



AGENDA

PUBLIC PARTICIPATION INFORMATION

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If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/85208970890>
Webinar ID: 852 0897 0890
2. Address the Council in person at City Hall.
3. Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER: By Mayor Neil Bradshaw

ROLL CALL:

Pursuant to Idaho Code Section 74-204(4), all agenda items are action items, and a vote may be taken on these items.

COMMUNICATIONS FROM MAYOR AND COUNCILORS:

1. Public comments submitted

CONSENT AGENDA:

City Council is asked to approve the following listed items by a single vote, except for any items that a Councilmember asks to be removed from the Consent Agenda and considered separately.

2. Recommendation to approve minutes of December 5, 2022 - City Clerk Trent Donat
3. Recommendation to receive and file the Treasurer's financial reports - Treasurer Shellie Gallagher
4. Authorization and approval of payroll register - Treasurer Shellie Gallagher

- [5.](#) Authorization and approval of the disbursement of funds from the City's treasury for the payment of bills - Treasurer Shellie Gallagher
- [6.](#) Recommendation to Approve Encroachment Agreement 22816 for Improvements on Public Utility Easements Located at 130 Bear Lane - Senior Planner Abby Rivin
- [7.](#) Recommendation to approve Sidewalk in Lieu Agreement 22819 at 230 Picabo St. – Associate Planner Adam Crutcher
- [8.](#) Recommendation to approve purchase of two vehicles - Water Utilities Supervisor Giovanni Tognoni
- [9.](#) Recommendation to approve amendment one to the City Administrator Employment Contract - Mayor Neil Bradshaw
- [10.](#) Recommendation to approve letter requesting transfer of ownership of Lift Tower Lodge - City Administrator Jade Riley

PUBLIC HEARING:

NEW BUSINESS:

- [11.](#) Recommendation to hold second reading of Ordinance #1243 amending Chapter 13.04.080 (BUILDING SEWERS and SERVICE CONNECTIONS) of the Ketchum Municipal Code - Wastewater Division Supervisor Mick Mummert
- [12.](#) Recommendation for Council reconsideration of Ketchum Arts Commission selections for Art in City Hall - Events Manager & Administration Liaison Eryn Alvey

EXECUTIVE SESSION:

13. Pursuant to Idaho Code 74-206(1)(f) to communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated.

ADJOURNMENT:

Lisa Enourato

From: R Victor Bernstein <bernsteinrv@gmail.com>
Sent: Wednesday, December 7, 2022 1:12 PM
To: Participate
Subject: Re: On the subject of Main Street
Attachments: Ketchum traffic flow.pdf

sure, here it is

On Wed, Dec 7, 2022 at 3:10 PM Participate <participate@ketchumidaho.org> wrote:

Hi Mr. Bernstein and thank you for your email. I did not see an attachment. Could you please resend? Thanks!

From: R Victor Bernstein <bernsteinrv@gmail.com>
Sent: Wednesday, December 7, 2022 12:40 PM
To: Participate <participate@ketchumidaho.org>
Subject: Re: On the subject of Main Street

While anything Russian is a sin for now--I will call your attention to the idea that I saw in Moscow:

There are no left turns from the main streets. Rather traffic must make a right turn onto a side street from which two left turns are made in order to get on to the street for which the original left turn was desired. There would be no left turns at certain intersections.

That is a simple solution, but to make it work better: to achieve desired flow is to have the subsequent left turns be made from a one way street, so that when making the left turn there is no oncoming traffic. Also a traffic light at the intersection of the second left turn would help the flow. Some east west streets would become one way only; others, running east west would be one way on one or the other side of Main Street depending on whether they were east or west of Main Street.

See attached.

If you see any value in this I'd be glad to discuss. 917-969-5936. If not, so be it.

Victor Bernstein

260 Spur Lane

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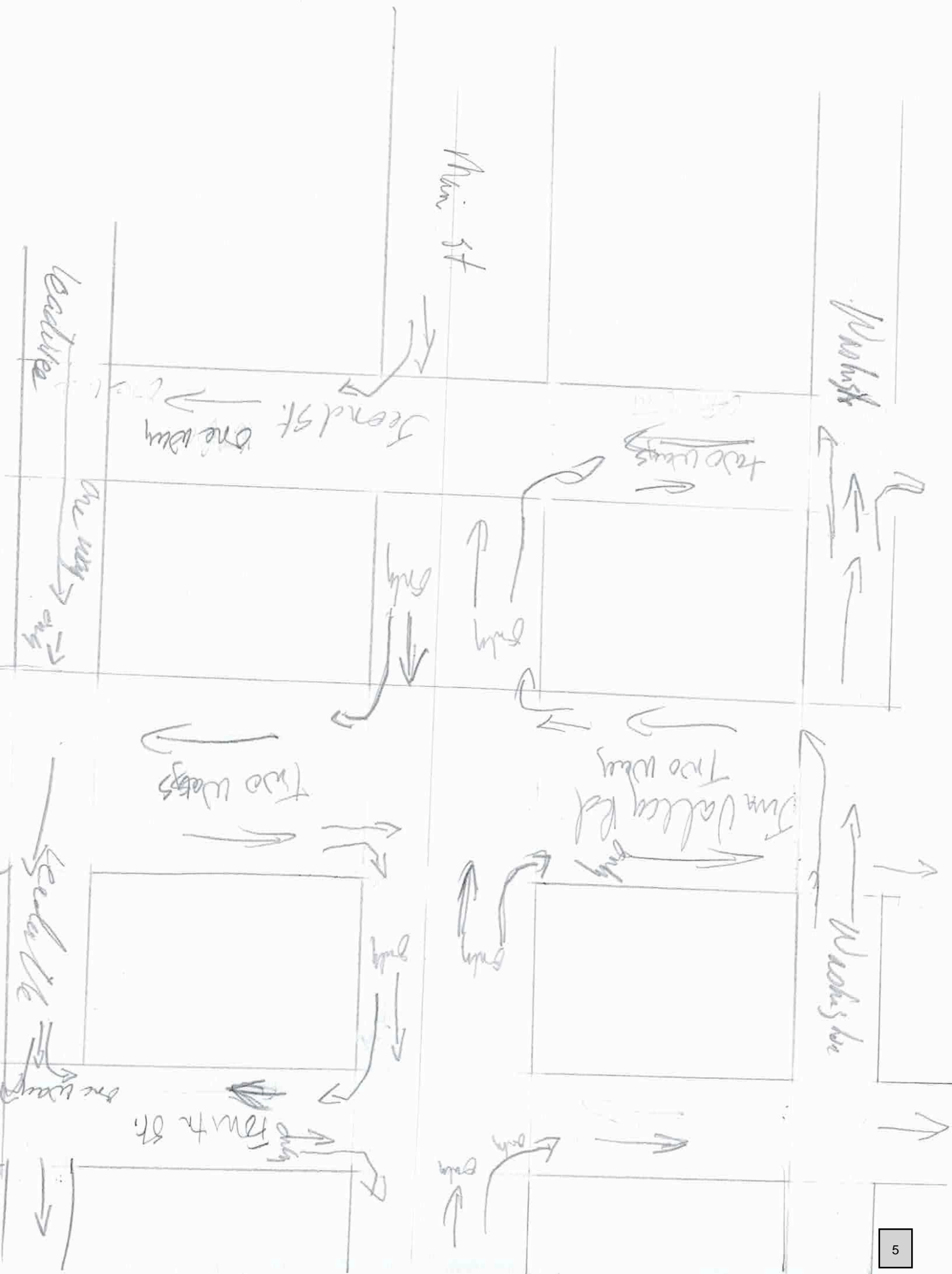
R. Victor Bernstein. This is the private information of the sender. If you are not the intended recipient of this message, please delete it immediately.

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Lisa Enourato

From: Courtney Hamilton
Sent: Wednesday, December 7, 2022 8:38 PM
To: Participate
Subject: Fwd: Main street

COURTNEY HAMILTON | CITY OF KETCHUM

City Council Member

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

mobile: 208.481.1211

[chamilton@ketchumidaho.org]chamilton@ketchumidaho.org | www.ketchumidaho.org

From: Joel Jarolimek <joelskisv@gmail.com>
Sent: Wednesday, December 7, 2022 6:37:19 PM
To: Courtney Hamilton <CHamilton@ketchumidaho.org>
Subject: Main street

I agree with you about the proposed reconfiguration of Main Street to just two lanes to “improve the pedestrian experience”. Nothing like walking along a traffic congested street to ruin a pedestrian experience and giving a message that this town is an overcrowded mess. Solve the most important visual and overall problem, traffic, then work on pedestrian and landscape improvements. I think of Sisters, Oregon one of the most beautiful mountain towns in the west. Their Main St. highway 20 is a traffic nightmare. Beautiful town but the feeling is, “what a mess”, or “I bet this was nice before it was overrun by traffic”, due to constant bumper to bumper traffic. Again, the best start for pedestrian experience is smooth flowing traffic. Joel Jarolimek

Sent from my iPad

Lisa Enourato

From: Susan Michael <susiemichael@cox.net>
Sent: Monday, December 12, 2022 3:26 PM
To: Participate
Subject: WSP feedback
Attachments: WSP Feedback 111522.pdf

As this process progresses areas of concern arise. There are so many obvious details, logistics and site specific elements that are ignored in the process thus far, making this 'Master Plan' a non workable plan. I offer detailed written feedback. I appreciate your time taken to read it. Please feel free to community with me.

Best, Susie

Susie Michael
208.720.6590
Ketchum

Notes in response to the open house & presentation given on 11/14 & 11/15 2022 by
Superbloom & Rio ASE

There are so many obvious details, logistics and site specific elements that are ignored in the process thus far, making this 'Master Plan' a non workable plan without more 'experts' joining in to address these issues.

Timeline—

According to the task requirements we should be farther along with sketch options, plant zones, identify educational concepts, etc.

No vegetation mapping, No 'Lightly rendered plan with 2 alternatives', only two 'hand sketched vignettes', vague at best for 'mood boards for plant zones & educational concepts', 'high level budget updates' no figures available to the public. Task #3

We have paid nearly \$100k for what remains a vague overall sketch lacking details necessary to carry out 'The Master Plan. Material options for 'soft surface' trails, buildings, picnic table & benches with their corresponding maintenance requirements are not mentioned. A Master plan for a preserve without a plant list is curious. Seemingly little design input from our landscape architects on actual design ideas, creativity. They are organizing feedback not creating a Master Plan.

History of floodplain —

It is a noble idea to want to restore the floodplain connectivity. Is it in the land's best interest, ecologically speaking, to attempt to restore the creek to a former natural state? Or is it in the best interest to accept as humans we have really made a mess of things and do what we can to remedy what lies before us? It will never be 100% native or pristine. We have passed that marker. We are not returning this creek to her natural state, but rather attempting to heal her wounds. However, the plan Rio proposes on 14 November 2022 is too large scale for the return it gives to the creek or the money it will cost. We need a far simpler and smaller scale plan that is more practical, one that serves as floodplain connectivity but not a 'water feature' as Rob coined the main little side stream that trickles through the lower tier. An attempt to drastically modify 1 mile of creek riparian zone to correct the egregious errors we have placed upon Warm Springs Creek all along her city's course may not be the most viable solution. There must be reasons for past intentions for creek restoration not to have been carried out. Another scaling back is necessary, if for no other reason to have an option to explore outcomes.

The plan does not use water for multiple purposes. The aesthetics of the main small stream/'water feature' dominates the function thus not creating a regenerative and self sustaining system. Appropriately placed swales (permaculture swales seem to differ from the large open swales labeled in this rendering) will cost less to construct, displace less soil, causing less repair and revegetation due to alterations and less water needs for repair as well as provide for multiple function of water diversion.

The existing pond is a jurisdictional wetland; the only one in the upper acres. Take advantage of this by augmenting its efficacy, function and size. You could backfill it with some of the soil excavated to form the new pond. Place the new pond near and down stream from the existing pond still using the head gate with a channel to feed the new pond through the 'new' wetland old pond. On the downstream side of the new pond allow for an exit swale to provide seasonal additional irrigation to the riparian plantings at high water years.

It appears the plan is too large an area of 'floodplain connectivity' for the amount of water in Warm Springs Creek. She has flooded at record highs using far less land area than is proposed here in other locations along her course. She floods all along her course. It is unreasonable to believe we will mitigate behavior just at this site near the end of her run. Large scale natural events, avalanches, mud slides, pushing huge amounts of debris into her path have greatly altered her course upstream, altered the wetlands, redefined the floodplain. Again, it seems we are not looking at the entire picture. In this case how her course has altered in recent years along her full length. This has impact on what we do in this short stretch as she will continue to morph, always.

You have proposed two smaller side channels that more immediately return to the creek, perhaps this serves the purpose of flood mitigation better than the long one running through a large portion of the land. Or/and create a side channel closer to the bridge and one or two side channel access points downstream of the bridge. Then we can utilize the natural floodplain of that lower area to the left of the driveway as you enter- where proposed artificial beaver dams are situated- with far less earthworks as the banks are lower. Sheet folding is appropriate here and without much manipulation is achievable. These small side channels may better serve the fry not being situated in the line of traffic as they are designed now. These more in scale side streams may retain water perennially better serving aquatic species.

Create small flood cells in a few places along the creek both above and below the existing pond to accommodate high water run off which would create pools/eddies for fry, demanding less earthworks. It appears this idea is somewhat mentioned in the plan. Swales can be incorporated here for early season supplemental irrigation.

Use the gravel beds existing in stream. Redefine the channel through them where natural floodplain already exists as shown on FEMA map. And create, augment the 'benches' technique with logs perpendicular to the creek to catch sediment but allow a rise for high water to flow over. Especially at the ~16 ft steep bank near Cimino's property. (large spiral bound The Bigwood Restoration Book) It appears this idea is somewhat mentioned in the plan.

We can preserve the southern portion if we limit human engagement here. We must to respect the land, wildlife and nature's course and not interfere save for minimal creek braiding restoration. By developing greater access the dilemma we face at the upper acres will then be served upon the lower. Please take a moment to be intelligent and not continue to make the same mistakes. Perhaps diminish some of the proposed trail length and scope.

We continue to disregard and under value the necessity of the riparian zone all over the city and county. The new subdivision across the creek only has the 25' riparian setback for fairly large houses and many of the lots are in floodplain. All the older cottonwood trees were systematically removed from the riparian area at the onset of the subdivision development. New houses on Irene Street waterfront lots have been allowed to cut down very large mature cottonwood trees and other vegetation in the riparian area. Many/most of the yards of the houses along Irene and Bald Mountain Road manipulate the riparian and floodplain areas of the creek. In most cases this land is not their property to manipulate. Yet, we allow it by not enforcing riparian guidelines. It is contradictory to stage a 'full blown restoration' under the guise of doing the right thing whilst we have literally compromised the floodplain and riparian area on the opposite side of the creek as we simultaneously preach creek restoration. This land has been drastically altered and the creek has suffered the highest consequences. Let's mitigate reasonably what we can and become conscious of water course health giving it more value than individual, manmade, materialistic capitalist ventures.

Protect, respect and allow wild environment to exist in and amongst our built environment. We need to come to terms with the necessity of nature's intelligence to teach us rather than continually trying to dominate her. Creek and river health is intimately connected to the riparian zone and the upland ecology. All this creek work can easily be drastically damaged with a flood year anytime in the first 5 years after 'construction'. Heavy rainfall spring or autumn could carry soil from insufficiently vegetated uplands into the new creek restoration.

The larger view of what is presented to us with the opportunity of this persevere is getting lost in politics. We are missing the root causes that brought us to the land in such dire need of restoration. We are missing the vision this land offers on a grand scale that endures for generations not just the current administration.

Feedback/thoughts—

Use permaculture practices. Complimenting the vegetation placement in a layered scheme to provide habitat, conserve water, create water, enhance biodiversity all synergize promoting the health of the land. Consider the entire tract of land as one cohesive ecosystem; one ecology working in harmony with itself. That harmony involves leaving portions untouched by humans or minimal human impact -The Woods, Southern Floodplain. It involves a comprehensive meshing of vegetation; this is biodiversity. It involves an irrigation plan in conjunction with species selection and placement. Public comment is in favor of it being in a natural state but we focus on parking lots, restrooms and concrete and soft surface paths.

Every presentation spends considerable time reviewing desired goals and 'high level values', but far less actualization of implementation methods or actual logistics to achieve these goals. No ideas about areas to be planted beyond vague 'additional screening' along parking lot, 'wildflower meadow'. Taking 10 jpeg images off the internet of common intermountain west flora is not site specific nor a declaration of biodiversity. It also leaves a chasm between the 'concept' and manifestation in practice of how vegetation is placed in design.

A. The soil from earthworks being placed in topographical design is contrived. Dirt mounding, berms, is not seen anywhere in the natural Warm Springs drainage. This type of land sculpting, berms, is a landscape design 'tool' to create 'interest for the eye' or function as barriers for privacy or used when the soil is too compacted or dense to provide drainage for plant material to survive. Is saving money to haul soil away the ticket or is doing less earthworks the ticket? Is it worth the savings to compromise the landscape by creating more artificial manipulation that does not facilitate regeneration.

We do have options for earthworks to be rearranged to top dress the turf areas and reseed with ecological and site appropriate species. Can elaborate.

B. Micro climates- these topo features do not create a microclimate. If anything they create more square footage of drier land as the water in the mounded soil will evaporate and drain more quickly. They inhibit open space movement. The earth moved here will need rocks picked out and shaping causing soil compaction and another area of mess that can be avoided by not employing this idea. It will cause greater need for more extensive revegetation to restore the manipulation.

Definition of a microclimate:

In a nutshell, the specific characteristics of wind, water retention, aspect, sun exposure, elevation (not in terms of 3' feet), specific plants growing naturally, soil type and composition.

Ryan WRLT explained to me that the excavated earth would likely be used to back fill the steep slopes between the upper and mid tiers to lessen the slope angle. So we are considering continued disruption of established, albeit not completely naturally existing, topography in order to serve yet another manmade manipulation. These slopes are at present one of the few areas, actual microclimates, that contain thriving native plant species communities. Although the entire land has been altered, these slopes have been less trod upon, less manipulated and these native populations have likely reestablished since the creation of the golf course 60+ years ago. Please don't decimate them. They deserve to remain, be respected for their tenacity of survival in spite of human intervention. If you are not aware of existing species and their location on the land you are not protecting existing eco systems! (an identified goal)

Furthermore, the middle tier is being presented as one area. It is clear that there are several different microclimates in this section. Sunlight, soil type and composition, elevation, tree cover etc is not consistent throughout this mid tier. This area is far more diverse than the attention it is receiving as a potential 'wildflower meadow'. Not all 'wildflowers' thrive in the same conditions or amongst all grass species. This demonstrates the lack of understanding for *this* land and what it has to offer. This demonstrates a lack of restoration ecology understanding.

The virtual pictorial rendering depicts uniformly height grasses speckled with wildflower color and a mowed path of solid sod grass flanked by berms which in no way is reflective of the surrounding native fields/meadows of the Warm Spring drainage. They have borrowed by my design idea down to my exact language of 'mow a path through grasses' and 'intending to mimic the design of native fields and meadows' without the understanding of this site, the local flora and their growing requirements, soil preference, local topography and species groupings making them unable to design a field 'to mimic the design of native fields and meadows' as it is beyond their level of expertise.

Map vegetation specific to smaller areas on the preserve where microclimates exists. There are many. In my design plan (in your info packet for the 13 Sept 22 meeting) I identify many such areas each with their own characteristics which provide for greater biodiversity, educational opportunities, interest for the people experiencing, multiple habitats and beauty. Can elaborate here.

Why does this matter? If they are responsible for a design they cannot elaborate into manifestation without specific design elements for the vision it is not a design but a vague idea.

A designer that does not understand/or is unable to envision the concepts they purport to design demonstrates it is not actually *their* design. Using verbiage without a foundation of the vision it embodies creates nothing, disconnection. A key concern is the fact most of the projects on Superbloom's website are only in virtual conceptual form as they have not been constructed in physical form on actual land.

We are shown a sketch rendering of a building that fails to provide mower, truck entry/exit, a line drawn to represent a loop trail, a dysfunctional and impractical parking lot configuration and one landscape element involving a 'meadow' idea that as I have explained demonstrates their fundamental misunderstanding of plant landscape design.

C. There is still no stewardship plan for the land. 02 Design for Success over Time -- Yet, no stewardship mention or plan, no practices that suggest long term regenerative qualities. No long term maintenance and care plan for the Preserve. Huge error in planning. The planning is intimately hinged upon the long term evolution, care, maintenance, and self sustaining qualities built into the plan from the beginning. How we plan will determine how it will be cared for and what care it will require. Native plants will need assistance reseeding for many years. It is unrealistic to plant plants or seeds and expect them to all grow or germinate 100% and need no further replanting. It will need management forever and that care may likely reach beyond the experience of our current parks staff.

D.To state, 'The existing upper Fairway is a unique and special landscape.....' is simply not an ecologically conscious statement. No options for the water consumptive Kentucky Bluegrass demonstrates a lack of creative initiative and does not align with the one of only three 'improvement areas' stated in RFP. Our valley is riddled with acres of water consumptive Kentucky Bluegrass. It appears that the two lower grass areas on either side the of the entry driveway are to be irrigate with no change to the species that exist there. USFS has dictated the need to restore native grasses in areas abutting USFS land. A mono crop provides little to

no habitat or ecological value to the ecosystem as a whole. 04 Demonstrate Leadership through Regeneration of Healthy Ecosystems for People, Plants & Animals. Yet we water golf course turf, only reclaim 'some' edges and parts here and there of the landscape. The focus is primarily on what people want over what is vital for the land to thrive. It will remain or revert to a dead zone if not designed in ecological terms over human desire terms. Replacing one mono crop with another, clover, is not the answer. A blend of grasses tolerant of foot traffic and low water needs would be the best option. Courtney offhandedly mentioned clover in the Sept 13 meeting and that 'solution' has been fixated upon since. I can share other strategies for this area.

E. No irrigation system design layout or irrigation schedule for the land. Without temporary irrigation intentionally installed any new plantings anywhere on site will take far longer to establish and be less successful in general. Native plants need water to establish. They may require watering once a season once established if it's particularly hot and dry so we don't lose our plantings. A seed can remain in the soil for decades waiting for sufficient water to germinate. Not all native plants are drought tolerant. Water rights allowed for the irrigation of the entire golf course. With judicious water usage and timing of use, timing of plantings in sections in phases, not the whole revegetation scope at the same time, we can achieve wonderful results that are self sustaining and regenerative. Bothering to install the correct system for our needs means less water usage, less failure of intentionally planted, restored, rewilded areas. Having a system in place does not mean we have to irrigate continually, but the option is there for best results. We live in high desert. It is very dry so water use is water conservation. It is not negotiable. This is a prime example of money spent upfront saves on the backend in perpetuity. Permaculture practices must be employed, not just for the plants and the growing but in the design - permanent culture, be it the culture of human or culture of the ecological environment. Evolving growth that follows nature's intelligence. One principle of permaculture; 'Each element performs multiple functions. Choose and place each element in a system to perform as many functions as possible. Increasing beneficial connections between diverse components creates a stable whole. Stack elements in both space and time.' Example, swales and paths direct water to irrigate.

F. There has been the concept that 'construction' will happen at X date and then we wait for fruition of plant materials and earthwork efficacy. This is in no stretch of the imagination a one time construction phase, planting phase and then completed. The noxious weed control alone will take at least 2 seasons to manage before restoration plantings can begin in earnest or we'll have a big mess costing more money and time jeopardizing the end result. This restoration, rewilding will take successive years. This fact has not been addressed. This is what design means and appears to be completely lost in the process we are now experiencing. This is a small part of the 'maintenance' discussion that has yet to be had.

G. No mention of the preserve being closed for a period of time while creek restoration or irrigation are installed or newly planted areas are establishing. Dogs will not be able to run at large with machinery on site. Dogs will jeopardize new plantings; we will require at least temporary fencing. It is quite possible the whole preserve will be closed for a growing season or two while rewilding happens. This is the time that the community engages with the preserve in another fashion, as volunteers in the reclamation as active students in the discovery of the natural world, in the manifestation of their preserve.

H. We build the soil rather than rely on bringing in 'soil amendments' as Superbloom stated would be looked into for the next presentation. Building soil creates fertility, soil microbes, zero waste of on site debris, debris from other Ketchum parks could be incorporated. Making compost and only importing compost until we have a sufficient quality for our purposes probably is necessary to get started in *certain* places, under *certain*

conditions to achieve a *certain* goal. Then we continue to make compost. Yet poor soil is ideal for many of our native plants and grasses. It must be understood what we are growing and what conditions are needed for them to thrive. This isn't a garden bed! We don't dive in a make all the soil ready as if we were planting vegetables.

I. Southern Floodplain: quote from Preliminary Environmental Report created for the WSRR 2008 "The south portion of the property currently has low human use and no permanent human presence and is used by big game for cover and by songbirds for nesting and feeding. An increase in human presence as well as the indirect affects of lighting, pets, and urban wildlife will affect how wildlife uses the area.' Nothing more than a small dirt path, no dogs allowed on or off leash." Pristine elements are destroyed quickly by the presence of people. With dogs the wildlife will largely disappear and/or create conflict. This is a stay on the path no romping through section. It appears this portion of the creek restoration is on point. Not the place to relocate and isolate disc golf and their community.

J. Restrooms: Are we drilling a well, creating a septic systems, having our 2 drain fields in wetland or floodplain? Or are we connecting to city sewer and water via under creek installation? Yet, in the same breath we claim to be conscious of creek health and costs. Completely contradictory. Restrooms on this site are not ecologically appropriate. From whose private property on the opposite side of the creek do we access city water and sewer? Is the tiny silver of land between the last Bald Mountain lot and the first upstream new subdivision lot sufficient size to run these lines? There was fairly unanimous consensus that cost was a driving factor in determining the 'success' of the project. Now we must also add more power_usage for heat and plumbing function, time and labor for cleaning which adds to the load not ecologically minded. The garage/storage section of the pencil rendering of the 'garage' allows for no entry/exit 'driveway' for mowers, gators, trailers or a truck. One or two vault toilets for 'emergencies' only. Restrooms make the preserve a venue. It is not! If the garage is attached to the restrooms the 'welcome' signature of the preserve is a utility building. Is that setting us up for a nature experience?

K. The paved very programmed parking lot connecting to a tangle of multiple walkways leading to building resembles a restroom exit on the highway not an entrance to a nature open space/preserve. Your focus is entirely on manmade structures not on nature which is why one comes to this place. The rendering suggests planting islands in and around the paved parking spaces configuration. That is a plowing nightmare, a water consumptive idea as the asphalt will increase heat and dry out the small planting areas. It is wholly impractical in snow country or high desert. Parking lot asphalt is a petroleum product that leaches into the ground water. The lots at upper and lower River Run, Hulen Meadows, Adams Gulch, Boundary Camp Ground, Lake Creek which are all high traffic areas functioning very well unpaved and have for decades. There are also no restroom at these sites. (save campground itself , which are vault)

L. Are we using any of work/design presented by Helios to City at Waterways Design Review? Perhaps therein is proposed another option? Again perhaps we have completed redundant design work costing unnecessary expenses. Please read the environmental reports. Although they were compiled for a different end goal, they do indicate the dead zone we desperately need to rewild.

M. It sounds very much like C of K based their notions of this preserve based on The Preliminary Environmental Report created for the WSRR application for development dated February 4, 2008, Updated April 29, 2008. This report of course was for the purpose of developing the land and so did not consider the restoration of the entire piece of land as it was slated for development. Here in lies the main stumbling block as to the curiosity of not wishing to reclaim all the ecosystem/land. I believe this was an error in the overall scope of the WSP

from the onset and needs to be remedied immediately. This was a template used for a very different project with a very different end goal. WSP deserves its own template!!!

N. Before we pay twice for part of the education piece: 'The history and former physical layout of the Warm Springs Ranch has been compiled as part of the Warm Springs Cultural Resource Survey. Archival black- and-white photos were taken, historical information and photos gathered, and a short historical narrative of the ranch history compiled. Copies of this information were provided to the Idaho State Historic Preservation Office in Boise. The information gathered during the survey will also be interpreted by the following:

- Writing a detailed Historic Context Narrative of the Warm Springs Ranch property, including copies of related historic photographs. This detailed Context Narrative will provide the basis for sharing information about the property's unique history. A copy of the Context Narrative will be provided to the Regional History Department of the Ketchum Community Library.
- Creating an interpretive brochure with map and historic photographs of the Warm Springs Ranch will be made available to WSRR guests.' Where is this information now? This is an amazing opportunity for local students and/or community members to dive into.

O. The education piece is not confined to history which can easily be documented by conventional signage, etc. But education is in the relationship one begins to cultivate with nature with this land. The way one becomes calm and clear and resets in nature- psychology, mental health. The friendships and understandings one nurtures with plants, trees, animals and other humans while on the Preserve. The botany, eco restoration, bird watching, nature observing opportunities, community engagement in the rewilding process and much more that are endless in their inspiration. We learn what reciprocity means via first hand experience with nature. Being present. Arts and sciences draw from nature at their root. A valuable education for benefit of all earth's humans. It can be self sustaining in revenue through programs offered by the non profit that manages the preserve. I have extensive ideas on which to elaborate on this topic. Some can bring in money for maintenance of the preserve.

P. Success not determined by low cost, but rather, 'Specific performance goals for restored habitat will be defined by qualitative and quantitative characteristics using similar habitats in a nearby reference reach.' (EIR) Have we restored land to better function in terms of its ecological place than we found it? Better ecological function benefits human experience.

Q. Not a single mention of community engagement in the reclamation process itself. Community involvement in the rewilding, preparation for planting, planting and tending of the preserve. The coming together of community for a focused goal arrived at through compassion and reciprocity for the land and her many gifts. This is Ketchum's character.

10. Design goals;01 Create a Preserve that is Connected and Accessible to All —only considering the people access connectivity not the ecosystem flowing as one supportive interwoven unit

04 Demonstrate Leadership through Regeneration of Healthy Ecosystems for People, Plants & Animals—yet we water golf course turf, only reclaim 'some' edges and parts here and there of the landscape and make no mention of connectivity between the relationship of people to plants or land.

R. Trails/paths. We must keep the built aspect of this project to a minimum and the more input there is the more manipulation is suggested which makes this an engineered site. ADA criteria can easily be met from the parking area throughout the preserve. Once there is a planting plan those paths may be created to follow the landscape for the best nature immersion experience. Smaller trails can lead off from these ADA paths that are not necessarily ADA but the intention would be to commingle experiences. All viewing sites of the creek can have a flat surface- level soil perhaps with light gravel to accommodate ADA and nonADA. The more 'viewing platforms' such as those made from wood and the like the more maintenance,

the more built environment, the greater expense and the more engineering of the natural space. Putting a product on the trail' soft surface' creates a huge amount of maintenance. This is why trails are made of dirt.

It is contraindicated to overly program people to experience a natural open area. Paths and trails serve the purpose of protecting the flora from being trampled and causing erosion. Placing a wide surfaced trails over the roots of our mature Douglas Fir will harm their health.

The trails will determine themselves once planting design is arrived at. A simple loop is proposed at present. Social paths will develop. Service roads already existing will in part dictate trail flow. Open space flow is not to be programmed. Again, permaculture practices combine the service road, garage storage building access with the paths and trails so all are doing double duty thus we lessen the managed aspect of the preserve.

S. It is not true that we can just change 'that' out later. When a reclamation, rewinding of land is not well thought out there is disruption of areas already reclaimed, extra moneys necessary to 'fix' the problems and wasted growing time due to lack of foresight. The idea is to plan for evolution of the land, the human use of it in relationship to the natural elements that are not meant to be powered over, but worked with in partnership.

T. If Superbloom nor Rio actually implement their designs, then when do start to engage the process of manifestation? When do you intend to engage those with knowledge of planting site preparation, planting species selection, method or practices of preparation and planting, irrigation layout? Attending to this sooner in the process rather than later will save money, be much more efficient and result in a cohesive end result. All too often in my professional experience, the disconnect between the landscape architects rendering and the actual feasibility of the plan, in terms of scale, especially in terms of vegetation- trees, flowering plants, grasses- needs to be redesigned to function in a practical and workable way. We need a small team of landscape gardeners collaborating with a restoration ecologist for guidance and community members interested in participating to take it from here. Landscape architects build -paths, structure placement, parking lots, etc outside. The 'Master Plan' must include plant knowledge for ecology design and restoration and preservation of existing ecosystems.

U. I was told to trust the process by the Mayor and yet it seems like the outcome of the 'preserve' has already been established by the city and this process is far more about politics than true community engagement. The surveys are skewed to reflect positive feedback for what is presented, suggested and encourage agreement with our 'experts'. All over the world preserves are created. We have the opportunity to establish a significant preserve. There are established ways of creating preserves. There is no need to reinvent the wheel. A preserve is defined no matter how many people choose to impose their own definitions. However, in the case of Warm Springs we need to carry out reclamation, restoration, rewilding on much of the site before we can preserve the site. Future thinking is about reestablishing a co creative relationship with nature. We have the opportunity to be innovators of community land restoration, increasing biodiversity and being part of the solution rather than contributing to the demise of our world. This is permaculture in practice.

Various iterations on a definition:

A nature reserve is a protected area of importance for flora, fauna, or features of geological or other special interest, which is reserved and managed for purposes of conservation and to provide special opportunities for study or research.

An area of land that is managed in order to conserve wildlife or plant habitat or other natural features.

Nature reserve, area set aside for the purpose of preserving certain animals, plants, or both. A nature reserve differs from a national park usually in being smaller and having as its sole purpose the protection of nature.

A bioserve or sanctuary.

An area of land that is protected and managed in order to preserve a particular type of habitat and its flora and fauna which are often rare or endangered.

In our situation, with rapidly continued development, land in its natural state is the endangered species and all the inhabitants of nature also become endangered.

Elements of a preserve include:

A management plan drafted by the organization in charge of managing the reserve for X years, sets out the objectives and the resources to be deployed in the field to maintain or restore the relevant environments.

The protection of nature, including the conservatories of natural space.

Passionate knowledge people empowering other people with the significance of natural elements, plants, ecology, and the intelligence of nature that makes all life possible.

As a rewilded tract of disturbed land we have an opportunity to demonstrate how to correct egregious human intervention. Had the land not been altered by a golf course and houses built in the adjoining floodplain, it would have morphed and changed with the creek and the elements and the passage of time. We can not undo all that has occurred on this land, but we can allow nature the space for her intelligence to work its magic. The design we choose must always be in a state of flow to follow nature's lead not our singular short sighted 'gains'.

I offer this freely from a highly knowledgeable and experienced perspective. I see the vision of what is possible. I invite you to see that vision, this community space; community of people in relationship to land and nature as well as each other. I invite you to see the larger picture of the opportunity before us. Recreating habitats to reset ecological balance. To gain knowledge from beauty. Gathering sustenance from the nourishment of the elements. Finding courage freeing our spirit embraced by nature. The health of this land is a condition of beneficial dynamic balance which at present is out of balance. Its health is linked to our health. The possibilities and continuing benefit that will ripple for many more beyond our small community when we approach The Warm Springs Preserve with respect in reciprocity ensure abundance. The adoption of The Dark Sky ordinance will be supported in kind by a significant preserve.

Ok nice words, but show me. I would like very much to have the opportunity to show you! flack he what, why and how at the foundation of my words. And it will be cost effective, short term and long term. All these other benefits I speak of are free as a result of a comprehensively well thought out plan.

Thank you,
Susie Michael

Lisa Enourato

From: Susan Michael <susiemichael@cox.net>
Sent: Monday, December 12, 2022 3:27 PM
To: Participate
Subject: feedback on WSP based on 11/14/2022 presentations

It is a noble idea to want to restore the floodplain connectivity. Is it in the lands best interest, ecologically speaking to attempt to restore the creek to a former natural state? Or is it in the best interest to accept as humans we have really made a mess of things & do what we can to remedy what lies before us? It will never be 100% native or pristine. We have passed that marker. However, the plan Rio proposes on 14 November 2022 is too large scale for the return it gives to the creek or the money it will cost. We need a far simpler and smaller scale plan that is more practical, one that serves as floodplain connectivity not just a 'water feature' as Rob coined the little side stream. An attempt to drastically modify 1 mile of creek riparian zone to correct the egregious errors we have placed upon Warm Springs Creek is not the solution. We can preserve the southern portion if we limit human engagement here. We ought to respect the land, wildlife & nature's course & not interfere. By developing greater access the dilemma we face at the upper acres will then be served upon the lower. Please take a moment to be intelligent & not continue to make the same mistakes.

We continue to disregard and under value the necessity of the riparian zone all over the city & county. The new subdivision across the creek only has the 25' riparian setback for fairly large houses and many of the lots are in floodplain. New houses on Irene Street waterfront lots have been allowed to cut down very large mature cottonwood trees in the riparian area. It is contradictory to stage a 'full blown restoration' under the guise of doing the right thing whilst we have literally compromised the floodplain & riparian area on the opposite side of the creek. This land has been drastically altered and the creek has suffered the highest consequences. Let's mitigate reasonably what we can and become conscious of water course health giving it more value than individual, manmade, materialistic capitalist ventures.

Protect, respect and allow wild environment to exist in and amongst our built environment. We need to come to terms with the necessity of nature's intelligence to teach us rather than continually trying to dominate her.

All this creek work can easily be decimated with a flood year anytime in the first 5 years after 'construction'.

Some ideas are lined out below [Possible Solutions/Suggestions](#).

A. The soil from earthworks being placed in topographical design is contrived. Dirt mounding, berms, is not seen anywhere in the natural Warm Springs drainage. This type of land sculpting, berms, is a landscape design 'tool' to create 'interest for the eye' or function as barriers for privacy or used when the soil is too compacted or dense to provide drainage for plant material to survive.

B. Micro climates- these topo features do not create a microclimates. If anything they create more square footage of drier land as the water in the mounded soil will evaporate & drain more quickly.

Definition of a microclimate:

In a nutshell, the specific characteristics of wind, water retention, aspect, sun exposure, elevation (not in terms of 3' feet), specific plants growing naturally, soil type & composition.

Ryan WRLT explained to me that the excavated earth would likely be used to back fill the steep slopes between the upper and mid tiers to lessen the slope. So we are considering continued disruption of established, albeit not naturally existing, topography in order to serve yet another manmade manipulation. These slopes are at present one of the few areas- actual microclimates, that contain thriving native plant species. Although the entire land has been altered, these slopes have been less trod upon and these native populations have likely reestablished since the creation of the golf course 60+ years ago. Please don't decimate them. They deserve to remain, be respected for their tenacity of survival in spite of human intervention.

Furthermore, the middle tier is being presented as one area. It is clear that there are several different microclimates in this section. Sunlight, soil type & composition, elevation, tree cover etc is not consistent at all. This area is far more diverse than the attention it is receiving as a potential 'wildflower meadow'. This demonstrates the lack of understanding for *this* land and what it has to offer.

C. There is still no stewardship plan for the land. 02 Design for Success over Time —yet no stewardship mention or plan, not practices that suggest long term regenerative qualities. No long term maintenance and care plan for the Preserve. Huge error in planning. The planning is intimately hinged upon the long term evolution, care, maintenance, and self sustaining qualities built into the plan from the beginning. How we plan will determine how it will be cared for & what care it will require. It will need management forever & that care may likely reach beyond the experience of our current parks staff.

D. To state 'The existing upper Fairway is a unique and special landscape.....' is simply not an ecologically conscious statement. Our valley is riddled with acres of water consumptive Kentucky Bluegrass. A mono crop provides little to no habitat or ecological value to the ecosystem as a whole. 04 Demonstrate Leadership through Regeneration of Healthy Ecosystems for People, Plants & Animals. Yet we water golf course turf, only reclaim 'some' edges & parts here & there of the landscape

E. No irrigation design layout. Without temporary irrigation intentionally installed any new plantings anywhere on site will take FAR longer to establish & be less successful in general. Native plants need water to establish. Not all native plants are drought tolerant! Water rights allowed for the irrigation of the entire golf course. With judicious water usage & timing of use, timing of plantings in sections, not the whole revegetation scope at the same time, we can achieve wonderful results that are self sustaining & regenerative. Permaculture practices must be employed - not just for the plants & the growing but in the design - permanent culture. Evolving growth that follows natures' intelligence. One principles of permaculture; 'Each element performs multiple functions. Choose and place each element in a system to perform as many functions as possible. Increasing beneficial connections between diverse components creates a stable whole. Stack elements in both space and time.' Example, swales & paths direct water to irrigate.

F. There has been the concept that 'construction' will happen at X date and then we wait for fruition of plant materials & earthwork efficacy. This is in no stretch of the imagination a one time construction phase, planting phase and then completed. The noxious weed control alone will take at least 2 seasons to manage before restoration plantings can begin in earnest or we'll have a big mess costing more money & time jeopardizing the end result. This restoration, rewinding will take successive years.

G. Every presentation spends considerable time reviewing the desired goals, but far less actualization of implementation methods to achieve these goals. For example: no vegetation mapping or species list, or grouping of species to be used in specific areas. Taking jpeg images off the internet of common intermountain west flora is not particularly site specific nor a declaration of biodiversity. It also leaves a chasm between the 'concept' & manifestation in practice of how vegetation is placed in design. This holds true for the creek revegetation too.

H. We have wasted time identifying 'hi level values' when the Ketchum Comprehensive Plan has several chapters pertaining to these goals; we have paid Superbloom to re-identify.

I. Southern Floodplain: quote from Preliminary Environmental Report created for the WSRR 2008 "The south portion of the property currently has low human use and no permanent human presence and is used by big game for cover and by songbirds for nesting and feeding. An increase in human presence as well as the indirect affects of lighting, pets, and urban wildlife will affect how wildlife uses the area.' Nothing more than a small dirt path, no dogs allowed on or off leash." Pristine elements are destroyed quickly by the presence of people. This is stay on the path no romping through section.

J. Restrooms: Are we drilling a well, creating a septic systems, having our 2 drain fields in wetland or floodplain, or are we connecting to city sewer & water via under creek installation? There was fairly unanimous consensus that cost was a driving factor in determining the 'success' of the project. Now we must also add power as well for heat & plumbing function, time & labor for cleaning. Plus construction of a larger building to accommodate restrooms with the storage garage. Vault toilets for 'emergencies' only.

K. Are we using any of work/design presented by Helios to City at Waterways Design Review? Again perhaps we have completed redundant design work costing necessary expenses.

L. It sounds very much like C of K based their notions of this preserve based on The Preliminary Environmental Report created for the WSRR application for development dated February 4, 2008, Updated April 29, 2008. This report of course was for the purpose of developing the land and so did not consider the restoration of the entire piece of land as it was slated for development. Here in lies the main stumbling block as to the curiosity of not wishing to reclaim all the ecosystem/land. I believe this was an error in the overall scope of the WSP from the onset and needs to be remedied immediately. A template used for a very different project with a very different end goal. WSP deserves its own template!!! excerpt; 8.3.6 Pets
All pets on the property shall be managed in accordance with the Ketchum City Code Chapter 6.04 and shall be leashed at all times and not allowed to run at large. Packs of dogs do not coincide with effective, sustained reclamation.

M. Before we pay twice for part of the education piece: 'The history and former physical layout of the Warm Springs Ranch has been compiled as part of the Warm Springs Cultural Resource Survey. Archival black- and-white photos were taken, historical information and photos gathered, and a short historical narrative of the ranch history compiled. Copies of this information were provided to the Idaho State Historic Preservation Office in Boise. The information gathered during the survey will also be interpreted by the following:

- Writing a detailed Historic Context Narrative of the Warm Springs Ranch property, including copies of related historic photographs. This detailed Context Narrative will provide the basis for sharing information about the property's unique history. A copy of the Context Narrative will be provided to the Regional History Department of the Ketchum Community Library.
- Creating an interpretive brochure with map and historic photographs of the Warm Springs Ranch will be made available to WSRR guests. Where is this information now ?

N. The education piece is not confined to history which can easily be documented by conventional signage, etc. But education is in the relationship one begins to cultivate with nature with this land. The way one becomes calm and clear and resets in nature. The friendships one nurtures with plants, trees, animals and other humans while on the Preserve. The botany, eco restoration, bird watching, nature observing opportunities, community engagement in the rewinding process & much more that are endless in their inspiration. We learn what reciprocity means via first hand experience with nature. Being present.

O. Success not determined by low cost, but rather, 'Specific performance goals for restored habitat will be defined by qualitative and quantitative characteristics using similar habitats in a nearby reference reach.' (EIR)

P. Not a single mention of community engagement in the reclamation process itself. Community involvement in the rewinding, preparation for planting, planting and tending of the preserve. The coming together of community for a focused goal arrived at through compassion & reciprocity for the land and her many gifts.

10. Design goals;01 Create a Preserve that is Connected and Accessible to All —only considering the people access connectivity not the ecosystem flowing as one supportive unit
04 Demonstrate Leadership through Regeneration of Healthy Ecosystems for People, Plants & Animals—yet we water golf course turf, only reclaim 'some' edges & parts here & there of the landscape

Q. No we cannot just change 'that' out later. When a reclamation, rewinding of land is not well thought out there is disruption of areas already reclaimed, extra moneys necessary to 'fix' the problems and wasted due to lack of foresight. The idea is to plan for evolution of the land, the human use of it in relationship to the natural elements that are not meant to be powered over, but worked with in partnership.

Possible Solutions/Suggestionsb

Use permaculture practices. The plan does not use water for multiple purposes. The aesthetics are dominating the function thus not regenerative & self sustaining. Appropriately placed swales will cost less to construct, displace less soil, causing less repair & revegetation & less water needs for repair. Also provide for multiple function of water diversion.

We build the soil rather than bring in 'soil amendments'. This creates fertility, zero waste of on site debris, debris from other Ketchum parks could be incorporated.

The existing pond is a jurisdictional wetland. Take advantage of this by augmenting its efficacy, function & size. You could backfill with some of the soil excavated to form the new pond. Place the new pond next to down & stream from the existing pond still using the head gate with a channel to feed the new pond through the 'new' wetland old pond. On the downstream side of the new pond allow for an exit swale to provide seasonal additional irrigation to the riparian plantings.

Create a side channel closer to the bridge & one or two side channel access points downstream of the bridge. Then we can utilize the natural floodplain of that lower area to the left of the driveway as you enter- where proposed artificial beaver dams are situated- with far less earthworks as the banks are lower. These small side channels may better serve the fry not being situated in the line of traffic as they are designed now.

Create small flood cells in a few places along the creek both above & below the existing pond to accommodate high water run off which creates pools/eddies for fry, demands less earthworks. Swales can be incorporated here for early season supplemental irrigation.

Use the gravel beds existing in stream. Redefine the channel through them where natural floodplain already exists. And create, augment the 'benches' technique with logs perpendicular to the creek to catch sediment but allow a rise for high water to flow over. (The Bigwood Atlas Book)

Thank you
Susie Michael

Lisa Enourato

From: Lori Fenn <lorifenn@gmail.com>
Sent: Monday, December 19, 2022 9:21 AM
To: Participate
Cc: info@flatblakgallery.com
Subject: Ketchum Arts Commission Project Budgets

In response to the art in Ketchum City Hall Project:

I am new to the art scene here but came from Phoenix, AZ where i was involved in art shows and projects. I have had a mural project pulled from me once before when at the last minute the city wanted to go another direction. This was after putting in numerous hours of designing and lining up supplies and help. We all know that plans change and budgets get allocated to other areas but I don't think the artists time and effort gets enough credit in these situations. Yes, it's nice to be considered and noticed for your work but when something is given the go ahead and then pulled, it can put a strain on the artists productivity and sometimes even their financial situation. I do know that art is a huge thing for this valley and the artists who are represented and work hard to make this beautiful place even more so should be given their due respect for the time and effort that is put into submissions as well as planning approved projects. Please reconsider your decision for this project as no one remembers a blank wall but art has the power to move and inspire people for a lifetime.

Thank you,
Lori Fenn

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lorifenn.com

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lorifenn.com

Lisa Enourato

From: Christine N Cole <tinamatt@mac.com>
Sent: Monday, December 19, 2022 12:11 AM
To: Participate
Subject: Letter for Ketchum City Council Meeting, Monday, December 19, 4:00 PM

Please read this letter into the public record as public comment for the Ketchum Arts Commission segment of the meeting.

Dear Ketchum City Council,

It has come to my attention that the City of Ketchum set a budget for art in the new City Hall and worked with the Ketchum Arts Commission. A submission call for artists work went out, a jury selected two pieces for the designated locations and the pieces were to be installed with the City Council's final approval for official placement. Unfortunately, the Council decided to put the project on hold and suggested allocating the budget to another location never explored or discussed with the previous monetary budgeting. It was a full change direction in what the Ketchum Arts Commission had worked towards with the compliance of the City Council. This is highly irregular protocol in an arts project to switch horses completely after a call to artists for submissions has been sent out and then juried. I strongly urge the Ketchum City Council to uphold their plans, budgets and agreements with the Ketchum Arts Commission on their determined city art projects.

If the Council feels they should have public art in different locations then that would be an entirely different campaign and budget with different criteria for the submission call out to artists.

Thank you for your time and consideration.

Sincerely,

Christine N Cole

Tina
PO Box 1508
Sun Valley, ID 83353
208-720-2880
tinamatt@mac.com

Dear Councilmembers,

The Ketchum Arts Commission is proud and honored to have entrusted by the City Council with the responsibility to integrate arts and culture into the community's life. This is a responsibility we take seriously as we strive to provide leadership and expertise to the city for the purpose of integrating and acquiring art for public enjoyment, education, and community bonding.

With the recent move of the Ketchum City Hall to its new location, the Commission was honored to be asked to select art for the new building to be part of the city's permanent art collection. We went through a months long call, jury, and selection process to choose permanent pieces for the City Hall, following the required protocol. Through this blind process, two pieces of art which we judged to be worthy of the city's permanent collection, were selected by the commission. We were especially pleased with the choice when we learned that these pieces were created by two local artists.

We understand the City Council's diligent focus on fiscal responsibility, and look forward to communicating more closely with future projects involving the Percent for Arts Budget. In the meantime, we respectfully request that Council to reconsider its decision to pause the Art in City Hall project, and proceed with Commission's recommendation to acquire this artwork for the city's permanent art collection for display in the Ketchum City Hall.

The members of the Ketchum Arts Commission are currently developing its strategic plan for 2023, establishing our priorities and potential projects for the next year. We look forward to sharing these with the Council in the near future, when we will welcome your feedback and input so our goals and projects are mutually aligned.

Thank you, we are grateful for the council's time and consideration.

Ketchum Arts Commission

Lisa Enourato

From: Cara Shumate <carashumate@gmail.com>
Sent: Monday, December 19, 2022 1:02 PM
To: Participate
Cc: John Broschofsky
Subject: City Hall Meeting Tonight

Dear City Council,

I am writing on behalf of not being able to attend tonight's meeting. I was shocked when I learned from the newspaper that Rudi Broschofsky's piece had been pulled from the Art in City Hall project. The funds had already been allocated for this project and Rudi had gone through all the necessary steps of the process to be chosen as one of the two artists who would show at the City Hall. To then reallocate funds elsewhere at this stage is both illogical and inconsiderate to the artists. It takes a lot of time and effort to apply for these CFAs and when booked, they are relying on those funds to pull through. These art projects that the KAC put on are what make our community shine. Please reconsider taking this project away and continue the project as originally planned.

Thank you for your time,
Cara Shumate
Local & Professional Graphic Artist

C/S DESIGN CO.
carashumate.com
M: 415.794.5872



CALL TO ORDER: *(00:00:23 in video)*

Mayor Bradshaw called the meeting of the Ketchum City Council to order at 4:00 p.m.

Roll Call:

Mayor Neil Bradshaw

Michael David (via teleconference)

Jim Slanetz

Amanda Breen

Courtney Hamilton (via teleconference)

Also Present:

Jade Riley - City Administrator

Trent Donat – City Clerk & Business Manager

Lisa Enourato – Public Affairs & Administrative Services Manager

Shellie Gallagher - City Treasurer

Morgan Landers - Senior Planner

COMMUNICATIONS FROM MAYOR AND COUNCILORS: *(00:00:58 in video)*

- Michael David shared an incident witnessed that highlighted the fact that our sidewalks need to be kept clear of snow allowing pedestrians to safely cross the street.
- Amanda Breen commented on a public comment regarding businesses in the Perry Building and the challenges they face trying to relocate.
- Courtney Hamilton brought up construction vehicles that are parking down both sides of the streets causing an issue with all the snow.
- Mayor Neil Bradshaw announced the promotion of Morgan Landers to Director of Planning and Building.

CONSENT AGENDA: *(00:07:45 in video)*

- Courtney Hamilton recused herself from Item 3
 - Item 10 requested to be removed from Consent Agenda for discussion
- Council Meeting scheduled for Monday March 20th will be during spring break. Proposed to change the date to March 27.

Motion to approve consent agenda item 3 *(00:09:43 in video)*

MOVER: Amanda Breen

SECONDER: Jim Slanetz

AYES: Michael David, Jim Slanetz, Amanda Breen

RECUSED: Courtney Hamilton

RESULT: ADOPTED UNANIMOUS

Motion to approve consent agenda items 2, 4-11 with a date change in item 10

(00:10:00 in video)

MOVER: Courtney Hamilton

SECONDER: Amanda Breen

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

RESULT: ADOPTED UNANIMOUS

NEW BUSINESS: *(00:10:26 in video)*

12. Recommendation to hold first reading of Ordinance #1243 amending Chapter 13.04.080 (BUILDING SEWERS and SERVICE CONNECTIONS) of the Ketchum Municipal Code presented by Wastewater Division Supervisor Mick Mummert *(00:11:12 in video)*

Motion to approve a first reading of Ordinance #1243. *(00:13:38 in video)*

MOVER: Courtney Hamilton

SECONDER: Jim Slanetz

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

RESULT: ADOPTED UNANIMOUS

First reading of Ordinance #1243 amending Chapter 13.04.080 (Building Sewers and Service connections) of the Ketchum Municipal Code

First Reading by Ketchum City Clerk Trent Donat *(00:14:20 in video)*

13. Recommendation to receive and file the Audited FY22 Financial Statements as submitted by City Administrator Jade Riley and Brady Workman, CPA

Motion to approve the FY22 audited financial statements and file in the city's permanent records. *(00:15:34 in video)*

MOVER: Courtney Hamilton

SECONDER: Jim Slanetz

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

RESULT: ADOPTED UNANIMOUS

14. Review final reports for Warm Springs Road and Main Street transportation improvements – City Administrator Jade Riley. Presented by Cameron Waite from HDR *(00:15:55 in video)*

DISCUSSION AND COMMENTS BY COUNCIL *(00:51:41 in video)*

15. Housing update and discussion on possible purchase of Park Units for temporary housing – Housing Strategist Carissa Connelly and Mary Fauth online (01:15:20 in video)

DISCUSSION QUESTIONS AND COMMENTS BY COUNCIL (01:25:20 in video)

Motion to approve the temporary ground lease at The Meadows and acquisition of park models. (02:06:31 in video)

MOVER: Courtney Hamilton

SECONDER: Amanda Breen

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

RESULT: ADOPTED UNANIMOUS

16. Review proposed high priority 2023 sidewalk projects – City Administrator Jade Riley (02:07:10 in video)

Council members provided feedback and asked questions throughout the presentation.

Motion to approve the recommended 2023 sidewalk projects

(02:27:36 in video)

MOVER: Amanda Breen

SECONDER: Courtney Hamilton

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

RESULT: ADOPTED UNANIMOUS

ADJOURNMENT:

Motion to adjourn at 6:31 p.m.

MOVER: Courtney Hamilton

SECONDER: Jim Slanetz

AYES: Michael David, Jim Slanetz, Courtney Hamilton, Amanda Breen

Neil Bradshaw, Mayor

ATTEST:

Trent Donat, City Clerk



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation to Receive and File Treasurer's Monthly Financial Reports

Recommendation and Summary

Staff is recommending the council receive and file the Treasurer's monthly reports in accordance with statutory requirements and adopt the following motion:

"I move to receive and file the Treasurer's financial reports."

The reasons for the recommendation are as follows:

- State statute establishes requirements for monthly financial reports from the City Treasurer.

Introduction and History

Idaho State Statute 50-208 establishes requirements for monthly financial reports from the City Treasurer to the Council. The Statute provides that the Treasurer "render an accounting to the city council showing the financial condition of the treasury at the date of such accounting."

Idaho State Statute 50-1011 establishes an additional requirement for a quarterly financial report "indicating salaries, capital outlay and a percentage comparison to the original appropriation." Such quarterly reports require publication on the City website within 30 days of the end of the quarter pursuant to 50-208. Finally, 50-708 creates the requirement that "at least once in each quarter of each year, the council shall examine by review of a quarterly treasurer's report included upon the city council agenda the accounts and doings subject to management by the chief financial officer of the city."

Analysis

Pursuant to the above statutory requirements, enclosed for Council review are the monthly and quarterly financial reports showing the financial condition of the City as of December 31, 2021. These reports, along with complete financial statements, are available on the City's website.

Sustainability

There is to sustainability impact to this reporting.

Financial Impact

There is no financial impact to this reporting.

Attachments

- Attachment A: Monthly Financial Report

FY 2023

Monthly Financial Reports

As of November 30, 2022



This packet is divided into three sections: (1) General Fund (2) Original LOT (3) In-Lieu Housing (4) City/County Housing Fund (5) Enterprise Funds.

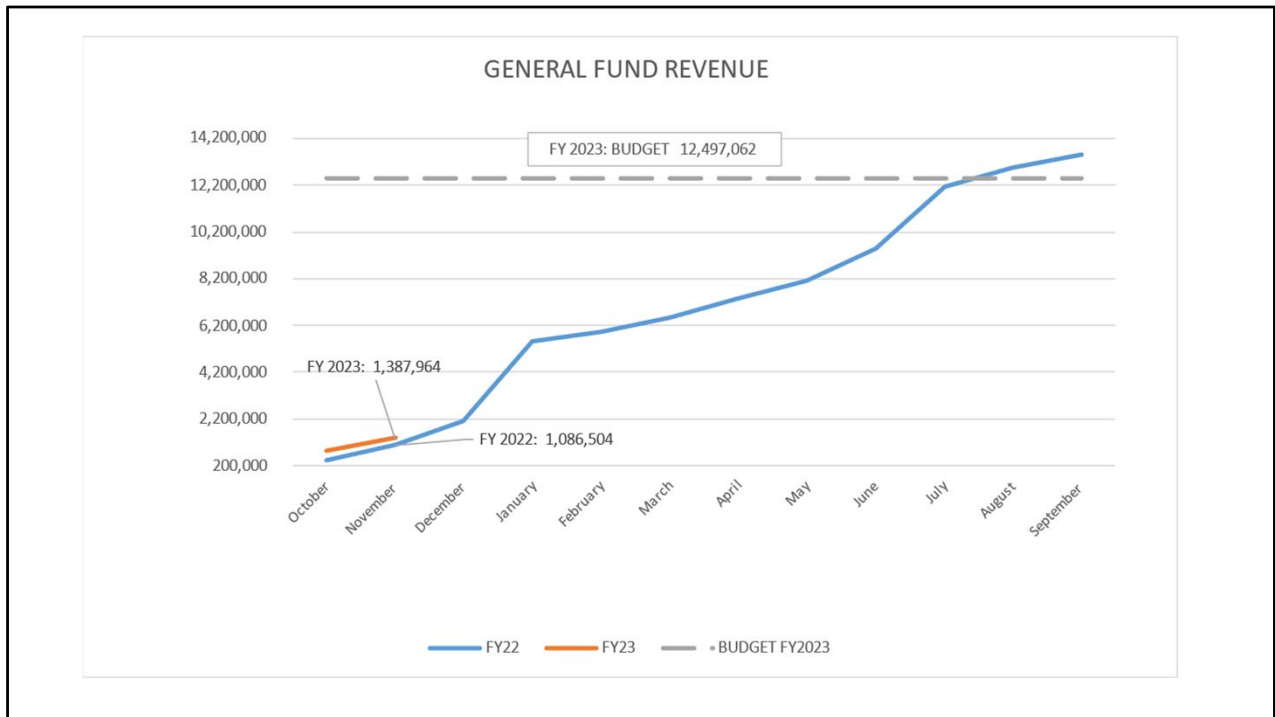
Slides includes information on current progress relative to the prior year and the current budget.

Summary

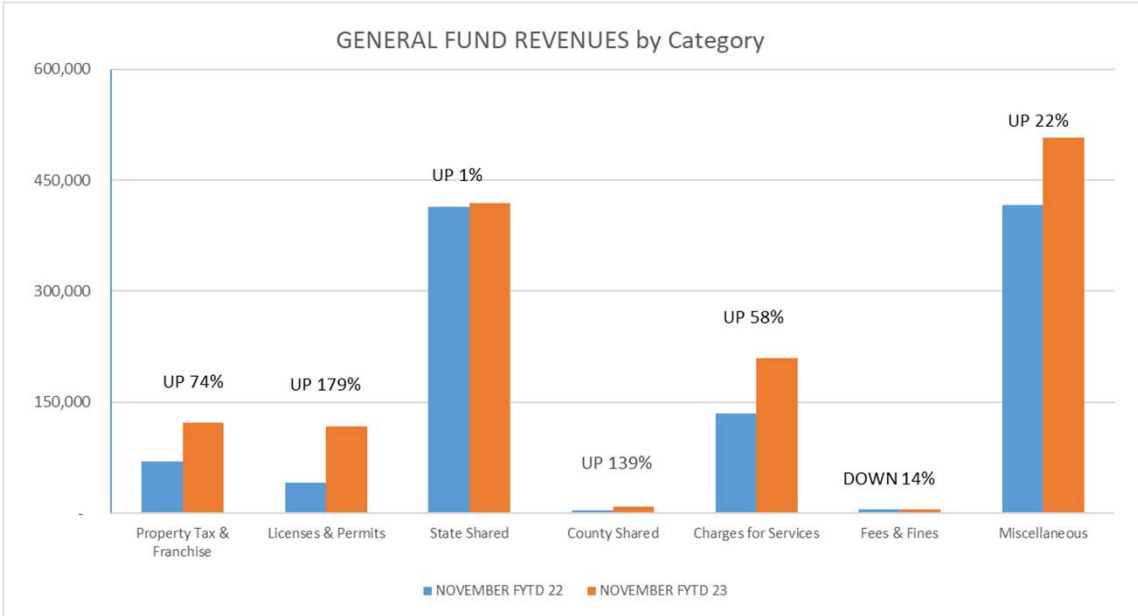
GENERAL FUND				
1. REVENUES	Year to Date	%	Remaining	%
Approved Budget	12,497,062			
Year to Date (YTD)	1,387,964	11.1%	11,109,098	88.9%
2. EXPENDITURES				
Approved Budget	12,497,062			
Year to Date (YTD)	1,622,285	13.0%	10,874,777	87.0%
3. Net Position	(234,321)			
4. Fund Balance Carry Over FY22	3,548,554			
<i>17% assigned by Council</i>	2,124,501			

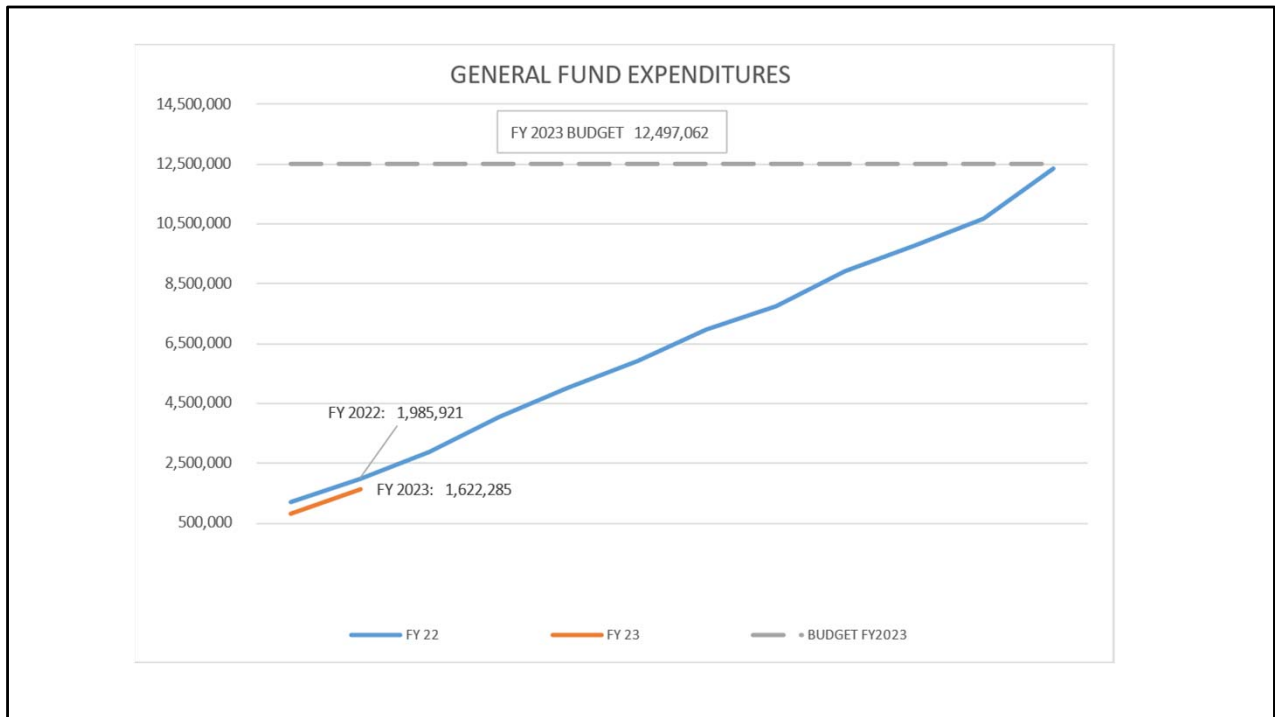
LOCAL OPTION TAX				
1. REVENUES	Year to Date	%	Remaining	%
Approved Budget	2,846,469			
Year to Date (YTD)	234,809	8%	2,611,660	92%
2. EXPENDITURES				
Approved Budget	2,846,469			
Year to Date (YTD)	541,029	19%	2,305,440	81%
3. Net Position	(306,219)			
4. Fund Balance Carry Over	454,669			

General Fund



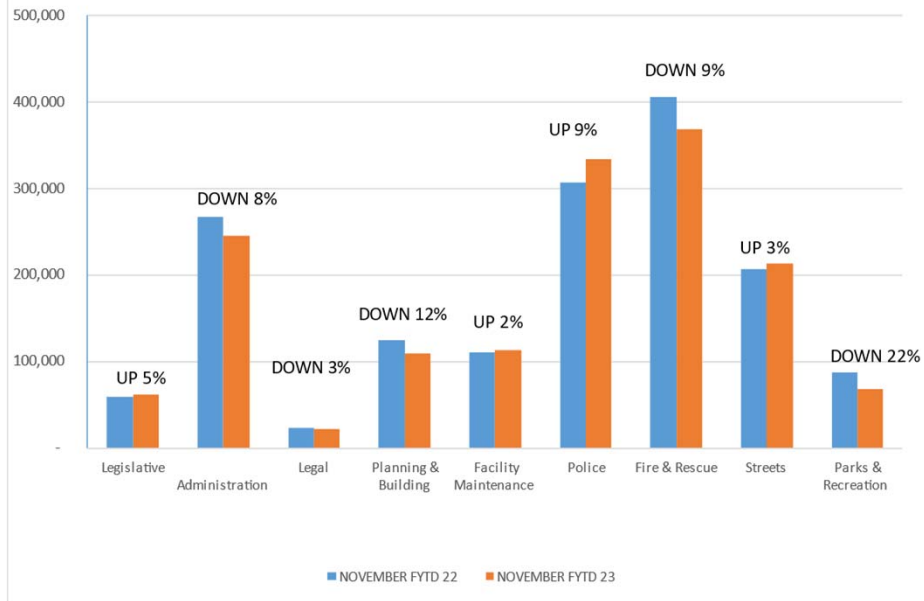
The General Fund revenues are up approximately \$301,460 (28%) compared to FY2022. The increase is largely due to an increase in the LOT transfer for emergency services, interest earned State of Idaho LGIP and permitting.



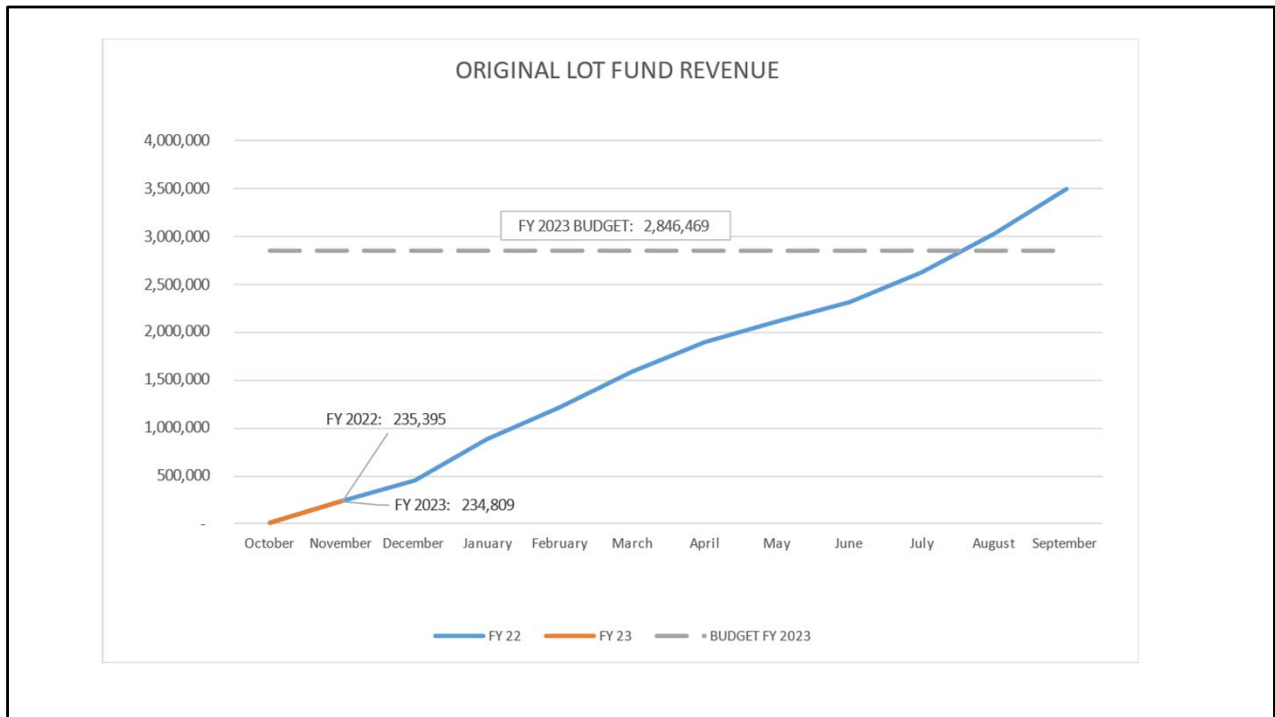


The General Fund expenditures are down \$363,636 (18%) FYTD. The decrease is largely due to salaries, last fiscal year we had three payrolls in October and two this fiscal year.

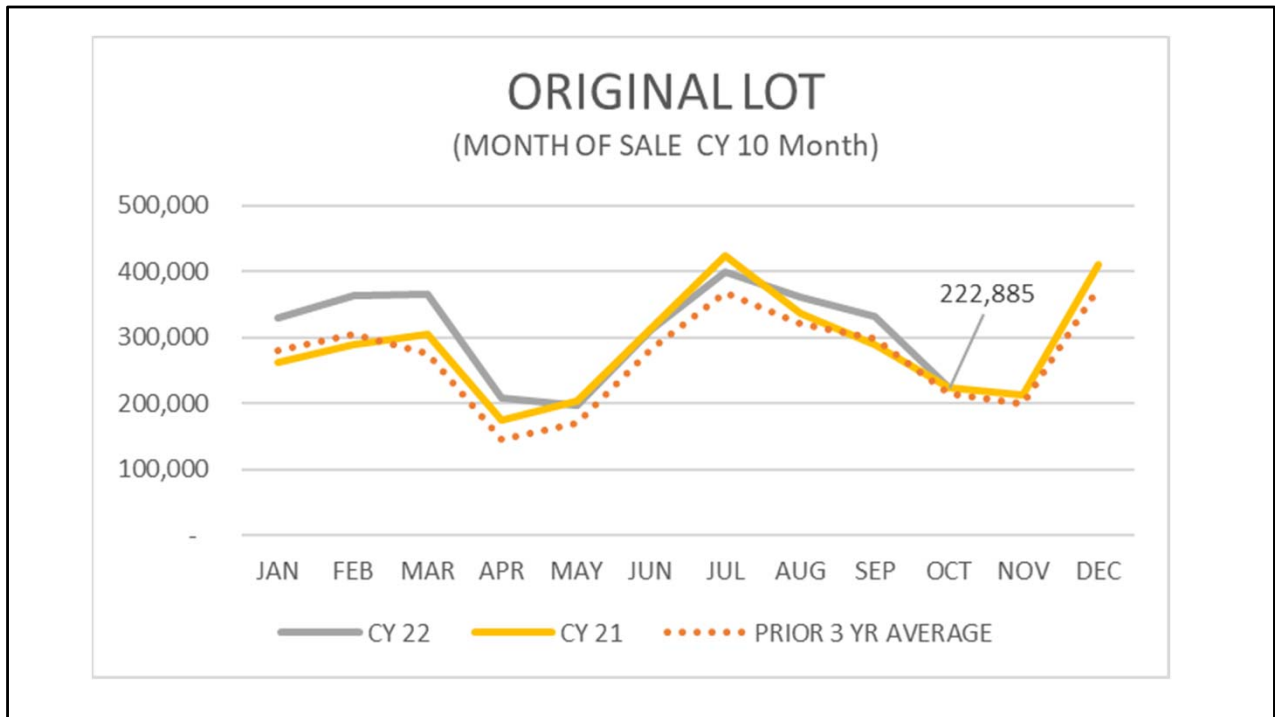
GENERAL FUND EXPENDITURES by Department



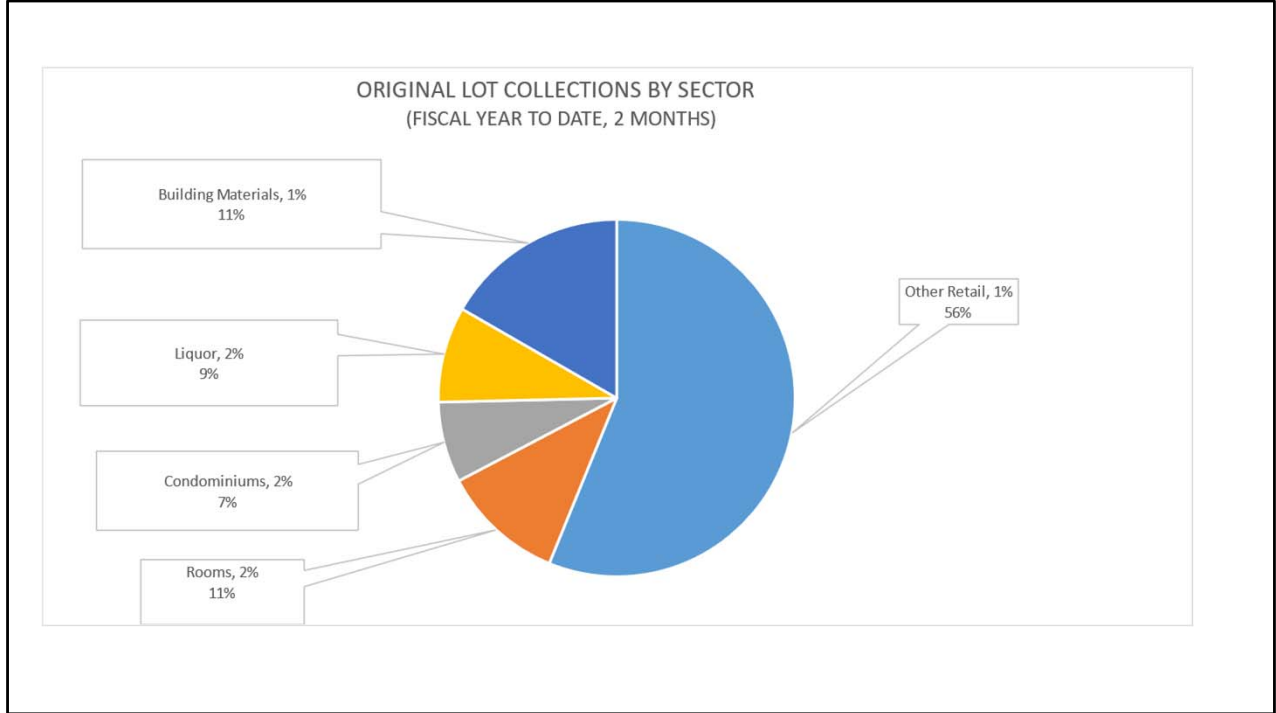
LOT Analysis



Revenue to the Original LOT Fund is up approximately \$586 (0.2%) FYTD.

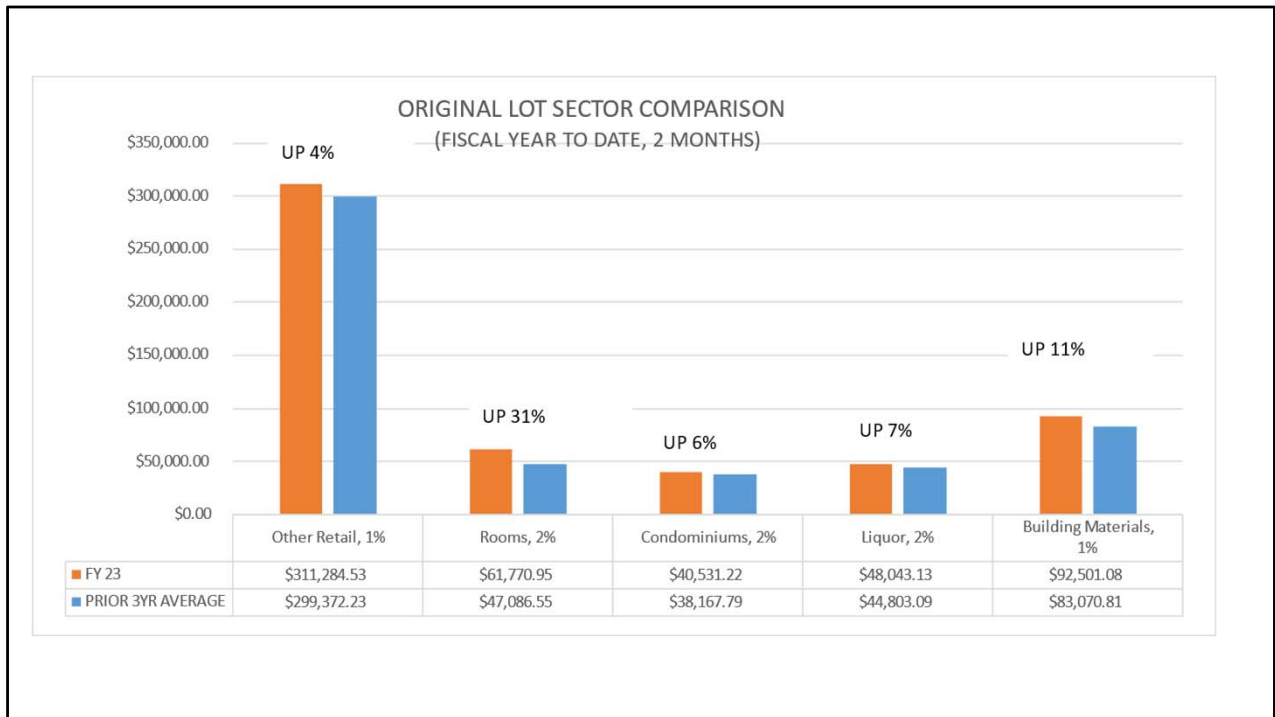


Original LOT for October month of sale are down approximately 0.5% compared to last year and up approximately 4% compared to the prior three-year average.



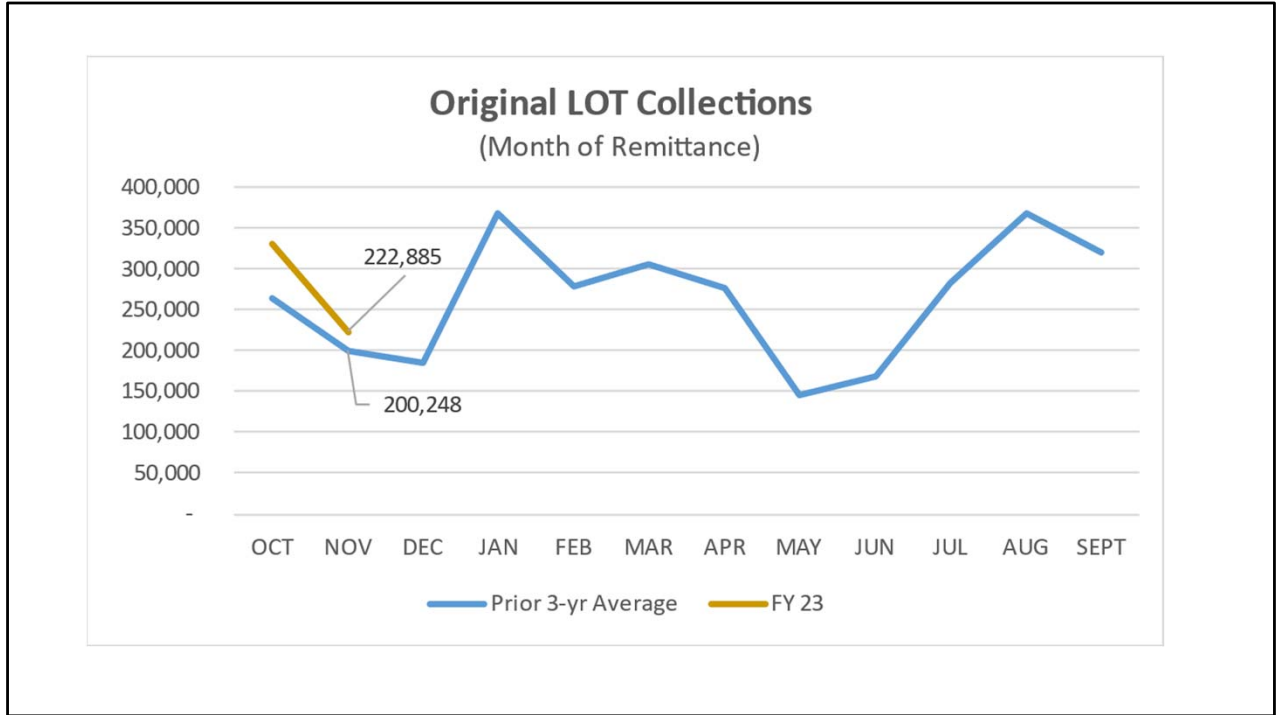
To date in FY 2023 (2 month), Original LOT collections have been generated by each sector as follows:

1. Retail has generated 56% of the total.
2. Building Materials have generated 11%.
3. Liquor has generated 9%.
4. Rooms have generated 11%.
5. Condominiums have generated 7%.



Through the two month of FY 2023, collections compared to the prior three-year average are as follows:

1. Retail is up 4%.
2. Rooms are up 31%.
3. Condominiums are up 6%
4. Liquor is up 7%.
5. Building Materials are up 11%.



Revenues from Original LOT covered sales are up approximately 11.3% compared to the average of the prior three years.

In-Lieu Housing Fund

IN-LIEU HOUSING						
1.	REVENUES		Year to Date	%	Remaining	%
	Approved Budget		305,000			
	Year to Date (YTD)		228,873	75.0%	76,127	25.0%
2.	EXPENDITURES					
	Approved Budget		305,000			
	Year to Date (YTD)		768,449	252.0%	(463,449)	-152.0%
3.	Net Position		(539,576)			
4.	Fund Balance Carry Over		2,366,255			
	FY 2022 Budgeted for projects		2,500,000			
	FY 2023 Bluebird Additional Funding		800,000			
			<u>3,300,000</u>			

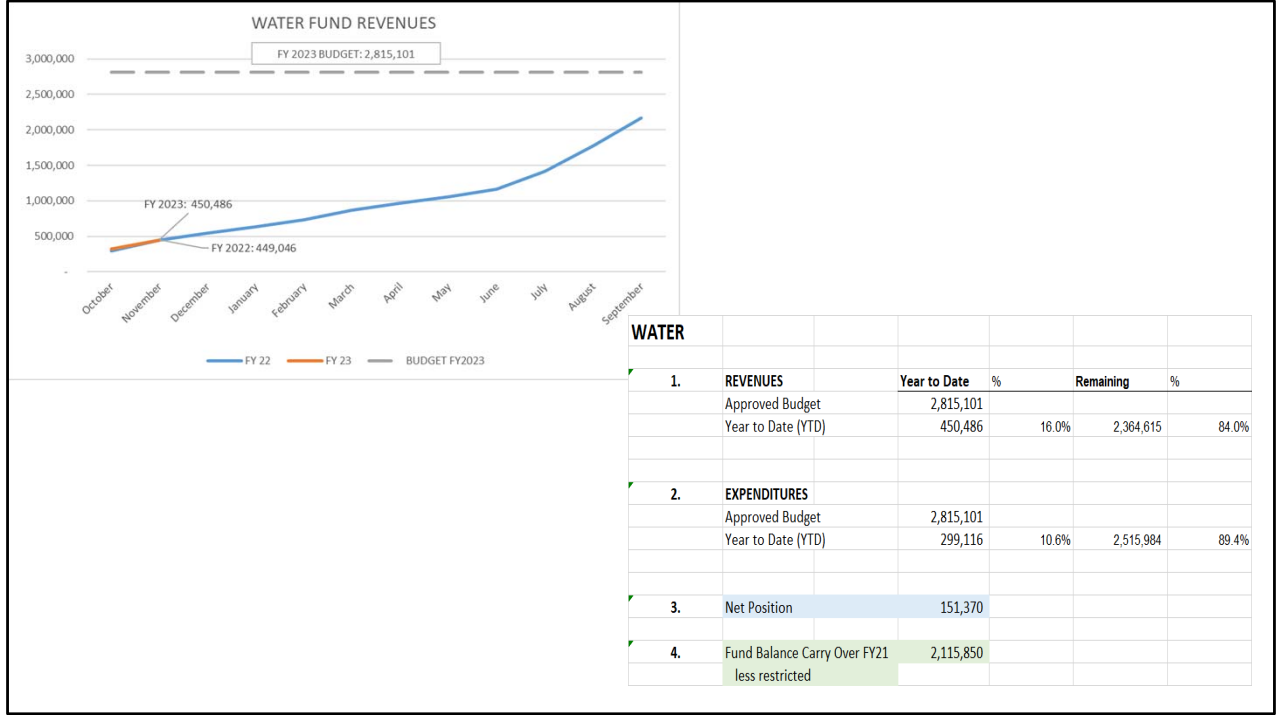
Fund balance carry over from FY21 \$2,366,255 are restricted for Bluebird Village as well as the FY2023 budget of \$305,000. FY2023 budget will be amended.

City/County Housing Fund

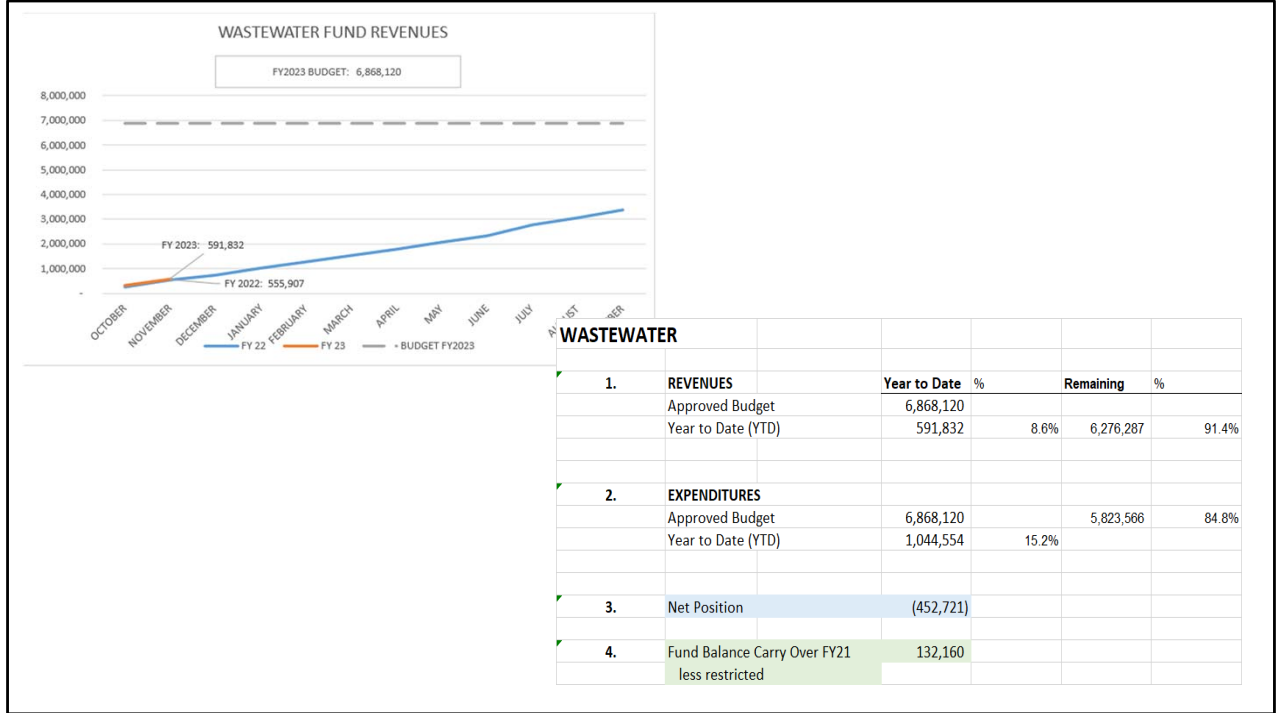
City/County Housing Fund

1.	REVENUES	Year to Date %		Remaining	%
	Approved Budget	848,349			
	Year to Date (YTD)	44,392	5.2%	803,958	94.8%
2.	EXPENDITURES				
	Approved Budget	848,349			
	Year to Date (YTD)	97,162	11.5%	751,187	88.5%
3.	Net Position	(52,771)			
4.	Fund Balance Carry Over	551,194			
	Revenue				
	Transfer from GF Fund Balance	250,000		Budget amendment	
	Blaine Couty for Housing	60,000		Budget amendment	
	Purchase Orders/Contract Expenditures				
	#20701 Agnew & Beck	92,200			
	#22052 Sullivan & Reberger	25,000			
	#22038 Carissa Connelly	95,000			
	#22038 Carissa Connelly extention	38,000	400 hrs @95		
	#22071 Canyon Excavation	18,535	Lifttower Lodge		
	#22121 Rian Rooney	30,000			
	Communication to the public May election	15,000			
	#20638 Nested	15,750			
	Total PO/Contracts	329,485			

Enterprise Funds



The Water Fund revenues are up \$1,440 (0.3%) FYTD.



The Wastewater Fund revenues are up \$35,925 (6%) FYTD.

Report Criteria:

Invoices with totals above \$0 included.
 Paid and unpaid invoices included.
 [Report].GL Account Number = "0110000000"- "9648008200", "9910000000"- "9911810000"
 Invoice Detail.Voided = No,Yes

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
GENERAL FUND				
01-2175-8000 P/R DEDUC PBL--EMP CAF FSA-MD				
NBS-NATIONAL BENEFIT SERVI	CP333790	FSA TOTAL	1,714.79	
01-2175-9000 P/R DEDUC PBL--EMP CAF FSA-DC				
NBS-NATIONAL BENEFIT SERVI	CP333790	DCA TOTAL	490.76	
01-3700-3600 REFUNDS & REIMBURSEMENTS				
SUN VALLEY TRANSFER & STOR	R 120122	TURP APPLICATION REFUND	100.00	
Total :			2,305.55	
LEGISLATIVE & EXECUTIVE				
01-4110-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	84.87	
01-4110-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	22.95	
Total LEGISLATIVE & EXECUTIVE:			107.82	
ADMINISTRATIVE SERVICES				
01-4150-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	152.49	
01-4150-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	55.20	
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Vision	538.00	
01-4150-3100 OFFICE SUPPLIES & POSTAGE				
COPY & PRINT, L.L.C.	124843	PAPER, PAPER CLIPS, PENS, STAMP	311.25	
COPY & PRINT, L.L.C.	124857	POS 9356: PAPER CLIPS	12.30	
COPY & PRINT, L.L.C.	124871	POS 9386: NOTARY BOOK	19.85	
COPY & PRINT, L.L.C.	124888	POS 9424: PENS	53.21	
COPY & PRINT, L.L.C.	124889	POS 9425: NOTARY BOOKS, CALENDER, EXPO CLEANER	169.57	
GEM STATE PAPER & SUPPLY	1084220	GUEST TOWEL WHITE	126.70	
GEM STATE PAPER & SUPPLY	1086861	COFFEE, C FOLD TOWEL, WIPER ROLL, AJAX, STAINLESS STEEL WIPES	469.81	
PITNEY BOWES - RESERVE ACC	3316620830	CONTRACT 0040982200 SENDPRO C AUTO	407.94	
US BANK	9749 112522	RETRACTABLE GATE	72.19	
US BANK	9749 112522	AREA RUG	66.14	
US BANK	9749 112522	ELECTRIC KETTLE	22.99	
US BANK	9749 112522	CORNER SHELVEING UNIT	28.50	
01-4150-4200 PROFESSIONAL SERVICES				
KETCHUM COMPUTERS, INC.	19305	ADMIN	6,336.00	
CLEARMINDGRAPHICS	5390	LETTERHEAD RC IDAHO RESORT CITIES	72.50	
VALLEY TEMP SERVICES INC	INVON08	ELIZABETH INSINGER 111422	182.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
01-4150-4400 ADVERTISING & LEGAL PUBLICATIO				
EXPRESS PUBLISHING, INC.	10002196 1031	10002196 103122	796.00	
EXPRESS PUBLISHING, INC.	10002196 1130	10002196 113022	66.24	
01-4150-4800 DUES, SUBSCRIPTIONS & MEMBERSH				
ASSOCIATION OF IDAHO CITIES	11284	FY 2023 AIC MEMBERSHIP DUES	1,422.00	
ASSOCIATION OF IDAHO CITIES	200009474	ICCTFOA Membership Dues	45.00	
US BANK	2745 112522	TRELLO.COM	4.17	
US BANK	2745 112522	TRELLO.COM	87.50	
01-4150-5100 TELEPHONE & COMMUNICATIONS				
CENTURY LINK	2087264135862	2087264135 862B	947.40	
US BANK	5030 112522	8*8 INC	2,038.34	
COX BUSINESS	0012401047131	0012401047131901 022422-112522	997.90	
AT&T MOBILITY LLC	287310798935	287310798935 112322	160.16	
LUMEN	617080114	74754376 112422	.73	
01-4150-5110 COMPUTER NETWORK				
KETCHUM COMPUTERS, INC.	19305	ADMIN HARDWARE	1,306.80	
US BANK	5030 112522	ZOOM.US	79.00	
DELL FINANCIAL SERVICES	2215309	001-9009257-001 NOV 22	1,465.97	
01-4150-5150 COMMUNICATIONS				
US BANK	5030 112522	MAILCHIMP	110.00	
US BANK	6235 112522	SHUTTERSTOCK	29.00	
US BANK	6235 112522	YOUTUBE PREMIUM	11.99	
US BANK	6235 112522	UPRINTING CLUB FLYERS	187.67	
US BANK	6235 112522	LATER.COM	15.00	
US BANK	6235 112522	UPRINTING DOOR HANGERS	108.59	
US BANK	6235 112522	SURVEY MONKEY ANNUAL PLAN	384.00	
SNEE, MOLLY	2224	NOVEMBER RETAINER FEE	4,150.00	
01-4150-5200 UTILITIES				
CITY OF KETCHUM	NOVEMBER 2	772	66.88	
CITY OF KETCHUM	NOVEMBER 2	9994	184.39	
CITY OF KETCHUM	NOVEMBER 2	360	56.39	
CITY OF KETCHUM	NOVEMBER 2	208	399.80	
01-4150-6500 CONTRACTS FOR SERVICES				
FORSQREN ASSOCIATES, INC.	222605	ENGINEERING SERVICES	2,907.50	22106
S & C ASSOCIATES LLC	2643-2654	2648	1,373.00	
S & C ASSOCIATES LLC	2643-2654	2649	118.00	
S & C ASSOCIATES LLC	2643-2654	2653	177.00	
S & C ASSOCIATES LLC	2643-2654	2654	177.00	
S & C ASSOCIATES LLC	2643-2654	2644	413.00	
S & C ASSOCIATES LLC	2643-2654	2650	59.00	
01-4150-6510 COMPUTER SERVICES				
CASELLE, INC.	121287	Contract Support & Maintence 01/23	2,483.00	
01-4150-7400 OFFICE FURNITURE & EQUIPMENT				
US BANK	6235 112522	STANDING DESK CONVERTER	425.00	
US BANK	9749 112522	PRIVACY PANEL	239.00	
US BANK	9749 112522	CONFERENCE DESK CHAIRS *4	371.88	
US BANK	9749 112522	CUBICLE PRIVACY SCREEN	256.41	
Total ADMINISTRATIVE SERVICES:			33,217.35	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
LEGAL				
01-4160-4200 PROFESSIONAL SERVICES				
WHITE PETERSON	24892R 113022	General Services 24892R 113022	10,699.00	
01-4160-4270 CITY PROSECUTOR				
ALLINGTON, ESQ., FREDERICK	120293	Monthly Prosecutor Payment	3,883.33	
Total LEGAL:			14,582.33	
PLANNING & BUILDING				
01-4170-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	26.30	
01-4170-3200 OPERATING SUPPLIES				
US BANK	0568 112522	WIRELESS DECT HEADSET W/ MICROPHONE	253.00	
01-4170-4200 PROFESSIONAL SERVICES				
KETCHUM COMPUTERS, INC.	19305	PLANNING & BUILDING	462.00	
S & C ASSOCIATES LLC	2643-2654	2652	237.50	
S & C ASSOCIATES LLC	2643-2654	2647	95.00	
S & C ASSOCIATES LLC	2643-2654	2646	118.00	
S & C ASSOCIATES LLC	2643-2654	2645	783.00	
S & C ASSOCIATES LLC	2643-2654	2643	237.50	
01-4170-4210 PROFESSIONAL SERVICES - IDBS				
DIVISION OF BUILDING SAFETY	120122	NOVEMBER 2022	26,547.45	
01-4170-4220 PROF SVCS-FLOOD PLAIN PROG REM				
HARMONY DESIGN & ENGINEE	22408	18018 KETCHUM SAP REVIEW THROUGH 103122	487.00	
01-4170-4400 ADVERTISING & LEGAL PUBLICATIO				
EXPRESS PUBLISHING, INC.	10002196 1031	10002196 103122	318.32	
EXPRESS PUBLISHING, INC.	10002196 1130	10002196 113022	1,185.84	
US BANK	6235 112522	LINKEDIN PB DIRECTOR & PLANNER	510.74	
US BANK	6235 112522	LINKEDIN PB DIRECTOR & PLANNER	36.40	
01-4170-4500 GEOGRAPHIC INFO SYSTEMS				
ESRI	94379534	ArcGIS-87192	400.00	
Total PLANNING & BUILDING:			31,698.05	
NON-DEPARTMENTAL				
01-4193-4200 PROFESSIONAL SERVICE				
US BANK	5030 112522	BLUE & PINE	125.00	
01-4193-4250 BLAINE CITY TOUR				
HIGHPOINT CIDER	000004	TAPROOM RENTAL DEPOSIT	500.00	
01-4193-4500 1ST/WASHINGTON RENT				
URBAN RENEWAL AGENCY	6230	URA RENT	3,000.00	
01-4193-9910 MERIT/COMPENSATION ADJUSTMENTS				
HAILEY & WOOD RIVER CHAMB	120522	HOLIDAY BONUS	8,400.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
Total NON-DEPARTMENTAL:			12,025.00	
FACILITY MAINTENANCE				
01-4194-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	1,685.33	
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	338.68	
01-4194-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	24.38	
01-4194-3200 OPERATING SUPPLIES				
CHATEAU DRUG CENTER	2628253	HANDSANITIZER	9.48	
GEM STATE PAPER & SUPPLY	1086682	HYDROPEROXIDE, GLOVES, ROLL TOWELS	212.46	
01-4194-3500 MOTOR FUELS & LUBRICANTS				
CHRISTENSEN INC.	1008254	38950 113022	698.73	
01-4194-4200 PROFESSIONAL SERVICES				
ROB BECK LLC	7242	CHIPPING HONEYSUCKLE BUSHES	450.00	
BIG WOOD LANDSCAPE, INC.	27394	PAVER INSTALLATION	1,420.00	
EVANS PLUMBING INC	132077	PARK BATHROOMS WO# 4-127405	1,257.48	
KETCHUM COMPUTERS, INC.	19305	FACILITY MAINT	313.50	
LUTZ RENTALS	137051-1	BOOM LIFT	374.76	
01-4194-4210 PROFESSIONAL SERVC-CITY TREES				
PIPECO, INC.	S4858265.001	AC-6MODETIMER, ELECTRICAL TAPE, EXTRENSION CORD	29.45	
WEBB LANDSCAPING	K-IN-177917	GARLAND, WREATHS	210.96	
01-4194-5200 UTILITIES				
CITY OF KETCHUM	NOVEMBER 2	9995	43.65	
CITY OF KETCHUM	NOVEMBER 2	456	14.55	
CITY OF KETCHUM	NOVEMBER 2	1245	41.85	
CITY OF KETCHUM	NOVEMBER 2	9996	56.40	
CITY OF KETCHUM	NOVEMBER 2	532	60.15	
CITY OF KETCHUM	NOVEMBER 2	536	130.95	
CITY OF KETCHUM	NOVEMBER 2	9991	57.65	
CITY OF KETCHUM	NOVEMBER 2	1127	14.55	
CITY OF KETCHUM	NOVEMBER 2	560	14.55	
IDAHO POWER	2201272487 11	2201272487 112222	111.38	
IDAHO POWER	2203538992 11	2203538992 11222022	35.78	
INTERMOUNTAIN GAS	65669030002 1	65669030002	9.79	
01-4194-5300 CUSTODIAL & CLEANING SERVICES				
WESTERN BUILIDNG MAINTEN	0137750-IN	Monthly Janitorial Service- NOVEMBER 2022	3,620.12	
01-4194-5900 REPAIR & MAINTENANCE-BUILDINGS				
PIPECO, INC.	S4862865.001	AC-6MODETIMER	16.51	
US BANK	9988 112522	UHAUL TOWING VEHICLE	43.95	
SCHINDLER ELEVATOR	8106115707	QUARTERLY BILLING FIFTH STREET	1,112.13	
01-4194-5910 REPAIR & MAINT-491 SV ROAD				
CHATEAU DRUG CENTER	2615304	CLEAN CLOTH	16.62	
CITY OF KETCHUM	NOVEMBER 2	192	325.54	
IDAHO POWER	2202522062 11	2202522062 11222022	484.49	
INTERMOUNTAIN GAS	17499804809 1	17499804809 112222	345.85	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
01-4194-5950 REPAIR & MAINT-WARM SPRINGS PR				
IDAHO POWER	2226452353 11	2226452353 112922	26.81	
US BANK	9988 112522	BASS PRO OTER PRO MEDIUM SLED COMBO	424.79	
01-4194-6000 REPAIR & MAINT-AUTOMOTIVE EQUI				
RIVER RUN AUTO PARTS	6538-183837	WINTER BLADE, CONTROL KNOB	42.47	
RIVER RUN AUTO PARTS	6538-185264	SNOW BRUSH	4.95	
01-4194-6950 MAINTENANCE				
A.C. HOUSTON LUMBER CO.	2210-991015	SPRAY PAINT, SMOOTH SPIKES, CDX	141.32	
A.C. HOUSTON LUMBER CO.	2210-996360	BOTTLE SPRAY PRO SPRAYER	9.18	
CHATEAU DRUG CENTER	2606606	KEY MADE	6.18	
CHATEAU DRUG CENTER	2616554	COOL TOUCH HEATER	75.99	
CHATEAU DRUG CENTER	2616603	COOL TOUCH HEATER	75.99	
CHATEAU DRUG CENTER	2618007	LIGHT BULBS	23.74	
Total FACILITY MAINTENANCE:			14,261.11	
POLICE				
01-4210-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	9.80	
01-4210-3200 OPERATING SUPPLIES				
US BANK	4026 112522	SNOW BOOT-CSO	89.95	
US BANK	4026 112522	SNOWBOOT- CSO	95.00	
US BANK	6235 112522	ID TRANS DEPT	23.69	
01-4210-4200 PROFESSIONAL SERVICES				
KETCHUM COMPUTERS, INC.	19306	MONTHLY WORKSTATION MAINT, SPRECIFIC SUPPORT WATCHGUARD	833.25	
EASY TOWING LLC	093022-COK	VEHICLE RELOCATIONS	1,500.00	
EASY TOWING LLC	110722-COK	Winter Car Towing-110722	2,700.00	
01-4210-4250 PROF.SERVICES-BCSO CONTRACT				
BLAINE COUNTY CLERK/RECOR	201059	BCSO Law Enforcement Services	145,144.75	
BLAINE COUNTY CLERK/RECOR	CR 201057/58	BCSO Law Enforcement Services-CREDIT	1,082.82-	
01-4210-5100 TELEPHONE & COMMUNICATIONS				
AT&T MOBILITY LLC	287310798935	287310798935 112322	350.32	
01-4210-6000 REPAIR & MAINT--AUTOMOTIVE EQU				
RIVER RUN AUTO PARTS	6538-183381	SHG CQ-7440	4.99	
Total POLICE:			149,668.93	
FIRE & RESCUE				
01-4230-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	81.75	
01-4230-2900 PERFORMANCE AWARDS				
US BANK	3938 112522	EAGLE ENGRAVING RUSH SHIPPING	16.18	
US BANK	3938 112522	EAGLE ENGRAVING PLAQUES	97.95	
01-4230-3200 OPERATING SUPPLIES FIRE				
US BANK	9939 112522	ATVTRACKSNET PROPERTY	5,850.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
US BANK	9939 112522	MSC 800-645-7270 NY	170.28	
US BANK	9939 112522	FOLDING SAW	247.47	
01-4230-3210 OPERATING SUPPLIES EMS				
BOUNDTREE MEDICAL	84761866	Medical Supplies	222.60	
HENRY SCHEIN	28042826	MEDICAL EQUIPMENT	45.00	
HENRY SCHEIN	280842825	MEDICAL EQUIPMENT	296.62	
HENRY SCHEIN	28581182	MEDICAL EQUIPMENT	13.25	
HENRY SCHEIN	28607931	MEDICAL EQUIPMENT	23.92	
01-4230-4200 PROFESSIONAL SERVICES FIRE				
KETCHUM COMPUTERS, INC.	19305	FIRE & RESCUE	899.25	
US BANK	3938 112522	ICC BUILDING CODES	109.00	
01-4230-4900 TRAINING/TRAVEL/MTG FIRE				
US BANK	3938 112522	RC HEALTH SERVICES	150.00	
US BANK	9939 112522	AIARE 37891	256.05	
01-4230-4910 TRAINING EMS				
US BANK	3938 112522	JONES & BARTLETT LEARNING	400.91	
US BANK	9939 112522	CPR HEARTCODE PALS	151.00	
01-4230-5200 UTILITIES				
CITY OF KETCHUM	NOVEMBER 2	2307	150.10	
INTERMOUNTAIN GAS	26223127833 1	26223127833 112222	1,106.88	
01-4230-6000 REPAIR & MAINT-AUTO EQUIP FIRE				
US BANK	9939 112522	LES SCHWAB WINTER CHANGE OVER	99.96	
US BANK	9939 112522	RAM MOUNTS UPPER POL DOUBLE SWING-REFUND	147.52-	
US BANK	9939 112522	RAM MOUNTS UPPER POLE DOUBLE SWING	147.52	
US BANK	9939 112522	RAM MOUNTS UPPER POLE DOUBLE SWING	160.00	
01-4230-6100 REPAIR & MAINT--MACHINERY & EQ				
US BANK	9939 112522	DELL TECHNOLOGIES RADIO DOCKING CRADLE	527.03	
01-4230-6900 OTHER PURCHASED SERVICES FIRE				
US BANK	9939 112522	USPS RETAIL GROUND	5.40	
01-4230-6910 OTHER PURCHASED SERVICES EMS				
US BANK	9939 112522	USPS RETAIL GROUND	5.40	
Total FIRE & RESCUE:			11,086.00	
STREET				
01-4310-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	493.76	
01-4310-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	47.82	
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Vision	379.72	
01-4310-3200 OPERATING SUPPLIES				
A.C. HOUSTON LUMBER CO.	2211-513872	2" GORILLA TAPE	12.69	
A.C. HOUSTON LUMBER CO.	2211-514075	SNOW PUSHER	33.98	
ATKINSONS' MARKET	04281892	BISCUITS GRAVY, MILKS, JUIC	44.48	
DAVIS EMBROIDERY INC.	41348	EMBRD SHIRTS	108.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
GEM STATE PAPER & SUPPLY	1085740	CENTERPULL TOWELS, BATTERIES, NOTE PADS, HANDSOAP	182.46	
GEM STATE PAPER & SUPPLY	1085740-01	Paper Supplies	18.72	
US BANK	2022 112522	ADOBE ACROBAT PDF PACK-REFUND	119.88-	
US BANK	2022 112522	DAY TIMER PLANNER REFILL	82.00	
US BANK	2022 112522	DAILY PLANNER, APPOINTMENT BOOK	37.28	
US BANK	2022 112522	ADOBE ACROBAT PDF PACK	119.88	
WAKE UP AND LIVE, INC.	13160	Snow Crew Breakfast	263.00	
BRODY CHEMICAL	INV18416	Hand Cleaner BLUE PUMICE	246.19	
01-4310-3400 MINOR EQUIPMENT				
A.C. HOUSTON LUMBER CO.	2211-513587	PUMP SPRAYERS	79.98	
01-4310-3500 MOTOR FUELS & LUBRICANTS				
WEX BANK	85549693	Fuel Purchases	774.75	
CHRISTENSEN INC.	1008127	37269 113022	3,864.82	
CHRISTENSEN INC.	397353	EQUIPMENT OIL	3,397.34	
01-4310-4200 PROFESSIONAL SERVICES				
S. ERWIN EXCAVATION INC	22-936	WINTER 22-23 SNOW HAULING SERVICE	3,625.00	23044
HIATT TRUCKING, INC.	3881	WINTER 22-23 SNOW HAULING SERVICE	9,650.00	23042
KETCHUM COMPUTERS, INC.	19305	STREETS	998.25	
WESTERN STATES CAT	IN002228385	WINTER 22-23 DOZER RENTAL	6,938.50	23019
01-4310-5200 UTILITIES				
CITY OF KETCHUM	NOVEMBER 2	9999	58.90	
CITY OF KETCHUM	NOVEMBER 2	9993	101.97	
IDAHO POWER	2204882910 11	2204882910 111222	512.08	
INTERMOUNTAIN GAS	49439330009 1	49439330009 112222	226.16	
01-4310-6000 REPAIR & MAINT--AUTOMOTIVE EQU				
NAPA AUTO PARTS	127798	WIPERS	30.58	
01-4310-6100 REPAIR & MAINT--MACHINERY & EQ				
NAPA AUTO PARTS	127796	DEF FOR EQUIPMENT	169.74	
SMITH POWER PRODUCTS INC.	3190645	OLD BLOWER CLUTCH PARTS	2,486.14	
WESTERN STATES CAT	IN002222323	SETSCREW	54.86	
WESTERN STATES CAT	IN002223937	LOCKNUT	23.74	
01-4310-6910 OTHER PURCHASED SERVICES				
ALSCO - AMERICAN LINEN DIVI	LBOI2040479	200 10TH ST	41.64	
CINTAS	5136076594	SERVICE CABINET- STREET DEPT	262.02	
NORCO	36444352	CYLINDER RENTAL	238.50	
NORCO	36504281	53271 120722	169.95	
TREASURE VALLEY COFFEE INC	1260:08653021	COFFEE, CREAMER, SUGAR	74.75	
01-4310-6920 SIGNS & SIGNALIZATION				
COLOR HAUS, INC.	262363	PAINTERS TOUCH 2X	17.94	
01-4310-6930 STREET LIGHTING				
IDAHO POWER	2200059315 11	2200059315 111022	5.31	
IDAHO POWER	2200506786 11	2200506786 111022	5.31	
IDAHO POWER	2200749261 11	2200749261 112422	355.84	
IDAHO POWER	2201013857 11	2201013857 112222	17.37	
IDAHO POWER	2201174667 11	2201174667 111022	14.75	
IDAHO POWER	2202627564 11	2202627564 111022	9.37	
IDAHO POWER	2203855230 11	2203855230 112222	50.40	
IDAHO POWER	2204535385 11	2204535385 112322	16.98	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
IDAHO POWER	2204882910 11	2204882910 11122022	704.48	
IDAHO POWER	2205963446 11	2205963446 111022	58.58	
IDAHO POWER	2206773224 11	2206773224 112222	9.50	
IDAHO POWER	2207487501 11	2207487501 11222022	8.10	
01-4310-6950 MAINTENANCE & IMPROVEMENTS				
A.C. HOUSTON LUMBER CO.	2212-516211	2*8 FIR	21.33	
LUTZ RENTALS	136220-1	MIXER, CONCRETE	32.40	
Total STREET:			37,057.43	
RECREATION				
01-4510-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	575.00	
01-4510-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	26.05	
01-4510-3100 OFFICE SUPPLIES & POSTAGE				
US BANK	9749 112522	SPACE HEATER, COAT RACK, COAT HOOKS, AREA RUG	151.49	
01-4510-3250 RECREATION SUPPLIES				
US BANK	7926 112522	GALENA LODGE HOT COCOA*8	27.50	
US BANK	7926 112522	SUN VALLEY BOWLING	99.00	
US BANK	7926 112522	FABRIC DIY PATCHWORK	39.88	
US BANK	7926 112522	POLYESTER CRYSTAL STRING	4.49	
US BANK	7926 112522	EX SHARP-BALANCED WHEELS	185.50	
US BANK	7926 112522	FLORESCENT LIGHT COVERS, POPCICLE STICKS	44.98	
US BANK	7926 112522	SKATE SOAKERS	109.87	
US BANK	7926 112522	GINGERSWEET- THANK YOU GIFT CARD	50.00	
US BANK	7926 112522	ICE CLEATS	49.96	
US BANK	7926 112522	GOLDMINE MISC SKI, BOOKS	65.90	
PETIT, JULIA	R 120522	NO SCHOOL ADVENTURE REIMBURSMNT- M&M SNACK BAR	42.56	
PETIT, JULIA	R 120522	NO SCHOOL ADVENTURE REIMBURSMNT-1000 SPRINGS RESORT	91.16	
01-4510-3300 RESALE ITEMS-CONCESSION SUPPLY				
ATKINSONS' MARKET	02637120	BANANAS, HOT COOA	12.65	
ATKINSONS' MARKET	04290924	SABRA CLASSIC HU	11.37	
ATKINSONS' MARKET	04292274	DAIRY PRODUCTS, PUMPKIN, BAGELS, ORANGES, POTATO	96.45	
ATKINSONS' MARKET	05599442	MANDARINS, BLUEBERRIES, SHORTNING	40.96	
ATKINSONS' MARKET	06635602	EGGS, COCAO	13.28	
ATKINSONS' MARKET	08570421	GARLIC REG, GARLIC PARM, ONIONS	5.77	
01-4510-3500 MOTOR FUELS & LUBRICANTS				
CHRISTENSEN INC.	1008126	37268 113022	55.86	
01-4510-4200 PROFESSIONAL SERVICE				
KETCHUM COMPUTERS, INC.	19305	PARKS	420.75	
01-4510-5200 UTILITIES				
IDAHO POWER	2206452274 11	2206452274 112222	297.57	
01-4510-6000 REPAIR & MAINT--AUTOMOTIVE EQU				
CLEARWATER POWER EQUIPME	35831	HPU BREATHER CAP, BOSS HYD01704 HYDRAULIC		

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
		FLUID	371.79	
Total RECREATION:			2,889.79	
Total GENERAL FUND:			308,899.36	
WAGON DAYS FUND				
WAGON DAYS EXPENDITURES				
02-4530-3200 OPERATING SUPPLIES				
US BANK	6235 112522	WIX.COM	30.00	
Total WAGON DAYS EXPENDITURES:			30.00	
Total WAGON DAYS FUND:			30.00	
GENERAL CAPITAL IMPROVEMENT FD				
GENERAL CIP EXPENDITURES				
03-4193-7100 SUN VALLEY RD MILL & OVERLAY				
GALENA ENGINEERING, INC.	1318.189 12012	1318.189/MP/ KETCHUM, SUN VALLEY RD TO 4TH	2,257.00	
03-4193-7193 MAIN ST/WARM SPRINGS DESIGN				
HDR ENGINEERING, INC.	1200484179	MAIN ST WARM SPRINGS	11,898.50	22112
HDR ENGINEERING, INC.	1200484184	MAIN ST WARM SPRINGS	7,392.50	22112
03-4193-7607 SIDEWALK CURB AND GUTTER				
HDR ENGINEERING, INC.	1200484192	2022 ON-CALL SERVICES AS DIRECTED	2,980.02	
Total GENERAL CIP EXPENDITURES:			24,528.02	
STREETS CIP EXPENDITURES				
03-4310-7110 CAT 950 LOADER				
WESTERN STATES CAT	IN002144172	DYMAX CPLR	10,969.77	
Total STREETS CIP EXPENDITURES:			10,969.77	
Total GENERAL CAPITAL IMPROVEMENT FD:			35,497.79	
ORIGINAL LOT FUND				
ORIGINAL LOT TAX				
22-4910-6060 EVENTS/PROMOTIONS				
COPY & PRINT, L.L.C.	124815	POS-9222: POSTERS	79.96	
EXPRESS PUBLISHING, INC.	10002196 1130	10002196 113022	510.28	
WOOD RIVER HIGH SCHOOL	R 120622	TREE LIGHTING EVENT CHOIR DONATION	250.00	
MORTON, KIRSTEN	R 120622	HOT COCOA & COOKIES- TREE LIGHTING & WINTER SOLSTICE	600.00	
MEYER, ROBERT SCOTT	R 120622	TREE LIGHTING EVENT "SANTA"	250.00	
22-4910-6090 CONSOLIDATED DISPATCH				
BLAINE COUNTY EMERGENCY	412	Dispatch Services	166,403.00	23015
22-4910-6095 MOUNTAIN HUMANE				
MOUNTAIN HUMANE	5989	ANIMAL CONTROL SERVICES	4,500.00	23014

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
Total ORIGINAL LOT TAX:			172,593.24	
Total ORIGINAL LOT FUND:			172,593.24	
ADDITIONAL 1%-LOT FUND				
ADDITIONAL 1%-LOT				
25-4910-4220 SUN VALLEY AIR SERVICE BOARD				
SUN VALLEY AIR SERVICE BOA	120522	October MOS 2023	186,165.94	
Total ADDITIONAL 1%-LOT:			186,165.94	
Total ADDITIONAL 1%-LOT FUND:			186,165.94	
CITY/COUNTY HOUSING				
CITY/COUNTY HOUSING EXPENSE				
54-4410-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	3.35	
54-4410-4200 PROFESSIONAL SERVICES				
CLEARMINDGRAPHICS	5389	GRAPHIC DESIGN: HOUSING STRATEGIST LETTERHEAD	72.50	
AGNEW BECK CONSULTING INC	10863	TASK 2-COUNTYWIDE LEADERSHIP COORDINATION MEETING	950.00	
RIAN ROONEY	4	Housing Research & Project	2,337.50	22121
54-4410-4210 LEASE TO LOCALS				
MARTIN, LILY	06	LEASE TO LOCALS MARKETING/PRESS	1,000.00	23049
GIBBONS, THOMAS	LTL 121222	LTL INITIAL PAYMENT	4,500.00	
GORHAM JR., JOHN L	LTL 121222	LTL INITIAL PAYMENT	2,250.00	
54-4410-4220 EMERGENCY HOUSING				
BROOKS WELDING	15529	48" X 3/16 PLATE WASHER - METER VAULT LID	466.56	
S & C ASSOCIATES LLC	2643-2654	2651	708.00	
Total CITY/COUNTY HOUSING EXPENSE:			12,287.91	
Total CITY/COUNTY HOUSING:			12,287.91	
WATER FUND				
WATER EXPENDITURES				
63-4340-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	16.50	
63-4340-3200 OPERATING SUPPLIES				
ALSCO - AMERICAN LINEN DIVI	LBOI2040485	110 RIVER RANCH RD - ADMIN - 120222	24.26	
ALSCO - AMERICAN LINEN DIVI	LBOI2040487	110 RIVER RANCH RD - WATER - 120222	60.59	
D & B SUPPLY INC.	97680	PANTS AND SHIRTS	229.94	
D & B SUPPLY INC.	98083	PANTS AND SHIRTS	152.98	
GO-FER-IT	116536	Water Samples	23.10	
TREASURE VALLEY COFFEE INC	2160-08600786	SQWINCHER STIX	28.01	
63-4340-3250 LABORATORY/ANALYSIS				
MAGIC VALLEY LABS, INC.	26389	Drinking Water Bacteria, Cooler Return	108.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
63-4340-3500 MOTOR FUELS & LUBRICANTS				
CHRISTENSEN INC.	1008129	37271 113022	485.16	
63-4340-3600 COMPUTER SOFTWARE				
PTC INC	10507056	ALLEN-BRADLEY SUITE- Q-1333736	545.00	22130
63-4340-3800 CHEMICALS				
GEM STATE WELDERS SUPPLY,I	843145	SODIUM HYPOCHLORIC	290.00	
63-4340-4200 PROFESSIONAL SERVICES				
FERGUSON ENTERPRISES, LLC	SC34960	SERVICE CHARGE FOR NOVEMBER	24.55	
GALENA ENGINEERING, INC.	1318.167.03 12	1318.167.03 /SF/ Phase 4 Ketchum Spring Line	1,216.88	
KETCHUM COMPUTERS, INC.	19305	WATER	1,179.75	
OPAL ENGINEERING, PLLC	209	ENGINEERING CONTRACT FOR WATER AND WW DESIGN	712.50	22105
63-4340-4300 STATE & WA DISTRICT FEES				
GALENA GROUND WATER DIST	23238	2022 Assessment	3,150.00	
GALENA GROUND WATER DIST	23239	2022 Assessment	1,350.00	
GALENA GROUND WATER DIST	23240	2022 Assessment	810.00	
63-4340-5000 ADMINISTRATIVE EXPENSE-GEN FND				
EXPRESS PUBLISHING, INC.	10002196 1031	10002196 103122	869.68	
EXPRESS PUBLISHING, INC.	10002196 1130	10002196 113022	263.52	
63-4340-5100 TELEPHONE & COMMUNICATIONS				
VERIZON WIRELESS	9920509469	365516521 121322	123.13	
AT&T MOBILITY LLC	287318858311	287318858311 112322	90.57	
63-4340-5200 UTILITIES				
DIG LINE	0069555-IN	Monthly Fee	51.43	
IDAHO POWER	2202458903 11	2202458903 111822	704.68	
IDAHO POWER	2203658592 11	2203658592 112522	5,061.78	
63-4340-6100 REPAIR & MAINT-MACH & EQUIP				
FERGUSON ENTERPRISES, LLC	0832766	12X4 SS TAPN SLV 13.16-13.56	1,636.92	
US BANK	5198 112522	UBIQUITI INC	383.34	
Total WATER EXPENDITURES:			19,592.27	
Total WATER FUND:			19,592.27	
WATER CAPITAL IMPROVEMENT FUND				
WATER CIP EXPENDITURES				
64-4340-7800 CONSTRUCTION				
LUNCEFORD EXCAVATION, INC.	13848	Snow Valley - Water Leak Repair	5,758.67	
Total WATER CIP EXPENDITURES:			5,758.67	
Total WATER CAPITAL IMPROVEMENT FUND:			5,758.67	
WASTEWATER FUND				
WASTEWATER EXPENDITURES				
65-4350-2505 HEALTH REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	CP333790	HRA Medical	25.00	

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
65-4350-2515 VISION REIMBURSEMENT ACCT(HRA)				
NBS-NATIONAL BENEFIT SERVI	880863	FSA & HRA Plan Administration Fees NOVEMBER 22	39.20	
65-4350-3200 OPERATING SUPPLIES				
ALSCO - AMERICAN LINEN DIVI	LBOI2040485	110 RIVER RANCH RD - ADMIN - 120222	24.26	
ALSCO - AMERICAN LINEN DIVI	LBOI2040486	110 RIVER RANCH RD - WASTEWATER - 120222	136.40	
CHATEAU DRUG CENTER	2632329	B/A FLX FBRC AP 100 ASSORTED, 12OZ TPL EXPAND FOAM	30.37	
UPS STORE #2444	MMN7FR53D	WATER SAMPLES	15.61	
UPS STORE #2444	MMN7FR5XB	WATER SAMPLES	14.58	
US BANK	5198 112522	MUCK BOOTS	98.58	
VERT, JEFF	R 120622	BOOT ALLOWANCE	200.00	
65-4350-3500 MOTOR FUELS & LUBRICANTS				
CHRISTENSEN INC.	1008128	37270 113022	149.48	
CHRISTENSEN INC.	214157	37270 120222	398.75	
65-4350-4200 PROFESSIONAL SERVICES				
ANALYTICAL LABORATORIES, I	95638	chemicals and flow meter calibration	2,265.20	
KETCHUM COMPUTERS, INC.	19305	WASTEWATER	1,592.25	
AWSI	552968	Random DOT ALCOHOL TEST	34.50	
65-4350-4900 PERSONNEL TRAINING/TRAVEL/MTG				
US BANK	5198 112522	CEUPLAN CORROSION MANAGEMENT LAB TERMINOLOGY	124.40	
US BANK	5198 112522	WWT1-23669	30.00	
65-4350-6000 REPAIR & MAINT-AUTO EQUIP				
NAPA AUTO PARTS	128224	WIPERS	33.98	
NAPA AUTO PARTS	128427	WIPERS	10.00	
US BANK	5198 112522	ALUMINUM TRAILER STOP BRAKE TURN TAIL LIGHTS	18.99	
65-4350-6100 REPAIR & MAINT-MACH & EQUIP				
INDUSTRIAL ELECTRIC MOTOR	59509	Pump Repair	3,255.00	22091
INDUSTRIAL ELECTRIC MOTOR	59509	FREIGHT	96.30	
RIVER RUN AUTO PARTS	6538-185384	CONNECT LNK 41 4 PK	4.99	
US BANK	5198 112522	UBIQUITI INC	383.35	
US BANK	5198 112522	USP TYGON TUBING	113.20	
65-4350-6900 COLLECTION SYSTEM SERVICES/CHA				
DIG LINE	0069555-IN	Monthly Fee	51.42	
ESRI	94379534	ArcGIS-87193	300.00	
PACIFIC STEEL & RECYCLING	8214259	1/4" C1018 C F ROUND 20'	5.45	
CHRISTENSEN INC.	1008128	37270 113022	208.62	
US BANK	5198 112522	TRAFFIC CONES	219.96	
US BANK	5198 112522	METAL SHELVING	605.97	
Total WASTEWATER EXPENDITURES:			10,485.81	
Total WASTEWATER FUND:			10,485.81	
WASTEWATER CAPITAL IMPROVE FND				
WASTEWATER CIP EXPENDITURES				
67-4350-7600 BOB CAT UW56 TOOLCAT				
CLARK EQUIPMENT COMPANY	3031203	Quote# RLF-02911: Bobcat UW56 Toolcat w/ Snow Blower	6,218.56	22053

Vendor Name	Invoice Number	Description	Net Invoice Amount	Purchase Order Number
67-4350-7813 CAPITAL IMP PLAN(NO SHARING)				
EXPRESS PUBLISHING, INC.	10002196 1031	10002196 103122	2,041.12	
Total WASTEWATER CIP EXPENDITURES:			8,259.68	
Total WASTEWATER CAPITAL IMPROVE FND:			8,259.68	
PARKS/REC DEV TRUST FUND				
93-3700-6850 % FOR ARTS				
NICOLE SNYDER INTERIORS	300463	HISTORICAL PHOTO'S FOR CITY HALL	14,461.28	23040
Total :			14,461.28	
PARKS/REC TRUST EXPENDITURES				
93-4900-5910 WARM SPRINGS PRESR-RESTORATION				
EXPRESS PUBLISHING, INC.	10002196 1130	10002196 113022	1,088.40	
STUDIO SUPERBLOOM, LLC	WSP-004	TASK ORDER 3: MASTER PLANNING WARM SPRINGS PRESERVE	25,026.25	22107
Total PARKS/REC TRUST EXPENDITURES:			26,114.65	
Total PARKS/REC DEV TRUST FUND:			40,575.93	
DEVELOPMENT TRUST FUND				
DEVELOPMENT TRUST EXPENDITURES				
94-4900-8000 PEG GATEWAY MARRIOT AUTOGRAPH				
WHITE PETERSON	24892R 113022	GATEWAY HOTEL DEVELOPMENT PROPOSAL 113022	5,301.00	
Total DEVELOPMENT TRUST EXPENDITURES:			5,301.00	
Total DEVELOPMENT TRUST FUND:			5,301.00	
Grand Totals:			805,447.60	

Report Criteria:

Invoices with totals above \$0 included.
 Paid and unpaid invoices included.
 [Report].GL Account Number = "0110000000"- "9648008200", "9910000000"- "9911810000"
 Invoice Detail.Voided = No, Yes



City of Ketchum

December 19th, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation to Approve Encroachment Agreement 22816 for Improvements on Public Utility Easements Located at 130 Bear Lane.

Recommendation and Summary

Staff recommends the Ketchum City Council approve the attached Encroachment Agreement 22816 and adopt the following motion:

“I move to authorize the Mayor to sign Encroachment Agreement 22816 with 130 Bear Lane LLC.”

The reasons for the recommendation are as follows:

- The property located at 130 Bear Lane contains a 15-foot-wide public water easement and a 15-foot-wide public sewer easement to benefit the City of Ketchum. The property owner wishes to permit the placement of concrete driveway pavers, pathway pavers, and landscaping improvements over the public utility easements.
- The improvements will not impact the use or operation of the municipal water and sewer lines within the public utility easements.
- Encroachment Agreement 22816 allows the City to enter the subject property without notification to the property owner at any time to perform any necessary repair or maintenance to the municipal water and sewer system lying within the public utility easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the public utility easements as well as all costs and expenses for repairs and replacement of any damage to the paver driveway, paver pathway, and landscaping improvements shall be borne by the property owner and not by the City.

Introduction and History

The City issued Building Permit Application File No. B20-080 on October 16th, 2020 for the construction of a new single-family residence and associated site improvements on the property located at 130 Bear Lane.

Obstructions, including landscaping improvements, are not permitted to encroach within public utility easements. Public utility easements must remain unobstructed and may be improved with low-ground cover landscaping, such as drought-tolerant, grasses only. The project plans approved with the building permit for the new home proposed driveway paver, pathway paver, and landscaping improvements over public utility easements on the private property. These encroachments within the public utility

easements were missed by Staff during plan check for the new home. The encroachments were identified by Staff during the final inspection for the project.

Encroachment Agreement 22816 permits the driveway paver, pathway paver, and landscaping improvements within the public utility easements subject to the terms of the agreement. The agreement allows the City to enter the subject property without notification to the property owner at any time to perform any necessary repair or maintenance to the municipal water and sewer system lying within the public utility easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the public utility easements as well as all costs and expenses for repairs and replacement of any damage to the paver driveway, paver pathway, and landscaping improvements shall be borne by the property owner and not by the City.

Analysis

Public utility easements are a type of public right-of-way as defined by Ketchum Municipal Code §12.12.030. Ketchum Municipal Code §12.12.030 defines public right-of-way as all areas legally open to public use, such as public streets, sidewalks or roadways owned in fee by the City of Ketchum, or in, on, or over which an easement exists in the name of or held by the City of Ketchum, or which exists for the benefit of the use of the public. Pursuant to Ketchum Municipal Code §12.12.040.C, a Right-of-Way Encroachment Permit is required for any permanent encroachment within the public right-of-way where a permanent fixture in the ground or attached to a building will occur. The standards for issuance of a Right-of-Way Encroachment Permit are specified in Ketchum Municipal Code §12.12.060. The City Council has the authority to review and approve all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The associated Right-of-Way Encroachment Agreement is intended to help protect the City in the event the proposed encroachments were to ever pose an issue requiring repair, relocation, or removal of the encroachment. The agreement also obligates the property owner to install, maintain, and repair the permanent encroachments at their own expense.

Sustainability

The Encroachment Agreement does not limit the ability of the city to reach the goals of the Ketchum Sustainability Action Plan – 2020.

Financial Impact

There is no financial requirement from the city for this action at this time. The agreement obligates the property owner to install, maintain, and repair the permanent encroachments at their own expense.

Attachments

Encroachment Agreement 22816

WHEN RECORDED, PLEASE RETURN TO:

**OFFICE OF THE CITY CLERK
CITY OF KETCHUM
POST OFFICE BOX 2315
KETCHUM, IDAHO 83340**

ENCROACHMENT AGREEMENT 22816

THIS AGREEMENT, made and entered into this ____ day of December, 2022, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho 83340 and DAVID DUFFIELD, representing 130 Bear Lane LLC, (collectively referred to as "Owner"), whose address is Post Office Box 14001, Ketchum, Idaho 83340.

RECITALS

WHEREAS, Owner is the owner of real property described as 130 Bear Lane ("Subject Property"), located within the City of Ketchum, State of Idaho; and

WHEREAS, the Subject Property contains a 15-foot-wide public water easement and a 15-foot-wide public sewer easement to benefit the City of Ketchum granted per the Rocking Ranch No. 3 Subdivision recorded as Instrument No. 421072 and per the Sewer Easement and Maintenance Agreement recorded as Instrument No. 420759 (collectively referred to as "Public Utility Easements"); and

WHEREAS, the Public Utility Easements on the Subject Property are for the operation, replacement, maintenance, and repair of City water and sewer lines with the free right of access at any and all times so that the City may construct, improve, maintain, replace, and repair the public water and sewer lines within the Public Utility Easements ;

WHEREAS, Owner wishes to permit placement of concrete driveway pavers, pathway pavers, and landscaping over the Public Utility Easements on the Subject Property. These Improvements are shown in Exhibit "A" attached hereto and incorporated herein (collectively referred to as the "Improvements"); and,

WHEREAS, Ketchum finds that said Improvements will not impede the use of said Public Utility Easements at this time subject to the terms and provisions of this Agreement;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

TERMS AND CONDITIONS

1. Ketchum shall permit Owner to install and maintain concrete driveway pavers, pathway pavers, and landscaping identified in Exhibit "A" within the Public Utility Easements on the Subject Property until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.

2. Owner shall be responsible for the maintenance and repair of said Improvements. Any modification to the Improvements identified in Exhibit "A" shall be approved by the City prior to any modifications taking place.

3. The City and City's agents and employees shall be permitted to enter the Subject Property without notification to the property owner at any time to perform any necessary repair or maintenance of any portion of the municipal water and sewer system lying within Public Utility Easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the Public Utility Easements as well as all costs and expenses for repairs and replacement of any damage to the Improvements shall be borne by the Owner and not by the City.

4. In consideration of Ketchum allowing Owner to maintain the Improvements in the Public Utility Easements, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the Improvements constructed, installed and maintained in the public utility easements. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

5. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public utility easement.

6. Owner understands and agrees that by maintaining the Improvements in the public utility easement pursuant to this Agreement, Owner obtains no claim or interest in said public utility easement which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public utility easement nor any other right to use the public right-of-way not specifically described herein.

7. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

8. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

9. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

10. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

11. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

12. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.

OWNER:

CITY OF KETCHUM:

By: _____
David Duffield
130 Bear Lane LLC
Its: Managing Member

By: _____
Neil Bradshaw
Its: Mayor

STATE OF _____,)
County of _____,) ss.

On this ____ day of _____, 2022, before me, the undersigned Notary Public in and for said State, personally appeared DAVID DUFFIELD, known to me to be the managing member of 130 BEAR LANE LLC and the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public for _____
Residing at _____
Commission expires _____

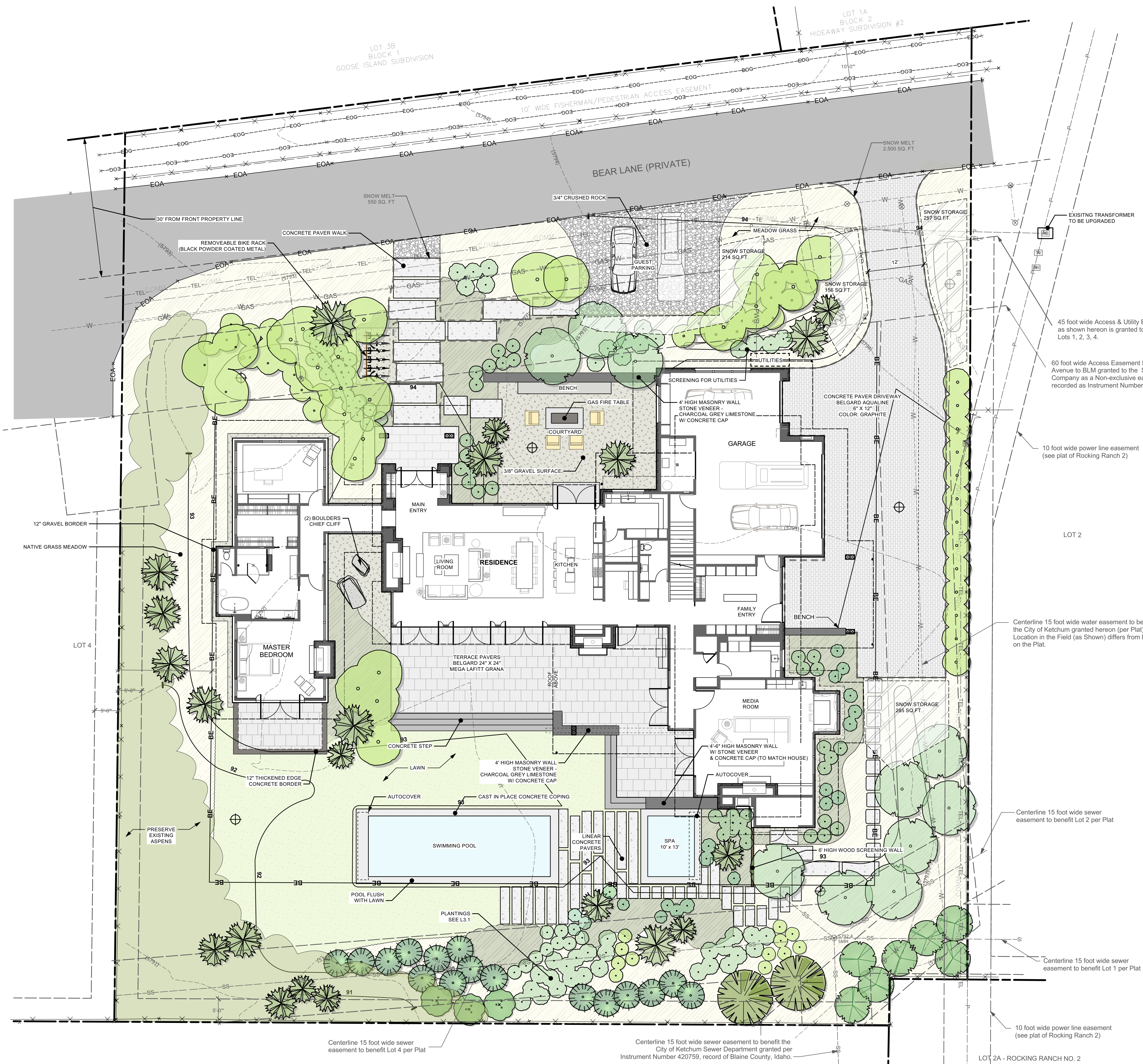
STATE OF IDAHO)
County of Blaine) ss.

On this ____ day of _____, 2022, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person who executed the foregoing instrument on behalf of said municipal corporation and acknowledged to me that said municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

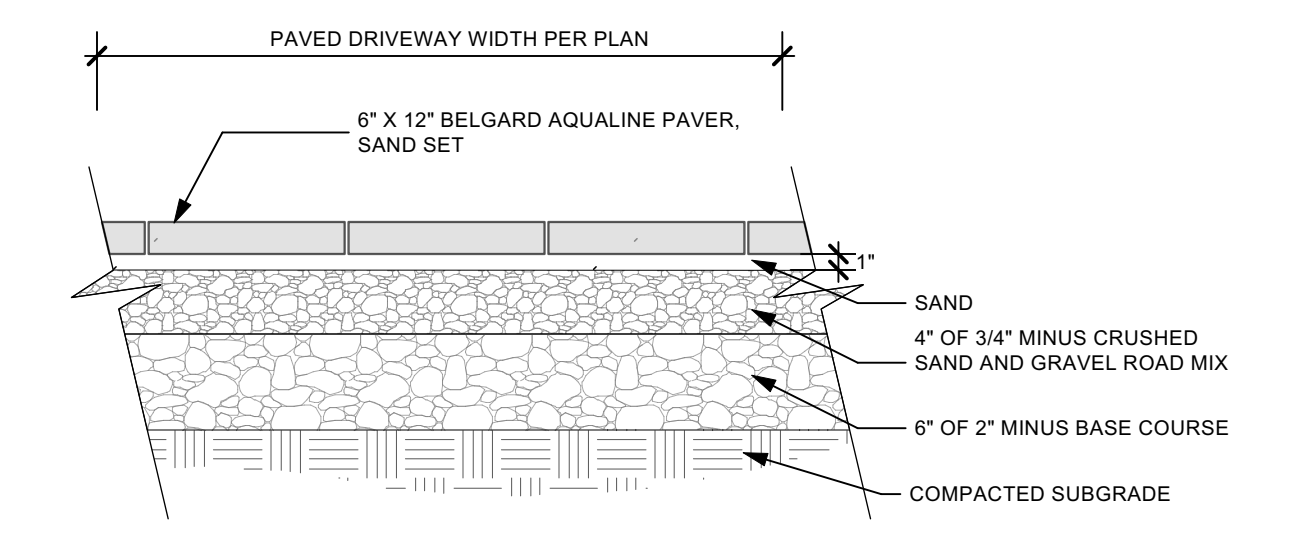
EXHIBIT "A"



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
SILT	Silt Fence (during construction)
(XXXX)	Existing Contours
XXXX	Proposed Contours
TP	Existing Utility
W	Existing Utility
GAS	Existing Utility
SWR	Existing Utility
PWR	Existing Utility
(Tree symbol)	Existing Vegetation
(Gravel pattern)	Surface Material - Gravel
(Concrete pattern)	Hardscape - Concrete
(Brick pattern)	Hardscape - Concrete Brick Pavers
(Stone pattern)	Hardscape - Cut Stone Steps
(Masonry pattern)	Masonry Wall w/ Stone Veneer
(Boulder symbol)	Landscape Boulder
(Native plant symbol)	Landscape - Native
(Lawn symbol)	Landscape - Lawn
(Perennial symbol)	Landscape - Perennials
(Shrub symbol)	Landscape - Shrubs
(Tree symbol)	Landscape - Trees

DETAILS:
 FOR GRADING SEE SHEET L3.0
 FOR PLANTING SEE SHEET L4.0
 FOR LIGHTING SEE SHEET L5.0

SNOW STORAGE:
 PARKING AND DRIVEWAY: 3,000 SQ.FT.
 30% OF 3,000 SQ.FT. = 900 SQ.FT.
 PROVIDED SNOW STORAGE: 912 SQ.FT.



1 DRIVEWAY PAVERS
N.T.S

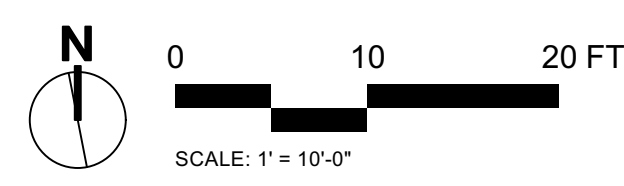
LANDSCAPE PLAN
BEAR LANE
 130 BEAR LN, KETCHUM, ID

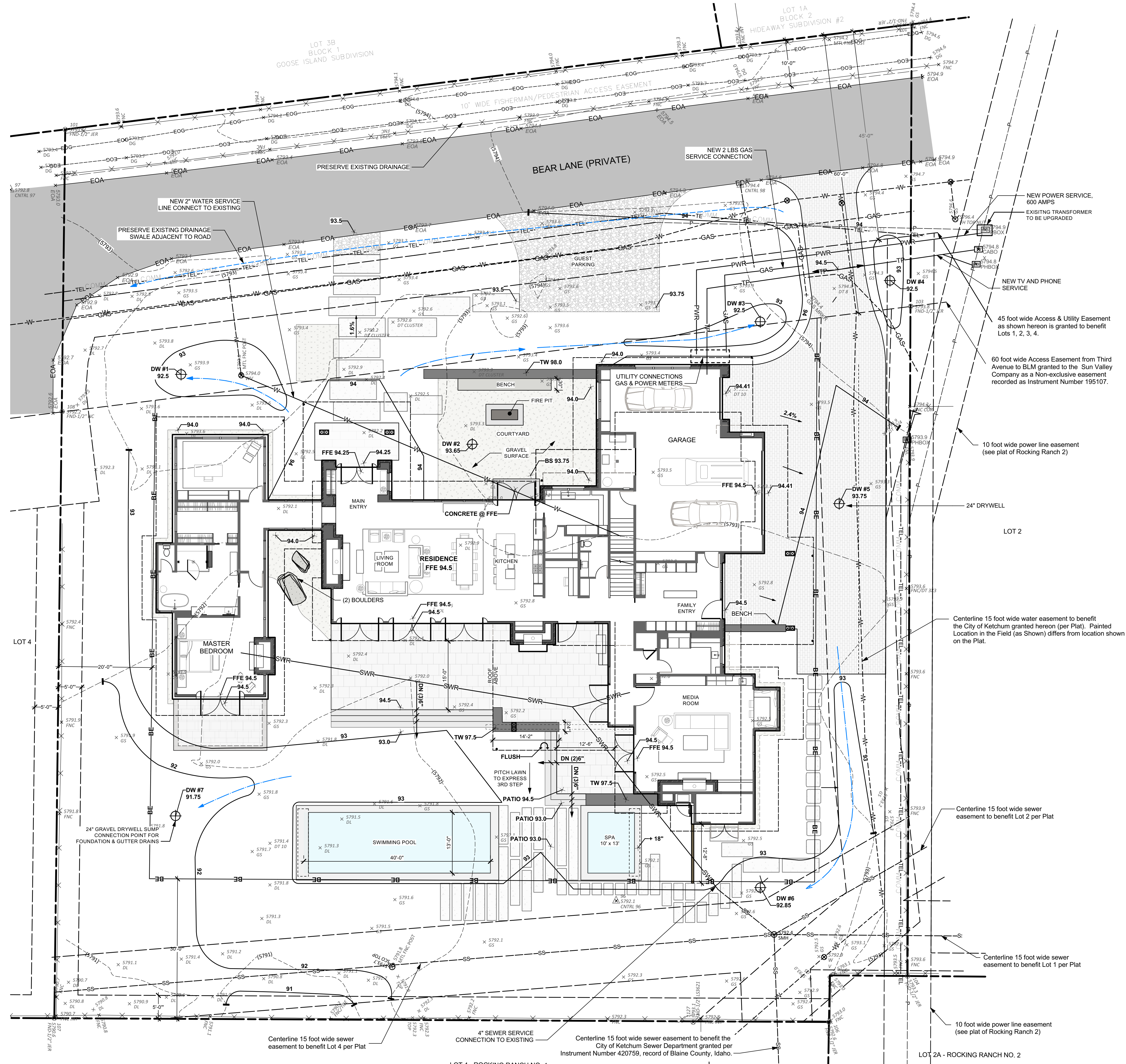
FILENAME: BEAR LANE v2021.vwx
 PROJECT MANAGER: BY
 DRAWN BY: TP
 ISSUE DATE: 11.17.2020
 PLOT DATE: 11/18/20 9:54:28

LANDSCAPE OVERVIEW

SHEET NO.

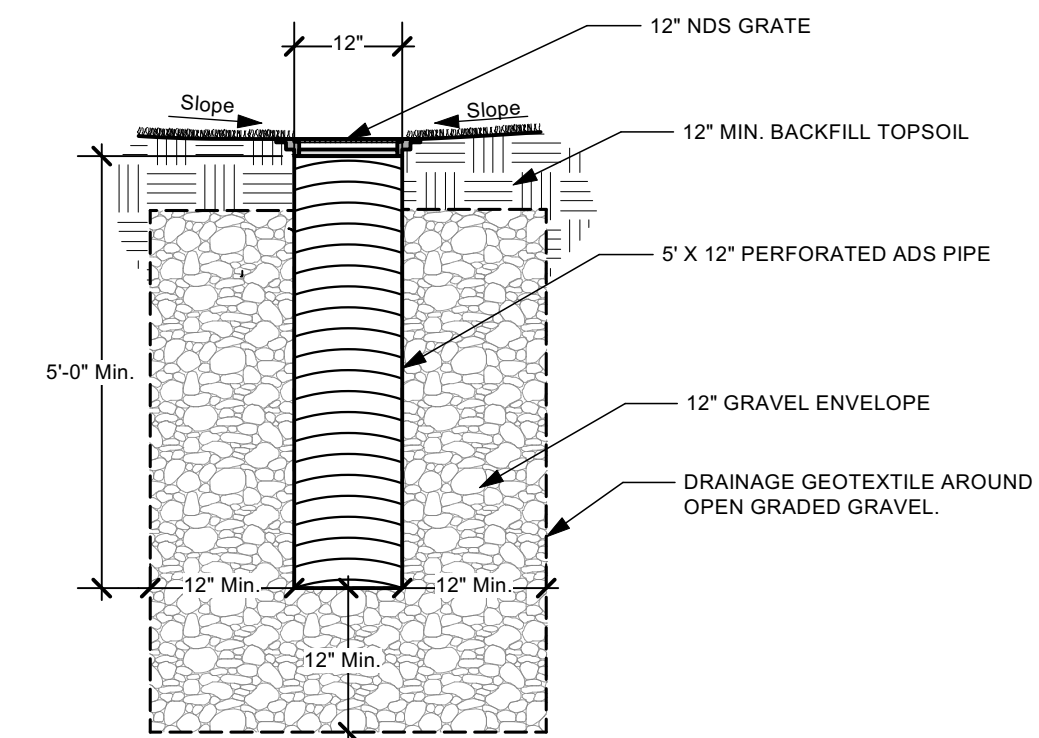
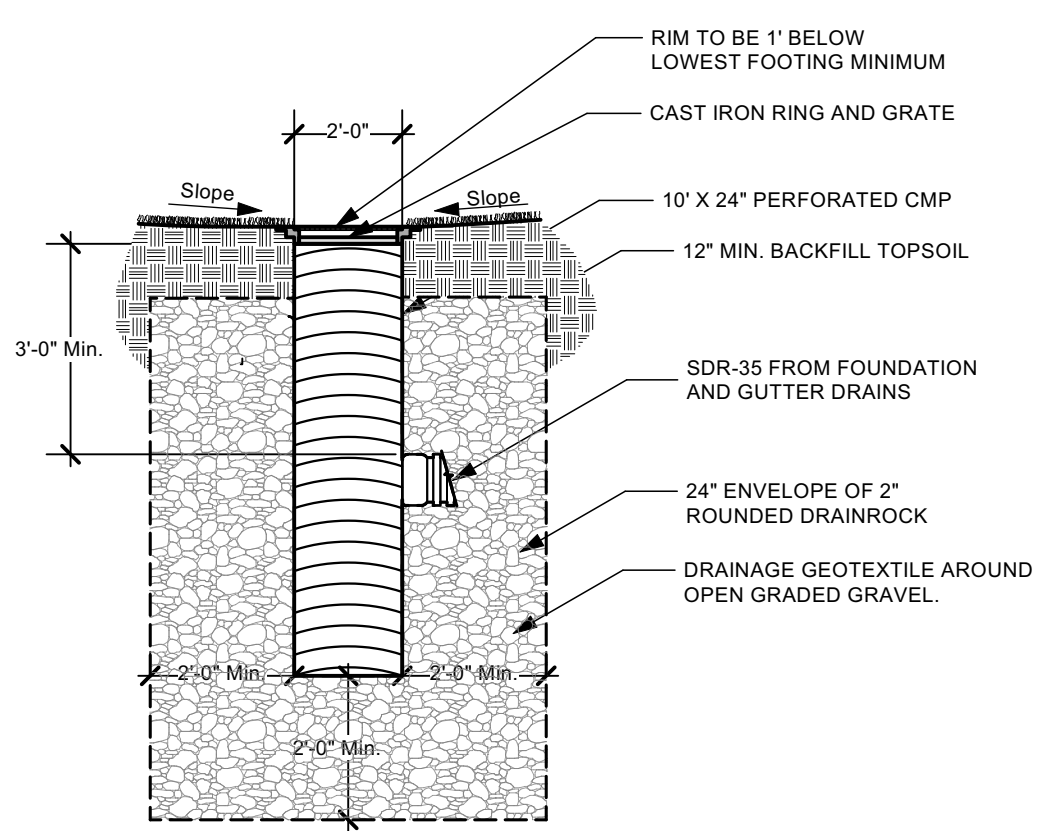
L2.0





GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
	12" Drywell: # 1,2,3,4,6
	24" Drywell (Cast Iron): # 5,7
	2.0% Pitch
	Drainage Direction
	Flush Grade Condition
	Stem Wall
	Footing
	FFE Finished Floor Elevation
	+10.50 Spot Elevation
	FG Finished Grade
	FS Finished Surface
	TS Top of Step
	BS Bottom of Step
	TW Top of Wall
	BW Bottom of Wall
	TM Top of Metal
	LP Low Point
	HP High Point

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Building Envelope
	Setbacks / Easements
	Existing Contours
	Proposed Contours
	Existing Utility
	Surface Material - Gravel
	Hardscape - Concrete
	Hardscape - Concrete Brick Pavers
	Hardscape - Cut Stone Steps
	Masonry Wall w/ Stone Veneer



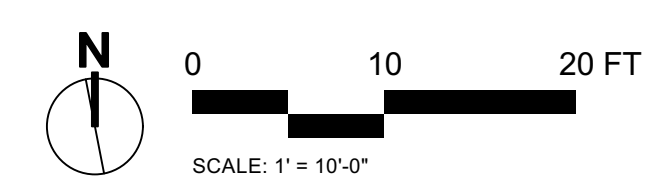
LANDSCAPE PLAN
BEAR LANE
130 BEAR LN, KETCHUM, ID

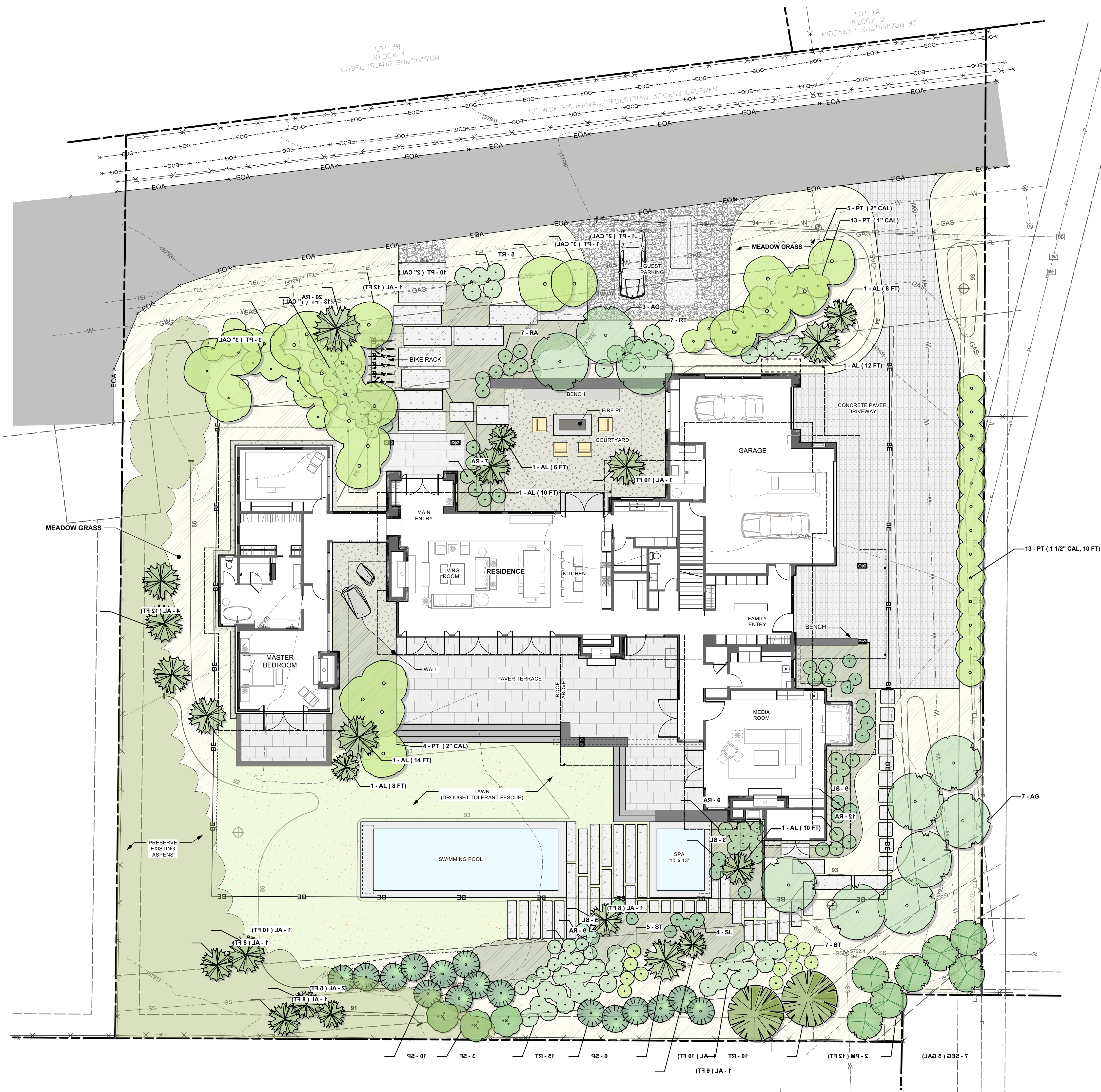
FILENAME: BEAR LANE v2021.vwx
PROJECT MANAGER: BY
DRAWN BY: TP
ISSUE DATE: 11.17.2020
PLOT DATE: 11/18/20 9:54:29

GRADING AND DRAINAGE

SHEET NO.

L3.0



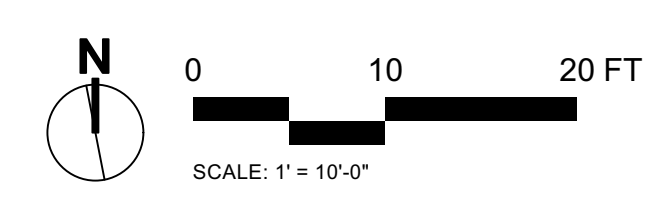


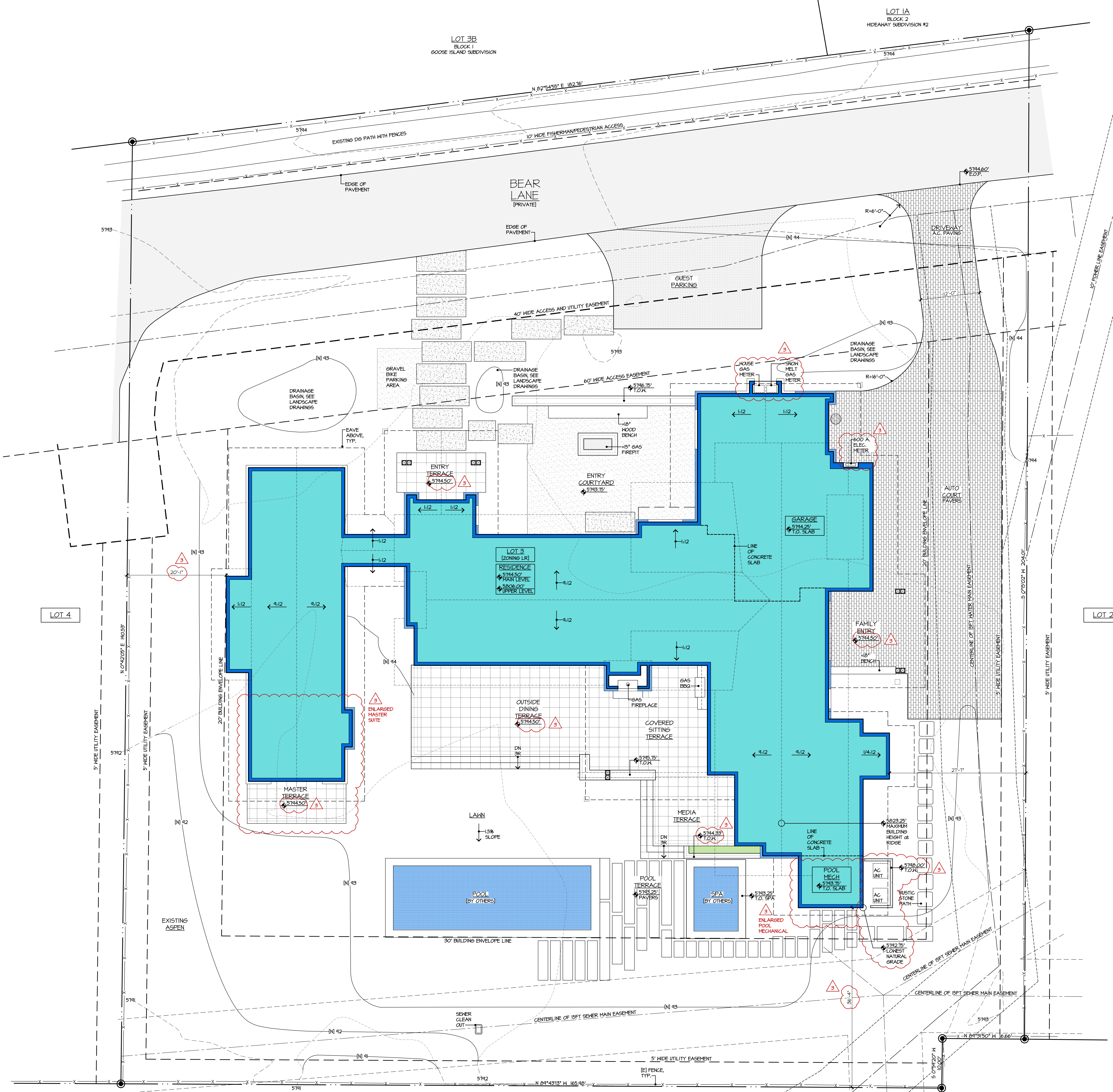
SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
SILT	Silt Fence (during construction)
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Existing Utility
---	Existing Vegetation
---	Surface Material - Gravel
---	Hardscape - Concrete
---	Hardscape - Concrete Brick Pavers
---	Hardscape - Cut Stone Steps
---	Masonry Wall w/ Stone Veneer
---	Landscape Boulder
---	Landscape - Native
---	Landscape - Lawn
---	Landscape - Perennials
---	Landscape - Shrubs
---	Landscape - Trees

PLANT SCHEDULE					
TREES					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
AG	10	12 FT	<i>Acer glabrum</i>	Rocky Mountain Maple	
AL	1	14 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	6	12 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	5	10 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	5	8 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	4	6 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
PM	2	12 FT	<i>Pseudotsuga menziesii</i>	Douglas Fir	
PT	13	1 1/2" CAL, 10 FT	<i>Populus tremula 'Erecta'</i>	Columnar Swedish Aspen	
PT	4	3" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
PT	20	2" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
PT	28	1" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
SHRUBS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
RA	64	5 GAL	<i>Ribes alpinum</i>	Alpine Currant	
RT	41	5 GAL	<i>Rhus trilobata</i>	Three-Leaf Sumac	
SEG	7	5 GAL	<i>Salix exigua</i>	Narrowleaf (Coyote) Willow	
SF	3	6"-0" B&B	<i>Salix 'Flame'</i>	Flame Willow	
SL	21	---	<i>Salix lapponum</i>	Downy Willow	
SP	16	4"-0" B&B	<i>Salix purpurea</i>	Arctic Willow	
ST	12	5 GAL	<i>Spiraea x billardi 'Triumphans'</i>	Triumphans Spiraea	
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
Slender Wheatgrass					
Idaho Fescue					
Mountain Brome					

NOTE:
LAWN TO UTILIZE DROUGHT TOLERANT FESCUE

IRRIGATION NOTE:
ALL TREES TO HAVE DRIP IRRIGATION AND ALL OTHER PLANTINGS TO BE IRRIGATED





COVERAGE ANALYSIS

LOT SIZE	= 36,635 SF
MAXIMUM ALLOWABLE COVERAGE FOR BUILDINGS [30%]	= 12,822 SF
PROPOSED BUILDING COVERAGE	3 6,034 SF
BUILDING FOOTPRINT	= 6,034 SF
ROOF OVERHANGS GREATER THAN 3'-0" BEYOND FOOTPRINT	= 3,120 SF
TOTAL PROPOSED BUILDING COVERAGE [26%]	3 9,154 SF
PROPOSED IMPERVIOUS COVERAGE	3 6,034 SF
BUILDING FOOTPRINT	= 6,034 SF
COVERED FAMILY ENTRY	= 264 SF
COVERED SITTING TERRACE	= 412 SF
OUTSIDE DINING TERRACE + STAIRS	= 129 SF
MEDIA TERRACE + STAIRS	= 273 SF
MASTER TERRACE	= 225 SF
POOL TERRACE	= 430 SF
POOL	= 644 SF
SPA	= 182 SF
STONE WALK	= 234 SF
ENTRY WALK	= 523 SF
AUTO COURT	= 1,643 SF
DRIVEWAY	= 573 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE [34%]	3 12,442 SF

NOTES

- SURVEY INFORMATION PROVIDED BY LICENSED LAND SURVEYOR.
- BUILDING SHALL BE SITED BY A REGISTERED CIVIL ENGINEER. EXACT LOCATION TO BE VERIFIED IN FIELD. NOTIFY DESIGNER/ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- ALL ELEVATIONS ARE BASED ON EXISTING SITE INFORMATION PROVIDED BY A LICENSED LAND SURVEYOR. THE CONTRACTOR SHALL CONFIRM GRADING, SITE DRAINAGE, AND BUILDING FLOOR ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE SYSTEMS. A DRAINAGE SHALE SHALL BE PROVIDED AT THE PERIMETER OF BUILDING TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM 2% SLOPE FOR A MINIMUM DISTANCE OF TEN FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. EXCEPTION WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION IS PERMITTED TO BE REDUCED TO NOT LESS THAN 2% SLOPE. CGC 1803.3 ALL DRIP LINE TRENCHES SHALL BE CONNECTED TO SUBSURFACE DRAINPIPE AND DRYWELLS. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DRAINAGE RELATED ISSUES IMMEDIATELY.
- CONTRACTOR SHALL FIELD VERIFY ROUTING OF ALL PROPOSED UTILITIES AND UTILITY TRENCHES TO AVOID DAMAGE TO ANY TREES OR EXISTING ESTABLISHED VEGETATION. CONTRACTOR SHALL PROVIDE THE REQUIRED FENCINGS AROUND THE JOINT TRENCH CONNECTION TO THE RESIDENCE.
- CONTRACTOR SHALL INSTALL ALL UTILITIES PER BLAINE COUNTY REQUIREMENTS. VERIFY THE REQUIRED CLEARANCES WITH THE APPROPRIATE SERVING UTILITIES.
- WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A 36" MINIMUM EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACK FLOW PREVENTION DEVICE. THE WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION PERIMETER, EQUIPPED WITH A STOP AND DRAIN VALVE, AND FITTED WITH A HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. WATERLINE SHALL BE INSPECTED BEFORE COVERING. PE PIPE IS PROHIBITED IF MORE THAN 5 FEET INSIDE THE FOUNDATION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY UTILITIES AND SERVICES IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. TEMPORARY UTILITIES AND SERVICES SHALL NOT INTERFERE WITH NATURAL SITE FEATURES SUCH AS TREES OR OTHER EXISTING ESTABLISHED VEGETATION. TEMPORARY HOODUPS MUST BE PROVIDED WITH THEIR OWN MEANS OF SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS. SURVEY MARKERS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SITE MATERIAL, NOT SUITABLE FOR FILL OR RE-VEGETATION SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE 6 INCH ADDRESS NUMBERS ON RESIDENCE AS SPECIFIED BY OWNER AND DESIGNER/ENGINEER.
- PORTA-POTTI REQUIRED ON JOB SITE AT TIME OF FIRST INSPECTION.
- SEWER CLEANOUT: A ONE-WAY CLEANOUT IS REQUIRED WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. CLEANOUT BOXES SHALL BE SET TO GRADE. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID. CLEANOUT MUST REMAIN ACCESSIBLE AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ETC. ALL SEWER FACILITIES MUST MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS.

LEGEND

FINISH FLOOR ELEVATION	▲ 5485.25'
EXISTING CONTOUR	---
NEW CONTOUR	---
EASEMENTS	---
PROPERTY LINE 4 CORNER	●
BUILDING SETBACK LINE	---
JOINT UTILITY TRENCH	---
EROSION CONTROL FENCING	---
ROOF OVERHANG	---
STEM WALL	■
AC PAVING	■
INFILTRATION TRENCH	■

walton
architecture + engineering|inc.

740 north lake blvd
tahoe city ca 96145
p 530.583.3690
f 530.583.4690

Bear Lane Residence

130 Bear Lane
Ketchum, ID 83340
APN RPK0514000030

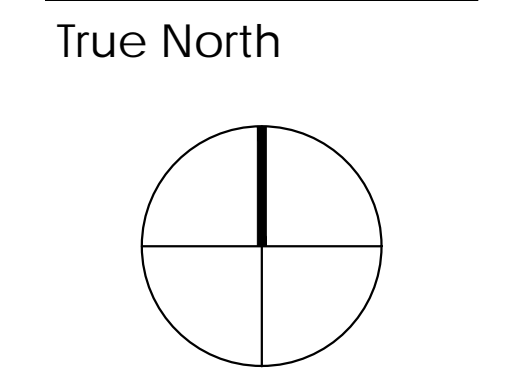
LICENSED ARCHITECT
AR 986533

Walton
BLAINE DENISE WALTON
STATE OF IDAHO
07/28/2020

All drawings and written material appearing herein constitute original and unpublished work of the architect + engineer and may not be duplicated, used or disclosed without written consent of the architect + engineer

Final Submittal - 07.29.20
Plan Check - 08.03.20
Window/Door Revision - 09.03.20
Plan Check Corrections - 09.23.20

Job Number	798
Issue Date	16 November 2020
Subject	
Revision	



Drawing Title
Site Plan

Scale: 1/8" = 1'-0"

Drawing Number



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation To Approve Sidewalk In-Lieu Agreement 22819

Recommendation and Summary

Staff is recommending the council approve Agreement 22819 and adopt the following motion:

I move to approve Agreement 22819.

The reasons for the recommendation are as follows:

- The municipal code requires installation of sidewalk as part of the development of new single family dwelling, however, the sidewalk will not connect with any other pedestrian pathway.
- The municipal code allows for the payment of an in-lieu fee for sidewalks in the event the city engineer has determined a sidewalk is not appropriate for the location
- The proposed agreement reflects the cost of installing the sidewalk and the required in-lieu fee.

Introduction and History

The City of Ketchum approved Building Permit Application File No. P22-015 on June 14, 2022 for a new single family residence and accessory dwelling unit on the subject property. The subject property is located within the T-3000 zoning district which requires sidewalks, curbs and gutters to be designed and installed by the applicant when there is new construction per Ketchum Municipal Code 17.124.140.

Pursuant to Ketchum Municipal Code 17.124.140.A.1, any person required to install sidewalk, curb and gutter may submit to the Administrator, as part of the design review or building permit process, a request for consideration of in lieu payment. The City Engineer recommends this property not be subject to the above-mentioned requirement and instead install 8' of gravel adjacent to the existing asphalt. At this time, there is no other sidewalk adjacent to this property and there are no future sidewalks anticipated.

The Owner has followed City Engineer direction and requested consideration to provide a sidewalk in lieu payment for the work associated with the building permit.

Analysis

The municipal code provides for the payment of an in-lieu fee for sidewalks when installation of a sidewalk is not feasible or part of an overall sidewalk plan. The in-lieu fee can be used for installation of sidewalks in other areas of the city.

Financial Impact

There is no financial impact to the city. Funds can be used for sidewalk installation.

Attachments: Agreement 22819

Sidewalk In Lieu Agreement 22819

Parties:

City of Ketchum	"City"	P.O. Box 2315, 151 5 TH Ave W, Ketchum, Idaho 83340
Ken Rizzotti	"Owner"	PO Box 433, Sun Valley, Idaho 83353

This Sidewalk In Lieu Payment Agreement ("Agreement") is entered into as of the ___ day of ___ 2022, by and between the City of Ketchum, an Idaho municipal corporation ("City") and Ken Rizzotti ("Owner").

RECITALS

- A. The Owner is the owner of real property located at 230 Picabo St, Ketchum, ID 83340, Parcel Number RPK0461000003D (the "subject property").
- B. The City of Ketchum approved Building Permit Application File No. P22-015 on June 14, 2022 for a new single family residence and accessory dwelling unit on the subject property.
- C. The subject property is located within the T-3000 zoning district which requires sidewalks, curbs and gutters to be designed and installed by the applicant when there is new construction per Ketchum Municipal Code 17.124.140.
- D. Pursuant to Ketchum Municipal Code 17.124.140.A.1, any person required to install sidewalk, curb and gutter may submit to the Administrator, as part of the design review or building permit process, a request for consideration of in lieu payment.
- E. The City Engineer recommends this property not be subject to the above-mentioned requirement and instead install 8' of gravel adjacent to the existing asphalt.
- F. The Owner has followed City Engineer direction and requested consideration to provide a sidewalk in lieu payment for the work associated with the building permit.
- G. The City received a design plan for construction of sidewalk curb and gutter, together with the estimated cost of construction as outlined in Exhibit A

THEREFORE, in consideration of the mutual agreement herein contained and subject to the terms and conditions stated, it is hereby understood and agreed upon by the Parties as follows:

1. **Payment.** The in-lieu payment shall be made prior to issuance of a certificate of

occupancy.

2. **Amount of Payment.** Consistent with Attachment A to this Agreement, Owner shall pay the City \$24,635.00 in lieu of constructing a sidewalk adjacent to the development at 230 Picabo Street, Ketchum Idaho.
3. **Amendments.** This Agreement may not be amended, modified, altered or changed in any respect whatsoever, except by further agreement in writing executed by the parties in the manner the Agreement was approved.
4. **Binding Effect.** This Agreement shall be binding upon the heirs, estates, personal representatives, successors, and assigns of the parties.
5. **Attorney Fees and Costs.** If any action at law or in equity is necessary to enforce or interpret the terms of this Agreement, the prevailing party shall be entitled to reasonable attorney's fees, costs and necessary disbursements in addition to any other relief to which such party may be entitled.
6. **Notices.** Any notice under this Agreement shall be in writing and shall be treated as duly delivered if the same is personally delivered or deposited in the United States mail, certified, return receipt requested, postage prepaid, and properly addressed to the contacts as specified at the beginning of this Agreement.
7. **Partial Invalidity.** Whenever possible, each provision of this Agreement shall be interpreted in such a way as to be effective and valid under applicable law. If a provision of this Agreement is prohibited by or invalid under applicable law, it shall be ineffective only to the extent of such prohibition or invalidity, without invalidating the remainder of such provision or the remaining provisions of this Agreement.

DATED THIS ____ DAY OF _____ 2022.

Owner

City of Ketchum

Ken Rizotti, Owner

Neil Bradshaw, Mayor

Attest:

Trent Donat, City Clerk

230 Picabo St Sidewalk In Lieu Fee Calculation

#	Item	Unit	Qty	Unit Cost	Item Cost
1	clearing, grubbing,excavation (assume L*(W+2')*1' D)	sy	350	\$ 4.00	\$ 1,400.00
2	Concrete Sidewalk (8' wide)	sy	233	\$ 75.00	\$ 17,475.00
3	2"(-) crushed aggregate subbase (6" compacted depth)	cy	52	\$ 65.00	\$ 3,380.00
4	3/4"(-) crushed aggregate base (4" compacted depth)	cy	34	\$ 70.00	\$ 2,380.00
TOTAL				\$	24,635.00



City of Ketchum
City Hall

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation to approve Purchase Order #23050.

Recommendation and Summary

Staff is recommending the Council approve Purchase Order #23050 with Con Paulo's Chevrolet for the purchase of two new work trucks. A Chevy Silverado 2500 and a Chevy Silverado 1500.

"I recommend that the Council approve Purchase Order #23050 in a not to exceed amount of \$91,656.00 for the purchase of two new work trucks."

Introduction and History

Staff solicited competitive bids from four area vehicle dealership. The recommended purchases of the Chevy Silverado 2500 and Chevy Silverado 1500 replace our 2002 GMC 2500 and 2003 GMC 1500. These work trucks will be used for day-to-day field maintenance, operations, plowing and emergencies. Due to our aging fleet, it is critical to start upgrading and reduce the ongoing maintenance costs endured to keep them dependable and running safely.

Financial Requirement/Impact

The expense for Chevy Silverado 2500 was a planned and budgeted item For FY '21-'22. Due to pandemic era economic conditions, the purchase order through the State Facilitated contract was canceled, so it rolled over to FY '22-'23. The expense for the Chevy Silverado 1500 was a planned and budgeted item for FY '22-'23. Both have been previously approved by the Council.

Analysis

We have gone through a bid process and Con Paulos Chevrolet of Jerome, ID, met the specifications of the process.

Attachments:

Con Paulos Chevy Silverado 1500 Quote
Con Paulos Chevy Silverado 2500 Quote
PO #23050



Bob Sneed
Fleet Sales Manager
 251 East Frontage Road South
 P.O. Box 483
 Jerome, ID 83338
 o208-324-3900
 c775-777-6505

Customer **City of Ketchum**
Name **Trent Donat**
Phone
VIN **CFKPB3**
Stock #
Miles **new**
Year **2023**
Make/Model **Chevrolet Silverado 1500 Custom Crew gas**
Color **White**

Selling Price		\$	50,230.00
GM Bid Assistance	850720	\$	(6,400.00)
Doc fees		\$	399.00
Subtotal		\$	44,229.00
Sales Tax	0.00%	\$	-
Title Fee		\$	14.00
Total		\$	44,243.00
Down Payment		\$	-
Balance		\$	44,243.00

Customer Acceptance x _____

This truck is accepted for production with targarted production week of January 9, 2023. Typically it takes about 1 month for the truck to arrive after being Produced. The estimated delivery date would be mid February 2023 but could change due to unforeseen circumstances. VIN numbers are assigned to the truck once it is produced so that not available at this time.



Bob Sneed
Fleet Sales Manager
 251 East Frontage Road South
 P.O. Box 483
 Jerome, ID 83338
 o208-324-3900
 c775-777-6505

Customer **City of Ketchum**
Name **Trent Donat**
Phone
VIN 1GC5YLE75PF195848
Stock #
Miles **new**
Year **2023**
Make/Model **Chevrolet Silverado 2500 WT Double Cab gas**
Color **White**

Selling Price		\$	51,900.00
GM Bid Assistance	850720	\$	(4,900.00)
Doc fees		\$	399.00
Subtotal		\$	47,399.00
Sales Tax	0.00%	\$	-
Title Fee		\$	14.00
Total		\$	47,413.00
Down Payment		\$	-
Balance		\$	47,413.00

Customer Acceptance x _____

This truck was just built, has a VIN(see above) and is enroute to the Dealership in Jerome, ID Typically it takes about 1 month for the truck to arrive after being Produced. There is no estimated delivery date as of today. The truck will most likely be available for delivery to the customer in January 2023 but can not be guaranteed.



CITY OF KETCHUM
 PO BOX 2315 * 191 5TH ST. * KETCHUM, ID 83340
 Administration 208-726-3841 (fax) 208-726-8234

PURCHASE ORDER
 BUDGETED ITEM? Yes No

PURCHASE ORDER - NUMBER: 23050

To: 5948 CON PAULOS 251 E FRONTAGE RD S PO BOX 483 JEROME ID 83338	Ship to: CITY OF KETCHUM PO BOX 2315 KETCHUM ID 83340
--	---

P. O. Date	Created By	Requested By	Department	Req Number	Terms
12/15/2022	kchoma	kchoma		0	

Quantity	Description	Unit Price	Total
1.00	CHEVY SILVERADO 2500 WT DOUBLE CAB G 64-4340-7500	47,413.00	47,413.00
1.00	CHEVY SILVERADO 1500 CUSTOM CREW GA 64-4340-7600	44,243.00	44,243.00
	SHIPPING & HANDLING		0.00
	TOTAL PO AMOUNT		91,656.00

 Authorized Signature



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation to Approve First Amendment to City Administrator's Employment Contract

Recommendation and Summary

Mayor Bradshaw is recommending the City Council approve the first amendment to the City Administrator's employment contract regarding compensation.

"I move to approve amendment one to the City Administrator's employment contract"

The reasons for the recommendation are as follows:

- Mr. Riley has not received a compensation increase since beginning employment with the city in 2020
- Mr. Riley has received a satisfactory performance review as required in the contract
- The FY23 budget allocated 4% base and 5% one-time employee compensation adjustments. The proposed amendment outlines a 3% base and 3% one-time compensation adjustments for Mr. Riley

Sustainability Impact

None

Financial Impact

Adequate funds exist in the FY23 budget to address this compensation adjustment.

Attachment:

1. Amendment One to Employment Contract



City of Ketchum

**AMENDMENT TO EMPLOYMENT CONTRACT #20489 FOR
CITY ADMINISTRATOR**

THIS AMENDMENT OF CONTRACT FOR SERVICES ("**First Amendment**") is entered into as of the ____ day of _____ 2022 by and between Jade Riley and the City of Ketchum, an Idaho municipal corporation (collectively, the "Parties")

This First Amendment hereby amends Contract #20489 to authorize a three percent base and three percent one-time adjustment to Provision Four of the Agreement (salary).

No other provisions of the Agreement are amended, and the remainder of the Agreement shall remain in full force and effect.

The Parties hereby approve and execute this First Amendment to the Agreement.

CITY OF KETCHUM

JADE RILEY

Neil Bradshaw, Mayor

ATTEST:

Trent Donat
City Clerk



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

RECOMMENDATION TO REQUEST OWNERSHIP OF LIFT TOWER LODGE

Recommendation and Summary

Blaine County, Sun Valley, Hailey, and Ketchum are meeting bi-weekly to determine the best model for countywide coordination and implementation of BCHA's strategic plan. From these discussions, it was determined that the Lift Tower Lodge may be better suited under new ownership. The Lift Tower Lodge is a vital asset as transitional housing for locals and is within Ketchum's jurisdiction. Staff recommends that the City request a transfer of ownership to the City from the Blaine County Housing Authority Board.

The reasons for the recommendation are as follows:

- City staff are intimate with managing the physical building and others are familiar with tenant relationships and agreements.
- The City aims to manage the site until redevelopment to accommodate more housing, which would occur after the transfer of adjacent property from Sun Valley Company (per the River Run Development Agreement). The City could work on redevelopment with the Ketchum Urban Renewal Agency.

"I move to request ownership of Lift Tower Lodge from Blaine County Housing Authority"

Context

The Ketchum Housing Action Plan outlines the following related objectives:

Goal 3: Expand + Improve Services to Create Housing Stability

Action 2. Expand residential capacity of Lift Tower Lodge

Action 8. Identify and support physical housing options for unhoused and at-risk households

Goal 1: Create + Preserve Housing

Action 2. Develop a new housing construction pipeline

On March 21, 2022, Council approved improving Lift Tower Lodge's sewer system, which enabled increasing capacity from 6 transitional units to 14. Blaine County covered additional upgrades. This completed Goal 3, Action 2 of the Housing Action Plan.

Accounting for that land, and adjacent land that will be transferred to the City from Sun Valley Company, could accommodate a master planned housing development. The City is beginning to review RFPs for architectural/land use firms to analyze the land-use feasibility of developing community housing on publicly owned properties, of which Lift Tower Lodge is one. If that analysis determines that housing development is feasible from a land-use perspective, after the adjacent lots are transferred, then the City could consider developing the site and adjacent lots together. To facilitate such development, the City could transfer those sites to Ketchum Urban Renewal Agency. The City could specify which income levels and housing types to include, such as maintaining or growing the number of transitional housing units currently on site.

Interim Executive Director of BCHA, Sarah Michael, requested that the City Council consider taking ownership of Lift Tower Lodge. Pending the Council’s decision, this topic will be proposed to the BCHA Board on Wednesday, December 21st.

Sustainability impact

Ability to house employees and community participants locally decreases commuter vehicular trips.

Financial Impact

The Lift Tower Lodge generates revenue through tenant rental payments of an estimated \$650 per month. To be conservative and account for turnover, the staff estimates a 93% occupancy rate. This equates to about \$111,000 in revenue each year. Expenses are estimated to be \$51,000, which includes a capital reserve that is slightly lower than an older building might otherwise warrant (20% instead of 30%): The reason for this is because, with anticipated redevelopment in the next few years, some capital expenses could potentially be held until redevelopment. Given these assumptions, operating the Lift Tower Lodge would generate a positive balance of about \$45,000 per year.

Revenue		
14 rooms, \$650 per month, 93% occupancy	\$	101,556
Caretaker rent @\$750 per month	\$	9,000
TOTAL REVENUE	\$	110,556
Expenses		
On site caretaker, pay	\$	10,500
on site caretaker, taxes	\$	945
LTL Utilities (Electricity, Gas, Cable, Trash, Sewer)	\$	17,160
LTL Snow Removal	\$	3,500
LTL Supplies	\$	3,500
LTL Maintenance	\$	7,656
LTL Other	\$	1,500
Capital reserve @ 20% of rent	\$	20,311
TOTAL EXPENSES	\$	65,072
BALANCE (revenue - expenses)	\$	45,484

Attachments

Letter to Blaine County Housing Authority



City of Ketchum

December 9, 2022

Blaine County Housing Authority
101 Empty Saddle Road
Hailey, ID 83333

Re: Lift Tower Lodge Ownership Transfer

Dear Blaine County Housing Authority Commissioners:

The City of Ketchum expresses strong interest in assuming ownership of the Lift Tower Lodge. Having intimate knowledge of the property through previous management and funding of improvements at the site by the Facilities Division, Ketchum is well poised to assume the responsibilities associated with the property.

A highly qualified individual, currently employed by the City in the Facilities Division, is prepared to move into the onsite property management position. Back-up and support, when necessary, would be provided by other members of the facilities team.

In addition to being fully prepared with an experienced team for the management of this asset, the City's housing strategist and business manager would oversee all aspects of the rental units, including management of the leases, collecting rent, etc. The revenue generated from leasing the 14 units currently goes to support the operations of the Blaine County Housing Authority. The use of these funds in the future would be detailed in a long-term sale agreement when that is finalized.

The City of Ketchum's goal in acquiring the property is to maintain the 14 rooms of transitional housing until the City redevelops the site to create permanently affordable housing at a minimum of 14 units or more at the site. The City will also assess the feasibility of maintaining transitional housing there, as well as permanent longer-term deed restricted residences.

Finally, the River Run Development Agreement includes the transfer of Sun Valley Company property adjacent to the Lift Tower Lodge to the City of Ketchum for community housing.

It is our understanding that the Ketchum Urban Renewal Agency (KURA) is also interested in acquiring the Lift Tower Lodge property. Should the Board choose to transfer the property to the City of Ketchum, we are committed to coordinating with the KURA over the redevelopment.

We feel that for the reasons outlined above, the City is best postured to maintain this asset for community housing. If the BCHA board is willing to transfer the Lift Tower Lodge to the City of Ketchum, we hereby request ownership.

Thank you for your consideration.

Sincerely,

Neil Bradshaw
Mayor



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

**Recommendation to Hold Second Reading of Ordinance #1243 Amending Chapter
13.04.080 (BUILDING SEWERS AND SERVICE CONNECTIONS) of the Ketchum Municipal
Code**

Recommendation and Summary

Staff is recommending approval of the second reading of Ordinance #1243 which seeks to update the requirements of sewer and service connections.

"I move to approve the second reading of Ordinance #1243."

The reasons for the recommendation are as follows:

- Current Code requires every building to have a separate and independent sewer service connection.
- This amendment will authorize an exception for approved accessory dwelling units allowing them to be connected to the sewer service of the primary residence on the property.

Sustainability Impact: None

Financial Requirement/Impact: None

Attachments

Ordinance #1243

KETCHUM ORDINANCE NO. 1243

AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 13, CHAPTER 13.04.080, BUILDING SEWERS AND SERVICE CONNECTIONS, TO UPDATE THE REQUIREMENTS OF SEWER AND SERVICE CONNECTIONS OF SUCH CHAPTER; AND PROVIDING AN EFFECTIVE DATE.

A. The City has determined that an update and revision to Chapter 13.04.080 of Title 13 are warranted to clarify when a sewer and service connection is required for an approved accessory dwelling unit or a building in the rear of another building.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the city of Ketchum, Blaine County, Idaho:

SECTION 1: That Section 13.04.080 of the Ketchum City Code be amended as follows:

13.04.080: Building Sewers and Service Connections

F. A separate and independent building sewer and service connection shall be provided for every building; except where one building is an approved accessory dwelling unit on the same property; or except where one building stands at the rear of another on an interior lot and no separate sewer is available or can be constructed to the rear building through an adjoining alley, court, yard or driveway, the building sewer from the front building may be extended to the rear building and the whole considered as one building sewer.

SECTION 2: EFFECTIVE DATE. This ordinance shall be in full force and effect after its passage, approval and publication, according to law.

PASSED BY the City Council of the City of Ketchum, Idaho, this ____ day of _____, 2022.

APPROVED BY the Mayor of the City of Ketchum, Idaho, this ____ day of _____, 2022.

Neil Bradshaw, Mayor

ATTEST:

Trent Donat, City Clerk



City of Ketchum

December 19, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation for Council reconsideration on Ketchum Arts Commission - Art in City Hall selections

Recommendation and Summary

Staff is requesting Council to review and reconsider the acquisition of the two finalists selected by the Ketchum Arts Commission (KAC) for permanent art installation in City Hall.

The reasons for the recommendation are as follows:

- The City of Ketchum would be supporting local artists.
- Council at their November 21st meeting requested KAC pause on moving forward with the purchase of artwork.

Introduction and History

At the November 21, 2022 meeting, selected artwork was presented to Council with the recommendation to approve the purchases. The acquisition of artwork was paused by request of Council. Council instead approved the purchase of Historical Photos using monies from the Percent for Arts budget.

Analysis

On September 19, 2022 KAC issued a Call for Artists for permanent artwork for City Hall. Nineteen artists responded. On October 20, the Ketchum Arts Commission selected two finalists; Rudi Broschofsky from Sun Valley, ID and Julia Seyferth from Ketchum, ID. Each artist will be paid the value of the art determined by the artist. Payment for Rudi is \$12,000 and Julia is \$5,000. Artists were selected through a silent jury process. Three rounds were conducted to eliminate artists, resulting in the selection of the top two. Attached to this staff report is a sampling of each of the two submissions and a brief description of their proposed project.

Financial Impact

There is no new financial requirement or impact. Compensations totaling \$17,000 will be funded by Percent for Arts budget.

Attachments:

- Rudi Broschofsky Image
- Julia Seyferth Image

Rudi Broschofsky – Sun Valley

The Sawtooths, Triptych, 2019, Spray Paint on Hardboard Panels, 44" x 90", \$12,000

Sunset, Copper/Silver



Julia Seyferth – Ketchum

Great Blue Heron, 2020, Pen and Ink, 28.75" (w) x 31.63" (h), framed

