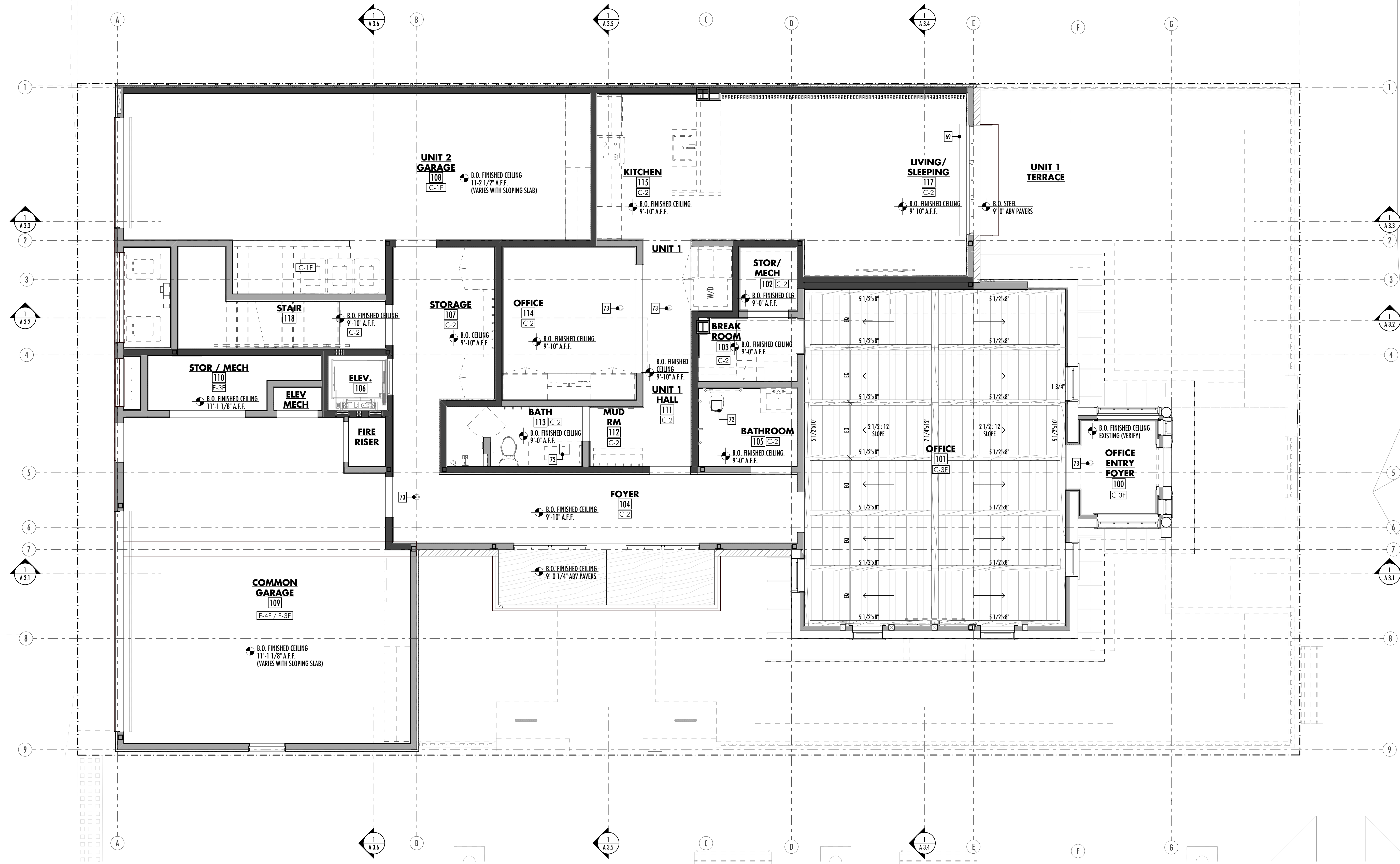
- KEYNOTES**
- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
  - 7.09 VAPROSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
  - 7.10 VAPROSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD.10).
  - 7.12 BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
  - 7.13 MIRADRAIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
  - 7.14 GRACE ICE AND WATER SHIELD. AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN) AT EAVES (24" MIN INSIDE OF WALL LINE). VERIFY WITH ARCHITECT.
  - 7.15 GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.
  - 7.16 STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
  - 7.17 VAPROSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - 7.18 NEOPRENE GASKETED GILL SEALER.
  - 7.19 GRACE VVOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.
  - 7.20 STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAP, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 7.21 ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER), 11 LBS / SF LAD AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
  - 7.22 1/8" ASPHALT PROTECTION BOARD.
  - 7.23 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM), TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH WITH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEX AFFIXED TO WWF.
  - 7.25 WESTERN STATES SHEET METAL FLASHING (COLOR: MATT BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
  - 7.26 WESTERN STATES SHEET METAL FLASHING (COLOR: BROWN/BLUE), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
  - 7.27 WESTERN STATES SHEET METAL FLASHING (COLOR: BROWN/BLUE), MIN 24 GAUGE

- KEYNOTES**
- 06000 WOOD (CONTINUED)
  - 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
  - 6.15 INTERIOR WOOD CEILING: 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
  - 6.16 INTERIOR WOOD WALLS: REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - 6.17 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATT BLACK.
  - 6.18 NOT USED.
  - 6.19 POST PER STRUCTURAL DRAWINGS.
  - 6.20 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
  - 6.21 WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
  - 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
  - 07000 THERMAL & MOISTURE PROTECTION
  - 7.01 BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
  - 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
  - 7.02b 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
  - 7.03 BLOWN IN BLANKET (B.I.B.S.) INSULATION, AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12" ABOVE CEILING (REFER TO CEILING TYPE C-3)).
  - 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.
  - 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8/INCH).
  - 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
  - 7.07 VAPROSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

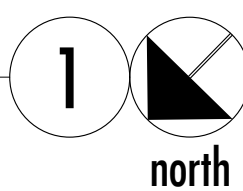
- KEYNOTES**
- 05000 METALS & RAILINGS
  - 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
  - 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
  - 5.03 1/8" THICK PLATE STEEL. MATT BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECT'S APPROVAL.
  - 5.04 RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCDN), OR SIMILAR.
  - 5.05 2X2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD).
  - 5.06 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
  - 5.07 STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
  - 5.08 ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
  - 06000 WOOD
  - 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
  - 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
  - 6.03 1/2" WOOD FIBERBOARD.
  - 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
  - 6.05 ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.1.1, EXCEPTION 5.1.
  - 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
  - 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 6.10 2x DROPPED CEILING FRAMING.
  - 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
  - 6.12 NOT USED.
  - 6.13 EXTERIOR SIDING: 3/4" X 3 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY REASAWN TIMBER COMPANY. HURON® ACCOYIA EXTERIOR CLADDING: 5.3/8"

- KEYNOTES**
- 02000 SITEWORK
  - 2.01 BACKFILL PER GEOTECHNICAL REPORT.
  - 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
  - 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
  - 2.04 4" SAND OVER 6" (MIN) COMPACTED GRAVEL.
  - 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
  - 2.06 4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
  - 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
  - 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.
  - 2.09 CAST-IN-CH OLMPIC PAVERS (12x26", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
  - 2.10 ASPHALT PAVING PER CIVIL ENGINEER.
  - 2.11 GRAVEL PER LANDSCAPE ARCHITECT.
  - 03000 CONCRETE
  - 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 3.03 BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
  - 3.04 CONCRETE SLAB ON GRADE WITH RADIANT HEAT TUBES. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
  - 04000 MASONRY
  - 4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
  - 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. LATH AND SCRATCH COAT AS REQUIRED.
  - 4.03 6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE. (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
  - 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
  - 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

INDICATES KEYNOTE ←



FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



PLAN NOTES INDICATES PLAN NOTE - XX  
REFER TO A2.1 - A2.4 FOR PLAN NOTES

SYSTEMS NOTES INDICATES SYSTEM NOTE - X-XX  
REFER TO A0.1 - A0.2 FOR SYSTEMS NOTES

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

ARCHITECTS

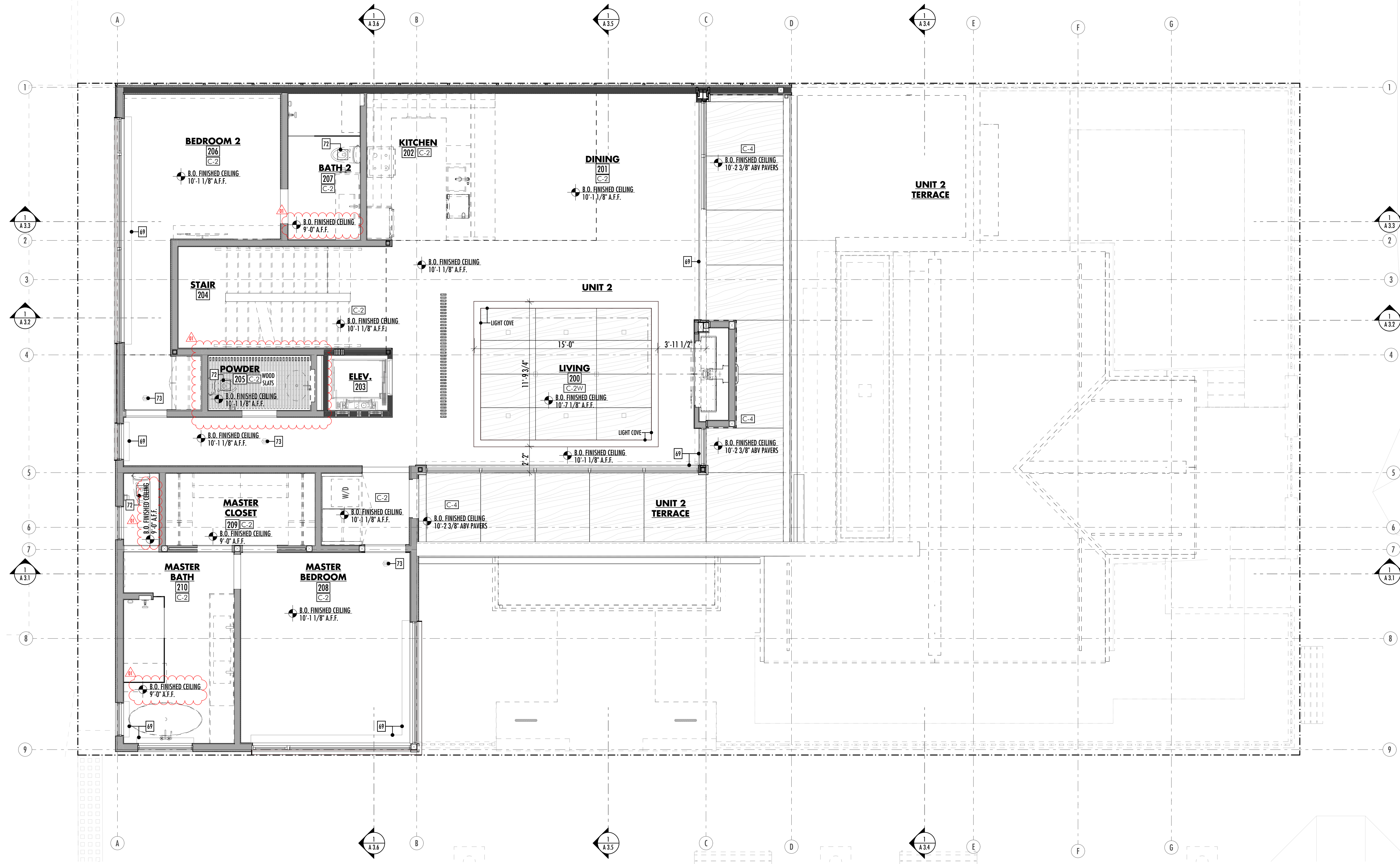
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DRAWINGS  
DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION  
REVISIONS  
NUMBER: DATE:

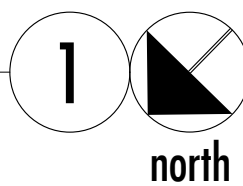
# A 5.1

REFLECTED CEILING PLANS

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**SECOND FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**PLAN NOTES** INDICATES PLAN NOTE XX  
REFER TO A2.1 - A2.4 FOR PLAN NOTES

**SYSTEMS NOTES** INDICATES SYSTEM NOTE X-XX  
REFER TO A0.1 - A0.2 FOR SYSTEMS NOTES

# 380 N. 1st Ave. Mixed-Use Building

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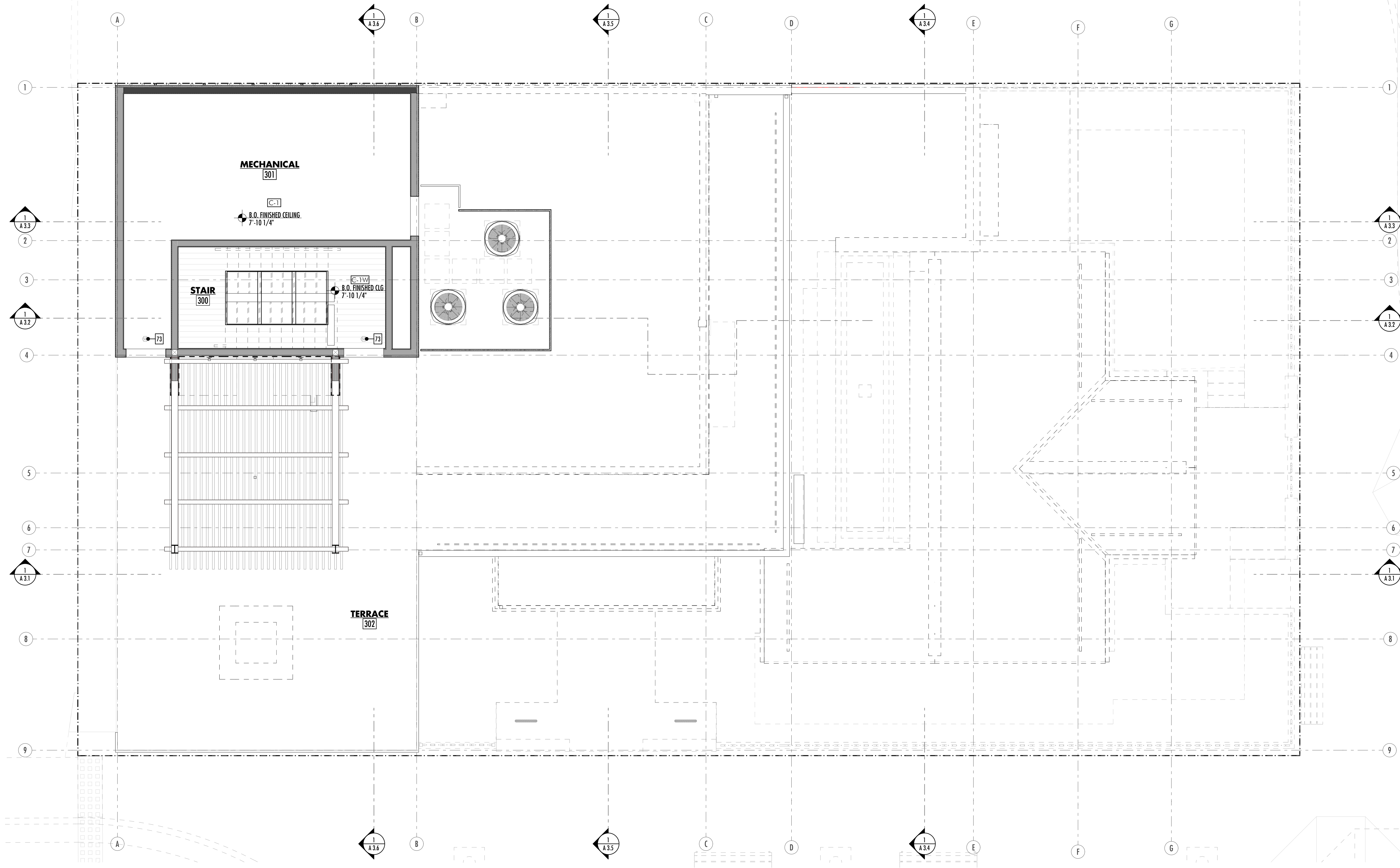
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**REVISIONS**  
NUMBER: 01 DATE: 08/02/2023

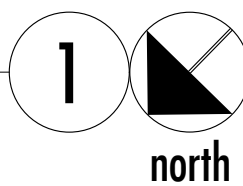
# A 5.2

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**THIRD FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**PLAN NOTES** INDICATES PLAN NOTE XX  
REFER TO A2.1 - A2.4 FOR PLAN NOTES

**SYSTEMS NOTES** INDICATES SYSTEM NOTE X-XX  
REFER TO A0.1 - A0.2 FOR SYSTEMS NOTES

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

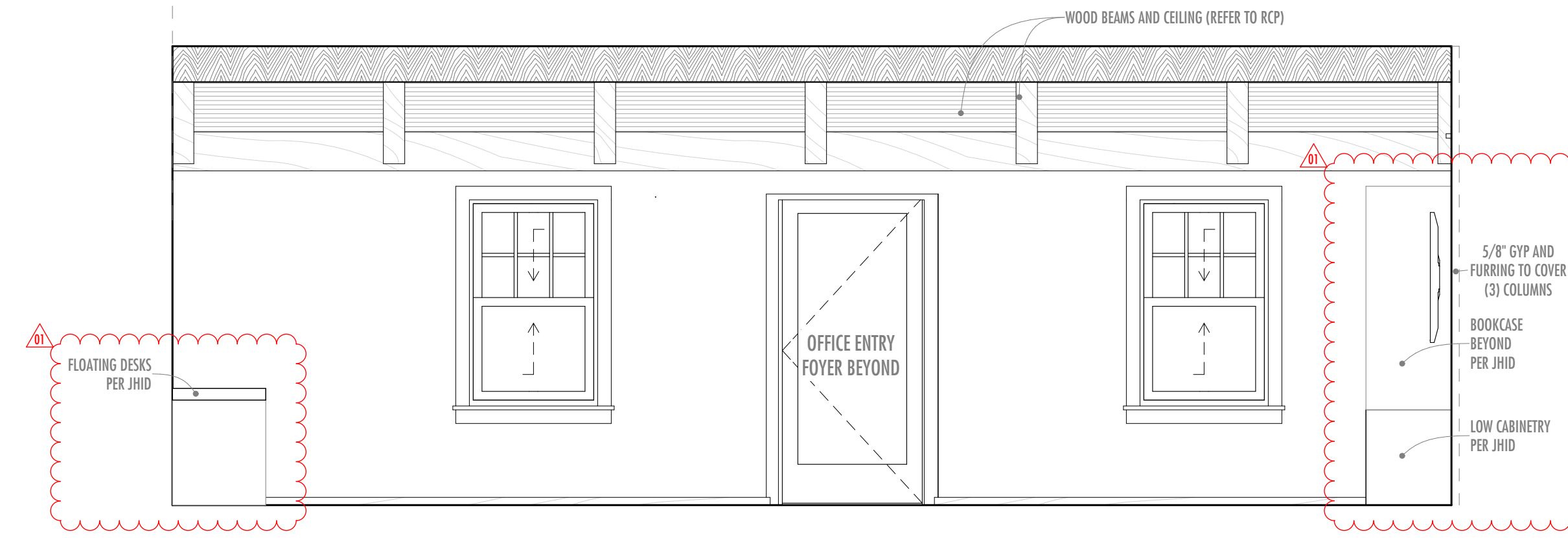
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**REVISIONS**  
NUMBER: DATE:

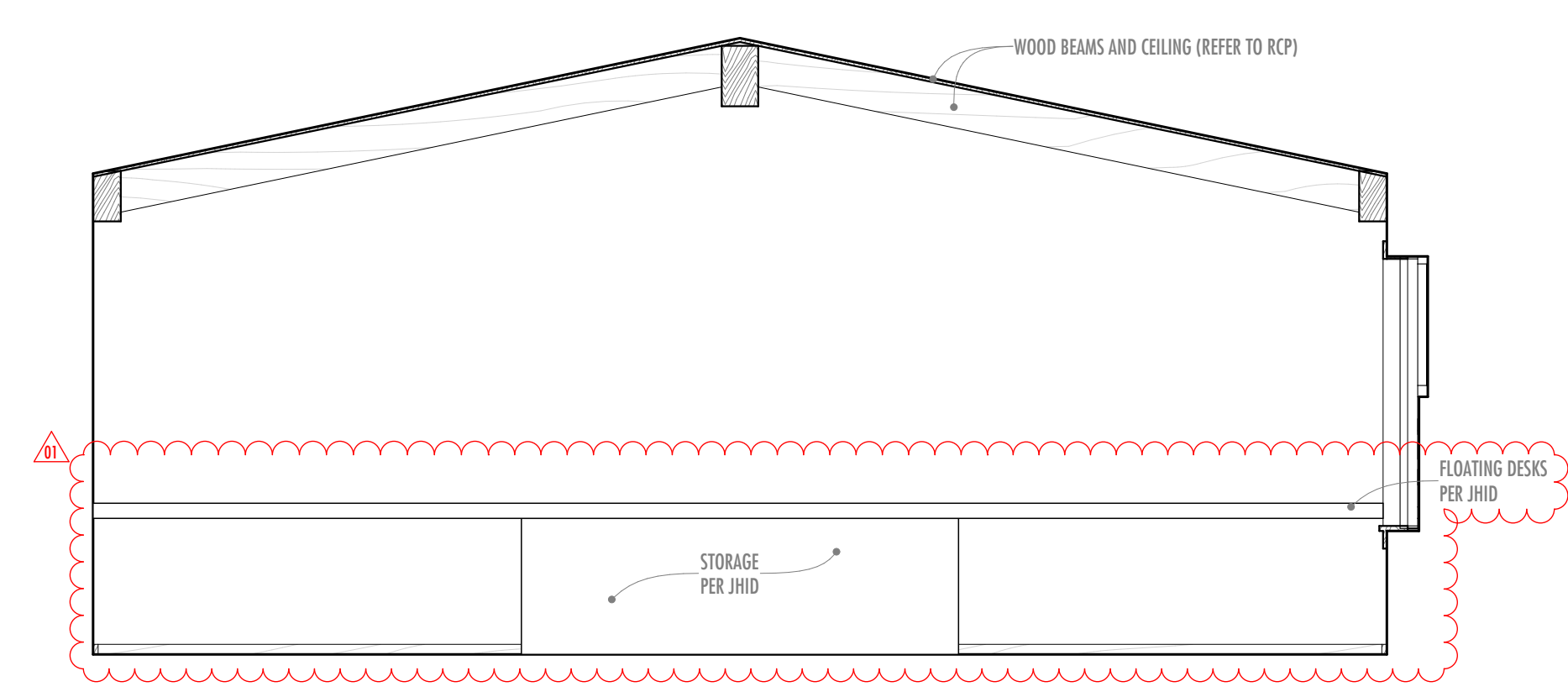
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REFLECTED CEILING PLANS

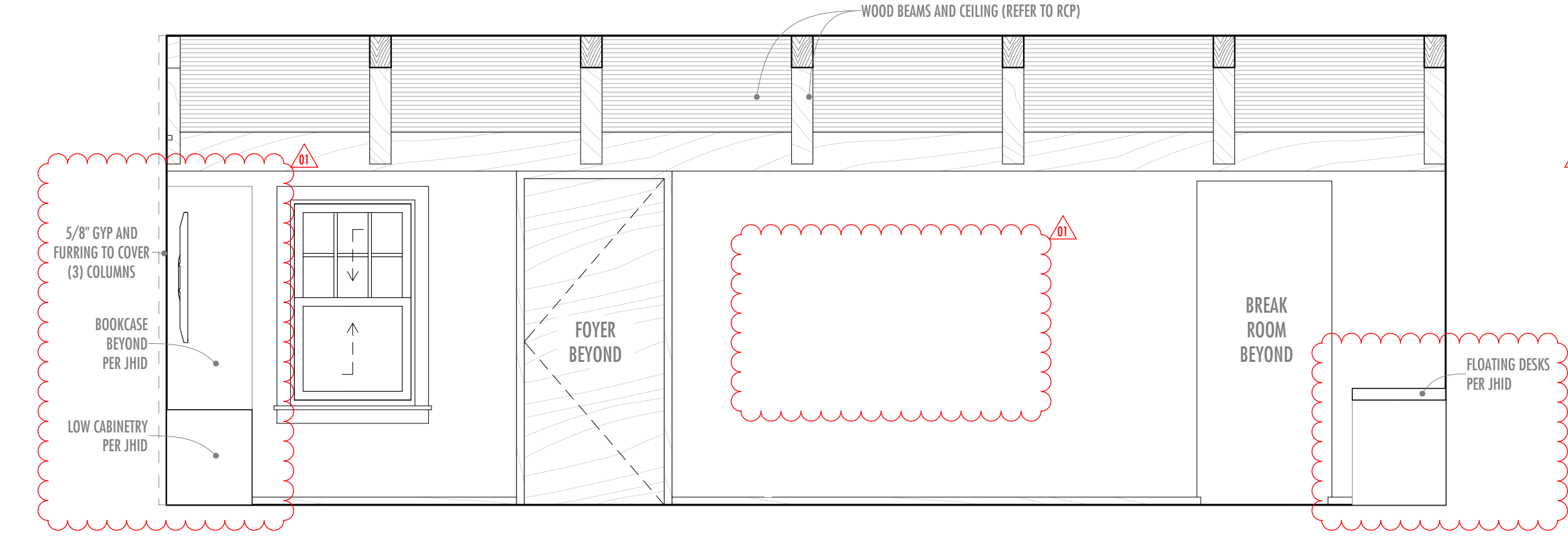
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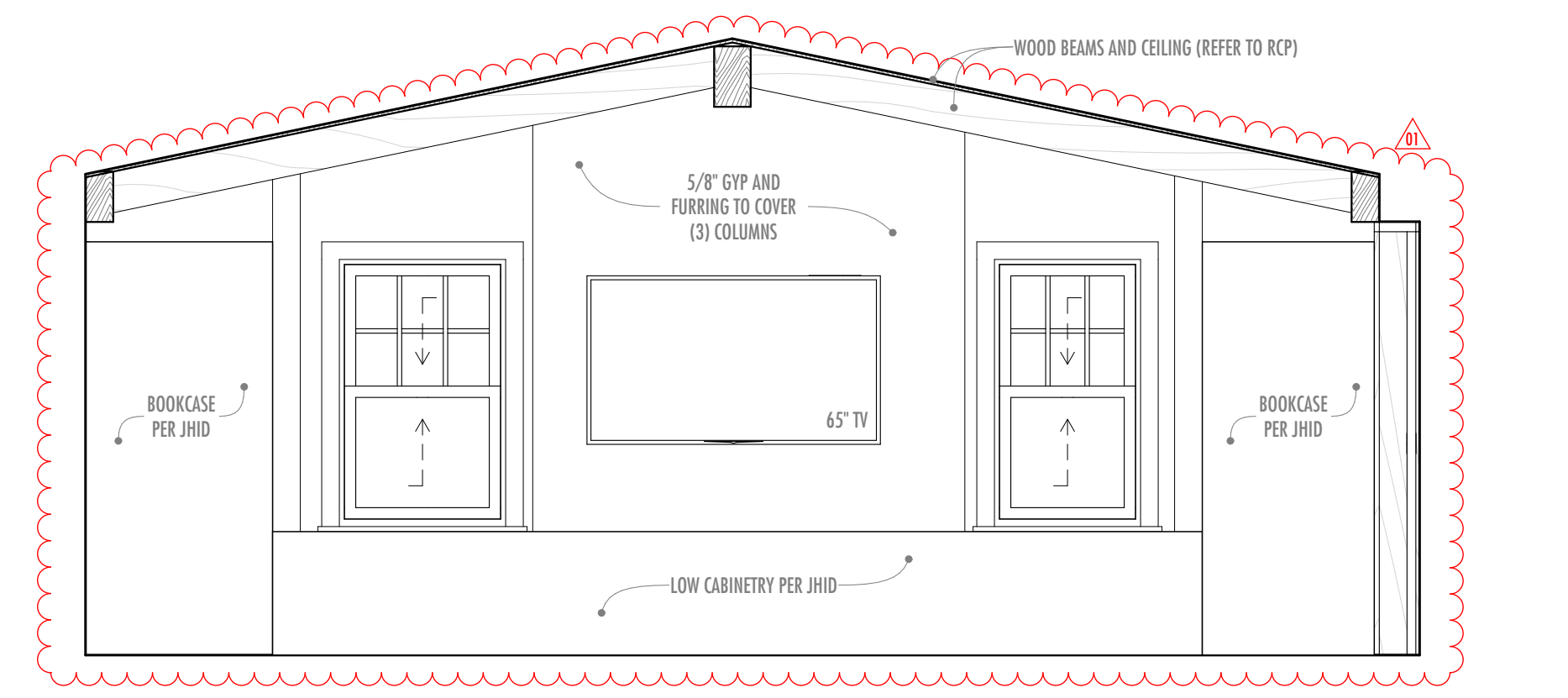
101 OFFICE - WEST  
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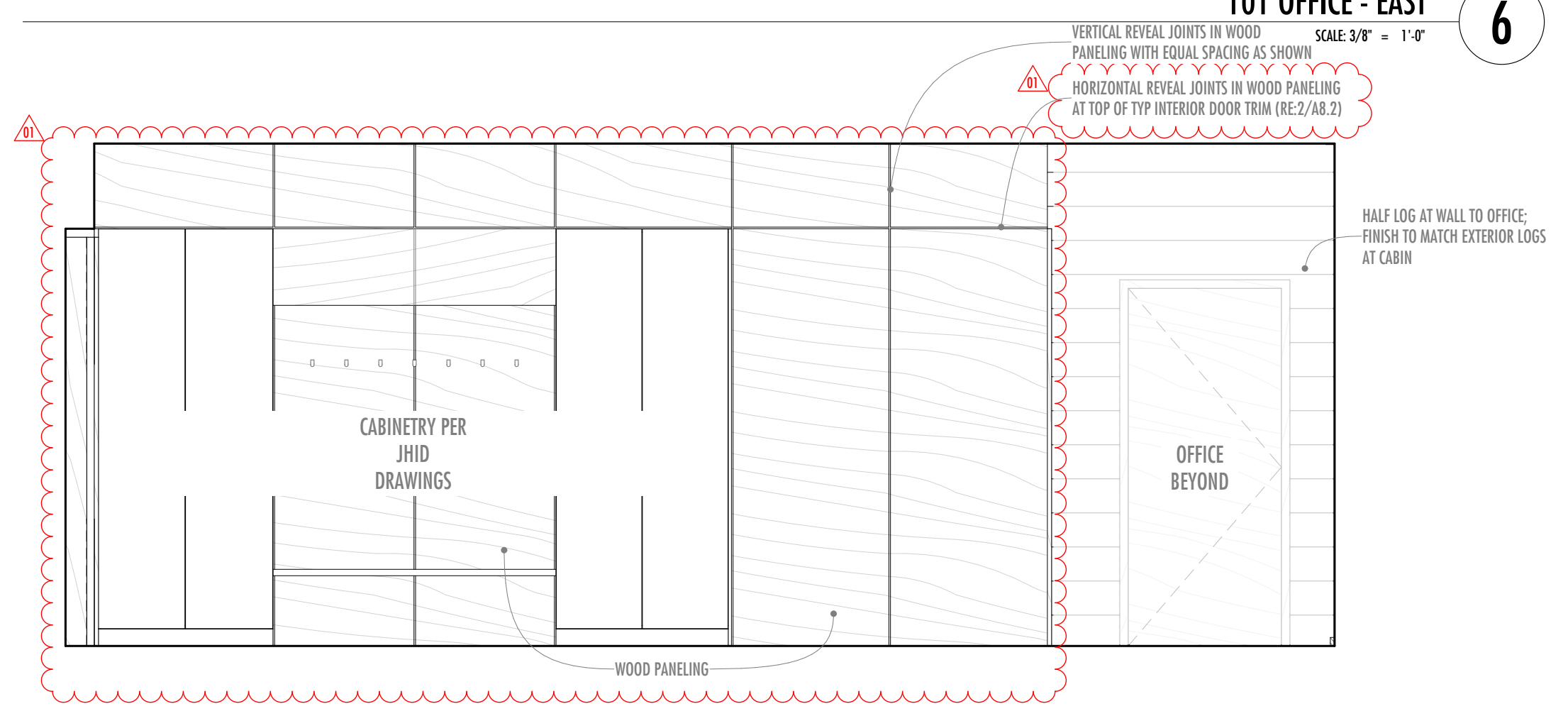
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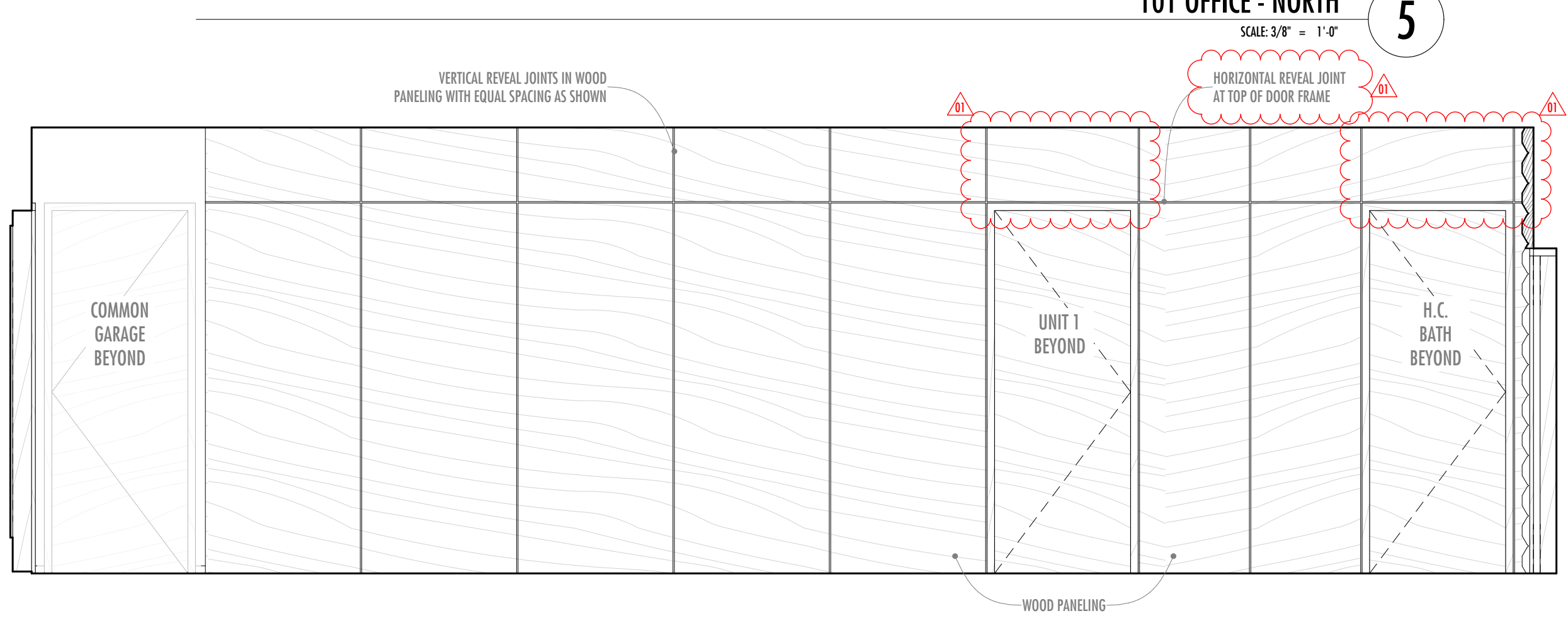
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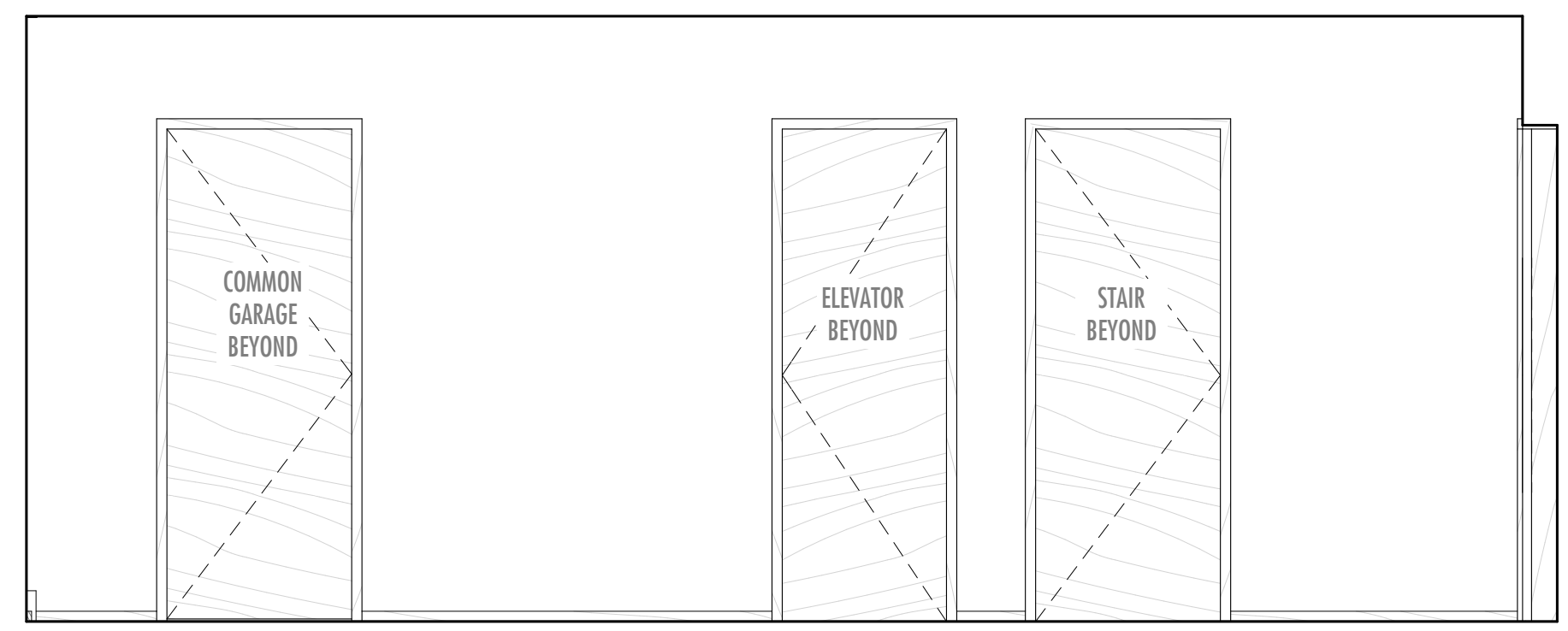
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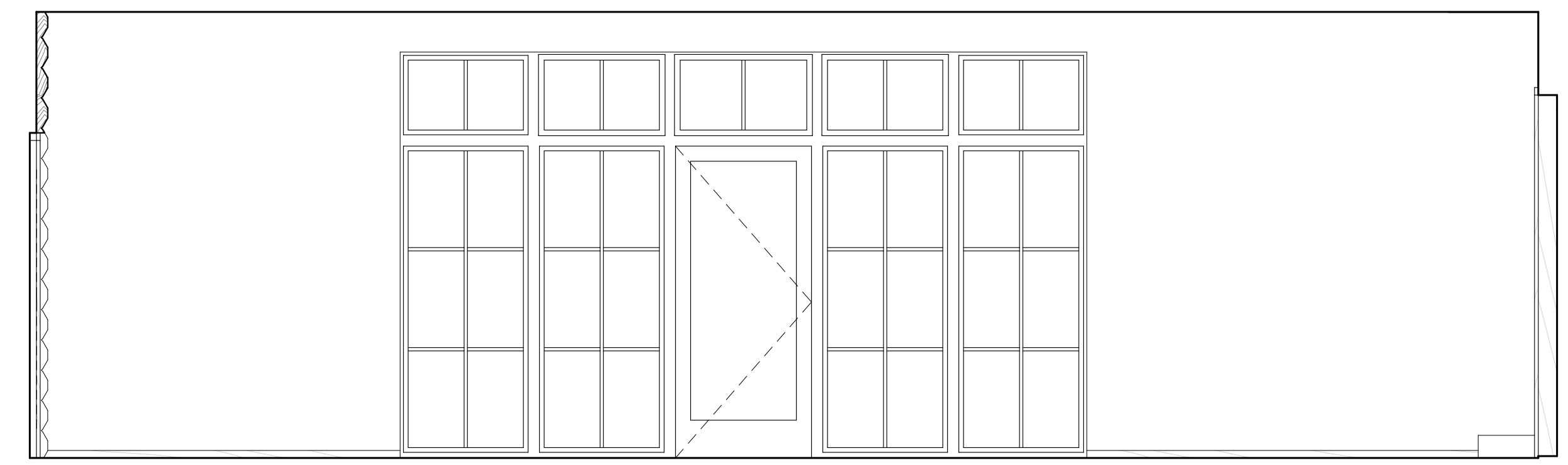
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SCALE: 3/8" = 1'-0" 4



104 FOYER - SOUTH  
SCALE: 3/8" = 1'-0" 3



104 FOYER - EAST  
SCALE: 3/8" = 1'-0" 2



104 FOYER - NORTH  
SCALE: 3/8" = 1'-0" 1

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

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**DRAWINGS**  
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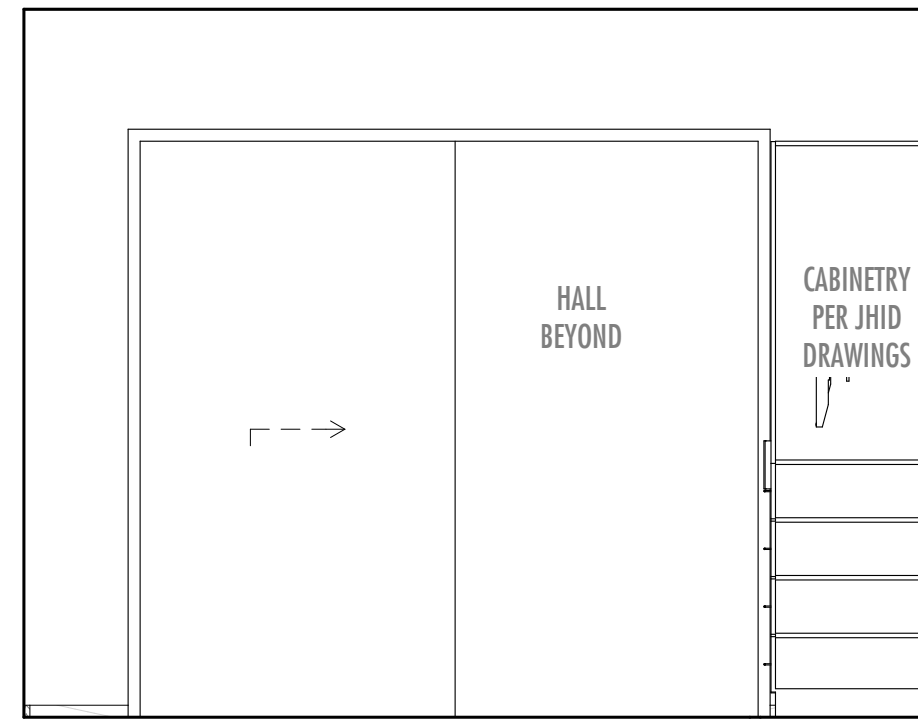
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DATE: 08/02/2023

# A 6.1

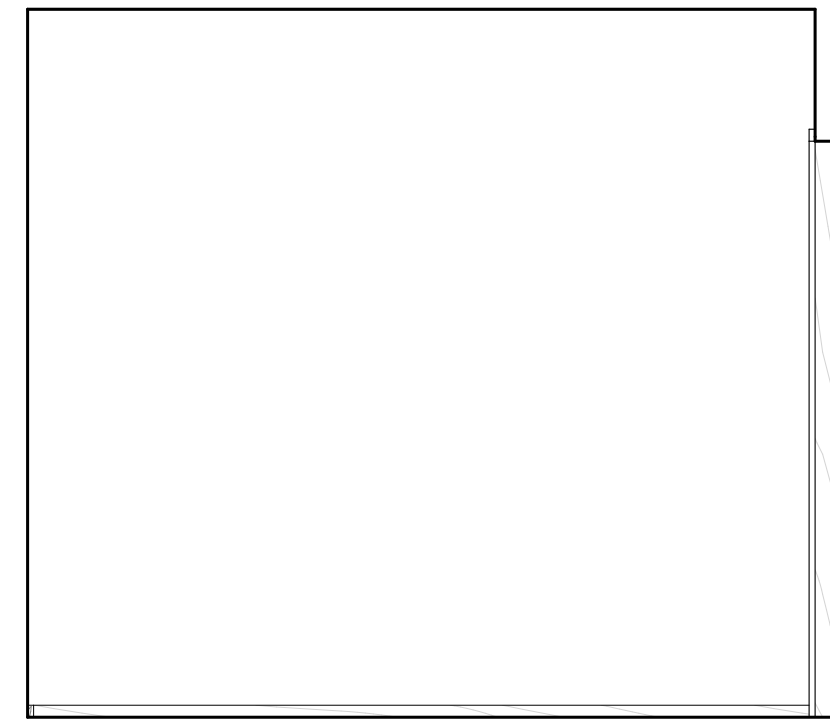
INTERIOR ELEVATIONS

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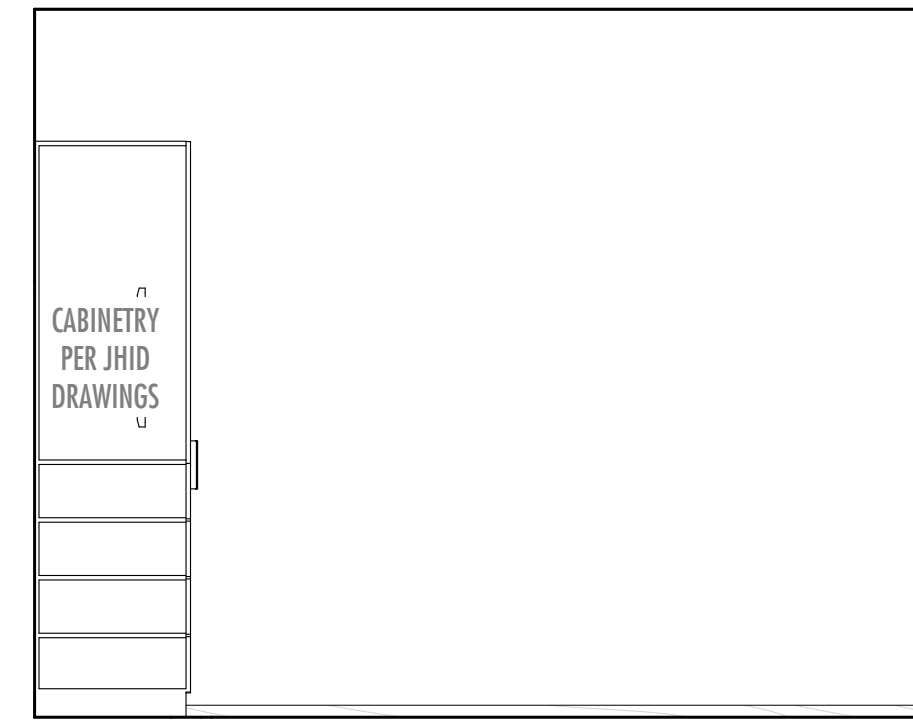




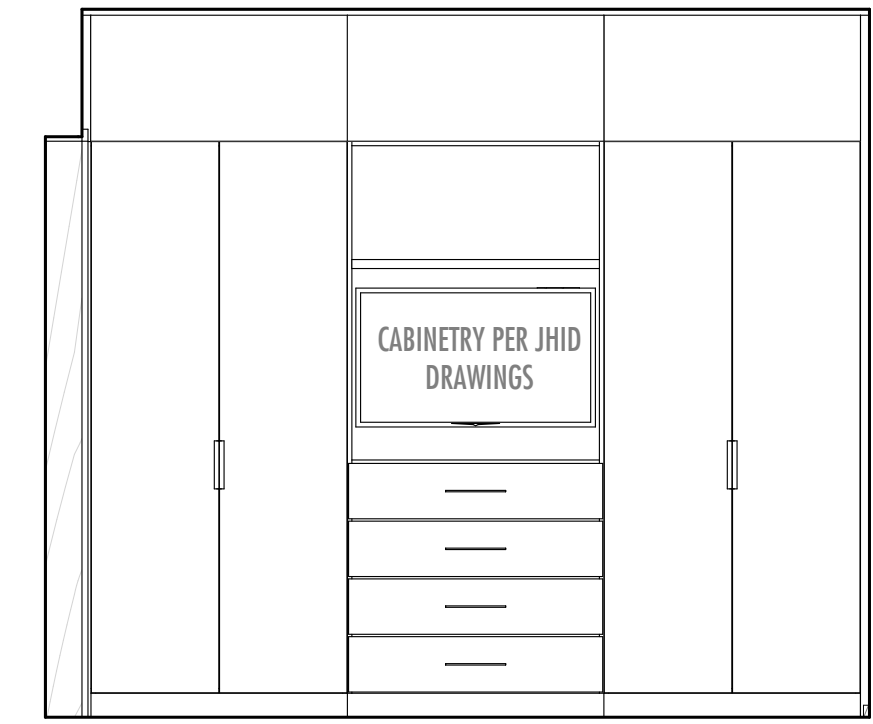
114 UNIT 1 BED ALCOVE - WEST  
SCALE: 3/8" = 1'-0" 9



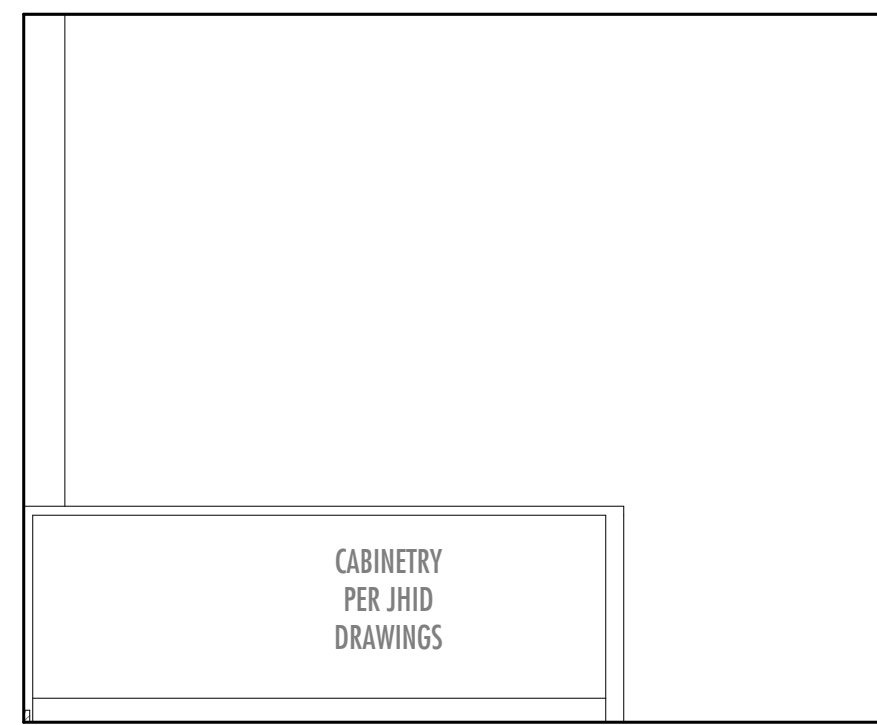
114 UNIT 1 BED ALCOVE - SOUTH  
SCALE: 3/8" = 1'-0" 8



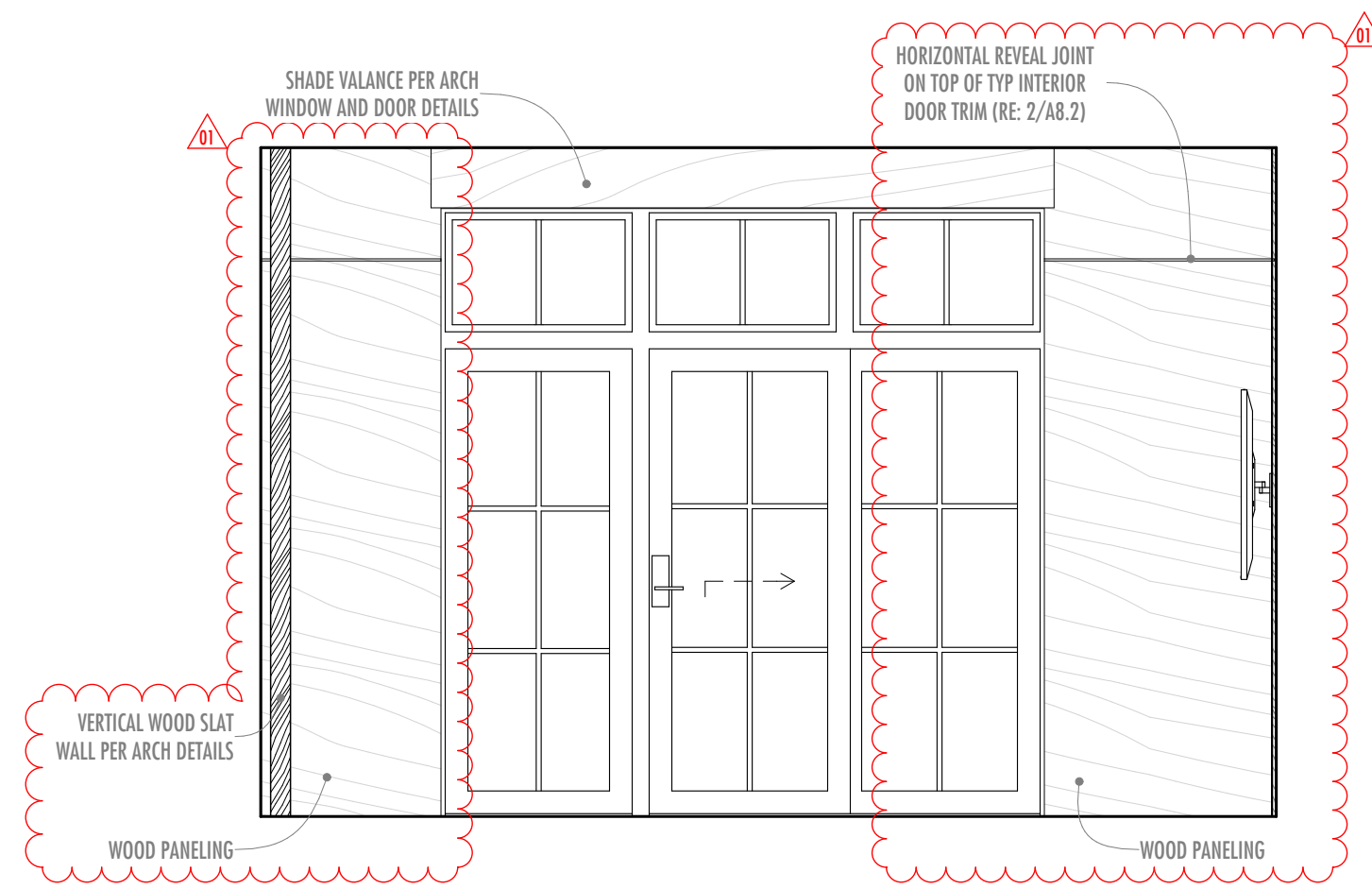
114 UNIT 1 BED ALCOVE - EAST  
SCALE: 3/8" = 1'-0" 7



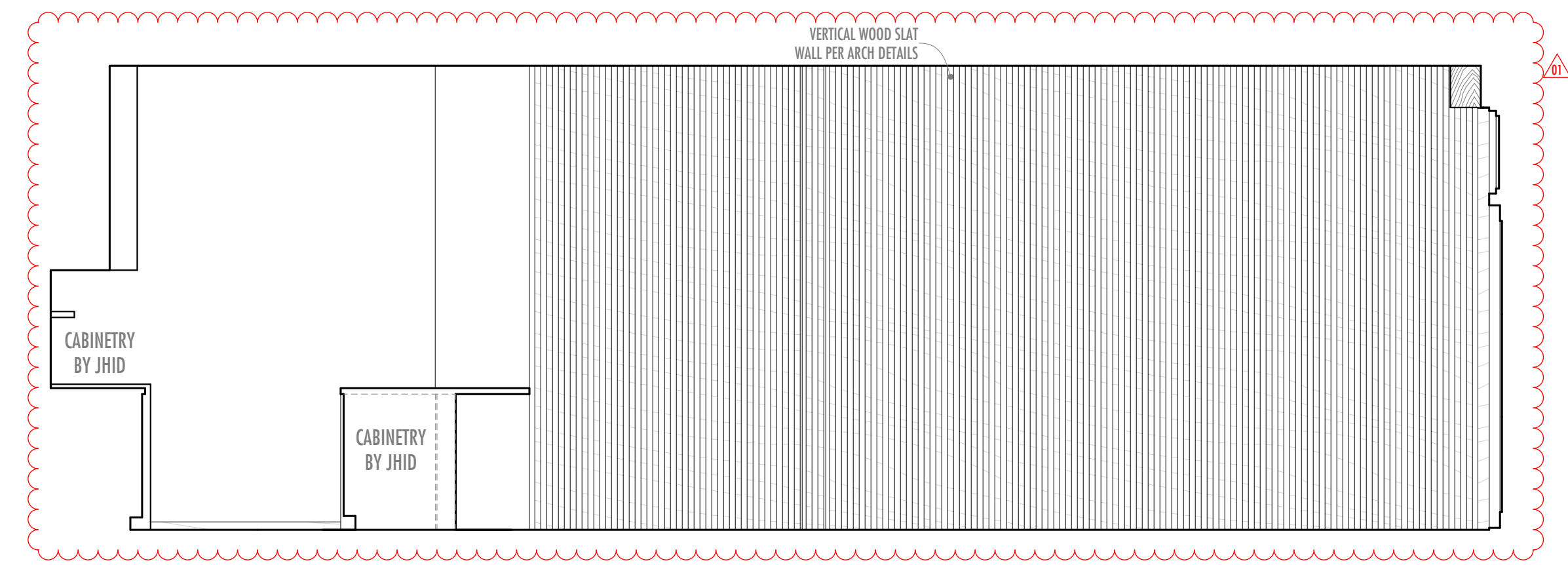
114 UNIT 1 BED ALCOVE - NORTH  
SCALE: 3/8" = 1'-0" 6



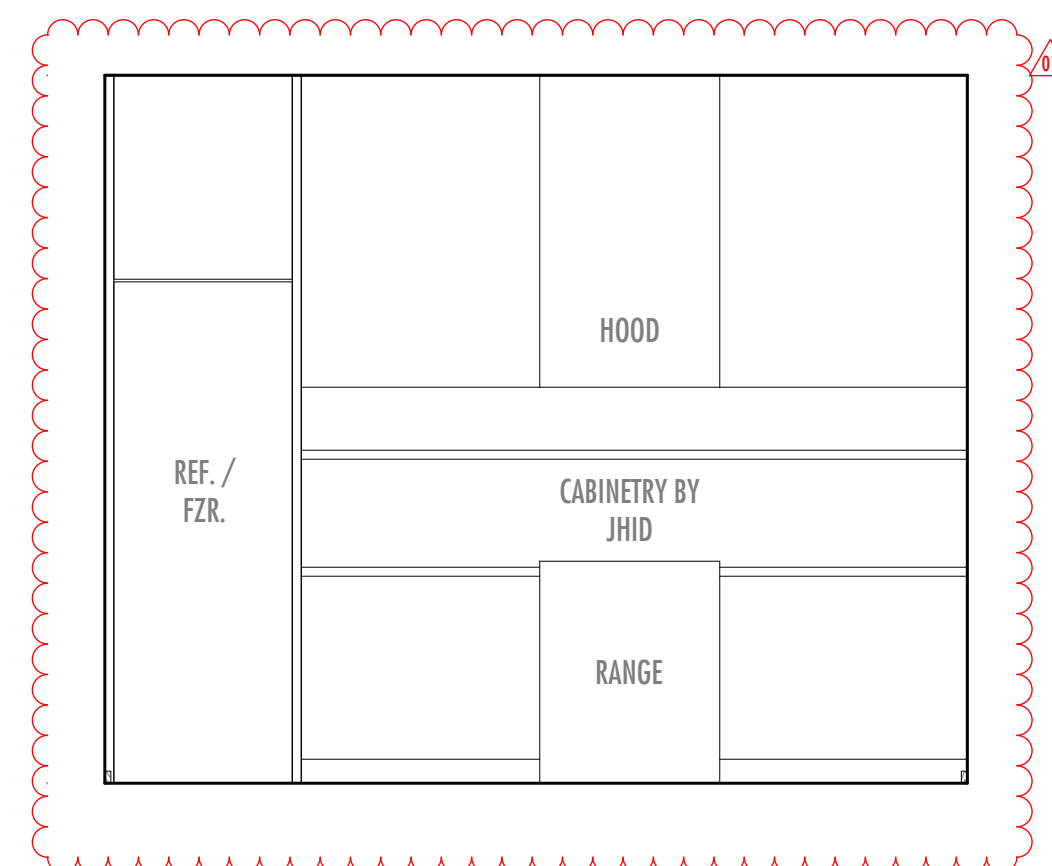
115 ISLAND - WEST  
SCALE: 3/8" = 1'-0" 5



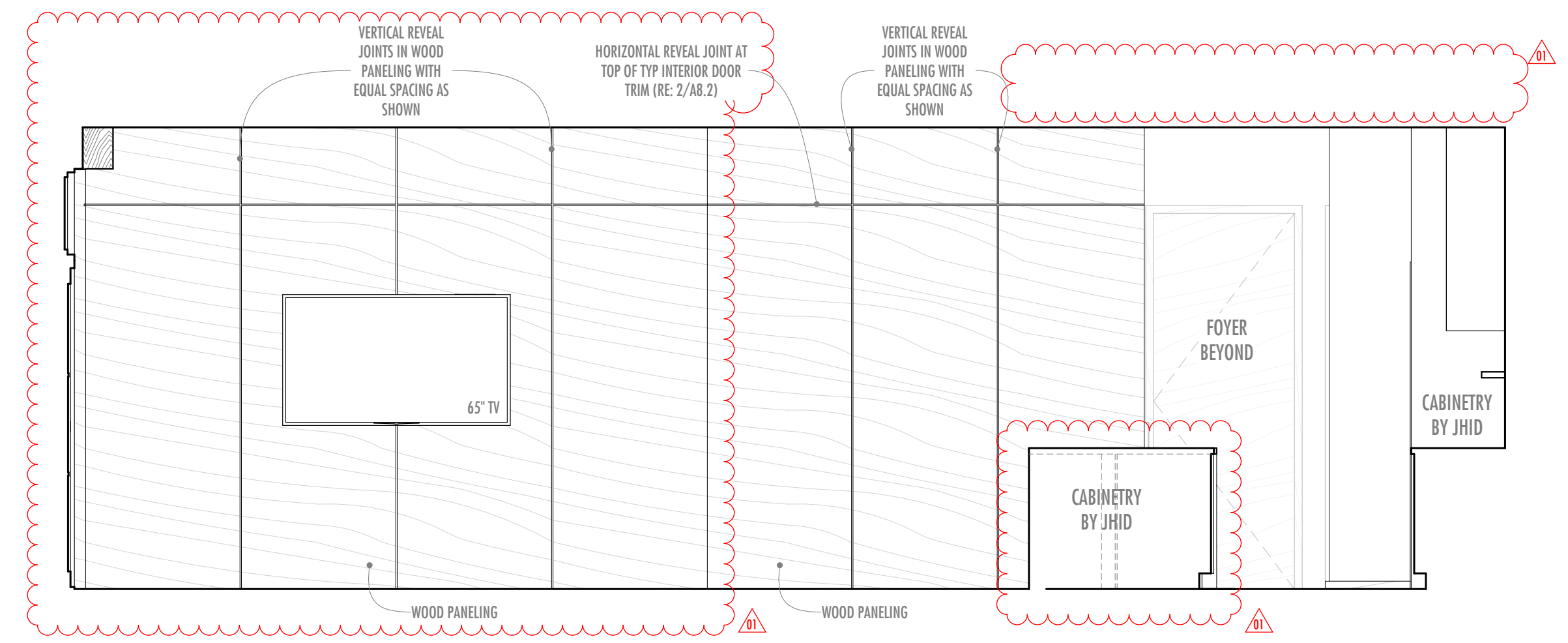
115/116/117 UNIT 1 LIVING / KITCHEN / DINING - WEST  
SCALE: 3/8" = 1'-0" 4



115/116/117 UNIT 1 LIVING / KITCHEN / DINING - SOUTH  
SCALE: 3/8" = 1'-0" 3



115/116/117 UNIT 1 LIVING / KITCHEN / DINING - EAST  
SCALE: 3/8" = 1'-0" 2



115/116/117 UNIT 1 LIVING / KITCHEN / DINING - NORTH  
SCALE: 3/8" = 1'-0" 1

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

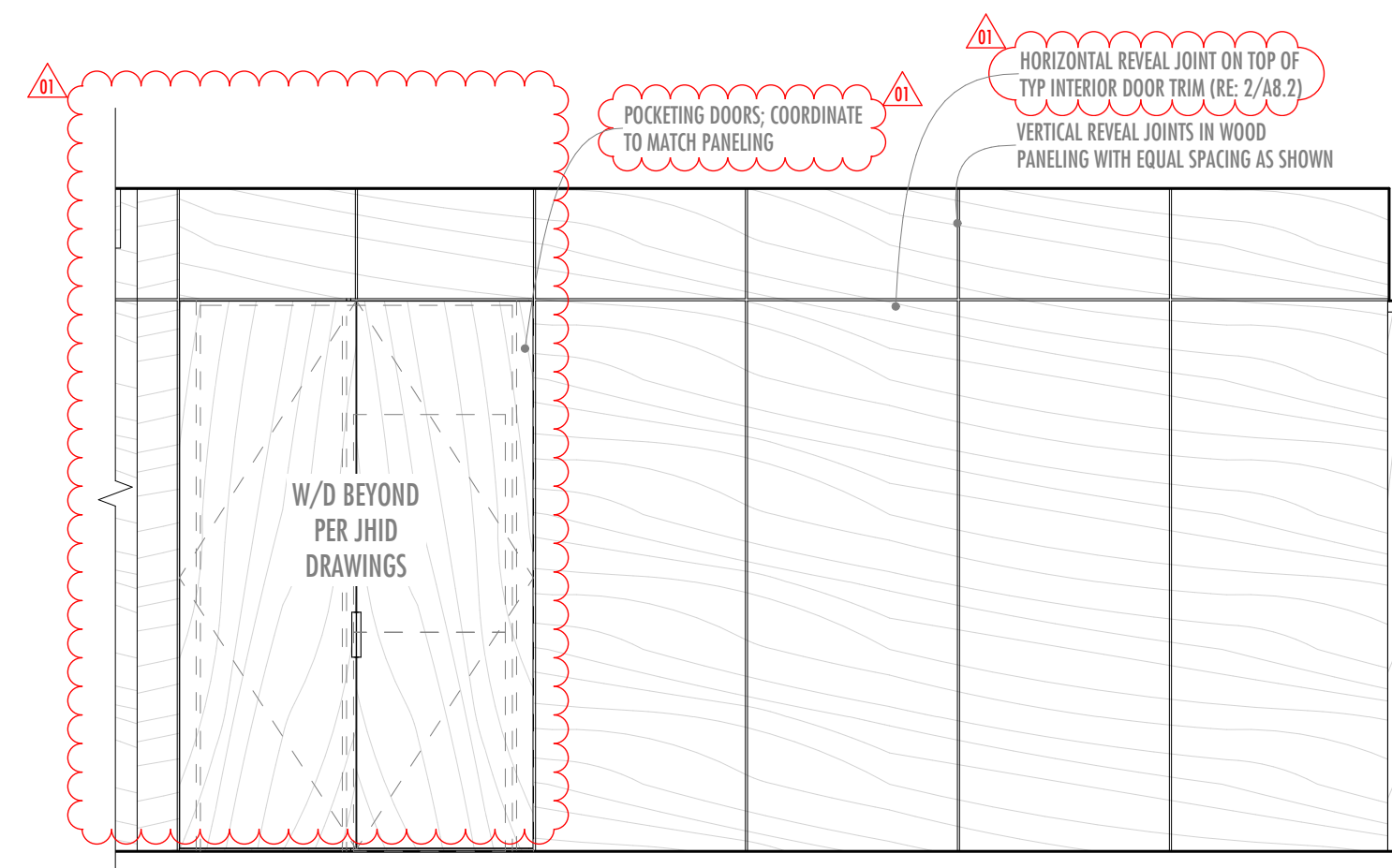
MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 05/12/2021  
ISSUED: CON SCHEMATIC PRESENTATION  
06/10/2021 CON HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2023 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

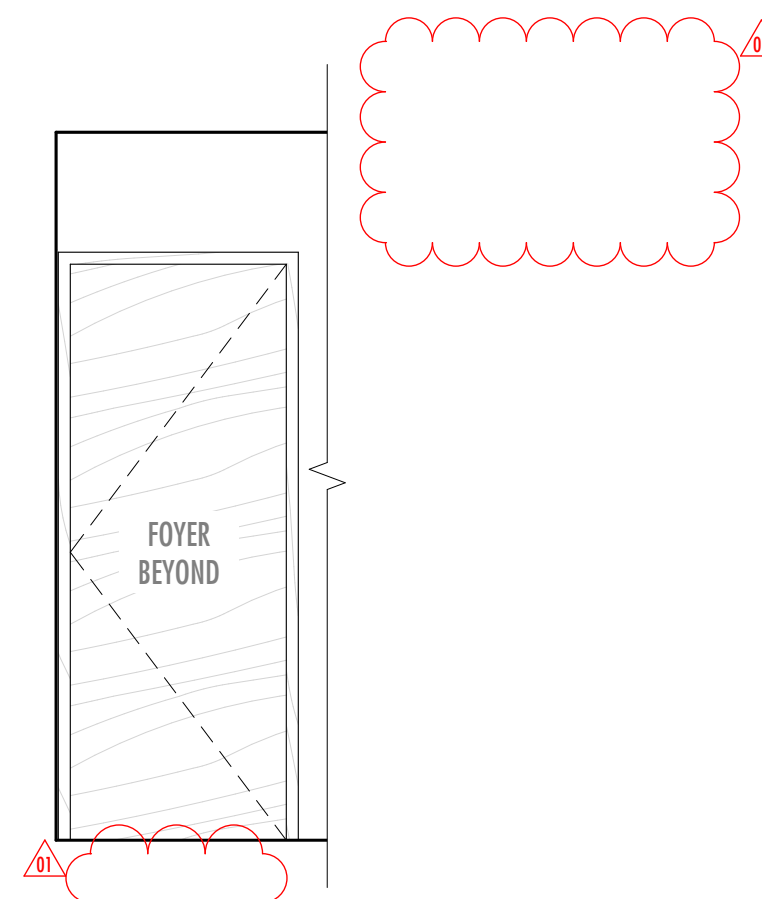
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DATE: 08/02/2023

**A 6.2**

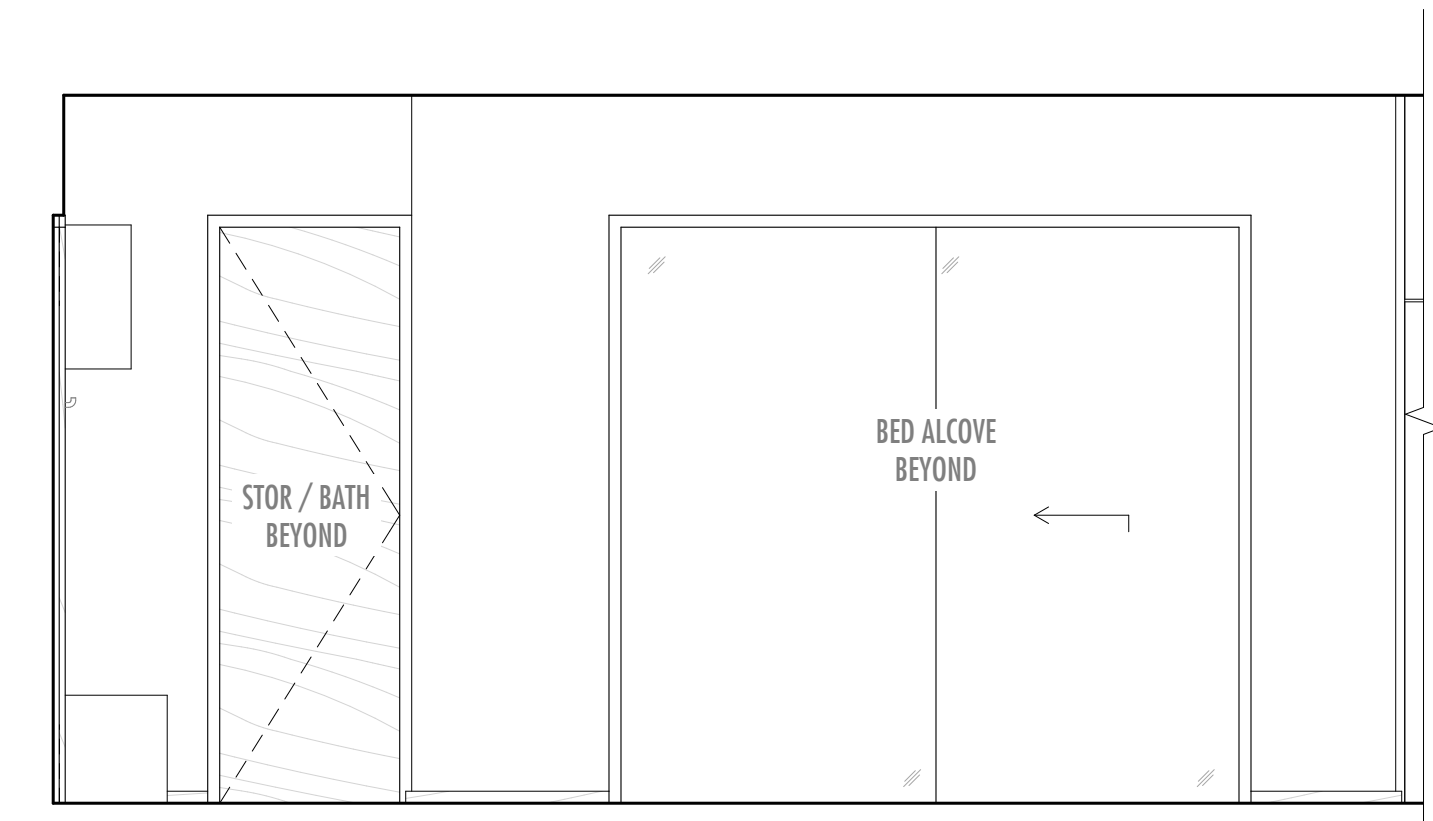
INTERIOR ELEVATIONS



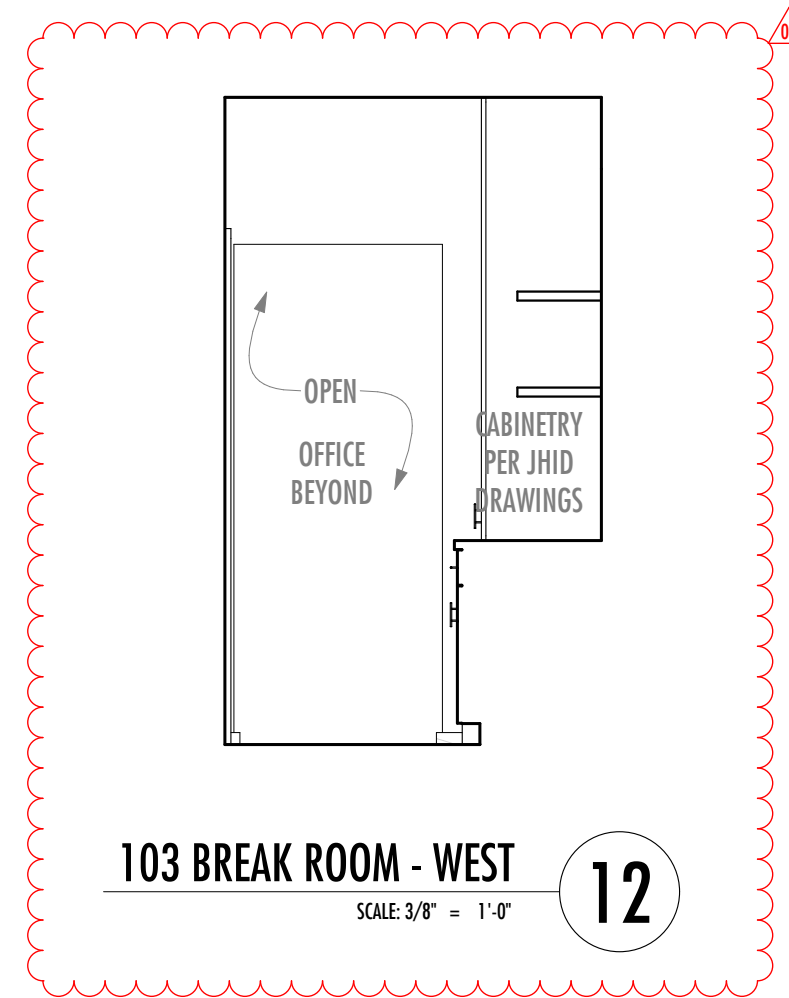
111 UNIT 1 HALL - WEST  
SCALE: 3/8" = 1'-0" 15



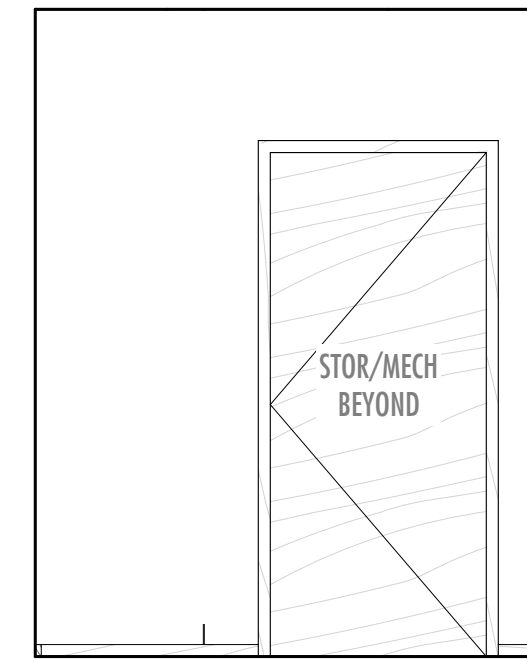
111 UNIT 1 HALL - NORTH  
SCALE: 3/8" = 1'-0" 14



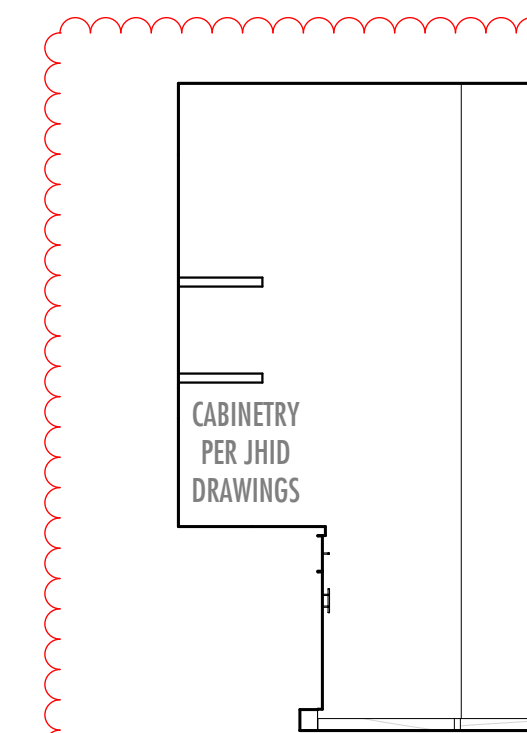
111 UNIT 1 HALL - EAST  
SCALE: 3/8" = 1'-0" 13



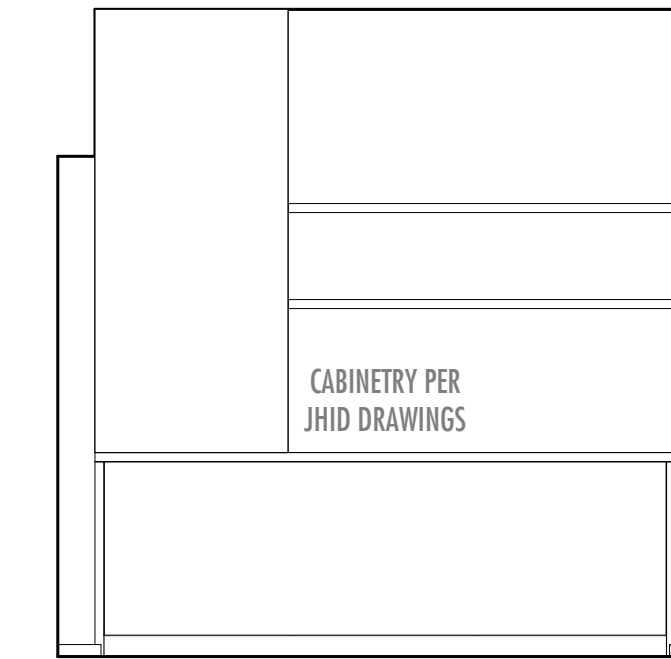
103 BREAK ROOM - WEST  
SCALE: 3/8" = 1'-0" 12



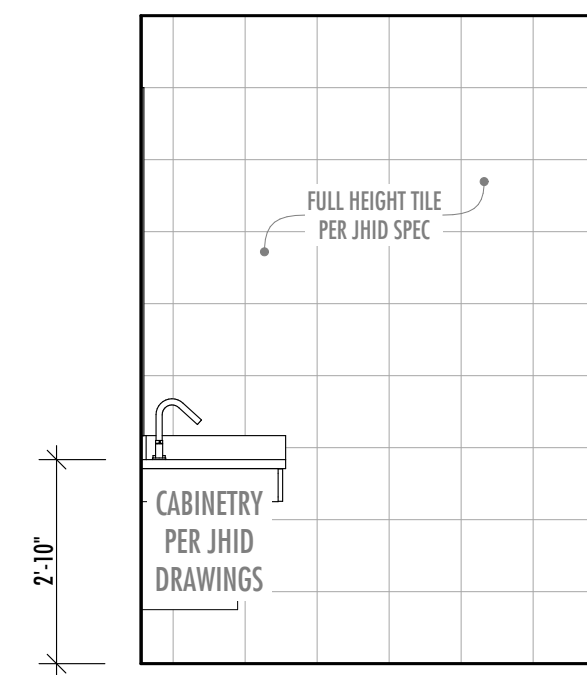
103 BREAK ROOM - SOUTH  
SCALE: 3/8" = 1'-0" 11



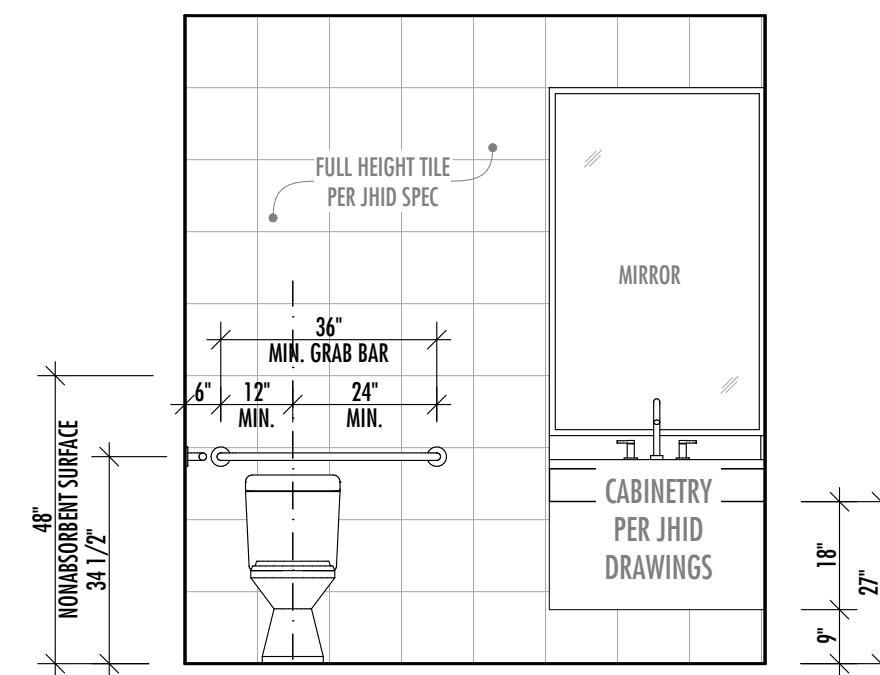
103 BREAK ROOM - EAST  
SCALE: 3/8" = 1'-0" 10



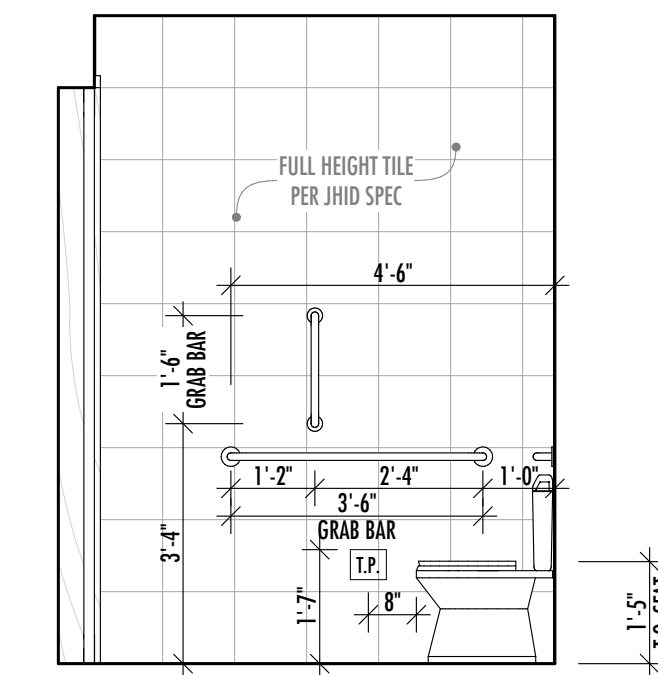
103 BREAK ROOM - NORTH  
SCALE: 3/8" = 1'-0" 9



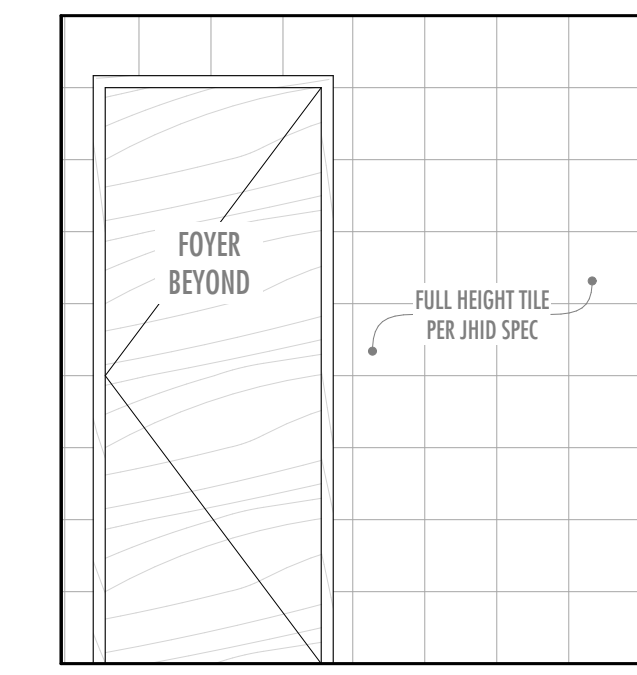
105 HC BATH - WEST  
SCALE: 3/8" = 1'-0" 8



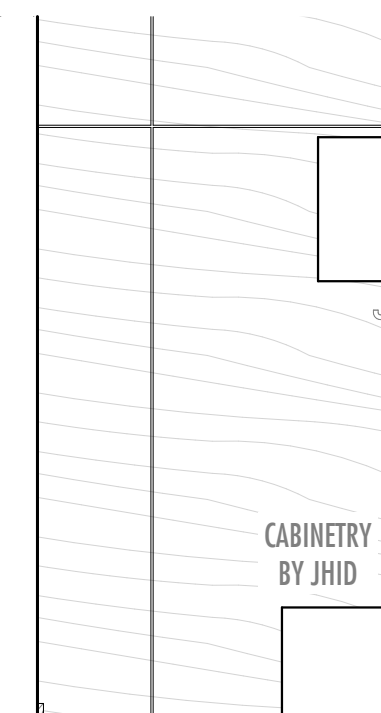
105 HC BATH - SOUTH  
SCALE: 3/8" = 1'-0" 7



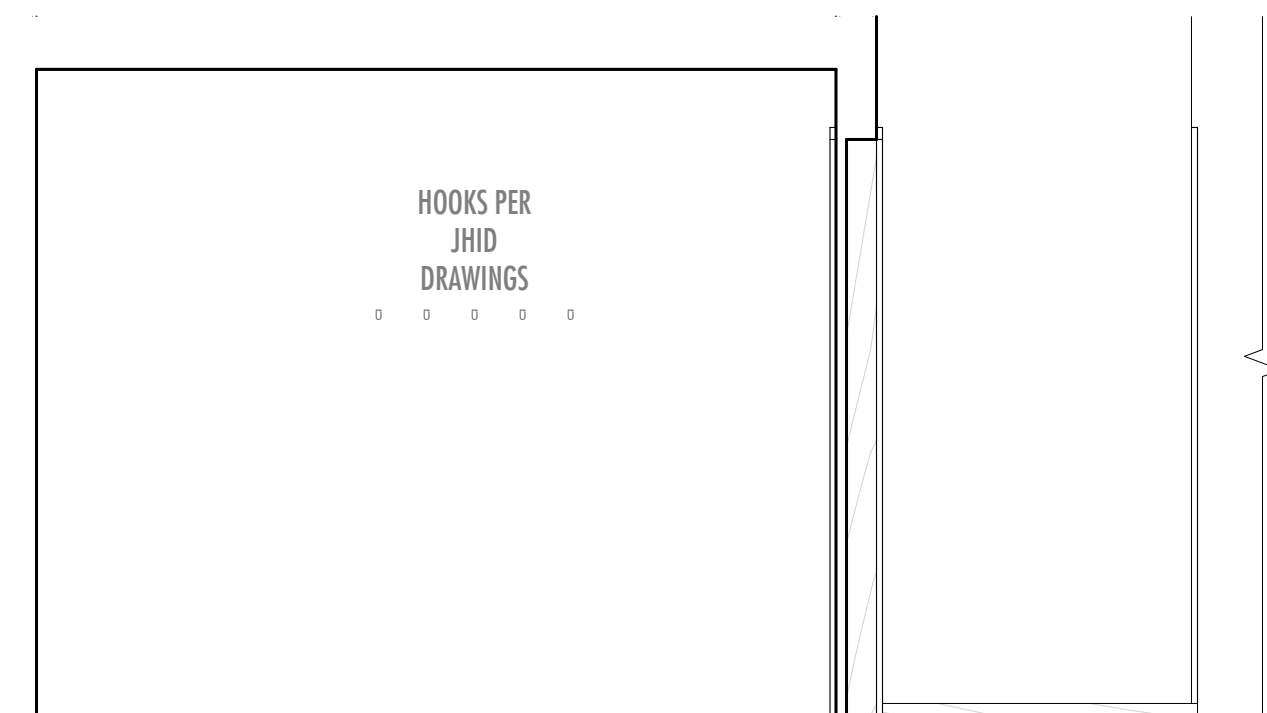
105 HC BATH - EAST  
SCALE: 3/8" = 1'-0" 6



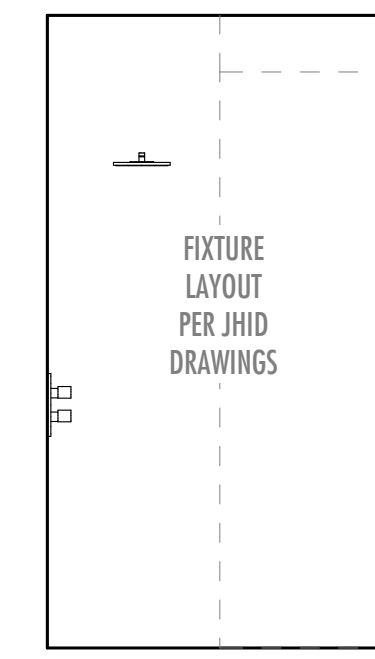
105 HC BATH - NORTH  
SCALE: 3/8" = 1'-0" 5



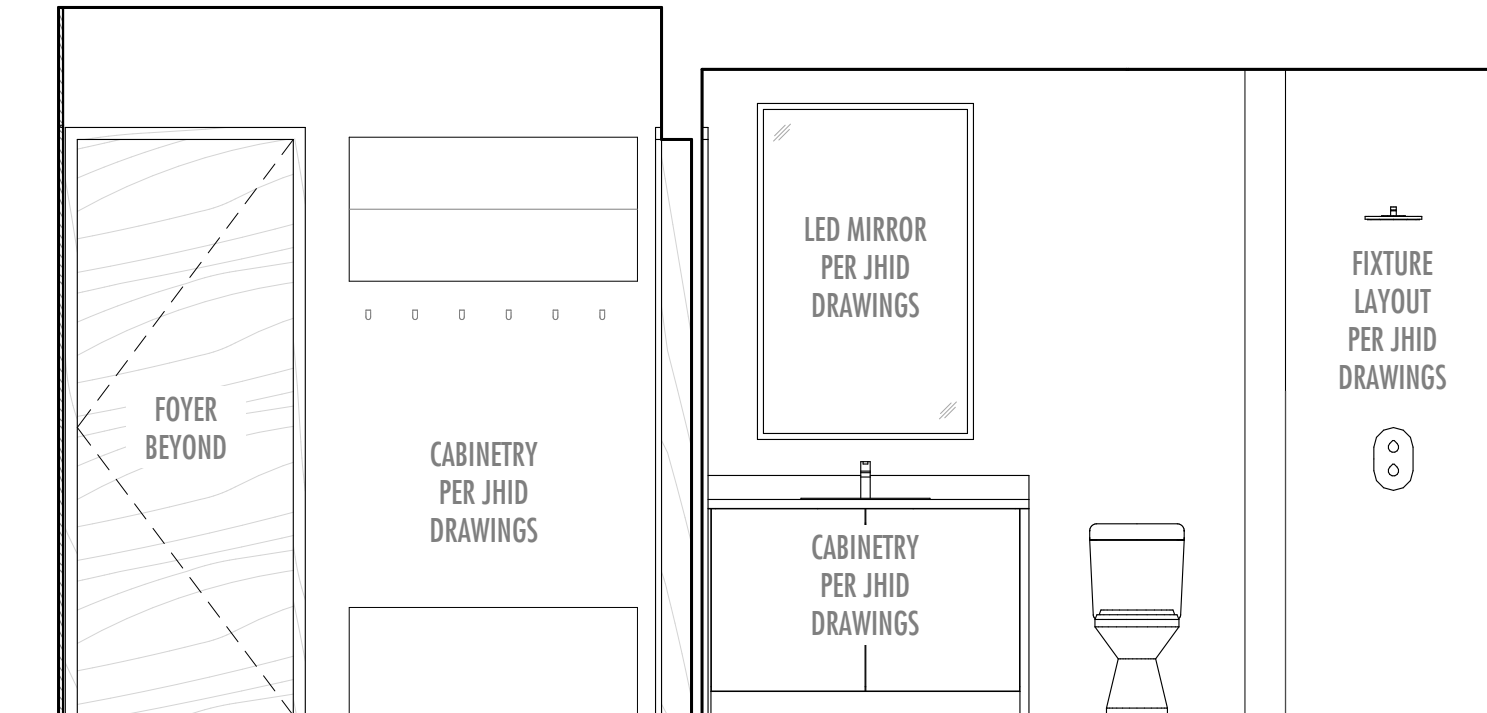
113 UNIT 1 BATH / MUD RM - WEST  
SCALE: 3/8" = 1'-0" 4



UNIT 1 BATH / MUD RM - SOUTH  
SCALE: 3/8" = 1'-0" 3



113 UNIT 1 BATH / MUD RM - EAST  
SCALE: 3/8" = 1'-0" 2



113 UNIT 1 BATH / MUD RM - NORTH  
SCALE: 3/8" = 1'-0" 1

# 380 N. 1st Ave. Mixed-Use Building

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**ARCHITECTS**

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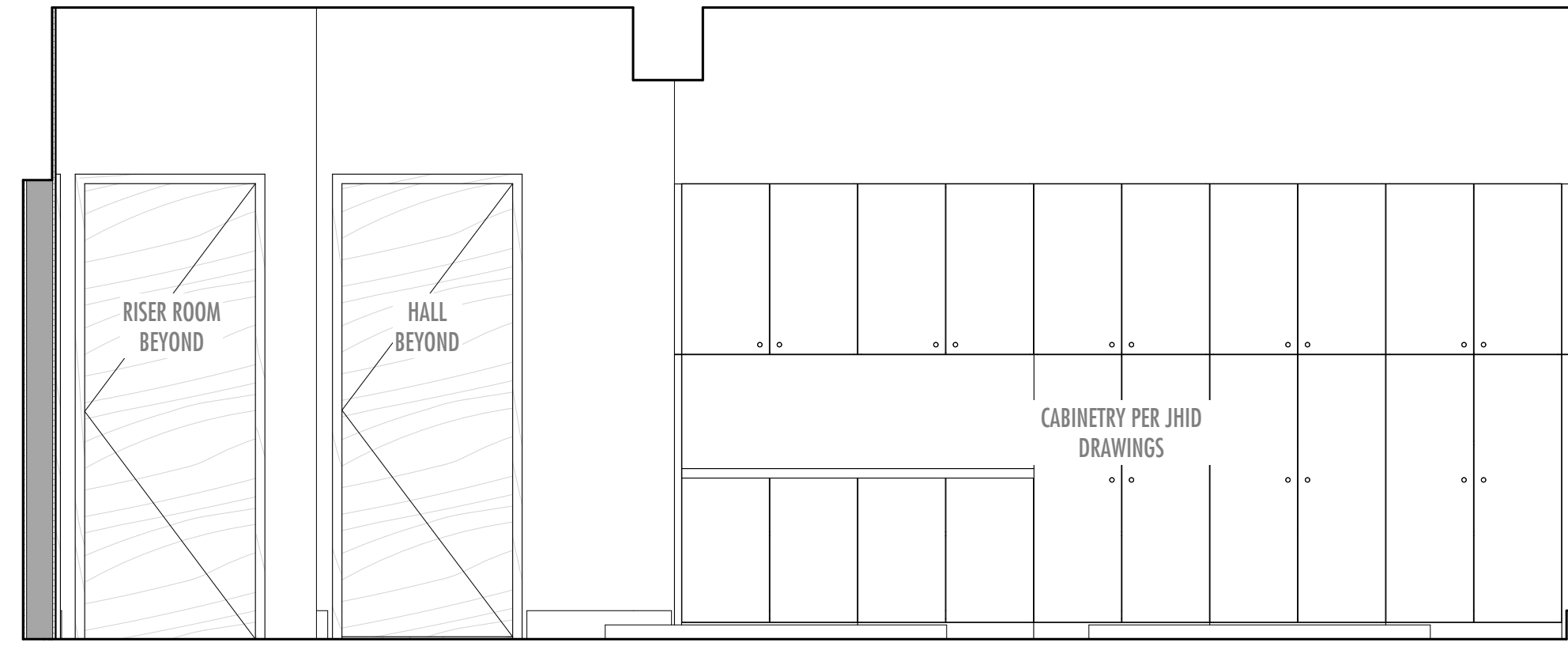
**DRAWINGS**  
DATE: 05/12/2021  
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NUMBER: 01  
DATE: 08/02/2023

**A 6.3**

INTERIOR ELEVATIONS

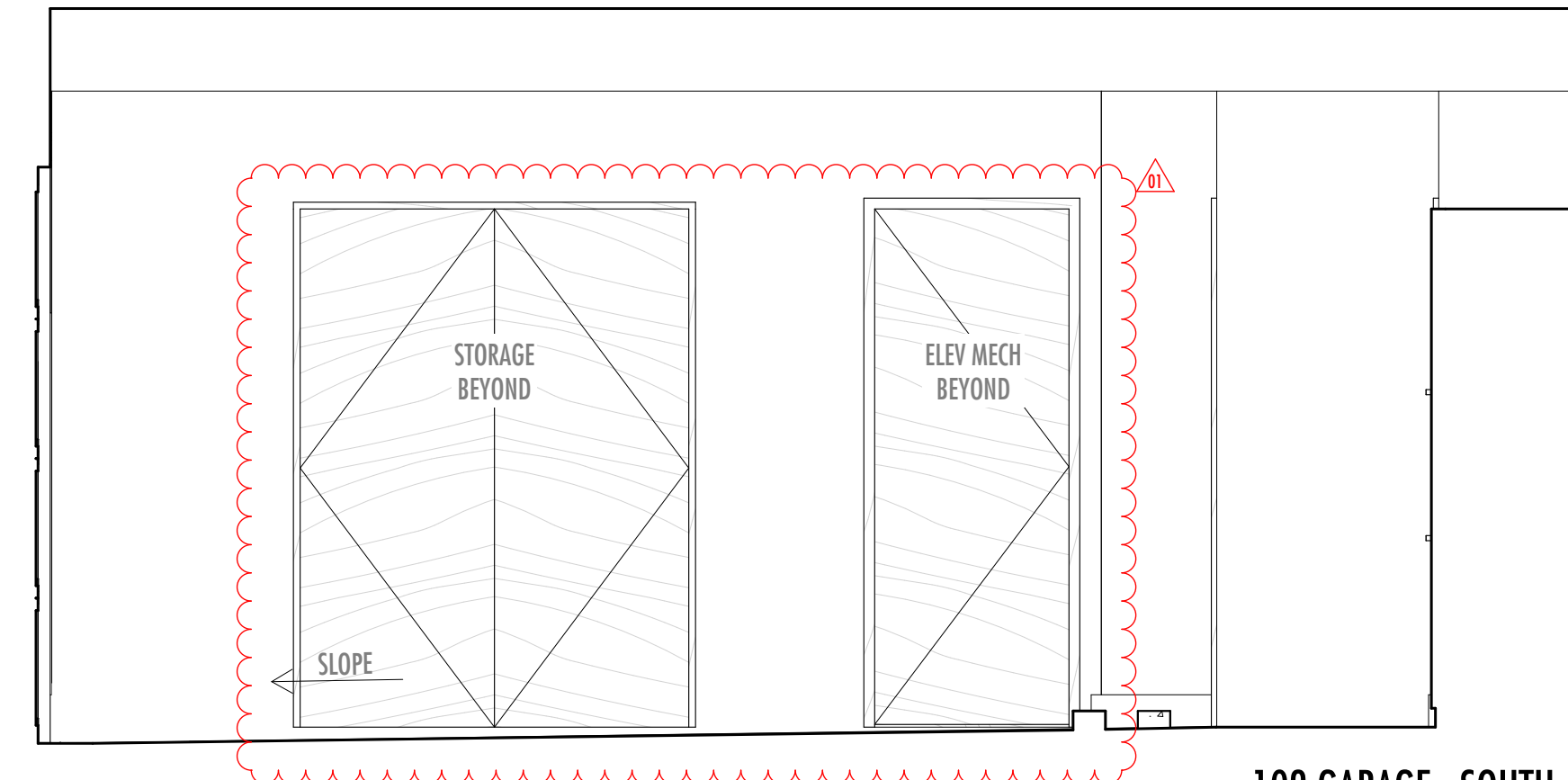
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109 GARAGE - WEST

SCALE: 3/8" = 1'-0"

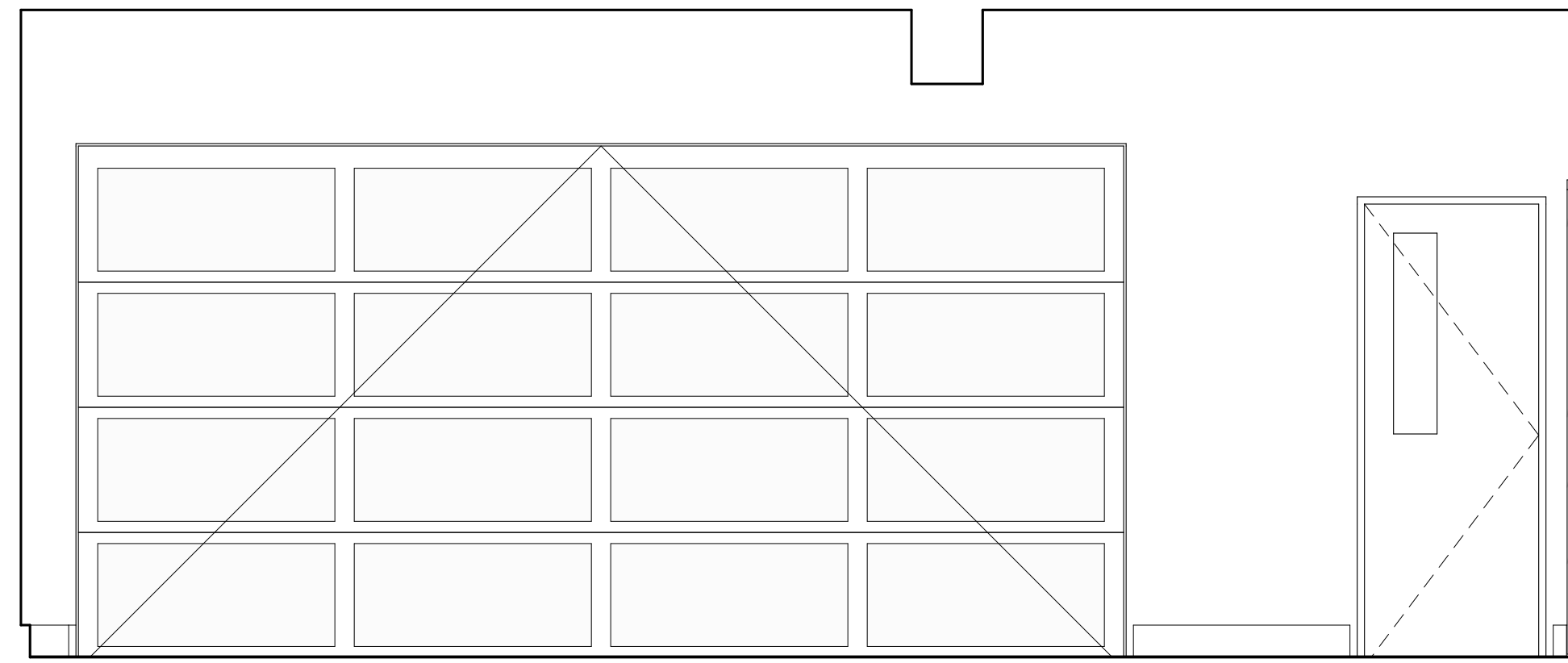
8



109 GARAGE - SOUTH

SCALE: 3/8" = 1'-0"

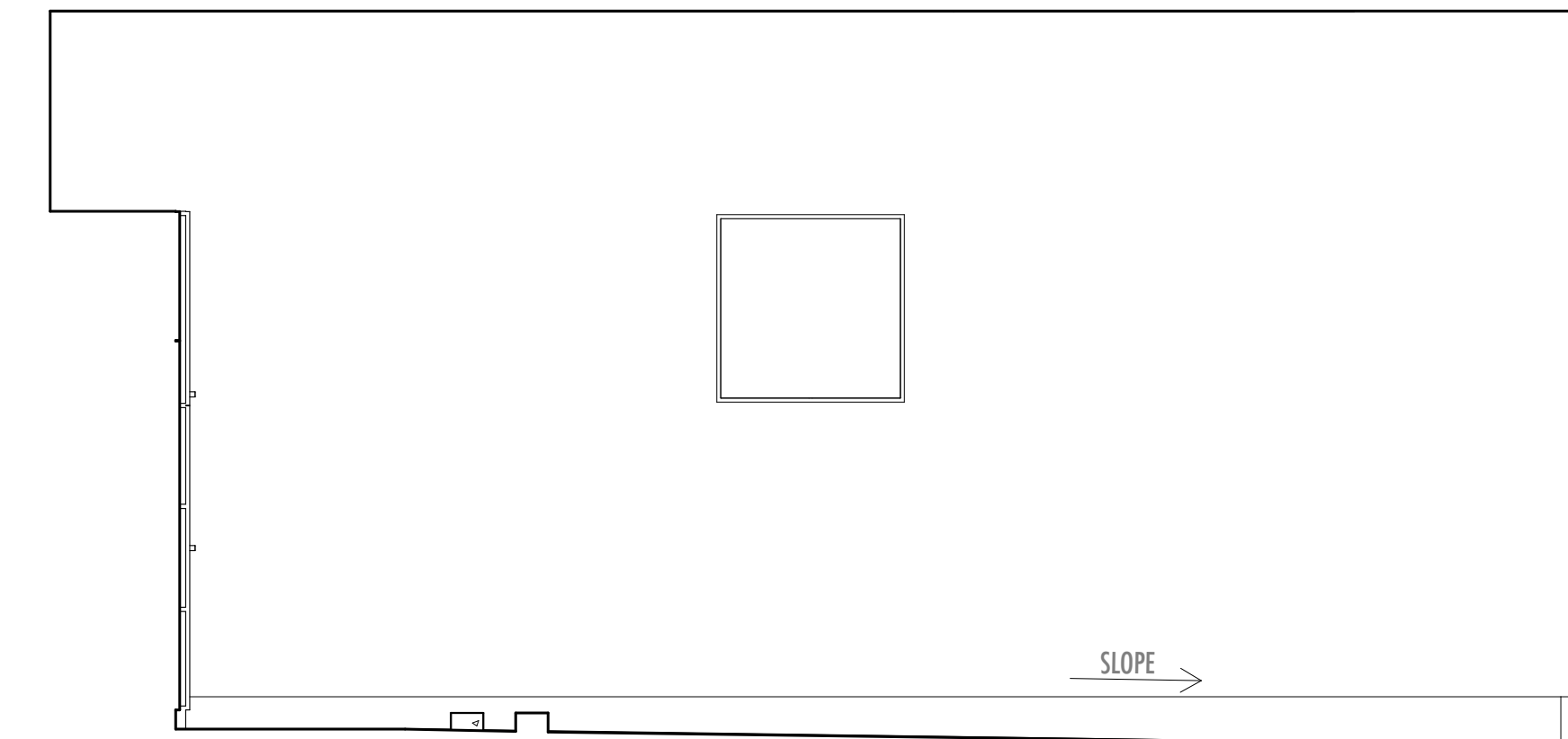
7



109 GARAGE - EAST

SCALE: 3/8" = 1'-0"

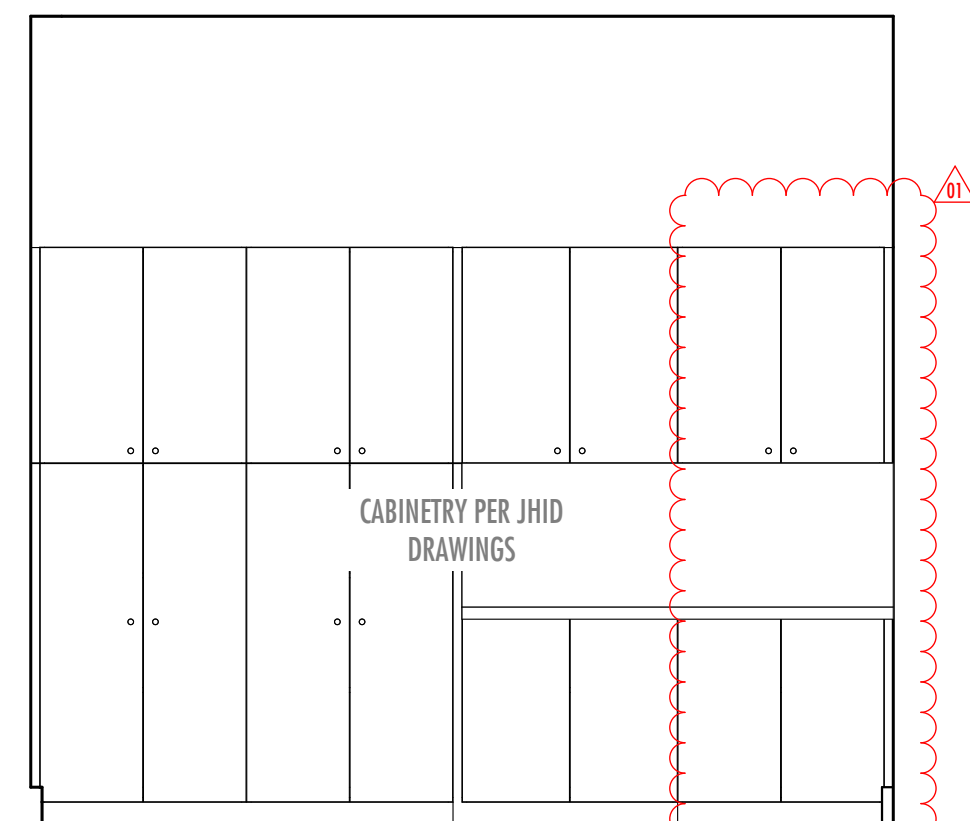
6



109 GARAGE - NORTH

SCALE: 3/8" = 1'-0"

5



108 GARAGE - WEST

SCALE: 3/8" = 1'-0"

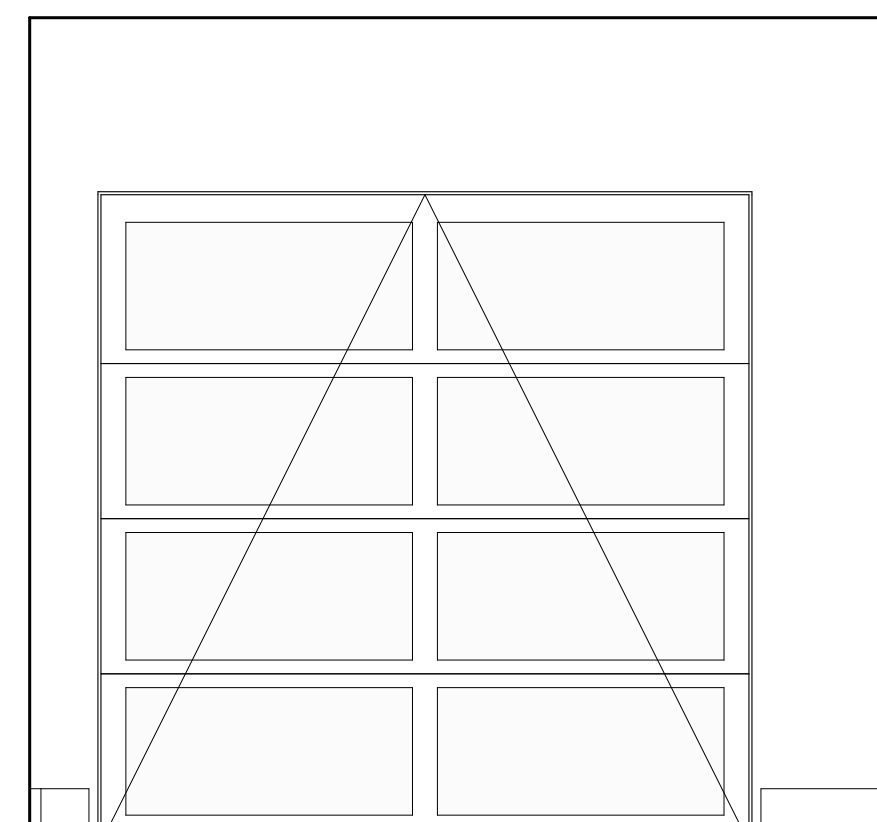
4



108 GARAGE - SOUTH

SCALE: 3/8" = 1'-0"

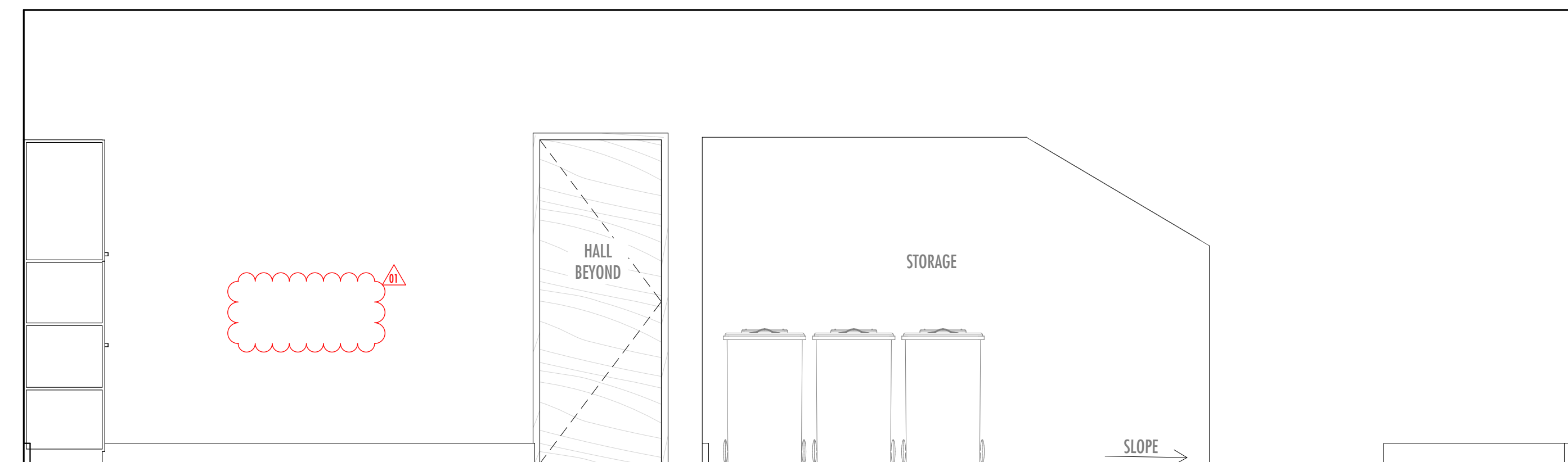
3



108 GARAGE - EAST

SCALE: 3/8" = 1'-0"

2



108 GARAGE - NORTH

SCALE: 3/8" = 1'-0"

1

# 380 N. 1st Ave. Mixed-Use Building

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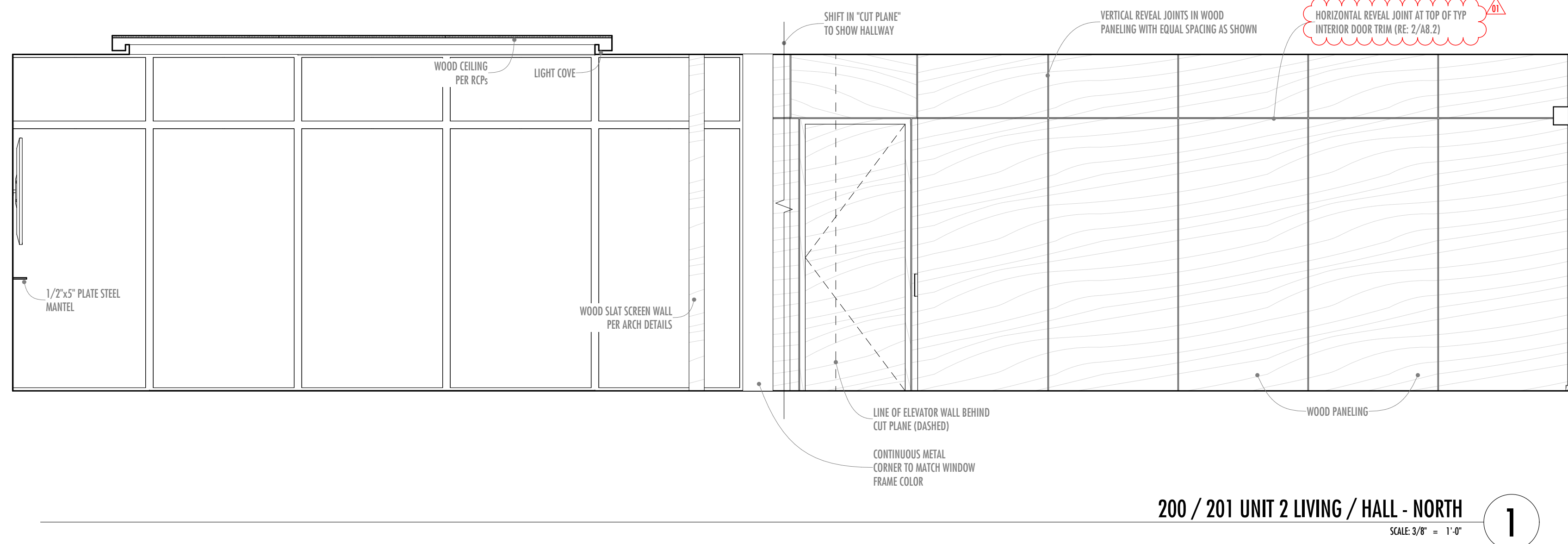
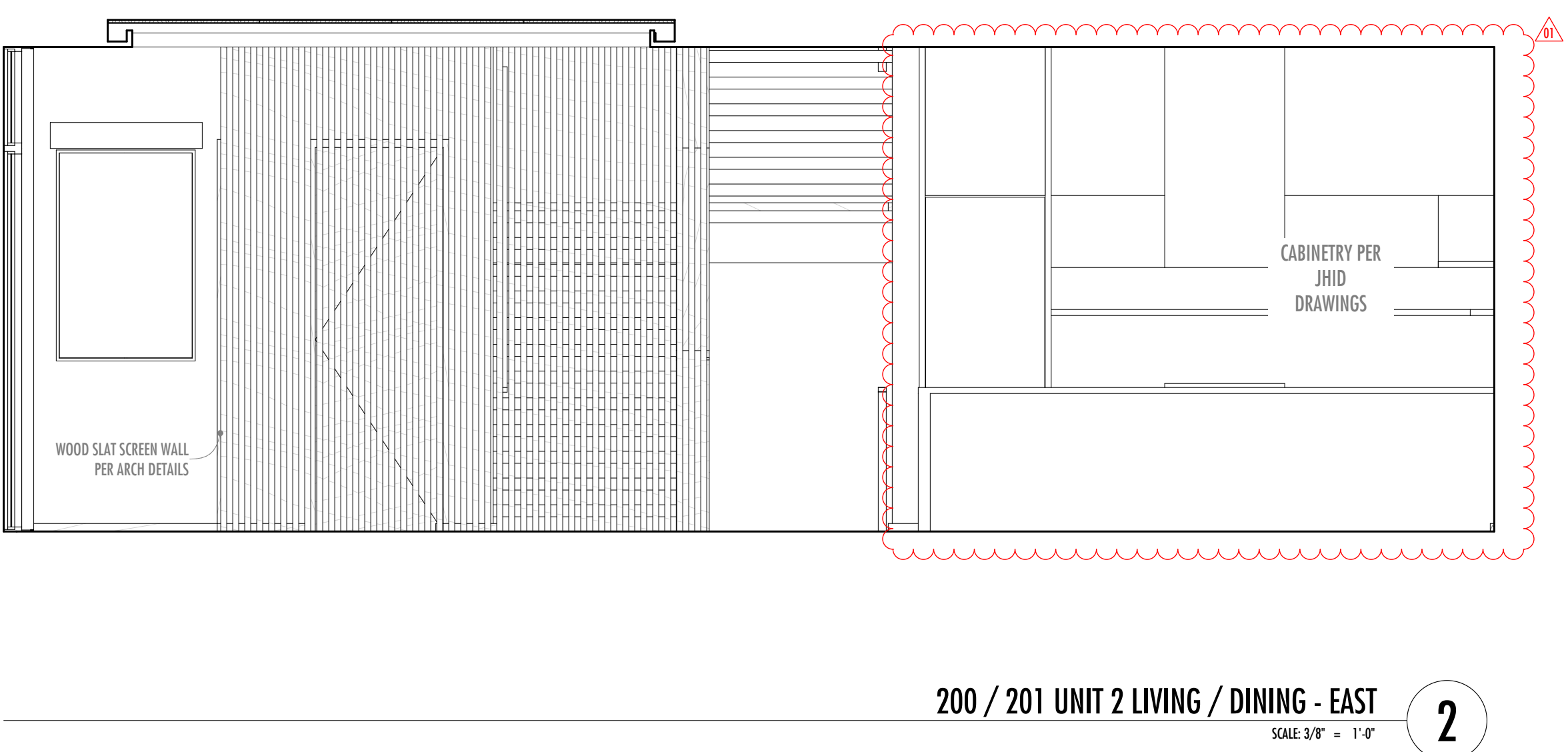
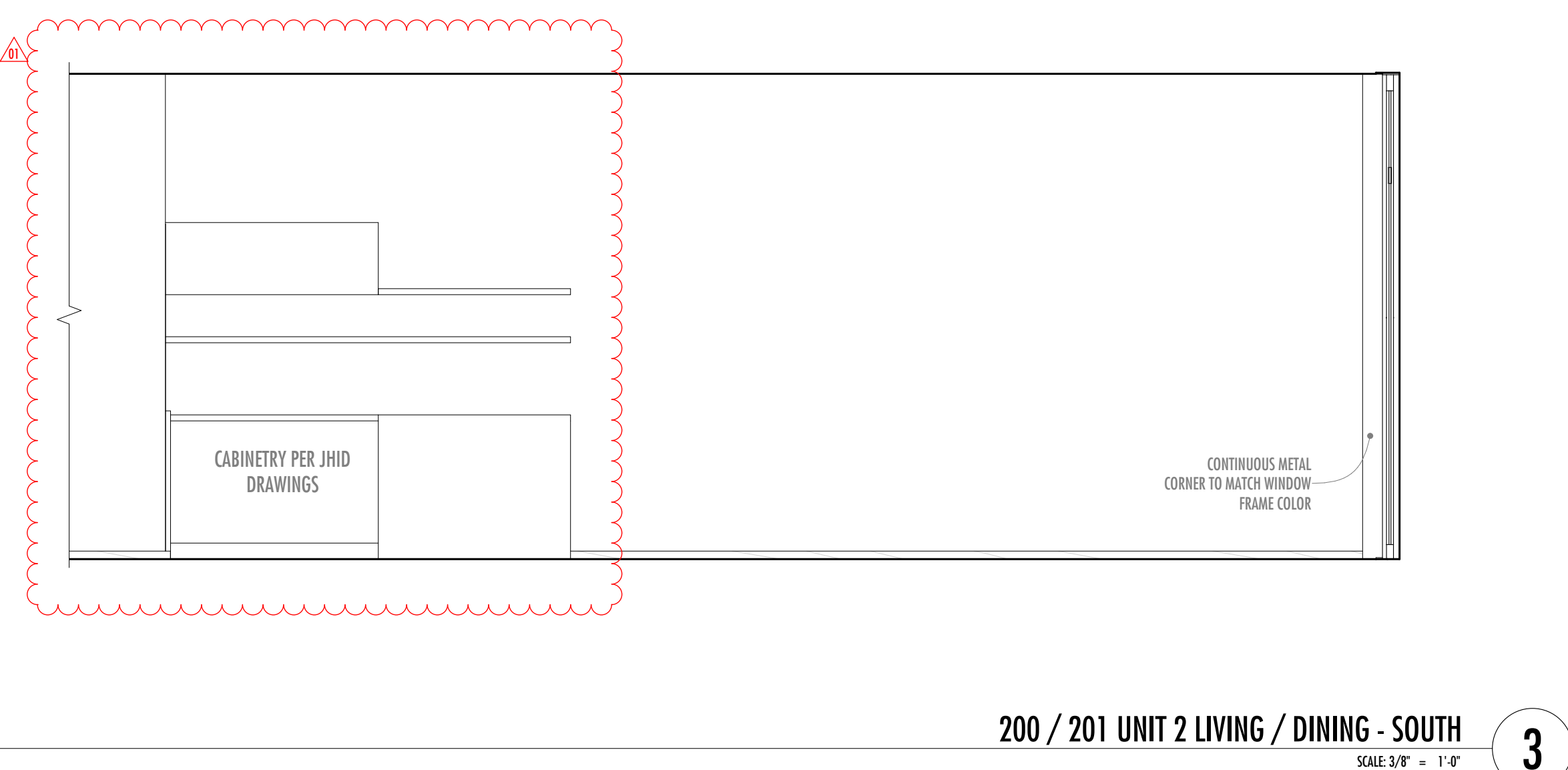
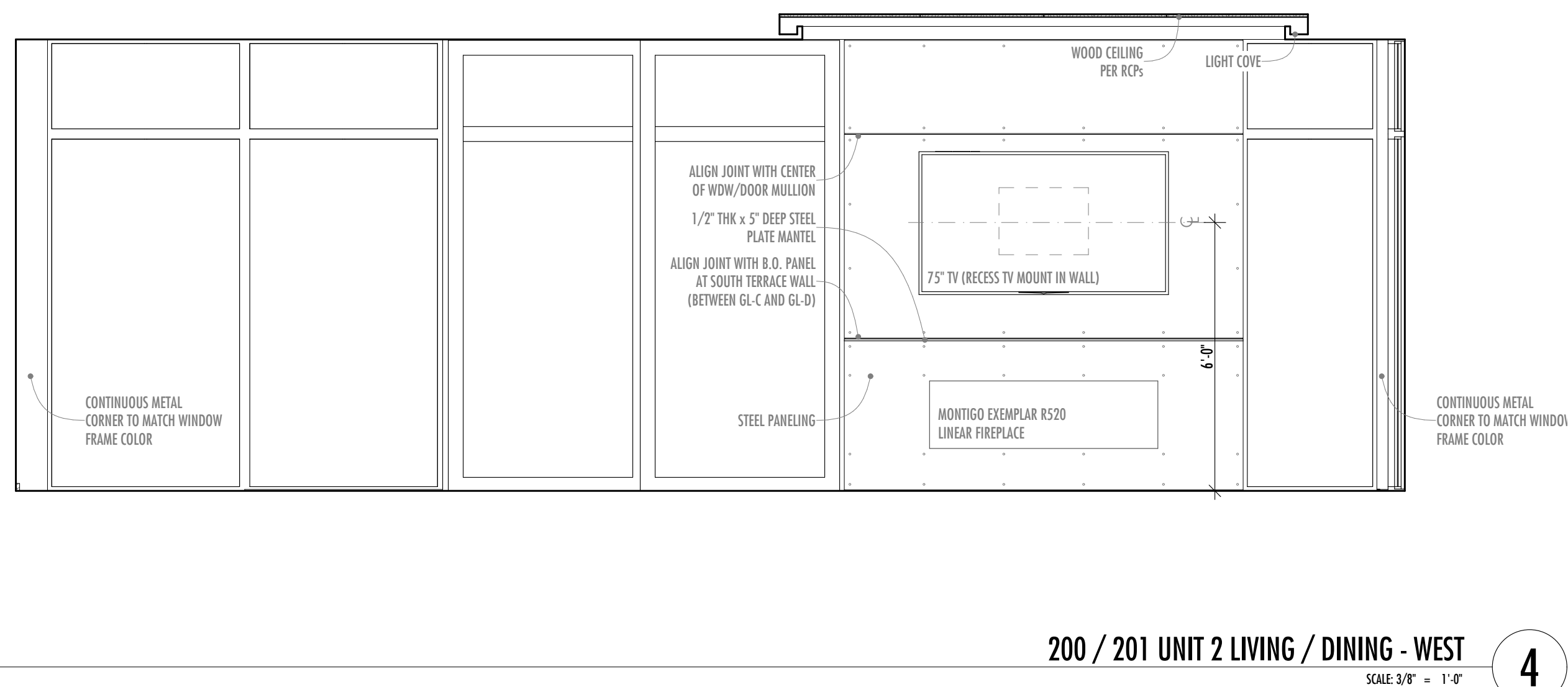
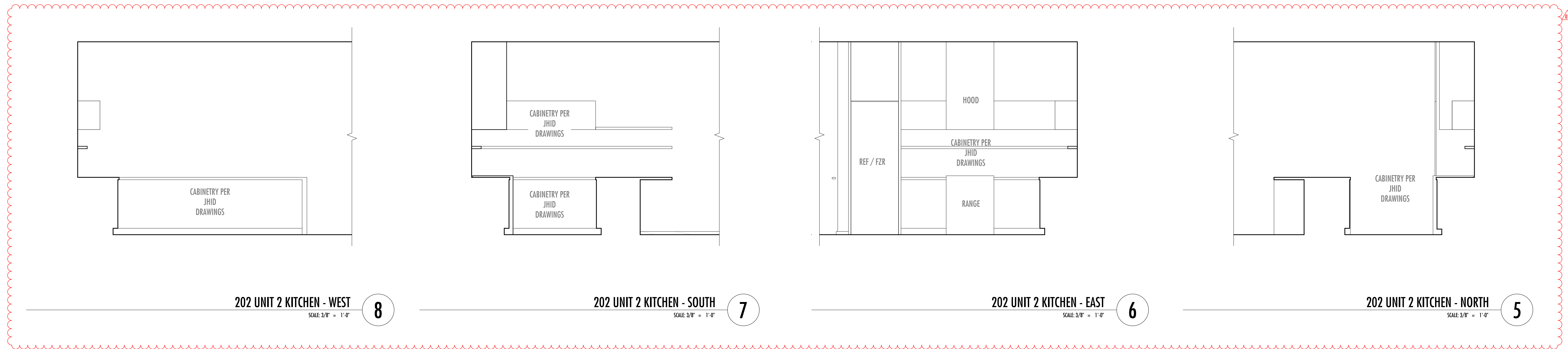
DATE: 05/12/2021  
ISSUED: CON SCHEMATIC PRESENTATION  
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**REVISIONS**

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# A 6.4

INTERIOR ELEVATIONS



# 380 N. 1st Ave. Mixed-Use Building

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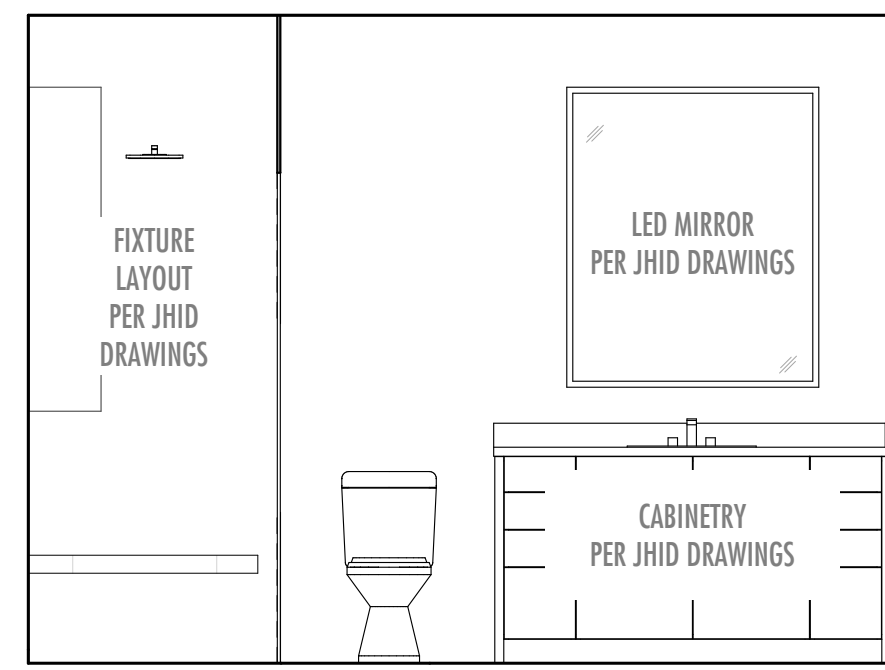
**DRAWINGS**  
 DATE: 05/12/2021 ISSUED: COX SCHEMATIC PRESENTATION  
 06/10/2021 COX HPC REVIEW  
 09/30/2021 DESIGN REVIEW  
 04/22/2022 PRICING SET  
 08/05/2022 PERMIT  
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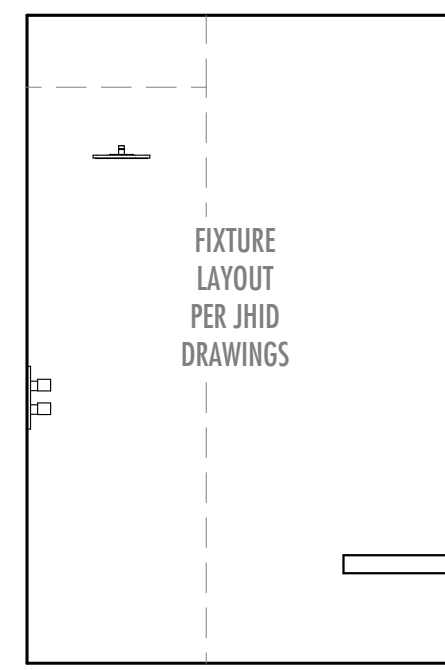
**A 6.5**

INTERIOR ELEVATIONS

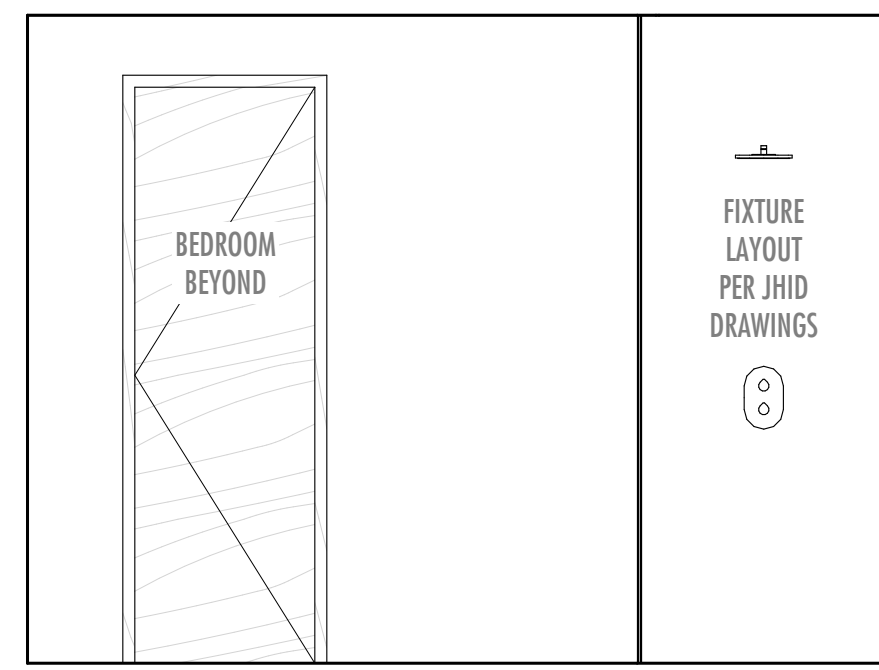
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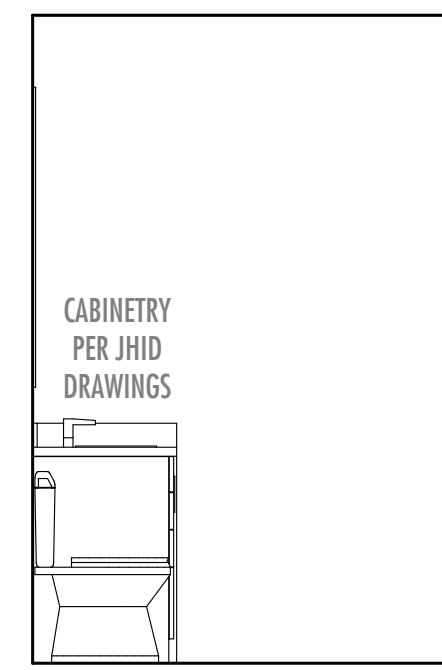
207 BATH 2 - WEST  
SCALE: 3/8" = 1'-0" 12



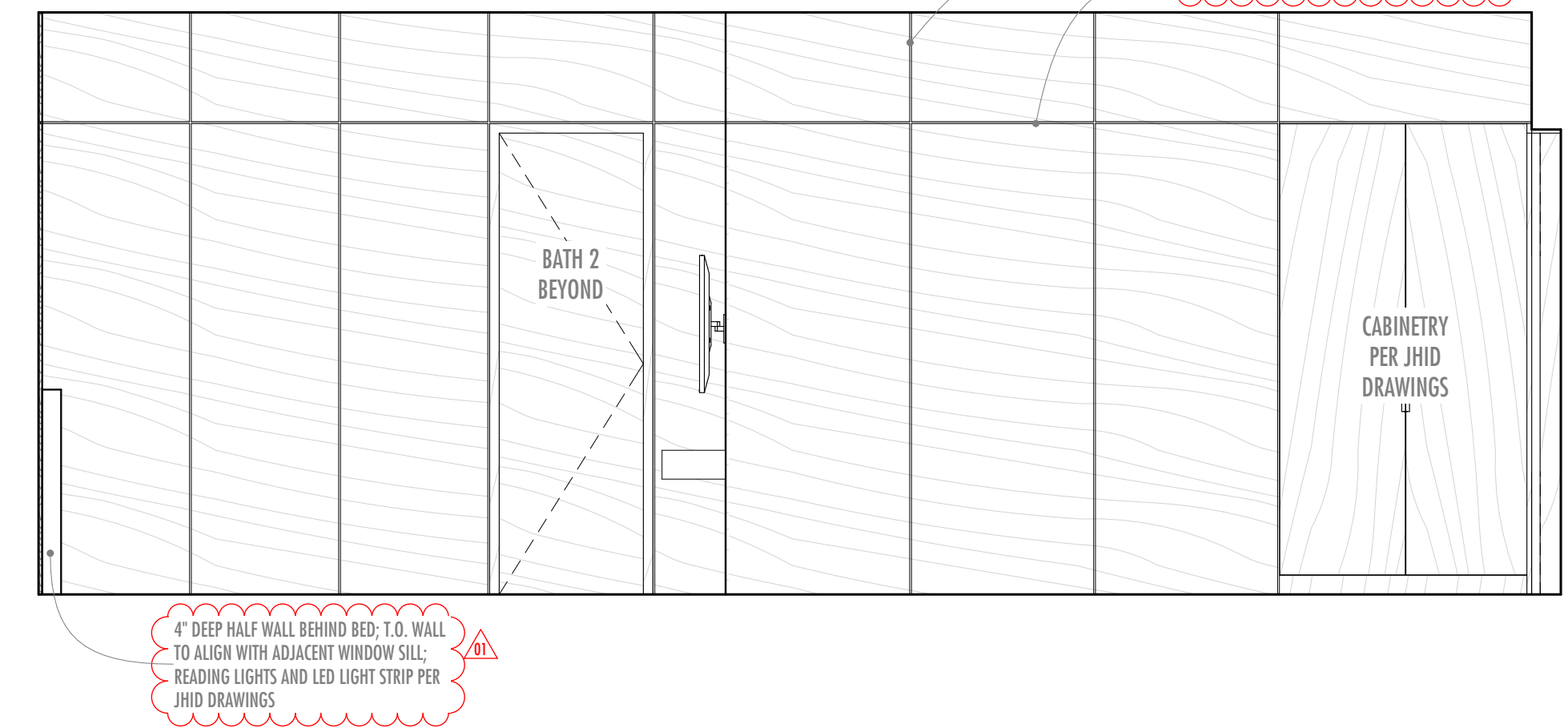
207 BATH 2 - SOUTH  
SCALE: 3/8" = 1'-0" 11



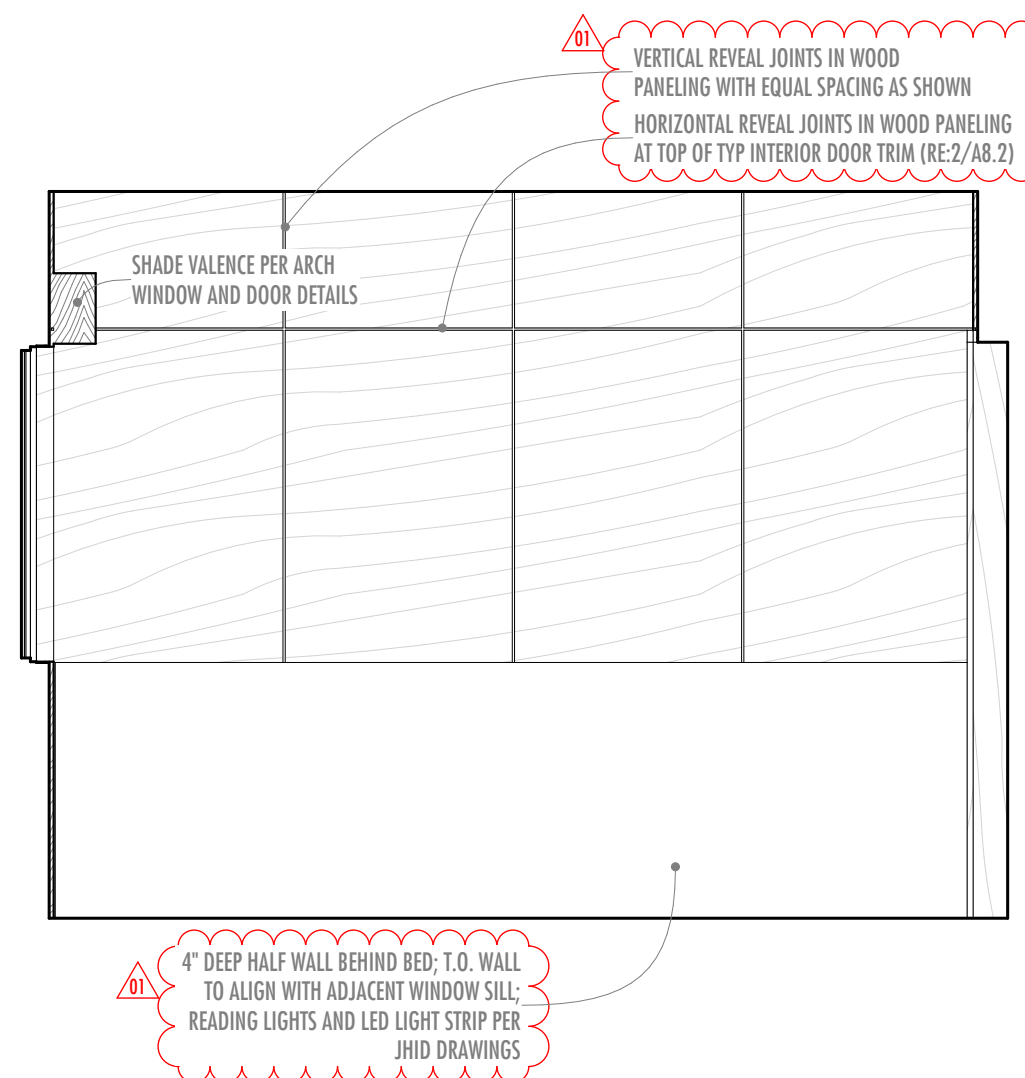
207 BATH 2 - EAST  
SCALE: 3/8" = 1'-0" 10



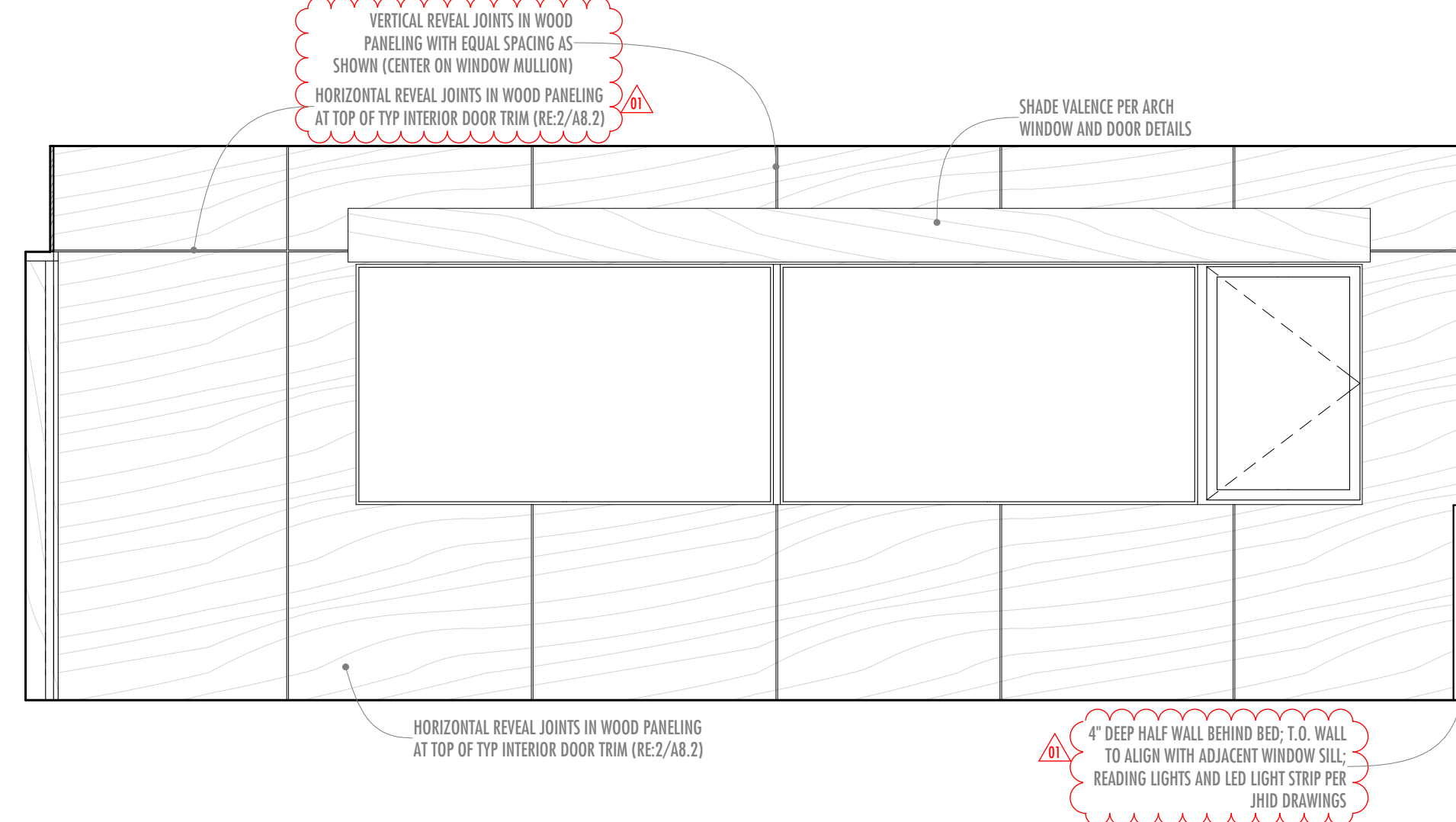
207 BATH 2 - NORTH  
SCALE: 3/8" = 1'-0" 9



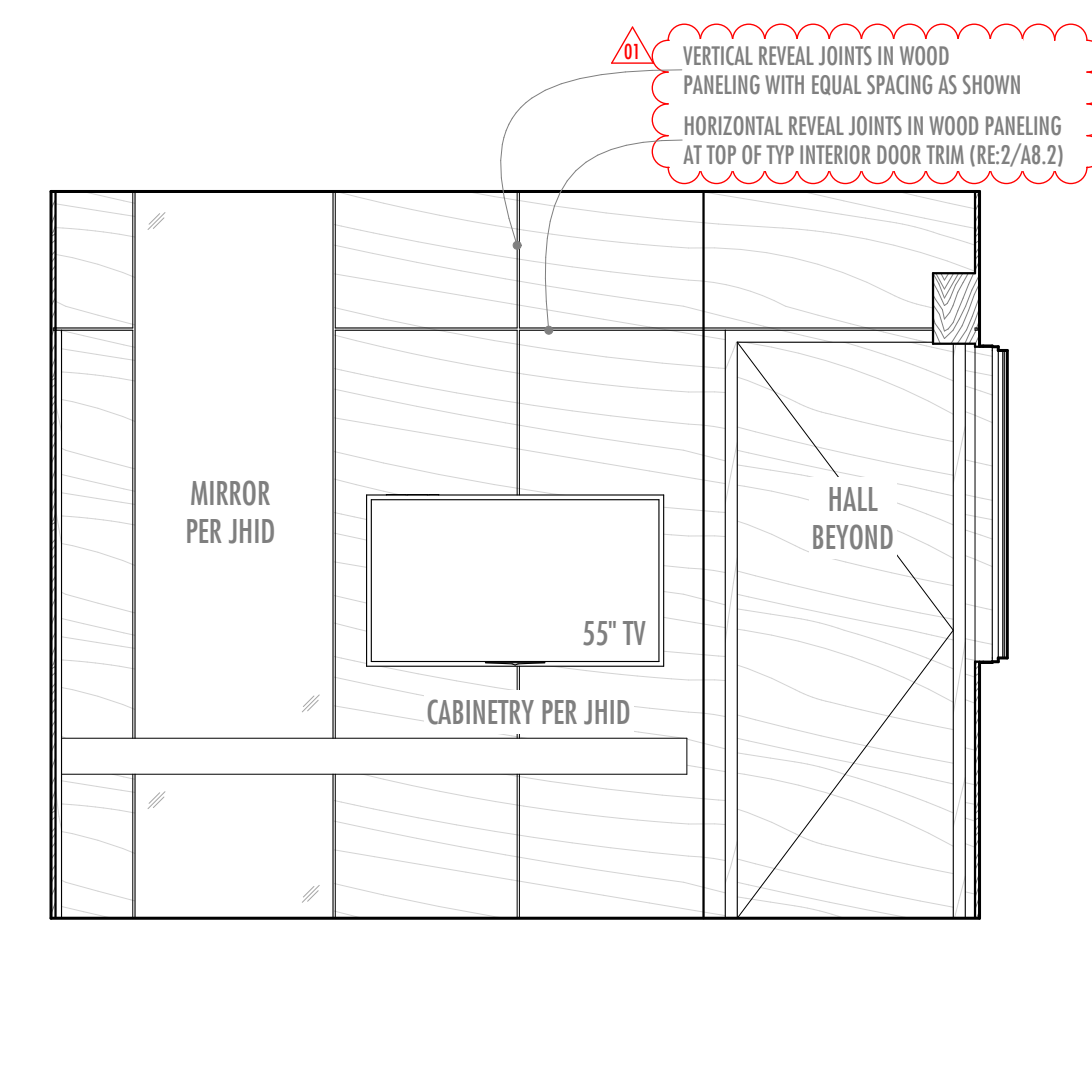
206 BEDROOM 2 - WEST  
SCALE: 3/8" = 1'-0" 8



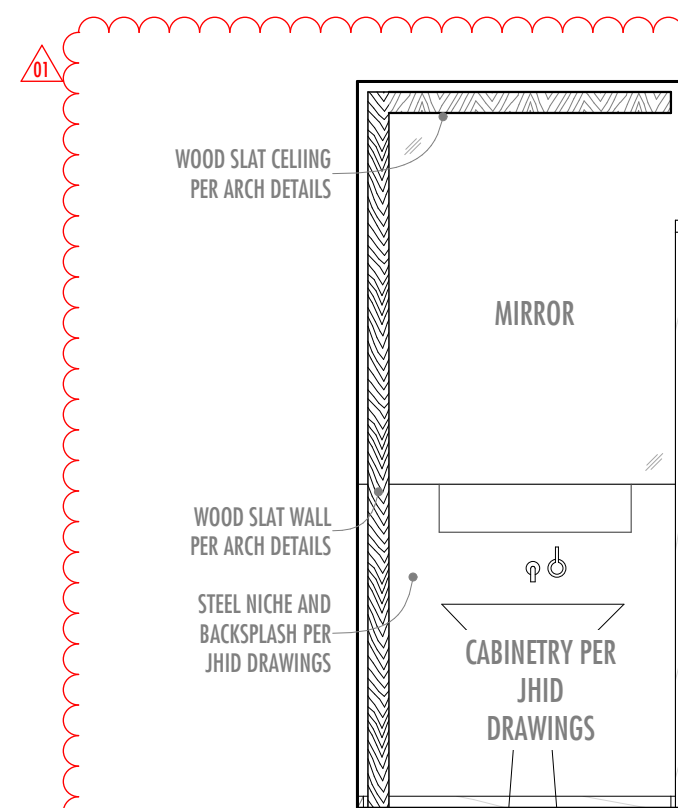
206 BEDROOM 2 - SOUTH  
SCALE: 3/8" = 1'-0" 7



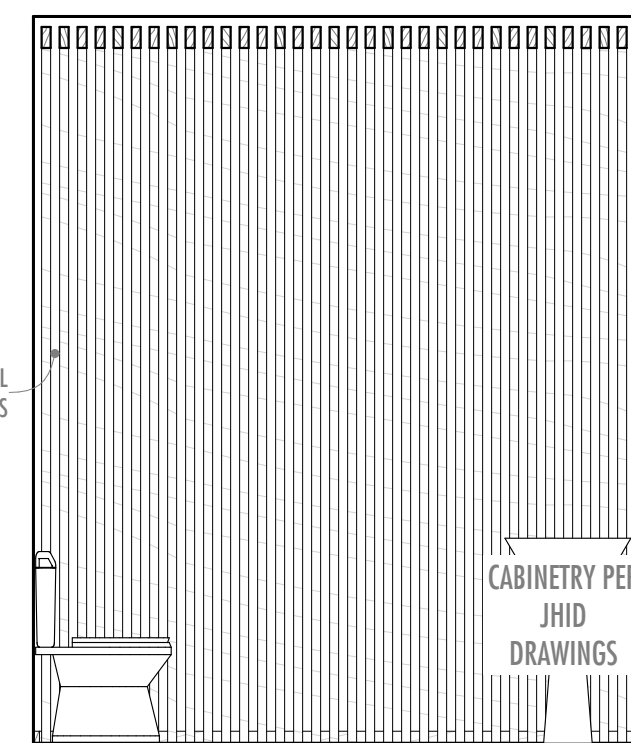
206 BEDROOM 2 - EAST  
SCALE: 3/8" = 1'-0" 6



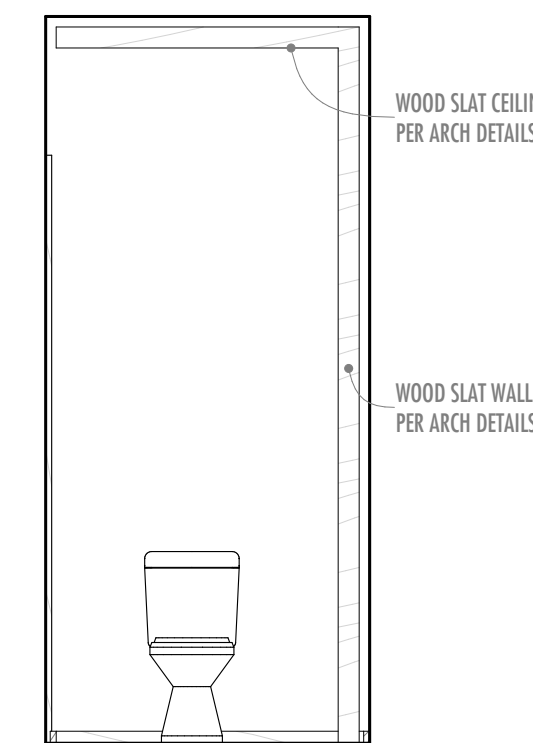
206 BEDROOM 2 - NORTH  
SCALE: 3/8" = 1'-0" 5



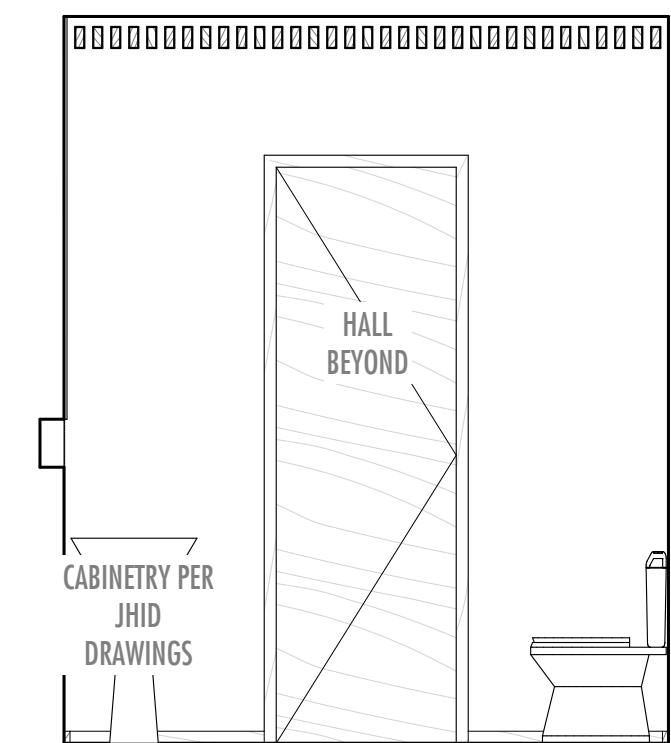
205 POWDER - WEST  
SCALE: 3/8" = 1'-0" 4



205 POWDER - SOUTH  
SCALE: 3/8" = 1'-0" 3



205 POWDER - EAST  
SCALE: 3/8" = 1'-0" 2



205 POWDER - NORTH  
SCALE: 3/8" = 1'-0" 1

# 380 N. 1st Ave. Mixed-Use Building

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**WILLIAMS PARTNERS**

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WWW WILLIAMS-PARTNERS.COM

DRAWINGS  
DATE: 05/12/2021  
ISSUED: COK SCHEMATIC PRESENTATION  
06/10/2021 COK HPC REVIEW  
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REVISIONS  
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# A 6.6

INTERIOR ELEVATIONS

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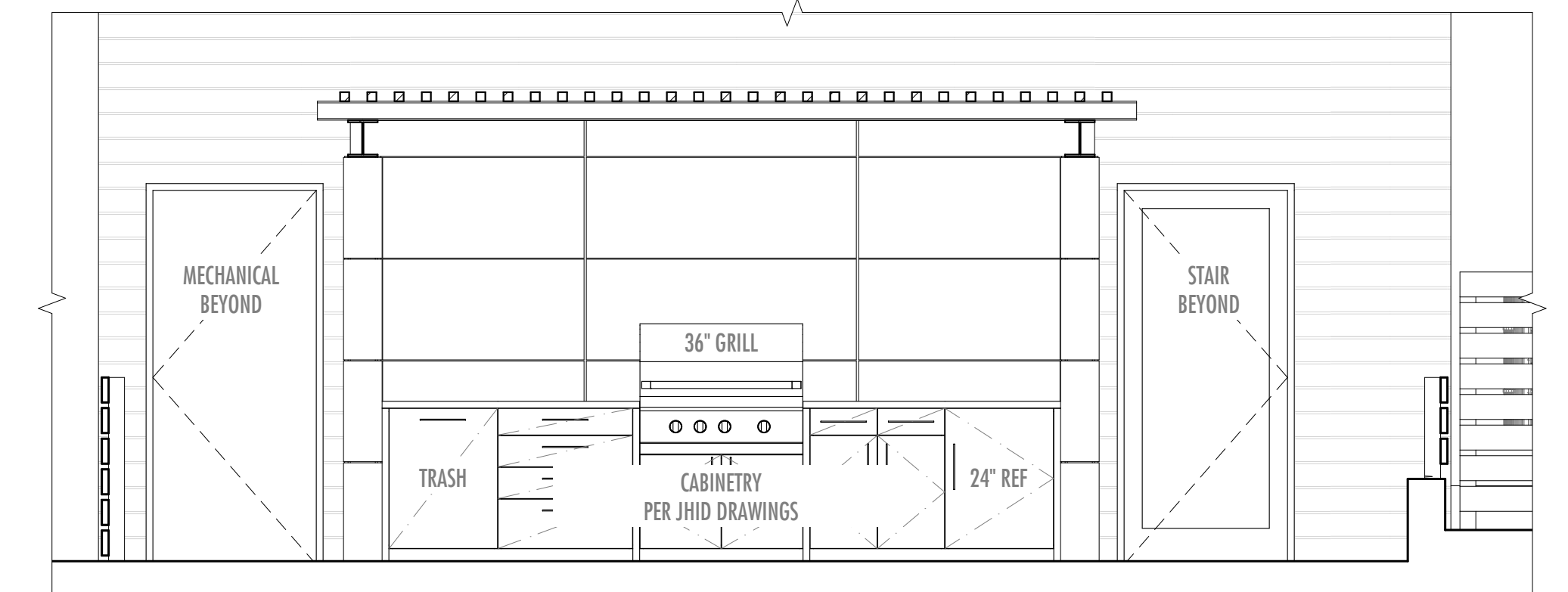
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DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HFC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
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**REVISIONS**  
NUMBER: 01  
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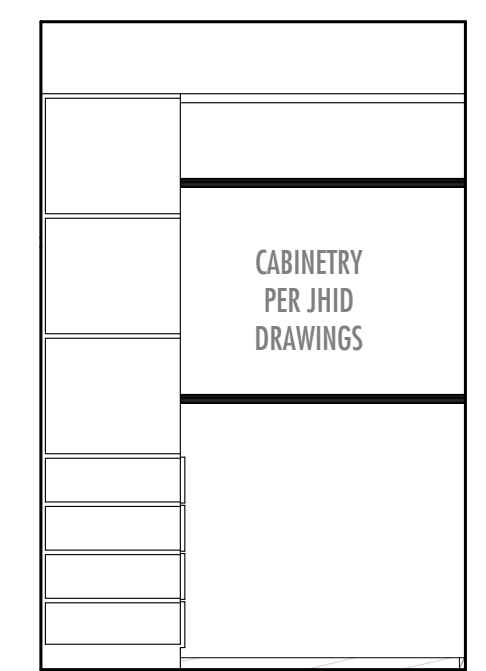
# A 6.7

INTERIOR ELEVATIONS

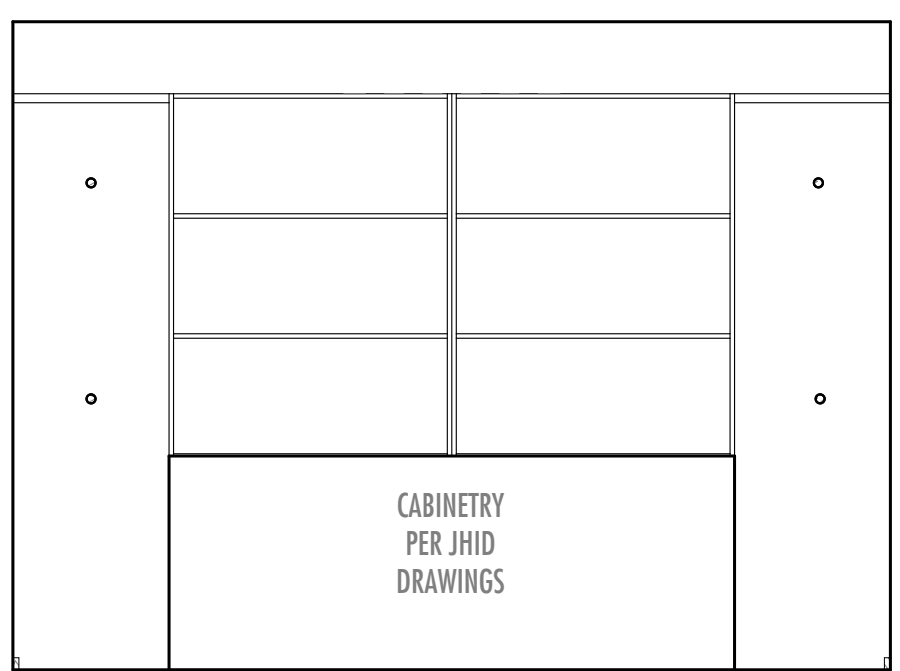
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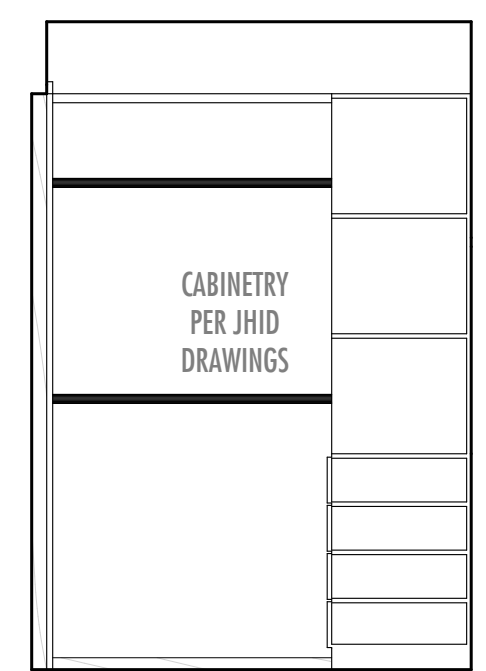
**302 OUTDOOR KITCHEN**  
SCALE: 3/8" = 1'-0" **13**



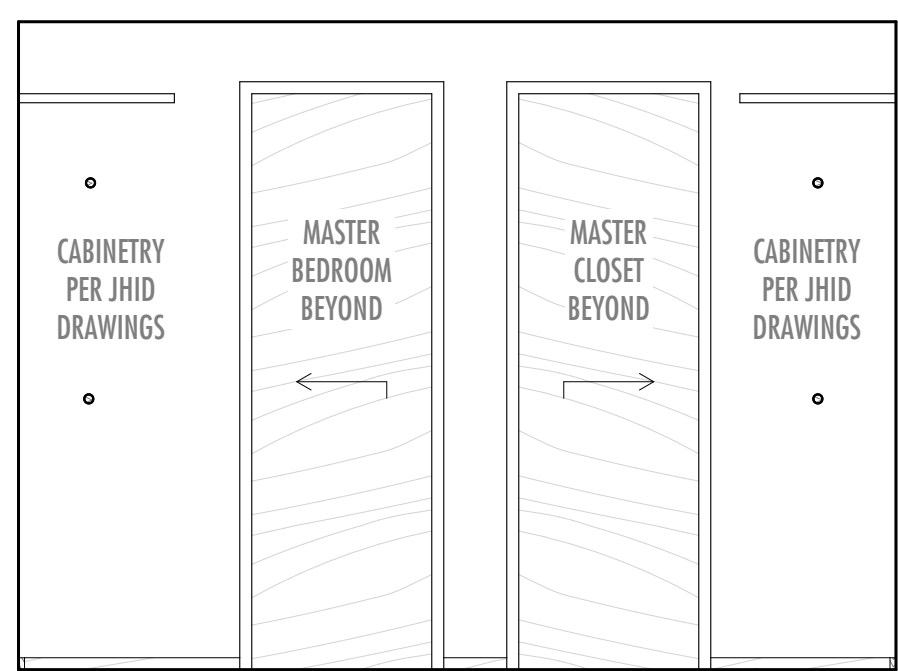
**209 MASTER CLOSET - WEST**  
SCALE: 3/8" = 1'-0" **8**



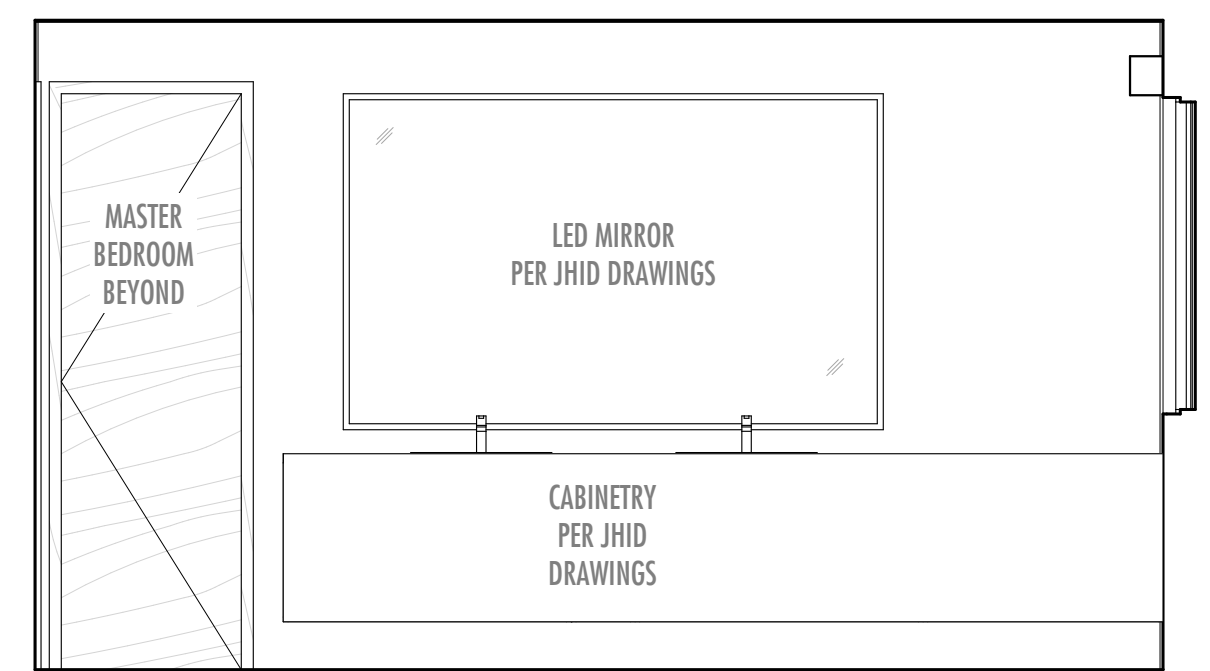
**209 MASTER CLOSET - SOUTH**  
SCALE: 3/8" = 1'-0" **7**



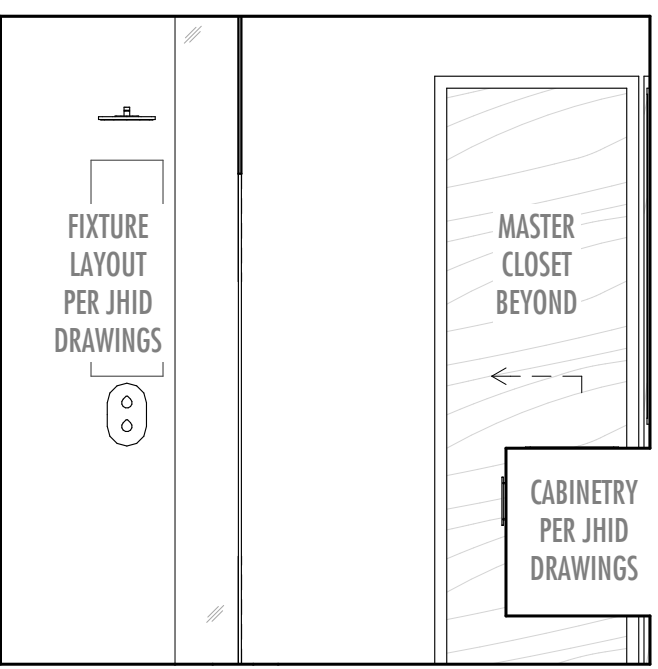
**209 MASTER CLOSET - EAST**  
SCALE: 3/8" = 1'-0" **6**



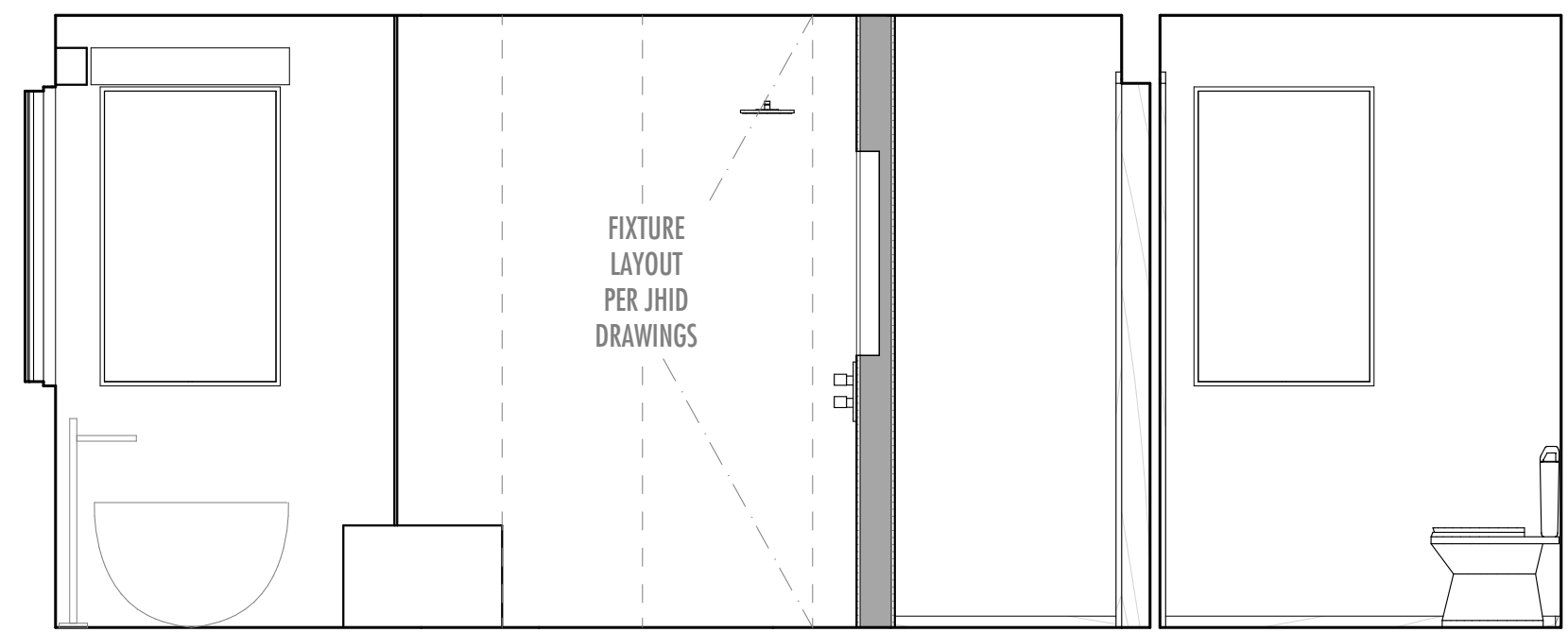
**209 MASTER CLOSET - NORTH**  
SCALE: 3/8" = 1'-0" **5**



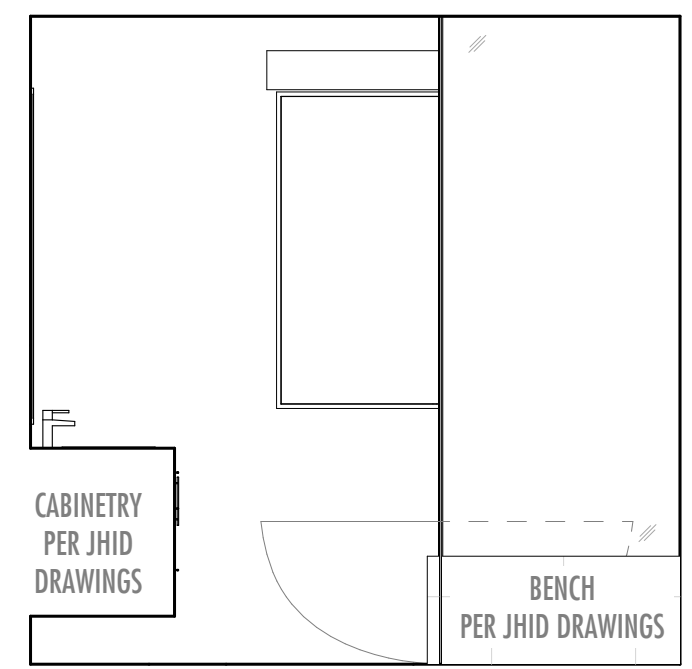
**210 MASTER BATH - WEST**  
SCALE: 3/8" = 1'-0" **12**



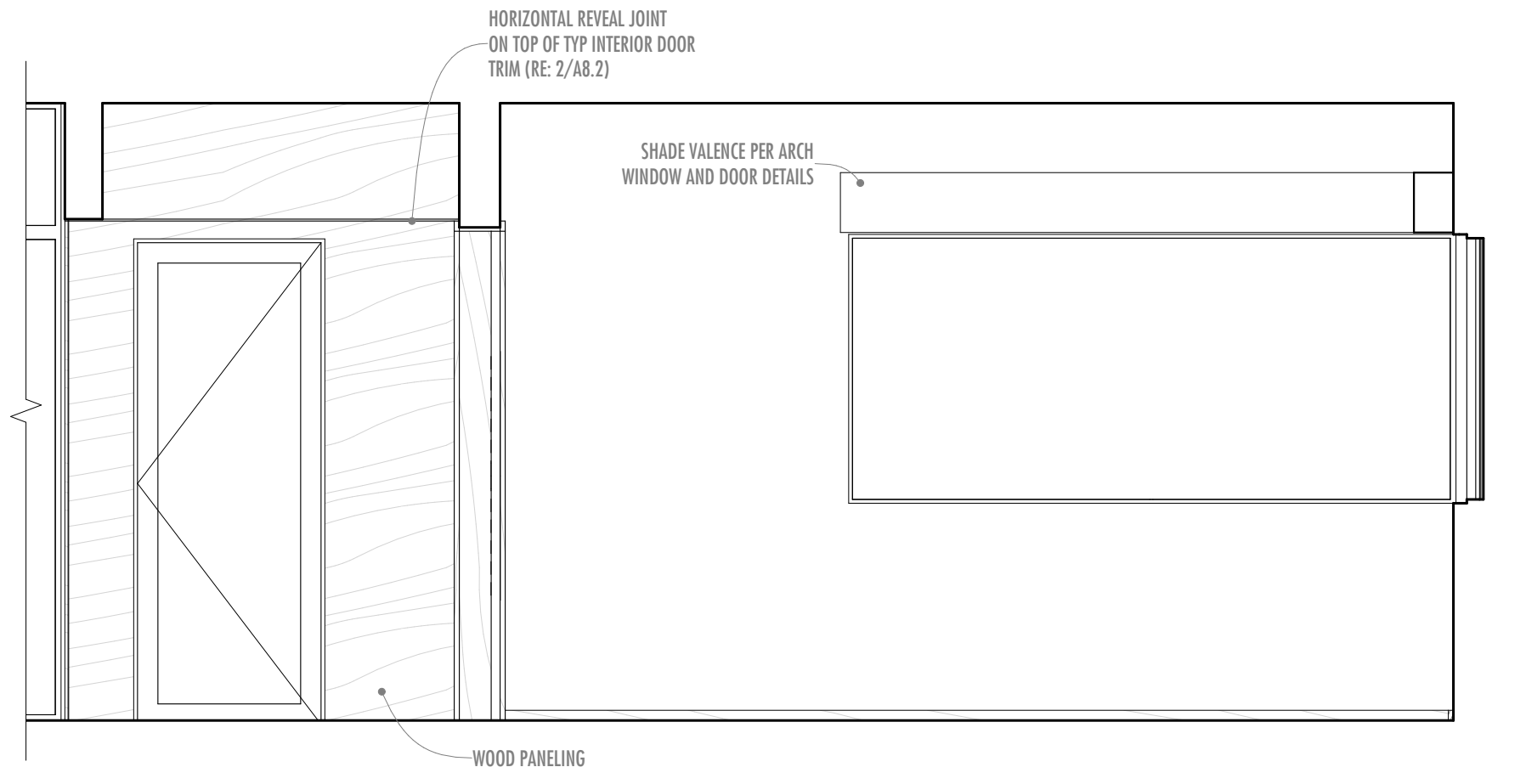
**210 MASTER BATH - SOUTH**  
SCALE: 3/8" = 1'-0" **11**



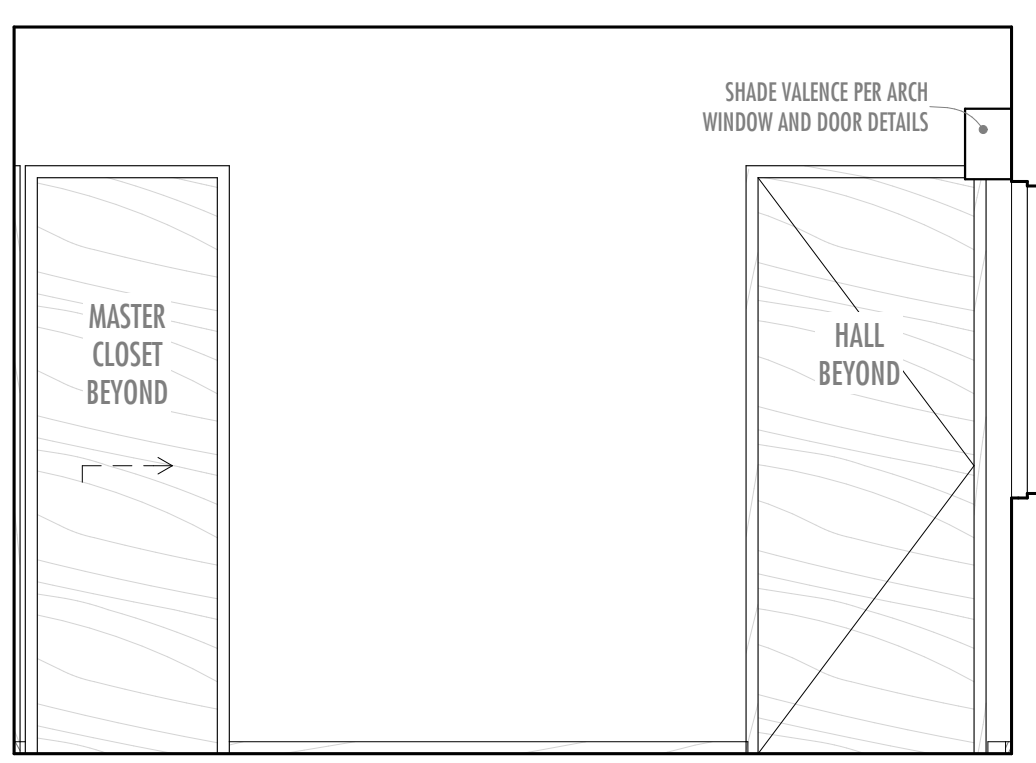
**210 MASTER BATH - EAST**  
SCALE: 3/8" = 1'-0" **10**



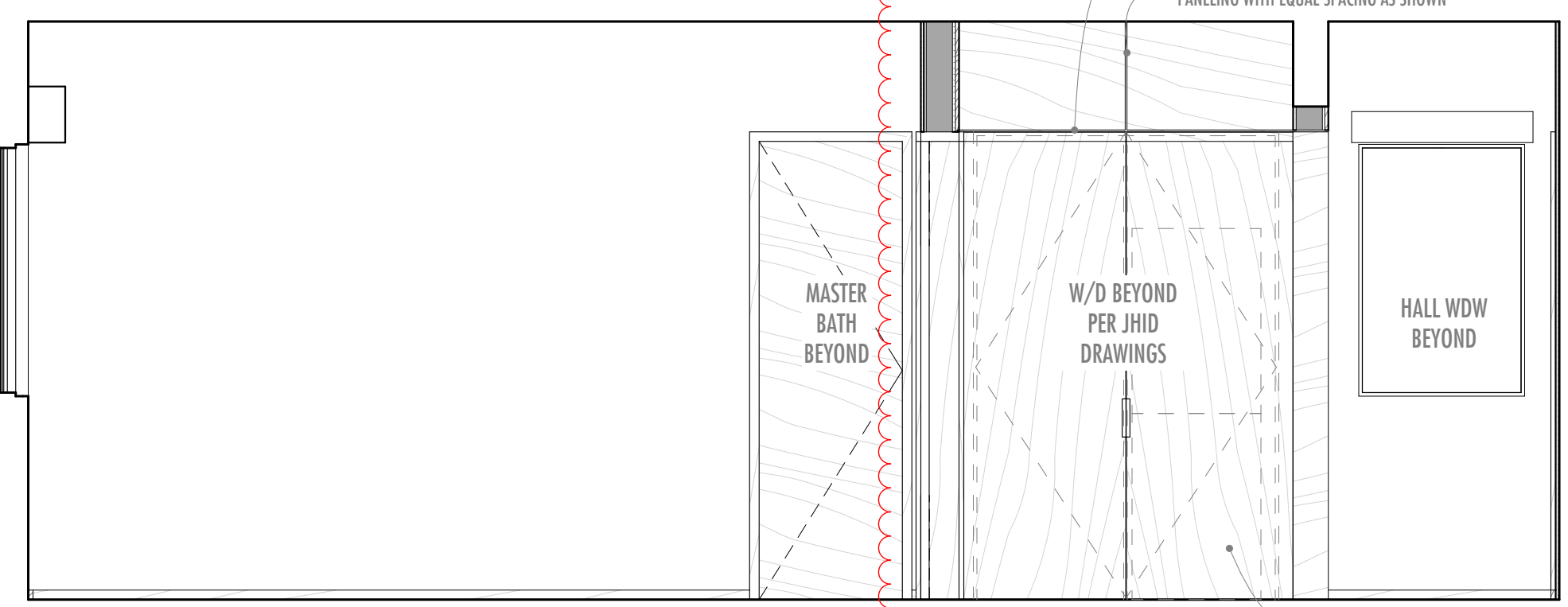
**210 MASTER BATH - NORTH**  
SCALE: 3/8" = 1'-0" **9**



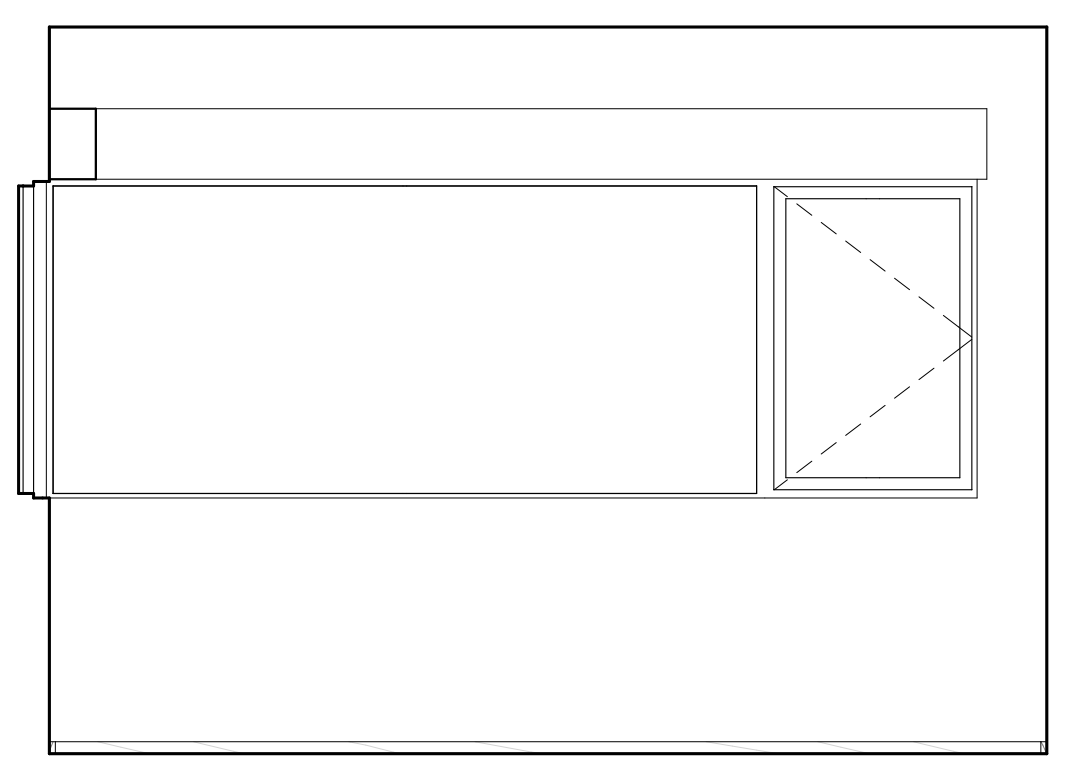
**208 MASTER BEDROOM - WEST**  
SCALE: 3/8" = 1'-0" **4**



**208 MASTER BEDROOM - SOUTH**  
SCALE: 3/8" = 1'-0" **3**



**208 MASTER BEDROOM / HALL - EAST**  
SCALE: 3/8" = 1'-0" **2**



**208 MASTER BEDROOM - NORTH**  
SCALE: 3/8" = 1'-0" **1**

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

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**DRAWINGS**

DATE: 05/12/2021  
ISSUED: COK SCHEMATIC PRESENTATION  
06/10/2021 COK HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
ISSUED FOR CONSTRUCTION

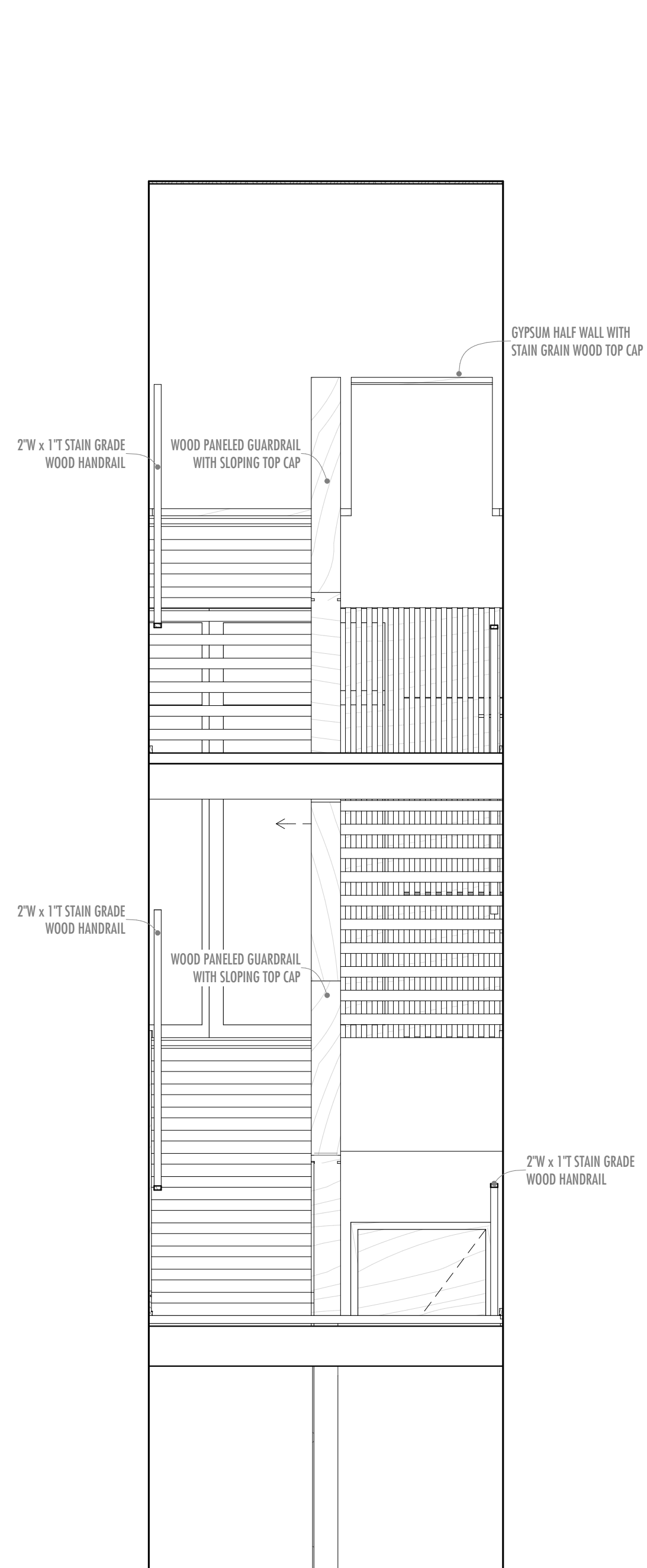
**REVISIONS**

NUMBER: DATE:

## A 6.8

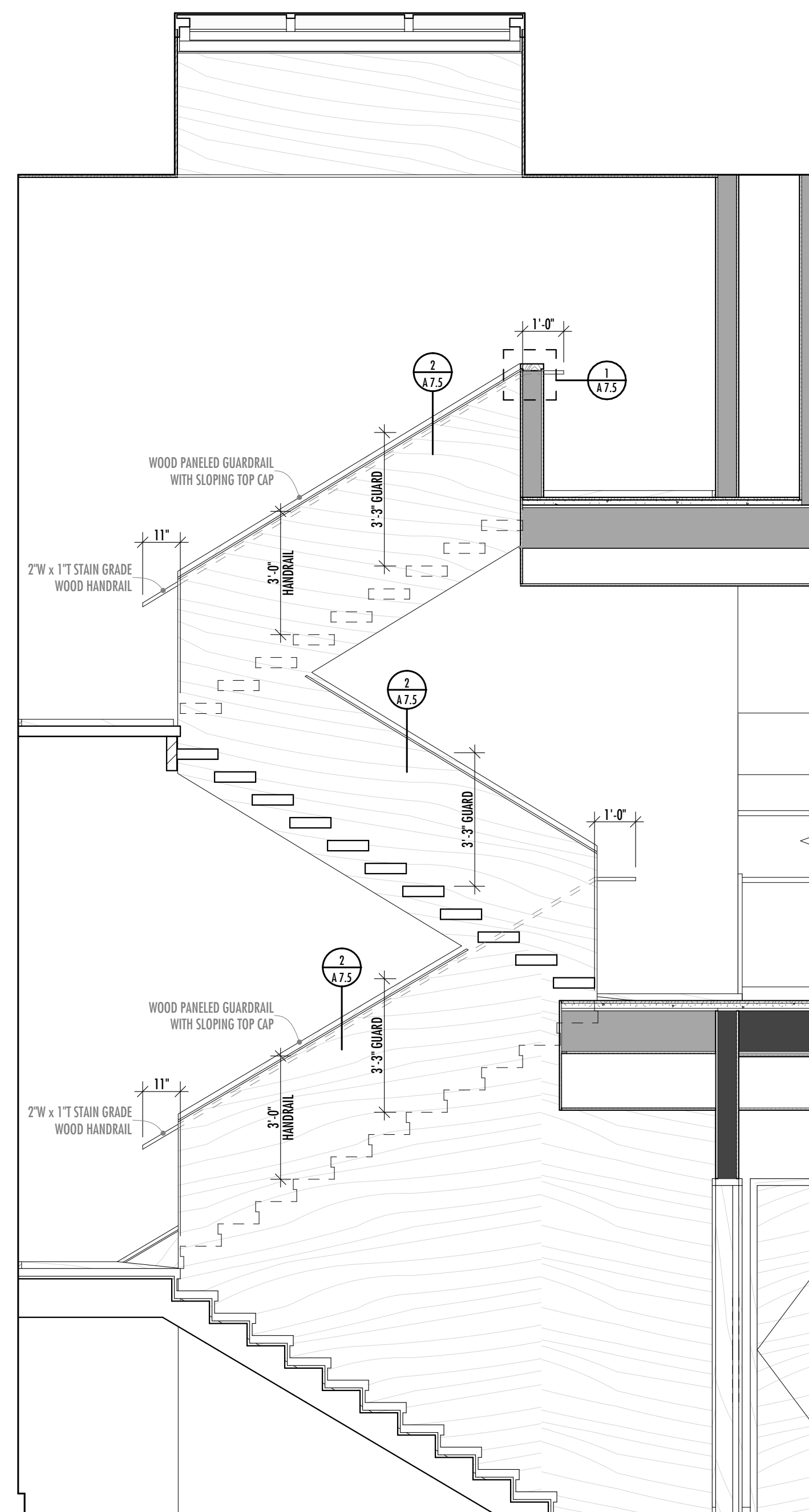
INTERIOR ELEVATIONS

**OWNERSHIP OF DOCUMENTS:**  
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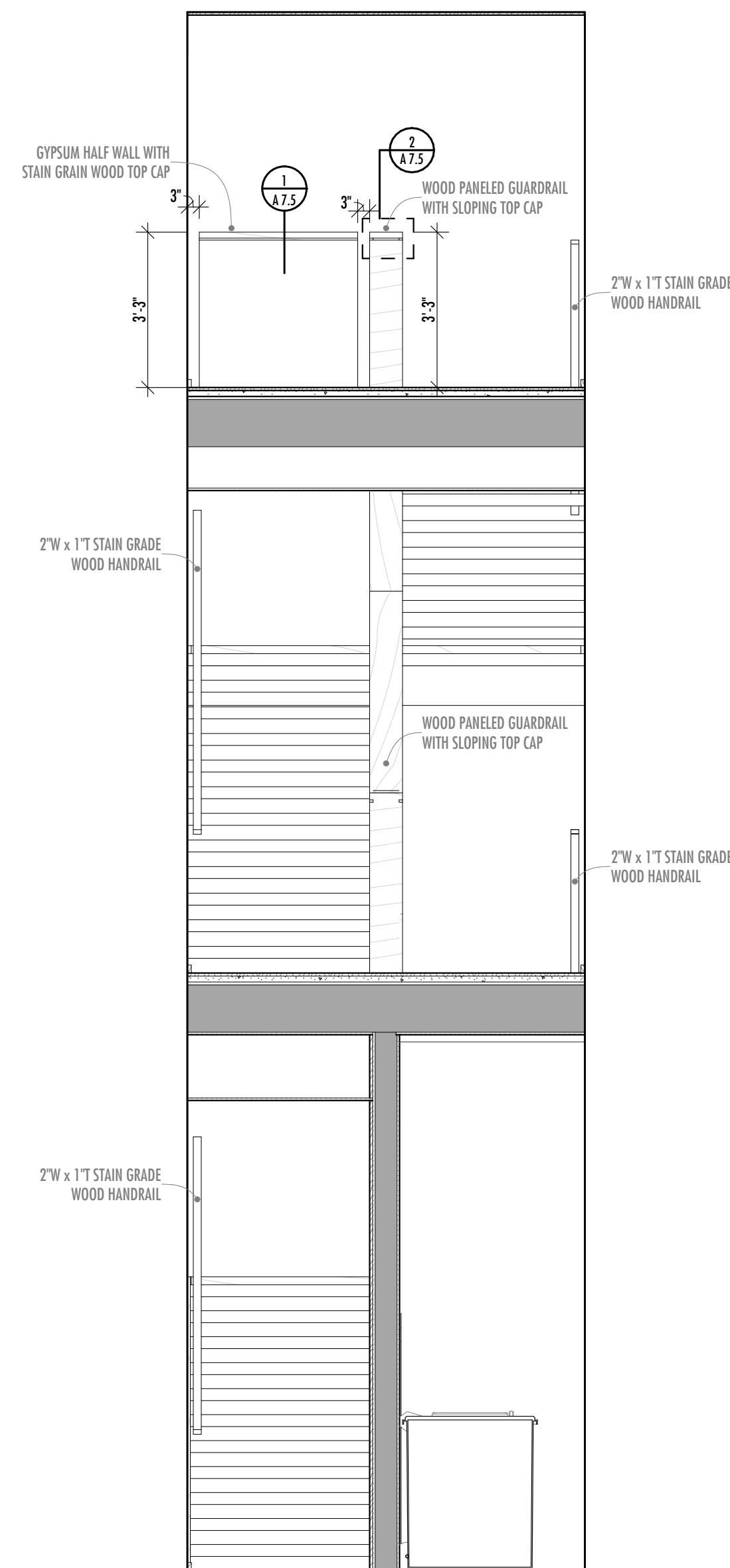
118 / 204 / 300 STAIR - WEST  
SCALE: 3/8" = 1'-0"

4



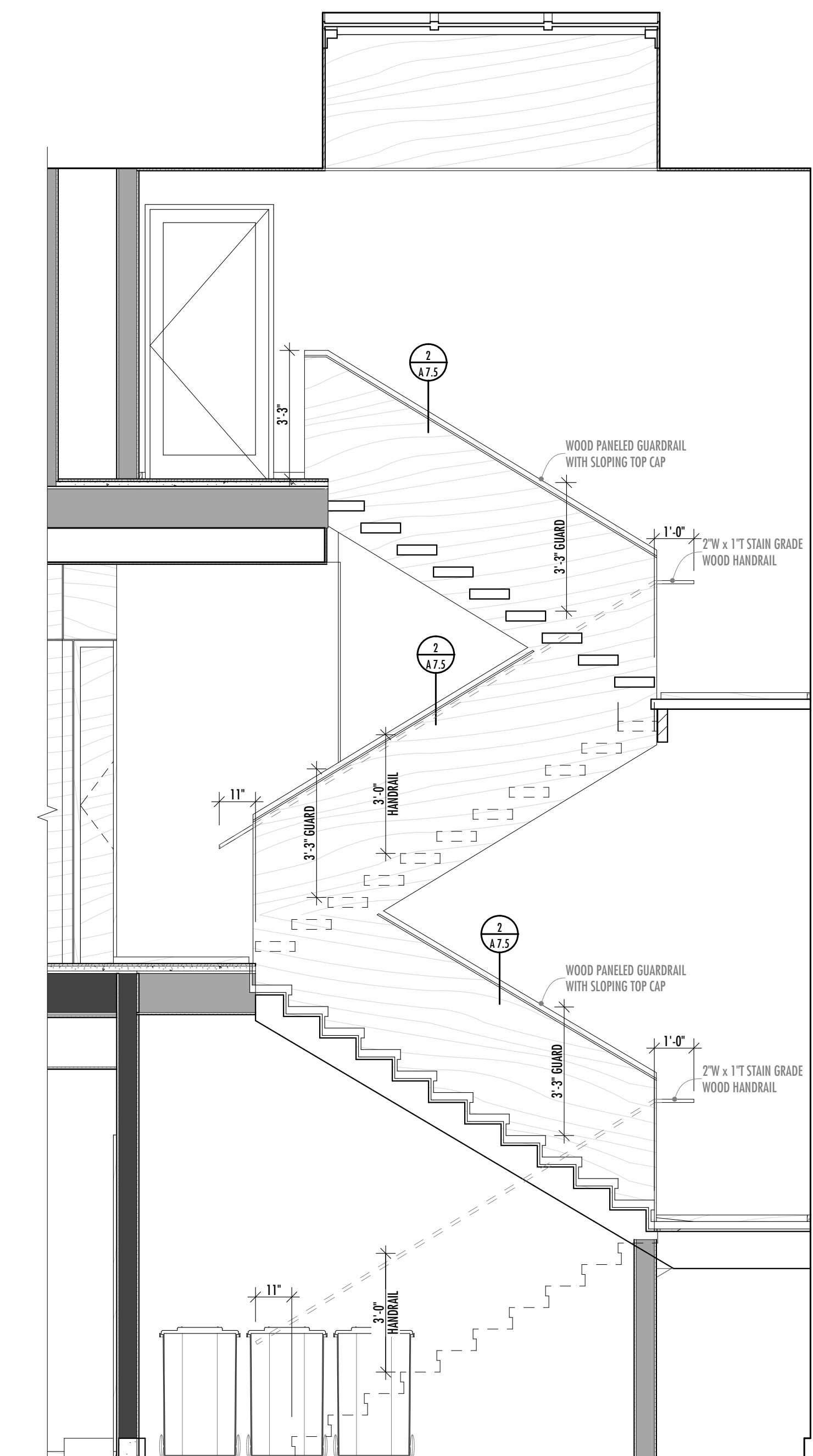
118 / 204 / 300 STAIR - SOUTH  
SCALE: 3/8" = 1'-0"

1



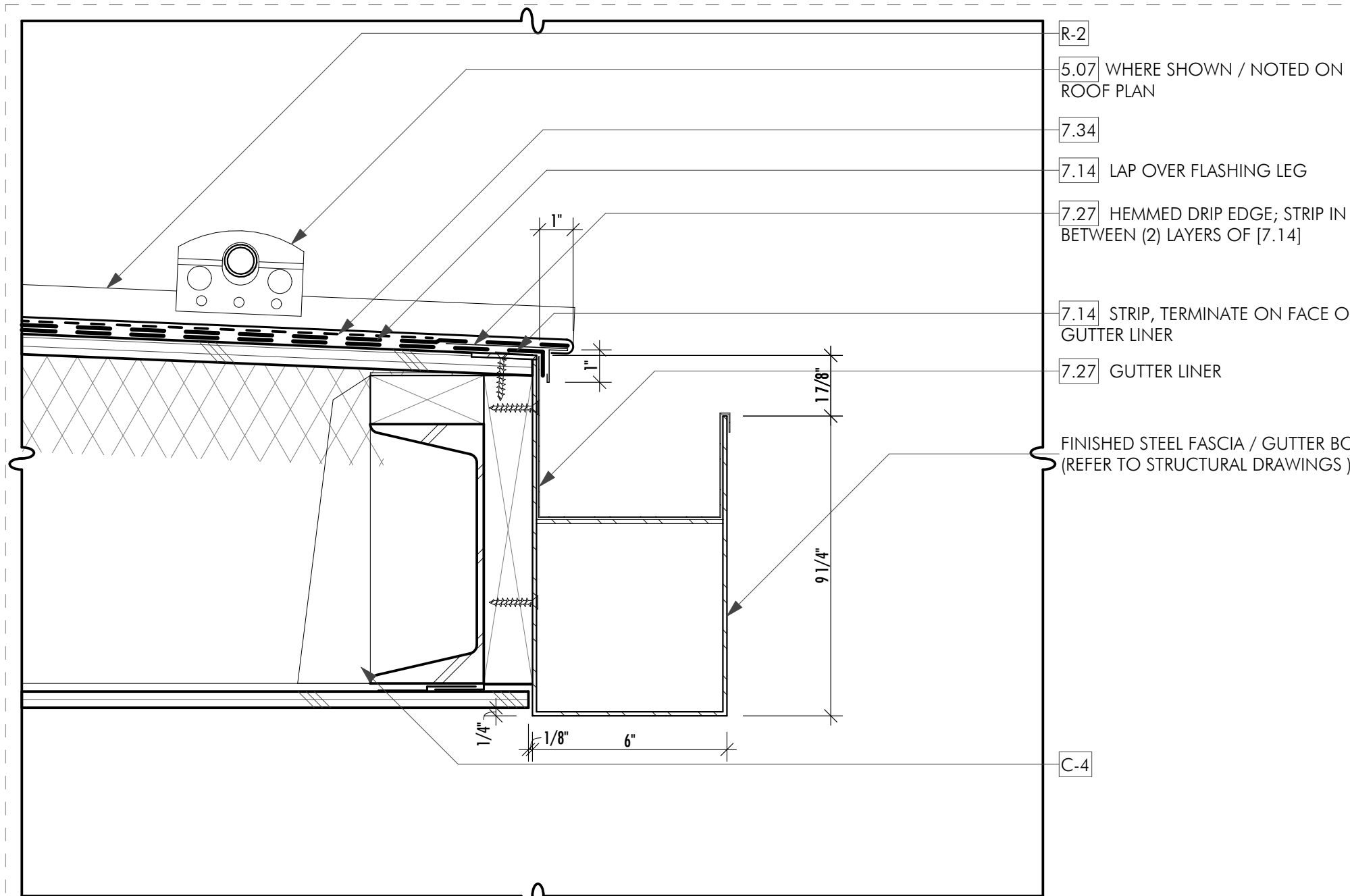
118 / 204 / 300 STAIR - EAST  
SCALE: 3/8" = 1'-0"

2

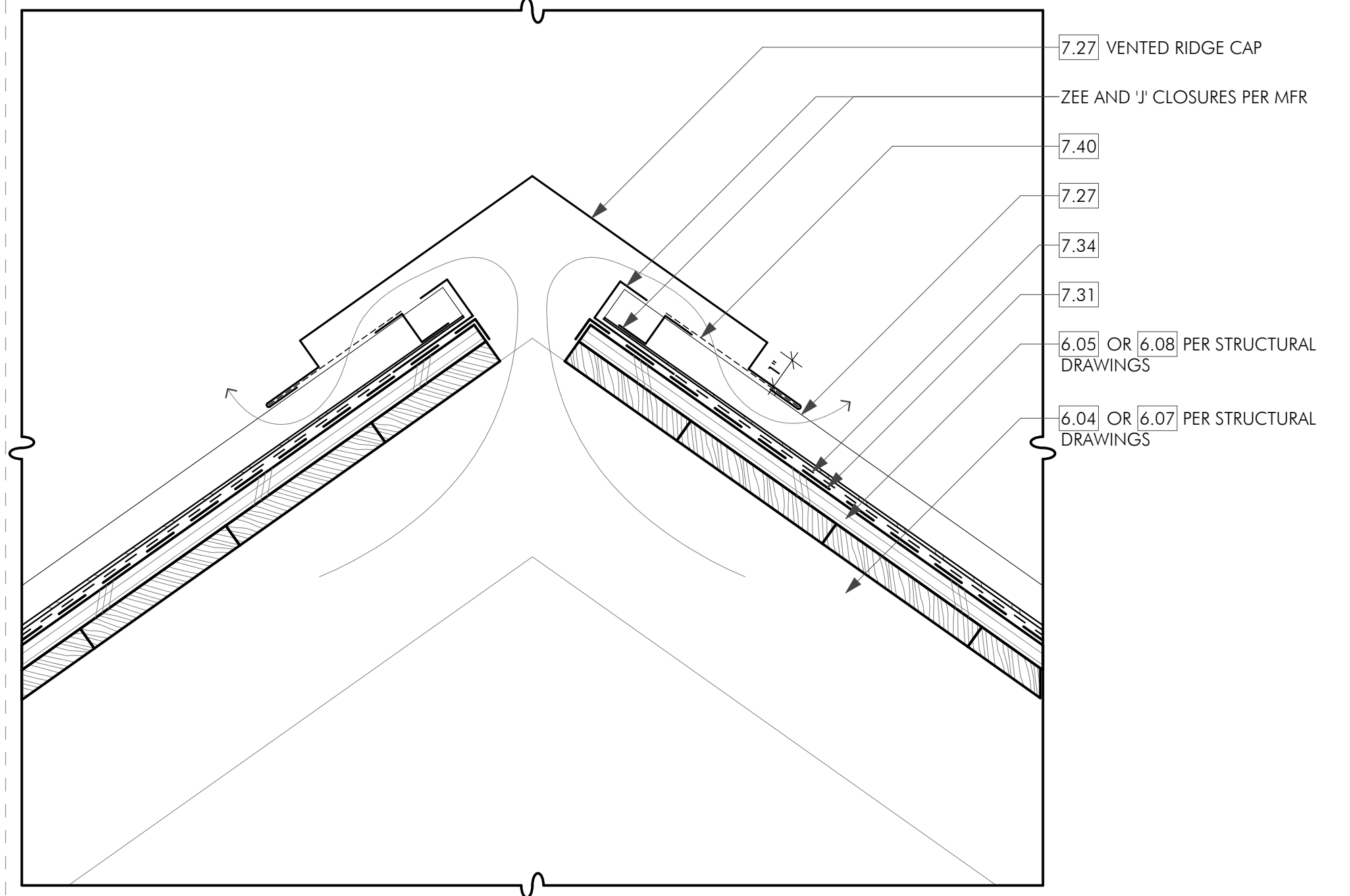


118 / 204 / 300 STAIR - NORTH  
SCALE: 3/8" = 1'-0"

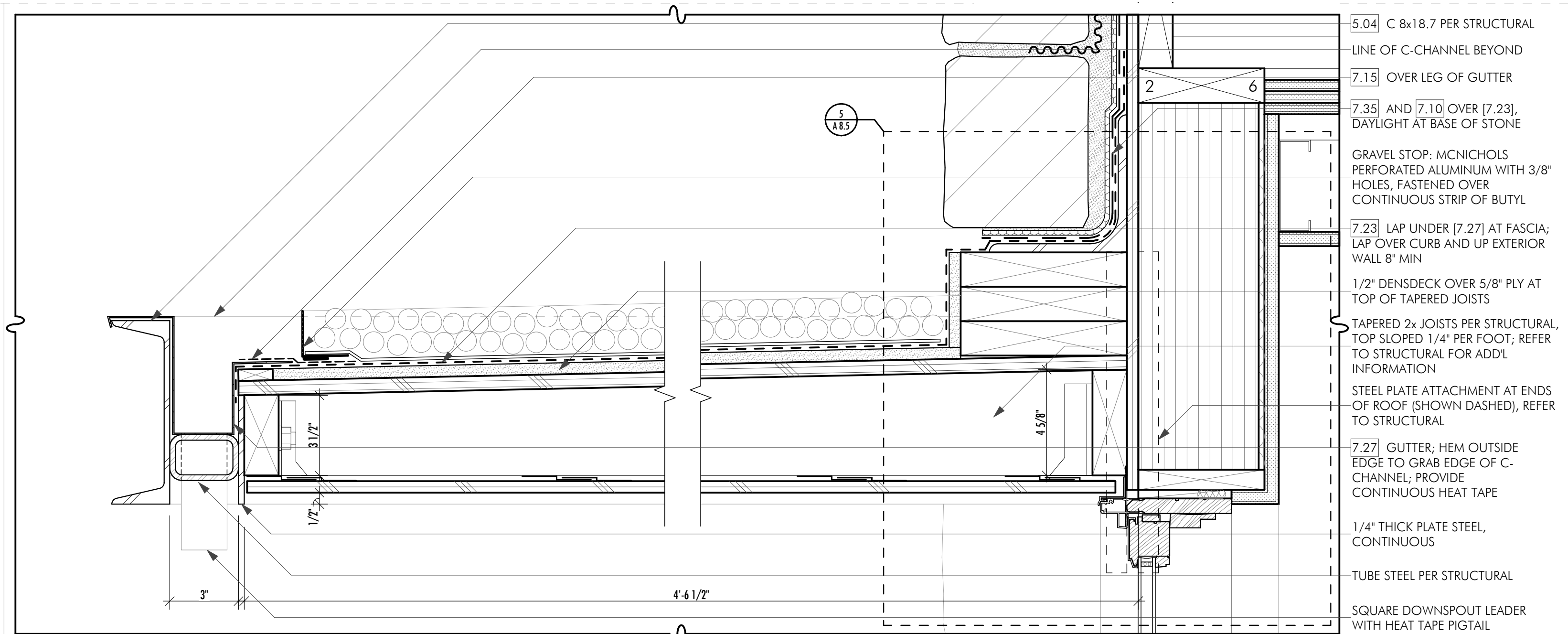
3



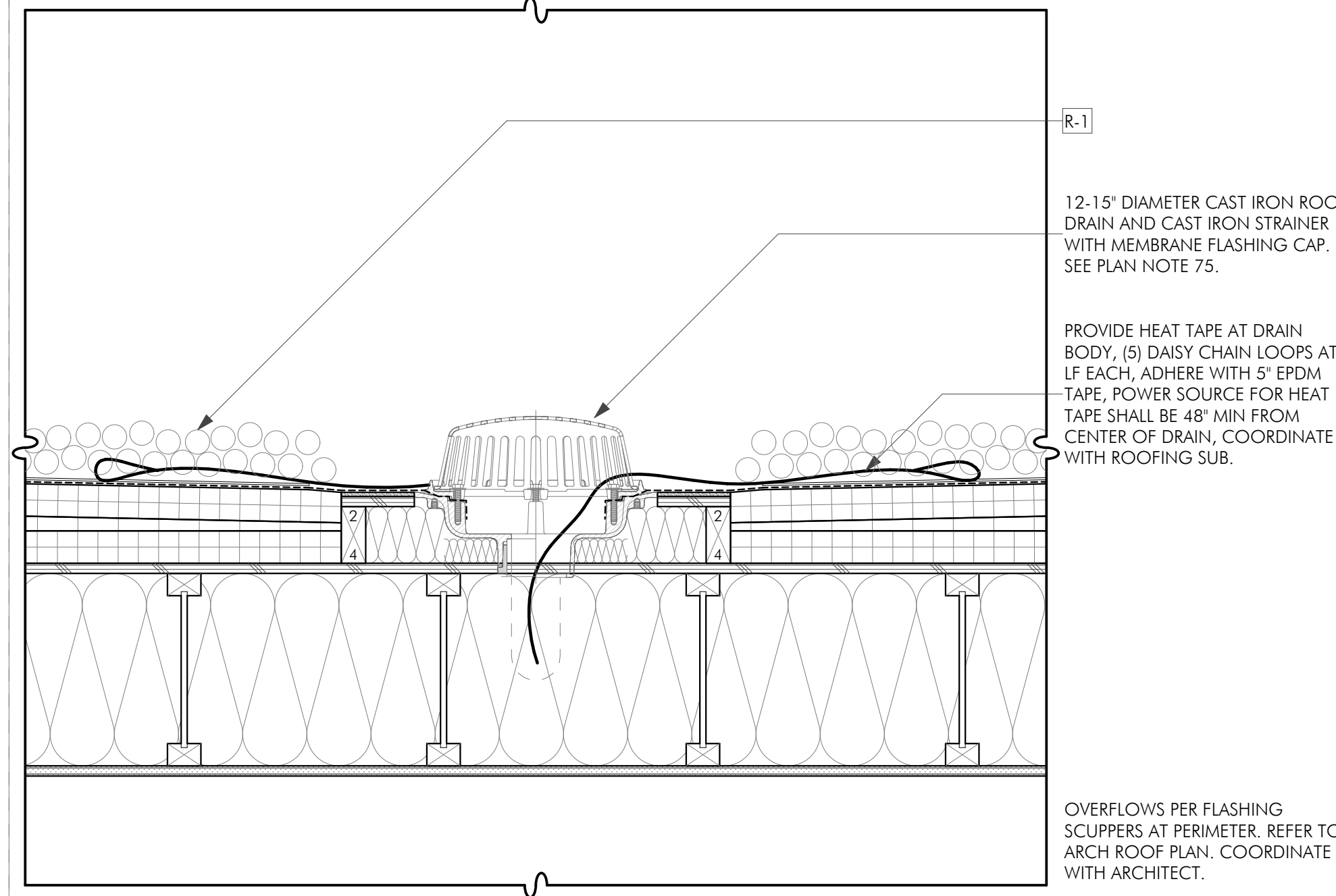
**6** EAVE DETAIL AT UNIT 2 STANDING SEAM ROOF OVERHANG  
SCALE: 3" = 1'-0"



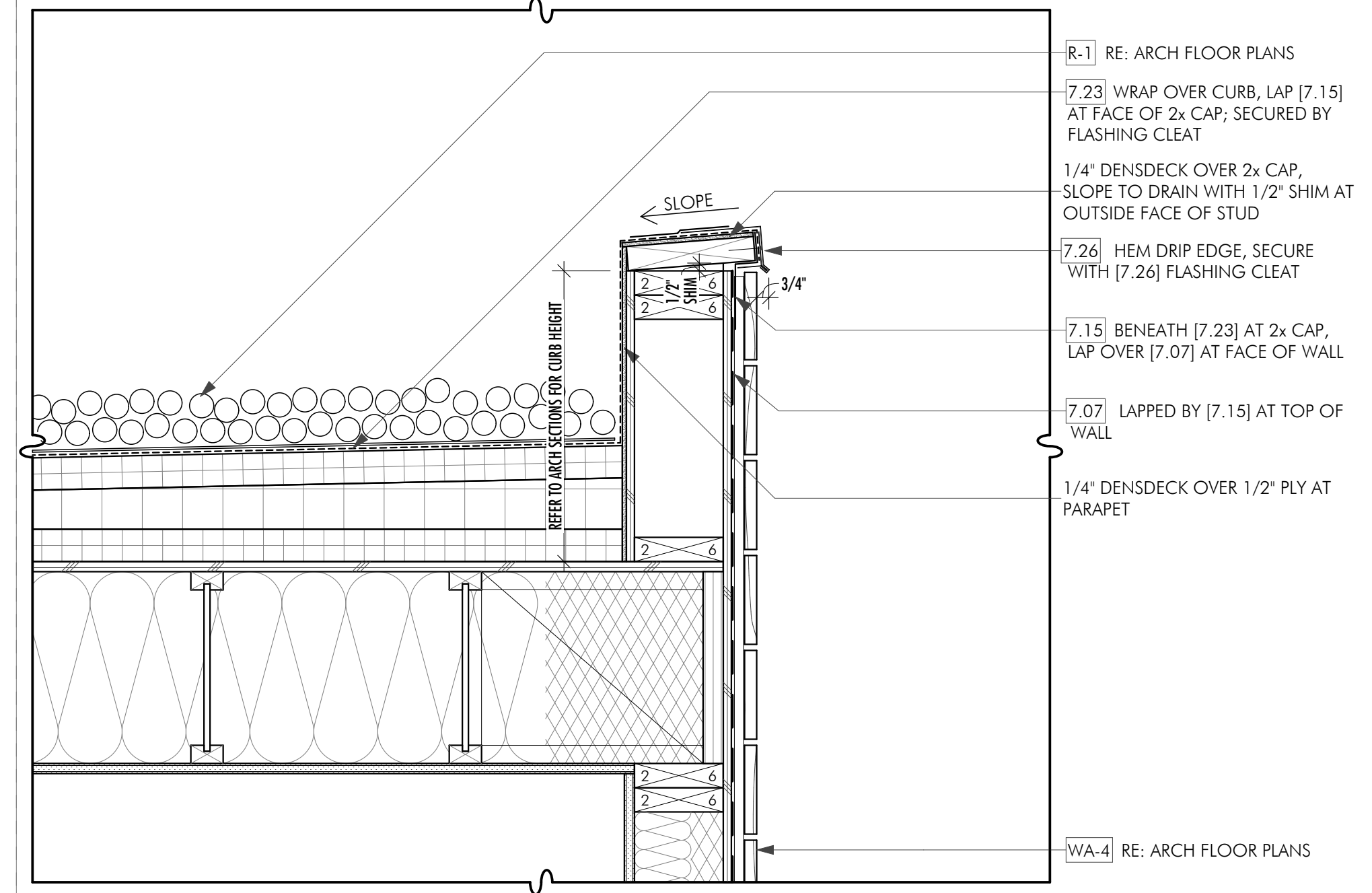
**5** RIDGE CAP DETAIL AT CABIN  
SCALE: 3" = 1'-0"



**2** NORTH ENTRY BALLAST ROOF FASCIA AND WALL CONNECTION DETAIL  
SCALE: 3" = 1'-0"



**3** TYPICAL ROOF DRAIN DETAIL  
SCALE: 1 1/2" = 1'-0"



**KEYNOTES**

09000	FINISHES (CONTINUED)
9.01b	5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
9.01c	5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD; SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET A0.10).
9.01d	TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES (REFER TO BUILDING SECTIONS FOR APPLICABILITY).
9.02	TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.03	3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
9.04	ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST RESULTS OF CONCRETE / SUBSTRATE. WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.05	SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
9.06	THIN SET MORTAR.
9.07a	5/8" CEMENT BACKER BOARD.
9.07b	5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK® BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
9.08	CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
9.09	EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
10000	SPECIALTIES
	REFER TO PLAN NOTES.
11000	EQUIPMENT
11.01	MECHANICAL EQUIPMENT SHALL BE DESIGN BUILT WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

**KEYNOTES**

07000	THERMAL & MOISTURE PROTECTION (CONTINUED)
7.28	AWNS DIAMOND HEAD SERIES PEDESTALS.
7.29	BASE MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
7.30	3/8" DIA BACKER ROD AND BASE MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
7.31	30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
7.32	CERTAINTEED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.33	2" (20 PSI NOMINAL) FLAT STOK POLYSOCYANURATE RIGID INSULATION BOARD (ITR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING; POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
7.34	GAF VERSASHIELD ROOF DECK PROTECTION.
7.35	VAPORSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.36	1/2" THICK DENSDECK PRIME ROOF BOARD.
7.37	60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.38	45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.39	PRE-VEGETATED LIQUOR® MAXX MODULAR ROOF SYSTEM (12x12x3 1/4" CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION).
7.40	60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM), TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH BETWEEN PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).
7.41	SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.
09000	FINISHES
9.01	5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL VET LOCATIONS); LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
9.01a	5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD; SHEETROCK® BRAND FIRECODE CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.

**KEYNOTES**

07000	THERMAL & MOISTURE PROTECTION (CONTINUED)
7.09	VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
7.10	VAPORSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.11	1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET A0.10).
7.12	BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
7.13	MIRADRIN, OR APPROVED EQUAL, OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
7.14	GRACE ICE AND WATER SHIELD, AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT.
7.15	GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.
7.16	STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
7.17	VAPORSHIELD VAPROMAT 3MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.18	NEOPRENE GASKETED SHIL SEALER.
7.19	GRACE WYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
7.21	ASTM D 448 SMOOTH STONE BALLASTS (3/4" x 1 1/2" DIAMETER), 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
7.22	1/8" ASPHALT PROTECTION BOARD.
7.23	60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM), TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH BETWEEN PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).
7.24	HYDRONIC PEK AFFEED TO WM.
7.25	WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
7.26	WESTERN STATES SHEET METAL FLASHING (COLOR: BONDZERED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT).
7.27	WESTERN STATES SHEET METAL FLASHING (COLOR: BONDZERED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT).

**KEYNOTES**

06000	WOOD (CONTINUED)
6.14	EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
6.15	INTERIOR WOOD CEILING: 1x6 STAINED WOOD. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
6.16	INTERIOR WOOD WALLS: REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6.17	3/4" THICK VERTICAL WOOD BATTERS: PAINT MATTE BLACK.
6.18	NOT USED.
6.19	POST PER STRUCTURAL DRAWINGS.
6.20	BEAM OR HEADER PER STRUCTURAL DRAWINGS.
6.21	WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
6.22	STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
07000	THERMAL & MOISTURE PROTECTION
7.01	BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
7.02	BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
7.02b	5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
7.03	BLOWN IN BLANKET (B.I.B.S.) INSULATION, AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).
7.04	2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS), RE: BUILDING SECTIONS.
7.05	3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
7.06	3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
7.07	VAPORSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
7.08	VAPORSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1'-0" ON FACE. 12-15 WET MIL THICKNESS.

**KEYNOTES**

05000	METALS & RAILINGS
5.01	W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
5.02	TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
5.03	1/8" THICK PLATE STEEL, MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECTS APPROVAL.
5.04	RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RC2N), OR SIMILAR.
5.05	2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH (6, 13).
5.06	STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
5.07	ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
06000	WOOD
6.01	EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
6.02	2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS.
6.03	1/2" WOOD FIBERBOARD.
6.04	ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
6.05	ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
6.05b	FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.1.1, EXCEPTION S.1.
6.06	2x STUD FRAMING PER STRUCTURAL DRAWINGS.
6.07	EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
6.08	EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
6.09	2x OR LIVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6.10	2x DROPPED CEILING FRAMING.
6.11	3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
6.12	NOT USED.
6.13	EXTERIOR SIDING: 3/4" x 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWNI TIMBER COMPANY, 'HURON' ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK-UP FOR OWNER AND ARCHITECTS APPROVAL.

**KEYNOTES**

02000	SITEWORK
2.01	BACKFILL PER GEOTECHNICAL REPORT.
2.02	SUBGRADE PREP PER GEOTECHNICAL REPORT.
2.03	4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
2.04	4" SAND OVER 6" (MIN) COMPACTED GRAVEL.
2.05	RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
2.06	4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
2.07	CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
2.08	SNOWMELT TUBING IN 2" OF CLEAN SAND.
2.09	CAST-IN-OLYMPIC PAVERS (12x24", COLOR: CHARCOAL) IN RUNNING BOND PATTERN, VERIFY WITH LANDSCAPE ARCHITECT.
2.10	ASPHALT PAVING PER CIVIL ENGINEER.
2.11	GRAVEL PER LANDSCAPE ARCHITECT.
03000	CONCRETE
3.01	CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.02	CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
3.03	BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
3.04	CONCRETE SLAB ON GRADE WITH RADIANT HEAT TUBES (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION).
3.05	1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
04000	MASONRY
4.01	MUTUAL MATERIALS VANCOUVER BAY SERIES (12x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
4.02	CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4.03	LATH AND SCRATCH COAT AS REQUIRED.
4.04	6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
4.05	1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
4.06	MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

**WILLIAMS PARTNERS**

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**DRAWINGS**  
DATE: 04/18/2022  
ISSUED: 08/05/2022  
PERMIT: 08/05/2023  
ISSUED FOR CONSTRUCTION

**REVISIONS**  
DATE:

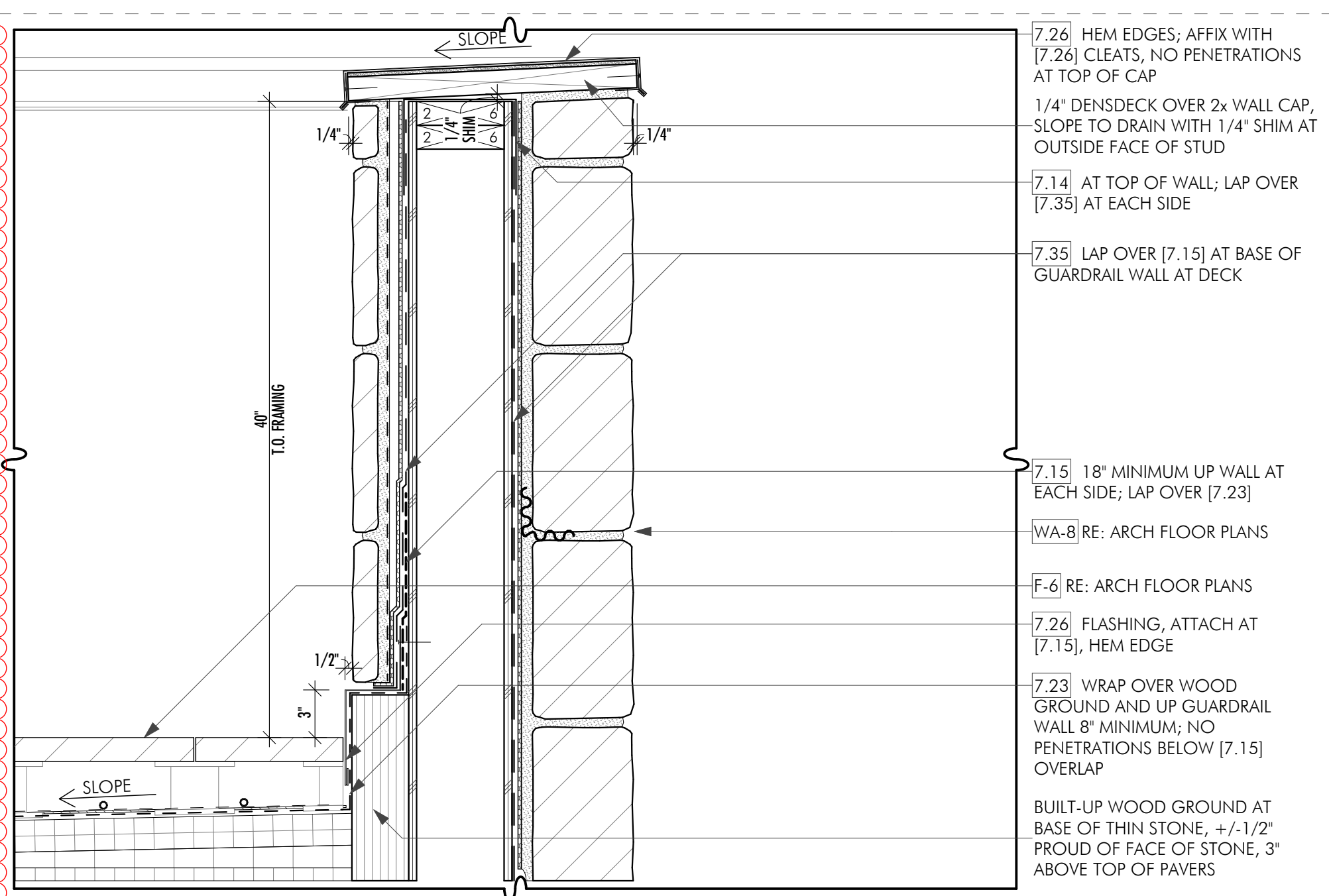
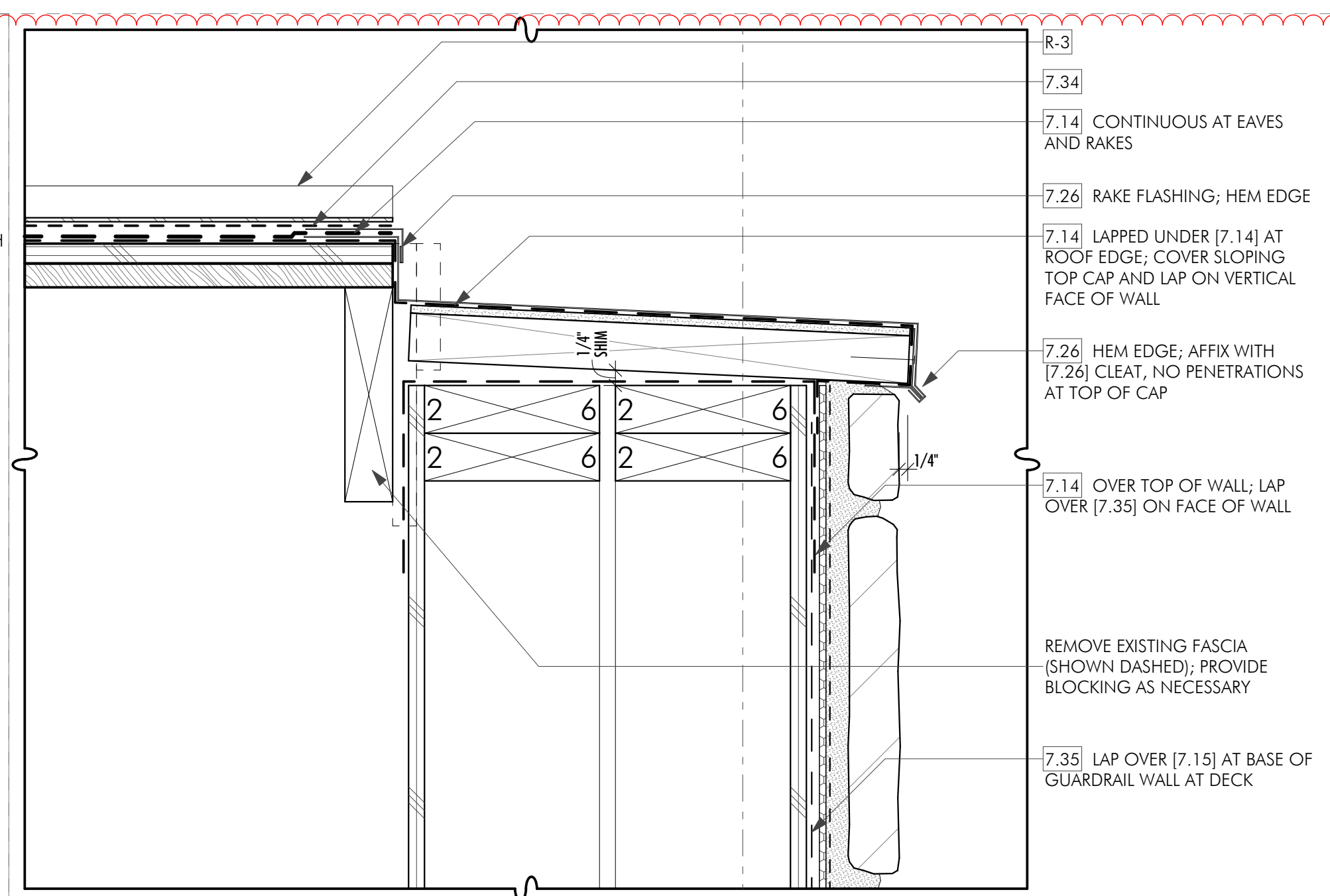
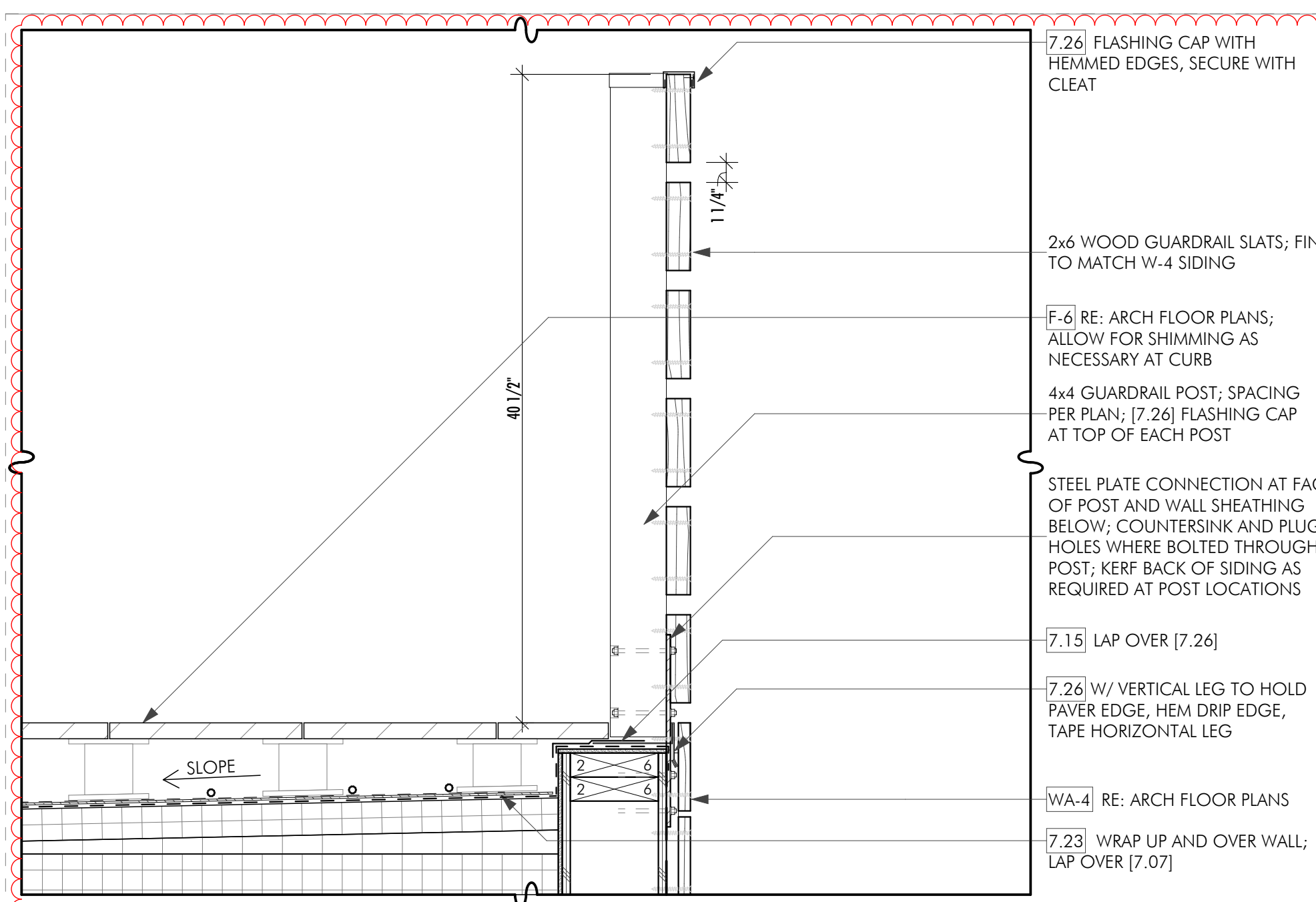
**A7.1**  
ARCHITECTURAL DETAILS

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PRINCIPAL ARCHITECT

**380 N. 1st Ave. Mixed-Use Building**  
Lot 5, Block 37, Ketchum, Idaho 83340

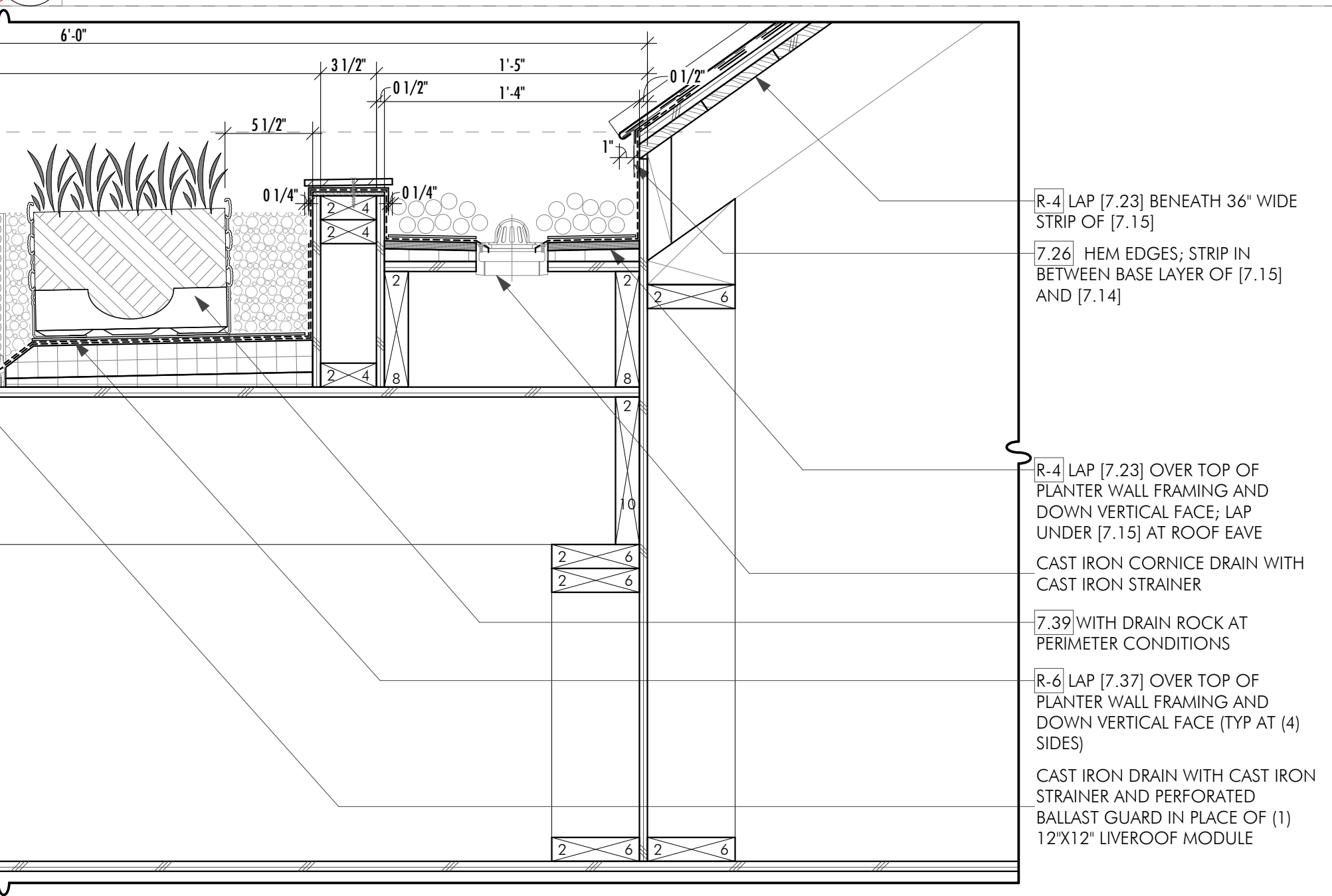
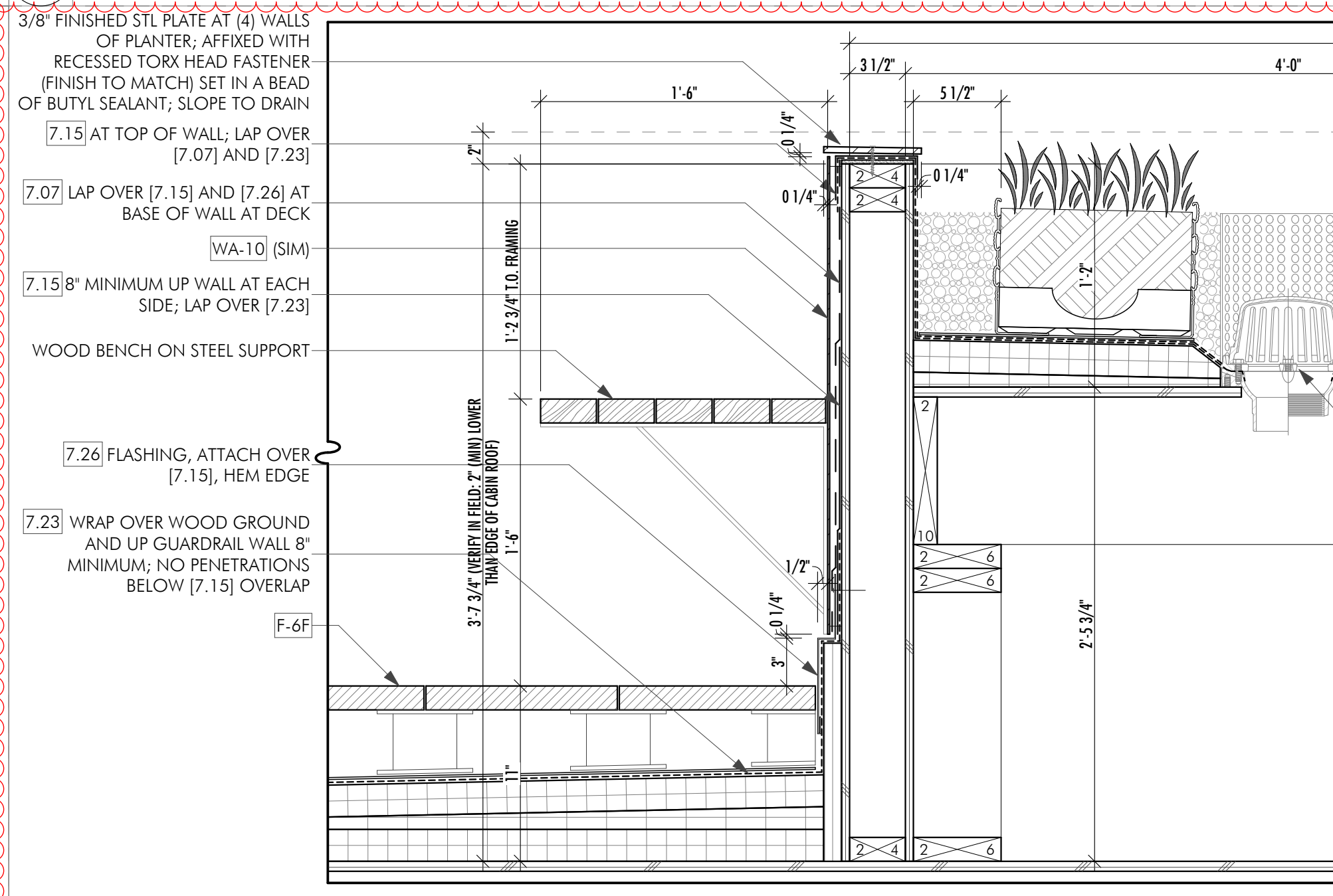
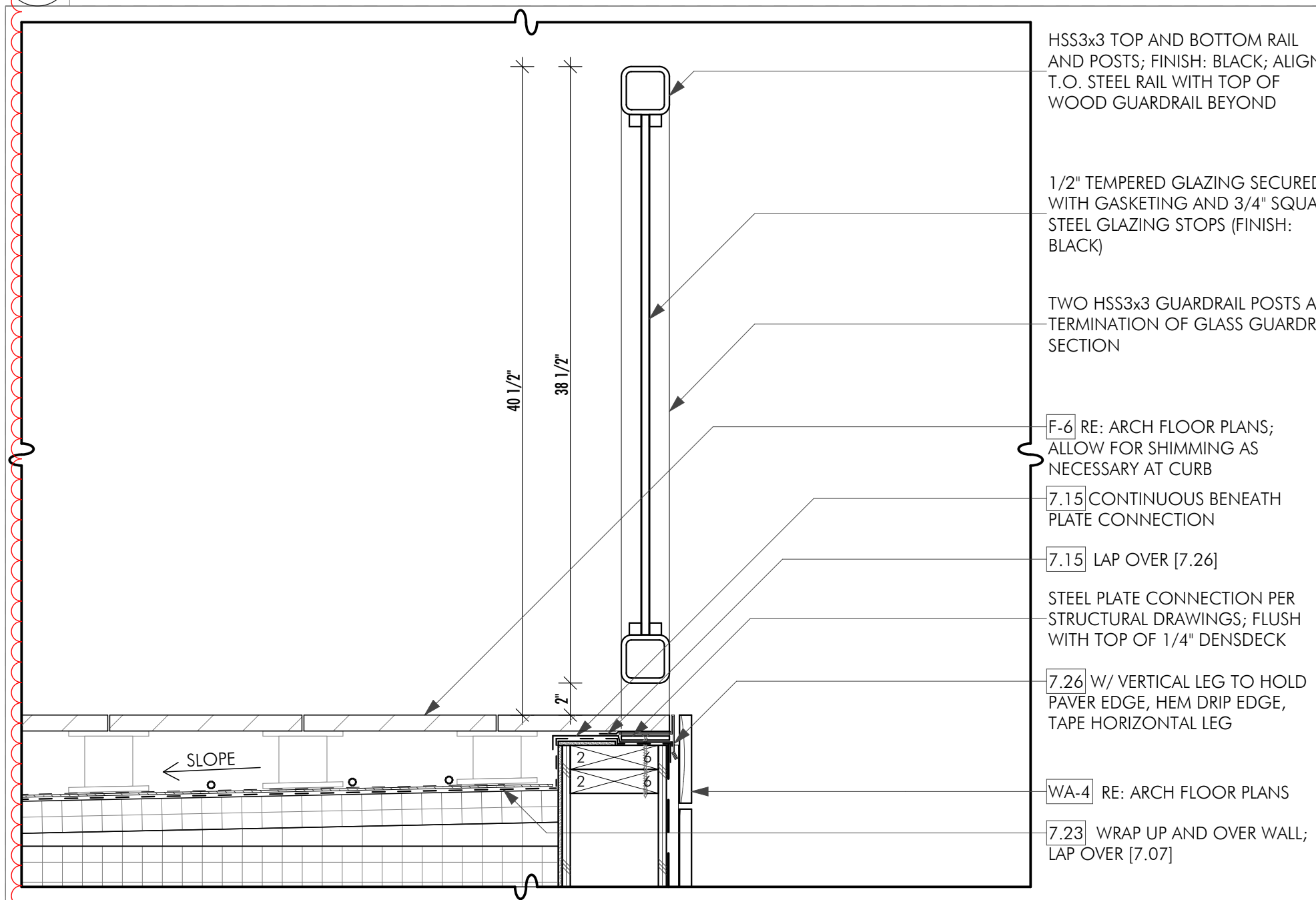




**6 GUARDRAIL AT THIRD FLOOR TERRACE DETAIL**  
SCALE: 1 1/2" = 1'-0"

**4 TOP OF CAP AT CABIN RAKE**  
SCALE: 1 1/2" = 1'-0"

**2 GUARDRAIL AT STONE VENEER DETAIL**  
SCALE: 1 1/2" = 1'-0"



**5 GLASS GUARDRAIL AT THIRD FLOOR TERRACE**  
SCALE: 1 1/2" = 1'-0"

**1 PLANTER DETAIL AT CABIN ROOF TIE-IN**  
SCALE: 1 1/2" = 1'-0"

**3 PLANTER DETAIL AT CABIN RAKE**  
SCALE: 1 1/2" = 1'-0"

**KEYNOTES**

- 09000 FINISHES (CONTINUED)
- 9.01b 5/8" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES
- 9.01c 5/8" THICK PROPRIETARY TYPE 'X' GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD 10)
- 9.01d TWO LAYERS OF 1/2" THICK TYPE 'X' GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE 'X' GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES, (REFER TO BUILDING SECTIONS FOR APPLICABILITY)
- 9.02 TILE, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.03 3/4" THICK FINISHED WOOD FLOOR, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURERS SPECIFICATIONS. INSTALL OVER MANUFACTURER / NATIONAL WOOD FLOOR ASSOCIATION (NWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READINGS OF CONCRETE / SUBSTRATE.
- 9.04 WALL PAPER, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.05 SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 9.06 THIN SET MORTAR.
- 9.07 5/8" CEMENT BACKER BOARD.
- 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
- 9.08 CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE, INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 10000 SPECIALTIES  
REFER TO PLAN NOTES.
- 11000 EQUIPMENT
- 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILT WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

**KEYNOTES**

- 02000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.
- 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
- 7.32 CERTAINTED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.33 2" (20 PSI NOMINAL) FLAT STOK POLYISOCYANURATE RIGID INSULATION BOARD (ITR R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYISO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
- 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.
- 7.35 VAPORSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
- 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLEUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.39 PRE-VEGETATED LIVEROOF MAXX MODULAR ROOF SYSTEM (12"x12"x 1 1/4" CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 7.40 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE DRIP IRRIGATION SYSTEM BY OTHERS. INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE ROOFEDGE MAXX AT PERIMETER CONDITIONS (BLACK ANODIZED FINISH).
- 7.41 MCHNICHOLS WIRE MESH - SQUARE STAINLESS STEEL, TYPE 304, WOVEN, 0.0930" x 0.0930" OPENING (SQUARE), 21 GAUGE, 55% OPEN AREA, PRODUCT NO. 3808324BCS, OR APPROVED EQUAL.

**KEYNOTES**

- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURERS SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
- 7.10 VAPORSHIELD VAPROMAT 3MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10).
- 7.12 BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFRS SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.13 MIRADRAIN, OR APPROVED EQUAL. OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.14 GRACE ICE AND WATER SHIELD, AT ROOFS, PROVIDE CONTINUOUS 36" WIDE LAYER (MIN) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT.
- 7.15 GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.
- 7.16 STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING)), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE, PROVIDE SAMPLE FOR APPROVAL.
- 7.17 VAPORSHIELD VAPROMAT 3 MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.18 NEOPRENE GASKETED SILL SEALER.
- 7.19 GRACE VYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.
- 7.20 STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- 7.21 ASTM D 448 SMOOTH STONE BALLASTS (3/4" 1 1/2" DIAMETER), 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 7.22 1/8" ASPHALT PROTECTION BOARD.
- 7.23 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM), TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER. (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH TO BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIC PEK AFFIXED TO WVF.
- 7.25 WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
- 7.26 WESTERN STATES SHEET METAL ROOFING (COLOR: BONDERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT), 16" ON CENTER STANDING SEAM PATTERN. AT SHEET METAL GUTTERS AND DOWNSPOUTS: WESTERN STATES SHEET METAL (COLOR: BONDERIZED), MIN 20 GAUGE (0.0321) (VERIFY WITH ARCHITECT).

**KEYNOTES**

- 06000 WOOD (CONTINUED)
- 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
- 6.15 INTERIOR WOOD CEILING. 1x6 STAINED WOOD, GRADE, SPECIES, AND FINISH TO BE DETERMINED.
- 6.16 INTERIOR WOOD WALLS. REFER TO INTERIOR DESIGNERS SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 6.17 3/4" THICK CATED WOOD BATTENS. PAINT MATTE BLACK, NOT USED.
- 6.18 POST PER STRUCTURAL DRAWINGS.
- 6.19 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
- 6.20 WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
- 6.22 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
- 07000 THERMAL & MOISTURE PROTECTION
- 7.01 BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
- 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
- 7.02a 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
- 7.03 BLOWN IN BLANKET (B.I.B.S.) INSULATION, AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).
- 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS), RE: BUILDING SECTIONS.
- 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
- 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
- 7.07 VAPORSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- 7.08 VAPORSHIELD LIQUIFLASH. INSTALL PER MANUFACTURERS SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1'-0" ON FACE. 12-15 WET MIL THICKNESS.

**KEYNOTES**

- 05000 METALS & RAILINGS
- 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.03 1/8" THICK PLATE STEEL, MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECTS APPROVAL.
- 5.04 RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCND), OR SIMILAR.
- 5.05 2X2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FIM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH [6.13].
- 5.06 STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
- 5.07 ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
- 06000 WOOD
- 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
- 6.02 2x STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATION WITH STRUCTURAL DRAWINGS. PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
- 6.03 1/2" WOOD FIBERBOARD.
- 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
- 6.05 ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.05a FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY LOCATION WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
- 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
- 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
- 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 6.10 2x DROPPED CEILING FRAMING.
- 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- 6.12 NOT USED.
- 6.13 EXTERIOR SIDING: 3/4" X 5/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWN TIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5.38" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK-UP FOR OWNER AND ARCHITECTS APPROVAL.

**KEYNOTES**

- 02000 SITEWORK
- 2.01 BACKFILL PER GEOTECHNICAL REPORT
- 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
- 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
- 2.04 4" SAND OVER 6" (MIN) COMPACTED GRAVEL.
- 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
- 2.06 4" OF 3/4" MINUS COMPACTED ROADBASE OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT. CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER, SEE REPORT.
- 2.07 SNOWMELT TUBING IN 2" OF CLEAN SAND.
- 2.08 CASTONH OLYMPIC PAVERS (12"x36", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
- 2.10 ASPHALT PAVING PER CIVIL ENGINEER.
- 2.11 GRAVEL PER LANDSCAPE ARCHITECT.
- 03000 CONCRETE
- 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.03 BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
- 3.04 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
- 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
- 04000 MASONRY
- 4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
- 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. LATH AND SCRATCH COAT AS REQUIRED.
- 4.03 6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.04 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.06 MASONRY TIES, REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**  
ARCHITECTS

MAIL: P.O. B. 4373  
KETCHUM, IDAHO 83340  
PHONE: 208.726.0020  
FAX: 208.726.0019  
WWW.WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 04/18/2022  
ISSUED: PERMIT SET  
DATE: 08/05/2022  
REVISED: PRELIM  
DATE: 08/02/2023  
ISSUED: FOR CONSTRUCTION

**REVISIONS**  
NUMBER: 01  
DATE: 08/02/2023

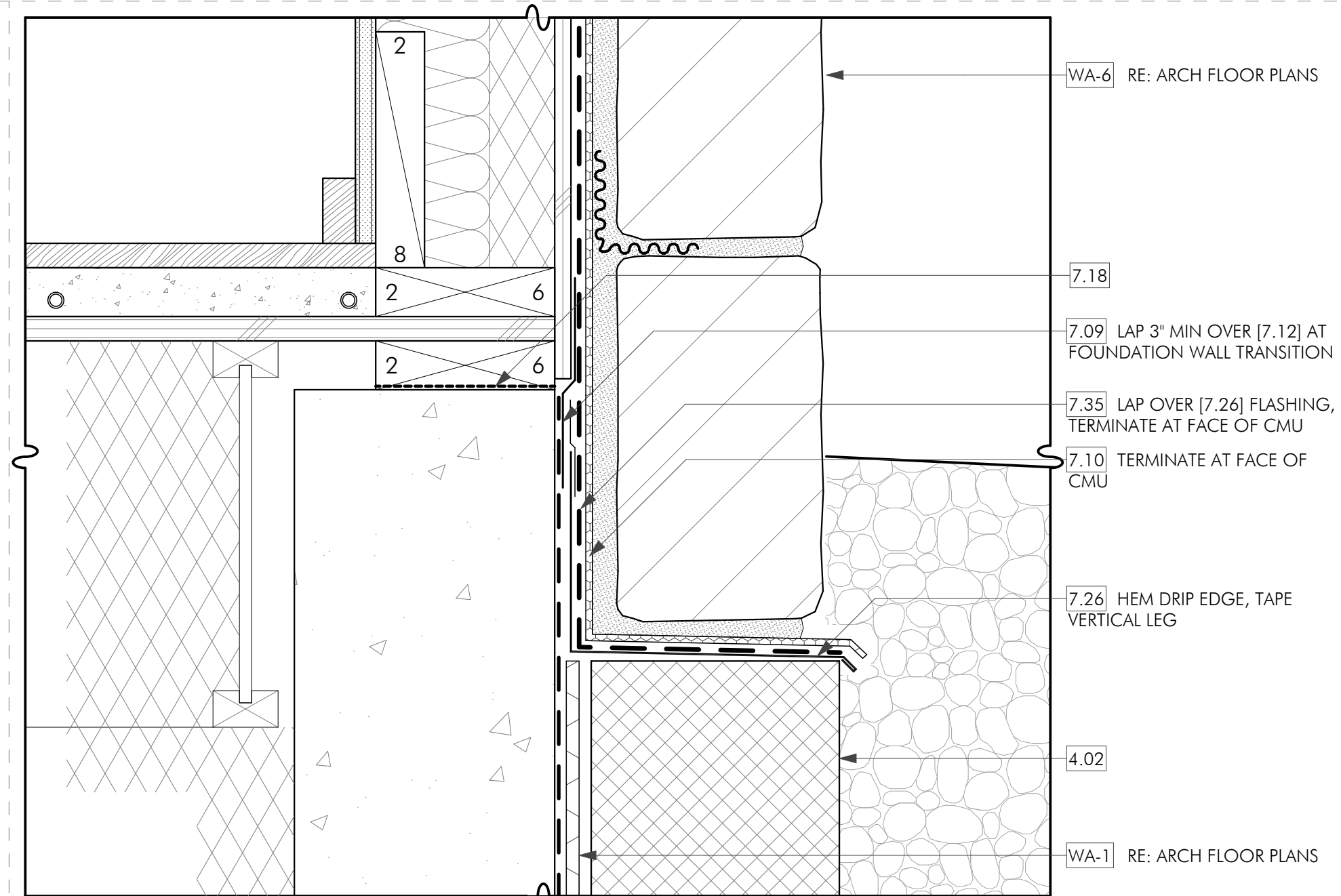
**A 7.2**  
ARCHITECTURAL DETAILS

# 380 N. 1st Ave. Mixed-Use Building

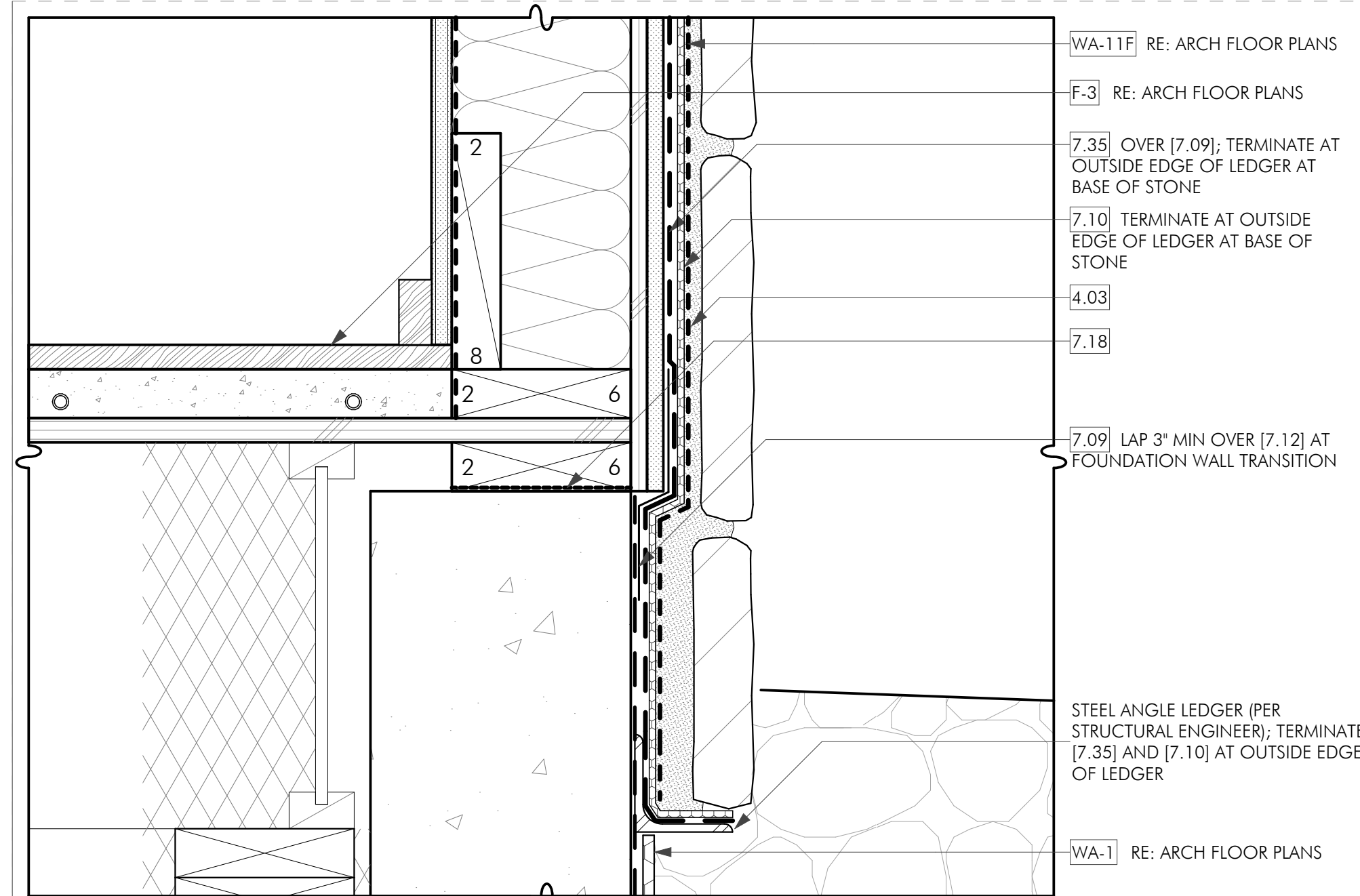
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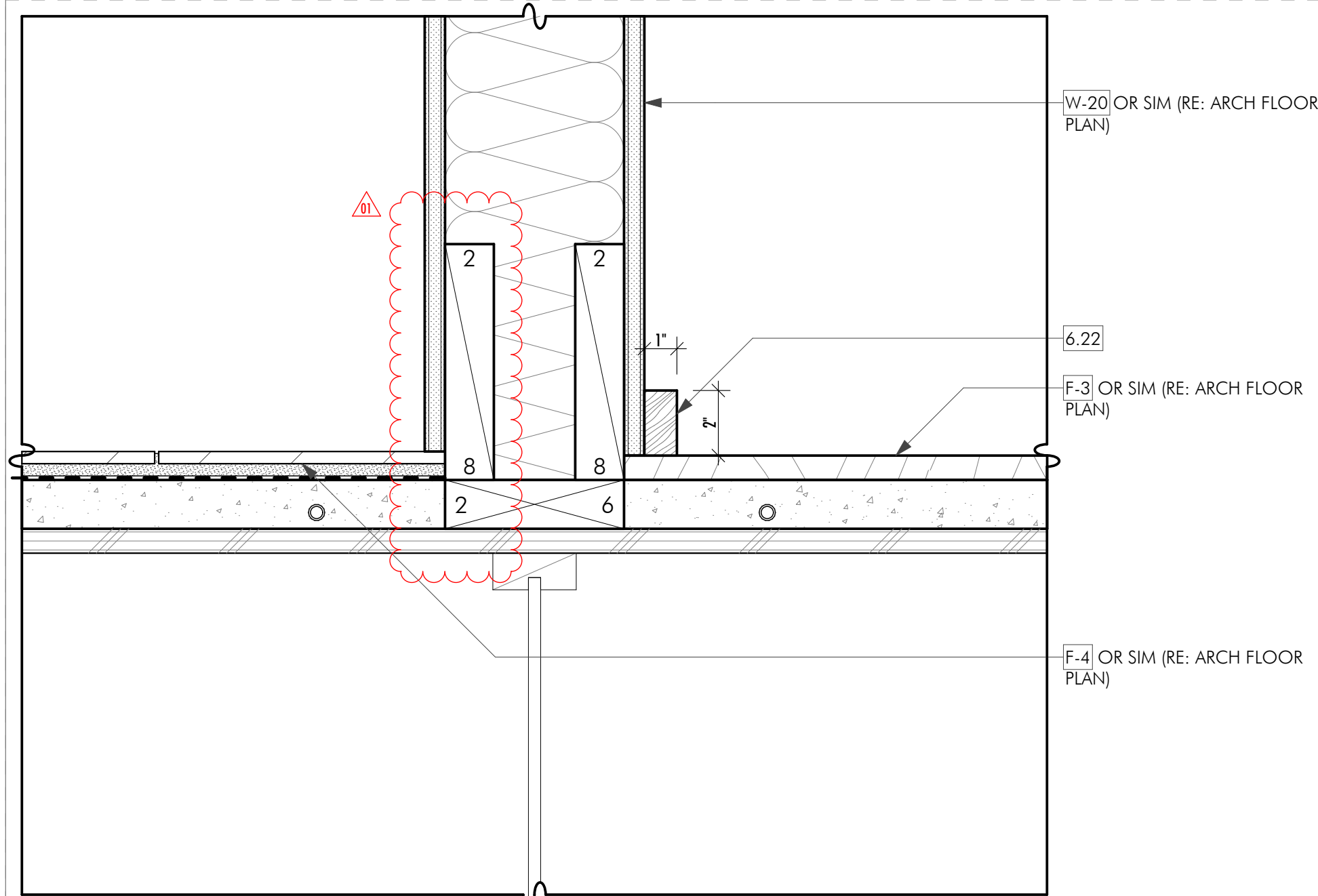
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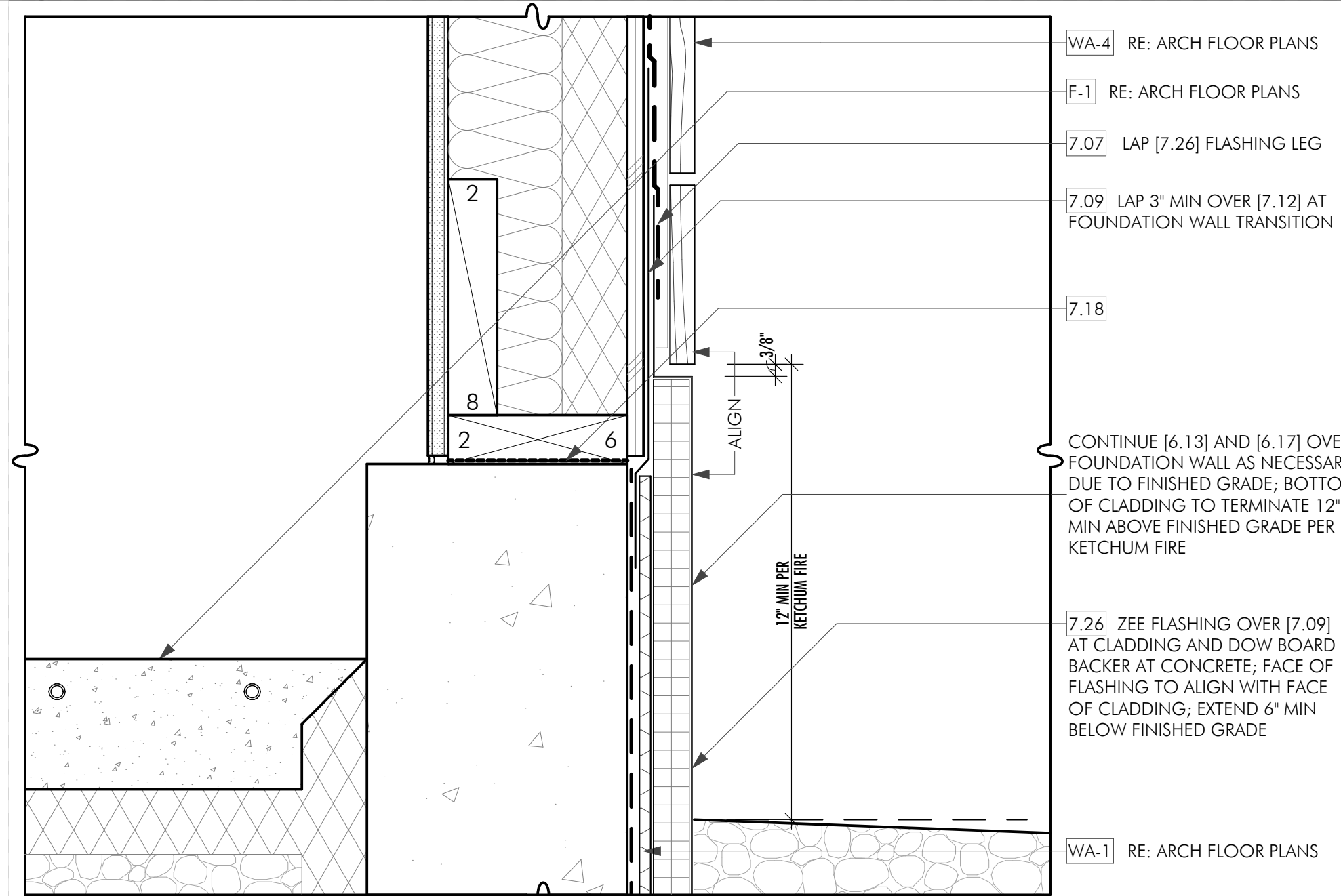
**4 TYPICAL BASE OF WALL DETAIL AT STONE VENEER**  
SCALE: 3/8" = 1'-0"



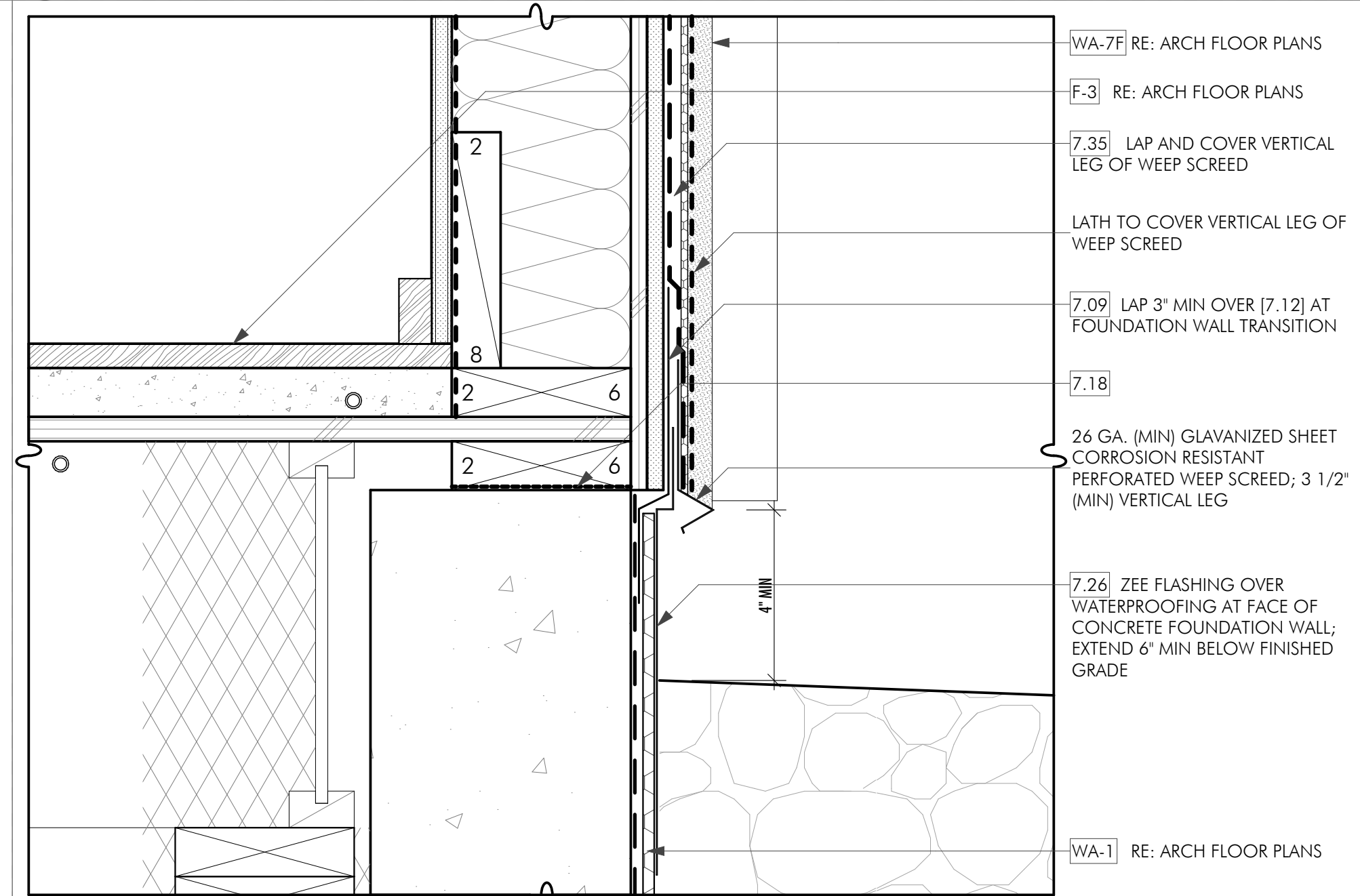
**2 BASE OF WALL DETAIL AT THIN STONE**  
SCALE: 3/8" = 1'-0"



**5 TYPICAL BASE TRIM DETAIL**  
SCALE: 3/8" = 1'-0"



**3 TYPICAL BASE OF WALL DETAIL AT RAINSCREEN SIDING**  
SCALE: 3/8" = 1'-0"



**1 TYPICAL BASE OF WALL DETAIL AT STUCCO**  
SCALE: 3/8" = 1'-0"

## KEYNOTES

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- 9.01b 5/8" THICK TYPE X GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES
- 9.01c 5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD; SHEETROCK® BRAND FIRECODE C-CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD 10)
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- 9.02 TILE. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
- 9.03 3/4" THICK FINISHED WOOD FLOOR. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURER'S/NATIONAL WOOD FLOOR ASSOCIATION (NWWFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.
- 9.04 WALL PAPER. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
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- 9.08 CARPET AND PAD. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
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## KEYNOTES

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- 7.33 2" (20 PSI NOMINAL) FLAT STUCK POLYSOCYANURATE RIGID INSULATION BOARD (LTH R-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING; POLYSTO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURB TO FORM A CONTINUOUS LAYER.
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- 7.35 VAPORSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
- 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 6" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.39 PRE-VEGETATED LIQUIDAP® MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" CARPET AND PAD, REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION).
- 7.40 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM), TAPER TO 1/2" THICKNESS AT DRAIN BODIES, TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN).
- 7.21 ASTM D 448 SMOOTH STONE BALLASTS (3/4"-1 1/2" DIAMETER), 11 LBS / SF LAID AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
- 7.22 1/8" ASPHALT PROTECTION BOARD.
- 7.23 60 MIL SINGLE PLY LOOSE LAID EPDM WATERPROOFING MEMBRANE SYSTEM.
- 7.24 HYDRONIC PEK AFFIXED TO WWF.
- 02000 FINISHES
- 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL VET LOCATIONS); LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
- 9.01a 5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD; SHEETROCK® BRAND FIRECODE CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10); LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.

## KEYNOTES

- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
- 7.10 VAPORSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10).
- 7.12 BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.13 MIRDRAIN, OR APPROVED EQUAL. OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
- 7.14 GRACE ICE AND WATER SHIELD, AT ROOFS. PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE), VERIFY WITH ARCHITECT.
- 7.15 GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.
- 7.16 STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (NAILED TO SHEATHING)), 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
- 7.17 VAPORSHIELD VAPROMAT 3MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.18 NEOPRENE GASKETED SEAL.
- 7.19 GRACE VVCOX PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.
- 7.20 STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAP, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 7.21 WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
- 7.22 WESTERN STATES SHEET METAL FLASHING (COLOR: BONDZERIZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT).
- 7.23 WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
- 7.24 WESTERN STATES SHEET METAL FLASHING (COLOR: BONDZERIZED), MIN 24 GAUGE (VERIFY WITH ARCHITECT).

## KEYNOTES

- 06000 WOOD (CONTINUED)
- 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
- 6.15 INTERIOR WOOD WALLS. REFER TO INTERIOR DESIGNER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 6.16 3/4" THICK VERTICAL WOOD BATTENS. PAINT MATTE BLACK, NOT USED.
- 6.17 POST PER STRUCTURAL DRAWINGS.
- 6.18 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
- 6.19 WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
- 6.20 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
- 07000 THERMAL & MOISTURE PROTECTION
- 7.01 BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY, FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
- 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
- 7.02b 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
- 7.03 BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF, PROVIDE R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).
- 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE. BUILDING SECTIONS.
- 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF, FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
- 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS).
- 7.07 VAPORSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 7.08 VAPORSHIELD LIQUIFLASH. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1" ON FACE. 12-15 WET MIL THICKNESS.

## KEYNOTES

- 05000 METALS & RAILINGS
- 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
- 5.03 1/8" THICK PLATE STEEL. MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECTS APPROVAL.
- 5.04 RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIERICH RC-2 PRO RESILIENT CHANNEL (RC2N), OR SIMILAR.
- 5.05 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH (6.13).
- 5.06 STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
- 5.07 ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
- 06000 WOOD
- 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
- 6.02 2X STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
- 6.03 1/2" WOOD FIBERBOARD.
- 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
- 6.05 ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.05b FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.1.1, EXCEPTION 3.1.
- 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
- 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
- 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
- 6.09 2X OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 6.10 2X DROPPED CEILING FRAMING.
- 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
- 6.12 NOT USED.
- 6.13 EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINSCREEN SIDING BY RESAWNTIMBER COMPANY, "HURON" ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK-UP FOR OWNER AND ARCHITECTS APPROVAL.

## KEYNOTES

- 02000 SITEWORK
- 2.01 BACKFILL PER GEOTECHNICAL REPORT.
- 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
- 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
- 2.04 4" SAND OVER 6" (MIN) COMPACTED GRAVEL.
- 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
- 2.06 4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
- 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
- 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.
- 2.09 CAST-ON OLYMPIC PAVERS (12"x24", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
- 2.10 ASPHALT PAVING PER CIVIL ENGINEER.
- 2.11 GRAVEL PER LANDSCAPE ARCHITECT.
- 03000 CONCRETE
- 3.01 CONCRETE FOUNDATION WALL, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.02 CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3.03 BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
- 3.04 5 1/2" THICK STONE VENEER. MORTAR AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
- 04000 MASONRY
- 4.01 MUTUAL MATERIALS VANCOUVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
- 4.02 CMU BLOCK, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4.03 LATH AND SCRATCH COAT AS REQUIRED.
- 4.04 6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
- 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

INDICATES KEYNOTE:

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**

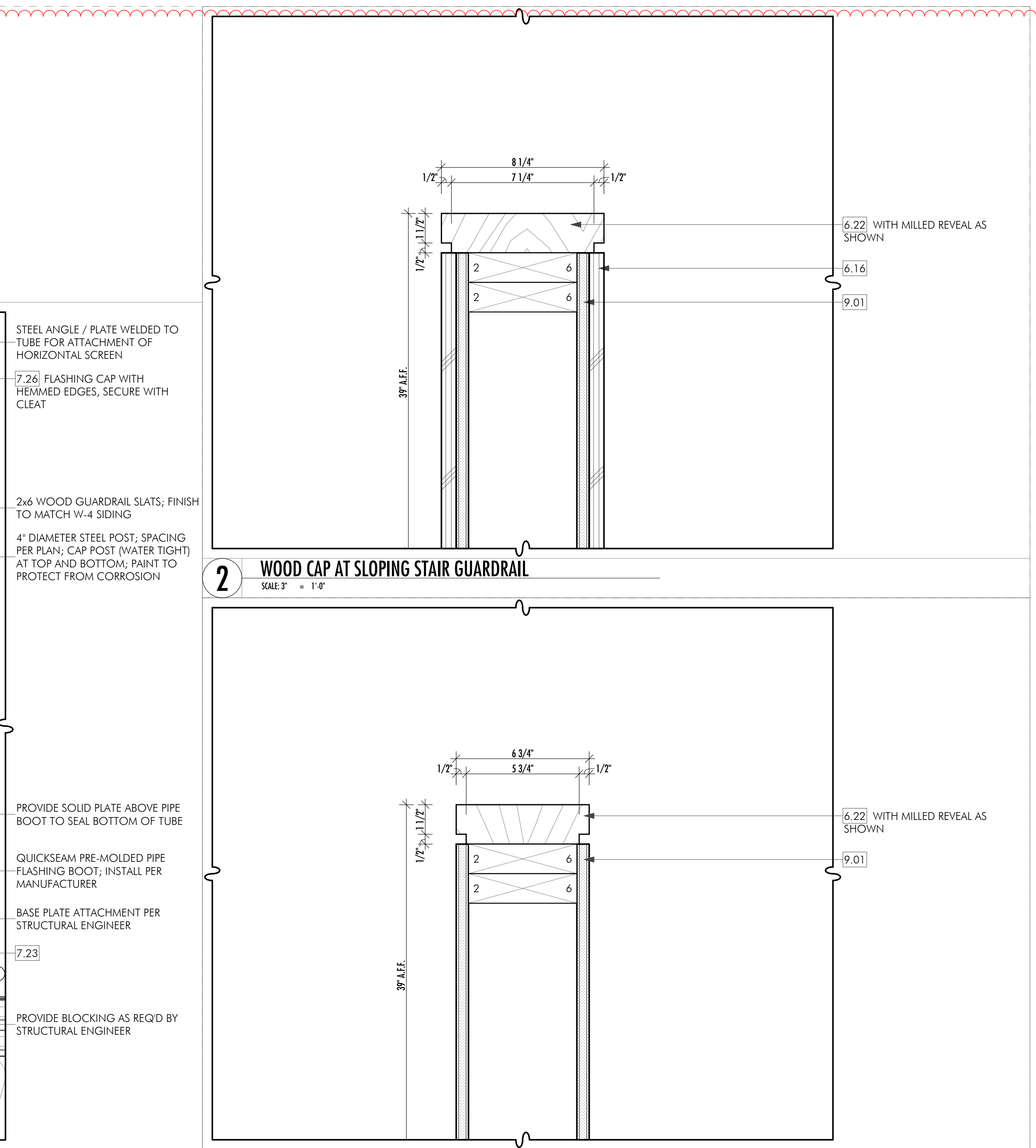
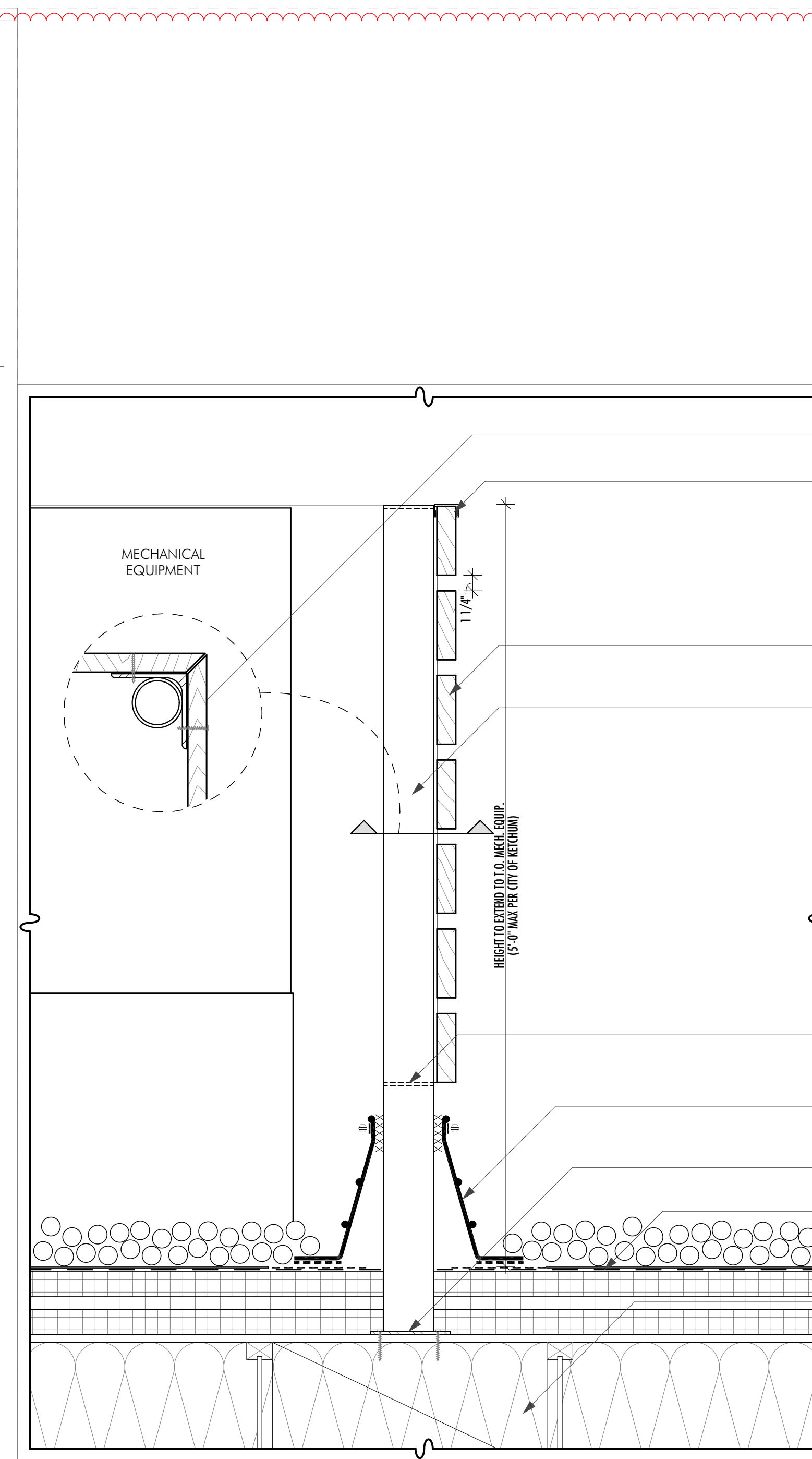
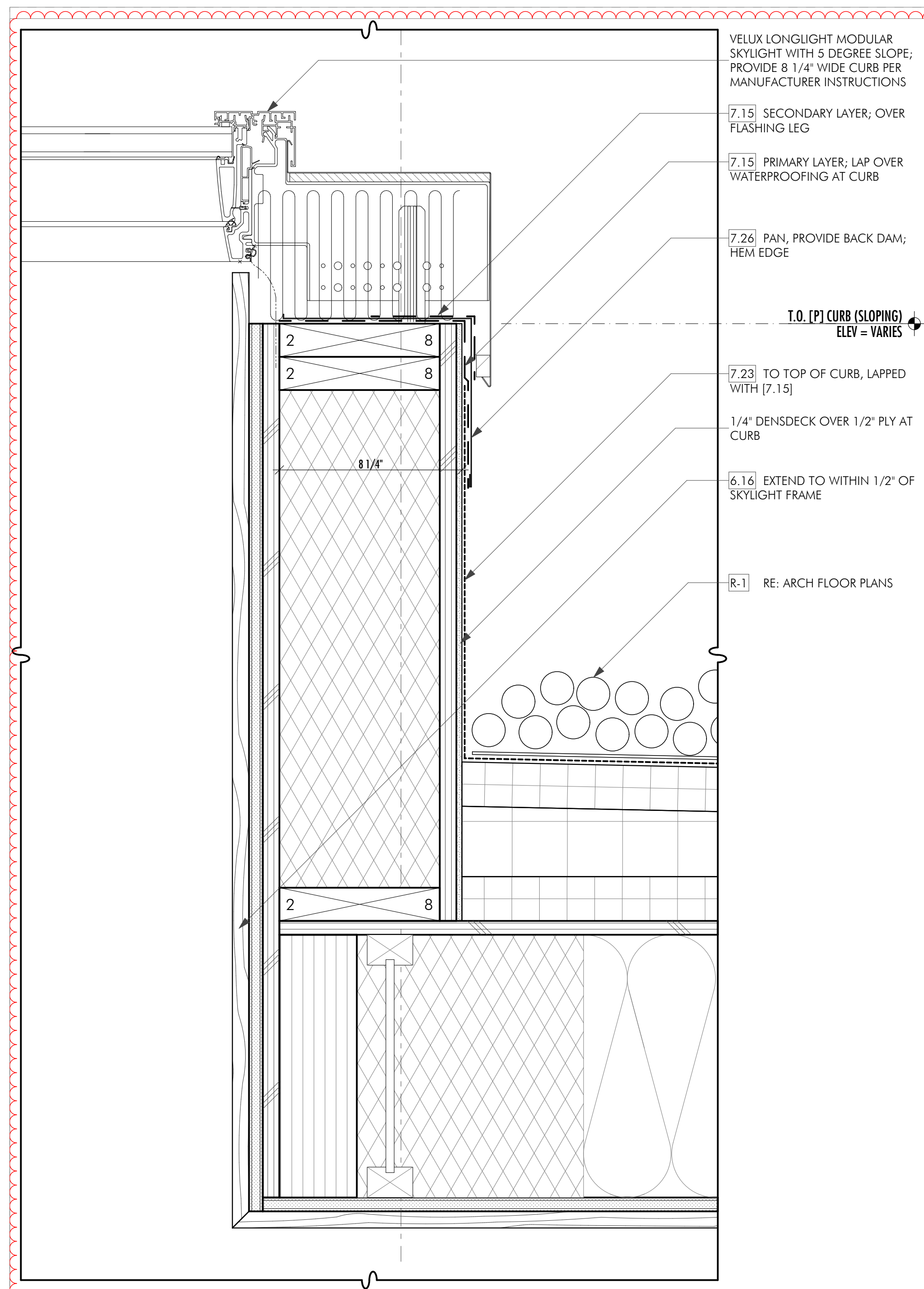
DATE ISSUED:  
04/18/2022 PERKING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**

NUMBER DATE  
01 08/02/2023

**A 7.3**

ARCHITECTURAL DETAILS



**4 SKYLIGHT CURB DETAIL**  
SCALE: 3/8" = 1'-0"

**3 MECH SCREEN AT THIRD FLOOR ROOF ACCESS**  
SCALE: 1/2" = 1'-0"

**1 WOOD CAP AT GUARDRAIL HEIGHT WALL**  
SCALE: 3/8" = 1'-0"

- KEYNOTES**
- 09000 FINISHES (CONTINUED)
  - 9.016 5/8" THICK TYPE X GYPSUM BOARD OF ANY MANUFACTURER. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES.
  - 9.01c 5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD: SHEETROCK® BRAND FIRECODE C CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. RC 2604, RE: SHEET AD 10).
  - 9.01d TWO LAYERS OF 1/2" THICK TYPE X GYPSUM BOARD OF ANY MANUFACTURER. A THIRD LAYER OF 1/2" THICK TYPE X GYPSUM BOARD IS REQUIRED WHEN GLASS FIBER INSULATION IS USED IN THE FRAMING CAVITY. INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION AS APPLIES. REFER TO BUILDING SECTIONS FOR APPLICABILITY.
  - 9.02 TILES. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
  - 9.03 3/4" THICK FINISHED WOOD FLOOR. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION. INSTALL PER MANUFACTURERS' NATIONAL WOOD FLOOR ASSOCIATION (NWLFA) RECOMMENDED VAPOR RETARDER AS APPLIES FOLLOWING ACCEPTABLE MOISTURE TEST READING OF CONCRETE / SUBSTRATE.
  - 9.04 WALL PAPER. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
  - 9.05 SCHLUTER-DITRA UNCOUPLING MEMBRANE OVER SCHLUTER ALL-SET, SCHLUTER FAST-SET, OR MODIFIED THIN SET MORTAR PER MANUFACTURERS' INSTALLATION INSTRUCTIONS.
  - 9.06 THIN SET MORTAR.
  - 9.07 5/8" CEMENT BACKER BOARD.
  - 9.07a 5/8" THICK USG DUROCK® BRAND CEMENT GLASS-MAT TILE BACKERBOARD (SUBSTITUTED FOR 5/8" USG SHEETROCK® BRAND FIRECODE GYPSUM PANELS AS ALLOWED FOR IN USG FIRE-RATING LITERATURE).
  - 9.08 CARPET AND PAD. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION.
  - 9.09 EPOXY FLOOR COATING WITH NON-SLIP ADDITIVE / AGGREGATE. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 10000 SPECIALTIES  
REFER TO PLAN NOTES.
  - 11000 EQUIPMENT
  - 11.01 MECHANICAL EQUIPMENT SHALL BE DESIGN BUILT WITH ARCHITECT / CONTRACTOR / MECHANICAL SUB CONTRACTOR.

- KEYNOTES**
- 02000 THERMAL & MOISTURE PROTECTION (CONTINUED)
  - 7.28 AWS DIAMOND HEAD SERIES PEDESTALS.
  - 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
  - 7.30 3/8" DIA BACKER ROD AND BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
  - 7.31 30 LB. FELT ROOFING UNDERLAYMENT. PROTECT FROM MOISTURE PRIOR TO INSTALLATION OF METAL ROOF.
  - 7.32 CERTAINTED MEMBRAN SMART VAPOR RETARDER. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.33 2" (20 PSI NOMINAL) FLAT SLOTTED POLYSOCYANURATE RIGID INSULATION BOARD (LTHR 5-5.6 / INCH, MINIMUM) WITH FIBERGLASS FACERS AT BOTH SIDES. AT BOTTOM-MOST COURSE OVER ROOF SHEATHING: POLYSTO TO BE AN AIR-IMPERMEABLE CLASS II VAPOR RETARDER AND TAPED AT ALL SEAMS, INCLUDING AT THE PERIMETER TO THE ROOF CURBS TO FORM A CONTINUOUS LAYER.
  - 7.34 GAF VERSASHIELD ROOF DECK PROTECTION.
  - 7.35 VAPORSHIELD WRAPSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.36 1/2" THICK DENSDECK PRIME ROOF BOARD.
  - 7.37 60 MIL SINGLE PLY FULLY-ADHERED EPDM WATERPROOFING MEMBRANE SYSTEM. PROVIDE 4" MIN. SEAM TAPE WITH 12" MIN. COVER TAPE AT ALL SEAMS. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.38 45 MIL LOOSE-LAID EPDM SLIP SHEET / ROOF BARRIER. OVERLAP SEAMS 3" MIN AND GLUE WITH IMPERVIOUS ROLL-OUT ADHESIVE. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.39 PRE-VEGETATED LIVEROFF MAXX MODULAR ROOF SYSTEM (12"x12"x3 1/4" CARPET AND PAD. REFER TO INTERIOR SPECIFICATIONS BOOK FOR ADDITIONAL INFORMATION).
  - 7.41 SLAB SHIELD FOIL-FACED INSULATION (R-5), PERFORATE AT 12" O.C. EACH WAY.
  - 09000 FINISHES
  - 9.01 5/8" THICK GYPSUM WALL BOARD (PROVIDE 5/8" GREENBOARD AT ALL 'VET' LOCATIONS). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.
  - 9.01a 5/8" THICK PROPRIETARY TYPE X GYPSUM BOARD: SHEETROCK® BRAND FIRECODE CORE GYPSUM PANELS (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10). LEVEL 4 FINISH OR PLASTER. LOCATIONS PER INT. SPECS.

- KEYNOTES**
- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
  - 7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURERS' SPECIFICATIONS. AT OPENINGS: 2.75" INTO R.O. AND 9" ON FACE.
  - 7.10 VAPORSHIELD VAPROMAT 2MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.11 1/2" THICK USG DUROCK® BRAND CEMENT BOARD (INSTALL AS SPECIFIED IN GA FILE NO. WP 8131, RE: SHEET AD 10).
  - 7.12 BITUTHENE 3000, OR APPROVED EQUAL. INSTALL PER MFR'S SPECIFICATIONS. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
  - 7.13 MIRADRAN, OR APPROVED EQUAL. OVER FOUNDATION WATERPROOFING. REFER TO GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.
  - 7.14 GRACE ICE AND WATER SHIELD, AT ROOFS. PROVIDE CONTINUOUS 36" WIDE LAYER (MIN.) AT EAVES (24" MIN INSIDE OF WALL LINE). VERIFY WITH ARCHITECT.
  - 7.15 GRACE ULTRA BUTYL ROOFING UNDERLAYMENT.
  - 7.16 STUCCO FINISH COAT OVER CEMENT PLASTER BASE COAT (1/4" SCRATCH COAT WITH EMBEDDED SELF-FURRING LATH (Nailed TO SHEATHING)). 1/2" BROWN COAT). COORDINATE CONTROL JOINT LOCATIONS WITH ARCHITECT. COLOR: NATURAL / WARM BEIGE. PROVIDE SAMPLE FOR APPROVAL.
  - 7.17 VAPORSHIELD VAPROMAT 3MM DRAINAGE MATRIX WITH ATTACHED FILTER FABRIC (INSTALL WITH FILTER FABRIC SIDE FACING OUT). INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.18 NEOPRENE GASKETED GULL SEALER.
  - 7.19 GRACE WYCOR PLUS SELF-ADHERED RUBBERIZED ASPHALT FLASHING.
  - 7.20 STEGO WRAP 15 MIL VAPOR BARRIER. SEAL ALL LAPS, PENETRATIONS, PERIMETER EDGES, AND TERMINATIONS AIR TIGHT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. INSTALL IN COMPLIANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
  - 7.21 ASTM D 448 SMOOTH STONE BALLASTS (3/4" - 1 1/2" DIAMETER), 11 LBS / SF LAD AT A UNIFORM DEPTH (2" MAXIMUM PER STRUCTURAL ENGINEER).
  - 7.22 1/8" ASPHALT PROTECTION BOARD.
  - 7.23 60 MIL SINGLE PLY LOOSE Laid EPDM WATERPROOFING MEMBRANE SYSTEM. TAPERED EPS INSULATION (SLOPE 1/4" / FOOT MINIMUM). TAPER TO 1/2" THICKNESS AT DRAIN BODIES. TYPICAL. CONSTANT THICKNESS AT PERIMETER (REFER TO ARCHITECTURAL CURB AND PARAPET DETAILS). TYPICAL. COORDINATE COMPRESSIVE STRENGTH BENEATH PAVERS ON PEDESTALS (20 PSI NOMINAL, MIN). HYDRONIX PEX AFFIXED TO WWF.
  - 7.24 WESTERN STATES SHEET METAL FLASHING (COLOR: MATTE BLACK), MIN 24 GAUGE (VERIFY WITH ARCHITECT).
  - 7.25 WESTERN STATES SHEET METAL FLASHING (COLOR: BONDREDZED), MIN. 24 GAUGE (VERIFY WITH ARCHITECT).
  - 7.26 WESTERN STATES SHEET METAL FLASHING (COLOR: BONDREDZED), MIN 24 GAUGE (VERIFY WITH ARCHITECT).

- KEYNOTES**
- 06000 WOOD (CONTINUED)
  - 6.14 EXTERIOR SOFFIT: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
  - 6.15 INTERIOR WOOD CEILING: 1/2" PLYWOOD PANELS WITH REVEAL JOINTS ON 1/4" CONCEALED FASTENER ZEE CHANNELS. SPECIES TBD. NATURAL OR SLIGHTLY WASHED, WARM FINISH. PROVIDE SAMPLE FOR APPROVAL.
  - 6.16 3/4" THICK VERTICAL WOOD BATTERIES. PAINT MATTE BLACK.
  - 6.17 NOT USED.
  - 6.18 POST PER STRUCTURAL DRAWINGS.
  - 6.19 BEAM OR HEADER PER STRUCTURAL DRAWINGS.
  - 6.20 WOOD BEAM WRAPS OVER PLYWOOD BACKING. GRADE, SPECIES, AND FINISH TO BE DETERMINED.
  - 6.21 STAIN GRADE WOOD TRIM (TBD). REFER TO ARCHITECTURAL DETAILS AND FINISH SCHEDULE.
  - 07000 THERMAL & MOISTURE PROTECTION
  - 7.01 BLOWN IN BLANKET (B.I.B.S.) INSULATION AT FRAMING CAVITY. FILL ENTIRE REMAINING CAVITY (R-15 MIN AT TYPICAL 2x6 WALL).
  - 7.02 BATT OR BLOWN IN BLANKET (B.I.B.S.) SOUND INSULATION TO FILL FRAMING CAVITY.
  - 7.02b 5 1/2" MINERAL FIBER INSULATION, 2.5 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 3661).
  - 7.03 BLOWN IN BLANKET (B.I.B.S.) INSULATION. AT ROOF/FLOOR FRAMING: FILL ENTIRE REMAINING CAVITY. AT CABIN COLD-ROOF. REFER R-49 MIN (12") ABOVE CEILING (REFER TO CEILING TYPE C-3F).
  - 7.04 2" MINIMUM CLOSED CELL POLYURETHANE FOAM INSULATION AT EXTERIOR WALLS AND BENEATH CONCRETE SLAB ON-GRADE (R-6.5 / INCH). FILL JOIST CAVITY TO FULL DEPTH ADJACENT TO EXTERIOR WALLS (6" MIN THICKNESS). RE: BUILDING SECTIONS.
  - 7.05 3" MINIMUM MINERAL FIBER INSULATION, 3.0 PCF. FRICTION FIT IN STUD SPACE (IN ACCORDANCE WITH GA FILE NO. WP 8131). THERMAFIBER SAFB, OR APPROVED EQUAL. (R-3.8 / INCH).
  - 7.06 3" CLOSED CELL POLYURETHANE FOAM INSULATION AT CRAWL SPACE PERIMETER (R-15 MIN IF INSULATION IS CONTINUOUS (WHERE THERE IS NO PONY WALL FRAMING INTERRUPTION) AND R-19 MIN AT CAVITY (AT PONY WALL FRAMING) PER 2018 IECC REQUIREMENTS.
  - 7.07 VAPORSHIELD REVEALSHIELD IT INTEGRATED TAPE WRB. INSTALL PER MANUFACTURERS' SPECIFICATIONS.
  - 7.08 VAPORSHIELD LIQUIFLASH. INSTALL PER MANUFACTURERS' SPECIFICATIONS. AT OPENINGS: FULL DEPTH OF WINDOW/DOOR FRAME DEPTH AT R.O. AND 1'-0" ON FACE. 12-15 WET MIL THICKNESS.

- KEYNOTES**
- 05000 METALS & RAILINGS
  - 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
  - 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECTS APPROVAL.
  - 5.03 1/8" THICK PLATE STEEL. MATTE BLACK THEMIC FINISH AT EXTERIOR. BLACKENED PATINA AT INTERIOR. PROVIDE FINISH SAMPLES ON STEEL FOR ARCHITECTS APPROVAL.
  - 5.04 RESILIENT CHANNELS FORMED OF MIN 25 MSG GALVANIZED STEEL (INSTALL AS SPECIFIED IN THE GA FILE DESCRIPTION, AS APPLIES). CLARK DIETRICH RC-2 PRO RESILIENT CHANNEL (RCNDN), OR SIMILAR.
  - 5.05 2"x2" ALUMINUM BATTEN WITH WOOD VENEER OR WOOD-LOOK FILM (TBD). SPACING PER EXTERIOR ELEVATIONS AND ARCH DETAILS. FINISH TO MATCH (6, 13).
  - 5.06 STEEL STUD FRAMING PER STRUCTURAL DRAWINGS.
  - 5.07 ICE CONTROL ENGINEERING SC-2 DOUBLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A SLOPE GREATER THAN 3:12. ICE CONTROL ENGINEERING SC-1 SINGLE BAR SNOW RETENTION DEVICE FOR STANDING SEAM METAL ROOFS AT ALL ROOFS WITH A 3:12 OR LESSER SLOPE.
  - 06000 WOOD
  - 6.01 EXISTING LOGS. REMOVE PAINT AND REFINISH WITH A NATURAL STAIN AND SEALER. VERIFY FINISH WITH ARCHITECT.
  - 6.02 2"x2" STUD FRAMING PER STRUCTURAL DRAWINGS. COORDINATE ALL SHEAR WALL LOCATIONS WITH STRUCTURAL DRAWINGS. (PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS).
  - 6.03 1/2" WOOD FIBERBOARD.
  - 6.04 ROOF OR FLOOR JOIST PER STRUCTURAL DRAWINGS.
  - 6.05 ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.05b FIRE-RETARDANT TREATED (FRT) SHEATHING FOR A DISTANCE OF 4 FEET FROM ANY FIRE-RESISTANCE RATED EXTERIOR WALLS PER IBC 707.1.1, EXCEPTION 3.1.
  - 6.06 WALL SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.07 EXISTING ROOF OR FLOOR FRAMING PER STRUCTURAL DRAWINGS.
  - 6.08 EXISTING ROOF OR FLOOR SHEATHING PER STRUCTURAL DRAWINGS.
  - 6.09 2x OR LVL BLOCKING, AS REQUIRED, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 6.10 2x DROPPED CEILING FRAMING.
  - 6.11 3/4" THICK WOOD FASCIA BOARD. FINISH TO MATCH EXTERIOR SIDING FINISH. VERIFY WITH ARCHITECT.
  - 6.12 NOT USED.
  - 6.13 EXTERIOR SIDING: 3/4" X 5 3/8" HORIZONTAL OPEN JOINT RAINDRIP SIDING BY RESAWNI TIMBER COMPANY, HURON ACCOYA EXTERIOR CLADDING. 5 3/8" ACTUAL FACE DIMENSION WITH 3/8" GAP. PROVIDE SAMPLE AND MOCK UP FOR OWNER AND ARCHITECTS APPROVAL.

- KEYNOTES** INDICATES KEYNOTE ← █
- 02000 SITEWORK
  - 2.01 BACKFILL PER GEOTECHNICAL REPORT.
  - 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
  - 2.03 4" DIAMETER PERFORATED PVC DRAIN TILE IN WASHED GRAVEL W/ FILTER FABRIC.
  - 2.04 4" SAND OVER 6" (MIN.) COMPACTED GRAVEL.
  - 2.05 RADON VENTING SYSTEM UNDER SLAB AND IN CRAWLSPACE.
  - 2.06 4" OF 3/4" MINUS COMPACTED ROADBED OVER 6" MINIMUM COMPACTED FIT RUN SAND AND GRAVEL AS DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
  - 2.07 CUTOFF TRENCH - DIRECTED BY GEOTECHNICAL ENGINEER. SEE REPORT.
  - 2.08 SNOWMELT TUBING IN 2" OF CLEAN SAND.
  - 2.09 CAST-IN-CONCRETE OLIMPIK PAVERS (12"x26", COLOR: CHARCOAL) IN RUNNING BOND PATTERN. VERIFY WITH LANDSCAPE ARCHITECT.
  - 2.10 ASPHALT PAVING PER CIVIL ENGINEER.
  - 2.11 GRAVEL PER LANDSCAPE ARCHITECT.
  - 03000 CONCRETE
  - 3.01 CONCRETE FOUNDATION WALL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 3.02 CONCRETE FOOTING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 3.03 BOARD-FORMED CONCRETE SITE WALL (VERIFY FINISH WITH ARCHITECT AND OWNER).
  - 3.04 CONCRETE SLAB ON GRADE WITH RADIANT HEAT TUBES (REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION).
  - 3.05 1 1/2" THICK CONCRETE SLAB WITH RADIANT HEAT TUBES AND 2x SLEEPERS. PROVIDE REINFORCEMENT AS REQUIRED.
  - 04000 MASONRY
  - 4.01 MUTUAL MATERIALS VANCOVER BAY SERIES (12"x24", COLOR: GRAY) PAVING STONE (PER LANDSCAPE ARCHITECT) SET OVER PEDESTALS. CONFIRM AND COORDINATE WEIGHT OF FINAL SPEC WITH STRUCTURAL ENGINEER.
  - 4.02 CMU BLOCK. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. LATH AND SCRATCH COAT AS REQUIRED.
  - 4.03 6-7" THICK STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
  - 4.05 1 1/2" THICK THIN STONE VENEER, MORTAR, AND GROUT. SELECT STONE TUMBLED FRONTIER, IRREGULAR SANDSTONE OR CORTANA LIMESTONE (PROVIDE SAMPLES AND MOCK-UP FOR OWNER/ARCHITECT APPROVAL).
  - 4.06 MASONRY TIES. REFER TO STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.

**WILLIAMS PARTNERS ARCHITECTS**

**P.O. B. 4373**  
**KETCHUM, IDAHO**  
**83340**  
**PHONE** 208.726.0020  
**FAX** 208.726.0019  
**WWW WILLIAMS-PARTNERS.COM**

**DRAWINGS**  
DATE: 04/18/2022  
ISSUED: 08/05/2022  
PERMITS: 08/02/2023  
ISSUED FOR CONSTRUCTION

**REVISIONS**  
DATE: 01 08/02/2023

**A 7.5**

ARCHITECTURAL DETAILS

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340

LOEMBIE ARCHITECT AR-1780  
CHARLES WILLIAMS STATE OF IDAHO

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE OLY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

**NOTES**

**EXTERIOR WINDOWS:**

- 2ND AND 3RD FLOORS:
  - WEATHERSHIELD VUE COLLECTION, SQUARE BEAD
  - **HOLLOW CORE METAL AT MECH ROOM DOOR?**
- 1ST FLOOR:
  - SIERRA PACIFIC ALUMINUM CLAD WOOD AT ALL CABIN REPLACEMENT OPENINGS; AT NEW CONSTRUCTION: SIERRA PACIFIC ALUMINUM CLAD WOOD OR WEATHERSHIELD VUE COLLECTION, SQUARE BEAD (TBD)
- 3RD FLOOR SKYLIGHT: VELUX FIXED CURB-MOUNTED LONGLIGHT (5 DEGREES) MODULAR SKYLIGHT OR ALADDIN (TBD).
- EXTERIOR FINISH: ALUMINUM COLOR: 'BLACK' (VERIFY WITH ARCHITECT).
- INTERIOR FINISH (@ SIERRA PACIFIC): FIR, UNFINISHED, SHALL BE FINISHED ON-SITE.
- DOUBLE GLAZING, TYPICAL (0.30 MAX U-FACTOR). LOW-E 272. **PLEASE PROVIDE PRICING FOR TRIPLE GLAZING FOR THE MASTER BEDROOM AND 2ND FLOOR LIVING/DINING WINDOW WALL.**
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE (IBC 2018).
- EXTERIOR WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM THE EXTERIOR.

**OWNERSHIP OF DOCUMENTS:**  
 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

**380 N. 1st Ave. Mixed-Use Building**

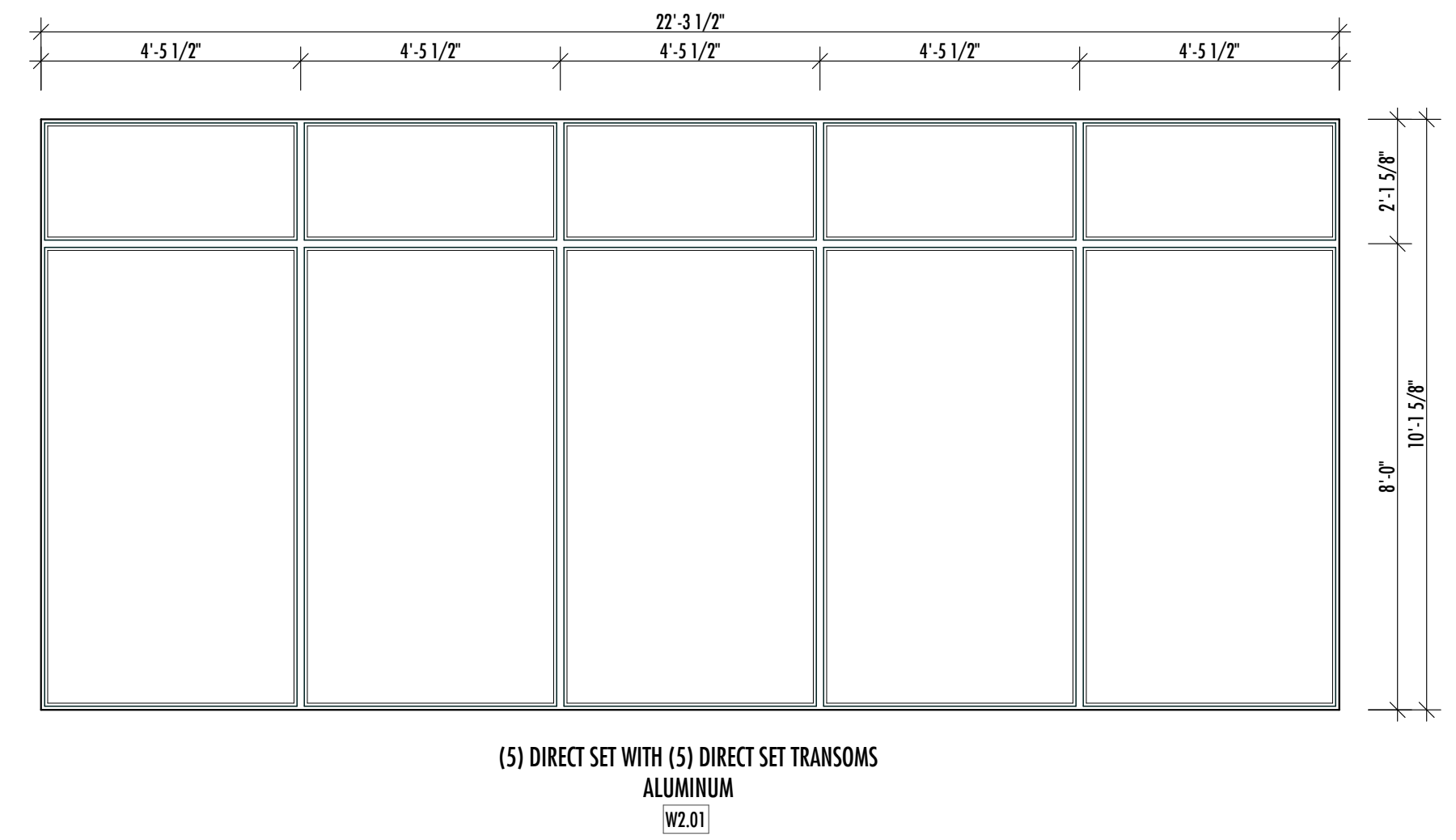
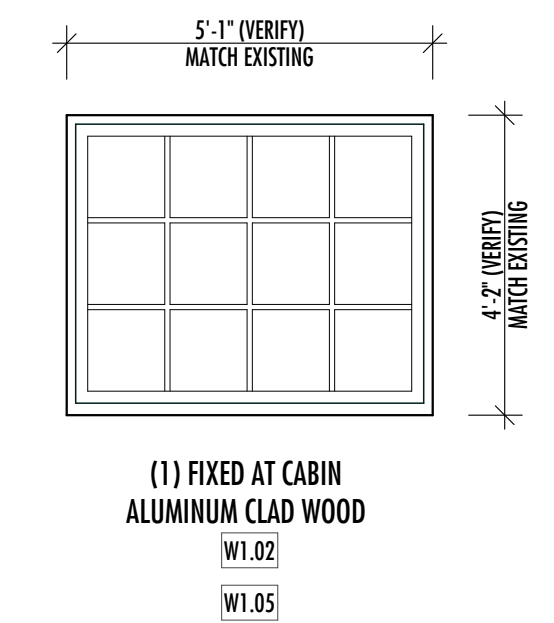
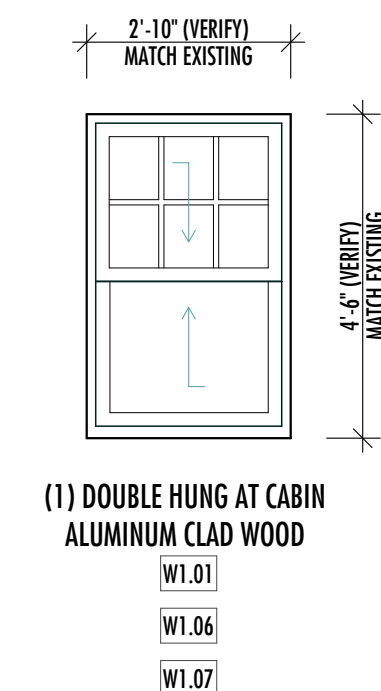
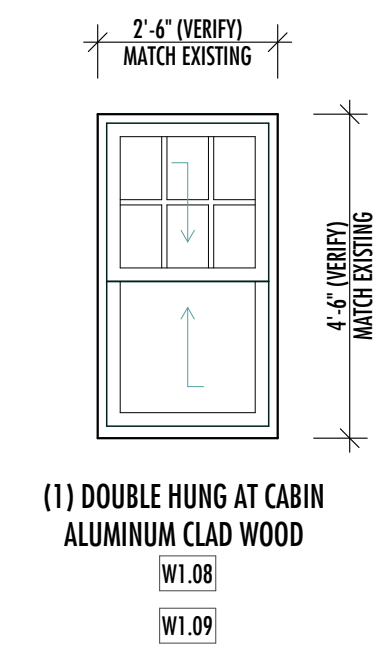
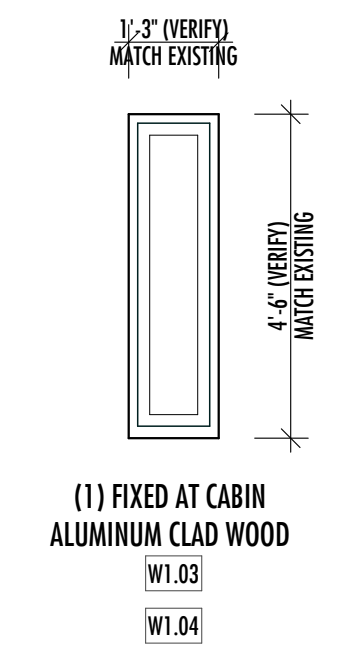
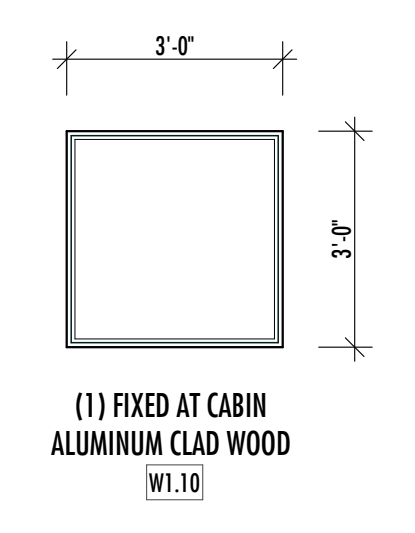
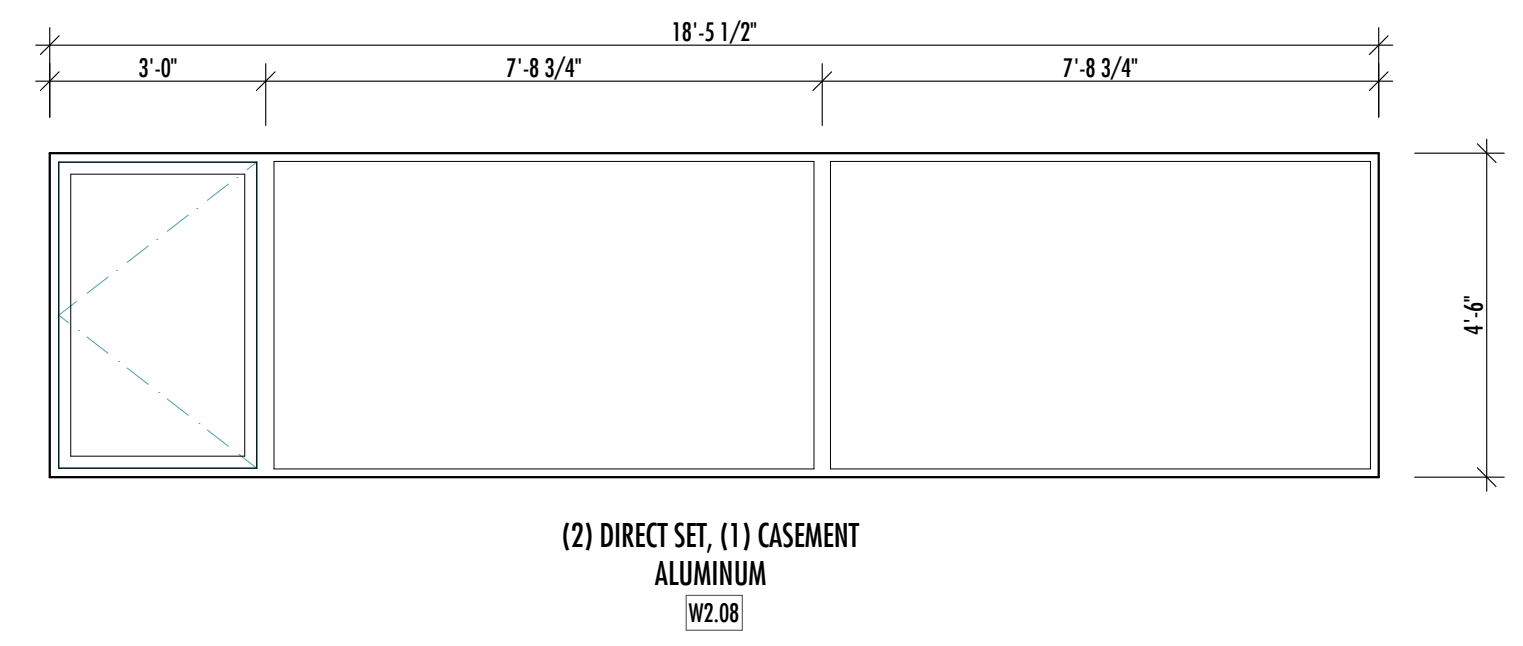
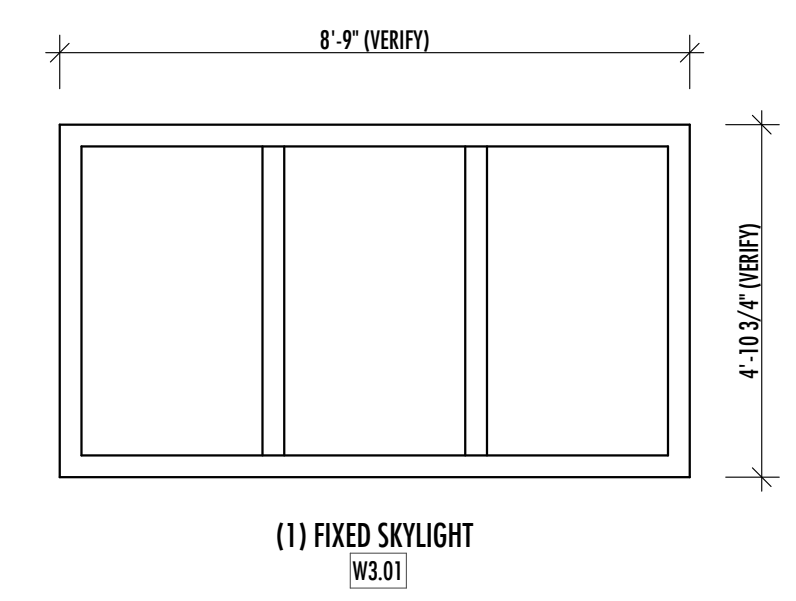
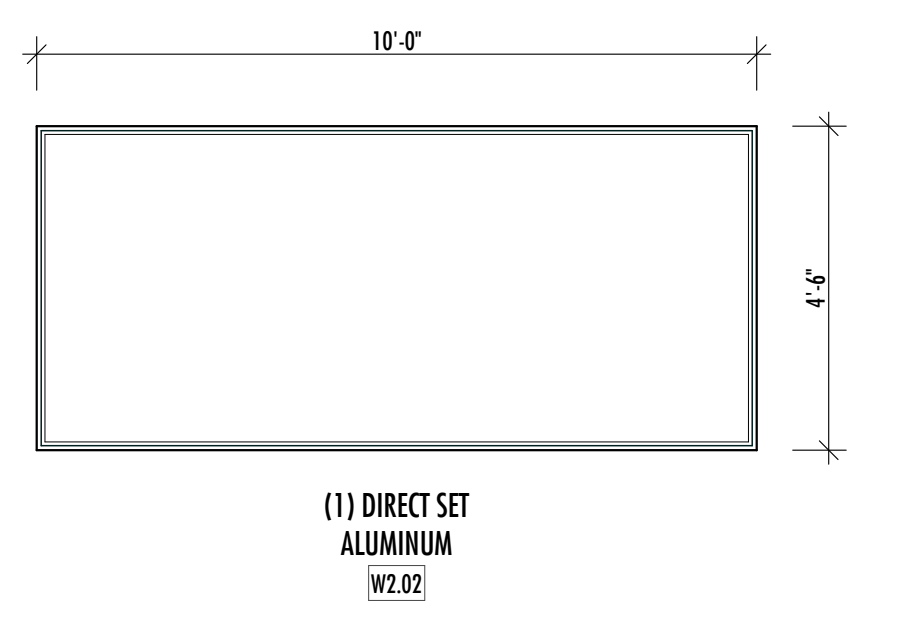
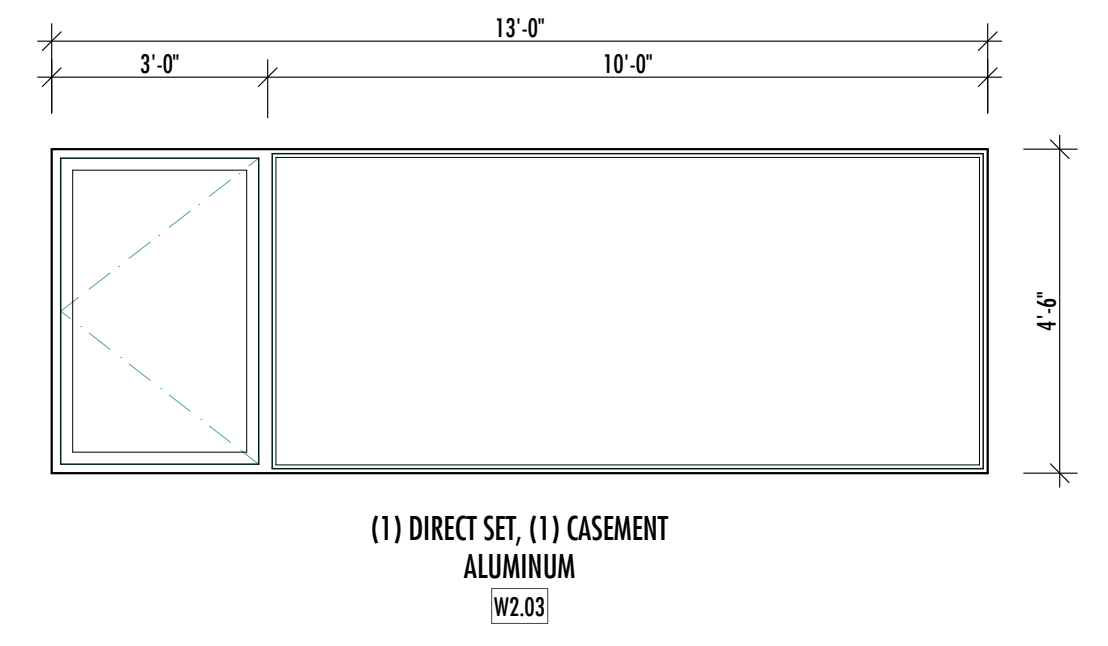
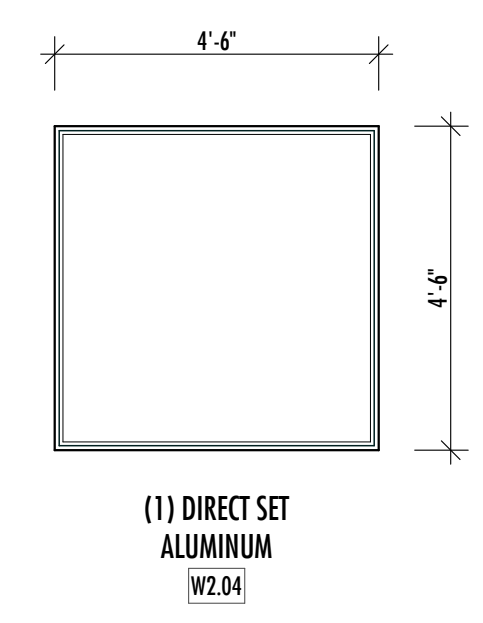
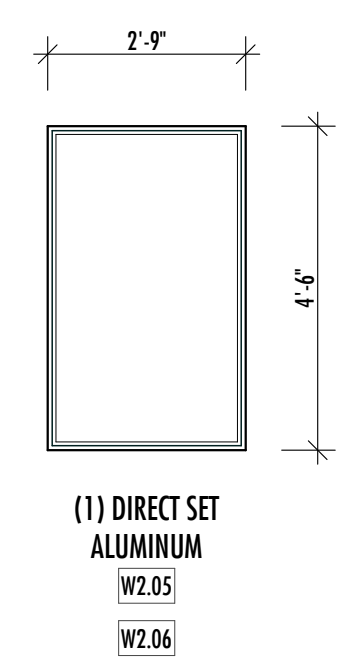
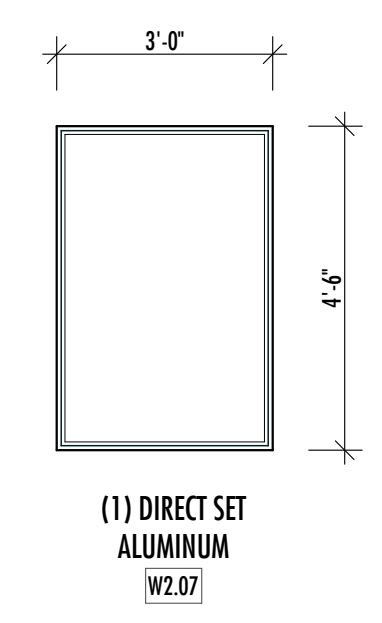
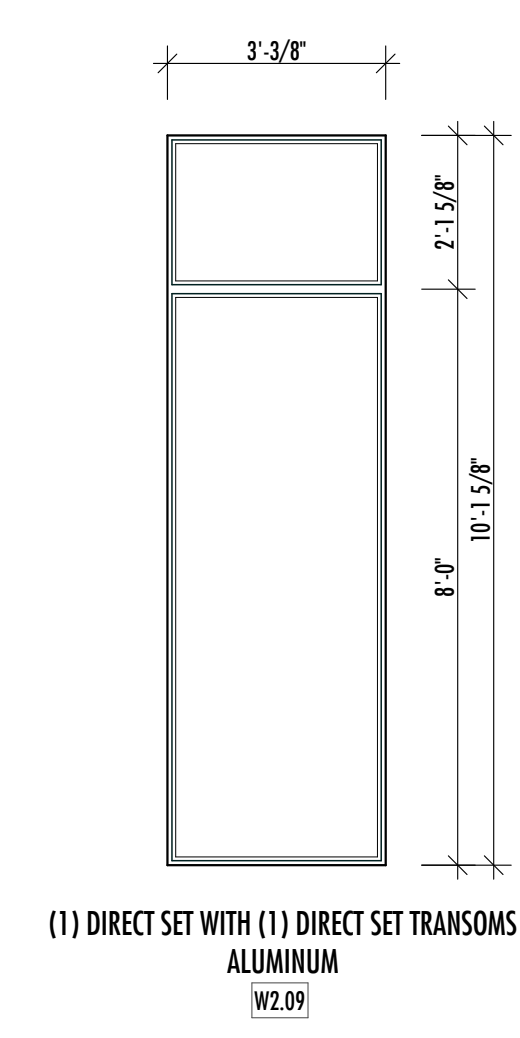
Lot 5, Block 37, Ketchum, Idaho 83340



**ARCHITECTS**

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**DRAWINGS**  
 DATE: 05/12/2021  
 ISSUED: COX SCHEMATIC PRESENTATION  
 06/10/2021 COX HPC REVIEW  
 09/30/2021 DESIGN REVIEW  
 04/22/2022 PRICING SET  
 08/05/2022 PERMIT  
 08/02/2023 ISSUED FOR CONSTRUCTION  
**REVISIONS**  
 NUMBER: DATE:

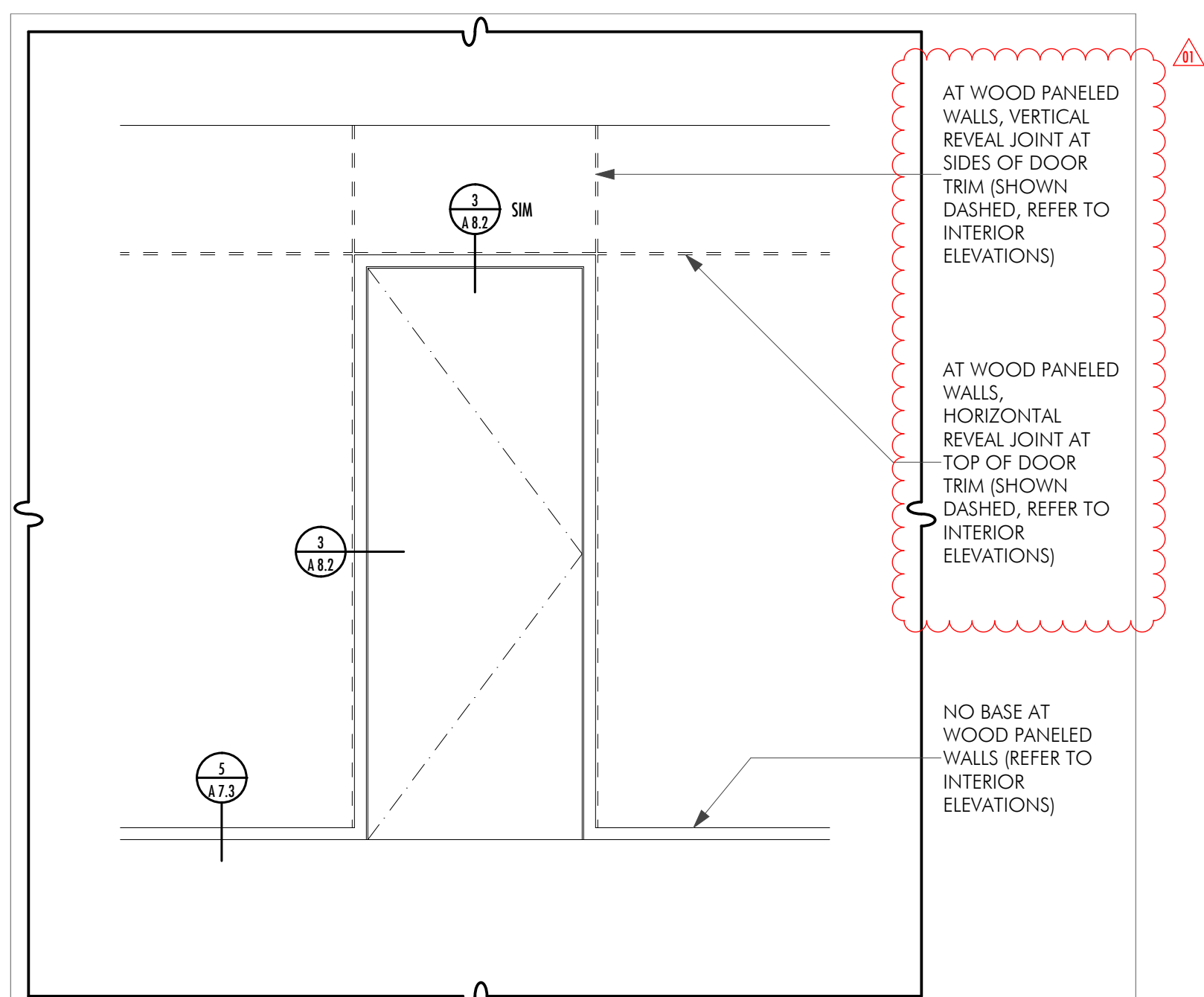


**WINDOW TYPES AND SCHEDULE 1**

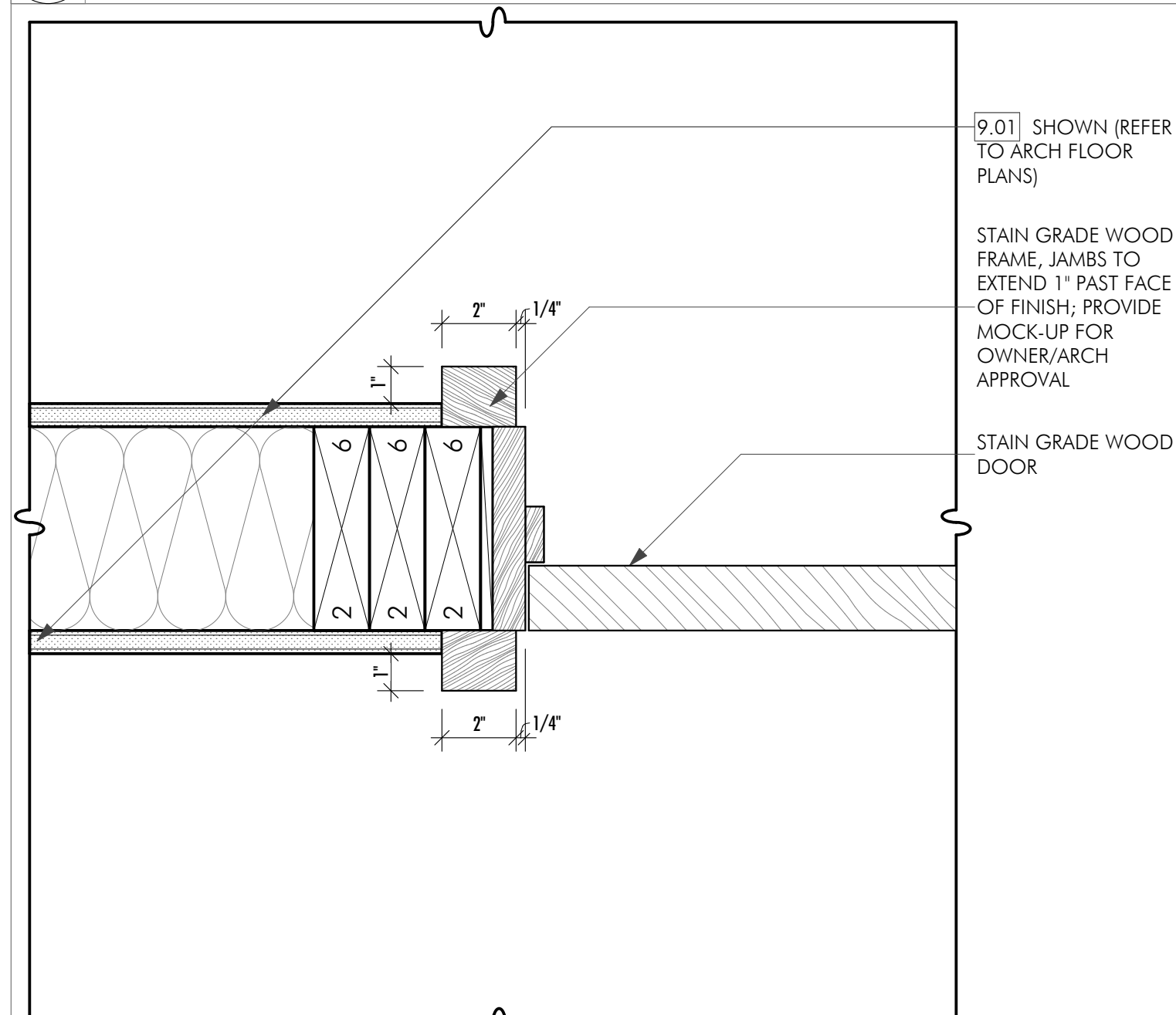
SCALE: 3/8" = 1'-0"

**A 8.1**

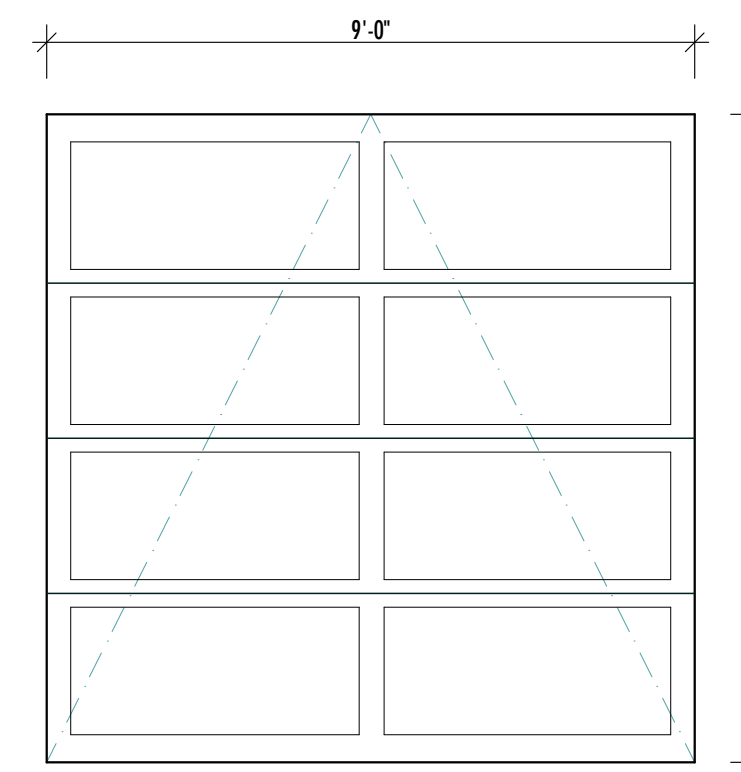
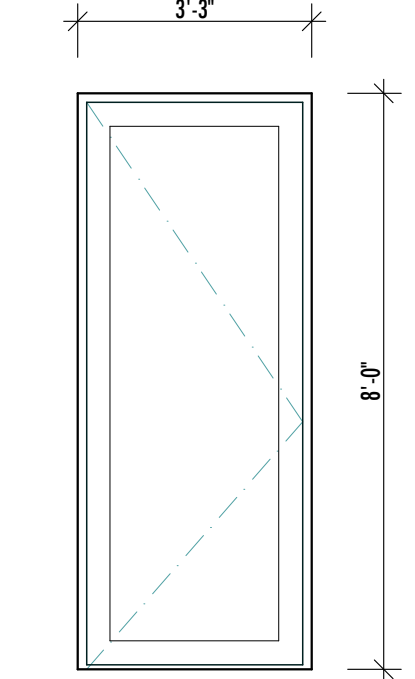
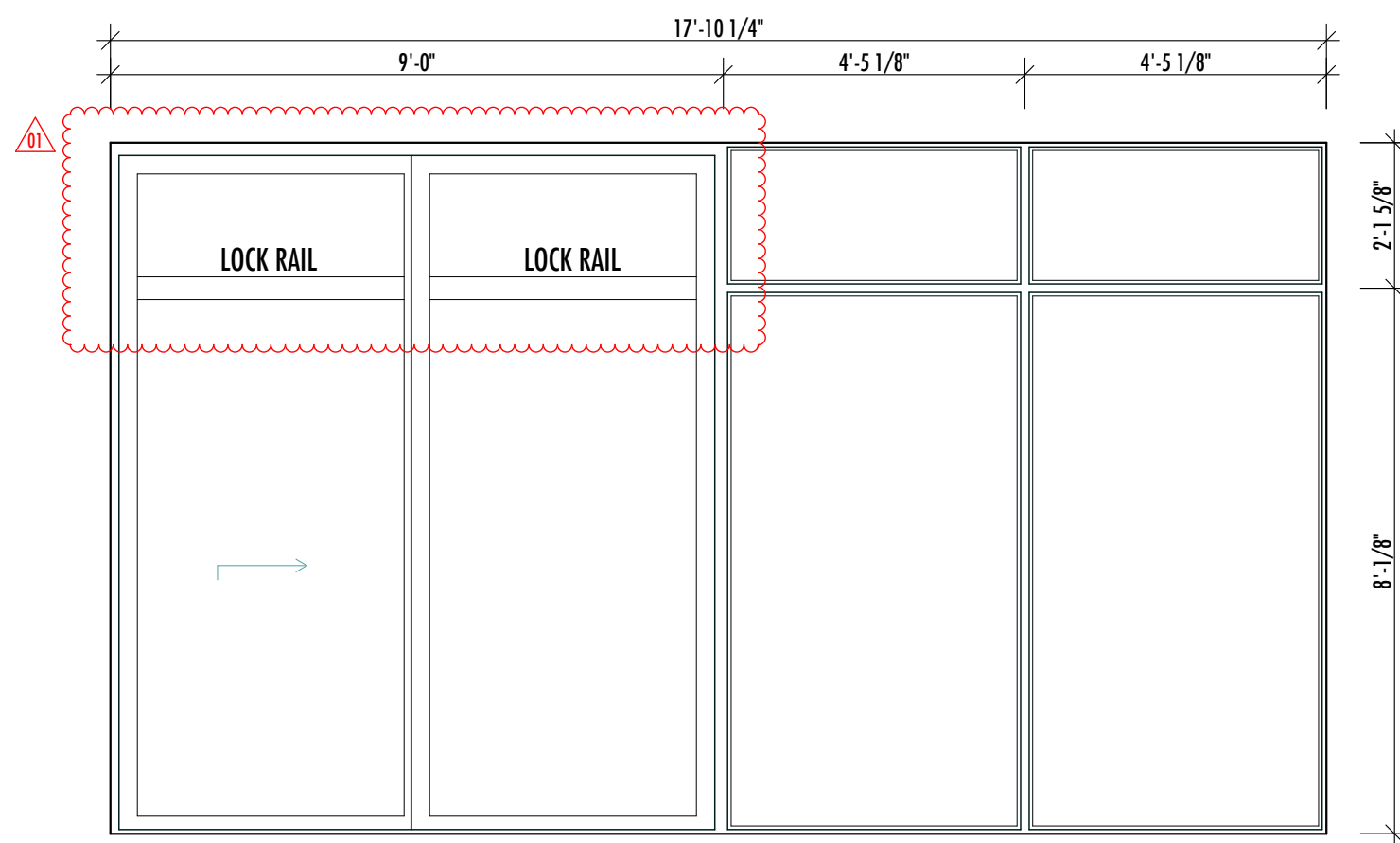
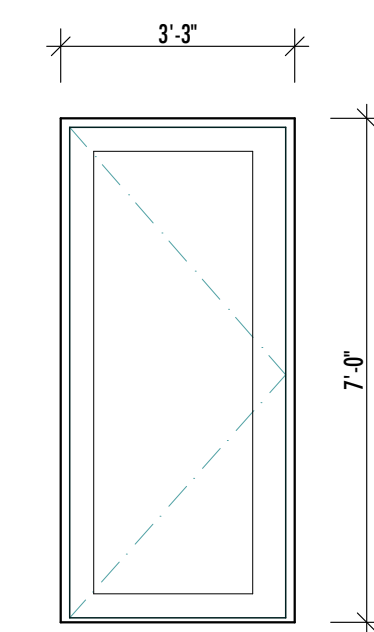
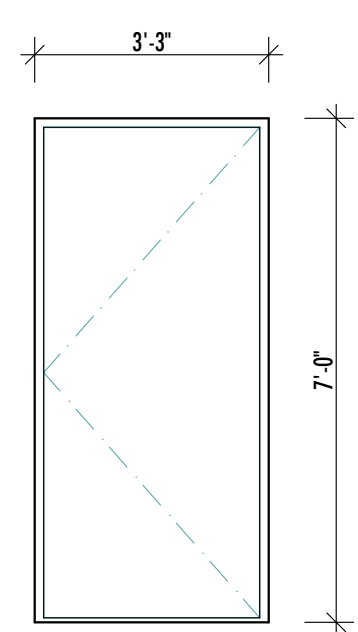
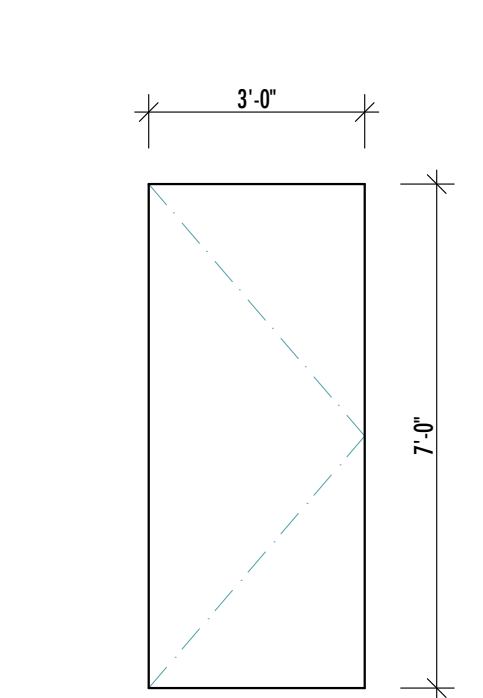
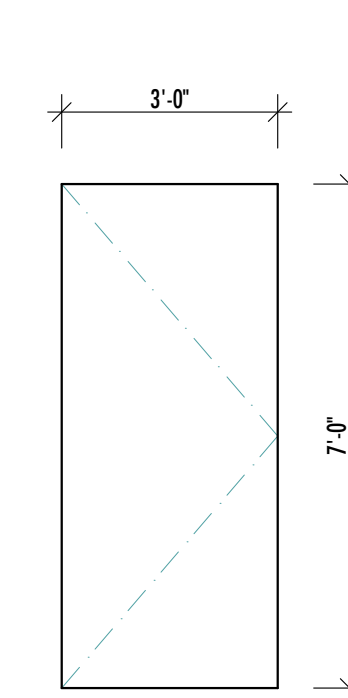
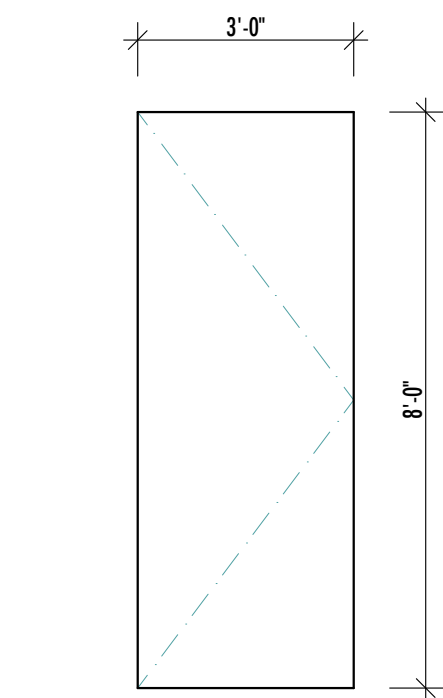
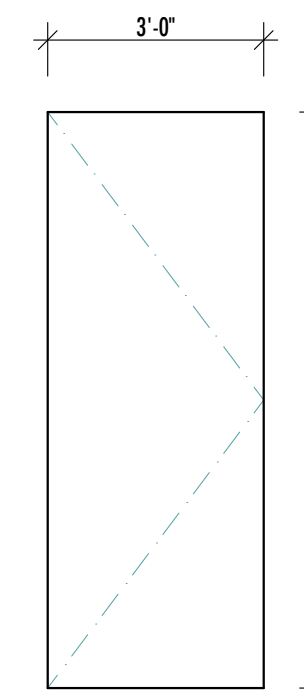
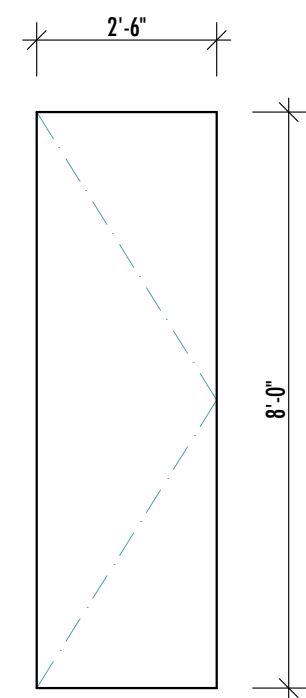
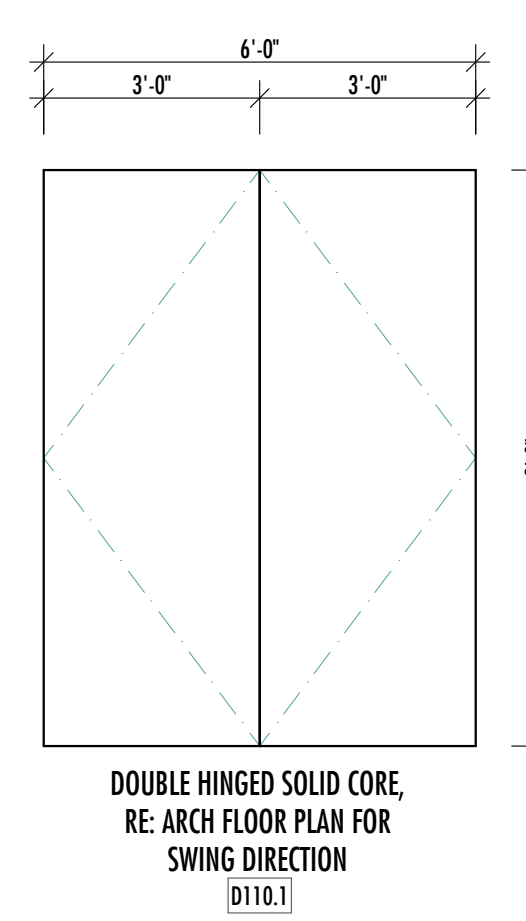
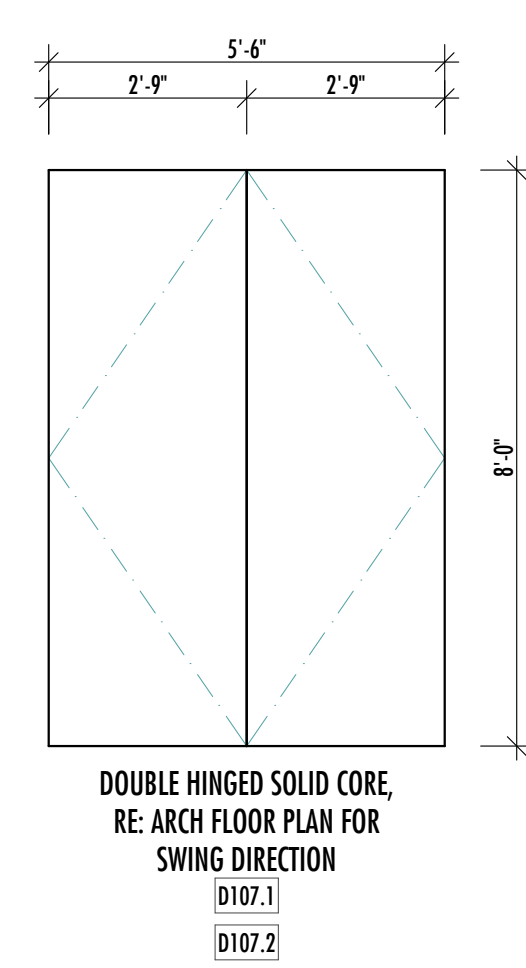
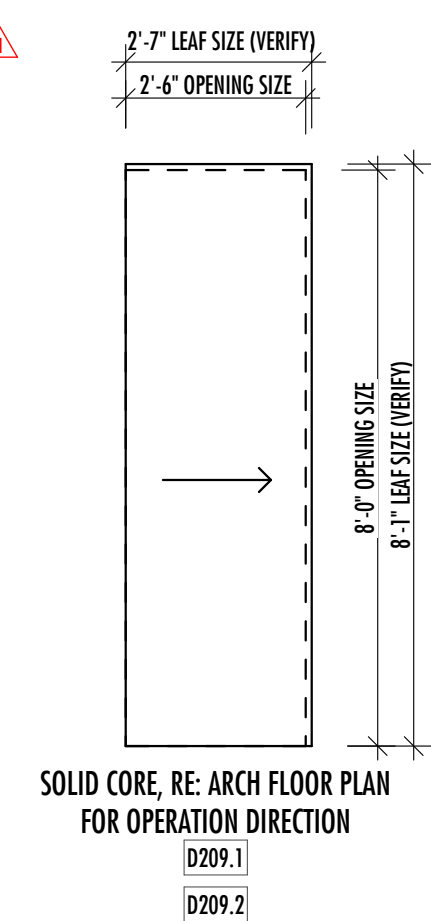
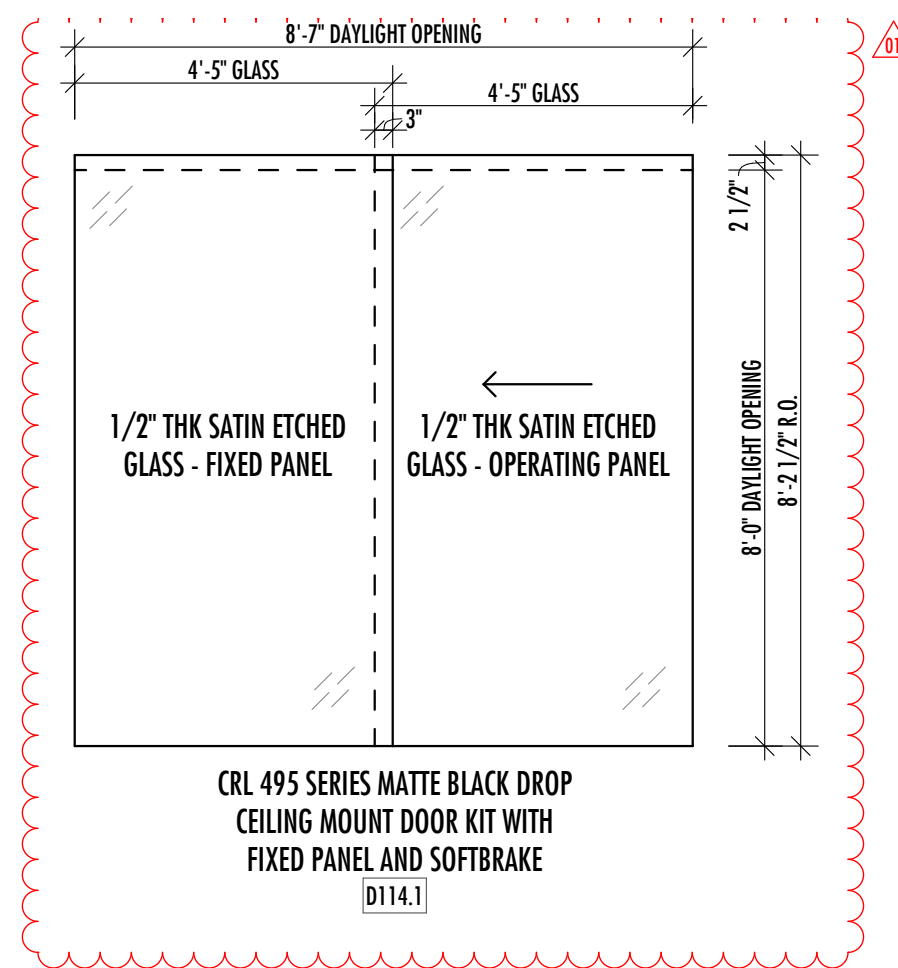
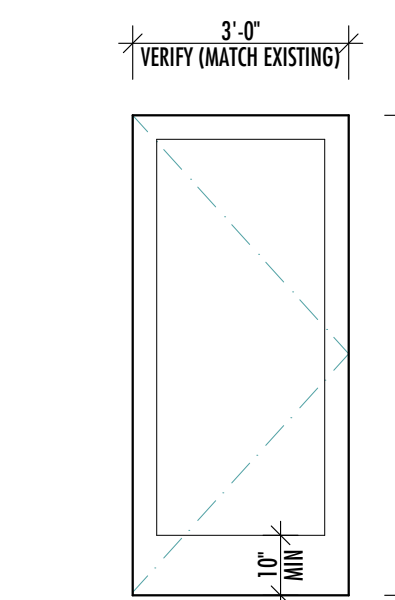
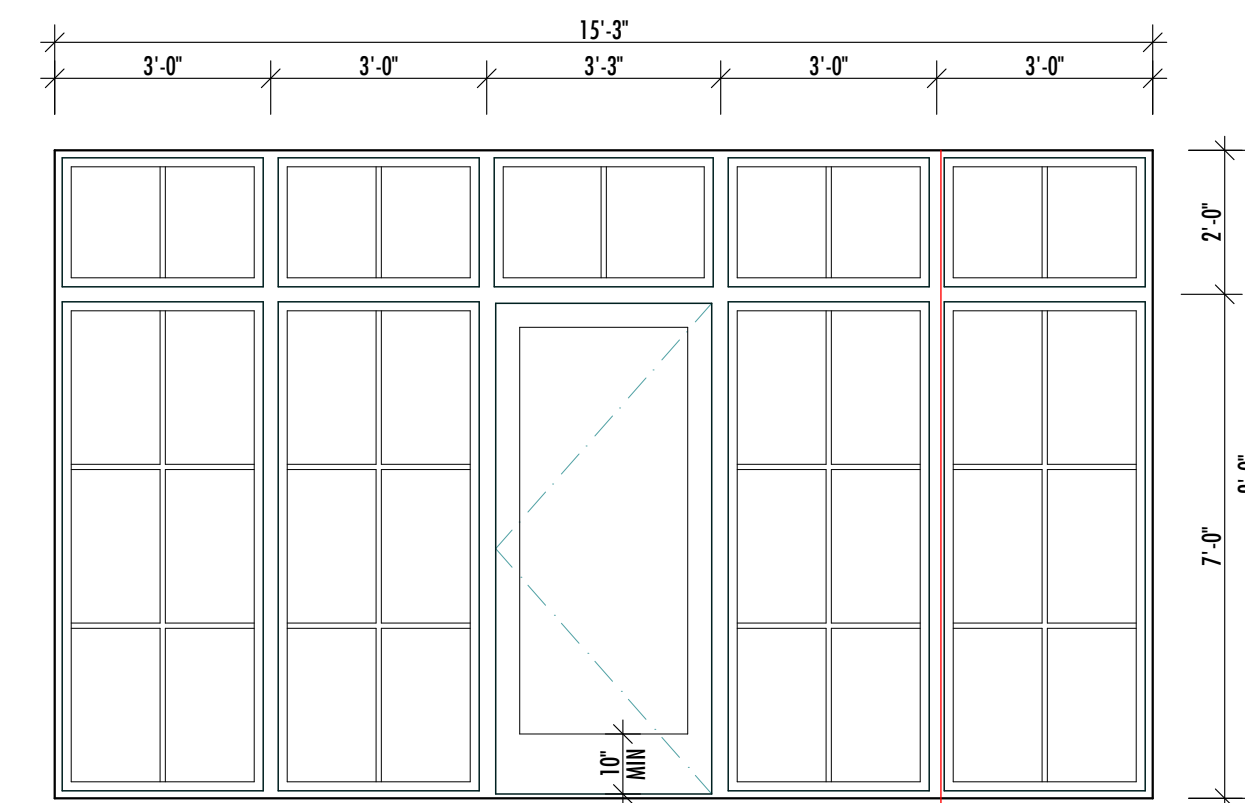
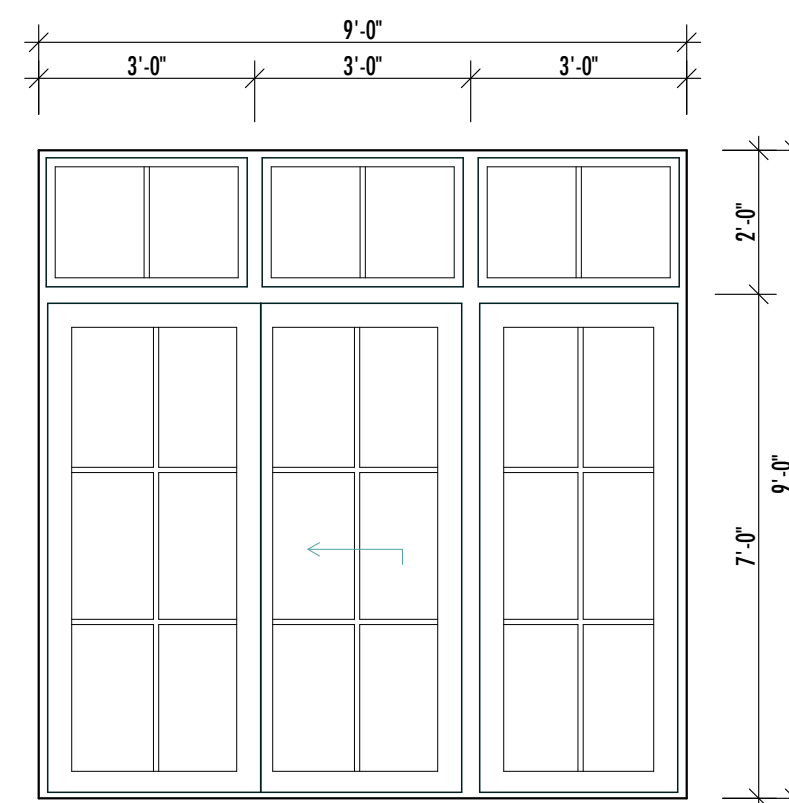
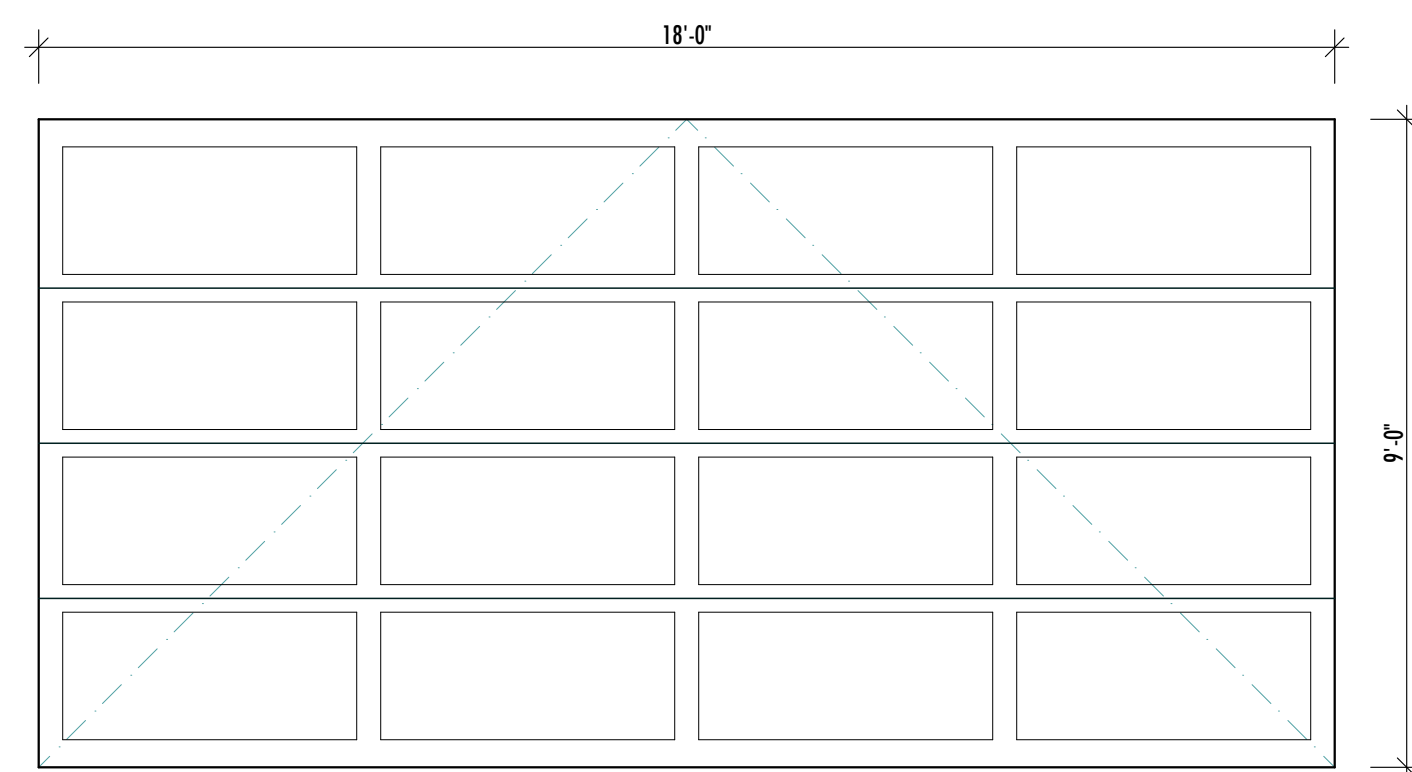
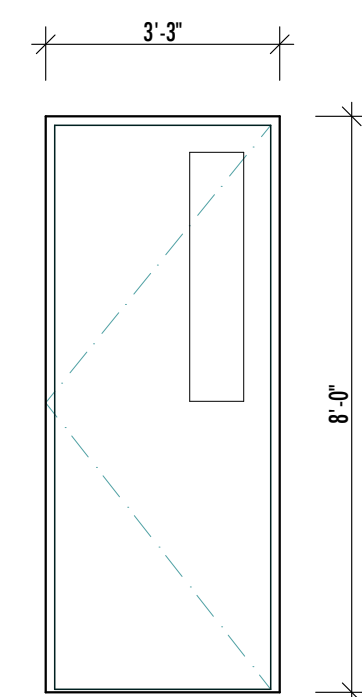
DOOR AND WINDOW SCHEDULES



**2 TYPICAL INTERIOR DOOR TRIM**  
SCALE: 1/2" = 1'-0"



**3 TYPICAL INTERIOR DOOR JAMB (HEAD SIM)**  
SCALE: 3/8" = 1'-0"



**NOTES**

- EXTERIOR DOORS:**
- 2ND AND 3RD FLOORS:
    - WEATHERSHIELD VUE COLLECTION, SQUARE BEAD
    - HOLLOW CORE METAL AT MECH ROOM DOOR TBD
  - 1ST FLOOR:
    - SIERRA PACIFIC ALUMINUM CLAD WOOD AT ALL CABIN REPLACEMENT OPENINGS; AT NEW CONSTRUCTION: SIERRA PACIFIC ALUMINUM CLAD WOOD OR WEATHERSHIELD VUE COLLECTION, SQUARE BEAD (TBD)
    - HOLLOW CORE METAL AT GARAGE MAN DOOR TBD
  - EXTERIOR FINISH: ALUMINUM COLOR: "BLACK" (VERIFY WITH ARCHITECT).
  - INTERIOR FINISH (@ SIERRA PACIFIC): FIR, UNFINISHED, SHALL BE FINISHED ON SITE.
  - DOUBLE GLAZING, TYPICAL LOW-E 272.
  - PLEASE PROVIDE PRICING FOR TRIPLE GLAZING FOR THE MASTER BEDROOM AND 2ND FLOOR LIVING/DINING WINDOW WALL.
  - EXTERIOR WINDOWS AND DOORS ARE DRAWN AS VIEWED FROM THE EXTERIOR. REFER TO PLANS FOR SWING DIRECTION, WHERE APPLICABLE.
  - GARAGE DOORS: NORTHWEST DOOR "MODERN CLASSIC" (OR APPROVED EQUAL).
  - FRAME: POWDER COATED OR ANODIZED ALUMINUM (COLOR: BLACK, VERIFY WITH ARCHITECT).
  - PANEL: 1/2" SATIN ETCHED, INSULATED GLASS, VERIFY WITH ARCHITECT.
  - PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE (IBC 2018).
- INTERIOR DOORS:**
- STAIN GRADE WOOD, TYPICAL U.O.N.
  - DIMENSIONED SIZE IS LEAF SIZE.
  - REFER TO FLOOR PLANS FOR SWING DIRECTION.
  - POCKET DOOR WIDTHS AND HEIGHTS SHOWN APPROXIMATE.
  - VERIFY FINAL SIZE WITH HARDWARE AND INSTALLATION GUIDELINES.

**WILLIAMS PARTNERS**

**ARCHITECTS**

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**DRAWINGS**

DATE: 05/12/2021  
ISSUED: COK SCHEMATIC PRESENTATION  
06/10/2021 COK HPC REVIEW  
09/30/2021 DESIGN REVIEW  
04/22/2022 PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

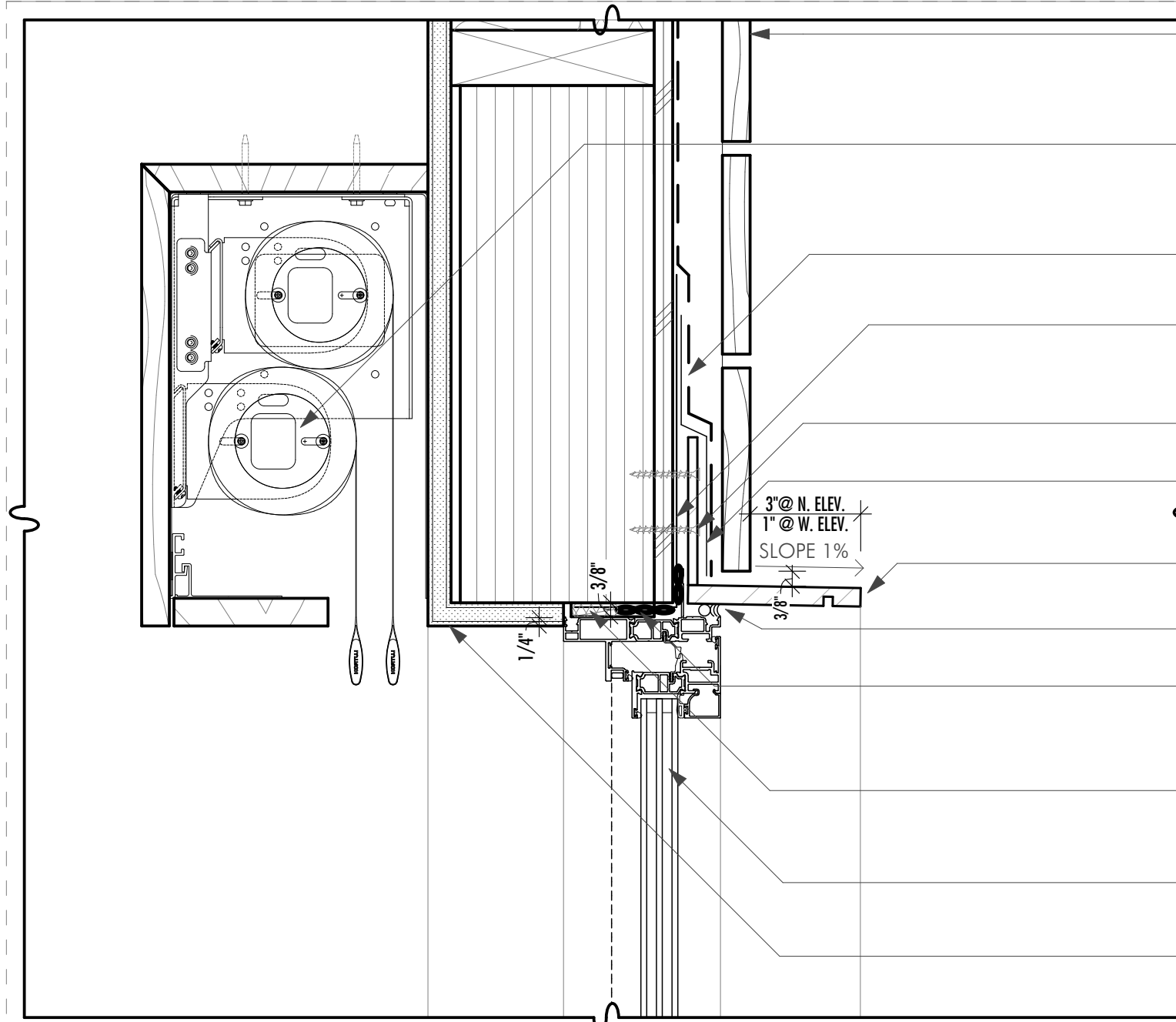
**REVISIONS**

NUMBER: 01  
DATE: 08/02/2023

**DOOR TYPES AND SCHEDULE**

1

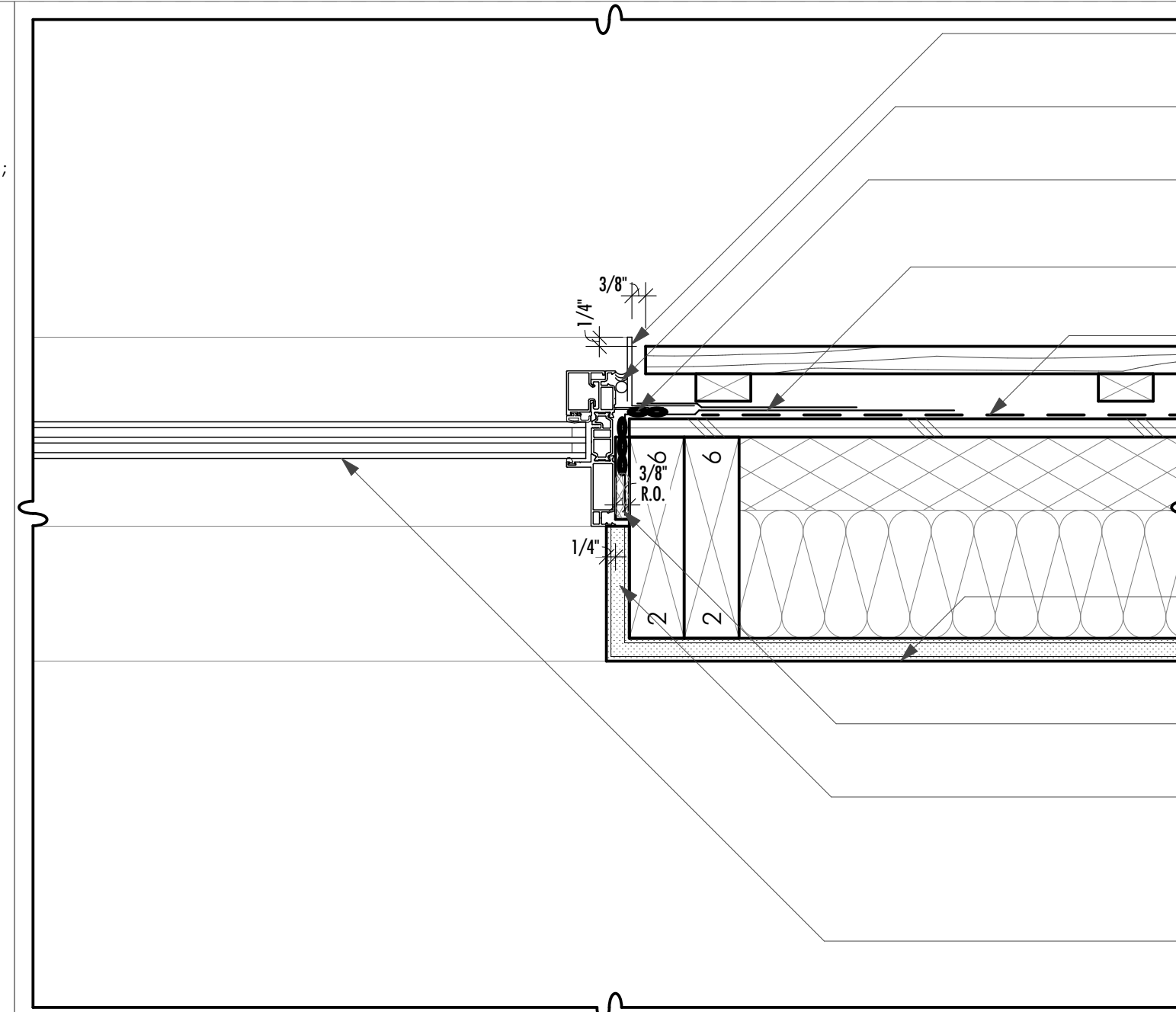
**A 8.2**



W-4

LUTRON SIVOIA DUAL WALL MOUNT ROLL SHADE IN 7x11\"/>

**6 WINDOW HEAD DETAIL AT STEEL WINDOW FRAME (CASEMENT SHOWN, FIXED SIMILAR)**  
SCALE: 3/4\"/>



7.26 FLASHING, HEM EDGE; TAPE LEG WITH (7.09)

7.30 PER WINDOW MFR INSTALLATION INSTRUCTIONS

7.08 OVER 7.09 AT EXTERIOR WALL SURFACE AND INTO R.O. PER MFRS INSTALLATION INSTRUCTIONS

7.09 JAMB FLASHING PER MFRS INSTALLATION INSTRUCTIONS

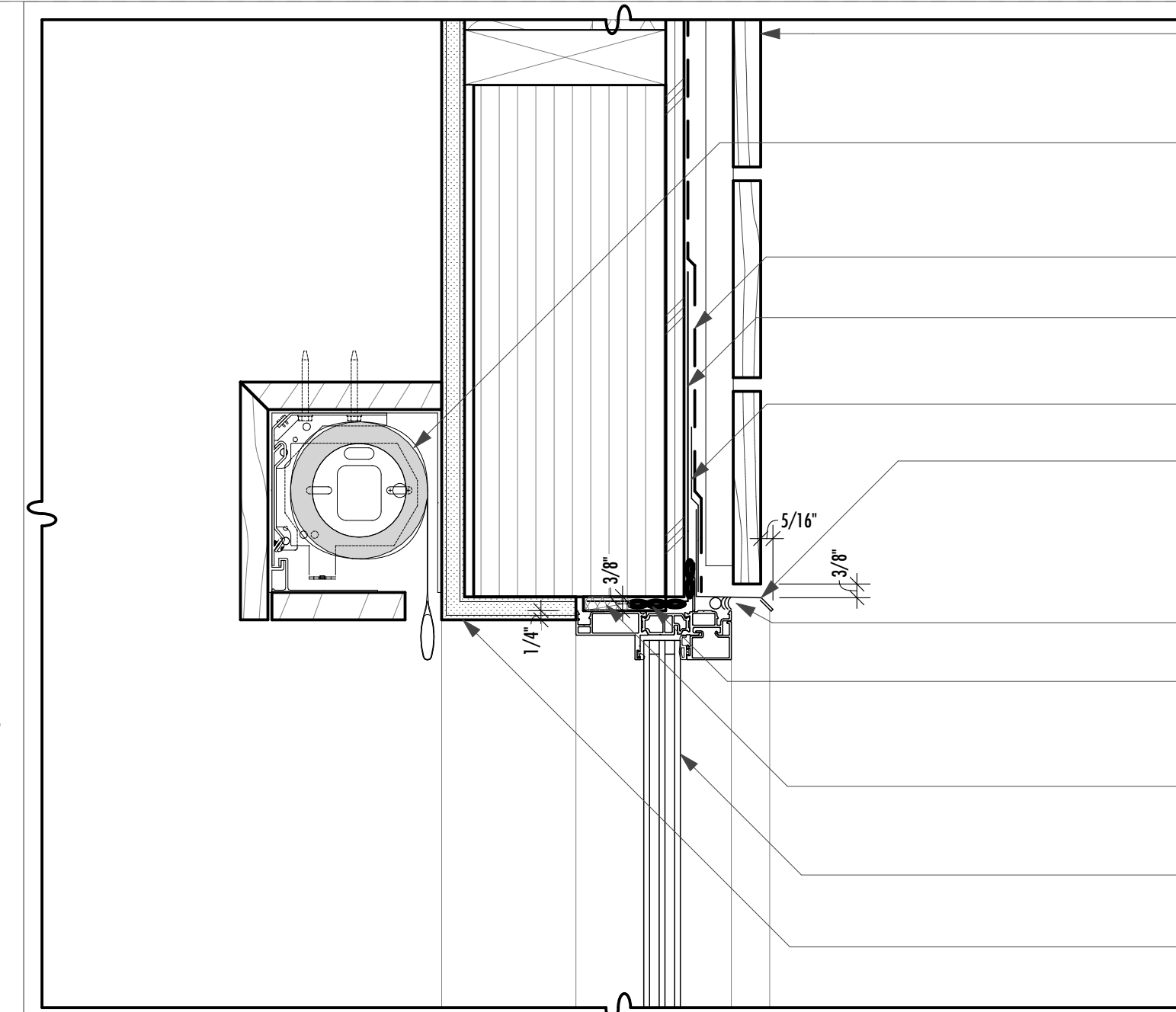
7.07

W-4 (REFER TO ARCH FLOOR PLANS)

SHIM AS REQUIRED, FILL VOID WITH CONTINUOUS LINE OF EXPANDING FOAM SEALANT (AIR TIGHT)

9.01 OVERLAP FRAME BY 1/4\"/>

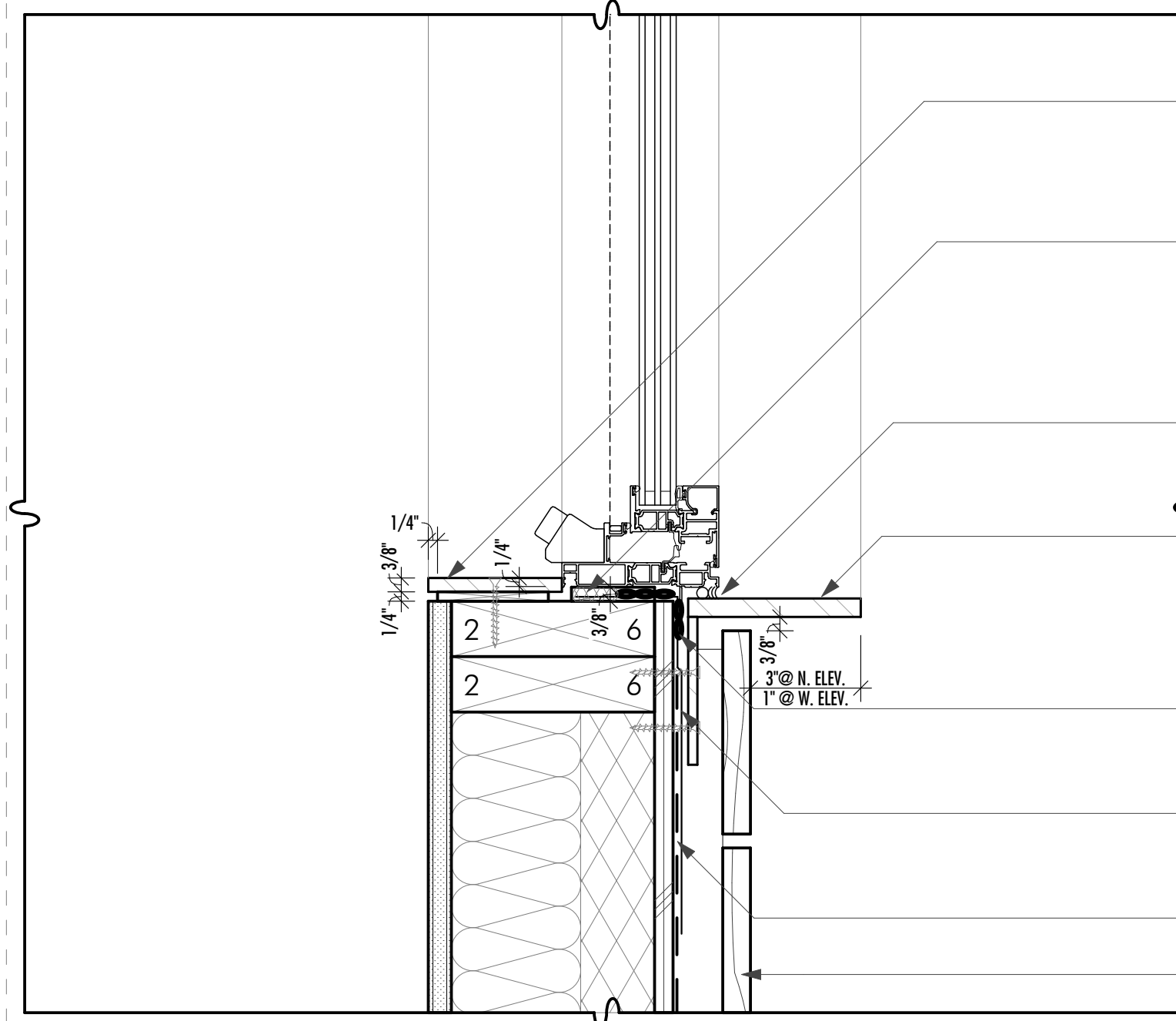
**4 TYPICAL FIXED WINDOW JAMB DETAIL**  
SCALE: 3/4\"/>



W-4

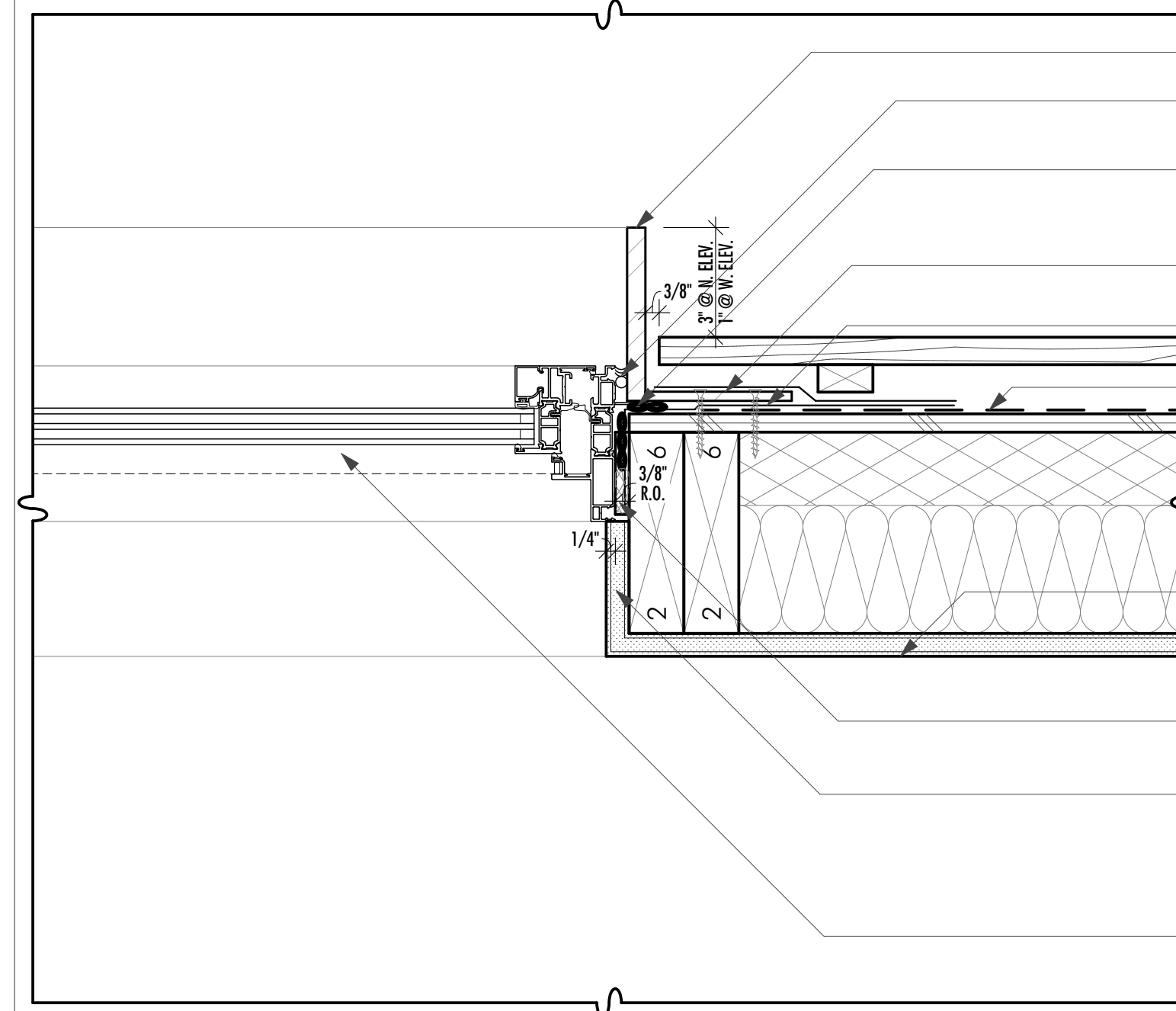
LUTRON SIVOIA 4 3/4x5\"/>

**2 TYPICAL FIXED WINDOW HEAD DETAIL**  
SCALE: 3/4\"/>



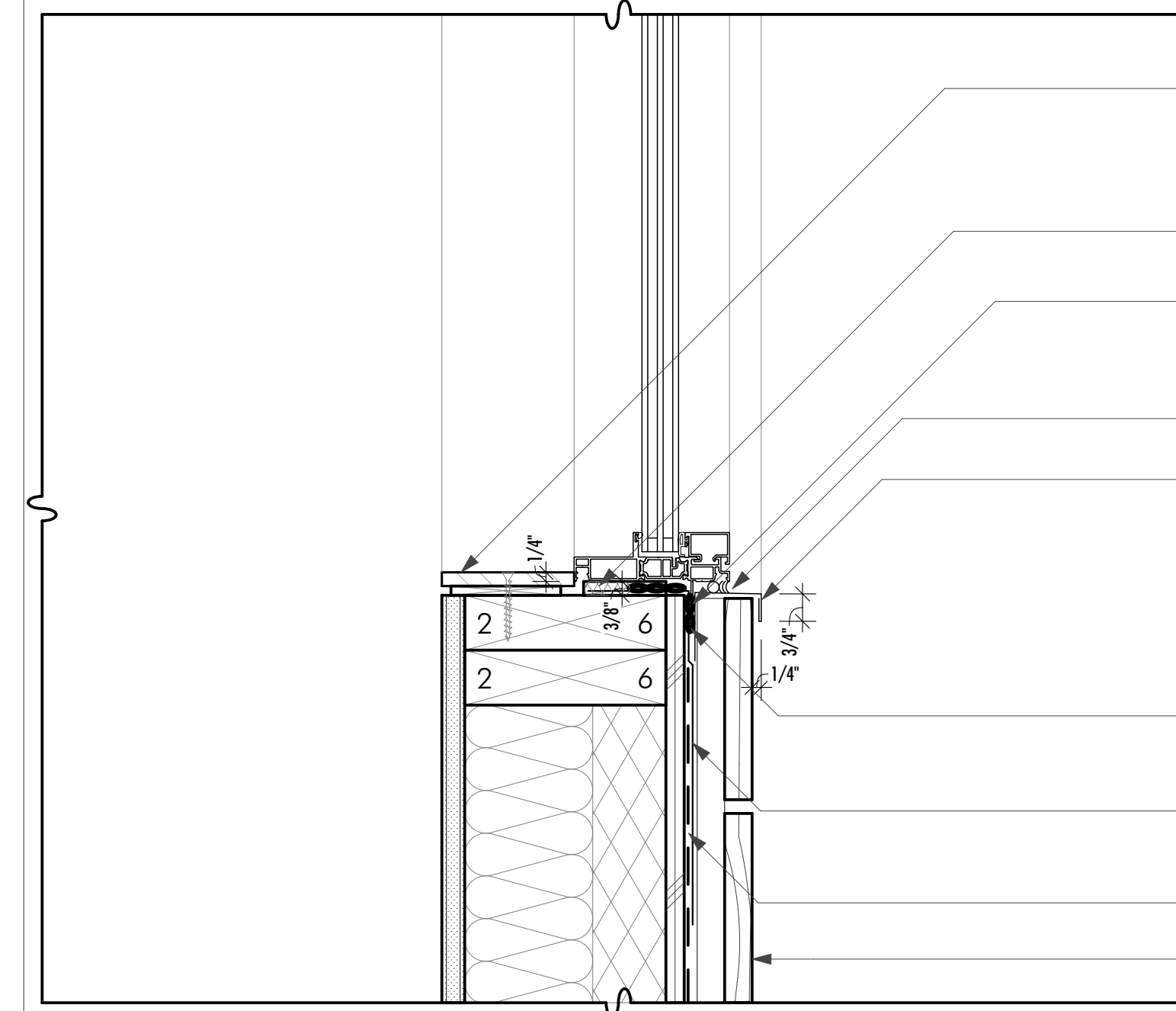
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**5 WINDOW SILL DETAIL AT STEEL WINDOW FRAME (CASEMENT SHOWN, FIXED SIMILAR)**  
SCALE: 3/4\"/>



1/2\"/>

**3 WINDOW JAMB DETAIL AT STEEL WINDOW FRAME (CASEMENT SHOWN, FIXED SIMILAR)**  
SCALE: 3/4\"/>



3/8\"/>

**1 TYPICAL FIXED WINDOW SILL DETAIL**  
SCALE: 3/4\"/>

**KEYNOTES**

- 09000 FINISHES (CONTINUED)
- 9.01b 5/8\"/>

**KEYNOTES**

- 02000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.28 AWS DIAMOND HEAD SERIES PEDESTALS
- 7.29 BASF MASTERSEAL NP 150 SEALANT (OR APPROVED EQUAL). SEALANT TO MATCH ADJACENT FINISH.
- 7.30 3/8\"/>

**KEYNOTES**

- 07000 THERMAL & MOISTURE PROTECTION (CONTINUED)
- 7.09 VAPORSHIELD REVEALFLASHING SA SELF-ADHERED FLASHING TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. AT OPENINGS: 2.75\"/>

**KEYNOTES**

- 06000 WOOD (CONTINUED)
- 6.14 EXTERIOR SOFFIT: 1/2\"/>

**KEYNOTES**

- 05000 METALS & RAILINGS
- 5.01 W SECTION PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
- 5.02 TUBE STEEL PER STRUCTURAL DRAWINGS. PROVIDE PAINT FINISH SAMPLE ON STEEL FOR ARCHITECT'S APPROVAL.
- 5.03 1/8\"/>

**KEYNOTES**

- 02000 SITEWORK
- 2.01 BACKFILL PER GEOTECHNICAL REPORT
- 2.02 SUBGRADE PREP PER GEOTECHNICAL REPORT.
- 2.03 4\"/>

**WILLIAMS PARTNERS ARCHITECTS**

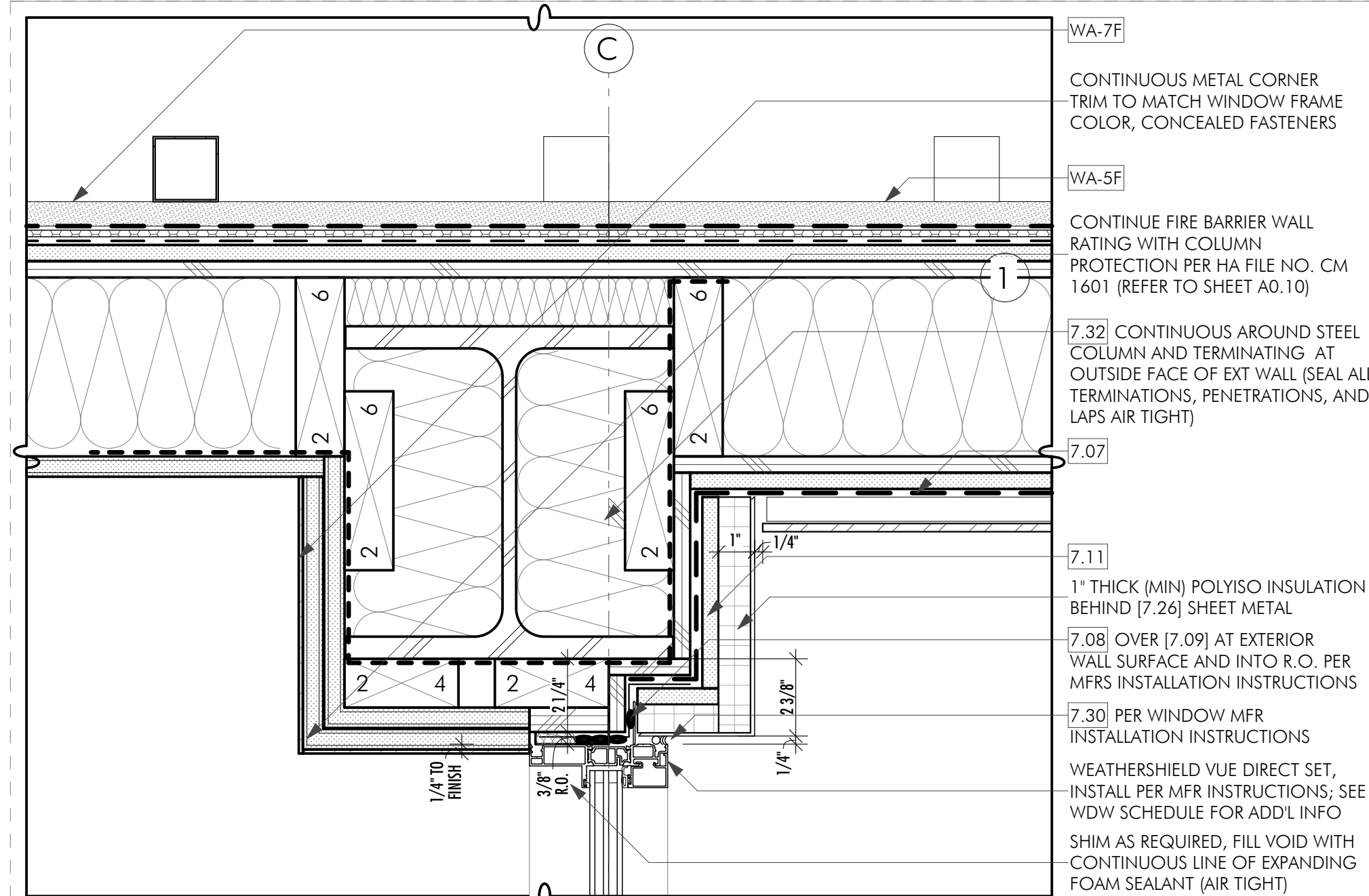
MAIL P.O. B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**  
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ISSUED: PERMIT SET  
DATE: 08/05/2022  
ISSUED: FOR CONSTRUCTION

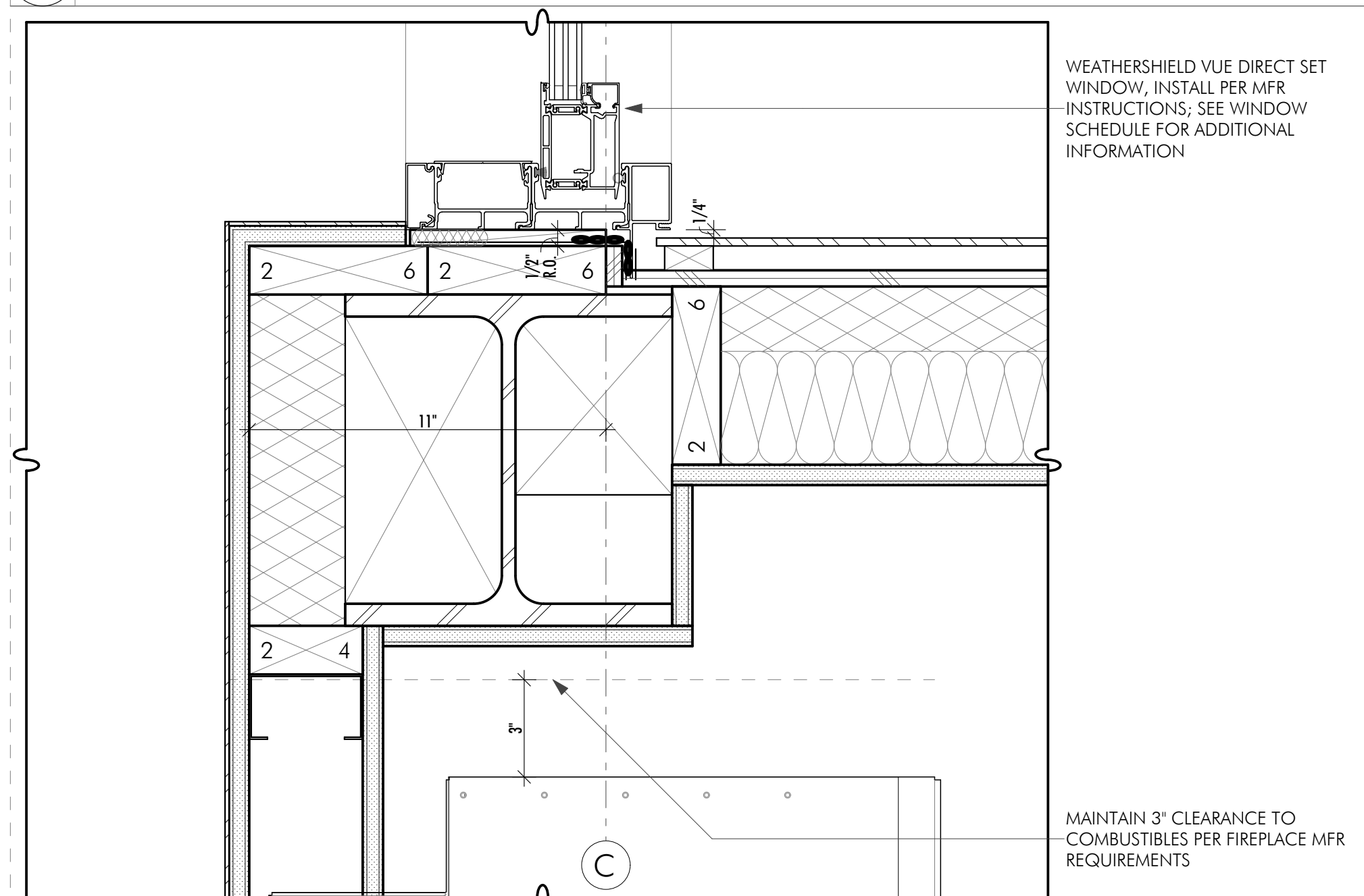
**REVISIONS**  
NUMBER: DATE:

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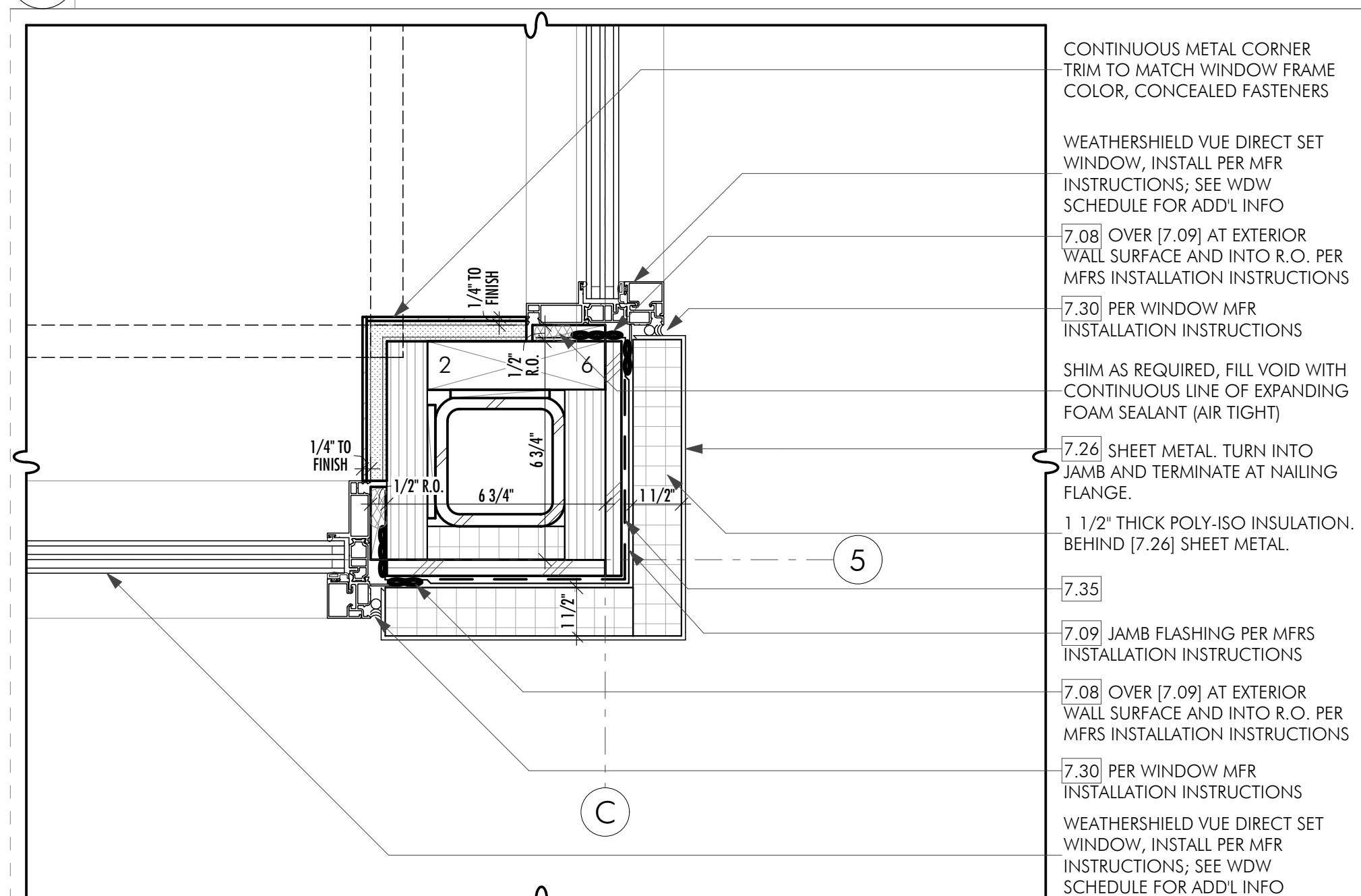
DOOR AND WINDOW SCHEDULES



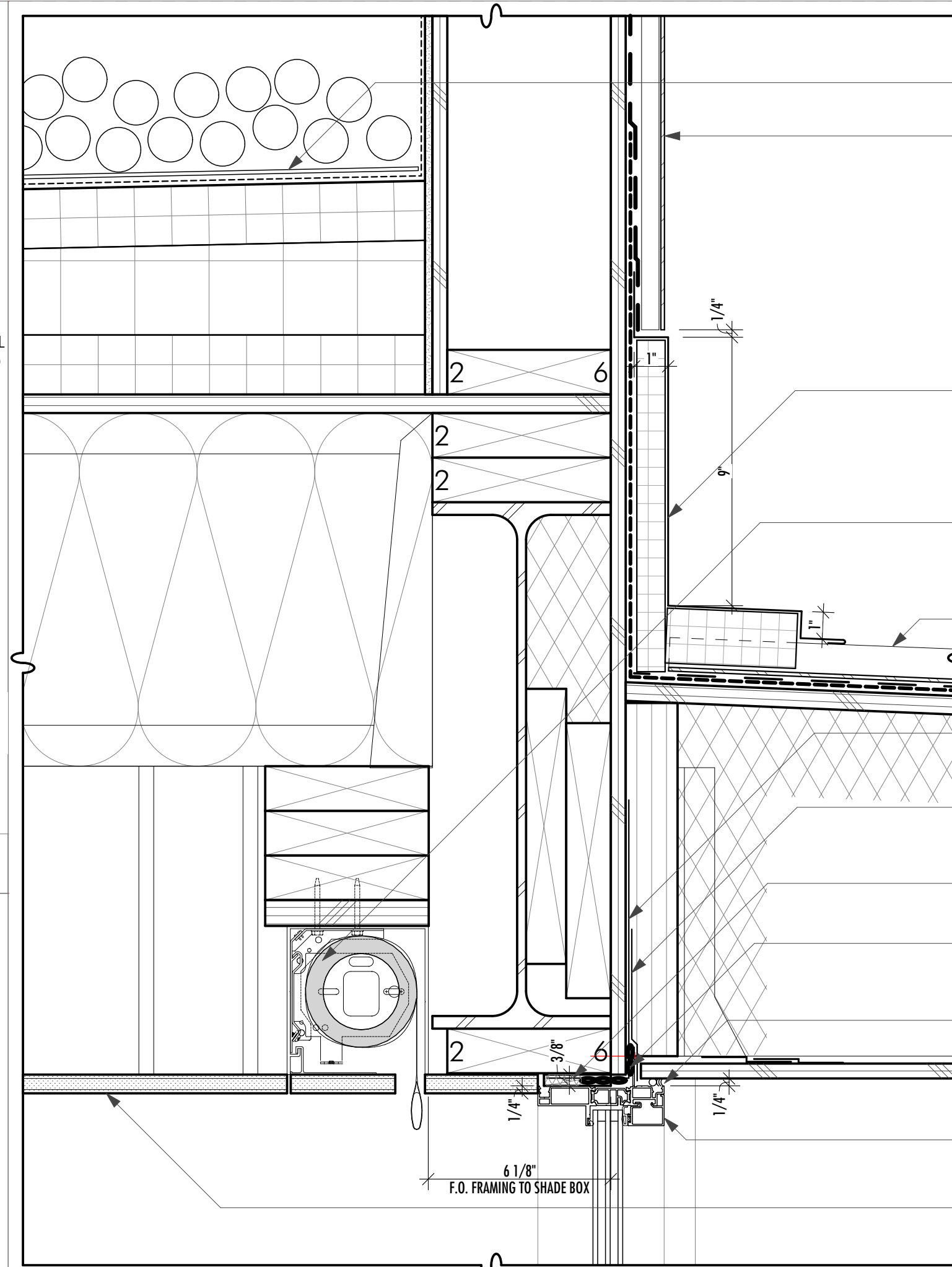
**9 WINDOW JAMB DETAIL AT D201.1**  
SCALE: 3/4" = 1'-0"



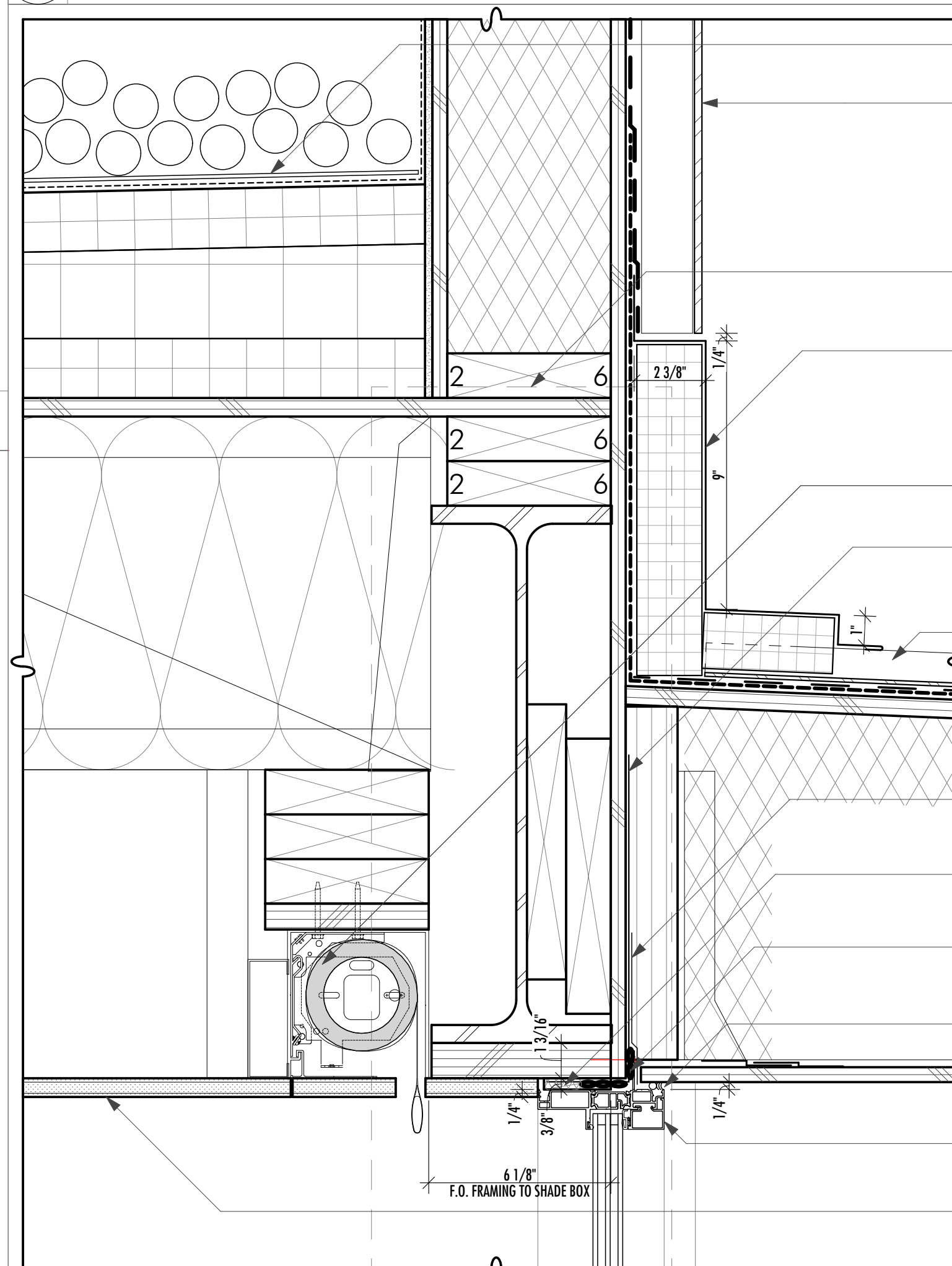
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SCALE: 3/4" = 1'-0"



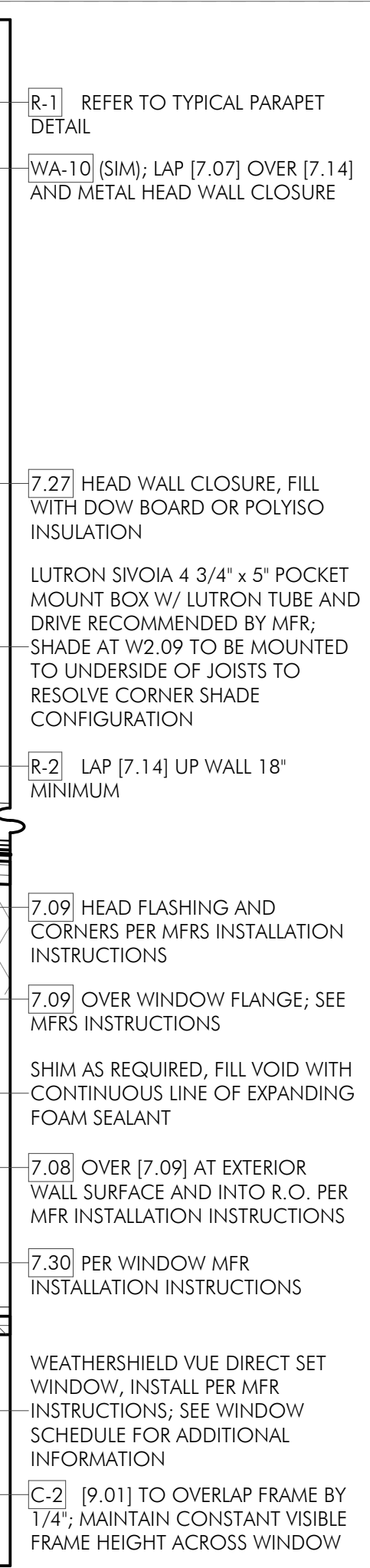
**7 WINDOW JAMB DETAIL AT W2.09/W2.01**  
SCALE: 3/4" = 1'-0"



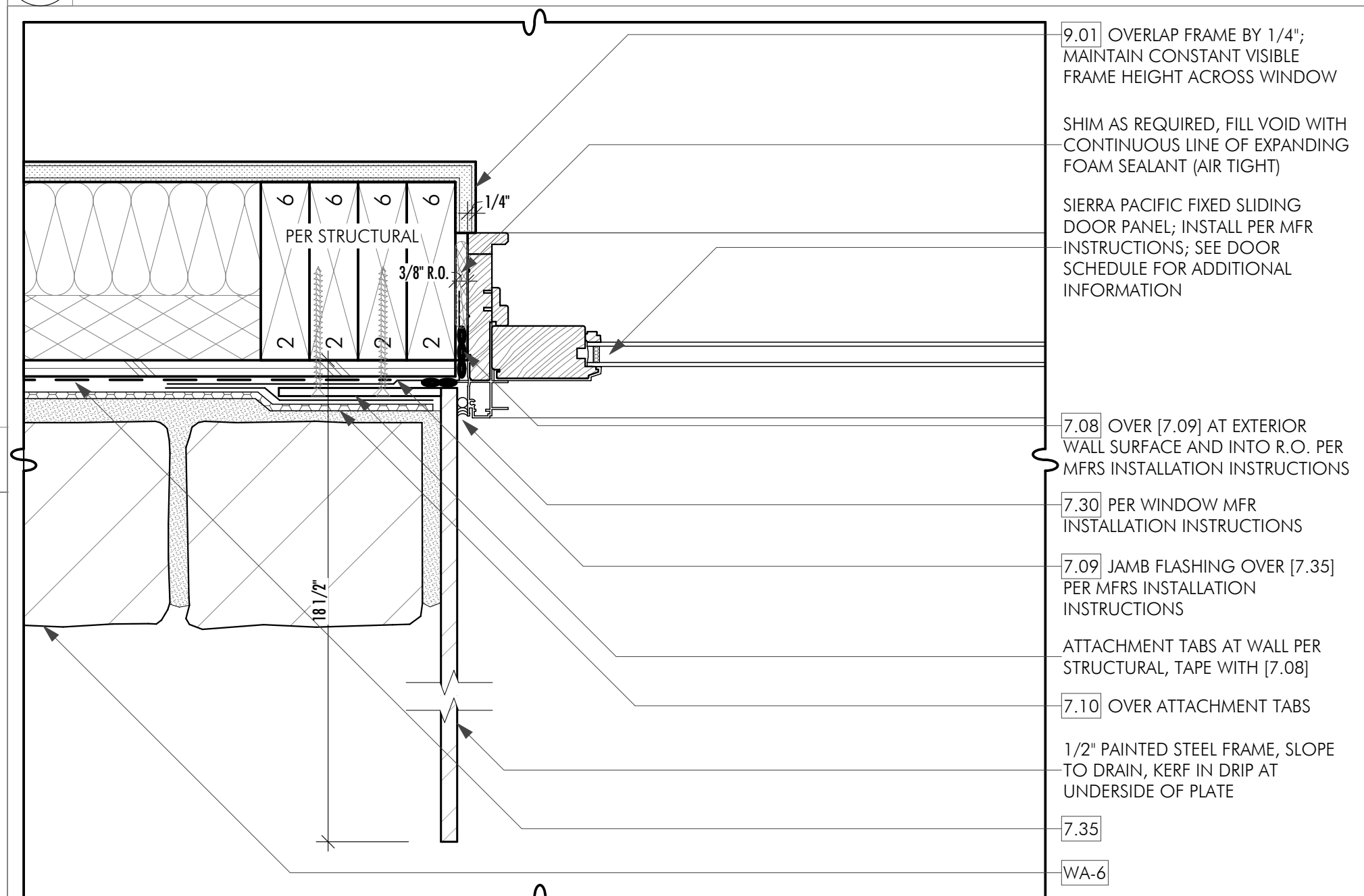
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SCALE: 3/4" = 1'-0"



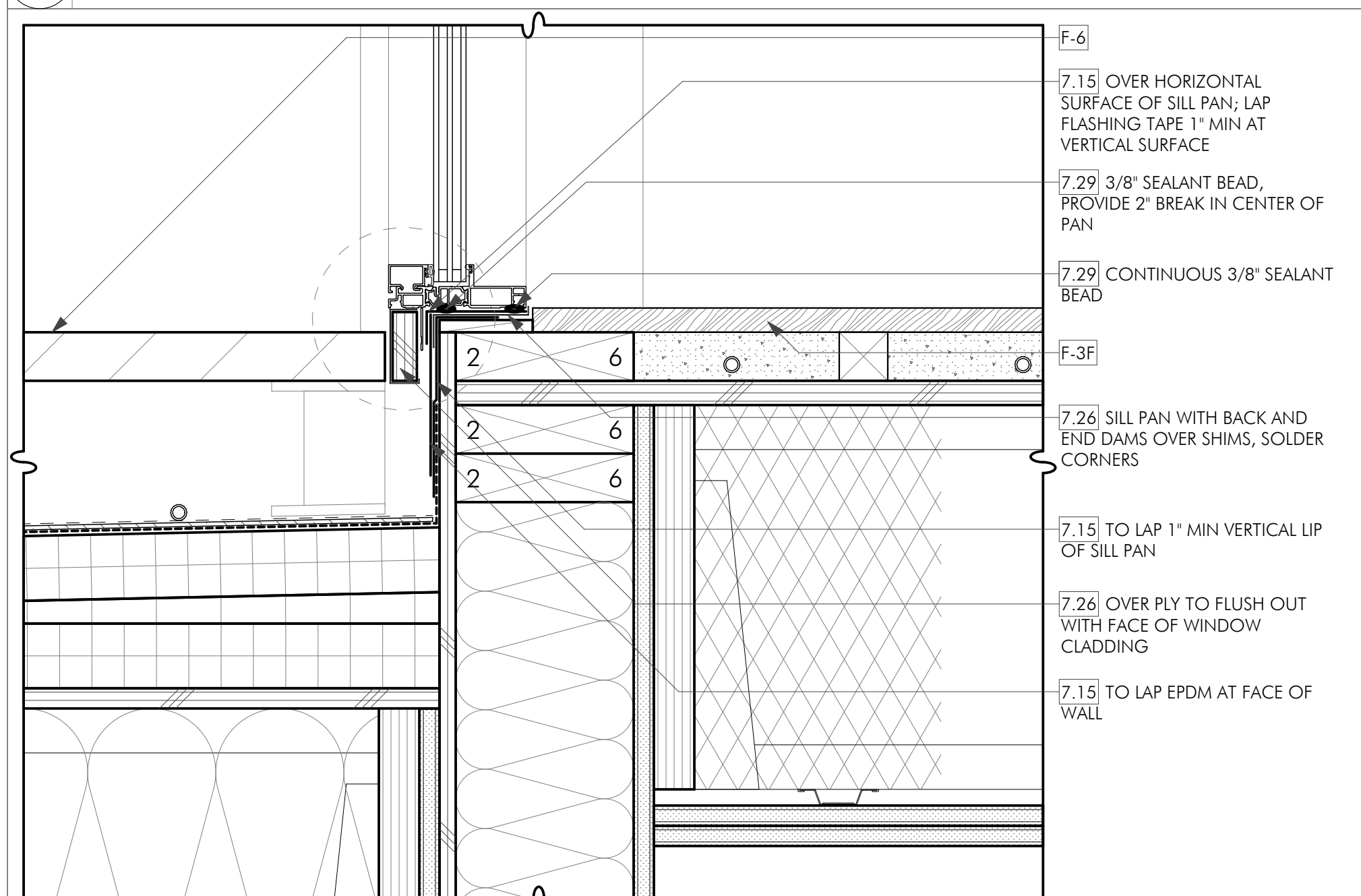
**4 FIXED WINDOW HEAD AT D201.1, W2.09 (WEST WALL)**  
SCALE: 3/4" = 1'-0"



**3 FIXED WINDOW HEAD DETAIL AT D117.1 TRANSOM**  
SCALE: 3/4" = 1'-0"



**2 DOOR JAMB DETAIL AT D117.1**  
SCALE: 3/4" = 1'-0"



**1 WINDOW SILL DETAIL AT PAVERS OVER PEDESTALS**  
SCALE: 3/4" = 1'-0"

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

## WILLIAMS PARTNERS

### ARCHITECTS

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83340  
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WWW WILLIAMS-PARTNERS.COM

### DRAWINGS

ISSUED: 04/18/2022  
PRICING SET: 08/05/2022  
PERMIT: 08/02/2023  
ISSUED FOR CONSTRUCTION

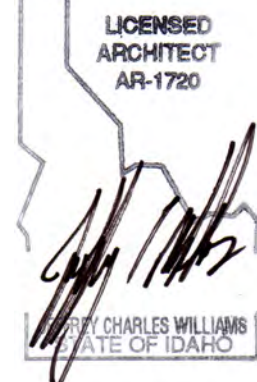
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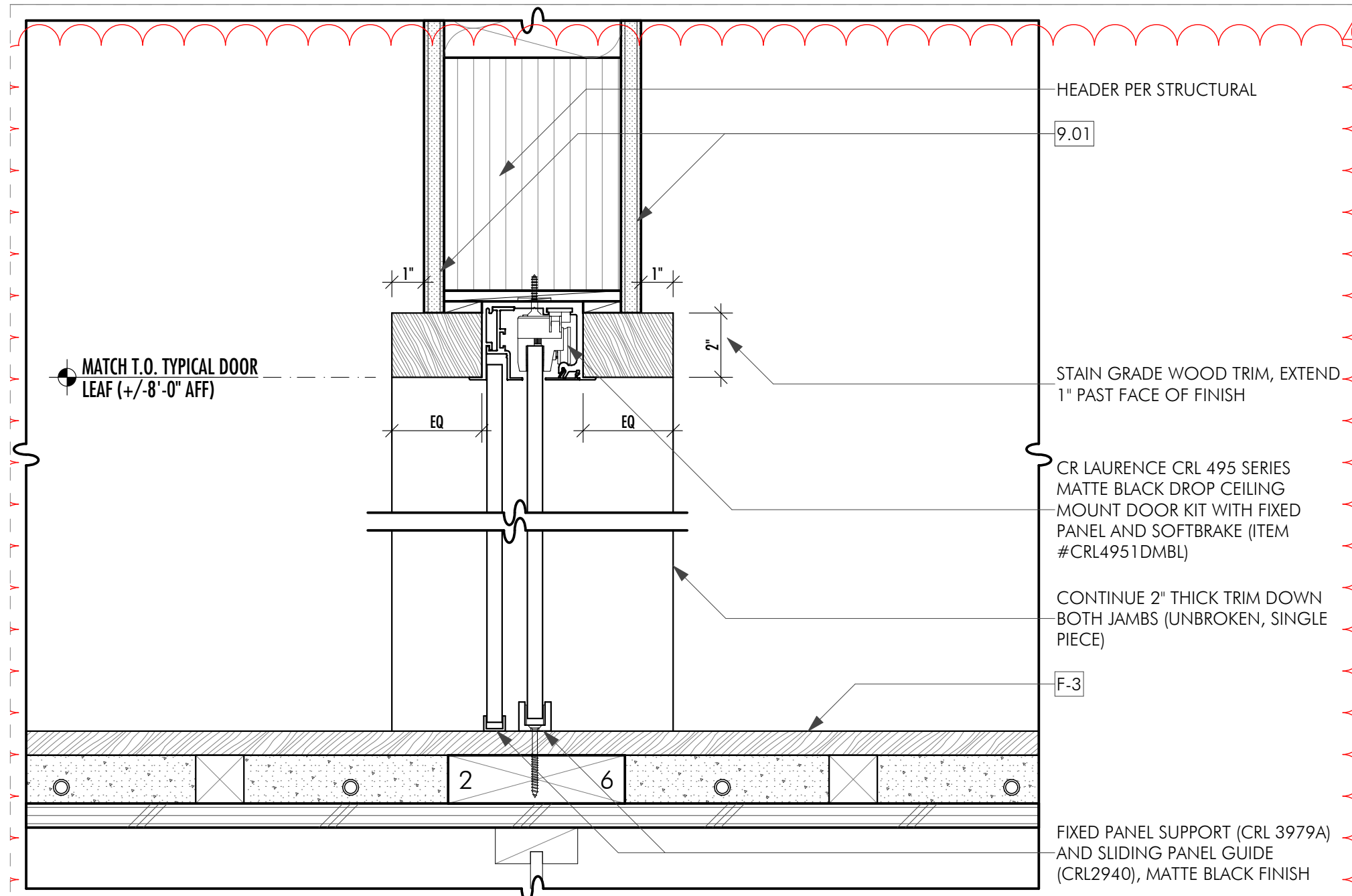
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# A 8.4

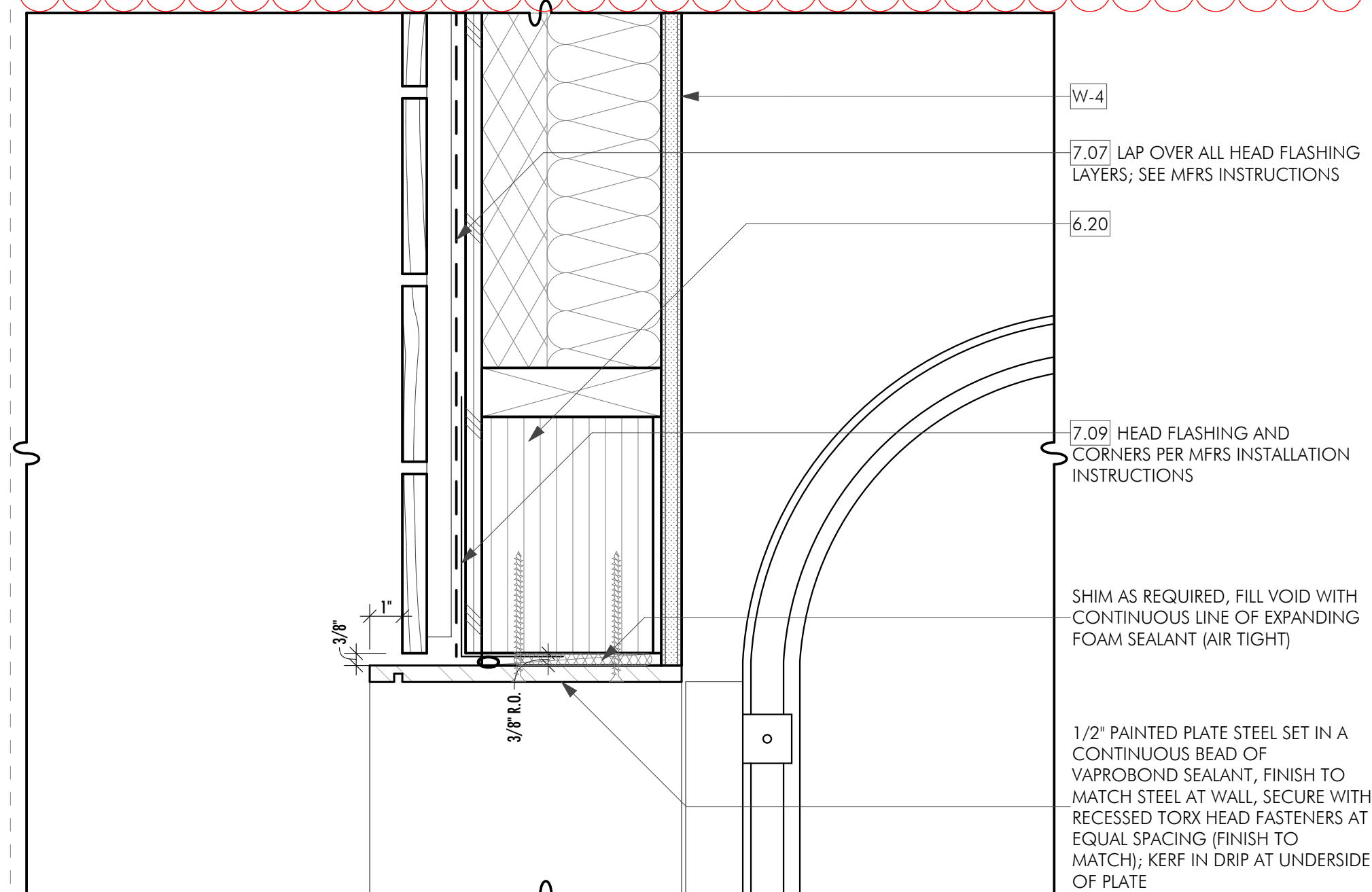
DOOR AND WINDOW SCHEDULES

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

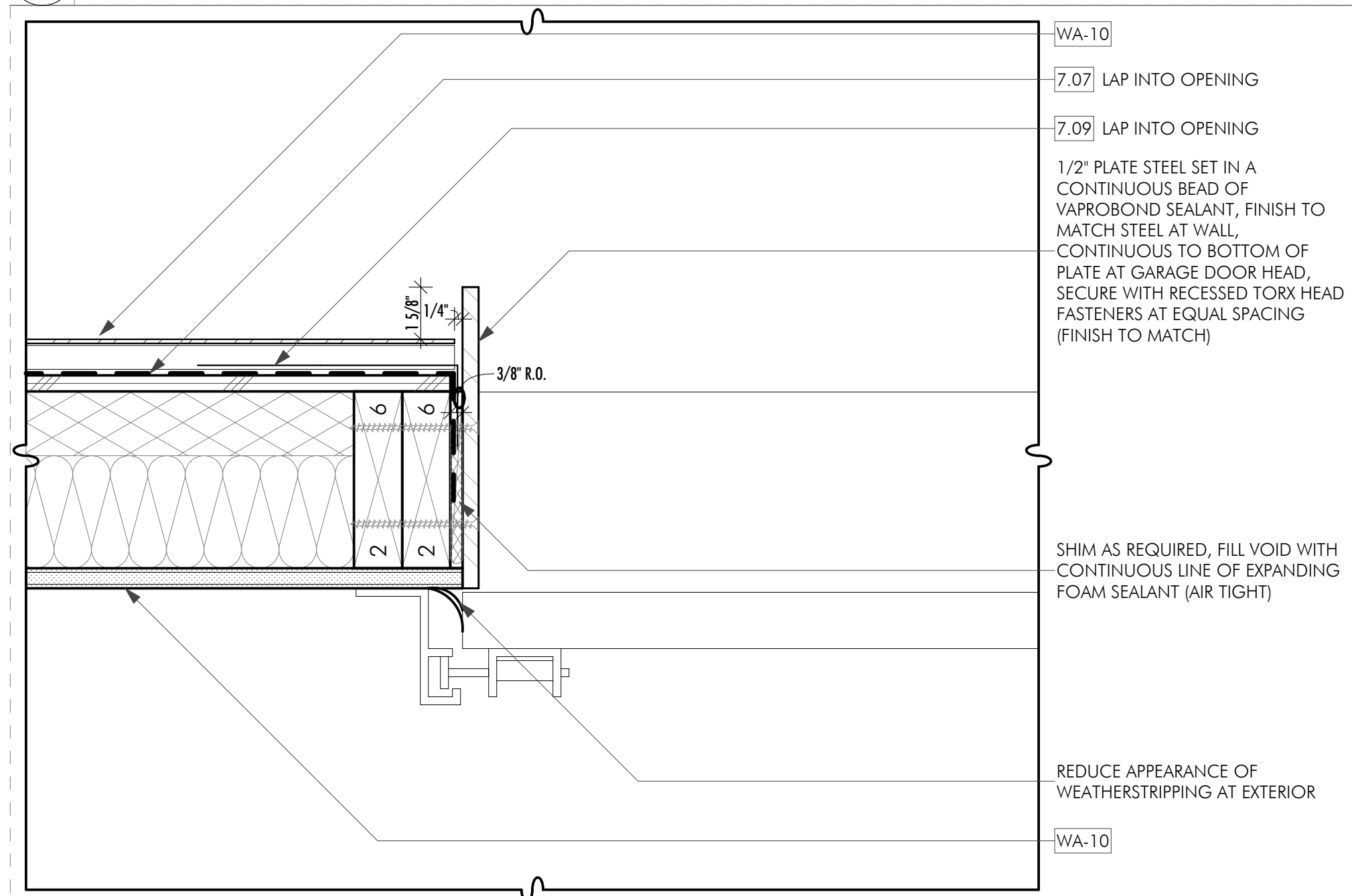




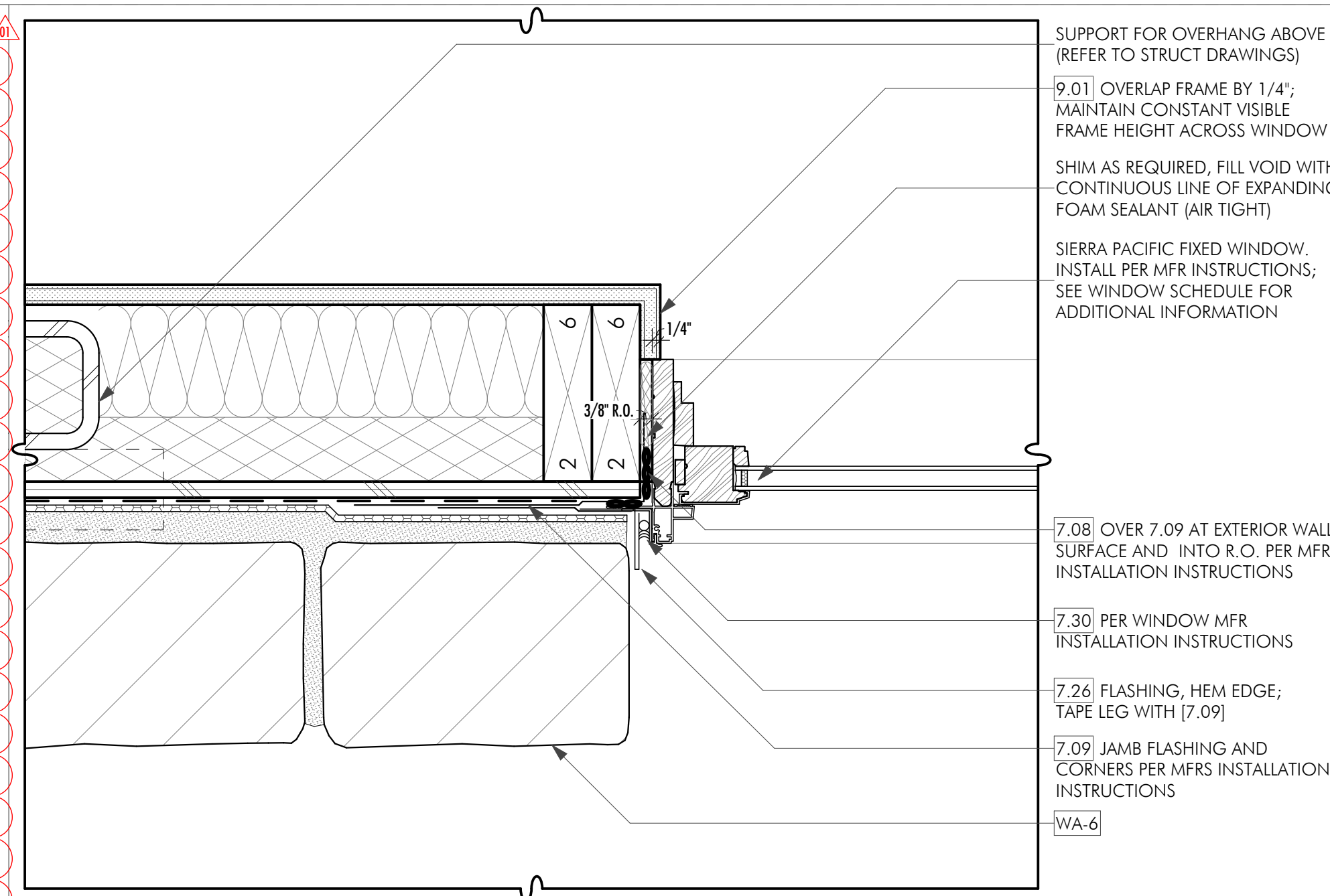
**9 DOOR HEAD DETAIL AT D114.1**  
SCALE: 3/8" = 1'-0"



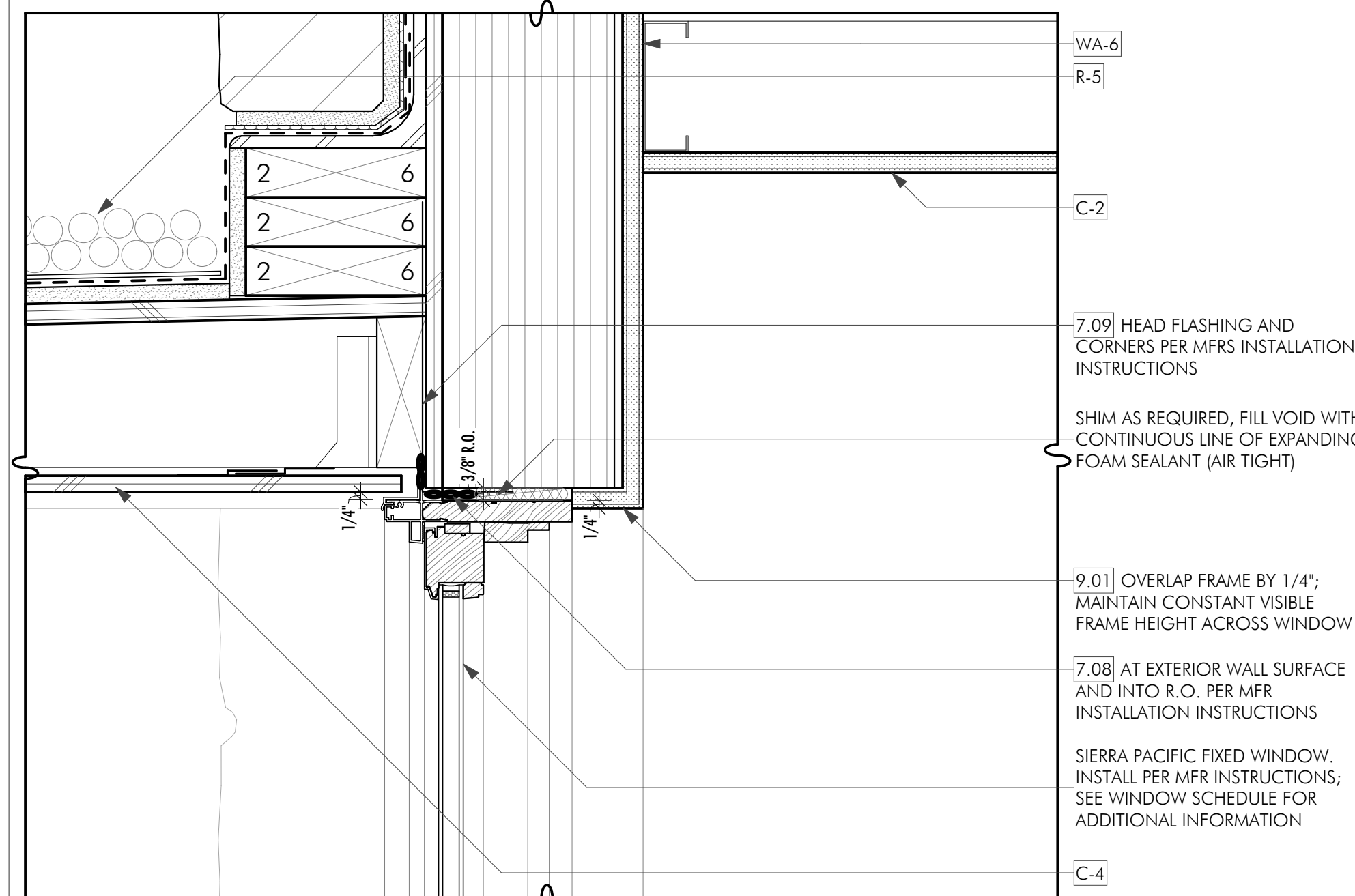
**8 TYPICAL GARAGE DOOR HEAD DETAIL**  
SCALE: 3/8" = 1'-0"



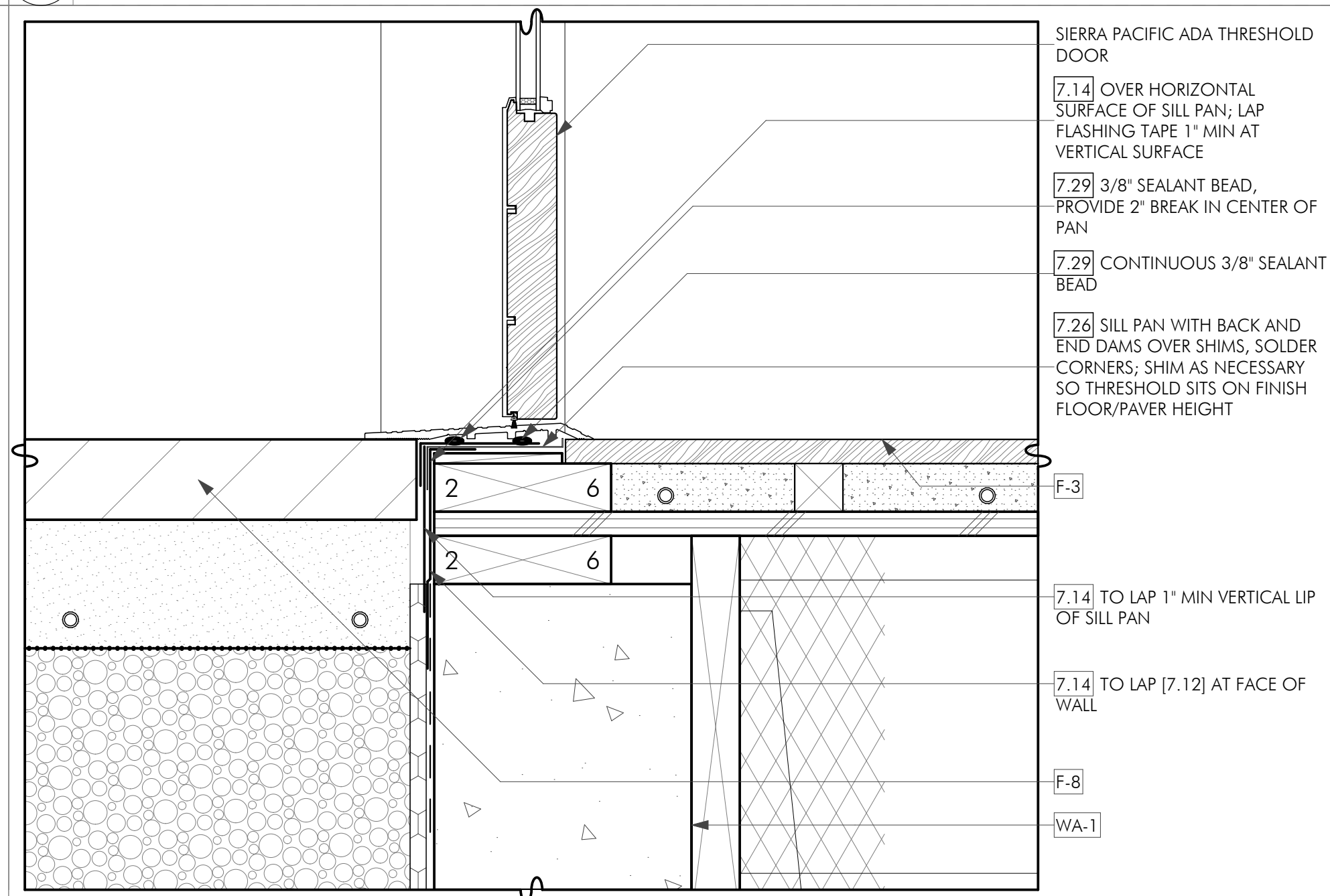
**7 TYPICAL GARAGE DOOR JAMB DETAIL**  
SCALE: 3/8" = 1'-0"



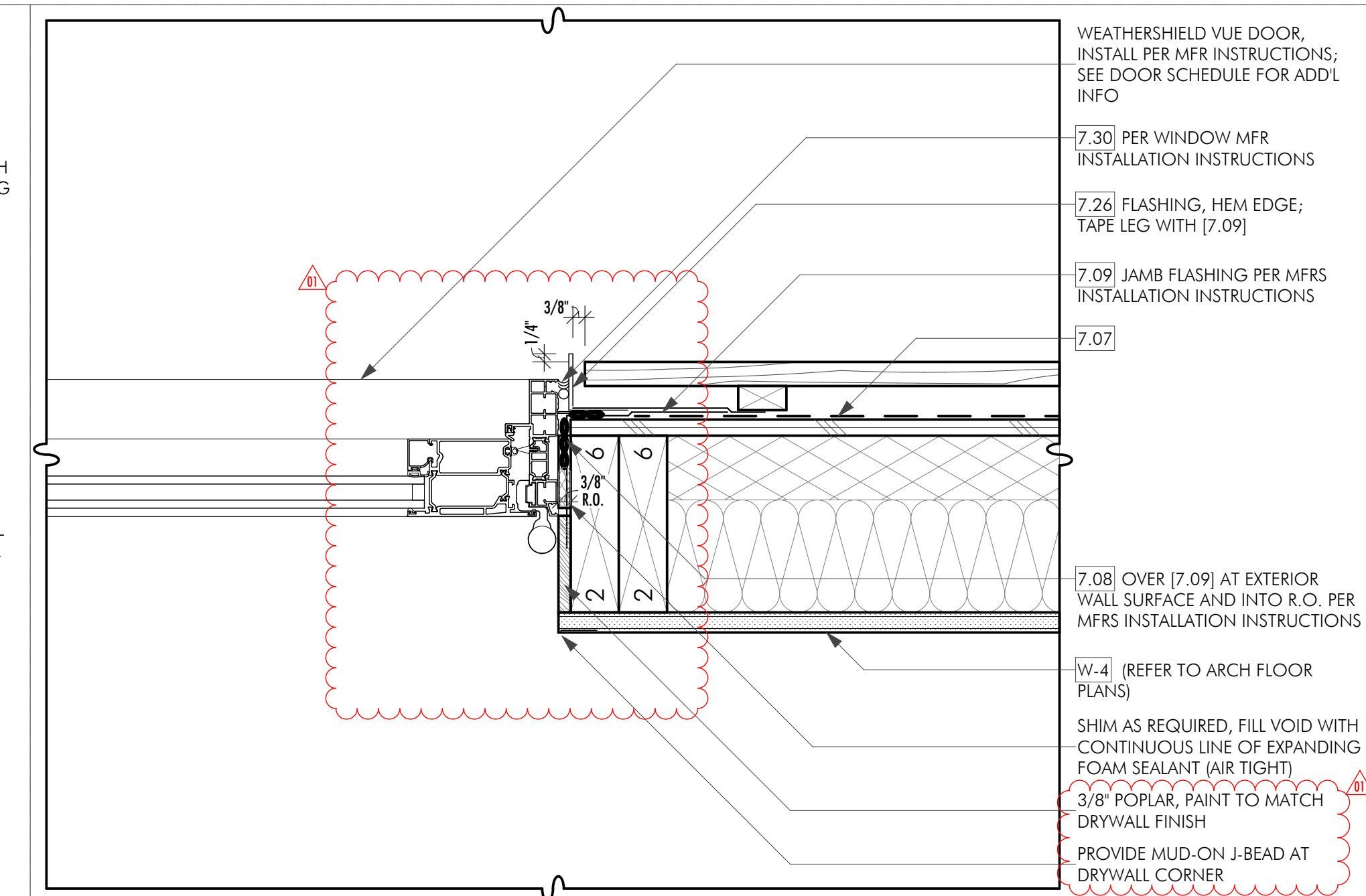
**6 FIXED WINDOW JAMB DETAIL AT D104.1 SIDELITE**  
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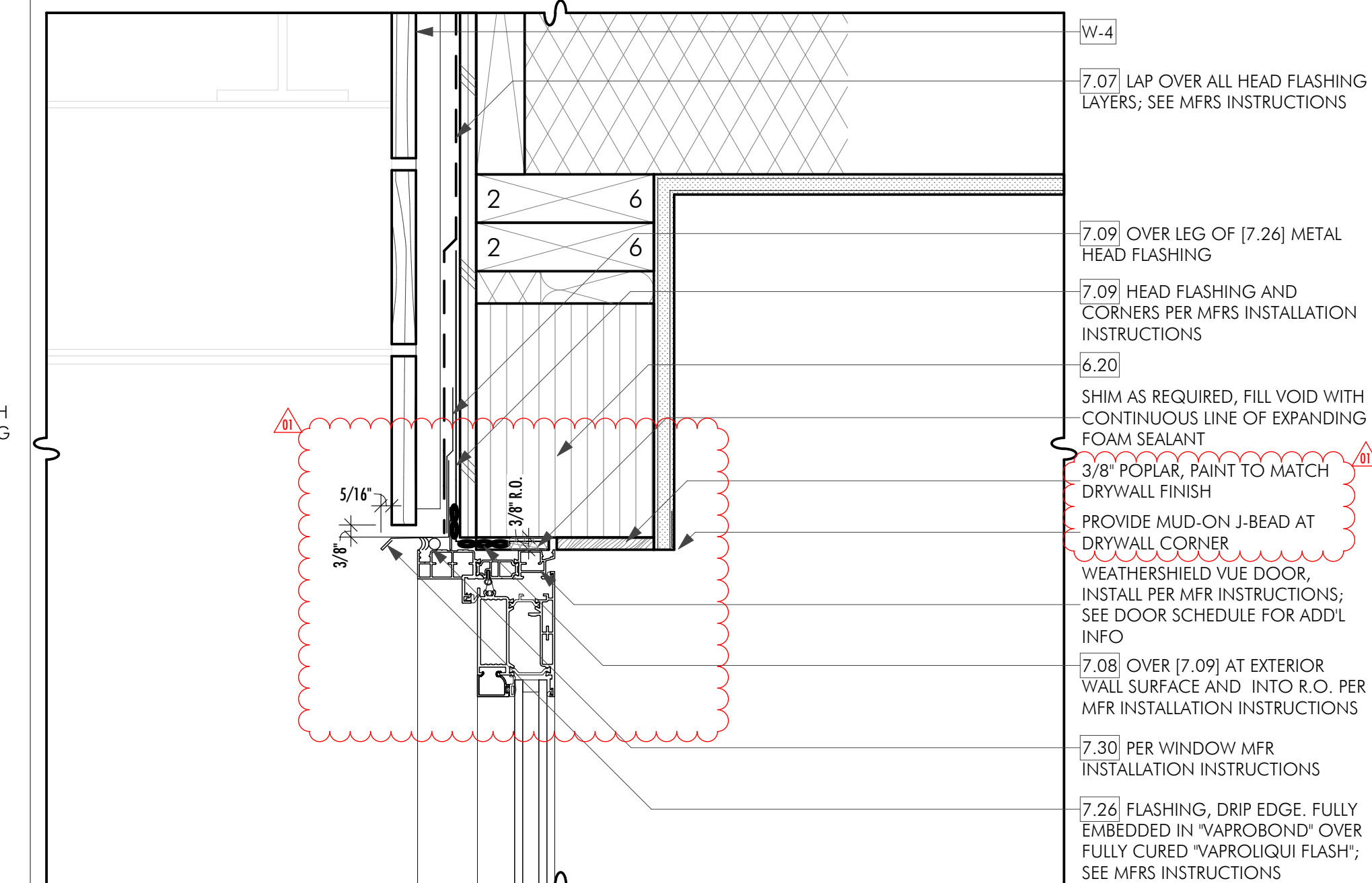
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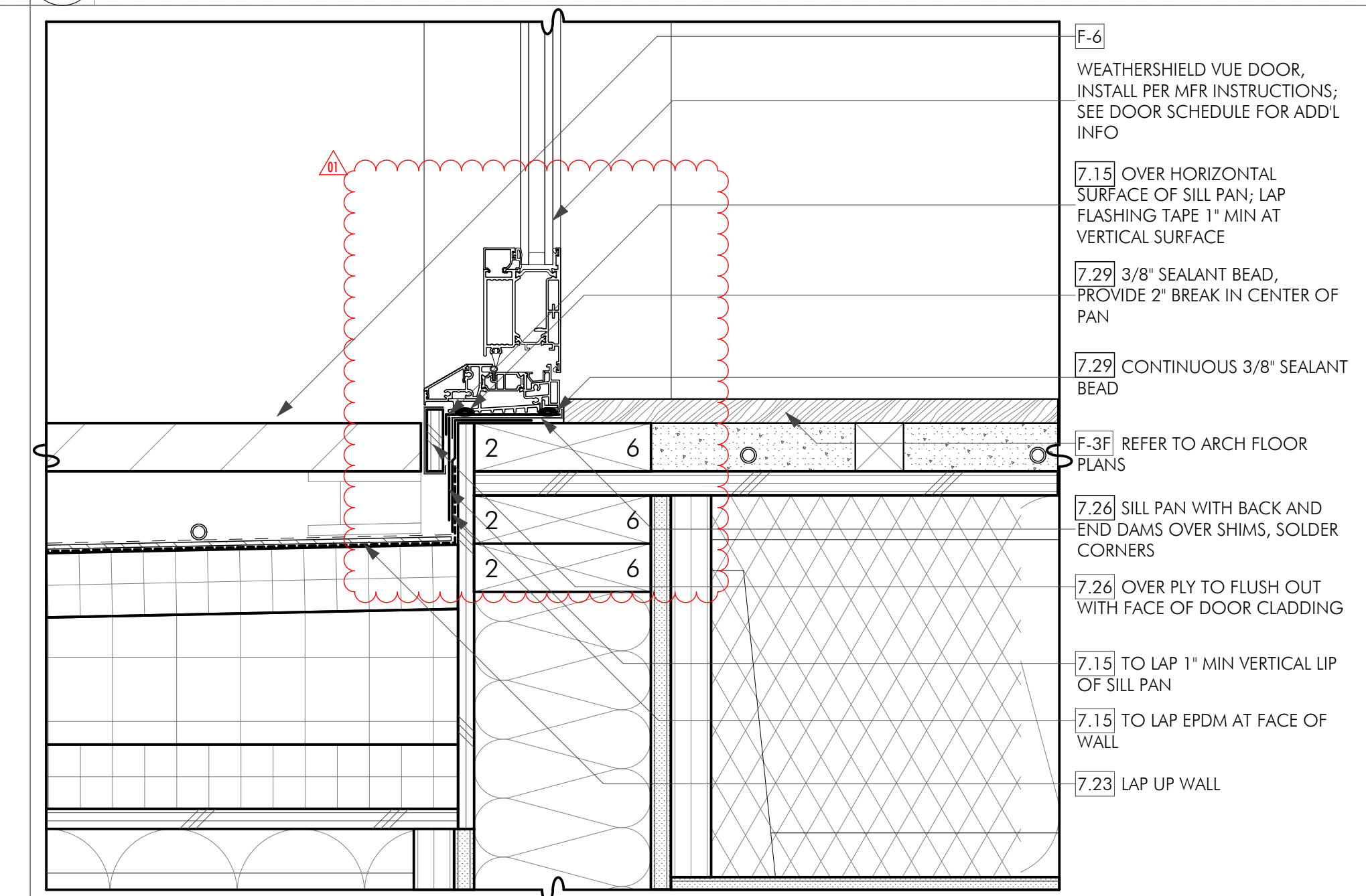
**4 D104.1 SILL DETAIL AT SAND SET PAVERS**  
SCALE: 3/8" = 1'-0"



**3 INSWING DOOR JAMB DETAIL AT D208.2 (SIM @ D300.1)**  
SCALE: 3/8" = 1'-0"



**2 INSWING DOOR HEAD DETAIL AT D300.1 (SIM @ D208.2)**  
SCALE: 3/8" = 1'-0"



**1 INSWING DOOR SILL DETAIL AT D300.1 PAVERS OVER PEDESTALS (SIM @ D208.2)**  
SCALE: 3/8" = 1'-0"

**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR THE USE OF THE CLIENT AND WILLIAMS PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

**LOEMBIED ARCHITECT AR-1720**  
*Charles Williams*  
CHARLES WILLIAMS  
STATE OF IDAHO

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAIL: P.O.B. 4373  
KETCHUM, IDAHO 83340  
PHONE: 208.726.0020  
FAX: 208.726.0019  
WWW: WILLIAMS-PARTNERS.COM

**DRAWINGS**

ISSUED: PRICING SET  
08/05/2022 PERMIT  
08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**

NUMBER: 01  
DATE: 08/02/2023

# A 8.5

DOOR AND WINDOW SCHEDULES





VIEW LOOKING SOUTH 1



VIEW LOOKING NORTH 2



VIEW LOOKING SOUTHEAST 3



VIEW LOOKING NORTHEAST 4

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

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 KETCHUM, IDAHO  
 83340  
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 FAX 208.726.0019  
 WWW WILLIAMS-PARTNERS.COM

**DRAWINGS**  
 DATE: 05/12/2021  
 ISSUED: CON SCHEMATIC PRESENTATION  
 06/10/2021 CON HPC REVIEW  
 09/30/2021 DESIGN REVIEW  
 04/22/2022 PRICING SET  
 08/05/2022 PERMIT  
 08/02/2023 ISSUED FOR CONSTRUCTION

**REVISIONS**  
 NUMBER: 01  
 DATE: 02/17/2023

**A 9.1**

**OWNERSHIP OF DOCUMENTS:**  
 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

## Attachment B

BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO, AMENDING THE AGENCY'S PARTICIPATION POLICY; AUTHORIZING THE CHAIR AND EXECUTIVE DIRECTOR TO TAKE APPROPRIATE ACTION; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, made on the date hereinafter set forth by the Urban Renewal Agency of Ketchum, Idaho, also known as the Ketchum Urban Renewal Agency, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, a duly created and functioning urban renewal agency for Ketchum, Idaho, hereinafter the Ketchum Urban Renewal Agency is referred to as the "Agency."

WHEREAS, the Agency, an independent public body, corporate and politic, is an urban renewal agency created by and existing under the authority of and pursuant to the Idaho Urban Renewal Law of 1965, being Idaho Code, Title 50, Chapter 20 (the "Law"), and the Local Economic Development Act, being Idaho Code, Title 50, Chapter 29, as amended and supplemented (the "Act");

WHEREAS, the City of Ketchum (the "City") by adoption of Ordinance No. 992 on November 15, 2006, duly adopted the Ketchum Urban Renewal Plan (the "2006 Plan") to be administered by the Agency;

WHEREAS, upon the approval of Ordinance No. 1077 adopted by the City Council on November 15, 2010, and deemed effective on November 24, 2010, the Agency began implementation of the amended Ketchum Urban Renewal Plan (the "Amended Plan");

WHEREAS, the Agency Board adopted a formal participation policy that sets out the criteria for funding projects requested by various entities on May 16, 2016;

WHEREAS, since May 16, 2016, the Agency has considered several requests for funding through the Participation Policy, which has raised the prospect for greater discretion and flexibility in response to requests for funding through the Participation Policy;

WHEREAS, by virtue of those requests, Agency staff has determined a need for an amendment to the Participation Policy;

WHEREAS, at the Agency Board meeting of June 19, 2017, the Board considered amendments to the Participation Policy;

WHEREAS, Agency adopted amendments to the Participation Policy July 17, 2017:

WHEREAS, the Agency adopted additional amendments to the Participation Policy on June 27, 2022;

WHEREAS, the Board finds it in the best interests of the Agency and the public to approve and adopt the Amended Participation Policy.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE KETCHUM URBAN RENEWAL AGENCY OF THE CITY OF KETCHUM, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct.

Section 2: That the Participation Policy, as amended, set forth below is hereby approved and adopted by the Agency Board, and that the Chair and Executive Director are authorized and directed to take all action to implement the Amended Participation Policy.

**Participation Policy  
KURA Funding Criteria for Projects**

**Section 1: General Funding Criteria for All Projects:**

- A. The KURA is not obligated to fund any project, even when the project meets all funding criteria. Funding a project is a discretionary decision by the Ketchum Urban Renewal Board.
- B. Funds generated from projects within the Revenue Allocation Area shall be used first and foremost for publically owned infrastructure and for infrastructure that serves a direct public purpose.
- C. Public infrastructure located below ground or at-grade shall be given priority.
- D. In rare circumstances, funding for a non-infrastructure request may be considered if it is found to meet the criteria described in the section below.
- E. Projects specifically identified in the 2010 Ketchum Urban Renewal Plan shall take priority for funding in all cases.
- F. All requests for Tax Increment Financing shall be made no later than thirty (30) days after the applicant applies for a building permits.
- G. The Agency shall not consider requests to fund public infrastructure that ~~have~~ ~~has~~ been required by the City of Ketchum in exchange for development bonuses, such as density waivers, variances, and other development bonuses. In these situations, the public infrastructure that was required in exchange for development bonuses shall be paid by the private developer.
- H. Funding approvals are valid for the duration of the fiscal year in which the request was granted, unless otherwise stated in an agreement between the Agency and the entity.

## **Section 2: Project Funding Categories**

- A. Reimbursement to Private Entities for Public Infrastructure**
  - 1. Tax increment funds generated by a project within the Revenue Allocation Area may be allocated for reimbursement of public infrastructure expenses incurred by the private development.
  - 2. Reimbursement for public infrastructure shall commence after the project is generating a tax increment benefit to the Agency.
  - 3. No more than 50% of the total tax increment revenue generated from a project may be used for reimbursement to the project developer
  - 4. Commitments for reimbursement in Owner Participation Agreements shall not be greater than five years from the time the project is generating property tax revenue to the Agency.
  - 5. KURA may fund 40% of the cost of the following:
    - a. Cost differential between concrete sidewalks and paver sidewalks, snowmelt systems will not be funded
    - b. Installation of street trees
    - c. Art or other public amenities in the public right-of way
- B. Direct Funding of Public Infrastructure as Defined in Idaho Code §§ 50-2018(10), 50-2903(13) and 50-2903 (14):**
  - 1. Tax increment funds may be used to directly finance public infrastructure without a reimbursement agreement.
  - 2. In these cases, payments should be made directly to a public entity, public utility, or other public or semi-public entity that will own and maintain the infrastructure.
- C. Funding for Non-Infrastructure Requests:**
  - 1. Requests for funding non-infrastructure may only be considered when a good, service, or benefit is received by the KURA in exchange for funds. In these cases, the approval of funds would result in a benefit to the revenue allocation area that the KURA could not have achieved on its own.
  - 2. Entities requesting funding must be a legally recognized Idaho non-profit corporation organized under Chapter 30, Title 30, Idaho Code or equivalent or a public governmental entity and must have a proven track record of success.
  - 3. Non-infrastructure funding request must result in a net financial benefit to the KURA.
  - 4. Requests for funding administrative or operational costs shall not be considered except as may be proportionally allocated for the project.
- D. Funding of Residential Projects:**
  - 1. Only residential projects that incorporate community housing, as defined by the City of Ketchum, will be considered for tax increment funding. Funding will be proportionate to the amount of community housing the project provides. For example, if ten out of 100 residential units are considered community housing, the Agency may consider funding 10% of infrastructure costs. All other residential projects will not be considered.
  - 2. Mixed-Use projects of any scale are considered commercial projects and may apply for tax increment financing, provided they meet all other criteria.

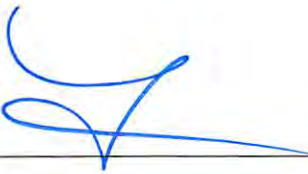
Section 3: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED By the Urban Renewal Agency of Ketchum, Idaho, on June 27, 2022. Signed by the Chair of the Board of Commissioners, and attested by the Secretary to the Board of Commissioners, on June 27, 2022.

URBAN RENEWAL AGENCY OF KETCHUM

By Susan Scovell (CHAIR)  
Susan Scovell, Chair

ATTEST:

By   
Secretary



## **Ketchum Urban Renewal Agency**

---

**P.O. Box 2315 | 191 5<sup>th</sup> Street | Ketchum, ID 83340**

January 21, 2025

Chair and Commissioners  
Ketchum Urban Renewal Agency  
Ketchum, Idaho

### **RECOMMENDATION TO PROVIDE DIRECTION ON FIRST + WASHINGTON DESIGN REVIEW PLANS AND AMENDMENT TO THE DEVELOPMENT AND DISPOSITION AGREEMENT PROJECT SCHEDULE**

#### Introduction

Staff requests direction on two topics:

- The project design to be prepared and submitted to the city for design review
- Feedback on amending the First + Washington project schedule in the Development and Disposition Agreement

#### Project Design

At the December KURA meeting the board supported establishment of a Local Improvement District (LID) to assist with the funding of a public parking structure in the First + Washington project. In January, the City Council supported establishment of an LID in concept with a request for additional public outreach and refinement of the assessment methodology.

KURA and Wood River Community Housing Trust (WRCHT) are at a crossroads and need to determine the project design to prepare and submit to the city for design review. Prior to the December KURA meeting and the January City Council meeting, the development team was preparing design plans that did not include public parking. With the recent actions on the LID, staff and WRCHT are seeking direction on how to proceed. The options for consideration include:

1. Project design without public parking
2. Project design with public parking
3. Prepare two options, one with and one without public parking

#### LID Process and Timeline

A definitive decision on the LID will occur after additional public outreach occurs, the assessment methodology is further refined, and the city council conducts formal hearings to establish the LID. It is anticipated this process will take 3-4 months to complete. The next step is public outreach on the expanded LID boundaries and preliminary assessment estimates for individual properties.

The next phase of outreach will include a survey, newspaper and social media ads, postcard notification of all property owners within the LID boundaries and at least two public open houses. The outreach plan is underway, and the open houses will take place the week of February 10<sup>th</sup>. KURA and city staff are recommending a joint meeting of the KURA and city council on February 18<sup>th</sup> to share the outreach results and confirm the direction from both KURA and city council.

#### Issues for KURA Consideration

The following is offered when considering the path forward:

- The approach to addressing the Planning and Zoning Commission design comments is different depending on the inclusion of public parking. A project with subterranean parking must facilitate a parking ramp and the parking dictates the location for building circulation (stairs, elevator) and equipment locations. These factors change the exterior design of the project.
- A final decision on the LID is not expected for at least 3-4 months. Waiting until a final decision is made on the LID before project design work starts delays the project and likely shifts construction into 2027. The original schedule in the DDA anticipated construction in 2025, and with the delays to date, construction has shifted to 2026. The additional delay may or may not be accepted by WRCHT and the development team.
- There is risk proceeding with any of the options. The risk is the LID will not be approved and design work and costs associated with the public parking option will be forfeited.

Staff recommends the KURA provide direction on the project design option so the project can continue moving forward.

#### Amendment to DDA

The project DDA was approved by the KURA and became effective March 26, 2024. The DDA included deadlines and a schedule of performance for the KURA and development team (Attachment A). The development team and KURA met the performance schedule for submission and review of the preliminary and schematic design plans (items 7-10 in schedule).

Due to the delay in evaluating the public parking options, submission of design review documents and the subsequent deadlines have not been met. WRCHT and deChase Miksis submitted a letter requesting KURA provide guidance on how best to proceed with an updated project design and timeline (Attachment B).

To date, the development team has been accommodating with the delays. A change to the performance schedule requires approval of both the KURA and development team. The KURA decision on the project design approach will provide the requested direction and allow for a renegotiation of the DDA performance schedule. Once KURA provides direction, staff will work with the development team and present an amendment to the DDA and performance schedule to the KURA.

#### Financial Requirement/Impact

Depending on the decision of the KURA, there could be additional design expenses. It is difficult to quantify the expenses at this time. Once a decision is made, staff will provide information on the projected costs.



Recommendation

Staff recommends the KURA provide direction on the design approach and any feedback on revisions to the DDA schedule of performance.

Attachment A: DDA Schedule of Performance

Attachment B: December 18, 2024 Letter from WRCHT and deChase Miksis

## Attachment A

**Attachment 5**

**Schedule of Performance**

	<b>Action</b>	<b>Due Date</b>	<b>Section</b>
1	<b>Execution &amp; Delivery of Agreement by Developer.</b> Developer shall execute and deliver this Agreement to Agency.	As soon as practical	16.10
2	<b>Execution of Ground Lease</b>		5.1.1
3	<b>Execution and Delivery of Agreement by Agency.</b> Agency shall consider approval of this Agreement, and if approved, shall deliver one executed original to Developer.	Within forty-five (45) days of execution by Developer	16.10
4	<b>Payment of Deposit.</b> Developer previously deposited with Agency the sum of \$10,000.00	Completed.	5.2.4(b)
5	<b>Submission of Preliminary Evidence of Financing.</b> Developer shall submit to Agency evidence satisfactory to the Agency that Developer will have at or before execution of the Ground Lease the financial capability necessary for the development of the Project thereon pursuant to this Agreement.	No later than ninety (90) prior to execution of Ground Lease	4.1
6	<b>Time to Approve Evidence of Financing.</b> Agency shall approve or disapprove of Developer's evidence of financing	Within twenty (20) days of Developer's submission of evidence of financing.	4.3
7	<b>Submission of Preliminary Plans</b>	Within one hundred twenty (120) days after Effective Date	8.4
8	<b>Approval of Preliminary Plans</b>	Within twenty-one (21) after receiving submission.	8.4
9	<b>Submission to Agency of Schematic Design Documentation</b>	Within sixty (60) days after Agency approval of the Preliminary Plans	8.5
10	<b>Approval of Schematic Design Documentation.</b>	Within fifteen (15) days following the public workshop	8.5
11	<b>Submission of Design Review Drawings.</b>	Within ninety (90) days after Agency approval of Schematic Design Documentation.	8.6
12	<b>Approval of Design Review Drawings</b>	Within twenty (20) days after receiving submission.	8.6

13	<b>Submission of Final Construction Drawings</b>	Within ninety (90) days after the City's issuance of a Design Review Permit.	8.7
14	<b>Approval by Agency of Final Construction Drawings</b>	Within twenty-one (21) days of receipt by Agency.	8.7
15	<b>Submission of Building Permit Application to the City by the Developer.</b>	Within 30 days of Agency approval of Final Construction Documents	8.7
16	<b>Commencement of Construction</b>	Within ninety (90) days of Developer receiving Building Permit from City.	8.7
17	<b>Completion of the Project and Issuance of a Certificate of Occupancy</b>	Within 30 months of issuance of the Building Permit by the City.	8.7
18	<b>Insurance.</b> Developer shall furnish evidence of the insurance required under the Agreement to Agency.	Prior to Execution of Ground Lease.	10
19	<b>Construction Loan Closings.</b>	Concurrently with execution of Ground Lease	4
20	<b>Conditions Precedent to Ground Lease.</b> All Conditions Precedent to Closing shall be satisfied or waived as appropriate.	Prior to Execution of Ground Lease	5
21	<b>Construction Contract.</b> Requires Project to be constructed for under the Project Budget.	Prior to Execution of Ground Lease	5.2.4(f)
22	<b>Certificate of Completion.</b> Agency shall provide Certification of Completion to Developer.	Promptly following City's issuance of a certificate of occupancy for 100% of the residential units and a certificate of occupancy/completion of at least the shell/core of the retail and/or office and/or commercial use and Developer is not in default.	11.1

## Attachment B



December 18, 2024

Suzan Frick, Executive Director  
Ketchum Urban Renewal Agency  
191 5th Street West  
Ketchum, ID 83340

VIA EMAIL: [sfrick@ketchumidaho.org](mailto:sfrick@ketchumidaho.org)

**RE: 1st AND WASHINGTON AFFORDABLE WORKFORCE HOUSING PROJECT  
SCHEDULE OF PERFORMANCE UPDATE**

Ms. Frick:

On behalf of First + Washington Properties, LLC ("Developer"), this letter serves to update The Ketchum Urban Renewal Agency ("Agency") on the 1st and Washington Affordable Workforce Housing Project ("Project") and to formally request a revision to the Disposition and Development Agreement ("DDA") Schedule of Performance to reflect the delay outlined below.


In accordance with Sections 8.4 and 8.5 of the DDA, the Developer submitted the Preliminary and Schematic plans for Agency. A public workshop was held, during which valuable input was received from both the public and the Agency. In response to this feedback, the Agency requested the Developer pause and study additional parking design options. The time required to study additional parking options will require an amendment to the Schedule of Performance.

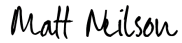
We respectfully request that the Agency provide guidance on how best to proceed with the updated design and a timeline we can expect direction. Once this direction is provided, the Developer will propose updated milestones for the Schedule of Performance through a DDA amendment.

Thank you for your understanding and continued collaboration. We look forward to receiving your feedback and direction on the next steps.

Please feel free to reach out with any questions or to discuss this matter further.

Sincerely,

Signed by:  
  
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Steven M. Shafran  
WRCHT

Signed by:  
  
AE77A403CFD24CD...  
Matt Neilson  
deChase Miksis