



Planning and Zoning Commission - Regular Meeting AGENDA

Tuesday, November 10, 2020 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

In recognition of the Coronavirus (COVID-19), members of the public may observe the meeting live on the City's website at ketchumidaho.org/meetings.

If you would like to comment on a PUBLIC HEARING item, please submit your comment to participate@ketchumidaho.org by noon the day of the meeting. Comments will be provided to the Planning and Zoning Commission.

If you would like to phone in and provide comment on a PUBLIC HEARING item on the agenda, please dial the number below. You will be called upon for comment during that agenda item.

If you would like to provide comment on a PUBLIC HEARING item on the agenda in person, you may speak to the Commission when called upon but must leave the room after speaking and observe the meeting outside City Hall.

Dial-in: 346-248-7799

Meeting ID: 955 7622 5849

CALL TO ORDER

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

CONSENT CALENDAR—ACTION ITEMS

- 1. ACTION ITEM** - Minutes of October 13, 2020
- 2. ACTION ITEM** - Sun Valley Electric Bicycles Conditional Use Permit Findings of Fact and Conclusions of Law

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

- 3. ACTION ITEM- Sun Valley and First Condominium Subdivision Preliminary Plat**: 311 N First Avenue (Lot 4, Block 57, Ketchum Townsite) The Commission will consider and make a recommendation regarding a Condominium Subdivision Preliminary Plat submitted by David and Patricia Wilson to subdivide the mixed-use building currently under construction in the Mixed-Use Subdistrict of the Community Core (CC-2) into seven (7) condominium units
- 4. ACTION ITEM - Mindbender Condominium Subdivision Preliminary Plat**: 180 W Second Street (Ketchum Townsite: Block 59: West Half of Lot 5) The Commission will consider and make a recommendation regarding a Condominium Subdivision Preliminary Plat application to subdivide a multi-family residential building within the Mixed-Use Subdistrict of the Community Core (CC-2) into four condominium dwelling units.
- 5. ACTION ITEM- Waterman Residence Mountain Overlay Design Review**: 604 S. Leadville Ave. (Tax Lot 8554) The Commission will consider and take action on a Mountain Overlay Design Review application for proposed additions totaling 2,102 square feet to an existing single-family

residence located at 604 S Leadville Avenue within the Limited Residential (LR) Zoning District and Mountain Overlay.

6. **ACTION ITEM - 4th & Main St Mixed-Use Building Pre-Application Design Review:** Hot Dog Hill (Ketchum Townsite: Block 5: Lots 1, 2, 3, and 4.) The Commission will consider and give direction on a Pre-Application Design Review submitted by Chris Ensign of Solstice Homes Development for a new four-story, 48.5 foot tall, 58,216-square-foot mixed-use building located on four lots on Main Street between 4th and 5th Streets within the Retail core of the Community Core (CC-1). *Continued from the Planning & Zoning Commission meetings of January 13, March 9, and June 8, 2020.*
7. **ACTION ITEM - Decked Building Addition Design Review:** 345 Lewis Street (Northgate Subdivision: Block 1: Lot 15) The Commission will consider and take action on a Design Review application for a 1,825-square-foot, 25-foot tall addition to the Decked Building located at 345 Lewis Street within the City's Light Industrial Number 2 (LI-2) Zoning District. *Continued from October 13, 2020. Staff recommends continuing review of this project to December 15, 2020 at the request of the applicant.*
8. **ACTION ITEM - Ketchum Boutique Hotel Re-Hearing: 260 E River Street** Project Location: Includes three parcels (251 S. Main Street – Ketchum Townsite Lots 3, 21, FR 22 Blk 82 N 10' x 110' of alley S 20' x 230' of alley, 260 E. River Street – Ketchum Townsite Lot 2 Block 82 10' x 110' of alley, and 280 E. River Street – Ketchum Townsite Lot 1 Block 82). Hearing continued from October 27, 2020 to review findings of fact, conclusions of law and conditions of approval. *Hearing recommended to be continued to December 15, 2020.*
9. **ACTION - Haemmerle Variance:** FR SE SW TL 8491, located between 120 and 204 Topaz Street. The Commission will consider and take action regarding a Variance application for a 0.25 acre unaddressed parcel, FR SE SW TL 8491, located in between 120 and 204 Topaz Streets in the Limited Residential (LR) zone. *Application withdrawn at request of applicant.*

STAFF AND COMMISSION COMMUNICATIONS

ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning and Zoning Commission - Regular Meeting MINUTES

Tuesday, October 13, 2020 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

CALL TO ORDER

The meeting was called to order at 5:30 PM by Chairman Neil Morrow.

PRESENT

Chairman Neil Morrow
Vice-Chairman Mattie Mead
Commissioner Tim Carter
Commissioner Jennifer Cosgrove
Commissioner Brenda Moczygemba

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

Commissioners Cosgrove, Moczygemba, Carter and Mead disclosed they each had driven past the two sites in the LI.

CONSENT CALENDAR—ACTION ITEMS

1. Minutes of September 15, 2020
2. Minutes of September 28, 2020
3. DeLong Townhome Design Review Findings of Fact and Conclusions of Law

Motion to approve the Consent Calendar items 1-3.

Motion made by Vice-Chairman Mead, Seconded by Commissioner Carter.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

4. **ACTION - Wills Condominium Subdivision Preliminary Plat:** 3020 Warm Springs Road (A townhouse Subdivision of Wills Condominium No. 2 Amended) The Commission will consider and make a recommendation regarding a Preliminary Plat submitted by Doug and Stacey Waddell to replat the Willis Condominiums No. 2 Amended parcel to reflect a new two-unit townhouse development, the Waddell/Roush Townhomes. The subject property is 3020 Warm Springs Road. A prior platting action vacated the existing two-unit condominium development and reverted the subject property to a land parcel. The Commission approved Design Review for the design of the new two-unit development on July 13th, 2020; the units were designed with the intent of subdividing. The subject parcel is located in the General Residential – Low Density (GR-L) zoning district. **Continued from September 15, 2020**

The Preliminary Plat was introduced by Senior Planner Brittany Skelton. Staff recommended approval of this plat.

Being no questions from the Commission, Chairman Morrow opened the floor to Public Comment.

No comments were made and the floor was closed.

Motion to recommend approval to City Council of the Wills Condominium Preliminary Plat

Motion made by Commissioner Moczygemba, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

5. **ACTION - Decked Building Addition Design Review:** 345 Lewis St (Northgate Subdivision: Block 1: Lot 15) The Commission will consider and take action on a Design Review application for a 1,825-square-foot, 25-foot tall addition to the Decked Building located at 345 Lewis Street within the City's Light Industrial Number 2 (LI-2) Zoning District.

The Decked Building Design Review was introduced by Planner Abby Rivin.

Michael Barker, architect for the project, presented the features of the project. The proposal included building to the property line. Jake Peters, general manager of Decked, commented on the proposed project. Barker explained the exterior materials, interior space, parking, and snow removal.

Commissioner Cosgrove asked about the reason for the height of the addition which would impinge on the neighbor's deck space. Barker replied they could not add 2 floors and stay below the neighbor's handrail. Code would allow an addition of three floors. The door and windows of the additions are setback 10-12 feet from the property line. Commissioner Cosgrove was concerned with the effects on the neighboring property.

Vice-Chair Mead asked about the height of the parapet from the neighboring deck. Barker replied the parapet must be 30" above the roof surface. It also screens the roof from the neighbor's view.

Commissioner Moczygemba opined it was too bad both properties had built to the property line. She asked about the dumpster placement. Barker replied the placement was to allowed trucks to enter the loading dock.

Chairman Morrow opened the floor to Public Comment.

Tenant, Jake Peters, spoke to the need for the improvements as the company is growing and space is needed for expansion.

No further comments were made, and the floor was closed.

Commissioner Cosgrove asked for more thorough drawings.

Motion to continue the Decked Building Addition Design Review to the next PZ meeting.

Motion made by Commissioner Carter, Seconded by Commissioner Moczygemba.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

6. **ACTION - Sun Valley Electric Bicycles Conditional Use Permit (CUP):** 100 Northwood Way, Unit C-2, Ketchum, ID 83340 (Lot 2, Northwood Light Industrial subdivision) The Commission will consider and take action on a Conditional Use Permit (CUP) application by Sun Valley Electric Bicycles LLC (Richard “Matt” Davis, Karen Davis, Mark Carnes) for a Motor Vehicle Sales business to be located at 100 Northwood Way, Unit C-2, Ketchum, ID 83340 (Lot 2, Northwood Light Industrial subdivision), which is located in the Light Industrial No. 2 zoning district.

Senior Planner Brittany Skelton gave the overview of the project and criteria to evaluate the Conditional Use Permit, including parking, traffic patterns, adherence to the Comprehensive Plan, adherence to health and safety standards, and if services can be delivered to the site. Staff recommended approval of the Conditional Use Permit with Conditions as noted. Staff concerns were centered around the repair/rental becoming a retail bike shop with an increase of traffic.

Applicant Matt Davis spoke to the business model including the benefits and popularity of ebikes.

Mark Carnes, owner of Idaho Cycles, provides bike rental, service, and repair of bicycles for the community. He emphasized the services available to the Community with varied options and customization of bikes.

Davis described the floor plan and the ability of the business to customize the bikes.

Vice-Chair Mead asked about parking and unloading of large trucks. Davis replied there were doors on both sides to unload trucks either from the parking lot or from the street.

Commissioner Cosgrove asked what other items were available for sale; Davis replied no clothing, just parts. Helmets would be available since they are required with the bike.

Commissioner Carter asked about the two businesses, how they were separated, and if they could comply with all the conditions. Davis replied they could.

Commissioner Moczygemba asked about parking for customers. Davis replied there was parking for them since they are a tenant and they would be made available for customers.

Chairman Morrow asked if the business plan included selling accessories. Davis indicated they did not. Their focus was on service. Chairman Morrow was concerned about bike riders, to and from the location, combining with the volume of traffic and large trucks in the LI.

Vice-Chair Mead asked about the protocol for directing a customer on a test ride. Carnes indicated they would guide customers where to ride.

Commissioner Cosgrove thought this was actually 2 CUPs; 1) sale of ebikes and 2) using a LI space for a retail business. The addition of a coffee bar and t-shirt sales and this becomes a retail business. Davis revealed the service/repair is half the business and sales of bikes is the other half.

Director Frick advised the Commission that this decision will set a precedent and affect future businesses coming into the LI.

The Commissioners discussed how to limit retail in the LI based on floor space and types of items.

Davis informed the Commissioner that the brand they will carry is exclusive and they will not carry any other brands of bikes.

Planner Skelton suggested changes to the conditions of approval.

Commissioner Moczygemba asked about service for other brands; Carnes said they will service all brands.

Chairman Morrow opened the floor to Public Comment. No comments were made, and the floor was closed.

Vice-Chair Mead liked to see new business coming to town which provide more choices to residents and visitors.

Motion to approve the Sun Valley Electric Bicycles Conditional Use Permit with Conditions 1-12, as amended by staff, and any other conditions as determined necessary by the Commission and direct Staff to prepare the Findings of Fact and Conclusions of Law and Decision for review and approval at the next meeting.

Motion made by Commissioner Moczygemba, Seconded by Commissioner Carter.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

7. **ACTION ITEM- Waterman Residence Mountain Overlay Design Review:** 604 S. Leadville Ave. (Tax Lot 6594, Ketchum FR TL 8554 SEC 18 4N 18E) *This application has been withdrawn at the request of Staff.*

STAFF AND COMMISSION COMMUNICATIONS AND DISCUSSION

8. Discussion on Planning and Zoning Commission authority and discretion for design review projects
9. Discussion about options to protect historic structures in Ketchum
10. Discussion about development standards in the Community Core. What would the Commission recommend to Council for historical preservation?

Director Frick related to the Commission they have very broad discretion in Design Review with the authority to mold and shape projects to fit the surroundings. She emphasized the FAR of 1.0 is guaranteed, anything above that is discretionary. The project must meet the scale and mass of the surrounding neighborhood. The Commission can demand standards stricter than the Code.

Commissioner Carter thought the applicant should be made aware of the standards before going before the Commission.

Vice-Chair Mead struggled with our small-town identity and the mass of some of the projects. He felt these will change the atmosphere of the town forever.

Chairman Morrow agreed the mass will change the town feel. He thought the mass should be contained in the core. He struggled with the property owner only be allowed to conform to the neighboring structures.

Commissioner Carter wanted to see a survey of current structures and what kind of buildings we want to see in the future.

Director Frick inserted staff could conduct a survey of properties to develop examples of character, scale, mass, and compatibility to use as guidelines for what the Commission is looking for.

The Commission discussed recent projects, the effects of large buildings on Main Street, and the direction they would like to see projects take. They questioned how to protect the historical buildings. Examples of the renewal of historic buildings was discussed. The Commission agreed on the importance of preserving Ketchum's heritage.

Vice-Chair Mead wanted to see additions or alterations to historic buildings done with an eye toward historical preservation and maintaining the character of the building.

The Commission continued to discuss the importance of preservation, how to identify properties, and the urgency of preservation. They wanted to see the public involved in the discussion.

Commissioner Moczygemba was concerned about an undue burden to property owners with a building that is not ADA compliant, not energy efficient. She thought it was important to have guidelines on the mass of building frontage.

Director Frick said Staff would bring back a survey of properties and a list of guidelines for historic preservation.

ADJOURNMENT

Motion to adjourn at 6:56. PM

Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

Neil Morrow
Chairman



City of Ketchum
Planning & Building

IN RE:)	
)	
Sun Valley Electric Bicycles)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: November 10, 2020)	DECISION
)	
File Number: P20-091)	

Findings Regarding Application Filed

PROJECT: Sun Valley Electric Bicycles CUP

FILE NUMBER: P20-090

APPLICANT: Richard (“Matt”) and Karen Davis, and Mark Carnes

REQUEST: Conditional Use Permit (CUP) for motor vehicle sales

LOCATION: 100 Northwood Way, Unit C-2, Ketchum, ID (Lot 9, Northwood Light Industrial Sub)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI 48’ Height Overlay

NOTICE: Notice was mailed to property owners within a 300-foot radius and was published in the Idaho Mountain Express on September 23rd, 2020. Notice was posted at the subject location on October 6th, 2020 and on the city website on October 5th, 2020.

ATTACHMENT: A. Floorplan, Sun Valley Electric Bicycles
B. Floorplan, ground floor, 100 Northwood Way
C. Civil site plan

BACKGROUND FINDINGS

- On October 13th, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application by Matt and Karen Davis and Mark Carnes of Sun Valley Electric Bicycles LLC for the proposed motor vehicle sales business to operate at 100 Northwood Way, Unit C-2, an 1,149 square foot commercial space.
- The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.

3. Electric bicycles are classified as Motor Vehicles by Ketchum Municipal Code and motor vehicle sales operations require a Conditional Use Permit in the LI-2 zoning district.

4. The proposed use, Sun Valley Electric Bicycles, is comprised of several components: rental of an electric bicycle fleet, repair service of electric bicycles, and electric bicycle sales. Rental of electric bicycles is a permitted use in the LI-2 zoning district (KMC 17.12.020, footnote 16) and as is repair service (“Repair Shop”). The sale of electric bicycles however is classified as Motor Vehicle Sales. Ketchum Municipal Code Title 10, Vehicles and Traffic, Chapter 10.12, classifies electric bicycles as motor vehicles, just as Vespas and similar scooters with motors that travel on streets are classified as motor vehicles. As such a Conditional Use Permit is required. If the business plan were rental and repair only a Conditional Use Permit would not be required.

**Table 1. Comprehensive Plan
Analysis**

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>Automobile oriented uses are permitted only within Ketchum’s LI-1 and LI-2 zoning districts. The conditional use, Automobile Sales, is consistent with the primary use of the Mixed-Use Industrial land use category.</p>
<p>Policy E-2(a) Light Industrial Area as the Primary Location for New Traditional Light Industrial and Corporate Park Business Growth and Jobs <i>New employment opportunities will focus primarily on clean industries within the City’s industrial areas which are evolving into vibrant, mixed-use business places. Traditional light industrial includes service, warehousing, manufacturing, wholesaling, auto-related businesses, rec-tech, biotechnology, and construction.</i></p>
<p>Electric bicycle sales represent a clean industry. Additionally, the use is compatible with the other mix of uses within the building: an existing bicycle repair shop and the upper-story residential apartments.</p>
<p>Policy E-1(a) Support for Local, Independent Businesses <i>Our community will foster a business climate that helps to retain our existing businesses and to attract and support new independent local businesses. This will reduce economic leakages to other communities and provide residents with essential goods and services. We also will work to encourage a greater local purchasing culture and identify voids in businesses or services that are contributing to the leakage.</i></p>
<p>As noted in the applicant’s narrative, Sun Valley Electric Bicycles intends to provide year-round bicycle service for the valley, which is uncommon (most bicycle-oriented business convert to ski rental, sales and service during the winter). The business will also be the first dedicated retailer and servicer of electric bicycles.</p>

**Table 2: City Department
Comments**

City Department Comments			
Compliant			City Standards and <i>City Department Comments</i>
Yes	No	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire: No comments at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Streets Department and City Engineer: <ul style="list-style-type: none"> Comments related to public safety, such as lines of sight and landscaping conflicts, are being addressed prior to issuance of Certificate of Occupancy for the building. Additionally, conditions related to parking signage / prohibited parking are being included as items that must be rectified prior to issuance of the Certificate of Occupancy.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: No comments at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building: No comment at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: <ul style="list-style-type: none"> Comments related to public safety, such as lines of sight and landscaping conflicts, are being addressed prior to issuance of Certificate of Occupancy for the building. Additionally, conditions related to parking signage / prohibited parking are being included as items that must be rectified prior to issuance of the Certificate of Occupancy.

Table 3: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Staff Comments	The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the LI-2 Zone is <i>“established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.”</i>
				Sun Valley Electric Bicycles has a three-pronged business plan: rental of electric bicycles, service of electric bicycles, and sales of electric bicycles. The first two uses are

			<p>permitted by-right in the LI-2 zoning district – bicycle repair is classified as the use Repair Shop, and although bicycle rental is classified as Retail Trade, which generally restricted in the LI-2 zone, the zoning code has a specific provision allowing the rental of sporting equipment by-right¹. The zoning code does not, however, have a special provision allowing the sale of sporting equipment in the LI-2 zone. But, because electric bicycles are classified by Ketchum Municipal Code as motor vehicles² and Motor Vehicle Sales is permitted in the LI-2 zone with a Conditional Use Permit (CUP), the applicant has applied for a CUP in order to be able to sell electric bicycles from the subject property.</p> <p>There are two primary reasons Retail Trade is limited and restricted in the LI-2 zone: 1) General retail trade – everything from grocery items, apparel, housewares, and so forth – benefits customer, proprietor, and a community’s sense of place when clustered in a district. Co-location in a district allows for a critical mass of customers to visit multiple retailers during an outing, the foot traffic of this critical mass generates a sense of activity and vibrancy, which begets more foot traffic, and businesses benefit from the spur of the moment sales that occur when a window shopper decides to make a purchase or the patron of a nearby business remembers he or she could use an item from neighboring shops. As a small mountain town Ketchum has a zoning district designed for this purpose: the downtown Community Core. In contrast, the LI zones, including LI-2, are geographic areas set aside primarily for uses that cannot occur downtown due to their operational needs (noise and visual/aesthetic conflicts, large floor area needed for bulky items, etc.) but are vital to the function of a town (building/construction trades, for example). If general retail encroaches into the LI zones there is less land and space available in city limits to support construction, maintenance, light manufacturing, and so forth. 1) Retail Trade generates, and is reliant upon, a regular stream of vehicular and pedestrian traffic to a site in order to sell goods to customers. The more sales a business makes, the more successful the business is. This is true for all retail – from housewares to building materials. As articulated KMC §17.18.15, “...Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.”</p> <p>The sale of electric bicycles, categorized as Motor Vehicles, fits with the purpose of LI-2 zone articulated in KMC §17.18.150. However, to prevent encroachment of general retail into the LI-2 zone in association with this business in particular, staff recommends a condition of approval restricting the sale of accessories and accoutrements to a limited floor area. It can be expected that sales of parts to repair or operate an e-bicycle are necessary on a limited basis. But an expansive floor area devoted to a vast stock of bicycle clothing and shoes, racks, panniers and frame bags, hitch or roof mounted bicycle carriers, etc. falls into the category of general Retail Trade, à la Backwoods, Elephant’s Perch, or Sturtevant’s. The LI-2 zoning regulations do not permit a “bike shop” of this sort. Rather, the LI-2 zoning regulations severely limit general retail trade, and this Conditional Use Permit allows for the sale of electric bicycles only.</p> <p>The applicant’s proposed floorplan indicates two areas devoted to accessory sales: one 18’ long by 30” wide area labeled “Bike + Accessories Storage” at looker’s left and one 18’ x 30” area at looker’s right labeled “Bike Parts + Accessories Storage”. Each area is 45 square feet. Staff recommends a condition limiting sales of items other than the bicycles themselves to no more than 90 square feet. This represents 7.8% of the 1,149 square foot space.</p> <p>Further, the floor plan indicates a Coffee Bar 6’ x 30”. A condition of approval that the</p>
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				<p>coffee bar be limited to complementary service of coffee to customers has been included; this is because coffee for sale, by the cup, is categorized as Food Service and requires its own Conditional Use Permit.</p> <p>1. KMC 17.12.020, footnote 16. <i>The following forms of retail trade are permitted: a) equipment rental, including sporting equipment and entertainment equipment; b) building, construction and landscaping materials; small engines with associated sales; c) furniture and appliances in conjunction with warehousing not to exceed 18 percent gross floor area or 900 square feet, whichever is less; d) other retail in conjunction with manufacturing, warehousing or wholesaling; it is limited to 10 percent gross floor area or 500 square feet, whichever is less. Retail uses c) and d) of this note shall have no advertising displayed from windows or building facades; and no access will be permitted onto a major arterial if an alternative access is available.</i></p> <p>2. KMC Title 10, Vehicles and Traffic, Chapter 10.12, <i>Bicycles, Human Propelled Vehicles, E-Bikes, Alternative Electric Motored Vehicles, Opdmms, Wheelchairs, and Motorized Vehicles</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>Staff Comments</i> The sale of electric bicycles will not materially endanger the health, safety, and welfare of the community. The commercial space is located within a brand-new building that includes an interior fire sprinkler system and meets all life safety building/fire code regulations. The product is low-impact and does not require use of any components or materials that will eliminate noxious or harmful fumes, byproducts, etc.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>Staff Comments</i> The purpose of the LI-2 zone, including the generation of traffic to the zoning district, is described in this table in section 17.116.030.A. Evaluation of traffic is twofold: the ability of the site to accommodate vehicles and pedestrians on-site and the off-site circulation of vehicular and pedestrian traffic generated by the proposed use.</p> <p>Traffic circulation: 100 Northwood Way is located at the southeast corner of the intersection of Northwood Way and Lewis Street along a curve in the street. There are two (2) parking spaces adjacent to the front property line (western) on Lewis Street and several parallel parking spaces on the side property line (northern) along Northwood Way. The curb cut to the parking lot serving the building is on Northwood Way.</p> <p>New construction and change in use of existing buildings in the past several years has added to traffic volumes in the vicinity (Community School facility, Decked, Nomadic Vans, and the subject property and its commercial and residential tenants) and ongoing construction occurring at nearby properties (adjacent to the east, My Sun Valley Home, 145 Northwood Way Unit 2, Far and Away Adventures, and the proposed Decked expansion) will increase traffic as well. Although no single project has been of a scale or use that warranted a traffic study, it is important to be mindful of the impact Conditional Uses in particular have on traffic impacts.</p> <p>For this reason, traffic circulation around and into the subject property must be conditioned to mitigate impact.</p> <p>During staff site visits on September 17th, 2020 (Sherri Newland, City Engineer, and Brittany Skelton and Abby Rivin, Planning and Building) and October 7th, 2020 (Brittany Skelton, Planning and Building) staff observed parking conditions at the front of the building (adjacent to Lewis Streets) that obstructed sight lines, access to the building, and pedestrian circulation. Additionally, Parking in the front of the building is not permitted per Ketchum Municipal Code KMC 17.125.030.E.</p> <p>During both site visits a box truck was parked parallel to the building on Lewis and on October 7th an additional vehicle was parked in the driveway leading to the Lewis</p>

			<p>Street-facing garage. As a condition of approval for this Conditional Use Permit (as well as the Certificate of Occupancy for the building) both areas observed to be used for parking in the front of the building will have to be painted or signed with “no parking” or “parking prohibited” signage.</p> <p>Additionally, as articulated in 17.116.030(A), a condition of approval limiting the floor area that can be used for the sale of accessory items related to electrical bicycles has been limited to no more than 90 square feet; such items must be Pedego branded, with the exception of bicycle helmets. This condition will help mitigate the traffic drawn to the use by preventing the electric bicycle repair, rental and sales operation from becoming a “bike shop.”</p> <p>On-site traffic accommodation: The building located at 100 Northwood Way has seven (7) parking lot spaces at the rear and north side of the building and three (3) garage parking spaces for a total of 10 parking spaces. This includes one (1) ADA accessible parking space and a loading space. These parking spaces are indicated on Attachment E, the civil engineer site plan approved with the building permit.</p> <p>The parking load for the entire building and its uses must be accounted for. The uses within the building and the parking loads are:</p> <table border="1"> <thead> <tr> <th>Use</th> <th colspan="2">Parking Spaces Required</th> </tr> </thead> <tbody> <tr> <td><i>Residential apartments: (1) studio, (1) one-bedroom, (1) two-bedroom</i></td> <td colspan="2"><i>4 parking spaces (one per bedroom)</i></td> </tr> <tr> <td><i>Existing commercial tenant, a bicycle repair shop, 856 square foot unit</i></td> <td colspan="2"><i>1 parking space (1 per 1,000 gross square feet)</i></td> </tr> <tr> <td rowspan="2"><i>Sun Valley Electric Bicycles, 1,149 square foot unit</i></td> <td><i>1 parking space, motor vehicle sales</i></td> <td><i>1 per 500 gross sq. ft (504 sq. ft)</i></td> </tr> <tr> <td><i>1 parking spaces, assembly, storage, etc.</i></td> <td><i>1 per 1,000 square feet</i></td> </tr> <tr> <td colspan="3" style="text-align: center;">Total: 7 spaces required</td> </tr> </tbody> </table> <p>Currently, two (2) parking spaces are tandem (two spaces stacked in-line), one is located in the striped, asphalt parking lot and the other is located in an area with decorative pavers. The parking space in the decorate paver area is not currently striped. As a condition of approval for this Conditional Use Permit (as well as the Certificate of Occupancy for the building) the paver parking space must be striped and signed for parking.</p> <p>Little to no pedestrian traffic is anticipated because most customers are anticipated to drive a vehicle to drop off an e-bicycle for service. Any pedestrian traffic to the business can be accommodated by the existing sidewalk that is adjacent to the subject property.</p>	Use	Parking Spaces Required		<i>Residential apartments: (1) studio, (1) one-bedroom, (1) two-bedroom</i>	<i>4 parking spaces (one per bedroom)</i>		<i>Existing commercial tenant, a bicycle repair shop, 856 square foot unit</i>	<i>1 parking space (1 per 1,000 gross square feet)</i>		<i>Sun Valley Electric Bicycles, 1,149 square foot unit</i>	<i>1 parking space, motor vehicle sales</i>	<i>1 per 500 gross sq. ft (504 sq. ft)</i>	<i>1 parking spaces, assembly, storage, etc.</i>	<i>1 per 1,000 square feet</i>	Total: 7 spaces required		
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.116.030(D) The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p>Staff Comments <i>The proposed location is within an existing building that is adequately served by two public streets, Lewis Street and Northwood Way, and the city’s fire, police, and utility services.</i></p>																	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant's Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission's October 14th, 2019 public hearing and consideration of the applicant's Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing Sun Valley Electric Bicycles to conduct business at 100 Northwood Way, Unit C-2, on this 11th day of November 2020 subject to the following conditions 1 - 12:

1. The Conditional Use Permit is applicable to the 100 Northwood Way's 1,149 square foot Commercial Space B indicated on the floorplan attached hereto is not transferrable to another property. No expansion of floor area is permitted unless a new Conditional Use Permit authorizing such expansion is approved;
2. The Conditional Use Permit allows for the sale of Electric Bicycles, classified as Motor Vehicles, and does not provide for the sale of non-electric bicycles or other types of motor vehicles, automobiles, trailers, etc. Sale of Electric Bicycles is further limited to the Pedego brand.
3. All electric bicycles for rent, for sale, and service shall be located on private property and shall not be located or encroach into the right-of-way;
4. Occupancy of Commercial Space B is subject to the city's issuance of a Certificate of Occupancy for B19-016;
5. The floor area devoted to sales of accessory items other than the electric bicycles themselves are limited to no more than 90 square feet, as indicate on the floor plan attached hereto, and are limited to Pedego branded service parts and accessories, with the exception of bicycle helmets;
6. The "coffee bar" indicated on the floorplan shall be limited to complementary coffee service and shall not include for-sale coffee as coffee by the cup is classified as Food Service and requires a separate Conditional Use Permit;
7. "No Parking" or "Parking Prohibited" signage and/or painting shall be installed at the front of the building (Lewis Street façade) to indicate no parking shall occur in the southern driveway/curb-cut or anywhere parallel to the building;
8. The tandem parking space located in the paver area, on the north side of the building (Northwood Way), shall be signed and/or striped to indicate this area is a parking stall available for tenants and customers.
9. The paver parking stall shall remain free and clear of impediments, including snow, at shall be available or used for parking at all times;
10. Staff shall make quarterly inspections of Sun Valley Electric Bicycles beginning three months after issuance of Certificate of Occupancy for the building to ensure conditions of approval are being met. Documentation of observations from the site visits shall be made in writing and filed in the project file.

These quarterly inspections shall occur for the first two years after issuance of Certificate of Occupancy and can occur on an intermittent basis, at the discretion of staff, thereafter;

- 11.** The Commission shall have the discretion to hold a new public hearing to evaluate this Conditional Use Permit if violations of the conditions occur.
- 12.** When patrons of Sun Valley Electric Bicycles opt to take bicycles out for test rides all Sun Valley Electric Bicycles staff shall encourage riders northward along Lewis Street and Northwood Way, rather than southward, in order to lessen the potential for vehicle/bicycle conflicts.

Findings of Fact **adopted** this 11th day of November 2020

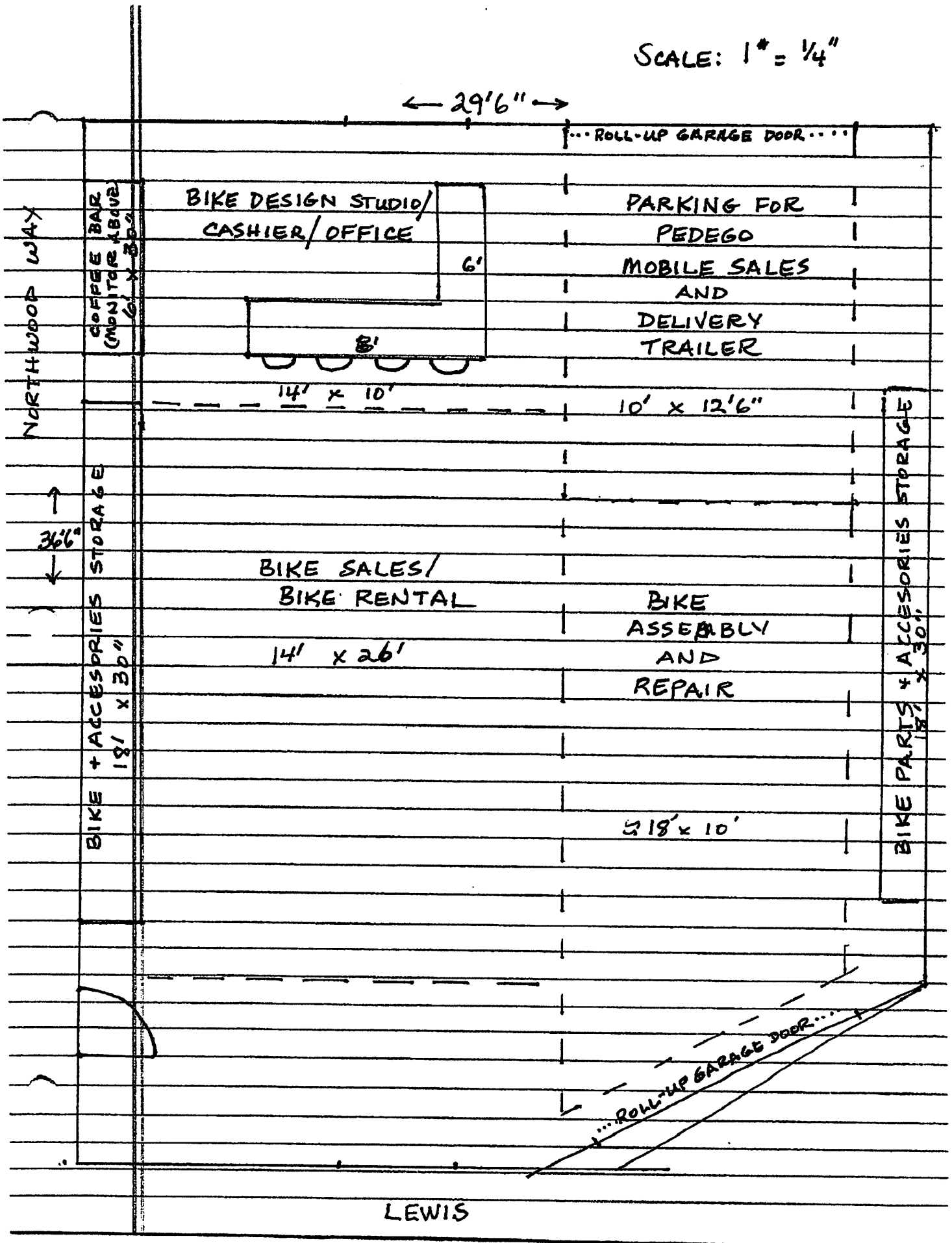
Neil Morrow
Chair
Planning and Zoning Commission

Suzanne Frick, Planning and Building Director

ATTACHMENT A.

SCALE: 1" = 1/4"

← 29'6" →



ATTACHMENT B.

Note: Overhead Door has been Eliminated in this bay

Commercial Space B - Option 4

1,149 sf

Nominal Finished Ceiling Height is 14'0" - this excludes Beams, Pipes etc.

Commercial Space A - Option 4

856 sf

Nominal Finished Ceiling Height is 14'0" - this excludes Beams, Pipes etc.

COMM./RETAIL - 2031 SF
10' CLG. CONCRETE

Common Stair
51 sf

ADA BATH
10' CLG. CONCRETE

STORAGE/MECH. - 81 SF
10' CLG. CONCRETE
Common Mechanical
82 sf

MAIN H2O & FIRE SYSTEM

FLOOR SINK

FURN.

H2O Stub

Provision for Future Plumbing - This Area

Provision for Future Plumbing - This Area

Blow. Pnl.

H2O Stub

H2O Stub

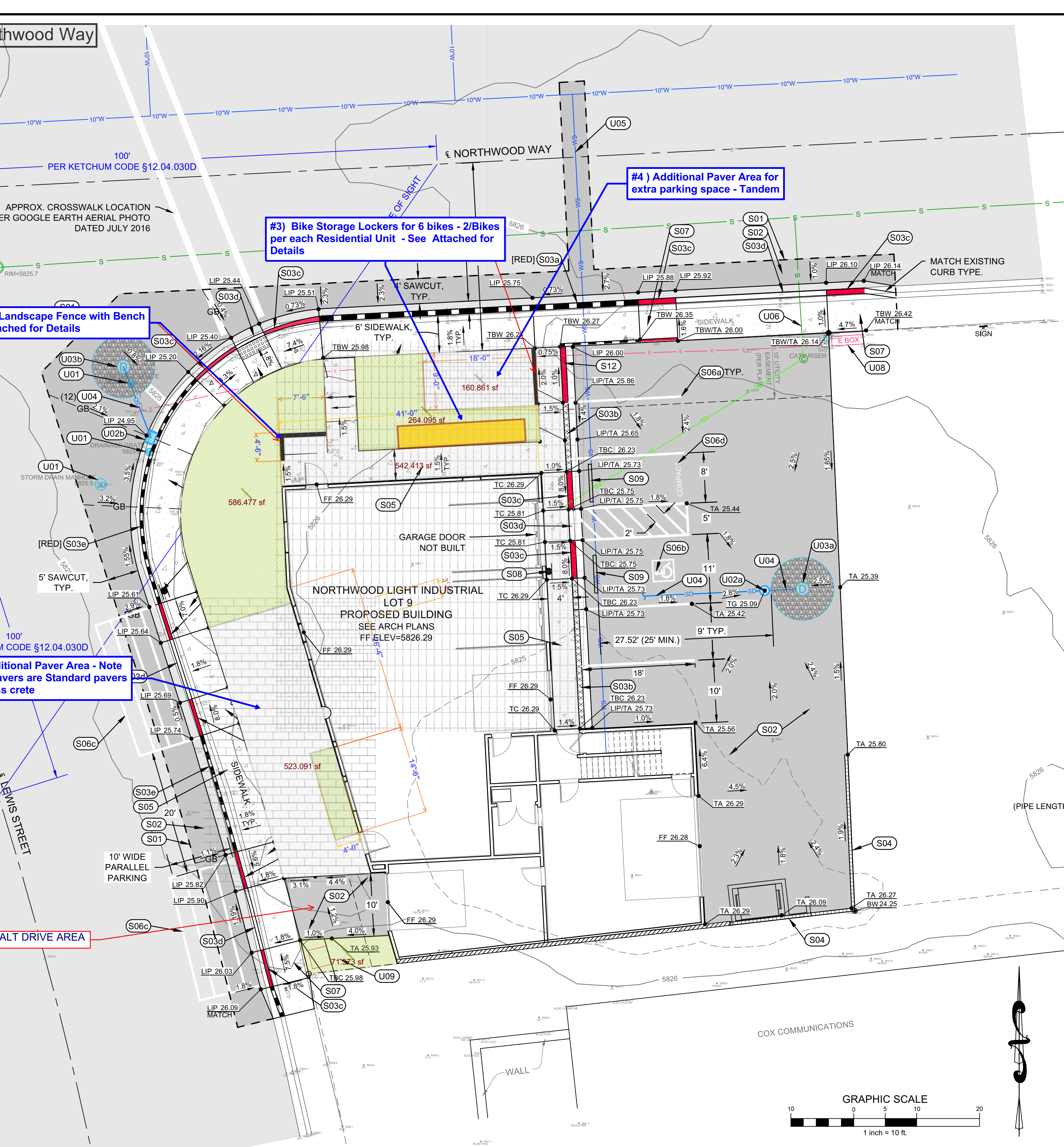
5826.75' = 0'-0"

5090

ATTACHMENT C.

These documents are approved contingent on compliance with the mark-ups and notes provided. This is not approval of any violation of any code, ordinance, statute or regulation.

City of Ketchum
APPROVED
BLD1903-00073
07/24/20

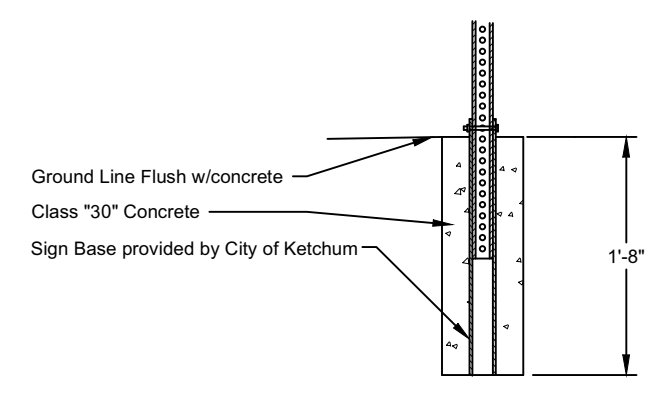


CONSTRUCTION KEYNOTES

- SITE IMPROVEMENTS**
- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - (S02) CONSTRUCT/ REPAIR ASPHALT . SEE DETAIL 2, SHEET C2.
 - (S03) CONSTRUCT CONCRETE CURB
 - a. 6" CONCRETE ROLLED CURB AND GUTTER PER DETAIL 12, SHEET C2. PAINT CURB RED WHERE IDENTIFIED ON PLANS ADJACENT TO KEYNOTE [RED]
 - b. 6" CONCRETE REVERSE ROLLED CURB PER DETAIL 4, SHEET C2
 - c. CURB TRANSITION PER DETAIL 5, SHEET C2 [(typ.)].
 - d. ZERO REVEAL CURB AND GUTTER PER DETAIL 6, SHEET C2
 - e. 6" CONCRETE VERTICAL CURB AND GUTTER PER DETAIL 3, SHEET C2. PAINT CURB RED WHERE IDENTIFIED ON PLANS ADJACENT TO KEYNOTE [RED]
 - (S04) CONSTRUCT 8" WIDE RETAINING WALL PER ARCHITECT
 - (S05) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 1, SHEET 1.
 - (S06) INSTALL PAVEMENT MARKINGS
 - a. 4" WIDE WHITE PARKING STRIPE
 - b. ADA COMPLIANT SYMBOL
 - c. 4" WIDE YELLOW NO-PARKING STRIPE
 - d. WHITE PAINT "COMPACT"
 - (S07) CONSTRUCT ADA COMPLIANT PEDESTRIAN RAMP.
 - a. INSTALL TRUNCATED DOME DETECTABLE WARNING INSERT.
 - (S08) INSTALL ADA "VAN" SIGN.
 - (S09) 6' LONG CONCRETE CURB STOP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 - (S10) REMOVE AND DISPOSE OF TREES AS DIRECTED BY ARCHITECT
 - (S11) INSTALL 12"x12" "DO NOT ENTER" SIGN (MUTCD R5-1) FACING WEST, INSTALL 18"x12" "ENTRANCE ONLY" SIGN FACING EAST. POST PER DETAIL 2, SHEET C1.
 - (S12) TRANSITION FROM 6" CONCRETE REVERSE ROLLED CURB TO 3" CONCRETE REVERSE ROLLED CURB, TO MATCH BACK OF SIDEWALK ELEVATIONS.
- UTILITY IMPROVEMENTS**
- (U01) REMOVE AND DISPOSE OF EXISTING STORM DRAIN STRUCTURE.
 - (U02) INSTALL CATCH BASIN PER DETAIL 7, SHEET C2. CONNECT ROOF DRAINS PER ARCH.
 - a. RIM ELEV= 5825.09 (ROUND GRATE)
IE (OUT)= 5822.09
 - b. RIM ELEV= 5824.73 (RECTANGULAR GRATE)
IE (OUT)= 5820.73
 - (U03) INSTALL DRYWELL PER DETAIL 8, SHEET C2.
 - a. RIM ELEV= 5825.24
IE (IN)= 5821.97
 - b. RIM ELEV= 5825.18
IE (IN)= 5820.49
 - (U04) INSTALL 12"Ø ADS N-12 PIPE @ S=2.0% MIN.
 - (U05) INSTALL 2"Ø WATER SERVICE PER DETAIL 11/C2. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 9/C2. SEE DETAIL 1/C1 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
 - (U06) INSTALL 4"Ø SEWER SERVICE @ S=2.0% MIN; CONNECT TO EXISTING SERVICE STUB. TRENCH CONSTRUCTION PER DETAIL 9/C2.
 - (U07) INSTALL LANDSCAPE DRYWELL PER DETAIL 10, SHEET C2. RIM ELEVATION PER ARCHITECT.
 - (U08) RETAIN AND PROTECT EXISTING ELECTRICAL BOX, TELEPHONE RISE, AND CABLE TV RISER.
 - (U09) APPROX. LOCATION OF PROPOSED TRANSFORMER; CONTRACTOR SHALL COORDINATE WITH IDAHO POWER.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



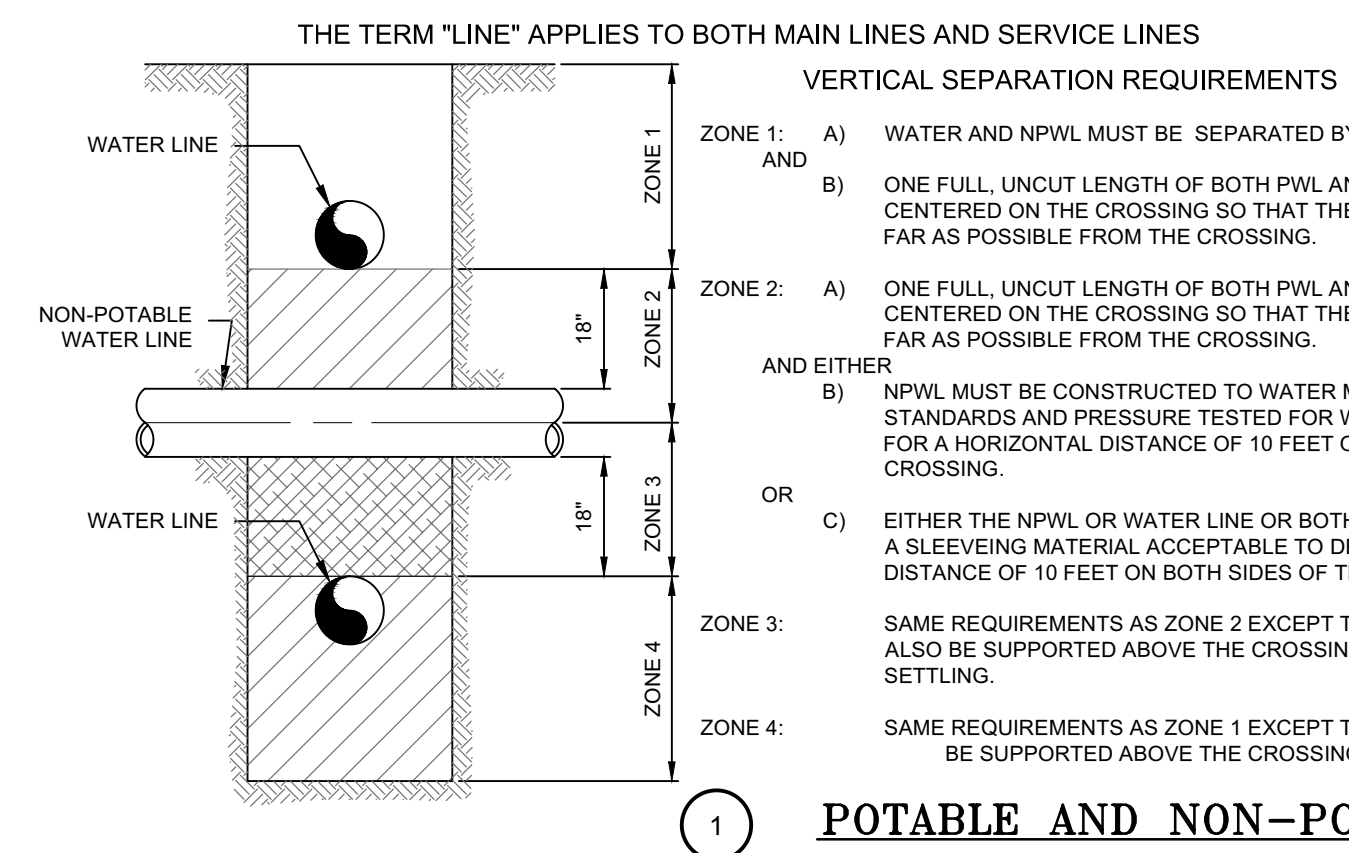
SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS
N.T.S.

- NOTES:**
1. Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign post anchor.
 2. All installations shall have 8" square concrete foundations or grouted into solid rock.

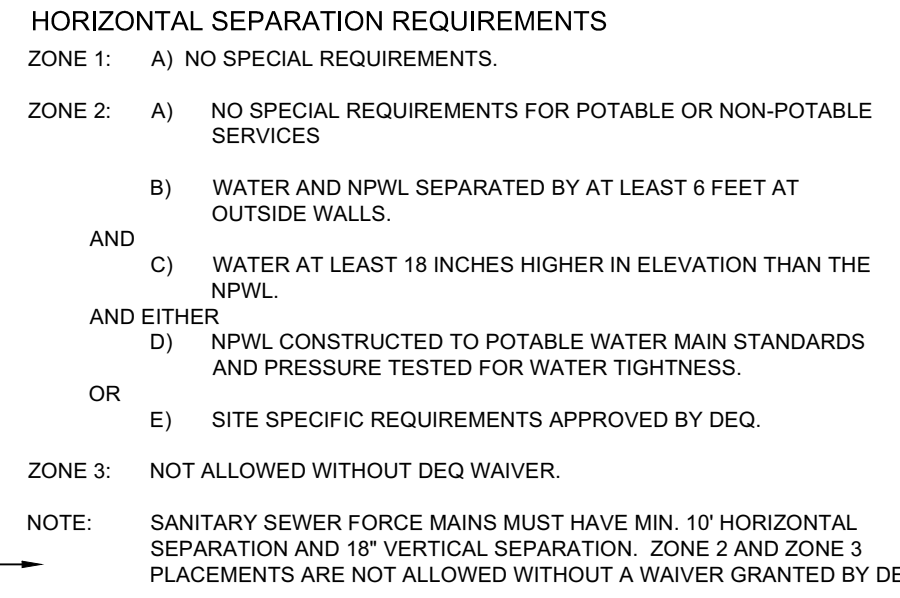
SIGN POST INSTALLATION IN CONCRETE SIDEWALK
N.T.S.

LEGEND

EXISTING ITEMS	PROPOSED ITEMS
--- PROPERTY LINE	NEW ASPHALT
- - - EASEMENT	CONCRETE SIDEWALK
▬ ASPHALT	CONCRETE VERTICAL CURB & GUTTER
▬ CONCRETE	CONCRETE ROLLED CURB & GUTTER
--- UNDERGROUND POWER PAINT MARKS	CURB TRANSITION
S SEWER MAIN	ZERO REVEAL CURB & GUTTER
W WATER MAIN (APPROX.)	RETAINING WALL
○ FOUND 1/2" REBAR	2" WATER SERVICE
○ CONTROL POINT	4" SEWER SERVICE
○ STORM DRAIN MANHOLE	SEWER CLEANOUT
○ DRAINAGE GRATE	SIGN
○ POWER BOX	ADA ACCESS TRUNCATED DOME
○ CABLE TV RISER	
○ TELEPHONE RISER	
	DECIDUOUS TREE
	CONIFEROUS TREE



POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



100 NORTHWOOD WAY
LOCATED WITHIN SECTION 12, T-4 N., R-17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MICHAEL BARKER

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
These drawings, or any portion thereof, shall not be used on any project or program unless the user has a written agreement in writing with Galena Engineering, Inc.

NO.	DATE	BY	REVISIONS
1	11/19/18	SMF	NEW BUILDING
2	02/20/19	SKS	LEWIS STREET ACCESS
3	04/22/19	SKS	ISSUE FOR REVISED BUILDING PERMIT
4	05/07/19	SKS	ISSUE FOR REVISED BUILDING PERMIT
5	10/14/19	SKS	REVISED CONSTRUCTION SET

PROFESSIONAL ENGINEER
REGISTERED
12497
STATE OF IDAHO
SEAN M. FLYNN

C1



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF NOVEMBER 10, 2020

PROJECT: Sun Valley and First Condominium Subdivision Preliminary Plat

FILE NUMBER: P20-091

ASSOCIATED PERMITS: B19-115, P19-083 (Design Review), Encroachment Agreement #205180
Exceedance Agreement #20423

OWNER: David and Patricia Wilson (per Blaine County assessor 11/4/20)

REPRESENTATIVE: Galena Engineering

REQUEST: Preliminary Plat to condominimize seven (7) condominium units within a mixed-use building currently under construction

LOCATION: 311 N. 1st Avenue (Lot 4, Block 57, Ketchum Townsite)

NOTICE: Notice was mailed to political subdivisions and property owners within a 300' radius of the subject property on October 21, 2020 and was published in the Idaho Mountain Express on July 22, 2020. Notice was posted on premises and on the City of Ketchum website on November 3, 2020.

ZONING: Community Core

OVERLAY: Subdistrict 2 – Mixed Use

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. Preliminary Plat dated September 2020
- C. Draft Findings of Fact and Conclusions of Law

BACKGROUND



The subject property is owned by David and Patricia Wilson and is located at the northwest corner of Sun Valley Road and N. 1st Avenue in the Community Core, Subdistrict 2 – Mixed Use. The subject building contains an existing building that is currently being remodeled and enlarged with a new 2nd floor addition.

The Planning and Zoning Commission approved Design Review for the addition in 2019 (P19-083) and the city issued a building permit in 2019 as well (B19-115). Upon completion the first floor of the building will contain two Community Housing units, three commercial spaces, and interior parking. The upper floor will contain an additional two residential units.

The Preliminary Plat proposed to plat all residential and commercial spaces into individual condominium units

and associated common areas with the result being four (4) residential condominiums and three (3) commercial condominiums.

All city departments have reviewed the Preliminary Condominium Plat and have no additional comments or concerns at this time as all public improvements (sidewalks, street lights, and so forth) and utility services were vetted and approved through the Design Review and Building Permit review and approval processes. Additionally, the property owner has entered into an Encroachment Agreement (#205180) with the city regarding improvements in the city's right-of-way.

PUBLIC COMMENT

No public comment has been received. Any public comment received after publication of the staff report will be forwarded to the Commission and included in the record.

OVERVIEW – CONDOMINIUM PLAT

The first step in the Condominium Plat process is to receive review and recommendation by the Commission for the Preliminary Plat. After the Commission's review and recommendation, the Plat is forwarded to City Council for review and approval. After the Council's approval of the Preliminary Plat a Final Plat application may be submitted. The Final Plat will be forwarded to Council for review and approval after a Certificate of Occupancy is issued for the building.

Table 1: City Department Comments

City Department Comments			
Compliant			
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>City Department Comments</p> <p>Utilities:</p> <ul style="list-style-type: none"> No additional comment at this time. <p>Fire Department:</p> <ul style="list-style-type: none"> No additional comment at this time. <p>Engineering and Streets:</p> <ul style="list-style-type: none"> No additional comment at this time. <p>Planning and Zoning:</p> <ul style="list-style-type: none"> See comments throughout staff report.

Table 2: Preliminary Plat Requirements for All Projects and Condominium Preliminary Plats

Please see Attachment C: Draft Findings of Fact, Conclusions of Law, and Decision for analysis of all preliminary plat development standards.

STAFF RECOMMENDATION

Staff recommends that the Planning and Zoning Commission recommend approval of the Sun Valley and First Condominiums Preliminary Plat to the City Council, subject to conditions 1-7 below. Staff also recommends authorizing the Chair to sign the draft Findings of Fact and Conclusions of Law that are attached as Attachment C.

RECOMMENDEDMOTION

“I MOVE TO RECOMMEND APPROVAL TO THE CITY COUNCIL OF THE SUN VALLEY AND FIRST CONDOMINIMUM PRELIMINARY PLAT, WITH CONDITIONS 1-7, AND TO AUTHORIZE THE COMMISSION CHAIR TO SIGN THE FINDINGS OF FACT AND CONCLUSIONS OF LAW”

RECOMMENDED CONDITIONS

1. The Covenants, Conditions, and Restrictions (CC&R’s) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R’s;
2. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void;
3. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map;

4. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
5. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met, including completion of the right-of-way improvements prior to issuance of the Certificate of Occupancy for the building and signing of the Final Plat.

ATTACHMENTS:

- A. Application
- B. Preliminary Plat dated September 2020
- C. Draft Findings of Fact and Conclusions of Law

**Attachment A.
Application**



City of Ketchum
Planning & Building

CERTIFIED COMPLETE
9-18-20
MT

OFFICIAL USE ONLY	
Applicant Number:	P20-091
Date Received:	9-18-20
By:	mt
Fee Paid:	\$3675.00
Approved Date:	
By:	

Subdivision Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

APPLICANT INFORMATION			
Name of Proposed Subdivision: Sun Valley & First Condominiums			
Owner of Record: David & Patricia Wilson			
Address of Owner: P.O Box 6770, Ketchum, ID 83340			
Representative of Owner: Sean Flynn PE, Galena Engineering; 317 N. River St., Hailey, Idaho 83333			
Legal Description: Ketchum Lot 4, Block 57			
Street Address: 311 N. 1st Ave, Ketchum, ID 83340			
SUBDIVISION INFORMATION			
Number of Lots/Parcels: 7 Condominium Units			
Total Land Area: 8,254 Sq. Ft. (0.19 Ac)			
Current Zoning District: Community Core - Mixed Use			
Proposed Zoning District: Same			
Overlay District: None			
TYPE OF SUBDIVISION			
Condominium <input checked="" type="checkbox"/>	Land <input type="checkbox"/>	PUD <input type="checkbox"/>	Townhouse <input type="checkbox"/>
Adjacent land in same ownership in acres or square feet: None			
Easements to be dedicated on the final plat: None			
Briefly describe the improvements to be installed prior to final plat approval: Construction of Condominium Units			
ADDITIONAL INFORMATION			
All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations One (1) copy of current title report and owner's recorded deed to the subject property One (1) copy of the preliminary plat All files should be submitted in an electronic format.			

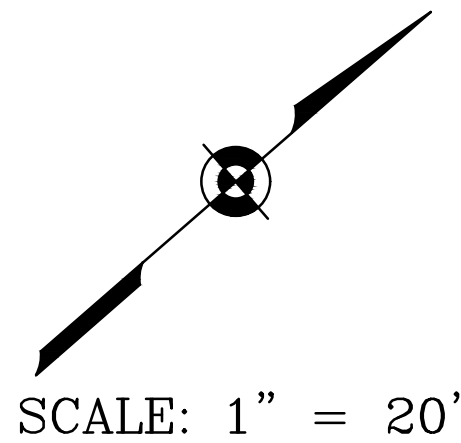
Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Sean Flynn with Galena Engineering 09/15/2020
Applicant Signature Date

Attachment B.
Preliminary Plat dated September 2020

A PRELIMINARY PLAT SHOWING
SUN VALLEY & FIRST CONDOMINIUMS
 LOCATED WITHIN SECTIONS 13 & 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 WHEREIN THE BUILDING ON LOT 4, BLOCK 57, CITY OF KETCHUM IS CONDOMINIUMIZED

SEPTEMBER 2020

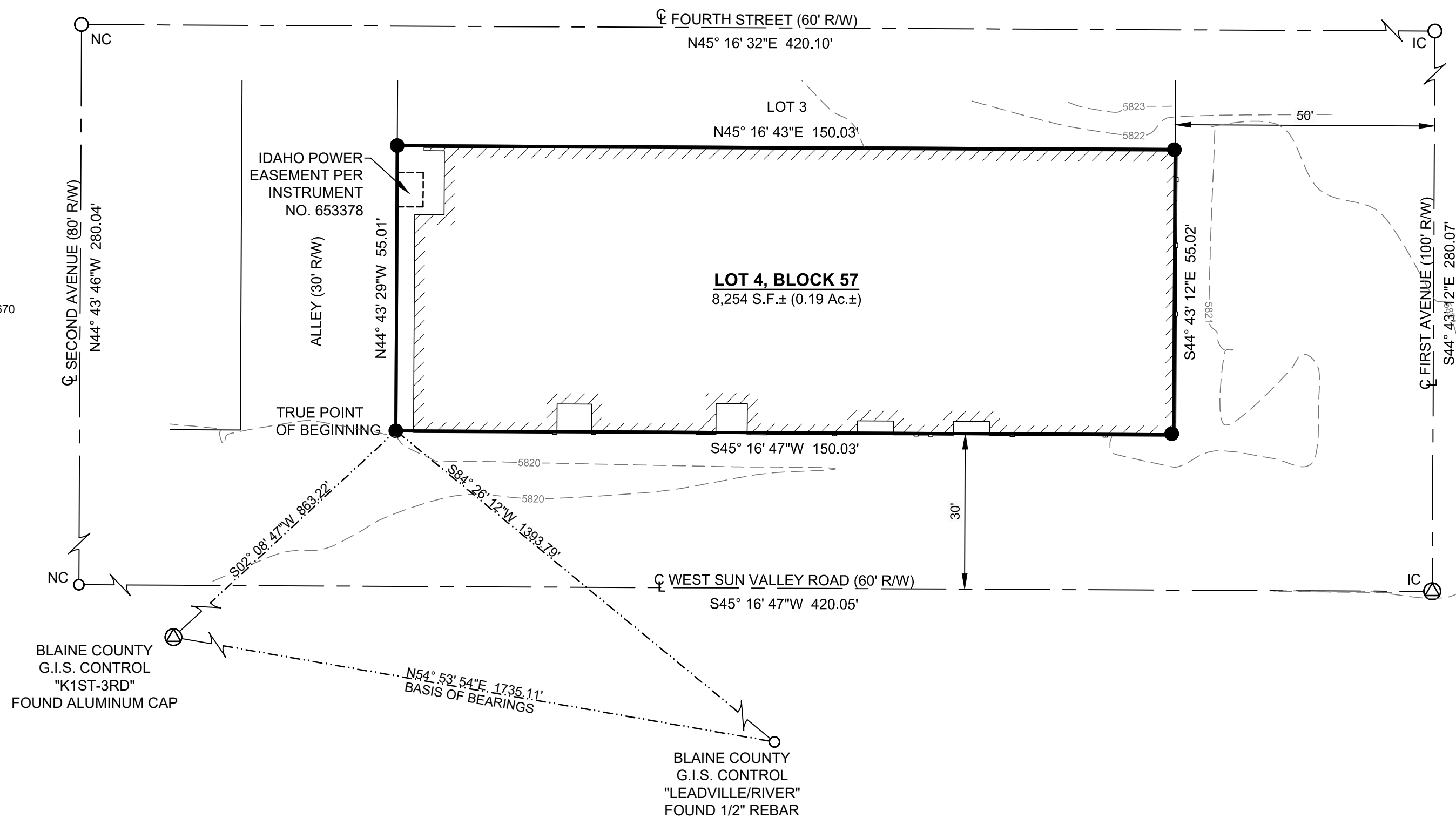


SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found and set during the boundary retracement of Lot 4, Block 57, Ketchum Townsite, Instrument Number 302967, records of Blaine County, Idaho, and to condominiumize said property as shown hereon. All found monuments have been accepted. Lot corner monuments were set by block breakdown and proportioning record distances. Vertical Datum is NAVD 1988.
2. In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.
3. Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
4. Horizontal or sloping planes shown hereon are top of finished subfloor and bottom of finished ceiling; vertical planes are finished surfaces of interior walls. Some structural members extend into units, limited common areas and parking spaces.
5. Property shown hereon is subject to terms, provisions, covenants, conditions, restrictions, easements, charges, assessments and liens provided by applicable Condominium Law or the Condominium Declaration recorded under Instrument Number _____, records of Blaine County, Idaho. Consult the Condominium Declarations for the definition of common and limited common area.
6. All area outside of units that is not designated as limited common is common area. Areas of "common" or "limited common" are shown by diagram.
7. Building ties are to the interior corners of unit walls.
8. Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.
9. There exists a City of Ketchum Encroachment Agreement #20518, recorded under Instrument Number 674225, records of Blaine County, Idaho, addressing pavers, snowmelt, and a bench within the city's right-of-way.
10. There exists a City of Ketchum Exceedance Agreement #20423, recorded under Instrument Number 665218, records of Blaine County, Idaho.
11. The current zoning is CC. Refer to the City of Ketchum Zoning Ordinance for specific information about this zone.
12. The owner is Dave Wilson, PO Box 6770 Ketchum, ID 83340. The surveyor/representation is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.

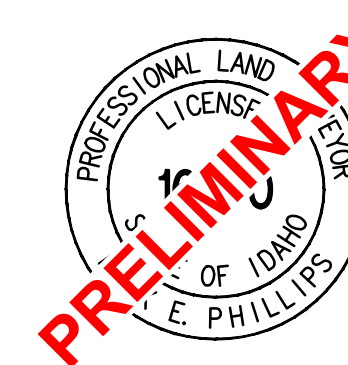
LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- GIS Tie Line
- Idaho Power Easement
- 1' Contour Interval
- Found Aluminum Cap
- Found 5/8" Rebar
- Found 1/2" Rebar
- Set 5/8" Rebar, P.L.S. 16670
- Building
- IC = Illegible Cap
- NC = No Cap



HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS



MARK E. PHILLIPS, P.L.S. 16670

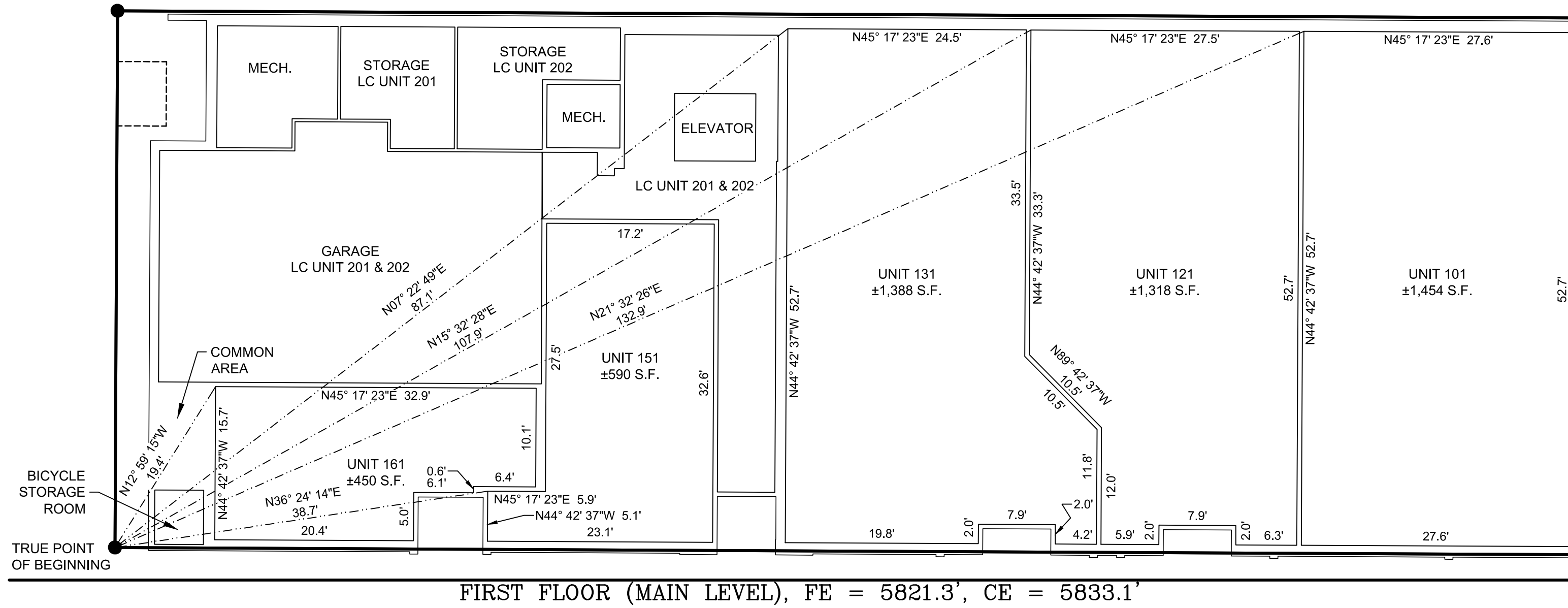
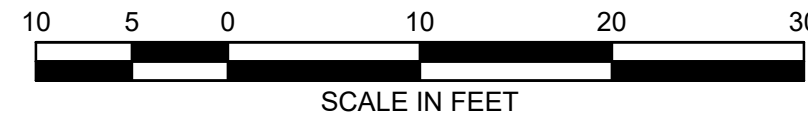
SUN VALLEY & FIRST CONDOMINIUMS

GALENA ENGINEERING, INC.
 HAILEY, IDAHO

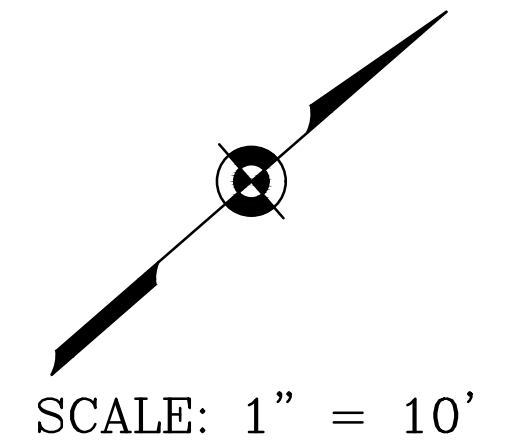
1 OF 4
 Job No. 6478.04

A PRELIMINARY PLAT SHOWING SUN VALLEY & FIRST CONDOMINIUMS

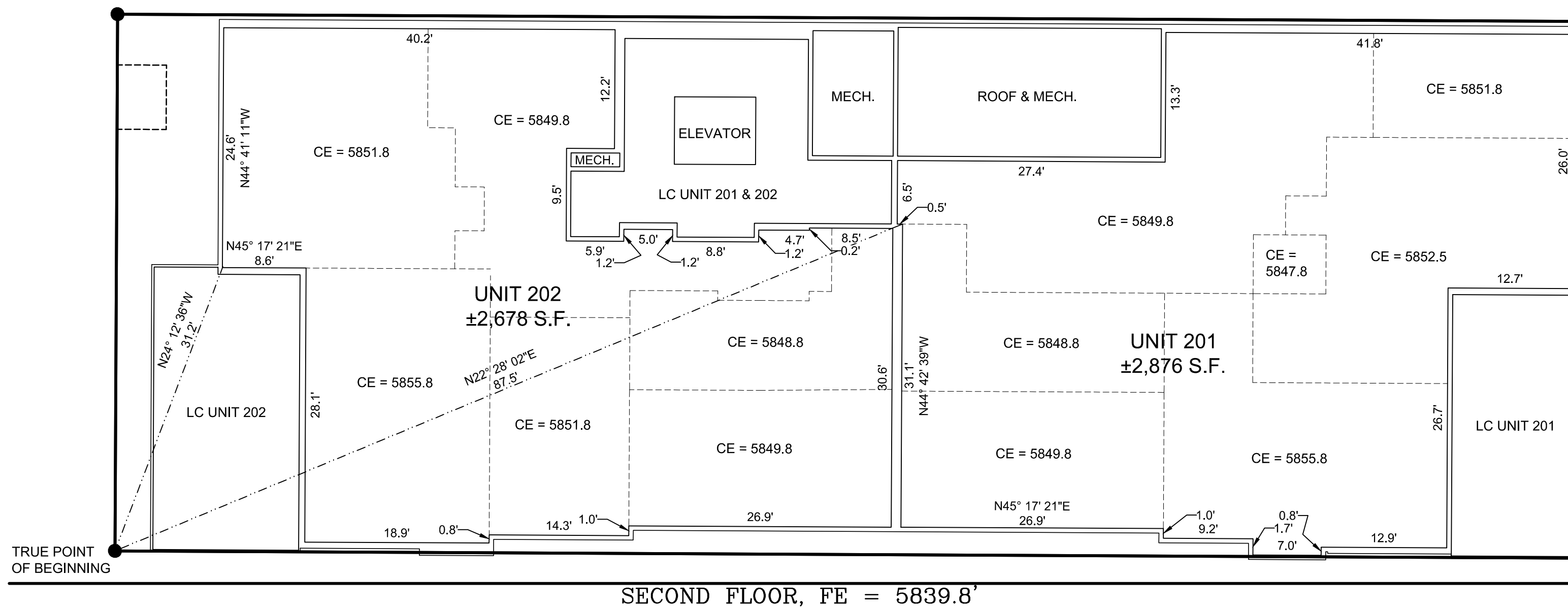
SEPTEMBER 2020



- LEGEND**
- Property Line
 - Unit Outline
 - Unit Tie Line
 - Ceiling Elevation Change Line
 - Set 5/8" Rebar, P.L.S. 16670
 - LC = Limited Common
 - FE = Floor Elevation
 - CE = Ceiling Elevation



SEE SHEET 1 FOR NOTES



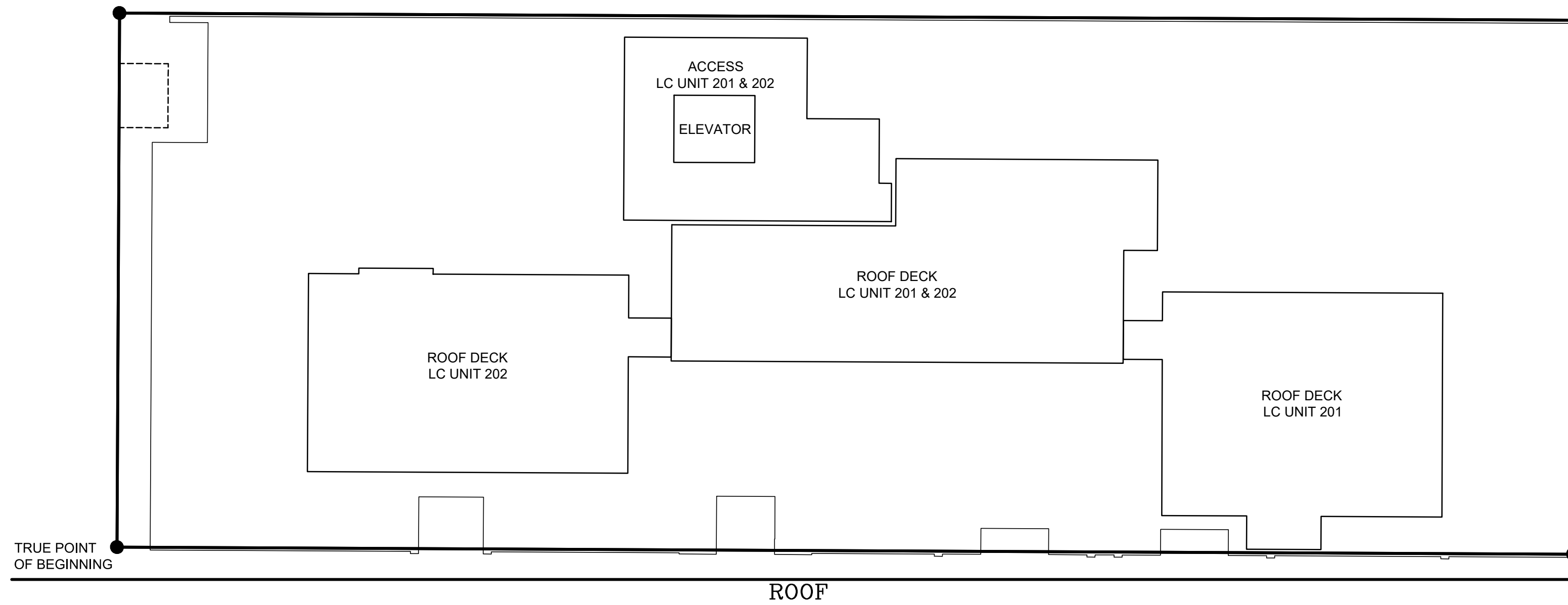
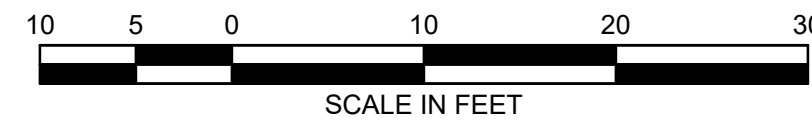
SUN VALLEY & FIRST
CONDOMINIUMS

GALENA ENGINEERING, INC.
HAILEY, IDAHO

2 OF 4
Job No. 6478.04

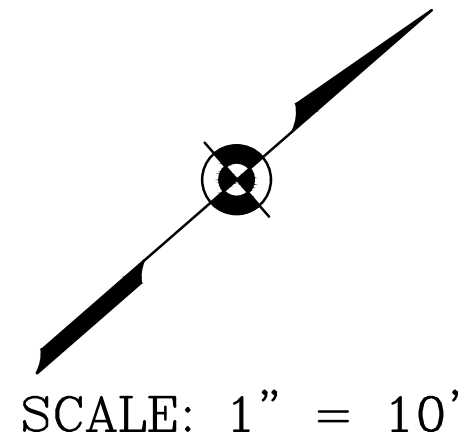
A PRELIMINARY PLAT SHOWING
SUN VALLEY & FIRST CONDOMINIUMS

SEPTEMBER 2020



LEGEND

- Property Line
- Unit Outline
- Set 5/8" Rebar, P.L.S. 16670
- LC = Limited Common



SEE SHEET 1 FOR NOTES

SUN VALLEY & FIRST
CONDOMINIUMS

GALENA ENGINEERING, INC.
HAILEY, IDAHO

3 OF 4
Job No. 6478.04

Attachment C.
Draft Findings of Fact and Conclusions of Law



City of Ketchum
 Planning & Building

IN RE:)
)
 Sun Valley and First Condominium Subdivision) **KETCHUM PLANNING AND ZONING COMMISSION**
 Preliminary Plat) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
 Date: November 10, 2020) **DECISION**
)
 File Number: P20-091)

Findings Regarding Application Filed

PROJECT: Sun Valley and First Condominium Subdivision Preliminary Plat

APPLICATION TYPE: Condominium Subdivision Preliminary Plat

FILE NUMBER: P20-091

ASSOCIATED PERMITS: B19-115, P19-083, Encroachment Agreement #205180, Exceedance Agreement #20423

OWNERS: David and Patricia Wilson (per Blaine County assessor 11/4/20)

REPRESENTATIVE: Galena Engineering

REQUEST: Preliminary Plat to condominimize seven (7) condominium units within a mixed-use building currently under construction

LOCATION: 311 N. 1st Avenue (Lot 4, Block 57, Ketchum Townsite)

NOTICE: Notice was mailed to political subdivisions and property owners within a 300' radius of the subject property on October 21, 2020 and was published in the Idaho Mountain Express on July 22, 2020. Notice was posted on premises and on the City of Ketchum website on November 3, 2020.

ZONING: Community Core

OVERLAY: Subdistrict 2 – Mixed Use

Findings Regarding Associated Development Applications

The subject property is owned by David and Patricia Wilson and is located at the northwest corner of Sun Valley Road and N. 1st Avenue in the Community Core, Subdistrict 2 – Mixed Use. The subject building contains an existing building that is currently being remodeled and enlarged with a new 2nd floor addition.

The Planning and Zoning Commission approved Design Review for the addition in 2019 (P19-083) and the city issued a building permit in 2019 as well (B19-115). Upon completion the first floor of the building will contain two Community Housing units, three commercial spaces, and interior parking. The upper floor will contain an additional two residential units.

The Preliminary Plat proposed to plat all residential and commercial spaces into individual condominium units and associated common areas with the result being four (4) residential condominiums and three (3) commercial condominiums.

Findings Regarding City Department Comments

All City Department standards as well as required right-of-way improvements were reviewed through the Design Review, Building Permit, and Encroachment Agreement processes. Prior to issuance of a Certificate of Occupancy City Departments will conduct final inspections to ensure compliance with all conditions and requirements of the associated Design Review, Exceedance Agreement, Building Permit, and Preliminary Plat approvals.

**Findings Regarding Condominium Subdivision Procedure
(KMC§16.04.070)**

All land subdivisions in the City of Ketchum are subject to the standards contained in Ketchum, Municipal Code, Title 16, Subdivision. Many standards are related to the design and construction of multiple new lots that will form new blocks and infrastructure, such as streets that will be dedicated to and maintained by the City. The standards for certain improvements (KMC §16.04.040) including street, sanitary sewage disposal, planting strip improvements are not applicable to the subject project as the application proposes to subdivide a building currently under construction into condominium units. As conditioned, the request to subdivide meets all applicable standards for Condominiums Preliminary Plats contained in Ketchum Municipal Code’s Subdivision (Title 16) and Zoning (Title 17) regulations. The Condominium Subdivision does not change the proposed residential use or alter the proposed development as reviewed and approved through Design Review P19-083 and Building Permit B19-115.

The first step in the condominium platting process is Preliminary Plat review and to receive a recommendation from the Planning and Zoning Commission. The Planning and Zoning Commission held a public hearing and unanimously recommended approval of the Preliminary Plat application to the City Council on November 10th, 2020.

Table 1: City Department Comments

City Department Comments			
Compliant			
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>City Department Comments</p> <p>Utilities:</p> <ul style="list-style-type: none"> • No comment at this time. <p>Fire Department:</p> <ul style="list-style-type: none"> • No comment at this time. <p>Engineering and Streets:</p> <ul style="list-style-type: none"> • • No comment at this time. <p>Planning and Zoning:</p> <ul style="list-style-type: none"> • See comments throughout the Findings

Table 2: Preliminary Plat Requirements for All Projects and Condominium Preliminary Plats

Preliminary Plat Requirements				
Present on Preliminary Plat?			Standards	
Yes	No	N/A	City Code	City Standards and <i>Preliminary Review Comments</i>
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Comments	Missing items noted.
<input type="checkbox"/>	X	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Comments	All required contents are present.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The scale, north point and date.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .2	The name of the proposed subdivision.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.4	Legal description of the area platted.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.

			Comments	Contours present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .8	Boundary description and the area of the tract.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Comments	Present
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030.J .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030.J .12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Comments	N/A, this application is to plat an existing building that is under construction into condominium buildings.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030.J .13	The direction of drainage, flow and approximate grade of all streets.
			Comments	N/A, this application is to plat an existing building that is under construction into condominium buildings.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Comments	N/A at this time, site drainage was addressed with Building Permit review and approval.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials
			Comments	The original Ketchum townsite plat serves as the vicinity map.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or avalanche overlay district.
			Comments	N/A subject property is not located in floodplain or avalanche overlays.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .18	Lot area of each lot.
			Comments	Present – 8,254 s.f.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .19	Existing mature trees and established shrub masses.
			Comments	Not applicable – none existing.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .20	To be provided to Administrator: 20. Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Comments	Name is unique
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Comments	NA
X	<input type="checkbox"/>	<input type="checkbox"/>	Comments	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Comments	Condominium Declaration document provided
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Comments	Provided.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .24	A digital copy of the preliminary plat shall be filed with the administrator.
			Comments	Provided.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.A	<p>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat.</p> <p>Construction design plans shall be submitted and approved by the city engineer.</p> <p>All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city.</p> <p>Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
		X	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.D	As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows: <ul style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Comments	Addressed with Plat Note #1

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: <ol style="list-style-type: none"> a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section. 3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use. 4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line. 5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. 6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat..
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			Comments	N/A. This is a condominium plat for a building that is currently under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features. 4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.
			Comments	No new blocks are being created. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.1	<p>H. Street Improvement Requirements:</p> <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;
			Comments	No new streets are proposed. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.2	<ol style="list-style-type: none"> 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;
			Comments	No new streets are proposed. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.3	<ol style="list-style-type: none"> 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;
			Comments	NA the subdivision does not contain an existing or propose a new arterial street, railroad, or limited access highway.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.4	<ol style="list-style-type: none"> 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;
			Comments	N/A, the construction of a new street is not proposed.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.5	5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;
			Comments	NA, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.6	6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;
			Comments	N/A dedication of right-of-way is not necessary.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.7	7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.8	8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.9	9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.10	10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
			Comments	N/A, the construction of a new street is not proposed.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.11	11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.12	12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.13	13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.14	14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.15	15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.16	16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.17	17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H.18	18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;
			Comments	Street lighting per Design Review / Building Permit approvals.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.19	19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.20	20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.21	21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H.22	22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;
			Comments	Sidewalks were addressed with Design Review and Building Permit approvals and are covered by Encroachment Agreement #20518.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.23	23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.24	24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone
			Comments	N/A

X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.
			Comments	Alley improvements were addressed with Design Review and Building Permit approvals.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.J.1	J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands. 1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.
			Comments	Plat note #8 addresses this – “Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.” Additionally, an existing Idaho Power easement at the rear of the property is indicated on the plat.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.2	2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.
			Comments	N/A parcels do not border a waterway, drainageway, channel or stream.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.3	3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.
			Comments	N/A parcels do not border a waterway.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.4	4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.
			Comments	N/A parcels do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.5	5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.6	6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.
			Comments	N/A this is an infill parcel on a single lot in the Ketchum townsite.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			Comments	Sewer services to the existing sewer main are being installed per building permit requirements.

<input type="checkbox"/>	X	<input type="checkbox"/>	16.04.040.L	<p>L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.</p>
			Comments	Water services to the existing water main are being installed per building permit requirements.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.M	<p>M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.</p>
			Comments	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.1	<p>N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <p>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.</p>
			Comments	Item #1, soil report, not required – this plat is to condominiumize an existing building and the addition to the building that is currently under construction.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.2	<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <p>a. Proposed contours at a maximum of five foot (5') contour intervals.</p> <p>b. Cut and fill banks in pad elevations.</p> <p>c. Drainage patterns.</p> <p>d. Areas where trees and/or natural vegetation will be preserved.</p> <p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</p>
			Comments	N/A – project is condominiumizing an existing building and an addition to it
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.3	<p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>
			Comments	N/A – project is condominiumizing an existing building and an addition to it
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.4	<p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p>
			Comments	N/A – project is condominiumizing an existing building and an addition to it
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.5	<p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p>
			Comments	N/A – project is condominiumizing an existing building and an addition to it
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.6	<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</p>
			Comments	N/A – project is condominiumizing an existing building and an addition to it

X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.O	O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
			Comments	Drainage was addressed with Building Permit review and approval.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			Comments	Utilities are being extended to this site concurrent with the building that is under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.Q	Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			Comments	Building is under construction. No off-site improvements were determined to be necessary.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.R	R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			Comments	N/A property is not in Avalanche or Mountain Overlay.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.S	S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.

			Comments	N/A.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.B	B. Preliminary Plat Procedure: The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space. The commission and council shall act on the preliminary plat pursuant to subsections 16.04.030D and E of this chapter.
			Comments	Submitted.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.070.C	<p>C. Final Plat Procedure:</p> <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the condominium has received:</p> <p>a. A certificate of occupancy issued by the city of Ketchum; and</p> <p>b. Completion of all design review elements as approved by the planning and zoning administrator.</p> <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code. Prior to final plat approval, the subdivider shall submit to the city a copy of the final bylaws and condominium declarations which shall be approved by the council and filed with the Blaine County recorder, including the instrument number(s) under which each document was recorded.</p>
				N/A at this time, pertains to Final Plat.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.D	<p>D. Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.</p>
				Garages are allocated to residential units 201 & 202
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.E	<p>E. Storage Areas: Adequate interior storage space for personal property of the resident of each condominium unit.</p>
				Storage areas for all units, including bicycle storage for the Community Housing units, are indicated on the plat.

X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.F	F. Maintenance Building: A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.
				Mechanical rooms are indicated on the first floor and second floor.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.G	G. Open Space: The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.
				The 2 nd floor condominium units have dedicated open space in the form of terraces/decks. Presumably, the ground floor community housing units have a minimal amount of useable outdoor space at their entry from the street.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.H	H. General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions
				All requirements associated with the Building Permit and Design Review approvals remain in effect.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the Ordinances and regulations, which Ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the Applicant’s Condominium Subdivision Final Plat application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Condominium Subdivision application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
4. The Condominium Subdivision Preliminary Plat application is governed under Sections 16.04.010, 16.04.020, 16.04.030, and 16.04.070 of Ketchum Municipal Code Chapter 16.04.
5. The proposed Condominium Subdivision for the Sun Valley and First development meets the standards for Preliminary Plats under Title 16 of Ketchum Municipal Code subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **recommends approval of** this Condominium Subdivision Preliminary Plat application this Tuesday, November 10th, 2020 subject to the following conditions:

CONDITIONS OF APPROVAL

1. The Covenants, Conditions, and Restrictions (CC&R's) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R's;
2. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void;
3. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map;
4. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
5. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met, including completion of the right-of-way improvements prior to issuance of the Certificate of Occupancy for the building and signing of the Final Plat.

Findings of Fact **adopted** this 10th day of November, 2020

Neil Morrow, Commission Chair

Suzanne Frick, Planning and Building Director



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF NOVEMBER 10, 2020

PROJECT: Mindbender Condominium Subdivision Preliminary Plat

FILE NUMBER: P20-091

ASSOCIATED PERMITS: B19-076, P19-048, Exceedance Agreement #20509, Encroachment Agreement #20527

OWNER: KKL LLC (per Blaine County assessor 11/4/20)

REPRESENTATIVE: Galena Engineering

REQUEST: Preliminary Plat to condominimize four (4) condominium units within a residential building currently under construction

LOCATION: 180 W. 2nd Street (W ½ Lot 5, Block 59, Ketchum Townsite)

NOTICE: Notice was mailed to political subdivisions and property owners within a 300' radius of the subject property on October 21, 2020 and was published in the Idaho Mountain Express on July 22, 2020. Notice was posted on premises and on the City of Ketchum website on November 3, 2020.

ZONING: Community Core

OVERLAY: Subdistrict 2 – Mixed Use

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. Preliminary Plat dated October 2020
- C. Draft Findings of Fact and Conclusions of Law

BACKGROUND



The subject property is owned by KKL LLC and is located at the southeast corner of Second Avenue and Second Street in the Community Core, Subdistrict 2 – Mixed Use. The subject development is a new, 3-story residential building that is currently under construction and nearing completion.

The Planning and Zoning Commission approved Design Review for the building in 2019 (P19-048) and the city issued a building permit in 2019 as well (B19-076). Upon completion the first floor of the building will contain two residential units, one of which will

be a Community Housing Unit, and interior parking. The second floor will contain one residential unit and the third floor will contain one residential unit.

The Preliminary Plat proposes to plat all residential units and associated common areas with the result being four (4) residential condominiums.

All city departments have reviewed the Preliminary Condominium Plat and have no additional comments or concerns at this time as all public improvements (sidewalks, street lights, and so forth) and utility services were vetted and approved through the Design Review and Building Permit review and approval processes. Additionally, the property owner has entered into an Encroachment Agreement (#20527) with the city regarding improvements in the city's right-of-way.

PUBLIC COMMENT

No public comment has been received. Any public comment received after publication of the staff report will be forwarded to the Commission and included in the record.

OVERVIEW – CONDOMINIUM PLAT

The first step in the Condominium Plat process is to receive review and recommendation by the Commission for the Preliminary Plat. After the Commission's review and recommendation, the Plat is forwarded to City Council for review and approval. After the Council's approval of the Preliminary Plat a Final Plat application may be submitted. The Final Plat will be forwarded to Council for review and approval after a Certificate of Occupancy is issued for the building.

Table 1: City Department Comments

City Department Comments			
Compliant			
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>City Department Comments</p> <p>Utilities:</p> <ul style="list-style-type: none"> No additional comment at this time. <p>Fire Department:</p> <ul style="list-style-type: none"> No additional comment at this time. <p>Engineering and Streets:</p> <ul style="list-style-type: none"> A Maintenance Agreement addressing street lighting, and any other items as determined by the City Engineer, may be required prior to City Council reviewing the review and/or approval of the Final Plat. <p>Planning and Zoning:</p> <ul style="list-style-type: none"> See comments throughout staff report.

Table 2: Preliminary Plat Requirements for All Projects and Condominium Preliminary Plats

Please see Attachment C: Draft Findings of Fact, Conclusions of Law, and Decision for analysis of all preliminary plat development standards.

STAFF RECOMMENDATION

Staff recommends that the Planning and Zoning Commission recommend approval of the Mindbender Condominiums Preliminary Plat to the City Council, subject to conditions 1-7 below. Staff also recommends authorizing the Chair to sign the draft Findings of Fact and Conclusions of Law that are attached as Attachment C.

RECOMMENDEDMOTION

“I MOVE TO RECOMMEND APPROVAL TO THE CITY COUNCIL OF THE MINDBENDER CONDOMINIMUM PRELIMINARY PLAT, WITH CONDITIONS 1-7, AND TO AUTHORIZE THE COMMISSION CHAIR TO SIGN THE FINDINGS OF FACT AND CONCLUSIONS OF LAW”

RECOMMENDED CONDITIONS

1. The Covenants, Conditions, and Restrictions (CC&R’s) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R’s;
2. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void;
3. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map;

4. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
5. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met, including completion of the right-of-way improvements prior to issuance of the Certificate of Occupancy for the building and signing of the Final Plat.

ATTACHMENTS:

- A. Application
- B. Preliminary Plat dated October 2020
- C. Draft Findings of Fact and Conclusions of Law

**Attachment A.
Application**



**City of Ketchum
Planning & Building**

OFFICIAL USE ONLY	
Application #	P20-100
Date Received	10/16/20
By:	MP
Fee Paid:	\$2,100.00
Approved Date:	
By:	

Subdivision Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

APPLICANT INFORMATION			
Name of Proposed Subdivision: Mindbender Condominiums			
Owner of Record: KKL LLC			
Address of Owner: 216 E Spruce St, Hailey, ID 83333			
Representative of Owner: Sean Flynn PE, Galena Engineering; 317 N. River St., Hailey, Idaho 83333			
Legal Description: West half of Lot 5, Block 59, Ketchum Townsite			
Street Address: 180 W 2nd St, Ketchum			
SUBDIVISION INFORMATION			
Number of Lots/Parcels: 4 Condominium Units			
Total Land Area: 4,122 square feet, 0.09 Acres			
Current Zoning District: CC, Community Core, Mixed Use Subdistrict			
Proposed Zoning District: Same			
Overlay District: None			
TYPE OF SUBDIVISION			
Condominium <input checked="" type="checkbox"/>	Land <input type="checkbox"/>	PUD <input type="checkbox"/>	Townhouse <input type="checkbox"/>
Adjacent land in same ownership in acres or square feet: None			
Easements to be dedicated on the final plat: None			
Briefly describe the improvements to be installed prior to final plat approval: Construction of Condominium Units, sidewalk			
ADDITIONAL INFORMATION			
All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations One (1) copy of current title report and owner's recorded deed to the subject property One (1) copy of the preliminary plat All files should be submitted in an electronic format.			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

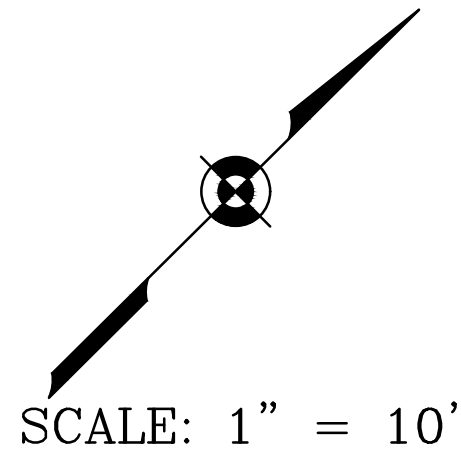
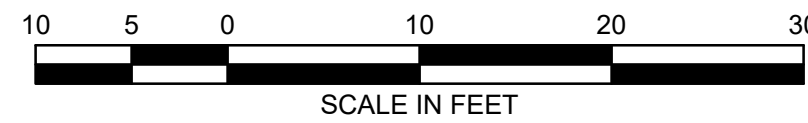
Sean Flynn with Galena Engineering 10/16/20
 Applicant Signature Date

Attachment B.
Preliminary Plat dated October 2020

A PRELIMINARY PLAT SHOWING MINDBENDER CONDOMINIUMS

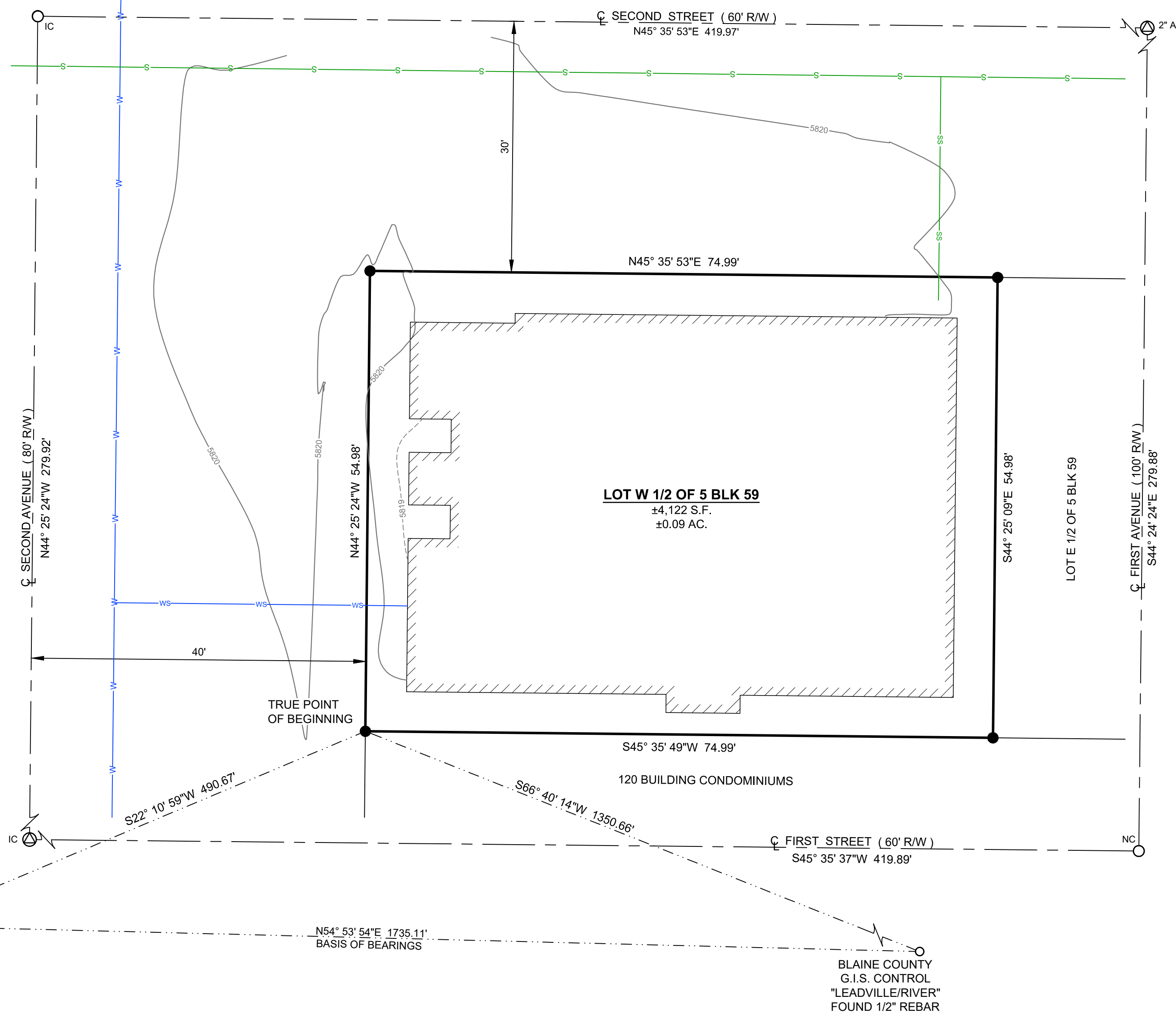
LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
WHEREIN THE BUILDING ON THE WEST HALF OF LOT 5, BLOCK 59, CITY OF KETCHUM IS CONDOMINIUMIZED

OCTOBER 2020



LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- GIS Tie Line
- 5' Contour Interval
- 1' Contour Interval
- Found Aluminum Cap
- Found 5/8" Rebar
- Set 5/8" Rebar, P.L.S. 16670
- Building
- CA = Common Area
- CE = Ceiling Elevation
- E = Elevation, Isometric View
- FF = Finished Floor Elevation
- IC = Illegible Cap
- LC = Limited Common Area
- NC = No Cap
- TPOB = True Point of Beginning
- Sewer Main
- Sewer Service
- Water Main
- Water Service



SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found and set during the boundary retracement of the west half of Lot 5, Block 59, Ketchum Townsite, Instrument Number 302967, records of Blaine County, Idaho, and to condominiumize said property as shown hereon. All found monuments have been accepted. Lot corner monuments were set by block breakdown and proportioning record distances. Vertical Datum is NAVD 1988.
2. In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.
3. Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
4. Horizontal or sloping planes shown hereon are top of finished subfloor and bottom of finished ceiling; vertical planes are finished surfaces of interior walls. Some structural members extend into units, limited common areas and parking spaces.
5. Property shown hereon is subject to terms, provisions, covenants, conditions, restrictions, easements, charges, assessments and liens provided by applicable Condominium Law or the Condominium Declaration recorded under Instrument Number _____, records of Blaine County, Idaho. Consult the Condominium Declarations for the definition of common and limited common area.
6. All area outside of units that is not designated as limited common is common area. areas of "common" or "limited common" are shown by diagram.
7. Building ties are to the interior corners of unit walls.
8. Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.
9. There exists a City of Ketchum Exceedance Agreement #20509, recorded under Instrument Number 674771, records of Blaine County, Idaho.
10. There exists a City of Ketchum Encoachment Agreement #20527, recorded under Instrument Number _____, records of Blaine County, Idaho, addressing pavers and snowmelt within the city's right-of-way.
11. The current zoning is CC. Refer to the City of Ketchum Zoning Ordinance for specific information about this zone.
12. The owner is KKL, LLC, 216 E Spruce St., Hailey ID 83333. The surveyor/representation is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.

BLAINE COUNTY
G.I.S. CONTROL
"K1ST-3RD"
FOUND ALUMINUM CAP

BLAINE COUNTY
G.I.S. CONTROL
"LEADVILLE/RIVER"
FOUND 1/2" REBAR

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS



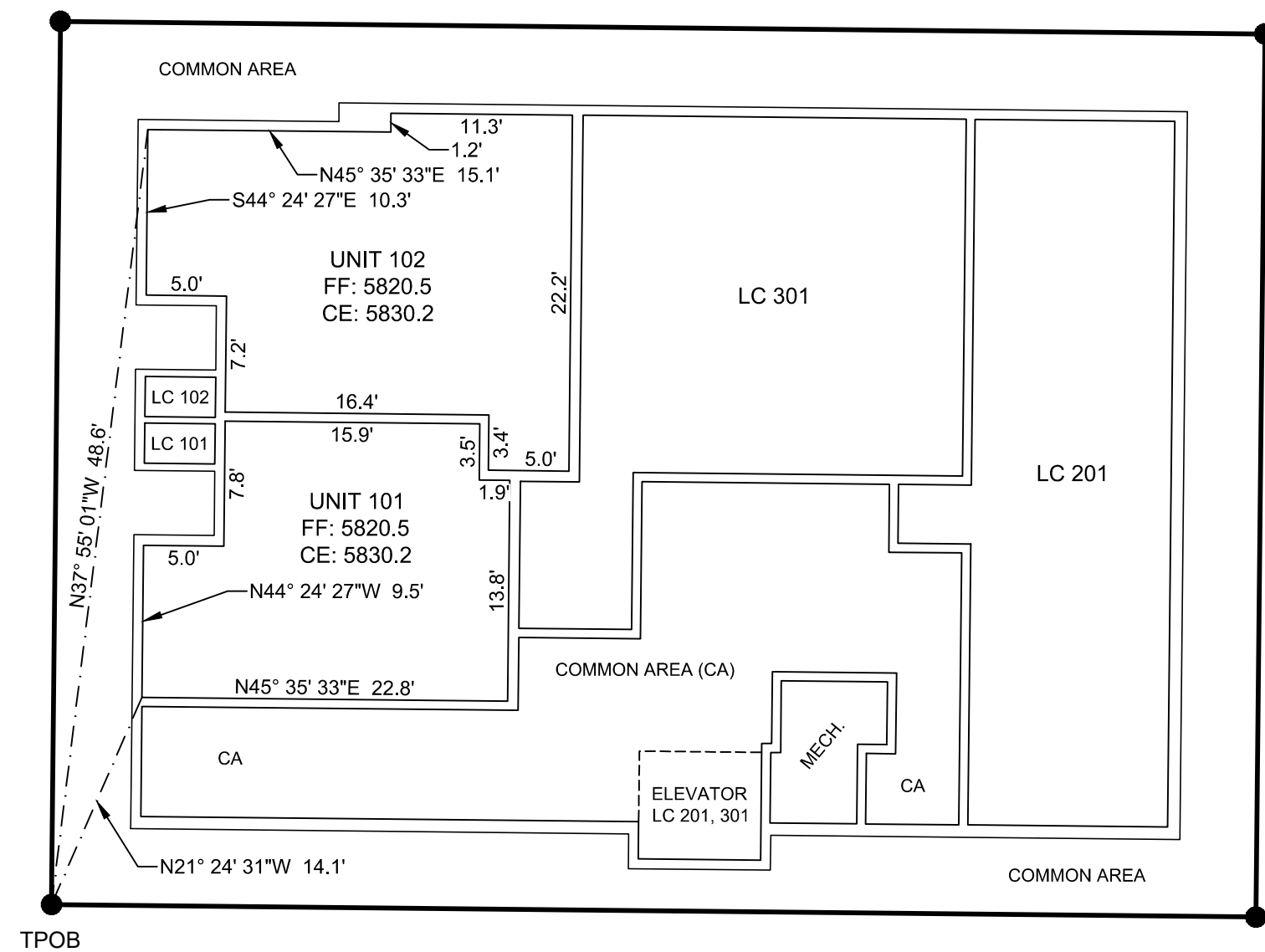
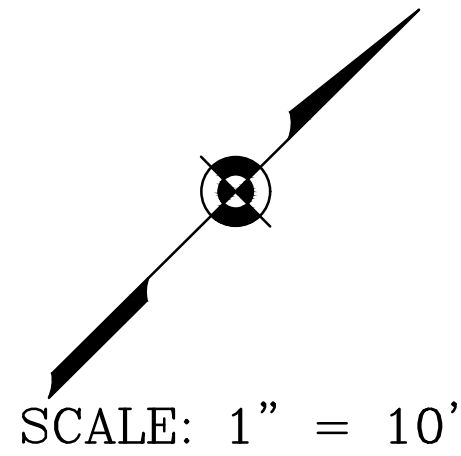
MARK E. PHILLIPS, P.L.S. 16670

MINDBENDER CONDOMINIUMS
GALENA ENGINEERING, INC.
HAILEY, IDAHO

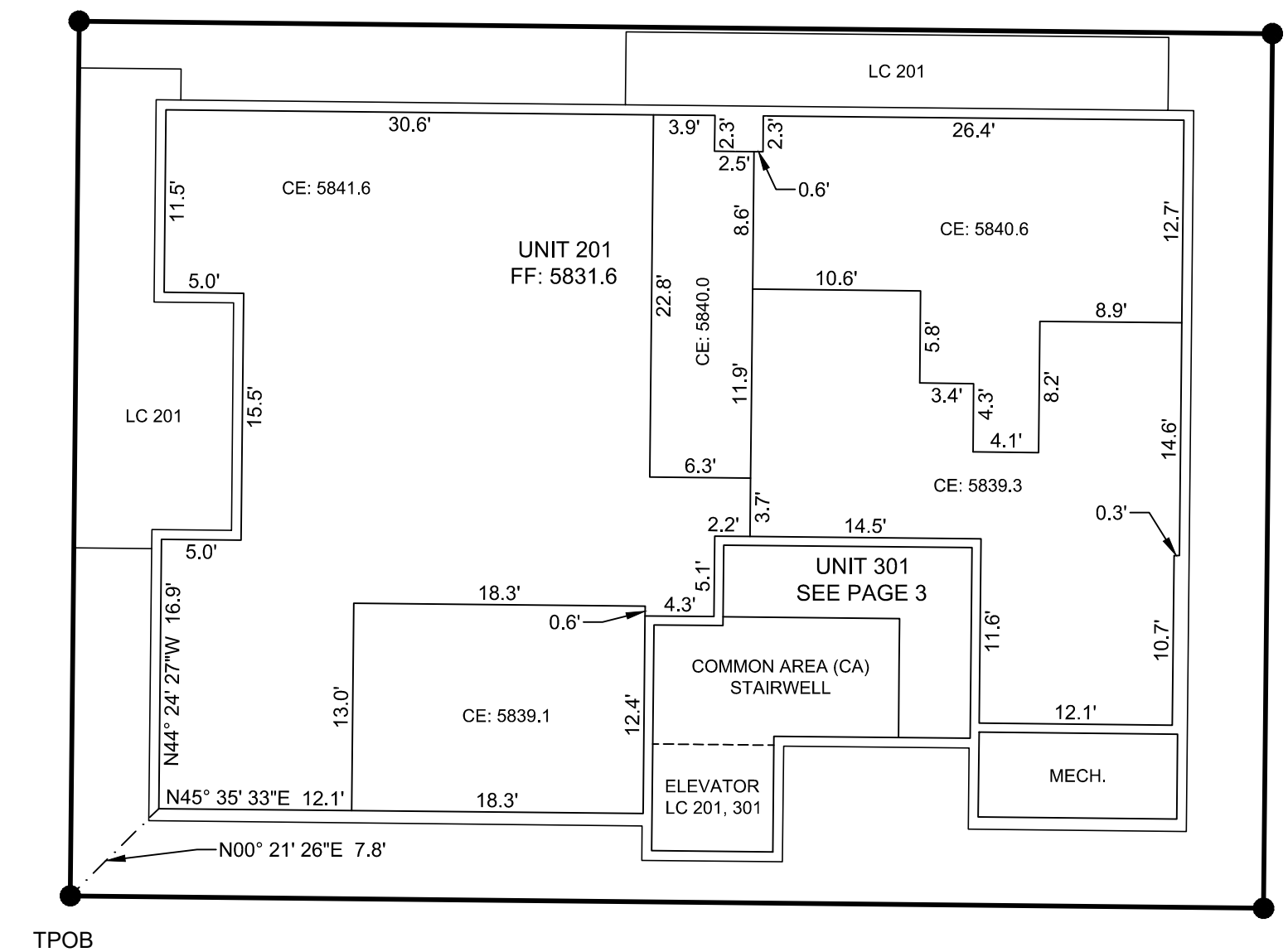
1 OF 4
Job No. 7742

A PRELIMINARY PLAT SHOWING MINDBENDER CONDOMINIUMS

OCTOBER 2020



UNITS 101 & 102 (1ST FLOOR)



UNIT 201 (SECOND FLOOR)

NOTE: See Sheet 1 for Legend and Notes.

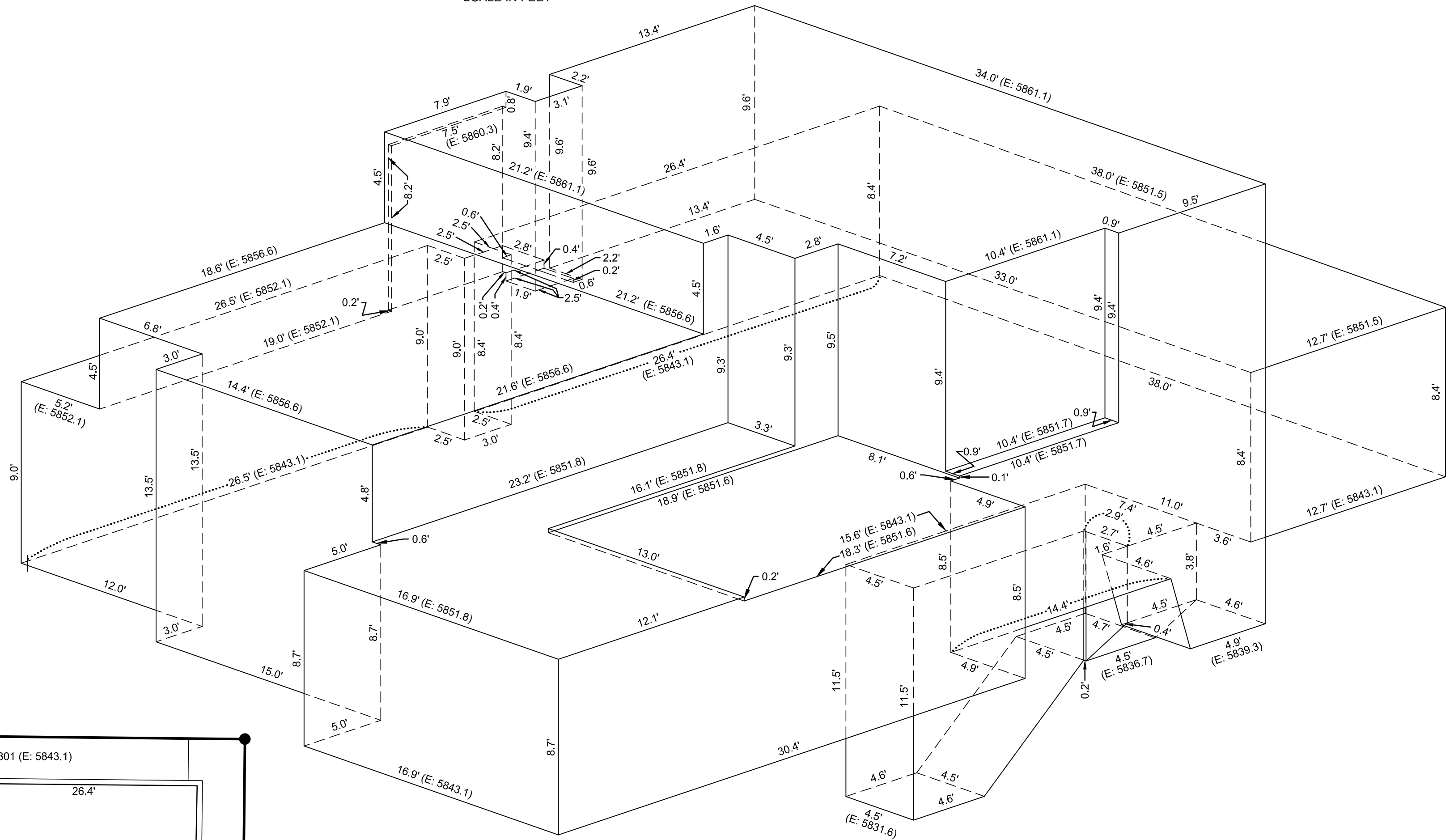
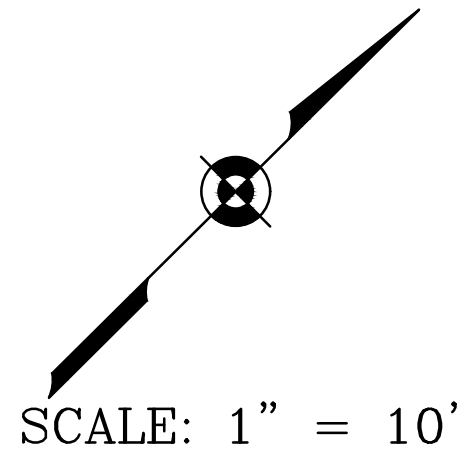
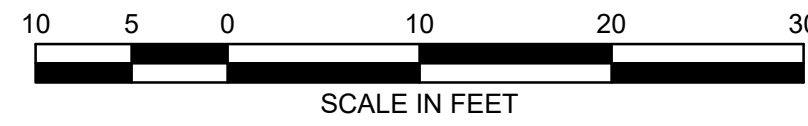


MARK E. PHILLIPS, P.L.S. 16670

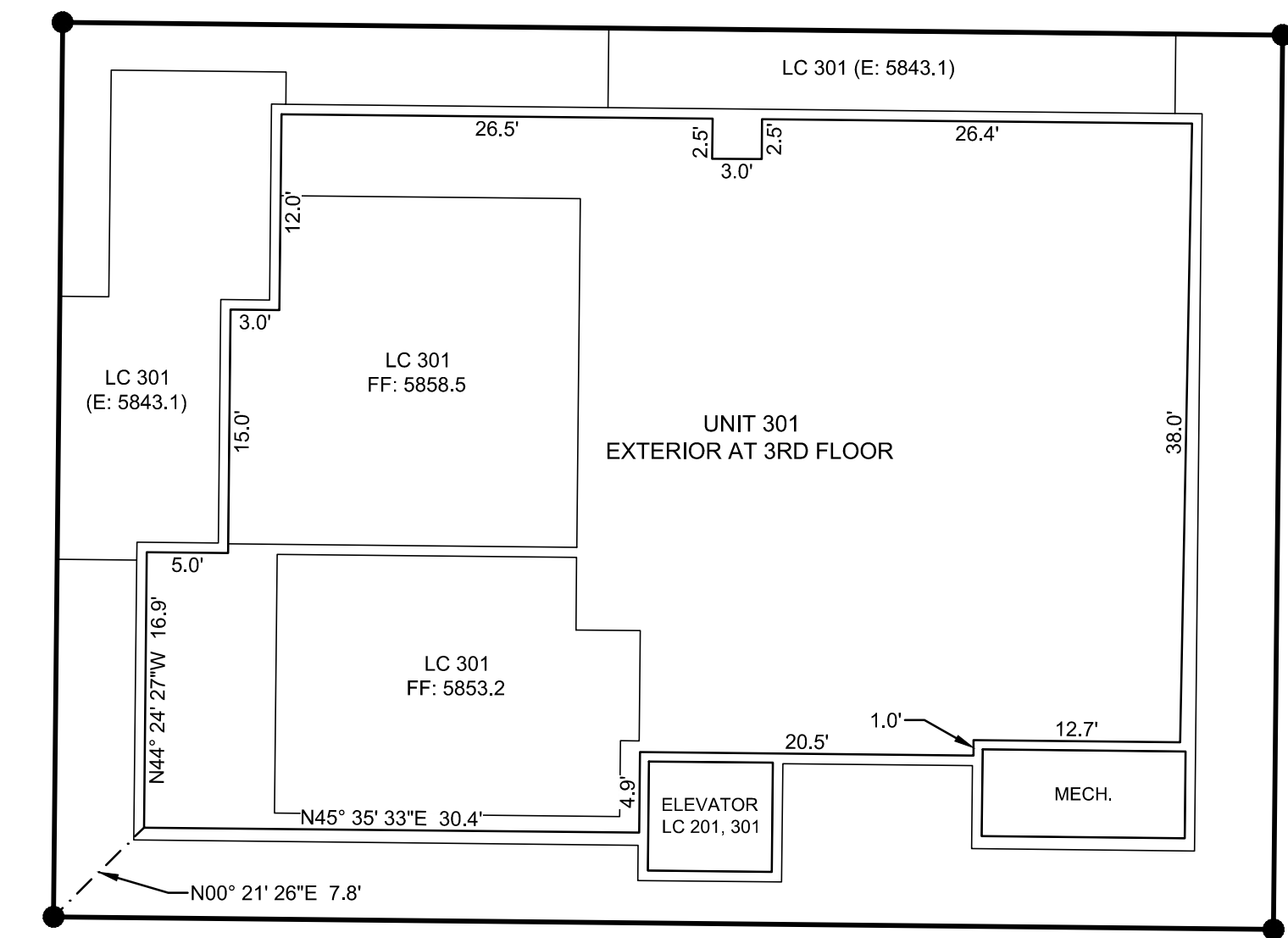
MINDBENDER CONDOMINIUMS
GALENA ENGINEERING, INC.
HAILEY, IDAHO

2 OF 4
Job No. 7742

A PRELIMINARY PLAT SHOWING
MINDBENDER CONDOMINIUMS
 OCTOBER 2020



NOTE: See Sheet 1 for Legend and Notes.



MINDBENDER CONDOMINIUMS
 GALENA ENGINEERING, INC.
 HAILEY, IDAHO

MARK E. PHILLIPS, P.L.S. 16670

3 OF 4
 Job No. 7742

Attachment C.
Draft Findings of Fact and Conclusions of Law



City of Ketchum
Planning & Building

IN RE:)	
)	
Mindbender Condominium Subdivision)	KETCHUM PLANNING AND ZONING COMMISSION
Preliminary Plat)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: November 10, 2020)	DECISION
)	
File Number: P20-091)	

Findings Regarding Application Filed

PROJECT: Mindbender Condominium Subdivision Preliminary Plat

APPLICATION TYPE: Condominium Subdivision Preliminary Plat

FILE NUMBER: P20-091

ASSOCIATED PERMITS: B19-076, P19-048, Exceedance Agreement #20509, Encroachment Agreement #20527

OWNERS: KKL LLC (per Blaine County assessor 11/4/20)

REPRESENTATIVE: Galena Engineering

REQUEST: Preliminary Plat to condominize four (4) condominium units within a residential building currently under construction

LOCATION: 180 W. 2nd Street (W ½ Lot 5, Block 59, Ketchum Townsite)

NOTICE: Notice was mailed to political subdivisions and property owners within a 300’ radius of the subject property on October 21, 2020 and was published in the Idaho Mountain Express on July 22, 2020. Notice was posted on premises and on the City of Ketchum website on November 3, 2020.

ZONING: Community Core

OVERLAY: Subdistrict 2 – Mixed Use

Findings Regarding Associated Development Applications

The subject property is owned by KKL LLC and is located at the southeast corner of Second Avenue and Second Street in the Community Core, Subdistrict 2 – Mixed Use. The subject development is a new, 3-story residential building that is currently under construction and nearing completion.

The Planning and Zoning Commission approved Design Review for the building in 2019 (P19-048) and the city issued a building permit in 2019 as well (B19-076). Upon completion the first floor of the building will contain two residential units, one of which will be a Community Housing Unit, and interior parking. The second floor will contain one residential unit and the third floor will contain one residential unit.

The Preliminary Plat proposes to plat all residential units and associated common areas with the result being four (4) residential condominiums.

Findings Regarding City Department Comments

All City Department standards as well as required right-of-way improvements were reviewed through the Design Review, Building Permit, and Encroachment Agreement processes. Prior to issuance of a Certificate of Occupancy City Departments will conduct final inspections to ensure compliance with all conditions and requirements of the associated Design Review, Exceedance Agreement, Building Permit, and Preliminary Plat approvals.

**Findings Regarding Condominium Subdivision Procedure
(KMC§16.04.070)**

All land subdivisions in the City of Ketchum are subject to the standards contained in Ketchum, Municipal Code, Title 16, Subdivision. Many standards are related to the design and construction of multiple new lots that will form new blocks and infrastructure, such as streets that will be dedicated to and maintained by the City. The standards for certain improvements (KMC §16.04.040) including street, sanitary sewage disposal, planting strip improvements are not applicable to the subject project as the application proposes to subdivide a building currently under construction into condominium units. As conditioned, the request to subdivide meets all applicable standards for Condominiums Preliminary Plats contained in Ketchum Municipal Code’s Subdivision (Title 16) and Zoning (Title 17) regulations. The Condominium Subdivision does not change the proposed residential use or alter the proposed development as reviewed and approved through Design Review P19-048 and Building Permit B19-076.

The first step in the condominium platting process is Preliminary Plat review and to receive a recommendation from the Planning and Zoning Commission. The Planning and Zoning Commission held a public hearing and unanimously recommended approval of the Preliminary Plat application to the City Council on November 10th, 2020.

Table 1: City Department Comments

City Department Comments			
Compliant			
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>City Department Comments</p> <p>Utilities:</p> <ul style="list-style-type: none"> No comment at this time. <p>Fire Department:</p> <ul style="list-style-type: none"> No comment at this time. <p>Engineering and Streets:</p> <ul style="list-style-type: none"> A Maintenance Agreement addressing street lighting, and any other items as determined by the City Engineer, may be required prior to City Council reviewing the review and/or approval of the Final Plat. <p>Planning and Zoning:</p> <ul style="list-style-type: none"> See comments throughout the Findings

Table 2: Preliminary Plat Requirements for All Projects and Condominium Preliminary Plats

Preliminary Plat Requirements				
Present on Preliminary Plat?			Standards	
Yes	No	N/A	City Code	City Standards and <i>Preliminary Review Comments</i>
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Comments	All items present.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Comments	All present.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The scale, north point and date.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .2	The name of the proposed subdivision.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.4	Legal description of the area platted.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.

			Comments	Contours present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .8	Boundary description and the area of the tract.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Comments	Present - CC
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Comments	Present
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Comments	Common Areas and Limited Common Areas are shown
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030.J .12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Comments	N/A, this application is to plat an existing building that is under construction into condominium buildings.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030.J .13	The direction of drainage, flow and approximate grade of all streets.
			Comments	N/A, this application is to plat an existing building that is under construction into condominium buildings.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Comments	N/A at this time, site drainage was addressed with Building Permit review and approval.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials
			Comments	The original Ketchum townsite plat serves as the vicinity map.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or avalanche overlay district.
			Comments	N/A subject property is not located in floodplain or avalanche overlays.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .18	Lot area of each lot.
			Comments	Present – 4,122 s.f.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .19	Existing mature trees and established shrub masses.
			Comments	Not applicable – none existing.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .20	To be provided to Administrator: 20. Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Comments	Name is unique
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.030. J .21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Comments	NA
X	<input type="checkbox"/>	<input type="checkbox"/>	Comments	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Comments	CC&Rs provided
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Comments	Provided.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .24	A digital copy of the preliminary plat shall be filed with the administrator.
			Comments	Provided.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.A	<p>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat.</p> <p>Construction design plans shall be submitted and approved by the city engineer.</p> <p>All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city.</p> <p>Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
		X	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Comments	N/A. This is a condominium plat for a building that is currently under

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.D	As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.
			Comments	N/A. This is a condominium plat for a building that is currently under construction.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows: <ul style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Comments	Addressed with Plat Note #1

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: <ol style="list-style-type: none"> a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section. 3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use. 4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line. 5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. 6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat..
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			Comments	N/A. This is a condominium plat for a building that is currently under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features. 4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.
			Comments	No new blocks are being created. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.1	<p>H. Street Improvement Requirements:</p> <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;
			Comments	No new streets are proposed. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.2	<ol style="list-style-type: none"> 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;
			Comments	No new streets are proposed. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.3	<ol style="list-style-type: none"> 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;
			Comments	NA the subdivision does not contain an existing or propose a new arterial street, railroad, or limited access highway.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.4	<ol style="list-style-type: none"> 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;
			Comments	N/A, the construction of a new street is not proposed.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.5	5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;
			Comments	NA, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.6	6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;
			Comments	N/A dedication of right-of-way is not necessary.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.7	7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.8	8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.9	9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.10	10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
			Comments	N/A, the construction of a new street is not proposed.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.11	11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
			Comments	N/A, the construction of a new street is not proposed.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.12	12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.13	13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.14	14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.15	15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.16	16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.17	17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H.18	18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;
			Comments	Street lighting per Design Review / Building Permit approvals.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.19	19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.20	20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.21	21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;
			Comments	N/A
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H.22	22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;
			Comments	Sidewalks were addressed with Design Review and Building Permit approvals and are covered by Encroachment Agreement #20518.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.23	23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.H.24	24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone
			Comments	N/A

X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.
			Comments	Subject property is not adjacent to an alley as the subject parcel is ½ of an Ketchum townsite lot, and it happens to be the ½ that does not abut an alley
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.J.1	J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands. 1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.
			Comments	Plat note #8 addresses this – “Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.”
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.2	2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.
			Comments	N/A parcels do not border a waterway, drainageway, channel or stream.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.3	3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.
			Comments	N/A parcels do not border a waterway.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.4	4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.
			Comments	N/A parcels do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.5	5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.
			Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.J.6	6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.
			Comments	N/A this is an infill parcel on half of a lot in the Ketchum townsite.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			Comments	Sewer services to the existing sewer main are being installed per building permit requirements.

<input type="checkbox"/>	X	<input type="checkbox"/>	16.04.040.L	<p>L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.</p>
			Comments	Water services to the existing water main are being installed per building permit requirements.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.M	<p>M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.</p>
			Comments	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.1	<p>N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <p>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.</p>
			Comments	Item #1, soil report, not required – this plat is to condominiumize an existing building that is currently under construction.

<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.2	<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <p>a. Proposed contours at a maximum of five foot (5') contour intervals.</p> <p>b. Cut and fill banks in pad elevations.</p> <p>c. Drainage patterns.</p> <p>d. Areas where trees and/or natural vegetation will be preserved.</p> <p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</p>
			Comments	N/A – project is condominiumizing an existing building
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.3	<p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>
			Comments	N/A – project is condominiumizing an existing building
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.N.4	<p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p>
			Comments	N/A – project is condominiumizing an existing building
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.5	<p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p>
			Comments	N/A – project is condominiumizing an existing building
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.6	<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</p>
			Comments	N/A – project is condominiumizing an existing building

X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.O	O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
			Comments	Drainage was addressed with Building Permit review and approval.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			Comments	Utilities are being extended to this site concurrent with the building that is under construction.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.Q	Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			Comments	Building is under construction. No off-site improvements were determined to be necessary.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.R	R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			Comments	N/A property is not in Avalanche or Mountain Overlay.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.040.S	S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.

			Comments	N/A.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.B	B. Preliminary Plat Procedure: The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space. The commission and council shall act on the preliminary plat pursuant to subsections 16.04.030D and E of this chapter.
			Comments	Submitted.
<input type="checkbox"/>	<input type="checkbox"/>	X	16.04.070.C	<p>C. Final Plat Procedure:</p> <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the condominium has received:</p> <p>a. A certificate of occupancy issued by the city of Ketchum; and</p> <p>b. Completion of all design review elements as approved by the planning and zoning administrator.</p> <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code. Prior to final plat approval, the subdivider shall submit to the city a copy of the final bylaws and condominium declarations which shall be approved by the council and filed with the Blaine County recorder, including the instrument number(s) under which each document was recorded.</p>
				N/A at this time, pertains to Final Plat.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.D	<p>D. Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.</p>
				Garages are allocated to residential units 201 and 301
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.E	<p>E. Storage Areas: Adequate interior storage space for personal property of the resident of each condominium unit.</p>
				Limited Common Area storage rooms and/or garages are indicated on the plat for all units - Units 101, 102, 201 and 301.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.F	F. Maintenance Building: A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.

				Mechanical rooms are indicated on the plat.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.G	G. Open Space: The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.
				Units 101 and 102 have outdoor spaces located at the entries of the units, albeit small. Units 201 and 301 have extensive outdoor deck space indicated as Limited Common areas associated with these units.
X	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.H	H. General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions
				All requirements associated with the Building Permit and Design Review approvals remain in effect.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the Ordinances and regulations, which Ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the Applicant’s Condominium Subdivision Final Plat application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Condominium Subdivision application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
4. The Condominium Subdivision Preliminary Plat application is governed under Sections 16.04.010, 16.04.020, 16.04.030, and 16.04.070 of Ketchum Municipal Code Chapter 16.04.
5. The proposed Condominium Subdivision for the Mindbender development meets the standards for Preliminary Plats under Title 16 of Ketchum Municipal Code subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **recommends approval of** this Condominium Subdivision Preliminary Plat application this Tuesday, November 10th, 2020 subject to the following conditions:

CONDITIONS OF APPROVAL

1. The Covenants, Conditions, and Restrictions (CC&R's) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R's;
2. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void;
3. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map;
4. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
5. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met, including completion of the right-of-way improvements prior to issuance of the Certificate of Occupancy for the building and signing of the Final Plat.

Findings of Fact **adopted** this 10th day of November, 2020

Neil Morrow, Commission Chair

Suzanne Frick, Planning and Building Director



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF NOVEMBER 10, 2020**

PROJECT: Waterman Residence Addition

FILE NUMBER: P20-060

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Owen Scanlon, Architect

OWNER: Gary & Karla Waterman

LOCATION: 604 S Leadville Avenue (Tax Lot 8554)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay (MO)

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on October 30th, 2020. A public hearing notice was posted on site and on the city's website on November 3rd, 2020. As of the publication of this Staff Report, the Planning & Building Department has received no public comment regarding this application.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

The subject Mountain Overlay (MO) Design Review is for the development of additions totaling 2,102 square feet to an existing single-family residence located at 604 S Leadville Avenue. The site is located within the Limited Residential (LR) Zoning District and within the Mountain Overlay. The additions will accommodate a new garage and guestroom. The new additions will match the existing home with the same colors and exterior materials. Site improvements proposed with the project include new landscaping, decks, and terraces as well as a new driveway section that extends to the upper garage addition.

Design Review is required for additions to buildings within the City's Mountain Overlay (MO) Zoning District (KMC §17.104.050). These projects are subject to the MO criteria specified in Ketchum Municipal Code §17.104.070 as well as all applicable Design Review standards and regulations (KMC §17.96.060).

ANALYSIS

The existing home was built in 1985 (Building Permit 85-16) before the City's adoption of the Mountain Overlay Zoning District in 1989. The home was remodeled in 1988 (Building Permit 88-139) and its foundation was repaired in 1999 (Building Permit 99-163).

The existing driveway to the home is noncompliant with Fire Department requirements. This project will improve the existing driveway off Leadville Avenue to the satisfaction of the Fire Department. This improved driveway includes a fork that extends to the proposed garage addition.

MO Design Review criteria include standards for driveways. Staff analysis of these driveway standards is included in Table 3 of the Staff Report.

MO Design Review Criteria (KMC §17.104.070.A)

3. *Driveway standards as well as other applicable standards contained in Title 12, Chapter 12.04 of Ketchum Municipal Code shall be met.*
9. *Cuts and fills allowed for roadways shall be minimized. Lengths of driveways allowed shall be minimized.*
11. *Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.*

In addition to the Mountain Overlay and Design Review regulations regarding driveways and circulation design, the city has adopted standards for the design, construction, and repair of private driveways specified in Title 12 of Ketchum Municipal Code (KMC). KMC §12.04.030.L3 specifies criteria that must be considered for private driveways. These criteria include hillside impact, preservation of rock outcrops, historical significance of affected properties, extent of cuts and fills, impact on or through slopes of 25% or greater, the Comprehensive Plan, aesthetic impacts, rock removal, visibility, exposure to sun, curves, number of homes served, and drainage.

City Council review and approval is required for private driveways with grades over 10% and private driveways of any grade that traverse slopes of 25% or greater (KMC §12.04.030.L5). As noted in the City Engineer's comments in Table 1, City Council review and approval is required for the proposed new driveway section. This Mountain Overlay Design Review application is conditioned upon City Council's review and approval of the new driveway section. Staff recommends that the Planning & Zoning Commission provide their recommendations to the City Council regarding the proposed driveway section. Any changes to the project resulting from City Council's review of the proposed driveway require final review and approval by the Planning & Zoning Commission.

Staff's comprehensive analysis of the project is contained in the following tables, including: (1) city department comments, (2) compliance with zoning and dimensional standards, (3) evaluation of Mountain Overlay Design Review criteria, and (4) analysis of Design Review standards. The analysis of Mountain Overlay Design Review criteria (Table 3) highlights outstanding action items and flags areas of concern. Staff recommends the Commission carefully consider the analysis of Mountain Overlay Design Review criteria in Table 3 of the Staff Report.

TABLE 1: City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way and driveway improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • If a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. • Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. • Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. • Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.

- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- City Council review and approval is required for private driveways with grades over 10% and private driveways of any grade that traverse slopes of 25% or greater (KMC §12.04.030.L5). City Council review and approval is required for the proposed driveway section.
- Due to the new driveway section’s length, proposed grades, and location, a design standard exception request is required. The applicant shall submit the design standard exception request form. The applicant shall update the project plans to include a profile of the proposed driveway section, limits of the cuts and/or fills, and the 25% slope areas for review by the City Engineer. The driveway plans and design standard exception request will be forwarded to City Council for final review and approval.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code including design criteria for private driveways (KMC §12.04.030.L), ballast thickness design (KMC §12.04.030.H), cut and fill slopes (KMC §12.04.030.I), drainage plans (KMC §12.04.030.J), and erosion protection (KMC §12.04.030.K).
- Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved by the Building Department prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The public right-of-way adjacent to the subject property shall be improved to the City’s right-of-way standards for local-residential street right-of-ways. Material within the first eight (8) feet from the edge of asphalt shall be (1) distinct from the driveway in order to visually appear to be available for parking, (2) pervious and permeable to enhance drainage, and (3) the surface must allow for vehicle parking and be consistent along the entire property frontage. No live plant materials or obstructions, such as boulder or berms, are permitted within the first 8 ft from the edge of asphalt.
- The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Utilities:

- The existing home is connected to the municipal water and sewer system at Leadville Avenue.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.

- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 2, 3, and 4.

Table 2: Findings Regarding Zoning and Dimensional Standards

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Staff Comments	Required: 9,000 square feet minimum Existing Tax Lot 8554: 53,580 square feet (1.235 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Staff Comments	Permitted: 35% Proposed: The building coverage calculation is indicated on Sheet L1.0 of the project plans. 10% (5,060 square feet building coverage/ 53,580 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Staff Comments	Minimum Required Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' Rear: 20' Proposed: Front (Leadville Avenue/west): 58' Side (Lava Street/north): 115' Side (south): 74' from proposed guest bedroom addition and 23' from existing home Rear (interior/east): 20'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Staff Comments	Maximum Permitted: 35 feet Existing: The existing two-story home is 32 feet tall. Proposed: Sheet C2-1.0 indicates the height of the proposed addition is 15'-9"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Staff Comments	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: The existing driveway will be widened to 20 feet to comply with Fire Department requirements.

				10% (20-foot wide driveway/approximately 200 linear street frontage) of the property's street frontage is used to access the home.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces
			Staff Comments	Off-street parking standards of this chapter apply to any structure or use that is expanded or enlarged. Required: One-Family Dwelling Units in all Zoning Districts: 2 parking spaces per dwelling unit. Proposed: The applicant is proposing two parking spaces within the enclosed garage addition. The home has an existing two-car garage. 4 total parking spaces are provided within the two enclosed garages.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.128.010	Supplementary Lot Area and Lot Width Regulations
			Staff Comments	Where an individual lot was held in separate ownership from adjoining properties or was platted in a recorded subdivision approved by the City Council prior to April 21, 1966, or was in such a condition at the time the lot was subsequently annexed to the City, or was of legal area and dimensions when held in separate ownership from adjoining properties or when platted in a recorded subdivision, such a lot may be occupied according to the permitted uses provided for the district in which the lot is located, provided the proposed uses, building construction, and all other regulations in regard to setbacks, supplemental yard regulations, and parking areas are strictly adhered to and complied with. The subject property located at 604 S Leadville Avenue (Tax Lot 8554) is not platted within a recorded subdivision. Tax Lot 8554 was held in separate ownership from adjoining properties prior to April 21, 1966. The title report references a warranty deed for the property recorded on August 27, 1951 as Instrument No. 99646. Satisfying the criteria specified in KMC §17.128.010, the site may be occupied according to the permitted uses provided for in the LR Zone.

Table 3: Findings Regarding Mountain Overlay Design Review Standards

Mountain Overlay Design Review Standards (KMC §17.107.070.A)				
Compliant			Standards and Staff Comments	
Yes	No	N / A	Ketchum Municipal Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.

			<p>Staff Comments</p> <p>The Mountain Overlay boundary bisects the subject property. Within southeast Ketchum, the Mountain Overlay boundary is east of the Reinheimer/Weyyakin irrigation ditch (KMC §17.104.030.C). The existing home and proposed addition are located within the Mountain Overlay boundary east of the irrigation ditch. The property is not characterized by prominent knolls, ridges, or rock outcroppings. The home does not have a material visual impact as the property isn't characterized by a significant skyline visible from a public vantage point entering the City or within the City. This property is not visible from an identified or protected view corridor.</p> <p>The ridge line is located beyond the extent of the property boundary. In 2001, the Planning & Zoning Commission approved Mountain Overlay 001-002 for the development of a new home uphill of subject Tax Lot 8554. The neighboring home located at 205 Lava Street is sited further up the hillside from the existing Waterman residence and proposed addition project. The highest point of the neighboring home located at 205 Lava Street is at an elevation of ~5,893 feet. The highest point of the Waterman home is at elevation of ~5883 feet. Both homes area screened from view by existing, mature vegetation within the neighborhood along Leadville Avenue and Lava Street.</p> <p>The proposed additions will be lower in height than the existing home. The home's natural materials and simple geometrical design blend into the surrounding landscape and hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.104.070.A2</p> <p>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</p>
			<p>Staff Comments</p> <p>Preliminary calculations submitted by the applicant indicate that approximately 640 cubic yards of earth will be excavated and 380 cubic yards of earth will be filled for the site improvement design.</p> <p>This Mountain Overlay Design Review application is conditioned upon City Council's review and approval of the new driveway section proposed to access the upper garage addition. As conditioned, the project shall meet this requirement. Pursuant to KMC §12.04.030.L.3, the City Engineer and City Council shall consider hillside impact, the extent of cuts and/or fills, and visibility as part of their review of the private driveway application. The applicant shall update the project plans to include a profile of the proposed driveway section, limits of the cuts and/or fills, and the 25% slope areas for review by the City Engineer.</p>

				The project will not impact surrounding view corridors due to the location of the subject property, existing landscaping, and site characteristics described in evaluation of the previous criteria KMC §17.104.070.A.1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Staff Comments	<p>The existing driveway is noncompliant with Fire Department requirements. The applicant has coordinated with the Fire Code Official to improve the driveway given the site constraints, including the existing ditch that bisects the property. The proposed improvements to the existing driveway meet Fire Department standards.</p> <p>This improved driveway includes a fork that extends to the proposed upper garage addition.</p> <p>Ketchum Municipal Code §12.04.030.L3 specifies criteria that must be considered for private driveways. These criteria include hillside impact, preservation of rock outcrops, historical significance of affected properties, extent of cuts and fills, impact on or through slopes of 25% or greater, the Comprehensive Plan, aesthetic impacts, rock removal, visibility, exposure to sun, curves, number of homes served, and drainage.</p> <p>City Council review and approval is required for private driveways with grades over 10% and private driveways of any grade that traverse slopes of 25% or greater (KMC §12.04.030.L5). As noted in the City Engineer’s comments in Table 1, City Council review and approval is required for the proposed driveway section.</p> <p>This Mountain Overlay Design Review is conditioned upon City Council’s review and approval of the new driveway section.</p> <p>See Table 1 for City Department comments including Fire Department, City Engineer, and Streets Department conditions. Fire Department, City Engineer, and Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150’) of the furthest exterior wall of any building.
			Staff Comments	<p>Fire Department comments and conditions have been included with Table 1 to the Staff Report. Sheet L1.0 of the project plans indicates the 150-foot Fire Department access. The improved existing driveway off Leadville Avenue will serve as the Fire Department’s apparatus access road. The proposed improvements to the existing driveway meet Fire Department standards.</p>

				Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Staff Comments	The property does not contain significant rock outcroppings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Staff Comments	The project must comply with the 2012 International Building Code, the 2012 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, Building Department, and Fire Department requirements shall be verified and met prior to issuance of a Building Permit for the project. See City Department comments specified in Table 1 of the Staff Report.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Staff Comments	The home is connected to the municipal water and sewer systems from existing lines within Leadville Avenue. The project plans do not propose any changes to these existing connections. Public water and sewer service shall comply with city requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Staff Comments	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. As indicated on Sheet C1.0 of the MO Design Review submittal, the applicant has proposed a system drywells and culverts to control drainage on site. This Mountain Overlay Design Review application is conditioned upon City Council's review and approval of the new driveway section. As conditioned, the project shall meet the requirement to maintain drainage on site. Pursuant to KMC §12.04.030.L.3m, the City Engineer and City Council shall consider drainage impacts as part of their review of the private driveway application. Prior to issuance of a Building Permit, the applicant shall submit a final drainage and grading plan stamped by an Idaho licensed engineer with associated specifications and details for the proposed drywells and culverts. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.
				Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum

			<p>planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p> <p>Staff Comments</p> <p>Revegetation on the hillside within the 30-foot clear zone shall include low combustible, irrigated vegetation and appropriate species.</p> <p>This project includes a new driveway section that extends to the upper garage addition. City Council review and approval is required for private driveways with grades over 10% and private driveways of any grade that traverse slopes of 25% or greater (KMC §12.04.030.L5). As noted in the City Engineer’s comments in Table 1, City Council review and approval is required for the proposed driveway section.</p> <p>This Mountain Overlay Design Review is conditioned upon City Council’s review and approval of the new driveway section. Due to the new driveway section’s length, proposed grades, and location, a design standard exception request is required. The applicant shall submit the design standard exception request form and update the project plans to include a profile of the proposed driveway section, limits of the cuts and/or fills, and the 25% slope areas for review by the City Engineer. The driveway plans and design standard exception request will be forwarded to City Council for final review and approval.</p> <p>As conditioned, the project shall meet this requirement. Pursuant to KMC §12.04.030.L.3, the City Engineer and City Council shall consider hillside impact, the extent of cuts and/or fills, and visibility as part of their review of the private driveway application.</p> <p>The proposed driveway section length spans the length of Tax Lot 8554 almost 300 feet following the slope up the hillside. Options for siting the proposed upper garage addition and new driveway section were limited due to the location of the existing home and site constraints, including the Reinheimer/Weyyakin irrigation ditch that bisects the property. Accessing the upper garage addition off of Lava Street is not feasible. Lava Street is a private driveway encumbered by an ingress & egress easement (Instrument No. 99644) to access certain lots within Lava Street Subdivision. Ketchum Municipal Code (KMC) §12.04.030.L limits access off of private driveways to no more than 4 single-family dwelling units. This project would have increased the number of dwelling units accessed from Lava Street above the maximum permitted for private driveways.</p> <p>Staff recommends that the Planning & Zoning Commission provide their recommendations to the City Council regarding the proposed driveway section.</p> <p>See Table 1 for City Department comments including Fire Department, City Engineer, and Streets Department conditions. Fire Department, City</p>
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				Engineer, and Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Staff Comments	Options for siting the proposed upper garage addition and new driveway section were limited due to the location of the existing home and site constraints, including the Reinheimer/Weyakin irrigation ditch that bisects the property. Accessing the upper garage addition off of Lava Street is not feasible. Lava Street is a private driveway encumbered by an ingress & egress easement (Instrument No. 99644) to access certain lots within Lava Street Subdivision. Ketchum Municipal Code (KMC) §12.04.030.L limits access off of private driveways to no more than 4 single-family dwelling units. This project would have increased the number of dwelling units accessed from Lava Street above the maximum permitted for private driveways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Staff Comments	This Mountain Overlay Design Review is conditioned upon City Council's review and approval of the new driveway section. As conditioned, the project shall meet this requirement. Pursuant to KMC §12.04.030.L.3, the City Engineer and City Council shall consider hillside impact, the extent of cuts and/or fills, impacts on or through slopes of 25% or greater, and visibility as part of their review of the private driveway application. As noted in the City Engineer's comments specified in Table 1, the applicant shall submit the design standard exception request form and update the project plans to include a profile of the proposed driveway section, limits of the cuts and/or fills, and the 25% slope areas for review by the City Engineer. The driveway plans and design standard exception request will be forwarded to City Council for final review and approval. Staff recommends that the Planning & Zoning Commission provide their recommendations to the City Council regarding the proposed driveway section.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.12	Utilities shall be underground.
			Staff Comments	The home is connected the municipal water and sewer system. All utilities within the development site shall be located underground and concealed from public view. All on-site utilities shall be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			Staff Comments	As conditioned, the project shall comply with this standard. The limits of disturbance must be established on the construction activity plan submitted with the Building Permit application to be reviewed and approved by the Planning & Building Department and City Engineer prior

				to issuance of a Building Permit for the project. The silt and construction fencing demarcating the limits of disturbance shall be installed along the entire perimeter of the construction area and shall remain in place for the duration of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			Staff Comments	Excavation, fill, and vegetation disturbances that are not associated with building construction have been minimized - all excavation, fill and vegetation disturbance is associated with construction of the upper garage and guest bedroom additions, new driveway section, and associated site improvements. This Mountain Overlay Design Review is conditioned upon City Council’s review and approval of the new driveway section. Pursuant to KMC §12.04.030.L.3, the City Engineer and City Council shall consider hillside impact, the extent of cuts and/or fills, impacts on or through slopes of 25% or greater, and visibility as part of their review of the private driveway application. Staff recommends that the Planning & Zoning Commission provide their recommendations to the City Council regarding the proposed driveway section.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070. A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	No significant landmarks have been identified on the subject property.

Table 4: Findings Regarding Design Review Standards

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	<i>The existing driveway access off Leadville Avenue will be improved to Fire Department standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	<i>N/A as no changes to Leadville Avenue are proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	<i>N/A as sidewalks are not required or existing within this low-density residential neighborhood.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required or existing within this low-density residential neighborhood.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required or existing within this low-density residential neighborhood.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>Options for siting the proposed upper garage addition and new driveway section were limited due to the location of the existing home and site constraints, including the Reinheimer/Weyyakin irrigation ditch that bisects the property. Accessing the upper garage addition off of Lava Street is not feasible. Lava Street is a private driveway encumbered by an ingress & egress easement (Instrument No. 99644) to access certain lots within Lava Street Subdivision. Ketchum Municipal Code (KMC) §12.04.030.L limits access off of private driveways to no more than 4 single-family dwelling units. This project would have increased the number of dwelling units accessed from Lava Street above the maximum permitted for private driveways.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>The proposed shall drainage improvements span the width of the subject lot. See above analysis for KMC §17.96.060(C)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The final drainage plan shall be submitted with the Building Permit shall be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The home is connected to the municipal water and sewer system. The applicant is aware that any new or improved utilities are the sole responsibility of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>The home is connected the municipal water and sewer system. All utilities within the development site shall be located underground and concealed from public view.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The addition project will match the existing home by utilizing the same exterior materials and colors. The exterior materials include wood fascia, wood siding, and log trim. The natural materials and colors harmonize with the surrounding landscape and decrease visual impacts.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A as the existing home was built in 1985.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>No sidewalks are located within the neighborhood or required for the project. The new entryway to the upper garage addition is clearly defined by a decorative roof overhang that includes a Boston ridge.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The home is defined by the roofing forms, including gable and Boston ridge elements, as well as large windows. The home is defined by wood siding and log trim. The home has a low, horizontal massing with overhanging eaves and balconies supported by decorative columns. The home's natural materials and simple geometrical design blend into the surrounding landscape and hillside. The design of the home echoes certain characteristic of historic properties within the surrounding neighborhood, including the log architecture and use of natural resources.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The addition project will match the existing home by utilizing the same exterior materials and colors. The exterior materials include wood fascia and siding, log trim. The natural materials and colors harmonize with the surrounding landscape and decrease the development's visual impacts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The landscape features include a new terrace and deck in the backyard. The landscape plan includes ornamental trees, deciduous shrubs, perennial flowers, and natural glasses. The landscaping will complement and soften the principal building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The design incorporates variation in architectural features, including decorative column, gable roof elements, and window openings, across all facades. The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of flatness at all facades.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The building orients toward Leadville Avenue.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>No satellite receivers are proposed. This is a residential project that will not have an exterior commercial garbage receptacle that requires screening.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The proposed additions include roof overhangs that extend 3 feet from the building wall. As conditioned, the single-family residence will meet this standard. The applicant shall install a snow fence or clips as well gutters and downspouts in order to enhance weather protection to the satisfaction of the Building Official.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>Sidewalks are not required or existing within the subject low-density residential neighborhood. Leadville Avenue and Lava Street are located within a low-traffic residential area. Pedestrian and bicycle access are provided from these low-traffic residential streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Leadville Avenue and Lava Street are in a low-traffic residential neighborhood and traffic is anticipated to flow safely within the project and onto adjacent streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The existing driveway entrance is located over 150 ft from the nearest intersection located at Lava Street and S Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Unobstructed access to the site is provided off Leadville Avenue. The existing driveway is noncompliant with Fire Department requirements. The applicant has coordinated with the Fire Code Official to improve the driveway given the site constraints, including the existing ditch that bisects the property. The proposed improvements to the existing driveway meet Fire Department standards. See Table 1 for City Department comments including Fire Department, City Engineer, and Streets Department conditions. Fire Department, City Engineer, and Streets Department requirements and associated</i>

				<i>specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>Sheet L1.0 indicates that the total driveway area is 14,200 square feet. The applicant has provided 7,100 square feet of snow storage on site, which is 2,840 square feet more than required by code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>As indicated on Sheet L1.0, the applicant has proposed 7,100 square feet of snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>The designated snow storage areas exceed these dimensions.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>N/A as the applicant has provided the required snow storage areas on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The required landscape plan is indicated on Sheet L1.0 and L2.0 of the project plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscape plan includes shrub groupings, ornamental trees, perennial flowers, and natural grasses. The landscape plan minimizes the development's visual impact on the hillside and complements surrounding residential neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>See above Staff analysis for KMC §17.96.060.I1. All trees, shrubs, grasses, and perennials shall be drought tolerant. Native species are recommended.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping proposed for this residential project in the Mountain Overlay is appropriate. The landscaping will provide a buffer between neighboring homes and screen the project from Leadville Avenue and Lava Street.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required for the project.</i>

RECOMMENDATION

Staff recommends that the Commission consider the analysis contained in the Staff Report, the applicant’s presentation, and any public comment received, deliberate, and move to approve the Waterman Addition Mountain Overlay Design Review subject to the recommended conditions approval. This Mountain Overlay Design Review approval is conditioned upon City Council’s review and approval of the new driveway section that accesses the upper garage addition. If City Council’s review of the proposed driveway results in changes to the project, then the applicant shall submit updated plans for the Planning & Zoning Commission’s final review and approval.

RECOMMENDED CONDITIONS OF APPROVAL

1. This Mountain Overlay Design Review is subject to City Council’s review and approval of the proposed driveway. If City Council’s review of the proposed driveway results in changes to the project, then the applicant shall submit updated plans for the Planning & Zoning Commission’s final review and approval.
2. The applicant shall comply with all City Department conditions in Table 1 and all Planning & Building Department conditions as specified in Tables 2, 3, and 4.
3. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to the issuance of a Certificate of Occupancy for the project.
4. Prior to issuance of a Building Permit, the applicant shall submit final civil drawings stamped by an Idaho licensed engineer including a driveway profile as well as a final drainage and grading plan for review and approval by the City Engineer and Streets Department.
5. The silt and construction fencing demarcating the limits of disturbance shall be installed along the entire perimeter of the construction area and shall remain in place for the duration of construction.
6. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. This Mountain Overlay Design Review conditioned upon City Council’s review and approval of the proposed driveway. If City Council’s review of the proposed driveway results in changes to the project, then the applicant shall submit updated plans for the Planning & Zoning Commission’s final review and approval. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning & Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.

7. All new exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies. Exterior lighting shall be inspected by Planning Staff and conformity shall occur prior to issuance of Certificate of Occupancy for the project.
8. Design Review approval shall expire one year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Exhibits:

- A. Mountain Overlay Design Review Application Submittal

Exhibit A:

**Mountain Overlay Design
Review Application Submittal**



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P20-060
Date Received:	7-14-20
By:	mp
Fee Paid:	1400-
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: WATERMAN REMODEL			
Owner Name: GARY & KARLA WATERMAN			
Mailing Address: 6886 WING POINT ROAD BAINBRIDGE ISLAND, WA 98110			
Phone: (206) 669-0676			
Email: garywaterman@mac.com			
PROJECT INFORMATION			
Architect/Representative: OWEN SCANLON			
Phone: (208) 720-2344			
Mailing Address: 110 N ANGELA DRIVE HAILEY, IDAHO 83333			
Email: owscanlon@msn.com			
Engineer of Record: GALENA ENGINEERS			
Engineer Email: sflynn@galena-engineering.com			
Legal Land Description: TAX LOT 6594 KETCHUM FR NESW TL 8554 SEC 18 4N 18E			
Project Address: 604 S LEADVILLE AVE KETCHUM, IDAHO 83340			
Lot Area: 1.23 ACRES			
Zoning District: LR			
Anticipated Use: RESIDENTIAL			
Number of Residential Units: ONE			
TYPE OF CONSTRUCTION			
<input type="checkbox"/> New	<input checked="" type="checkbox"/> Remodel	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:			
1 st Floor: 589 SQ. FT.		2,057 SQ. FT.	
2 nd Floor: 1,197 SQ. FT.		2,223 SQ. FT.	
3 rd Floor:			
Decks: 316 SQ. FT.			
Mezzanine:			
Total: 2,102 SQ. FT.			
Building Coverage: 5,060 SF 9 %		Curb Cut: 46 SF 34 %	
PROPOSED SETBACKS			
Front: 74'	Side: 58'	Side: 20'	Rear: 115
ADDITIONAL INFORMATION			
Building Height: PROPOSED ADDITION: 15'-9"		Parking Spaces Provided:	
Will Fill or Excavation Be Required? <input checked="" type="radio"/> Yes <input type="radio"/> No			
If Yes, Amount in Cubic Yards Fill: 380		Excavation: 640	
Will Existing Trees or Vegetation Be Removed? <input checked="" type="radio"/> Yes <input type="radio"/> No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

[Signature]
Signature of Owner/Representative

July 14, 2020
Date

WATERMAN REMODEL

PROJECT DATA

Owners: Gary and Karla Waterman
6886 Wing Point Road
Bainbridge Island WA 98110.

Existing floor area: 4,280 sq.ft.
Proposed Addition: 2,102 sq.ft.
Addition Height: 15'-9"
Type V Construction
Occupancy: R-3

INDEX TO DRAWINGS:

CS-1.0	Cover sheet	A-1.3	Entry/Upper Garage Plan	S-1.2	Framing Details	ELECTRICAL	
CIVIL		A-2.0	Guest Master Roof Plan	S-2.0	Overall Layout Plan	E-1.0	Guest Master Electrical Plan
C-1.0	Site Grading Notes & Details	A-3.0	Entry/Upper Garage Roof Plan	S-2.1	Guest Master Foundation Plan	E-1.1	Entry/Upper Garage Electrical Plan
C-1.1	Site Grading & Drainage Plan	A-4.0	Exterior Elevations		Footing Schedule		
LANDSCAPING		A-4.0	Exterior Elevations	S-2.2	Structural notes		
L-1.0	Site Demolition Plan	A-5.0	Building Sections	S-2.2	Entry/Upper Garage Foundation Plan		
L-2.0	Site Plan	A-5.0	Door Types		Footing Schedule		
L-3.0	Landscape Plan	A-5.0	Window Types	S-2.3	Structural Notes		
ARCHITECTURAL		A-6.0	Door Hardware Schedule	S-2.3	Guest Master Floor Framing Plan		
A-1.0	Master Addition/Remodel Plan	A-6.0	Interior Elevations		Framing Schedules		
A-1.1	Bunkroom Demolition Plan	A-6.1	Interior Elevations	S-2.4	Framing Notes		
	Bunkroom Bath Remodel Plan	A-7.0	Guest Master Reflected Ceiling		Guest Master Roof Framing Plan		
	Bunkroom Bath Interior Elevations	A-7.1	Upper garage Reflected Ceiling		Framing Schedules		
A-1.2	Guest Master Plan	A-8.0	Spa/Deck Plan	S-2.5	Framing Notes		
	Guest Master Section		Spa/deck foundation Plan		Entry/Upper Garage Roof Framing Plan		
	Details	STRUCTURAL	Spa/Deck Section & Elevation	S-3.0	Framing Schedules		
		S-1.0	Terrace Fireplace Plan	S-4.0	Framing Notes		
		S-1.1	Terrace Fireplace Section & Elevation	S-5.0	Foundation Details		
					Roof Framing Details		
					Roof Framing Details		

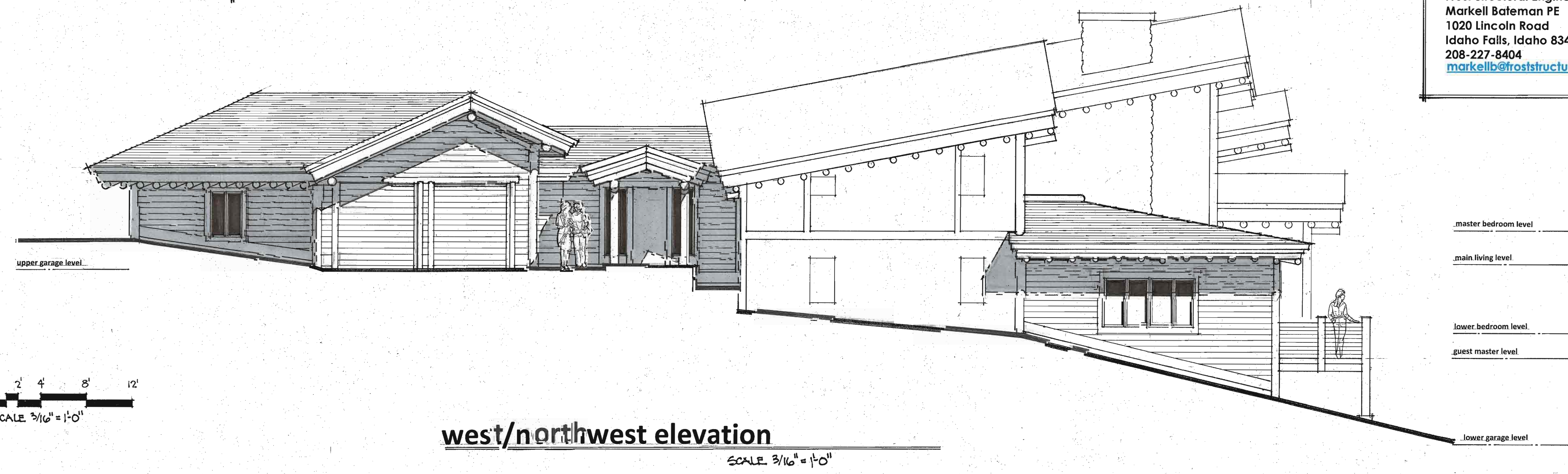
PROJECT TEAM

ARCHITECT:
Owen Draws LLC
Owen W Scanlon NCARB, LEED GA
110 N Angela Drive
Hailey, Idaho 83333
208-720-2344
owscanlon@msn.com

CIVIL:
Galena Engineers
Samantha Stahlnecker PE
317 N River St
Hailey, Idaho 83333
208-788-1705
[sstahlnecker@galena-engineering.com](mailto:ssstahlnecker@galena-engineering.com)

LANDSCAPE ARCHITECT:
Eggers & Associates
Kurt Eggers ASLA
560 N Second Ave
Ketchum, Idaho 83340
208-726-0988
kurt@eggersassociates.com

STRUCTURAL
Frost Structural Engineering
Markell Bateman PE
1020 Lincoln Road
Idaho Falls, Idaho 83401
208-227-8404
markellb@froststructural.com



ARCHITECT/PLANNER:
110 N ANGELA DR.
HAILEY, ID 83333
(208) 720-2344

REVISORS

PROJECT NO.

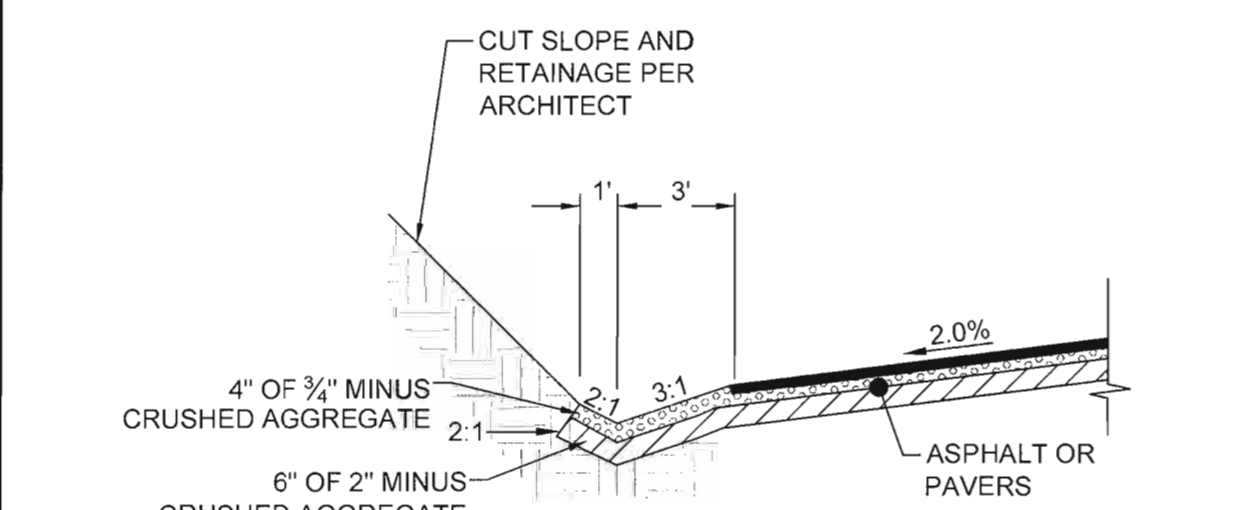
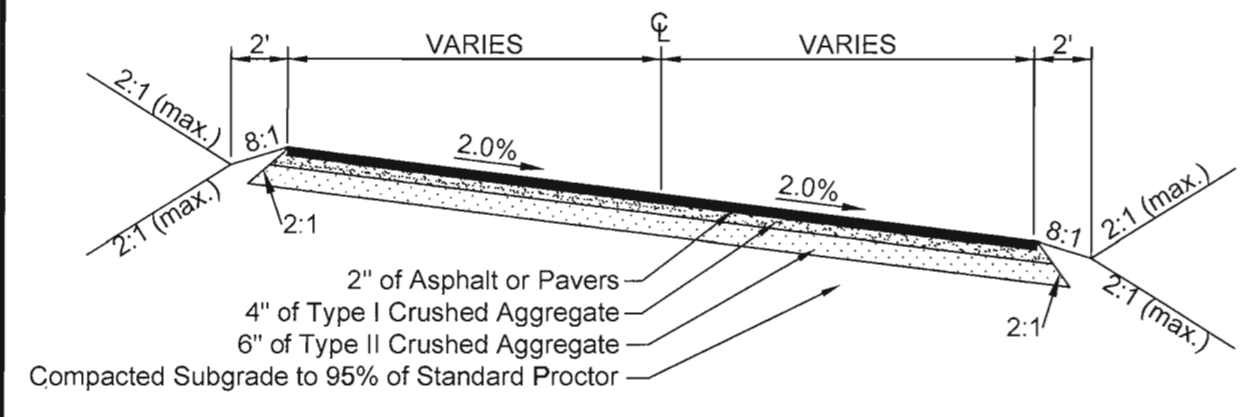
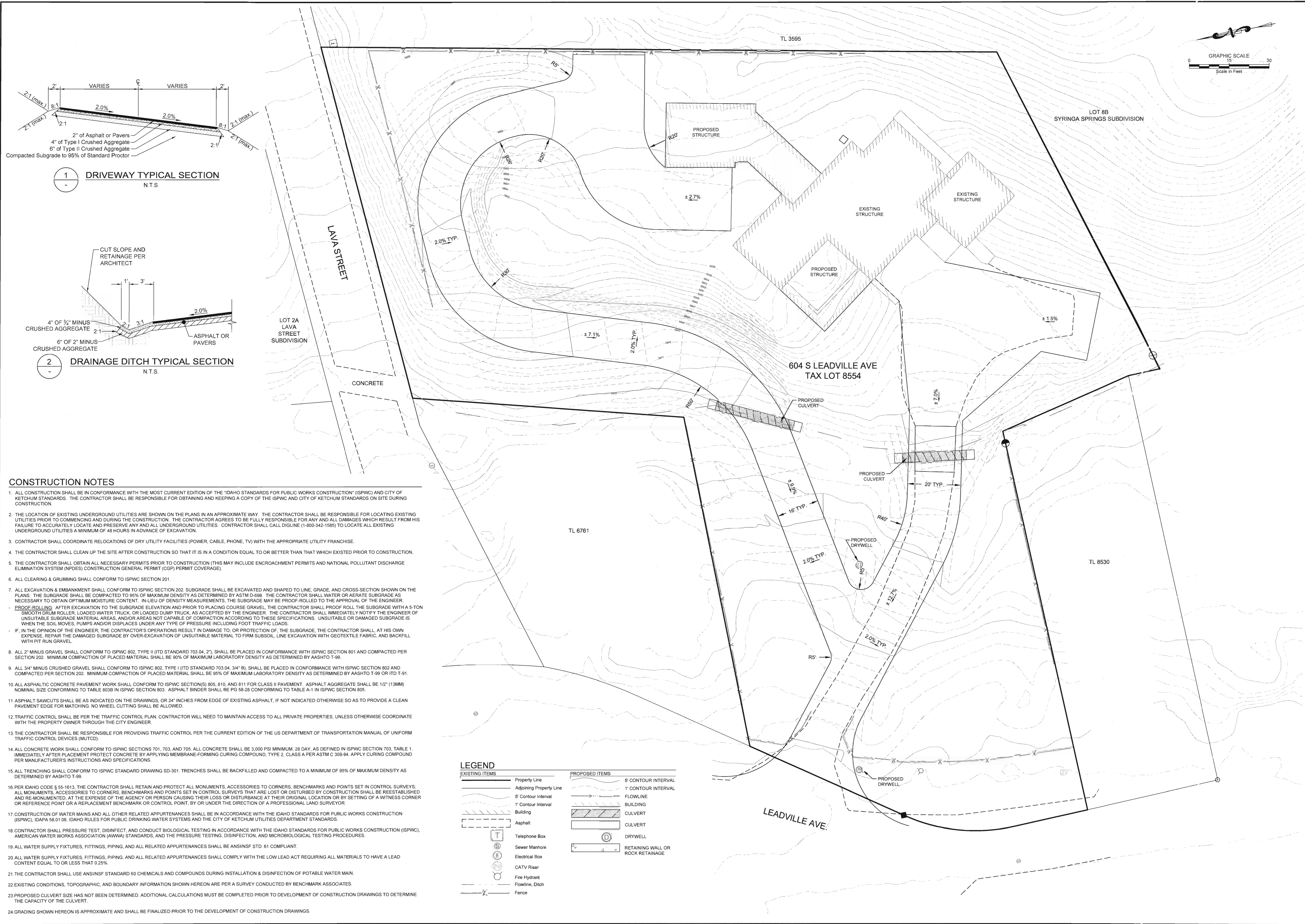
DATE

DRAWN BY

waterman remodel
604 S leadville ave
ketchum, idaho 83340

OWEN WRIGHT SCANLON
NCARB

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any other project or extension of the project except by agreement in writing with Galeana Engineering, Inc.



CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF ROLLED TO THE APPROVAL OF THE ENGINEER. PROOF ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS. IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.09, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/ASTM STD 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIS/ASTM STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS, TOPOGRAPHIC, AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK ASSOCIATES.
- PROPOSED CULVERT SIZE HAS NOT BEEN DETERMINED. ADDITIONAL CALCULATIONS MUST BE COMPLETED PRIOR TO DEVELOPMENT OF CONSTRUCTION DRAWINGS TO DETERMINE THE CAPACITY OF THE CULVERT.
- GRADING SHOWN HEREON IS APPROXIMATE AND SHALL BE FINALIZED PRIOR TO THE DEVELOPMENT OF CONSTRUCTION DRAWINGS.

LEGEND			
	Property Line		PROPOSED ITEMS
	Adjoining Property Line		5' CONTOUR INTERVAL
	5' Contour Interval		1' CONTOUR INTERVAL
	1' Contour Interval		FLOWLINE
	Building		BUILDING
	Asphalt		CULVERT
	Telephone Box		CULVERT
	Sewer Manhole		DRYWELL
	Electrical Box		RETAINING WALL OR ROCK RETAINAGE
	CATV Riser		
	Fire Hydrant		
	Flowline, Ditch		
	Fence		

A PRELIMINARY DRIVEWAY GRADING AND DRAINAGE PLAN FOR 604 S LEADVILLE AVE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GARY WATERMAN
 PROJECT INFORMATION
 P:\hwy\95\107\203\107203_03.dwg 10/07/20 3:53:04 PM

PRELIMINARY NOT FOR CONSTRUCTION

DESIGNED BY	FRM
DRAWN BY	SKS
CHECKED BY	

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR AGENCY REVIEW (10/07/2020)	NO	DATE	BY
REVISIONS			

C1.0

General Notes

1. Base map information taken from survey by Benchmark dated 08/16/19 and from on-site information. Architectural information provided by Owen Wright Scanlon Ncarb Architects dated 06/01/20. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Lot Coverage

Total Parcel:	53,580 sq ft
Buildings:	5,060 sq ft (9% of Site)

Snow Storage

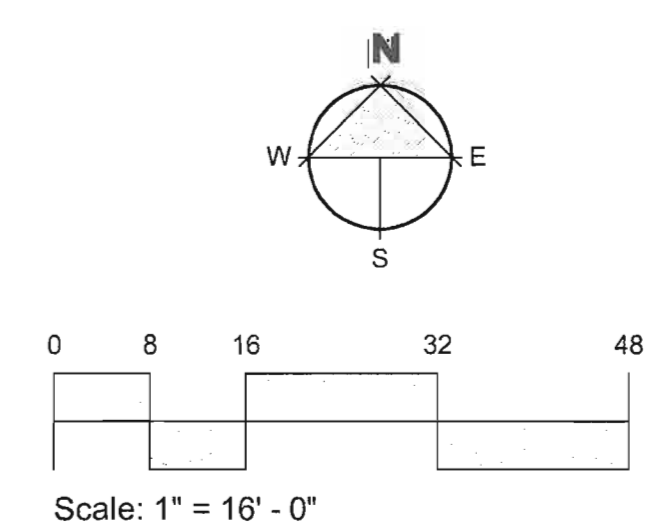
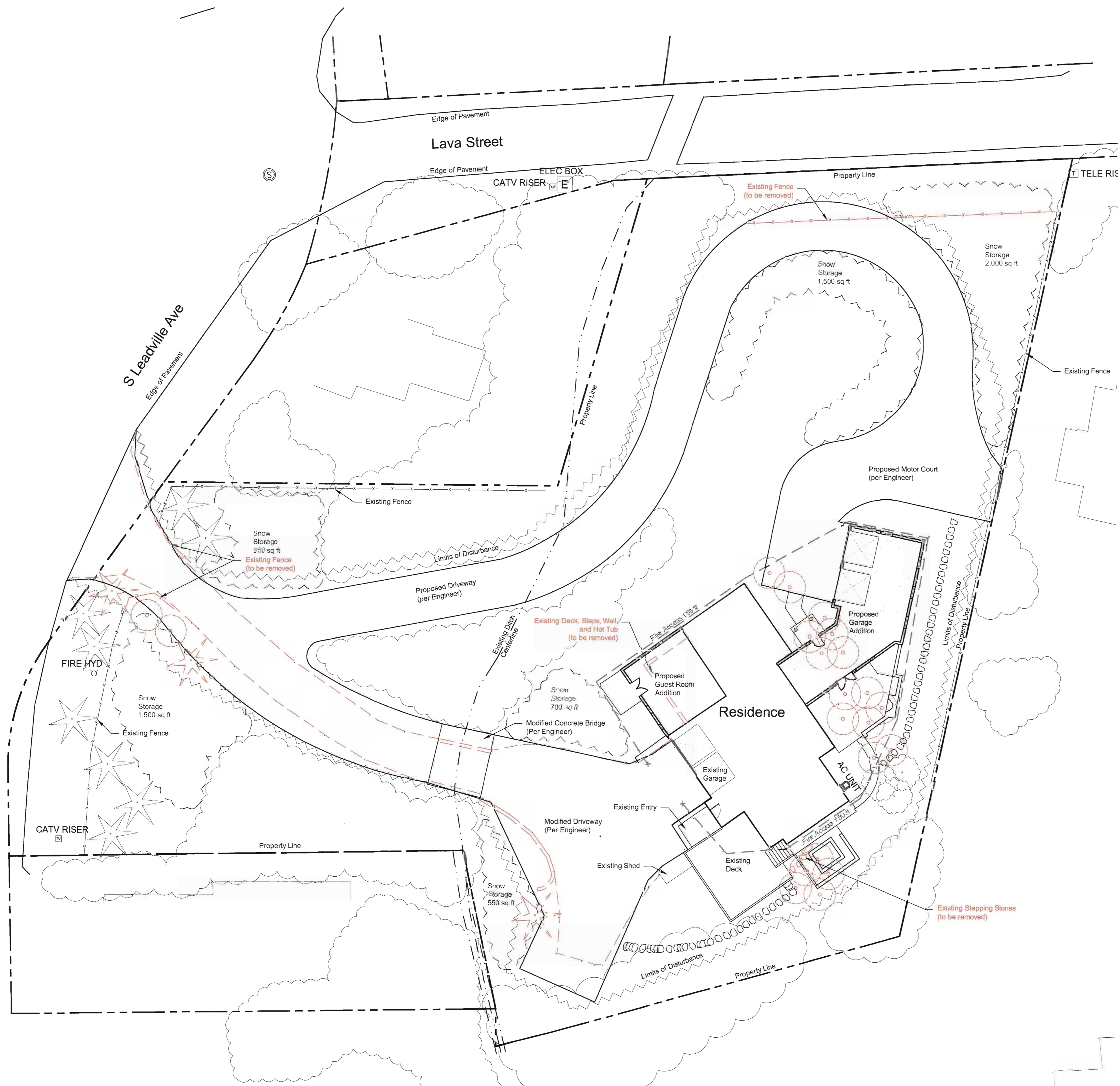
Driveway	14,200 Sq. Ft. (50% = 7,100 Sq. Ft.)
Snow Storage	7,100 Sq. Ft. (7,100 Sq. Ft. Required)

Plan Legend

- Property Line
- ~~~~~ Limits of Disturbance (37,000 sq ft)
- - - - - Existing Stream
- x - x - Existing Fence
- x - x - Existing Fence to be removed
- [E] [R] Utilities
- ▬ Existing Site Wall
- ▬ Proposed Site Wall
- Proposed Stepping Stones

Existing Tree Legend

- ☁ Existing Vegetation (To Be Remain)
- ★ Existing Evergreen Tree (To Remain)
- ⊙ Existing Deciduous Tree (To Remain)
- ★ Existing Evergreen Tree (To Be Removed)
- ⊙ Existing Deciduous Tree (To Be Removed)



PRELIMINARY ONLY - NOT FOR CONSTRUCTION

General Notes

1. Base map information taken from survey by Benchmark dated 08/16/19 and from on-site information. Architectural information provided by Owen Wright Scanlon Ncarb Architects dated 06/01/20. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Existing Tree Legend

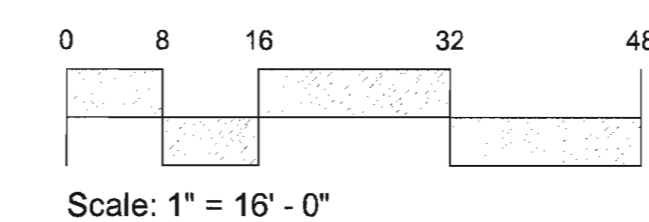
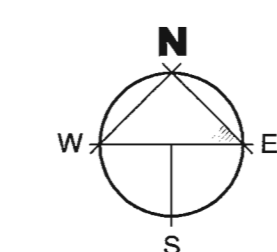
- Existing Vegetation (To Be Remain)
- Existing Evergreen Tree (To Remain)
- Existing Deciduous Tree (To Remain)

Plan Legend

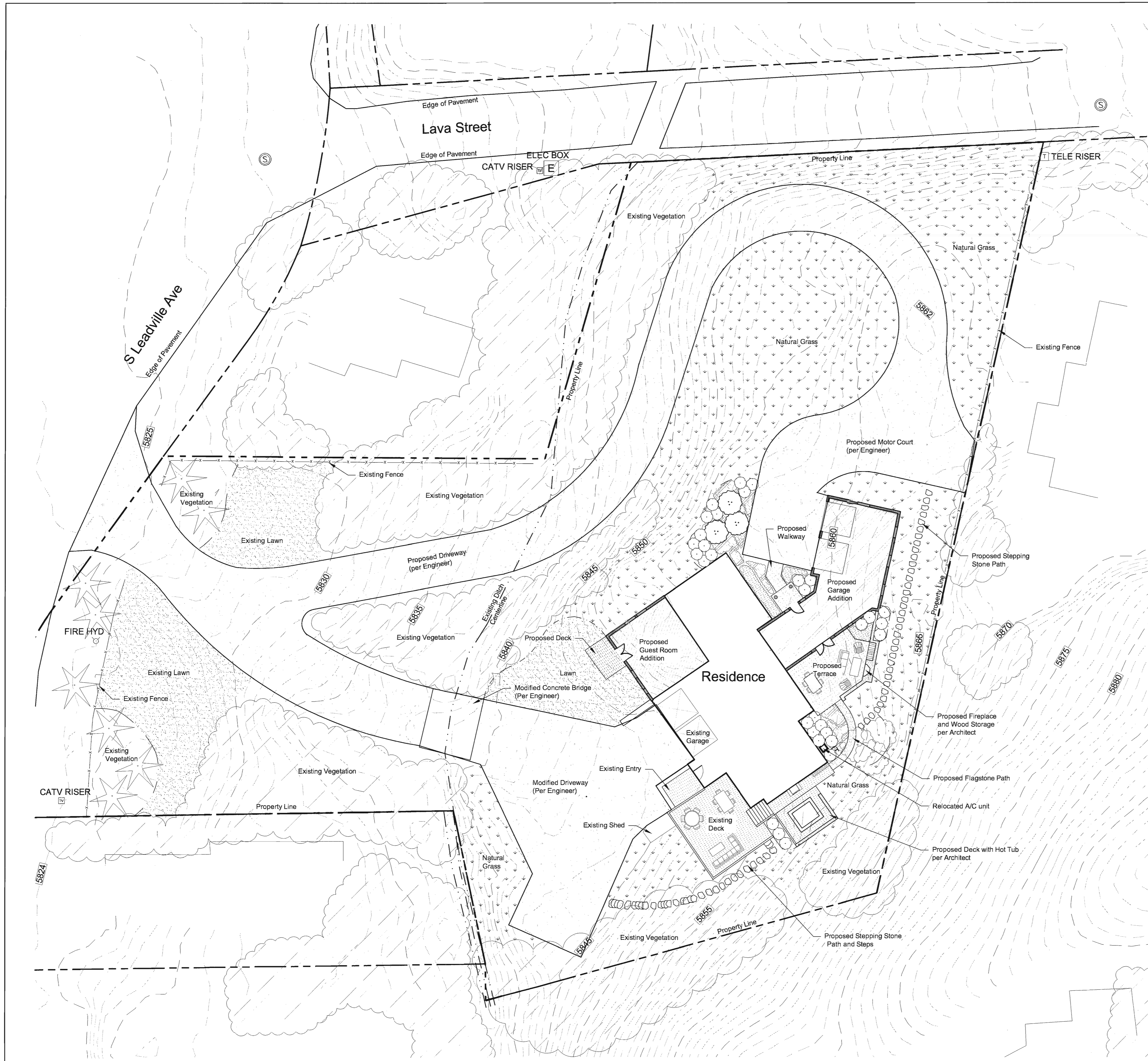
- Property Line
- Existing Contour
- Existing Stream
- Existing Fence
- Utilities
- Existing Site Wall
- Proposed Site Wall
- Proposed Stepping Stone
- Proposed Paver Walkway
- Proposed Flagstone Walkway
- Proposed Driveway
- Wood Decking

Plant Legend

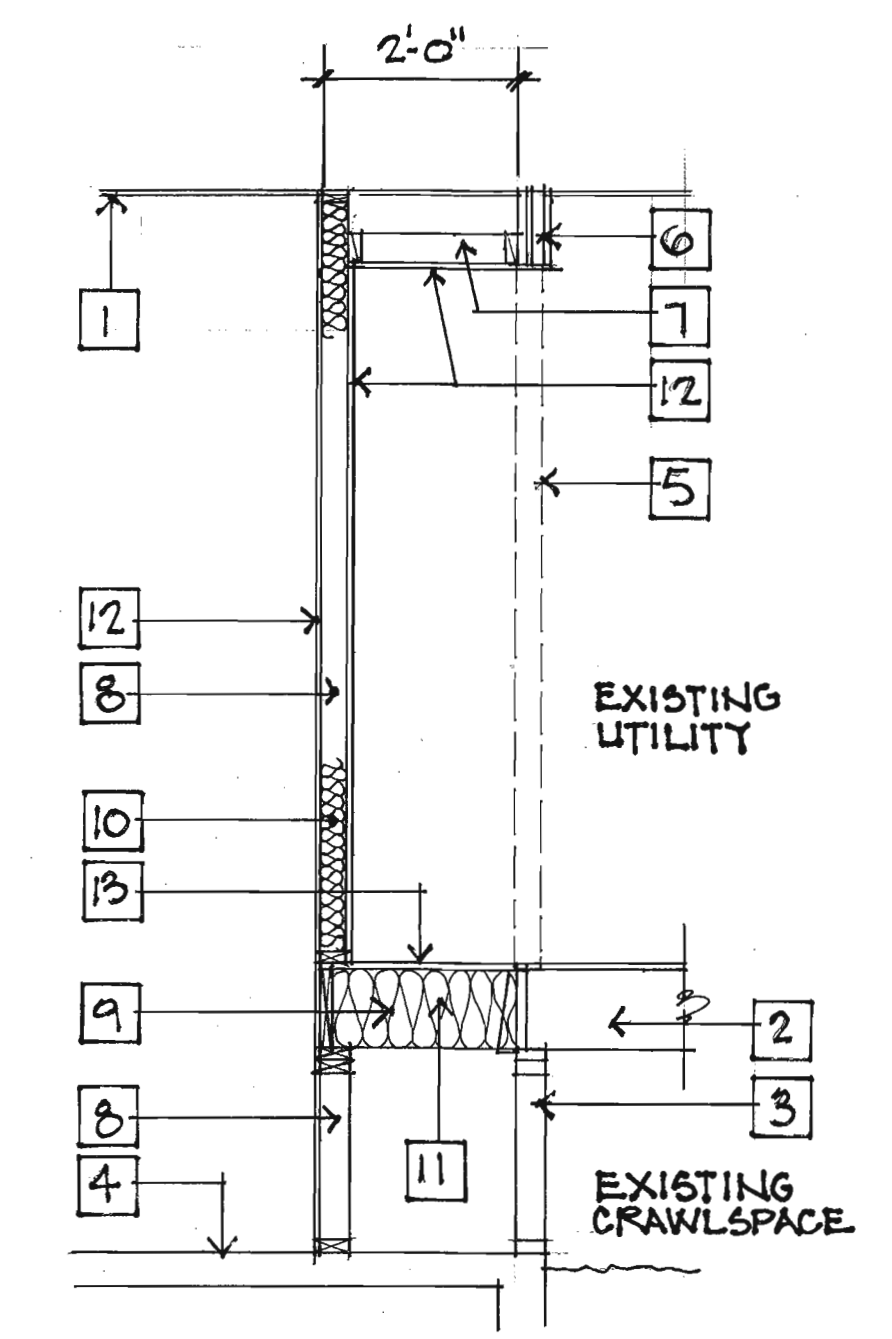
Symbol	Qty.	Type	Size
	3	Ornamental Multistem Tree	B&B
	45	Deciduous Shrubs	5 gal.
	600 sq.ft.	Perennial Flowers/ Groundcover	1 gal. & Flats@8"O.C.
	2,600 sq.ft.	Grasses	Sod
	11,000 sq.ft.	Natural Grasses	Hydroseed



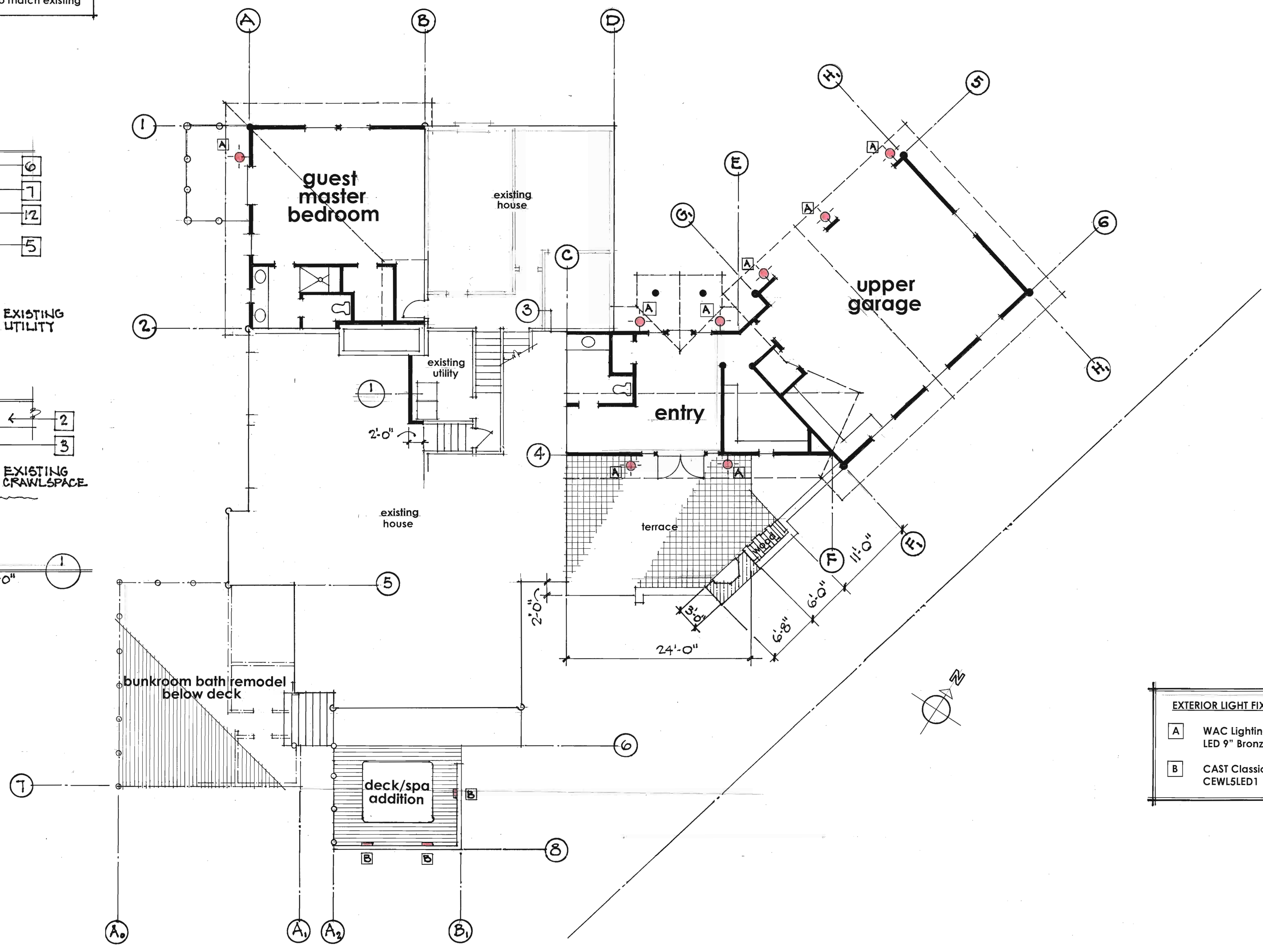
PRELIMINARY ONLY - NOT FOR CONSTRUCTION



- Keynotes**
- Existing ceiling
 - Existing floor joists
 - Existing cripple wall
 - Existing conc. slab
 - Remove existing frame wall
 - (2) 2x10 header to support floor load above
 - 2x4 ceiling joists @ 16" o/c
 - 2x4 studs @ 16" o/c
 - Floor joists to match existing
 - R-13 insulation
 - R-30 insulation
 - Gypsum bd. to match existing
 - Floor sheathing to match existing

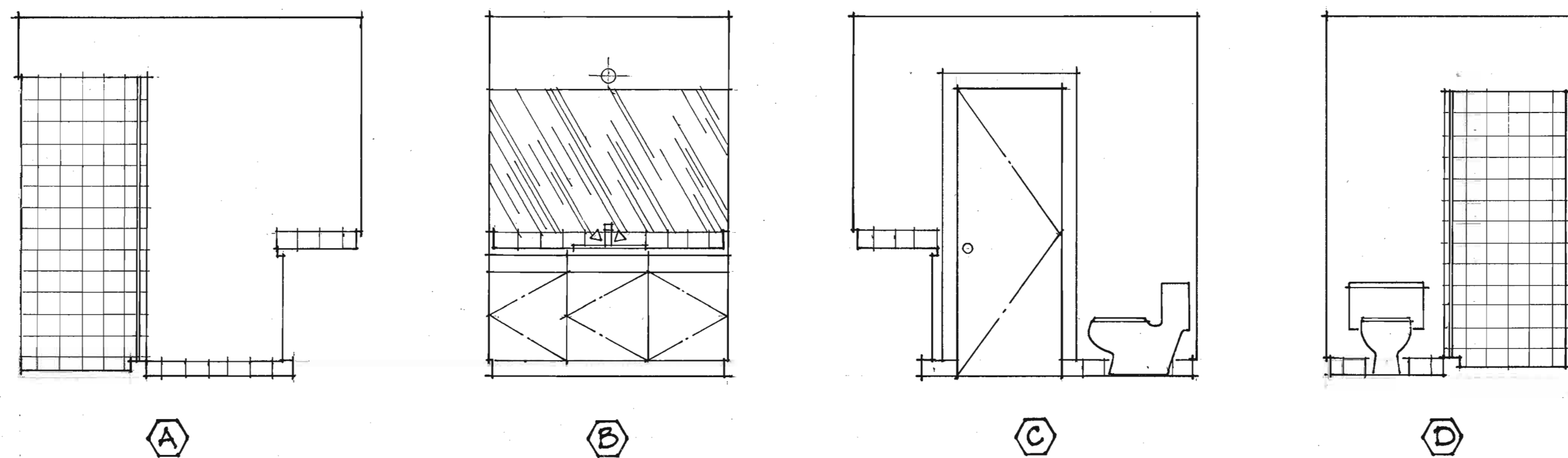


detail
SCALE 1/2" = 1'-0"



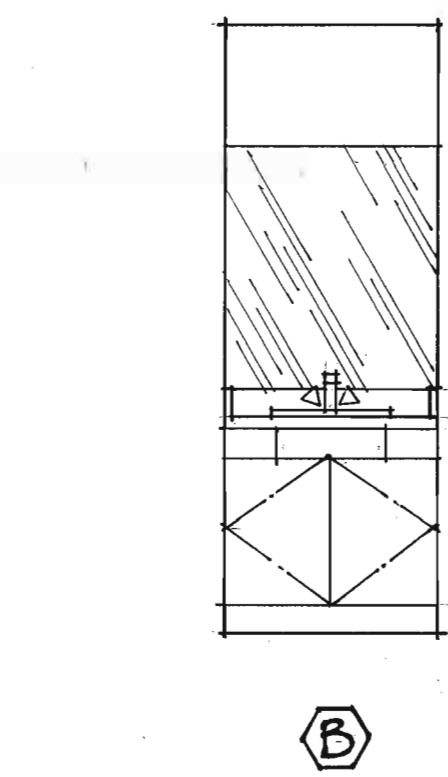
master addition/remodel plan
SCALE 1/8" = 1'-0"

EXTERIOR LIGHT FIXTURES	
A	WAC Lighting WS-W15708-BZ Sodor LED 9" Bronze Wall Light
B	CAST Classic Engineered Wall Light CEWL5LED1



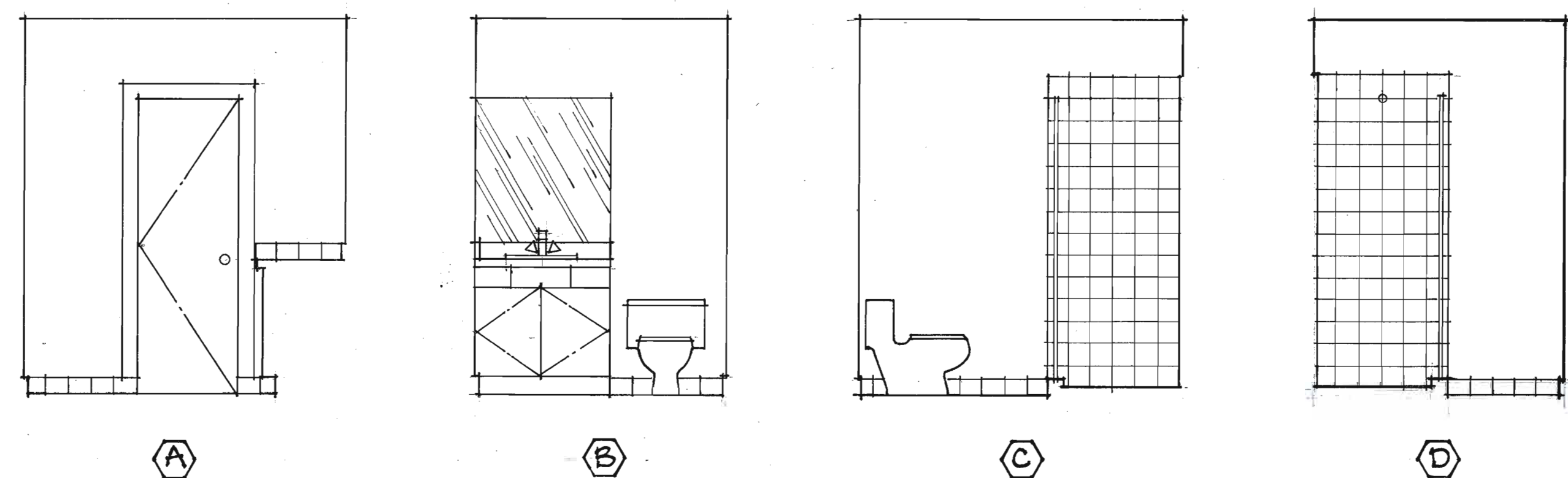
bath #1 elevations

SCALE 3/8" = 1'-0"



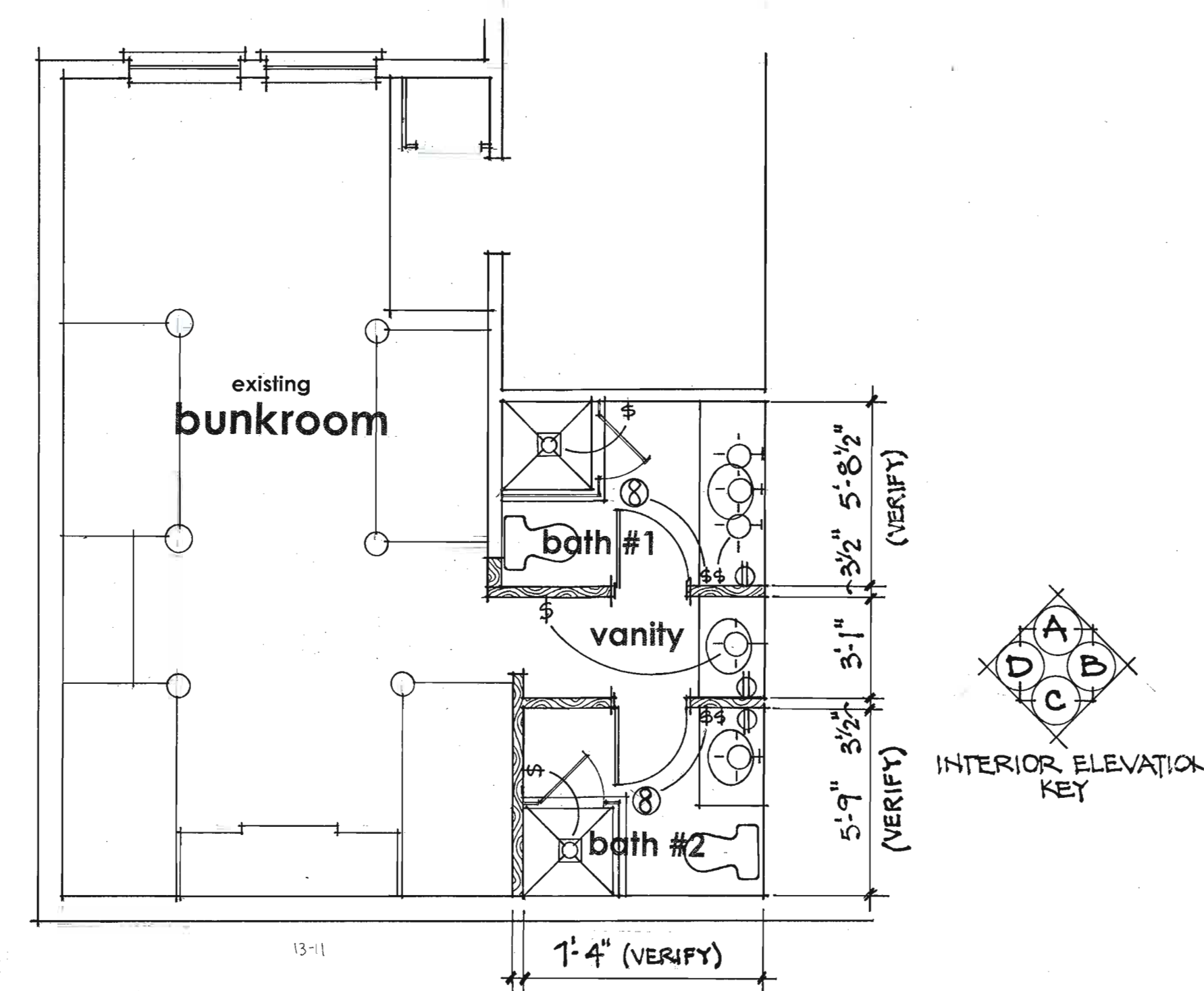
vanity elevation

SCALE 3/8" = 1'-0"



bath #2 elevations

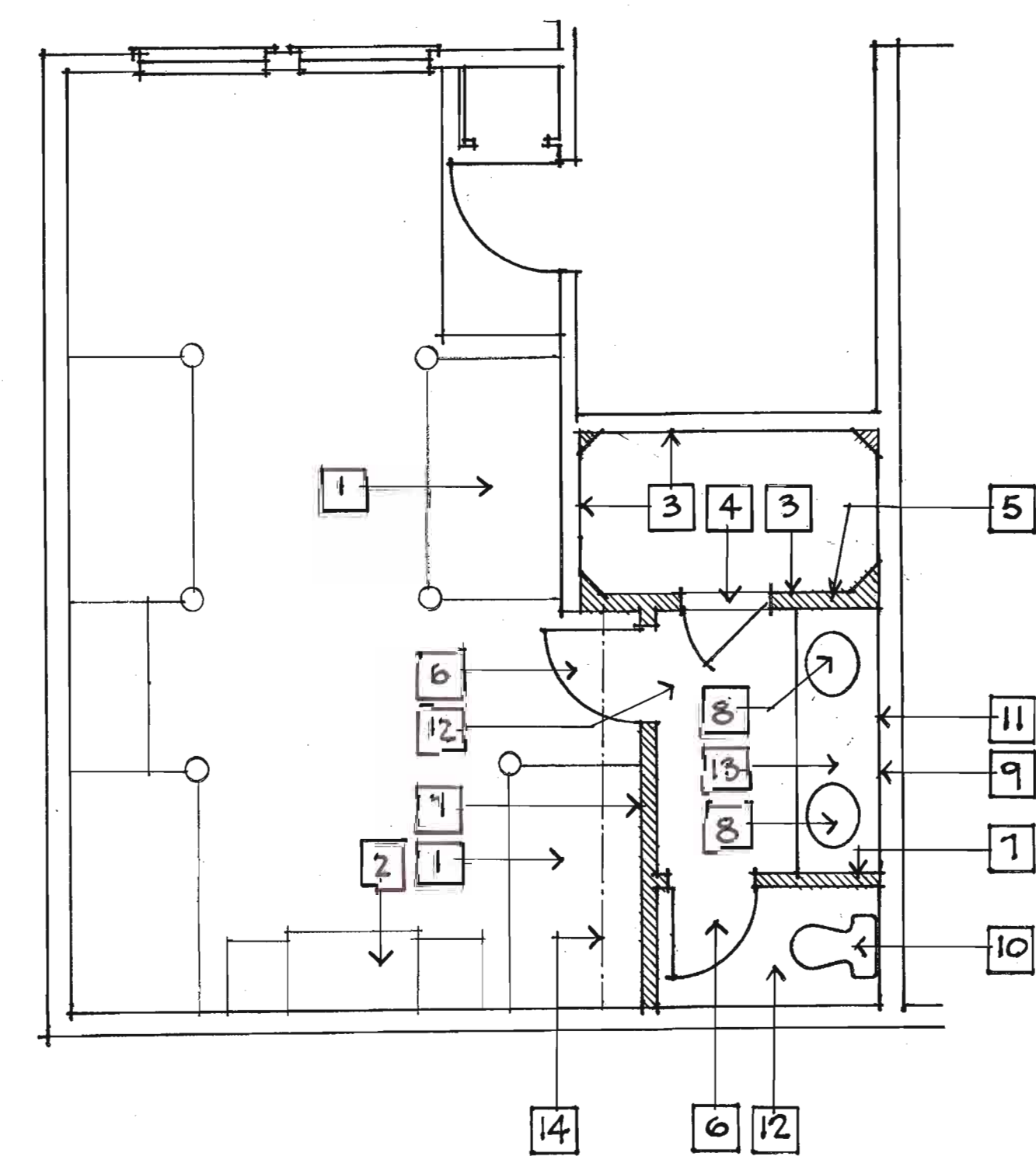
SCALE 3/8" = 1'-0"



bunkroom bath remodel plan

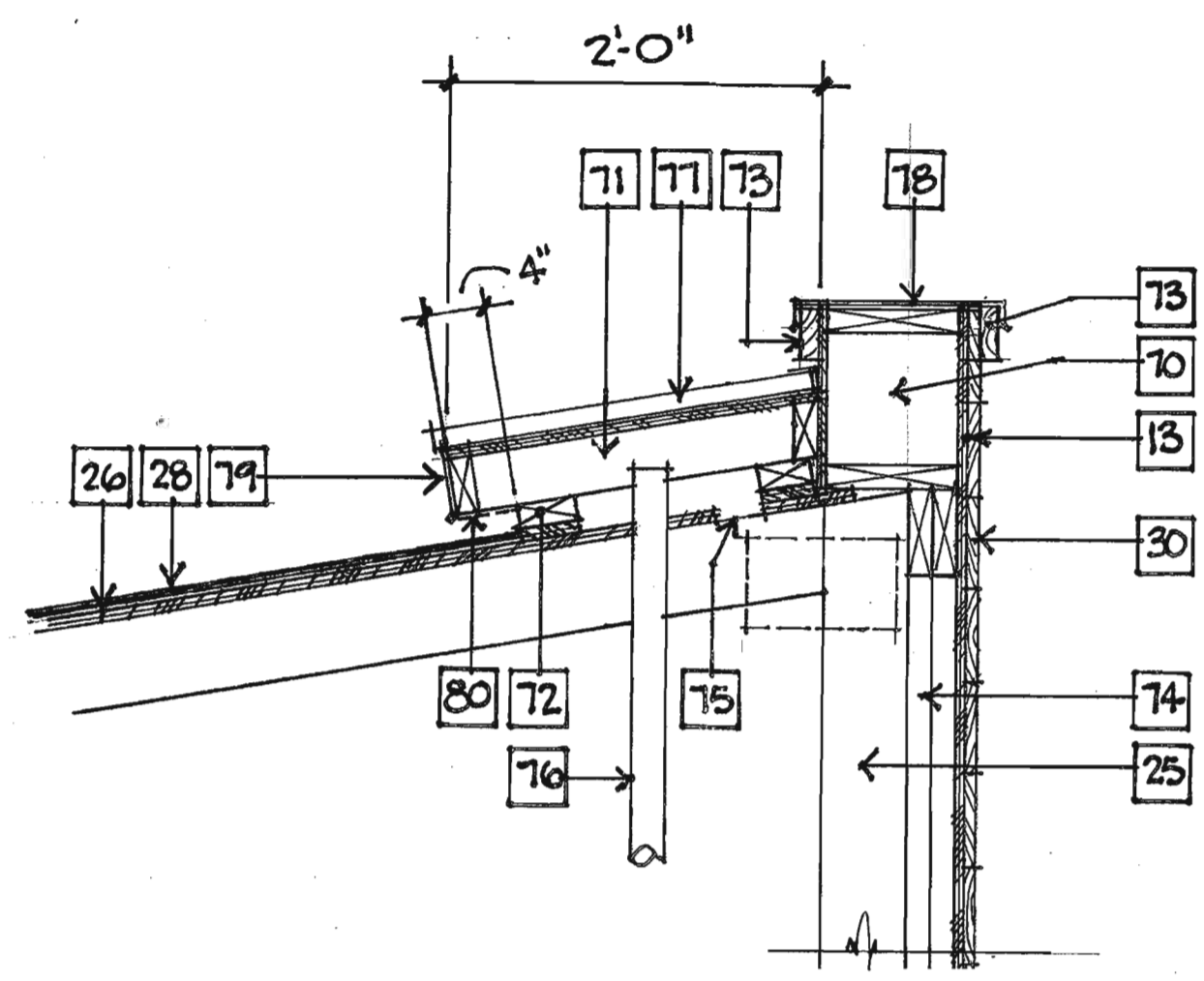
SCALE 1/4" = 1'-0"

- Demolition notes**
1. Remove existing bunk bed, save for re-installation
 2. Remove existing built-in dresser save for re-installation
 3. Remove existing wall tile and floor tile in shower. Remove shower fittings. Re-route supply and waste lines to accommodate new shower.
 4. Remove existing shower door and frame.
 5. Remove existing shower wall
 6. Remove existing door and frame
 7. Remove existing frame wall
 8. Remove existing vanity sink, re-route supply and waste lines to new sink locations
 9. Remove existing gypsum bd. as req'd to install new plumbing and walls
 10. Remove existing toilet, relocate waste as req'd to accommodate new location
 11. Remove existing light fixtures and switches, re-route electrical to new locations
 12. Remove existing flooring, prepare substrate as req'd to receive new tile floor
 13. Remove existing vanity cabinet
 14. Remove portion of existing carpet as req'd to install new frame wall



demolition plan

SCALE 1/4" = 1'-0"



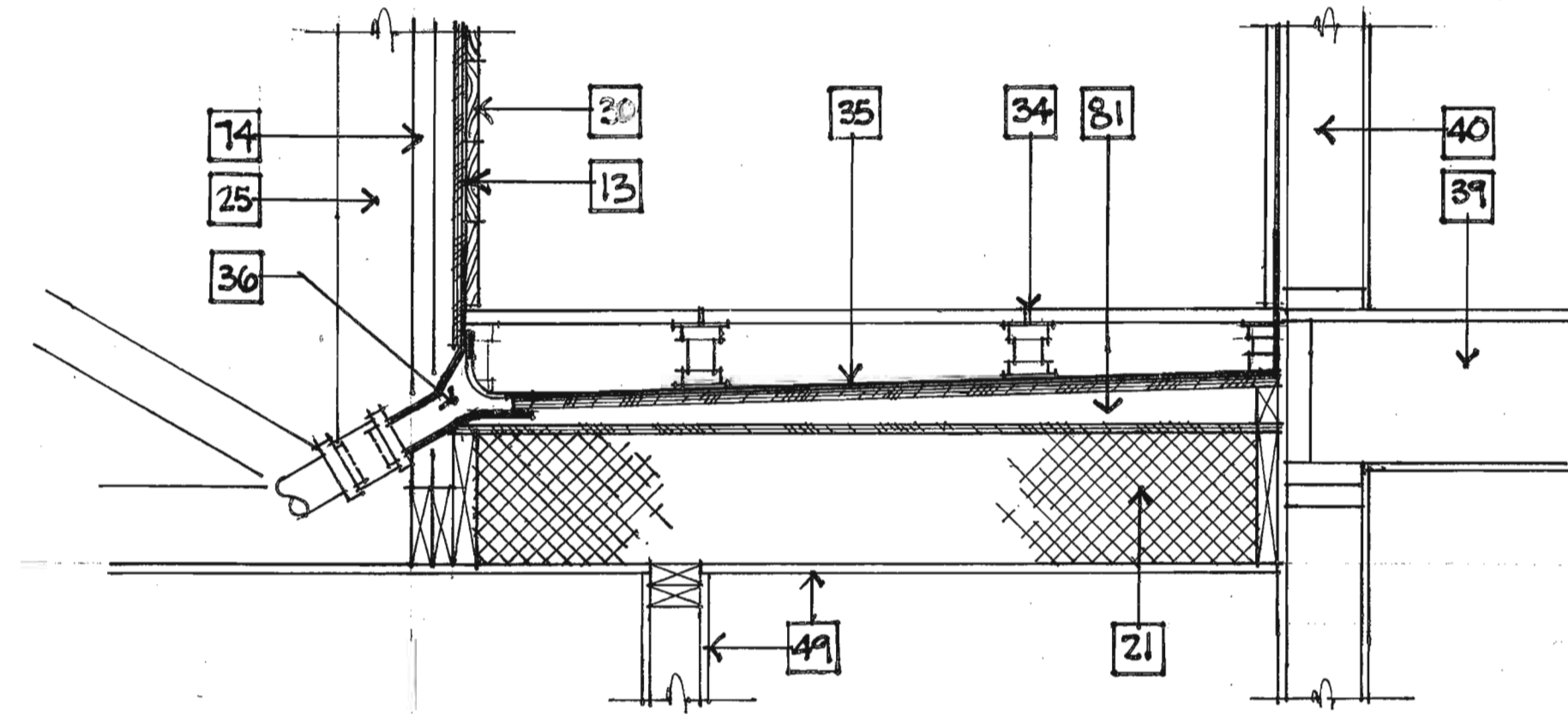
boston/parapet detail

SCALE 1" = 1'-0"

1
A-1.2

KEYNOTES

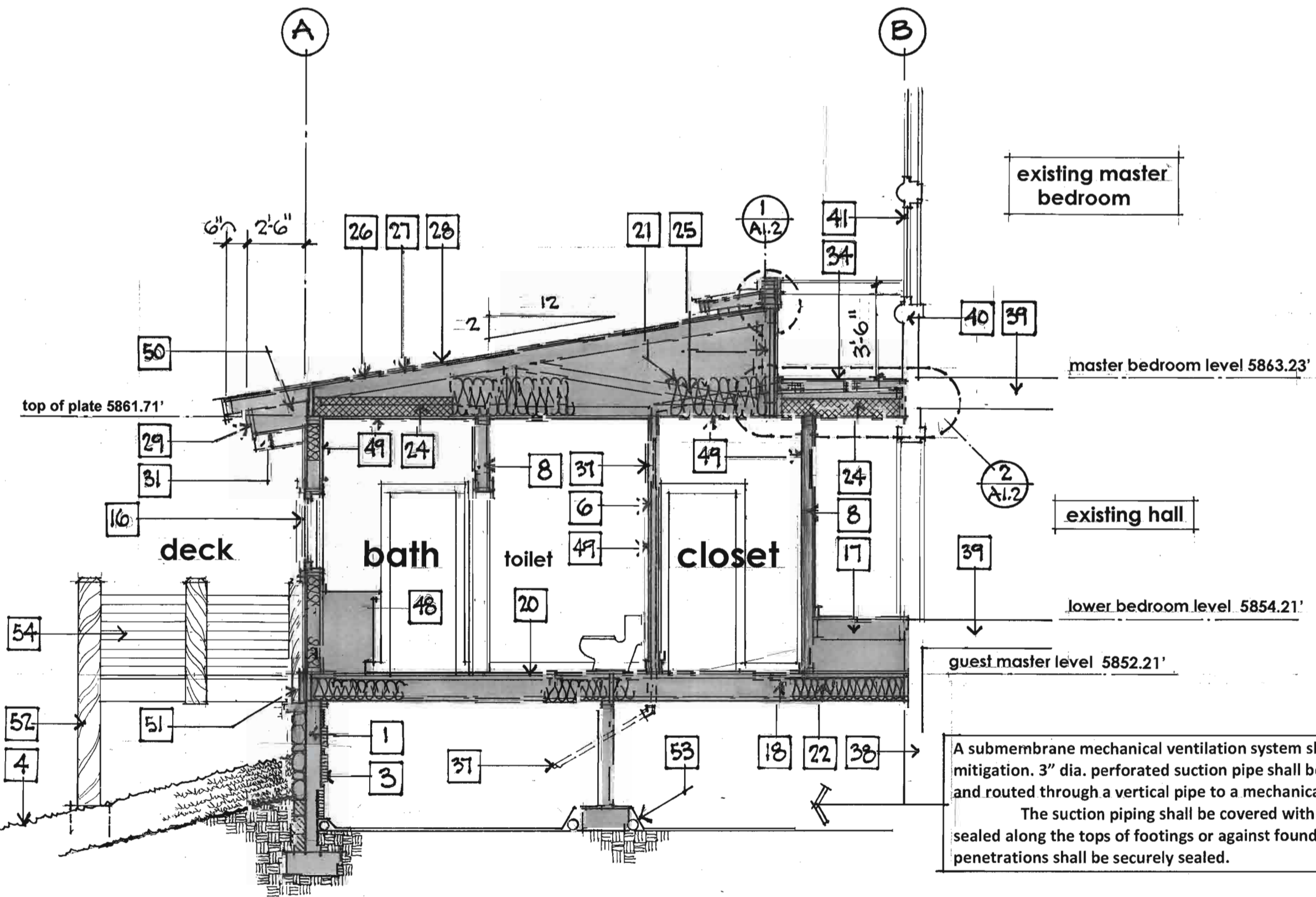
1. Conc. foundation per structural
2. Conc. footing per structural
3. Perimeter insulation cont.
4. Finish grade
5. Existing grade
6. 2x8 studs @ 16" o/c
7. 2x8 studs @ 24" o/c
8. 2x4 studs @ 16" o/c
9. 2x cripple studs @ 16" o/c
10. Header per structural
11. 2x treated mud sill cont.
12. 2x deck joists per structural
13. Wall sheathing per structural
14. 4-mil vapor retarder
15. Applied membrane waterproofing (Enkadrain or equal)
16. Metal clad wood window
17. 2x landing joists per structural
18. Floor joists per structural
19. Tyvek infiltration barrier (or equal)
20. 1/2" floor sheathing
21. R-49 insulation
22. R-30 insulation
23. R-23 insulation
24. Min. R-49 rigid insulation
25. Pre-manufactured wood truss
26. Roof sheathing per structural
27. Roofing felt per manufacturer
28. Asphalt comp roof shingles to match existing
29. Wood fascia to match existing
30. Wood siding to match existing
31. Soffit to match existing
32. Cont. soffit vent
33. Log trim to match existing
34. Porcelain pavers on ABS chairs
35. EPDM membrane
36. Side outlet deck drain by J.R. Smith (or equal)
37. 2" Ø drain line from deck drain down thru interior wall to crawlspace then daylight to lawn
38. Existing foundation
39. Existing floor framing
40. Existing wall
41. Existing window
42. Wood cap trim to match existing
43. Galvanized base flashing cont.
44. Baseboard to match existing
45. Door/window casing to match existing
46. 2x ceiling framing @ 24" o/c
47. Beam per structural
48. Base cabinet
49. 5/8" gypsum bd.
50. 12" rafter tails
51. 12" belly trim to match existing
52. Nom. 10" dia. log post
53. Radon mitigation pipe and membrane
54. Taut cable guardrail to match existing
55. Conc. slab per structural
56. Cont. ridge vent
57. Floor tile
58. Radiant piping in slab
59. Cement pavers
60. Log beam & rafters to match existing
61. Roof rafters per structural
62. 2x6 cold roof purlins
63. 2x ceiling decking to match existing
64. Nom 18" Ø log trim
65. Footing drain pipe to drywell
66. 1-1/2" furring @ 24" o/c
67. 1-1/2" rigid insulation
68. Chair rail trim cont.
69. Existing wall line
70. 2x10 cripple framing
71. 2x4 boston purlins @ 24" o/c
72. 2x4 sleepers on 3/4" furring
73. 1x trim match existing
74. Girder truss
75. 3" cont. gap in plywood
76. vent radon mitigation pipe into boston
77. 24 gauge standing seam metal roof
78. 24 gauge cap flashing
79. 24 gauge metal fascia
80. Boston vent screen cont.
81. 2x4 sleepers ripped to 1/4" foot slope



deck detail

SCALE 1" = 1'-0"

2
A-1.2

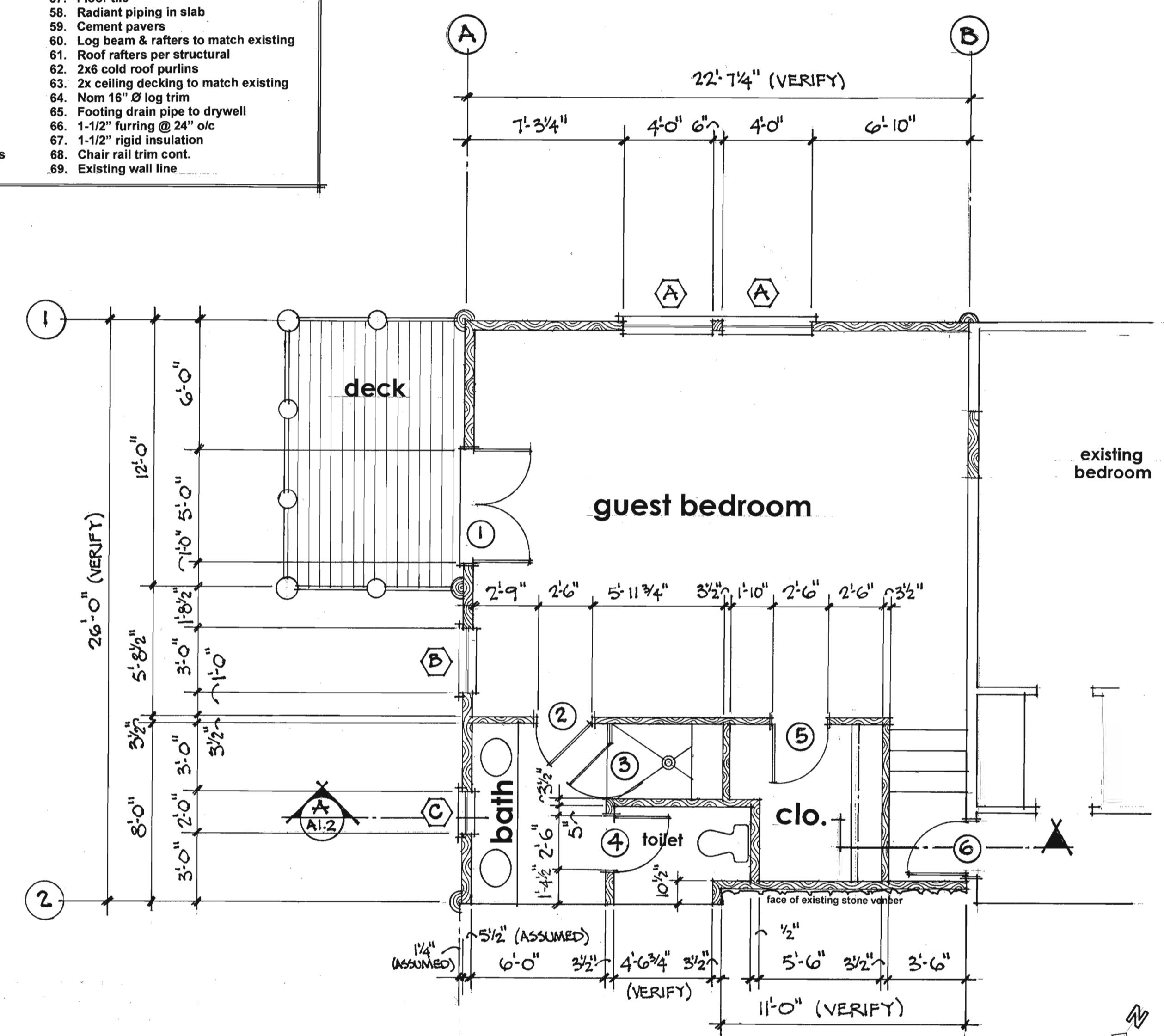


cross section

SCALE 1/4" = 1'-0"

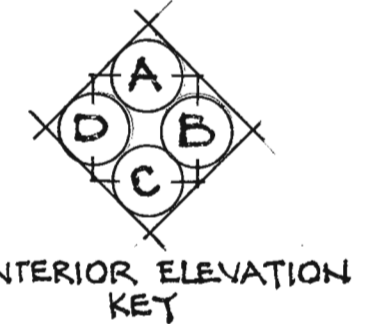
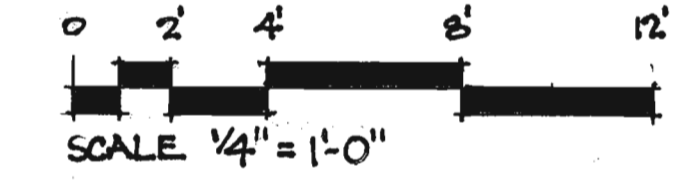
1
A-1.2

A submembrane mechanical ventilation system shall be installed in the crawlspace for radon mitigation. 3" dia. perforated suction pipe shall be laid alongside the interior of the footings and routed through a vertical pipe to a mechanical fan, venting the captured air. The suction piping shall be covered with a 6-mil visqueen with all edges securely sealed along the tops of footings or against foundation walls; all membrane joints and penetrations shall be securely sealed.

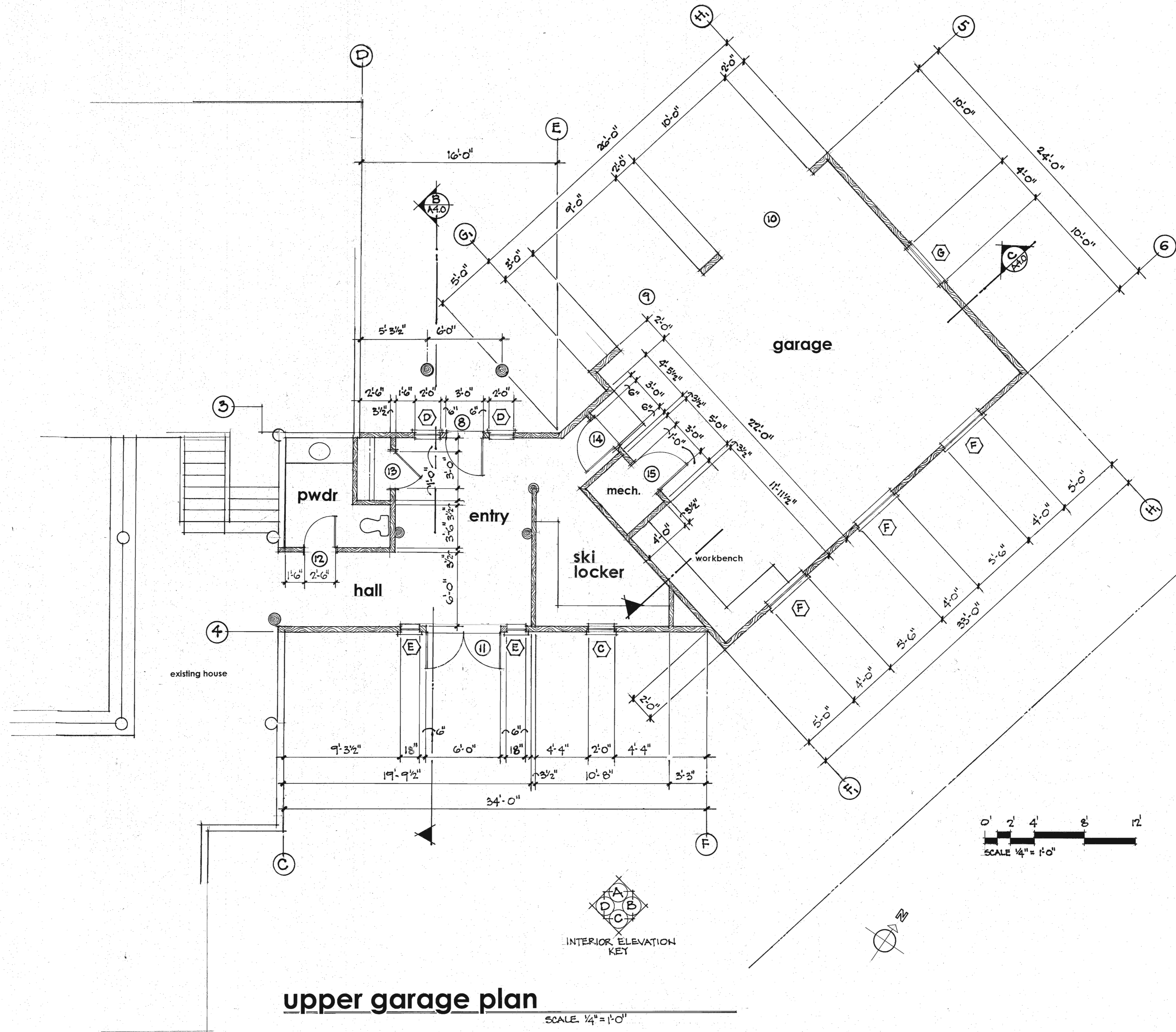


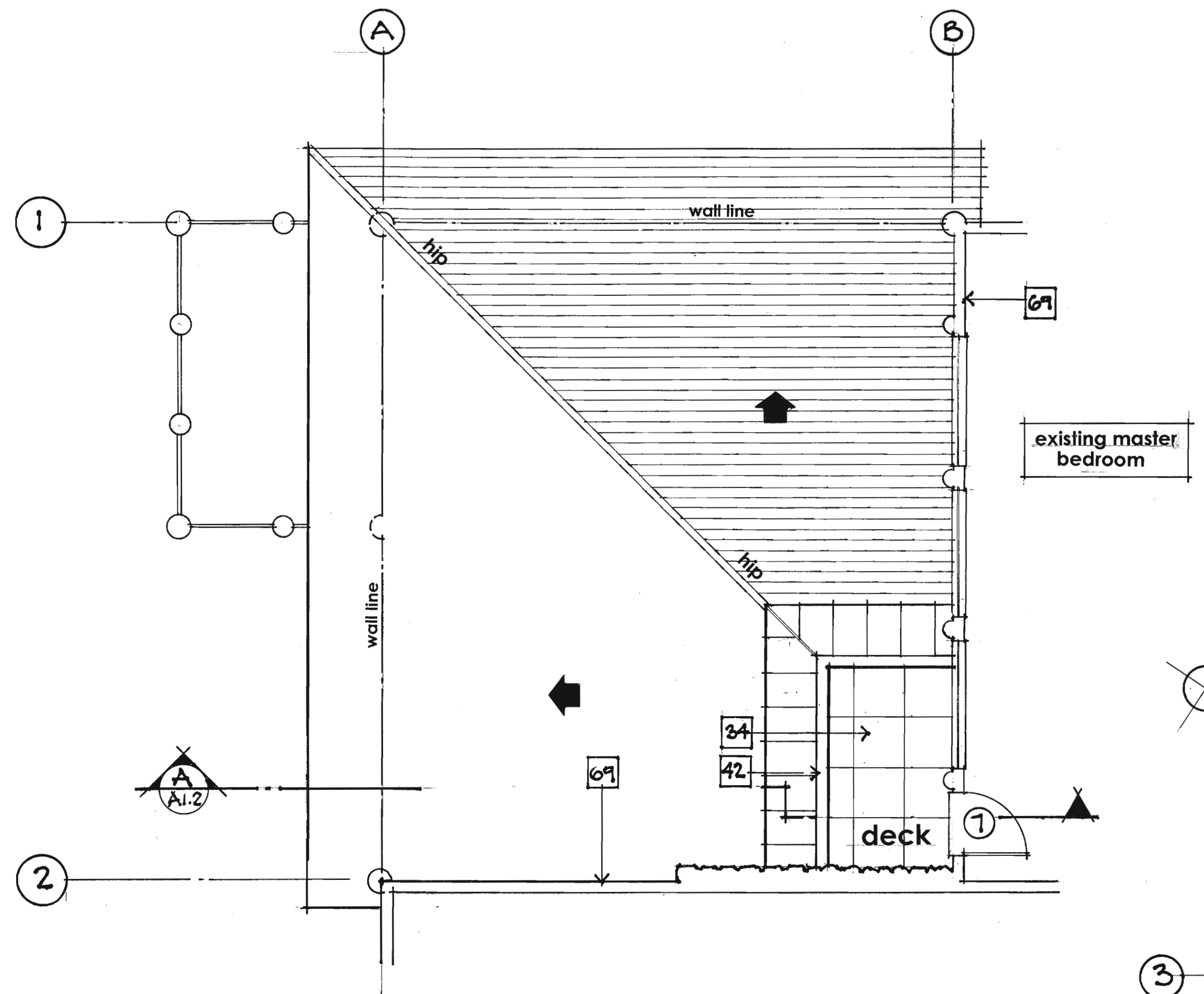
guest master plan

SCALE 1/4" = 1'-0"

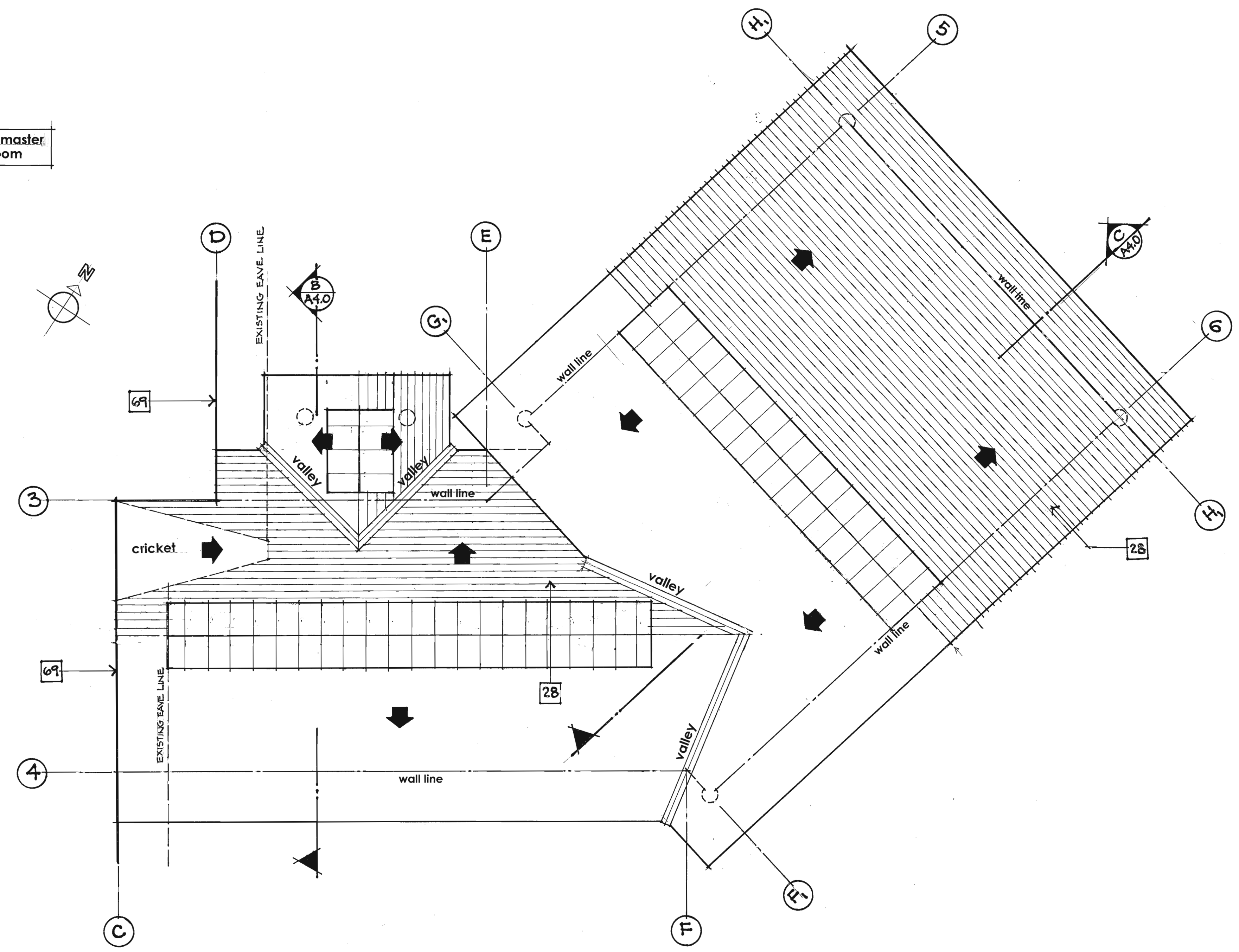


INTERIOR ELEVATION KEY





guest bedroom roof plan
SCALE 1/4"=1'-0"



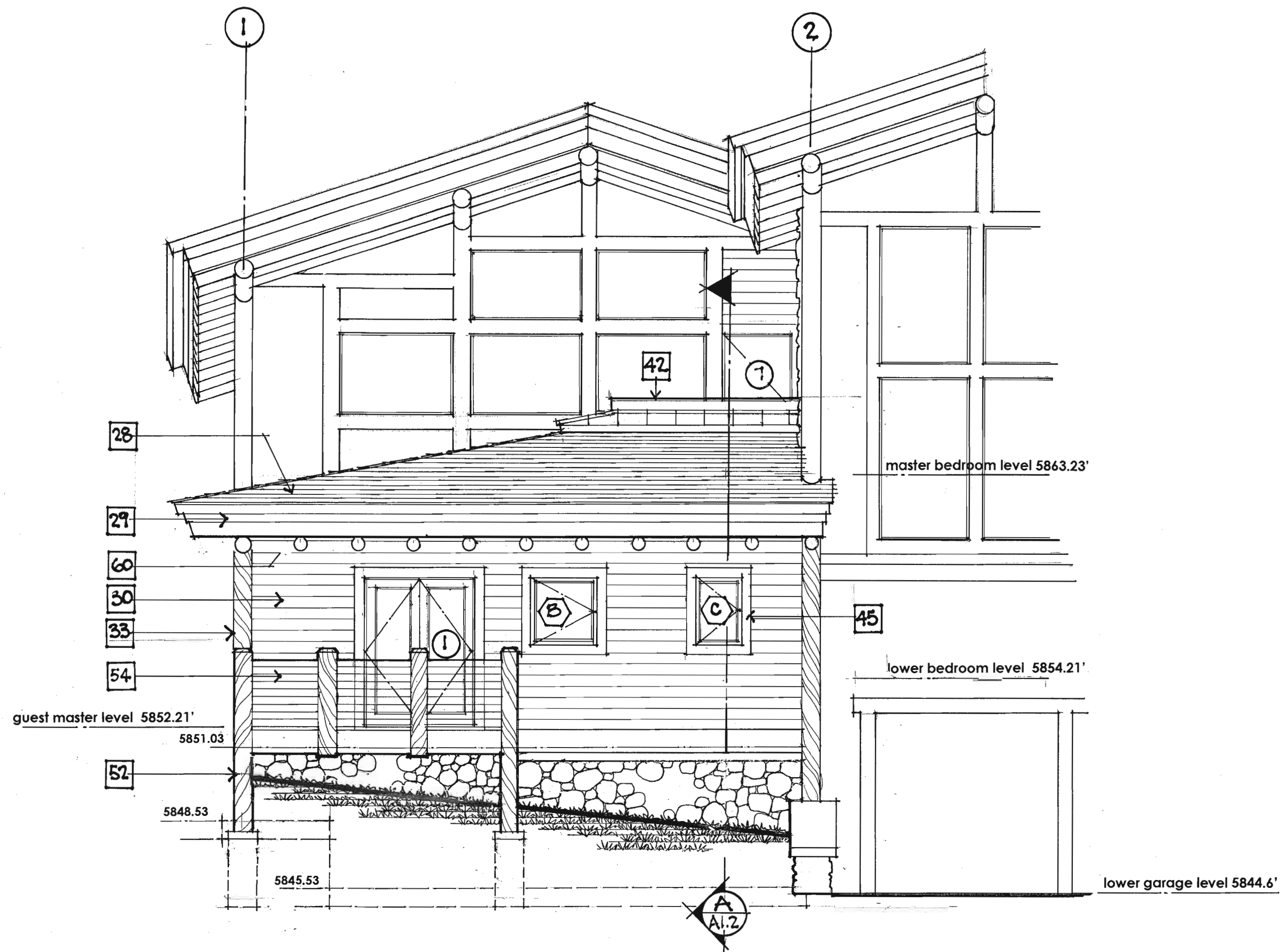
entry/upper garage roof plan
SCALE 1/4"=1'-0"

ARCHITECT/PLANNER:
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

REVISIONS
PROJECT NO.
DATE
DRAWN BY

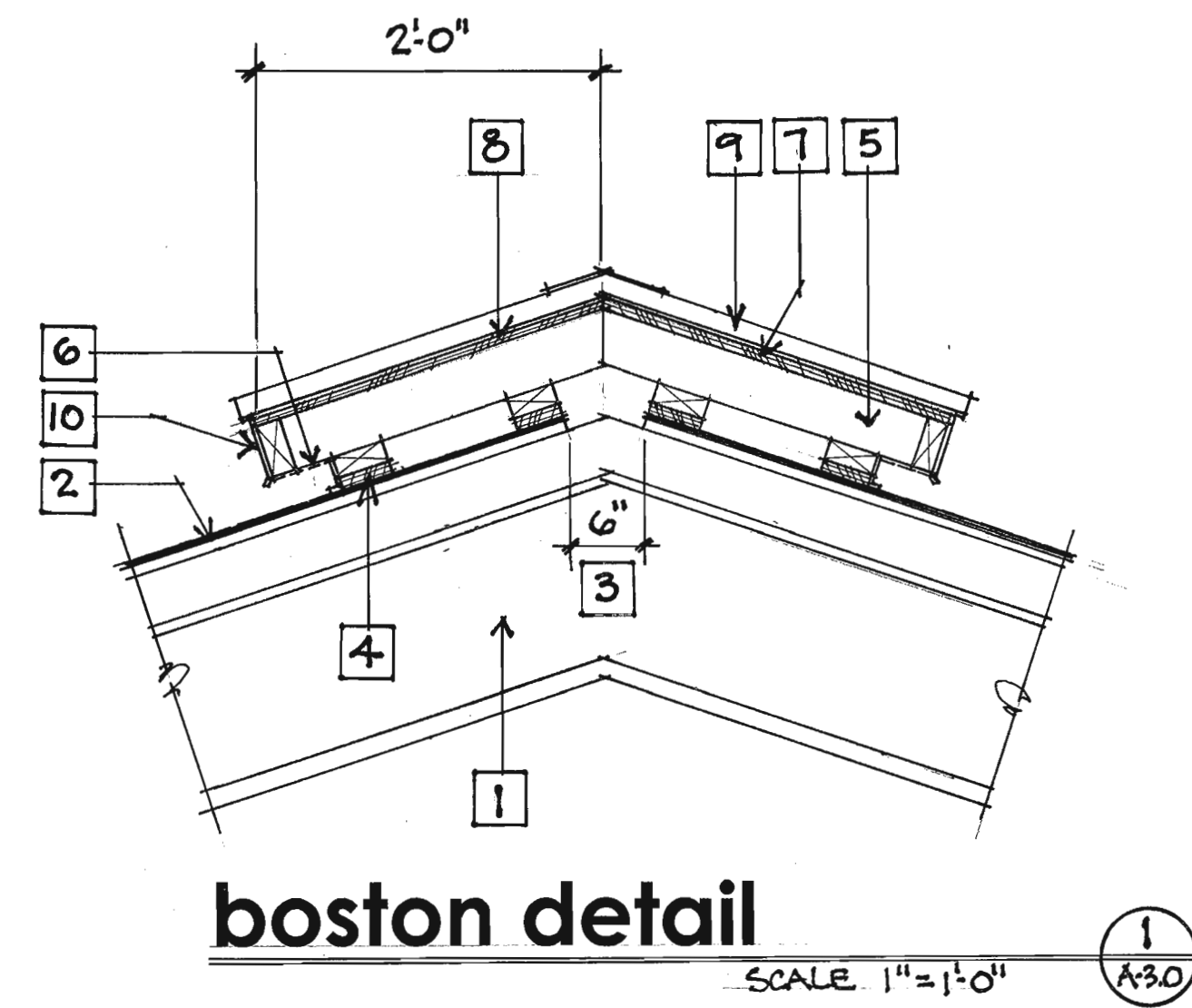
waterman remodel
604 S leadville ave
ketchum, Idaho 83340

OWEN WRIGHT SCANLON
NCARB



southwest elevation

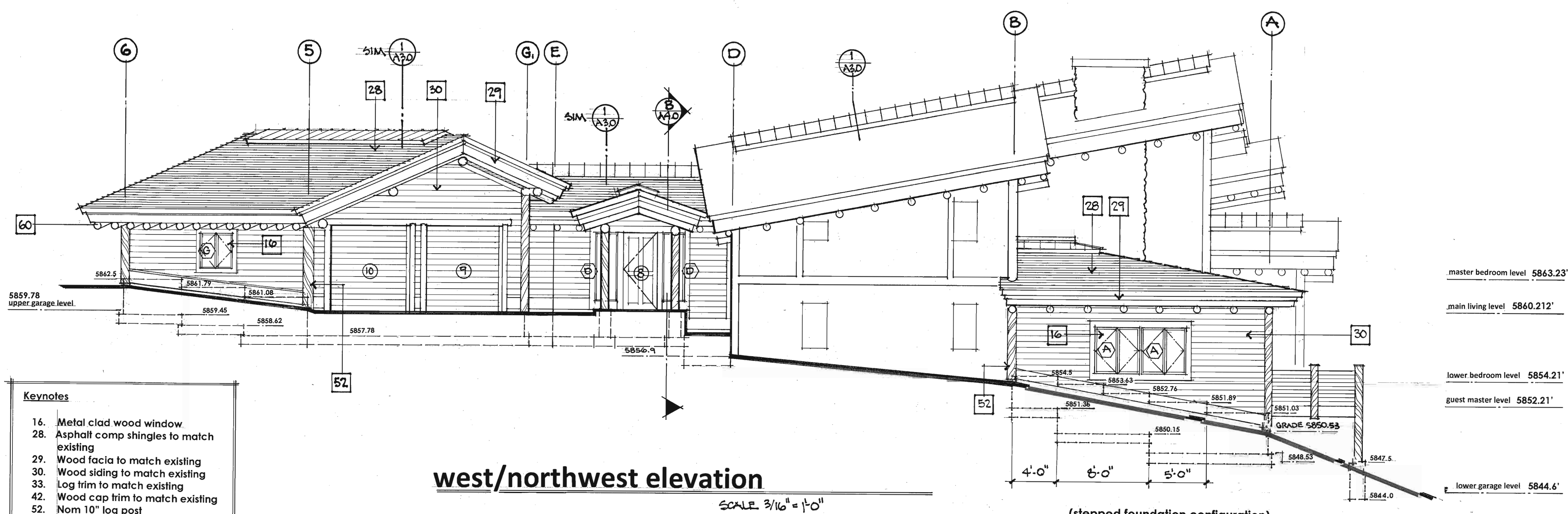
SCALE 1/4" = 1'-0"



boston detail

SCALE 1" = 1'-0"

- Keynotes**
1. Existing roof framing
 2. Existing asphalt shingles
 3. Cut open existing shingles & sheathing to expose cold roof void
 4. 2x4 sleeper w/3/4" plywood shim
 5. 2x4 Boston purlin @ 24" o/c
 6. Boston vent screen cont.
 7. 5/8" plywood sheathing
 8. Ice & water membrane
 9. 24 gauge standing seam steel roof (kynar finish)
 10. 24 gauge steel trim

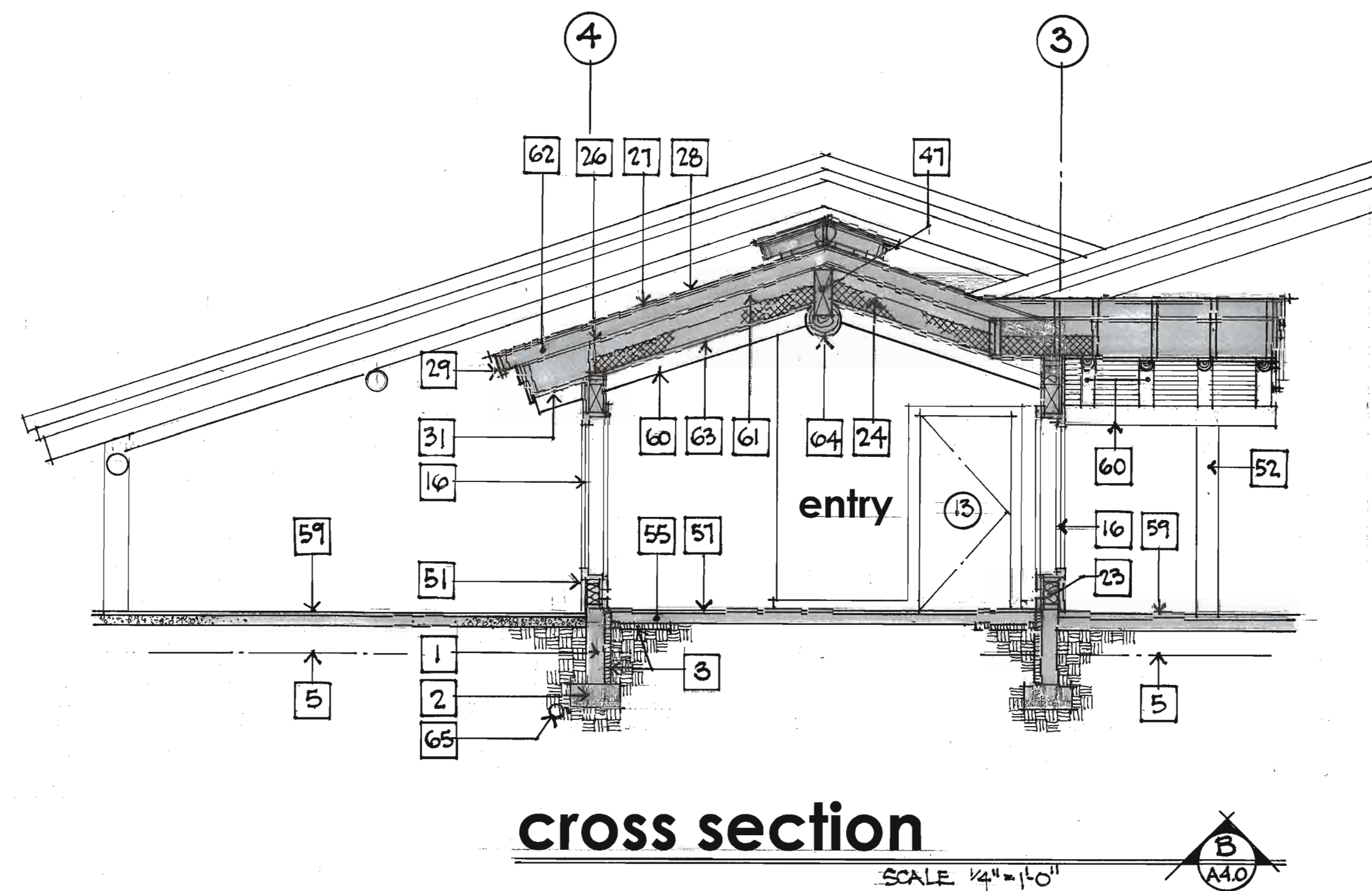


west/northwest elevation

SCALE 3/16" = 1'-0"

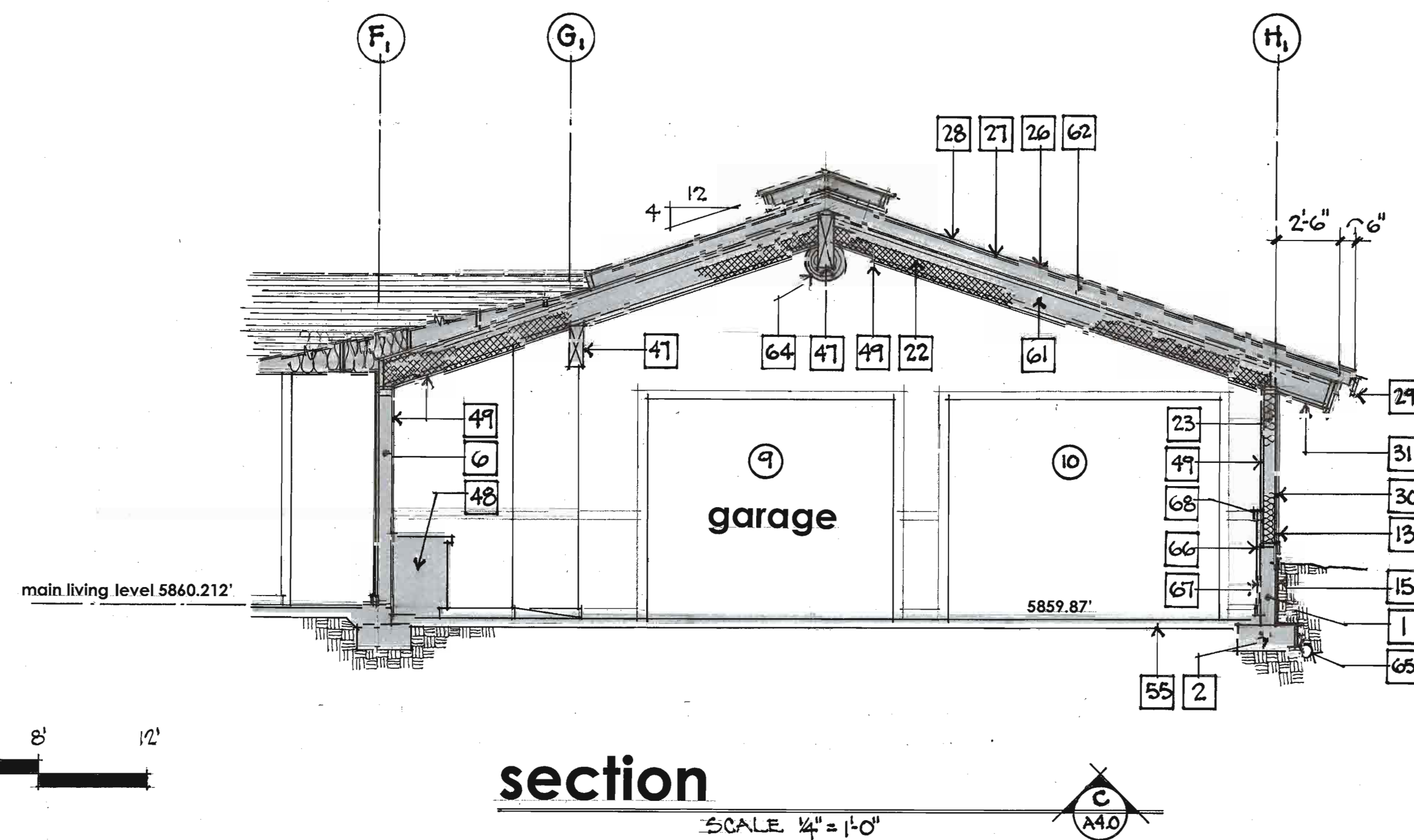
- Keynotes**
16. Metal clad wood window
 28. Asphalt comp shingles to match existing
 29. Wood fascia to match existing
 30. Wood siding to match existing
 33. Log trim to match existing
 42. Wood cap trim to match existing
 52. Nom 10" log post
 54. Taut cable guardrail to match existing
 60. Log rafters to match existing

ARCHITECT/PLANNER
 PROJECT NO.
 DATE
 DRAWN BY
 OWEN WRIGHT SCANLON
 waterman remodel
 604 S leadville ave
 ketchum, idaho 83340
 110 N ANGELA DR
 HAILEY, ID 83333
 (208) 720-2344
 REVISIONS
 NCARB



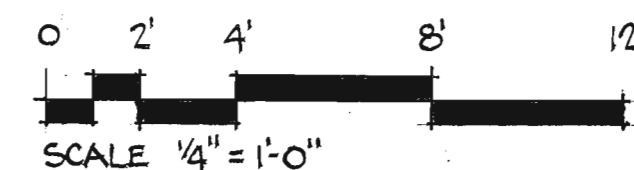
cross section

SCALE 1/4" = 1'-0"

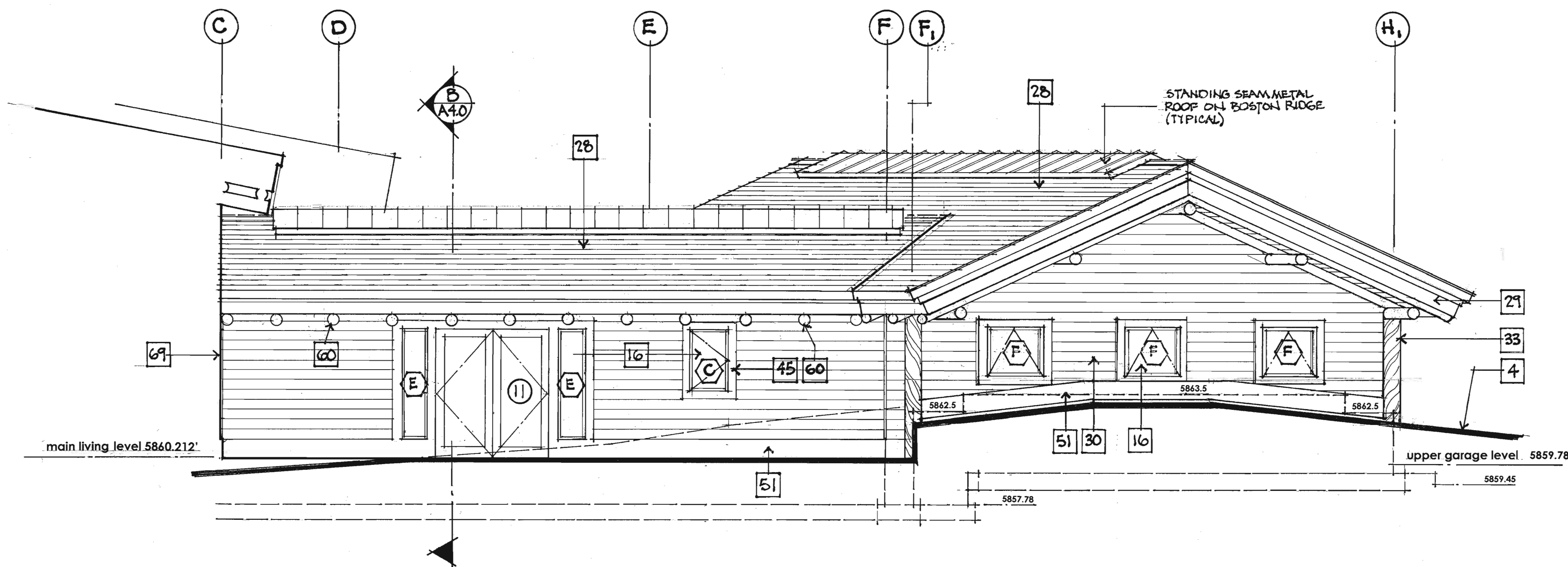


section

SCALE 1/4" = 1'-0"

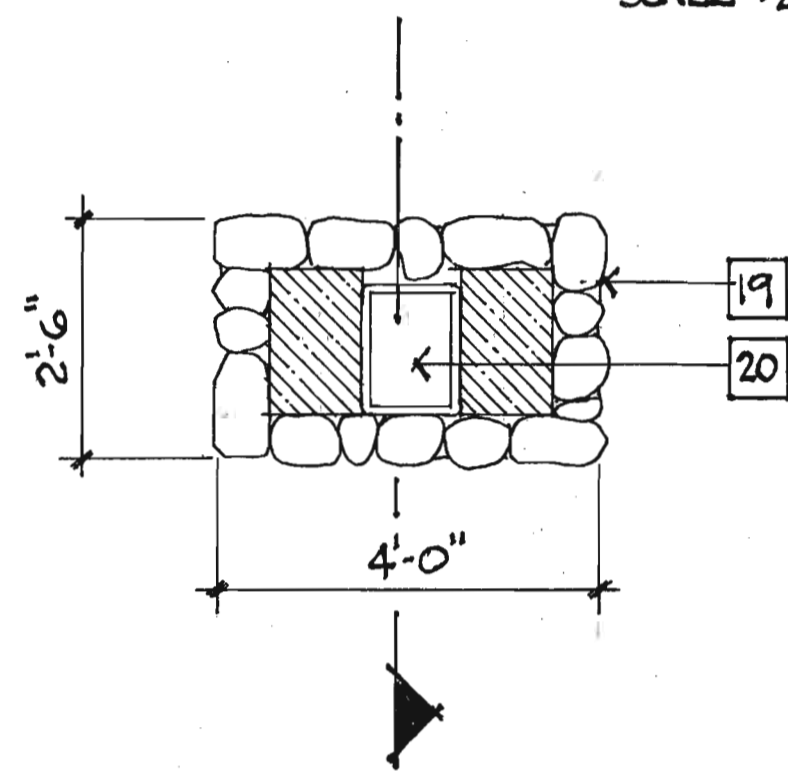
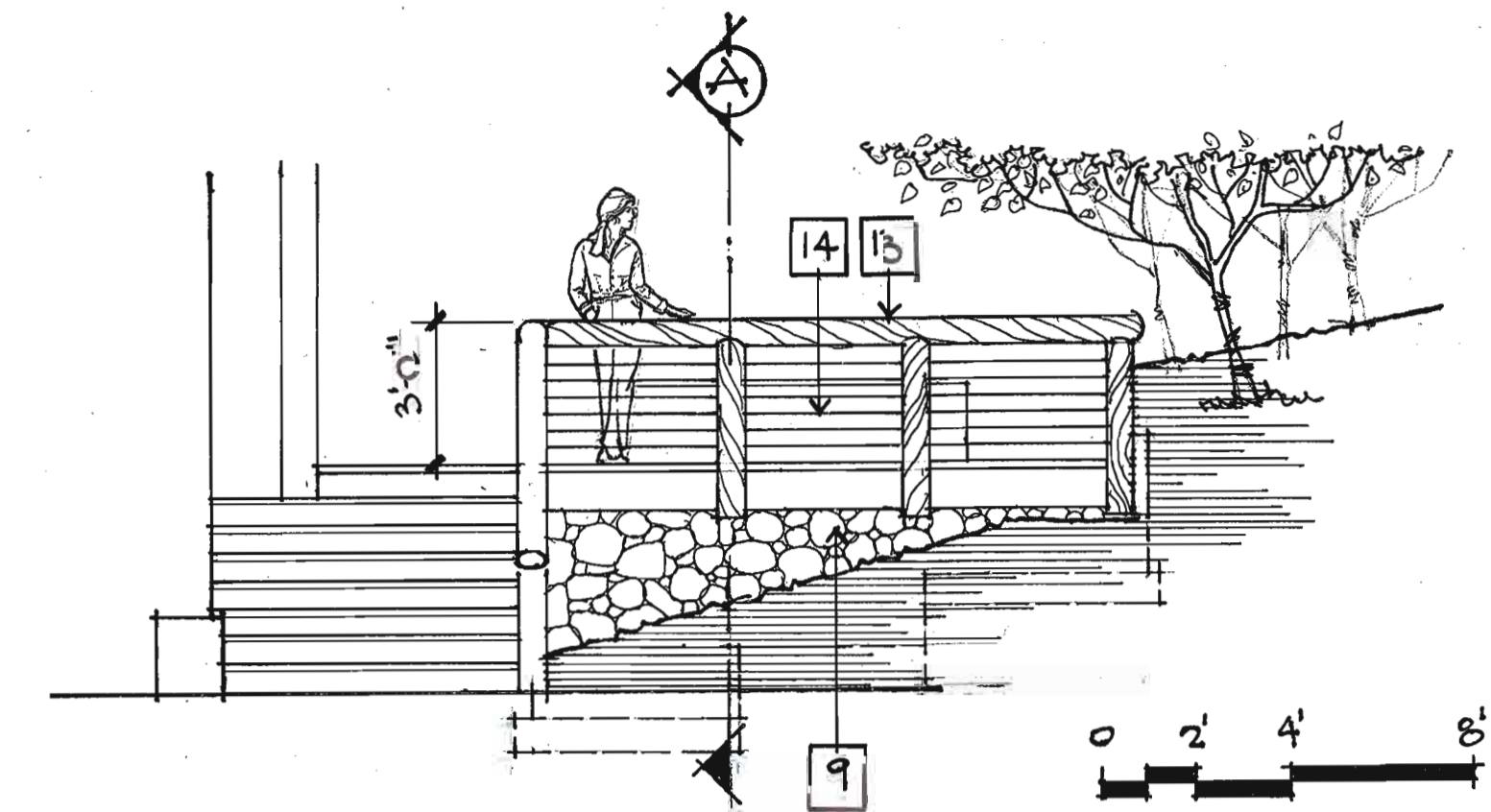
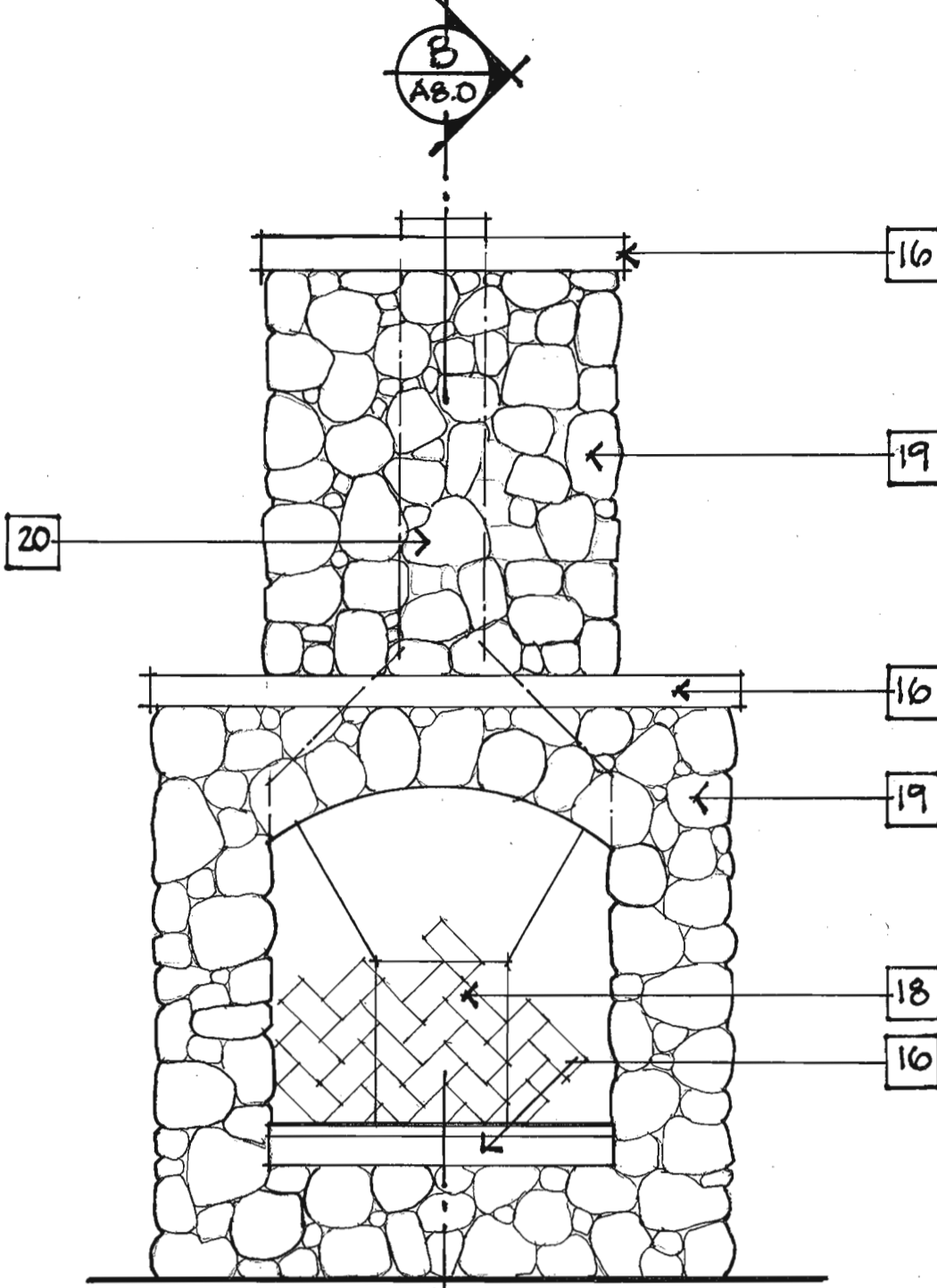
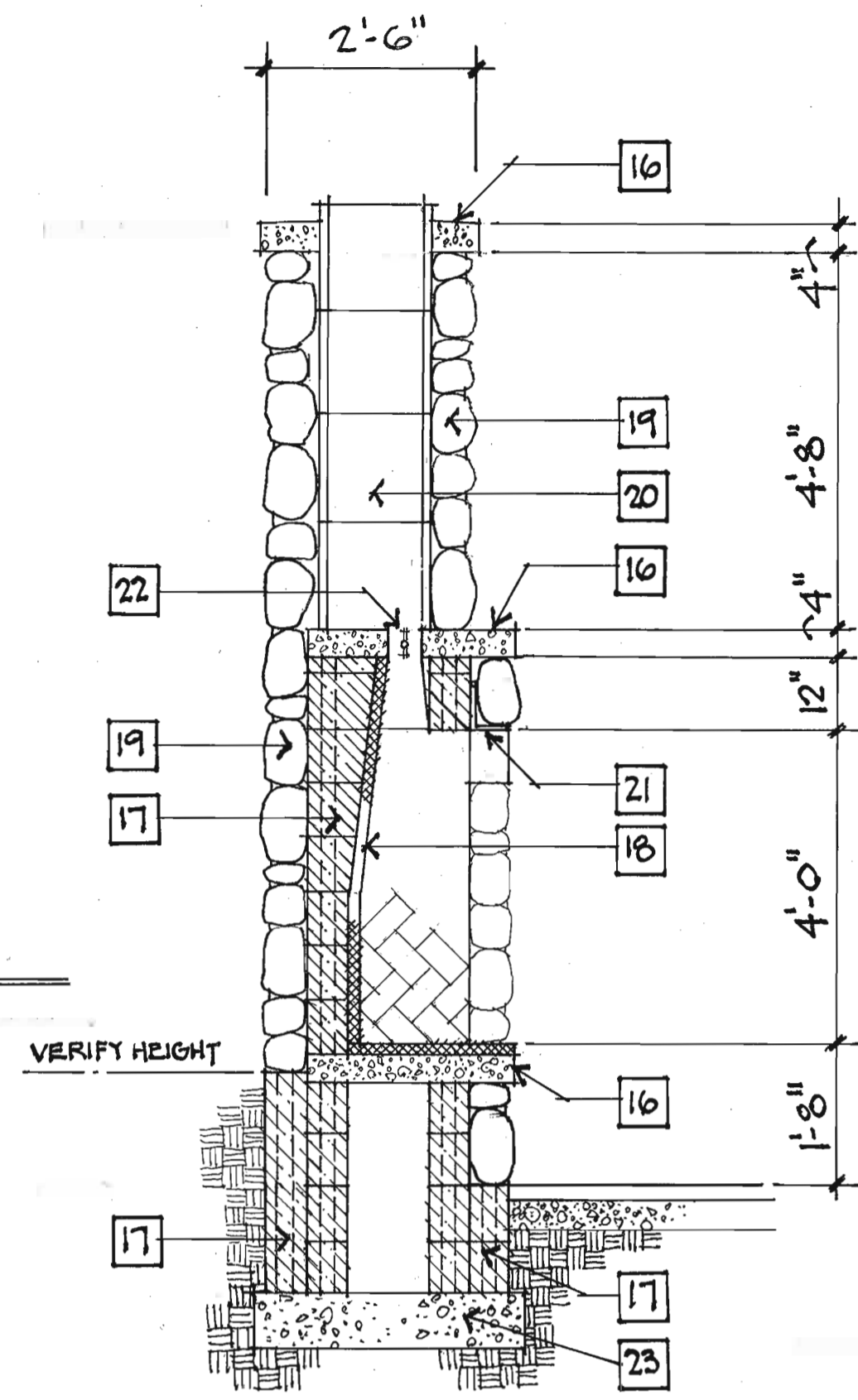
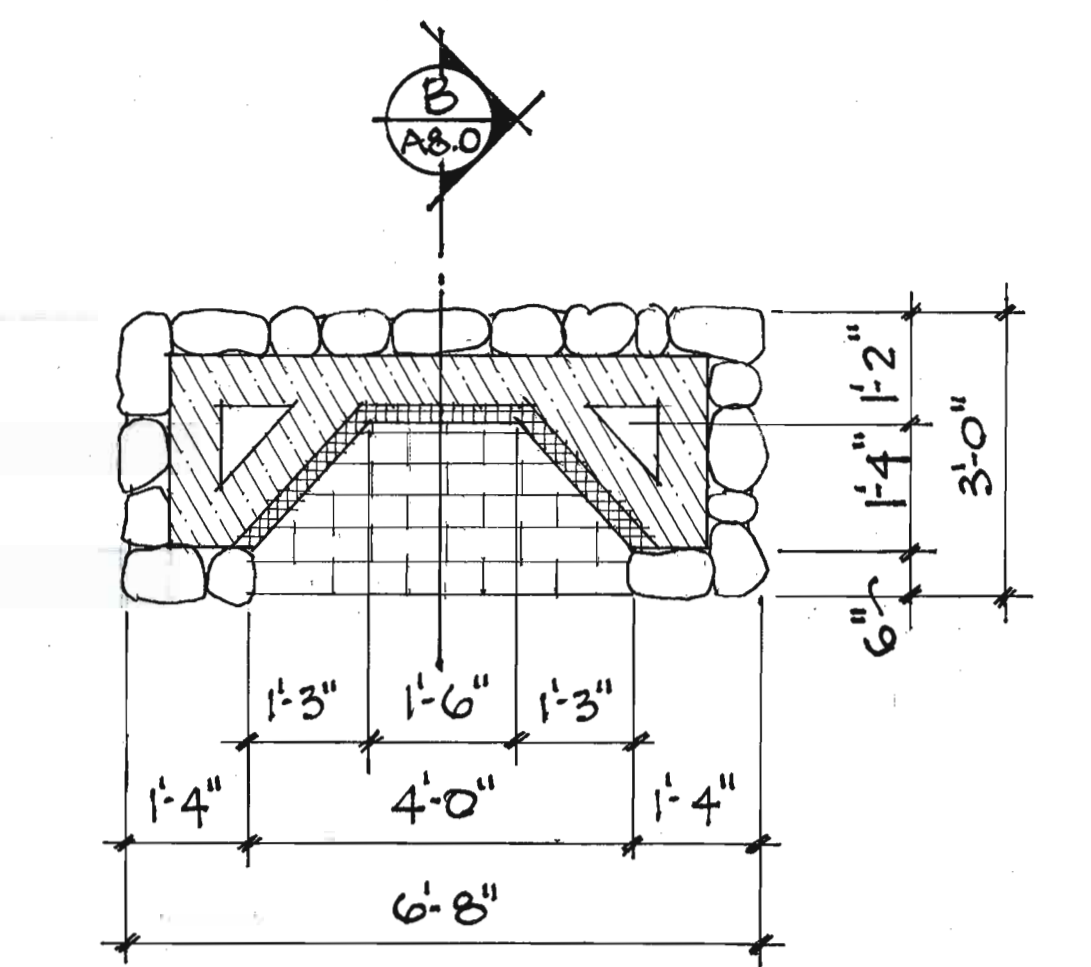


KEYNOTES		
1. Conc. footing per structural	24. Min. R-49 rigid insulation	44. Baseboard to match existing
2. Conc. footing per structural	25. Pre-manufactured wood truss	45. Door/window casing to match existing
3. Perimeter insulation cont.	26. Roof sheathing per structural	46. 2x ceiling framing @ 24" o/c
4. Finish grade	27. Roofing felt per manufacturer	47. Beam per structural
5. Existing grade	28. Asphalt comp roof shingles to match existing	48. Base cabinet
6. 2x6 studs @ 16" o/c	29. Wood fascia to match existing	49. 5/8" gypsum bd.
7. 2x6 studs @ 24" o/c	30. Wood siding to match existing	50. 12" rafter tails
8. 2x4 studs @ 16" o/c	31. Soffit to match existing	51. 12" belly trim to match existing
9. 2x cripple studs @ 16" o/c	32. Cont. soffit vent	52. Nom. 10" dia. log post
10. Header per structural	33. Log trim to match existing	53. Radon mitigation pipe and membrane
11. 2x treated mud sill cont.	34. Porcelain pavers on ABS chairs	54. Taut cable guardrail to match existing
12. 2x deck joists per structural	35. EPDM membrane	55. Conc. slab per structural
13. Wall sheathing per structural	36. Side outlet deck drain by J.R. Smith (or equal)	56. Cont. ridge vent
14. 4-mil vapor retarder	37. 2" Ø drain line from deck drain down thru interior wall to crawlspace then daylight to lawn	57. Floor tile
15. Applied membrane waterproofing (EpiKadrain or equal)	38. Existing foundation	58. Radiant piping in slab
16. Metal clad wood window	39. Existing floor framing	59. Cement pavers
17. 2x landing joists per structural	40. Existing wall	60. Log beam & rafters to match existing
18. Floor joists per structural	41. Existing window	61. Roof rafters per structural
19. Tyvek infiltration barrier (or equal)	42. Wood cap trim to match existing	62. 2x6 cold roof purlins
20. 3/4" floor sheathing	43. Galvanized base flashing cont.	63. 2x ceiling decking to match existing
21. R-49 insulation		64. Nom 16" Ø log trim
22. R-30 insulation		65. Footing drain pipe to drywell
23. R-23 insulation		66. 1-1/2" furring @ 24" o/c
		67. 1-1/2" rigid insulation
		68. Chair rail trim cont.
		69. Existing wall line

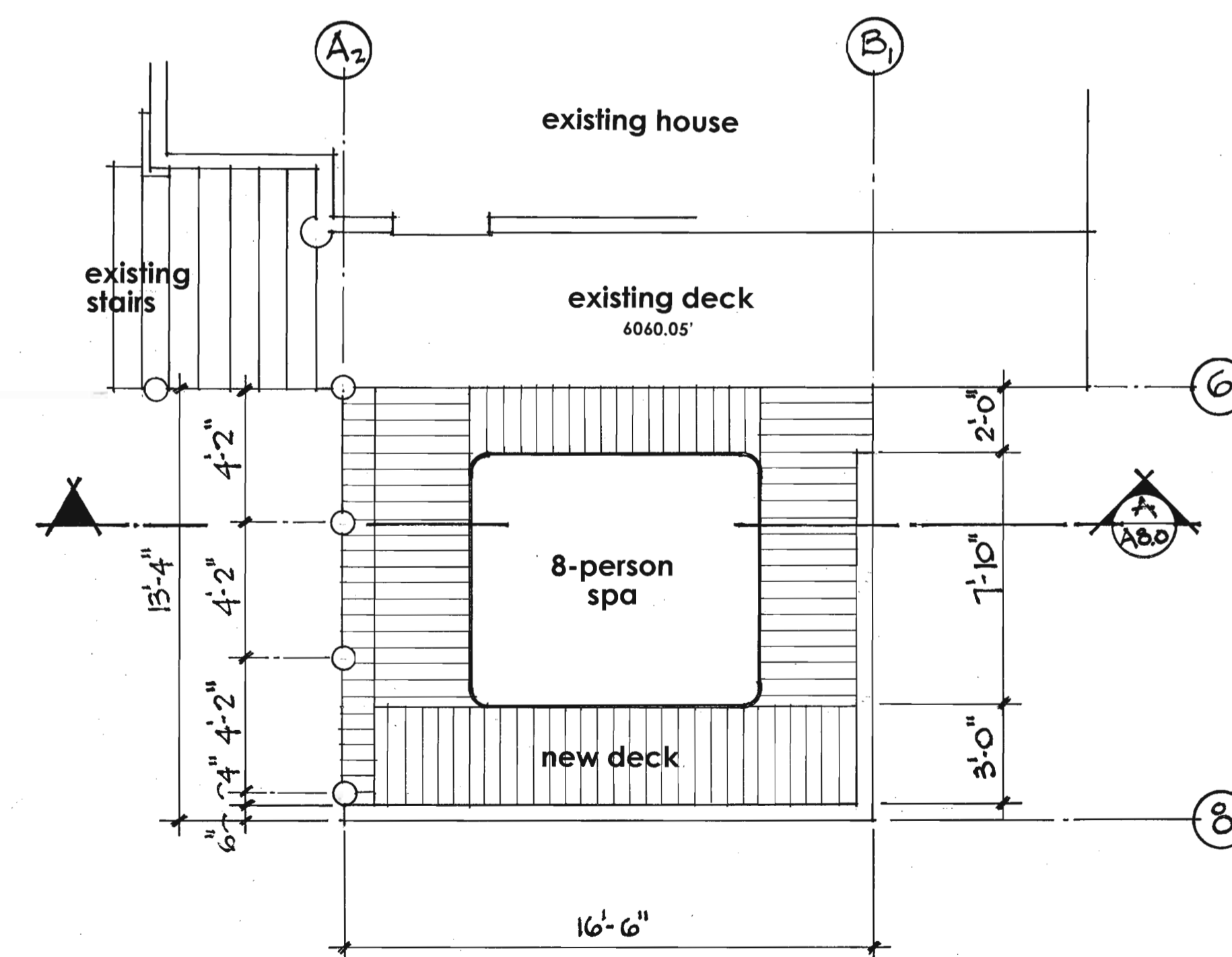
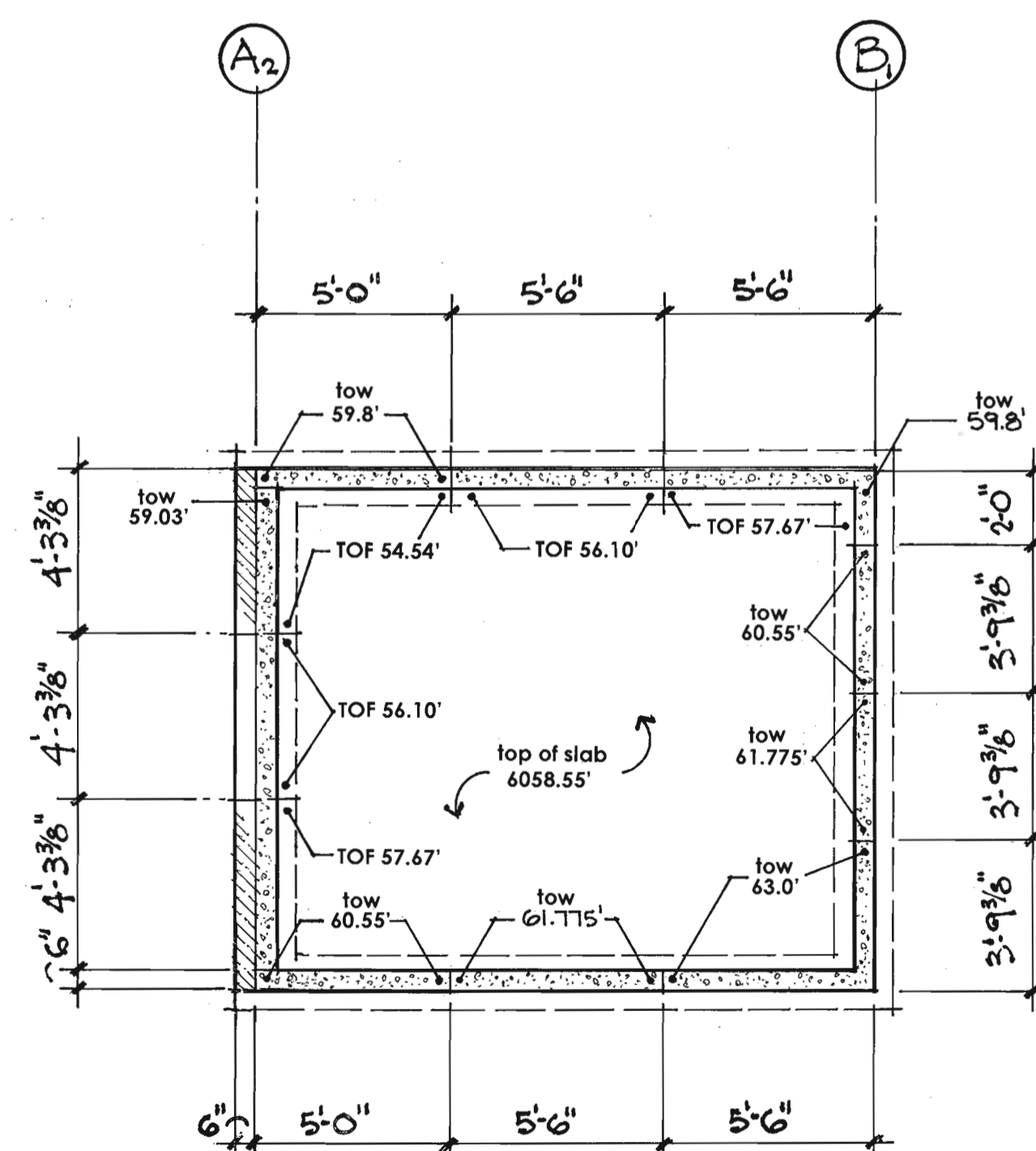
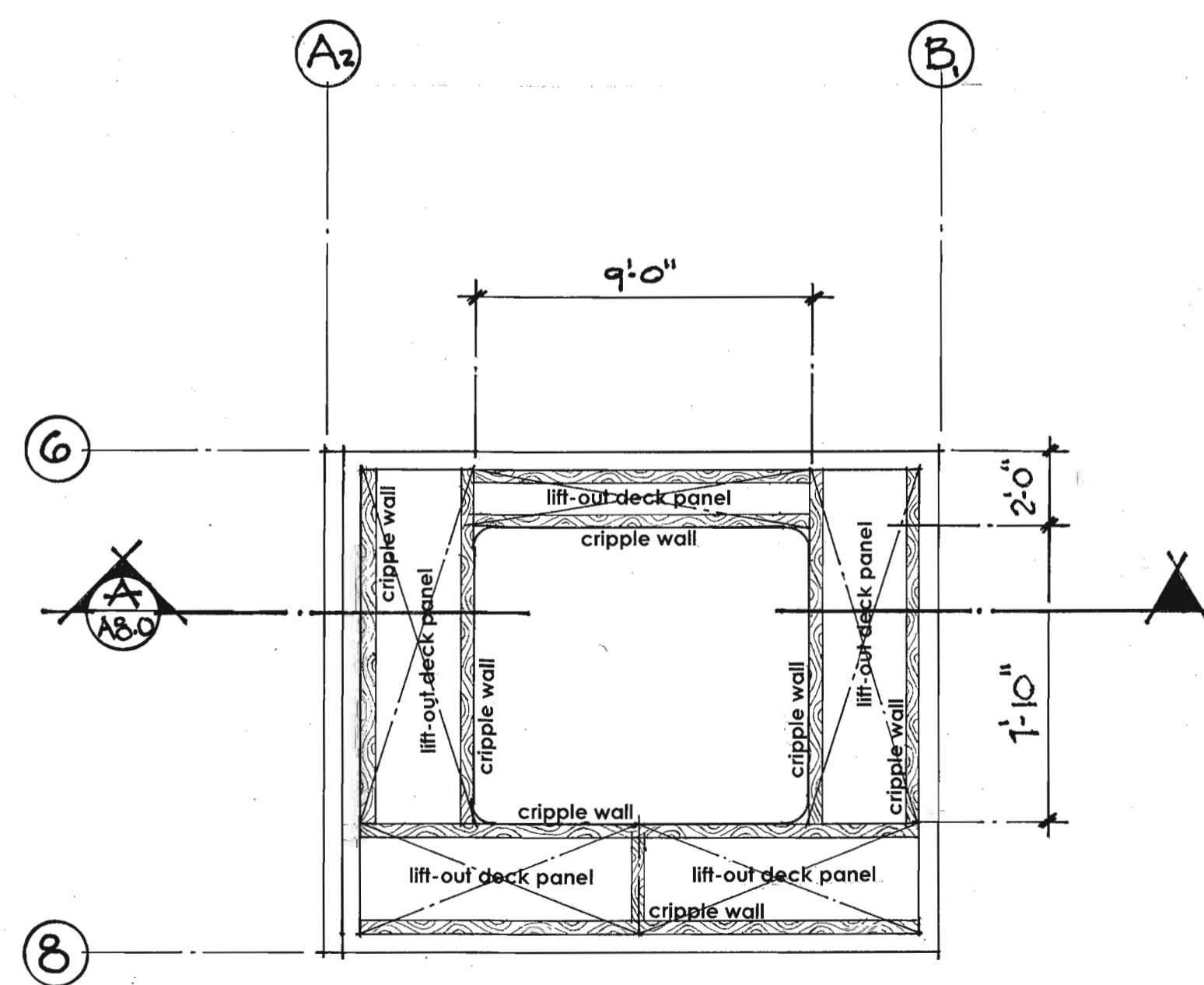
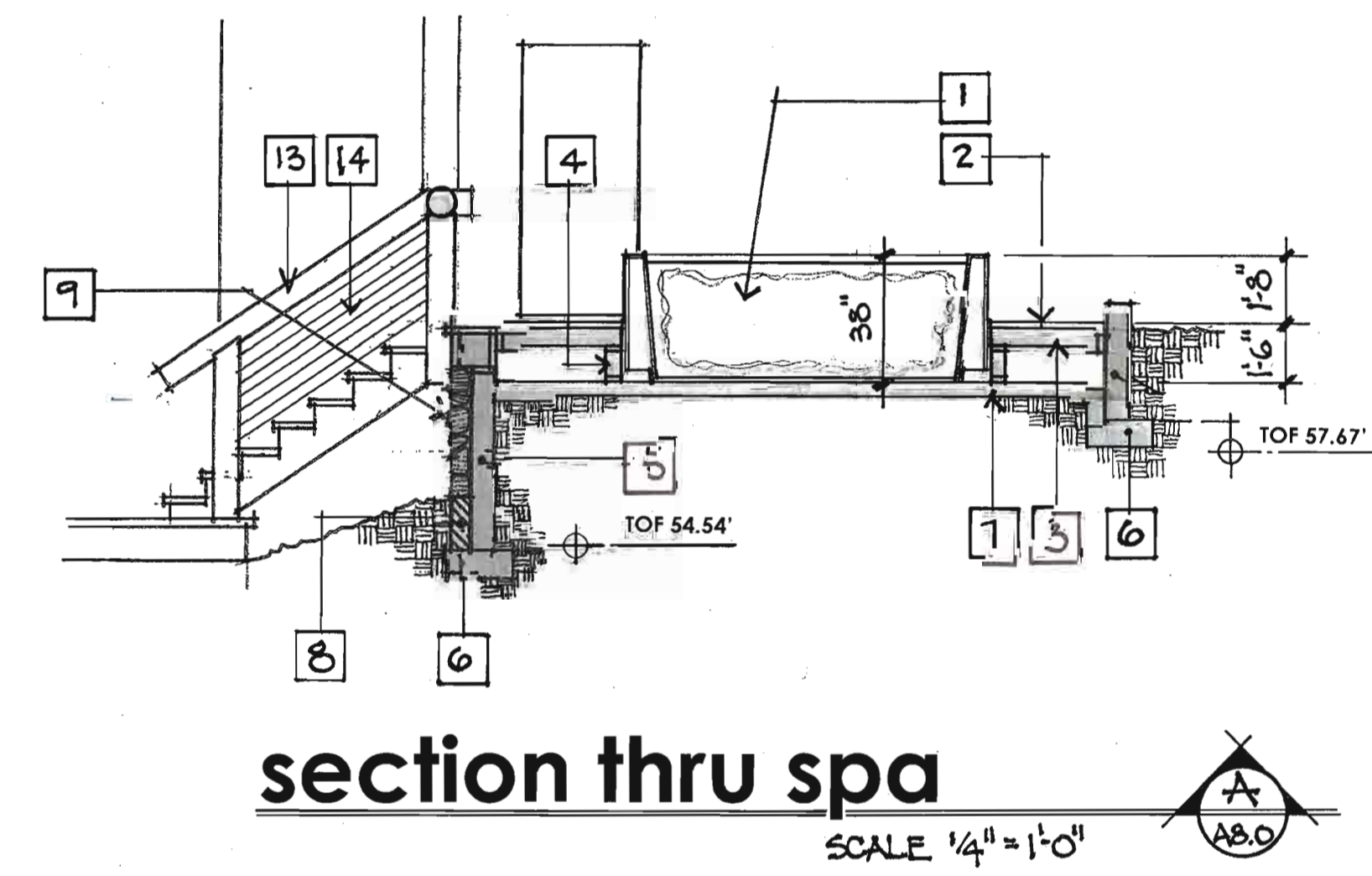


east/southeast elevation

SCALE 1/4" = 1'-0"



keynotes	
1. 8-person spa	16. 4" CONCRETE TOP SLAB
2. Composite decking	17. 6" CMU
3. 2x6 deck joists @ 16" o/c	18. Fire brick
4. 2x4 treated cripple walls	19. Stone veneer to match existing
5. 6" conc. foundation	20. Min. 12' x 16" flue tile
6. 8" conc. footing	21. Bent steel lintel
7. 4" conc. slab	22. Damper
8. 6" CMU stone ledge	23. Conc. footing per structural
9. Stone veneer to match existing	
10. Finish grade	
11. Lift out deck panel	
12. Log balusters to match existing	
13. Log rail to match existing	
14. Taut cable midrails	
15. Existing handrail beyond	



cripple wall/panel plan

SCALE 1/4" = 1'-0"

spa/deck foundation

spa/deck plan







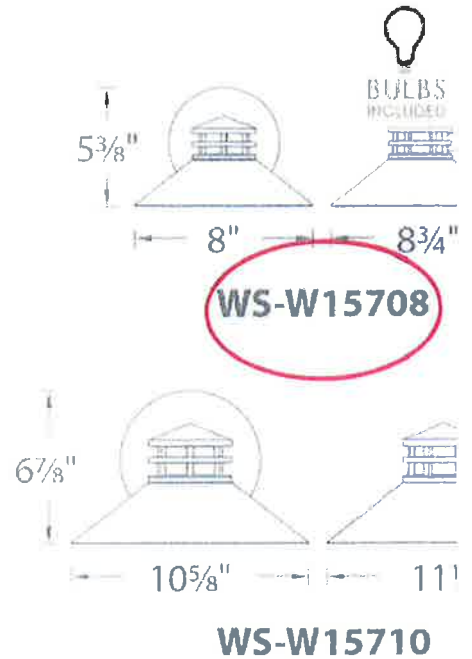
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Questions about delivery times? Call a Lighting Expert now at 866.344.3875



FIXTURE A



WAC Lighting WS-W15710-BZ Sodor LED 11 inch Bronze Wall Light in 10in, dweLED

IN STOCK
100+

SHIPPING
FREE
RETURNS

110%
PRICE MATCH
GUARANTEE

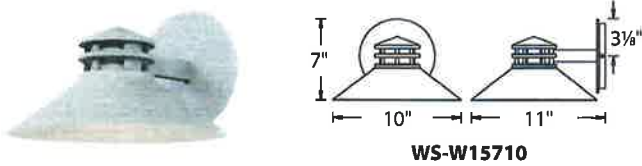
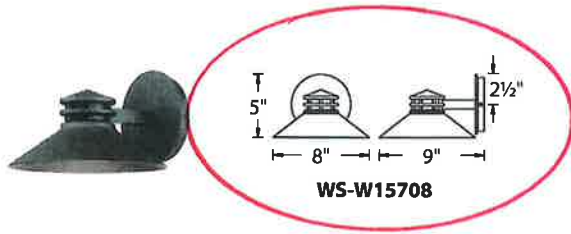
NO
RESTOCKING
FEE



Finish
Bronze

SODOR – model: WS-W157
 dwelLED™ LED Outdoor

WAC LIGHTING
 Responsible Lighting®



Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

A Steamwork inspired approach to a traditional lantern design. Sodor is constructed with a solid die cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CRI: 90
- Dimming: 100% - 5% ELV
- Rated Life: 54,000 hours
- Input: 120V

SPECIFICATIONS

Construction: Aluminum and White Diffuser Lens

Light Source: High output LED.

Finish: Bronze (BZ), Graphite (GH)

Standards: ETL & cETL wet location listed. IP 65. Dark Sky Friendly

ORDER NUMBER

	Watt	LED Lumens	Delivered Lumens	Finish
8"	WS-W15708 9W	750	315	BZ Bronze
10"	WS-W15710 11.5W	1200	560	GH Graphite

Example: **WS-W15708-GH**

waclighting.com
 Phone (800) 526.2588
 Fax (800) 526.2585

Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

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CEWL5CB, CEWL5LED1



FIXTURE B



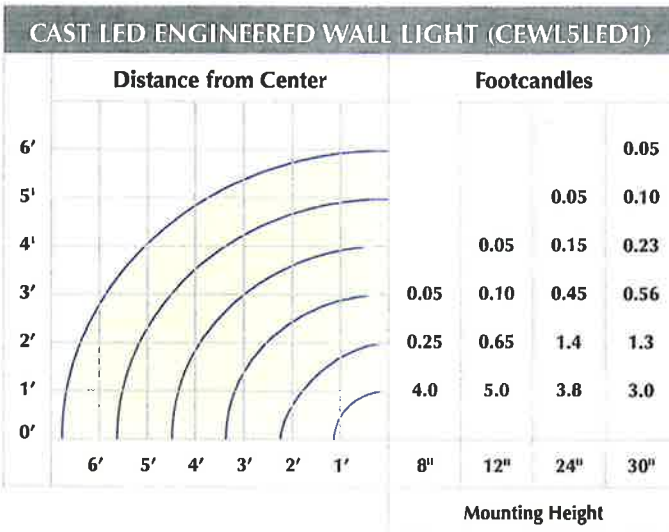
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**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF NOVEMBER 10th, 2020**

- PROJECT:** 4th & Main St (Hot Dog Hill) Mixed-Use Building
- FILE NUMBER:** P 20-002
- APPLICATION TYPE:** Pre-Application Design Review
- ARCHITECT:** Peter Paulos, PH Architects
- DEVELOPER:** Chris Ensign, Solstice Homes Development
- PROPERTY OWNER:** 400 North Main LLC & Formula Investment LLC (Blaine County Assessor’s Office Database)
- REQUEST:** Pre-Application Design Review for the development of a new four-story, 48.5-foot tall, 58,216-square-foot mixed-use building
- LOCATION:** Hot Dog Hill—West Half of Block 5 adjacent to Main Street between 4th & 5th Streets (Ketchum Townsite: Block 5: Lots 1, 2, 3, & 4)
- ZONING:** Retail Core of the Community Core (CC-1)
- NOTICE:** A public hearing notice was mailed to adjacent properties within 300 feet of the project site on October 30th, 2020. Public comment is attached as Exhibit C to the Staff Report.
- REVIEWER:** Abby Rivin, Associate Planner

BACKGROUND

The 4th & Main Street (Hot Dog Hill) project proposes to develop a new four-story, 48.5-foot tall, 58,216-square-foot mixed-use building on four lots along Main Street between 4th and 5th streets. The Planning & Zoning Commission has previously considered this Pre-Application Design Review three times this year during their meetings on January 10th, March 9th, and June 8th. The Commission has identified design issues, offered constructive advice, and highlighted opportunities for the developer to improve the project. The Commission has moved to continue review of the Pre-Application as the applicant has failed to meaningfully address their concerns regarding the project.

COMMISSION AND STAFF FEEDBACK

The Commission expressed concerns about the project's compatibility with Ketchum's small-town community and vibrant downtown. Their recommendations focused on the building's design and scale as well as the development's lack of integration within downtown and incompatibility with Main Street's pedestrian-oriented streetscape. The Commission directed the applicant to: (1) incorporate scaling devices, including vertical elements and varying roof heights, to break up the building's bulk and mass, (2) enhance design through undulation and material differentiation, and (3) create an activated, pedestrian-friendly, and human-scale environment along Main Street.

In addition to the Commission feedback to the applicant, staff recommended the applicant conduct meetings and community outreach to obtain feedback to help inform the project design. This has proved effective for other significant development projects in Ketchum. To date, this outreach has not occurred. Staff also recommended including a local architectural design professional on the project team to provide context and design assistance.

APPLICANT'S PROJECT PLAN UPDATES

The applicant's proposed design updates are insufficient and fail to meaningfully incorporate changes that address the Commission's recommendations. The Pre-Application Design Review submittal (Exhibit A) includes the updated project plans, the architect's description of changes, and a letter from the applicant's attorney.

ANALYSIS

The project plans maximize the size of the building to the greatest extent permitted by Ketchum's zoning regulations. The 58,216-square-foot mixed-use building has a total Floor Area Ratio (FAR) of 2.21. The building reaches 48.5-feet in height from lowest grade to the fourth-floor roof. Covering the length of the entire block, the building's front façade will span 210 feet along Main Street.

The permitted FAR in the Community Core Zone is 1.0. The Planning & Zoning Commission may allow an increased FAR subject to Design Review (Ketchum Municipal Code §17.124.040.B). Ketchum Municipal Code does not guarantee 2.25 as the allowed FAR. New developments may be permitted an increased FAR above 1.0 at the Commission's discretion through Design Review. To receive more floor area, new buildings must complement the scale and character of the surrounding neighborhood. This project is out of scale with Main Street and the building's overwhelming size is incompatible with downtown Ketchum.

Design Review helps our community achieve a more sustainable, vibrant, connected, and beautiful Ketchum. The 4th & Main Street (Hot Dog Hill) project needs significant design changes to integrate within Main Street's built environment and complement the design character of downtown Ketchum.

STAFF RECOMMENDATION

The attorney's letter accompanying the updated Pre-Application submittal stressed the applicant's expectation to proceed through Design Review. Staff recommends the Commission: (1) provide feedback and recommendations regarding the updated Pre-Application submittal, (2) accept the applicant's request to proceed to Design Review by filing their Design Review application, and (3) notify the applicant that if the project plans fail to meaningfully address the Commission's concerns,

and the applicant decides to pursue the project as presented, staff may recommend denial of the final Design Review application.

EXHIBITS:

- A. Pre-Application Design Review Submittal: Attorney's Letter, Architect's Description of Changes, and Updated Project Plans
- B. Staff Report: Planning & Zoning Commission Meeting of June 8th, 2020
- C. Public Comment

Exhibit A:
Pre-Application
Design Review Submittal



City of Ketchum
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>

APPLICANT INFORMATION			
Project Name: 4th & Main St.		Phone: 858-232-4928	
Owner: Chris Ensign		Mailing Address: 4685 Highland Dr., #224, Millcreek, UT 84117	
Email: chris@csistudio.com			
Architect/Representative: PH Architects/Peter Paulos		Phone: 203-426-6500	
Email: ppaulos@pharch.com		Mailing Address: 38 Taunton Hill Rd., Newtown, CT 06477	
Architect License Number: AR-986736			
Engineer of Record: Galena Engineering, Inc./Samantha Stahlmecker		Phone: 208-788-7705	
Email: sam@galenaengineering.com		Mailing Address: 317 North River Street, Hailey, ID 83333	
Engineer License Number:			
All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.			
PROJECT INFORMATION			
Legal Land Description:			
Street Address:			
Lot Area (Square Feet): 21,989			
Zoning District: Community Core (CC)			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Retail/Residential		Number of Residential Units: 17 Total (5 Community Housing)	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements	0	Sq. Ft.	Sq. Ft.
1 st Floor	18,272	Sq. Ft.	Sq. Ft.
2 nd Floor	17,495	Sq. Ft.	Sq. Ft.
3 rd Floor	16,039	Sq. Ft.	Sq. Ft.
Mezzanine Fourth Floor	7,284	Sq. Ft.	Sq. Ft.
Total	59,090	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: 2.21		Tourist: General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: N/A			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: (Main Street) 6'-6"	Side: (North) 4'11"	Side: (South) 4'10"	Rear: (Alley) 5'1"
Building Height: 35'-8" (Front), 41'-11" (Rear)			
OFF STREET PARKING			
Parking Spaces Provided: 17			
Curb Cut: Sq. Ft. %			
WATER SYSTEM			
<input type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

September 15, 2020

Abby Rivin
Associate Planner
Post Office Box 2315
Ketchum, Idaho 83340

Re: 4th & Main Street
Pre-Application Design Review

Our File No. 12331-001

Dear Abby:

Enclosed herewith is Solstice Development's ("Solstice") fourth submission for Pre-Application Design Review. The number of submissions has been based on inconsistent feedback from staff and the Ketchum Planning and Zoning Commission with respect to a project design that meets all objective criteria contained in the City's development code (not to mention – initial pre-app approval by Planning and Zoning in December 2019). Per §17.96.010.C.2 of the City Code, the purpose of Pre-Application Design review is to allow the Commission to exchange ideas and give direction to the applicant on "design concept" in advance of filing a formal Design review application. There is no criteria for a Pre-Application "approval" as a precondition to submitting a Design Review Application. Rather is designed as a process for a developer to work in good faith with the City to facilitate a smoother Design Review process. As such, we fully expect to proceed with our application after this fourth Pre-Application meeting with the Commission.

After the last Pre-Application meeting in June, Solstice was asked to better address the Commission's concerns regarding (1) implementation of scaling devices to break up roof heights, bulk and mass; (2) enhancement of façade design through undulation and materials differentiation; and (3) creation of an activated, pedestrian friendly and human scale environment along Main Street. As can be seen clearly in the

12331-001

Abby Rivin
Associate Planner
September 15, 2020
Page 2

updated plan elevations, and as more fully explained in the accompanying letter of architect Peter Paulos, Jr., the items raised by the Commissioners and staff have been addressed in a manner consistent with Ketchum's small town mountain community and vibrant downtown.

Thank you for your attention to this matter.

Sincerely,

LAWSON LASKI CLARK, PLLC



James R. Laski

cc: client

12331-001

September 15, 2020

Chris Ensign
Solstice Development
4686 Highland Dr.
Millcreek, UT 84117

RE: 4th & Main Street Project

Dear Chris,

Per your request, the following is an accounting of our design response to the Planning and Zoning Commission comments on the 4th & Main Street Application.

During the June 8th, 2020 preliminary application meeting, Staff commented that they felt that the design of the building had substantially improved from the previous submission and that the preliminary design process should continue. The brick use, distressed brick material, detailing and cornices were all well received. The industrial feel of the building was appreciated as hinting to the industrial past of Ketchum. However, bulk and mass reduction, along with more differentiation of the façade was requested in future submissions. The façade undulations were helpful, but the Main Street façade became too repetitive for Commission members.

We took a step back and relooked at ways to address these comments through design. Our revised design submission responds to these comments in the following ways:

To address the visual mass and repetition of the building, we created distinct stylized areas of the building without physically dividing the building into separate structures. This concept brings elements of Ketchum's historic downtown, along with elements of a more contemporary style, to the façade. Unifying elements are found in both portions of the façade ensuring that the building feels like a single structure, with separate areas.

Our design reduces building mass by strategically undulating plan elements to create courtyards, entries, and terraces. The "alley effect" of having a massive volume right at the property line is mitigated by these plan undulations. The Main Street façade is further softened by terrace plantings. Railings, trees and shrubs create a human scale to the building, helping to perceptually reduce the mass of the building. The created indented courtyards and entries create a buffer from the busy Main Street. The revised design alters these areas to reduce repetition in the façade.

Glass openings are downsized and stylistically differentiated from the previous submission. As a rule of thumb and concept organization, where brick masonry is used glass opening sizes are reduced to be punched openings, where steel façade is used a

PETER PAULOS JR.

[P] 203-426-6500 [F] 203-426-6503 [C] 203-241-4056
[E] ppaulos@ph-archs.com

greater amount of glazing was kept. Glazing area at the steel façade was reduced, however to a lesser degree than areas of brick façade. The downsized glazing areas help to further human scaling efforts in the building design. This also gives the design a more distinguished difference between the aged brick masonry façade and contemporary steel façade, embodying the old versus new concept.

Downsizing the windows, allowed more masonry and area to recreate more elements that are rooted in historical background for a masonry building. We examined many buildings located in and around downtown Ketchum, implementing details that are found in the brick pattern-language of those buildings. Arched windows, cornice details, diverse brick bonding layout, and decorative steel structural façade details are added to bring more of “Ketchum” into the design. These elements are used as common threads to the façade design but avoid becoming repetitious.

In response to a comment made by the Commission, we examined adding retail space on 4th Street. This would be desirable due to more foot traffic, less traffic, and wider sidewalk developed for pedestrian use on 4th Street. However, the steep sidewalk and location of entry points to retail do not lend themselves to creating retail space there. This area is better lent to lobby space than to retail, due to lost parking and circulation space for the building and ability to have multi-level lobby access to parking area.

The roof datum is undulated to alleviate the single horizontal plane at the upper story of the Main Street façade. Furthermore, materials at this level are differentiated to alleviate the continuous band of material. The design implements metal, brick and glass railings to the roof terraces.

Please reach out should you have any questions or desire to have further discussion of design intentions for the project. Thank you for your time.

Peter Paulos, Jr.
Principal

MIXED USE DEVELOPMENT

4TH & MAIN STREET KETCHUM, IDAHO

DATE: 2020-10-07



LIST OF DRAWINGS:

		LATEST ISSUED
CIVIL	CV 1.0 COVER SHEET	2020-10-07
	- TOPOGRAPHIC MAP	2019-11-06
	C 0.1 NOTES & DETAILS	2020-05-15
	C 0.2 DETAIL SHEET	2020-05-15
	C 1.0 GRADING & DRAINAGE PLAN	2020-05-15
LANDSCAPE	L 1.0 LANDSCAPE PLAN, LEVEL 01	2020-10-06
	L 1.4 LANDSCAPE PLAN, LEVEL 04	2020-10-06
ARCHITECTURAL	A 1.0 FIRST FLOOR PLAN	2020-09-25
	A 1.1 SECOND FLOOR PLAN	2020-09-25
	A 1.2 THIRD FLOOR PLAN	2020-09-25
	A 1.3 FOURTH FLOOR PLAN	2020-09-25
	A 1.4 EMERGENCY VEHICLE ACCESS	2020-09-25
	A 1.5 BUILDING FOOTPRINT DIAGRAM	2020-09-25
	A 1.6 PARKING DIAGRAMS	2020-09-25
	A 2.0 FRONT & SIDE EXTERIOR ELEVATIONS	2020-09-25
	A 2.1 REAR & SIDE EXTERIOR ELEVATIONS	2020-09-25
	A 3.0 BUILDING SECTIONS	2020-09-25
	A 3.1 BUILDING SECTIONS	2020-09-25
	A 4.0 F.A.R. CALCULATIONS	2020-09-25
	A 5.0 PERSPECTIVE RENDERING	2020-09-25
	A 5.1 PERSPECTIVE RENDERING	2020-09-25
	A 5.2 MATERIALS	2020-09-25
	A 6.0 EXT. LIGHTING - FIRST FLOOR LIGHTING PLAN	2020-09-25
	A 6.1 EXT. LIGHTING - SECOND FLOOR LIGHTING PLAN	2020-09-25
	A 6.2 EXT. LIGHTING - FRONT & SIDE ELEVATIONS - LIGHTING	2020-09-25
	A 6.3 EXT. LIGHTING - REAR & SIDE ELEVATIONS - LIGHTING	2020-09-25

Galena Engineering, Inc.
civil engineering & land surveyors

317 N. River Street
Hailey, Idaho 83333
208-788-1705 tel.

P|H ARCHITECTS
38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



EGGERS ASSOCIATES, PA
landscape architecture
560 North Second Avenue
Ketchum, Idaho 83340
208-725-0988 tel. 208-725-0972 fax

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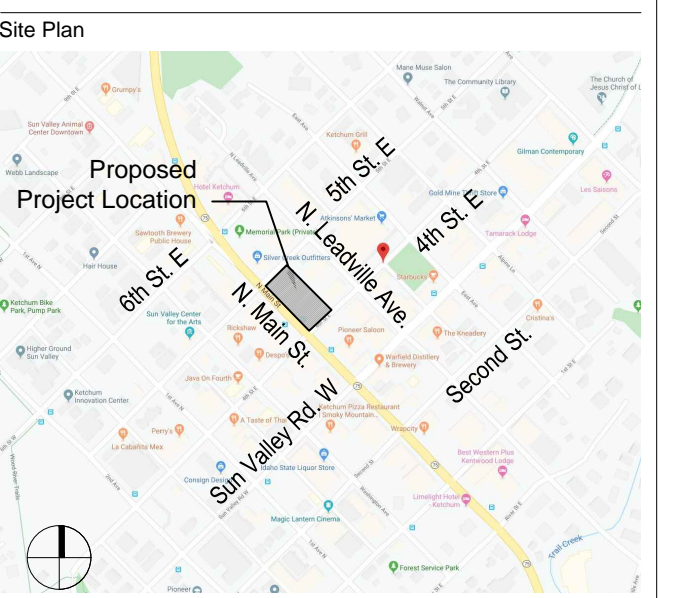
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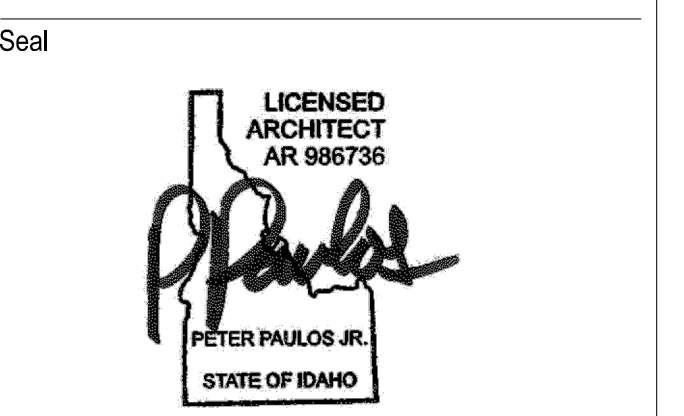
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P|H ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax
Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hailey, Utah 83333
(208) 788-1705 tel.
Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

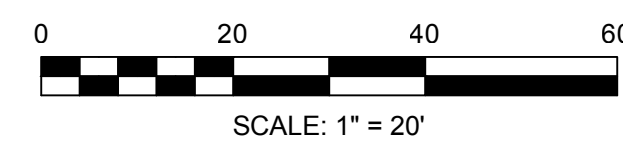
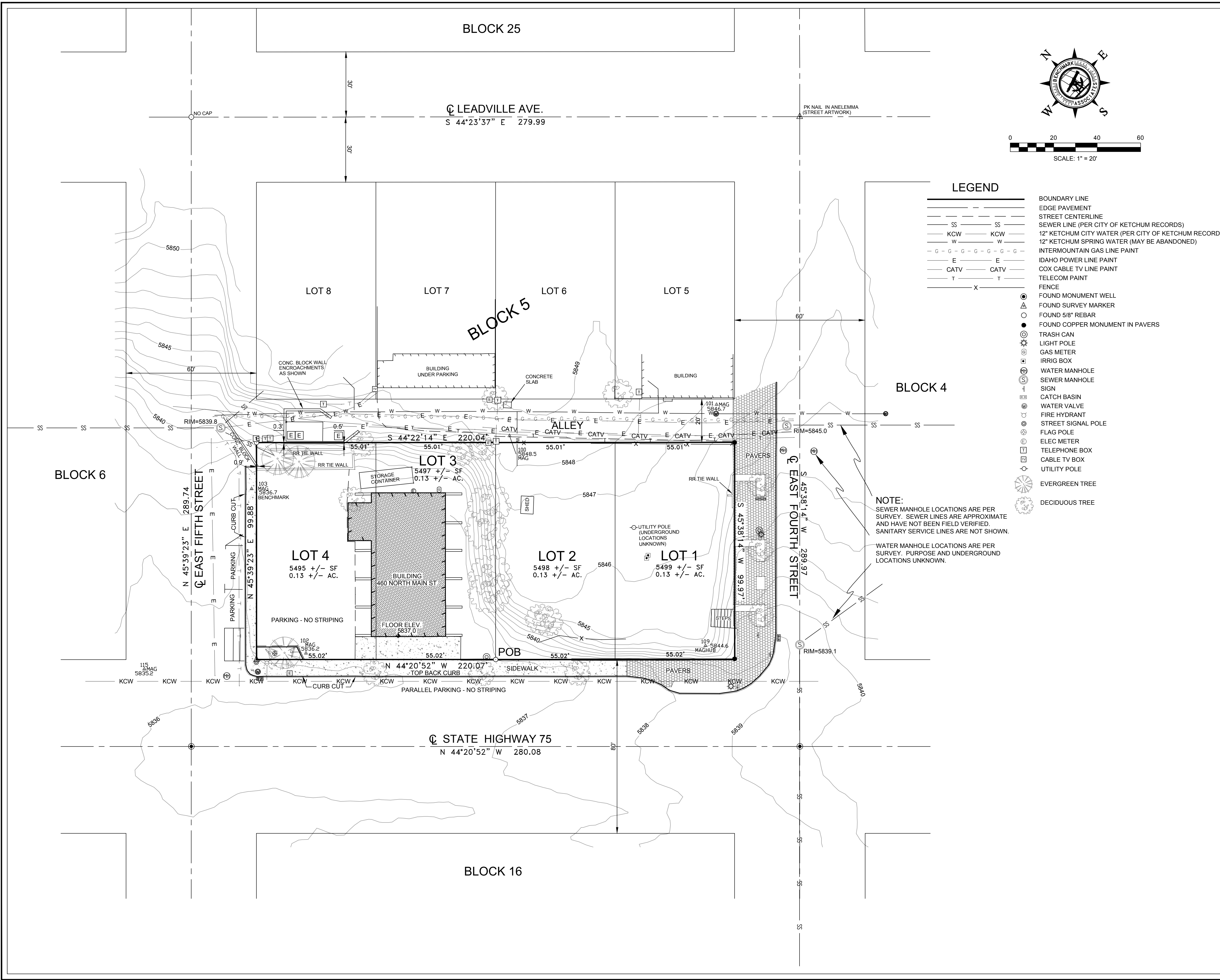


No.	Date	Issue

COVER SHEET

Date: 2020/10/07 Project No.:
Scale: N.T.S. CAD File Name:
Design: pep Checked:
Sheet No.:

CV1.0
P H ARCHITECTS, LLC



LEGEND

- BOUNDARY LINE
- EDGE PAVEMENT
- STREET CENTERLINE
- SEWER LINE (PER CITY OF KETCHUM RECORDS)
- 12" KETCHUM CITY WATER (PER CITY OF KETCHUM RECORDS)
- 12" KETCHUM SPRING WATER (MAY BE ABANDONED)
- INTERMOUNTAIN GAS LINE PAINT
- IDAHO POWER LINE PAINT
- COX CABLE TV LINE PAINT
- TELECOM PAINT
- FENCE
- ⊙ FOUND MONUMENT WELL
- ⊙ FOUND SURVEY MARKER
- ⊙ FOUND 5/8" REBAR
- ⊙ FOUND COPPER MONUMENT IN PAVERS
- ⊙ TRASH CAN
- ⊙ LIGHT POLE
- ⊙ GAS METER
- ⊙ IRRIG BOX
- ⊙ WATER MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ SIGN
- ⊙ CATCH BASIN
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ STREET SIGNAL POLE
- ⊙ FLAG POLE
- ⊙ ELEC METER
- ⊙ TELEPHONE BOX
- ⊙ CABLE TV BOX
- ⊙ UTILITY POLE
- ⊙ EVERGREEN TREE
- ⊙ DECIDUOUS TREE

NOTE:

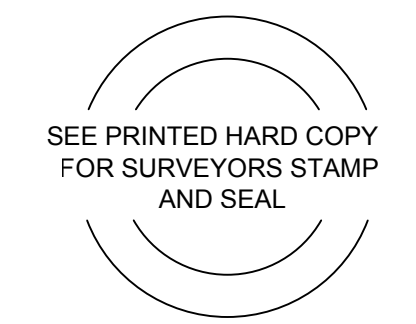
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WATER MANHOLE LOCATIONS ARE PER SURVEY. PURPOSE AND UNDERGROUND LOCATIONS UNKNOWN.

NOTES:

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 - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE, ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
 - STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.
 - BOUNDARY LINES ARE PER RECORD OF SURVEY'S INSTRUMENT NUMBERS 644104 & 642700.
- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83. CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER RECORD OF SURVEYS, RECORDED AS INSTRUMENT NUMBERS 642700 & 64104. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 - ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM.
 - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY AS MARKED BY DIGLINE NOV. 2019. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 - FEATURES OBTAINED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
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KETCHUM BLOCK 5

LOTS 1-4

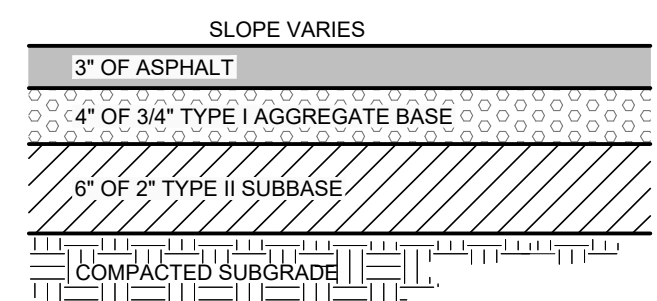
LOCATED WITHIN:
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: SOLSTICE HOMES

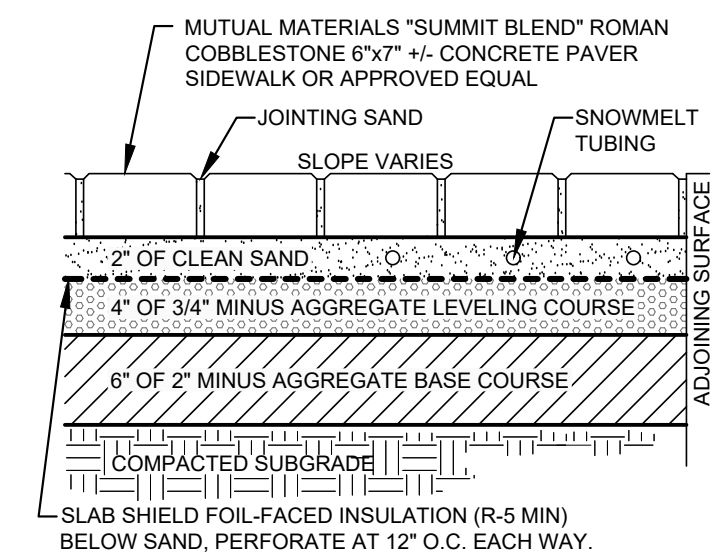
PROJECT NO. 19195	DWG BY: DWS/CPL	19195 TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 11/6/2019	SHEET: 1 OF 1

CONSTRUCTION NOTES

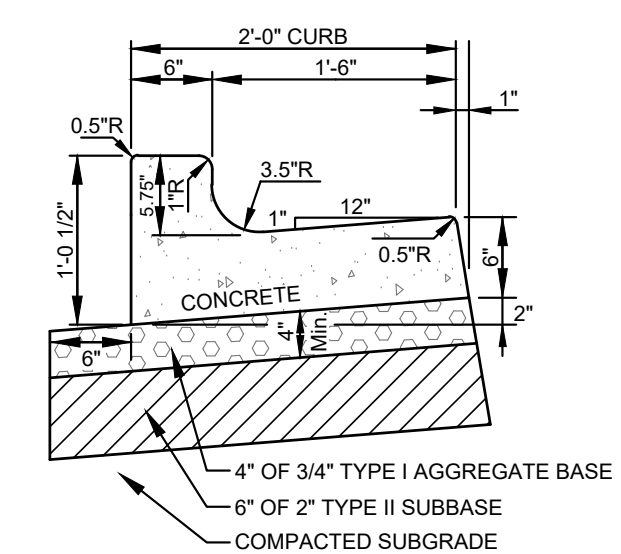
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A., 11/6/2019. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



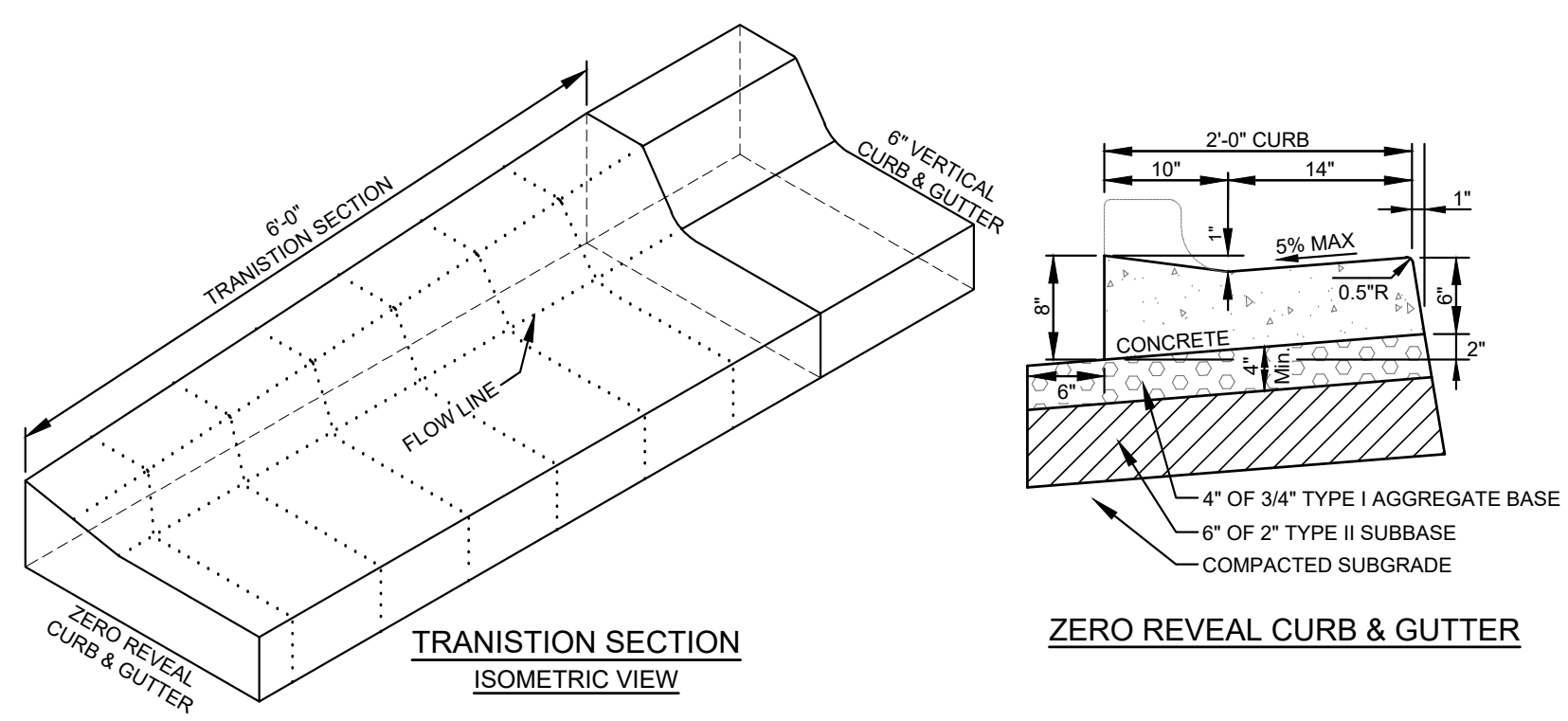
1
C0.1 **TYPICAL STREET ASPHALT SECTION**
N.T.S.



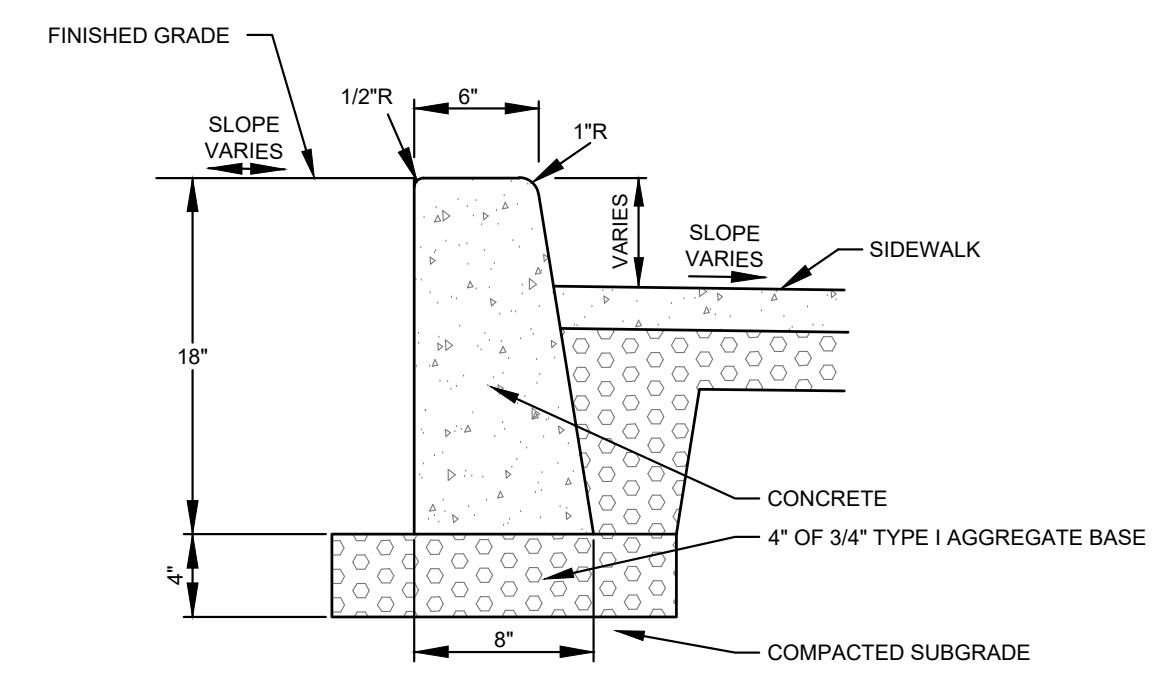
2
C0.1 **PAVER DETAIL**
N.T.S.



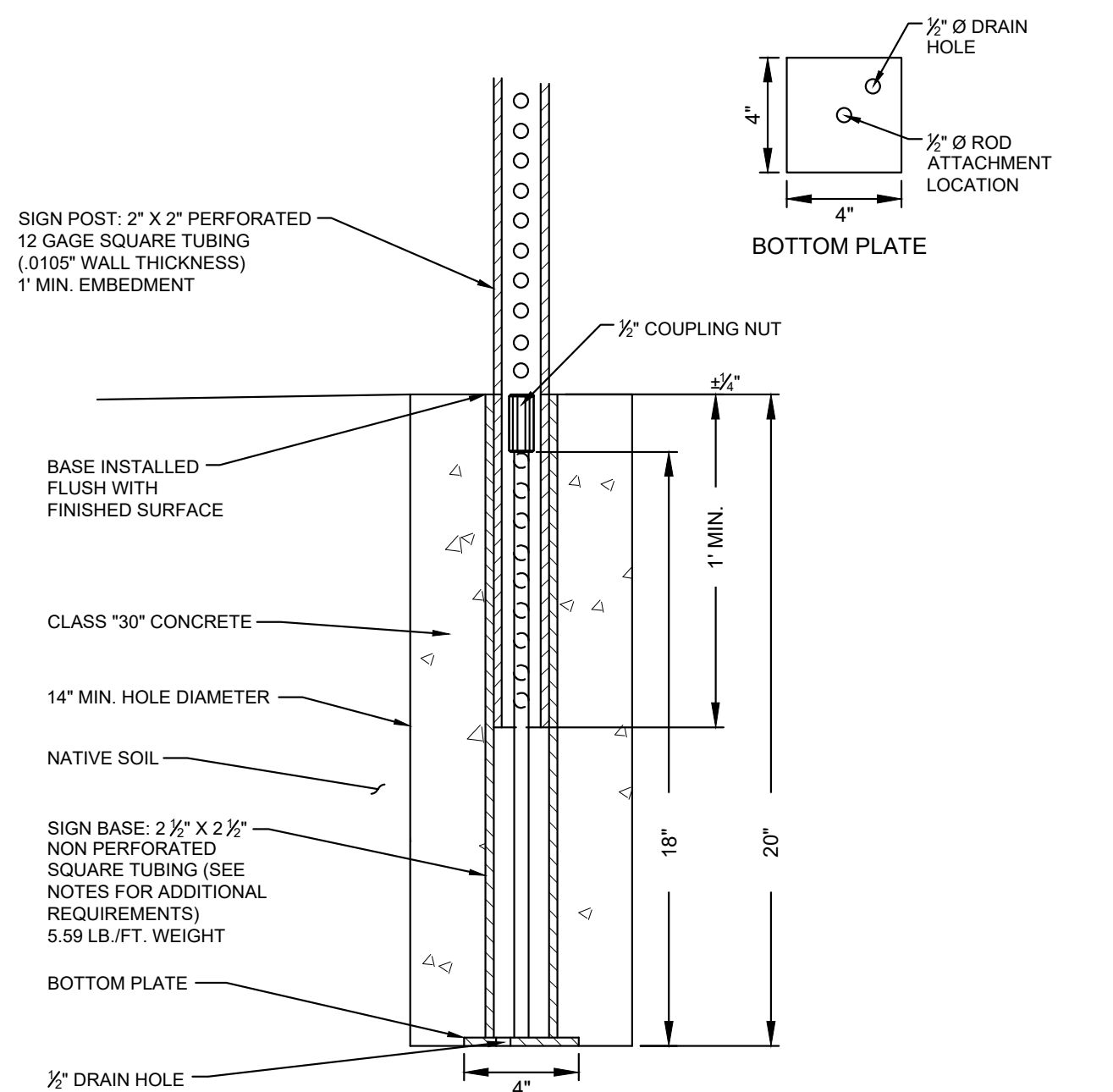
3
C0.1 **6\"/>**



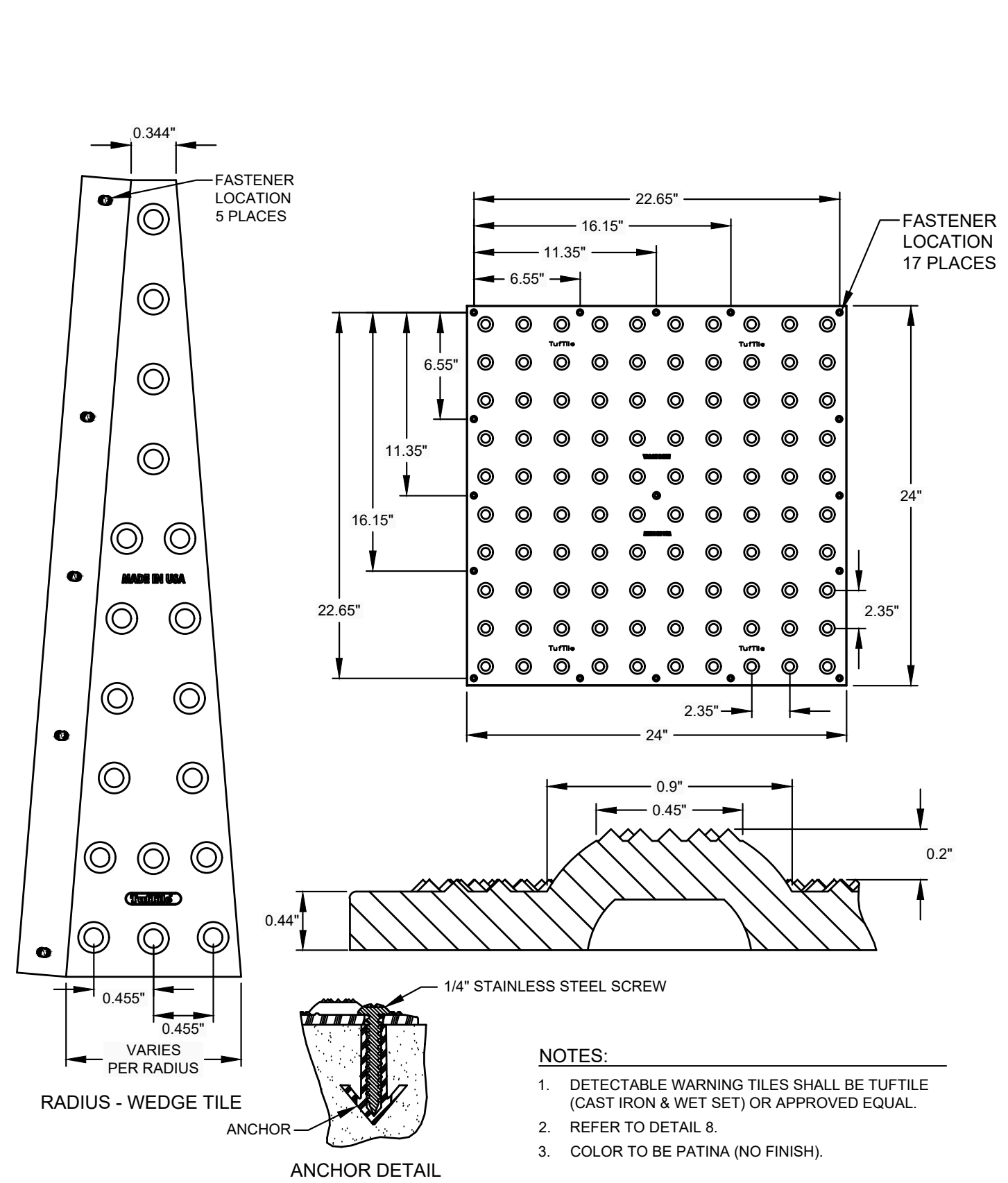
4
C0.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



5
C0.1 **CONCRETE VERTICAL CURB**
N.T.S.



6
C0.1 **TYPICAL SIGN BASE**
N.T.S.



7
C0.1 **DETECTABLE WARNING PLATE**
N.T.S.

NOTES AND DETAIL SHEET
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
 LOCATED WITHIN SEC 13, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR DEVELOPMENT

ORIGINAL SIGNED BY
 SAMANTHA STAHLNECKER
 DATE ORIGINAL SIGNED:
 05/15/2020

 ORIGINAL ON FILE AT
 OFFICE OF GALENA
 ENGINEERING
 (HAILEY, ID)

DESIGNED BY _____
 CT _____
 DRAWN BY _____
 SMF _____
 CHECKED BY _____
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

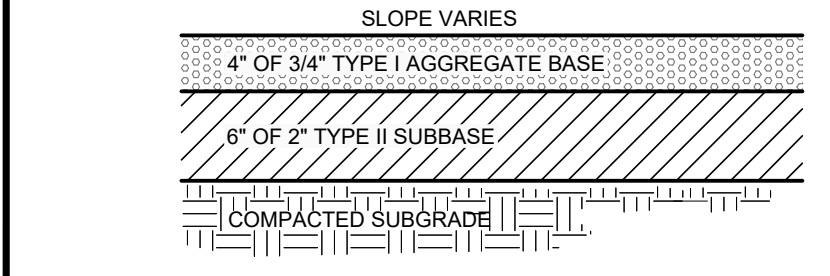
PURPOSE: ISSUE FOR DESIGN REVIEW

PRELIMINARY
 NOT FOR
 CONSTRUCTION

C0.1

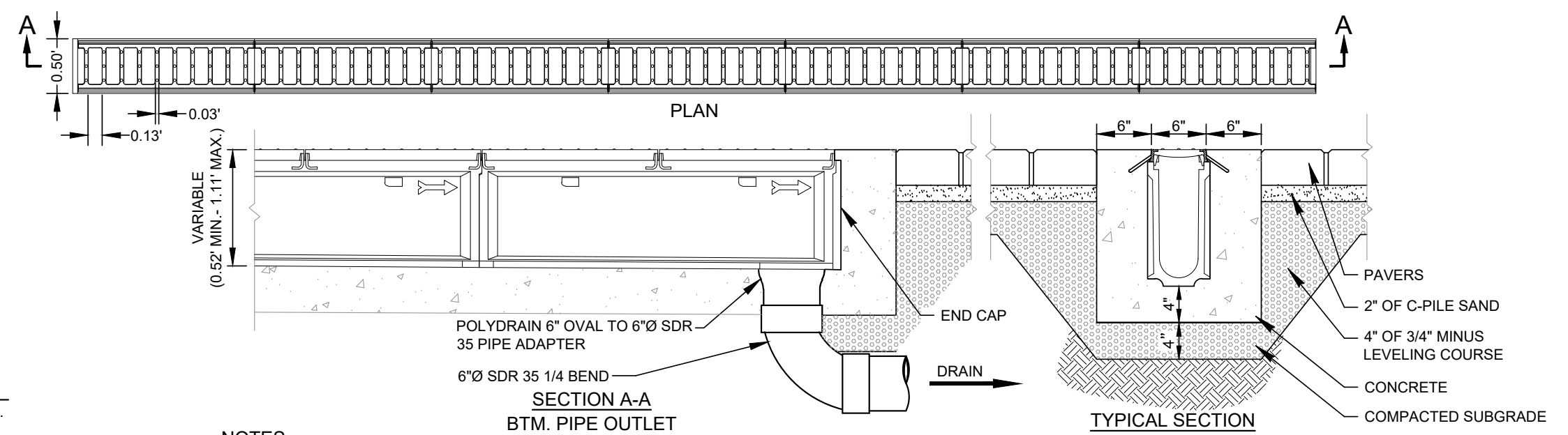
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



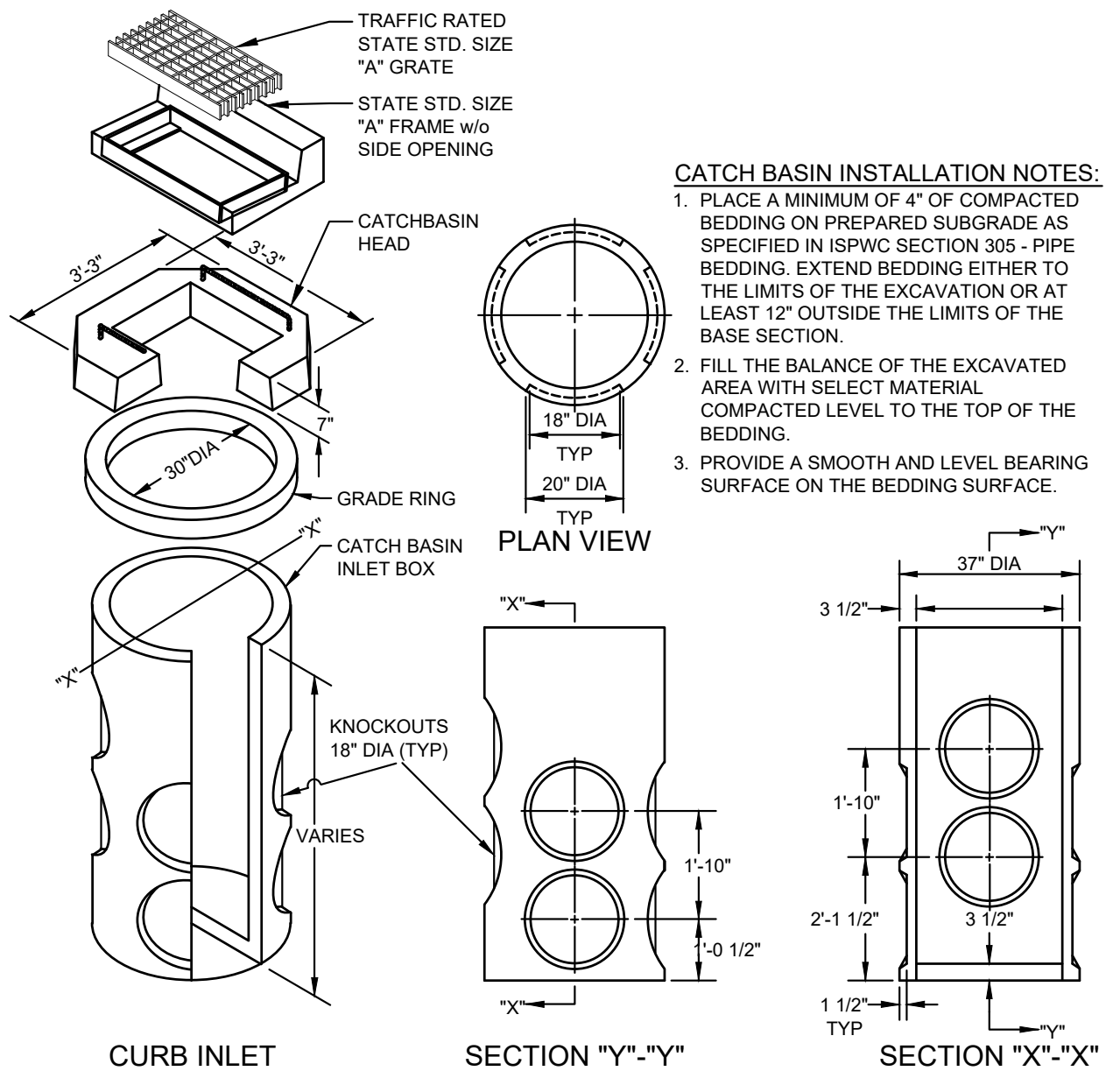
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY LICENSED ENGINEER, IS PROVIDED.

1
C0.2 **TYPICAL GRAVEL SECTION**
N.T.S.



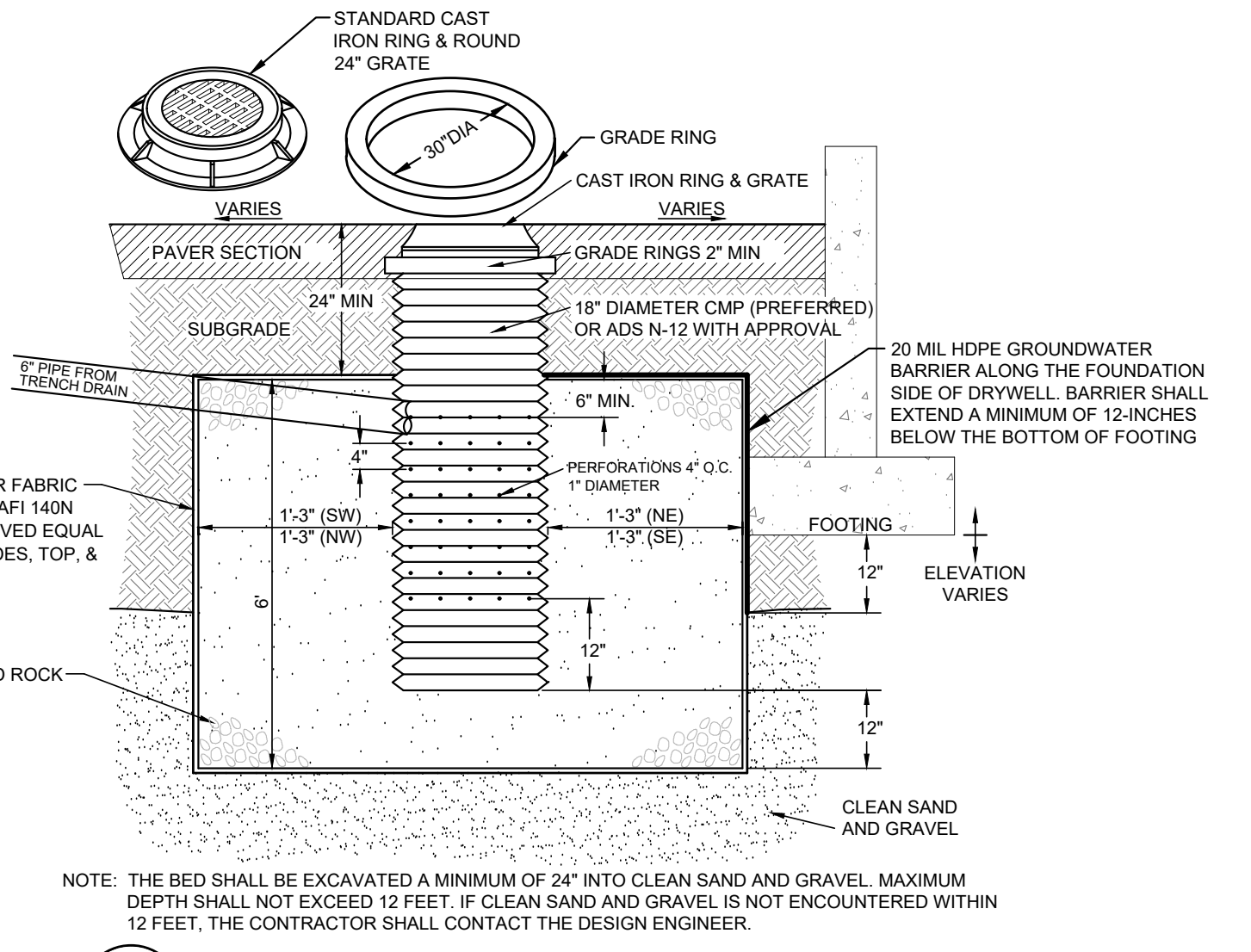
- NOTES:**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

2
C0.2 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



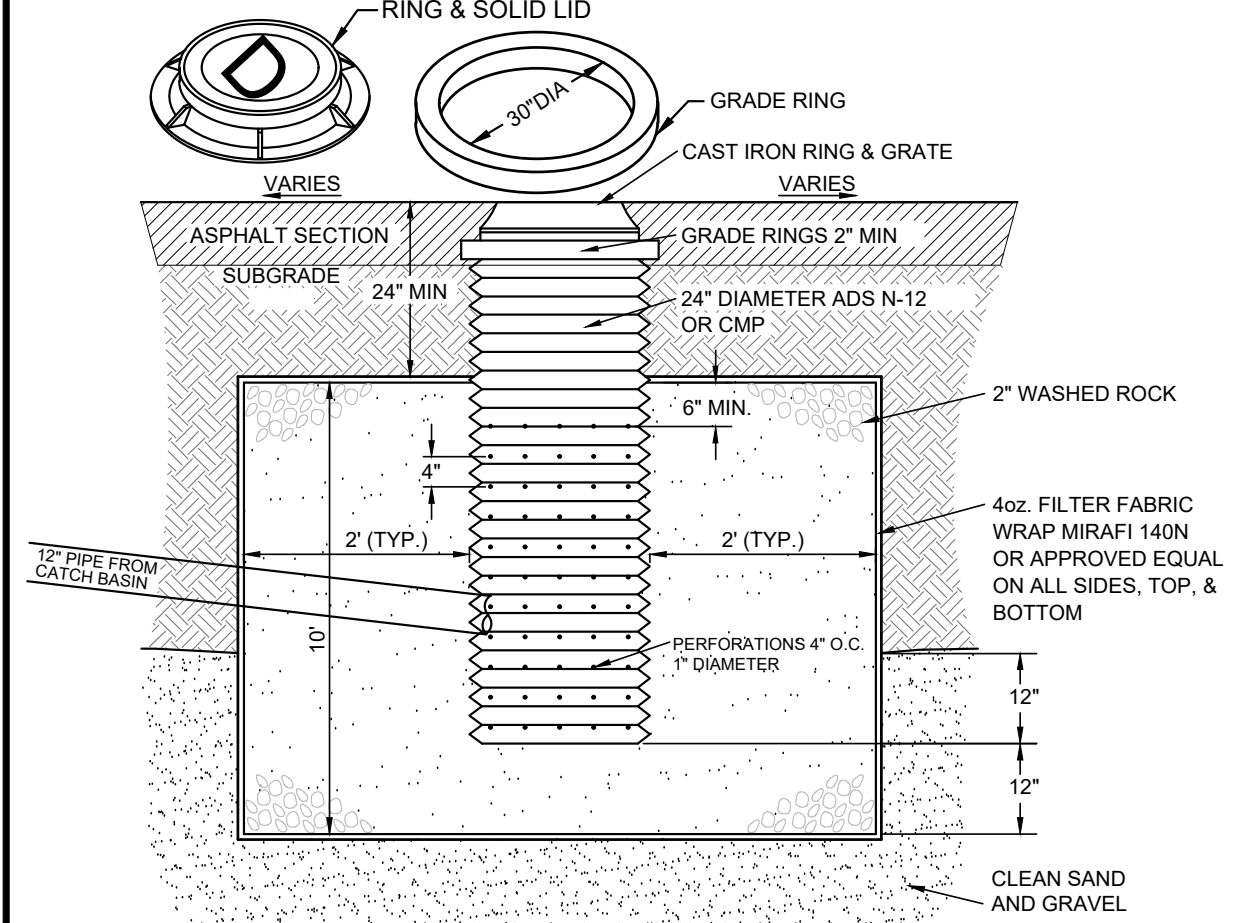
- CATCH BASIN INSTALLATION NOTES:**
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL. COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

3
C0.2 **30\"/>**



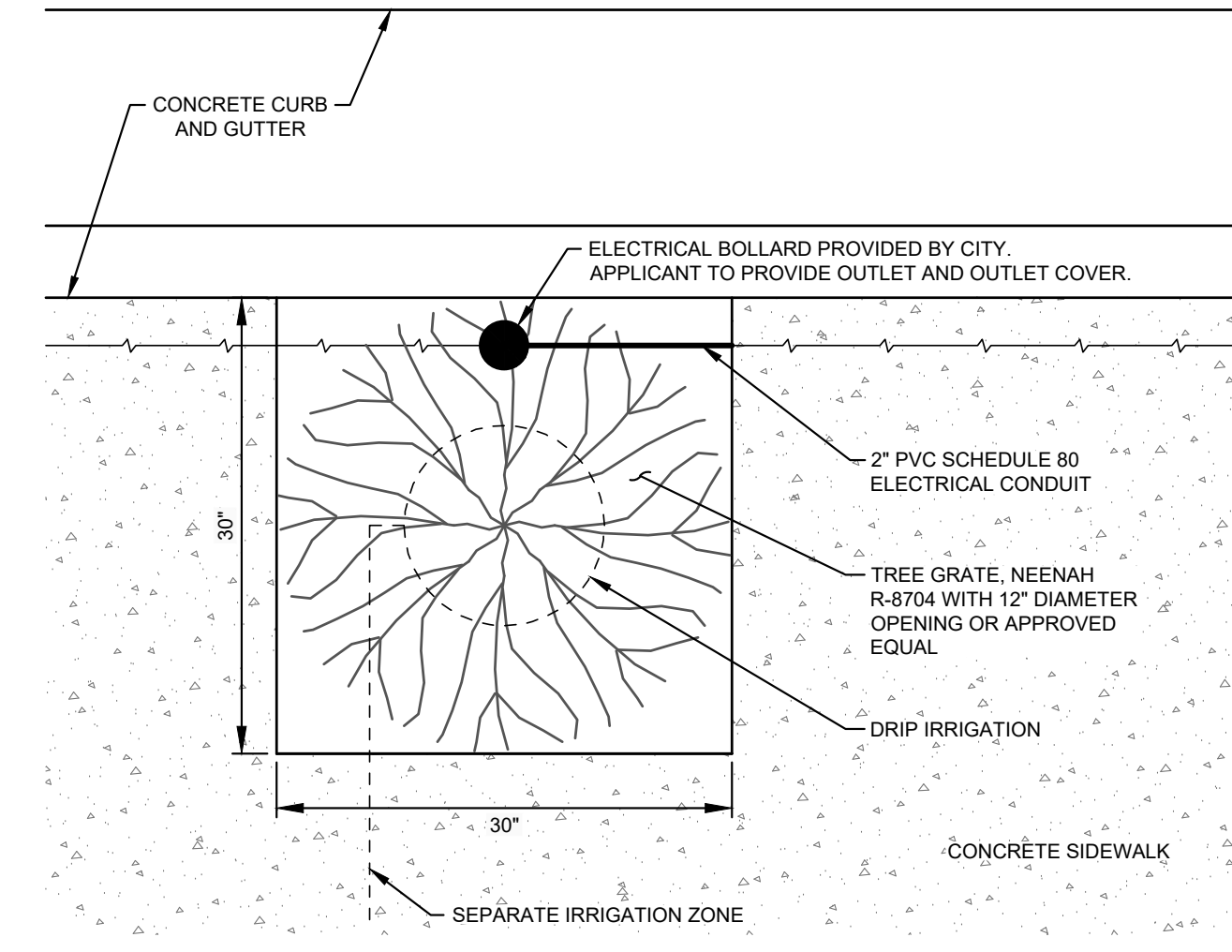
NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

4
C4.0 **LANDSCAPE DRYWELL DETAIL**
N.T.S.



- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

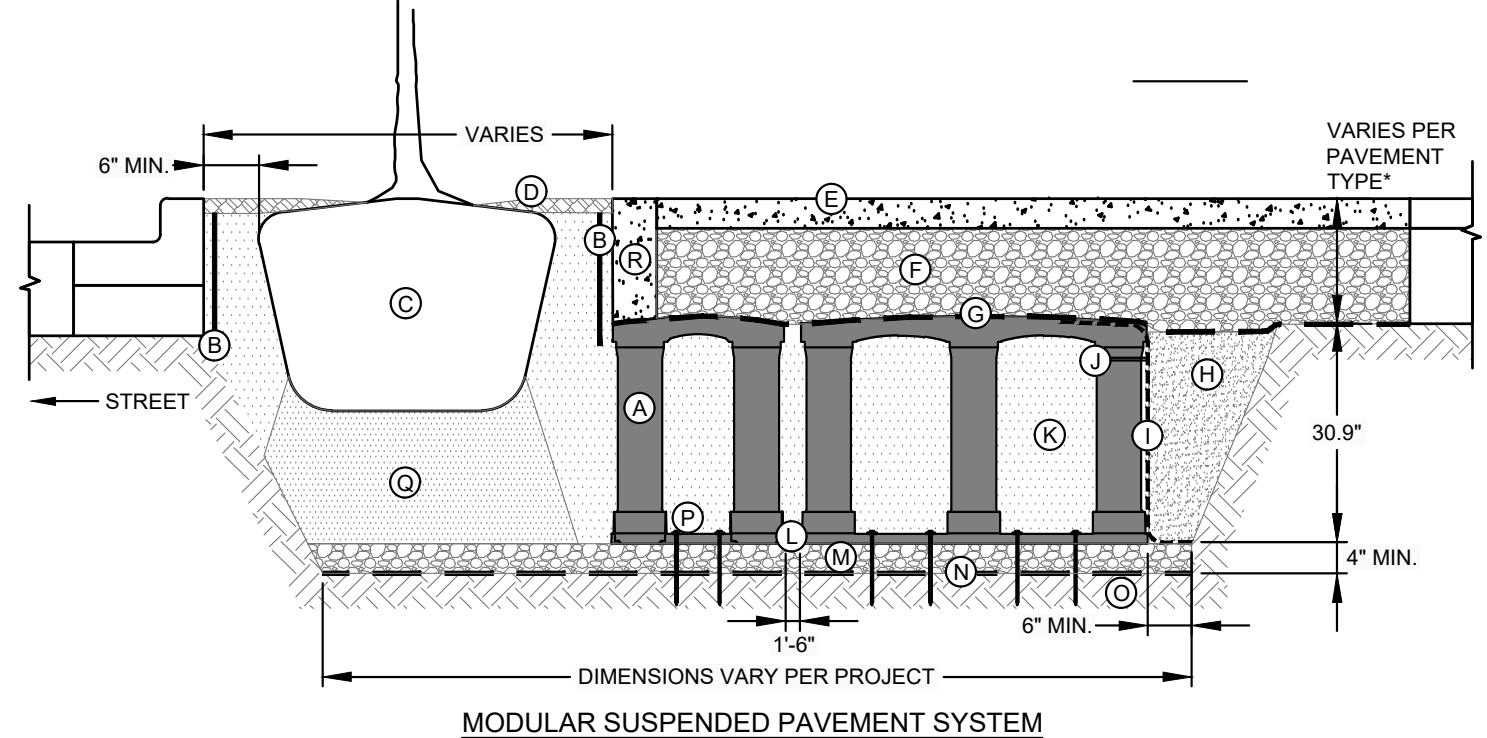
5
C0.2 **DRYWELL DETAIL (6'X6')**
N.T.S.



- NOTES:**
- TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
 - CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
 - APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
 - NO DIRECT BURIAL WIRE PERMITTED.
 - TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELLS SECTION VIEW, DETAIL 2.

PLAN VIEW

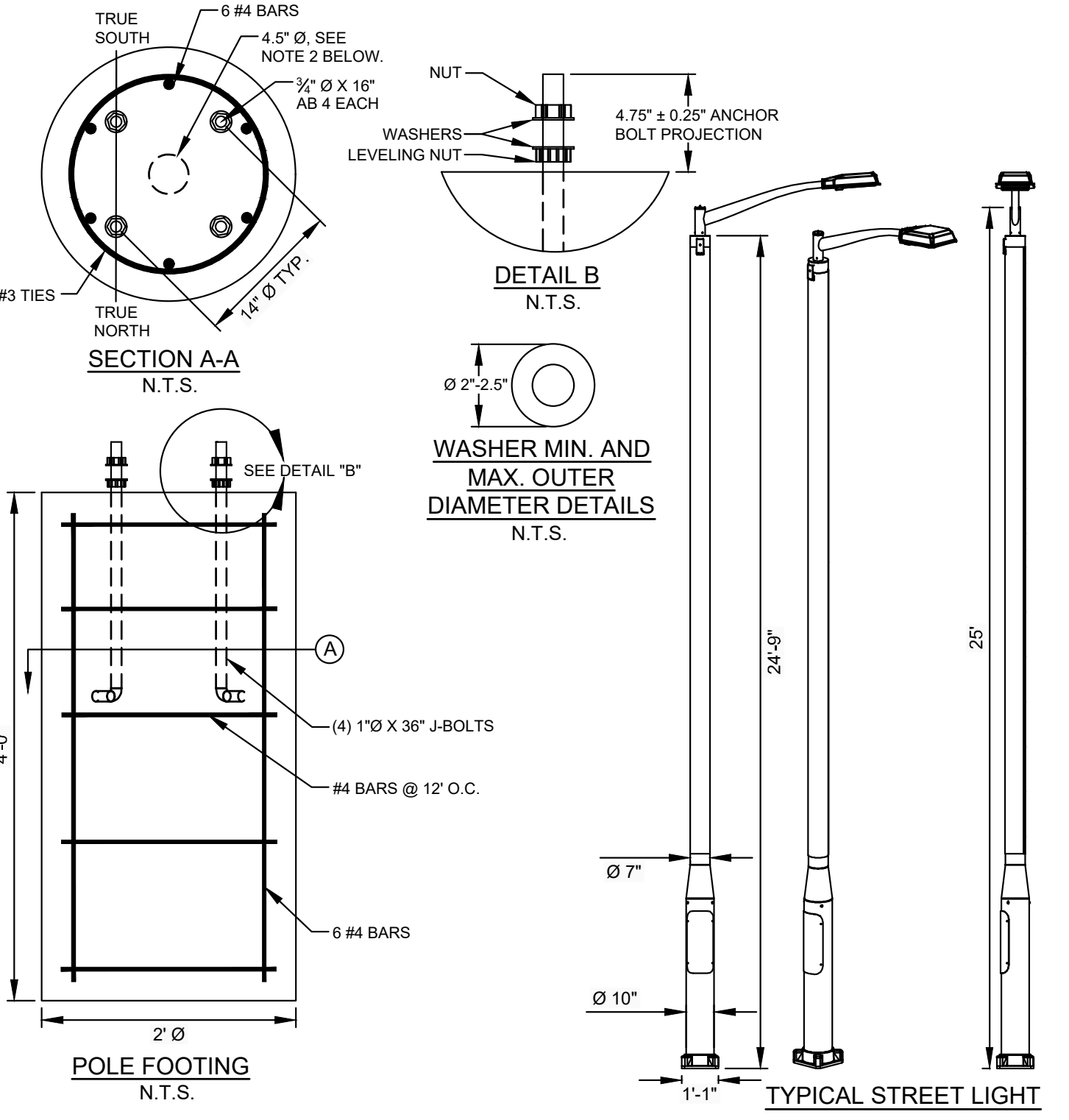
6
C0.2 **TREE WELL DETAILS**
N.T.S.



- KEY PLAN:**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - B. DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 - C. TREE ROOT PACKAGE, SIZE VARIES.
 - D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
 - E. SURFACE TREATMENT, PER PROJECT.
 - F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
 - G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
 - H. BACKFILL, PER PROJECT SPECIFICATIONS.
 - I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 - J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
 - K. PLANTING SOIL, PER PROJECT SPECIFICATIONS. COMPACTED TO 70-80% PROCTOR.
 - L. SILVA CELL BASE SLOPE, 10% MAX.
 - M. 4" (100 mm) MN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
 - N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
 - O. SUBGRADE, COMPACTED TO 95% PROCTOR.
 - P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
 - Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
 - R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

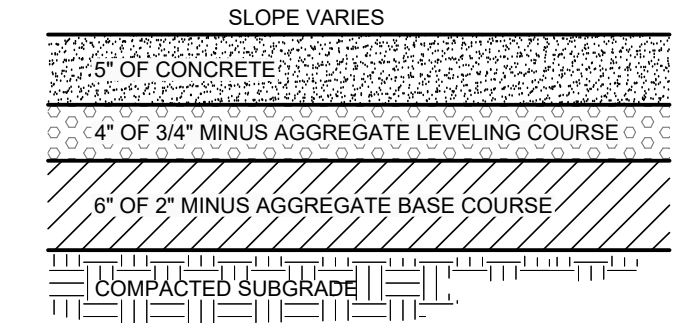
SECTION VIEW

- NOTES:**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
 - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

7
C0.2 **TYPICAL STREET LIGHT**
N.T.S.



- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 3/4" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C0.2 **TYPICAL CONCRETE SECTION**
N.T.S.

DETAIL SHEET
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
LOCATED WITHIN SEC 13, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLISTICE DEVELOPMENT

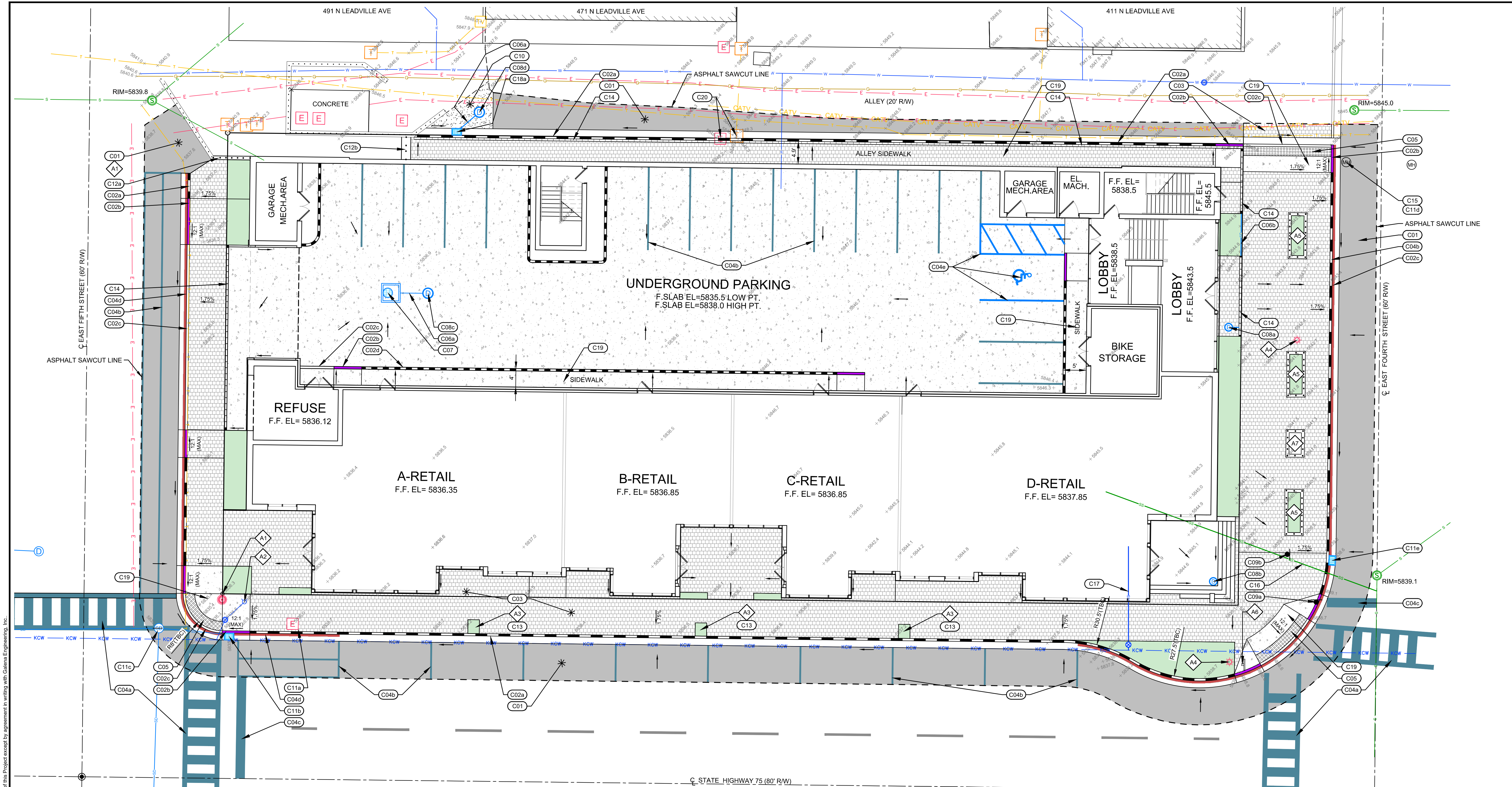
ORIGINAL SIGNED BY
SAMANTHA STAHLNECKER
DATE ORIGINAL SIGNED:
05/15/2020
PROFESSIONAL ENGINEER
LICENSED
17618
05/15/2020
STATE OF IDAHO
SAMANTHA STAHLNECKER
ORIGINAL ON FILE AT
OFFICE OF GALENA
ENGINEERING
(HAILEY, ID)

DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW	REVISIONS
NO.	DATE BY

PRELIMINARY NOT FOR CONSTRUCTION



LEGEND

EXISTING ITEMS		PROPOSED ITEMS	
Property Line	—	Asphalt	▨
Adjainer's Lot Line	—	Paver Sidewalk	▨
Centerline	—	6" Vertical Curb & Gutter	▨
Edge of Pavement	—	Zero Reveal Curb & Gutter	▨
5' Contour Interval	—	Curb Transition	▨
1' Contour Interval	—	6" Vertical Curb (no gutter)	▨
Cable TV Line	—	ADA Access Truncated Dome	▨
Buried Power Line	—	Street Light	⬆
Gas Line	—	Sign	⬆
Telephone Line	—	Drywell	⬆
Sewer Line	—	Sand & Grease Trap	⬆
Spring Water Line	—	Storm Drain	⬆
Ketchum City Water	—	Catch Basin	⬆
Storm Drain Manhole	⊙	Sawcut Line	▨
Fire Hydrant	⊙	Road Paint	▨
Water Valve	⊙	Grade	▨
Traffic Signal Light Base	⊙	Spot Elevation	⬆
Street Light	⊙	Trench Drain	▨
Water Manhole	⊙	Retaining/Landscape Wall	▨
Telephone Riser	⊙	Gravel	▨
Electrical Box	⊙	Concrete	▨

CONSTRUCTION KEY NOTES

C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.

C02 CONSTRUCT CONCRETE CURB AND GUTTER
 a. 6" VERTICAL C&G PER DETAIL 3 / C0.1.
 b. CURB TRANSITION PER DETAIL 4 / C0.1.
 c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C0.1.
 d. CONCRETE VERTICAL CURB PER DETAIL 5 / C0.1.

C03 CONSTRUCT HEATED PAVER SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C0.1.

C04 INSTALL ROAD STRIPING / PAINT
 a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
 b. YELLOW ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
 c. WHITE STOP BAR STRIPING (24" WIDE).
 d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 e. BLUE ADA PARKING STRIPING AND SYMBOL.

C05 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 7 / C0.1.

C06 STORM DRAIN.
 a. INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.3 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C0.3 FOR TRENCHING.
 b. INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%.

C07 INSTALL CONCRETE 350 GALLON SAND AND GREASE TRAP WITH 24" GRATE
 RIM = 5835.68
 INV. OUT = 5832.6

C08 DRYWELL:
 a. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
 RIM = 58
 INV. IN = 58
 b. CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
 RIM = 5837.63
 c. CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
 RIM = 5835.73
 INV. IN = 5832.4
 d. CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
 RIM = 58
 INV. IN = 58

C09 SIGNS:
 a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
 b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.

C10 CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS. REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION. SEE DETAIL 1 / C0.2.

C11 RESET UTILITY BOX LID/GRATE ELEVATION.
 a. POWER HANDHOLE/TRAFFIC SIGNAL CONTROL.
 ORIGINAL RIM = 5836.0
 NEW RIM = 5835.95
 b. CATCH BASIN GRATE.
 ORIGINAL RIM = 5835.42
 NEW RIM = 5835.26
 c. STORM DRAIN MANHOLE LID.
 ORIGINAL RIM = 5835.75
 NEW RIM = 5835.7
 d. PAVEMENT HYDRONIC HEATING MANHOLE LID.
 ORIGINAL RIM = 58_____
 NEW RIM = 58_____
 e. CATCH BASIN GRATE.
 ORIGINAL RIM = 5838.62
 NEW RIM = 5838.66

C12 CONSTRUCT RETAINING WALL:
 a. USE PREVIOUSLY REMOVED KEYSTONE BLOCKS.
 b. TYPE TO BE DETERMINED BY STRUCTURAL ENGINEER.

C13 INSTALL TREE WELL BOLLARDS AND MODULAR SUSPENDED PAVEMENT SYSTEM. SEE DETAIL 6 / 4.0.

C14 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C0.2

C15 DISCONNECT EXISTING PAVER HYDRONIC HEATING SYSTEM. CAP EXISTING TUBES FOR FUTURE CITY USE. COORDINATE WORK WITH CITY.

C16 INSTALL 6" PVC SEWER SERVICE.

C17 INSTALL 6" PVC WATER SERVICE.

C18 INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2.
 a. RIM = 58
 INV. OUT = 58

C19 CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 8 / C0.2.

C20 RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.

RETAIN AND PROTECT

A

- TRAFFIC SIGNAL.
- FIRE HYDRANT.
- TREE.
- STREET LIGHT.
- LANDSCAPE WALL / LANDSCAPING.
- PEDESTRIAN CROSSING SIGN.
- ART PEDESTAL.

B MATCH EXISTING LINES AND GRADES

C REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.

GRAPHIC SCALE

0 10 20
Scale in Feet

PRELIMINARY NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
 LOCATED WITHIN SEC 13, T4N, R17E & SEC 18, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT INFORMATION
 PREPARED FOR SOLISTICE DEVELOPMENT
 PROJECT NO: 2020-02-13.dwg 02/13/20 2:59:00 PM

ORIGINAL SIGNED BY SAMANTHA STAHLNECKER
 DATE ORIGINAL SIGNED: 05/15/2020

PROFESSIONAL ENGINEER LICENSED 17618
 STATE OF IDAHO
 SAMANTHA STAHLNECKER

ORIGINAL ON FILE AT OFFICE OF GALENA ENGINEERING (HAILEY, ID)

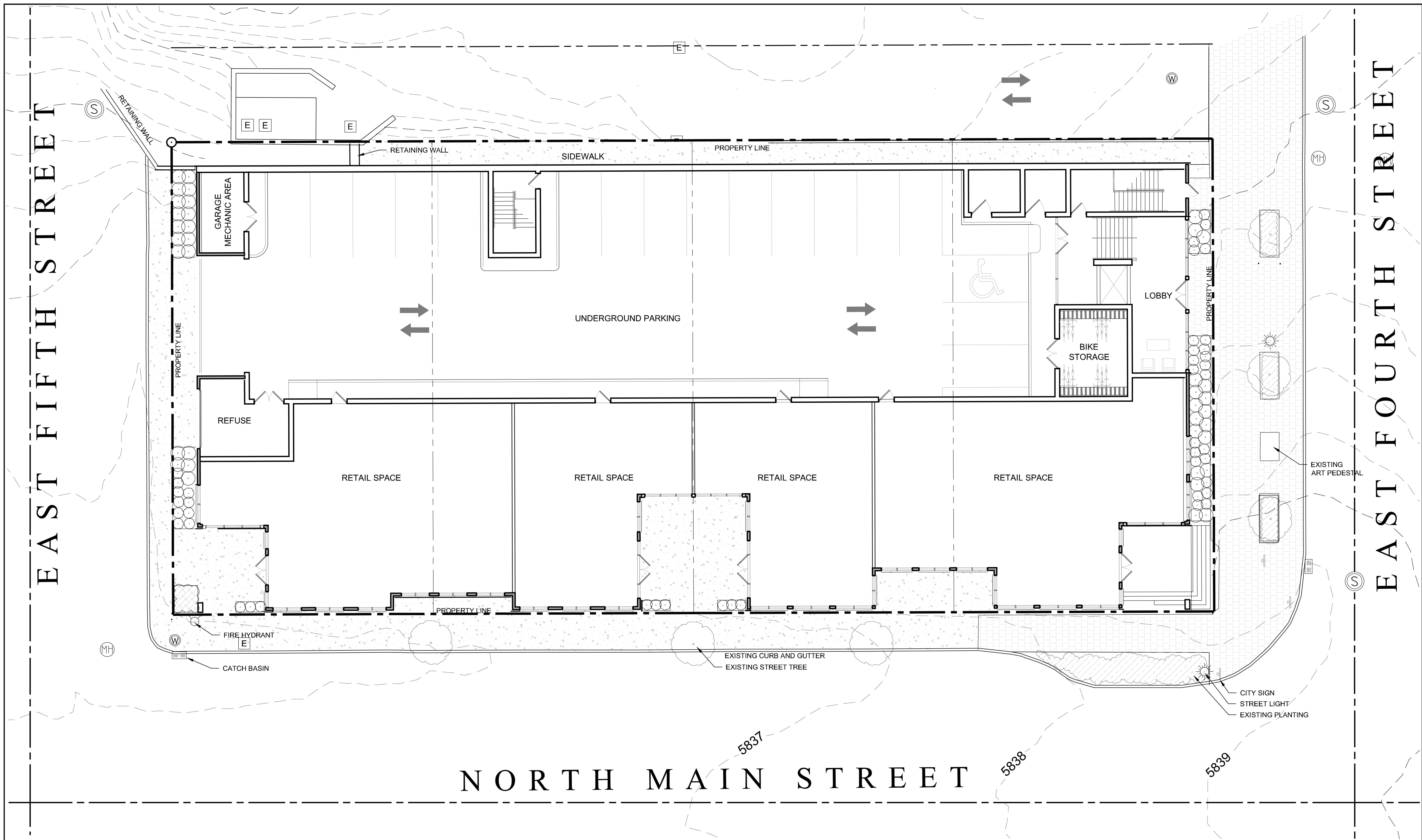
DESIGNED BY
 CT DRAWN BY
 SMF CHECKED BY

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW

NO.	DATE	BY	REVISIONS

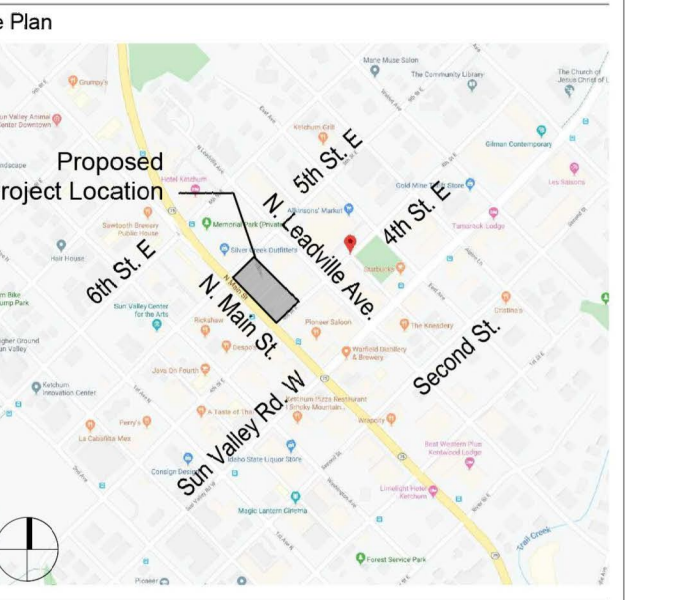
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MIXED USE DEVELOPMENT
 4TH & MAIN ST.
 KETCHUM, BLAINE COUNTY,
 IDAHO 84117

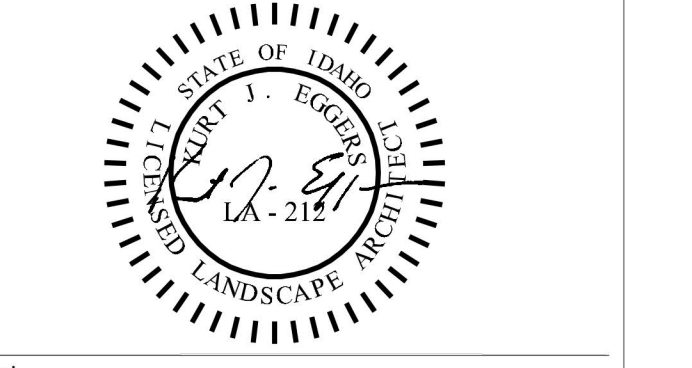
Prepared For: SOLSTICE DEVELOPMENT
 4686 HIGHLAND DR. #224
 MILLCREEK, UT 84117

P H ARCHITECTS
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com



Project Team:
 Architect and Planner:
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 Newtown, Connecticut 06470
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 Halley, Utah 83333
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 560 North Second Avenue
 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax

EGGERS ASSOCIATES, P.A.
 landscape architecture
 P.O. Box 959
 Ketchum, ID. 83340
 T (208) 725-0988
 F (208) 725-0972



Seal
 LICENSED ARCHITECT
 AR 986736
 PETER PAULOS JR.
 STATE OF IDAHO

Revisions

No.	Date	Issue
4.	2010/05/12	GRADING COORDINATION
5.	2010/05/14	COMMISSION RESUBMISSION

LANDSCAPE PLAN LEVEL 01

Date: 10/06/20 Project No.: 10-001
 Scale: 1"=10'-0" CAD File Name:
 Design: Checked:
 Sheet No.: **L 1.0**
 P H ARCHITECTS, LLC

Plan Legend

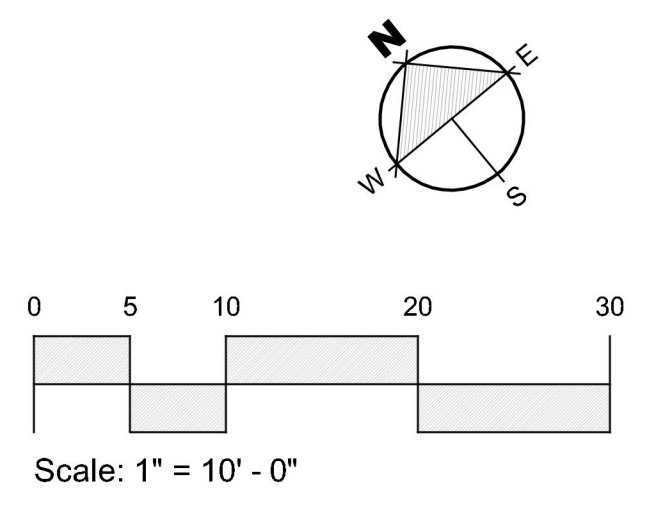
	Property Line
	Utilities
	Light Post
	Side Walk Pavers
	Concrete

Existing Tree Legend

	Existing Deciduous Street Tree
	Existing Street Planting

Plant Legend

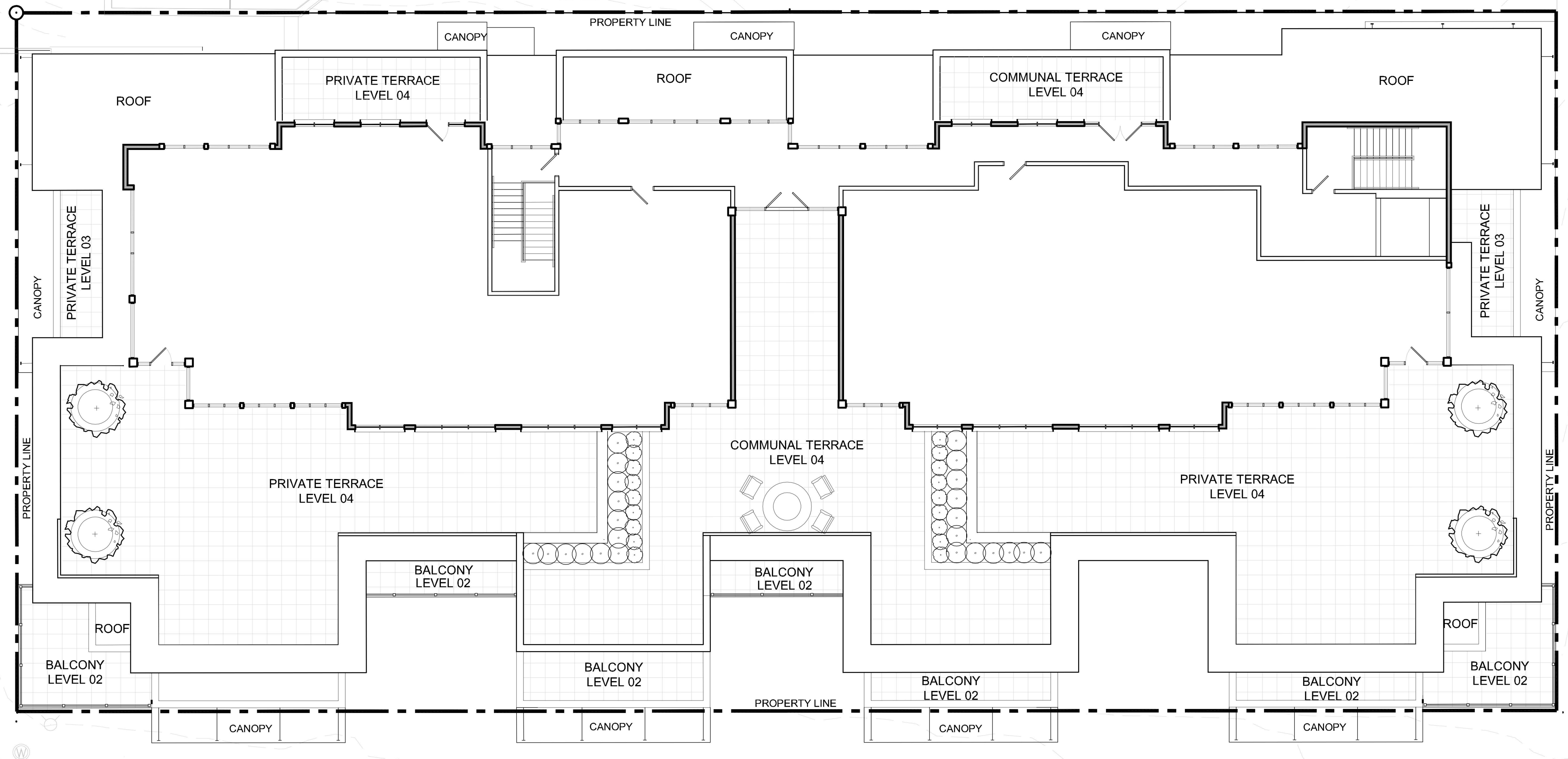
Qty.	Abb.	Species
100		Deciduous Shrubs
30 sq. ft.		Groundcover Various



EAST FIFTH STREET

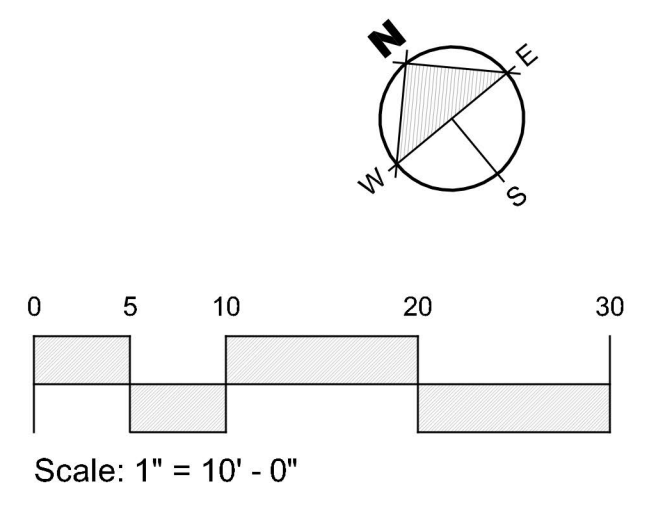
EAST FOURTH STREET

NORTH MAIN STREET



Plan Legend	
	Property Line
	Utilities
	Light Post
	Pavers

Plant Legend	
Qty.	Abbv. Species
4	Deciduous Trees
50	Deciduous Shrubs



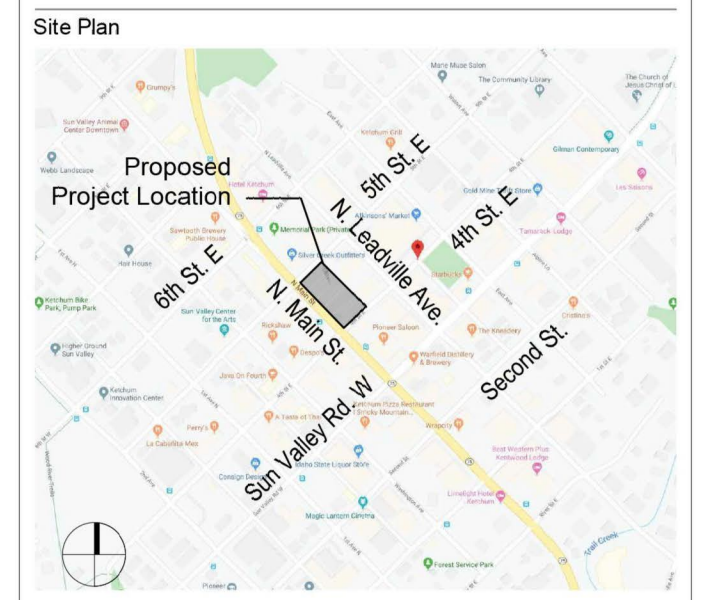
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P H ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



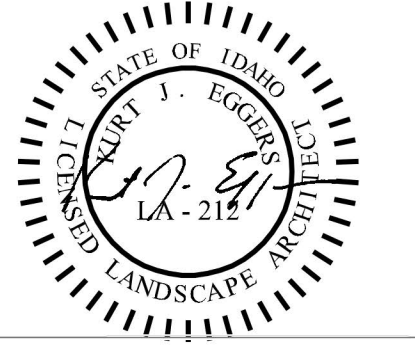
Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

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Landscape Architect:
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560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0888 tel.
(208) 725-0972 fax

EGGERS ASSOCIATES, P.A.
landscape architecture
P.O. Box 955
Ketchum, ID 83340
T (208) 725-0988
F (208) 725-0972



Seal

LICENSED ARCHITECT
AR 986736
PETER PAULOS, JR.
STATE OF IDAHO

Revisions	Date	Issue
4.	2010/05/12	GRADING COORDINATION
5.	2010/05/14	COMMISSION RESUBMISSION

LANDSCAPE PLAN LEVEL 04

Date: 10/06/20 Project No.: 20-001
Scale: 1"=10'-0" CAD File Name:
Design: Checked:
Sheet No.:

L 1.4

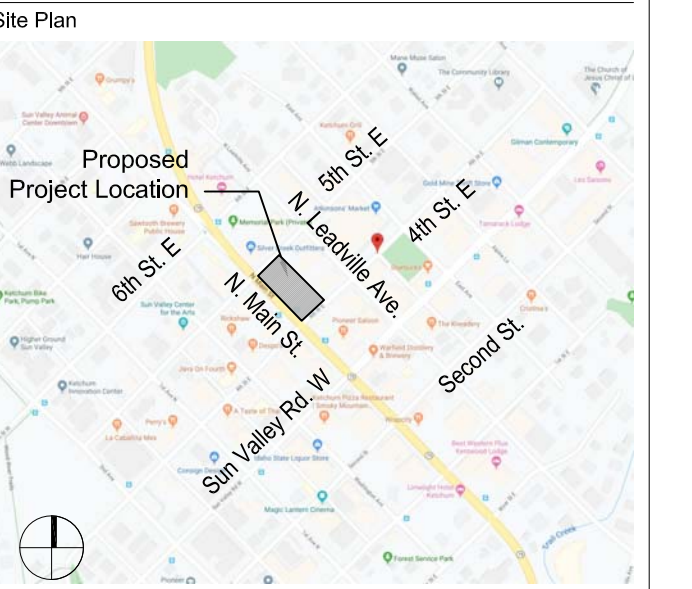
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P|H ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



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560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
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LICENSED ARCHITECT
AR 986738
Peter Paulos Jr.
PETER PAULOS JR.
STATE OF IDAHO

Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
2.	2020/01/29	ELEVATION REVISIONS
3.	2020/05/12	GRADING COORDINATION
4.	2020/05/14	COMMISSION RESUBMISSION
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/05/25	COMMISSION RESUBMISSION

FIRST FLOOR PLAN

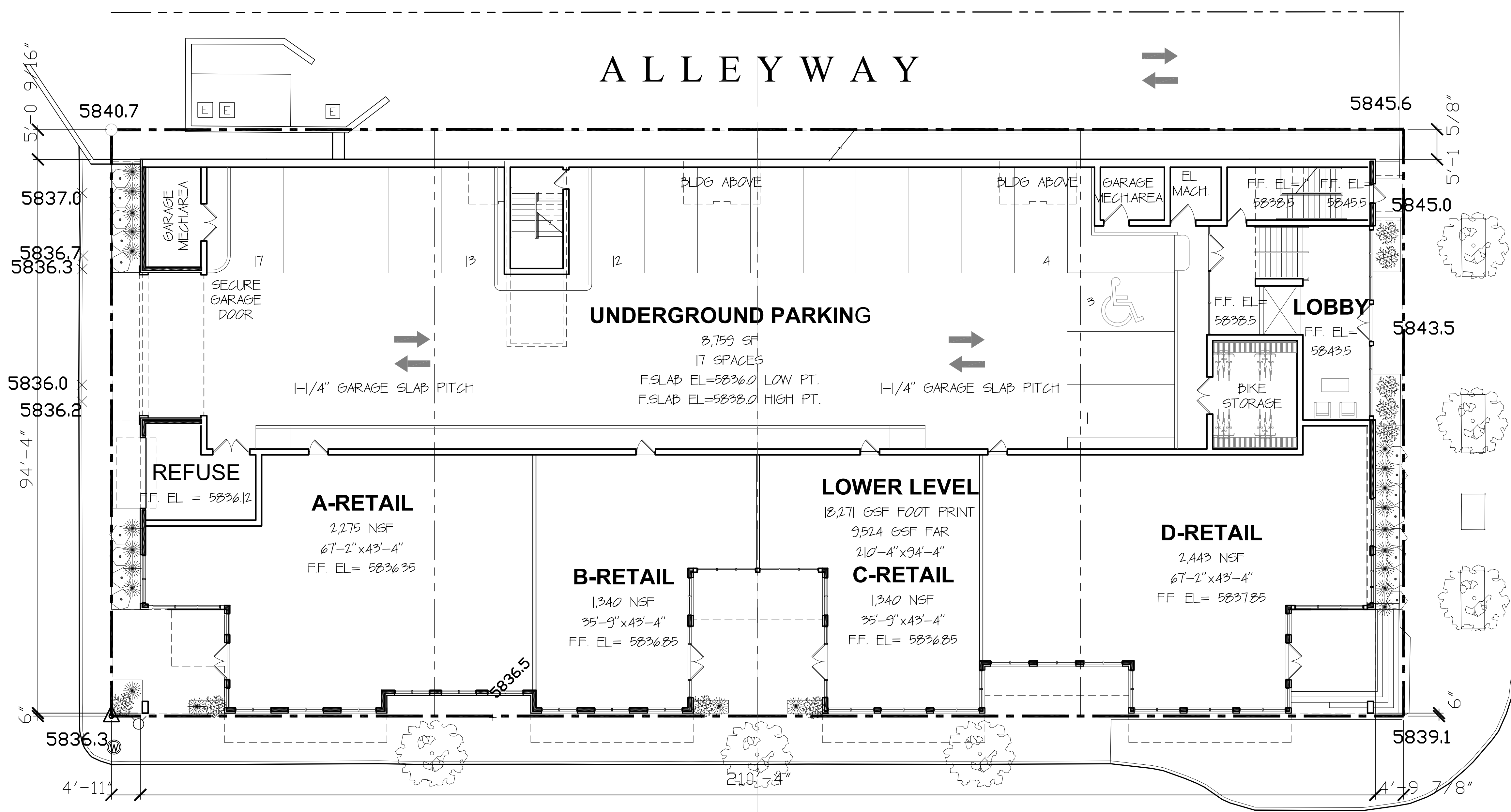
Date: 2020/01/27 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:
A1.0

EAST FIFTH STREET

EAST FOURTH STREET

NORTH MAIN STREET

ALLEYWAY



FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

GENERAL BUILDING INFORMATION		FLOOR	GROSS SQUARE FOOTAGE PER AREA	GROSS SQUARE FOOTAGE PER PAR	UNITS/ BEDROOM COUNT	REMARKS
OCCUPANCY CLASS RETAIL - MERCANTILE USE (M) CONDOMINIUMS - RESIDENTIAL USE (R-2) UNDERGROUND PARKING - LOW-HAZARD STORAGE USE (S-2)	BUILDING CONSTRUCTION PROTECTED WOOD CONSTRUCTION (TYPE V-A)	BUILDING VOLUME FOUR STORES MAX. 17472 SF PER FLOOR PLATE	MAIN LEVEL	8799 SQ. FT. UNDERGROUND PARKING 7875 SQ. FT. RETAIL SPACE 894 SQ. FT. LOBBIES 902 SQ. FT. CIRCULATION	2554 SQ. FT. (INCLUDING MAIN LEVEL CIRCULATION, ELEVATOR MACHINE ROOM & REFUSE)	N/A
			SECOND LEVEL	5280 SQ. FT. ALVING (COMMUNITY HOUSING) 2023 SQ. FT. ALVING (CONDOS) 471 SQ. FT. CIRCULATION 1349 SQ. FT. CORRIDOR	4649 SQ. FT. (EXCLUDING 3RD FLOOR STAIRWELLS & ELEVATOR)	(8)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (2)- 2 BEDROOM UNITS (CONDOS)
			THIRD LEVEL	4640 SQ. FT. ALVING (CONDOS) 862 SQ. FT. CIRCULATION 1251 SQ. FT. CORRIDOR 1204 SQ. FT. PRIVATE ROOF TERRACE	4640 SQ. FT. (EXCLUDING 3RD FLOOR STAIRWELLS FROM 2ND FLOOR & ELEVATOR)	(8)- 2 BEDROOM UNITS (CONDOS)
			FOURTH LEVEL	5731 SQ. FT. ALVING (CONDOS) 92 SQ. FT. CIRCULATION 1299 SQ. FT. CORRIDOR 9499 SQ. FT. ROOF TERRACE	4640 SQ. FT. (EXCLUDING 4TH FLOOR STAIRWELLS & ELEVATOR)	(3)- 3 BEDROOM UNITS (CONDOS)
TOTAL			8799 SQ. FT. UNDERGROUND PARKING 7875 SQ. FT. RETAIL SPACE 894 SQ. FT. LOBBIES 2499 SQ. FT. CIRCULATION 5280 SQ. FT. ALVING (COMMUNITY HOUSING) 2023 SQ. FT. ALVING (COMMUNITY HOUSING) 471 SQ. FT. CORRIDOR 1349 SQ. FT. ROOF TERRACE	TOTAL PROVIDED PER PAR: 4640 SQ. FT. PAR: 121 (TOTAL GROSS SQ. FT.: 18234 SQ. FT.)	(8)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (2)- 2 BEDROOM UNITS (CONDOS) (3)- 3 BEDROOM UNITS (CONDOS) 17 TOTAL UNITS	LOT SIZE: 11289 SQ. FT. MAXIMUM PAR: 125 X 11289 = 141755 SQ. FT. COMMUNITY HOUSING REQUIRES 54755 MIN. GROSS AREA (20% OF AREA REQUIRED) (9)- 2 BEDROOM UNITS (CONDOS) WITH 4472 SQ. FT. MIN. NET SQ. FT. COMMUNITY HOUSING REQUIRED 5028 SQ. FT. > 4472 SQ. FT. REQUIRED
PARKING COUNT						
	1 BEDROOM UNITS (COMMUNITY HOUSING)	(8)- 1 BEDROOM UNITS	0 PARKING/UNIT	0 PARKING NEEDED	0 PARKING NEEDED PER COMMUNITY HOUSING EXEMPTION	
	2 BEDROOM UNITS (CONDOS)	(7)- UNITS UNDER 2021 SF (8)- UNITS OVER 2021 SF	1 PARKING/UNIT	7 PARKING NEEDED 10 PARKING NEEDED		
	RETAIL	8799 NSQ. FT. RETAIL	1 PARKING/1000 SQ. FT. (INITIAL REDUCTION OF 5000 SQ. FT.)	4 PARKING NEEDED	4 ON STREET PARKING PROVIDED ++EXACT ON STREET PARKING TBD++	
				4 TOTAL PARKING NEEDED	4 ON STREET PARKING PROVIDED ++EXACT ON STREET PARKING TBD++	

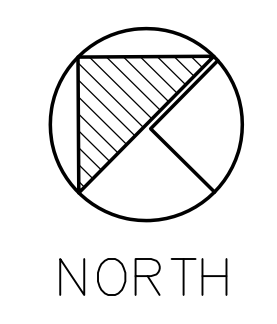
TOTAL GROSS SQ. FT. W/O/UT GARAGE: 45477 SQ. FT.
VS.
MARKET RATE 6%: 25849 (6049)
DISCOUNT 6%: 5028 (2525)
RETAIL LEASE 5%: 7364 (4425)
COMMON SF: 9419 (2025)

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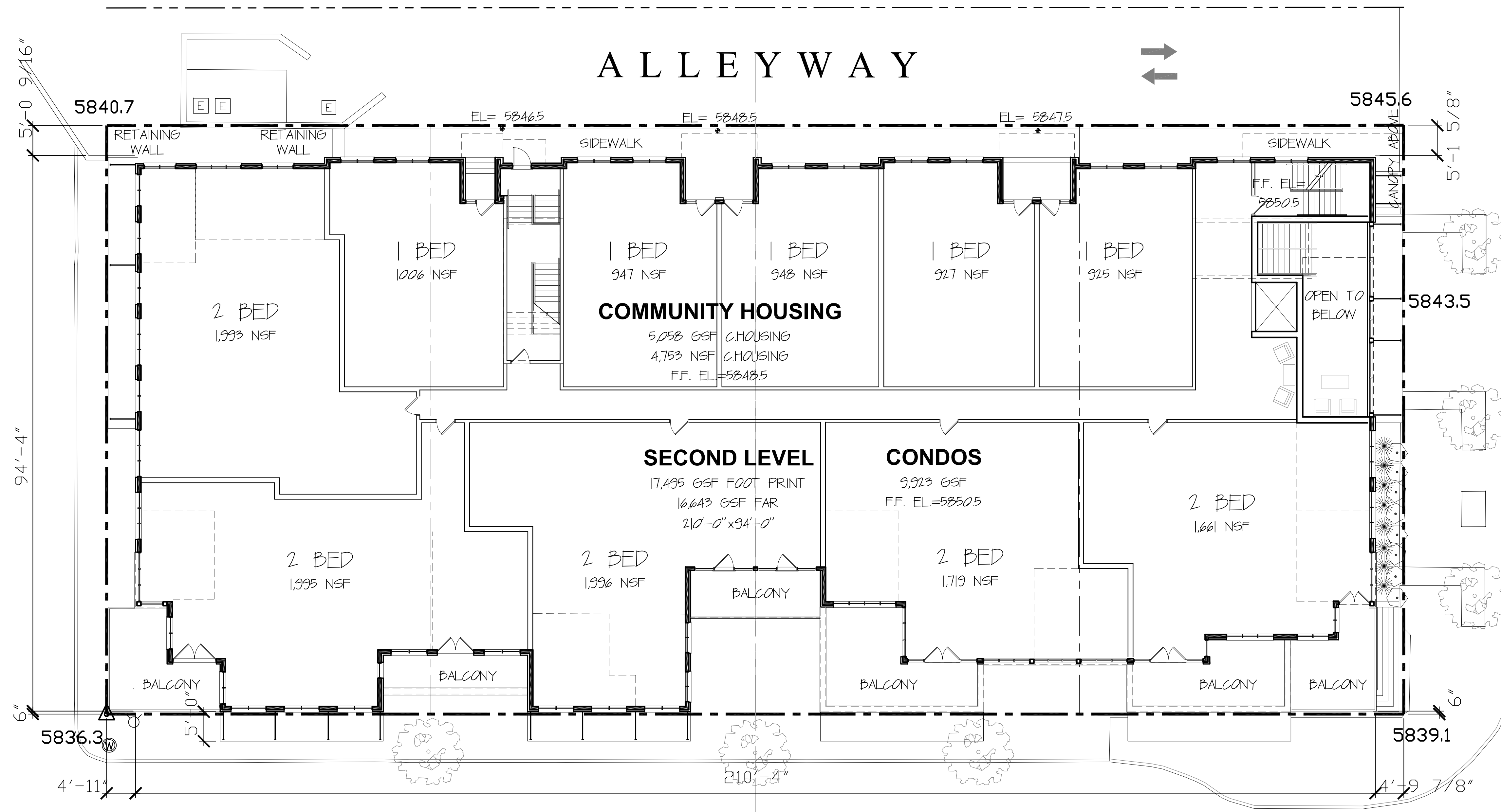
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VERIFY ALL DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES.

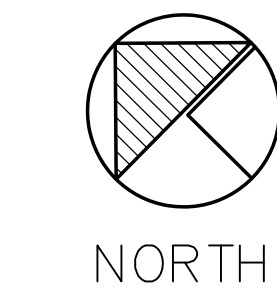


EAST FIFTH STREET

EAST FOURTH STREET



1 SECOND FLOOR PLAN
 ALL SCALE: 3/32"=1'-0"



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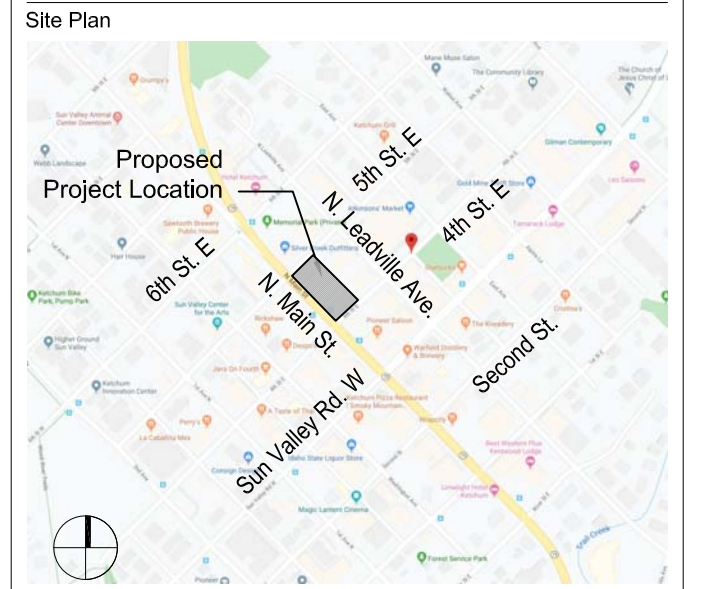
MIXED USE DEVELOPMENT

4TH & MAIN ST.
 KETCHUM, BLAINE COUNTY,
 IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
 4686 HIGHLAND DR. #224
 MILLCREEK, UT 84117

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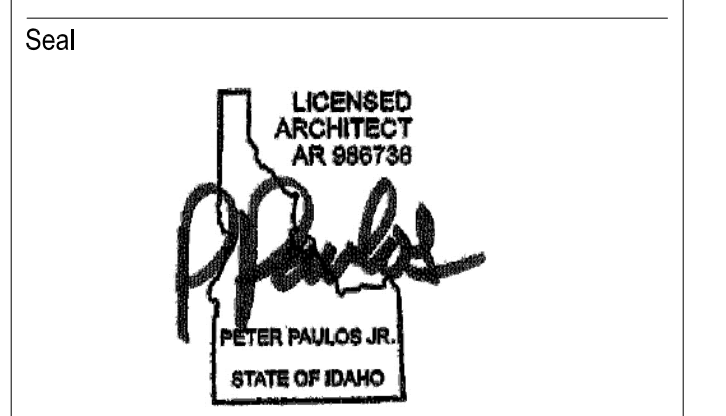
38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com



Project Team:
 Architect and Planner:
 P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax

Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Hailey, Utah 83333
 (208) 788-1705 tel.

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 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax



No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS
2.	2010/01/25	ELEVATION REVISIONS
5.	2010/05/14	COMMISSION RESUBMISSION
6.	2010/09/25	COMMISSION RESUBMISSION

SECOND FLOOR PLAN

Date: 2010/01/27 Project No.: 20-00
 Scale: 3/32"=1'-0" CAD File Name: base-floor plans
 Design: sbz Checked:
 Sheet No.:

A1.1

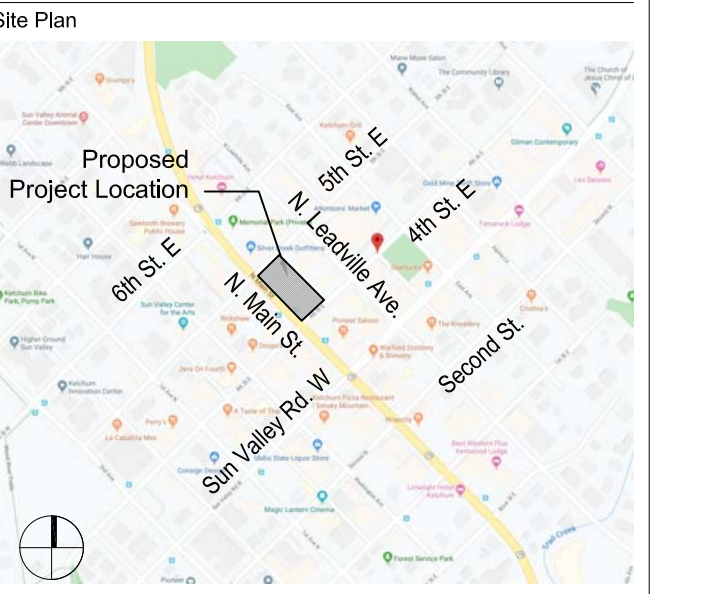
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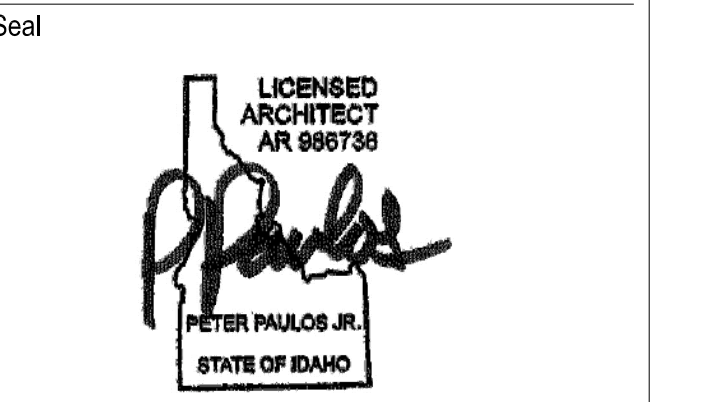
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Newtown, Connecticut 06470
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No.	Date	Issue
1.	2020/02/05	CLIENT REVISIONS
2.	2020/04/29	ELEVATION REVISIONS
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/09/25	COMMISSION RESUBMISSION

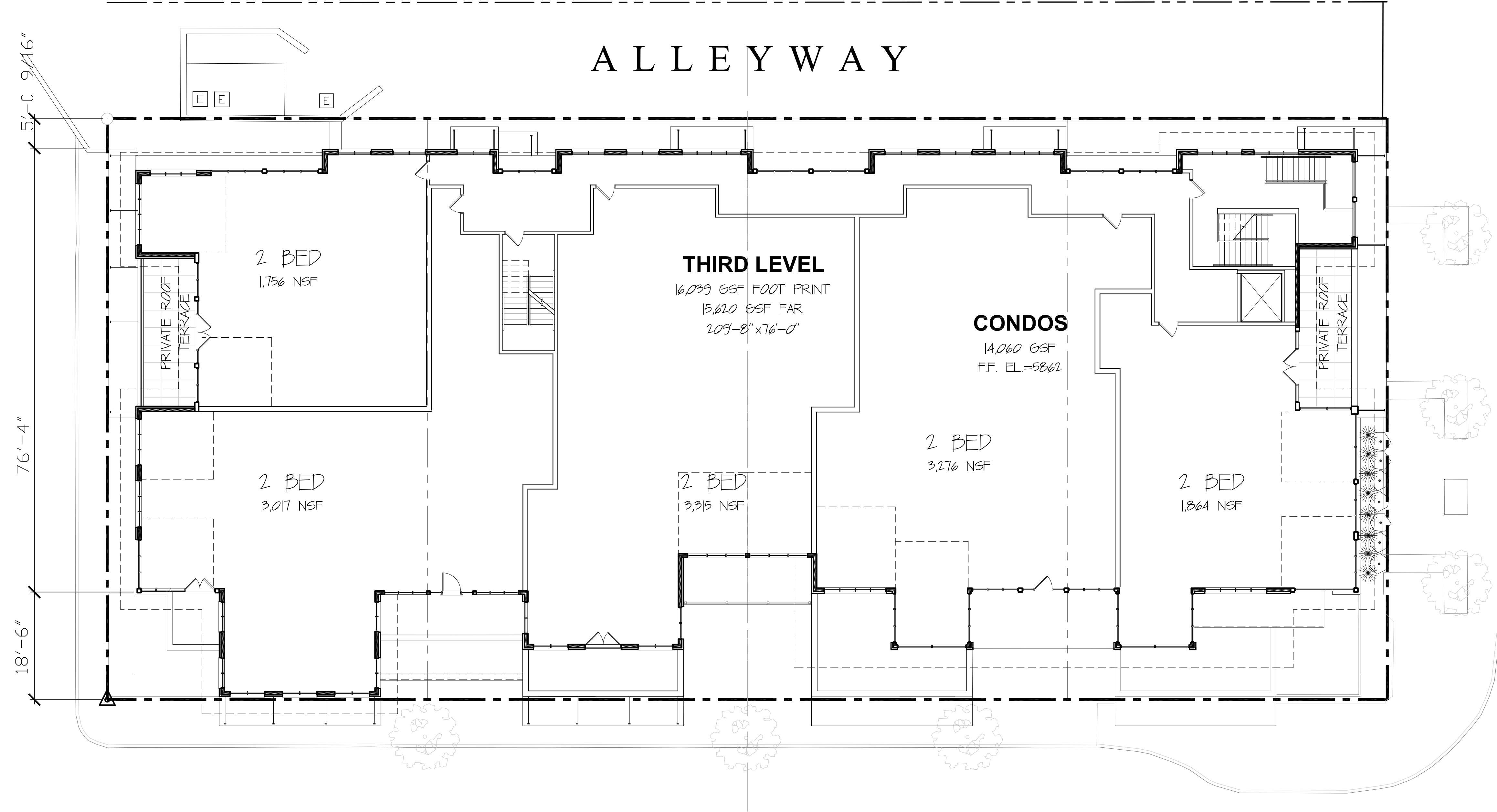
THIRD FLOOR PLAN

Date: 2020/01/27 Project No.: 20-00
Scale: 3/32"=1'-0" CAD File Name: base-floor-plans
Design: sbz Checked:
Sheet No.:

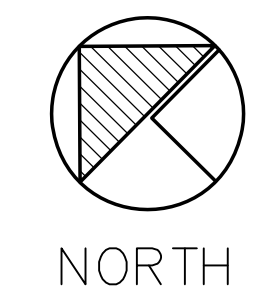
A1.2

EAST FIFTH STREET

EAST FOURTH STREET



1 THIRD FLOOR PLAN
A1.2 SCALE: 3/32"=1'-0"



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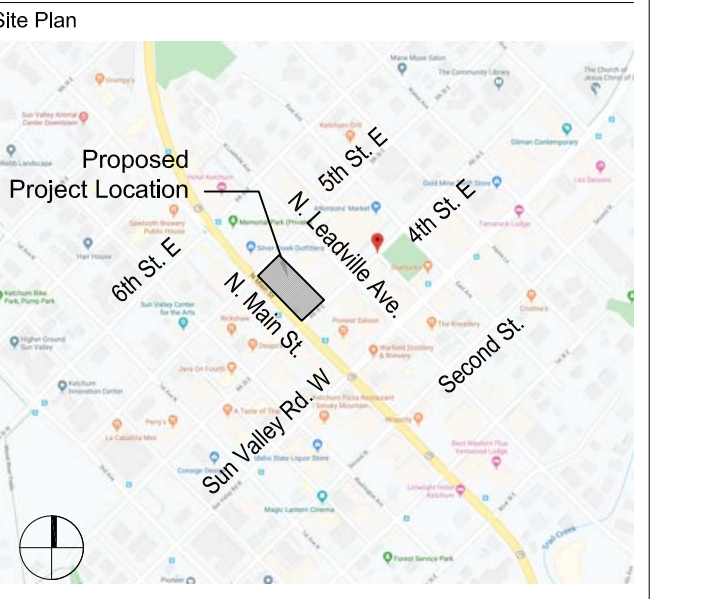
MIXED USE DEVELOPMENT

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KETCHUM, BLAINE COUNTY,
IDAHO 84117

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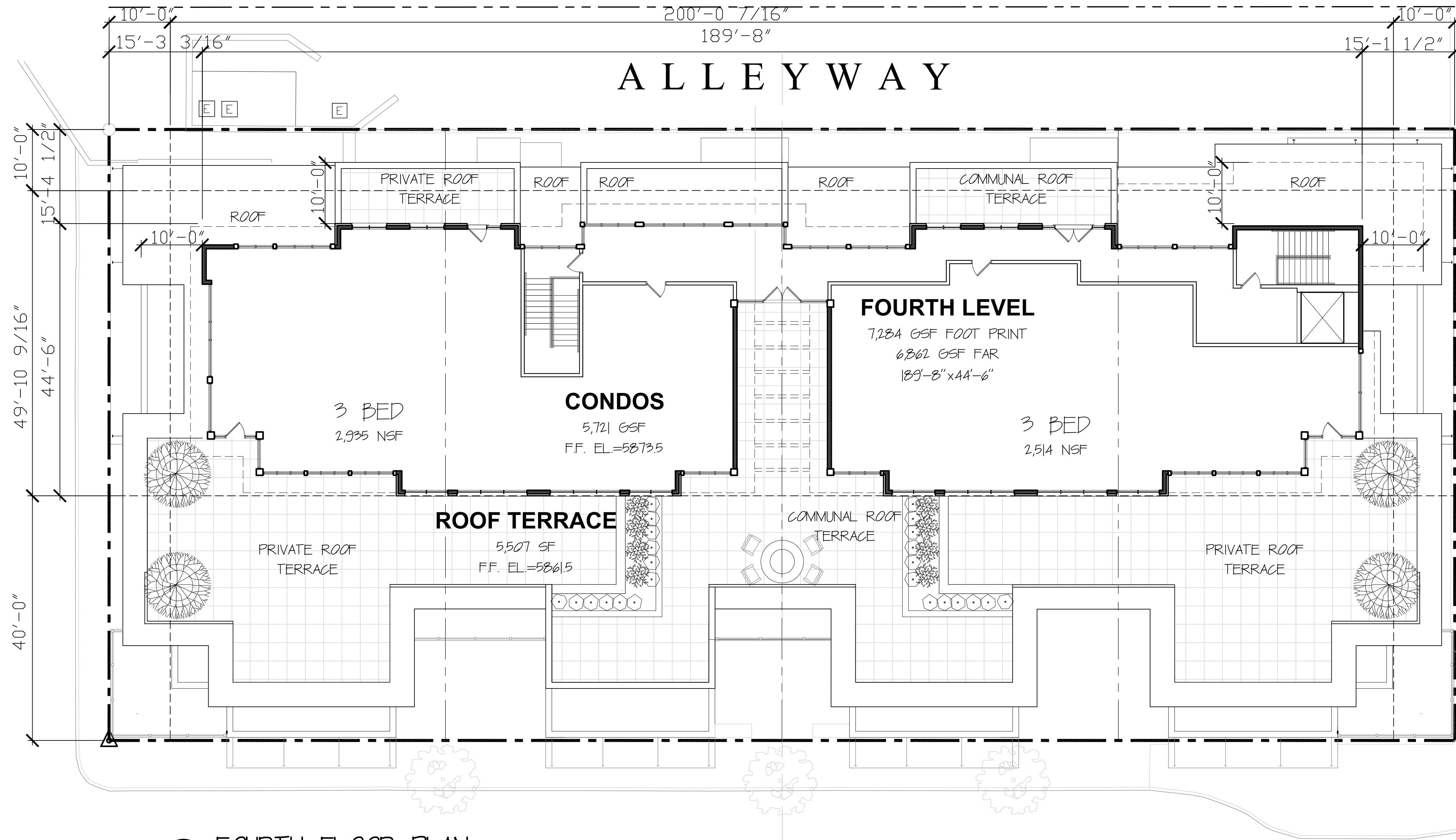
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EAST FIFTH STREET

EAST FOURTH STREET



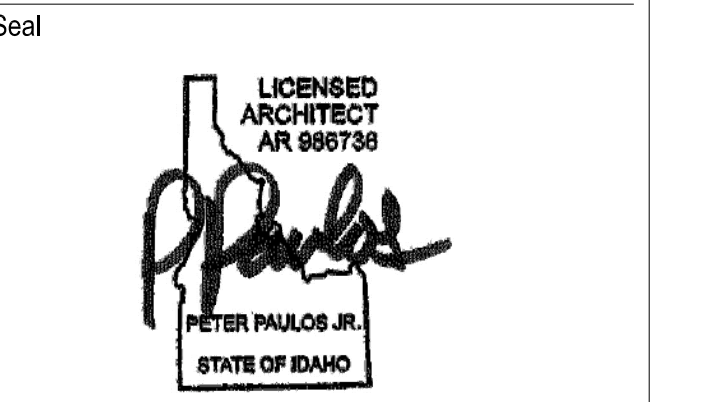
1 FOURTH FLOOR PLAN
A1.3 SCALE: 3/32"=1'-0"

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Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
3.	2020/04/29	ELEVATION REVISIONS
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/09/25	COMMISSION RESUBMISSION

FOURTH FLOOR PLAN

Date: 2020/01/27 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A1.3

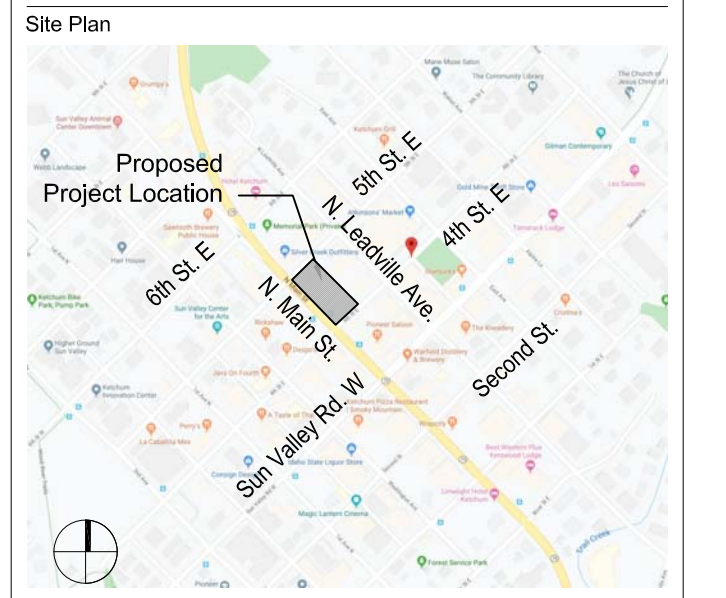
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

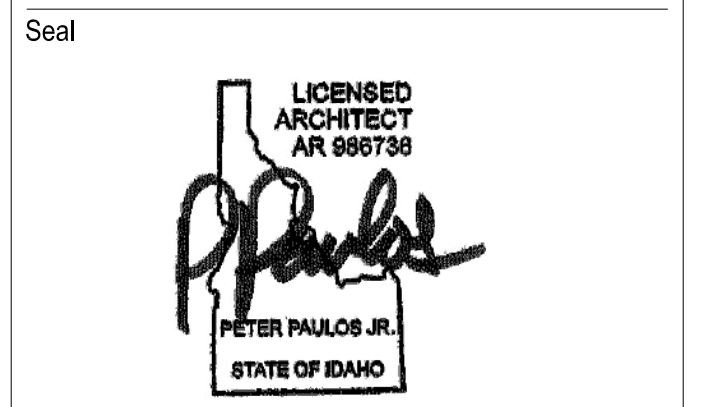
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax
Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hailey, Utah 83333
(208) 788-1705 tel.
Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

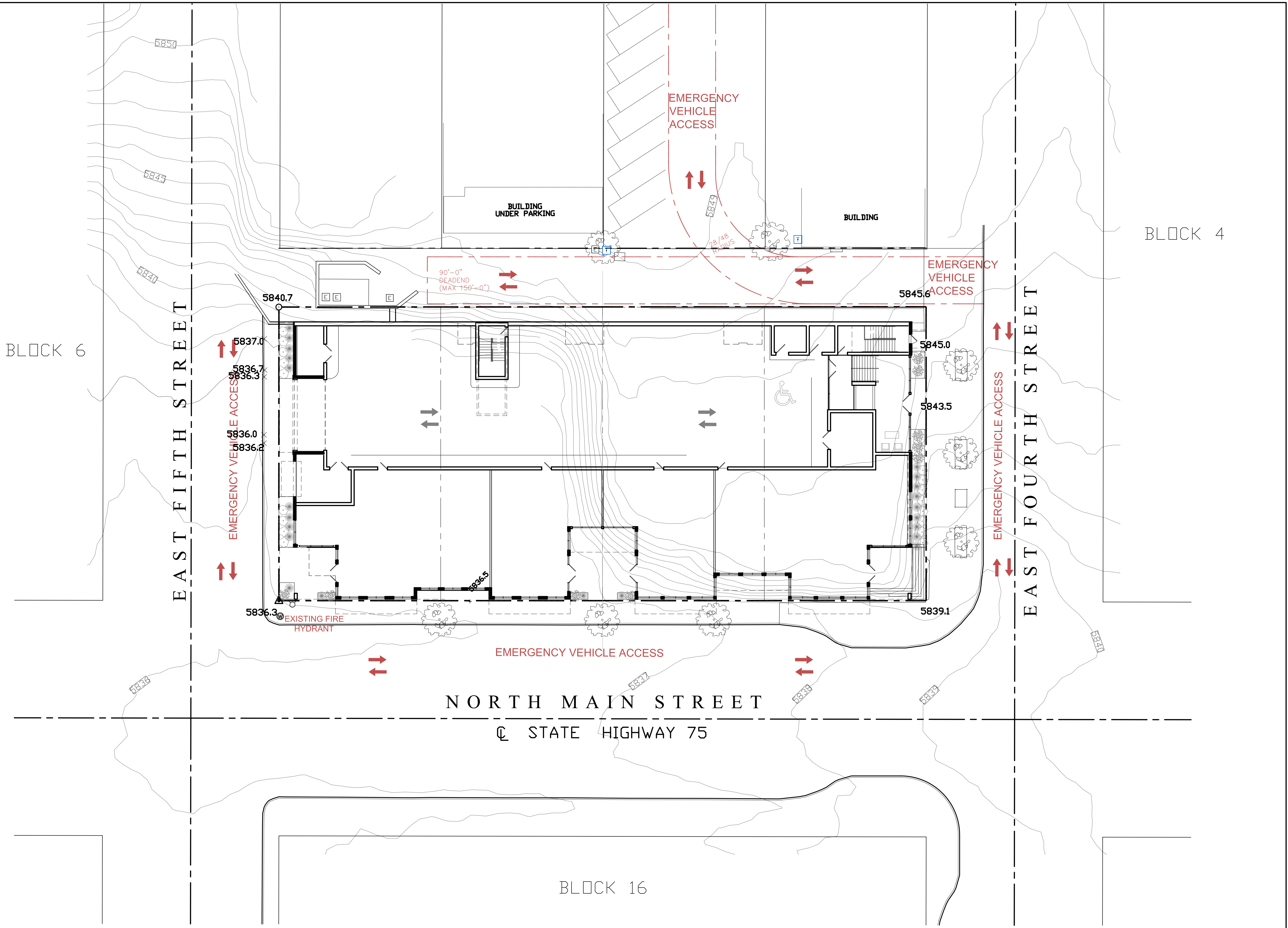


No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS
3.	2010/01/29	ELEVATION REVISIONS
5.	2010/05/14	COMMISSION RESUBMISSION
6.	2010/09/15	COMMISSION RESUBMISSION

EMERGENCY VEHICLE ACCESS

Date: 2010/01/07 Project No.: 20-001
Scale: 1/16" = 1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A1.4



1 EMERGENCY VEHICLE ACCESS
SCALE: 1/16" = 1'-0"

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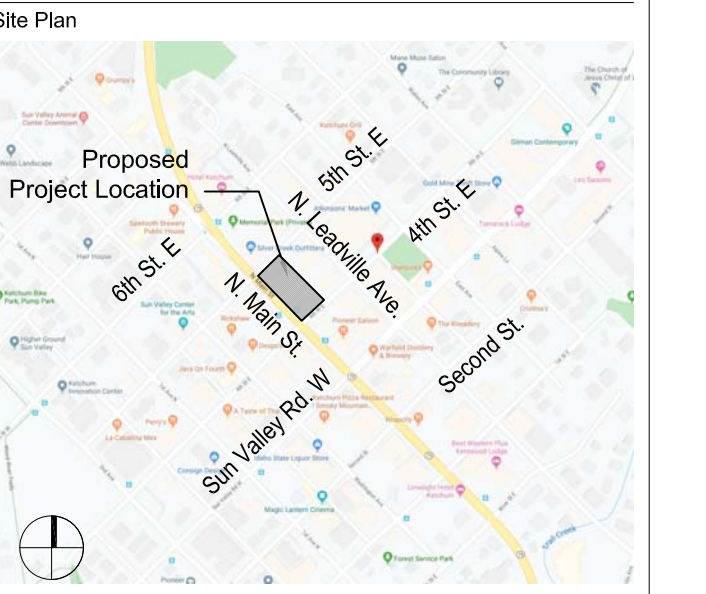
MIXED USE DEVELOPMENT

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KETCHUM, BLAINE COUNTY,
IDAHO 84117

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P | H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
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317 North River Street
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(208) 725-0988 tel.
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EAST FIFTH STREET



EAST FOURTH STREET

NORTH MAIN STREET
Q STATE HIGHWAY 75

- MAIN LEVEL
- 2ND FLOOR
- 3RD FLOOR
- 4TH FLOOR

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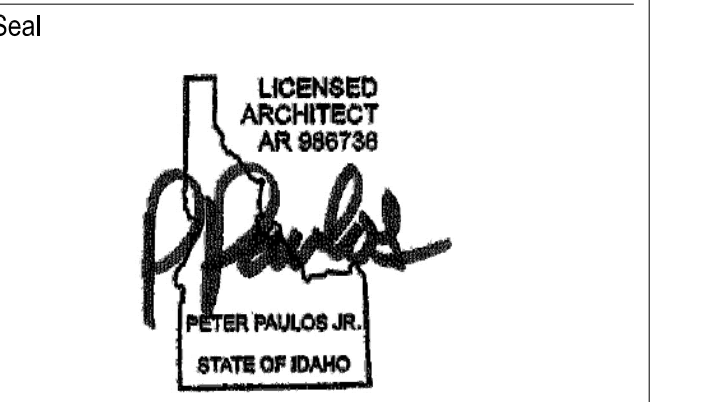
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PROPOSED FLOOR FOOTPRINTS—
MAIN LEVEL FLR VS 2ND FLR
VS 3RD FLR VS 4TH FLR

BUILDING FOOTPRINT DIA.
SCALE: 1/16"=1'-0"



No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS
2.	2010/03/09	PER COMMISSION COMMENTS
3.	2010/04/29	ELEVATION REVISIONS
5.	2010/05/14	COMMISSION RESUBMISSION
6.	2010/09/25	COMMISSION RESUBMISSION

BUILDING FOOTPRINT DIAGRAM

Date: 2010/09/09 Project No.: 20-001
Scale: 1/16"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A1.5

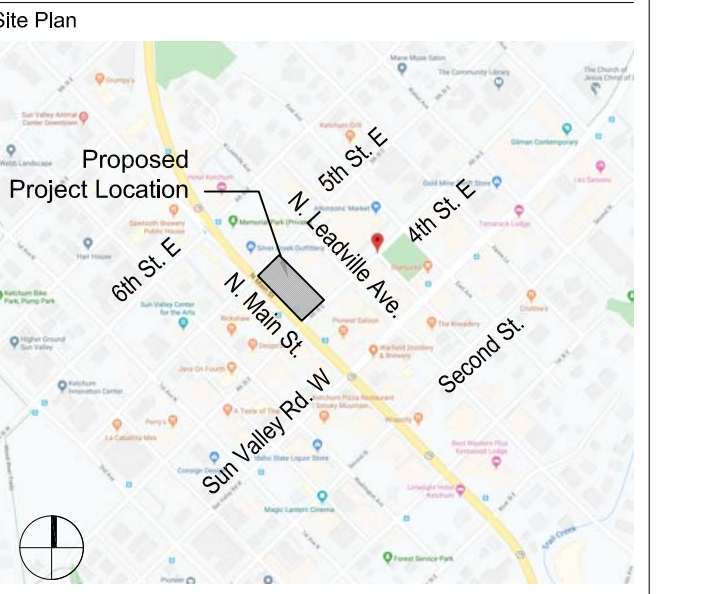
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

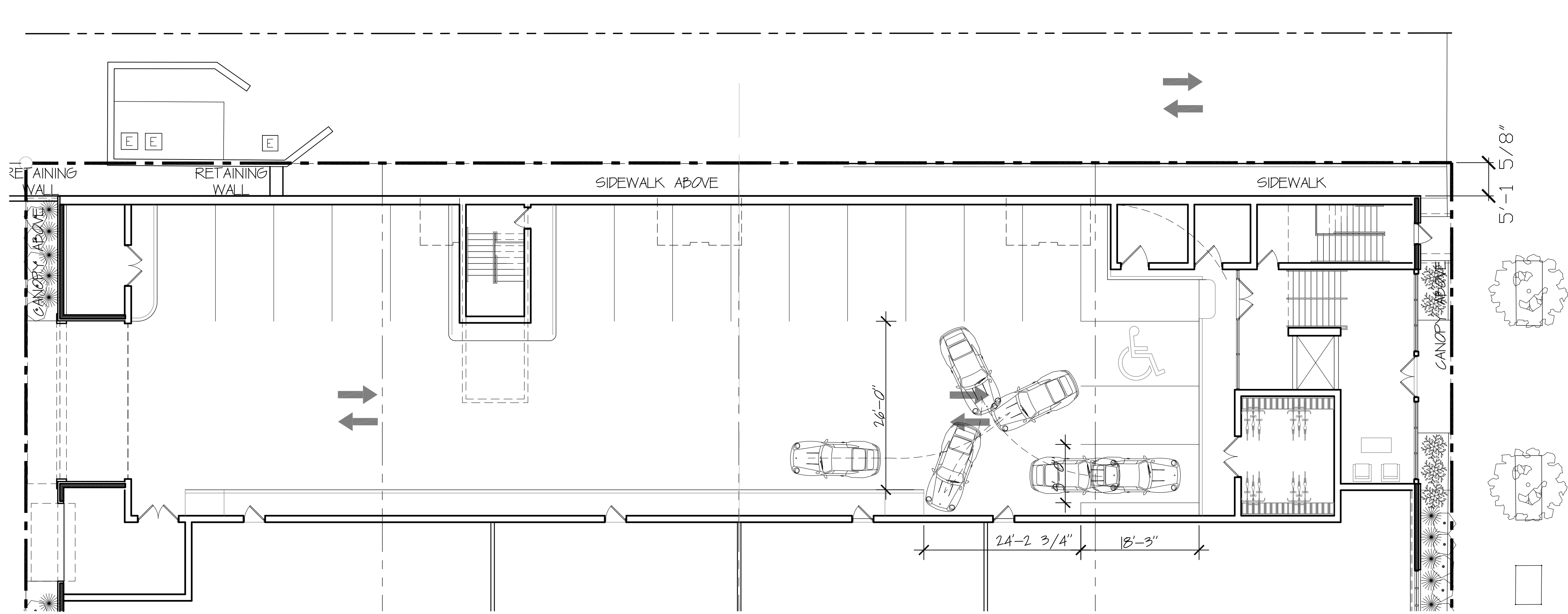
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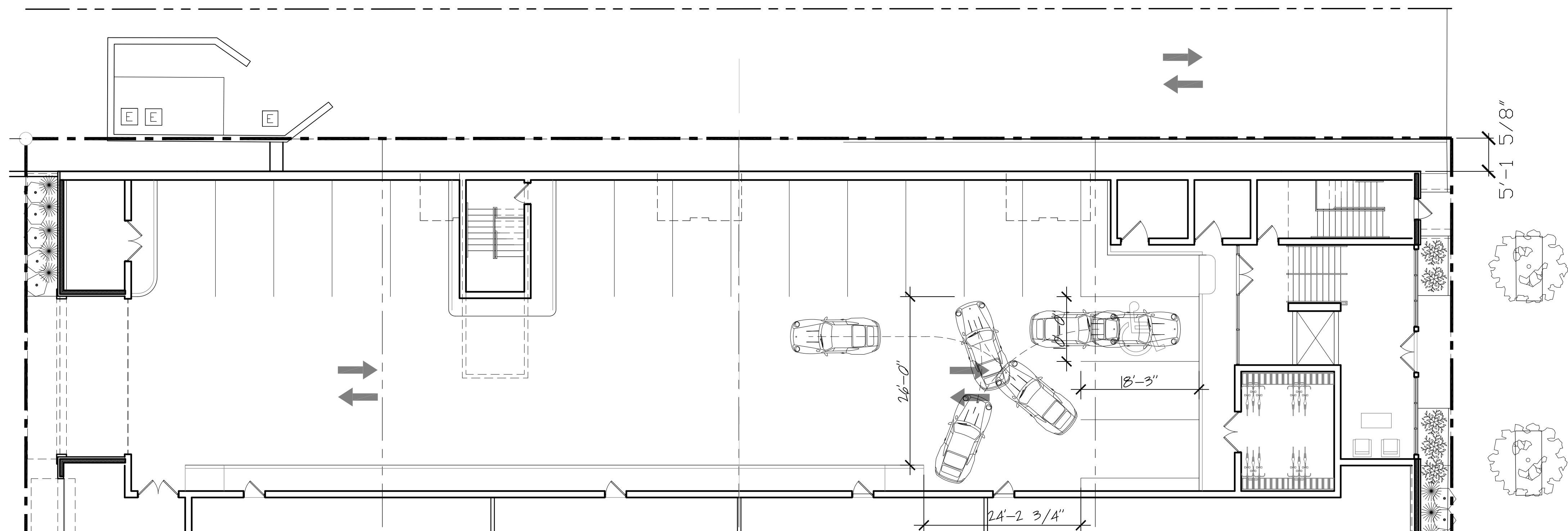
38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
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38 Taunton Hill Road
Newtown, Connecticut 06470
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(208) 725-0988 tel.
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2 END SPACE-PARKING DIAGRAM
SCALE: 3/32"=1'-0"



1 HANDICAP END SPACE-PARKING DIAGRAM
SCALE: 3/32"=1'-0"

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LICENSED ARCHITECT
AR 996739
P. Paulos Jr.
PETER PAULOS JR.
STATE OF IDAHO

Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
2.	2020/03/09	PER COMMISSION COMMENTS
5.	2020/05/14	COMMISSION REVISION
6.	2020/03/25	COMMISSION REVISION

PARKING DIAGRAMS

Date: 2020/03/09 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A1.6

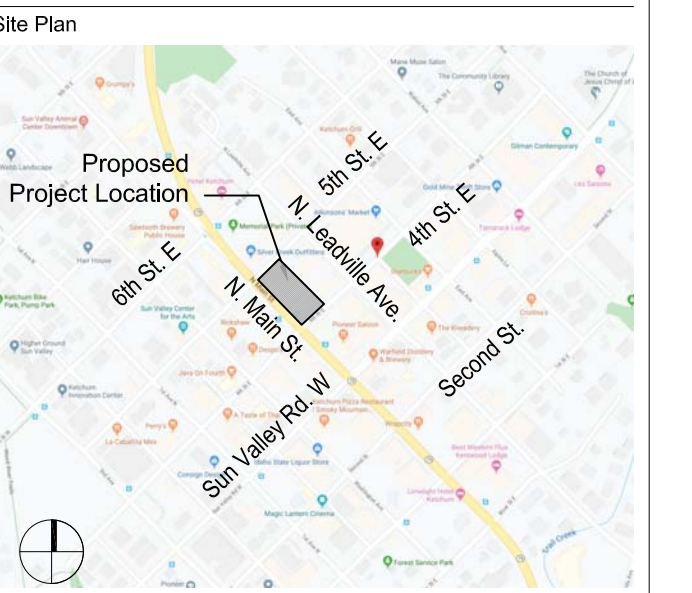
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IDAHO 84117

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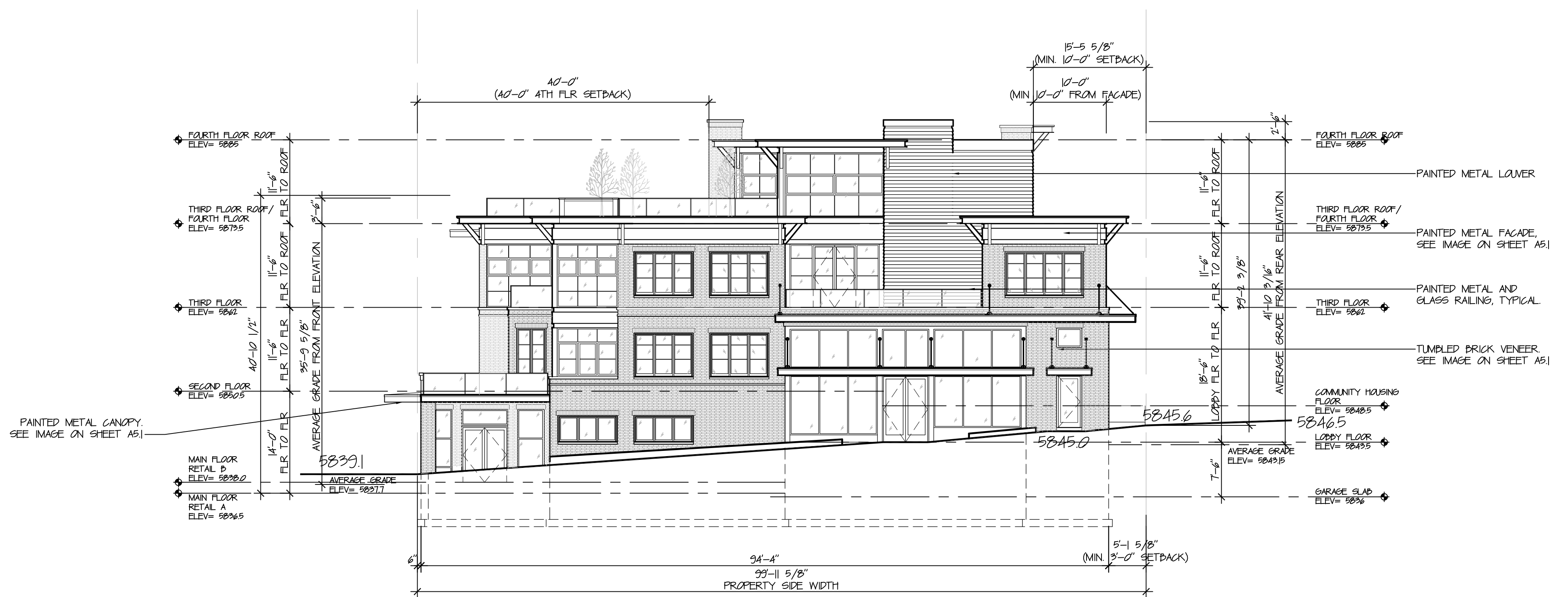
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Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
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Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
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Eggers Associates, Landscape Architecture
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(208) 725-0988 tel.
(208) 725-0972 fax



1 FRONT EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (SOUTH)
SCALE: 3/32"=1'-0"

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PETER PAULOS, JR.
STATE OF IDAHO

Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
2.	2020/01/21	ELEVATION REVISIONS
3.	2020/01/29	ELEVATION REVISIONS
4.	2020/05/12	GRADING COORDINATION
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/05/25	COMMISSION RESUBMISSION

FRONT & SIDE EXTERIOR ELEVATIONS

Date: 2020/01/07
Scale: 3/32"=1'-0"
Design: sbz
Sheet No.:

Project No.: 20-00
CAD File Name: base-ext elev.
Checked:

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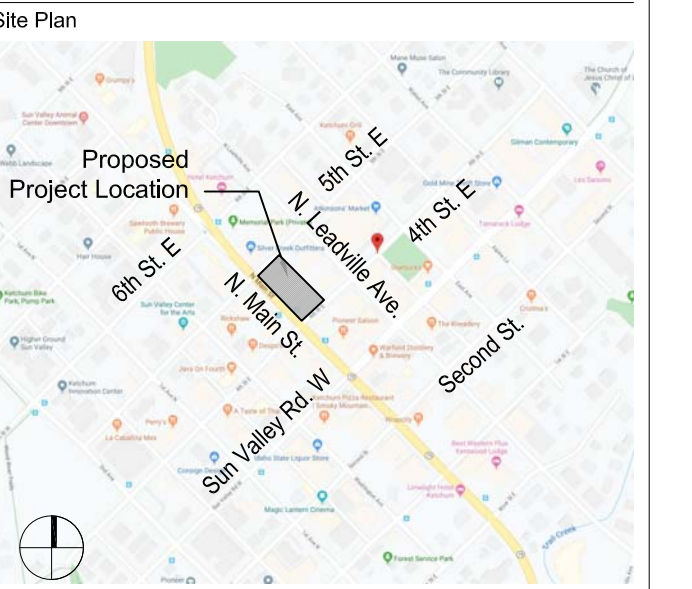
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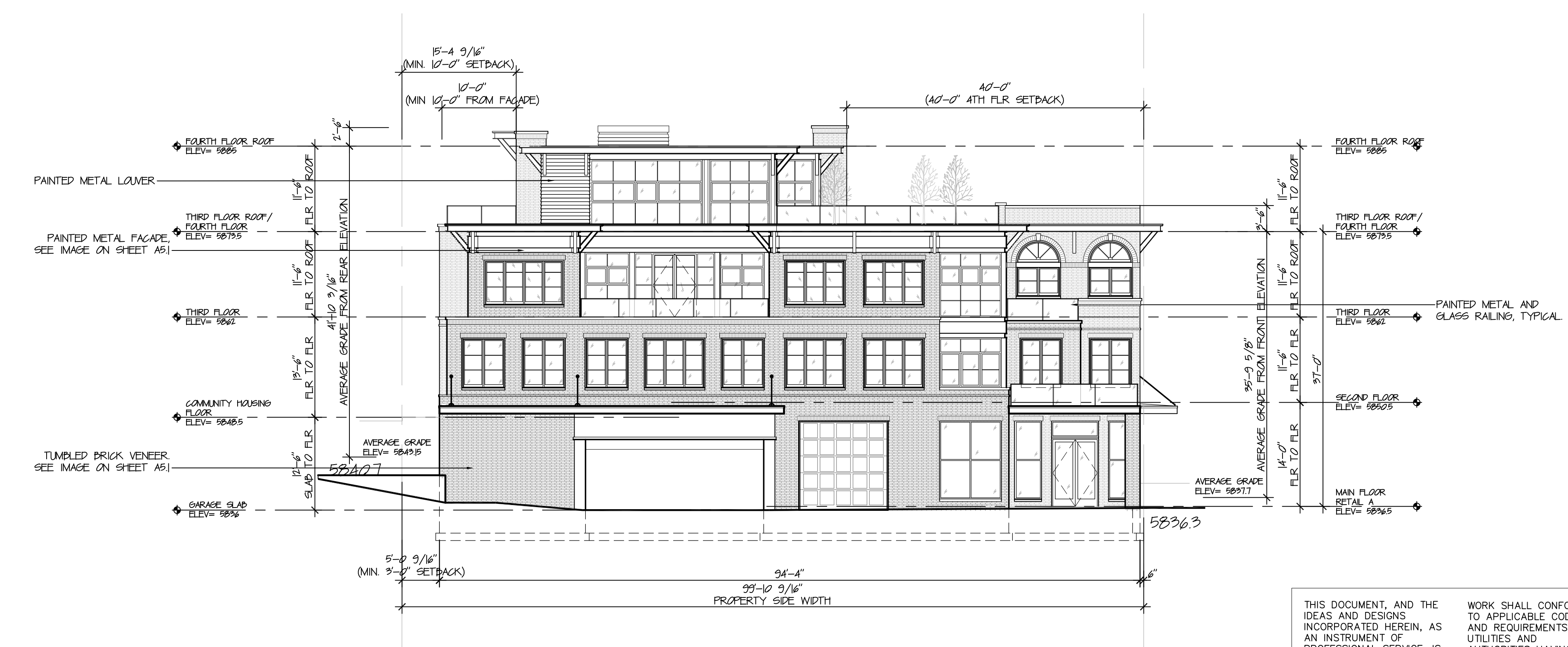
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Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
 P|H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax
Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Hailey, Utah 83333
 (208) 788-1705 tel.
Landscape Architect:
 Eggers Associates, Landscape Architecture
 560 North Second Avenue
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 (208) 725-0988 tel.
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1 REAR EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



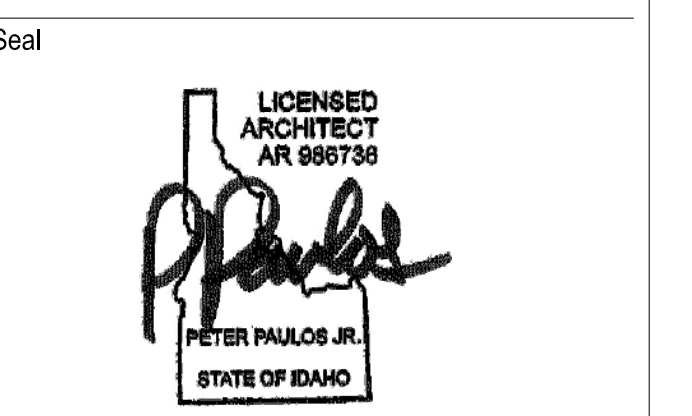
2 SIDE EXTERIOR ELEVATION (NORTH)
SCALE: 3/32"=1'-0"

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No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS
2.	2010/04/21	ELEVATION REVISIONS
3.	2010/04/29	ELEVATION REVISIONS
4.	2010/05/10	GRADING COORDINATION
5.	2010/05/11	COMMISSION RESUBMISSION
6.	2010/05/15	COMMISSION RESUBMISSION

REAR & SIDE EXTERIOR ELEVATIONS

Date: 2010/01/07
 Scale: 3/32"=1'-0"
 Design: sbz
 Sheet No.:
 Project No.: 20-001
 CAD File Name: base-ext elev.
 Checked:

A2.1

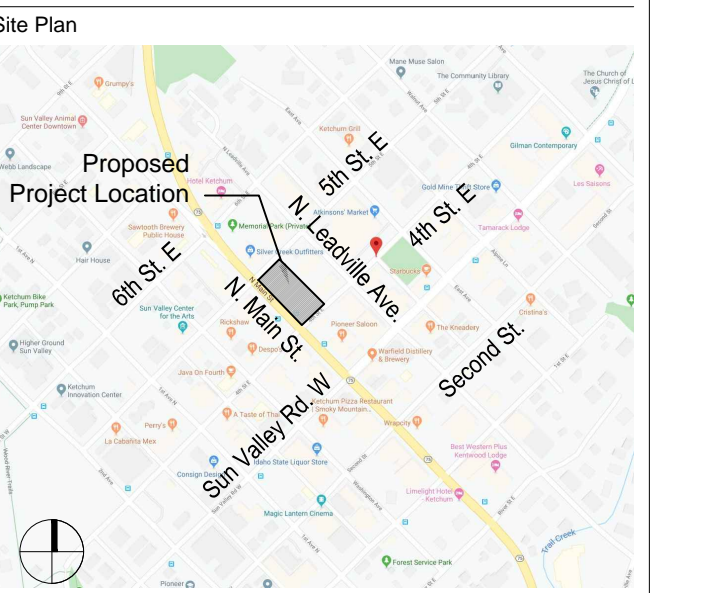
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

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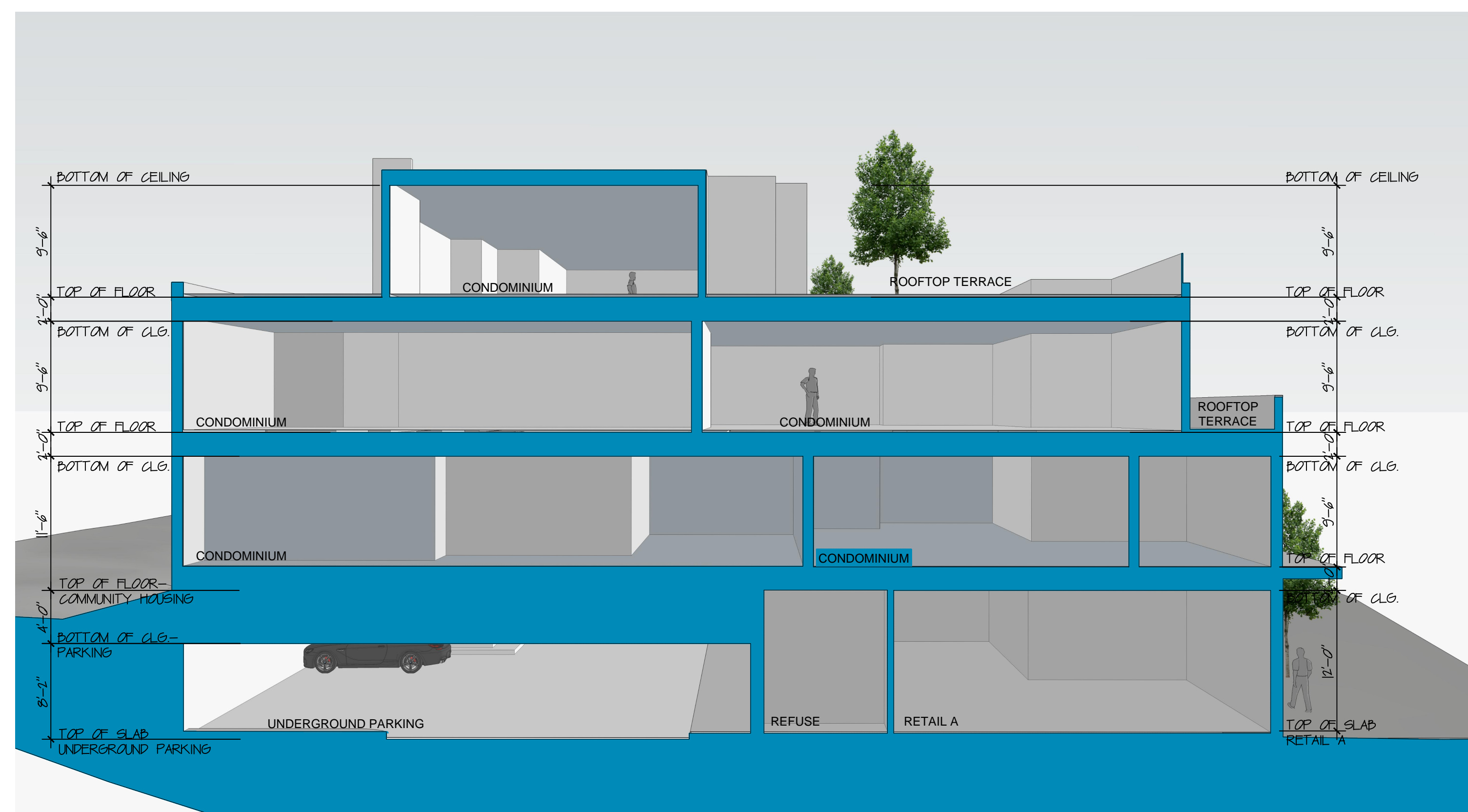
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203-426-6500 tel. 203-426-6503 fax
ph-archs.com



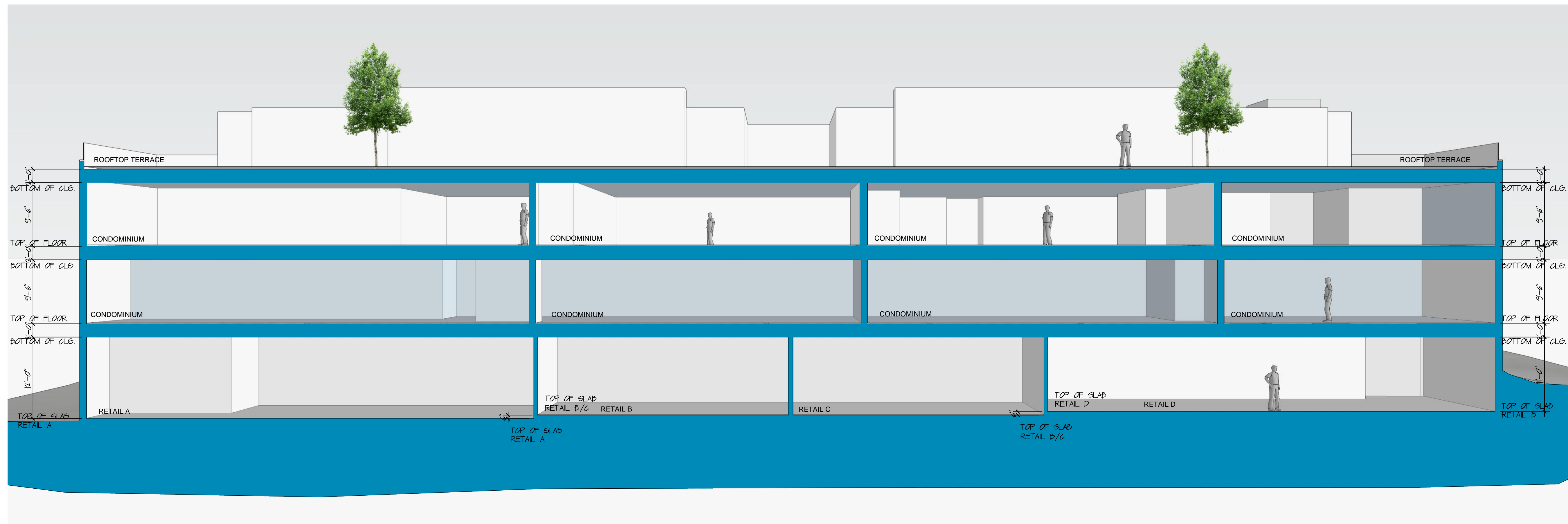
Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Halley, Utah 83333
(208) 788-1705 tel.

Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax



2 BUILDING SECTION-RETAIL A
SCALE: 1/8"=1'-0"



1 LONGITUDINAL BUILDING SECTION
SCALE: 1/8"=1'-0"

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No.	Date	Issue
5.	2010/05/14	COMMISSION RESUBMISSION
6.	2010/03/15	COMMISSION RESUBMISSION

BUILDING SECTIONS

Date: 2010/1/17
Scale: 1/8"=1'-0"
Design: s b z
Sheet No.:

Project No.:
CAD File Name:
Checked:

A3.0

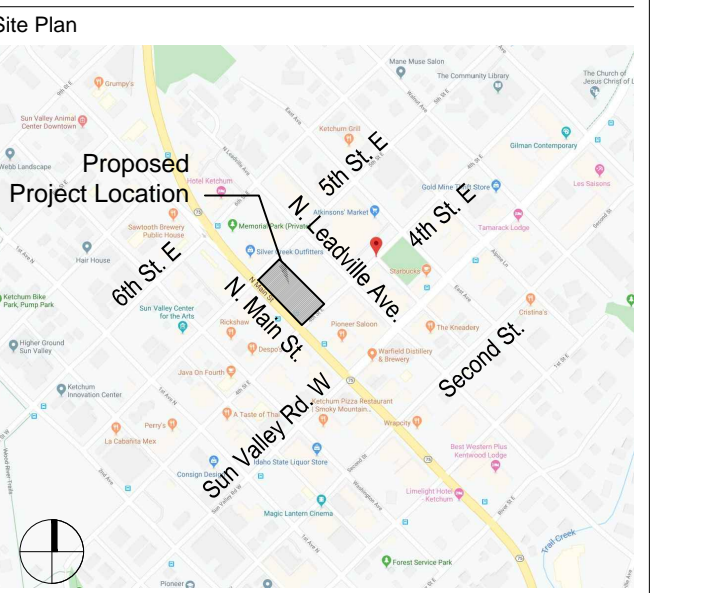
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P | H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
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 (208) 725-0972 fax

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 LICENSED ARCHITECT
 AR 986736
 PETER PAULOS JR.
 STATE OF IDAHO

Revisions

No.	Date	Issue
2.	2020/09/07	DESIGN REVIEW BOARD
4.	2020/05/12	GRADING COORDINATION
5.	2020/05/14	COMMISSION RESUBMISSION

PERSPECTIVE RENDERING

Date: 2020/09/15 Project No.: 20-00
 Scale: NTS CAD File Name:
 Design: s b z Checked:
 Sheet No.:

A5.1



1 PERSPECTIVE RENDERING
 A5.1 SCALE: NTS

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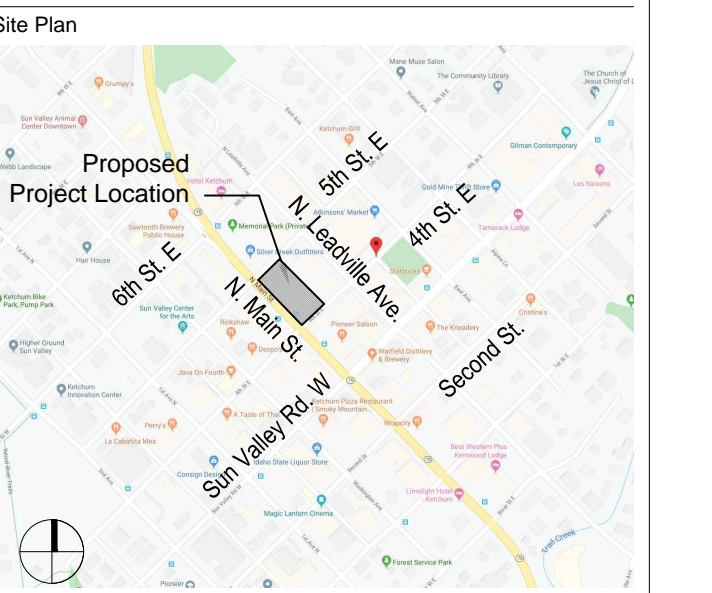
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IDAHO 84117

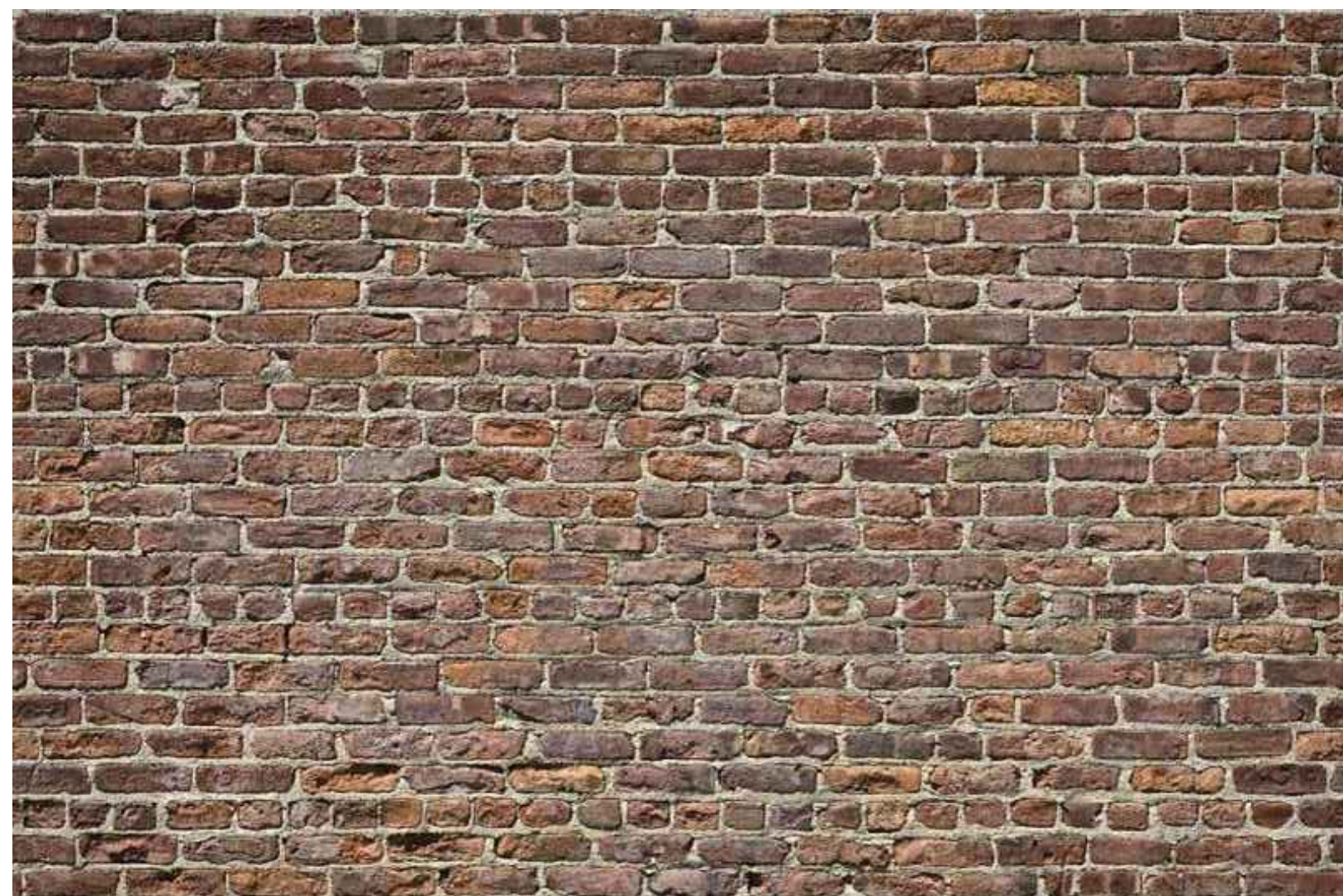
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P|H ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
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1 BRICK VENEER EXAMPLE
A5.2 SCALE: NTS

2 METAL FACADE EXAMPLE
A5.2 SCALE: NTS

3 METAL CANOPY IMAGE
A5.2 SCALE: NTS

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Revisions

No.	Date	Issue
4.	2010/05/12	GRADING COORDINATION
5.	2010/05/14	COMMISSION RESUBMISSION

MATERIALS

Date: 2010/09/15 Project No.: 20-001
Scale: NTS CAD File Name:
Design: s b z Checked:
Sheet No.: **A5.2**

P H ARCHITECTS, LLC

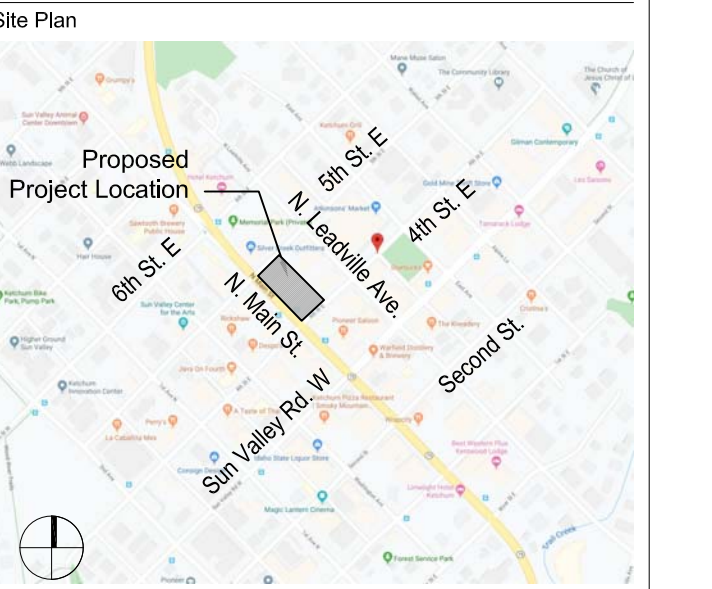
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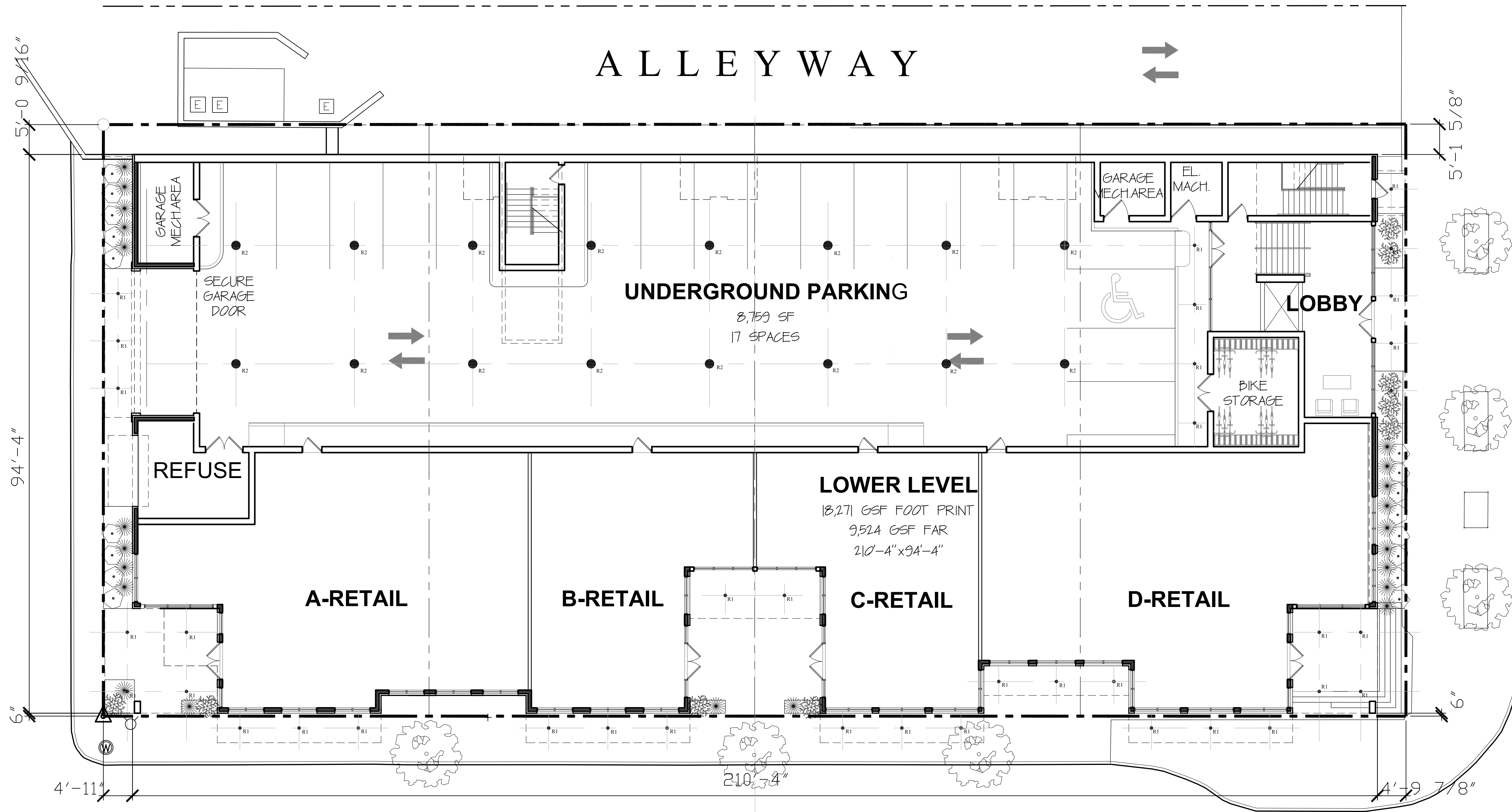
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203-426-6500 tel. 203-426-6503 fax
ph-archs.com



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(208) 725-0972 fax

EAST FIFTH STREET

EAST FOURTH STREET



1 FIRST FLOOR LIGHTING PLAN
SCALE: 3/32"=1'-0"

LIGHT FIXTURE SCHEDULE				
TYPE	MANUFACTURER	MOUNTING	LAMPS-OUTPUT	DESCRIPTION
● R1	LF ILLUMINATION, INC.	RECESSED	LED-3000 LUMENS	OUTDOOR RECESSED FIXED DOWNLIGHT WITH DIE-CAST ALUMINUM TRIM.
● R2	KENDALL MANUFACTURING COMPANY	SURFACE MOUNTED	LED-12,000 LUMENS	OUTDOOR SURFACE MOUNTED PARKING GARAGE LIGHT FIXTURE
— W1	BEGA LIGHTING PRODUCTS	RECESSED WALL - SHIELDED	LED-600 LUMENS	RECESSED WALL LIGHT FIXTURE - SHIELDED

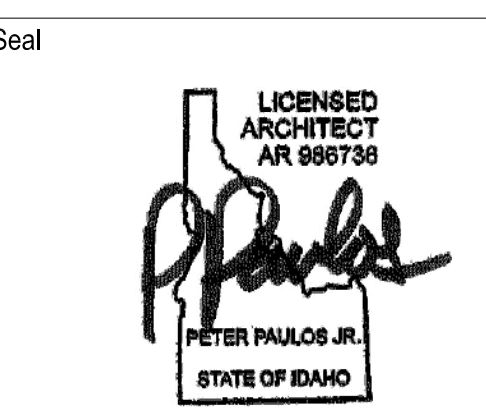


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Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
3.	2020/04/29	ELEVATION REVISION
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/09/25	COMMISSION RESUBMISSION

**EXTERIOR LIGHTING—
FIRST FLOOR LIGHTING PLAN**

Date: 2020/01/27 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A6.0

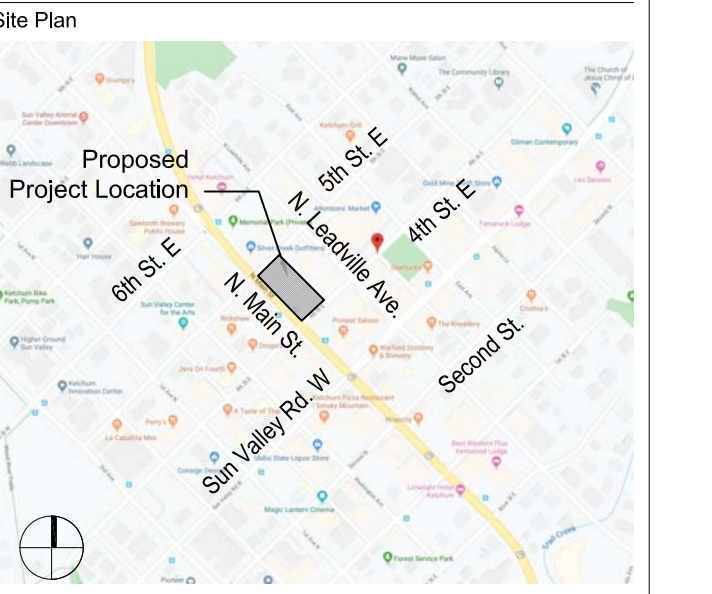
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

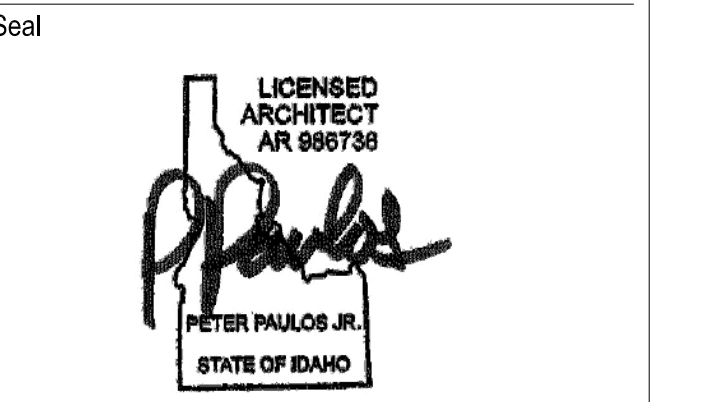
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax
Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hailey, Utah 83333
(208) 788-1705 tel.
Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax



Revisions

No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS
2.	2020/04/25	ELEVATION REVISIONS
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/09/25	COMMISSION RESUBMISSION

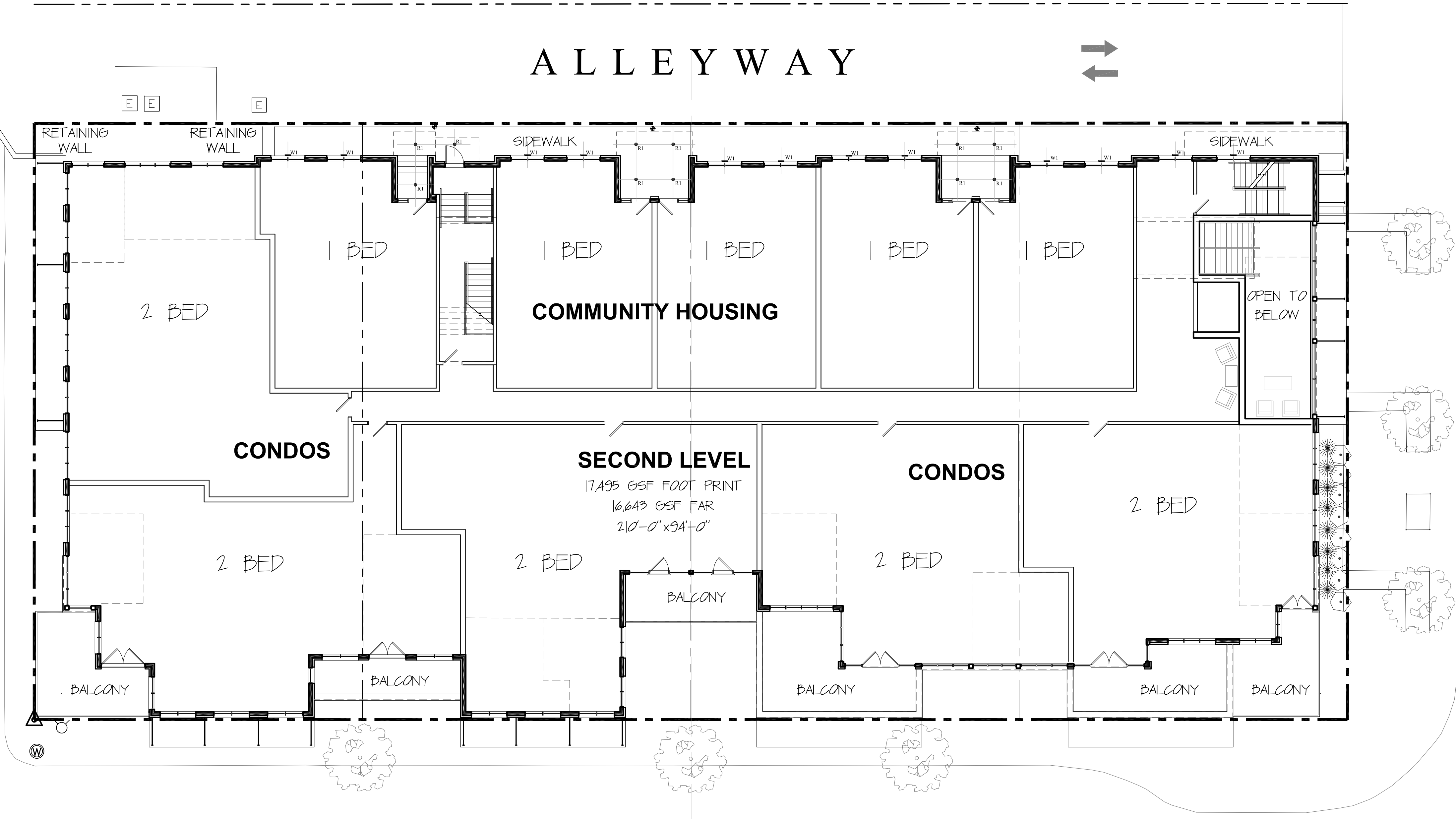
**EXTERIOR LIGHTING—
SECOND FLOOR LIGHTING PLAN**

Date: 2020/01/27 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor-plans
Design: sbz Checked:
Sheet No.:

A6.1
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EAST FIFTH STREET

EAST FOURTH STREET



1 SECOND FLOOR LIGHTING PLAN
A6.1 SCALE: 3/32"=1'-0"

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DO NOT SCALE THE DRAWINGS.

VERIFY ALL DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES.

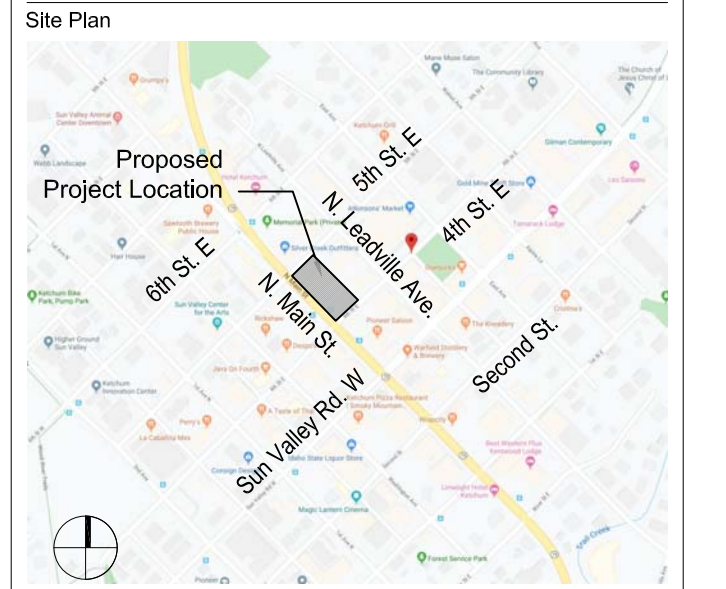
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax



1 FRONT ELEVATION - LIGHTING
SCALE: 3/32" = 1'-0"



2 SIDE ELEVATION (SOUTH) - LIGHTING
SCALE: 3/32" = 1'-0"

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Seal
LICENSED ARCHITECT AR 996738
P. Paulos
PETER PAULOS, P.L.L.C.
STATE OF IDAHO

No.	Date	Issue
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3.	2020/04/29	ELEVATION REVISIONS
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2020/09/25	COMMISSION RESUBMISSION

EXTERIOR LIGHTING- FRONT & SIDE ELEVATIONS - LIGHTING

Date: 2020/01/07
Scale: 3/32" = 1'-0"
Design: sbz
Sheet No.:

Project No.: 20-001
CAD File Name: base-ext elev
Checked:

A6.2

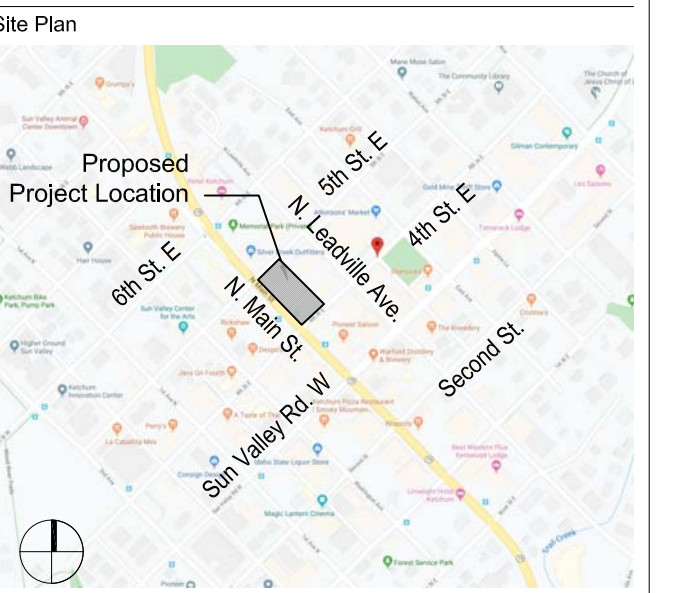
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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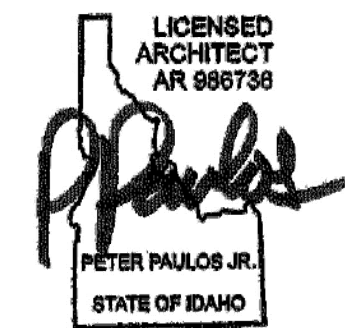


Project Team:
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P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
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Seal



No.	Date	Issue
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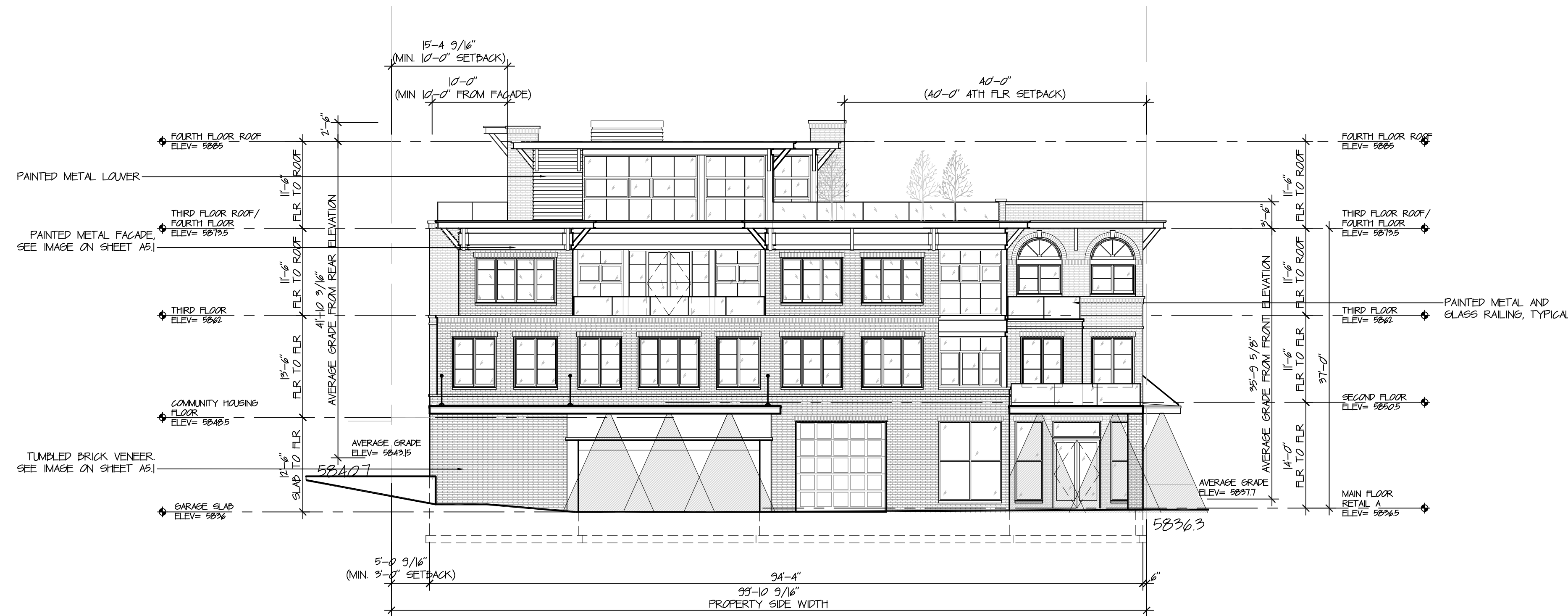
EXTERIOR LIGHTING- REAR & SIDE ELEVATIONS - LIGHTING

Date: 2020/01/07 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A6.3



1 REAR ELEVATION - LIGHTING
SCALE: 3/32"=1'-0"



2 SIDE ELEVATION (NORTH) - LIGHTING
SCALE: 3/32"=1'-0"

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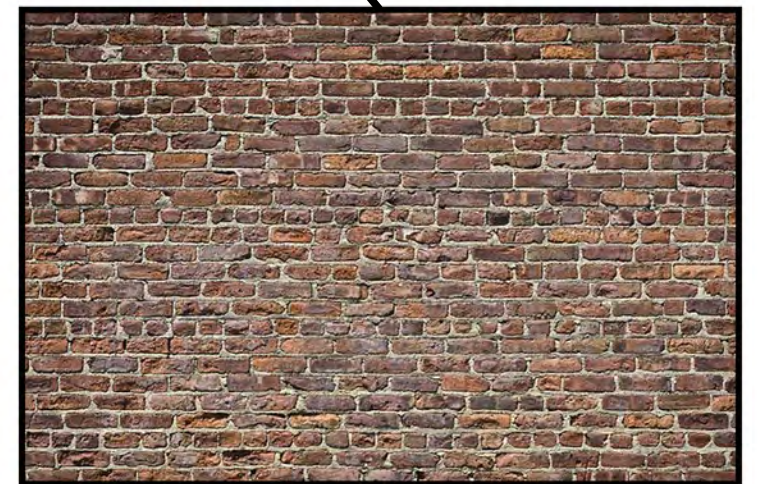
VERIFY ALL DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES.



PAINTED METAL CANOPY



PAINTED METAL FACADE



BRICK VENEER

MATERIAL SAMPLE BOARD
 SCALE: NOT TO SCALE
 February 11, 2020
 Revised: May 14, 2020
 Revised: September 25, 2020

PH
 ARCHITECTS
 38 TAUNTON HILL ROAD NEWTOWN, CT 06470
 PH-ARCHS.COM

MIXED USE DEVELOPMENT
 4TH & MAIN ST.
 KETCHUM, IDAHO

Exhibit B:
Staff Report
Planning & Zoning Commission
Meeting of June 8th, 2020



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JUNE 8th, 2020**

PROJECT: 4th & Main St (Hot Dog Hill) Mixed-Use Building

FILE NUMBER: P 20-002

APPLICATION TYPE: Pre-Application Design Review

ARCHITECT: Peter Paulos, PH Architects

DEVELOPER: Chris Ensign, Solstice Homes Development

PROPERTY OWNER: 400 North Main LLC & Formula Investment LLC (Blaine County Assessor's Office Database)

REQUEST: Pre-Application Design Review for the development of a new four-story, 47.5-foot tall, 59,130-square-foot mixed-use building

LOCATION: West Half of Block 5 adjacent to Main Street between 4th & 5th Streets (Ketchum Townsite: Block 5: Lots 1, 2, 3, & 4)

ZONING: Retail Core of the Community Core (CC-1)

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

The 4th & Main Street (Hot Dog Hill) project proposes to develop a new four-story, 47.5-foot tall, 59,130-square-foot mixed-use building on four lots along Main Street between 4th and 5th streets. The Planning & Zoning Commission has previously considered this Pre-Application Design Review twice this year during their meetings on January 10th and March 9th. The Commission identified design issues, offered constructive advice, and highlighted opportunities for the developer to improve the project. The Commission moved to continue review of the Pre-Application and directed the applicant to update the project plans based on their feedback.

COMMISSION FEEDBACK

The Commission expressed concerns about the project's compatibility with Ketchum's small-town, mountain community and vibrant downtown. Their recommendations focused on the building's design and scale in relation to the surrounding local context and Main Street's pedestrian-oriented streetscape. The Commission directed the applicant to: (1) incorporate scaling devices, including

vertical elements and varying roof heights, to break up the building’s bulk and mass, (2) enhance the façade design through undulation and material differentiation , and (3) create an activated, pedestrian-friendly, and human-scale environment along Main Street.

APPLICANT’S PROJECT PLAN UPDATES

The applicant has submitted four additional renderings of the building from different perspectives as well as a drone fly-over video illustrating the building’s relationship to the surrounding downtown neighborhood. The undulation of the front façade is more pronounced through projections and recessions of building mass along Main Street. The applicant has attempted to mitigate the design’s repetitiveness and monotony through slight adjustments to the application of exterior materials.

STAFF RECOMMENDATION

Staff recommends the Commission provide feedback to the applicant and move to continue review of the Pre-Application. The applicant’s proposed design updates (Exhibit A) are insufficient and fail to meaningfully incorporate changes that address the Commission’s recommendations.

ANALYSIS

Local Context: Ketchum’s Vibrant Downtown

No one architectural style defines Ketchum. Our town has grown incrementally through time with an eclectic mix of diverse building types. Blocks in downtown Ketchum are historically platted into 55-foot wide lot increments. These platted façade increments along a block create an urban pattern with an authentic rhythm.



Figure 1: Ketchum Main Street



Figure 2: Lane Mercantile Building (Source: The Community Library Regional History Department)

Main Street’s built environment combines repurposed historic buildings, like the Lane Mercantile built in 1887, with more modern development, like the Argyros Theater, to form a textured urban fabric with western mountain charm. The variation of building types and façade identities create unique urban spatial experiences that visually engage pedestrians and activate the streetscape.

Proposed Mid-Rise, Mixed-Use Building

The project plans maximize the size of the building to the greatest extent permitted by Ketchum’s Zoning Regulations. The 59,130-square-foot mixed-use building has a total Floor Area Ratio of 2.23. The building reaches 47.5-feet in height from Main Street to the fourth-floor roof. Covering the length of the entire block, the building’s front façade will span 210 feet along Main Street.



Figure 3: Perspective Rendering, Sheet A5.0 of Project Plans

Design Review Maintains Ketchum’s Authenticity & Mountain-Town Character

Design Review helps our community achieve a more sustainable, vibrant, connected, and beautiful Ketchum. The 4th & Main Street (Hot Dog Hill) project needs design changes to harmonize with the local context of Ketchum, complement the design character of the built environment, and blend with the prevailing scale of downtown development.

The proposed mid-rise is significantly larger than the surrounding built environment. The applicant’s drone fly-over video highlights the mixed-use building’s imposing and dominating appearance within downtown Ketchum. More meaningful scaling devices need to be integrated into the project plans to break up the building’s bulk and mass.

DESIGN REVIEW STANDARDS (Ketchum Municipal Code §17.96.060)

Architectural

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

Compatibility of Design

The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures (Ketchum Municipal Code §17.96.060.E1).

The façade design exacerbates the project’s size. The projections and recessions of building mass along Main Street repeat the same monotonous pattern. The applicant has updated the project plans to increase the undulation of building mass along Main Street. This treatment fails to meaningfully provide visual relief because the same wall surface design repeats horizontally across the front façade along Main Street. These undulation treatments that shift the building’s depth must be combined with changes in the façade’s exterior material or design character to alleviate this repetitive wall pattern.

4th and Main (Hot Dog Hill) Mixed-Use Building

Pre-Application Design Review

Planning & Zoning Commission Meeting of June 8th, 2020

City of Ketchum Planning & Building Department

The front façade’s uniform design creates a monotonous environment across the entire block along Main Street. The building’s bulk coupled with its uninterrupted façade design creates an unwelcoming and uninteresting experience for the community. The mixed-use building needs scaling devices and design treatments that define and activate the public realm and enhance the pedestrian experience.

Downtown Ketchum is the soul of our small-town, mountain community. Downtown is Ketchum’s vibrant and walkable commercial area and the social center for gatherings with neighbors and visitors. Downtown bring us together to make us a connected community. How will this building enhance the character of downtown Ketchum and contribute to our mountain community?

“We create our buildings and then they create us. Likewise, we construct our circle of friends and our communities and then they construct us.” –Frank Lloyd Wright

“We understand that Ketchum is as much a state of mind as it is a place.”

-2006 Downtown Ketchum Master Plan Vision Statement

EXHIBITS:

- A. Pre-Application Design Review Submittal & Project Plan Updates
- B. Staff Report: Planning & Zoning Commission Meeting of March 9th, 2020

Exhibit C: Public Comment

From: Diane Goodwin <dianessprockets@gmail.com>
Sent: Friday, August 21, 2020 1:22 PM
To: Participate <participate@ketchumidaho.org>
Subject: Idea for Hot Dog hill / Formula site



Sent from my iPhone

Robin Crotty

From: Robin Crotty
Sent: Monday, June 15, 2020 11:05 AM
To: Robin Crotty
Subject: FW: Opposition to Proposed "Hot-Dog Hill" Building

From: Carolyn Wicklund <svwick@aol.com>
Sent: Sunday, June 14, 2020 3:42 PM
To: Participate <participate@ketchumidaho.org>
Subject: Opposition to Proposed "Hot-Dog Hill" Building

Dear Mayor Bradshaw, City Council Members, and Building/Planning Department,

I write to share my strong opposition to the proposed development on Hot-Dog Hill. As an architect for over 30 years, this development is completely out of character for Main Street and out of compliance with Ketchum's building code, a fact evidenced by the variance sought by the developer.

As a resident of Ketchum for 28 years, I have spoken to many people about this proposed development. Not one of them supports the proposed noncompliant structure which is too high, too massive, too dense, out-of-character with other buildings, destroys the last highly-used open space on Main Street, and does not include badly-needed public parking.

Please keep Main Street the friendly walking and gathering street that makes Ketchum so wonderful for residents and visitors alike. Please deny the developer's request for a variance and reject the proposed development. I appreciate all you do in your duty to protect our town from noncompliant and out-of-character development.

Sincerely,
Carolyn Wicklund

From: [Robin Crotty](#)
To: [Robin Crotty](#)
Subject: FW: I do not like the idea of Hot Dog Hill becoming a big development.
Date: Saturday, August 15, 2020 4:01:15 PM

From: anne kalik <
Date: August 14, 2020 at 5:22:06 PM MDT
To: Participate <participate@ketchumidaho.org>
Subject: I do not like the idea of Hot Dog Hill becoming a big development.

I believe our town has lost a lot of its character from big buildings on Main Street, especially the many banks.

Please, creative, enticing, human architecture and open spaces as well.

I would like to see Hotdog Hill preserved as it is now, perhaps enhanced with more greenery and places to sit .

Thank you,
Anne Kalik

Sent from a device that garbles.
Anne Kalik

From: [Robin Crotty](#)
To: [Robin Crotty](#)
Subject: FW: 4th & Main Project
Date: Saturday, August 15, 2020 4:00:13 PM

From: Hayley Andrews <
Date: August 15, 2020 at 6:37:54 AM MDT
To: Participate <participate@ketchumidaho.org>
Subject: 4th & Main Project

To whom it may concern,

I grew up in this town enjoying the ability to congregate with friends and family in relaxed and beautiful spaces. We've been so lucky. Moving away for college, work, and partner has turned Blaine county into our favorite place to visit. As a local and a tourist, please remember what makes our community so amazing— we love this place for its authenticity. This is not a manufactured money making scheme. This is where kids grow up loving nature and embracing the outdoors. Where many of us end up to escape the rat race and big box culture of cities. Main Street should reflect our interests by preserving open spaces and small town vibes. You can find fancy hotels in any ski town, but people love it here for the low key hot dog eating priorities. Please save hot dog hill. It appeals to poor and rich, young and old, local and tourist. It is a remaining bit of nostalgia and community in our rapidly growing town.

Thank you,
Hayley

--

From: Polly Hopkins <pollyhobby@hotmail.com>
Sent: Sunday, September 13, 2020 2:52 PM
To: Participate <participate@ketchumidaho.org>
Subject: 4th and Main.. better known as Hotdog Hill

Hello,

I have been an employee of Irving's Red Hots for over two years now, and thought a bit of insight from my perspective might be helpful in regards to the proposed building of a condo complex on the hill at 4th and Main Streets. My personal stance is neutral, as I was born and raised in this Valley and feel that the city of Ketchum lost its homey, small town appeal years ago (in other words it's too far gone). So I mostly wanted to share the opinions I've heard from every single customer that inquires about where Irving's will relocate: they all oppose the new structure and are appalled when they view the sketch of the proposed structure.

That's all... just wanted to share!

Thanks,

Polly Hopkins