



## AGENDA

### PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

**We welcome you to watch Commission Meetings via live stream.**

You will find this option on our website at [www.ketchumidaho.org/meetings](http://www.ketchumidaho.org/meetings).

**If you would like to comment on a public hearing agenda item, please select the best option for your participation:**

1. Join us via Zoom (*please mute your device until called upon*).  
**Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/88349105834>  
Webinar ID: 883 4910 5834
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (*by noon the day of the meeting*).

*This agenda is subject to revisions. All revisions will be underlined.*

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### CALL TO ORDER:

### ROLL CALL:

### COMMUNICATIONS FROM COMMISSIONERS:

1. Public comment submitted at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)

### CONSENT AGENDA:

*Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.*

2. ACTION ITEM: Approve minutes of May 24, 2022.
3. ACTION ITEM: Recommendation to approve Findings of Fact, Conclusions of Law, and Decision for the Work/Live Conditional Use Permit for 940 N Leadville Ave.
4. ACTION ITEM: Recommendation approve Findings of Fact, Conclusions of Law, and Decision for the Design Review Permit for an addition at 940 N Leadville Ave.

- [5.](#) ACTION ITEM: Recommendation to approve the Findings of Fact, Conclusions of Law, and Decision for the 1st & Sun Valley Office Building Design Review Application File No. P21-100.
- [6.](#) ACTION ITEM: Recommendation to approve the Findings of Fact, Conclusions of Law, and Decision for the 1st & Sun Valley Office Building Condominium Subdivision Preliminary Plat Application File No. P21-100.
- [7.](#) ACTION ITEM: Recommendation to approve the Findings of Fact, Conclusions of Law, and Decision for the Mountain Land Design Showroom & Residences Design Review Amendment Application File No. P20-027 and Condominium Subdivision Preliminary Plat Application File No. P22-014.

**PUBLIC HEARING:**

- [8.](#) ACTION ITEM: Recommendation to review and approve Mountain Overlay Design Review Permit P22-002 for a single family home located at 600 Walnut Avenue.
- [9.](#) ACTION ITEM: Recommendation to conduct a Public Hearing and review and approve Design Review Application P22-028 for the PEG Ketchum Boutique Hotel located at 251 Main Street and 260 East River Street. The Commission is being asked to provide a decision on the Design Review Application and continue the hearing to a date specific to review and approve Findings of Fact, Conclusions of Law and Decision of the Planning and Zoning Commission and to review and make recommendations to the City Council on the Permit Conditions Acceptable Development Agreement.

**NEW BUSINESS:**

**ADJOURNMENT:**



**Special Planning and Zoning Commission Meeting Minutes**

**Tuesday, May 24, 2022, at 4:30 PM  
191 5<sup>th</sup> Street West, Ketchum, ID 83340**

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**CALL TO ORDER** (*video 00:02:15*)

The meeting was called to order at 4:29 p.m. by Chairman, Neil Morrow.

**ROLL CALL**

**PRESENT**

Chairman, Neil Morrow

Vice-Chairman, Mattie Mead

Commissioner, Brenda Moczygemba

Commissioner, Tim Carter

Commissioner, Spencer Cordovano (absent)

**STAFF**

Director, Planning and Building - Suzanne Frick

Senior Planner - Morgan Landers

Senior Planner - Abby Rivin

Associate Planner - Adam Crutcher

City Clerk - Tara Fenwick

**COMMUNICATION FROM COMMISSIONERS:**

None.

**CONSENT CALENDAR — ACTION ITEMS:** (*video 00:02:46*)

Commissioner, Brenda Moczygemba recused herself.

**Motion to approve the Consent Agenda. Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Tim Carter. Voting Yea: Morrow, Mead, Carter.**

**PUBLIC HEARING:** (*video 00:03:20*)

1. ACTION ITEM: Recommendation to consider proposed modifications to the project plans approved for the Mountain Land Design Showroom & Residences project currently under construction at 111 N Washington Avenue as well as a Condominium Subdivision Preliminary Plat application to subdivide the mixed-use building into 4 condominium units.

Senior Planner, Abby Rivin provided the Commission a short presentation.

Architect, Michael Doty addressed the Commission.

Attorney, Jim Laski addressed the Commission.

Commissioners asked questions and received answers.

Chairman, Neil Morrow, allowed public comment.

**Public Comment:**

None

Chairman, Neil Morrow, closed public comment.

**Motion to approve the proposed changes noted 1 – 4 and require the applicant to modify their building permit. Motion made by Commissioner, Brenda Moczygemba, Seconded by Commissioner, Mattie Mead. Voting Yea: Mead, Moczygemba, Carter. Voting Nea: Morrow.**

2. ACTION ITEM: Recommendation to consider Conditional Use Permit for a live work use and Design Review Permit for an addition at 940 North Leadville.

Senior Planner, Morgan Landers provided the Commission a short presentation.

Commissioners asked questions and received answers.

Chairman, Neil Morrow, allowed public comment.

**Public Comment:**

None

Chairman, Neil Morrow, closed public comment.

Commissioners discussed the recommendation.

**Motion to approve the Conditional Use Permit for a live work use and Design Review Permit for an addition at 940 North Leadville. Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Tim Carter. Voting Yea: Morrow, Mead, Moczygemba, Carter.**

3. ACTION ITEM: Recommendation to consider concurrent Design Review and Condominium Subdivision Preliminary Plat applications for the proposed 1<sup>st</sup> & Sun Valley Office Building located at 131 E Sun Valley Road in the Mixed-Use Subdistrict of the Community Core.

Senior Planner, Abby Rivin provided the Commission a short presentation.

Principle Architect, Scott Payne addressed the Commission.

Associate Architect, Aaron Belzer addressed the commission.

Commissioners asked questions and received answers.

Chairman, Neil Morrow, allowed public comment.

**Public Comment:**

Steve Kerns	Video 01:46:00
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Chairman, Neil Morrow, closed public comment.

Commissioners discussed the project and expressed support for tandem parking.

**Motion to approve 1<sup>st</sup> & Sun Valley Office Building Concurrent Design Review and Condominium Subdivision Preliminary Plat, and direct staff to return with Findings and Facts. Motion made by Commissioner, Tim Carter, Seconded by Commissioner, Mattie Mead. Voting Yea: Morrow, Mead, Moczygemba, Carter.**

**COMMUNICATIONS FROM STAFF:**

Planning and Building Director, Suzanne Frick asked the Commission to check their schedule for an upcoming joint meeting.

**ADJOURNMENT:**

**Motion to adjourn at 6:30 p.m. Motion made by Commissioner, Neil Morrow, Seconded by Commissioner, Brenda Moczygemba. Voting Yea: Morrow, Mead, Moczygemba, Carter.**

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Chairman, Neil Morrow  
Planning and Zoning Commission

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Secretary, Tara Fenwick



City of Ketchum  
Planning & Building

IN RE:	)	
	)	
940 N Leadville Ave Work/Live	)	<b>KETCHUM PLANNING AND ZONING COMMISSION</b>
Conditional Use Permit	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND</b>
Date: June 14, 2022	)	<b>DECISION</b>
	)	
File Number: P22-010	)	

**PROJECT:** 940 N Leadville Addition

**APPLICATION TYPE:** Conditional Use Permit

**FILE NUMBER:** P22-010

**ASSOCIATED APPLICATIONS:** Design Review (P22-011)

**REPRESENTATIVE:** Amy Martin

**OWNER:** Amy Martin

**LOCATION:** 940 N Leadville Ave – Ketchum Townsite Lot 3 Block 30

**ZONING:** Light Industrial – One (LI-1)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the applications for a Conditional Use Permit and Design Review on February 16, 2022. Both applications have been reviewed concurrently and were deemed complete on April 25, 2022. Staff routed the application materials to all city departments for review. Department comments were provided to the applicant on March 25, 2022. All department comments have been addressed satisfactorily through applicant revision of project plans or conditions of approval.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4, 2022. The public hearing notice was

published in the Idaho Mountain Express the on May 4, 2022. A notice was posted on the project site and the city’s website on May 4, 2022.

The Planning and Zoning Commission (the “Commission”) considered the 940 N Leadville Design Review (Application No. P21-011) and the Conditional Use Permit (Application No. P21-010) applications during a special meeting on May 24, 2022. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522. After considering staff’s analysis, and public comment, the Commission unanimously approved the 940 N Leadville Design Review application and Conditional Use Permit with conditions as proposed by staff.

**BACKGROUND**

The Applicant is requesting a Conditional Use Permit (CUP) to establish a work/live unit and Design Review approval for modifications to the existing building that replace a portion of the existing building with a two-story garage, office, and outdoor dog run area located at 940 N Leadville Ave (the “subject property”). The proposed project consists of 965 square feet of living space and 1,293 square feet of work space. The subject property is zoned Light Industrial 1 (LI-1) which allows Dog Kennels as a permitted use by right and work/live units with CUP approval. Currently, the subject property contains a 2,151 square foot one-story building consisting of a non-conforming residential use and a conforming commercial use and a 289 square foot detached shed in the rear of the property.

The dog kennel, Alpenhound, has been in operation for the past two years. The non-conforming residential use has existed since 1988. The residential use is non-conforming and does not have a valid CUP as required by the Ketchum Municipal Code (KMC). The applicant’s desire to expand the existing building triggers the requirement that the non-conforming residential use come into compliance with the KMC.

The applications submitted bring the property and use into conformance with all code requirements and allow for the expansion of the permitted business operation. The CUP is applicable to the work/live unit and configuration; however, the CUP is not related to the operation of dog kennel since the use is a permitted use in the LI-1 District. Table 1 below outlines the proposed interior square footage of each use for the proposed project as shown on the proposed project plans.

Table 1: Proposed Uses and Square Footage

Use	Square Footage	Percent SF
Work		
Ground Floor – Dog Sleeping and Supply Storage	327 SF	
Ground Floor – Storage/Dog Wash/Laundry	480 SF	
Second Floor – Office/Dog Feeding Area	486 SF	
Subtotal	1,293 SF	57% of total

Live		
Ground Floor – Existing Living	965 SF	
Subtotal	965 SF	43% of total
Total Square Footage	2,258 SF	
Dog Deck and Garage*	1,363 SF	

\*Dog deck not included in total “work” square footage as it is not enclosed.

Garage not included in work as it is used for both live and work.

The KMC has very specific requirements for work/live units outlined in KMC Section 17.124.090.A.5 including ownership and occupancy of the space, size of workspace compared to live space, access to each space, and parking. As proposed, the work/live unit meets all requirements and standards in the KMC.

The project proposes to construct improvements to the right-of-way per the City of Ketchum improvement standards; however, the applicant requested a waiver of the sidewalk requirement per the provisions of KMC Section 17.124.140 which allows for a payment-in-lieu of constructing the sidewalk.

### **FINDINGS OF FACT**

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

#### **FINDINGS REGARDING CONDITIONAL USE PERMIT CRITERIA**

Pursuant to KMC Section 17.116.030, conditional use permits can be granted if and only if all criteria listed below are met. The Commission finds the following:

*Criteria 1* - The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district;

- *Finding:* The City of Ketchum has permitted numerous work/live units through the CUP process throughout the Light Industrial zone districts. The anti-nuisance and notice provisions outlined in KMC Section 17.124.090 seek to minimize potential conflicts between residential and light industrial uses. Conditions of approval 9-12 ensure that these provisions are in full force and effect. Additionally, the residential unit has been in this location since at least 1988. To date the city has received no known complaints regarding the residential unit.

*Criteria 2* - The conditional use will not materially endanger the health, safety and welfare of the community;

- *Finding:* As mentioned above, numerous work/live units exist in the light industrial district with no demonstrated impact to the health, safety, and welfare of the community. The city has not received any complaints or witnessed a degradation of the health, safety, and welfare of these units. To the contrary, work/live units provide a



certain amount of housing stability not experienced in other housing situations as the residential unit must be occupied by the business owner or an employee of the business. This supports the business operations as well as the owner/employee. Condition of approval #3 ensures that the occupant of the residential unit is either the owner or an employee of the business.

*Criteria 3* - The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;

- *Finding:* The residential unit has existed since at least 1988 with no documented traffic or pedestrian issues related to the unit. Alpenhound has been in operation for two years with no documented issues related to pedestrian or vehicular circulation.

*Criteria 4* - The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area, or conditions can be established to mitigate adverse impacts; and

- *Finding:* The property is currently served by city water and sewer, reviewed by the respective departments during department review. The existing services are adequate to serve the proposed project with no required upgrades. The fire department can access the building from not only N Leadville Ave, but via the alley in the rear of the property. Service letters from Idaho Power and Clear Creek are included in Attachment B. The proposed project can be served with all utilities and city services.

*Criteria 5* - The conditional use is not in conflict with the policies of the comprehensive plan or the basic purposes of this chapter.

- *Finding:* The subject property is designated as “Mixed-Use Industrial” in the 2014 Comprehensive Plan. The plan outlines primary and secondary uses within the area. Primary uses include service, workshops, studios, and offices with secondary uses including a limited range of residential housing types. Additionally, Policy E-2(e) encourages policy that supports small businesses by allowing people to live and work from their residences in live/work environments. Approval of the CUP would comply with the identified primary and secondary uses for the area and support a small business with housing on site.

## **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the

applicant's Conditional Use Permit application for the development and use of the project site.

2. The Commission has authority to hear the applicant's Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.116.040.
4. The Conditional Use Permit application is governed under Ketchum Municipal Code Chapter 17.116.
5. The 940 N Leadville Ave Work/Live Conditional Use Permit application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

### **DECISION**

**THEREFORE**, the Commission **approves** this Conditional Use Permit Application File No. P21-010 this Tuesday, June 14, 2022, subject to the following conditions of approval.

### **CONDITIONS OF APPROVAL**

1. This approval is based on the floorplan submitted by Michael Blash Architects, and attached to the staff report, dated May 11, 2022. Any change to the floor plan or change in the location or configuration of the uses from what is depicted in the plans, shall be subject to an amendment to this Conditional Use Permit. The residential use shall occur in the location depicted on the plans and shall not exceed 965 square feet and no more than one bedroom.
2. This conditional use permit is non-transferrable to any other property owner or business other than Alpenhound. Any change in property ownership, business operator, or residential tenant requires an amendment to this Conditional Use Permit. In the event Alpenhound is no longer the business operation, a new Conditional Use Permit will be required.
3. Occupancy of the live unit must be either the owner of Alpenhound dog kennel, or an employee of Alpenhound.
4. Prior to issuance of the building permit for the expansion approved under Design Review P22-011, a Restrictive Covenant shall be recorded against the property prohibiting the separate sale of the live unit thereby ensuring that the work/live unit remain in common ownership and cannot be sold separately.
5. Hours of operation of the business shall be posted and remain posted at all times.
6. Within one year of receipt of certificate of occupancy for the project, and each year following, the applicant shall request an inspection by the Fire Marshall to ensure all fire

codes are being met. Documentation of the inspection shall be provided to the Planning and Building department.

7. Inspections by the Planning and Building staff may be scheduled at the discretion of staff to ensure all conditions of this Conditional Use Permit are met. Owner shall cooperate with facilitating the inspections at the request of the City. In the event the owner does not cooperate, this CUP may be subject to revocation.
8. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
9. In the event the residential unit is occupied by an employee of Alpenhound, the owner shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
10. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.
11. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.
12. In the event the property is in violation of the conditions of approval, the Conditional Use Permit may be subject to revocation.

Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



City of Ketchum  
Planning & Building

IN RE:	)	
	)	
940 N Leadville Ave	)	<b>KETCHUM PLANNING AND ZONING COMMISSION</b>
Design Review	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND</b>
Date: June 14, 2022	)	<b>DECISION</b>
	)	
File Number: P22-011	)	

**PROJECT:** 940 N Leadville Addition

**APPLICATION TYPE:** Design Review

**FILE NUMBER:** P22-011

**ASSOCIATED APPLICATIONS:** Conditional Use Permit (P22-010)

**REPRESENTATIVE:** Michael Blash, Michael Blash Architects, LLC

**OWNER:** Amy Martin

**LOCATION:** 940 N Leadville Ave – Ketchum Townsite Lot 3 Block 30

**ZONING:** Light Industrial – One (LI-1)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the applications for a Conditional Use Permit and Design Review on February 16, 2022. Both applications have been reviewed concurrently and were deemed complete on April 25, 2022. Staff routed the application materials to all city departments for review. Department comments were provided to the applicant on March 25, 2022. All department comments have been addressed satisfactorily through applicant revision of project plans or conditions of approval.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4, 2022. The public hearing notice was

published in the Idaho Mountain Express the on May 4, 2022. A notice was posted on the project site and the city’s website on May 4, 2022.

The Planning and Zoning Commission (the “Commission”) considered the 940 N Leadville Design Review (Application No. P21-011) and the Conditional Use Permit (Application No. P21-010) applications during a special meeting on May 24, 2022. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522. After considering staff’s analysis, and public comment, the Commission unanimously approved the 940 N Leadville Design Review application and Conditional Use Permit with conditions as proposed by staff.

**BACKGROUND**

The Applicant is requesting a Conditional Use Permit (CUP) to establish a work/live unit and Design Review approval for modifications to the existing building that replace a portion of the existing building with a two-story garage, office, and outdoor dog run area located at 940 N Leadville Ave (the “subject property”). Rhe proposed project consists of 965 square feet of living space and 1,293 square feet of work space. The subject property is zoned Light Industrial 1 (LI-1) which allows Dog Kennels as a permitted use by right and work/live units with CUP approval. Currently, the subject property contains a 2,151 square foot one-story building consisting of a non-conforming residential use and a conforming commercial use and a 289 square foot detached shed in the rear of the property.

The dog kennel, Alpenhound, has been in operation for the past two years. The non-conforming residential use has existed since 1988. The residential use is non-conforming and does not have a valid CUP as required by the Ketchum Municipal Code (KMC). The applicant’s desire to expand the existing building triggers the requirement that the non-conforming residential use come into compliance with the KMC.

The applications submitted bring the property and use into conformance with all code requirements and allow for the expansion of the permitted business operation. The CUP is applicable to the work/live unit and configuration; however, the CUP is not related to the operation of dog kennel since the use is a permitted use in the LI-1 District. Table 1 below outlines the proposed interior square footage of each use for the proposed project as shown on the proposed project plans.

Table 1: Proposed Uses and Square Footage

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Ground Floor – Storage/Dog Wash/Laundry	480 SF	
Second Floor – Office/Dog Feeding Area	486 SF	
Subtotal	1,293 SF	57% of total

Live		
Ground Floor – Existing Living	965 SF	
Subtotal	965 SF	43% of total
Total Square Footage	2,258 SF	
Dog Deck and Garage*	1,363 SF	

\*Dog deck not included in total “work” square footage as it is not enclosed.

Garage not included in work as it is used for both live and work.

The KMC has very specific requirements for work/live units outlined in KMC Section 17.124.090.A.5 including ownership and occupancy of the space, size of workspace compared to live space, access to each space, and parking. As proposed, the work/live unit meets all requirements and standards in the KMC.

The project proposes to construct improvements to the right-of-way per the City of Ketchum improvement standards; however, the applicant requested a waiver of the sidewalk requirement per the provisions of KMC Section 17.124.140 which allows for a payment-in-lieu of constructing the sidewalk.

### FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

#### FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Light Industrial – One (LI-1)</i>	YES
<p><b>Finding:</b> The building includes a “dog kennel” operation and a residential unit, together classified as a “work/live” unit. <u>KMC 17.12.020</u> outlines permissible uses in the LI-1 zone district. Dog Kennels are listed as a permitted use in the LI-1 zone district. Work/live units are permitted with a conditional use permit (CUP) approval. The applicant has requested approved of a CUP for the work/live which is being reviewed concurrently with the Design Review application.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
<p><b>Finding:</b>  <u>Permitted:</u> 8,000 square feet   <u>Proposed:</u> 5,500 square feet – the subject property is Lot 3, Block 30 of the Ketchum Townsite (Village of Ketchum), platted in 1948. Per KMC 17.128.010, lots created prior to April 21, 1966 can be developed provided that all other dimensional limitations are met.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
<p><b>Finding:</b>  <u>Required:</u> Minimum lot width of an average of 80 feet is required in the LI-2 zone district.</p> <p><u>Proposed:</u> The subject property is 55 feet wide as shown on the survey included in the project plans. The property was platted in 1948. Per KMC 17.128.010, lots with non-conforming lot widths created prior to April 21, 1966 can be developed provided that all other dimensional limitations are met.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p><b>Finding:</b>  <u>Permitted:</u>  Front (Leadville/west): 20 feet  Side (Interior Lot Line/north): 0' <sup>1</sup> for internal side yards and, except for non-enclosed public use structures, a minimum of 10' for street side yards  Side (Interior Lot Line/south): 0' <sup>1</sup> for internal side yards and, except for non-enclosed public use structures, a minimum of 10' for street side yards  Rear (Alley/east): 0' <sup>1</sup></p> <p>Footnote 1: If the lot adjoins a more restrictive Residential District on the side or rear, the more restrictive setbacks of that district shall apply.</p> <p><u>Proposed (per Sheet A3):</u>  The lot is bordered on all sides by LI-1 zoned lots, therefore, no additional setbacks are required.  Front (Leadville/west): 22 feet 2 inches as measured to the second story dog deck  Side (Internal Lot Line/north): 0 feet  Side (Internal Lot Line/south): 0 feet  Rear (Alley/east): 0 feet</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p><b>Finding:</b>  <u>Permitted:</u> 35 feet  Height of building/light industrial districts: The greatest vertical distance measured at any point from natural, existing, or finished grade, whichever is lowest, to the highest point of the roof, except where expressly exempted by section 17.12.050 of this title. No facade shall be greater than the maximum height permitted in the zoning district. Building heights in light</p>	

industrial districts are subject to the qualifying ground floor heights and residential standards contained in section 17.124.090 of this title.

Proposed: 25 feet as shown on Sheet A6.

17.125.030 – Off Street Parking and Loading	Conformance
<i>Per KMC 17.125.020 all new development must comply with the off street vehicle parking requirements of the chapter.</i>	YES
<p><b>Finding:</b>  <u>Required per KMC 17.125.030:</u></p> <ul style="list-style-type: none"> <li>- Parking space dimensions of 9x18 feet</li> <li>- Unobstructed access to and from streets</li> <li>- Located in the rear of a building or lot</li> <li>- Lighting and Screening</li> <li>- Requirements for alleys</li> </ul> <p><u>Proposed:</u> As shown on Sheet A4 of the project plans, all surface parking spaces meet the minimum 9x18 feet dimensional requirements. All parking is located in the front of the property rather than the alley; however, this is an existing building with only partial demolition and no changes to the parking area are proposed from what exists today. The project does not propose any parking area lighting except for downcast lighting under the carport, which complies with the city’s dark skies ordinance. The surface parking area is screened with landscaping along the front of the property except for the driveway curb cut.</p>	

17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Minimum amount of parking spaces required per use.</i>	YES
<p><b>Finding:</b>  <u>Required:</u>            1 space per 1,000 gross square feet for the work unit            1 space per bedroom for the live unit</p> <p>The project proposes a single one-bedroom live unit and 1,715 square feet of work space. A total of three parking spaces is required.</p> <p><u>Proposed:</u>            As shown on Sheet A3, the project proposes a total of three parking spaces. One garage space, one carport space, and one surface parking space.</p>	



17.125.060 – Bicycle Parking	Conformance
<i>Requirements</i>	YES Condition #3
<p><b>Finding:</b>  <u>Required:</u> 1 bicycle rack, accommodating at least two bicycles, for every four parking spaces required.</p> <p><u>Proposed:</u> A bike rack accommodating two bicycles exists on the property today but is not shown on the project plans. Staff recommends condition #3 to ensure the bicycle racks remains and is shown on the project plans submitted at building permit application.</p>	

17.125.030H – Curb Cut	Conformance
<i>Requirements</i>	YES
<p><b>Finding:</b>  <u>Required:</u> A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p><u>Proposed:</u> The total lot frontage is 55 feet. The proposed plans show a curb cut, measured at the property line of 19.25 feet, 35% of the total lot frontage.</p>	

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
<p><b>Finding:</b> As shown on Sheet A3, the project proposes minimal exterior lighting for the project that does not trespass onto adjacent properties. The two fixtures proposed are both dark sky compliant. Final review of light fixtures for compliance with the city’s dark sky ordinance will be completed at the time of building permit application and review. There is one existing fixture that will be removed with the demolition of the project and replaced with the light fixtures proposed in the project plans.</p>	

### FINDINGS REGARDING WORK/LIVE STANDARDS

17.124.090.A.5.a – Work/Live Units	Conformance
<i>The work portion of the unit meets the definition of work/live unit set forth in <a href="#">section 17.08.020</a> of this title, including that the project is subject to council approval of a restrictive covenant.</i>	YES Condition #4
<p><b>Finding:</b>  <u>Required:</u> Work/live units incorporate residential living space in a nonresidential building. Work/live units are held jointly in common ownership and the work and live spaces cannot be sold or platted as separate condominiums, as documented with a City-approved restrictive covenant recorded against the property.</p>	

Proposed: The living space is within a non-residential building that has been used as a bakery, surfboard shop, woodworking studio, and dog kennel. In all scenarios, the living space has been secondary to the work space and always within same ownership. To date, a restrictive covenant has not been recorded. Staff recommends condition #4 to ensure the covenant is recorded prior to issuance of a building permit for the project.

17.124.090.A.5.b – Work Unit Standards	Conformance
<p><i>The work unit is:</i></p> <p><i>(1) Suitable for on-site employees, foot traffic/customers, and meets applicable building and fire codes;</i></p> <p><i>(2) Signed and posted with regular hours of operation;</i></p> <p><i>(3) Served by the prominent means of access for the work/live unit; and</i></p> <p><i>(4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.</i></p>	<p>YES</p> <p>Condition #5</p>
<p><b>Finding:</b></p> <p>The Alpenhound business has one full-time employee, owner Amy Martin. According to a letter written by the owner and applicant included in the application materials, one additional part-time employee provides coverage for the owner when she is out of town. There are three parking spaces proposed for the project which provide ample parking and access for the owner and employee. The business operations do not include pick-up and drop-off times like a traditional kennel. The owner goes to each dog owner’s business and picks up the dogs from their residences or offices. No traffic from customers impacts the subject property. The building department and fire department reviewed the existing building and proposed addition. All requirements are met in the existing structure, compliance with building and fire codes for the addition will be reviewed at the time of building permit review for the project. Condition #5 requires the business hours to be posted and remain posted at all times.</p> <p>As shown on Sheet A3, the work unit is access via the garage door and an entry door in the northern portion of the proposed project. This is the prominent access to the work unit. The residential unit is accessed through a separate door on the south end of the building which accesses the live unit specifically.</p> <p>Alpenhound is a registered business in good standing with the City of Ketchum. The City requires renewal of business licenses annually.</p>	

17.124.090.A.5.c – Live Unit Standards	Conformance
<p><i>The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</i></p>	<p>YES</p>

<p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed 1,000 gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in <a href="#">chapter 17.125</a> of this title.</p>	
<p><b>Finding:</b>  The total square footage of the proposed project is 2,680 square feet, 965 square feet of which is the live unit. This represents 36% of the total project. The residential unit is not readily visible from the street as it is located on the south side of the building, behind a portion of the work unit, and screened by a fenced in patio with six foot fence. The primary use is the dog kennel, which is the prominent space visible from the street. As shown on the right-of-way encroachment plan, the property meets all requirements for snow storage while maintaining access and circulation for all three required parking spaces including one space for the live unit. As outlined above, the project meets all parking and loading requirements outlined in Chapter 17.125 of the KMC.</p>	

### FINDINGS REGARDING DESIGN REVIEW STANDARDS

<b>17.96.060.A.1 - Streets</b>	<b>Conformance</b>
<p><i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i></p>	<p>YES Condition #5</p>
<p><b>Finding:</b> The subject property is on N Leadville Ave and currently connects to the right-of-way via the surface parking area asphalt. All proposed improvements to the right-of-way, including removal of some existing asphalt, regrading of the site, and installation of gravel parking area is at the expense of the applicant. The applicant requested a waiver from sidewalk construction; however, a fee-in-lieu of sidewalk construction is required per KMC 17.124.140. Staff recommends condition #5 to outline the timing of approval of the sidewalk waiver and payment of the in-lieu fee.</p>	

<b>17.96.060.A.2 - Streets</b>	<b>Conformance</b>
<p><i>All street designs shall be approved by the City Engineer.</i></p>	<p>YES – condition #4</p>
<p><b>Finding:</b> No new streets are proposed for the project, however, all improvements to the right-of-way as shown on the project plans has been reviewed by the City Engineer. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project per condition of approval #4.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<p><i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i></p>	<p>YES Conditions #4 and #5</p>
<p><b>Finding:</b> KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the LI-1 zone district. The applicant requested a waiver from sidewalk construction for the project per the requirements of KMC Section 17.124.140. City planning, engineering, and streets are supportive of the waiver as N Leadville is a local street with no direct thru traffic, operating more like a residential street than an industrial collector street like Lewis Street and Northwood Way. The project proposes to remove some existing asphalt, regrade the right-of-way to meet city standards, and place 8 feet of gravel along the right-of-way for on-street parking per city standards. All improvements to the right-of-way will be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit as per recommended condition #4. Waiver of the sidewalk requirement must be approved by City Council following recommendation by the Commission. Staff recommends condition #5 outlining the timing of City Council approval and payment of the in-lieu fee.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<p><i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i></p>	<p>YES Condition #4</p>
<p><b>Finding:</b> The city engineer supports the waiver of the sidewalk construction. Proposed right-of-way improvements in lieu of sidewalk construction have been reviewed and approved by the City Engineer. Final design of right-of-way improvements will be reviewed and approved by the City Engineer at the time of building permit review per condition #4.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <li><i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i></li> <li><i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></li> </ul>	<p>YES</p>
<p><b>Finding:</b> As described above, the City Engineer agrees that sidewalks are not necessary for the proposed project per subsection b of this standard.</p>	

<b>17.96.060.B.4 - Sidewalks</b>	<b>Conformance</b>
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	N/A
<b>Finding:</b> As described above, the sidewalk requirement has been waived for this project.	

<b>17.96.060.B.5 – Sidewalks</b>	<b>Conformance</b>
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	N/A
<b>Finding:</b> As described above, the sidewalk requirement has been waived for this project.	

<b>17.96.060.B.6 - Sidewalks</b>	<b>Conformance</b>
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	YES Condition #5
<b>Finding:</b> The applicant has requested a waiver of the sidewalk construction requirement and will pay a fee-in-lieu of construction as outlined in this standard. Staff recommends condition #5 which outlines the process for submitting design drawings and timing of payment of in-lieu fees.	

<b>17.96.060.C.1 - Drainage</b>	<b>Conformance</b>
<i>All stormwater shall be retained on site.</i>	YES
<b>Finding:</b> The subject property slopes downward to the right-of-way from the rear of the property. Per the site grading and drainage shown on the right-of-way improvements plan, all drainage from the property is being retained on site with proposed drainage infrastructure in the center of the front property line. The proposed drainage has been reviewed and approved by the City Engineer.	

<b>17.96.060.C.2 - Drainage</b>	<b>Conformance</b>
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #4

**Finding:** As shown on the right-of-way improvements plan, all stormwater is retained on-site. The project proposes to construct right-of-way improvements the length of the subject property, including a trench drain, dry well, and regrading of the right -of-way to meet city standards. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance per condition #4.

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	N/A
<b>Finding:</b> The City Engineer did not identify any additional drainage improvements during department review.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
<b>Finding:</b> Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the city engineer prior to issuance of a building permit per condition #4.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<b>Finding:</b> All project costs associated with the development, including installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<b>Finding:</b> All utilities to the existing structure are underground. Per comments from water and sewer, no changes to the existing services are required for the proposed project. An Idaho Power transformer is located at the southeast corner of the property on an above ground power pole. A service line runs from the pole to a meter on the southeast corner of the property and serves the existing building underground from there. Idaho Power conducted a review of the proposed project and determined that no upgrades to the existing power service is required per a letter dated April 11, 2022.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<b>Finding:</b> No extension of utilities is required for the project, therefore, this standard does not apply.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<b>Finding:</b> The adjoining structures to the west and south are primarily one and two-story structures of traditional residential architecture and materials. The structure to the south is log cabin construction with grouted river rock along the ground floor. To the west are two residential structures with horizontal wood/vinyl siding. To the north, the structures are more commercial in nature with flat roofs of cinder block or concrete construction. The proposed project includes a blend of horizontal wood siding on the existing structure with wood, stucco, and metal siding materials for the addition. The colors of materials are very complimentary of the adjoining structures.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<b>Finding:</b> The subject property includes a building that was built in the 1950s. Although the building housed many beloved business in its history, the building has not been identified as a local landmark and is not listed on the City of Ketchum’s Historic Building/Site List.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<b>Finding:</b> The existing building was built in the 1950s, therefore this standard does not apply.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES

**Finding:** The project includes direct access to the nearest street, N Leadville Ave, which functions much like a local/residential street. These streets are known to provide pedestrian circulation within the public right-of-way. The project does not propose any improvements that would obstruct pedestrian access to the nearest street.

<b>17.96.060.F.2 – Architectural</b>	<b>Conformance</b>
<i>The building character shall be clearly defined by use of architectural features.</i>	YES

**Finding:** The building character is a unique blend of traditional residential architecture and modern design elements. The existing building has a gabled roof running north to south and horizontal siding on the façade. The proposed addition is more modern with clean vertical and horizontal lines and stucco/metal/wood façade treatments. The proposed project blends the orientation of materials between the existing building and proposed addition well, specifically the vertical siding of the dog deck area and it’s cohesion with the vertical roofing material on the existing building.

<b>17.96.060.F.3 – Architectural</b>	<b>Conformance</b>
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES

**Finding:** The project uses a consistent set of materials including wood siding, metal siding, and stucco. The proposed materials for the addition blend well with the materials on the existing building, particularly the most visible elements such as the roof and front fence area.

<b>17.96.060.F.4 – Architectural</b>	<b>Conformance</b>
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES

**Finding:** Existing accessory structures are being removed as part of the proposed project. No additional accessory structures are proposed. There are existing fences and retaining walls on the property. Fences are a vertical wood design that is being mirrored for the proposed fence along the north property line and the fenced in patio in the front of the property. All retaining walls are a poured concrete that match the color of the proposed stucco on the building.

<b>17.96.060.F.5 – Architectural</b>	<b>Conformance</b>
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES

**Finding:** The existing building is a one-story structure, with the addition stepping to a second story. The maximum height of the building is at the rear of the addition near the alley.



Various areas of relief are included in the proposed addition. The second-floor dog deck is uncovered and serves as the roof for the open carport below.

<b>17.96.060.F.6 – Architectural</b>	<b>Conformance</b>
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p><b>Finding:</b> The subject properties’ primary street frontage is N Leadville Ave. The project orients to the street frontage with the second floor dog deck and main entrance to the building facing Leadville. Signage for the business will be located on the fence that encloses the front patio area, as shown on the project plans, which draws attention from the street.</p>	

<b>17.96.060.F.7 – Architectural</b>	<b>Conformance</b>
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p><b>Finding:</b> As shown on Sheet A4 of the project plans, the garbage area is enclosed in a storage area between the carport and fenced patio area at the front of the building. The garbage area is fully enclosed by the building. No satellite receivers are proposed for the project.</p>	

<b>17.96.060.F.8 – Architectural</b>	<b>Conformance</b>
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p><b>Finding:</b> As shown on Sheet A4 of the project plans, snow retention exists on the gabled roof of the existing building. The roof and dog deck for the addition is designed to drain to a series of roof drains, scuppers, and downspouts.</p>	

<b>17.96.060.G.1 – Circulation Design</b>	<b>Conformance</b>
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<p><b>Finding:</b> The project is connected directly to the street network on N Leadville Ave with paved access along the road. The closest sidewalk is on 10<sup>th</sup> Street at the corner of 10<sup>th</sup> and Highway 75, however, there is no sidewalk connectivity or easements on N Leadville. Bicycle access is from the road as well.</p>	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
<b>Finding:</b> No awnings are proposed for the project, therefore, this standard does not apply.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
<b>Finding:</b> No new roads are proposed with the project. Vehicular access from the proposed project is provided as a direct driveway connection from the subject property to the street. Bicycle and pedestrian access is also direct to the street from the property.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
<b>Finding:</b> The subject property is an interior lot located more than 55 feet from the nearest intersection to the north, and 140 feet from the nearest intersection to the south.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
<b>Finding:</b> During department review, the fire department reviewed the proposed project and determined adequate access to the structure in the event of an emergency. There is direct access to the property from N Leadville Ave and the rear alley. Per a letter from Clear Creek Disposal dated April 20, 2022, the property shall continue the existing garbage service with three garbage carts that the owner is responsible for bringing to the street for pick-up. This garbage management approach has existed for the past two years with no expressed concerns from city staff or Clear Creek Disposal.	

<b>17.96.060.H.1 – Snow Storage</b>	<b>Conformance</b>
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
<b>Finding:</b> The right-of-way improvements plan outlines snow storage locations on the proposed plan for the impervious surface in the front of the property. The total impervious area is 1,490 square feet. The total proposed snow storage is 395 square feet, 30% of the total impervious area.	

<b>17.96.060.H.2 – Snow Storage</b>	<b>Conformance</b>
<i>Snow storage areas shall be provided on site.</i>	YES
<b>Finding:</b> All proposed snow storage is on-site as shown on the right-of-way improvement's plan.	

<b>17.96.060.H.3 – Snow Storage</b>	<b>Conformance</b>
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
<b>Finding:</b> There are four snow storage areas proposed, all over 25 square feet and five feet in width or depth.	

<b>17.96.060.H.4 – Snow Storage</b>	<b>Conformance</b>
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
<b>Finding:</b> The applicant is providing snow storage on site, therefore no snowmelt or hauling is being proposed.	

<b>17.96.060.I.1 – Landscaping</b>	<b>Conformance</b>
<i>Landscaping is required for all projects.</i>	YES
<b>Finding:</b> Sheet A3 of the project plans is the landscape plan for the project.	

<b>17.96.060.I.2 – Landscaping</b>	<b>Conformance</b>
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<b>Finding:</b> The landscape plan includes three columner buckhorn trees, a variety of salvia shrubs interspersed with karl forester grasses. All species proposed are common in the City of	

Ketchum and the microclimate. The placement of the landscaping no only screens the parking lot, but enhances the streetscape on an otherwise unimproved stretch of road.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<b>Finding:</b> All proposed landscape elements are drought tolerant.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<b>Finding:</b> The landscaping provides a buffer between the road and the surface parking area of the project. Additionally, the landscaping provides a buffer between adjacent residential and commercial structures in the immediate vicinity of the project.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
<b>Finding:</b> The applicant has requested a waiver from sidewalk construction, therefore, this standard does not apply.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
<b>Finding:</b> The project does not propose any below grade structures.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
<b>Finding:</b> The subject property is not adjacent to any bodies of water; therefore, no riparian setback exists for the property. Additionally, the project does not propose any below grade structures.	

**CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 940 N Leadville Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

**DECISION**

**THEREFORE**, the Commission **approves** this Design Review Application File No. P21-011 this Tuesday, June 14, 2022, subject to the following conditions of approval.

**CONDITIONS OF APPROVAL**

1. The design review approval is subject to all conditions of approval associated with Conditional Use Permit approval P22-010.
2. The term of this design review approval shall be 12 months from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal,

the date the approval is granted by the City Council subject to changes in zoning regulations. If a building permit for the proposed project is not submitted within said time, this permit shall be void.

3. Prior to building permit application, plans shall be revised to indicate location of one bicycle rack accommodating two bicycles.
4. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
5. Prior to building permit application, applicant shall submit a design plan and cost estimate for required sidewalk improvements, that conform to city standards, adjacent to 940 N Leadville Ave for review by the City Engineer and Streets Department. Fee-in-lieu of sidewalk improvements shall be approved by City Council, and in-lieu payment of 110% of the cost estimate made to the city, prior to submittal of a building permit application for the project. If the fee-in-lieu for sidewalk improvements is not approved by City Council, applicant shall install all sidewalk improvements per city standards as reviewed and approved by the City Engineer.

Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



City of Ketchum  
Planning & Building

IN RE: )  
 )  
1<sup>st</sup> & Sun Valley Office Building ) KETCHUM PLANNING AND ZONING COMMISSION  
Design Review ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
 ) DECISION  
 )  
Date: June 14, 2022 )  
 )  
File Number: P21-100 )

PROJECT: 1<sup>st</sup> & Sun Valley Office Building

APPLICATION TYPE: Design Review

FILE NUMBER: P21-100

ASSOCIATED APPLICATIONS: Condominium Subdivision Preliminary Plat P22-019

ARCHITECT: Scott Payne, Farmer Payne Architects

DEVELOPER: Reid Sanborn

PROPERTY OWNER: 131 E Sun Valley Rd LLC

LOCATION: 131 E Sun Valley Road (Ketchum Townsite: Block 37: Lot 8)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2)

OVERLAY: None

**RECORD OF PROCEEDINGS**

The Planning and Zoning Commission considered the 1<sup>st</sup> & Sun Valley Office Building Design Review Application File No. P21-100 during their regular meeting on May 24<sup>th</sup>, 2022. The application was considered concurrently with Condominium Subdivision Preliminary Plat Application File No. P22-019 and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice

The public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4<sup>th</sup>, 2022. The public hearing notice was published in the Idaho Mountain Express the on May 4<sup>th</sup>, 2022. A notice was posted on the City’s website on May 4<sup>th</sup>, 2022. The public hearing notice was posted on the project site on May 17<sup>th</sup>, 2022.

## FINDINGS OF FACT

The Planning and Zoning Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The 1st & Sun Valley Office Building project proposes to develop a new three-story commercial office building at the northeast corner of 1st Avenue and Sun Valley Road within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). The office building will be proposed to be subdivided into 5 condominium units for business tenants. 7 parking spaces—6 in the tandem configuration and 1 ADA space—are provided on site within a semi-enclosed surface parking area accessed from the block 37 alley.

### Findings Regarding Compliance with Zoning & Dimensional Standards

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Community Core Subdistrict 2 – Mixed-Use (CC-2)</i>	YES
<p><b>Finding:</b> The proposed development is a commercial office building. Business offices are permitted in the CC-2 Zone pursuant to Ketchum Municipal Code §17.12.020. Unlike the Retail Core (CC-1) Zone where business offices located on the ground floor with street frontage require a Conditional Use Permit, business offices are permitted on the ground floor with street frontage in the CC-2 Zone.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
<p><b>Finding:</b>  <u>Required:</u> Minimum lot size of 5,500 square feet required in the CC-1 zone district.   <u>Proposed:</u> The subject property is 5,500 square feet.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
<p><b>Finding:</b>  <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-1 Zone.   <u>Proposed:</u> Lot 8 is 55 feet wide.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p><b>Finding:</b>  <u>Required:</u>                      Front (1<sup>st</sup> Avenue/west): 5' average                      Side (Sun Valley Road/south): 5' average                      Side (interior/north): 0 feet                      Rear (alley/east): 3 feet</p>	



Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be setback 10 feet from all building facades.

Proposed:

The front and street side setback calculations are provided on Sheet A100 of the project plans.

Front (1<sup>st</sup> Avenue/west): All three floors are setback an average of 5 feet from 1<sup>st</sup> Avenue.

Side (Sun Valley Road/south): The first and second floor are setback an average of 5 feet from Sun Valley Road. The third floor is setback an average of 7.58 feet from Sun Valley Road.

Side (interior/north): 9''

Rear (alley/east): 3'-2''

The roof plans on Sheets A204 and A205 provide dimensioned setbacks for the mechanical equipment and roof access structure to the building facades.

Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: The mechanical equipment is setback 11'-5'' from the rear façade, 31'-4'' from the Sun Valley Road facade, 10' from the interior side façade, and approximately 70 feet from the 1<sup>st</sup> Avenue façade. The rooftop access structure is setback 10' from the interior side façade, 38'-8'' from the alley façade, 15'-4'' from the Sun Valley Road Façade, and 43' from the 1<sup>st</sup> Avenue façade.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p><b>Finding:</b>  <u>Permitted:</u> 42 feet in the CC-2 Zone district</p> <p>Definition - Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Cantilevered Decks and Overhangs: 8 feet above grade and/or walking surface.</p> <p>Non-habitable Structures Located on Building Rooftops: 10 feet</p>	

Perimeter Walls Enclosing Rooftop Deck: 4 feet above roof surface and at least 75% transparent

Rooftop Solar and Mechanical Equipment: 5 feet above roof surface

Proposed:  
 Front Property Line Average Elevation: 5825'  
 Front Façade Maximum Height Elevation: 5865.42'  
 Front Façade Height: 39'-6''

Rear Property Line Average Elevation: 5826.45'  
 Rear Façade Maximum Height Elevation: 5867.69'  
 Rear Façade Height: 41'-10''

Top of Flat Roof Elevation: 5865.42'  
 Top of Nonhabitable Access Structure Elevation: 5873.92'  
 Height of Nonhabitable Access Structure Above Flat Roof Surface: 8.5 feet

Rooftop Mechanical Equipment: The rooftop mechanical equipment extends 4'-9'' above the roof surface.

17.124.040 – Floor Area Ratios and Community Housing	Conformance
<i>The permitted FAR in the Community Core Zone is 1.0. The Planning &amp; Zoning Commission may allow an increased FAR subject to Design Review (Ketchum Municipal Code §17.124.040.B).</i>	YES Condition #2
<p><b>Finding:</b>  <u>Permitted:</u>            Permitted FAR: 1.0            Permitted FAR with Community Housing: 2.25</p> <p><u>Proposed:</u>            The FAR calculation is provided on Sheet A001 of the project plans.            Total Gross Floor Area: 10,932 square feet            Lot Area: 5,500 square feet            FAR: 1.99</p> <p>Community Housing Mitigation Calculation:            Permitted Gross Floor Area (1.0 FAR): 5,500 square feet            Proposed Gross Floor Area: 10,932 square feet            Increase Above Permitted FAR: 5,432 square feet            20% of Increase: 1,086 square feet            Net Livable (15% Reduction): 923 square feet</p> <p>Community Housing In-Lieu Fee: \$219,674.00</p>	

Pursuant to condition of approval #2, as a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 923 square feet is required. The applicant has proposed paying the in-lieu fee to satisfy their community housing contribution in exchange for the FAR exceedance. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.

17.125.030 – Off Street Parking and Loading	Conformance
<i>Pursuant to Ketchum Municipal Code §17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<p><b>Finding:</b>  <u>Required pursuant to Ketchum Municipal Code §17.125.030:</u></p> <ul style="list-style-type: none"> <li>- Parking Space Dimensions for 90-Degree Angle Space: 9x18 feet</li> <li>- Aisle Width for 90-Degree Parking Space: 24 feet</li> <li>- Access to Streets: unobstructed access to and from a street shall be provided for all off street parking spaces</li> <li>- Location: surface parking lots shall be located in the rear of a building or lot</li> <li>- Lighting and Screening</li> </ul> <p><u>Proposed Parking:</u> Each of the surface parking spaces are 9x18 feet. Unobstructed access to the surface parking area is provided from the Block 37 alley. The surface parking lot is located in the rear of the building and sufficiently screened from public view with perforated metal panels.</p>	

17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<p><b>Finding:</b>  <u>Required (KMC §17.125.040)</u>            Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><u>Community Core Off-Street Parking and Loading Calculations (KMC §17.125.050)</u>            D. On Street Parking Credit</p> <ol style="list-style-type: none"> <li>1. In a circumstance where the off-street parking matrix results in a requirement of more than four parking spaces, four on street parking spaces per 5,500 square feet of lot area may be credited toward the required parking demand after the required four space minimum on site is satisfied.</li> <li>2. Only existing and available parking spaces located directly adjacent to the property lines of the subject property shall be counted towards the on-street parking credit.</li> </ol>	

3. The credit spaces shall only be credited for the nonresidential parking demand of the project.

Project Parking Demand

The project generates a total parking demand of 10 spaces. Each of the 5 offices within the commercial building generates a parking demand of 2 spaces.

*Ground Floor*

Tenant Space 1 (1,813 gross square feet): 2 parking spaces required

*Second Floor*

Tenant Space 2 (1,818 gross square feet): 2 parking spaces required

Tenant Space 3 (1,779 gross square feet): 2 parking spaces required

*Third Floor*

Tenant Space 4 (1,812 gross square feet): 2 parking spaces required

Tenant Space 5 (1,762 gross square feet): 2 parking spaces required

Total Parking Demand: 10 Parking Spaces

Proposed

7 on-site spaces are provided within the semi-enclosed surface parking area accessed from the block 37 alley. 6 of these spaces are arranged in a tandem configuration. The Commission approves the tandem configuration for the commercial development because the 2 parking spaces within each tandem stall are both assigned to one commercial condominium unit and designated as limited common elements on the preliminary plat map. The project takes advantage of the on-street parking credit that provides 4 on-street parking spaces per 5,500 square feet of lot area for projects in the Community Core (KMC §17.125.050). These 4 on-street spaces may be credited toward nonresidential parking demand only after the 4 minimum required parking spaces are provided on site. Only existing and available parking spaces located directly adjacent to the property lines of the subject property may be counted towards the on-street parking credit. The 4 on-street credit spaces along Sun Valley Road and 1st Avenue directly adjacent to the property will meet the parking demand for the 2 offices that do not have parking spaces assigned to their units on site. The ADA parking space must remain open for public customers and may not be assigned to an individual office tenant.

17.125.060 – Bicycle Parking	Conformance
	YES Condition #5
<p><b>Finding:</b>  <u>Required:</u> 1 bicycle rack, accommodating at least two bicycles, for every four parking spaces required. 3 bicycle racks, accommodating at least two bicycles, are required for the office building project.</p>	

Proposed: Sheet A1.0 shows that 2 bike racks accommodating two bicycles have been provided on-site by the main building entrance along Main Street. Sheet A2.0 shows that 2 bike racks accommodating two bicycles have been provided on-site within a covered bike parking area by the main building entrance along Sun Valley Road. The parking generates a parking demand of 10 spaces. 2.5 bike racks are required to be installed based on the project parking demand. Pursuant to Ketchum Municipal Code §17.96.070.F2, when the calculation of the required number of bicycle racks results in a fractional number, a fraction equal to or greater than ½ shall be adjusted to the next whole number. 3 bicycle racks, able to accommodate at least two bicycles each, is required to be provided. Pursuant to condition of approval #5, the applicant shall install an additional bike rack within the covered bike parking area.

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES Condition #9
<p><b>Finding:</b> The master signage plan for the project is provided on Sheet A101 of the project plans. Pursuant to condition of approval #9, separate sign permits shall be required for all new signs prior to installation.</p>	

#### FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #10
<p><b>Finding:</b> The project is located at the northeast corner of 1<sup>st</sup> Avenue and Sun Valley Road. No new streets are proposed for the project. The off-street surface parking area is accessed from the existing Block 37 alley. The right-of-way improvement plan is indicated on Sheet C1.1 of the project plans. The applicant has proposed repairing a section of asphalt along Sun Valley Road that borders the side the property line.</p> <p>Final civil drawings for all associated right-of-way and alley improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and the Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #10
<p><b>Finding:</b> No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City</p>	

Engineer and Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p><b>Finding:</b> The 1<sup>st</sup> &amp; Sun Valley Office Building project qualifies as a substantial improvement. The applicant has proposed to install new 8-foot-wide, heated, paver sidewalks along Sun Valley Road and 1<sup>st</sup> Avenue.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Conditions #3, #4, & #10
<p><b>Finding:</b> The applicant has proposed to install new 8-foot wide, heated, paver sidewalks within the right-of-way along Sun Valley Road and 1<sup>st</sup> Avenue. The applicant has also proposed to construct a new bulb-out at the street corner. Pursuant to condition #3, the bulb-out design shall comply with City right-of-way standards. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p> <p>The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 5th Streets, the bench, and 2-foot canopy overhang along Sun Valley Road. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. Pursuant to condition of approval #4, the ROW Encroachment Agreement must be approved by City Council prior to issuance of a building permit for the project.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <li><i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i></li> <li><i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></li> </ul>	N/A

**Finding:** N/A as sidewalks are required for this project.

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
<b>Finding:</b> As shown on Sheet C1.1 of the project plans, the proposed sidewalk improvements are equal to the length of the property’s street frontages along Sun Valley Road and 1 <sup>st</sup> Avenue.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES Condition #10
<b>Finding:</b> The new heated, paver sidewalk along 1 <sup>st</sup> Avenue will connect to the existing sidewalk to the north. The applicant will construct new ADA compliant ramps to transition from the Block 37 alleyway to the existing sidewalk along Sun Valley Road to the east. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
<b>Finding:</b> The applicant has not request relief from the requirement to construct sidewalks and Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #10
<b>Finding:</b> The proposed drainage improvements are indicated on Sheet C1.1 of the project plans. All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application	

for final review and approval by the City Engineer. The final civil drawings submitted with the building permit application should show drainage arrows and slopes.

Pursuant to condition #10, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer. The final project plans submitted with the building permit application must specify the location of all roof drains.

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #10
<p><b>Finding:</b> See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards. All stormwater shall be retained on-site. The project proposes to construct right-of-way improvements for the length of the subject property, including curb and gutter, along Sun Valley Road and 1<sup>st</sup> Avenue. The project also proposes installing a new drywell and catch basin along 1<sup>st</sup> Avenue as well as a new catch basin and drywell within the alleyway. The civil drawings submitted with the building permit application should show drainage arrows and slopes. Pursuant to condition #10, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	N/A
<p><b>Finding:</b> The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #10
<p><b>Finding:</b> All drainage facilities shall be constructed to City standards. Final design of drainage facilities will be reviewed and approved by the City Engineer prior to issuance of a building permit per condition #10.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p><b>Finding:</b> All project costs associated with the development, including installation of utilities, are the responsibility of the applicant.</p>	



17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p><b>Finding:</b> All utilities within the development site shall be underground and concealed from public view. The new transformer is located at the northeast corner of the property setback 3'-8" from the alley. As indicated on Sheet A201 of the project plans, the transformer is proposed to be screened by perforated panels. The applicant has provided a letter from Idaho Power dated April 25, 2022 confirming their approval of the siting of the new transformer and that the proposed screening complies with their screening requirements. The electrical meters are installed on the exterior of the mechanical/maintenance room wall facing the surface parking area that is screened from public view by perforated metal panels.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p><b>Finding:</b> The location of the subject property is already served by fiber optical and therefore no conduit is required in this location.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p><b>Finding:</b> The development site is adjacent to: (a) the Friesen building to the north along 1st Avenue, (b) the Fisher Condominiums to the east across the alley, (c) a vacant lot to the south across Sun Valley Road, and (d) the new mixed-use development directly across 1st Avenue to the west. This area of downtown is transitioning as properties are redeveloped like the recent addition to the old post office at the northwest corner of Sun Valley Road and 1st Avenue. This area contains both smaller-scaled older buildings as well as new, larger-scaled developments like the mixed-use building currently under construction at the southwest corner of 1st Avenue and 4th Street. This project will add a contemporary building to the streetscape.</p> <p>The project's material and color sample board is provided on Sheet A002 of the project plans. The primary materials used on the exterior walls of the office building are antique brick and bronze vertical metal siding. Large rectangular windows break up these solid materials and add transparency to the office building. The canopy overhangs that project from the front and street side facades along 1st Avenue and Sun Valley Road are comprised of timber beams and bronze metal fascia. The on-site parking area along the alley is semi-enclosed and screened from public view along Sun Valley Road with bronze perforated metal screens.</p>	

The design approach combines brick, a traditional material characteristic of Ketchum’s local vernacular architecture, with contemporary materials like vertical metal siding to enhance visual interest. The recently developed Sun Valley & 1st Mixed-Use Building at the northwest corner of Sun Valley Road and 1st Avenue also combines natural materials, including wood siding and stone veneer, with more modern elements like metal panels. The project’s proposed materials are compatible with neighboring buildings and the surrounding downtown area. The use of brick on the first two floors provides a visually solid base anchoring the office building to the project site. Brick detailing forms a cap at the top of the first and second levels to visually distinguishing each floor of the building. The third floor is differentiated from the lower levels with vertical metal siding.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<p><b>Finding:</b> The property is developed with an existing building that was constructed in 1889. This 133-year-old building has been most recently occupied by the Antique Alley retail store and was formerly the River Run Auto Parts store. The single-story, wood frame building was identified on the 2005 Walsworth Associates Windshield Survey as a historic resource. The existing structure is not listed on Ketchum’s Historic Building/Site List due to its poor condition and insufficient history integrity. All buildings over 50 years of age must follow the process for demolition of buildings specified Ketchum Municipal Code §15.16.040. The demolition permit may not be issued until a complete building permit application for the replacement project on the property has been accepted by the City and all required fees have been paid.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<p><b>Finding:</b> N/A. The existing building will be demolished. The office building project is new construction.</p>	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<p><b>Finding:</b> The two building entrances are recessed—the building entrance along Sun Valley Road is setback approximately 11 feet from the street side property line and the building entrance along 1st Avenue is setback 10 feet from the front property line. The building entrances are further defined by projecting, canopy overhangs. The building entrances lead to paver pathways on the subject property that connect to the new sidewalks that will be constructed along Sun Valley Road and 1<sup>st</sup> Avenue.</p>	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p><b>Finding:</b> The design approach combines brick, a traditional material characteristic of Ketchum’s local vernacular architecture, with contemporary materials like vertical metal siding to enhance visual interest. The recently developed Sun Valley &amp; 1st Mixed-Use Building at the northwest corner of Sun Valley Road and 1st Avenue also combines natural materials, including wood siding and stone veneer, with more modern elements like metal panels. The project’s proposed materials are compatible with neighboring buildings and the surrounding downtown area. The use of brick on the first two floors provides a visually solid base anchoring the office building to the project site. Brick detailing forms a cap at the top of the first and second levels to visually distinguishing each floor of the building. The third floor is differentiated from the lower levels with vertical metal siding.</p> <p>Even though the commercial development will be an office building containing no retail, the design incorporates elements of traditional Main Street storefronts, including recessed entrances and transom windows. Large storefront windows and glass doors are utilized on the ground level along Sun Valley Road and 1st Avenue. These large windows and doors open the building towards the street corner and create a welcoming and inviting environment. This fenestration will humanize the commercial development by providing views into the internal life of the office building. The transparent windows and doors are balanced with the solid and durable brick and metal materials.</p> <p>The Sun Valley Road façade is distinguished by a central atrium that highlights the office building’s interior vertical circulation. The atrium is comprised of large rectangular windows with bronze metal trim and panels. The recessed balconies at the second and third floors further break up the mass of the building into visually distinct components.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p><b>Finding:</b> The project uses a consistent set of materials and colors, including antique brick and bronze metal siding. The design approach combines brick, a traditional material characteristic of Ketchum’s local vernacular architecture, with contemporary materials like vertical metal siding to enhance visual interest.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p><b>Finding:</b> The landscape plans are provided on Sheets A200A and A200B.</p>	

The applicant has proposed to install 4 street trees—2 along Sun Valley Road and 2 along 1<sup>st</sup> Avenue. The building steps back 5 feet from Sun Valley Road as it transitions from the surface parking area to the street corner. This setback area will be improved with a landscaped seating area that welcomes pedestrians and activate the streetscape. The board-formed concrete planter boxes will be vegetated with Blue Oat Grass and Pixie Fountain Hair Grass. The applicant has incorporated landscape planters into the guardrail design for the upper-level balconies. The steel upper-level planters will be vegetated with Trumpet Honeysuckle. The proposed landscaping softens the structure and surrounding hardscape. The board-formed concrete and steel planter boxes match the office building’s exterior materials.

No accessory structures are proposed.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p><b>Finding:</b> Even though the commercial development will be an office building containing no retail, the design incorporates elements of traditional Main Street storefronts, including recessed entrances and transom windows. Large storefront windows and glass doors are utilized on the ground level along Sun Valley Road and 1st Avenue. These large windows and doors open the building towards the street corner and create a welcoming and inviting environment. This fenestration will humanize the commercial development by providing views into the internal life of the office building. The transparent windows and doors are balanced with the solid and durable brick and metal materials.</p> <p>The Sun Valley Road façade is distinguished by a central atrium that highlights the office building’s interior vertical circulation. The atrium is comprised of large rectangular windows with bronze metal trim and panels. The recessed balconies at the second and third floors further break up the mass of the building into visually distinct components.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p><b>Finding:</b> The office building orients towards 1<sup>st</sup> Avenue and Sun Valley Road. The two building entrances are recessed—the building entrance along Sun Valley Road is setback approximately 11 feet from the street side property line and the building entrance along 1st Avenue is setback 10 feet from the front property line. The building entrances are further defined by projecting, canopy overhangs.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p><b>Finding:</b> As shown on Sheet A201 of the project plans, the garbage area is located within the surface parking area, which is screened from public view by perforated metal panels. The</p>	

applicant has submitted a letter from Clear Creek Disposal dated March 16<sup>th</sup>, 2022 confirming their approval of the proposed garage storage area configuration.

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p><b>Finding:</b> The roof plans are indicated on Sheets A204 and A205. The roof will slope to internal downspouts. Both building entrances are recessed and covered by the second level of the building. The applicant has also provided an awning that extends to the side property line along Sun Valley Road and extending 2 feet beyond the front property line along Sun Valley Road overhanging in the public right-of-way. The second floor and awning will provide weather protection for the areas where pedestrian will gather and circulate.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES Condition #10
<p><b>Finding:</b> The new heated, paver sidewalk along 1st Avenue will connect to the existing sidewalk to the north. The applicant will construct new ADA compliant ramps to transition from the Block 37 alleyway to the existing sidewalk along Sun Valley Road to the east. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p>	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	YES Condition #4
<p><b>Finding:</b> The ground-level canopy extends 2 feet over the front property line along Sun Valley Road. Pursuant to condition of approval #4, the ROW Encroachment Agreement must be approved by City Council prior to issuance of a building permit for the project.</p>	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES Condition #10
<p><b>Finding:</b> The project is located at the northeast corner of 1st Avenue and Sun Valley Road. No new streets are proposed for the project. The off-street surface parking area is accessed from the existing Block 37 alley. The proposed alley access will allow traffic to flow safely within the project and onto Sun Valley Road. The right-of-way improvement plan is indicated on Sheet</p>	

C1.1 of the project plans. The applicant has proposed repairing the asphalt on a section of Sun Valley Road that borders the side the property line.

Final civil drawings for all associated right-of-way and alley improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and the Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
<p><b>Finding:</b> The subject property is a corner lot with street frontage along both 1<sup>st</sup> Avenue and Sun Valley Road. No curb cuts or driveway entrances are proposed along 1<sup>st</sup> Avenue or Sun Valley Road. The surface parking area is accessed from the Block 37 alley.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #10
<p><b>Finding:</b> Please see above analysis for Ketchum Municipal Code §17.96.060.G3. Unobstructed access is provided for emergency vehicles along Sun Valley Road, 1<sup>st</sup> Avenue, and the Block 37 alleyway. The applicant has submitted a letter from Clear Creek Disposal dated March 16, 2022 confirming their approval of the garbage disposal configuration to service the dumpster within the surface parking area.</p> <p>Final civil drawings for all associated right-of-way and alley improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and the Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p>	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
<p><b>Finding:</b> Sheet C1.1 notes that all sidewalks within the public right-of-way will be heated. All of the improved parking and pedestrian circulation areas on the subject property are covered by the second floor and canopy overhangs.</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
<b>Finding:</b> Sheet C1.1 notes that all sidewalks within the public right-of-way will be heated. All improved parking and pedestrian circulation areas on the subject property are covered by the second floor and canopy overhangs.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
<b>Finding:</b> N/A. Sheet C1.1 notes that all sidewalks within the public right-of-way will be heated. All improved parking and pedestrian circulation areas on the subject property are covered by the second floor and canopy overhangs. No snow storage areas on the subject property are required because all parking and pedestrian circulation areas on the property are covered by the second floor and canopy overhangs.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
<b>Finding:</b> Sheet C1.1 notes that all sidewalks within the public right-of-way will be heated. All improved parking and pedestrian circulation areas on the subject property are covered by the second floor and canopy overhangs.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
<b>Finding:</b> The landscape plan is indicated on Sheets A200A and A200B of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<b>Finding:</b> Sheet C1.3 includes a plan view of the street trees and grates that have been designed to City right-of-way standards. The 4 street trees will be 3” minimum caliper Autumn Blaze Maple trees. The ground-level planters will be vegetated with Blue Oat Grass and Pixie Fountain Hair Grass. The upper-level planters will be vegetated with Trumpet Honeysuckle. The proposed landscaping will soften the building walls, beautify the surrounding streetscape, and complement the surrounding neighborhood. The landscape plan shall be readily adaptable to the site’s microclimate, soil conditions, orientation, and aspect.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<b>Finding:</b> All trees, shrubs, grasses, and perennials shall be drought tolerant. Native species are recommended.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<b>Finding:</b> The subject property is surrounded by compatible uses within the Community Core Zone. The vegetation will enhance the pedestrian-friendly streetscape. The planters incorporated into the guardrail design for the upper-level balconies will buffer these private outdoor spaces from Sun Valley Road and 1 <sup>st</sup> Avenue.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES Conditions #4 & #10
<p><b>Finding:</b> The building steps back 5 feet from Sun Valley Road as it transitions from the surface parking area to the street corner. This setback area on the subject property will be improved with a landscaped seating area that welcomes pedestrians and activate the streetscape. The applicant has also proposed a bench by the new bulb out on the sidewalk. The siting of the bench must comply with City standards and ADA requirements for clearance around all obstacles to provide a clear path for pedestrians.</p> <p>Final civil drawings for all associated right-of-way and alley improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and the Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p> <p>Pursuant to condition of approval #4, the ROW Encroachment Agreement must be approved by City Council prior to issuance of a building permit for the project.</p>	

**FINDINGS REGARDING COMPLIANCE WITH COMMUNITY CORE DESIGN REVIEW STANDARDS**



17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Conditions #4 & #10
<p><b>Finding:</b> The placement of all street trees, streetlights, benches, and street signs require final review and approval by the City Engineer. 6 feet minimum of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, streetlights, and benches. All amenities within the public right-of-way, including street trees and streetlights, must be reviewed and approved by the City Engineer. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #10.</p> <p>The project requires a ROW Encroachment Permit for the sidewalk pavers and snowmelt system, bench, and canopy overhang. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. Pursuant to condition #4, the ROW Encroachment Agreement must be approved by City Council prior to issuance of a building permit for the project.</p>	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	Yes
<p><b>Finding:</b> Sheet C1.3 provides a detail of the proposed street trees showing that the Autumn Blaze Maple will be 3” minimum caliper size and will be placed in tree wells in accordance with the City’s right-of-way standards. The placement of all street trees requires final review and approval by the City Engineer.</p>	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
<p><b>Finding:</b> Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Modification to the requirements of Ketchum Municipal Code §17.96.070.A may be recommended by the City Engineer and Streets Department following review of the civil final drawings submitted with the building permit application. No modifications to these requirements have been recommended by the City Engineer or Streets Department at this time.</p>	

17.96.070.B.1 – Architectural	Conformance
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<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
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**Finding:** Ketchum Municipal Code §17.96.070.B1 requires facades located more than 5 feet from interior side property lines to be designed with both solid surfaces and window openings. Facades located less than 5 feet from interior side property lines are not subject to this same standard due to fire separation requirements for zero-lot-line developments. The office building is setback 9 inches from the interior side property line. The north building elevation on Sheet A302 shows the proposed design of the interior side wall and includes an outline of the adjacent Friesen building. Most of the interior side façade will be vertical metal siding. The exposed portion of the interior side façade is broken up by a second-level recessed balcony and windows. The design carries the brick around corner of the building at the ground level to provide visual interest to the interior side wall.

17.96.070.B.2 - Architectural	Conformance
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<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
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**Finding:** Even though the commercial development will be an office building containing no retail, the design incorporates elements of traditional Main Street storefronts, including recessed entrances and transom windows. Large storefront windows and glass doors are utilized on the ground level along Sun Valley Road and 1st Avenue. These large windows and doors open the building towards the street corner and create a welcoming and inviting environment. This fenestration will humanize the commercial development by providing views into the internal life of the office building. The transparent windows and doors are balanced with the solid and durable brick and metal materials.

The building steps back 5 feet from Sun Valley Road as it transitions from the surface parking area to the street corner. This setback area will be improved with a landscaped seating area that welcomes pedestrians and activate the streetscape.

17.96.070.B.3 - Architectural	Conformance
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<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
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**Finding:** See above analysis for Ketchum Municipal Code §17.96.070.B2. The front and street side facades include significant fenestration and do not obscure views into the windows of the office condominium units.

17.96.070.B.4 - Architectural	Conformance
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<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
<b>Finding:</b> The roof plan is indicated on Sheets A204 and A205. The roof material is Class-A-Rated EPDM and ballasted EPDM. The flat roof form is compatible with the office building's contemporary design.	

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A
<b>Finding:</b> The roof plan is indicated on Sheets A204 and A205. The flat roof will slope to internal downspouts. No pitched roof elements are proposed for the office building project.	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	YES Condition #4
<b>Finding:</b> The ground-level canopy extends 2 feet over the front property line along Sun Valley Road. Pursuant to condition of approval #4, the ROW Encroachment Agreement for all encroachments in the right-of-way, including the sidewalk pavers and snowmelt system, bench, and canopy overhang, must be approved by City Council prior to issuance of a building permit for the project.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
<b>Finding:</b> The project does not contain ground floor residential units or elevated commercial space with front porches or stoops.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
<b>Finding:</b> As shown on Sheet A201 of the project plans, the garbage area is located within the surface parking area, which is screened from public view by perforated metal panels. The applicant has submitted a letter from Clear Creek Disposal dated March 16th, 2022 confirming their approval of the proposed garage storage area configuration.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
<p><b>Finding:</b> All utilities within the development site shall be underground and concealed from public view. The new transformer is located at the northeast corner of the property setback 3'-8" from the alley. As indicated on Sheet A201 of the project plans, the transformer is proposed to be screened by perforated panels. The applicant has provided a letter from Idaho Power dated April 25, 2022 confirming their approval of the siting of the new transformer and that the proposed screening complies with their screening requirements. The electrical meters are installed on the exterior of the mechanical/maintenance room wall facing the surface parking area that is screened from public view by perforated metal panels. The roof-mounted equipment is sufficiently screened by the roof parapet.</p>	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
<p><b>Finding:</b> The existing site survey on Sheet C0.0 indicates 4 existing street trees within the sidewalks along 1<sup>st</sup> Avenue and Sun Valley Road. The existing site does not contain any healthy or mature trees. Sheet C1.1 shows that the applicant will provide 4 new street trees—2 along Sun Valley Road and 2 along 1<sup>st</sup> Avenue.</p>	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
<p><b>Finding:</b> Sheet C1.3 includes a plan view of the street trees and grates that have been designed to City right-of-way standards. The 4 street trees will be 3" minimum caliper Autumn Blaze Maple trees.</p>	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES
<p><b>Finding:</b> The applicant has proposed 4 new street trees to replace the 4 existing street trees along Sun Valley Road and 1<sup>st</sup> Avenue. The proposed street trees comply with the City's right-of-way standards.</p>	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	YES

**Finding:** The surface parking area accessed from the Block 37 alleyway is semi-enclosed and screened from public view along Sun Valley Road with perforated metal panels.

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
<b>Finding:</b> N/A. The surface parking area is semi-enclosed and located under the second-floor overhang of the office building. The surface parking area is not open-air and contains less than 10 parking spaces. This standard does not apply to the office building project.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	YES
<b>Finding:</b> All on-site landscaping is planted within planter boxes. The street trees are planted within tree wells in accordance with the City’s right-of-way standards.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES Condition #5
<b>Finding:</b> Sheet A2.0 shows that 2 bike racks accommodating two bicycles have been provided on-site within a covered bike parking area by the main building entrance along Sun Valley Road. The parking generates a parking demand of 10 spaces. 2.5 bike racks are required to be installed based on the project parking demand. Pursuant to Ketchum Municipal Code §17.96.070.F2, when the calculation of the required number of bicycle racks results in a fractional number, a fraction equal to or greater than ½ shall be adjusted to the next whole number. 3 bicycle racks, able to accommodate at least two bicycles each, is required to be provided. Pursuant to condition of approval #5, the applicant shall install an additional bike rack within the covered bike parking area.	

17.96.070.F.2 – Bicycle Parking	Conformance
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<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES Condition #5
<p><b>Finding:</b> Sheet A2.0 shows that 2 bike racks accommodating two bicycles have been provided on-site within a covered bike parking area by the main building entrance along Sun Valley Road. The parking generates a parking demand of 10 spaces. 2.5 bike racks are required to be installed based on the project parking demand. Pursuant to Ketchum Municipal Code §17.96.070.F2, when the calculation of the required number of bicycle racks results in a fractional number, a fraction equal to or greater than ½ shall be adjusted to the next whole number. 3 bicycle racks, able to accommodate at least two bicycles each, is required to be provided. Pursuant to condition of approval #5, the applicant shall install an additional bike rack within the covered bike parking area.</p>	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
<p><b>Finding:</b> The covered and semi-enclosed bike parking area is located adjacent to the office building entrance along Main Street. The bike parking area is located directly adjacent to the new sidewalk along Sun Valley Road providing unobstructed access from the public right-of-way and is not in areas requiring access through stairways or other major obstacles.</p>	

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.

5. The 1<sup>st</sup> & Sun Valley Office Building Design Review Application File No. P21-100 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

## DECISION

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P22-007 this Tuesday, May 24<sup>th</sup>, 2022 subject to the following conditions of approval.

## CONDITIONS OF APPROVAL

### *Project Specific Standards of approval*

1. The 1<sup>st</sup> & Sun Valley Office Building Design Review Application File No. P21-100 is subject to Condominium Subdivision Preliminary Plat Application File No. P22-019. All associated conditions of approval shall apply to the project.
2. As a voluntary contribution, in exchange for an increase in Floor Area Ratio, a total community housing contribution of 923 square feet is required. The applicant has proposed paying the in-lieu fee to satisfy their community housing contribution in exchange for the FAR exceedance. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.
3. The new bulb-out at the corner of Sun Valley Road and 1<sup>st</sup> Avenue shall meet City right-of-way standards.
4. The project requires a Right-of-Way (ROW) Encroachment Permit for the sidewalk pavers and snowmelt system, bench, and canopy overhang. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The applicant shall submit the ROW Encroachment Permit Application for final review and approval by the City Council. The ROW Encroachment Agreement must be approved by City Council prior to issuance of a building permit for the project.
5. The applicant shall provide 3 bicycle racks, each able to accommodate at least two bicycles, within the bike parking area along Sun Valley Road.
6. The applicant shall provide the details for the imagery proposed on the perforated screening panels along Sun Valley Road on the project plans submitted with the building permit application. The final design of the decorative imagery on the perforated screening panels may be approved administratively by Staff.

### *Standard Conditions of Approval*

7. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
8. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
9. Following approval of the project's master signage plan, separate sign permits shall be required for all new signs prior to installation (KMC §17.127.030.B).

Design Review Application File No. P21-100: 1<sup>st</sup> & Sun Valley Office Building

Findings of Fact, Conclusions of Law, and Decision

Planning & Zoning Commission Meeting of June 14<sup>th</sup>, 2022

City of Ketchum Planning & Building Department

10. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specifications for the right-of-way, circulation design, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
11. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC 17.96.090.
12. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the office building.
13. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
14. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
15. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards for review and approval by the Building, Planning, Streets, Utilities, and Fire departments.
16. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission





**City of Ketchum  
Planning & Building**

IN RE: )  
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1<sup>st</sup> & Sun Valley Office Building ) KETCHUM PLANNING AND ZONING COMMISSION  
1<sup>st</sup> & Sun Valley Condominiums ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
Condominium Subdivision Preliminary Plat ) DECISION  
 )  
Date: June 14, 2022 )  
 )  
File Number: P22-019 )

**PROJECT:** 1<sup>st</sup> & Sun Valley Office Building

**APPLICATION TYPE:** Condominium Subdivision Preliminary Plat

**FILE NUMBER:** P22-019

**ASSOCIATED APPLICATIONS:** Design Review P21-100

**ARCHITECT:** Galena Engineering

**DEVELOPER:** Reid Sanborn

**PROPERTY OWNER:** 131 E Sun Valley Road LLC

**LOCATION:** 131 E Sun Valley Road (Ketchum Townsite: Block 37: Lot 8)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The Planning and Zoning Commission considered the 1<sup>st</sup> & Sun Valley Office Building Condominium Subdivision Preliminary Plat Application File No. P22-019 during their regular meeting on May 24<sup>th</sup>, 2022. The application was considered concurrently with Design Review Application File No. P21-100 and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice

The public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4<sup>th</sup>, 2022. The public hearing notice was published in the Idaho Mountain Express the on May 4<sup>th</sup>, 2022. A notice was posted on the City’s website on May 4<sup>th</sup>, 2022. The public hearing notice was posted on the project site on May 17<sup>th</sup>, 2022.

### FINDINGS OF FACT

The Ketchum Planning and Zoning Commission having reviewed the project record does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The 1st & Sun Valley Office Building project proposes to develop a new three-story commercial office building at the northeast corner of 1st Avenue and Sun Valley Road within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). The office building will be proposed to be subdivided into 5 condominium units for business tenants. 7 parking spaces—6 in the tandem configuration and 1 ADA space—are provided on site within a semi-enclosed surface parking area accessed from the block 37 alley.

### FINDINGS REGARDING COMPLIANCE WITH PRELIMINARY PLAT SUBDIVISION REQUIREMENTS

Preliminary Plat Requirements				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			<i>Findings</i>	The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on March 28, 2022.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I	<b>Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.</b>
			<i>Findings</i>	The subdivision application was deemed complete on April 29, 2022.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:  The scale, north point and date.
			<i>Findings</i>	This standard is met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .2	<b>The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.</b>
			<i>Findings</i>	The subdivision is named "1 <sup>st</sup> & Sun Valley Condominiums" which is not the same as any other subdivision in Blaine County, Idaho.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .3	<b>The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.</b>
			<i>Findings</i>	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .4	<b>Legal description of the area platted.</b>
			<i>Findings</i>	The legal description of the area platted is shown on Sheet 1 of the preliminary plat.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .5	<b>The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.</b>
			<i>Findings</i>	Sheet 1 of the preliminary plat indicates the boundary lines of adjacent Friesen Condominiums to the north and the Fisher and McNees condominium buildings to the east across the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .6	<b>A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.</b>
			<i>Findings</i>	Existing site conditions, including topography, are included on Sheet C0.0 of the project plans approved with Design Review Application File No. P21-100.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .7	<b>The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.</b>
			<i>Findings</i>	The project plans show the scaled location of existing building, dedicated streets, roadways, and easements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .8	<b>Boundary description and the area of the tract.</b>
			<i>Findings</i>	Sheet 1 provides the boundary description of the area and includes square footage and acreage of the lot. Sheets 2 and 3 indicate the areas for each commercial condominium unit as will be platted for sale.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .9	<b>Existing zoning of the tract.</b>
			<i>Findings</i>	Plat note #9 on Sheet 1 of the preliminary plat notes that the property is located within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .10	<b>The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.</b>
			<i>Findings</i>	N/A as no new streets, lots, easements, or rights-of-way are proposed with the office building project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .11	<b>The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.</b>
			<i>Findings</i>	This standard is not applicable as there is no requirement or proposal for land dedicated for public or common use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .12	<b>The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.</b>
			<i>Findings</i>	Sheets C1.1, C1.2, and C1.3 of the project plans approved with Design Review P21-100 show these existing and proposed improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .13	<b>The direction of drainage, flow and approximate grade of all streets.</b>
			<i>Findings</i>	This standard does not apply as no new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .14	<b>The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.</b>

			<i>Findings</i>	This standard does not apply as no new drainage canals or structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .15	<b>All percolation tests and/or exploratory pit excavations required by state health authorities.</b>
			<i>Findings</i>	This standard does not apply as no additional tests are required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .16	<b>A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.</b>
			<i>Findings</i>	The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .17	<b>Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.</b>
			<i>Findings</i>	Sheet A001 of the project plans approved with Design Review P21-100 includes a vicinity map that satisfies this requirement.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .18	<b>The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.</b>
			<i>Findings</i>	N/A. The subject property is not within a floodplain, floodway, or avalanche zone district.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .19	<b>Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.</b>
			<i>Findings</i>	A building envelope is not required as the subject property is not within the floodway, floodplain, or avalanche zone. The subject property is not adjacent to the Big Wood River, Trail Creek or Warm Springs. The subject property does not contain slopes greater than 25%. This application will subdivide a commercial office building into condominium units and does not create a new lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .20	<b>Lot area of each lot.</b>
			<i>Findings</i>	Sheets 1, 2, and 3 of the preliminary plat map shows the area of the overall lot and the boundaries and area of each condominium unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .21	<b>Existing mature trees and established shrub masses.</b>
			<i>Findings</i>	The existing site survey is provided on Sheet C0.0 of the project plans approved with Design Review P21-100. No mature trees or established shrub masses exist on the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .22	<b>A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.</b>
			<i>Findings</i>	The applicant provided a title commitment and a warranty deed with the initial application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .23	<b>Three (3) copies of the preliminary plat shall be filed with the administrator.</b>
			<i>Findings</i>	The City of Ketchum received digital copies of the preliminary plat at the time of application.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Findings</i>	This standard has been met. The construction design plans shall be submitted with the building permit application for final review by City Departments. All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance of a Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
			<i>Findings</i>	The construction drawings for the improvements will be reviewed and approved by the City Engineer through building permit review process. Pursuant to Ketchum Municipal Code §16.04.070.C, a Certificate of Occupancy must be issued prior to final plat approval. The developer will be required to complete required improvements prior to issuance of a Certificate of Occupancy for the office building project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.

			<i>Findings</i>	See above analysis for Ketchum Municipal Code §16.04.40B. All required improvements shall be completed by the applicant and inspected and approved by City Departments prior to the issuance of a Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.D	<p><b>As Built Drawing:</b> Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			<i>Findings</i>	The plans submitted with the building permit application shall conform to the Design Review P21-100 approved by the Commission and shall be installed prior to issuance of a Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	<p><b>Monumentation:</b> Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> <li>1. All angle points in the exterior boundary of the plat.</li> <li>2. All street intersections, points within and adjacent to the final plat.</li> <li>3. All street corner lines ending at boundary line of final plat.</li> <li>4. All angle points and points of curves on all streets.</li> <li>5. The point of beginning of the subdivision plat description.</li> </ol>
			<i>Findings</i>	The applicant shall meet the required monumentation standards prior to recordation of the final plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p><b>Lot Requirements:</b></p> <ol style="list-style-type: none"> <li>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</li> <li>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon</li> </ol>

			<p>environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <ol style="list-style-type: none"> <li>a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</li> <li>b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</li> </ol> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
			<p><i>Findings</i></p> <p>This standard is not applicable as no new lots are being created.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.G</p> <p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> <li>1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>2. Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</li> <li>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</li> </ol>
			<p><i>Findings</i></p> <p>This standard is not applicable as no new lots or blocks are being created.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>16.04.040.H</p> <p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> <li>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</li> </ol>

			<p>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</p> <p>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</p> <p>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</p> <p>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</p> <p>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p> <p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</p> <p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho.</p>
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			<p>The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
		<p><i>Findings</i></p>	<p>No new streets or changes to the travel lanes or street designs are proposed with this project. The project is located at the northeast corner of 1st Avenue and Sun Valley Road. No new streets are proposed for the project. The off-street surface parking area is accessed from the existing Block 37 alley. The right-of-way improvement plan is indicated on Sheet C1.1 of the project plans. The applicant has proposed repairing a section of asphalt along Sun Valley Road that borders the side the property line. The applicant has proposed to install new 8-foot-wide, heated, paver sidewalks along Sun Valley Road and 1st Avenue. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project pursuant to condition of approval #10 of Design Review P21-100.</p>

				The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 5th Streets, the bench, and 2-foot canopy overhang along Sun Valley Road. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. Pursuant to condition of approval #4 of Design Review P21-100, the applicant shall submit the ROW Encroachment Application for final review and approval by City Council prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	<b>Alley Improvement Requirements:</b> Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.
			<i>Findings</i>	The existing Block 27 alley is 20 feet wide. Sheet C1.1 of the project plans approved with Design Review P21-100 show the proposed improvements within Block 37 alley, which include removing the existing water service connection, repairing the concrete valley gutter, and installing ADA compliant ramps. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets pursuant to condition of approval #10 of Design Review P21-100.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<b>Required Easements:</b> Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands. 1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities. 2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse. 3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that

				<p>easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p> <p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p>
			<i>Findings</i>	No new easements are required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	<p>Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			<i>Findings</i>	The new office building will connect to the municipal sewer system. The project shall meet all requirements of the Wastewater Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.L	<p>Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district</p>

				sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.
			<i>Findings</i>	The office building will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	<p><b>Planting Strip Improvements:</b> Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.</p> <p><i>Findings</i></p> <p>This standard does not apply as the office building is within the original Ketchum Townsite subdivision and no planting strip improvements are required.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N	<p><b>Cuts, Fills, And Grading Improvements:</b> Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <ol style="list-style-type: none"> <li>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application.</li> <li>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> <li>a. Proposed contours at a maximum of five foot (5') contour intervals.</li> <li>b. Cut and fill banks in pad elevations.</li> <li>c. Drainage patterns.</li> <li>d. Areas where trees and/or natural vegetation will be preserved.</li> <li>e. Location of all street and utility improvements including driveways to building envelopes.</li> <li>f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.</li> </ol> </li> <li>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</li> <li>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</li> <li>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and</li> </ol>

				<p>established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> <li>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).</li> <li>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</li> <li>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</li> <li>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</li> </ul>
			<i>Findings</i>	The project shall meet all cut, fill, and grading standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.O	<p><b>Drainage Improvements:</b> The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			<i>Findings</i>	All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer. Sheets C1.0, C1.1, and C1.2 of the project plans approved with Design Review P21-100 indicate the proposed drainage improvements. The drainage plan is comprised of a system of catch basins and drywells.

				Final civil drawings for all associated right-of-way and drainage improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project pursuant to condition of approval #10 of Design Review P21-100.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.040.P</b>	<b>Utilities:</b> In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			<i>Findings</i>	All utilities shall be installed as a required improvement by the developer. The utility improvements are indicated on Sheet C1.1 of the project plans approved with Design Review P21-100.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.040.Q</b>	<b>Off Site Improvements:</b> Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			<i>Findings</i>	The proposed condominium development does not create substantial additional traffic; therefore, no off-site improvements are required.

**FINDINGS REGARDING COMPLIANCE WITH CONDOMINIUM SUBDIVISION REQUIREMENTS**

Condominium Plat Requirements				
Compliant			City Code	Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.B</b>	<b>The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space.</b>
			<i>Findings</i>	The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.D</b>	<b>All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.</b>
			<i>Findings</i>	The office building does not contain a parking garage. 7 on-site spaces are provided within the semi-enclosed surface parking area accessed from the block 37 alley. 7 on-site spaces are provided within the semi-enclosed surface parking area accessed from the block 37 alley. 6 of these spaces are arranged in a tandem configuration. The Commission approves the tandem configuration for the commercial development because the 2 parking spaces within each tandem stall are both assigned to one commercial condominium unit and designated as

				limited common elements on the preliminary plat map. The project takes advantage of the on-street parking credit that provides 4 on-street parking spaces per 5,5000 square feet of lot area for projects in the Community Core (KMC §17.125.050). These 4 on-street spaces may be credited toward nonresidential parking demand only after the 4 minimum required parking spaces are provided on site. Only existing and available parking spaces located directly adjacent to the property lines of the subject property may be counted towards the on-street parking credit. The 4 on-street credit spaces along Sun Valley Road and 1st Avenue directly adjacent to the property will meet the parking demand for the 2 offices that do not have parking spaces assigned to their units on site. The ADA parking space must remain open for public customers and may not be assigned to an individual office tenant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.070.E</b>	<b>Adequate storage areas shall be provided for boats, campers and trailers, as well as adequate interior storage space for personal property of the resident of each condominium unit.</b>
			<i>Findings</i>	N/A this standard does not apply to this commercial development as no dwelling units are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.F</b>	<b>A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.</b>
			<i>Findings</i>	As shown on Sheet A201 of the project plans approved with Design Review P21-100, a 209-square-foot maintenance and mechanical room has been provided on the ground floor of the office building. The applicant has indicated that this area will accommodate all mechanical equipment as well as an area for the storage of maintenance equipment and supplies for common areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>16.04.070.G</b>	<b>The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.</b>
			<i>Findings</i>	N/A this standard does not apply to this commercial development as no dwelling units are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.H</b>	<b>All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions.</b>
			<i>Findings</i>	The project has been reviewed for compliance with the City’s subdivision standards and all applicable ordinances. The project shall comply with all City rules and regulations.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are

identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Condominium Subdivision Preliminary Plat application for the development and use of the project site.

2. The Planning and Zoning has authority to review the applicant's Condominium Subdivision Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §16.04.030.
4. The Condominium Subdivision Preliminary Plat application is governed under Chapter 16.04 of Ketchum Municipal Code.
5. The 1<sup>st</sup> & Sun Valley Office Building Condominium Subdivision Preliminary Plat application meets all applicable standards specified in Title 16 of Ketchum Municipal Code.

#### **DECISION**

**THEREFORE**, the Commission **approves** this Preliminary Plat Application File No. P22-019 this Tuesday, June 14<sup>th</sup>, 2022 subject to the following conditions of approval.

#### **CONDITIONS OF APPROVAL**

1. The 1<sup>st</sup> & Sun Valley Office Building Condominium Subdivision Preliminary Plat is subject to all conditions of approval associated with Design Review Application File No P21-100.
2. Failure to record a Final Plat within two (2) years of Council's approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.

Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission





June 14, 2022

Planning and Zoning Commission  
City of Ketchum  
Ketchum, Idaho

**Recommendation to Approve the Findings of Fact, Conclusions of Law, and Decision for the Mountain Land Design Showroom & Residences Design Review Amendment and Condominium Subdivision Preliminary Plat Applications.**

Recommendation and Summary

Staff recommends the Planning and Zoning Commission approve the Findings of Fact, Conclusions of Law, and Decision for the Mountain Land Design Showroom & Residences Design Review Amendment Application File No. P20-027A (Attachment A) and Condominium Subdivision Preliminary Plat Application File No. P22-014 (Attachment B) and adopt the following motions.

Recommended Motions:

“I move to approve the Findings of Fact, Conclusions of Law, and Decision for the Mountain Land Design Showroom & Residences Design Review Amendment.”

“I move to approve the Findings of Fact, Conclusions of Law, and Decision for the Mountain Land Design Showroom & Residences (360 Views) Condominium Subdivision Preliminary Plat.”

Background

The Planning and Zoning Commission held a public hearing and considered the Mountain Land Design Showroom & Residences Design Review Amendment and Condominium Subdivision Preliminary Plat applications during their regular meeting on May 24<sup>th</sup>, 2022. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Planning and Zoning Commission approved the Design Review Amendment and Condominium Subdivision Preliminary Plat applications.

Staff has drafted the attached findings to reflect the Planning and Zoning Commission’s approval of the Mountain Land Design Showroom & Residences Design Review Amendment and Condominium Subdivision Preliminary Plat applications.

Additionally, the applicant submitted additional comments following the May 24<sup>th</sup> Planning and Zoning Commission Meeting. The applicant’s comments are included as Attachment C.

Attachments:

- A. Design Review Amendment P20-027A: Draft Findings of Fact, Conclusions of Law, and Decision
- B. Condominium Subdivision Preliminary Plat P22-014: Draft Findings of Fact, Conclusions of Law, and Decision
- C. Applicant Comment

Attachment A  
Design Review Amendment  
P20-027A:  
Draft Findings of Fact,  
Conclusions of Law, and  
Decision



City of Ketchum  
Planning & Building

IN RE: )  
)  
Mountain Land Design Showroom & Residences ) KETCHUM PLANNING AND ZONING COMMISSION  
Design Review Amendment ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
) DECISION  
)  
Date: June 14, 2022 )  
)  
File Number: P20-027A )

PROJECT: Mountain Land Design Showroom & Residences  
APPLICATION TYPE: Design Review Amendment  
FILE NUMBER: P20-027A  
ASSOCIATED APPLICATIONS: Design Review P20-027 & Condominium Subdivision Preliminary Plat P22-014  
REPRESENTATIVE: Mike Allaire, Michael Doty Associates Architects  
PROPERTY OWNER: 360 Views LLC  
LOCATION: 111 N Washington Avenue (Ketchum Townsite: Block 39: Lot 4)  
ZONING: Mixed-Use Subdistrict of the Community Core (CC-2)  
OVERLAY: None

**RECORD OF PROCEEDINGS**

The Planning and Zoning Commission considered the Design Review Amendment Application File No. P20-027A for the Mountain Land Design Showroom & Residences project during their regular meeting on May 24<sup>th</sup>, 2022. The application was considered concurrently with Condominium Subdivision Preliminary Plat Application File No. P22-014 and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice

The public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4<sup>th</sup>, 2022. The public hearing notice was published in the Idaho Mountain Express the on May 4<sup>th</sup>, 2022. A notice was posted on the City’s website on May 4<sup>th</sup>, 2022. The public hearing notice was posted on the project site on May 17<sup>th</sup>, 2022.

## FINDINGS OF FACT

The Ketchum Planning and Zoning Commission having reviewed the project record does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

### Project History and Background

The Planning and Commission first reviewed and approved a Design Review application for the Mountain Land Design Showroom & Residences on August 13<sup>th</sup>, 2019. At that time, the plans proposed an addition and exterior façade upgrades to the existing building on the property. The existing building was constructed in 1983 and was occupied by Solavie Spa Retreat. Demolition work exposed structural deficiencies that made the addition unfeasible. The applicant then proposed a complete tear down of the existing spa to construct the new mixed-use building.

The Commission approved Design Review Permit P20-027 on June 8<sup>th</sup>, 2020 for the new mixed-use building located at 111 N Washington Avenue within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). The mixed-use building as approved by the Commission included a showroom on the ground level, an underground parking garage, and four residential units consisting of two multi-family residential units on the second floor, a penthouse residential unit on the third floor, and a community housing unit in the basement.

The Ketchum City Council approved Floor Area Ratio (FAR) Exceedance Agreement Contract #20491, recorded as Instrument number #671206 in records of Blaine County, on July 20<sup>th</sup>, 2020. The FAR Exceedance Agreement memorialized the applicant's approved project configuration and community housing requirement in exchange for the project's increased FAR. The applicant will provide a 978-square-foot community housing unit with an associated 59-square-foot storage area in the basement of the new mixed-use building targeted for Blaine County Housing Authority Income Category 4 or lower. In addition to approving the applicant's community housing contribution, the FAR Exceedance Agreement memorialized the approved project, including not only the size of the mixed-use building, but also its mixture of retail and multi-family residential uses.

The project was issued a building permit (Application File No. B20-060) on August 3<sup>rd</sup>, 2020 and is currently under construction.

### Proposed Modifications to Design Review Permit P20-027

The applicant has proposed both exterior and interior changes to the project plans approved by the Commission with Design Review Permit P20-027. The proposed modifications are circled in red on the project plans attached as Exhibit A.

## Exterior Modifications

The proposed exterior modifications include:

- adding louver vents adjacent to the entry patio and above the trash door at the alley for ventilation of the underground garage as well as exhaust from demonstrations of ventilation hoods in the showroom,
- replacing the three-panel glass door at the 1<sup>st</sup> Street elevation on the second floor with a two-panel glass sliding door,
- modifying the gas meter enclosure at the alley elevation from solid to perforated material to comply with Intermountain Gas requirement,
- removing the rooftop shade structures, and
- replacing the tan fiber cement panels with gray Stonewood phenolic core panels.

These proposed exterior changes do not increase the intensity or size of the building or appendage to the building. The removal of the rooftop shade structures decreases the visual appearance of building mass. The perforated metal screening sufficiently conceals the gas meters from public and complies with Ketchum Municipal Code §17.96.060.D2 and §17.96.070.C2. The Commission found that these exterior modifications do not significantly impact the visual appearance of the mixed-use building and comply with design review standards.

## Underground Parking Garage Striping Modification

In addition to these exterior changes, the applicant has proposed modifying the underground parking garage striping to convert the ADA stall to a standard parking space. The project did not generate any commercial parking demand as the ground-level retail showroom was exempt from providing parking pursuant to Ketchum Municipal Code §17.125.040.C1c. ADA parking standards for multi-family residential developments is a building code requirement and is dependent on the total number of units within the building. The Building Official reviews project plans to ensure all ADA standards, including parking requirements, are met. Pursuant to condition of approval #3, the Building Official shall verify that the project meets all ADA standards, including parking requirements, prior to approving the revised plans to amend Building Permit B20-060.

## **Proposed Residential Density Decrease**

The building program as approved by the Commission through Design Review Permit P20-027 included 4 residential units—1 community housing unit in the basement and 3 market-rate residential units on the second and third floors. The applicant has proposed to combine the 2 residential units on the second floor. The total area of the proposed combined residential unit on the second floor is 3,709 square feet.

During the public hearing, the applicant testified that structural modifications and other construction changes have taken place during construction. These changes included relocating structural support columns to modify the floor plan to combine the two residential units on the second floor. None of these construction changes had been reviewed or authorized by the City. Condition of approval #3 of

Design Review Permit P20-027 required that building permit plans for all on-site improvements must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Additionally, Section 107.4 of the 2012 and 2018 International Building Code requires that work shall be installed in accordance with the approved construction documents and any changes made during construction that are not in compliance with the approved construction documents shall be resubmitted for approval. No plan modifications can occur during construction without first obtaining review and approval by the Commission or Staff. The changes constructed by the applicant violated the project’s design review approval and building code.

During the public hearing, the Commission Chair asked the applicant if the unpermitted work could be modified to conform to the original project plans approved with Design Review Permit P20-027 and Building Permit B20-060. The applicant responded that restoring the building to meet the approved project plans would be difficult and expensive and the structural work could not be undone. The Chair expressed concern that these modifications did not conform to the project plans approved by the Commission and were constructed without receiving City review or approval. The Commission acknowledged that the request to combine the two dwelling units conflicts with the City’s goal of increasing residential density downtown. Even though this proposed change reduced residential density, some of the Commissioners voted to approve the modification because the amended project would contain a total of 3 residential units, which complies with current zoning code standards that require a minimum of 2 dwelling units within multi-family residential developments.

### **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review Amendment application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.

5. The Mountain Land Design Showroom & Residence Design Review Amendment Application File No. P20-027A meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

### DECISION

**THEREFORE**, the Commission **approves** this Design Review Amendment Application File No. P20-027A this Tuesday, May 24<sup>th</sup>, 2022 subject to the following conditions of approval.

Motion to approve made by Commissioner Moczygemba and seconded by Vice-Chair Mead.

Voting Yea: Commissioner Moczygemba, Commissioner Carter, and Vice-Chair Mead.

Voting Nay: Chair Morrow

The motion to approve the Design Review Amendment Application File No. P20-027A passed 3 to 1.

### CONDITIONS OF APPROVAL

1. This Design Review Amendment Application File No. P20-027A is subject to Design Review Application File No. P20-027 and Condominium Subdivision Preliminary Plat Application File No. P22-014. All associated conditions of approval shall apply the project.
2. This Design Review Amendment approval is based on the plans and information presented and approved by the Commission on May 24<sup>th</sup>, 2022 and attached as Exhibit A. The applicant shall submit revised project plans that reflect all architectural and structural changes for final review and approval by City Departments in order to amend Building Permit B20-060. The revised building permit plans shall conform exactly to the approved Design Review Amendment plans. Any changes to the approved project plans, including but not limited to interior, exterior, and site improvement modifications, require review and written approval from the Planning and Zoning Commission or Administrator. Any discrepancies that do not conform to the approved project plans will be subject to removal.
3. Prior to approving the revised project plans submitted to amend Building Permit B20-060, the Building Official shall verify that the project meets all ADA standards, including parking requirements.
4. FAR Exceedance Agreement Contract #20491 shall be revised to reflect the modified project and the amended agreement shall be reviewed and approved by the Ketchum City Council concurrently with their review of Condominium Subdivision Preliminary Plat Application File No. P22-014.

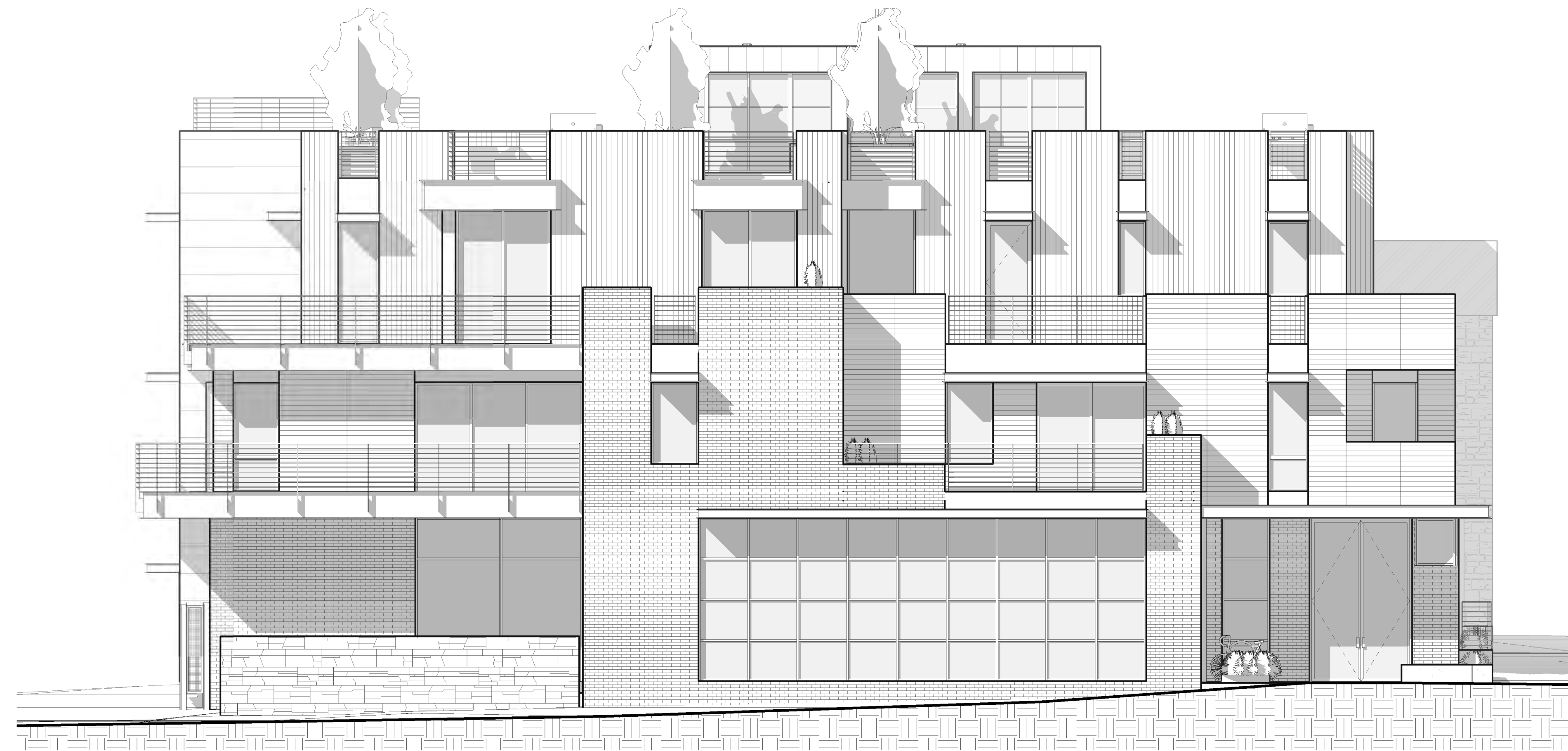
Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission

# INDEX TO DRAWINGS

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- DR-7 PROPOSED ROOF DECK FLOOR PLAN
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- DR-25 PROPOSED 3-D VIEWS (COLORED)
- DR-26 PROPOSED 3-D VIEWS (COLORED)
- DR-27 PROPOSED 3-D VIEWS (COLORED)
- DR-28 PROPOSED 3-D VIEWS (COLORED)
- TOTAL DESIGN REVIEW SHEETS: 28



## MATERIAL SYMBOLS

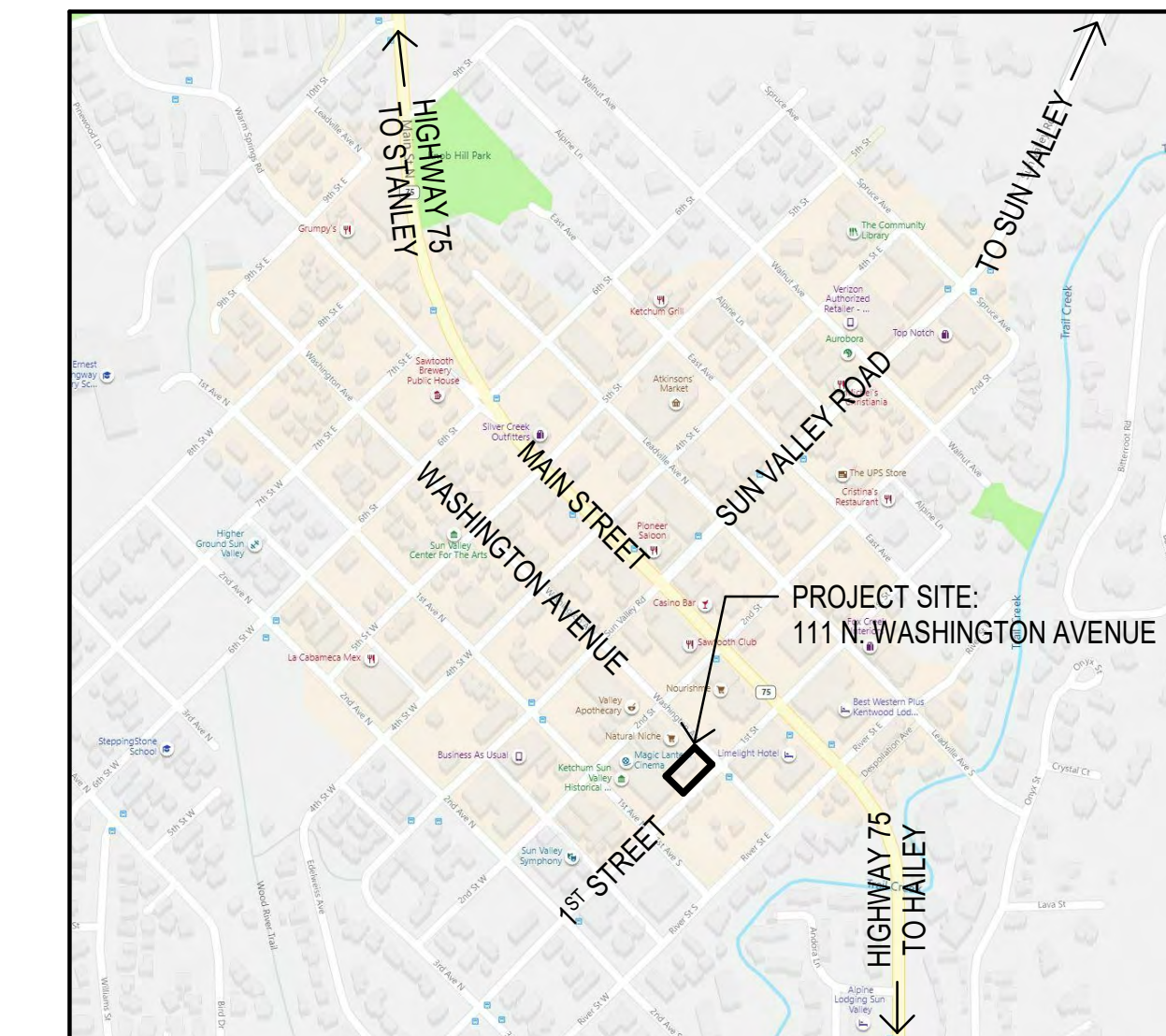
PLAN AND SECTION	ELEVATION
EARTH / TOP SOIL	SIDING
PLYWOOD	CONCRETE
WASHED ROCK	STUCCO
FINISH WOOD	GLASS
ASPHALT PAVING / ROADBED MATL.	CONCRETE MASONRY UNIT
SAND, PLASTER, GYPSUM BOARD	BRICK
CONCRETE	BATT INSULATION
BRICK	BIBS INSULATION
CONCRETE MASONRY UNIT	RIGID INSULATION
CUT STONE	SPRAY FOAM INSULATION
STEEL	WALL - NEW CONSTRUCTION
ALUMINUM	WALL - EXISTING TO REMAIN
	WALL - TO BE DEMOLISHED

## PROJECT TEAM

<b>OWNER:</b>	Mountain Land Design Dan Devenport 2345 S. Main Street Salt Lake City, Utah 84115 ddevenport@mountainlanddesign.com	<b>LANDSCAPE ARCHITECT:</b>	BYLA Landscape Architects Chase Gouley PO Box 594 323 North Lewis Street, Suite N Ketchum, Idaho 83340 (208) 726-5907 chase@byla.us
<b>ARCHITECT:</b>	Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	<b>CIVIL ENGINEER:</b>	Galena Engineering, Inc. Sean Flynn 317 North River Street Hailey, Idaho 83333 (208) 788-1705 sfflynn@galena-engineering.com
<b>GENERAL CONTRACTOR:</b>	Magleby Construction Bryan McNamara 511 East Avenue, Suite 201 Ketchum, Idaho 83340 (208) 725-3923 bmacnamara@maglebyconstruction.com		
<b>STRUCTURAL ENGINEER:</b>	Konrad & Stohler Structural Engineering, LLC Dave Konrad PO Box 4464 Ketchum, Idaho 83341 (208) 928-7810 kse@ksengr.net		

## PROJECT DATA

<b>LEGAL DESCRIPTION:</b>	LOT 4, BLOCK 39, KETCHUM TOWNSITE KETCHUM, IDAHO
<b>ZONING:</b>	CC-2 COMMUNITY CORE; MIXED USE
<b>CONSTRUCTION TYPE:</b>	TYPE V-B
<b>OCCUPANCY:</b>	B - BUSINESS, SHOWROOM R-2 - MULTI-FAMILY RESIDENTIAL
<b>BUILDING AREA:</b>	BASEMENT: 4,528 SF MAIN FLOOR: 4,473 SF 2ND FLOOR: 4,083 SF 3RD FLOOR: 3,236 SF ROOF ACCESS: 278 SF TOTAL: 16,598 SF
<b>FIRE SPRINKLER SYSTEM:</b>	NFPA 13 THROUGHOUT
<b>SITE AREA:</b>	5,500 SQ. FT. (0.13 ACRES)
<b>CODES:</b>	2012 INTERNATIONAL BUILDING CODE (2012 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
<b>JURISDICTIONS:</b>	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

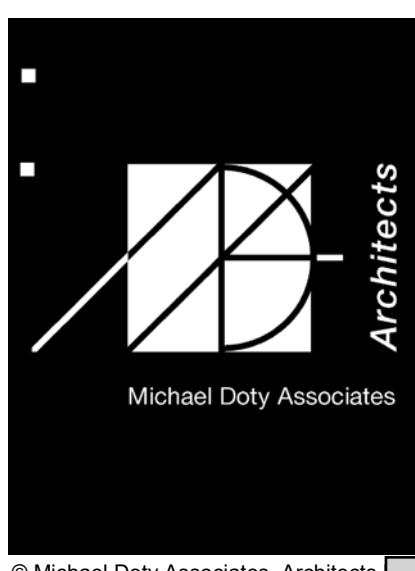


# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

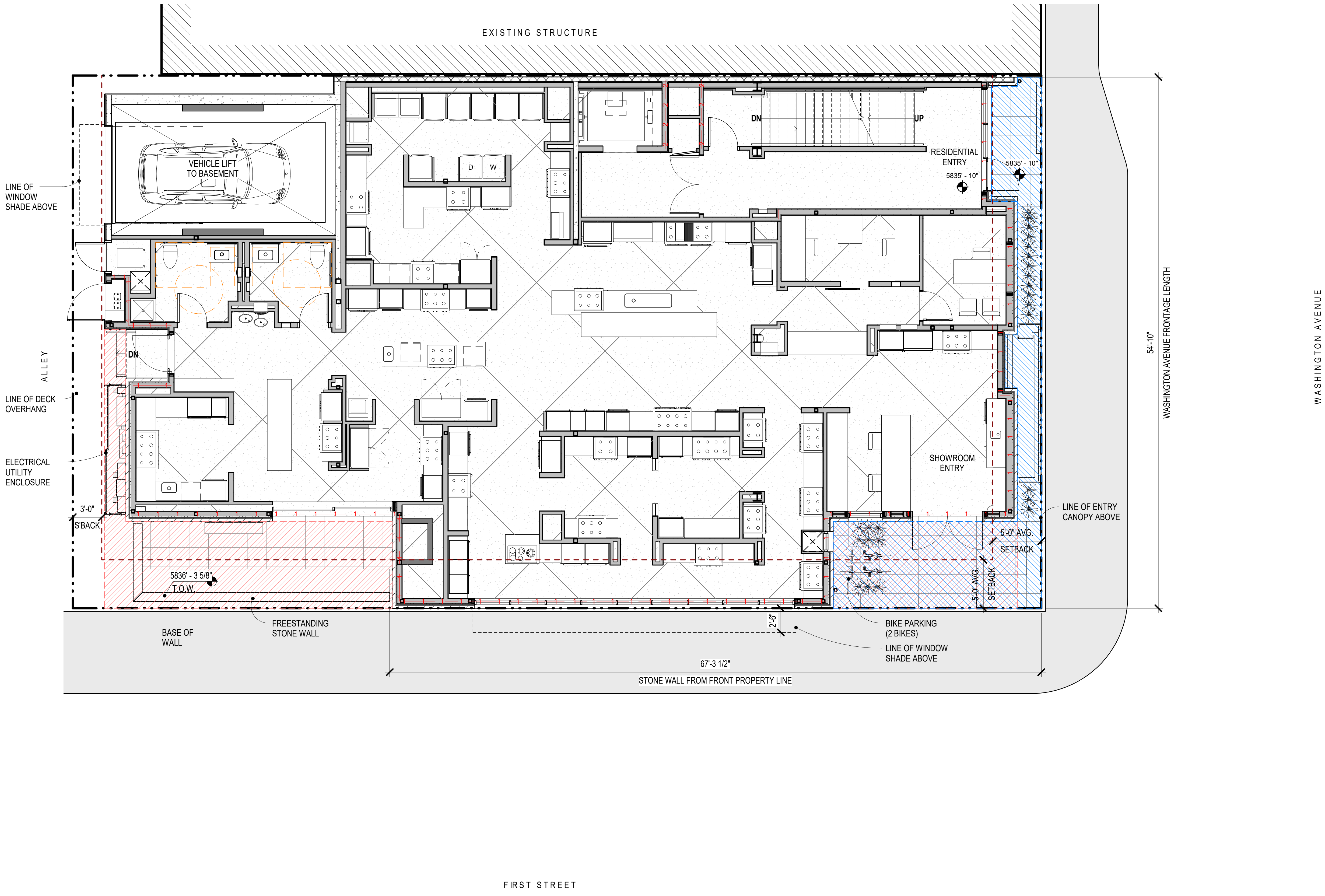
**Exhibit A: Design Review Amendment**  
**P20-027A Project Plans**

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

2/28/2022 REVISION  
5/19/2020







### AVERAGE FRONTAGE CALCULATION

RED CROSS HATCH AREA INDICATES ACTUAL SETBACK TO FACE OF FINISH ALONG FIRST STREET FRONTAGE, INCLUDING PATIOS LESS THAN 30 INCHES ABOVE ADJACENT GRADE AND FENCES/WALLS LESS THAN 6 FEET ABOVE ADJACENT GRADE = 480.54 SF

AVERAGE SETBACK (5'-0" MIN.) =  
 SETBACK AREA + FRONTAGE LENGTH =  
 480.54 SF + 94'-3" = 5'-1"

BLUE CROSS HATCH AREA INDICATES ACTUAL SETBACK TO FACE OF FINISH ALONG WASHINGTON AVENUE FRONTAGE, INCLUDING PATIOS LESS THAN 30 INCHES ABOVE ADJACENT GRADE AND FENCES/WALLS LESS THAN 6 FEET ABOVE ADJACENT GRADE = 344.66 SF

AVERAGE SETBACK (5'-0" MIN.) =  
 SETBACK AREA + FRONTAGE LENGTH =  
 344.66 SF + 54'-10" = 6'-3 1/2"

### SNOW STORAGE CALCULATION

THERE ARE NO VIABLE SNOW STORAGE AREAS LOCATED ON SITE. ALL SNOW MANAGEMENT WILL BE ACCOMPLISHED BY SNOWMELT AND HAULING SNOW OFF-SITE.

### BUILDING INFORMATION

SITE AREA: 55x100 CITY LOT = 5,500 SF

BUILDING GROSS AREA:  
 BASEMENT: 4,528 SF (NOT INCLUDED IN TOTAL PER FLOOR AREA, GROSS DEFINITION)

MAIN FLOOR: 4,473 SF  
 2ND FLOOR: 4,083 SF  
 3RD FLOOR: 3,236 SF  
 ROOF ACCESS: 278 SF  
 TOTAL: 12,070 SF

SUBTRACT (4) 9x18 PARKING SPACES, AS ALLOWED PER FLOOR AREA, GROSS DEFINITION  
 12,070 SF  
 -648 SF  
 11,422 SF GROSS FLOOR AREA

F.A.R. CALCULATION: 11,422 GSF + 5,500 SF = 2.08 F.A.R.

ARCHITECTURAL SITE PLAN

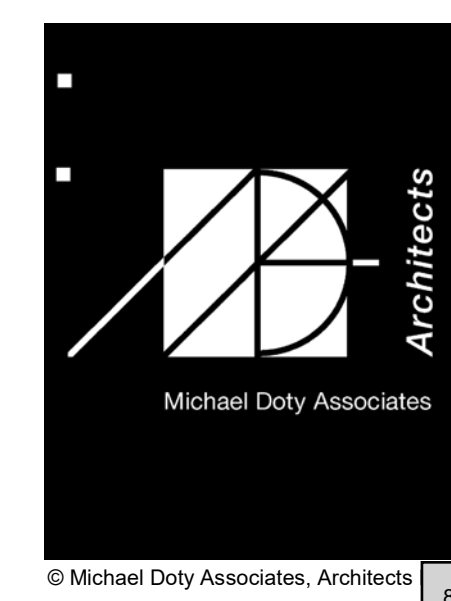
1 2 4 8 3/16" = 1'-0"

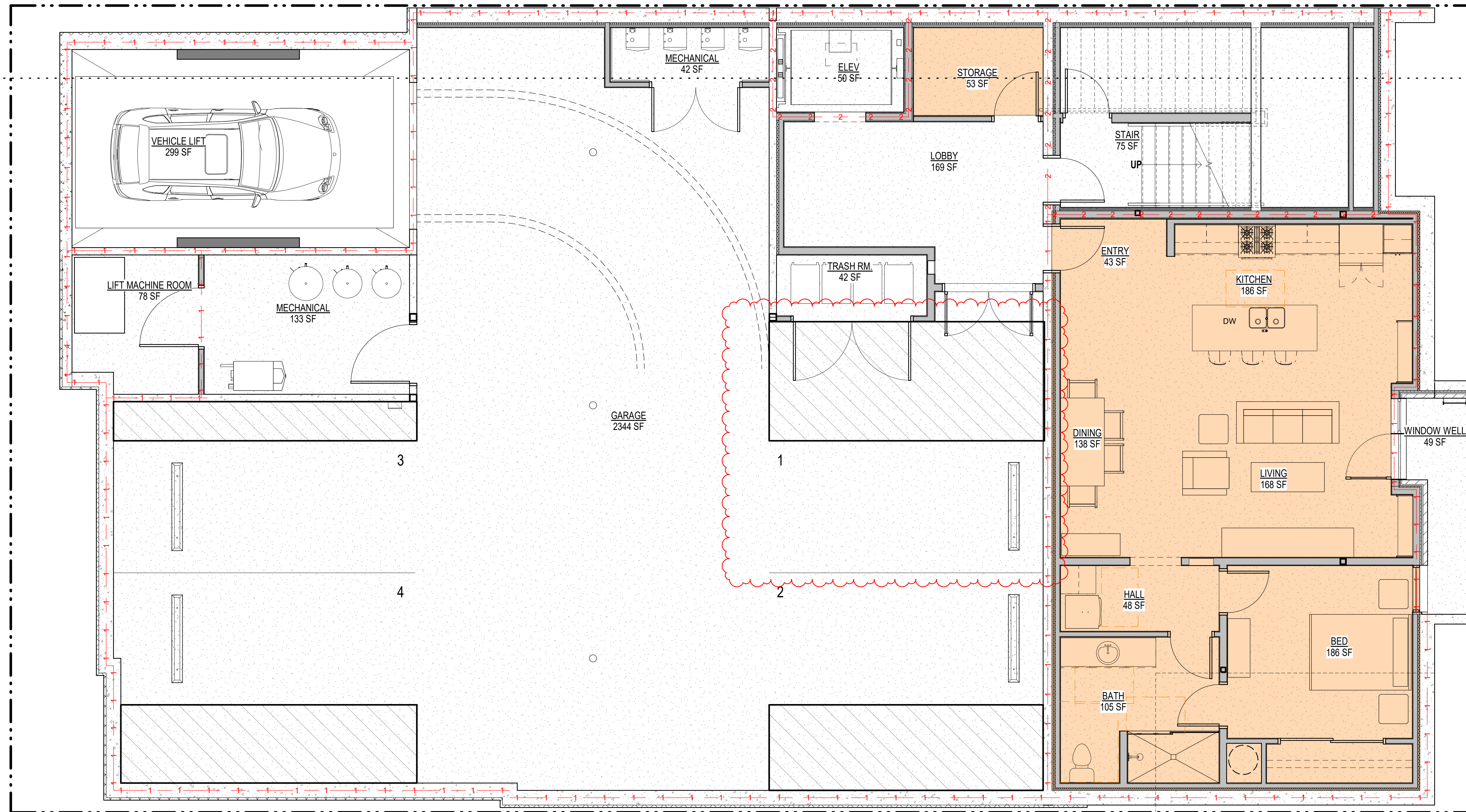
PROJECT NORTH TRUE NORTH

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
 KETCHUM, IDAHO

2/28/2022 REVISION  
 5/19/2020



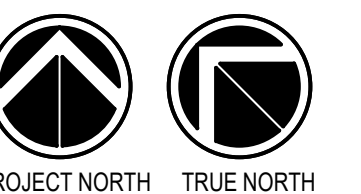


WORKFORCE UNIT: 978 SF  
 STORAGE: 53 SF  
 TOTAL WORKFORCE UNIT: 1,031  
 (1,013 SF OWED PER 2.08 FAR)

GROSS FLOOR AREA: 4,528 SF  
 NET FLOOR AREA: 831 SF

PROPOSED BASEMENT FLOOR PLAN

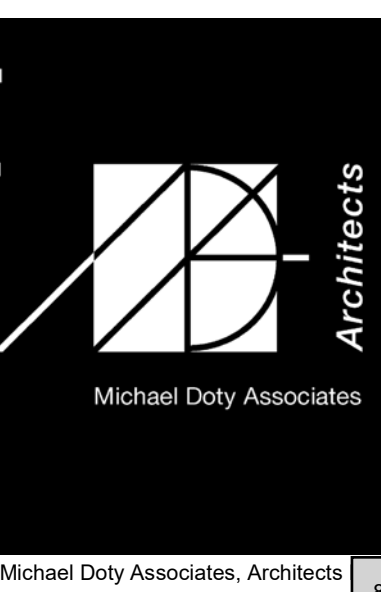
1 2 4 8 1/4" = 1'-0"

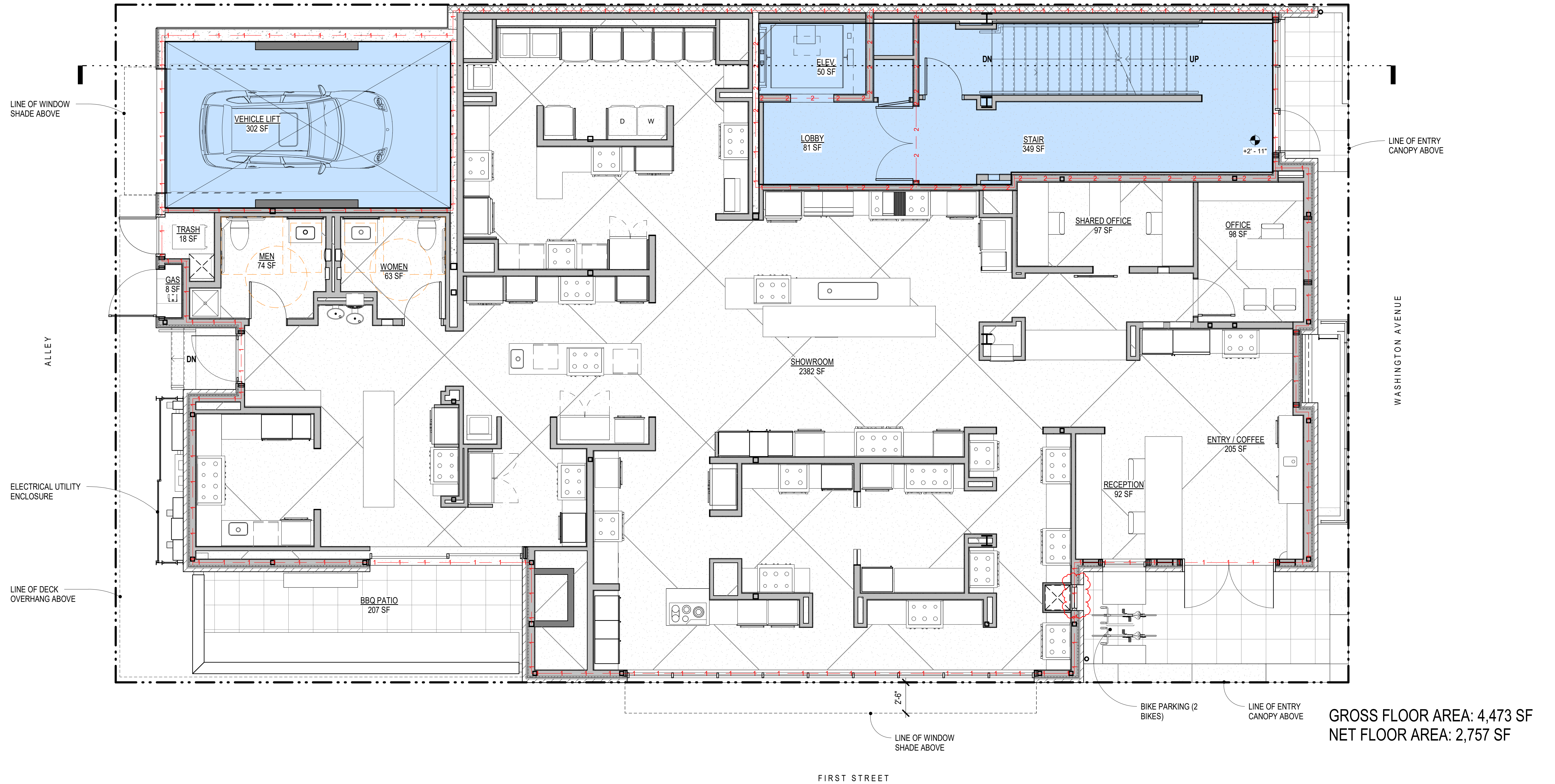


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 KETCHUM, IDAHO

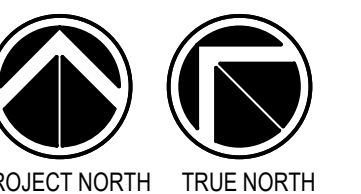
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PROPOSED FIRST FLOOR PLAN

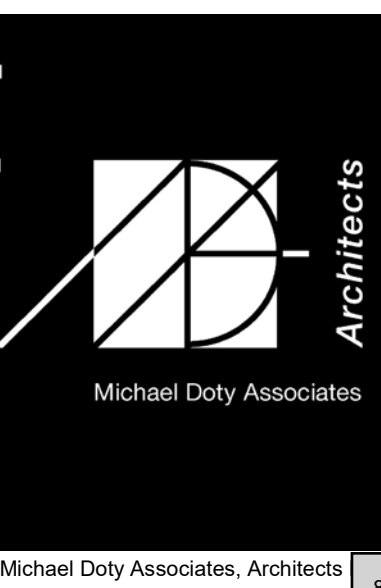
1 2 4 8 1/4" = 1'-0"

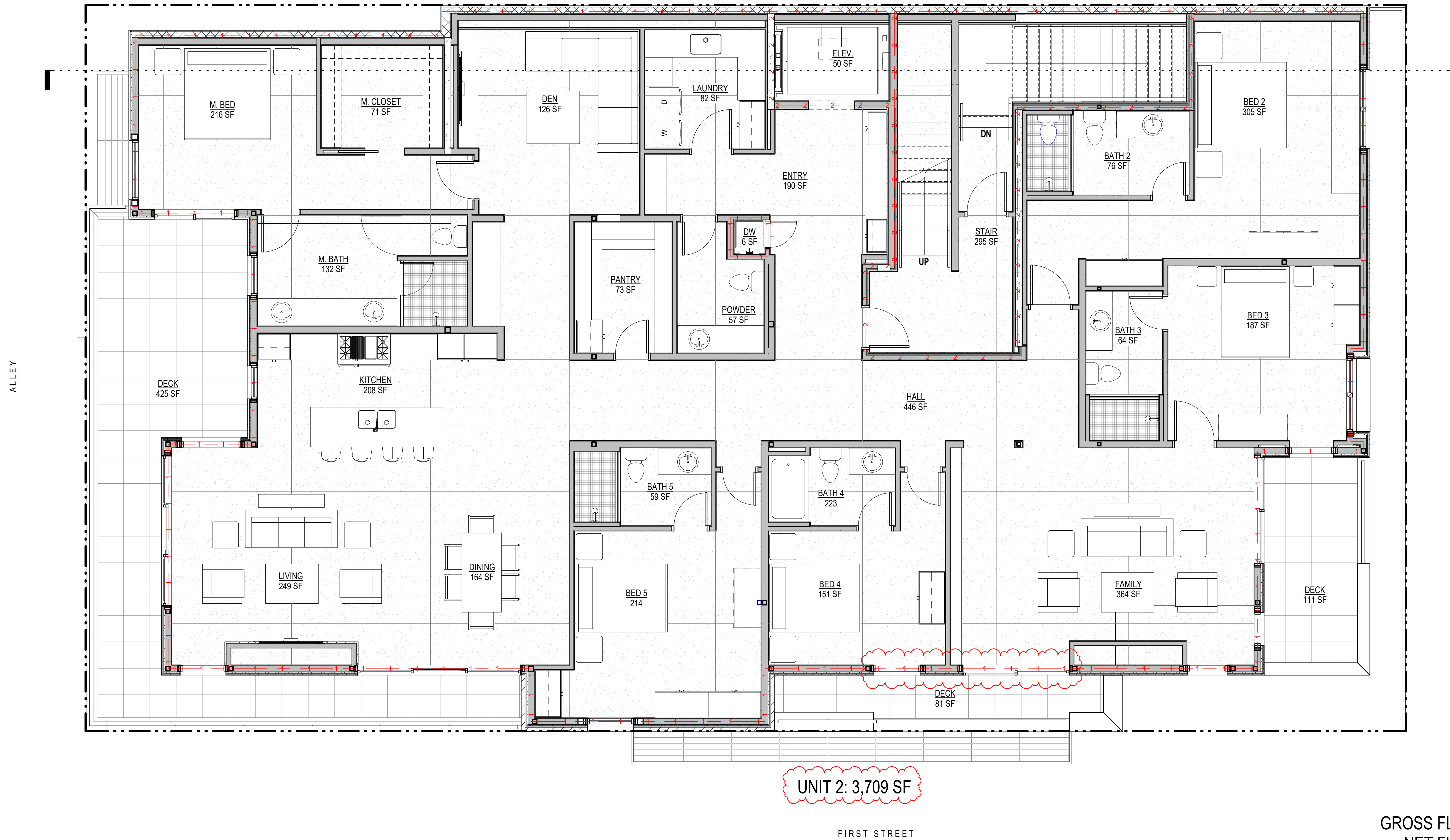


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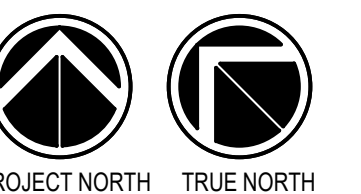




GROSS FLOOR AREA: 4,083 SF  
 NET FLOOR AREA: 3,021 SF

PROPOSED SECOND FLOOR PLAN

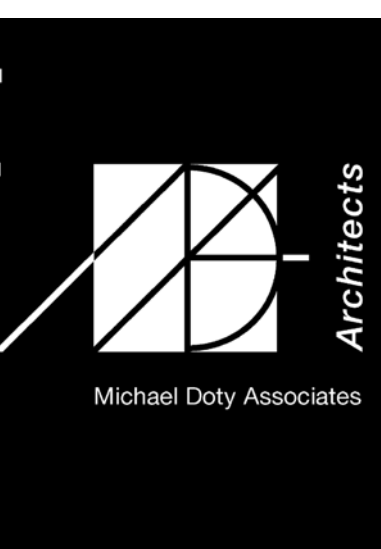
1/4" = 1'-0"

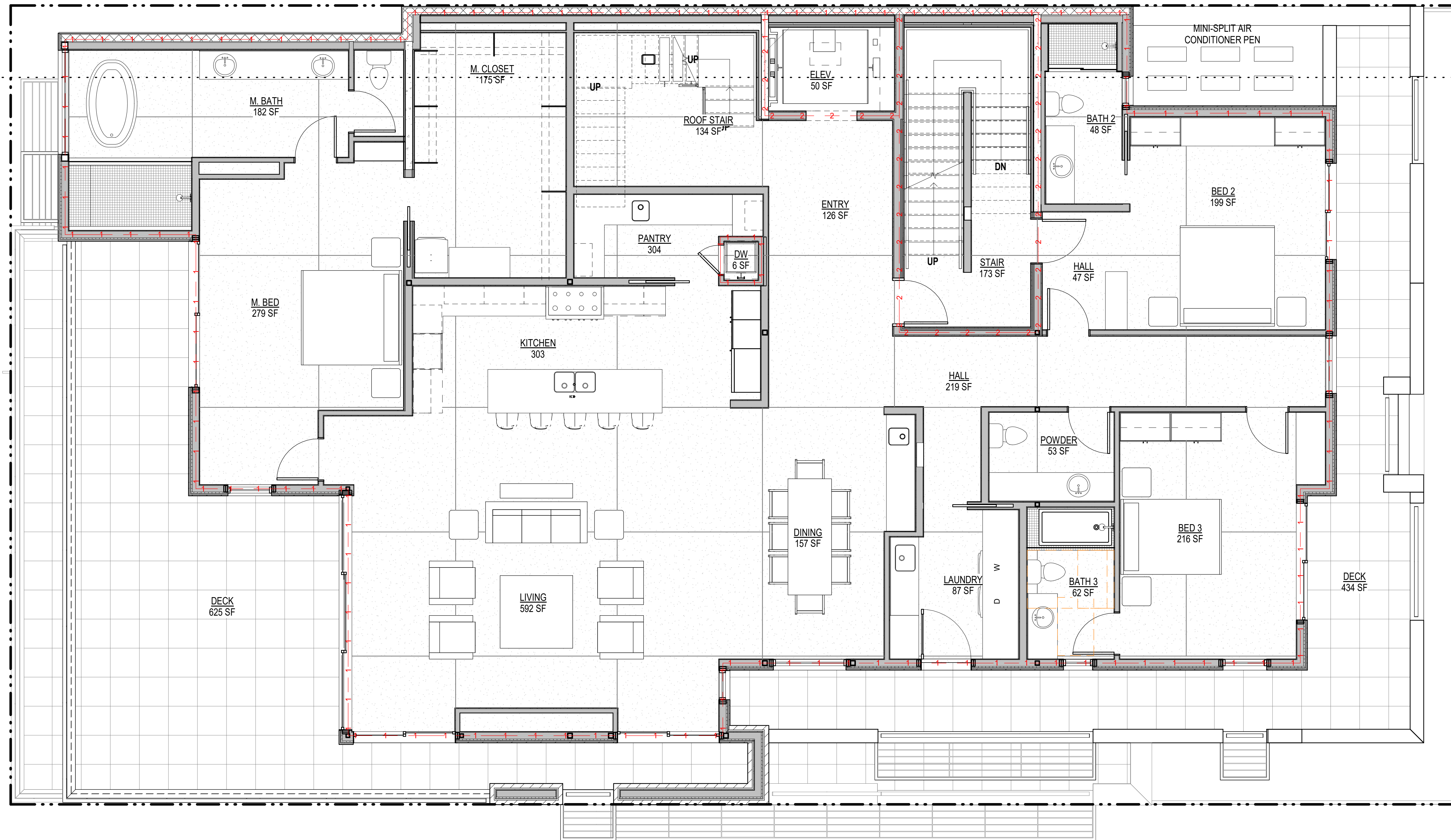


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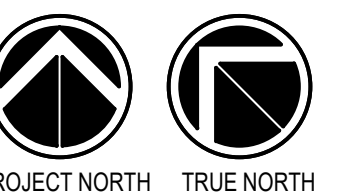
PENTHOUSE: 3,035 SF

FIRST STREET

GROSS FLOOR AREA: 3,236 SF  
NET FLOOR AREA: 2,695 SF

PROPOSED THIRD FLOOR PLAN

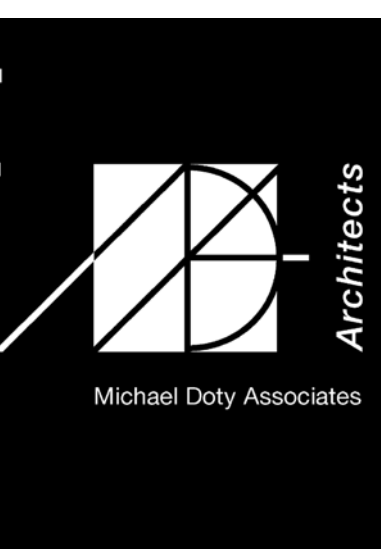
1/4" = 1'-0"

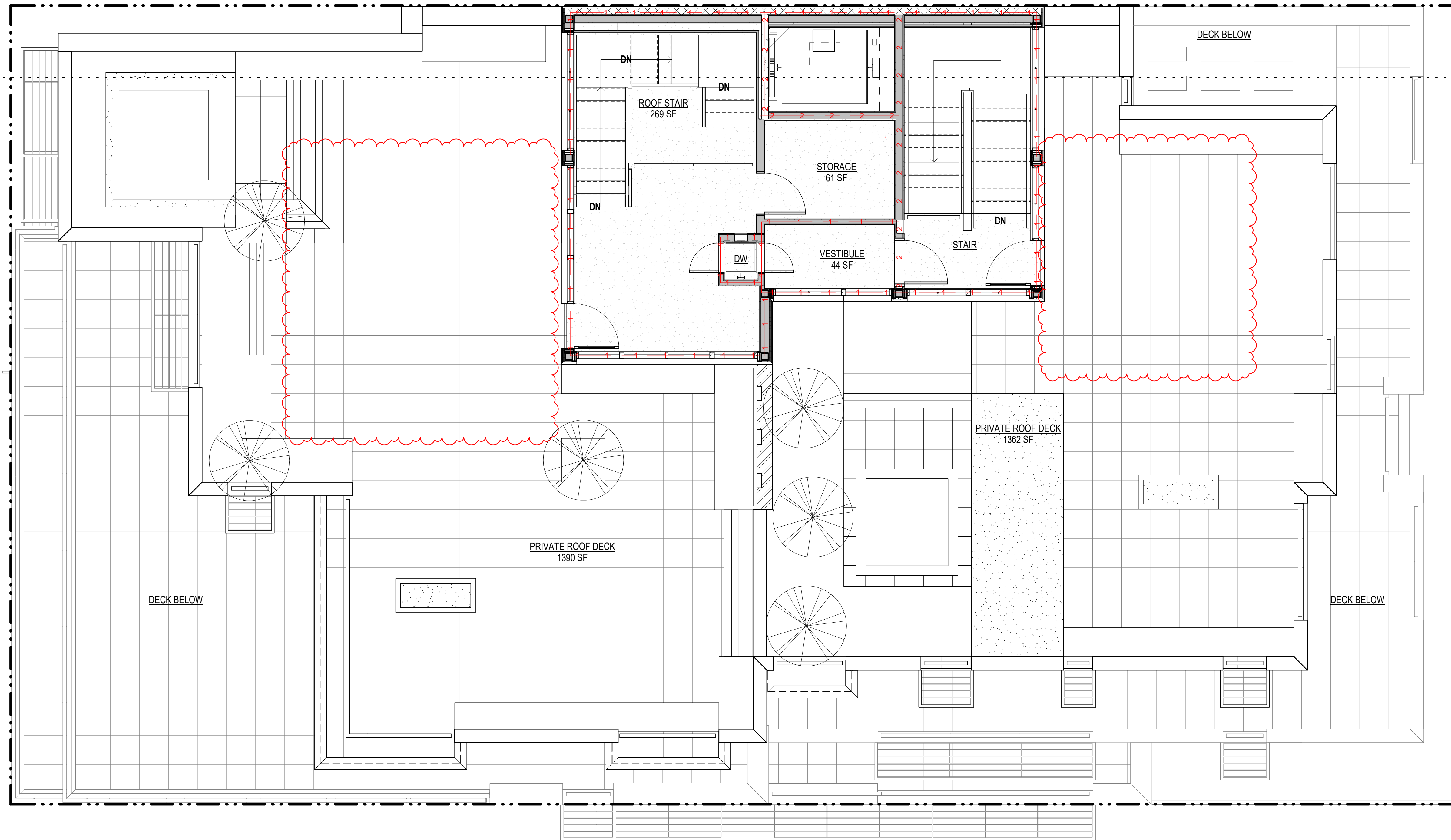


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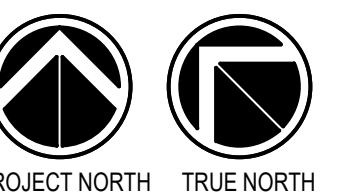




GROSS FLOOR AREA: 278 SF  
 NET FLOOR AREA: 61 SF

PROPOSED ROOF DECK FLOOR PLAN

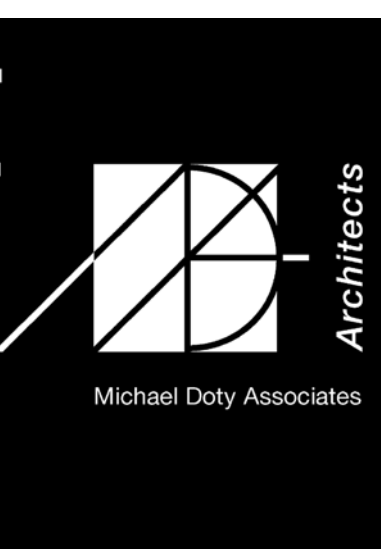
1 2 4 8 1/4" = 1'-0"

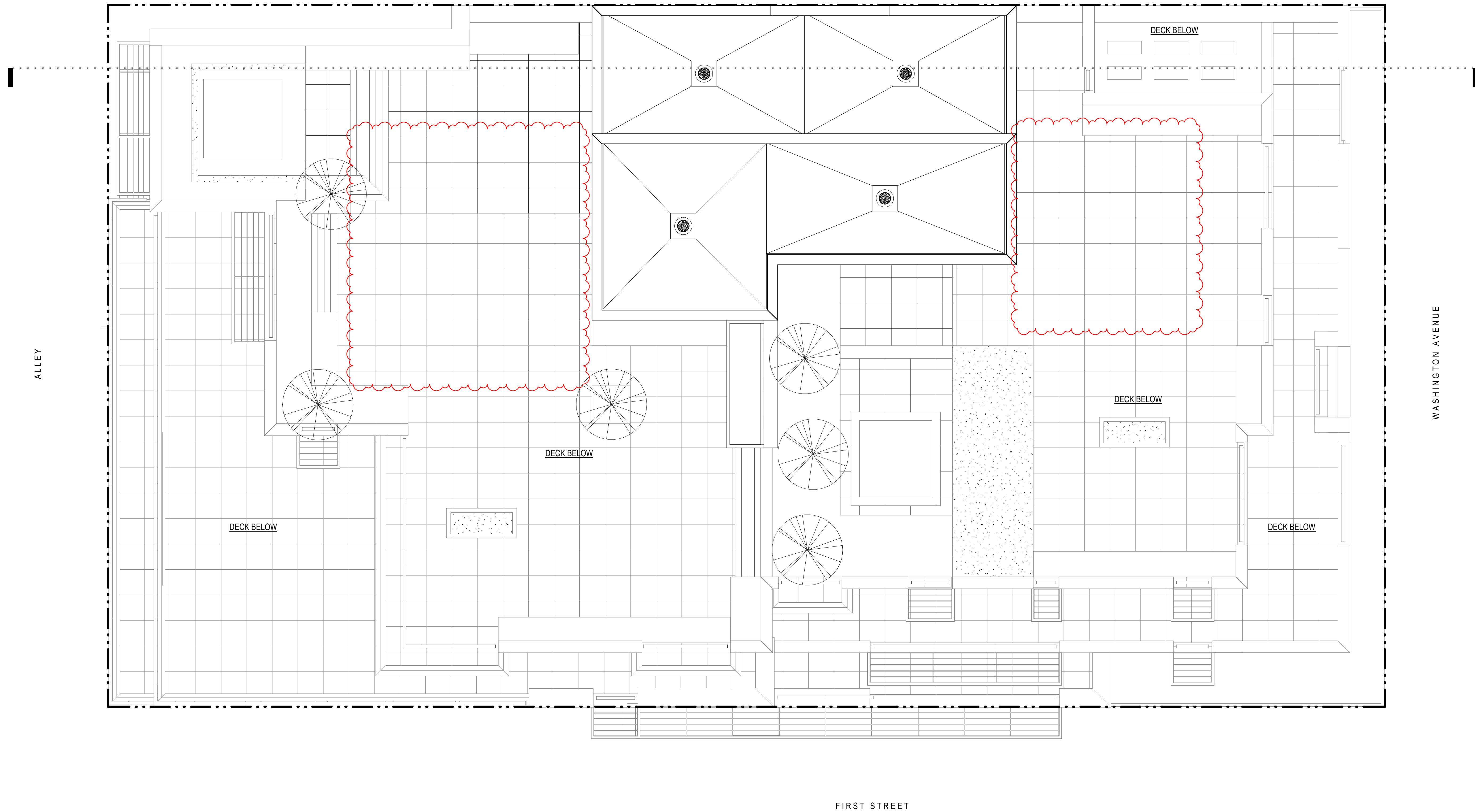


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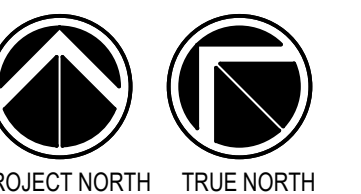
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PROPOSED ROOF PLAN

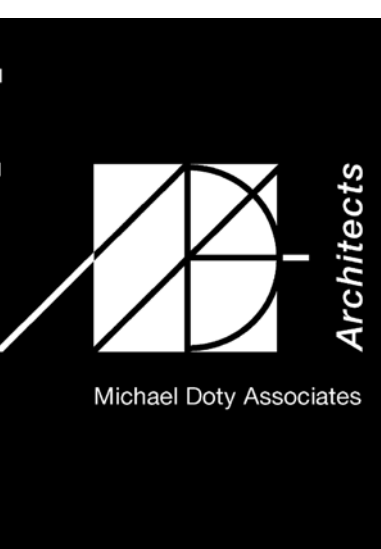
1 2 4 8 1/4" = 1'-0"



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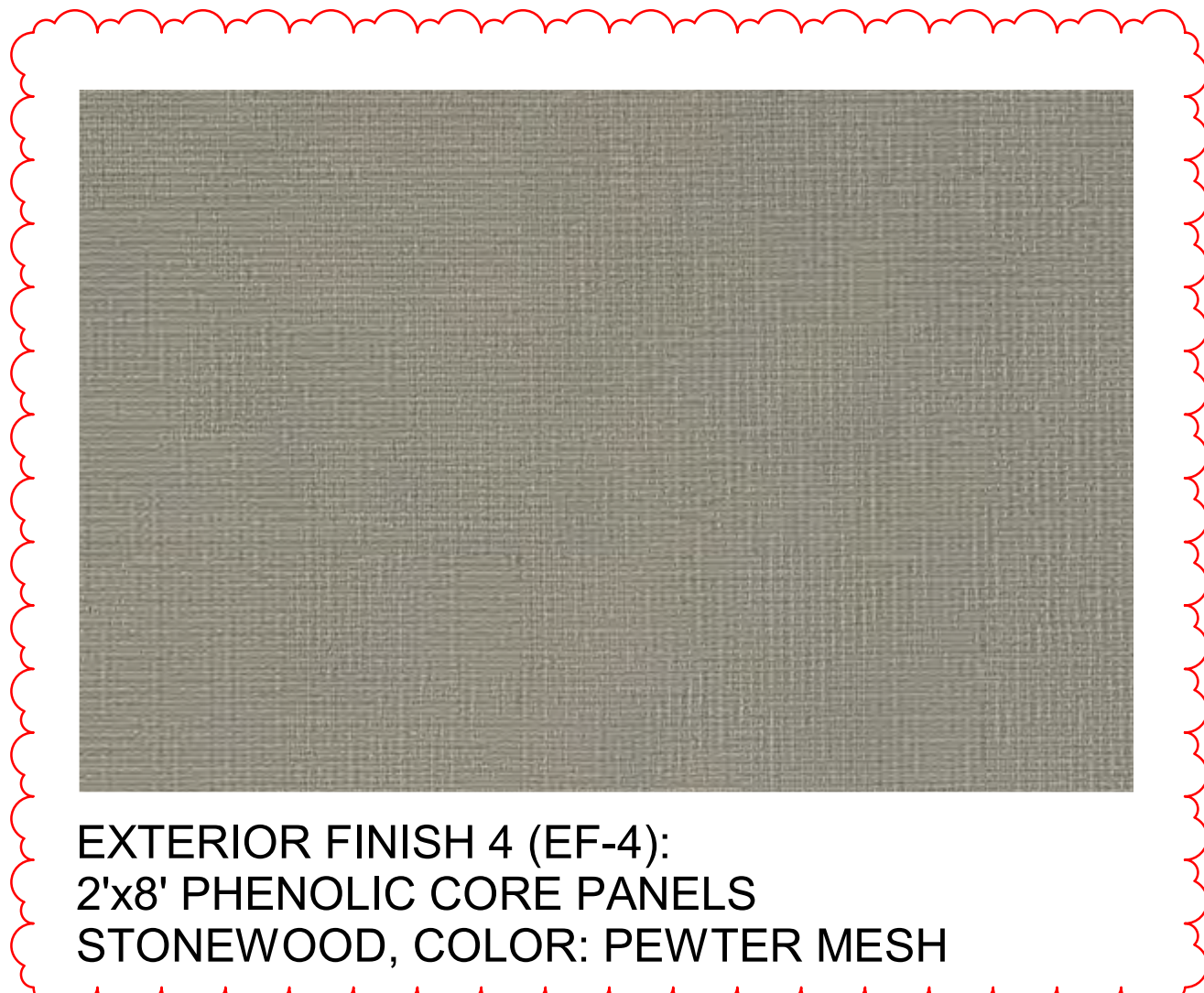
EXTERIOR FINISH 1 (EF-1):  
2-3/4" MODULAR BRICK VENEER  
INTERSTATE BRICK, COLOR: LONE TREE



EXTERIOR FINISH 2 (EF-2):  
1x6 GARAPA RAINSCREEN, HORIZONTAL  
CLEAR SEALER



EXTERIOR FINISH 3 (EF-3):  
1x6 GARAPA RAINSCREEN, VERTICAL  
WEATHERED PATINA



EXTERIOR FINISH 4 (EF-4):  
2'x8' PHENOLIC CORE PANELS  
STONEWOOD, COLOR: PEWTER MESH



EXTERIOR FINISH 5 (EF-5):  
NATURAL STONE VENEER  
ASHLAR PATTERN, COLOR:



EXTERIOR FINISH 6 (EF-6):  
STEEL, STEEL PANELS, STEEL FLASHING  
KYNAR 500, COLOR: BLACK



GUARDRAIL 1 (GR-1):  
BLACK STEEL BAR



EXTERIOR DOORS AND WINDOWS:  
BLACK ANODIZED STOREFRONT



PROJECTING SIGNAGE CONCEPT

ELEMENT-Lighting.com

## 4" LED FIXED DOWNLIGHT

**TRIMS**

TRIM	FINISH
 ROUND FLANGELESS BEVEL FLANGELESS FLAT FLANGED BEVEL FLANGED FLAT	 SQUARE FLANGELESS BEVEL FLANGELESS FLAT FLANGED BEVEL FLANGED FLAT

**4" HOUSING**  
MAX CEILING THICKNESS: 2"

NON-IC AIRTIGHT

IC AIRTIGHT

**LED SOLUTIONS**

**LAMPING & OPTICS**

	CITIZEN MAX-OUTPUT / HIGH-OUTPUT / LOW-OUTPUT			XICATO / ARTIST SERIES	LUMENETIX WARM COLOR DIMMING	LUMENETIX SPROCKET / WHITE
Output (Picture Performance)	Max: 3300 / 2640	High: 2500 / 2060	Low: 1500 / 1200	1800 / 1275	1075	1075
CRI	80+ / 90+	90+	90+	80+ / 98+	90+	90+
Color Temperature	2700K / 3000K / 3500K	2700K / 3000K / 3500K	2700K / 3000K / 3500K	2700K / 3000K / 3500K	3000K-1800K Warm Dim	1600K-4000K
Dimming	Down to 5%*	Down to 5%*	Down to 5%*	Down to 5%*	Down to 1%	Down to 1%
Dimming Type	ELV, 0-10V, Hi-Lume	ELV, 0-10V, Hi-Lume	ELV, 0-10V, Hi-Lume	ELV, 0-10V, Hi-Lume	0-10V	0-10V, 2 sets
Beam Spreads	18°, 25°, 40°	18°, 25°, 40°	18°, 25°, 40°	21°, 43°, 60°	21°, 43°, 60°	21°, 43°, 60°
Power Supply	Constant Current Driver			Constant Current Driver	24V DC Constant Voltage	24V DC Constant Voltage
Wattage	Max: 32 watts	High: 32 watts	Low: 18 watts	24 watts / 22 watts	23 watts	23 watts
Title 24	At 90 CRI			—	—	—

\*with ELV Driver option

**GENERATION BRANDS**

**ELEMENT**  
by Tech Lighting®

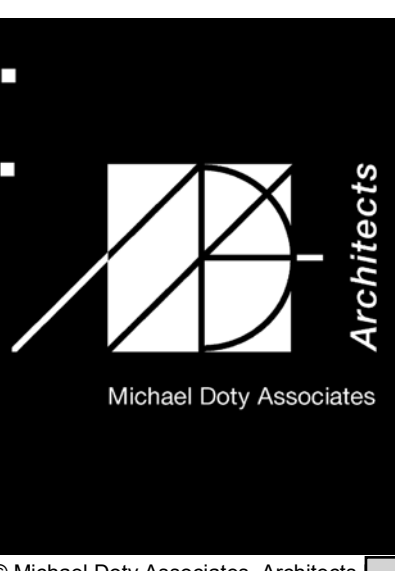
7400 Linder Avenue, Skokie, Illinois 60077 T 847.410.4400 F 847.410.4500

### RECESSED CAN LIGHT

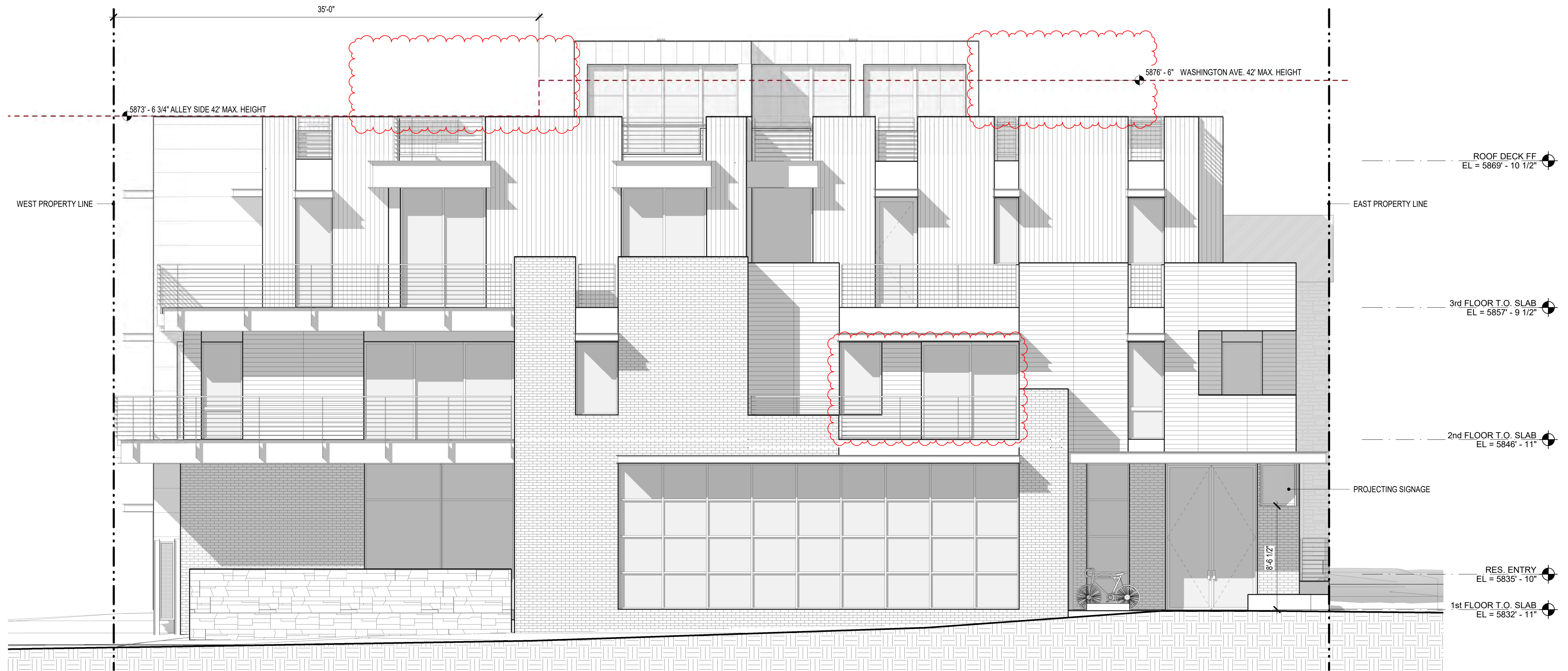
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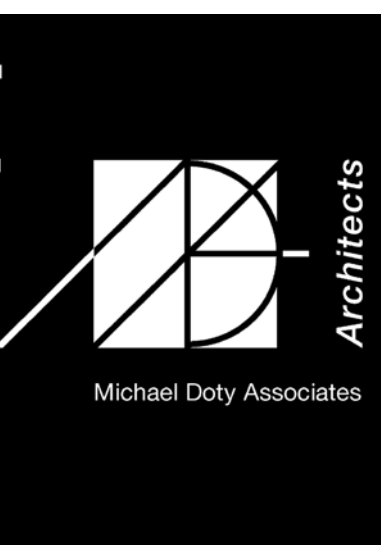
PROPOSED SOUTH (FIRST ST) ELEVATION

1/4" = 1'-0"

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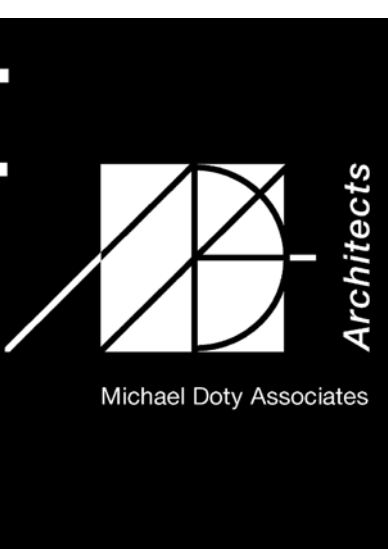
PROPOSED SOUTH (FIRST ST) ELEVATION

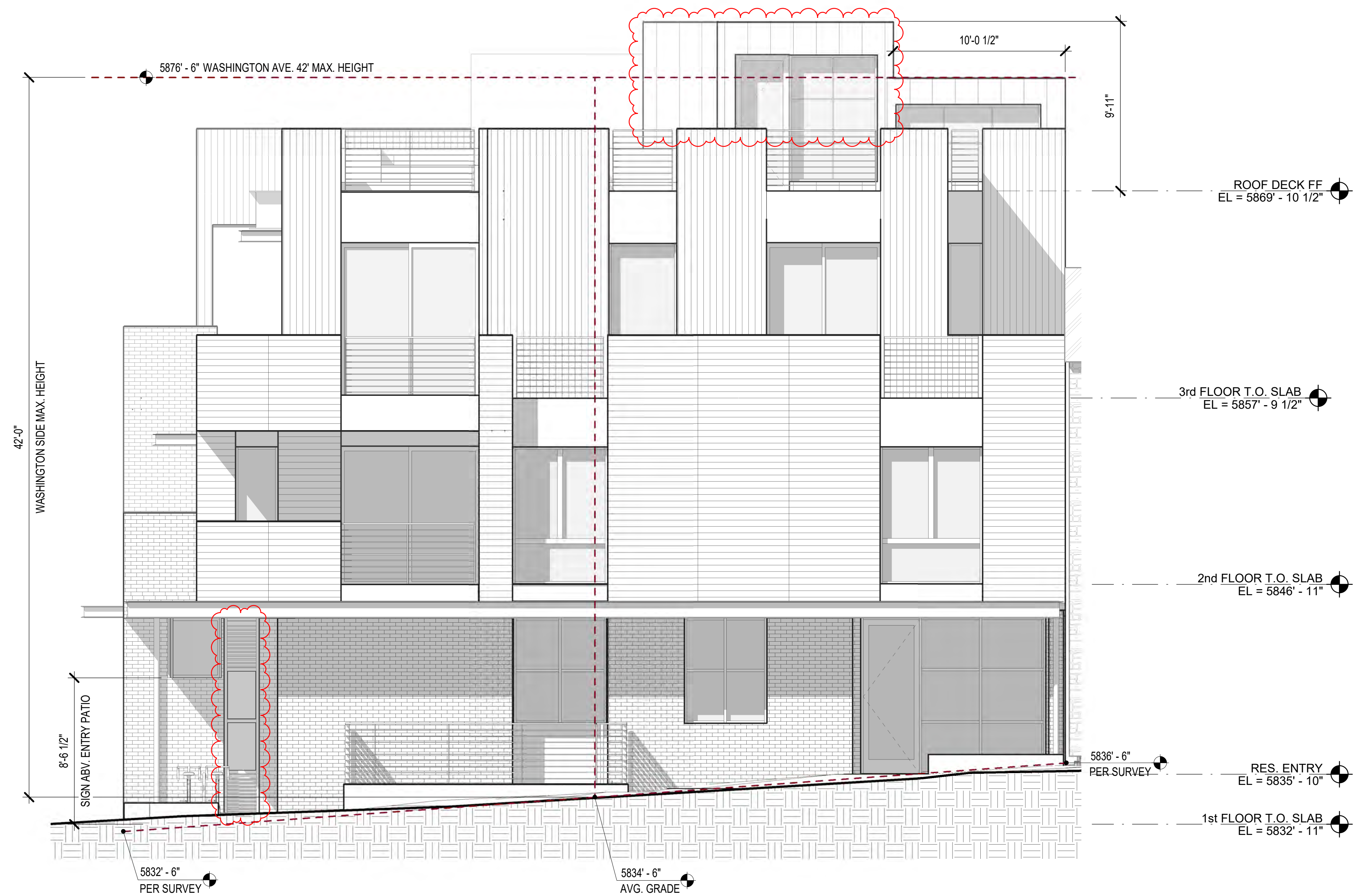
1 2 4 8 1/4" = 1'-0"

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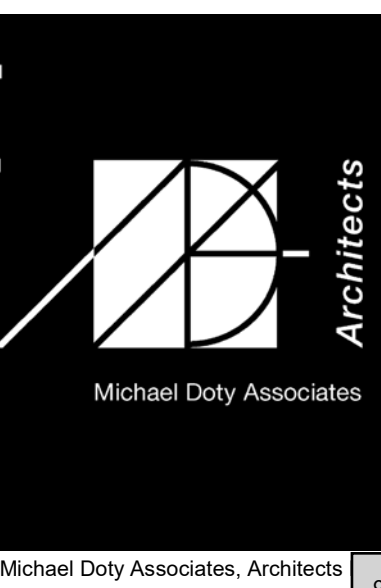
PROPOSED EAST (WASHINGTON) ELEVATION

1 2 4 8 1/4" = 1'-0"

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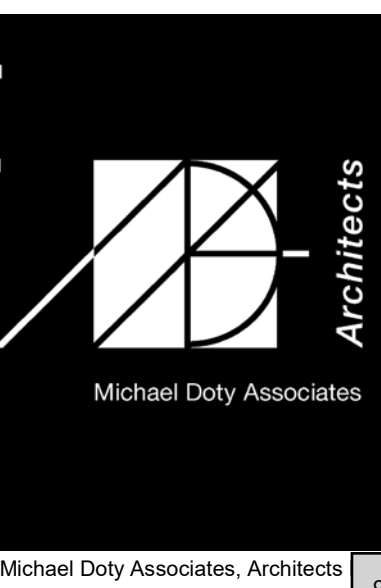
PROPOSED EAST (WASHINGTON) ELEVATION

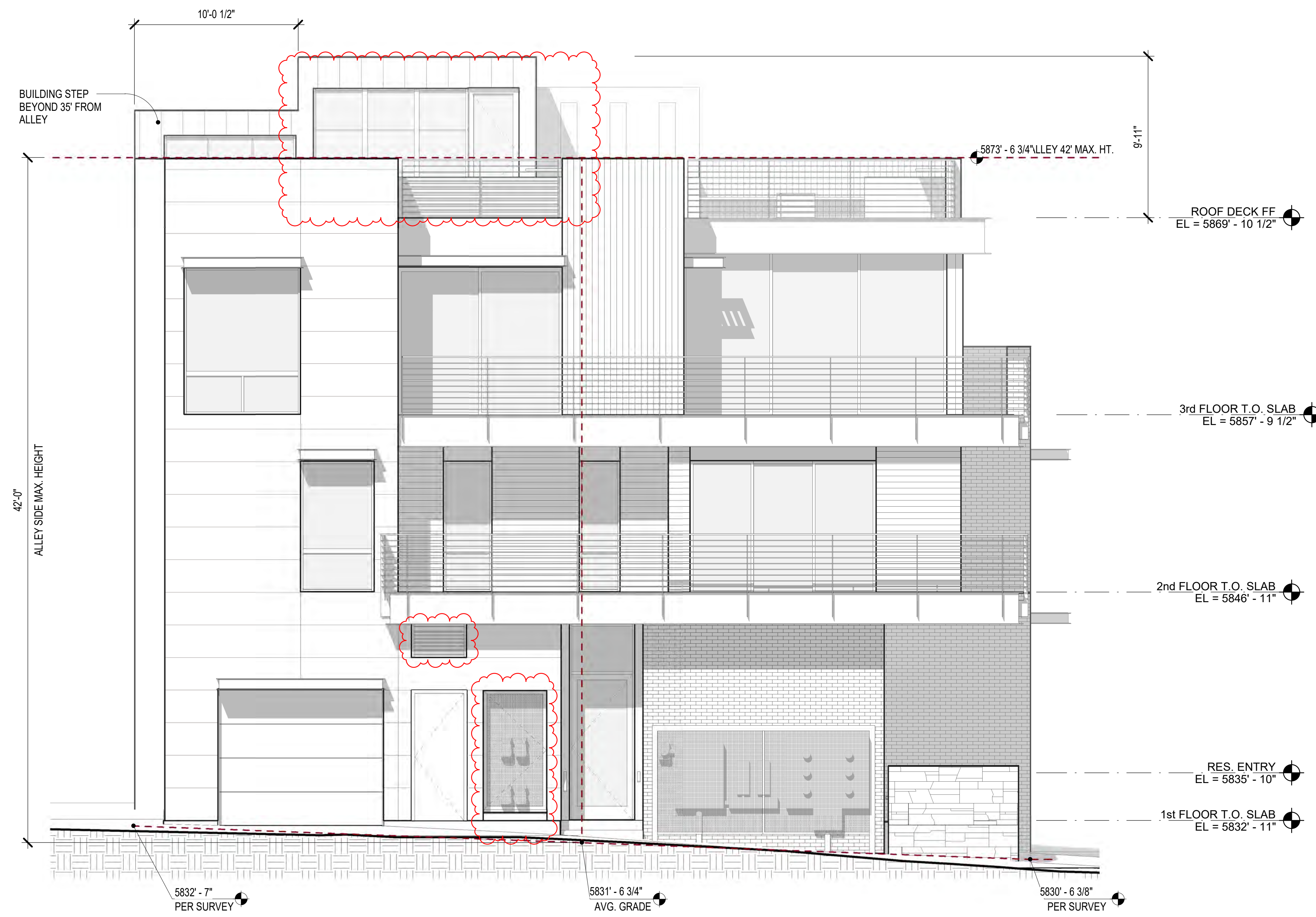
1 2 4 8 1/4" = 1'-0"

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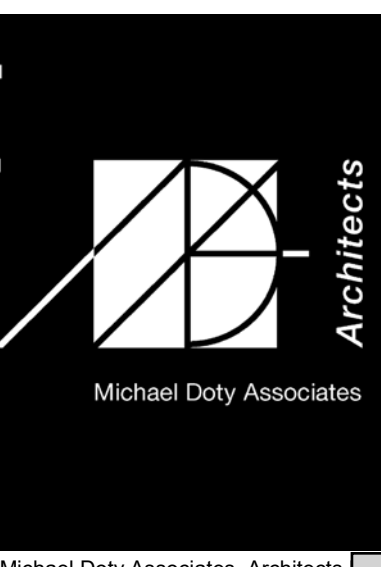


PROPOSED WEST (ALLEY) ELEVATION

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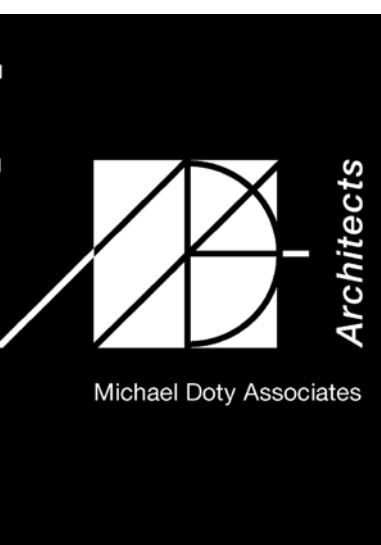
PROPOSED WEST (ALLEY) ELEVATION

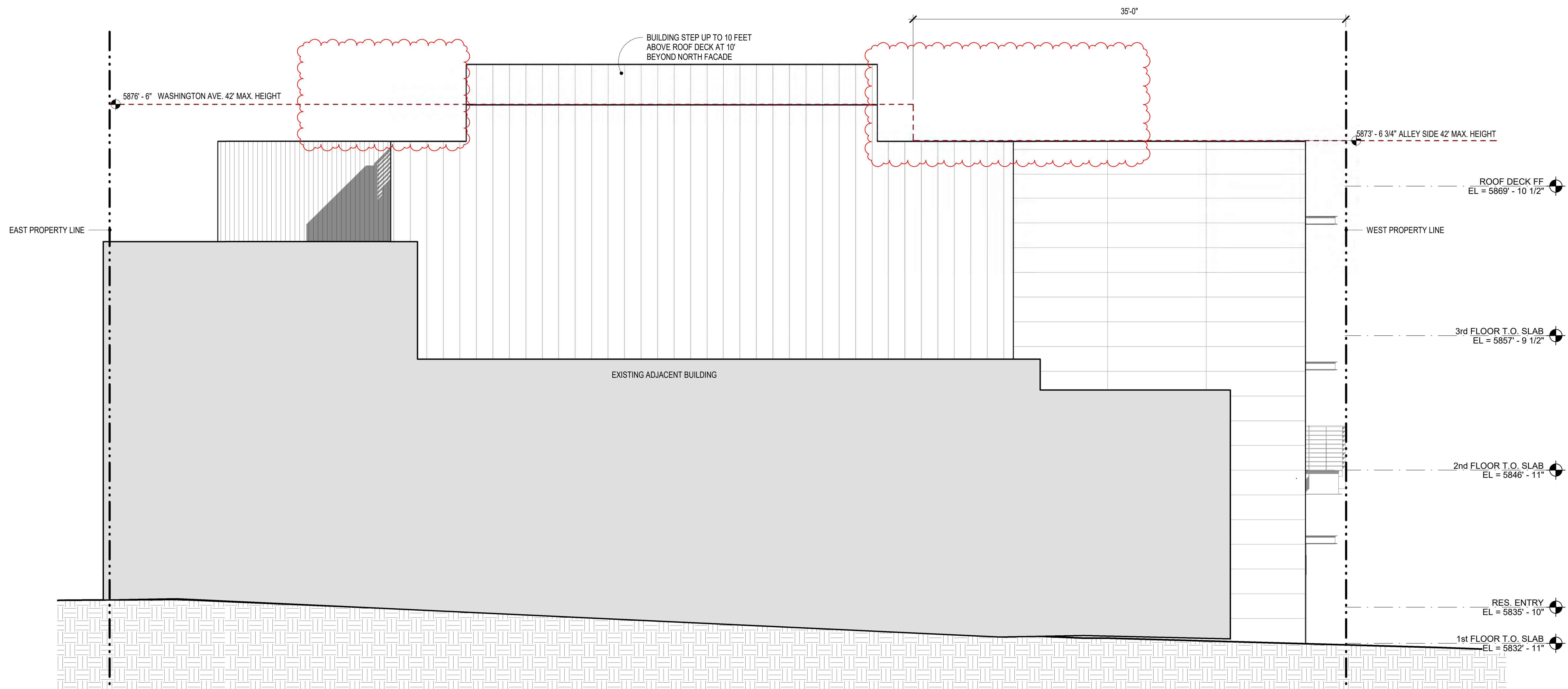
1 2 4 8 1/4" = 1'-0"

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

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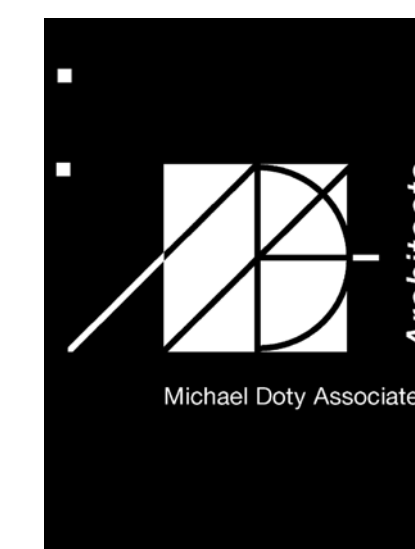
PROPOSED NORTH ELEVATION

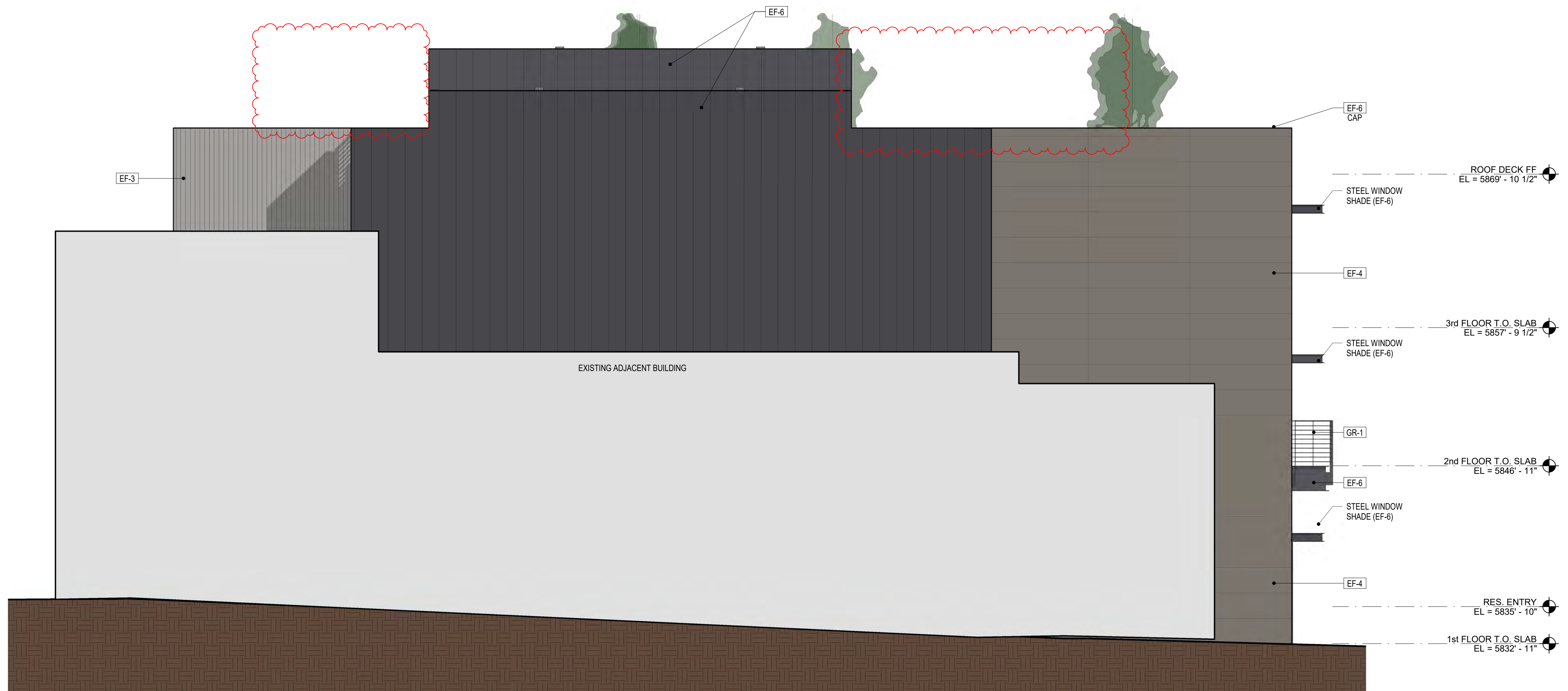
1 2 4 8 1/4" = 1'-0"

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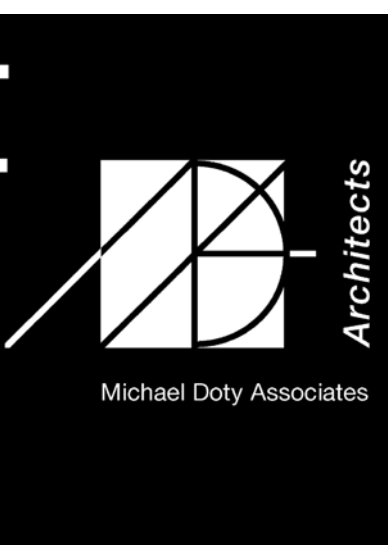
PROPOSED NORTH ELEVATION

1/4" = 1'-0"

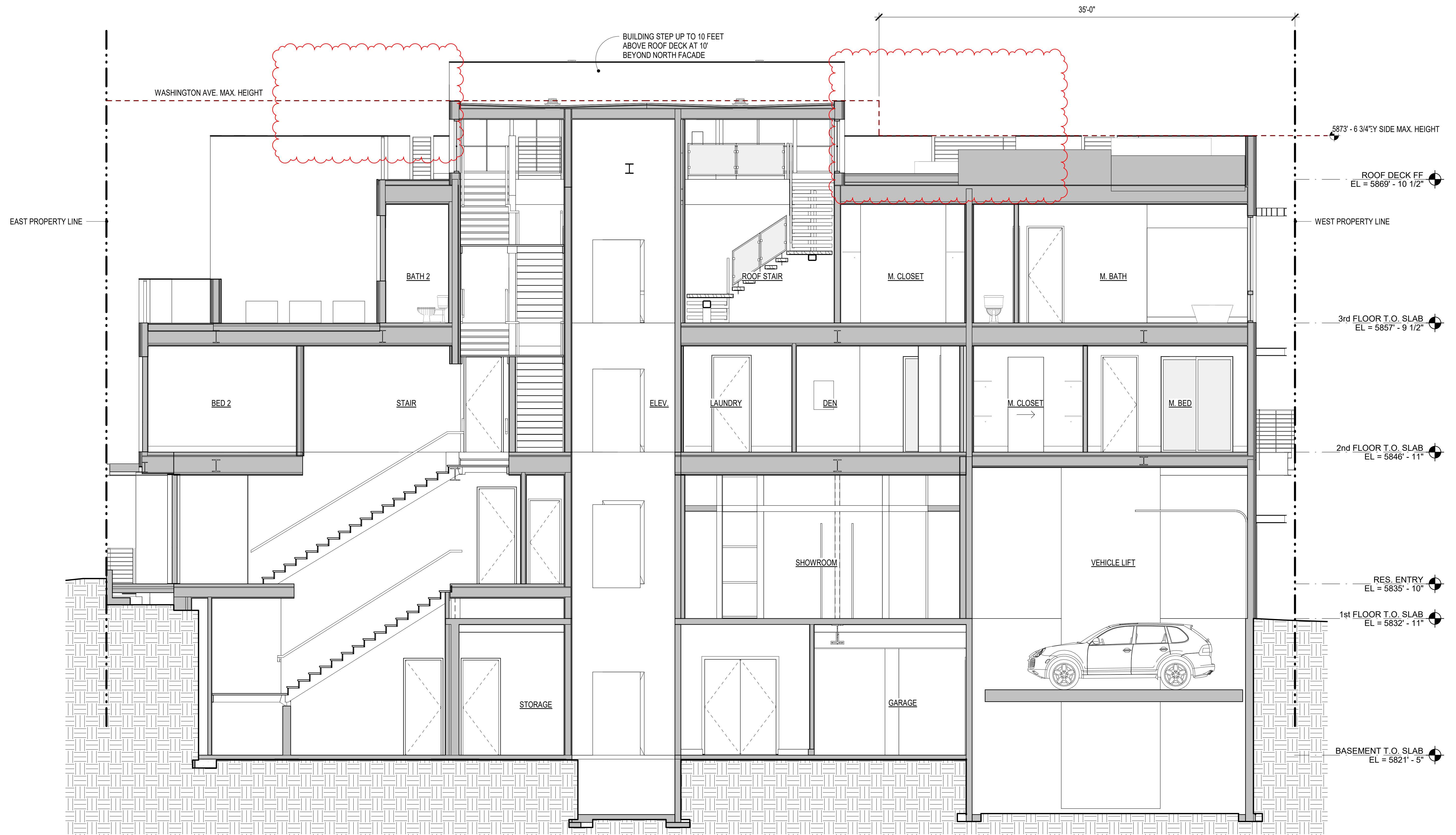
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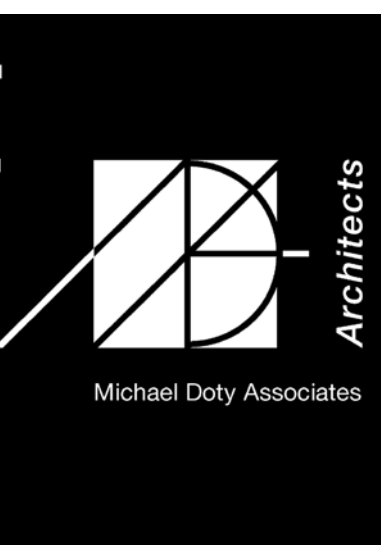
PROPOSED BUILDING SECTION

1/4" = 1'-0"

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

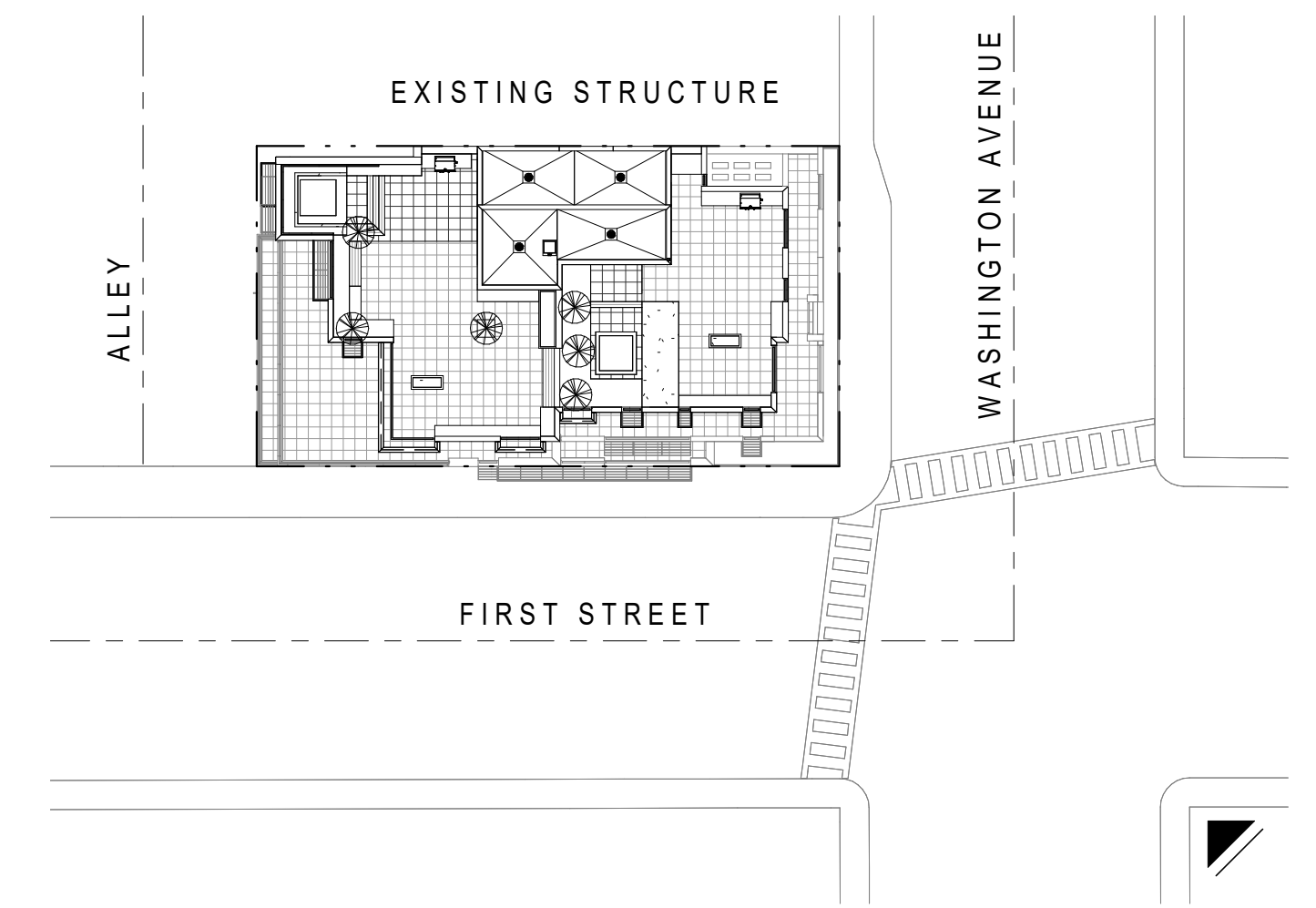
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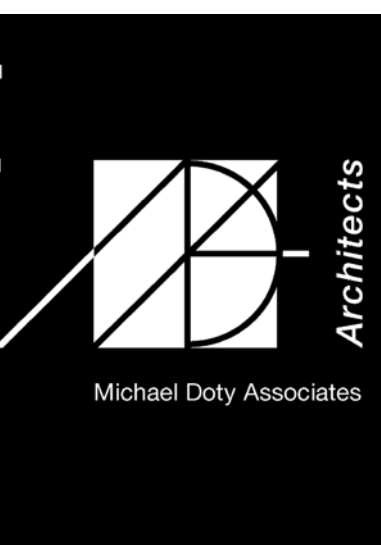
VIEW FROM FIRST AND WASHINGTON



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

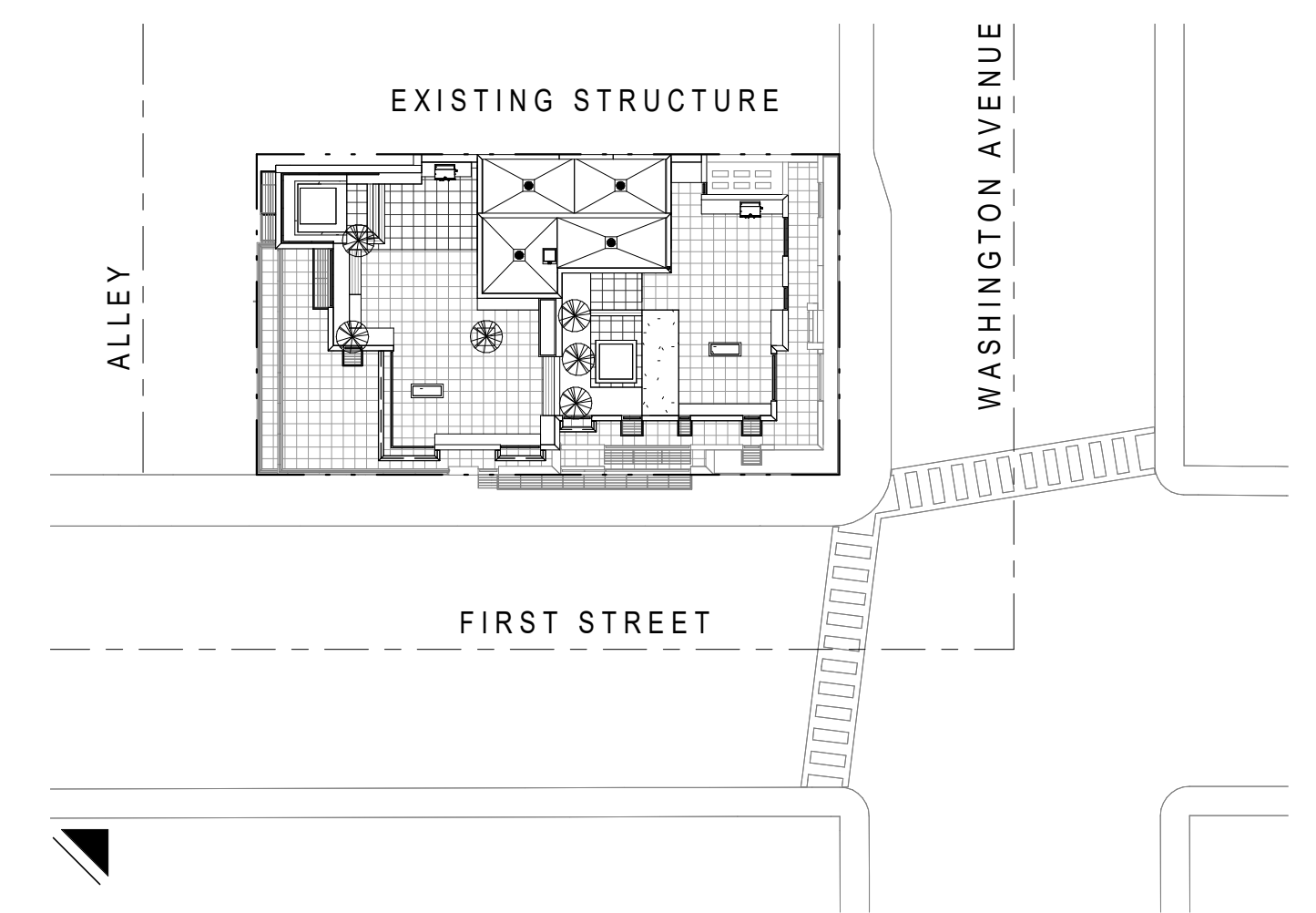
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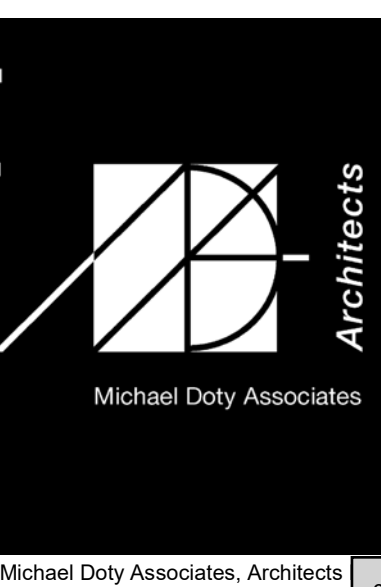
VIEW FROM FIRST AND ALLEY



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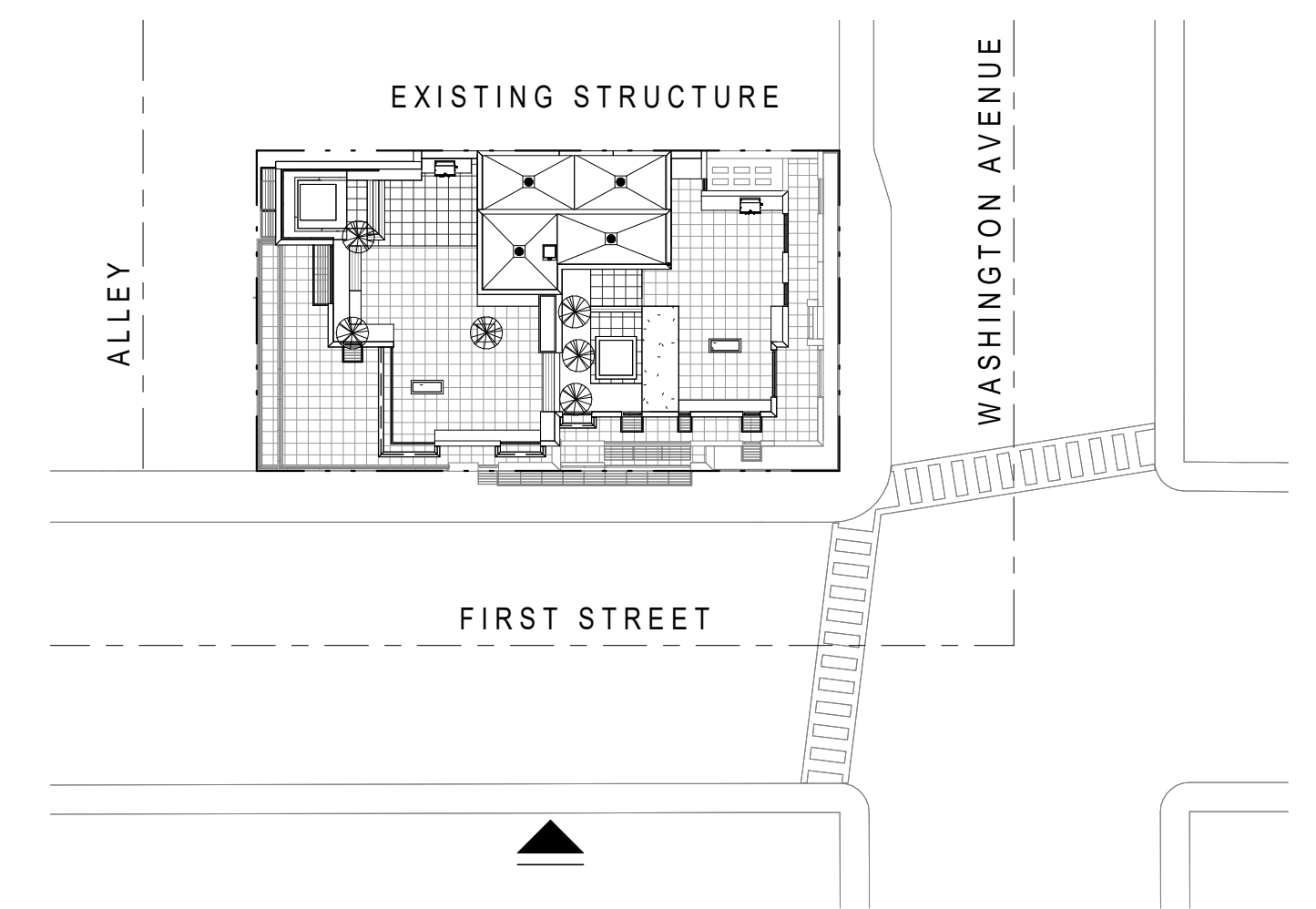
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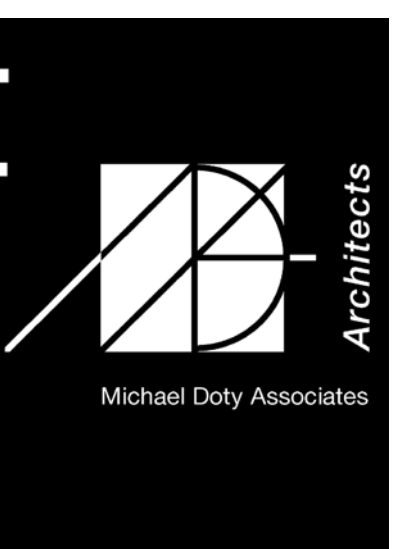
VIEW FROM FIRST STREET



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

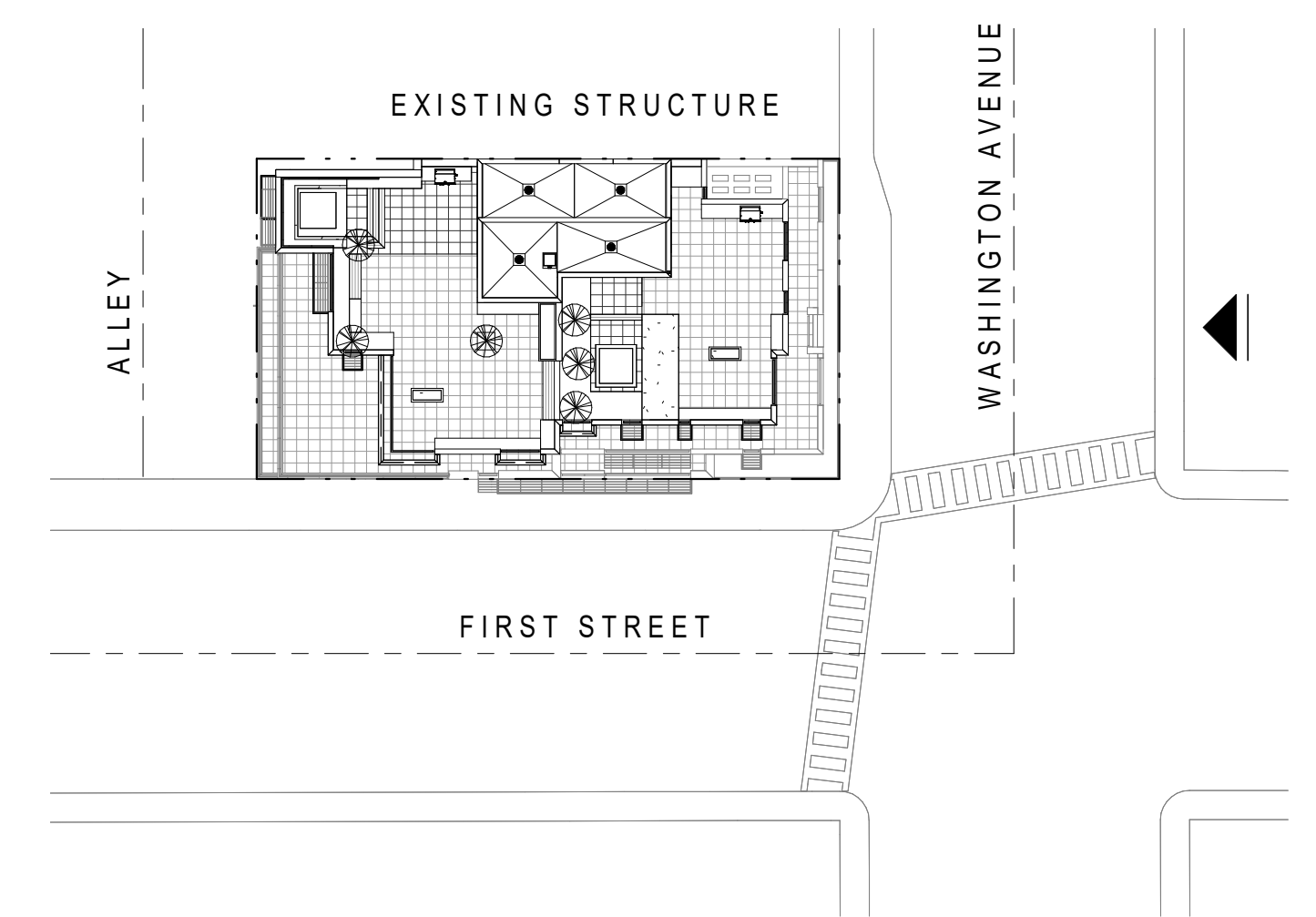
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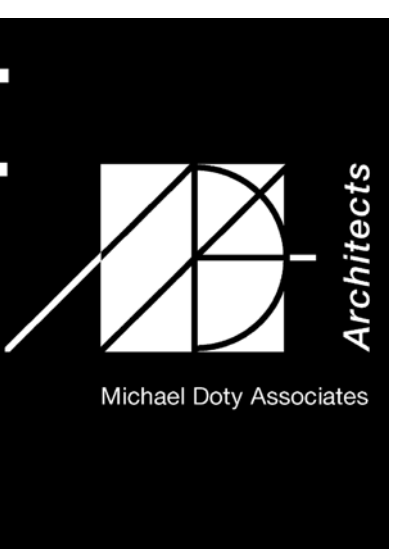
VIEW FROM WASHINGTON AVENUE

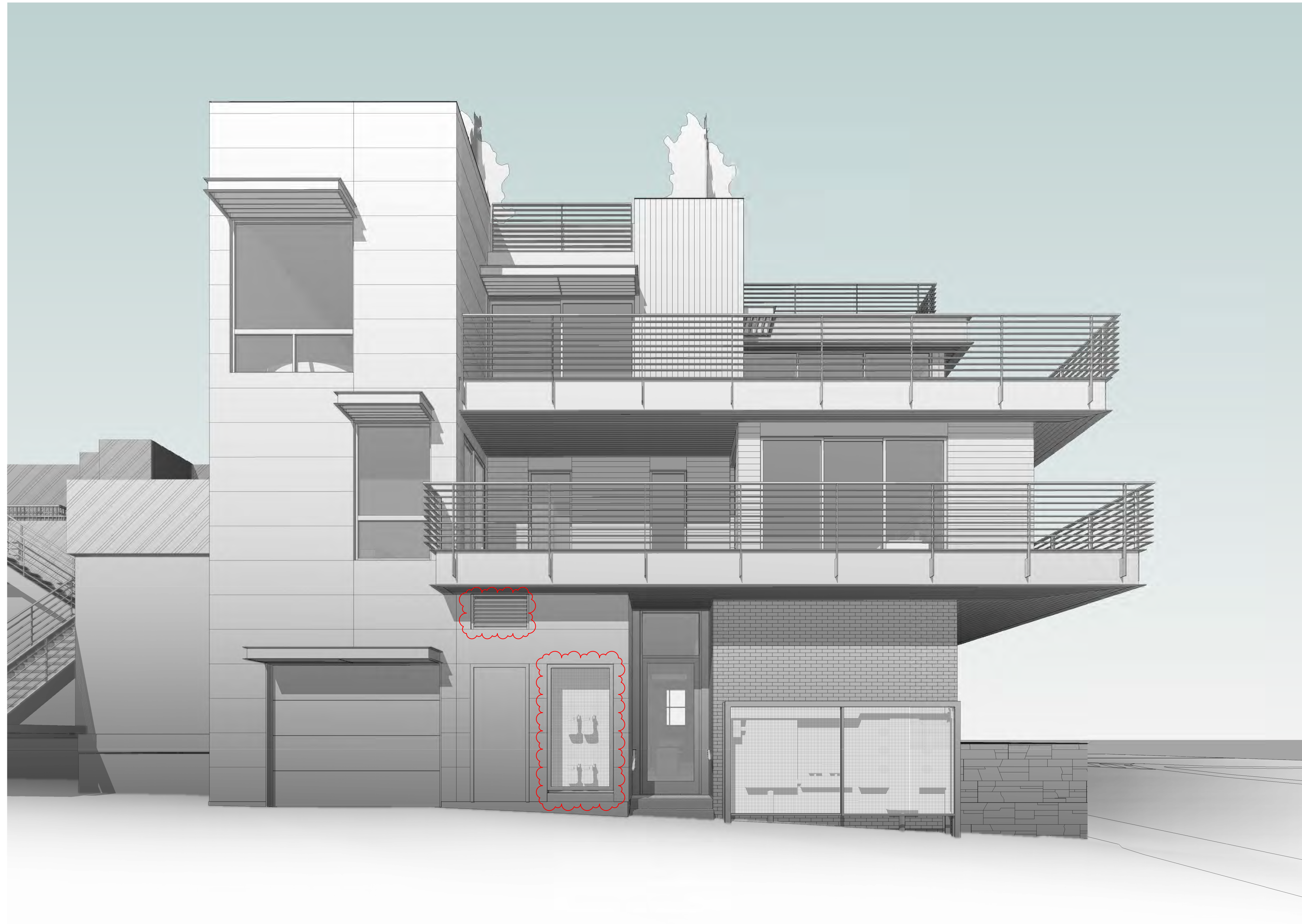


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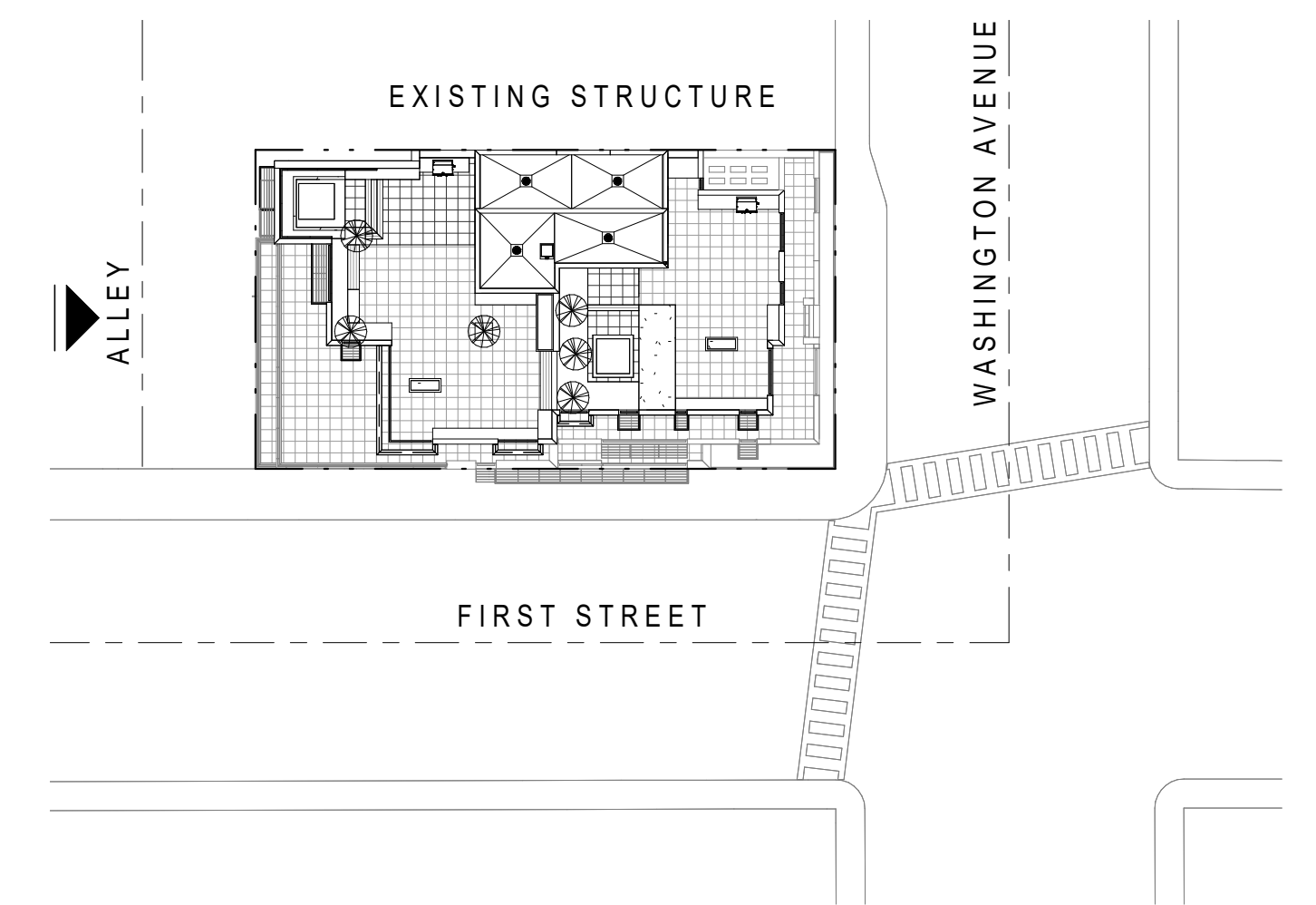
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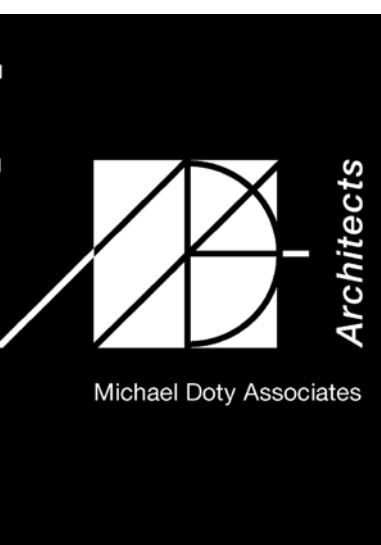
VIEW FROM ALLEY



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

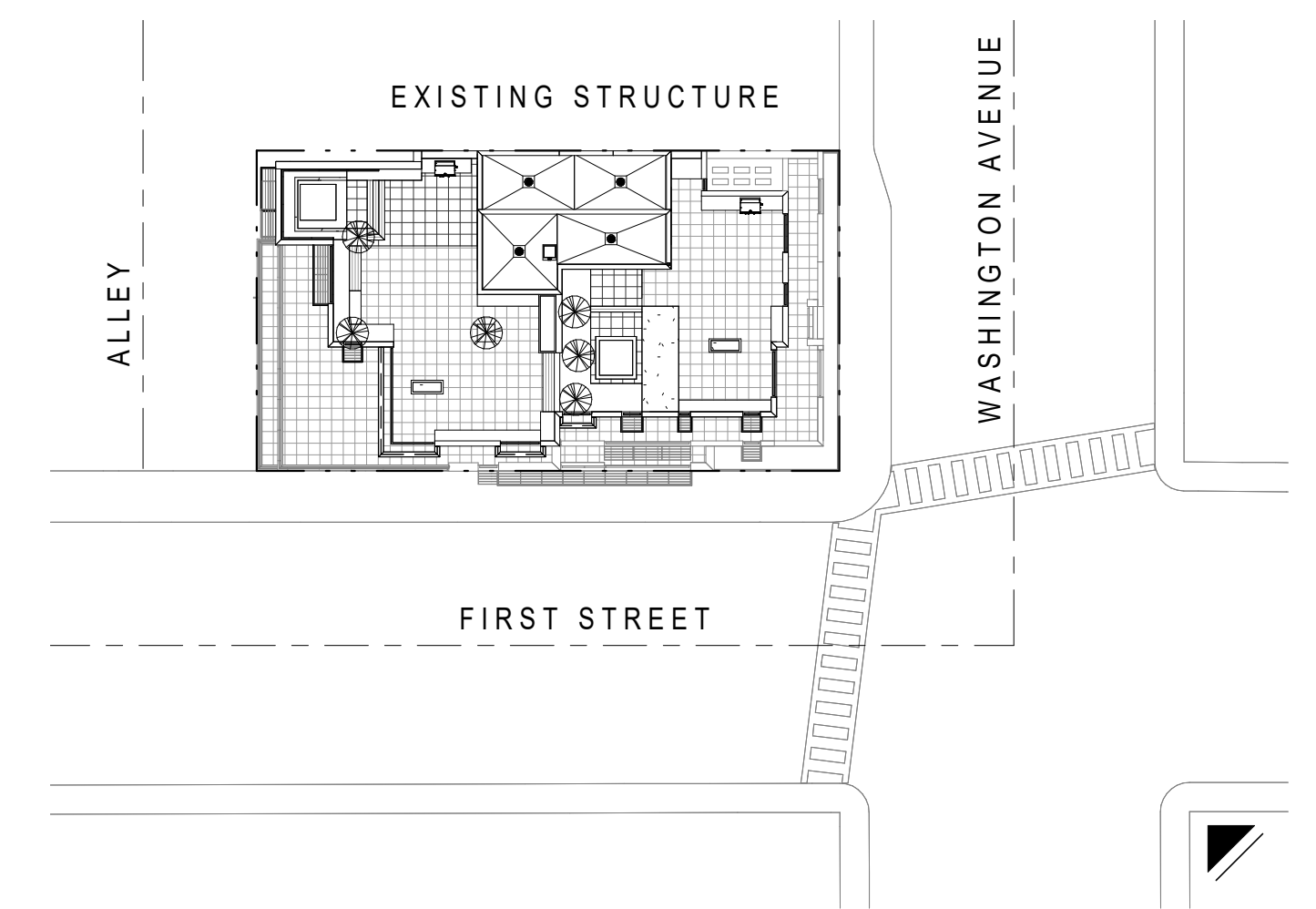
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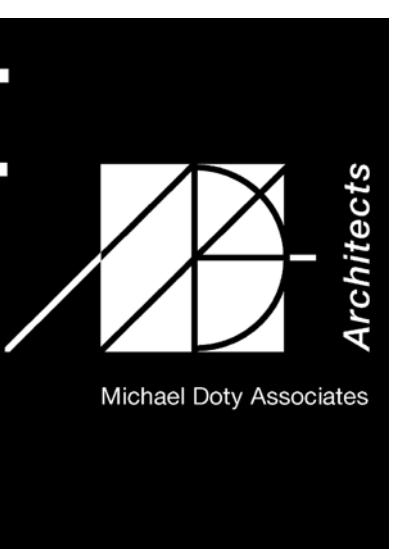
VIEW FROM FIRST AND WASHINGTON



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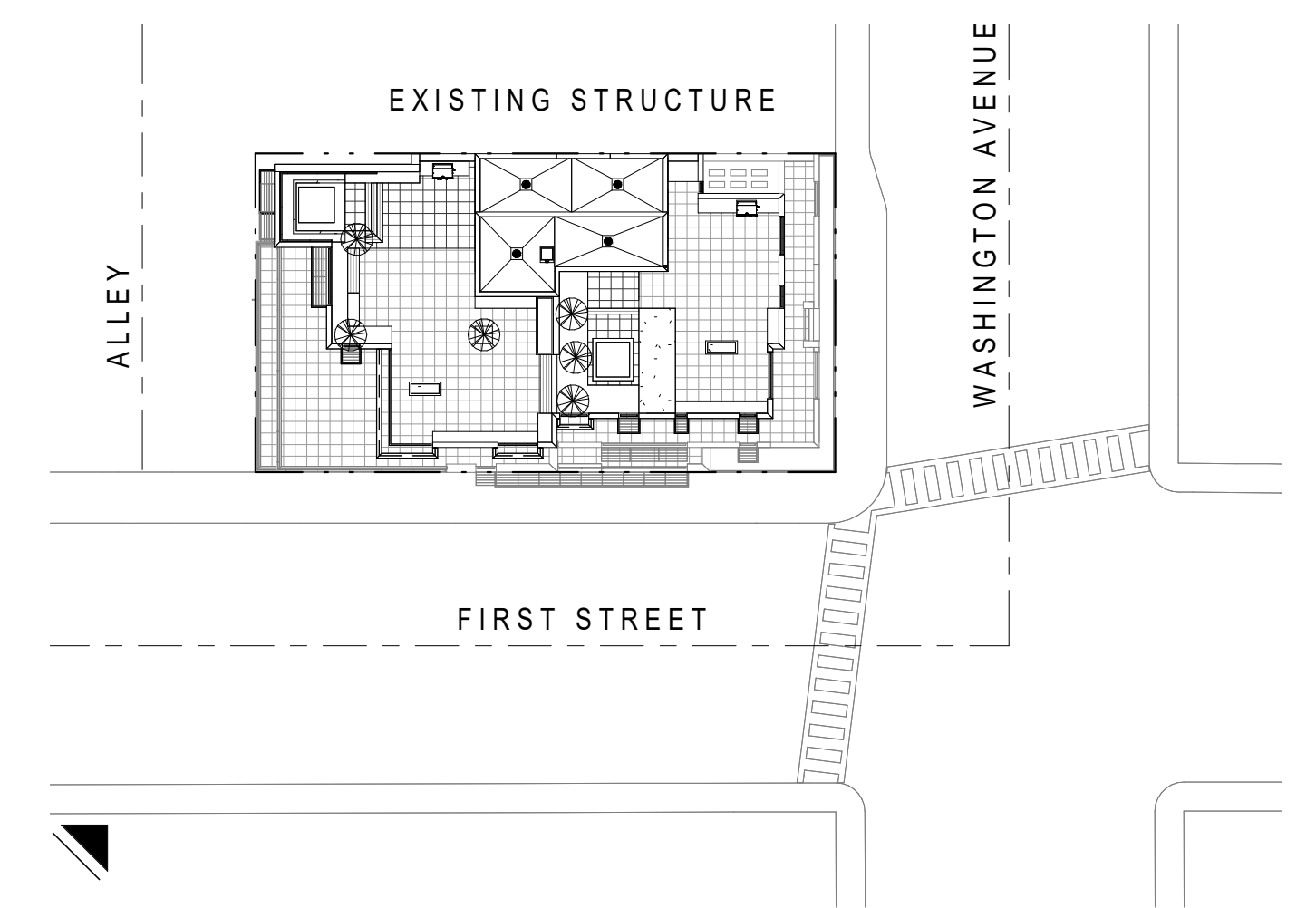
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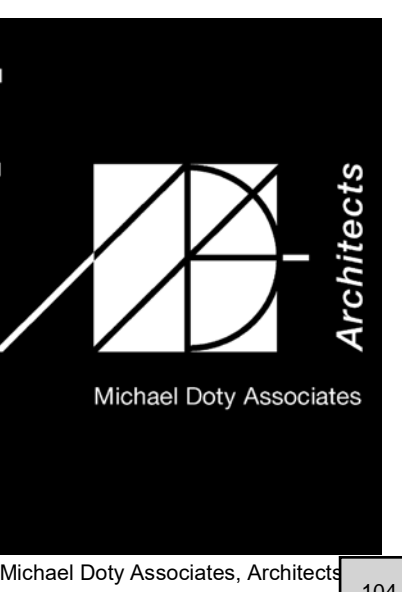
VIEW FROM FIRST AND ALLEY



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

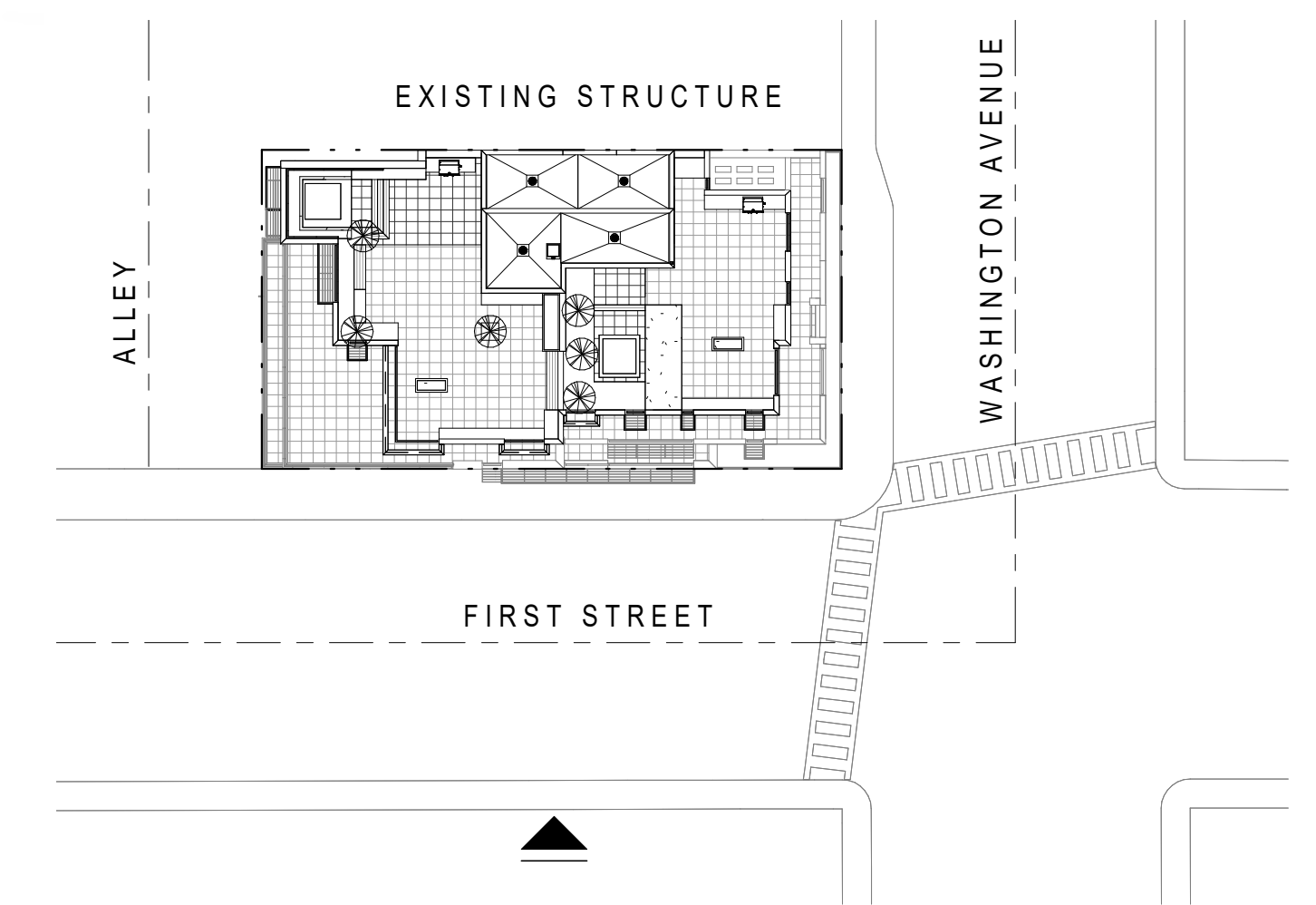
2/28/2022 REVISION  
5/19/2020







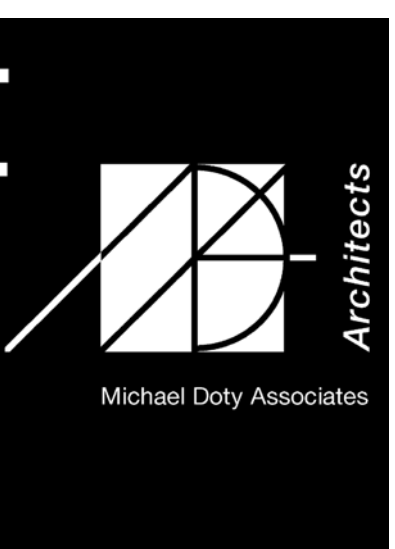
VIEW FROM FIRST STREET



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

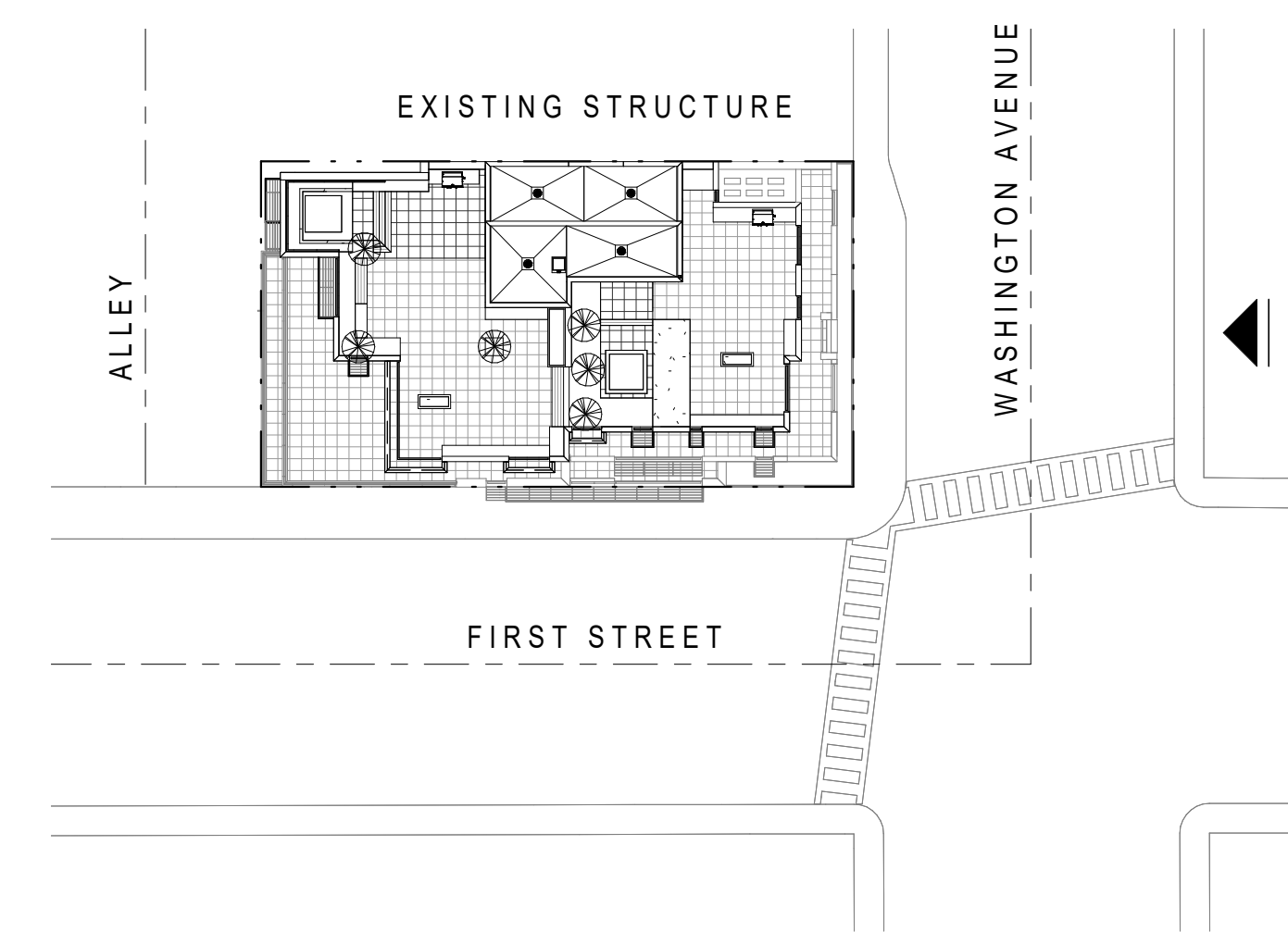
111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

2/28/2022 REVISION  
5/19/2020





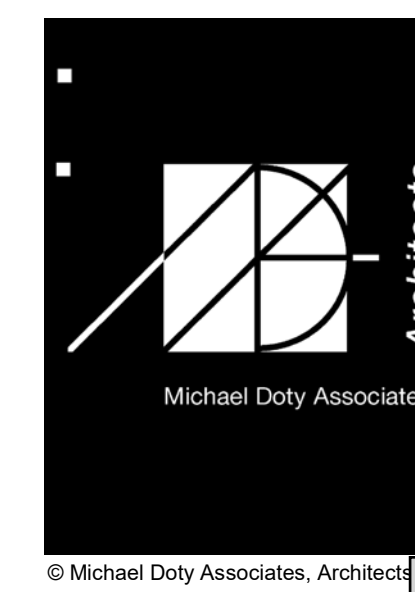
VIEW FROM WASHINGTON AVENUE



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

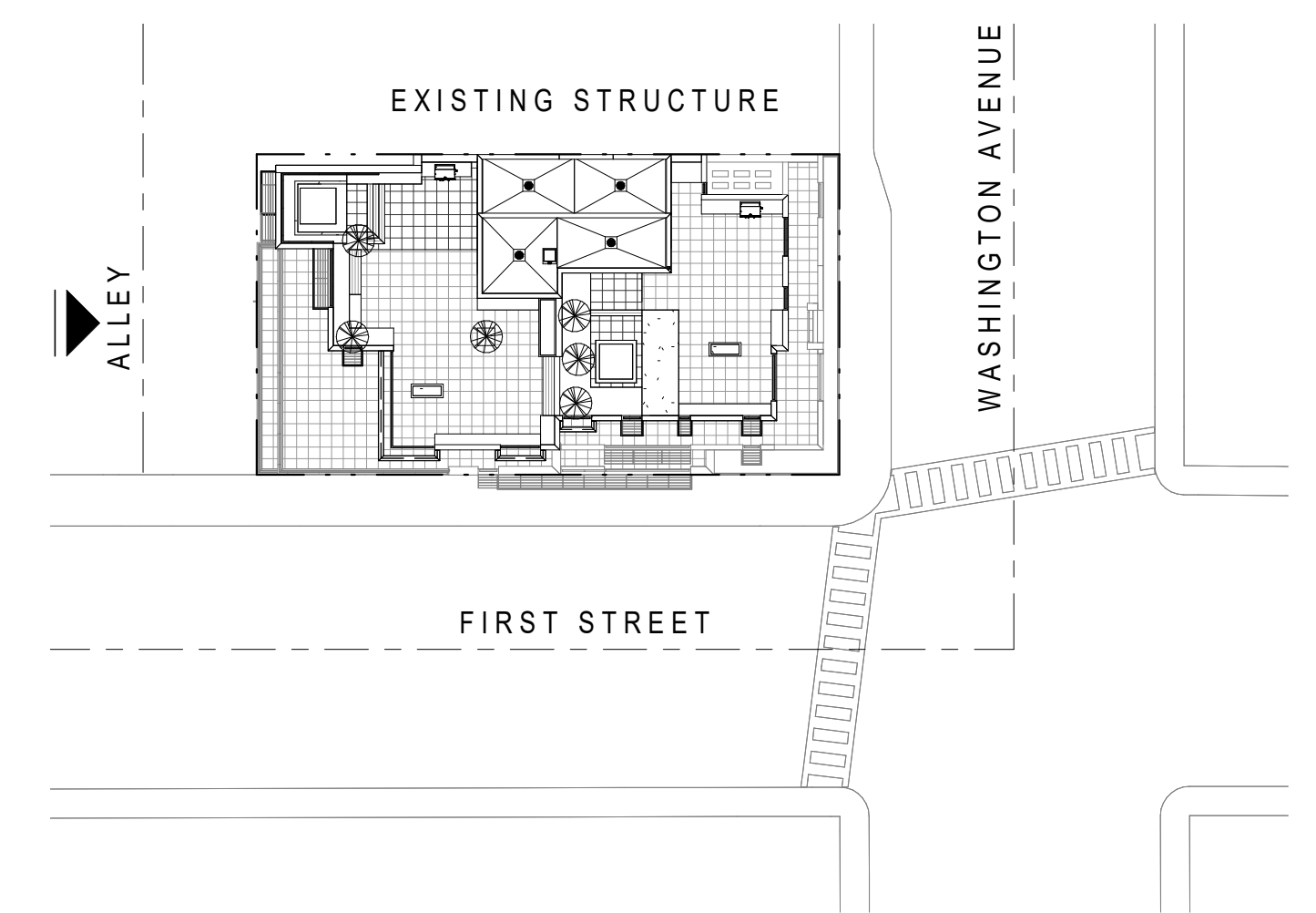
111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

2/28/2022 REVISION  
5/19/2020





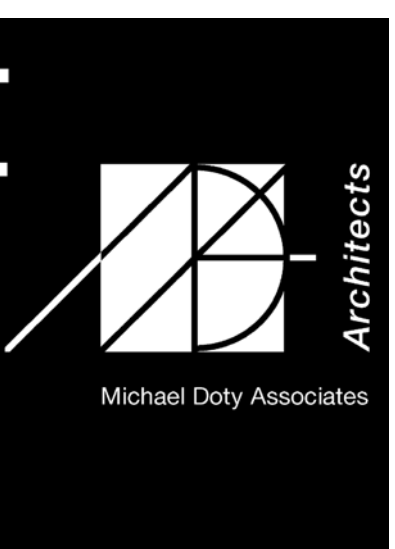
VIEW FROM ALLEY



# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

2/28/2022 REVISION  
5/19/2020



**Attachment B**

**Condominium Subdivision**

**Preliminary Plat P22-014:**

**Draft Findings of Fact,**

**Conclusions of Law, and**

**Decision**



City of Ketchum  
Planning & Building

IN RE: )  
 )  
 Mountain Land Design Showroom & Residences ) KETCHUM PLANNING AND ZONING COMMISSION  
 360 Views Condominiums ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
 Condominium Subdivision Preliminary Plat ) DECISION  
 )  
 Date: June 14, 2022 )  
 )  
 File Number: P22-014 )

**PROJECT:** Mountain Land Design Showroom & Residences (360 Views Condominiums)

**APPLICATION TYPE:** Condominium Subdivision Preliminary Plat

**FILE NUMBER:** P22-014

**ASSOCIATED APPLICATIONS:** Design Review P20-027 & Design Review Amendment P20-027A

**REPRESENTATIVE:** Bruce Smith, P.L.S, Alpine Enterprises

**PROPERTY OWNER:** 360 Views LLC

**LOCATION:** 111 N Washington Avenue (Ketchum Townsite: Block 39: Lot 4)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The Planning and Zoning Commission considered the 360 Views Condominium Subdivision Preliminary Plat Application File No. P22-014 for the Mountain Land Design Showroom & Residences project during their regular meeting on May 24<sup>th</sup>, 2022. The application was considered concurrently with Design Review Amendment Application File No. P20-027A and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice

The public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 4<sup>th</sup>, 2022. The public hearing notice was published in the Idaho Mountain Express the on May 4<sup>th</sup>, 2022. A notice was posted on the City’s website on May 4<sup>th</sup>, 2022. The public hearing notice was posted on the project site on May 17<sup>th</sup>, 2022.

## FINDINGS OF FACT

The Ketchum Planning and Zoning Commission having reviewed the project record does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

### Project History and Background

The Planning and Commission first reviewed and approved a Design Review application for the Mountain Land Design Showroom & Residences on August 13<sup>th</sup>, 2019. At that time, the plans proposed an addition and exterior façade upgrades to the existing building on the property. The existing building was constructed in 1983 and was occupied by Solavie Spa Retreat. Demolition work exposed structural deficiencies that made the addition unfeasible. The applicant then proposed a complete tear down of the existing spa to construct the new mixed-use building.

The Commission approved Design Review Permit P20-027 on June 8<sup>th</sup>, 2020 for the new mixed-use building located at 111 N Washington Avenue within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). The mixed-use building as approved by the Commission included a showroom on the ground level, an underground parking garage, and four residential units consisting of two multi-family residential units on the second floor, a penthouse residential unit on the third floor, and a community housing unit in the basement.

The Ketchum City Council approved Floor Area Ratio (FAR) Exceedance Agreement Contract #20491, recorded as Instrument number #671206 in records of Blaine County, on July 20<sup>th</sup>, 2020. The FAR Exceedance Agreement memorialized the applicant's community housing requirement in exchange for the project's increased FAR. The applicant will provide a 978-square-foot community housing unit with an associated 59-square-foot storage area in the basement of the new mixed-use building targeted for Blaine County Housing Authority Income Category 4 or lower. In addition to approving the applicant's community housing contribution, the FAR Exceedance Agreement memorialized the approved project, including not only the size of the mixed-use building, but also its mixture of retail and multi-family residential uses.

The project was issued a building permit (Application File No. B20-060) on August 3<sup>rd</sup>, 2020 and is currently under construction.

The applicant proposed both exterior and interior changes to the project plans approved by the Commission with Design Review Permit P20-027. The building program as approved by the Commission through Design Review Permit P20-027 included 4 residential units—1 community housing unit in the basement and 3 market-rate residential units on the second and third floors. The applicant proposed to combine the 2 residential units on the second floor. The total area of the combined residential unit on the second floor is 3,709 square feet. The Commission acknowledged that the request to combine the two dwelling units conflicts with the City's goal of increasing residential density downtown. Even though this proposed change reduced residential density, some of the Commissioners voted to approve the modification because the amended project would

contain a total of 3 residential units, which complies with current zoning code standards that require a minimum of 2 dwelling units within multi-family residential developments. The Commission reviewed these modifications and approved Design Review Amendment P20-027A on May 24<sup>th</sup>, 2022.

The mixed-use development was not contemplated to be subdivided into condominium units for individual sale when the project was entitled. The Condominium Subdivision Preliminary Plat Application will subdivide the mixed-use building into 4 units and associated common area. As conditioned, the request to subdivide meets all applicable standards for Condominium Preliminary Plats outlined in Ketchum Municipal Code’s Subdivision (Title 16) and Zoning (Title 17) Zoning regulations.

**FINDINGS REGARDING COMPLIANCE WITH PRELIMINARY PLAT SUBDIVISION REQUIREMENTS**

Preliminary Plat Requirements					
Compliant			City Code	City Standards	
Yes	No	N/A	City Code	City Standards	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.	
			<i>Findings</i>	The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on March 15, 2022.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I	Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.	
			<i>Findings</i>	The subdivision application was deemed complete on April 12, 2022.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:  The scale, north point and date.	
			<i>Findings</i>	This standard is met.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.	
			<i>Findings</i>	The subdivision is named “360 Views Condominiums” which is not the same as any other subdivision in Blaine County, Idaho.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.	
			<i>Findings</i>	This standard has been met.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .4	Legal description of the area platted.	
			<i>Findings</i>	The legal description of the area platted is shown on Sheet 1 of the preliminary plat.	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .5	<b>The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.</b>
			<i>Findings</i>	Sheet 1 of the preliminary plat indicates the boundary lines of adjacent Lot 3 to the north along Washington Avenue and the First & First Condominiums to the west across the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .6	<b>A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.</b>
			<i>Findings</i>	Existing site conditions, including topography, are included with the project plans approved with Design Review Application File Nos. P20-27 & P20-027A and Building Permit B20-060.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I 7	<b>The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.</b>
			<i>Findings</i>	The project plans show the scaled location of existing building, streets, roadways, and easements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .8	<b>Boundary description and the area of the tract.</b>
			<i>Findings</i>	Sheet 1 provides the boundary description of the area and includes square footage and acreage of the lot. Sheets 2, 3, 4, 5, and 6 indicate the areas and boundaries of each condominium unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .9	<b>Existing zoning of the tract.</b>
			<i>Findings</i>	The property is located within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .10	<b>The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.</b>
			<i>Findings</i>	N/A as no new streets, lots, easements, or rights-of-way are proposed with the Mountain Land Design Showroom & Residences project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .11	<b>The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.</b>
			<i>Findings</i>	This standard is not applicable as there is no requirement or proposal for land dedicated for public or common use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .12	<b>The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.</b>
			<i>Findings</i>	The project plans approved with Design Review Permits P20-027 and P20-027A and Building Permit B20-060 show these existing and proposed improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .13	<b>The direction of drainage, flow and approximate grade of all streets.</b>
			<i>Findings</i>	This standard does not apply as no new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .14	<b>The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.</b>



			<i>Findings</i>	This standard does not apply as no new drainage canals or structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .15	<b>All percolation tests and/or exploratory pit excavations required by state health authorities.</b>
			<i>Findings</i>	This standard does not apply as no additional tests are required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .16	<b>A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.</b>
			<i>Findings</i>	The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .17	<b>Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.</b>
			<i>Findings</i>	The project plans a vicinity map that satisfies this requirement.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .18	<b>The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.</b>
			<i>Findings</i>	N/A. The subject property is not within a floodplain, floodway, or avalanche zone district.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .19	<b>Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.</b>
			<i>Findings</i>	A building envelope is not required as the subject property is not within the floodway, floodplain, or avalanche zone. The subject property is not adjacent to the Big Wood River, Trail Creek or Warm Springs. The subject property does not contain slopes greater than 25%. This application will subdivide a mixed-use building currently under construction into condominium units and does not create a new lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .20	<b>Lot area of each lot.</b>
			<i>Findings</i>	The preliminary plat map shows the area of the overall lot and the boundaries and areas of each condominium unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .21	<b>Existing mature trees and established shrub masses.</b>
			<i>Findings</i>	No mature trees or established shrub masses exist on the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .22	<b>A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.</b>
			<i>Findings</i>	The applicant provided a title commitment and a warranty deed with the initial application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .23	<b>Three (3) copies of the preliminary plat shall be filed with the administrator.</b>
			<i>Findings</i>	The City of Ketchum received digital copies of the preliminary plat at the time of application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	<b>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat.</b>

				<p>Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			<i>Findings</i>	<p>This standard has been met. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all architectural and structural changes for final review and approval by City Departments. All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance of a Certificate of Occupancy for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.B	<p><b>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</b></p>
			<i>Findings</i>	<p>The construction drawings for the improvements have been approved by the City Engineer through the review of Building Permit B20-060. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all changes for final review and approval by City Departments. Pursuant to Ketchum Municipal Code §16.04.070.C, a Certificate of Occupancy must be issued prior to final plat approval. The developer will be required to complete required improvements prior to issuance of a Certificate of Occupancy for the mixed-use building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	<p><b>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</b></p>

			<i>Findings</i>	See above analysis for Ketchum Municipal Code §16.04.40B. All required improvements shall be completed by the applicant and inspected and approved by City Departments prior to the issuance of a Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.D	<p><b>As Built Drawing:</b> Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			<i>Findings</i>	The building permit plans shall conform to the project plans approved by the Commission through Design Review P20-027 and Design Review Amendment P20-027A and shall be installed prior to issuance of a Certificate of Occupancy for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	<p><b>Monumentation:</b> Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> <li>1. All angle points in the exterior boundary of the plat.</li> <li>2. All street intersections, points within and adjacent to the final plat.</li> <li>3. All street corner lines ending at boundary line of final plat.</li> <li>4. All angle points and points of curves on all streets.</li> <li>5. The point of beginning of the subdivision plat description.</li> </ol>
			<i>Findings</i>	The applicant shall meet the required monumentation standards prior to recordation of the final plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p><b>Lot Requirements:</b></p> <ol style="list-style-type: none"> <li>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</li> <li>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut</li> </ol>

				<p>and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <ol style="list-style-type: none"> <li>a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</li> <li>b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</li> </ol> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
			<i>Findings</i>	This standard is not applicable as no new lots are being created.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> <li>1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>2. Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</li> <li>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</li> </ol>
			<i>Findings</i>	This standard is not applicable as no new lots or blocks are being created.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> <li>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and</li> </ol>

			<p>shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</p> <p>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</p> <p>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</p> <p>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</p> <p>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</p> <p>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p> <p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</p> <p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p>
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			<p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
		<i>Findings</i>	<p>No new streets or changes to the travel lanes or street designs are proposed with this project. The applicant has proposed to install new 8-foot-wide, heated, paver sidewalks along Washington Avenue and 1<sup>st</sup> Street. The construction drawings for the right-of-way improvements have been approved by the City Engineer through the review of Building Permit B20-060. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all changes for final review and approval by City Departments.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	<p><b>Alley Improvement Requirements:</b> Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>
			<i>Findings</i>	<p>The construction drawings for the alley improvements have been approved by the City Engineer through the review of Building Permit B20-060. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all changes for final review and approval by City Departments.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<p><b>Required Easements:</b> Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <ol style="list-style-type: none"> <li>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</li> <li>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</li> <li>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</li> <li>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</li> <li>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</li> </ol>

				6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.
			<i>Findings</i>	No new easements are required for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			<i>Findings</i>	The new mixed-use building will connect to the municipal sewer system. The project shall meet all requirements of the Wastewater Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.L	Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.
			<i>Findings</i>	The mixed-use building will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. The project shall meet all requirements of the Utilities Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.



			<i>Findings</i>	This standard does not apply as the mixed-use building is within the original Ketchum Townsite subdivision and no planting strip improvements are required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N	<p>Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <ol style="list-style-type: none"> <li>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application.</li> <li>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> <li>a. Proposed contours at a maximum of five foot (5') contour intervals.</li> <li>b. Cut and fill banks in pad elevations.</li> <li>c. Drainage patterns.</li> <li>d. Areas where trees and/or natural vegetation will be preserved.</li> <li>e. Location of all street and utility improvements including driveways to building envelopes.</li> <li>f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.</li> </ol> </li> <li>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</li> <li>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</li> <li>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</li> <li>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply: <ol style="list-style-type: none"> <li>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).</li> <li>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</li> </ol> </li> </ol>

				<p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
			<i>Findings</i>	The project shall meet all cut, fill, and grading standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.O	<p><b>Drainage Improvements:</b> The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			<i>Findings</i>	All storm water shall be retained on site, including water from roof drains. The construction drawings for the drainage improvements have been approved by the City Engineer through the review of Building Permit B20-060. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all changes for final review and approval by City Departments.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	<p><b>Utilities:</b> In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.</p>
			<i>Findings</i>	All utilities shall be installed as a required improvement by the developer. The construction drawings for the utility improvements have been approved by the Utilities Department through the review of Building Permit B20-060. Pursuant to condition of approval #2 of Design Review Amendment P20-027A, the applicant shall submit revised project plans that reflect all changes for final review and approval by City Departments.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	<p><b>Off Site Improvements:</b> Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic,</p>

				improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			<i>Findings</i>	The proposed condominium development does not create substantial additional traffic; therefore, no off-site improvements are required.

**FINDINGS REGARDING COMPLIANCE WITH CONDOMINIUM SUBDIVISION REQUIREMENTS**

Condominium Plat Requirements				
Compliant			City Code	Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.B	The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space.
			<i>Findings</i>	The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.D	All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.
			<i>Findings</i>	The spaces in the underground parking garage are designated as limited common area for the 2 upper-level residential units.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.E	Adequate storage areas shall be provided for boats, campers and trailers, as well as adequate interior storage space for personal property of the resident of each condominium unit.
			<i>Findings</i>	The community housing unit includes a separate 59-square-foot storage unit within the basement. The condominium subdivision preliminary plat designates this storage area as limited common area for the community housing unit. The upper-level residential units are large with total floor areas exceeding 3,000 square feet. Adequate interior storage space for personal property of the residents of each penthouse may be accommodated within the dwelling units.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.F	A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.
			<i>Findings</i>	The basement common area includes room for the storage of maintenance equipment and supplies by the trash room.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.G	The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.
			<i>Findings</i>	The upper-level residential units have private balconies fronting Washington Avenue and 1st Street. The condominium subdivision preliminary plat also designates the rooftop deck as limited common area for the two penthouse

				dwelling units. The window well along Washington Avenue is required egress for the basement community housing unit. The window well feature provides the community housing unit with a 50-square-foot sunken patio as well as solar access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.04.070.H</b>	<b>All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions.</b>
			<i>Findings</i>	The project has been reviewed for compliance with the City’s subdivision standards and all applicable ordinances. The project shall comply with all City rules and regulations.

**CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Condominium Subdivision Preliminary Plat application for the development and use of the project site.
2. The Planning and Zoning has authority to review the applicant’s Condominium Subdivision Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §16.04.030.
4. The Condominium Subdivision Preliminary Plat application is governed under Chapter 16.04 of Ketchum Municipal Code.
5. The 360 Views (Mountain Land Design Showroom & Residences) Condominium Subdivision Preliminary Plat application meets all applicable standards specified in Title 16 of Ketchum Municipal Code.

**DECISION**

**THEREFORE**, the Commission **approves** this Condominium Subdivision Preliminary Plat Application File No. P22-014 this Tuesday, May 24<sup>th</sup>, 2022 subject to the following conditions of approval.

**CONDITIONS OF APPROVAL**

1. This Condominium Subdivision Preliminary Plat Application File No. P22-014 is subject to Design Review Application File No. P20-027 and Design Review Amendment Application File No. P20-027A. All associated conditions of approval shall apply to the project.

2. FAR Exceedance Agreement Contract #20491 shall be revised to reflect the modified project and the amended agreement shall be reviewed and approved by the Ketchum City Council concurrently with their review of Condominium Subdivision Preliminary Plat Application File No. P22-014.
3. Unit 1 within the 360 View Condominiums shall be designated as a retail unit on the subdivision plat. In addition, the applicant shall add the following plat note: *Unit 1 is designated as retail and shall not be converted to another commercial use.*
4. The applicant shall add the following plat note: *Unit A is a deed-restricted community housing unit targeted for Blaine County Housing Authority Income Category 4 or lower. The configuration and floor area of this unit shall not be modified.*
5. Failure to record a Final Plat within two (2) years of Council's approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.

Findings of Fact **adopted** this 14<sup>th</sup> day of June 2022.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission

# Attachment C

## Applicant Comment

**From:** [Participate](#)  
**To:** [Abby Rivin](#)  
**Subject:** Fwd: Design Review Meeting 5/24  
**Date:** Thursday, May 26, 2022 9:22:26 PM  
**Attachments:** [image001.png](#)

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To be included with the P&Z staff report for approval of the findings.

Begin forwarded message:

**From:** Mike Allaire <mallaire@mda-arc.com>  
**Date:** May 25, 2022 at 12:21:36 PM MDT  
**To:** Participate <participate@ketchumidaho.org>  
**Cc:** Neil Morrow <nmorrow@ketchumidaho.org>, Matthew Mead <mmead@ketchumidaho.org>, Tim Carter <tcarter@ketchumidaho.org>, Spencer Cordovano <SCordovano@ketchumidaho.org>, Brenda Moczygemba <BMoczygemba@ketchumidaho.org>  
**Subject:** Design Review Meeting 5/24

This is in response to the chairman's comments during the deliberation of the Mountain Land Design revision application on 5/24. I do not feel I had the chance to defend myself or the development team as our presentation was complete and the public comment period was closed.

While I appreciate the final outcome and the levelheaded response of the majority of the commission, the chairman's comments were harsh, aggressive, and frankly insulting. While I agree in spirit with the chairman's argument that there should not be a precedent set that it is okay to build first and ask questions later, this was not a case of that. To suggest that any of the professionals on this development team had any intent to circumvent the processes in place for revisions or modifications that come up during construction is offensive at best. All studies for egress, life safety, and structural modifications were performed by the design team at the time of the revision request. The structural modifications, while real, are minor, and involve a slight shift of 4 columns along the midspan of beams; certainly, something that is commonly done to react to field conditions and discussed with inspectors on site without drawing revisions.

To reiterate the timeline, we started asking for review in writing on April 12, 2021. We spent a month of constant calls and emails trying to get any sort of response. I would have been very happy to stand in front of the commission a year ago to give the same presentation for the same modifications and would have accepted a denial at that time with some disappointment, but no real loss. The chairman's suggestion that the answer was to walk down and demand to be seen like an entitled brat is laughable, especially during a time when city offices were basically closed to the public due to Covid 19

restrictions. We are professionals who respect people's time, and we expect to be treated with the same respect. The precedent that would have been set if the application was denied is one of a planning staff who, in the event they don't like or agree with a particular application, can simply ignore it to death.

Photograph taken on 4/28/2021 – 1 week after our first written request for a revision. 2<sup>nd</sup> floor beams are being placed. The columns discussed as being moved for the revision are not yet delivered to the site. We are asking questions before building; getting answers is the difficult part. In addition to holding applicants to account for keeping in line with the processes, it would be helpful if city staff was also held to a standard of response in a reasonable timeframe, especially with projects under construction.



Respectfully,

**mike allaire, aia**

**Michael Doty Associates, Architects PC**

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371 Washington Avenue North

Ketchum, Idaho 83340

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City of Ketchum  
Planning & Building

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**June 14, 2022 MEETING**

**PROJECT:** McDermott Residence Mountain Overlay Design Review

**FILE NUMBER:** P22-002

**REPRESENTATIVE:** Jeffrey Johnston, CLB Architects

**OWNER:** Ed McDermott, Betsy McDermott

**REQUEST:** Mountain Overlay Design Review

**LOCATION:** 600 Walnut Avenue (Ketchum Townsite: Block 91, Lot 1A)

**ZONING:** Limited Residential District (LR)

**OVERLAY:** Mountain Overlay (MO)

**NOTICE:** Notice was mailed to adjacent property owners on May 25, 2022

**REVIEWER:** Adam Crutcher, Associate Planner

**EXECUTIVE SUMMARY**

The subject Mountain Overlay (MO) Design Review is for the development of a new 10,760 sq ft single-family residence known as the McDermott Residence (the “project”) at 600 N. Walnut Avenue (the “subject property”). The subject property, Lot 1A of Block 91 Ketchum Townsite, is a vacant 16,523 square foot lot within the Mountain Overlay (MO) District and the underlying zoning is Limited Residential (LR). The subject property previously contained a residence which was demolished in 2015 and has since then been used for construction staging. The property was formed through a lot line shift, consolidating two Ketchum Townsite lots, in 2018 and is currently undeveloped. In 2018 the Planning & Zoning Commission approved a residence on the subject property through Mountain Overlay Design Review, but the project never continued to building permit. The subject property is relatively flat with the only remaining natural hillside locate on the northern side property boundary and rear property boundary. Staff researched what may have been the cause of this but was unable to determine whether it was due to the previous development located on the property, demolition of the structure, or reconfiguration of the lot when in use as construction staging, or some other activity.

Pursuant to Ketchum Municipal Code (KMC) 17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC 17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC 17.104.070. The purpose of the MO Zoning District is to encourage development to be harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration and minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.

With this project, the Planning and Zoning Commission will be making a policy decision that sets the precedent for future projects in the Mountain Overlay District. Specifically, the applicant is asking to install a pool/spa in the Mountain Overlay District. To staff's knowledge, this would be the first time a pool has been located in the Mountain Overlay District. There are other applicants in the Mountain Overlay District that have inquired about including a pool as part of their development. Staff is requesting the Commission determine if pools are aligned with the objectives and standards of the Mountain Overlay District.

The Staff Report provides an overview of the project and highlights specific issues and standards for review and consideration by the Planning & Zoning Commission. Staff analysis of the proposed single-family residence in relation to Mountain Overlay Design Review Criteria and Standards (KMC 17.104.070), LR Dimensional Standards (KMC 17.12.030), and Design Review Improvements and Standards (KMC 17.96.060) are listed as attachments below.

## **ANALYSIS**

**Exhibit A: Aerial Context Map**  
***Subject property outlined in blue***



Staff finds that the project complies with criteria for the LR Zoning District (KMC 17.12.030), Mountain Overlay Design Review Criteria (KMC 17.104.070), Design Review Improvements and Standards (KMC 17.96.060) and Minimum Standards for One-family Dwellings (17.124.170) with the exception of the proposed pool/spa. Staff believes the proposed pool/spa does not align with the purpose of the Mountain Overlay. Staff is not aware of other pools which have been approved within the Mountain Overlay. Staff is requesting the Commission determine if the pool is consistent with the objectives and standards of the Mountain Overlay District for this project and for future projects.

The Mountain Overlay Zoning District is established based upon purpose statements listed in KMC 17.104.020. Staff believes that the installation of a pool conflicts with 5 purpose statements for the Mountain Overlay District. These purpose statements include:

- B. “To encourage land uses harmonious with existing natural resources”
- C. “To prohibit detrimental alteration of existing topography and terrain, leaving hillsides generally open and unobstructed, to prohibit scarring by roadways”
- D. “To protect natural land features and wildlife habitat”
- G. “To minimize or prohibit detrimental effects on the natural topography, geology, soils, drainage, wildlife and vegetation”
- H. “To carry out provisions contained in Ketchum’s comprehensive plan”

The City of Ketchum encourages development that is sustainable and attentive of the surrounding natural resources, particularly the use/consumption of water. Mountain Overlay purpose statements B and H speak to development that reduces the usage of water. The comprehensive plan identifies development that incorporates water conservation measures. Staff believes a pool in the Mountain Overlay is not sustainable development. The water required for pools is inconsistent with basic sustainable design and is not harmonious with existing natural features.

The Knob Hill area is also a known wildlife corridor used by many wildlife including elk and deer. The Mountain Overlay contains multiple purpose statements related to the protection or minimizing disturbance of wildlife and their habitat. Staff believes that a pool is not a feature that protects and respects wildlife habitat as it reduces the available habitat for elk and deer along with creating a possible hazard to their health if they fall into the pool. No pool cover can withstand the weight of an elk or deer.

Lastly, staff views the installation of a pool as having a negative impact to the hillside due to the necessary excavation required to set the pool into the existing grade. As pools require the flattening of hillsides as well as excavation staff believes a pool does not meet the purpose statements C and G which speak to minimizing disturbance and prohibiting detrimental alterations to hillsides.

The project plans include a backyard alternative on Sheets L3-01B & L3-01B.1 which do not include a pool & spa. With this alternative, staff would recommend approval of the project and has listed this in the conditions of approval as item #8.

## **CONFORMANCE WITH COMPREHENSIVE PLAN**

The City of Ketchum’s 2014 Comprehensive Plan is the guiding document to assist the city in decision making when addressing population growth and the systems that support that growth, such as housing, transportation, and the economy. The comprehensive plan contains the community’s vision for Ketchum and sets goals and policies to guide future development. This vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land use decision. Values which apply to this project include:

- **COMMUNITY CHARACTER** - You know when you have entered Ketchum; this is a place centered on the “town” and identifiable from the “country” by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority. Geographically, downtown is a focal point and plays a key role in how our community looks and feels to locals and visitors. People value the opportunity to come together in the city’s well-defined community spaces.
- **ENVIRONMENTAL QUALITY AND SCENIC BEAUTY** - Ketchum’s citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum’s wide streets and lack of hillside development. These environmental features and resources sustain our economy

and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future. We will do so by raising awareness and collaborating with other regional entities that care for our natural resources.

- A “GREENER” COMMUNITY - Ketchum understands that there are global challenges too large for any one community to solve, but believes in doing its share to address them. We will strive to integrate best practices in energy conservation, renewable energy use, multimodal transportation, waste reduction and recycling, low-impact development, storm water management, tree preservation, and local food production, among other areas. We value the quality and quantity of our water resources that we have and will work to conserve them. We will work to build partnerships with businesses, the resort and lodging industry, the development sector, and others in order to raise awareness about the importance of being a “greener” community.

The comprehensive plan includes numerous goals and objectives related to development that protects the values of Ketchum and promotes sustainability including:

- Goal CD-2: Protect and enhance views of the surrounding mountains and natural features
- Policy CD-2.2 Mountain Overlay Zone: Continue to protect hillsides within the City and the Area of City Impact from future development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides
- Policy CD-2.4 Development Designed for Natural Feature Preservation: Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.
- Policy NR6.4 Energy Conservation in New Construction: Promote energy conservation features in residential and commercial development
- Goal NR8: Reduce water consumption in new and existing development
- Policy NR8.1 Water Conservation Features: Require water conservation features, including, but not limited to, native, drought-tolerant plant materials, and high-efficiency plumbing fixtures, and irrigation systems in all new construction and site development.

The proposed project meets the goals and objectives of the comprehensive plan forward with the exception of the proposed pool. The project reduces water consumption with the implementation of native and drought-tolerant plant species. The site is at the lowest point of the Knob Hill section of the Mountain Overlay, reducing the visual material impact the residence may have.

#### **CONFORMANCE WITH MOUNTAIN OVERLAY STANDARDS**

During Department Review, staff reviewed the Mountain Overlay Design Review application for conformance with KMC 17.104.070 – *Mountain Overlay design review*. With the exception of the pool, staff believes that project either meets the criteria and standards or that they do not apply to this project. Please see Attachment B for a review of all Mountain Overlay standards and criteria.

#### **CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS**

Per Ketchum Municipal Code (KMC) §17.104.050.A – *Use Restrictions*, design review is required for all new construction of buildings within the Mountain Overlay Zoning District. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn’t jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Conformance with Zoning Regulations

During department review, city staff reviewed the project for conformance with all applicable zoning code requirements including uses, dimensional limitations, parking, development standards, and dark skies. The project is in conformance with all applicable zoning code requirements and standards. Please see Attachment C for a full review of dimensional standards.

**Conformance with Design Review Improvements and Standards**

During department review, city staff reviewed the project for conformance with all applicable design review improvements and standards outlined in KMC §17.96.060 – *Improvements and Standards*. Staff believes that either a requirement is not applicable due to the scope of the project, or requirements are met. Please see Attachment D for a review of all design review improvements and standards.

**STAFF RECOMMENDATION:**

Staff recommends that the design review application for the McDermott Residence be approved by the Planning and Zoning Commission, subject to conditions 1-8 listed below.

**RECOMMENDED MOTION:**

“I move to approve the Mountain Overlay Design Review application of the McDermott Residence, subject to conditions 1-8.”

**RECOMMENDED CONDITIONS**

1. This Design Review approval is based on the plans and information presented and approve at the meeting the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
2. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
3. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
4. Limits of disturbance/construction fencing indicated on the Construction Activity Plan shall remain in place for the duration of construction;
5. All building and fire code requirements as dictated by 2018 family of international codes and Title 15 of Ketchum Municipal shall apply to all construction onsite;
6. All Design Review elements shall be completed prior to final inspection;
7. All exterior lighting shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Completion;
8. The backyard alternative shown on Sheets L3-01B & L3-01B.1 shall be considered the backyard space for the project

**ATTACHMENTS:**

- A. Application & Plans
- B. Mountain Overlay Standards Evaluation
- C. Zoning and Dimensional Standards Evaluation
- D. Design Review Standards Evaluation

Attachment A  
Application & Plan Set



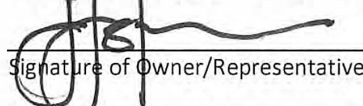
City of Ketchum  
Planning & Building

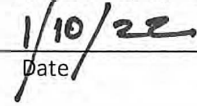
OFFICIAL USE ONLY
File Number:
Date Received:
By:
Fee Paid:
Approved Date:
Denied Date:
By:

**Mountain Overlay Design Review Application**

OWNER INFORMATION			
Project Name: McDermott Residence			
Owner Name: Ed McDermott, Betsy McDermott			
Mailing Address: PO Box 1788 Ross CA, 94957			
Phone: 415-518-7540			
Email: ehmcdermott@gmail.com, mcdermottbetsy@yahoo.com			
PROJECT INFORMATION			
Architect/Representative: CLB Architects, Jeffrey Johnston			
Phone: 307-413-0462			
Mailing Address: PO Box 9218 Jackson WY, 83002			
Email: jjohnston@clbarchitects.com			
Engineer of Record: KL&A Engineers and Builders, Rachel Harper PE			
Engineer Email: rharper@klaa.com			
Legal Land Description: Lot 1A BLK 91			
Project Address: 600 Walnut Avenue, Ketchum ID 83440			
Lot Area: .38 Acres			
Zoning District: LR			
Anticipated Use: Single Family Residential			
Number of Residential Units: 1			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement: 1117.5			
1 <sup>st</sup> Floor: 4286			
2 <sup>nd</sup> Floor: 3861			
3 <sup>rd</sup> Floor: N/A			
Decks: 1107			
Mezzanine: 362			
Total: 10,760.5			
Building Coverage: 4344	SF 32	%	Curb Cut: 0 SF 0 %
PROPOSED SETBACKS			
Front: 15	Side: 1 6.25 @ South	Side: 1 6.25 @ North	Rear: 20
ADDITIONAL INFORMATION			
Building Height: 32' 4.75"		Parking Spaces Provided: 3	
Will Fill or Excavation Be Required? Yes <input checked="" type="checkbox"/> No			
If Yes, Amount in Cubic Yards Fill: none		Excavation: 2000 cy	
Will Existing Trees or Vegetation Be Removed? Yes <input checked="" type="checkbox"/> No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

  
Signature of Owner/Representative

  
Date

City of Ketchum Planning & Building Department  
Mountain Overlay Design Review Application

# MOUNTAIN OVERLAY DESIGN REVIEW EVALUATION STANDARDS

Design review applications shall be made and processed according to the regulations contained in Chapter 17.96 of this title and as follows:

Criteria and Standards: The following list of criteria and those contained in Section 17.96.090 of this Title must be considered and addressed by each applicant seeking Design Review approval. The Commission will use this list of Design Review criteria along with that contained in Section 17.96.090 of this title as a basis to determine whether a project is to be approved, approved with conditions or denied:

1. There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
2. Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
3. Driveway standards as well as other applicable standards contained in title 12, Chapter 12.04 of this code shall be met;
4. All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building;
5. Significant rock outcroppings shall not be disturbed;
6. International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met;
7. Public water and sewer service shall comply with the requirements of the City;
8. Drainage shall be controlled and maintained to not adversely affect other properties;
9. Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum Planning Department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides;
10. Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section;
11. Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties;
12. Utilities shall be underground;
13. Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction;



14. Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized; and
  15. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
  16. Encroachments of below grade structures into required setbacks are subject to subsection 17.128.0250K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of the Code or other regulating codes such as International Code Council Codes, or other site features concerning health, safety, and welfare.
- On Site Review: On site review by the members of the commission is required prior to taking action on said design review application. Extreme weather conditions or inordinate depth of snow may cause the commission to delay said on site review not more than one hundred eighty (180) days.

# APPLICATION CHECKLIST

Please utilize and submit the checklist on the following pages to ensure a complete application.

## MOUNTAIN OVERLAY DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: McDermott Residence

Date: 01.10.22

Reviewed by:

### DOCUMENTS

Application form

### SETS OF PLANS

One (1) copy of full-sized; One (1) 11x17 reduced; and CD, flash drive or email (.pdf) of plans

### EXISTING SITE CONDITIONS

- Survey of exterior boundary lines of the property together with dimensions, produced by a licensed engineer or surveyor;
  - Topographic survey of the real property at a minimum of two (2) foot contour intervals, significant hillsides may be a minimum of ten (10) foot contour intervals;
  - Location of any existing dwelling units, other structures and all improved areas (pavement) with dimensions thereof showing the setback of each structure from the nearest property line;
  - Location and rights-of-way of adjacent streets and public rights-of-way;
  - Location and dimensions of easements, private and public, within and adjacent to the proposed project together with the purpose thereof;
  - Location of existing sewer, water, drainage and other utility lines indicating size and depth;
  - Location of all existing significant trees, conifers six (6) inches dbh and deciduous two (2) inch caliper and greater;
  - Location and dimensions of easements, private and public, within and adjacent to the proposed project together with the purpose thereof;
  - Indication of any zoning district overlay which effects the property (flood or avalanche); Location of existing structures on adjacent properties; and,
  - The subdivision plat of the property certified by a licensed engineer or surveyor, except tax lots;

### PROPOSED SITE PLAN

- Vicinity map;
  - Contour lines of two (2) foot intervals to show existing and proposed topography of the property;
  - Location of all proposed structures (buildings) and all improved areas (pavement, sidewalk) with dimensions thereof showing the setback of each structure from the

- nearest property line;
- Drip line of all buildings;
- Location of on-site parking spaces and access thereto including the dimensions of the spaces and the width and length of access and curb cuts;
- Location and dimensions of snow storage areas;
- Location and type of all heating, ventilation, air conditioning and other mechanical units;
- Percentage of the lot coverage by proposed building and parking areas together with the total square footage of the parcel of property; and,
- Location of all existing trees to be preserved and significant trees to be removed;

**ENGINEERING PLAN:**

- ✓ Engineering plans, prepared by a licensed engineer, not less than one (1) inch equals ten (10) feet;
  - Proposed utility improvements including water, sewer, power, cable, telephone and all other utilities;
  - Proposed grading plan with minimum two foot contours and amount of cut and fill in cubic yards;
  - Proposed drainage plan including adjacent public rights-of-way. Provide calculations and test pit information to support design of conveyance and disposal systems;
  - Proposed designs for all public and private vehicular and pedestrian circulation including curb cuts, parking lot layout, curb and gutter and sidewalks. This information should include elevations, slopes, aisle and parking dimensions and turning radii. Other information to support the proposed design should be submitted; and,
  - Drainage plan for any underground parking garage.

**LANDSCAPE PLAN**

- ✓ All existing vegetation over 2 inches in caliper, including size and species;
  - Proposed landscaping of the project including types, quantities and sizes of trees, shrubs, ground cover and other vegetation;
  - Proposed landscaping or other improvements within any public rights-of-way;
  - Location, type (materials and colors) and height of walls or fences;
  - Location of parking areas;
  - Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
  - Irrigation system for landscaping; and,
  - Drainage plan including off-site improvements.

**ARCHITECTURAL PLANS**

- Floor plans of all floors at not less than one-eighth (1/8) scale;
- All exterior elevations;
- Roof plan including direction of snow sliding and snow clips if applicable. Location and type of all mechanical equipment and rooftop appurtenances;
- Cross-section(s) of the property and proposed building adequately establishing the natural grade, finished grade, slope of land, slope of proposed accesses and

- grades to all public rights-of-way;
- Location and type (cut sheets) of all exterior lighting; and,
- A model or computer simulation renderings, if required at preapplication design review meeting

#### **GENERAL INFORMATION**

- ✓ Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. Story poles may be required to be installed one week prior to the Commission meeting.
- ✓ All commercial projects; all residential projects with 4 or more units - Stamp: Licensed architect or engineer.

# MCDERMOTT RESIDENCE

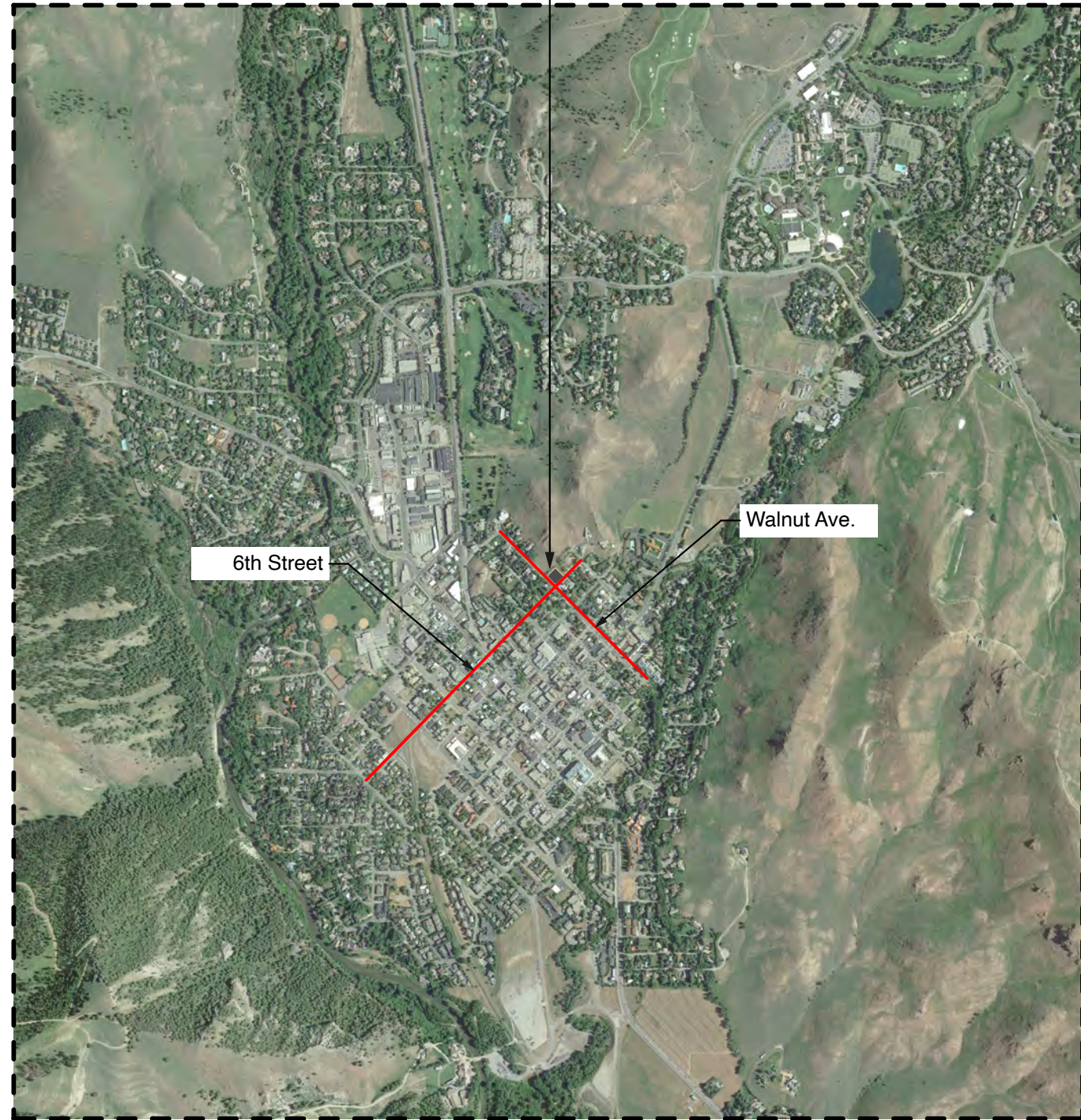
## Ketchum, ID

# PROJECT ADDRESS

600 Walnut Ave  
Lot 1A Blk 91  
Ketchum, Idaho, 83340

## TABLE OF CONTENTS

- Vicinity Map and Table of Contents
- Existing Site Conditions: Survey
- Engineering Plan: Grading and Drainage Plan
- Engineering Plan: Utility Plan
- Engineering Plan: Details
- Engineering Plan: Details
- Landscape: Cover Page
- Proposed Site Plan: Hardscape Ref
- Proposed Site Plan: Softscape Ref
- Landscape: General Information
- Landscape: General Information
- Landscape: Plant Protection and Removal Plan
- Landscape: Site Materials Plan
- Landscape: Site Materials Palette
- Landscape: Site Rendering
- Landscape: Site Rendering
- Landscape: Slope Analysis
- Landscape: Site Layout Plan
- Landscape: Conceptual Site Grading/Drainage Plan
- Landscape: Site Details
- Landscape: Site Details
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- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Planting Plan
- Landscape: Planting Details
- Landscape: Planting Details
- Landscape: Planting Details
- Landscape: Irrigation Legend and Notes
- Landscape: Irrigation Plan
- Landscape: Irrigation Details
- Landscape: Irrigation Details
- Architectural: Basement Plan
- Architectural: Lower Level Plan
- Architectural: Upper Level Plan
- Architectural: Roof Plan
- Architectural: Elevations and Palette
- Architectural: Elevations and Palette
- Architectural: Elevations and Palette
- Architectural: Property Cross Section
- Architectural: Building Renders
- Architectural: Lighting General Notes
- Architectural: Basement Lighting Plan
- Architectural: Lower Level Lighting Plan
- Architectural: Upper Level Lighting Plan
- Architectural: Landscape Lighting Plan
- Architectural: Lighting Schedule
- Architectural: Lighting Cut Sheets
- Contractor: Construction Activity Plan and Summary



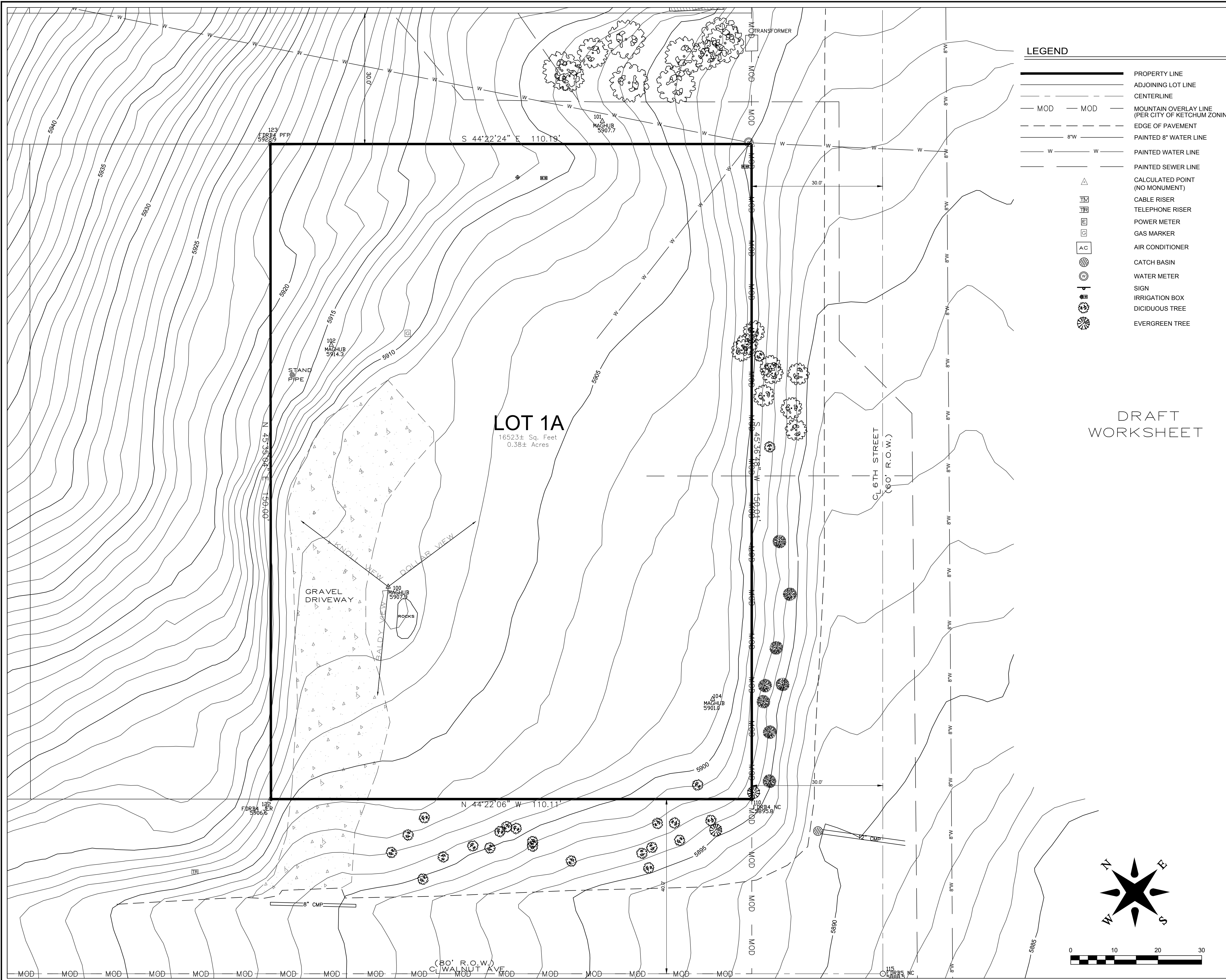
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Project Number: 2028.00

Date: 3/29/22

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Vicinity Map



**LEGEND**

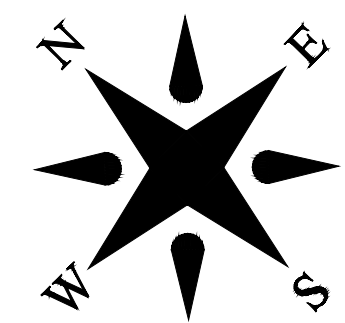
	PROPERTY LINE
	ADJOINING LOT LINE
	CENTERLINE
	MOUNTAIN OVERLAY LINE (PER CITY OF KETCHUM ZONING)
	EDGE OF PAVEMENT
	PAINTED 8" WATER LINE
	PAINTED WATER LINE
	PAINTED SEWER LINE
	CALCULATED POINT (NO MONUMENT)
	CABLE RISER
	TELEPHONE RISER
	POWER METER
	GAS MARKER
	AIR CONDITIONER
	CATCH BASIN
	WATER METER
	SIGN
	IRRIGATION BOX
	DICIDUOUS TREE
	EVERGREEN TREE

DRAFT  
WORKSHEET

**NOTES**

- SURVEY NARRATIVE:**
- THE PURPOSE OF THIS MAP IS TO SHOW 1' CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS.
  - REFERENCED SURVEYS: KETCHUM TOWNSITE; BLOCK 91, LOT 1A, INST. # 652564.
  - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS. SEE REFERENCED SURVEYS.
  - VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED DATUM.
  - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
  - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
  - A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- BUILDING AREA: A BUILDING ENVELOPE IS NOT SHOWN ON PLAT. SETBACK AND FOOTPRINT REQUIREMENTS ARE PER CURRENT CITY OF KETCHUM ORDINANCES. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  - GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS PER PLAT.
  - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF PAINTED UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
  - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
  - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  - ORTHO PHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  - FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.
  - MAP UPDATED 2/18/2021 TO SHOW 2017 LIDAR CONTOURS AND UPDATED LOT LINES. CHANGES MAY HAVE OCCURRED SINCE 2017.
- PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com>  
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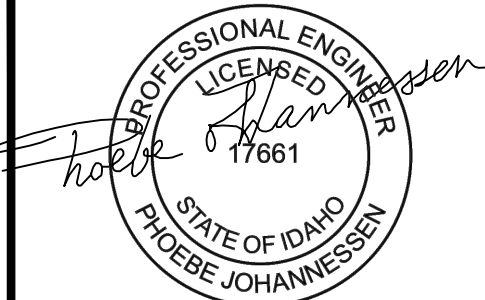
DRAFT  
WORKSHEET



**KETCHUM TOWNSITE  
BLOCK 91, LOT 1A**  
LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR:

PROJECT NO. 21012	DWG BY: DWS	CRD: 21012.CRD	21012 TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 7/06/2016		SHEET: 1 OF 1



5/4/22

**GENERAL NOTES**

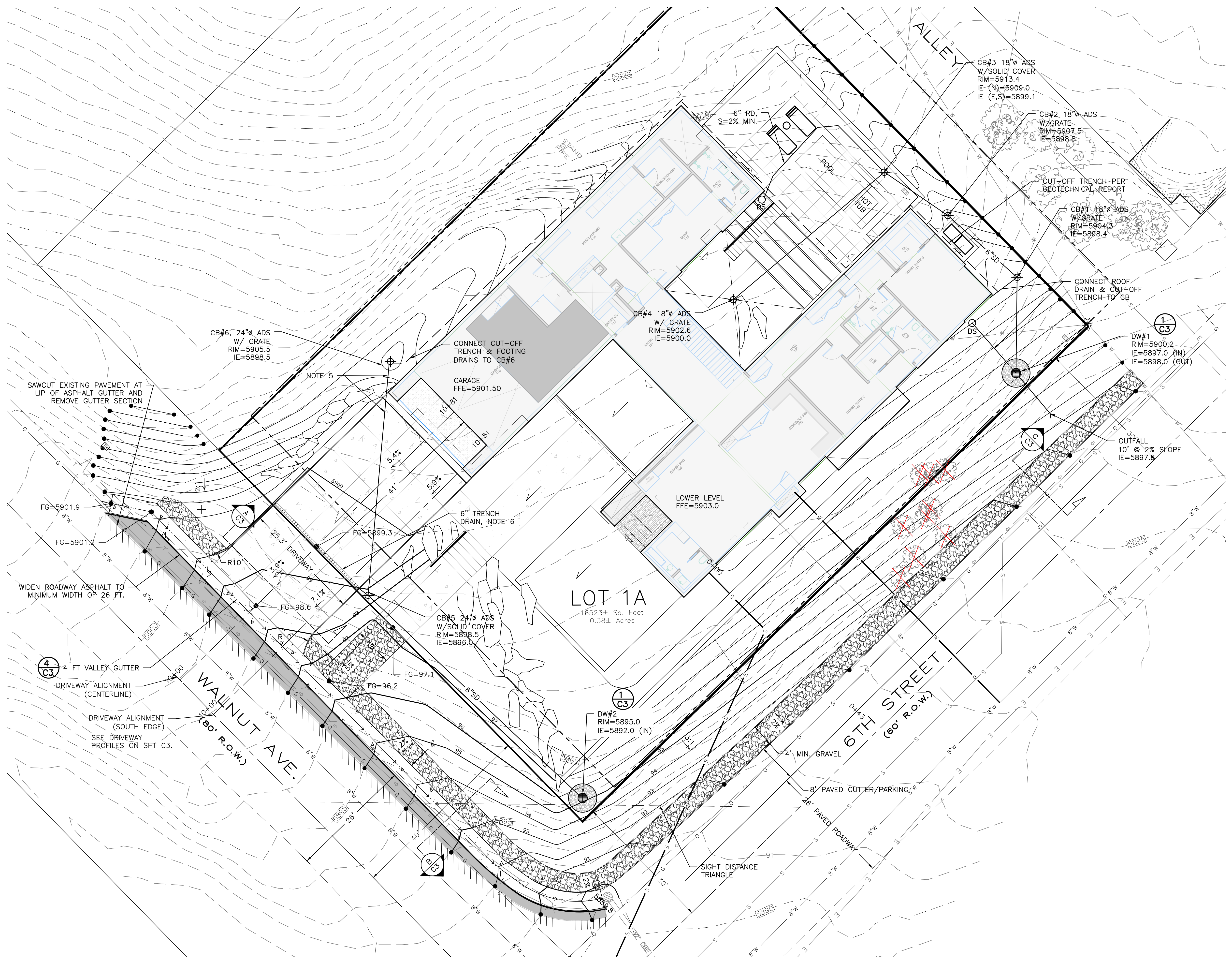
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- SLEEVE STORM DRAIN UNDER WALL WITH 10-FT SECTION OF PVC PIPE CENTERED UNDER WALL.
- TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75" BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6' WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
- 24" ADS CATCH BASINS SHALL BE PER DETAIL 2, SHT C3.
- 18" ADS CATCH BASINS SHALL BE PER DETAIL 3, SHT C3.
- REFER TO LANDSCAPING PLANS FOR ON-SITE GRADING.
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.

**ESTIMATE OF CUT/FILL VOLUMES:**

CUT: 2,000 CY  
FILL: 0 CY

**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
CENTERLINE	---
SEWER	---
SEWER MANHOLE	⊙
WATER	---
GAS	---
POWER	---
TELEPHONE	---
EXISTING CONTOUR	---5775---
PROPOSED CONTOUR	---5775---
SAWCUT LINE	---/---/---
FLOW LINE	→
DRYWELL	⊙
STORM DRAIN PIPE	4"SD
CUT-OFF TRENCH	DS
DOWN SPOUT	⊙
ADS CATCH BASIN	⊕
EXIST TREE TO BE REMOVED	⊗
EXIST IRRIGATION BOX	⊕
ASPHALT PAVEMENT	▒
CONCRETE PAVEMENT	▒
GRAVEL	▒
FG	---
EG	---
ME	---
IPCO	---



NO.	REVISIONS	DESCRIPTION	DATE	BY

**BENCHMARK ASSOCIATES**

PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
(208) 726-9512  
FAX 726-9514  
WEB: WWW.BMASB.COM  
MAIL: WWW.BMASB.COM

**GRADING & DRAINAGE PLAN**  
KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
PREPARED FOR: CLB ARCHITECTS

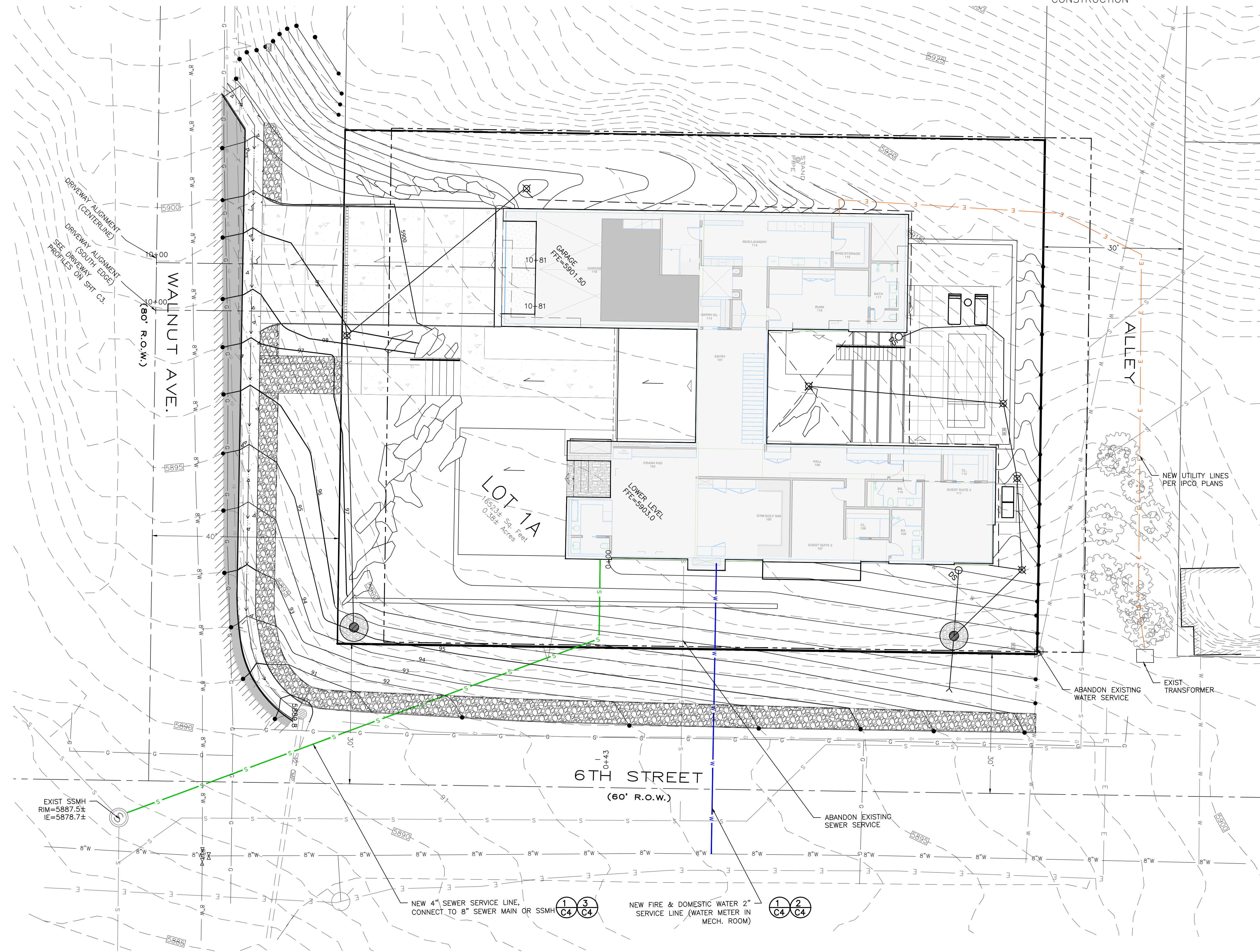
DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY: SB  
DATE: 5/4/2022  
PROJECT NO.: 21047

DRAWING NO.

**C1**

PERMIT SET - NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER  
 IDAHO  
 17661  
 STATE OF IDAHO  
 PROBE JOHANNESSEN  
 5/4/22



REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			

BENCHMARK ASSOCIATES  
 PREPARED BY:  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 (208) 726-9512  
 FAX: 726-9514  
 WEB: WWW.BMA5B.COM  
 MAIL: WWW.BMA5B.COM

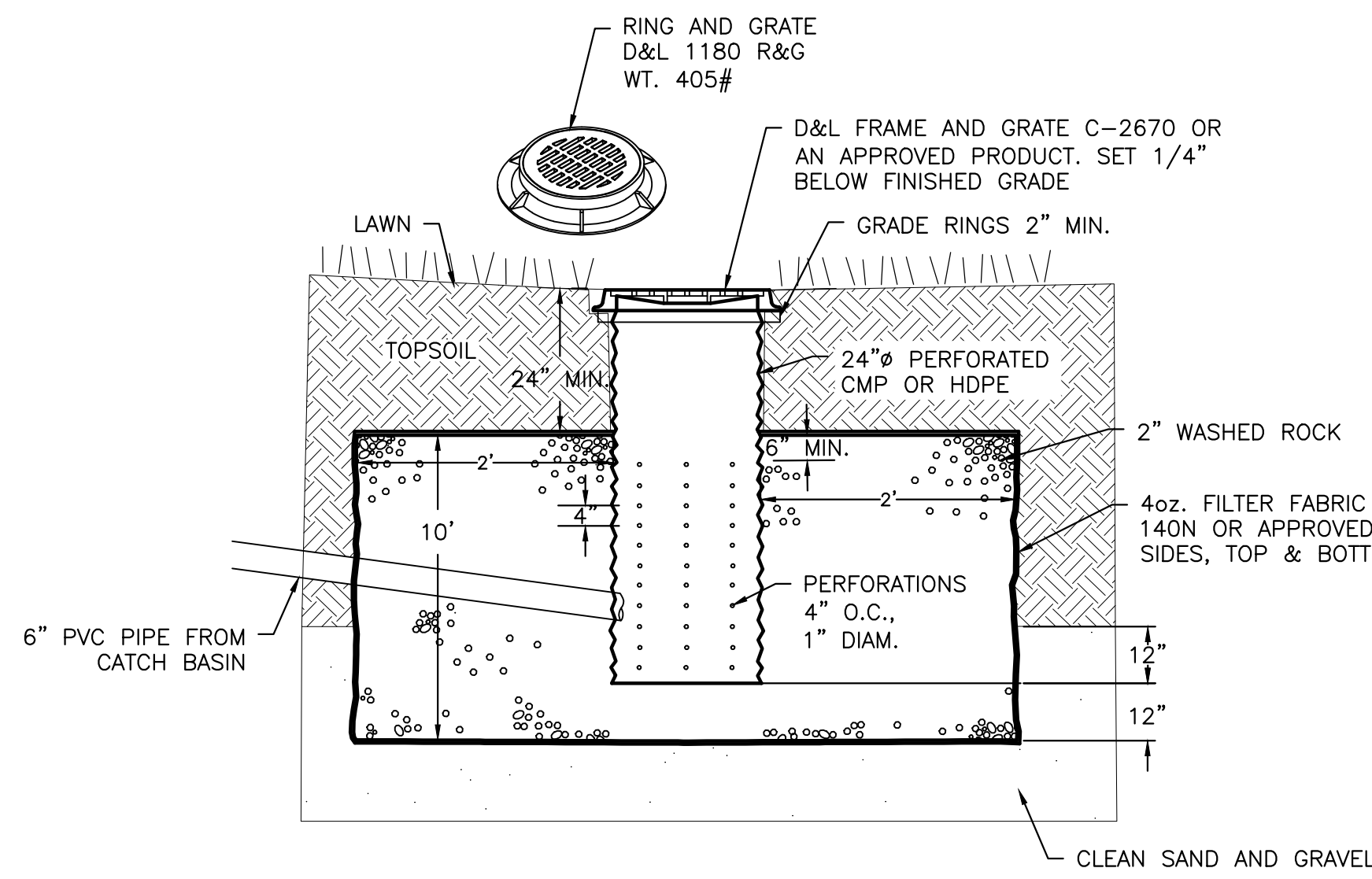
UTILITY PLAN  
 KETCHUM TOWNSITE BL 91, LOT 1A  
 T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
 PREPARED FOR: CLB ARCHITECTS

DRAWN BY:	PLJ
DESIGNED BY:	PLJ
CHECKED BY:	
DATE:	5/4/2022
PROJECT NO.:	21047

DRAWING NO.  
**C2**

PLAN  
 SCALE IN FEET  
 0' 10' 20' 30'

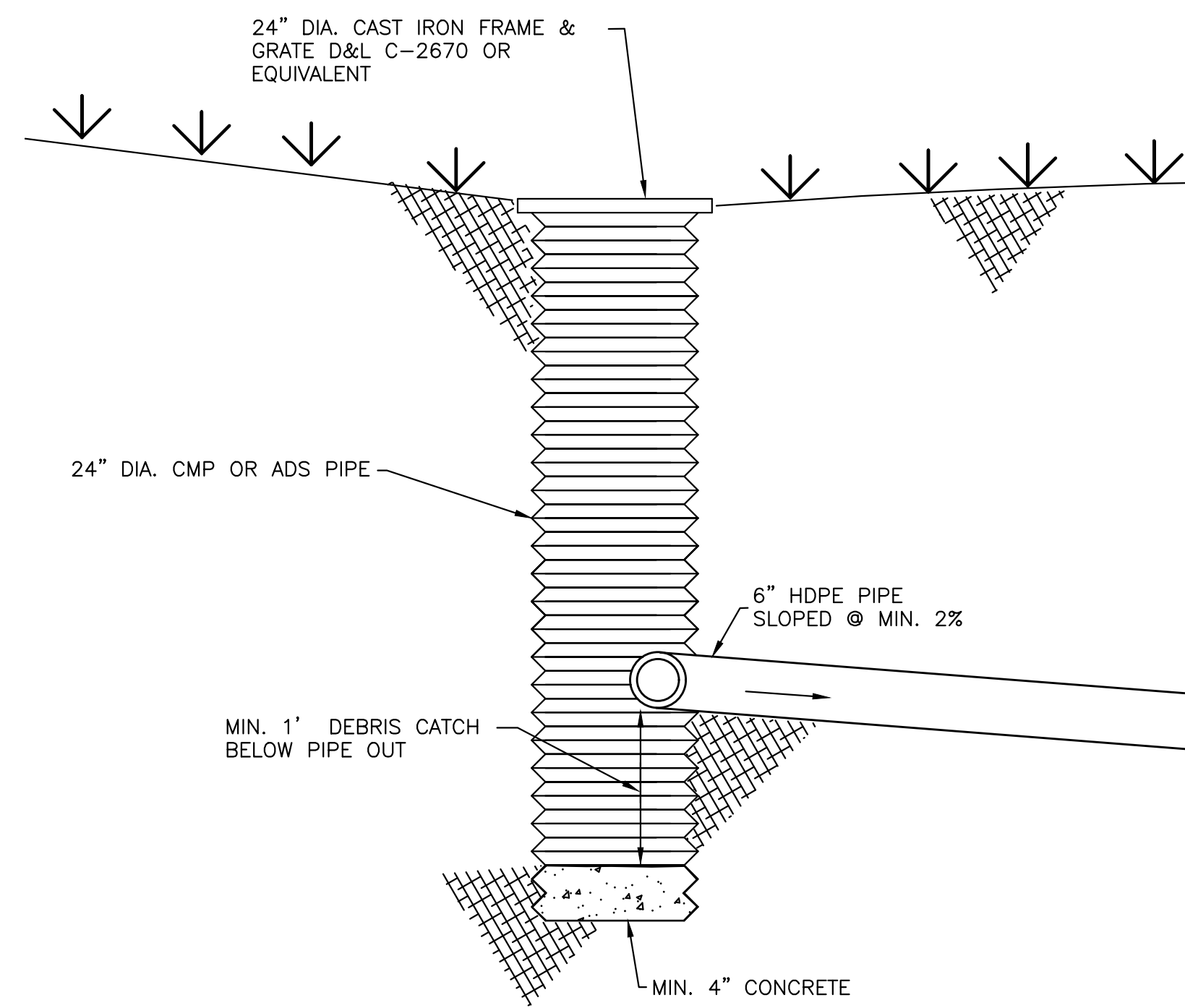




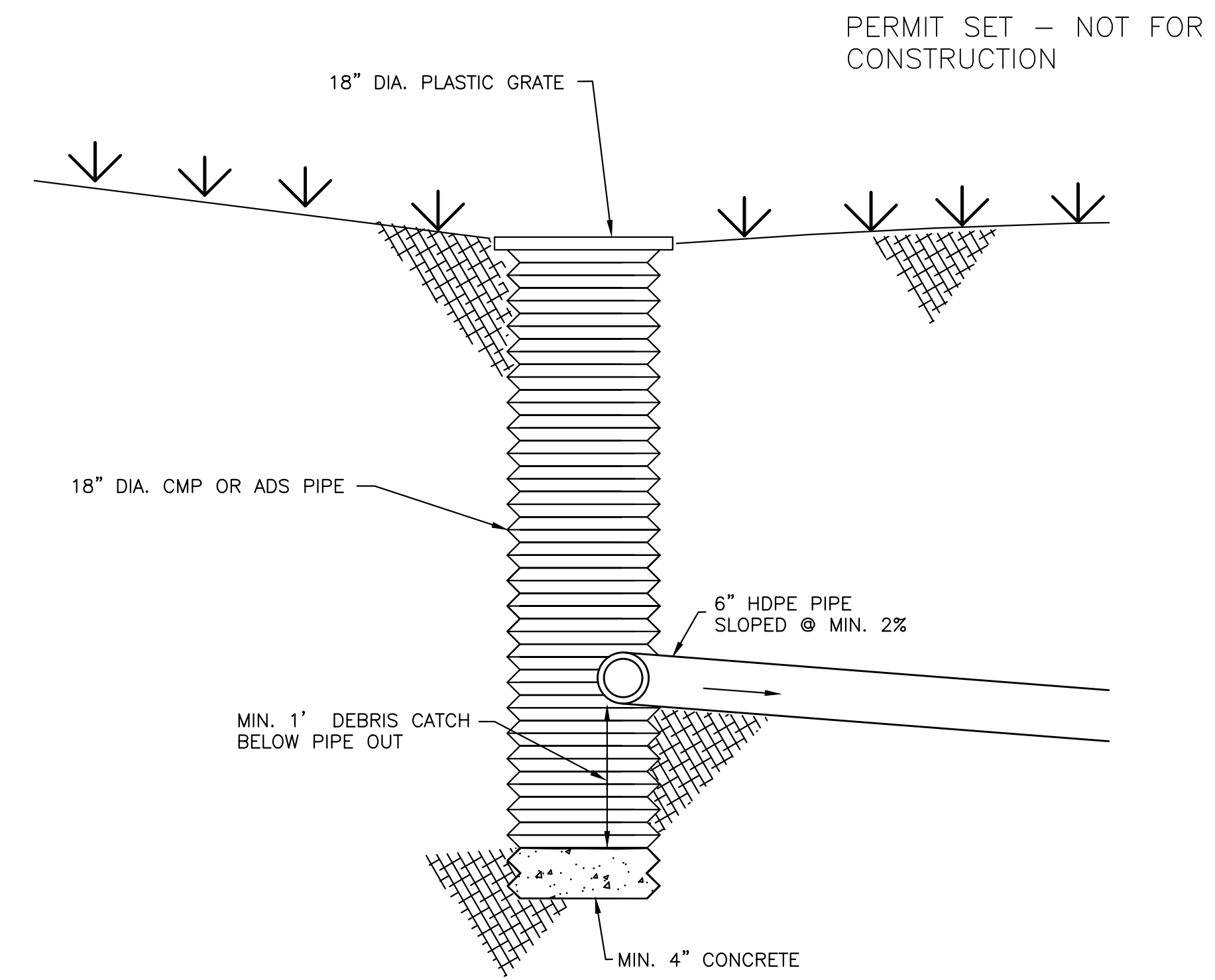
**NOTES:**

1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

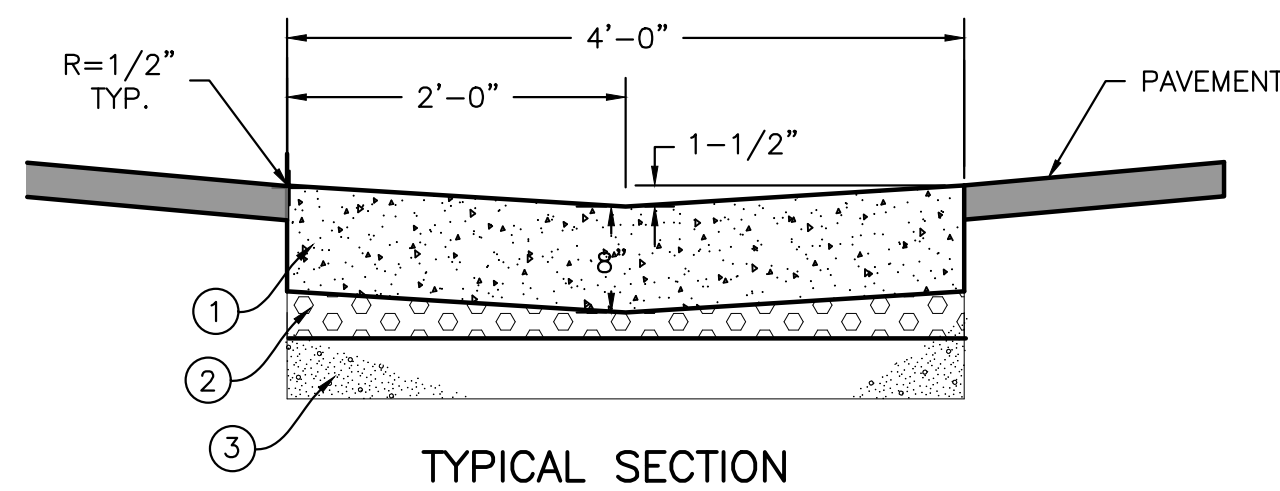
**1** TYPICAL DRYWELL DETAIL  
C1 SCALE: NONE



**2** 24-INCH ADS CATCH BASIN  
C1 SCALE: NONE



**3** 18-INCH ADS CATCH BASIN  
C1 SCALE: NONE



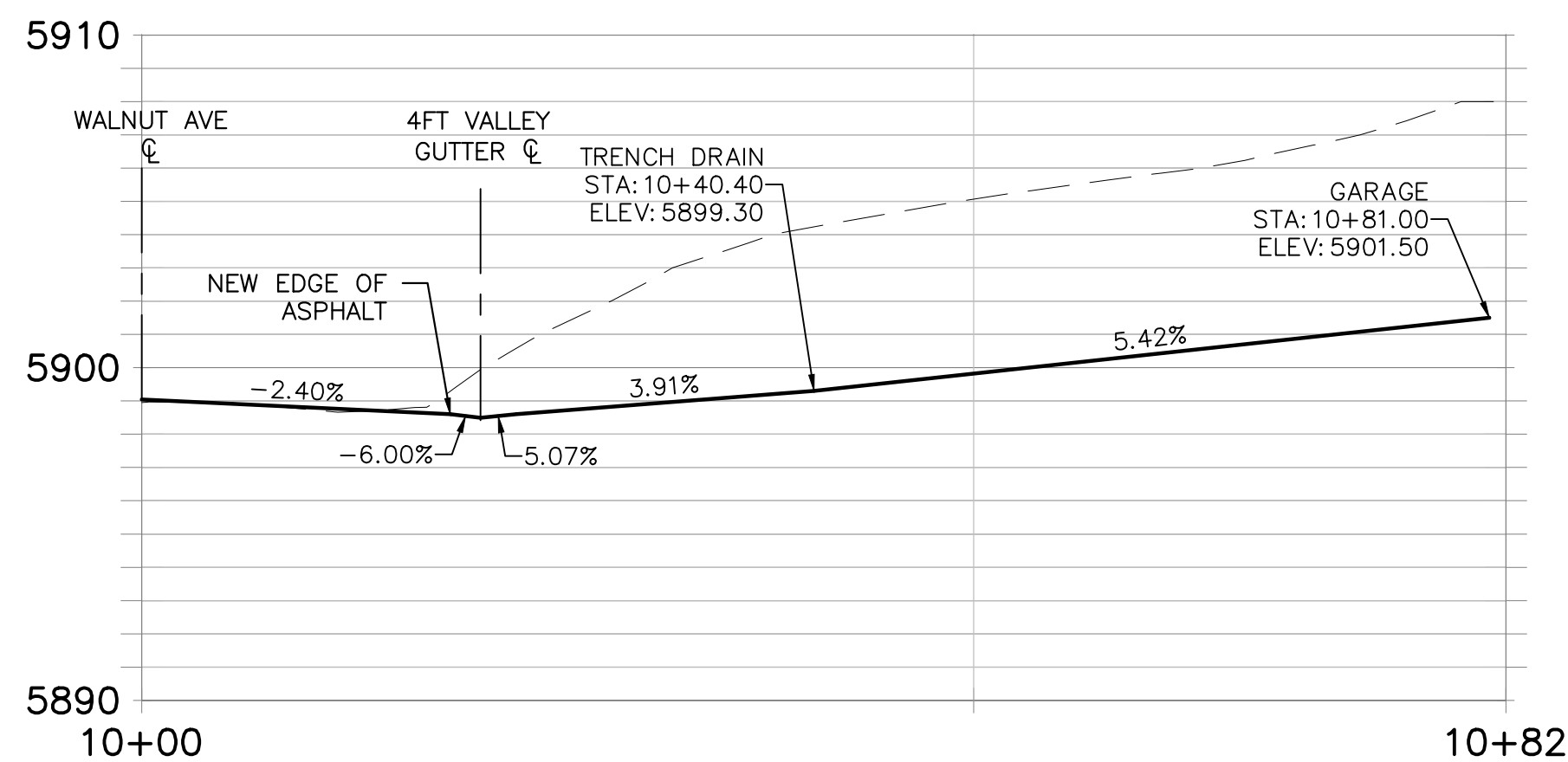
**LEGEND**

- 1 8-INCH THICK CONCRETE
- 2 2" MIN. OF 3/4" TYPE 1 AGGREGATE BASE
- 3 6" OF 2" TYPE II SUBBASE

**NOTES:**

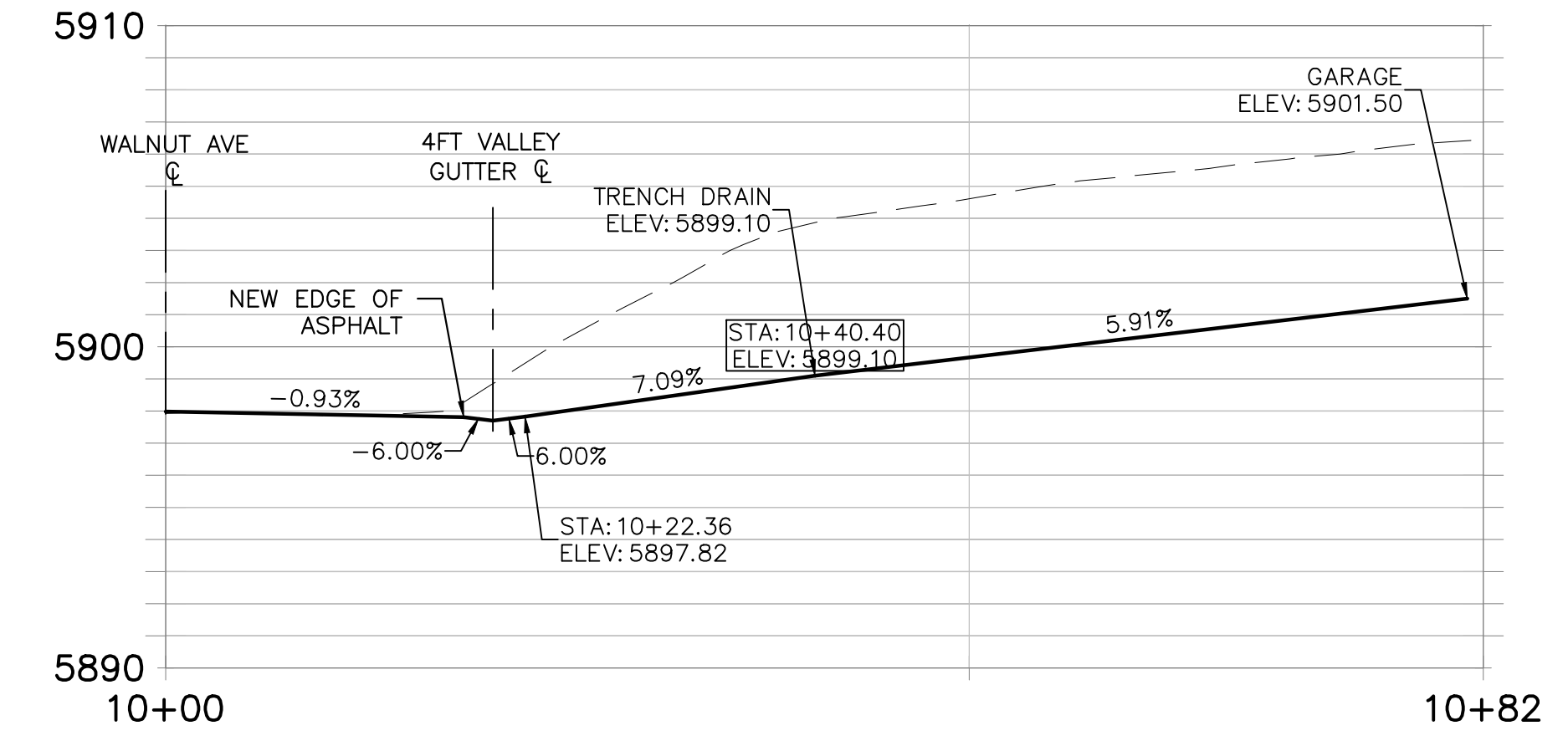
1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
2. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
3. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**4** 4 FT CONCRETE VALLEY GUTTER  
C1 SCALE: N.T.S.



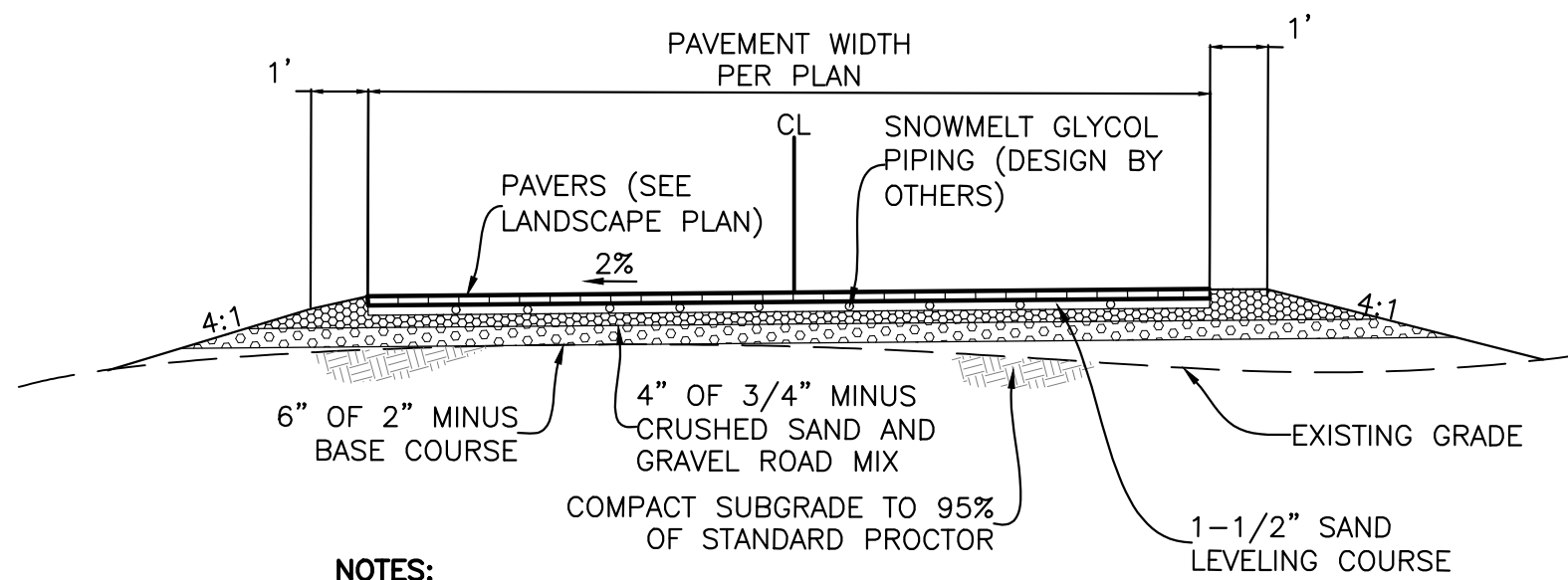
CENTERLINE DRIVEWAY PROFILE

HORIZ: 1"=10'  
VERT: 1"=5'



DRIVEWAY PROFILE (SOUTH EDGE)

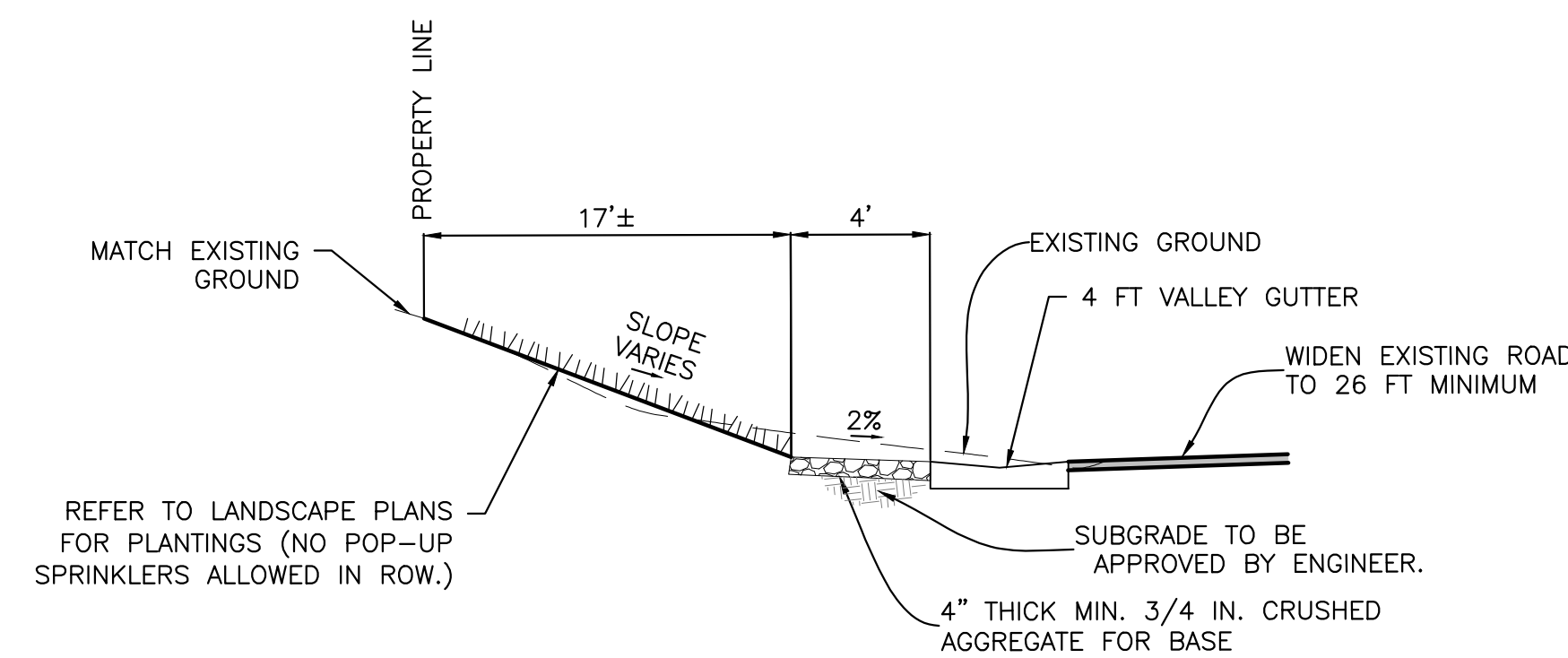
HORIZ: 1"=10'  
VERT: 1"=5'



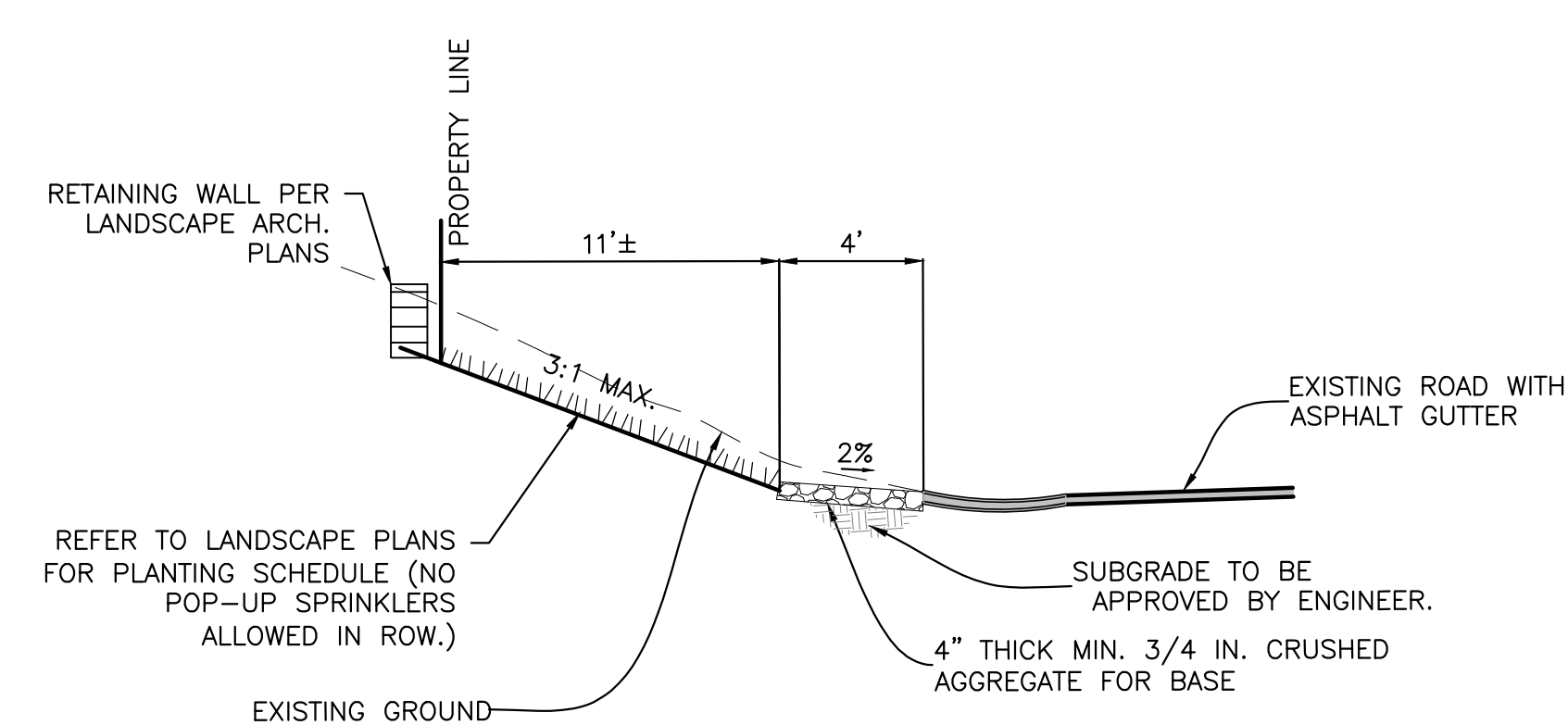
**NOTES:**

1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

**A** DRIVEWAY SECTION  
C1 SCALE: NONE

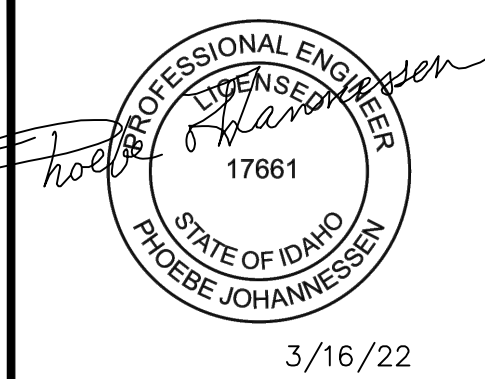


**B** ROAD SHOULDER SECTION (WALNUT AVE)  
C1 SCALE: NONE



**C** ROAD SHOULDER SECTION (6TH STREET)  
C1 SCALE: NONE

PERMIT SET - NOT FOR CONSTRUCTION



REVISIONS	DESCRIPTION	DATE	BY
No. 1			



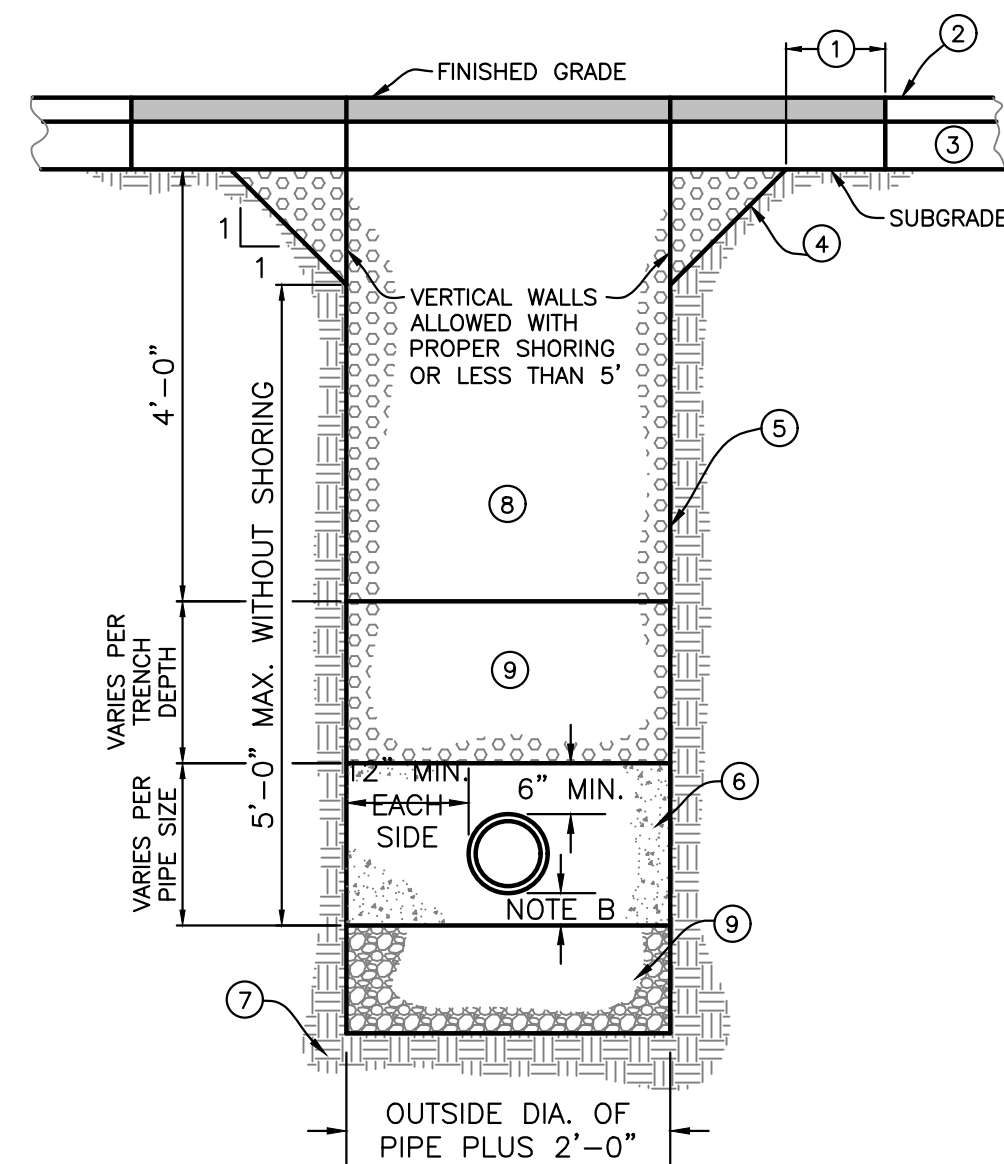
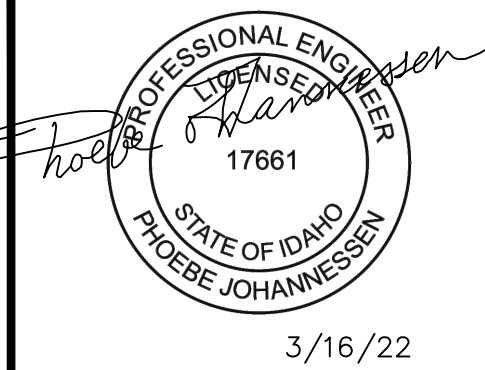
PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
(208) 726-9512  
FAX: 726-9514  
WEB: WWW.BMASB.COM  
MAIL: WWW.BMASB.COM

**ROAD & DRAINAGE DETAILS**  
KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
PREPARED FOR: CLB ARCHITECTS

DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY:  
DATE: 3/16/2022  
PROJECT NO.: 21012

DRAWING NO.

**C3**



- LEGEND**
- ① 6" MIN. REQUIRED BOTH SIDES & SHALL BE SAWCUT.
  - ② EXISTING SURFACE. (REPAIR ASPHALT TO MATCH EXISTING. (3" MINIMUM COMPACTED)
  - ③ EXISTING BASE.
  - ④ TRENCH BACK SLOPE
  - ⑤ VERTICAL TRENCH WALLS, SHORING PER O.S.H.A.
  - ⑥ PIPE BEDDING PER ISPC SECTION-305 (SEE SD-302).
  - ⑦ UNDISTURBED SOIL
  - ⑧ LEAN CONCRETE
  - ⑨ LOWER COMPACTION ZONE
- NOTES**
- (A) TRENCH EXCAVATION PER ISPC SECTION-301.
  - (B) BACKFILL AND COMPACTION PER ISPC SECTION-306.

**DESCRIPTION AND CONSTRUCTION REQUIREMENTS:**

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX WITH THE FOLLOWING PROPORTIONS OF MATERIALS -

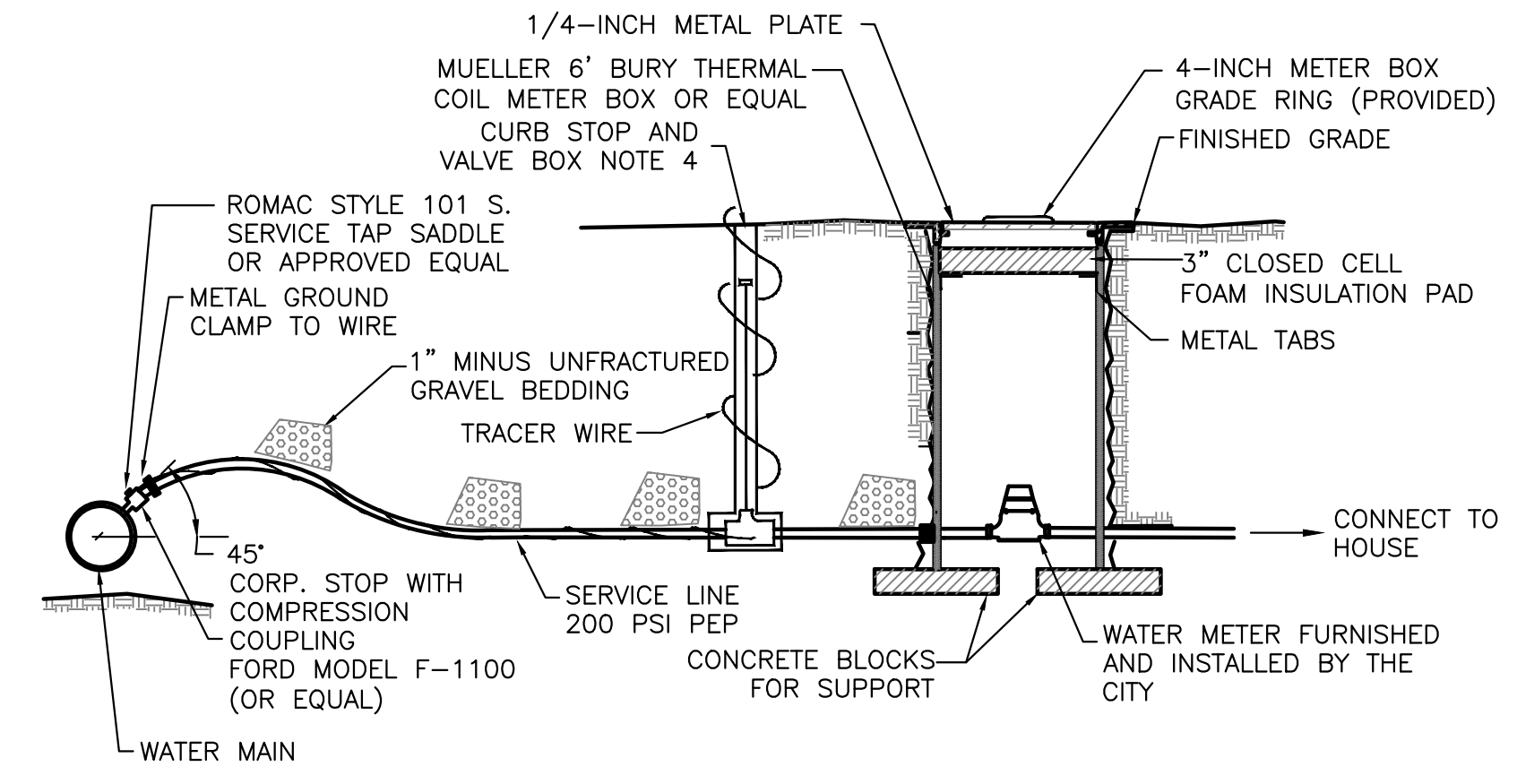
COARSE AGGREGATE (3/4" MINUS)	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR.

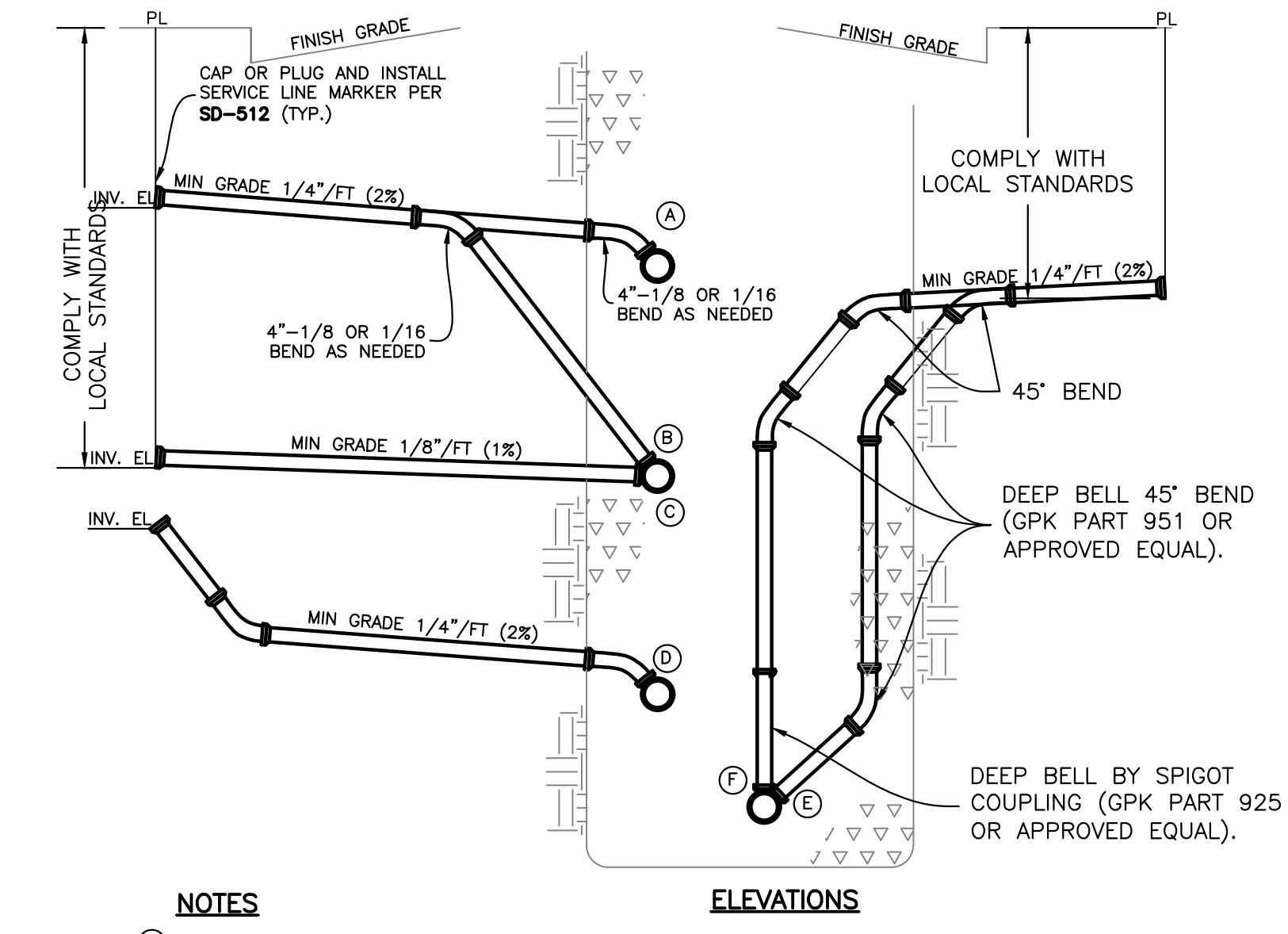
TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

① TRENCH REPAIR IN CITY STREET  
C2 SCALE: NONE

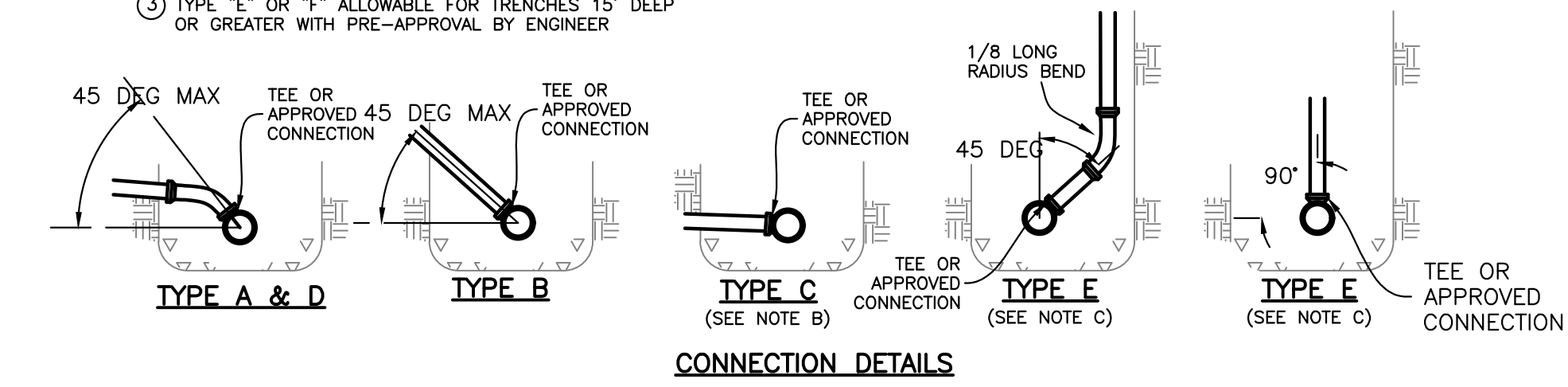


- NOTES**
1. WATER SERVICE LINE SHALL HAVE A 6' MIN. BURY DEPTH
  2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
  3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
  4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

② WATER SERVICE AND METER CONNECTION  
C2 SCALE: N.T.S.



- NOTES**
- ① ALL SERVICE LINES TO BE 4" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
  - ② TYPE "C" CONNECTION WILL ONLY BE ALLOWED IF SHOWN ON THE PLANS OR OTHERWISE APPROVED BY THE ENGINEER
  - ③ TYPE "E" OR "F" ALLOWABLE FOR TRENCHES 15' DEEP OR GREATER WITH PRE-APPROVAL BY ENGINEER



③ STANDARD SEWER SERVICE LINES  
C2 SCALE: NONE

REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			



PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
(208) 726-9512  
FAX 726-9514  
WEB: WWW.BMASB.COM  
MAIL: WWW.BMASB.COM

**UTILITY DETAILS**  
KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
PREPARED FOR: CLB ARCHITECTS

DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY:  
DATE: 3/16/2022  
PROJECT NO.: 21012

DRAWING NO.

C4

**Vicinity Map**



# McDermott Residence

## 600 Walnut Ave.

### Ketchum, Idaho

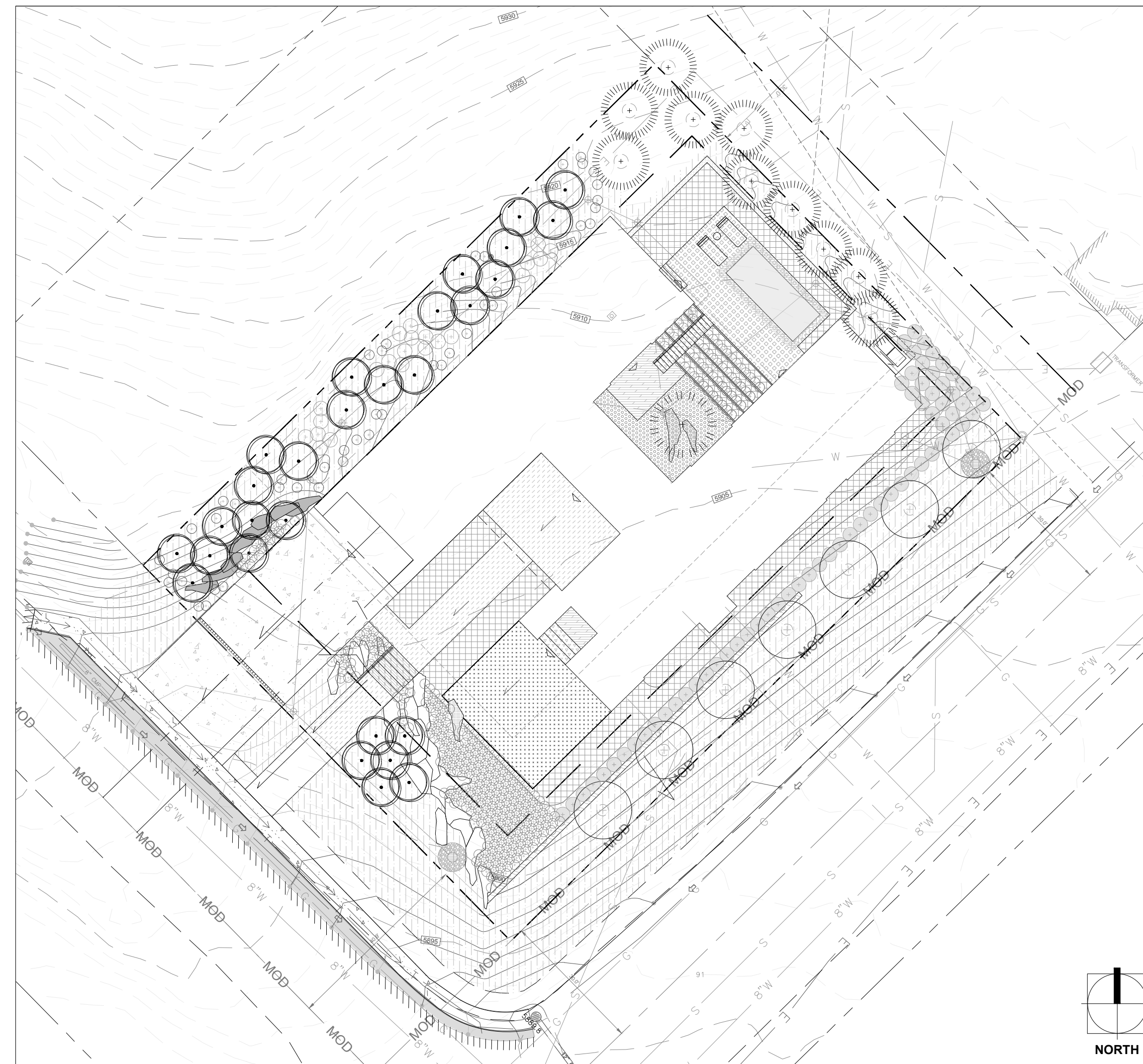
# 100% DESIGN DEVELOPMENT

MAY 4, 2022  
NOT FOR CONSTRUCTION

**Project Description or Supplemental Information**

Lot 1A, Block 91 - Ketchum, Idaho. Parcel ID: RPK000091001A.  
New single family residence, landscape improvements. Site work shall include tree protection and removal; site preparation including earthwork, driveways, fire feature, pool, spa, hardscaping, landscape features, planting, and irrigation of disturbed area. Design and Engineering drawings and specifications associated with the residence are per the architect's drawings.

**Location Map**



**OWNER**  
600 Walnut Ave.  
Ketchum, Idaho 83340

**ARCHITECTS:**  
**CLB Architects**  
109 E. Oak Street, Suite 1C  
Bozeman, MT 59715  
Contact: Jeffrey Johnson  
Tel: (406) 206-5554

**LANDSCAPE ARCHITECT:**  
**DESIGNWORKSHOP**  
120 East Main Street  
Aspen, Colorado 81611  
Contact: Jennifer Wang  
Tel: (213) 921-4612

**CIVIL ENGINEER:**  
Benchmark Associates, P.A.  
PO Box 733  
Ketchum, Idaho  
Contact: Phoebe Johannessen  
Tel: (208) 726-9512

**STRUCTURAL ENGINEER:**  
KL&A  
1717 Washington Ave Golden  
CO 80401  
Contact: RACHEL Harper  
Tel: (303)384-9910

**IRRIGATION:**  
Azure Drone Engineering LLC  
Contact: Ed Price  
Tel: (970) 980-8533

**POOL AND SPA DESIGNER:**  
Water Design Inc.  
6740 S. 1300 E., Suite 110  
Salt Lake City, Utah 84121  
Contact: Jim Redman  
Tel: (801) 261-4009

**Sheet Index**

Sheet No.	Sheet Title	December 17, 2021 MOR - Revision - 01, MAY 04, 2022	Sheet No.	Sheet Title	December 17, 2021 MOR - Revision - 01, MAY 04, 2022
<b>Landscape Drawings:</b>			<b>Consultant Drawings:</b>		
<b>GENERAL INFORMATION:</b>			<b>IRRIGATION SYSTEM SERIES:</b>		
L0-00	Cover	• ○	IR1-01	Irrigation Legend and Notes	• ○ ○ ○
L0-01	Hardscape Reference Plan	• ○ ○	IR1-02	Irrigation Plan	• ○ ○ ○
L0-02	Softscape Reference Plan	• ○ ○	IR2-01	Irrigation Details	• ○ ○ ○
L0-03	General Information	• ○	IR2-02	Irrigation Details	• ○ ○ ○
L0-04	General Information	• ○	<b>SPA AND POOL SERIES:</b>		
<b>PLANT PROTECTION AND REMOVAL SERIES:</b>			SP100	Overall Pool and Spa Plan	• ○
L1-01	Plant Protection and Removal Plan	• ○	SP200	Pool Plan	• ○
<b>SITE DEMOLITION SERIES:</b>			SP210	Spa Plan	• ○
<i>Not used at this time</i>			SP400	Equipment Room Plan	• ○
<b>SITE MATERIALS SERIES:</b>			SP401	Equipment Room Schedule	• ○
L3-01A	Site Materials Plan	• ○	SP410	Equipment Room Details	• ○
L3-01A.1	Site Rendering	• ○ ○	SP500	Sections and Structural Details	• ○
L3-01B	Site Materials Plan-ALTERNATIVE	• ○ ○			
L3-01B.1	Site Rendering	• ○ ○			
L3-01C	Site Rendering	• ○ ○			
L3-01D	Slope Analysis	• ○ ○			
L3-01E	Site Material Palette	• ○ ○			
<b>SITE LAYOUT SERIES:</b>					
L4-01	Site Layout Plan	• ○			
<b>SITE GRADING AND DRAINAGE SERIES:</b>					
L5-01	Conceptual Site Grading and Drainage	• ○			
<b>SITE LIGHTING SERIES:</b>					
<i>Not used at this time.</i>					
<b>SITE DETAILS SERIES:</b>					
L7-01	Site Details	• ○			
L7-02	Site Details	• ○			
L7-03	Site Details	• ○			
L7-04	Site Details	• ○			
L7-05	Site Details	• ○			
L7-06	Site Details	• ○			
L7-07	Site Details	• ○			
<b>SITE PLANTING SERIES:</b>					
L8-01	Site Planting Plan	• ○			
<b>PLANTING DETAILS SERIES:</b>					
L9-01	Planting Detail	• ○			
L9-02	Planting Detail	• ○			
L9-03	Planting Detail	• ○			
<b>SHEET LEGEND KEY:</b>					
• Indicates included sheet					
○ Indicates included but revised sheet					

Note: As part of this project, the Contractor shall maintain a complete, up-to-date set of all Drawings and Specifications available for review at the construction site by the Owner's Representative and Landscape Architect. In addition, the Contractor shall ensure all installations and coordination by all trades occurs in accordance with the above revisions.

# MCDERMOTT RESIDENCE

## 600 WALNUT AVE.

### KETCHUM, IDAHO

NOT FOR  
CONSTRUCTION

ISSUE DATE: MAY 04, 2022

REVISIONS

#	DATE	DESCRIPTION

DRAWN: JW, JP    REVIEWED: MA

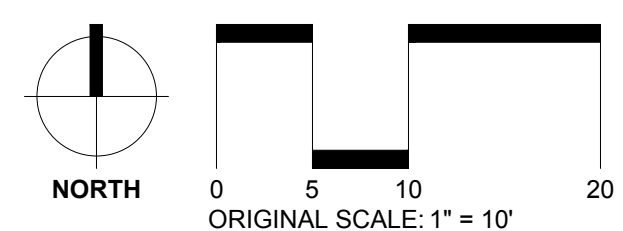
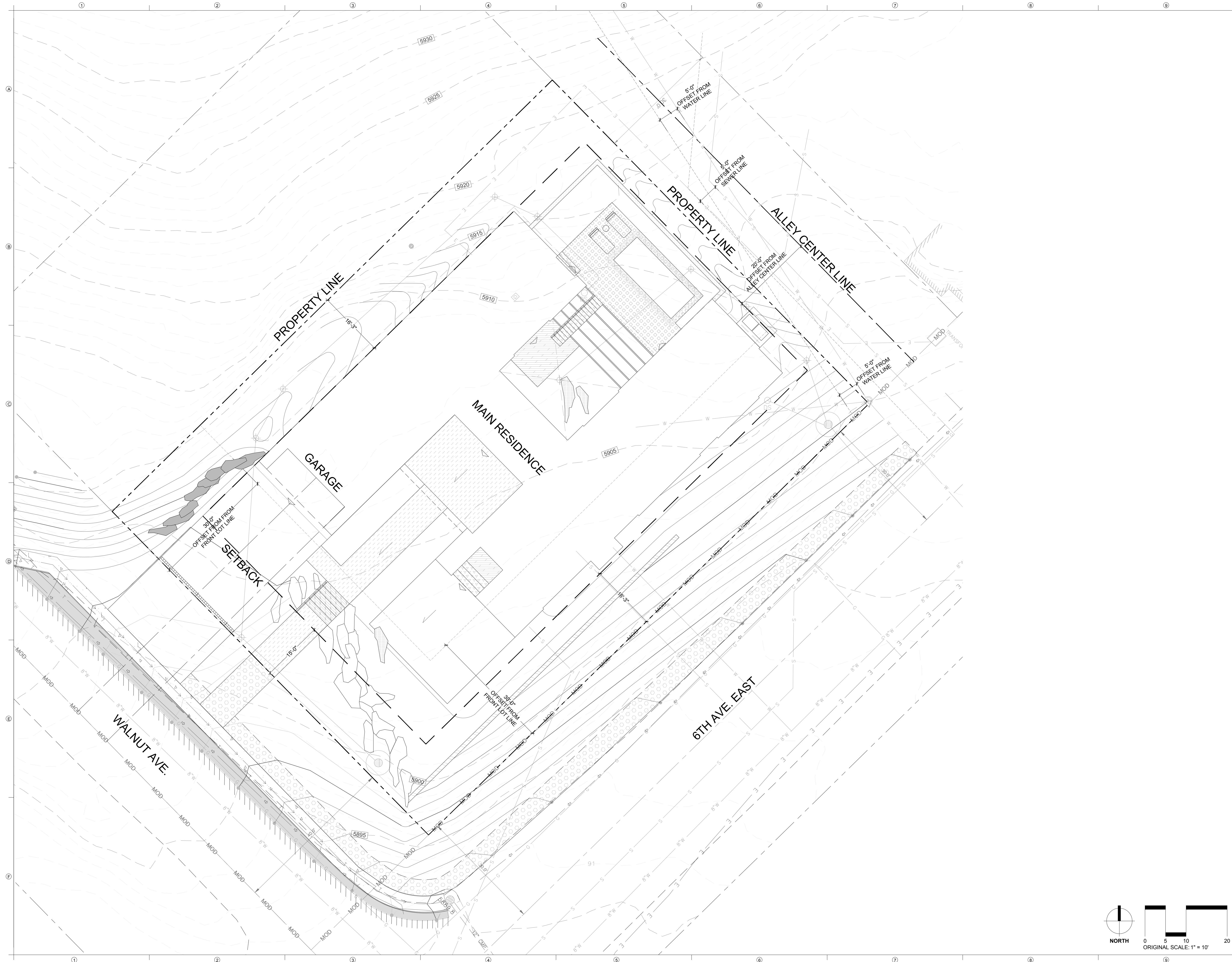
100% DESIGN  
DEVELOPMENT

PROJECT NUMBER: 6530

HARDSCAPE  
REFERENCE  
PLAN

SHEET NUMBER

L0-01



# MCDERMOTT RESIDENCE

600 WALNUT AVE.

KETCHUM, IDAHO

NOT FOR  
CONSTRUCTION

ISSUE DATE: MAY 04, 2022

REVISIONS  
# DATE DESCRIPTION

#	DATE	DESCRIPTION

DRAWN: JW, JP REVIEWED: MA

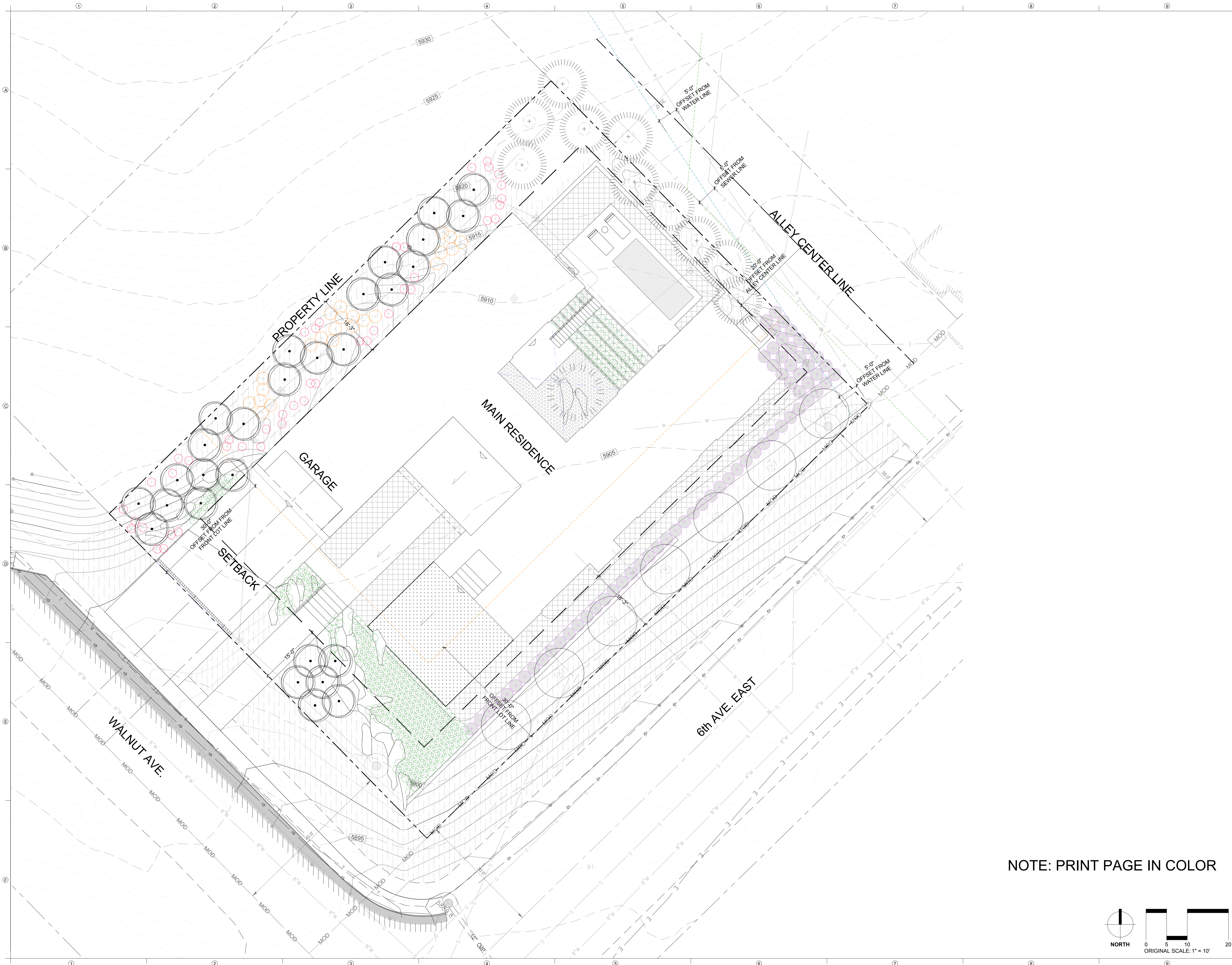
100% DESIGN  
DEVELOPMENT

PROJECT NUMBER: 6530

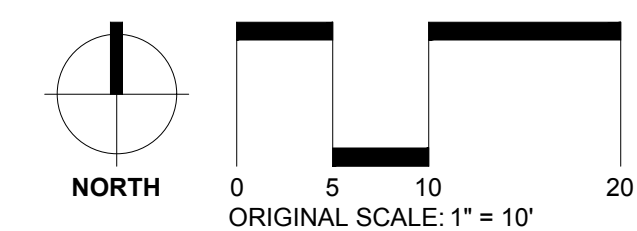
SOFTSCAPE  
REFERENCE  
PLAN

SHEET NUMBER

L0-02



NOTE: PRINT PAGE IN COLOR



## GENERAL NOTES

- Benchmark Associates, P.A. prepared the survey for this project. It has been reformatted for use in and for preparation of these documents. Contractor shall obtain officially signed copy from Benchmark Associates, P.A. (PO Box 733, Ketchum, Idaho, 83340, phone - 208-726-9512) and become familiar with it, the existing conditions and site context prior to construction. All discrepancies should be brought to the attention of the Landscape Architect for immediate resolution. Landscape Architect is not responsible for errors or omissions associated with preparation or documentation of survey.
- Butler Associates, Inc. prepared the geotechnical investigation and report for this project. It has been referenced during preparation of these documents. Contractor shall obtain officially signed copy from Butler Associates, Inc. (PO Box 1034, Ketchum, Idaho 83340, phone - 208-720-6432) and become familiar with it prior to construction. All discrepancies should be brought to the attention of the landscape architect for immediate resolution. Landscape Architect is not responsible for errors or omissions associated with preparation or documentation of report.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements, limits of site demolition, etc. for delineation of expected extents of disturbance, however, final impact shall be determined in the field. Should limits of disturbance exceed boundaries defined in drawings, Contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through his/her means and methods and General Conditions to a condition acceptable to the owner at no additional cost.
- Contractor is responsible for protecting all existing conditions, improvements, utilities, etc. to remain. Any damages shall be repaired to a condition acceptable to the owner at no additional cost.
- Contractor is responsible for maintaining a complete up-to-date set of Drawings and Specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- The Drawings and Specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for immediate resolution.
- Contact the local underground utility service locator for utility locates and identification prior to commencing work and maintain in field throughout construction unless indicated or directed otherwise.
- Verify plant protection, stormwater pollution protection plan (SWPPP), existing improvement to remain, and Contractor site control measures are in place prior to commencing with construction. Do not proceed with construction if not in compliance and maintained throughout. Coordinate with Owner's Representative and authorities having jurisdiction as required.

## PLANT PROTECTION AND REMOVAL NOTES

- Plants shall remain unless designated for removal and shall be protected as indicated. No disturbance is allowed within the dripline of the plants unless indicated or approved otherwise. Protect plants within the plant protection zone as indicated.
- Remove plants as indicated on the plans to their full depth, including stumps and roots, unless noted otherwise. Fill depressions to meet finish grade with suitable fill, compact and provide positive drainage unless indicated otherwise.
- Plants encountered that are not shown on the drawings shall be brought to the attention of the Landscape Architect.
- Remove demolished materials and legally dispose of offsite unless indicated otherwise. Disposal by burning and/or burying on-site is prohibited unless approved otherwise.
- Prune roots and limbs/branches only as directed by Landscape Architect unless indicated otherwise.
- The location of existing utilities as shown on the plans may vary in relation to actual existing conditions. Additional utilities not shown on the drawings may exist. Verify in the field the data shown and bring any discrepancies to the attention of the Landscape Architect before starting work.

## LANDSCAPE PLANTING NOTES

- Refer to Civil Engineer's utility and site grading and drainage plans as required. If actual site conditions vary from what is shown on the plans, contact the Landscape Architect for direction as to how to proceed.
- Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
- Exact locations of plant materials shall be approved by the Landscape Architect in the field prior to installation. Stake or otherwise layout all proposed planting for review. Landscape Architect reserves the right to adjust plants to exact location in field.
- Verify plant counts and square footages. Quantities are provided as Owner information only. If quantities on plant list differ from graphic indications, then graphics shall prevail. If graphics are inconclusive contact Landscape Architect for clarification.
- Perform excavation in vicinity of underground utilities and existing tree/plant driplines with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities and existing trees/plants shall be repaired or replaced immediately at no expense to the Owner.
- Trees/plants shall bear same relation to finished grade as it bore to existing in place of growth. However, at no point shall it be less than 1 inch above adjacent finish grade.
- Trees shall be planted a minimum of 10 feet from face of building and a minimum of 4 feet from edge of pavement, except as approved by Landscape Architect.
- Shrubs shall be planted a minimum of 3 feet from face of building and a minimum of 12 inches from edge of pavement, except as approved by Landscape Architect.
- All other plants (perennials, grasses, groundcover, annuals) shall be planted a minimum of 12 inches from face of building and a minimum of 6 inches from edge of pavement, except as approved by Landscape Architect.
- Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- Prune newly planted trees only as directed by Landscape Architect.
- Finish grades of planting areas and lawns shall be flush and meet smoothly and evenly with adjacent paving, providing positive drainage. Shovel V-cut edges shall be provided at planting area transitions to adjacent pavement as indicated to allow for mulch installation.
- Provide specified edging as divider between planting beds and lawn areas.

## SITE SOILS NOTES

- Contractor shall coordinate with Owner's Representative for location of stockpile areas for stripped topsoil and planting soil products. Contractor shall ensure area is protected and contamination or disturbance of stored products is not allowed.
- Contractor shall ensure subgrade is scarified prior to installing planting soil and blend with initial lift or placement of proposed planting soil.
- Coordinate placement of planting soil with other work, especially utilities. Placement should occur after installation of all hardscape improvements, irrigation system, utilities, etc. and before installation of plants.

## SITE LAYOUT NOTES

- Layout and dimensions provided on Drawings are based on Architecture Building Grid.
- Verify utility locates, plant protection and stormwater pollution protection plan (SWPPP) measures are in place prior to commencing construction. Do not proceed with construction if not in compliance and maintained throughout.
- Layout and verify dimensions prior to construction. Field stake all proposed improvements for review and approval by Landscape Architect unless indicated otherwise. Bring discrepancies to the attention of the Landscape Architect for final direction. Landscape Architect reserves right to make field adjustments and layout decisions in field as necessary at no additional cost to owner.
- Request inspection of field staking by Landscape Architect a minimum of 24 hours in advance of performing any work unless indicated otherwise.
- For dimensions of buildings, garages, and related work, refer to the architectural drawings. Copies of these drawings are available from the owner and are included herein and are noted "for information only".
- Written dimensions take precedence over scale. Bring discrepancies to the attention of the Landscape Architect for final direction.
- This drawing includes the dimensional controls for lighting fixtures, area drains.
- Where dimensions are called as "equal," space referenced items equally, measured to a consistent edge.
- Measurements are to face of building, wall or the fixed site improvement. Dimensions to center lines is indicated.
- Provide expansion joints where concrete flatwork meets vertical structures such as walls, curbs, steps and building elements.

## LANDSCAPE DEMOLITION NOTES

- Where demolition activity is required within protection fencing coordinate with Landscape Architect prior to construction for direction. Hand excavation and plant care procedures may be required.
- Items and site structures shall remain unless designated for removal. Do not disturb. Protect-in-place. The Contractor is responsible for damage to existing items and site structures caused by any person, vehicle, equipment, tool or other related to the execution of the Contract at no additional cost to the owner.
- Remove items and site structures shown on the plan to the full depth of their construction unless designated to remain, including footings, bases, and subbases, if applicable, and legally dispose of offsite, or recycle unless indicated or directed otherwise. Disposal by burning and/or burying is prohibited. Fill depressions with suitable fill, compact and provide positive drainage unless indicated or directed otherwise.
- Verify the location of items and site structures to remain, to be removed, or to be salvaged prior to commencement of the work. Bring discrepancies to attention of Landscape Architect for clarification.
- Items and site structures encountered below grade and not shown on the drawings shall be brought to the attention of the Landscape Architect for clarification.
- Refer to Civil Engineer's drawings for protection and removal of existing utilities.
- The location of existing utilities as shown on the plans may vary in relation to actual existing conditions; additional utilities not shown on the drawings may exist. Verify in the field the data shown, and call any discrepancies to the attention of the Landscape Architect before starting work.
- Perform demolition and excavation in the vicinity of existing utilities by hand where applicable. The Contractor is responsible for damage to existing utilities caused by any person, vehicle, equipment, tool or other related to the execution of the Contract at no additional cost to the owner.

## SITE GRADING AND DRAINAGE NOTES

- Protect existing utilities to remain. Contractor is responsible for all damage to utilities encountered during construction and shall repair at no additional cost to owner.
- Layout and field stake all proposed landscape grading and drainage improvements for review and approval by Landscape Architect prior to construction unless indicated or directed otherwise.
- Request inspection of field staking by Landscape Architect a minimum of 24 hours in advance of performing any work unless indicated otherwise.
- Landscape spot elevations shall be as indicated and defined per Abbreviations List. Bring any discrepancies to attention of Landscape Architect for clarification.
- Provide a minimum of 1% (1:100) slope and a maximum of 5% (1:20) slope on all proposed hardscape and minimum of 2% (1:50) slope and maximum of 33% (1:3) slope on all proposed softscape unless indicated otherwise.
- All surfaces shall be flush and meet smoothly and evenly unless indicated otherwise.
- Provide positive drainage and pitch to drain.
- Refer to Civil Engineer's drawings for all design calculations, details, subsurface piping, overflows/ outfalls, storage basins, erosion control, stormwater pollution protection plans (SWPPP) and connections to site landscape and hardscape drains indicated in drawings unless designated otherwise.
- Provide erosion control measures for swales exceeding 5% (1:20) slope and grades/hillsides exceeding 33% (1:3) slope as indicated. If not indicated bring to the attention of Landscape Architect immediately for direction.
- Refer to MEP drawings for all design calculations, details, piping and connections to landscape and hardscape drains over structure.

## TABLE OF ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	MTD	MOUNTED
BC	BOTTOM OF CURB	MTL	METAL
BF	BOTTOM OF FOOTING	N	NORTH
BLDG	BUILDING	NIC	NOT IN CONTRACT
BM	BENCHMARK	NO	NUMBER
BOC	BACK OF CURB	NOM	NOMINAL
BR	BOTTOM OF RAMP	NTS	NOT TO SCALE
BRG	BEARING	OC	ON CENTER
BS	BOTTOM OF STEP	OD	OUTSIDE DIAMETER
BW	BOTTOM OF WALL	OPP	OPPOSITE
CAL	CALIPER	PAR	PARALLEL
CAP	CAPACITY	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CHAM	CHAMFER	PERF	PERFORATED
CIP	CAST IN PLACE	PED	PEDESTRIAN
CJ	CONTROL JOINT	PI	POINT OF INTERSECTION
CL	CENTER LINE	PL	PROPERTY LINE
CLR	CLEARANCE	PT	POINT, POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	PVMT	PAVEMENT
COMP	COMPACTED	PVR	PAVER
CONC	CONCRETE	QTY	QUANTITY
CONST	CONSTRUCTION	R	RADIUS
CONT	CONTINUOUS	RECEP	RECEPTACLE
CONTR	CONTRACTOR	REF	REFERENCE
CU	CUBIC	REINF	REINFORCE(D)
CY	CUBIC YARD	REM	REMOVE
DBL	DOUBLE	REQD	REQUIRED
DF	DIRECTION OF FLOW	REV	REVISION, REVISED
DEG	DEGREE	ROW	RIGHT OF WAY
DEMO	DEMOLISH, DEMOLITION	RT	RIGHT
DIA	DIAMETER	S	SOUTH
DIM	DIMENSION	SAN	SANITARY
DTL	DETAIL	SCH	SCHEDULE
DWG	DRAWING	SD	STORM DRAIN
E	EAST	SEC	SECTION
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SHT	SHEET
ELEC	ELECTRICAL	SI	STORM INLET
ENG	ENGINEER	SIM	SIMILAR
EQ	EQUAL	SNT	SEALANT
EQUIP	EQUIPMENT	SPECS	SPECIFICATIONS
EST	ESTIMATE	SQ	SQUARE
E.W.	EACH WAY	ST	STORM SEWER
EXIST	EXISTING	SY	SQUARE YARD
EXP	EXPANSION, EXPOSED	STA	STATION
FF	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FINISHED GRADE	STL	STEEL
FIN	FINISH	STR	STRUCTURAL
FL	FLOW LINE	SYM	SYMMETRICAL
FOC	FACE OF CURB	T&B	TOP AND BOTTOM
FT	FOOT (FEET)	TBC	TOP OF BACK CURB
FTG	FOOTING	TC	TOP OF CURB
GA	GAUGE	TF	TOP OF FOOTING
GAL	GALVANIZED	THK	THICK
GC	GENERAL CONTRACT(OR)	TOC	TOP OF CONCRETE
GEN	GENERAL	TOPO	TOPOGRAPHY
HORIZ	HORIZONTAL	TSL	TOP OF SLAB
HP	HIGH POINT	TRAS	TRANSFORMER
HT	HEIGHT	TR	TOP OF RAMP
ID	INSIDE DIAMETER	TS	TOP OF STEP
INV	INVERT ELEVATION	TW	TOP OF WALL
IN	INCH(ES)	TYP	TYPICAL
INCL	INCLUDE(D)	VAR	VARIABLE
INL	INLET	VERT	VERTICAL
IRR	IRRIGATION	VEH	VEHICLE
JT	JOINT	VOL	VOLUME
JN	JOINT	W	WITH
LN	LINEAR	W/O	WITHOUT
LF	LINEAR FEET	WT	WEIGHT
LP	LOW POINT	WL	WEIR LEVEL
LT	LIGHT	WWF	WELDED WIRE FABRIC
MATL	MATERIAL	YD	YARD
MAX	MAXIMUM	@	AT
MEMB	MEMBRANE		

## LINE SYMBOL LEGEND

PROPOSED	Property Line	EXISTING
	Property Line	
	Setback Line	
	Swale Centerline	
	Limit of Work	
	Tree Protection Fence	
	Sleeves	
	Building Wall	
	Roof Overhang	
	Major Contour	
	Minor Contour	
	Gas Line	
	Water Line	
	Painted 8" Water Line	
	Sewer Line	
	Electrical Line	
	Edge of Pavement	
	Mountain Overlay Zone Per City of Ketchum	

## SYMBOL LEGEND

	Transformer		Trench drain
	Landscape Boulder		Fire Hydrant
	Catch basin		CABLE RISER
	Cleanout		TELEPHONE RISER
	Dry well		POWER METER
	FFE/ Benchmark		GAS MARKER
	Manhole		AIR CONDITIONER
	Spot grade		CATCH BASIN
	Cutoff Trench		WATER METER
	Storm Drain		SIGN
			IRRIGATION BOX

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**GENERAL INFORMATION**

SHEET NUMBER

**L0-03**

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SITE MATERIALS LEGEND

Stone Paving Type 1 - Ped.
Stone Paving Type 2 - Ped. (Snowmelted)
Stone Paving Type 3 - On Pedestal
Stone Paving Type 4 - Ped. (Autocover Vault) Type 1
Stone Paving Type 6 - Ped. (Coping)
Gravel - Ped.
Stone Stairs Type 1
Stone Stairs Type 2 (Snowmelted)
Stone Veneer Wall
Steel Wall

PLANT PROTECTION AND REMOVAL LEGEND

PLANT PROTECTION FENCING
EXISTING DECIDUOUS TREE TO BE REMOVED
EXISTING CONIFEROUS TREE TO BE REMOVED
EXISTING DECIDUOUS TREE TO REMAIN, PROTECT IN PLACE
EXISTING CONIFEROUS TREE TO REMAIN, PROTECT IN PLACE
LIMIT OF DISTURBANCE
VEGETATION REMOVAL AREA

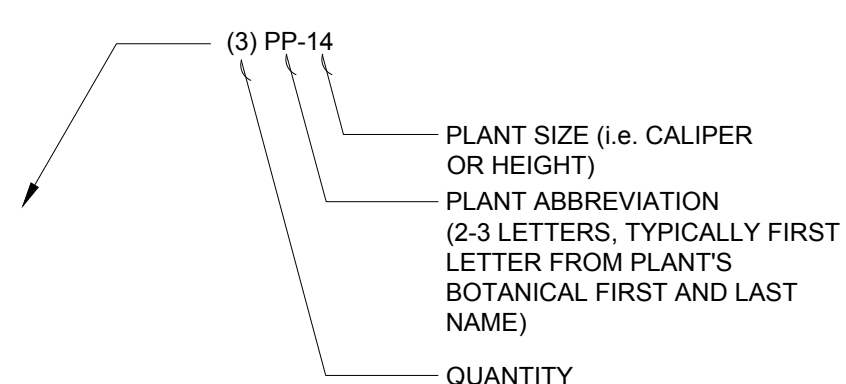
PLANTING LEGEND

PROPOSED DECIDUOUS TREE
PROPOSED CONIFEROUS TREE
PROPOSED SHRUB
PROPOSED GROUNDCOVER
PROPOSED PERENNIALS
PROPOSED NO-MOW FESCUE
PROPOSED NATIVE REVEGETATION

PLANT LIST

Table with columns: SYMBOL/ABBR., QTY., BOTANICAL NAME, COMMON NAME, TYPE, SPACING, SIZE, NOTES. Includes sections for CONIFEROUS TREES, DECIDUOUS TREES, SHRUBS, PERENNIALS & GROUNDCOVERS, and TURF AND GRASSES.

PLANT IDENTIFICATION KEY



NOTE: PLANT ABBREVIATION ON PLANT IDENTIFICATION KEY SHOULD CORRESPOND WITH ABBREVIATION ON PLANT LIST (i.e. PP-14 WOULD REFER TO A PINUS PONDEROSA, 14 FOOT HEIGHT; AR-3 WOULD REFER TO AN ACER RUBRUM RED SUNSET; 3 INCH CALIPER)

SAMPLE KEYNOTE DRAWING CALLOUT:

Diagram showing keynotes 1.0 and 1.1 with callouts for KEYNOTE HEADING, KEYNOTE CALL OUT, KEYNOTE (SYSTEM) ITEM AND BRIEF DESCRIPTION, PRIMARY KEYNOTE DETAIL REFERENCE, and ADDITIONAL DETAIL REFERENCES.

SAMPLE REFERENCE NOTE DRAWING CALLOUT:

Diagram showing a callout for '5' TYP. and '1' with callouts for 'X' REFERENCE NOTES, including Final location of path to be determined in field and SERIES SPECIFIC REFERENCE NOTE.

NOTE: "X" REFERS TO DRAWING SERIES (i.e. SITE DEMOLITION REFERENCE NOTES). THERE SHOULD BE SPECIFIC REFERENCE NOTES FOR EACH DRAWING SERIES. HOWEVER, SOME NOTES MAY APPEAR ON MULTIPLE SERIES AS APPLICABLE.

NOTE: PRINT PAGE IN COLOR

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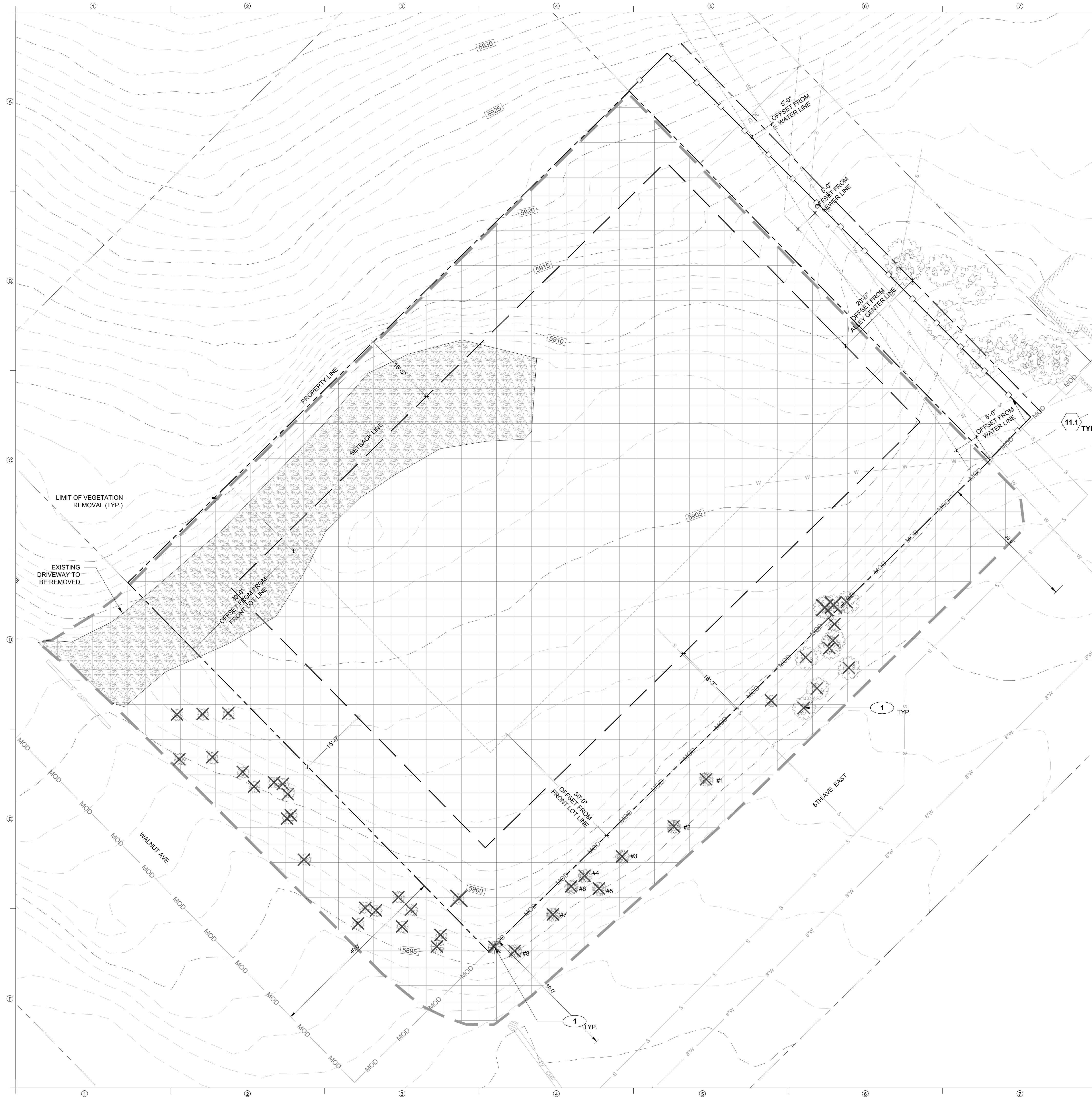
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L0-04



**SITE KEYNOTES:**

**11.0 PLANT PROTECTION**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
11.1 Tree Protection Fence	4 / L9-03	015639

**TREE REMOVAL AND PROTECTION REFERENCE NOTES**

- 1 Existing tree to be removed, including roots and stumps. Fill depression with suitable soil as required per grading plan.

**NOTE: ALL EXISTING TREES, REGARDLESS OF SIZE OR TYPE, LOCATED IN THE RIGHT-OF-WAY ARE TO BE REMOVED.**

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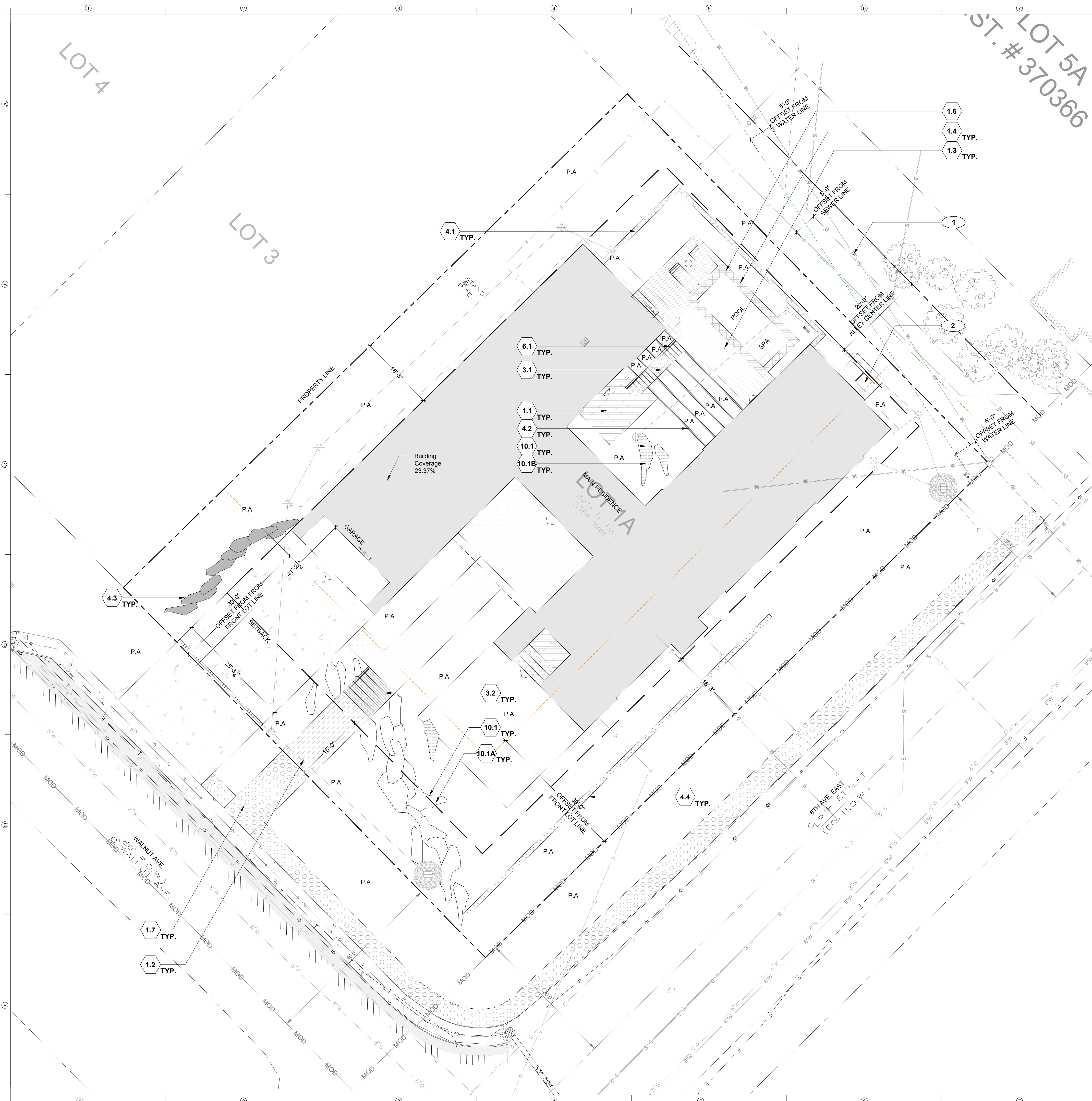
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**PLANT PROTECTION AND REMOVAL PLAN**

SHEET NUMBER

**L1-01**





**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07

**SITE MATERIALS REFERENCE NOTES**

P.A Planting Area

1 Existing Site Utilities, see sheet L0-03 for linetype.

2 Heat Pumps - See CLB and MEP drawings.

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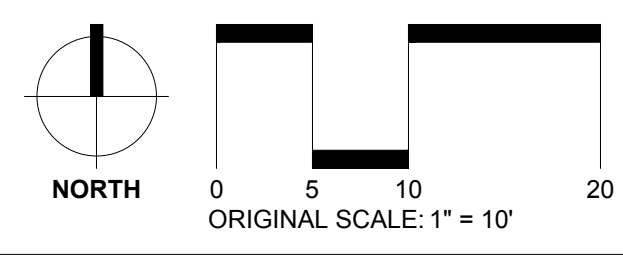
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**SITE MATERIALS PLAN**

SHEET NUMBER  
**L3-01A**

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# BACKYARD VIEW



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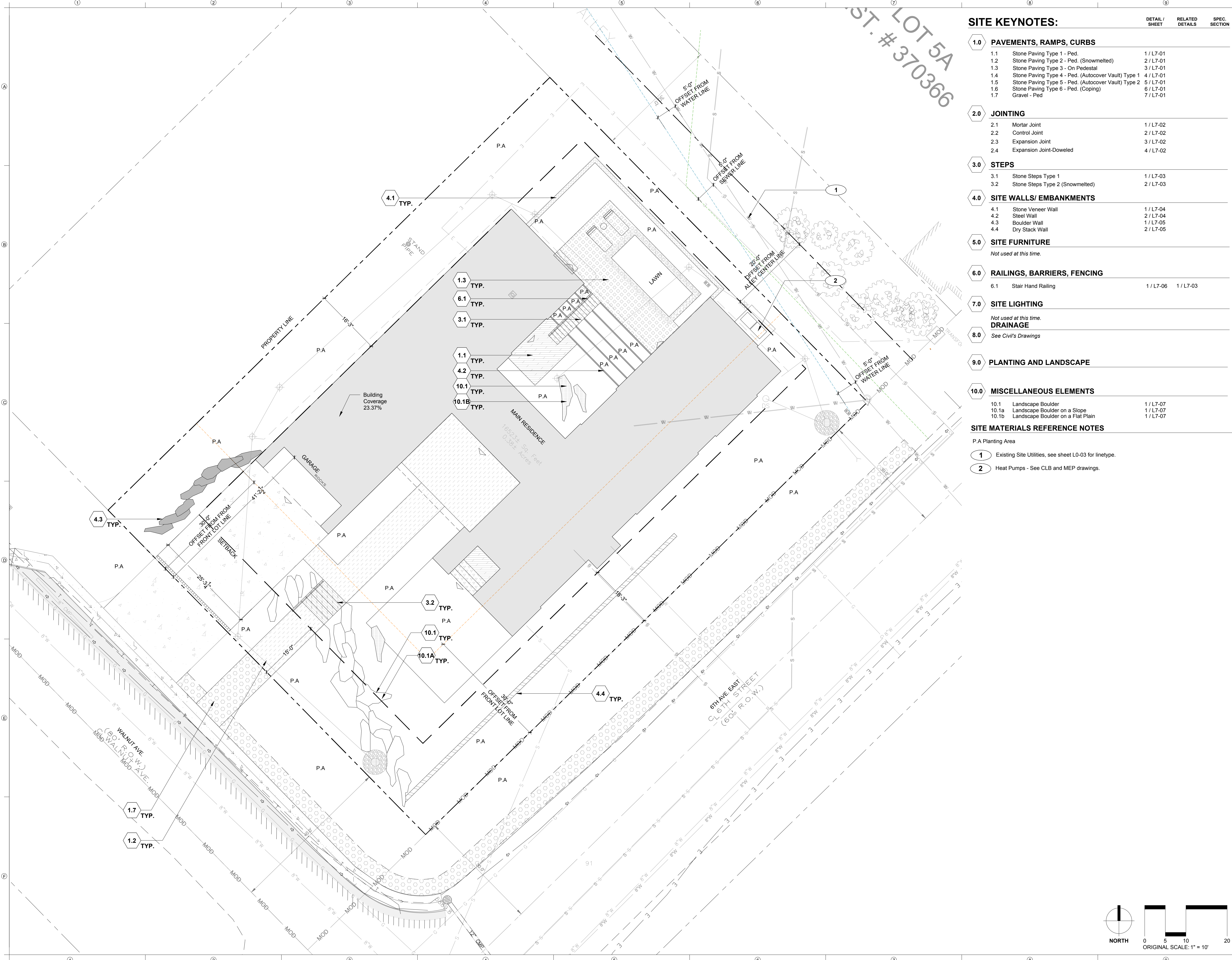
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SITE  
RENDERING

SHEET NUMBER

L3-01A.1



**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07

**SITE MATERIALS REFERENCE NOTES**

P.A. Planting Area

1 Existing Site Utilities, see sheet L0-03 for linetype.

2 Heat Pumps - See CLB and MEP drawings.

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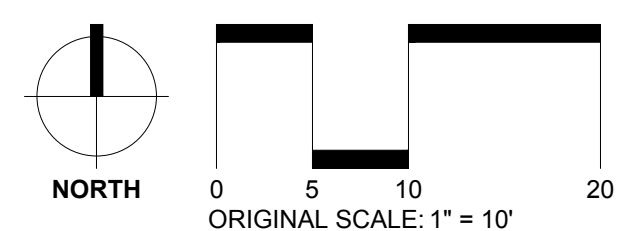
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**SITE MATERIALS PLAN**  
**ALTERNATIVE**

SHEET NUMBER  
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# FRONT VIEW

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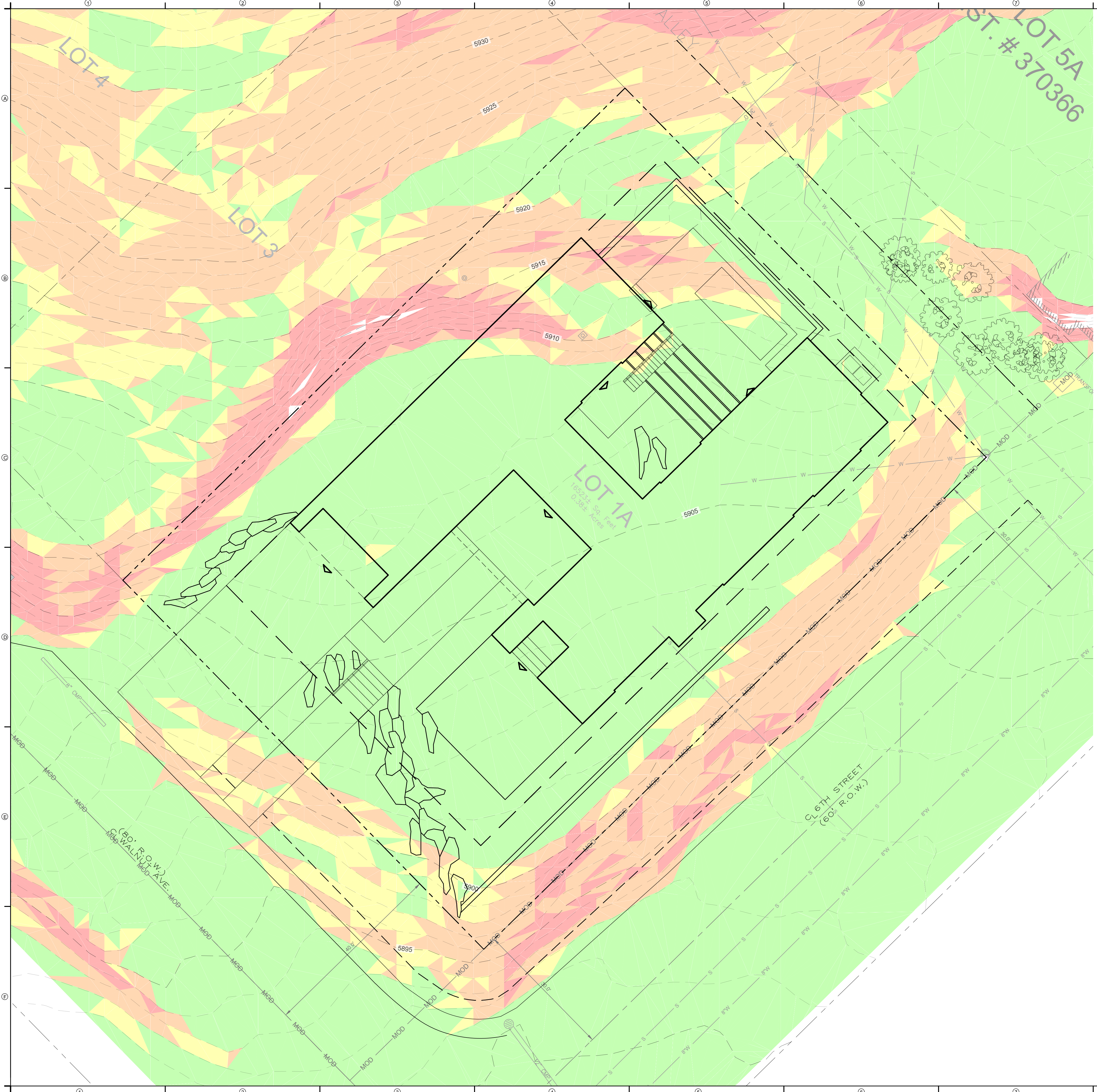
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SHEET NUMBER

**L3-1C**

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Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	25.00%	Green
2	25.00%	30.00%	Yellow
3	30.00%	45.00%	Orange
4	45.00%	100.00%	Red

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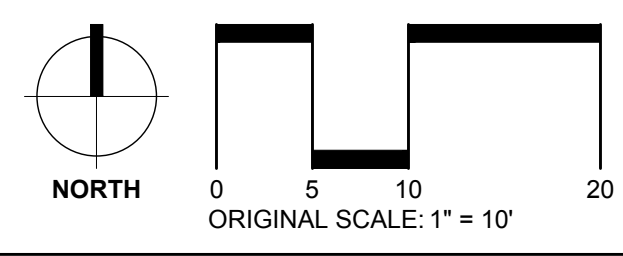
100% DESIGN  
 DEVELOPMENT

PROJECT NUMBER: 6530

**SLOPE  
 ANALYSIS**

SHEET NUMBER

**L3-01D**

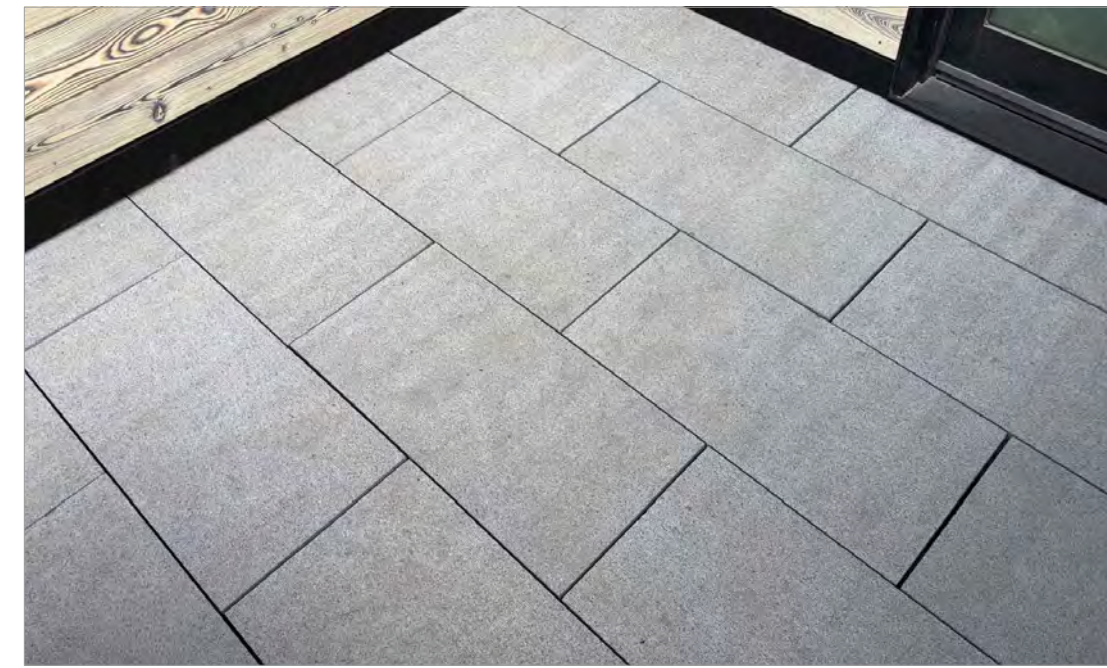


May 04, 2022 - 12:18pm  
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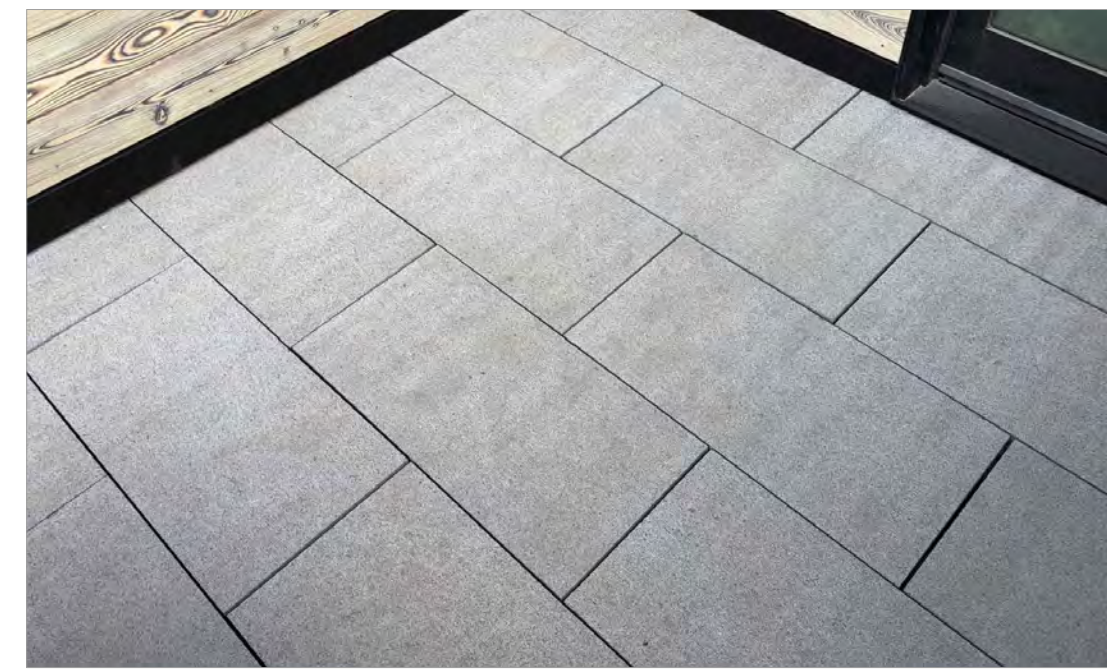
# Exterior Material Palette



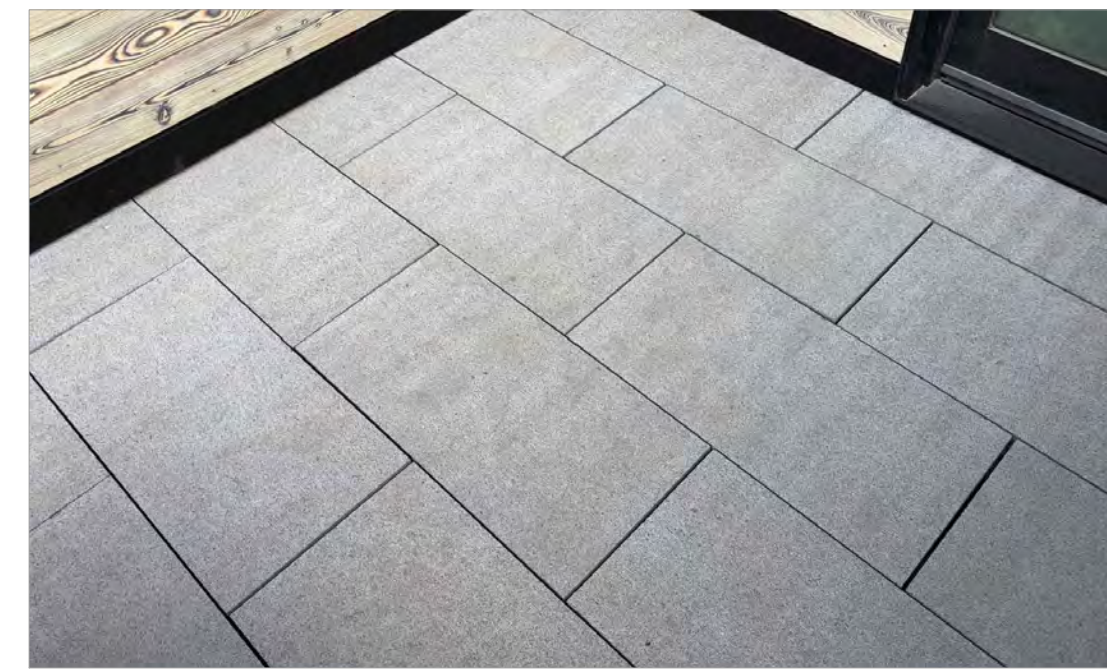
Concrete  
Refer to Civil drawings.



Stone Paving:  
Bridgeport Stone  
Keynotes: 1.1, 1.2, 1.4, 1.5, and 1.6



Pedestal Paving:  
To match stone paving or approved equal  
by Landscape Architect.  
Keynote: 1.3



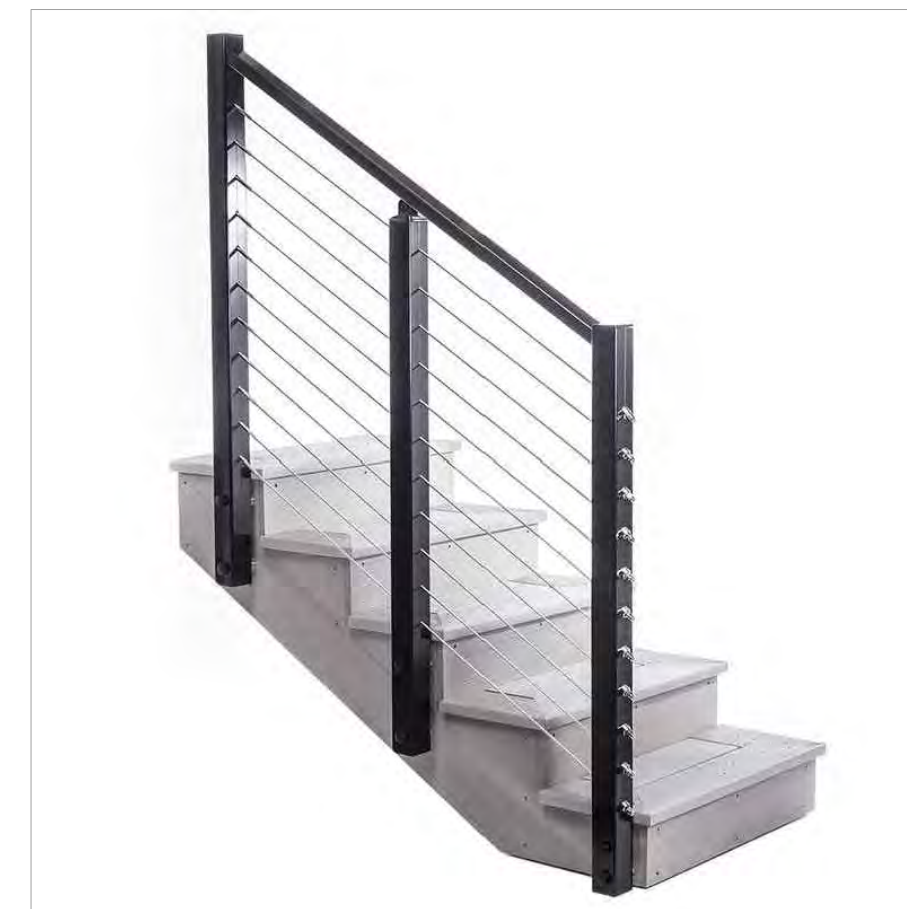
Stairs:  
Bridgeport Stone  
Keynotes: 3.1 and 3.2



Wall Type 1 - Stone Wall Veneer:  
Atlas Granite  
Keynote: 4.1



Wall Type 2 - Steel Wall:  
Corten Steel  
Keynote: 4.2



Hand Railing:  
Stainless Steel and Cable Railing  
Keynote: 6.1

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CONSTRUCTION**

ISSUE DATE: MAY 04, 2022

REVISIONS

#	DATE	DESCRIPTION

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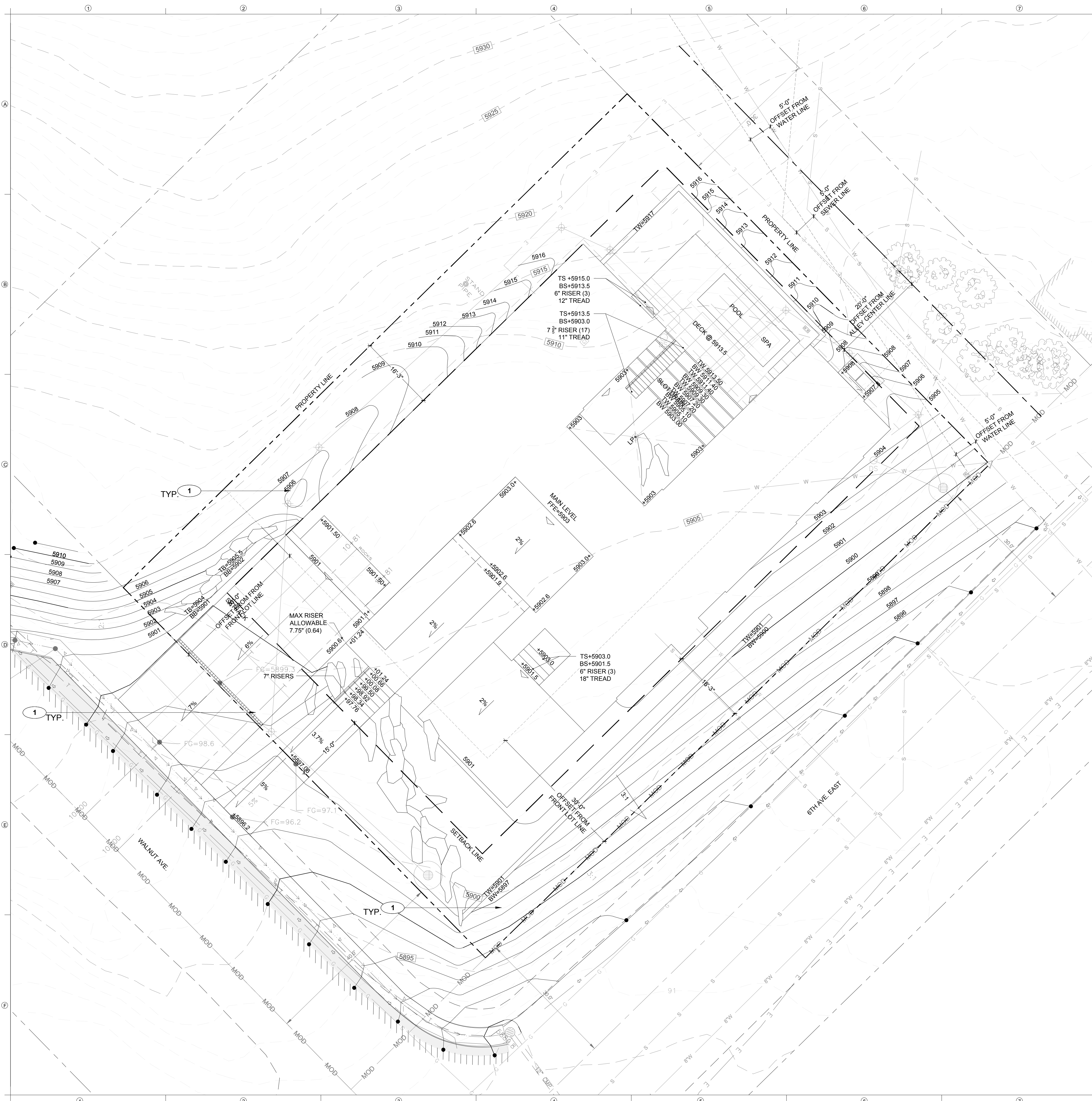
**100% DESIGN  
DEVELOPMENT**

PROJECT NUMBER: 6530

**SITE  
MATERIALS  
PALETTE**

SHEET NUMBER

**L3-01E**



**GRADE LEGEND**

- Existing Contour
- Proposed Contour

NOTE: THIS GRADING PLAN IS CONCEPTUAL. FINAL SITE GRADING AND DRAINAGE PLAN REFER TO CIVIL DRAWINGS.

**SITE GRADING REFERENCE NOTES**

- ① Drainage - See Civil Drawings

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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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#	DATE	DESCRIPTION

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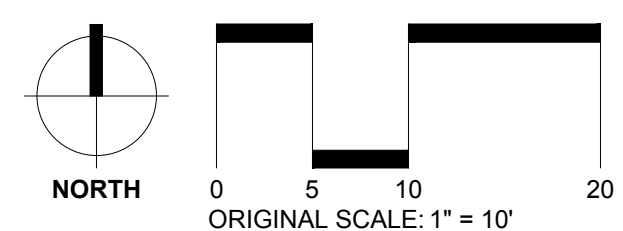
PROJECT NUMBER: 6530

**CONCEPTUAL SITE GRADING AND DRAINAGE PLAN**

SHEET NUMBER

**L5-01**

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May 04, 2022 - 12:29pm  
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#	DATE	DESCRIPTION

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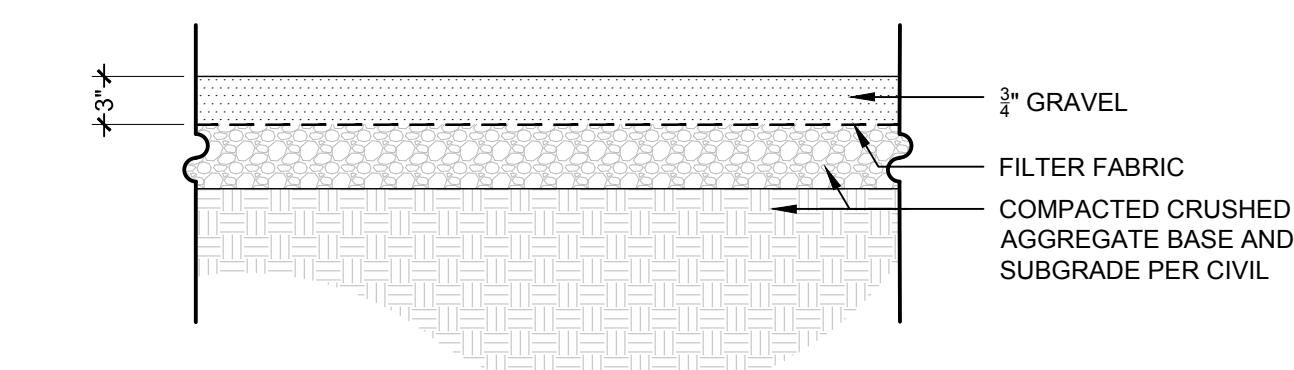
PROJECT NUMBER: 6530

SITE DETAILS

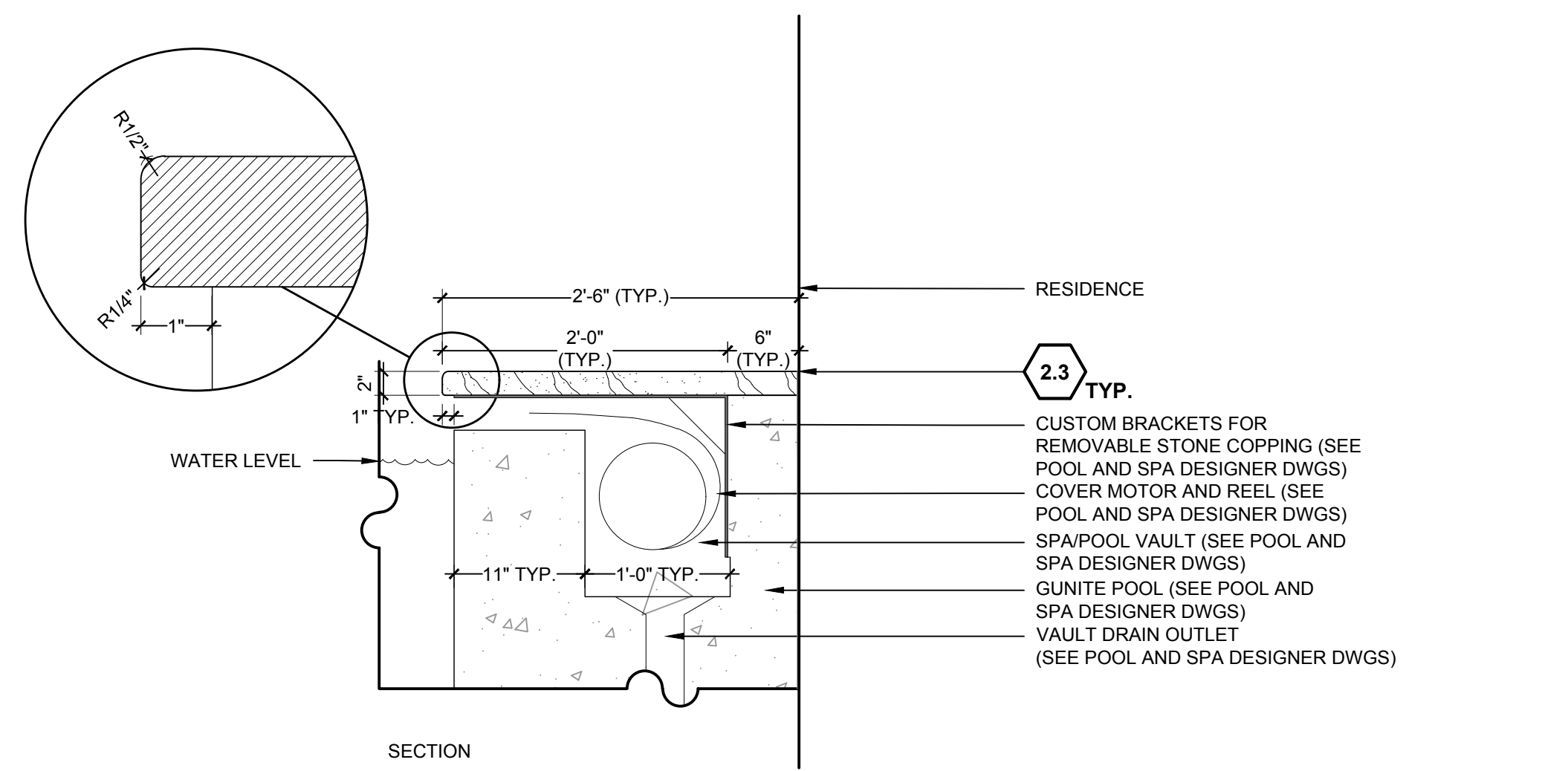
SHEET NUMBER

L7-01

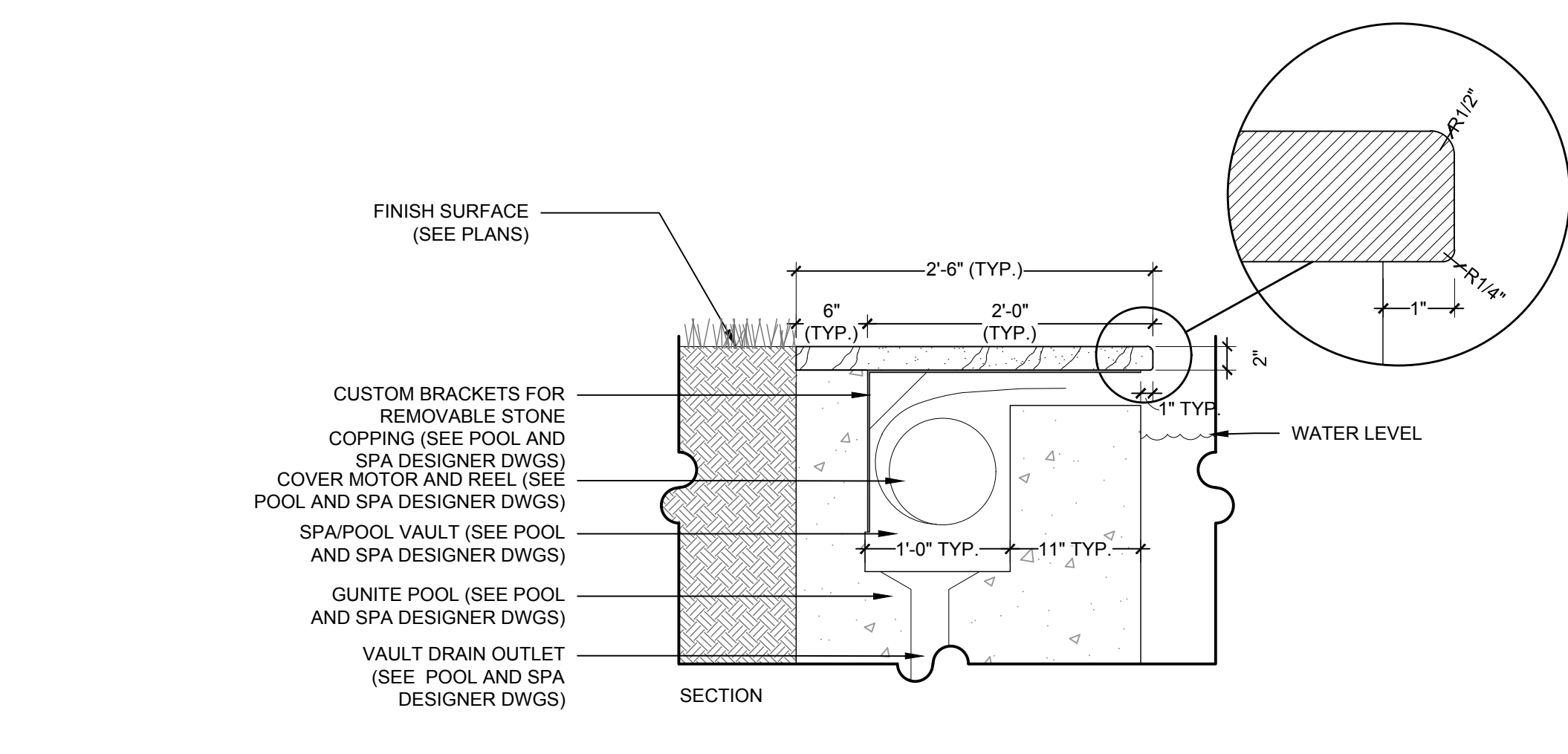
SITE KEYNOTES:		
	DETAIL / SHEET	RELATED DETAILS
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1 Stone Paving Type 1 - Ped.	1 / L7-01	
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01	
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01	
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01	
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01	
1.6 Stone Paving Type 6 - Ped. (Copping)	6 / L7-01	
1.7 Gravel - Ped.	7 / L7-01	
<b>2.0 JOINTING</b>		
2.1 Mortar Joint	1 / L7-02	
2.2 Control Joint	2 / L7-02	
2.3 Expansion Joint	3 / L7-02	
2.4 Expansion Joint-Doweled	4 / L7-02	
<b>3.0 STEPS</b>		
3.1 Stone Steps Type 1	1 / L7-03	
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03	
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1 Stone Veneer Wall	1 / L7-04	
4.2 Steel Wall	2 / L7-04	
4.3 Boulder Wall	1 / L7-05	
4.4 Dry Stack Wall	2 / L7-05	
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1 Landscape Boulder	1 / L7-07	
10.1a Landscape Boulder on a Slope	1 / L7-07	
10.1b Landscape Boulder on a Flat Plain	1 / L7-07	



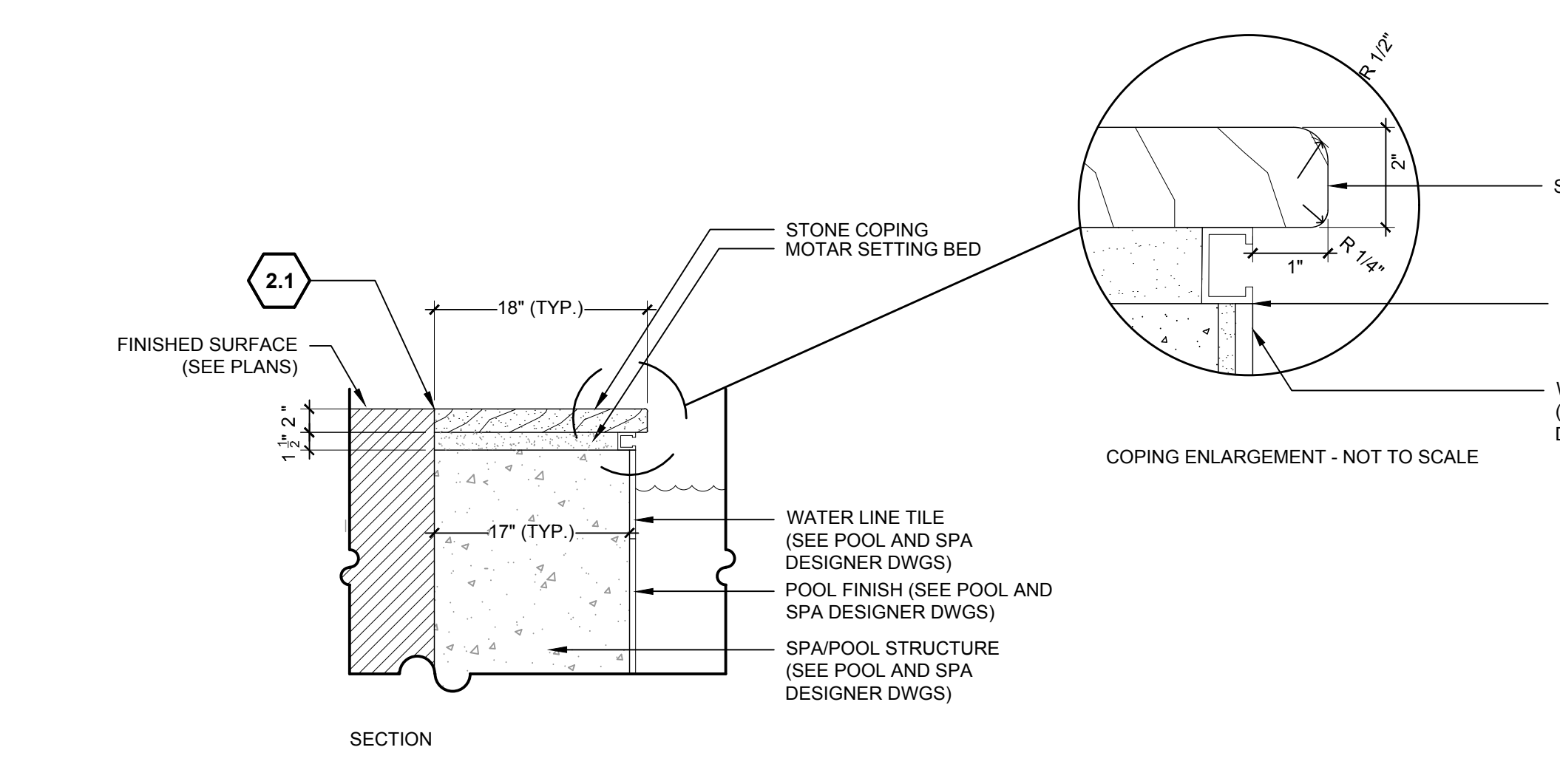
**7 GRAVEL - PED.** 1.7  
1"=1'-0"



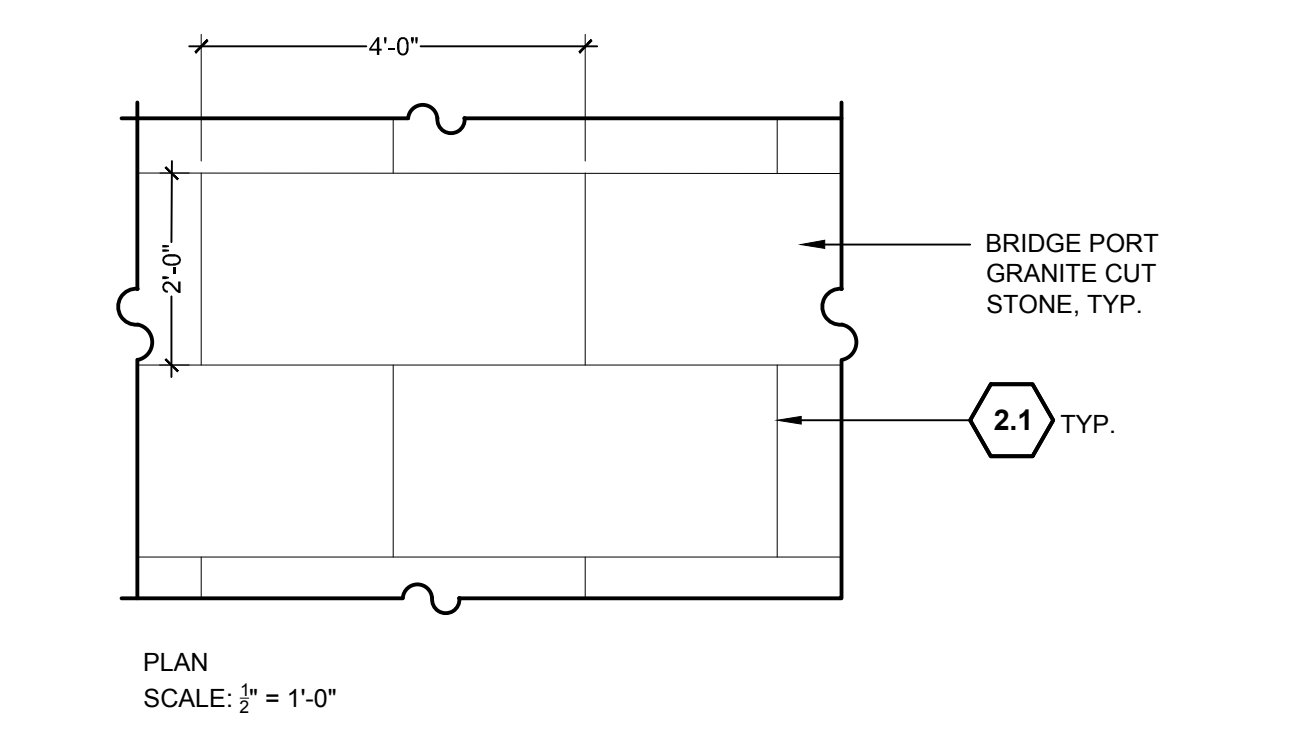
**4 STONE PAVING TYPE 4 - PED. (AUTOCOVER) TYPE 1** 1.4  
1"=1'-0"



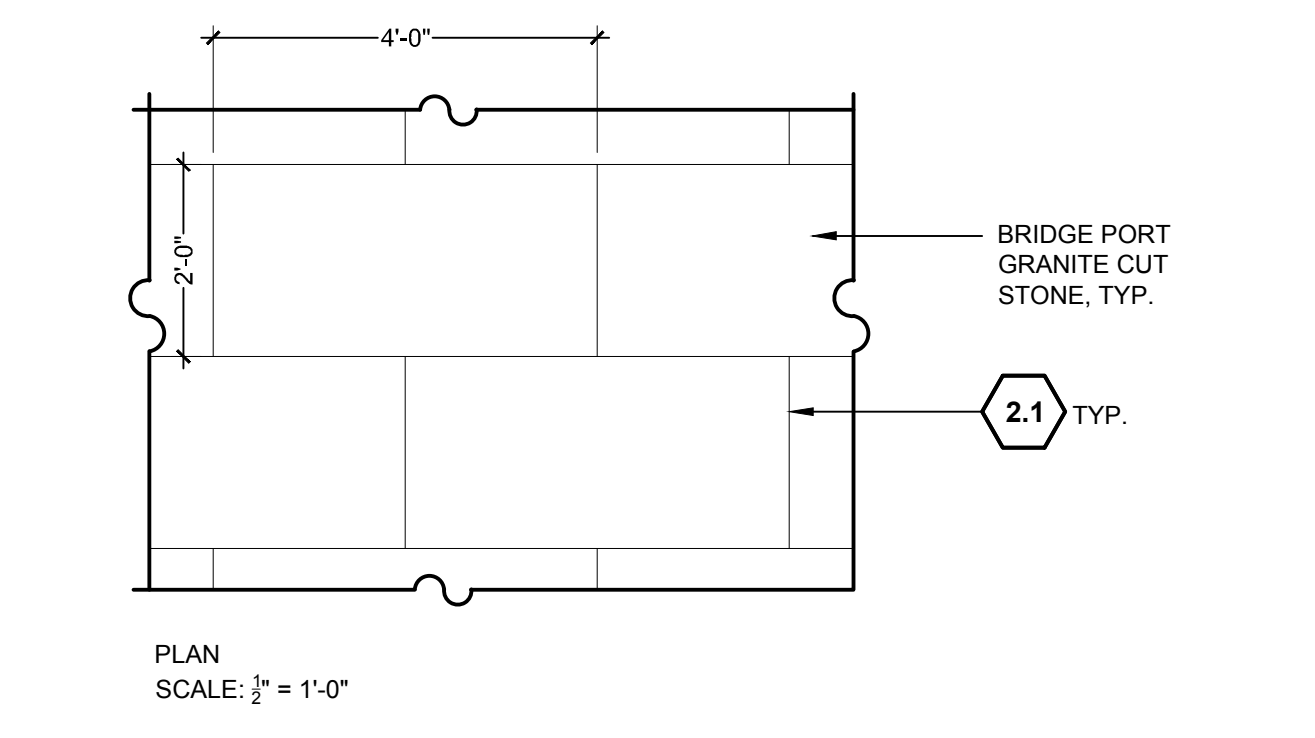
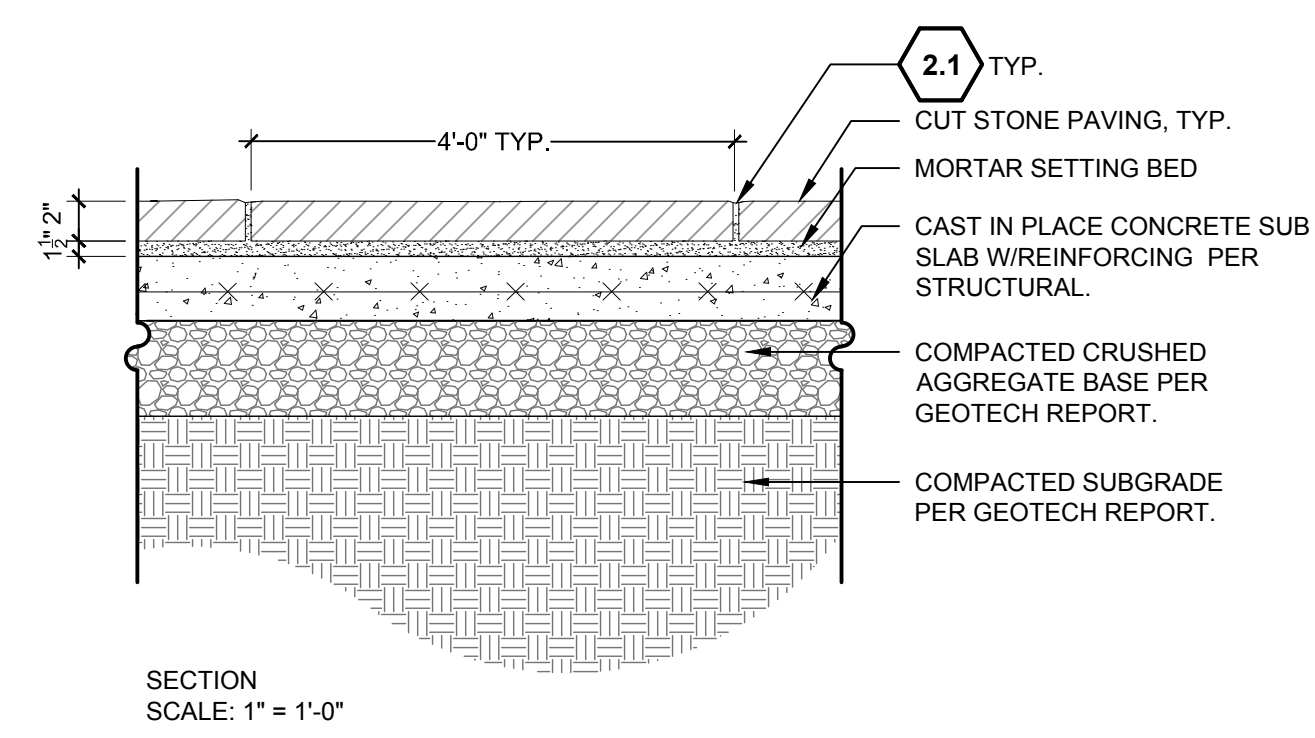
**5 STONE PAVING TYPE 5 - PED. (AUTOCOVER) TYPE 2** 1.5  
1"=1'-0"



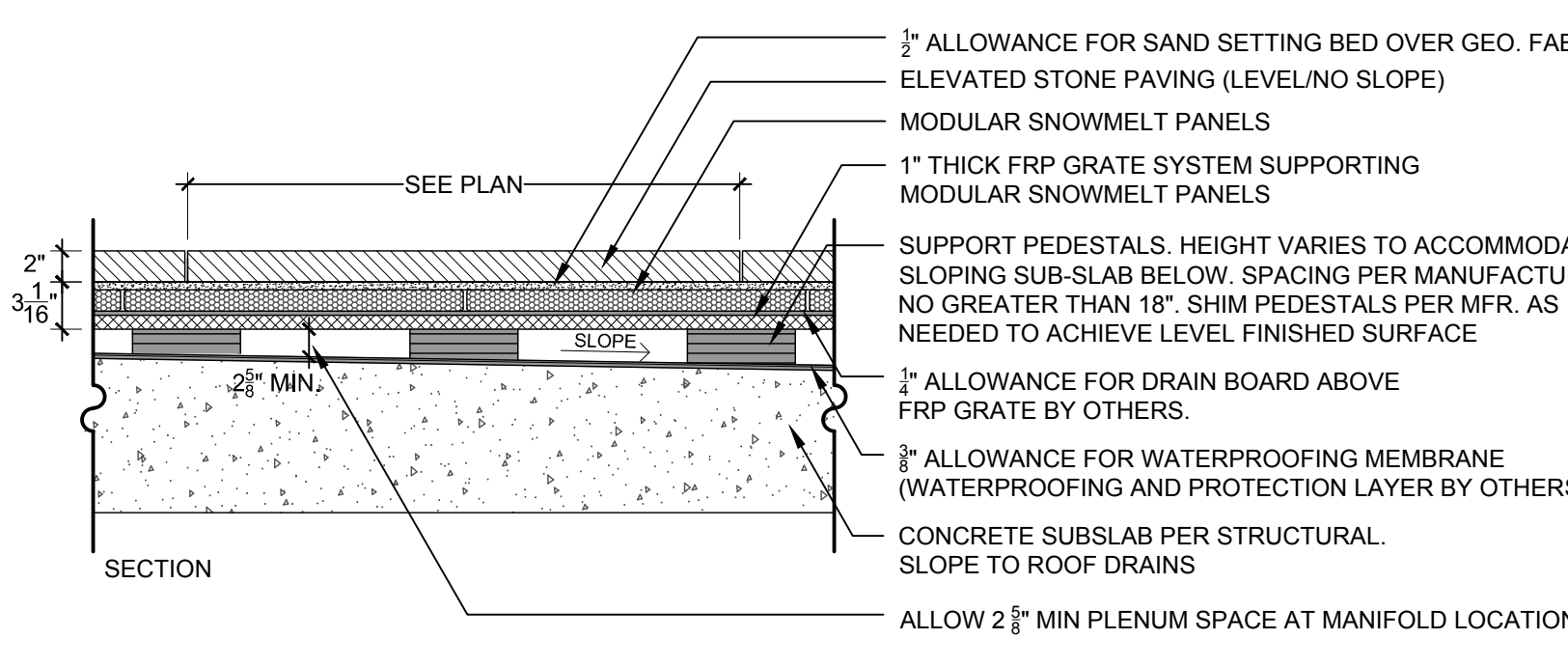
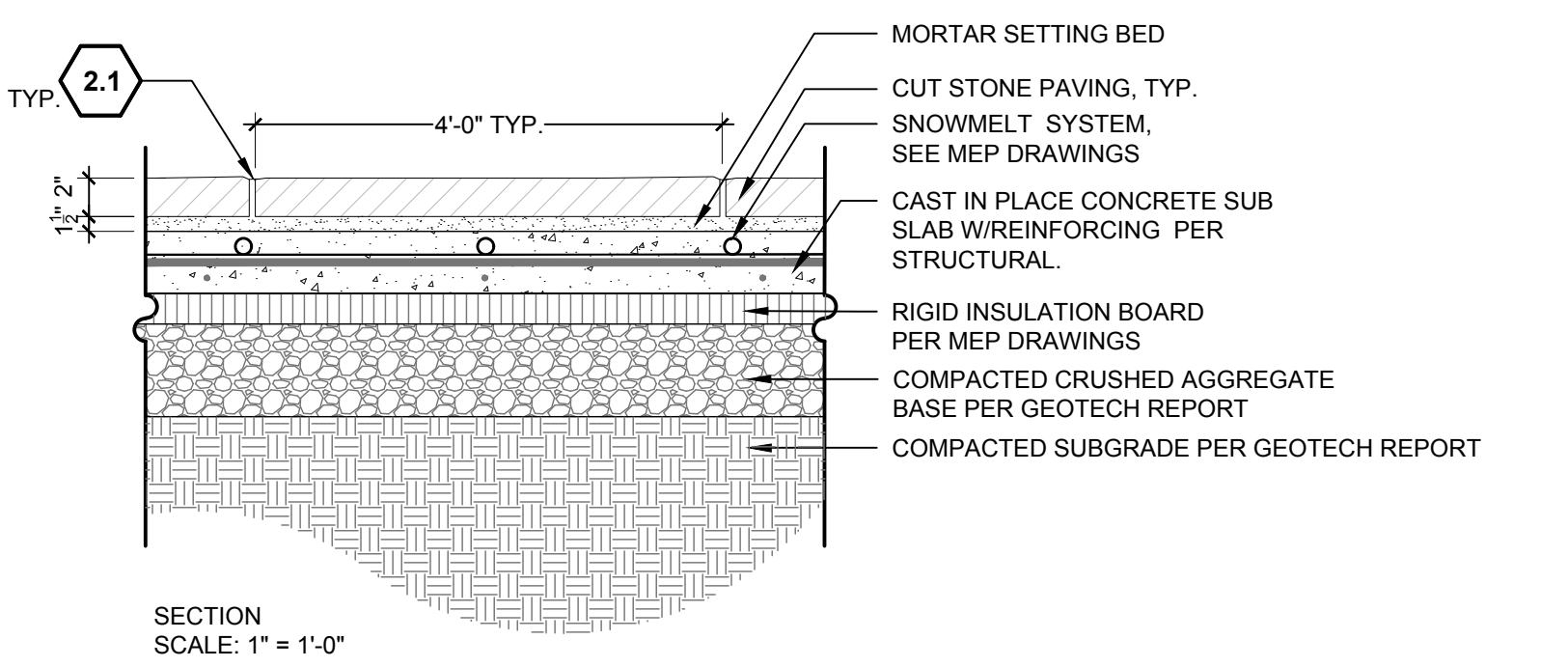
**6 STONE PAVING TYPE 6 - PED. (COPPING)** 1.6  
1"=1'-0"



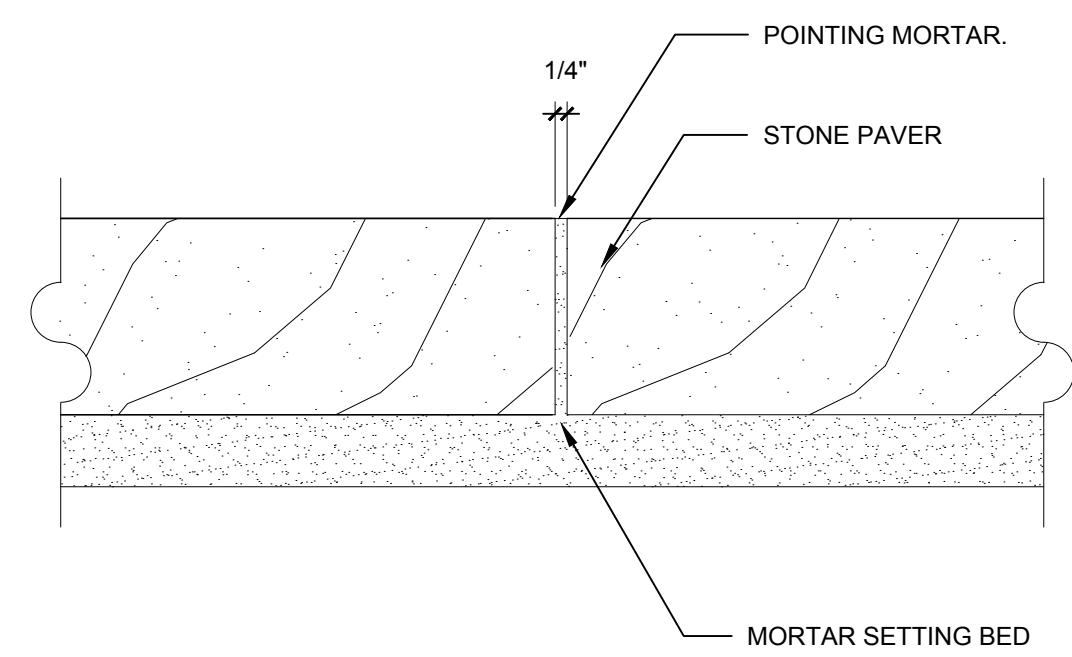
**1 STONE PAVING TYPE 1 - PED.** 1.1  
VARIES



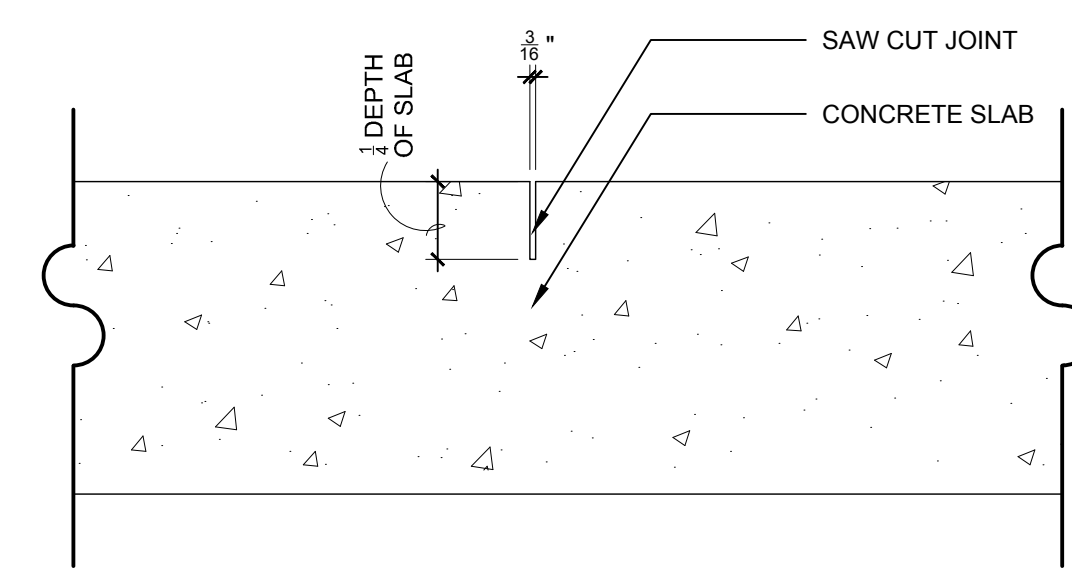
**2 STONE PAVING TYPE 2 - PED - SNOWMELTED** 1.2  
VARIES



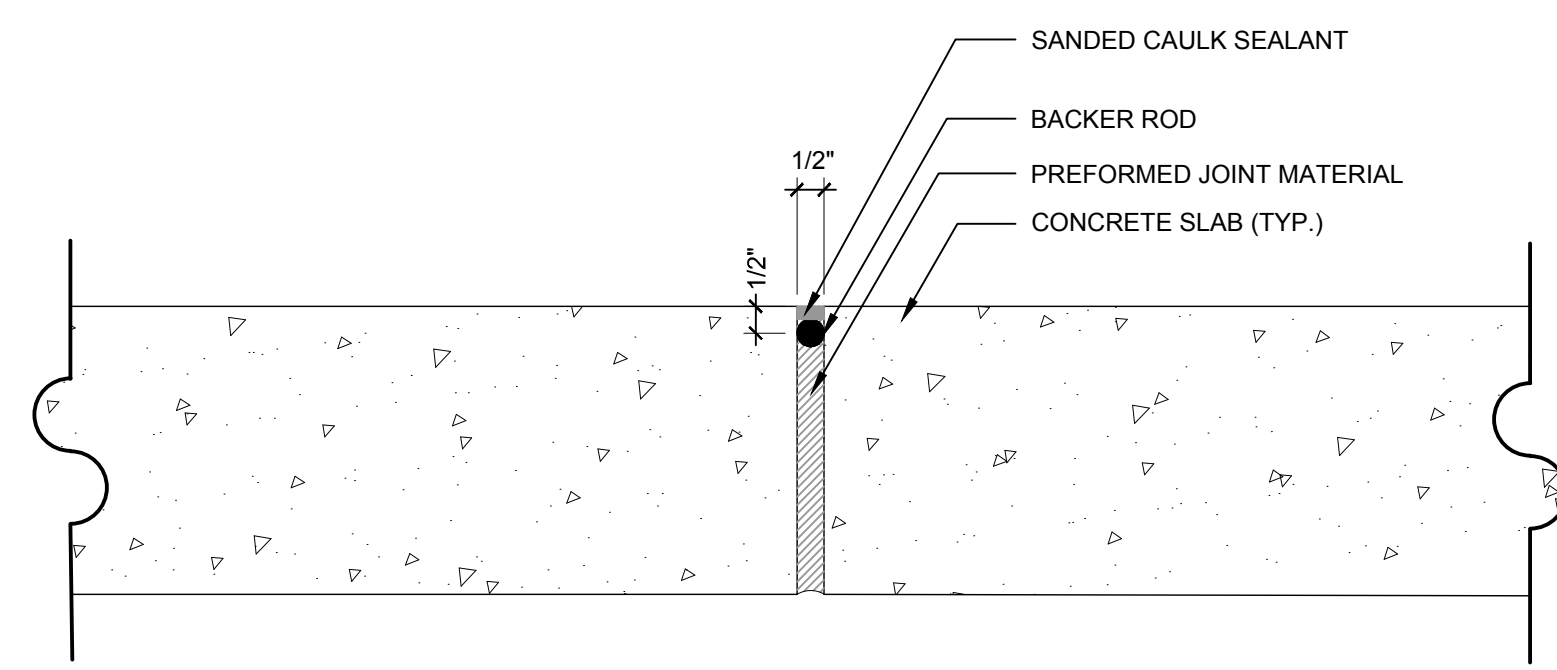
**3 STONE PAVING TYPE 3 - ON PEDESTAL** 1.3  
1"=1'-0"



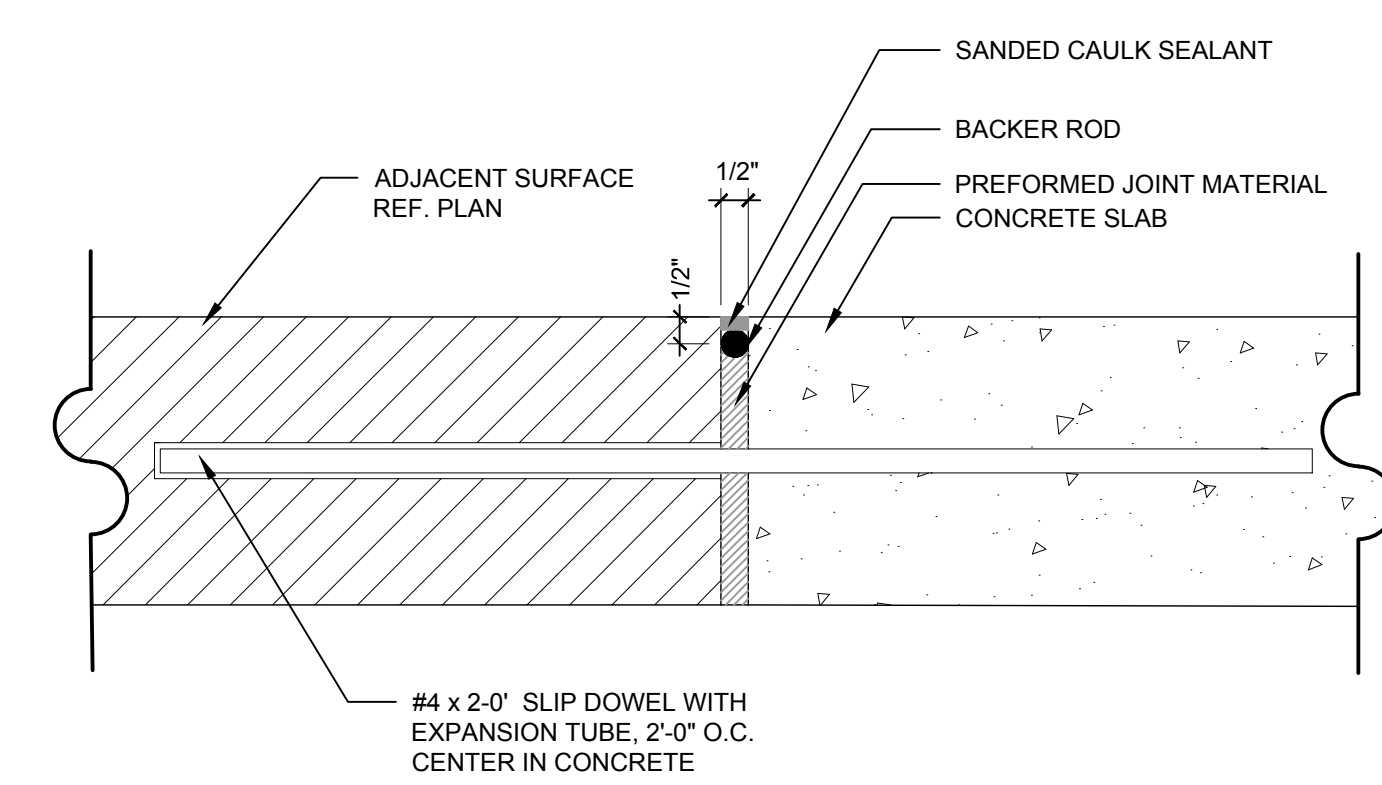
**1** **MOTAR JOINT**  
3"=1'-0" 2.1



**2** **CONTROL JOINT**  
3"=1'-0" 2.2



**3** **EXPANSION JOINT**  
3"=1'-0" 2.3



**4** **EXPANSION JOINT-DOWLED**  
3"=1'-0" 2.4

**SITE KEYNOTES:**

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1 Stone Paving Type 1 - Ped.	1 / L7-01		
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01		
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01		
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01		
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01		
1.6 Stone Paving Type 6 - Ped. (Coping)	6 / L7-01		
1.7 Gravel - Ped	7 / L7-01		
<b>2.0 JOINTING</b>			
2.1 Mortar Joint	1 / L7-02		
2.2 Control Joint	2 / L7-02		
2.3 Expansion Joint	3 / L7-02		
2.4 Expansion Joint-Doweled	4 / L7-02		
<b>3.0 STEPS</b>			
3.1 Stone Steps Type 1	1 / L7-03		
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03		
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1 Stone Veneer Wall	1 / L7-04		
4.2 Steel Wall	2 / L7-04		
4.3 Boulder Wall	1 / L7-05		
4.4 Dry Stack Wall	2 / L7-05		
<b>5.0 SITE FURNITURE</b>			
<i>Not used at this time.</i>			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03	
<b>7.0 SITE LIGHTING</b>			
<i>Not used at this time.</i>			
<b>DRAINAGE</b>			
<i>See Civil's Drawings</i>			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1 Landscape Boulder	1 / L7-07		
10.1a Landscape Boulder on a Slope	1 / L7-07		
10.1b Landscape Boulder on a Flat Plain	1 / L7-07		

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**KETCHUM, IDAHO**

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**SITE DETAILS**

SHEET NUMBER  
**L7-02**

May 04, 2022 - 12:21pm  
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PROJECT NUMBER: 6530

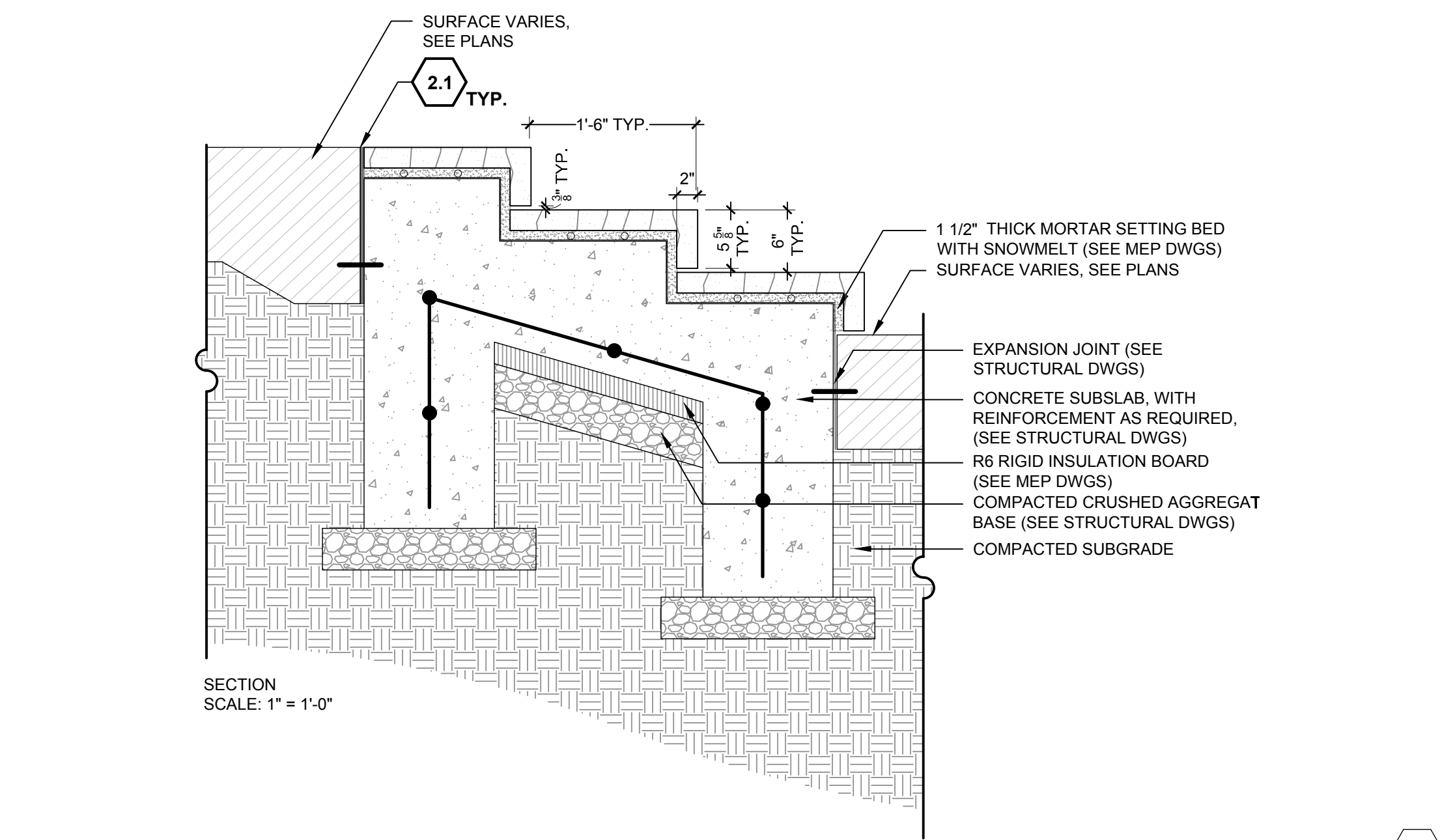
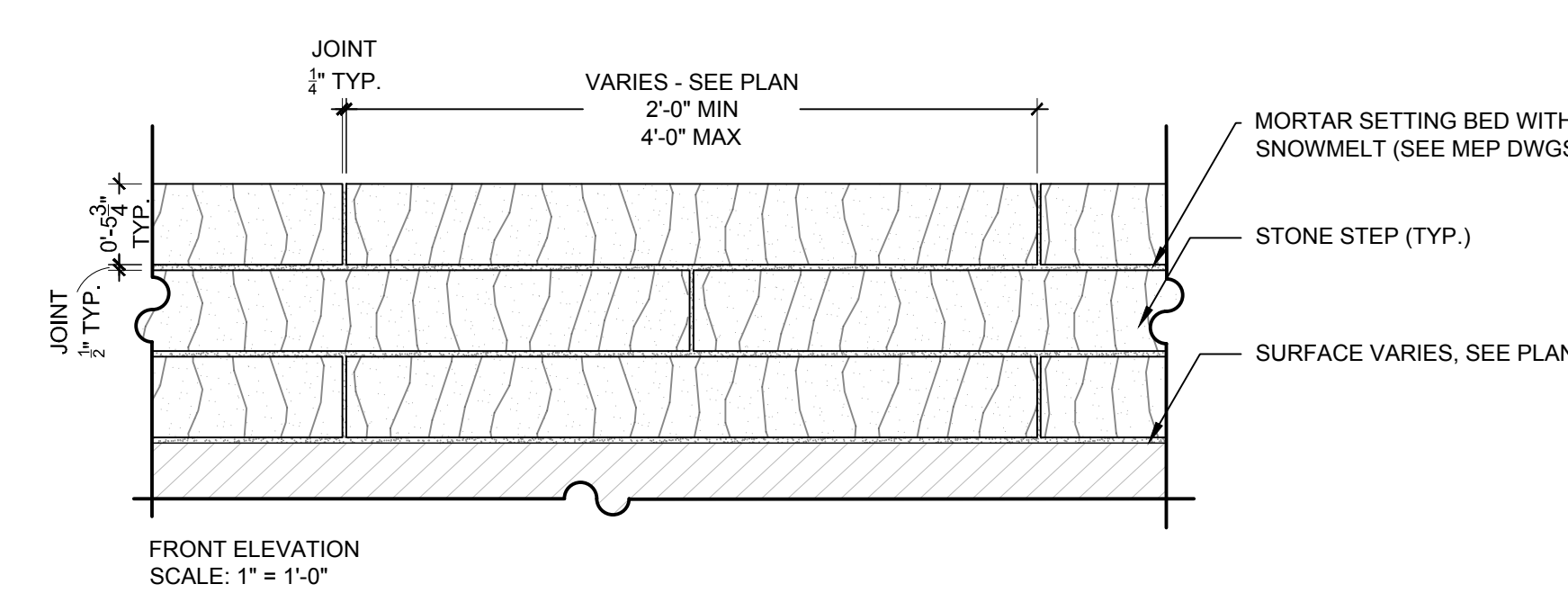
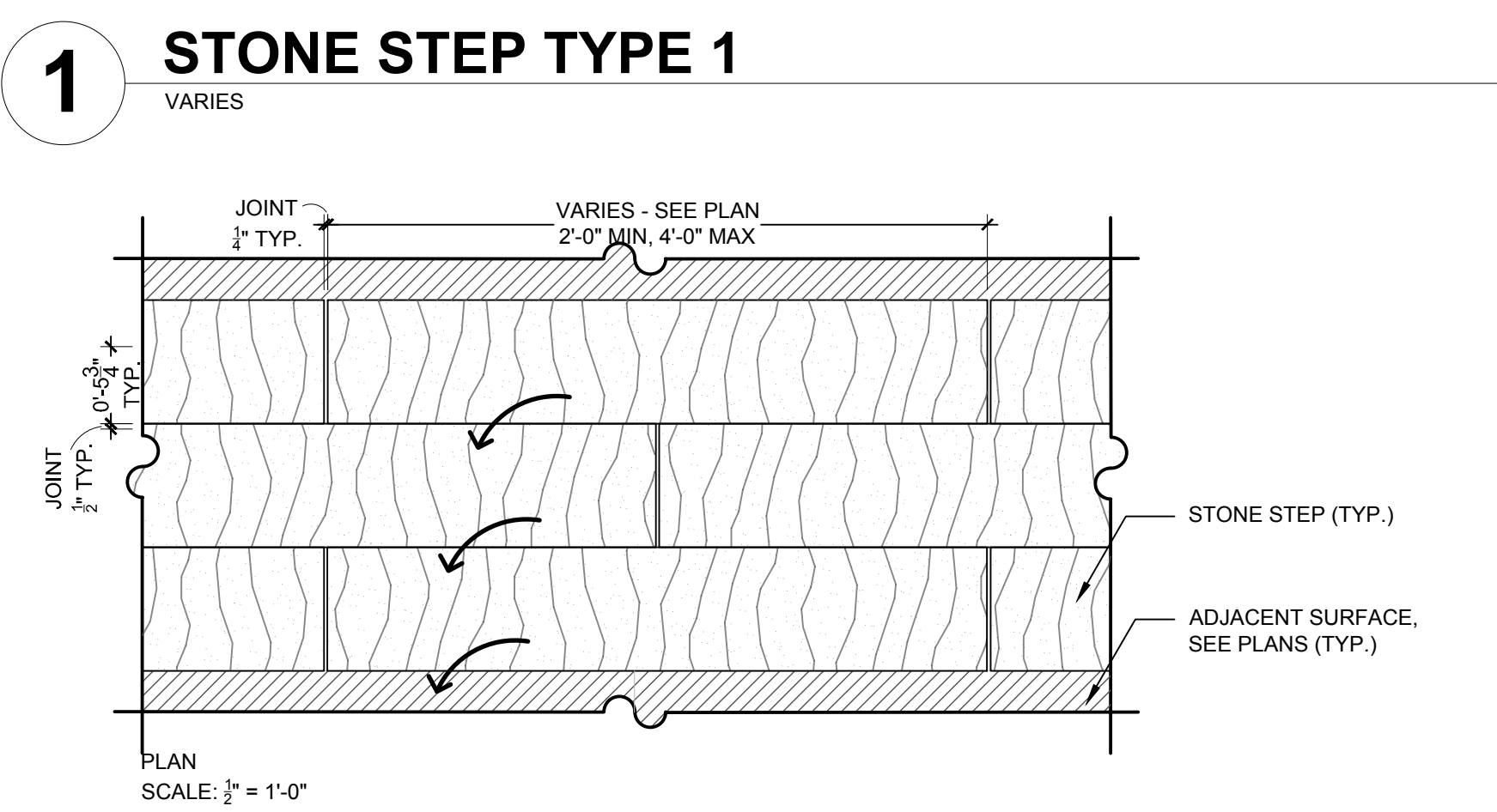
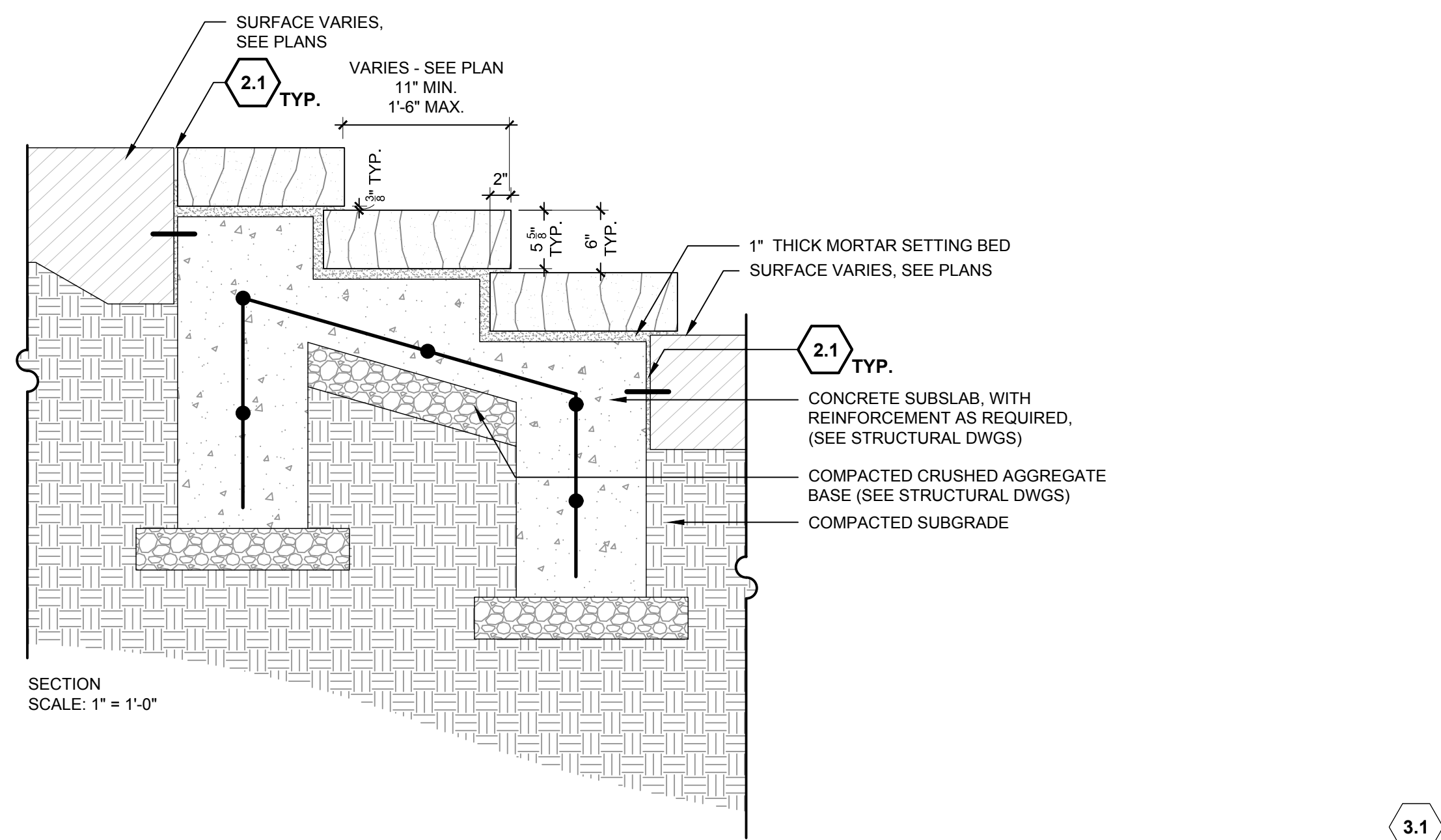
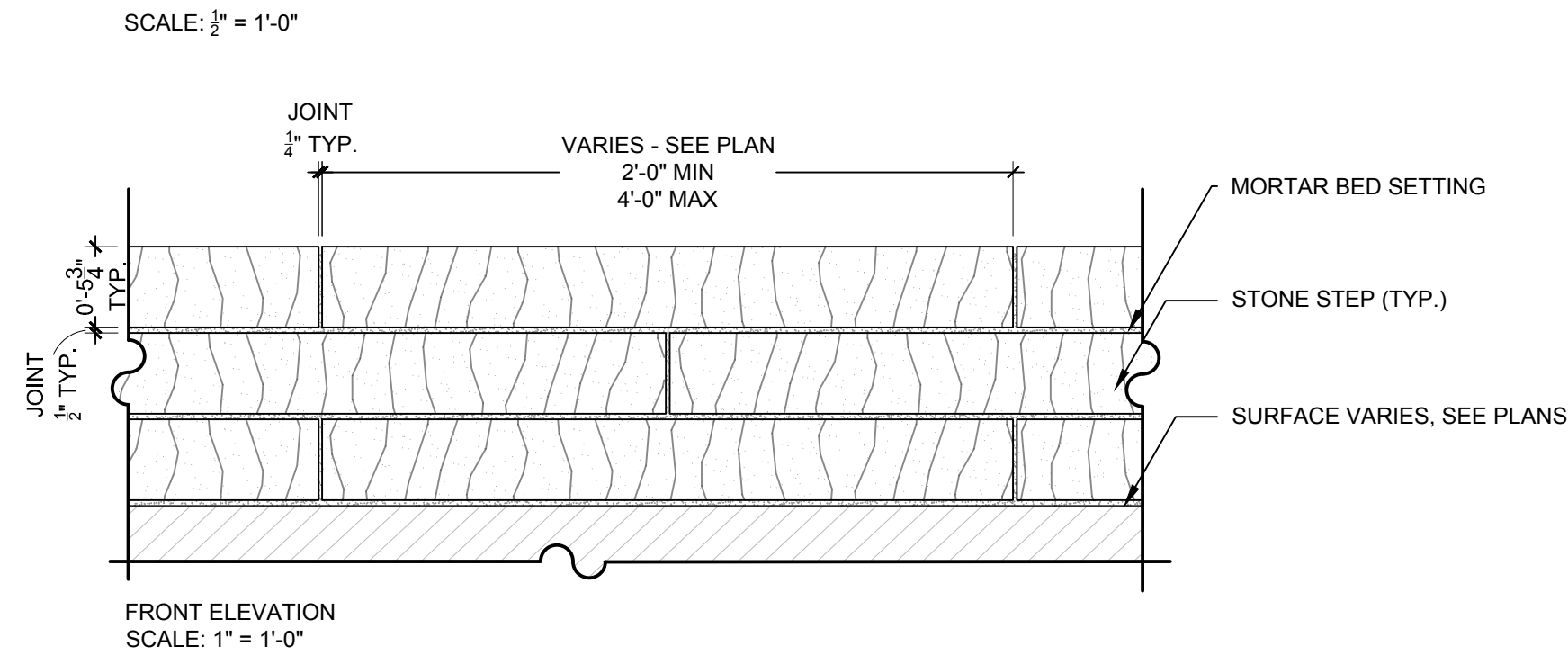
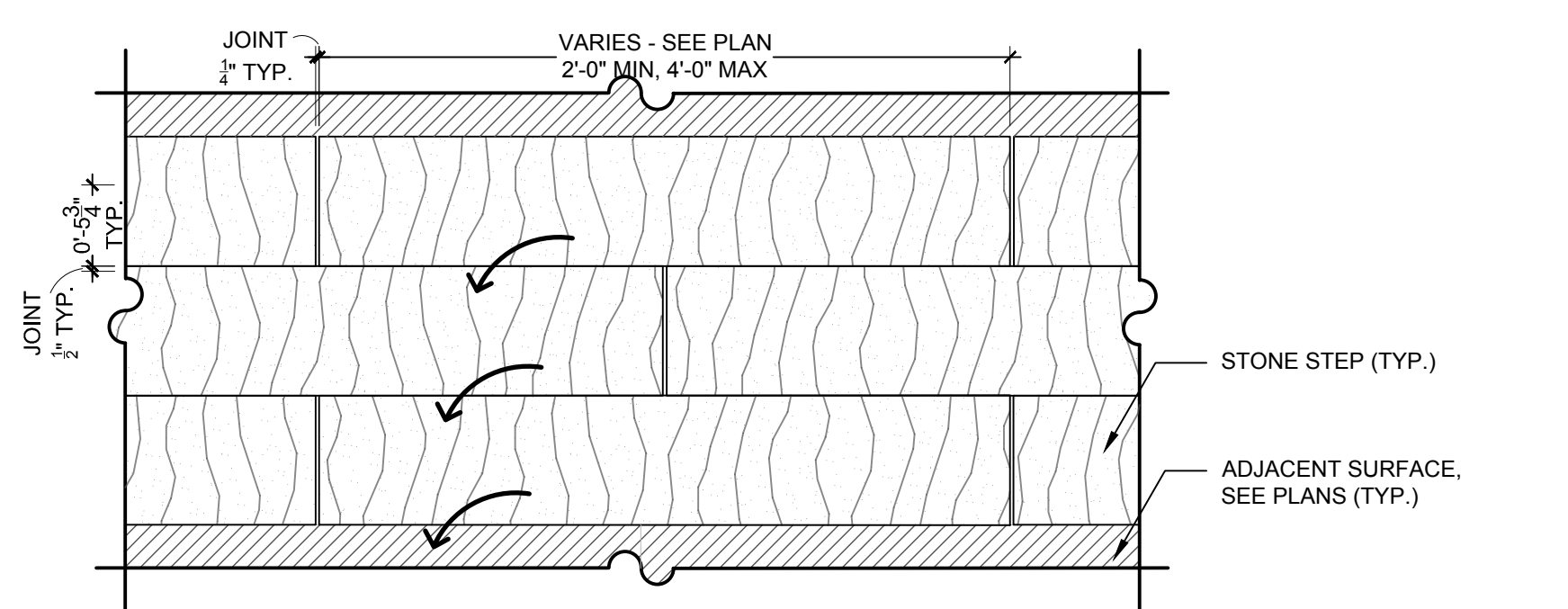
SITE DETAILS

SHEET NUMBER

L7-03

**SITE KEYNOTES:**

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1 Stone Paving Type 1 - Ped.	1 / L7-01		
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01		
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01		
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01		
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01		
1.6 Stone Paving Type 6 - Ped. (Coping)	6 / L7-01		
1.7 Gravel - Ped	7 / L7-01		
<b>2.0 JOINTING</b>			
2.1 Mortar Joint	1 / L7-02		
2.2 Control Joint	2 / L7-02		
2.3 Expansion Joint	3 / L7-02		
2.4 Expansion Joint-Doweled	4 / L7-02		
<b>3.0 STEPS</b>			
3.1 Stone Steps Type 1	1 / L7-03		
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03		
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1 Stone Veneer Wall	1 / L7-04		
4.2 Steel Wall	2 / L7-04		
4.3 Boulder Wall	1 / L7-05		
4.4 Dry Stack Wall	2 / L7-05		
<b>5.0 SITE FURNITURE</b>			
Not used at this time.			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03	
<b>7.0 SITE LIGHTING</b>			
Not used at this time.			
<b>8.0 DRAINAGE</b>			
See Civil's Drawings			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1 Landscape Boulder	1 / L7-07		
10.1a Landscape Boulder on a Slope	1 / L7-07		
10.1b Landscape Boulder on a Flat Plain	1 / L7-07		



**2 STONE STEP TYPE 2 (SNOWMELTED)**  
 VARIES

3.1

3.2

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**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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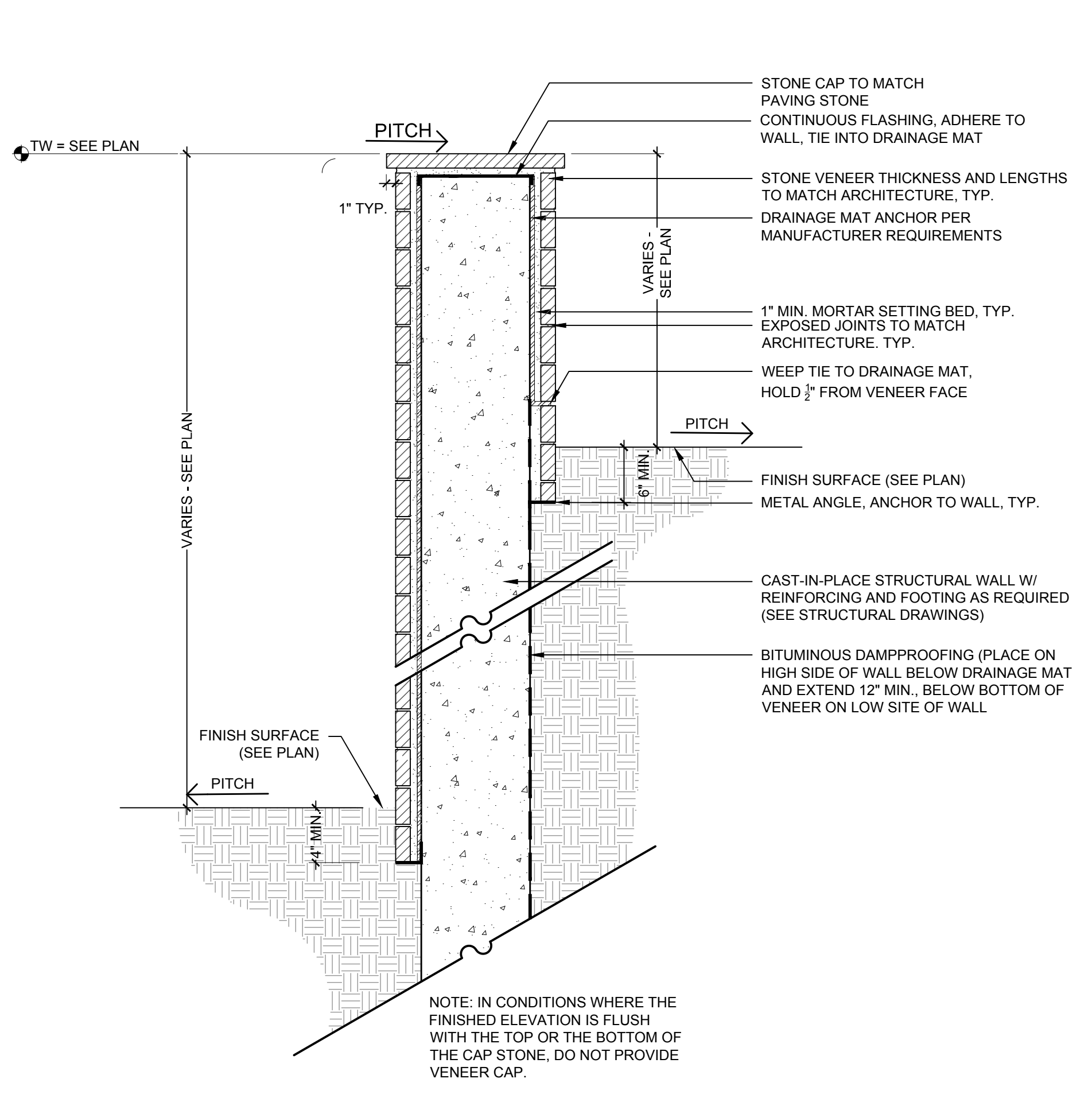
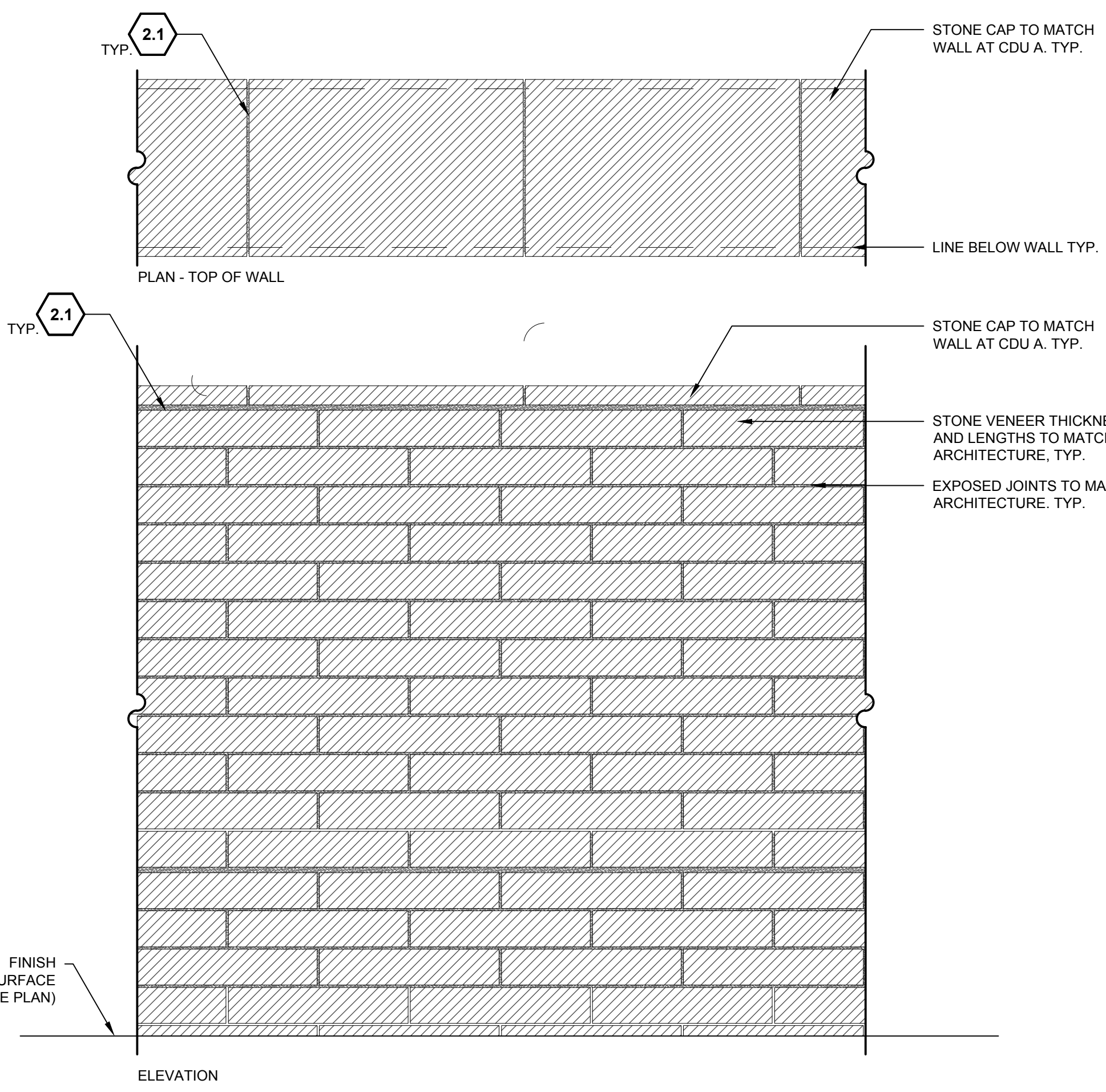
SITE DETAILS

SHEET NUMBER

L7-04

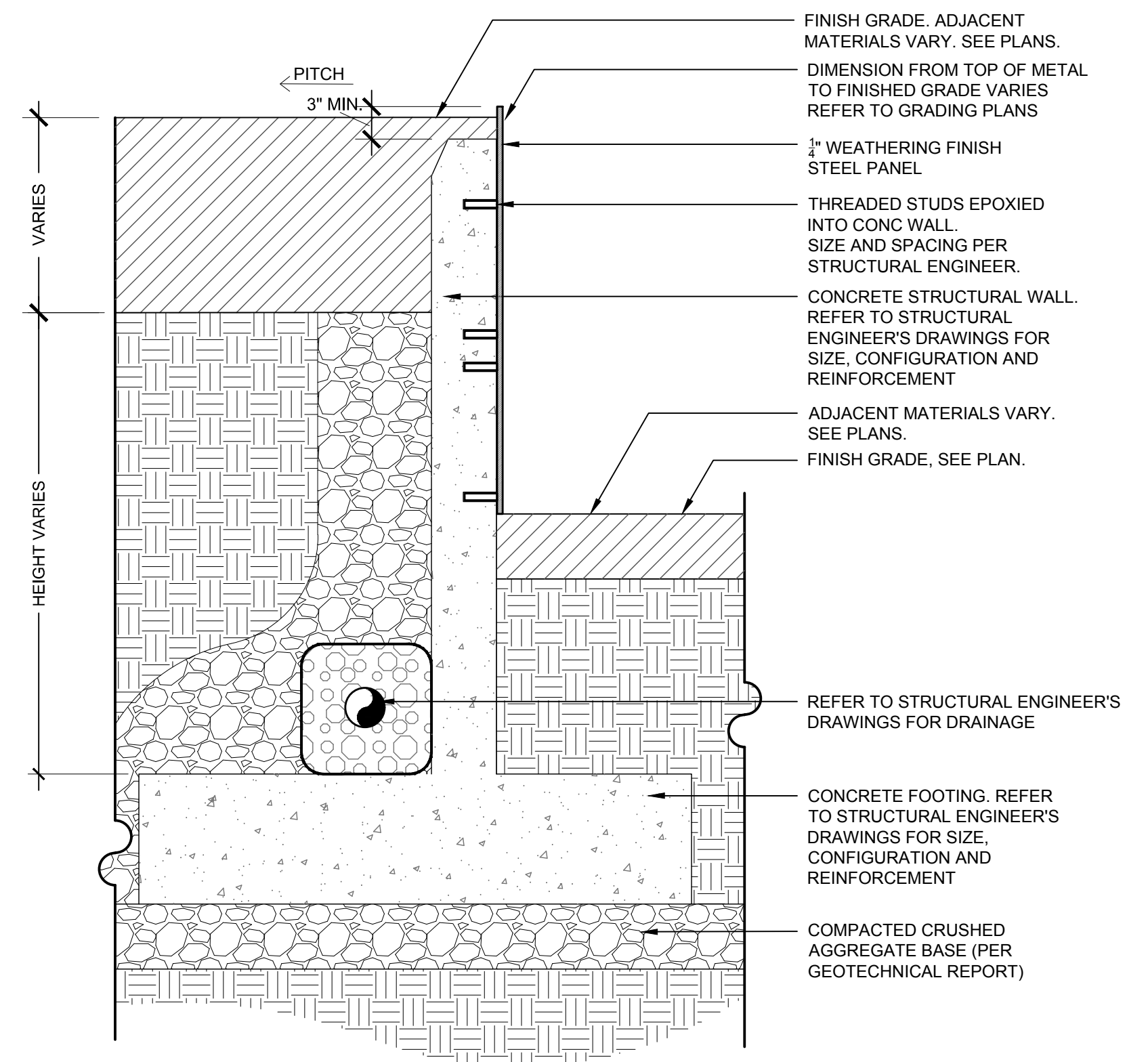
**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07



**1 STONE VENEER WALL**  
 1"=1'-0"

4.1



**2 STEEL WALL**  
 1"=1'-0"

4.2

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**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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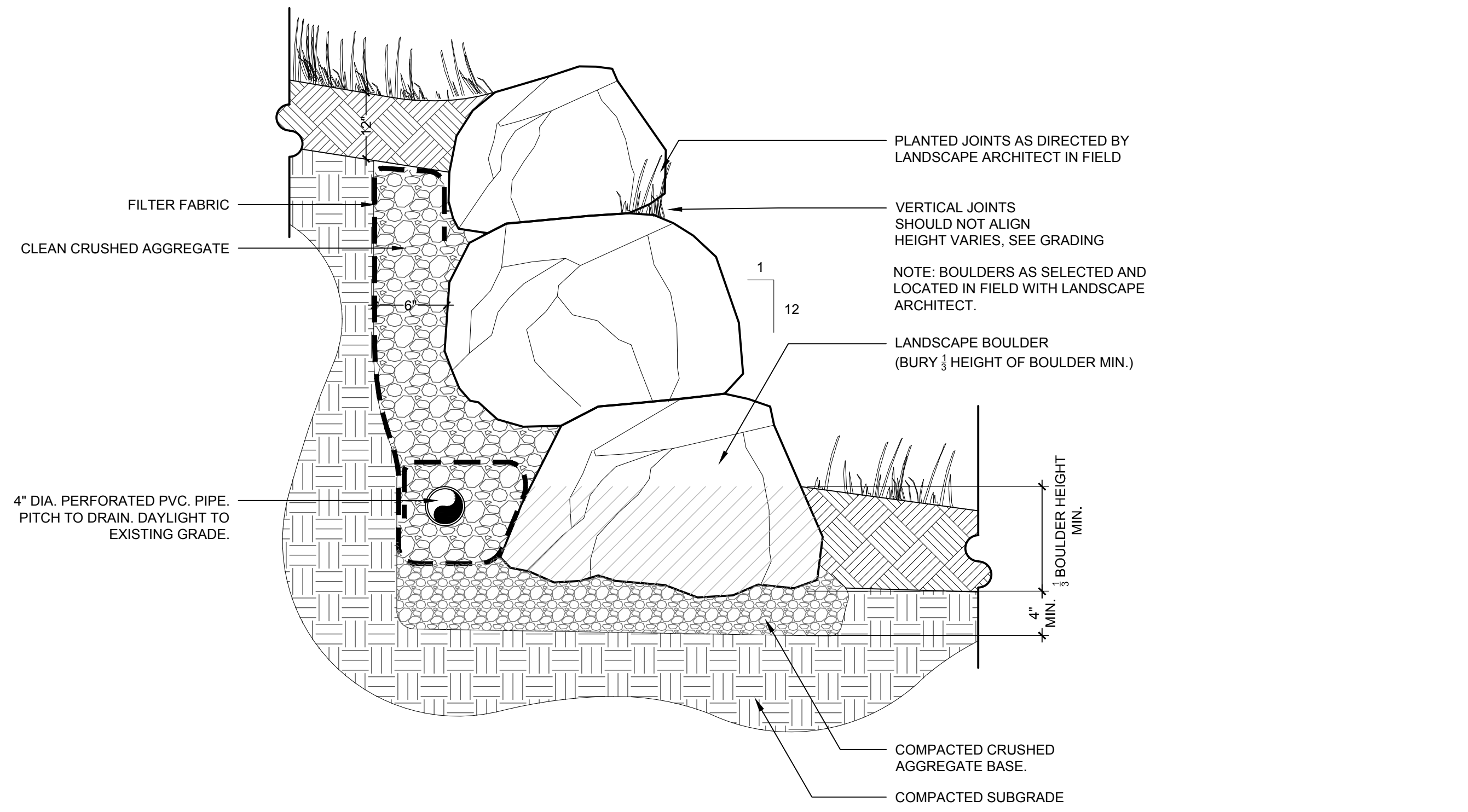
SITE DETAILS

SHEET NUMBER

L7-05

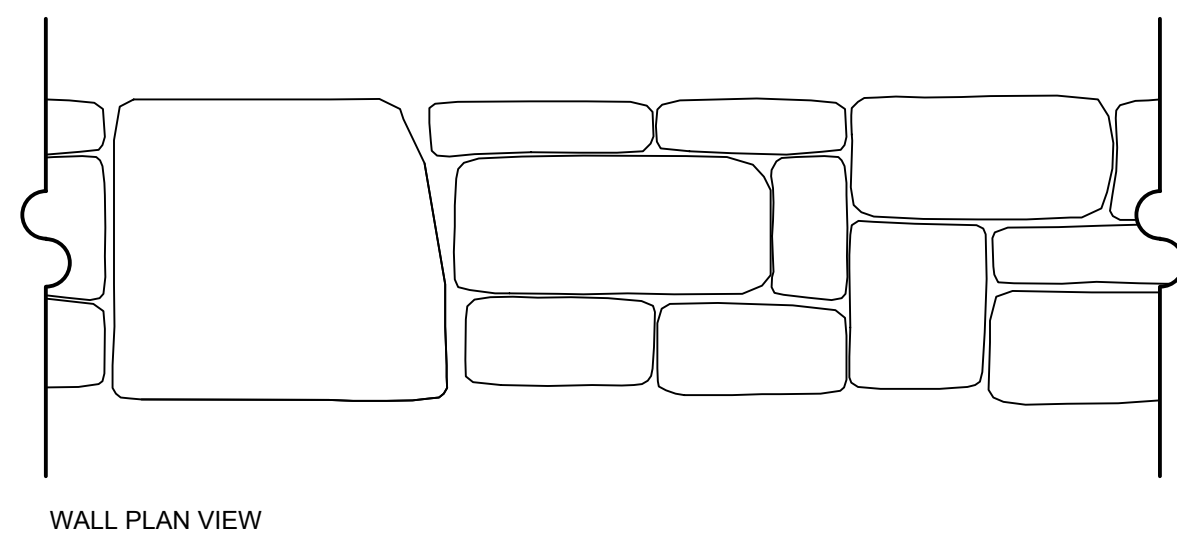
SITE KEYNOTES:

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07

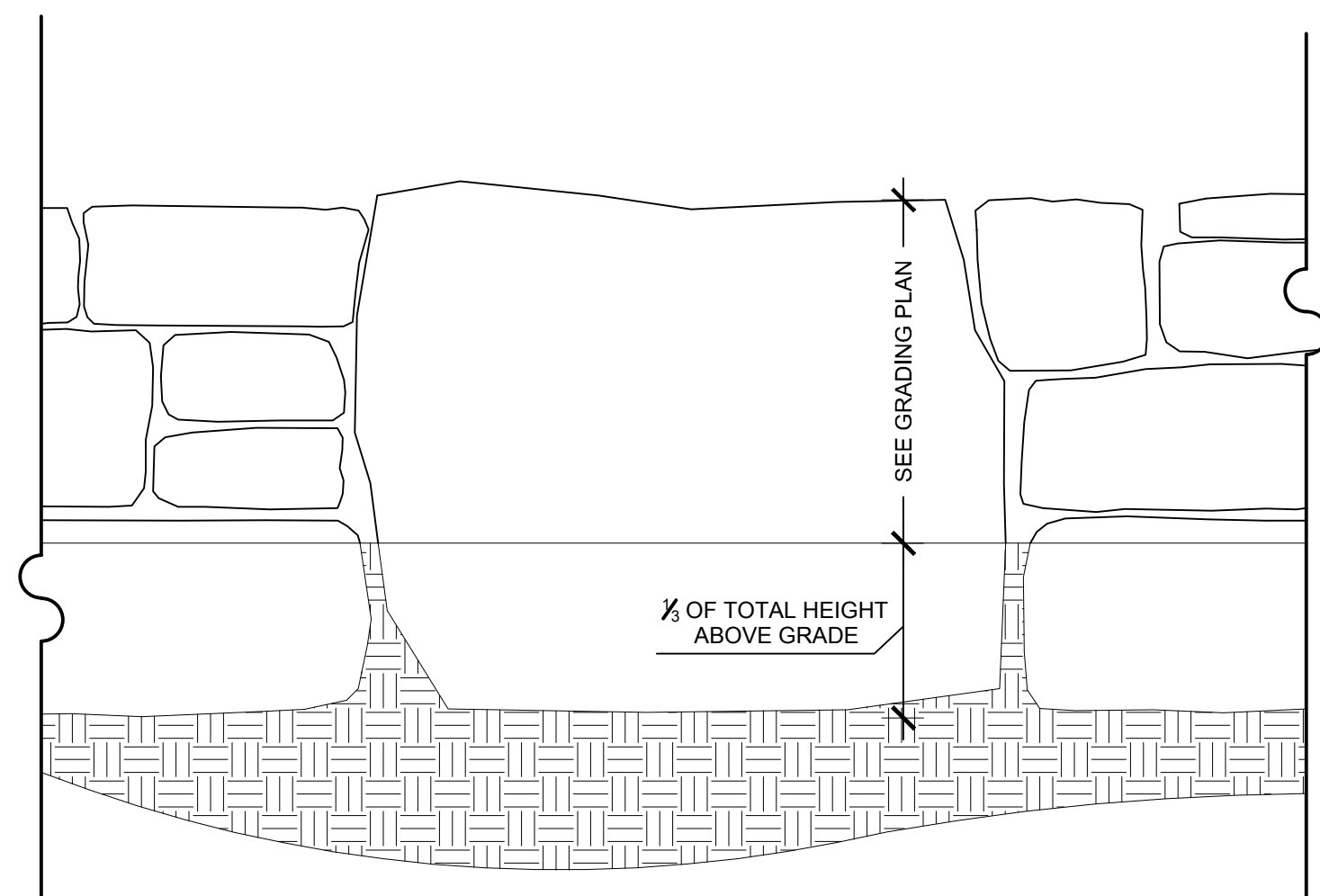


**1 BOULDER WALL**  
 1"=1'-0"

4.3

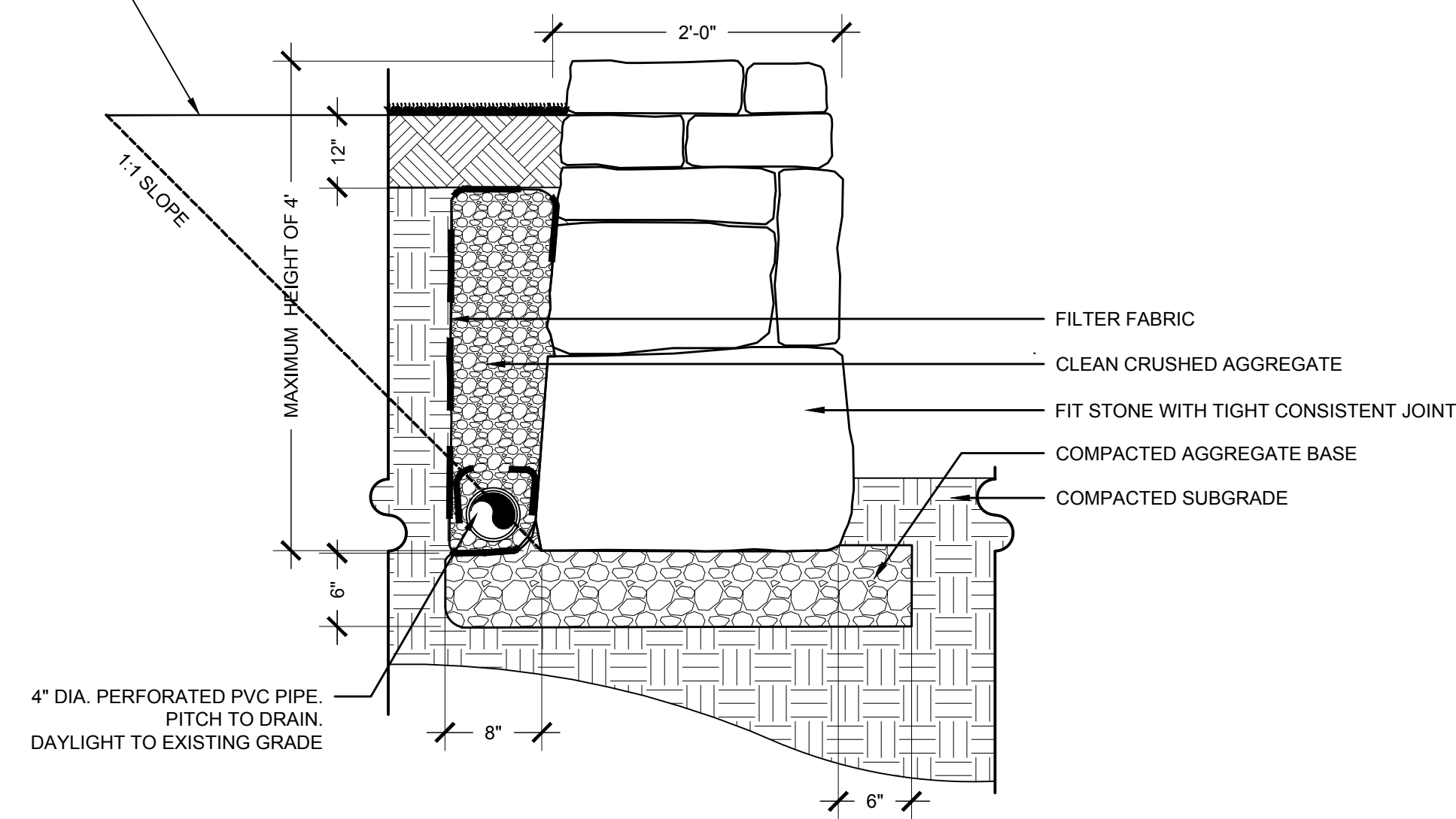


WALL PLAN VIEW



WALL ELEVATION ENLARGEMENT

GRADE BEHIND WALL TO BE FLAT (NO SURCHARGE ON WALL)



**2 DRY STACK WALL**  
 1"=1'-0"

4.4

**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

NOT FOR  
 CONSTRUCTION

ISSUE DATE: MAY 04, 2022

REVISIONS		
#	DATE	DESCRIPTION

DRAWN: JW, JP      REVIEWED: MA

100% DESIGN  
 DEVELOPMENT

PROJECT NUMBER: 6530

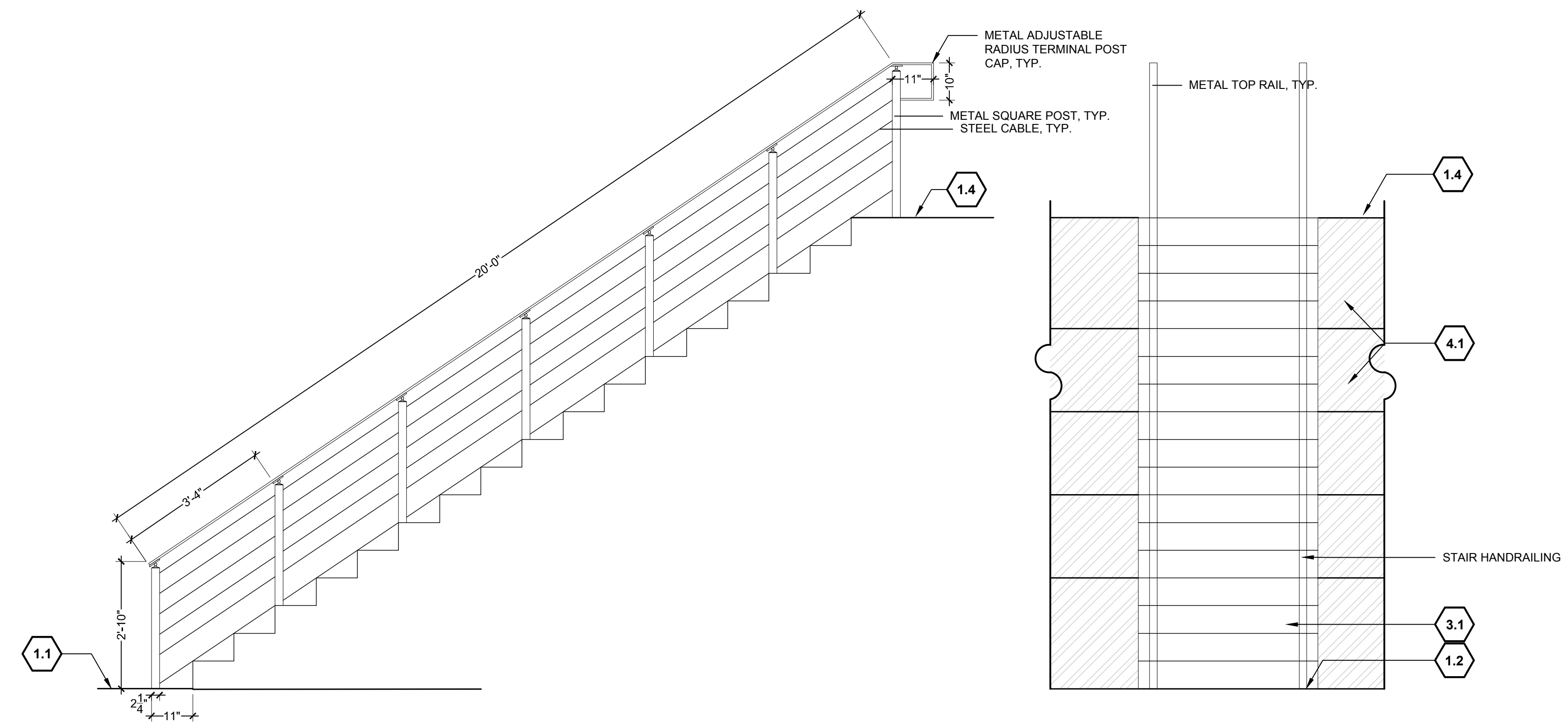
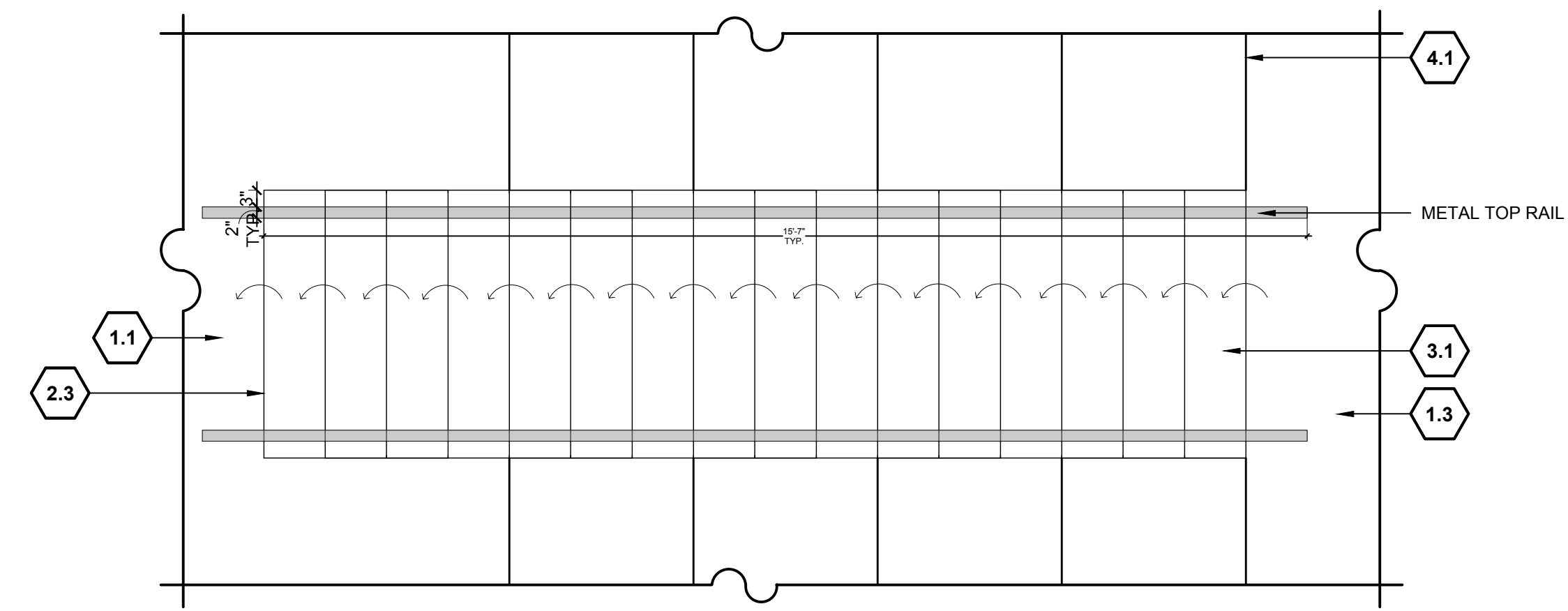
SITE  
 DETAILS

SHEET NUMBER

L7-06

**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06    1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07



**1 STAIR HANDRAILING**  
 1/2"=1'-0"

6.1

**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

NOT FOR  
CONSTRUCTION

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DRAWN: JW, JP      REVIEWED: MA

100% DESIGN  
DEVELOPMENT

PROJECT NUMBER: 6530

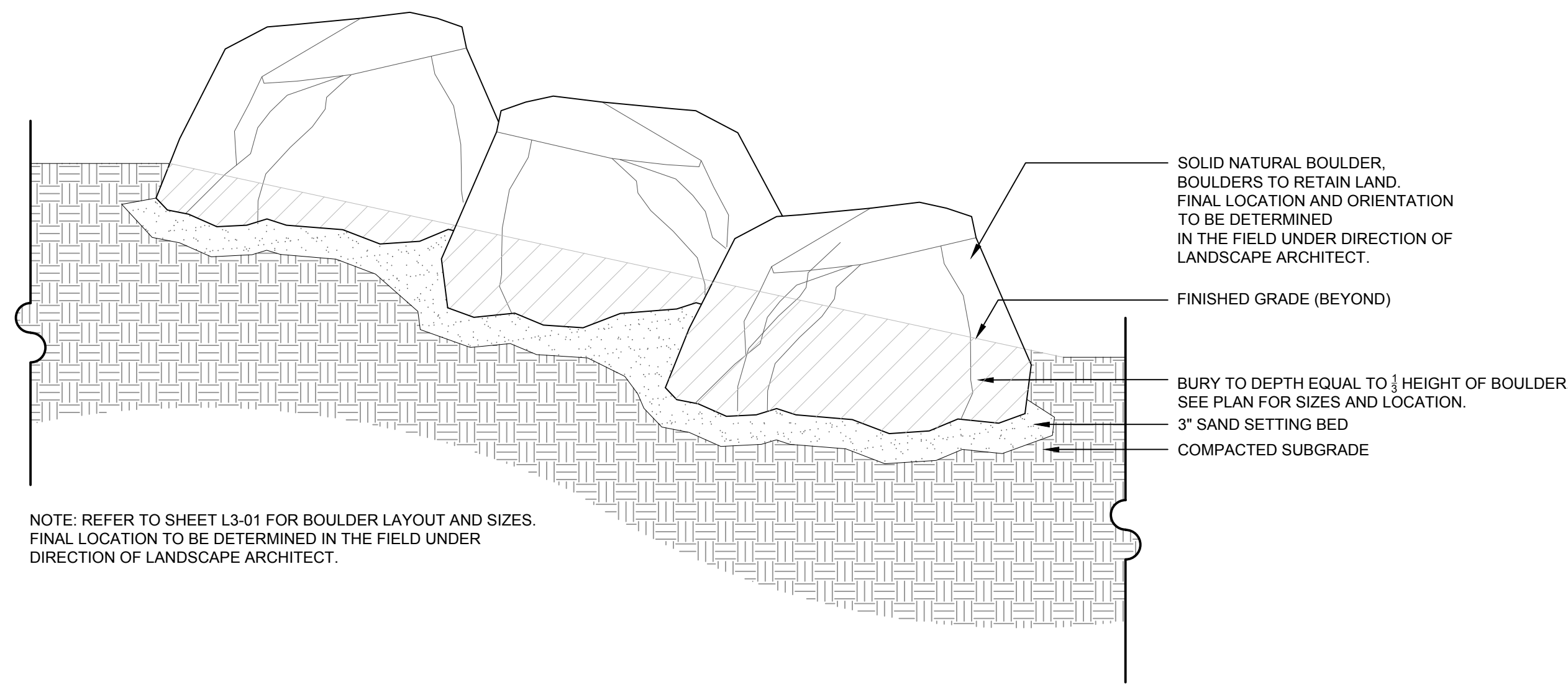
SITE  
DETAILS

SHEET NUMBER

L7-07

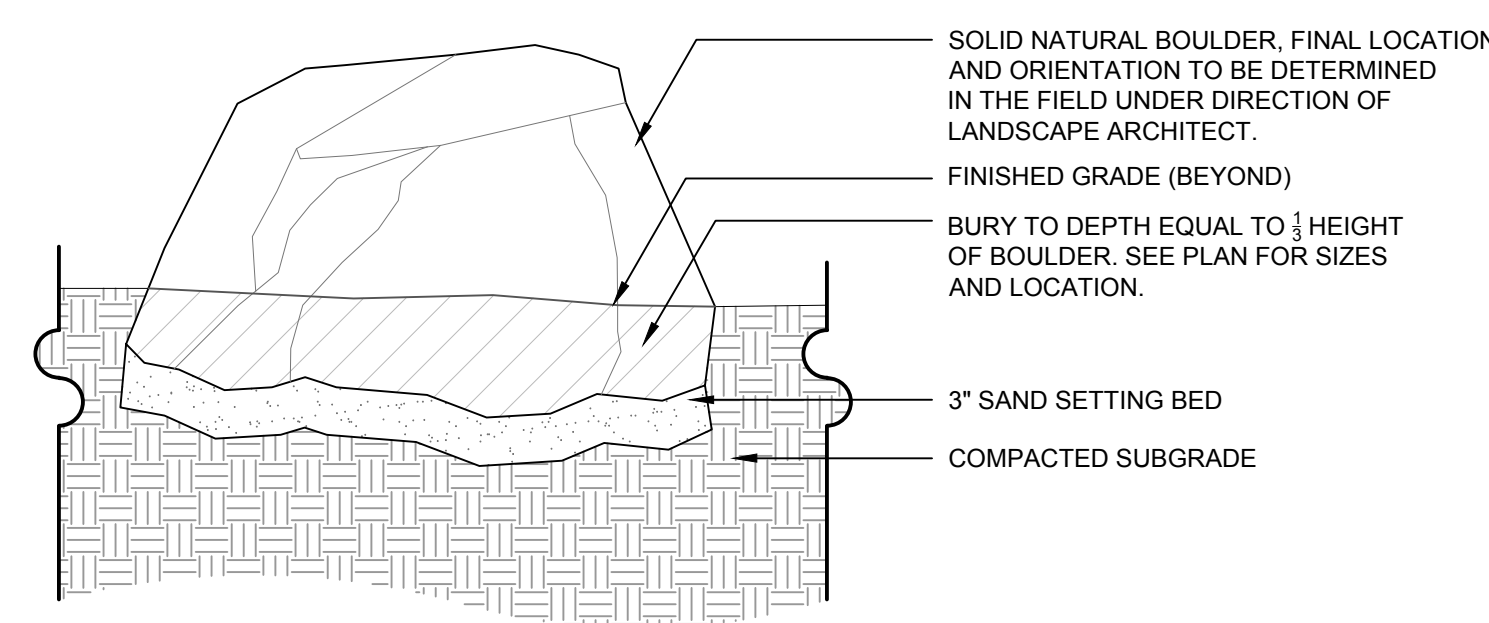
**SITE KEYNOTES:**

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1	Stone Paving Type 1 - Ped.	1 / L7-01	
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01	
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01	
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01	
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01	
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01	
1.7	Gravel - Ped	7 / L7-01	
<b>2.0 JOINTING</b>			
2.1	Mortar Joint	1 / L7-02	
2.2	Control Joint	2 / L7-02	
2.3	Expansion Joint	3 / L7-02	
2.4	Expansion Joint-Doweled	4 / L7-02	
<b>3.0 STEPS</b>			
3.1	Stone Steps Type 1	1 / L7-03	
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03	
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1	Stone Veneer Wall	1 / L7-04	
4.2	Steel Wall	2 / L7-04	
4.3	Boulder Wall	1 / L7-05	
4.4	Dry Stack Wall	2 / L7-05	
<b>5.0 SITE FURNITURE</b>			
<i>Not used at this time.</i>			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1	Stair Hand Railing	1 / L7-06	1 / L7-03
<b>7.0 SITE LIGHTING</b>			
<i>Not used at this time.</i>			
<b>8.0 DRAINAGE</b>			
<i>See Civil's Drawings</i>			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1	Landscape Boulder	1 / L7-07	
10.1a	Landscape Boulder on a Slope	1 / L7-07	
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07	



**LANDSCAPE BOULDER A**

10.1A

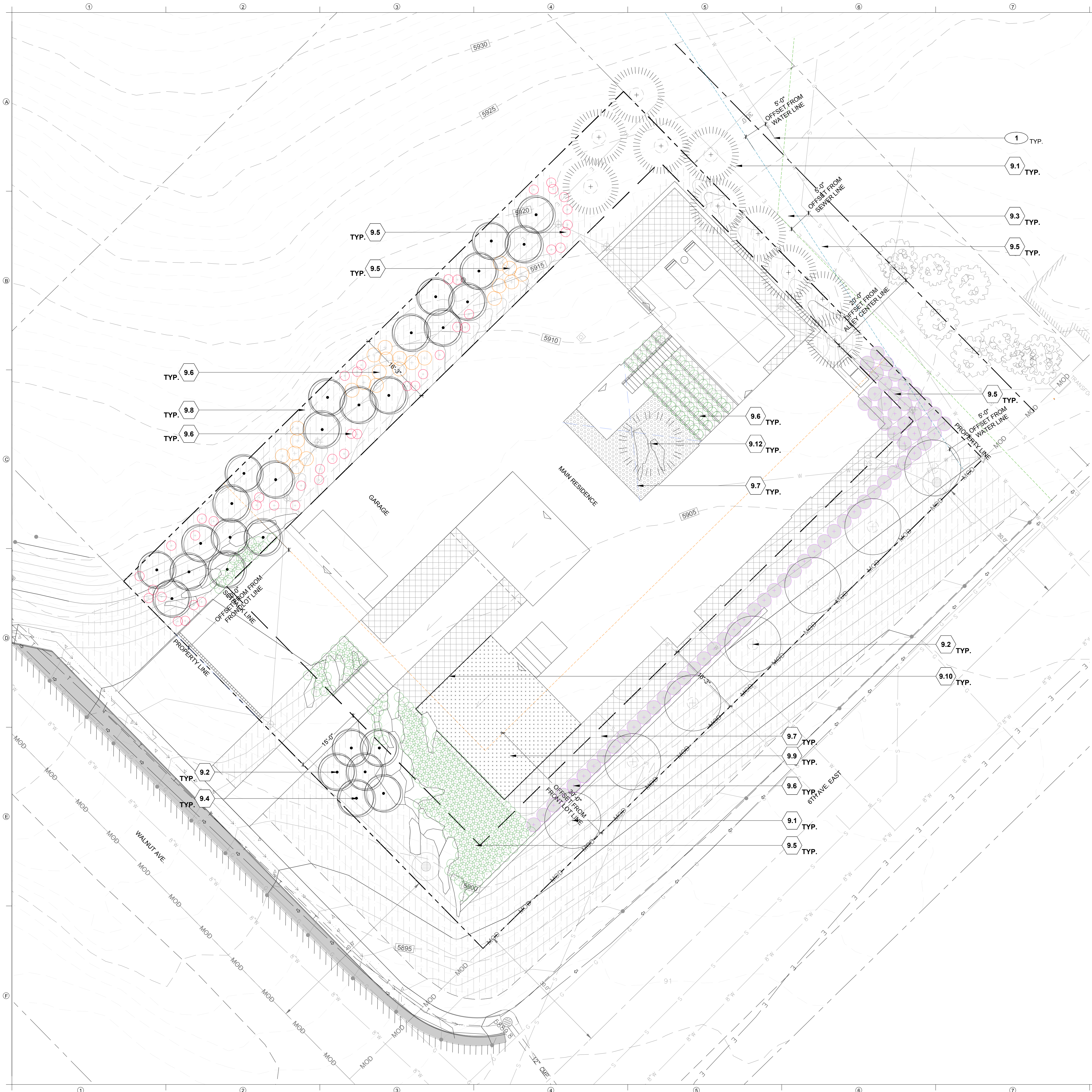


**LANDSCAPE BOULDER B**

10.1B

**1 LANDSCAPE BOULDER**  
1"=1'-0"

10.1 10.1A 10.1B



**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
9.0	PLANTING AND LANDSCAPE	
9.1	Deciduous Tree Planting on Slope	1 / L9-01 ----- 329300
9.2	Deciduous Tree Planting	2 / L9-01 ----- 329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01 ----- 329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01 ----- 329300
9.5	Shrub Planting on Slope	1 / L9-02 ----- 329300
9.6	Shrub Planting	2 / L9-02 ----- 329300
9.7	Perennial and Groundcover Planting	3 / L9-02 ----- 329300
9.8	Native Seeding	4 / L9-02 ----- 329200
9.9	Lawn Turf	5 / L9-02 ----- 329200
9.10	Metal Edging	1 / L9-03 ----- 329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03 ----- 329200
9.12	Coniferous Tree Planting	3 / L9-03 ----- 329200

**PLANTING REFERENCE NOTES**

- 1 Existing site utilities, see sheet L0-04 for linetype.
- 2 Existing tree to remain in place. Do not disturb.

**PLANT LIST**

SYMBOL/ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	TYPE
<b>CONIFEROUS TREES</b>				
	1	<i>Pinus parviflora</i>	Japanese White Pine	B&B
	3	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	3	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	1	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	1	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
Proposed coniferous caliper total = 39" (Note for trees up to 20' ht., 3 caliper inches per tree is used in calculation. For trees 20' and above in height, 9 caliper inches is used per tree in the calculation.)				
<b>DECIDUOUS TREES</b>				
	6	<i>Populus tremuloides</i>	Quaking Aspen (Single-Stem)	B&B
	9	<i>Populus tremuloides</i>	Quaking Aspen (Single-Stem)	B&B
	7	<i>Populus tremuloides</i>	Quaking Aspen (Multi-Stem)	B&B
	9	<i>Populus tremuloides</i>	Quaking Aspen (Multi-Stem)	B&B
	7	<i>Malus Radiant</i>	Radiant Crabapple	B&B
Proposed deciduous total caliper inches = 139" (Note: For multi-stem trees, only one trunk is included in calculations.)				
<b>SHRUBS</b>				
	22	<i>Pinus mugo</i> var. <i>rostrata</i>	Rostrata Mugo Pine	B&B
	23	<i>Amelanchier alnifolia</i>	Western Serviceberry	B&B
	70	<i>Cotoneaster acutifolia</i>	Peking Cotoneaster	B&B
	373	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	Container
	61	<i>Artemisia tridentata</i>	Western Sagebrush	Container
<b>PERENNIALS &amp; GROUNDCOVERS</b>				
	770	<i>Achillea millefolium</i>	Yarrow	Container
	770	<i>Penstemon eatonii</i>	Firecracker Penstemon	Container
	770	<i>Penstemon fruticosus</i>	Shrubby Penstemon	Container
	770	<i>Oenothera macrocarpa</i> ssp. <i>Fremonti</i> 'shimmer'	Fremont's Evening Primrose	Container
	770	<i>Sphaeralcea murroana</i>	Orange Globe Marrow	Container
	400	<i>Sedum spurium</i> 'Dragon's Blood'	Dragon's Blood Sedum	Container
	1,307	<i>Vinca minor</i>	Common Periwinkle	Container
<b>TURF AND GRASSES</b>				
	637 SF	No Mow Fescue		
		<i>Festuca rubra</i>	Red Fescue	
		<i>Festuca rubra commutata</i>	Chewings Fescue	
		<i>Festuca ovina</i>	Sheep Fescue	
	7,385 SF	Native Revegetation		
		<i>Bromus carinatus</i>	Mountain Brome	
		<i>Festuca ovina distachyoides</i>	Hard Fescue	
		<i>Pseudoroegneria spicata</i>	Blue Bunch Wheatgrass	

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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

**NOT FOR CONSTRUCTION**

ISSUE DATE: MAY 04, 2022

REVISIONS #	DATE	DESCRIPTION

DRAWN: JW, JP    REVIEWED: MA

**100% DESIGN DEVELOPMENT**

PROJECT NUMBER: 6530

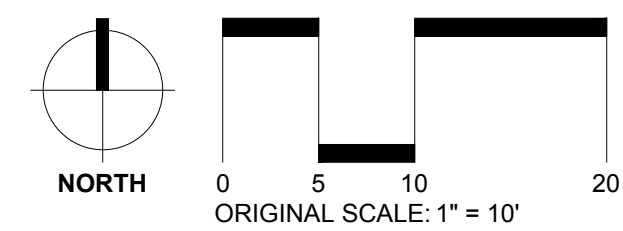
**SITE PLANTING PLAN**

SHEET NUMBER

**L8-01**

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NOTE: PRINT PAGE IN COLOR



May 04, 2022 12:29pm  
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**McDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
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100% DESIGN DEVELOPMENT

PROJECT NUMBER: 6530

PLANTING DETAILS

SHEET NUMBER

L9-01

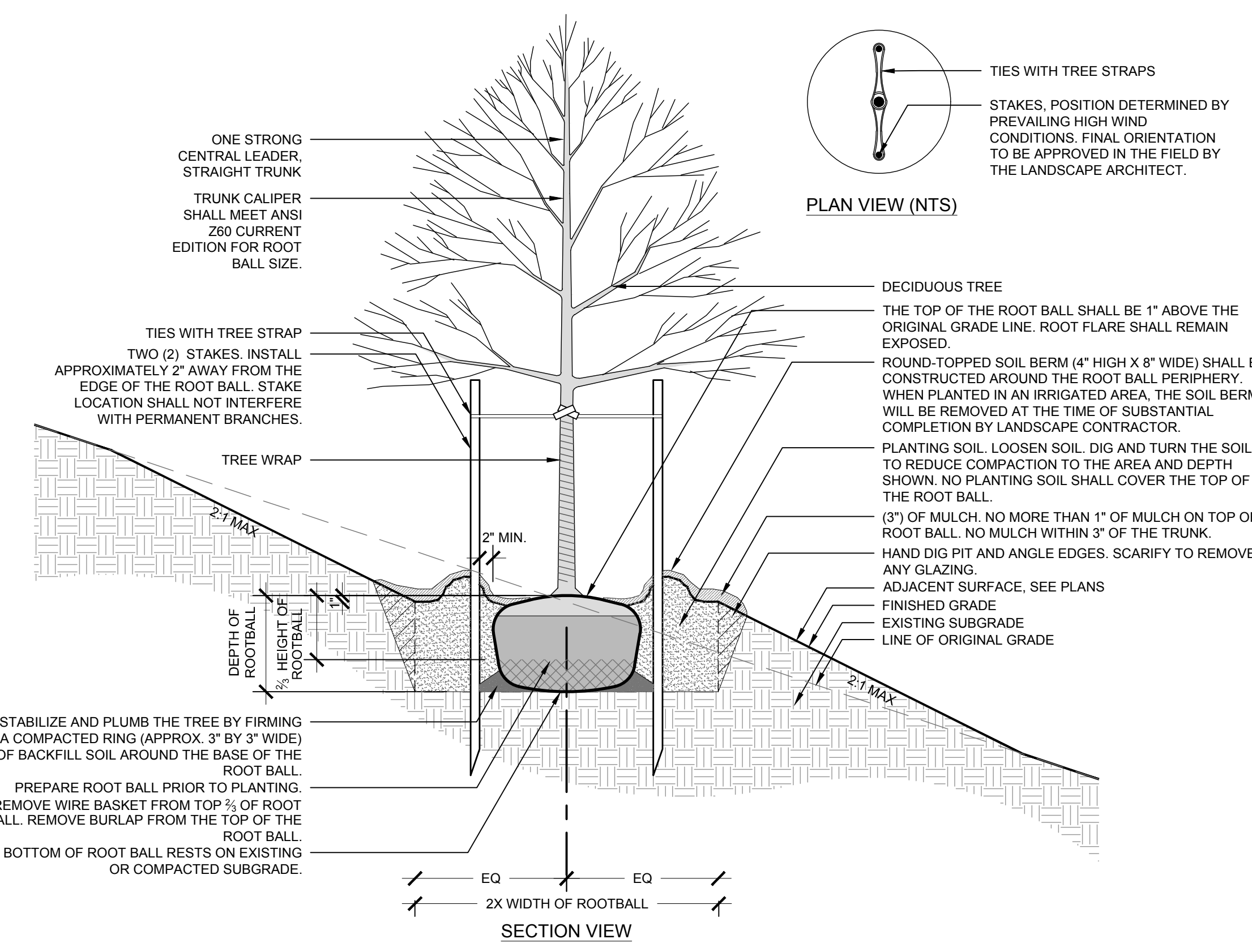
**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
9.0	PLANTING AND LANDSCAPE	
9.1	Deciduous Tree Planting on Slope	1 / L9-01 ----- 329300
9.2	Deciduous Tree Planting	2 / L9-01 ----- 329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01 ----- 329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01 ----- 329300
9.5	Shrub Planting on Slope	1 / L9-02 ----- 329300
9.6	Shrub Planting	2 / L9-02 ----- 329300
9.7	Perennial and Groundcover Planting	3 / L9-02 ----- 329300
9.8	Native Seeding	4 / L9-02 ----- 329200
9.9	Lawn Turf	5 / L9-02 ----- 329200
9.10	Metal Edging	1 / L9-03 ----- 329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03 ----- 329200
9.12	Coniferous Tree Planting	3 / L9-03 ----- 329200

**11.0 PLANT PROTECTION**

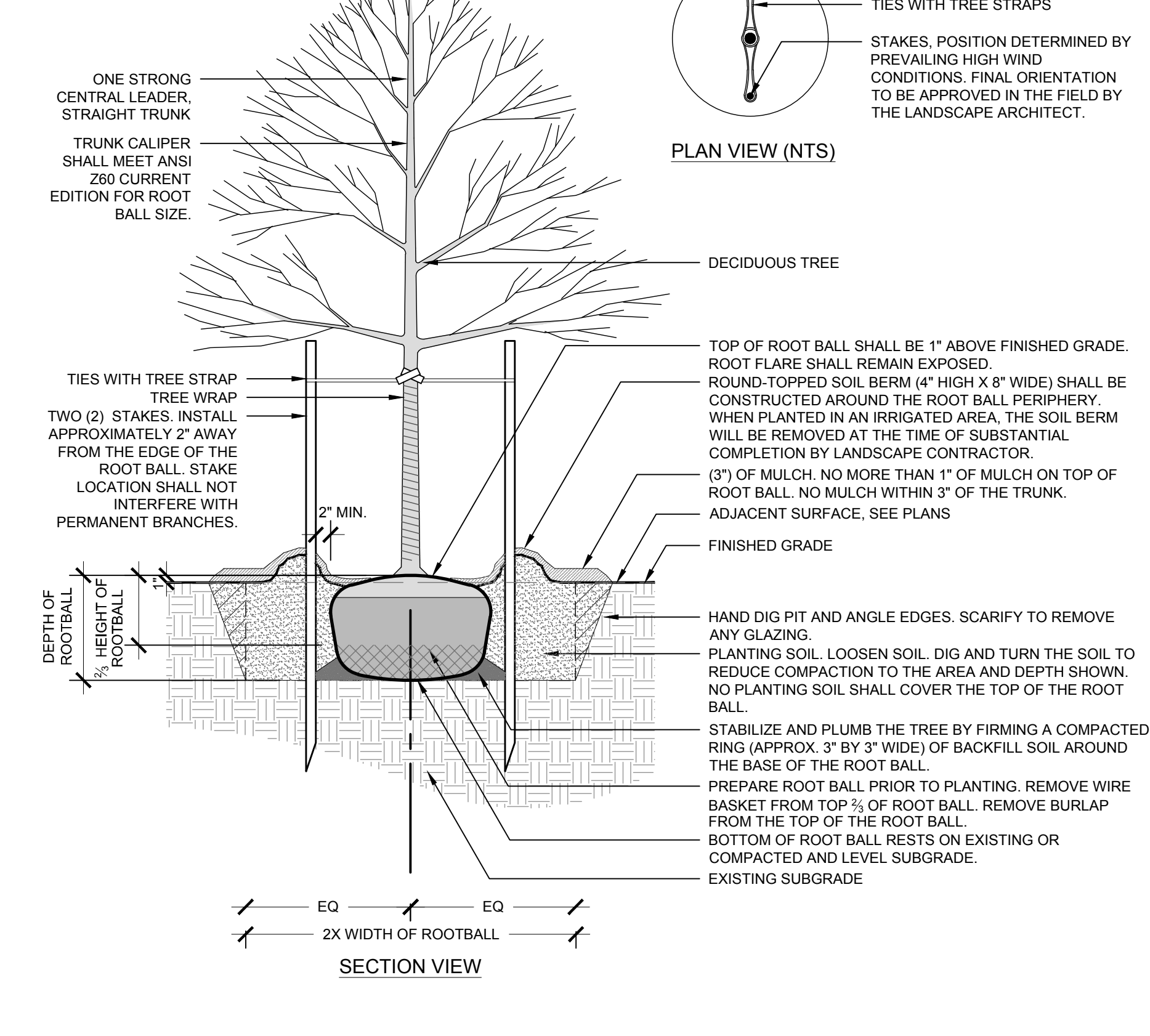
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9.1



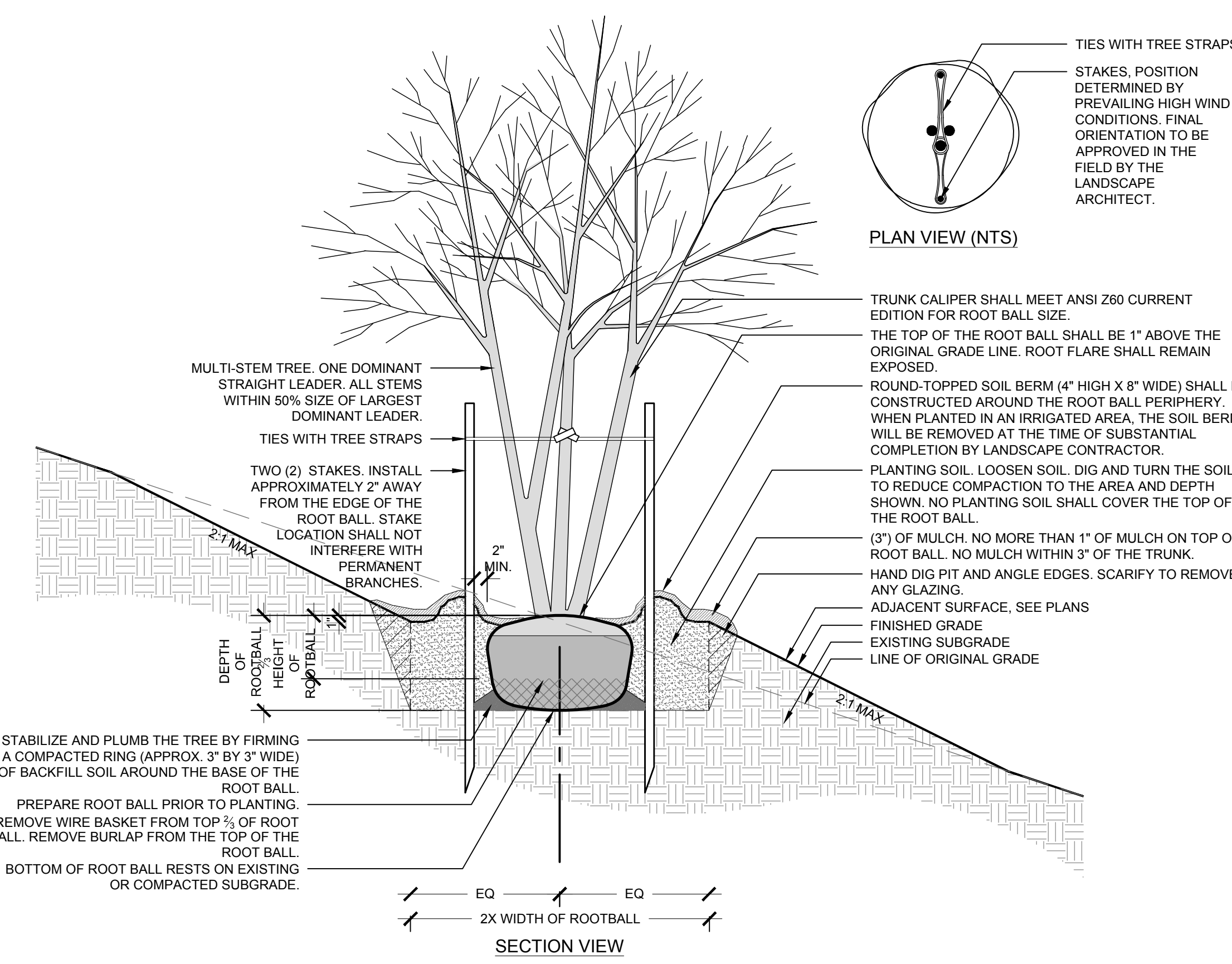
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NOT TO SCALE

9.2



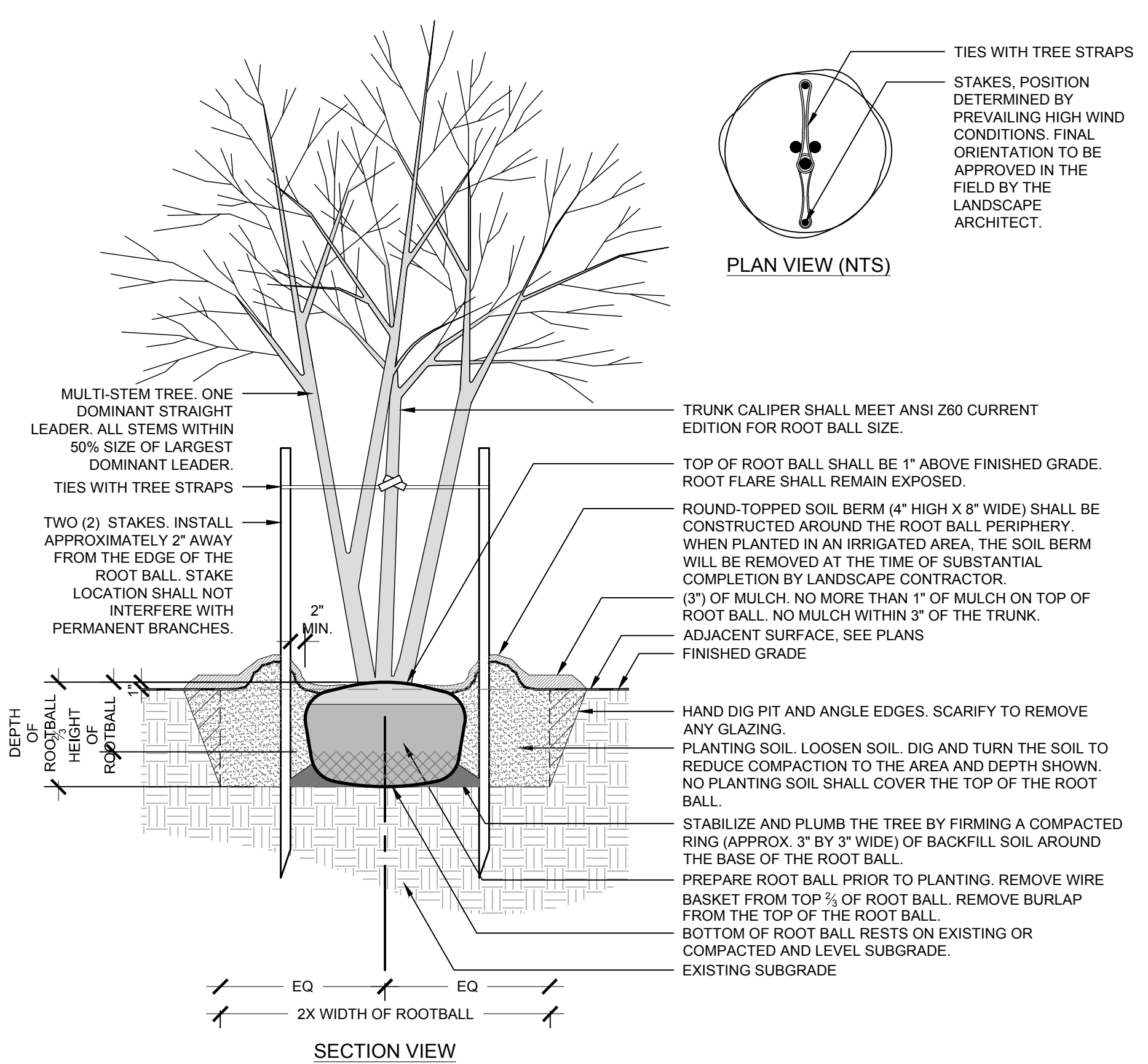
**2 DECIDUOUS TREE PLANTING**  
NOT TO SCALE

9.3



**3 DECIDUOUS MULTI-STEM PLANTING ON SLOPE**  
NOT TO SCALE

9.4



**4 DECIDUOUS MULTI-STEM PLANTING**  
NOT TO SCALE

**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
<b>9.0 PLANTING AND LANDSCAPE</b>		
9.1	Deciduous Tree Planting on Slope	1 / L9-01 ----- 329300
9.2	Deciduous Tree Planting	2 / L9-01 ----- 329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01 ----- 329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01 ----- 329300
9.5	Shrub Planting on Slope	1 / L9-02 ----- 329300
9.6	Shrub Planting	2 / L9-02 ----- 329300
9.7	Perennial and Groundcover Planting	3 / L9-02 ----- 329300
9.8	Native Seeding	4 / L9-02 ----- 329200
9.9	Lawn Turf	5 / L9-02 ----- 329200
9.10	Metal Edging	1 / L9-03 ----- 329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03 ----- 329200
9.12	Coniferous Tree Planting	3 / L9-03 ----- 329200

**11.0 PLANT PROTECTION**

11.1	Tree Protection Fence	4 / L9-03 ----- 015639
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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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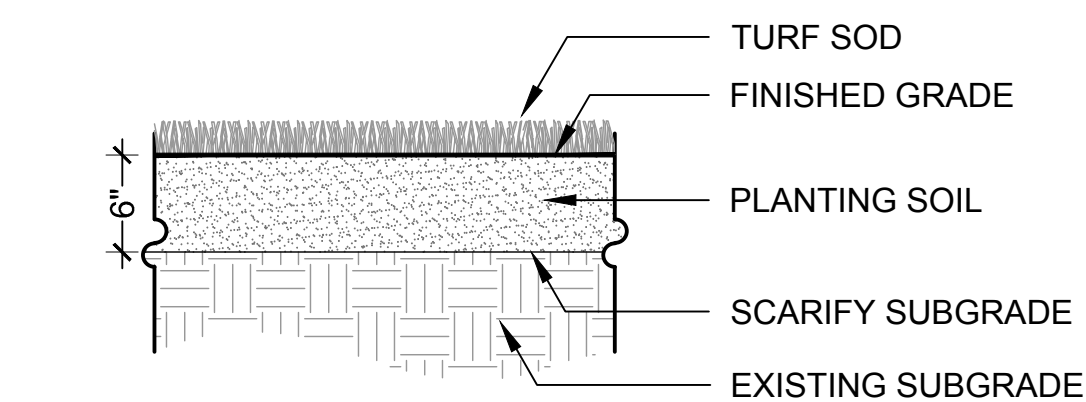
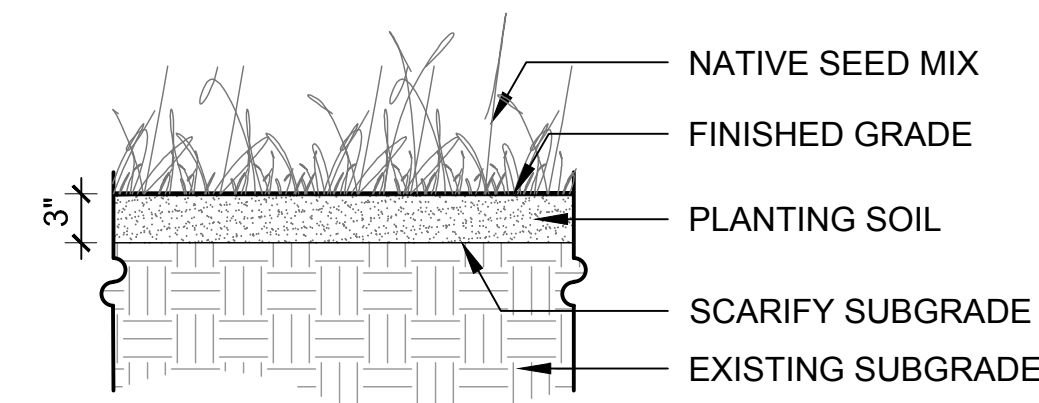
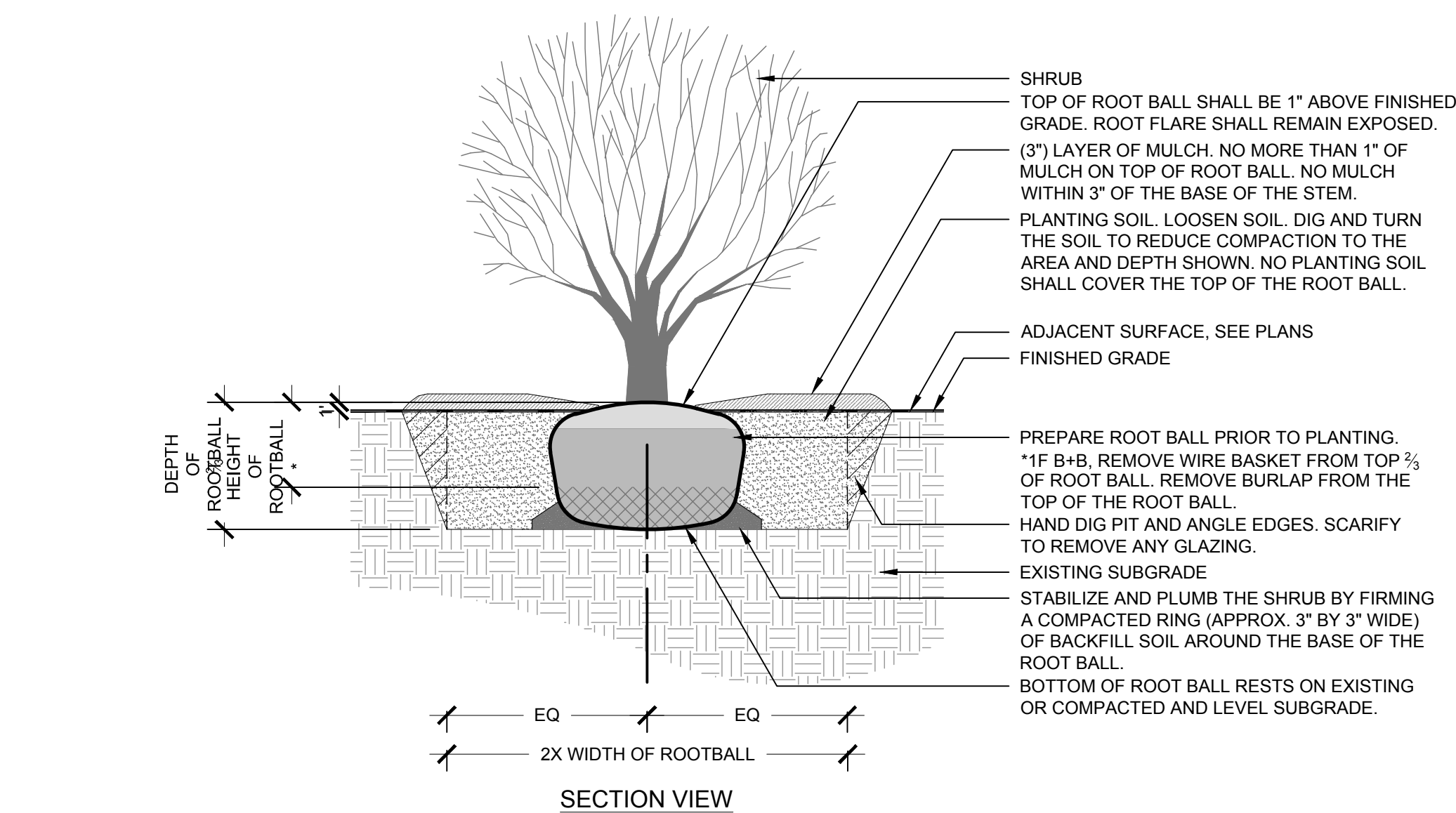
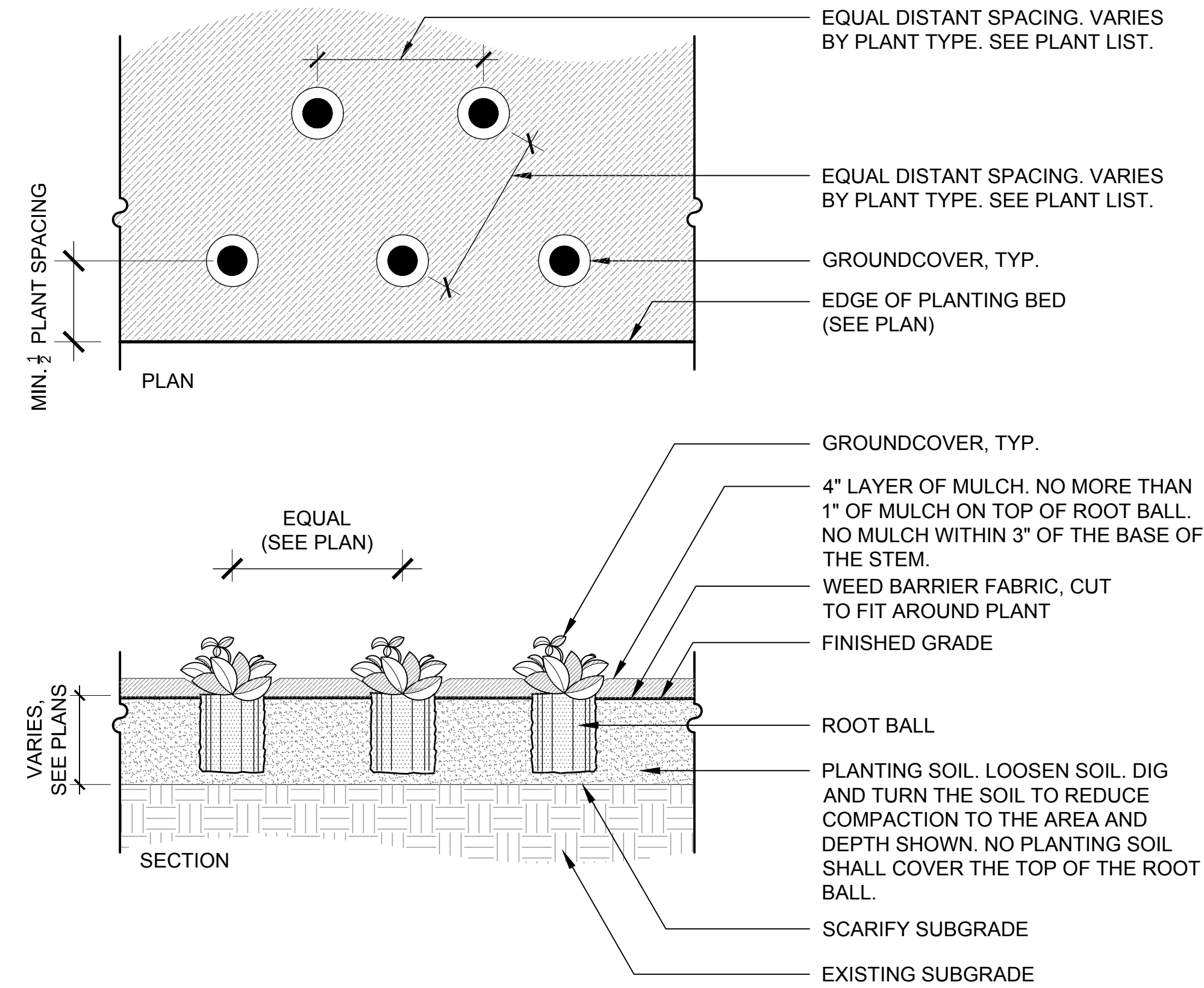
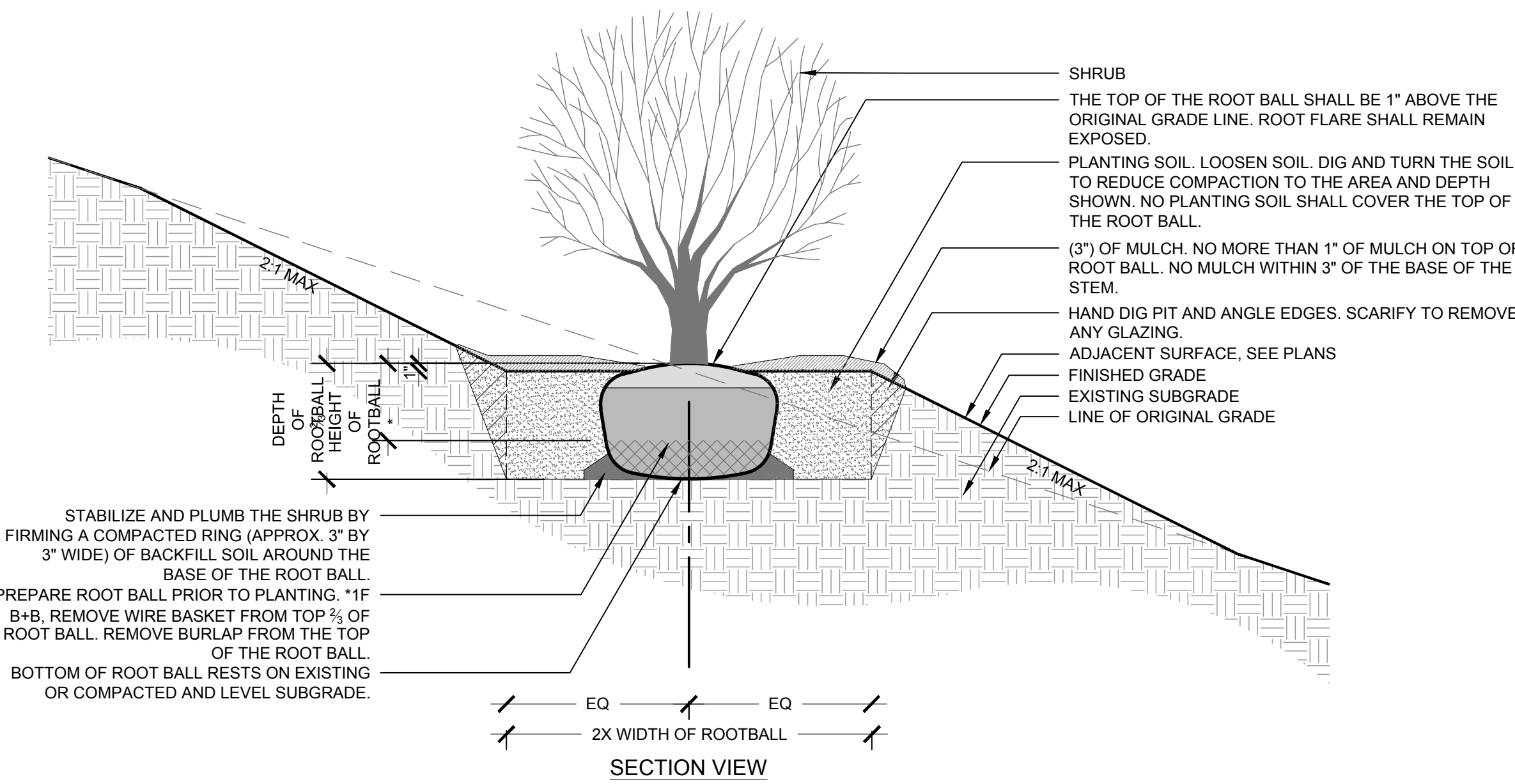
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PROJECT NUMBER: 6530

**PLANTING DETAILS**

SHEET NUMBER

**L9-02**



**SITE KEYNOTES:**

**9.0 PLANTING AND LANDSCAPE**

DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
9.1	Deciduous Tree Planting on Slope	1 / L9-01 ..... 329300
9.2	Deciduous Tree Planting	2 / L9-01 ..... 329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01 ..... 329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01 ..... 329300
9.5	Shrub Planting on Slope	1 / L9-02 ..... 329300
9.6	Shrub Planting	2 / L9-02 ..... 329300
9.7	Perennial and Groundcover Planting	3 / L9-02 ..... 329300
9.8	Native Seeding	4 / L9-02 ..... 329200
9.9	Lawn Turf	5 / L9-02 ..... 329200
9.10	Metal Edging	1 / L9-03 ..... 329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03 ..... 329200
9.12	Coniferous Tree Planting	3 / L9-03 ..... 329200

**11.0 PLANT PROTECTION**

11.1	Tree Protection Fence	4 / L9-03 ..... 015639
------	-----------------------	------------------------

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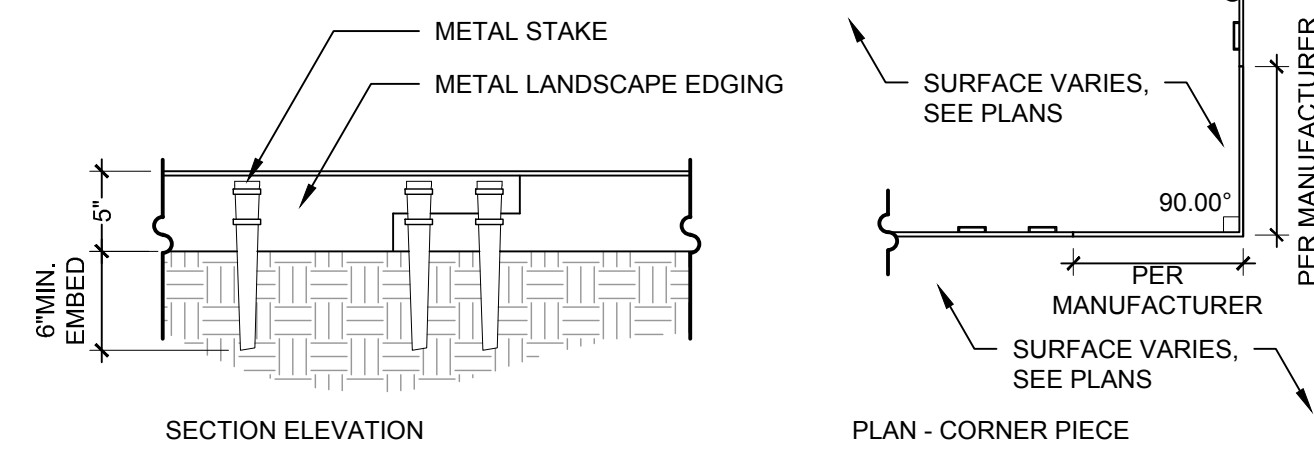
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**PLANTING DETAILS**

SHEET NUMBER

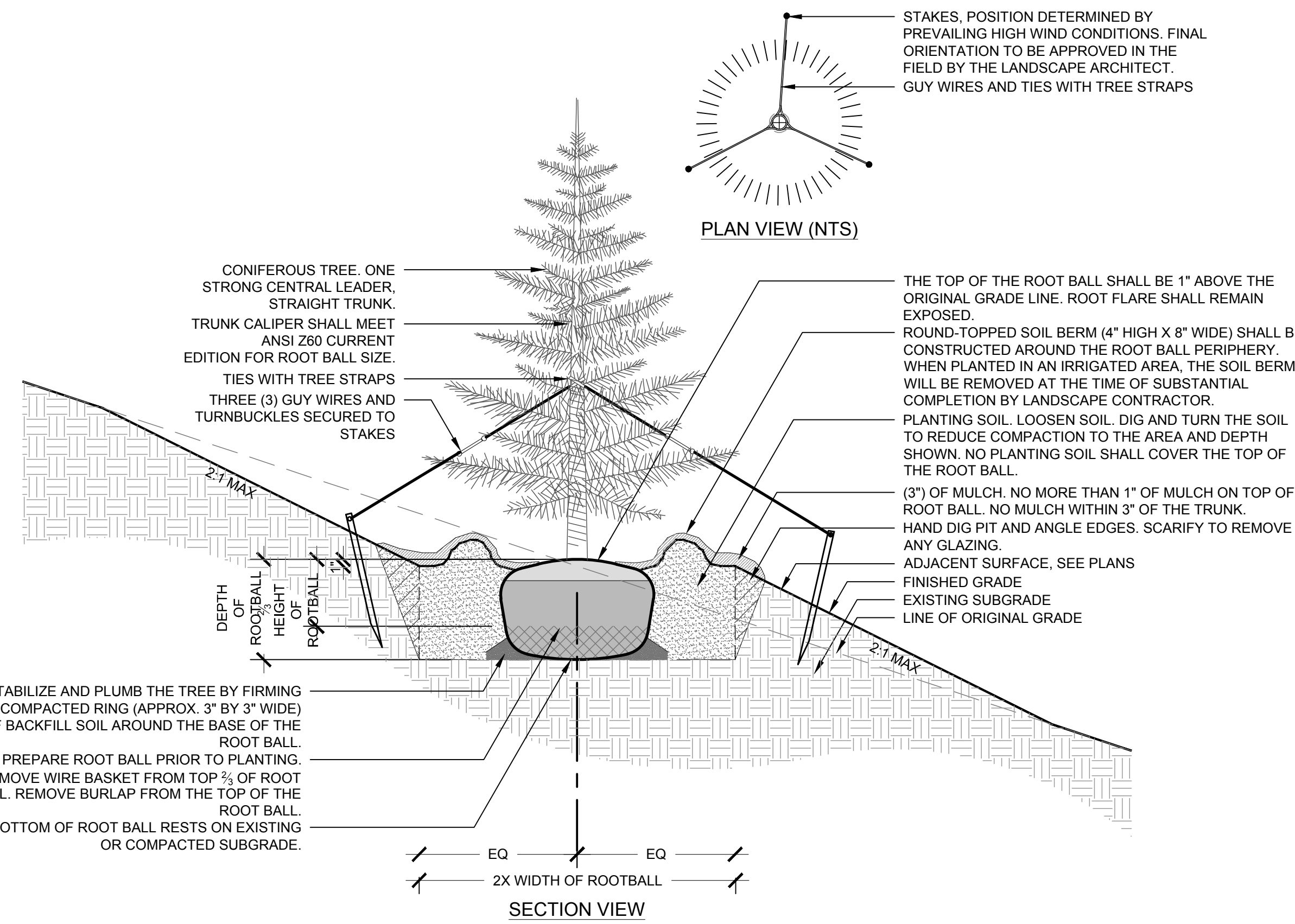
**L9-03**

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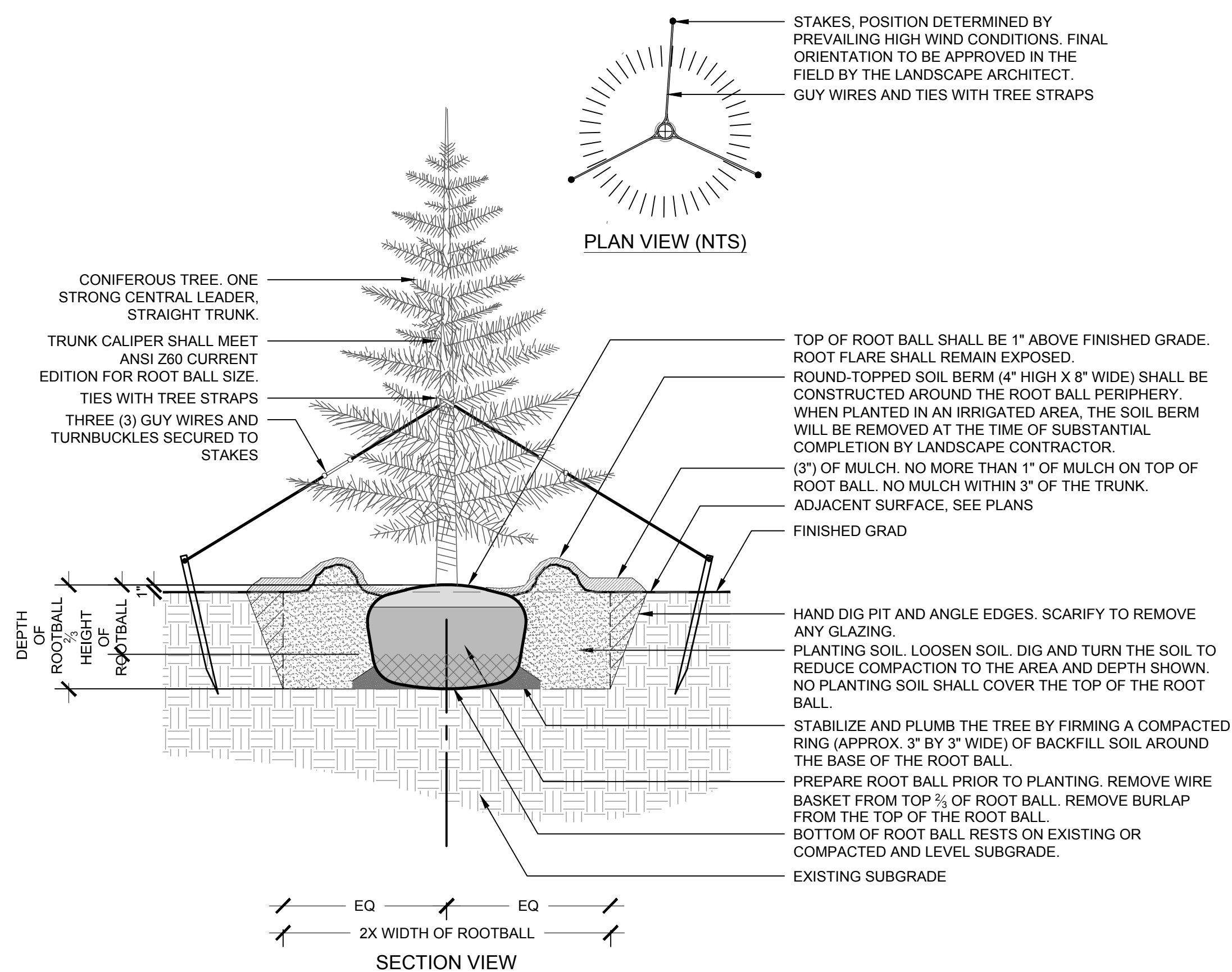
**1 METAL EDGING**  
NOT TO SCALE

9.10



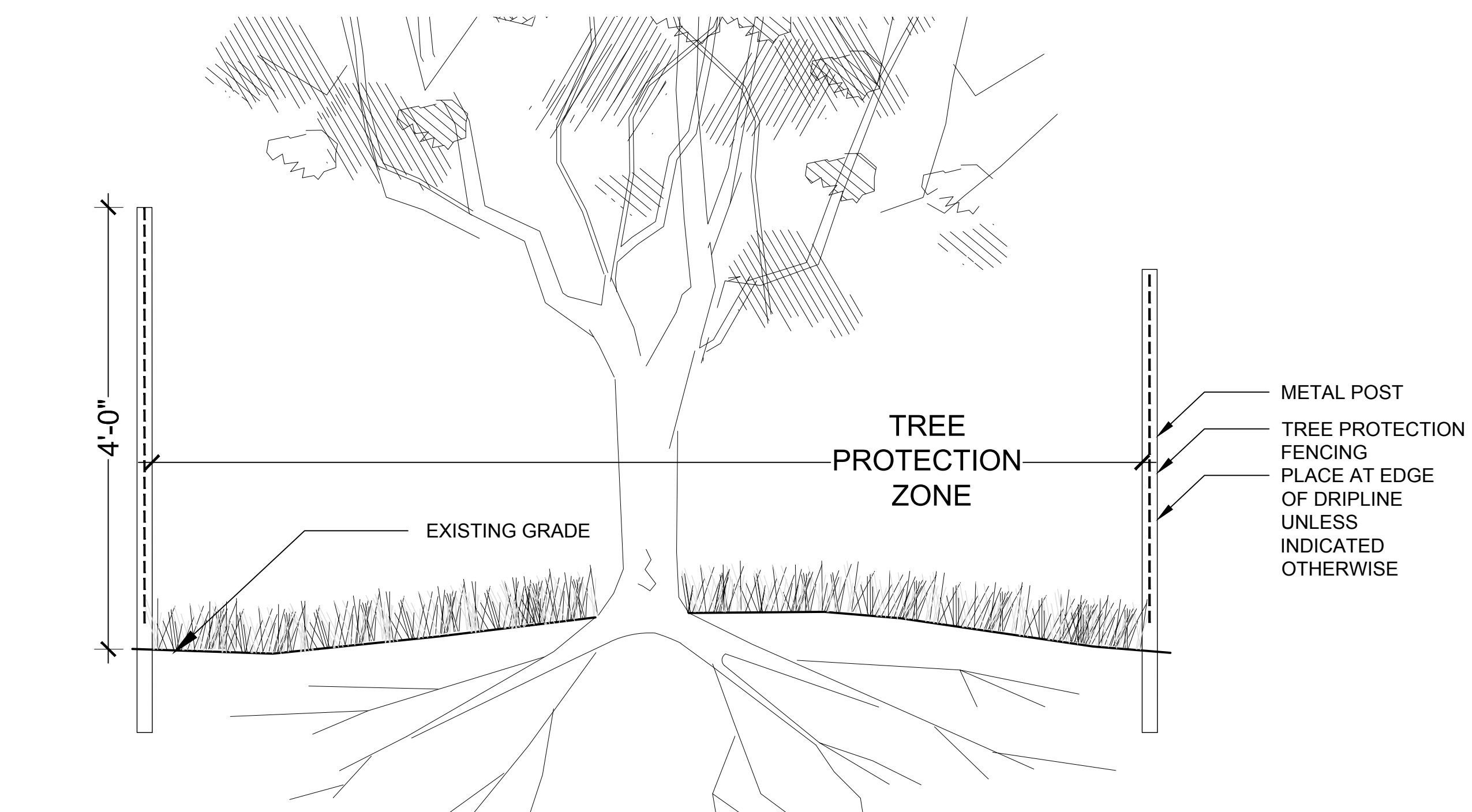
**2 CONIFEROUS TREE PLANTING ON SLOPE**  
NOT TO SCALE

9.11



**3 CONIFEROUS TREE PLANTING**  
NOT TO SCALE

9.12



**4 TREE PROTECTION FENCE**  
NOT TO SCALE

11.1

**IRRIGATION LEGEND AND SCHEDULE**

**SLEEVES: CLASS 200 PVC**

**POINT-OF-CONNECTION**

**MAINLINE PIPE: CLASS 200 PVC**  
1 1/4-INCH SIZE UNLESS OTHERWISE INDICATED

**LATERAL PIPE: CLASS 200 PVC**  
1-INCH SIZE UNLESS OTHERWISE INDICATED

**POLYETHYLENE DRIP PIPE TO TREES: UV RADIATION RESISTANT**  
3/4-INCH UNLESS OTHERWISE INDICATED, 30 PSI REQUIRED

**POLYETHYLENE DRIP PIPE: UV RADIATION RESISTANT**  
3/4-INCH UNLESS OTHERWISE INDICATED, 30 PSI REQUIRED

**REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER**  
LATERALS: RAIN BIRD PEB (SEE PLAN FOR SIZES)

**REMOTE CONTROL DRIP VALVE ASSEMBLY:**  
RAIN BIRD XQZ-PRB-100-COM

**QUICK COUPLING VALVE ASSEMBLY:** RAIN BIRD 5RC

**LOCKABLE ISOLATION GATE VALVE ASSEMBLY:** MATCO 514

**FLOW SENSOR ASSEMBLY:** RAIN BIRD FS100B

**BACKFLOW PREVENTION ASSEMBLY:** FEBCO 765

**MASTER VALVE ASSEMBLY:** RAIN BIRD PESB

**FLUSH CAP ASSEMBLY**

**UNCONNECTED PIPE CROSSING**

**CONTROLLER AND STATION NUMBER**  
A1  
1" 12  
1.4  
VALVE SIZE (INCHES)

**IRRIGATION CONTROLLER UNIT WITH:** RAIN/FREEZE SENSOR, FLOW SMART MODULE, WIFI MODULE FOR WEATHER SCHEDULING, TWO (2) 12 STATION EXPANSION MODULES  
CONTROLLER A: RAIN BIRD ESP12LXMEF, 36 STATIONS USED

**RAIN/FREEZE SENSOR:** RAIN BIRD WR2-RFC

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 8 NOZZLE**  
PRESSURE: 30 PSI RADIUS: 8 FEET

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 10 NOZZLE**  
PRESSURE: 30 PSI RADIUS: 10 FEET

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 12 NOZZLE**  
PRESSURE: 30 PSI RADIUS: 12 FEET

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/HE-VAN NOZZLE**  
PRESSURE: 30 PSI RADIUS: 15 FEET

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/HE-VAN NOZZLE**  
PRESSURE: 30 PSI RADIUS: VARIES

**POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/EST OR SST NOZZLE**  
PRESSURE: 30 PSI RADIUS: 4 FEET X 15 FEET

**POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 14 NOZZLE**  
PRESSURE: 45 PSI RADIUS: 8 FEET TO 14 FEET

**POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 18 NOZZLE**  
PRESSURE: 45 PSI RADIUS: 13 FEET TO 18 FEET

**POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 24 NOZZLE**  
PRESSURE: 45 PSI RADIUS: 17 FEET TO 24 FEET

**INLINE DRIP TUBING: NETAFIM TLCV6-18, 18-INCH ROW SPACING**

**INLINE DRIP HEADER: RAIN BIRD XQF HEADER**

**INSTALLATION NOTES**

- THE REQUIRED SYSTEM DESIGN DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM IS 65 PSI, AT A MAXIMUM FLOW RATE OF 13 GPM FROM THE 3/4-INCH IRRIGATION POINT-OF-CONNECTION (POC). ASPEN FIRE DEPARTMENT HAS NOT CONFIRMED PRESSURE FOR THIS AND A PRESSURE BOOSTER PUMP MAY BE REQUIRED TO OPERATE THE IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY PRESSURE AND FLOW RATE ON SITE PRIOR TO CONSTRUCTION.
- IF OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE SITE ENGINEERING AND/OR ARE NOT AS SHOWN ON PLANS, DO NOT PROCEED WITH THE IRRIGATION SYSTEM INSTALLATION.
- IF DISCREPANCIES IN THE IRRIGATION CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED BRING DISCREPANCIES TO THE ATTENTION OF THE IRRIGATION ENGINEER.
- THESE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, NOTE THE FOLLOWING:
  - EQUIPMENT LOCATIONS AND PIPE ROUTING ARE SHOWN FOR CLARITY AND ALL EQUIPMENT SHALL BE INSTALLED WITHIN LANDSCAPED AREAS AND LOCATED AS POSSIBLE TO BE MASKED FROM VIEW.
  - SPECIFIC PIPE ROUTING, TEES AND ELBOWS SHALL BE INSTALLED AS SHOWN, BUT MAY BE LOCATED AS REASONABLY POSSIBLE IN THE FIELD.
  - TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. DO NOT ROUTE PIPES OR INSTALL IRRIGATION EQUIPMENT, OTHER THAN DRIP PIPE OR BUBBLERS, WITHIN 8' OF A TREE ROOT BALL OR UNDER PROPOSED SHRUB LOCATIONS.
  - USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF TEES IN THE BULLNOSE CONFIGURATION, OR CROSS TYPE FITTINGS IS NOT PERMITTED. SEE SPECIFICATIONS.
- SEE SPECIFICATIONS FOR ADDITIONAL IRRIGATION SPARE PARTS, VALVE KEYS AND ADJUSTMENT TOOLS TO BE TURNED OVR TO THE OWNER'S REPRESENTATIVE PRIOR TO SUBSTANTIAL COMPLETION OR FINAL SYSTEM INSPECTIONS.
- SPRINKLER NOZZLES AND LOCATIONS SHOWN ON THIS PLAN ARE BASED STANDARD CONFIGURATION NOZZLES AND PROPOSED LANDSCAPE AREA CONFIGURATION. FIELD ADJUSTS MAY BE NECESSARY OR DIFFERENT NOZZLES SELECTED WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH SPRINKLER TO PROVIDE THE BEST LANDSCAPE COVERAGE.
- SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF SITE WORK. SEE PIPE SLEEVING TABLE FOR REQUIRED SLEEVE SIZES FOR ASSOCIATED PIPE AND WIRE.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- PIPE SIZES ON THIS PLAN ARE IDENTIFIED AS FOLLOWS: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. MINIMUM SPRINKLER LATERAL SIZE IS 1-INCH.
- INSTALL TWO (2) #14 AWG CONTROL WIRES ON STANDARD WIRE SYSTEMS OR ONE (1) #14 AWG TWO-WIRE PAIR ON TWO-WIRE SYSTEMS. FOR USE AS SPARES. INSTALL SPARE WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE. COIL 3 FEET OF WIRE IN VALVE BOX.
- CONTRACTOR SHALL, AT ALL TIMES WHILE ON SITE, HAVE A COPY OF AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS PROJECT AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL USE FLOW CONTROL ON ALL ZONE CONTROL VALVES TO ACHIEVE DESIGN PRESSURE AT MOST REMOTE OR HIGHEST ELEVATION EMISSION DEVICE ON EACH ZONE. SEE LEGEND AND VALVE DESIGNATORS FOR EQUIPMENT DESIGN PRESSURE.
- TREES AND SHRUBS WITH DIFFERENT WATER REQUIREMENTS ARE IRRIGATED ON SHARED DRIP ZONES ON THIS PLAN. THE CONTRACTOR SHALL REFER TO THE EMITTER SCHEDULE IN THE IRRIGATION DETAILS TO INSTALL THE CORRECT SIZE AND QUANTITY OF EMITTERS PER PLANT WATER REQUIREMENTS. REFER TO LANDSCAPE PLANS FOR SPECIFIC PLANT SPECIES AND WATER REQUIREMENTS.
- SENSORS (E.G., RAIN, FREEZE, WIND, AND/OR SOIL MOISTURE ETC.), EITHER INTEGRAL OR AUXILIARY, THAT SUSPEND OR ALTER IRRIGATION OPERATION DURING UNFAVORABLE WEATHER CONDITIONS OR WHEN SUFFICIENT SOIL MOISTURE IS PRESENT SHALL BE REQUIRED ON ALL IRRIGATION SYSTEMS.

**CONSTRUCTION NOTES**

- FIELD LOCATE DOMESTIC WATER PIPE DOWNSTREAM OF WATER METER AND MAKE 1-INCH COPPER PIPE CONNECTION AND INSTALL BACKFLOW PREVENTER PER LOCAL CODES AND AS INDICATED ON INSTALLATION DETAILS. INSTALL MASTER VALVE, FLOW SENSOR, ALL 1-INCH SIZE. VERIFY LOCATION OF POC OR EXISTING BACKFLOW PREVENTER WITH OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR.
- INSTALL IRRIGATION CONTROLLER AT THE APPROXIMATE LOCATION SHOWN. VERIFY LOCATION WITH THE OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE. COORDINATE 120V POWER WITH THE OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR. INSTALL WEATHER/RAIN SENSOR IN PROXIMITY ON CLOSEST BUILDING ROOF LINE AS INDICATED BY SENSOR SYMBOL, UNOBSTRUCTED FOR 10' IN ALL DIRECTIONS.
- COORDINATE INSTALLATION OF RAIN/FREEZE SENSOR WITH ARCHITECT. INSTALLATION LOCATION SHALL BE UNOBSTRUCTED FOR 10-FEET IN ALL DIRECTIONS, PREFERABLY THE BUILDING AT ROOF LINE.
- THIS TREE DRIP IRRIGATION VALVE WILL BE USED FOR 2-3 YEARS TO ESTABLISH FIVE (5) TREES AND THEN DRIP IRRIGATION WILL BE REMOVED.

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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

**NOT FOR CONSTRUCTION**

ISSUE DATE: MAY 4, 2022

#	DATE	DESCRIPTION

DRAWN: EWP      REVIEWED: GG

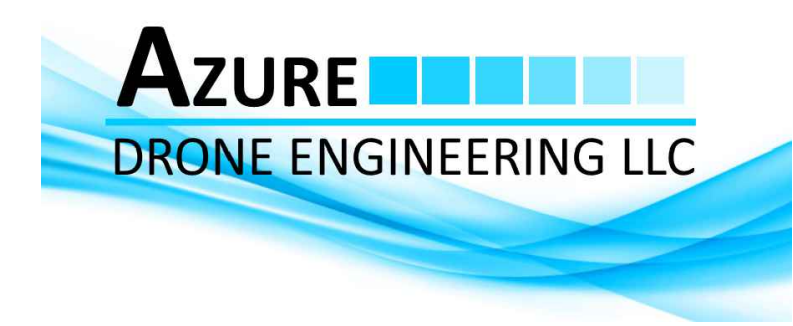
**100% DESIGN DEVELOPMENT**

PROJECT NUMBER: 0530

**IRRIGATION LEGEND AND NOTES**

SHEET NUMBER

**IR1-01**



May 04, 2022 - 1:45pm  
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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
 KETCHUM, IDAHO

NOT FOR  
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ISSUE DATE: MAY 4, 2022

REVISIONS		
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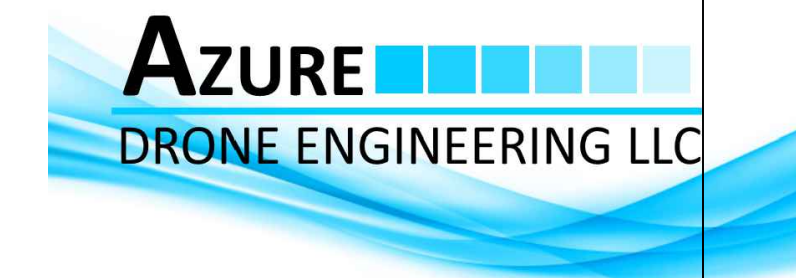
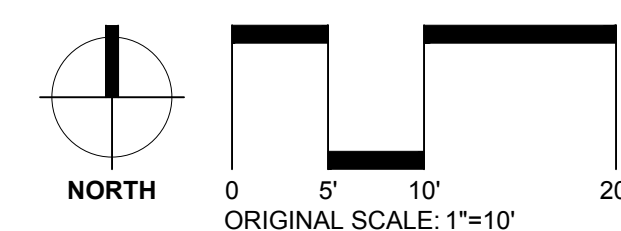
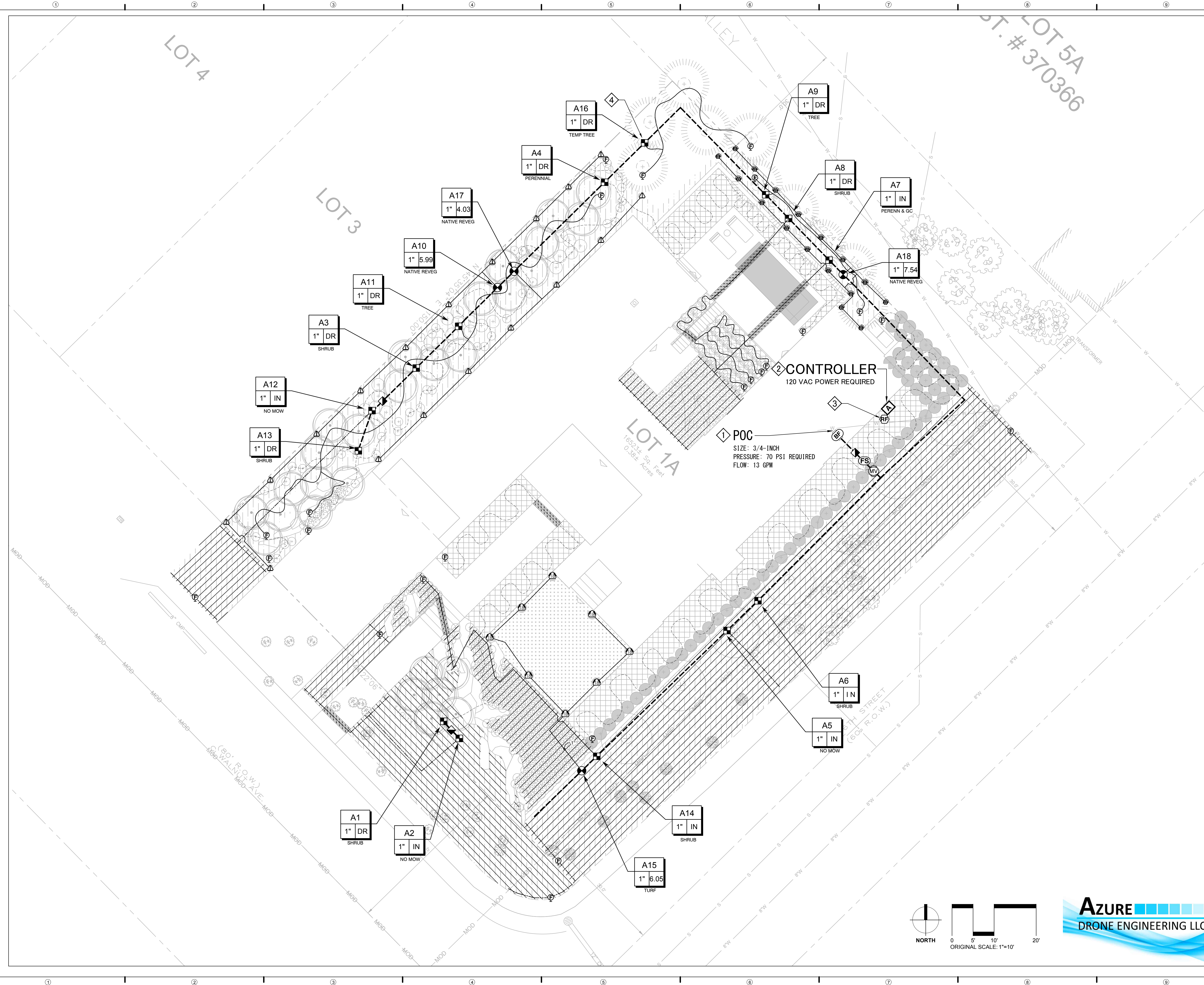
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PROJECT NUMBER: 6530

IRRIGATION  
 PLAN

SHEET NUMBER

IR1-02



**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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ISSUE DATE: MAY 4, 2022

REVISIONS

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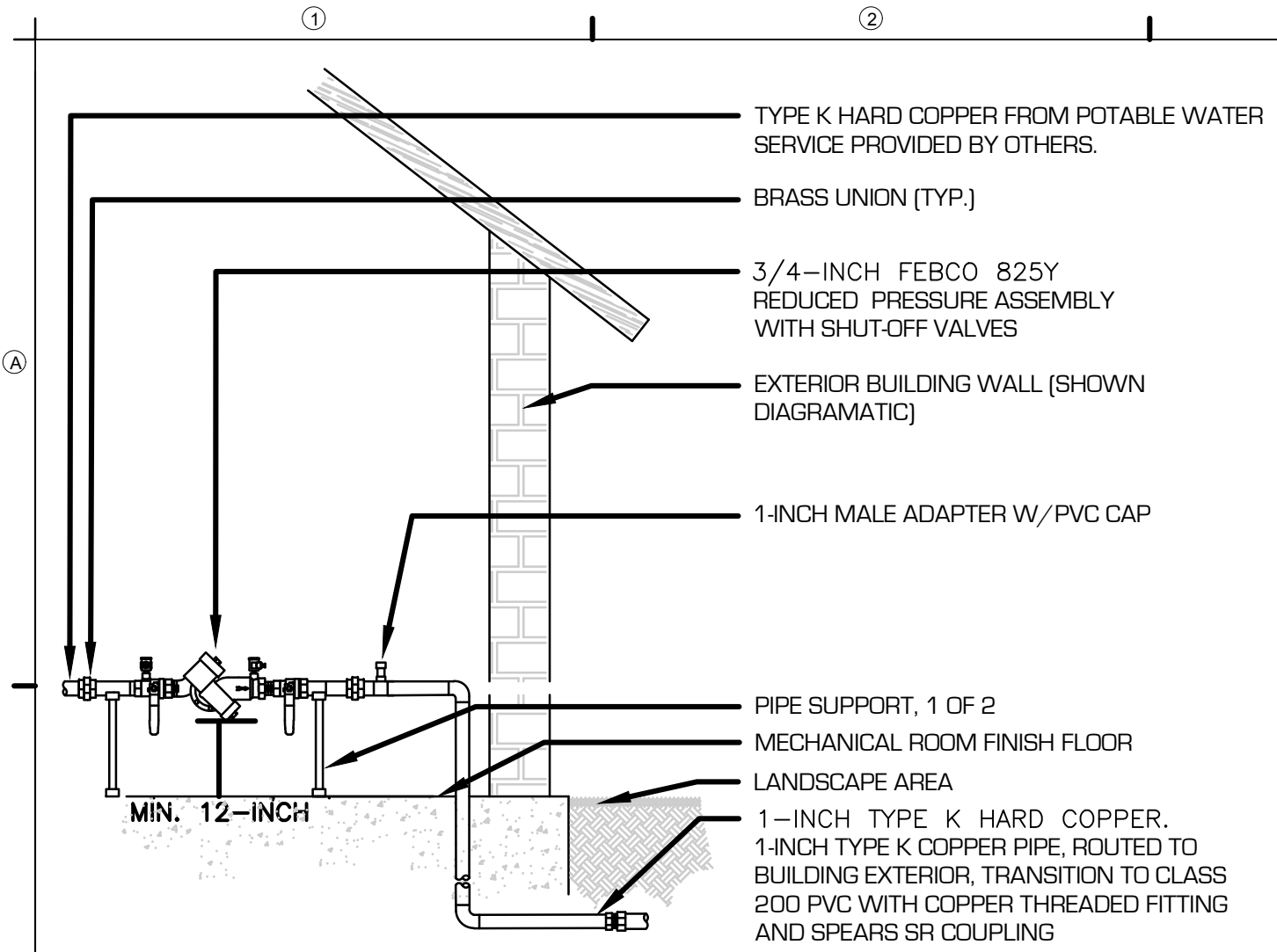
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PROJECT NUMBER: 6530

IRRIGATION  
DETAILS

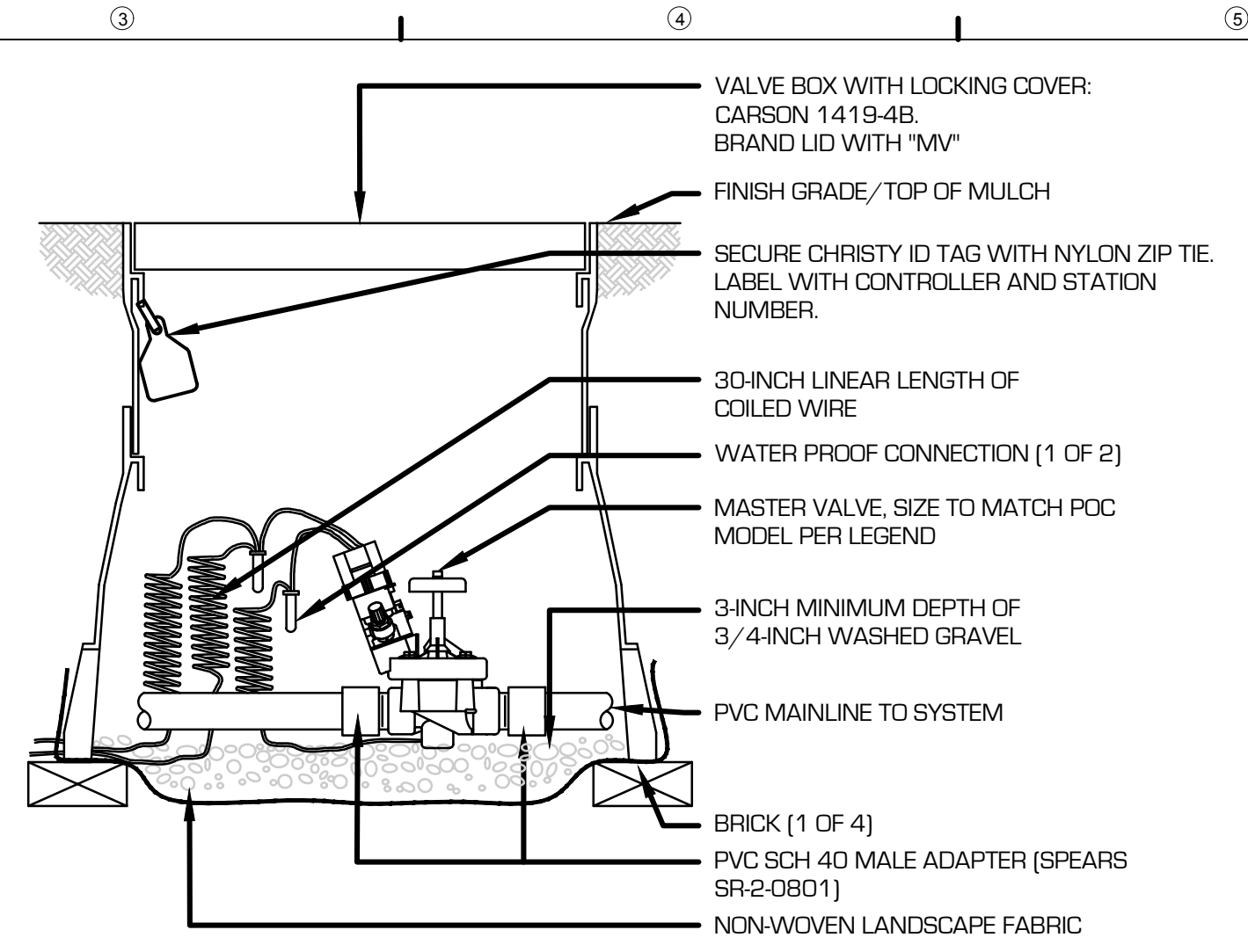
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IR2-01

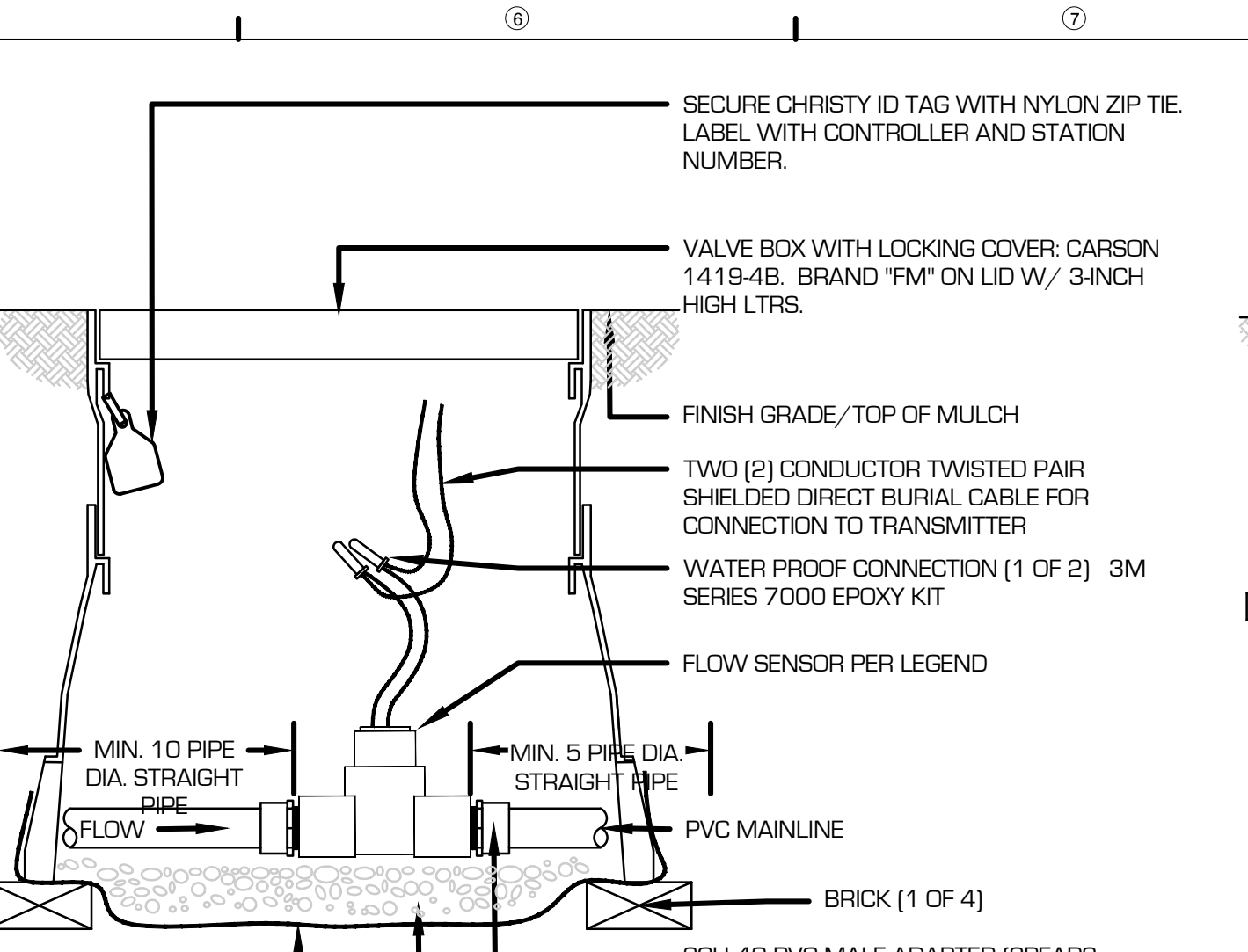


NOTES:  
1. INSTALL BACKFLOW DEVICE IN ACCORDANCE WITH ALL LOCAL AND STATE CODE REQUIREMENTS.  
2. PROVIDE SHOP DRAWING OF BACKFLOW ASSEMBLY AND PIPE ROUTING WITHIN MECHANICAL ROOM FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

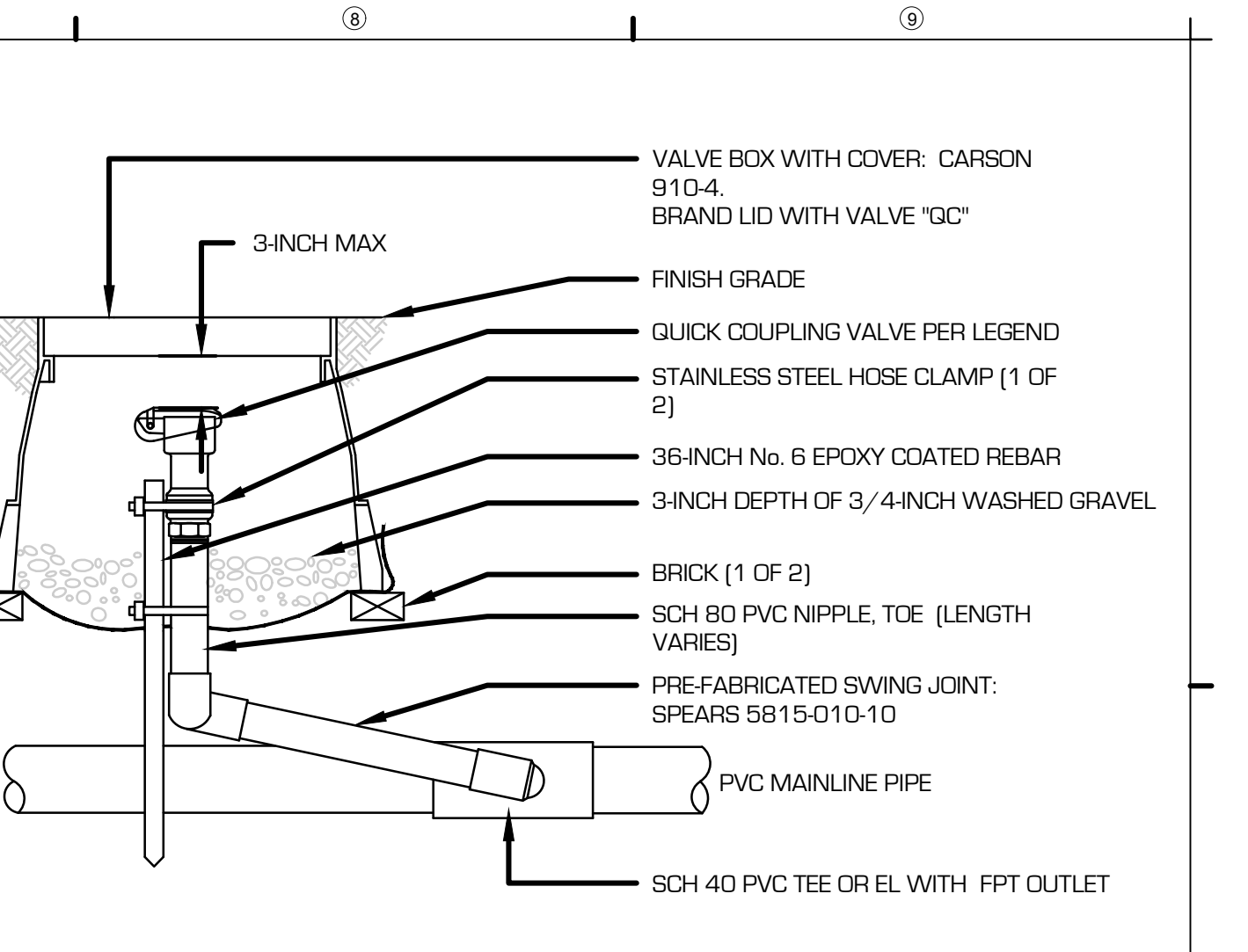
**1 BACKFLOW PREVENTION UNIT ASSEMBLY IN MECHANICAL ROOM**



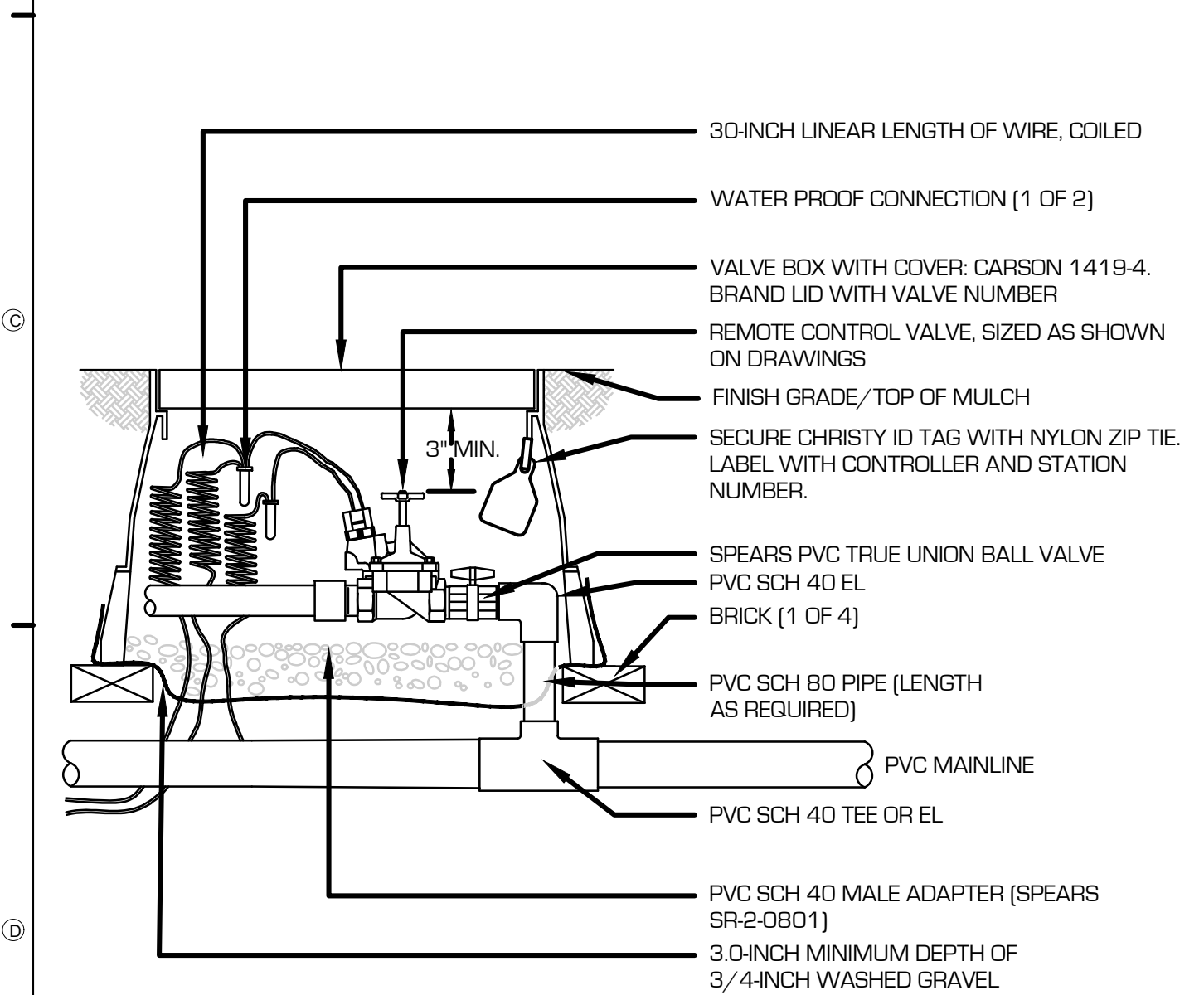
**2 MASTER VALVE ASSEMBLY**



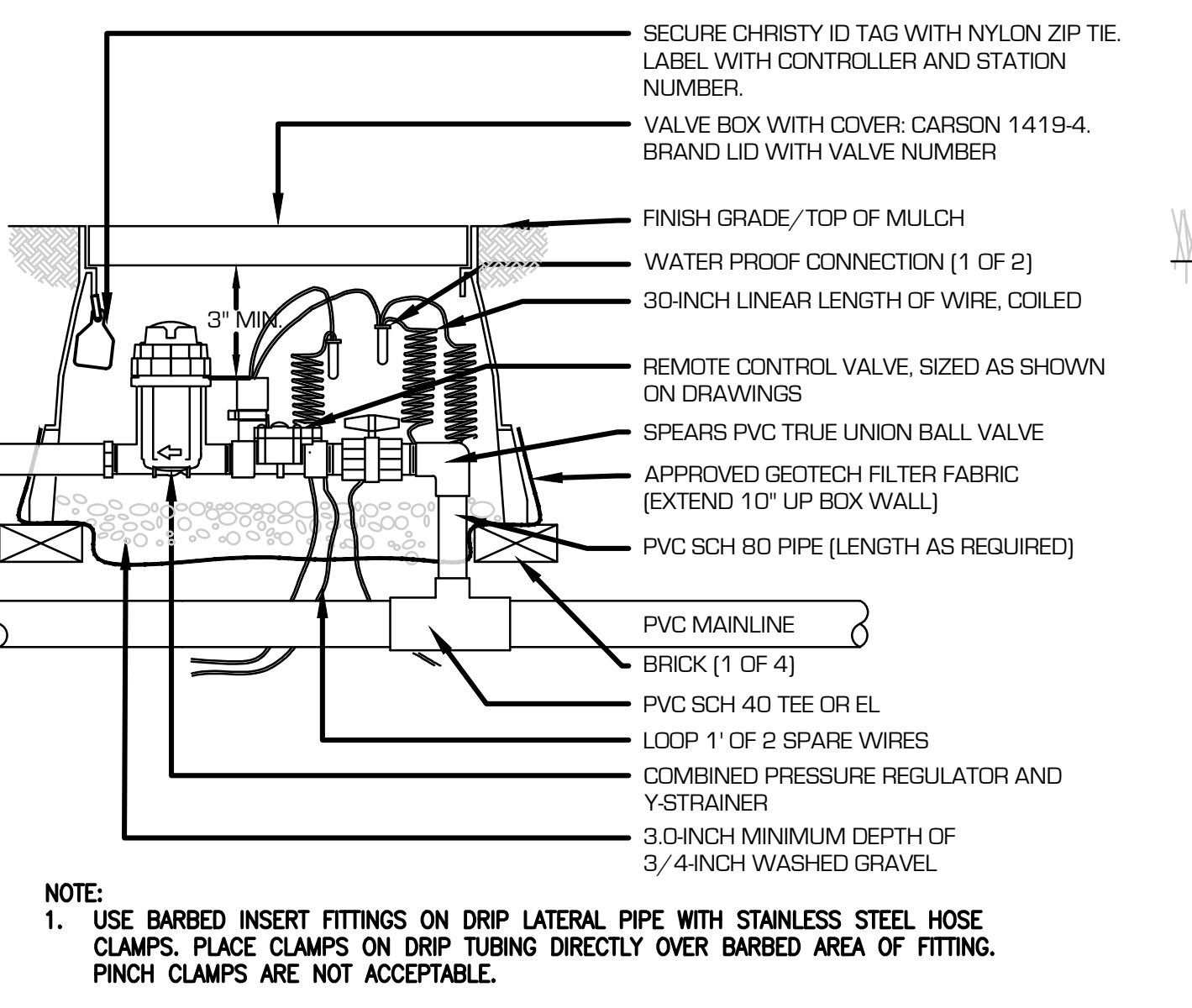
**3 FLOW SENSOR ASSEMBLY**



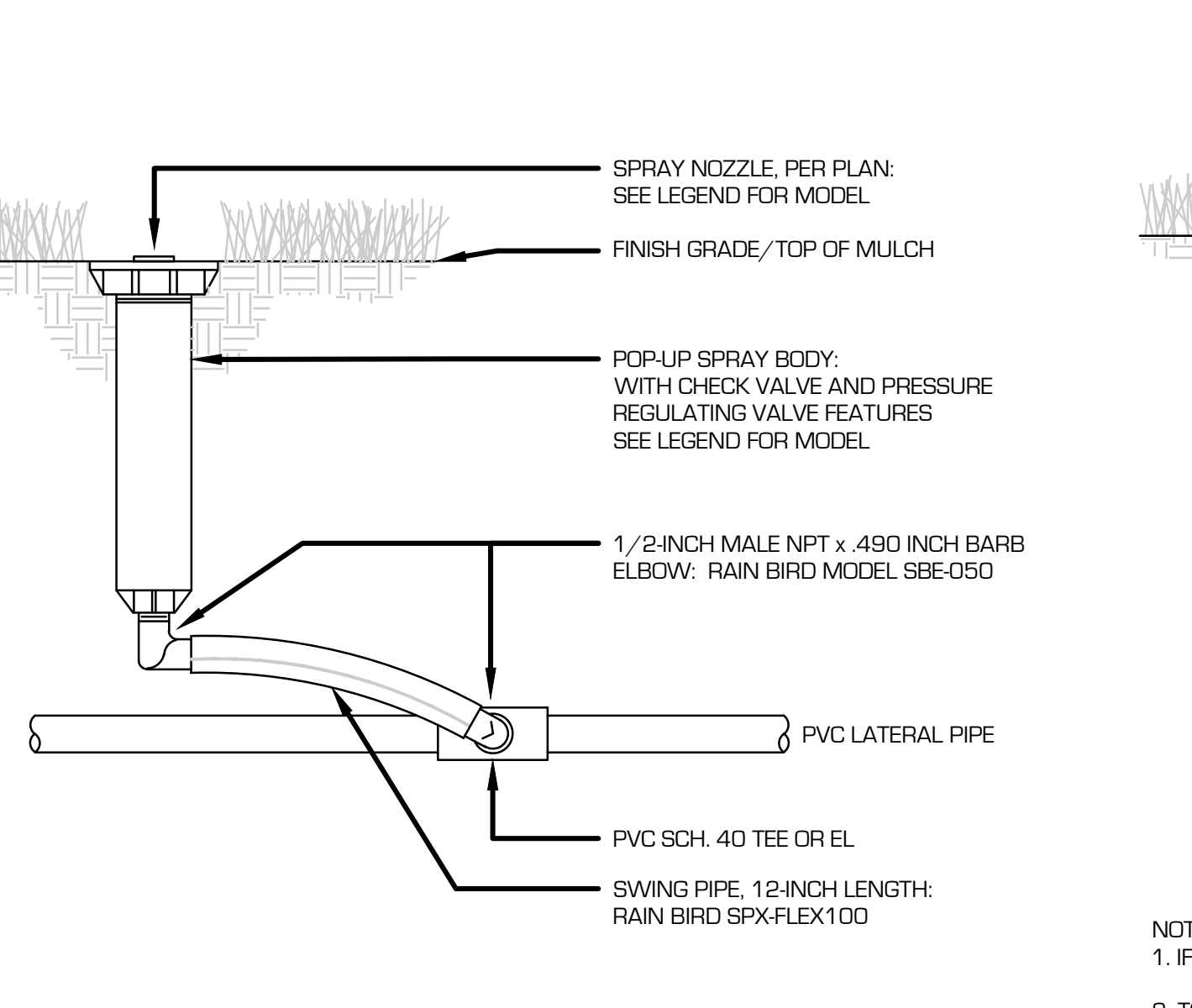
**4 QUICK COUPLING VALVE ASSEMBLY**



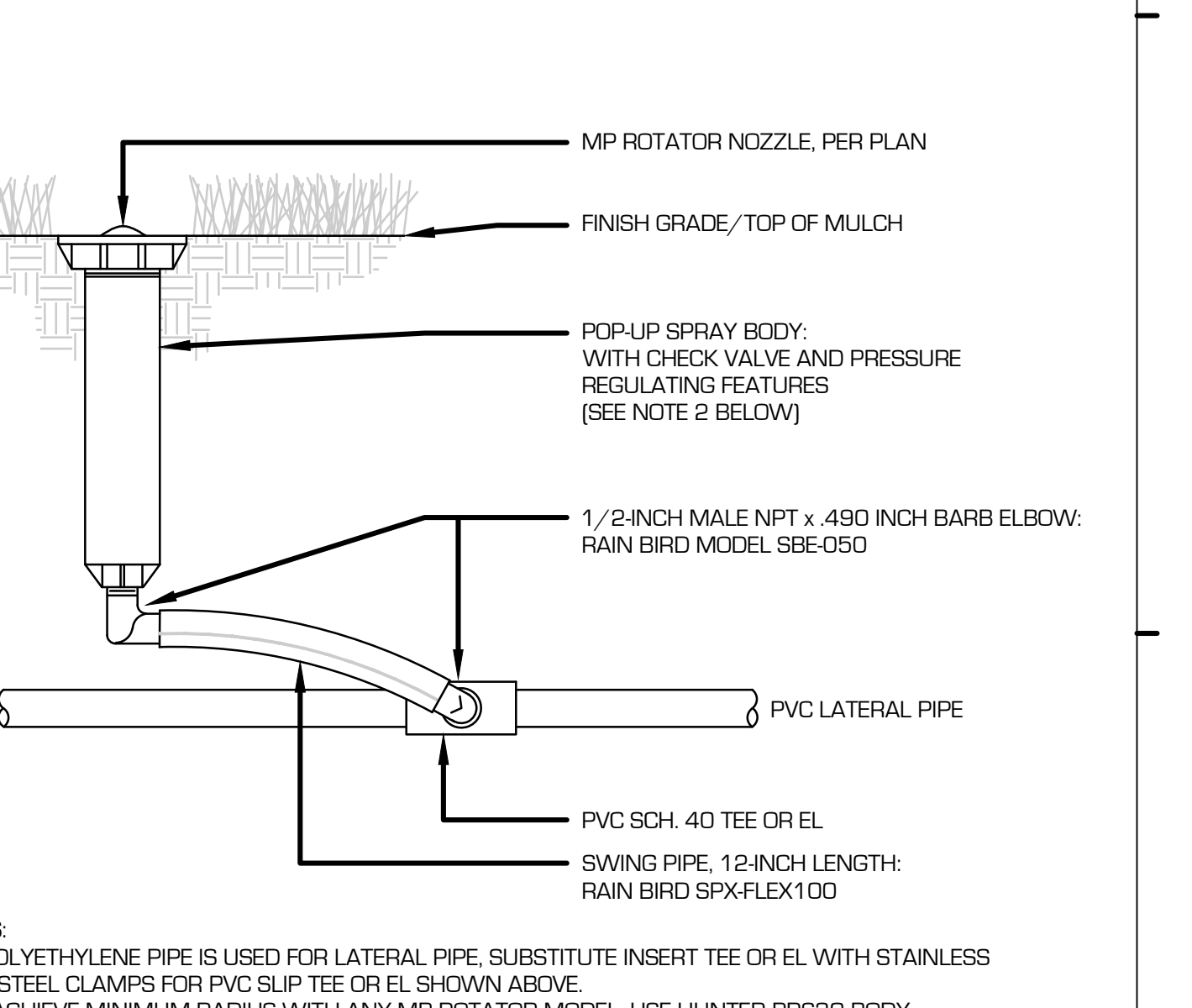
**5 REMOTE CONTROL TURF VALVE ASSEMBLY**



**6 REMOTE CONTROL DRIP VALVE ASSEMBLY**

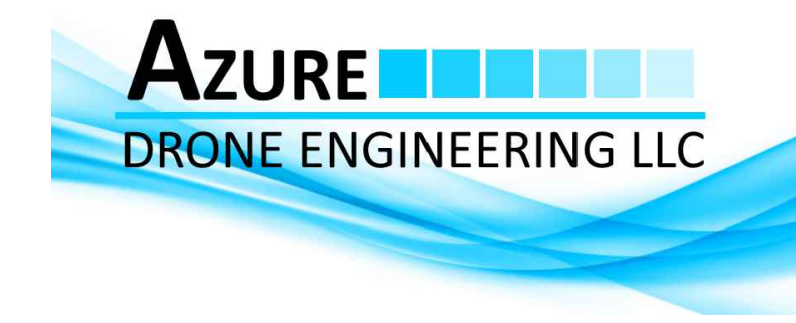


**7 6-INCH POP UP SPRAY SPRINKLER ASSEMBLY**



**8 6-INCH POP UP MP-ROTATOR ASSEMBLY**

NOTES:  
1. IF POLYETHYLENE PIPE IS USED FOR LATERAL PIPE, SUBSTITUTE INSERT TEE OR EL WITH STAINLESS STEEL CLAMPS FOR PVC SLIP TEE OR EL SHOWN ABOVE.  
2. TO ACHIEVE MINIMUM RADIUS WITH ANY MP ROTATOR MODEL, USE HUNTER PRS30 BODY



# MCDERMOTT RESIDENCE

## 600 WALNUT AVE.

### KETCHUM, IDAHO

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ISSUE DATE: MAY 4, 2022

REVISIONS		
#	DATE	DESCRIPTION

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PROJECT NUMBER: 6530

### IRRIGATION DETAILS

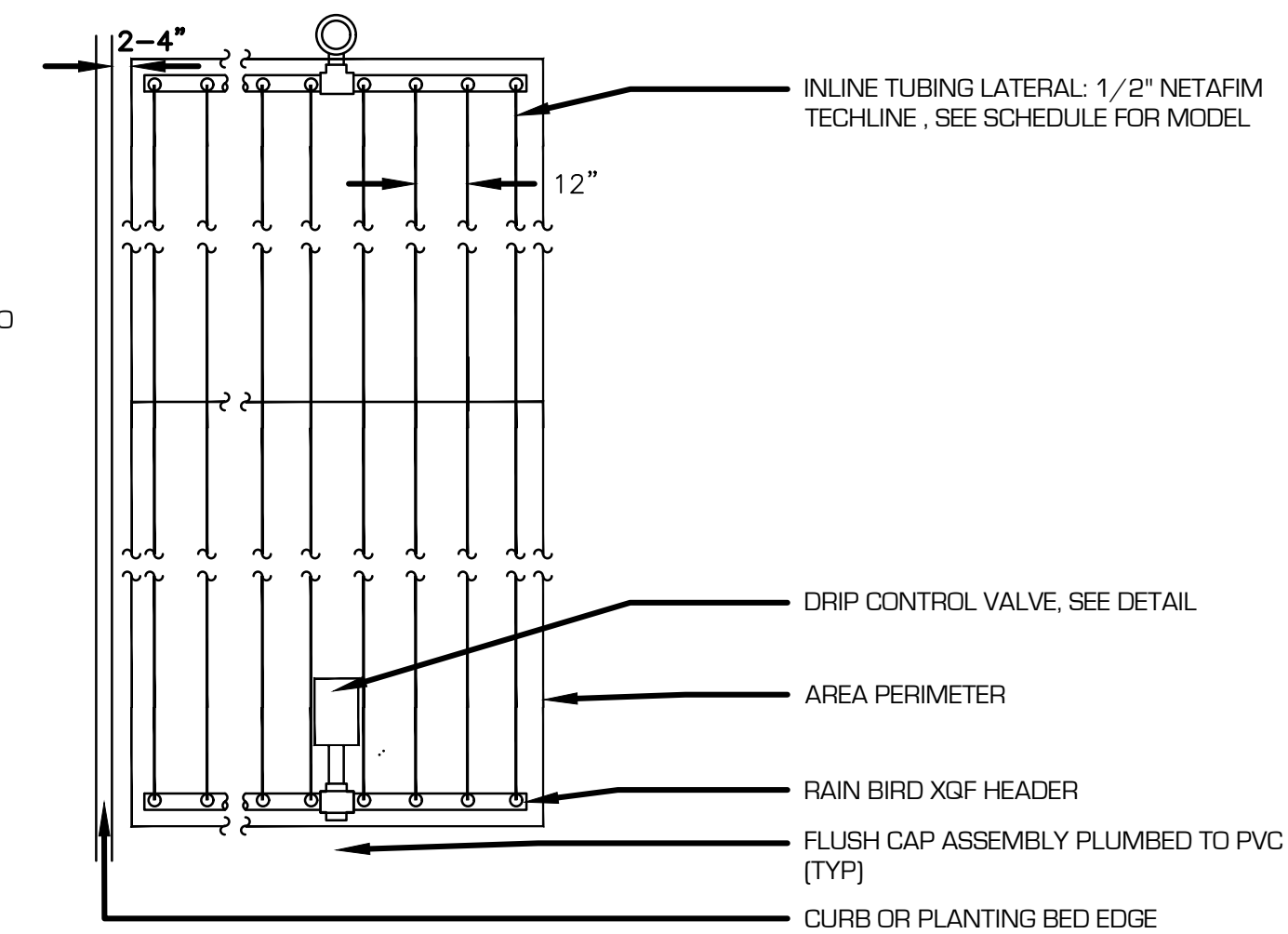
SHEET NUMBER

## IR2-02

PLANT TYPE BY HYDROZONE	EMITTERS PER PLANT	GPH PER EMITTER	TOTAL GPH PER PLANT
LOW WATER USE TREE	3 SINGLE	1 GPH	3 GPH
MED WATER USE TREE	4 SINGLE	1 GPH	4 GPH
HIGH WATER USE TREE	3 SINGLE	2 GPH	6 GPH
LOW WATER USE SHRUBS	1 SINGLE	1 GPH	1 GPH
MED WATER USE SHRUBS	2 SINGLE	1 GPH & 0.5 GPH	1.5 GPH
HIGH WATER USE SHRUBS	2 SINGLE	1 GPH	2 GPH
LOW WATER USE PERENNIAL	1 SINGLE	1 GPH	1 GPH
MED WATER USE PERENNIAL	2 SINGLE	1 GPH & 0.5 GPH	1.5 GPH
HIGH WATER USE PERENNIAL	2 SINGLE	1 GPH	2 GPH

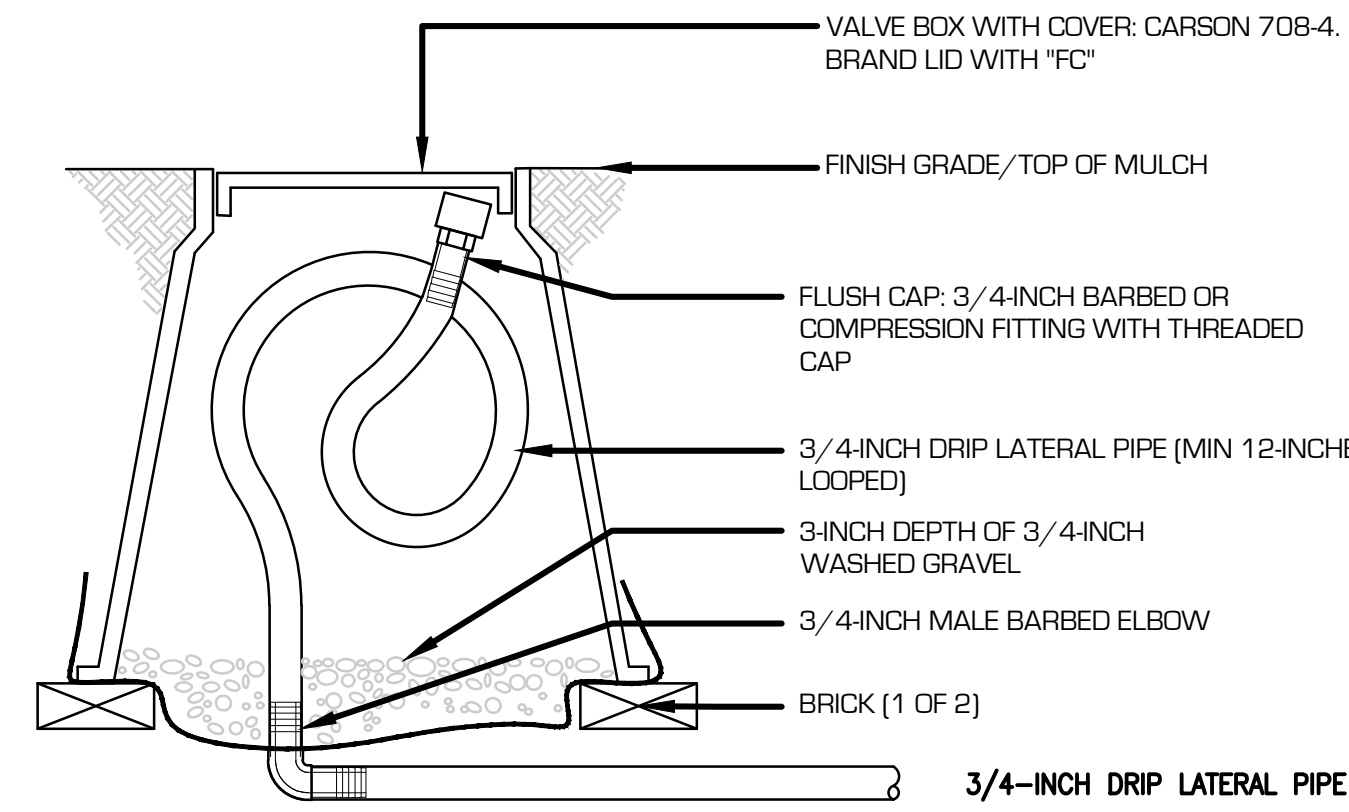
NOTES:  
1. ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL.  
2. ALL EMITTER QUANTITIES AND FLOW RATES ARE FOR RECOMMENDATION ONLY. THE CONTRACTOR SHALL CONSULT AND CONFIRM WITH LOCAL PRACTICE PRIOR TO INSTALLATION.

### 12 EMITTER SCHEDULE



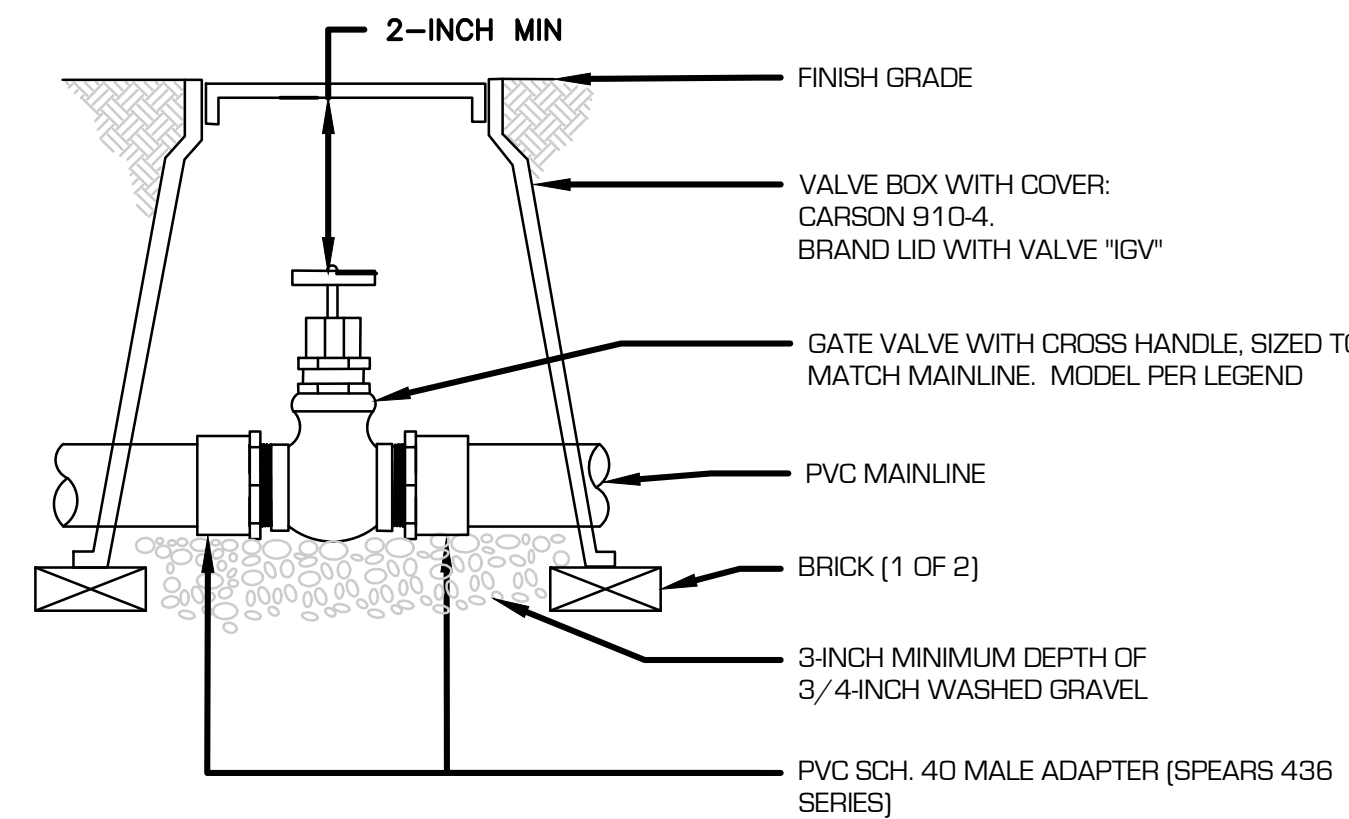
NOTES:  
1. INSTALL SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR EQUIPMENT APPLICATION AND INSTALLATION.  
2. MAXIMUM FLOW FOR 1-INCH REMOTE CONTROL VALVE ASSEMBLY IS 10 GPM.  
3. INSTALL AT A DEPTH OF 4'-6" IN UNIFORM SOIL.

### 16 SUBSURFACE DRIP ASSEMBLY IN TURF AREAS



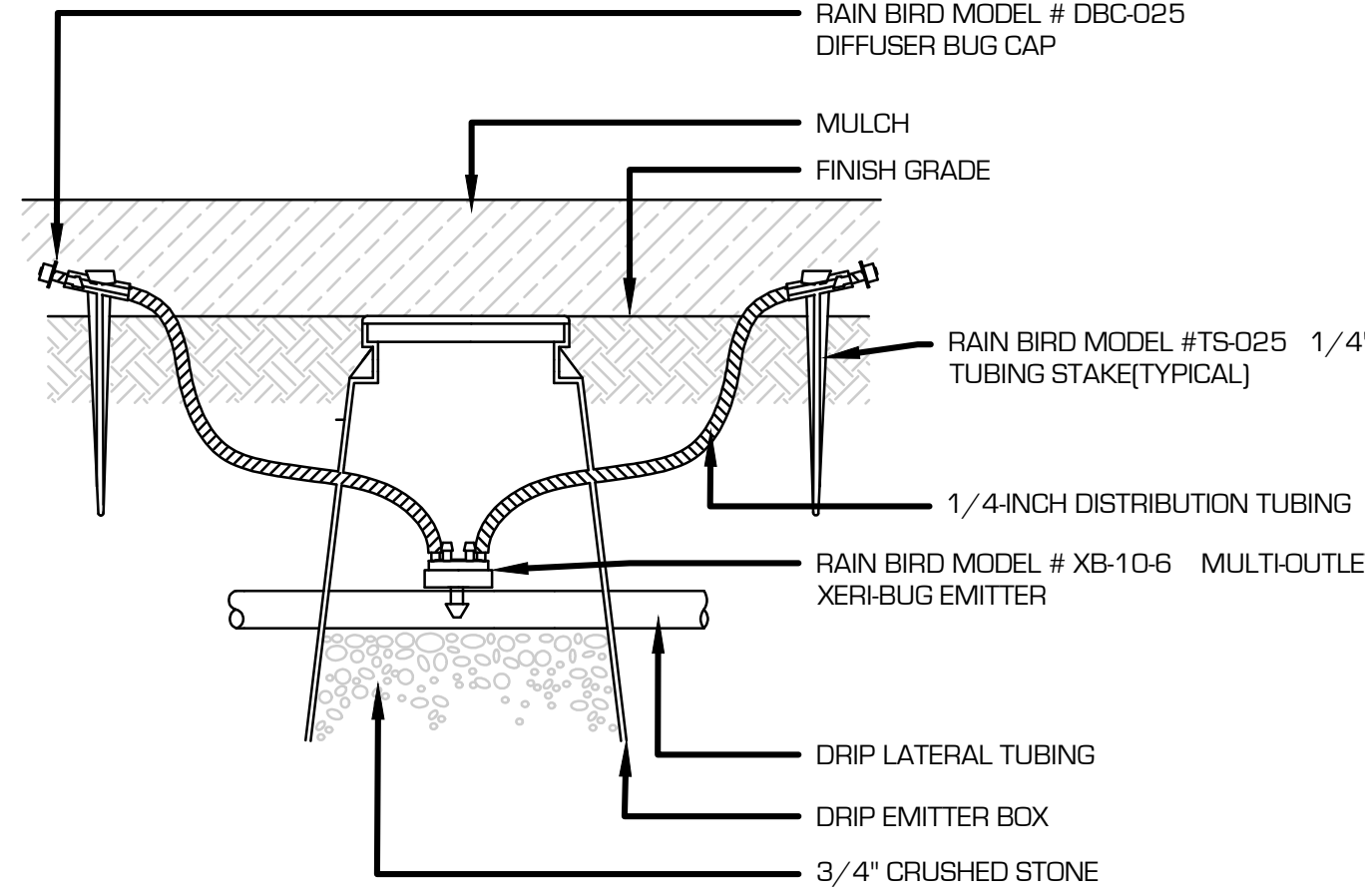
NOTE:  
1. LOOP IRRIGATION DRIP TUBING INSIDE VALVE BOX FOR EXTENSION OUTSIDE OF BOX DURING BLOWOUT.

### 11 DRIP FLUSH CAP ASSEMBLY

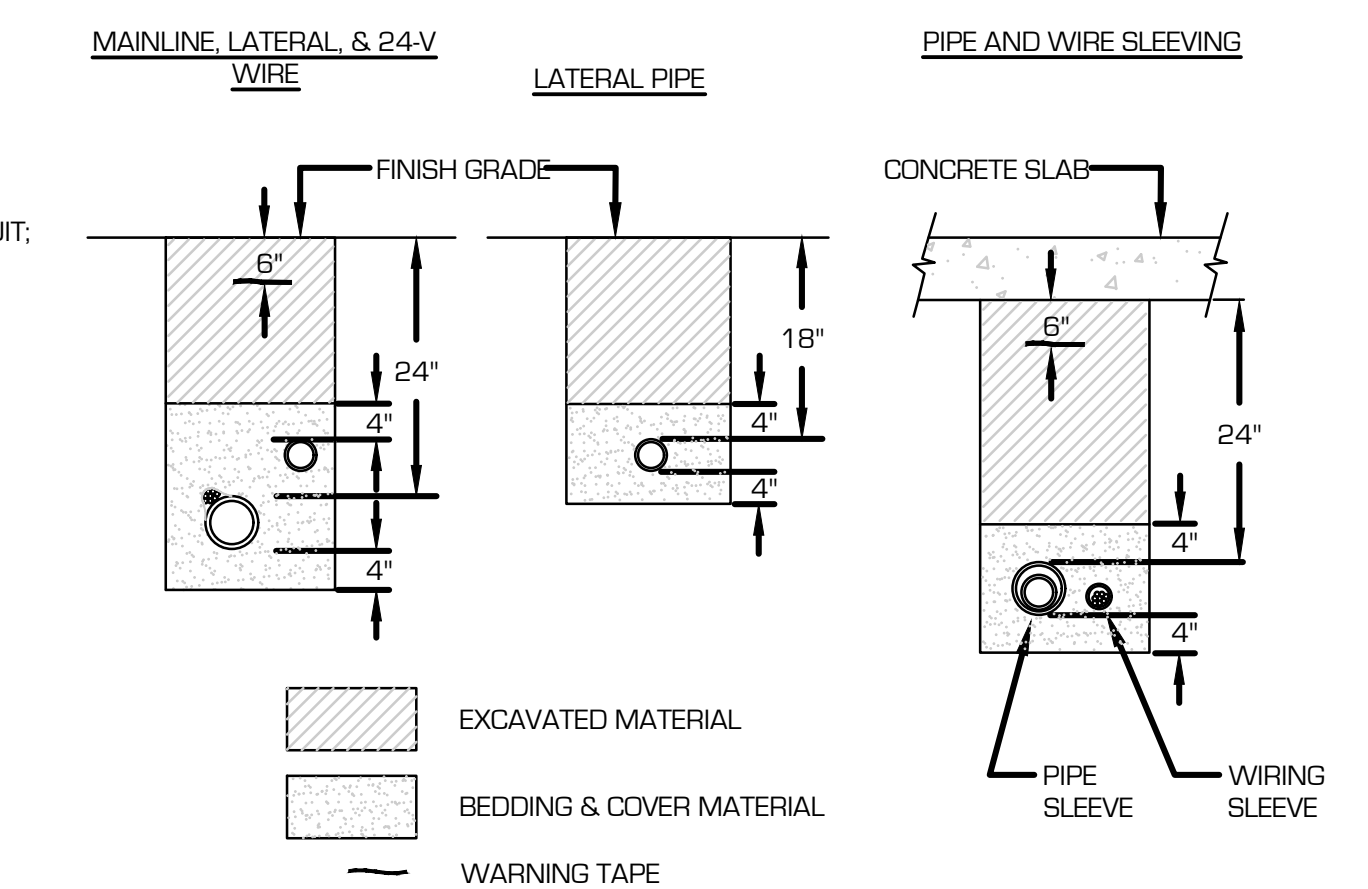


NOTES:  
1. NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL MAINLINE SIZE.

### 15 LOCKABLE GATE VALVE ASSEMBLY 2.5-INCH MAINLINE AND SMALLER

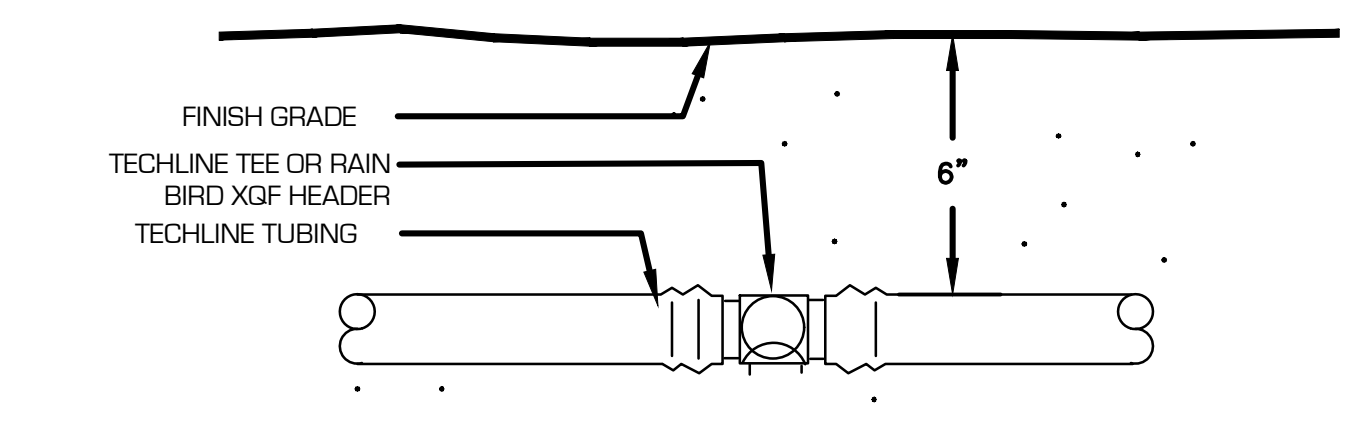


### 10 MULTI-OUTLET DRIP EMITTER ASSEMBLY FOR TREES IN BEDS

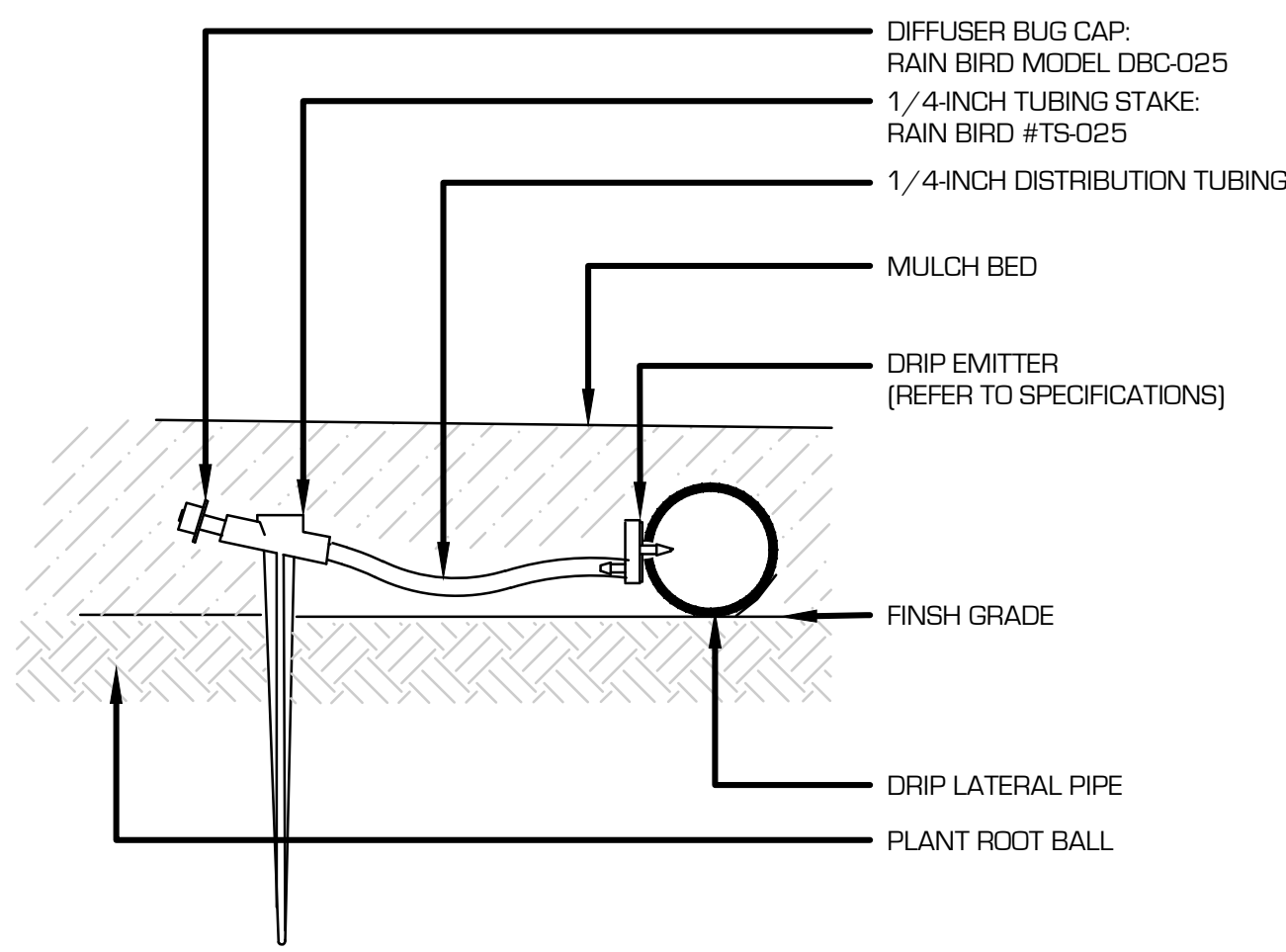


NOTES:  
1. SLEEVE ALL PIPE AND WIRE SEPARATELY.  
2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. "SNAKE" UNSLEEVED PLASTIC PIPE IN TRENCH. PROVIDE A MINIMUM OF 2" CLEARANCE TO SIDE OF TRENCH AND BETWEEN PIPES.  
3. ALL 120V WIRING SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. TAPE AND BUNDLE 24V WIRE EVERY 10" AND PROVIDE LOOSE 20" LOOP AT ALL CHANGES OF DIRECTION OVER 90 DEGREES.

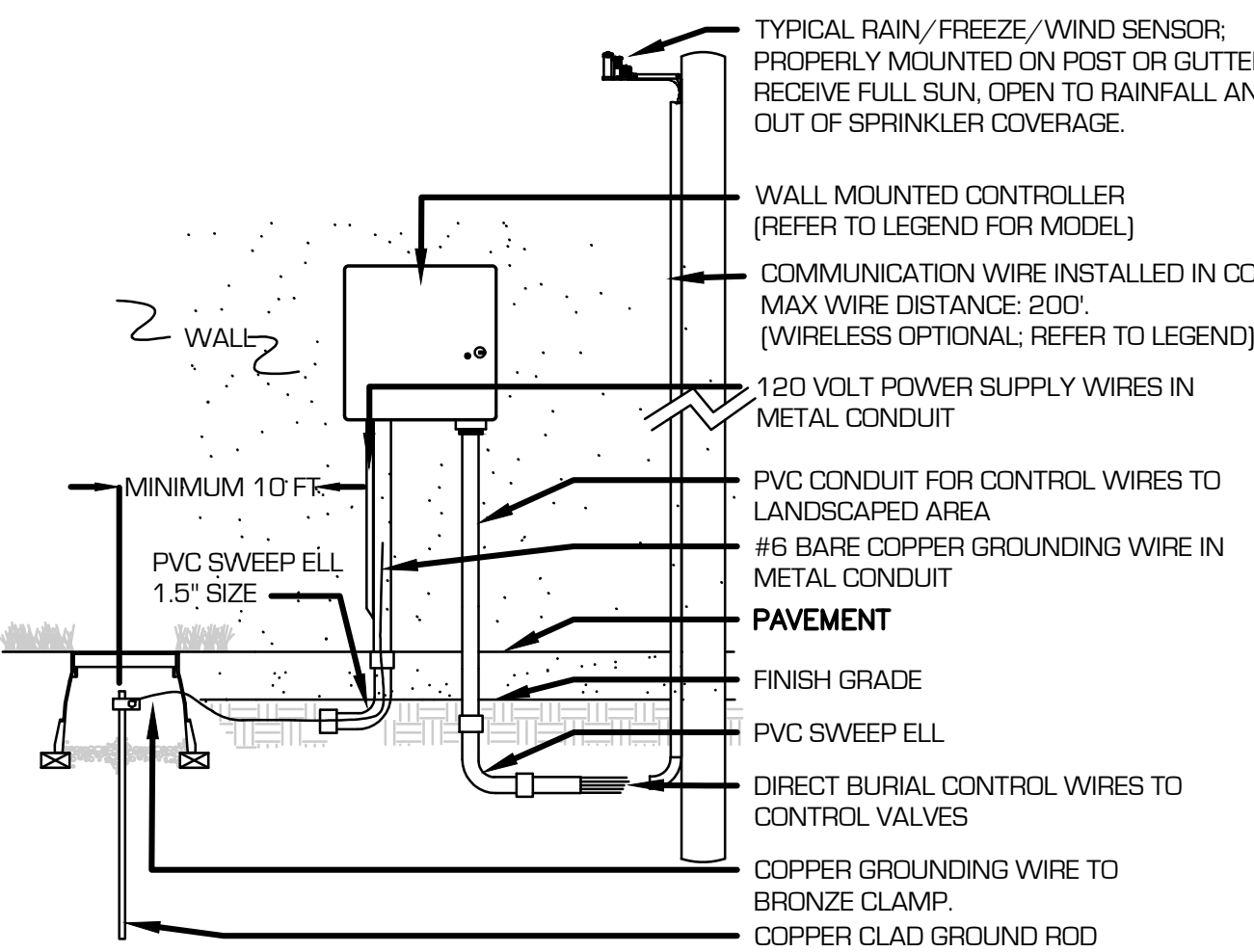
### 14 TYPICAL TRENCHING DETAIL



### 18 NETAFIM TECHLINE SECTION VIEW

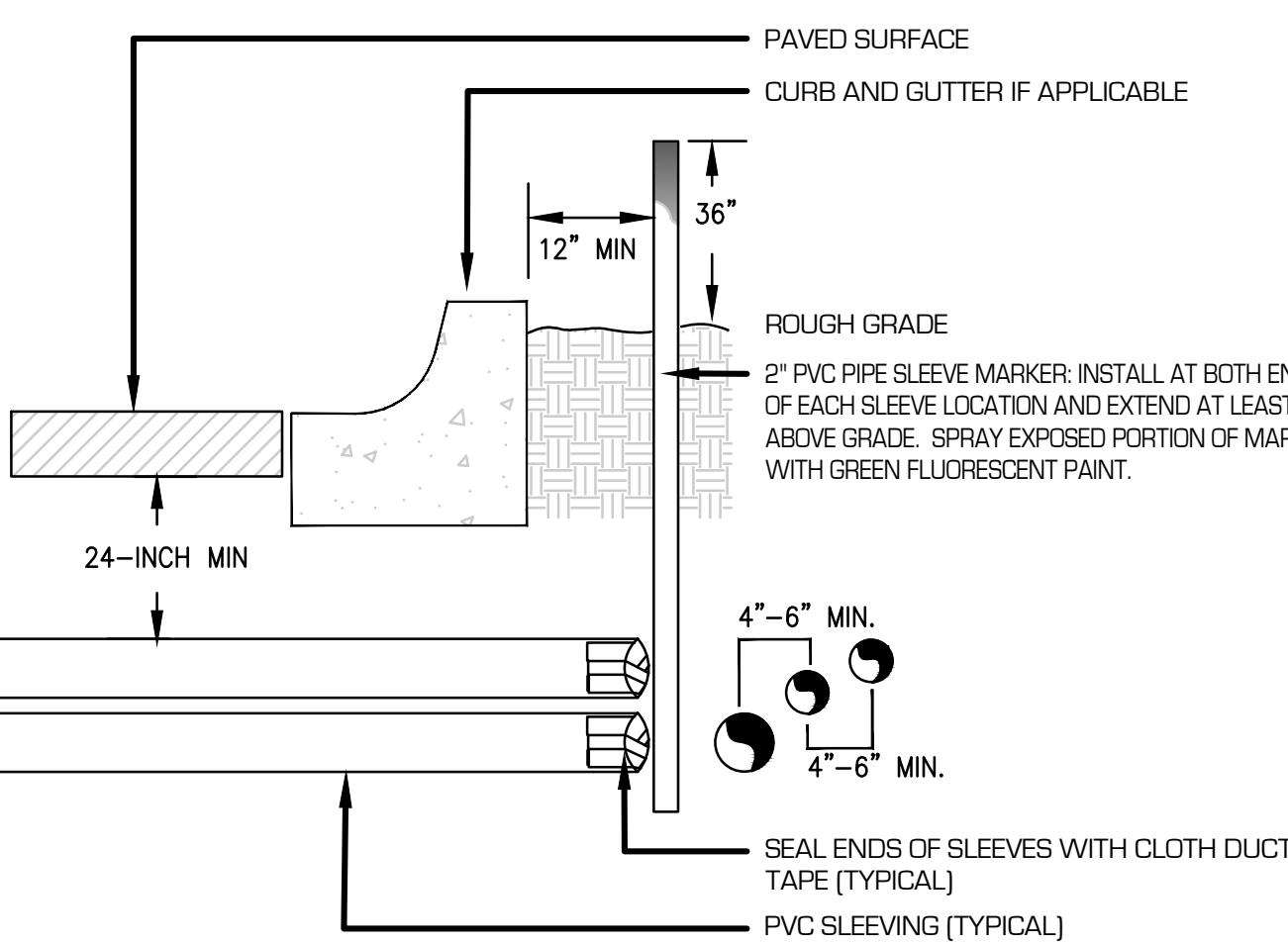


### 9 SINGLE OUTLET DRIP EMITTER ASSEMBLY



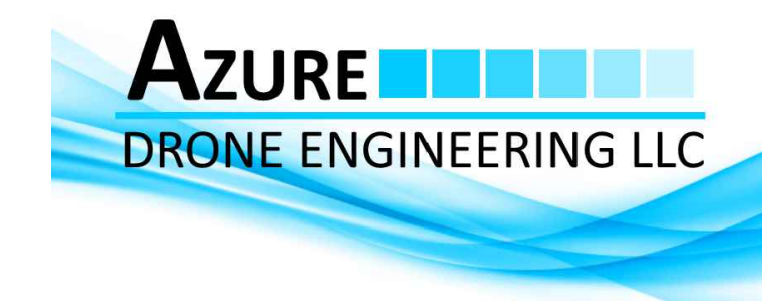
NOTES:  
1. INSTALL ALL WIRING PER LOCAL ELECTRICAL CODES.  
2. INSTALL GROUND ROD WITHIN IRRIGATED TURF AREA. IF IRRIGATED TURF AREA IS NOT IN CLOSE PROXIMITY TO CONTROLLER, INSTALL ONE (1) DRIP EMITTER FROM NEAREST DRIP VALVE IN VALVE BOX HOUSING GROUNDING ROD.

### 13 WALL MOUNT CONTROLLER ASSEMBLY



NOTE:  
1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED.  
2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.

### 17 TYPICAL SLEEVING DETAIL



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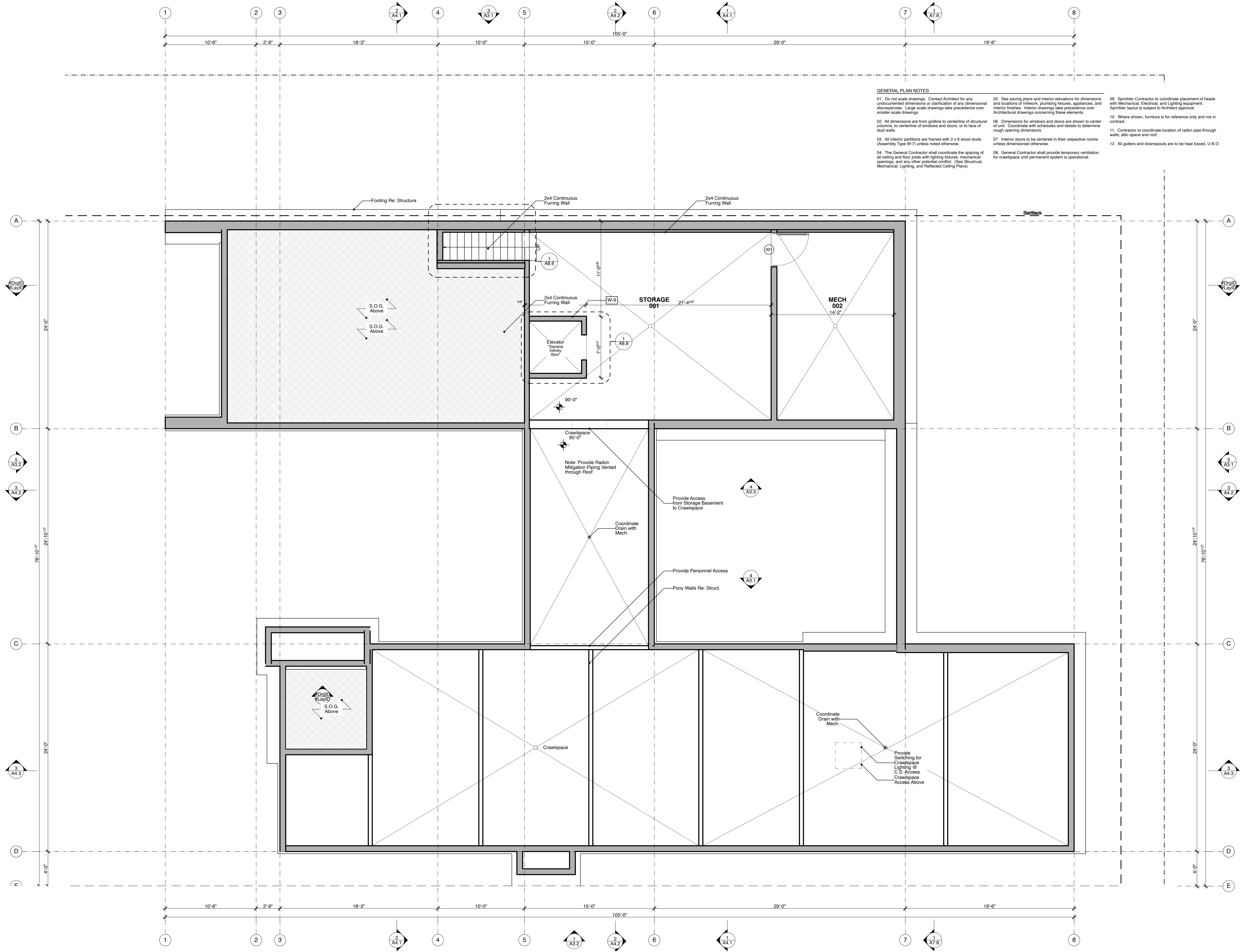
Drawn By: DP Checked By: JJ

Basement Level Plan

A2.1

GENERAL PLAN NOTES

- 01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- 02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
- 03. All interior partitions are framed with 2 x 6 wood studs (Assembly Type W7) unless noted otherwise.
- 04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- 05. See paving plans and interior elevations for dimensions and locations of masonry, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
- 06. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules and details to determine rough opening dimensions.
- 07. Interior doors to be centered in their respective rooms unless dimensioned otherwise.
- 08. General Contractor shall provide temporary ventilation for crawlspace until permanent system is operational.
- 09. Sprinkler Contractor to coordinate placement of heads with Mechanical, Electrical, and Lighting equipment. Sprinkler layout is subject to Architect approval.
- 10. Where shown, furniture is for reference only and not in contract.
- 11. Contractor to coordinate location of radon pipe through walls, attic space and roof.
- 12. All gutters and downspouts are to be heat traced, U.N.O.

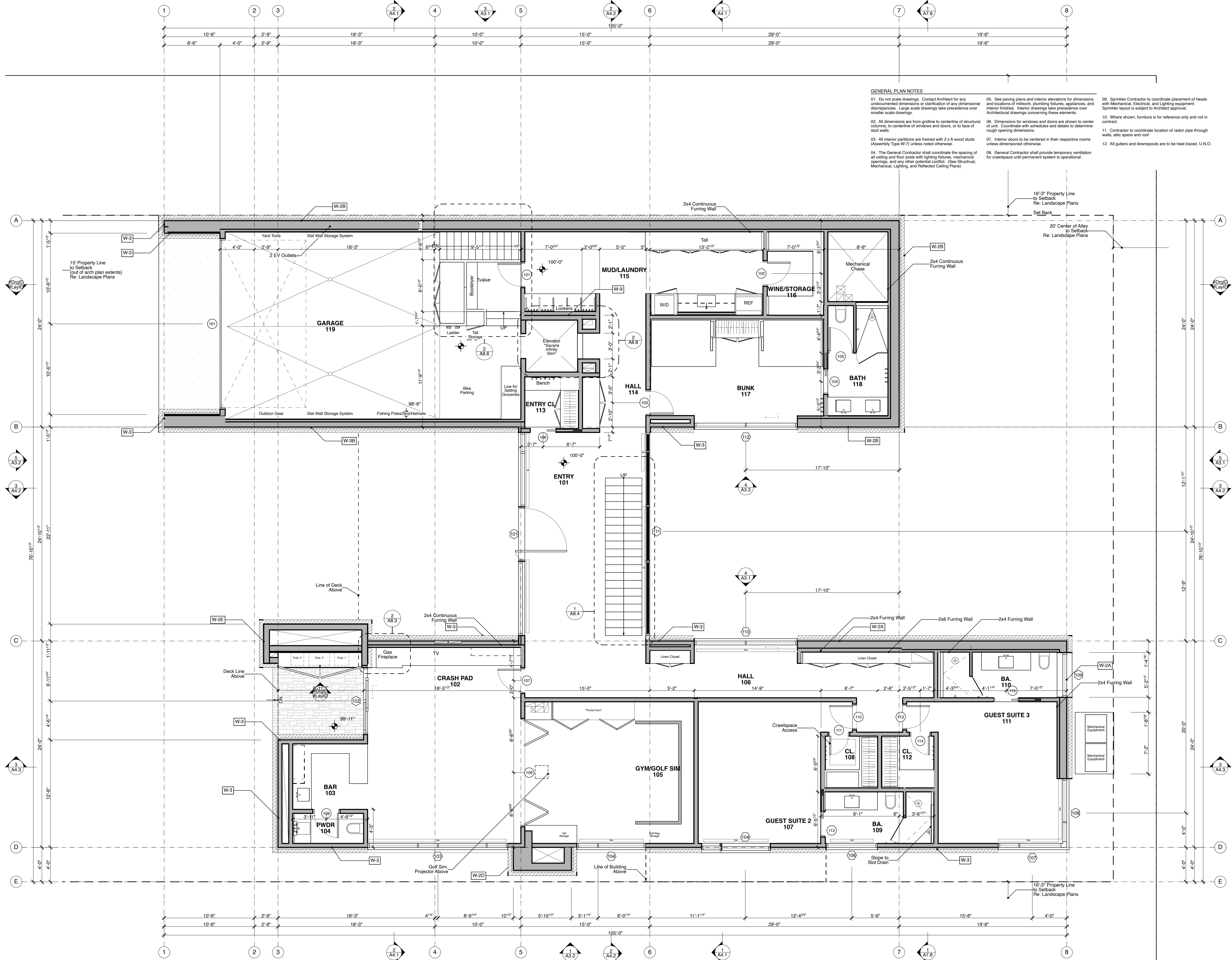


1 T.O. Garage Slab  
SCALE: 1/4" = 1'-0"



GENERAL PLAN NOTES

- 01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- 02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
- 03. All interior partitions are framed with 2 x 6 wood studs (Assembly Type W-7) unless noted otherwise.
- 04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- 05. See paving plans and interior elevations for dimensions and locations of millwork, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
- 06. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules and details to determine rough opening dimensions.
- 07. Interior doors to be centered in their respective rooms unless dimensioned otherwise.
- 08. General Contractor shall provide temporary ventilation for crawlspace until permanent system is operational.
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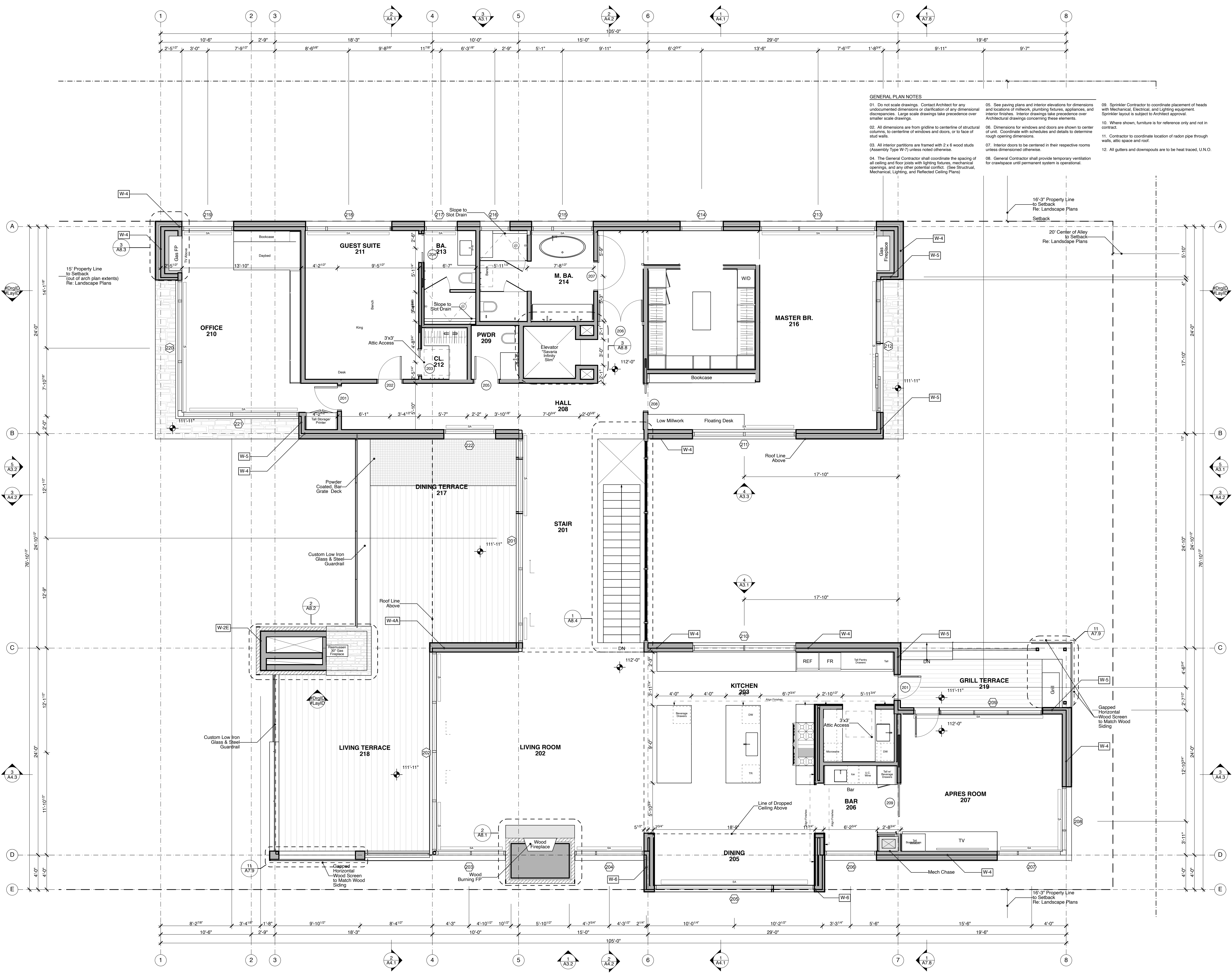
Issue/Revision Date  
03.25.22 MODR

Drawn By: DP Checked By: JJ  
Lower Level Plan

1 Lower Level Plan  
SCALE: 1/4" = 1'-0"

A2.2





**GENERAL PLAN NOTES**

01. Do not scale drawings. Contact Architect for any unannotated dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
03. All interior partitions are framed with 2 x 6 wood studs (Assembly Type W-7) unless noted otherwise.
04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
05. See paving plans and interior elevations for dimensions and locations of millwork, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
06. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules and details to determine rough opening dimensions.
07. Interior doors to be centered in their respective rooms unless dimensioned otherwise.
08. General Contractor shall provide temporary ventilation for crawlspace unit permanent system is operational.
09. Sprinkler Contractor to coordinate placement of heads with Mechanical, Electrical, and Lighting equipment. Sprinkler layout is subject to Architect approval.
10. Where shown, furniture is for reference only and not in contract.
11. Contractor to coordinate location of radon pipe through walls, attic space and roof.
12. All gutters and downspouts are to be heat traced, U.N.O.

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Upper Level Plan

**1** Upper Level Plan  
SCALE: 1/4" = 1'-0"

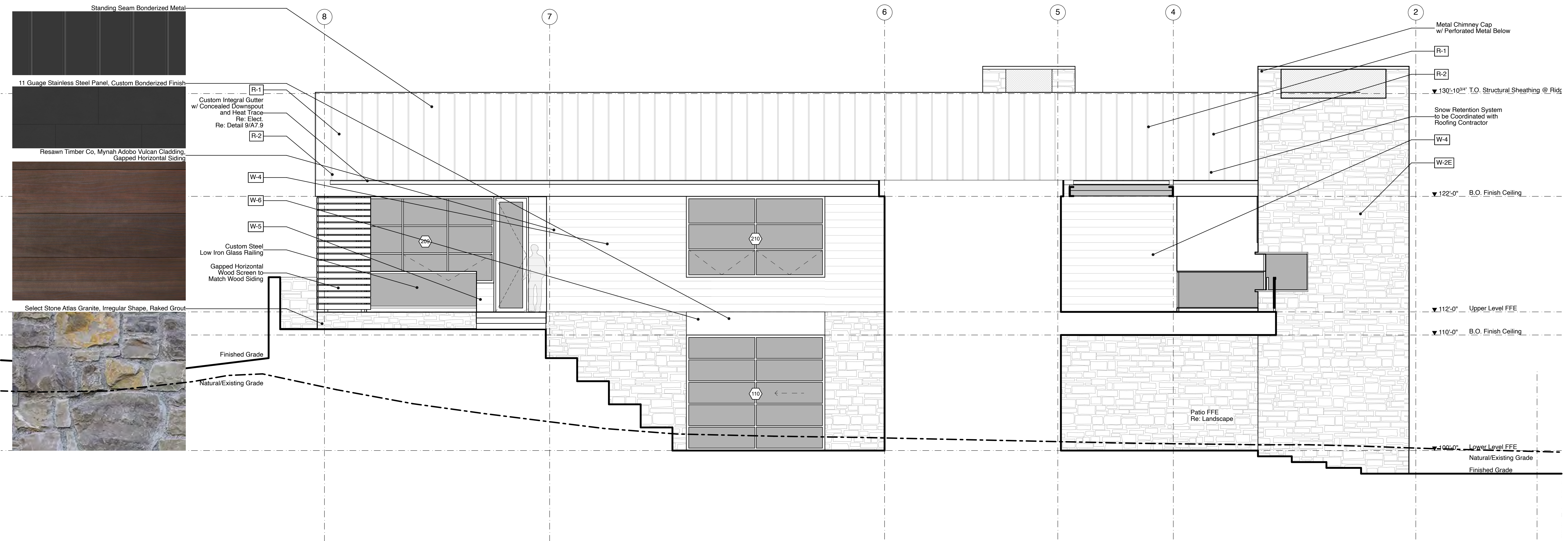
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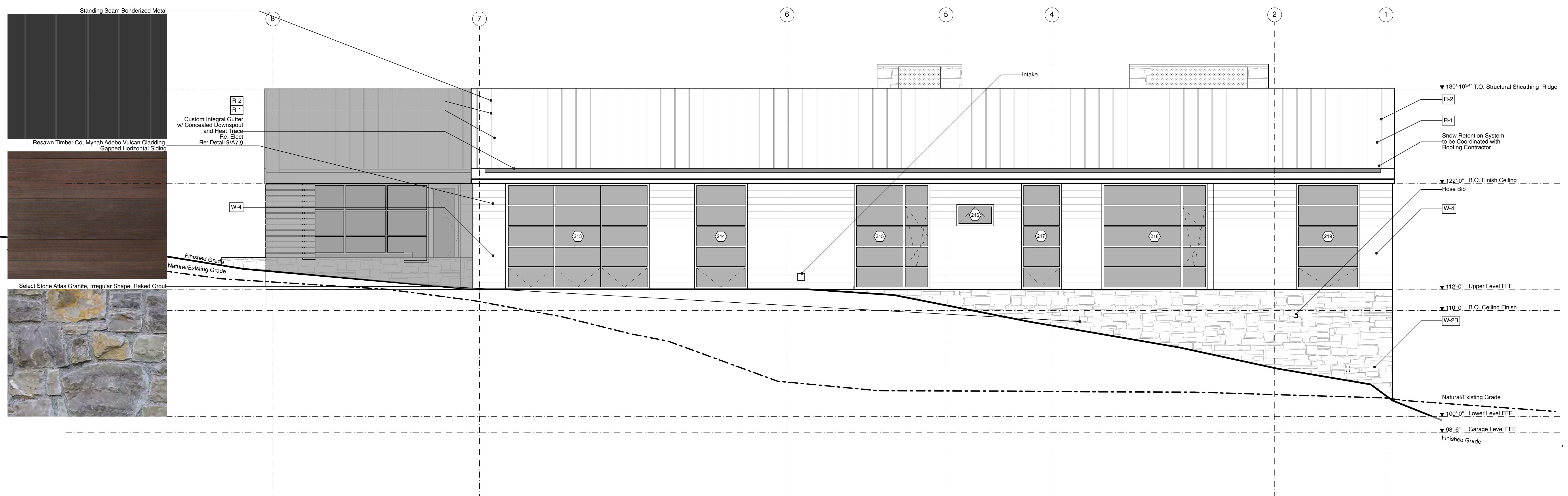


**ASSEMBLY FINISH TYPES**

- F-1 Slab on Grade at Crawlspace/Basement, CONC-1
- F-2 Slab on Grade at Garage, CONC-1
- F-3 Finish Floor at Wood Framing
- F-4 Wood Deck Over Conditioned Space, WD-EX3
- F-5 Wood Deck Over Unconditioned Space, WD-EX3
- F-6 Finish Floor at Steel Composite Framing
- F-7 Finish Floor at Wood Framing Over Unconditioned Space
- W-1 Foundation Wall
- W-2 Stone Veneer on Concrete, STN-EX1
- W-3 Stone Veneer on 2x Framing, STN-EX1
- W-4 Horizontal Wood Siding on Wood Framing, WD-EX1
- W-5 Horizontal Wood Siding on Wood Framing, Not Furred, WD-EX1
- W-6 Metal Siding on Wood Framing, MTL-EX1
- W-7 Typical Interior Wall
- W-8 (Not Used)
- W-9 2 hr Rated Elevator Shaft Wall
- R-1 Metal Standing Seam over Interior, MTL-EX2
- R-2 Metal Standing Seam over Exterior MTL-EX2
- R-3 EPDM Roof



**2 Southwest Courtyard Elevation**  
SCALE: 1/4" = 1'-0"



**1 Northeast Back Lot Elevation**  
SCALE: 1/4" = 1'-0"

**PRELIMINARY - NOT FOR CONSTRUCTION**

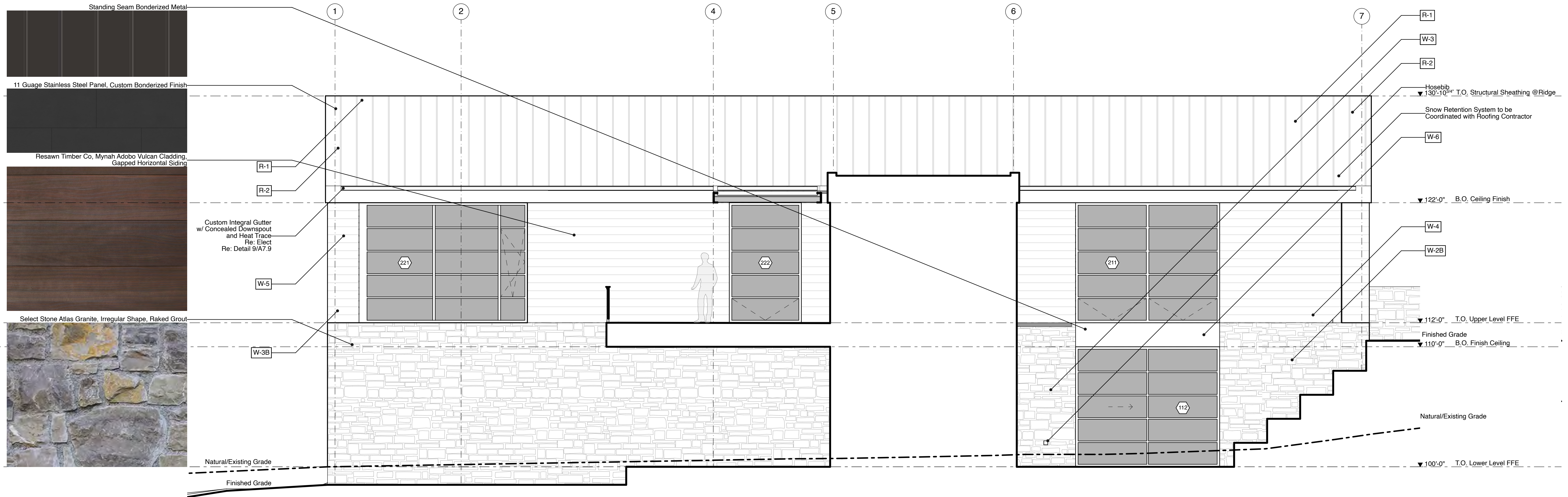
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Issue/Revision Date  
03.25.22 MODR

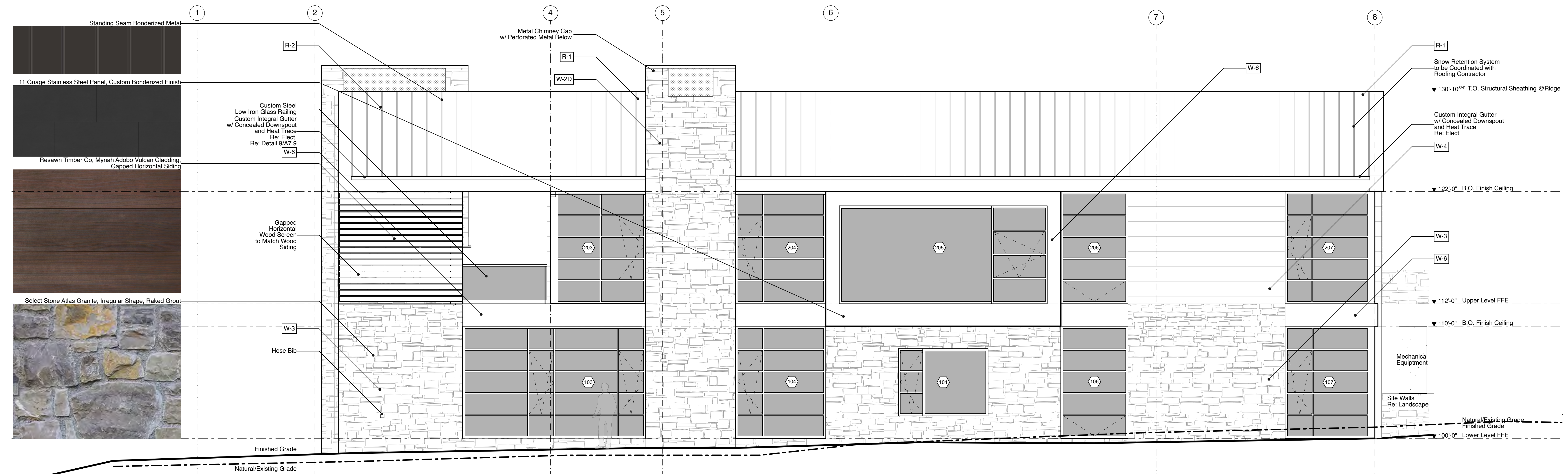
Drawn By: DP Checked By: JJ  
Exterior Elevations

**ASSEMBLY FINISH TYPES**

- F-1 Slab on Grade at Crawspace/Basement, CONC-1
- F-2 Slab on Grade at Garage, CONC-1
- F-3 Finish Floor at Wood Framing
- F-4 Wood Deck Over Conditioned Space, WD-EX3
- F-5 Wood Deck Over Unconditioned Space, WD-EX3
- F-6 Finish Floor at Steel Composite Framing
- F-7 Finish Floor at Steel Framing Over Unconditioned Space
- W-1 Foundation Wall
- W-2 Stone Veneer on Concrete, STN-EX1
- W-3 Stone Veneer on 2x Framing, STN-EX1
- W-4 Horizontal Wood Siding on Wood Framing, WD-EX1
- W-5 Horizontal Wood Siding on Wood Framing, Not Furred, WD-EX1
- W-6 Metal Siding on Wood Framing, MTL-EX1
- W-7 Typical Interior Wall
- W-8 (Not Used)
- W-9 2 hr Rated Elevator Shaft Wall
- R-1 Metal Standing Seam over Interior, MTL-EX2
- R-2 Metal Standing Seam over Exterior MTL-EX2
- R-3 EPDM Roof



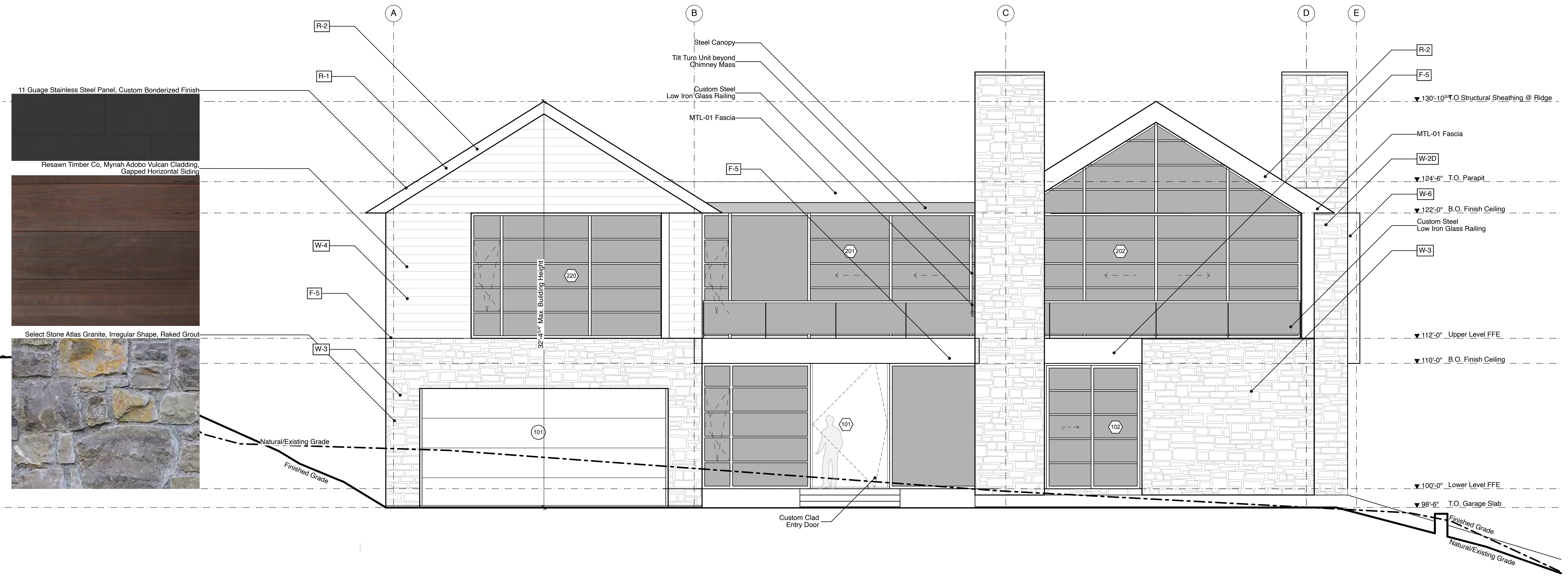
**2 Northwest Courtyard Elevation**  
SCALE: 1/4" = 1'-0"



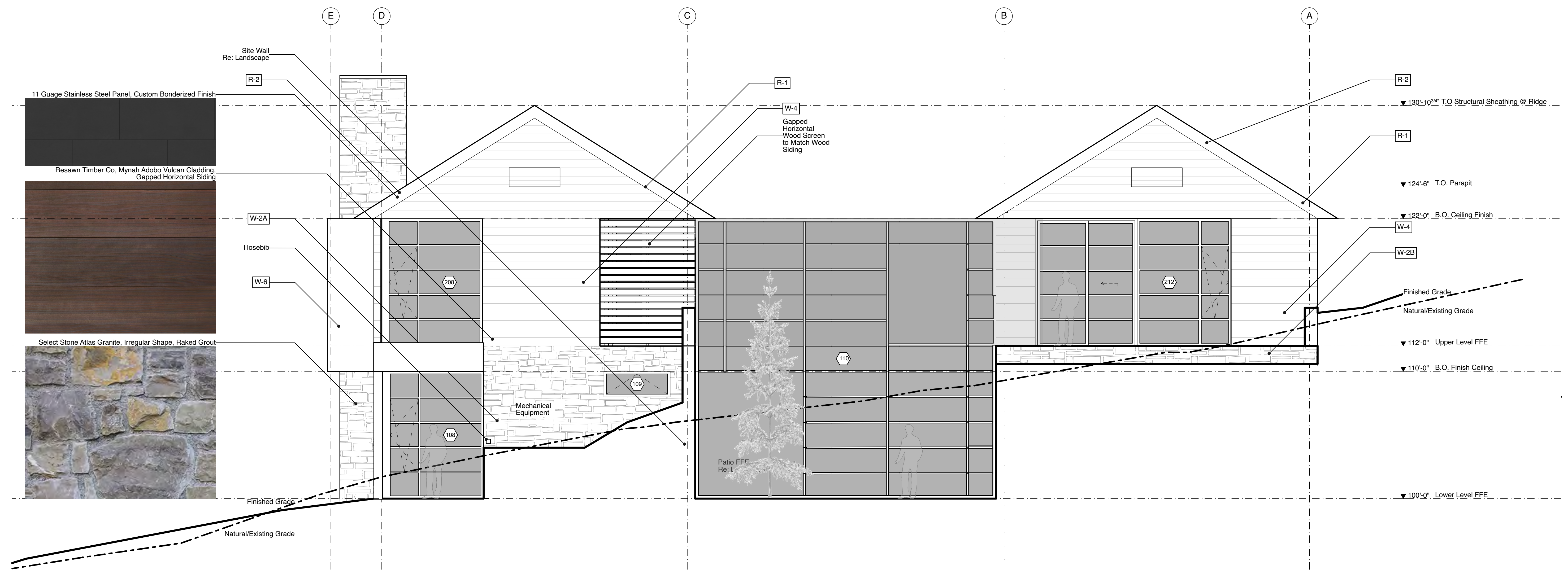
**1 Southeast 6th Street Elevation**  
SCALE: 1/4" = 1'-0"

**ASSEMBLY FINISH TYPES**

- [F-1] Slab on Grade at Crawlspace/Basement, CONC-1
- [F-2] Slab on Grade at Garage, CONC-1
- [F-3] Finish Floor at Wood Framing
- [F-4] Wood Deck Over Conditioned Space, WD-EX3
- [F-5] Wood Deck Over Unconditioned Space, WD-EX3
- [F-6] Finish Floor at Steel Composite Framing
- [F-7] Finish Floor at Wood Framing Over Unconditioned Space
- [W-1] Foundation Wall
- [W-2] Stone Veneer on Concrete, STN-EX1
- [W-3] Stone Veneer on 2x Framing, STN-EX1
- [W-4] Horizontal Wood Siding on Wood Framing, WD-EX1
- [W-5] Horizontal Wood Siding on Wood Framing; Not Rained, WD-EX1
- [W-6] Metal Siding on Wood Framing, MTL-EX1
- [W-7] Typical Interior Wall
- [W-8] (Not Used)
- [W-9] 2 hr Rated Elevator Shaft Wall
- [R-1] Metal Standing Seam over Interior, MTL-EX2
- [R-2] Metal Standing Seam over Exterior MTL-EX2
- [R-3] EPDM Roof



**2 Southwest Walnut Ave Elevation**  
SCALE: 1/4" = 1'-0"



**1 Northeast Alley Elevation**  
SCALE: 1/4" = 1'-0"

PRELIMINARY - NOT FOR  
CONSTRUCTION

McDermott Residence

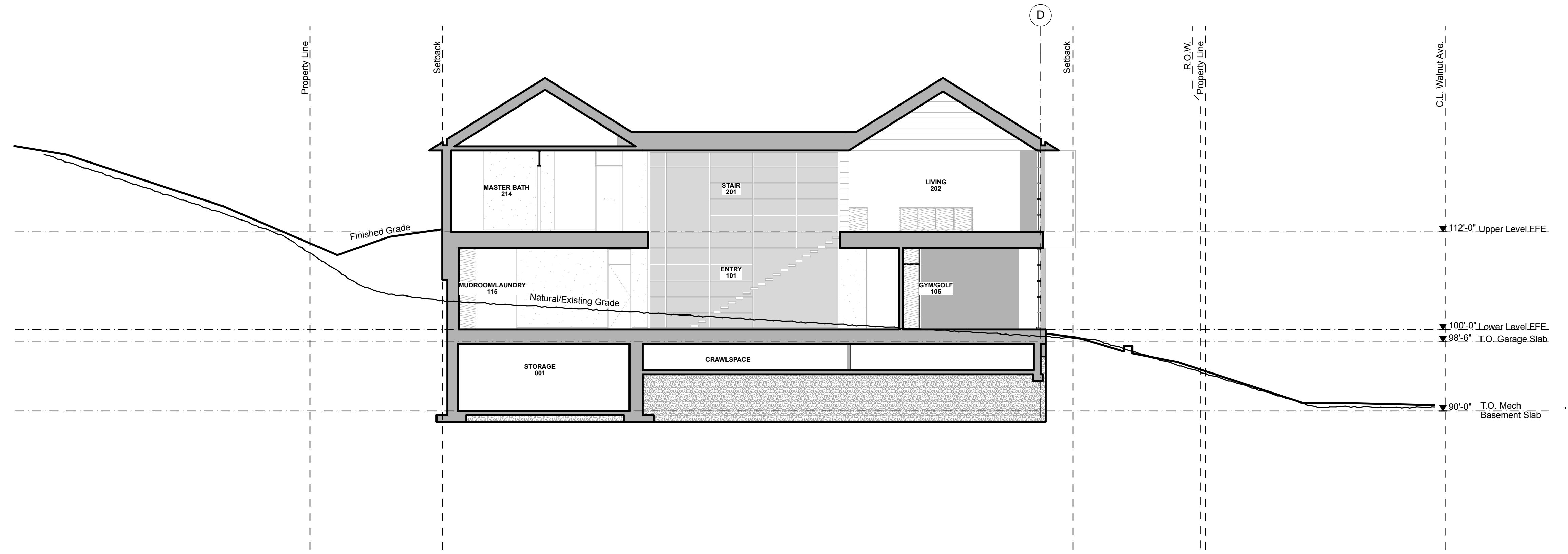
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Issue/Revision Date  
03.25.22 MODR

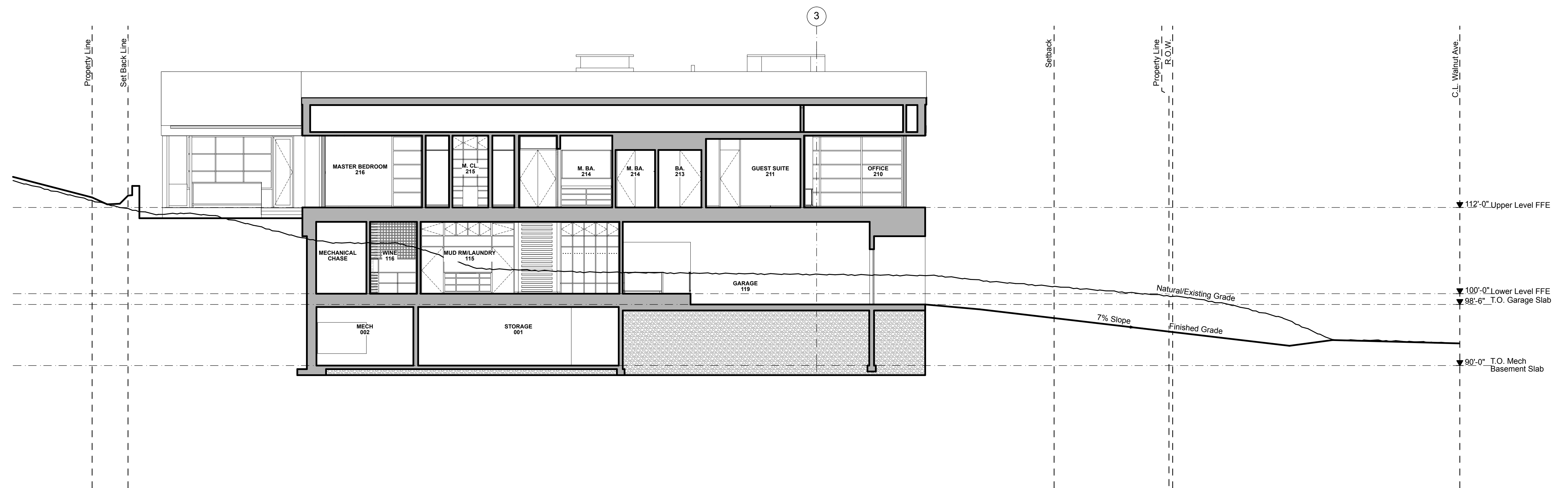
Drawn By: DP Checked By: JJ

Property Sections

A4.1



**2** Property Cross Section Northwest/Southeast  
SCALE: 1/8" = 1'-0"



**1** Property Cross Section Northeast/Southwest  
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR  
CONSTRUCTION

McDermott Residence

2028.00

Issue/Revision Date  
03.25.22 MODR

Drawn By: DP Checked By: JJ

Exterior Renders

A4.2

184



4 View From 6th  
SCALE: 1:2,990



3 View From Alley



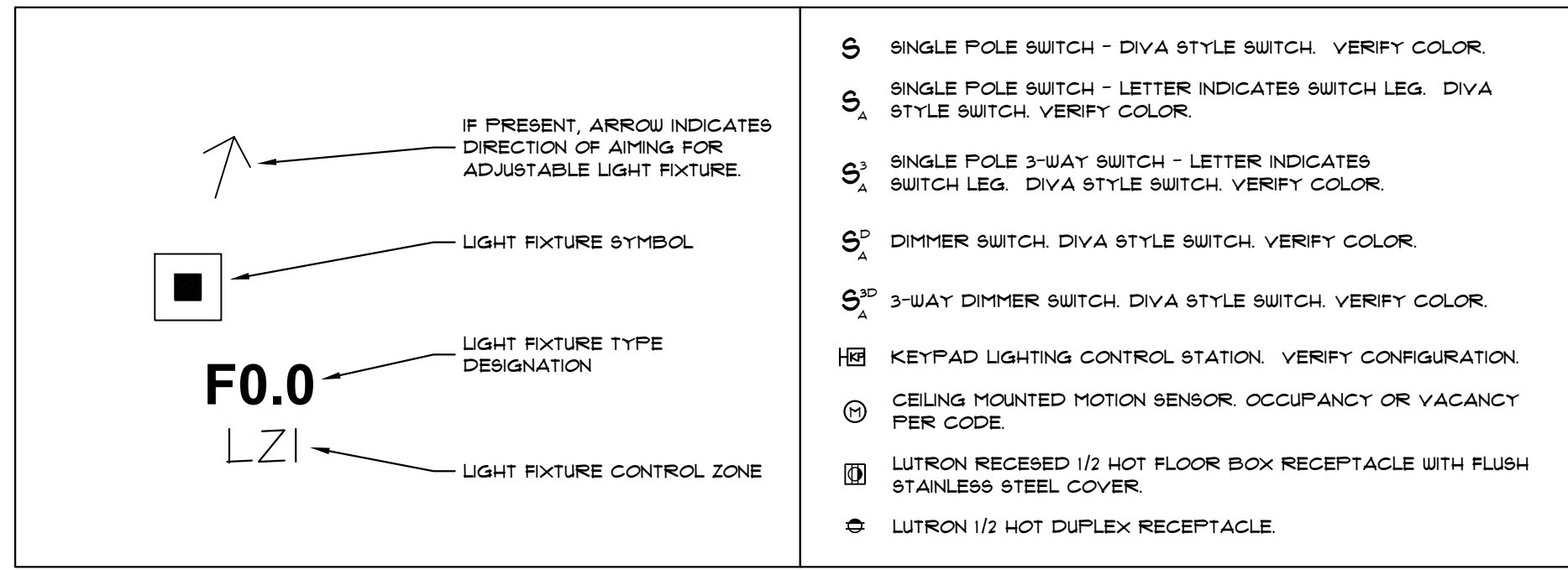
2 View From Corner of 6th and Walnut



1 View From Walnut Ave.



**LEGEND**



**SHEET INDEX**

- LT000 - GENERAL NOTES, FIXTURE SCHEDULE, LEGEND, AND SHEET INDEX
- LT001 - LIGHT FIXTURE DETAILS AND CONTROL ZONE SCHEDULE
- LT100 - BASEMENT LEVEL LIGHTING RCP
- LT200 - LOWER LEVEL LIGHTING RCP
- LT300 - UPPER LEVEL LIGHTING RCP
- LT400 - LANDSCAPE LIGHTING PLAN

**LIGHT FIXTURE SCHEDULE**

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F1.1	□	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MID-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-55-C1-D-93A
F1.1.1	□	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MID-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-55-C1-D-93A
F1.2	□	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT SPOT OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-15-C1-VERIFY-93A
F1.2.1	■	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT SPOT OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-15-C1-D-93A
F1.3	□	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT MEDIUM FLOOD OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-24-C1-VERIFY-93A
F1.3.1	□	110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT MEDIUM OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS, WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-24-C1-D-93A
F1.4	■	110	12W LED 2100K	0-10V	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE BEVELED SHOWER RATED TRIM, 40° FLOOD OPTICS, AND I.C. RATED HOUSING.	SPECIALTY LIGHTING	CR4D-8A-FL-ZS-AU-C20-21-40-C1-VERIFY-93A
F1.5	↑	110	32W LED 2100K	0-10V	✓	Q) LIGHT SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE TRIM, WIDE FLOOD OPTICS, I.C. RATED HOUSING AND ELV DIMMING TRANSFORMER.	SPECIALTY LIGHTING	CR4D-THCA-DR2-Z-AU-C20-21-55-C1-VERIFY-93A
F1.6	■	120	12W LED 2100K	ELV	✓	3" SQUARE FIXED RECESSED LED DOWN LIGHT WITH FLANGELESS, BEVELED TRIM, LINEAR SPREAD DIFFUSION LENS, FLOOD OPTICS, I.C. RATED SHALLOW HOUSING AND ELV DIMMING TRANSFORMER, VERIFY FINISH (TBD).	ENTRA	EN35-LO921-A-A-1   EN35-L-B-9-W EL29LL
F1.7	□	110	12W LED 2100K	ELV	✓	5" SQUARE SURFACE MOUNTED WARM WHITE LED DOWN LIGHT WITH WHITE FINISH.	DMP	DRD4-N-JO DRD58-4-9-10-9-21-
F1.8	□	110	20W LED 2100K	0-10V	✓	1" x 1" SQUARE SURFACE MOUNTED WARM WHITE LED CLOSET LIGHT WITH BRUSHED NICKEL FINISH.	WAC LIGHTING	FM-015Q-930-BN
F2.1	-----	24	4.5W/FT LED 2100K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH LENSED, LOW PROFILE EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH483-11-8V-RB-90-SUM269-4-8-21-VERIFY-FI-VERIFY
F2.2	---#---#---	24	3W/FT LED 2100K	ELV	✓	WARM WHITE LED WET LISTED TAPE LIGHTING SYSTEM WITH MEDIUM SCALE 45° EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH4C5-P-9V-RB-90-8W5269-3-0-21-VERIFY-FI-VERIFY
F2.3	=====	24	12W INTEGRAL LED 2100K	0-10V	✓	WARM WHITE HIGH CRI LED GRAZE LIGHT W/ GRAZE OPTICS AND LOUVER CHANNEL. PROVIDE MANUFACTURER'S RECOMMENDED REMOTE DIMMABLE TRANSFORMER AS REQUIRED.	ACOLYTE	ATOM-80-24-12-G5-21-20x35-VERIFY-010
F2.4	=====	110	36W LED 3000K	PER XPMR	✓	4" WARM WHITE LED DRIVE-OVER IN-GRADE LINEAR GRAZE FIXTURE.	INTERLUX	F8J-48-H-30-LL-24-5048 D-520-24006
F2.5	---#---#---	24	3W LED 2100K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH 15" GRAZE CLEAR LENS, EXTRUSION, AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH48309-0-9V-RB-90-3-0-21-VERIFY-FI-VERIFY
F3.1	■	12	2W LED 3000K	NON DIM	✓	DISCRETE ADJUSTABLE BEAM MOUNTED ACCENT LIGHT W/ WIDE FLOOD OPTICS.	HK LIGHTING	ZXL08-50-65A12V-3-30-26-VERIFY-LVR-CM2
F3.2	┆	120	6W LED 2100K	0-10V	✓	EXTERIOR RECTANGULAR WALL RECESSED PATH LIGHT.	BEGA	33 093 + K21
F3.3	■	120	4W LED 2100K	0-10V	✓	RECTANGULAR WALL RECESSED PATH LIGHT, VERIFY SPEC WITH BOCCO BALL CURB DESIGN.	LIGHT & GREEN	LG-4002-CL2-MRI1-5L-7K-90-38-0-10
F4.1	◇	110	12W LED 2100K	0-10V	✓	SMALL SCALE ADJUSTABLE, FLANGELESS ACCENT LIGHT W/ FLOOD OPTICS.	DESIGN PLAN	LT510-1-11-F-Q-NV-VERIFY
L1.1	◁	12	6W LED 2100K			SMALL SCALE STAKE MOUNTED ADJUSTABLE LOW OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT, CAST BRONZE HOUSING, WIDE FLOOD OPTICS, BRONZE LIVING PATINA FINISH.	AURORA LIGHT	H8L1-LM-60-6-WF-30-H-AG8-BLP-XD
L1.2	◁	12	4W LED 2100K			SMALL SCALE STAKE MOUNTED ADJUSTABLE MEDIUM OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT, CAST BRONZE HOUSING, WIDE FLOOD OPTICS, BRONZE LIVING PATINA FINISH.	AURORA LIGHT	H8L1-LM-60-4-WF-30-H-AG8-BLP-XD
DL	┆					WALL MOUNTED LUMINOUS MIRROR	BY ARCHITECT.	
DL	┆					WALL MOUNTED ART LIGHT.	BY ARCHITECT.	
DL	⊕					DECORATIVE SUSPENDED PENDANT	BY ARCHITECT.	
DL	⊕					CORDLESS TABLE LAMP	BY ARCHITECT.	
DL	⊕					NIGHT STAND TABLE LAMP.	BY ARCHITECT.	

**LIGHTING SPECIFICATIONS AND GENERAL REQUIREMENTS**

**GENERAL RESPONSIBILITIES**

- ALL LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS SHALL GOVERN AND BE APPLIED TO ALL THE WORK REQUIRED TO COMPLETE THE DOCUMENTED LIGHTING DESIGN, INCLUDING BUT NOT LIMITED TO THE NEC AND TITLE 24.
- IT IS THE GENERAL AND ELECTRICAL CONTRACTOR'S/ELECTRICAL ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE COMPLETE INSTALLATION IS IN COMPLIANCE WITH ALL CODES, INCLUDING ITEMS SUCH AS BUT NOT LIMITED TO TITLE 24, GFCI AND AFCI LIGHTING CIRCUITS, THE GROUNDING OF ALL FIXTURES AND PROPER VOLTAGE DROP CALCULATIONS.
- BOTH THE GENERAL AND ELECTRICAL CONTRACTORS SHALL FIELD VERIFY AND COORDINATE THE LOCATIONS OF ALL LIGHTING FIXTURES AND DETAILS WITH ALL DISCIPLINES PRIOR TO ROUGH-IN AND PURCHASE OF ANY FIXTURES.
- ANY CONFLICTS BETWEEN THE LIGHTING DESIGN AND ALL OTHER DISCIPLINES INCLUDING BUT NOT LIMITED TO FRAMING, STRUCTURAL, HVAC AND PLUMBING SHALL BE IDENTIFIED AND COORDINATED WITH THE ARCHITECT, RNLD AND THE CONFLICTING DISCIPLINE.
- THE GENERAL AND ELECTRICAL CONTRACTOR SHALL COORDINATE LIGHT FIXTURE MOUNTING/INSTALLATION REQUIREMENTS LOCATED IN MILLWORK WITH THE MILLWORK CONTRACTOR TO ENSURE CONCEALMENT OF LIGHTING SOURCES AND CONDUCTORS AS REQUIRED.
- THE ELECTRICAL CONTRACTOR PROVIDE AND SIZE ALL REMOTE LOW VOLTAGE TRANSFORMERS AND POWER SOURCES AS REQUIRED PER THE SPECIFIED MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE ELECTRICAL CONTRACTOR TO PROVIDE ALL CABLE POWER FEEDS AND CONNECTORS FOR LINEAR LED SYSTEMS AS REQUIRED PER THE SPECIFIED MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**ARCHITECTURAL LIGHTING FIXTURE SPECIFICATIONS**

- ANY CONFLICTS AND/OR DISCREPANCIES WITH THE SPECIFIED CATALOG NUMBERS WHEN ORDERING THE FIXTURES SHALL BE REVIEWED WITH RNLD PRIOR TO COMPLETING THE ORDER.
- EXACT FINISHES OF DOWN LIGHT TRIMS AND REFLECTORS, FLOOD LIGHT TRIMS, STEP LIGHT FACEPLATES, GLASS ELEMENTS, METAL COMPONENTS AND ALL OTHER VISIBLE FIXTURE ELEMENTS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT, INTERIOR DESIGNER, AND THE CLIENT REPRESENTATIVE PRIOR TO FINAL SPECIFICATION AND PURCHASING.
- RNLD RECOMMENDS THAT ALL DOWN LIGHT TRIM RINGS BE PAINTED TO MATCH THE CEILING FINISH. IN CEILING CONDITIONS WITH WOOD OR PATTERNED FINISH, THE FAUX PAINTING SHOULD BE COMPLETED AFTER THE CUSTOM FINAL AIM AND FOCUS OF THE LIGHT FIXTURES.

**DECORATIVE LIGHTING FIXTURE SPECIFICATIONS**

- ALL DECORATIVE FIXTURE SIZES AND WEIGHTS TO BE COORDINATED WITH THE GENERAL AND ELECTRICAL CONTRACTORS TO ENSURE THAT PROPER BLOCKING IS IN PLACE TO SUPPORT AND MOUNT THE FIXTURES.
- ALL DECORATIVE FIXTURES TO BE DIMMABLE.

**SUBMITTALS AND SUBSTITUTIONS**

- THE ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHTING FIXTURE SUBMITTALS FOR REVIEW AND APPROVAL BY RNLD.
- ALL SPECIFICATIONS PROVIDED BY RNLD SHALL BE ADHERED TO BY ALL PARTIES AND MAY NOT BE SUBSTITUTED FOR ANY REASON WITHOUT PRIOR APPROVAL.
- IN ANY CASE REQUIRING A CHANGE TO THE LIGHTING FIXTURE SPECIFICATIONS AND/OR A SUBSTITUTION, ALL INFORMATION SHALL BE PROVIDED TO RNLD FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- RNLD SHALL NOT BE HELD RESPONSIBLE FOR ANY UNAPPROVED SUBSTITUTIONS AND/OR CHANGES TO THE LIGHTING PLANS, SPECIFICATIONS, CONTROL LOAD SCHEDULES, AND PROGRAMMING THAT ARE MADE WITHOUT THE APPROPRIATE APPROVALS.
- IN THE CASE OF A DISCREPANCY, THE FIXTURE DESCRIPTION LISTED ON THE FIXTURE SCHEDULE SHALL TAKE PRECEDENT OVER ANY APPROVED SUBMITTAL UNLESS OTHERWISE NOTED.

**LIGHTING PLAN FIXTURE LOCATIONS AND DIMENSIONS**

- ALL INTEGRATED LIGHTING IN THE MILLWORK AND OTHER DETAILS SHALL BE COORDINATED WITH THE ARCHITECT AND INTERIOR DESIGNER. ANY AND ALL SHOP DRAWINGS THAT RELATE TO LOCATIONS WHERE LIGHTING IS TO BE INTEGRATED SHALL BE PROVIDED TO RNLD FOR REVIEW AND COMMENT.
- GENERAL AND ELECTRICAL CONTRACTORS TO REFER TO EXACT DIMENSIONING AND CENTERLINES INDICATED ON THE LIGHTING PLANS PRIOR TO FRAMING AND COORDINATE ALL FIXTURE LOCATIONS WITH FRAMING, AS BUILT CONDITIONS AND ALL OTHER DISCIPLINES INCLUDING HVAC PLUMBING AND A/V TO AVOID CONFLICTS. ANY REQUIRED CHANGES SHALL BE REVIEWED BY RNLD.

**LIGHTING CONTROL DEVICES**

- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING THE PROPER SWITCHES AS SPECIFIED DEPENDANT ON LOAD TYPE, WATTAGE, MULTIPLE WAY SWITCHING AND DIMMING, AND DE-RATING FOR MULTIPLE GANGING OF SWITCHES AS DETERMINED BY THE MANUFACTURER.
- ELECTRICAL CONTRACTOR TO GANG MULTIPLE SWITCHES AND WIRE ALL MULTIPLE WAY SWITCHES AND DIMMERS AS INDICATED ON PLAN.
- EXACT LOCATIONS FOR ALL SWITCHES TO BE VERIFIED WITH ARCHITECT, INTERIOR DESIGNER AND CLIENT PRIOR TO ROUGH-IN. RNLD RECOMMENDS THAT STANDARD SWITCHES BE MOUNTED AT 48" ABOVE FINISHED FLOOR TO THE CENTERLINE OF SWITCH EXCEPT AT SPECIAL LOCATIONS.
- EXACT FINISHES FOR ALL STANDARD LIGHTING TOGGLE AND DIMMING SWITCHES AND THEIR ASSOCIATED FACEPLATES TO BE DETERMINED BY THE ARCHITECT, INTERIOR DESIGNER, CLIENTS AND/OR CLIENT REPRESENTATIVE.

**LIGHTING CONTROL SYSTEM**

- SYSTEMS CONTRACTOR TO INSTALL A LUTRON HOMEWORKS LIGHTING CONTROL SYSTEM AS PRESCRIBED BY THE CLIENTS. RNLD SHALL NOT SPECIFY ANY COMPONENTS OF CONTROL SYSTEM OTHER THAN CONTROL ZONES.
- SYSTEMS CONTRACTOR TO VERIFY EXACT QUANTITY, LOCATION, CONFIGURATION AND MOUNTING HEIGHTS FOR ALL LIGHTING CONTROL SYSTEM KEYPADS.
- SYSTEMS CONTRACTOR TO VERIFY FINISH AND COLOR OF ALL KEYPADS WITH ARCHITECT AND INTERIOR DESIGNER.
- SYSTEMS CONTRACTOR TO VERIFY MANUFACTURER'S CERTIFICATION TO INSTALL THE SPECIFIED LIGHTING CONTROL SYSTEM, AND REGISTER FOR TRAINING IF NOT ALREADY CERTIFIED.
- SYSTEMS CONTRACTOR TO ENSURE THAT ALL PROPER WIRING IS IN PLACE FOR COMMUNICATION BETWEEN MULTIPLE ENCLOSURE LOCATIONS.
- SYSTEMS CONTRACTOR SHALL COORDINATE THE ENTIRE LIGHTING CONTROL SYSTEM WITH THE A/V CONSULTANT, MEP AND ARCHITECT TO DETERMINE EXACT LOCATIONS FOR ALL ENCLOSURES, MAIN CCU AND COMMUNICATION BETWEEN ALL SYSTEMS.
- SYSTEMS CONTRACTOR TO VERIFY CONFIGURATION OF ALL CONTROL DEVICES WITH OWNER.
- SYSTEMS CONTRACTOR TO BE AVAILABLE DURING BOTH DAYTIME AND NIGHTTIME HOURS TO PROGRAM FINAL LIGHT LEVELS AS PRESCRIBED BY RNLD.

**TITLE 24**

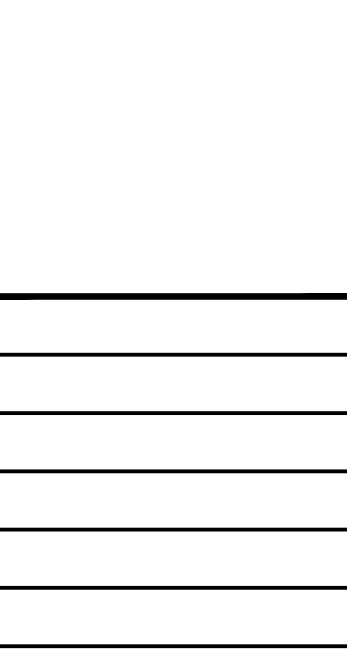
- THE PROPOSED LIGHTING DESIGN SHALL COMPLY WITH THE FOLLOWING LIGHTING MEASURES:
  - A. MANDATORY (CBEE5 150.0 (K))
- OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY PHOTOCONTROL, ASTRONOMIC TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

**CUSTOM FINAL ADJUSTMENTS, ON SITE AIMING AND FINAL FOCUS**

- ELECTRICAL CONTRACTOR IS TO PROVIDE NEW LAMPS FOR ALL LIGHTING FIXTURES AS SPECIFIED BY RNLD DURING THE TRIM OUT OF ALL FIXTURES.
- ELECTRICAL CONTRACTOR TO PRE-AIM ALL LIGHT FIXTURES AS INDICATED ON LIGHTING PLANS BY RNLD.
- RNLD SHALL COORDINATE WITH THE GENERAL AND ELECTRICAL CONTRACTORS TO SCHEDULE A FINAL AIM AND FOCUS DURING NIGHT TIME HOURS AFTER ALL ART WORK AND FURNISHINGS ARE IN PLACE, AT WHICH TIME ADDITIONAL MATERIALS SUCH AS LAMPS, SCAFFOLDING, LADDERS AND ADDITIONAL PERSONNEL MAY BE REQUIRED TO ADJUST FIXTURES.



527 N HIGHWAY 101 SUITE A  
SOLANA BEACH, CA 92075



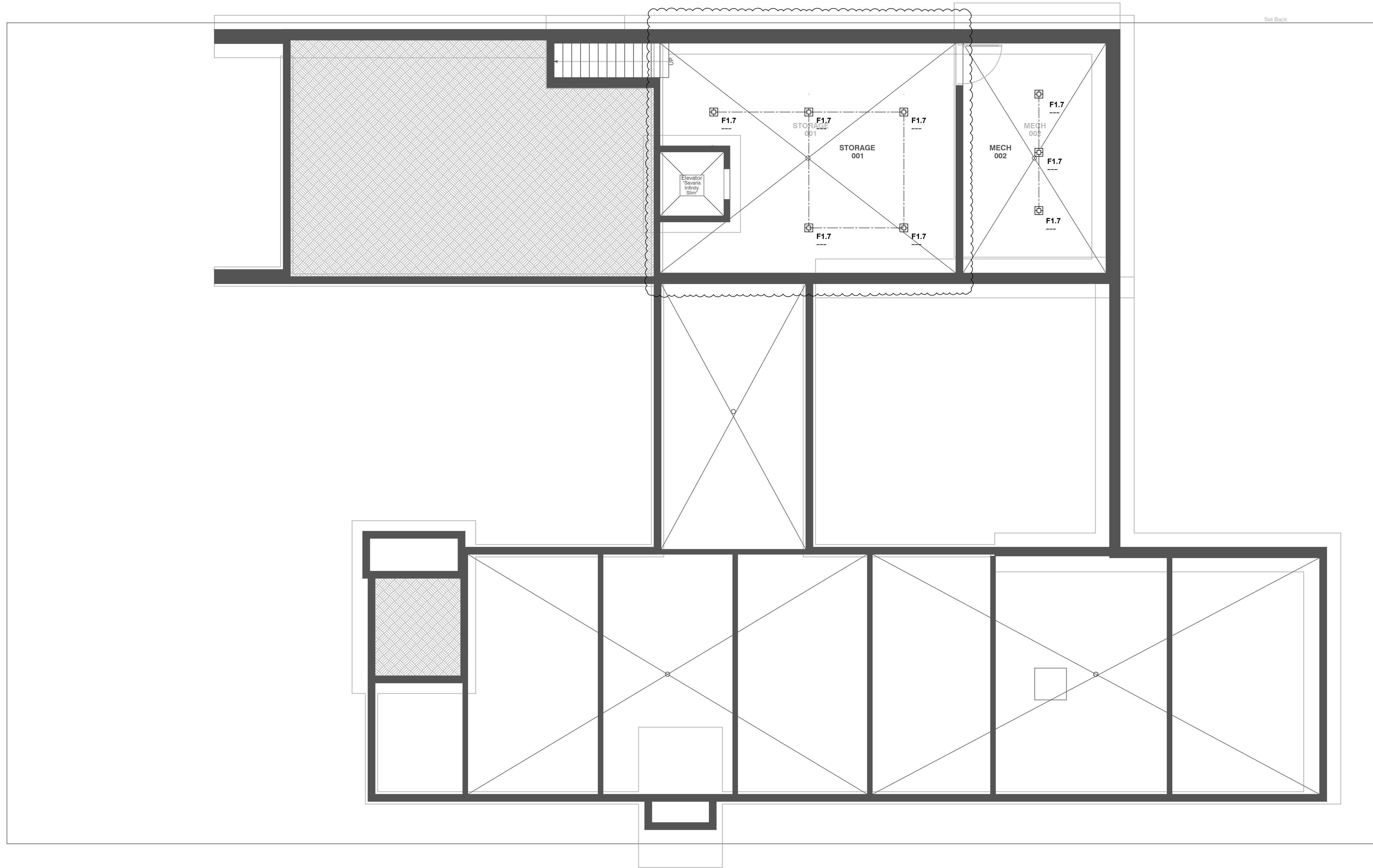
**MCDERMOTT RESIDENCE**  
 KETCHUM, ID  
 GENERAL NOTES, FIXTURE SCHEDULE, LEGEND, AND SHEET INDEX

SCALE  
 DRAWN: A.M./G.N.  
 DATE: 03/15/22

LT000

**BASEMENT LEVEL LIGHTING RCP**

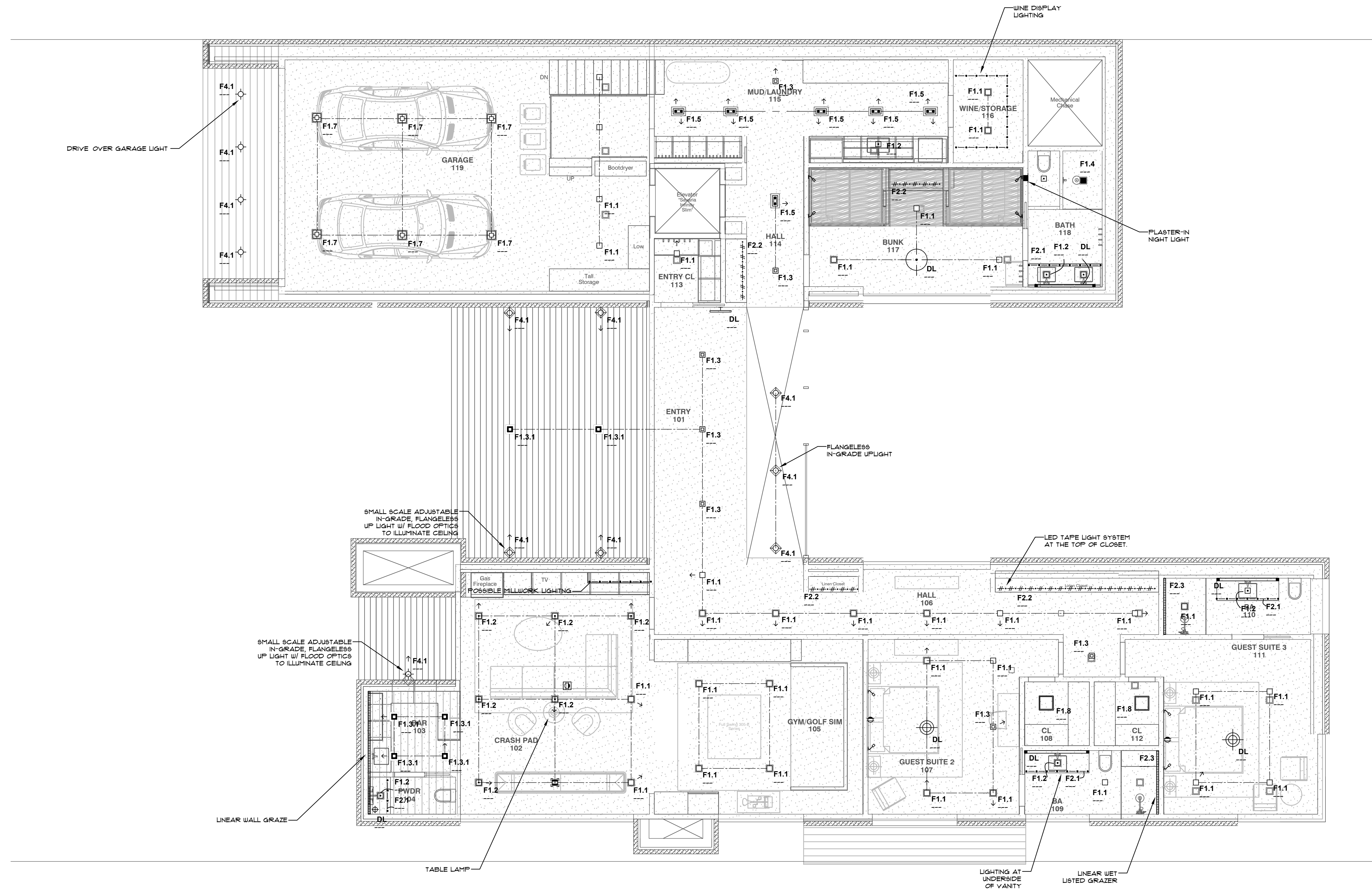
3/16" = 1'-0"



**MCDERMOTT RESIDENCE**  
**KETCHUM, ID**  
**BASEMENT LEVEL LIGHTING RCP**

SCALE: AS SHOWN  
 DRAWN: A.M./G.N.  
 DATE: 03/15/22

**LT100**



MAIN LEVEL LIGHTING RCP  
 3/16" = 1'-0"

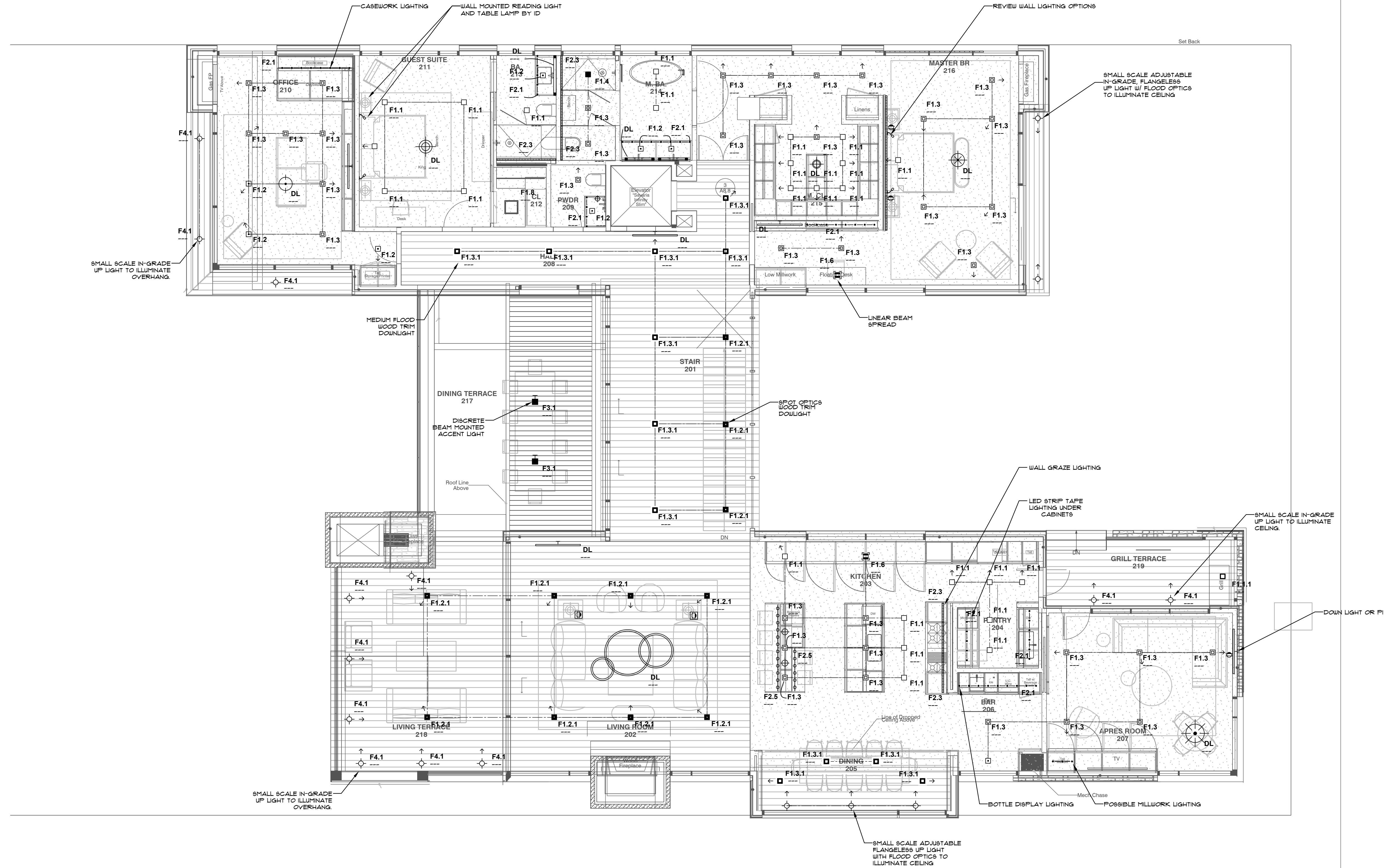
**MCDERMOTT RESIDENCE**

KETCHUM, ID

MAIN LEVEL LIGHTING RCP

SCALE	AS SHOWN
DRAWN	A.M./G.N.
DATE	03/15/22

LT200



UPPER LEVEL LIGHTING RCP PLAN  
3/16" = 1'-0"

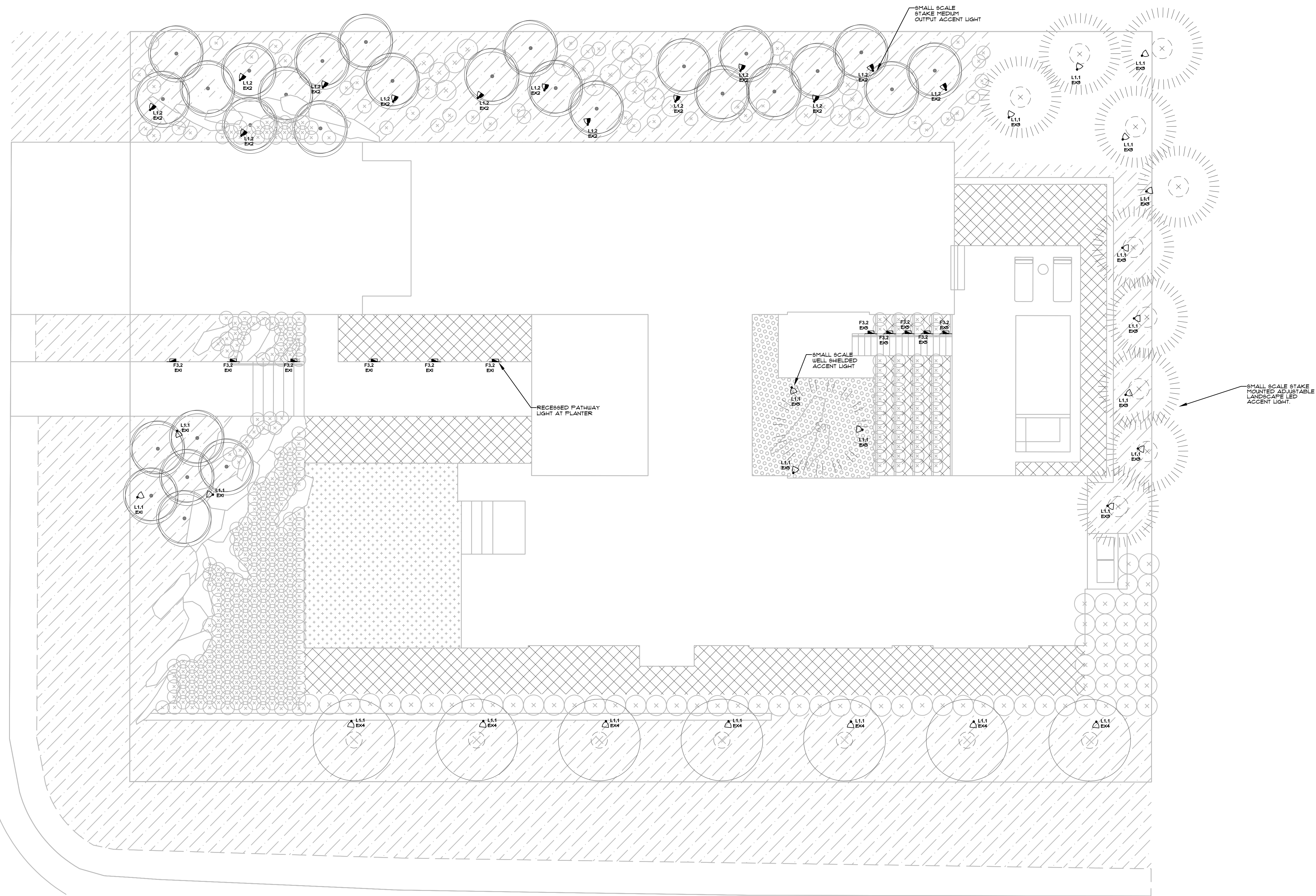
**MCDERMOTT RESIDENCE**  
KETCHUM, ID  
UPPER LEVEL LIGHTING RCP PLAN

SCALE	AS SHOWN
DRAWN	A.M./G.N.
DATE	03/15/22

LT300

LANDSCAPE LIGHTING PLAN

1/8" = 1'-0"



**MCDERMOTT RESIDENCE**  
KETCHUM, ID  
LANDSCAPE LIGHTING PLAN

SCALE: AS SHOWN  
DRAWN: A.M./G.N.  
DATE: 05/17/22

**LT400**




Lighting Specifications and System Instructions  
for  
**McDermott Residence**





San Diego, CA

Prepared  
January 07, 2021

# LIGHT FIXTURE SCHEDULE










TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
Fl.1	□	110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MUD-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-55-CI-VERIFY-93A
Fl.1.1	□	110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MUD-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-55-CI-D-93A
Fl.2	▣	110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT SPOT OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-15-CI-VERIFY-93A
Fl.2.1	■	110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT SPOT OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM..	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-15-CI-D-93A
Fl.3	▣	110	18W LED 2700K	ELV		3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT MEDIUM FLOOD OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-24-CI-VERIFY-93A
Fl.3.1	□	110	18W LED 2700K	ELV		3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT MEDIUM OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-24-CI-D-93A
Fl.4	■	110	12W LED 2700K	0-10V	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE BEVELED SHOWER RATED TRIM, 40° FLOOD OPTICS, AND I.C. RATED HOUSING.	SPECIALTY LIGHTING	CR4D-6A-FL-Z6-AU-C20-2T-40-CI-VERIFY-93A
Fl.5	← 	110	32W LED 2700K	0-10V	✓	(2) LIGHT SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE TRIM, WIDE FLOOD OPTICS, I.C. RATED HOUSING AND ELV DIMMING TRANSFORMER.	SPECIALTY LIGHTING	CR4MD-TMCA-DR2-Z-AU-C20-2T-55-CI-VERIFY-VERIFY-93A
Fl.6	▣	120	12W LED 2700K	ELV	✓	3" SQUARE FIXED RECESSED LED DOWN LIGHT WITH FLANGELESS, BEVELED TRIM, LINEAR SPREAD DIFFUSION LENS, FLOOD OPTICS, I.C. RATED SHALLOW HOUSING AND ELV DIMMING TRANSFORMER. VERIFY FINISH (TBD).	ENTRA	EN36-LO92T-A-A-1   EN36-L-B-S-W EL26LL

# LIGHT FIXTURE SCHEDULE

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F1.1		110	12W LED 2700K	ELV	✓	5" SQUARE SURFACE MOUNTED WARM WHITE LED DOWN LIGHT WITH WHITE FINISH.	DMF	DRDH-N-JO DRD56-4-6-10-9-27-
F1.8		110	20W LED 2700K	0-10V	✓	1" X 1" SQUARE SURFACE MOUNTED WARM WHITE LED CLOSET LIGHT WITH BRUSHED NICKEL FINISH.	WAC LIGHTING	FM-076Q-930-BN
F2.1		24	4.5W/FT LED 2700K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM, WITH LENSED, LOW PROFILE EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAS9-M-SV-RB-90- SWMC65-4.5-27-VERIFY- FI-VERIFY
F2.2		24	3W/FT LED 2700K	ELV	✓	WARM WHITE LED WET LISTED TAPE LIGHTING SYSTEM WITH MEDIUM SCALE 45° EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAC5-F-SV-RB-90- SWS265-3.0-27-VERIFY- FI-VERIFY
F2.3		24	12W INTEGRAL LED 2700K	0-10V	✓	WARM WHITE HIGH CRI LED GRAZE LIGHT W/ GRAZE OPTICS AND LOUVER CHANNEL PROVIDE MANUFACTURER'S RECOMMENDED REMOTE DIMMABLE TRANSFORMER AS REQUIRED.	ACOLYTE	ATOM-80-24-12-GS-27- 20X35-VERIFY-010
F2.4		110	36W LED 3000K	PER XFMR	✓	4' WARM WHITE LED DRIVE-OVER IN-GRADE LINEAR GRAZE FIXTURE.	INTERLUX	F8U-48-H-30-LL-24_-SU48 D-520-24006
F2.5		24	3W LED 2700K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH 15° GRAZE CLEAR LENS, EXTRUSION, AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAS20G-G-SV-RB- 90-3.0-27-VERIFY-FI- VERIFY
F3.1		12	2W LED 3000K	NON DIM	✓	DISCRETE ADJUSTABLE BEAM MOUNTED ACCENT LIGHT W/WIDE FLOOD OPTICS.	HK LIGHTING	ZXL08-SQ- -GSA-12V-3- 30-26-VERIFY-LVR +CM2
F3.2		120	6W LED 2700K	0-10V	✓	EXTERIOR RECTANGULAR WALL RECESSED PATH LIGHT.	BEGA	33 053 + K21



# LIGHT FIXTURE SCHEDULE

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F3.3		120	4W LED 2700K	0-10V	✓	RECTANGULAR WALL RECESSED PATH LIGHT. VERIFY SPEC WITH BOCCE BALL CURB DESIGN.	LIGHT & GREEN	LG-4002-CL2-MR11-9L- 27K-90-38-0-10
F4.1		110	12W LED 2700K	0-10V	✓	SMALL SCALE ADJUSTABLE, FLANGELESS ACCENT LIGHT W/ FLOOD OPTICS.	DESIGN PLAN	LT570-1-1-F-Q-NV-VERIFY
LI.1		12	6W LED 2700K			SMALL SCALE STAKE MOUNTED ADJUSTABLE LOW OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	HSL11-LM-60-6-WF-30- H-AGS-BLP-XD
LI.2		12	4W LED 2700K			SMALL SCALE STAKE MOUNTED ADJUSTABLE MEDIUM OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	HSL11-LM-60-4-WF-30- H-AGS-BLP-XD
DL						WALL MOUNTED LUMINOUS MIRROR	BY ARCHITECT.	
DL						WALL MOUNTED ART LIGHT.	BY ARCHITECT.	
DL						DECORATIVE SUSPENDED PENDANT	BY ARCHITECT.	
DL						CORDLESS TABLE LAMP	BY ARCHITECT.	
DL						NIGHT STAND TABLE LAMP.	BY ARCHITECT.	

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



**The Core Family**

Welcome to the Core line of fixtures. You will find a rich diversity of technical and aesthetic options including 3 trim apertures, over 14 finishes including custom wood trims, flux and source selections featuring 90+ CRI fixed white and our world class Ambient Dim (Warm Dim), multiple beam spreads and plethora of driver and control choices. The Core downlight is created on a platform allowing a high degree of modification, so if you don't see what you are looking for, just ask. We are here to make your project right. You have found the Core 4" Square Adjustable Downlight and hope you enjoy the details

PROJECT:  TYPE:   
SPECIFIER:  DATE:

**Key Points (CR4D-SA)**

**Trim**

- Flanged or Flangeless
- One-piece die cast aluminum or machined wood trim
- 14 color options + custom RAL or wood available
- Flangeless includes plaster flange with lip

**Source / Optics**

- 4 beamspreads available- 15°, 24°, 40°, and 55°
- Adjustable to 45° with 358° of rotation
- Up to 2100 delivered lumens
- <2 MacAdam Steps (<2SDCM) for fixed white
- 90 CRI , 60+ R9 Standard- 95 CRI 90+R9 Optional with Ambient Dim
- 2700, 3000, 3500, 4000K, Ambient Dim standard. Tunable White and RGBW upon request
- Lifetime: L87B3>55,000 hours at 40°C Ambient

**Housing**

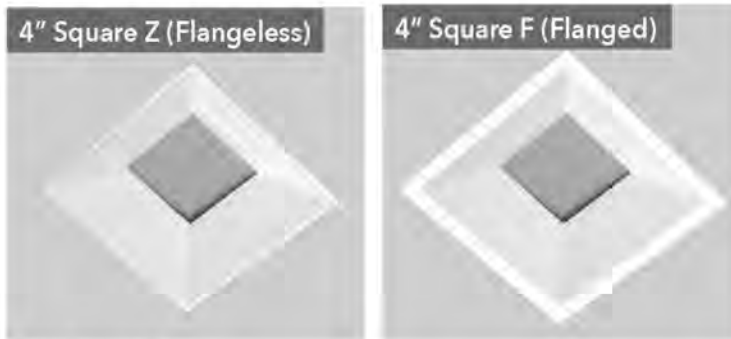
- Heavy gauge aluminum for new construction or remodel
- IC Rated / Airtight Housing approved for use in direct contact with insulation – Chicago Plenum Available
- Approved for 8 (4-in / 4-out) #12 AWG conductors rated for 90°C through wiring

- us Listed – Damp or wet with shower trim

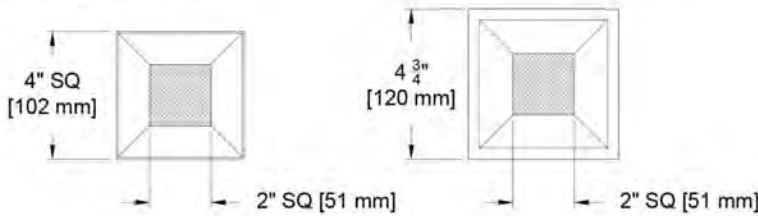
- Compliant to with Airtight Housing

**Driver**

- Universal 120-277v
- Prewired and integral to housing
- Flicker free to IEEE 1798-2015
- Phase, 0-10, DALI, Ecosystem or Wireless Control



Deep Regress Shown



**Aperture Options**



**Deep Regress (DR)**  
2" Optical Aperture  
Formerly known as 1009

**FL- Flat (Pin Hole)**  
2" Optical Aperture  
Formerly known as 1012

**Open Regress (OR)**  
3" Optical Aperture  
Formerly known as 1017

**Wood Finish**  
All apertures options

SQUARE Beamspreads	15°					24°					40°					55°				
	Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field		
Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°			
Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°			
Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°			
Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°			

All Measurements delivered or derived delivered lumens based on 3000K with Deep Regress. Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



## Ordering Codes

PROJECT: \_\_\_\_\_ SPECIFIER: \_\_\_\_\_  
DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Ordering Code Example: CR4D-SA-DR-Z-AU-C20-35-24-E2-P16-91A-91L-97L-CP-LR

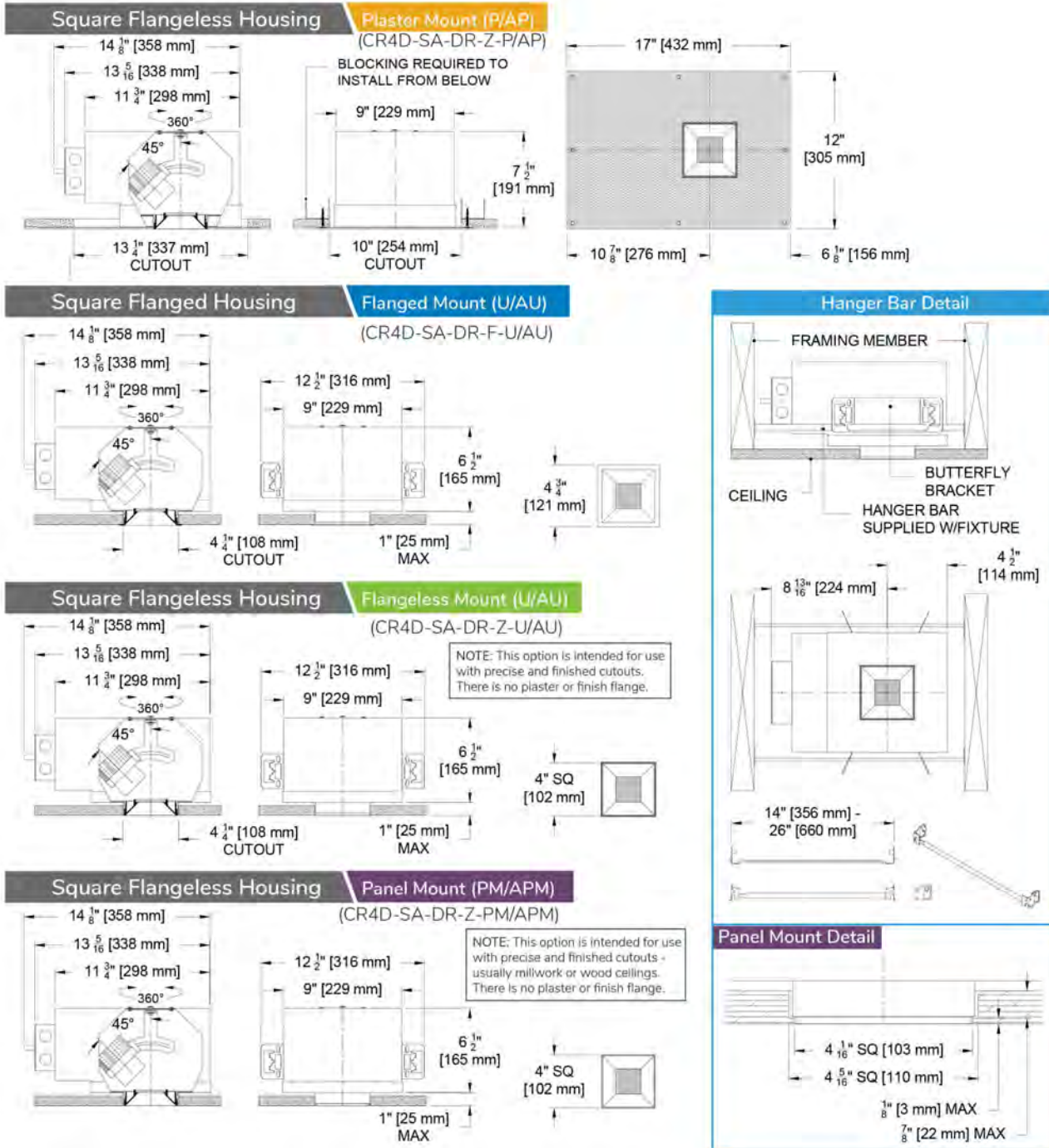
FIXTURE	APERTURE	TRIM	MOUNTING	SOURCE / WATTS	CCT	BEAM	DRIVER / CONTROL	TRIM FINISH	LENS ACCESSORY	ACCESSORIES
CR4D-SA										
Core 4" Square Adjustable Downlight	DR Deep Regress	F Flanged Trim	U Universal - Non IC Housing	Citizen	27 2700K	15 Spot	C1 0-10 1.0% UNV (120-277V) linear	P14 White Matte Paint	Aperture Lens	EM Emergency Pack
	OR Open Regress	Z Flangeless Trim	AU Universal IC/Airtight*	C14 15W 995Lm** 90+CRI, 60+R9	30 3000K	24 Narrow Flood	C2 ELV/Triac 1.0% (120V) linear	P16 Black Paint	91A Solite	EMP Emergency Pack with phase cut control system utilizing C1 driver
	FL Flat (Pin Hole)	FS Flanged Shower Trim*	P Plaster	C20 21W 1326Lm** 90+CRI, 60+R9	35 3500K	40 Flood	EldoLED	D Wood*	93A Frosted	CP Chicago Plenum
		ZS Flangeless Shower Trim*	AP Plaster IC/Airtight*	C28 30W*† 1857Lm** 90+CRI, 60+R9	40 4000K	55 Wide Flood	E1 0-10 0.1% UNV (120-277V) log	PXX Specialty Paint Color**	XXA Other Aperture Lens Treatments*	LR Lutron Wireless RF PowPak
		* Aperture Lens Required	PM Panel Mount	Ambient Dim	AD 3000-1900K		E2 DALI 0.1% UNV (120-277V) log	P01-P24	Reflector (lamp) Media	
			APM Panel Mount Airtight/IC*	A14 15W 656Lm 95+CRI, 90+R9 3000 to 1900K			E3 0-10 0.1% UNV (120-277V) linear	C Custom/RAL Color**	91L Solite	93L Frosted
			California Title Compliant *Cannot be used with C28 Source	Tunable White 90+CRI, 70+R9 1800-4000K or 2700-6500K*			Lutron	*Wood "D" Selection to be used with Z trim and PM mounting **See Specialty Finish Guide	97L Black Hexcel Louver	XXL Other reflector (lamp) media*
				RGBW 90+CRI, 60+R9 A			L2 Forward Phase 1.0% (120V) Hi-Lume 2 Wire LTEA		1 piece of Media per opening (aperture or reflector) can be selected *See Lens Accessory Guide	
				California Title 24 Compliant to JAB * Requires Active Cooling. Not compatible with LP driver. Must be used with Non IC housing †Does not Meet CA Title 24 with Flat aperture ** Based on Deep Regress 24" beam * Available upon request. Contact your regional sales manager			LD Digital Ecosystem 1.0% UNV (120-277V) ECO Hi-Lume SoftOn/Fade-to-Black LDE1			
							LP Digital Ecosystem* 0.1% UNV (120-277V) ECO Premier Hi-Lume SoftOn/Fade-to-Black, PEO0, 20W max			
							CA Wireless BLE 0.1% UNV (120-277V) log Casambi			
							* Not compatible with C28 Source			

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



## Ceiling Cutouts and Dimensions

Deep Recess Shown - other apertures similar



**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



**Photometric Table**

All data is based from goniometer measurements of production representative product. All lumen values can vary +/- 10% from LED manufacturer rated flux range. Measurements at 3000 CCT

SQUARE Beamspreads		15°				24°				40°				55°				
Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lum/Watt	Peak CD	10% Field	
Deep Regress	Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°
	Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°
	Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°
	Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°
Open Regress	Citizen C14	15	1173	78	7776	42°	1091	73	4167	52°	1112	74	2422	66°	1058	71	1357	74°
	Citizen C20	21	1564	74	10369	41°	1455	69	5559	57°	1482	71	3199	63°	1411	67	1810	76°
	Citizen C28*	30	2158	72	14306	44°	2008	67	7669	55°	2045	68	4455	67°	1947	65	2496	72°
	Ambient Dim A14	15	810	54	5857	39°	779	52	3270	56°	779	52	1829	60°	764	51	1058	72°
Flat (Pin Hole)	Citizen C14	15	829	55	7740	37°	737	49	1436	46°	719	48	2379	51°	661	44	1357	64°
	Citizen C20	21	1105	53	10321	35°	982	47	5513	42°	958	46	3169	49°	881	42	1808	62°
	Citizen C28*	30	1525	51	14258	32°	1355	45	7604	44°	1322	44	4375	53°	1216	41	2496	59°
	Ambient Dim A14	15	539	36	4828	36°	479	32	2326	42°	467	31	1301	50°	429	29	689	63°
CCT Multiplier																		
CCT	Citizen																	
2700	0.95																	
3000	1.00																	
3500	1.02																	
4000	1.03																	
All measurements based on 3000 CCT.																		

All Measurements delivered or derived delivered lumens based on 3000K. ISO CD plots based on Open Regress Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing. Flat (Pin Hole) at wider beam angles experience significant beam clipping - refer to PDF report for exact FWHM beam angle.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light

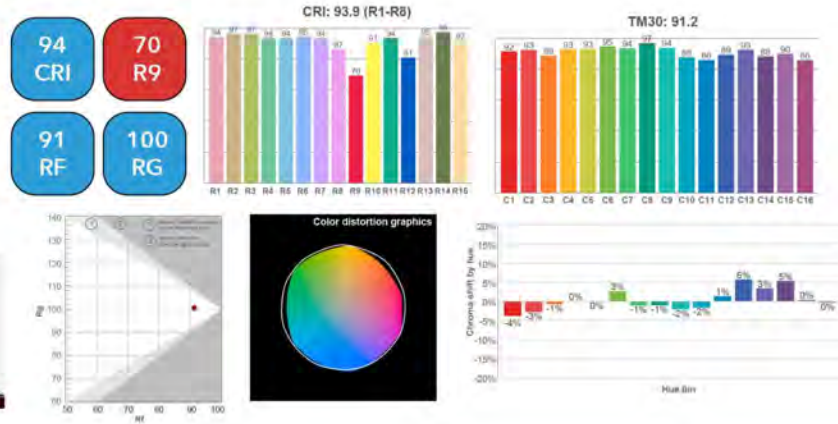


**Color Data**

All data is based from goniometer measurements of production representative product. All values can vary +/- 10% from LED manufacturer rated data range. Measurements at 3000 CCT

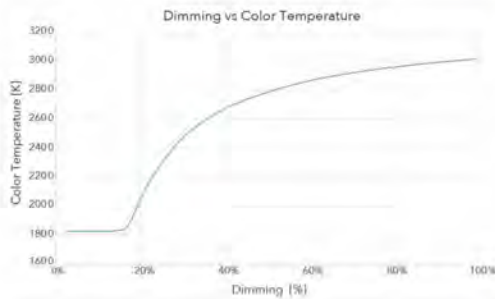
**Citizen Source C14, C20 and C28**

- <2 MacAdam Ellipse (<2 SDCM)
- 90+ CRI and RF
- 60+R9, Hue Bin 1

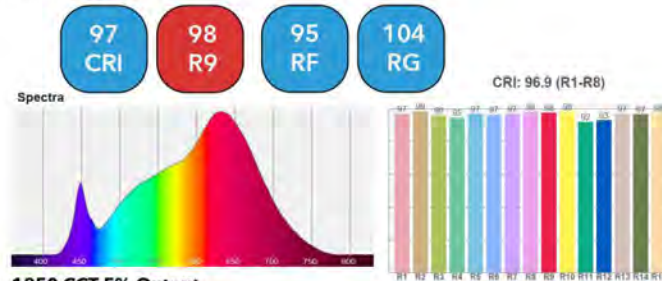


**Ambient Dim 3000k to 1900k**

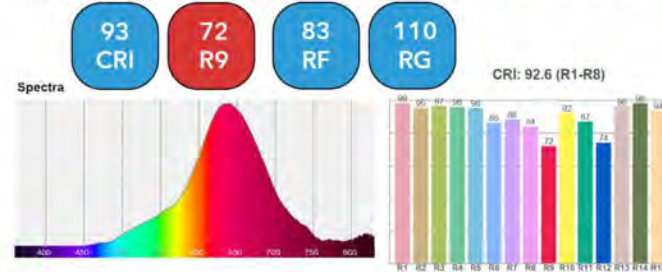
- <3 MacAdam Ellipse (<3 SDCM)
- 95+ CRI and RF
- 90+R9, Hue Bin 1
- Follows Black Body Locus through dimming range



**3000 CCT Full Output**



**1850 CCT 5% Output**



**Core 4" Square Downlight (102mm)**  
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Adjustable Recessed Accent Light



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PROJECT:  TYPE:   
SPECIFIER:  DATE:

**Key Points (CR4D-SA)**

**Trim**

- Flanged or Flangeless
- One-piece die cast aluminum or machined wood trim
- 14 color options + custom RAL or wood available
- Flangeless includes plaster flange with lip

**Source / Optics**

- 4 beamspreads available- 15°, 24°, 40°, and 55°
- Adjustable to 45° with 358° of rotation
- Up to 2100 delivered lumens
- <2 MacAdam Steps (<2SDCM) for fixed white
- 90 CRI , 60+ R9 Standard- 95 CRI 90+R9 Optional with Ambient Dim
- 2700, 3000, 3500, 4000K, Ambient Dim standard. Tunable White and RGBW upon request
- Lifetime: L87B3>55,000 hours at 40°C Ambient

**Housing**

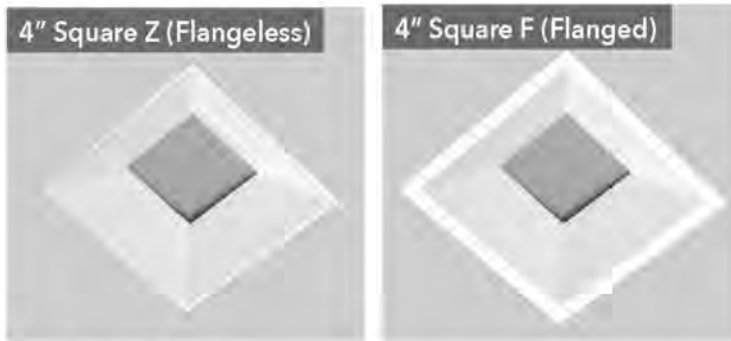
- Heavy gauge aluminum for new construction or remodel
- IC Rated / Airtight Housing approved for use in direct contact with insulation – Chicago Plenum Available
- Approved for 8 (4-in / 4-out) #12 AWG conductors rated for 90°C through wiring

- us Listed – Damp or wet with shower trim

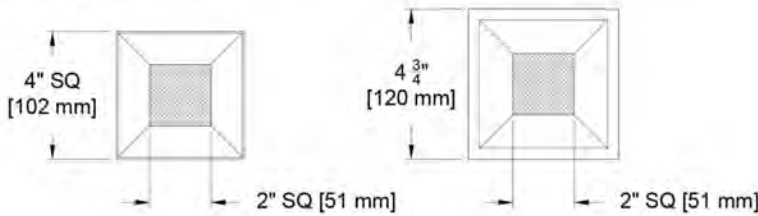
- Compliant to with Airtight Housing

**Driver**

- Universal 120-277v
- Prewired and integral to housing
- Flicker free to IEEE 1798-2015
- Phase, 0-10, DALI, Ecosystem or Wireless Control



Deep Regress Shown



**Aperture Options**



**Deep Regress (DR)**  
2" Optical Aperture  
Formerly known as 1009

**FL- Flat (Pin Hole)**  
2" Optical Aperture  
Formerly known as 1012

**Open Regress (OR)**  
3" Optical Aperture  
Formerly known as 1017

**Wood Finish**  
All apertures options

SQUARE Beamspreads	15°					24°					40°					55°				
	Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field		
Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°			
Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°			
Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°			
Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°			

All Measurements delivered or derived delivered lumens based on 3000k with Deep Regress. Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



## Ordering Codes

PROJECT: \_\_\_\_\_ SPECIFIER: \_\_\_\_\_  
DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Ordering Code Example: CR4D-SA-DR-Z-AU-C20-35-24-E2-P16-91A-91L-97L-CP-LR

FIXTURE	APERTURE	TRIM	MOUNTING	SOURCE / WATTS	CCT	BEAM	DRIVER / CONTROL	TRIM FINISH	LENS ACCESSORY	ACCESSORIES
CR4D-SA										
Core 4" Square Adjustable Downlight	DR Deep Regress	F Flanged Trim	U Universal - Non IC Housing	Citizen	27 2700K	15 Spot	C1 0-10 1.0% UNV (120-277V) linear	P14 White Matte Paint	Aperture Lens	EM Emergency Pack
	OR Open Regress	Z Flangeless Trim	AU Universal IC/Airtight*	C14 15W 995Lm** 90+CRI, 60+R9	30 3000K	24 Narrow Flood	C2 ELV/Triac 1.0% (120V) linear	P16 Black Paint	91A Solite	EMP Emergency Pack with phase cut control system utilizing C1 driver
	FL Flat (Pin Hole)	FS Flanged Shower Trim*	P Plaster	C20 21W 1326Lm** 90+CRI, 60+R9	35 3500K	40 Flood	EldoLED	D Wood*	93A Frosted	CP Chicago Plenum
		ZS Flangeless Shower Trim*	AP Plaster IC/Airtight*	C28 30W*† 1857Lm** 90+CRI, 60+R9	40 4000K	55 Wide Flood	E1 0-10 0.1% UNV (120-277V) log	PXX Specialty Paint Color**	XXA Other Aperture Lens Treatments*	LR Lutron Wireless RF PowPak
		* Aperture Lens Required	PM Panel Mount	Ambient Dim	AD 3000-1900K		E2 DALI 0.1% UNV (120-277V) log	P01-P24	Reflector (lamp) Media	
			APM Panel Mount Airtight/IC*	A14 15W 656Lm 95+CRI, 90+R9 3000 to 1900K			E3 0-10 0.1% UNV (120-277V) linear	C Custom/RAL Color**	91L Solite	
			California Title Compliant *Cannot be used with C28 Source	Tunable White 90+CRI, 70+R9 1800-4000K or 2700-6500K*			Lutron	*Wood "D" Selection to be used with Z trim and PM mounting **See Specialty Finish Guide	93L Frosted	
				RGBW 90+CRI, 60+R9 A			L2 Forward Phase 1.0% (120V) Hi-Lume 2 Wire LTEA		97L Black Hexcel Louver	
				California Title 24 Compliant to JAB * Requires Active Cooling. Not compatible with LP driver. Must be used with Non IC housing †Does not Meet CA Title 24 with Flat aperture ** Based on Deep Regress 24" beam * Available upon request. Contact your regional sales manager			LD Digital Ecosystem 1.0% UNV (120-277V) ECO Hi-Lume SoftOn/Fade-to-Black LDE1		XXL Other reflector (lamp) media*	1 piece of Media per opening (aperture or reflector) can be selected *See Lens Accessory Guide
							LP Digital Ecosystem* 0.1% UNV (120-277V) ECO Premier Hi-Lume SoftOn/Fade-to-Black, PEQ0, 20W max			
							CA Wireless BLE 0.1% UNV (120-277V) log Casambi			
							* Not compatible with C28 Source			

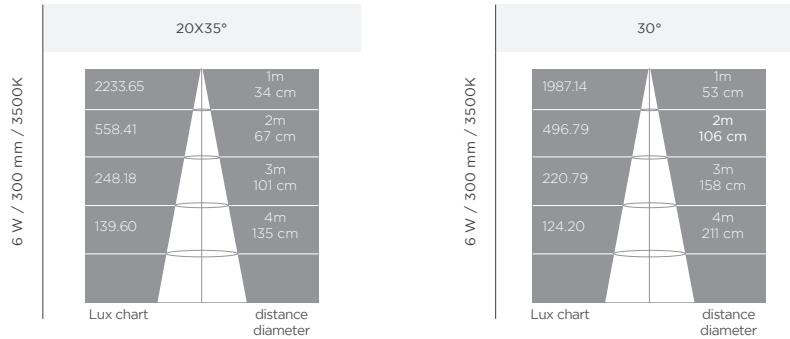




ATOM LINEAR FIXTURE

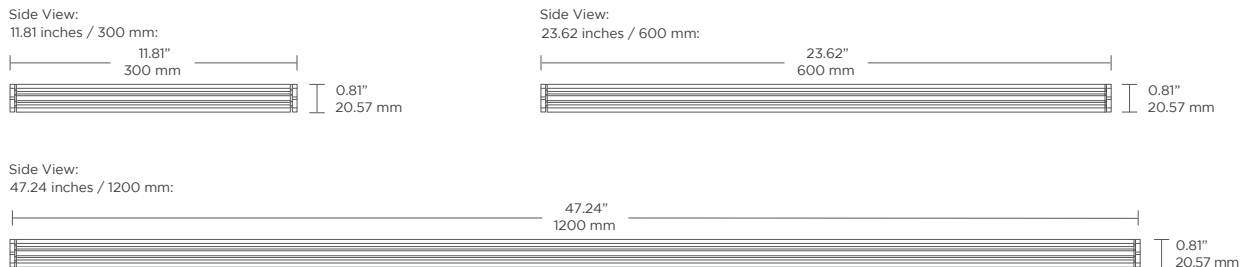
SPECIFICATIONS / DIMENSIONS

Operating Voltage	24V DC					
Amperage	257 mA/ft					
Length	11.81" / 300 mm	23.62" / 600 mm	47.24" / 1200 mm			
Power Consumption	6 W	12 W	24 W			
LEDs per Fixture	6 LEDs	12 LEDs	24 LEDs			
Max. Run Length	Up to 12 fixtures	Up to 6 fixtures	Up to 4 fixtures			
Weight	6.9 oz (0.20 kg)	13.8 oz (0.39 kg)	27.6 oz (0.78 kg)			
Color Temperature	2700K, 3000K, 3500K, 4000K, 5000K, 6000K					
Beam Angle	20x35°	30°	20x35°	30°	20x35°	30°
Lumen Output / Foot	663.5 lm/ft	657.9 lm/ft	663.5 lm/ft	657.9 lm/ft	663.5 lm/ft	657.9 lm/ft
Total Lumens	653.1 lm	647.6 lm	1306.2 lm	1295.2 lm	2612.4 lm	2590.4 lm
CRI	80+					
LED Binning SDCM	3-step					
Dimming Options	0-10V, Triac, DALI					
Ambient Temperature	-40° F to 122° F (-40° C to 50° C)					
Housing / Lens	Housing: Extruded Aluminum / Lens: UV Protected PMMA / Cover: Acrylic					
Connector	2 pin power connector					
Cable Length	11.81" (300 mm), 19.68" (500 mm)					
Protection Rating	IP40 (Indoor only)					
UGR Rating	<7.8	<7.2	<7.8	<7.2	<7.8	<7.2
Mounting Options	Tilttable stand, Symmetric Clip, Quick Release Clip					
Fixture Color Finish	Black (Standard), Custom colors available (Minimum quantities apply)					
Certifications	ETL Listed: UL 2108 Issued: 2004/02/27 Ed: 1 Rev: 2014/02/24 Low Voltage Lighting Systems CSA C22.2#9.0 Issued: 1996/06/01 Ed: 1 (R2011) General Requirements for Luminaires; with Gen. Inst. 1: 1997, Gen Inst. 2: 1998. ROHS compliant					



\* ALL LUMEN DATA IS FROM 3500K 80CRI FIXTURES.

DIMENSIONS



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**ATOM LINEAR FIXTURE**

**DIMENSIONS / MOUNTING HARDWARE / ACCESSORIES**

**MOUNTING HARDWARE**

**Tilttable Stand**  
For adjustable mounting angles

**Symmetric Clip**  
For narrow installations where mounting clips need to be installed first

**Quick Release Clip**  
For quick, one step release of fixture

**ACCESSORIES**

**Asymmetric Louver**  
For glare reduction  
Note: This will affect beam angle

Part Number: ATOMLOUV300  
ATOMLOUV600

**Top View**

Use 2 x 23.62"/600 mm Louvers for each 47.24"/1200 mm fixture  
Not recommended for exterior applications

**Side View**

**Glare Shield**  
To reduce glare or direct light

Glare shield is part of the extrusion and cannot be removed. It extends the entire length of the fixture.

**2 Pin Female Cable To Bare Wire**  
To bare wire for incoming power  
Default cable lengths: 11.81 inches / 30 cm and 19.7 inches / 50 cm  
(Consult factory for custom length)

Part Number: AtomCBLFB300  
AtomCBLFB500

**2 Pin Male To Female Jumper Cable**  
To connect 2 pin male connector to 2 pin female connector  
Default cable length: 39.4 inches / 1 m  
(Consult factory for custom length)

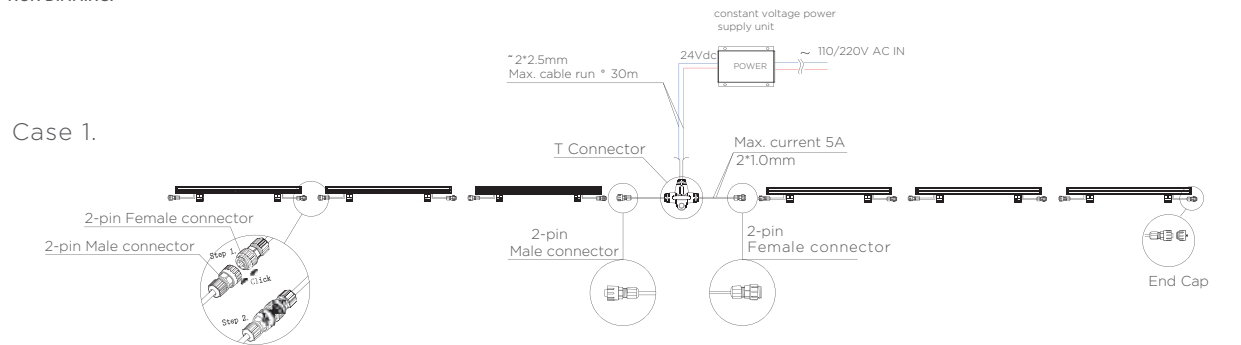
Part Number: ATOMJUMPMF1000



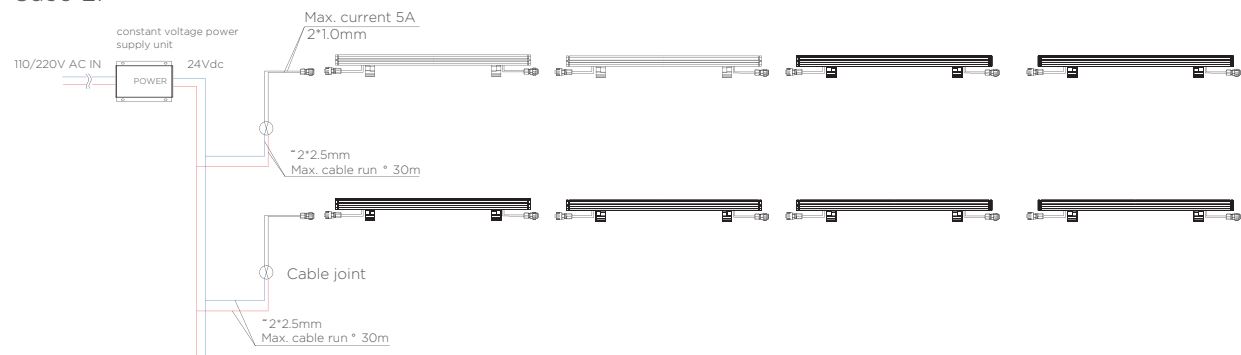
ATOM LINEAR FIXTURE

CONNECTION

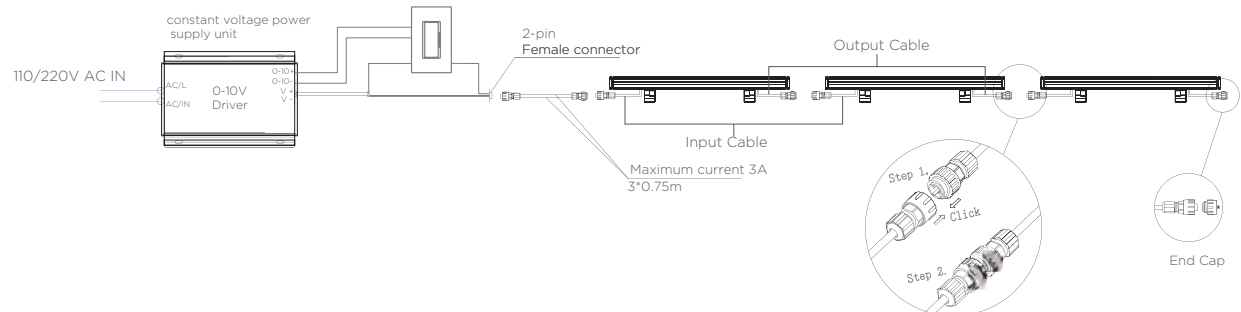
NON DIMMING:



Case 2.



0-10V DIMMING:

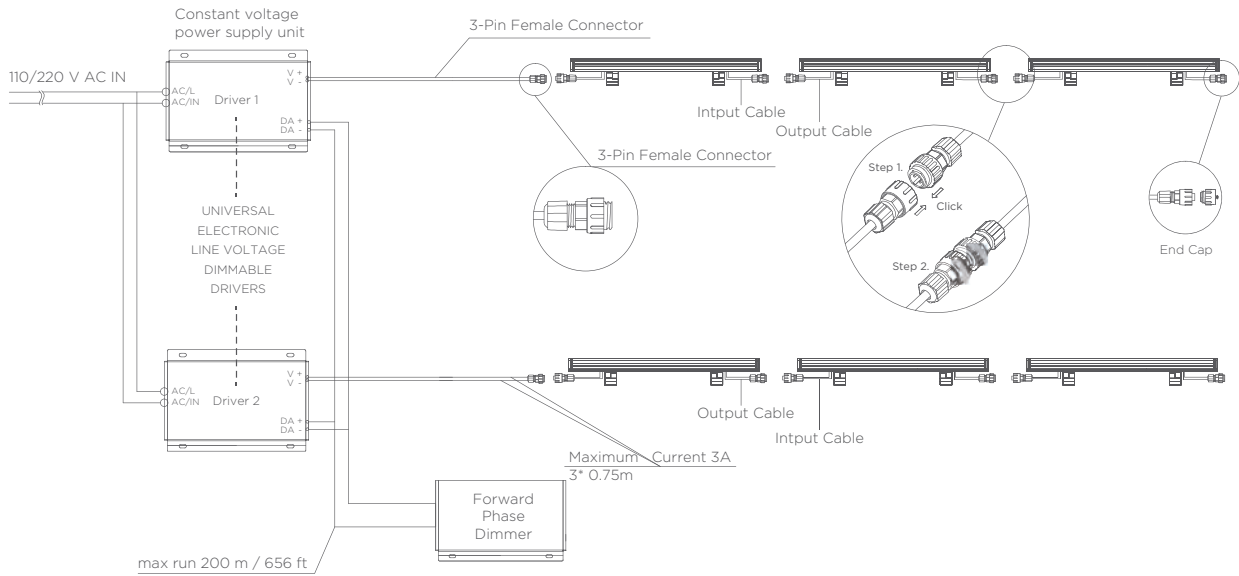




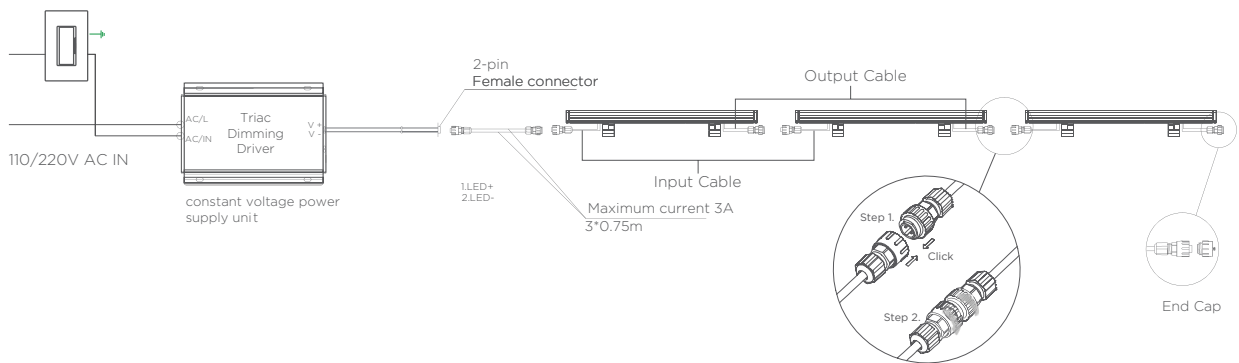
ATOM LINEAR FIXTURE

CONNECTION

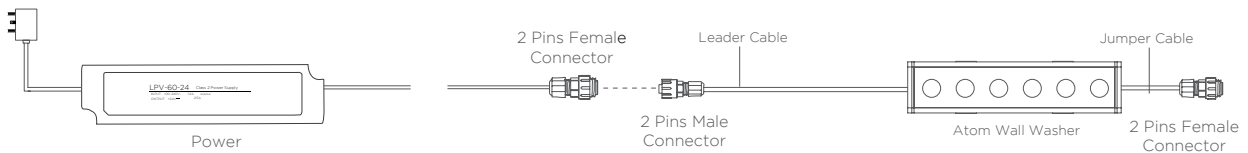
DALI DIMMING:



TRIAC DIMMING:



CONNECTORS:



REV.04JUN2020



Project Name \_\_\_\_\_  
Fixture Type \_\_\_\_\_

## ZXL08-SQ-NF

LED Area Accent · ZX08 Series



### Product Features

- Area accent lighting for architectural and landscape application.
- ETL outdoor wet location listed. IP67 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- 180° vertical adjustment.
- Modular components - field changeable LED module & beam spread reflectors.

### Specification

**Materials:** Machined from billet 6061-T6 corrosion resistant aluminum with 304 stainless steel hardware. Available in 304/316 stainless steel or 360 brass upon request.

**Glare Shield:** 3 optional glare shields(GSL-long, GSA-angled GSS-short) for additional glare control. See page 3 for details.

**Voltage:** 12V AC/DC. Requires remote step down transformer.

**Wattage:** 2W HK LED.

**Light Source:** CRI 83. Available in CRI95 upon request. The chromaticity range is within a 3-step McAdam Ellipse. Standard CCT options are 2700K, 3000K, 4000K.

**Lamp Base/Socket:** Innovative cone-shaped lamp base and receptacle socket maximize the surface contact area to dissipate heat more effectively. See "Resources" for details.

**Dimmability:** MLV or ELV.

**Finish:** Polyester powder coat on all aluminum materials with RoHS compliant procedures. Anodized finish is available. Stainless steel and brass models are provided with brushed surface.

**Optical Accessories:** Accepts up to 3 accessories (hexcel louver, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.

**Mounting Method:** Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting Group mounting devices.

### Ordering Guide

EXAMPLE: ZXL08-SQ-NF - GSL - 12V - 2 - 27-21 - BK - LVR - MH02

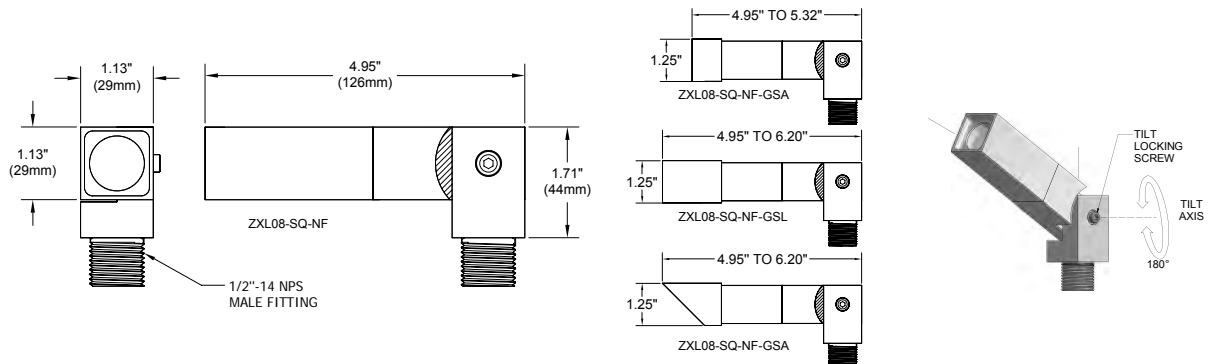
SERIES	MATERIAL	OPTIONAL GLARE SHIELD	VOLTAGE	WATTAGE	CCT	OPTICS	FINISH	OPTIONAL SELECT UP TO 3 OPTIC ACCESSORIES	OPTIONAL MOUNTING ACCESSORIES
ZXL08-SQ-NF	BLANK Aluminum(Standard) NBR Natural Brass NSS Natural Stainless Steel CU Natural Copper	GSL GSA GSS	12V	2 2W	27 2700K 30 3000K 40 4000K	21 21° 27 27° 39 39°	VERIFY Standard BK Black Powder Coat BZ Bronze Powder Coat WT White Powder Coat Premium ABK Anodized Black ACL Anodized Clear CC Custom Powder Coat	LVR Hexcel Louver OSL Overall Spread Lens LSL Linear Spread Lens SOL Solite Soft Focus DF Dichroic Filter	VERIFY See page 3 for quick reference, or "Accessories" link for detailed specification.

Remote Step Down Transformer (Optional).  
See "Accessories" link for detailed specification.

Model	Wattage(VA)	Primary Voltage(VAC)	Secondary Volt(VAC)	Dimming Method	Characters
TXM	20 40 50 60 100 150 300	120 or 277	12	MLV	Outdoor, Wall Mount, Compact
TXS	150 300 600	120	Multi-tap of 12, 13, 14, 15 VAC	MLV	Outdoor, Wall mount, Stainless Steel Case
IGT	50 100 300 600	120	12	MLV	in grade
TXE	60	120, 230, or 277	12	ELV	Needs Enclosure, 6ft working distance

### Product Drawings

NOTE: Specification and dimensions subject to change without notice.

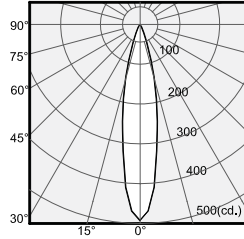


Photometry & Energy Data

MODEL ZXL08-SQ-NF-2W-N

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	21.4°
Max. Candlepower	497cd
Delivered Lumens	92lm
Efficacy	46lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

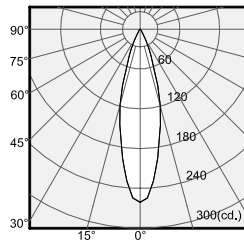
Center Beam (fc)	Beam Diameter	Distance
124	0.8'	2.0'
31	1.5'	4.0'
14	2.3'	6.0'
8	3.0'	8.0'
5	3.8'	10.0'

1/2 Beam Angle: 21.4°

MODEL ZXL08-SQ-NF-2W-M

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	27.3°
Max. Candlepower	266cd
Delivered Lumen	72lm
Efficacy	36lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

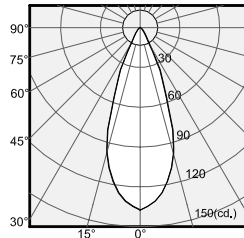
Center Beam (fc)	Beam Diameter	Distance
67	1.0'	2.0'
17	1.9'	4.0'
7	2.9'	6.0'
4	3.9'	8.0'
3	4.9'	10.0'

1/2 Beam Angle: 27.3°

MODEL ZXL08-SQ-NF-2W-W

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	38.9°
Max. Candlepower	138cd
Delivered Lumen	63lm
Efficacy	32lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

Center Beam (fc)	Beam Diameter	Distance
34	1.4'	2.0'
9	2.8'	4.0'
4	4.2'	6.0'
2	5.7'	8.0'
1	7.1'	10.0'

1/2 Beam Angle: 38.9°

Wattage Multiplier Table

Wattage	Multiplier
2Watt	1.00

CCT Multiplier Table

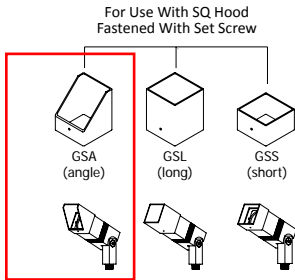
Color Temp.	Multiplier
2700k	0.96
3000k	1.00
4000k	1.03



ZXL08-SQ-NF  
LED Area Accent . ZX08 Series

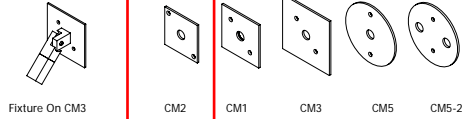
Product Options & Accessories

Optional Glare Shield

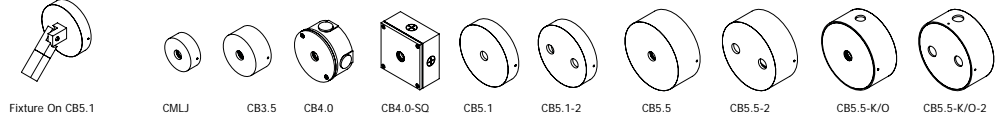


Mounting Accessories

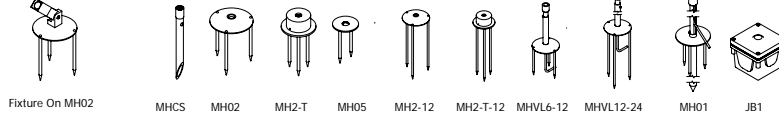
Canopy Plate:



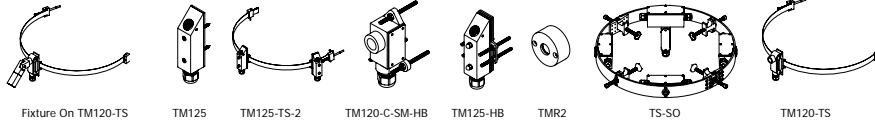
Surface Mount Box:



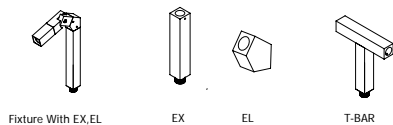
Ground Mount:



Tree Mount:

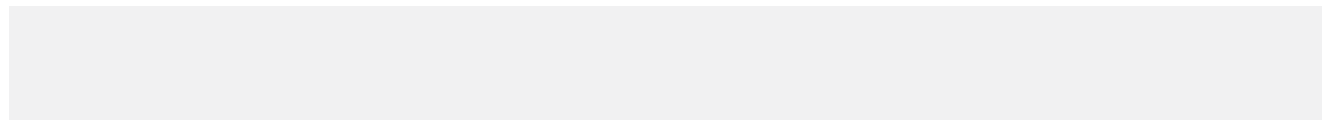


Extension:



Sign Light Arm: Please See The Sign Light Section

Notes



LED recessed wall luminaires - asymmetrical

BEGA

**Application**

LED recessed wall luminaire with asymmetrical light distribution for the illumination of ground surfaces, building entrances, stairs and footpaths.

**Materials**

Luminaire housing constructed of die-cast aluminum marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Clear safety glass  
Silicone applied robotically to casting, plasma treated for increased adhesion  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Stainless steel screw clamps  
Composite installation housing

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 1.5 lbs

**Electrical**

Operating voltage 120-277VAC  
Minimum start temperature -40° C  
LED module wattage 4.1 W  
System wattage 6.0 W  
Controllability 0-10V dimmable  
Color rendering index Ra > 80  
Luminaire lumens 231 lumens (3000K)  
LED service life (L70) 60,000 hours

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**
- Amber - Product number + **AMB**

**Wildlife friendly amber LED - Optional**

Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage 3.6 W (Amber)  
System wattage 4.6 W (Amber)  
Luminaire lumens 56 lumens (Amber)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Type:  
BEGA Product:  
Project:  
Modified:



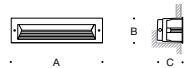
Fully enclosed luminaire with installation housing ensures seamless integration and weathertight operation.

**Finish**

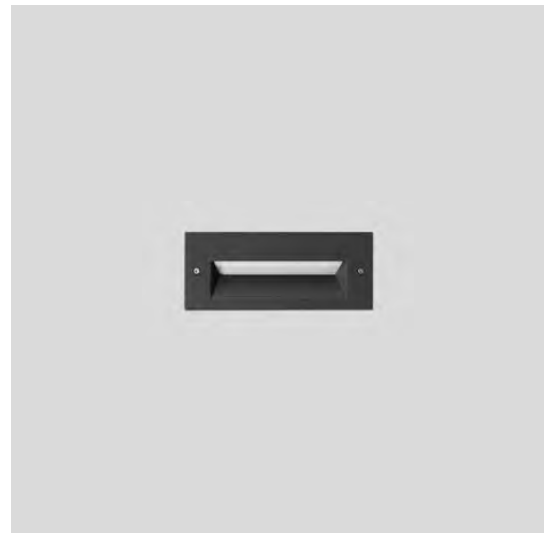
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

- Available colors  Black (BLK)  White (WHT)  RAL:  
 Bronze (BRZ)  Silver (SLV)  CUS:

Verify w/Architect



LED recessed wall luminaires - asymmetrical				
	LED	A	B	C
<b>33053</b>	4.1 W	6 5/8	2 3/4	5



**BEGA** 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com  
© copyright BEGA 2019 Updated 08/22/19



# LITUS 5.7



datasheet

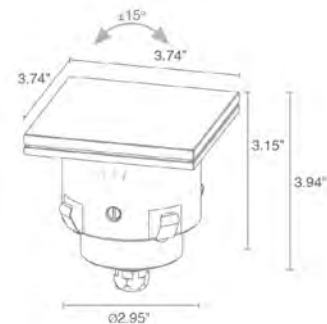
The Litus 5 series features a sophisticated flush/trimless moun design. With a wide selection of optic options these fixtures are highly versatile or both general and more dynamic lighting. The square version can be used for downlight applications as well. **The Bright 3, Smoothy 5 and Litus 5 series all use the same LED.**

## TECHNICAL DATA

<b>Wattage / Input</b>	3.5W, 5W, 7W (24VDC); 7W RGB (700mA)
<b>Power Supply</b>	Remote, not included. See page 2
<b>Construction</b>	Body: Aluminum Alloy EN AW 6082 Lens: Tempered, Serigraphed-gray, and Transparent Extra-clear Glass
<b>CCT</b>	2700K, 3000K, 4000K, RGB
<b>CRI</b>	CRI >80, CRI >90
<b>Delivered Lumens</b>	See chart - below right for static white RGB: 235 lm: (R) 92 lm, (G) 105 lm, (B) 38 lm
<b>Efficacy</b>	70.4 lm/W (34°, 5W), 56.8 lm/W (34°, 5W) 66.1 lm/W (34°, 7W), 53.4 lm/W (34°, 7W) 33.6 lm/W (RGB)
<b>Optics</b>	9 Standard (white), 4 Standard (RGB) <i>The diffused light is made by an opal acrylic under the glass - no optic inside.</i>
<b>Finishes</b>	Glass
<b>Fixture Dimensions</b>	3.79" w x 3.79" h
<b>Fixture Weight</b>	1.54 lbs
<b>LED Source</b>	1 High Intensity Power LED; RGB: 3 Power LEDs
<b>Lumen Maintenance</b>	L90,B10>50,000hrs (Ta 25°C)
<b>Color Consistency</b>	3-Step MacAdam (white LED color)
<b>Operating Temp.</b>	-4°F to +113°F
<b>IP Rating</b>	IP67
<b>IK Rating</b>	IK08
<b>Driveover</b>	2205 lbs



Fixture Dimensions



<b>Delivered Lumens (3000K)</b>	<b>5W</b> 34°	<b>7W</b> 34°
<b>CRI 80</b>	352 lm	463 lm
<b>CRI 90</b>	284 lm	374 lm

## ORDERING INFORMATION

Example: LT57010FLNV or LT57010FLNV-2. Accessories / Power Supplies ordered separately.

					NV	
<b>Model #</b>	<b>Wattage</b>	<b>CRI</b>	<b>CCT</b>	<b>Optics - tiltable ±15°</b>	<b>Finish</b>	<b>Cable Length</b>
LT570	0 - 3.5W only 5° optics 1 - 5W 2 - 7W	0 - 80 CRI 1 - 90 CRI	F - 2700K 5 - 3000K 9 - 4000K	U - 5° only 3.5W M - 34° V - 8° L - 45° T - 11° Q - 61° sharp S - 17° W - 13°x52° P - 21° sharp	NV - Glass	0 - 4.92' standard 1 - 16.40' 2 - 32.81' 3 - 49.21' 4 - 65.62'
<b>Model #</b>	<b>Wattage</b>	<b>CRI</b>	<b>CCT</b>	<b>Optics - tiltable ±15°</b>	<b>Finish</b>	Verify w/ Electrician
LT5732	2 - 7W		6 - RGB	S - 20° L - 45° M - 34° W - 21°x42°	NV - Glass	

Job Name/Date:

Fixture Type Designation:

# LITUS 5.7



datasheet

## SUGGESTED POWER SUPPLIES

24VDC

Part Number	Description	Input/Output	# of Fixtures		
			3.5W	5W	7W
<a href="#">PPLT00056</a>	Non-Dim	120-277VAC to 24VDC, 26W, Class 2, IP66	1-5	1-4	1-2
<a href="#">PPLT00157</a>	Non-Dim	120VAC to 24VDC, 60W, Class 2	1-13	1-9	1-6
<a href="#">PPLT00599</a>	ELV / TRIAC & 0-10V Dimming (100 to 0%)	120-277VAC to 24VDC, 96W, Class 2	1-21	1-15	1-10
<a href="#">PPLT00158</a>	Non-Dim	120VAC to 24VDC, 100W, Class 2	1-22	1-16	1-11
<a href="#">PPLT00543</a>	0-10V Dimming to 15% (-40°C / -40°F cold weather start)	120-277VAC to 24VDC, 100W, Class 2	1-22	1-16	1-11

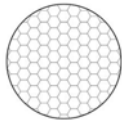
700mA - RGB

Part Number	Description	Input/Output	# of Fixtures
			7W
<a href="#">PPLT00244-P</a>	DMX / RDM (Must advise DMX addresses if not using RDM)	120-277VAC to 700mA, 50W, Class 2	1-5
<a href="#">PPLT00129-P</a>	DMX / RDM (Field Addressable)	120-277VAC to 700mA, 100W, Class 2	1-9

For other power supply options consult factory.

### ACCESSORIES

#### Anti-Glare



#### WH0205

Honeycomb Louvre  
Not available for sharp optics (P, Q) and on 5° (U) and 8° (V) optics on request.

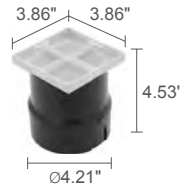


#### WE0605S

Anti-glare lens, half transparent and half serigraphed black  
Can be fitted on all optics except for RGB version

### ACCESSORIES

#### Installation



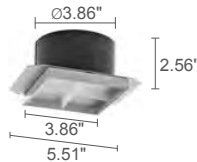
#### WC4051

Outer Casing  
For ingrade use



#### WL0500

Suction cup



#### WC4551

Outer Casing  
For plasterboard/ceiling use

Job Name/Date:

Fixture Type Designation:

# LITUS 5.7

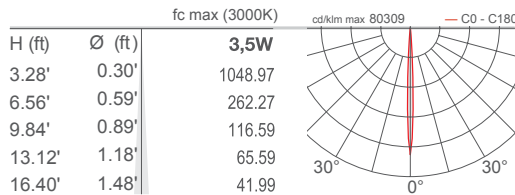


datasheet

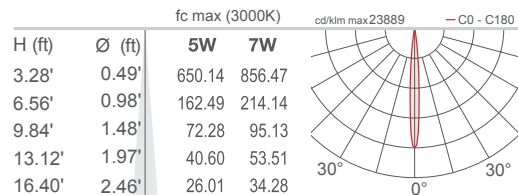
## PHOTOMETRIC DATA

Note all Photometry is CRI 80, 3000K

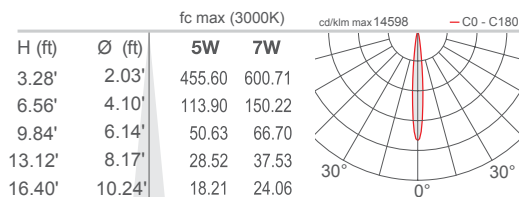
### U - 5° CRI 80



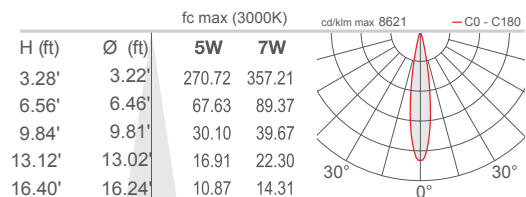
### V - 8° CRI 80



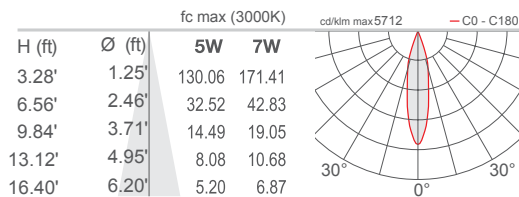
### T - 11° CRI 80



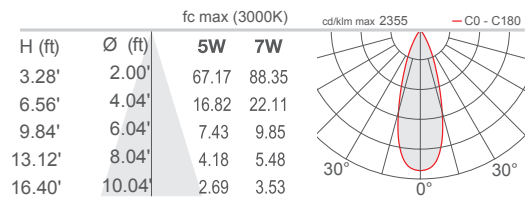
### S - 17° CRI 80



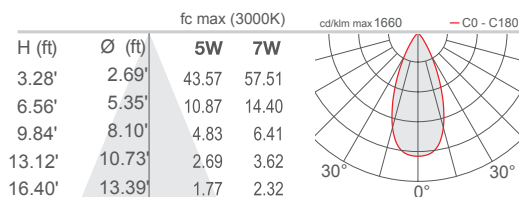
### P - 21° sharp CRI 80



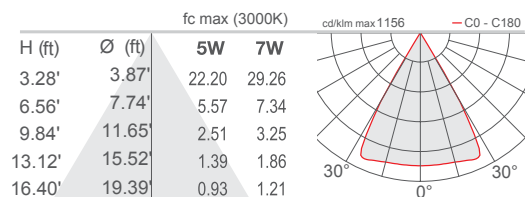
### M - 34° CRI 80



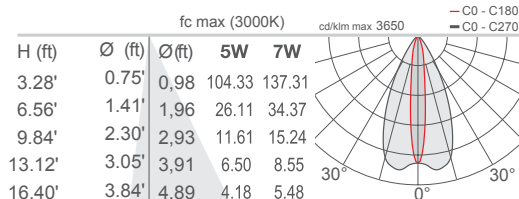
### L - 45° CRI 80



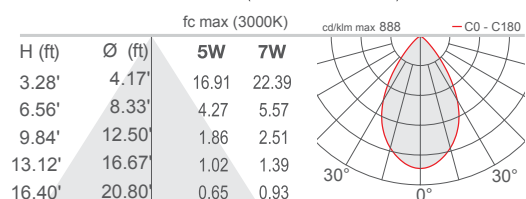
### Q - 61° sharp CRI 80



### W - 13°x52° CRI 80



### D - Diffusa CRI 80 (Litus 2.4 / 2.5)



Job Name/Date:

Fixture Type Designation:



TYPE:
CAT. #:HSL11-LM-



## HSL11-LM TAOS

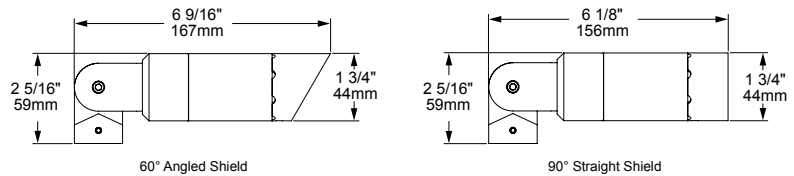


The compact **HSL11-LM** is engineered around Auroralight's interchangeable LED module to deliver brilliant LED performance in a small package. Storm Drain™ lensing prevents water and dirt from collecting on the lens for maximum illumination. Our exclusive AMS™ system offers an extensive choice of mounting options making this elegant accent-light ideal for any lighting task; landscape or architecture, inside or out, the HSL11 is up to the task; Proudly made in San Diego, CA USA.

See *LSL10* and *HSL16* for additional size and wattage options.

### Features include:

- Interchangeable LED Module in 2, 4 or 6 Watts and up to 370 lumens
- Cree XLAMP® High Density (XHP) LED
- Interchangeable UV & Shock Resistant Silicone Optic
- 2700K (80 & 90 CRI) or 3000K (80 CRI)
- Thermally Integrated® w/ Copper Core Technology®
- Storm Drain™ Lens Drainage System
- Aurora Mount System (AMS™) Compatible
- 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
- Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction



**FIELD-INTERCHANGEABLE TECHNOLOGY**

The FIT™ IP67 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.

**COPPER CORE TECHNOLOGY®**

**AURORA MOUNT SYSTEM**

230°

360°

The Aurora Mount System (AMS™) features 2 axis of adjustment – 360° of fixture rotation at the mount and 230° at the solid brass knuckle. The ultimate in precision aiming without twisting or compromising wire integrity.

12V

**THERMALLY INTEGRATED**

**STORM DRAIN**

**SEE NEXT PAGE FOR ORDERING INFORMATION**





TYPE:
CAT. #:HSL11-LM-



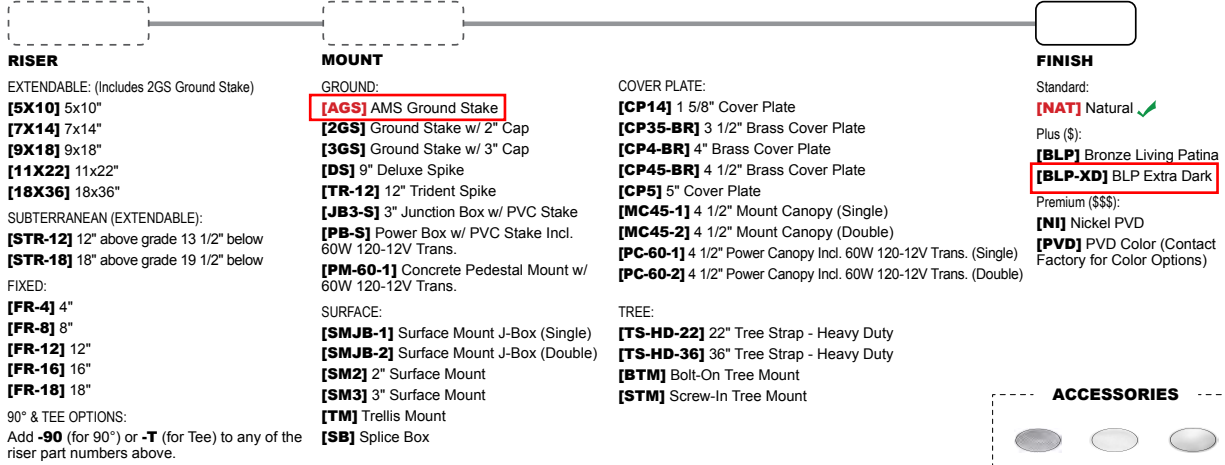
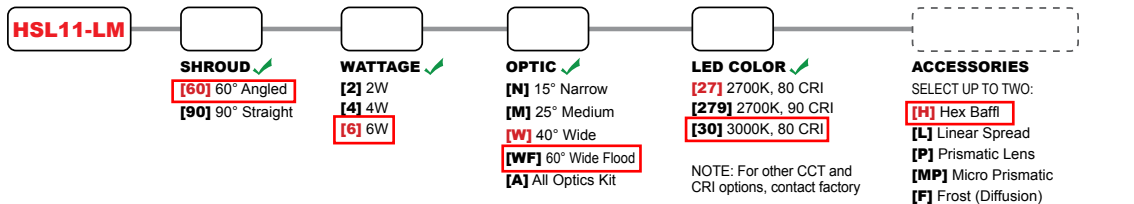
## HSL11-LM TAOS

For smaller wattage and size options see **LSL6, LSL10, and LSL8**  
For larger wattage and size options see **LSL4, HSL16-LM, and HSL20-LM**  
For retrofit lamp options see **HSL20-X, HSL16-X and SLX16**

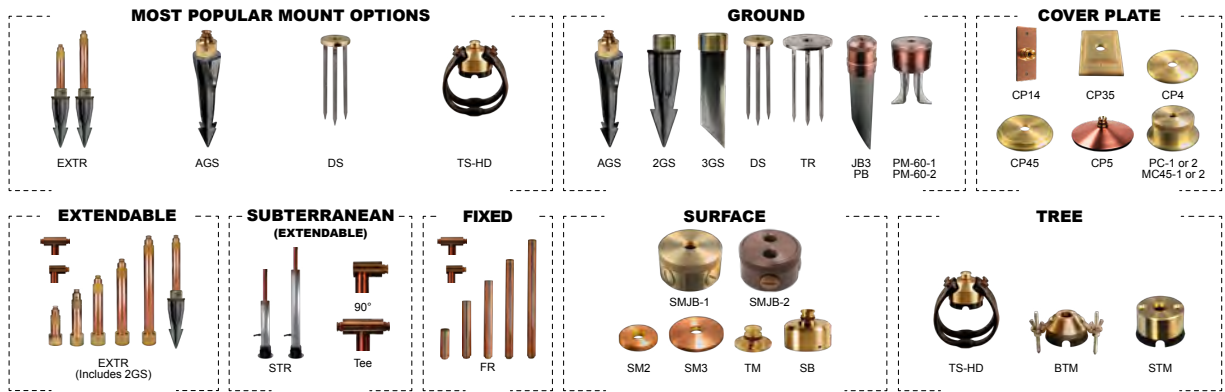
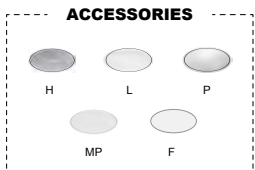
**ORDERING GUIDE:** <sup>Prefi</sup> **HSL11-LM** H (HIGH PERFORMANCE) SL (SPOTLIGHT) 11 (SERIES) L (LED) M (MODULE)

☐ INDICATES REQUIRED FIELD    ☐ INDICATES OPTIONAL FIELD    ✓ INCLUDED    [ \_ ] QUICK SPEC (See Below)

**QUICK SPEC SKU HSL11-LM-60-6-W-27-H-AGS-NAT**



NOTE: Universal Adapter Included w/ Fixture. Most common configurations listed above. See product cut sheets for all options.





TYPE:
CAT. #:HSL11-LM-

## HSL11-LM TAOS

### PHOTOMETRIC OVERVIEW

Information based on 6W 2700K. To download more in-depth IES photometric data, visit [auroralight.com/product/hsl11-taos/](http://auroralight.com/product/hsl11-taos/)

6W 2700K 15° (NARROW) 349.7 LUMENS • CBCP 2928 AURORALIGHT HSL11-LM-6-N-27		
30 FT	3.25	8.58
26 FT	4.33	7.43
22 FT	6.05	6.29
18 FT	9.04	5.15
14 FT	14.9	4.00
10 FT	29.3	2.86
6 FT	81.3	1.72
Distance From Fixture	Footcandles	Beam Width

6W 2700K 25° (MEDIUM) 369.3 LUMENS • CBCP 1591 AURORALIGHT HSL11-LM-6-M-27		
30 FT	1.74	13.2
26 FT	2.32	11.4
22 FT	3.23	9.67
18 FT	4.83	7.91
14 FT	7.99	6.16
10 FT	15.7	4.40
6 FT	43.5	2.64
Distance From Fixture	Footcandles	Beam Width

6W 2700K 40° (WIDE) 297.0 LUMENS • CBCP 996 AURORALIGHT HSL11-LM-6-W-27		
30 FT	1.10	14.9
26 FT	1.47	12.9
22 FT	2.05	10.9
18 FT	3.07	8.96
14 FT	5.07	6.97
10 FT	9.94	4.98
6 FT	27.6	2.99
Distance From Fixture	Footcandles	Beam Width

6W 2700K 60° (WIDE FLOOD) 197.9 LUMENS • CBCP 440 AURORALIGHT HSL11-LM-6-WF-27		
30 FT	0.488	18.5
26 FT	0.650	16.0
22 FT	0.908	13.5
18 FT	1.36	11.1
14 FT	2.24	8.62
10 FT	4.40	6.15
6 FT	12.2	3.69
Distance From Fixture	Footcandles	Beam Width





TYPE:
CAT. #:HSL11-LM-



## HSL11-LM TAOS

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**Features include:**

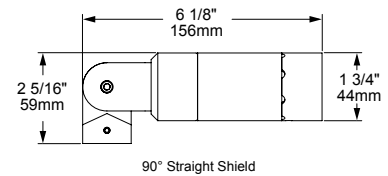
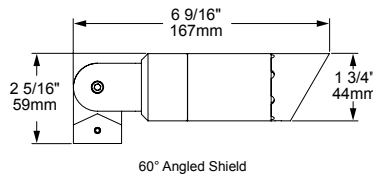
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- Solid Brass Construction



HSL11-LM-60-BLP



HSL11-LM-60-NI



**FIELD-INTERCHANGEABLE TECHNOLOGY**

The FIT™ IP67 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.

Precision Machined Brass Body  
Internal Driver and LED  
Interchangeable UV & Shock Resistant Silicone Optic  
Threaded Compression Cap

**COPPER CORE TECHNOLOGY®**

**AURORA MOUNT SYSTEM**

The Aurora Mount System (AMS™) features 2 axis of adjustment – 360° of fixture rotation at the mount and 230° at the solid brass knuckle. The ultimate in precision aiming without twisting or compromising wire integrity.

**12V**  
**THERMALLY INTEGRATED**  
**STORM DRAIN**

**SEE NEXT PAGE FOR ORDERING INFORMATION**





TYPE:
CAT. #:HSL11-LM-



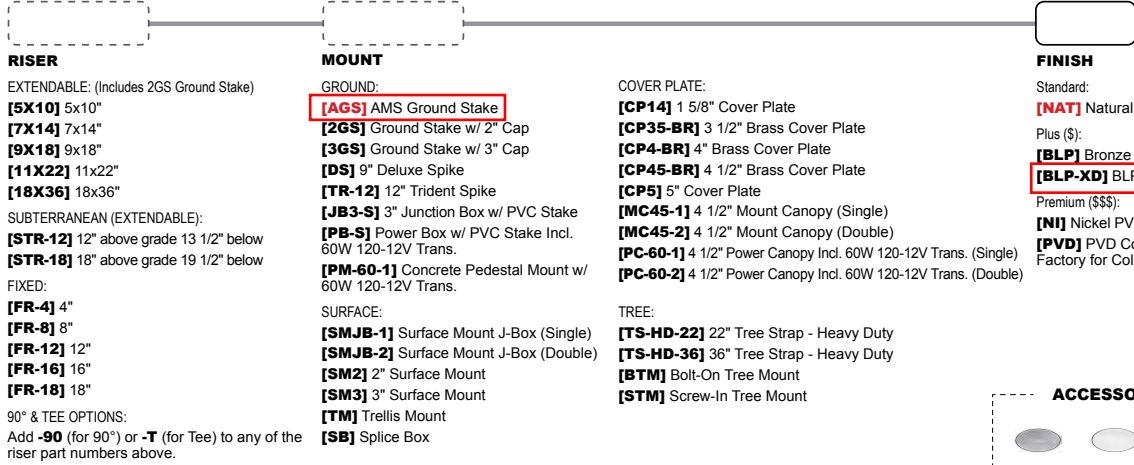
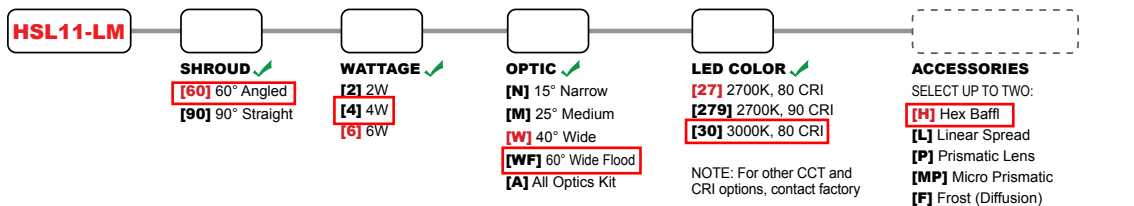
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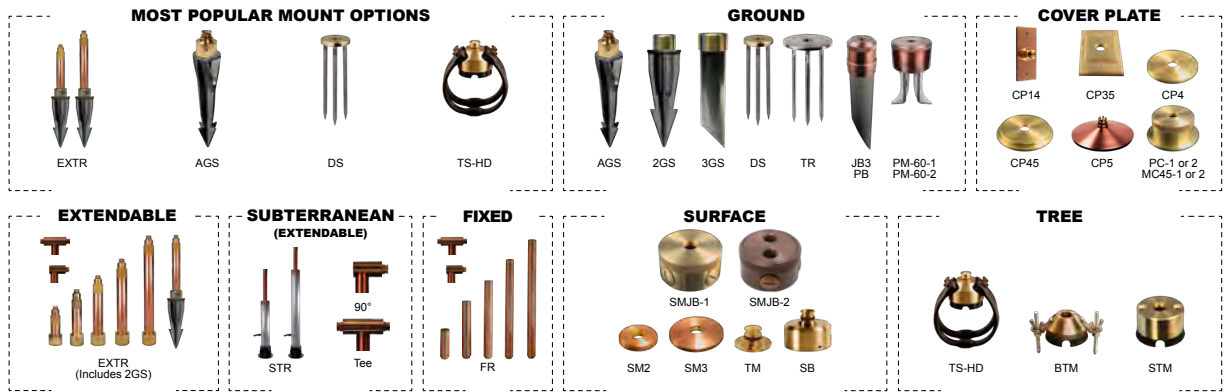
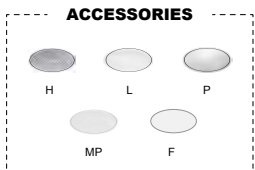
**ORDERING GUIDE:** <sup>Prefi</sup> **HSL11-LM** H (HIGH PERFORMANCE) SL (SPOTLIGHT) 11 (SERIES) L (LED) M (MODULE)

☐ INDICATES REQUIRED FIELD    ☐ INDICATES OPTIONAL FIELD    ✓ INCLUDED    [ \_ ] QUICK SPEC (See Below)

**QUICK SPEC SKU HSL11-LM-60-6-W-27-H-AGS-NAT**



NOTE: Universal Adapter Included w/ Fixture. Most common configurations listed above. See product cut sheets for all options.







TYPE:
CAT. #:HSL11-LM-

## HSL11-LM TAOS

### PHOTOMETRIC OVERVIEW

Information based on 6W 2700K. To download more in-depth IES photometric data, visit [auroralight.com/product/hsl11-taos/](http://auroralight.com/product/hsl11-taos/)

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10 FT	4.40	6.15
6 FT	12.2	3.69
Distance From Fixture	Footcandles	Beam Width





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**McDermott Residence**

**600 Walnut Ave.**

**Ketchum, ID 83340**

**Construction Activity Plan:**

*\*Please refer to attached Construction Activity Plan for details*

Lee Gilman Builders plans to start construction on June 1<sup>st</sup> upon permit approval from the City of Ketchum. The approximate project duration is estimated at 24-28 months, with a projected project completion date of Summer 2024.

Excavation/fill calculations are estimated at 5960 yards of export, and 3,200 yards of import as per our excavator, Jonathan Lunceford. Trucking route will be 5<sup>th</sup> St. to Walnut Ave, and back out the same way to the redlight on Main St. All site spoils not being re-used will be hauled offsite accordingly.

Any and all construction debris will be disposed of in a Clear Creek dumpster stored onsite, which will be emptied as required by Clear Creek Disposal. Temporary restrooms will also be provided and regularly maintained by Clear Creek Disposal. We will have a designated material storage/delivery staging area onsite, in addition to jobsite fencing/screening.

As for parking, there will be some onsite parking for our employees, which will be supplemented by R.O.W. parking on 6<sup>th</sup> Ave. East for any overflow parking. Upon project completion, Lee Gilman Builders will ensure the city streets adjacent to the jobsite are cleaned/restored accordingly.

Lee Gilman Builders will notify neighbors of the construction activity plan and will provide the superintendent's direct contact phone number as to be considerate to their needs during the course of construction.

Please let us know if you need any further information, and thank you for your consideration.

Sincerely,








Wes Powell

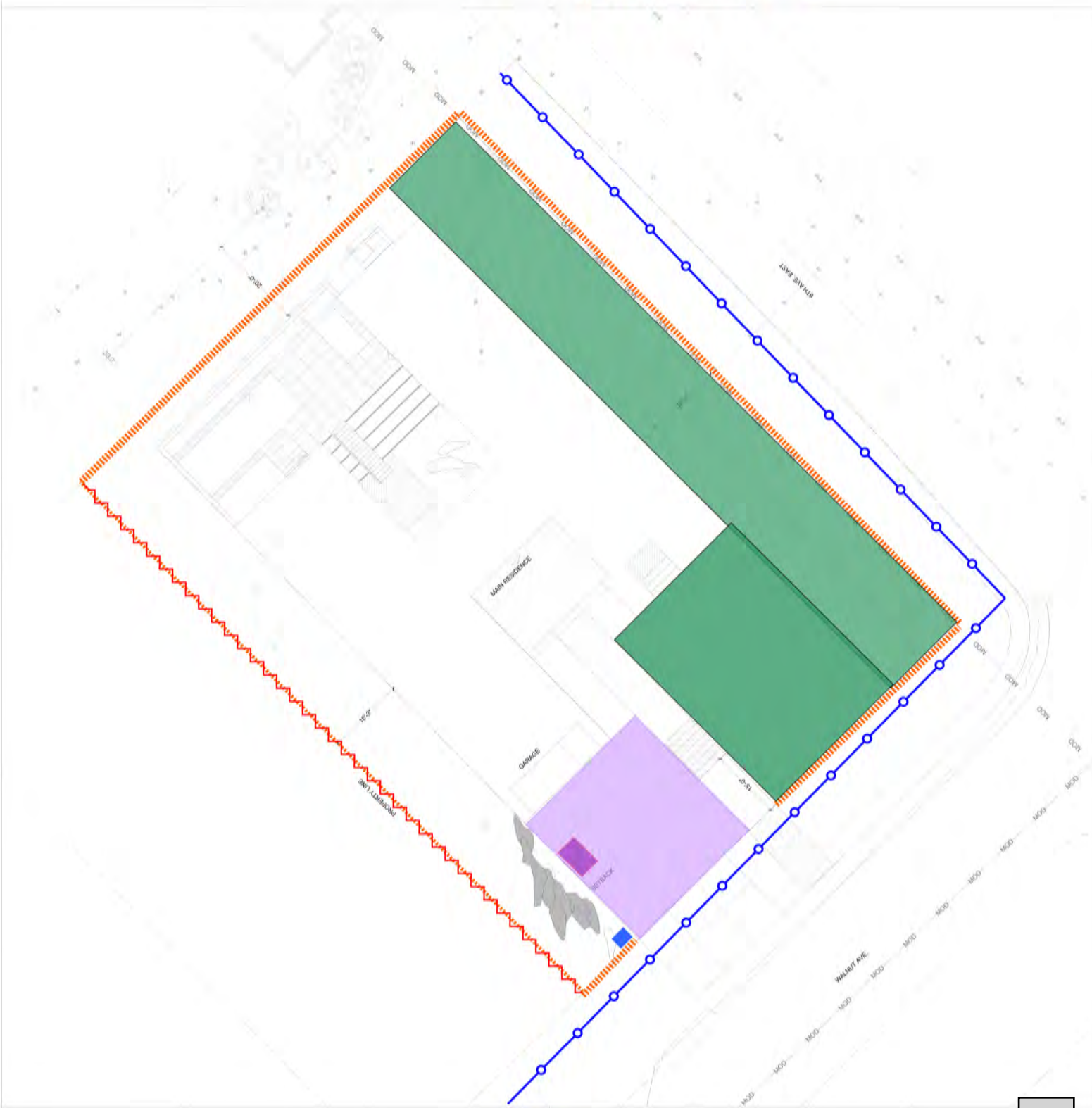
Lee Gilman Builders

208-726-3300

# CONSTRUCTION ACTIVITY PLAN

## CONSTRUCTION ACTIVITY PLAN LEGEND:

-  = Post-hole
-  = dumpster
-  = materials storage/deliveries
-  = site fencing/enclosure
-  = R.O.W. parking
-  = inside site fence
-  = onsite parking



# Benchmark Associates

ENGINEERING, PLANNING, SURVEYING & MAPPING  
PO Box 733 : 100 Bell Drive  
Ketchum, Idaho 83340  
208-726-9512 : Facsimile 208-726-9514

Attn: Adam Crutcher,  
Associate Planner  
City of Ketchum  
City Hall, Planning Department  
191 5<sup>th</sup> St. W.  
Ketchum, ID 83340

RE: Ketchum Townsite BL 91, Lot 1A – wall assessment

May 4, 2022

This letter is regarding the proposed development application for Lot 1A of Ketchum Townsite Block 91. The project is proposing landscape walls within the 30-foot building setback from the front property line. A comment was received from city staff questioning the structural or non-structural nature of this wall.

*“Sheet L7-05 of the MODR plans shows a cross section of the dry stack wall. It appears that a structural engineer has designed the wall which indicates its serving a purpose of holding back the hillside. If the wall cannot be removed without compromising the hillside it is considered a permanent wall which is not permitted within setbacks per the Planning & Zoning Commission interpretation.”*

The drystack wall along the 6<sup>th</sup> Street side of the property is not a structurally designed wall, nor is it stamped and signed by a structural engineer. Additionally, the wall is not holding up the house. The wall is approximately 9 feet from the house. Based on the structural foundation plans prepared by KLAA for the proposed residence, the elevation at the bottom of footing adjacent to the wall will be 5893.8 feet. The bottom of the proposed wall is 5,897.0. Since the bottom of the wall is above the level of the foundation, the wall is not supporting the house foundation and will have no effect on the house should it be removed. The wall will be less than 4 feet in height and will not be surcharged. As shown on the dry stack wall detail on sheet L7-05, the proposed grade will be flat behind the wall for a distance equal to the height of the wall – indicating no surcharge forces on the wall.

The boulder wall on the north side of the driveway is also not a structurally designed wall. This wall will be a maximum of 4 feet high. The geotechnical report shows test pit #4 in the location of this wall. The test pit log shows 2 feet of clay material over bedrock. There is already a steep slope cut into the bedrock at this location. The new boulder wall will be built as a decorative feature in front of the existing steep bedrock slope and is not needed to retain the hillside.

Sincerely,



Phoebe Johannessen, P.E.  
Benchmark Associates

Attachment B  
Mountain Overlay Standards Evaluation

### Mountain Overlay Design Review Standards

<b>IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review:</b>				
The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<p><b>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. “Material”, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b></p> <p><i>Staff Comment</i> The proposed residence complies with this requirement as the structure is not located on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The overall design will serve to protect the visual integrity of the adjacent hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	<p><b>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. “Material”, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b></p> <p><i>Staff Comment</i> Hillside disturbance has been minimized and the project will not have a material visual impact from a public vantage point within or upon entering the city.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (3)	<p><b>Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.</b></p> <p><i>Staff Comment</i> The proposed paver driveway is sited in the same location as the existing, gravel driveway. The City Engineer and Fire Department have approved the proposed design of the paver driveway. The driveway must meet all applicable standards and shall receive approval from the City Engineer and Fire Department prior to the issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	<p><b>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</b></p> <p><i>Staff Comment</i> The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	<p><b>Significant rock outcroppings shall not be disturbed.</b></p> <p><i>Staff Comment</i> There are no significant rock outcroppings within the property boundary of the subject property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	<p><b>International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.</b></p> <p><i>Staff Comment</i> The project must comply with the International Building Code 2018 and the Ketchum Fire Department requirements. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	<p><b>Public water and sewer service shall comply with the requirements of the city.</b></p> <p><i>Staff Comment</i> As indicated on Sheet C2 of the submittal, the applicant has proposed connecting to the municipal water and sewer systems from existing lines within 6<sup>th</sup> Street. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	<p><b>Drainage shall be controlled and maintained to not adversely affect other properties.</b></p>

			<b>Staff Comment</b>	<i>As indicated on Sheet C2 of the submittal, the applicant has proposed a system of drywells to control drainage on the site. Pursuant to KMC 17.96.060.C.1, all storm water drainage shall be retained on site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	<b>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustibile irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</b>
			<b>Staff Comment</b>	<i>The proposed paver driveway will not require significant cuts or fill as it is sited in the same location as the existing, gravel driveway.</i>  <i>An existing cut on the northern side of the property where the proposed driveway is located will be concealed with boulders and vegetation. Revegetation of the hillside includes species such as native grasses, serviceberry, sagebrush, sumac, pines, aspen and other drought tolerant plants.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	<b>No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.</b>
			<b>Staff Comment</b>	<i>No alternative site for the residence exists on the property. The proposed residence will not have a material visual impact on a significant skyline, does not impact a significant rock outcropping, and will minimize the disturbance to native and natural vegetation. The residence is situated at the rear of the subject property resulting in the building tucking into the hillside.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	<b>Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.</b>
			<b>Staff Comment</b>	<i>Access will not traverse slopes greater than 25%. The proposed driveway will be situated over the existing gravel driveway and will not traverse additional areas of the hillside.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (12)	<b>Utilities shall be underground.</b>
			<b>Staff Comment</b>	<i>All utilities shall be undergrounded.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	<b>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</b>
			<b>Staff Comment</b>	<i>The applicant has provided fencing around the property on the Construction Activity Plan. The final construction management plan shall be approved by the City Engineer, Streets Department, and Planning Department prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	<b>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</b>
			<b>Staff Comment</b>	<i>With the exception of the proposed pool excavation and fill is limited to the proposed residence.</i>  <i>Vegetation on the hillside has been minimized with this proposal.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (15)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comment</i>	<i>No significant landmarks have been identified on-site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (16)	<b>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</b>
				<i>No encroachments of below grade structures into setbacks are proposed.</i>



# Attachment C

## Zoning & Dimensional Standards Evaluation

### Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			<i>Staff Comment</i>	<i>Required: 9,000 square feet minimum. Existing (Lot 1A): 16,523 sf</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Coverage</b>
			<i>Staff Comment</i>	<i>Permitted: 35% Proposed: 26% (4344 sf)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			<i>Staff Comment</i>	<i>Minimum: Front: 15' Side: &gt; of 1' for every 2' in building height, or 10' (16.19' required) Rear: 20'  Proposed: Front: 15' Side: 16.25' Side: 16.25' Rear: 20' as measured from alley centerline</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Height</b>
			<i>Staff Comment</i>	<i>Maximum Permitted: 35'  Proposed: 32.475'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	<b>Curb Cut</b>
			<i>Staff Comment</i>	<i>Permitted: 35% or street frontage or 38.5' for the subject property (street frontage 110.11') Proposed: 25.3'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	<b>Parking Spaces</b>
			<i>Staff Comment</i>	<i>Required: Residential one family: 2 parking spaces per dwelling unit Proposed: The applicant is proposing a two (2) car garage. One (1) additional parking space is proposed for the driveway.</i>

# Attachment D

## Design Review Standards Evaluation

**Design Review Standards for all projects**

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Staff Comments</i>	<i>The proposed project connects the residence to Walnut Ave. The applicant is aware that construction of the driveways is their expense.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Staff Comments</i>	<i>N/A. No new street is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Staff Comments</i>	<i>N/A. Subject property is located within the LR zone which does not require sidewalks. Project to meet right-of-way standards for 60’ &amp; 80 ROW which include supplying areas for on-street parking. ROW improvements will be verified at building permit submittal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b> <ul style="list-style-type: none"> <li>a. <b>The project comprises an addition of less than 250 square feet of conditioned space.</b></li> <li>b. <b>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<b>All storm water shall be retained on site.</b>
			<i>Staff Comments</i>	<i>The applicant proposes to retain all stormwater on site. See sheet C1. The drainage and grading plan will be reviewed and approved by the City Engineer and Streets Department Director through the Building Permit review and approval process.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>See sheet C1. Drainage improvements constructed along Walnut Ave &amp; 6<sup>th</sup> St property lines.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			<i>Staff Comments</i>	The specifications for the drywells and catch basins are included on Sheet C3. The drainage plan and associated specifications shall be reviewed and approved by the City Engineer prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Staff Comments</i>	All project costs associated with the development, including installation of utilities are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Staff Comments</i>	All utilities are proposed to be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Staff Comments</i>	Any extension of utilities will be done in accordance with the city of Ketchum standards and at the discretion of the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Staff Comments</i>	As indicated on Sheet A3.1, the proposed materials for the project include stone, horizontal wood siding, steel panel, and bonderized metal roof. The proposed materials and colors are complementary to existing homes around 6 <sup>th</sup> St and Walnut Ave.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comments</i>	N/A. There are no identified landmarks on the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Staff Comments</i>	N/A. The proposal is for new construction.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Staff Comments</i>	N/A. Sidewalks do not exist in this zoning district.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Staff Comments</i>	Building elevations are included on Sheets A3.1, A3.2, A3.3 of the Design Review Submittal. Chimneys, bump outs, balconies and undulation help to provide visual interest. The use of windows on the Walnut Ave & 6 <sup>th</sup> St frontages assists in breaking up the buildings façade.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	The proposed materials and color palette enhance the mountain modern design of the single-family residence. The natural materials and colors complement the surrounding landscape.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Staff Comments</i>	The proposed boulders and retaining wall in the front yard connect to the residence by using a similar color palette. Plant species and boulders for the project provides a natural appearance in which the residence sits within.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Staff Comments</i>	<i>The Walnut Ave elevation of the proposed residence provides undulation through a recessed entry between the two main wings of the residence. From 6<sup>th</sup> St the Chimney and bump out on the second floor help to provide variation and reduce flatness on that side of the building. The</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Staff Comments</i>	<i>Both buildings orient towards Walnut Ave.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Staff Comments</i>	<i>N/A. Satellite receivers are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Staff Comments</i>	<i>The alley behind the property will remain open and unobstructed to allow for pedestrian use</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<i>Staff Comments</i>	<i>The proposed driveway entrance is further than 20' to the intersection of Walnut Ave &amp; 6<sup>th</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Staff Comments</i>	<i>Access for emergency vehicles, snowplows, and garbage trucks is provided from Walnut Avenue &amp; 6<sup>th</sup> Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			<i>Staff Comments</i>	<i>See sheet L0-02.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Staff Comments</i>	<i>Proposed landscape plan (Sheet L0-02) includes native drought tolerant trees such as Ponderosa Pine, Quaking Aspen and radiant Crabapple. Shrubs include drought tolerant species like western sagebrush, serviceberry, and fragrant sumac. Ground covers and grasses which are proposed are also drought tolerant species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(I)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Staff Comments</i>	<i>Proposed landscape plan (Sheet L0-02) indicates planting surrounding the residence so as to provide a buffer between streets and any future development on the lots to the north or across the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Staff Comments</i>	<i>N/A.</i>



City of Ketchum  
Planning & Building

**STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION MEETING OF  
JUNE 14, 2022**

**PROJECT:** PEG Ketchum Hotel, LLC or Ketchum Tribute Hotel or Ketchum Gateway Hotel

**FILE NUMBER:** P22-028 Design Review Permit

**APPLICATION TYPE:** Design Review Permit and Permit Conditions Acceptance Development Agreement

**REPRESENTATIVE:** Nick Blayton, PEG Companies, Justin Heppler, AJC Architects

**OWNER:** PEG Ketchum Hotel, LLC

**REQUEST:** Design Review and Permit Conditions Acceptance Development Agreement

**LOCATION:** 251 S. Main Street – Ketchum Townsite Lots 3, 21, FR 22 Blk 82 N 10' x 110' of alley S 20' x 230' of alley, 260 E. River Street – Ketchum Townsite Lot 2 Block 82 10' x 110' of alley, and 280 E. River Street – Ketchum Townsite Lot 1 Block 82 (Gateway site)

**ZONING:** Tourist (T) Zoning District

**OVERLAY:** Floodplain & Waterways Design Review Subdistricts

**NOTICE:** Notice was published for the June 14, 2022, public hearing in the *Idaho Mountain Express*, the official newspaper, on Wednesday May 25, 2022. On May 25, 2022, notice of the hearing was mailed to the property owners within 300 feet of the subject real property and affected agencies.



## RECOMMENDATION

The Permit Conditions Acceptance Development Agreement is still undergoing review and discussions between the city and applicant. Therefore, staff is recommending the Planning and Zoning Commission conduct a public hearing on the design review application, identify any revisions or conditions of approval related to the design review permit, and if the Commission is ready to approve the project, continue the hearing to a date certain with direction to return with the Findings of Fact, Conclusions of law and Decision of the Planning and Zoning Commission and the proposed Permit Conditions Acceptance Development Agreement. The recommended motion would be:

“I move to approve Design Review Application P22-028 with the recommended conditions of approval and continue the public hearing to (identify a date) for approval of the Findings of Fact, Conclusions of law and Decision of the Planning and Zoning Commission and review and recommendations of the Permit Conditions Acceptance Development Agreement.”

## BACKGROUND

### Background Information Summary

As a result of a noticing error, on April 6, 2020, the City Council vacated the Findings of Fact, Conclusions of law, and Decision of the Planning and Zoning Commission and City Council for the following applications:

- Application for Floodplain Development Permit File No. P19-062
- Application for Lot Line Adjustment File No. P19-064
- Application for Planned Unit Development Conditional Use Permit File No. P19-063
- Design Review File No. P20-019

The Council adopted Orders remanding the applications to the Planning and Zoning Commission for further proceedings and hearings.

In Compliance with the Orders, the Planning and Zoning Commission conducted public hearings on September 28, 2020, and October 23, 2020, recessed the proceedings to December 15, 2020, and again tabled and continued the proceeding to December 22, 2020, and adopted Joint Hearings Record of Proceedings Findings of Fact together with the Findings of Fact, Conclusions of Law and Order of Recommendation to the City Council for each of the following applications:

- Application for Floodplain Development Permit File No. P19-062
- Application for Lot Line Adjustment File No. P19-064
- Application for Planned Unit Development Conditional Use Permit File No. P19-063
- Application for Waiver File No. P20-069

City Council conducted a joint public hearing on February 1, 2021 and adopted the Joint Hearings Record of Proceedings Findings of Fact together with the Findings of Fact, Conclusions of Law and Order of for the applications listed above on February 16, 2021.

On November 30, 2021, the Planning and Zoning Commission reviewed Pre-Application Design Review Permit 20-019 approving the project to advance to Design Review. Since that time, the applicant has secured ITD approval of the proposed SR 75 right of way improvements along with revisions to the project to address the Planning and Zoning Commission recommendations. In addition, the applicant and staff have concluded revisions to the Permit Conditions Acceptance Development Agreement.

Three actions remain before the project is approved. The first is Planning and Zoning Commission review and recommendation to approve Design Review Permit P22-028, Planning and Zoning Commission recommendations on the proposed Permit Conditions Acceptance Development Agreement, and City Council review and approval of the Permit Conditions Acceptance Agreement.

The matter before the Planning and Zoning Commission at this June 14, 2022, meeting is review of the Design Review Permit.

Actions Prior to December 2020 and February 2021

On July 29<sup>th</sup>, 2019, the Ketchum Planning and Zoning Commission held its first public hearings regarding the concurrent land use applications for a new Marriott hotel, proposed by PEG Ketchum Hotel, LLC, for a 1.08-acre site, consisting of three parcels, located at the southwest corner of State Highway 75 and River Street (260/280 E. River and 251 S. Main Street). The Commission held a second hearing July 30<sup>th</sup>, 2019.

The Commission recommended approval of the Lot Line Shift, Floodplain Development/Waterways Design Review, PUD-CUP applications during the July 30<sup>th</sup> meeting and motioned to advance the Pre-Application Design Review application to full Design Review. The Commission continued the hearing on the proposed Development Agreement to their August 12<sup>th</sup>, 2019, meeting and recommended approval to Council during that meeting.

After taking public comment on the proposal on September 16<sup>th</sup>, 2019 (but not reviewing or deliberating on the project) Ketchum City Council held its first public hearings on the concurrent applications on October 7<sup>th</sup>, 2019, and held subsequent hearings on December 2<sup>nd</sup>, 2019, and January 21<sup>st</sup>, 2020. Council took action to adopt Findings of Fact, Conclusions of Law, and Decisions related to the PUD-CUP, Lot Line Shift, and Floodplain Development application on February 3<sup>rd</sup>, 2020. The Council then rescinded (vacated) these Findings on April 6<sup>th</sup>, 2020 and entered the Orders remanding all applications except for File No. P20-069 back to the Planning and Zoning Commission. Application for Waiver File No. P20-069 was filed by the Applicant subsequent to the entry of the Orders and consists of waiver for:

- Minimum lot size for PUDs from 3 acres to approximately 1.05 acres.
- Side yard setbacks from 32 feet to 18 feet 5 inches on the highway/east side, and from 24 feet to 11 feet 8 inches on the interior/west side.
- Floor area ratio (FAR) from 0.5 to 1.57.
- Building height from 35 feet to 72 feet (72 feet is the maximum height from finished grade if measured from the lower sloped portion of the site; 48 feet is the height from grade at River Street).
- Number of floors from 4 floors to 6 floors (6 floors is number of floors if counted from the lower sloped portion of the site; 4 floors is the number of floors above grade at River Street).

The applicant team responded to Council and community input during the Proceedings and revised the physical form of the building (square footage, location on site, bulk, scale, mass, and so forth) over the course of these meetings. These changes to the form of the building and its relation to the site impacted the waiver requests associated with the PUD-CUP application.

Approved Project

<b>Project Characteristic</b>	<b>February 16, 2021, Approvals</b>
Total gross square feet	128,436 gross square feet
Floor Area Ratio	1.57 exclusive of basement areas and underground parking
Open site area	21,362 square feet
Building height, total	72'
Building height, measured from River St.	48'
Building height measured from Trail Creek	28'
Rear (South/Trail Creek) Setback, Minimum	25' + 10' (sewer easement)
Front (North/River Street), Minimum	15'
Side-East (Highway), Minimum	20' with an average side setback along the highway of 31.3
Side-West (Interior lot line), Minimum	16'
Employee housing beds on site	23 beds one (1) 4BR unit w/ 7 beds two (2) 2BR units 12 studios
Number of hotel rooms	92

The project includes 84 underground parking spaces (53 spaces are dedicated to hotel operations, 18 spaces are dedicated to employee housing, and 13 spaces are devoted to public use), as set forth in Project the Permit Conditions Acceptance Development Agreement.

As approved by Council, direct project ingress/egress to State Highway 75 (SH75) for anything other than fire emergency staging is not allowed. Conditions of approval require installation of north bound left turn lane at River Street and SR 75 to be constructed by the applicant as a condition of certificate of occupancy for the project.

Analysis

The applicant proposed minimal changes to the project previously approved by the Planning and Zoning Commission and City Council on January 21, 2020. Some changes did occur based on Planning and Zoning Commission and City Council direction. The changes that occurred between January 21, 2020, and February 16, 2021 consist of:

- The project setbacks have been modified to reflect requested increase to 16 feet along the west property line, and a minimum of 20 feet along the east property line with an average setback of no more than 31 feet from edge of SH75 ROW.
- Revisions have been made to the River Street encroachment design. The curb bulb out into River Street has been revised to conform to City standards.
- Exterior patios and terrace walls have been slightly modified to fit built structures within the updated setbacks along SH75. These walls were revised to minimize concentration of height in any one location.
- To address the concerns related to mechanical equipment and utilities located on the west side of the project, the following changes have been made:
  - The west setback increased to 17 feet at ground level, and 16 feet on upper levels.

- The Emergency power / back-up generator has been relocated inside the parking garage on level -01.
- Visual impact of Idaho Power electrical equipment will be minimized by screening with a slatted wooden fence
- Vents that are planned to occur along the west property line include the commercial dryer ventilation. The commercial dryer ventilation system proposed will feature a series of filters and lint traps that effectively catch lint adjacent to the dryers. In addition to the filters, the vents will be 17 feet from adjacent property line, and the ducting will be designed with velocity that will not cross the property line.

Pre-Application Design Review.

On November 20, 2021, the Planning and Zoning Commission was presented with the revised plans for pre-application design review. The Planning and Zoning Commission approved the project to move forward to design review with the following revisions:

- Provide details on the wall/building design along SR 75: Show how the walls/building will look when there is no tree foliage. Provide material details and design details.
- Address the treatment at the corner of River and SR 75: Redesign the corner treatment so that space can be used by the general public year-round and not used by just hotel guests. Look at eliminating the fire pit.
- Identify the mix of employees and managers that would be employed.
- Look at River Street side to address pedestrian safety in light of all the activities that are proposed on that frontage (deliveries, trash, drop-off, and pickup).
- Provide details on mechanical screening for all the equipment.
- Address the design of creek access trail from the highway – look at the materials, make more natural and inviting.
- Address the SR 75 elevation in the middle of the project: is there some way to break up the mass with a change in materials or step backs.

In response to the Commission’s comments that applicant has responded as outlined in Attachment A. The plans dated May 27, 2022, Attachment B address each of the issues noted by the Commission.

**DESIGN REVIEW ANALYSIS**

Attachment C is a copy of the Council adopted Planned Unit Development CUP Findings for the project.

Pursuant to KMC §17.96.020, the purpose of Design Review is to maintain and enhance the appearance, character, beauty, and function of the city, to ensure that new development is complementary to the design of existing City neighborhoods, and to protect and enhance the economic base of the City of Ketchum.

As further identified in the 2014 Ketchum Comprehensive Plan, Design Review criteria and standards are intended to encourage new development to align with the community’s vision for Ketchum as an authentic mountain community with a world-class character, yet small town feel (p. 7).

Staff analysis of the application consistent with the aforementioned purpose and intent follows in Table 1 and Table 2. Specifically, staff comments and recommended findings are organized within two tables. Table 1 analyzes how the March 27, 2022, plans (Attachment B) complies with the City's Design Review Improvements and Standards Analysis and Considerations. Table 2 analyzes how the May 27, 2022, plans comply with the City's PUD Project Waiver Consideration and Analysis / Tourist Zoning District Dimensional Standards.

**PUBLIC COMMENT**

Two written comments were received prior to the distribution of the Planning and Zoning Commission packet. Those comments are provided in Attachment D.

**Table 1: Design Review Improvements and Standards Analysis and Considerations**

Design Review Improvements and Standards Analysis and Considerations KMC § 16.08.080 G 1 IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.050.A.1 Criteria	<b>The project does not jeopardize the health, safety or welfare of the public.</b>
			Staff Comment / Draft Finding	<i>As conditioned through the PUD/CUP and Design Review Permit, controls on design, inclusion of employee housing, pedestrian circulation and improvements within public rights-of-way, among other provisions set forth in the PUD/CUP Findings adopted by Council, the Commission finds the project will not jeopardize the health, safety of welfare of the public.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080 G 1 & 17.96.050.A.2, Criteria	<b>The plan is in conformance with and promotes the purposes and goals of the comprehensive plan, zoning ordinance, and other applicable ordinances of the city, and not in conflict with the public interest:</b>  <b>Pursuant to subsection 16.08.070D of this chapter, all of the design review standards in chapter 17.96 of this code shall be carefully analyzed and considered. This includes detailed analysis of building bulk, undulation and other design elements. The site plan should be sensitive to the architecture and scale of the surrounding neighborhood.</b>  <b>The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.</b>
			Staff Comment / Draft Finding	<i>The Commission carefully analyzed and considered the standards of these sections and finds the project plans to be sensitive to the architecture and scale of the surrounding neighborhood and is in harmony with the surrounding area. The Commission also finds that the Project conforms with applicable standards and criteria as set forth in KMC Chapter 96 and Title 17, and the CUP/PUD standards and waivers and not in conflict with the provisions of KMC Chapter 08 of Title 16 [the Planned Unit Development Ordinance].</i>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			Staff Comment / Draft Finding	<i>The property is located at 260-280 E. River Street with approximately 334 linear feet (LF) of frontage along State Highway 75 (SH75) and approximately 170 feet of linear frontage adjacent along River Street. As stipulated by the Ketchum City Council approval of the associated Planned Unit Development application for the property, the project will not have direct access onto SH75 for anything other than emergency access staging. The applicant is responsible for all costs associated with connecting the project to River Street, including access to the parking garage, pick-up/drop-off, hybrid delivery/public parking, and various sidewalk and plaza improvement. The project is designed consistent with the recommendation of the city's 3<sup>rd</sup> party traffic consultant (AECOM) and subject to an encroachment permit by the city. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			Staff Comment / Draft Finding	<i>The final street design, including snowmelt, delivery parking, pick-up/drop off areas, plaza amenities, sidewalk width/locations, ADA ramps, and bulb out are subject to city engineer approval, as well as an encroachment permit by Council. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			Staff Comment / Draft Finding	<i>The project qualifies as a substantial improvement and 8’ sidewalks along River Street and SH75 are required, totaling approximately 504 LF. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City’s right-of-way standards; however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			Staff Comment / Draft Finding	<i>The project qualifies as a substantial improvement and 8’ sidewalks along River Street and SH75 are required. The city ROW standards also require on-street parking, which is being mitigated with 13 public parking spaces within the Applicant’s parking garage. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b>
				<ul style="list-style-type: none"> <li>a. <b>The project comprises an addition of less than 250 square feet of conditioned space.</b></li> <li>b. <b>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</b></li> </ul>
			Staff Comment / Draft Finding	<i>N/A</i>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			Staff Comment / Draft Finding	<i>The applicant proposes to install a new 8' wide sidewalk along the north and east perimeter of the property. The new sidewalk will be approximately 504 total linear feet (LF) as follows: 170 LF along River Street and 334 LF along SH75. The River Street sidewalk will be snow melted by the applicant. The exact location of the sidewalk will be noted within the ITD and River Street Encroachment Permits. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			Staff Comment / Draft Finding	<i>The applicant proposes to install a new 8' wide sidewalk along the north and east perimeter of the property. The new sidewalk will be approximately 504 total linear feet (LF) as follows: 170 LF along River Street and 334 LF along SH75. The River Street sidewalk will be snow melted by the applicant. The exact location of the sidewalk will be noted within the ITD and River Street Encroachment Permits. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			Staff Comment / Draft Finding	<i>The new sidewalk along the applicant's property connects to existing and future city sidewalk infrastructure. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			Staff Comment / Draft Finding	<i>N/A. The project does not propose making a voluntary cash contribution in-lieu of improvements for this project.</i>



Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<b>All storm water shall be retained on site.</b>
			Staff Comment / Draft Finding	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted Storm Water Pollution Plan (Civil Drawing Sheet C2.0 from Galena Engineering), as well as a preliminary utility plan with drainage details on Civil Drawing Sheet C4.0 of the Design Review submittal. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b &amp; KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Attachment for City Department comments including City Engineer and Streets Department conditions. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			Staff Comment / Draft Finding	<i>See above Staff Comment / Draft Finding for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped and Idaho licensed engineer and require review approval from the City Engineer &amp; Streets Department prior to issuance of a Building Permit for the project. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			Staff Comment / Draft Finding	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			Staff Comment / Draft Finding	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer &amp; Streets Department. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			Staff Comment / Draft Finding	<i>The applicant is aware of this requirement and the preliminary plans indicated in the Galena Engineering set of Civil Drawings show utility connections and locations. Also, will serve letters have been received from all the major utility service providers for the project, including IMG, Idaho Power, City Water and Sewer, Cox, and Clear Creek. See Attached Public Works Department comments and other will serve letters. As conditioned, the Project complies with this standard.</i>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			Staff Comment / Draft Finding	<i>All utilities within the development site shall be underground and concealed from public view. The transformer for the Project is proposed in the Northwest Portion of the site with landscape screening. See above Staff Comment / Draft Findings for Ketchum Municipal Code §17.96.060(D)(1). The plans show the transformer will be screened and as proposed, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2”) inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			Staff Comment / Draft Finding	<i>The applicant is aware of this requirement and will comply with these standards. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			Staff Comment / Draft Finding	<p><i>The Applicant notes the following about how the materials and colors selected for the project complement Ketchum’s townscape, surrounding neighborhood, and adjoining structures:</i></p> <p><i><b>STONE</b> – Located primarily along the base volume of the restaurant and lobby along River Street. Our stone selection is a dry-stack stone with natural buff / light gray tones and horizontal directionality. Natural stone tones intended to reflect the prevalent stone formations around Wood River Valley, and rustic residential architecture of the area.</i></p> <p><i><b>BOARD FORMED CONCRETE</b> – The grounding base element of this building, as the site drops, the board formed concrete foundation walls and site terraces with the landscape. Horizontal board formed texture gives a more natural textured finish vs. a traditional smooth face concrete. This material is seen throughout the valley on residential and commercial projects.</i></p> <p><i><b>STOREFRONT GLAZING</b> – All windows, doors, and storefront glazing will be a simple dark bronze / black frame with high performance clear glazing. Dark frames tend to visually disappear from the architecture as other textures pop. Dark frames historically relate to old steel framed windows found though-out Western vernacular architecture and are seen on most commercial and residential buildings in Ketchum.</i></p>

				<p><b>CHARWOOD VERTICAL SIDING</b> – This highly sustainable material is a low maintenance, fire resistant, textured gray wood to contrast / compliment the clear cedar siding throughout the project. Historically grey wood is achieved through staining or natural aging (see adjacent Korb property) but requires regular maintenance and sealing. Charred wood produces a natural gray wood aesthetic that doesn't require future staining or sealing. Gray finished wood is seen throughout Wood River Valley on historic structures, commercial structures, and all grades of residential projects.</p> <p><b>STEEL GUARDRAIL / STEEL PLATE FASCIA</b> – Similar to the dark bronze storefront, clean horizontal steel railings and perimeter roof detailing provides a subtle contemporary touch that ideally disappears from the overall project to let other elements pop. The black flat bar railings are visually lighter than a heavy wood railing or panel railing and require less maintenance / upkeep than a clear glass railing would. Exposed steel details are common on much of the local architecture and relates back to historic mining and ski tower structure.</p> <p><b>CEDAR WOOD HORIZONTAL SIDING</b> – Wood siding is probably the most commonly seen exterior material in the Wood River Valley and Ketchum. Its natural texture provides visual connection to surroundings as opposed to more commercial materials like flat metal panel or stucco. 'Clear' wood defines the grade of wood to have minimal knots or variation in the grain, so just denotes a higher finish grade of wood. This material will be sealed to maintain a more consistent finish, but color will change over time with exposure to the elements.</p> <p><b>VERTICAL WOOD SLAT W/ METAL PANEL BEHIND</b> – The wood slat siding will use the same clear cedar material as the building siding, but in a lighter slatted application to provide a more vertical structural appearance on a few select locations of the building. The intent of this material is to act as a lighter accent to the mass of the building itself. Dark bronze or black metal panel behind will contrast the clear cedar and make the wood stand out from its background. Again, wood is one of the most common building materials in the area, and this is a creative use of a common material.</p> <p><i>Furthermore, the applicant has provided details of materials to be used on each elevation of the building.</i></p>
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				<p>The site is eligible for 56 square feet of wall signage on River Street and 60 square feet along its SH75 frontage. The applicant will be required to submit and obtain a sign permit for Project signage prior to installation.</p> <p>As conditioned, the Project complies with this standard. The project materials, colors are found to be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p>
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Ketchum Municipal Code §</b>	<b>City Standards and Staff Comment / Draft Findings</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<p><b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b></p> <p><i>Staff Comment / Draft Finding</i> N/A. There are no identified landmarks on the property.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<p><b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b></p> <p><i>Staff Comment / Draft Finding</i> N/A as the existing buildings on site will be demolished and the project will be new construction.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	<p><b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b></p> <p><i>Staff Comment / Draft Finding</i> The proposed sidewalks will connect as required. The subject property is a corner lot with street frontage along River Street and State Highway 75/Main Street. As a substantial improvement, the hotel project is required to install sidewalks equal to the length of the subject property lines adjacent to River and Main Streets. All sidewalks shall be constructed to City standards contained in KMC §12.04.030.M as well as all applicable City right-of-way standards. The main entryway to the hotel lobby is from River Street. The pedestrian ways along River Street will include a snowmelt system, which serves to further activate the corner of River and Main Streets by enhancing the pedestrian streetscape. The proposed front façade has been designed with ground floor windows and glass doors, which invites the public and hotel guests into the hotel. As conditioned, the Project complies with this standard.</p>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			Staff Comment / Draft Finding	<p><i>Congruous with the natural topography of the development parcel, the mass of the building steps up the sloping grade from the south corner of the parcel adjacent to Trail Creek to the front property line at River Street. The vertical mass at the east elevation fronting Main Street is broken up by variation in roof heights, material differentiation, and a combination of horizontal and vertical elements. Projecting balconies and canopy elements serve to articulate breaks within the vertical plane. The circulation corridor design at the center of building serves as a prominent architectural feature anchoring the hotel to the site. Characterized with window openings at the east elevation fronting Main Street, the fenestration proposed with the circulation corridor serves as a visual invitation welcoming the public inside the hotel in order to enjoy the rooftop bar, restaurant, and lounge. The rooftop bar overhang element echoes the overhangs proposed at the entry and the corner of Main &amp; River Streets linking the public amenities proposed with the project including the restaurant, dining area, and lounge.</i></p> <p><i>Public space adjoins the hotel entry as well as a canopy covered bar patio on Level 01 that is retained by a board formed concrete adjacent a new 8' wide sidewalk along SH75 and landscape screened from SH75 (toward southeast). The architecture in this corner is tiered from the SH75 street level by a retaining wall, the top of first floor plate level roof overhang canopy above the public outdoor dining, and then three floors of patios that provide terraced outdoor living areas for certain suites.</i></p> <p><i>Fixtures shielded underneath canopies must be flush mounted or side shielded. KMC §9.08.040.8 enumerates standards for noise levels permitted in the nighttime, daytime, and evening.</i></p> <p><i>The building character is clearly defined by the combined use of vertical elements, such as char wood vertical siding and wood slats with sheet metal behind panels, and horizontal elements, such as cedar wood horizontal siding. Also characterizing the building is its transparency, including thermally broken windows and accessible balconies with steel guardrails for the hotel rooms, as well as canopies and steel plate knife edge fascia to offset architectural elements.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			Staff Comment / Draft Finding	<i>Applicant has provided a materials board consisting of Clear Cedar Screen, Clear Cedar T&amp;G, Shou-sugi Ban Wood, Board-formed Concrete, Dry-stacked Stone, Black Steel Trim, Sand-Blasted Concrete and Flat-Bar Railing. Subject material board is characterized by natural materials including stone, steel, and wood with fenestration to celebrate the outside environment within interior common areas and living space. Notably, each of the 92 hotel rooms has access to outdoors with either a Juliet or full walk-out balcony. The materials are carried around the periphery of the building to create design continuity. Additionally, a sign master plan has been submitted by the applicant and will be subject to future administrative approval. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			Staff Comment / Draft Finding	<i>The applicant has proposed a landscape buffer southward of the front plaza bar patio characterized by a mix of landscaping, planter beds, and board-formed concrete and/or stone retaining walls. These improvements create a tiered, low to high, stepped back design complementary of the principal building. The Applicant has provided a more detailed landscape plan that softens the building façade, mitigates SH75 noise, and gives vitality to the 45% project open space. As conditioned, the Project complies with this standard.</i>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			Staff Comment / Draft Finding	<i>River Street has been analyzed by the design team, AECOM, city staff and the Council and determined to be the preferred solution for project access in terms of level of service, traffic flow, circulation, deliveries, parking, snow removal, and pedestrian access. Additionally, as determined by Council, direct access to the project from SH75 shall be limited to fire emergency staging only. The hotel is oriented towards River Street as the primary street frontage. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			Staff Comment / Draft Finding	<i>The project has no access to any public alleyway and, as such, this portion of the DR standard (F)(7) is not applicable. However, garbage storage for the project will be screened from public view. As set forth on the Level 01 Floor Plan, a trash / loading area is located just inside the parking garage off the garage vestibule. The applicant has obtained a will serve letter from Clear Creek Disposal for the project. Furthermore, any satellite receivers for the project or on the property shall be screened from public view. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			Staff Comment / Draft Finding	<i>The building design includes at the entrance to the hotel lobby a cantilevered canopy that terminates at the applicant's property line along River Street. The restaurant bar patio also is covered. Both features will prevent water from dripping or snow from sliding on areas where pedestrians gather and circulate. Furthermore, the applicant proposes to snow melt the front drop off, plaza, public sidewalk areas as part of its River Street Encroachment Permit with the City. As conditioned, the Project complies with this standard.</i>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			Staff Comment / Draft Finding	<i>Approximately 500 linear feet of new sidewalk will be built within the River Street and SH75 public ROW abutting the property. The sidewalks will be 8' in width to comply with city standards. The sidewalk along the north-side of the hotel is proposed to be snow melted. Additional pathways are proposed on the applicant's property that wrap the southwest, southern and southeast parts of the building. These are internal walkways that connect to hotel ingress/egress points, various public entries, the dedicated fisherman's easement noted on the subdivision plat for Trail Creek, required hotel emergency evacuation routes, and the aforementioned public ROW sidewalks. Bike racks are also proposed consistent with hotel requirements. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			Staff Comment / Draft Finding	<i>N/A as the applicant has not proposed any awnings that project over a public sidewalk. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			Staff Comment / Draft Finding	<i>Approximately 500 linear feet of new sidewalk will be built within the River Street and SH75 public ROW abutting the property. The sidewalks will be 8' in width to comply with city standards. The sidewalk along the north-side of the hotel is proposed to be snow melted. Additional pathways are proposed on the applicant's property that wrap the southwest, southern and southeast parts of the building. These are internal walkways that connect to hotel ingress/egress points, various public entries, the dedicated fisherman's easement noted on the subdivision plat for Trail Creek, required hotel emergency evacuation routes, and the aforementioned public ROW sidewalks. Bike racks are also proposed consistent with hotel requirements. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			Staff Comment / Draft Finding	<i>N/A as the applicant has not proposed any awnings that project over a public sidewalk. As conditioned, the Project complies with this standard.</i>



Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
☒	☐	☐	17.96.060(G)(3)	<p><b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b></p>
			Staff Comment / Draft Finding	<p><i>As noted in the February 16, 2021 City Council-adopted PUD Findings including in part §17.116.030(C), the City finds the Project will be adequately served by necessary vehicular and nonmotorized transportation systems. This finding was made after reviewing the detailed traffic impact study (TIS) prepared by Hales Engineering, which AECOM (on behalf of the city) provided a peer analysis. As conditioned herein, the Commission finds that traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. In making this finding, consideration was given to assuring adequate sight distances and proper signage.</i></p>
☒	☐	☐	17.96.060(G)(4)	<p><b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b></p>
			Staff Comment / Draft Finding	<p><i>No curb cuts or driveway entrances are proposed that are closer than twenty (20') feet to an intersection of two or more streets, as measured along the property line adjacent to the right of way. Improvements to River Street are subject to a city encroachment permit. As conditioned, the Project complies with this standard.</i></p>
☒	☐	☐	17.96.060(G)(5)	<p><b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b></p>
			Staff Comment / Draft Finding	<p><i>Significant attention has been given to the project by the city engineer, fire, streets and planning departments to assure that unobstructed emergency access, snow plowing needs, and other city design considerations are properly addressed with the project. Furthermore, the applicant has received a will serve letter from Clear Creek Disposal for the project. As conditioned, the Project complies with this standard.</i></p>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and Staff Comment / Draft Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			Staff Comment / Draft Finding	<i>This standard applies to on-site parking and circulation areas, not pedestrian and parking circulation areas within the public right-of-way. All on-site parking is located within the parking garage and the entrance to the parking garage is within the boundary the applicant plans to snowmelt. An extensive sidewalk network is proposed on-site for the public and guests. Portions of this sidewalk network need to remain free of snow for hotel evacuation purposes. As a result, the applicant walkways along the southwest and south portions of the project that are associated with hotel ingress/egress points will be snow melted. With 45% open space on-site and a network of snowmelt sidewalks, the applicant's pedestrian circulation area is greater than 30%. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comment / Draft Finding	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			Staff Comment / Draft Finding	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			Staff Comment / Draft Finding	<i>The applicant proposes a snowmelt system for the project. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			Staff Comment / Draft Finding	<i>Pursuant to KMC §17.96.060.I, landscaping shall serve to enhance and complement the neighborhood and townscape as well as provide a buffer between land uses. The landscape plan incorporates a landscape buffer separating the hotel from Main Street. The landscape plan is comprised of a mixtures of trees, bushes, grasses and flowers appropriate to the environment. Street trees are proposed to be incorporated into the streetscape design adjacent to River Street. All proposed street trees will require electrical outlets and irrigation and must maintain a minimum of 6 ft of clearance within the public sidewalk. Materials and vegetation types are required to be readily adaptable to the site's microclimate, soil conditions, and orientation. All trees, grasses, and perennials must be drought tolerant and native species are recommended.</i>  <i>Due to the requested waiver to reduce the west side setback, the Commission requested the applicant enhance the landscape design in order to provide a buffer between the hotel and the adjacent office buildings located at 220 E River Streets. A 16' building setback and landscape buffer have been provided.</i>  <i>The Commission called for the proposed landscape design to include a comprehensive strategy for the riparian area including a point of access for the public to access Trail Creek. This has been provided, inclusive of public access.</i>

				<p><i>A landscape plan is included in the Design Review submittal. The landscape plan includes Aspen Trees, understory shrubs and wildflowers, native trees, shrubs, and grasses, as well as planters comprised of ornamental grasses and perennial flowers.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Ketchum Municipal Code §</b>	<b>City Standards and Staff Comment / Draft Findings</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(2)	<p><b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b></p>
			Staff Comment / Draft Finding	<p><i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the building and complement the neighborhood and entry into town. The planters integrated within the front façade enhance the building design and facilitate the creation of inviting outdoor gathering areas.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(3)	<p><b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b></p>
			Staff Comment / Draft Finding	<p><i>The landscaping plan indicates native trees, shrubs, and grasses to conserve water will be installed.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(4)	<p><b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b></p>
			Staff Comment / Draft Finding	<p><i>The proposed landscaping will provide a buffer between office building to the west and SH75 to the east. The natural riparian landscaping along Trail Creek is retained. As conditioned, the Project complies with this standard.</i></p>

Yes	No	N/A	Ketchum Municipal Code §	City Standards and <i>Staff Comment / Draft Findings</i>
☒	☐	☐	17.96.060(J)(1)	<p><b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b></p>
			<p><b>Staff Comment / Draft Finding</b></p>	<p><i>Public amenities are required to be provided wherever sidewalks are installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, or art. The applicant proposes these amenities along River Street. All public amenities proposed to be installed shall meet all applicable City right-of-way standards and receive approval from the City Engineer and Streets Department.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>

**Table 2: PUD Project Waiver Consideration and Analysis/ Tourist Zoning District Dimensional Standards.**

For purposes of consistency Staff has reviewed the standards set forth in Table 2 (herein below), as well as the February 16, 2021 PUD/CUP Findings and finds the Project in compliance with the Tourist Zoning District findings as follows.

<b>Tourist Zoning Standards</b>			<b>City Standard &amp; Staff Comment / Draft Staff Comment / Draft Findings</b>	
<b>Compliant</b>			<b>KMC Section</b>	<b>City Standard &amp; Staff Comment / Draft Findings</b>
<b>Yes</b>	<b>No</b>	<b>N/A</b>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Minimum Lot Area: 9,000 square feet minimum.</b>
			<b>Staff Comment / Draft Finding</b>	<i>The property is 47,249 square feet in size and has a lot width with the one-lot subdivision application that exceeds the minimum lot size and widths required in the Tourist Zone. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Coverage</b>
			<b>Staff Finding</b>	<i>Approximately 21,362 square feet of the property will remain open space, which is approximately 45% of the 47,249 square foot site. The Project has greater than the required thirty-five percent (35%) minimum open space set forth in the KMC for the Tourist Zoning District. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.124.040</b>	<b>Setbacks</b> Front: 15' Riparian: 25' SH75: 25' / 32' Side: the greater of 1' for every 3' in building height, or 5'
			<b>Staff Comment / Draft Finding</b>	<i>Front &amp; Riparian Setbacks: The project as set forth in the attached Design Review Drawings complies with the city's 25' riparian and 15' front setback requirements. In accordance with KMC 17.88.050.E.3 the proposed pathway through the riparian zone and providing access to Trail Creek is approvable. Side Yard Setbacks: The Design Review drawings comply with the waivers approved as part of the PUD process by the City. Notably, the DR drawings show that the average setback of the proposed hotel along SH75 is an average of 31'.3" The project drawings also show that the building sixteen (16') from the west side property line consistent with KCC approval of the PUD. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.124.040</b>	<b>Permitted Gross Floor Area Ratio: 0.5 or greater for hotels</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.040</b>	<b>Building Height</b> <b>Maximum Permitted: 35' or greater for hotels</b>
			<b>Staff Comment</b>	<i>Street. The hotel is proposed as a four-story structure on River Street, and step / terrace down to three and then two stories nearest Trail Creek. (B) The KMC does not specify the maximum height of a four-story building. Historic references in the KMC, as well as the top floor plate of the adjoining Limelight Hotel show the hotel fourth floor to equal approximately forty-eight feet (48') while the top of the Limelight hotel penthouse parapet is 73.5' (C) Maximum height of the building shall not exceed 48' when the building is measured from the highest elevation of the property (along River Street) or 72' when building height is measured from the lowest elevation of the property (along Trail Creek). (D) During the transition where the four-story building along River Street steps down approximately thirty feet (30') toward Trail Creek, the forty-</i>

			<p><i>eight foot (48') high 4-story building reads like 6-stories at seventy-two feet (72') high. This is permissible consistent with KMC §16.08.020.B and desirable as follows: first, the height of the building at subject central location is below the forty-eight (48') 4-story horizontal plane established by precedent and with the top of the fourth floor at the adjacent Limelight; second, the City recognizes that in this central location of the structure, that the 4-stories of hotel use are sandwiched between two public amenities (employee housing and a roof top bar for the public). The unique characteristics of the site at this location, where the existing grade drops quickly in the center of the site, result in a portion of the building having a taller element of seventy-two feet (72') as measured from existing grade. The City finds this consistent with KMC §16.08.020.B, "[i]n the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control." (E) In comparison to both the Limelight and approved Bariteau hotels on opposing corners, the height of the proposed Hotel is lower and more closely aligned to the fourth floor of each building. (F) The Gateway Study and Subarea Analysis indicate that the proposed hotel is both by design and use consistent with envisioned plans for the corner of SH75 and River Street. and, (G) Further, the proposed hotel project is consistent with current Tourist Zoning District zoning allowances for hotels. Each of the attendant uses, including restaurant/bar, meeting rooms, and employee housing are also permitted in the Tourist Zoning District.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.030.H</b> <b>Curb Cut Permitted:</b> <i>A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</i></p> <p><b>Staff Comment / Draft Finding</b> <i>There are no curb cuts proposed along State Highway 75. The new configuration results in less than thirty-five percent (&lt; 35%) of the linear footage of street frontage devoted to access the off street parking within the parking garage. The City finds that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.125.020.A.2 &amp; 17.125.050</b> <b>Parking Spaces</b> <i>Off-street parking standards of this chapter apply to any new development and to any new established uses.</i></p> <p><b>Staff Comment / Draft Finding</b> <i>As analyzed by staff and consistent with KMC §17.125, the Project has adequate parking for the proposed uses on the property. The project is parked with 84 on-site garage parking spaces. Of the 84 spaces provided for the Project not less than 13 spaces are reserved for public use, 18 spaces are reserved for employee housing use, and the remaining 53 spaces are needed for hotel operations. As conditioned, the Project complies with this standard.</i></p>

## RECOMMENDED CONDITIONS

1. This Design Review approval is subject to the PUD Findings adopted by the KCC on 2/16/21 for the PEG Ketchum.
2. This Design Review approval is subject to the conditions as set forth in Tables 1 and 2.
3. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho including the utilities and drainage plans to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
4. This Design Review approval is based on the May 27, 2022 plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
5. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to issuance of Building Permit and Certificate of Occupancy.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council (KMC §17.96.090).
7. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
8. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
9. Any satellite receivers located on the hotel property shall be subject to a separate review and permit approval.
10. The hotel project is required to install 8' wide sidewalks equal to the length of the subject property lines adjacent to River and Main Streets or 504 linear feet, whichever is greatest. All sidewalks shall be constructed to City standards
11. Lighting and noise related to the rooftop bar shall be in compliance with the following city code requirements: KMC §17.132 requires all exterior lighting be full cutoff fixtures with the light source fully shielded. Fixtures shielded underneath canopies must be flush mounted or side shielded. KMC §9.08.040.8 enumerates standards for noise levels permitted in the nighttime, daytime, and evening.
12. Any modification to the existing Floodplain Waterways Design Review permit is subject to review and approval.
13. Prior to installation of signage, a sign permit shall be submitted and approved.
14. Sidewalks that are required for the hotel evacuation plan shall be part of the hotel snowmelt system and kept free of snow. A snow melt diagram shall be incorporated into the drawing set approved at the time of building permit issuance to assure areas proposed for snowmelt are constructed as such and found operational as a condition of certificate of occupancy.

## ATTACHMENTS

- Attachment A:** May 5, 2022 Memo Outlining Design Changes in Response to November 20, 2021 Pre-Application Design Review Meeting
- Attachment B:** May 27, 2022 Design Review Plans
- Attachment C:** February 16, 2021 PUD/CUP Findings of Fact and Conditions of Approval
- Attachment D:** Public Comments

# ATTACHMENT A





# design review updates

number   name	date	sent by
1912.01   Ketchum Prologue Hotel	05/11/2022	Dijana Alickovic

Please see below responses in red concerning drawing updates to the Ketchum Prologue Hotel Design Review Submittal based on Order of Decision conditions in Section IV of the Findings of Fact, Conclusions of Law, and Order of Decision document date 02-05-2021, File No P19-063.

Not all 'Conditions' are applicable to drawing submittal, as many comments will be reflected in operations, permitting, and development agreements between PEG Companies and Ketchum City. If the Condition / Comment is not directly addressed below, it did not directly affect the Design Review Application Submittal Package.

- Details on the wall/building design along SR 75: Please show how the walls/building will look when there is no tree foliage. Provide material details and design details.

**Response:** Design team has provided renderings that exclude tree foliage. This is reflected on page 35 and page 37 in the Design Review Presentation. The design team was also able to reduce the massing of the site wall by introducing the guardrail. Material detail pallet is included on page 25 to page 29 in the Design Review Presentation.
- Address the treatment at the corner of River and SR 75: Based on the comments of the P&Z, redesign the corner treatment so that space can be used by the general public year-round and not used by just hotel guests. Look at eliminating the fire pit.

**Response:** Design team has revised the corner plaza to include gathering place for the public. Bench seating has been included in the design. Some bench seating has been integrated in the landscape to appeal inviting. This revision is reflected in the Architectural Site Plan - page 5, Landscape Plan – page 6, River Street Entry Plaza plan – page 7, Level 1 Floor Plan – page 17, Civil Drawings – page 47 & 48, and Architectural Renderings.
- Identify the mix of employees and managers that would be employed.

**Response:** Operations will employ around 90 employees and 15 would-be managers.
- Look at River Street side to address pedestrian safety in light of all the activities that are proposed on that frontage (deliveries, trash, drop-off, and pickup).

**Response:** Design team has addressed and identified a pedestrian pathway at the River Street Entry Plaza. Proposed activities such as deliveries, trash, drop-off / pickup, garage entry and exit, and pedestrian pathway have been clarified on the diagram located on page 8 and 9 in the Design Review Presentation.
- Provide details on mechanical screening for all the equipment.

**Response:** Mechanical equipment is to have a perforated metal screen with tube steel framing, painted black. The perforated metal screen is extruded aluminum with vertical corrugated profile. The profile is derived from the vertical wood profile on the building facade. The material detail is included on page 28, West Elevation in the Design Review Presentation.

6. Address the design of creek access trail from the highway – look at the materials, make more natural and inviting.  
Response: Design team has addressed the creek access trail from the highway. The path consists of natural elements such as stone and vegetation. This revision is reflected on Creek Access Plan - page 10 and Landscape Plan – page 6 in the Design Review Presentation.
  
7. Address the SR 75 elevation in the middle of the project: is there some way to break up the mass with a change in materials or step backs.  
Response: Design team has simplified and broke up the mass of the building by providing the canopy between Level 1 and Level 2 and vertical wood slats over the glazed building corner between level 2 and Roof Parapet. The canopy profile is consistent with the canopy profile at the hotel entry and restaurant plaza. The canopy grounds the building and breaks up the mass between ground and upper levels. This revision is reflected in the architectural renderings.

# ATTACHMENT C

**BEFORE THE CITY COUNCIL  
OF THE  
CITY OF KETCHUM**

IN RE:	)	FILE NO. <b>P19-063</b>
	)	
PEG KETCHUM HOTEL, LLC	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND ORDER OF DECISION</b>
	)	
Applicant for	)	
Planned Unit Development	)	
Conditional Use Permit	)	
	)	

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THE ABOVE ENTITLED MATTER coming before the City Council of the City of Ketchum upon remand from the Planning and Zoning Commission’s recommendations issued on December 22, 2020 on remand for joint public hearing held February 1, 2021 continued to February 16, 2021 for consideration of this Findings of Fact, Conclusions of Law, and Order of Decision of the above referenced matters. The Applicant’s Design Review and Permit Conditions Acceptance Agreement applications were both tabled by the Planning and Zoning Commission subject to the City Council’s action on the above reference Applications. The City Council having reviewed the entire record on remand and the record established in hearing on February 1, 2021 does hereby make and set forth the Record of Proceedings, Findings of Fact for all the above referenced matters as follows:

PEG Ketchum Hotel, LLC (the “Applicant”) submitted an Application for a Planned Unit Development (a “PUD Conditional Use Permit”) of a Master Plan inclusive of a request for waivers to minimum lot size, setback (side yards), height, and floor area ratio (FAR) limitations for a hotel development to be constructed and operated on a 1.09-acre site located at the southwest corner of the State Highway 75 and River Street intersection at 280 E. River, (the “Project Site”).

The Project Site is located within the Tourist District Zone as designed by KMC § 17.12.010

Applicant originally submitted a Master Plan and, during the course of the proceedings before the Council, subsequently on December 2, 2019 submitted Master Plan Version 2 and subsequently on January 21, 2020 submitted Master Plan Version 3 and subsequently on

February 3 submitted Master Plan Version 4 as part of its PUD Application.

The City Council having reviewed the entire record and provided notice and held a joint public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Order of Decision which is inclusive of the Waiver Application File No. P20-069 as follows:

## I. RECORD OF PROCEEDINGS

The above-entitled matter has been heard by the City Council in conjunction with the accompanying PEG Ketchum Hotel, LLC PUD Project Master Plan together with the other following accompanying Applicant Applications:

- Floodplain Development Permit File No. P19-062
- Lot Line Adjustment File No. P19-064
- Waiver File No. P20-069

The City Council has approved together with these Findings of Fact, Conclusions of Law, and Order of Decision that certain **Master Joint Hearings Compiled Record of Proceedings On Remand** for Files Nos. P 19-062, P19-063, P19-064, P20-069 and P20-019 (the "Master Joint Hearings Record of Proceedings") which is herein included by reference as if set forth at length.

### **PUBLIC NOTICES FOR HEARINGS ON REMAND:**

Legal notice of the hearing before the City Council was published in the City's newspaper of record and notice was mailed to adjoining landowners within 300' was in compliance with the 15-day and 10-day notice requirements. Notice to neighbors and political subdivisions and publication in the *Idaho Mountain Express* occurred on January 13, 2021 with on-site posting on the subject premises on January 25, 2021, mailed to property owners and government subdivisions on January 13, 2021 and posted on the City's website on January 25, 2021.

## II. FINDINGS OF FACT

[As set forth in this section are findings of fact and corresponding citations to KMC provisions which are also Conclusions of Law]

### 2.1 Findings Regarding Notice:

2.1.1 **Notice Required:** Notice has been given in accordance with the Law as required by KMC Sections 16.08.110 and 17.116.040.

2.1.2 **Notice Provided:**

2.1.2.1 Notice was published for the February 1, 2021 joint public hearing in the Idaho Mountain Express, the official newspaper, which has general circulation within the boundaries of the City of Ketchum.

Newspaper	Date Published
Idaho Mountain Express	January 13, 2021

2.1.2.2 Notice of the February 1, 2021 hearing was mailed on January 13, 2021 to the property owners within 300 feet of the subject real property and affected Agencies and was posted on the subject property on January 25, 2021.

### 2.2 Findings Regarding Applications Filed:

2.2.1 PEG Ketchum Hotel, LLC has submitted and completed an Application for a Planned Unit Development of a Master Plan inclusive of Waiver Applications File No. P20-019 for a hotel development on a 1.09-acre site located at the southwest corner of the State Highway 75 and River Street intersection at 280 E. River, (the "Project Site") inclusive of a request for waivers to minimum lot size, setback (side yards), height, and floor area ratio (FAR) limitations.

2.2.2 These Applications are made pursuant and is subject to the provisions of the Ketchum Planned Unit Development (PUD) Ordinance Codified at Chapter 16.08 Ketchum Municipal Code as a PUD conditional use permit within in the City Tourist District Zone (KMC § § 16.08.050 and 16.08.060.)

2.2.3 KMC §16.08.020 provides:

A. *This chapter is adopted pursuant to authority granted by Idaho Code section 67-6501 et seq., and article 12, section 2 of the Idaho constitution. It is enacted for the purpose of protecting and promoting the public health, safety and welfare; to secure the most appropriate use of lands, to encourage flexibility and creativity in the development of land in order to improve the design, character and quality of new development, and to*

*provide usable open space; to preserve the scenic and aesthetic qualities of lands; to protect property rights and enhance property values; to ensure that adequate public facilities and services are provided; to ensure that the local economy is protected and enhanced; to encourage and promote the development of affordable housing; to ensure that the important environmental features are protected and enhanced; to avoid undue concentration of population and overcrowding of land; to ensure that the development on land is commensurate with the physical characteristics of the land; to protect life and property in areas subject to natural hazards; to protect fish, wildlife and recreation resources; to avoid undue water and air pollution; and to protect the quality of life offered by the city and surrounding resources enjoyed by residents and visitors alike.*

- B. The provisions for planned unit developments contained in this chapter are intended to encourage the total planning of developments. In order to provide the flexibility necessary to achieve the purposes of this chapter, specified uses may be permitted subject to the granting of a conditional use permit. Because of their unusual or special characteristics, PUD conditional uses require review and evaluation so that they may be located properly with respect to the purposes of this chapter, the comprehensive plan, and all other applicable ordinances, and with respect to their effects on surrounding properties and the community at large. In the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control. The review process prescribed in this chapter is intended to assure compatibility and harmonious development between conditional uses and surrounding properties and the city at large. The provisions for planned unit developments contained in this chapter are intended to encourage the total planning of developments. In order to provide the flexibility necessary to achieve the purposes of this chapter, specified uses may be permitted subject to the granting of a conditional use permit. Because of their unusual or special characteristics, PUD conditional uses require review and evaluation so that they may be located properly with respect to the purposes of this chapter, the comprehensive plan, and all other applicable ordinances, and with respect to their effects on surrounding properties and the community at large. In the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control. The review process prescribed in this chapter is intended to assure compatibility and harmonious development between conditional uses and surrounding properties and the city at large.*

- 2.2.4 Applicant Master Plan Submittals:** Applicant originally submitted a Master Plan and subsequently on December 2, 2019 submitted Master Plan Version 2 and subsequently on January 21, 2020 submitted Master Plan Version 3 as part of its PUD Application and subsequently on February 3 submitted Master Plan Version 4 as part of its PUD Application, File No. P20-069, is pursuant to Title 16, Chapter 16.08. KMC Subject Master Plan (also herein referred to as the “Project”) includes a request for waiver or deferral of requirements pursuant to (KMC §16.08. 070.F).
- 2.2.5 Waiver Requests:** As set forth in the Applicant’s PUD Application and Master Plan, Master Plan Version 2 dated December 2, 2019 and Master Plan Version 3 dated January 21, 2020 and Master Plan Version 4 dated February 24 & March 9, 2020 waivers are requested to the following dimensional standards: Floor Area Ratio (FAR), side yard setbacks, and height requirements. Additionally, a waiver is requested for the PUD to occur on a Project Site with a minimum lot size of less than three (3) acres, which is permissible subject to stipulations set forth in KMC §16.08.080. A.
- 2.2.6 Minimum Lot Size:** The Council may waive the three (3) acre minimum lot size requirement consistent with KMC §16.08.080. A.4 as allowed for hotels. To do so, the Council must find the Project meets the definition of hotel as set forth in KMC §17.08.020 and complies with the purpose of the Tourist zone as set forth in KMC §17.180 by providing the opportunity for tourist use. Additional relevant analysis is consistency of the Project with the Subarea Analysis and Gateway Study Excerpts.
- 2.2.7 Waivers Part of PUD Ordinance:** Title 16, Chapter 16.04.020 defines Waiver as a:

Modification of a relevant provision and regulation of this chapter not contrary to public interest or public health, safety or welfare, and due to physical characteristics of the particular parcel of land and not the result of actions of the subdivision where literal enforcement of this chapter would result in undue hardship. The granting of waiver(s) ... rests with the sound discretion of the commission and council, on a case by case basis.

Similarly stated relevant standards for the analysis of waiver requests are set forth in KMC §16.08. 070.L and KMC §16.04.120.



- 2.2.8. Four (4) waivers are submitted for the Project:** These include waivers to minimum lot size, setback (side yards), height, and floor area ratio (FAR) limitations. These waivers were requested by the Applicant consistent with KMC §16.04.120, §16.08.080 and §17.124.050, in part, as the literal enforcement of city code in the context of the special physical characteristics and conditions affecting the property would result in undue hardship. In particular, the Hotel site has a large slope with a grade differential of approximately thirty-seven feet (37') from Trail Creek at the south end of the lot to the north end along River Street. The site is constrained by the river to the south and the City desires to setback structures from riparian and flood areas. The City also desires to setback structures from State Highway 75 (SH75) in this location to help preserve the entry to town and minimize shading of the highway during winter months. Further, the grade along SH75, future Idaho Transportation Department (ITD) bridge and highway expansion plans, and a desire for no access onto SH75 in this location create unique conditions for development.
- 2.2.9 Floor Area Ratio:** KMC §17.124. 050.A states: "Hotels may exceed the maximum floor area [0.5] ... requirements of this title subject to ... [a] Planned Unit Development ... which specifically outlines the waivers to bulk regulations requested." A subarea analysis is also required in the review process (KMC §17.124.050. A.2). The total developed gross floor area of the Project, as defined in KMC §17.08.020, is proposed to not exceed a FAR of 1.57 exclusive of basement areas and underground parking. Total building area when each of the three (3) basement and parking garage levels and four (4) hotel stories are calculated in aggregate, total approximately 131,881 square feet for the Project.
- 2.2.10 Height:** KMC§17.124.050.A states: "Hotels may exceed the ... height ... requirements of this title subject to ... [a] Planned Unit Development ... which specifically outlines the waivers to bulk regulations requested." A subarea analysis is also required in the review process (KMC §17.124.050.A.2). As noted, the Project Site has a large slope from Trail Creek at the south end of the lot to the north end along River Street. The hotel is proposed as a four-story structure on River Street that then stair steps and terraces down to three floors near Trail Creek. Height Analysis, the maximum height of the building along River Street does not exceed forty-eight feet (48') and the building scales down to approximately twenty-eight (28') closer to the river on the south end of the property. The exception to this height analysis is in the center of the structure where 4-stories of hotel use are sandwiched between two public amenities (employee housing and a roof top bar for the public). At this more central site location, the existing grade drops at a fairly acute angle resulting in a portion of the building having a maximum height of seventy-two feet (72') as measured from existing grade. In comparison to both the built Limelight hotel and approved Bariteau / Harriman Hotel on

opposing corners, the height of the proposed Project will be lower and more closely align to the fourth-floor elevation of each of these buildings.

**2.2.11 Setback:** No rear/river or front setback waivers are requested. However, a waiver of the side yard setbacks is requested. KMC §17.124.050.A, subsections 1 and 2, specifies that a PUD and Subarea Analysis process shall be used in the granting of waivers to bulk regulations for hotels. KMC §17.12.030 sets forth the following minimum side yard setbacks: (A) the greater of one-foot (1') for every three-feet (3') of building height, or five feet (5') for the west side setback; and (B) Twenty-five foot (25') to thirty-two foot (32') setbacks adjacent to State Highway 75 (SH75), as calculated based on the adjacent right of way width. The Project, as amended, proposes a 31.3' average setback along SH75 with portions of the building as close as 20' from edge of SH75 ROW. See the Setback Analysis for exact details on subject building setback intrusion adjacent SH75. On the west-side of the structure, portions of the building are proposed as close as 11.8' from the neighboring west property line. City approves the following side setback waivers: a minimum of sixteen feet (16') west side yard setback waiver and a minimum east side setback of twenty feet (20') provided the average east side setback is greater than thirty-one feet (31').

**2.2.12 Project Details:** Details of the Project include both narratives and maps. Narratives include a written project description, development plan, project analysis, social impact study, schedule, parking analysis, traffic study, employee housing plan, Subarea Analysis, and contextual hotel component analysis. Exhibit maps include plans, elevations, sections, sun study, height analysis, civil drawings, landscape plan, exterior color palate, dark sky compliant fixtures, traffic study diagrams, plat map, and public way improvements. Also provided are application forms, analyses of code compliance, soils report, and a waiver list.

## **2.3 Findings Summarizing Public Comment Concerns and Objections to and Benefits of the Application:**

The City Council having reviewed the written comment and having listened to the oral comments presented by the public summarizes the same as follows:

- Objections to the granting of waivers to the regulations and standards of the subject Tourist zone; and
- Objections to Building edifice bulk, setback location and height
- Concerns for traffic circulation and safety regarding Project access to and use of River Street on the north, Highway 75 on the east and the intersection of Highway 75 and River Street and concern with the unknown improvements Idaho Transportation may make to Highway 75; and

- Concerns with parking, loading and vehicular access when the Project is operational; and
- Concerns regarding the look of the Gateway entrance to the City; and
- Concern about the character of the City
- Benefit of increase in tourism
- Benefit of additional employment opportunities and on-site employee housing
- Benefit of increased tax revenue
- Benefit of the addition to this tourist community of well-designed and landscaped hotel facility with natural area enhancements and public use availability features.

### City Council Findings Regarding Standards and Findings for the Planned Unit Development Conditional Use Permit:

The City Council findings having reviewed the Project Master Plan Version 3 and 4, as well as public comment, staff analyses, and agency/peer review/department inputs supports the findings as set forth in Sections 2.4, 2.5 and 2.6 below regarding the Planned Unit Development Conditional Use Permit standards:

#### 2.4 PUD Ordinance Standards and City Evaluation Compliance Analysis and Findings:

**Planned Unit Development (PUD)**  
**EVALUATION STANDARDS: 16.08.080**

*The standards set forth in this section shall apply to review of all PUD conditional use permit applications. The standards shall be used to review and evaluate the proposal in comparison to the manner of development and effects of permitted uses and standard development allowed on the property in question. Modification or waiver from certain standard zoning and subdivision requirements may be permitted subject to such conditions, limitations and/or additional development standards, pursuant to section 16.08.130 of this chapter, as the city council may prescribe to mitigate adverse impact at the proposed planned unit development, or to further the land use policies of the city, or to ensure that the benefits derived from the development justify a departure from such regulations. Where the city council determines that conditions cannot be devised to achieve the objectives, and/or the standards contained in this chapter are not met, applications for conditional use permits shall be denied. The city council shall make findings that each of the following evaluation standards have been met. The evaluation standards are as follows:*

**KMC § 16.08.080.A**

*Minimum lot size of three (3) acres. All land within the development shall be contiguous except for intervening waterways. Parcels that are not contiguous due to intervening streets are discouraged. However, the commission and the council may consider lands that include intervening streets on a case by case basis. The commission may recommend waiver or deferral of the minimum lot size, and the council may grant such waiver or deferral only for projects which: ...4. For a hotel which meets the definition of "hotel" in section 17.08.020, "Terms Defined", of this code, and conforms to all other requirements of section 17.18.130, "Community Core District (CC)", or section 17.18.100, "Tourist District (T)", of this code. Waivers from the provisions of section 17.18.130 of this code may be granted for hotel uses only as outlined in section 17.124.040 of this code. Waivers from the provisions of section 17.18.100 of this code may be granted for hotel uses only as outlined in section 17.124.040 of this code.*

**City Findings:** The Project Site is approximately 1.09 acres and does not meet the minimum standard of (3) acres for a PUD. However, as noted herein below, the City finds that this requirement may be waived consistent with KMC §16.08.080.A.4 as allowed for hotels. Specifically, this Project:

- (A) Meets the definition of hotel as set forth in KMC §17.08.020. The Project consists of ninety-two (92) rooms, includes on site food and beverage service with kitchen facilities, common reservation and cleaning services, meeting room space, combined utilities, on site management and reception services, access to all sleeping rooms through an inside lobby supervised by a person in charge no less than eighteen (18) hours per day, and adequate on site recreational facilities. There are no other residential uses proposed in connection with the hotel operation, other than the proposed 23 beds of employee housing.
- (B) Complies with the purpose of the Tourist zone as set forth in KMC §17.180 by providing the opportunity for tourist use. Consistent with the sub-area analysis and Gateway Study Excerpts, as set forth in Exhibit A, the Project is compatible both in design and use with the surrounding uses and development.
- (C) Allows the granting of waivers for hotel-related Tourist District Floor Area Ratio (FAR), setback, and height dimensional standards as outlined in KMC §17.124.040. The Project proposes to exceed the 0.5 Tourist Zone permitted Gross FAR as set forth in KMC §17.124.040.A and may exceed its FAR maximum in accordance with the pertinent code provisions allowing for fourth floor hotel uses, as set forth in KMC §17.124.040.B.3 and by reference KMC §17.124.050. In accordance with the aforementioned and also precedent (e.g., entitled Bariteau / Harriman Hotel site at 300 E. River Street across SH75 was also approved as a PUD on an approximately 0.9-acre site and the Limelight was approved as a PUD on an approximately 1.09-acre site), the City finds this evaluation standard to have been met.

**The City Council further finds:** That it is the intent of the City that paragraph 4 of subsection A of KMC Section 16.08.080 exclusively and directly applies to Hotel planned unit development waivers. That paragraph 4 of subsection A of KMC Section 16.08.80 requires that developments which meet the definition of a Hotel in KMC section 17.08.020 and conform to the requirements of KMC section 17.18.100 be granted waivers of the three (3) acre minimum lot size for their PUD Development. That KMC Section 17.18.100.A is a statement of purpose of the City's Tourist District and as such states the purpose of the district to provide the opportunity for high density residential and tourist use and development which can be justified as a primary use within the district. There is a general but not specific reference to the specific dimensional requirements of the Zoning ordinances in KMC Section 17.18.100. The zoning ordinance requirements of KMC section 17.124.040, which refers to KMC section 17.124.050, are not mandated by KMC Section 17.18.100 unless a waiver of 17.18.100 is required. In this instance the subject PUD application is a hotel use only, a waiver of 17.18.100 is not required, and the PEG Ketchum Hotel complies with the intent, purpose, and use requirements of the Tourist Zone set forth in KMC Section 17.18.100.

**KMC § 16.08.080.B and KMC § 16.08.080.D**

*KMC § 16.08.080.B: The proposed project will not be detrimental to the present and permitted uses of surrounding areas.*

*KMC § 16.08.080.D: The development shall be in harmony with the surrounding area.*

**City Council Findings:** The proposed hotel is both by design and use consistent with envisioned plans for the corner of SH75 and River Street. Further, the proposed hotel project is consistent with current Tourist Zoning District zoning allowances for hotels. Each of the attendant uses, including restaurant/bar, meeting rooms, and employee housing are also permitted in the Tourist Zoning District. The site was defined as Site 2 in the 2007 Gateway Scale and Massing Study and was identified as a priority urban infill site for a potential hotel development, inclusive of a public plaza near the project intersection with SH75. As such, the Property is in the Ketchum Urban Renewal District (KURA) Revenue Allocation Area. The Project Site borders three other hospitality focused uses. The Limelight Hotel is located directly across River Street to the North. The Best Western Hotel is located diagonally across Main Street from the Project Site. The Planned Future Harriman Hotel by Bariteau is located directly across Main Street to the East. The two closest properties to the West are commercial office buildings, (220 and 200 East River Street). The site is bordered by commercial uses to its North, East, and West and is separated from the multifamily residential uses to the South by Trail Creek. Accordingly, the City finds this Project will (A) not be detrimental to the present and permitted uses of surrounding areas and (B) be in harmony with the surrounding area.

**KMC § 16.08.080.C**

*The proposed project will have a beneficial effect not normally achieved by standard subdivision development.*

**City Council Findings:** The proposed hotel will benefit the city in ways not normally achieved by standard subdivision. These include public access to the river and, open space in excess of thirty-five percent (35%), and access to a 3,000 square foot bar patio terrace, which features landscaping and solar exposure unique for a built project. The Project will have significant economic and public amenity benefits to Ketchum that would not be achievable on this site without the PUD process due to the constraints created by the topography of the site (37' differential in grade between front property line on River and rear property line along Trail Creek), access constraints on the east side due to the east side bordering SH 75, and development constraints due to the south side of the property being Trail Creek. The provision of waivers through the PUD process allows the design of the building, interior layout, operations and programmatic aspects of the hotel to infuse economic and public benefits beyond what would be accomplished by hotel rooms alone.

Economic benefits of the development include local option taxes generated by the 92 new hotel rooms that will be booked through the international reach of the internationally recognized hotel brand's reservation network. The hotel will feature a number of public amenities, including a street front restaurant and lounge, banquet/meeting rooms, and a roof top bar with panoramic views of Bald Mountain and Dollar Mountain; there is no other publicly accessible rooftop space in Ketchum city limits with a similarly large footprint (approximately 2,035 net square feet of roof-top Bar Patio on Level 03 and 1,425 net square feet of roof-top Bar Terrace on Level 03 02) or that has 280-degree views and is operational in all four seasons. The hotel will also provide on-site employee housing, with a minimum of 23 beds, in a mix of traditional apartments and dorm style apartment units.

The hotel's inclusion of on-site employee housing will result in the project providing more on-site for employees than any other development in Ketchum city limits and the mix of housing unit styles will, as conditioned herein in §4.10, accommodate employees at different life stages and career stages (seasonal vs. long-term, full-time). Further, although the employee units are located on Lower Level 3 and Lower Level 2, which are partially below grade on the River Street portion of the building, because the grade of the site drops toward the south.

If the rooftop bar and lower floor employee housing units were removed from the project (or if the employee housing were located in a basement) the benefits of this project to the community would be lessened; the employee housing and roof-top amenity comprise approximately 12,883 square feet of the approximately 131,881 gross square foot development. Due to the site constraints, the allowance for waivers from the typical standards of the code is what makes inclusion of these public benefits truly benefits and is what makes these benefits possible.

Accordingly, the City finds the PUD process as having a beneficial effect not normally achieved by standard development.

**KMC § 16.08.080.D**

*The development shall be in harmony with the surrounding area.*

**City Council Findings:** The City finds this Project to be in harmony with the surrounding area. Details of this finding are presented jointly with KMC §16.08.080.B findings above stated.

**KMC § 16.08.080.E**

1. *Densities and uses may be transferred between zoning districts within a PUD as permitted under this chapter, provided, the aggregate overall allowable density of units and uses shall be no greater than that allowed in the zoning district or districts in which the development is located. Notwithstanding the above, the commission may recommend waiver or deferral of the maximum density and the council may grant additional density above the aggregate overall allowable density only for projects which construct community or employee housing and which:*
  - a. *Include a minimum of thirty percent (30%) of community or employee housing, as defined in section 16.08.030 of this chapter; and*
  - b. *Guarantee the use, rental prices or maximum resale prices thereof based upon a method proposed by the applicant and approved by the Blaine County housing authority and/or the Ketchum city council.*
2. *Application for waiver or deferral of this criteria shall include a description of the proposed community or employee housing and the proposed guarantee for the use, rental cost or resale cost.*

**City Council Findings:** N/A. The Applicant is not requesting any density transfers.

**KMC § 16.08.080.F**

*The proposed vehicular and nonmotorized transportation system:*

1. *Is adequate to carry anticipated traffic consistent with existing and future development of surrounding properties.*
2. *Will not generate vehicular traffic to cause undue congestion of the public street network within or outside the PUD.*
3. *Is designed to provide automotive and pedestrian safety and convenience.*
4. *Is designed to provide adequate removal, storage and deposition of snow.*
5. *Is designed so that traffic ingress and egress will have the least impact possible on adjacent residential uses. This includes design of roadways and access to connect to arterial streets wherever possible, and design of ingress, egress and parking areas to have the least impact on surrounding uses.*
6. *Includes the use of buffers or other physical separations to buffer vehicular movement from adjacent uses.*
7. *Is designed so that roads are placed so that disturbance of natural features and existing vegetation is minimized.*
8. *Includes trails and sidewalks that create an internal circulation system and connect to surrounding trails and walkways.*

**City Council Findings:** The documents provided by the Applicant address how vehicular and pedestrian traffic will circulate in and around the proposed Project. The SH75 ingress/egress diagram and associated access analysis addresses the safety, aesthetics, grading limitations, and Trail Creek Impacts, which was requested by a member of the public, duly analyzed by the City, and determined by the City after hearing from the project engineer, as well as the city independent traffic engineering consultant as not being in the public interest. No operational issues are found to exist with Project vehicular ingress / egress being on River Street with acceptable level of service (LOS) noted for each circulation component (parking garage access, hotel pick-up/drop-off, and SH75 approaches). See AECOM memo. Foremost of these exhibits is the detailed traffic impact study (TIS) prepared by Hales Engineering, which AECOM (on behalf of the city) has provided a peer analysis and also includes River Street Public ROW Civil Plan Encroachment Options 1 and 2 that feature the Applicant's circulation plan, sidewalk improvements, and proposed snowmelt system for the Project. There are two excerpts of professional studies. The first is an excerpt from the Idaho Transportation District (ITD) Record of Decision (ROD) and proposed Fiscal Year 2025 (FY25) road improvements to State Highway 75 (SH75) adjacent the property between the Trail Creek Bridge and River Street. These include a 3-lane urban section with curb, gutter and sidewalk. Importantly, the middle lane features a left turn lane for north bound traffic on SH75 that would permit adequate queuing and protected westbound (WB) turning movement onto River Street and the Project. The second excerpt is from Vitruvian and references a city-sponsored recommendation to upgrade the unsignalized crossing at SH75/River Street (north-side of intersection between Limelight Hotel and the Best Western) with a Rectangular Rapid Flashing Beacon (RRFB) to enhance pedestrian safety. After receiving input from ITD, including the August 8, 2019 Minutes of the Ketchum Transportation Authority, KCC recommends that enhancements to pedestrian safety are better accommodated with a HAWK system on River Street than an RRFB system. Also proposed to improve vehicular LOS movements is making east bound (EB) and WB River Street at the intersection with SH75 right turn only movements (signing and striping required). To further reduce traffic and to meet City sustainability goals, as expressed throughout the Ketchum Comprehensive Plan, the operation of the hotel will integrate strategies to reduce vehicular impact on Ketchum's streets from this Project. These include strategies such as a Guest Shuttle (airport and to local destinations), Employee Car Share Program, and Employee Transit Passes. As conditioned herein, the City finds this standard to have been met. The Project will be adequately served by necessary vehicular and nonmotorized transportation systems.

**KMC § 16.08.080.G**

*The plan is in conformance with and promotes the purposes and goals of the comprehensive plan, zoning ordinance, and other applicable ordinances of the city, and not in conflict with the public interest:*



1. Pursuant to subsection 16.08.070D of this chapter, all of the design review standards in chapter 17.96 of this code shall be carefully analyzed and considered. This includes detailed analysis of building bulk, undulation and other design elements. The site plan should be sensitive to the architecture and scale of the surrounding neighborhood.
2. The influence of the site design on the surrounding neighborhood, including relationship of the site plan with existing structures, streets, traffic flow and adjacent open spaces, shall be considered.
3. The site design should cluster units on the most developable and least visually sensitive portion of the site.

**City Council Findings:** As previously set forth in the findings for KMC §16.08.080 subsections B, D and F (above), the Project as conditioned, will be adequately served by necessary vehicular and nonmotorized transportation systems and will be in harmony with the surrounding area. The Project will pay applicable fees, from Local Option Taxes (LOT) for construction materials to applicable building permit fees and connection fees for such items as water and sewer connections. The Conditionally Granted Project shall pay the plan check and building permit fees that are in effect at the time of plan check and building permit submittal and all fees required by law prior to issuance of building permit. Further, details have been added as conditions of approval to assure that Marriott or other reward stays pay LOT to the city. Pursuant to KMC §16.08.070.D, all of the design review standards set forth in KMC §17.96 are conditionally attached to the City's approval of the Planned Unit Development and are memorialized in the Project Development Agreement. Staff has analyzed Project Compliance with the Ketchum Comprehensive Plan subsection, that the Project both conforms with and promotes the purposes and goals of the comprehensive plan. The Applicant's site design drawings, Project massing has been carefully designed with a four-story bench design on River Street that terraces down (southward) to follow the topography drop from River Street to Trail Creek. Subject terraces then become gathering spots for guests and the public to enjoy the outdoor and take in the scenic views from the hotel. As noted by the Applicant, "the massing also provides for a façade that steps in and out of plane, which is enhanced by a layer balconies and articulation of those forms. The building pulls back over 35' from Trail Creek and has minimal visual impact on Forest Service Park." The building footprint near the front property line is setback 15' from the River Street frontage where it has an appropriate relationship to the sidewalk and street scape. The footprint is then pulled back to respect the riparian setback along Trail Creek to minimize the impact of the new building adjacent to a natural feature. Site landscape design has been designed to complement the bench topography and creek bank features of the site." As conditioned herein, this standard has been met.

#### **KMC § 16.08.080.H**

*The development plan incorporates the site's significant natural features.*

**City Council Findings:** Three significant natural features are recognized by the City, including: the site's location on a bench; Trail Creek along the south property line; and, the 360-degree scenic views from the site including Bald Mountain and Dollar Mountain. The hotel has been designed to step down, following the bench topography, creating rooftop terraces and public spaces that take advantage of solar orientation and available views. The landscape plan includes pedestrian pathways for hotel guest and the public to access Trail Creek viewpoint areas set outside of the riparian zone setback. As conditioned herein, this standard has been met and the Master Plan is found to properly incorporate the site's significant natural features.

**KMC § 16.08.080.I**

*Substantial buffer planting strips or other barriers are provided where no natural buffers exist.*

**City Council Findings:** As noted in KMC §17.12.040, 21,362 square feet of the property will remain open space, which is forty-three percent (45%) of the 47,591 square foot site. The Project has greater than the required thirty-five percent (35%) minimum open space set forth in the KMC for the Tourist Zoning District. Three notable buffer strips that benefit the public are proposed. The first is the twenty-five foot (25') setback from SH75/Main Street that will be landscaped. Subject setback, averages 31.3'. Portions of this area are proposed to include an outdoor dining patio toward the intersection of Main Street and River Street and will have landscape and architectural barriers such as raised planters, raised water features, and architecturally integrated railings separating the dining patio from the street. The second buffer is a twenty-five foot (25') Riparian Easement along with a ten foot (10') Utility Easement that combine to create a thirty-five foot (35') setback from the property line adjacent Trail Creek. The third design element includes the placement of a buffer landscape island between the hotel's Porte Cochere drive along River Street. Given the significant public amenities integrated into the hotel design and invitation of the public into the building, the City finds a favorable exchange to exist with details to be enumerated in the pending River Street encroachment permit request by the applicant. This design element is subject to a separate Encroachment Permit application that will be reviewed by City concurrently with the PUD. As conditioned herein, this standard has been met.

**KMC § 16.08.080.J**

*Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner.*

**City Council Findings:** The Applicant proposes to develop the Project in a single phase. To assure that that the development contains all the necessary elements and improvements to exist in a stable manner, the City finds this standard (KMC §16.08.080.J) to be met, provided as a conditioned of the issuance of any Building Permit for the construction of the Project that an appropriate project completion assurance (e.g., an irrevocable letter of credit on a bank acceptable to the City in an amount equal to 130% of engineering estimates of the Master Plan) and all fees required by law prior to and for issuance of a building permit.

**KMC § 16.08.080.K**

*Adequate and usable open space shall be provided. The applicant shall dedicate to the common use of the homeowners or to the public adequate open space in a configuration usable and convenient to the residents of the project. The amount of usable open space provided shall be greater than that which would be provided under the applicable aggregate lot coverage requirements for the zoning district or districts within the proposed project. Provision shall be made for adequate and continuing management of all open spaces and common facilities to ensure proper maintenance.*

**City Council Findings:** As previously noted, 21,362 square feet of the property will remain open space, which is approximately 45% of the 47,591 square foot site. Further, subject rooftop bar also includes patio space plus an additional 1,425 net square feet of landscaped terrace area devoted to public use. The open space, green roofs and patios that are provided exceeds the requirement by more than 8%, which is an amount “greater than that which would be provided under the applicable aggregate lot coverage requirements for the zoning district or districts within the proposed project.” The City finds that subject open space is both adequate and useable and complemented by the Project’s addition of the outdoor roof top bar space with adjacent living garden terrace, which is available to the public and managed and maintained by the Project.

**KMC § 16.08.080.L**

*Location of buildings, parking areas and common areas shall maximize privacy within the project and in relationship to adjacent properties and protect solar access to adjacent properties.*

**City Council Findings:** The City has reviewed the Applicant's response to this standard of evaluation, including reference to its sun study and height analysis/compatibility view drawings, and generally concurs with the finding that "The Ketchum Boutique Hotel is configured along a northwest spine that has allowed for the building's mass to be pulled back from the roadway view corridor leading to Main Street. All onsite parking is contained below grade and will have no visual impact on the site. The hotel features an interior courtyard located on level 2 that faces south, the courtyard will be hotel's 'private' exterior amenities space that is reasonably shielded from the view of most adjacent properties. The hotel features many architectural balcony elements that serve to create another layer of structure between the guests and the exterior, enhancing a sense of a perimeter of privacy in those guest rooms. The Sun Studies provided ... demonstrate that the massing of the hotel will have very minimal shade impact on adjacent buildings, only during the December studies do any shadows from the hotel intrude appreciably on any adjacent properties, and in those cases the shadow impacts from [the PEG Ketchum] hotel are not any more intrusive than the affected buildings have on their adjacent neighbors." As conditioned herein, the City finds this standard to have been met.

**KMC § 16.08.080.M**

*Adequate recreational facilities and/or daycare shall be provided. Provision of adequate on site recreational facilities may not be required if it is found that the project is of insufficient size or density to warrant same and the occupant's needs for recreational facilities will be adequately provided by payment of a recreation fee in lieu of such facilities to the city for development of additional active park facilities. On site daycare may be considered to satisfy the adequate recreational facility requirement or may be required in addition to the recreational facilities requirement.*

**City Council Findings:** Programmed recreation facilities within the Project, include a 1,002 square foot fitness center and a 3,301 square foot outdoor terrace, including hot tubs. The City finds these on-site guest amenities to adequately meet the recreational needs appropriate to the scale of the Project. In addition, the City finds that the proposed use, inclusive of the employee housing units, does not warrant the provision of on-site daycare services.

**KMC § 16.08.080.N**

*There shall be special development objectives and special characteristics of the site or physical conditions that justify the granting of the PUD conditional use permit.*

**City Council Findings:** As noted in the Gateway Study, the City of Ketchum has established special development objectives for the four corners surrounding the intersection of River Street/SH75. The City has reviewed and analyzed this Study and recognizes subject Project Site is on a bench with approximately 37 feet of grade change and without the PUD process would unlikely be developable as a hotel as it would have to have one building along River Street, and a second building at the bottom of the hotel accessible via SH75 Street. This latter access is not desirable for site visibility and safe ingress/egress as attested to by the city's independent traffic consultant upon review of project development drawings, Hales access memorandum, and ITD highway specifications. Accordingly, the City finds there to be special development objectives and special characteristics of the site and its physical conditions that justify the granting of the PUD conditional use permit.

**KMC § 16.08.080.O**

*The development will be completed within a reasonable time.*

**City Council Findings:** Regarding KMC §16.08. 080.J, it is found that this standard is met; provided that a project completion assurance agreement is entered into between the Applicant and City for the Project prior to the issuance of any Building Permit for the construction of the Project.

**KMC § 16.08.080.P**

*Public services, facilities and utilities are adequate to serve the proposed project and anticipated development within the appropriate service areas.*

**City Council Findings:** Street, water, sewer, and fire personnel have met with the Applicant and found that adequate city services are available to serve the Project. The Applicant and the City have also met with ITD regarding the Project and, as conditioned herein, is requesting improvements be installed by the Applicant at the intersection of SH75/River Street as a condition of Certificate of Occupancy. Formally, this will occur upon acceptance by ITD of a specific Encroachment Permit application submitted by the Applicant in conjunction with city recommendations to ITD for approval. Prior to building permit issuance, the Applicant will need will-serve letters from other utility providers (gas, electric, waste and recycling). To date, no issues of service have been identified. The payment of impact, local option tax, and building permit fees pursuant to approved city schedules are required. The City finds this standard has been met. Subject to the conditions set forth herein, public services, facilities and utilities are adequate to serve the Project and anticipated development within this area.

**KMC § 16.08.080.Q**

*The project complies with all applicable ordinances, rules and regulations of the city of Ketchum, Idaho, except as modified or waived pursuant to this section*

**City Council Findings:** KMC §16.08.080 Subsections G and Q both stipulate that the Project conform with and promote the purposes of applicable ordinances and not conflict with the public interest. This Project involves six (6) interrelated permits (floodplain, subdivision, design review, PUD, CUP, and a development agreement), as well as encroachment permits that will be required for SH75 from ITD and for River Street from the Ketchum City. Each of these eight (8) sets of approvals, as well as future compliance of Project construction drawings with other city regulations, such as Building, Fire, and Green Building Codes are required of the Applicant. As conditioned herein, the City finds that this Project complies with all applicable rules and regulations of the City. The City makes this finding in recognition of its previous finding in favor of waiving the three (3) acre minimum PUD eligibility criteria as detailed under KMC §16.08.080.A as allowed for hotels. Further, the City makes this finding in recognition of the following dimensional standard and project waiver analysis for the proposed FAR, height/story, and setbacks proposed for the Project. Further, as noted in general finding 2.2.3 herein, Ketchum's planned unit development ordinance is intended to encourage the total planning of developments, provide flexibility, and work with unusual or special characteristics of the land or a development project. Notably, KMC §16.08.020.B states, "[i]n the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control."

## 2.5 Tourist Zoning District Dimensional Standards and Project Waiver Analysis and City Council Evaluation Compliance Analysis and Findings:

### KMC § 17.12.030

*Minimum Lot Area & Lot Width: 9,000 square feet minimum & 80' average.*

**City Council Findings:** The property is 47,249 square feet in size and has a lot width with the one-lot subdivision application that exceeds the minimum lot size and widths required in the Tourist Zone.

### KMC § 17.12.030

#### *Minimum Open Space*

**City Council Findings:** That 21,362 square feet of the property will remain open space, which is approximately 45% of the 47,249 square foot site. The Project has greater than the required thirty-five percent (35%) minimum open space set forth in the KMC for the Tourist Zoning District. The City finds that this standard has been met.

### KMC § 17.12.030

#### *Setbacks*

*Front: 15'*

*Riparian: 25'*

*SH75: 25' / 32'*

*Side: the greater of 1' for every 3' in building height, or 5'*

**City Council Findings:** The project complies with the city's 25' riparian and 15' front setback requirements. A waiver of the side yard setbacks is requested. KMC §17.124.050.A, subsections 1 and 2, specifies that a PUD and Subarea Analysis process shall be used in the granting of waivers to bulk regulations for hotels. KMC §17.12.030 sets forth the following minimum side yard setbacks: (A) the greater of one-foot (1') for every three-feet (3') of building height, or five feet (5') for the west side setback; and (B) Twenty-five foot (25') to thirty-two foot (32') setbacks adjacent to State Highway 75 (SH75), as calculated based on the adjacent right of way width. The Project, as amended, proposes a 31.3' average setback along SH75 with portions of the building as close as 20' from edge of SH75 ROW. On the west-side of the structure, portions of the building are proposed as close as 11.8' from the neighboring west property line. The City approves the following side setback waivers: a minimum of sixteen feet (16') west side yard setback waiver and a minimum east side setback of twenty feet (20') provides the average east side setback is greater than thirty-one feet (31').

**KMC § 17.12.030**

*Permitted Gross Floor Area Ratio: 0.5 or greater for hotels.*

**City Council Findings:** The City finds the Project meets the definition of hotel as set forth in KMC §17.08 and, as a consequence, is eligible to exceed listed FAR consistent with the City's previous finding within KMC §17.08.080, subsections B and D. A FAR of 1.57 is proposed for the hotel, which incorporates employee housing and other public amenities within the Project. Significantly, the City has reviewed the Subarea Analysis, the Gateway Study and a Comparative Hotel PUD Summary Chart. The City finds the proposed hotel is both by design and use consistent with envisioned plans for the corner of SH75 and River Street. The FAR of the Project is significantly less than the CC-Limelight Hotel and Tourist Zone Harriman Hotel Project – neither of which incorporate community housing on the hotel site. The Project Site was defined as Site 2 in the 2007 Gateway Scale and Massing Study and was identified as a priority urban infill site for potential hotel development. As such, the Property is in the Ketchum Urban Renewal District (KURA) Revenue Allocation Area. The allowance of a 1.57 FAR, as herein conditionally approved by the City, is warranted due to special development objectives and special characteristics of the site and its physical conditions. In reaching this finding, the City finds that the proposed FAR, as stipulated, will not be detrimental to the public welfare, health and safety nor injurious to property owners in the immediate area.

Subject to the approval of the PUD application with conditions as noted herein, the City finds that the Project FAR warrants a waiver and, as a result, complies with this provision of the Tourist Zoning District.

**KMC § 17.12.030**

***Building Height***

*Maximum Permitted: 35' or greater for hotels*

**City Council Findings:** The Project proposes to exceed the thirty-five foot (35') height limit, which is permissible subject to the city's fourth floor hotel use allowance in the Tourist Zoning District provisions, as set forth in KMC §17.124.040.B.3 and by reference KMC §17.124.050.A and B.6. Evidence in support of the Project height waiver up to seventy-two feet (72') from existing grade and an interpretation that the "hotel" does not exceed four floors are as follows:

- (A) The Project site has a large slope from Trail Creek at the south end of the lot to the north end along River Street. The hotel is proposed as a four-story structure on River Street, and step / terrace down to three and then two stories nearest Trail Creek.
- (B) The KMC does not specify the maximum height of a four-story building. Historic references in the KMC, as well as the top floor plate of the adjoining Limelight Hotel show the hotel fourth floor to equal approximately forty-eight feet (48') while the top of the Limelight hotel penthouse parapet is 73.5'.
- (C) Maximum height of the building shall not exceed 48' when the building is measured from the highest elevation of the property (along River Street) or 72' when building height is measured from the lowest elevation of the property (along Trail Creek), Height Analysis.
- (D) During the transition where the four-story building along River Street steps down approximately thirty feet (30') toward Trail Creek, the forty-eight foot (48') high 4-story building reads like 6-stories at seventy-two feet (72') high. This is permissible consistent with KMC §16.08.020.B and desirable as follows: first, the height of the building at subject central location is below the forty-eight (48') 4-story horizontal plane established by precedent and with the top of the fourth floor at the adjacent Limelight; second, the City recognizes that in this central location of the structure, that the 4-stories of hotel use are sandwiched between two public amenities (employee housing and a roof top bar for the public). The unique characteristics of the site at this location, where the existing grade drops quickly in the center of the site, result in a portion of the building having a taller element of seventy-two feet (72') as measured from existing grade. The City finds this consistent with general finding 2.2.3 herein and KMC §16.08.020.B, "[i]n the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control."
- (E) In comparison to both the Limelight and approved Harriman Hotels on opposing corners, the height of the proposed Boutique Hotel is lower and more closely aligned to the fourth floor of each building.
- (F) The Gateway Study and Subarea Analysis indicate that the proposed hotel is both by design and use consistent with envisioned plans for the corner of SH75 and River Street.



- (G) Further, the proposed hotel project is consistent with current Tourist Zoning District zoning allowances for hotels. Each of the attendant uses, including restaurant/bar, meeting rooms, and employee housing are also permitted in the Tourist Zoning District. The Project proposes a height waiver for hotels in the Tourist Zone District and, subject to approval of the PUD application with conditions as noted herein, complies with this zoning standard.

**KMC § 17.125.030.H**

*Curb Cut Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.*

**City Council Findings:** There are no curb cuts proposed along State Highway 75. The new configuration results in less than thirty-five percent (< 35%) of the linear footage of street frontage devoted to access the off street parking within the parking garage.

**KMC § 17.125.020.A.2 and KMC § 17.125.050**

*Parking Spaces: Off-street parking standards of this chapter apply to any new development and to any new established uses.*

**City Council Findings:** As analyzed by staff and consistent with KMC §17.125 and the revised Project parking analysis, a minimum of eighty-four (84) parking spaces in the underground parking garage are required. The Project proposes eighty-four (84) spaces in the parking garage. Of the 84 spaces provided for the Project not less than thirteen (13) spaces are reserved for public use and eighteen (18) spaces are reserved for employee housing use. As conditioned herein, the Project complies with this standard.

**2.6 Conditional Use Permit Standards Analysis and City Council Evaluation Compliance Analysis and Findings:**

**KMC § 17.116.030 (A)**

*The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.*

**City Council Findings:** The proposed hotel and each of the attendant uses within the Project, including restaurant/bar, meeting rooms, and employee housing, are permitted uses in the Tourist Zoning District. The characteristics of the conditional use for the Planned Unit Development CUP and the waivers approved herein pursuant to KMC §17.124.050 are compatible with the types of uses permitted in the Tourist Zoning District. The City finds this standard of evaluation has been met.

**KMC § 17.116.030 (B)**

*The conditional use will not materially endanger the health, safety and welfare of the community.*

**City Council Findings:** The Project will be served with essential public services and facilities, an acceptable level of service for traffic operations and pedestrian safety as set forth in the applicable findings noted in §16.08.080.F and §17.116.030 (B). As conditioned herein, the City finds this standard has been met.

**KMC § 17.116.030 (C)**

*The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.*

**City Council Findings:** The City found in KMC §16.08.080.F herein above that the Project will be adequately served by necessary vehicular and nonmotorized transportation systems. This finding was made after reviewing includes documents from the Applicant that address how vehicular and pedestrian traffic will circulate in and around the proposed Project. Foremost of these exhibits is the detailed traffic impact study (TIS) prepared by Hales Engineering, which AECOM (on behalf of the city) has provided a peer analysis and documents which include the River Street Public ROW Encroachment details that feature the Applicant's circulation plan, sidewalk improvements, and proposed snowmelt system for the Project and the two excerpts of professional studies. The first is an excerpt from the Idaho Transportation District (ITD) Record of Decision (ROD) and proposed Fiscal Year 2025 (FY25) road improvements to State Highway 75 (SH75) adjacent the property between the Trail Creek Bridge and River Street. As conditioned herein, the City finds this standard to have been met. In particular, three off-site mitigation measures that will be required as a condition of development, including:

- (A) Developer to accommodate a northbound left-turn lane plus taper at River/Main. The developer will need to coordinate with ITD to determine where the west edge of SH-75 will be and whether ITD will accept temporary paving. The developer would install sidewalk, curb and gutter to the city's standard. AECOM suggests that "ITD and the City consider creating an opposing left-turn lane and better aligning the approach and departure lanes through the intersection. In addition, it's understood that this will help prevent queuing and also be a safety improvement.
- (B) Developer to install "right-turn only" signs on the eastbound and westbound approaches (City would likely pay for the cost on the westbound approach).
- (C) At the discretion of the Ketchum City Council, the developer shall install a HAWK system on the crosswalk on the north leg. No crosswalk required on the south leg. However, as noted by AECOM "Before constructing a HAWK signal at River Street, an engineering study should be performed using the guidance provided in Section 4F.01 of the MUTCD."

**KMC § 17.116.030 (D)**

*The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.*

**City Council Findings:** Consistent with the findings made for KMC §17.116.03 subsections B and C, the City finds this standard to have been met.

**KMC § 17.116.030 (E)**

*The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this Section.*

**City Council Findings:** The proposed conditional use is supported by the following goals and policies of the 2014 Comprehensive Plan. As noted herein, the proposed conditional use does not conflict with the policies of the Comprehensive Plan or the basic purposes of Chapter 17.116 Conditional Uses.

**2.7 City Council Findings Regarding Applicant's PUD Bulk Area Waivers:**

- 2.7.1 The Applicant's Project includes waivers to the floor area ratio, side yard setbacks, and height requirements and, subject to compliance by the Applicant with conditions as noted herein, the Project complies with each of the Tourist Zone dimensional standards for hotels.
- 2.7.2 The proposed Planned Unit Development and Conditional Use Permit Application meets the standards of approval under KMC Title 16 and Title 17, subject to conditions of approval.
- 2.7.3 The Project may exceed the maximum floor area, height, setback or minimum lot size requirements of Title 17 KMC, subject to a planned unit development having been prepared for the Project's proposed hotel and subject to approval by the City Council which outlines the waivers to bulk regulations requested.
- 2.7.4 All height and bulk Project limitations shall be in accordance with Tourist District except those items waived as an incident of the PUD Development Plan approval. The approved Project plans illustrate areas where buildings may exceed height and bulk limitations. As conditioned herein, the City refers to the zoning and subdivision waivers set forth in these PUD Findings.

**III.  
CONCLUSIONS OF LAW**

The following are the legal principles that provide the basis for the Planning and Zoning Commission's decision which the Commissioners have applied to the facts presented at the hearing of the above entitled matter:

- 3.1 The City is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code; and
- 3.2 The City pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code has the authority to enact the Ordinances and regulations which the City has exercised and approved Ordinances codified in the Ketchum City Code ("KMC"), and which are identified in Section II of these Findings of Fact, and which are herein restated as Conclusions of Law by this reference, and which City Ordinances govern the Applicant's Project Applications for the Development and use of the Project Site.
- 3.3 The City pursuant to Idaho Code Section 67-6515 has the authority, which it has exercised by ordinance, codified at Chapter .08 of Title 16 of the KMC, which is separate from its zoning ordinance for the processing of applications for planned unit development permits.
- 3.4 KMC section 16.08.120 C provides that prior to final approval of a PUD conditional use permit, the City Council may require a written agreement executed by the Applicant to secure performance of any requirement or condition to be imposed as part of the approval, including, but not limited to Development and may also require recordation of documents establishing and guaranteeing the operation and maintenance of the Project; and
- 3.5 The Project Applications, which includes waivers to the floor area ratio, side yard setbacks, and height requirements is governed under KMC Sections 16.08.020 B, 16.08.030, 16.08.040, 16.08.070, 16.08.080 and 17.124.050 are reviewed and considered by the Council in accordance with the following:
  - 3.5.1 In the event of a conflict Chapter 8 of Title 16 KMC controls over any other City ordinance; and
  - 3.5.2 A planned unit development involves a development of land in which the standard land use regulations of the City may be modified or waived in order to promote beneficial development of an entire tract of land in conformance with an approved planned unit development conditional use permit accentuating usable open space, recreational uses, public amenities, community housing, and harmonious development with surrounding properties and the city at large; and
  - 3.5.3 Any person wishing to develop a planned unit development shall comply with the requirements of chapter 8 of Title 16 KMC in addition to the zoning, subdivision and other applicable laws, ordinances, regulations and rules, subject to any modification or waiver granted as part of the planned unit development (PUD) conditional use permit; and

- 3.5.4 The Planning and Zoning Commission can make recommendations and the City Council has authority to grant waivers or deferrals of any of the requirements of sections 16.08.070 and 16.08.080 KMC on a case-by-case basis when the waiver or deferral will not be detrimental to the public welfare, health and safety nor injurious to property owners in the immediate area; and
- 3.5.5 The proposed Planned Unit Development and Conditional Use Permit meets the standards of approval under Title 16 and Title 17 KMC, subject to conditions of approval.

#### **IV. ORDER OF DECISION**

Based upon the above and foregoing Findings of Fact/Conclusions of Law and good cause appearing from the record, IT IS HEREBY DECIDED THAT THE FOLLOWING ORDERS BE ISSUED:

**Order No. 1:** PEG Ketchum Hotel, LLC Application for a Planned Unit Development Conditional Use Permit Version 3 Master Plan (“Project”) for a hotel development on a 1.09-acre site located at the southwest corner of the State Highway 75 and River Street intersection at 280 E. River, (the “Project Site”) inclusive of a request for waivers to minimum lot size, setback (side yards), height, and floor area ratio (FAR) limitations (the “Conditionally Granted Project”) is granted subject to and contingent upon the following terms and conditions:

- 1.1 **Condition No. 1 Revised Master Plan West Side Set Back:** Applicant shall revise the Version 4 Master Plan with a redesign of the subject Hotel structure within the same locations on the north, east and south with an additional setback on the west side of four feet four inches (4’-4”) from the property line than is shown in Version 3 Master Plan; and
- 1.2 **Condition No. 2 Emergency Services Conditions:** The following are emergency services and safety terms and conditions:
  - 1.2.1 **Completion of Fire Improvements:** The City Building Official or the City Fire Marshal may withhold building and/or fire inspection approval for any phase of construction until all necessary components of the water and/or fire alarm system sufficient to provide protection for that portion of the Conditionally Granted Project are complete.
  - 1.2.2 **Fire Access During Construction:** Vehicle parking and material storage during Conditionally Granted Project construction shall not restrict or obstruct public streets or access to any building. Emergency vehicle access shall be maintained as required by the Fire Chief. Once construction begins on the second floor and above, 26-foot aerial

ladder truck access is required along one entire side of the building, in a location approved by the Fire Marshal, for evacuation of injured persons from upper floors. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.

**1.2.3 Fire Code Requirements:** The Conditionally Granted Project shall comply with all the terms and conditions set forth in the Ketchum Fire Department Pre-application Requirements Memo dated June 24, 2019 from Tom Ancona, Assistant Chief & Fire Marshall, inclusive of subsequent amendments thereto, as well as all 2012 International Fire Code requirements and any additional specific City Building (Chapter 15.04 and 15.06) and Fire Ordinances (Chapter 15.08).

**1.3 Condition No. 3 ROW Improvements Conditions:** The following ROW Improvements are required of the Applicant:

**1.3.1 DIG:** The Applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City ROW to be reviewed and approved by the City Streets Department.

**1.3.2 TURP:** The use of City right-of-way for construction which includes the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).

**1.3.3 River Street Encroachment Permit Improvements:** KMC §17.96.030.C states: “The City Council shall approval all permanent encroachments within the City-owned ROW associated with a development Conditionally Granted Project.” Applicant has made application as a part of the Conditionally Granted Project to the City for a license to encroach into the River Street Public Right of Way (“River Street ROW”) with a preference for Civil Plan Option 1, as set forth in the 1/21/20 design update which includes the following improvements: guest pick-up/drop-off, underground utilities, landscaping, street trees with decorative tree grates, public art, bike racks, sidewalks, pedestrian walkway lighting, and street lighting, and related improvements along River Street, pursuant to KMC §12.08.040. Further, the Applicant proposes that all walkway and driving surfaces within this encroachment area be hooked into its private boiler or similar snowmelt system within the Conditionally Granted Project mechanical room. The snow melt system is proposed to be operational every winter after the Hotel Operations begins operations. Final approval of the River Street ROW improvement plans is required and is subject to review and approval by the Ketchum City Council through a separate encroachment agreement. If approved via separate City encroachment process, such order or decision on encroachment,

including any and all conditions thereon, is hereby incorporated by reference and made a part of these findings.

**1.3.4 SH75 Encroachment Permit:** ITD has an approved Record of Decision (“ROD”) that includes a 3-lane section with a six-foot (6’) wide sidewalk abutting the Subject Real Property. Subject ITD improvements to the SH75 ROW are proposed to be installed by ITD in Fiscal Year 2025 with road work in the vicinity, at the earliest, occurring in October of 2025. The installation of these SH75 Improvements by ITD and, particularly, the striping of a dedicated left turn lane West Bound onto River Street with adequate queuing for cars turning onto River Street is important to traffic flow both along SH75 and into the Conditionally Granted Project.

**1.3.4.1** Given the Applicant’s timeframe for construction and Certificate of Occupancy, subject SH75 work will not be conducted by ITD prior to the Developed Conditionally Granted Project and the commencement of Hotel Operations opening. Given that the City finds that a center turn lane with adequate queuing of approximately fifty to one hundred feet (50’ – 100’) is necessary for the SH75/River Street intersection to retain its current Level of Service (“LOS”) for vehicular car movement, therefore the Applicant shall file with ITD an application for an encroachment permit. The Applicant and City shall work together to attain approval from ITD for the construction and striping of a partial center turn near the River Street intersection north of the Trail Creek bridge. This condition includes the City’s retaining of authority to modify the traffic patterns on State Highway 75, specifically the left turn lane traffic flow, in the event the initial traffic patten instituted by the Idaho Department of Transportation is inadequate. The Applicant shall pay for engineering, traffic control and construction costs for subject SH75 improvements adjacent to the Conditionally Granted Project.

**1.3.4.2** Further, to avoid excessive delays for East Bound traffic on River Street, the Applicant shall work with the City and ITD to install appropriate signage and improvements to allow only a right turn onto southbound SH75 at this intersection.

**1.3.4.3 Pedestrian Safety:** To help assure pedestrian safety and consistent with KMC, at the discretion of the Ketchum City Council upon the recommendation of the Ketchum Transportation Authority and the city’s peer review engineering firm (AECOM), the Applicant shall work with the

City and ITD to upgrade the unsignalized SH75 and River Street crossing (on north-side) to include a HAWK system. The circulation design shall meet all standards as specified in KMC §17.96.060.G. Further, as recommended by AECOM, “Before constructing a HAWK signal at River Street, an engineering study should be performed using the guidance provided in section 4F.01 of the MUTCD.”

- 1.3.5 **Letter of Credit:** The Applicant shall provide an irrevocable letter of credit to the City for the aforementioned ROW Improvements affecting both the SH75 and River Street ROWs.
- 1.4 **Condition No. 4 Terrace Walls:** Construction of terrace walls or features of the outdoor dining patio with landscaping and architectural features adjacent to SH75 may be subject to future design review at the time the application is filed for approval at the discretion of the Administrator.
- 1.5 **Condition No. 5 Time Limits:** The following are the time limits that govern this Conditionally Granted Project:
- 1.5.1 Pursuant to KMC §17.96.090, a design review permit is valid for twelve (12) months from the date of final decision on the associated Findings of Fact, Conclusions of Law, and Decision. The Application for the Conditionally Granted Project building permit must be filed within the time as specified in KMC §17.96.090(A)(2). Any extension shall only be as allowed and specified in KMC §17.96.090.
- 1.5.2 Unless extended by the Ketchum City Council, a building permit shall be issued within twelve (12) months from the date of the last issued Permit.
- 1.5.3 A certificate of occupancy shall be issued for the Conditionally Granted Project no later than 18 months after the building permit is issued unless the time for completion of the Conditionally Granted Project is extended by the City Council.
- 1.6 **Condition No. 6 Certificate of Occupancy:** No Certificate of Occupancy shall be issued for the use and occupancy of this Conditionally Granted Project until the following items are complete:
- 1.6.1 All Design Review elements of the Conditionally Granted Project have been completed and approved by the Planning & Building Department; and
- 1.6.2 All occupancies in the Conditionally Granted Project (residential, commercial, etc.) shall meet the Leadership in Energy and Environmental Design (LEED) Silver or equivalent standards consistent with (A) representations of the Applicant and its 1/21/20



design update Sustainability Integration representations (building system / geothermal, high performance building and site, material and product sustainability assessment) and (B) provisions of the City of Ketchum Green Building Code as set forth in KMC §15.20, inclusive of additional recommendations of the Planning & Zoning Commission during Conditionally Granted Project Design Review; and

- 1.6.3 All proposed encroachments within the City's River Street right-of-way have been installed in accordance with the Conditionally Granted Project Master Plan and approved by the City Engineer; and
  - 1.6.4 All rooftop mechanical and electrical equipment is fully screened from public vantage points and approved by the Planning & Building Department; and
  - 1.6.5 The City's Fire, Utilities, Building, Arborist, Streets, and Planning Departments have conducted final inspections and authorized issuance of Certificate of Occupancy; and
  - 1.6.6 Prior to Certificate of Occupancy, a Parking Plan verifying free public use, the thirteen (13) displaced public parking spaces, and other details at the discretion of the City, shall be provided and approved by Ketchum City Council for the Conditionally Granted Project Parking Garage.
- 1.7 **Condition No. 7 City Permit Performance Fees:** The Applicant shall be charged and shall pay the City Permit Performance Fees for the administration of the City's performance of the Permit Conditions Acceptance Development Agreement.
  - 1.8 **Condition No. 8 Conditions to Applicant's Obligations:** The Applicant's obligations hereunder are conditioned upon (1) receiving all the referenced approvals from the City and (2) securing financing as provided in the Permit Conditions Acceptance Development Agreement.
  - 1.9 **Condition No. 9 Drainage:** Conditionally Granted Project Drainage system plans shall be submitted to the City Engineer for review and approval. Pursuant to KMC §17.96.060.C, all storm water shall be retained on site, drainage improvements constructed shall be equal to the length of the Subject Real Property boundary lines, and all drainage facilities shall be constructed per City standards. All drainage improvements shall meet the applicable design criteria as specified in KMC §12.04.030.
  - 1.10 **Condition No. 10 Utilities Plan:** The Applicant shall submit a Conditionally Granted Project Utility Plan indicating the location and size of water and sewer mains as well as gas, electric, TV and phone services (KMC §17.96.040.C.2c & KMC §17.96.060.D.1-3). Per KMC §17.96.060.D.2, utilities shall be located

underground and utility, power, and communications lines within the Conditionally Granted Project Site should be concealed from public view.

- 1.11 **Condition No. 11 Employee Housing Units:** The Applicant shall either maintain or enter into a master lease with the Hotel Operator for apartment units within the Developed Conditionally Granted Project containing not less than 23 beds, as materially set forth in the 1/21/21 employee housing plan design update, and thereby fulfill and satisfy the employee housing obligation of this Conditionally Granted Project consistent with the KMC.
- 1.11.1 Notwithstanding, consistent with the recommendations of the BCHA and the Commission, the Applicant may as part of the Design Review process seek to amend the employee housing plan configurations to have fewer shared bedroom configurations, improved bathroom to bed ratio, and more individual or couple employee housing suites; and
- 1.11.2 All leased apartment units must be subleased, assigned or otherwise made available to employees of the Hotel Operator on terms and conditions that emphasize the retention of a local workforce consistent with Blaine County Housing Authority (BCHA) community housing guidelines, and providing employee housing at a price point that is commensurate with its employees' ability to pay. The Applicant may enter into a master lease with the Hotel Operator for apartment units containing twenty-three (23) beds and thereby fulfill and satisfy the employee housing obligation of this Conditionally Granted Project consistent with KMC §17.124.050.
- 1.11.3 All leased apartment units must be subleased, assigned or otherwise made available to employees of the Hotel Operator on terms and conditions determined by it in the exercise of its discretion consistent with the goals of retaining a local workforce and adhering to the BCHA community housing guidelines.
- 1.11.4 Apartment leases and the management of this covenant of the developer to provide employee housing in the hotel are subject to annual recertification audits by the City and / or its designee. A fee established by resolution of the City may be charged for this service and associated compliance and monitoring activities.
- 1.12 **Condition No. 12 Hotel Operations:** The core feature of the Conditionally Granted Project is a hotel building operated at an industry acknowledged Four Star Hotel Operations Standard. Adherence to a Four-Star Hotel Operations Standard, particularly during Peak Travel Season, affects the sufficiency of on-site parking and traffic circulation in the immediate vicinity of the Conditionally Granted Project and is a requirement of the occupancy and use of the Developed Conditionally Granted Project.

- 1.13 **Condition No. 13 Lower Parking Demand and Traffic Impacts:** To assure that the Applicant and/or Hotel Operator provides guest shuttle, employee shuttle, car share program, transit passes, carpool program, alternative transportation (such as bike storage for employees), and strict monitoring and management of deliveries and garbage pick-up, as set forth in §4.13, the Applicant and/or Hotel Operator shall include in the irrevocable letter of credit a Lower Parking Demand and Traffic Impacts amount of fifty thousand dollars (\$50,000) for a period of not greater than five (5) years upon which the City Council may request a draw to cover the City's costs in the mitigation of lowering traffic impacts and/or parking demands associated with the Applicant and/or Hotel Operator's failure to comply.
- 1.14 **Condition No. 14 Parking & Loading:** The Applicant shall present a Conditionally Granted Project Parking Plan for review and consideration by the Commission as part of its full Design Review Submittal. Prior to Certificate of Occupancy, a Conditionally Granted Project Parking Plan verifying public use, validation processes for determining parking charges (if any) for the public and the thirteen (13) displaced public parking spaces, and other details at the discretion of the City, shall be provided and approved by Ketchum City Council for the Conditionally Granted Project Parking Garage. The Conditionally Granted Project is required to have a minimum of eighty-four (84) parking spaces in the underground parking garage. Of these spaces, 53 spaces are required for the Four-Star Hotel Operations Standard, 18 spaces are required for employee housing, and 13 are required for the public to mitigate displaced public parking spaces from River Street. Of this total, not less than:
- 1.14.1 Eighteen (18) stalls shall be allocated for employee housing, inclusive of at least one (1) car share vehicle; and
  - 1.14.2 Thirteen (13) underground parking stalls will be available to the general public at no charge to the public while visiting the property or using the conference center, spa, restaurant and bar. Subject to city final approval, a validation system may be employed by the Applicant and/or Hotel Operator with regard to the monitoring of public use of the thirteen, free-of-charge, underground public spaces located in the Conditionally Granted Project Parking Garage; and
  - 1.14.3 Guest shuttle, employee shuttle, car share program, transit passes, and bike storage shall be provided as a part of the Four-Star Hotel Operations Standard.
  - 1.14.4 During and upon completion of the construction of the Conditionally Granted Project, delivery vehicles associated with the Conditionally Granted Project shall not interfere with the regular flow of traffic surrounding the Conditionally Granted Project Site. Delivery vehicles

shall not block the regular flow of traffic along River Street. Accordingly, deliveries will be made (a) preferably with single-unit trucks, not large tractor-trailer trucks; (b) during off-peak hours; and, (c) with hand trucks from the designated on-street loading zone. The Applicant shall strictly monitor and manage deliveries and garbage pick-up to ensure these activities do not occur during peak traffic periods, and that they do not occur simultaneously.

- 1.15 **Condition No. 15 Local Option Tax:** The Conditionally Granted Project shall be subject to the provisions of KMC Section 3.12, relating to local option taxes.
- 1.15.1 **Beverage, Food & Retail Sales:** All retail, food and beverage sales on the Conditionally Granted Project Site and in the Conditionally Granted Project shall be subject to the local option tax.
- 1.15.2 **Building Materials:** The Conditionally Granted Project and Conditionally Granted Project Site shall be subject to the local option tax on building materials.
- 1.15.3 **Employee Housing:** The obligation to pay local option tax shall not apply to the rental of employee housing units.
- 1.15.4 **Future Amendments to LOT Ordinance:** Any amendments to or repeal of Ketchum's Local Option Tax Ordinance and/or Idaho law relating to such local option taxes shall also apply to and modify this Section to the extent of such amendment(s) and/or repeal.
- 1.15.5 **Hotel Rooms:** All hotel rentals in the Conditionally Granted Project Four-Star Hotel Operations Standard shall be subject to the local option tax, regardless of who makes the reservation, including independent third-party travel agencies or other independent parties.
- 1.15.6 **Short-term rentals:** All non-hotel rentals, if any, shall be subject to the local option tax on short-term rentals.
- 1.15.7 **Marriott Rewards:** Reward stay bookings for any evening shall be assigned a room rate in accordance with the Idaho Administrative Procedures Act (IDAPA) and similar Idaho State Tax Commission rules and regulations. In all cases, subject reward stay booking shall be tracked as room revenue and charged the applicable local option tax rate. Local option taxes shall be remitted for all stays.
- 1.16 **Condition No. 16 Waivers:** Setbacks, FAR, and height for the Conditionally Granted Project shall comply with final Design Review for the Conditionally Granted Project as approved by the City. The final plans once approved and integrated into the Permit Conditions Acceptance Development Agreement by the Ketchum City Council illustrate areas where buildings may exceed height

and bulk limitations. As conditioned herein above, Ketchum acknowledges the zoning and subdivision waivers set forth in the PUD Findings.

- 1.17 **Condition No. 17 City Department Requirements:** All requirements of the Fire, Utility, Building, Planning and Public Works departments of the City of Ketchum shall be met. All public improvements shall meet the requirements of the Public Works Department.
- 1.18 **Condition No. 18 Compliance with the Applicable Laws and Ordinances:** All other provisions of Ketchum Municipal Code, Chapters 16 and 17 and all applicable ordinances rules and regulations of the City and other governmental entities having jurisdiction shall be complied with by the Conditionally Granted Project.
- 1.19 **Condition No. 19 Building Permit Requirements:** The building permit for the Conditionally Granted Project shall not be issued until:
  - 1.19.1 The Conditionally Granted Project is subject to completion assurances and a letter of credit, which shall be detailed by the City Attorney and Finance Director and approved by the Ketchum City Council as provided in the Permit Conditions Acceptance Development Agreement governing this Conditionally Granted Project; and
  - 1.19.2 The Conditionally Granted Project shall pay the plan check and building permit fees that are in effect at the time of plan check and building permit submittal and all fees required by law prior to and for the issuance of a building permit.
  - 1.19.3 Storm Water Management Pollution Prevention Plan ("SWPPP") in accordance with local, state and federal laws and regulations is in place for the Conditionally Granted Project; and
  - 1.19.4 A detailed Conditionally Granted Project Construction Staging and Mitigation Plan which is consistent with the standards specified in Chapter 15.06 of KMC, including provisions for off-site parking for contractors, sub-contractors, and other trades associated with the construction of the Conditionally Granted Project, off-site storage of bulk materials, and required right of way encroachments during construction, shall be submitted and approved by the City Planning and Building Administrator prior to building permit approval.
  - 1.19.5 The Applicant has secured a will serve letter from Idaho, Clear Creek Disposal and other applicable public and private utility providers prior to issuance of a Building Permit.
  - 1.19.6 The River Street Encroachment Permit encroachment agreement shall be obtained.

1.19.7 The Applicant shall cause to be issued in irrevocable letter of credit for the aforementioned Public ROW Improvements affecting both the SH75 and River Street ROWs. The amount of the financial guarantee shall be at 150% of engineering estimates for the guaranteed improvements. Partial and/or full release(s) of the letter of credit may be made upon: (i) Acceptance of subject River Street ROW improvements by the City; (ii) formal commencement of work by ITD of the SH75 ROW improvements adjacent the Subject Real Property and/or upon complete installation of the SH75 ROW improvements adjacent the Property.

1.20 **Condition No. 20 Written Permit Conditions Agreement:** The City Council has approved and the Applicant has entered into a Permit Conditions Acceptance Development Agreement inclusive of all the conditions of approval but subject first to inclusion of conditions of the Planning and Zoning Commission's Design Review of Conditionally Approved Project and which Permit Conditions Acceptance Development Agreement is finalized and Approved by the City Council having completed its public hearing process regarding the same.


1.21 **Condition No. 21 Design Review:** At the time of Design Review the applicant shall be required to address venting of mechanicals that vent toward the western property line. Applicant shall be required to provide detail related to how they are preventing impact to the adjacent property owner.

**Order No. 2 Not a Final Action:** These Findings of Fact, Conclusions of Law and Order of Decision are not a final action of the City Council on this Planned Unit Development Conditional Use Permit and Waiver Application until the following conditions subsequent have occurred:

- 2.1 There is a final action by the City upon the Design Review of the PUDCUP; and
- 2.2 The City Council has taken final action upon the Permit Acceptance Agreement.

**Adopted** this 16<sup>TH</sup> day of February, 2021.

**City Council of the City of Ketchum**

By:   
Neil Bradshaw, Mayor

**Notice to Applicant**

The subject Planned Unit Development/Conditional Use Permit and Waiver Application concerns a site-specific land use request and therefore this notice is provided to the applicant pursuant to I.C. § 67-6535 (3) of the applicant's right to request a regulatory taking analysis pursuant to section 67-8003, Idaho Code.

*W:\Work\K\Ketchum, City of 24892\Gateway Hotel .015\AGENCY RECORD\FCO On Remand Drafts\2021-02-16 19-063 FCO by KCC PUD Findings on remand - lh 2-05-2021.docx*

# ATTACHMENT D



RICHARD C. CLOTFELTER  
215 5<sup>TH</sup> AVE. SOUTH  
UNIT C-202  
KIRKLAND, WA 98033  
June 1, 2022

City of Ketchum  
Planning & Building  
P.O. Box 2315  
Ketchum, Idaho 83340

Ref: June 14, 2022 Hearing  
Ketchum Boutique Hotel  
251 So. Main Street  
Ketchum, Idaho

Ladies and Gentleman,

I am a part time resident of Unit 503, Limelight Hotel at a 151 So. Main St. Ketchum.

You have heard from me before so I will make it quick and clear. The plan being proposed for the above referenced hotel is going to cause a complete mess in terms of congestion on River Street between the subject property and the Limelight Hotel on the opposite side of the street.

This congestion not only affects daily traffic for customers to both hotels, plus deliveries, BUT will be a Safety hazard and EMERGENCY disaster in the event of fire or other situations requiring police, fire, or EMT response.

There is a very easy solution, that only you, The City of Ketchum can make happen.

The solution is to use, THE EXISTING CURB CUTS on Highway 75 on the south end of the subject property. These two existing curb cuts can be used for hotel guest parking, garbage and delivery to the and from the hotel , and will allow the

entrance to the hotel to be free of these uses and thus allow EMERGENCY VEHICLES to reach the hotel with no congestion and customers of the hotel to come and go with ease.

I have previously left an ARCHITECTS PROFESSIONAL PLAN, with City showing how the above would work and allows guests parking to enter off of Highway 75 and exit through the west side of the hotel to the entrance on River Street.

I know there are some stubborn people in the developer group and the City staff, BUT, now is the time to be realistic and prevent future congestion and emergency disaster.

Thank you for listening one more time. Please implement this simple solution.



Richard C. Clotfelter

CC: Mayor Bradshaw

Council Members: David, Breen, Hamilton,



200 E. RIVER STREET #1 P. O. BOX 6919 KETCHUM, IDAHO 83340 208-726-3336

June 3, 2022

Planning & Zoning Commissioners

Dear Commissioners:

RE: Comments on Marriott Tribute Portfolio proposal

Thank you for the opportunity to comment on the above proposal. I have attended several of the public meetings on this project, both in person and virtually, and I have a specific interest in the project since I own two of the three units in the building at 200 E. River Street, just two sites from this proposed development. I have lived in the valley for 37 years and been a business owner in the city of 30 years.

My perspective on development within the city and especially this project is that I support smart growth done in compliance with city code, understanding that there are situations where conditional use permits and variances may be appropriate, which is why they exist. To be as clear as possible, I am not anti-development and I do not have a "not in my backyard" mentality. My office building is directly across the street from the Limelight and I think it has been a valuable addition to our community.

When any of us purchases real estate, we do so with the understanding of what uses are allowed under the applicable zoning code for that property and adjacent and nearby properties that may impact our use and enjoyment and financial investment. When I, and other property owners in this section of Ketchum, purchased or leased properties for our businesses or homes, we thought we knew what the city's zoning would allow for in terms of development. That unfortunately has not turned out to be the case with this project.

I realize that what is happening know is simply a pro-forma exercise with a foregone conclusion but I still wanted to go on the record of objecting to what has been already approved and is now being re-stamped.

It is objectionable that this decision is being made based upon false conclusions. For example, I've heard multiple times from planning officials and the city council members that a height waiver must be granted since the sites are not developable without the waiver. That may be true if this development is evaluated based upon it being a single parcel but it is not. There are three sites that make up this project and any one of them could be developed individually, as evidenced by the properties at 220 E River Street and 200 E. River Street, two condominium project. The width of the sites is not an issue as evidenced by these two projects, two of three that are actually wider than the existing projects:

220 E River Street	50'	River Street Professional Condos
200 E River Street	55'	Waldron Office Condos
280 E River Street	50'	(PEG)
260 E River Street	60'	(PEG)
251 S Main Street	60'	(PEG)



Simply because the developer has bundled them together for their specific hotel project does not mean they have to be evaluated as a single parcel for determining code compliance or to support the need for hardship waivers. Based upon that logic, anyone who wants to develop a site outside of the height, width, or scale allowed on a site could apply for a hardship waiver or exemption.

In all the meetings I've observed, not once has someone from the city brought up the fact that it is possible to productively develop any one of these three sites under the existing code without waivers, as demonstrated by the two projects immediately adjacent to them. It may not be possible to develop the

*proposed* project that way but that should not be the standard for determine a hardship and varying from the code. It is not fair to the nearby property owners who purchased or leased properties under the belief that development of these sites could be done to code, whether individually or in combination.

I have not heard anyone that leases or owners property near this project object to having a hotel in this location and I certainly do not. The objections are to approving a hotel of this scale, which is outside of what is allowed in the code, when there is no hardship need for waivers or variances except that the developer wants to build a project larger than allowed if complying with the code. It would certainly cause a hardship to some of the existing owners and businesses, since I know some have said they will break or not renew their leases, and I am re-considering converting my two units from offices to live/work units, which was my intention when I purchased them.

This is an especially sensitive location since it is a transitional location, adjacent to residential homes and condominium projects. As one example, there are 44 residential condominiums directly across Trail Creek. Please at least consider the option of approving the project without waivers since the three sites could be financially feasibly developed without them and still be economically productive and a wonderful addition to our community. I would wholeheartedly support that direction.

Sincerely,

A handwritten signature in black ink, appearing to read 'Patricia Lentz Felton', written in a cursive style.

Patricia Lentz Felton, SRA, CRA  
Lentz Appraisal & Consulting, LLC

# ATTACHMENT B



# KETCHUM TRIBUTE

MAY 27, 2022 | DESIGN REVIEW APPLICATION  
UPDATE



**DESIGN REVIEW APPLICATION DRAWINGS**

SITE PLANS: ARCHITECTURAL | LANDSCAPE | CIVIL 3

FLOOR PLANS 22

EXTERIOR ELEVATIONS | MATERIALS 30

PERSPECTIVE RENDERS 48

EXTERIOR LIGHTING PLANS | PHOTOMETRICS 61

SUSTAINABILITY INTEGRATION 71

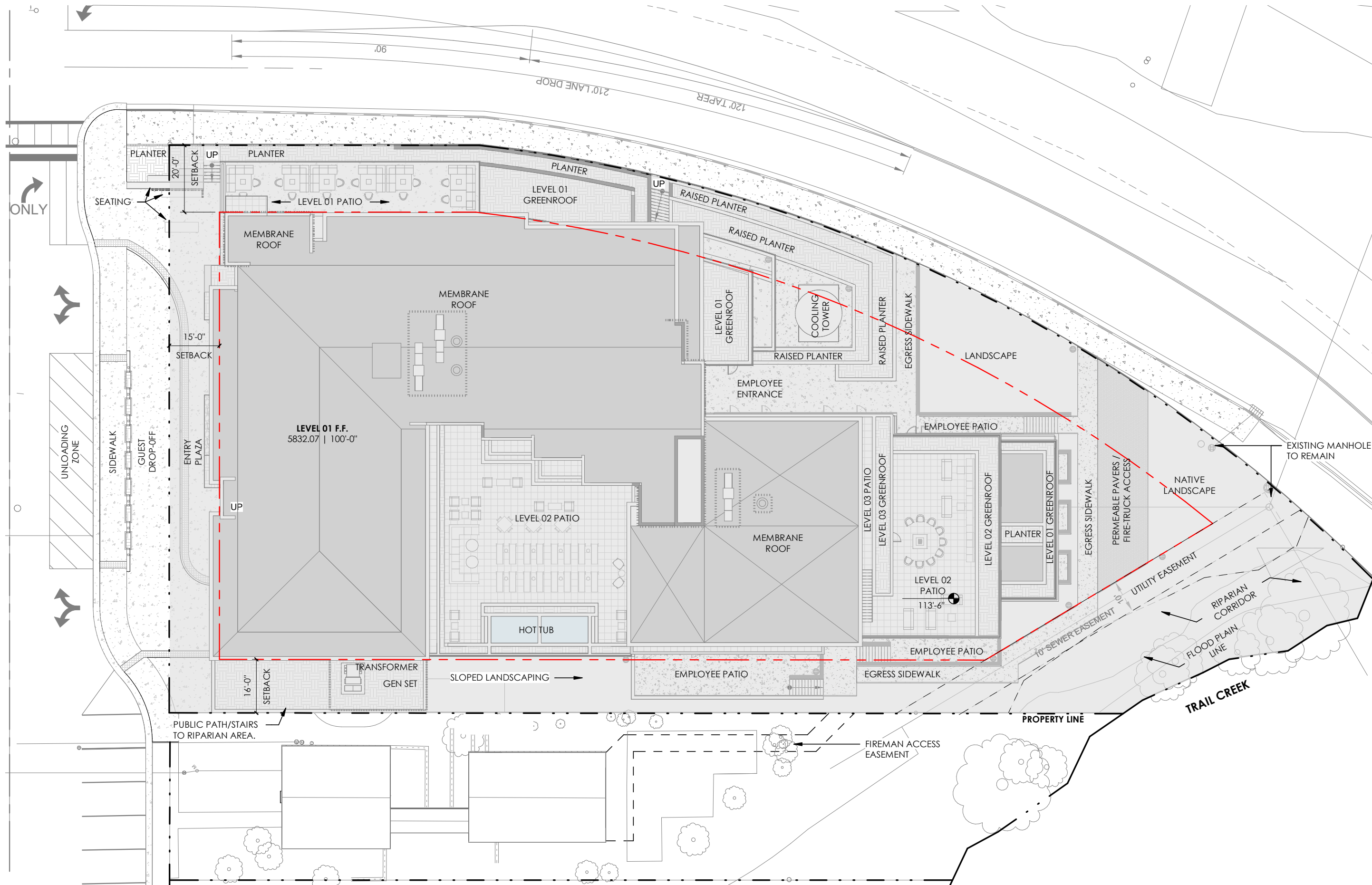
CONSTRUCTION MANAGEMENT PLAN 75

UTILITY WILL-SERVE LETTERS 80



**SITE PLANS**  
**ARCHITECTURAL | LANDSCAPE | CIVIL**





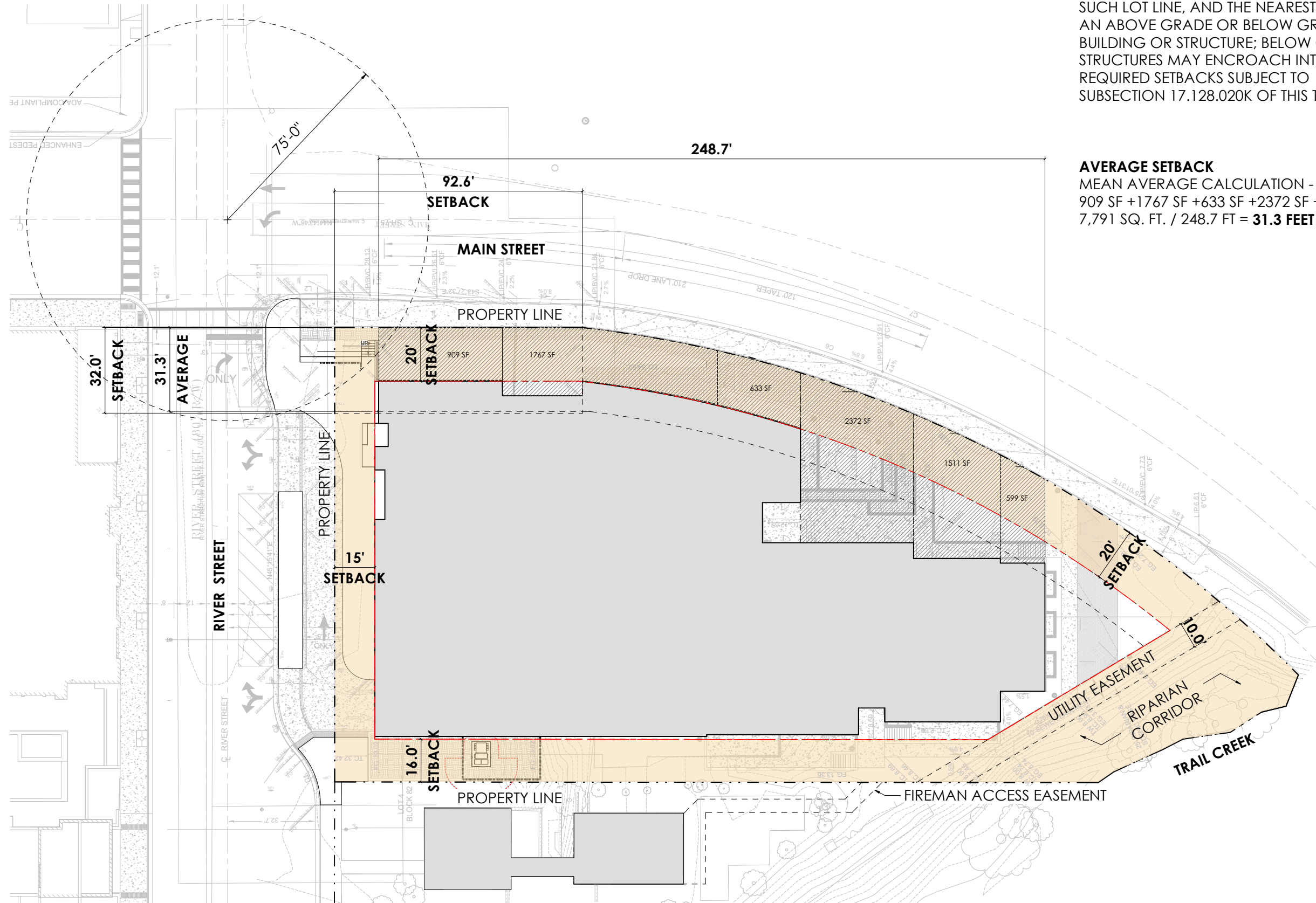
ARCHITECTURAL SITE PLAN

**CHAPTER 17.08: DEFINITIONS**

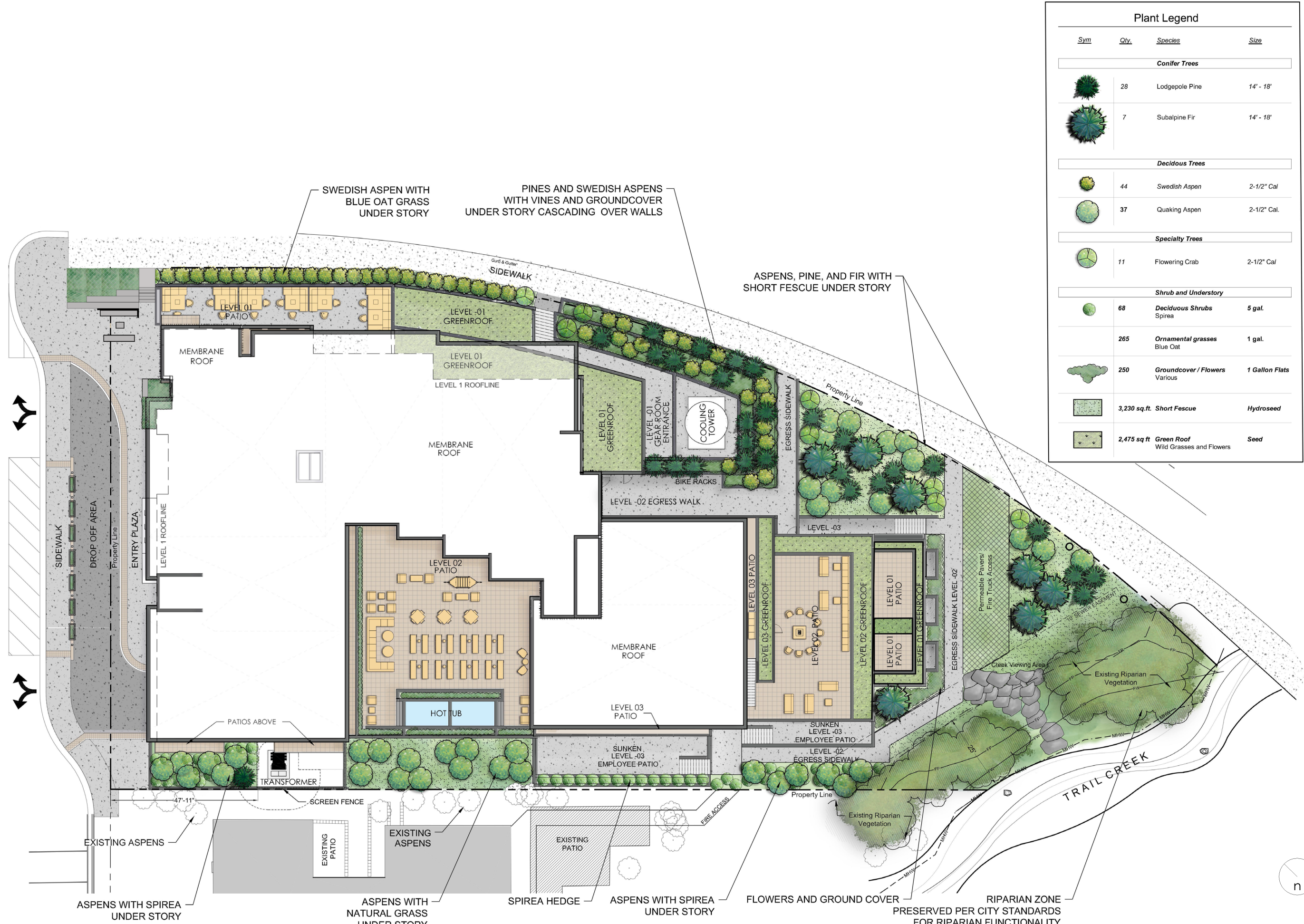
**SETBACK:** THE MINIMUM HORIZONTAL DISTANCE BETWEEN A SPECIFIED LOT LINE (FRONT, SIDE, REAR), MEASURED ALONG A STRAIGHT LINE AND AT A RIGHT ANGLE TO SUCH LOT LINE, AND THE NEAREST POINT OF AN ABOVE GRADE OR BELOW GRADE BUILDING OR STRUCTURE; BELOW GRADE STRUCTURES MAY ENCROACH INTO REQUIRED SETBACKS SUBJECT TO SUBSECTION 17.128.020K OF THIS TITLE.

**AVERAGE SETBACK**

MEAN AVERAGE CALCULATION - EAST  
909 SF + 1767 SF + 633 SF + 2372 SF + 1511 SF + 599 SF =  
7,791 SQ. FT. / 248.7 FT = **31.3 FEET**



**SETBACKS - ARCHITECTURAL SITE PLAN**



Plant Legend			
Sym	Qty.	Species	Size
<b>Conifer Trees</b>			
	28	Lodgepole Pine	14' - 18'
	7	Subalpine Fir	14' - 18'
<b>Deciduous Trees</b>			
	44	Swedish Aspen	2-1/2" Cal.
	37	Quaking Aspen	2-1/2" Cal.
<b>Specialty Trees</b>			
	11	Flowering Crab	2-1/2" Cal.
<b>Shrub and Understory</b>			
	68	Deciduous Shrubs Spirea	5 gal.
	265	Ornamental grasses Blue Oat	1 gal.
	250	Groundcover / Flowers Various	1 Gallon Flats
	3,230 sq.ft.	Short Fescue	Hydroseed
	2,475 sq.ft.	Green Roof Wild Grasses and Flowers	Seed

SWEDISH ASPEN WITH BLUE OAT GRASS UNDER STORY

PINES AND SWEDISH ASPENS WITH VINES AND GROUNDCOVER UNDER STORY CASCADING OVER WALLS

ASPENS, PINE, AND FIR WITH SHORT FESCUE UNDER STORY

EXISTING ASPENS

ASPENS WITH SPIREA UNDER STORY

ASPENS WITH NATURAL GRASS UNDER STORY

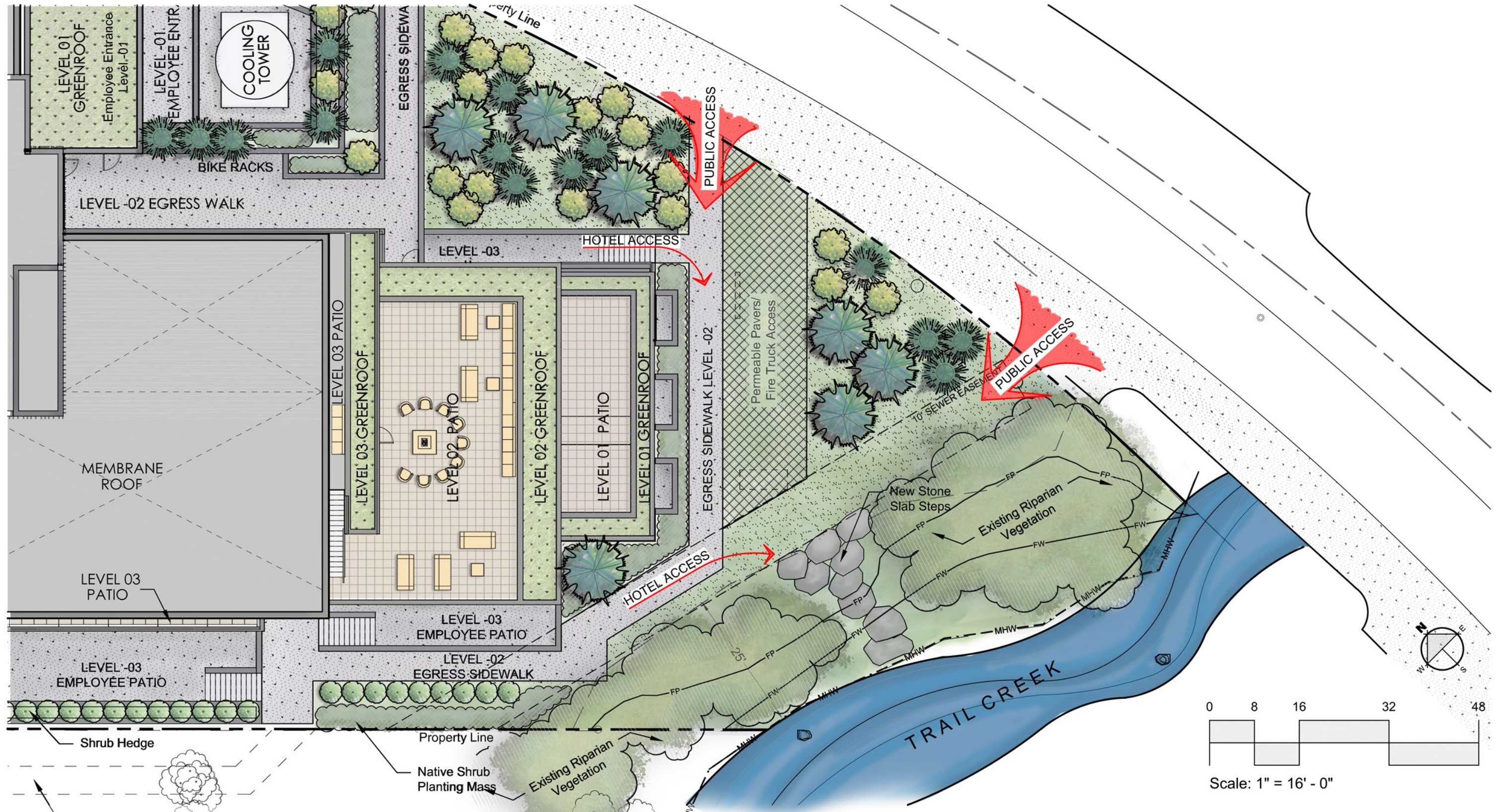
SPIREA HEDGE

ASPENS WITH SPIREA UNDER STORY

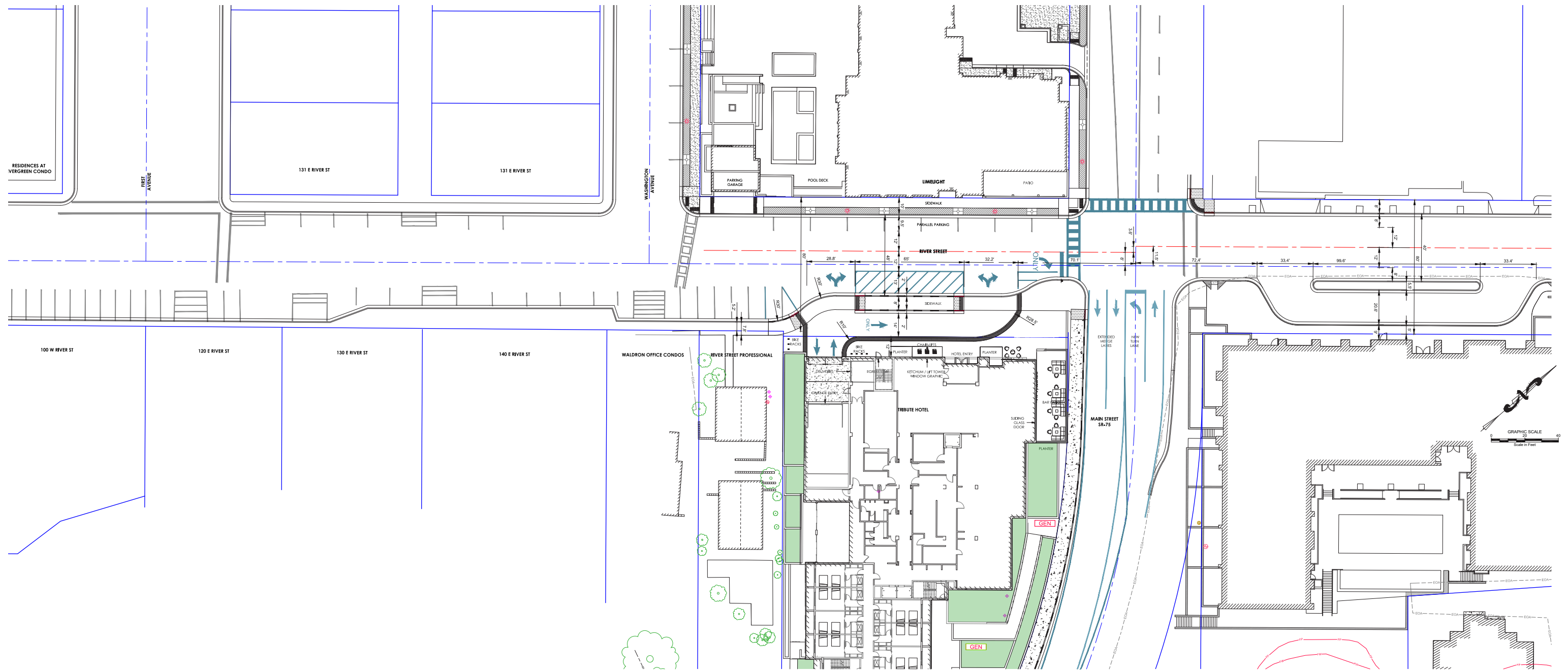
FLOWERS AND GROUND COVER

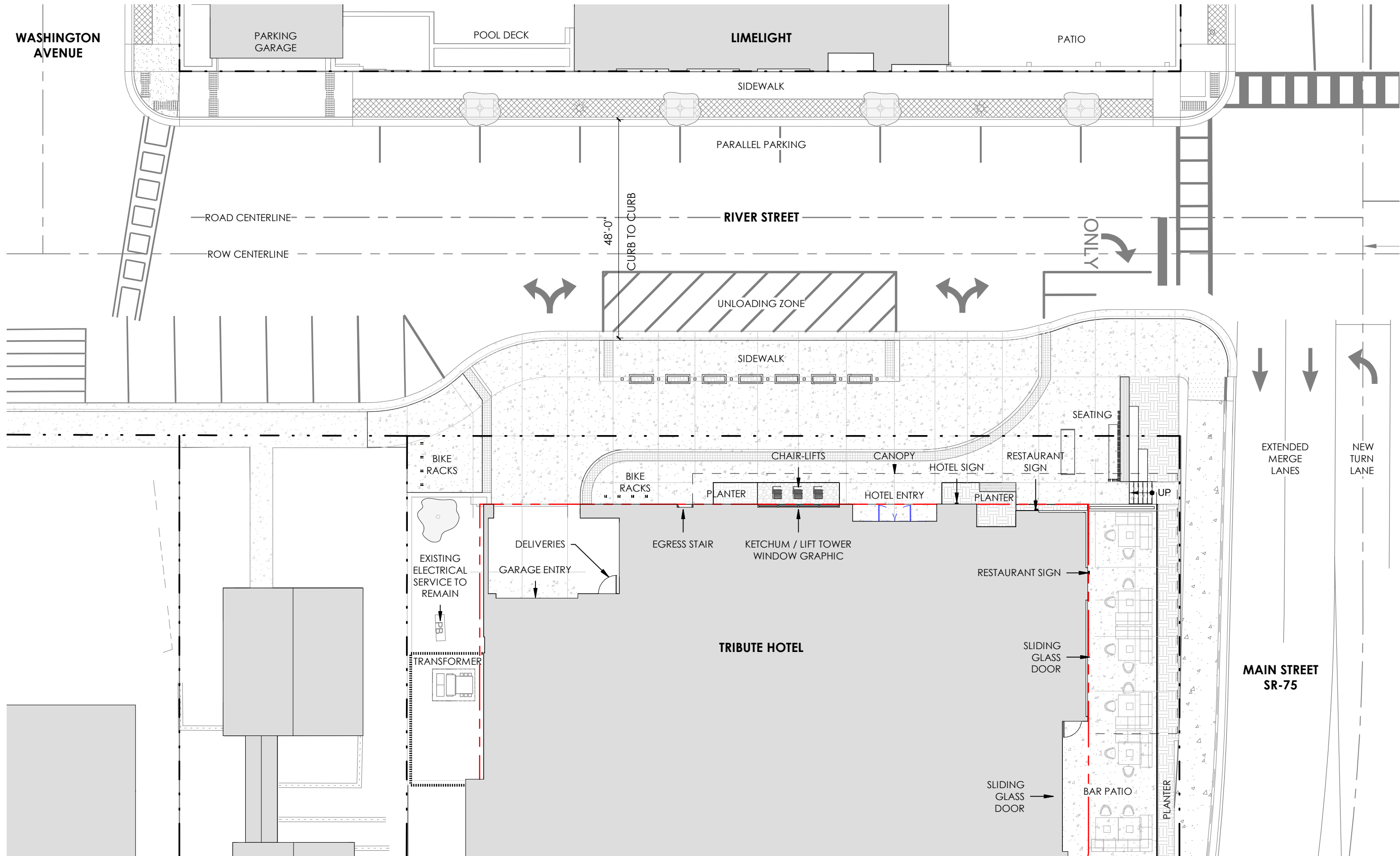
RIPARIAN ZONE PRESERVED PER CITY STANDARDS FOR RIPARIAN FUNCTIONALITY

# LANDSCAPE PLAN



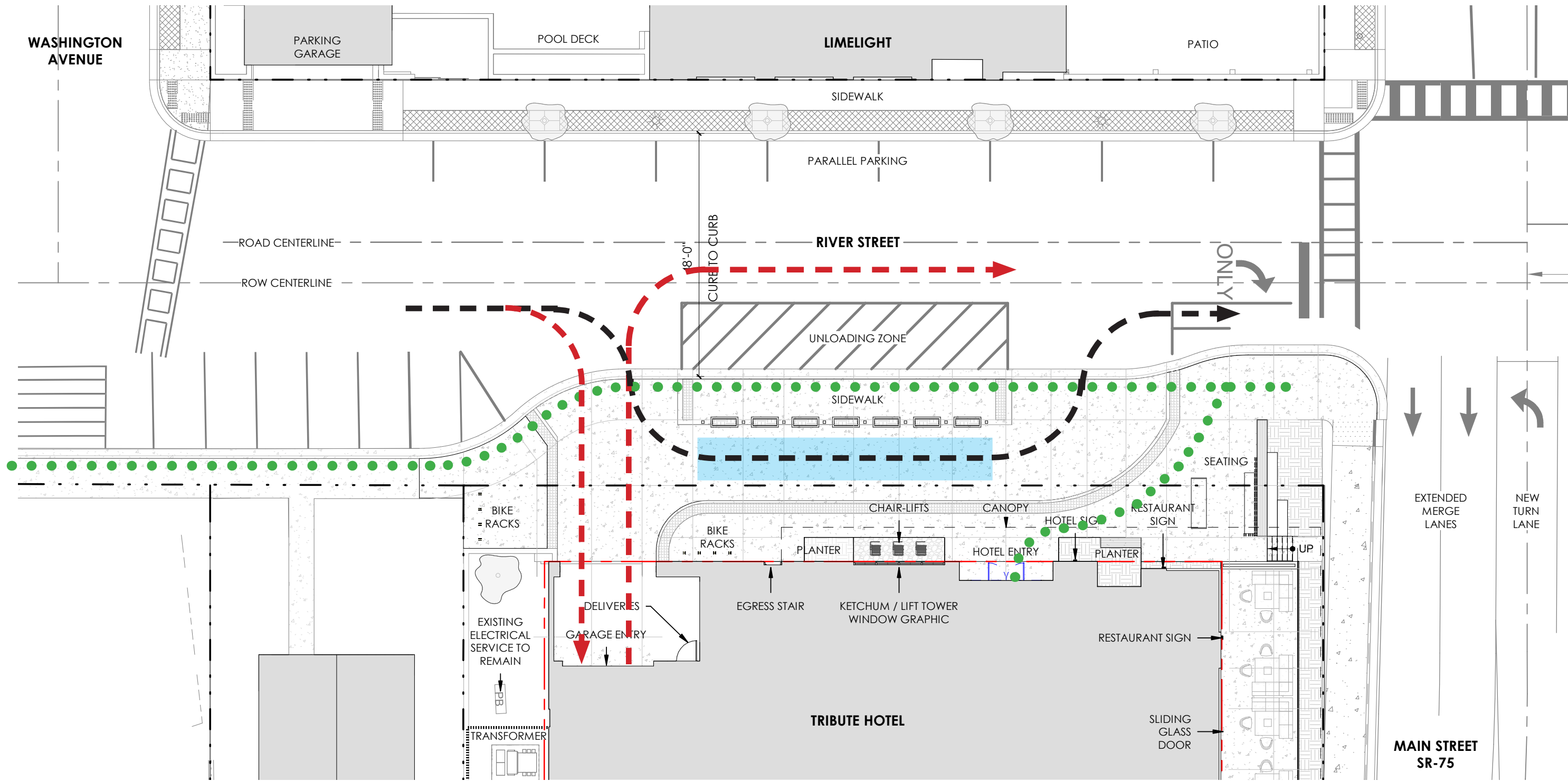
TRAIL CREEK ACCESS - LANDSCAPE PLAN





RIVER STREET ENTRY PLAZA





- PEDESTRIAN PATH
- GUEST DROP-OFF & PICK-UP / VEHICULAR PATH
- GARAGE ENTRY / VEHICULAR PATH
- GUEST DROP-OFF & PICK-UP ZONE

ACTIVITIES - RIVER STREET ENTRY PLAN

# THE KETCHUM PROLOGUE HOTEL AUGUST 2021

ajc architects  
703 east 1700 south  
salt lake city, ut 84105  
ajcarchitects.com

ARCHITECT / CONSULTANT  
ORIGINAL SIGNED BY JEFF C. LOOMIS  
DATE ORIGINAL SIGNED: 08/06/2021



ORIGINAL ON FILE AT OFFICE OF  
GALENA ENGINEERING (HAILEY, ID)  
**PERMIT SET**

AUTHORITY HAVING JURISDICTION

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83333  
(208) 788-1705  
email galena@galena-engineering.com

PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**CIVIL COVER SHEET**

MARK	DATE	DESCRIPTION

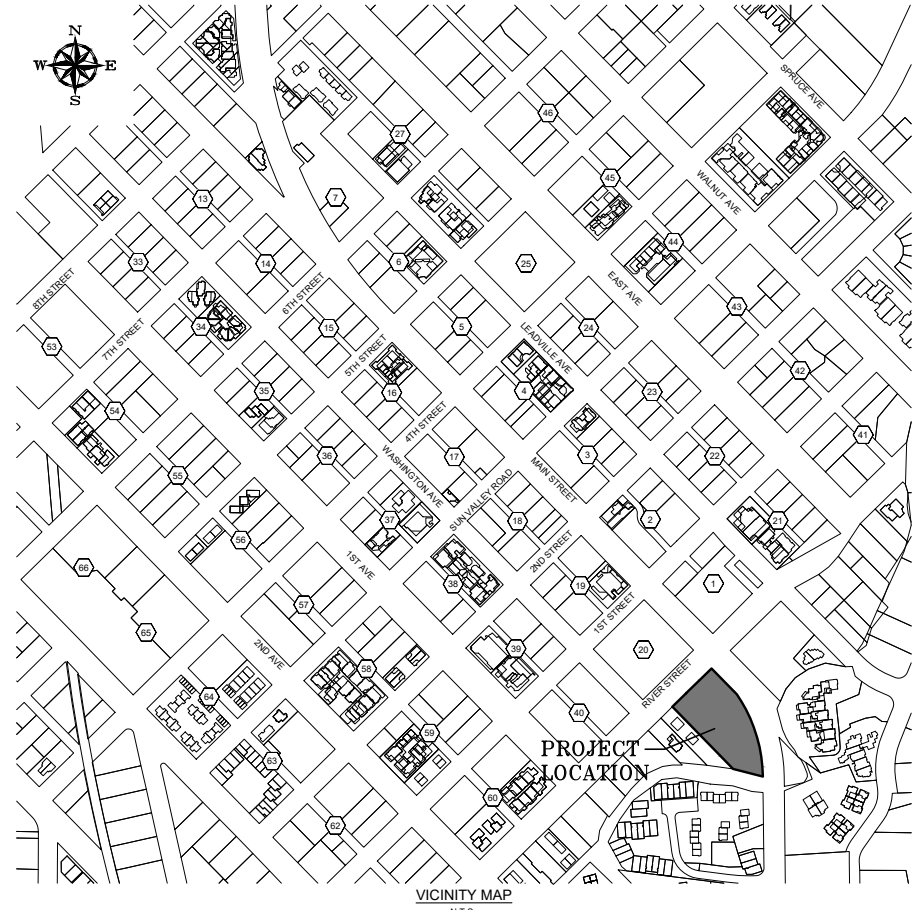
ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:

**C0.1**  
CIVIL DRAWINGS

## D CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE CITY DIG PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES.
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPWC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND/OR SURVEY CONTROL POINTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW FOR PRESERVATION OR RESETTING OF ANY SURVEY MONUMENT PRIOR TO ANY DISTURBANCE TO THE SURVEY MONUMENT.



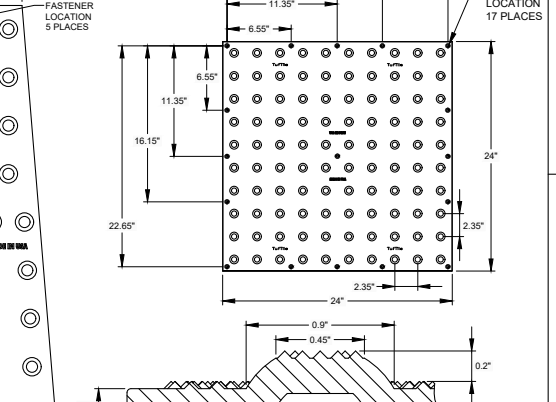
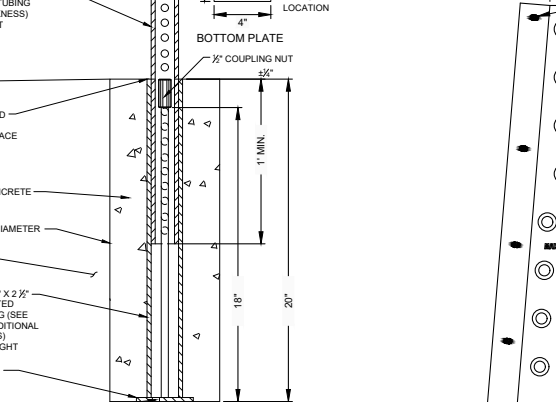
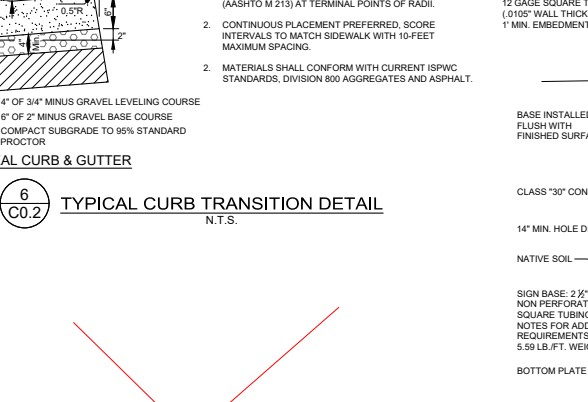
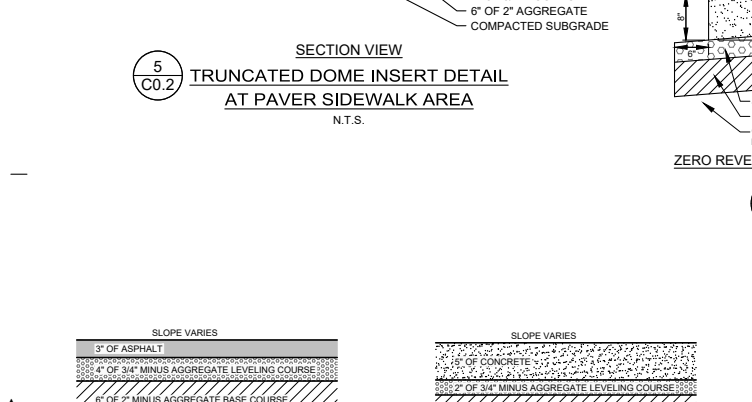
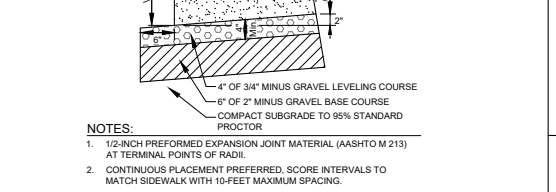
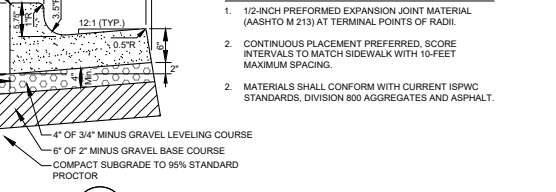
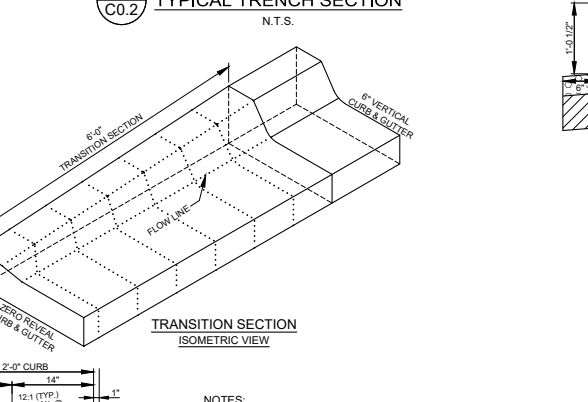
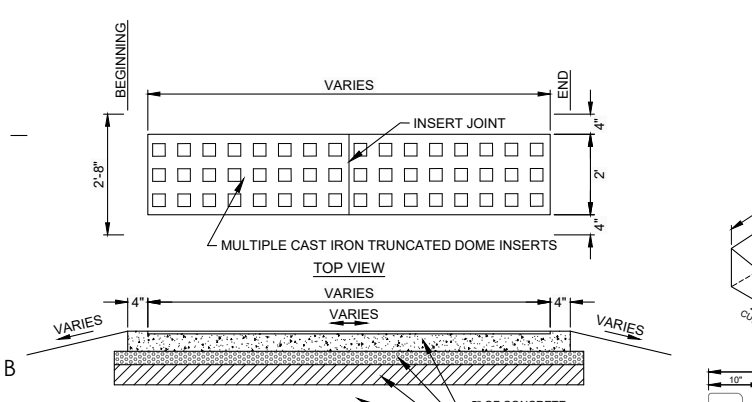
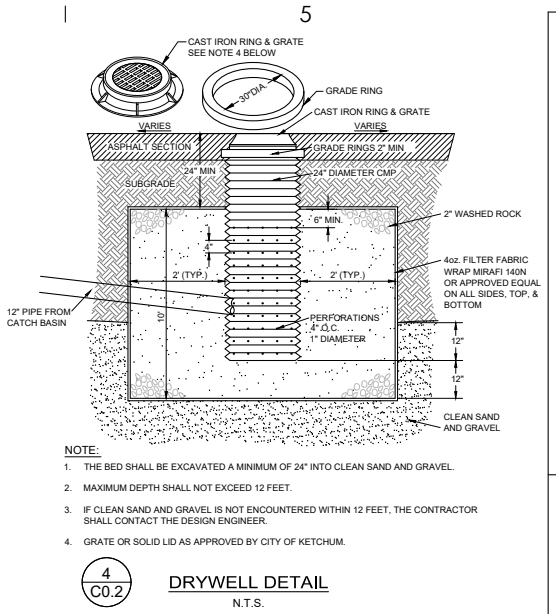
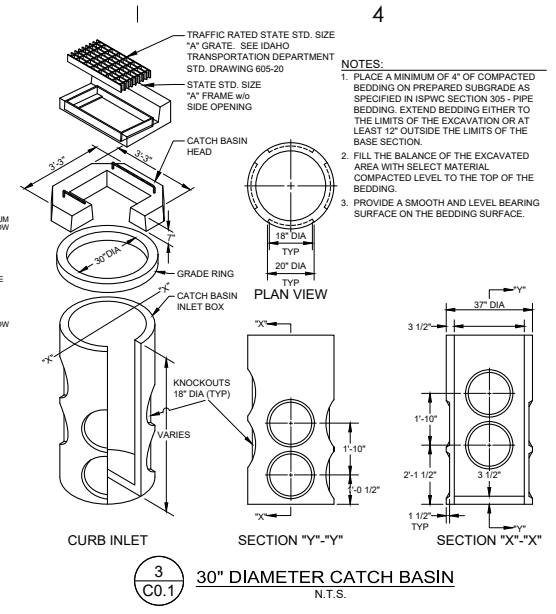
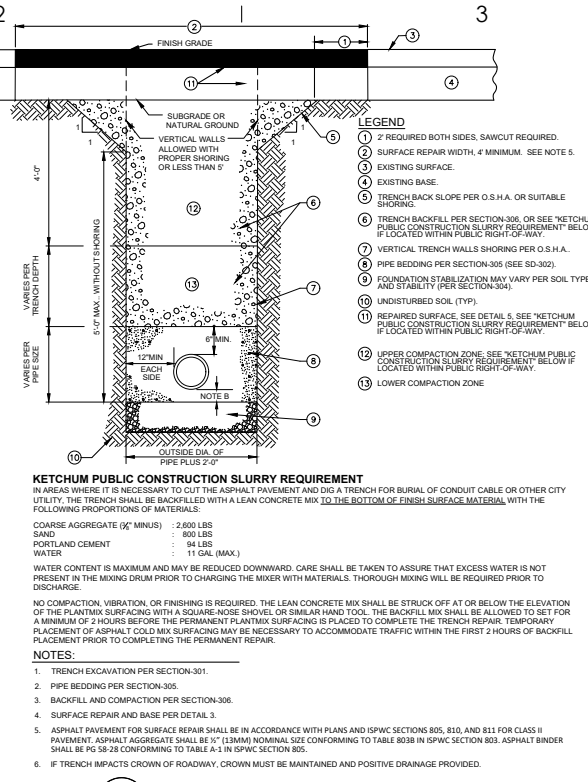
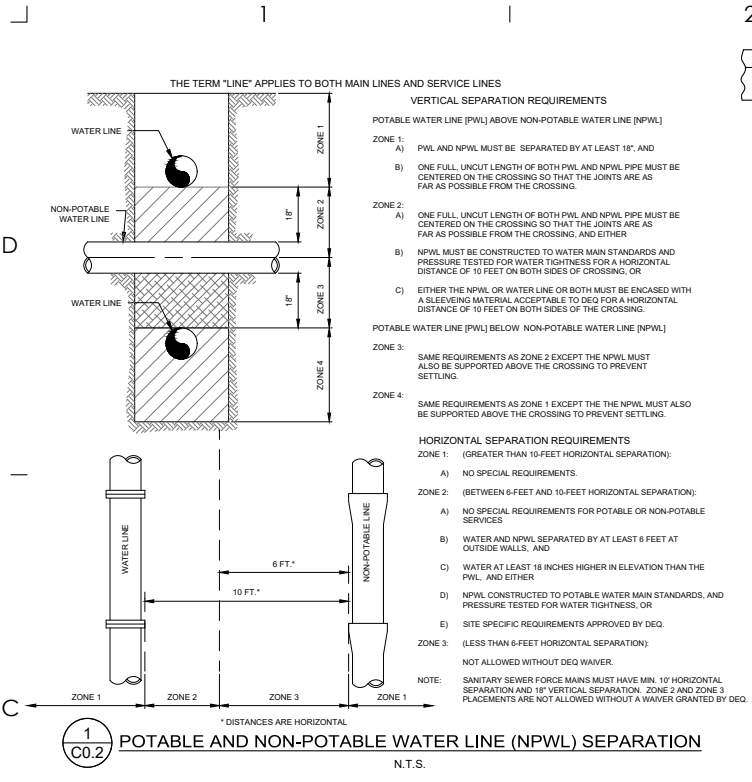
### SHEET INDEX

C0.1	CIVIL COVER SHEET
C0.2	DETAIL SHEET
C0.3	EXISTING SITE CONDITIONS
C1.0	DEMOLITION PLAN
C2.0	STORM WATER POLLUTION PREVENTION PLAN
C3.0	SITE GEOMETRY PLAN
C4.0	UTILITY PLAN
C5.0	RIVER STREET RIGHT-OF-WAY IMPROVEMENT PLAN

### LEGEND

Existing Items	Proposed Items
Property Line	New Asphalt
Adjoiner's Lot Line	Asphalt To Be Removed
Centerline Right of Way	Concrete Sidewalk
Mean High Water	Concrete Pedestrian Approach
Flood Plain	Concrete 6" Vertical Curb
Flood Way	Curb Transition
Sewer Easement as Shown	Zero Reveal Curb & Gutter
25' Riparian & Scenic Easement	Curb Face with Variable Height
5' Contour Interval	ADA Access Truncated Dome
1' Contour Interval	Sign
Asphalt	Fire Hydrant
Board Walk	Water Valve
Building / Structure	General Flow Direction
Pavers	5' Contour Interval
Concrete Curb & Gutter	1' Contour Interval
Retaining Wall	Pavers (type 1)
Gas Line	Pavers (type 2)
Cable Television	Grade
Fiber Optic Line	LIP 31.28 - Spot Elevation
Telephone Line	Concrete To Be Removed
Buried Power Line	Area To Be Grubbed
Overhead Power Line	Drywell
Ketchum City Water Line	Storm Drain
Water Service	Catch Basin
Abandoned Ketchum Spring Water	Down Spout
Abandoned Water Service	Storm Drain Cleanout
Sewer Line	Sawcut Line
Sewer Service	Approximate Limits Of Disturbance
Power Easement	Road Paint
Conifer Tree	Trench Drain
Deciduous Tree	Street Light
ITD Boll = Right-of-way Monument	Water Service / Main
FD1/2 = Found 1/2" Rebar	Sewer Service / Main
FD5/8 = Found 5/8" Rebar	TC = Top of Concrete
Found Aluminum Cap in Concrete	TP = Top of Pavers
Survey Control	
Found Nail in Stump	
Fire Hydrant	
Water Valve	
Frost Free Hydrant	
Irrigation Valve Box	
Catch Basin	
Drywell	
Sewer Manhole	
Sewer Cleanout	
Power Pole	
Road Paint	
Power Meter	
Light	
Power Box	
Telephone Riser	
Cable Television Riser	
AC = Aluminum Cap	
AP = Angle Point	
BOLL = Bollard	
BOW = Back of Walk	
CC = Curb Cut	
COR = Corner	
EOA = Edge of Asphalt Line	
FH = Fire Hydrant	
FND = Found	
GM = Gas Main	
GS = Ground Shot	
INT = Intersection	
JERAIL = Jersey Rail	
LIP = Lip of Gutter	
PB = Buried Power Line	
PBOX = Power Box	
PHB = Buried Telephone Line	
PHBOX = Telephone Riser	
PMTR = Power Meter	
PP = Power Pole	
SMH = Sewer Manhole	
TBC = Top Back of Curb	
TVB = Buried Cable Television Line	
TVBOX = Cable Television Riser	

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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**DETAIL SHEET**

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

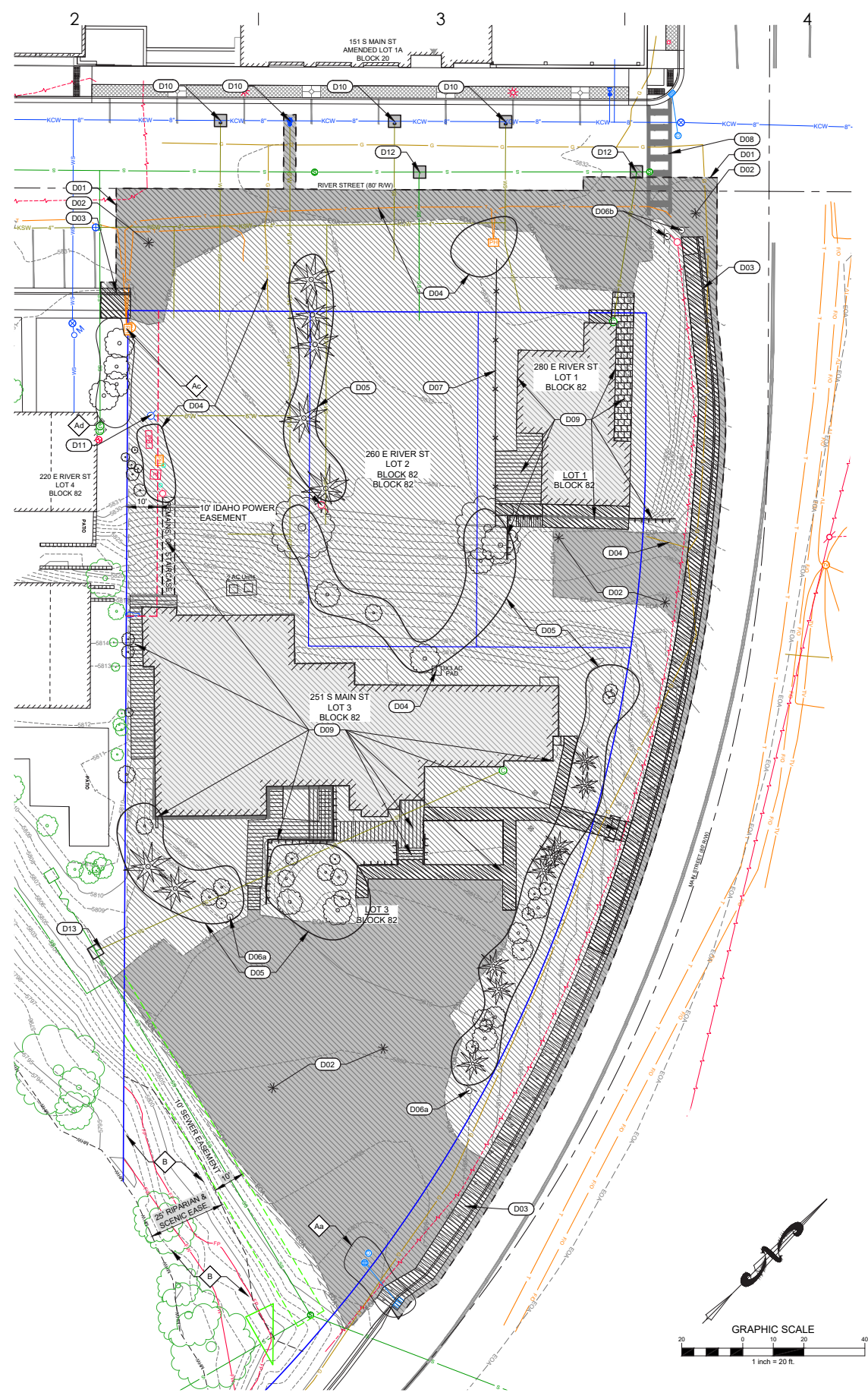
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**C0.2**

**DETAILS - CIVIL DRAWINGS**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



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**DEMOLITION SCHEDULE**

- (D01) SAWCUT A MINIMUM OF 24" OF ASPHALT TO PROVIDE CLEAN VERTICAL EDGE.
  - (D02) REMOVE AND DISPOSE OF ASPHALT.
  - (D03) REMOVE AND DISPOSE OF CONCRETE CURB / SIDEWALK (UTILIZE EXISTING JOINTS WHERE POSSIBLE)
  - (D04) CONTRACTOR TO COORDINATE THE REMOVAL, AND/OR RELOCATION, AND/OR RETAIN AND PROTECT (REMAIN-IN-PLACE) OF DRY UTILITIES, TO INCLUDE POWER (IDAHO POWER), GAS (INTERMOUNTAIN GAS), AND ALL COMMUNICATIONS.
  - (D05) REMOVE AND DISPOSE OF TREE AND ROOT BALL SYSTEM
  - (D06) REMOVE SIGN:
    - a. DISPOSE OF SIGN.
    - b. RETAIN SIGN. TO BE RELOCATED TO NEW SIDEWALK (SEE CORRESPONDING SIDEWALK DESIGN SHEET).
  - (D07) REMOVE AND DISPOSE OF FENCE.
  - (D08) OBLITERATE PAVEMENT MARKINGS
  - (D09) DEMOLISH HOUSE / STRUCTURE AND ASSOCIATED RETAINING WALLS, SIDEWALKS, BOARD WALKS, AND STAIR CASES. CONTRACTOR TO ENSURE ALL CONNECTING UTILITIES ARE DISCONNECTED PRIOR TO DEMOLITION.
  - (D10) CONTRACTOR TO LOCATE AND DISCONNECT WATER SERVICE AT WATER MAIN AND TURN OFF CURB STOP. CONTRACTOR SHALL NOTIFY KETCHUM WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. ROAD REPAIR SHALL CONFORM TO DETAIL 2 / C0.2. THE REMAINDER OF WATER SERVICE SHALL BE ABANDONED IN PLACE WITHIN RIGHT-OF-WAY.
  - (D11) REMOVE FIRE HYDRANT. RETURN FIRE HYDRANT TO CITY WATER DEPARTMENT.
  - (D12) CONTRACTOR TO LOCATE AND DISCONNECT SEWER SERVICE AT SEWER MAIN AND INSTALL PLUG PER KETCHUM WASTEWATER DIVISION STANDARDS. CONTRACTOR SHALL NOTIFY KETCHUM WASTEWATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. ROAD REPAIR SHALL CONFORM TO DETAIL 2 / C0.2. THE REMAINDER OF SEWER SERVICE SHALL BE ABANDONED IN PLACE WITHIN RIGHT-OF-WAY.
  - (D13) CONTRACTOR TO LOCATE AND DISCONNECT SEWER SERVICE AT SEWER MAIN AND INSTALL PLUG PER KETCHUM WASTEWATER DIVISION STANDARDS. CONTRACTOR SHALL NOTIFY KETCHUM WASTEWATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. THE REMAINDER OF SEWER SERVICE SHALL BE ABANDONED IN PLACE WHERE APPLICABLE.
- ◆ A RETAIN AND PROTECT:
  - a. STORM DRAINAGE STRUCTURES
  - b. N/A
  - c. TELEPHONE RISER
  - d. TREES
- ◆ B AREA WITHIN RIPARIAN EASEMENT NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES. SEE LANDSCAPE PLAN FOR RIPARIAN AREA 'CLEAN-UP' PLAN



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DATE ORIGINAL SIGNED: 08/06/2021



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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**DEMOLITION PLAN**

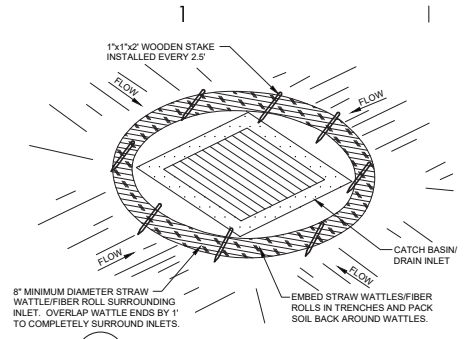
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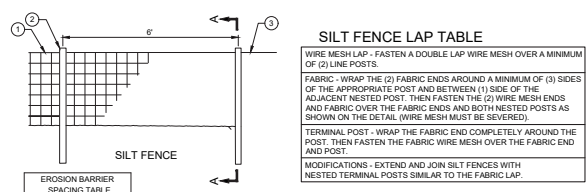
ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C1.0**

**DEMOLITION PLAN - CIVIL DRAWINGS**



**1**  
C2.0  
**AREA DRAIN INLET PROTECTION DETAIL (BMP #31)**  
N.T.S.

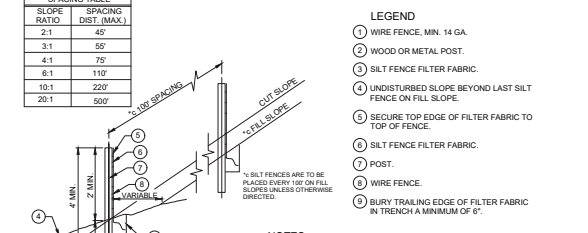


**SILT FENCE LAP TABLE**

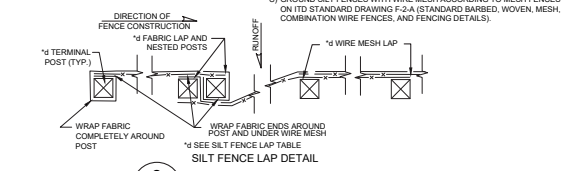
SLOPE RATIO	SPACING DIST. (MAX.)
2:1	45'
3:1	50'
4:1	75'
6:1	110'
10:1	220'
20:1	500'

**LEGEND**

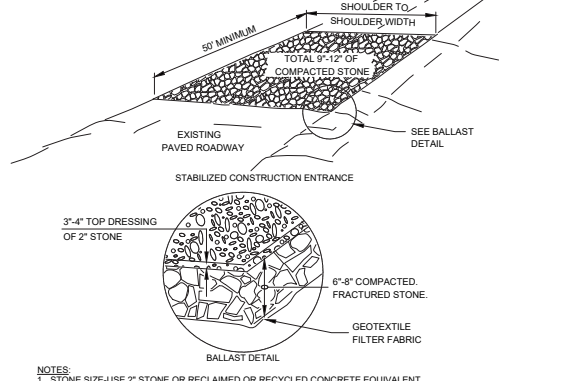
- 1 WIRE FENCE, MIN. 14 GA.
- 2 WOOD OR METAL POST.
- 3 SILT FENCE FILTER FABRIC.
- 4 UNDISTURBED SLOPE BEYOND LAST SILT FENCE ON FILL SLOPE.
- 5 SECURE TOP EDGE OF FILTER FABRIC TO TOP OF FENCE.
- 6 SILT FENCE FILTER FABRIC.
- 7 POST.
- 8 WIRE FENCE.
- 9 BURY TRAILING EDGE OF FILTER FABRIC IN TRENCH A MINIMUM OF 2".



**2**  
C2.0  
**SILT FENCE DETAIL (BMP #36)**  
N.T.S.



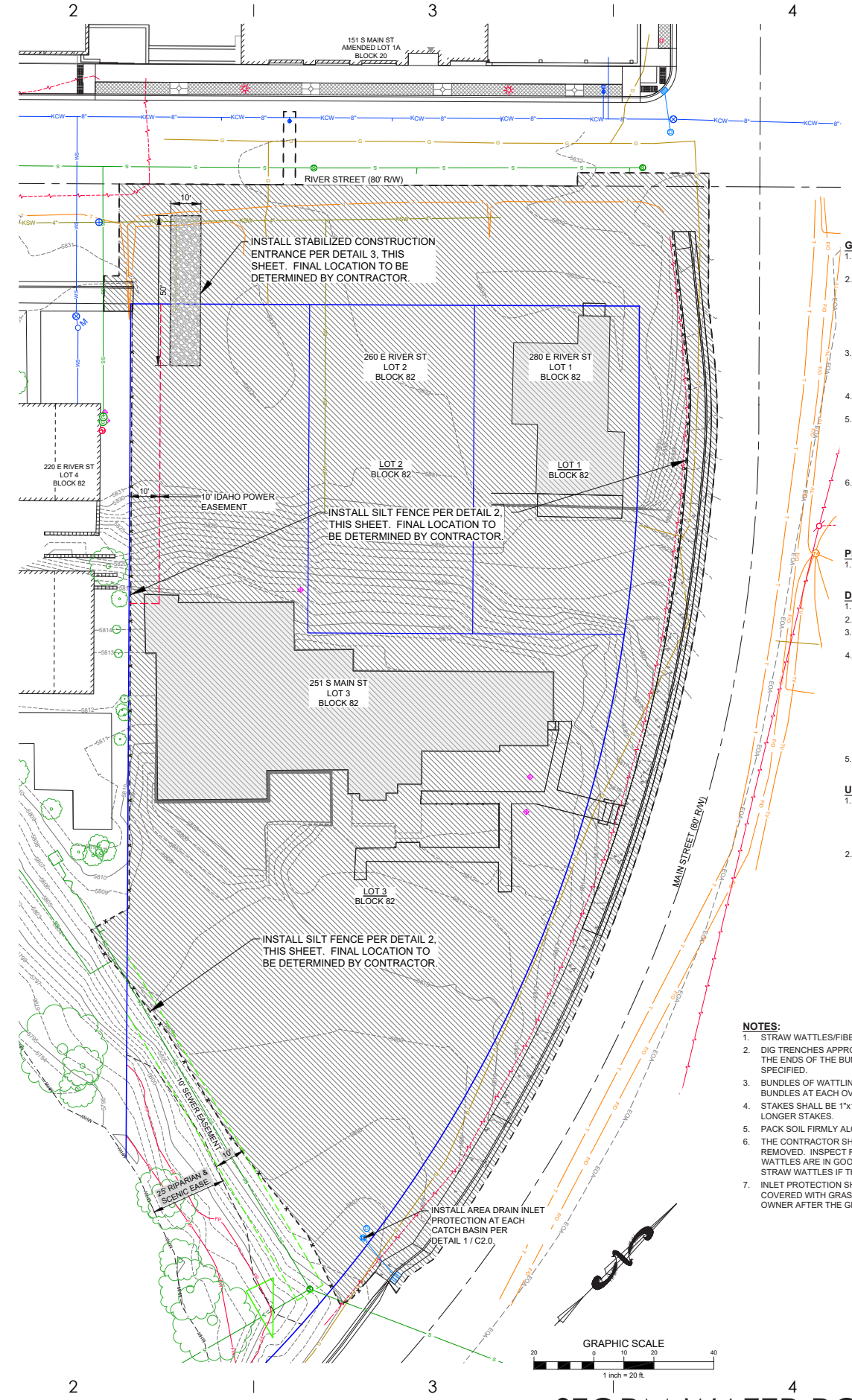
**3**  
C2.0  
**STABILIZED CONSTRUCTION ENTRANCE (BMP #5)**  
N.T.S.



**NOTES:**

- STONE SIZE-USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH-AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS-NOT LESS THAN 6 INCHES.
- WIDTH-10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**3**  
C2.0  
**STABILIZED CONSTRUCTION ENTRANCE (BMP #5)**  
N.T.S.



**GENERAL NOTES**

- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE EROSION CONTROL PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES PRIOR TO AND CONCURRENT WITH ANY FILL OR GRADING ACTIVITIES IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES AND THIS EROSION CONTROL AND BMP PLAN AND ASSOCIATED SWPPP DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND THE SWPPP DOCUMENTS ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL PROJECT PERMITS AND SWPPP DOCUMENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED ON THIS PLAN OR AS DETERMINED BY THE ARCHITECT/ENGINEER AND MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITIONS THROUGHOUT THE LIFE OF THE PROJECT.
- CONSTRUCTION ACTIVITY SHALL CEASE DURING PERIODS OF INTENSE RAINFALL AND SHALL NOT RECONVENE UNTIL THE EROSION OF SEDIMENT FROM THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE TO PREVENT DUST, SILT AND DIRT FROM BEING RELEASED OR TRACKED OFF-SITE. CONSTRUCTION VEHICLES SHALL ENTER AND EXIT SITE ONLY THROUGH A PROPERLY INSTALLED CONSTRUCTION ENTRANCE/EXIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN-UP OF THE PUBLIC RIGHTS OF WAY OR ADJACENT PRIVATE PROPERTY FROM ANY TRACKING OR DEPOSITING OF MUD, DIRT, SAND, GRAVEL, ROCK OR DEBRIS.
- BMP'S SHALL BE INSPECTED AT LEAST EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.25 INCHES OR GREATER TO IDENTIFY BMP EFFECTIVENESS AND IMPLEMENT REPAIRS OR DESIGN CHANGES AS SOON AS FEASIBLE, DEPENDING ON FIELD CONDITIONS. EQUIPMENT, MATERIALS AND WORKERS MUST BE AVAILABLE FOR RAPID RESPONSE TO FAILURES AND EMERGENCIES. ALL CORRECTIVE MAINTENANCE TO BMP'S SHALL BE PERFORMED AS SOON AS POSSIBLE AFTER THE CONCLUSION OF EACH STORM, DEPENDING ON WORKER SAFETY.

**PRIOR TO CONSTRUCTION ACTIVITIES**

- IMPLEMENT PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AS SPECIFIED ON THIS PLAN (SILT FENCE, INLET PROTECTION, CONSTRUCTION ENTRANCE, ETC.)

**DURING CONSTRUCTION ACTIVITIES AND WINTER SHUTDOWN AS NECESSARY**

- SPRAY WATER ON DISTURBED AREAS TO CONTROL DUST DURING DRY SEASON.
- PROTECT NEWLY CONSTRUCTED STORM DRAINAGE FACILITIES PER DETAIL ON THIS SHEET.
- AREAS WHERE GRADING IS COMPLETED TO FINISHED GRADES SHALL BE SEEDED AND MULCHED ACCORDING TO OWNER'S LANDSCAPING PLAN. COORDINATE THIS WORK WITH LANDSCAPE ARCHITECT.
- DISTURBED AREAS LEFT DISTURBED OVER WINTER SHUTDOWN OR OTHER EXTENDED PERIODS OF TIME, SHALL BE PROTECTED FROM EROSION ACCORDING TO THE FOLLOWING:  
DISTURBED AREAS WITH SLOPES OF 4:1 OR STEEPER SHALL BE SEEDED WITH "GRASSLAND WEST LOGRO" MIX AT 125 LBS/ACRE, OR APPROVED EQUIVALENT, FERTILIZE WITH 16/20/0/14 (SULFUR) AT 400 LBS/ACRE. MULCH WITH EITHER "S1 GEOSOLUTIONS LANDLOK S2" AT 2000 LBS/ACRE WITH 1% TACKIFIER OR WITH DRY STRAW SPREAD TO COMPLETELY COVER MOISTENED SOIL AND TRACKED INTO SOIL. "CAT TRACK" SLOPES PERPENDICULAR TO RUNOFF FLOW DIRECTION. CONTRACTOR SHALL FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR ALL SEED, MULCH, AND FERTILIZER MIXES. IF ADDITIONAL STEEP SLOPE PROTECTION IS NEEDED INSTALL MATTING (BMP 18) AND FIBER ROLLS (BMP 35) PER THE CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES, VOLUME 2.
- AT A MINIMUM, THE CONTRACTOR'S "RESPONSIBLE PERSON" SHALL INSPECT THE SITE BEFORE AND AFTER STORM EVENTS AND AT 24 HOUR INTERVALS DURING EXTENDED STORMS.

**UPON COMPLETION OF CONSTRUCTION ACTIVITIES**

- PERIODIC MAINTENANCE OF EROSION CONTROL MEASURES IS REQUIRED UNTIL STORM DRAINAGE FACILITIES ARE OPERATIONAL AND STABILIZING VEGETATION IS ESTABLISHED. SUCH MAINTENANCE INCLUDES CLEANING CATCH BASINS AND DRYWELLS, MAINTAINING CHECK DAMS AND OTHER BARRIERS, REMOVAL OF ACCUMULATED SILT IN SENSITIVE AREAS, AND STREET CLEANING. A TYPICAL SCHEDULE FOR SUCH MAINTENANCE WOULD BE ONCE A WEEK AND AFTER EACH SIGNIFICANT STORM EVENT.
- UPON ESTABLISHMENT OF STABILIZING VEGETATION AND PERMANENT DRAINAGE FACILITIES OPERATIONS, REMOVE TEMPORARY EROSION CONTROL MEASURES AND CLEAR STREETS OF ACCUMULATED SILT, MUD AND DEBRIS.

**NOTES:**

- STRAW WATTLES/FIBER ROLLS TO BE PLACED AROUND INLETS INDICATED ON THE PLANS OR AS DIRECTED BY ENGINEER.
- DIG TRENCHES APPROXIMATELY 2-4 INCHES DEEP BY 8-10 INCHES WIDE. THEN PLACE WATTLE BUNDLES IN TRENCH SO THAT THE ENDS OF THE BUNDLES OVERLAP AT LEAST 1'. THE OVERLAP SHOULD BE AS LONG AS NEEDED TO PERMIT STAKING SPECIFIED.
- BUNDLES OF WATTLE SHALL BE STAKED THROUGH THE CENTER ON 2.5' CENTERS. PLACE EXTRA STAKES THROUGH THE BUNDLES AT EACH OVERLAP.
- STAKES SHALL BE 1x1/2" WOODEN STAKES. DRIVE STAKES INTO A FIRM HOLD OF 1.5' DEEP. WHERE SOILS ARE SOFT USE LONGER STAKES.
- PACK SOIL FIRMLY ALONG THE OUTSIDE OF THE INLET PROTECTION BY TAMPING OR WALKING ON SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MAINTENANCE ITEMS UNTIL THE STRAW WATTLES ARE REMOVED. INSPECT REGULARLY AND AFTER EVERY STORM. MAKE ANY REPAIRS NECESSARY TO ENSURE THAT STRAW WATTLES ARE IN GOOD WORKING ORDER. REMOVE AND DISPOSE OF ANY ACCUMULATED SEDIMENT OFF-SITE. REPLACE STRAW WATTLES IF THEY BEGIN TO DETERIORATE.
- INLET PROTECTION SHALL REMAIN IN PLACE AND OPERATIONAL UNTIL THE DRAINAGE AREA IS COMPLETELY STABILIZED AND COVERED WITH GRASS. THE CONTRACTOR SHALL REMOVE THE FIBER ROLLS AT THE REQUEST OF THE ENGINEER OR OWNER AFTER THE GRASS IS ESTABLISHED AND ACCEPTED BY THE ENGINEER OR OWNER.



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DATE ORIGINAL SIGNED: 08/06/2021



ORIGINAL ON FILE AT OFFICE OF  
GALENA ENGINEERING (HAILEY, ID)  
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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**STORM WATER POLLUTION PREVENTION PLAN**

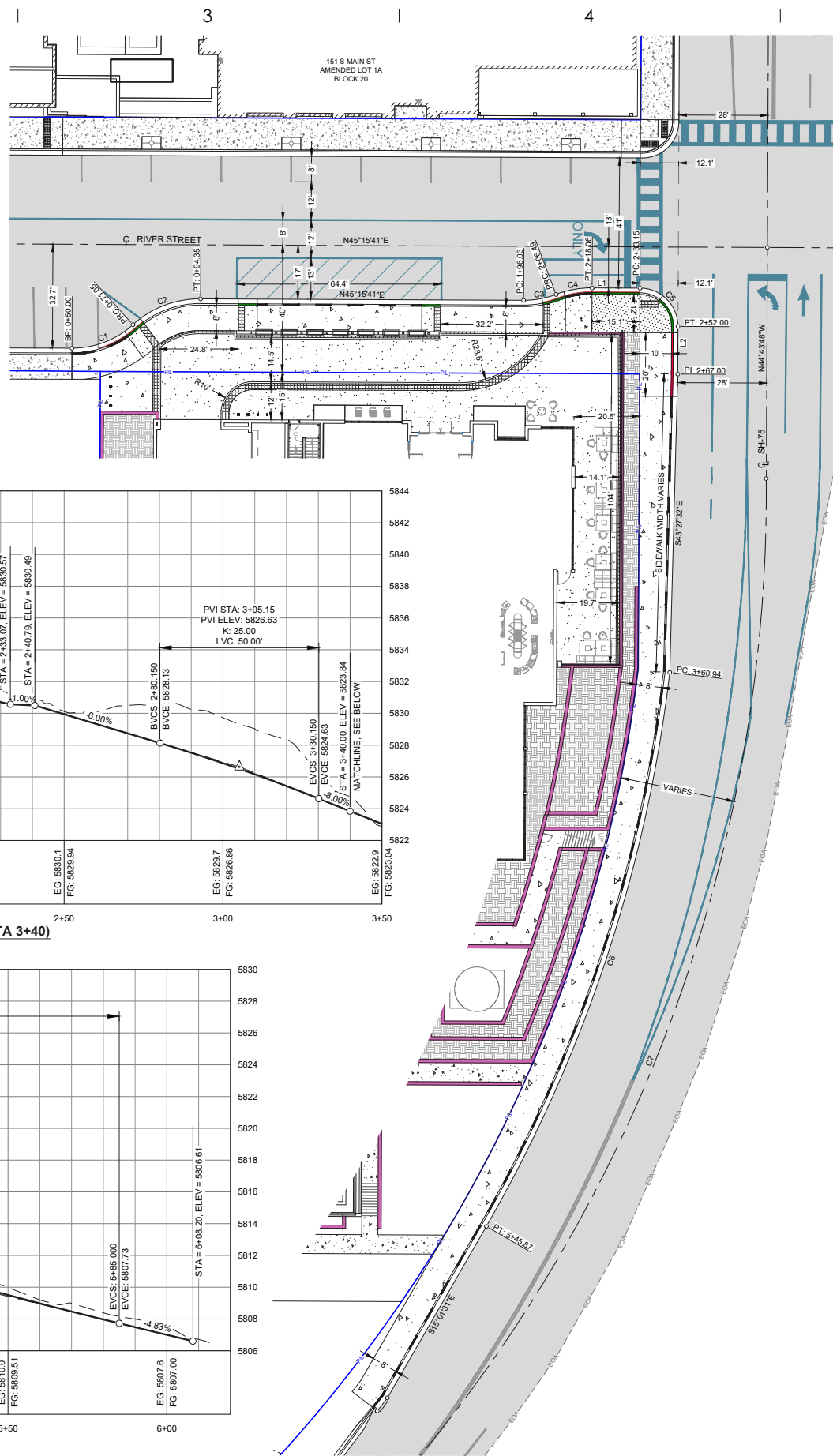
REVISIONS

MARK	DATE	DESCRIPTION

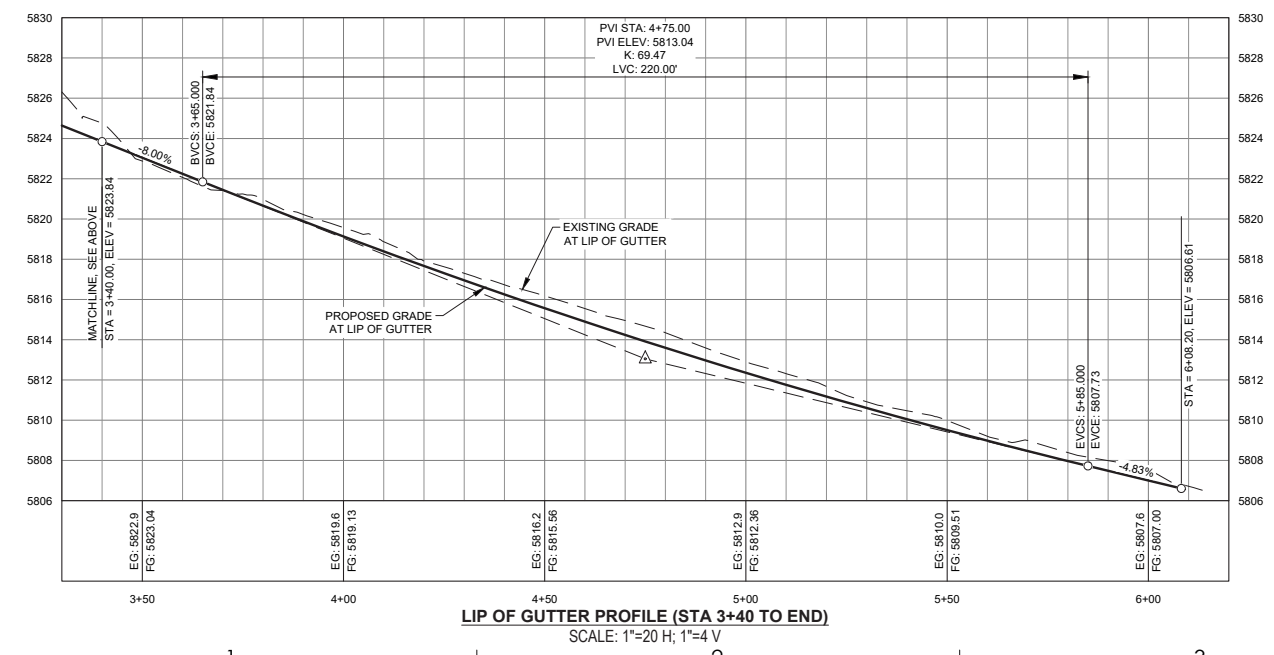
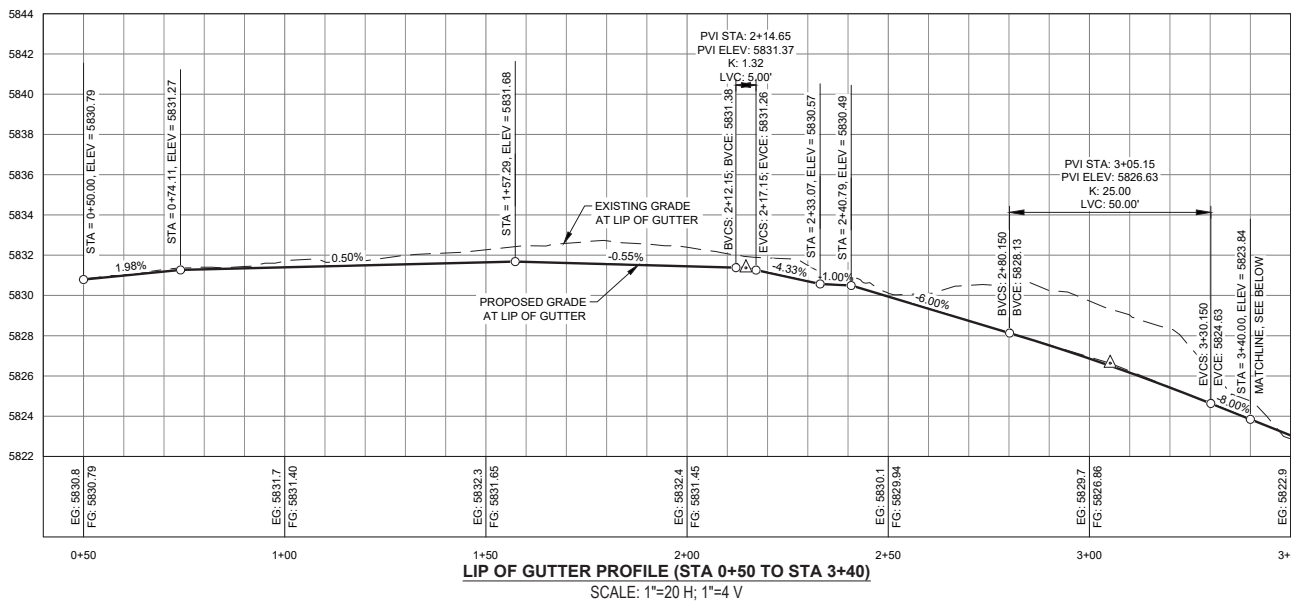
ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C2.0**

**STORM WATER POLLUTION PREVENTION PLAN - CIVIL DRAWING**



- LEGEND**
- Existing Items**
- Property Line
  - Adjoiner's Lot Line
  - Centerline Right of Way
  - Mean High Water
  - Flood Plain
  - Flood Way
  - Sewer Easement as Shown
  - 25' Riparian & Scenic Easement
  - 5' Contour Interval
  - 1' Contour Interval
  - Asphalt
  - Building / Structure
  - Concrete Sidewalk
  - Concrete Curb & Gutter
  - Power Easement
  - Conifer Tree
  - Deciduous Tree
- Proposed Items**
- Concrete Sidewalk
  - ADA Pedestrian Approach
  - Concrete 6" Vertical Curb
  - Curb Transition
  - Zero Reveal Curb & Gutter
  - Curb Face with Variable Height
  - Curb Painted No Parking
  - ADA Access Truncated Dome
  - Sand Blasted Concrete
  - Road Paint
  - Trench Drain
  - Landscaping
  - Retaining Wall

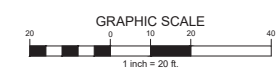


**Line Table**

Line	Length	Direction
L1	15.09'	N45°15'41"E
L2	15.00'	S44°43'48"W

**Curve Table**

Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.50	21.05	42°18'31"	N24°0'103"E	20.57
C2	31.50	23.31	42°23'54"	N24°03'44"E	22.78
C3	28.50	10.47	21°02'22"	N34°44'30"E	10.41
C4	31.50	11.57	21°02'22"	N34°44'30"E	11.50
C5	12.00	18.85	90°00'31"	S89°44'03"E	16.97
C6	454.50	184.93	23°18'46"	S26°40'54"E	183.66
C7	477.50	376.65	45°11'42"	N22°52'43"W	366.96



ajc architects

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ARCHITECT / CONSULTANT  
ORIGINAL SIGNED BY JEFF C. LOOMIS  
DATE ORIGINAL SIGNED: 08/06/2021



ORIGINAL ON FILE AT OFFICE OF  
GALENA ENGINEERING (HAILEY, ID)  
**PERMIT SET**

AUTHORITY HAVING JURISDICTION

**GALENA**  
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Civil Engineers & Land Surveyors  
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email galena@galena-engineering.com

PROJECT DESCRIPTION  
**KETCHUM PROLOGUE  
HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**SITE GEOMETRY PLAN &  
LIP OF GUTTER PROFILE**

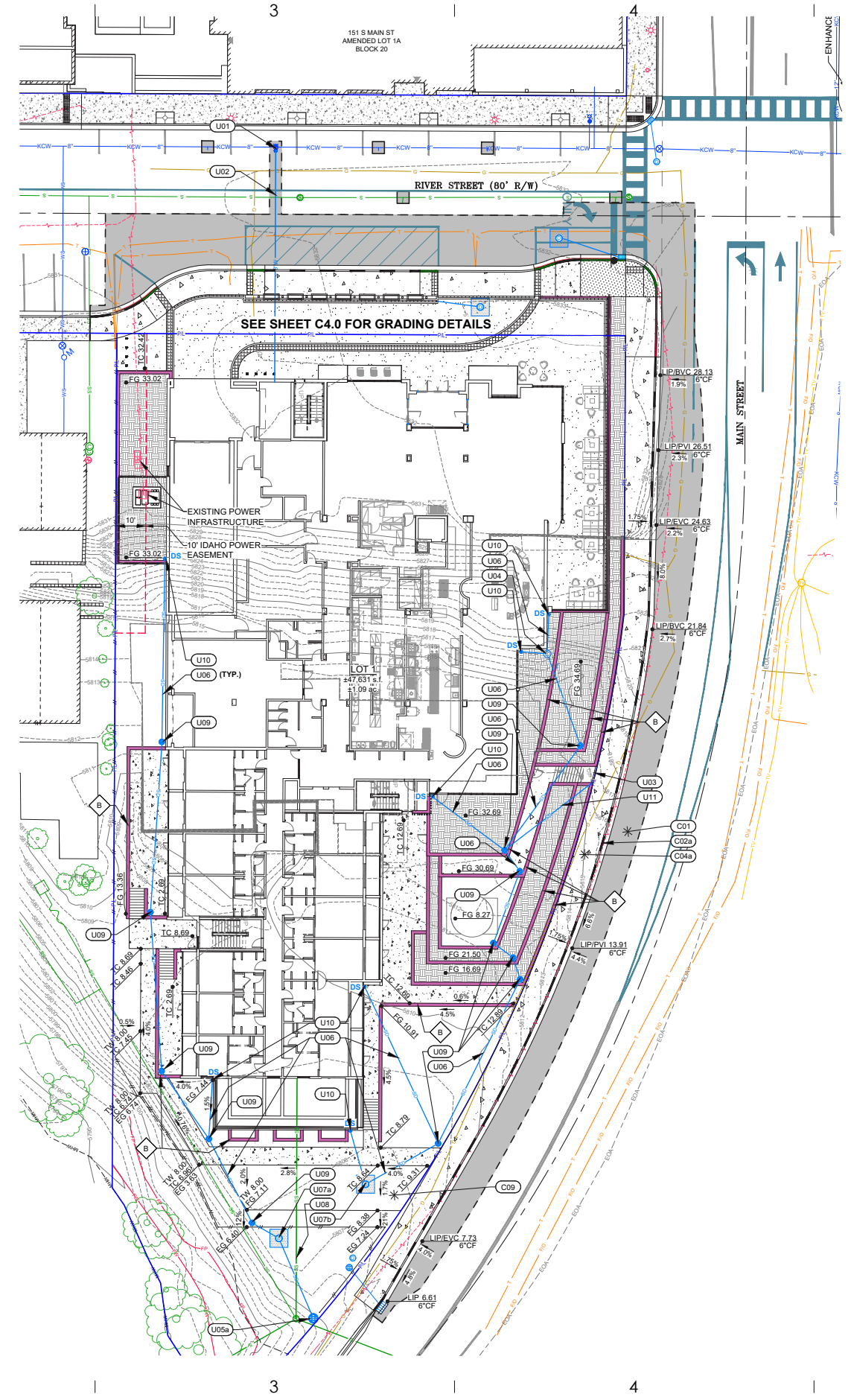
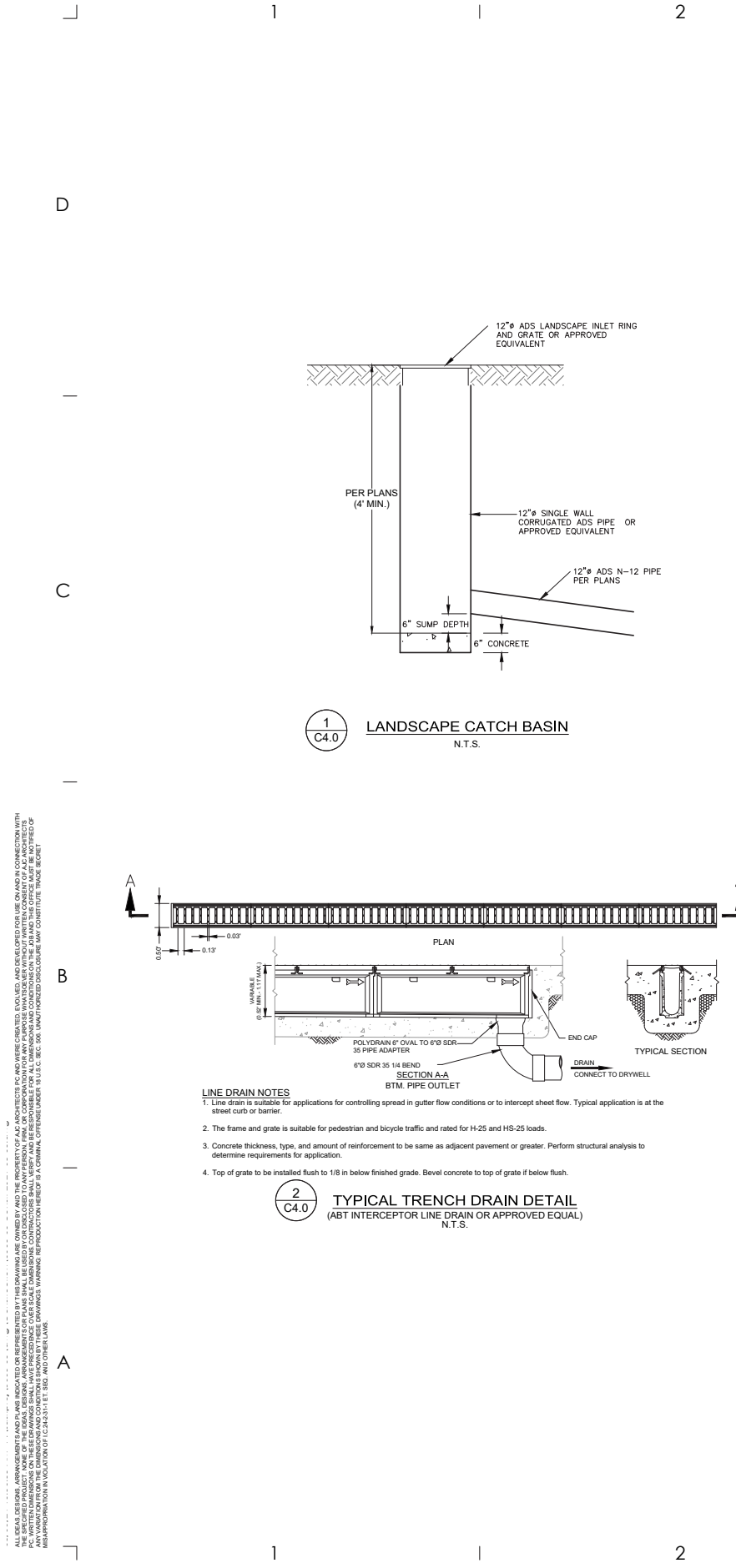
REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL / SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C3.0**

**SITE GEOMETRY PLAN - CIVIL DRAWINGS**



- UTILITY KEY NOTES**
- U01 INSTALL 8" D.I. TEE 8" GATE VALVE W/ THRUST BLOCKS
  - U02 INSTALL 8" WATER MAIN / SERVICE. SEE DETAIL 1 / C0.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 2 / C0.2 FOR TRENCHING.
  - U03 INSTALL 6" TRENCH DRAIN. SEE DETAIL 2 / 3.0.
  - U04 INSTALL 6" ROOF DRAIN CLEANOUT
  - U05 INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2. a. RIM = 5806.3 INV. OUT = 5803.3
  - U06 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.
  - U07 CONSTRUCT DRYWELL. SEE DETAIL 4 / C0.2. a. RIM = TBD INV. IN = TBD b. RIM = TBD INV. IN = TBD
  - U08 INSTALL 8" PVC SEWER LINE / SERVICE. CONNECT TO EXISTING SEWER MANHOLE.
  - U09 INSTALL 12" LANDSCAPE CATCH BASIN WITH GREEN PLASTIC GRATED LID. GRADE LANDSCAPE AREA TO DRAIN INTO CATCH BASIN. SEE DETAIL 1 / C0.0.
  - U10 INSTALL 6" PVC ROOF DRAIN RECEIVER.
  - U11 INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.

- CONSTRUCTION KEY NOTES**
- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 8 / C0.2.
  - C02 CONSTRUCT CONCRETE CURB AND GUTTER a. 6" VERTICAL C&G PER DETAIL 7a / C0.2
  - C04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 9 / C0.2. a. FLAT WORK
  - C09 INSTALL PERMEABLE PAVERS. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - A MATCH EXISTING LINES AND GRADES
  - B SEE ARCHITECTURAL DRAWINGS FOR RETAINING WALL DESIGN.

**ABBREVIATIONS:**  
 LIP = Lip of Gutter  
 FG = Finished Grade  
 TC = Top of Concrete  
 TW = Top of Wall  
 0"CF = 0" Curb Face  
 6"CF = 6" Curb Face



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 ORIGINAL SIGNED BY: JEFF C. LOOMIS  
 DATE ORIGINAL SIGNED: 08/06/2021



ORIGINAL ON FILE AT OFFICE OF  
 GALENA ENGINEERING (HAILEY, ID)  
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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
 Ketchum, ID 83353

SHEET NAME:  
**UTILITY PLAN**

REVISIONS

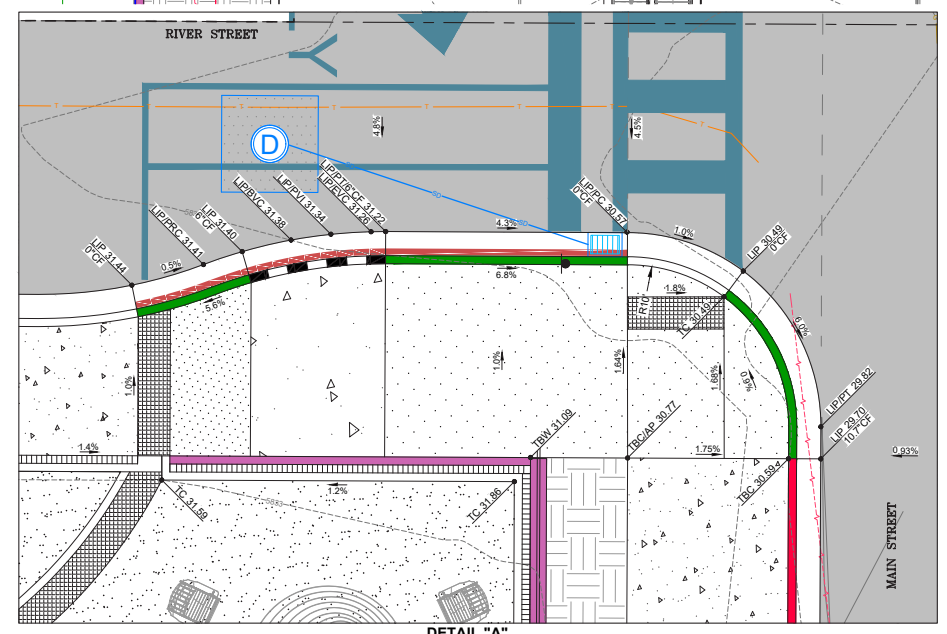
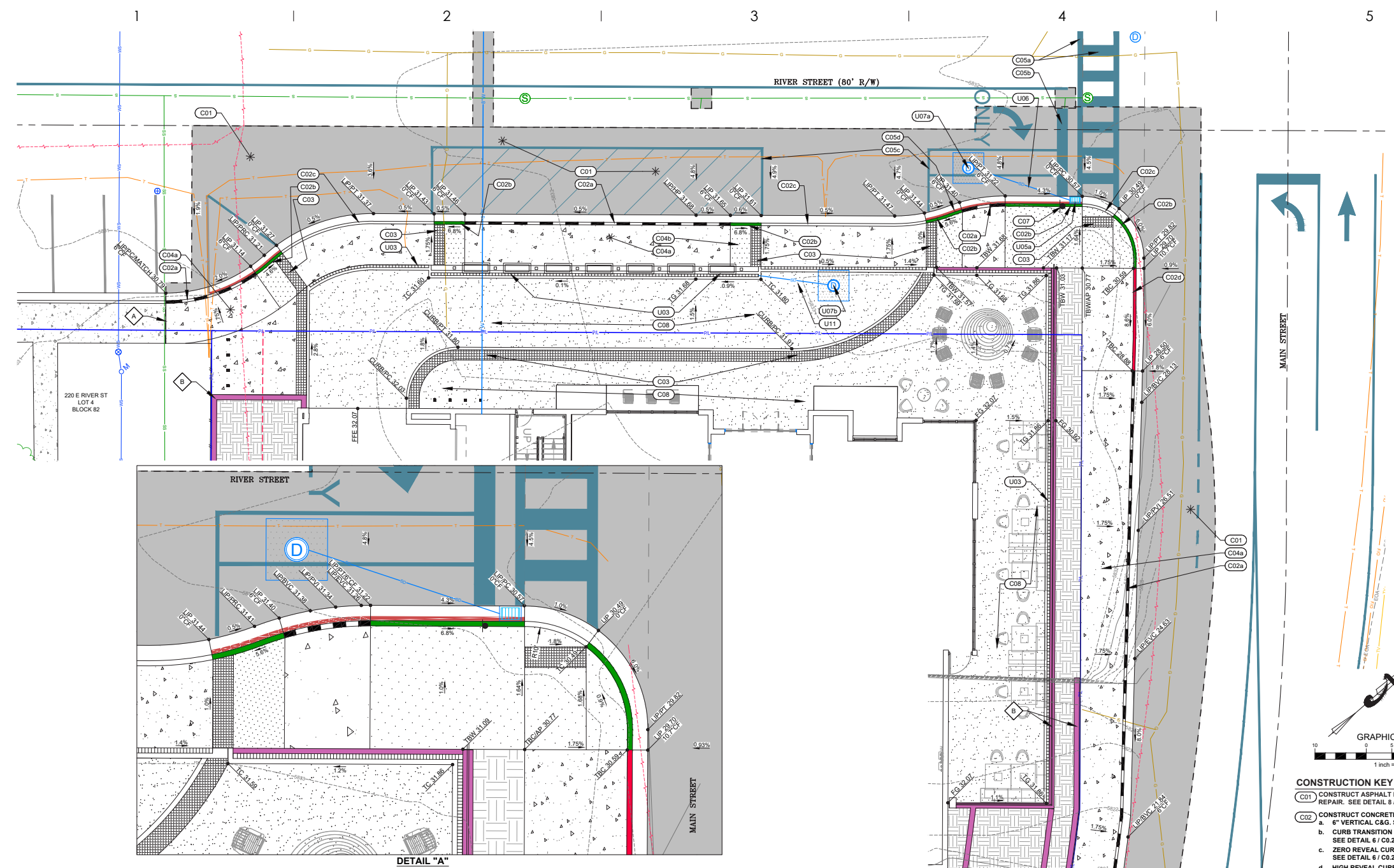
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 ISSUE TYPE: Permit Set  
 DRAWN BY: CT  
 CHECKED BY: JL | SF  
 PROJECT#: 6003.05

SHEET NUMBER:  
**C4.0**

**UTILITY PLAN - CIVIL DRAWINGS**





LEGEND		Proposed Items	
	Property Line		New Asphalt
	Adjoiner's Lot Line		Concrete Sidewalk
	Centerline Right of Way		ADA Pedestrian Approach
	Mean High Water		Concrete 6" Vertical Curb
	Flood Plain		Curb Transition
	Flood Way		Zero Reveal Curb & Gutter
	Sewer Easement as Shown		Curb Face with Variable Height
	25' Riparian & Scenic Easement		Curb Painted No Parking
	5' Contour Interval		Curb Painted No Parking
	1' Contour Interval		Ada Access Truncated Dome
	Asphalt		Sign
	Board Walk		Fire Hydrant
	Building / Structure		Water Valve
	Pavers		Sewer Service / Main
	Concrete Curb & Gutter		Curb Face
	Cable Television		FG = Finished Grade
	Fiber Optic Line		HP = High Point
	Buried Power Line		TBC = Top Back of Curb
	Buried Telephone Line		TBW = Top Back of Walk
	Ketchum City Water Line		TC = Top of Concrete
	Water Service		TP = Top of Pavers
	Sewer Line		Landscaping
	Sewer Service		Retaining Wall
	Power Easement		
	Conifer Tree		
	Deciduous Tree		
	ITD Bolt = Right-of-way Monument		
	FD12 = Found 1/2" Rebar		
	FD5/8 = Found 5/8" Rebar		
	Found Aluminum Cap in Concrete		
	Survey Control		
	Found Nail in Stump		
	Fire Hydrant		
	Water Valve		
	Frost Free Hydrant		
	Irrigation Valve Box		
	Catch Basin		
	Drywell		
	Sewer Manhole		
	Sewer Cleanout		
	Power Pole		
	Power Meter		
	Light		
	Power Box		
	Telephone Riser		
	AC = Aluminum Cap		
	AP = Angle Point		
	BOLL = Bollard		
	BOW = Back of Walk		
	CC = Curb Cut		
	COR = Corner		
	EOA = Edge of Asphalt Line		
	FH = Fire Hydrant		
	FND = Found		
	GM = Gas Main		
	GS = Ground Shot		
	INT = Intersection		
	JERAIL = Jersey Rail		
	PB = Buried Power Line		
	PBOX = Power Box		
	PHB = Buried Telephone Line		
	PHBOX = Telephone Riser		
	PMTR = Power Meter		
	PP = Power Pole		
	SMH = Sewer Manhole		
	TBC = Top Back of Curb		
	TBW = Top Back of Walk		
	TVBOX = Cable Television Riser		
	New Asphalt		
	Concrete Sidewalk		
	ADA Pedestrian Approach		
	Concrete 6" Vertical Curb		
	Curb Transition		
	Zero Reveal Curb & Gutter		
	Curb Face with Variable Height		
	Curb Painted No Parking		
	Ada Access Truncated Dome		
	Sign		
	Fire Hydrant		
	Water Valve		
	Sewer Service / Main		
	Curb Face		
	FG = Finished Grade		
	HP = High Point		
	TBC = Top Back of Curb		
	TBW = Top Back of Walk		
	TC = Top of Concrete		
	TP = Top of Pavers		
	Landscaping		
	Retaining Wall		

**CONSTRUCTION KEY NOTES**

- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 8 / C0.2.
- C02 CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" VERTICAL C&G. SEE DETAIL 7a / C0.2.
  - b. CURB TRANSITION (6"CF TO 6"CF). SEE DETAIL 6 / C0.2.
  - c. ZERO REVEAL CURB AND GUTTER. SEE DETAIL 6 / C0.2.
  - d. HIGH REVEAL CURB FACE CURB AND GUTTER (6"CF TO 10.7"CF). SEE DETAIL 7b / C0.2.
- C03 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 5 / C0.2 FOR INSTALLATION IN AREAS WITHOUT CONCRETE SIDEWALK AND DETAIL 12 / C0.2 FOR GENERAL PLATE DETAILS.
- C04 CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 9 / C0.2.
  - a. FLAT WORK.
  - b. ADA COMPLIANT RAMPS AND LANDING.
- C05 INSTALL ROAD STRIPING / PAINT
  - a. WHITE CROSSWALK STRIPING (12" WIDE BARS WITH 24" WIDE CROSS BARS WITH GLASS BEADS).
  - b. WHITE STOP BAR STRIPING (24" WIDE).
  - c. YELLOW STRIPING (4" WIDE).
  - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- C06 INSTALL HEATED PAVER SIDEWALK / ROADWAY. SEE DETAIL 9 / C0.2.
- C07 INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. SEE DETAIL 11 / C0.2 FOR SIGN BASE DETAIL.
- C08 CONSTRUCT SAND-BLASTED CONCRETE SIDEWALK ENTRY.
  - a. MATCH EXISTING LINES AND GRADES.
  - b. SEE ARCHITECTURAL DRAWINGS FOR RETAINING WALL DESIGN.

**UTILITY KEY NOTES**

- U03 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C0.0.
- U05 INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2.
  - a. RIM = 5830.47
  - b. INV. OUT = 5827.47
- U06 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.
- U07 CONSTRUCT DRYWELL. SEE DETAIL 4 / C0.2.
  - a. RIM = 5831.80
  - b. INV. IN = 5827.47
  - c. RIM = 5831.62
  - d. INV. IN = 5828.6
- U11 INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.





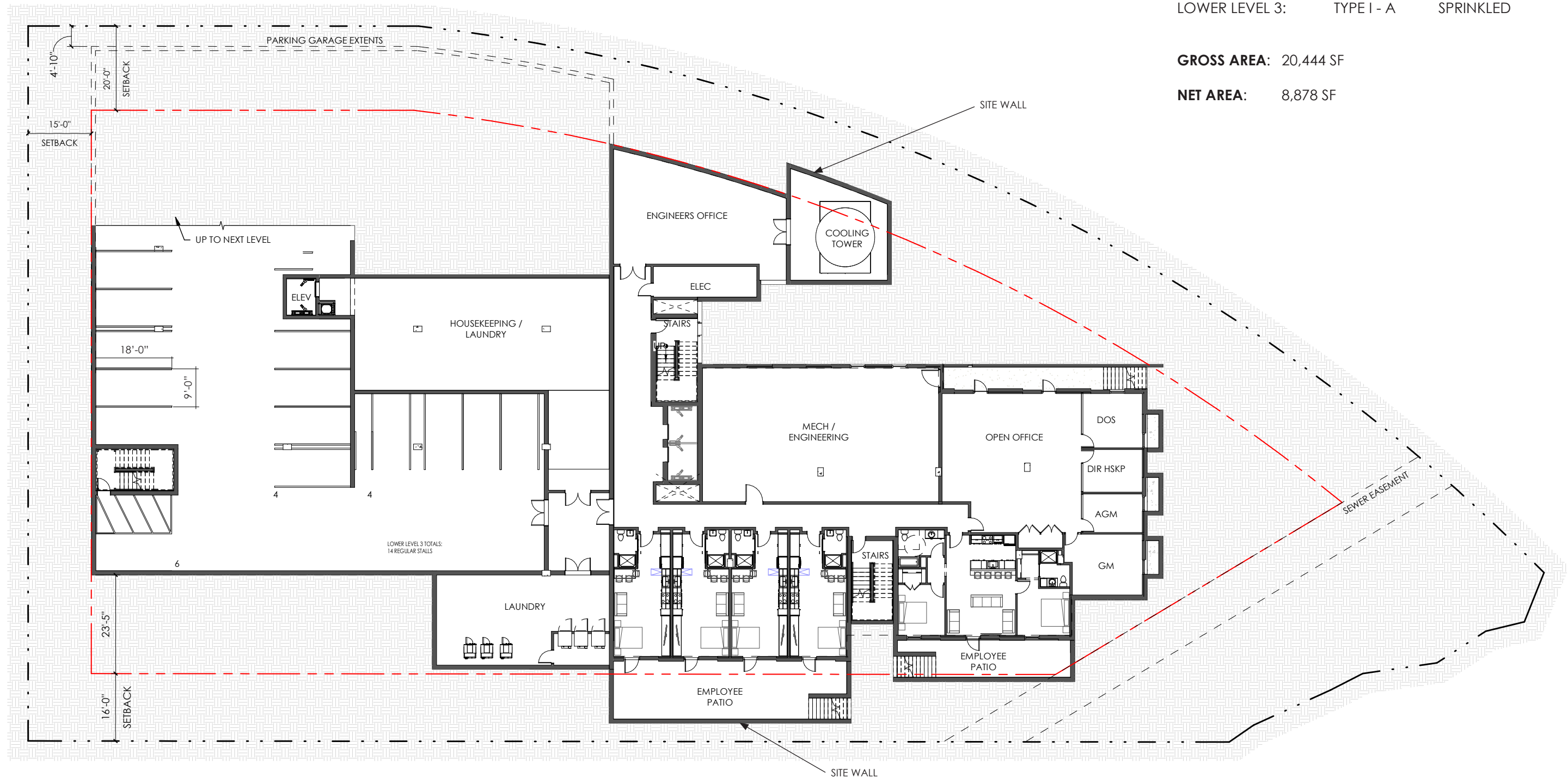
## FLOOR PLANS

**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 3: TYPE I - A      SPRINKLED

**GROSS AREA:** 20,444 SF

**NET AREA:** 8,878 SF



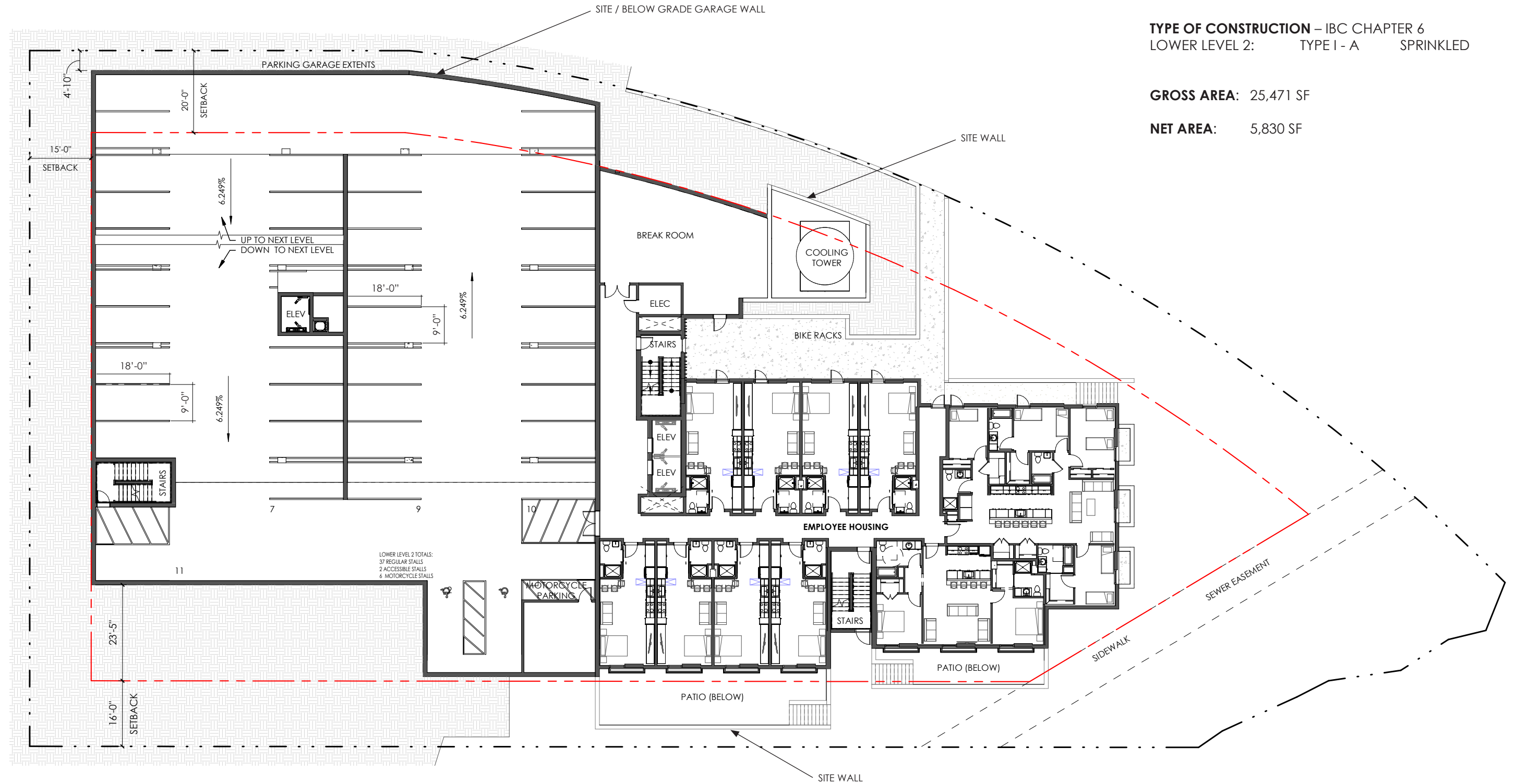
**LEVEL -03 | FLOOR PLAN**

**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 2: TYPE I - A SPRINKLED

**GROSS AREA:** 25,471 SF

**NET AREA:** 5,830 SF



LOWER LEVEL 2 TOTALS:  
 37 REGULAR STALLS  
 2 ACCESSIBLE STALLS  
 6 MOTORCYCLE STALLS

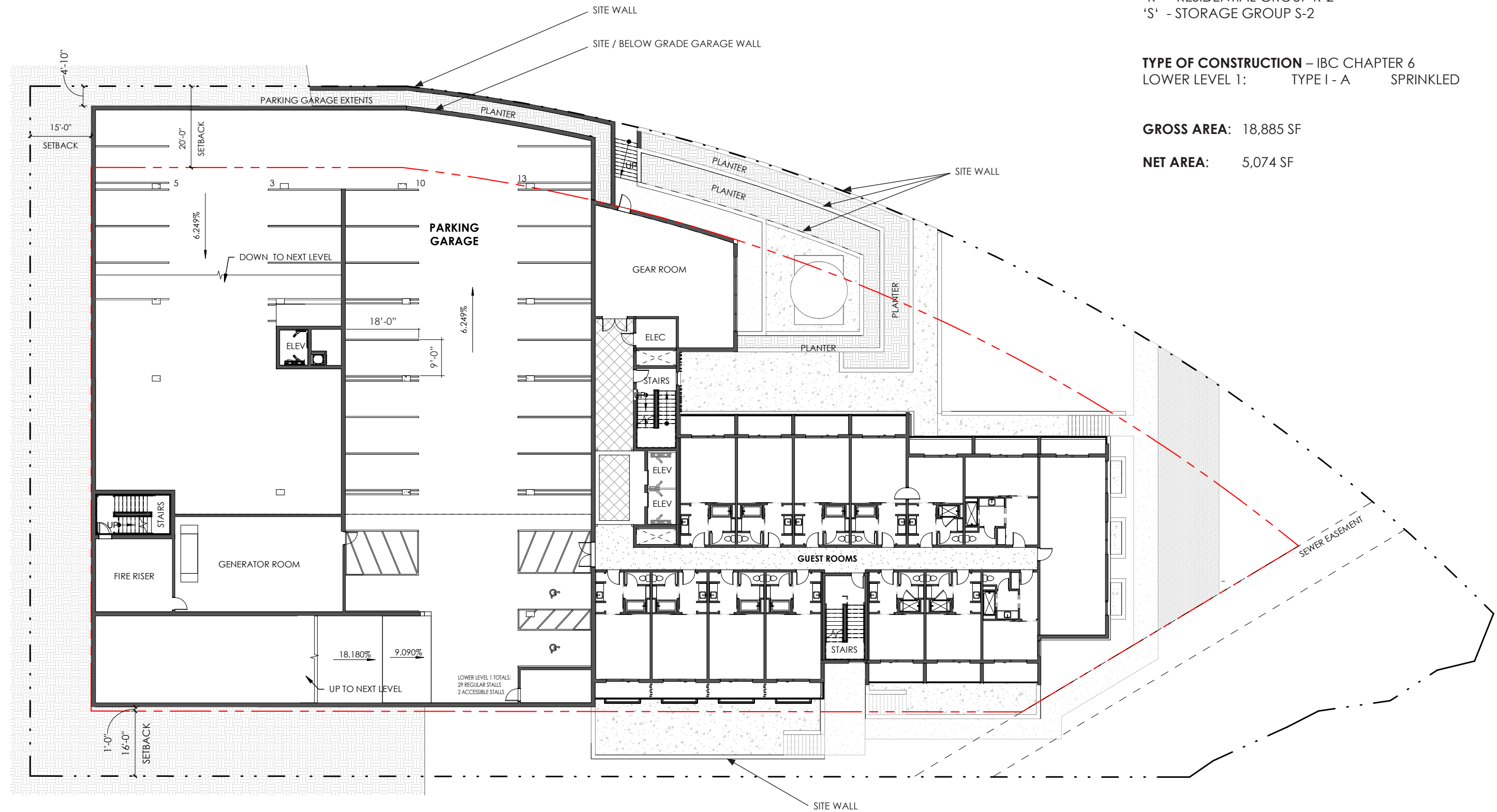
LEVEL -02 | FLOOR PLAN

**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 1: TYPE I - A SPRINKLED

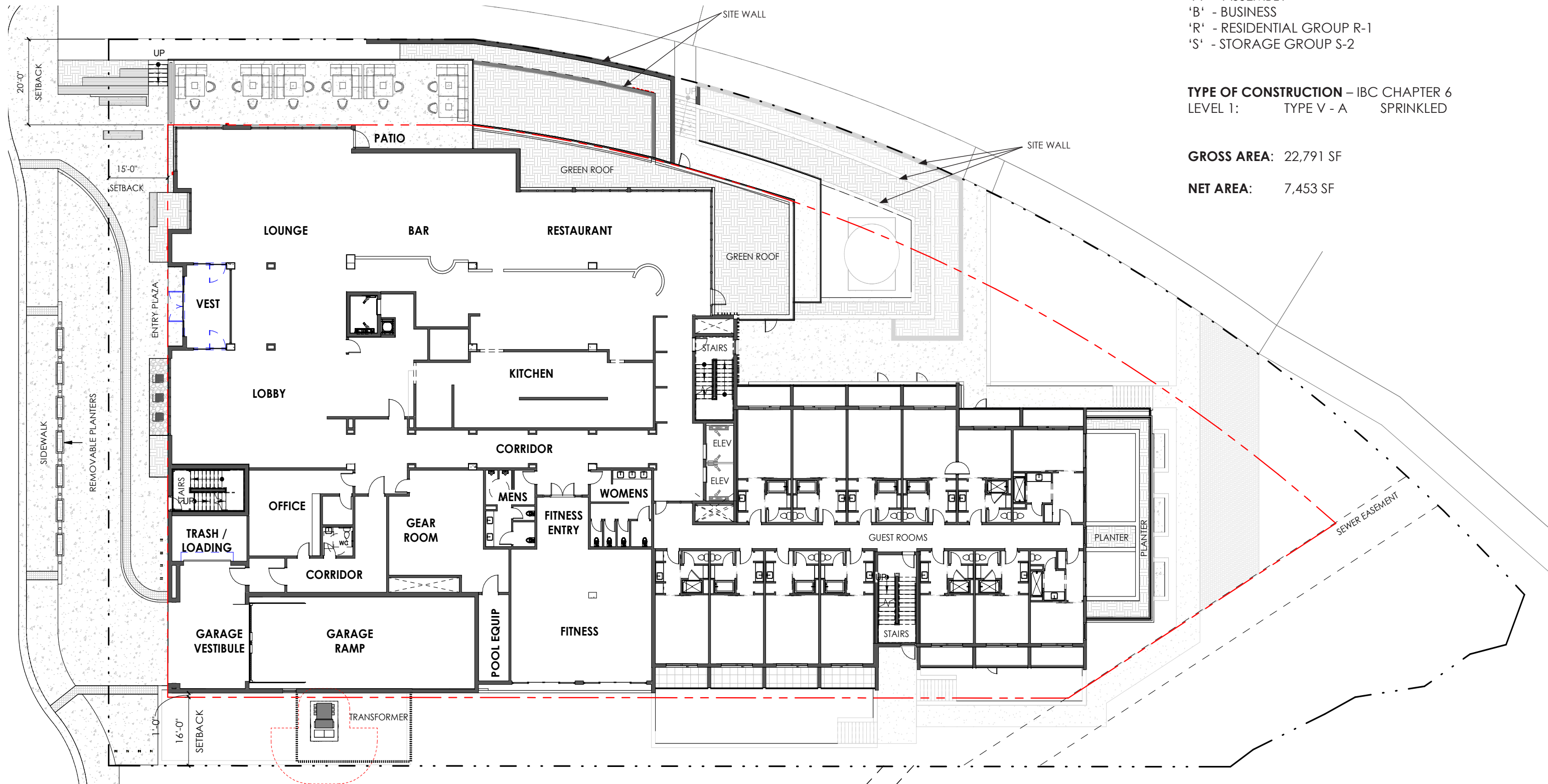
**GROSS AREA:** 18,885 SF

**NET AREA:** 5,074 SF



**LEVEL -01 | FLOOR PLAN**

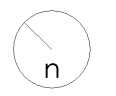
327



**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**  
 'A' - ASSEMBLY  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-1  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**  
 LEVEL 1: TYPE V - A SPRINKLED

**GROSS AREA:** 22,791 SF  
**NET AREA:** 7,453 SF





**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**

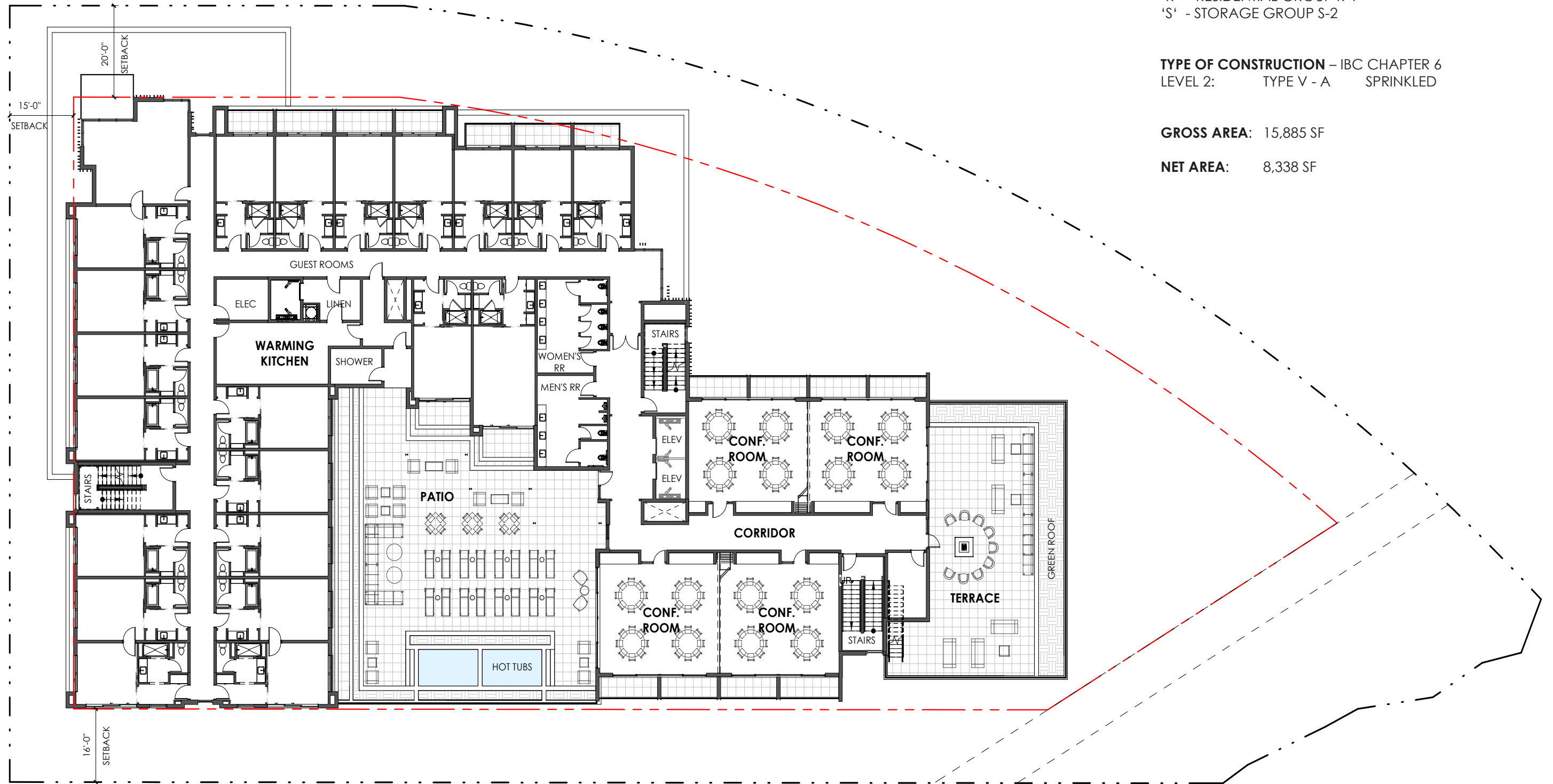
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**

LEVEL 2: TYPE V - A SPRINKLED

**GROSS AREA:** 15,885 SF

**NET AREA:** 8,338 SF



**LEVEL 02 | FLOOR PLAN**

329

**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**

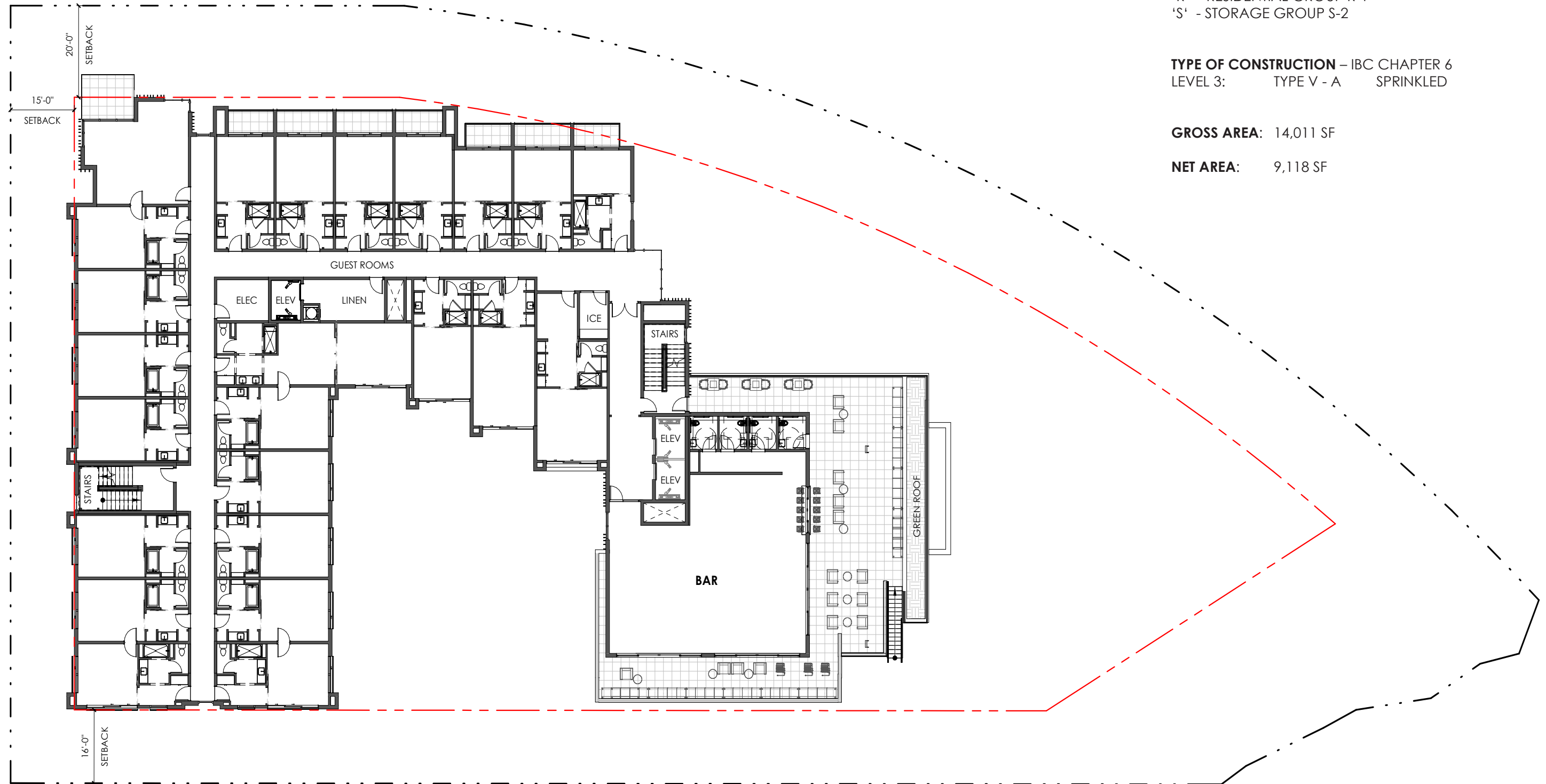
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**

LEVEL 3: TYPE V - A SPRINKLED

**GROSS AREA:** 14,011 SF

**NET AREA:** 9,118 SF



**LEVEL 03 | FLOOR PLAN**

330

**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3

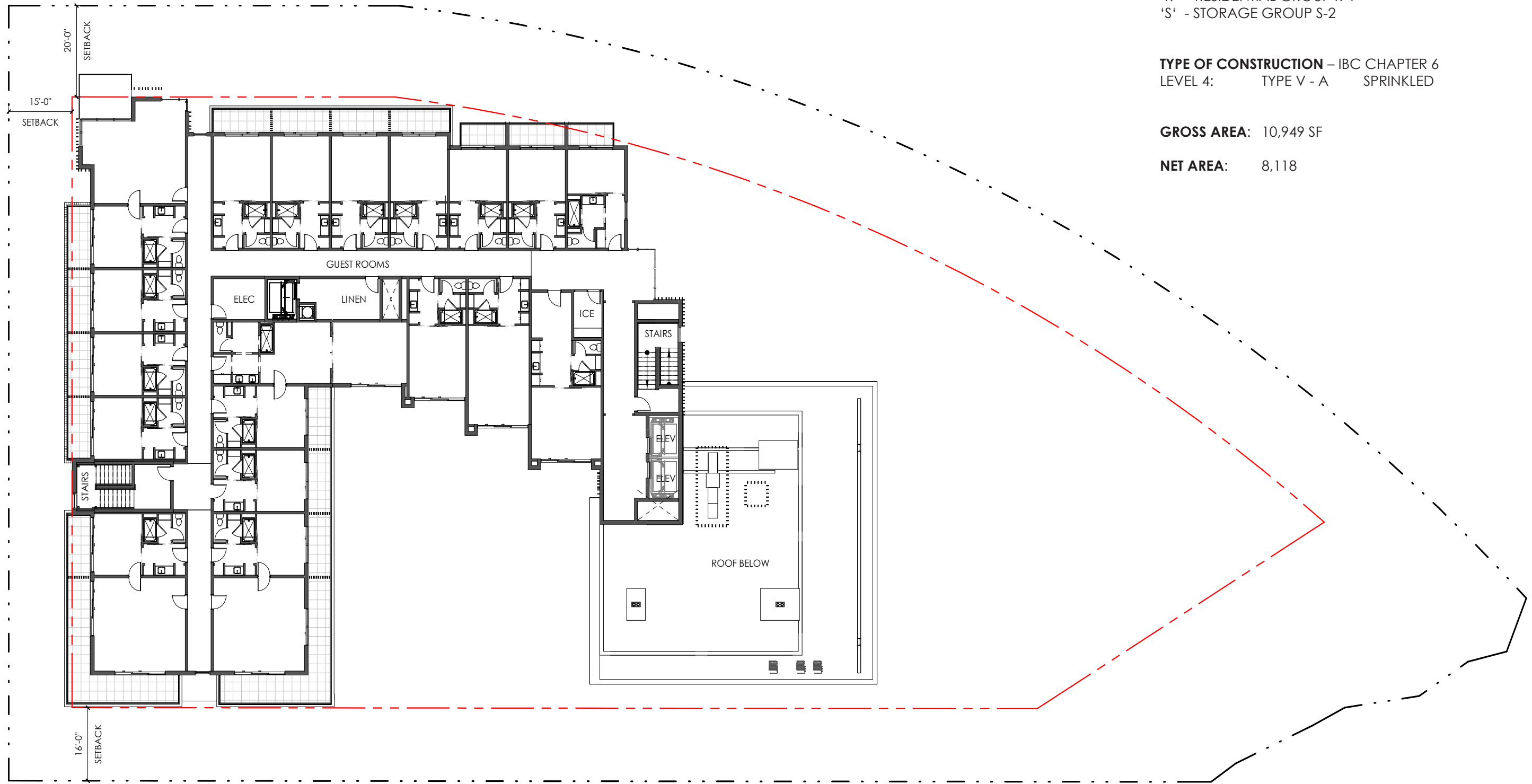
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6

LEVEL 4: TYPE V - A SPRINKLED

**GROSS AREA:** 10,949 SF

**NET AREA:** 8,118



**LEVEL 04 | FLOOR PLAN**

331

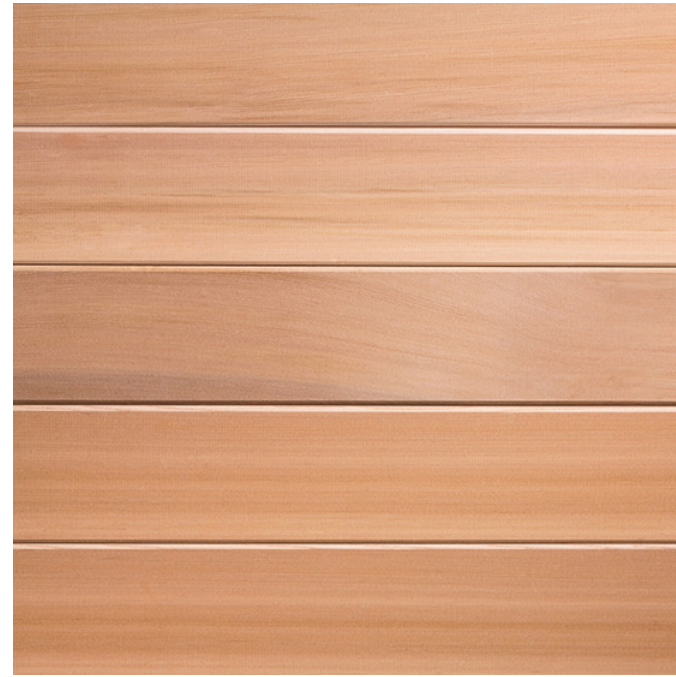
## EXTERIOR ELEVATIONS | MATERIALS



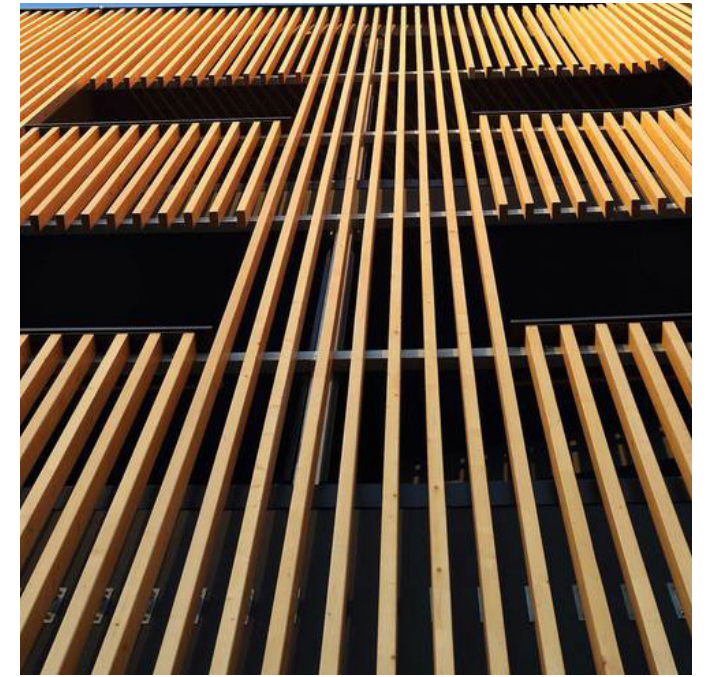
BOARD-FORMED CONCRETE



SHOU-SUGI BAN WOOD



CLEAR CEDAR T&G



CLEAR CEDAR SCREEN



DRY-STACKED STONE



BLACK STEEL TRIM



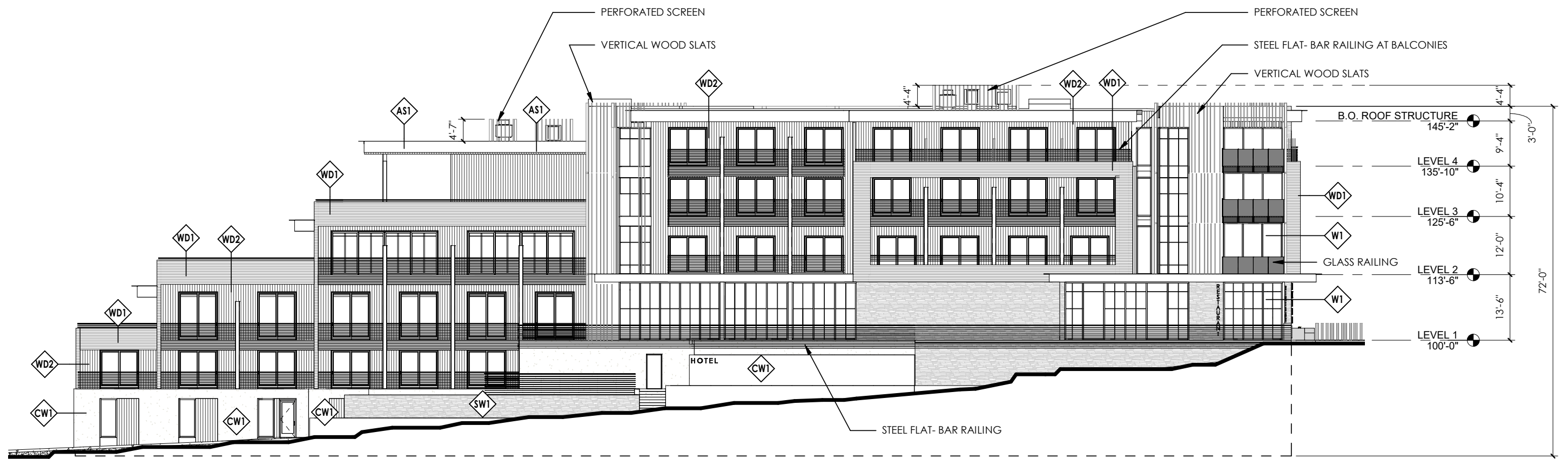
SAND-BLASTED CONCRETE



FLAT-BAR RAILING



EAST ELEVATION | HWY 75 | MAIN STREET



### ELEVATION FINISHES

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

EAST ELEVATION | HWY 75 | MAIN STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



Subalpine Fir  
(14'-18')



Quaking Aspen  
(15'-20')



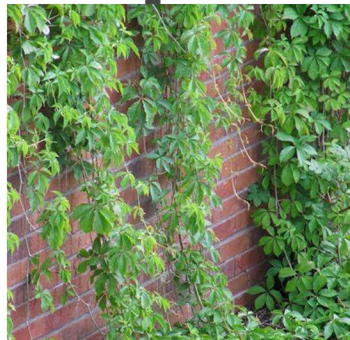
Lodgepole Pine  
(14'-18')



Swedish Aspen  
(15'-20')



Flowering Crab Tree  
(10'-15')



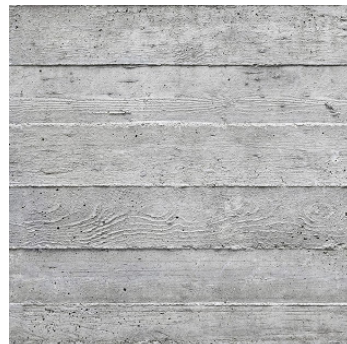
Overhanging Vines



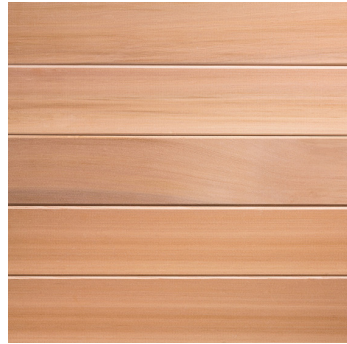
Blue Oat Grass

EAST ELEVATION | HWY 75 | MAIN STREET





BOARD-FORMED CONCRETE



CLEAR CEDAR T&G



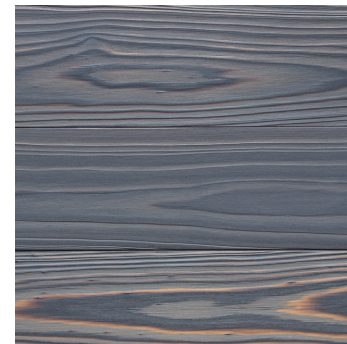
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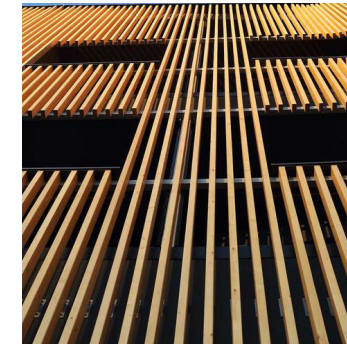
FLAT-BAR RAILING



DRY-STACKED STONE



SHOU-SUGI BAN WOOD



CLEAR CEDAR SCREEN

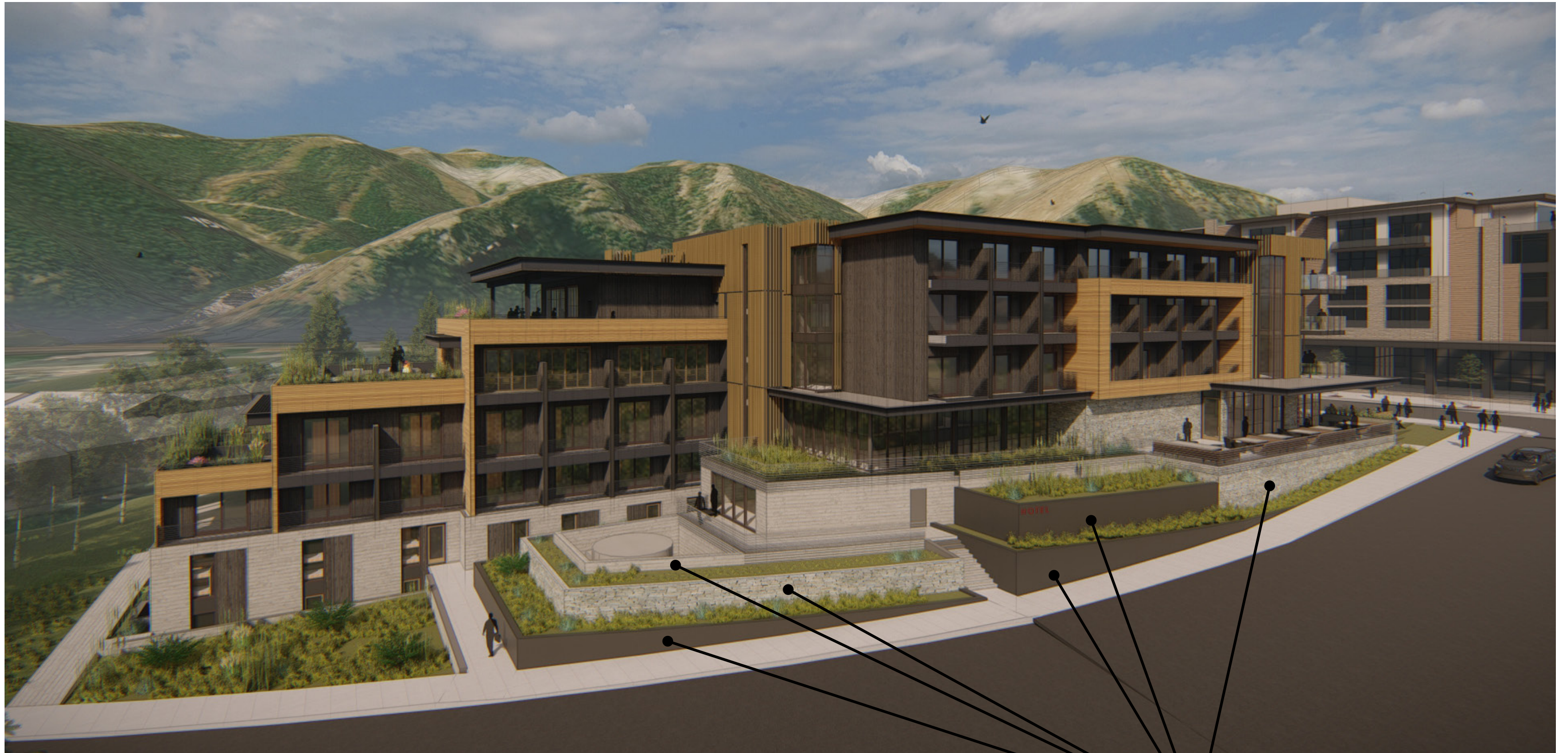


SAND-BLASTED CONCRETE

EAST ELEVATION | HWY 75 | MAIN STREET

337

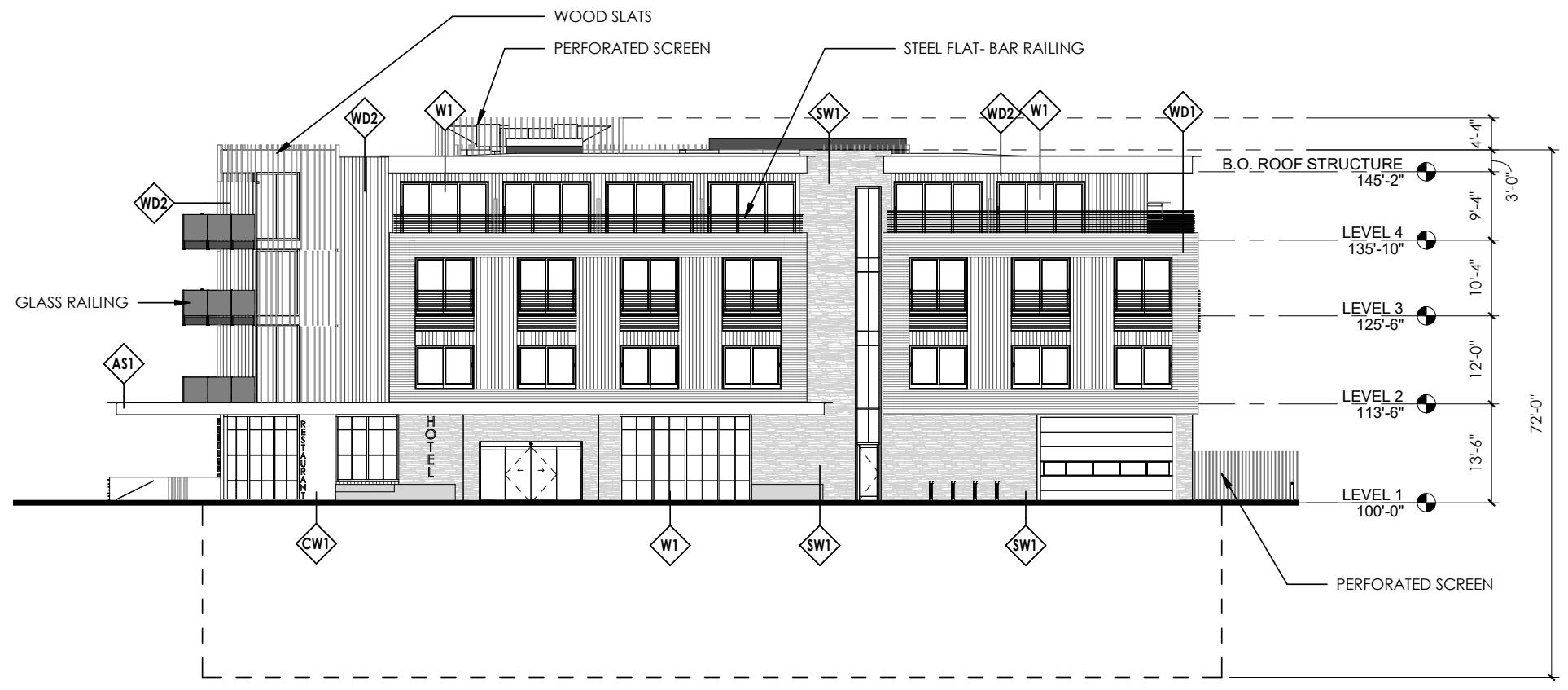
TRIBUTE PORTFOLIO | KETCHUM, IDAHO



SITE WALL WITHIN THE SETBACK

EAST ELEVATION | HWY 75 | MAIN STREET | SITE WALLS & SETBACK EXHIBIT





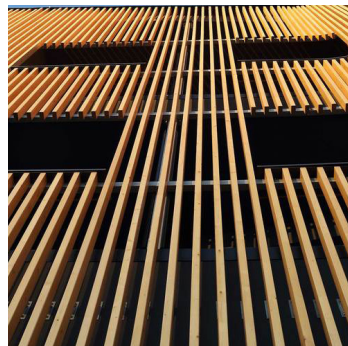
**ELEVATION FINISHES**

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

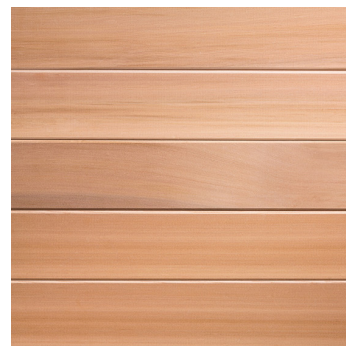
**NORTH ELEVATION | RIVER STREET**



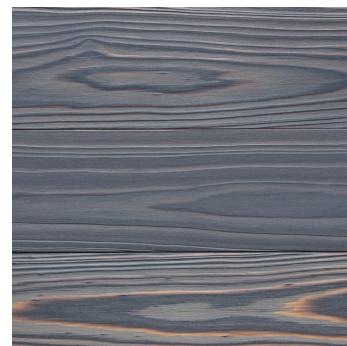
SAND-BLASTED CONCRETE



CLEAR CEDAR SCREEN



CLEAR CEDAR T&G



SHOU-SUGI BAN WOOD



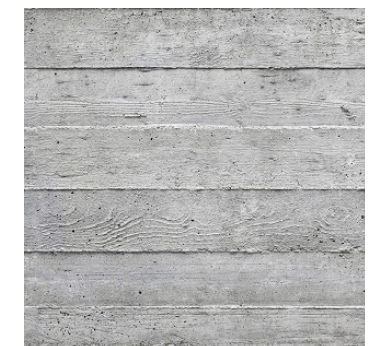
BLACK STEEL TRIM



DRY-STACKED STONE



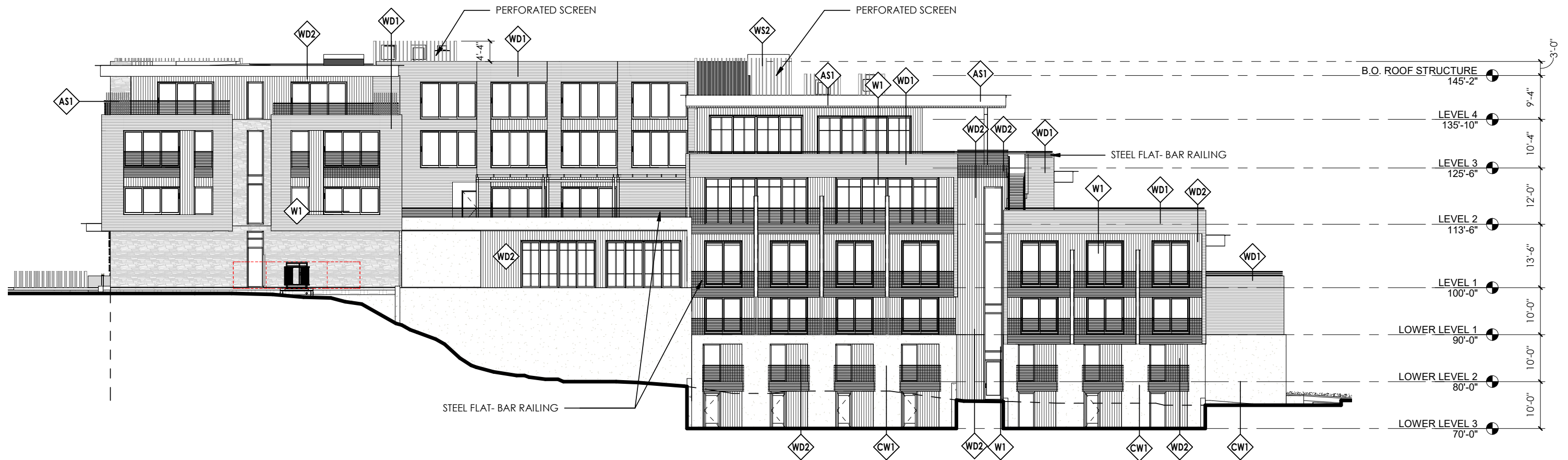
FLAT-BAR RAILING



BOARD-FORMED CONCRETE

NORTH ELEVATION | RIVER STREET





### ELEVATION FINISHES

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

## WEST ELEVATION | TRAIL CREEK



Lodgepole Pine



Quaking Aspen

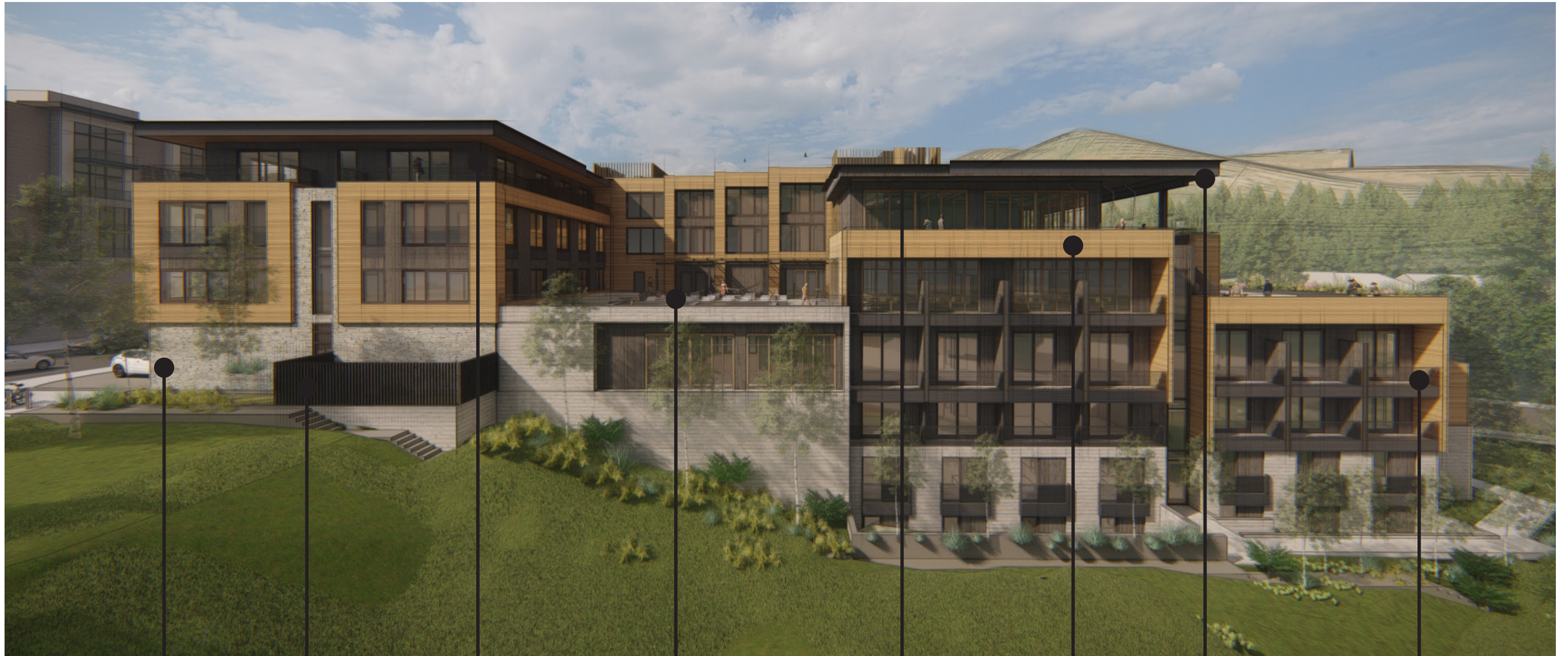


Spirea

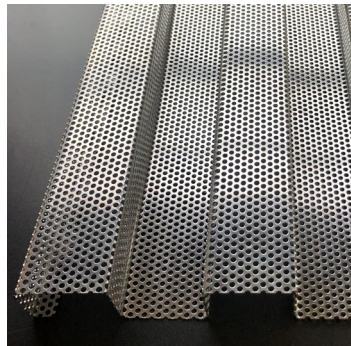


Subalpine Fir





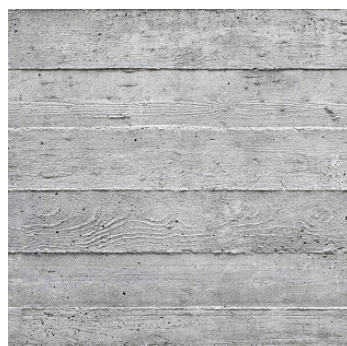
DRY-STACKED STONE



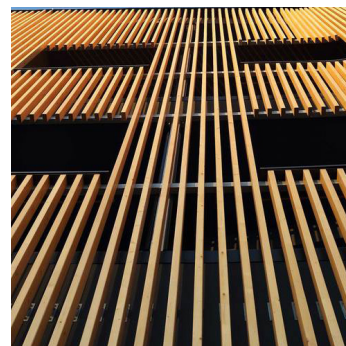
MECHANICAL EQUIPMENT  
PERFORATED SCREEN



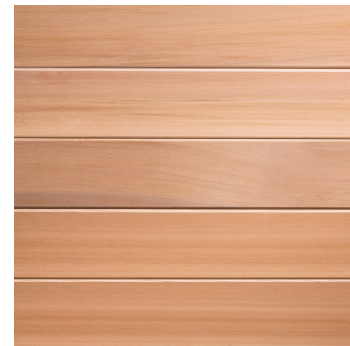
SHOU-SUGI BAN WOOD



BOARD-FORMED CONCRETE



CLEAR CEDAR SCREEN



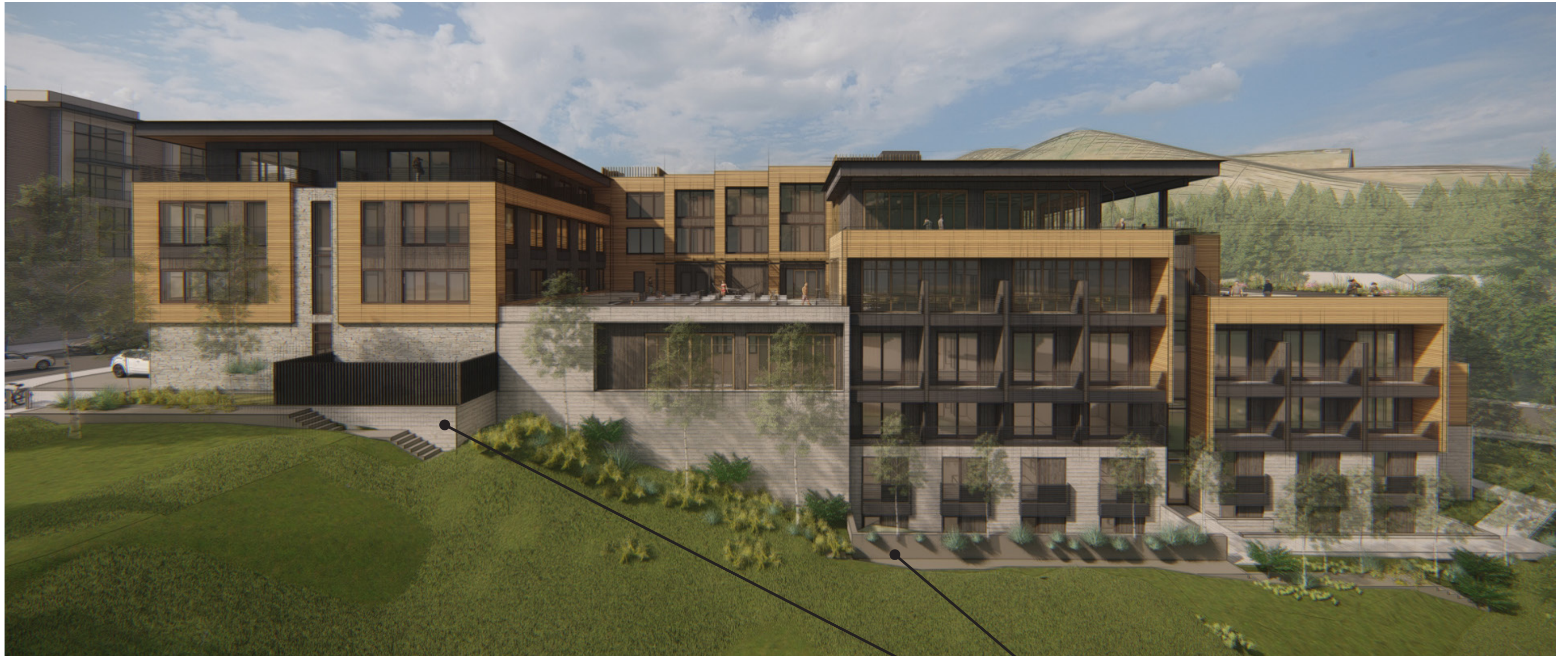
CLEAR CEDAR T&G



BLACK STEEL TRIM



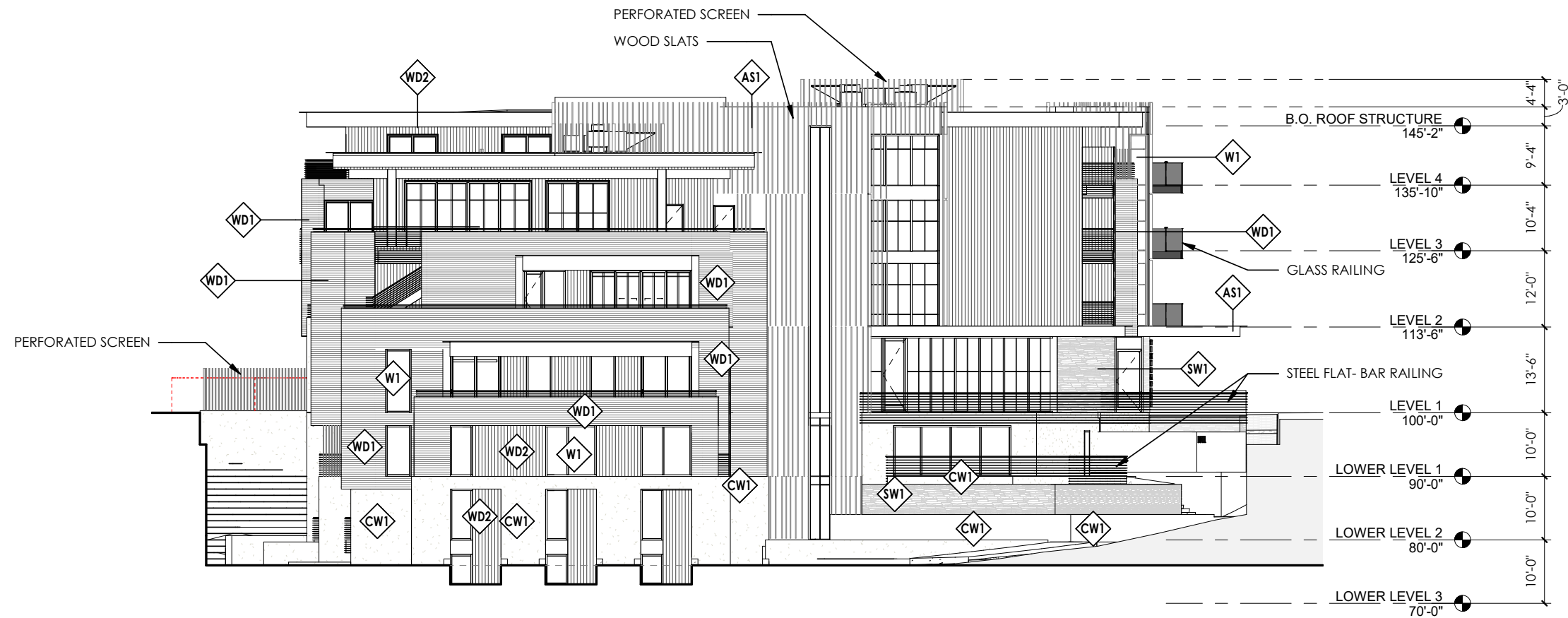
FLAT-BAR RAILING



SITE WALL WITHIN THE SETBACK

WEST ELEVATION | TRAIL CREEK | SITE WALLS & SETBACK EXHIBIT





### ELEVATION FINISHES

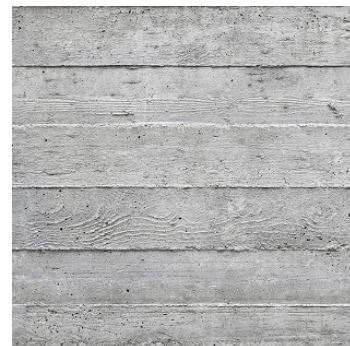
EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

SOUTH ELEVATION | TRAIL CREEK

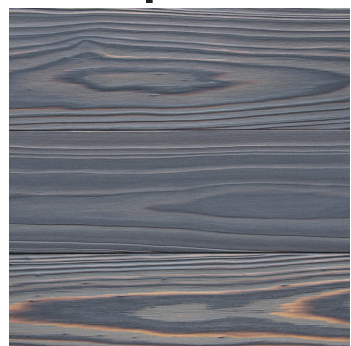
TRIBUTE PORTFOLIO | KETCHUM, IDAHO



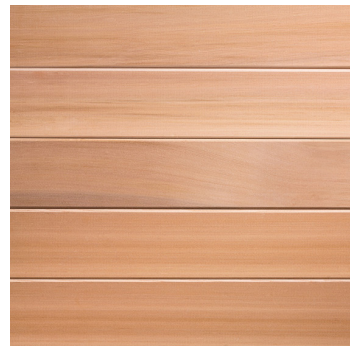
BLACK STEEL TRIM



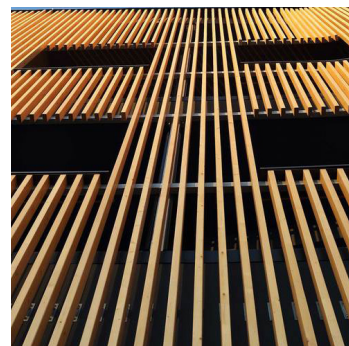
BOARD-FORMED CONCRETE



SHOU-SUGI BAN WOOD



CLEAR CEDAR T&G



CLEAR CEDAR SCREEN



DRY-STACKED STONE



FLAT-BAR RAILING



SAND-BLASTED CONCRETE

SOUTH ELEVATION | TRAIL CREEK

## PERSPECTIVE RENDERS





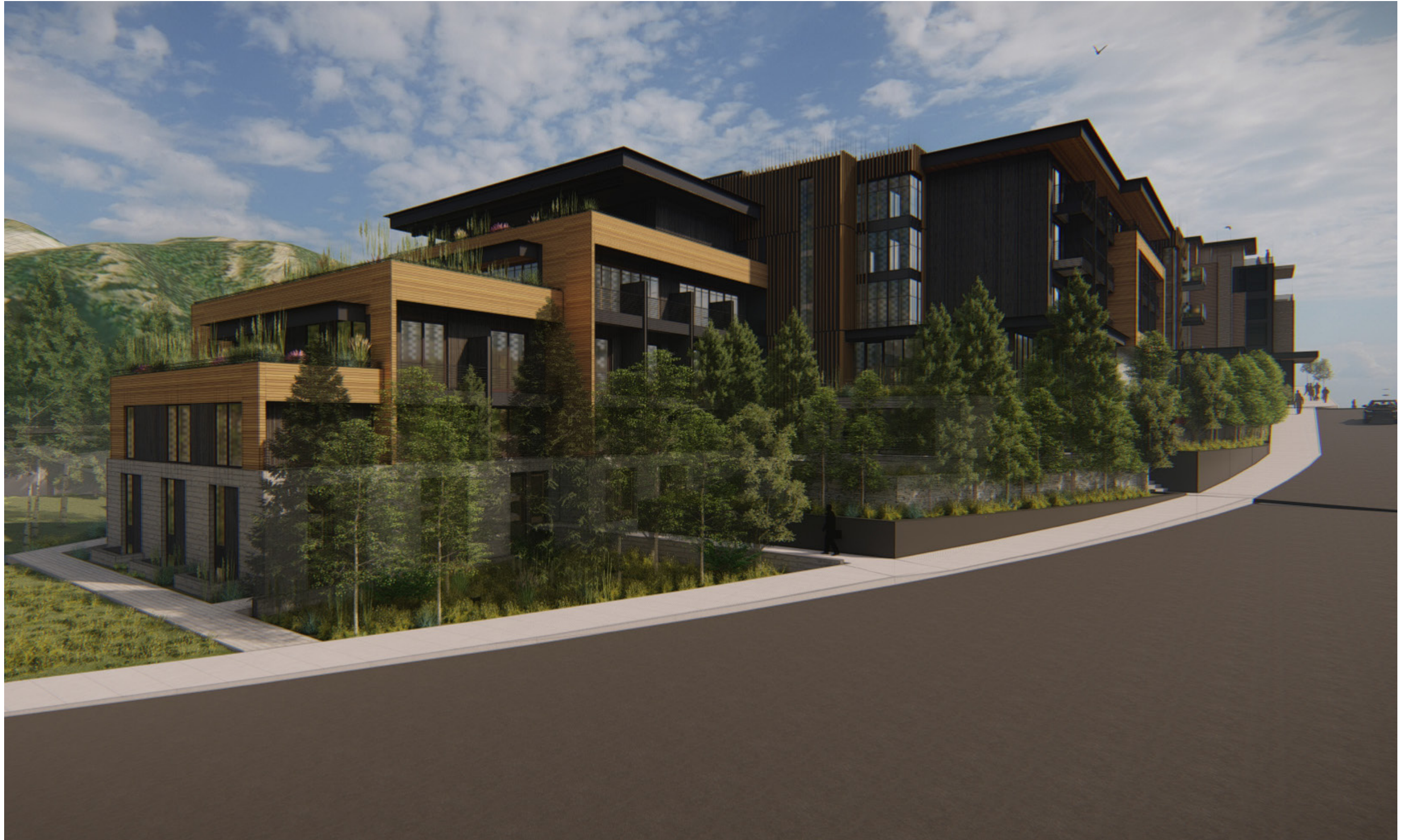










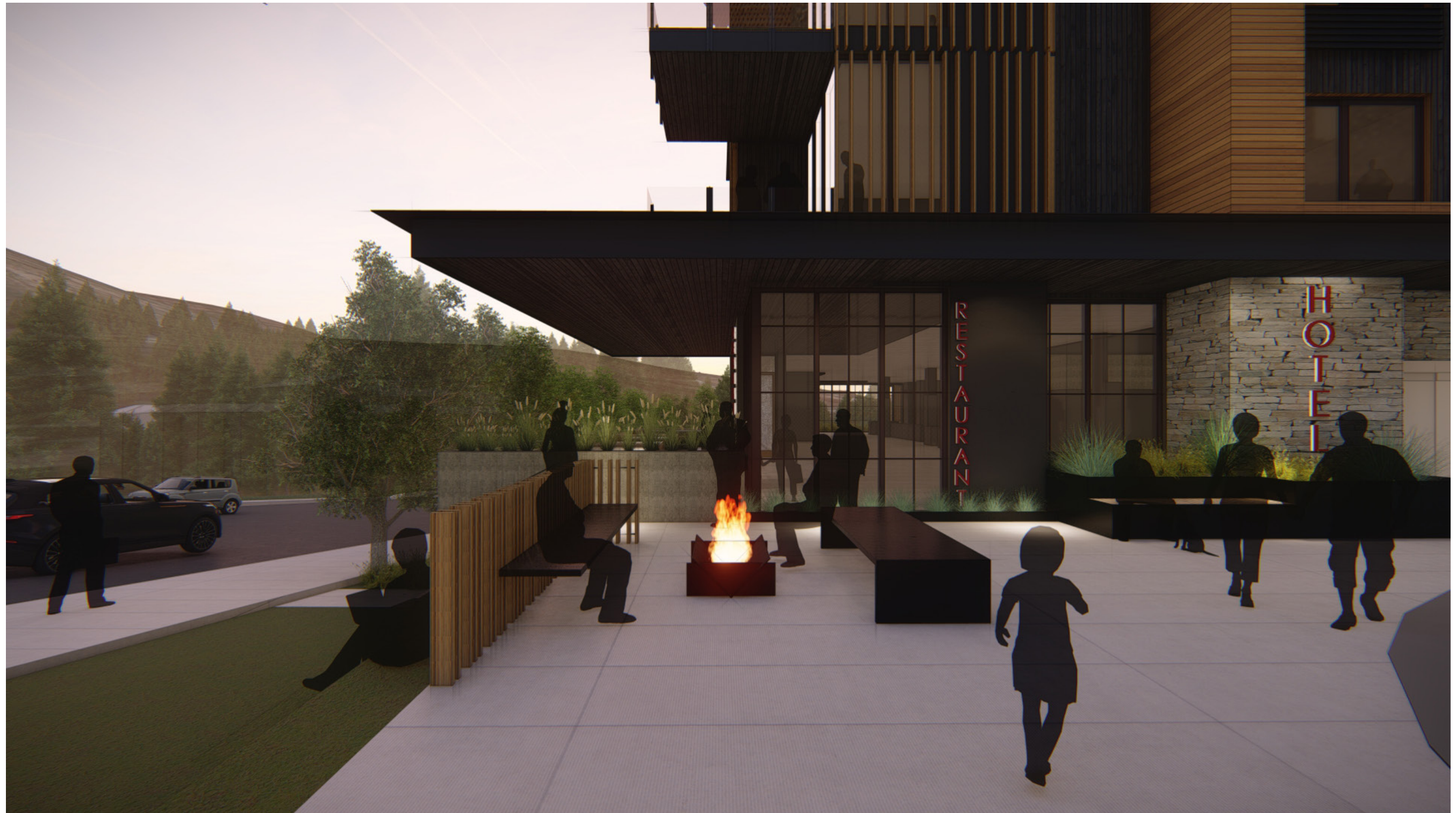








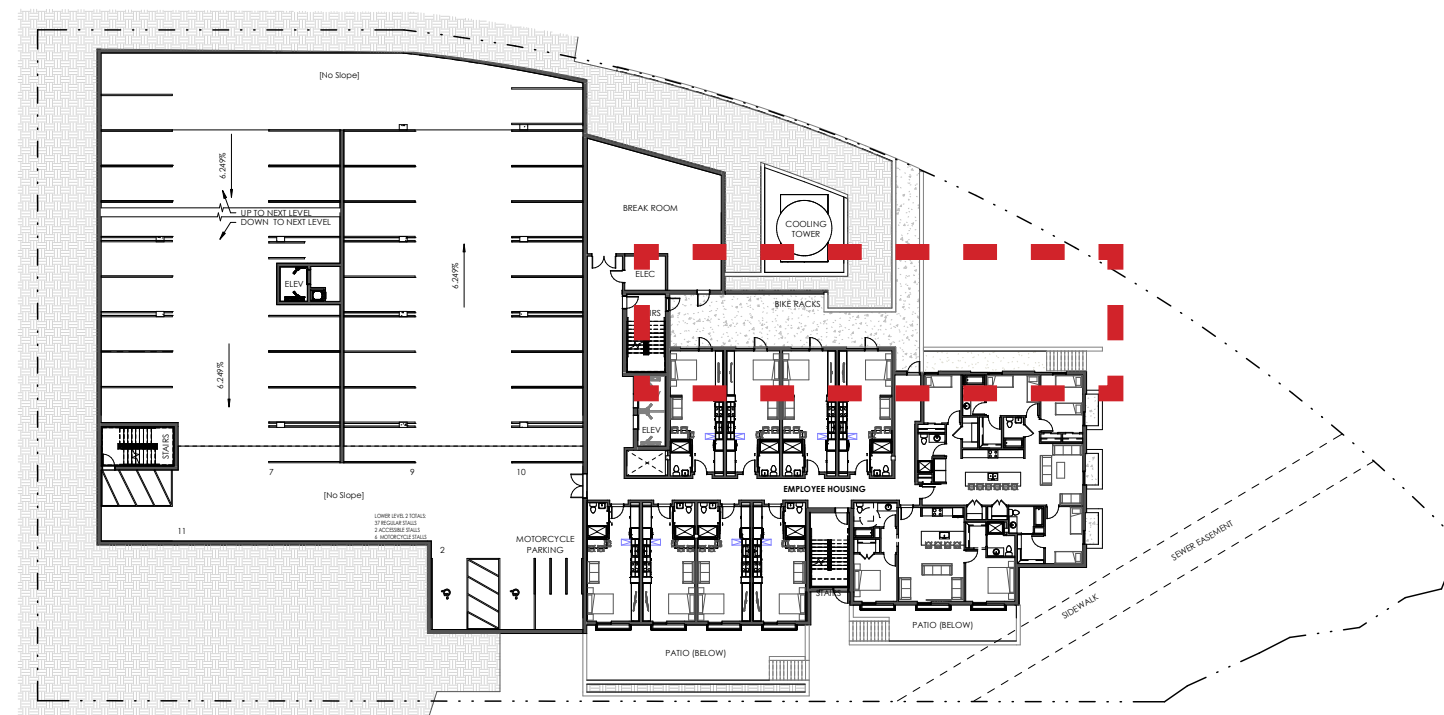
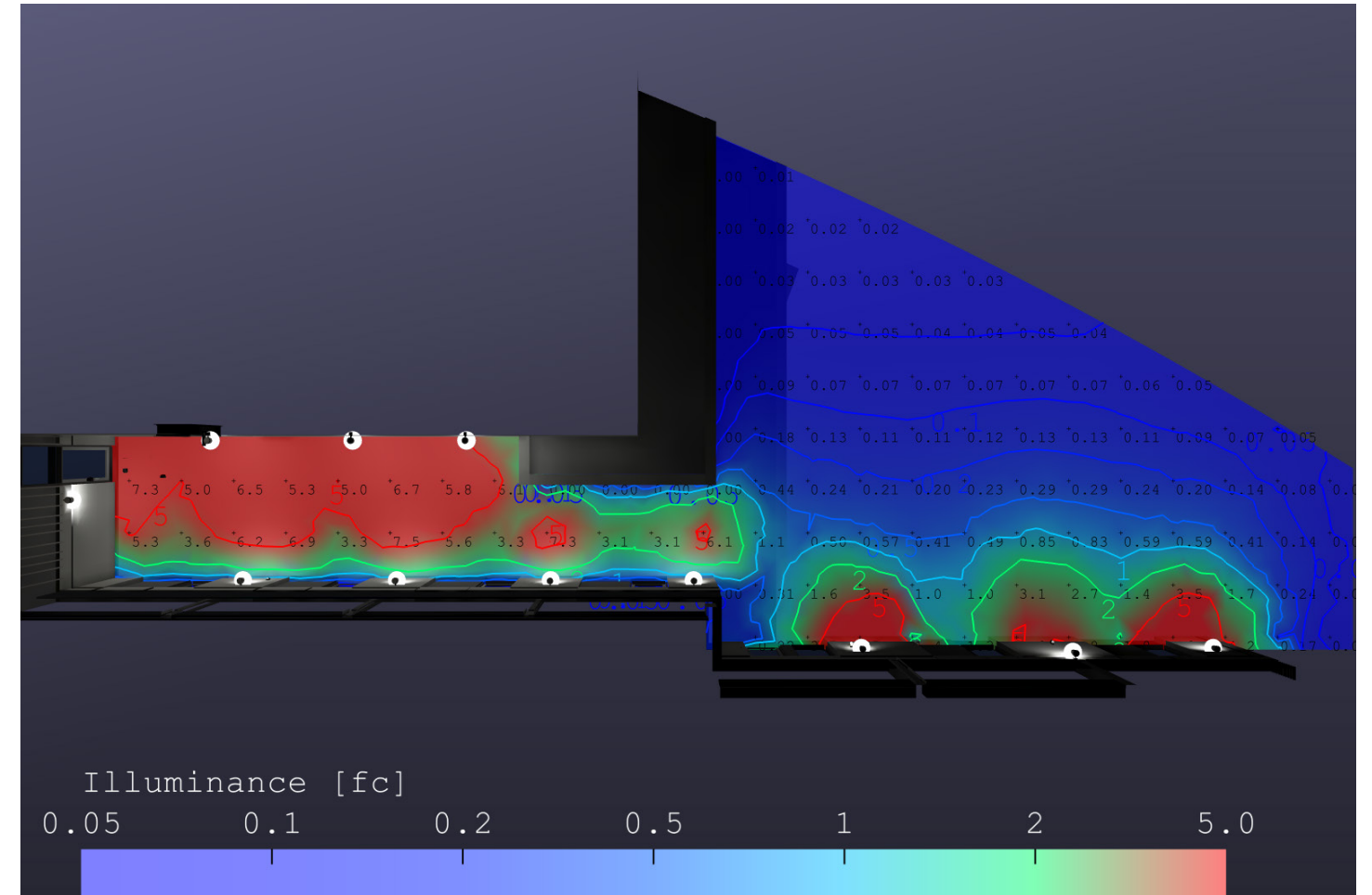
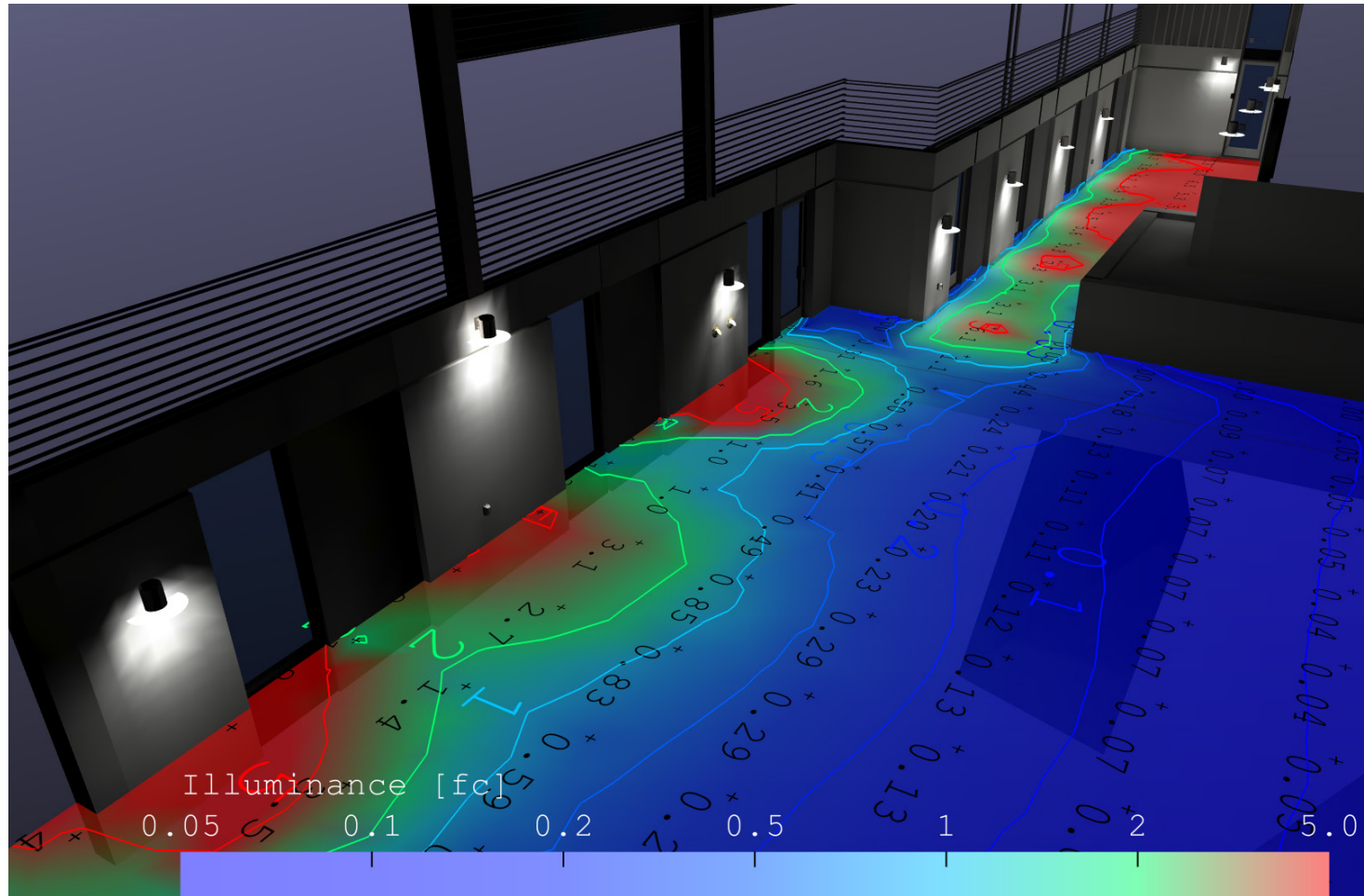


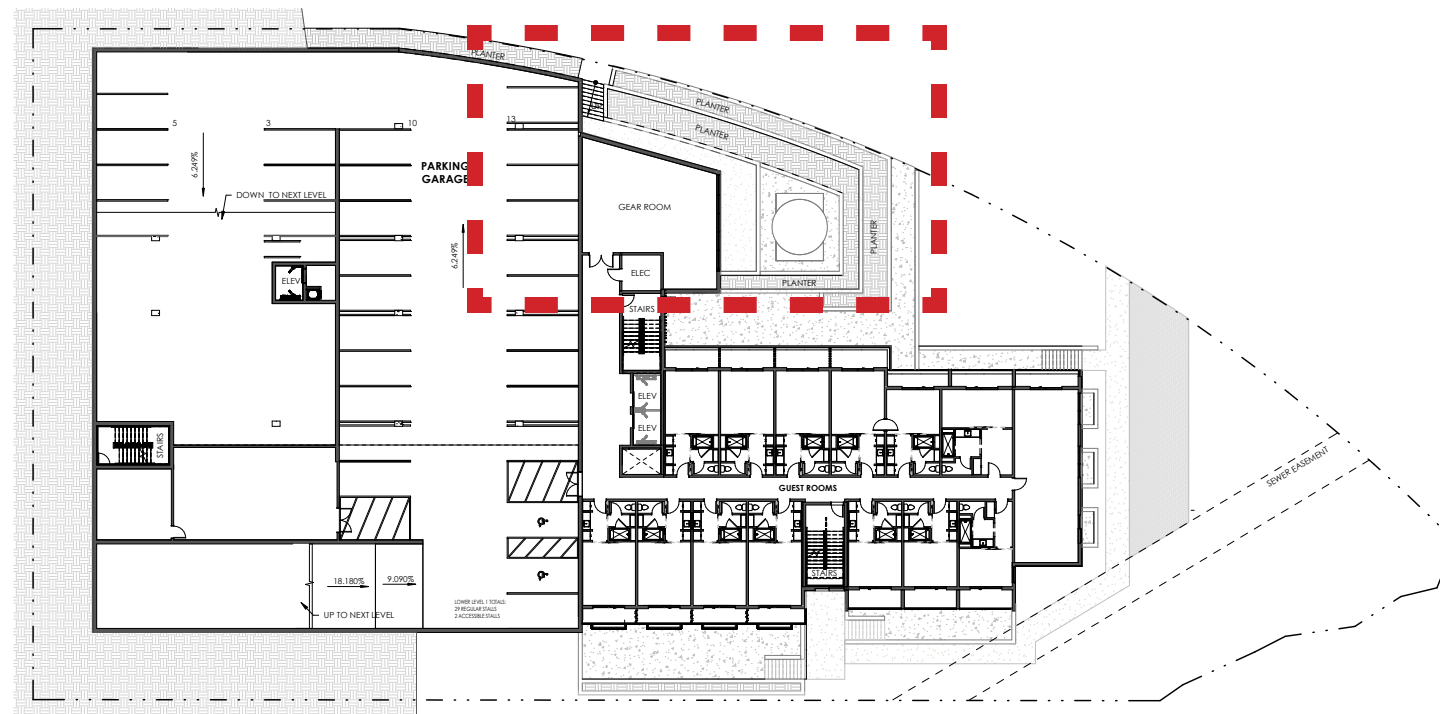
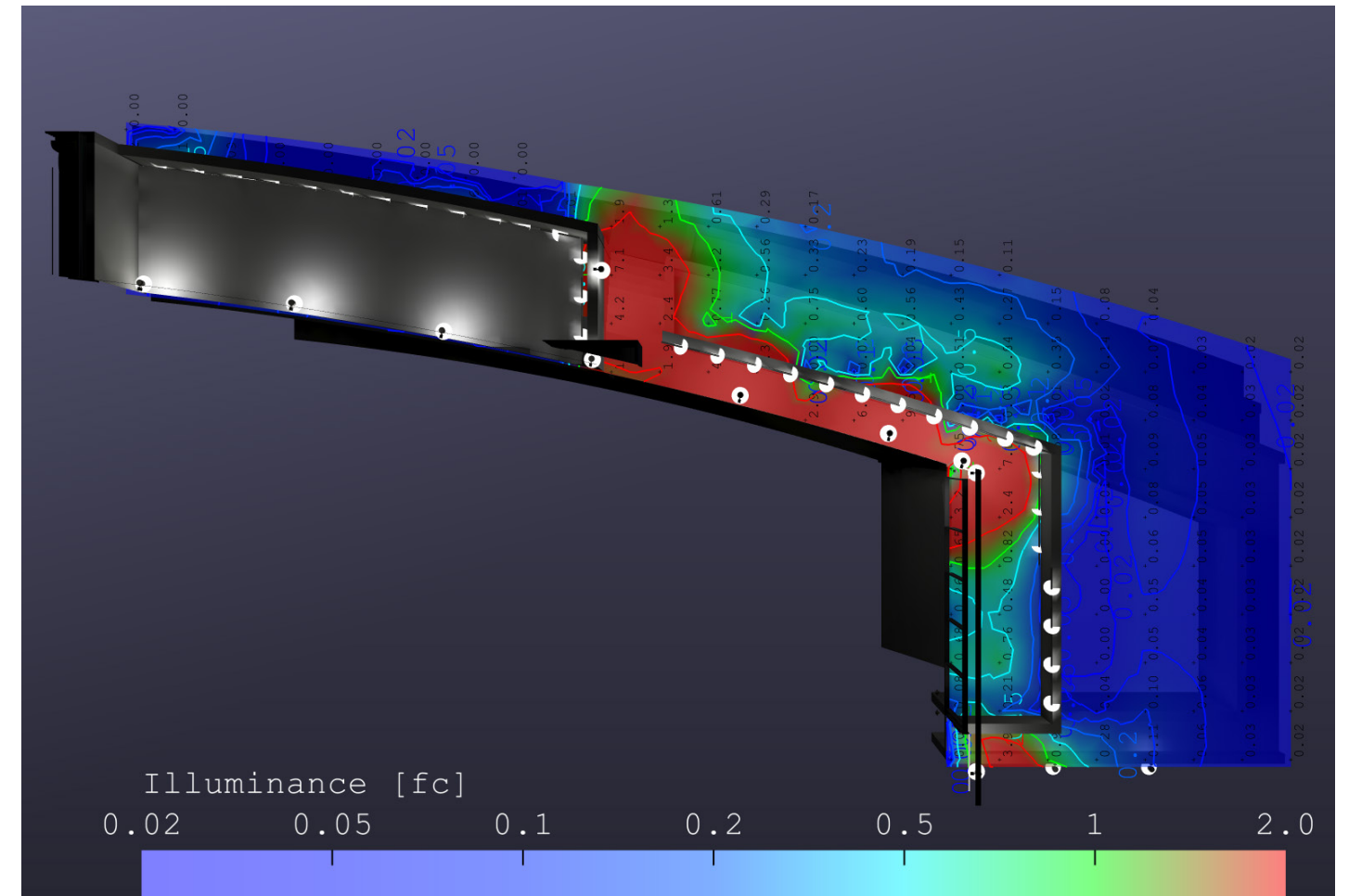
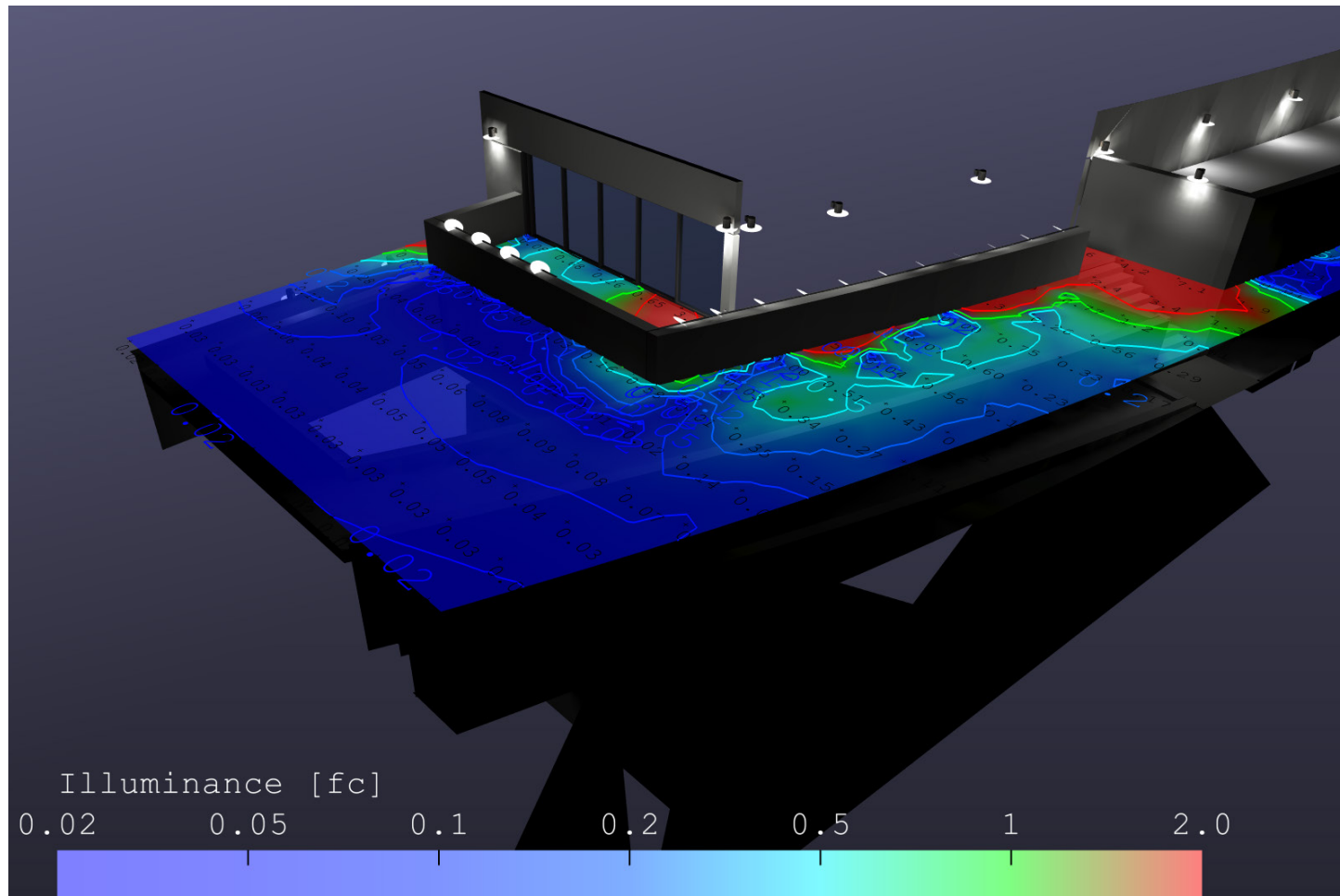


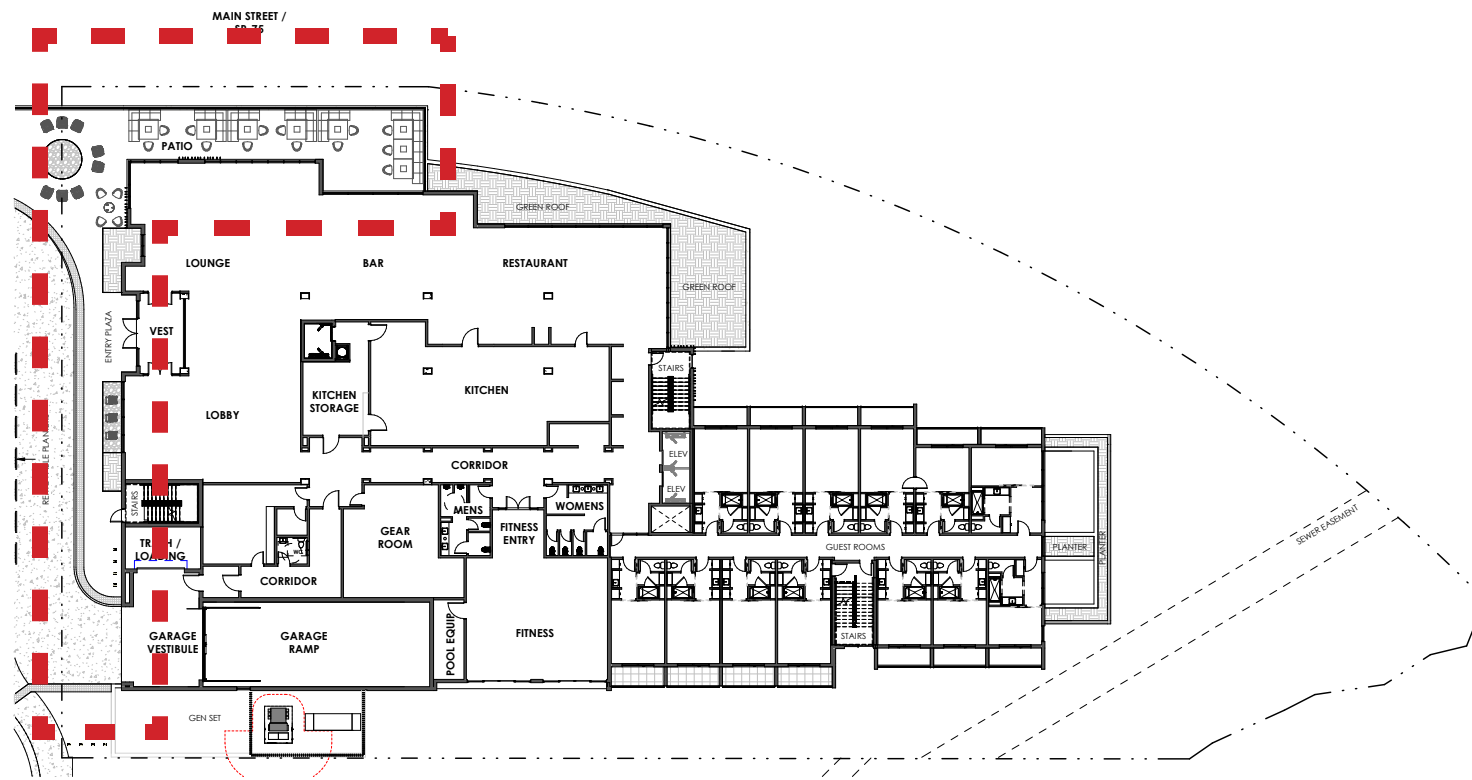
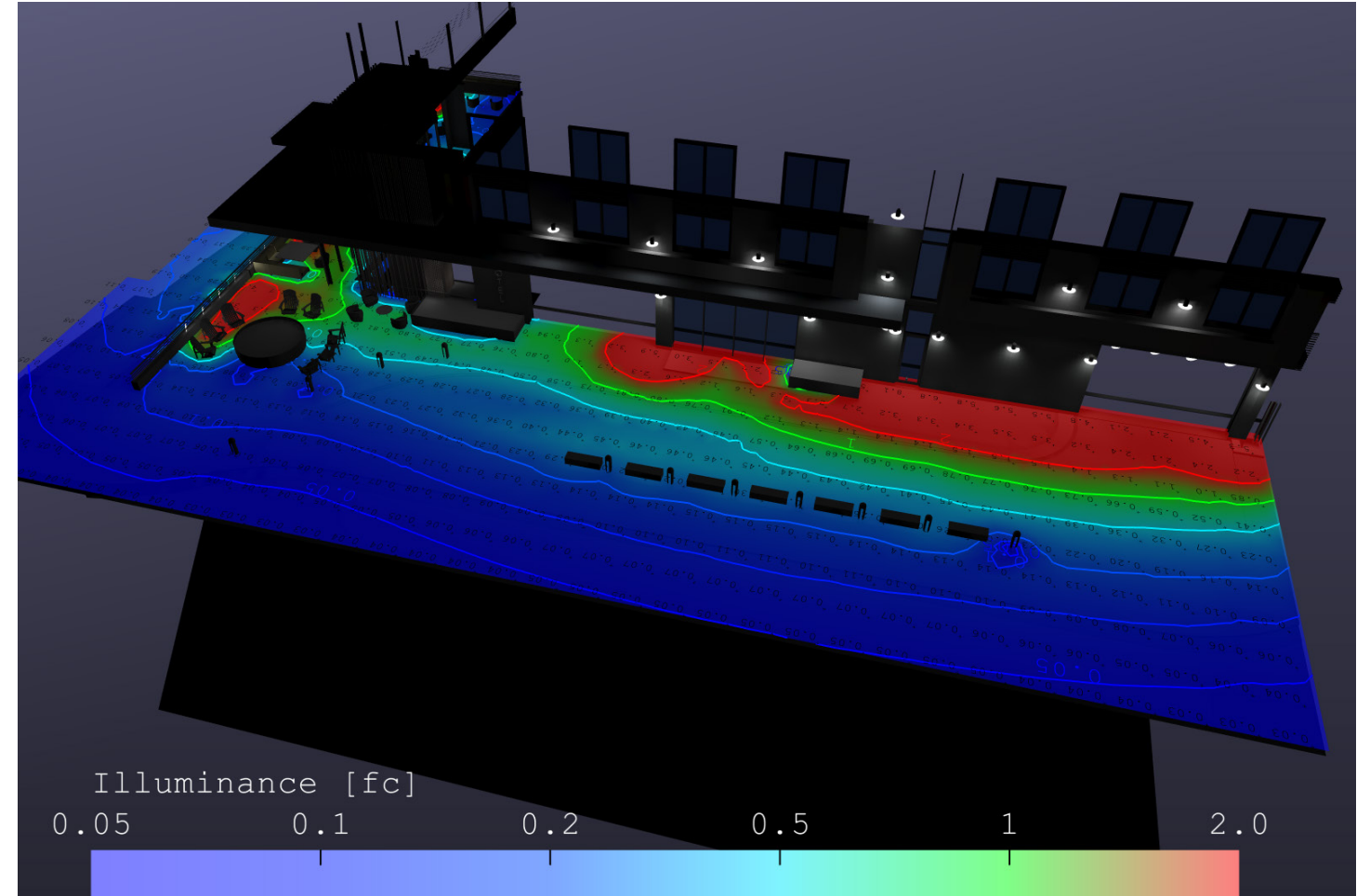
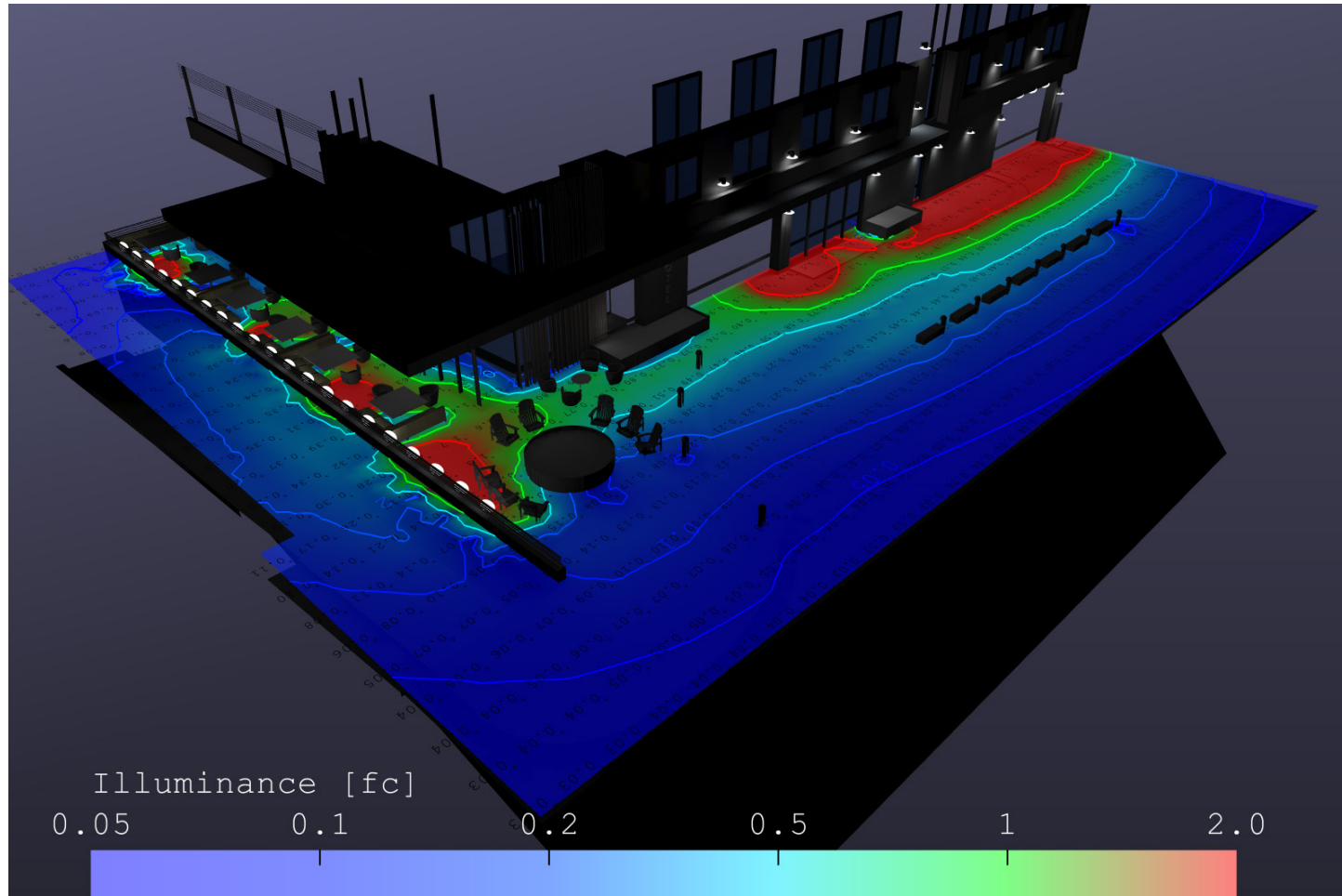


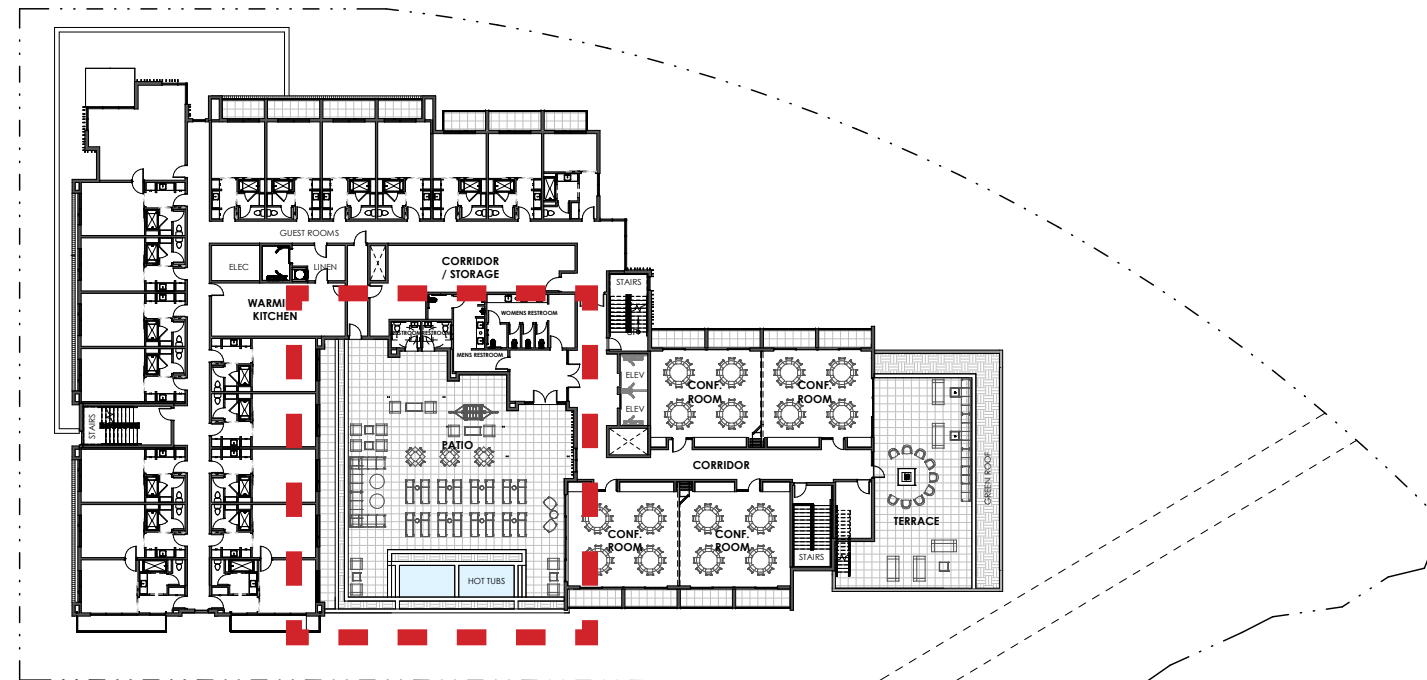
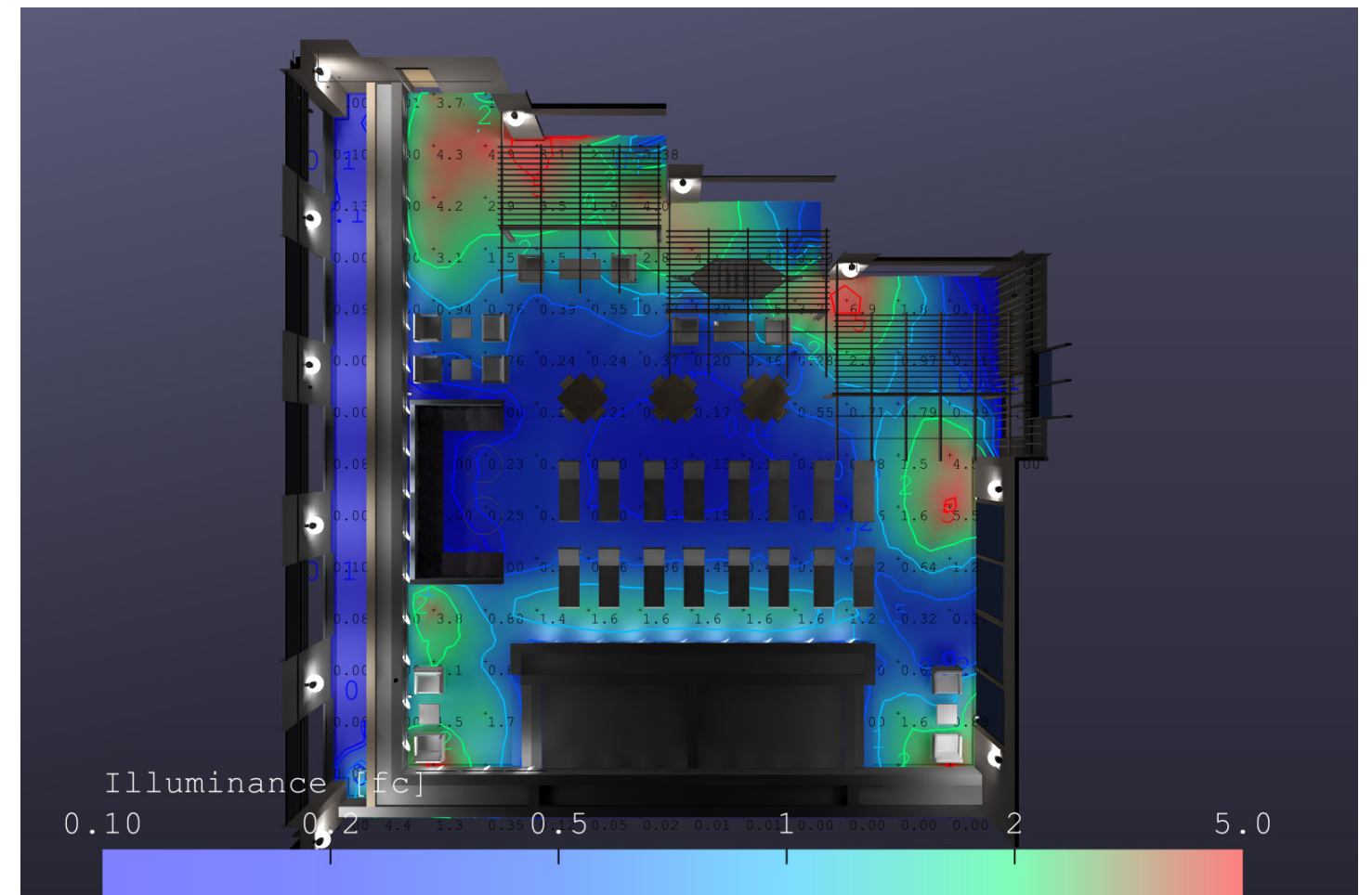
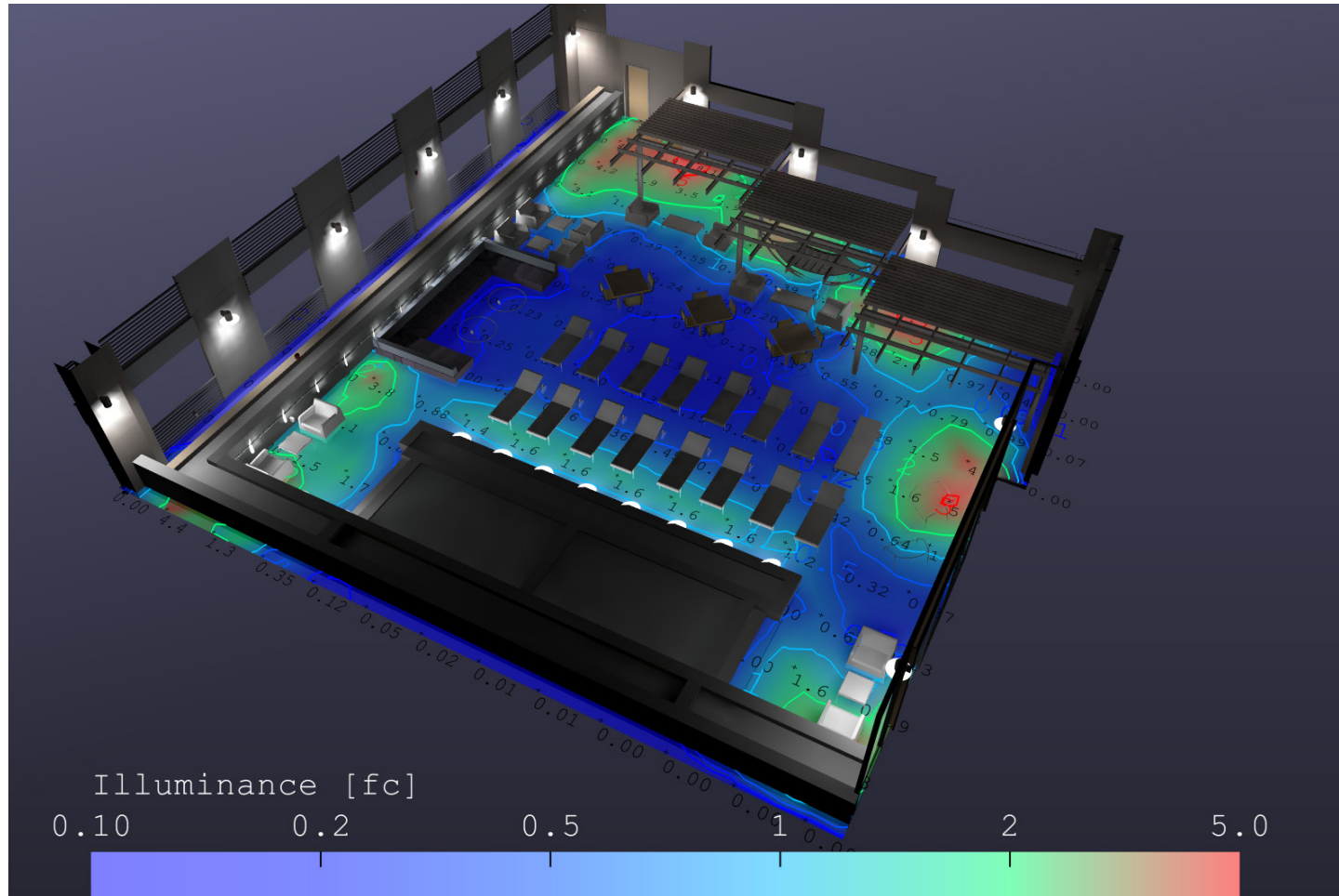
**EXTERIOR LIGHTING PLANS | PHOTOMETRICS**



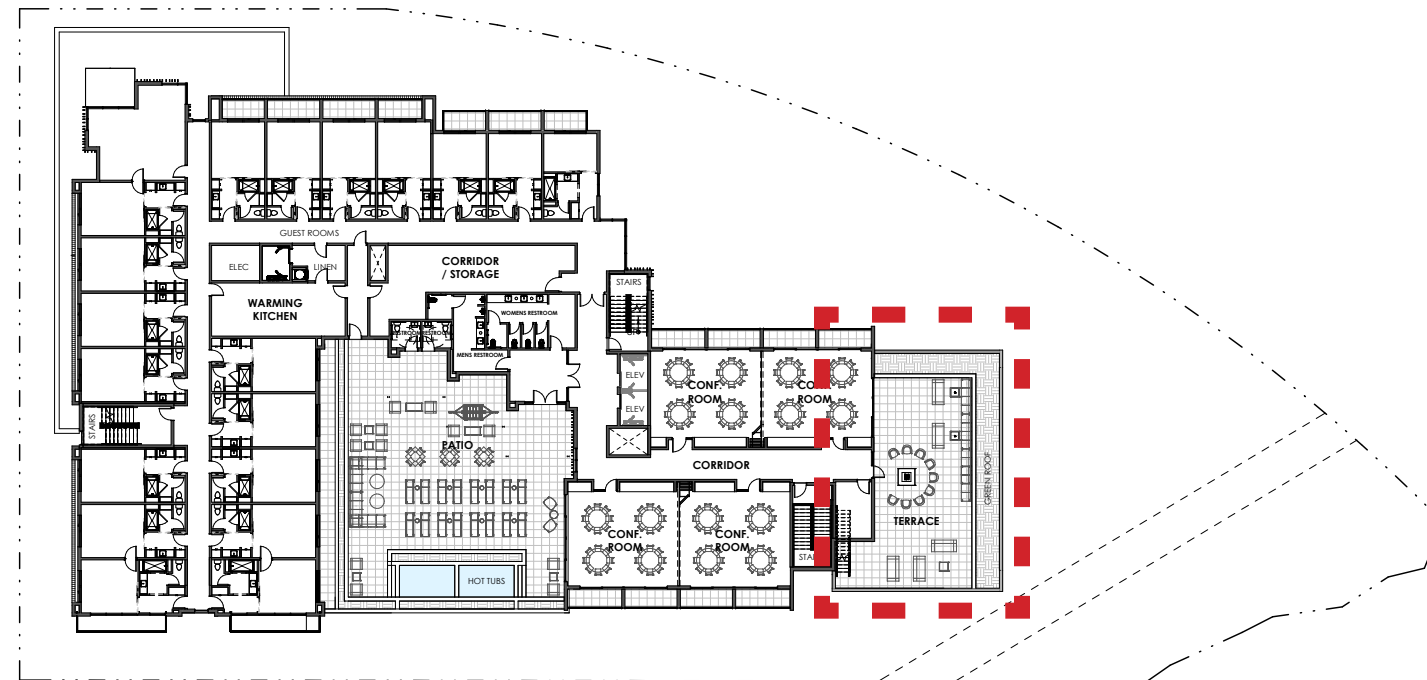
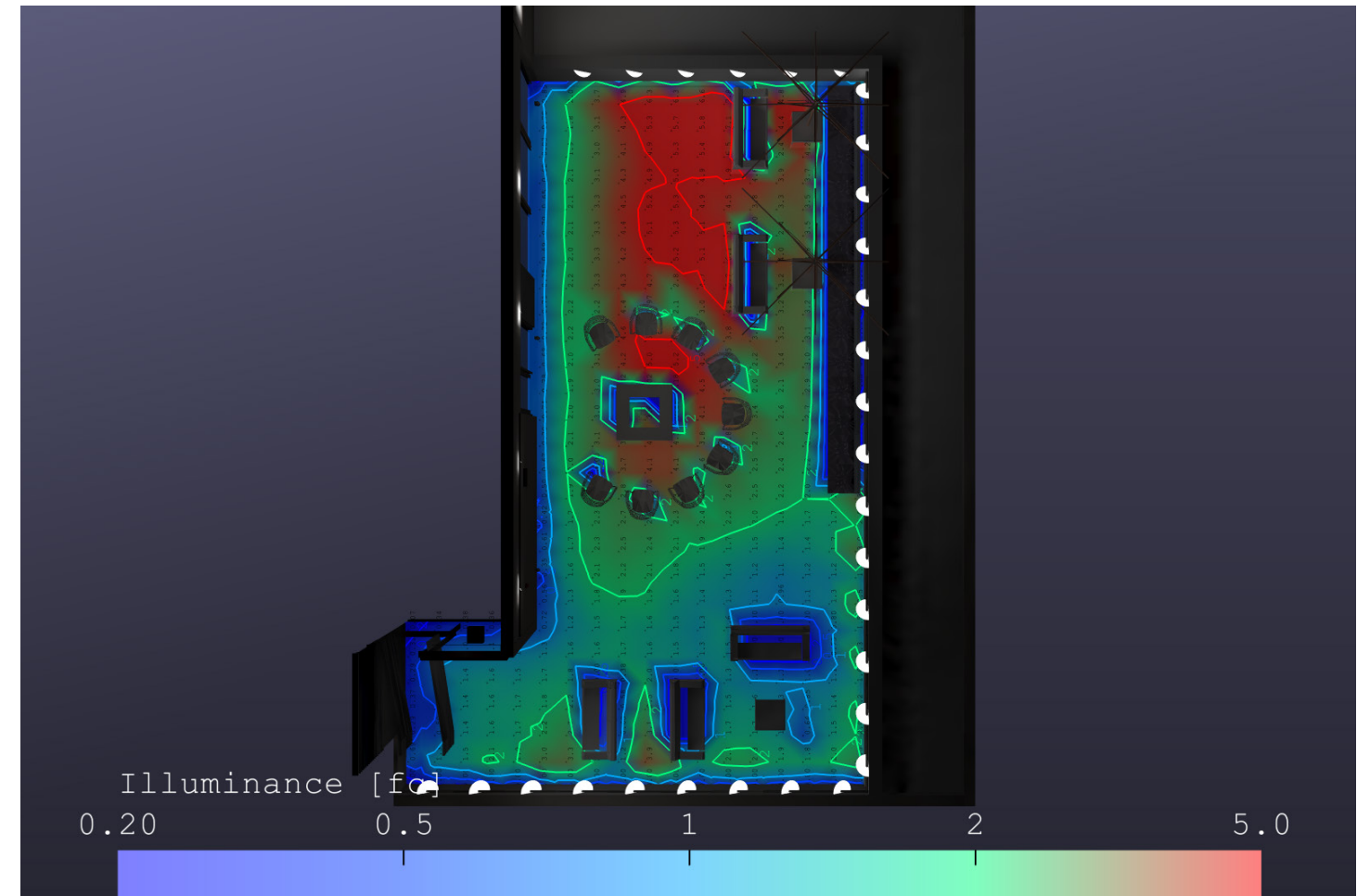
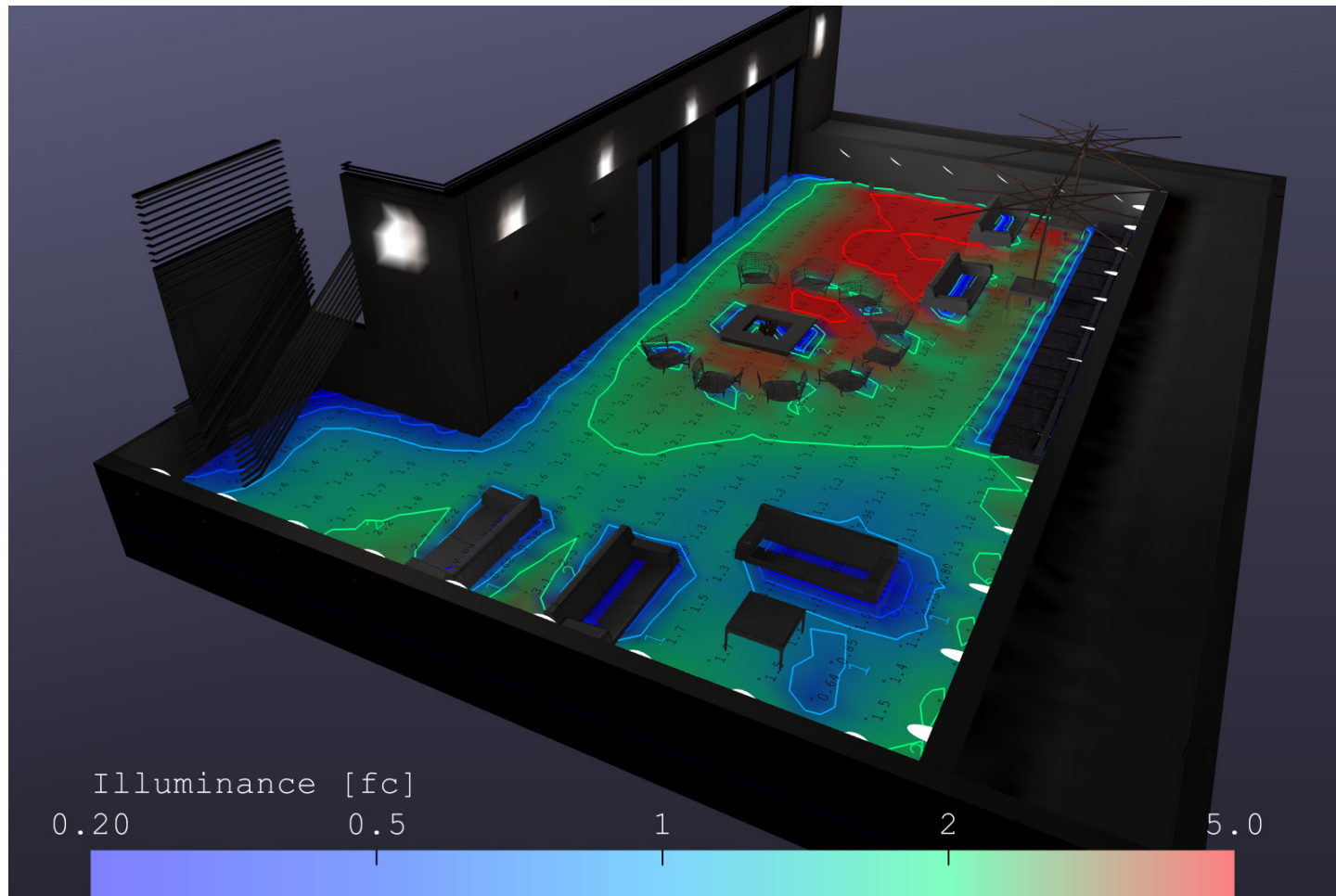


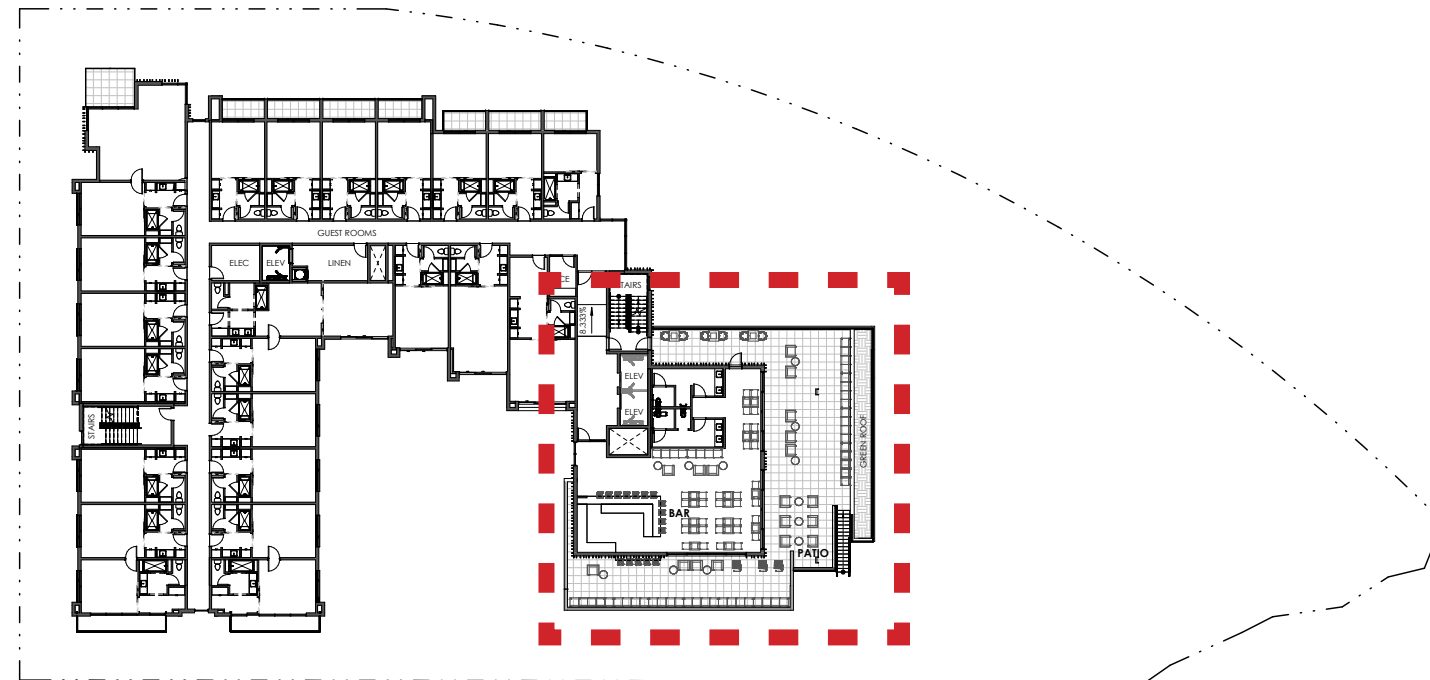
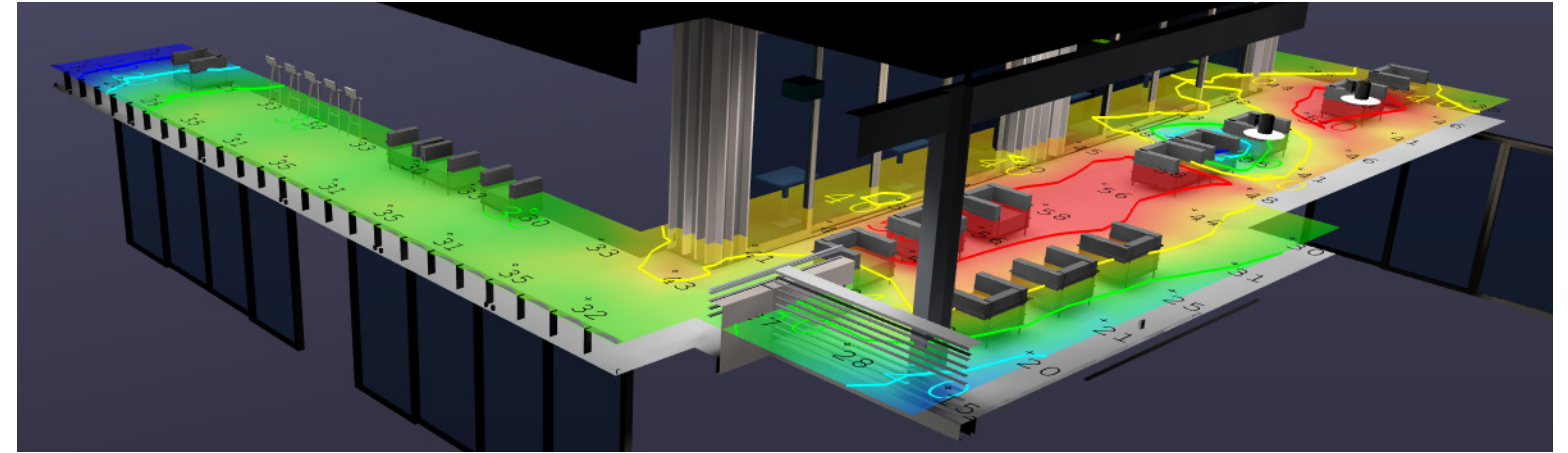
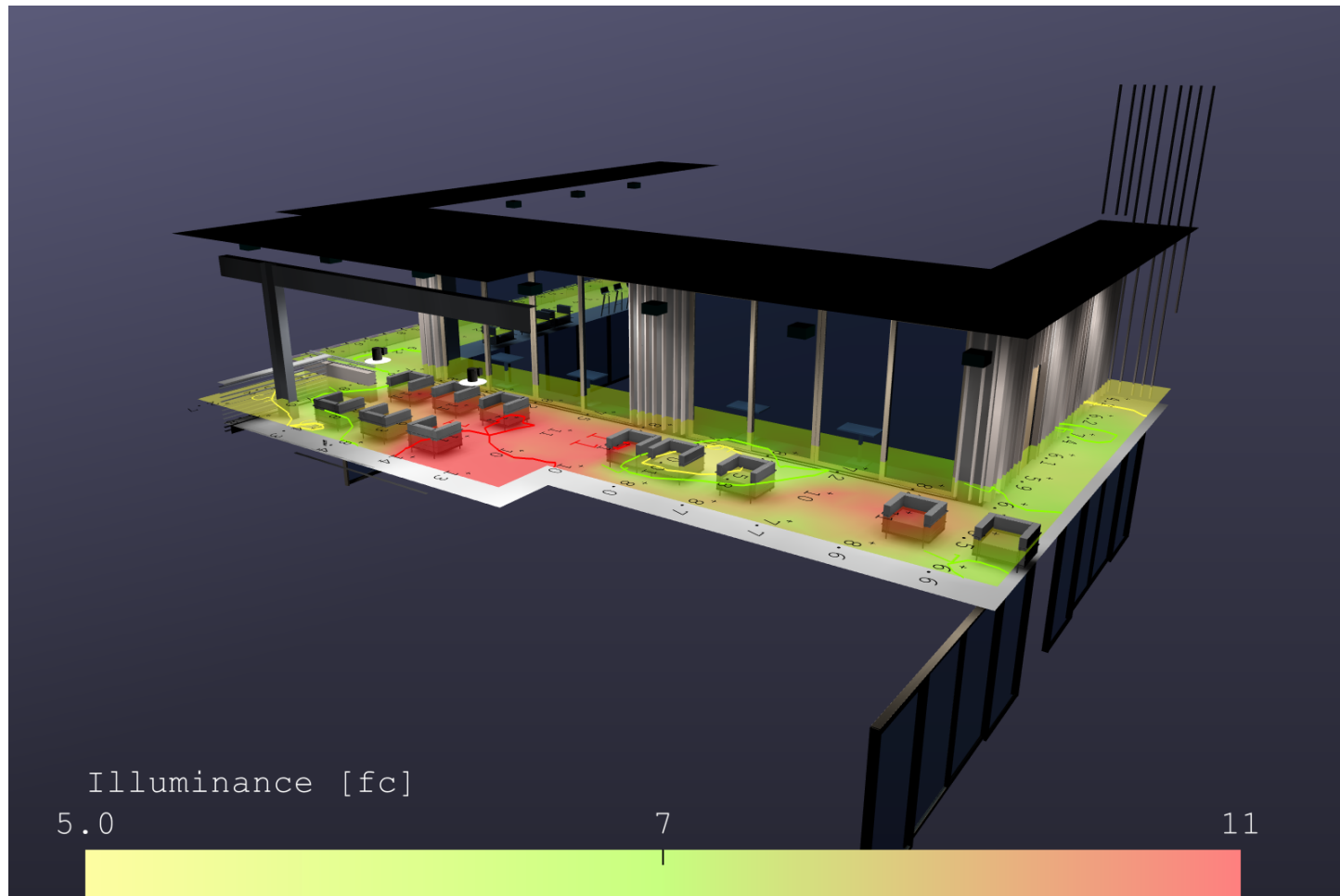










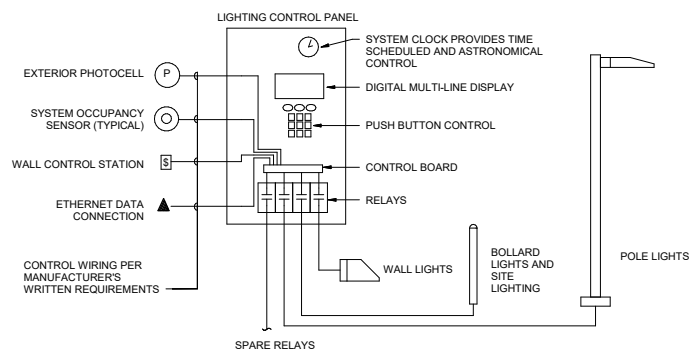


## EXTERIOR LIGHTING FIXTURE SCHEDULE

### ABBREVIATIONS

LUMINAIRE	EMERGENCY	BALLAST	FINISH	LENS	MOUNTING	CONFIGURATION	NOTES
<b>ARRR</b> - AIR RETURN AND HEAT REJECTION <b>DL</b> - DAMP LOCATION <b>ECC</b> - EARTHQUAKE CLIPS <b>F</b> - FUSING <b>HLD</b> - HINGED AND LATCHED DOOR <b>HS</b> - HOUSE SIDE SHIELD <b>PS</b> - PHOTOCELL SWITCH <b>QRS</b> - QUARTZ RESTRIKE <b>ST</b> - STATIC <b>WG</b> - WIRE GUARD <b>WL</b> - WET LOCATION	<b>NE</b> - NORMAL AND EMERGENCY CONNECTIONS <b>EB</b> - EMERGENCY BATTERY PACK <b>ET</b> - EMERGENCY TRANSFER DEVICE	<b>IS</b> - INSTANT START <b>RS</b> - RAPID START <b>PS</b> - PROGRAM START, PARALLEL LAMP OPERATION <b>PSM</b> - PULSE START METAL HALIDE (CWA OR ELECTRONIC) <b>PPLF</b> - PROVIDE POWER LINE FILTER <b>LVTM</b> - LOW VOLTAGE TRANSFORMER (MAGNETIC) <b>LVTE</b> - LOW VOLTAGE TRANSFORMER (ELECTRONIC)	<b>MW</b> - MATTE WHITE <b>BL</b> - BLACK <b>SL</b> - SILVER <b>GN</b> - GOLD <b>CL</b> - CLEAR <b>PW</b> - PAINTED WHITE <b>EA</b> - EXTRUDED ALUMINUM <b>S</b> - STEEL <b>GS</b> - GALVANIZED STEEL <b>C</b> - CAST <b>CBA</b> - COLOR BY ARCHITECT <b>SCBA</b> - STANDARD COLOR BY ARCHITECT <b>CCA</b> - CUSTOM COLOR BY ARCHITECT <b>FS</b> - MEETS FEDERAL STANDARD 205D <b>TP</b> - THERMALLY PROTECTED <b>FL</b> - FLUSH <b>R</b> - REGRESS <b>M</b> - MITERED	<b>BA</b> - ACRYLIC #THICK <b>DA</b> - ACRYLIC #THICK (OPAL) <b>GC</b> - GLASS (CLEAR) <b>GO</b> - GLASS (OPAL) <b>GF</b> - GLASS (FROSTED) <b>SGL</b> - SOFT GLOW LENS <b>HPL</b> - HIGH PERFORMANCE LENS <b>DO</b> - DROP OPAL <b>CGL</b> - CONVEX GLASS LENS <b>S</b> - SATIN LENS	<b>B</b> - BASE <b>C</b> - CEILING <b>F</b> - FLANGE <b>G</b> - GRID <b>P</b> - PENDANT <b>PL</b> - POLE <b>R</b> - RECESSED <b>S</b> - SURFACE <b>W</b> - WALL	<b>BA</b> - BANNER ARMS <b>BH</b> - BULL HORN <b>DL</b> - 2 1/2" SHAPE <b>DS</b> - 2 @ 180 <b>PT</b> - INLINE POST TOP <b>Q</b> - QUAD <b>SH</b> - SHEPHERDS HOOK <b>SL</b> - SINGLE <b>T</b> - 3" T-SHAPE	1. PROVIDE UNIT PRICES AND FIXTURE BRAND SELECTED FOR ADD/DELETE CHANGES FOR EACH FIXTURE TYPES SHOWN WITHIN 48 BUSINESS HOURS OF THE BID DATE. FAILURE TO COMPLY WITH THIS REQUIREMENT MAY DISQUALIFY THE PRODUCTS AND EMPOWER THE ENGINEER TO DETERMINE FAIR VALUE FOR FIXTURE AND INSTALLATION CHANGES, WITHOUT FURTHER INPUT FROM THE CONTRACTOR OR INSTALLER.  2. CONTRACTOR ALLOWANCE PRICES ARE ACCURATE WHEN THIS JOB WAS SPECIFIED. CONTRACTOR AND ELECTRICAL DISTRIBUTOR SHALL VERIFY THIS ALLOWANCE AND REPORT ANY PROBLEMS TO THE ENGINEER BEFORE THE BID. ALLOWANCE PRICE MAY OR MAY NOT INCLUDE LAMP(S) OR FREIGHT AS NOTED, AND DO NOT INCLUDE ANY TAXES.
1. VERIFY THE PROPER MOUNTING KITS OR ACCESSORIES TO FACILITATE INSTALLATION AS SHOWN AT EACH LOCATION ON THE DRAWINGS. 2. COMPLY WITH THE "EXTERIOR LIGHTING" SECTION OF THE SPECIFICATIONS. 3. REFER TO SPECIFICATIONS FOR IMPORTANT TECHNICAL REQUIREMENTS FOR LIGHTING FIXTURES, BALLASTS, AND LAMPS. 4. ALL FIXTURES SHALL BE APPROVED BY UL OR ANOTHER ACCEPTABLE TESTING LAB FOR THE PURPOSE INTENDED AND WITH THE LAMP AND BALLAST PROPOSED.							

ID	IMAGE	TYPE	LUMINAIRE							LAMP	BALLAST		FINISH			DIFFUSER			REFLECTOR			MOUNTING					MANUFACTURER (CATALOG SERIES)			ALLOWANCE					
			BUG RATING	SIZE (NOMINAL)				OPTIONS	COLOR		TYPE	LUMINAIRE LUMENS	INPUT VOLTS	ANSI WATTS	HOUSING	TRIM	OTHER	TYPE	FINISH	CONFIGURATION	OPTIONS	DISTRIBUTION TYPE	FINISH	EFFICIENCY	TYPE	CONFIGURATION	POLE BASE HEIGHT	POLE HEIGHT	WIND RATING		OPTIONS	OPTION 1	OPTION 2	OPTION 3	
(CX4)		LOW PROFILE LED ADJUSTIBLE COVE, WET LISTED FOR EXTERIOR APPLICATIONS		48"	2"				2700K	LED	4400	0	40	SCBA	SCBA	SCBA																			
(D4W)		4" ROUND RECESSED DOWNLIGHT, LED, WET LISTED, FULL CUT OFF				7"			2700K	LED (0-10V DIMMING)	1000		21	SCBA	SCBA	SCBA																			
(WS1)		RECTANGULAR EXTERIOR WALL LIGHT, LED, WET LISTED,		4"	2"	4"			2700K	LED	500	0	9	SCBA	SCBA	SCBA																			
(WS2)						4"			2700K		0			SCBA																					
(WS3)		WALL SCONCE, FULL CUT OFF, FULL PERIMETER GASKETING, WET LOCATION, STAINLESS STEEL HINGES AND LATCHES, 7' AFF		12"	8"	4"			2700K	LED (0-10V DIMMING)	1000	0	20	SCBA																					
OJ1		STEP LIGHT, LED, FULL CUT-OFF,		9"	5"	3.75"			2700K	LED (0-10V DIMMING)	153	0	8	SCBA																					



MANUFACTURER'S:  
 WATTSTOPPER - LPX PEANUT LIGHTING CONTROL PANELS  
 HUBBELL - CX LIGHTING CONTROL PANELS  
 OR APPROVED EQUAL

**1 LIGHTING CONTROL PANEL RISER DIAGRAM (TYPICAL)**  
 SCALE: NTS

# KETCHUM CITY BUILDING ORDINANCE COMPLIANCE MATRIX LIGHTING REQUIREMENTS PER CHAPTER 17.132 "DARK SKIES"

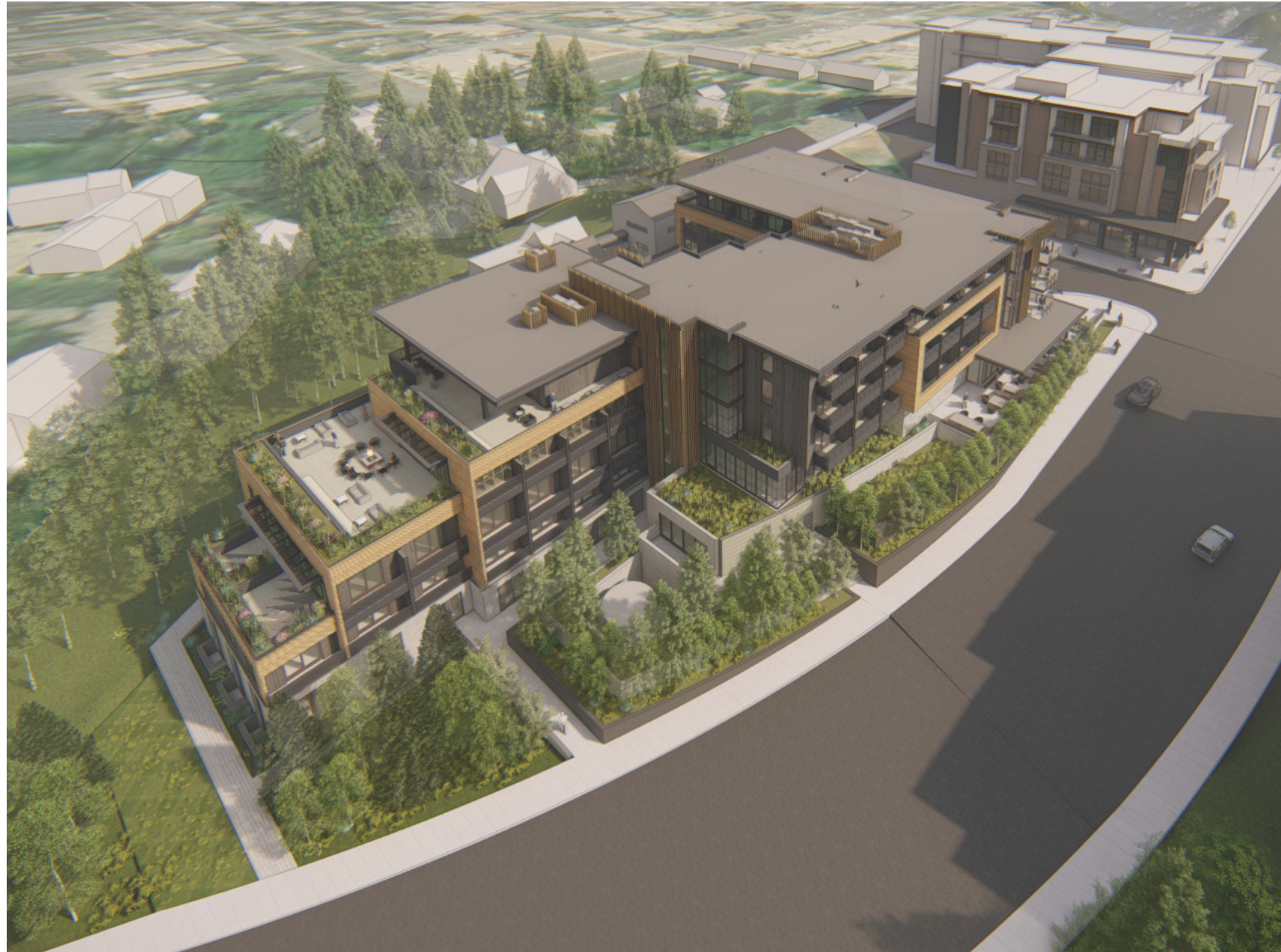
<b>LEGEND</b>	Y	ENGINEER, CONTRACTOR, INSTALLER, AND ALL OTHER PARTIES SHALL COMPLY WITH ORDINANCE/REQUIREMENT/SPECIFICATION.
	N	ENGINEER, CONTRACTOR, INSTALLER, AND ALL OTHER PARTIES WILL NOT COMPLY WITH ORDINANCE/REQUIREMENT/SPECIFICATION.
	N/A	THE ORDINANCE/REQUIREMENT/SPECIFICATION DOES NOT APPLY TO THE DESIGN.

ORDINANCE:	COMPLIANCE:
<b>17.132.010 - GENERAL PROVISIONS:</b>	<b>REVIEWED.</b>
1. To protect against direct glare and excessive lighting;	Y
2. To provide safe roadways for motorists, cyclists and pedestrians;	Y
3. To protect and reclaim the ability to view the night sky, and help preserve the quality of life and the tourist experience;	Y
4. To prevent light trespass in all areas of the City;	Y
5. To promote efficient and cost effective lighting;	Y
6. To ensure that sufficient lighting can be provided where needed to promote safety and security;	Y
7. To allow for flexibility in the style of lighting fixtures;	Y
8. To provide lighting guidelines;	Y
9. To provide assistance to property owners and occupants in bringing nonconforming lighting into conformance with this chapter; and	Y
10. To work with other jurisdictions within Blaine County to meet the purposes of this chapter.	Y
<b>17.132.020.B: APPLICABILITY:</b>	<b>REVIEWED.</b>
Lighting Plans Required: All applications for design review, conditional use, subdivision and/or building permits shall include lighting plans showing location, type, height, color temperature, lumen output and amount of all proposed and existing fixtures. The applicant shall provide enough information to verify that lighting conforms to the provisions of this chapter. The Administrator, commission and/or building official shall have the authority to request additional information in order to achieve the purposes of this chapter. (Ord. 1171, 2017)	Y
<b>17.132.030: LIGHTING STANDARDS:</b>	<b>REVIEWED.</b>
A. Color Temperature: All exterior lighting shall utilize light sources not to exceed two thousand seven hundred (2,700) Kelvin.	Y
B. Light Trespass And Overlighting: All existing and/or new exterior lighting shall not cause light trespass and shall protect adjacent properties from glare and excessive lighting. All vehicle lighting originating from a commercial property shall be shielded from other adjacent properties. Incidental light trespass (lighting emanating from turning motor vehicles or motion sensor lighting) is permitted.	Y
1. All lighting emitting from any zoning lot shall not cause the light level along any property line, as measured at a height of sixty inches (60") above grade in a plane at any angle of inclination, to exceed the limitations listed in figure 1, "Light Trespass And Overlighting Matrix", of this subsection. [Commercial zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3) Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-4, STO-1, STO-H, RU, AF) 0.1 foot-candle]	Y
C. IESNA Guidelines: The commission or Administrator may require that any new lighting or existing lighting that comes before them meet the standards for maximum illuminance output as established by IESNA.	N/A
D. Nonessential Exterior Commercial And Residential Lighting: All nonessential exterior commercial and residential lighting shall be turned off after business hours and/or when not in use. Lights on a timer shall be used. Sensor activated lights shall be used to replace existing lighting that is desired for security purposes.	Y
E. Area Lights:	
1. All area lights, including streetlights and parking area lighting, shall be level mounted and eighty five degrees (85°) full cutoff type fixtures.	Y
2. Residential streetlights shall be limited to one thousand one hundred twenty five (1,125) lumens, unless otherwise recommended by the Public Works Department.	N/A
3. Nonresidential streetlights shall be limited to one thousand five hundred (1,500) lumens, unless otherwise recommended by the Public Works Department.	Y
4. Lights on major intersections on State highways shall be limited to three thousand (3,000) lumens, unless otherwise recommended by the Public Works Department.	N/A
5. Parking area lights are encouraged to be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level. Parking lot lighting shall not exceed IESNA recommended illuminance (foot-candle) level and are encouraged to utilize the lowest range available.	N/A
6. All freestanding area lights within a residential zone, except streetlights, shall be mounted at a height equal to or less than the value 3 + (D/3), where D is the distance in feet to the nearest property boundary.	N/A
7. Freestanding luminaires shall be no higher than twenty five feet (25') above the stand/pole base; except, that luminaires used for playing fields shall be exempt from the height restriction, provided all other provisions of this chapter are met and the light is used only while the field is in use; and except, that streetlights used on major roads may exceed this standard if necessary as determined by the City Council, as advised by a lighting engineer. Building mounted luminaires shall be attached only to walls, and the top of the fixture shall not exceed the height of the parapet or roof, whichever is greater.	Y
8. Area lights on a timer, sensor activated, or turned off at ten thirty o'clock (10:30) P.M. are exempt from subsection B of this section, provided all other standards of this section are met.	Y
F. Uplighting: Uplighting is prohibited in all zoning districts, except as where permitted in this chapter. G. Public Outdoor Lighting: Public outdoor lighting, including holiday lighting, shall be permitted to ensure the safety and enjoyment of the intended public use. All public lighting shall comply with the standards established herein and shall be turned off after hours of operation or when not in use. When practically possible, motion sensors may be used. Public outdoor lighting is exempt from lighting curfews and exempt from subsection B of this section.	Y
CONTINUED ON COMPLIANCE CHART LOCATED ADJACET TO THIS CHART. —————>	

ORDINANCE:				COMPLIANCE:
H. Lighting Fixtures:				
1. All exterior lighting shall comply with the acceptable lighting fixtures located in figure 2 of this subsection H. All exterior lighting fixtures shall be full cutoff fixtures with the light source fully shielded, except as exempted in this chapter.				Y
2. The following figure and information sheets shall be incorporated into this chapter as guidelines for the public and the City for use in meeting the intent of this chapter. The figure and information sheets only serve as examples. The City does not endorse or discriminate against any manufacturer or company that may be shown, portrayed or mentioned by the examples. Additional information is provided at the Ketchum Planning Department.				Y
Lighting Fixture Exceptions And Additional Requirements Matrix - Directly From 17.132.030: LIGHTING STANDARDS:				
<b>TYPE OF LIGHTING :</b>	<b>FULL CUTOFF LIGHT FIXTURE:</b>	<b>LIGHT TRESPASS STANDARDS:</b>	<b>ADDITIONAL REQUIREMENTS:</b>	<b>REVIEWED.</b>
Canopy Lighting	Required	Non-exempt	All canopy lighting shall be recessed sufficiently so as to ensure that no light source is visible from or causes glare on public rights-of-way or adjacent property.	Y
Flagpole Lighting	Not Required	Exempt	Upward flagpole lighting is permitted for governmental flags only. The maximum lumen output shall be 1,300lm.	N/A
Flood Lights	Not Required	Non-exempt	Floodlights with external shielding shall be angled provided that no light escapes above a 25-degree angle measured from the vertical line from the center of the light extended to the ground. Floodlights shall not cause glare or light to shine directly on adjacent property or public rights-of-way.	N/A
Highway 75 Lighting	Required	Exempt	Correlated color temp. 2700k.	N/A
Holiday Lights	Not Required	Exempt	Shall only be displayed from November 20th to March 20th. Exempt from color temperature requirements set forth in this chapter. All new holiday lighting shall be LED lighting, or bulb that has been demonstrated to be the most energy efficient technology available. Flashing holiday lighting is permitted. All private holiday lighting shall be turned off at the close of business hours in the Community Core Zoning District, and after 10:30 P.M. in all other zoning districts. Outdoor public lighting shall not be subject to holiday lighting curfew.	N/A
Neon Lights	Required	Exempt	Neon lights are only permitted pursuant to chapter 17.127 of this title.	N/A
Sensor Activated Lighting	Required	Exempt	Shall be located so as to prevent lighting into adjacent properties or into a public right-of-way. Lighting shall activate only when motion on the property is detected and shall deactivate within no more than 5 minutes. Lighting shall not be triggered by any activity off the property or in the public right-of-way. The maximum lumen output shall be 600 lumens.	Y
Temporary Emergency Lighting	Not Required	Exempt	Utilized by public safety services. Exempt from provisions of this chapter.	N/A
Temporary Lighting	Required	Exempt	Lumens output shall be approved by the administrator.	Y
<b>17.132.040: PROHIBITED LIGHTING:</b>				
A. Any light source that does not meet the requirements of this chapter.				
B. Searchlights, beacons, laser source, and other high-intensity light fixtures.				
<b>17.132.050: NOTIFICATION:</b>				
A. The City Building and Planning Department permits shall include a statement asking whether the subject property of the proposed work includes any exterior lighting. (Ord. 1171, 2017)				
<b>17.132.060: THE CITY'S ROLE:</b>				
A. The City will commit to changing all lighting within the City rights-of-way and on City owned property to meet the requirements of this chapter when luminaires expire. (Ord. 1171, 2017)				

**REVIEWED FOR ACCURACY AND COMPLETNESS ON:  
02-03/2020 SPENCER C. LITTLE, P.E.**

## SUSTAINABILITY INTEGRATION



## BUILDING SYSTEMS

### HVAC SYSTEM

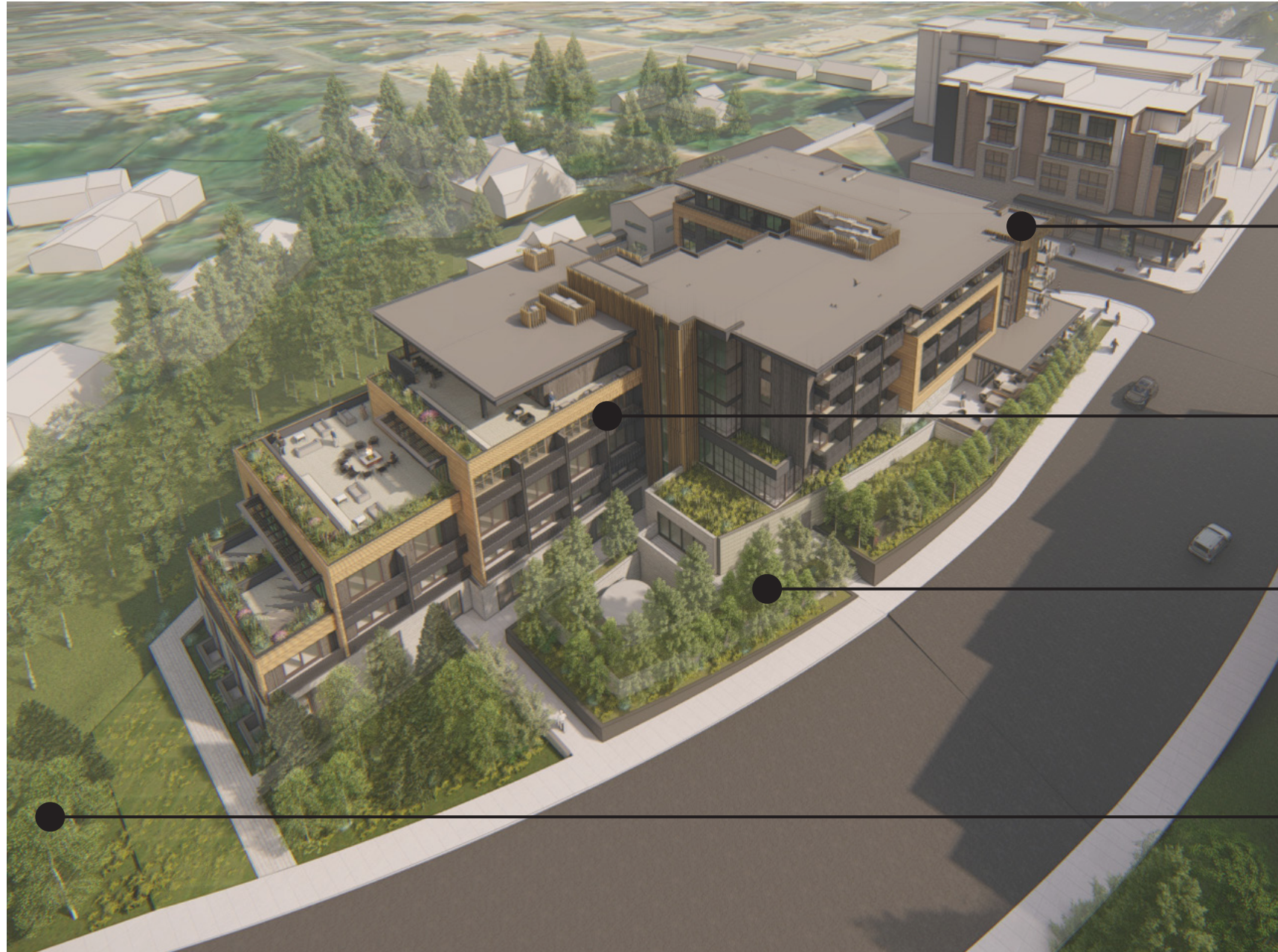
- AIR OR WATER SOURCED LOOP SYSTEM (T.B.D.)
- ENERGY RECOVERY VENTILATION SYSTEM
- AUTOMATICALLY TURN OFF HVAC IF NO OCCUPANTS ARE IN GUESTROOMS

### PLUMBING

- INSTANTANEOUS WATER HEATER ON DEMAND
- RECIRCULATING HOT WATER SYSTEM TO LIMIT WATER WASTE
- LOW FLOW AND SENSOR OPERATED PLUMBING FIXTURES TO REDUCE WATER USAGE

### LIGHTING

- ENERGY EFFICIENT LED LIGHTING
- OUTDOOR DARK SKY LIGHTING
- AUTOMATICALLY TURN OFF LIGHTS IF NO OCCUPANTS ARE IN GUESTROOMS
- DAYLIGHT HARVESTING IN COMMON SPACES
- OCCUPANCY SENSORS TO AUTOMATICALLY TURN OFF LIGHTS IN BACK OF HOUSE AREAS



## HIGH PERFORMANCE BUILDING & SITE

### INDOOR AIR QUALITY - LOW VOC

- PAINTS
- PRIMERS
- STAINS
- ADHESIVES

### BUILDING ENVELOPE ASSEMBLY

- WALLS, DECKS AND ROOF INSULATION
- HIGH EFFICIENCY GLAZING & WINDOW SYSTEM
- REDUCED AIR INFILTRATION
- COOL ROOF

### LANDSCAPE & WATER CONSERVATION

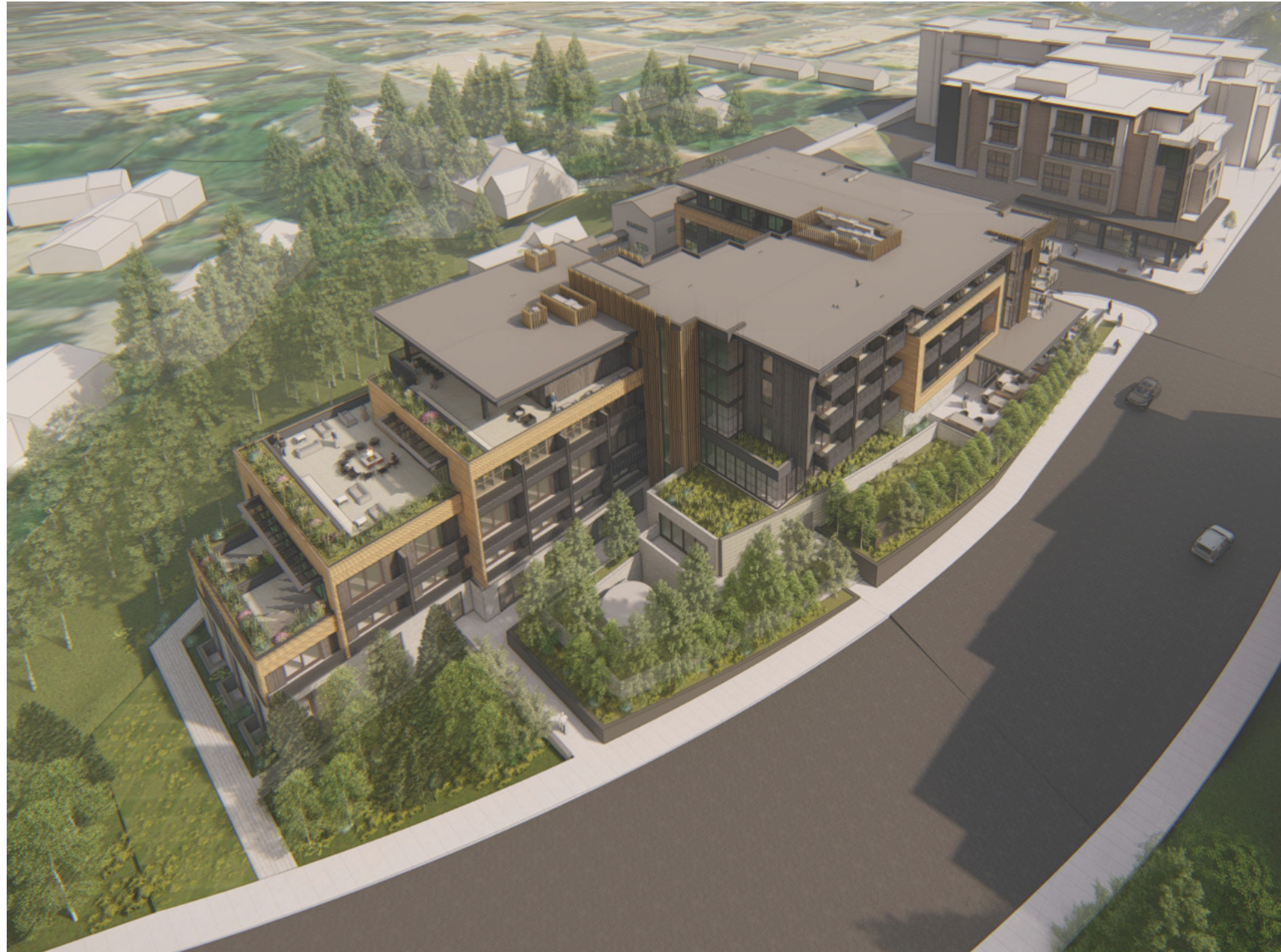
- NATIVE AND DROUGHT TOLERANT SPECIES (TREES, SHRUBS, AND GRASSES)
- DRIP AND WATER EFFICIENT IRRIGATION
- LOW MAINTENANCE LANDSCAPE
- LANDSCAPING IRRIGATION WILL MEET EPA WATER SENSE PROGRAM REQUIREMENTS

### SITE PRESERVATION

- PRESERVED RIPARIAN ZONE

### TRAIL CREEK BUFFER

- "IN KEEPING WITH THE INTENT OF THE KETCHUM CODE (CHAPTER 17.88) THAT AREA WILL BE ENCOURAGED TO BE AN EFFECTIVE RIPARIAN ZONE RATHER THAN AN URBANIZED DEVELOPED AREA."



## MATERIAL & PRODUCT SUSTAINABILITY ASSESSMENT

MATERIALS RECYCLED CONTENT

RAPIDLY RENEWABLE MATERIALS

SUSTAINABILITY HARVESTED MATERIALS

PRODUCT REUSABILITY AND RECYCLABILITY

AIR INDOOR QUALITY

- REDUCING OR ELIMINATING HARMFUL CHEMICALS
- IMPROVED INDOOR AIR QUALITY
- REDUCED TOXINS

MANUFACTURING ENVIRONMENTAL PRACTICES

- REDUCING ENERGY, WATER, WASTE
- AND GREENHOUSE GAS EMISSION

OPERATIONAL PRACTICE

- FAIR LABOR
- HUMAN RIGHTS PRACTICES
- REDUCED OR OPTIMIZED PACKAGING
- SUSTAINABLE RAW PACKAGING MATERIALS



## CONSTRUCTION MANAGEMENT PLAN



### GENERAL SITE MANAGEMENT

The Tribute Portfolio Hotel Ketchum is being designed as a multi-year project consisting of four below grade parking facilities with commercial/residential structures above. Associated roadway and subsurface utility improvements will also be phased throughout the duration of the project. In the pages that follow you will find information about safety and security measures to be taken at each individual site, where vehicles will load and unload, how soil export and below grade shoring activities will take place, where and when roadway and utility improvements are anticipated to occur, how the Construction Manager proposes to operate administratively, and the timeline and phasing of the construction project overall.

### HOURS OF OPERATION

ADMINISTRATION	7:00a – 1:00a
BUILDING CONSTRUCTION	7:00a – 9:00p Monday – Saturday 9:00a – 6:00p Sunday

No exterior work of any kind will be proposed or undertaken outside of the hours identified above. Construction will be suspended or restricted at the request of the Building Official to accommodate special events.

### SITE LOGISTICS

#### CONSTRUCTION ADMINISTRATION

An administrative area will be established for the use of all construction personnel actively working on site.

Construction office – due to space constraints on site Okland and our trade partners will seek construction offices at an off-site location. If a suitable location cannot be identified two construction trailers will be sited within the construction zone.

Parking – if an onsite office is necessary a parking area will be established for the use of personnel assigned to work in the construction office complex. Parking in the administrative area will be limited to administrative personnel; all parking for trade personnel will be off-site.

### OKLAND TRADE MANAGEMENT

### PARKING AND TRANSPORTATION

Off-site parking will be provided by the Construction Manager for all trade employees. Bus service to transport employees from distal parking to the job site will be available for one hour before the start of shift and for one hour at the conclusion of the workday. Emergency transportation will be provided to employees by site safety/security personnel as needed throughout the day. For those trade employees that prefer, significant public parking and transportation options exist. The Construction Manager will develop and make available to all trade employees a written transportation plan to inform workers of the available options as they develop their personal strategy for arriving for work.

### RESTROOMS

Separate men's, women's, and unisex accessible restrooms will be provided at individual work locations throughout the job site. Restrooms will also be available in the construction office facility, staff facility, and in restroom trailers in the administrative area parking lot. Restrooms will be maintained periodically to assure that employees have sanitary facilities at their disposal.

### BREAK ROOM

A break room will be provided for employees within the construction zone. Although employees are free to avail themselves of public food service and grocery outlets, employees will be encouraged to utilize the heated and well-lit on-site break facility. The employee break facility will offer refrigeration, microwaves, seating accommodations, refuse removal, etc.

### COMMUNICATIONS WITH EXTERNAL PARTIES

Because the active construction zone is in close proximity to adjacent landowners and the general public, and is of interest to members of the community, a communication tool will be established by the Construction Manager to disseminate information and receive public feedback in real time regarding the construction. With the goal bring to provide an open conduit for information flow regarding the project, an individual will be assigned from the project management team to manage all external communication and assure open interaction between the project and the public.

### WEBCAM

Camera locations will be established to provide interested parties with a real time look at construction activities as they progress.

### CONSTRUCTION COMMUNICATIONS

A Facebook page will be established for the duration of the project to keep interested parties informed about work taking place on the job site. The page will include the following:

- A link to webcams.
- A weekly schedule of activities including a rolling three week look ahead.
- Notice of road and walkway construction impacts.
- Notice of delivery activities and any associated hoisting activity adjacent to roadways.
- A blog that will provide a weekly update of work accomplished, work in progress, and work anticipated.
- A spot devoted to receiving feedback from the public.
- Project photos.
- Other items of interest to those community members or area guests that are impacted by the project.

### BI-MONTHLY PUBLIC FORUM

The construction manager will conduct a bi-monthly public forum that is open to all interested parties. The meeting will be focused on receiving feedback from the public, discussion of mitigation measures should concerns arise, and to share directly with interested parties the course of construction for the upcoming month.

### MONTHLY PROGRESS UPDATE TO THE CITY

The construction manager will provide a written monthly progress update to the Ketchum Planning and Building Department outlining current project status. A document disclosing all public feedback received during the month will be compiled to keep city officials well-informed as to public sentiment regarding the project. Along with current progress a one-month schedule look-ahead focused on work to be performed during the succeeding month will be attached.

## CONSTRUCTION STAGING

### LOCATIONS

Off-site – all project participants supplying materials to the construction will be required to store their materials off site for just in time delivery. Limited local storage will be established at a site yet to be determined. Delivery zones will be established and monitored throughout the duration of the construction. Forklift and crane service will be provided with trained rigging and flagging personnel available to assist in loading and unloading operations.

On-site – although every effort will be made to limit staging of construction materials and equipment on site, some storage will be required. Storage in the construction zone will be limited to areas with the security fence perimeter. It is inevitable that some storage will be in areas visible to individuals passing the site however the Construction Manager will keep the jobsite orderly and free of excessive debris. To the extent possible every attempt will be made to keep materials and equipment shielded from view. When practical, storage will be shifted to completed portions of the building. Stored material and equipment will be kept in an orderly fashion.

### DELIVERY OF MATERIALS

Receiving areas for materials and equipment will be established for each parcel. Appropriate traffic control devices will be provided at vehicle approaches and adjacent to any delivery operations. Traffic control personnel will be provided during loading and unloading operations.

### CONSTRUCTION WASTE

Waste materials will be confined to on-site general waste and recycle containers. Containers will be of the 30-yard open roll-off type container and will be kept in good condition. Containers will be emptied periodically when containers become full.

### CONCRETE SLURRY

Concrete wash out activities for concrete delivery and placement vehicles will be confined to the construction zone within the security fence perimeter. Eco-pan concrete recycling containers will be provided, no concrete slurry will be disposed of on site.

## SITE SAFETY

### SITE

PERIMETER FENCING – for the purpose of security and safety the construction zone will be enclosed with removable construction fencing. The fencing will be specifically designed for use during construction activities, will offer ingress and egress paths, and will be maintained daily throughout the course of construction in any given area.

Long-term fencing will be installed with pins drilled into the ground, have permanent gates installed; all gates will be lockable. Fence will be maintained in a locked condition during off hour periods.

Short-term safety fencing will be installed where improvements, reconfigurations, or new site utility infrastructure is being constructed such that the construction activities interface with the public. This fence will be held in place with bases placed on top of the ground and weighted with sandbags. Openings in the short-term fence will be informal to allow for access options. Fence will be maintained in a locked condition during off hour periods.

### TRAFFIC

Patterns during construction – road access and circulation in areas adjacent to construction zones are not anticipated to change during the course of building construction. Periodic interruptions for utility reconfiguration or connections are anticipated at some points throughout the construction. Applications and approvals required by the city or pertinent utility providers will be requested a minimum of 30 days prior to the anticipated commencement the of work. Adjacent landowners will be informed of changes to traffic patterns 30 days prior to the commencement of the work.

General maintenance – where roadways are impacted by construction activities once backfilled all road surfaces will be restored to a paved condition with line markings restored. At all times, but particularly during shoring and mass excavation activities, streets and sidewalks associated with the construction areas will be swept daily or more frequently if needed. A wheel wash will be established at all egress points where construction vehicle movements are taking place.

Snow removal – in areas not impacted by construction, roadways and walkways accessible to the public will be maintained as they would be normally. In areas where construction is present, project personnel and equipment will be utilized to keep roadways and the public way open for pedestrians and resort patrons. Snow will not be stored on site.

### PEDESTRIAN CIRCULATION

Safe pathways – to the extent possible the means of pedestrian circulation will remain as it exists currently. During periods where sidewalks and roadways are being reconfigured and the typical circulation patterns is disrupted, temporary alternate pathways will be provided. Alternate pathways will be defined by temporary safety fencing or movable concrete barricades. In areas where pedestrian circulation is proximal to ongoing construction activities a lighted covered walkway will be provided.

Way finding – temporary directional signage specifically targeted at pedestrians will be provided as the situation requires.

### CONSTRUCTION SIGNAGE

Scrim will cover the long-term site security fence to provide a visual barrier between the construction and the public. Danger signs will be placed at 50' intervals along the entire length of the fence. Material delivery areas will have signs noting their use. All entry gates will have signs noting the name of the construction manager, requirements for proper PPE, site access requirements, and contact information.

### PHYSICAL BARRIERS

physical barriers will be provided as required at all times during the construction. Physical barriers will take the form of temporary fencing, movable concrete highway barricades, or wood framed covered walkways.

## CONSTRUCTION PHASING & MITIGATION

### TEMPORARY SITE LIGHTING

As required, portable light plants will be provided to assure a safe environment for the public and construction personnel. To the extent possible solar powered portable light plants will be used in lieu of fossil fueled light stands.

### FIRE PROTECTION

A fully functional system of fire hydrants will be maintained throughout the construction site. Where it becomes necessary to reconfigure water lines, a construction mitigation plan will be developed showing temporary measures including hydrant location, materials, sequence of construction, schedule, etc. The construction mitigation plan will be submitted to the municipality for approval.

### **ADDITIONAL INFORMATION**

#### STORM WATER MITIGATION AND MANAGEMENT

Consistent with requirements, a SWPPP program will be developed and operationalized by the excavation contractor. The construction manager will ultimately hold responsible for SWPPP compliance.

#### GROUNDWATER MANAGEMENT

While not anticipated, should groundwater be present the construction manager will immediately contact the soils engineer and, in conjunction with the civil engineer, develop a groundwater mitigation plan for review and acceptance by the municipality.

#### DRILLING AND BLASTING

While not anticipated, should blasting become necessary the construction manager will immediately contact the soils engineer and, in conjunction with the civil engineer, develop a blasting plan showing the extents of blasting, establish pay limits, and identify adjacent landowners that may be impacted by blasting activities. The construction manager will establish a seismic monitoring program and site safety protocol prior to the commencement of blasting activities. If blasting is required, a mitigation plan would be developed and presented to the municipality and adjacent landowners for review and acceptance.

#### GENERAL APPROACH TO SHORING

Shoring will be required to enable safe entry to subsurface areas of all building sites. The construction manager will utilize a pile and lagging system to shore excavations. The pile and lagging system require the installation of a series of wide flange steel piles that are inserted vertically into the ground. Steel piles are placed in drilled holes and then grouted into place with concrete. Once piles are in place wood planks, lagging, is installed between the piles to support the side walls of the excavation.

#### GENERAL APPROACH TO MASS EXCAVATION AND EXPORT

Mass excavation activities begin as the lagging is installed. Material exported from the site may be placed on mountain in fill locations identified as suitable by the resort owner. Alternatively, exported materials may be transported through the city to a fill location in brown's canyon. Where exported materials are required to transit through the city a schedule and material movement plan will be developed for approval by the municipality.

## UTILITY WILL-SERVE LETTERS



City of Ketchum  
Planning & Building

January 25, 2019

Destry Simpson  
Magleby Construction  
PO Box 494  
Sun Valley, ID 83353

Dear Mr. Simpson:

The properties located at 251 S Main Street (Ketchum Townsite: Block 82: Lots 3, 21, and Former Lot 22), 260 E River St (Ketchum Townsite: Block 82: Lot 2), and 280 E River Street (Ketchum Townsite: Block 82: Lot 1) have existing connections to municipal water and sewer services. As the existing meters are brass, the Idaho Department of Environmental Quality (DEQ) requires that the meters to be replaced prior to reconnection.

The domestic service for the property located at 250 S Main St comes from an existing fire line and will require extensive flushing as well as bacteria testing prior to reconnection. Due to deterioration, the City anticipates that some pipes may be damaged. Any broken pipes must be replaced by the developer.

DEQ approval is required for all water and sewer lines serving the properties. Water service and main lines are private to all properties from the point of connection with city water. Water infrastructure maintenance and repair will be the responsibility of the property owners.

If you have any questions, please do not hesitate to contact the Planning & Building Department at (208)726-7801.


Abby Rivin, AICP  
Associate Planner  
City of Ketchum Department of Planning and Building

DATE: February 6, 2020

To Whom it May Concern:

The City of Ketchum has both the capacity and is willing to serve, or continue to serve, the proposed Marriott Tribute Hotel at the corner of River Street and Highway 75 in Ketchum.

Sincerely,

  
Pat Cooley  
Ketchum City Water





April 1, 2021

Nick Blayden  
180 N University Ave, Ste 200  
Provo, Ut 84601

To whom it may concern,

Thank you for your inquiry about electrical service at 260 E River St, Ketchum, Idaho

This property is located within Idaho Power's service area in the state of Idaho .

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

To start new service or obtain more information about new service, visit our website:  
<https://www.idahopower.com/service-and-billing/> . You may also contact Idaho Power's Customer Care Team at 208-388-2323, or 1-800-488-6151 (outside the Treasure Valley).

Sincerely,

Cyndi Bradshaw  
Distribution Designer  
Cbradshaw@idahopower.Com  
208-788-8002



451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342  
[www.intgas.com](http://www.intgas.com)

AJC Architects  
Ryan McMullen, AIA Leed Green Associate  
703 East 1700 South  
Salt Lake City Utah 84105

March 24, 2021

RE: 251 S. Main St. Ketchum Idaho 83340. Ketchum Prologue Hotel

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs in order to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

*Lance D. McBride*

Lance D. McBride  
Energy Services Representative Sr.  
[lance.mcbride@intgas.com](mailto:lance.mcbride@intgas.com)  
208-737-6314



401 N 117th St  
Omaha, NE 68154

January 18, 2019

Ms. Vicki Pitcairn  
Magleby Construction  
511 East Avenue  
Ketchum, ID 83340

RE: Marriott Hotel – 251 S Main Street

Dear Vicki,

This letter is written in response to your request for information regarding available Cox Communications (“Cox”) telecommunications services for the Marriott Hotel. The subject property (the “Property”) is located at 251 S Main Street Ketchum, ID. Cox is a licensed telecommunications operator for the City of Ketchum, Idaho. We currently have HFC & Fiber services in this approximate area.

Before Cox can make a commitment to provide these telecommunications services, the owner of the above-referenced Property, or the owner’s agent, must execute Cox Telecommunications Facilities License Agreement. If you will provide Cox with the name and address of the owner of the Property, a representative of Cox will contact the owner to obtain execution of the Telecommunications Facilities License Agreement.

This letter is not intended as and shall not be construed as a legally binding contract for the provision of telecommunications services. No course of conduct by the parties following the signing of this letter shall create or be deemed to create a contract for the provision of telecommunications services between Cox and the owner of the Property, it being the overriding intent of the parties that neither party shall be under any contractual obligation to the other until and unless a definitive Telecommunications Facilities License Agreement and Cox Commercial Services Agreement has been agreed to and signed by both Cox and the owner of the Property. Any expenses incurred or other actions taken by either Cox or the owner of the Property or any third party in reliance on the preliminary understandings expressed in this letter shall be at such party's own risk.

Thank you for your interest in Cox as a possible communications services provider to Marriott Hotel. Should you have additional questions you may reach me at 402-934-0252.

Sincerely,

A handwritten signature in blue ink that reads "Jackie Owens".

Jackie Owens  
Cox Business  
O – 402.934.0252  
M – 402.350.0096

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

April 6, 2021

City of Ketchum  
P O Box 2315  
Ketchum, ID 83340-2215

Re: Ketchum Prologue Hotel

To Whom it May Concern,

Please let this letter serve for the purposes of approved garbage service to be provided at the proposed Prologue Hotel. Service at the site as shown on pdf 210322 – Ketchum Prologue Hotel -Siteplans.pdf & 210322 - Ketchum Prologue Hotel – Level 01 Plan.pdf show an area for dumpster(s) to be located. And hotel staff will locate the dumpster(s) to the pad adjacent to River St for servicing on appropriate days. The dumpsters will need to block the garage access during this time.

Please allow this letter for a will serve for the hotel project at per the above-mentioned plans.

Respectfully,



Mike Goitiandia  
Clear Creek Disposal

.Prologue



