



CITY OF KETCHUM, IDAHO

PLANNING AND ZONING COMMISSION

Tuesday, December 14, 2021, 4:30 PM

191 5th Street West, Ketchum, Idaho 83340

PUBLIC PARTICIPATION INFORMATION

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We welcome you to watch Planning and Zoning Commission Meetings via live stream.

You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us live via Zoom.

Please click this URL to join. <https://ketchumidaho-org.zoom.us/j/87349055122>

Webinar ID: 873 4905 5122

2. Join us at City Hall (masks are required in Council Chambers and seating has been arranged per the required social distance of 6').
3. Submit your comments in writing at participate@ketchumidaho.org (by noon the day of the meeting).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE:

CONSENT CALENDAR - ACTION ITEMS:

1. ACTION - Minutes of November 30, 2021.
2. ACTION: Recommendation to Approve Findings of Fact for Design Review Amendment P21-068 to 3020 Warm Springs Road, Waddell-Roush Townhouses.
3. ACTION: Recommendation to Approve Findings of Fact for Design Review Permit P21-096 for 119 Sage Road.

PUBLIC HEARINGS - ACTION ITEMS:

4. ACTION: Recommendation to approve Design Review Permit P21-085 for 380 1st Avenue (continued from November 9, 2021).
5. ACTION: Recommendation to approve rezoning application for 104 Neils Way to change the zoning from Limited Residential One Acre (LR-1 One Acre) to Limited Residential LR.
6. ACTION: Recommendation to approve Mountain Overlay Design Review Permit P21-89 for 215 Gem Street.

NEW BUSINESS:

7. ACTION: Recommendation to approve Planning and Zoning Commission Zoning Code Interpretation 21-003 for permitted outdoor amenities within setback areas.

8. ACTION: Recommendation to approve Planning and Zoning Commission Zoning Code Interpretation 21-004 for permitted structures within setback areas.

**STAFF REPORTS & CITY COUNCIL MEETING UPDATE:
ADJOURNMENT**



Planning and Zoning Commission Regular Meeting Minutes

Tuesday, November 30, 2021, at 4:30 PM

Ketchum City Hall

191 5th Street West, Ketchum, ID 83340

CALL TO ORDER

The meeting was called to order at 4:30 p.m. by Chairman, Neil Morrow.

PRESENT

Chairman, Neil Morrow

Vice-Chairman, Mattie Mead

Commissioner, Brenda Moczygemba

Commissioner, Tim Carter

Commissioner, Jennifer Cosgrove (*via Zoom*)

OTHER STAFF

Director, Planning and Building - Suzanne Frick

Senior Planner - Morgan Landers

Planner - Adam Crutcher

Counsel - Bill Gigray

PEG Companies - Nick Blayden

AJC Architects - Justin Heppler

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

None.

CONSENT CALENDAR — ACTION ITEMS

1. Minutes of November 16, 2021.

Counselor, Bill Gigray, advised the Commission to ensure Meeting Minutes accurately reflect decisions of the Commission.

Motion to approve the Minutes.

Motion made by Commissioner, Brenda Moczygemba, Seconded by Commissioner, Tim Carter.

Voting Yea: Morrow, Mead, Moczygemba, Carter, Cosgrove.

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

2. ACTION – Review and approve the Pre-Application Design Review Permit (P-20-019) for the PEG Hotel, LLC, located at 260/280 E River Street and 251 S. Main Street.

Applicants Nick Blayden, PEG Companies and Justin Heppler, AJC Architects provided the Commission a presentation on 'Ketchum Tribute'.

Chairman, Neil Morrow invited public comment.

Public Comment:

Spencer Cordovano	Video 01:06:00
Perry Boyle	Video 01:12:00

Chairman, Neil Morrow closed public comment.

PEG applicants addressed public comments.

Commissioners discussed the project and shared their views on support for the development.

Motion to approve pre-application and design review permit for the PEG Hotel.

Motion made by Commissioner, Tim Carter, Seconded by Commissioner, Jen Cosgrove.

Voting Yea: Morrow, Mead, Moczygemba, Carter, Cosgrove.

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Director, Planning and Building, Suzanne Frick, asked the Commission to review the recommended 2022 meeting schedule and she shared information on City Council’s Design Review recommendation – to hold a workshop for additional engagement of Community comment.

ADJOURNMENT

Motion to adjourn at 6:13 p.m.

Motion made by Chairman, Mattie Mead, Seconded by Commissioner, Brenda Moczygemba.

Voting Yea: Morrow, Mead, Moczygemba, Carter.

Chairman, Neil Morrow
Planning and Zoning Commission

Secretary, Tara Fenwick



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Waddell-Roush Duplex Hot Tubs) **KETCHUM PLANNING & ZONING COMMISSION**
Amendment to Design Review Approval) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
Date: December 14, 2021) **DECISION**
)
File Number: 21-068)

PROJECT: Waddell-Roush Duplex Hot Tubs

FILE NUMBER: P21-068

APPLICATION TYPE: Amendment to Design Review Approval

ASSOCIATED APPLICATIONS: Design Review P20-031, Lot Line Shift P20-061, Townhouse Subdivision Preliminary Plat P20-058, Building Permit B20-079

REPRESENTATIVE: Craig Lawrence, AIA

PROPERTY OWNER: Doug & Stacey Waddell

LOCATION: 3020 Warm Springs Road (Wills Condominium Subdivision No 2)

ZONING: General Residential Low Density (GR-L) Zoning District

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on September 1, 2021. The public hearing notice was published in the Idaho Mountain Express on September 1, 2021. The public hearing notice was posted on the City’s website and on the subject site on September 13, 2021. Public comment was attached as Exhibit B to the September 21st, 2021 Staff Report.

FINDINGS OF FACT

The Planning and Zoning Commission considered this application during their special meeting on September 21st, 2021. The project before the Commission consisted of two parts:

- An amendment of the Planning and Zoning Commission approved Design Review Permit P20-031 which was approved by the Commission on July 13th, 2020. In light of the Commission and community input into the design and configuration of this project, staff determined the proposed amendment did not qualify as a minor modification subject to staff approval. The Commission was asked to decide if the proposed amendment to the design review approval was acceptable.
- An interpretation of the zoning ordinance to clarify if above-grade features such as hot tubs are permitted to be located in the required side yard setbacks.

Amendment to Design Review Approval: New Hot Tubs

The applicant submitted updated drawings proposing exterior modifications from the project plans approved with Design Review P20-031. The proposed amendments to the design review approval include the addition of two hot tubs for each townhouse unit within the duplex. The proposed hot tubs are located within the east and west side yard setback areas and sited on new paver patios. Exterior modifications also include the addition of new doors at the east and west side facades to access the new hot tubs. The east side hot tub is proposed to be screened with 6- and 4-foot-tall cedar fence panels. An elevation of the proposed screening is provided on Sheet L-03 of the project plans. The west side hot tub is proposed to be screened by landscaping, including Redtwig Dogwood.

The hot tubs are 3 feet tall. Notes on Sheets L-01 and L-03 of the project plans indicate the hot tubs are non-permanent features that are self-contained with internal equipment. The hot tubs will be placed on the new paver patio but not permanently attached to the patio. These hot tubs will be connected to the development site through their mechanical, electrical, and plumbing systems.

The siting of the hot tubs proposed for the Waddell-Rousch development encroaches within the side yard setback areas required for the principal, duplex building. The setback from side property lines required in the GR-L Zone is 1 foot for every 3 feet in building height or a minimum of 5 feet. Both hot tubs are sited within the duplex's 11-foot-8-inch required side yard setback areas. The east townhome unit's hot tub is proposed to be sited 5 feet from the side property line. The west townhome unit's hot tub is proposed to be sited 7 feet 6 inches from the property line. While sited within the duplex's side yard setback areas, the hot tubs meet the minimum 5-foot setback required from side property lines in the GR-L Zone.

Zoning Code Interpretation

The zoning code is unclear as to whether above-grade, accessory structures like hot tubs may be sited within the setback areas required for the principal building on the site. The zoning code is also unclear as to whether setbacks should be applied individually per detached structure based on each structure's maximum height or if the maximum height of the principal building on the site should set the setbacks for all accessory structures on the site. For example, the zoning code doesn't provide clear direction regarding whether the 3-foot-tall hot tubs should be setback the minimum 5 feet based on their height or if the hot tubs should be setback 11 feet 8 inches based on the maximum height of the duplex.

Ketchum Municipal Code Setback Regulations

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above- or below-grade building or structure. All buildings and structures are subject to setbacks. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020). Ketchum Municipal Code §17.08.020 defines the term building as any permanent structure built for the shelter or enclosure of persons, animals, chattels, or property of any kind, which is permanently affixed to the land and has one or more floor and a roof. Additionally, the definition of

building states that any appendage to said structure, such as decks, roof overhangs, and porte-cocheres, are part of said building for the purposes of determining building coverage, setbacks, or other regulations unless otherwise specified.

Planning and Zoning Commission Interpretation

The Planning and Zoning Commission determined that the proposed hot tubs do not qualify as buildings or structures because they are not permanently constructed in or on the ground. The hot tubs will be placed on the new paver patio but not permanently attached to the patio. The Commission determined that the maximum height of the principal duplex building does set the setbacks for all accessory structures on the site. The Commission found that the hot tubs are nonpermanent and are permitted to be sited within the east and west side yard setback areas because they do not qualify as permanent structures or buildings subject to setbacks.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Amendment application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review Amendment application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Waddell-Roush Duplex Design Review Amendment application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission unanimously **approves** this Design Review Amendment Application File No. P21-068 this Tuesday, September 21st, 2021.

Findings of Fact **adopted** this 14th day of December 2021.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

IN RE:)	
)	
Moseley Residence)	KETCHUM PLANNING & ZONING COMMISSION
Design Review)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Underground Structure Setback Encroachment)	DECISION
Date: December 14, 2021)	
File Number: 21-096)	

PROJECT: Moseley Residence

APPLICATION TYPE: Design Review (Underground Structure Setback Encroachment)

REPRESENTATIVES: Aaron Belzer, Farmer Payne Architects & Ashley Board, Ben Young Landscape Architects

OWNER: Colin Moseley

LOCATION: 119 Sage Road (Warm Springs Village 4th Addition: Block 2: Lot 9)

ZONING: General Residential Low Density (GR-L)

OVERLAY: Avalanche

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on October 27th, 2021. The public hearing notice was published in the Idaho Mountain Express the on October 27th, 2021.

FINDINGS OF FACT

Findings Regarding Project Background

The applicant submitted a building permit application for the construction of a new single-family residence and associated site improvements, including a pool, located at 119 Sage Road on April 6th, 2021. The project plans did not comply with Ketchum Municipal Code as noncompliant features encroached within the 15-foot required setback from front property line. The code compliance issue was flagged by the Planning Department and communicated to the contractor and architect on May 14th, June 22nd, July 1st, August 26th, and September 13th. The revised plans submitted by the applicant failed to address the code violation. The applicant started construction without an approved building permit. The Building Official issued a Stop Work Order for the project on August 9th, 2021.

Findings Regarding Action Before the Planning and Zoning Commission

The Planning and Zoning Commission considered this application during their regular meeting on November 9th, 2021. In order to issue a building permit for the proposed residence, the project must comply with the Zoning Ordinance. There were two outstanding compliance issues presented for the Planning and Zoning Commission's consideration. The first was the building foundation/structure encroaching into the front yard setback. Subject to Design Review approval, subterranean encroachments may be approved by the Planning and Zoning Commission. The second issue was the placement of an above-grade wall with a structural foundation and permanent stairs within the front setback area. The Commission was asked to consider the Design Review application for the subterranean encroachments and separately make a determination if the above-grade wall and stairs are considered permanent, structural elements that may not be located in the setback, or if the wall and stairs are nonpermanent, landscape features that can be removed in the future and that may be located in the required setback.

Findings Regarding Proposed Moseley Residence Project

The applicant submitted revised project plans on October 27th, 2021 showing their desired design and configuration for the residential development. The site plan indicates stairs and a steel-clad, concrete wall encroaching within the front setback area. The stairs connect the driveway access along Sage Road to the front door of the home. The grade change from Sage Road to the residence's finished floor elevation is approximately 6 feet. The stairwell is comprised of 10 stair risers and includes a handrail.

The structural details on Sheet S4.1 show that the concrete wall is 9 feet-2 inches in height from the bottom of the footing to the top of the wall. As noted in the applicant's letter, the wall has been engineered to withstand the avalanche forces that may impact the property. The foundation plan on Sheet S2.0 shows that the avalanche wall and building foundation footings are connected.

Findings Regarding Underground Structure Encroachment

As indicated on Sheet S2.0, the home's building footing encroaches into the front setback area. Below-grade structures may encroach into required setbacks subject to the standards specified in Ketchum Municipal Code §17.128.020.K.

- K. Encroachments of below grade structures into required setbacks are permitted provided all of the following standards are met:*
- 1. Proposed encroachments shall receive design review approval from the Planning and Zoning Commission; and*
 - 2. Below grade encroachments into the riparian setback are not permitted; and*
 - 3. Construction activity shall not occur on adjacent properties; and*
 - 4. Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare; and*
 - 5. Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and*
 - 6. Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest; and*

7. *The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.*
 - a. *Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and*
8. *Below grade encroachments into required setbacks shall not interfere with drainage.*
 - a. *Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.*

The Planning and Zoning Commission found that the project meets these required standards. The below-grade structure does not conflict with any applicable easements, sensitive ecological areas, or drainage. No construction activity is proposed to encroach onto adjacent properties. No egress opening encroaches within the setback area. The home's primary egress and front door is sited within required setbacks. The building footing is located entirely underground. The Commission found that below-grade building footings and foundations may encroach into required the setback area so long as these structural elements are entirely underground.

Findings Regarding Zoning Code History

The City's regulation of setbacks has evolved from yard requirements to how far a building or structure must be setback from a property line. The yard requirements regulated the portion of unobstructed open area on a lot from a lot line for a depth or width specified by the regulations of the zoning district. The definition for setback was not introduced into Ketchum Municipal Code until 2013 through the City's adoption of Ordinance 1110. According to staff reports, the purpose of Ordinance 1110 was to reconcile inconsistencies and clarify unclear language within the zoning code. The Commission held a workshop to consider these zoning code amendments on July 30th, 2012. The workshop meeting minutes captured the Commission's discussion regarding setbacks. They discussed that the purpose of setbacks is to ensure adequate separation between buildings and useable open space between structures relative to the desired character and visual density in neighborhoods. They commented that any elements permitted to be sited within setback areas must be clearly defined. The Commission discussed that decks at or below 30 inches in height above grade are not considered a structure and may be sited within setback areas. This allowance was tied to the height threshold—all decks greater than 30 inches in height above grade at any point were determined to be subject to setbacks. Additionally, this height threshold applied to features appurtenant to a deck. For example, attached guardrails or benches connected to a deck that were greater than 30 inches in height above grade were also considered to be subject to setbacks. The 30 inches above existing grade height threshold is aligned with building code. Building code requires that guardrails be provided for those portions of open-sided walking surfaces, including stairs, porches, balconies, decks, or landings that are located more than 30 inches measured vertically from the floor or grade below.

Findings Regarding Zoning Code Interpretation Questions

The zoning code is unclear as to whether above-grade, nonpermanent walls may be treated like fences and allowed within required setback areas. Ketchum Municipal Code §17.08.020 provides a definition for fence but does not include a definition for wall. Fence is defined as a hedge, structure, or partition,

erected for the purpose of enclosing a piece of land, or to divide a piece of land into distinct portions, or to separate two contiguous properties.

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above-grade or below-grade building or structure. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020). Ketchum Municipal Code §17.08.020 defines the term building as any permanent structure built for the shelter or enclosure of persons, animals, chattels, or property of any kind, which is permanently affixed to the land and has one or more floor and a roof. Additionally, the definition of building states that any appendage to said structure, such as decks, roof overhangs, and porte-cocheres, are part of said building for the purposes of determining building coverage, setbacks, or other regulations unless otherwise specified.

The zoning code is silent as to whether other non-permanent features like landscape steps may be permitted within required setback areas. Supplementary yard regulations specified in Ketchum Municipal Code §17.128.020 provide allowances for certain features to extend into required setback areas. For example, cornices, canopies, eaves, chimney chases, or similar architectural features may extend into a required yard not more than 3 feet and decks less than 30 inches in height from existing grade may be constructed to the property line.

Findings Regarding Planning and Zoning Commission Zoning Code Interpretation Determination

The Commission determined that a wall may be considered a non-permanent landscape feature like a fence so long as the wall is not structural element. These non-permanent walls must be able to be removed without compromising the structural integrity of the principal building or other accessory structures on the project site. Non-permanent walls may be sited within the required setback areas so long as the walls meet the maximum height standards specified in Ketchum Municipal Code §17.124.130. Permanent, structural walls must be sited within required setback areas.

The Commission concluded that the same setback standards provided for decks may be applied to stairs. Ketchum Municipal Code §17.128.020.H allows decks less than 30 inches from existing grade may be constructed to the property line. The Commission determined that stairs less than 30 inches in height above existing grade may be located within required setback areas. Ketchum Municipal Code §17.128.020.I requires decks more than 30 inches in height from existing grade at any point shall be subject to setbacks. The Commission determined that stairs greater than 30 inches in height from existing grade at any point shall be subject to setbacks. The Commission determined that the height measurement should include not only the stair risers and treads but also any appurtenance to stairs such as any required handrails (Ketchum Municipal Code §17.128.020.H).

The Commission approved the above-grade wall and stairs within the front setback area of the Moseley Residence project subject to the condition that no portion of the stairs, including the handrail, may exceed 30 inches height above existing grade.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission unanimously **approves** this Design Review Application File No. P21-096 for the Moseley Residence project located at 119 Sage Road this Tuesday, November 9th, 2021 subject to the following condition of approval.

CONDITION OF APPROVAL

1. No portion of the stairs within the front setback area may exceed 30 inches in height above existing grade.

Findings of Fact **adopted** this 14th day of December 2021.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF DECEMBER 14th, 2021**

PROJECT: 380 N 1st Ave Mixed-Use Building

FILE NUMBERS: P21-085

APPLICATION: Design Review

REPRESENTATIVE: Williams Partners Architects

OWNER: Corey Street Mass LLC

LOCATION: 380 N 1st Avenue (Ketchum Townsite: Block 37: Lot 5)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on October 20th, 2021. The public hearing notice was published in the Idaho Mountain Express the on October 20th, 2021. A notice was posted on the City’s website on October 20th, 2021. The public hearing notice was posted on the project site on November 2nd, 2021. The public hearing for this project has been continued from the Planning & Zoning Commission Regular Meeting of November 9th, 2021.

380 N 1ST AVENUE MIXED-USE BUILDING

The 380 N 1st Avenue Mixed-Use Building project is a 5,095-square-foot addition to the McAtee House—a historic log cabin that was constructed in the 1930s. The project site is located at the southeast corner of 1st Avenue and 4th Street in the Mixed-Use Subdistrict of the Community Core (CC-2). The historic cabin will be repurposed as commercial office space and the new addition will accommodate two residential units, common area, and parking garages. The project is subject to Design Review pursuant to Ketchum Municipal Code 17.96.010 for the development of the mixed-use addition.

The McAtee House is representative of traditional residential architecture associated with Ketchum’s early settlement period. The design characteristics of these early homes reflected their natural alpine surroundings. Many of the residences built during this time were one- and two-story rectangular structures constructed with logs cut from the surrounding forest or milled lumber from local sawmills. Common architectural features included gable roofs, overhanging eaves, and low horizontal massing.

The Historic Preservation Commission reviewed the McAtee House Addition project on July 7th, 2021 and unanimously approved the applicant's request to alter the historic building.

The original log cabin will be relocated closer towards the street corner. The minimum required setback from front and street side property lines in the CC-2 Zone is an average of 5 feet (Ketchum Municipal Code §17.12.040). The relocated McAtee House is setback 10 feet from 1st Avenue and 9 feet from 4th Street. Echoing traditional single-family yard areas, the project's generous setbacks accommodate light and air creating a feeling of openness at the street corner.

The bulk of the proposed addition is concentrated towards the rear of the lot. The addition steps up from the McAtee House to a maximum height of 35 feet, which is 7 feet less than the maximum building height permitted in the CC-2 Zone (Ketchum Municipal Code §17.12.040). The addition's rectangular mass echoes the original log cabin's building form. The new flat roof elements highlight the restored gable roof. Achieving compatibility without mimicry, the addition complements the historic cabin sensitively responding to its surrounding context while maintaining its own unique design style. The project successfully distinguishes between old and new balancing the distinctive characteristics of each into one cohesive and authentic design.

The Planning & Zoning Commission previously considered the 380 N 1st Avenue Mixed-Use Building Design Review (Application File No. P21-085) during their meeting on November 9th, 2021. After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, the Planning & Zoning Commission moved to continue their review of the project.

COMMISSION FEEDBACK

The Commission discussed the project and its location on the street corner in this vibrant area of downtown Ketchum. Commissioner Carter commented that while an active commercial use would be desirable, the project's interesting and inviting design balances its more private office and residential uses.

While the Commission appreciated the project design, their feedback focused on providing more visual relief at the south interior side wall, the 4th Street facade, and the rear elevation. The Commission discussed the south wall's monolithic appearance. Ketchum Municipal Code §17.96.070.B1 requires facades located more than 5 feet from interior side property lines to be designed with both solid surfaces and window openings. Facades located less than 5 feet from interior side property lines are not subject to this same standard due to fire separation requirements for zero-lot-line developments. The Commission emphasized that Ketchum Municipal Code §17.96.060.F5 requires that all building walls provide undulation or relief. The Commission directed the applicant to mitigate the flat appearance of the tall, blank wall at interior side property line through more exterior material differentiation.

In addition to the interior side façade, the Commission discussed the addition's 4th Street and alley facades. The Commission discussed the 4th Street Heritage Corridor and its importance as downtown Ketchum's pedestrian-friendly streetscape. Commissioner Carter recommended that more visual interest be incorporated into the design of the 4th Street façade through material differentiation or modulation of the building's bulk and mass. Additionally, Chair Morrow suggested that more visual relief be provided at the alley-facing façade.

APPLICANT'S PROJECT PLAN UPDATES

The applicant has submitted updated project plans (Exhibit B) responding to the Commission's feedback. Additionally, the applicant summarized their proposed revisions based on the Commission's feedback in a memorandum attached as Exhibit A. The design of the interior side façade has been revised through the introduction of stone veneer and aluminum battens with a wood-resembling finish. The pattern and placement of these exterior materials provides visual interest at the south wall. The applicant has not proposed any changes to the design of the 4th Street or alley facades.

ANALYSIS

Staff's comprehensive analysis of the project is included in the November 9th Staff Report, which is attached as Exhibit C. Staff finds that the project complies with all Design Review standards including Ketchum Municipal Code §17.96.060.F5, which requires that all building walls provide undulation or relief to reduce the appearance of bulk and mass. The addition's 4th Street façade is 24.5 feet in length, which is only a quarter of the property's street frontage along 4th Street. Exterior materials, including light tan wood rainscreen siding, stone veneer, and black steel panels, change concurrently with vertical and horizontal shifts in building mass. This design breaks up the mixed-use building into defined components that visually break up the mass of the building. The rear elevation is broken up into two distinct masses—the 24.5-foot-tall, two-story building mass along 4th Street steps up to the bigger 35-foot-tall, three-story building mass closer to the interior side property line. The alley façade is primarily clad in rainscreen siding. Visual relief is provided by the garage doors, window openings, and balcony guardrails.

STAFF RECOMMENDATION

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Planning & Zoning Commission move to approve the 380 N 1st Avenue Mixed-Use Building Design Review application. Should the Planning & Zoning Commission support the approval, Staff would return with findings and conditions reflecting the Commission's decision.

RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 1, 2, and 3 (Tables 1, 2, and 3 are included in the November 9th Staff Report attached as Exhibit C).
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that include specifications for all improvements within the public right-of-way including sidewalks, circulation design, and drainage improvements to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

5. Prior to issuance of a Certificate of Occupancy for the project, the applicant shall secure a Right-of-Way Encroachment Permit from the City for the proposed pavers and snowmelt system within the public right-of-way. The ROW Encroachment Permit requires review by the Streets Department and City Engineer and final approval by the Ketchum City Council.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
7. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the mixed-use development.
8. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
9. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards for review and approval by the Building, Planning, Streets, Utilities, and Fire departments.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

EXHIBITS:

- A. Applicant Memorandum Dated November 22nd, 2021
- B. 380 N 1st Avenue Mixed-Use Building Updated Project Plans
- C. Link: Staff Report to Planning & Zoning Commission for Regular Meeting of November 9th, 2021

Exhibit A
Applicant Memorandum
Dated
November 22nd, 2021

To: City of Ketchum Planning Staff and P&Z Commission

Date: November 22, 2021

Re: 380 North First Avenue Mixed-Use Building, Design Review Revisions

We are pleased to submit revised drawings for the 380 North First Avenue Mixed-Use Building's continued Design Review hearing scheduled for December 14, 2021.

At the south elevation, the applicant team proposes to wrap the stone veneer that is cladding the west facade of the ground floor unit and guardrail wall above for a length of approximately 15'-6" along the portion south elevation closest to First Avenue. From a pedestrian's perspective along the adjacent road and sidewalks to the south, we believe this to be the most visible portion of the party wall, being from 26'-2" to 41'-8" from the front property line. This portion of wall is 16'-0" in height. At the remainder of the party wall, the applicant team proposes to add 2"x2" vertical aluminum battens clad with a wood-look finish that will closely match the tone of the horizontal wood rainscreen siding used on the other building elevations. The battens will be installed in a pattern that seeks to create texture, relief, and shadowing along the stucco. This portion of wall is 55' in length and is approximately 25'-6" in height closest to First Avenue, stepping up to 35'-0" in height closest to the alley.

The proposed revisions are clouded in red in the drawing package and include:

CS Cover Sheet:

- Revised cover sheet image with additional neighboring building context shown

A4.2 Proposed building elevations:

- Revised south elevation

A5.1 3D views:

- Revised images with additional neighboring building context
- Revised south elevation to break up scale and to provide texture, relief, and shadowing along the interior party wall

A5.2 3D views:

- Three new images from a pedestrian's viewpoint at the First Avenue street / sidewalk level with additional neighboring building context
- Revised south elevation to break up scale and to provide texture, relief, and shadowing along the interior party wall

A5.3 Materials board:

- Added imagery of 2x2 batten material adjacent to the stucco material image

We look forward to presenting to the Planning and Zoning Commission to discuss further.

Exhibit B
380 N 1st Avenue
Mixed-Use Building
Updated
Project Plans

380 N. 1ST AVE. MIXED-USE BUILDING

Owner:
 Corey Streey Mass, LLC
 11361 Farlin Street
 Los Angeles, California 90049

Architect:
 Williams | Partners Architects
 Jeff Williams: jeff@williams-partners.com
 P.O. Box 4373
 Ketchum, ID 83340
 Ph. 208.726.0020
 Fax 208.726.0019

Landscape Architect:
 Landwork Studio LLC
 Rob King: rob@landworkstudio.com
 P.O. Box 300
 Ketchum, ID 83340
 Ph. 208.726.5331

Civil Engineer:
 Galena Engineering, Inc
 Sean Flynn: sflynn@galena-engineering.com
 317 N. River Street
 Hailey, ID 83333
 Ph. 208.788.1705

Electrical Consultant:
 Systems West
 Ross Williams: ross@syswest.com
 1157 Shoreline Drive
 San Mateo, CA 94404

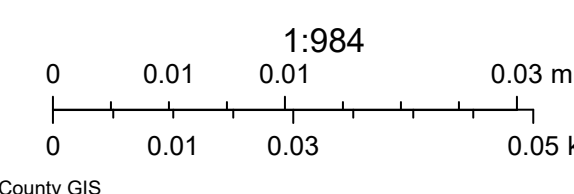
General Contractor:
 Grabher Construction
 P.O. Box 507
 Sun Valley, ID 83353
 Ph. 208.726.3916
 Fax 208.726.9081



March 18, 2021

Satellite View

380 North First Avenue; Ketchum, Idaho



Blaine County GIS

Made by: Blaine County GIS

Land Use Information Map

PROJECT INFORMATION

LEGAL DESCRIPTION:	LOT 5, BLOCK 37 KETCHUM
ADDRESS:	380 NORTH FIRST AVENUE KETCHUM, ID 83340
ZONING:	CC, SD 2 (COMMUNITY CORE, SUBDISTRICT 2: MIXED USE)
SETBACKS:	FRONT AND STREET SIDE: 5' AVERAGE INTERIOR SIDE: 0' ADJACENT TO ALLEYWAY: 3'
MAX BUILDING HEIGHT:	42' [AVERAGE FRONT PROPERTY LINE ELEVATION = 5827.2' AVERAGE REAR PROPERTY LINE ELEVATION = 5827.05' MAX HEIGHT = 42' + 5827.05' = 5869.05']
CONSTRUCTION TYPE:	V-B (IBC SECTION 602.5)
OCCUPANCY:	OFFICE: BUSINESS GROUP B (IBC 304.1), (2) RESIDENTIAL UNITS (APARTMENTS): RESIDENTIAL GROUP R-3 (IBC 310.4), GARAGES: UTILITY AND MISCELLANEOUS GROUP U (IBC 312) *BUILDING WILL NOT BE CONDOMINIUMIZED.

PROJECT INFORMATION

BUILDING AREA:	FIRST FLOOR	
	EXISTING (OFFICE):	742 S.F.
	NEW (OFFICE):	106 S.F.
	NEW COMMON SPACE:	442 S.F.
	NEW COMMON PARKING:	774 S.F.
	NEW UNIT 1 LIVING:	750 S.F.
	NEW UNIT 2 GARAGE:	490 S.F.
	NEW UNIT 2 LIVING:	175 S.F.
	SUB-TOTAL:	3,479 S.F.
	SUB-TOTAL TOWARDS F.A.R.:	
	THREE PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 S.F. IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION [3,479 S.F. - (3 x (9 x 18)) = 2,993 S.F.]	
	SECOND FLOOR	
	UNIT 2 LIVING:	1,951 S.F.
	TERRACE:	710 S.F.
	THIRD FLOOR	
	UNIT 2 LIVING:	38 S.F.
	COMMON MECHANICAL:	377 S.F.
	TERRACE:	792 S.F.

TOTAL REMODEL (EXISTING CABIN):	742 S.F.
TOTAL NEW:	5,103 S.F.
TOTAL G.S.F. (INCLUDING GARAGES):	5,845 S.F.
TOTAL TOWARDS F.A.R.:	5,359 S.F.
[5,359 / 5,505 = 0.97 F.A.R.]	

SITE AREA:	0.126 ACRES (5,505 S.F.)
PARKING RMQTS:	UNIT 1 (750 S.F. OR LESS): 0 SPACES UNIT 2 (2,001 S.F. AND ABOVE): 2 SPACES OFFICE (1 SPACE PER 1,000 G.S.F.): 1 SPACE
CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
JURISDICTIONS:	CITY OF KETCHUM PLANNING & BUILDING DEPARTMENTS CITY OF KETCHUM FIRE DEPARTMENT

DRAWING INDEX

COVER SHEET	
C.S.	COVER SHEET
CIVIL	
TOPO	CIVIL SURVEY
C.O.1	COVER & CONSTRUCTION NOTES
C.1.0	SITE GEOMETRY PLAN
C.1.1	GRADING & DRAINAGE PLAN
C.1.2	DETAIL SHEET
LANDSCAPE	
L-1.0	SITE PLAN
L-2.0	GRADING PLAN
L-3.0	LANDSCAPE PLAN
L-3.1	LANDSCAPE MATERIALS PLAN
L-4.0	CONSTRUCTION MANAGEMENT PLAN
EXISTING CONDITIONS PHOTOS	
A.1.0a	EXISTING CONDITIONS PHOTOS
A.1.0b	EXISTING CONDITIONS PHOTOS
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A.2.1	FLOOR PLANS
A.2.2	FLOOR PLANS
A.2.3	FLOOR PLANS
A.2.4	FLOOR PLANS
A.2.5	AREA CALCS
A.2.6	PROPOSED MASTER SIGNAGE PLAN
BUILDING SECTIONS	
A.3.1	BUILDING SECTIONS
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A.4.1	EXTERIOR ELEVATIONS - EXISTING
A.4.2	EXTERIOR ELEVATIONS - PROPOSED
3D VIEWS	
A.5.1	3D VIEWS
A.5.2	3D VIEWS
A.5.3	MATERIALS BOARD
ELECTRICAL	
E.1.1	FIRST FLOOR EXTERIOR LIGHTING
E.1.2	SECOND FLOOR EXTERIOR LIGHTING
E.1.3	THIRD FLOOR EXTERIOR LIGHTING
E.1.4	SITE LIGHTING PHOTOMETRIC STUDY
E.2.0	EXTERIOR LIGHTING FIXTURE SPECIFICATIONS

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

WILLIAMS PARTNERS

ARCHITECTS

MAIL: P.O. B. 4373
 KETCHUM, IDAHO
 83340
 PHONE: 208.726.0020
 FAX: 208.726.0019
 WWW: WILLIAMS-PARTNERS.COM

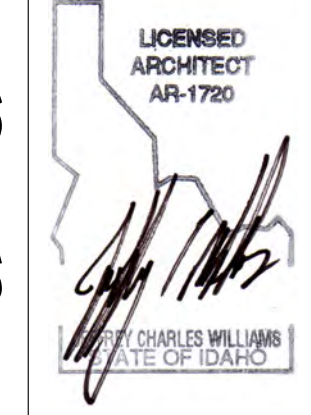
DRAWINGS
 DATE: 05/12/2021
 ISSUED: COX SCHEMATIC PRESENTATION
 06/10/2021 COX HPC REVIEW
 09/30/2021 DESIGN REVIEW
 11/21/2021 DESIGN REVIEW REVISIONS

REVISIONS
 NUMBER: DATE:

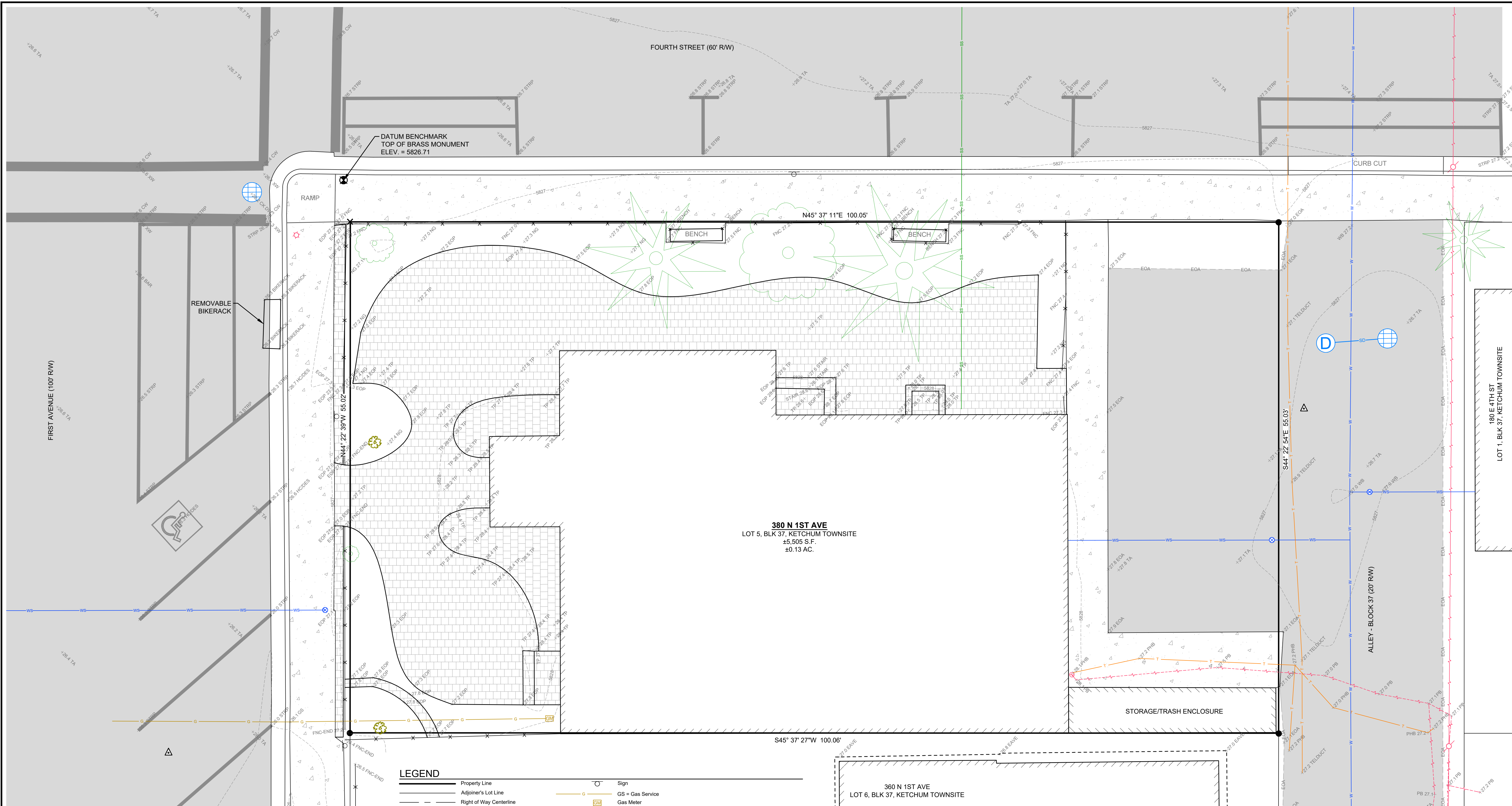
CS

COVER SHEET

OWNERSHIP OF DOCUMENTS:
 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



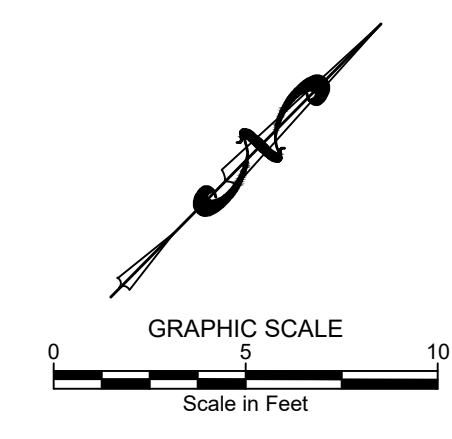
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND

	Property Line		Sign
	Adjoiner's Lot Line		GS = Gas Service
	Right of Way Centerline		Gas Meter
	Found Brass Monument in Concrete		PHB = Buried Telephone Line
	Found 5/8" Rebar		Telephone Riser
	Nail & Tack		PB = Buried Power Line
	Survey Control		Overhead Power Line
	Set 5/8" Rebar		Light
	5' Contour Interval		Power Meter
	1' Contour Interval		Power Pole
	Curb & Gutter		Sewer Main
	FNC = Fence Line		Storm Drain
	Building Eave		Catch Basin
	Building		Dry Well
	Asphalt		WB = Water Main
	Concrete Sidewalk		Water Service
	Pavers		Water Valve
	Conifer Tree		CW = Crosswalk
	Deciduous Tree		HC = Handicap
	Stump		EOA = Edge of Asphalt
	Handicap Decal / Paint		EOP = Edge of Pavers
	Parking Stripe		STRP = Stripe
			TA = Top of Asphalt
			TP = Top of Pavers

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/01/2020).
 - Boundary information is based on Found Monumentation. Please refer to the Official Map of the Village of Ketchum, Instr# 302967, records of Blaine County, Idaho.
 - Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, underground utility locates, and City Maps. Utilities should be located prior to any excavation.
 - Benchmark is top of brass monument in the sidewalk near the intersection of 1st Avenue North and 4th Street East, elevation = 5826.71. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



PURPOSE: A TOPOGRAPHIC MAP SHOWING LOT 5, BLOCK 37, KETCHUM TOWNSITE 380 N 1ST AVE

LOCATED WITHIN SECTION 13, T.4N., R.1E., & SECTION 18, T.4N., R.1E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WILLIAM J. MACGROW

PROJECT INFORMATION
P:\sd\proj\5157-01\map\Topo5157-01.aprx.dwg 08/17/21 9:27:59 AM

PROFESSIONAL LAND SURVEYOR
LICENSED
16670
09/17/21
STATE OF IDAHO
MARK E. PHILLIPS

MEP
DRAWN BY
SMF
CHECKED BY

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

TOPO

380 N. 1ST AVE. MIXED-USE BUILDING SEPTEMBER 2021

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - **PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 56.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
- EXISTING SITE CONDITIONS SHOWN HEREON ARE PER A FIELD SURVEY BY GALENA ENGINEERING DATED 12/04/20.



VICINITY MAP
N.T.S.

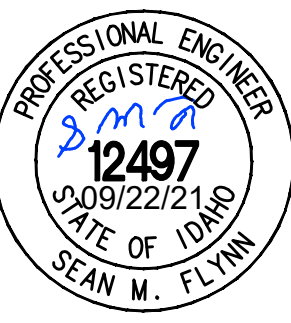
SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	SITE GEOMETRY PLAN
C1.1	GRADING AND DRAINAGE PLAN
C1.2	DETAIL SHEET

LEGEND

EXISTING ITEMS	PROPOSED ITEMS
Property Line	Asphalt
Adjoiner's Lot Line	Concrete Sidewalk
Right of Way Centerline	Road/Parking Striping
Curb & Gutter	No Parking Striping
Fence Line	ADA Parking Striping
Building	ADA Parking Symbol
EOA	ADA Parking Sign
EOA	Typical Sign
Concrete Sidewalk	Tree Well, See Landscape Plan
Parking Stripe	Street Light
Sign	6" Vertical Curb And Gutter
Spot Elevation	Typical Curb Transition (6"cf To 0"cf)
Fiber Optic Line	Zero Reveal Curb And Gutter (0"cf)
Gas Service	High Reveal Vertical Curb & Gutter
Buried Telephone Line	High Reveal Curb Transition (6"cf To 7"cf)
Telephone Riser	Detectable Warning Plate
Buried Power Line	Spot Elevation
Overhead Power Line	Grade
Light	
Power Pole	
Sewer Main	
Sewer Service	
Sewer Manhole	
Storm Drain	
Catch Basin	
Dry Well	
KCW 12" Ketchum City Water Line (12")	
KSW 4" Ketchum Spring Line (4")	
WS Water Service	
Water Valve	
AP = Angle Point	
BEG = Beginning	
BOW = Back of Walk	
CC = Curb Cut	
CLUST = Cluster	
CMP = Corrugated Metal Pipe	
EOA = Edge of Asphalt	
EOC = Edge of Concrete	
EOP = Edge of Pavers	
FF = Finished Floor	
FL = Flow Line	
GB = Grade Break	
HW = Headwall	
IC = Illegible Cap	
LIP = Lip of Gutter	
NC = No Cap	
NG = Natural Ground	
PVC = Polyvinyl Chloride Pipe	
TA = Top of Asphalt	
TBC = Top Back of Curb	
TOE = Toe of Slope	
TOP = Top of Slope	
TW = Top of Wall	
WM = Watermain	

380 N. 1ST AVE. MIXED-USE BUILDING
COVER AND CONSTRUCTION NOTES
LOCATED WITHIN SECTION 13, T.4N., R.17E., & SECTION 18, T.4N., R.18E.B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WILLIAMS PARTNERS



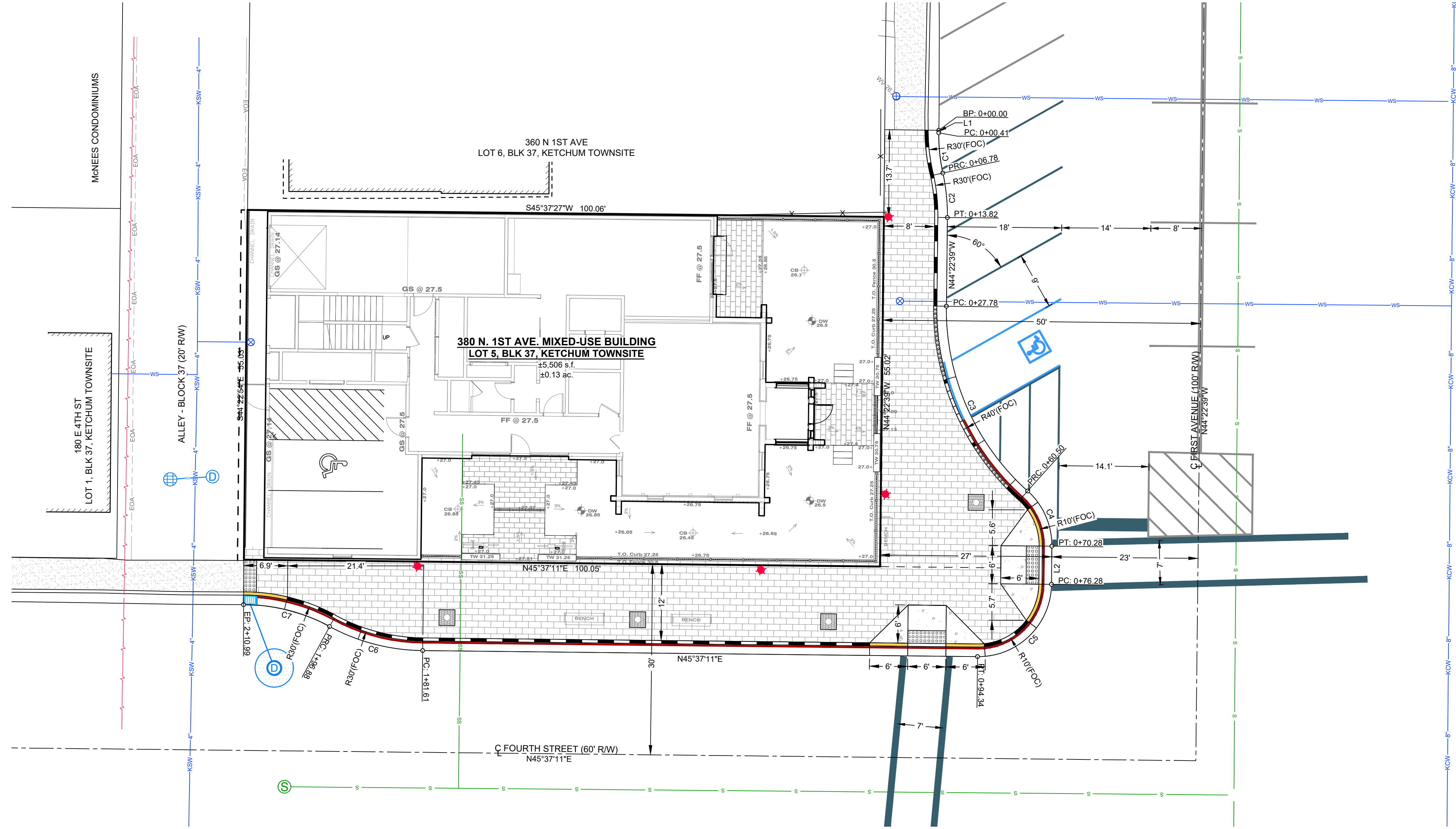
DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

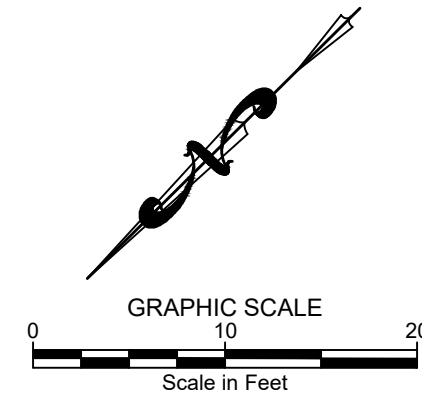
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.



Line	Direction	Length
L1	N44° 22' 22"W	0.41'
L2	N44° 22' 39"W	6.00'

Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.50'	6.37'	12° 48' 16"	N50° 46' 30"W	6.36'
C2	31.50'	7.04'	12° 47' 59"	N50° 46' 38"W	7.02'
C3	38.50'	32.72'	48° 42' 00"	N68° 43' 39"W	31.75'
C4	11.50'	9.77'	48° 42' 00"	N68° 43' 39"W	9.48'
C5	11.50'	18.06'	89° 59' 49"	N00° 37' 16"E	16.26'
C6	31.50'	15.27'	27° 46' 59"	N59° 30' 40"E	15.13'
C7	28.50'	14.11'	28° 21' 36"	N59° 13' 22"E	13.96'



PURPOSE:

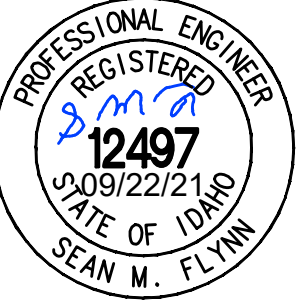
NO. DATE BY

REVISIONS

C1.0

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

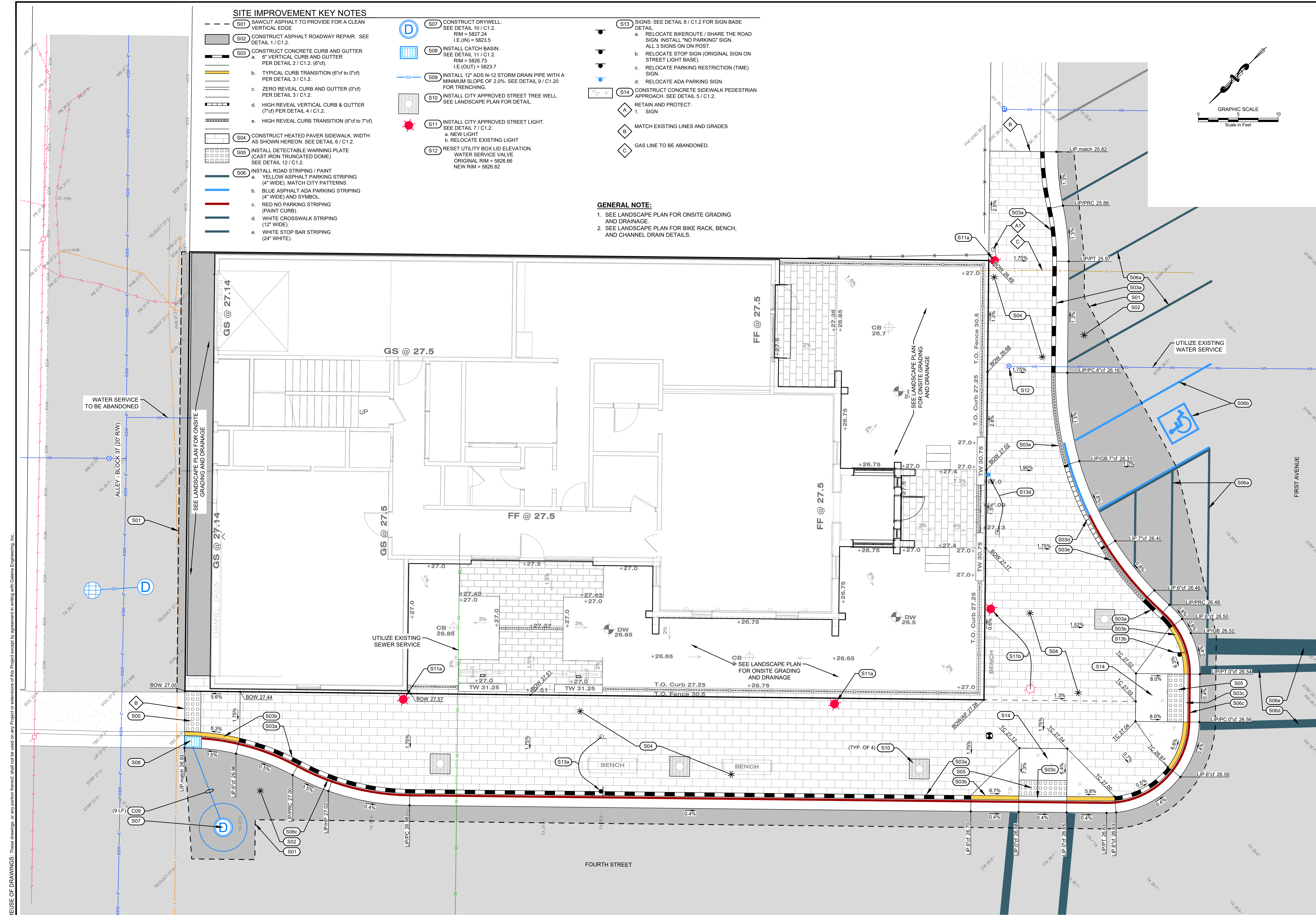


380 N. 1ST AVE. MIXED-USE BUILDING
SITE GEOMETRY PLAN

LOCATED WITHIN SECTION 13, T.4N., R.17E., & SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WILLIAMS PARTNERS

PROJECT INFORMATION
P:\asker\95157-02\95157-02_ENG_2021-08-17.dwg 09/22/21 8:17:15 AM

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



SITE IMPROVEMENT KEY NOTES

- (S01) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
- (S02) CONSTRUCT ASPHALT ROADWAY REPAIR. SEE DETAIL 1 / C1.2.
- (S03) CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" VERTICAL CURB AND GUTTER PER DETAIL 2 / C1.2. (6"cf)
 - b. TYPICAL CURB TRANSITION (6"cf to 0"cf) PER DETAIL 3 / C1.2.
 - c. ZERO REVEAL CURB AND GUTTER (0"cf) PER DETAIL 3 / C1.2.
 - d. HIGH REVEAL VERTICAL CURB & GUTTER (7"cf) PER DETAIL 4 / C1.2.
 - e. HIGH REVEAL CURB TRANSITION (6"cf to 7"cf)
- (S04) CONSTRUCT HEATED PAVER SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 6 / C1.2.
- (S05) INSTALL DETECTABLE WARNING PLATE (CAST IRON TRUNCATED DOME) SEE DETAIL 12 / C1.2.
- (S06) INSTALL ROAD STRIPING / PAINT
 - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - b. BLUE ASPHALT ADA PARKING STRIPING (4" WIDE) AND SYMBOL.
 - c. RED NO PARKING STRIPING (PAINT CURB).
 - d. WHITE CROSSWALK STRIPING (12" WIDE).
 - e. WHITE STOP BAR STRIPING (24" WHITE).
- (S07) CONSTRUCT DRYWELL. SEE DETAIL 10 / C1.2. RIM = 5827.24 I.E.(IN) = 5823.5
- (S08) INSTALL CATCH BASIN. SEE DETAIL 11 / C1.2. RIM = 5826.73 I.E.(OUT) = 5823.7
- (S09) INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 9 / C1.20 FOR TRENCHING.
- (S10) INSTALL CITY APPROVED STREET TREE WELL. SEE LANDSCAPE PLAN FOR DETAIL.
- (S11) INSTALL CITY APPROVED STREET LIGHT. SEE DETAIL 7 / C1.2.
 - a. NEW LIGHT
 - b. RELOCATE EXISTING LIGHT
- (S12) RESET UTILITY BOX LID ELEVATION. WATER SERVICE VALVE ORIGINAL RIM = 5826.66 NEW RIM = 5826.62

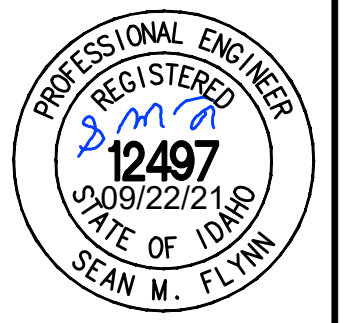
- (S13) SIGNS: SEE DETAIL 8 / C1.2 FOR SIGN BASE DETAIL.
 - a. RELOCATE BIKEROUTE / SHARE THE ROAD SIGN. INSTALL "NO PARKING" SIGN. ALL 3 SIGNS ON ON POST.
 - b. RELOCATE STOP SIGN (ORIGINAL SIGN ON STREET LIGHT BASE).
 - c. RELOCATE PARKING RESTRICTION (TIME) SIGN.
 - d. RELOCATE ADA PARKING SIGN.
- (S14) CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACH. SEE DETAIL 5 / C1.2.
 - RETAIN AND PROTECT:
 - A. SIGN
 - B. MATCH EXISTING LINES AND GRADES
 - C. GAS LINE TO BE ABANDONED.

GENERAL NOTE:

- SEE LANDSCAPE PLAN FOR ONSITE GRADING AND DRAINAGE.
- SEE LANDSCAPE PLAN FOR BIKE RACK, BENCH, AND CHANNEL DRAIN DETAILS.

**380 N. 1ST AVE. MIXED-USE BUILDING
GRADING AND DRAINAGE PLAN**

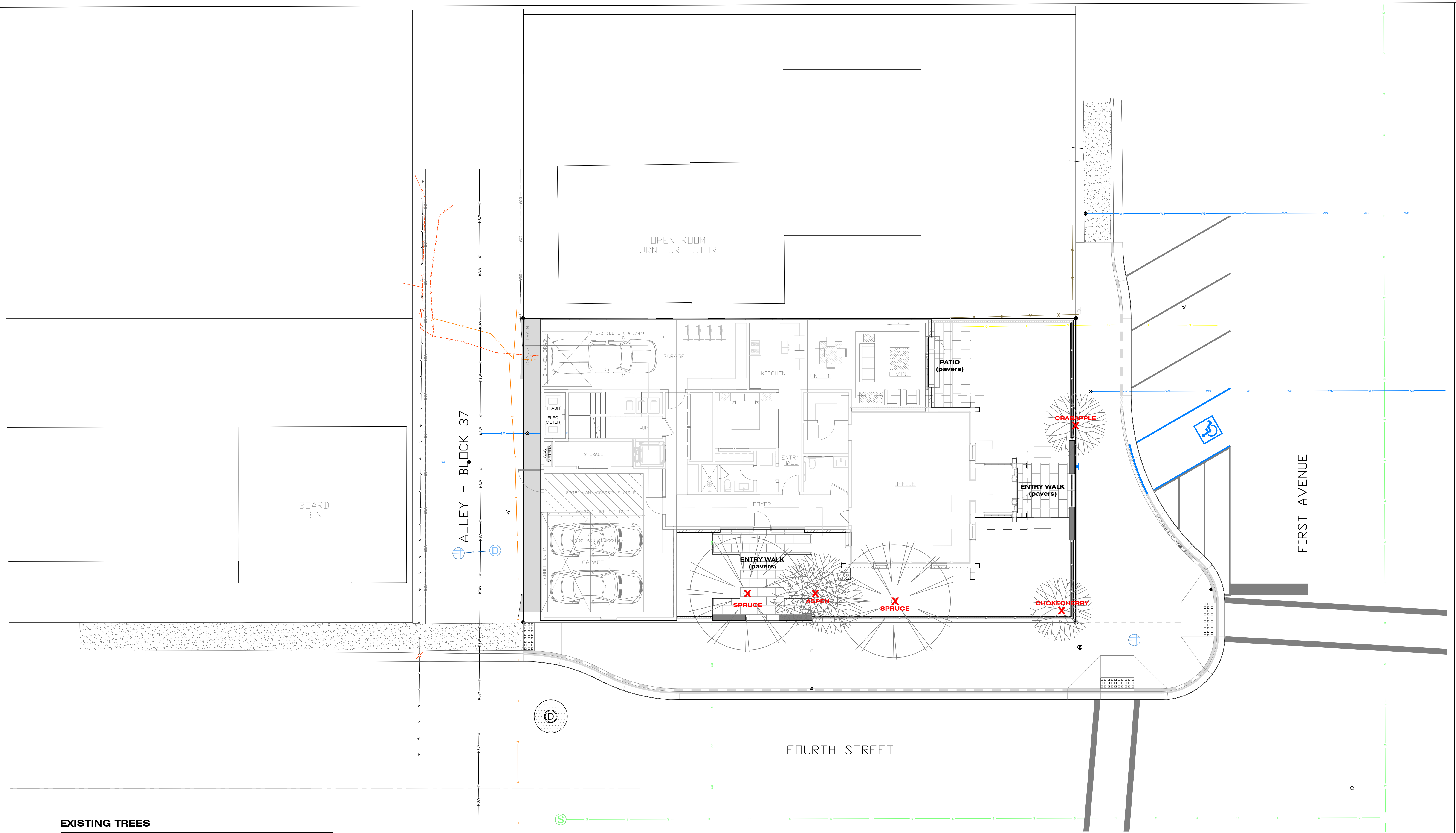
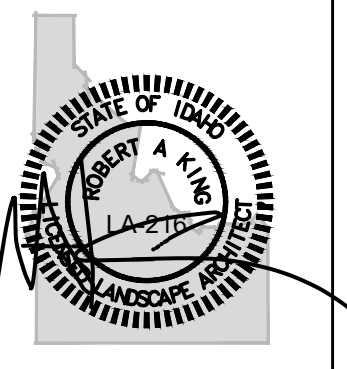
LOCATED WITHIN SECTION 13, T.4N., R.18E.B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WILLIAMS PARTNERS



DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS



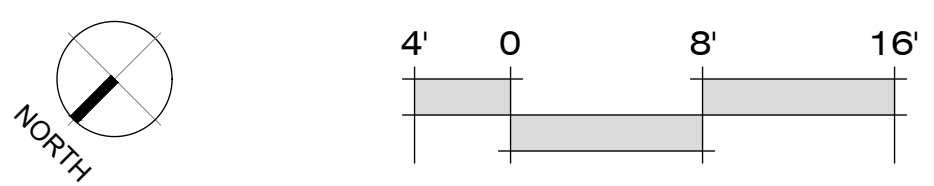
EXISTING TREES

Quantity	Description
5	EXISTING TREES TO BE REMOVED
1	QUAKING ASPEN, <i>Populus tremuloides</i> (*Multi-stem - 3 trunks)
1	CHOKECHERRY, <i>Prunus sp.</i>
1	CRABAPPLE, <i>Malus sp.</i>
2	COLORADO SPRUCE, <i>Picea pungens</i>

- GENERAL NOTES**
- DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
 - REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
 - REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 - ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM, IDAHO.

SITE PLAN

SCALE: 1/8" = 1'-0"



GRADING + DRAINAGE LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- LIMIT OF DISTURBANCE
- CONSTRUCTION SILT FENCE
- DIRECTION OF DRAINAGE
- FF 00.00** FINISH FLOOR ELEVATION
- GS 00.00** GARAGE SLAB ELEVATION
- +00.00** SPOT ELEVATION - FINISH GRADE
- TW 00.00** TOP OF WALL ELEVATION
- BW 00.00** BOTTOM OF WALL ELEVATION
- DRYWELL - 2 @ 24"**
Refer to Geotech/Civil plans and specifications
- DRYWELL - 3 @ 12"**
Refer to Geotech/Civil plans and specifications
- CATCHBASIN - 3 @ 12"**
Tie into drywells or foundation drainage system
Refer to Geotech/Civil plans and specifications
- DOWNSPOUT**
Tie into drywells or foundation drainage system
- 4" ADS DRAINLINES**
Connect to catch basins/drywells or foundation drainage system.
- CHANNEL DRAIN**
ALLEY: Vehicular Rated - TBD.
PEDESTRIAN IN PAVERS:
NDS MINI CHANNEL TRENCH DRAIN
IRON AGE DESIGNS DECORATIVE GRATE
FRAM 31 x 12"
OIL RUBBED FINISH

GRADING + DRAINAGE NOTES:

1. ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
2. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
3. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
4. SILT FENCE TO BE INSTALLED ALONG MHW AND RIPARIAN SETBACK PRIOR TO EXCAVATION WORK.
5. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
6. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
7. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
8. ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.

HARDSCAPES

- SITE WALL/SEAT WALL**
BOARD FORM CONCRETE
- CONCRETE CURB/RETAINING**
BOARD FORM CONCRETE
- IRON FENCE**
MATERIALS AND DETAILS TBD
- BIKE RACK**
TBD
- PAVERS - ENTRIES AND PATIO**
CASTORN - OLYMPIC PAVER
12" x 36", Charcoal
- PAVERS - UPPER TERRACES**
MUTUAL MATERIALS - VANCOUVER BAY SERIES
12" x 24" / Gray
- ALLEY DRIVEWAY - ASPHALT**

LEGEND - R.O.W.

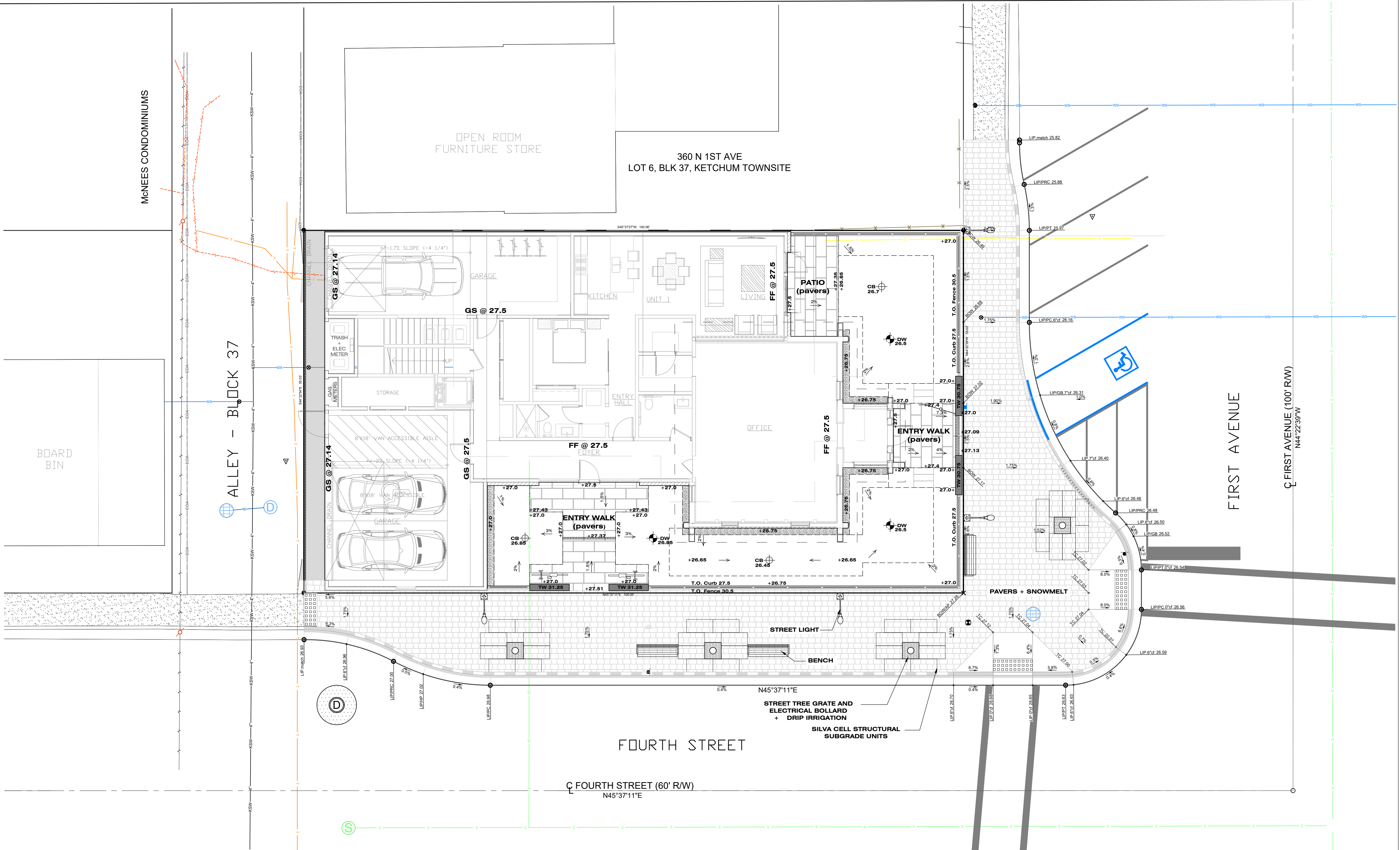
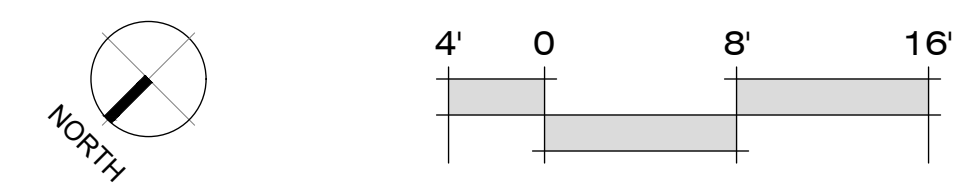
- 4**
30" x 30"
STREET TREE GRATE, ELECTRICAL OUTLET BOLLARD, AND IRRIGATION
PER CITY STANDARD - TREE WELL DETAIL 1:
NEENAH R-8704 with 12" diameter opening (Or Approved Equal)
- ELECTRICAL BOLLARDS - PROVIDED BY CITY**
Applicant to provide outlet and outlet cover, connect and provide conduits, wiring and tie to city lighting meter.
- DRIP IRRIGATION**
Separate zone with Hunter/Rainwise Smart Clock (Or Approved Equal)
- 32**
DEEPROOT - SILVA CELL STRUCTURAL SUBGRADE UNITS
PER CITY STANDARD - TREE WELL DETAIL 2:
2X UNITS: 24" x 48 X 30.9"
8 Units per Street Tree
Final layout per manufacturer design engineer specifications.
- 4**
STREET LIGHT
PER CITY STANDARD - STREET LIGHT 14:
SOLARONE RFS DESIGN 158 LFP (Or Approved Equal)
- 2125 sf**
CONCRETE PAVERS + SNOWMELT
PER CITY STANDARD:
ABBOTSFORD - CALIFORNIA 6x12, Natural
(Or Approved Equal)
- 3**
BENCH
PER CITY STANDARD:
TBD

SNOW REMOVAL/STORAGE

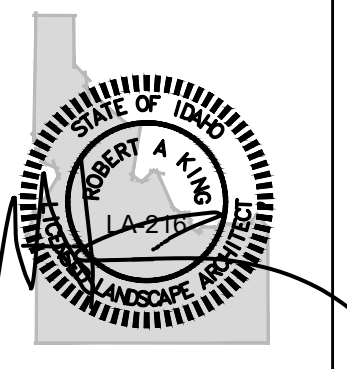
1. SIDEWALKS, STEPS, RAMPS, TERRACES, AND ALLEY TO BE SNOWMELTED.

GRADING PLAN

SCALE: 1/8" = 1' -0"



LANDWORK STUDIO LLC
LANDSCAPE ARCHITECTURE + DESIGN
110 5TH STREET SUITE 103
PO BOX 755 KETCHUM IDAHO 83840
208.726.5511 WWW.LANDWORKSTUDIO.COM



380 N FIRST AVE
380 N FIRST AVE
LOT 5 BLOCK 37
CITY OF KETCHUM

DATE: 09/30/2021
DESIGN REVIEW SET

GRADING PLAN
L-2.0

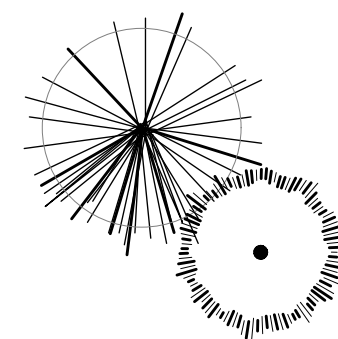
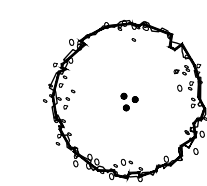
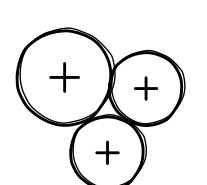
LANDSCAPE + PLANTING NOTES

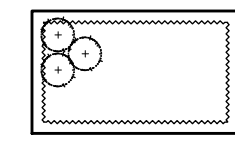


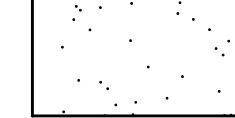
1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION..
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
7. REFER TO CITY STANDARDS FOR ALL PLANTING AND IRRIGATION SPECS FOR IMPROVEMENTS WITHIN THE R.O.W.

IRRIGATION NOTES

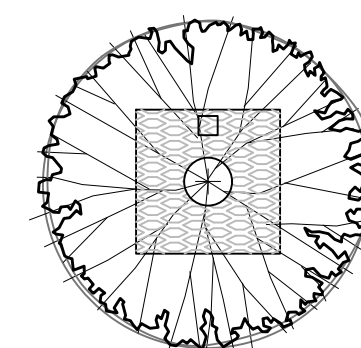
- 1) ALL PLANTING BEDS TO BE IRRIGATED BY SUBSURFACE DRIPLINES.
- 2) TOTAL AREA OF LANDSCAPING AND PERMANENT IRRIGATION = 1,150 sf

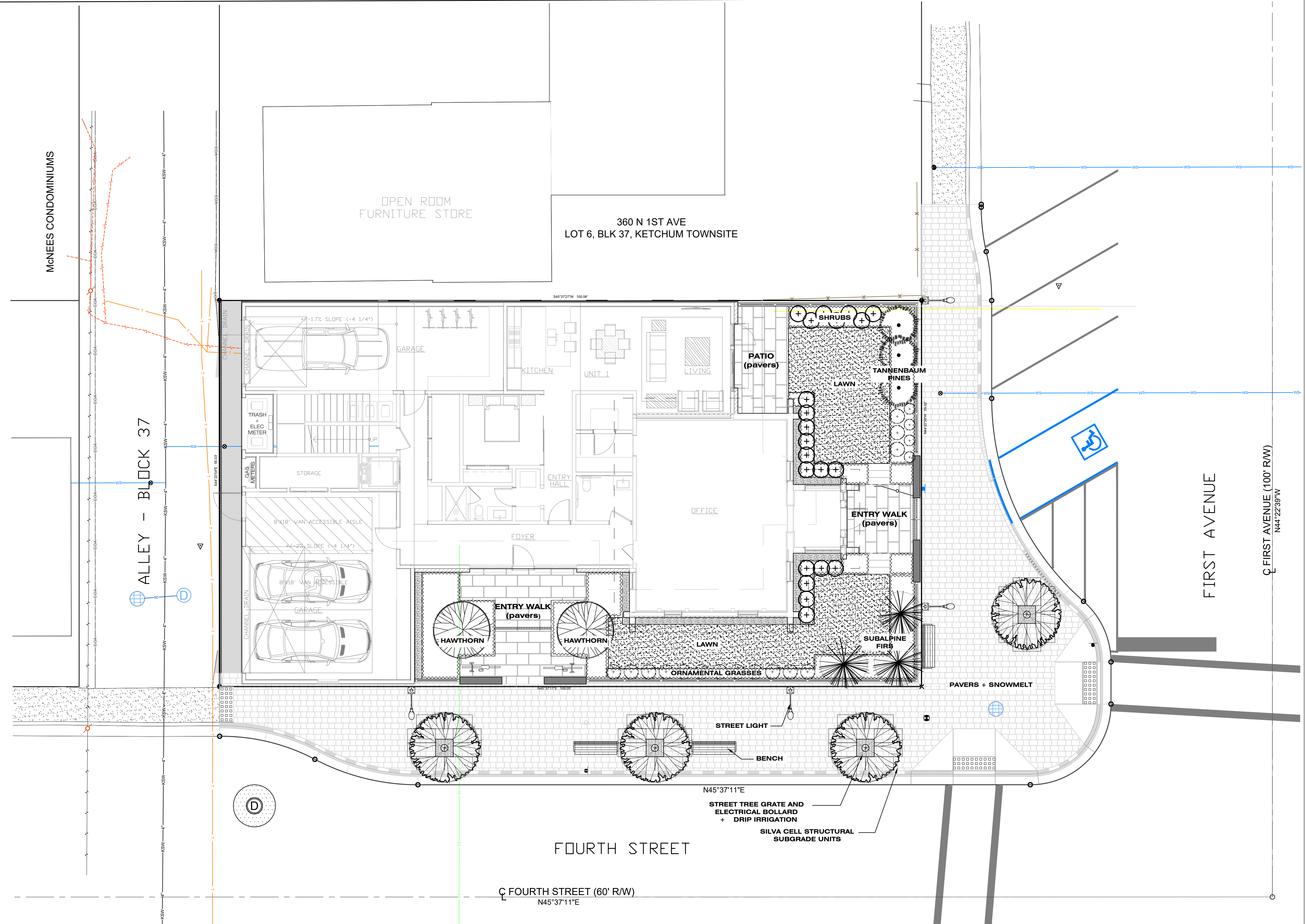
PLANTING LEGEND

	6 EVERGREEN TREES 3 @ 14'-18" 3 @ 10'-12"	SUBALPINE FIR, <i>Abies lasiocarpa</i> TANNENBAUM PINE, <i>Pinus mugo</i> 'Tannenbaum'
	2 DECIDUOUS TREES 2 @ B+B	RUSSIAN HAWTHORN, <i>Crataegus ambigua</i>
	25 SHRUBS VARIETIES AND SIZES TBD	

	600 SF	PLANTING BEDS Beds Prepared with Planting Mix Consisting of 50% Compost/50% Top-Soil
	250 SF 1 gal @ 18" O.C.	PERENNIALS + GROUNDCOVERS
	100 SF 1 gal @ 18" O.C.	ORNAMENTAL GRASSES
	550 SF	FESCUE LAWN - SOD SCOTTISH LINKS FINE FESCUE MIX

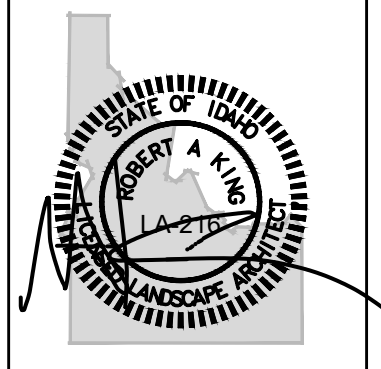
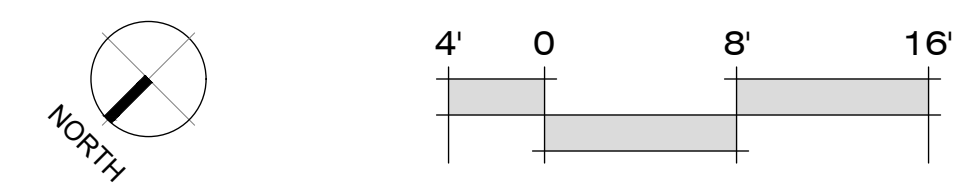
PLANTING LEGEND - ROW

	4	STREET TREES 4' cal. RED ROCKET MAPLE, <i>Acer rubrum</i> 'Red Rocket'
---	----------	---



LANDSCAPE PLAN

SCALE: 1/8" = 1' -0"



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HARDSCAPE MATERIALS



CONCRETE SITE WALLS



DECORATIVE GRAVEL



CONCRETE PAVERS



BIKE RACKS



CHANNEL DRAINS



STEEL EDGING RETAINING

LANDSCAPE MATERIALS



SUBALPINE FIR



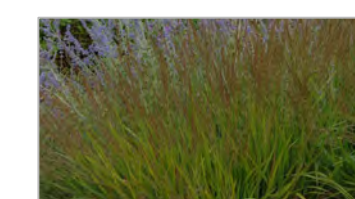
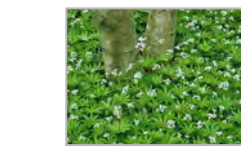
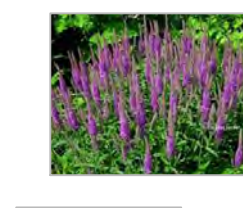
RUSSIAN HAWTHORN



TANNENBAUM PINE



RED ROCKET MAPLE



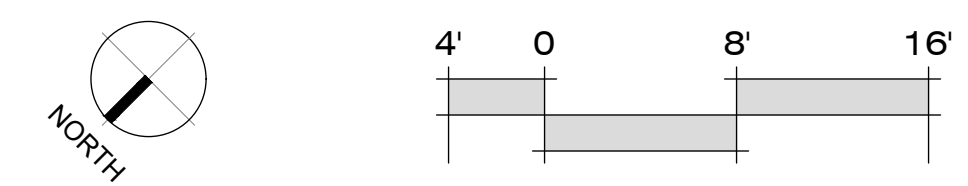
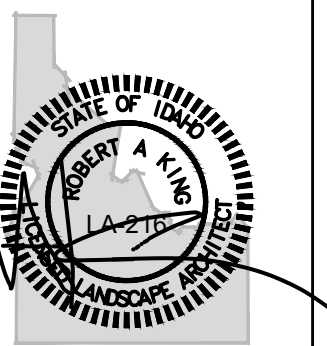
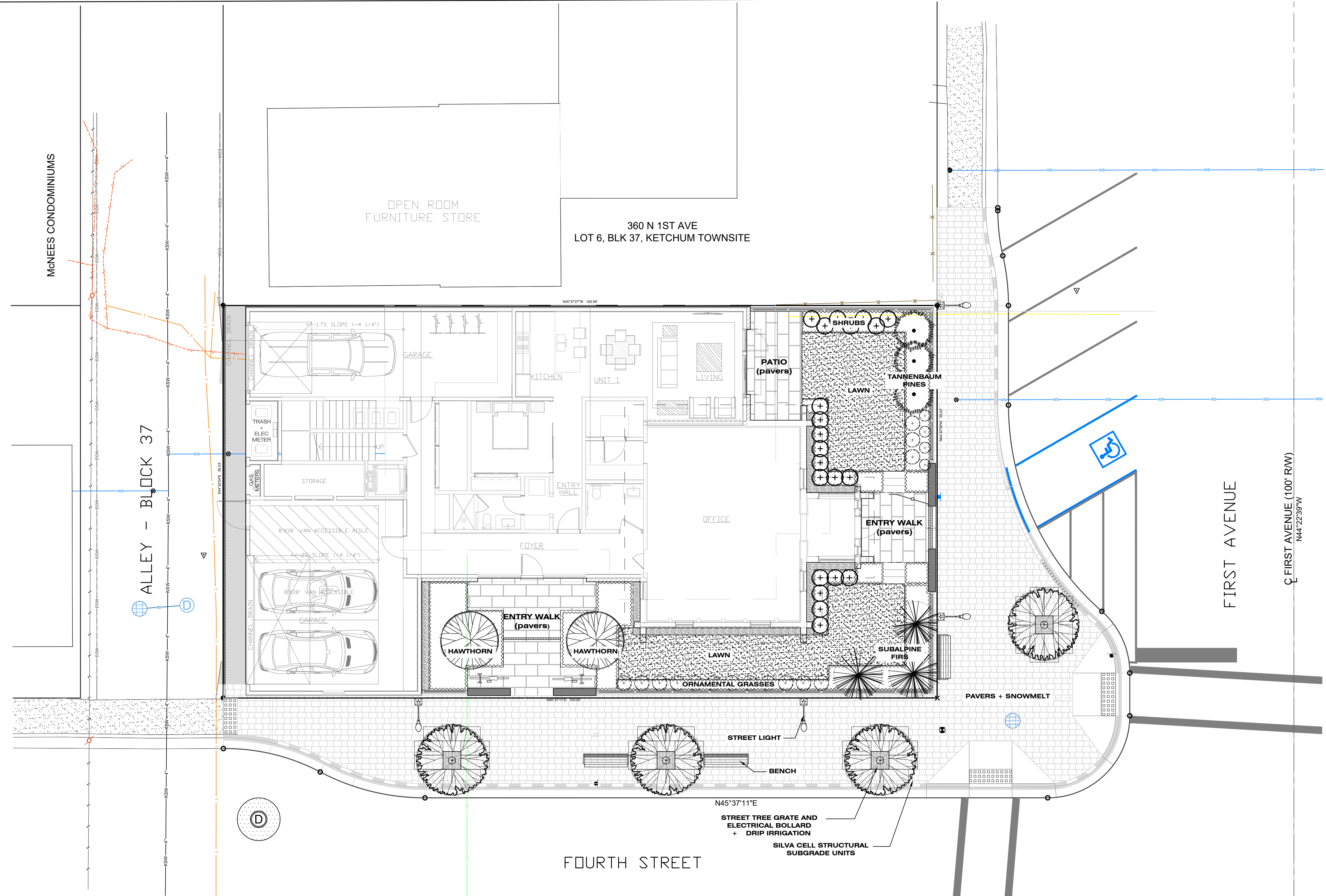
SHRUBS

PERENNIALS

ORNAMENTAL GRASSES

LANDSCAPE MATERIALS PLAN

SCALE: 1/8" = 1'-0"



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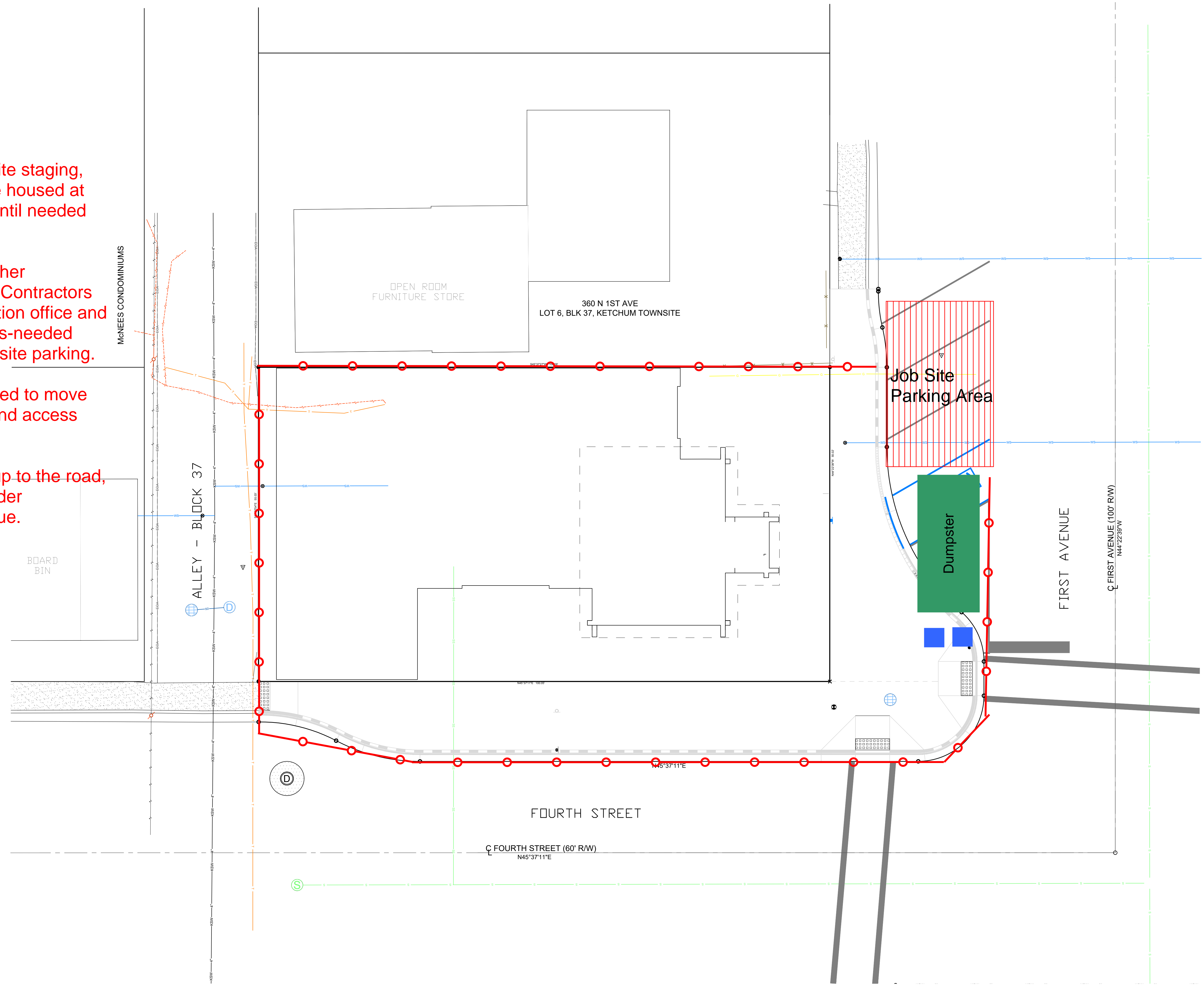
Notes:

Due to limited space, all job site staging, materials and stockpile will be housed at 1310 Citation Way in Hailey until needed on site.

Limited on site parking - Grabher Construction Employees/Sub Contractors will park at Grabher Construction office and be shuttled to job site on an as-needed basis to limit unnecessary on site parking.

Dumpster/Blue Rooms will need to move around as site is developed and access changes.

Entire job site will be fenced up to the road, similar to job site currently under construction across first avenue.

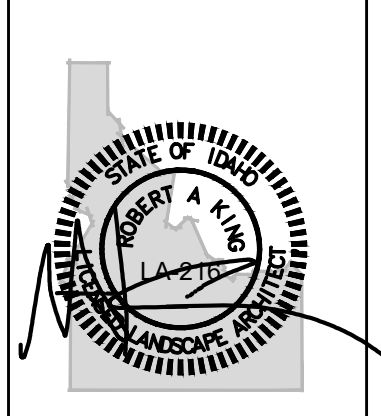
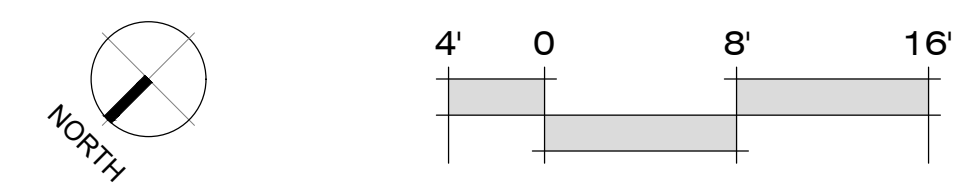


KEY

- Site Fence -
- Dumpster -
- Blue Rooms -
- Job Site Parking -

CONSTRUCTION ACTIVITY PLAN

SCALE: 1/8" = 1' -0"



380 N FIRST AVE
 380 N FIRST AVE
 LOT 5 BLOCK 37
 CITY OF KETCHUM

DATE: 09/21/2021
 PRELIMINARY

CONSTRUCTION ACTIVITY PLAN
L-4.0

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VIEW LOOKING SOUTHEAST

3



VIEW LOOKING NORTHEAST

1



VIEW LOOKING EAST

2

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

WILLIAMS PARTNERS

ARCHITECTS

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KETCHUM, IDAHO
83340
PHONE 208.726.0020
FAX 208.726.0019
WWW WILLIAMS-PARTNERS.COM

DRAWINGS
DATE: 05/12/2021
ISSUED: COX SCHEMATIC PRESENTATION
06/10/2021 COX HPC REVIEW
09/30/2021 DESIGN REVIEW

REVISIONS
NUMBER: DATE:

A 1.0a

EXISTING CONDITIONS PHOTOS

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VIEW LOOKING SOUTH 4



VIEW LOOKING EAST 2



VIEW LOOKING SOUTHEAST 3



VIEW LOOKING NORTHEAST 1

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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WILLIAMS PARTNERS

ARCHITECTS

MAIL P.O.B. 4373
 KETCHUM, IDAHO 83340
 PHONE 208.726.0020
 FAX 208.726.0019
 WWW WILLIAMS-PARTNERS.COM

DRAWINGS
 DATE: 05/12/2021
 ISSUED: CON SCHEMATIC PRESENTATION
 06/10/2021 CON HPC REVIEW
 09/30/2021 DESIGN REVIEW

REVISIONS
 NUMBER: DATE:

A 1.0b

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

WILLIAMS PARTNERS

ARCHITECTS

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PHONE 208.726.0020
FAX 208.726.0019
WWW.WILLIAMS-PARTNERS.COM

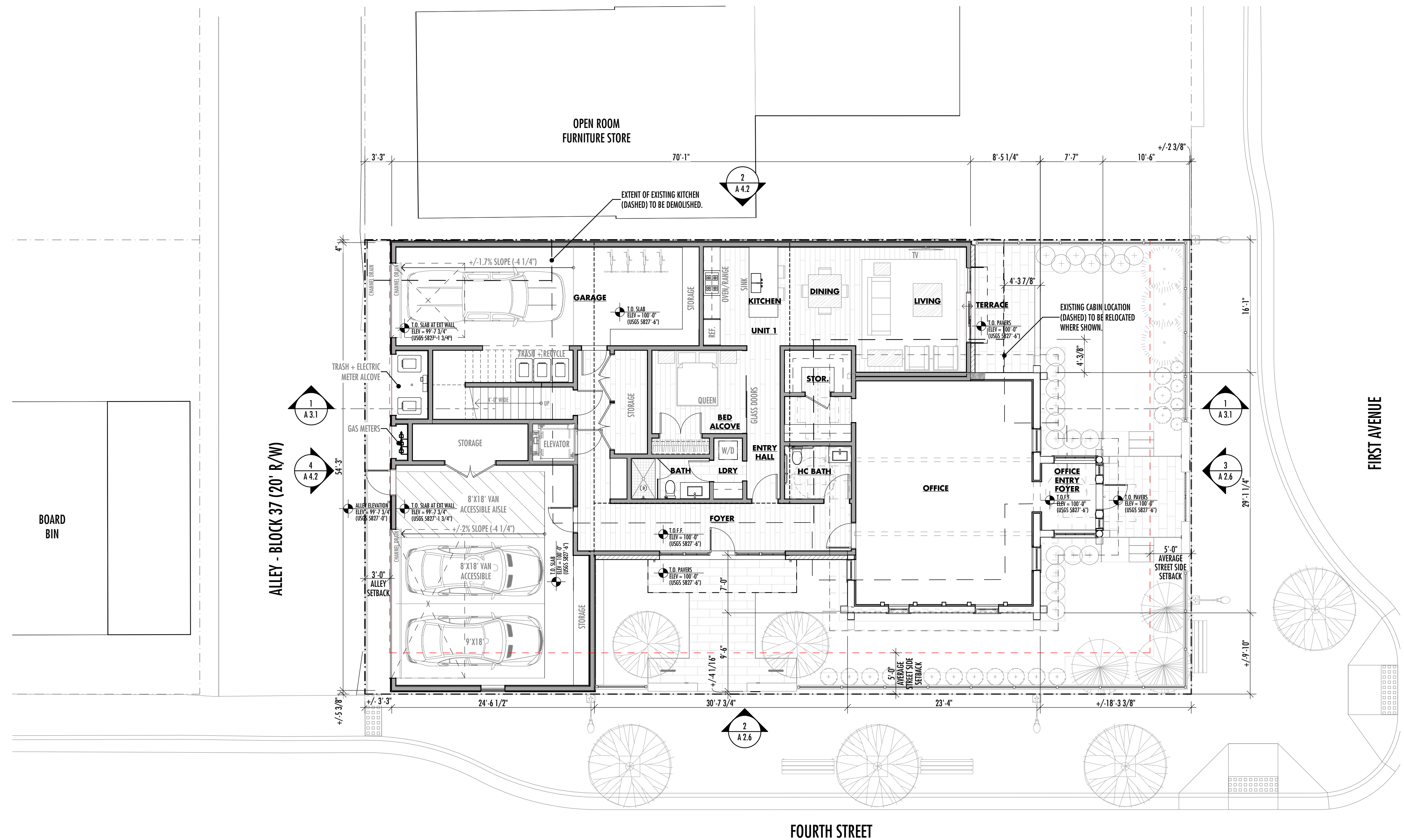
DRAWINGS
DATE: 05/12/2021
ISSUED: CON SCHEMATIC PRESENTATION
06/10/2021 CON HPC REVIEW
09/30/2021 DESIGN REVIEW

REVISIONS
NUMBER: DATE:

A 2.1

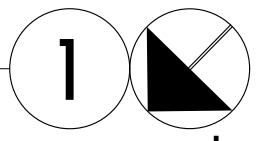
PLANS

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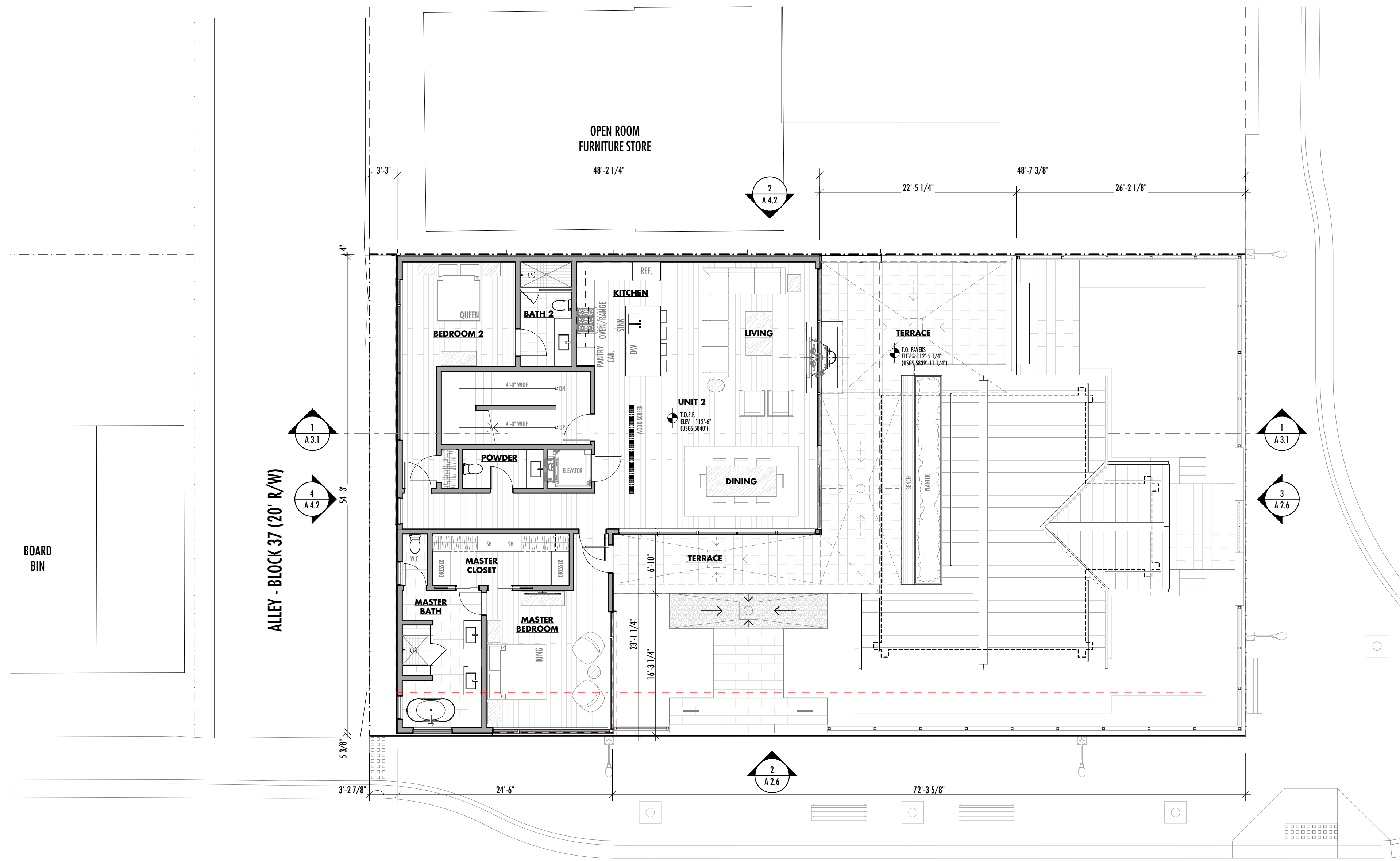


FIRST FLOOR PLAN - PROPOSED

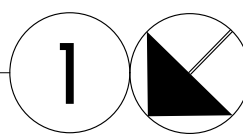
SCALE: 1/8" = 1'-0"



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SECOND FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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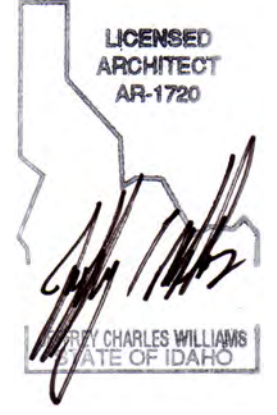
MAIL P.O.B. 4373
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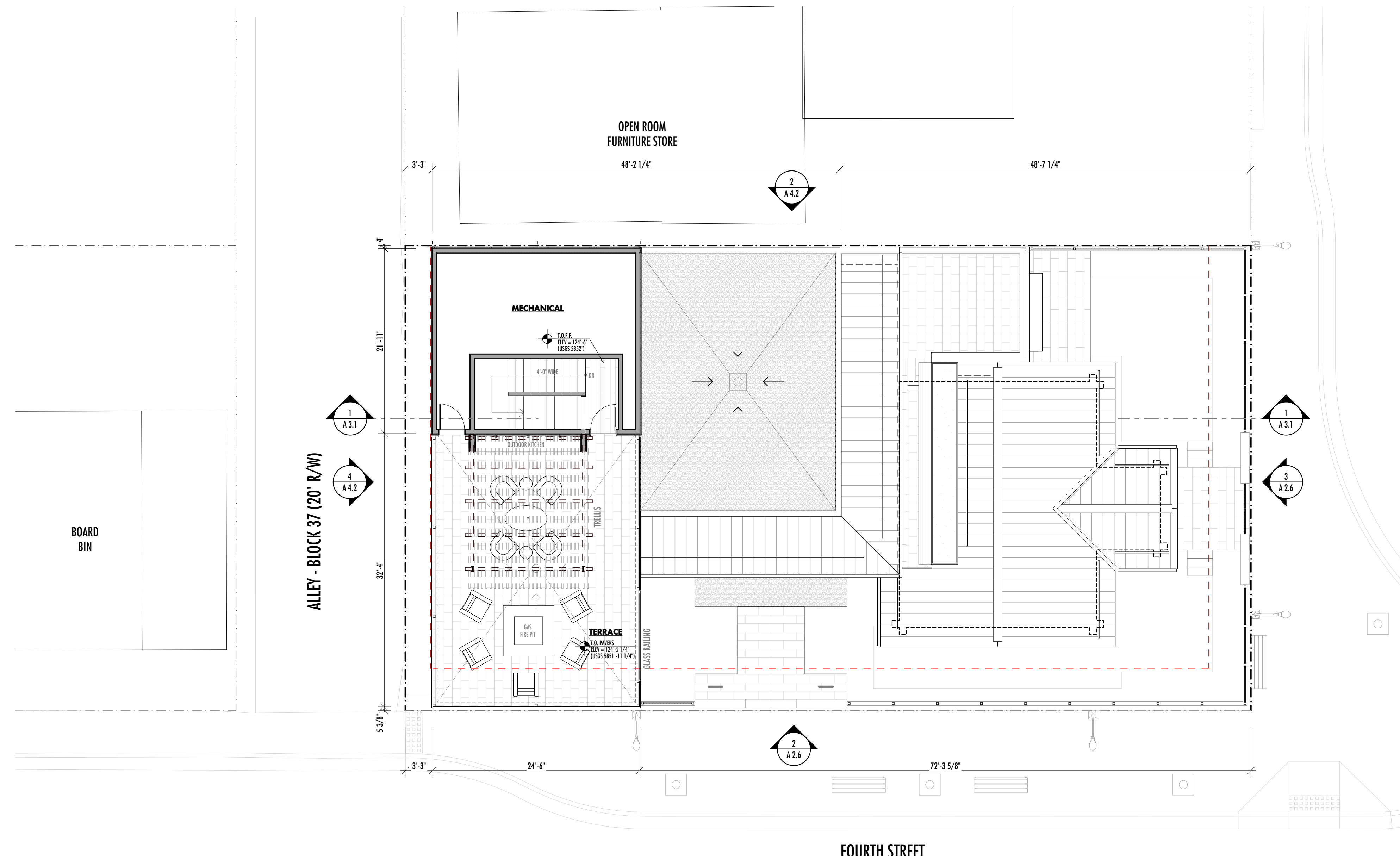
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DATE: 05/12/2021
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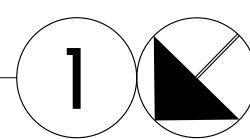
A 2.2

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THIRD FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



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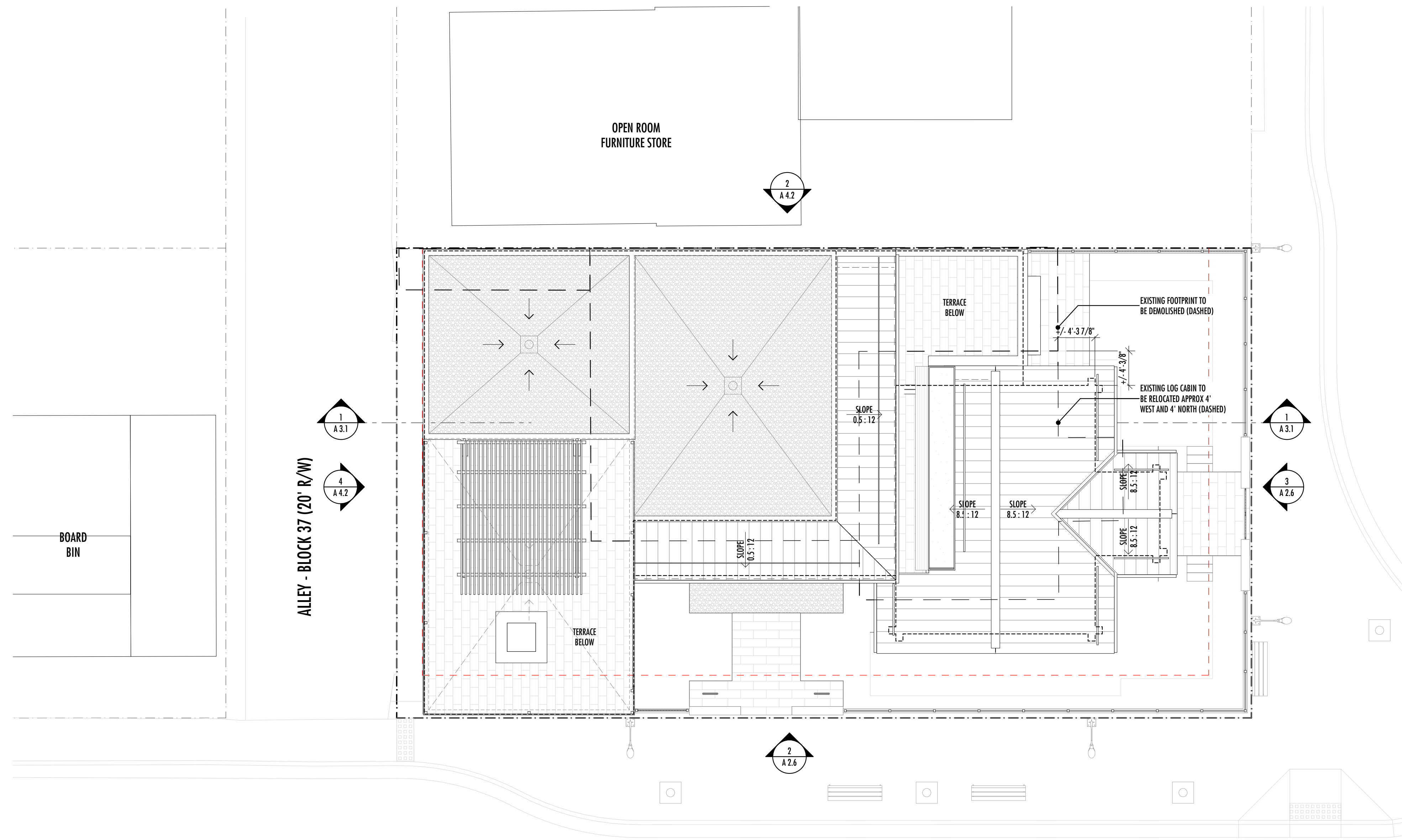
DRAWINGS
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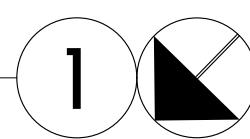
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ROOF PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



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A 2.4

PLANS

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NET SQUARE FOOTAGE

FIRST FLOOR:	1,678 S.F.
SECOND FLOOR:	1,465 S.F.
THIRD FLOOR:	0 N.S.F.
TOTAL N.S.F.:	3,143 S.F.

[FLOOR AREA, NET: THE SUM OF THE HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.]

GROSS SQUARE FOOTAGE

FIRST FLOOR	
EXISTING (OFFICE):	742 S.F.
NEW (OFFICE)	106 S.F.
NEW COMMON SPACE:	442 S.F.
NEW COMMON PARKING/TRASH/METERS:	774 S.F.
NEW UNIT 1 LIVING:	750 S.F.
NEW UNIT 2 GARAGE:	490 S.F.
NEW UNIT 2 LIVING:	175 S.F.
FIRST FLOOR SUB-TOTAL:	3,479 S.F.

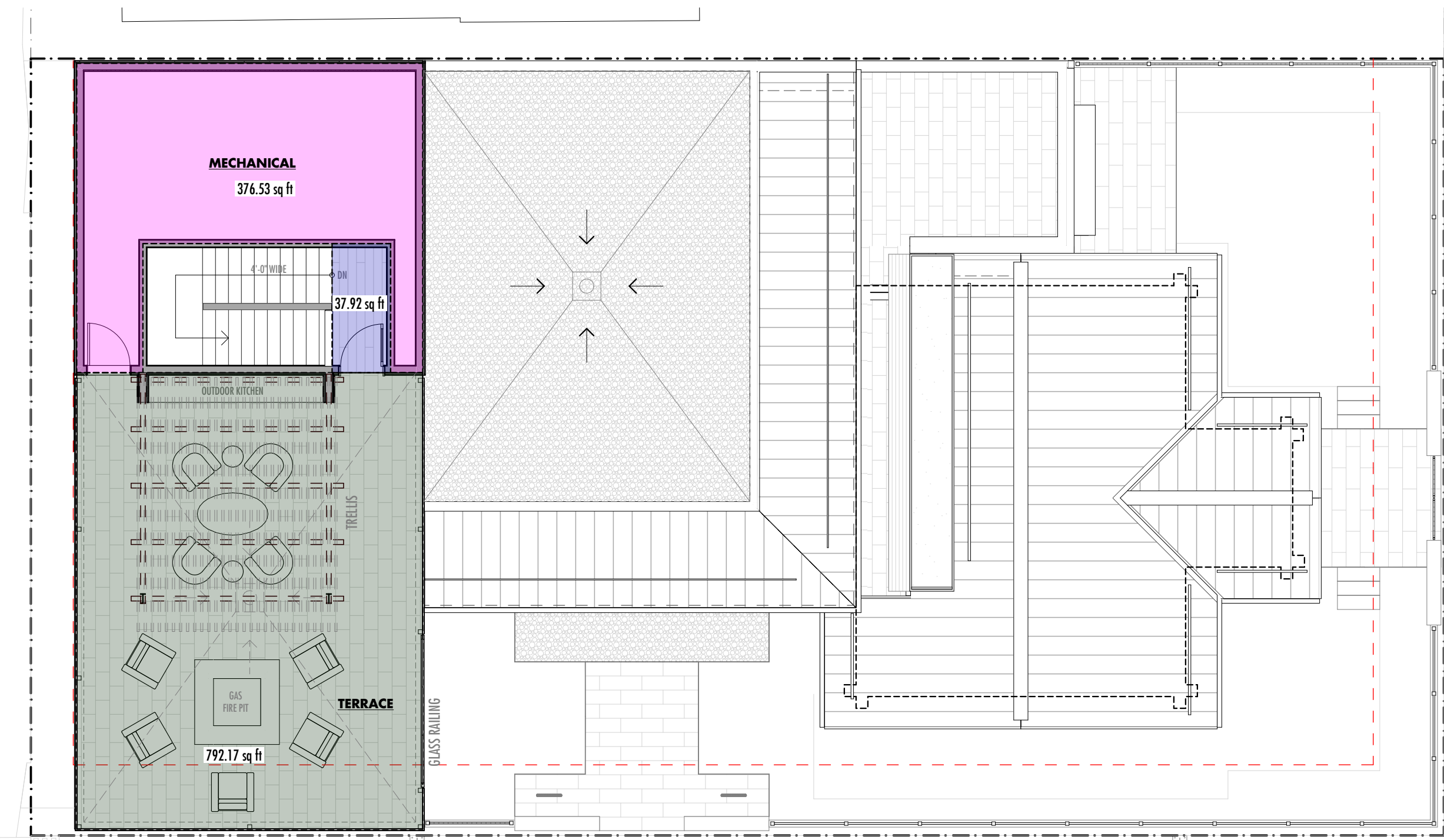
FIRST FLOOR SUB-TOTAL TOWARDS F.A.R.:
THREE PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 S.F. IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION
[3,479 S.F. - (3 x (9 x 18)) = 2,993 S.F.]

SECOND FLOOR	
UNIT 2 LIVING:	1,952 S.F.
TERRACE:	710 S.F.
THIRD FLOOR	
UNIT 2 LIVING:	38 S.F.
COMMON MECHANICAL:	377 S.F.
TERRACE:	792 S.F.

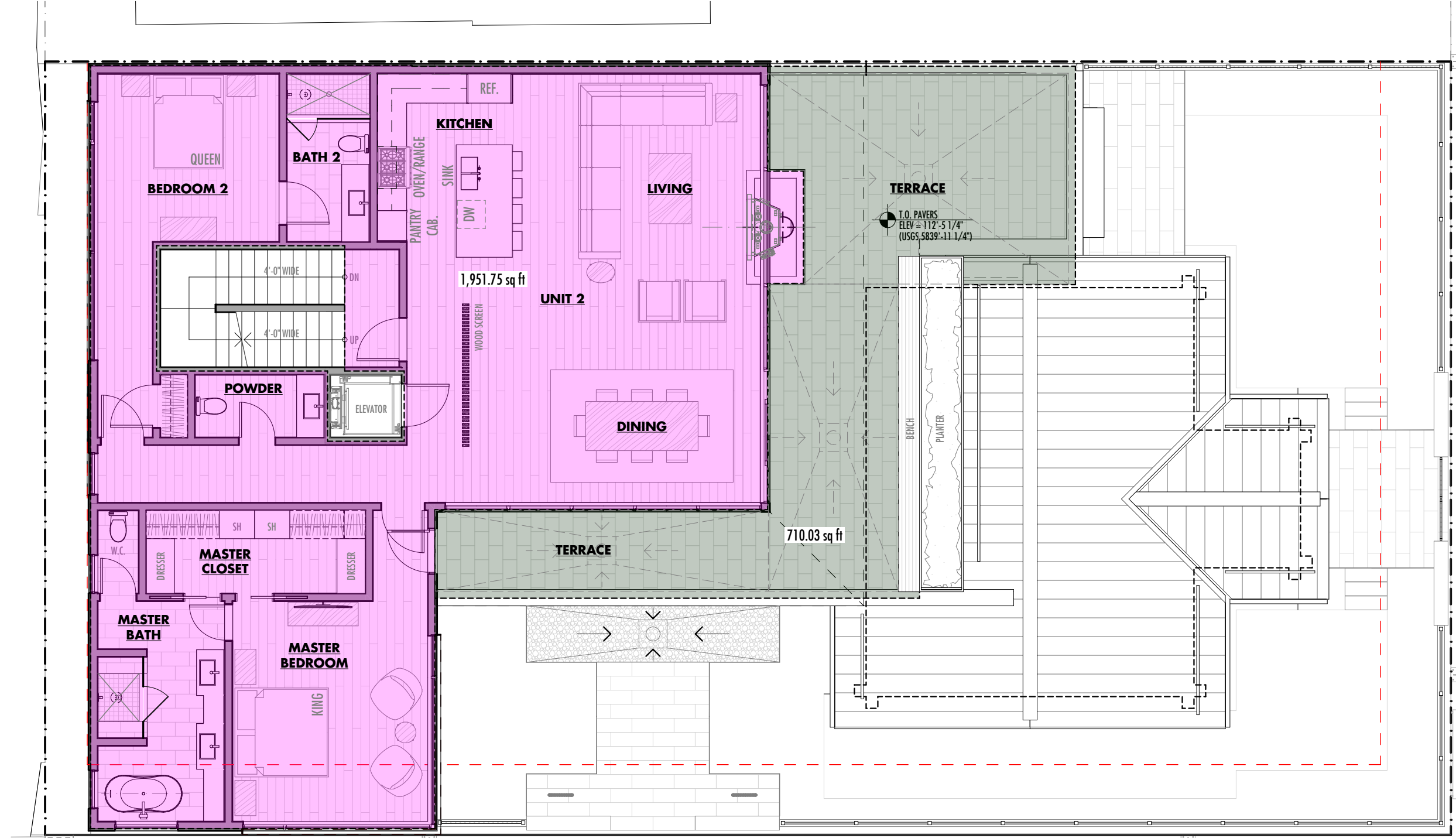
TOTAL REMODEL (EXISTING CABIN):	742 S.F.
TOTAL NEW:	5,103 S.F.

TOTAL G.S.F. (INCLUDING GARAGES):	5,845 S.F.
TOTAL TOWARDS F.A.R.:	5,359 S.F.
[5,359 / 5,505 = 0.97 F.A.R.]	

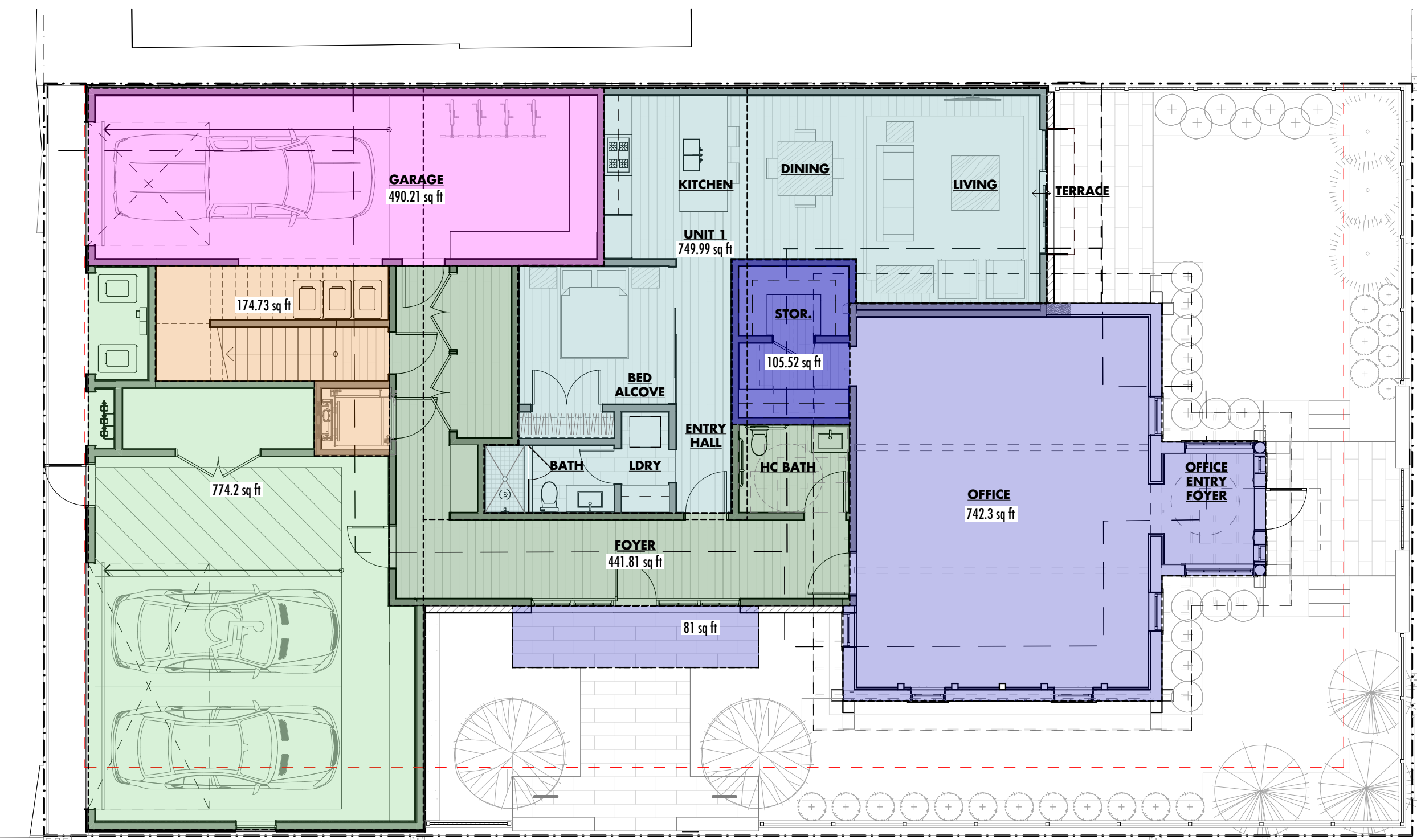
[FLOOR AREA, GROSS: THE SUB OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND FIFTY PERCENT OF ATRIUMS OVER EIGHTEEN FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SHITE LOTS OF 5,600 SF IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.]



THIRD FLOOR AREA CALCS (GROSS SF) 3



SECOND FLOOR AREA CALCS (GROSS SF) 2



FIRST FLOOR AREA CALCS (GROSS SF)

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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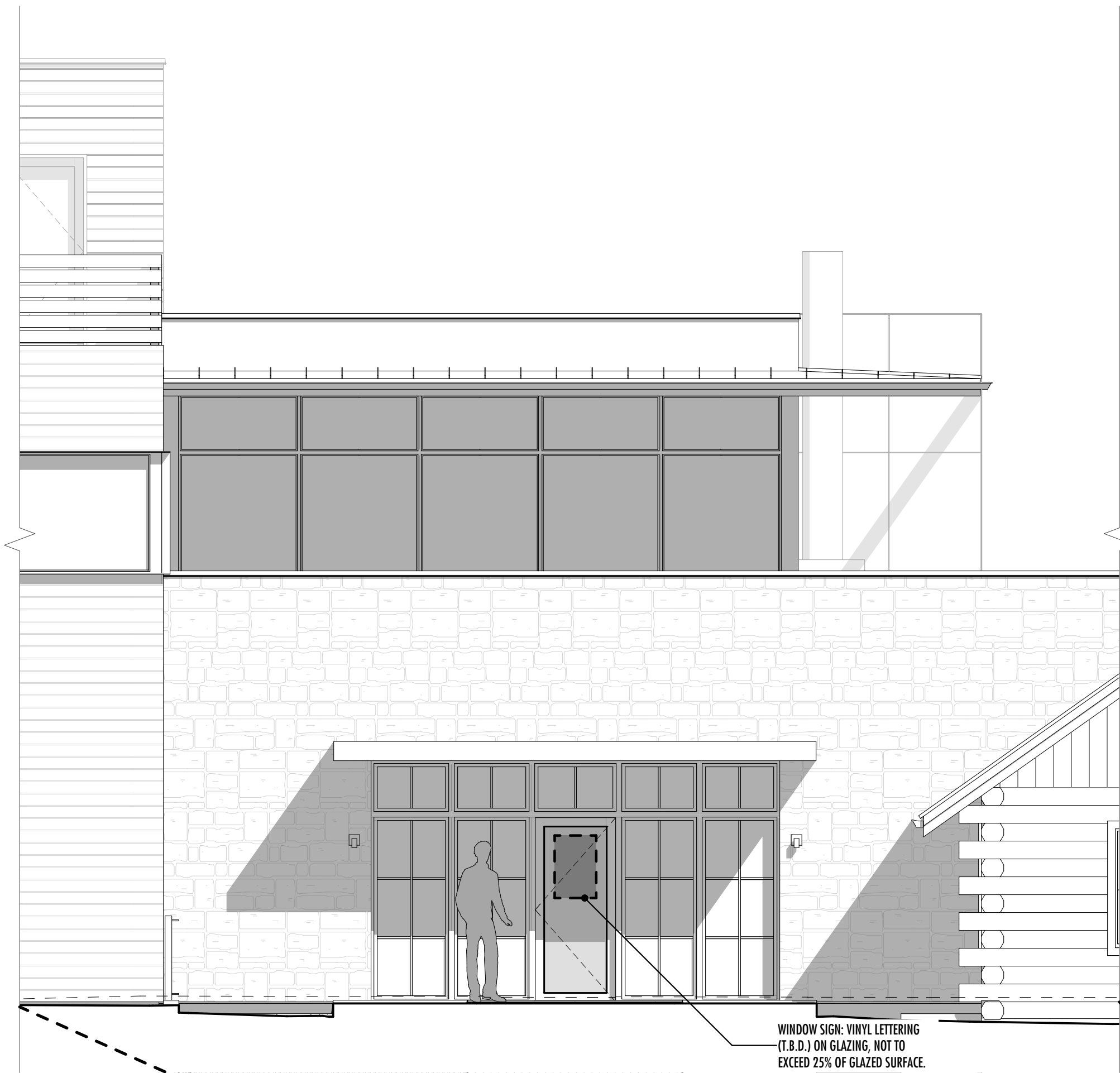
DRAWINGS
DATE: 05/12/2021
ISSUED: 06/10/2021
COX HPC REVIEW
09/30/2021
DESIGN REVIEW

REVISIONS
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A 2.5

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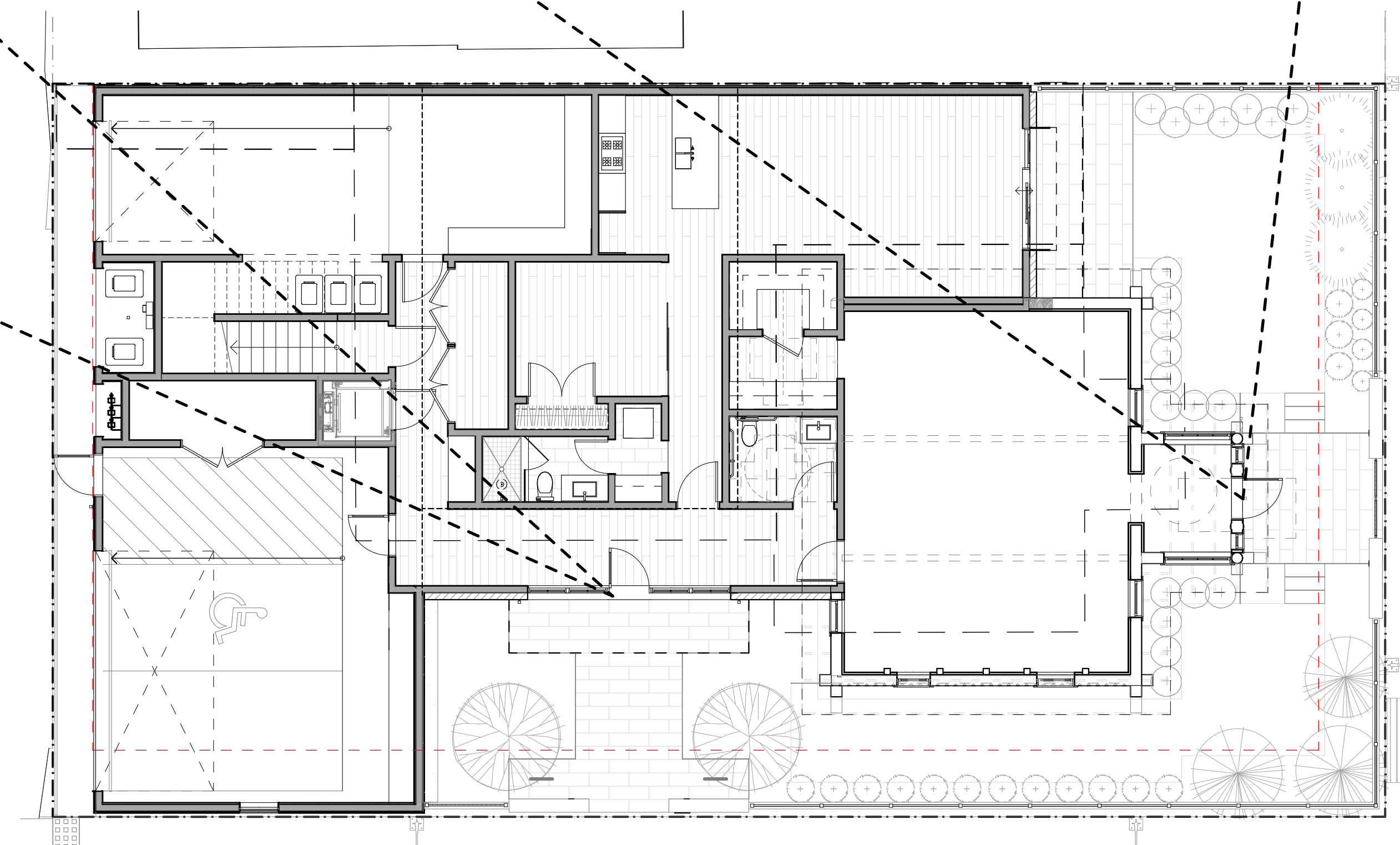




NORTH ELEVATION - PROPOSED SIGNAGE 2



WEST ELEVATION - PROPOSED SIGNAGE 3



PROPOSED MASTER SIGNAGE PLAN 1
SCALE: 1/8" = 1'-0"

Y:\McMorrow\04 - BIM Project Files\MCMORROW MIXED USE v24.pln north

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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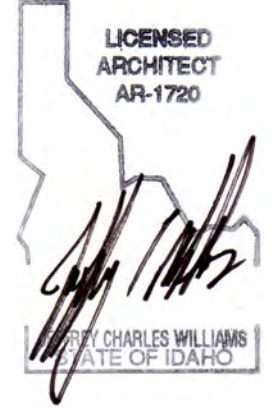
DRAWINGS
DATE: 05/12/2021
ISSUED: CON SCHEMATIC PRESENTATION
06/10/2021 CON HPC REVIEW
09/30/2021 DESIGN REVIEW

REVISIONS
NUMBER: DATE:

A 2.6

PLANS

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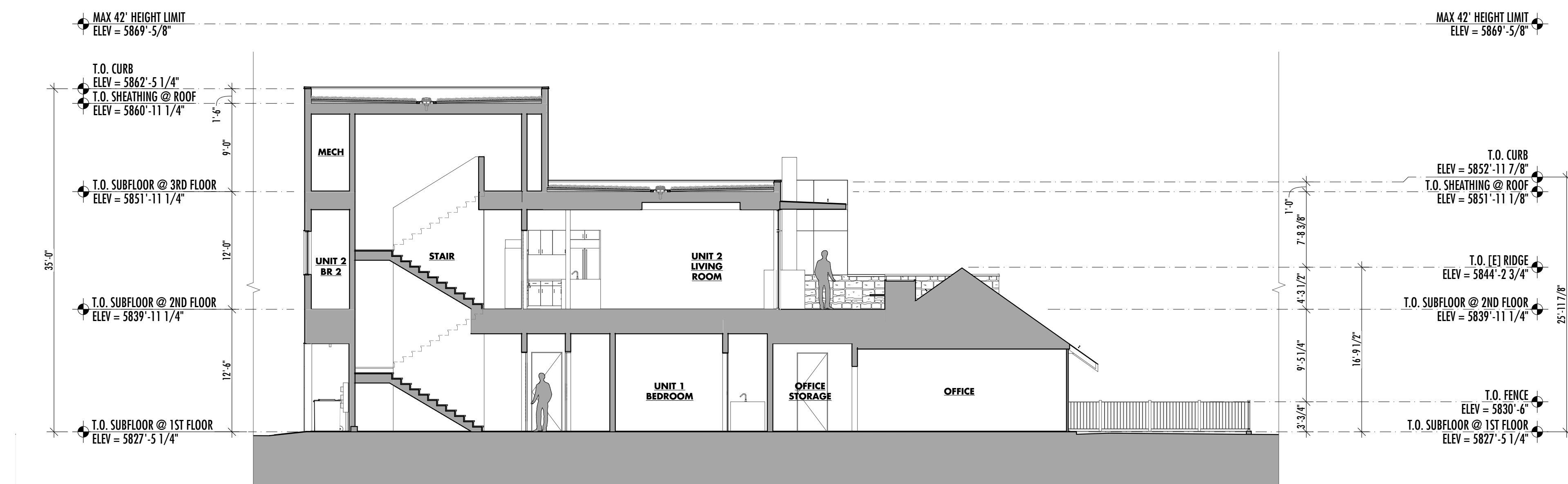
ISSUED:
DATE: 05/12/2021
06/10/2021
09/30/2021
CON SCHEMATIC PRESENTATION
CON HPC REVIEW
DESIGN REVIEW

REVISIONS
NUMBER: DATE:

A 3.1

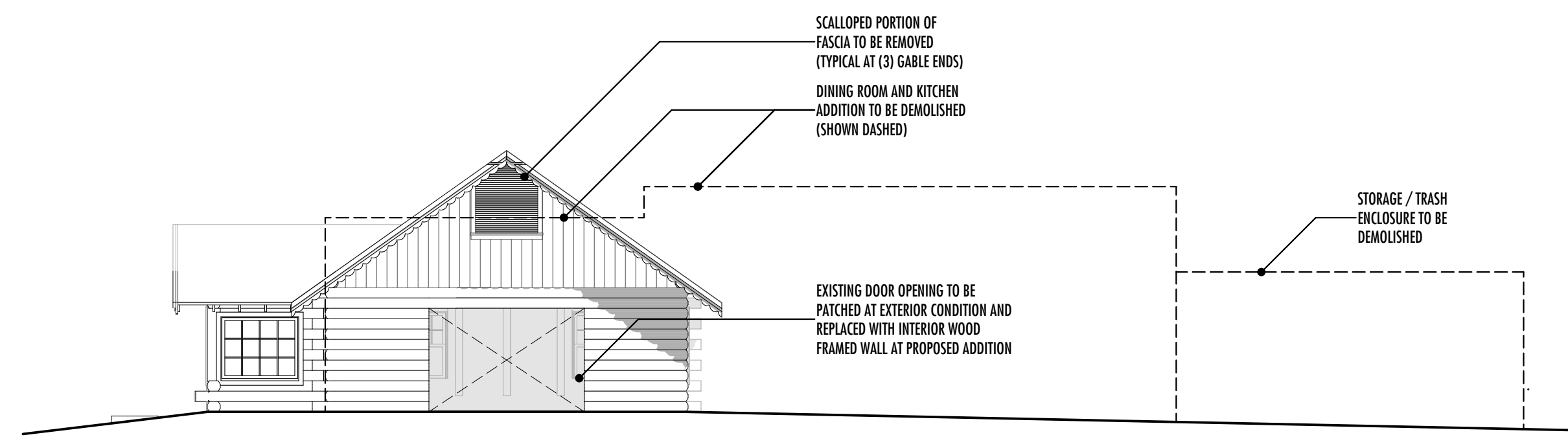
BUILDING SECTIONS

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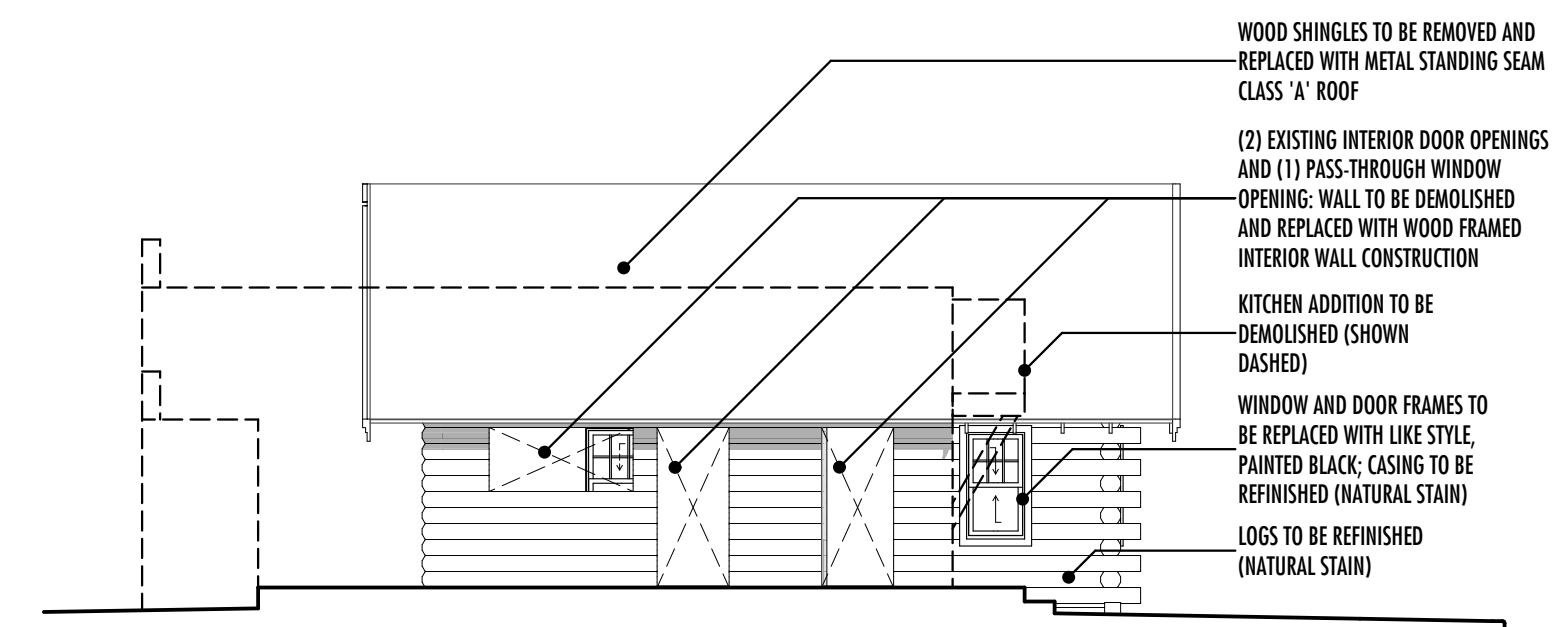


BUILDING SECTION A
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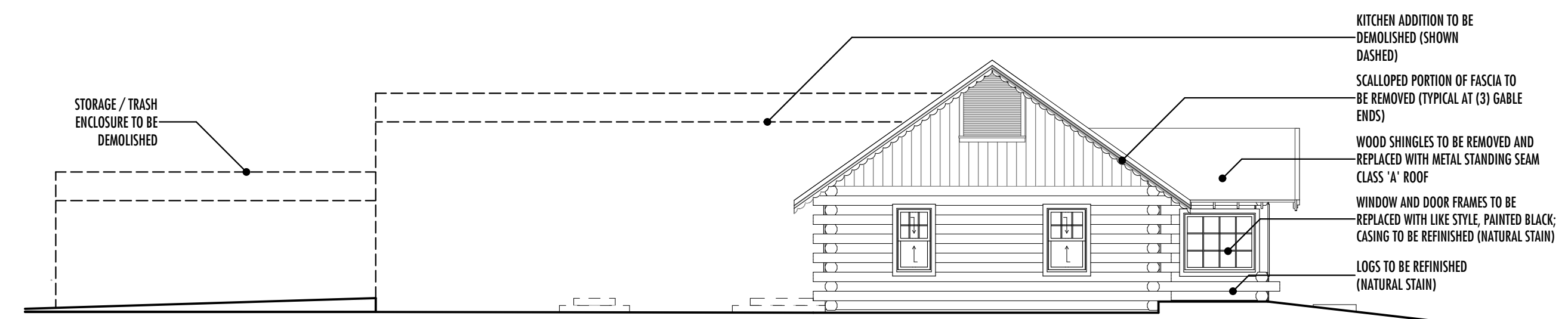
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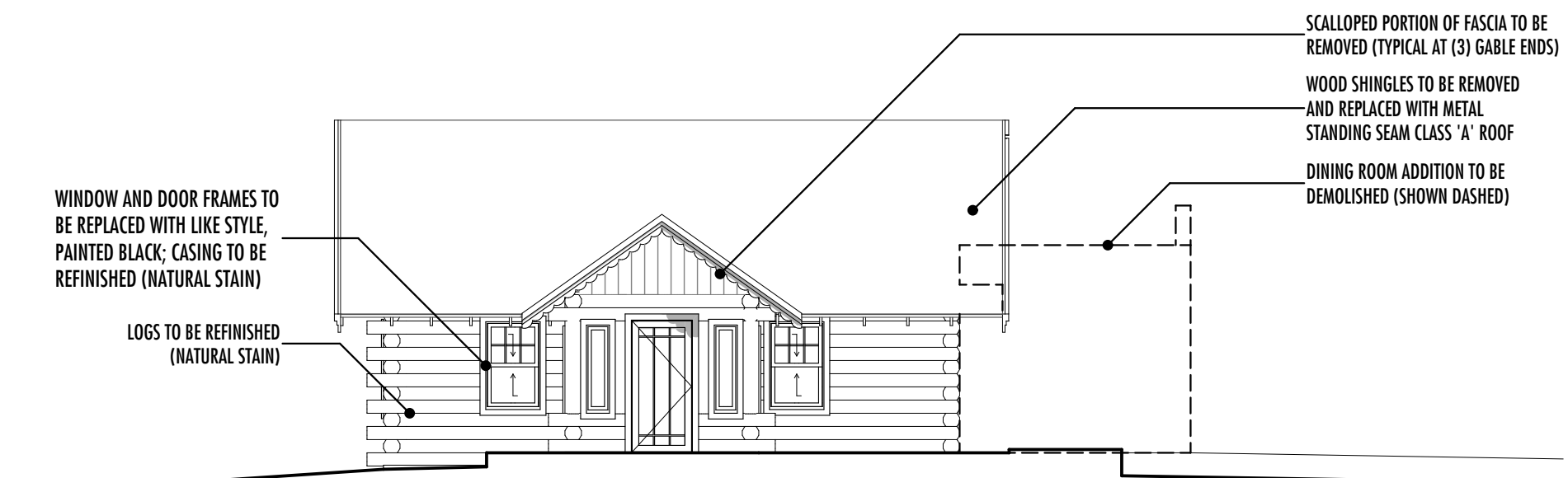
SOUTH ELEVATION - EXISTING 4



EAST ELEVATION - EXISTING 2



NORTH ELEVATION - EXISTING 3



WEST ELEVATION - EXISTING 1

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340



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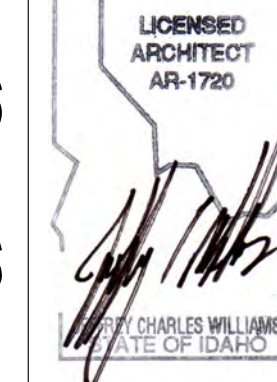
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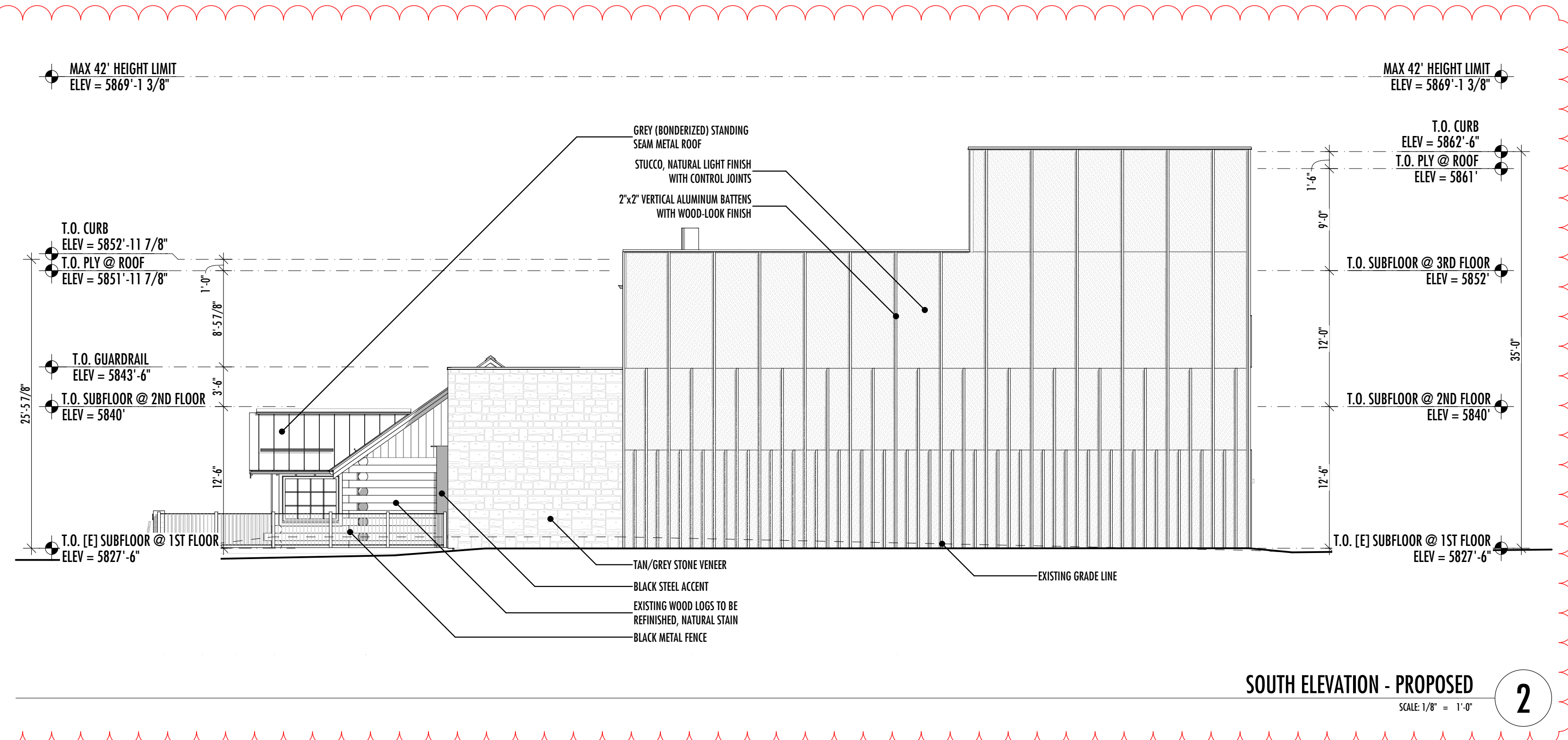
A 4.1

380 N. 1st Ave. Mixed-Use Building

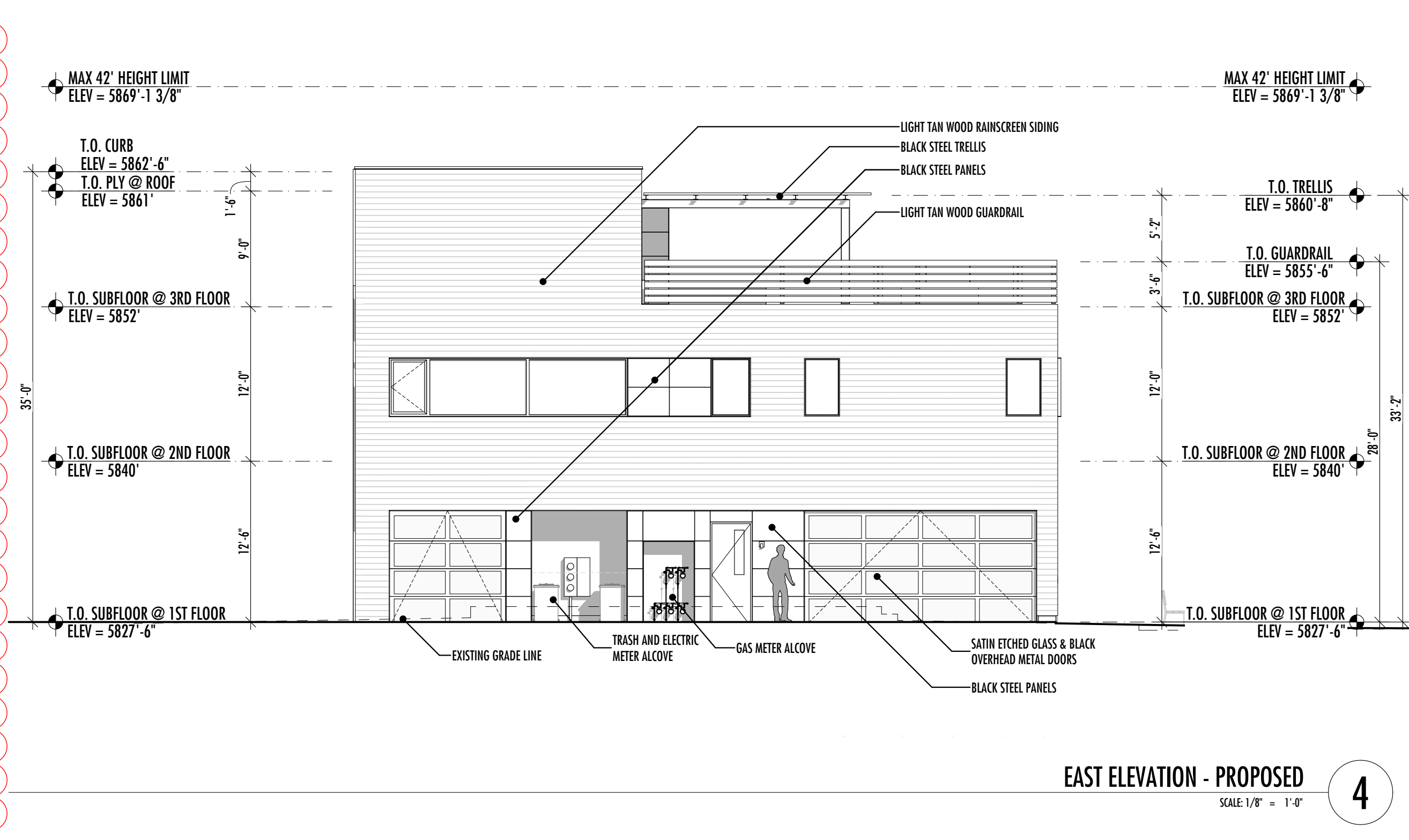
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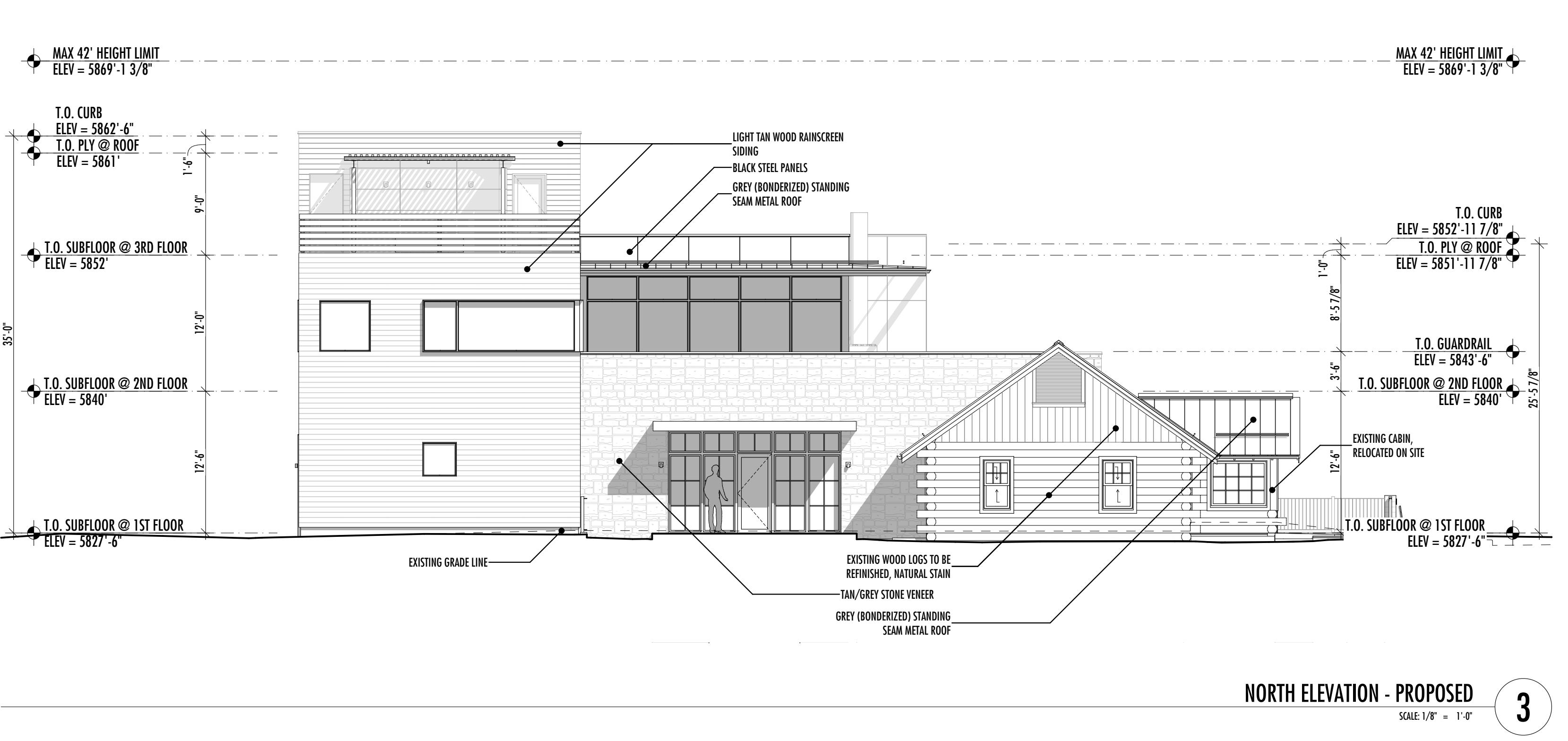
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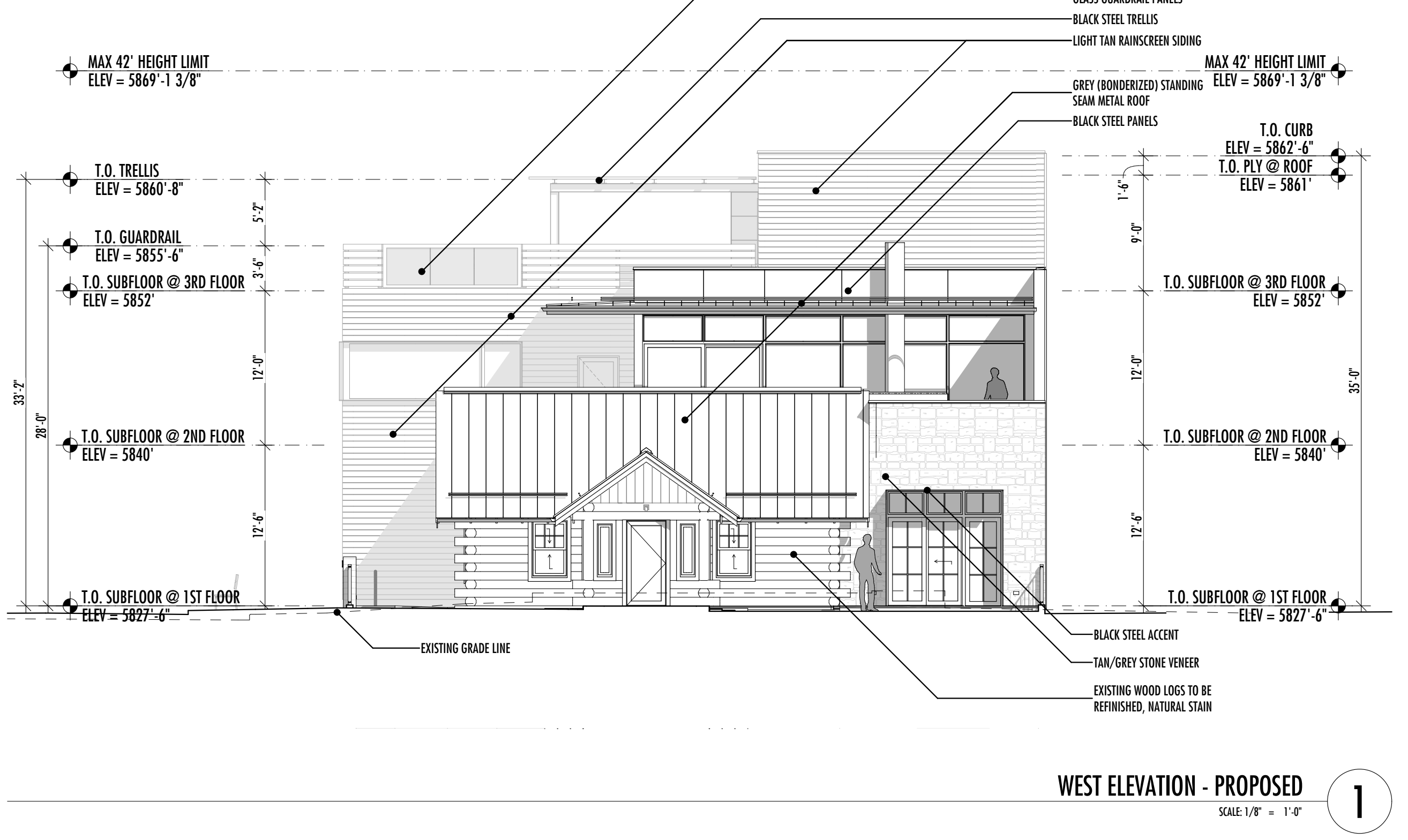
SOUTH ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



EAST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



WEST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

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11/21/2021
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A 4.2



VIEW LOOKING SOUTH 1



VIEW LOOKING NORTH 2



VIEW LOOKING SOUTHEAST 3



VIEW LOOKING NORTHEAST 4

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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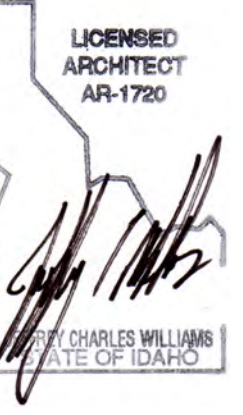
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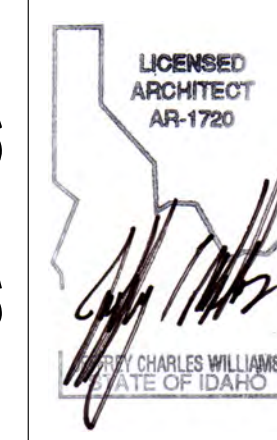


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DATE: 11/22/2021
ISSUED: DESIGN REVIEW REVISIONS

REVISIONS NUMBER: DATE:



VIEW LOOKING NORTH FROM NORTHWEST CORNER OF FRIESEN GALLERY (PEDESTRIAN EYE LEVEL) 2



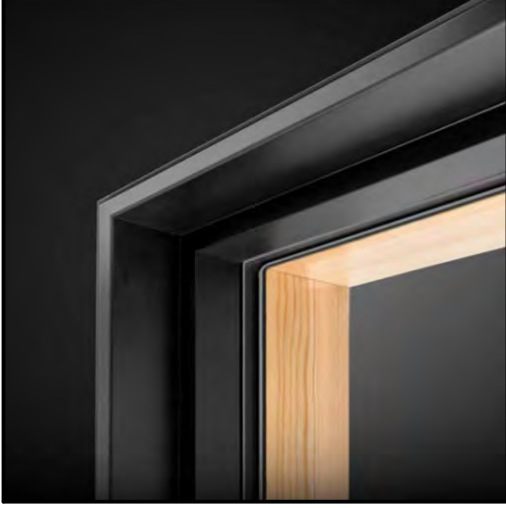




VIEW LOOKING NORTH FROM SIDEWALK IN FRONT OF CONSIGN DESIGN (PEDESTRIAN EYE LEVEL) 3







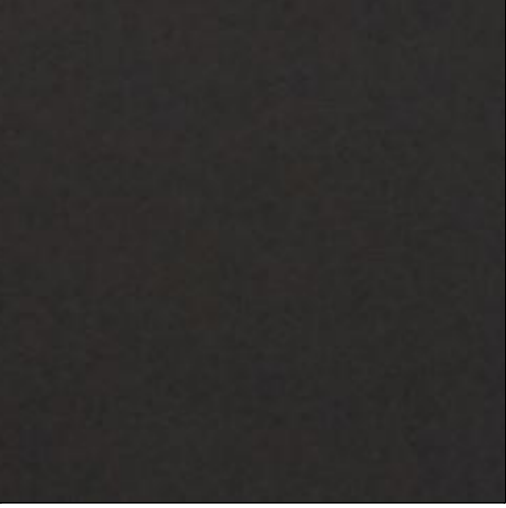


VIEW LOOKING NORTH FROM IN FRONT OF FRIESEN GALLERY (PEDESTRIAN EYE LEVEL) 1

A 5.2

MATERIALS BOARD

CABIN + ADDITION		WINDOWS ELEMENT Window	MATERIAL Aluminum Clad Wood	COLOR / FINISH Black cladding	NOTES Loewen (or similar); at cabin: style to match existing window style
		CONCRETE SITE WALLS ELEMENT Site walls	MATERIAL Concrete	COLOR / FINISH Grey	NOTES Board formed
ADDITION ONLY		ELEMENT Stucco South Wall	MATERIAL Stucco 2"x2" Aluminum Battens	COLOR / FINISH Natural/Warm Beige Wood-look veneer	NOTES Light tan to match horizontal rainscreen siding
		PAVERS ELEMENT Entries/ Patio /	MATERIAL Concrete Pavers	COLOR / FINISH Grey	NOTES Castohn - Olympic Paver
HARDSCAPE		PAVERS ELEMENT Terraces	MATERIAL Concrete Pavers	COLOR / FINISH Grey	NOTES Mutual Pavers - Vancouver Bay Series

ADDITION ONLY		ROOF ELEMENT Flat Roof	MATERIAL EPDM Membrane (Ballasted Roof)	COLOR / FINISH Tan/Grey	NOTES
		ROOF / FASCIA / FLASHING ELEMENT Sloped Roofs Fascia / flashing / parapet caps	MATERIAL Standing seam metal Metal (24 Gauge)	COLOR / FINISH Grey (Bonderized) Grey (Bonderized)	NOTES
CABIN + ADDITION		SOFFIT ELEMENT Soffit	MATERIAL Wood	COLOR / FINISH Natural	NOTES
		LOGS ELEMENT Logs at cabin	MATERIAL Wood	COLOR / FINISH Natural	NOTES
ADDITION ONLY		SIDING ELEMENT Rainscreen Siding	MATERIAL Wood	COLOR / FINISH Light Tan	NOTES Light wire-brush, T&G with 1/8" reveal
		STONE VENEER ELEMENT Stone veneer walls	MATERIAL Stone	COLOR / FINISH Tan / Grey	NOTES
ADDITION ONLY		METAL ACCENTS ELEMENT Steel, steel accents	MATERIAL Steel	COLOR / FINISH Black	NOTES Painted

380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

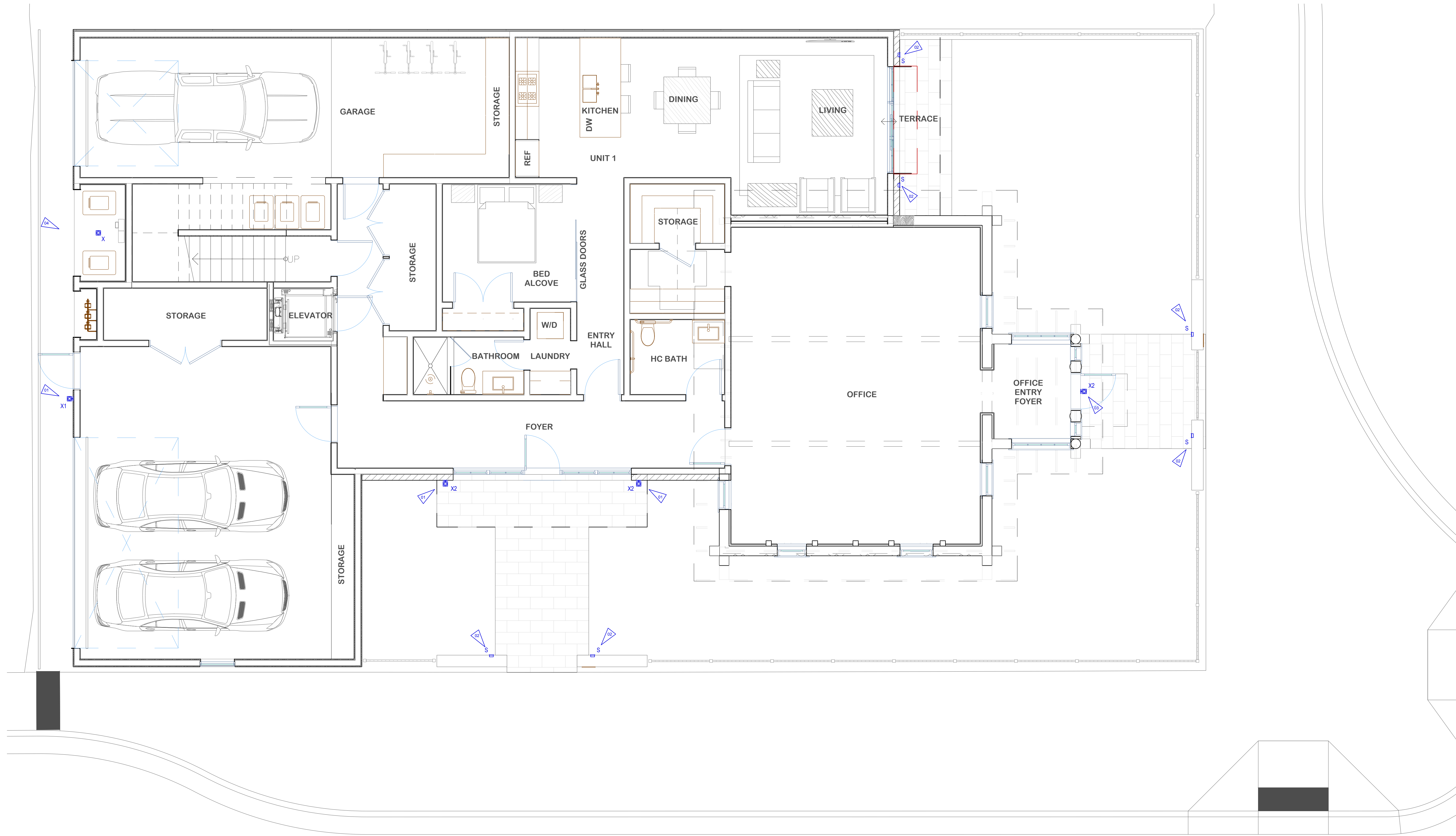
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A 5.3

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380 N. 1st Avenue

380 North First Avenue, Ketchum, Idaho 83340

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 syswest.com

Lighting & Electrical Systems

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DRAWINGS
 DATE: ISSUED:
 August 8, 2021 Project Start

REVISIONS
 NUMBER: DATE:
 R01 08.30.21

SYMBOL LEGENDS					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ELECTRIC METER		JUNCTION BOX		PUSH BUTTON
	ELECTRICAL PANEL		SMOKE DETECTOR		THERMOSTAT
	TELECOM WIRING CABINET		CARBON MONOXIDE DETECTOR		DOORBELL CHIME
	DUPLEX RECEPTACLE		COMBO SMOKE/CARBON MONOXIDE		LINEAR FIXTURE
	DUPLEX RECEPTACLE, HALF SWITCHED		MOTOR OR FAN CONNECTION		SURFACE FIXTURE - CEILING
	DOUBLE DUPLEX RECEPTACLE		SINGLE POLE SWITCH		SURFACE FIXTURE - WALL ROUND
	FLUSH FLOOR OUTLET		DOUBLE POLE SWITCH		SURFACE FIXTURE - WALL SQUARE
	SINGLE RECEPTACLE		THREE WAY SWITCH		RECESSED FIXTURE - ROUND
	SPECIAL PURPOSE OUTLET/POWER POINT		FOUR WAY SWITCH		RECESSED FIXTURE - ADJUSTABLE
	TELEPHONE OUTLET (WALL)		DIMMER		RECESSED SMALL FIXTURE - ROUND
	TELEPHONE OUTLET (FLOOR)		DIMMER, THREE OR 4 WAY		RECESSED FIXTURE - SQUARE
	DATA OUTLET (WALL)		SWITCH WITH BUILT IN ON/OFF TIMER		RECESSED FIXTURE - ADJUSTABLE
	DATA OUTLET (FLOOR)		SWITCH WITH BUILT IN OFF DELAY TIMER		RECESSED MINI FIXTURE - SQUARE
	COAX TELEVISION OUTLET		MOTION SENSOR (OCCUPANCY) SWITCH		RECESSED STEP LIGHT FIXTURE
	ARC FAULT CIRCUIT INTERRUPTER		GFCI FAULT CIRCUIT INTERRUPTER		WEATHER PROOF
	INSTALL UNDER COUNTER LEVEL		INSTALL ABOVE COUNTER LEVEL		POP UP RECEPTACLE IN COUNTER
	MOUNT RECEPTACLE HORIZONTALLY		INSTALL RECEPTACLE IN CUBBIE/CABINET		SWITCH WITH PILOT INDICATOR
	RECEPTACLE WITH NIGHT LIGHT		RECEPTACLE WITH USB CHARGER		FED BY SOLAR/BATTERY INVERTER
	FED BY GENERATOR/BATTERY PANEL				

1 FIRST FLOOR EXTERIOR LIGHTING

SCALE: 1/4" = 1'0"

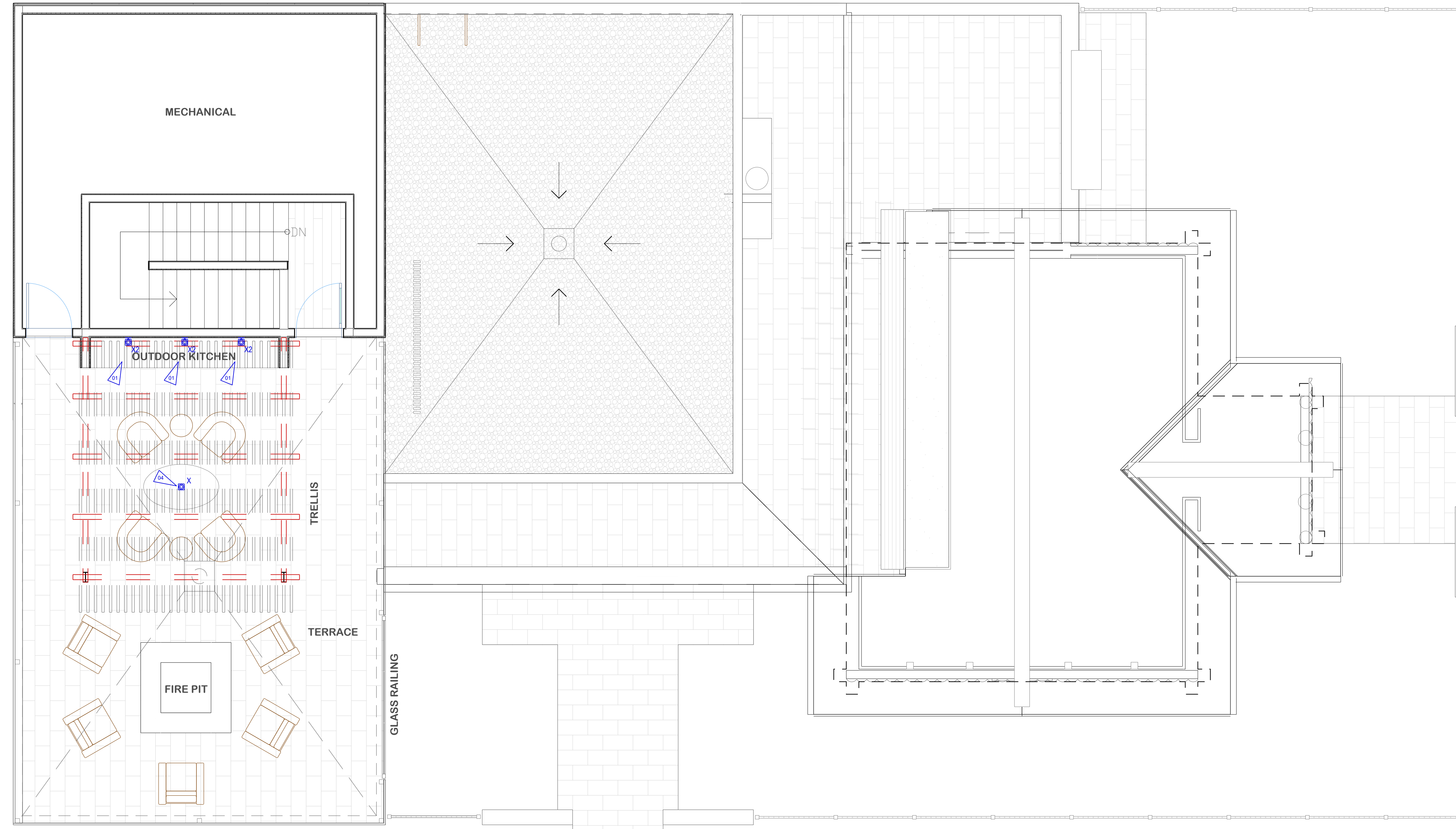


See Sheet E1.2 For Fixture Schedule

See Sheet E1.2 For Flag Notes

E 1.1

Electrical



SYMBOL LEGENDS							
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	ABBREVIATIONS
	ELECTRIC METER		JUNCTION BOX		PUSH BUTTON		ARC FAULT CIRCUIT INTERRUPTER
	ELECTRICAL PANEL		SMOKE DETECTOR		THERMOSTAT		GFCI FAULT CIRCUIT INTERRUPTER
	TELECOM WIRING CABINET		CARBON MONOXIDE DETECTOR		DOORBELL CHIME		WEATHER PROOF
	DUPLEX RECEPTACLE		COMBO SMOKE/CARBON MONOXIDE		LINEAR FIXTURE		INSTALL UNDER COUNTER LEVEL
	DUPLEX RECEPTACLE, HALF SWITCHED		MOTOR OR FAN CONNECTION		SURFACE FIXTURE - CEILING		INSTALL ABOVE COUNTER LEVEL
	DOUBLE DUPLEX RECEPTACLE		SINGLE POLE SWITCH		SURFACE FIXTURE - WALL ROUND		POP UP RECEPTACLE IN COUNTER
	FLUSH FLOOR OUTLET		DOUBLE POLE SWITCH		SURFACE FIXTURE - WALL SQUARE		MOUNT RECEPTACLE HORIZONTALLY
	SINGLE RECEPTACLE		THREE WAY SWITCH		RECESSED FIXTURE - ROUND		INSTALL RECEPTACLE UNDER BENCH
	SPECIAL PURPOSE OUTLET/POWER POINT		FOUR WAY SWITCH		RECESSED FIXTURE - ADJUSTABLE		INSTALL RECEPTACLE IN CUBBIE/CABINET
	TELEPHONE OUTLET (WALL)		DIMMER		RECESSED SMALL FIXTURE - ROUND		SWITCH WITH PILOT INDICATOR
	TELEPHONE OUTLET (FLOOR)		DIMMER, THREE OR 4 WAY		RECESSED FIXTURE - SQUARE		RECEPTACLE WITH NIGHT LIGHT
	DATA OUTLET (WALL)		SWITCH WITH BUILT IN ON/OFF TIMER		RECESSED FIXTURE - ADJUSTABLE		RECEPTACLE WITH USB CHARGER
	DATA OUTLET (FLOOR)		SWITCH WITH BUILT IN OFF DELAY TIMER		RECESSED MINI FIXTURE - SQUARE		FED BY SOLAR/BATTERY INVERTER
	COAX TELEVISION OUTLET		MOTION SENSOR (OCCUPANCY) SWITCH		RECESSED STEP LIGHT FIXTURE		FED BY GENERATOR/BATTERY PANEL

1 THIRD FLOOR EXTERIOR LIGHTING
SCALE: 1/4" = 1'0"



See Sheet E1.2 For Fixture Schedule

See Sheet E1.2 For Flag Notes

380 N. 1st Avenue
380 North First Avenue, Ketchum, Idaho 83340

MAIL P.O.B. 4373
KETCHUM, IDAHO
83340
PHONE 208.726.0020
FAX 208.726.0019
WWW WILLIAMS-PARTNERS.COM

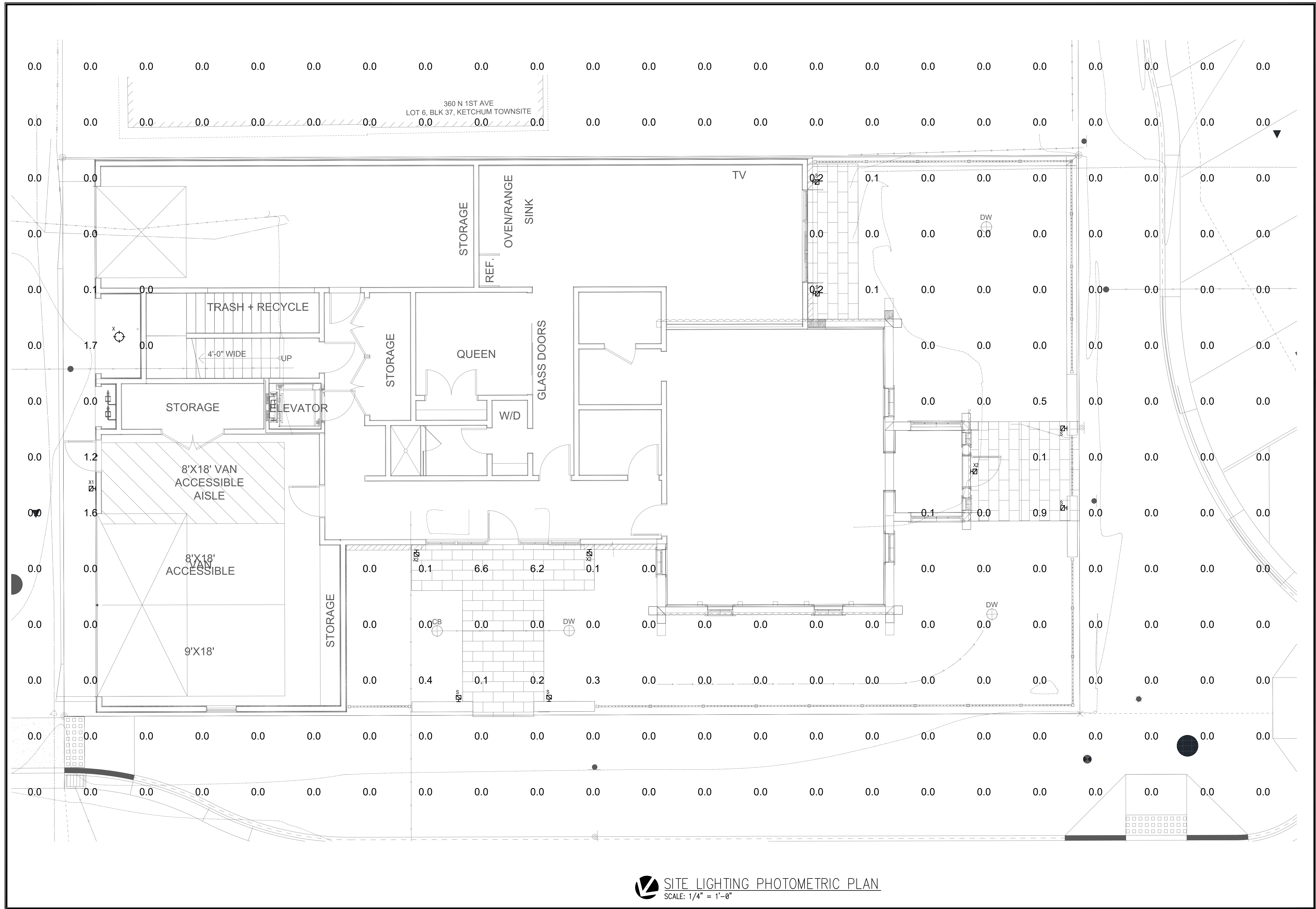
DRAWINGS
DATE: ISSUED:
August 8, 2021 Project Start

REVISIONS
NUMBER: DATE:
R01 08.30.21

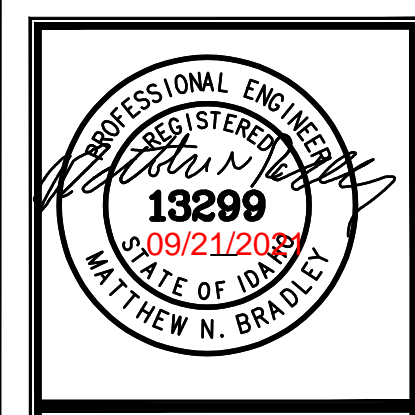
E 1.3
Electrical

OWNERSHIP OF DOCUMENTS
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE
WITH RESPECT TO THIS PROJECT. WILLIAMS PARTNERS
ARCHITECTS P.C. AND ARCHITECTS CONSULTANTS
ARCHITECTS P.C. AND ARCHITECTS CONSULTANTS
RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN
ALL COMMON LAW, STATUTORY AND OTHER RESERVED
RIGHTS, INCLUDING COPYRIGHTS.

SysWest
16033 North Shore Dr
Leavenworth, WA 98826
ross@syswest.net
Lighting & Electrical Systems



NO.	REVISIONS	DATE



MUSGROVE ENGINEERING, P.A.
 234 E. Main Street
 Boise, ID 83725
 208.384.1855
 645 West 2nd Street
 Idaho Falls, ID 83402
 www.musgrovepa.com

MTI

OVER 40 YEARS OF EXCELLENCE

380 N. 1ST AVE
KETCHUM, IDAHO 83340

PROJECT	21-414
DRAWN	CCJ
CHECKED	MNB
DATE	09-21-2021
SCALE	PER PAGE
SHEET	

E1.4

SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 1/4" = 1'-0"

McMorrow Project Fixture Type X Exterior Square Surface Downlight, 180 Lumens

SPECIFICATIONS

DESCRIPTION:
Compact square surface mount MR16 accent fixture with a machined mounting plate. Suitable for wet/damp/dry location installations.

MATERIAL:
Standard overall material is 6061 aluminum.
HL-330S - Machined Aluminum

FINISH:
AA - Anodized Satin Aluminum
AP - Powder Coat Aluminum
BK - Powder Coat Black
BZ - Powder Coat Bronze
WT - Powder Coat White

HALOGEN LAMPING OPTION:
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

LED OPTIONS
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.
3LED - 3W LED - 180 lumens
3LED - 8W LED - 300 lumens
8LED-E - 8.4W LED - 565 lumens


OPTICS
3LED and 8LED:
SP - Spot, 12°
NF - Narrow Flood, 24°
FL - Flood, 36°
8LED-E:
SP - Spot 14°
NF - Narrow Flood, 25°
MF - Medium Flood, 30°
FL - Flood, 40°

VOLTAGE:
12 - 12 VAC output transformer required, not included.

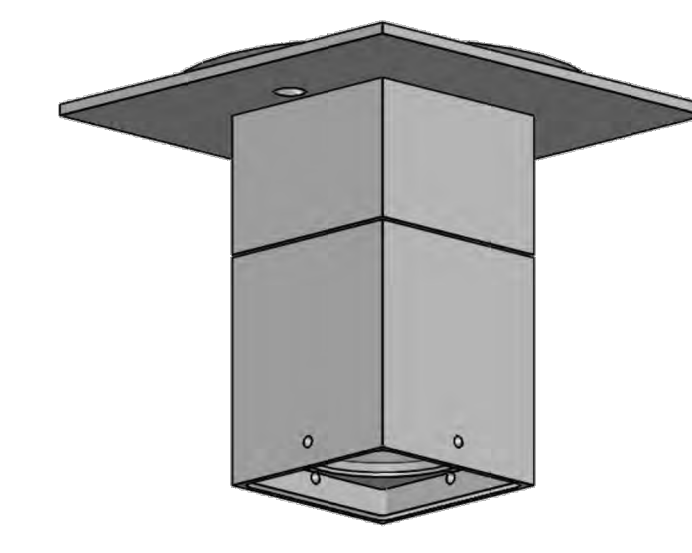
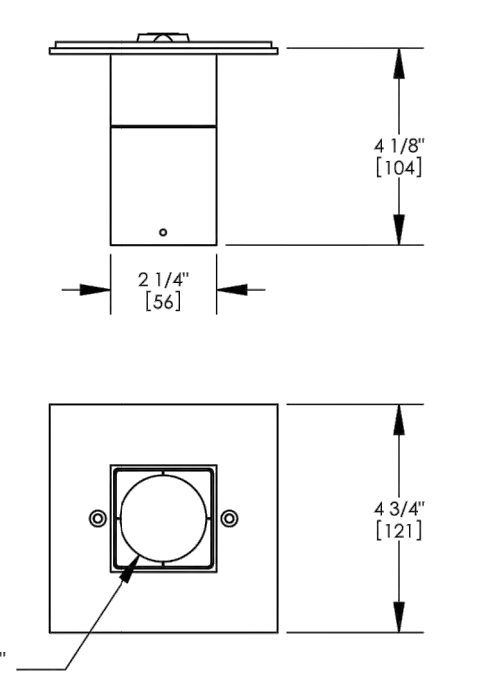
MOUNTING:
Fixture is equipped with a 4.75" square mounting plate and (2) mounting screws.

OPTIONS:
Lenses/Louvers/Color Filters
LA-1 - Hexcell Louver (Black)
LA-2 - Prismatic lens
LA-3 - Linear spread lens
LA-4 - Soft focus lens (diffused)
LA-5 - Moonlight lens
LA-6 - Blue lens
See fixture accessories for more information.

RATING:
Wet/damp/dry location.



MADE IN THE USA

ORDER SPECIFICATION: HL-330S - BK - 3LED-FL - 12 - LA-4

PROJECT: McMorrow Project **HEVI LITE, INC.**
9714 Variel Ave, Chatsworth, CA 91311
Tel. (818) 341-8091 - Fax (818) 998-1986
Web Site http://www.hevilitelighting.com

APPROVED: _____

NOTE: With Remote Power Supply

TYPE: Fixture Type X CATALOG NUMBER: **HL-330S**

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McMorrow Project Fixture Type X2 Exterior LED Wall Fixture

SPECIFICATIONS

DESCRIPTION:
Wall mount square MR16 accent fixture. Suitable for wet/damp/dry location installations.

MATERIAL:
Standard overall material is 6061 aluminum.
HL-340S - Machined Aluminum (Standard)

FINISH:
AA - Anodized Satin Aluminum
AP - Powder Coat Aluminum
BK - Powder Coat Black
BZ - Powder Coat Bronze
WT - Powder Coat White

HALOGEN LAMPING OPTION:
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

LED OPTIONS
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.
3LED - 3W LED - 180 lumens
3LED - 8W LED - 300 lumens
8LED-E - 8.4W LED - 565 lumens

OPTICS
3LED and 8LED:
SP - Spot, 12°
NF - Narrow Flood, 24°
FL - Flood, 36°
8LED-E:
SP - Spot 14°
NF - Narrow Flood, 25°
MF - Medium Flood, 30°
FL - Flood, 40°


VOLTAGE:
12 - 12 VAC output transformer required, not included.

MOUNTING:
Fixture is equipped with a 4.75" mounting plate and (2) mounting screws.

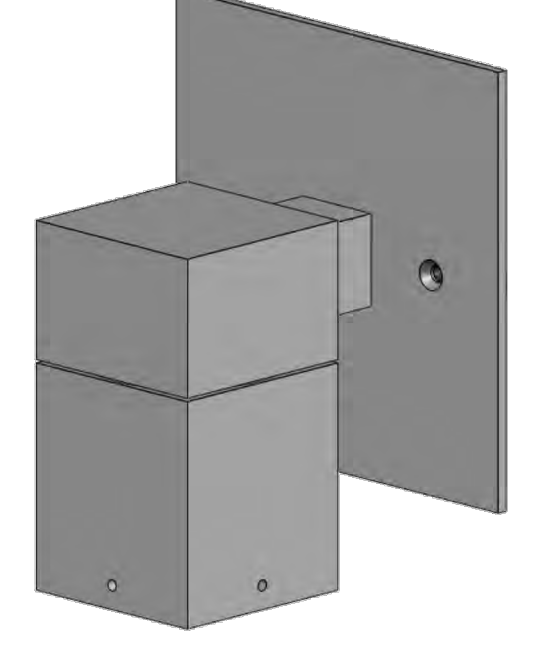
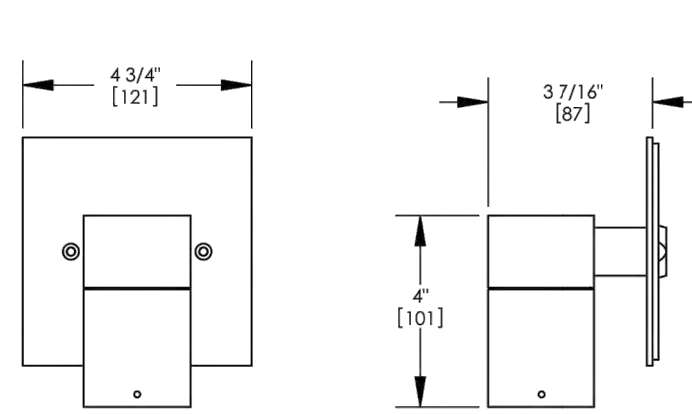
OPTIONS:
Lenses/Louvers/Color Filters
LA-1 - Hexcell Louver (Black)
LA-2 - Prismatic lens
LA-3 - Linear spread lens
LA-4 - Soft focus lens (diffused)
LA-5 - Moonlight lens
LA-6 - Blue lens
See fixture accessories for more information.

SAMPLE ORDER SPECIFICATION:
HL-340S-AA-12-LA-6

RATING:
Wet/damp/dry location.



MADE IN THE USA

ORDER SPECIFICATION: HL-340S - BK - 8LED-FL - 12 - LA-4

PROJECT: McMorrow Project **HEVI LITE, INC.**
9714 Variel Ave, Chatsworth, CA 91311
Tel. (818) 341-8091 - Fax (818) 998-1986
Web Site http://www.hevilitelighting.com

APPROVED: _____

NOTE: With Remote Power Supply

TYPE: Type X2 CATALOG NUMBER: **HL-340S**

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McMorrow Project Fixture Type X1 Exterior LED Wall Fixture

SPECIFICATIONS

DESCRIPTION:
Wall mount square MR16 accent fixture. Suitable for wet/damp/dry location installations.

MATERIAL:
Standard overall material is 6061 aluminum.
HL-340S - Machined Aluminum (Standard)

FINISH:
AA - Anodized Satin Aluminum
AP - Powder Coat Aluminum
BK - Powder Coat Black
BZ - Powder Coat Bronze
WT - Powder Coat White

HALOGEN LAMPING OPTION:
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

LED OPTIONS
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.
3LED - 3W LED - 180 lumens
3LED - 8W LED - 300 lumens
8LED-E - 8.4W LED - 565 lumens

OPTICS
3LED and 8LED:
SP - Spot, 12°
NF - Narrow Flood, 24°
FL - Flood, 36°
8LED-E:
SP - Spot 14°
NF - Narrow Flood, 25°
MF - Medium Flood, 30°
FL - Flood, 40°


VOLTAGE:
12 - 12 VAC output transformer required, not included.

MOUNTING:
Fixture is equipped with a 4.75" mounting plate and (2) mounting screws.

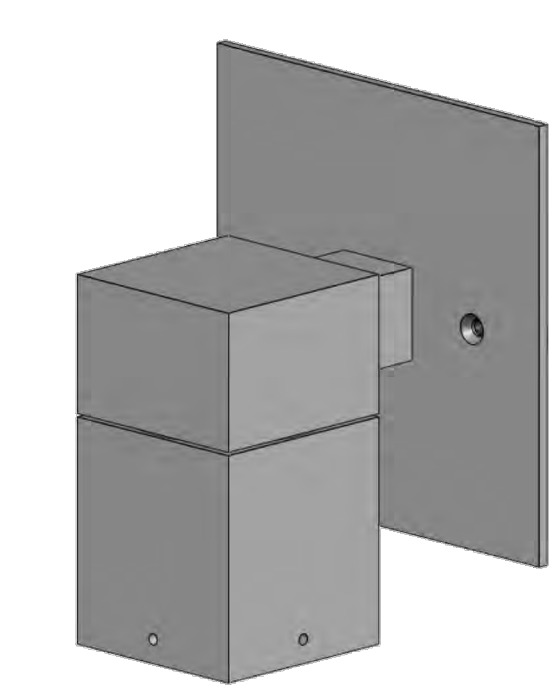
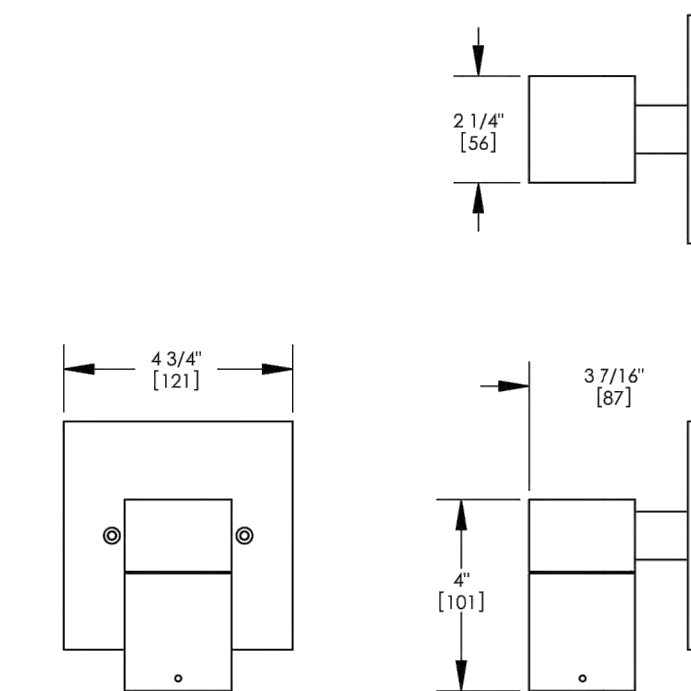
OPTIONS:
Lenses/Louvers/Color Filters
LA-1 - Hexcell Louver (Black)
LA-2 - Prismatic lens
LA-3 - Linear spread lens
LA-4 - Soft focus lens (diffused)
LA-5 - Moonlight lens
LA-6 - Blue lens
See fixture accessories for more information.

SAMPLE ORDER SPECIFICATION:
HL-340S-AA-12-LA-6

RATING:
Wet/damp/dry location.



MADE IN THE USA

ORDER SPECIFICATION: HL-340S - BK - 3LED-FL - 12 - LA-4

PROJECT: McMorrow Project **HEVI LITE, INC.**
9714 Variel Ave, Chatsworth, CA 91311
Tel. (818) 341-8091 - Fax (818) 998-1986
Web Site http://www.hevilitelighting.com

APPROVED: _____

NOTE: With Remote Power Supply

TYPE: Type X1 CATALOG NUMBER: **HL-340S**

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McMorrow Project Fixture Type S Exterior Steplight

Model: WL-LED100

LEDme® Step Light


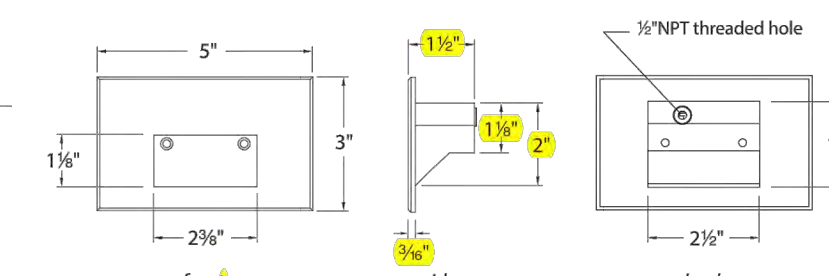
WAC LIGHTING
Responsible Lighting®

Fixture Type: **Type S**

Catalog Number: **WL-LED100 C BK**

Project: McMorrow Project

Location: Exterior

PRODUCT DESCRIPTION
Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 34,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated. Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3" x 2 7/8" x 2 1/4"
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Metri-TELV-600, Lutron Dva DVELV-300P, Lutron Skylark-SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 J88-2016 Compliant.

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100	120V White 3000K	SB Black on Aluminum
WL-LED100F	277V Amber 610nm	BN* Brushed Nickel on Aluminum
	Red 640nm	BZ Bronze on Aluminum
	Blue 450nm	GH Graphite on Aluminum
		SS Stainless Steel
		WT White on Aluminum
WL-LED100	120V White 3000K	BBR Bronze on brass
	Amber 610nm	

*Brushed Nickel Finish is for interior use only

WL-LED-100 - C - BK

Example: WL-LED100F-BL-SS

wacighting.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center
Phone (800) 526-2588 44 Harbor Park Drive 1600 Distribution Ct 1750 Archibald Avenue
Fax (800) 526-2585 Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. OCT 2018

MCMORROW ELECTRICAL FIXTURE SCHEDULE - AUGUST 2021							
Symbol	Lamp	Fixture Description	Manufacturer	Catalog Number	Voltage	Finish/Color	Notes
X	3 WATT LED, 85 CRI 2700K 180 LUMENS	2.25" SQUARE EXTERIOR CEILING MOUNT LED DOWNLIGHT - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-330S-BK-3LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
X1	3 WATT LED, 85 CRI 2700K 180 LUMENS	2.25" SQUARE EXTERIOR WALL MOUNT LED DOWNLIGHTS - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-340S-BK-3LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
X2	8 WATT LED, 85 CRI 2700K 300 LUMENS	2.25" SQUARE EXTERIOR WALL MOUNT LED DOWNLIGHTS - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-340S-BK-8LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
S	3.9 WATT LED, 3000K 68 LUMENS	EXTERIOR DIE-CAST STEP LIGHT FOR MASONRY INSTALLATION - BLACK PAINT FINISH	WAC LIGHTING wacighting.com	*WL-LED100 C BK	120	BLACK	Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H

FIXTURE CATALOG NUMBERS THAT ARE PRECEDED WITH A * ARE ENERGY STAR COMPLIANT

McMorrow Project Fixture Type X, X1 & X2 Power Supply

SPECIFICATIONS

DESCRIPTION:
Magnetic class 2 transformers in Nema 3R enclosures for use with low voltage lighting fixtures and dimmable LEDs. Fully compatible with low voltage dimmers. In contrast to voltage mode drivers that balance the voltage in the system and prevent the dimmer from working. For Commercial or residential use. Suitable for wet location installations.


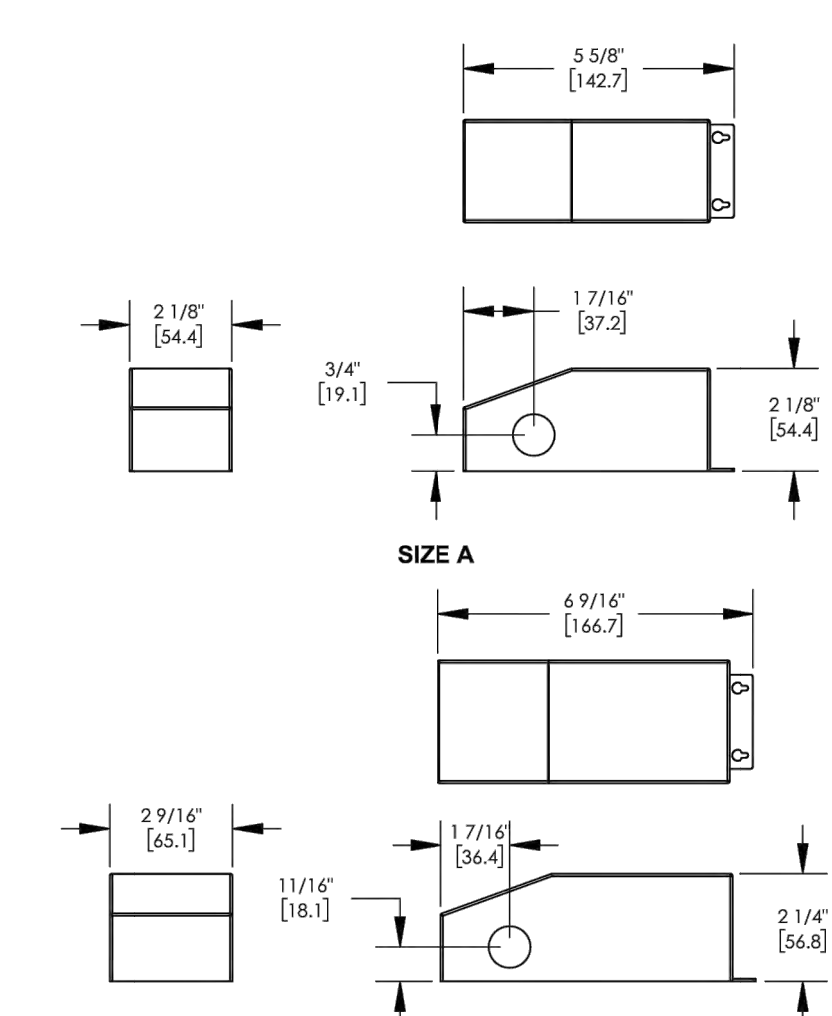
MODELS AVAILABLE:
HLT-20M - 20W Size A
HLT-40M - 40W Size A
HLT-50M - 50W Size A
HLT-60M - 60W Size B
HLT-100M - 100W, Size B, 277v = 9.8"x3"x3".

VOLTAGE:
All transformers include auto-reset breakers, one on the input and one on the output.
120 - 120 VAC input/12 VAC output
277 - 277 VAC input/12 VAC output

MOUNTING:
Nema 3R rated metal housing equipped with mounting holes and (2) 1/2" knock-outs.

SAMPLE ORDER SPECIFICATION:
HLT-40M-120

RATING:
ETL listed and certified to CSA standard.

ORDER SPECIFICATION: _____

PROJECT: McMorrow Project **HEVI LITE, INC.**
9714 Variel Ave, Chatsworth, CA 91311
Tel. (818) 341-8091 - Fax (818) 998-1986
Web Site http://www.hevilitelighting.com

APPROVED: _____

NOTE: Size Power Supply For Load + 20%

TYPE: HLT-xxM CATALOG NUMBER: **HLT-XXM**

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NO.	DATE	REVISIONS

PROFESSIONAL ENGINEER
REGISTERED STATE OF IDAHO
13299
09/21/2021
MATT HEW N. BRADLEY

MUSGROVE ENGINEERING, P.A.
2349 N. Valley Way
Boise, ID 83709
208.384.0355
645 West 25th Street
Idaho Falls, ID 83402
www.musgrovepa.com

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380 N. 1ST AVE
KETCHUM, IDAHO 83340

PROJECT	21-414
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DATE	09-21-2021
SCALE	PER PAGE
SHEET	

E2.0

Exhibit C
Staff Report
to
Planning & Zoning Commission
for
Regular Meeting
of
November 9th, 2021

<https://mccmeetingspublic.blob.core.usgovcloudapi.net/ketchid-meet-67c6918f270f494391a77d958f18ec55/ITEM-Attachment-001-2f42ce0e0c6b42b782c7a97fac55490a.pdf>



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF DECEMBER 14, 2021

PROJECT: 104 Neils Way Rezone

FILE NUMBER: P21-057

APPLICATION TYPE: Amendment to the Official Zone District Map (Rezone)

REPRESENTATIVE: Mark Reitinger (Owner)

PROPERTY OWNER: Mark Reitinger

REQUEST: Request for a zoning map amendment to change the applicable zone district of 104 Neils Way from Limited Residential – One Acre (LR-1) to Limited Residential (LR).

LOCATION: 104 Neils Way – Lot 3, Mortgage Row Subdivision

ZONING: Limited Residential – One Acre (LR-1)

REVIEWER: Morgan R. Landers, AICP – Senior Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on November 24, 2021. The public hearing notice was published in the Idaho Mountain Express and the city’s website on November 24, 2021. A notice was posted on the project site on November 24, 2021.

SUMMARY

The Applicant is requesting to rezone Lot 3 of the Mortgage Row Subdivision, located at 104 Neils Way (the “subject property”) to Limited Residential (LR). The subject property is currently zoned Limited Residential – One Acre (LR-1) and includes an existing single family dwelling unit built in 1950 and a detached garage. The property owner currently owns and resides part time at the adjacent property, 106 Neils Way. As described in the cover letter included in Attachment A, the applicant intends to demolish the existing dwelling unit on the subject property and build a new single family dwelling unit designed to meet accessibility needs with a detached garage including a shop, accessory dwelling unit, and personal art studio.

Based on analysis of the surrounding area and evaluation of the request against the 2014 Ketchum Comprehensive Plan goals, policies, objectives, and Future Land Use Map (FLUM), staff believes the request meets the comprehensive plan and is supportive of the requested rezone. In the staff report below, staff provides an overview of the history of the Mortgage Row Subdivision, existing conditions of the area, and discussion of conformance with the comprehensive plan.

BACKGROUND

The City of Ketchum received the application for amendment to the zone district map on June 22, 2021. The application was deemed complete on October 14, 2021, after one review for completeness. As outlined above,

the application has been properly noticed per the requirements of the Ketchum Municipal Code Chapter 17.152 – *Amendment and Reclassification*.

The Mortgage Row Subdivision was annexed into the City of Ketchum from unincorporated Blaine County in 1993. At that time, the lots were assigned the zoning designation of Limited Residential One Acre (LR-1). The Mortgage Row Subdivision is primarily comprised of single-family dwellings, however there are some multi-family and commercial uses including a retail store and gas station, auto-related uses, and commercial storage. Lots in the subdivision range in size from +/- 12,000 to 35,000 sq ft.

At the time of annexation, all lots were non-conforming due to lot size and some lots contained non-conforming structures due to setback requirements from Highway 75. Over time, the area has seen some subdivision of property and amendments to the zone district map. Figure 1 to the right shows the current zone district map of the Mortgage Row area. Orange indicates properties zoned LR-1, and yellow indicates properties zoned LR. The subject property is on the northern end of the area and notated by a red star. As shown in the figure, the properties on either side of the subject property are zoned LR as are other lots fronting Highway 75.

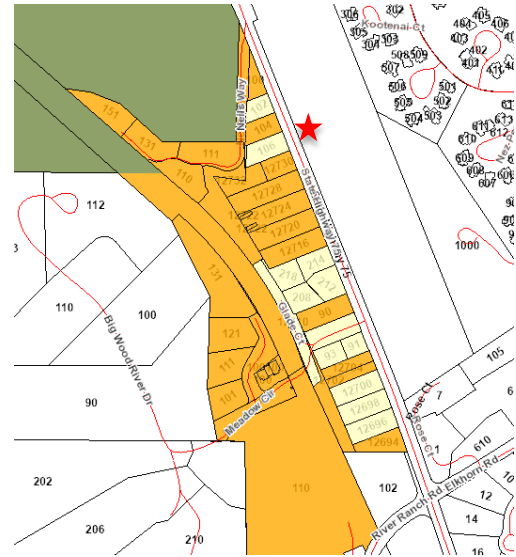


Figure 1: Mortgage Row Area Zone District Map

ANALYSIS

According to Idaho Statute, the city should consult the adopted comprehensive plan when considering amendments to the zoning ordinance and official zoning map. The City of Ketchum adopted the 2014 Comprehensive Plan (the “plan”) on February 18, 2014. Amendments to the zoning ordinance, including amendments to the zone district map, require a public hearing with both the Planning and Zoning Commission and City Council for approval. To evaluate the rezone request, staff compared the two zone districts to determine the potential changes facilitated by the rezone and compared those changes to the goals, policies, and Future Land Use Map (CLUM) of the plan. Below is staff’s analysis of each.

Zone District Comparison

The permitted uses in the LR and LR-1 zone districts are identical. The substantive changes between the two districts are in the dimensional limitations. On the following page is a table outlining the difference between the two zone districts. All dimensional limitations are the same except for lot area, lot width, setbacks from Highway 75, and maximum building coverage.

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Table 1: Zone District Comparison Chart

	Existing Zone District: Limited Residential One Acre (LR-1)	Requested Zone District: Limited Residential (LR)
Minimum Lot Size	1 acre	9,000 sq ft
Average Width of Lot	100 ft	80 ft
HWY 75 Setbacks	80 ft	Where the street width is 66 ft, all buildings shall be set back a minimum of 32 ft. Where the street width is 80 ft, all buildings shall be set back a minimum of 25 ft.
Front Setback	15'	15'
Side Setback	> of 1' for every 2' in building height, or 10'	> of 1' for every 2' in building height, or 10'
Rear Setback	20'	20'
Maximum Building Coverage	25%	35%
Building Height	35'	35'

Dimensional limitations serve to manage the location and size of buildings on a piece of property. In general, the LR zone district is less restrictive than LR-1. The change would allow for a greater buildable area with a larger amount of square footage permitted. Below is a discussion of potential outcomes of the rezone based on changes in dimensional limitations:

- Minimum lot area and minimum lot width – No change anticipated - although the minimum lot area would decrease from one acre to 9,000 square feet, further subdivision of the property would not be permitted. The minimum lot width in the LR zone is 80 feet and the width of the subject property is 100 feet. A minimum width of 160 feet would be needed to subdivide the property into two lots. As discussed earlier in the staff report, the applicant owns the subject property and the adjacent lot to the south. Lot consolidation is a potential, however, that potential exists with the current zoning and would not change with the requested rezone.
- Maximum Building Coverage – change anticipated – The total lot area is 17,380 square feet. Under the current zoning, a total of 4,345 square feet of lot coverage is permitted. If the rezone were approved, 6,083 square feet of lot coverage would be permitted, a 40% increase. Although this is a change, staff believes the change to be minimal as the rezone does not create changes to the permitted building height or side setbacks to adjacent properties. Changes to building height and setbacks would create a greater impact on surrounding properties than an increase in lot coverage.
- Highway 75 setback – change anticipated – Currently, the required setback from Highway 75 is 80 feet. All existing structures on the property are fully within the 80-foot setback, therefore, no additions to the existing structures are permitted as additions would increase the non-conformity of the structures. Reducing the setback to 32 feet could facilitate an addition to the existing structure, however, that is not the stated intent of the applicant. The applicant’s intent is to demolish the existing structures and redevelop the property. Under the current zone district, redevelopment of the property would require structures be placed 80 feet or more from Highway 75. Under the requested zoning, structures could be placed 32 feet from Highway 75, increasing the amount of buildable area on the site and decreasing the distance from Highway 75 to structures. Although this may seem a large concession, most properties along Highway 75 in this area are within the 80-foot setback. For example, the structures existing on the subject property are set back approximately 35 feet. To the north and south, there are only three properties along Highway 75 that meet the 80-foot setback requirement. Therefore,

redevelopment of the property under the LR zone district would not result in a development pattern out of character or scale for this neighborhood.

In summary, although redevelopment of the property will look much different from what exists on the property today, the difference between what is currently permitted and what would be permitted under the requested zone district is minimal.

Conformance with the Comprehensive Plan

The City of Ketchum adopted the 2014 Comprehensive Plan (the “plan”) on February 18, 2014. The plan outlines the community vision and core values for the city. Using those, the plan outlines goals and policy objectives to reach key goals for the community related to the economy, housing, neighborhoods, parks and recreation, open space, public safety, and others. The plan also includes a FLUM that identifies possible future land uses for properties to achieve desirable land use patterns for the city. To support an application for rezone, staff must determine that the rezone forwards the goals and objectives of the Comprehensive Plan and aligns with the future vision for the property as designated in the FLUM.

The plan has limited references to the Mortgage Row neighborhood other than callouts in the buildout analysis, however, the plan includes goals and policies in Chapter 3: *Housing* and Chapter 4: *Community Design and Neighborhoods* that relate to the proposed application.

- *Chapter 3: Housing* - Policy H-1.5 Accessory Dwelling Units - The community will continue to support and encourage construction of accessory dwelling units within residential areas as a means to provide affordable housing.
 - Accessory dwelling units are a permitted accessory use in both the current and requested zone districts. However, the current setback requirement of 80 feet from Highway 75 limits the area that new structures can be located. A reduced setback from Highway 75 would provide for more design flexibility to accommodate an accessory dwelling unit on the property.
- *Chapter 3: Housing* - Policy H-3.3 Housing Designs and Floor Plans for an Aging and Special Needs Populations - The City should encourage new housing units and the retrofit of existing units, with basic accessibility features, such as zero-step entrances, doorways with wider clear passage, and first-floor bedrooms and bathrooms with maneuvering room for people with mobility limitations.
 - The applicant has indicated that a change in the zoning would allow for more design flexibility to accommodate a new home that meets their accessibility needs. Residences desirable for an aging population often utilize a ranch style type of design, one story that occupies a larger footprint on the property. Due to the large size of the lot, staff believes that redevelopment of the property with the desired outcomes is possible under the current zone district, but the requested zone district allows for more design flexibility for a variety of potential floor plans and layout of the property with primary and accessory uses.
- *Chapter 4: Community Design and Neighborhoods* - Policy CD-1.3 Compatible Infill and Redevelopment Projects Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
 - As discussed in the comparison of the zone districts, the zone change would not result in a development pattern out of context with the surrounding neighborhood as many of the properties have reduced setbacks to Highway 75 with the same or similar limitations on building height, side setbacks and lot coverage.
- *Chapter 4: Community Design and Neighborhoods* - Policy CD-3.2 Transitional Residential Development Compatible with the Rural Landscape - Transitional residential areas at the fringe of the city or within the Area of City Impact should include rural design elements or be clustered to maintain the rural landscape.
 - The change of zone district does not increase the density of the property or change the intensity of the use above what is permitted today. The Mortgage Row area is a transitional residential area

indicative of large lots with single family dwelling units and detached garages. The area as a whole is a cluster of residential development surrounded by Weyyakin Ranch to the east, Reinheimer Ranch to the north, and large lot residential to the west. A change in the zone district for this property maintains the rural landscape of the area and does not impact the role the neighborhood plays as a transitional residential development area south of town.

The FLUM of the Plan designates the entirety of Mortgage Row Subdivision as “Medium Density Residential”. Primary uses in the Medium Density Residential area include a broad variety of residential types, including “single-family residences, duplexes, and other attached-unit types”. Secondary uses include supporting and complementary uses to residential development, such as accessory dwelling units, community gardens, open space and recreation, schools, places of worship, and other public uses. Senior housing facilities are also listed as an appropriate secondary use within this area. The plan identifies West Ketchum and the Warm Springs neighborhoods as good examples of medium density residential. Those neighborhoods are a mix of single-family and multi-family uses with a higher overall density than what exists in the Mortgage Row neighborhood today. Although the requested zone district does not permit multi-family dwelling units, it allows for a larger buildable area of the site and an increase in lot coverage that may facilitate the redevelopment of the property with a primary dwelling unit and accessory dwelling unit that may be challenging to realize under the current zone district.

CONCLUSION

Based on the analysis above, staff believes that the rezone of the property does not constitute a substantial change from what is permitted today, is compatible with the surrounding neighborhood, and aligns with the goals, policies and FLUM of the comprehensive plan.

STAFF RECOMMENDATION

Staff recommends **approval** of the amendment of the zone district map, changing the applicable zone district of the subject property from LR-1 to LR.

RECOMMENDED MOTION

“I move to recommend approval of the application for an amendment to the zone district map, amending the applicable zone district for the property at 104 Neils Way from Limited Residential – One Acre to Limited Residential.”

ATTACHMENTS:

- A. Application Materials
- B. Public Comment

Attachment A: Application Materials



**City of Ketchum
Planning & Building**

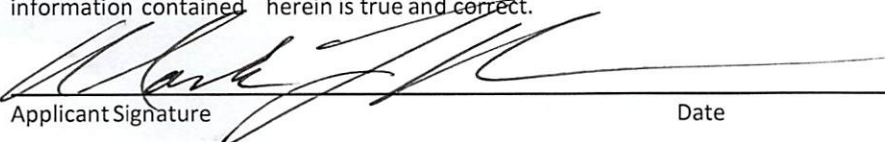
OFFICIAL USE ONLY	
File Number:	P21-057
Date Received:	6-21-21
By:	MP
Fee Paid:	1925 ⁰⁰
Approved Date:	
Denied Date:	
By:	

Application for Amendment to Zoning Code Title 17 or Subdivision Code Title 16

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

APPLICANT INFORMATION
Name: Mark L Reitinger
Mailing Address: PO Box 5433
Phone: 208-726-2237
Representative: Self/owner
Phone: 541-890-2704
Mailing Address:
AMENDMENT
Section of code to be amended: 17.12.020
Please describe the proposed change or amended language (attach separate sheet if necessary): Request for re-zone of LR-1 lot to LR of lot 3 in the Mortgage Row Subdivision Ketchum
ADDITIONAL INFORMATION
Please describe any additional information, if necessary: Please see attached Description, Zoning Map, Mortgage Row plat and aerial photo of site.
APPLICATION REQUIREMENTS
Applications should include the following: <ul style="list-style-type: none"> a) Narrative describing zoning amendment b) Description of how the Comprehensive Plan, Zoning Ordinance, and Subdivision Ordinance support the proposed change c) Proposed ordinance language showing all revisions suggested

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.


06/02/2021
 Applicant Signature Date

Application for Rezone:

Subject Parcel: Mortgage Row- Lot 3 Ketchum, Idaho
104 Neil's Way

Owners: Mark & Rebecca Reitingner

I. Description of Project:

Mark & Rebecca Reitingner purchased Lot 3 in the Mortgage Row Subdivision five years ago with the intent to build a new residence that is more suitable for aging in place. The existing zoning will not allow a big enough building envelope for a new home to be constructed.

Lot 3 is currently zoned LR-1, although the existing log home is 36' from the Hwy 75 property line making it a non-conforming LR-1 lot with this current zone setback is 80'. With Hwy 75 being a 66' right of way the LR zone would make the setback 32'.

A brief history of the development of these lots would be insightful. When the Reitingner's originally purchased lot 4 in the early 2003 the property had city water and a failing septic system. All four of the North Mortgage Row lots access was off of the Hwy. 75. The City of Ketchum was in the process of extending the sewer line on Neil's Way to provide city sewer services for the North end of Mortgage Row Subdivision located in the city limits of Ketchum, which we pushed for hard to tie our new house to.

After several meetings with P&Z staff personnel and the Senior Planner at the time, regarding options and choices, the city made it apparent that any future development applications would need to have evidence of a serious attempt to gain primary access off of Neil's Way (at the back of the property) including abandonment of the existing driveway entrance off of Highway 75. While the city considered condemnation of this access they preferred that the Mortgage Row Homeowner's pursue a private access agreement. In the end the neighbors and the city were able to collaborate on an access easement agreement that was finalized for Neil's Way for Lots 1, 2, 3, and 4. This resulted in making the front of existing homes their back.

Once the process of creating the easement began; the Grantee's were required by the Fire Department to provide a turnaround that would meet Fire Department standards since we were adding four more residences to Neil's Way. This turnaround was placed on Lots 3 and 4. With the finalizing of the agreement a final berm plan was submitted to extend the existing Reitingner berm and continue the design along the frontage of Barry Baker's Lot 3 to the North. This permanently closed off these properties access to Highway 75 with a varying height landscape berm. With this ingress and egress for Lots 1-4 changed it is now via Neil's Way.

II. Compliance with Ketchum Comprehensive Plan

The Mortgage Row area has developed with a smattering of uses and appears to have been zoned after many of the existing structures were in place. It appears to have been originally zoned LR-1 with most of the existing structure being out of compliance with the zoning setbacks or uses. We have a smattering of homes, retail, industrial, and commercial businesses to the South. Over the

years several parcels during their development have then gone and switched to a zone that better fits the area and their project with most of these parcels being less than an acre.

Neighboring parcels to the South, starting with Base-Camp Gas & Grocery are zoned and have the following structure setback:

Parcel	Zoning	Comply w/ Zone	Current Hwy 75 Setback	Notes
Lot 11	LR	Yes		Changed from LR-1
Lot 10	LR	Yes		Changed from LR-1
Basecamp Gas & Grocery	LR-1	No	Canopy- ~5'	Non-compliant w/ LR-1 zone setbacks Owner: David Wiendeland
Dick York Towing	LR-1	No		Behind lot 5- adjacent to back ½ of Lot 4 Owner: David Wiendeland
Lot 5	LR-1	No	67' from Hwy 75	Duplex on lot Owner: Mary Jane Brown (?)
Lot 4	LR	Yes	104' from Hwy 75	Mark & Rebecca Reitinger
Lot 3	LR-1	No	33'-6" from Hwy 75	Mark & Rebecca Reitinger
Lot 2	LR	Yes	32' from Hwy	Rezoned to LR from LR-1 due to Hwy 75 setback
Lot 1	LR-1	No	3' from Hwy 75	Non-complying on multiple sides due to odd and small size of parcel

The current zoning for Lot 3 is LR-1. The log structure may be demolished in future because of its structural integrity has been diminished over the years. The existing 36' from the property line at Hwy 75. Set back required for a new structure in the LR-1 zone is 80' from Highway 75 and would place the proposed secondary structure towards the front of the existing property along Neil's Way.

The new 'front' of the property on Neil's Way creates some setback and driveway limits based on the need for a Fire Truck turn-around that ended up being placed on our property (lots 3 & 4) on Neil's Way to consummate the easement agreement between the entire Mortgage Row HOA, East of Baldy HOA, and City of Ketchum. Being required to meet the 80' setback from Hwy 75 required by LR-1 zone limits the foot print of our future house placement on site and creates further access difficulties for garage, yard, and driveway because of the limits on the new 'front' of Lot 3.

With a rezone of Lot 3 to LR it would allow a minimum 25' setback and provide a favorable approach to a proposed garage structure. The actual proposed would probably be closer the existing log structure.

There are other positive attributes to rezoning with new set backs. The proposed structure would be more in line with the existing structures in the Mortgage Row subdivision on Hwy 75. We intend for this building to have a timeless feel as if it has always been there. By staying in keeping with the neighboring setbacks this will be better achieved.

The new rezoned setback would also provide better sound buffering from the Highway for the new residence and neighboring properties.

Rezoning from LR-1 to LR seems to allow for the best use of this property and be most in keeping with the development of the area.

III. Phasing Plan

The infrastructure for the Mortgage Row Subdivision, and Lot 3, more specifically is now in place. The septic system was removed/abandoned and hooked to city sewer a year before the Reitinger's purchased this property (Lot 3). The new future structure will facilitate an accessible residence, garage, shop, an Art Studio and ADU. Design and construction will probably occur in 3 to 5 years.

IV. Accessory Dwelling Unit

Our intention is to provide an ADU as per the Comprehensive Plan Chapter 3: Housing:, Goals and Policies H-1.5 to provide affordable housing. We feel very strongly that this is the best way to integrate workers in our Mountain Community.

Both my wife and I lived in various ADU's in Ashland, Oregon as single adults when we were in collage and beginning our careers. These ADUs gave us each a sense of independence and neighborhood connection. As newlyweds' we continued to live in ADU's while we saved and dreamed of owning our own home and future. The planning in Ashland strongly encouraged this kind of affordable housing option creation, and still does. Being immersed in a community through living in ADUs has created lifelong relationships. As part of that community we were mentored and were able to become contributors and give back to our community.

The use of our ADU may vary over time from general rental to Mother In-law suite, to affordable housing for our own employee, or healthcare assistance as we grow older.

Proposed Lot
rezone Lot 3 104
Neil's Way

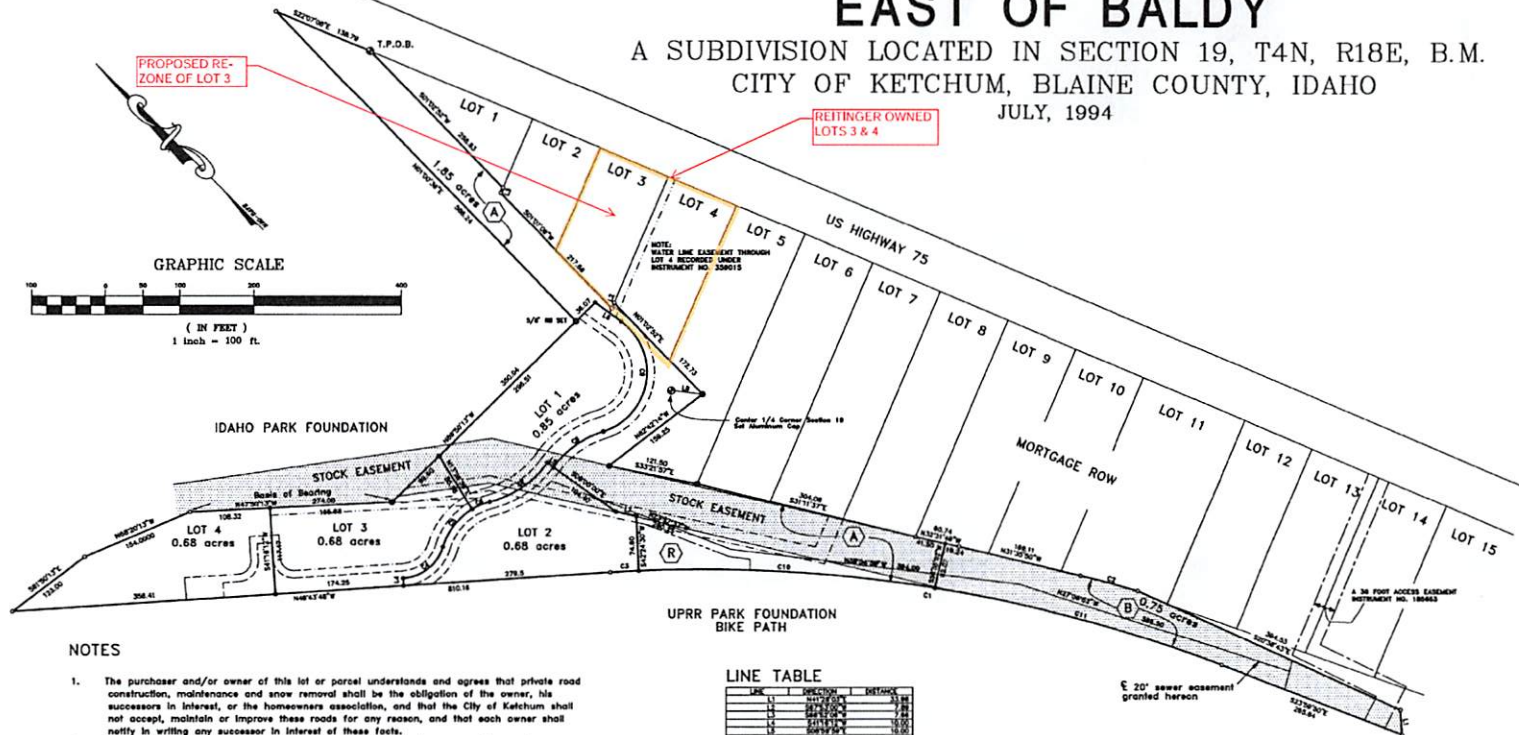
Reitinger Lot's 3 & 4



EAST OF BALDY

A SUBDIVISION LOCATED IN SECTION 19, T4N, R18E, B.M.
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JULY, 1994



NOTES

- The purchaser and/or owner of this lot or parcel understands and agrees that private road construction, maintenance and snow removal shall be the obligation of the owner, his successors in interest, or the homeowners association, and that the City of Ketchum shall not accept, maintain or improve these roads for any reason, and that each owner shall notify in writing any successor in interest of these facts.
- An easement is hereby granted on all of Parcel A for mutual access and snow storage.
- A 20 foot wide private road and utility easement shown hereon is hereby granted within Lots 1,2,3 and 4 for the benefit of Lots 1,2,3 and 4, and the City of Ketchum.
- A 10 foot wide snow storage, drainage and utility easement shown hereon is hereby granted within Lots 1,2,3 and 4 for the benefit of Lots 1,2,3 and 4, and the City of Ketchum.
- An easement is hereby granted to the City of Ketchum within all of Parcels A and B, for installation and maintenance of underground utilities, excluding the Recreation Area within Parcel A.
- A 10 foot wide private water line easement is hereby granted within lot 1 for the benefit of Lots 3 and 4 and Parcel A.
- A 20 foot wide utility easement is hereby granted centering on all interior lot lines.
- A 20 foot wide electrical easement is hereby granted within Lots 1,2 and 3 and Parcel B.
- The stock trail shown hereon shall have no structures built thereon and no landscaping or use shall be installed which may interfere with or be damage by livestock. It shall be each property owner's sole responsibility to construct and maintain fencing along the boundary of the livestock trail adequate to prevent any trespass, damage or injury to persons or property from livestock. Each property owner and anyone occupying or visiting their property shall have no claim for damages with regard thereto.
- Uncontrolled fill exists within Lots 1,2,3 and 4. A soils bearing analysis prepared by a licensed engineer is required prior to issuance of a building permit.
- Covenants, conditions and restrictions are filed under instrument Number 369122.
- Maximum building height for each lot is measured from natural grade according Exhibit A, the 1974 Idaho Transportation Department topography map recorded under instrument number 369122.
- A 20 foot wide easement is granted hereon to Intermountain Gas Company for an underground gas line running through this subdivision within the stock easement.

LINE TABLE

LINE	BEGINNING	ENDPOINT	DISTANCE
1	2817.00	2817.00	0.00
2	2817.00	2817.00	0.00
3	2817.00	2817.00	0.00
4	2817.00	2817.00	0.00
5	2817.00	2817.00	0.00
6	2817.00	2817.00	0.00
7	2817.00	2817.00	0.00
8	2817.00	2817.00	0.00
9	2817.00	2817.00	0.00
10	2817.00	2817.00	0.00
11	2817.00	2817.00	0.00
12	2817.00	2817.00	0.00
13	2817.00	2817.00	0.00
14	2817.00	2817.00	0.00
15	2817.00	2817.00	0.00
16	2817.00	2817.00	0.00
17	2817.00	2817.00	0.00
18	2817.00	2817.00	0.00
19	2817.00	2817.00	0.00
20	2817.00	2817.00	0.00

CURVE TABLE

CURVE	CHORD	BEARING	LENGTH	WADSWORTH	CHORD	BEARING	DELTA
C1	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C2	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C3	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C4	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C5	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C6	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C7	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C8	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C9	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C10	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C11	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C12	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C13	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C14	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C15	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C16	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C17	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C18	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C19	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°
C20	184.86	84.37°	203.81	203.81	184.86	84.37°	113.84°

LEGEND

- BRASS CAP FOUND
- 5/8" REBAR FOUND
- 1/2" REBAR SET
- 1/2" REBAR FOUND
- EDGE OF 20' ELECTRICAL EASEMENT
- EDGE OF 10' WATER EASEMENT (2' PRIVATE LINE)
- EDGE OF RECREATION AREA
- EDGE OF 20' ACCESS AND UTILITY EASEMENT
- EDGE OF 10' SNOW STORAGE, UTILITY, AND DRAINAGE EASEMENT
- STOCK EASEMENT
- (A) PARCEL "A"
- (B) PARCEL "B"
- (R) RECREATION AREA

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.
Date: 8-5-94
Robert W. Eichen
South Central District Health Dept., EHS

PREPARED BY: BENCHMARK ASSOCIATES, KETCHUM, IDAHO

EAST OF BALDY

T4N, R18E, SEC. 19, B.M.

BLAINE CO., IDAHO

SHEET 1 OF 2



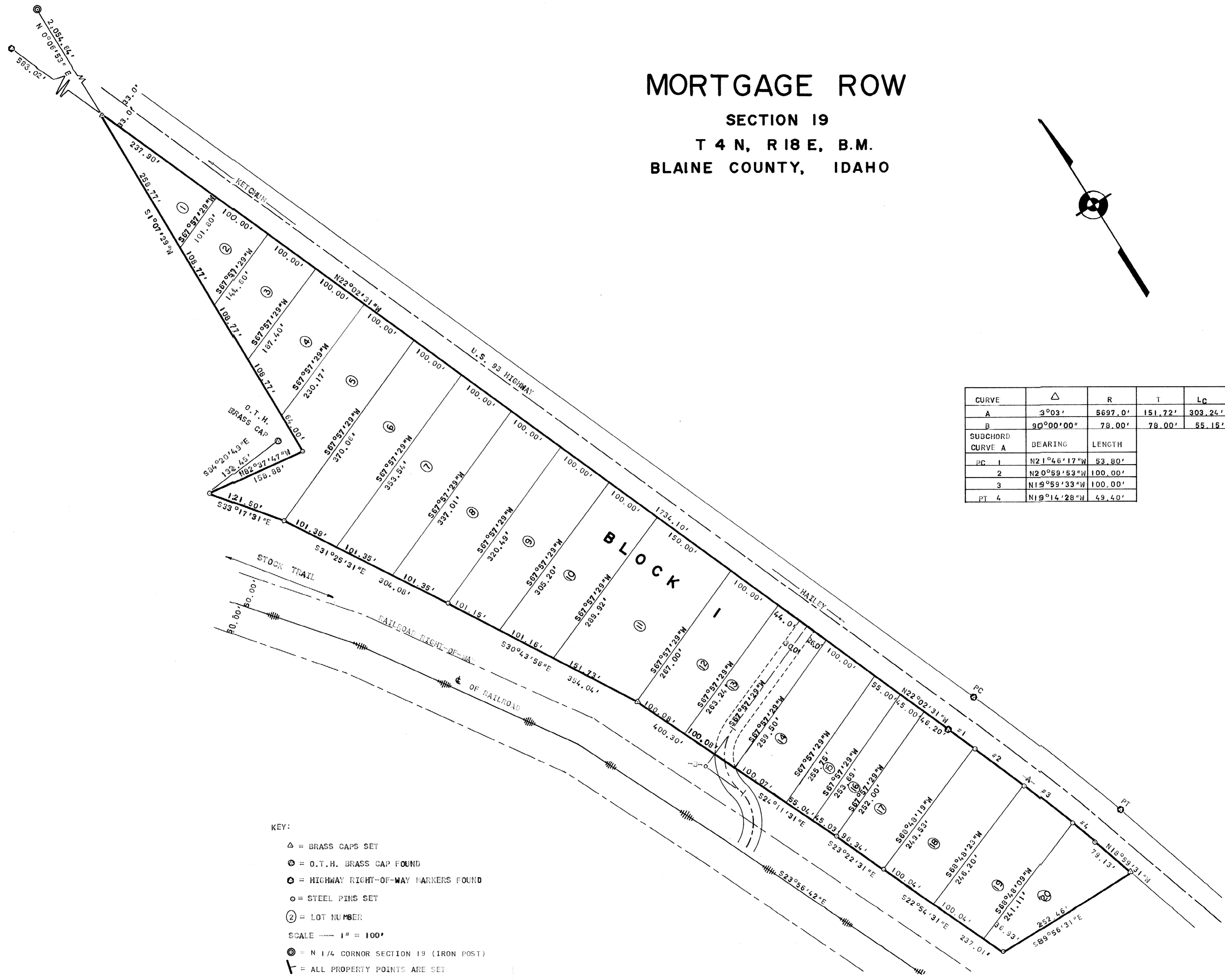
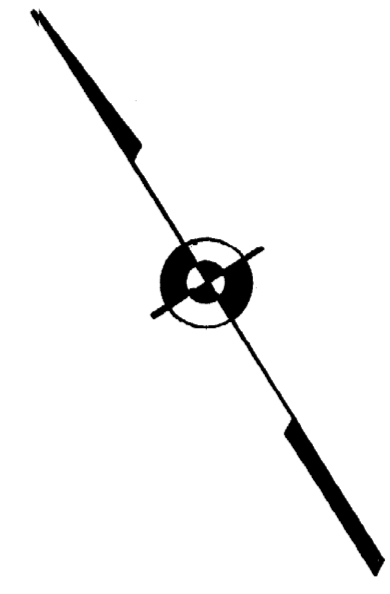
WEYYAKIN
SUN VALLEY

REINHEIMER
RANCH
KETCHUM

LOT 3
PROPOSED
ZONING
CHANGE FROM
LR-1 TO LR

MORTGAGE ROW

SECTION 19
T 4 N, R 18 E, B.M.
BLAINE COUNTY, IDAHO



CURVE	Δ	R	T	Lc
A	3°03'	5697.0'	151.72'	303.24'
B	90°00'00"	78.00'	78.00'	55.15'
SUBCHORD	BEARING	LENGTH		
PC 1	N21°46'17"W	53.80'		
2	N20°59'53"W	100.00'		
3	N19°59'33"W	100.00'		
PT 4	N19°14'28"W	49.40'		

- KEY:
- Δ = BRASS CAPS SET
 - ⊙ = O.T.H. BRASS CAP FOUND
 - ⊕ = HIGHWAY RIGHT-OF-WAY MARKERS FOUND
 - = STEEL PINS SET
 - ② = LOT NUMBER
 - SCALE 1" = 100'
 - ⊙ = N 1/4 CORNER SECTION 19 (IRON POST)
 - ⊢ = ALL PROPERTY POINTS ARE SET

Attachment B: Public Comment

E. CARLTON WILTON, JR.

November 26 2021

City of Ketchikan
Planning + Building

Dear Sirs:

I support The zoning change on
The Redinger property at 104
Wark's Way.

I am a continuous property
owner with 2 parcels on Wark's
Way.

Thank you for solving these old
issues and bringing the subdivision
under compliance with the current
zoning laws

Thank you
E. Carlton Wilton Jr



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF December 14, 2021

PROJECT: Grossman Residence – Remodel/Addition

FILE NUMBER: P21-89

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Steve Cook, Steve Cook Architect

OWNER: Jill Grossman

REQUEST: Mountain Overlay Design Review

LOCATION: 215 Gem Street (Syringa Springs Sub Lot 6)

ZONING: Limited Residential District (LR)

OVERLAY: Mountain Overlay (MO)

NOTICE: Notice for the subject public hearing was mailed to all adjacent property owners on November 24th, 2021.

REVIEWER: Adam Crutcher, Associate Planner

BACKGROUND

The subject Mountain Overlay (MO) Design Review is for the development of an office addition and landscaping project at 215 Gem St (Syringa Springs Sub Lot 6). The site is located in the Limited Residential (LR) Zoning District and also within the Mountain Overlay. The subject property is currently occupied by a single family residence and the site is characterized by approximately 86 ft grade change from the Gem Street right-of-way to the rear property line. The subject property is 0.526 acres in size (22,937 square feet) and is 272.95' deep with a minimum elevation of approximately 5835' and a maximum elevation of approximately 5870', a slope of 13% on the southern property boundary (35' of elevation gain), and 14% on the northern property boundary (28' of elevation gain). There is a lot line shift application associated with the project that proposes to extend the building envelope for the property into the rear yard to allow for the construction of the addition and pergola.

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration and minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.

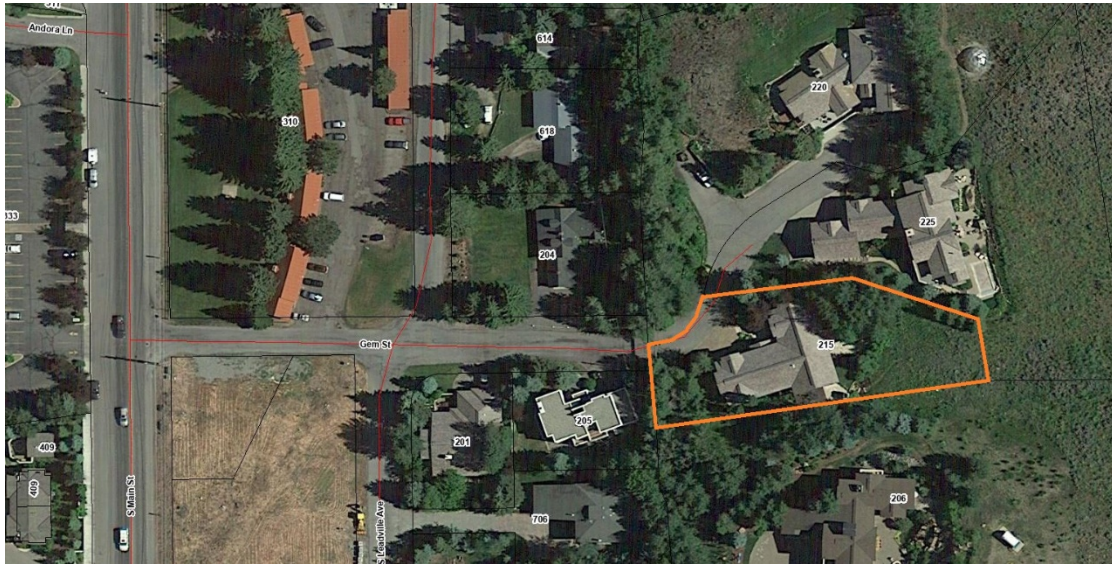


Figure 1. Location Context: 215 Gem Street

ANALYSIS

Staff recommends the Planning & Zoning Commission consider the analysis contained in the Staff Report, the applicant's presentation, and any public comment received, deliberate, and move to approve the design of the proposed addition and landscape project located at 215 Gem St. A full analysis of this recommendation is detailed within the Staff Report.

The proposed design of the addition and landscaping fulfills the purpose of the Mountain Overlay Zoning District to minimize the visual impact of building sites, limit alterations to the existing topography, and to preserve hills and ridgelines. The total building coverage for the proposed residence is 23% (5,329 sq ft building coverage/22,933 sq ft lot area), which is 2,697 sq ft less than the maximum allowable building coverage (35%) permitted in the LR Zone. The maximum building height is 28', which is 7' less than the maximum height (35') permitted in the LR Zone.

COMPREHENSIVE PLAN ANALYSIS

The proposed addition and landscaping located at 215 Gem St is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

Table 1: Comprehensive Plan Compliance Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Future Land Use	
Low Density Residential	<p>Primary Uses: Single-family and duplex residences and accessory units.</p> <p>Secondary Uses: Supporting and complementary uses, including open space and recreation, agriculture/gardens, schools, places of worship, and other public uses. Senior housing facilities are also appropriate if compatible with the surrounding areas.</p> <p>The intent is for the average density of a residential area in this category is not to exceed about five units per acre.</p> <p>Characteristics and Location: New residences should be within neighborhoods that have pedestrian-oriented, connected local streets and sidewalks. New housing should also have access to parks, open space, schools, and other civic activities. Neighborhoods within this category should be accessible via local streets with access to collector streets for circulation.</p>
Community Design and Neighborhoods	
Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.	<p>Policy CD-2.2 - Mountain Overlay Zone</p> <p>Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.</p>
Policy CD-2.4 Development Designed for Natural Feature Preservation	<p>Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.</p>

Table 2: Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			<i>Staff Comment</i>	<i>Required: 9,000 square feet minimum. Existing (Lot 6): 22,933 sq ft</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Coverage
			<i>Staff Comment</i>	<i>Permitted: 35% Proposed: 23% (5,329 sq ft building coverage/22,933 sq ft lot area)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Building Setbacks

			Staff Comment	<p>Minimum: Front: 15' Side: > of 1' for every 2' in building height, or 10' Rear: 20'</p> <p>Proposed: Front: 15' Side (N): 14' Side (S): 14' Rear: 20'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height
			Staff Comment	<p>Maximum Permitted: 35' Proposed: 15' addition (27' existing residence)</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H	Curb Cut
			Staff Comment	<p>Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: Existing residence has driveway. No modifications are proposed to the driveway</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	Parking Spaces
			Staff Comment	<p>Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: One-Family Dwelling: 2 spaces per dwelling unit Existing: 2 spaces (Garage)</p>

Table 3: Mountain Overlay Design Review Standards

IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review:				
The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<p>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</p>
			Staff Comment	<p>No ridges or knolls have been identified on the subject parcel—the ridge line is located beyond the extent of the rear property line.</p> <p>The property is not located adjacent to an identified or protected view corridor. Vegetation and existing development sufficiently screens Gem Street from the Highway 75 corridor.</p> <p>As the proposed building footprint is sited at the lower elevation of the site, the applicant has minimized visual impact to the Gem Street ridgeline. The proposed siting and design of the single-family residence protects the visual integrity of the hillside.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.
			<i>Staff Comment</i>	<i>Building, excavation, filling, and vegetation disturbance will not have a material visual impact visible from a public vantage point entering into or within the city due to the siting of the building footprint and limits of disturbance sited at the lower elevation portion of the site. Outside of the limits of disturbance associated with the building and associated site improvements, the project will retain the site's existing grade and vegetation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (3)	Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.
			<i>Staff Comment</i>	<i>Existing driveway approved by Mountain Overlay Design Review (MO 94-05) and Building Permit (94063) in 1994. No work to be done on existing driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			<i>Staff Comment</i>	<i>Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	Significant rock outcroppings shall not be disturbed.
			<i>Staff Comment</i>	<i>No significant rock outcroppings have been identified on the subject site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.
			<i>Staff Comment</i>	<i>The project must comply with the 2018 International Building Code, the 2018 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	Public water and sewer service shall comply with the requirements of the city.
			<i>Staff Comment</i>	<i>Existing water and sewer stubs serve the subject property located at 215 Gem Street. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	Drainage shall be controlled and maintained to not adversely affect other properties.
			<i>Staff Comment</i>	<i>As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.
			<i>Staff Comment</i>	<i>No new roadway or driveway is proposed with the project. Both roadway and driveway are existing.</i> <i>As indicated on Sheet L-3.0, the eastern portion of the lot will remain undisturbed with native vegetation. KMC §17.104.070.A9 recommends that revegetation of hillsides maintain a 30 ft clear zone around all structures in order to serve as defensible space to reduce the potential for damage to homes from wildfires. In this zone, plant species should be low-growing and fire-resistant. The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. While Serviceberry and Ninebark are appropriate species, the applicant is encouraged to use hardscapes and minimize overlapping shrub groupings within the defensible space zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.
			<i>Staff Comment</i>	<i>The existing building was built on the most downward site of the lot leaving the rear yard the only remaining developable land. The applicant has utilized the area of the property most suitable for development, which is characterized by a more gradual slope compared to steep grade at the eastern portion of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.
			<i>Staff Comment</i>	<i>The existing driveway access does not traverse 25% or greater slopes.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (12)	Utilities shall be underground.
			<i>Staff Comment</i>	<i>Existing utilities are located underground to serve the existing residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			<i>Staff Comment</i>	<i>Sheet L-3.0 indicates the limits of disturbance associated with the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			<i>Staff Comment</i>	<i>The project scope does not propose any cuts or fills other than those required for building construction—all excavation, fill, and vegetation disturbance is associated with the construction of the office addition and landscaping.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (15)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

Table 4: Design Review Standards for all projects

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>Existing driveway connects to Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required or existing in the subject low density residential area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>All storm water shall be retained on site. As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

			<i>Staff Comments</i>	<i>The proposed drainage improvements span the width of the subject lot. See above analysis for KMC §17.96.060(C)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>All utilities for the development shall be improved and installed at the expense of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>All on-site utilities shall be located underground. The project will connect to existing power and gas lines within the existing residence and the associated existing infrastructure is underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>Extension of utilities shall be done in accordance with the City of Ketchum standards and at the discretion of the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>As indicated on Sheet A.7, the proposed office addition will be composed of stucco and composite roofing material that will match the existing residence. The proposed materials and colors are complementary to both existing homes within the Gem Street neighborhood and also to the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. Residence built in 1994.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required to be installed within low density residential street right-of-ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>Building elevations are included on Sheet A.7 of the Design Review submittal. The addition uses the same architectural features as the existing building with the same roof form and materials. The addition uses windows to break up the stucco material. Architectural features of the addition will only be seen by the adjacent property owners as the addition is small in nature and located on the rear of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The proposed materials and color palette match the existing residence. The materials and colors complement the surrounding landscape.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.

			Staff Comments	<i>The addition complements the existing structure by using the same stucco and roofing materials. The landscape features include an outdoor dining area, pathway, and trellis with a fire pit that complement the single-family residence. Retaining walls, decks/patios, and boulders complement the outdoor living areas and enhance the landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	<i>The design incorporates variation in architectural features and materials along all facades. The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of flatness at all facades.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			Staff Comments	<i>N/A. Existing residence faces Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	<i>N/A. The project does not propose a satellite receiver. The project is located within a low density residential zoning district, which does not include an exterior commercial garage receptacle requiring screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	<i>The roof design as indicated on Sheet A.7 includes gutters, which will prevent water from dripping on residents. Roof overhangs will also serve as weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	<i>N/A. The subject property is a site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Staff Comments	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	<i>The proposed single-family residence will be accessed from Gem Street. The private driveway serves is low traffic as it serves two other residences.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	<i>The driveway is located over 200 ft away from the nearest intersection of Gem Street and Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	<i>Unobstructed access to the site is provided through Gem Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	<i>N/A as no change to existing snow storage is proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Staff Comments	<i>See above Staff comment for Ketchum City Code 17.96.060.H(1)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			Staff Comments	<i>See above Staff comment for Ketchum City Code 17.96.060.H(1)</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The required landscape plan is indicated on Sheet L-5.0 of the Design Review submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. Serviceberry, ninebark and aspen are all drought tolerant species and adaptable to the Wood River Valley climate. The landscape plan complements the single-family residence and adjacent neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>See above Staff analysis for Ketchum Municipal Code §17.96.060(I)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping will be provide a buffer between the adjacent dwelling units and complements existing landscaping in the neighborhood as well as the native vegetation of the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required for the project.</i>

STAFF RECOMMENDATION:

Staff recommends the Planning & Zoning Commission consider the analysis contained in the Staff Report, the applicant’s presentation, and any public comment received, deliberate, and move to approve the design of the proposed office addition and landscaping located at 215 Gem Street and adopt the attached findings of fact for the project.

RECOMMENDED CONDITIONS

1. The applicant shall comply with all City Department conditions as described in Tables 2, 3, and 4.
2. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy.
3. Design review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
4. Design review elements shall be completed prior to final inspection and issuance of a Certificate of Completion for the project.
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Mountain Overlay Design Review Plans unless otherwise approved in writing by the Commission or Planning & Building Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
6. Construction fencing at the limits of disturbance shall be located on the site prior to any excavation or earthwork.
7. A final drainage/grading plan for the subject property and the City right-of-way shall be submitted to the Planning & Building Department for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a Building Permit for the project.
8. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.
9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
10. Fencing around the limit of disturbance will be installed during the construction period.
11. The proposed bench and retaining walls as indicated on sheets A.7 and L-3.0 of the MO Design Review submittal shall not exceed 30 inches from existing grade when located outside of the building envelope.

ATTACHMENTS:

- A. Application
- B. Mountain Overlay Design Review Submittal
- C. Draft Findings of Fact, Conclusions of Law, and Decision

Attachment A.

Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	
Date:	10/12/2021
By:	S. Butcher
Fee Paid:	
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION				
Project Name:	GROSSMAN RESIDENCE - REMODEL/ADDITION			
Owner Name:	JILL M. GROSSMAN			
Mailing Address:	P.O. BOX 6638 KETCHUM, ID 83340			
Phone:	415.990.7437			
Email:	Jill.grossman1@comcast.net			
PROJECT INFORMATION				
Architect/Representative:	STEVE R COOK			
Phone:	208.720.2117			
Mailing Address:	P.O. BOX 680 KETCHUM, ID. 83340			
Email:	STEVE@STEVECOOKARCHITECT.COM			
Engineer of Record:	TBD			
Engineer Email:	TBD			
Legal Land Description:	SYRINGA SPRINGS SUBDIVISION BLOCK 1, LOT 6			
Project Address:	215 GEM STREET KETCHUM, ID			
Lot Area:	.53 ACRES - 22,933 S.F.			
Zoning District:	LR-MD			
Anticipated Use:	EXISTING SINGLE FAMILY RESIDENCE			
Number of Residential Units:				
TYPE OF CONSTRUCTION				
<input type="checkbox"/> New	<input checked="" type="checkbox"/> Remodel	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:	
TOTAL FLOOR AREA				
	Proposed	Existing		
Basement:		973 s.f.		
1 st Floor:	267 s.f.	3,615 s.f.		
2 nd Floor:				
3 rd Floor:				
Decks:				
Mezzanine:				
Total:	267 s.f.	4,590 s.f.		
Building Coverage:	5,329 SF 23 %	Curb Cut: NA SF % EXISTING		
PROPOSED SETBACKS				
Front:	NA	Side: 17'	Side: 55'	Rear: 39'
ADDITIONAL INFORMATION				
Building Height:	15'	Parking Spaces Provided:	3 + 5 GUEST	
Will Fill or Excavation Be Required?	Yes	No		
If Yes, Amount in Cubic Yards	Fill: 14	Excavation: 68		
Will Existing Trees or Vegetation Be Removed?	Yes	No		

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

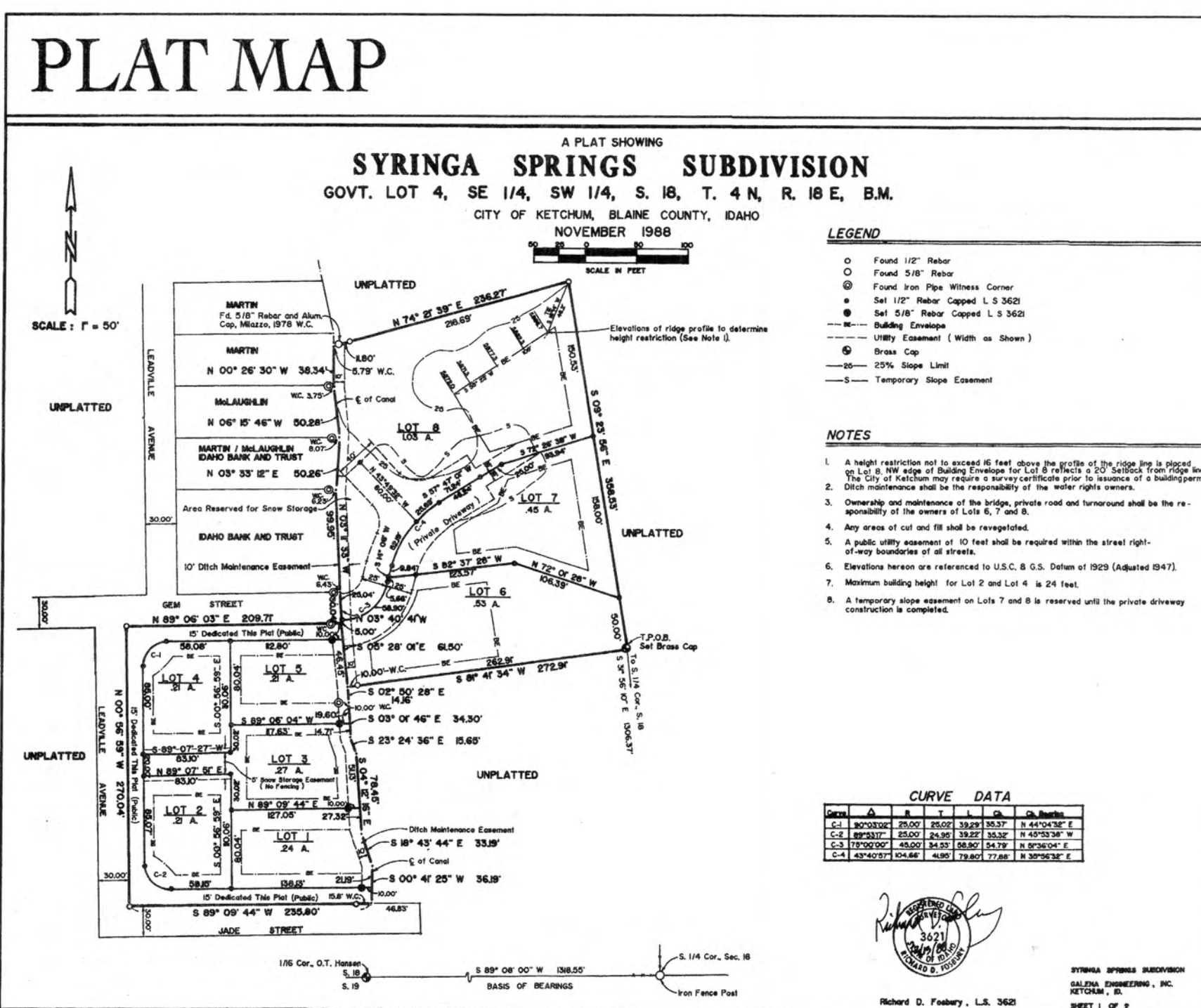
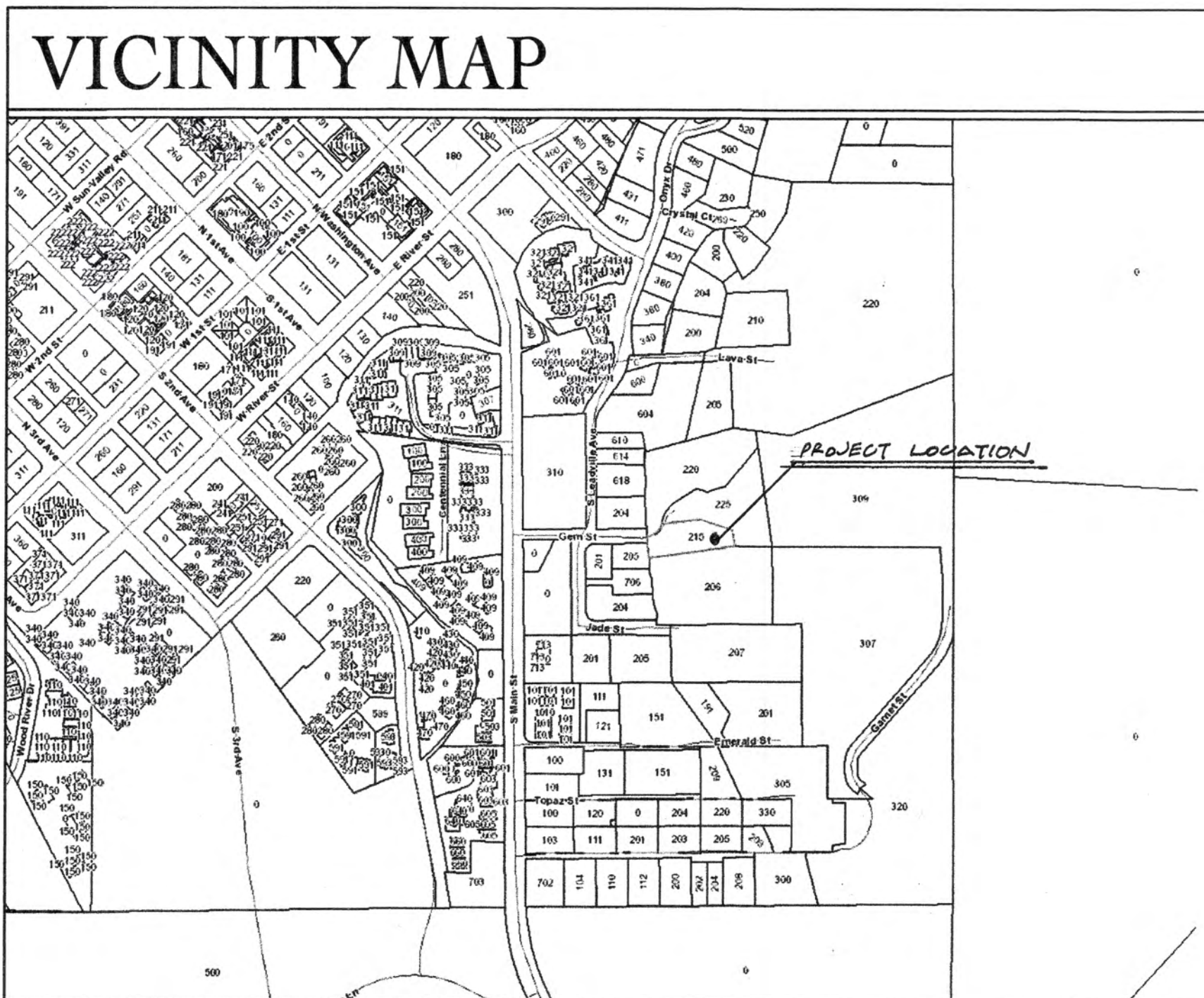
S.R. Cook
Signature of Owner/Representative

10.12.2021
Date

Attachment B.
Mountain Overlay
Design Review
Submittal

GROSSMAN RESIDENCE - REMODEL

SYRINGA SPRINGS - LOT 6
215 GEM STREET - KETCHUM, ID.
ZONE LR / MOD.



DRAWING INDEX	
SHEET NO.	DRAWING NAME
A.0	COVER PAGE
A.1	EXISTING UPPER LEVEL FLOOR PLAN
A.2	PROPOSED UPPER LEVEL FLOOR PLAN
A.3	EXISTING LOWER LEVEL FLOOR PLAN
A.4	PROPOSED LOWER LEVEL FLOOR PLAN
A.5	EXISTING EXTERIOR ELEYS - EAST / WEST
A.6	EXISTING EXTERIOR ELEYS - NORTH / SOUTH
A.7	PROPOSED EXTERIOR ELEYS - EAST / NORTH
A.8	EXISTING M. BEDROOM CROSS SECTION
A.9	PROPOSED M. BEDRM / OFFICE SECTIONS
A.10	ROOF FRAMING PLAN
C.1	SITE SURVEY - EXISTING
C.2	AERIAL OVERLAY - SITE PLAN
C.3	PRELIMINARY PLAT - ENLARGED BLDG ENVL

PROJECT TEAM	
ARCHITECT:	- STEVE COOK ARCHITECT - 208.720.2117
LANDSCAPE ARCHITECT:	- BYLA, CHASE GOULEY - 208.721.8931
STRUCTURAL ENGINEER:	- K & S ENGINEERING, DAVE CONRAD - 208.928.7810
GENERAL CONTRACTOR:	- ADAM ELIAS - 208.725.5400
CIVIL ENGINEER:	- BENCHMARK ASSOC. - 208.726.9512

ADDITION/REMODEL TO SINGLE FAMILY RESIDENCE
ZONE LR-MO

EXISTING RESIDENCE - Overall SF Calculations

Upper Level - 3,615 S.F.
Lower Level - 975 S.F.
Sub Total 4,590 S.F. Living Area
Garage: 3 Bay - 920 S.F.
5,510 S.F.

PROPOSED ADDITION

Office 16'x 16' 8" - 267 S.F.
Home Total 5,777 S.F.

SET BACKS

Side Yds. 18 Ft., 65 Ft.
Rear Yd. 43 Ft.

BUILDING COVERAGE AREA/PERCENTAGE:

Existing Residence - 4,535 SF (Less Bsmnt)
Decks above 30" - 614 SF
Proposed Trellis - 180 SF
Total Lot Coverage - 5,329 SF

PERCENT OF LOT COVERAGE

5,329 SF div by .53Acres 22,933 SF = 23% Actual
35% Allowable

CUT AND FILL:

Excavation of Addition = 68 Cu. Yds.
Fill at Addition = 14 Cu. Yds

GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO ASSURE ALL WORK CONFORMS TO NATIONAL, STATE, AND LOCAL CODES THAT APPLY TO THIS PROJECT. WHEN INCONSISTENCIES EXIST BETWEEN DRAWINGS OR SPECS. AND APPLICABLE CODE REQUIREMENTS, CONFORMANCE TO ALL CODES SHALL HAVE PRECEDENCE OVER DRAWINGS AND SPECS.



GROSSMAN - REMODEL
215 GEM STREET
KETCHUM, IDAHO
ZONE LR / MOD.
LOT 6 SYRINGA SUB.

steve r. cook, architect
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340
member american institute of architects

revision record		
no.	date	by

DRAWING NAME:
COVER PAGE /
DRAWING
INDEX /
LOCATOR MAP

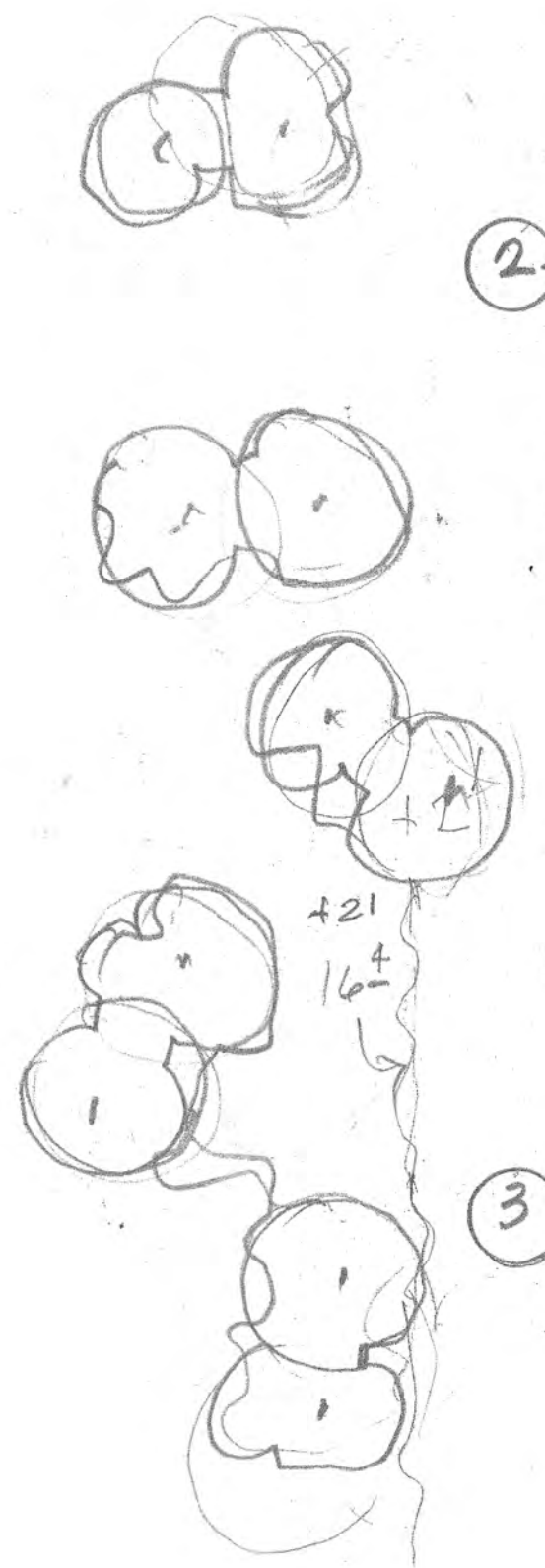
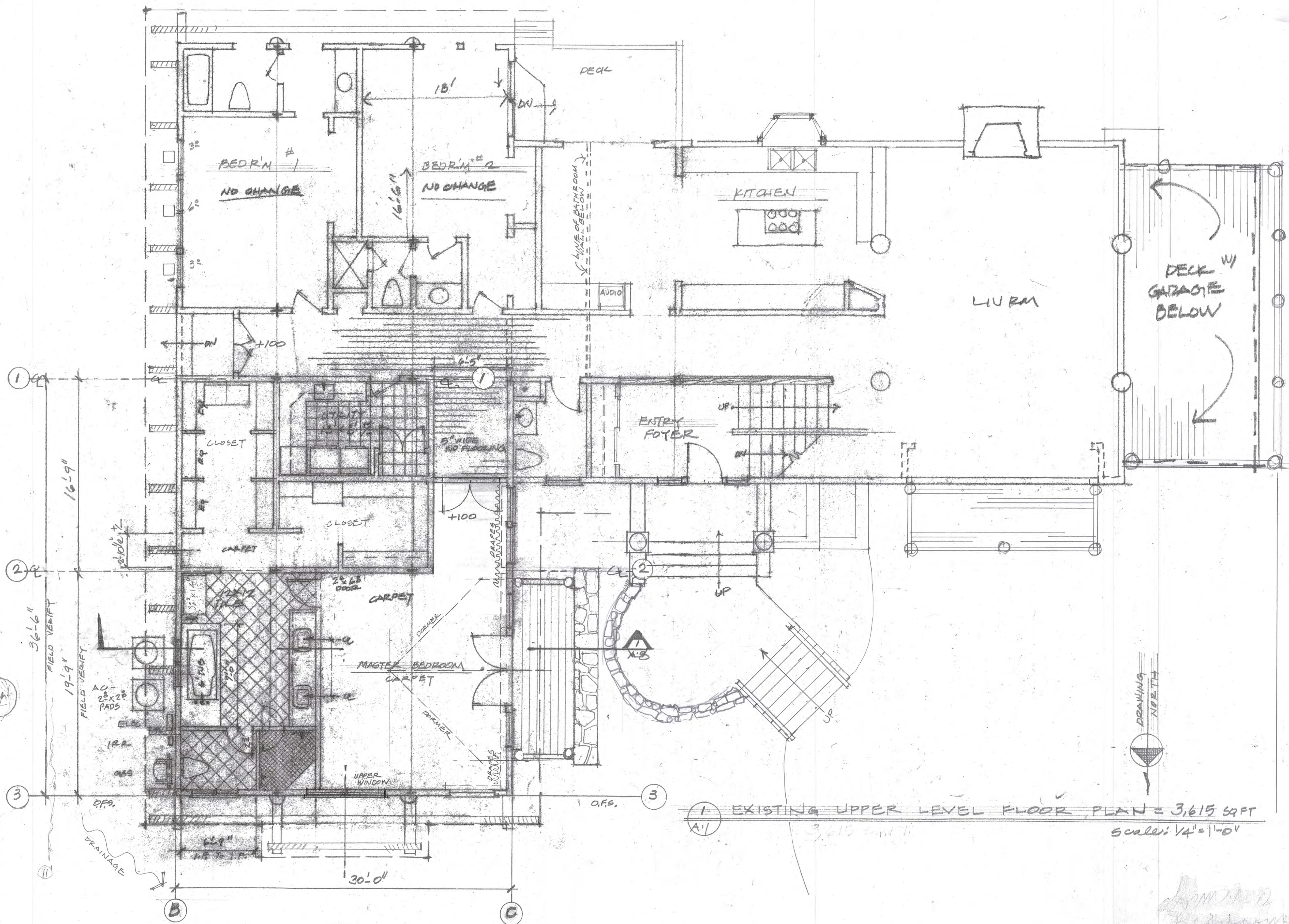
scale: NA

date of issue:
plot date:

sheet no.

10.12.21
A.0
8.25.21

1,075 S.F.



1 EXISTING UPPER LEVEL FLOOR PLAN = 3,615 SQFT
Scale: 1/4" = 1'-0"

GROSSMAN - REMODEL
215 CHEM STREET
KETCHUM, IDAHO
ZONE LR-100A SUB.

PH: (208) 725-6556
FAX: (208) 725-6556

steve r. cook, architect
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340
member american institute of architects

revision record

no.	date	by

DRAWING NAME:
EXISTING
UPPER
FLOOR

scale:
1/4" = 1'-0"
date of issue:
5.27.21
plot date:
sheet no.
A-1
8.25.21

10.12.21

Hand-drawn notes: "Hold old finish" and "Get in line".



ADDRESS - REMODEL
 215 GEM STREET
 KETCHUM, IDAHO
 ZONE LR
 LOT 6 SPRINGA SUB

PH: (208) 725-6556
 FAX: (208) 725-6556

steve r. cook, architect
 323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340
 member american institute of architects

revision record		
no.	date	by
1	6.2.21	

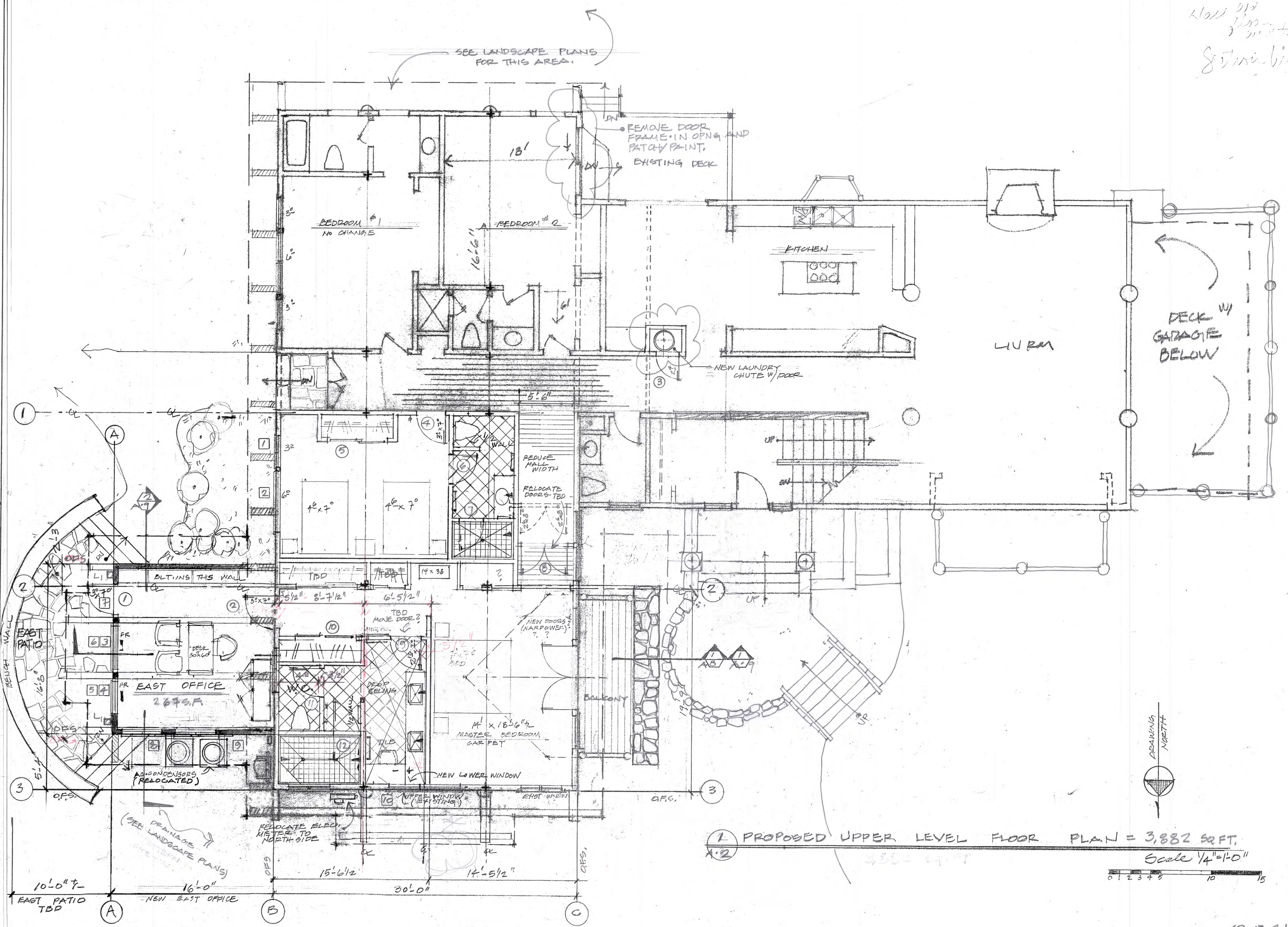
DRAWING NAME:
 PROPOSED UPPER FLOOR

scale: 1/4" = 1'-0"

date of issue:
 5.27.21

plot date:

sheet no.



1 PROPOSED UPPER LEVEL FLOOR PLAN = 3,882 SQ FT.
 Scale 1/4" = 1'-0"

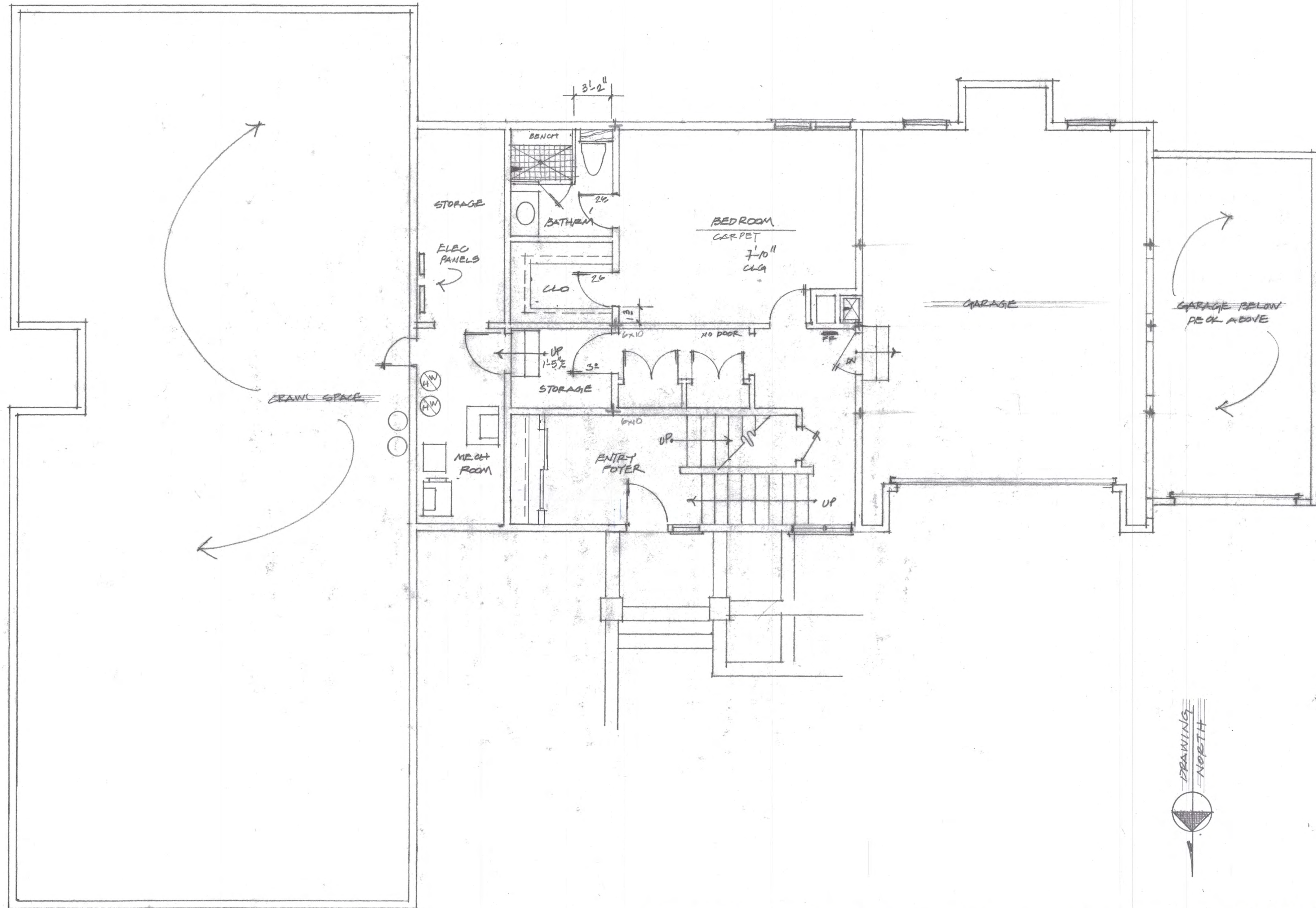
10.12.21

A.2
 8.25.21

VERTICAL DIMENSION SHIFT AT BATH HALL
 DOOR WIDTH (EXIST. ENTRY HALL?)
 RETURN AIR? ADD DOOR WIDTHS?
 EAST PATIO TOP

PLAN 100

85



1 EXISTING LOWER LEVEL FLOOR PLAN = 975 SQ FT.
 A.3 EXISTING 3 CAR GARAGE = 920 S.F. Scale: 1/4" = 1'-0"



GROSSMAN - REMODEL
 215 GEM STREET
 KETCHUM IDAHO
 ZONE LR
 LOT 6 SYRINGA GUB.

PH: 208 725-5668
 MF: 208 725-5668

steve r. cook, architect
 323 south lewis st. suite H, P.O. box 880, Ketchum ID, 83340

member american institute of architects
GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO ASSURE ALL WORK CONFORMS TO NATIONAL, STATE AND LOCAL CODES THAT APPLY TO THIS PROJECT. THESE INCENTIVES COST-BE-BENEFIT DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF STEVE R. COOK ARCHITECT. THESE INCENTIVES COST-BE-BENEFIT DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF STEVE R. COOK ARCHITECT.

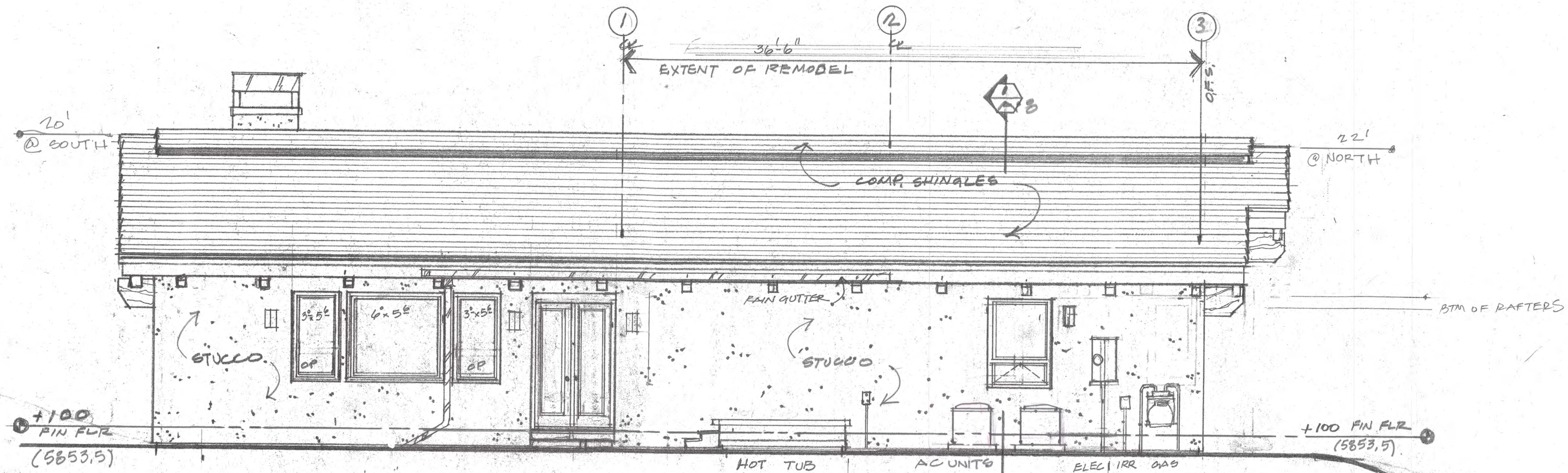
revision record		
no.	date	by

DRAWING NAME:
 EXISTING LOWER FLOOR

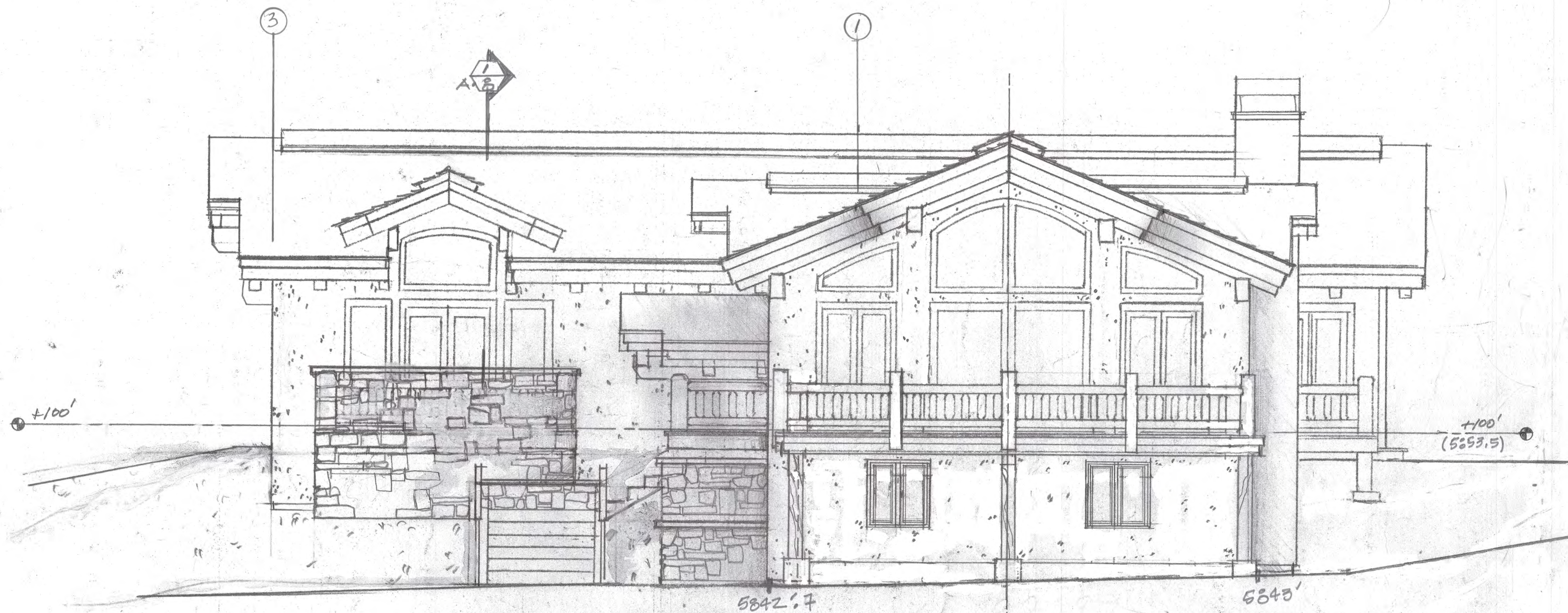
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 1/4" = 1'-0"
 date of issue:
 5.27.21
 plot date:

sheet no.
 A.3
 5.25.21

10.12.21



1 EXISTING EAST ELEVATION
 A/5 (SEE SHEET A.7 FOR PROPOSED) Scale: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
 A/5 (NO REVISIONS) Scale: 1/4" = 1'-0"



GROSSMAN - REMODEL
 215 GEM STREET
 KETCHUM - IDAHO
 LOT 6 STRINGA 61B

PH: (208) 725-5656
 FAX: (208) 725-5656

steve r. cook, architect
 323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340
 member american institute of architects

no.	date	by

DRAWING NAME:
 EXISTING
 EXTERIOR
 ELEVATIONS
 • EAST
 • WEST

Scale:
 1/4" = 1'-0"

date of issue:
 5.7.21
 5.27.21
 plot date:

sheet no.

A-5
 8.25.21

10.12.21



REMDEL
GEM STREET
215
KETCHUM, IDAHO
HOT 6 SYRINGA SUB.

PH: (208) 725-5566
WF: (208) 725-5566

steve r. cook, architect
323 south lewis st. suite H, P.O. box 680, ketchum ID, 83340
member american institute of architects

revision record		
no.	date	by

DRAWING NAME:
EXISTING
EXTERIOR
ELEVATIONS:
• NORTH
• SOUTH

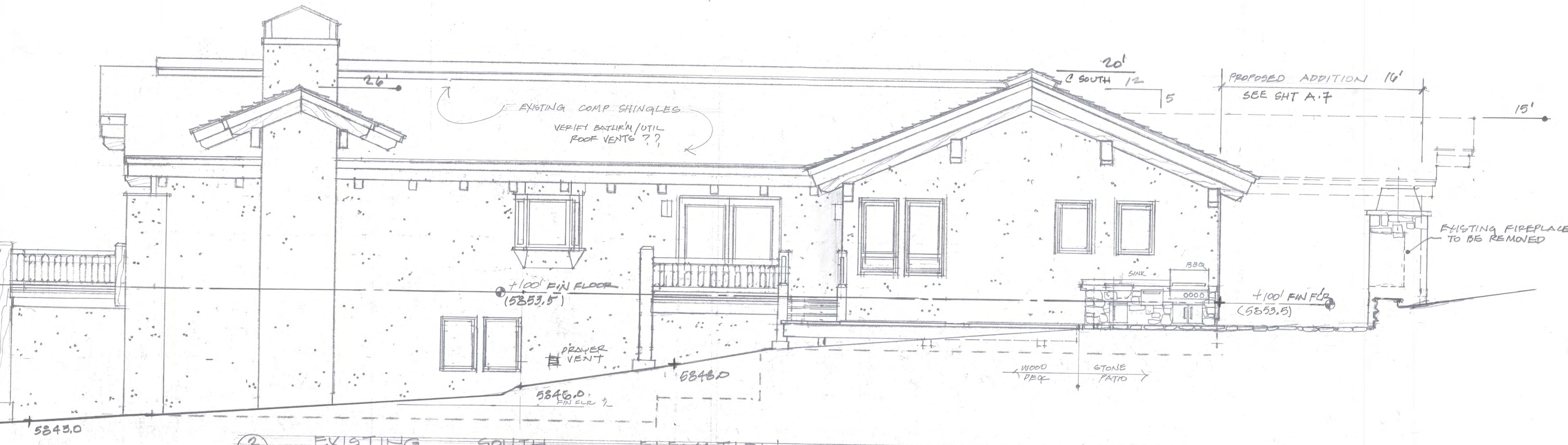
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date of issue:
plot date:
sheet no.

A-6
8.25.21



1
A-6 EXISTING NORTH ELEVATION

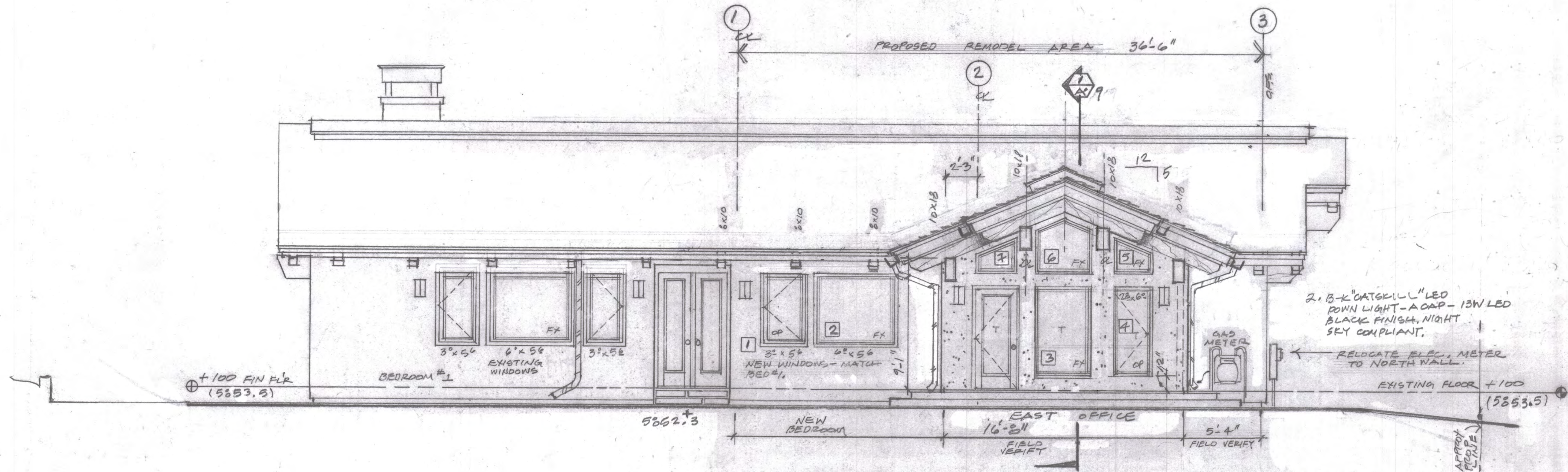
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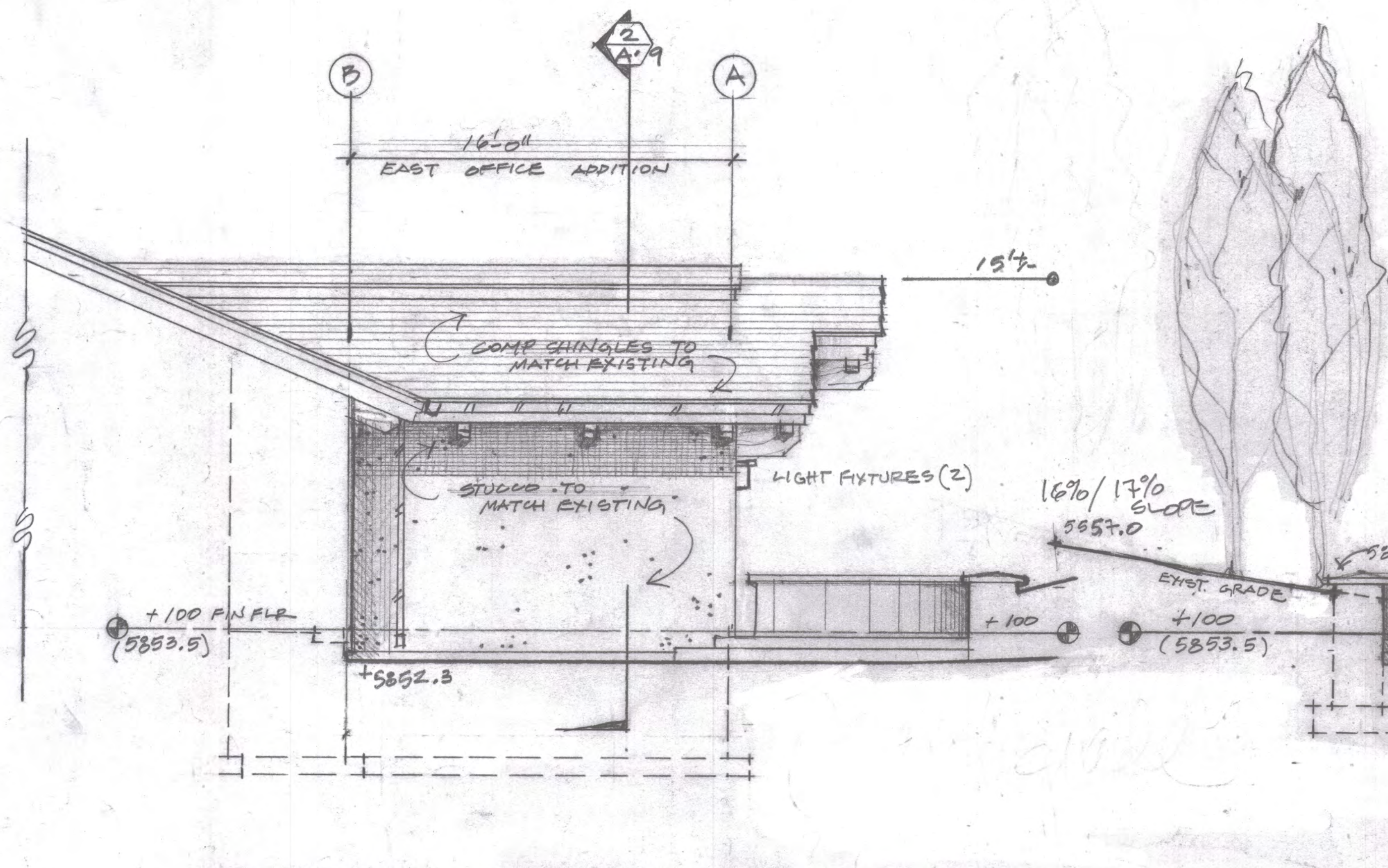
2
A-6 EXISTING SOUTH ELEVATION

Scale: 1/4"=1'-0"

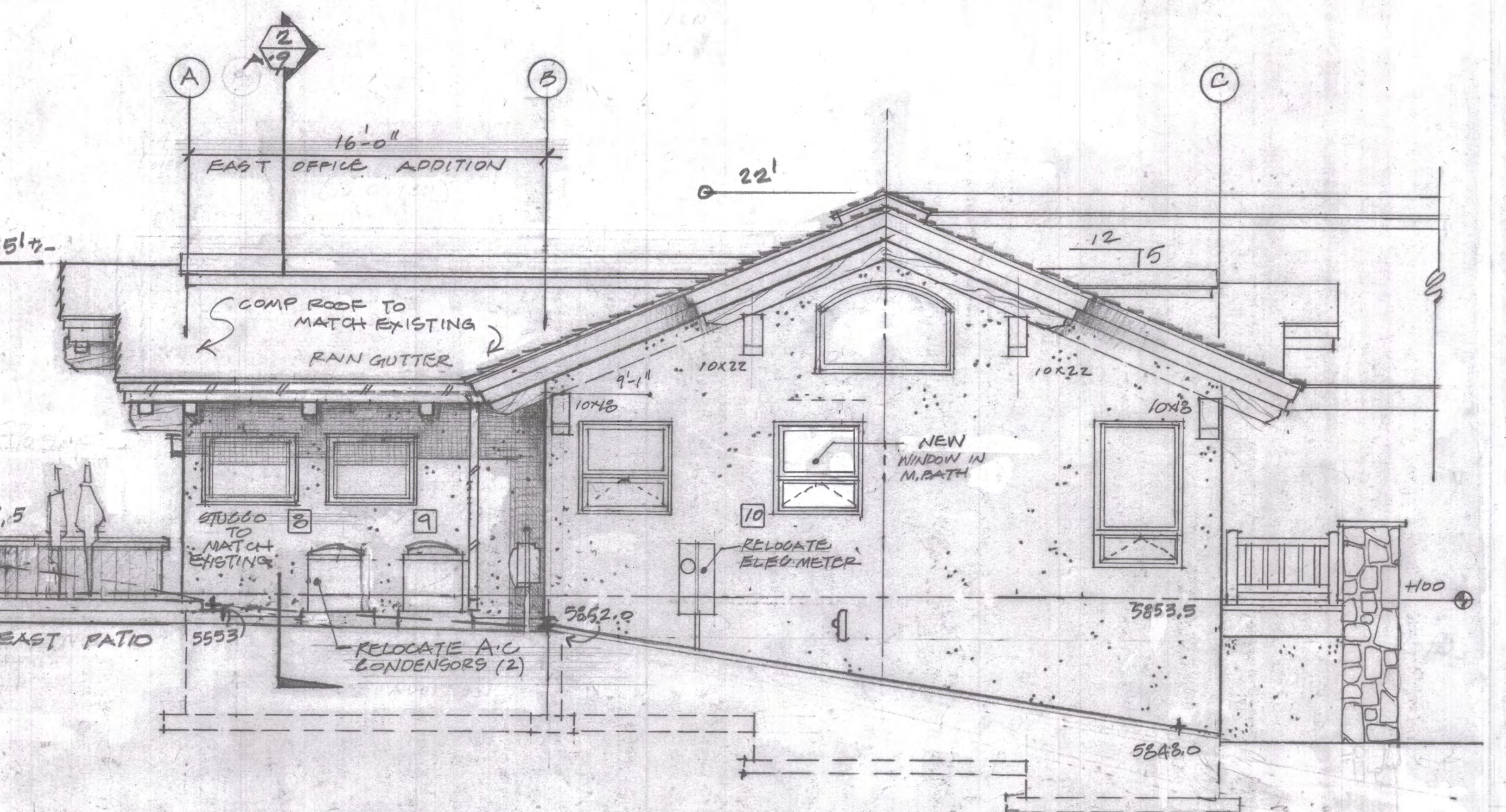
10.12.21



1 PROPOSED EAST ELEVATION
 NOTE: SEE SHEET A-2 FOR EAST PATIO PLAN
 SEE L.S. FOR STONE RETAINING BENCH AT PATIO.
 Scale: 1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
 Scale: 1/4" = 1'-0"



GROSSMAN - REMODEL
 215 GEM STREET
 KETCHUM PAHO
 LOT 6 SYRINGA SUB.

PH: 208-72-5666
 FX: 208-725-5568

STEVE R. COOK, ARCHITECT
 323 SOUTH LEWIS STREET, SUITE F.O. BOX 680, KETCHUM, ID 83340
 MEMBER AMERICAN INSTITUTE OF ARCHITECTS

REVISION RECORD		
NO.	DATE	BY
1	6.2.21	SL

DRAWING NAME
 PROPOSED EXTERIOR ELEVATIONS
 • EAST
 • SOUTH
 • NORTH

DATE
 5.27.21

SCALE
 1/4" = 1'-0"

SHEET NO.

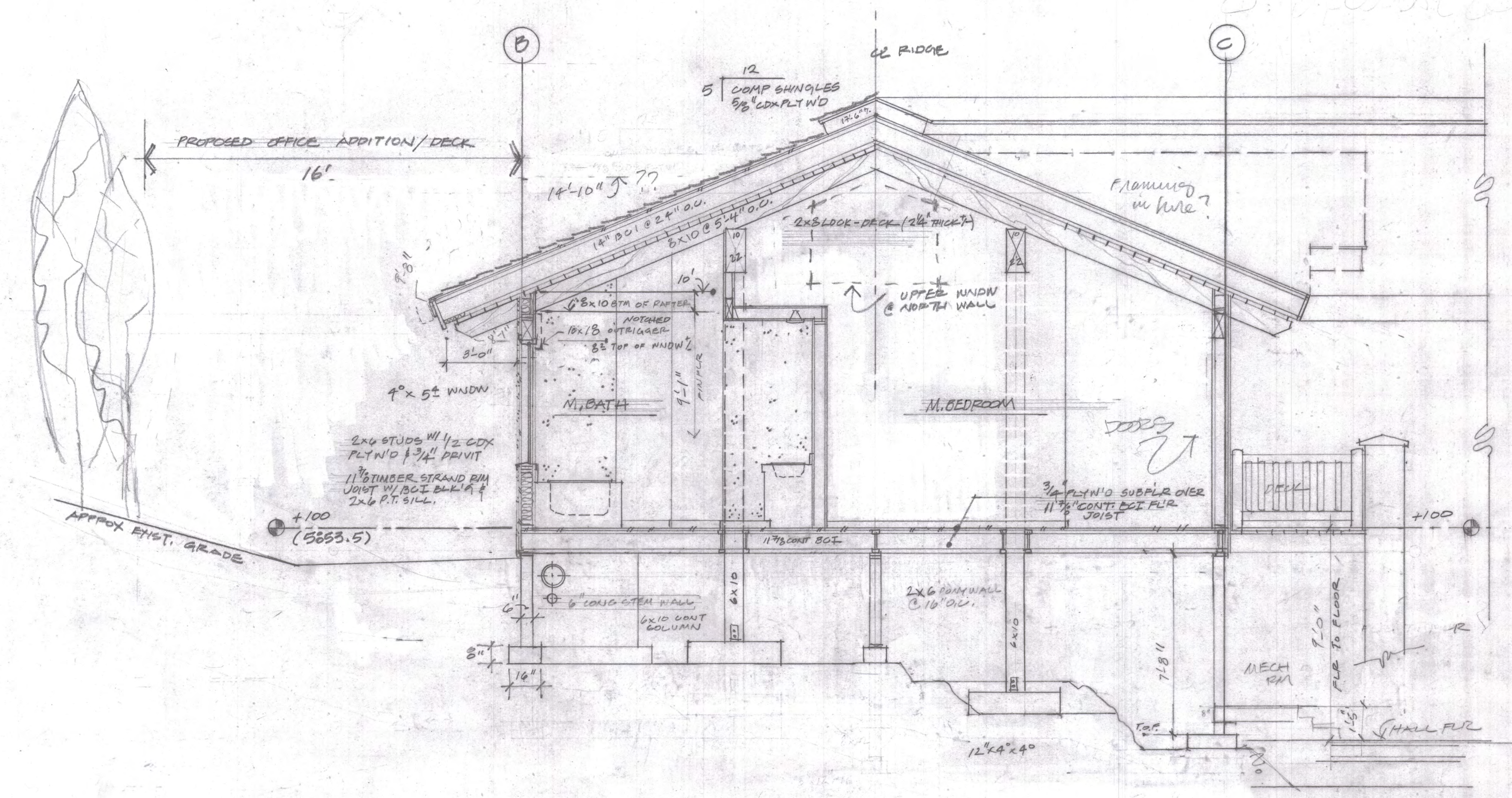
A-7
 8.25.21

10.12.21

2x8 decking
 Mech cly htg
 M. Bed Rm door htg
 M. Bed Rm deck
 M. Hall doors

STAIR RISERS COUNT

to the right
 E. of fence line



1
 3
 EXISTING CROSS SECTION

Scale: 3/8" = 1'-0"

10.12.21



GROSSMAN REMODEL
 215 GEM STREET
 KETCHUM ZONE LR
 LOT 6 SPRING SUB

STEVE R. COOK, ARCHITECT
 323 SOUTHWEST SUITE H, P.O. BOX 680, KETCHUM, ID, 83340
 MEMBER AMERICAN INSTITUTE OF ARCHITECTS

REVISION RECORD		
NO.	DATE	BY

DRAWING NAME
 EXISTING CROSS SECTION
 SCALE
 3/8" = 1'-0"
 DATE OF ISSUE
 10.12.21
 SHEET NO.
 A-8
 0:25:21



GROSSMAN - REMODEL
 215 GEM STREET
 KETCHUM IDAHO
 ZONE L.P.
 LOT 6 SYRINGA SUB

PH: (208) 725-6666
 FAX: (208) 725-6666

steve r. cook, architect
 323 south lewis st. suite H, P.O. box 660, Ketchum ID, 83340
 member american institute of architects

revision record

no.	date	by

DRAWING NAME:
 SECTIONS

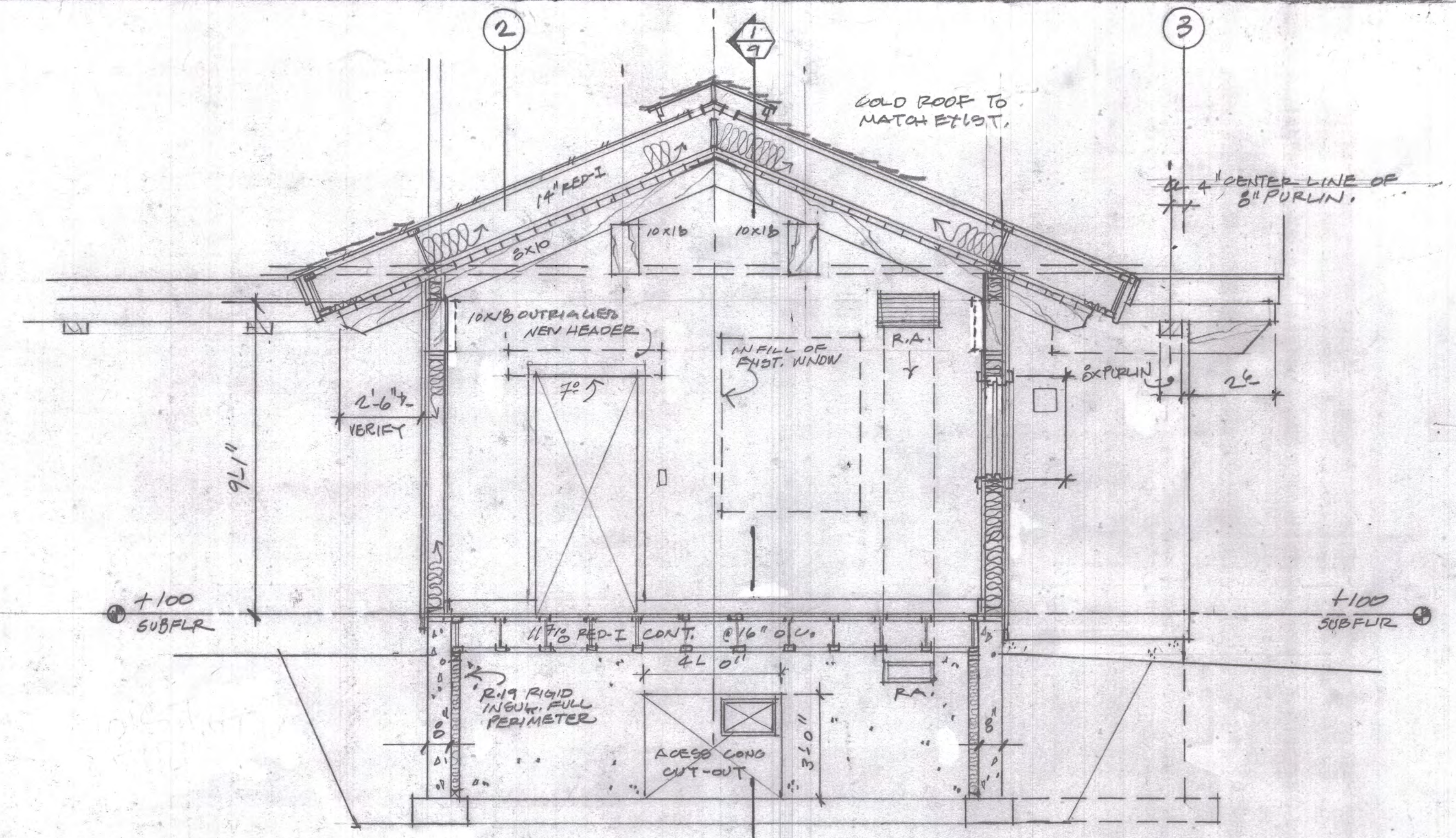
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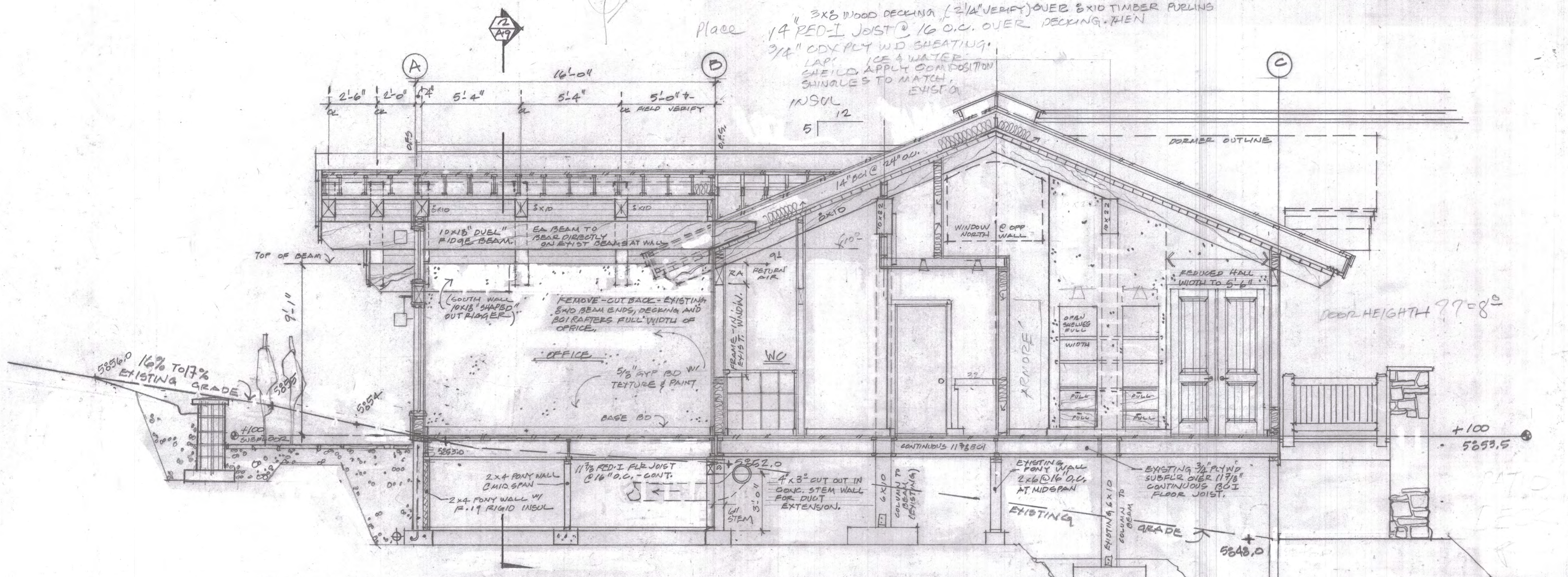
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10.12.21
 8.25.21



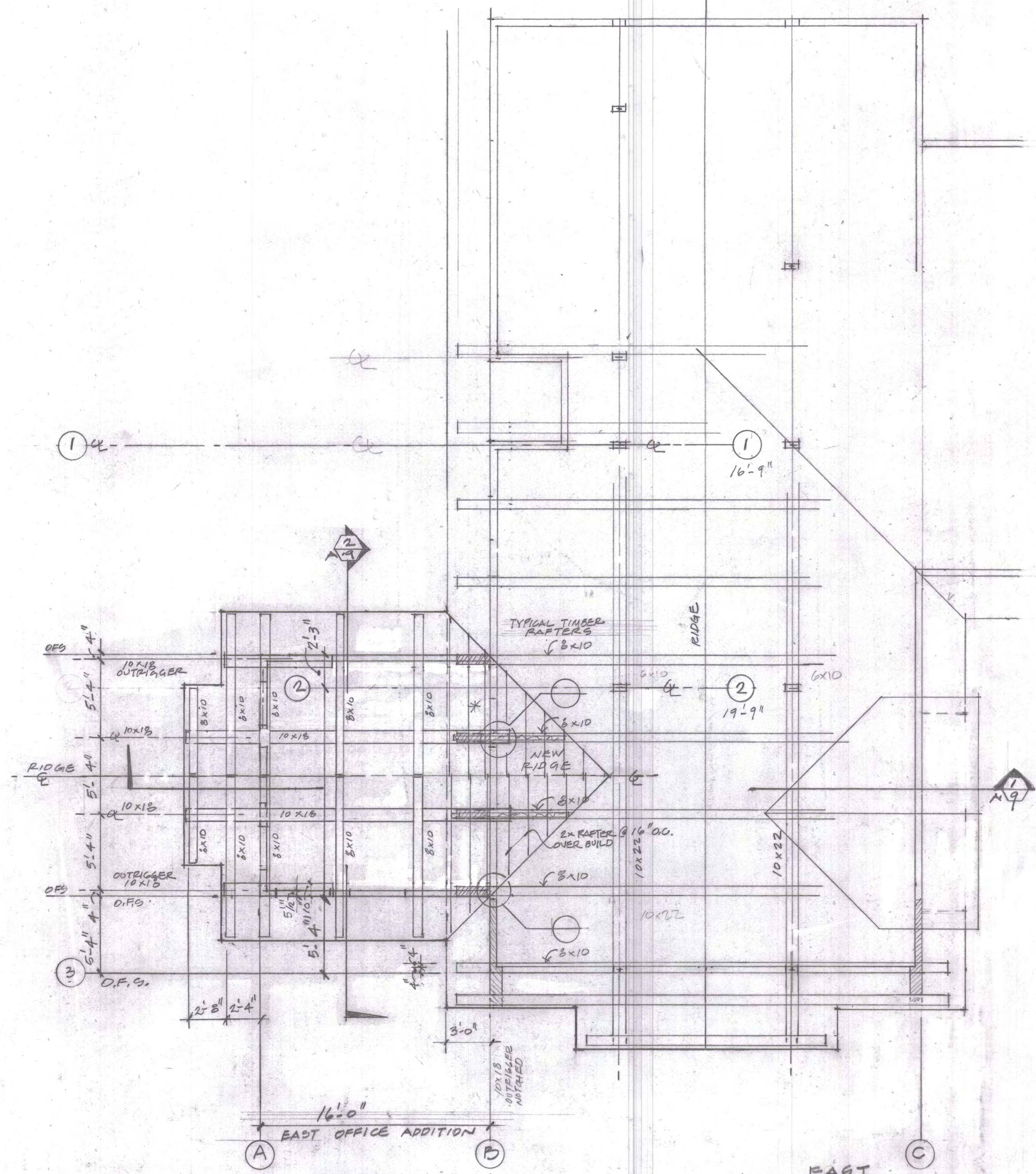
CROSS SECTION @ OFFICE
 Scale: 3/8" = 1'-0"

Place 3x8 WOOD DECKING (2 1/4\"/>



PROPOSED LONGITUDINAL CROSS SECTION
 Scale: 3/8" = 1'-0"

10.12.21



10 ROOF FRAMING PLAN @ EAST OFFICE
 Scale: 1/4" = 1'-0"
 10.12.21



GROSSMAN - REMODEL
 215 GEM STREET
 KETCHUM IDAHO
 ZONE L.R. IDAHO
 LOT 6 STRINGA SPRINGS SUB

PH: (208) 725-5698
 FAX: (208) 725-5698

steve r. cook, architect
 323 south lewis st. suite H, P.O. box 860, Ketchum ID, 83340

member american institute of architects
 GENERAL CONTRACTOR AND ALL RECONSTRUCTION TO ADHERE TO NATIONAL, STATE, AND LOCAL CODES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHEN RECONSTRUCTING EXISTING STRUCTURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

revision record		
no.	date	by

DRAWING NAME:
 ROOF FRAMING PLAN

scale:
 1/4" = 1'-0"

date of issue:

plot date:

sheet no.
 A-10
 8.25.21

NOTES

- SURVEY NARRATIVE:**
- THE PURPOSE OF THIS MAP IS TO SHOW 1' CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
 - REFERENCED SURVEYS: SYRINGA SPRINGS SUBDIVISION, INST. #302320
 - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
 - VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED OR NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION ID#M.
 - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
 - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 - A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 - GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS POLICY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS PER BLAINE COUNTY CONTROL MONUMENTS LEADVILLE RIVER TO K2ND-8TH. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CO&S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
 - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 - ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: N/A.
 - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 - FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
 PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com
 WEB: http://benchmark-associates.com/
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PRELIMINARY
 DRAFT
 WORKSHEET

PREPARED BY:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
 PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com
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SYRINGA SPRINGS LOT 6
 LOCATED WITHIN
 SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
 CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: JILL GROSSMAN

PROJECT NO. 21113 DWG BY: ROB CRD: 21113.CRD 21113.DWG
 A TOPOGRAPHIC MAP DATE OF SURVEY: 7/1/2021 SHEET: 1 OF 1

LEGEND

- | | | | |
|--|-----------------------------|--|---------------------------------|
| | PROPERTY LINE | | MEASURED BEARINGS AND DISTANCES |
| | ADJOINING PROPERTY LINE | | FOUND 1/2" REBAR |
| | EDGE PAVEMENT | | FOUND 5/8" REBAR |
| | EXTERIOR BUILDING FOOTPRINT | | SET 1/2" REBAR |
| | BUILDING ENVELOPE | | CALCULATED POINT (PER PLAT) |
| | EASEMENT | | CONTROL POINT |
| | FENCE | | SEWER MANHOLE |
| | PAVERS | | ELECTRIC METER |
| | | | POWER BOX |
| | | | CABLE TV RISER |
| | | | TELEPHONE RISER |
| | | | WATER VALVE |
| | | | DECIDUOUS TREE |
| | | | CONIFER TREE |



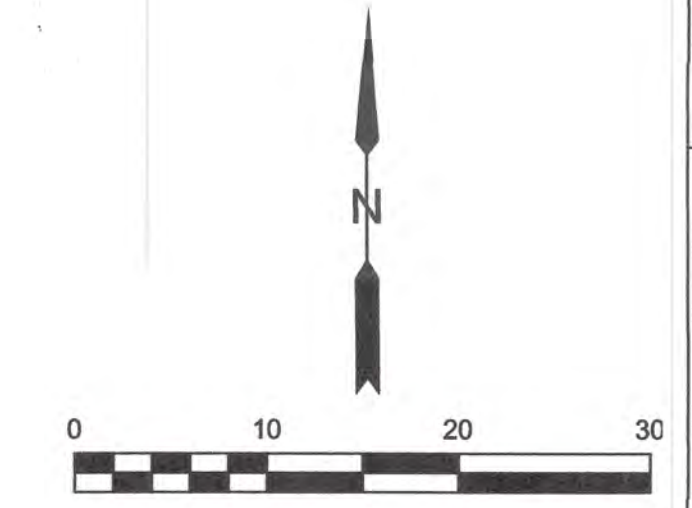
TAX LOT 8439 SEC 18 4N 18E

LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°29'38"W	5.00'
L2	N14°16'07"E	5.66'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.87'	45.00'	74°57'18"	N51°50'31"E	54.76'



NOTES

- SURVEY NARRATIVE:**
1. THE PURPOSE OF THIS MAP IS TO SHOW 1' CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
 2. REFERENCED SURVEYS: SYRINGA SPRINGS SUBDIVISION, INST. #302320
 3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
 4. VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED OR NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM
 5. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
 6. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 7. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 8. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 9. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
10. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 11. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLY TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

- SURVEY AND SITE FEATURES:**
12. BASIS OF BEARINGS IS PER BLAINE COUNTY CONTROL MONUMENTS LEADVILLE RIVER TO K2ND-8TH. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 13. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
 14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
 19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 21. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com
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**PRELIMINARY
DRAFT
WORKSHEET**

PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
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	SYRINGA SPRINGS LOT 6	
	LOCATED WITHIN SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO	
PROJECT NO. 21113	DWG BY: ROB	CRD: 21113.CRD
A TOPOGRAPHIC MAP	DATE OF SURVEY: 7/1/2021	21113.DWG SHEET: 1 OF 1

LEGEND

- | | | | |
|--|-----------------------------|--|---------------------------------|
| | PROPERTY LINE | | MEASURED BEARINGS AND DISTANCES |
| | ADJOINING PROPERTY LINE | | FOUND 1/2" REBAR |
| | EDGE PAVEMENT | | FOUND 5/8" REBAR |
| | EXTERIOR BUILDING FOOTPRINT | | SET 1/2" REBAR |
| | BUILDING ENVELOPE | | CALCULATED POINT (PER PLAT) |
| | EASEMENT | | CONTROL POINT |
| | FENCE | | SEWER MANHOLE |
| | PAVERS | | ELECTRIC METER |
| | | | GAS METER |
| | | | POWER BOX |
| | | | CABLE TV RISER |
| | | | TELEPHONE RISER |
| | | | WATER VALVE |
| | | | DECIDUOUS TREE |
| | | | CONIFER TREE |



TAX LOT 8439 SEC 18 4N 18E

LINE TABLE

LINE	BEARING	DISTANCE
L1	N09°29'38"W	5.00'
L2	N14°16'07"E	5.66'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.87'	45.00'	74°57'18"	N51°50'31"E	54.76'

G:\BMA\SYRINGA springs subdivision\lot 6\21113 Plat Amend\plat\21113 PG1.dwg, 11/24/2021 3:28:52 PM, DWG To PDF.pc3

SYRINGA SPRINGS SUBDIVISION: BLOCK 1, LOT 6A

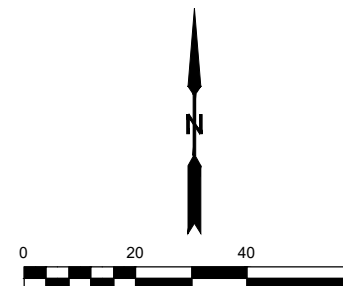
WHEREIN THE BUILDING ENVELOPE ON LOT 6 SYRINGA SPRINGS SUBDIVISION IS AMENDED, CREATING LOT 6A.

LOCATED WITHIN: SECTION 18, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

NOVEMBER 2021

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	PROPOSED BUILDING ENVELOPE
	EXISTING BUILDING ENVELOPE PER PLAT ELIMINATED
	EASEMENT
	BUILDING ENVELOPE & BLAINE COUNTY GIS TIES
	FOUND 1/2" REBAR
	FOUND 5/8" REBAR
	FOUND ALUMINUM CAP
	CALCULATED POINT, PER PLAT
	FOUND SURVEY MARKER
	WITNESS CORNER
	W.C.

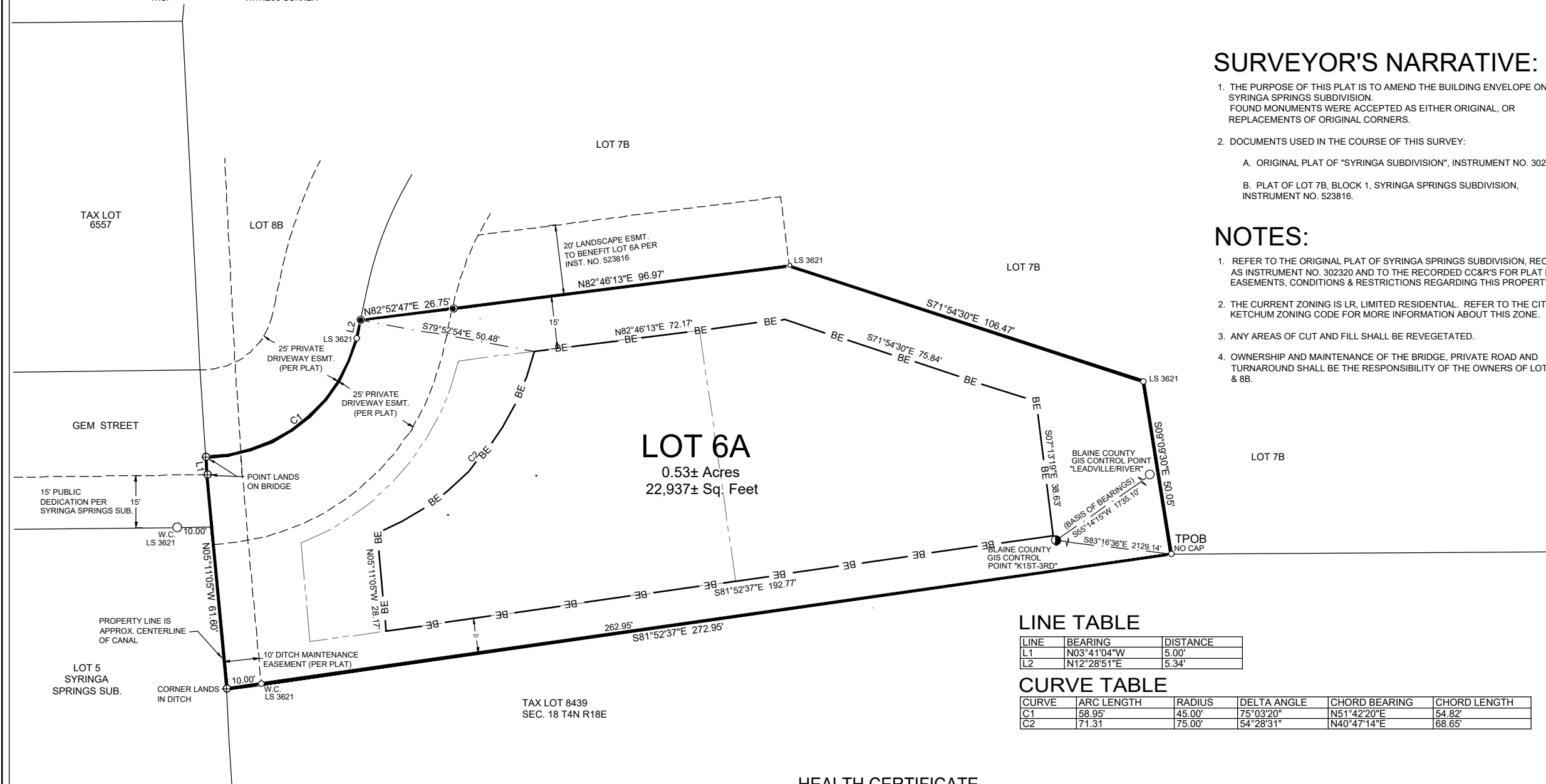


SURVEYOR'S NARRATIVE:

- THE PURPOSE OF THIS PLAT IS TO AMEND THE BUILDING ENVELOPE ON LOT 6, SYRINGA SPRINGS SUBDIVISION. FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL, OR REPLACEMENTS OF ORIGINAL CORNERS.
- DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
 - ORIGINAL PLAT OF "SYRINGA SUBDIVISION", INSTRUMENT NO. 302320.
 - PLAT OF LOT 7B, BLOCK 1, SYRINGA SPRINGS SUBDIVISION, INSTRUMENT NO. 523816.

NOTES:

- REFER TO THE ORIGINAL PLAT OF SYRINGA SPRINGS SUBDIVISION, RECORDED AS INSTRUMENT NO. 302320 AND TO THE RECORDED CC&R'S FOR PLAT NOTES, EASEMENTS, CONDITIONS & RESTRICTIONS REGARDING THIS PROPERTY.
- THE CURRENT ZONING IS LR, LIMITED RESIDENTIAL. REFER TO THE CITY OF KETCHUM ZONING CODE FOR MORE INFORMATION ABOUT THIS ZONE.
- ANY AREAS OF CUT AND FILL SHALL BE REVEGETATED.
- OWNERSHIP AND MAINTENANCE OF THE BRIDGE, PRIVATE ROAD AND TURNAROUND SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 6A, 7B & 8B.



LOT 6A
0.53± Acres
22,937± Sq. Feet

LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°41'04"W	5.00'
L2	N12°28'51"E	5.34'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.95'	45.00'	75°03'20"	N51°42'20"E	54.82'
C2	71.31'	75.00'	54°28'31"	N40°47'14"E	68.65'

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Dated: _____

South Central Public Health District, REHS



PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514



SYRINGA SPRINGS SUBD.: BLOCK 1, LOT 6A

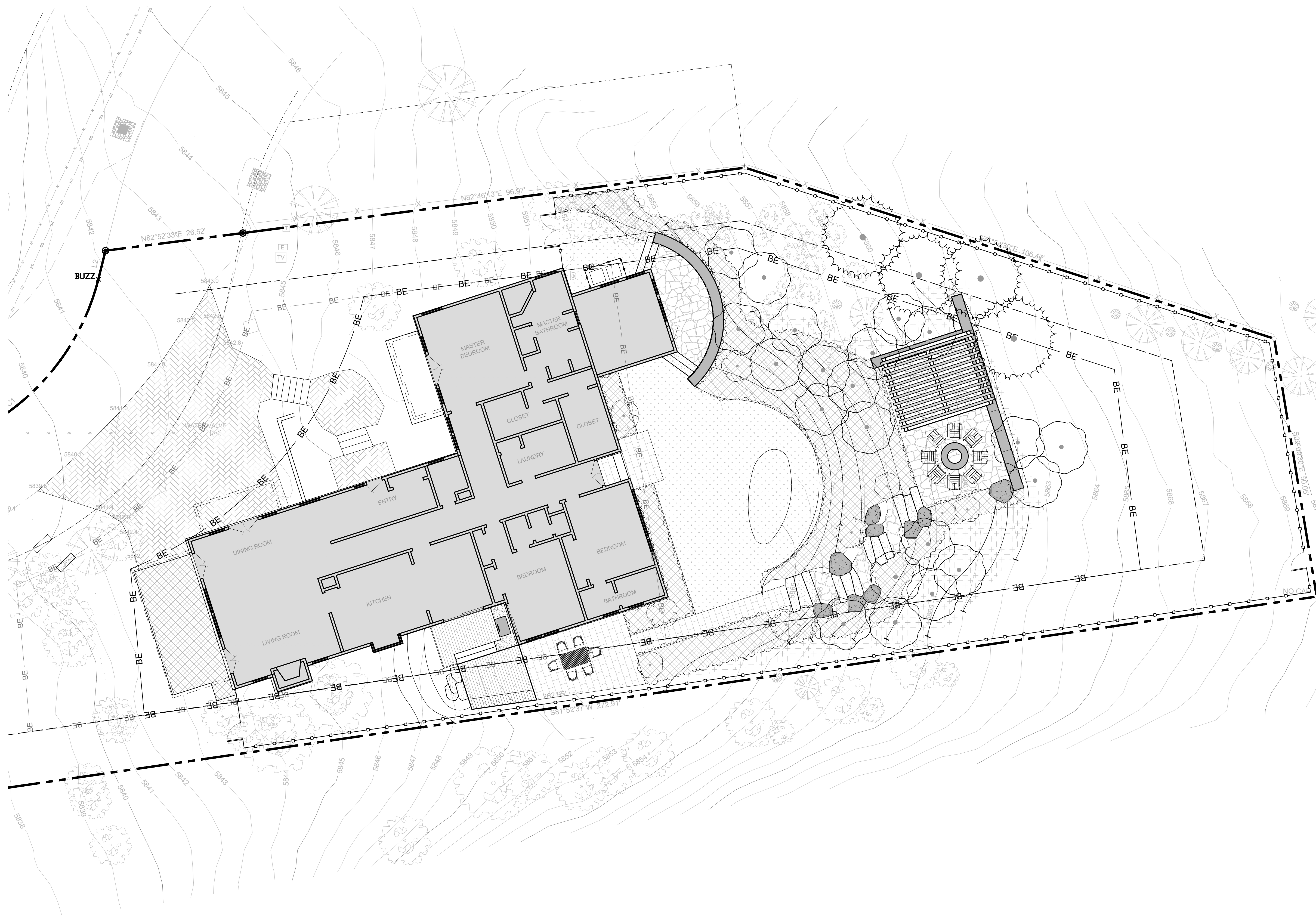
LOCATED WITHIN: SECTION 18, T4N, R18E, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: JILL GROSSMAN

PROJECT NO. 21113	DWG BY: ROBI/CPL	FILE: 21113PG1.DWG
FINAL PLAT	DATE: 11-24-2021	SHEET: 1 OF 2

215 GEM STREET

KETCHUM, ID 83340



SHEET INDEX

SHEET TITLE	SHEET NO.
COVER	L-0.0
SURVEY	L-1.0
SITE DEMOLITION PLAN	L-1.1
SITE OVERVIEW PLAN	L-2.0
SITE GRADING PLAN	L-3.0
SITE MATERIALS AND LAYOUT PLAN	L-4.0
SITE PLAN ENLARGEMENT - UPPER TERRACE	L-4.1
UPPER TERRACE ELEVATIONS	L-4.2
SITE PLAN ENLARGEMENT - OUTDOOR DINING	L-4.3
PLANTING PLAN, NOTES, AND SCHEDULE	L-5.0
LIGHTING AND UTILITY PLAN	L-6.0
FIXTURE SPECIFICATION SHEET	L-6.1
SITE DETAILS	L-7.1
SITE DETAILS	L-7.2
SITE DETAILS	L-7.3
SITE DETAILS	L-7.4

PROJECT INFORMATION

OWNER
JILL GROSSMAN + ANDY FRADKIN

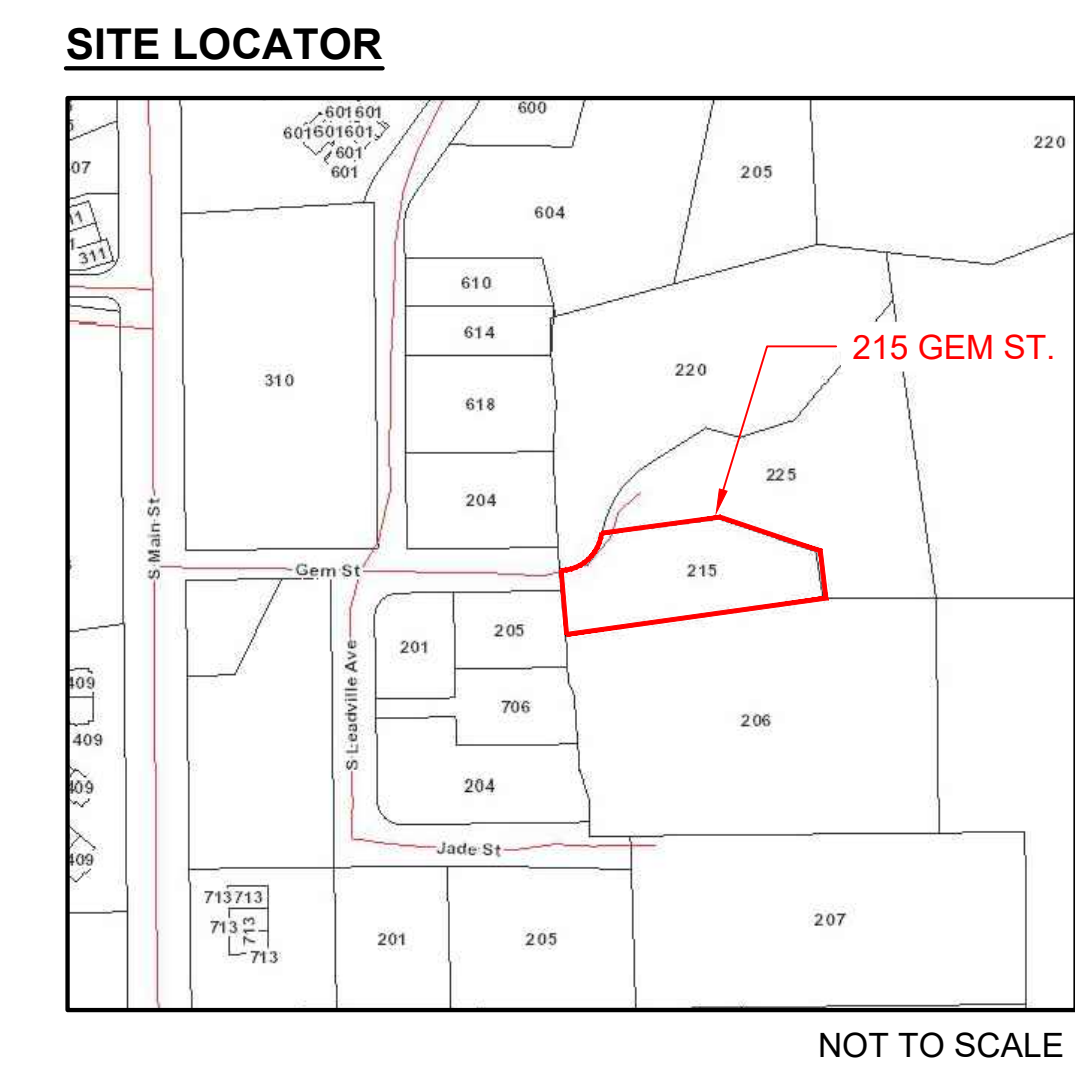
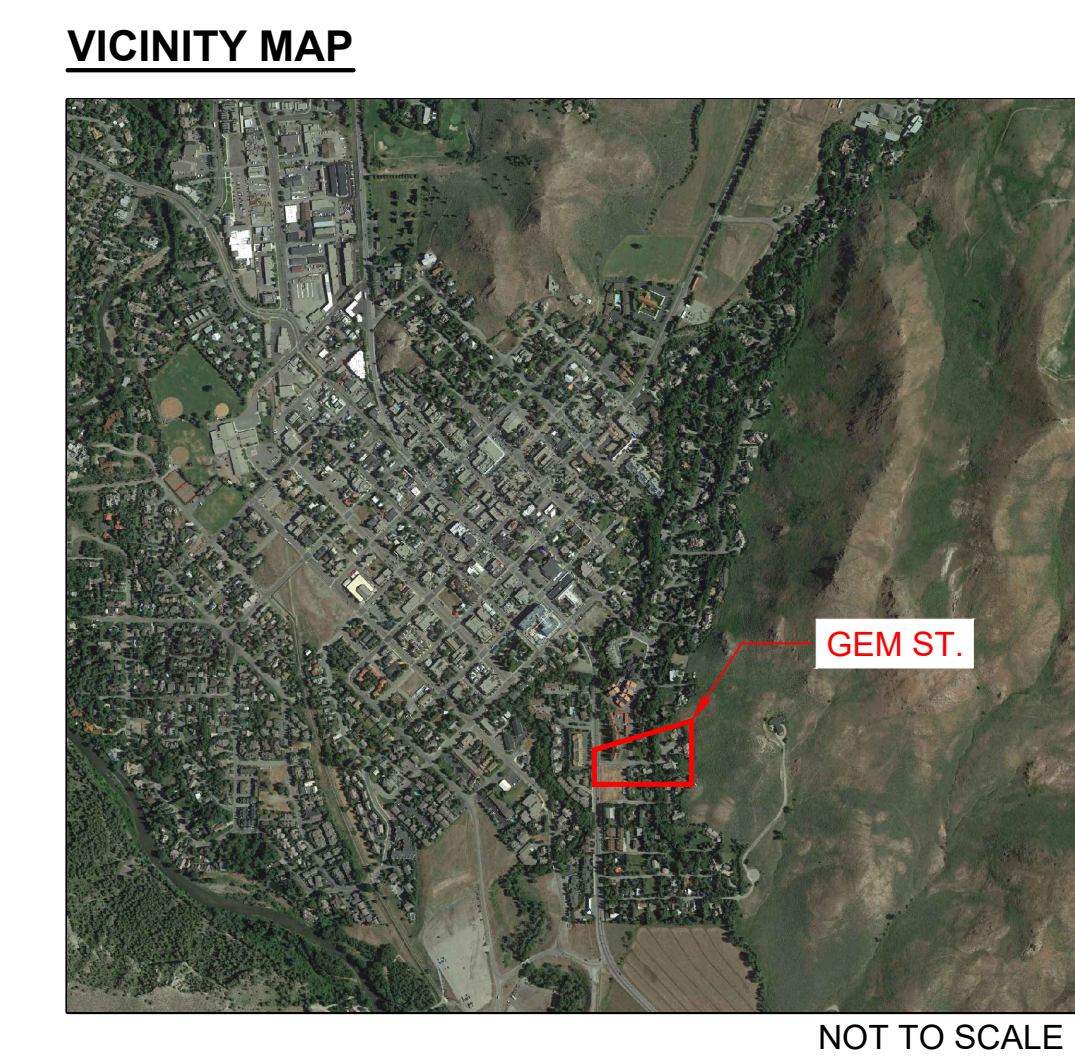
PROJECT ADDRESS
215 GEM ST.
KETCHUM, ID 83340

LEGAL DESCRIPTION
XXXXXX

PARCEL NUMBER
RPK0556000060

LANDSCAPE ARCHITECT
BYLA
323 LEWIS ST.
SUITE N
KETCHUM, ID 83340

CONTRACTOR/BUILDER



LANDSCAPE REMODEL

GROSSMAN / FRADKIN RESIDENCE

215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

COVER SHEET

SHEET NO.
L-0.0



LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

SITE SURVEY

SHEET NO.

L-1.0



TAX LOT 8439 SEC 18 4N 18E

SURVEY PREPARED BY:
BENCHMARK ASSOCIATES,
JULY 2021

BANK AND TRUST

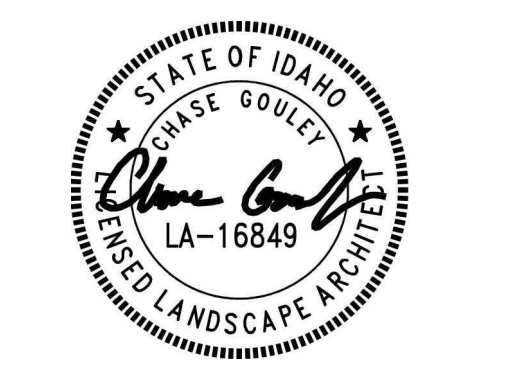
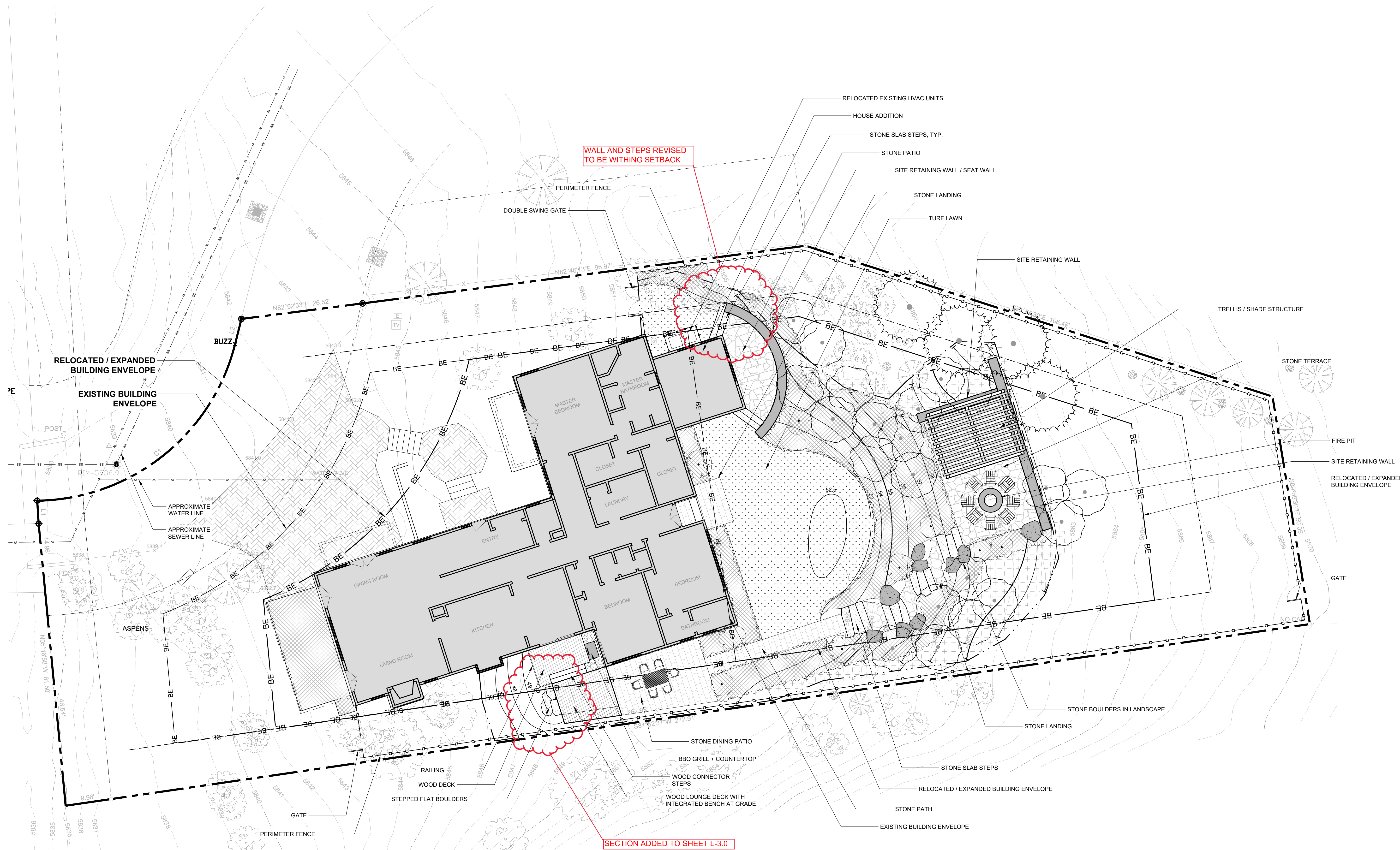
STREET

LOT 5 SYRINGA SPRINGS SUB.

LOT 8B

LOT 7B

LOT 6



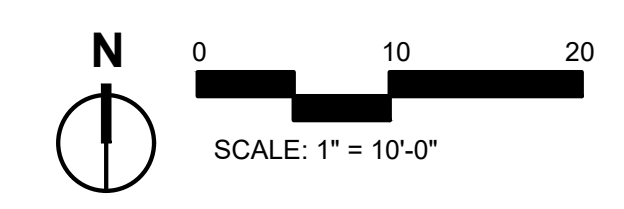
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GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

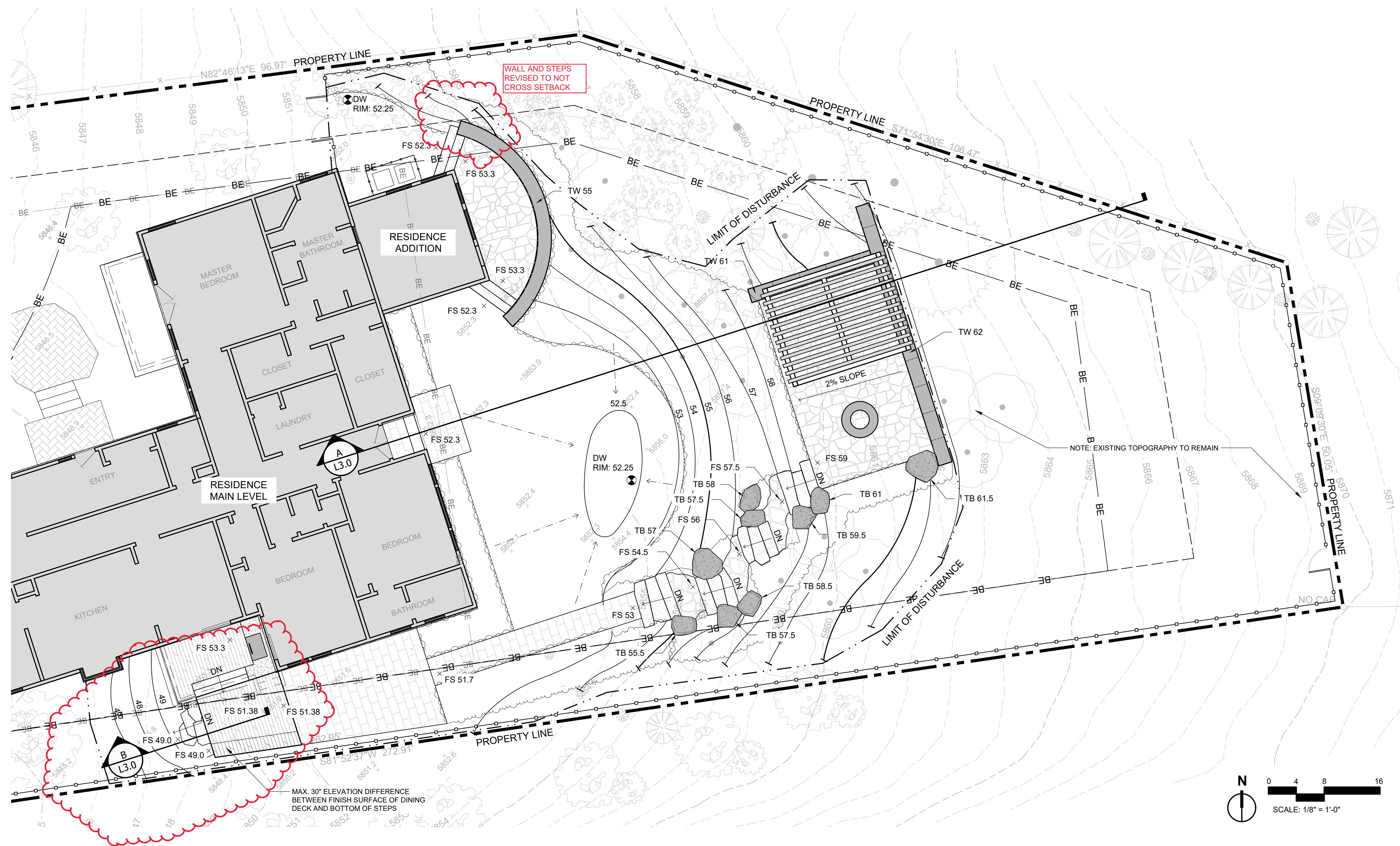
FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: **11/02/2021**
PLOT DATE:

SITE OVERVIEW

SHEET NO.

L-2.0

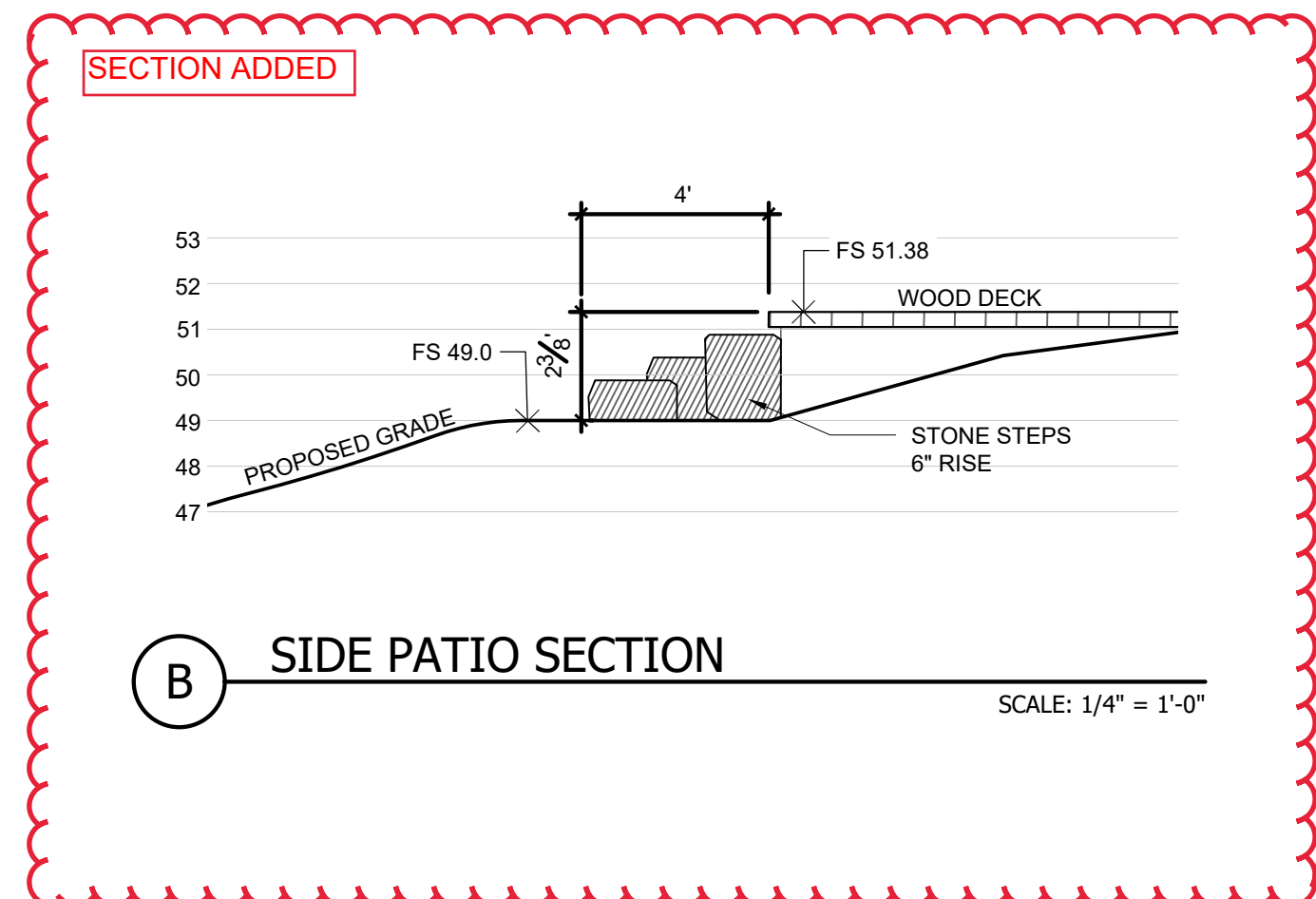
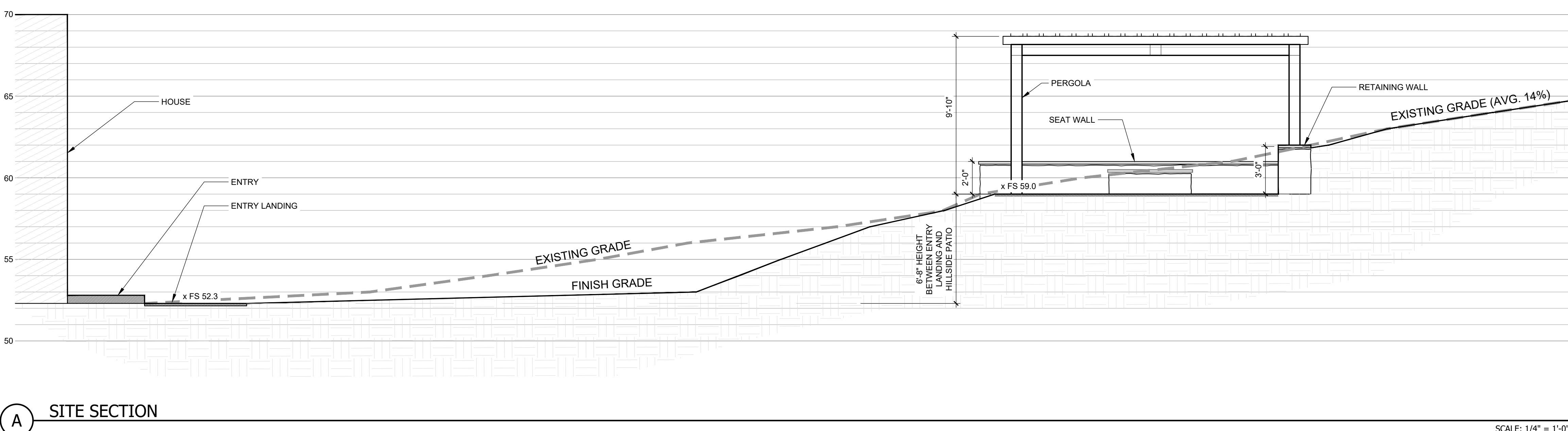




GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance
X.X%	Grade Pitch
---	Drainage Flow Line
⊙	Dry Well Drainage Structure
+H.P.S	High Point of Swale
FFE	Finished Floor Elevation
x 10.50	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
DW	Dry Well
LP	Low Point
HP	High Point
TB	Top of Boulder

GRADING NOTES

- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- REFER TO ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).
- GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSES ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR.
- CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
- CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
- ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR - HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
- EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
- ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.



LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

SITE GRADING PLAN

SHEET NO.

L-3.0

A SITE SECTION

B SIDE PATIO SECTION



LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

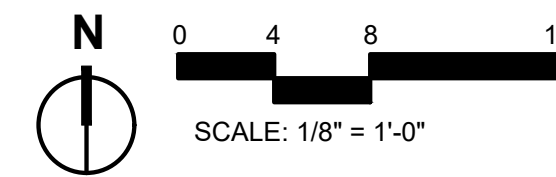
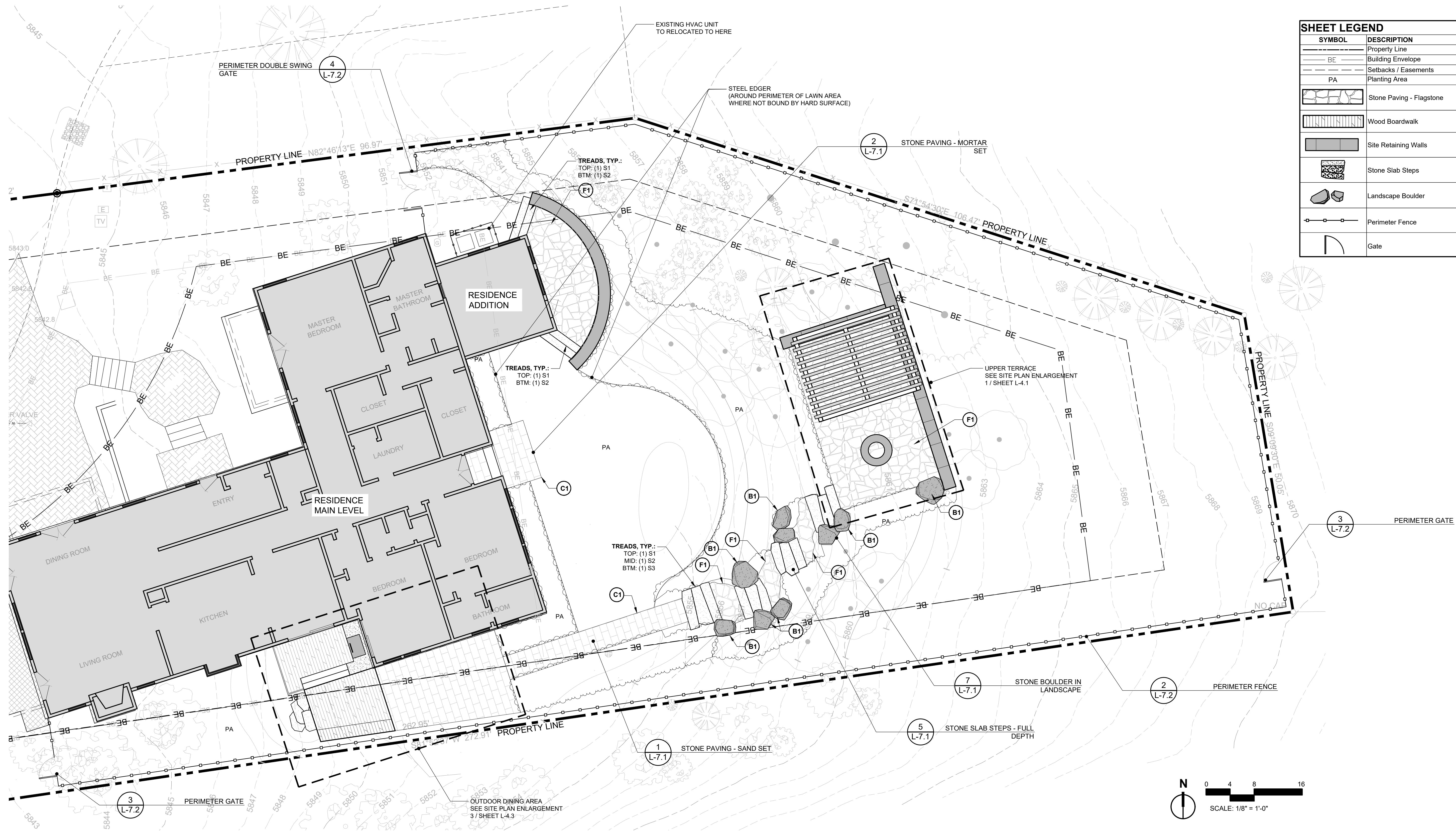
FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

SITE MATERIALS AND LAYOUT PLAN

SHEET NO.

L-4.0

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Building Envelope
	Setbacks / Easements
	Planting Area
	Stone Paving - Flagstone
	Wood Boardwalk
	Site Retaining Walls
	Stone Slab Steps
	Landscape Boulder
	Perimeter Fence
	Gate



GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH GENERAL NOTES, CONSTRUCTION DOCUMENTS, APPLICABLE LOCAL, STATE, AND FEDERAL CODES, AND APPLICABLE REQUIREMENT FROM ANY REGULATORY AGENCY.
- COMPOSITE BASE SHEET: THE PROPOSED IMPROVEMENT SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THIS BASE SHEET INFORMATION IS SHOWN IN HALF TONE ON THE PLANS. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- EXISTING SURVEY MARKER PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
- EXISTING DRAINAGE PROTECTION: THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENT ARE IN PLACE AND FUNCTIONING.
- STORM WATER PERMIT: A STORM WATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE AS DETERMINED BY LOCAL CODE.
- WALL VERIFICATION: CONTRACTOR TO VERIFY TOP AND BOTTOM OF WALL ELEVATIONS, WALL HEIGHT AND LOCATION ONSITE WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
- ALL FOUNDATIONS AND FOOTINGS, TO BE VERIFIED BY ENGINEER PRIOR TO CONSTRUCTION.
- TREE DAMAGE MITIGATION: WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN. ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED, WITH A TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.

STONE VENEER SCHEDULE				
SITE RETAINING WALL				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
V1	Buffalo Jump Moss Rock	XX FF	Ashlar pattern	See reference picture

STONE BOULDER SCHEDULE				
STONE BOULDERS IN LANDSCAPE				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
B1	Deep Creek	9	Vary	Size TBD

STONE CAP SCHEDULE				
SITE RETAINING WALL CAPS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
C1	Frontier - Cut Stone	470 SF	24" x 48"	Dimensions to be confirmed

STEP / TREAD SCHEDULE				
STONE SLAB STEPS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
S1	Landscape Top Step	6	60"L x 14"W x 6"T	Natural tread
S2	Landscape Mid Step	6	60"L x 16"W x 6"T	Natural tread
S3	Landscape Bottom Step	4	60"L x 16"W x 8"T	Natural tread

HARDSCAPE SCHEDULE				
UPPER TERRACE AND LANDINGS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
F1	Frontier Sandstone	730 SF	Flagstone	See plans for sand set vs mortar set areas



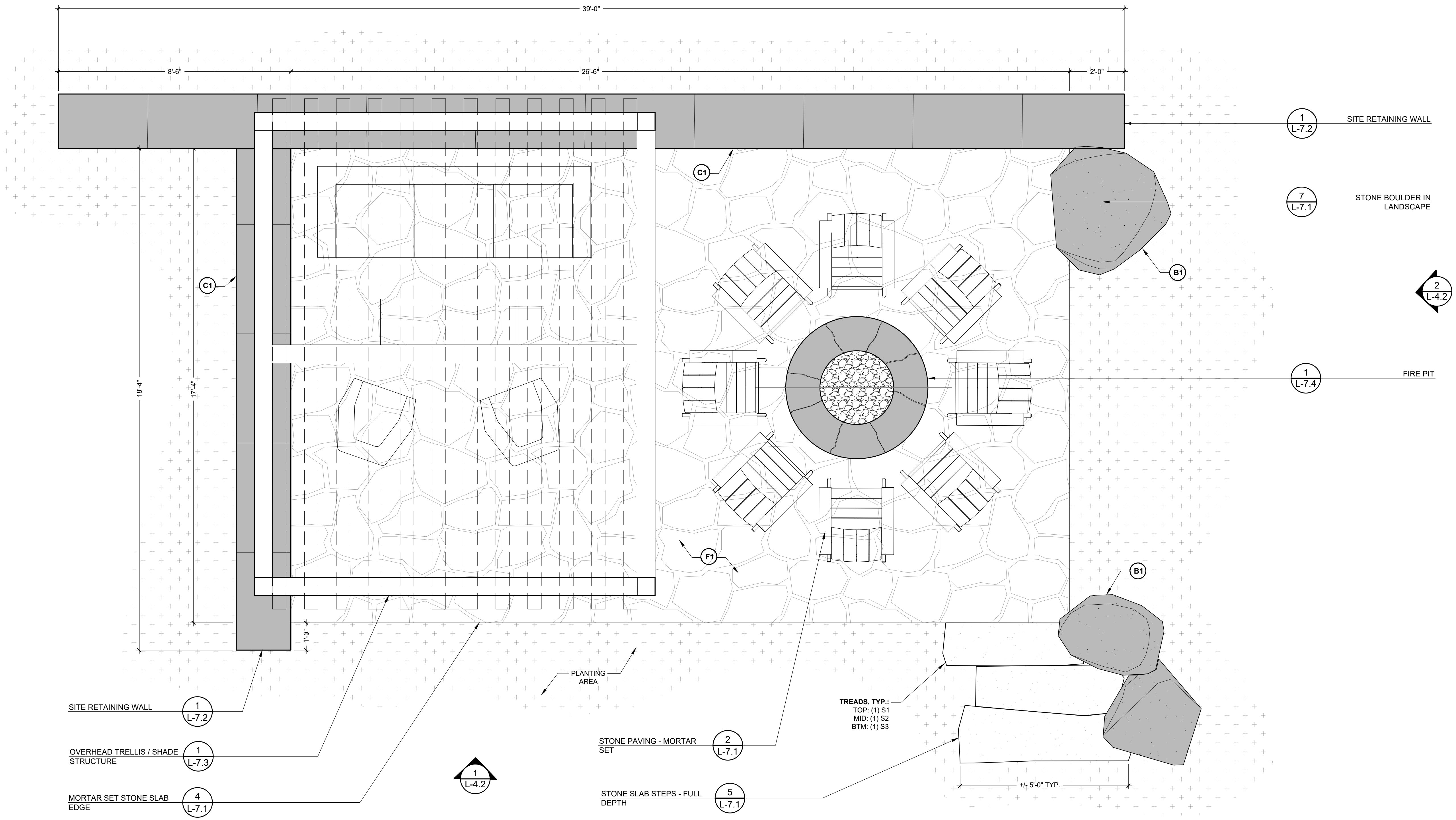
LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

UPPER TERRACE
SITE PLAN
ENLARGEMENT

SHEET NO.

L-4.1



1 UPPER TERRACE - PLAN ENLARGEMENT
1/2" = 1'-0"



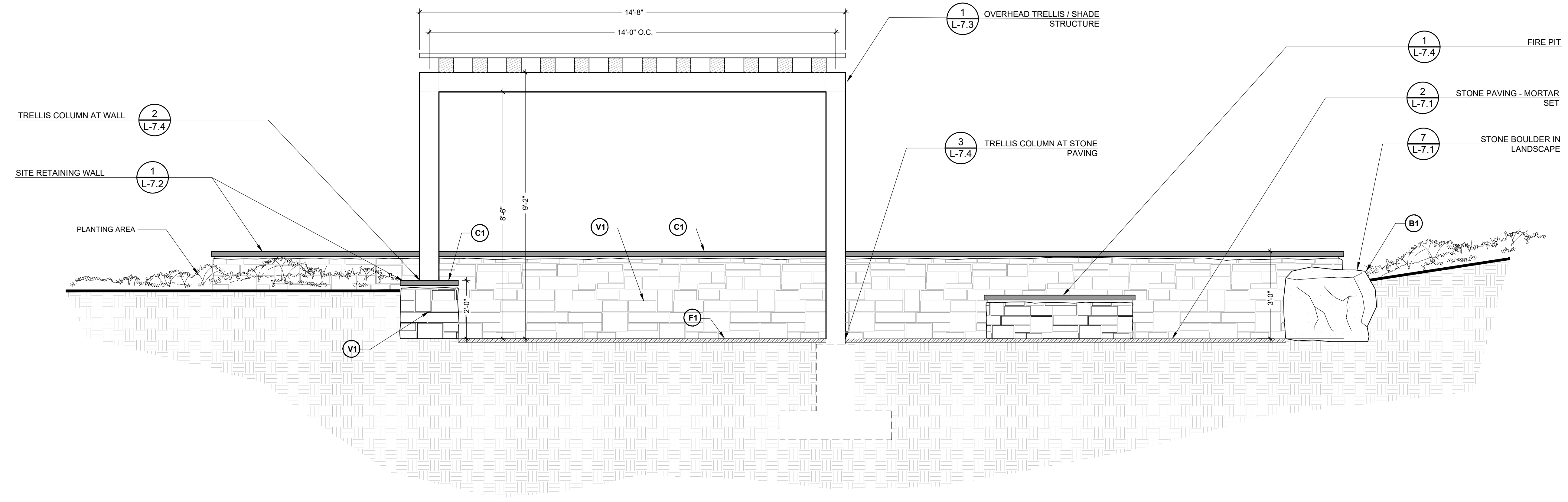
LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: 11/02/2021
PLOT DATE:

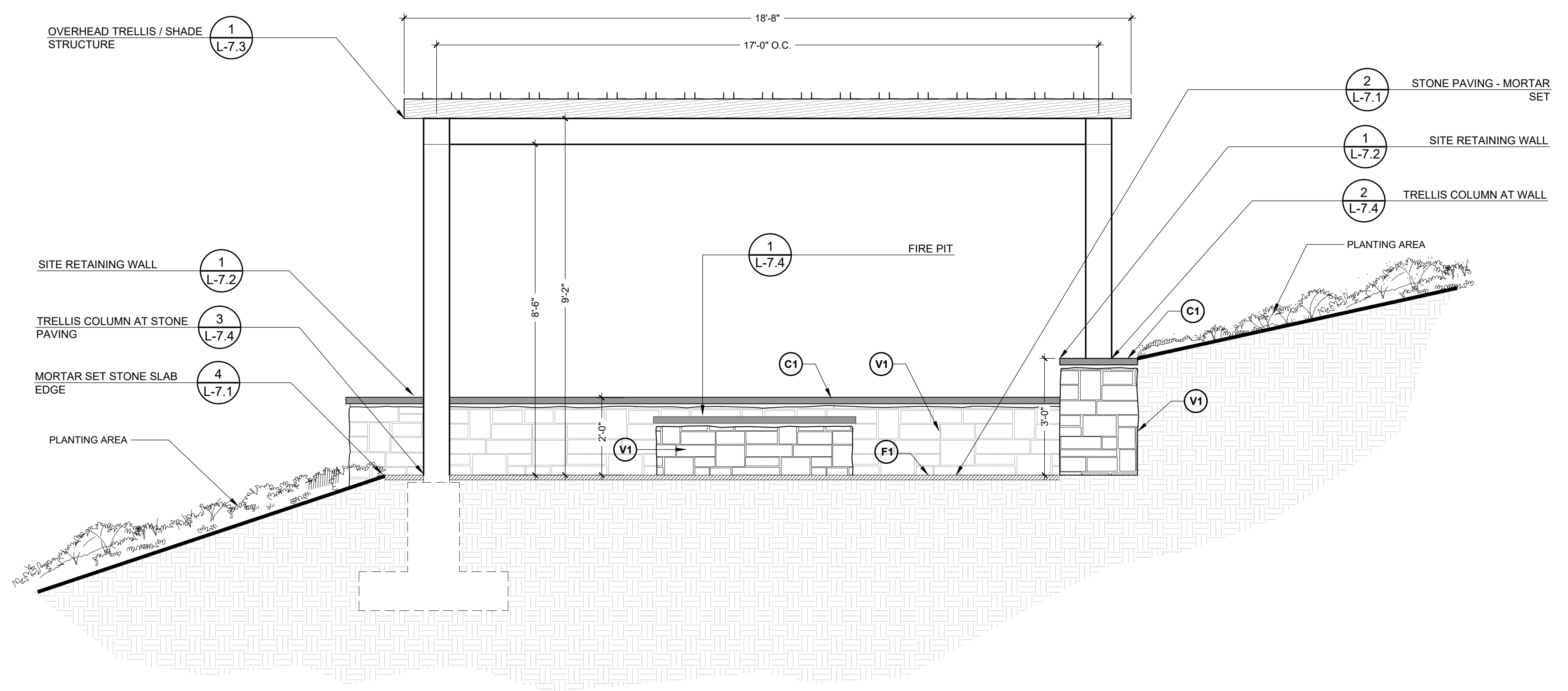
UPPER TERRACE ELEVATIONS

SHEET NO.

L-4.2



1 UPPER TERRACE - EAST ELEVATION
1/2" = 1'-0"



2 UPPER TERRACE - NORTH ELEVATION
1/2" = 1'-0"



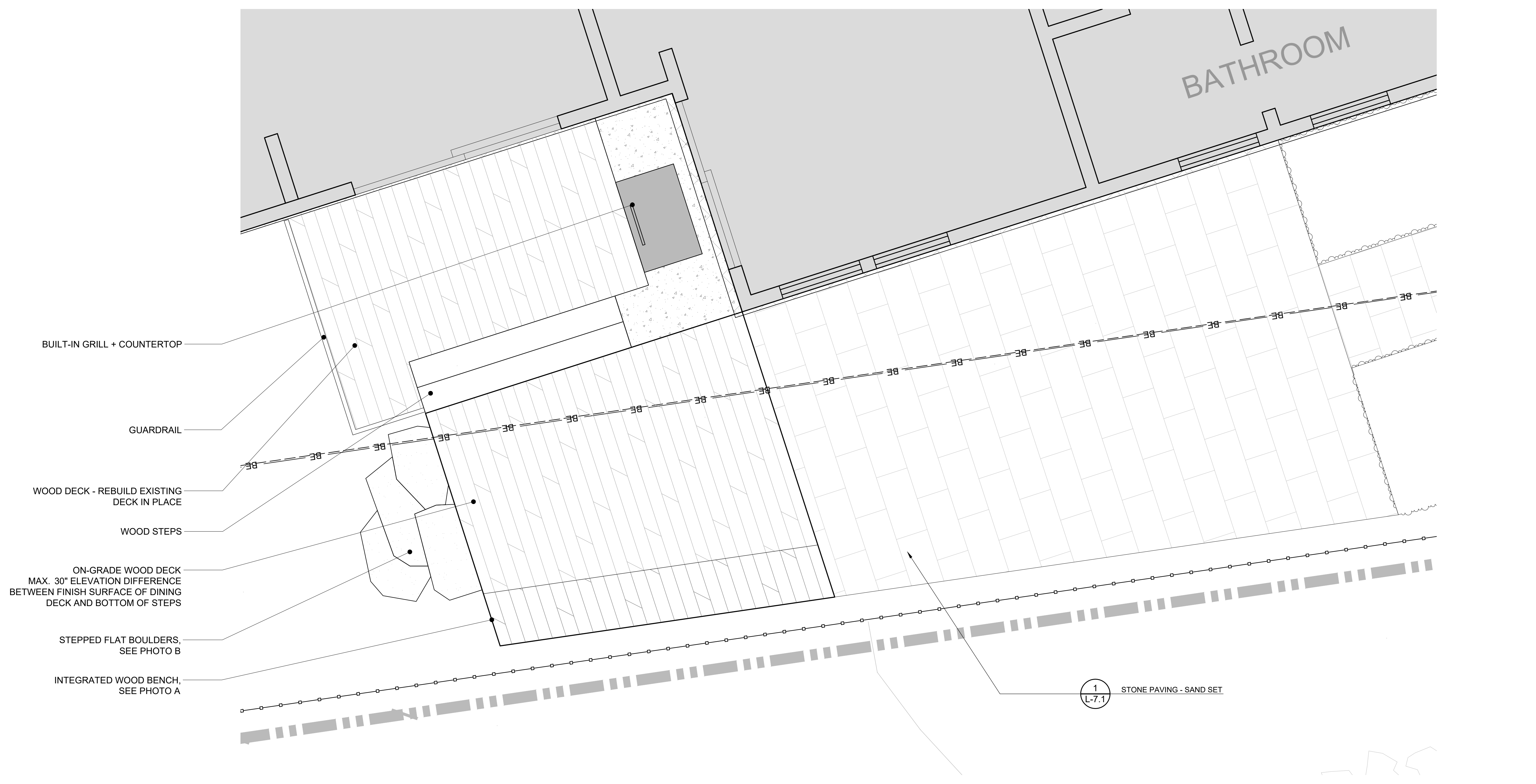
LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: EM
DRAWN BY: KP
ISSUE DATE: 11/02/2021
PLOT DATE:

**OUTDOOR DINING
SITE PLAN
ENLARGEMENT**

SHEET NO.

L-4.3



3 OUTDOOR DINING AREA - PLAN ENLARGEMENT

Scale 1/2" = 1'-0"

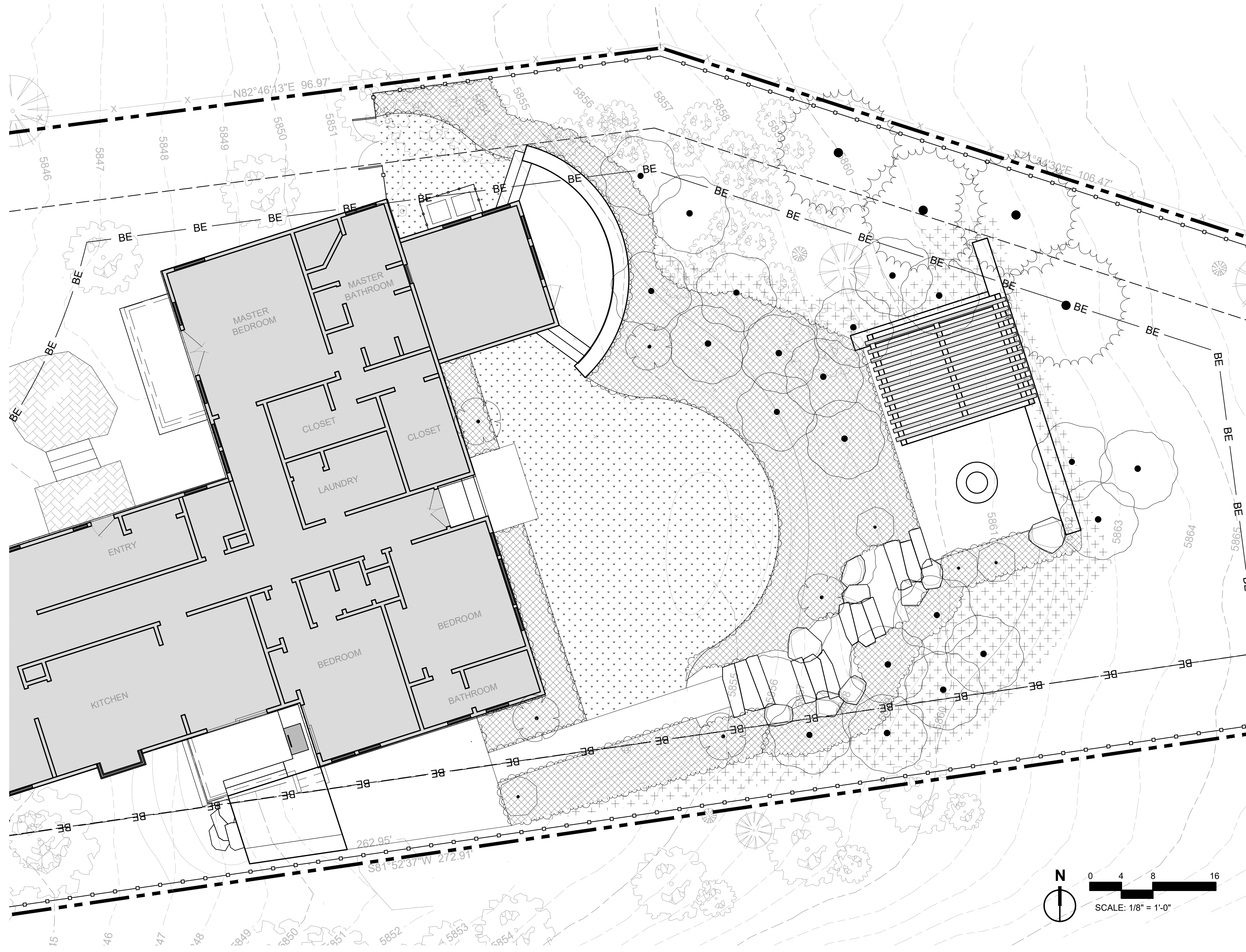


A INTEGRATED WOOD BENCH



B STEPPED FLAT BOULDERS





PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PP	Picea pungens	Colorado Spruce	---		4
	PT	Populus tremuloides	Quaking Aspen	2' Cal.	B&B	14
	PT1	Populus tremuloides 'Clump Form'	Clump Form Quaking Aspen	12' Ht.	B&B	7
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AA	Amelanchier alnifolia	Serviceberry	4' Ht.	B&B	5
	PO	Physocarpus opulifolius 'Monlo' TM	Diablo Purple Ninebark	4' Ht.	B&B	5
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	TUR SOD	Turf Sod	Drought Tolerant Fescue Blend	---		1,274 sf

PLANT AREA SCHEDULE

	SHRUB + PERENNIALS	1,707 sf
	NATIVE SEED	838 sf

IRRIGATION NOTES:

1. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
2. SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
3. LAWN AREAS: SHALL BE IRRIGATED BY OVERHEAD SPRAY WITH A PERMANENT AUTOMATIC SYSTEM.
4. SHRUB, TREE, AND GROUND COVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM. DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
5. SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK - CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
6. SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
7. UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
8. NEW IRRIGATION SYSTEM TO BE RETROFITTED TO EXISTING IRRIGATION SYSTEM.

PLANTING NOTES:

1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET, AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
2. MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED. CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
3. FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE. PRIOR TO LANDSCAPE INSTALLATION.
4. PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
5. PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
6. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
8. PLANTING DETAILS: REFER TO PLANTING DETAILS AND/OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
9. PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
10. INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
11. STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
12. WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
13. WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

SOIL PREPARATION NOTES:

1. BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL.
2. DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL. LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOIL'S: COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
4. THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
5. SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
6. SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
7. TURF/SOD PREPARATION: PREPARE SOILS IN SEED AND SOD AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 4" BELOW FINISHED SOIL SURFACE



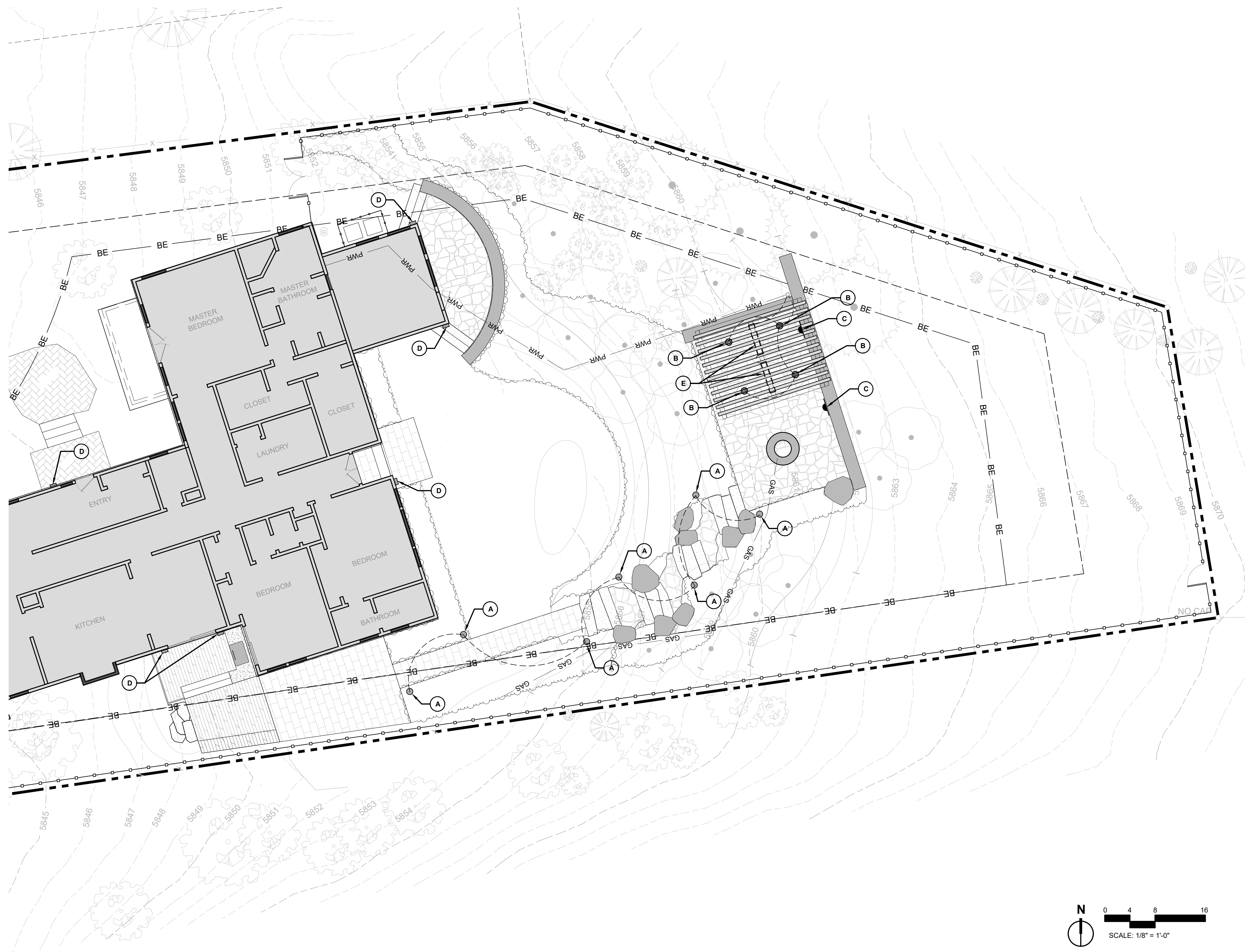
LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: **11/02/2021**
PLOT DATE:

**PLANTING PLAN,
NOTES, &
SCHEDULE**

SHEET NO.

L-5.0



LIGHTING AND UTILITY LEGEND	
SYMBOL	DESCRIPTION
	Zoning / Conduit
	Gas Line
	Power
	Light Fixtures

LIGHTING ZONE SCHEDULE				
ZONE 1 LANDSCAPE PATH				
CALLOUT	FIXTURE TYPE	QTY	MAKE	MODEL
(A)	Path Light	7	WAC	Ledge LED Path Light
ZONE 2 TRELLIS SWITCH CONTROL				
(B)	Down Lighting	4	FX Luminarie	PO Wall Light Finish: TBD
ZONE 3 UPPER TERRACE GFCI OUTLETS				
CALLOUT	FIXTURE TYPE	QTY	NOTES	
(C)	GFCI Outlet	2	Final Location TBD with Owner	
ZONE 4 WALL SCONCES				
CALLOUT	FIXTURE TYPE	QTY	NOTES	
(D)	Wall Sconce	6	Replace All Existing Wall Sconces	

HEAT FIXTURE SCHEDULE				
TRELLIS				
SYMBOL	FIXTURE TYPE	QTY	MAKE	MODEL
(E)	Overhead Heater	2	Infratech	SL Series Heater

- NOTES:**
- ALL LIGHTS COMPLY WITH DARK SKY ORDINANCE
 - ALL EXISTING SCONCES ON HOUSE TO BE REPLACED WITH NEW FIXTURE



LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY: **KP**
ISSUE DATE: **11/02/2021**
PLOT DATE:

SITE LIGHTING AND UTILITY PLAN

SHEET NO.

L-6.0

LEDGE LED PATH LIGHT

6081



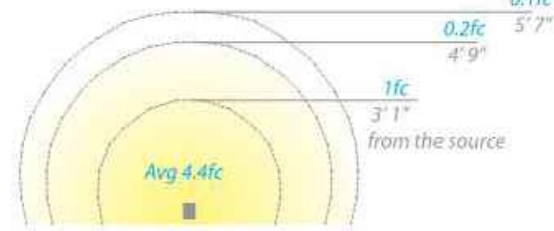
WAC LANDSCAPE LIGHTING

Fixture Type:
 Catalog Number:
 Project:
 Location:

PRODUCT DESCRIPTION
 Sleek linear design blends seamlessly into pathways while providing soft, directional illumination

SPECIFICATIONS
 Input: 9-15VAC (Transformer is required)
 Power: 3.0W / 4.5VA
 Brightness: Up to 105 lm
 CRI: 90
 Rated Life: 60,000 hours

- FEATURES**
- IP66 rated. Protected against powerful water jets
 - Factory sealed water tight fixtures
 - Translucent lens provides uniform light distribution
 - Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
 - Recommended spacing for installation: Residential: 8 to 10ft; Commercial: 5 to 7ft
 - Maintains constant lumen output against voltage drop
 - UL & cUL 1838 Listed



ORDERING NUMBER	Color Temp	Finish
6081 Linear Path	27 2700K Warm White 30 3000K Pure White	BK Black on Aluminum BZ Bronze on Aluminum

6081-__BK

Example: 6081-30BK

wacighting.com | Phone (800) 526-2588 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122
 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.

FXLuminaire

LED Wall Lights



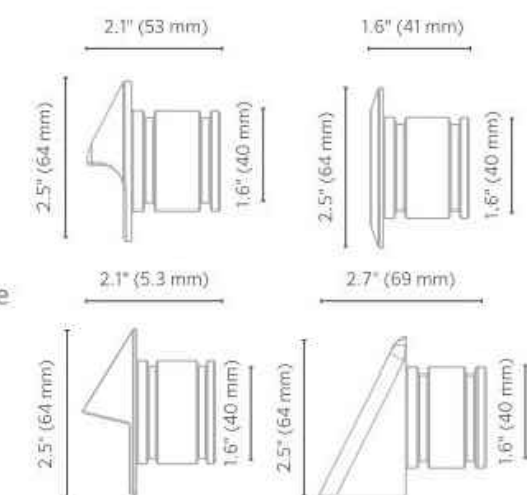
PROJECT:
 CATALOG #:
 TYPE:
 NOTES:

PO Wall Light DESIGNER PREMIUM

1 LED recessed wall light available in four brass faceplate styles for any application.

Quick Facts

- Die-cast brass or aluminum
- Natural, powder-coated, or antique brass
- Cree® integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE & ARCHITECTURAL LIGHTING

PO Wall Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Faceplate	Finish
PO*	[default] Zone	1LED 4-39 Lumens	RD Round	BS Natural Brass
	ZD Zone/Dim		SQ Square	BZ Bronze Metallic
			ST Spot	DG Desert Granite
			WW Wall Wash	WI Weathered Iron
				SB Sedona Brown
				FB Black
				WG White Gloss
				FW Flat White
				AL Almond
				SV Silver
				NP Nickel Plate
				AB Antique Bronze
				AT Antique Tumbled

EXAMPLE FIXTURE CONFIGURATION:
 PO-ZD-1LED-PO-RD
 *Includes 1.5" x 2.5" W (38 mm x 64 mm) Conduit Sleeve (25001859000)

ACCESSORIES: Specify Separately

Accessories	Code
PO MOUNTING BRACKET 1.3" H x 2.5" W (33 mm x 64 mm)	POBRKT
STANDARD OPTICS KIT	1LEOPTICKIT
WALL LIGHT CONNECTION KIT	EKITWALL

LANDSCAPE & ARCHITECTURAL LIGHTING

A LANDSCAPE PATH LIGHT

WAC LIGHTING

Fixture Type:
 Catalog Number:
 Project:
 Location:

Icon

Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens
WS-W54614 14"	3000K 90	AL Brushed Aluminum BK Black BZ Bronze	10.9W	845	458

Example: WS-W54614-BZ
 For custom requests please contact custom@wacighting.com

DESCRIPTION

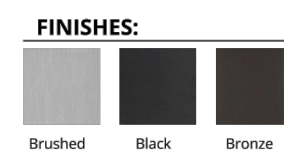
Like a simple reference to something greater, the up and down lights accentuate linear architectural forms. A simple shape, with infinite applications, the Icon features a shielded light source for great low-glare illumination. Constructed with a solid die-cast aluminum and powder coated finish. The light engine is factory sealed for maximum protection against the

FEATURES

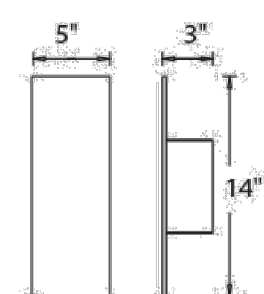
- Weather resistant powder coat finish
- Simple shape, simple idea, infinite applications
- Up & down light
- Shielded light source for great low-glare illumination
- Driver concealed within the fixture
- 5 year warranty

SPECIFICATIONS

Color Temp: 3000K
 Input: 120-277 VAC/50/60Hz
 CRI: 90
 Dimming: ELV: 100-10%
 Rated Life: 54000 Hours
 Mounting: Can be mounted on wall in all orientations
 Standards: ETL, cETL, PSE
 Construction: Aluminum hardware with glass diffuser



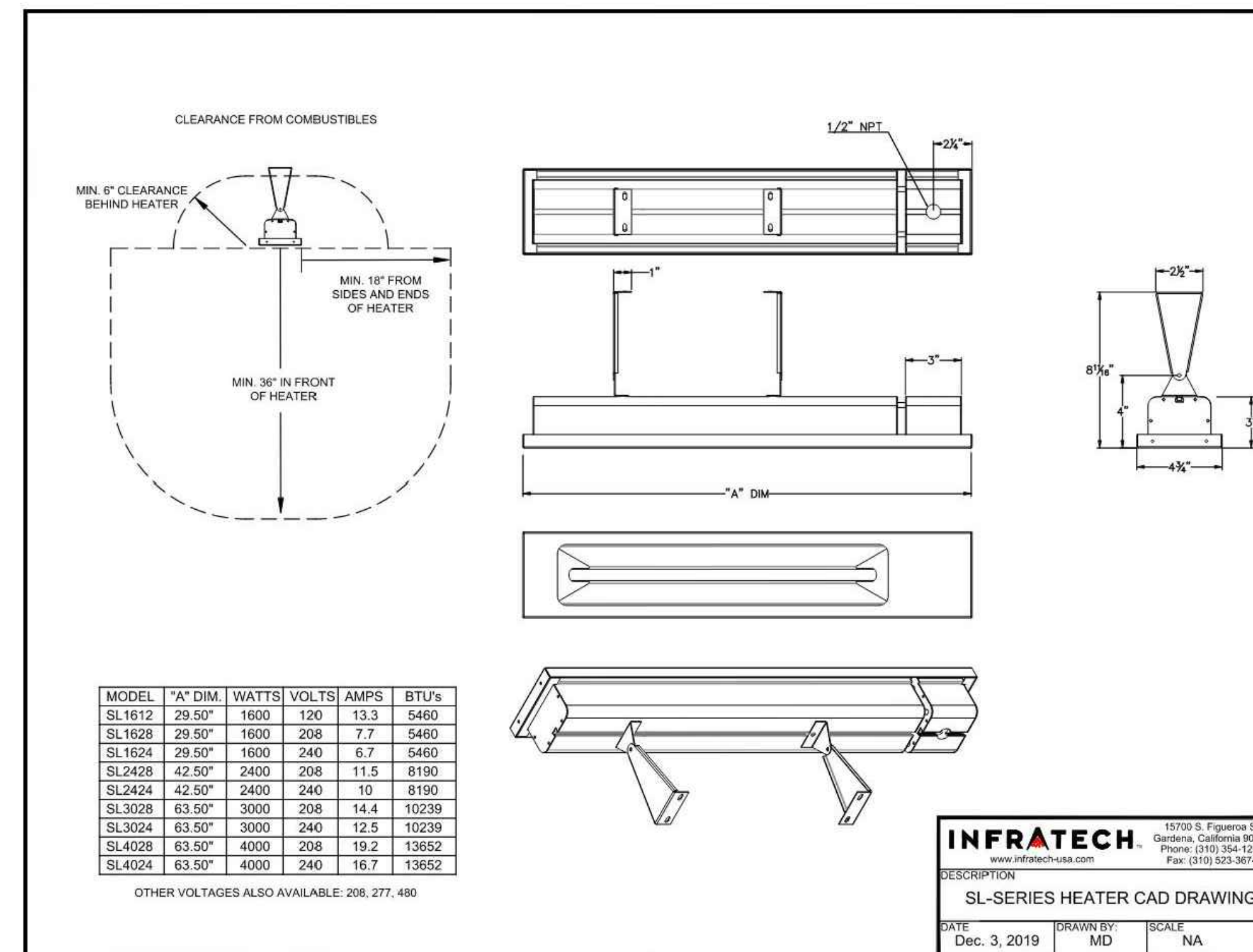
LINE DRAWING:



wacighting.com | Phone (800) 526-2588 | Fax (800) 526-2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. August 2021

D WALL SCONCE

B TRELLIS - DOWN LIGHT



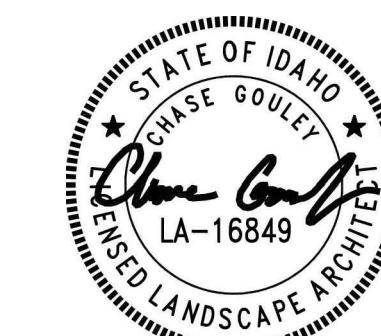
INFRA TECH
 15700 S. Figueroa St.
 Gardena, California 90248
 Phone: (310) 354-1250
 Fax: (310) 323-3074

SL-SERIES HEATER CAD DRAWING
 DATE: Dec. 3, 2019 | DRAWN BY: MD | SCALE: NA

BYLA
 LANDSCAPE ARCHITECTS
 323 Lewis - Ketchum, ID
 (208) 726 5907 • (208) 720 0215
 www.byla.us

ISSUE: 1
 10/11/2021
 DESIGN REVIEW SET
 REVISIONS:

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 BYLA Landscape Architects



LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
 215 GEM ST., KETCHUM, ID 83340

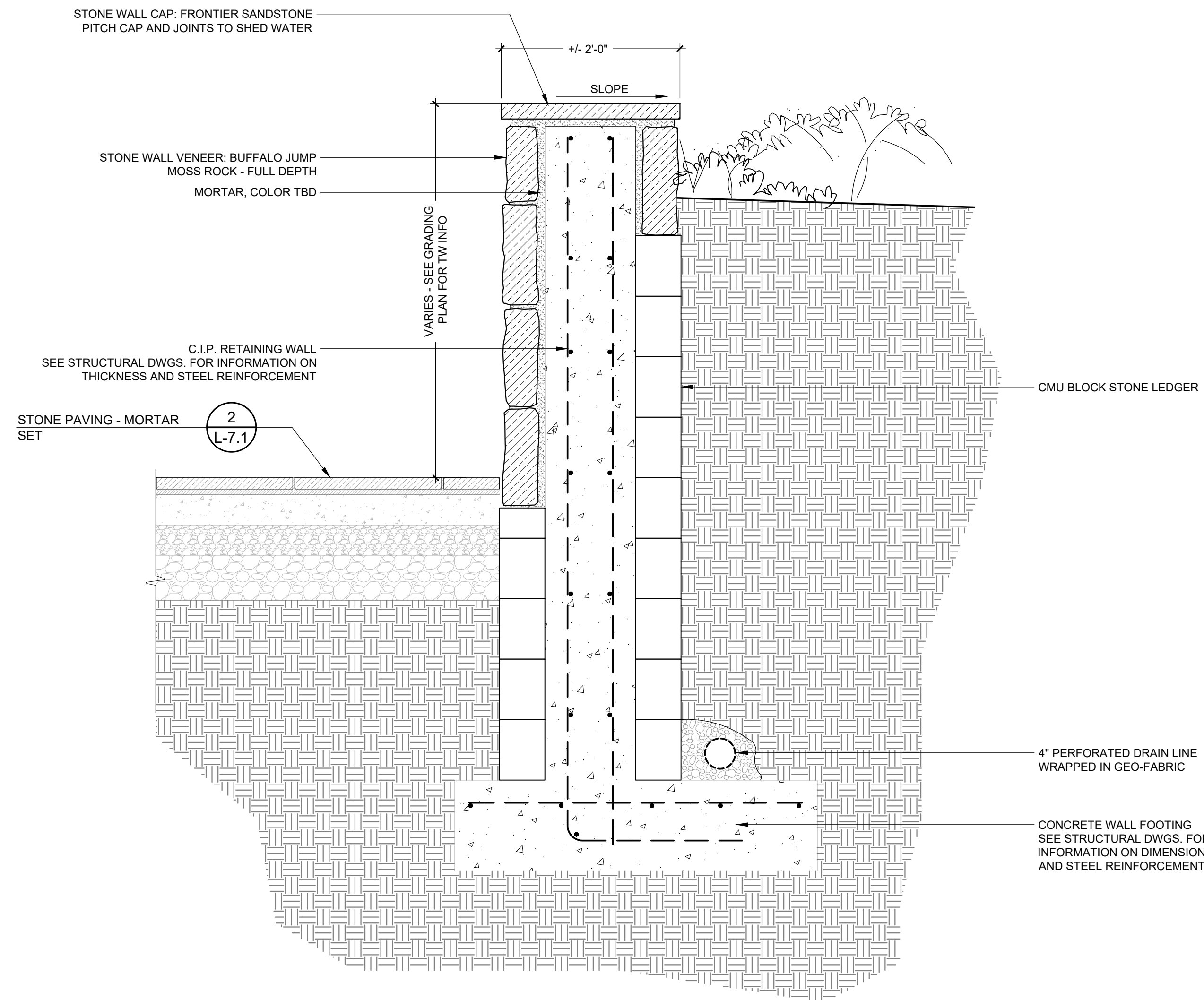
FILE NAME:
 PROJECT MANAGER: **EM**
 DRAWN BY: **KP**
 ISSUE DATE: **11/02/2021**
 PLOT DATE:

FIXTURE SPEC SHEET

SHEET NO.

L-6.1

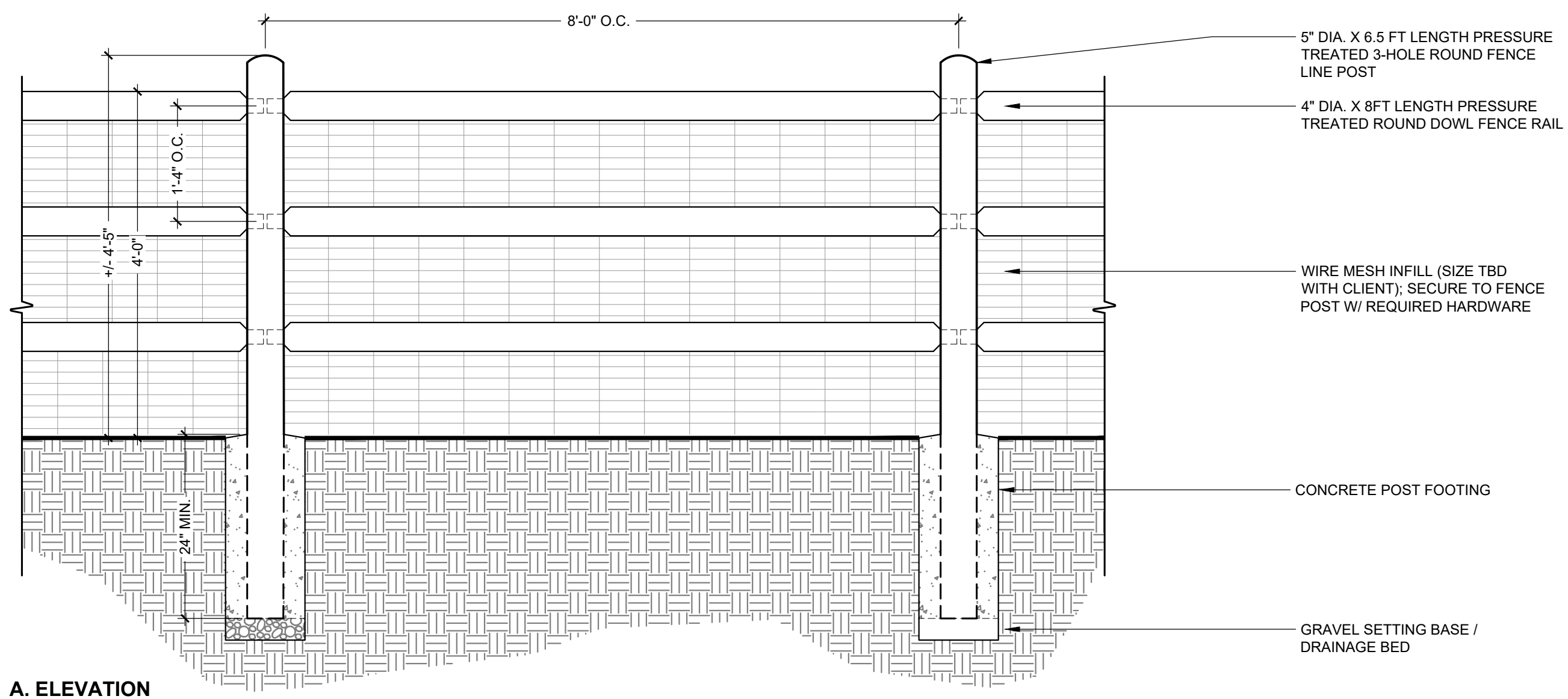
E TRELLIS - HEAT FIXTURE



A. SECTION

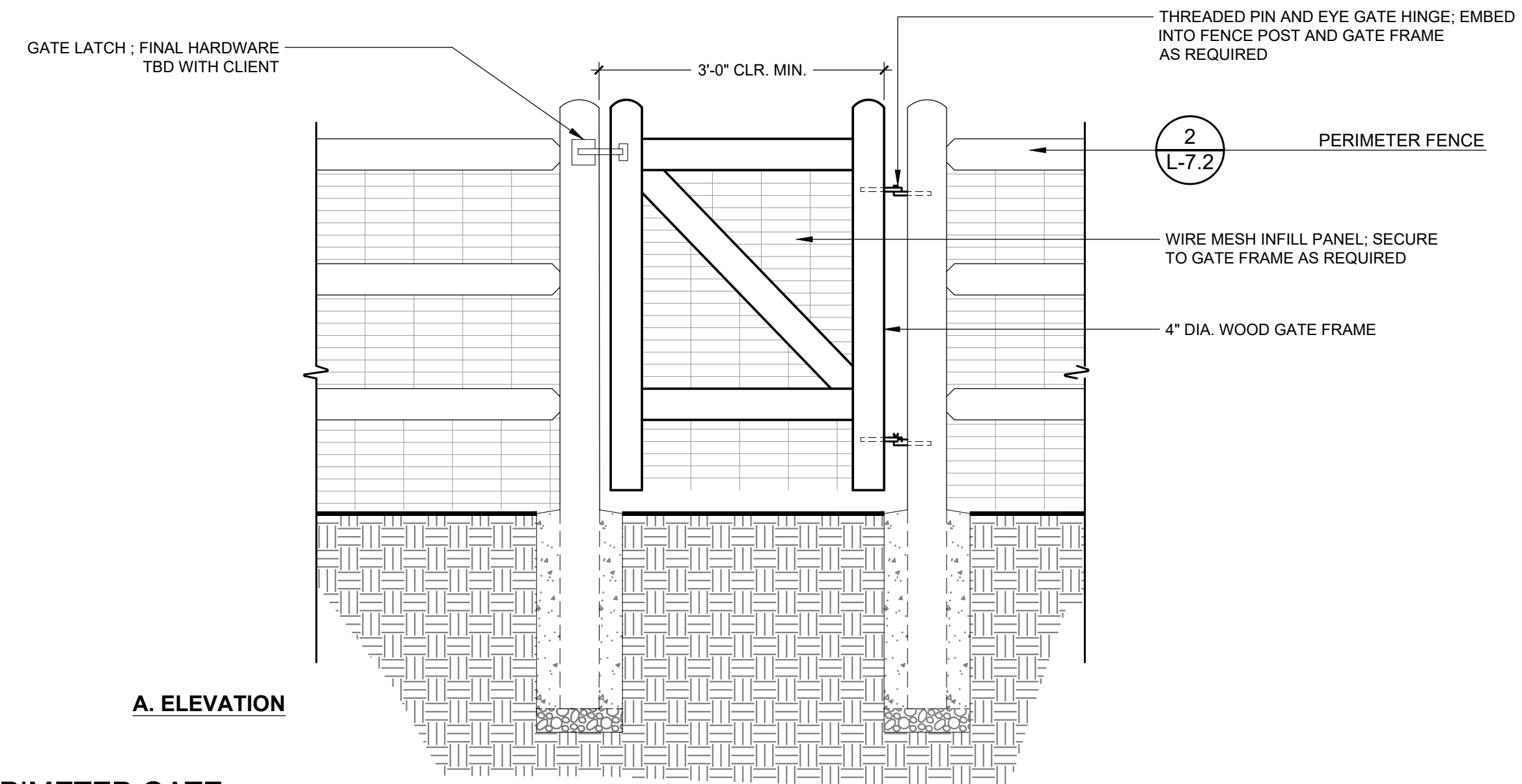
NOTES:
1. SEE STONE SCHEDULE ON SITE MATERIALS PLAN SHEET L-4.0 FOR MORE INFORMATION ON STONE TYPE AND DIMENSIONS RELATED TO STONE WALL VENEER AND CAP STONE.

1 SITE RETAINING WALL
1" = 1'-0"



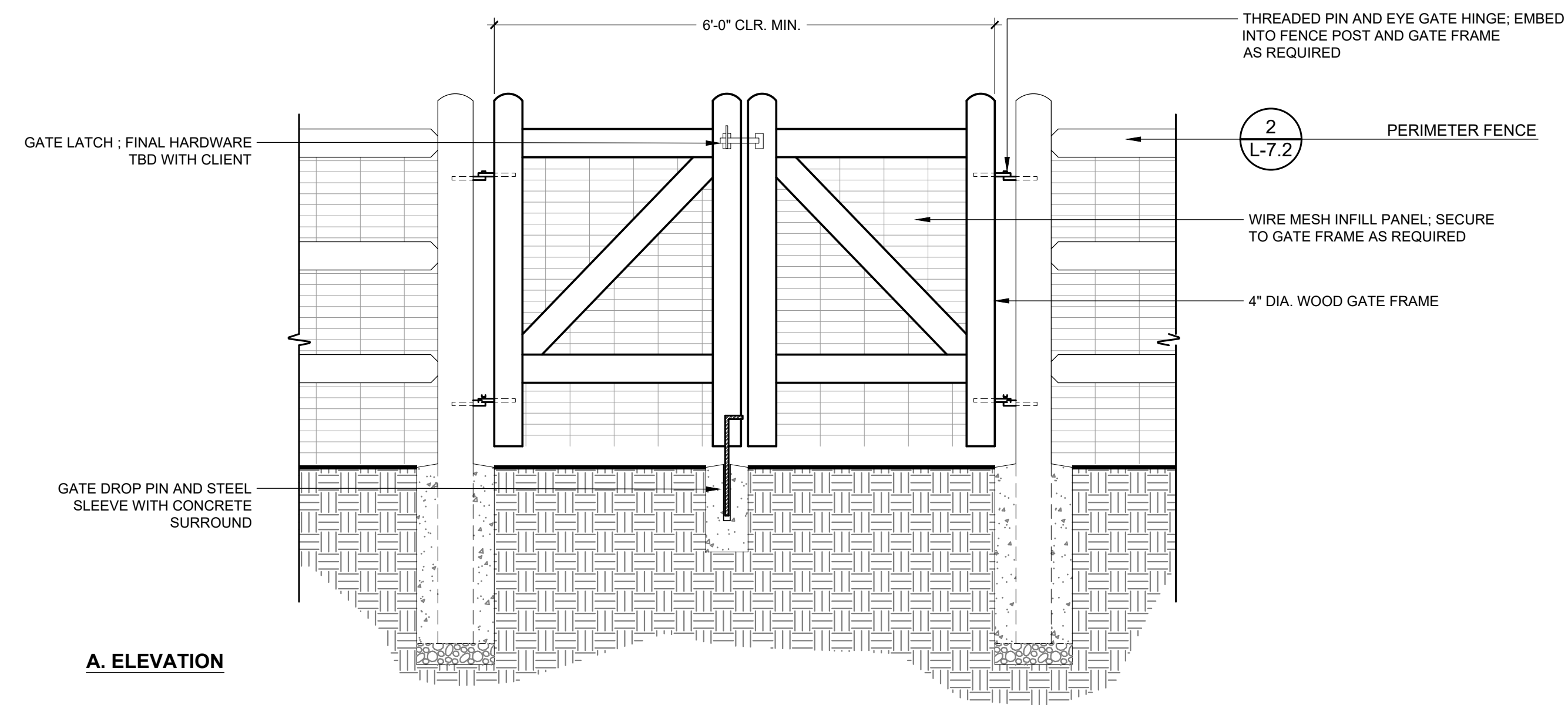
A. ELEVATION

2 PERIMETER FENCE
3/4" = 1'-0"



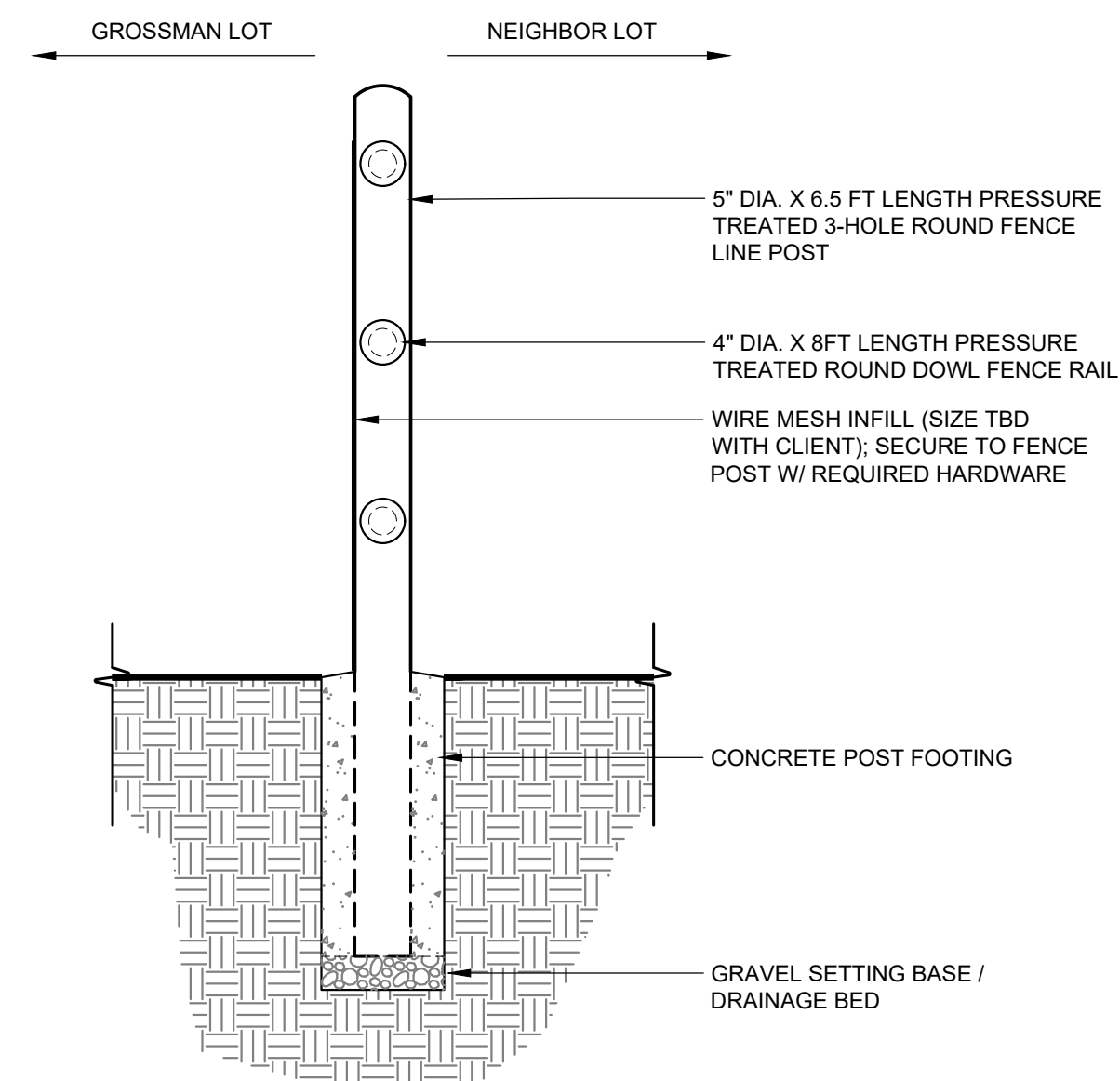
A. ELEVATION

3 PERIMETER GATE
3/4" = 1'-0"

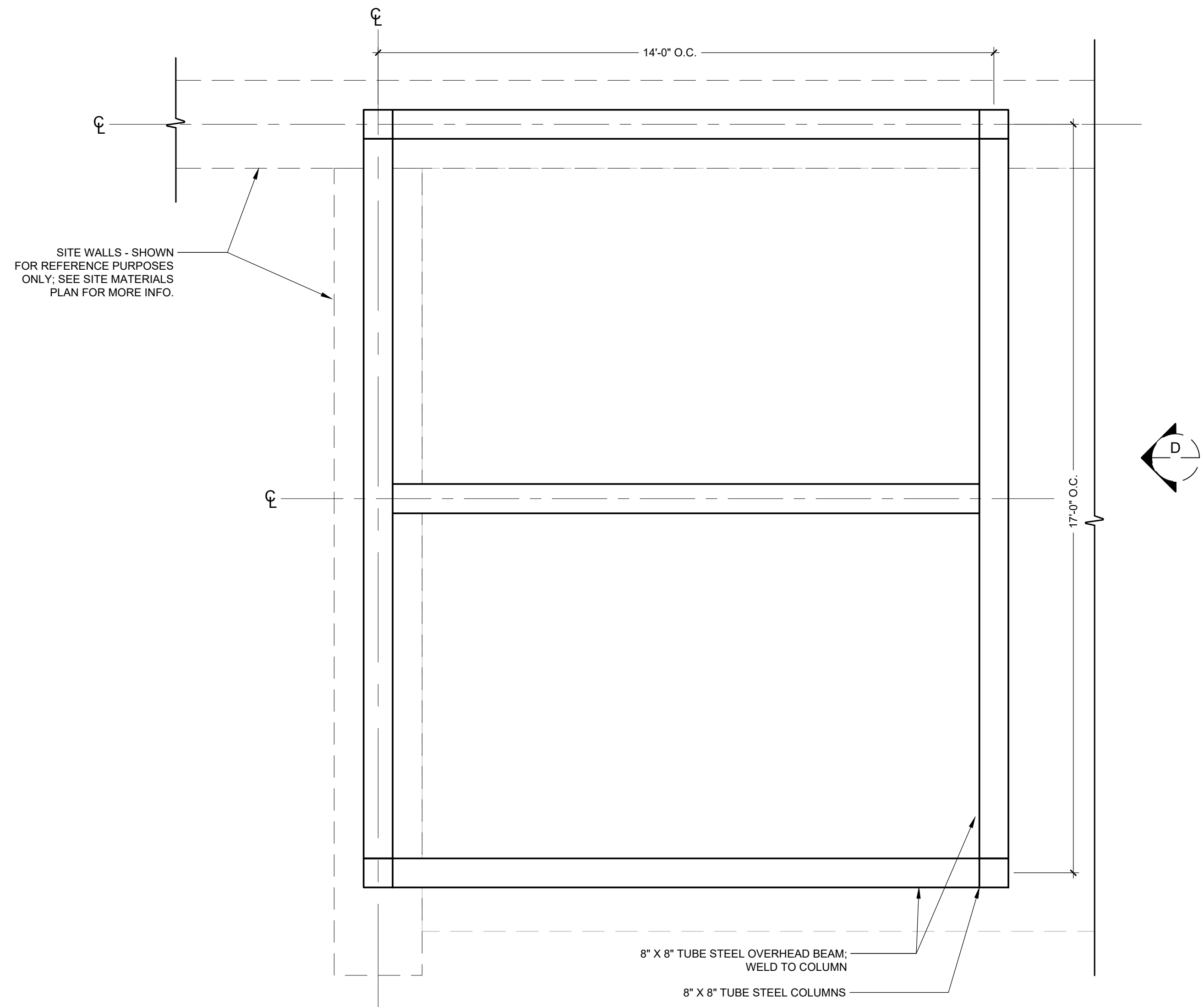


A. ELEVATION

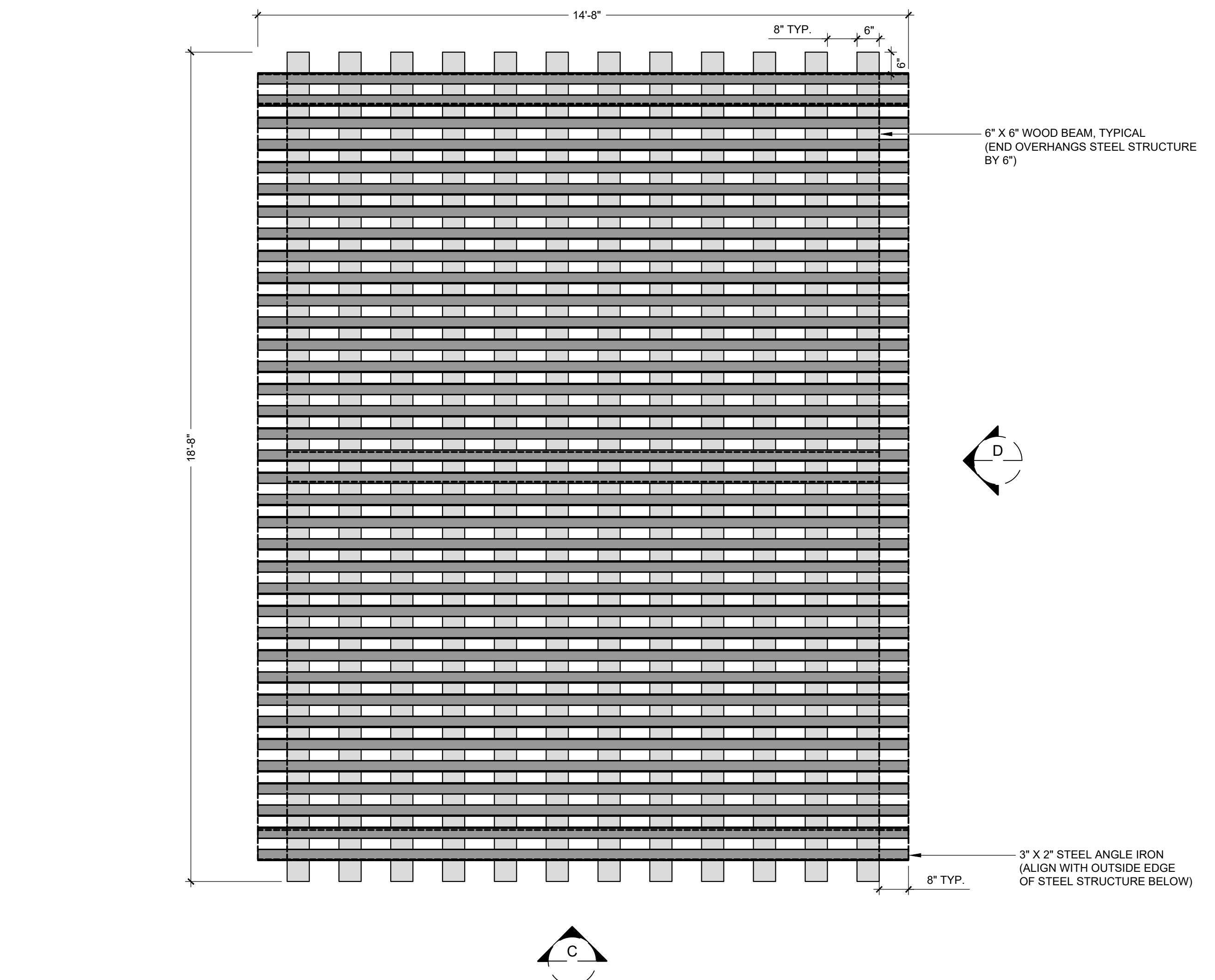
4 PERIMETER DOUBLE SWING GATE
3/4" = 1'-0"



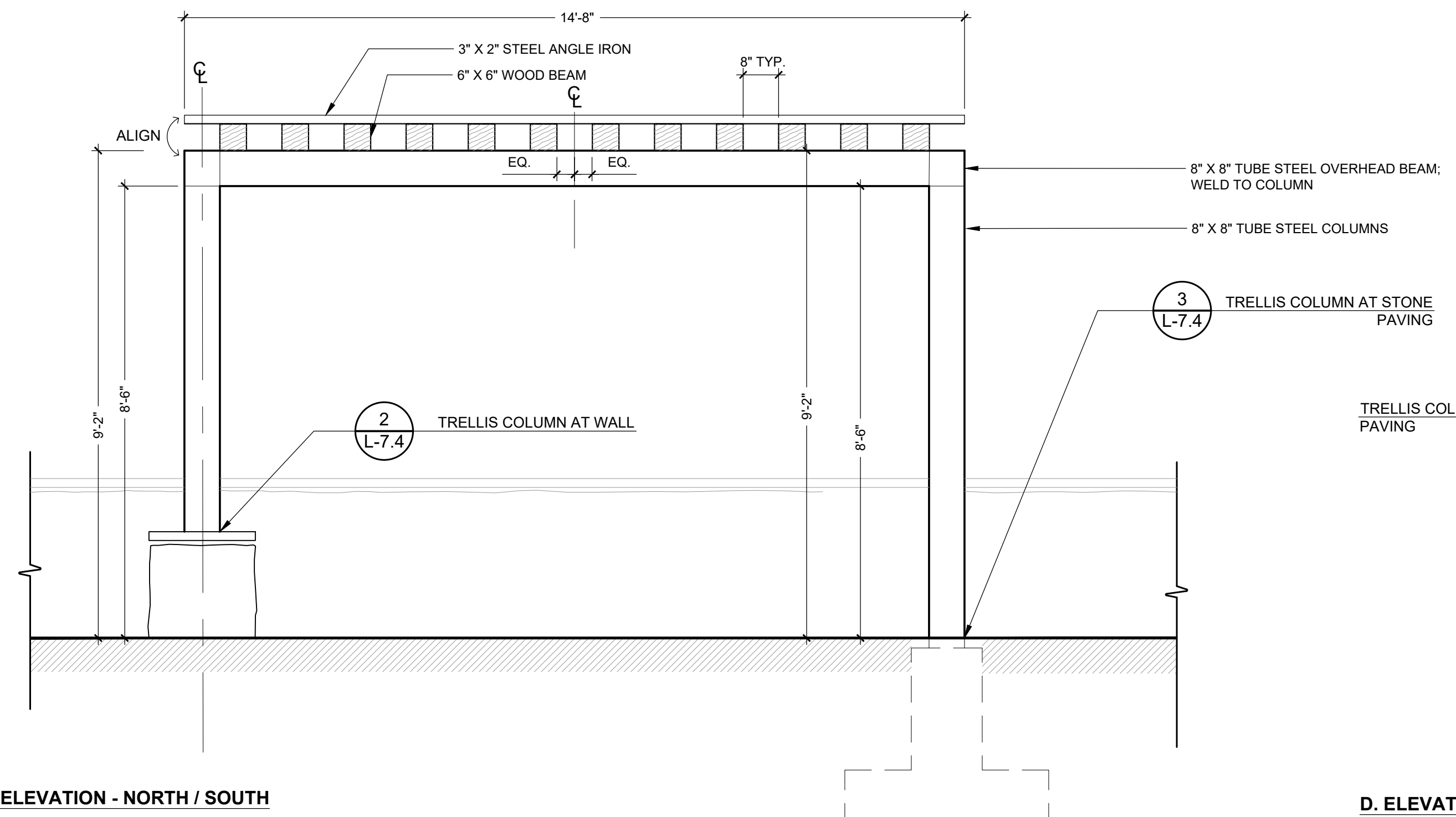
B. SECTION



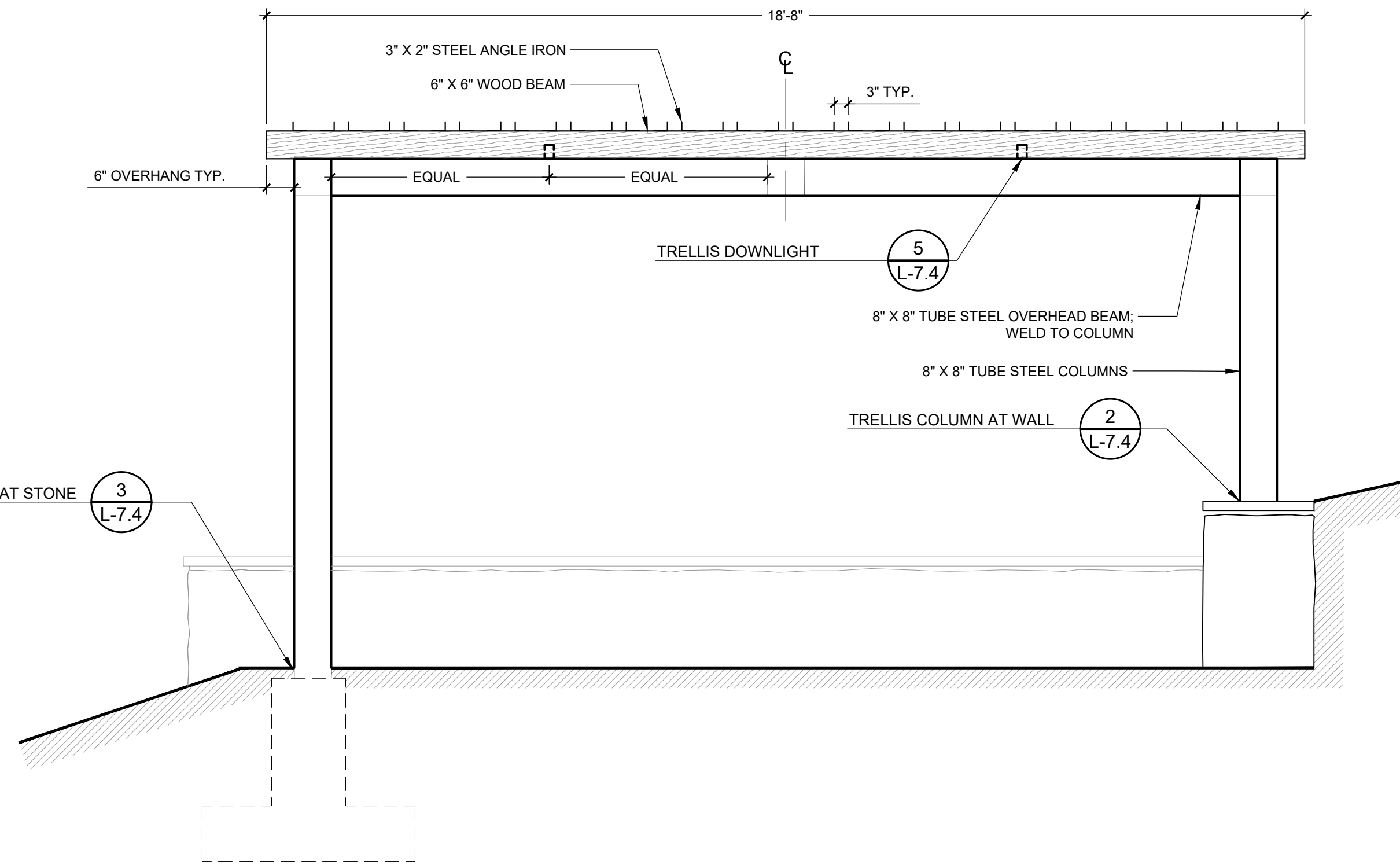
A. PLAN VIEW - PRIMARY STEEL STRUCTURE



B. PLAN VIEW - STRUCTURE OVERHEAD ELEMENTS



C. ELEVATION - NORTH / SOUTH



D. ELEVATION - EAST / WEST

NOTES:
1. FINISH AND COLOR OF ALL TRELLIS MATERIALS TO BE DETERMINED

1 OVERHEAD TRELLIS / SHADE STRUCTURE
1/2" = 1'-0"



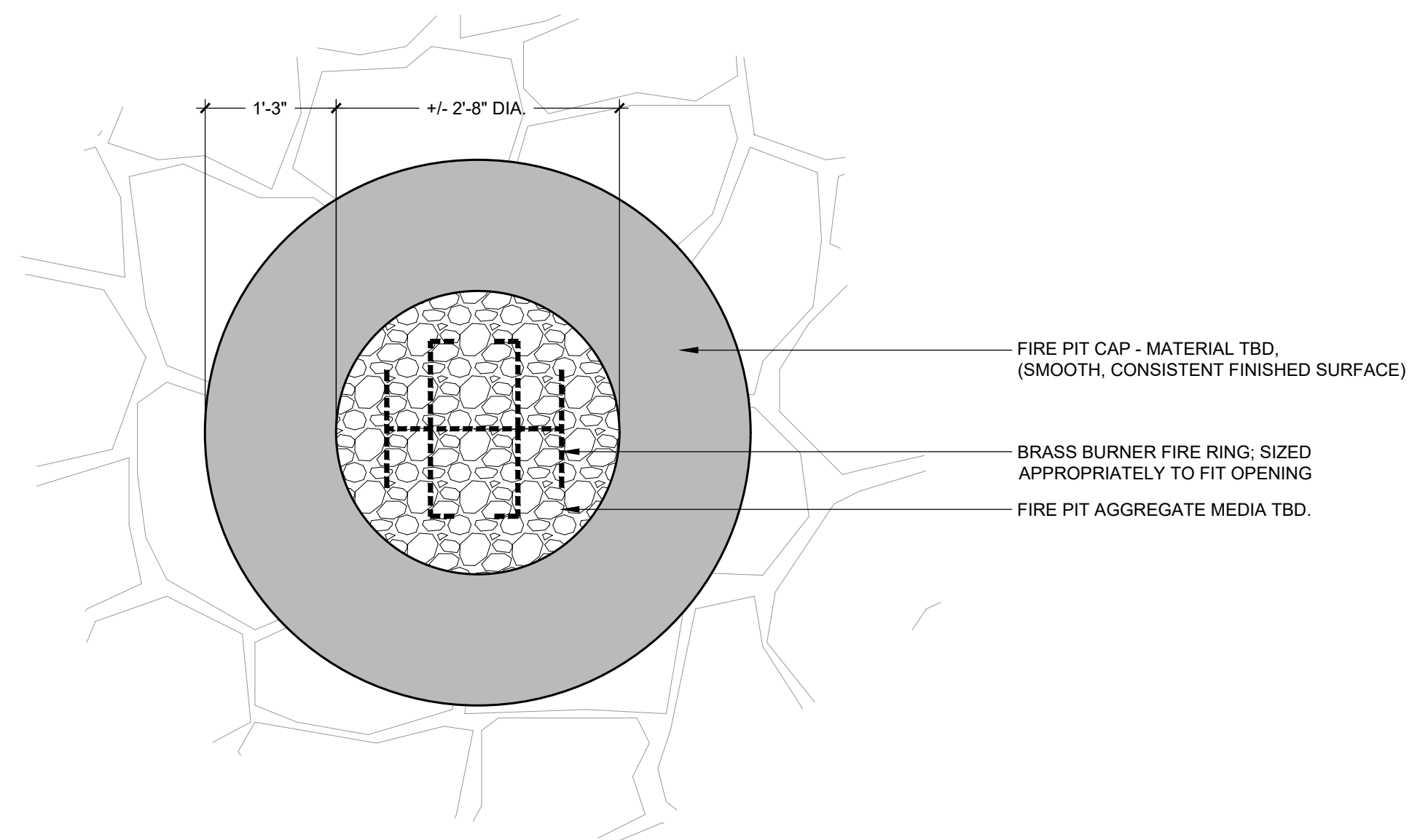
LANDSCAPE REMODEL
GROSSMAN / FRADKIN RESIDENCE
215 GEM ST., KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: EM
DRAWN BY: KP
ISSUE DATE: 11/02/2021
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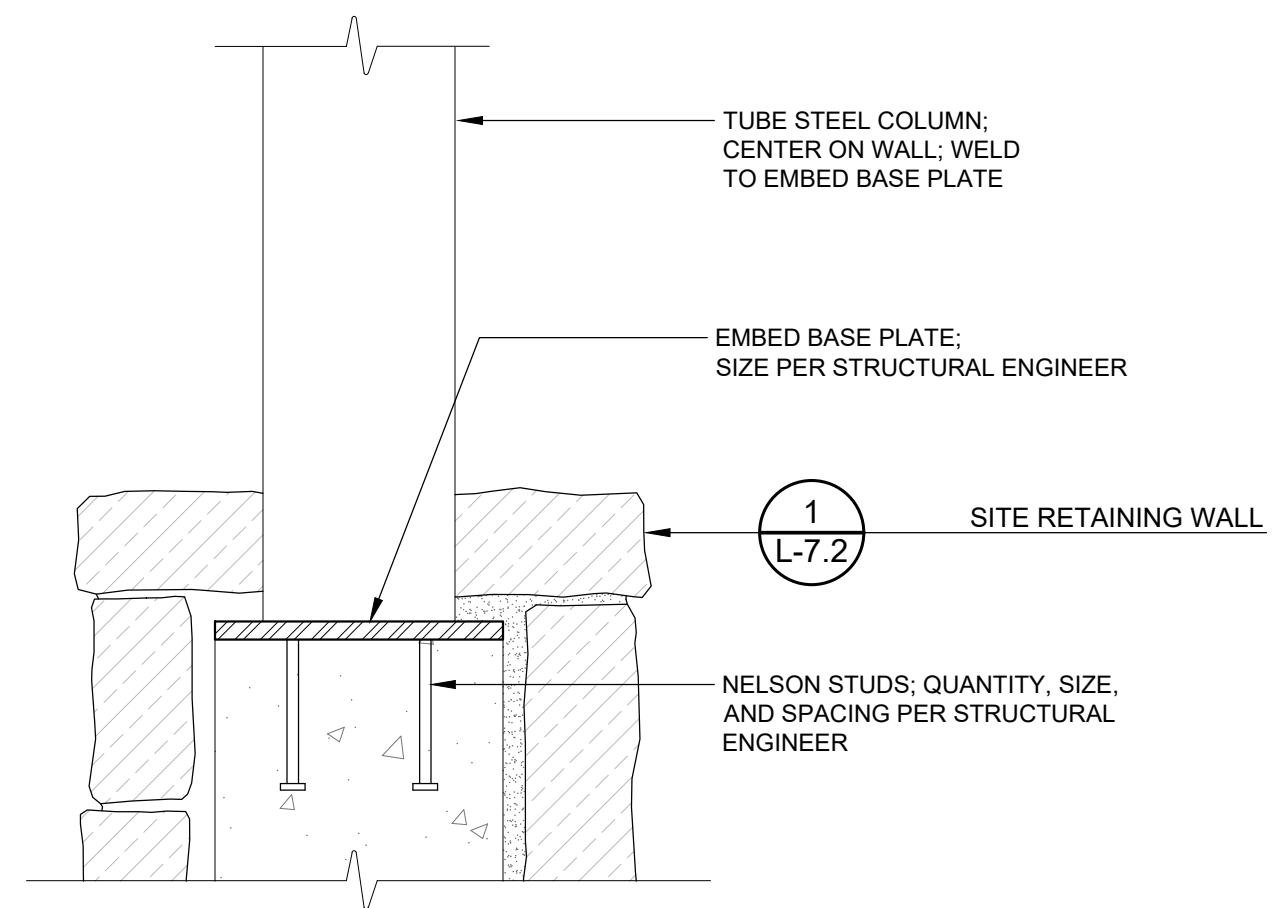
SITE DETAILS

SHEET NO.

L-7.3

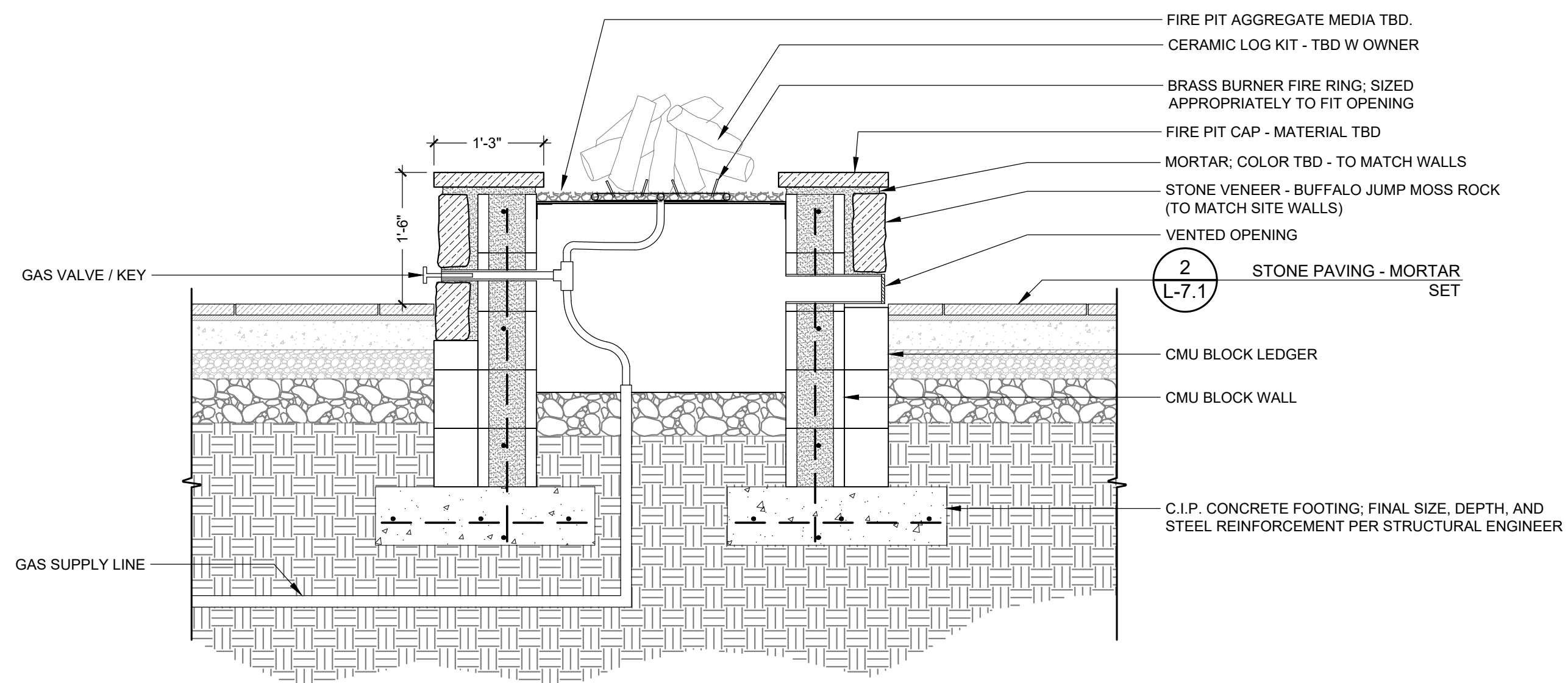


A. PLAN VIEW



2 TRELIS COLUMN AT WALL

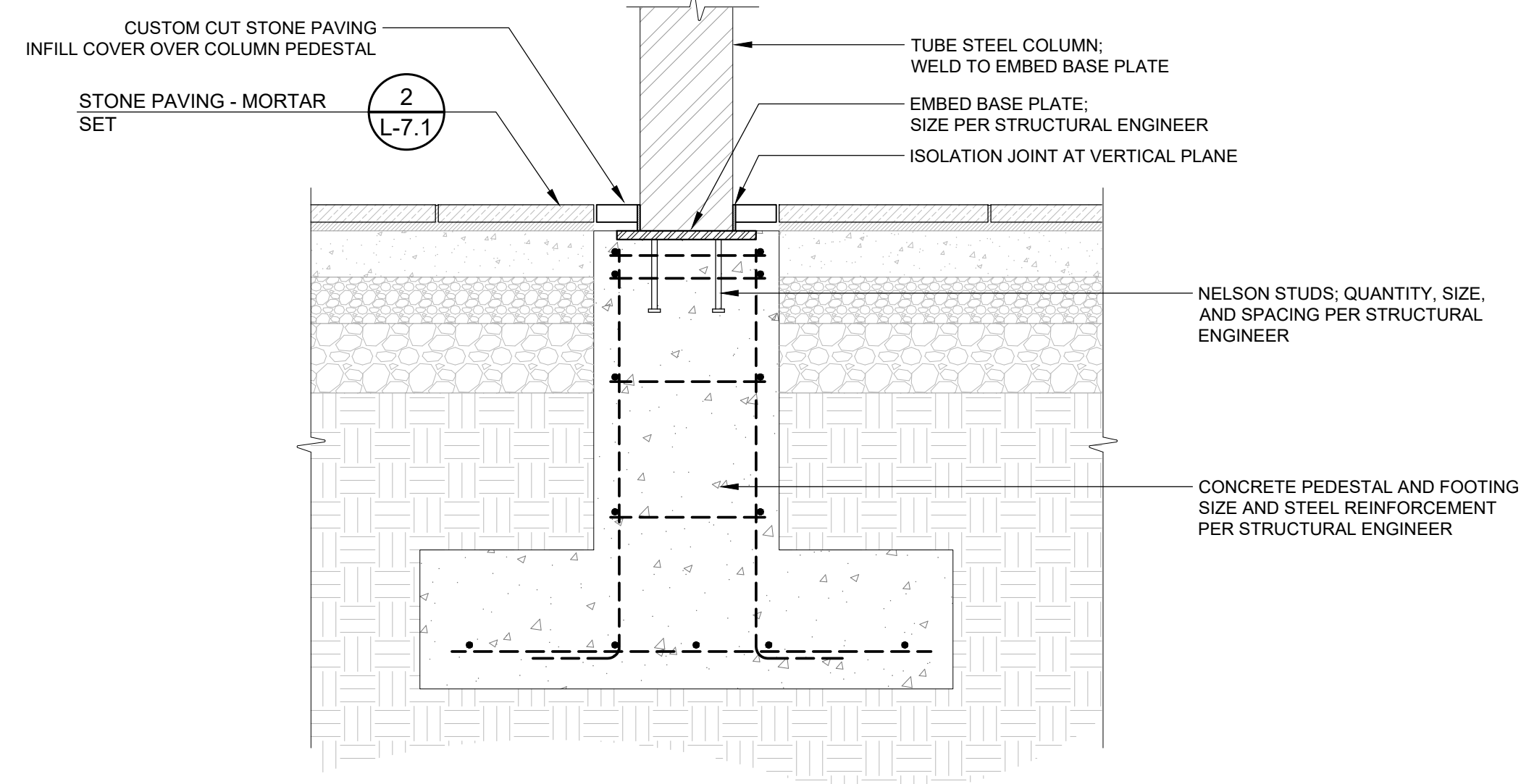
1 1/2" = 1'-0"



B. SECTION

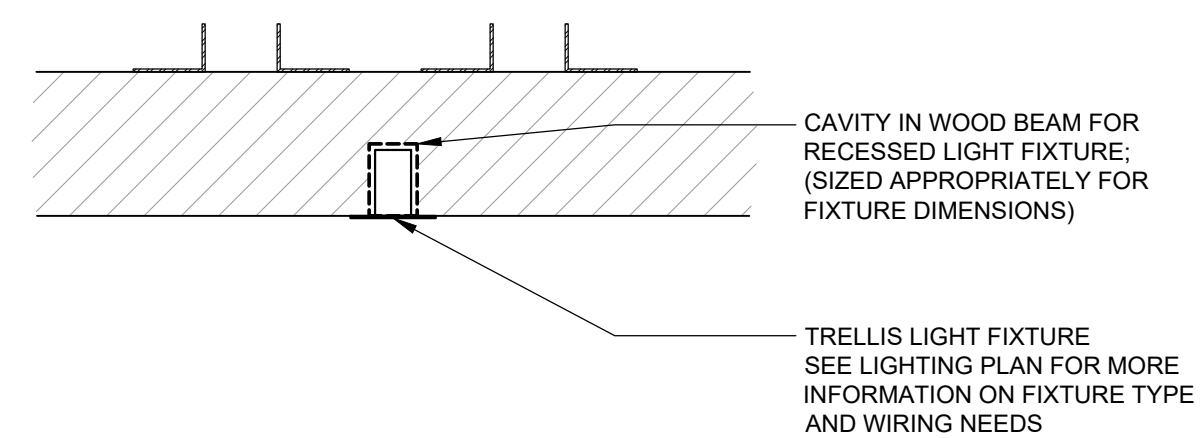
3 TRELIS COLUMN AT STONE PAVING

1" = 1'-0"



1 FIRE PIT

3/4" = 1'-0"

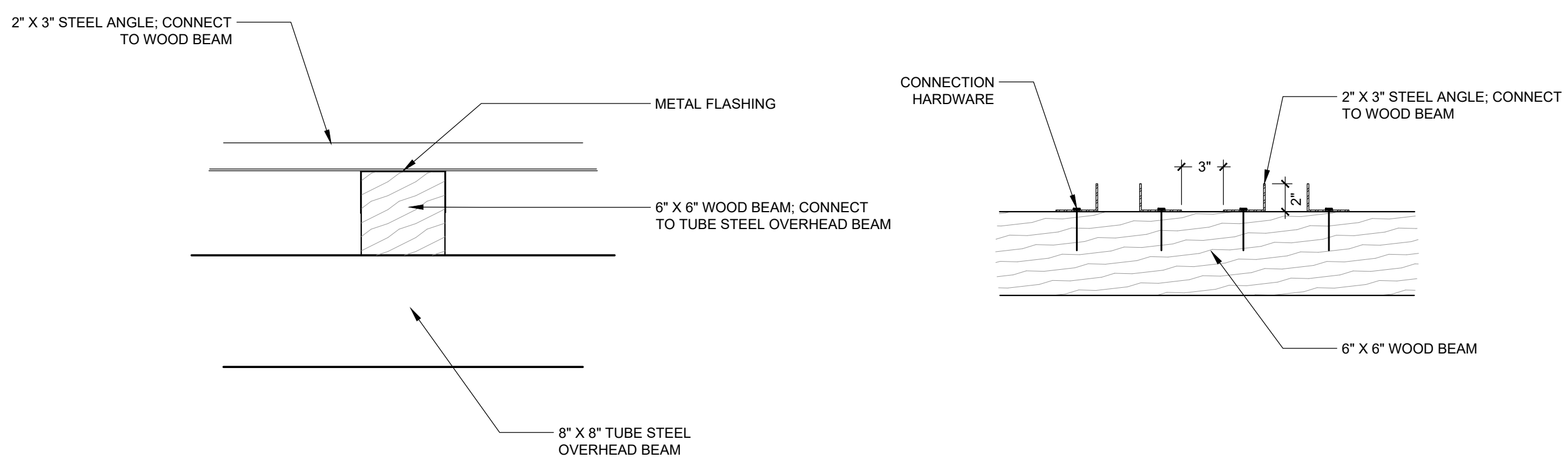


5 TRELIS DOWNLIGHT

1 1/2" = 1'-0"

4 TRELIS OVERHEAD ELEMENTS CONNECTION

1 1/2" = 1'-0"



Attachment C.
Draft Findings of Fact,
Conclusions of Law, and
Decision



City of Ketchum
Planning & Building

IN RE:)	
)	
215 Gem Street Addition & Landscaping))	KETCHUM PLANNING AND ZONING COMMISSION
Mountain Overlay Design Review)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: November 1, 2021)	DECISION
)	
File Number: P21-089)	

PROJECT: 215 Gem St Addition & Landscaping

APPLICATION TYPE: Mountain Overlay Design Review

FILE NUMBER: P21-089

OWNER: Jill Grossman

REPRESENTATIVE: Steve Cook, Steve Cook Architect

REQUEST: Mountain Overlay Design Review

LOCATION: 215 Gem Street (Syringa Springs Sub Lot 6)

NOTICE: A public hearing notice was mailed to all property owners within 300 feet of the project site and political subdivisions on November 24, 2021. The public hearing notice was published in the Idaho Mountain Express on November 19, 2021.

ZONING: Limited Residential District (LR) Zoning District

BACKGROUND FACTS

The subject Mountain Overlay (MO) Design Review is for the development of an office addition and landscaping project at 215 Gem St (Syringa Springs Sub Lot 6). The site is located in the Limited Residential (LR) Zoning District and also within the Mountain Overlay. The subject property is currently occupied by a single-family residence and the site is characterized by approximately 86 ft grade change from the Gem Street right-of-way to the rear property line. The subject property is 0.526 acres in size (22,937 square feet) and is 272.95' deep with a minimum elevation of approximately 5835' and a maximum elevation of approximately 5870', a slope of 13% on the southern property boundary (35' of elevation gain), and 14% on the northern property boundary (28' of elevation gain). There is a lot line shift application associated with the project that proposes to extend the building envelope for the property into the rear yard to allow for the construction of the addition and pergola..

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration, and minimize impacts to the existing

topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.

Findings of Fact

Table 1: Findings Regarding Zoning and Dimensional Standards

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Commission Findings	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Commission Finding	Required: 9,000 square feet minimum. Existing (Lot 6): 22,933 sq ft
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Commission Finding	Permitted: 35% Proposed: 23% (5,329 sq ft building coverage/22,933 sq ft lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Commission Finding	Minimum: Front: 15' Side: > of 1' for every 2' in building height, or 10' Rear: 20' Proposed: Front: 15' Side (N): 14' Side (S): 14' Rear: 20'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Commission Finding	Maximum Permitted: 35' Proposed: 15' addition (27' existing residence)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H	Curb Cut
			Commission Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: Existing residence has driveway that was approved by Mountain Overlay Design Review and Building Permit in 1994. No modifications are proposed to the driveway
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces
			Commission Finding	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: One-Family Dwelling: 2 spaces per dwelling unit Existing: 2 spaces (Garage)

Table 2: Findings Regarding Mountain Overlay Design Review Standards

Mountain Overlay Design Review Standards (KMC §17.107.070.A)				
Compliant			Standards and Commission Findings	
Yes	No	N/A	Reference	City Standards and Commission Findings

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Commission Findings	No ridges or knolls have been identified on the subject parcel—the ridge line is located beyond the extent of the rear property line. The property is not located adjacent to an identified or protected view corridor. Vegetation and existing development sufficiently screens Gem Street from the Highway 75 corridor. As the proposed building footprint is sited at the lower elevation of the site, the applicant has minimized visual impact to the Gem Street ridgeline. The proposed siting and design of the single-family residence protects the visual integrity of the hillside.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Commission Findings	Building, excavation, filling, and vegetation disturbance will not have a material visual impact visible from a public vantage point entering into or within the city due to the siting of the building footprint and limits of disturbance sited at the lower elevation portion of the site. Outside of the limits of disturbance associated with the building and associated site improvements, the project will retain the site’s existing grade and vegetation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Commission Findings	Existing driveway approved by Mountain Overlay Design Review (MO 94-05) and Building Permit (94063) in 1994. No work to be done on existing driveway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150’) of the furthest exterior wall of any building.
			Commission Findings	Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Commission Findings	No significant rock outcroppings have been identified on the subject site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Commission Findings	The project must comply with the 2018 International Building Code, the 2018 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Commission Findings	Existing water and sewer stubs serve the subject property located at 215 Gem Street. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Commission Findings	As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells. Prior to issuance of a Building Permit, the applicant shall submit a final drainage and grading plan stamped by an Idaho licensed engineer with associated specifications and details for the proposed drywells and catch basins. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

			17.104.070.A.9	<p>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</p> <p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	<p>No new roadway or driveway is proposed with the project. Both roadway and driveway are existing.</p> <p>As indicated on Sheet L-3.0, the eastern portion of the lot will remain undisturbed with native vegetation. KMC §17.104.070.A9 recommends that revegetation of hillsides maintain a 30 ft clear zone around all structures in order to serve as defensible space to reduce the potential for damage to homes from wildfires. In this zone, plant species should be low-growing and fire-resistant. The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. While Serviceberry and Ninebark are appropriate species, the applicant is encouraged to use hardscapes and minimize overlapping shrub groupings within the defensible space zone.</p>
			17.104.070.A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	The existing building was built on the most downward site of the lot leaving the rear yard the only remaining developable land. The applicant has utilized the area of the property most suitable for development, which is characterized by a more gradual slope compared to steep grade at the northern portion of the site.
			17.104.070.A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	The existing driveway access does not traverse 25% or greater slopes.
			17.104.070.A.12	Utilities shall be underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	All on-site utilities shall be located underground.
			17.104.070.A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	Sheet L-3.0 indicates the limits of disturbance associated with the project.
			17.104.070.A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	The project scope does not propose any cuts or fills other than those required for building construction—all excavation, fill, and vegetation disturbance is associated
			17.104.070.A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Findings	No significant landmarks have been identified on-site.

Table 3: Findings Regarding Design Review Standards

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Commission Findings</i>	<i>Existing driveway connects to Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Commission Findings</i>	<i>N/A as sidewalks are not required or existing in the subject low density residential area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Commission Findings</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Commission Findings</i>	<i>All storm water shall be retained on site. As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

			Commission Findings	<i>The proposed shall drainage improvements span the width of the subject lot. See above analysis for KMC §17.96.060(C)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Commission Findings	<i>The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			Commission Findings	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Commission Findings	<i>All utilities for the development shall be improved and installed at the expense of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Commission Findings	<i>All on-site utilities shall be located underground. The project will connect to existing water and sewer lines within Gem Street and the associated existing infrastructure is underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Commission Findings	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Commission Findings	<i>As indicated on Sheet A.7, the proposed office addition will be composed of stucco and composite roofing material that will match the existing residence. The proposed materials and colors are complementary to both existing homes within the Gem Street neighborhood and also to the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Commission Findings	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Commission Findings	<i>N/A. Residence built in 1994.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Commission Findings	<i>N/A as sidewalks are not required to be installed within low density residential street right-of-ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			Commission Findings	<i>Building elevations are included on Sheet A.7 of the Design Review submittal. The addition uses the same architectural features as the existing building with the same roof form and materials. The addition uses windows to break up the stucco material. Architectural features of the addition will only be seen by the adjacent property owners as the addition is small in nature and located on the rear of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			Commission Findings	<i>The proposed materials and color palette match the existing residence. The materials and colors complement the surrounding landscap.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Commission Findings	<i>The addition complements the existing structure by using the same stucco and roofing materials. The landscape features include an outdoor dining area, pathway, and trellis with a fire pit that complement the single-family residence. Retaining walls, decks/patios, and boulders complement the outdoor living areas and enhance the landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Commission Findings	<i>The design incorporates variation in architectural features and materials across all facades. The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of flatness at all facades.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			Commission Findings	<i>N/A. Existing residence faces Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Commission Findings	<i>N/A. The project does not propose a satellite receiver. The project is located within a low density residential zoning district, which does not include an exterior commercial garage receptacle requiring screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Commission Findings	<i>The roof design as indicated on Sheet A.7 includes gutters, which will prevent water from dripping on residents. Roof overhangs will also serve as weather protection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Commission Findings	<i>N/A. The subject property is a site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Commission Findings	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Commission Findings	<i>The proposed single-family residence will be accessed from Gem Street. The private driveway serves is low traffic as it serves two other residences.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Commission Findings	<i>The driveway is located over 200 ft away from the nearest intersection of Gem Street and Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Commission Findings	<i>Unobstructed access to the site is provided through Gem Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.

			Commission Findings	<i>Pursuant to Fire Department requirements, the driveway shall be heated. As indicated on Sheet L2, the applicant has also provided 2,300 sq ft of snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Commission Findings	<i>The applicant has proposed both a snowmelt system and 2,300 sq ft of snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			Commission Findings	<i>The designated snow storage exceed these dimensions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Commission Findings	<i>The applicant has proposed a snow melt system for all vehicular circulation areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			Commission Findings	<i>The required landscape plan is indicated on Sheet L-5.0 of the Design Review submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Commission Findings	<i>The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. Serviceberry, ninebark and aspen are all drought tolerant species and adaptable to the Wood River Valley climate. The landscape plan complements the single-family residence and adjacent neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Commission Findings	<i>See above Staff analysis for Ketchum Municipal Code §17.96.060(I)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Commission Findings	<i>The landscaping will be provide a buffer between the adjacent dwelling units and complements existing landscaping in the neighborhood as well as the native vegetation of the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Commission Findings	<i>N/A. Sidewalks are not required for the project.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which city ordinances govern the applicant’s application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
4. The Mountain Overlay Design Review Application is governed under Ketchum Municipal Code Chapters 17.96, 17.104, 17.92, 17.124, and 17.128.
5. The project does meet the standards of approval under Chapter 17.104 of Zoning Code Title 17 subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning & Zoning Commission **approves** the 215 Gem Street Mountain Overlay Design Review Application this Tuesday, December 14th, 2021 subject to the following conditions:

CONDITIONS OF APPROVAL

1. The applicant shall comply with all City Department conditions as described in Tables 2, 3, and 4.
2. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy.
3. Design review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
4. Design review elements shall be completed prior to final inspection and issuance of a Certificate of Completion for the project.
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Mountain Overlay Design Review Plans unless otherwise approved in writing by the Commission or Planning & Building Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
6. Construction fencing at the limits of disturbance shall be located on the site prior to any excavation or earthwork.
7. A final drainage/grading plan for the subject property and the City right-of-way shall be submitted to the Planning & Building Department for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a Building Permit for the project.
8. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.
9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
10. Fencing around the limit of disturbance will be installed during the construction period.
11. The proposed bench and retaining walls as indicated on sheets A.7 and L-3.0 of the MO Design

Review submittal shall not exceed 30 inches from existing grade when located outside of the building envelope.

Findings of Fact **adopted** this 14th day of December 2021

Neil Morrow, Chair
City of Ketchum
Planning & Zoning Commission

Suzanne Frick, Planning & Building Director



City of Ketchum
Planning & Building

MEMORANDUM

TO: Ketchum Planning and Zoning Commission

FROM: Abby Rivin, Senior Planner

MEETING DATE: December 14, 2021

RE: Zoning Code Interpretation 21-003: Outdoor Amenities within Setback Areas

SUMMARY:

On September 21st, 2021, the Planning and Zoning Commission reviewed an amendment to Design Review Permit P20-031 for the Waddell-Roush Duplex project that proposed adding hot tubs within the east and west side yard setback areas required for the townhome development. In addition to considering the proposed amendment, the Planning and Zoning Commission provided direction to Staff on how setbacks should be applied to accessory outdoor features like hot tubs. Staff has incorporated the Commission’s feedback into the draft zoning code interpretation attached as Exhibit A.

STAFF RECOMMENDATION:

Staff recommends the Planning and Zoning Commission consider the attached interpretation, direct Staff to incorporate any revisions, and move to approve the zoning code interpretation for outdoor amenities within setback areas.

Recommended Motion: “I move to approve the zoning code interpretation allowing for certain outdoor amenities within setback areas.”

EXHIBIT:

- A. Draft Zoning Code Interpretation Outdoor Amenities within Setback Areas



City of Ketchum
Planning & Building

KETCHUM PLANNING AND ZONING COMMISSION
ZONING CODE INTERPRETATION 21-003
OUTDOOR AMENITIES WITHIN SETBACK AREAS

INTERPRETATION QUESTION

The zoning code is unclear as to whether accessory structures, such as hot tubs, may be sited within the setback areas required for the principal building on the development site. The zoning code is also unclear as to whether setbacks should be applied individually per detached structure based on each structure's maximum height or if the maximum height of the principal building on the site should set the setbacks for all accessory structures on the site.

PERTINENT ZONING REGULATIONS

Ketchum Municipal Code §17.08.020: Definitions

BUILDING:

- A. Any permanent structure built for the shelter or enclosure of persons, animals, chattels or property of any kind, which:
 - 1. Is permanently affixed to the land; and
 - 2. Has one or more floors and a roof.
- B. Any appendages to said structure, such as decks, roof overhangs and porte-cocheres, are part of said building for purposes of determining building coverage, setbacks or other regulations unless otherwise specified.

SETBACK: The minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above grade or below grade building or structure; below grade structures may encroach into required setbacks subject to subsection 17.128.020.K of this title.

STRUCTURE: Anything permanently constructed in or on the ground, or over the water, including gas or liquid storage tank that is principally above ground and manufactured homes; excluding fences less than six feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill.

ENCLOSED: An area surrounded on at least three sides by walls and on top by a roof or similar covering.

Ketchum Municipal Code §17.12.030: Dimensional Standards

The required setback from side property lines is a function of maximum building height. Ketchum Municipal Code §17.12.030 also establishes minimum side setback dimensions. For example, the required side setback in the GR-L Zone is 1 foot for every 3 feet in building height or a minimum of 5 feet. In the LR Zone, the required side setback is 1 foot for every 2 feet in building height or a minimum of 10 feet.

Ketchum Municipal Code §17.128.020: Supplementary Yard Regulations

Ketchum Municipal Code §17.128.020 provides allowances for certain features to extend into required setback areas. For example, cornices, canopies, eaves, chimney chases, or similar architectural features may extend into a required yard not more than 3 feet and decks less than 30 inches in height from existing grade may be constructed to the property line.

PLANNING AND ZONING COMMISSION INTERPRETATION:

All structures and buildings are subject to setbacks from front, side, and rear property lines as specified in Ketchum Municipal Code §17.12.030. Buildings as defined by Ketchum Municipal Code §17.08.020 include any permanent structure built for the shelter or enclosure of persons, animals, chattels, or property of any kind, which: (1) are permanently affixed to the land and (2) have one or more floors and a roof. Structures include anything permanently constructed in or on the ground (KMC §17.08.020).

Outdoor amenities, like hot tubs or barbecues, that are not: (1) permanently affixed to the land or (2) enclosed may be sited within the setback areas required for the principle building on a development site.

Zoning Code Interpretation adopted this 14th day of December 2021.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

MEMORANDUM

TO: Ketchum Planning and Zoning Commission

FROM: Abby Rivin, Senior Planner

MEETING DATE: December 14, 2021

RE: Zoning Code Interpretation 21-004: Permitted Structure in Setbacks

SUMMARY:

On November 9, 2021, the Planning and Zoning Commission reviewed a Design Review Permit P21-096 for 119 Sage Road to permit underground features to be located in the required setback. In order to issue a building permit for the proposed residence, the project must comply with the Zoning Ordinance. There were two outstanding compliance issues presented for the Planning and Zoning Commission's consideration. The first was the building foundation/structure encroaching into the front yard setback. Subject to Design Review approval, subterranean encroachments may be approved by the Planning and Zoning Commission. The second issue was the placement of an above-grade wall with a structural foundation and permanent stairs within the front setback area. The Commission was asked to consider the Design Review application for the subterranean encroachments and separately make a determination if the above-grade wall and stairs are considered permanent, structural elements that may not be located in the setback, or if the wall and stairs are nonpermanent, landscape features that can be removed in the future and that may be located in the required setback.

Staff has incorporated the Commission's feedback into the draft zoning code interpretation attached as Exhibit A.

STAFF RECOMMENDATION:

Staff recommends the Planning and Zoning Commission consider the attached interpretation, direct Staff to incorporate any revisions, and move to approve the zoning code interpretation for outdoor amenities within setback areas.

Recommended Motion: "I move to approve the zoning code interpretation allowing for certain outdoor amenities within setback areas."

EXHIBIT:

Draft Zoning Code Interpretation 21-004



City of Ketchum
Planning & Building

KETCHUM PLANNING AND ZONING COMMISSION
ZONING CODE INTERPRETATION 21-004
PERMITTED STRUCTURES IN SETBACKS

INTERPRETATION QUESTION

The application of the Zoning Ordinance has been inconsistent for underground footings and above grade walls attached to a structure when placed in required setbacks. This interpretation clarifies the application of the setback requirements for underground structural footings and above grade walls attached to the building or structure. In addition, the interpretation clarifies the question whether permanent stairs are permitted to be placed in required setbacks.

PERTINENT ZONING REGULATIONS

Below Grade Footings

Below-grade structures may encroach into required setbacks subject to the standards specified in Ketchum Municipal Code §17.128.020.K.

- K. *Encroachments of below grade structures into required setbacks are permitted provided all of the following standards are met:*
1. *Proposed encroachments shall receive design review approval from the Planning and Zoning Commission; and*
 2. *Below grade encroachments into the riparian setback are not permitted; and*
 3. *Construction activity shall not occur on adjacent properties; and*
 4. *Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare; and*
 5. *Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and*
 6. *Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest; and*
 7. *The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.*
 - a. *Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and*
 8. *Below grade encroachments into required setbacks shall not interfere with drainage.*

- a. *Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.*

Planning and Zoning Commission Interpretation for below grade footings

The Commission finds that below-grade building footings and foundations may encroach into required setbacks so long as these structural elements are entirely underground.

Walls Attached to a Structure and stairs in the setback

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above-grade or below-grade building or structure. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020). Ketchum Municipal Code §17.08.020 defines the term building as any permanent structure built for the shelter or enclosure of persons, animals, chattels, or property of any kind, which is permanently affixed to the land and has one or more floor and a roof. Additionally, the definition of building states that any appendage to said structure, such as decks, roof overhangs, and porte-cocheres, are part of said building for the purposes of determining building coverage, setbacks, or other regulations unless otherwise specified.

Planning and Zoning Commission Interpretation for walls attached to a structure and stairs in setbacks

The Commission finds that a wall attached to a structure may be considered a non-permanent landscape feature like a fence so long as the wall is not a structural element. These non-permanent walls must be able to be removed without compromising the structural integrity of the principal building or other accessory structures on the project site. Non-permanent walls may be sited within the required setback areas so long as the walls meet the maximum height standards specified in Ketchum Municipal Code §17.124.130. Permanent, structural walls must be sited within required setback areas.

The Commission finds that the same setback standards provided for decks may be applied to stairs located in required setbacks. Ketchum Municipal Code §17.128.020.H allows decks less than 30 inches from existing grade to be constructed to the property line. The Commission finds that stairs less than 30 inches in height above existing grade may be located within required setback areas. Ketchum Municipal Code §17.128.020.I requires decks more than 30 inches in height from existing grade at any point shall be subject to setbacks. The Commission finds that stairs greater than 30 inches in height from existing grade at any point shall be subject to setbacks. The Commission finds that the height measurement should include not only the stair risers and treads but also any appurtenance to stairs such as any required handrails (Ketchum Municipal Code §17.128.020.H).

Zoning Code Interpretation adopted this 14th day of December 2021.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission