



## AGENDA

### PUBLIC PARTICIPATION INFORMATION

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**We welcome you to watch Commission Meetings via live stream.**

You will find this option on our website at [www.ketchumidaho.org/meetings](http://www.ketchumidaho.org/meetings).

**If you would like to comment on a public hearing agenda item, please select the best option for your participation:**

1. Join us via Zoom (*please mute your device until called upon*).  
**Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/83673492830>  
Webinar ID: 836 7349 2830
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (*by noon the day of the meeting*).

*This agenda is subject to revisions. All revisions will be underlined.*

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### CALL TO ORDER:

### ROLL CALL:

### COMMUNICATIONS FROM COMMISSIONERS:

### CONSENT AGENDA:

*Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.*

1. ACTION ITEM: Approval of the May 9, 2023 minutes

### PUBLIC HEARING:

2. ACTION ITEM: Recommendation to review and approve the Bigwood 3 Garages Design Review application and adopt the Findings of Fact, Conclusions of Law, and Decision.
3. ACTION ITEM: Recommendation to hold a public hearing, review, and recommend approval of the Crossbuck McKnee Townhomes Phased Development Agreement #22854.

### NEW BUSINESS:

- [4.](#) Discussion of PreApplication and Final Design Review purpose and required application materials.

**ADJOURNMENT:**





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**CALL TO ORDER:** *(00:00:25 in video)*

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30p.m.

**ROLL CALL:**

Neil Morrow  
Susan Passovoy – arrived at 4:33pm  
Brenda Moczygemba  
Tim Carter  
Spencer Cordovano

**ALSO PRESENT:**

Morgan Landers—Director of Planning and Building  
Abby Rivin—Senior Planner  
Adam Crutcher—Associate Planner  
Paige Nied—Associate Planner  
Heather Nicolai-Planning Technician & Office Administrator

**COMMUNICATIONS FROM COMMISSIONERS:** *(00:00:43 in video)*

**CONSENT AGENDA:** *(00:0:53 in video)*

1. ACTION ITEM: Approval of the April 11, 2023 minutes

**Motion to approve April 11, 2023 Minutes** *(00:01:20 in video)*

**MOVER:** Brenda Moczygemba

**SECONDER:** Tim Carter

**AYES:** Spencer Cordovano, Tim Carter, Neil Morrow, Brenda Moczygemba

**RESULT: ADOPTED UNANIMOUSLY**

**PUBLIC HEARING:** *(00:01:30 in video)*

2. ACTION ITEM: Recommendation to hold a public hearing, review, and provide feedback on the Mountain Overlay Design Review, Townhouse Preliminary Plat, and Conditional Use Permit applications for the detached townhomes at 402 Sage Road.

- Staff Presentation: Adam Crutcher —Associate Planner *(00:01:50 in video)*
- Commission Questions/Comments for Staff *(00:11:55 in video)*
- Applicant Presentation by: Shilpa Sushil, Architect, Connect Homes *(00:19:55 in video)*

- Applicant Presentation by: Alex Nelson, Civil Engineer, Alpine Enterprises (00:35:10 in video)
- Commission Questions/Comments for Applicant (00:41:00 in video)
- Applicant, Sam Jadallah (00:57:30 in video)

**Public Comment:** (00:59:05 in video)

- Will Chin (01:00:43 in video)
- Baird Gourlay (01:04:53 in video)

**Public Comment Closed:** (01:07:17 in video)

- Staff response to questions from public comment (01:07:20 in video)
- Commission discussion, questions for staff and direction for applicant (01:07:50 in video)
- Staff recap of commission feedback (01:40:50 in video)
- Commission direction to applicant (01:41:50 in video)

**Motion to continue discussion of the 402 Sage Road project to date certain – June 27, 2023** (01:45:30 in video)

**MOVER:** Susan Passovoy

**SECONDER:** Spencer Cordovano

**AYES:** Spencer Cordovano, Tim Carter, Neil Morrow, Brenda Moczygamba, Susan Passovoy

**RESULT: ADOPED UNANIMOUSLY**

**\*\*\*\*3 minute break\*\*\*\*** (01:45:45 in video)

**NEW BUSINESS:** (01:45:49 in video)

**3. Interim Ordinance Workshop: Community Core Rooftop Dimensional Standards** (01:45:55 in video)

- Staff Presentation: Abby Rivin—Senior Planner, Commission Questions/Comments for Staff & Staff Responses, Commission Direction for staff (01:46:10 in video)

**General announcement from Staff of upcoming meeting, department highlights.** (02:40:35 in video)

**ADJOURNMENT:**

**Motion to adjourn at 7:22pm** (02:45:30 in video)

**MOVER:** Tim Carter

**SECONDER:** Spencer Cordovano

**AYES:** Spencer Cordovano, Susan Passovoy, Tim Carter, Neil Morrow, Brenda Moczygamba

**RESULT: ADOPTED UNANIMOUS**

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Neil Morrow – P & Z Commissioner

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Morgan Landers – Director of Planning & Building



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF MAY 23, 2023

**PROJECT:** Bigwood 3 Garages

**FILE NUMBER:** P21-036

**APPLICATION TYPE:** Design Review

**REPRESENTATIVE:** Chad Blincoe – Blincoe Architecture (architect)

**PROPERTY OWNER:** Big Wood Condo #3 Owners

**REQUEST:** Final Design Review application for the development of three new structures with a combination of garages and carports in each for a total of fourteen (14) covered parking spaces.

**LOCATION:** 127 Saddle Road (Bigwood Condos #3 Common Area)

**ZONING:** Tourist (T)

**REVIEWER:** Paige Nied – Associate Planner

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 2, 2023. The public hearing notice was published in the Idaho Mountain Express on May 2, 2023. A notice was posted on the project site and the city’s website on May 16, 2023. Story poles were documented on the project site as of May 16, 2023.

**I. EXECUTIVE SUMMARY:**

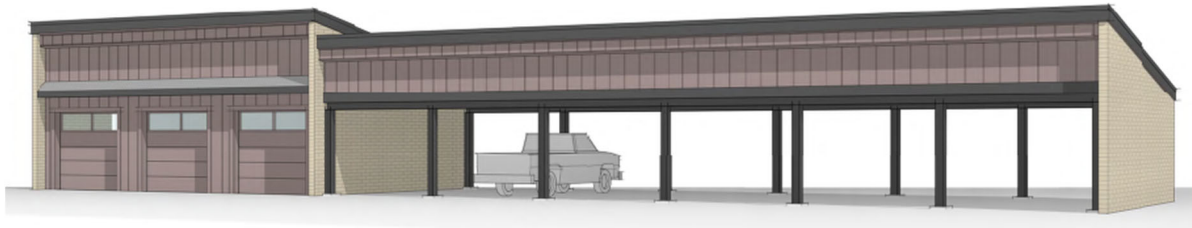
The applicant is proposing to construct three new garage and carport structures (the “project”), located in the Bigwood Condos #3 Common Area (127 Saddle Road) to add a total of 14 covered parking spaces. The structure entitled “Garage 1” on the project plans is 1,238 square feet, “Garage 2” is 2,672 square feet, and “Garage 3” is 2,112 square feet in size. There are 51 parking spaces existing onsite, and only one parking space will be lost with the new parking structures and parking configuration. The site plan (Sheet L1) of the project plans in Attachment B shows the location of the new garage and carport structures. The subject property is zoned Tourist (T) and the common area on the lot is currently utilized as a paved parking lot. Garages are permitted in the T district as an accessory structure provided that all development standards are met. Renderings of the proposed structures can be seen in Figure 1 below.

Figure 1: Renderings of Proposed Project

Garage #1



Garage #2



Garage #3



Garages are permitted for condominiums provided that they are designated on the preliminary and final plats and on all deeds of the particular condominium unit. No garage may be condominiumized or sold separate from a condominium unit. The addition of these structures to the site requires a Lot Line Shift application to add the new building footprints to the Bigwood Condominiums No.3 Plat. Lot Line Shift applications require only City Council approval, thus after the design review application receives approval, the Lot Line Shift application will be added to the City Council's agenda for review and approval.

## II. BACKGROUND:

The City of Ketchum received the Design Review application on March 18, 2021. Following the receipt of the application, staff routed the application materials to all city departments for review. A letter of completeness with department comments was provided to the applicant on April 27, 2023, after two rounds of review. As of the date of this letter, all department comments have been resolved or addressed through conditions of approval recommended below.

## III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Per Ketchum Municipal Code (KMC) §17.96.010.A – *Applicability*, design review is required for substantially altering the exterior of multi-family dwellings. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

### **Criteria #1: Health, Safety, and Welfare of the Public**

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future, which includes community character and exceptional recreational opportunities. The plan designates the future land use for

the property as “high density residential” where, according to the plan, “This residential type is appropriate in locations near activity centers and near downtown” and “often serves as a transition between higher-intensity uses and activities, and lower-density, neighborhoods with single family residences.” The primary use for this land use includes a broader variety of residential types, including single-family residences, duplexes, and multi-family housing. The primary use of the property is multi-family residential. The addition of the garage/carport structures does not change the overall use of the property.

Policy CD-1.4 of Chapter 4 of the Comprehensive Plan states that new developments “should be well designed and attractive and should complement surrounding land uses and existing neighborhood character.” Complementary architectural designs for new projects are necessary to maintain community and neighborhood character. Additionally, the Comprehensive Plan doesn’t specifically address storage for recreational equipment, however, the plan does read strongly about the city’s recreational opportunities and access. The Wood River Valley caters to a variety of recreational activities, all of which require an abundance of equipment and not all residences in the Big Wood Condos have storage space available. This can lead to recreational equipment being stored on balconies and outside of structures.

Staff believes the project meets the goals and policies outlined in the plan. The proposed garage/carport structures are complementary to the design of the existing condominiums on the subject property, as both incorporate shed roofs with asphalt shingles and brown decorative block siding. Further, the garage component of the structures can be utilized by the tenants not only for car storage, but the upper portion of the shed roof design can be built out for the storage of recreational equipment.

## ***Criteria #2: Applicable Standards and Criteria***

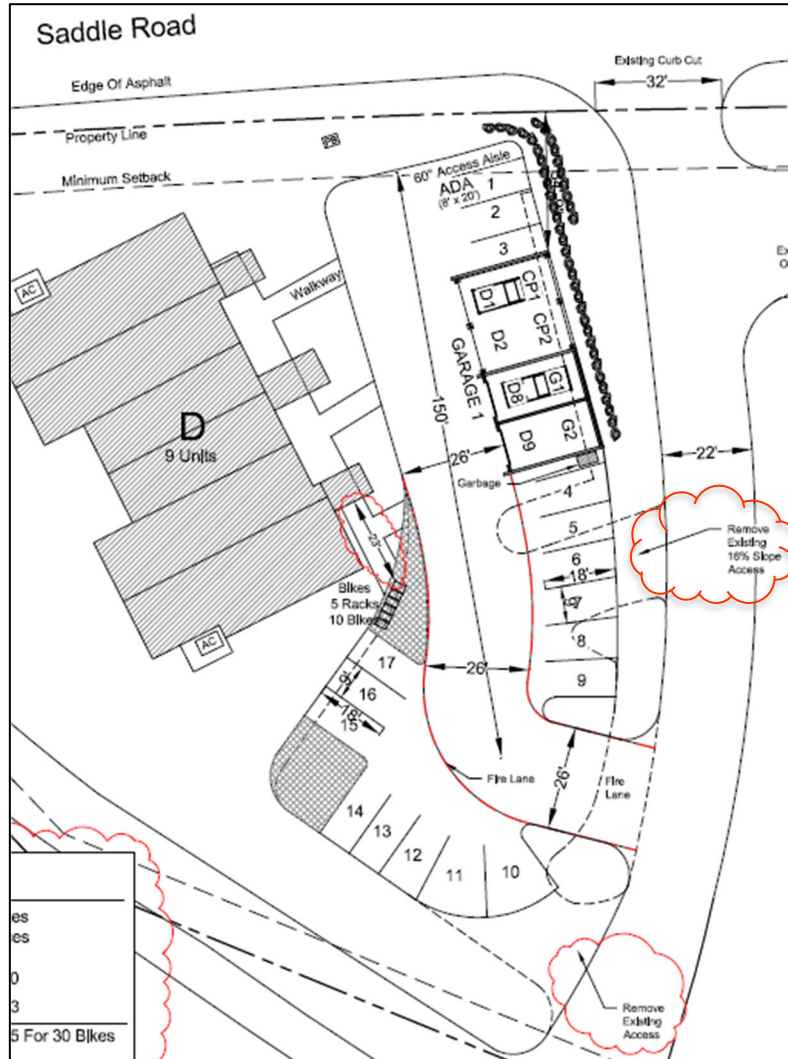
### **Conformance with Zoning Regulations**

During department review, city staff reviewed the project for conformance with all applicable zoning code requirements including uses, dimensional limitations, signage, parking, development standards, and dark skies. The project follows all applicable zoning code requirements. A review of compliance with zoning and dimensional standards can be found in Attachment C. Below is an overview of some of the more noteworthy zoning code requirements for the proposed project.

### ***Off Street Parking and Loading (KMC 17.125.030)***

Access to the internal drive for the Bigwood 3 Condominiums is from Saddle Road and Spur Lane. Building D contains two access points from the internal drive. The project is proposing to remove the two existing access points and add a new access point from the internal drive to the Building D parking lot. Please see Figure 2 below for details. In conversations with the applicant and the Fire Department, the change in access to Building D is compliant with Fire Code emergency vehicle access requirements by providing a 26-foot-wide and 150-foot-long access road, which is demonstrated on Sheet L1 of the project plans in Attachment B. Therefore, the realignment of the driveway is acceptable.

Figure 2: Building D Access



**Bicycle Parking (KMC 17.125.060)**

KMC 17.125.060 outlines uses where bicycle parking is required, which stipulates all uses other than one family dwellings are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces. Currently, there are no bicycle racks onsite. For the 50 parking spaces provided for the project, 13 bicycle racks are required. The project is proposing 15 bicycle racks onsite, all of which meet the location, ADA, design, and surface requirements.

**Conformance with Design Review Improvements and Standards**

During department review, city staff reviewed the project for conformance with all applicable design review improvements and standards outlined in KMC §17.96.060 – *Improvements and Standards*. Staff reviewed the project for conformance with all corresponding city code requirements related to right-of-way improvements including but not limited to sidewalks, street lighting, and on-street parking. Staff believes that either a requirement is not applicable due to the scope of the project, or requirements are met. Please see Attachment C for a review of all design review improvements and standards. Below is an overview of some of the more noteworthy design review criteria for the proposed project.

*Compatibility of Design (KMC 17.96.060.E) and Architectural (KMC 17.96.060)*

The project proposes three garage/carport structures with shed roofs, charcoal gray metal fascia, and a mix of light gray board and batt and brown decorative block siding. The project design and materials were intentionally chosen to match the existing condominiums on the subject property. Staff believes the proposed project meets the compatibility and architectural design criteria.

*Sidewalks (KMC 17.96.060.B)*

KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is within the T Zone District, which is a district where sidewalks are required per the development standards. However, this project does not qualify as a substantial improvement, therefore, sidewalks are not required to be installed.

*Drainage (KMC 17.96.060.C)*

The project is proposing to add non-permeable area to the site and sloping runoff to the rear of the garages. The Streets Department recommended providing a drainage detail to manage the runoff. The applicant revised the project plans to include a dry stack retaining wall and drywells to the rear of each new garage/carport structure, as well as added a new drywell between Building E and Building F. With the changes, staff believes the drainage criteria is met.

*Architectural (KMC 17.96.060.F)*

KMC 17.96.060.F.8 stipulates that building design shall include weather protection devices to prevent snow from sliding on pedestrian circulation areas or adjacent properties. The project plans do not indicate snow retention devices on the roofs proposed structures. Therefore, staff recommend condition of approval #5 requiring the applicant to install snow retention devices on all the garage/carport structures.

#### **IV. STAFF RECOMMENDATION**

Staff recommends **approval** of the Design Review application (File No. P21-036) subject to the following conditions:

1. This Design Review approval is based on the architectural plan set dated April 26, 2023, included as Exhibit A to these findings. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. The applicant shall install snow retention devices on the roof of each garage/carport structure.

#### **V. RECOMMENDED MOTIONS**

Design Review:

"I move to approve the Bigwood 3 Garages Design Review application, as conditioned, and adopt the Findings of Fact, Conclusions of Law, and Decision."

**ATTACHMENTS:**

- A. Design Review - Application Materials and Supplemental Documents
- B. Design Review Plan Set
- C. Draft Findings of Fact, Conclusions of Law, and Decision
- D. Public Comment





City of Ketchum

# Attachment A: Design Review Application Materials & Supplemental Documents



City of Ketchum  
Planning & Building

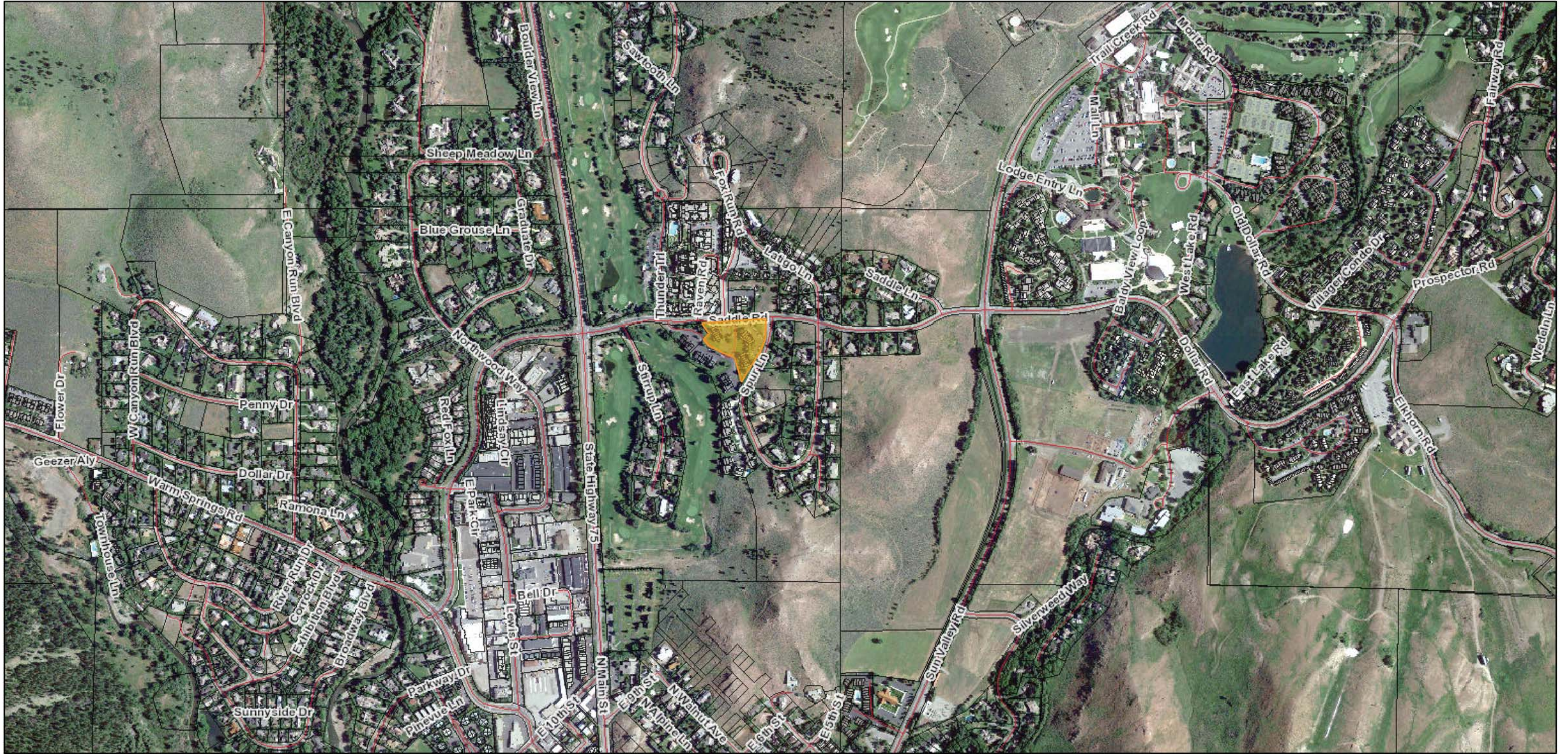
Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>

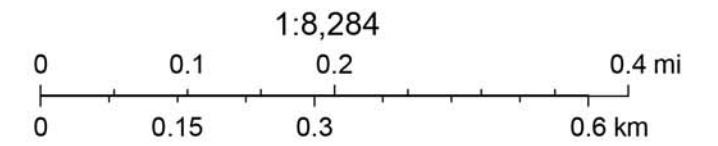
APPLICANT INFORMATION			
Project Name: Bigwood III Garages		Phone: 240-472-9665	
Owner: Bigwood Condo #3		Mailing Address: Po Box 1294 Ketchum, ID 83340	
Email: jurstrobos@me.com			
Architect/Representative: Chad Blincoe		Phone: 208-928-7809	
Email: chad@blincoearchitecture.com		Mailing Address: PO Box 4424 Ketchum ID 83340	
Architect License Number: AR-984802			
Engineer of Record: Dave Konrad/Konrad Stohler Engineering		Phone: 208-928-781	
Email: kse@ksengr.net		Mailing Address: 614 S. Main St, Bellevue ID 83313	
Engineer License Number: 8618			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description: Bigwood Condos #3 Common Area			
Street Address: 127 Saddle Rd, Ketchum ID, 83340			
Lot Area (Square Feet): 2.559 Acre			
Zoning District: T			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: U		Number of Residential Units:	
TOTAL FLOOR AREA			
	<b>Proposed</b>	<b>Existing</b>	
Basements Garage 1	1,238	Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor Garage 2	2,672	Sq. Ft.	Sq. Ft.
2 <sup>nd</sup> Floor Garage 3	2,096	Sq. Ft.	Sq. Ft.
3 <sup>rd</sup> Floor		Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total		Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core:		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage:			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: N/A	Side: N/A	Side: N/A	Rear: N/A
Building Height: 18'-0"			
OFF STREET PARKING			
Parking Spaces Provided: N/A			
Curb Cut:	Sq. Ft.	%	
WATER SYSTEM			
<input type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	



# Parcel Information Map



March 16, 2021





**THE BIGWOOD CONDOMINIUMS NO. 3, INC.**

**BOARD RESOLUTION RE:  
PARKING ASSIGNMENT RULE**

**WHEREAS**, The Bigwood Condominiums No. 3, Inc (the "Association") is the Management Body charged with managing the Bigwood Condominium No. 3 (the "Project") pursuant to the Condominium Declaration for Bigwood Condominium No. 3 and the First through Fifth Amendments thereto recorded as Instrument Nos. 153422, 378764, 436477, 436478, 484786 and 676965 in the official Records of Blaine County, Idaho (collectively, the "Declaration"). The Association is managed by its Board of Directors.

**WHEREAS**, Pursuant to Section 8.2 of the Declaration, the Association is the party responsible for the management and control of the Common Area, including Limited Common Area, as those terms are defined in the Declaration; and pursuant to Section 8.5 of the Declaration, the Association has the authority to make rules assigning particular portions of the Common Area for the exclusive use by Owners of particular Condominiums, including, but not limited to, parking structures; and pursuant to Section 8.6 of the Declaration, the Association may exercise all rights and privileges reasonably implied by or reasonably necessary to effectuate any right or privilege set forth in the Declaration

**WHEREAS**, the Board of Directors of the Association have determined that it is in the best interests of the Association and owners to adopt a Parking Assignment Rule, whereby Owners may be assigned exclusive use parking spaces in the Common Area through Limited Common Areas Easements and provide or construction of parking structures on said limited common area;

**NOW, THEREFORE**, be it

**RESOLVED**, that the Association adopt a *Parking Assignment Rule* as follows:

1. The Association shall offer a Limited Common Area Easements for the Purpose of Garage / Carport ("**Limited Common Area Easement**") in the form attached hereto as Exhibit A;
2. Each Owner accepting a Limited Common Area Easement shall be responsible for all obligations of the Grantee contained in the Limited Common Area Easement;

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 1**

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3. Each Owner accepting a Limited Common Area Easement shall be required to pay for Parking Structure improvements made within the Limited Common Area for their benefit in accordance with the Payment Schedule attached hereto as Exhibit B;

4. The location of the Parking Structures shall be consistent with the Assignment of Parking Structures list attached hereto as Exhibit C;

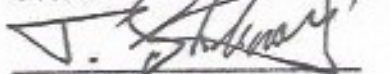
5. The Board may make such additional Rules governing the Parking Structures as it may deem to be in the best interest of the Association in the management of the parking structures.


**RESOLVED**, that the Association is authorized to enter into Limited Common Area Easements in accordance with the Parking Assignment Rule and that the President of the Association be authorized on behalf of the Association to execute said easements on behalf of the Association.

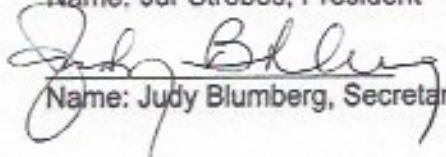
**RESOLVED**, that in connection with the Parking Assignment Rule and the consummation of the Limited Common Area Easements contemplated therein, the President of the Association is on behalf of the Association to take all such further actions, and to execute and deliver all such further agreements, instruments and other documents, in the name and on behalf of the Association which shall in his judgment be deemed necessary proper or advisable, in order to carry out the intent and effectuate the purposes of these resolutions.

Adopted this 15<sup>th</sup> day of October 2022

Bigwood Condominiums No. 3, Inc.  
Board Members:

  
Name: Jur Strobos, President

  
Name: Rebecca Johnson, Treasurer

  
Name: Judy Blumberg, Secretary

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 2**

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**EXHIBIT A**

**Form of Limited Common Area Easement**

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**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 3**

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After recording return to:

James R. Laski  
Lawson Laski Clark, PLLC  
P.O. Box 3310  
Ketchum, ID 83340

This space reserved for recording purposes.

COUNTY OF BLAINE, IDAHO

**LIMITED COMMON AREA EASEMENT  
FOR PURPOSE OF GARAGE / CARPORT**

THIS EXCLUSIVE USE COMMON AREA EASEMENT AGREEMENT (this "Agreement"), is made and entered into this \_\_\_\_ day of \_\_\_\_ 2022, by and among **THE BIGWOOD CONDOMINIUMS NO. 3, INC.**, an Idaho nonprofit corporation (the "Association"), whose mailing address is 2162, Ketchum, ID 83340 and \_\_\_\_\_ whose mailing address is \_\_\_\_\_ ("Grantee").

**RECITALS**

A. The Association is the Management Body charged with managing the Bigwood Condominium No. 3 (the "Project") pursuant to the Condominium Declaration for Bigwood Condominium No. 3 and the First through Fifth Amendments thereto recorded as Instrument Nos. 153422, 378764, 436477, 436478, 484786 and 676965 in the official Records of Blaine County, Idaho (collectively, the "Declaration").

B. Pursuant to Section 8.2 of the Declaration, the Association is the party responsible for the management and control of the Common Area, including Limited Common Area (the "Servient Estate"), as those terms are defined in the Declaration.

C. Pursuant to Section 8.5 of the Declaration, the Association has the authority to make rules assigning particular portions of the Common Area for the exclusive use by Owners of particular Condominiums, including, but not limited to, parking structures.

D. Pursuant to Section 8.6 of the Declaration, the Association may exercise all rights and privileges reasonably implied by or reasonably necessary to effectuate any right or privilege set forth in the Declaration.

E. By resolution dated October 15, 2022, the Association has adopted a Rule assigning individual parking spaces in the Common Area be for exclusive use of the

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 4**

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Owner of each Condominium and for the development of parking structures associated with such assigned spaces (the "Parking Assignment Rule").

F. Grantee is the Owner of the Bigwood Condominiums No. 3 Unit No. \_\_\_\_\_, as shown on the Condominium Plat recorded on December 19, 1973 as Instrument No. 152364, records of Blaine County, Idaho (the "Benefited Property"), which includes exclusive rights to use Limited Common Area appurtenant thereto.

G. The Association and Grantee now desire to substantiate the assignment of exclusive use common area pursuant to the Parking Assignment Rule and to create an Easement over the Easement Area on the terms and conditions set forth in this Agreement for the limited purpose of allowing the construction, installation, maintenance, and use of certain improvements as more particularly set forth below.

### AGREEMENT

NOW THEREFORE, in consideration of the foregoing recitals, which are hereby incorporated into this Agreement, the mutual promises and covenants contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. **Definitions.** Any capitalized terms used but not otherwise defined in this Agreement shall have the meanings given to them in the Declaration.

2. **Grant of Limited Common Area Easement.** The Association hereby grants to Grantee, as owner of the Benefited Property, and to Grantee's contractors, employees, agents, licensees, and invitees (collectively, the "Permittees"), for the benefit of the Benefited Property, a right of exclusive use for the limited purpose of storage and automobile parking (the "Easement"). The Easement is for the limited purpose of allowing the Association, on behalf of Grantee, the right to construct a garage / carport (the "Improvements") and to allow Grantee the right to maintain, repair, and use the Improvements on, over, and across a portion of the Servient Estate as described on **Exhibit A** (the "Easement Area") attached hereto. Grantee hereby acknowledges and agrees that the Easement: (a) is for the limited purposes and on the terms and conditions as described herein and shall not be deemed to grant any rights in or to the Easement Area or the Servient Estate other than those specifically identified in this Agreement; (b) remains subject to all of the terms and provisions of the Declaration (including the rights of the Association thereunder), except as expressly provided herein; (c) may not be separated from the Benefited Property by sale of lease to any third party; and (d) may not be used for any purpose other than vehicle parking and general storage. The Grantee consents to and authorizes the Association to obtain appropriate building permits for construction consistent herewith over the Easement Area.

3. **Construction, Maintenance and Repair.**

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 5**

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3.1 Approval of Plans; Construction. The parties hereby agree and acknowledge that the architectural plans and specifications for the Improvements have been approved by the Association in accordance with the Declaration. Grantor agrees to perform, at Grantee's sole cost and expense, all work necessary in connection with the construction and installation of the Improvements on the Easement Area, subject to the terms and conditions of the approval, this Agreement and the Declaration. Grantee's shall pay for said costs in accordance with the Payment Schedule attached to the Parking Assignment Rule.

3.2 Maintenance and Repair. The parties hereby acknowledge and agree that from the date of this Agreement, Grantee, at its sole expense, shall be responsible for the maintenance and repair of the Easement Area including, without limitation, the maintenance, repair, and replacement of any structures, and any other improvements or equipment within the Easement Area, and that the Association shall have no further responsibility for the maintenance and repair of the Easement Area or the Improvements thereon; provided, however, that the Association shall retain the right, but not the obligation, to maintain the exterior surfaces and any other improvements (if any) within the Easement Area. Grantee shall, at Grantee's sole cost and expense, maintain and repair the Improvements and the Easement Area in such a manner as to ensure that the Easement Area is functional and aesthetically pleasing, consistent with the Declaration and any other rules or requirements imposed on Grantee or the Easement Area by the Association (including, without limitation, keeping the Easement Area free from nuisance, debris, and obstructions). Grantee shall, at its sole cost and expense, promptly repair or restore any area on the Servient Estate that is damaged or otherwise affected by the use of or entry onto the Easement Area or the Servient Estate by Grantee or its Permittees to the same or better condition as existed immediately prior to such use of or entry onto the Servient Estate. Grantee shall be responsible for payment its use of electric vehicle (EV) charging through metered charging stations located in the parking structures.

3.3 Right to Repair. In the event that Grantee does not perform its obligations as set forth in this Section 3, the Association, at its option, shall have the right, but not the obligation, upon ten (10) days' prior written notice to Grantee (or such notice as is reasonable, if any, in the case of an emergency which threatens imminent harm or death to persons or substantial damage to property), to maintain or repair the Easement Area or Improvements thereon, and Grantee shall reimburse it for any and all costs incurred for such work within ten (10) days after the Association's written request therefor. The parties acknowledge that the rights and remedies available under this Section 3.3 are in addition to, and not exclusive of, any other rights or remedies that the Association may have under the Declaration, any rules promulgated by the Association, or under any of the Association's corporate documents.

3.4 Compliance with Laws. Any and all work conducted by Grantee pursuant to this Section 3 shall be completed in a good and workmanlike manner and in

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 6**

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accordance with all applicable laws, rules, regulations, and local ordinances, and shall not disrupt or otherwise interfere with the Association's use of the Servient Estate.

**4. Liens.** Grantee shall keep the Easement Area free of any and all mechanics' or materialmen's liens arising out of or in connection with Grantee's use of the Easement Area. In the event any such lien is filed, Grantee shall cause such lien to be removed within thirty (30) days from the filing of such lien, either by paying the indebtedness which gave rise to such lien or by posting a bond or other security as required by law to obtain such release and discharge. In the event that Grantee does not timely obtain a release of such lien, the Association, at its option, shall have the right to bond for or otherwise obtain a release of the lien and collect all expenses incurred in connection therewith from Grantee, which shall be paid within fifteen (15) days from the Association's delivery of an invoice to Grantee therefor.

**5. Indemnification and Release.** Grantee hereby discharges and releases and agrees to indemnify, defend (with counsel acceptable to the Association), and hold the Association harmless from and against any and all claims, losses, liabilities, damages, actions, proceedings, or judgments of whatever kind or nature, liens, penalties, fines, and any and all costs and expenses (including, without limitation, reasonable attorneys' and experts' fees and costs of suit) arising from or related to Grantee's or its Permittees': (a) construction, installation, use, or maintenance of the Improvements; (b) use of or activities on, over, under, or otherwise within the Easement Area; or (c) performance or non-performance of any of the terms of this Agreement; provided, however, that the foregoing indemnification shall not apply to any such claims based solely on the willful or negligent acts or omissions of the Association.

**6. No Warranties.** THE ASSOCIATION MAKES NO REPRESENTATION OR WARRANTY, EXPRESS OR IMPLIED, THAT THE EASEMENT OR THE EASEMENT AREA IS CURRENTLY, NOR WILL IT IN THE FUTURE BE, ADEQUATE, SUITABLE, OR SUFFICIENT FOR GRANTEE'S INTENDED USE. THE PARTIES HEREBY ACKNOWLEDGE AND AGREE THAT THE ASSOCIATION IS UNDER NO OBLIGATION TO, AND THE ASSOCIATION SHALL HAVE NO CURRENT OR FUTURE RESPONSIBILITY TO PROVIDE TO GRANTEE ANY RIGHTS (INCLUDING WATER OR OTHER UTILITY RIGHTS) IN CONNECTION WITH THE INSTALLATION, CONSTRUCTION, USE, OR MAINTENANCE OF THE IMPROVEMENTS ON THE EASEMENT AREA. THE PARTIES FURTHER ACKNOWLEDGE THAT THE ASSOCIATION MAKES NO REPRESENTATION OR WARRANTY TO GRANTEE THAT THERE CURRENTLY ARE, OR AT ANY POINT IN THE FUTURE WILL BE (EVEN IF SUCH RIGHTS OR SERVICES CURRENTLY EXIST), SUFFICIENT UTILITY OR WATER RIGHTS OR SERVICES TO INSTALL, CONSTRUCT, MAINTAIN, OR USE THE EASEMENT AREA OR THE IMPROVEMENTS THEREON. GRANTEE HEREBY SPECIFICALLY ACKNOWLEDGES AND AGREES THAT GRANTEE AND ITS PERMITTEES SHALL USE THE EASEMENT AND THE EASEMENT AREA AT THEIR OWN RISK, AND THAT THE ASSOCIATION SHALL HAVE NO LIABILITY THEREFOR, EXCEPT FOR ANY CLAIMS ARISING OUT OF THE GROSS NEGLIGENCE OR

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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WILLFUL MISCONDUCT OF THE ASSOCIATION. FURTHERMORE, IN THE EVENT THAT THE EASEMENT AREA IS DAMAGED, DESTROYED, OR OTHERWISE BECOMES INOPERATIVE OR INACCESSIBLE FOR ANY REASON (INCLUDING BUT NOT LIMITED TO, AS A RESULT OF A REDUCTION IN OR ELIMINATION OF ACCESS TO UTILITY LINES OR WATER SERVICES ON THE EASEMENT AREA) OTHER THAN THROUGH THE GROSS NEGLIGENCE OR WILLFUL MISCONDUCT OF THE ASSOCIATION, THE ASSOCIATION SHALL NOT HAVE OR BE SUBJECT TO ANY LIABILITY FOR GRANTEE'S INABILITY TO USE THE EASEMENT AREA OR MAINTAIN OR REPAIR THE IMPROVEMENTS THEREON CONSISTENT WITH GRANTEE'S INTENDED PURPOSE.

7. **Default.** In the event of a default hereunder, each party shall have all rights and remedies available to it at law, in equity, or as otherwise set forth in this Agreement or the Declaration, including without limitation, the right to seek specific performance and/or obtain an injunction to enforce the terms and conditions of this Agreement. Upon an event of default by Grantee that is not cured within thirty (30) days from the noticing party's written notice to Grantee of such default, the Association shall have the right (but shall not be obligated) to terminate this Agreement by providing Grantee with written notice of same. Upon such termination, (i) the Association will execute and cause to be recorded in the real property records of Blaine County, Idaho a Termination of Easement Agreement to evidence such termination; and (ii) the noticing party may, in such party's sole discretion, remove the Improvements from the Easement Area, and Grantee shall reimburse the removing party for any and all costs incurred by such party for such work within ten (10) days after such party's written request therefor.

8. **General Provisions.**

8.1 Attorneys' Fees. If either party commences legal proceedings for any relief against the party arising out of this Agreement, the prevailing party shall be entitled to an award of legal costs and expenses, including, but not limited to, reasonable attorneys' fees as determined by a court of competent jurisdiction. The prevailing party shall be that party receiving substantially the relief sought in the proceeding, regardless of whether such proceeding was brought to final judgment.

8.2 Amendment and Waiver. Except as otherwise provided herein, no amendment, modification, waiver, discharge, or termination of this Agreement shall be valid unless the same is in writing, duly executed and acknowledged by all of the parties hereto, or their respective designees or successors-in-interest, and recorded in the official records of Blaine County, Idaho. No failure or delay on the part of any party in exercising any right granted to it under this Agreement, regardless of the length of time for which such failure or delay shall continue, will operate as a waiver of or impair any such right. No waiver of any breach or condition of this Agreement will or shall be deemed to operate as a waiver of any other or subsequent breach or condition.

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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8.3 Computation of Time Periods. Unless otherwise specifically provided in this Agreement, all periods of time referred to in this Agreement shall include all Saturdays, Sundays, and state or national holidays; provided, however, that if the date or last date to perform any act or give any notice or approval shall fall on Saturday, Sunday, or a state or national holiday, such act or notice may be timely performed or given on the next succeeding business day.

8.4 Counterparts. This Agreement may be executed in multiple counterparts, each of which shall be deemed an original when executed, but which counterparts together shall constitute one and the same instrument.

8.5 Entire Agreement. This Agreement, together with the exhibits attached hereto, constitutes the entire agreement between the parties with respect to the Easement described herein and supersedes all prior and contemporaneous agreements and/or understandings, whether written or oral, between the parties hereto relating to the subject matter hereof; provided, however, that this Agreement is not intended to supersede, modify, amend, or otherwise change the provisions of any prior instrument recorded in the official records of Blaine County, Idaho against either the Benefitted Property or the Servient Estate including the Declaration. In the event of a conflict between the provisions contained in the Declaration and this Agreement, the provisions contained in this Agreement shall govern. The Recitals set forth above and all exhibits referred to herein and attached to this Agreement are incorporated into this Agreement as if set forth in full.

8.6 Governing Law and Jurisdiction. This Agreement shall be governed by and construed in accordance with the laws of the State of Idaho, without regard to the choice-of-law or conflicts-of-laws principles of such state.

8.7 Interpretation and Construction. In construing the provisions of this Agreement and whenever the context so requires, the use of the singular shall include the plural, and the use of the plural shall include the singular. The captions and headings in this Agreement are for reference only and shall not be deemed to define or limit the scope or intent of any of the terms, covenants, conditions, or agreements contained herein.

8.8 Not a Public Dedication. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Servient Estate, Benefitted Property, or the Easement Area to the general public or for the general public or for any public purpose whatsoever, it being the intention of the parties that this Agreement shall be strictly limited to and for the purposes herein expressed.

8.9 No Third Party Beneficiary Rights. This Agreement is not intended to create, nor shall it be in any way interpreted or construed to create, any third party beneficiary rights in any person or entity not a party or successor or assign of a party hereto.

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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**8.10 Negotiated Terms.** This Agreement has been fully negotiated at arms' length among the signatories hereto, and after advice by counsel and other representatives chosen by such signatories, and such signatories are fully informed with respect thereto. No such signatory shall be deemed the scrivener of this Agreement, and this Agreement and the exhibits attached hereto shall be construed as a whole according to their common meaning and not strictly for or against either Party.

**8.11 Notices.** Whenever a party to this Agreement is required or permitted under this Agreement to provide the other party with any notice, request, demand, consent, or approval ("Notices"), the Notices must be given in writing and delivered to the other party at the address or facsimile number set forth below: (a) personally; (b) by a reputable overnight courier service; (c) by certified mail, postage prepaid, return receipt requested; or (d) by e-mail or facsimile transmission. Either party may change its address for Notices by written notice to the other party delivered in the manner set forth above. Notices will be deemed to have been duly given: (i) on the date personally delivered; (ii) one (1) business day after delivery to an overnight courier service with next-day service requested; (iii) on the third (3rd) business day after mailing, if mailed using certified mail; or (iv) on the date sent when delivered by facsimile or e-mail (so long as a copy of the Notice is sent by one of the other means permitted hereunder on or before the next business day).

IF TO THE  
ASSOCIATION: The BigWood Condominiums No. 3, Inc.  
P. O. Box 2162  
Ketchum, ID 83340

IF TO GRANTEE: Unit \_\_\_\_\_

**8.12 Recordation.** This Agreement shall be recorded in the real property records of Blaine County, Idaho.

**8.13 Runs with Land; Successors and Assigns.** This Agreement shall run with the land and shall bind and inure to the benefit of the parties hereto and their respective successors and assigns. At such time as a party or its successor ceases to have an interest in such party's parcel, such party or successor shall thereupon be deemed released and discharged from any and all obligations under this Agreement accruing thereafter.

**8.14 Severability.** Any provision of this Agreement which is determined by a court of competent jurisdiction to be invalid or unenforceable shall be invalid or

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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unenforceable only to the extent of such determination, which shall not invalidate or otherwise make ineffective any other provision of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first set forth above.

STATE OF \_\_\_\_\_ )

County of \_\_\_\_\_ )

**GRANTOR:**

THE BIGWOOD CONOMINIUM No. 3, INC., an Idaho non-profit corporation

By: \_\_\_\_\_  
Its: President, Bigwood 3 Condominium,  
Inc., Homeowner's Association

Grantee:

By: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
County of \_\_\_\_\_ ) ss: \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me, the undersigned, a Notary Public, personally appeared \_\_\_\_\_, known or identified to me to be the \_\_\_\_\_ of The Bigwood Condominiums No. 3, Inc., the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same on behalf of said company.

WITNESS MY HAND AND SEAL

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
BOARD RESOLUTION RE: PARKING ASSIGNMENT RULE - 11**

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DRAFT

(For EXCLUSIVE USE LIMITED TO)

NOTARY PUBLIC for \_\_\_\_\_  
Residing at: \_\_\_\_\_  
Commission Expires \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 ) ss:  
County of \_\_\_\_\_ )

Subject to Application

On this \_\_\_ day of \_\_\_\_\_, 2022, before me, the undersigned, a Notary Public, personally appeared \_\_\_\_\_, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.

WITNESS MY HAND AND SEAL

NOTARY PUBLIC for \_\_\_\_\_  
Residing at: \_\_\_\_\_  
Commission Expires \_\_\_\_\_

DRAFT

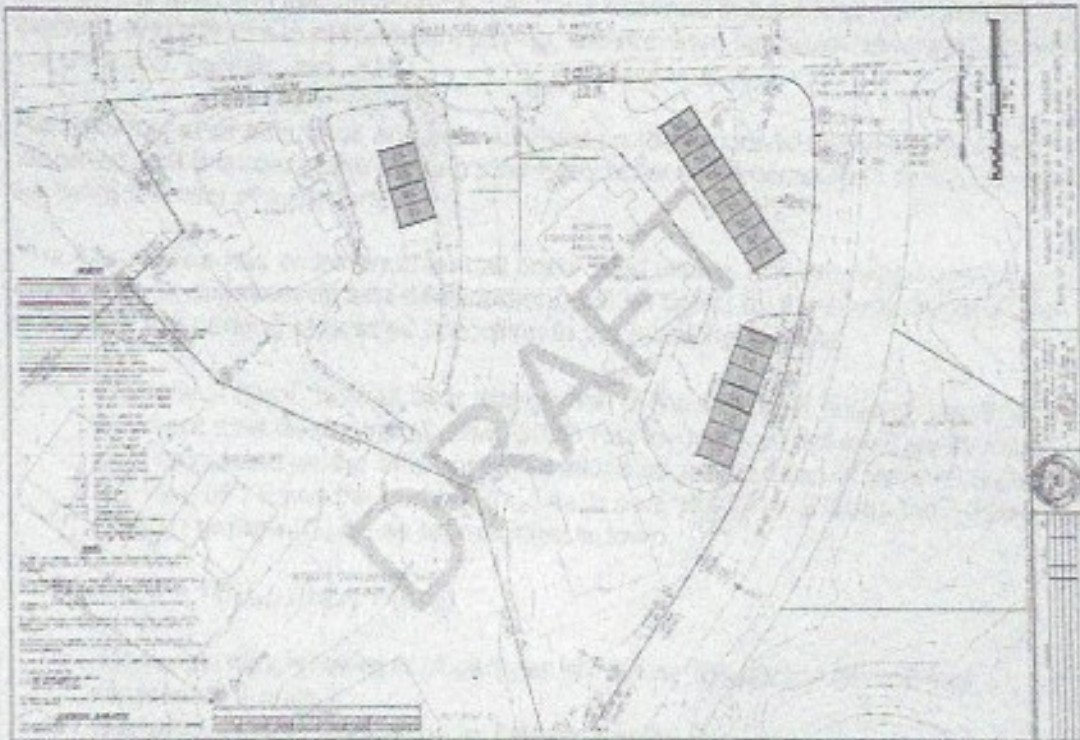
**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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**EXHIBIT A**  
**[To EXCLUSIVE USE LIMITED COMMON AREA DRAFT AGREEMENT]**  
**Easement Area**  
**[DRAFT -**  
**Final Subject to Modification]**



**THE BIGWOOD CONDOMINIUMS NO. 3, INC.**  
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**EXHIBIT B**

**Payment Schedule**

**Payment Amount**

The Association having incurred costs including, without limitation, legal fees, architectural fees, landscape architect fees, surveying fees, fees to the City of Ketchum, etc., for the planning and development and will continue to bear such fees as well as bearing all costs of site preparation, paving, construction, landscaping related to such construction, permits, etc., AND,

Reflective of prior estimates and bids received on the proposed construction, has identified that the cost of the parking structures reflects the conclusion that a garage will be twice the cost of a carport,

The Association has determined that all costs cited above, and any other unexpected costs of such construction and development, will be borne by the eventual beneficial owners of the parking structures according to the following formula:

- Owners of carports shall bear that portion of the total cost, at each incremental payment time determined below, which represents 1 unit of cost, such unit of cost calculated as the total cost (TC) allocated at that interval (time n) divided by the total of 1 times the number (n<sub>CP</sub>) each carport (CP) + 2 times the number (n<sub>G</sub>) of each garage (G) or, as represented below:

$$1 \text{ unit} = TC_{\text{time } n} / (n_{CP} + (2n_G))$$

- Correspondingly, owners of garages shall bear the portion of cost that represents 2 units.
- See also, sample calculation in Table in Exhibit C.

**Payment Schedule**

1. The first payment shall be made upon execution by the Grantee and Grantor of the Exclusive Use Limited Common Area Easement Agreement and shall be 1 unit for each carport Grantee and 2 units for each garage Grantee of the total costs incurred to date (e.g., architectural fees, City of Ketchum, legal fees, landscape architect fees, surveyor fees), the execution of such Agreement taking place promptly after approval of the proposal by the city and county authorities.

**THE BIGWOOD CONDOMINIUMS NO. 3, INC.  
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2. The second payment shall be made upon acceptance of a bid by the Board of Directors from one or more construction companies and the amount shall be 50% of the bid (defined as the Total Cost for payment 2) so that each carport grantee shall pay 1 unit of that Total Cost<sub>2</sub> and each garage Grantee shall pay 2 units of that Total Cost.
3. The third payment shall be made approximately 2 months before the Board determines that the 50% deposit shall be exhausted and shall be composed of the same amount as the second payment unless there have been changes or modifications that have increased the cost of the bid, in which case, the Total Cost<sub>3</sub> shall be deemed to be that amount estimated to be due upon completion.
4. The fourth payment shall be made upon reconciliation of all costs and shall either be made by the Grantees on the pro rata basis set forth above (per unit) or shall be refunded by the Association to the Grantees on the same pro rata basis if there is an overage.

The Board reserves the right to assess a payment at other times, in addition to the four set forth above, as may be necessary given that construction costs and other costs set forth above are not entirely predictable nor is the time course of construction.



## EXHIBIT C

### Assignment of Parking Structures

Beneficial Owner per Warranty Deed	Unit Designation	Parking Structure Designation
Dawn C. Sabo	D1	Structure 1 Carport 1
Joseph Peter Gawel and Frances Brohan Gawel (Trustees)	D2	Structure 1 Carport 2
Lana and Brian Ellsworth	D3	None
Roy J and Frances Ellsworth	D4	None
Village Timeshare Assn Inc.	D5	None
Village Timeshare Assn Inc.	D6	None
Village Time Share Assn Inc.	D7	None
Sunny Mountains LLC	D8	Structure 1 Garage 1
Jur Strobos	D9	Structure 1 Garage 2
Barbara Curry-James	E1	Structure 2 Carport 1
Dietlinde H Goldman Trust and Dietlinde Goldman Revocable Trust	E2	Structure 2 Carport 3
Barry Rathfon (Trustee), Maureen Rathfon Trust	E3	Structure 2 Carport 2
Dietlinde H Goldman Trust and Dietlinde Goldman Revocable Trust	E4	Structure 2 Carport 4
Sun Valley Partners	E5	Structure 2 Garage 1
Patrick McGuire Amos and Lindsay Ann Amos	E6	Structure 2 Garage 2
Virginia L. Smith	E7	Structure 2 Garage 3
Jeremy W and Nicole T Singer	E8	Structure 2 Carport 5
William McLaughlin and Elizabeth De Long	E9	Structure 2 Carport 6
Gordon Martinen Trustee, Mary L Bennett Trustee	F1	Structure 3 Carport 5
Rebecca Lynn Johnson	F2	Structure 3 Garage 1
Terry and Douglas L Chester	F3	Structure 3 Carport 6
Patrick J Garrison	F4	Structure 3 Carport 2
Clinton L and Anna K Dille	F5	None
Debbie Douville	F6	Structure 3 Carport 1
Judy Blumberg	F7	Structure 3 Carport 3
Jeffrey and Cynthia Harmon	F8	None
Susan and William Fallon	F9	Structure 3 Carport 4
		Garages = 6
		Carports = 14
1 unit cost = total cost at time / 26		

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## Cliff Mendoza

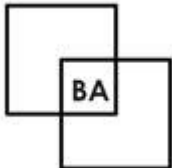
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**From:** Chad Blincoe  
**Sent:** Monday, October 31, 2022 11:22 AM  
**To:** Cliff Mendoza  
**Subject:** FW: Trash

B3

### Blincoe Architecture

P.O. Box 4424  
251 Northwood Way, Suite E  
Ketchum, Idaho 83340  
208-928-7809  
[Chad@BA-Idaho.com](mailto:Chad@BA-Idaho.com)



---

**From:** Jur Strobos <jurstrobos@me.com>  
**Sent:** Tuesday, February 15, 2022 10:03 AM  
**To:** Chad Blincoe <chad@blincoearchitecture.com>  
**Cc:** Stacey Ward <sward@communityschool.org>; Judy Blumberg <JudyBnNYC@aol.com>; Sheri Thomas <sheri@bmpmgt.com>  
**Subject:** Trash

Chad, this is to inform you on behalf of the Board of Directors that the Bigwood 3 Homeowners Association disposes of its own trash. The new parking layout and parking structures will have no impact on this handling of trash.

Jur Strobos MD  
President, Bigwood 3 Homeowners Association.  
[jurstrobos@me.com](mailto:jurstrobos@me.com)  
+1-763-285-9280



City of Ketchum

# Attachment B: Design Review Plan Set



# BIGWOOD III GARAGES

MARCH 21st, 2023  
BIGWOOD CONDOMINIUM 3  
127 SADDLE RD, KETCHUM ID 83340

PROJECT TEAM	GENERAL NOTES:	CODE COMPLIANCE:	SHEET INDEX																																				
<p><b>ARCHITECT:</b> <b>Blincoe Architecture</b> POST OFFICE BOX 4424 KETCHUM, IDAHO 83340 (208) 720-1925</p> <p><b>STRUCTURAL ENGINEER:</b> <b>Konrad &amp; Stohler Structural Engineering</b> 614 S. MAIN BELLEVUE, IDAHO 83713 (208) 928-7810</p> <p><b>LANDSCAPE ARCHITECT:</b> <b>Eggers Associates, P.A.</b> P.O. BOX 953 KETCHUM, ID 83340 (208) 725-0988</p> <p><b>CIVIL/SURVEYOR:</b> <b>Alpine Enterprises Inc.</b> 280 RIVER ST. E KETCHUM, ID 83340 (208) 727-1988</p>	<p><b>NOTE:</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.</li> <li>ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.</li> <li>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</li> <li>ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.</li> <li>ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS.</li> <li>THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE.</li> <li>THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.</li> <li>THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.</li> <li>THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.</li> <li>ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER &amp; GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS &amp; DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.</li> </ol>	<p><b>CODE COMPLIANCE:</b></p> <ol style="list-style-type: none"> <li>MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.</li> <li>PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</li> <li>ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70.</li> </ol> <p><b>ROOFING:</b> * ALL ROOFING SHALL COMPLY WITH CHAPTER 15 OF THE 2018 INTERNATIONAL BUILDING CODE.</p> <p><b>BUILDING ENVELOPE:</b> * SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p><b>LIGHTING EQUIPMENT:</b> * SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p><b>ATTIC ACCESS:</b> * SHALL COMPLY WITH SECTION 402.2.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p><b>GLASS AND GLAZING:</b> * SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE.</p>	<p><b>SHEET INDEX</b></p> <table style="width: 100%;"> <tr><td>CS</td><td>COVER SHEET</td></tr> <tr><td>C1</td><td>PRELIMINARY PLAT</td></tr> <tr><td>EC</td><td>EXISTING SITE CONDITIONS</td></tr> <tr><td>L1</td><td>SITE PLAN</td></tr> <tr><td>L2</td><td>GRADING PLAN</td></tr> <tr><td>L3</td><td>LANDSCAPE PLAN</td></tr> <tr><td>A-0</td><td>CONSTRUCTION MANAGEMENT PLAN</td></tr> <tr><td>A-1</td><td>GARAGE 1 - FLOOR PLAN/SECTIONS/EXTERIOR PERSPECTIVE</td></tr> <tr><td>A-2</td><td>GARAGE 1 - EXTERIOR ELEVATIONS</td></tr> <tr><td>A-3</td><td>GARAGE 2 - FLOOR PLAN/EXTERIOR PERSPECTIVE</td></tr> <tr><td>A-4</td><td>GARAGE 2 - EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5</td><td>GARAGE 2 - EXTERIOR ELEVATIONS/SECTIONS</td></tr> <tr><td>A-6</td><td>GARAGE 3 - FLOOR PLAN/EXTERIOR PERSPECTIVE</td></tr> <tr><td>A-7</td><td>GARAGE 3 - EXTERIOR ELEVATIONS</td></tr> <tr><td>A-8</td><td>GARAGE 3 - EXTERIOR ELEVATIONS/SECTIONS</td></tr> <tr><td>A-9</td><td>MATERIAL BOARD</td></tr> </table>	CS	COVER SHEET	C1	PRELIMINARY PLAT	EC	EXISTING SITE CONDITIONS	L1	SITE PLAN	L2	GRADING PLAN	L3	LANDSCAPE PLAN	A-0	CONSTRUCTION MANAGEMENT PLAN	A-1	GARAGE 1 - FLOOR PLAN/SECTIONS/EXTERIOR PERSPECTIVE	A-2	GARAGE 1 - EXTERIOR ELEVATIONS	A-3	GARAGE 2 - FLOOR PLAN/EXTERIOR PERSPECTIVE	A-4	GARAGE 2 - EXTERIOR ELEVATIONS	A-5	GARAGE 2 - EXTERIOR ELEVATIONS/SECTIONS	A-6	GARAGE 3 - FLOOR PLAN/EXTERIOR PERSPECTIVE	A-7	GARAGE 3 - EXTERIOR ELEVATIONS	A-8	GARAGE 3 - EXTERIOR ELEVATIONS/SECTIONS	A-9	MATERIAL BOARD				
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<p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p><b>OCCUPANCY</b> : U</p> <p><b>CONSTRUCTION TYPE</b> : II-B UNPROTECTED WOOD FRAME</p> <table style="width: 100%;"> <tr> <th colspan="2">GARAGE 1</th> <th>SPACES</th> <th>AREA</th> </tr> <tr> <td>CARPURT</td> <td>2</td> <td></td> <td>611 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>2</td> <td></td> <td>627 #</td> </tr> <tr> <th colspan="2">GARAGE 2</th> <th>SPACES</th> <th>AREA</th> </tr> <tr> <td>CARPURT</td> <td>6</td> <td></td> <td>1,760 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>3</td> <td></td> <td>912 #</td> </tr> <tr> <th colspan="2">GARAGE 3</th> <th>SPACES</th> <th>AREA</th> </tr> <tr> <td>CARPURT</td> <td>6</td> <td></td> <td>1,792 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>1</td> <td></td> <td>320 #</td> </tr> </table> <p><b>EXISTING FAR</b> : (E) GROSS FA 30,870 SQ FT / LOT AREA 114,450 SQ FT = .27 FAR</p> <p><b>PROPOSED FAR</b> : (N) GROSS FA 36,887 SQ FT / LOT AREA 114,450 SQ FT = .32 FAR</p> <p><b>LOT COVERAGE</b> : 21.5% (EXISTING), 27% (NEW)</p> <p><b>OPEN SPACE AREA</b> : 78.5% (EXISTING), 73% (NEW)</p> <p><b>PROPERTY AREA</b> : ± 2.63 ACRE (± 114,450 SQ FT)</p> <p><b>BUILDING CODE</b> : 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p><b>ZONING</b> : T</p> <p><b>PHYSICAL ADDRESS</b> : 127 SADDLE ROAD</p> <p><b>LEGAL DESCRIPTION</b> : BIGWOOD #3 COMMON AREA</p> <p><b>PARCEL NUMBER</b> : RPK07150000000</p> <p>CITY OF KETCHUM BUILDING DEPARTMENT. CITY OF KETCHUM FIRE DEPARTMENT</p>	GARAGE 1		SPACES	AREA	CARPURT	2		611 #	ENCLOSED GARAGE	2		627 #	GARAGE 2		SPACES	AREA	CARPURT	6		1,760 #	ENCLOSED GARAGE	3		912 #	GARAGE 3		SPACES	AREA	CARPURT	6		1,792 #	ENCLOSED GARAGE	1		320 #	<p style="text-align: center;"><b>SITE</b></p>	<p style="text-align: center;"><b>NEIGHBORHOOD MAP</b></p> <p style="text-align: center;"><b>PROJECT LOCATION</b></p>
GARAGE 1		SPACES	AREA																																				
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<p><b>DESIGN REVIEW SET - UPDATED</b> <b>NOT FOR CONSTRUCTION</b></p>																																							
<p><b>CS</b></p>																																							

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
UPSI/REGEC  
P.O. Box 4424  
Ketchum, Idaho 83340  
Tel: 208-720-1925  
Email: info@blincoearchitecture.com

LICENSED ARCHITECT  
AR 984802  
  
CHAD E. BLINCOE  
STATE OF IDAHO

## BIGWOOD III GARAGES

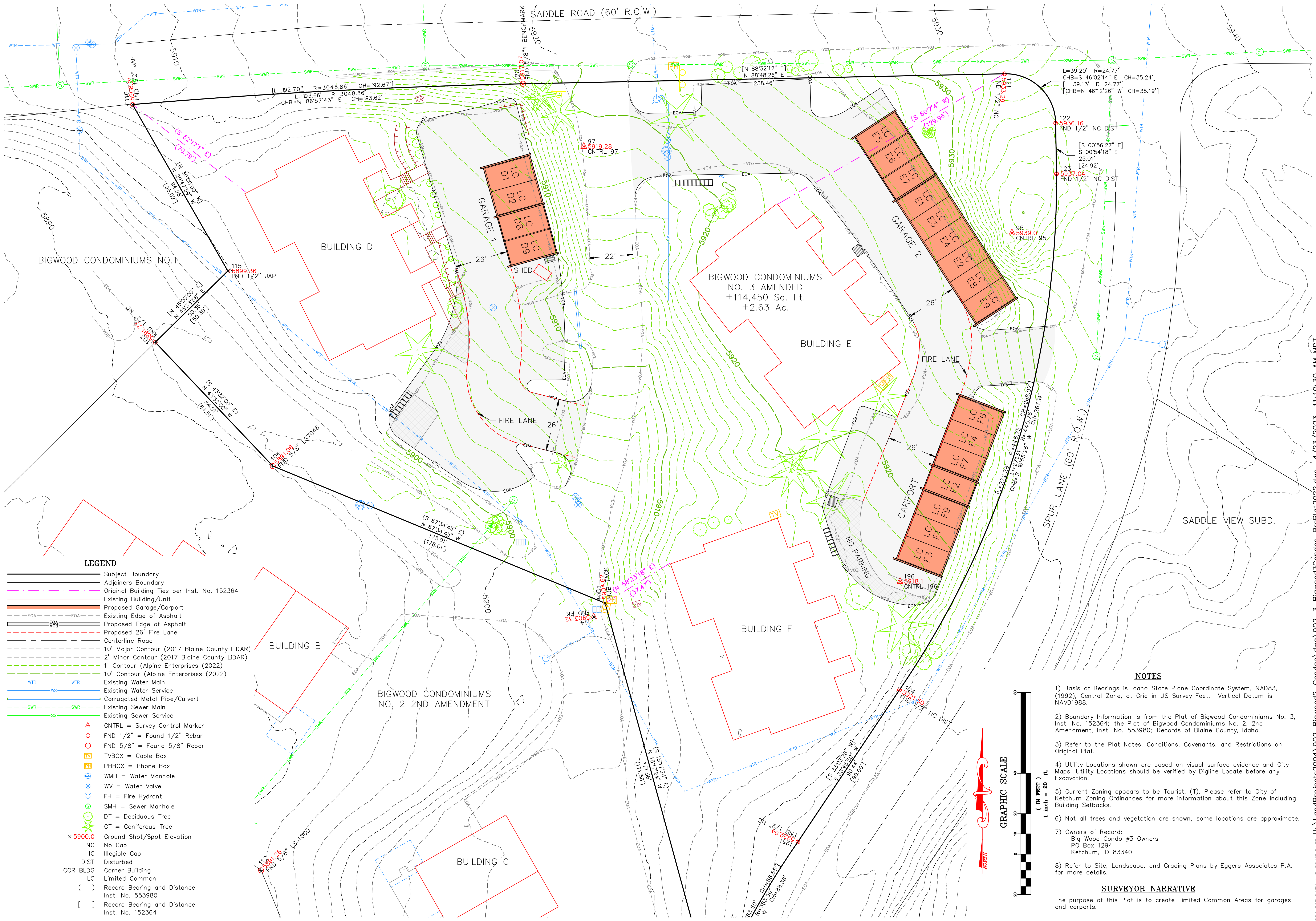
BIGWOOD CONDOMINIUM III  
127 SADDLE RD, KETCHUM ID 83340

JOB #:	01121
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	

**CS**

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



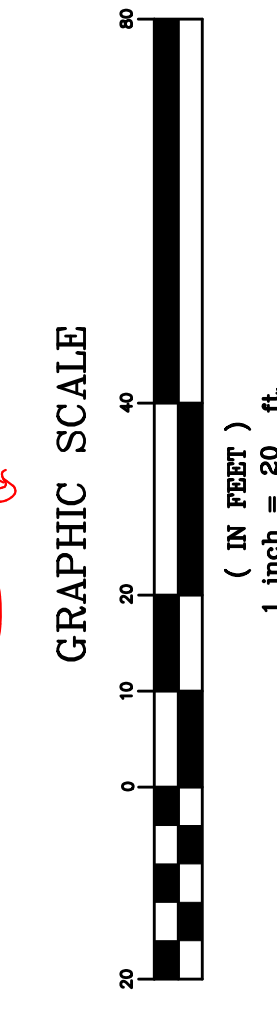


**LEGEND**

- Subject Boundary
- Adjoiners Boundary
- Original Building Ties per Inst. No. 152364
- Existing Building/Unit
- Proposed Garage/Carport
- Existing Edge of Asphalt
- Proposed Edge of Asphalt
- Proposed 26' Fire Lane
- Centerline Road
- 10' Major Contour (2017 Blaine County LIDAR)
- 2' Minor Contour (2017 Blaine County LIDAR)
- 1' Contour (Alpine Enterprises (2022))
- 10' Contour (Alpine Enterprises (2022))
- Existing Water Main
- Existing Water Service
- Corrugated Metal Pipe/Culvert
- Existing Sewer Main
- Existing Sewer Service
- ▲ CNTRL = Survey Control Marker
- FND 1/2" = Found 1/2" Rebar
- FND 5/8" = Found 5/8" Rebar
- TV TVBOX = Cable Box
- PH PHBOX = Phone Box
- WMH WMH = Water Manhole
- WV WV = Water Valve
- FH FH = Fire Hydrant
- SMH SMH = Sewer Manhole
- DT DT = Deciduous Tree
- CT CT = Coniferous Tree
- x 5900.0 Ground Shot/Spot Elevation
- NC No Cap
- IC Illegible Cap
- DIST Disturbed
- COR BLDG Corner Building
- LC Limited Common
- ( ) Record Bearing and Distance  
Inst. No. 553980
- [ ] Record Bearing and Distance  
Inst. No. 152364

**NOTES**

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, (1992), Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Bigwood Condominiums No. 3, Inst. No. 152364; the Plat of Bigwood Condominiums No. 2, 2nd Amendment, Inst. No. 553980; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- 4) Utility Locations shown are based on visual surface evidence and City Maps. Utility Locations should be verified by Digline Locate before any Excavation.
- 5) Current Zoning appears to be Tourist, (T). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone including Building Setbacks.
- 6) Not all trees and vegetation are shown, some locations are approximate.
- 7) Owners of Record:  
Big Wood Condo #3 Owners  
PO Box 1294  
Ketchum, ID 83340
- 8) Refer to Site, Landscape, and Grading Plans by Eggers Associates P.A. for more details.



**SURVEYOR NARRATIVE**

The purpose of this Plat is to create Limited Common Areas for garages and carports.

PROJECT PATH AND PRINT DATE: U:\LandProjects2004\902\_Bigwood2\_Condos\_PrePlat2022.dwg 4/23/2023 11:10:30 AM MDT

A PRELIMINARY PLAT SHOWING  
**BIGWOOD CONDOMINIUMS NO. 3 AMENDED**  
 WITHIN S.7, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR BIG WOOD CONDO OWNERS NO. 3

**Alpine Enterprises Inc.**  
 Surveying, Mapping, Civil Engineering,  
 and Natural Hazards Consulting  
 660 Bell Dr., Unit 1  
 P.O. Box 2037, Ketchum, ID 83340 USA  
 (208) 722-1968  
 email: alpine@alpineenterprisesinc.com

REVISIONS	NO	DATE	BY
UPDATED PROPOSED EOA & FIRE LANE	1	02MAR23	BRS
REVISED	2	26APR23	AHN

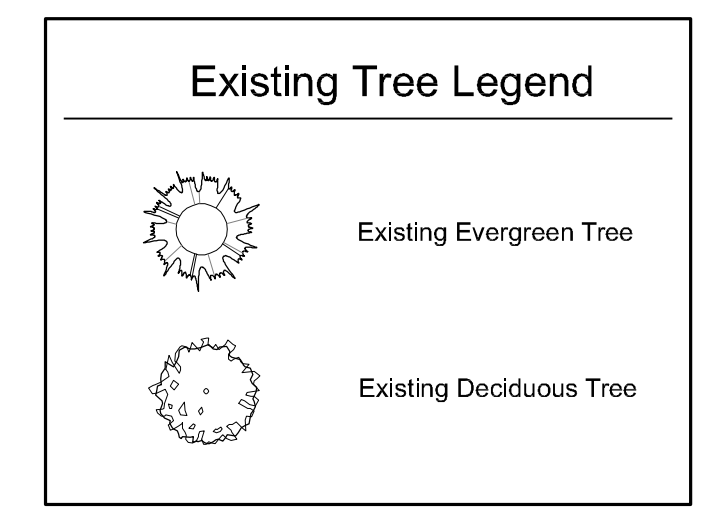
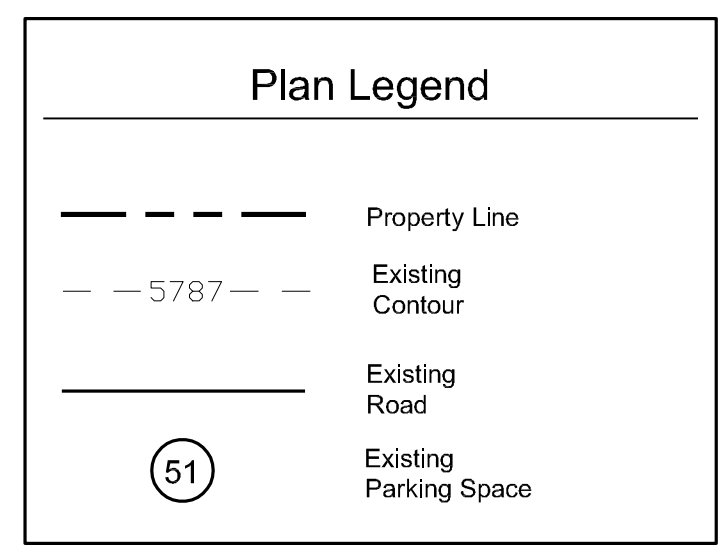
SHEET 1 OF 1





**General Notes**

1. Base map information taken from survey by Patterson & Puchner Engineers dated 11/20/73, Benchmark Associates 07/07/16, Alpine Enterprises 03/03/23 and from on-site information. Architectural information provided by Blincoe Architecture dated 01/25/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.



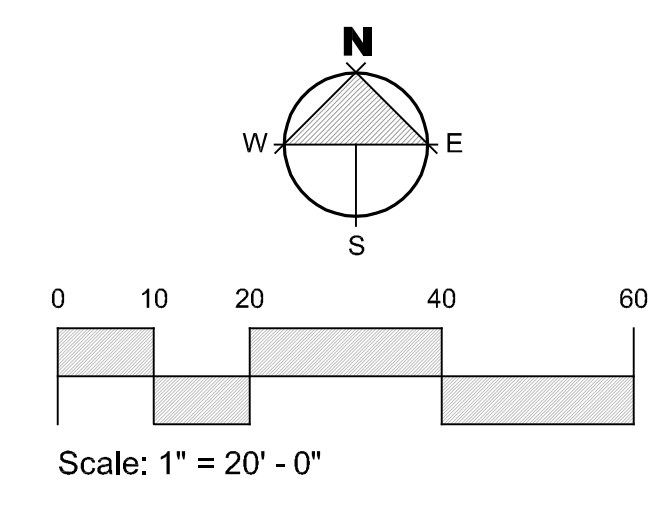
**Existing Parking**

(51) = Existing Parking Space

Total Number Of Existing Spaces = 51

**Proposed Parking**

Garages: (G1)	6
Carpools: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



**Bigwood Condos #3**

EGGERS ASSOCIATES, P.A.  
landscape architecture

T: (208) 725-0988  
F: (208) 725-0972

P.O. Box 955  
Ketchum, ID 83340

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

Job No: 20.41

Scale: 1" = 20' - 0"

Issue/Revisions: Date:

Design Review	03/15/21
RVSD	05/20/21
RVSD	11/08/22
RVSD	02/14/23
RVSD	04/24/23

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:  
**Existing Conditions**

Sheet No:  
**EC**



General Notes

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Plan Legend

- Property Line
- Minimum Setback
- Existing Edge Of Pavement
- Road
- Fire Lane
- No Parking Zone
- Drystack Retaining Wall

Building Coverage

Existing Buildings:	24,687 Sq. Ft
Proposed Buildings:	5,760 Sq. Ft
Total Lot Coverage:	30,447 Sq. Ft
Lot Area:	114,528 Sq. Ft
Percent Coverage:	27%

Snow Storage

Parking Area Linear Feet:	836 Ft.
	/ 55
	X 150
Required Snow Storage:	2,280 Sq. Ft
Proposed Snow Storage:	16,500 Sq. Ft

Bike Racks

One Rack For Two Bikes  
Per Four Parking Spaces

Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes

Parking Requirements

Minimum Size:	9' x 18'
ADA Size:	9' x 18' - With 60" Access Aisle
Unit Size:	Required Parking
< 750 Sq. Ft	0
750-2,000 Sq. Ft	1
> 2,001 Sq. Ft	2

Units

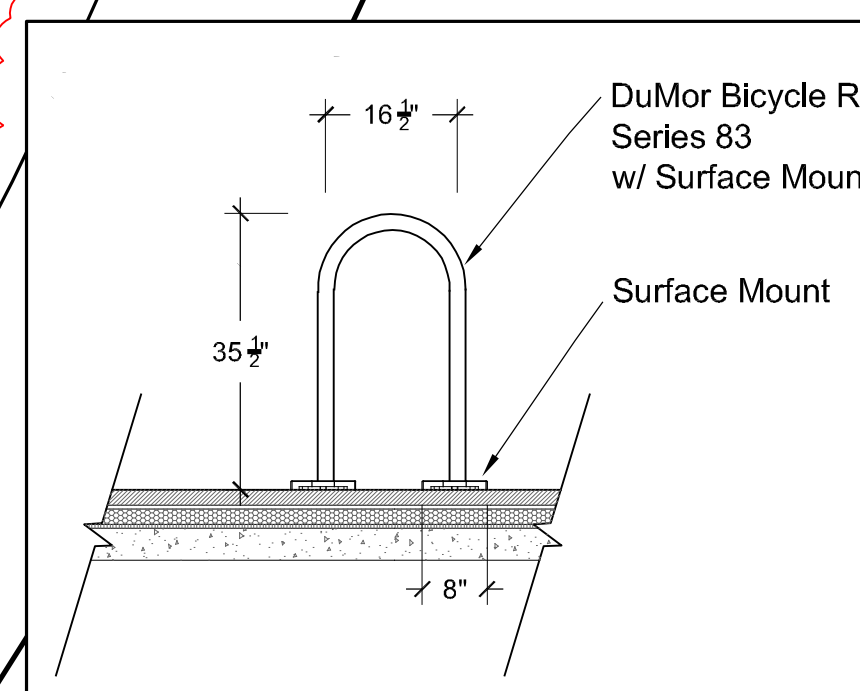
Unit #	Sq. Ft	Required Parking
1	855	1
2	1,312	1
3	1,312	1
4	1,057	1
5	1,211	1
6	1,312	1
7	1,057	1
8	855	1
9	1,312	1
<b>Total Units</b>		<b>Total Required Parking</b>
27		27

NOTE:

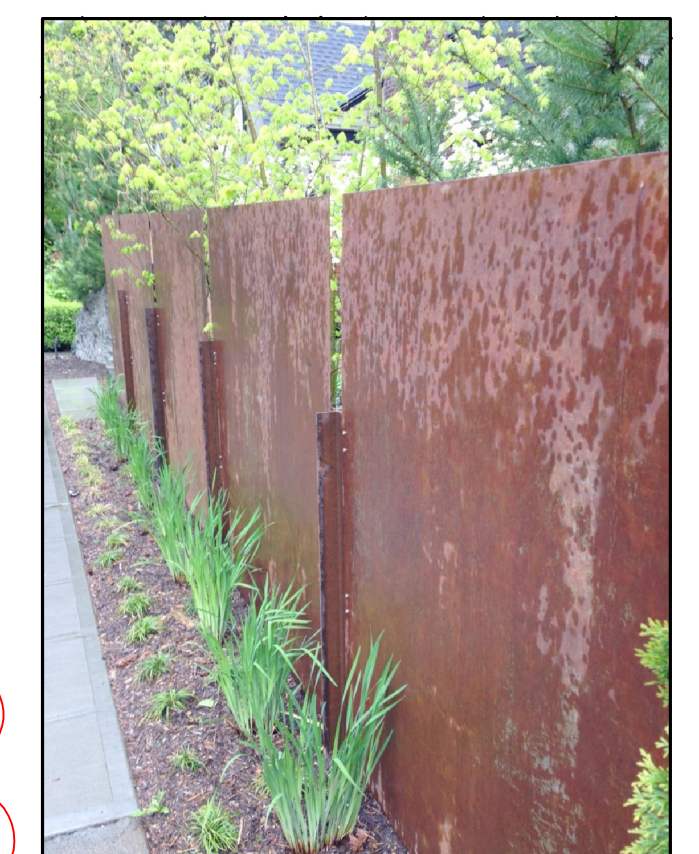
All Parking To Be Minimum 9' x 18'

Proposed Parking

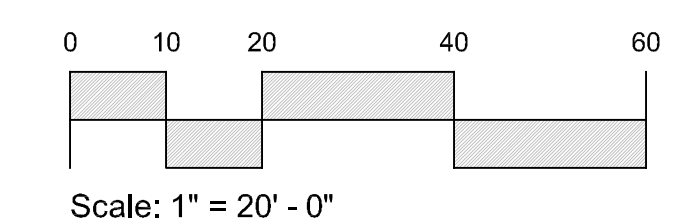
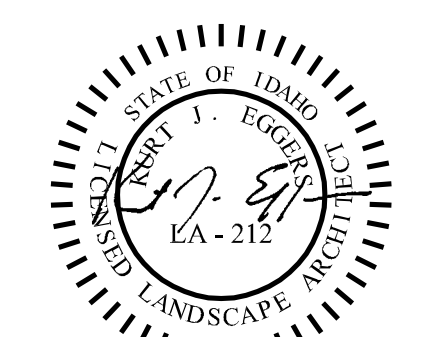
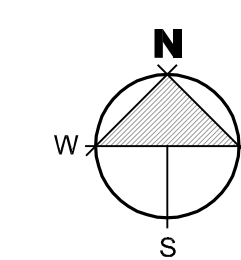
Garages: (G1)	6
Carports: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



Bike Rack Detail



Screening Fence

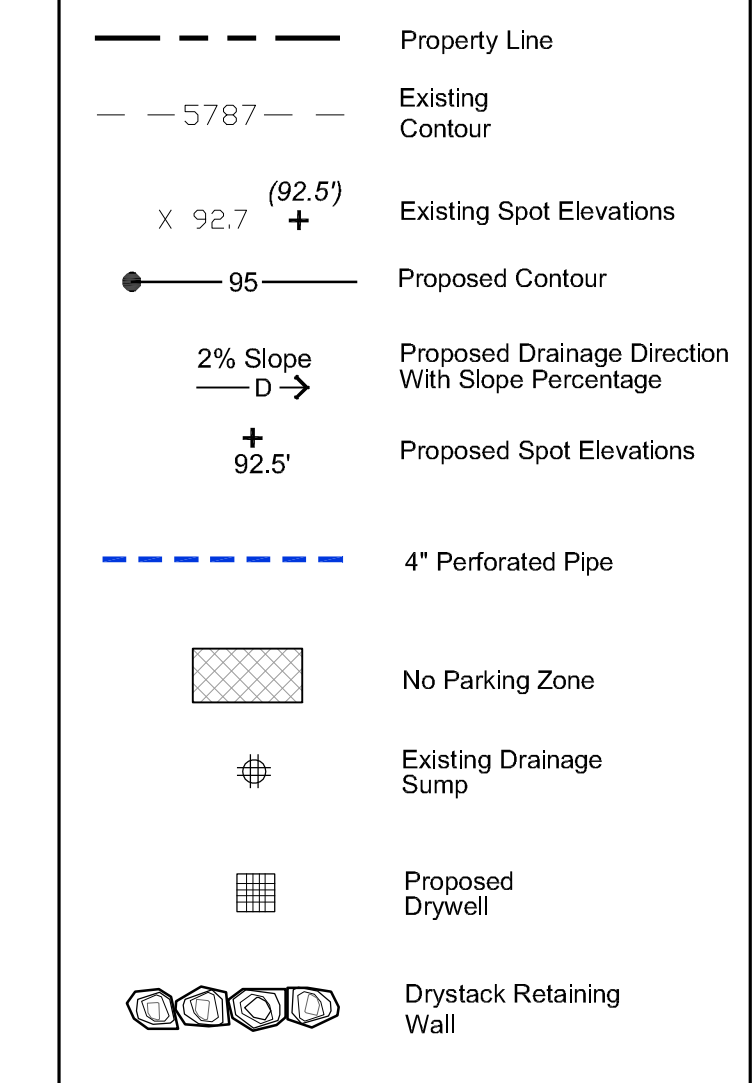




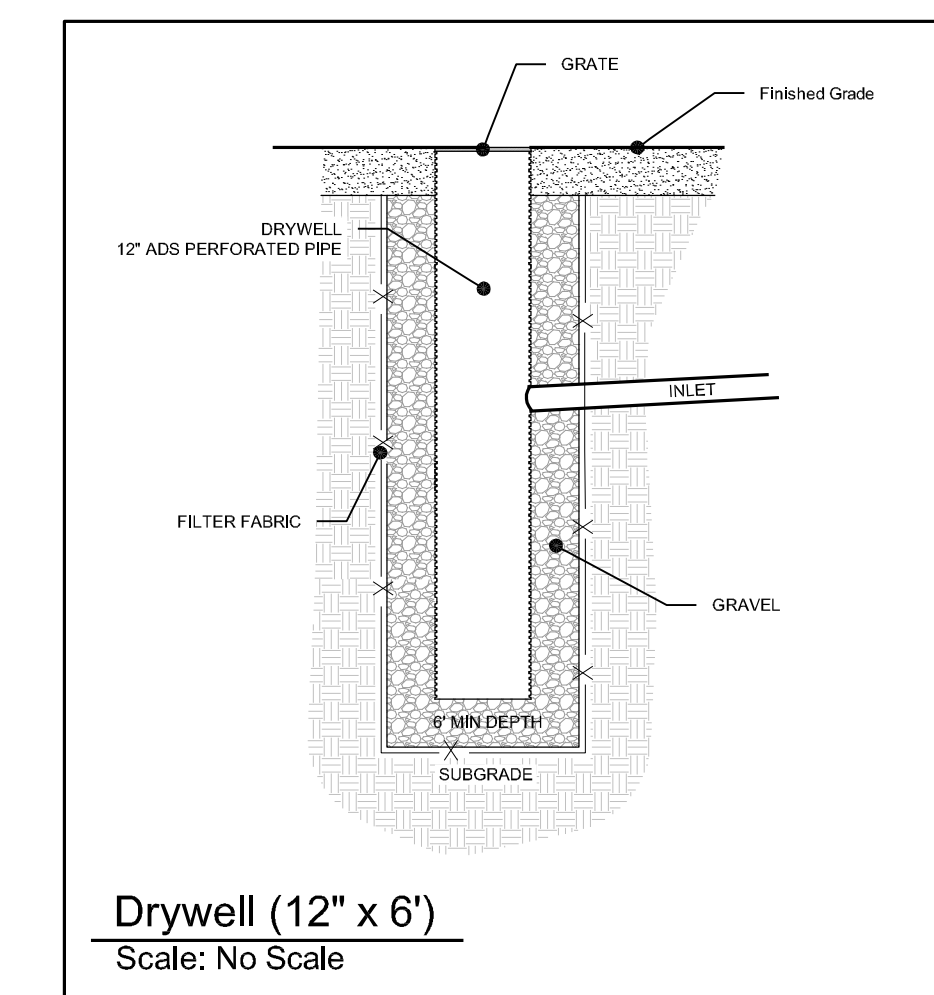
General Notes

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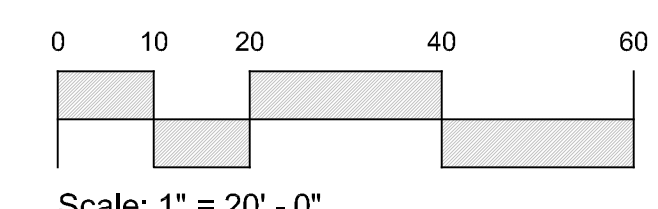
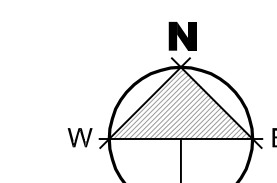
Plan Legend



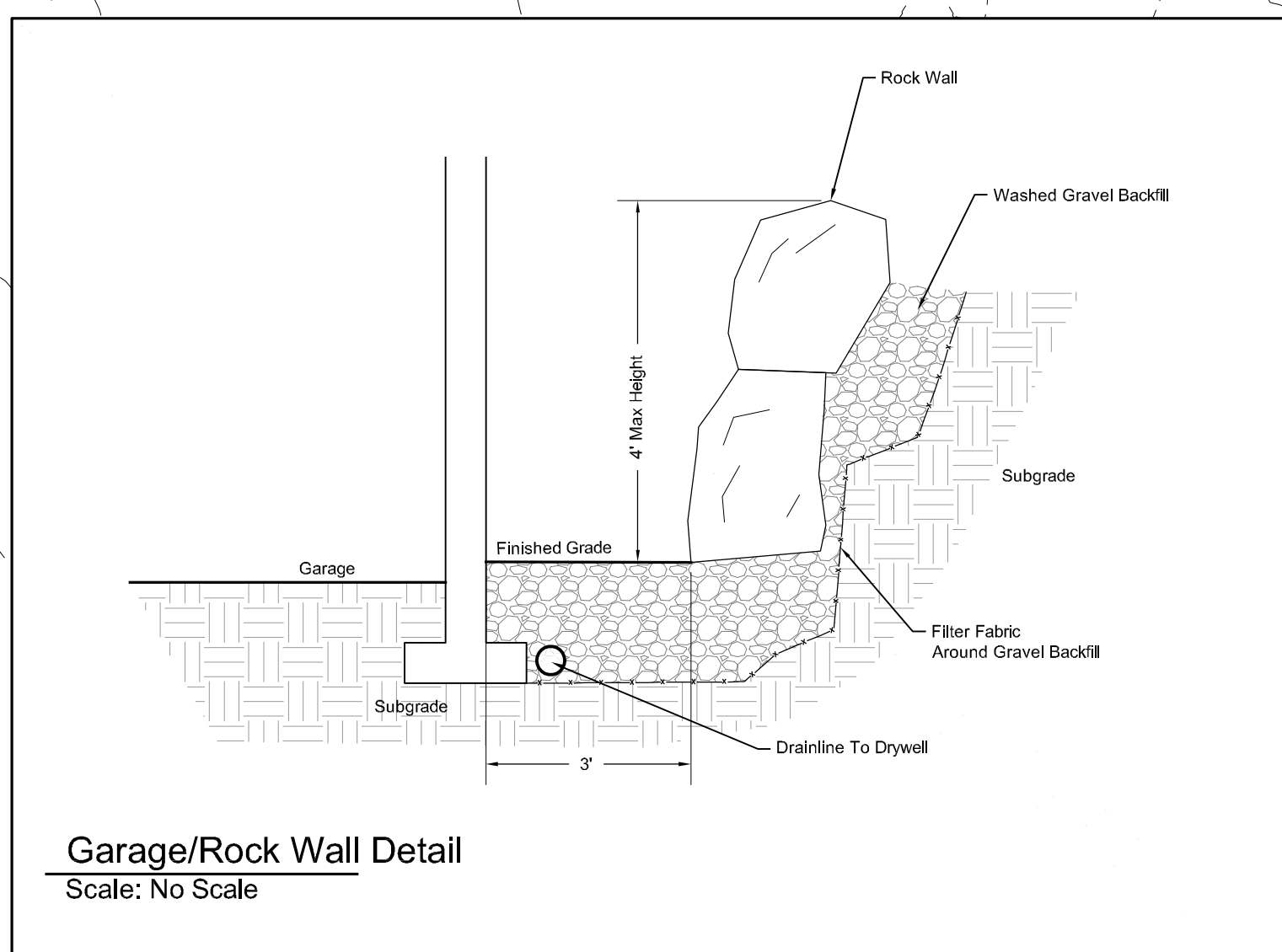
NOTE:  
Existing Drainage Patterns  
And Infrastructure To  
Remain Undisturbed



Drywell (12" x 6")  
Scale: No Scale

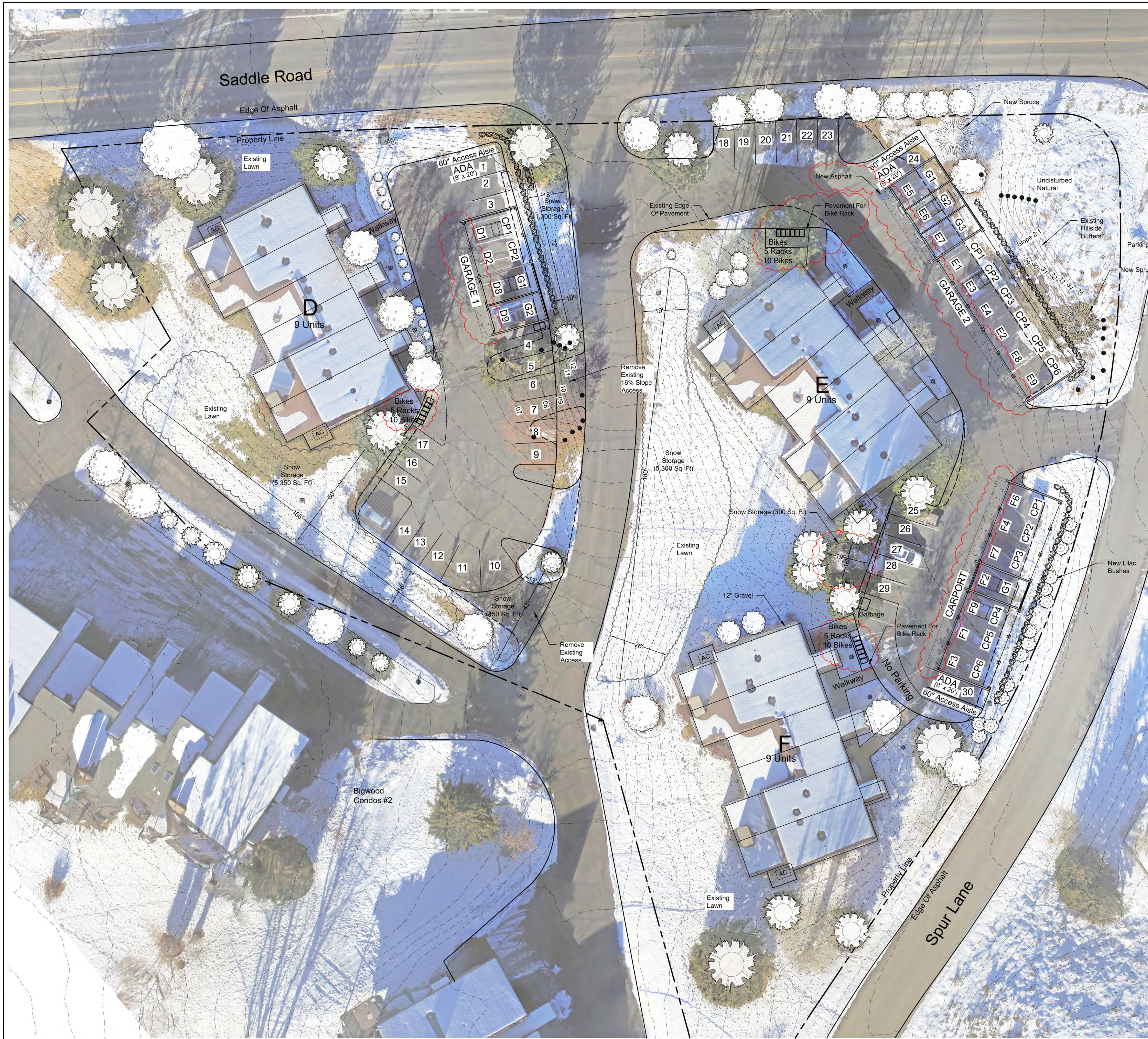


Scale: 1" = 20' - 0"



Garage/Rock Wall Detail  
Scale: No Scale





**General Notes**

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**Plan Legend**

- Property Line
- Existing Contour
- No Parking Zone
- Gravel
- New Asphalt
- Existing Drainage Sump
- Proposed Drywell
- Drystack Retaining Wall

**Existing Plant Legend**

- Existing Evergreen Tree
- Existing Deciduous Tree
- Existing Lawn
- Existing Natural Grass

**Plant Legend**

- Proposed Spruce (2)
- Proposed Lilac (14)

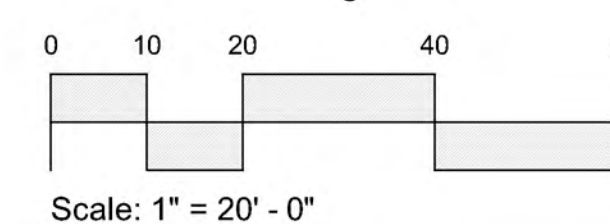
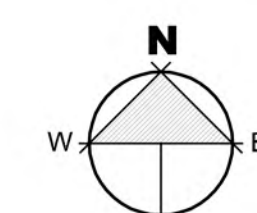
**NOTE: All Proposed Plant Species Are Drought Tolerant**

**Snow Storage**

Parking Area Linear Feet:	836 Ft.
	/ 55 = 15.2
	X 150
Required Snow Storage:	2,280 Sq. Ft.
Proposed Snow Storage:	12,700 Sq. Ft.

**Landscape Notes:**

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.



Scale: 1" = 20' - 0"



Aerial Photo: UAV Flight 12/03/20

Bigwood  
Condos #3

EGGERS ASSOCIATES, P.A.  
landscape architecture

T: (208) 725-0988  
F: (208) 725-0972  
P.O. Box 975  
Ketchum, ID. 83340

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

Job No: 20.41

Scale: 1" = 20' - 0"

Issue/Revisions: Date:

Design Review 03/15/21

RVSD 05/20/21

RVSD 11/08/22

RVSD 02/14/23

RVSD 04/24/23

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:  
Landscape  
Plan

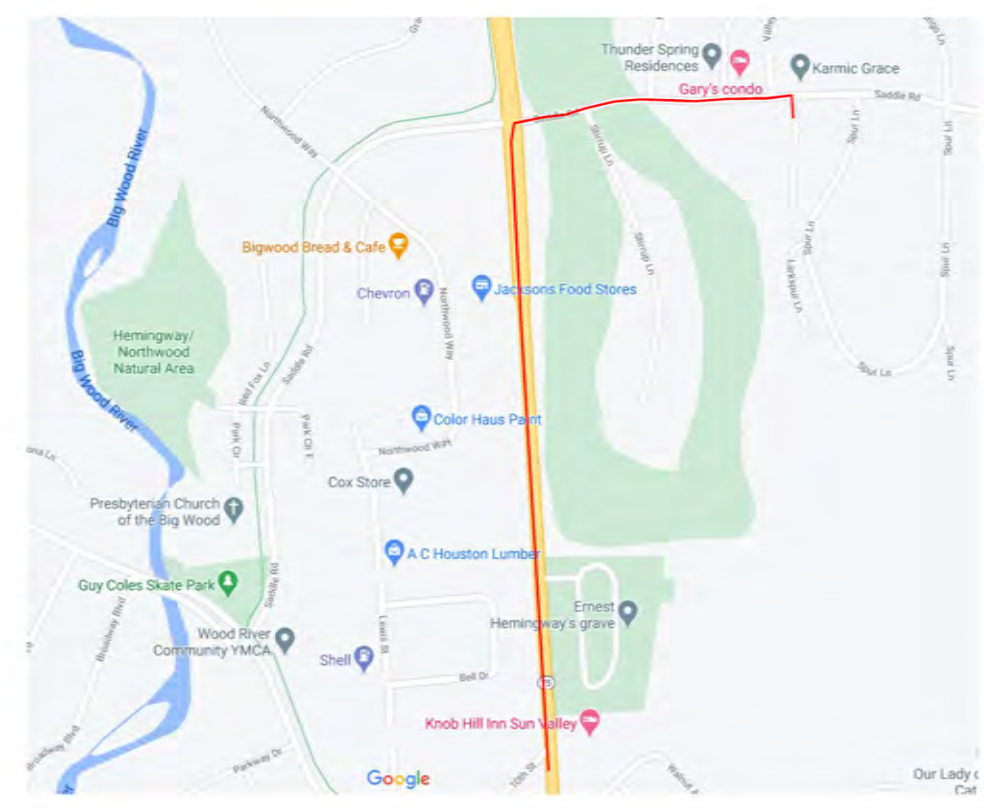
Sheet No:

L3





Bike Racks	
One Rack For Two Bikes Per Four Parking Spaces	
Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes



**TRUCK ROUTE**  
N76

**CONSTRUCTION MANAGEMENT**

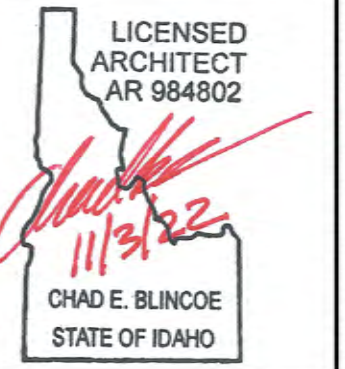
SCALE: 3/32" = 1'-0"

**DESIGN REVIEW SET**  
NOT FOR CONSTRUCTION

JOB #:	01120
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/4/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
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△	
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△	

**A0**

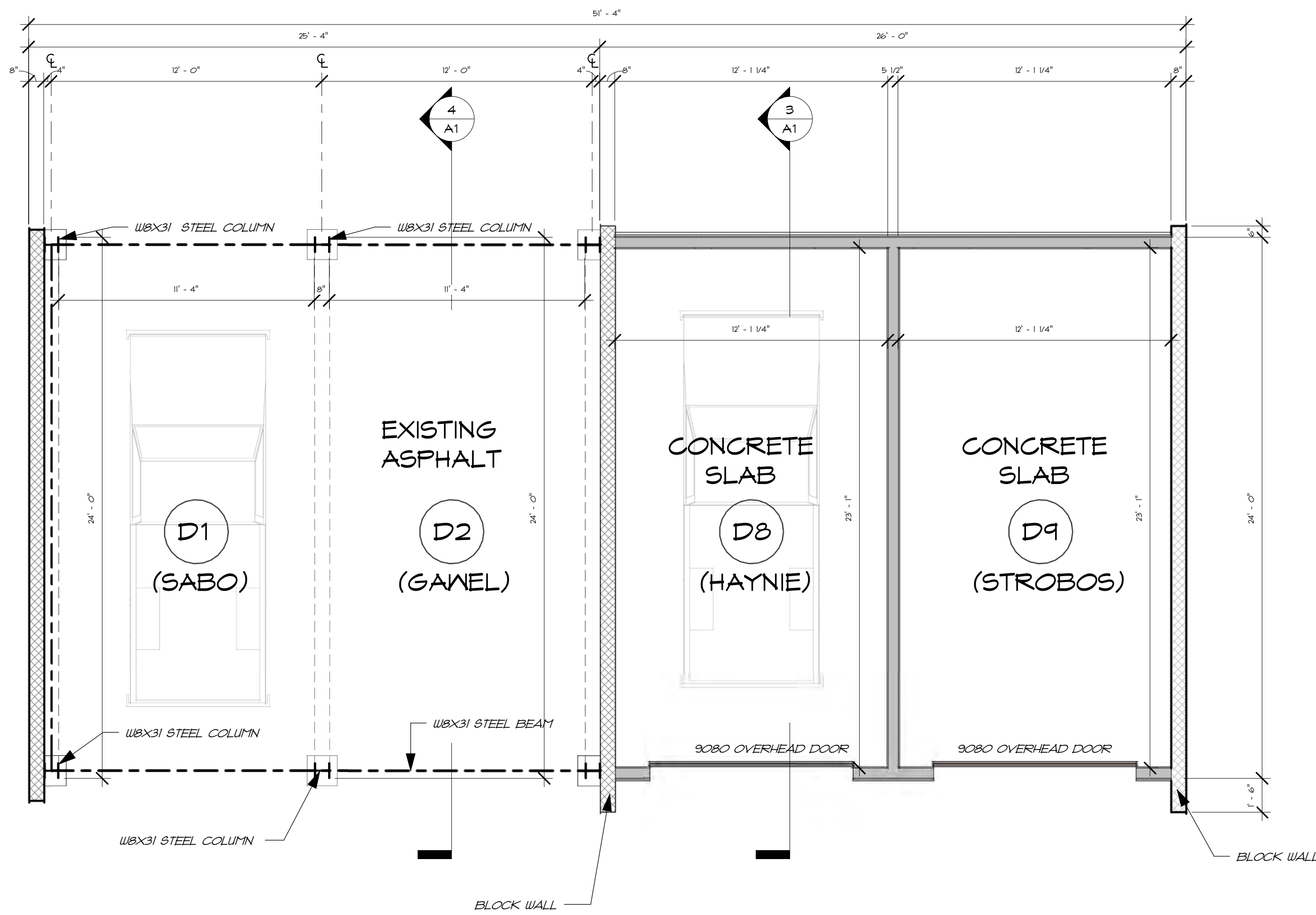
**BIGWOOD III GARAGES**  
BIGWOOD CONDOMINIUM III  
127 SADDLE RD, KETCHUM ID 83340



**Blincoe Architecture**  
www.BlincoeArchitecture.com  
URS/REF: 251 Northwood Way Suite E  
Ketchum, Idaho 83340  
Tel: 208/726-1325  
Email: info@blincoearchitecture.com

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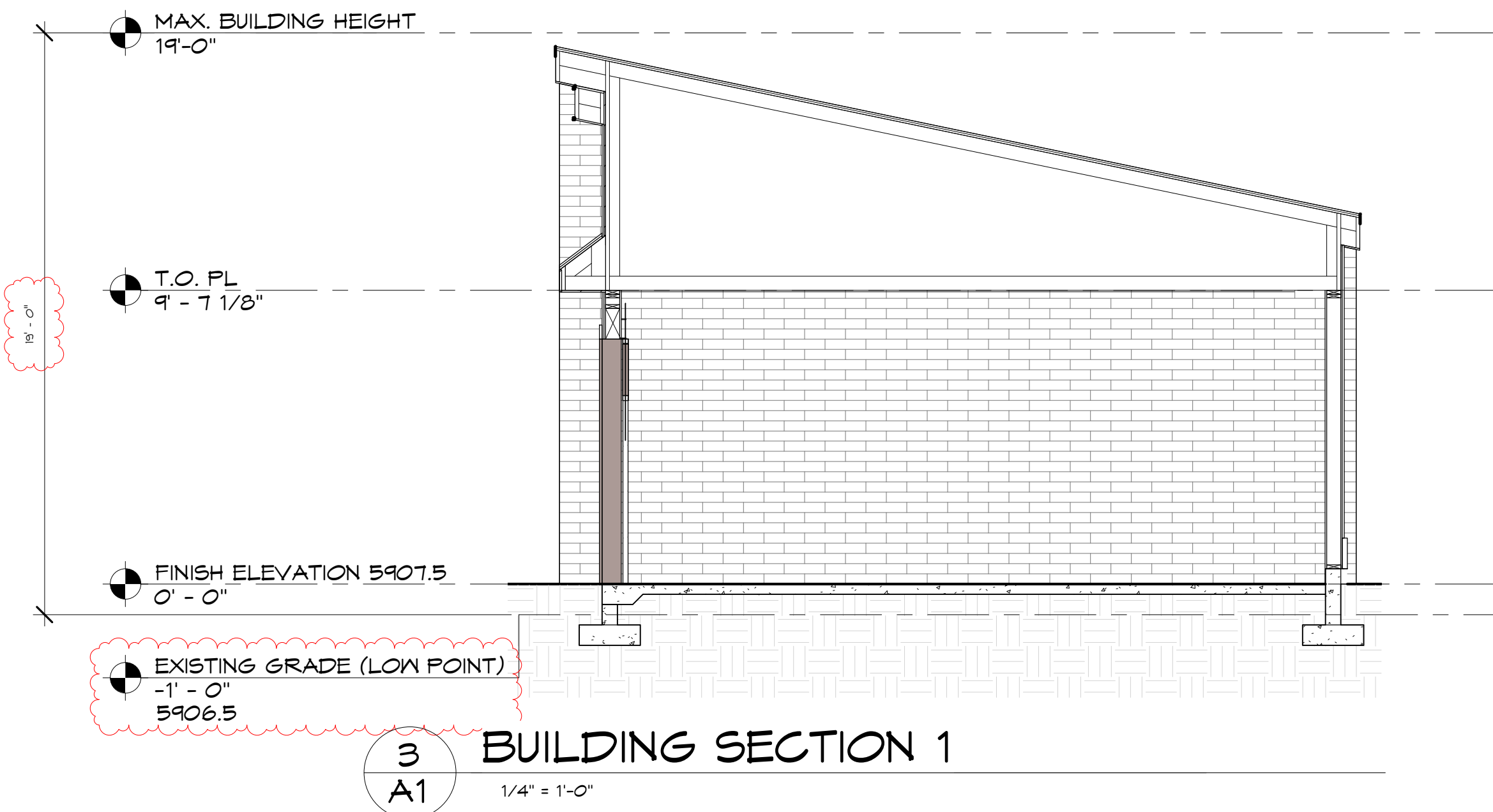


1 FLOOR PLAN  
A1 1/4" = 1'-0"

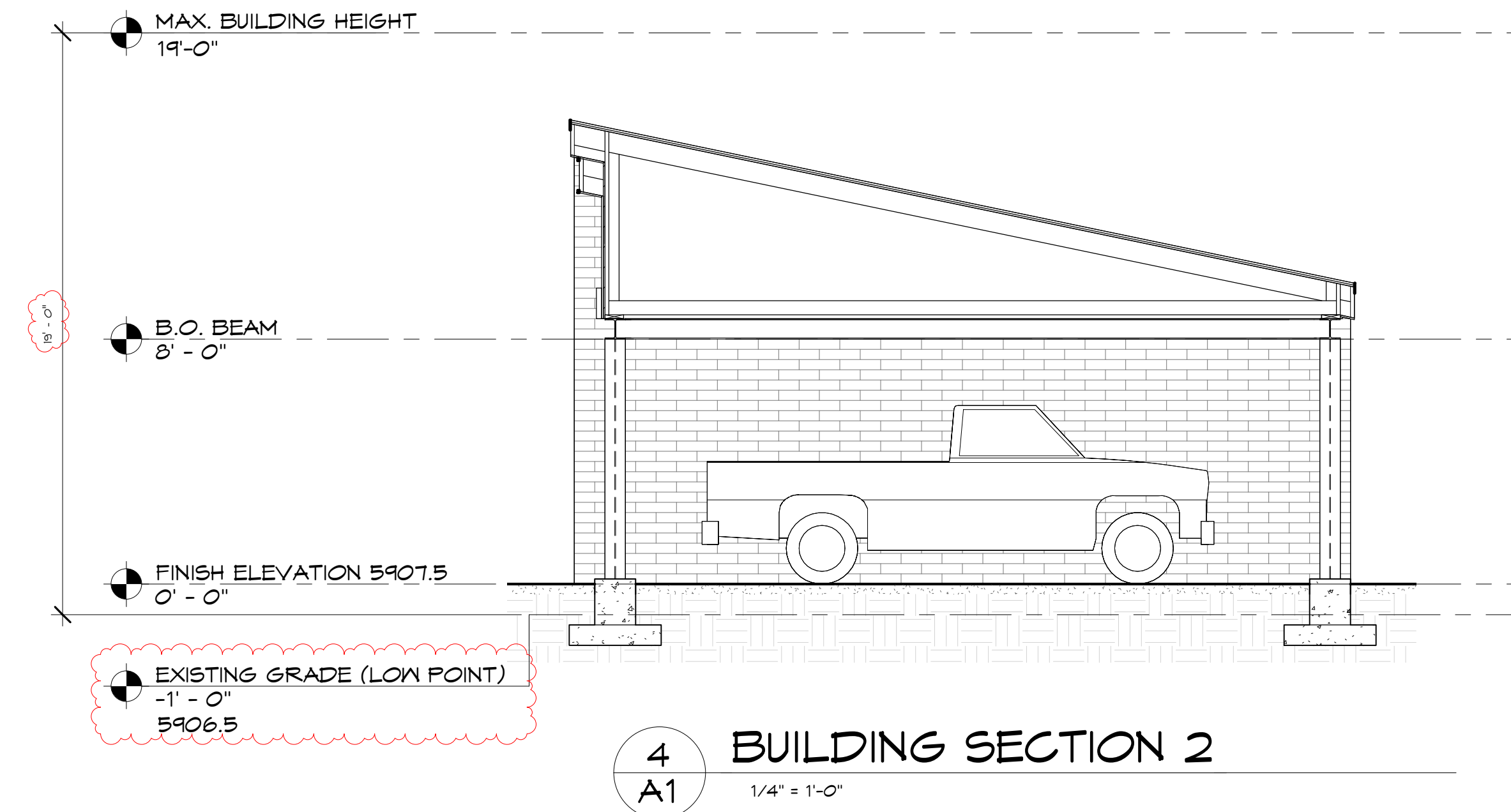


2 EXTERIOR PERSPECTIVE  
A1

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED



3 BUILDING SECTION 1  
A1 1/4" = 1'-0"



4 BUILDING SECTION 2  
A1 1/4" = 1'-0"

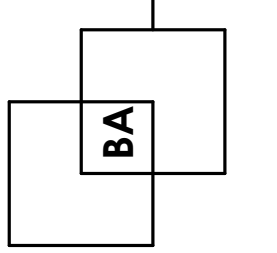
SQUARE FOOTAGE TABULATION:

CARPENT	611 SQ. FT.
ENCLOSED GARAGE	627 SQ. FT.
<b>TOTAL:</b>	<b>1,238 SQ. FT.</b>

# GARAGE 1

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**Blincoe Architecture**  
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P.O. Box 4424 Ketchum, Idaho 83340  
Tel: 208-720-1325  
info@BlincoeArchitecture.com



LICENSED ARCHITECT  
AR 984802  
CHAD E. BLINCOE  
STATE OF IDAHO

## BIGWOOD III GARAGES

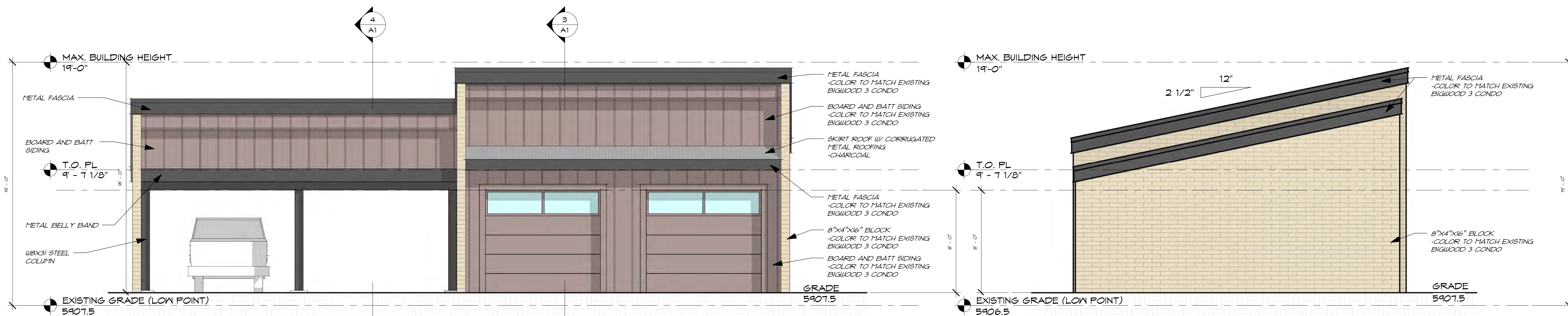
SADDLE ROAD  
KETCHUM, ID 83340

JOB #: 011.20  
PLOT DATE: 11/8/22  
DESIGN REVIEW: 11/8/22  
PERMIT:  
CONSTRUCTION:  
SUBMISSIONS/REVISIONS:  
DESIGN REVIEW SET 3/15/21  
DESIGN REVIEW SET UPDATED 11/3/21  
DESIGN REVIEW SET UPDATED 11/8/22  
DESIGN REVIEW SET UPDATED 3/21/23

A1

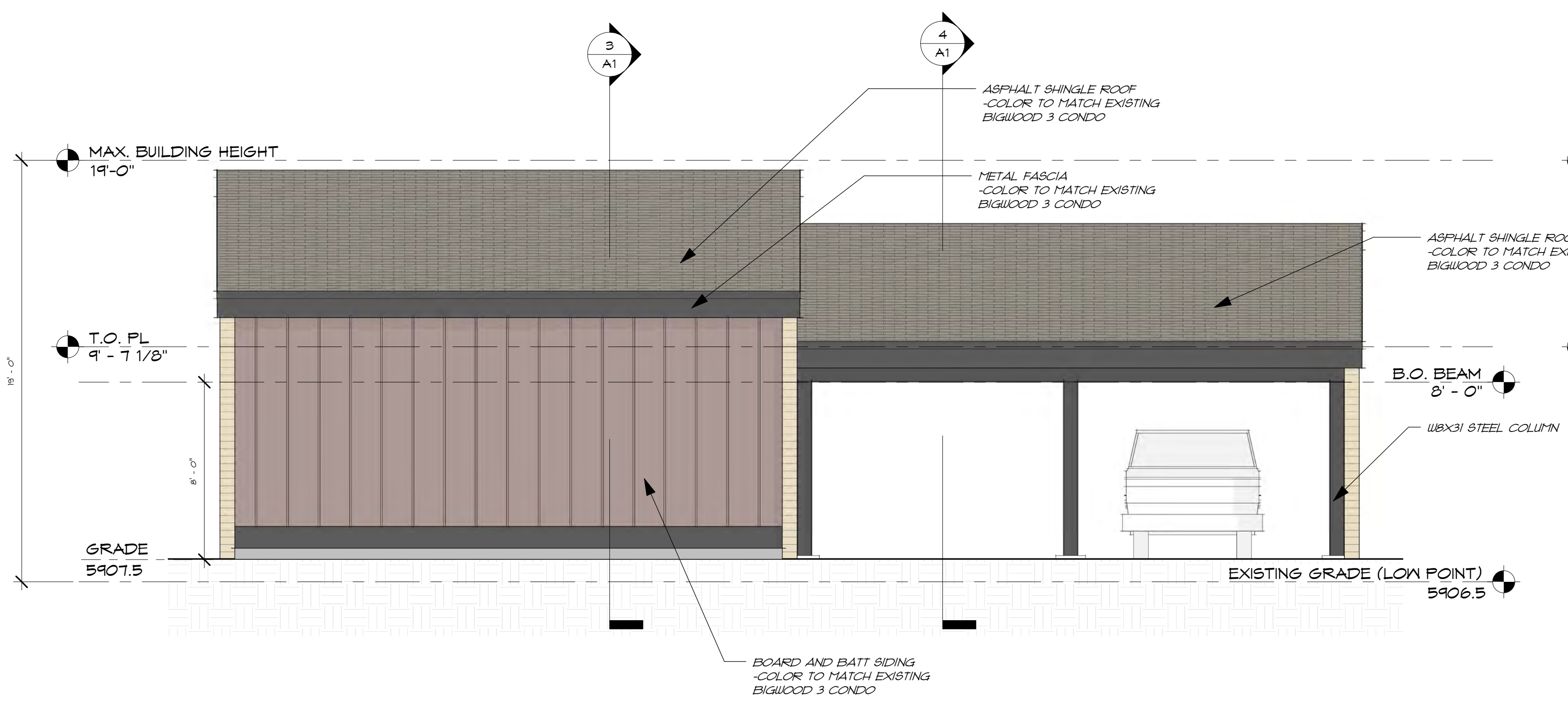
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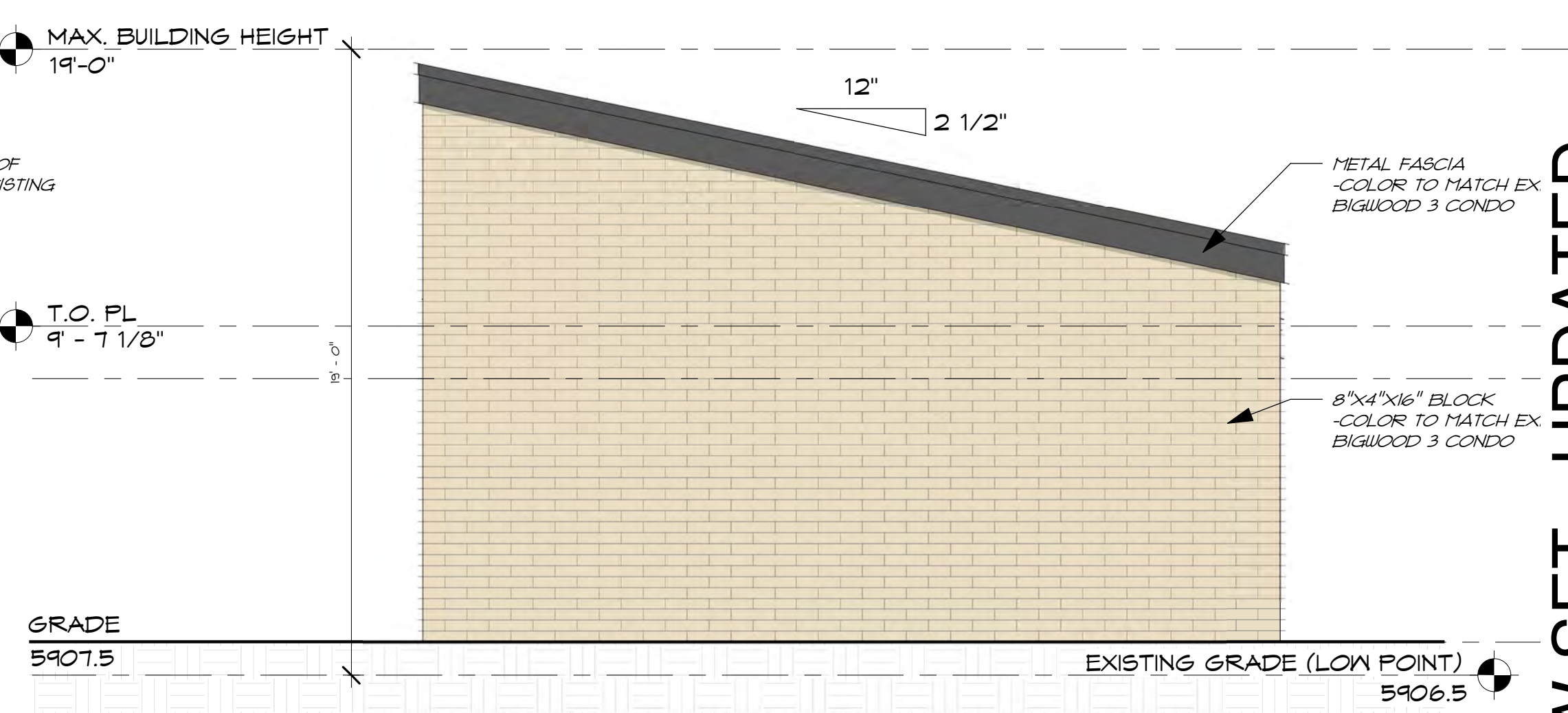


1 FRONT ELEVATION  
A2 1/4" = 1'-0"

2 LEFT SIDE ELEVATION  
A2 1/4" = 1'-0"



3 REAR ELEVATION  
A2 1/4" = 1'-0"

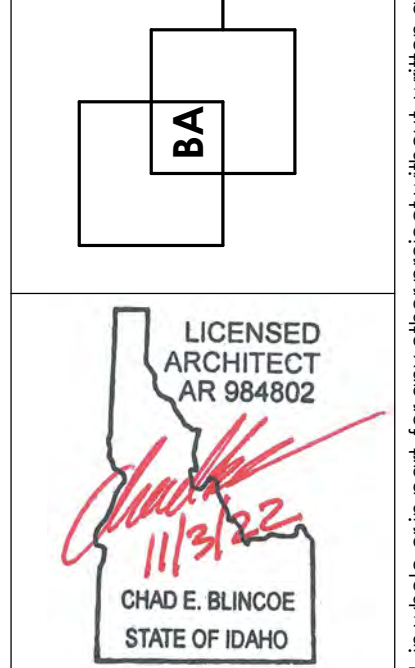


4 RIGHT SIDE ELEVATION  
A2 1/4" = 1'-0"

# GARAGE 1

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**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	11/8/22
DESIGN REVIEW:	11/8/22
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CONSTRUCTION:	
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DESIGN REVIEW SET	3/15/21
DESIGN REVIEW SET	UPDATED 11/3/21
DESIGN REVIEW SET	UPDATED 11/8/22
DESIGN REVIEW SET	UPDATED 3/21/23

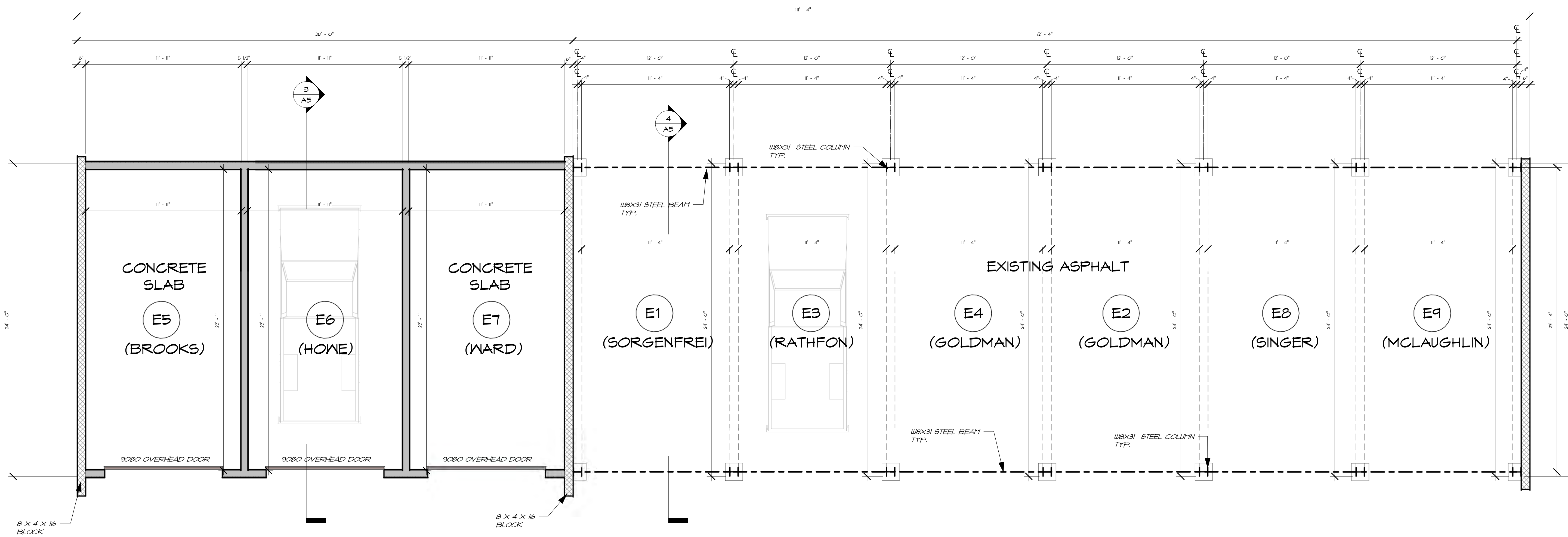
A2

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1 EXTERIOR PERSPECTIVE  
A3



2 FLOOR PLAN  
A3 1/4" = 1'-0"

**SQUARE FOOTAGE TABULATION:**

CARPORT	1,760 SQ. FT.
ENCLOSED GARAGE	912 SQ. FT.
<b>TOTAL:</b>	<b>2,672 SQ. FT.</b>

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

# GARAGE 2

**DESIGN REVIEW SET - UPDATED**  
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**Blincoe Architecture**  
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 Ketchum, Idaho 83340  
 Email: info@BlincoeArchitecture.com  
 Tel: 208-720-1325

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 AR 984802  
 CHAD E. BLINCOE  
 STATE OF IDAHO

## BIGWOOD III GARAGES

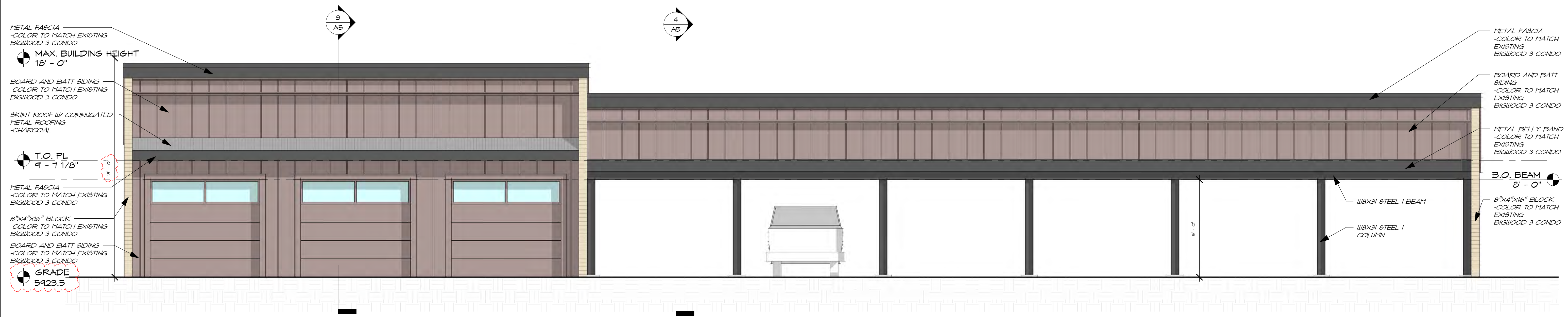
SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
DESIGN REVIEW SET	3/15/21
DESIGN REVIEW SET	UPDATED 11/3/21
DESIGN REVIEW SET	UPDATED 11/8/22
DESIGN REVIEW SET	UPDATED 3/21/23

**A3**

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1 FRONT ELEVATION  
1/4" = 1'-0"



3 REAR ELEVATION  
1/4" = 1'-0"

# GARAGE 2

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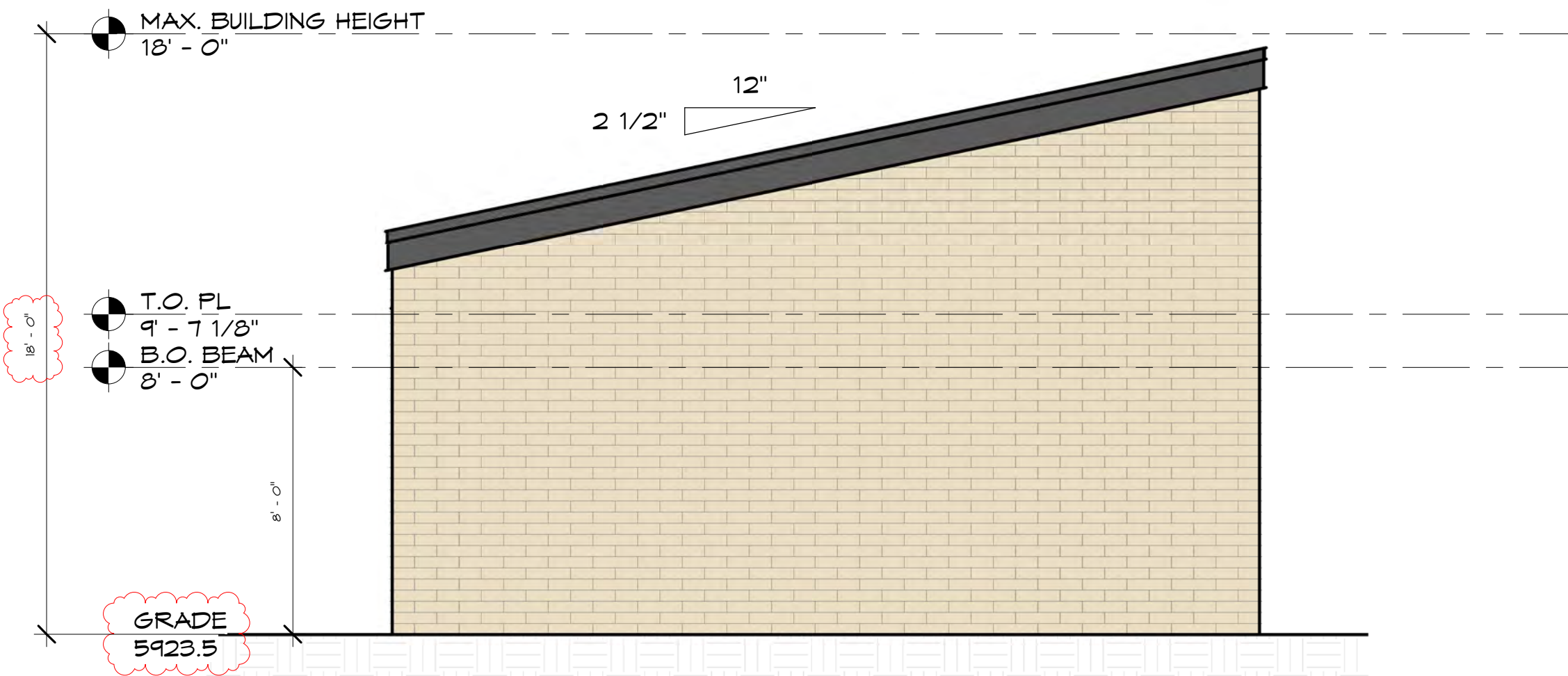
**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
DESIGN REVIEW SET	3/15/21
DESIGN REVIEW SET	UPDATED 11/3/21
DESIGN REVIEW SET	UPDATED 11/8/22
DESIGN REVIEW SET	UPDATED 3/21/23

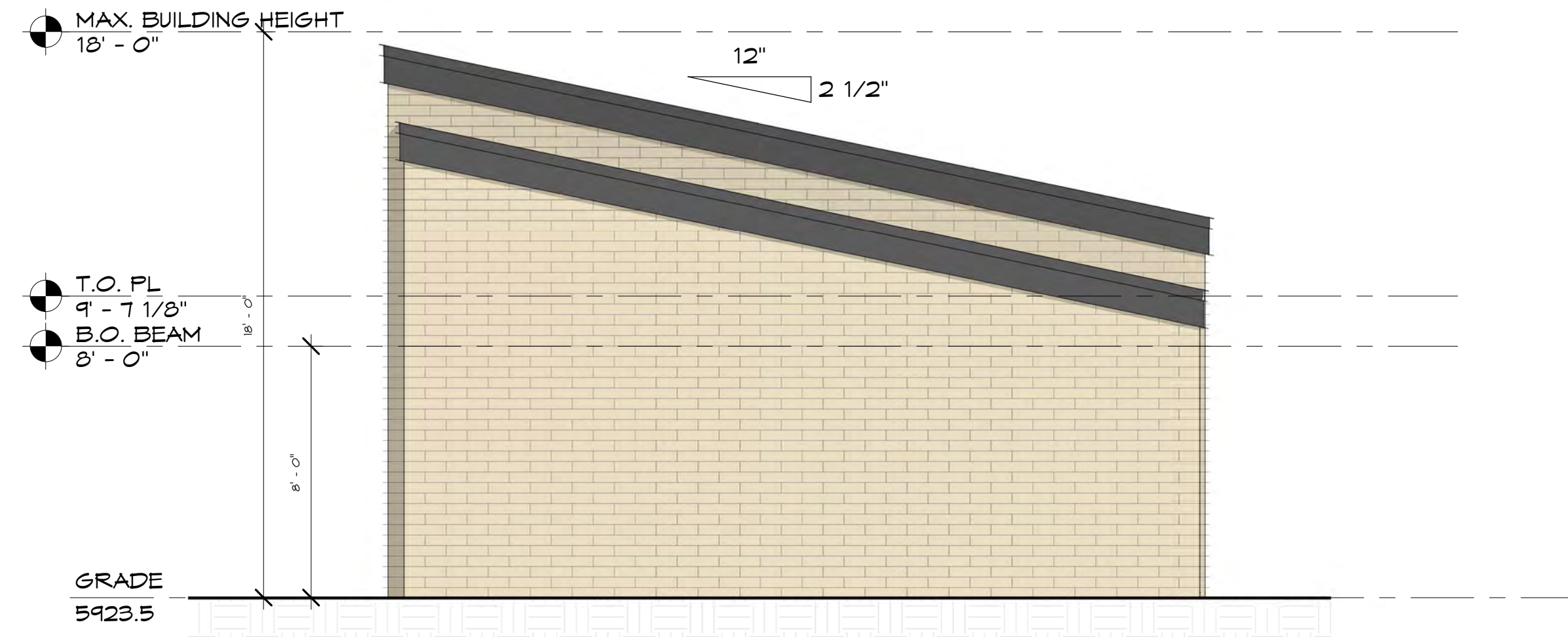
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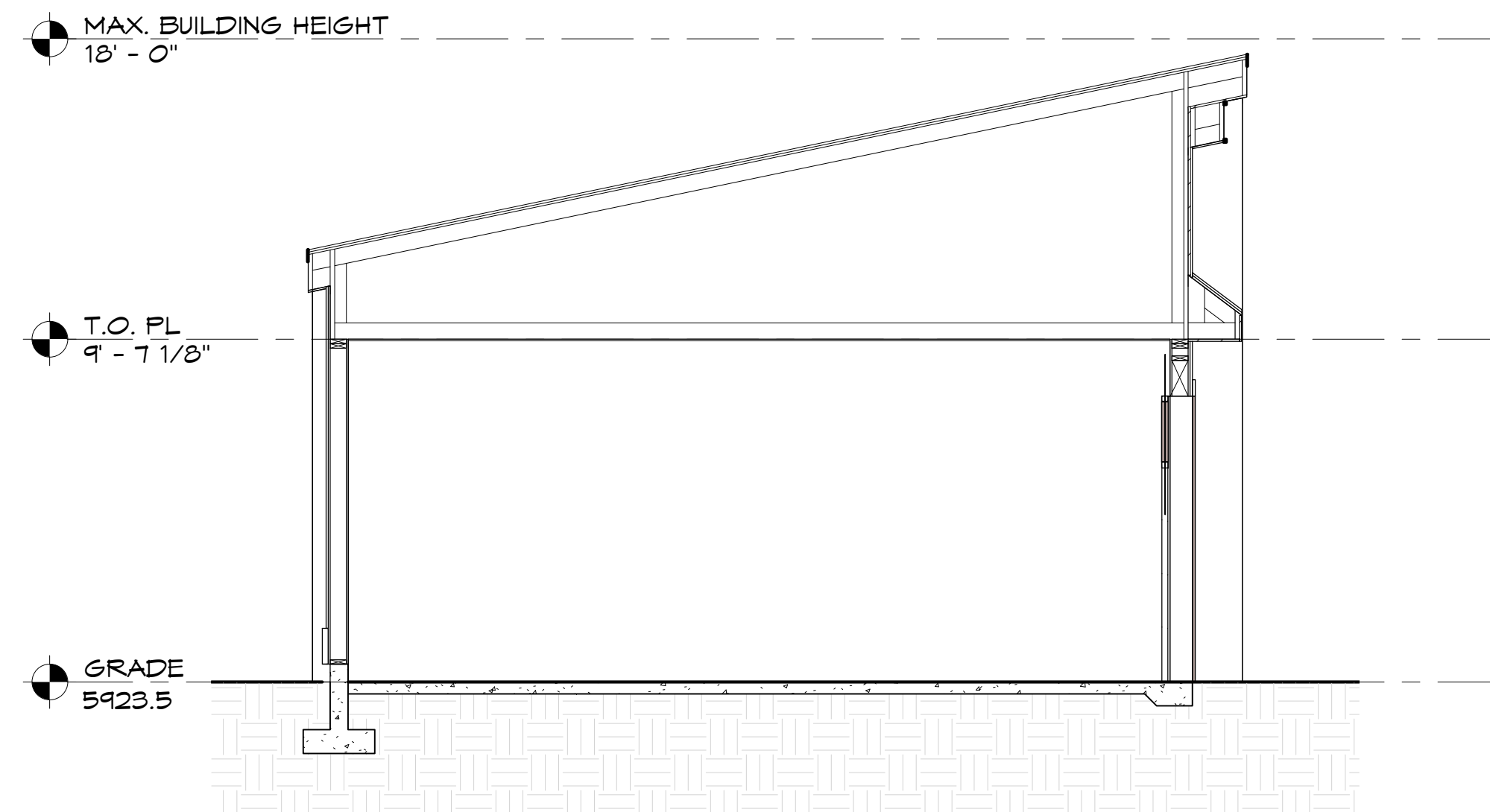




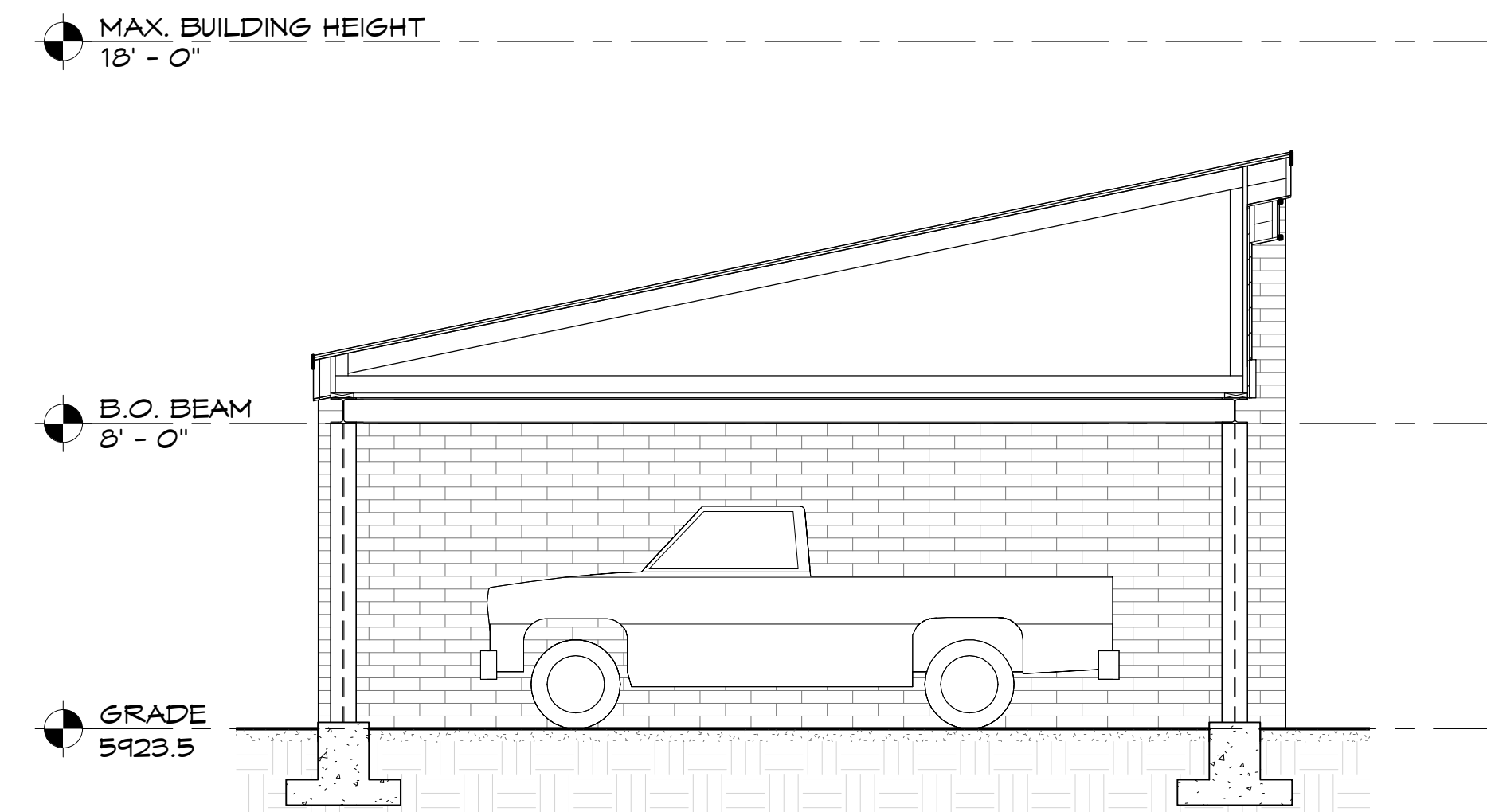
**1**  
A5 LEFT SIDE ELEVATION  
1/4" = 1'-0"



**2**  
A5 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



**3**  
A5 BUILDING SECTION 1  
1/4" = 1'-0"



**4**  
A5 BUILDING SECTION 2  
1/4" = 1'-0"

# GARAGE 2

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**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
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PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	DESIGN REVIEW SET 3/15/21
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	DESIGN REVIEW SET UPDATED 3/21/23

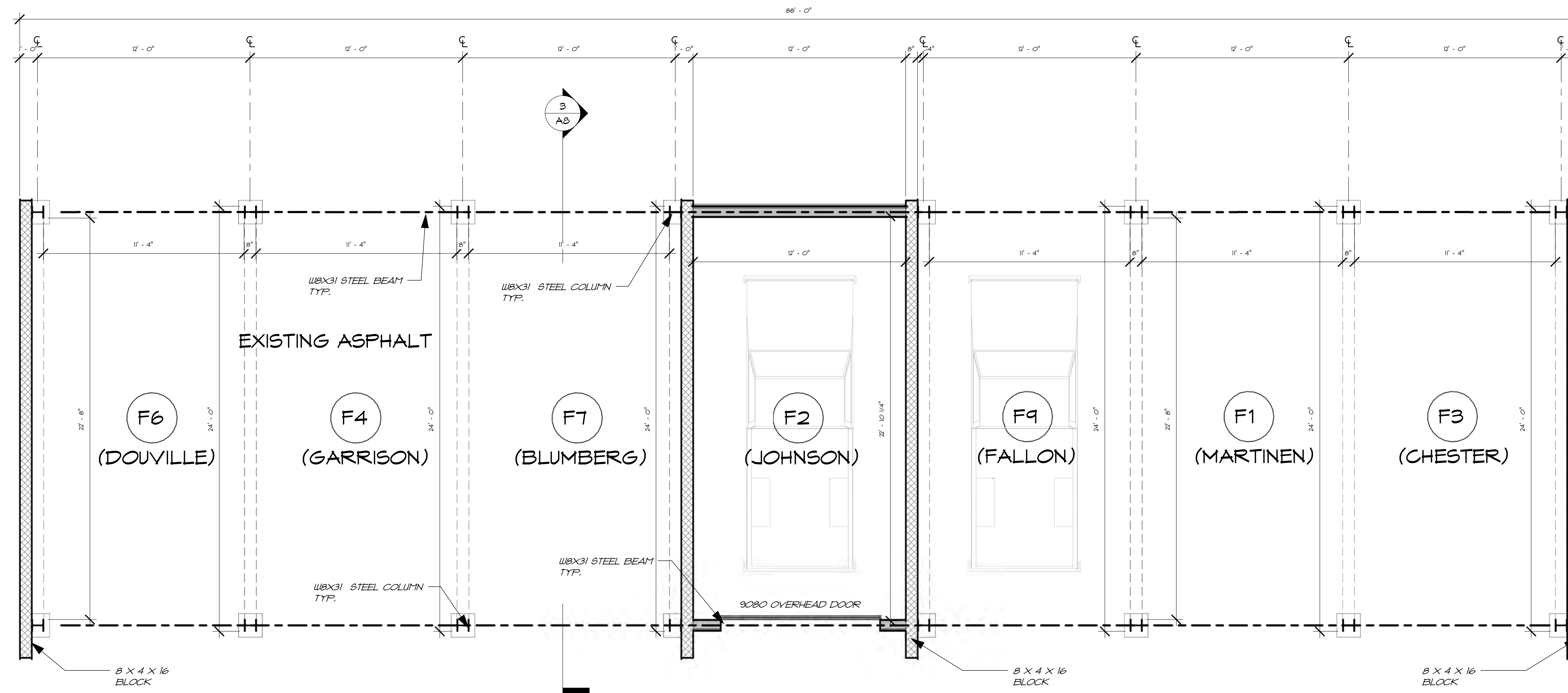
**A5**

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1 EXTERIOR PERSPECTIVE  
A6



SQUARE FOOTAGE TABULATION:

CARPORT	1,792 SQ. FT.
ENCLOSED GARAGE	320 SQ. FT.
TOTAL:	2,112 SQ. FT.

2 FLOOR PLAN  
A6 1/4" = 1'-0"

CARPORT

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

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**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #: 011.20  
 PLOT DATE: 3/21/23  
 DESIGN REVIEW: 11/8/22  
 PERMIT:  
 CONSTRUCTION:  
 SUBMISSIONS/REVISIONS:  
 DESIGN REVIEW SET 3/15/21  
 DESIGN REVIEW SET UPDATED 11/3/21  
 DESIGN REVIEW SET UPDATED 11/8/22  
 DESIGN REVIEW SET UPDATED 3/21/23

A6

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1  
A7 FRONT ELEVATION  
1/4" = 1'-0"

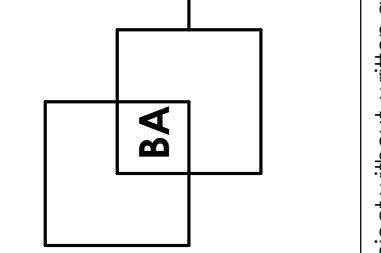


3  
A7 REAR ELEVATION  
1/4" = 1'-0"

# CARPORT

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Ketchum, Idaho 83340  
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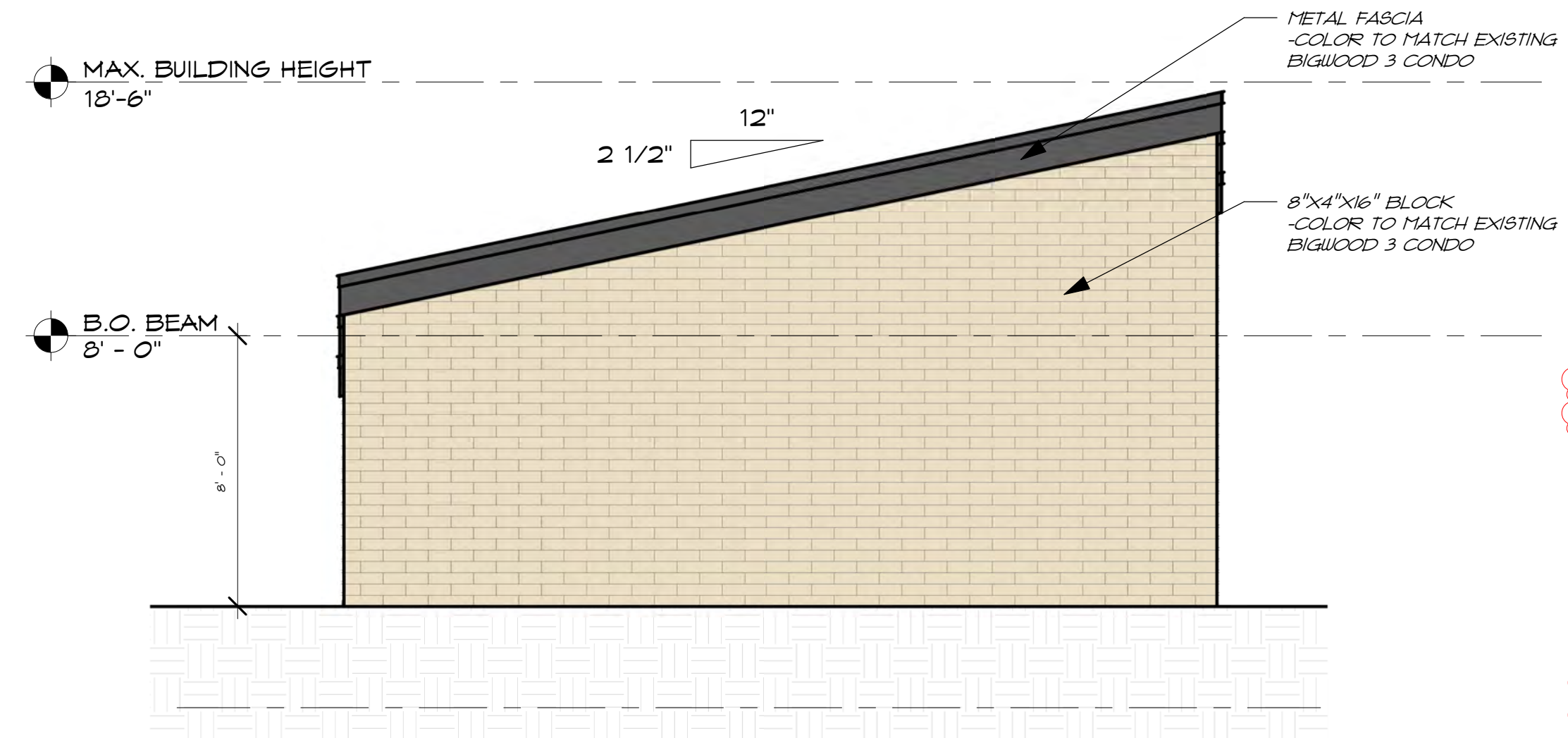
**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	DESIGN REVIEW SET 3/15/21
	DESIGN REVIEW SET UPDATED 11/3/21
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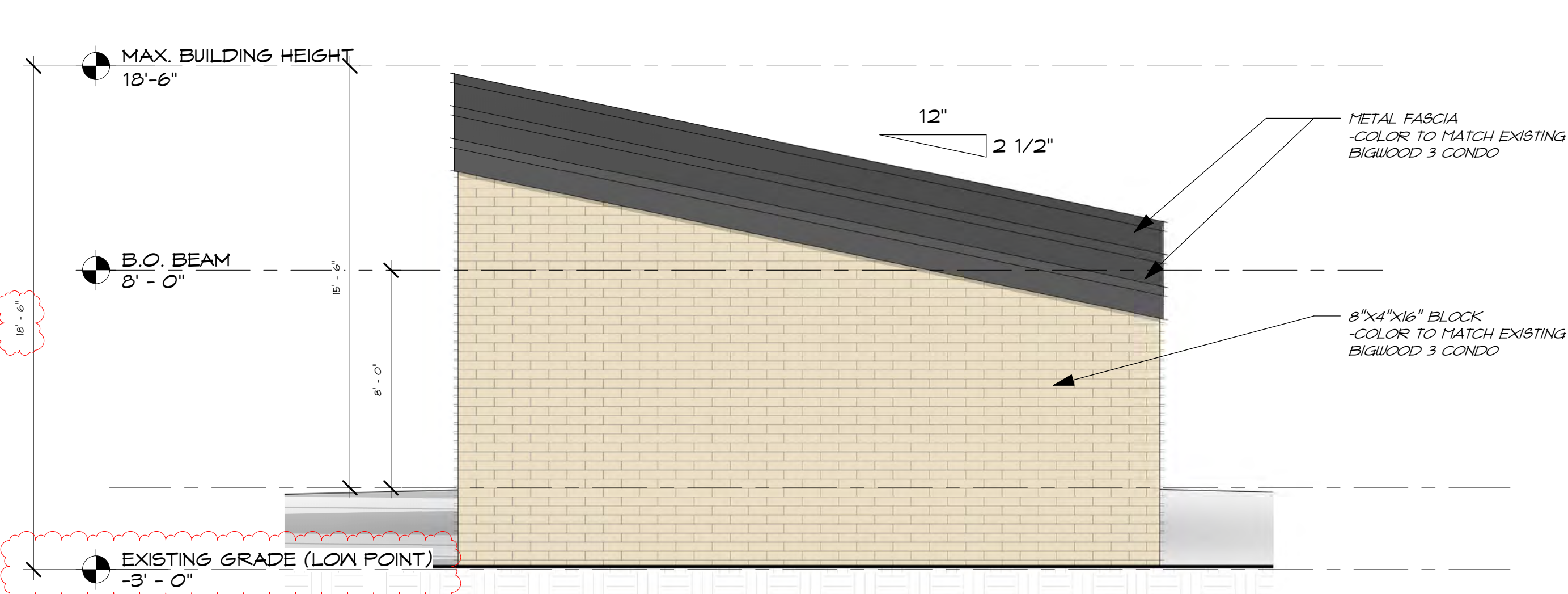
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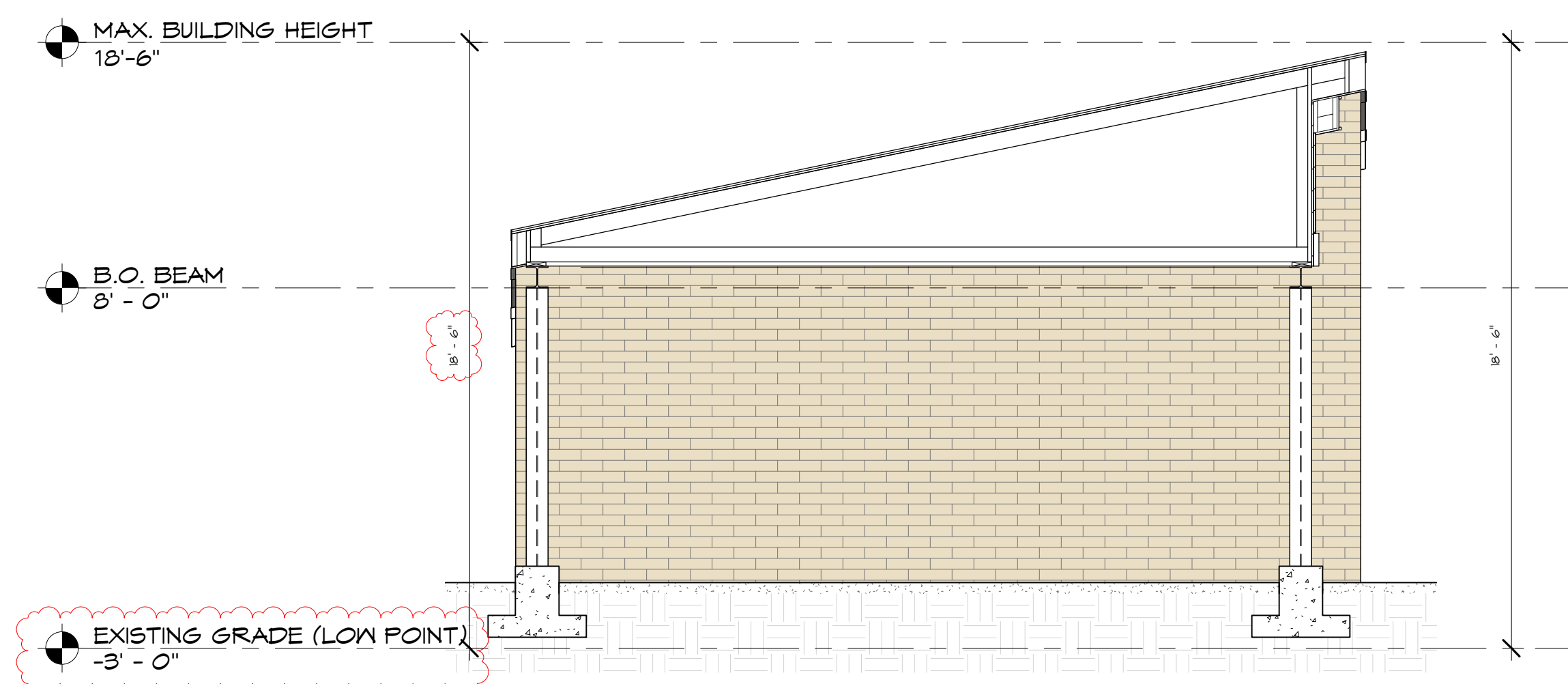




1 LEFT SIDE ELEVATION  
A8 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
A8 1/4" = 1'-0"



3 BUILDING SECTION  
A8 1/4" = 1'-0"

# CARPORT

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**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
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CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
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DESIGN REVIEW SET	UPDATED 11/3/21
DESIGN REVIEW SET	UPDATED 11/8/22
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A8

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TYPICAL FASCIA



BOARD AND BATT SIDING



8 X 4 X 16 DECORATIVE BLOCK

NOTE:  
MATERIALS TO MATCH EXISTING BIGWOOD 3 CONDOS



ASPHALT SHINGLE ROOF



CHARCOAL GRAY METAL  
METAL ROOF, STEEL COLUMNS AND BEAMS

Interactive spec sheet with links to larger images and spec sheets of accessories

**LD6R**  
6" Round Deep Regressed LED Open Plenum 18W

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Model #: \_\_\_\_\_ Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

SPECIFICATION	
Applications	Recessed Ceiling Mount
Energy Used	18W
Color Temperature (K)	2700   3000   3500   4000   5000   DTW   SCCT
Light Output (lm)	1500   1550   1600   1650   1700   1150
Beam Angle	38°
CRI	90+
Default Driver Input	120V AC
Optional Driver Input	120V/347V AC
Junction Box Wire Capacity	Max 5 No 12 AWG or 8 No 14 AWG
Power Factor	0.98
Approved Location	Insulated Ceilings, Open Plenum, Wet
IP Rating	IP 54
Air Tight	Yes
Ambient Temperature	-40°F (-40°C) to +104°F (+40°C)
Projected Life	70% Light Output at 50,000 Hours
Certification	cULus, Energy Star (except DTW & SCCT), T24
Warranty	10 Year Residential / 5 Year Commercial

**AVAILABLE TRIMS**

White Reflector	Silver Reflector	Black Reflector	Black Reflector	Silver Reflector
White Trim	White Trim	White Trim	Black Trim	Black Trim
WR-WT	SR-WT	BR-WT	BR-BT	SR-BT

**ACCESSORIES** Sold Separately

- Armored Low Voltage Extension JDR model# MECLD
- 26" Long Flat Rough-In Plate model# R1P6
- 13" Flat Rough-In Plate model# MPE-2
- Flanged Plate with Hanger Bars model# FRP6
- Goof Ring OD 7 5/8" White # GR6 Black # GR6-BK

**ORDERING GUIDE** Example: LD6R-SCCT-WR-WT

LD6R	CCT	Reflector-Trim
	- xxK	- xx-xx
2700K	27K	WR-WT
3000K	30K	SR-WT
3500K	35K	BR-WT
4000K	40K	BR-BT
5000K	50K	SR-BT
Dim To Warm	5 CCT	SCCT
	5 CCT	SCCT

5 CCT SCCT Dim to Warm 3000K to 2000K  
SCCT user selectable is 2700-3000-3500-4000-5000K

Lotus LED Lights USA  
250 H Street # 301, Blaine VA 98230 tel 360-200-5200  
Hainesport NJ, Naples FL, Dallas TX, Vancouver WA

www.LotusLEDlights.com

Lotus LED Lights CANADA  
702 Chester Rd, Delta BC V3M 6J1 tel 604-538-3090  
Delta BC & Mississauga ON

CEILING MOUNTED RECESSED LIGHT

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**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #: 011.20  
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DESIGN REVIEW SET UPDATED 11/8/22  
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**A9**

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City of Ketchum

# Attachment C: Draft Findings of Fact, Conclusions of Law, and Decision





**City of Ketchum  
Planning & Building**

IN RE:	)	
	)	
Bigwood 3 Garages	)	KETCHUM PLANNING & ZONING COMMISSION
Design Review	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: May 23, 2023	)	DECISION
	)	
File Number: 21-036	)	

**PROJECT:** Bigwood 3 Garages

**APPLICATION TYPE:** Design Review

**FILE NUMBER:** P21-036

**ASSOCIATED APPLICATIONS:** Lot Line Shift (P21-036A)

**REPRESENTATIVE:** Chad Blincoe, Blincoe Architecture (Architect)

**OWNER:** Big Wood Condo #3 Owners

**LOCATION:** 127 Saddle Road (Bigwood Condos #3 Common Area)

**ZONING:** Tourist (T)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the application for Design Review on March 18, 2021. On May 3, 2021, the Planning Department provided comments and requested revisions to the plan set. The applicant submitted revised plans on November 11, 2022. The Final Design Review application was deemed complete on April 27, 2023, after two reviews for completeness. Following receipt of the application, staff routed the application materials to all city departments for review. City Department comments were provided to the applicant on January 27, 2023. The applicant submitted a revised plan set on March 21, 2023, and a final plan set on April 27, 2023. A letter of completeness was sent to the applicant April 27, 2023. All department comments have been resolved or addressed through conditions of approval recommended below.



A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 2, 2023. The public hearing notice was published in the Idaho Mountain Express on May 2, 2023. A notice was published on the project site and on the city website on May 16, 2023. Story poles were documented on the project site as of May 16, 2023.

The Planning and Zoning Commission considered the Bigwood 3 Garages Design Review application (File No. 21-036) during their regular meeting on May 23, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Planning & Zoning Commission approved the Design Review application (File No. P21-036).

**FINDINGS OF FACT**

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make, and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

**BACKGROUND**

The applicant is proposing to construct three new garage and carport structures to add a total of 14 covered parking spaces (the “project”), located in the Bigwood Condos #3 Common Area (127 Saddle Road). The structure entitled “Garage 1” on the project plans is 1,238 square feet, “Garage 2” is 2,672 square feet, and “Garage 3” is 2,112 square feet in size. There are 51 parking spaces existing onsite and only one parking space will be lost with the new parking structures and parking configuration. The subject property is zoned Tourist (T) and the common area on the lot is currently utilized as a paved parking lot.

**FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS**

Ketchum Municipal Code Standards and Staff Comments				
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area and Lot Width</b>
			Staff Comments	<p><b>Required:</b> Minimum lot area of 8,000 square feet, minimum lot width average of 80 feet</p> <p><b>Existing:</b>            Lot Area – 114,450 square feet per topographic survey submitted with project plans            Lot Width – approximately 458 feet along the front property line on Saddle Road and approximately 508 feet along the side property line on Spur Lane</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Lot Coverage</b>
			Staff Comments	<p><b>Permitted Gross FAR: 0.5</b></p> <p><b>Proposed:</b>            Total Lot Area – 114,450 square feet            Existing Floor Area Ratio – .27 (30,870 square feet)            Proposed Floor Area Ratio – .32 (36,887 square feet)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>



			<b>Staff Comments</b>	<p><b>Permitted:</b>  Front (Saddle Road/north): 15 feet  Side (Spur Lane/east and west): The greater of 1' for every 3' in building height, or 5'. At least 10' for one-family dwellings <sup>1</sup>  Rear (south): The greater of 1' for every 3' in building height, or 10'. At least 15' for one-family dwellings <sup>1,2</sup></p> <p>Building height: Garage 1 is 19' in height (required setback is 6.33), Garage 2 is 18' in height (required setback is 6), and Garage 3 is 18'-6" in height (required setback is 6.2).</p> <p><b>Proposed:</b>  Front (Saddle Road/north): 16'-8"  Side (Spur Lane/east): 10'  Side (west): 24'-9" (no change)  Rear (south): 37'-1" (no change)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> 35 feet  Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p><b>Proposed:</b>  The total building height for the garage/carport structures from existing grade to the top of the roof are as follows:  - Garage 1 = 19'  - Garage 2 = 18'  - Garage 3 = 18'-6"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.03.H</b>	<b>Curb Cut</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b>  A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p><b>Proposed:</b> The street frontage for the Bigwood 3 Condominiums is Saddle Road but the development can also be accessed from Spur Lane. Both the Saddle Road curb cut (32') and the Spur Lane curb cut (25') are existing and no changes are proposed.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<b>Parking Spaces</b>
			<b>Staff Comments</b>	<p><b>Required:</b> Multi-family dwelling units within the Tourist (T) Zone District: Units up to Units 750 square feet or less require 0 parking spaces Units 751 square feet to 2,000 square feet require 1 parking space Units 2,001 square feet and above require 2 parking spaces</p> <p>Parking for the project is existing, with 51 spaces onsite. There are 27 units on the subject property, all of which are less than 2,000 square feet in size, therefore 27 parking spaces are required.</p> <p><b>Proposed:</b> The project is proposing a total of 50 parking spaces, of which 30 parking spaces are marked and uncovered spaces (including 3 ADA spaces with access aisles), 14 carport parking spaces, and 6 garage parking spaces.</p>

### FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	KMC §	Standards and Findings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A1 Streets</b>	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Commission Findings</i>	The project has existing connections from city streets to the condominium development. The project is proposing to remove the two existing access points and add a new access point from the internal drive to the Building D parking lot. The applicant is responsible for all costs associated with the proposed change in access to Building D from the internal drive.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A2 Streets</b>	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Commission Findings</i>	No new streets are proposed for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B1 Sidewalks</b>	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Commission Findings</i>	KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is within the T Zone District; however, this project does not qualify as a substantial improvement therefore sidewalks are not required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B2 Sidewalks</b>	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B3 Sidewalks</b>	<b>Sidewalks may be waived if one of the following criteria is met:</b>



				<p>a. The project comprises an addition of less than 250 square feet of conditioned space.</p> <p>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</p>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B4 Sidewalks</b>	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<b>All storm water shall be retained on site.</b>
			<i>Commission Findings</i>	Stormwater management was reviewed for the entire site during department review. The preliminary grading plan shows all stormwater being retained on site. The City Engineer will review the final grading and drainage plan at the time of building permit review.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C2 Drainage</b>	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	Drainage improvements have been designed for the full length of the property along Saddle Road and Spur Lane as shown in the project plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C3 Drainage</b>	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Commission Findings</i>	During department review, the Streets Department identified potential drainage improvements to manage the runoff to the rear of the proposed structures. These improvements will be finalized during the building permit review process to ensure drainage of the surrounding area is properly managed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C4 Drainage</b>	<b>Drainage facilities shall be constructed per City standards.</b>



			<i>Commission Findings</i>	The proposed drainage improvements are designed to meet city standards. Final design will be reviewed and approved by the City Engineer prior to issuance of a building permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D1 Utilities</b>	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed. Any utilities that would be installed would be at the sole expense of the applicant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D2 Utilities</b>	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D3 Utilities</b>	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Commission Findings</i>	Extension of utilities is not required for the project; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E1 Compatibility of Design</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Commission Findings</i>	The project proposes three garage/carport structures with asphalt shingle shed roofs, charcoal gray metal fascia, and a mix of light gray board and batt and brown decorative block siding. The project design and materials were intentionally chosen to match the existing condominiums on the subject property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E2 Compatibility of Design</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Commission Findings</i>	The subject property does not include significant landmarks; therefore, this standard does not apply.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E3 Compatibility of Design</b>	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Commission Findings</i>	The proposed project does not include an addition to an existing building; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F1 Architectural</b>	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Commission Findings</i>	The condominiums have existing pathways from the buildings to the parking lot via walkways. As discussed above, sidewalks are not required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Commission Findings</i>	The proposed garage/carport structures were intentionally designed to match the architectural style of the existing condominiums onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Commission Findings</i>	The project proposes a consistent use of materials including light gray board and batt siding, brown decorative block siding, and charcoal gray metal fascias.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F4 Architectural</b>	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Commission Findings</i>	The project proposes a dry-stack rock retaining wall to the rear of the garage/carport structures. The rock material will complement the brown and gray earth tones of the existing primary buildings onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F5 Architectural</b>	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Commission Findings</i>	Each new garage/carport structure is different in size and incorporates differing ratios of garages and carports. The structures utilize shed roofs with varying heights and a skirt roof element over the garage doors to reduce the perceived bulk and mass of the structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Commission Findings</i>	The condominiums are existing and are accessed from the developments' frontage off Saddle Road via an internal drive.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F7 Architectural</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Commission Findings</i>	Garbage will be stored within the existing garage enclosure onsite, and no satellite receivers are anticipated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F8 Architectural</b>	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Commission Findings</i>	The project plans do not indicate snow retention devices on the roofs of the garage/carport structures. Therefore, staff recommended condition of approval #5 to ensure snow retention devices are installed on each new structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G1 Circulation Design</b>	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Commission Findings</i>	The development has existing access to Saddle Road and Spur Lane. As both Saddle Road and Spur Lane are considered local streets, all pedestrian, equestrian and bicycle movements are contained within the street. There are no easements or pathways in the area requiring connectivity to the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.G2 Circulation Design</b>	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Commission Findings</i>	The project does not propose any building feature encroachments into the right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G3 Circulation Design</b>	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Commission Findings</i>	Sidewalks are not required for this project. The site improvements have been reviewed by the City Engineer. Final review of all improvements will be completed prior to issuance of a building permit for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G4</b>	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line</b>



			<b>Circulation Design</b>	adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Findings</i>	The development has existing curb cuts on Saddle Road and Spur Lane and no changes are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G5 Circulation Design</b>	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Commission Findings</i>	Access for emergency vehicles, snowplows, and delivery vehicles is from Saddle Road and Spur Lane. Building D of the complex has two access points existing; both are proposed to be removed and one new access is to be added from the internal drive. In conversations with the applicant and the Fire Department, the new access to Building D from the internal drive is compliant with Fire Code emergency vehicle access requirements by providing a 26-foot-wide and 150-foot-long access road, which is demonstrated on Sheet L1 of the project plans.  Garbage trucks do not service the Bigwood 3 Condominiums. In a letter from the Board of Directors, it was confirmed that the Bigwood 3 Homeowners Association disposes of its own trash and that they will continue to do so. Further, the letter stated that the new parking layout and parking structures will have no impact on the association's handling of trash.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H1 Snow Storage</b>	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Commission Findings</i>	There is a total of 836 linear feet of improved parking and pedestrian areas, requiring 2,280 square feet of snow storage. The project proposes a total of 12,700 square feet of snow storage onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H2 Snow Storage</b>	<b>Snow storage areas shall be provided on-site.</b>
			<i>Commission Findings</i>	As shown in the project plans, all snow storage is provided on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H3 Snow Storage</b>	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</b>
			<i>Commission Findings</i>	As shown in the project plans, the snow storage areas onsite meet these dimensional requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H4 Snow Storage</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Commission Findings</i>	Snow storage is being provided, therefore no snowmelt or hauling of snow will be required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I1 Landscaping</b>	<b>Landscaping is required for all projects.</b>
			<i>Commission Findings</i>	Landscaping exists onsite; however, the project plans include a landscape plan for the new landscaping to be added to the site.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I2 Landscaping</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Commission Findings</i>	Proposed plant materials are drought tolerant and are consistent with landscaping of surrounding properties within the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I3 Landscaping</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Commission Findings</i>	All proposed plant materials are drought tolerant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I4 Landscaping</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Commission Findings</i>	The garage/carport structures for Building D and Building E are buffered by the hillside and existing landscaping along Saddle Road. The garage/carport structure for Building F will be buffered by new landscaping which includes lilac bushes along the rear of the structure on Spur Lane.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.J1 Public Amenities</b>	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.



5. The Bigwood 3 Garages Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

### DECISION

**THEREFORE**, the Commission **approves** this Design Review Application File No. P21-036 this Tuesday, May 23, 2023, subject to the following conditions of approval.

### CONDITIONS OF APPROVAL

1. This Design Review approval is based on the architectural plan set dated April 26, 2023, included as Exhibit A to these findings. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. The applicant shall install snow retention devices on the roof of each garage/carport structure.

Findings of Fact **adopted** this 23<sup>rd</sup> day of May 2023.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission





City of Ketchum

# Attachment D: Public Comment



Geoff Isles  
235 Spur Lane #103  
Ketchum, ID 83340

May 14, 2023

To Whom It May Concern:

I'm writing to make comment on the proposed applications by Bigwood Condominiums with the project name "Bigwood 3 Garages." While I have no objection to the project in general, I would like to call additional attention to the hillside that drops from Spur Lane onto the property behind two for the proposed structures, and to the condition of Spur Lane itself because of the lack of adequate drainage under the roadway.

The construction of Spur Lane was not done properly as there was no drainage installed to move the melted snow from the upper hillside to avoid the road. What has happened over the years, is the water erodes the ground under the asphalt as it has nowhere else to travel. This has caused the road to crumble. Recently, the road was given a double chip and seal which has temporarily stabilized the road but has created a different issue. Now, the roadway has additional height to it and acts as a dam, partially holding back the water sending it down the road toward other properties, causing massive puddling and turning some areas into mud fields. But water is still working its way under the road as well, ending up eroding the hillside going onto Bigwood's property. Water can be seen even as I write, washing over the driveway.

I have two suggestions to solve the problem. First, create a drainage system on the uphill side of the road that brings the water through pipes underneath Spur Lane, then link them into the proposed drainpipes that run along the backside of the proposed garages. Second, change the size of the proposed perforated pipes from 4" to 6" as the small pipe will not be large enough to draw out the water on larger snow years, as we have just had.

I have owned property on Spur Lane since 1996, and the formula to just bandage the situation, instead of fixing it, just doesn't work. With the construction of these garages, it could cause more issues with the roadway. Let's fix the problem while the construction is going on.

Sincerely,

Geoff Isles



## Paige Nied

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**From:** Paige Nied  
**Sent:** Monday, May 15, 2023 3:42 PM  
**To:** Paige Nied  
**Subject:** FW: Photos for Letter

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**From:** GEOFFREY ISLES <[islesglass@aol.com](mailto:islesglass@aol.com)>  
**Sent:** Monday, May 15, 2023 2:14 PM  
**To:** Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>  
**Subject:** Photos for Letter

To Whom It May Concern:

This is for the P&Z meeting of 5/23/2023. Subject: Bigwood 3 Garages.

Can you forward these images to attach to the letter I sent yesterday. As you can see, water is coming out from the base of the hill, and the roadway is already deteriorating after only 3-4 years. It is actually sinking.

Thank you.

Geoff Isles  
235 Spur Lane #103  
Ketchum, ID 83340





















**City of Ketchum  
Planning & Building**

IN RE: )  
 )  
Bigwood 3 Garages ) KETCHUM PLANNING & ZONING COMMISSION  
Design Review ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
Date: May 23, 2023 ) DECISION  
 )  
File Number: 21-036 )

**PROJECT:** Bigwood 3 Garages  
**APPLICATION TYPE:** Design Review  
**FILE NUMBER:** P21-036  
**ASSOCIATED APPLICATIONS:** Lot Line Shift (P21-036A)  
**REPRESENTATIVE:** Chad Blincoe, Blincoe Architecture (Architect)  
**OWNER:** Big Wood Condo #3 Owners  
**LOCATION:** 127 Saddle Road (Bigwood Condos #3 Common Area)  
**ZONING:** Tourist (T)  
**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the application for Design Review on March 18, 2021. On May 3, 2021, the Planning Department provided comments and requested revisions to the plan set. The applicant submitted revised plans on November 11, 2022. The Final Design Review application was deemed complete on April 27, 2023, after two reviews for completeness. Following receipt of the application, staff routed the application materials to all city departments for review. City Department comments were provided to the applicant on January 27, 2023. The applicant submitted a revised plan set on March 21, 2023, and a final plan set on April 27, 2023. A letter of completeness was sent to the applicant April 27, 2023. All department comments have been resolved or addressed through conditions of approval recommended below.



A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 2, 2023. The public hearing notice was published in the Idaho Mountain Express on May 2, 2023. A notice was published on the project site and on the city website on May 16, 2023. Story poles were documented on the project site as of May 16, 2023.

The Planning and Zoning Commission considered the Bigwood 3 Garages Design Review application (File No. 21-036) during their regular meeting on May 23, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Planning & Zoning Commission approved the Design Review application (File No. P21-036).

**FINDINGS OF FACT**

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make, and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

**BACKGROUND**

The applicant is proposing to construct three new garage and carport structures to add a total of 14 covered parking spaces (the “project”), located in the Bigwood Condos #3 Common Area (127 Saddle Road). The structure entitled “Garage 1” on the project plans is 1,238 square feet, “Garage 2” is 2,672 square feet, and “Garage 3” is 2,112 square feet in size. There are 51 parking spaces existing onsite and only one parking space will be lost with the new parking structures and parking configuration. The subject property is zoned Tourist (T) and the common area on the lot is currently utilized as a paved parking lot.

**FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS**

Ketchum Municipal Code Standards and Staff Comments				
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area and Lot Width</b>
			Staff Comments	<p><b>Required:</b> Minimum lot area of 8,000 square feet, minimum lot width average of 80 feet</p> <p><b>Existing:</b>            Lot Area – 114,450 square feet per topographic survey submitted with project plans            Lot Width – approximately 458 feet along the front property line on Saddle Road and approximately 508 feet along the side property line on Spur Lane</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Lot Coverage</b>
			Staff Comments	<p><b>Permitted Gross FAR: 0.5</b></p> <p><b>Proposed:</b>            Total Lot Area – 114,450 square feet            Existing Floor Area Ratio – .27 (30,870 square feet)            Proposed Floor Area Ratio – .32 (36,887 square feet)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>



			<b>Staff Comments</b>	<p><b>Permitted:</b>  Front (Saddle Road/north): 15 feet  Side (Spur Lane/east and west): The greater of 1' for every 3' in building height, or 5'. At least 10' for one-family dwellings <sup>1</sup>  Rear (south): The greater of 1' for every 3' in building height, or 10'. At least 15' for one-family dwellings <sup>1,2</sup></p> <p>Building height: Garage 1 is 19' in height (required setback is 6.33), Garage 2 is 18' in height (required setback is 6), and Garage 3 is 18'-6" in height (required setback is 6.2).</p> <p><b>Proposed:</b>  Front (Saddle Road/north): 16'-8"  Side (Spur Lane/east): 10'  Side (west): 24'-9" (no change)  Rear (south): 37'-1" (no change)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> 35 feet  Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p><b>Proposed:</b>  The total building height for the garage/carport structures from existing grade to the top of the roof are as follows:  - Garage 1 = 19'  - Garage 2 = 18'  - Garage 3 = 18'-6"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.03.H</b>	<b>Curb Cut</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b>  A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p><b>Proposed:</b> The street frontage for the Bigwood 3 Condominiums is Saddle Road but the development can also be accessed from Spur Lane. Both the Saddle Road curb cut (32') and the Spur Lane curb cut (25') are existing and no changes are proposed.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<b>Parking Spaces</b>
			<b>Staff Comments</b>	<p><b>Required:</b> Multi-family dwelling units within the Tourist (T) Zone District: Units up to Units 750 square feet or less require 0 parking spaces Units 751 square feet to 2,000 square feet require 1 parking space Units 2,001 square feet and above require 2 parking spaces</p> <p>Parking for the project is existing, with 51 spaces onsite. There are 27 units on the subject property, all of which are less than 2,000 square feet in size, therefore 27 parking spaces are required.</p> <p><b>Proposed:</b> The project is proposing a total of 50 parking spaces, of which 30 parking spaces are marked and uncovered spaces (including 3 ADA spaces with access aisles), 14 carport parking spaces, and 6 garage parking spaces.</p>

### FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	KMC §	Standards and Findings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A1 Streets</b>	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Commission Findings</i>	The project has existing connections from city streets to the condominium development. The project is proposing to remove the two existing access points and add a new access point from the internal drive to the Building D parking lot. The applicant is responsible for all costs associated with the proposed change in access to Building D from the internal drive.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A2 Streets</b>	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Commission Findings</i>	No new streets are proposed for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B1 Sidewalks</b>	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Commission Findings</i>	KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is within the T Zone District; however, this project does not qualify as a substantial improvement therefore sidewalks are not required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B2 Sidewalks</b>	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B3 Sidewalks</b>	<b>Sidewalks may be waived if one of the following criteria is met:</b>



				<p>a. The project comprises an addition of less than 250 square feet of conditioned space.</p> <p>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</p>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B4 Sidewalks</b>	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<b>All storm water shall be retained on site.</b>
			<i>Commission Findings</i>	Stormwater management was reviewed for the entire site during department review. The preliminary grading plan shows all stormwater being retained on site. The City Engineer will review the final grading and drainage plan at the time of building permit review.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C2 Drainage</b>	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	Drainage improvements have been designed for the full length of the property along Saddle Road and Spur Lane as shown in the project plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C3 Drainage</b>	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Commission Findings</i>	During department review, the Streets Department identified potential drainage improvements to manage the runoff to the rear of the proposed structures. These improvements will be finalized during the building permit review process to ensure drainage of the surrounding area is properly managed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C4 Drainage</b>	<b>Drainage facilities shall be constructed per City standards.</b>



			<i>Commission Findings</i>	The proposed drainage improvements are designed to meet city standards. Final design will be reviewed and approved by the City Engineer prior to issuance of a building permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D1 Utilities</b>	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed. Any utilities that would be installed would be at the sole expense of the applicant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D2 Utilities</b>	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D3 Utilities</b>	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Commission Findings</i>	Extension of utilities is not required for the project; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E1 Compatibility of Design</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Commission Findings</i>	The project proposes three garage/carport structures with asphalt shingle shed roofs, charcoal gray metal fascia, and a mix of light gray board and batt and brown decorative block siding. The project design and materials were intentionally chosen to match the existing condominiums on the subject property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E2 Compatibility of Design</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Commission Findings</i>	The subject property does not include significant landmarks; therefore, this standard does not apply.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E3 Compatibility of Design</b>	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Commission Findings</i>	The proposed project does not include an addition to an existing building; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F1 Architectural</b>	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Commission Findings</i>	The condominiums have existing pathways from the buildings to the parking lot via walkways. As discussed above, sidewalks are not required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Commission Findings</i>	The proposed garage/carport structures were intentionally designed to match the architectural style of the existing condominiums onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Commission Findings</i>	The project proposes a consistent use of materials including light gray board and batt siding, brown decorative block siding, and charcoal gray metal fascias.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F4 Architectural</b>	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Commission Findings</i>	The project proposes a dry-stack rock retaining wall to the rear of the garage/carport structures. The rock material will complement the brown and gray earth tones of the existing primary buildings onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F5 Architectural</b>	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Commission Findings</i>	Each new garage/carport structure is different in size and incorporates differing ratios of garages and carports. The structures utilize shed roofs with varying heights and a skirt roof element over the garage doors to reduce the perceived bulk and mass of the structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Commission Findings</i>	The condominiums are existing and are accessed from the developments' frontage off Saddle Road via an internal drive.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F7 Architectural</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Commission Findings</i>	Garbage will be stored within the existing garage enclosure onsite, and no satellite receivers are anticipated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F8 Architectural</b>	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Commission Findings</i>	The project plans do not indicate snow retention devices on the roofs of the garage/carport structures. Therefore, staff recommended condition of approval #5 to ensure snow retention devices are installed on each new structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G1 Circulation Design</b>	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Commission Findings</i>	The development has existing access to Saddle Road and Spur Lane. As both Saddle Road and Spur Lane are considered local streets, all pedestrian, equestrian and bicycle movements are contained within the street. There are no easements or pathways in the area requiring connectivity to the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.G2 Circulation Design</b>	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Commission Findings</i>	The project does not propose any building feature encroachments into the right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G3 Circulation Design</b>	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Commission Findings</i>	Sidewalks are not required for this project. The site improvements have been reviewed by the City Engineer. Final review of all improvements will be completed prior to issuance of a building permit for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G4</b>	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line</b>



			<b>Circulation Design</b>	adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Findings</i>	The development has existing curb cuts on Saddle Road and Spur Lane and no changes are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G5 Circulation Design</b>	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Commission Findings</i>	Access for emergency vehicles, snowplows, and delivery vehicles is from Saddle Road and Spur Lane. Building D of the complex has two access points existing; both are proposed to be removed and one new access is to be added from the internal drive. In conversations with the applicant and the Fire Department, the new access to Building D from the internal drive is compliant with Fire Code emergency vehicle access requirements by providing a 26-foot-wide and 150-foot-long access road, which is demonstrated on Sheet L1 of the project plans.  Garbage trucks do not service the Bigwood 3 Condominiums. In a letter from the Board of Directors, it was confirmed that the Bigwood 3 Homeowners Association disposes of its own trash and that they will continue to do so. Further, the letter stated that the new parking layout and parking structures will have no impact on the association's handling of trash.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H1 Snow Storage</b>	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Commission Findings</i>	There is a total of 836 linear feet of improved parking and pedestrian areas, requiring 2,280 square feet of snow storage. The project proposes a total of 12,700 square feet of snow storage onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H2 Snow Storage</b>	<b>Snow storage areas shall be provided on-site.</b>
			<i>Commission Findings</i>	As shown in the project plans, all snow storage is provided on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H3 Snow Storage</b>	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</b>
			<i>Commission Findings</i>	As shown in the project plans, the snow storage areas onsite meet these dimensional requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H4 Snow Storage</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Commission Findings</i>	Snow storage is being provided, therefore no snowmelt or hauling of snow will be required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I1 Landscaping</b>	<b>Landscaping is required for all projects.</b>
			<i>Commission Findings</i>	Landscaping exists onsite; however, the project plans include a landscape plan for the new landscaping to be added to the site.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I2 Landscaping</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Commission Findings</i>	Proposed plant materials are drought tolerant and are consistent with landscaping of surrounding properties within the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I3 Landscaping</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Commission Findings</i>	All proposed plant materials are drought tolerant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I4 Landscaping</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Commission Findings</i>	The garage/carport structures for Building D and Building E are buffered by the hillside and existing landscaping along Saddle Road. The garage/carport structure for Building F will be buffered by new landscaping which includes lilac bushes along the rear of the structure on Spur Lane.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.J1 Public Amenities</b>	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.



5. The Bigwood 3 Garages Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

### DECISION

**THEREFORE**, the Commission **approves** this Design Review Application File No. P21-036 this Tuesday, May 23, 2023, subject to the following conditions of approval.

### CONDITIONS OF APPROVAL

1. This Design Review approval is based on the architectural plan set dated April 26, 2023, included as Exhibit A to these findings. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. The applicant shall install snow retention devices on the roof of each garage/carport structure.

Findings of Fact **adopted** this 23<sup>rd</sup> day of May 2023.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission





City of Ketchum

# Exhibit A: Design Review Plan Set



# BIGWOOD III GARAGES

MARCH 21st, 2023  
BIGWOOD CONDOMINIUM 3  
127 SADDLE RD, KETCHUM ID 83340

### PROJECT TEAM

**ARCHITECT:**  
**Blincoe Architecture**  
POST OFFICE BOX 4424  
KETCHUM, IDAHO 83340  
(208) 720-1925

**STRUCTURAL ENGINEER:**  
**Konrad & Stohler Structural Engineering**  
614 S. MAIN  
BELLEVUE, IDAHO 83319  
(208) 928-7810

**LANDSCAPE ARCHITECT:**  
**Eggers Associates, P.A.**  
P.O. BOX 953  
KETCHUM, ID 83340  
(208) 725-0988

**CIVIL/SURVEYOR:**  
**Alpine Enterprises Inc.**  
280 RIVER ST. E  
KETCHUM, ID 83340  
(208) 727-1988

### GENERAL NOTES:

NOTE:  
1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.  
2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.  
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.  
5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS.  
6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE.  
7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.  
8. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.  
9. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.  
10. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER & GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS & DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.

### CODE COMPLIANCE:

1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.  
2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.  
3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70

**ROOFING:** \* ALL ROOFING SHALL COMPLY WITH CHAPTER 15 OF THE 2018 INTERNATIONAL BUILDING CODE.

**BUILDING ENVELOPE:** \* SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

**LIGHTING EQUIPMENT:** \* SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

**ATTIC ACCESS:** \* SHALL COMPLY WITH SECTION 402.2.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.

**GLASS AND GLAZING:** \* SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE.

### SHEET INDEX

CS	COVER SHEET
C1	PRELIMINARY PLAT
EC	EXISTING SITE CONDITIONS
L1	SITE PLAN
L2	GRADING PLAN
L3	LANDSCAPE PLAN
A-0	CONSTRUCTION MANAGEMENT PLAN
A-1	GARAGE 1 - FLOOR PLAN/SECTIONS/EXTERIOR PERSPECTIVE
A-2	GARAGE 1 - EXTERIOR ELEVATIONS
A-3	GARAGE 2 - FLOOR PLAN/EXTERIOR PERSPECTIVE
A-4	GARAGE 2 - EXTERIOR ELEVATIONS
A-5	GARAGE 2 - EXTERIOR ELEVATIONS/SECTIONS
A-6	GARAGE 3 - FLOOR PLAN/EXTERIOR PERSPECTIVE
A-7	GARAGE 3 - EXTERIOR ELEVATIONS
A-8	GARAGE 3 - EXTERIOR ELEVATIONS/SECTIONS
A-9	MATERIAL BOARD

### ARCHITECTURAL SYMBOLS

INTERIOR ELEVATION CALL OUT:

SECTION REFERENCE:

DETAIL REFERENCE:

INTERIOR ELEVATION KEY:

ELEVATION CALL OUT:

NORTH ARROW:

ROOM NUMBER:

DOOR REFERENCE:

WINDOW REFERENCE:

REVISION REFERENCE:

### BUILDING DATA

OCCUPANCY : U

CONSTRUCTION TYPE : II-B UNPROTECTED WOOD FRAME

SQUARE FOOTAGE	GARAGE 1	SPACES	AREA
CARPURT	2		611 #
ENCLOSED GARAGE	2		627 #

SQUARE FOOTAGE	GARAGE 2	SPACES	AREA
CARPURT	6		1,760 #
ENCLOSED GARAGE	3		912 #

SQUARE FOOTAGE	GARAGE 3	SPACES	AREA
CARPURT	6		1,792 #
ENCLOSED GARAGE	1		320 #

EXISTING FAR : (E) GROSS FA 30,870 SQ FT / LOT AREA 114,450 SQ FT = .27 FAR

PROPOSED FAR : (N) GROSS FA 36,887 SQ FT / LOT AREA 114,450 SQ FT = .32 FAR

LOT COVERAGE : 21.5% (EXISTING), 27% (NEW)

OPEN SPACE AREA : 78.5% (EXISTING), 73% (NEW)

PROPERTY AREA : +/- 2.63 ACRE (+/- 114,450 SQ FT)

BUILDING CODE : 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF KETCHUM

PROPERTY AREA : +/- 2.63 ACRE (+/- 114,450 SQ FT)

BUILDING CODE : 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF KETCHUM

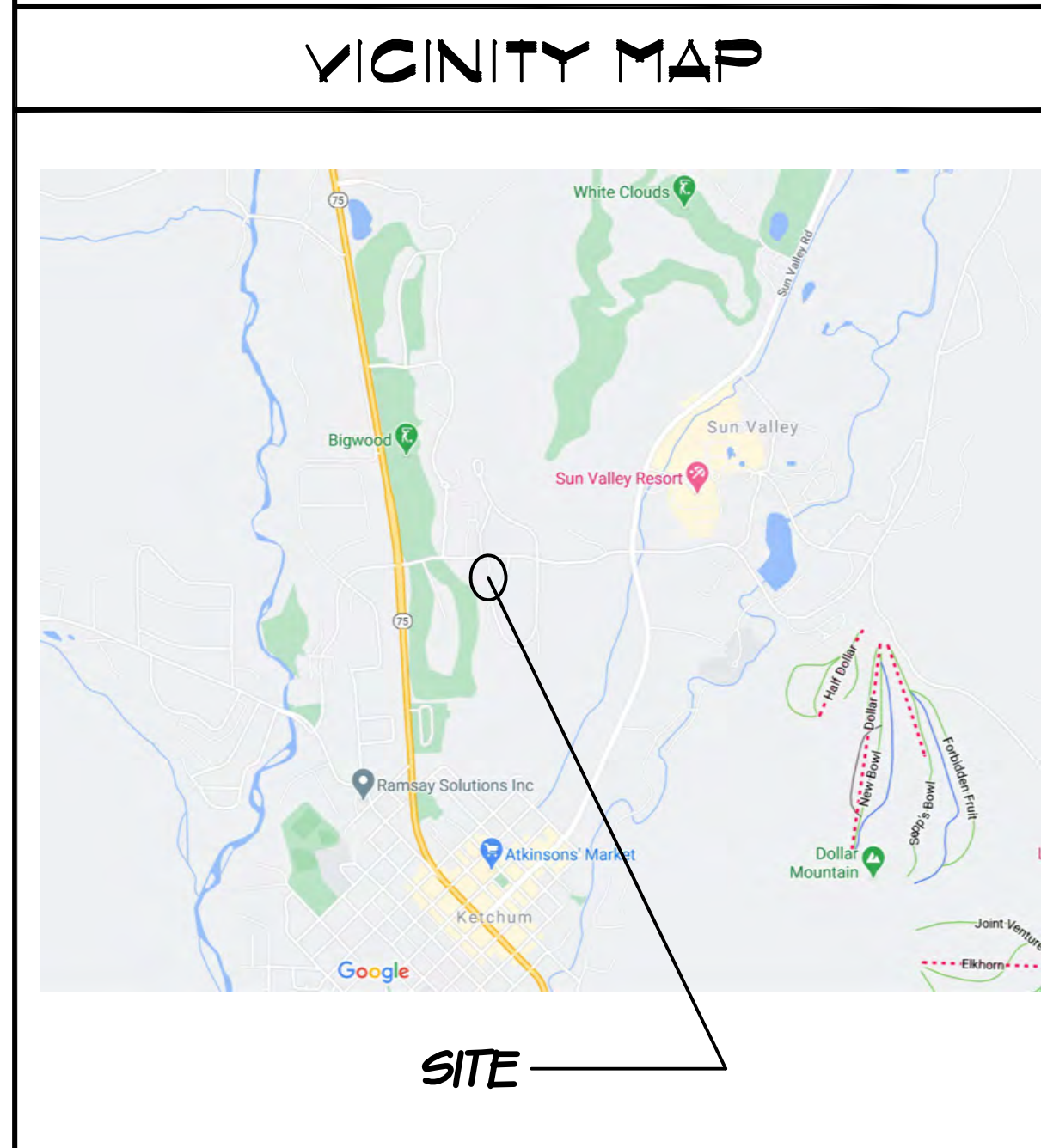
ZONING : T

PHYSICAL ADDRESS : 127 SADDLE ROAD

LEGAL DESCRIPTION : BIGWOOD #3 COMMON AREA

PARCEL NUMBER : RPK07150000000

CITY OF KETCHUM BUILDING DEPARTMENT.  
CITY OF KETCHUM FIRE DEPARTMENT



### ENERGY REPORT



DESIGN REVIEW SET - UPDATED  
NOT FOR CONSTRUCTION

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
UP/S/REG/EC  
P.O. Box 4424  
Ketchum, Idaho 83340  
Tel: 208-720-1925  
Email: info@blincoearchitecture.com

LICENSED ARCHITECT  
AR 984802  
**Chad E. Blincoe**  
CHAD E. BLINCOE  
STATE OF IDAHO

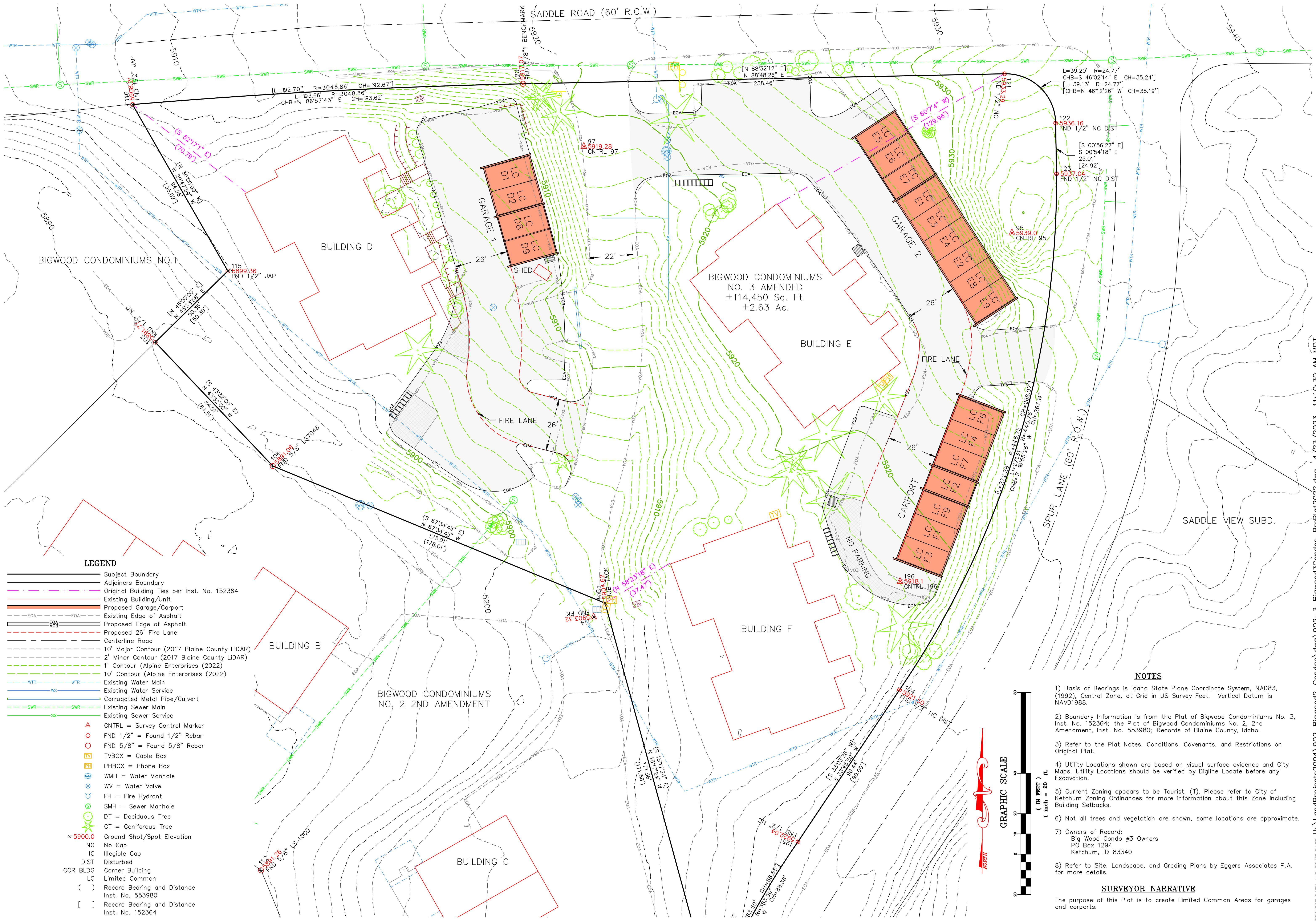
# BIGWOOD III GARAGES

BIGWOOD CONDOMINIUM III  
127 SADDLE RD, KETCHUM ID 83340

JOB #:	01121
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△	
△	
△	
△	
△	
△	

CS



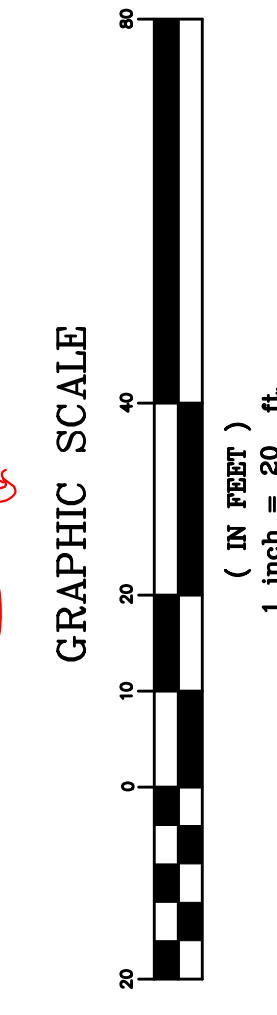


**LEGEND**

- Subject Boundary
- Adjainers Boundary
- Original Building Ties per Inst. No. 152364
- Existing Building/Unit
- Proposed Garage/Carport
- Existing Edge of Asphalt
- Proposed Edge of Asphalt
- Proposed 26' Fire Lane
- Centerline Road
- 10' Major Contour (2017 Blaine County LIDAR)
- 2' Minor Contour (2017 Blaine County LIDAR)
- 1' Contour (Alpine Enterprises (2022))
- 10' Contour (Alpine Enterprises (2022))
- Existing Water Main
- Existing Water Service
- Corrugated Metal Pipe/Culvert
- Existing Sewer Main
- Existing Sewer Service
- ▲ CNTRL = Survey Control Marker
- FND 1/2" = Found 1/2" Rebar
- FND 5/8" = Found 5/8" Rebar
- TV TVBOX = Cable Box
- PH PHBOX = Phone Box
- WMH WMH = Water Manhole
- WV WV = Water Valve
- FH FH = Fire Hydrant
- SMH SMH = Sewer Manhole
- DT DT = Deciduous Tree
- CT CT = Coniferous Tree
- x 5900.0 Ground Shot/Spot Elevation
- NC No Cap
- IC Illegible Cap
- DIST Disturbed
- COR BLDG Corner Building
- LC Limited Common
- ( ) Record Bearing and Distance  
Inst. No. 553980
- [ ] Record Bearing and Distance  
Inst. No. 152364

**NOTES**

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, (1992), Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Bigwood Condominiums No. 3, Inst. No. 152364; the Plat of Bigwood Condominiums No. 2, 2nd Amendment, Inst. No. 553980; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- 4) Utility Locations shown are based on visual surface evidence and City Maps. Utility Locations should be verified by Digline Locate before any Excavation.
- 5) Current Zoning appears to be Tourist, (T). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone including Building Setbacks.
- 6) Not all trees and vegetation are shown, some locations are approximate.
- 7) Owners of Record:  
Big Wood Condo #3 Owners  
PO Box 1294  
Ketchum, ID 83340
- 8) Refer to Site, Landscape, and Grading Plans by Eggers Associates P.A. for more details.



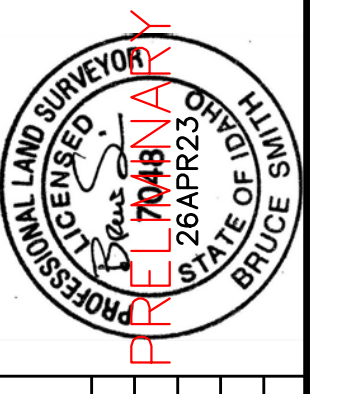
**SURVEYOR NARRATIVE**

The purpose of this Plat is to create Limited Common Areas for garages and carports.

PROJECT PATH AND PRINT DATE: U:\LandProjects2004\902\_Bigwood2\_Condos\_PrePlat2022.dwg 4/23/2023 11:10:30 AM MDT

A PRELIMINARY PLAT SHOWING  
BIGWOOD CONDOMINIUMS NO. 3 AMENDED  
WITHIN S.7, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR BIG WOOD CONDO OWNERS NO. 3

Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering,  
and Natural Hazards Consulting  
660 Bell Dr., Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 722-1968  
email: tamith@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY
UPDATED PROPOSED EOA & FIRE LANE	1	02MAR23	BRB
REVISED	2	26APR23	AHN

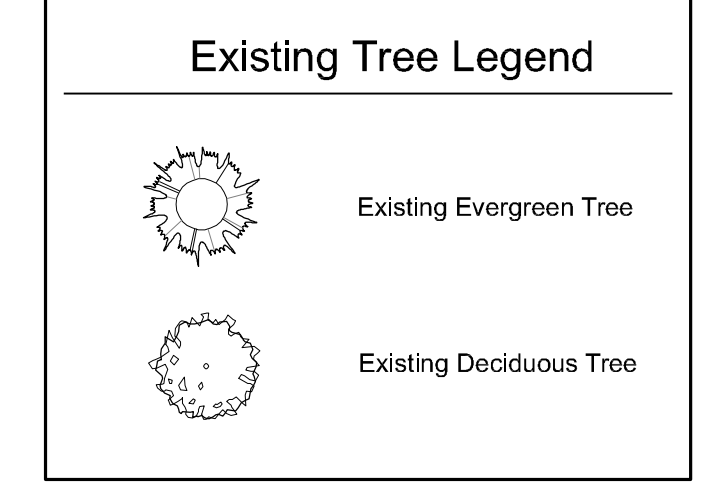
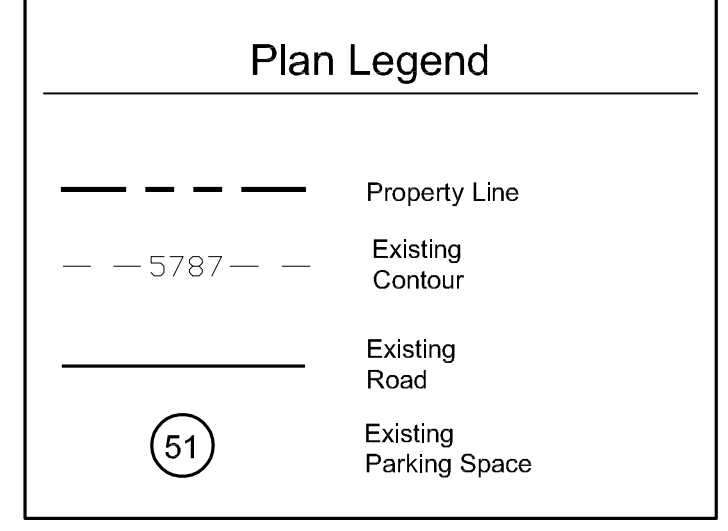
SHEET 1 OF 1





**General Notes**

1. Base map information taken from survey by Patterson & Puchner Engineers dated 11/20/73, Benchmark Associates 07/07/16, Alpine Enterprises 03/03/23 and from on-site information. Architectural information provided by Blincoe Architecture dated 01/25/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.



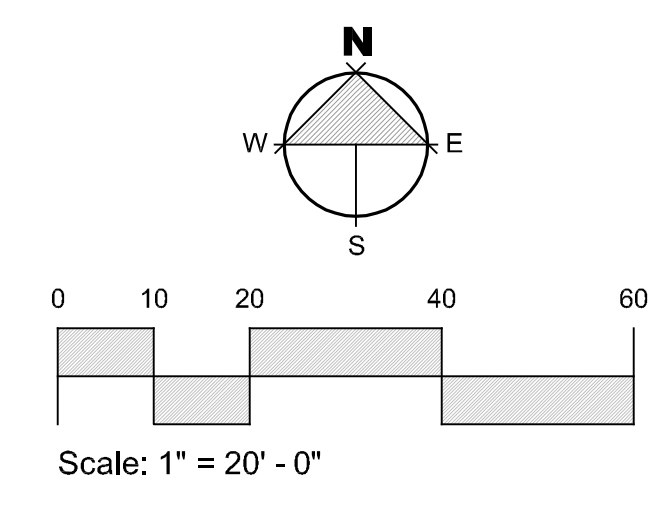
**Existing Parking**

(51) = Existing Parking Space

Total Number Of Existing Spaces = 51

**Proposed Parking**

Garages: (G1)	6
Carpools: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



**Bigwood Condos #3**

EGGERS ASSOCIATES, P.A.  
landscape architecture

T: (208) 725-0988  
F: (208) 725-0972

P.O. Box 955  
Ketchum, ID 83340

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

Job No: 20.41

Scale: 1" = 20'-0"

Issue/Revisions:	Date:
Design Review	03/15/21
RVSD	05/20/21
RVSD	11/08/22
RVSD	02/14/23
RVSD	04/24/23

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:  
**Existing Conditions**

Sheet No:  
**EC**



General Notes

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4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- Minimum Setback
- Existing Edge Of Pavement
- Road
- Fire Lane
- No Parking Zone
- Drystack Retaining Wall

Building Coverage

Existing Buildings:	24,687 Sq. Ft
Proposed Buildings:	5,760 Sq. Ft
Total Lot Coverage:	30,447 Sq. Ft
Lot Area:	114,528 Sq. Ft
Percent Coverage:	27%

Snow Storage

Parking Area Linear Feet:	836 Ft.
	/ 55
	X 150
Required Snow Storage:	2,280 Sq. Ft
Proposed Snow Storage:	16,500 Sq. Ft

Bike Racks

One Rack For Two Bikes  
Per Four Parking Spaces

Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes

Parking Requirements

Minimum Size:	9' x 18'
ADA Size:	9' x 18' - With 60" Access Aisle
Unit Size:	Required Parking
< 750 Sq. Ft	0
750-2,000 Sq. Ft	1
> 2,001 Sq. Ft	2

Units

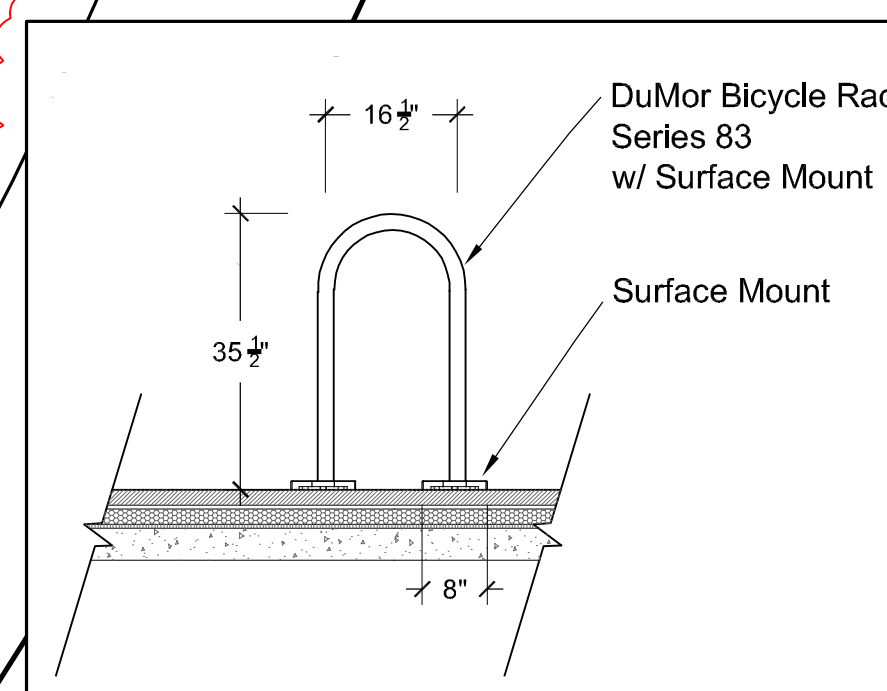
Unit #	Sq. Ft	Required Parking
1	855	1
2	1,312	1
3	1,312	1
4	1,057	1
5	1,211	1
6	1,312	1
7	1,057	1
8	855	1
9	1,312	1
<b>Total Units</b>		<b>Total Required Parking</b>
27		27

NOTE:

All Parking To Be Minimum 9' x 18'

Proposed Parking

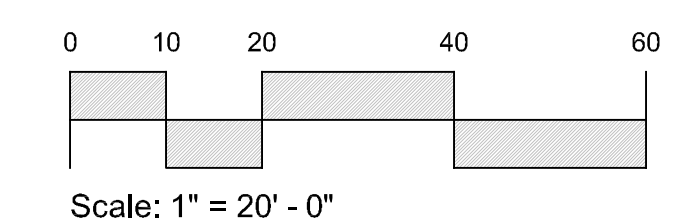
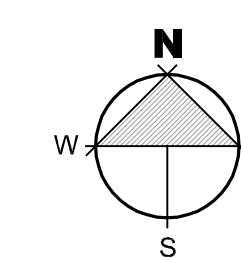
Garages: (G1)	6
Carports: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



Bike Rack Detail



Screening Fence

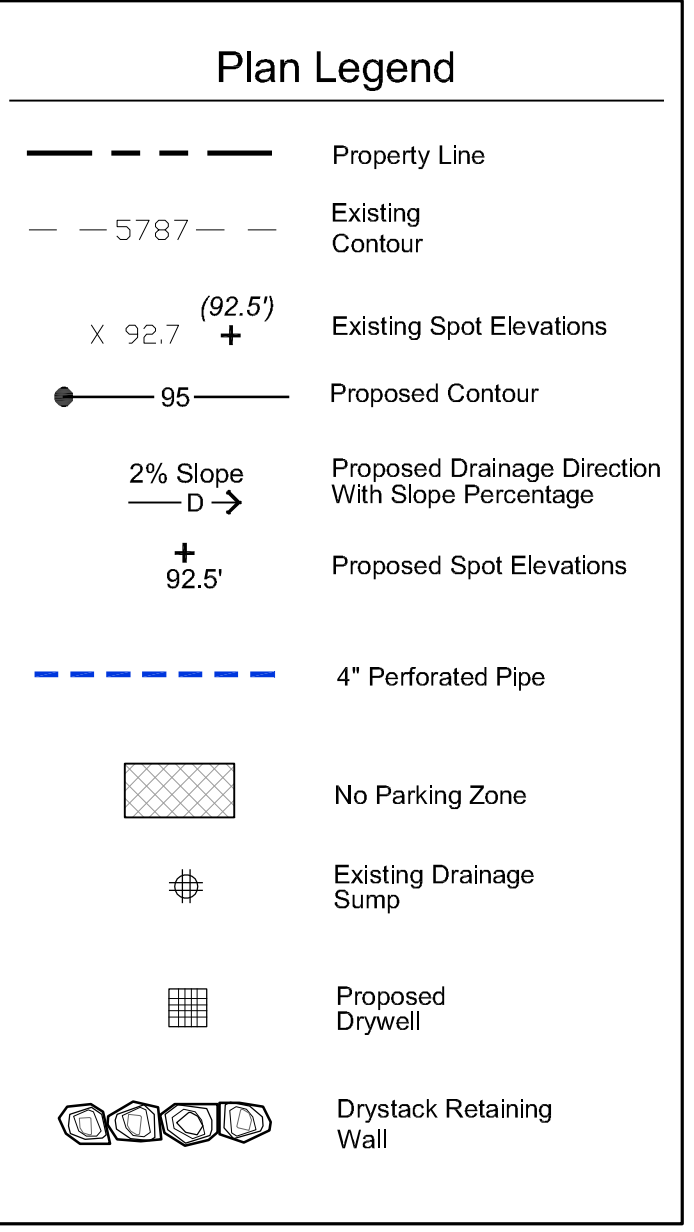




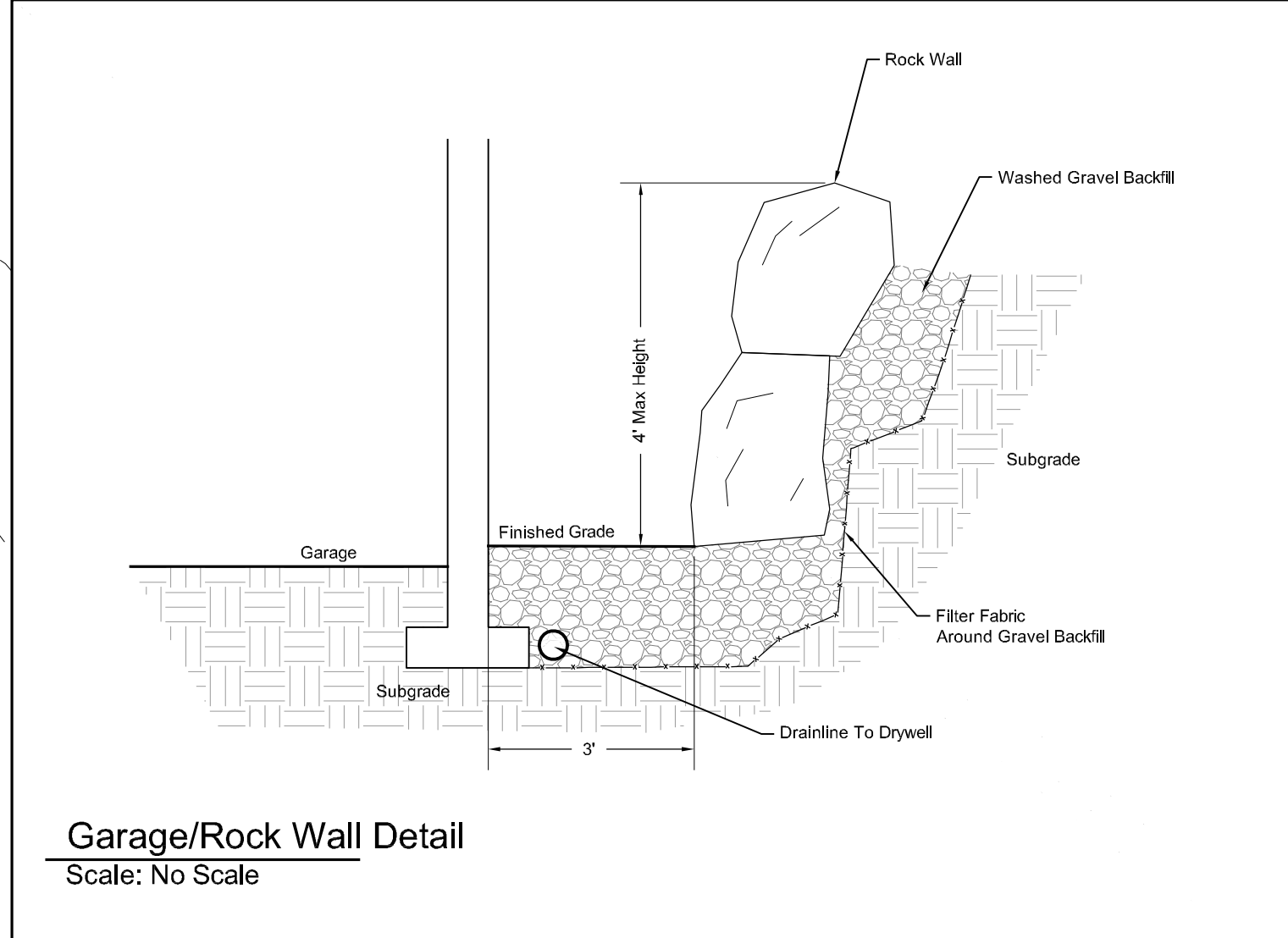
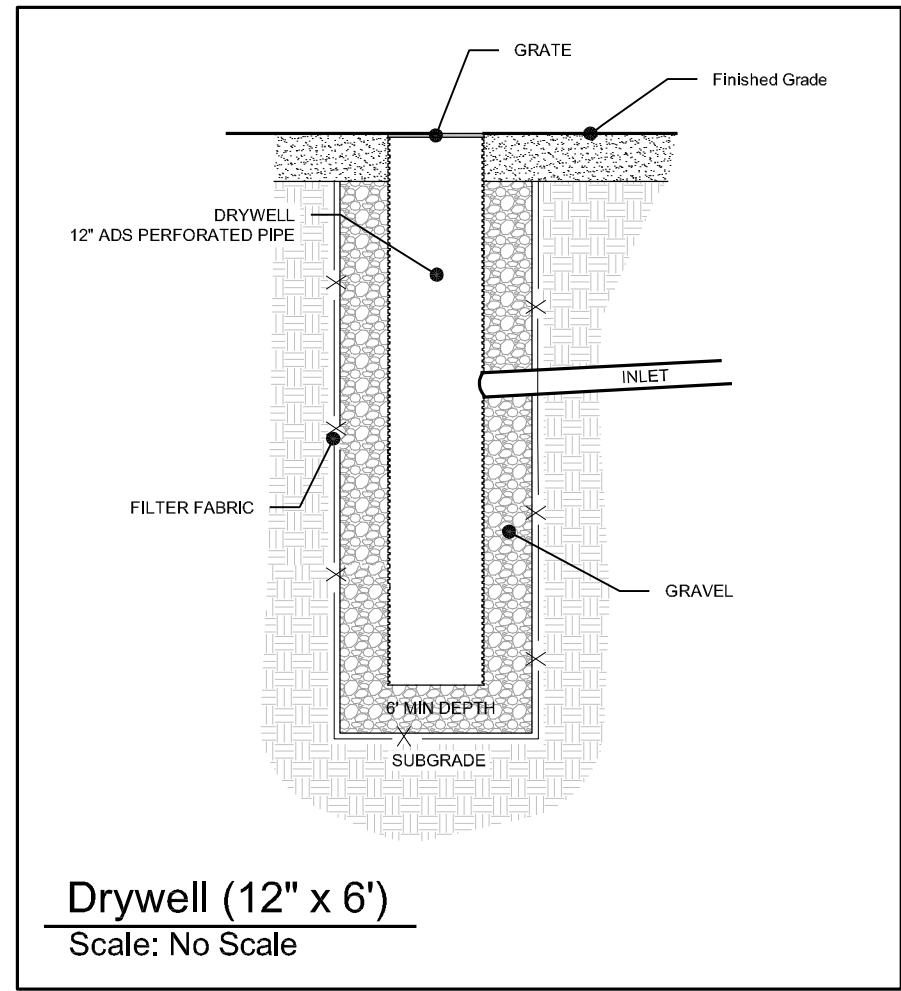


**General Notes**

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**NOTE:**  
Existing Drainage Patterns  
And Infrastructure To  
Remain Undisturbed



**Bigwood Condos #3**

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landscape architecture

T: (208) 725-0988  
F: (208) 725-0972

P.O. Box 955  
Ketchum, ID. 83740

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

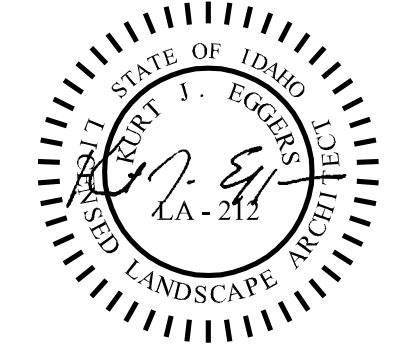
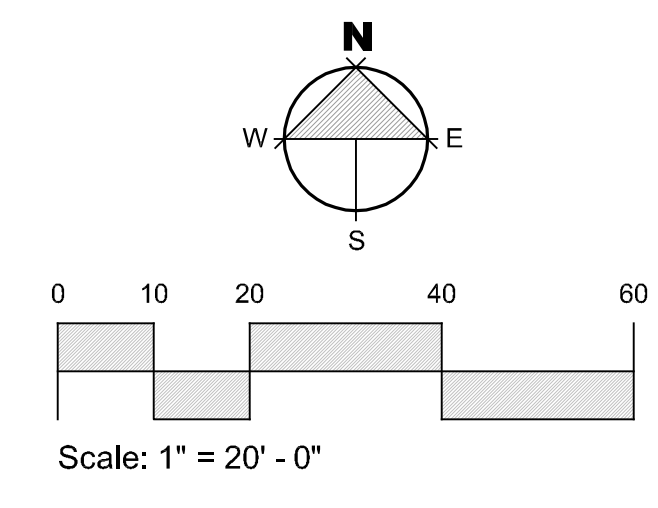
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Scale: 1" = 20'-0"

Issue/Revisions: Date:  
Design Review 03/15/21  
RVSD 05/20/21  
RVSD 11/08/22  
RVSD 02/14/23  
RVSD 04/24/23

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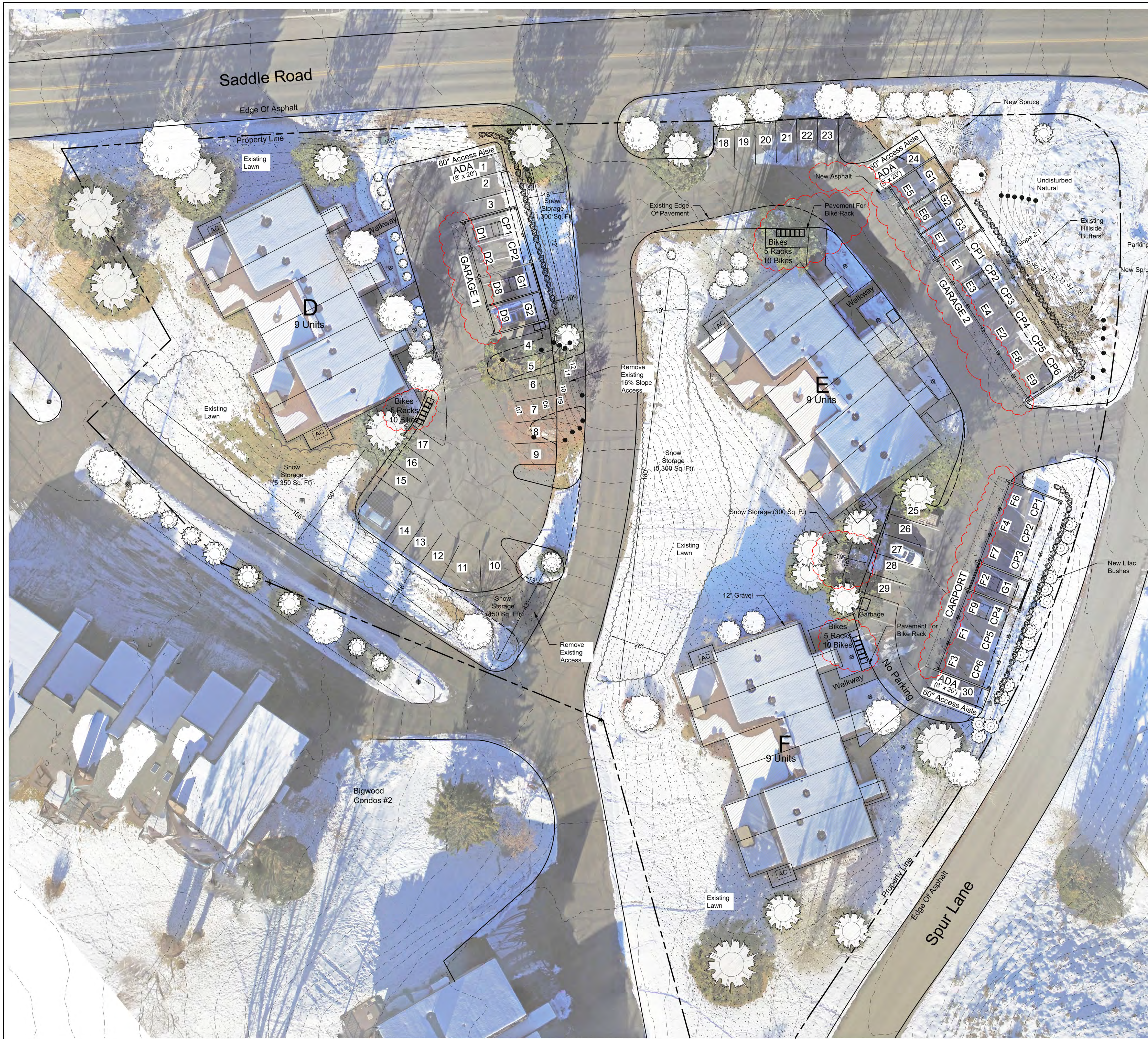
Sheet Title:  
**Grading Plan**

Sheet No:  
**L2**



REVISED - 04/24/23

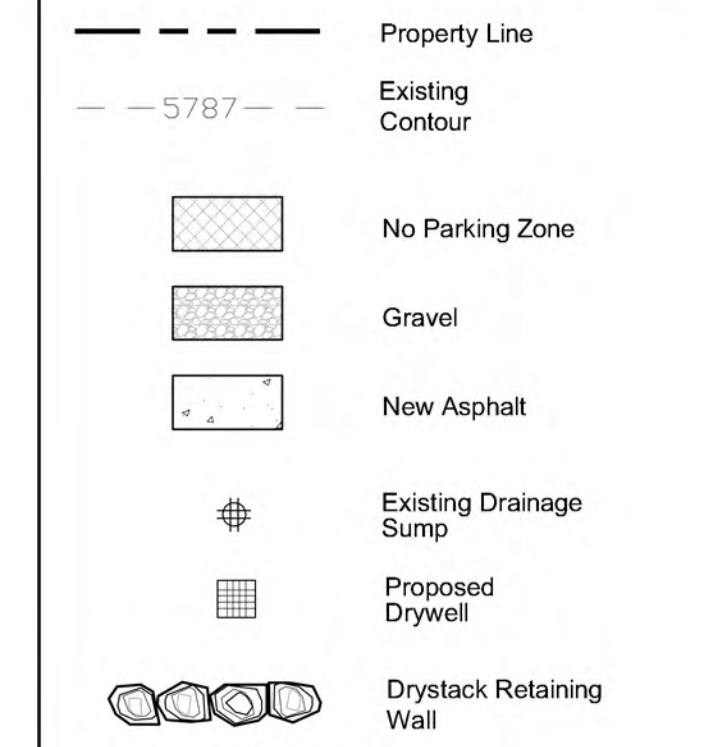




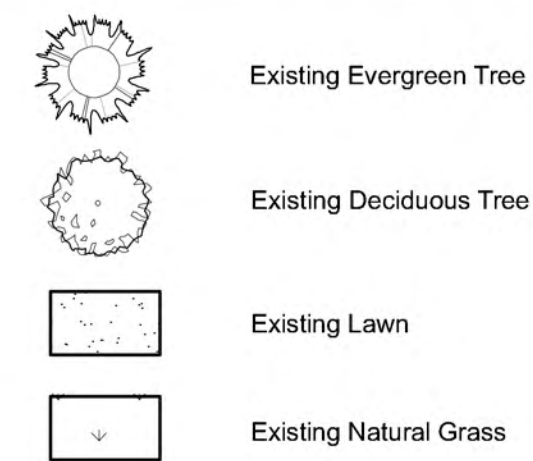
**General Notes**

1. Base map information taken from survey by Patterson & Puchner Engineers dated 11/20/73, Benchmark Associates 07/07/16, Alpine Enterprises 03/03/23 and from on-site information. Architectural information provided by Blincoe Architecture dated 01/25/21. Contractor shall verify conditions in the field prior to construction.
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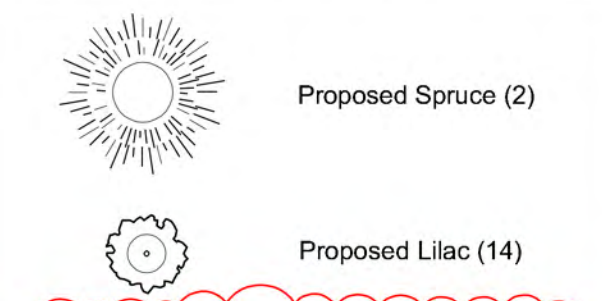
**Plan Legend**



**Existing Plant Legend**



**Plant Legend**



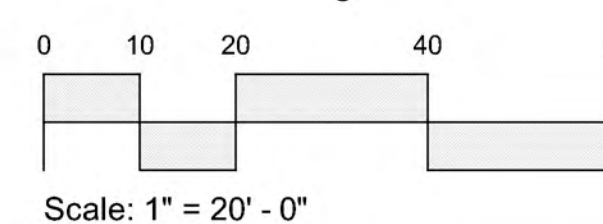
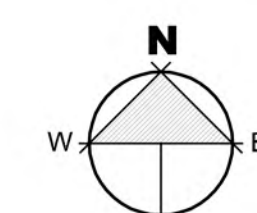
**NOTE: All Proposed Plant Species Are Drought Tolerant**

**Snow Storage**

Parking Area Linear Feet:	836 Ft.
	/ 55 = 15.2
	X 150
Required Snow Storage:	2,280 Sq. Ft.
Proposed Snow Storage:	12,700 Sq. Ft.

**Landscape Notes:**

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.



Aerial Photo: UAV Flight 12/03/20

Bigwood  
Condos #3

EGGERS ASSOCIATES, P.A.  
landscape architecture  
T: (208) 725-0988  
F: (208) 725-0972  
P.O. Box 975  
Ketchum, ID. 83340

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

Job No: 20.41

Scale: 1"=20'-0"

Issue/Revisions: Date:

Design Review 03/15/21

RVSD 05/20/21

RVSD 11/08/22

RVSD 02/14/23

RVSD 04/24/23

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Sheet Title:  
Landscape  
Plan

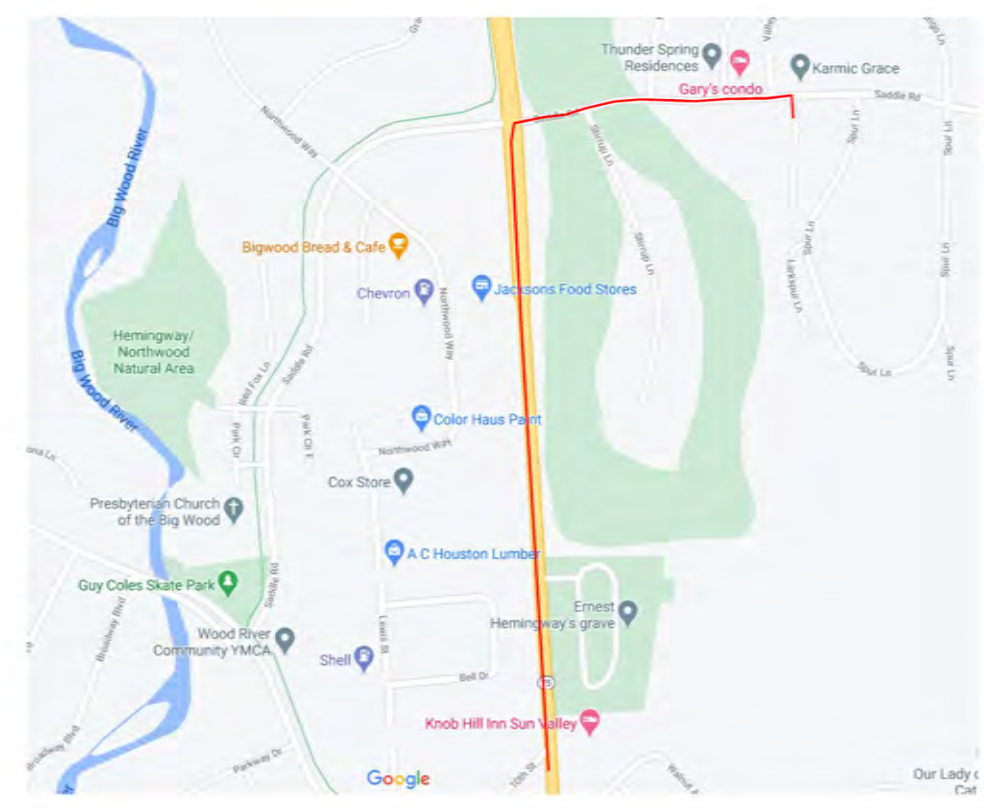
Sheet No:

L3





Bike Racks	
One Rack For Two Bikes Per Four Parking Spaces	
Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes



**TRUCK ROUTE**  
NTS

**CONSTRUCTION MANAGEMENT**

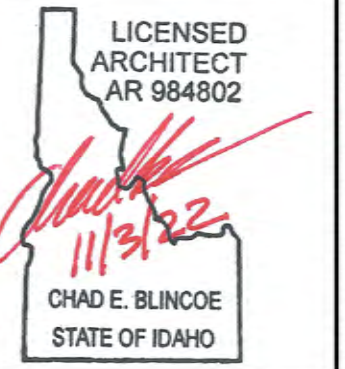
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**DESIGN REVIEW SET**  
NOT FOR CONSTRUCTION

JOB #:	01120
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/4/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△	
△	
△	
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△	

**A0**

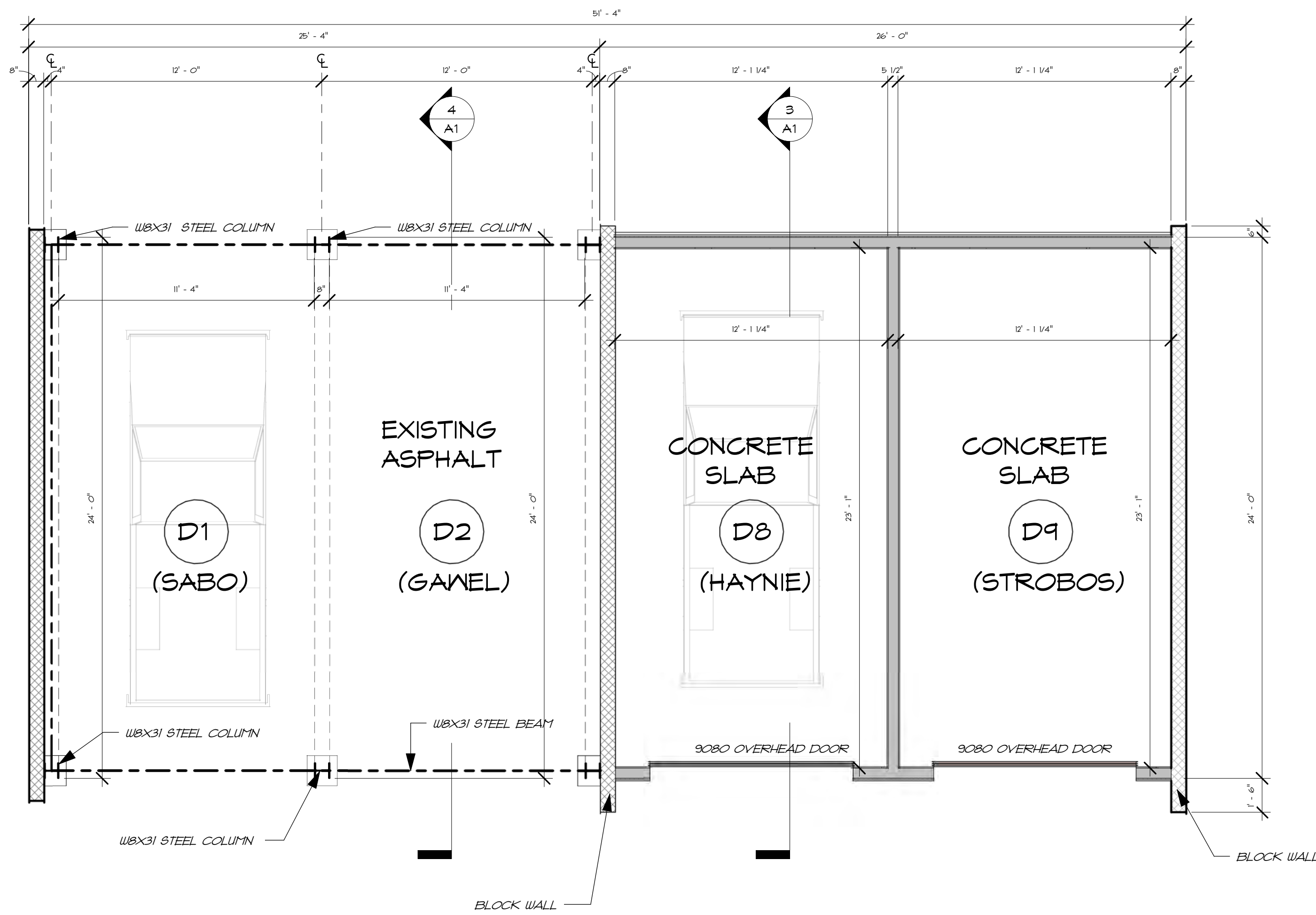
**BIGWOOD III GARAGES**  
BIGWOOD CONDOMINIUM III  
127 SADDLE RD, KETCHUM ID 83340



**Blincoe Architecture**  
www.BlincoeArchitecture.com  
URS/REF: 251 Northwood Way Suite E  
Ketchum, Idaho 83340  
Tel: 208/726-1525  
Email: info@blincoearchitecture.com

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



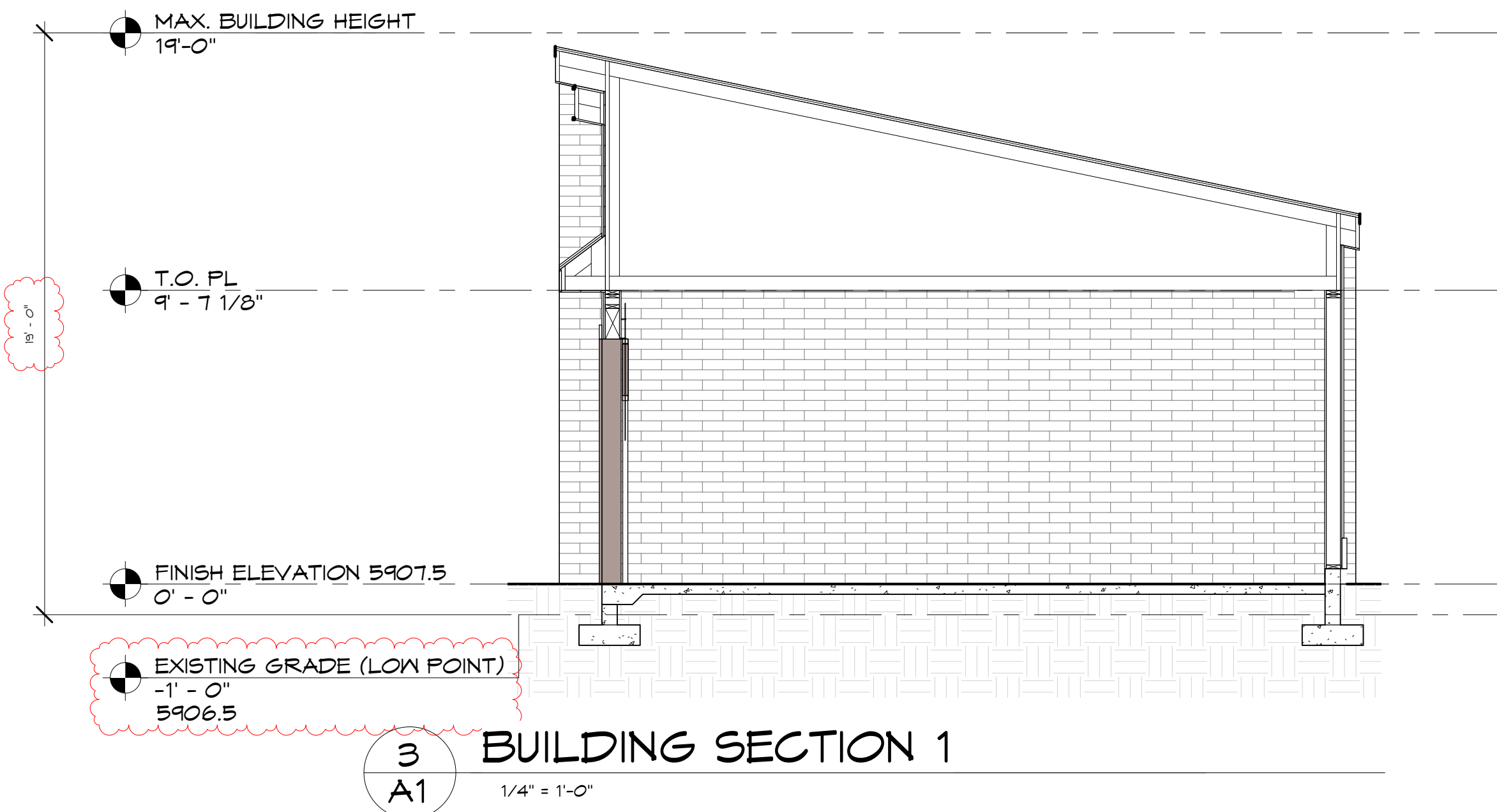


1 FLOOR PLAN  
A1 1/4" = 1'-0"

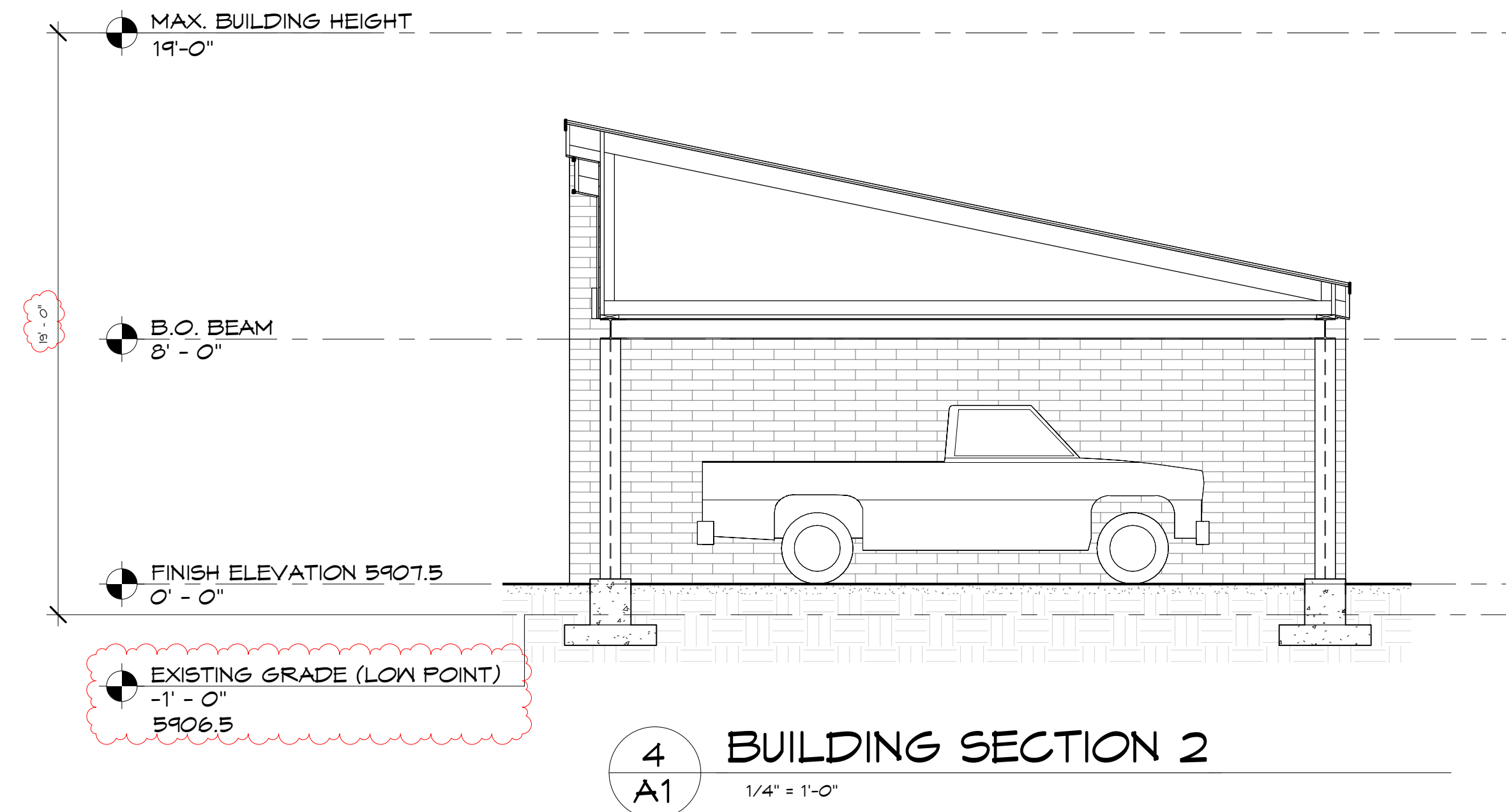


2 EXTERIOR PERSPECTIVE  
A1

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED



3 BUILDING SECTION 1  
A1 1/4" = 1'-0"



4 BUILDING SECTION 2  
A1 1/4" = 1'-0"

SQUARE FOOTAGE TABULATION:

CARPENT	611 SQ. FT.
ENCLOSED GARAGE	627 SQ. FT.
<b>TOTAL:</b>	<b>1,238 SQ. FT.</b>

# GARAGE 1

www.BlincoeArchitecture.com  
**Blincoe Architecture**  
Mobi: 208-424-8340  
P.O. Box 4424 Ketchum, Idaho 83340  
Tel: 208-720-1325  
info@BlincoeArchitecture.com

LICENSED ARCHITECT  
AR 984802  
CHAD E. BLINCOE  
STATE OF IDAHO

**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

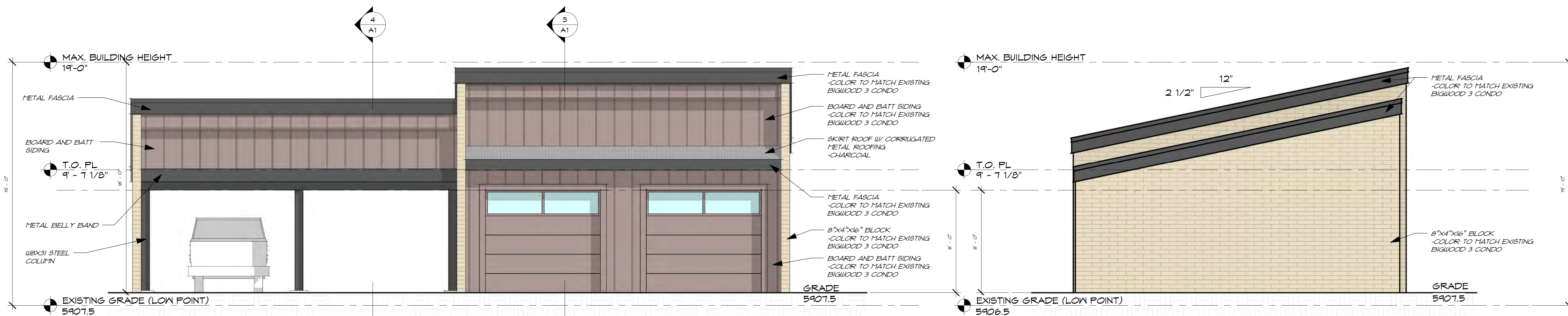
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PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	DESIGN REVIEW SET 3/15/21
	DESIGN REVIEW SET UPDATED 11/3/21
	DESIGN REVIEW SET UPDATED 11/8/22
	DESIGN REVIEW SET UPDATED 3/21/23

A1

DESIGN REVIEW SET - UPDATED  
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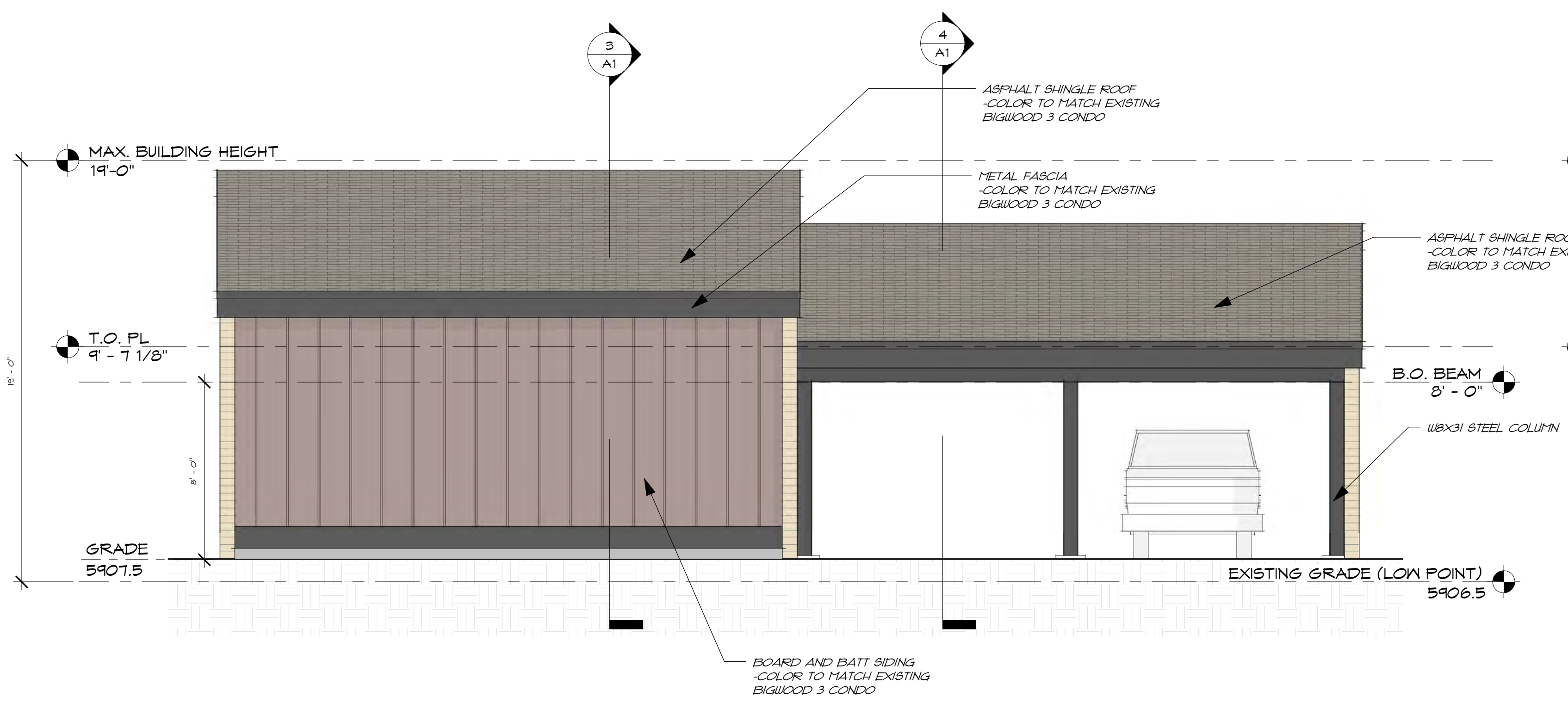
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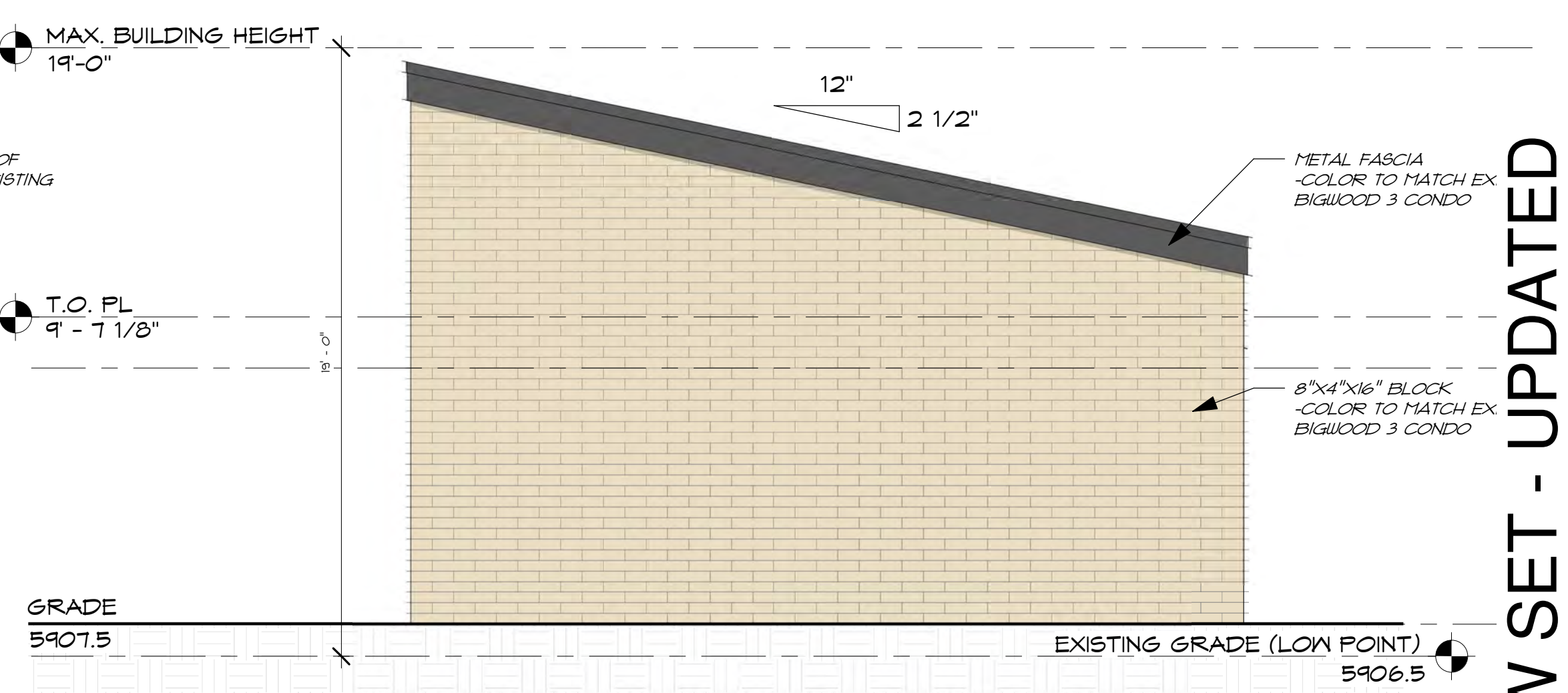


1 FRONT ELEVATION  
A2 1/4" = 1'-0"

2 LEFT SIDE ELEVATION  
A2 1/4" = 1'-0"



3 REAR ELEVATION  
A2 1/4" = 1'-0"

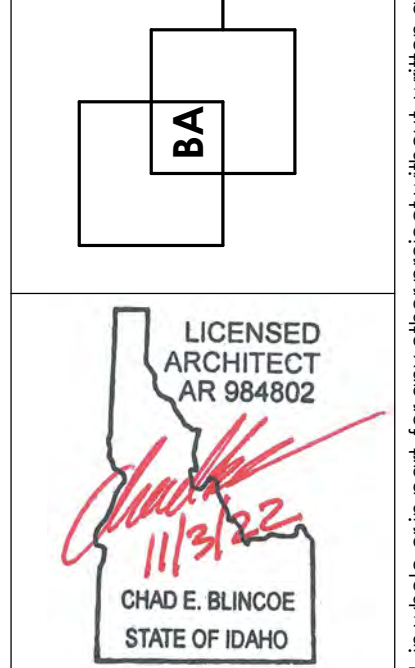


4 RIGHT SIDE ELEVATION  
A2 1/4" = 1'-0"

# GARAGE 1

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 Tel.: 208-720-1325



**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	11/8/22
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	DESIGN REVIEW SET 3/15/21
	DESIGN REVIEW SET UPDATED 11/3/21
	DESIGN REVIEW SET UPDATED 11/8/22
	DESIGN REVIEW SET UPDATED 3/21/23

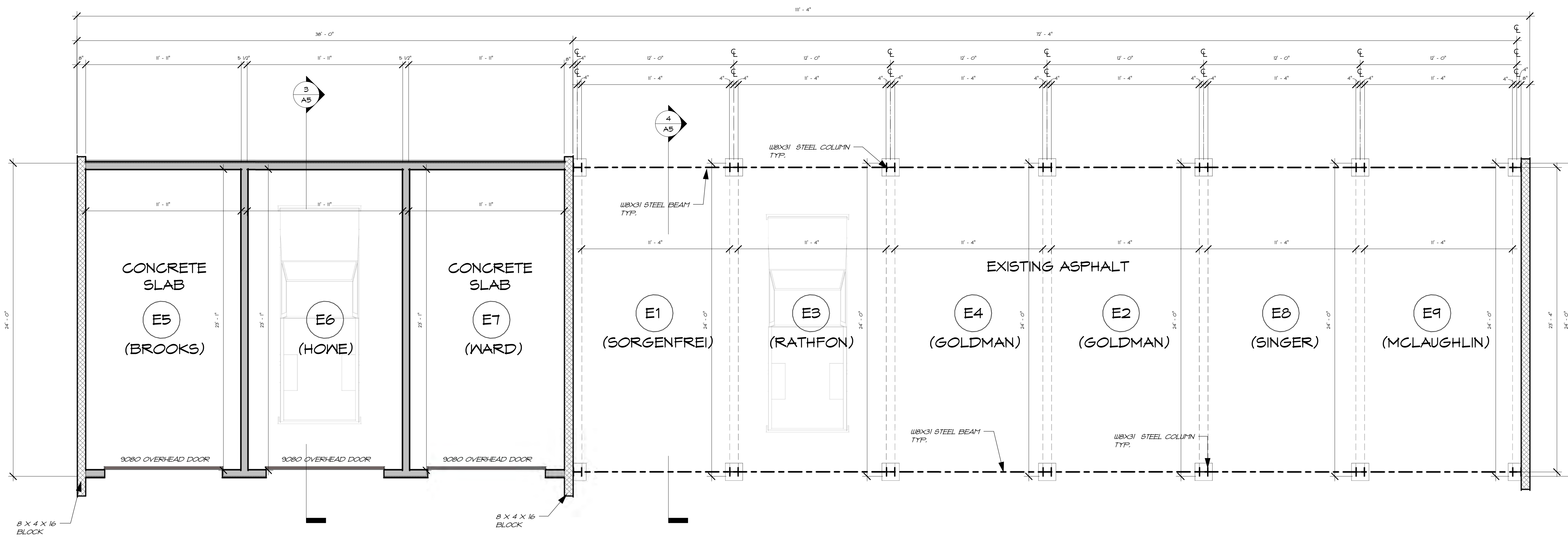
A2

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1 EXTERIOR PERSPECTIVE  
A3



2 FLOOR PLAN  
A3 1/4" = 1'-0"

**SQUARE FOOTAGE TABULATION:**

CARPORT	1,760 SQ. FT.
ENCLOSED GARAGE	912 SQ. FT.
<b>TOTAL:</b>	<b>2,672 SQ. FT.</b>

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

**GARAGE 2**

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 STATE OF IDAHO

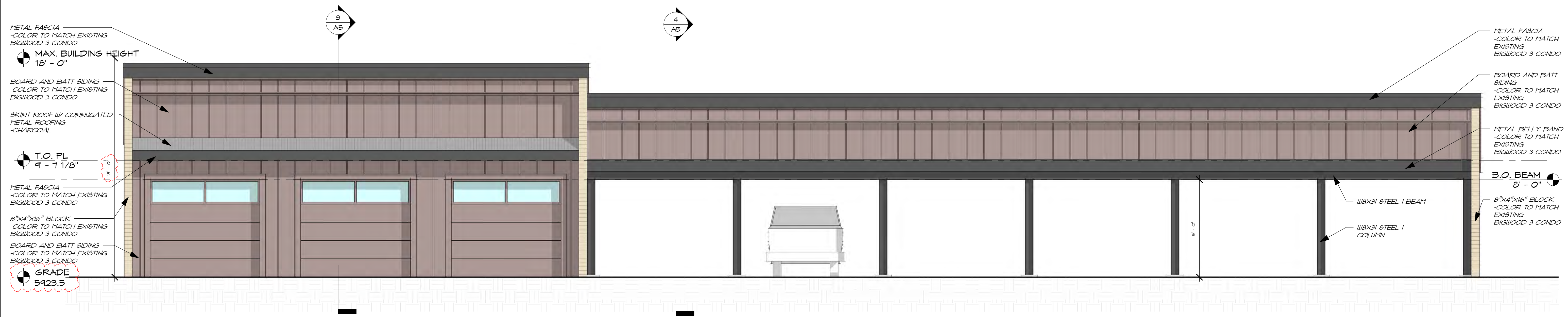
**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #: 011.20  
 PLOT DATE: 3/21/23  
 DESIGN REVIEW: 11/8/22  
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A3

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1 FRONT ELEVATION  
1/4" = 1'-0"

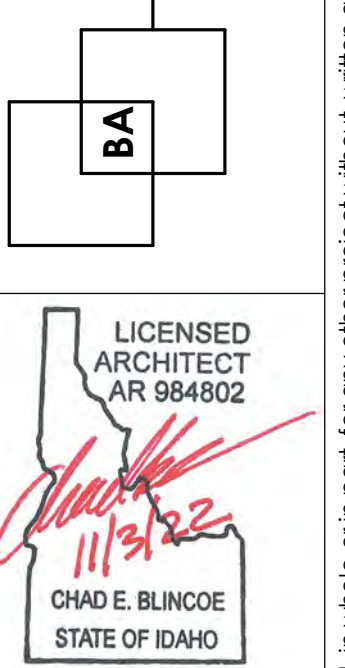


3 REAR ELEVATION  
1/4" = 1'-0"

# GARAGE 2

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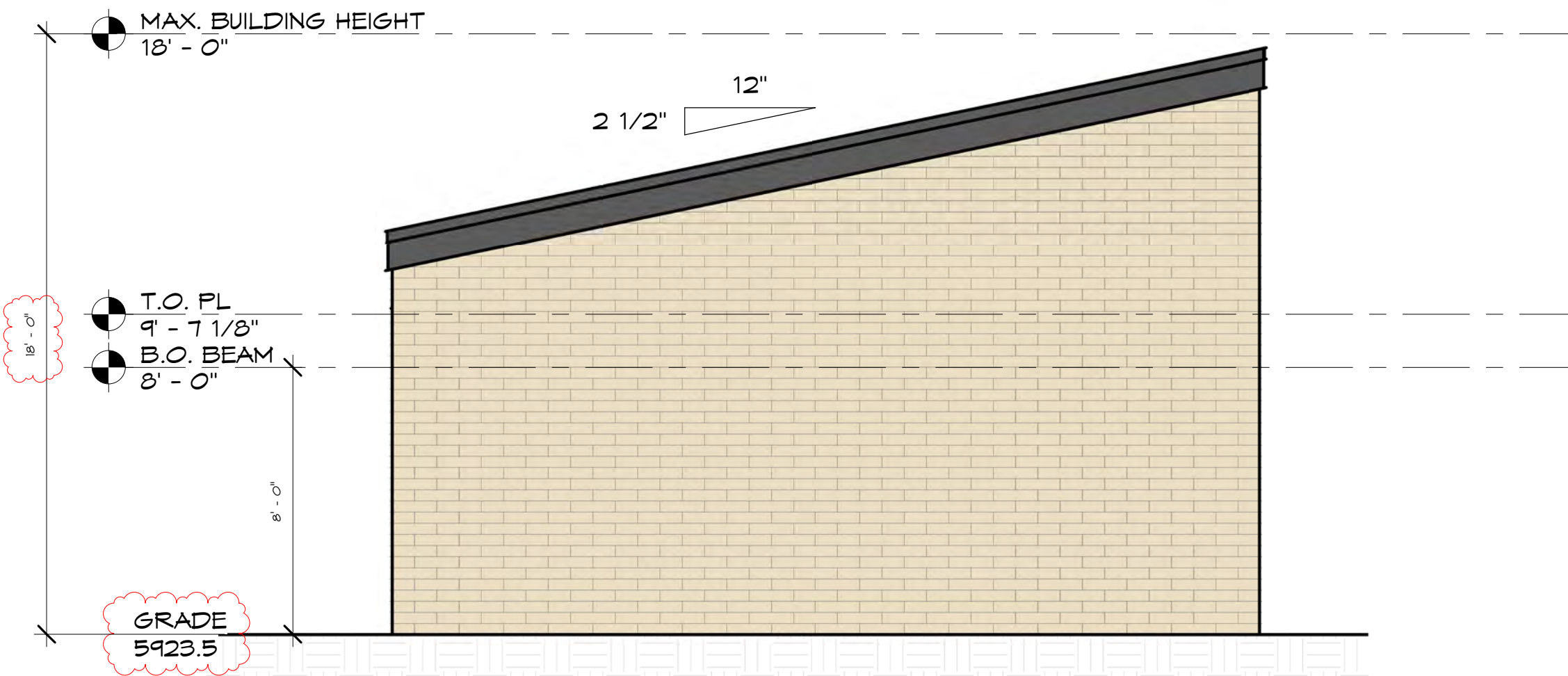
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 SADDLE ROAD  
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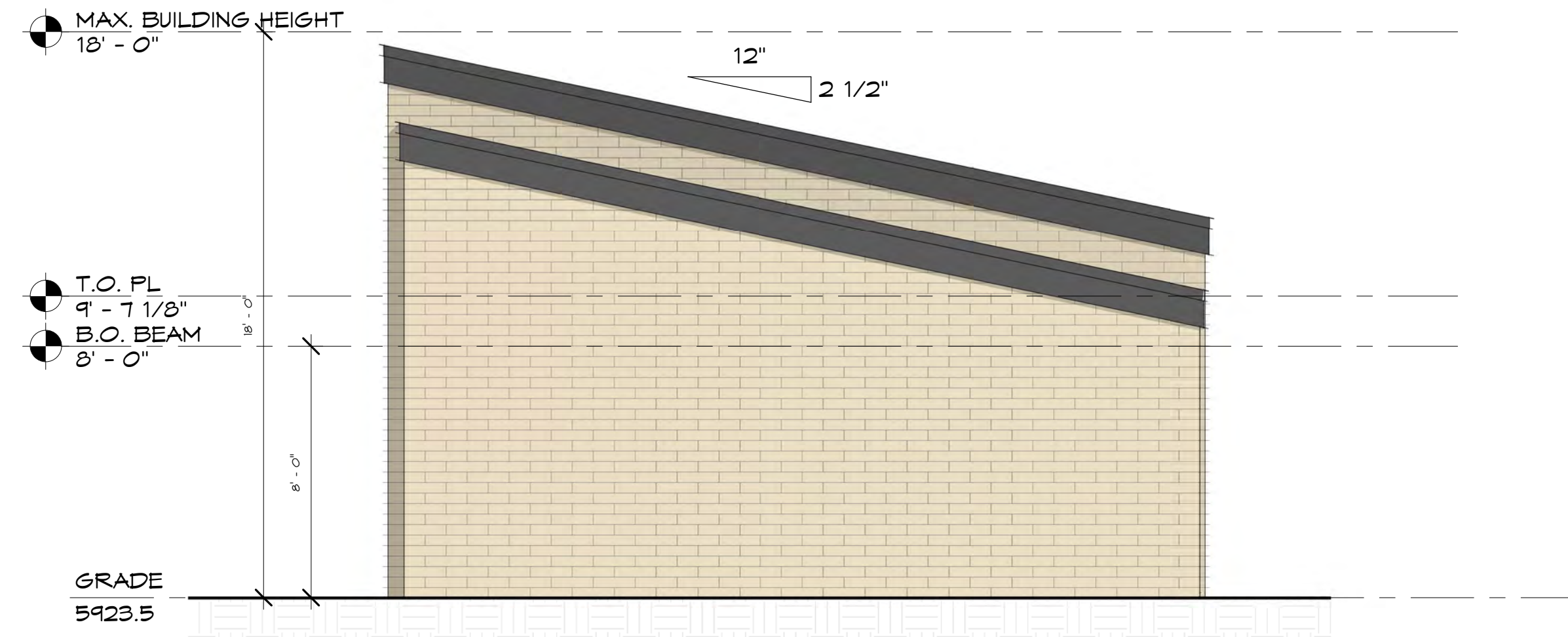
A4

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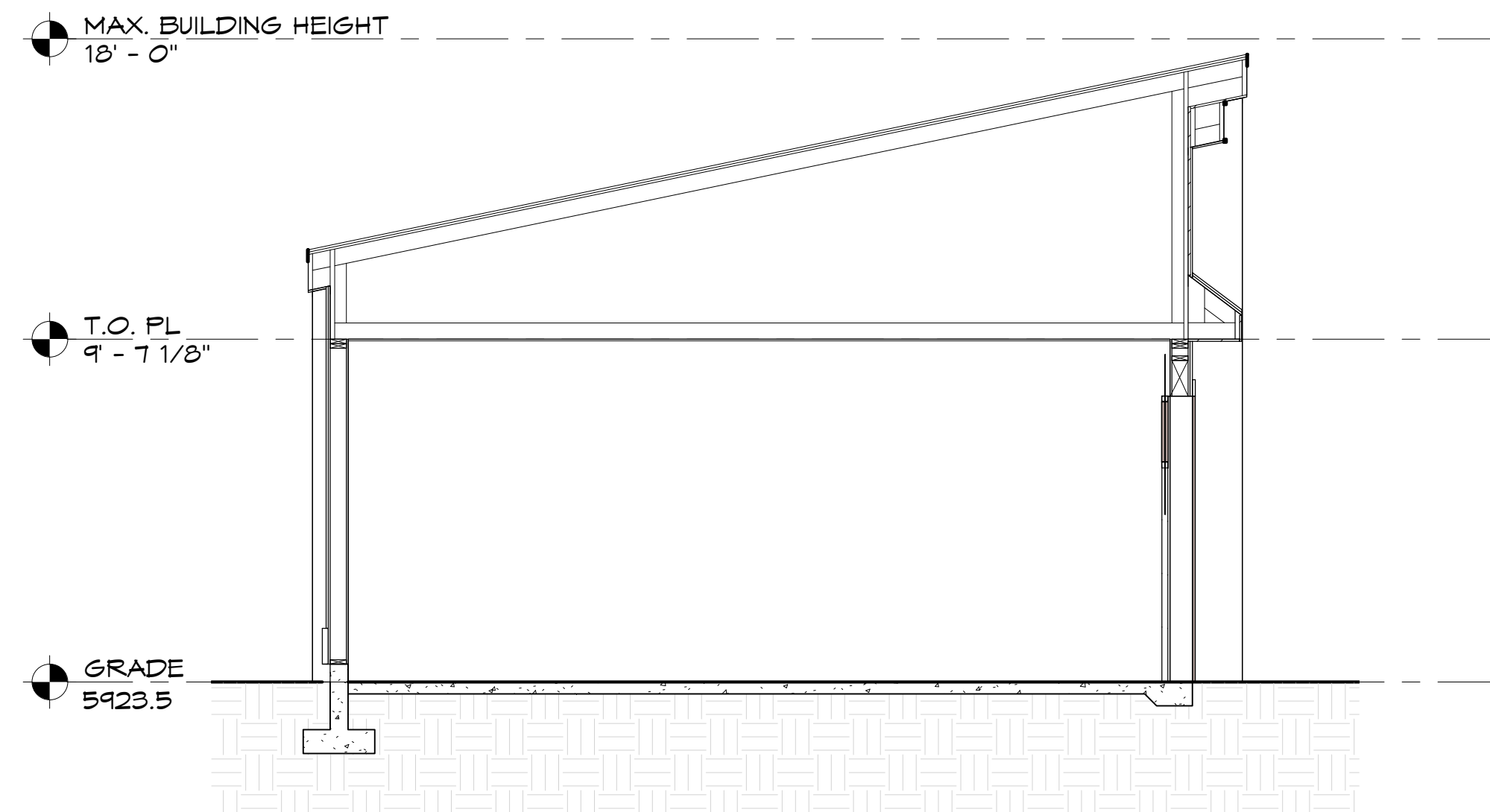




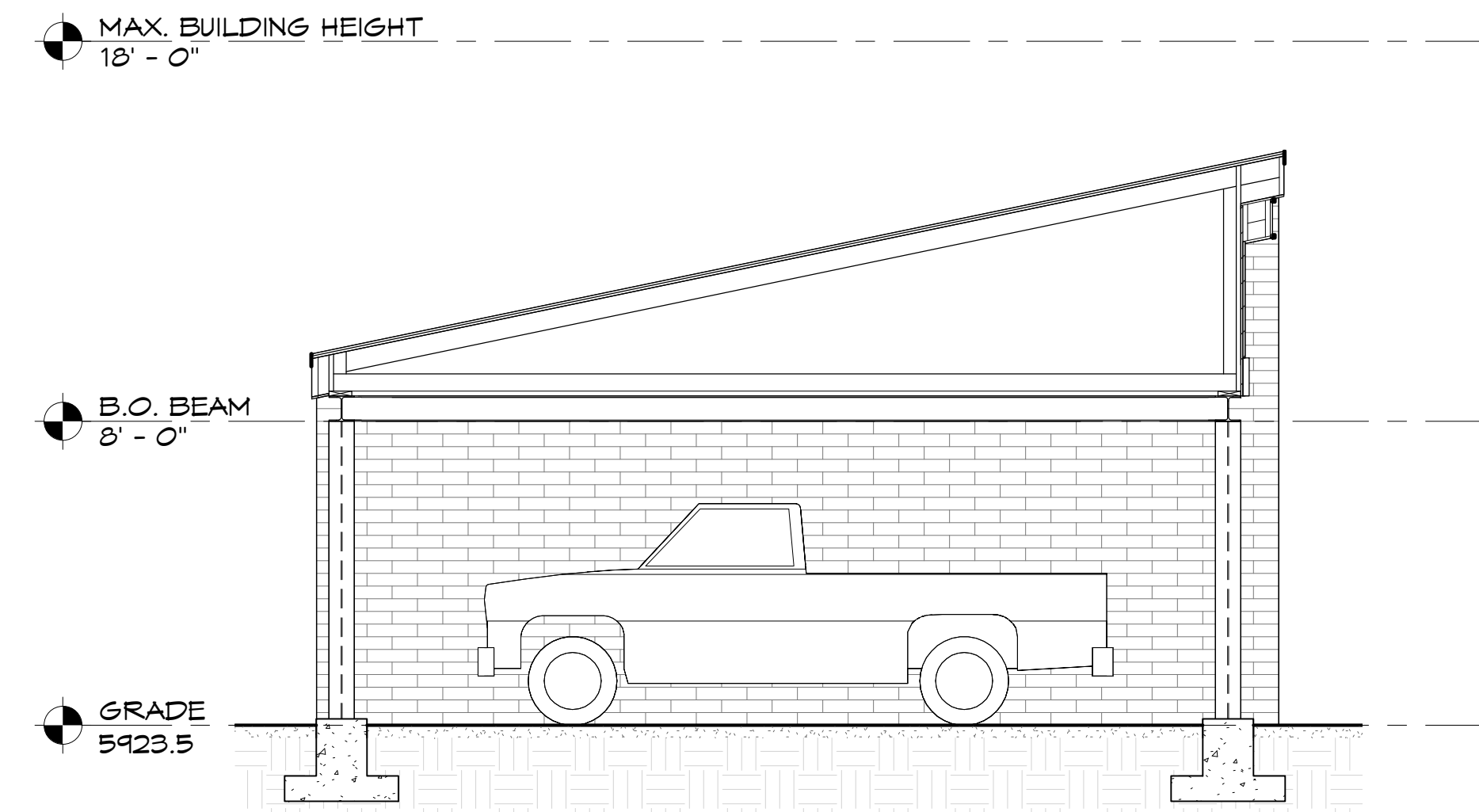
1 LEFT SIDE ELEVATION  
A5 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
A5 1/4" = 1'-0"



3 BUILDING SECTION 1  
A5 1/4" = 1'-0"



4 BUILDING SECTION 2  
A5 1/4" = 1'-0"

# GARAGE 2

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**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #:	011.20
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	DESIGN REVIEW SET UPDATED 3/21/23

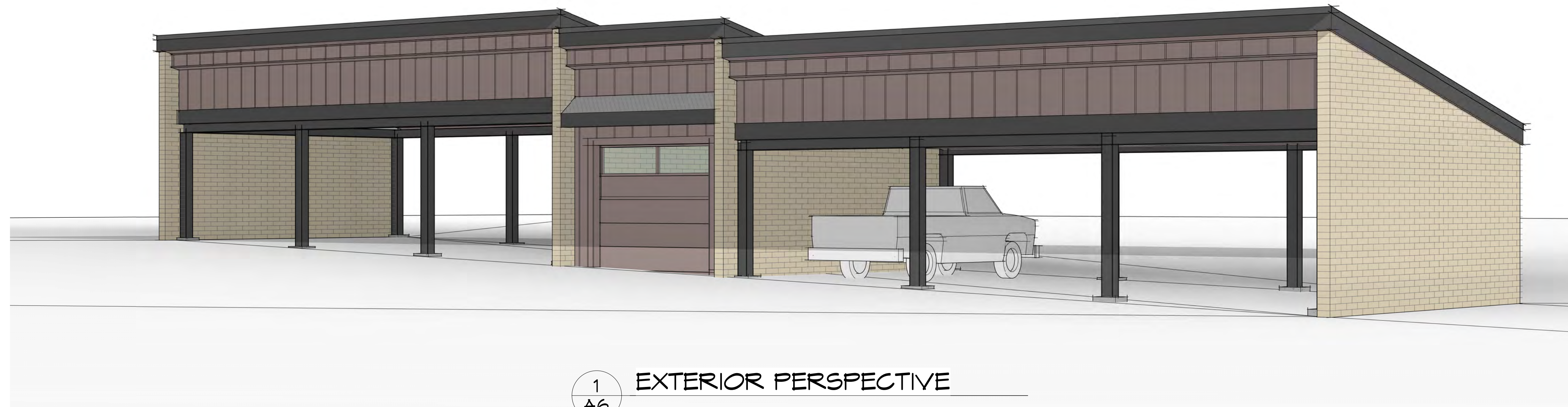
A5

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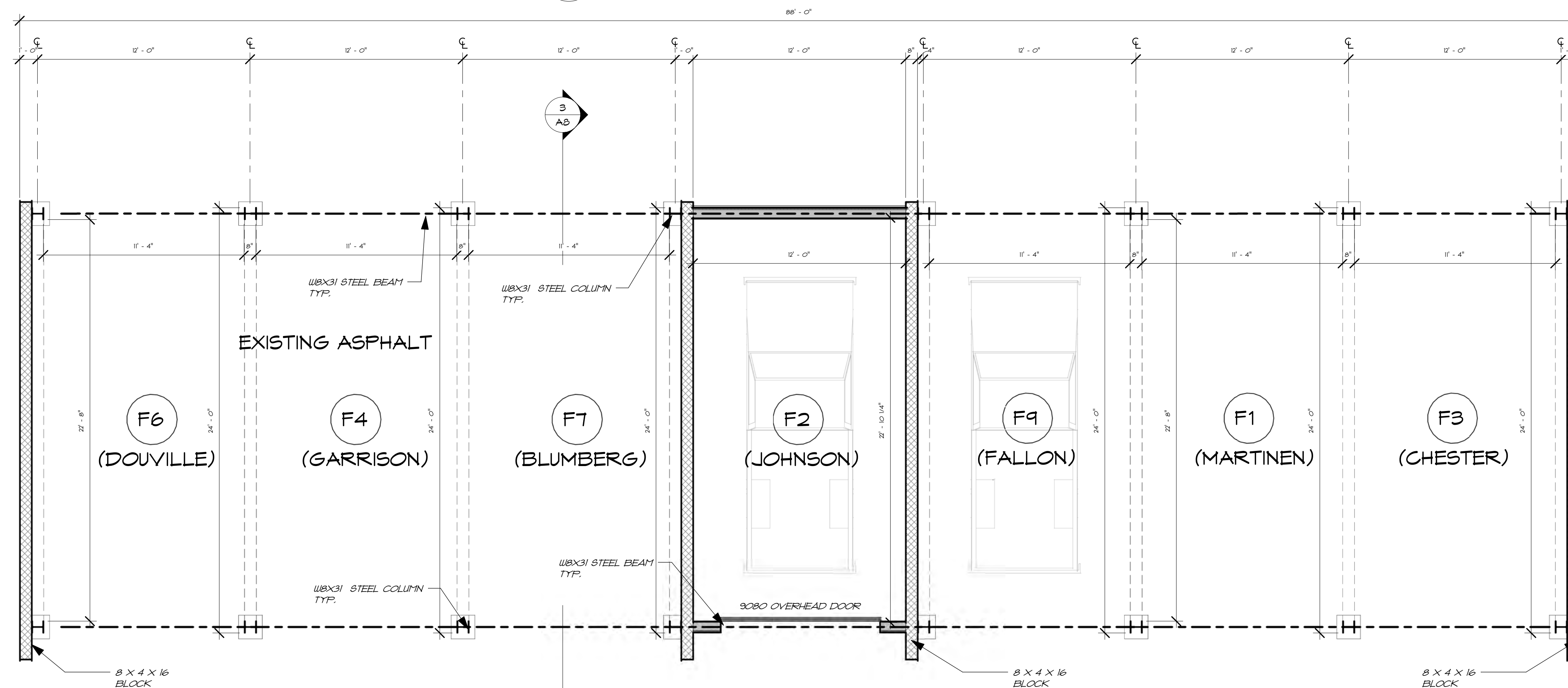
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1 EXTERIOR PERSPECTIVE  
A6



**SQUARE FOOTAGE TABULATION:**

CARPORT	1,792 SQ. FT.
ENCLOSED GARAGE	320 SQ. FT.
<b>TOTAL:</b>	<b>2,112 SQ. FT.</b>

2 FLOOR PLAN  
A6 1/4" = 1'-0"

**CARPORT**

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

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**BIGWOOD III GARAGES**  
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DESIGN REVIEW SET	UPDATED 11/3/21
DESIGN REVIEW SET	UPDATED 11/8/22
DESIGN REVIEW SET	UPDATED 3/21/23

A6





1  
A7 FRONT ELEVATION  
1/4" = 1'-0"

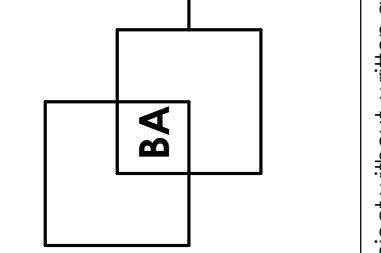


3  
A7 REAR ELEVATION  
1/4" = 1'-0"

# CARPORT

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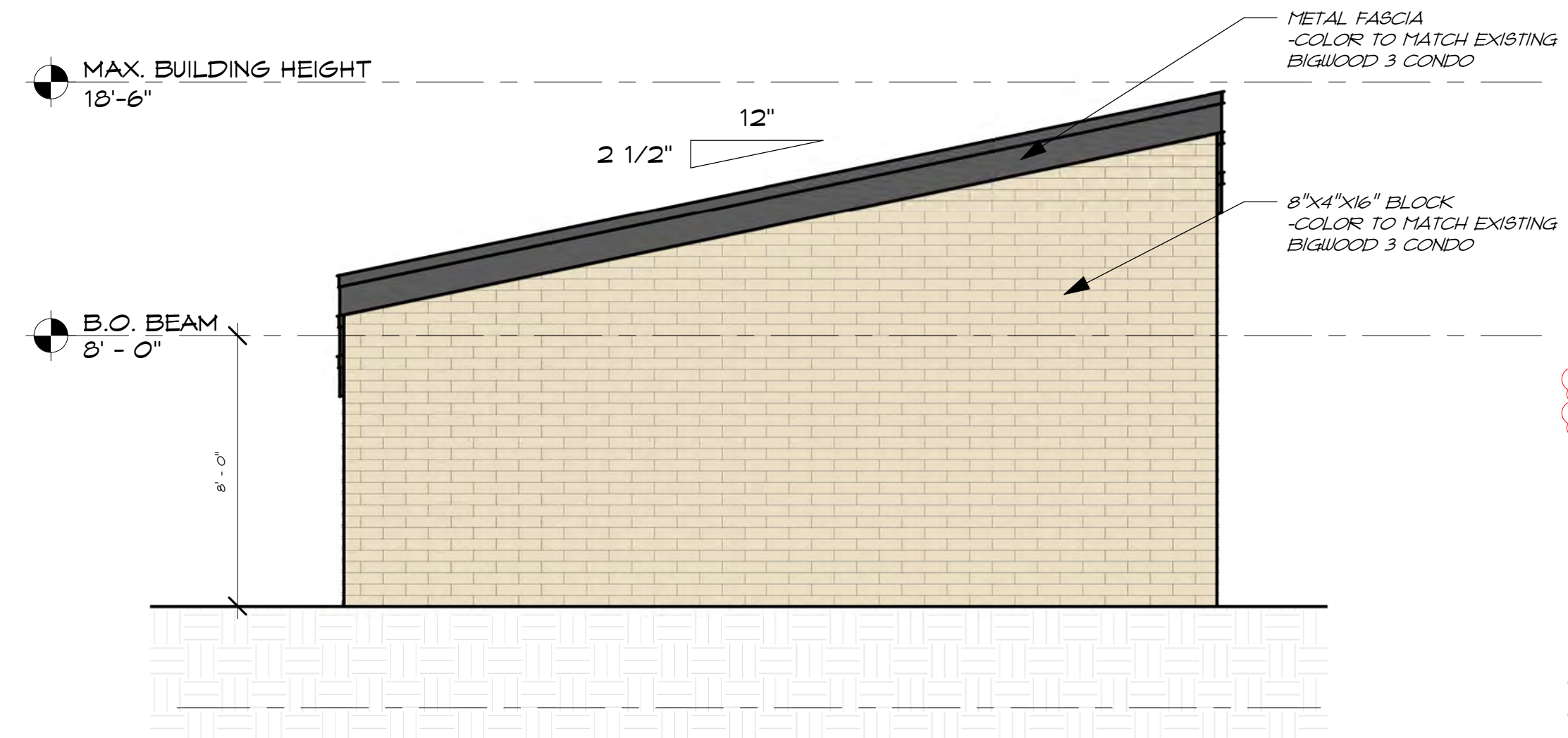
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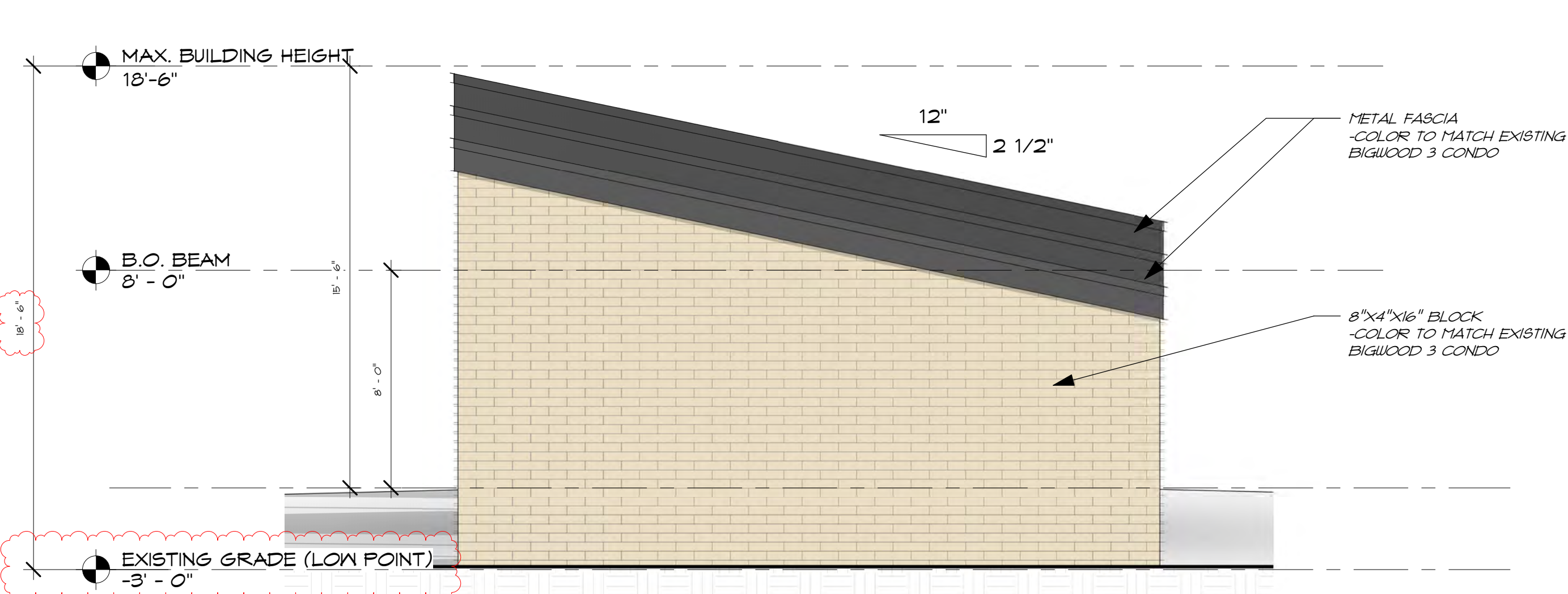
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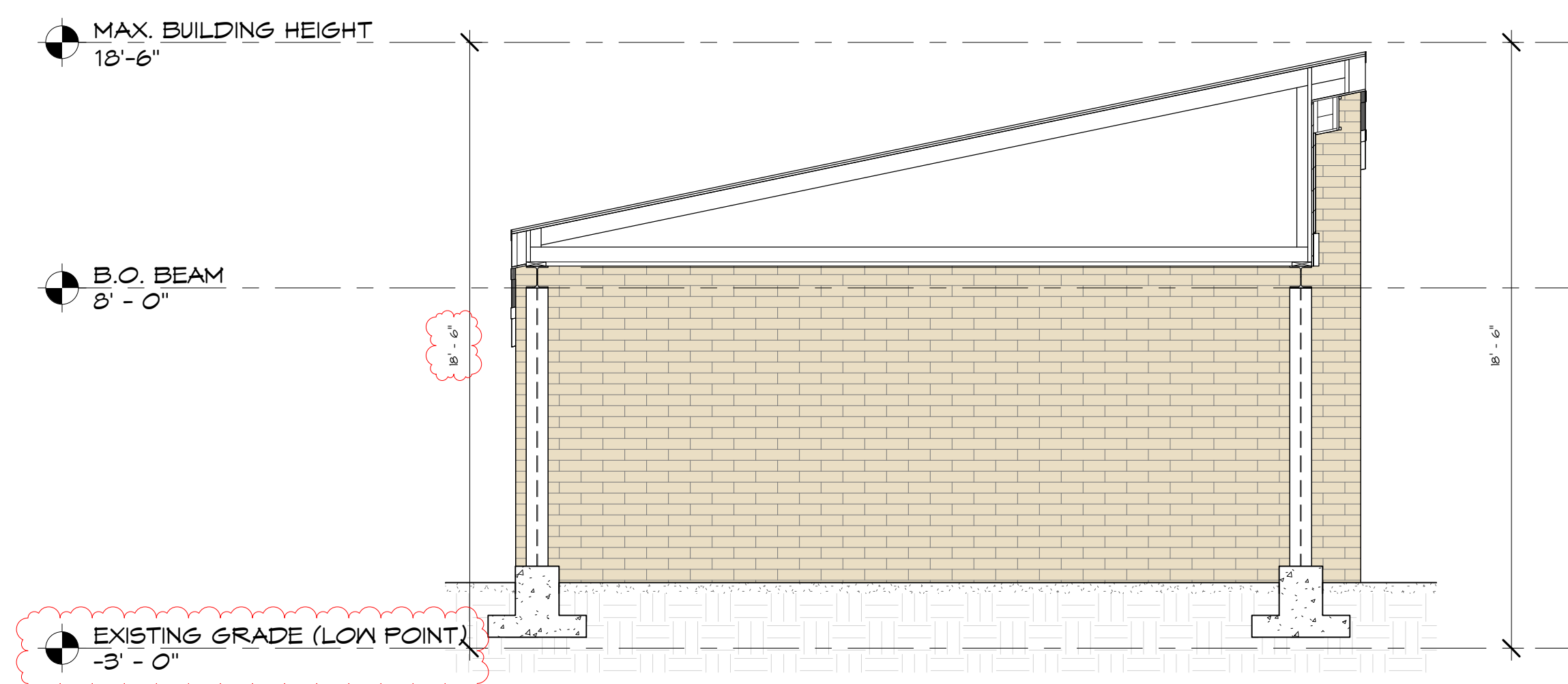




1 LEFT SIDE ELEVATION  
A8 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
A8 1/4" = 1'-0"



3 BUILDING SECTION  
A8 1/4" = 1'-0"

# CARPORT

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A8

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TYPICAL FASCIA



BOARD AND BATT SIDING



8 X 4 X 16 DECORATIVE BLOCK

NOTE:  
MATERIALS TO MATCH EXISTING BIGWOOD 3 CONDOS



ASPHALT SHINGLE ROOF



CHARCOAL GRAY METAL  
METAL ROOF, STEEL COLUMNS AND BEAMS

Interactive spec sheet with links to larger images and spec sheets of accessories

**LD6R**  
6" Round Deep Regressed LED Open Plenum 18W

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Model #: \_\_\_\_\_ Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

SPECIFICATION	
Applications	Recessed Ceiling Mount
Energy Used	18W
Color Temperature (K)	2700   3000   3500   4000   5000   DTW   SCCT
Light Output (lm)	1500   1550   1600   1650   1700   1150
Beam Angle	38°
CRI	90+
Default Driver Input	120V AC
Optional Driver Input	120V/347V AC
Junction Box Wire Capacity	Max 5 No 12 AWG or 8 No 14 AWG
Power Factor	0.98
Approved Location	Insulated Ceilings, Open Plenum, Wet
IP Rating	IP 54
Air Tight	Yes
Ambient Temperature	-40°F (-40°C) to +104°F (+40°C)
Projected Life	70% Light Output at 50,000 Hours
Certification	cULus, Energy Star (except DTW & SCCT), T24
Warranty	10 Year Residential / 5 Year Commercial

**AVAILABLE TRIMS**

White Reflector	Silver Reflector	Black Reflector	Black Reflector	Silver Reflector
White Trim	White Trim	Black Trim	Black Trim	Black Trim
WR-WT	SR-WT	BR-WT	BR-BT	SR-BT

**ACCESSORIES** Sold Separately

- Armored Low Voltage Extension JDR model# MECLD
- 26" Long Flat Rough-In Plate model# R1P6
- 13" Flat Rough-In Plate model# MPE-2
- Flanged Plate with Hanger Bars model# FRP6
- Goof Ring OD 7 5/8" White # GR6 Black # GR6-BK

**ORDERING GUIDE** Example: LD6R-SCCT-WR-WT

LD6R	CCT	Reflector-Trim
	-xxK	-xx-xx
2700K	27K	WR-WT
3000K	30K	SR-WT
3500K	35K	BR-WT
4000K	40K	BR-BT
5000K	50K	SR-BT
Dim To Warm	52K	Dim to Warm 3000K to 2000K
5 CCT	SCCT	
SCCT user selectable is 2700-3000-3500-4000-5000K		

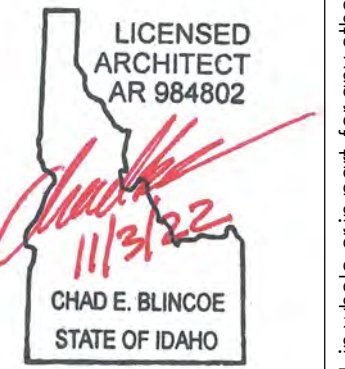
Lotus LED Lights USA  
250 H Street # 301, Blaine VA 98230 tel 360-200-5200  
Hainesport NJ, Naples FL, Dallas TX, Vancouver WA

www.LotusLEDlights.com

Lotus LED Lights CANADA  
702 Chester Rd, Delta BC V3M 6J1 tel 604-538-3090  
Delta BC & Mississauga ON

CEILING MOUNTED RECESSED LIGHT

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**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

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**Jur Strobos**  
127 Saddle Road  
Bigwood Condominium D9  
Ketchum, ID 83340

783-285-9280  
[jurstrobos@me.com](mailto:jurstrobos@me.com)

---

Planning and Zoning Committee  
PO Box 2315  
City of Ketchum  
City Hall  
191 5<sup>th</sup> Street West  
Ketchum ID 83340

May 19, 2023

**In re: Bigwood Condominium No. 3, Inc. Covered Parking Plan**

4:30 PM May 23, 2023

By Email: [PlanningandZoning@ketchumidaho.org](mailto:PlanningandZoning@ketchumidaho.org); [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)

Dear Neil Morrow, Chairman; Brenda Moczygamba, Vice Chairperson; and Commissioners, Tim Carter, Spencer Cordovano and Susan Passovoy:

I am the President of the Bigwood Condominium No. 3, Inc., Homeowner's Association ("Bigwood 3 Community"). We look forward to the meeting on Tuesday, May 23. We appreciate that the City of Ketchum supports our project. However, we would propose two changes to the recommendations made by the City:

- Given the passage of time since originally submitted in March 2021, and changes in the market conditions, we would appreciate extending the term of design Review approval to 18 months from the 12 months recommended by the City. As we note below, the Bigwood 3 Community is one of the few affordable housing units in the City and the residents do not all have ready access to the cash needed to start construction. To permit time for individuals to obtain financing, we would like the flexibility to break ground before the fall of 2024. A 12 month expiry may not provide sufficient time to complete financing by our owners.
- The City notes that the current plans do not provide for snow retention devices designed to protect pedestrians who may be walking behind the parking structures. The cited section of the code, 17.96.060.F.8, states: "[b]uilding design shall include weather protection which prevents water to drip or snow to slide on areas where ***pedestrians gather and circulate or onto adjacent properties.***" [Emphasis added.] A quick glance at the elevations and locations of the parking structures will show that this code is inapplicable. Pedestrian passage behind the structures is not a physical possibility – the parking structures back up against 30 to 40 degree hill slopes or rock outcroppings. Hence, pedestrians are incapable of "gathering" on the back side of the parking structures. Further, none of the structures could cause snow to slide onto adjacent properties since they are inset away from the property line. We would propose that the Committee revise to require snow retention devices "only where pedestrian passage behind the parking structures is physical feasible or there are designated walkways."



Additionally, we note a comment from one of neighbors regarding water drainage and/or an apparent water line breakage under Spur Lane. We note, as the City notes, that our plans encompass significant work on assuring drainage under the parking structures and thus assure that any water entering our property is properly handled.

The Bigwood 3 Community is one of the few privately-run, owner-occupied, affordable housing complexes for local workers left within the City of Ketchum. Over the period of my own personal residence in the Valley – twenty plus years – long term tenants, residents, or owners in the Bigwood 3 Community have included:

- A teacher at the Sun Valley Community School
- Retail salesperson in clothing
- A local fireman
- Bar and restaurant owners, including former owners of Sushi-on-Second and The Cellar Pub
- Bar and restaurant workers, including the former manager of Il Naso
- Athletic trainers
- A former member of the Planning and Zoning Commission
- A beer brewmaster
- An instructor at the Sun Valley Gun Club
- Parents of a local architect
- Local real estate agents
- An owner of one of Ketchum’s first retail clothing stores
- A local builder
- Local accountants
- A local veterinarian

What we do not have are non-resident, out-of-state, owners other than for three original units which are owned by a time share based in Salt Lake City. All the other owners are either based in Idaho, are themselves resident, or have long-term rental agreements with local workers.

There are a total of 27 condominium units in three (3) identical buildings all having 9 units each. Units vary in size from two single bedroom unit per building comprising a highly affordable 855 sq. ft. to the four largest two-bedroom units per building comprising 1,312 sq. ft. The Bigwood #3 Condominium Community is located on Saddle Road, adjacent to a public bus stop, and across from Thunder Springs. We are 0.5 mi by foot from Sun Valley Lodge and 0.75 mi. by foot to downtown Ketchum. The existing property has approximately 52 open parking spaces – or an excess of 25 spaces over that required.

The proposed parking structure plan was contemplated in the original Covenants, Conditions, and Restrictions. In particular, Section 4.2, on Limited Common Area (“LCA”), specifically mentions plans for assignment of Limited Common Area for purposes of “automobile parking structures” by the Management Body and *requires* that the Association maintain Common “areas for access to any automobile parking structures constituting part of the Condominiums.”

The proposed parking structure plan is designed to maintain the Bigwood Community as affordable housing by:

- 1) Permitting owners to finance and own the LCA of either a lower cost carport, a full garage, or continue with designated open parking. At this point, every owner other than the owner of the time share units and two other owners have indicated an interest in covered parking.



- 2) Reducing the substantial cost of snow removal and snow storage by covering a substantial part of the existing parking space with parking structure roofs designed to maintain snow storage without any change in the number of available spaces when the parking structure spaces and residual open spaces are counted. We anticipate that this benefit will lower Association costs over the years to come – snow removal constitutes approximately 20% of the current Association budget – and thus maintain the property as privately-managed affordable housing.
- 3) During construction, renovating the grounds and existing irrigation system to reduce water usage, thus also lowering long-term costs but providing a long-term benefit regarding domestic water usage in the Valley.
- 4) During construction, renovating the electrical system since power will be supplied to the parking structures, thus permitting us to adjust internal and current non-night skies compliant outdoor light fixtures to lower energy utilization – thus, reducing electricity costs but also permitting owners to use and power electric vehicles consistent with lower costs for owners and a better environment for the Valley.

As the City reports notes, it has been some time since we originally applied – indeed, over two years with three sequential applications. Every delay, addition to plans, and re-submission ultimately makes the parking structures less affordable to the Bigwood residents and will result in a change in the characteristics of the owners. We thus plead with the Committee to permit us to proceed forthwith and without further modification of the proposal. We are currently on our third submission, which itself has represented a significant cost, and limits future affordability.

In any event, we have to date accepted all the City's comments and appreciate the current City's support. We look forward to a review by Planning and Zoning that is attentive to affordability issues for local residents and for the employee housing that is what makes the Bigwood 3 Community what it is.

Sincerely,



Jur Strobos



**From:** [Eugene Atkinson](#)  
**To:** [Participate](#)  
**Subject:** Bigwood 3 Garages/Lot Line Shift  
**Date:** Monday, May 22, 2023 7:53:48 AM

---

Gentlemen,

We live in Bigwood II and are vehemently opposed to the Bigwood 3 garages as well as the lot line shift.

Sincerely,  
Mr. Eugene Atkinson & Mrs. Susan Lovett  
(904) 613-9930





City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
SPECIAL MEETING OF MAY 23, 2023

**PROJECT:** Crossbuck McKnee Townhomes

**FILE NUMBER:** P23-015

**APPLICATION TYPE:** Phased Development Agreement

**REPRESENTATIVE:** Jeff McKnee

**PROPERTY OWNER:** MMGM11, LLC

**REQUEST:** Request for a phased development agreement to permit the final plat for the two townhouse sublots to be reviewed and approved after a certificate of occupancy is granted for the first townhouse unit.

**LOCATION:** Southwest Corner of 7th Street and W 2nd Ave – Ketchum Townsite Amended Lot 1A, Blk 67

**ZONING:** General Residential – Low Density (GR-L)

**REVIEWER:** Morgan R. Landers, AICP – Director of Planning and Building

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 3, 2023. The public hearing notice was published in the Idaho Mountain Express the on May 3, 2023. A notice was posted on the project site on May 16, 2023 and the city’s website on May 8, 2023.

**I. EXECUTIVE SUMMARY:**

The Applicant is requesting a phased development agreement for the Crossbuck McKnee Townhomes located at the southwest corner of W 7<sup>th</sup> Street and N 2<sup>nd</sup> Ave (the “subject property”) as shown in Figure 1. The Crossbuck McKnee Townhomes project includes two sublots (1A and 1B) each with a single detached townhouse. The phased development agreement would permit a final plat to be filed with the city for approval following issuance of a certificate of occupancy for the first townhouse unit, rather than requiring a certificate of occupancy for both units prior to approval of a final plat.

The applicant represents that all right-of-way improvements will be completed at the time of certificate of occupancy for the first unit. The draft phased development agreement (Attachment A) outlines



Figure 1: Subject Property Location and Zoning



the terms of the agreement including specific provisions for if the improvements are not complete prior to certificate of occupancy.

The Ketchum Municipal code permits phased development agreements per the terms of Section 16.04.110. Staff believes the project to be eligible for a phased development agreement and is supportive of the request.

## **II. BACKGROUND:**

The City of Ketchum approved a Design Review application (P21-025) and Townhouse Preliminary Plat (P21-026), for two detached townhomes on the Property, on September 21, 2021. A phased development agreement was not requested or approved at the time of approval of the townhouse preliminary plat. The city issued a building permit for sublots 1A and 1B (B21-133), and both sublots are currently under construction.

The City of Ketchum received an application for a phased development agreement on March 9, 2023. Following receipt of the application, staff routed the application materials to all city departments for review. As of the date of this report, all department comments have been resolved or addressed through terms of the draft agreement.

## **III. CONFORMANCE WITH SUBDIVISION STANDARDS**

Pursuant to KMC 16.04.110.B - *Development plan*. "In addition to the preliminary plat, subdivision application and data, the subdivider shall submit to the Administrator a development plan with a schedule for the entire project, containing all of the information required in subsection 16.04.030 of this chapter." A townhouse preliminary plat was approved for the development on September 21, 2021 which included all the requirements of 16.04.030. The approved preliminary plat, which includes sublots 1A and 1B, is included as Attachment B.

According to the applicant, development of subplot 1B will be completed first, followed by subplot 1A a few weeks later. The draft Phased Development Agreement includes maintenance responsibilities, a construction and completion schedule, and process requirements for filing of the townhouse final plat.

## **IV. STAFF RECOMMENDATION**

Staff recommends **approval** of the Phased Development Agreement for the Crossbuck McKnee Townhomes.

## **V. RECOMMENDED MOTIONS**

"I move to recommend approval of the Crossbuck McKnee Townhomes Phased Development Agreement to the City Council."

## **ATTACHMENTS:**

- A. Draft Phased Development Agreement and Exhibits
- B. Crossbuck McKnee Townhomes Approved Preliminary Plat





City of Ketchum

**Attachment A:  
Draft Phased Development  
Agreement #22854 with  
exhibits**



<p><b>RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:</b></p> <p>City Clerk, City of Ketchum  PO Box 2315  Ketchum Idaho, 83340</p>	
---	--

(Space Above Line For Recorder’s Use)

**CROSSBUCK MCKNEE TOWNHOMES  
PHASED TOWNHOUSE SUBDIVISION AGREEMENT #22854**

THIS PHASED TOWNHOUSE SUBDIVISION AGREEMENT (“Agreement”) is made and entered into as of the \_\_ day of \_\_\_\_\_ 2023, by and between the City of Ketchum, an Idaho municipal corporation (“City”) and MMDM11, LLC, owners of real property (“Owner”).

**RECITALS**

WHEREAS, Owner owns certain real property legally described as Lot 1A, Blk 67 of Ketchum Townsite, according to the official plat recorded under Instrument Number 658996, on file in the office of the County Recorder of Blaine County, Idaho (the “Property”); and

WHEREAS, the Planning and Zoning Commission approved a Design Review application (P21-025) and Townhouse Preliminary Plat (P21-026), for two detached townhomes on the Property, on September 21, 2021. A phased development agreement was not requested or approved at the time of approval of the townhouse preliminary plat.

WHEREAS, City issued a building permit for sublots 1A and subplot 1B (B21-133), and both sublots are currently under construction.

WHEREAS, Owners requests a phased development agreement for the development of the Project under the provisions of Section 16.04.110 – *Phased Development Projects* within Title 16 of the Ketchum Municipal Code as the completion of the two units will not be simultaneous and the Owners desires to record the final plat for both townhomes prior to completion of the second unit.

WHEREAS, the approved townhouse preliminary plat, establishing two townhome sublots noted as 1A and 1B (the “Townhouse Preliminary Plat”) is included as Exhibit A.

WHEREAS, Owners propose to construct all required right-of-way infrastructure improvements, alley improvements, and water and sewer utility services for each subplot as shown on Exhibit B (the “work”). All required improvements will be constructed to City standards and will be inspected for such compliance.



## AGREEMENT

NOW THEREFORE, in consideration of the above recitals and the mutual covenants and agreements herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. Maintenance Responsibilities.

A. *Owners.*

(1) *Water Service Lines.* Owners and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private service lines serving each subplot from the private water main that runs through the private driveway between Lots 1A and 2A. Maintenance of the private water main is pursuant to plat note 3 of the final plat for Lot 2A recorded under instrument number 658996, and the Construction Phasing Agreement recorded under instrument number 657569.

(2) *Sewer Service lines.* Owners and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private sewer service lines serving each subplot from the public sewer mains located in 7<sup>th</sup> Street and between Lots 1A and 2A. The public sewer line is as noted on plat note 4 of the final plat for Lot 2A recorded under instrument number 658996.

2. Construction and Completion Schedule.

A. Each townhouse unit shall be completed no later than three years from the date of issuance of a building permit for the townhouse unit, as evidenced by issuance of a Certificate of Occupancy for each townhouse unit.

B. Prior to issuance of a Certificate of Occupancy for the first detached townhouse unit, each subplot shall be adequately served by both water and sewer services as generally depicted on Exhibit B, as affirmed in writing by the City. The City must approve the timing of water and sewer connections to the existing system.

C. Prior to obtaining Certificate of Occupancy for the first townhouse unit, the following improvements as generally depicted on Exhibit B shall be completed and/or extended to both Sublots:

(1) Dry utility services (power, gas, cable, etc); and

(2) All hardscape pathways and access points for adequate and safe egress from the units; and



- (3) Right-of-way improvements to 7<sup>th</sup> Street and 2<sup>nd</sup> Ave, consistent with Ketchum Municipal Code, Title 12.04.030.H.1 and current right of way standards, completed and installed to the satisfaction of the City Engineer; and
    - (4) Water and sewer services serving both sublots; and
    - (5) Repair of any damage to the regional bike path along W 2<sup>nd</sup> Ave.
  - D. Prior to obtaining a Certificate of Occupancy for the last detached townhouse unit, all landscaping as generally depicted in Exhibit C shall be installed.
  - E. Pursuant to Ketchum Municipal Code, Title 16.04.040.C, in cases where the required improvements cannot be constructed due to weather, factors beyond the control of the subdivider, or other conditions as determined acceptable at the sole discretion of the City, the City Council may accept, in lieu of any or all of the required improvements, a performance bond filed with the City Clerk to ensure actual construction of the required improvements as submitted and approved. Said performance bond shall be provided per the terms of Title 16.04.040.C
3. Townhouse Sublot Final Plat. The City agrees to accept and process a townhouse final plat application, for both sublots, for approval by City Council provided a Certificate of Occupancy has been issued for the first townhouse unit on Lot 1B should Owners comply with all above recitals.
  4. Owners' Association Assumption of Responsibilities. Upon the recording of the Townhouse Sublot Final Plat, Owners may assign and transfer its maintenance responsibilities and obligations under this Agreement to an owner's association.
  5. General Provisions.
    - A. *Recitals and Construction.* The City and Owners incorporate the above recitals into this Agreement and affirm such recitals are true and correct.
    - B. *Effective Date.* This Agreement is effective as of the date on which the last of the City and Owners execute this Agreement. Neither party shall have any rights with respect to this Agreement until both have executed this Agreement.
    - C. *Owner Representations.* Owners represents and warrants to City that (a) Owners hold fee simple title to the Property, and (b) no joinder or approval of another person or entity is required with respect to Owners' authority to make and execute this Amendment.
    - D. *Neutral Interpretation.* City and Owners acknowledge they and, if they so choose, their respective counsel have reviewed this Agreement and the normal rule of



construction to the effect that any ambiguities are to be resolved against the drafting party will not be employed in the interpretation of the Agreement, or any exhibits, attachments and addenda to the Agreement.

E. *Counterparts.* This Agreement may be executed in multiple counterparts, each of which taken together shall constitute one and the same agreement binding upon the parties. Signatures transmitted by facsimile or via e-mail in a "PDF" format shall have the same force and effect as original signatures on this Amendment. The Original of this Amendment shall be recorded with the Blaine County Recorder.

IN WITNESS WHEREOF, the parties, having been duly authorized, have hereunder caused this Agreement to be executed, the same being done after public notice and statutory requirements having been fulfilled.

"CITY":

"OWNERS":

CITY OF KETCHUM,  
an Idaho municipal corporation

By: \_\_\_\_\_  
Manager: Jeff McNee  
MMDM11, LLC

By: \_\_\_\_\_  
Neil Bradshaw, Mayor

ATTEST:

\_\_\_\_\_  
Trent Donat, City Clerk



***ACKNOWLEDGEMENT FOR CITY***

STATE OF IDAHO            )  
  ) ss.  
COUNTY OF BLAINE        )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified by me to be the Mayor of the City of Ketchum, Idaho, and the person who executed the foregoing instrument and acknowledged to me that he executed the same on behalf of such city.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first written above.

\_\_\_\_\_  
Notary Public for the State of \_\_\_\_\_  
Residing at \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

***ACKNOWLEDGEMENT FOR OWNER***

STATE OF \_\_\_\_\_ )  
  ) ss.  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2023, before me, a Notary Public in and for said State, personally appeared JEFF MCNEE, known to me to be the owner of certain real property at Lot 2A, Blk 67 of Ketchum Townsite, and known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for the State of \_\_\_\_\_  
Residing at \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

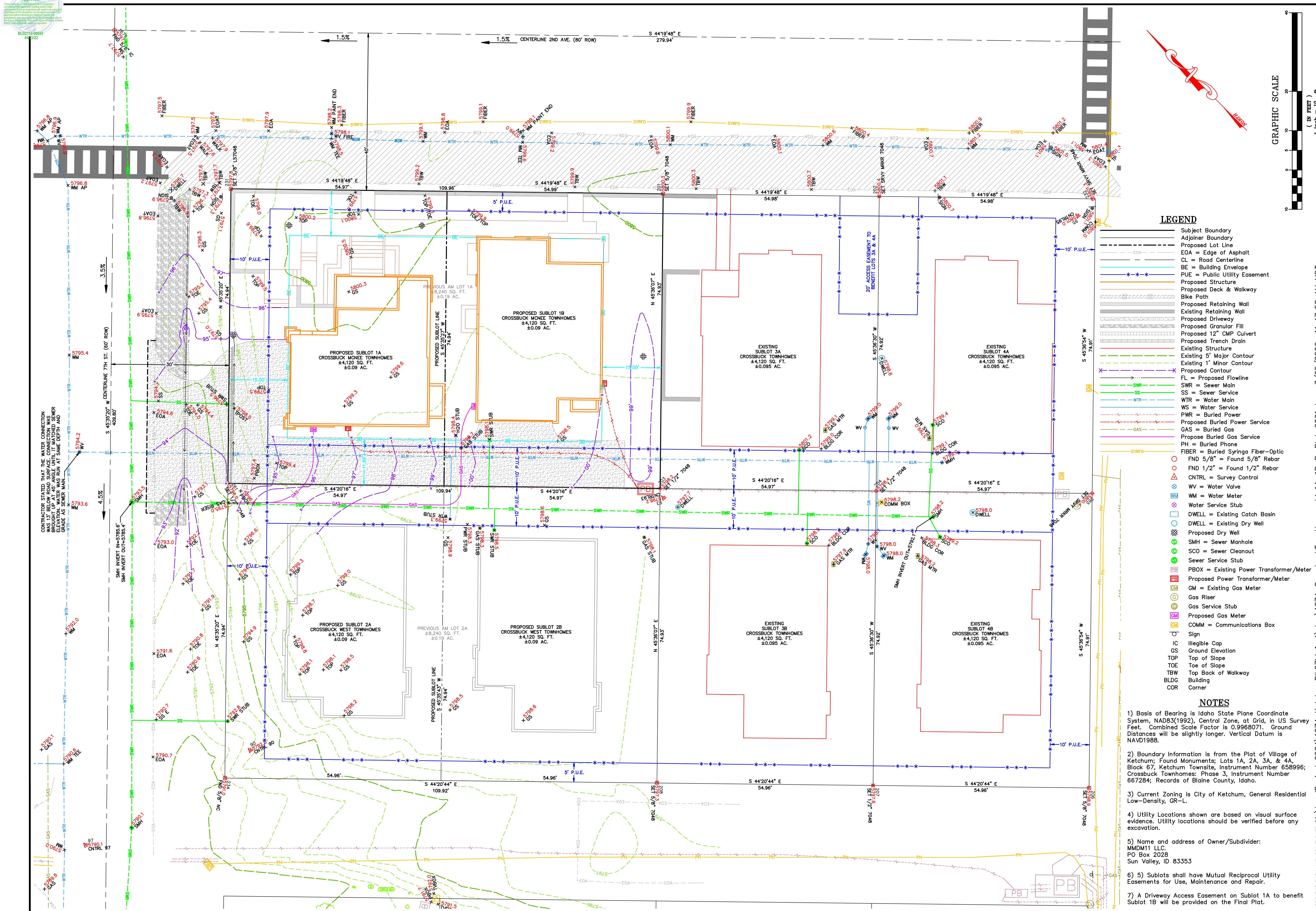




City of Ketchum

# Exhibit A: Townhouse Preliminary Plat





**LEGEND**

- Subject Boundary
- Adjoiner Boundary
- Proposed Lot Line
- EOA = Edge of Asphalt
- CL = Road Centerline
- BE = Building Envelope
- PUE = Public Utility Easement
- Proposed Structure
- Proposed Deck & Walkway
- Bike Path
- Proposed Retaining Wall
- Existing Retaining Wall
- Proposed Driveway
- Proposed Granular Fill
- Proposed 12" CMP Culvert
- Proposed Trench Drain
- Existing Structure
- Existing 5' Major Contour
- Existing 1' Minor Contour
- Proposed Contour
- FL = Proposed Flowline
- SWR = Sewer Main
- SS = Sewer Service
- WTR = Water Main
- WS = Water Service
- PWR = Buried Power
- Proposed Buried Power Service
- GAS = Buried Gas
- Proposed Buried Gas Service
- PH = Buried Phone
- FIBER = Buried Syringa Fiber-Optic
- FND 5/8" = Found 5/8" Rebar
- FND 1/2" = Found 1/2" Rebar
- CNTRL = Survey Control
- WV = Water Valve
- WM = Water Meter
- Water Service Stub
- DWELL = Existing Catch Basin
- DWELL = Existing Dry Well
- Proposed Dry Well
- SMH = Sewer Manhole
- SCO = Sewer Cleanout
- Sewer Service Stub
- PBOX = Existing Power Transformer/Meter
- Proposed Power Transformer/Meter
- GM = Existing Gas Meter
- Gas Riser
- Gas Service Stub
- Proposed Gas Meter
- COMM = Communications Box
- Sign
- IC = Illegible Cap
- GS = Ground Elevation
- TOP = Top of Slope
- TOE = Toe of Slope
- TBW = Top Back of Walkway
- BLDG = Building
- COR = Corner

**NOTES**

- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Village of Ketchum; Found Monuments: Lots 1A, 2A, 3A, & 4A, Block 67, Ketchum Townsite, Instrument Number 658996; Crossbuck Townhomes: Phase 3, Instrument Number 667284; Records of Blaine County, Idaho.
- 3) Current Zoning is City of Ketchum, General Residential Low-Density, GR-L.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
- 5) Name and address of Owner/Subdivider:  
MMDM11 LLC  
PO Box 2028  
Sun Valley, ID 83353
- 6) 5) Sublots shall have Mutual Reciprocal Utility Easements for Use, Maintenance and Repair.
- 7) A Driveway Access Easement on Sublot 1A to benefit Sublot 1B will be provided on the Final Plat.

A PRELIMINARY PLAT SHOWING  
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM  
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR MMDM11 LLC.

Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering  
and Natural Hazards Consulting  
660 Bell Drive, Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988 727-1987 fax  
email: bsmitth@alpineenterprisesinc.com

PROFESSIONAL LAND SURVEYOR  
IDaho 7048  
STATE OF IDAHO  
BRUCE WILSON

REVISIONS	NO	DATE	BY
Permit Set	March 25, 2022		

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1274\_Ketchum\Blk67\ts1-4.dwg\1274\_CrossbuckTownHomes\_Lts1A-1B\_PrelPlat\_2021.dwg 3/25/2022 11:47:58 AM MDI  
Sheet 1 of 1

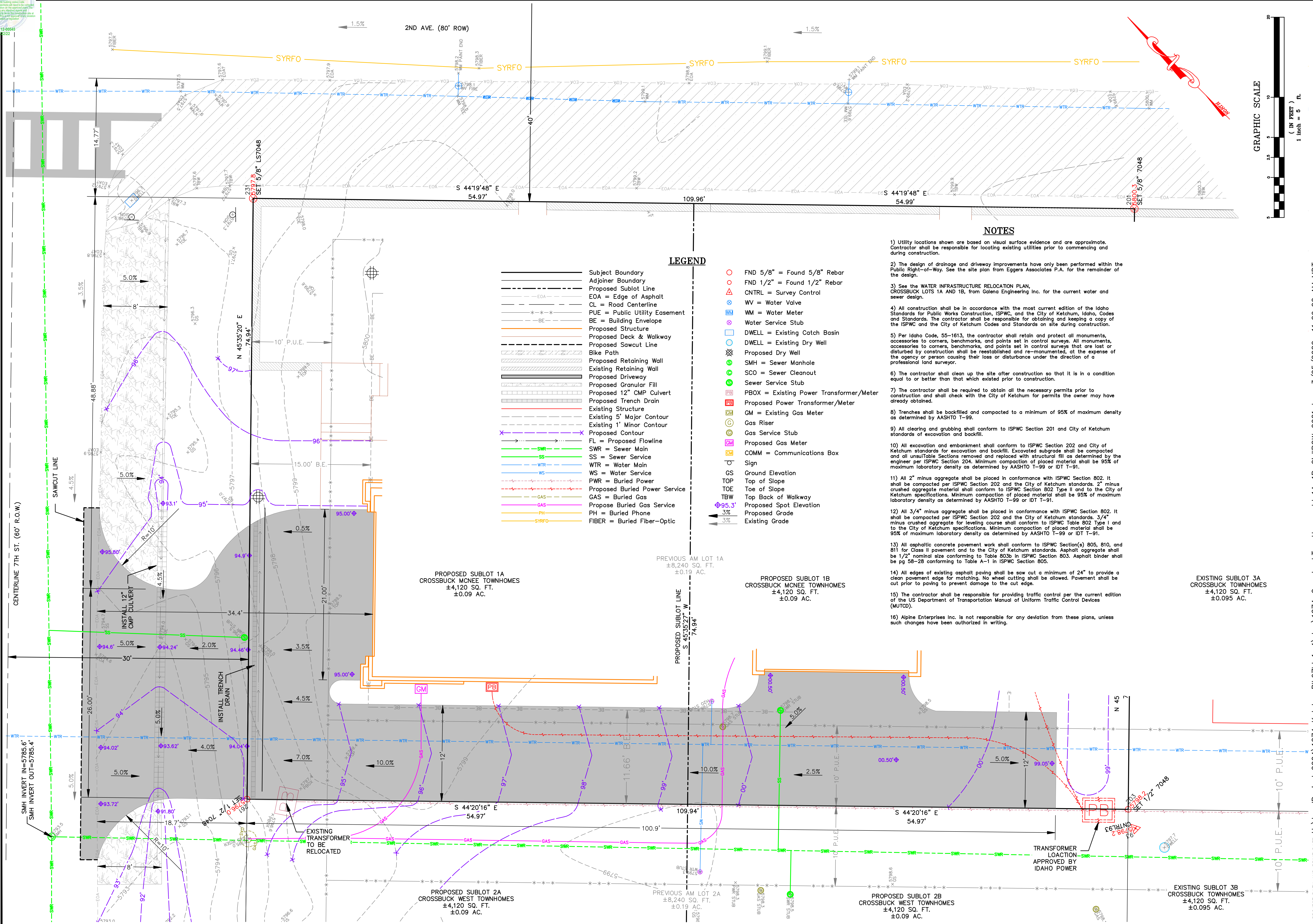




City of Ketchum

# Exhibit B: ROW Improvements Plan



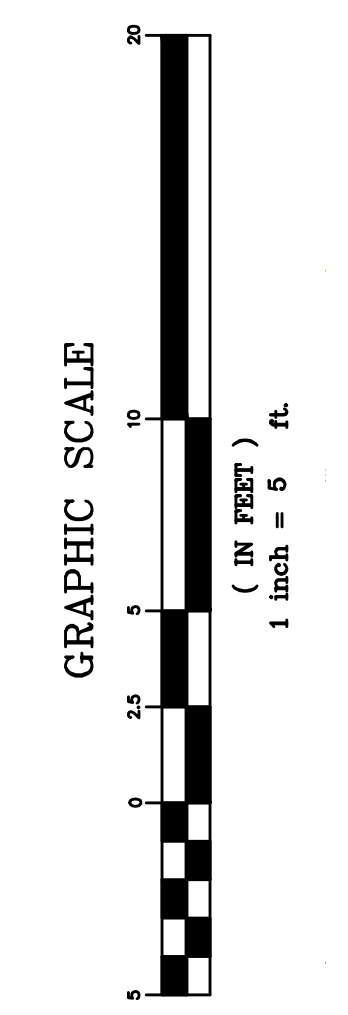


**LEGEND**

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  - Adjoiner Boundary
  - - - Proposed Sublot Line
  - - - EOA = Edge of Asphalt
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  - - - PUE = Public Utility Easement
  - - - BE = Building Envelope
  - - - Proposed Structure
  - - - Proposed Deck & Walkway
  - - - Proposed Sawcut Line
  - - - Bike Path
  - - - Proposed Retaining Wall
  - - - Existing Retaining Wall
  - - - Proposed Driveway
  - - - Proposed Granular Fill
  - - - Proposed 12" CMP Culvert
  - - - Existing Structure
  - - - Existing 5' Major Contour
  - - - Existing 1' Minor Contour
  - - - Proposed Contour
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  - - - PH = Buried Phone
  - - - FIBER = Buried Fiber-Optic
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  - ⊗ WM = Water Meter
  - ⊗ Water Service Stub
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  - ⊗ DWELL = Existing Dry Well
  - ⊗ Proposed Dry Well
  - ⊗ SMH = Sewer Manhole
  - ⊗ SCO = Sewer Cleanout
  - ⊗ Sewer Service Stub
  - ⊗ PBOX = Existing Power Transformer/Meter
  - ⊗ Proposed Power Transformer/Meter
  - ⊗ GM = Existing Gas Meter
  - ⊗ Gas Riser
  - ⊗ Gas Service Stub
  - ⊗ Proposed Gas Meter
  - ⊗ COMM = Communications Box
  - ⊗ Sign
  - GS Ground Elevation
  - TOP Top of Slope
  - TOE Toe of Slope
  - TBW Top Back of Walkway
  - ⊕ 95.3' Proposed Spot Elevation
  - 3% Proposed Grade
  - 3% Existing Grade

**NOTES**

- 1) Utility locations shown are based on visual surface evidence and are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- 2) The design of drainage and driveway improvements have only been performed within the Public Right-of-Way. See the site plan from Eggers Associates P.A. for the remainder of the design.
- 3) See the WATER INFRASTRUCTURE RELOCATION PLAN, CROSSBUCK LOTS 1A AND 1B, from Galena Engineering Inc. for the current water and sewer design.
- 4) All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPCW, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPCW and the City of Ketchum Codes and Standards on site during construction.
- 5) Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- 6) The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- 7) The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- 8) Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- 9) All clearing and grubbing shall conform to ISPCW Section 201 and City of Ketchum standards of excavation and backfill.
- 10) All excavation and embankment shall conform to ISPCW Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPCW Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 11) All 2" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPCW Table 802 Type 1 and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 12) All 3/4" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPCW Table 802 Type 1 and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 13) All asphaltic concrete pavement work shall conform to ISPCW Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPCW Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPCW Section 805.
- 14) All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- 15) The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- 16) Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.



PROPOSED SUBLOT 1A  
CROSSBUCK MCNEE TOWNHOMES  
±4,120 SQ. FT.  
±0.09 AC.

PROPOSED SUBLOT 1B  
CROSSBUCK MCNEE TOWNHOMES  
±4,120 SQ. FT.  
±0.09 AC.

PROPOSED SUBLOT 2A  
CROSSBUCK WEST TOWNHOMES  
±4,120 SQ. FT.  
±0.09 AC.

PROPOSED SUBLOT 2B  
CROSSBUCK WEST TOWNHOMES  
±4,120 SQ. FT.  
±0.09 AC.

EXISTING SUBLOT 3A  
CROSSBUCK TOWNHOMES  
±4,120 SQ. FT.  
±0.095 AC.

EXISTING SUBLOT 3B  
CROSSBUCK TOWNHOMES  
±4,120 SQ. FT.  
±0.095 AC.

PROJECT PATH AND PRINT DATE U:\LandProjects\2004\1274\_Ketchum\Blk67\ts1-4.dwg\1274\_CrossbuckTownHomes\_Lts1A-1B\_Civil\ROW\_2021.dwg 3/25/2022 11:26:02 AM MDT

PERMIT SET: MARCH 25, 2022

NO	DATE	BY

Sheet 1 of 2

ALPINE ENTERPRISES INC.  
Surveying, Mapping, Civil Engineering  
and Natural Hazards Consulting  
660 Bell Drive, Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988  
email: barnith@alpineenterprisesinc.com

A ROW ENCROACHMENT PLAN SHOWING  
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM  
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR MDM11 LLC.





City of Ketchum

# Exhibit C: Landscape Plan



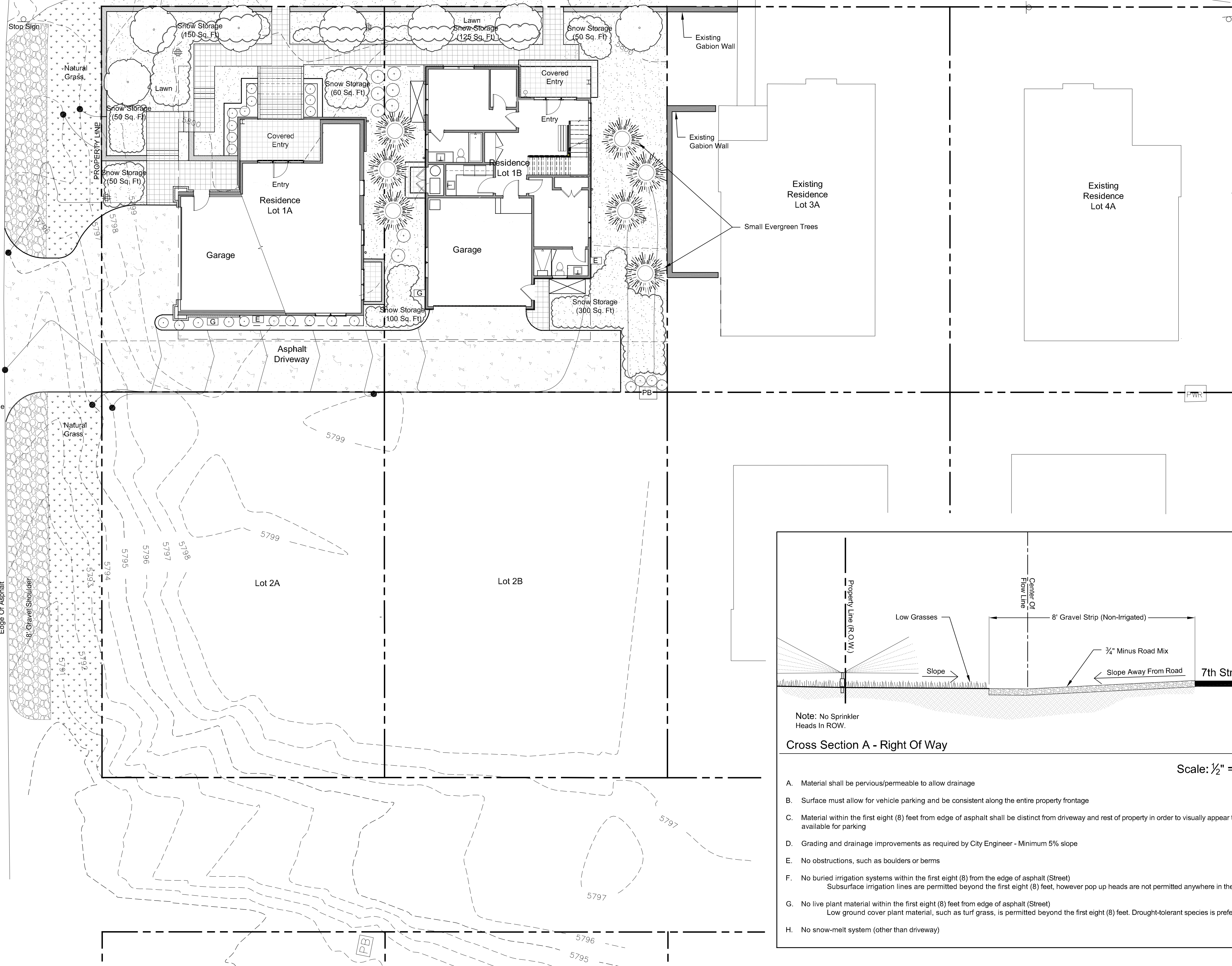
2ND AVENUE

Existing Curb And Gutter

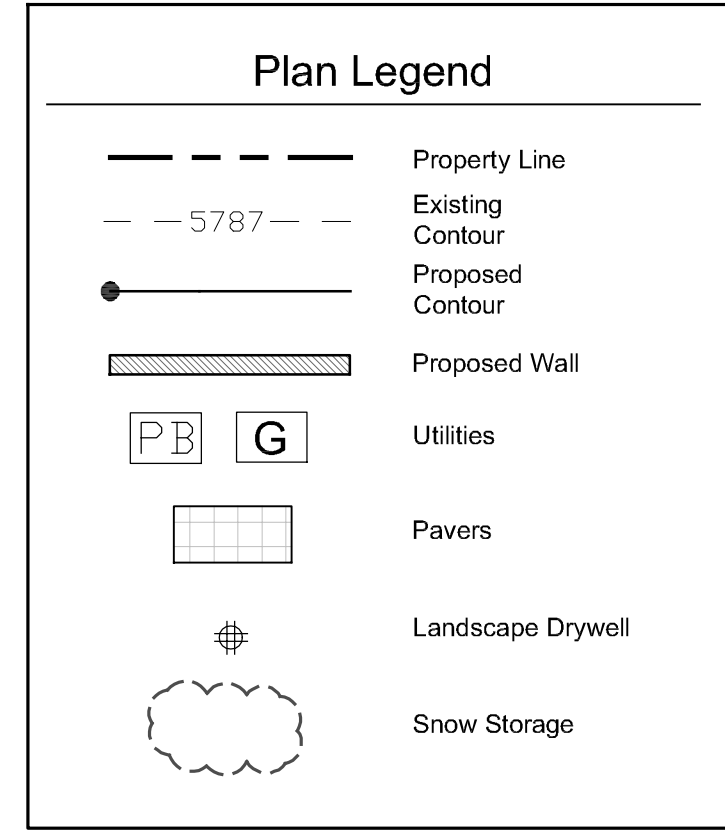
Existing Bike Path

Edge Of Asphalt

7TH STREET



- Landscape Plan Notes**
1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
  2. All planting beds to have 3" cover of bark or compost mulch.
  3. Trees shown at approximately 2/3 mature diameter.
  4. All utilities are underground and shall be located prior to any work.



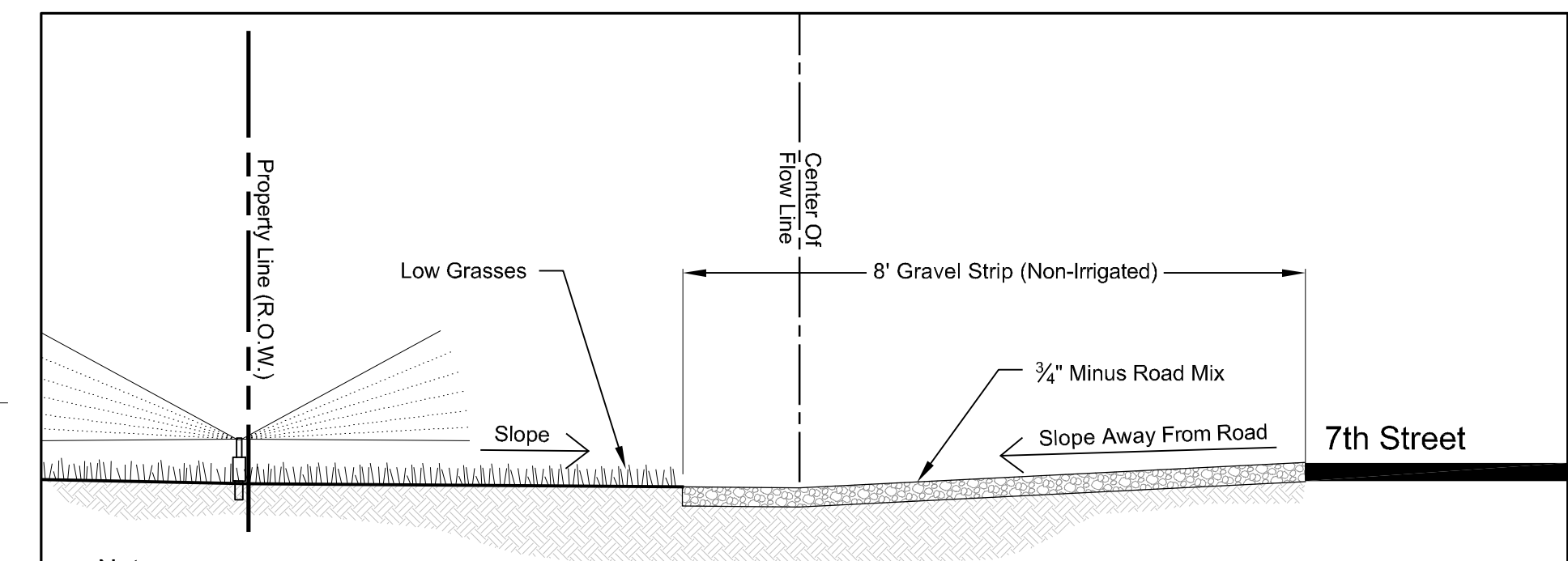
**Plant Legend**

Symbol	Qty.	Description	Size
	7	Conifer Trees Mugo Pine	10' - 12'
	7	Deciduous Trees Flowering Crab	3" Cal.
	30	Deciduous Shrubs Various	5 gal.
	3,200 Sq. Ft	Grasses Lawn Mix	Sod
	1,200 Sq. Ft	Natural Grasses Fescue Mix	Hydroseed

**Snow Storage**

Driveway Area:	2,000 sq ft
Walkway Area:	675 sq ft
	x .30%
Required Area:	803 sq ft
Snow Storage Provided:	885 sq ft

- Notes:**
- 1) See Civil Plans For All Work In Right Of Way
  - 2) See Civil Plans For Water And Sewer Design

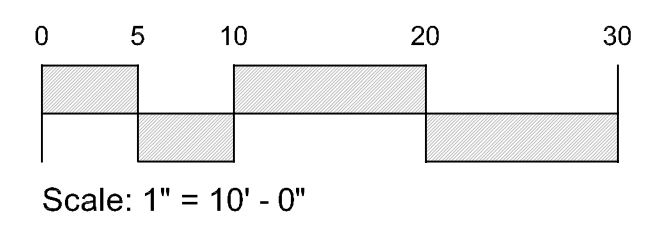
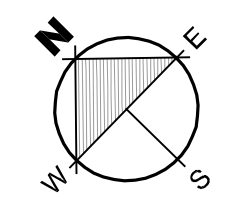


Note: No Sprinkler Heads In ROW.

Cross Section A - Right Of Way

Scale: 1/2" = 1' - 0"

- Material shall be pervious/permeable to allow drainage
- Surface must allow for vehicle parking and be consistent along the entire property frontage
- Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- No obstructions, such as boulders or berms
- No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street)  
Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- No live plant material within the first eight (8) feet from edge of asphalt (Street)  
Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- No snow-melt system (other than driveway)



Crossbuck  
McNee

EGGERS ASSOCIATES, P.A.  
 Landscape Architecture  
 T: (208) 725-0988  
 F: (208) 725-0972  
 P.O. Box 975  
 Ketchum, ID. 83740

Crossbuck McNee  
 Lot 1A Block 67  
 Ketchum, Idaho

Job No: 21.01  
 Scale: 1" = 10' - 0"

Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	04/06/21
Building Permit	04/22/21
RVSD	08/16/21
RVSD	03/28/22

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:  
Landscape Plan

Sheet No:  
L3

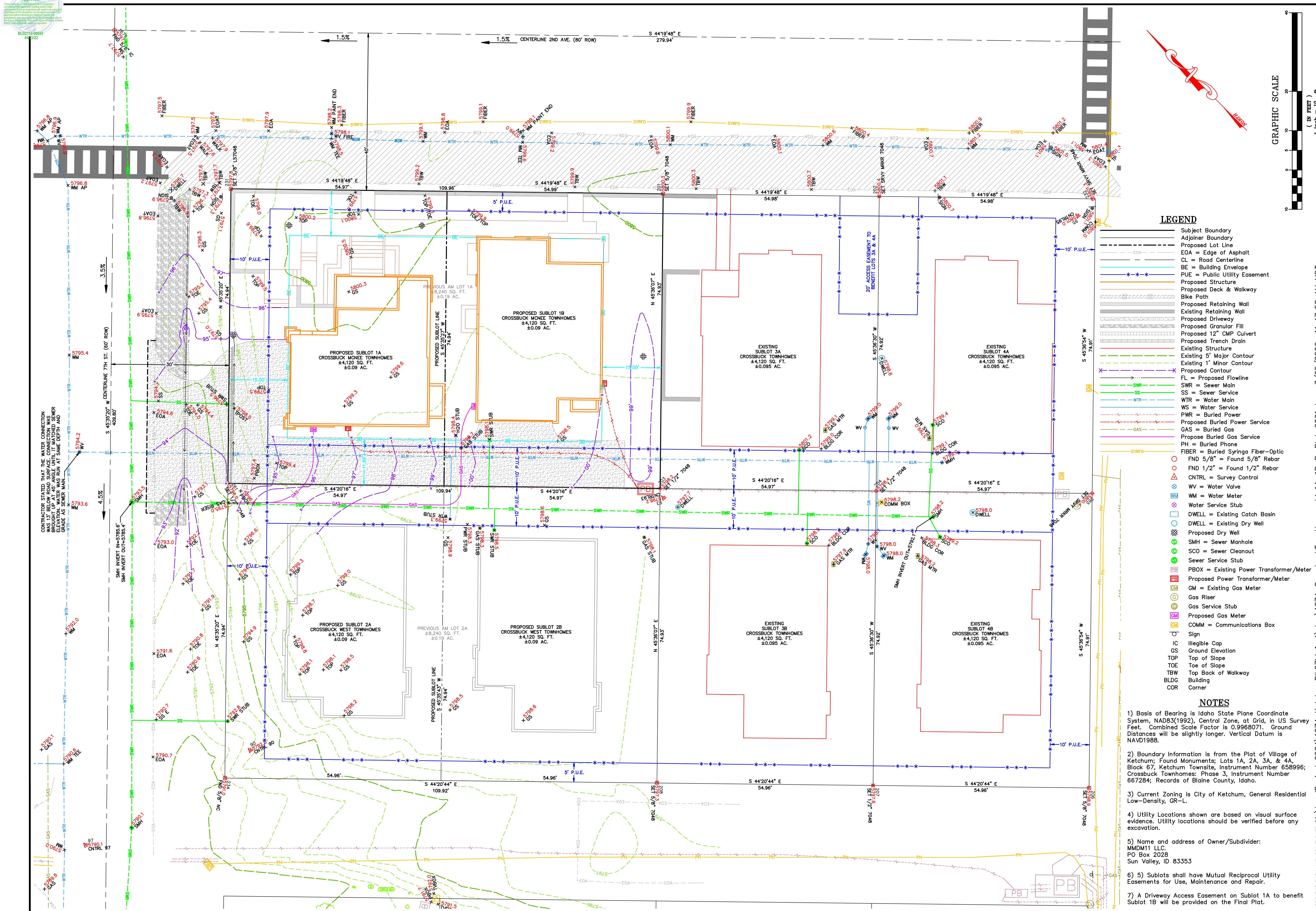




City of Ketchum

# Attachment B: Crossbuck McKnee TH Preliminary Plat





**LEGEND**

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- Adjoiner Boundary
- Proposed Lot Line
- EOA = Edge of Asphalt
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- Sewer Service Stub
- PBOX = Existing Power Transformer/Meter
- Proposed Power Transformer/Meter
- GM = Existing Gas Meter
- Gas Riser
- Gas Service Stub
- Proposed Gas Meter
- COMM = Communications Box
- Sign
- IC = Illegible Cap
- GS = Ground Elevation
- TOP = Top of Slope
- TOE = Toe of Slope
- TBW = Top Back of Walkway
- BLDG = Building
- COR = Corner

**NOTES**

- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Village of Ketchum; Found Monuments: Lots 1A, 2A, 3A, & 4A, Block 67, Ketchum Townsite, Instrument Number 658996; Crossbuck Townhomes: Phase 3, Instrument Number 667284; Records of Blaine County, Idaho.
- 3) Current Zoning is City of Ketchum, General Residential Low-Density, GR-L.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
- 5) Name and address of Owner/Subdivider:  
MMDM11 LLC  
PO Box 2028  
Sun Valley, ID 83353
- 6) 5) Sublots shall have Mutual Reciprocal Utility Easements for Use, Maintenance and Repair.
- 7) A Driveway Access Easement on Sublot 1A to benefit Sublot 1B will be provided on the Final Plat.

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1274\_Ketchum\Blk67\ts1-4.dwg\1274\_CrossbuckTownHomes\_Lts1A-1B\_Prelat\_2021.dwg 3/25/2022 11:47:58 AM MDI

Permit Set March 25, 2022

REVISIONS

NO	DATE	BY

Sheet 1 of 1

A PRELIMINARY PLAT SHOWING  
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM  
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR MMDM11 LLC.

Alpine Enterprises Inc.  
Surveying, Mapping, Civil Engineering  
and Natural Hazards Consulting  
660 Bell Drive, Unit 1  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1988 727-1987 fax  
email: bsmitth@alpineenterprisesinc.com

PROFESSIONAL LAND SURVEYOR  
7048  
STATE OF IDAHO  
BRUCE





**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
SPECIAL MEETING OF MAY 16, 2023**

**INTRODUCTION AND SUMMARY**

The 2023 Planning and Building Department Work Plan outlined that the department would evaluate process improvements and updating of checklists to improve communications between staff and applicants and provide a more transparent and predictable review process for the development community. To do this collaboratively, the city formulated a Technical Advisory Group (TAG) to provide feedback to the city on what processes need the most improvement and how to improve those processes. The TAG is made up of architects, developers, contractors, engineers, landscape architects, and trade groups. The TAG also includes one member of the Planning and Zoning Commission, Tim Carter.

At the first meeting of the TAG in February 2023, staff facilitated a discussion to identify which review processes needed the most improvement. It became very clear during the discussion, that the PreApp and Final Design Review processes were the most inconsistent and needed the most focus. In general, we received the following feedback:

- As the PreApp and Final Design Review application materials are the same, the investment in time and money is significant and the process seems redundant.
- As there is so much time and investment, applicants are less willing to make changes requested by staff or the Commission at either stage of the process. This causes significant tension between staff and applicants and creates an adversarial relationship from the beginning.
- The PreApp process should be focused on high level design concepts (architecture, bulk, mass, context) so that applicants understand whether they are headed in the right direction. Civil engineering should not be required for PreApp.
- If the PreApp application materials were less, applicants would be more willing to utilize the process.

Since that meeting, staff have conducted internal discussions and follow-up discussions with the TAG to develop changes to the PreApp and Final Design Review processes that will:

- Provide a platform that allows for changes throughout the process, creating a more collaborative design process.
- Increase the use of the PreApp process by reducing the cost associated with development of the application materials.

Below is an overview of proposed changes to the PreApp and Final Design Review process for consideration.

**STAFF RECOMMENDATION**

Staff requests the Commission review the proposed changes to the PreApp and Final Design Review process and provide feedback on the following questions:

- Do you agree that the purpose of the PreApp process should be a high-level review of architectural, bulk, mass, and contextual elements of a project?
- Do the revised application materials list for PreApps provide you enough information to give direction to applicants during the PreApp process?



- Do you agree that 3D models and perspectives should be required for PreApp? And if so, do you agree that black and white models with a materials sample board are sufficient for review at the PreApp stage?

**ANALYSIS**

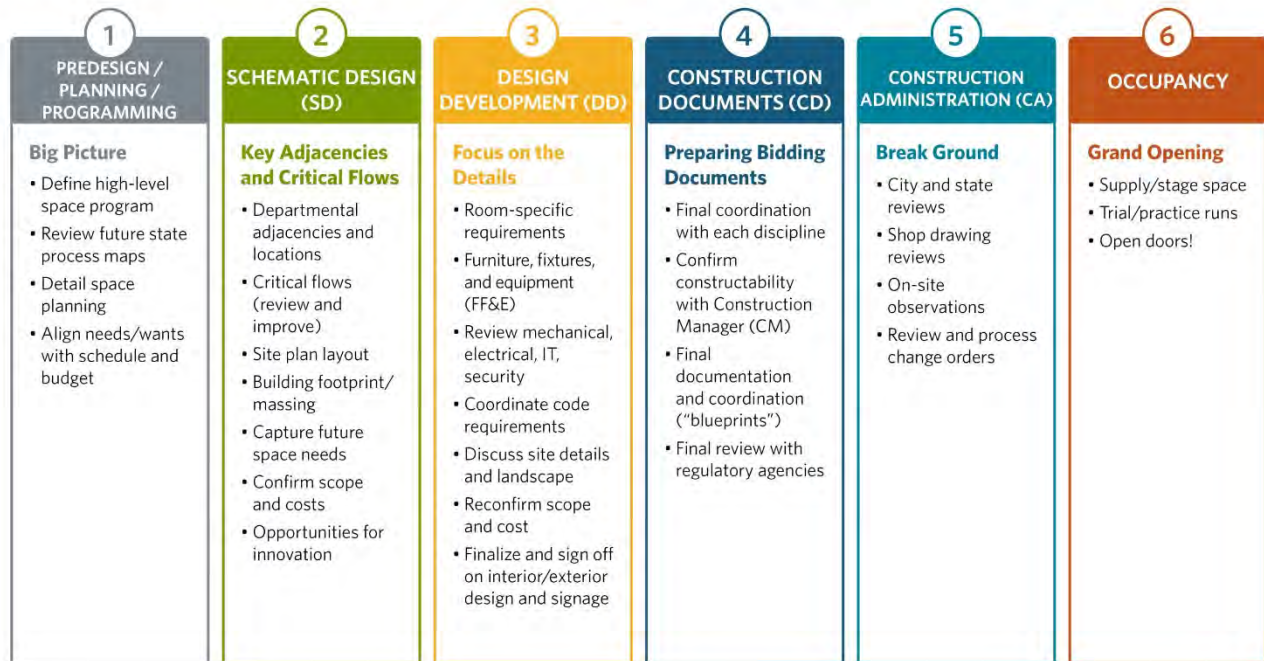
As noted above, the application materials for PreApp and Final Design Review are the exact same. This not only requires significant investment at the beginning of a project, but results in applicants less inclined to make substantive changes. KMC 17.96.010.C states that “The purpose of preapplication review is to allow the Commission to exchange ideas and give direction to the applicant on the "design concept", keeping in mind the purpose of this chapter and the application of the evaluation standards.”

Staff sent a survey to the TAG requesting feedback on the PreApp vs. Final Design Review process. Specifically, staff requested feedback on the purpose of PreApp and what it should focus on, what level of design work should be done for PreApp vs. Final Design Review, and what application materials should be required for PreApp. The survey results can be found in Attachment A. Following the survey, staff conducted a discussion with the TAG at their May meeting to discuss areas where consensus was not met. Below is an overview of changes proposed by staff and the feedback received by the TAG.

Focus of Review - The focus of the PreApp discussion should be on high level concepts and point out any “red flags” in the development proposal. More specifically, the review should be focused on the design review criteria related to compatibility of design, architecture, circulation/traffic/parking, and landscaping. The TAG generally agreed with this approach.

Amount of Detail - The application materials for PreApp and Final Design Review should not require the same level of detail. The architectural and construction industry generally use a consistent set of terms for the multiple phases of design and construction of a project as shown in Figure 1 below.

Figure 1: Design and Construction Phases





In general, the city approval processes overlap phases 2-6 with land use approvals happening during phases 2 and 3. The building permit process happens during phases 4 through 6. Based on these phases, staff recommends the following:

- PreApp materials should be “schematic design” drawings – this provides enough detail for meaningful feedback and identification of code compliance issues, but still allows for substantive changes. As noted in Figure 1, this phase still provides “opportunities for innovation”. The drawings set the general idea for a project including massing forms, articulation, spatial relationships, and general materials/color palette.
- Final Design Review materials should be “design development” drawings – this level of drawings advances the schematic drawings, finalizing the design, further refining details, fixing inconsistencies, final selection of colors/materials palette, and inclusion of civil engineering and landscaping.

The TAG agreed that this level of detail was appropriate for the two phases of design review and agreed that less detail during PreApp could result in higher willingness to make changes ahead of final design review.

Application Materials – Based on the recommendation above, staff agree that the application materials for PreApp should be less than Final Design Review. Feedback received from the TAG indicated that depending on the project, applicants may elect to provide more detail rather than less. To allow for flexibility, staff believes a minimum set of requirements should be outlined. If applicants want to go above and beyond, that is at their discretion/risk. Changes are likely and should be expected from the PreApp design review process. As such, staff recommends the following minimum requirements for PreApp:

- o Project Narrative
- o Conceptual Site Plan with landscaping and site circulation
  - Planting list not required for landscaping
- o Elevations and Floor Plans
  - Elevations should depict materiality, however, full color renderings of elevations not required
- o Conceptual Materials and Colors Palette
  - Can provide photos of materials samples or example images of materials from other buildings
  - Physical materials samples not required
- o 3D perspectives showing massing of the proposed project within the context of the surrounding neighborhood
  - From street view and bird’s eye
  - Must include all adjacent structures
  - Full color rendering of the images is not required
- o Conceptual Grading and Drainage plan – for Mountain Overlay applications only

As shown in the survey results, the TAG was initially split 50/50 on whether the proposed application materials were appropriate. During the May TAG meeting, staff facilitated a discussion to understand where the issues were. In general, the most concern was related to the requirement for materials/color palette, 3D models, and colored renderings at the PreApp stage.

*Color Palette/Materials* - Some members of the TAG noted that at the schematic design stage, a general color palette and materials may be preliminary, but aren’t final. Staff believes that some amount of information on color palette and materials is necessary, but there should be room for change or refinement between PreApp and Final Design Review. As such, staff believes that a general color/materials board should be provided but could include example images from other projects to articulate intent. Attachment B provides examples of what would be required at PreApp. Final materials and color palette with cut sheets and physical samples would be required at Final Design Review.



*3D Models and Colored Renderings* – Members of the TAG expressed that requesting full colored renderings at the PreApp stage is overlay onerous and very costly. Staff believes that to evaluate the development and how it fits into the context of the surrounding neighborhood, 3D models are critical. Staff do not believe that the models need to be in full color or have all the detail of adjacent buildings for PreApp. Attachment C provides some examples of 3D models that show the context of a proposed development but didn't require the additional cost of creating fully detailed models. Attachment D provides examples of fully colored and rendered 3D models that would be required at Final Design Review.

**ATTACHMENTS:**

- A. TAG Survey Results
- B. Example Color Palette/Materials Board
- C. PreApp - 3D Model/Perspectives Examples
- D. Final DR – 3D Model/Perspectives Examples





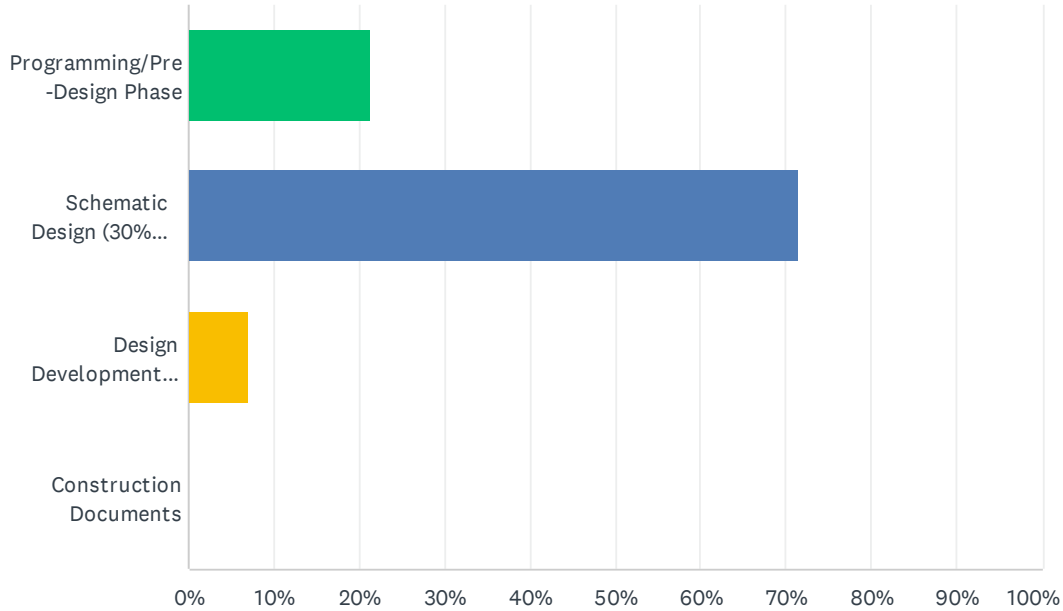
City of Ketchum

# Attachment A: TAG Survey Results



## Q9 What percentage of design drawing completion do you believe is an appropriate level for pre-application materials?

Answered: 14 Skipped: 0



ANSWER CHOICES	RESPONSES
Programming/Pre-Design Phase	21.43% 3
Schematic Design (30% design drawings)	71.43% 10
Design Development (60% design drawings)	7.14% 1
Construction Documents	0.00% 0
<b>TOTAL</b>	<b>14</b>

#	ADDITIONAL COMMENTS	DATE
1	SD level or bust. Otherwise applicant might as well skip and go to final. Time investment and cost investment by client are huge beyond pre design	4/30/2023 9:28 PM
2	Needs to be a concept, should be mandatory for most projects and public notice implemented.	4/30/2023 9:18 AM
3	the more details the applicant provides, the more valuable and concrete the feedback will be. Vague discussions lead to misunderstandings.	4/28/2023 5:04 PM
4	This is critical. A napkin sketch could suffice, and 30% should be the max. The importance of this step is to get ALL City Departments to provide cursory review of the project under one cohesive review process.	4/28/2023 3:35 PM
5	Enough programming needs to be completes to get proper feedback from commission. Depending on the project this could be 15% design while others may be 40% sd. That said developers would prefer earlier in the design phase to avoid a program or design not favored by the commission.	4/28/2023 3:06 PM
6	there must be a balance between at-risk investment in drawings / design at the pre-ap / staff interpretation stage and staffs' receipt of adequate information to understand how the project	4/26/2023 2:43 PM



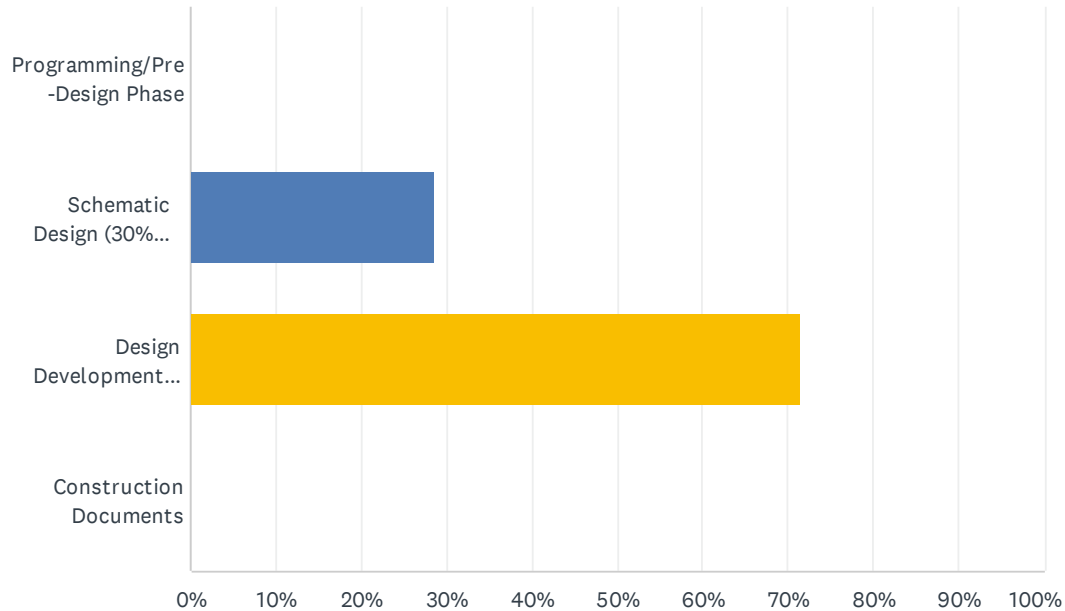
LIKELY comports with established code

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## Q10 What percentage of design drawing completion is an appropriate level of design for final design review application materials?

Answered: 14 Skipped: 0



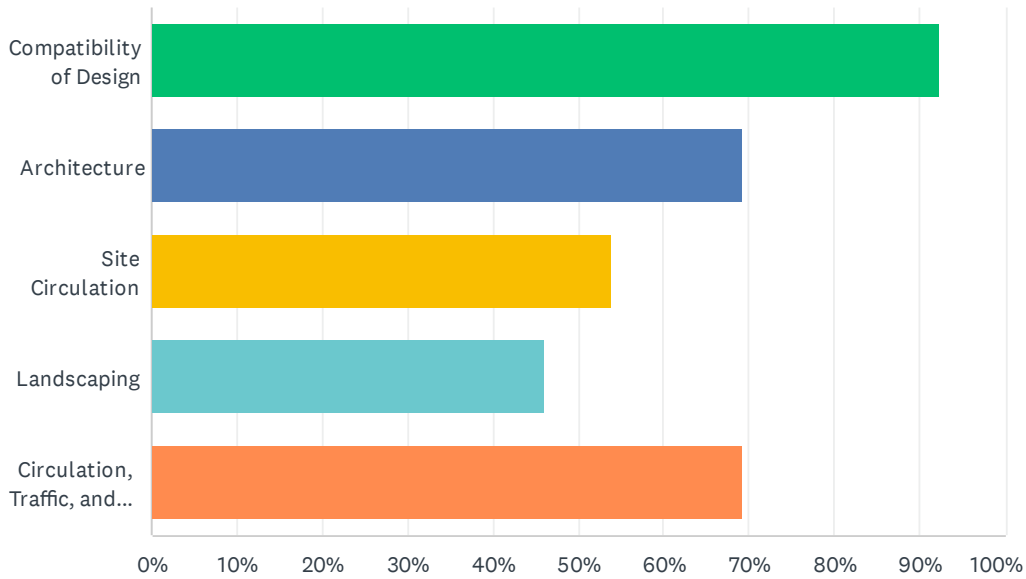
ANSWER CHOICES	RESPONSES
Programming/Pre-Design Phase	0.00% 0
Schematic Design (30% design drawings)	28.57% 4
Design Development (60% design drawings)	71.43% 10
Construction Documents	0.00% 0
<b>TOTAL</b>	<b>14</b>

#	ADDITIONAL COMMENTS	DATE
1	I think the correct choice offered is closet to Schematic but is probably in the middle at about 45%	4/30/2023 9:18 AM
2	the final design solution should be substantially finalized and locked prior to submittal.	4/29/2023 2:33 PM
3	Again, completion level may vary, but needs to have required items for design review. Some project may have the exterior ready to go, but atill working on the final interior layout. As long as they can show the development will meet code that level of completion is good enough.	4/28/2023 3:06 PM
4	plus exterior finishes, street impacts (loading, parking, snow removal, etc.), additional to the extent specific code requirements dictate for compliance	4/26/2023 2:43 PM



Q11 As outlined in the Ketchum Municipal Code, the purpose of the pre-application “is to allow the Commission to exchange ideas and give direction to the applicant on the "design concept”, keeping in mind the purpose of this chapter and the application of the evaluation standards.” Please indicate the design review criteria that you believe should be the focus of pre-application review (select all that apply).

Answered: 13 Skipped: 1



ANSWER CHOICES	RESPONSES
Compatibility of Design	92.31% 12
Architecture	69.23% 9
Site Circulation	53.85% 7
Landscaping	46.15% 6
Circulation, Traffic, and Parking	69.23% 9
Total Respondents: 13	

#	OTHER (PLEASE SPECIFY)	DATE
1	Does this project meet the gist and intent of the code....	4/30/2023 9:28 PM
2	Scale in the surrounding neighborhood and the townscape based on lot size, location, type of street frontage ( 60/90 wide),topo street	4/30/2023 9:18 AM
3	all areas the commissioners will contemplate when making a decision for approval or denial	4/29/2023 2:33 PM
4	There are a number of additional steps/hurdles to clear in order to simply get in front of the Commission for this "exchange of ideas." It does no good to have differing Staff, City Engineering, City Streets, and Commission opinions and direction when leaving a Preliminary	4/28/2023 3:35 PM



## TAG Survey-April 2023

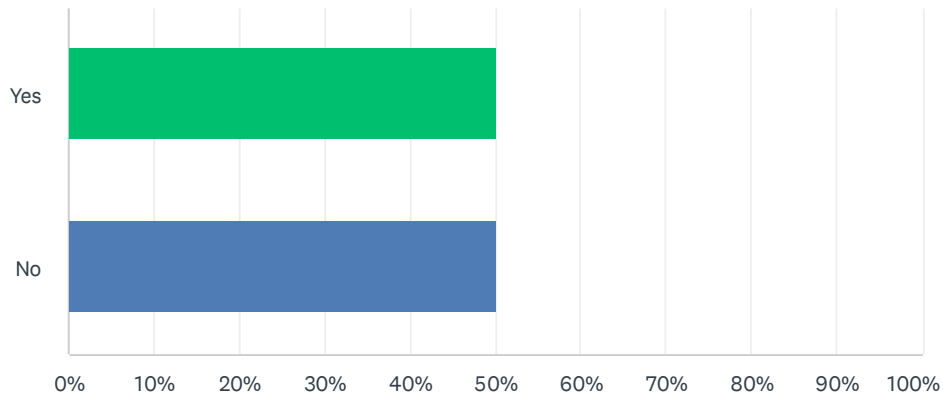
Design Review hearing. I would suggest that there is a more "all-hands" type meeting conducted between Staff and City Departments to provide the applicant and the Commission a set of clear, synchronized comments based on the schematic planning provided. Then, the Commission should view the project through the lens of those comments and provide additional color as necessary, speaking to the nuances of "Compatibility of Design," etc., providing enough information for an applicant to know what changes to make to have a realistic shot at formal approval.

5	Focus on the big picture as the design will almost always change from pre app to final review.	4/28/2023 3:06 PM
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Q12 Staff believes the following application materials are necessary for a successful pre-application review: Project narrative Conceptual site plan including landscaping Elevations and floor plans Materials and colors sample board Conceptual renderings showing surrounding structures and proposed project massing but not required to be fully rendered. Do you believe this list of required submittal materials is appropriate and reasonable for pre-application?

Answered: 14 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00% 7
No	50.00% 7
TOTAL	14

#	ADDITIONAL COMMENTS	DATE
1	This is too much. Staff should be able to get by with no renderings, a sketch site plan to scale with jurisdictional overlays, sketch elevations, sketch landscaping - all to scale, not rendered. Sample images of materials, narrative.	4/30/2023 9:28 PM
2	not fully rendered but must be accurate and to scale. Final approval should require 3D cad modeling in the neighborhood	4/30/2023 9:18 AM
3	Would consider not requiring material colors and sample boards, make those optional. That way applicant could here feedback on this topic before committing to an initial direction	4/28/2023 5:04 PM
4	Renderings are a big ask. Creating a realistic 3-D model that shows surrounding structures is a major expense and a significant burden for all but the largest of projects.	4/28/2023 3:35 PM
5	This is a bit much to be required. A site plan, sample floor plan, architect elevations, and color concept should be all that is required. More information is always better, and developers wantin kore feedback can provide that to get more direction foe the final review.	4/28/2023 3:06 PM
6	too much	4/27/2023 10:13 AM
7	Pre-ap should consider the exterior impact of the project. Interior programmatic characteristics should be at the owner's discretion and will be governed by code (especially ord. 1234) regardless. Project massing in relation to surrounding properties is interesting but should not	4/26/2023 2:43 PM



## TAG Survey-April 2023

be a barrier to creative design (and therefore not required), which again will be necessarily within the bounds allowed by code. What purpose will renderings serve if, for example, the project is hypothetically beside Bluebird Village (the project will be smaller and more articulated) or beside the Pioneer Restaurant or an old miner's cabin (the project will be larger and less historic). Ketchum's design character is eclectic and making a project conform (implied when renderings of surrounding buildings are required) to its neighbors, which might be a near the end of its useful life demolition candidate or a by owner's choice structure built to <1.0 FAR, should not impact a new project's opportunity to design to its style and size choices.

---

8

Not sure why you need floor plans at pre ap

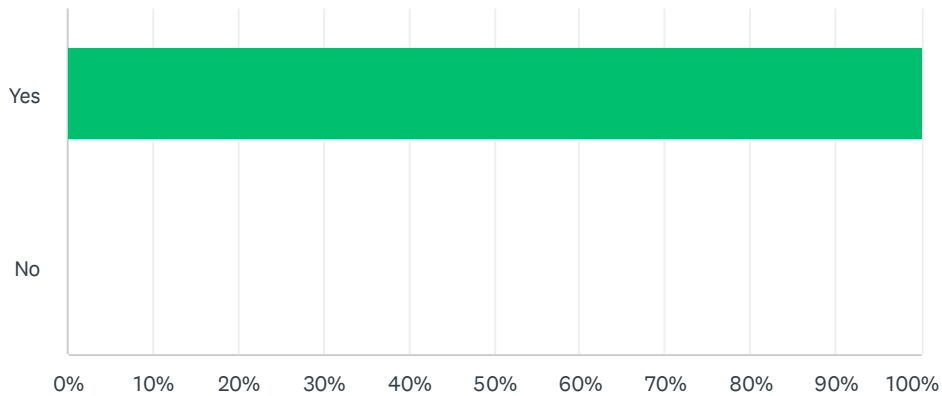
4/25/2023 4:41 PM

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Q13 Staff believes that reviewing building height, setbacks, FAR calculations, and other dimensional standards for zoning compliance is beneficial at the pre-application stage as it allows staff to raise any red flags to applicants early in the process. Projects would not be required to fix zoning compliance issues to advance to the public hearing stage of the review, but all issues would be noted. Do you believe this to be a good approach to the process?

Answered: 14 Skipped: 0



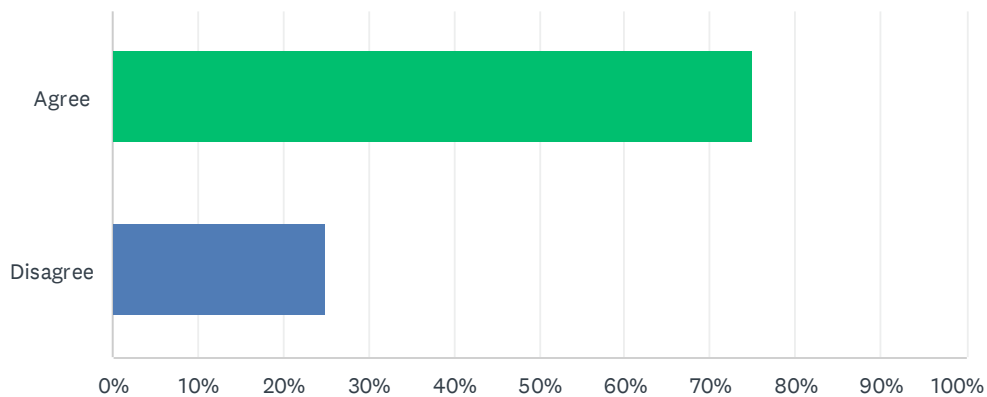
ANSWER CHOICES	RESPONSES	
Yes	100.00%	14
No	0.00%	0
TOTAL		14

#	ADDITIONAL COMMENTS	DATE
1	This saves everyone time. Good idea. Applicants should be noticed of red flags but should be allowed to go to PZ anyway to make a case.	4/30/2023 9:28 PM
2	YES! This is an excellent approach.	4/28/2023 3:35 PM
3	Yes, note any compliance issues in the staff report, but they should not be required to be fixed prior to a pre app hearing.	4/28/2023 3:06 PM



Q14 The Mountain Overlay District (MOD) has a separate set of design review criteria, much of which are focused on grading and areas of disturbance related to the proposed project. Staff believes that a conceptual grading and drainage plan should be required for pre-application design review for projects in the MOD to adequately evaluate the criteria and provide feedback. Do you agree or disagree that a conceptual grading and drainage plan should be required for MOD pre-application?

Answered: 12 Skipped: 2



ANSWER CHOICES	RESPONSES
Agree	75.00% 9
Disagree	25.00% 3
<b>TOTAL</b>	<b>12</b>

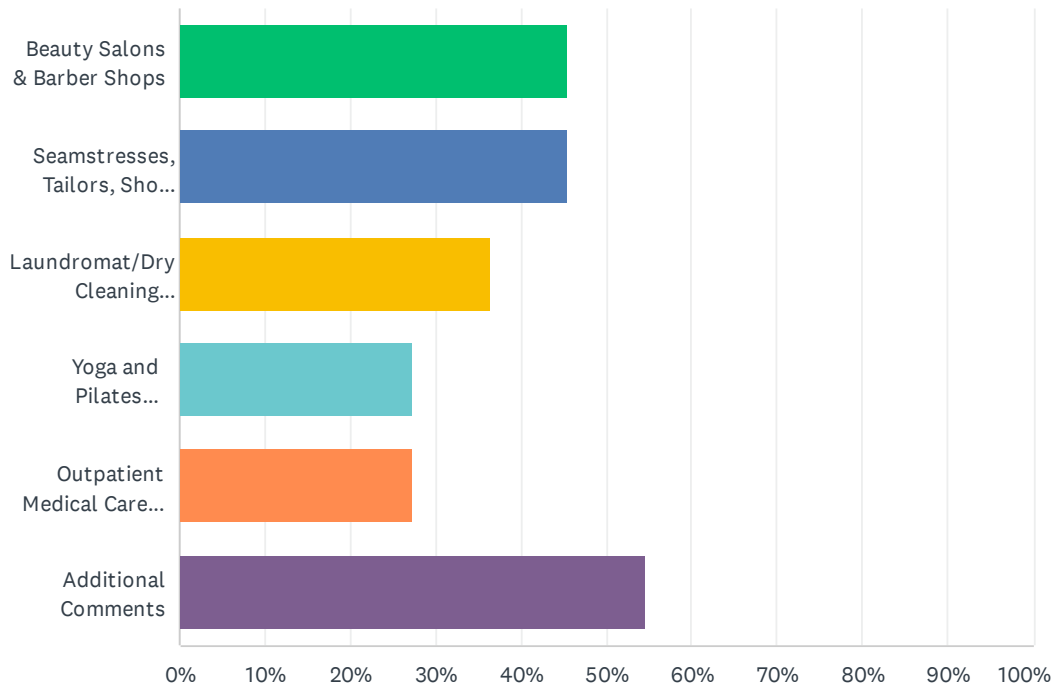
#	ADDITIONAL COMMENTS	DATE
1	As long as the grading and drainage can be concept level. Should not need to be by an engineer !	4/30/2023 9:28 PM
2	Need to get the drainage standards to be more realistic and make sense	4/30/2023 9:18 AM
3	strongly agree	4/29/2023 2:33 PM
4	Again, this could be left up to the applicant. City is going to review and approve g&d at some point, but if applicant doesn't want to invest in g&d for pre-app, and just wants commission feedback for direction, then they could	4/28/2023 5:04 PM
5	Grading and drainage will have to be incorporated in final review and at permit. This is too much and too costly for a pre app hearing.	4/28/2023 3:06 PM
6	should be able to be provided by Landscape Architect or Engineer	4/27/2023 10:13 AM
7	outside my expertise	4/26/2023 2:43 PM



Q15 Section 8 of Interim Ordinance 1234 provides a parking exemption for the first 5,500 square feet of office space within a development.

Stakeholders have provided feedback that the city should consider providing a parking exception for uses that provide services with short customer durations. Please select one or more of the following short duration services which you believe should be able to receive a parking exemption.

Answered: 11 Skipped: 3



ANSWER CHOICES	RESPONSES
Beauty Salons & Barber Shops	45.45% 5
Seamstresses, Tailors, Shoe Repair	45.45% 5
Laundromat/Dry Cleaning Pick-Up/Drop-Off Only (where processing of garments is located in separate facility)	36.36% 4
Yoga and Pilates Studios, Personal Training Studios	27.27% 3
Outpatient Medical Care Facilities (dermatology, dentistry, mental health, etc.)	27.27% 3
Additional Comments	54.55% 6
Total Respondents: 11	

#	ADDITIONAL COMMENTS	DATE
1	no comment	4/30/2023 9:29 PM



## TAG Survey-April 2023

2	I'm opposed to parking exemptions..	4/30/2023 9:19 AM
3	This is a nuanced question. Uses aren't always determined by a developer, so how can we connect exemption to use at time of development?	4/28/2023 5:04 PM
4	Uses change over the course of a buildings life span. Exemption should be the same for all commercial uses.	4/28/2023 3:08 PM
5	no exemptions	4/27/2023 10:18 AM
6	other short term uses could be considered once the City's parking management plan is activated to limit short term on-street parking near such uses to <= 1 hour	4/26/2023 3:02 PM





City of Ketchum

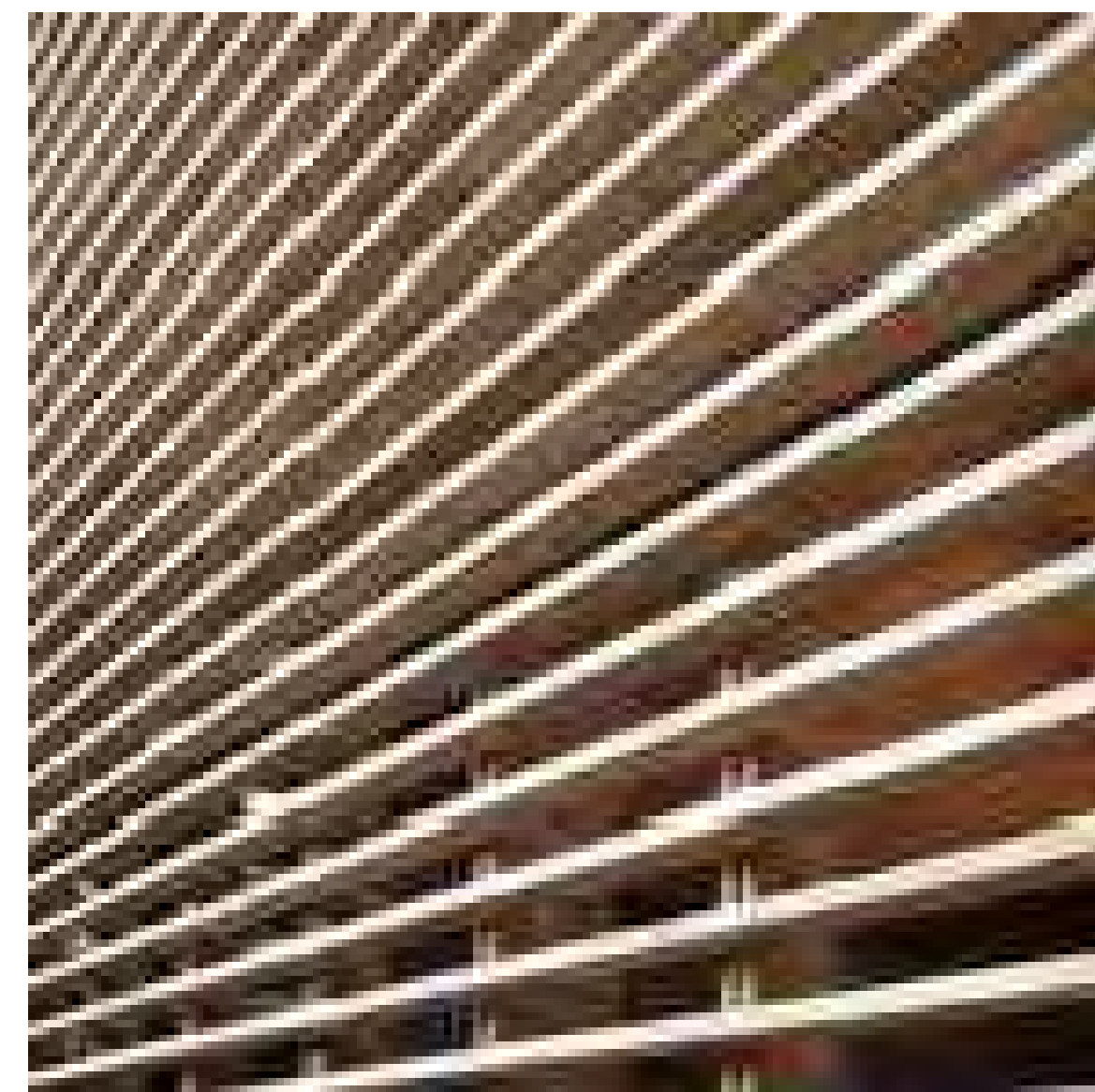
# Attachment B: Example Color Palette/Materials Board



# Proposed Material Palette



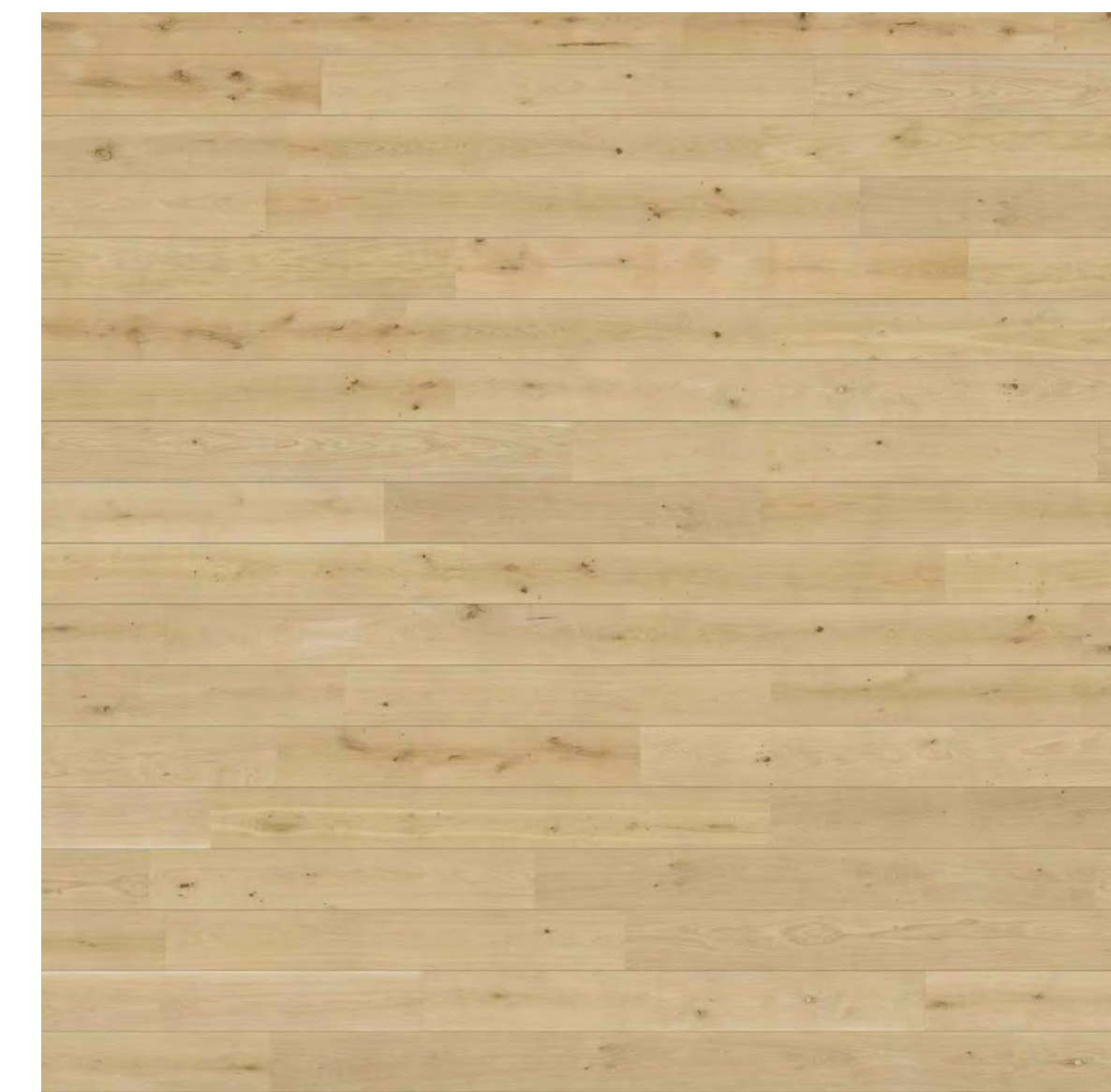
**1) Wood Windows & Doors**  
At exterior glazing locations



**2) Wood Louvers**  
At exterior glazed locations



**3) Wood Cladding**  
At exterior walls



**4) Wood Soffits**  
At exterior soffit locations



**5) Stone Cladding**  
At exterior walls



**6) Zinc**  
At chimneys & parapet caps



**7) Cable Guardrail**  
At exterior terraces



**8) Green Roof**  
Sedum green roof w/native vegetation  
(TBD by Landscape Architect)

**Residence**

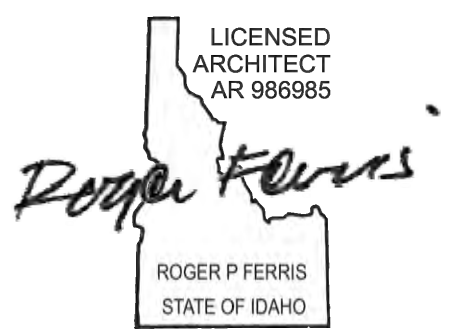
691 North Spruce Ave.  
Ketchum, ID 83340

Architect  
**Roger Ferris + Partners**  
11 Wilton Road • Westport, Connecticut 06880  
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor  
**Galena Engineering**  
317 N. River Street • Hailey, ID 83333  
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect  
**BYLA Landscape Architects**  
323 Lewis Street, Suite N • Ketchum, ID 83340  
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL



KEY PLAN

**PROJECT PHASE - PERMITTING**

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
2	MODR - REV #1	JUNE 16, 2022	CITY
3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV #4	OCTOBER 11, 2022	CITY
6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

**PROPOSED MATERIAL PALETTE**

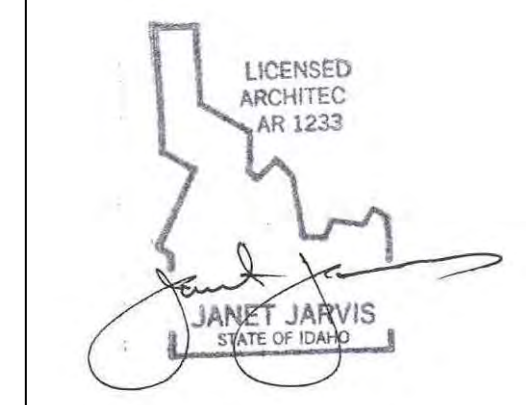
PROJECT NUMBER: 21-002  
DATE: JULY 14, 2021  
SCALE: N/A

**G002**



**LEADVILLE TRADING**  
LOT 5, BLOCK 3 KETCHUM TOWNSITE  
IDAHO  
KETCHUM

ARCHITECT



ENGINEER

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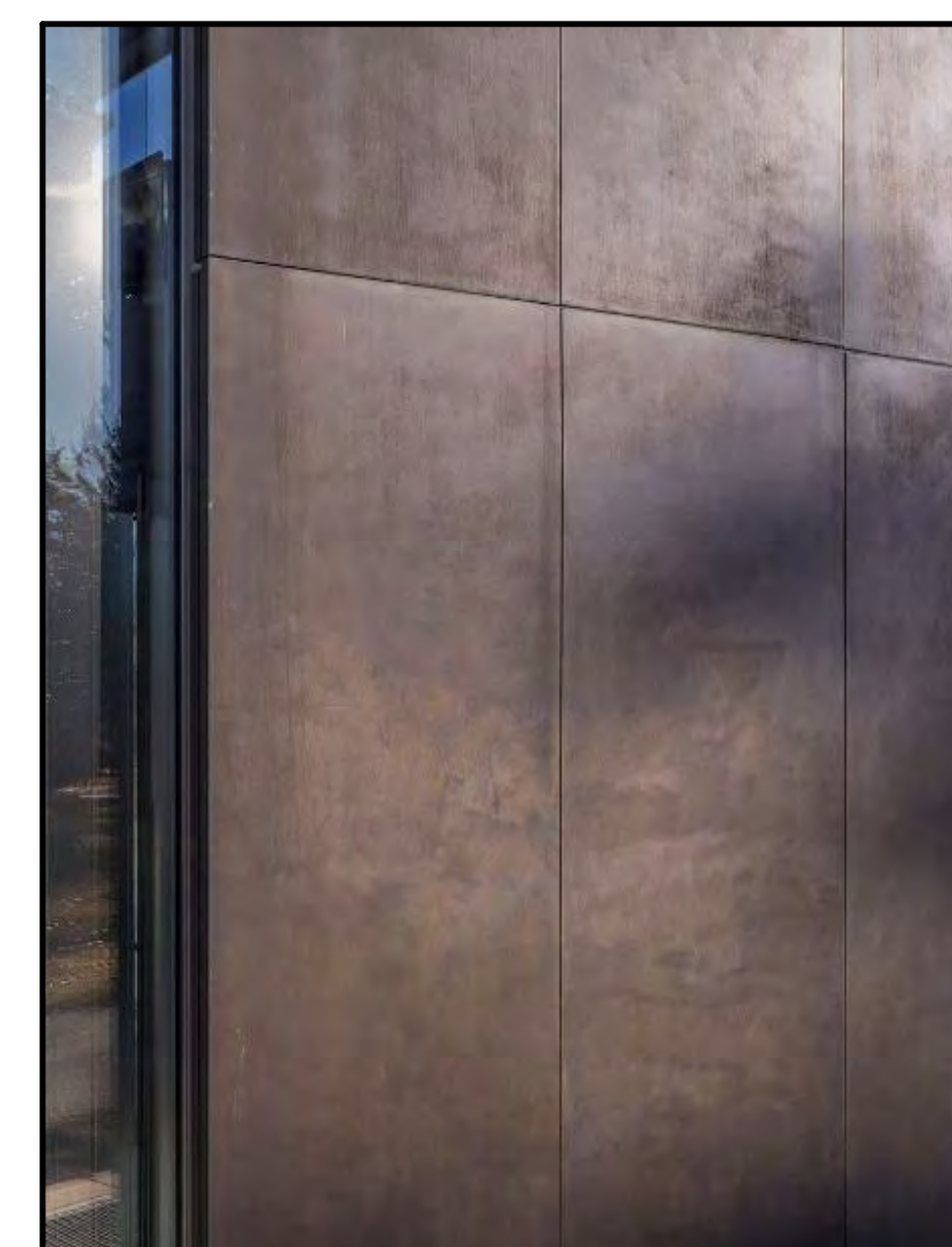
DRAWN

DATE DESIGN REVIEW 11.22.22

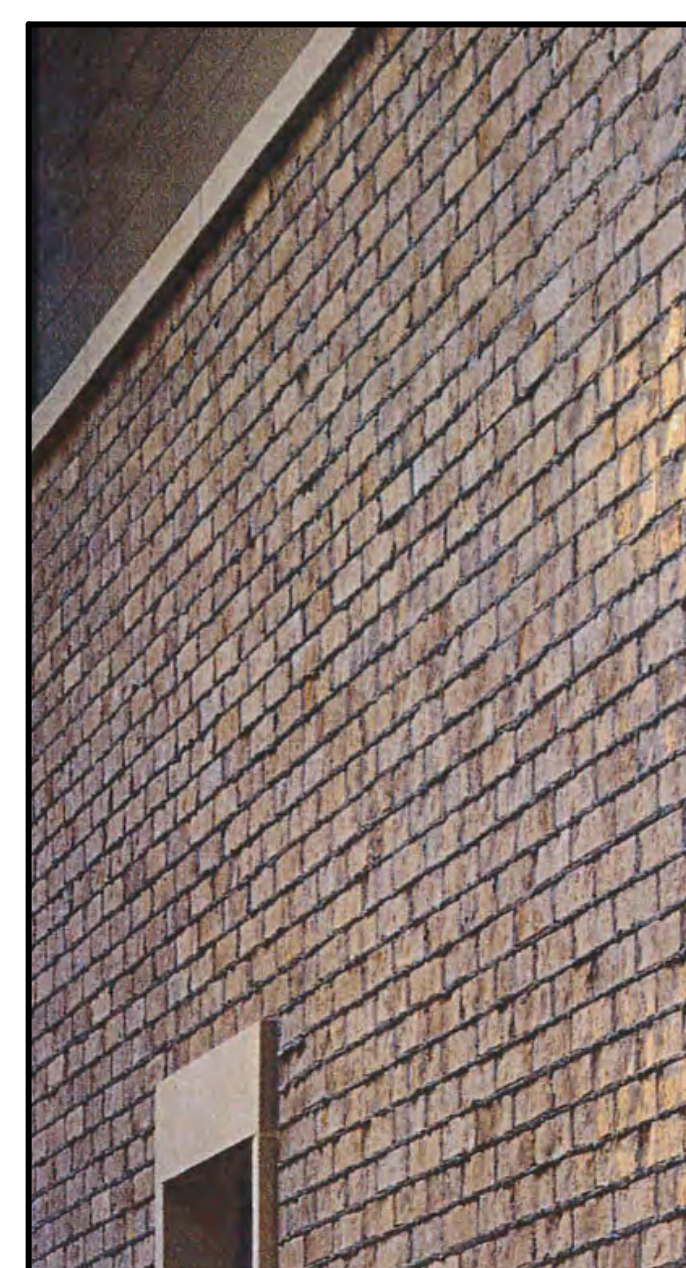
FILE

REVISIONS	
NO.	DESCRIPTION
1	1/9/2023 UPDATED DR
2	2/24/2023 UPDATED DR

PRINT DATE: Friday, February 24, 2023



**EXTERIOR METAL**  
DARK-BRONZE PATINAD METAL.  
MINIMAL EXPOSED FASTENING



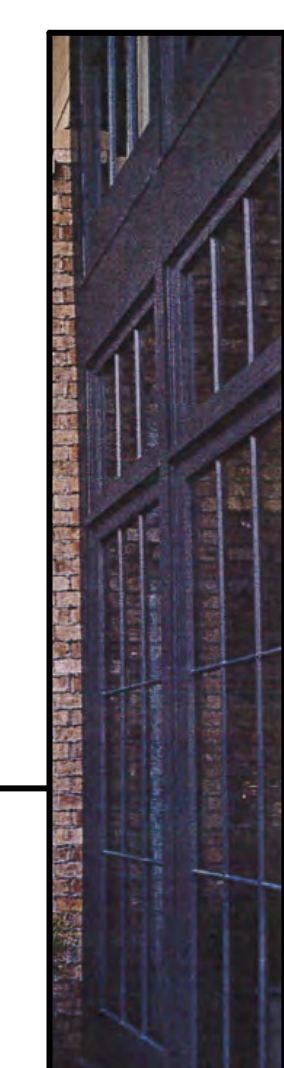
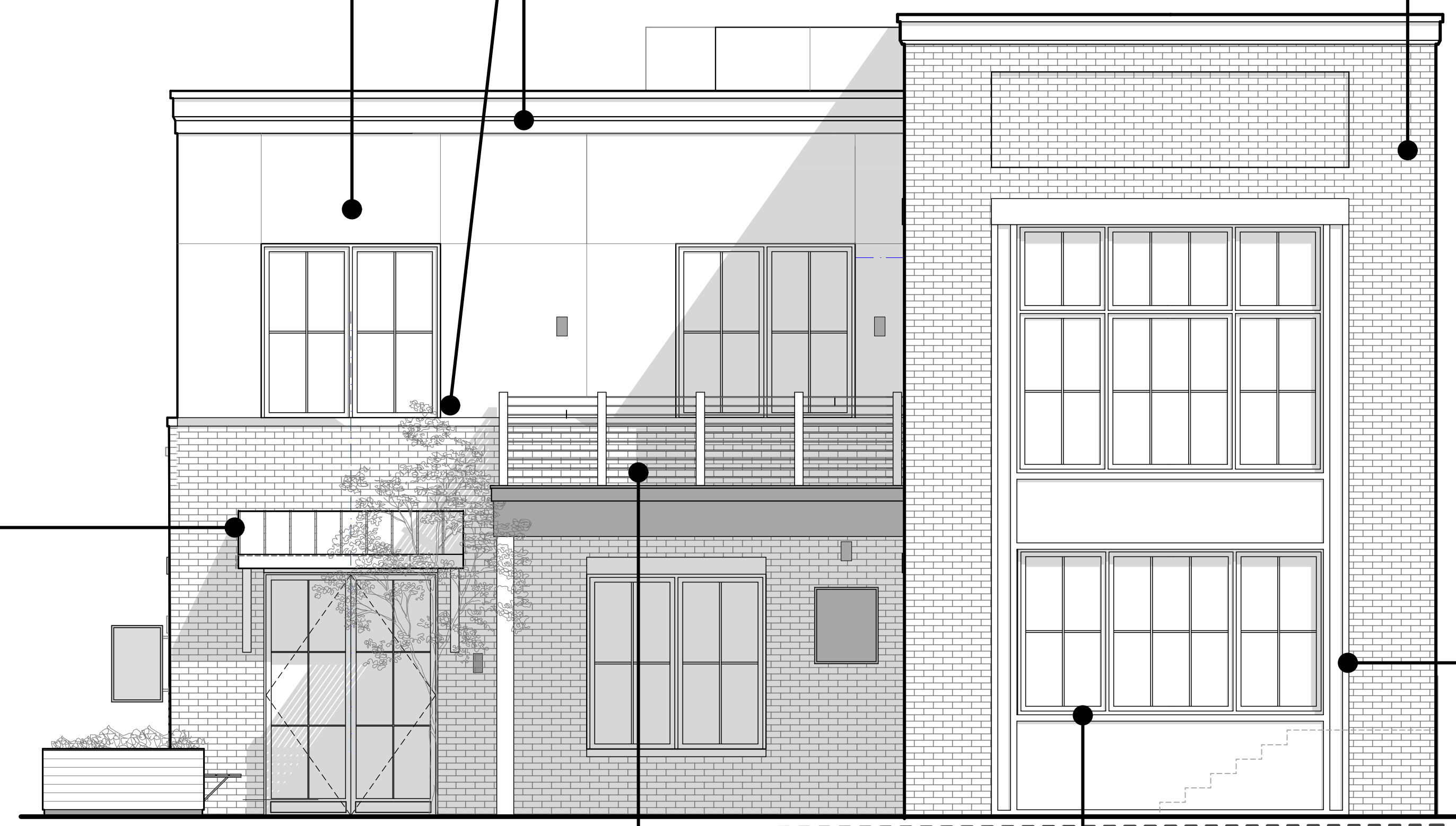
**CORRICE AND HEADER DETAILS**  
CUT LIMESTONE, LIGHT TONED



**EXTERIOR BRICK:**  
RECLAIMED BRICK, EARTH TONES,  
GROUT AS SHOWN



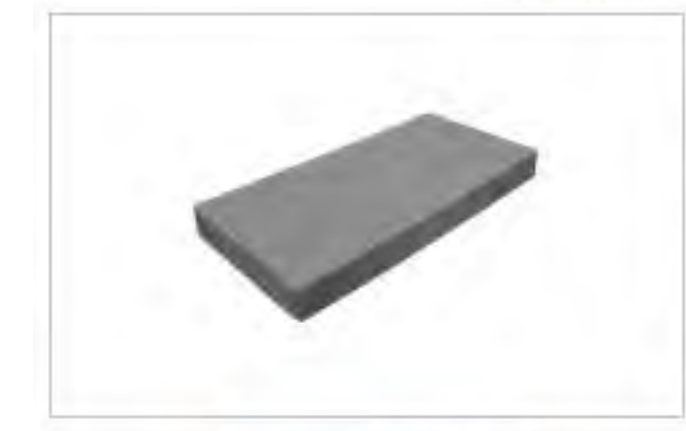
**EXTERIOR METAL ROOF**  
BLACK-ZINC MATTE  
WESTERN STATES METAL ROOFING



**STAIR TOWER WINDOW DETAILING**  
SEMI-TRANSPARENT DARK STAINED  
ARCHITECTURAL CASEWORK



**EXTERIOR PAVER**  
BELGARD CONCRETE PRODUCTS  
PLAZA PAVER  
12" x 24" x 2 3/8" RUNNING BOND  
COLOR: SCANDINA GREY



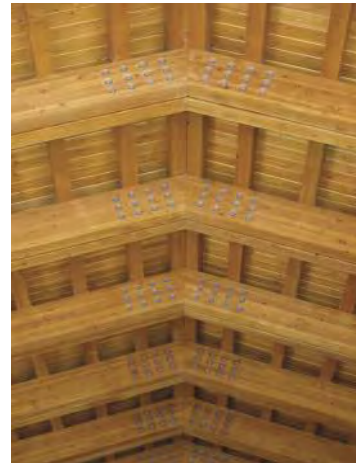
Dimensions Slab  
12 x 24 x 2 3/8

**GUARDRAILS:**  
STEEL NEWEL POSTS &  
HORIZONTAL STEEL FLAT  
BAR WITH DARK BRONZE  
FINISH

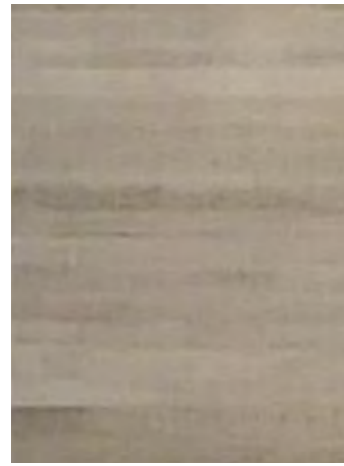


**METAL CLAD WINDOWS AND DOORS:**  
BURNISHED BLACK OR APPROVED EQUAL

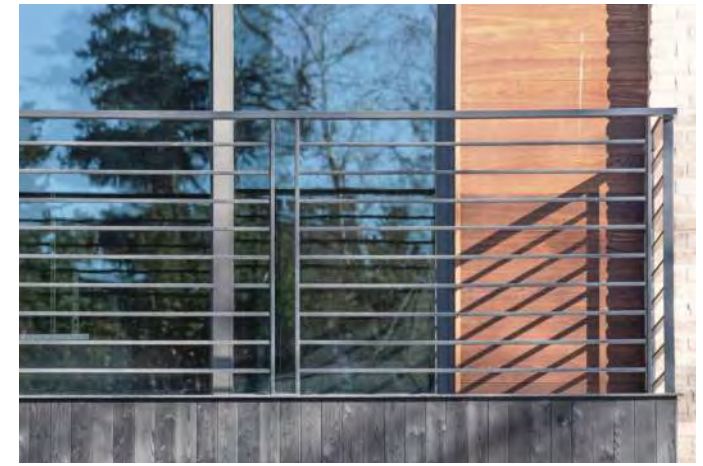




**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**WOOD CLADDING** - clear heart Western Red Cedar, resawn finish with clear coat or semi-transparent stain.  
*Basis of Design: James Hardie, Artisan Lap Siding System.*



**STEEL GUARD RAILINGS** - galvanized and painted with WOOD TOP RAIL.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**ALUMINUM WINDOWS AND DOORS** - powder coated extruded aluminum with Low "E" insulated glass.  
*Basis of Design: Vistaluxe Collection AL Line - Kolbe Windows and Doors.*  
*Basis of Design: Reynaers CP155LS Monorail System.*



**CEMENT PLASTER** - 3-coat system, hard-troweled finish with 100% acrylic topcoat finish.



**STONE VENEER** - Montana Moss Rock natural stone dry-stack lay-up. Stainless steel masonry anchor system.



**ALUMINUM PANELS** with colored and textured FEVE resin-based powder coating system.  
*Basis of Design: Pure + FreeForm coated aluminum panels with Vintage Steel #FA049 / Color Family: Rust finish.*



**BOARD-FORMED CONCRETE** - cast-in-place and stained.





City of Ketchum

# Attachment C: PreApp – 3D Model/Perspectives Examples





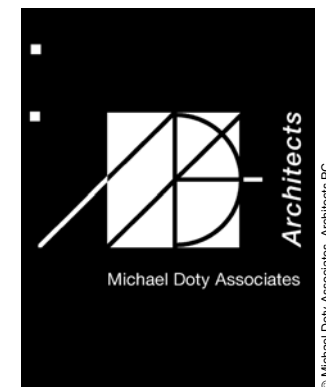
(SUMMER SOLSTICE, 6PM)

# 131 FIRST AVENUE TOWNHOMES

02/06/14

3D VIEW 03 FROM RIVER STREET & 1ST AVE

SCALE:







(SUMMER SOLSTICE, 4PM)

# 131 FIRST AVENUE TOWNHOMES

3D VIEW 06 FROM 1ST AVE & ALLEY

02/06/14

SCALE:







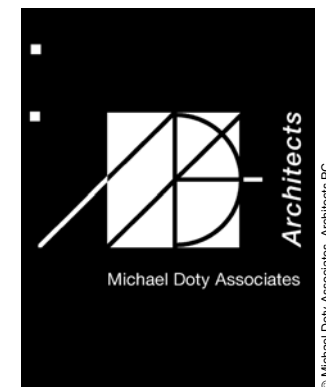
(SUMMER SOLSTICE, 9AM)

# 131 FIRST AVENUE TOWNHOMES

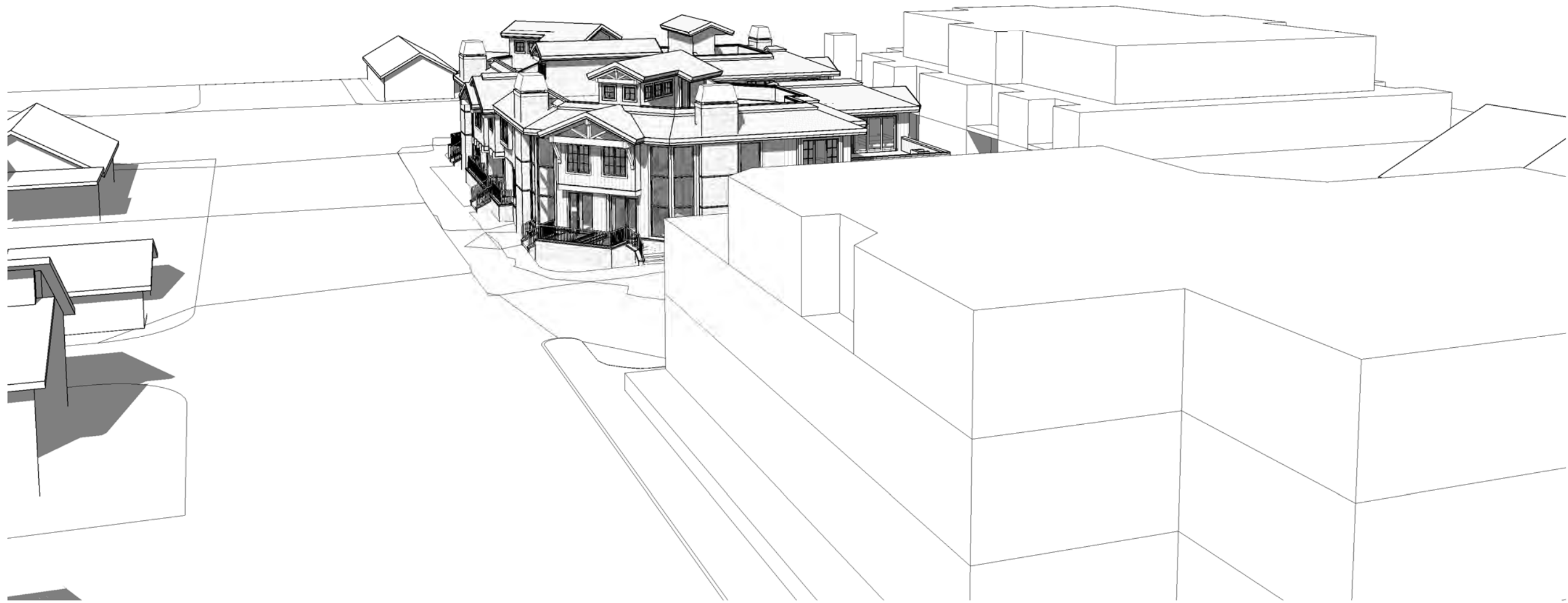
02/06/14

3D VIEW 07 - BIRDSEYE FROM 1ST ST LOOKING WEST

SCALE:







(SUMMER SOLSTICE, 4PM)

# 131 FIRST AVENUE TOWNHOMES

3D VIEW 08 - BIRDSEYE FROM 1ST ST LOOKING EAST

02/06/14

SCALE:











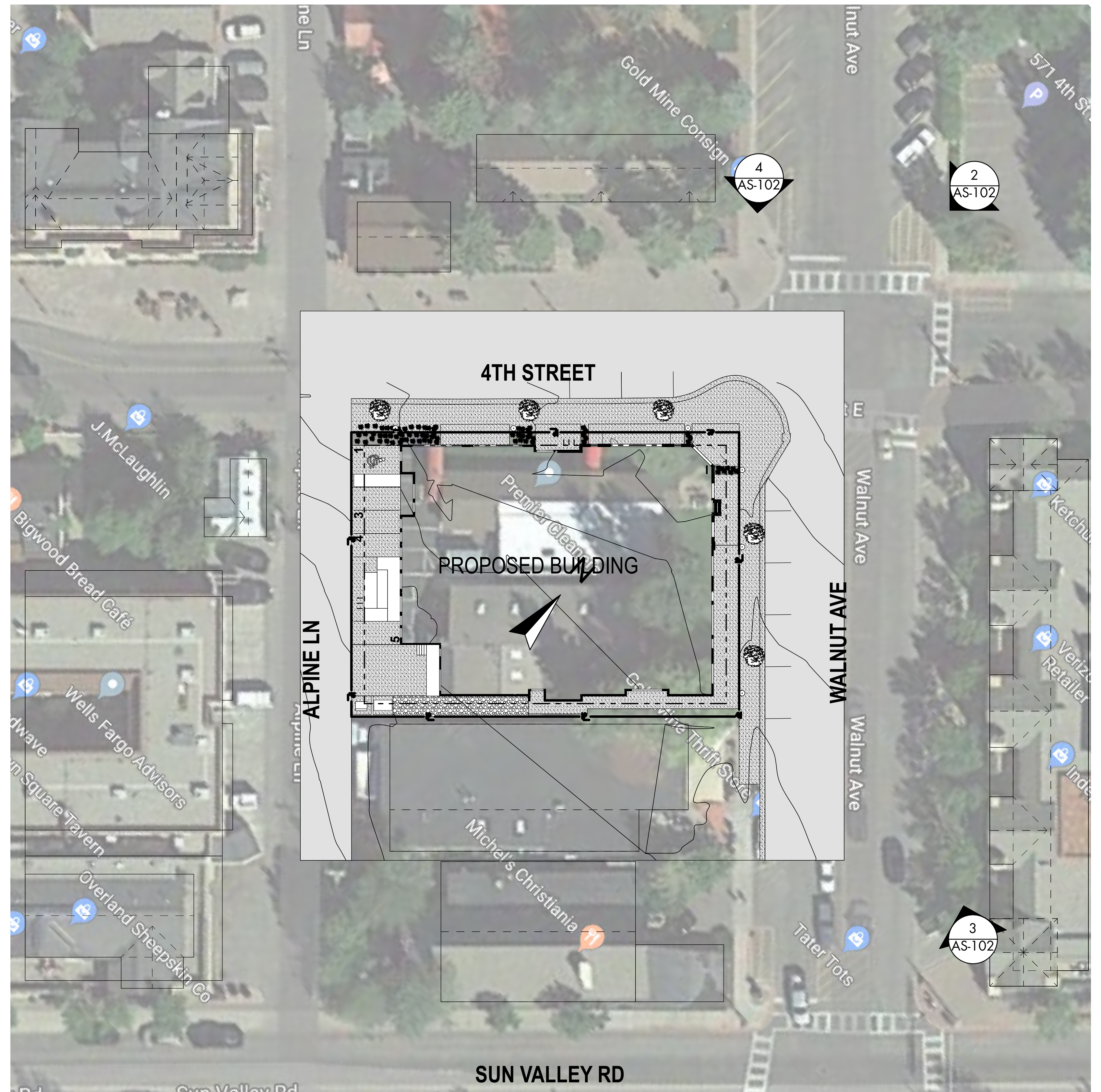
2 4th and Walnut Perspective  
SCALE: 1/32" = 1'-0"



3 Walnut Perspective  
SCALE: 1/32" = 1'-0"



4 4th Perspective  
SCALE: 1/32" = 1'-0"



1 ARCHITECTURAL SITE VICINITY  
SCALE: 1:288



305 1st STREET,  
Idaho Falls, ID 83401  
PH: 208.757.5700  
www.resinarchitecture.com

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ARCHITECTURAL VICINITY MAP

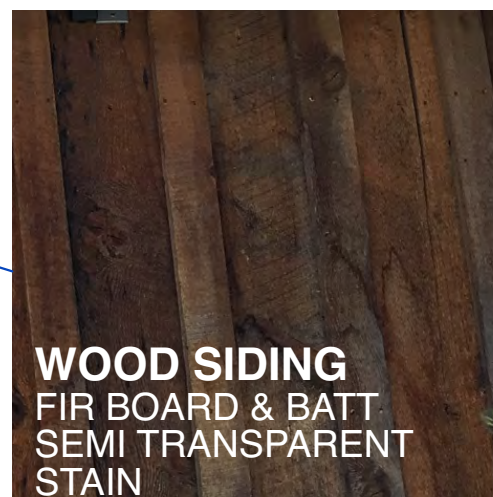
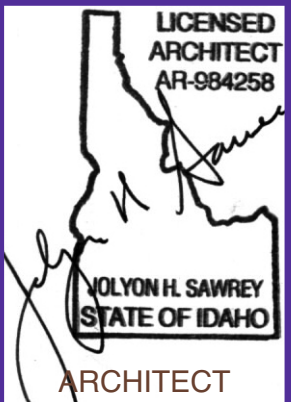
3/4/20

4th & Walnut Ave.  
Commercial Development

Preliminary Design Review March 9 2020 AS-102



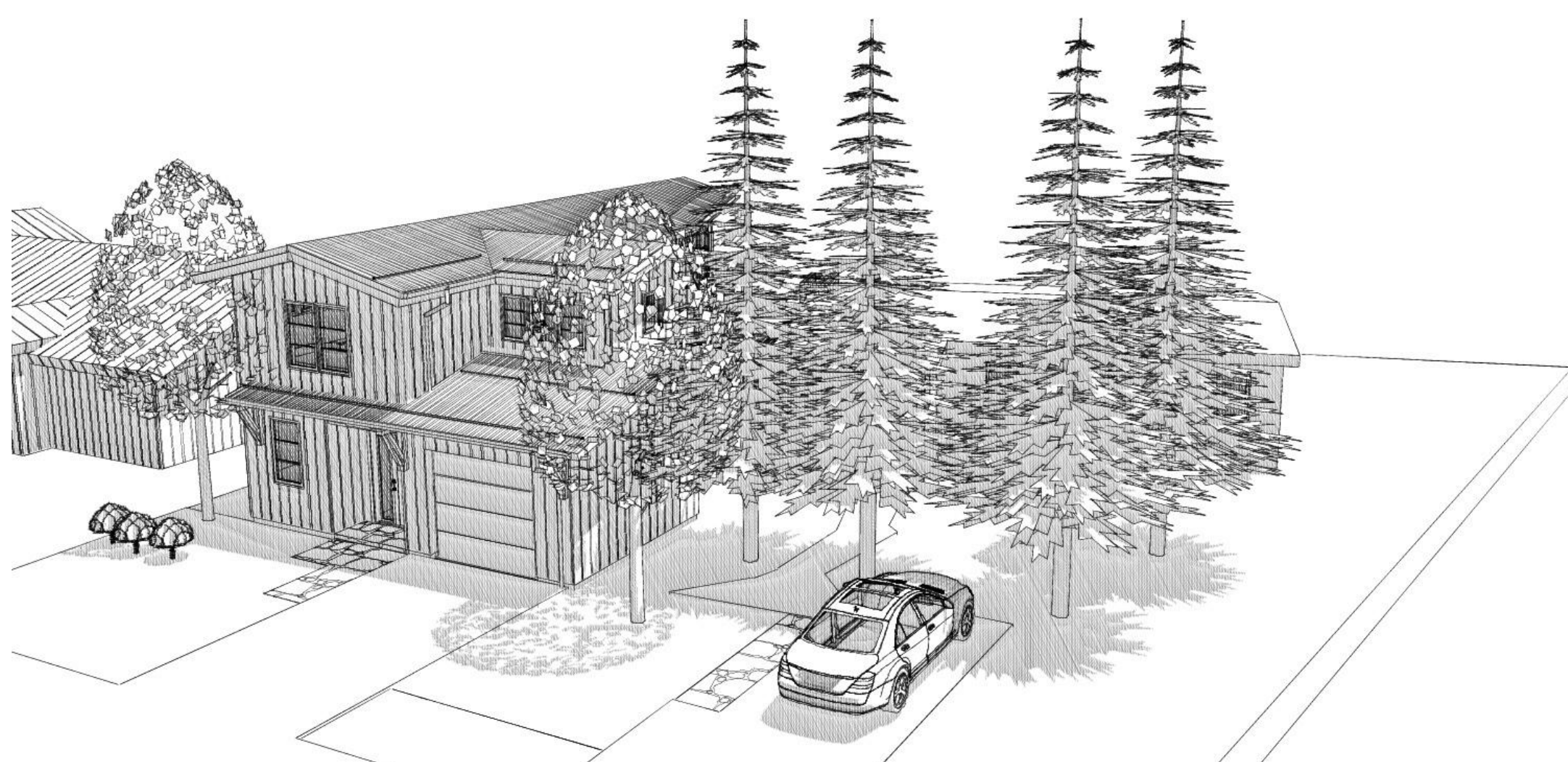
**DESIGN REVIEW**



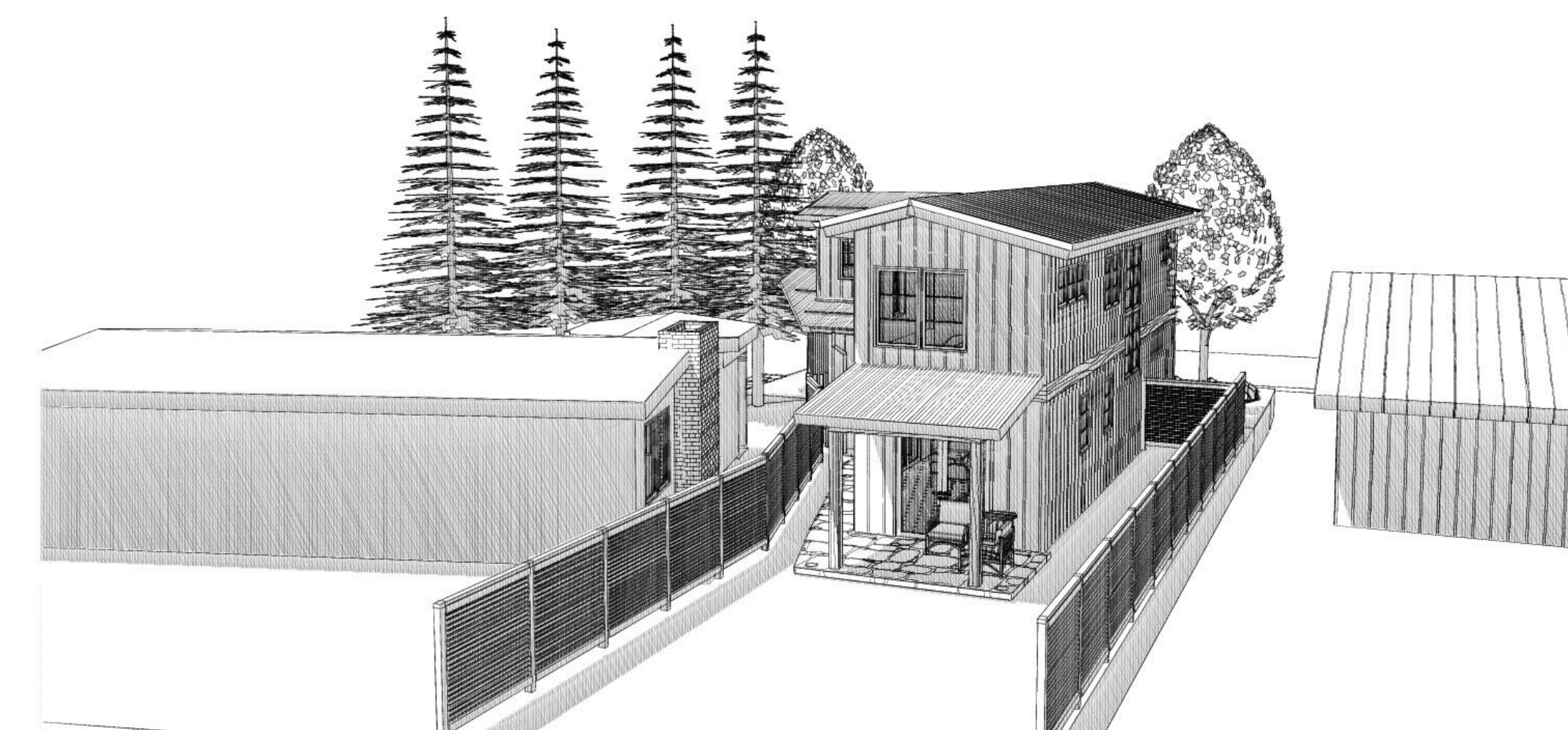
**STREET VIEW**



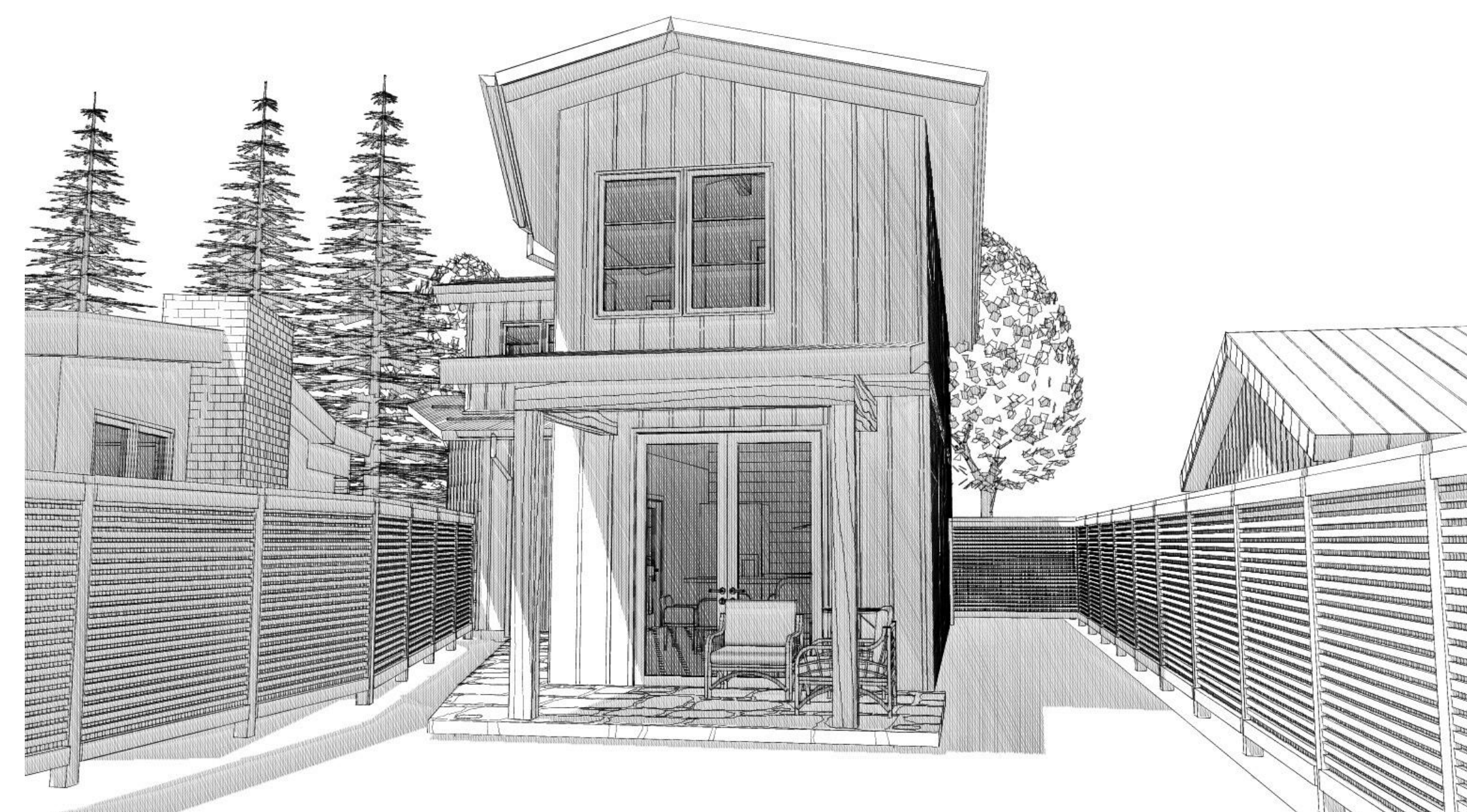
**REAR YARD AERIAL**



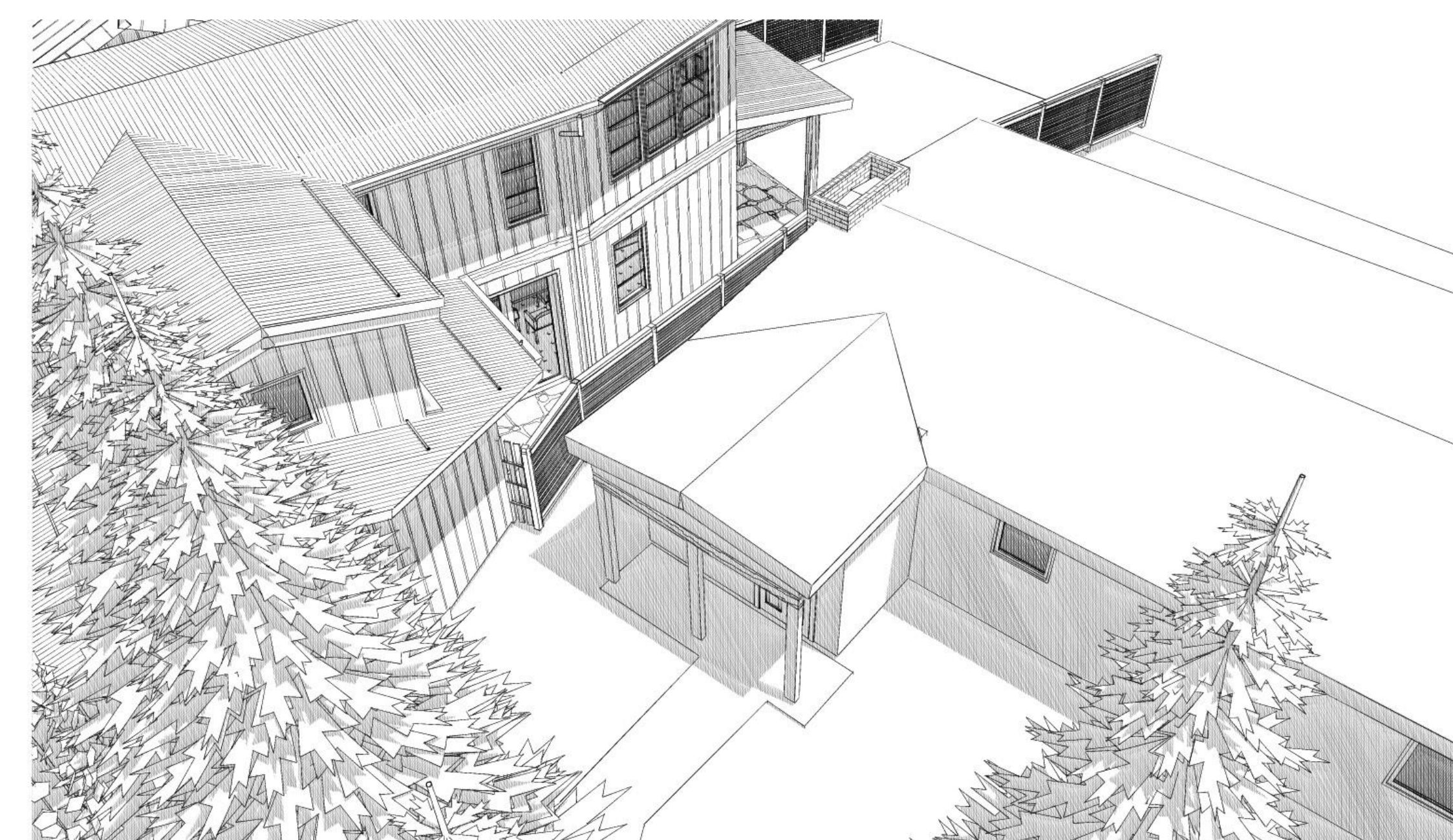
**STREET AERIAL**



**REAR YARD AERIAL**



**REAR YARD VIEW**



**MAIN HOUSE ENTRY AERIAL**

A NEW RESIDENCE/TOWNHOUSE:  
**407 BALD MTN ROAD**  
KETCHUM, IDAHO

(208) 750-6315 Ph  
plyon@vitalinkarchitecture.com

**Vital ink** LLC  
Environmental Architecture  
& Consulting LLC



30 West Drive  
Bellevue, Idaho 83813

**REVISIONS**


**DATE**  
24 AUG, 2021

**A6.0**





City of Ketchum

# Attachment D: Final DR – 3D Model/Perspectives Examples

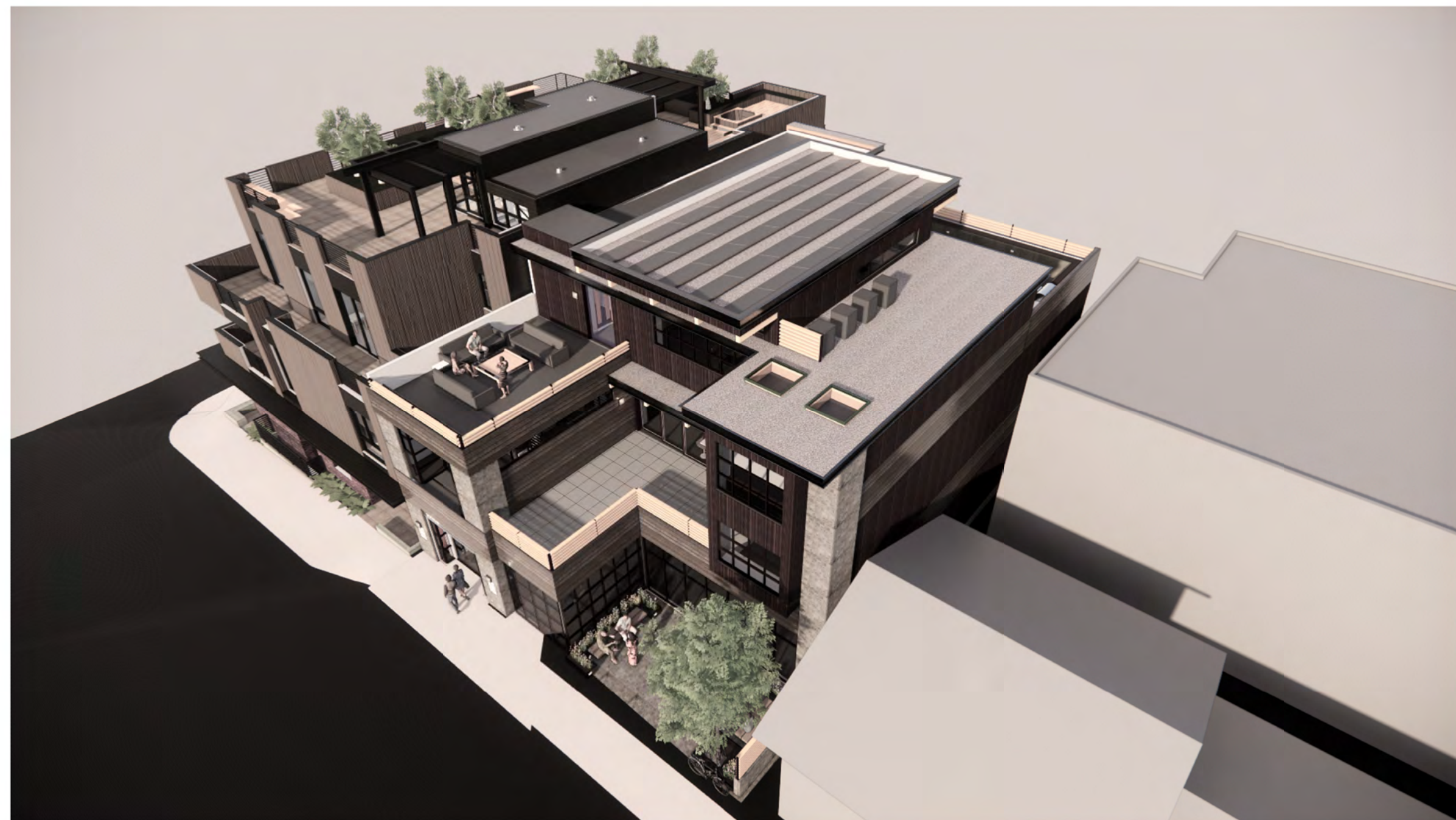




1 East Perspective  
A-200 12" = 1'-0"



2 ne perspective  
A-200 12" = 1'-0"



3 ne birdseye  
A-200 12" = 1'-0"



4 nw birdseye  
A-200 12" = 1'-0"



5 nw perspective  
A-200 12" = 1'-0"





**PLAN VIEW**



0' 15' 30' 60' 90'  
 Scale: 1" = 30' - 0"  
 On 24 x 36 (Arch D) Sheet Size



**PROJECT VISUALIZATION 1**



**EXISTING CONDITION 1**



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**PROJECT**  
**WEST KETCHUM RESIDENCES**  
**150 BIRD DRIVE**  
 Ketchum, Idaho

**DOCUMENT DATE**  
 December 31, 2019

**DRAWN BY**  
 Nathan Schutte

**REVISION**

No.	Date	Remark
1	12/31/19	Design Review

**DESIGN REVIEW SET**

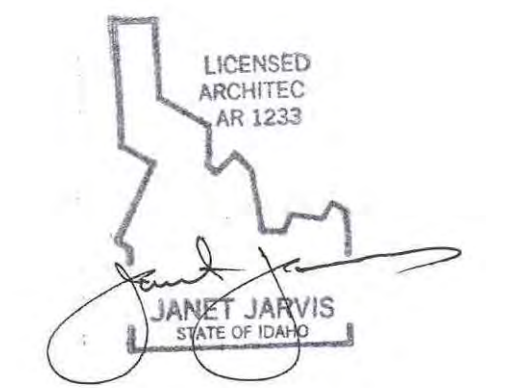
**SITE AERIAL VISUALIZATION**





LEADVILLE TRADING  
LOT 5, BLOCK 3 KETCHUM TOWNSITE  
KETCHUM  
IDAHO

ARCHITECT



ENGINEER

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DRAWN

DATE DESIGN REVIEW 11.22.22

FILE

REVISIONS

NO.	DATE	DESCRIPTION
△	1/9/2023	UPDATED DR
△	2/24/2023	UPDATED DR

PRINT DATE: Friday, February 24, 2023



LANDSCAPE PLANTING DEPICTED IN RENDERINGS IS AN ARTISTIC REPRESENTATION. REFER TO LANDSCAPE PLAN L2 FOR PROPOSED PLANTING SPECIES.



AERIAL VIEW LOOKING NORTH **2**



AERIAL VIEW LOOKING EAST **1**

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# Sapp Townhomes

780 N. 4th Ave., Ketchum, ID 83340

**WILLIAMS | PARTNERS**

**ARCHITECTS**

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**DRAWINGS**  
DATE: 7/22/2022 KETCHUM DESIGN REVIEW  
ISSUED: 9/16/2022 KETCHUM DESIGN REVIEW REVISED

**REVISIONS**  
NUMBER: DATE:

**A 5.3**