



AGENDA

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1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/81207886844>
Webinar ID: 812 0788 6844
2. Address the Commission in person at City Hall.
3. • Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*)

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM COMMISSIONERS:

CONSENT AGENDA:

ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. ACTION ITEM: Approval of the April 9, 2024 minutes
2. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for Warm Springs Ranch Residences Lot 33 Design Review Application File No. P23-018

PUBLIC HEARING:

3. ACTION ITEM: Recommendation to review and approve the Warm Springs Preserve Building Design Review Application

PUBLIC MEETING:

4. ACTION ITEM: Recommendation to review and provide feedback on the PreApplication Design Review for the Warm Springs Townhomes located at 108 Ritchie Dr

NEW BUSINESS:

ADJOURNMENT:



CALL TO ORDER: (00:00:20 in video)

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30 p.m.

ROLL CALL:

Neil Morrow
Susan Passovoy (via zoom)
Brenda Moczygemba
Tim Carter *absent
Matthew McGraw

ALSO PRESENT:

Morgan Landers – Director of Planning & Building
Adam Crutcher – Associate Planner
Abby Rivin – Senior Planner
Genoa Beiser – Zoning Technician
Paige Nied – Associate Planner
Trent Donat – City Clerk
Dawn Hofheimer - Administrative Specialist

Brief announcement: Morgan Landers we filled a position, new staff employee, Genoa Beiser-Zoning Technician

COMMUNICATIONS FROM COMMISSIONERS: (00:02:00 in video)

CONSENT AGENDA: (00:02:09 in video)

1. ACTION ITEM: Approval of the March 26, 2024 minutes

Motion to approve the March 26, 2024 minutes. Motion made by Susan Passovoy seconded by Matthew McGraw (00:02:15 in video)

MOVER: Susan Passovoy

SECONDER: Matthew McGraw

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, & Neil Morrow

NAYS:

RESULT: UNANIMOUSLY ADOPTED

PUBLIC HEARING: (00:02:30 in video)

2. ACTION ITEM: Recommend commission review, approve either Redesign #1 or Redesign #2 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, and direct staff to return with the Findings of Fact.
 - Staff Report-Paige Nied, Associate Planner (00:02:50 in video)
 - Commission questions staff. Staff responses. (00:08:45 in video)
 - Applicant Presentation-John Shirley, Think Architecture (00:09:48 in video)

- Commission comments and questions for applicant. Applicant responses (00:12:10 in video)

PUBLIC COMMENT OPENED: (00:20:15 in video)

- None

PUBLIC COMMENT CLOSED: (00:12:25 in video)

- Commission deliberations & questions for staff (00:12:25 in video)

Motion to approve Redesign #2 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, including at the time of building permit application the planning staff ensure that the grading plan, elevations, building sections and architect stamps are coordinated with our standards and the materials match our understanding that there will be no TPO on this structure and direct staff to return with the Findings of Fact. Motion made by Brenda Moczygemba seconded by Matthew McGraw (00:29:00 in video)

MOVER: Brenda Moczygemba

SECONDER: Matthew McGraw

AYES: Brenda Moczygemba, Neil Morrow, Susan Passovoy, Tim Carter & Matthew McGraw

NAYS:

RESULT: UNANIMOUSLY ADOPTED

NEW BUSINESS: (00:30:00 in video)

3. Staff Highlights & Updates for Commission (00:30:05 in video)

ADJOURNMENT:

Motion to adjourn at 5:35 p.m. (00:32:00 in video)

MOVER: Neil Morrow

SECONDER: Brenda Moczygemba

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, & Neil Morrow

NAYS:

RESULT: UNANIMOUSLY ADOPTED

Neil Morrow – P & Z Commissioner

Morgan Landers – Director of Planning & Building



CITY OF KETCHUM

Planning & Building
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ketchumidaho.org

IN RE:)	
)	
Warm Springs Ranch Residences Lot 33)	KETCHUM PLANNING & ZONING COMMISSION
Design Review)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: April 23, 2024)	DECISION
)	
File Number: P23-018)	

PROJECT: Warm Springs Ranch Residences Lot 33

FILE NUMBER: P23-018

APPLICATION TYPE: Design Review

REPRESENTATIVE: John Shirley – Think Architecture (architect)

PROPERTY OWNER: Brennan Holdings No. 300 LLC

LOCATION: 170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Building Department received the Design Review application on March 28, 2023. Following the receipt of the application, staff routed the application materials to all City departments for review. The application was deemed complete on July 28, 2023, after two rounds of review. As of the date of this letter, all department comments have been resolved or addressed through conditions of approval recommended below.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on August 23, 2023. The public hearing notice was published in the Idaho Mountain Express on August 23, 2023. A notice was posted on the project site and the City’s website on September 5, 2023. Story poles were documented on the project site as of September 6, 2023. The project was re-noticed to all owners of property within 300 feet of the project and all political subdivisions on March 20, 2024. The new public hearing notice was published in the Idaho Mountain Express on March 20, 2024. The notice was published on the project site and the City’s website on April 2, 2024. Story poles were document on the project site on April 2, 2024.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing to construct a new 3,912 square foot single-family residence (the “project”), located at Lot 33, Block 4, Warm Springs Ranch Residences (the “subject property”). The subject property is zoned General Residential – Low Density (GR-L) and the lot is currently vacant. The Warm Springs Ranch Subdivision, which was platted in 2021, includes plat note which requires development on Lots 32-35 be subject to Design Review standards of the Ketchum Municipal Code to ensure development on the lots have a minimal visual impact to the view of Bald Mountain from Warm Springs Road.

The initial design review application included four applications for single family residences on Lots 32-35 of the Warm Springs Ranch Residences Subdivision. The Planning and Zoning Commission reviewed the proposed developments on Lots 32-35 for the first time during their regular meeting on September 12th, 2023. The Commission and the public expressed concerns regarding visual impact to the Warm Springs Road view corridor from the height of the residence on Lot 33 and the height of the landscaping on Lots 32-34. The Commission approved the design review application for Lot 35 only and moved to continue the design review applications for Lots 32-34.

The Commission reviewed the development proposals for Lots 32-34 for the second time during their regular meeting on October 10, 2023. During this meeting, the Commission felt that the height of the proposed landscaping was adequately addressed, however, they remained of the opinion that the height of the structure on Lot 33 continued to impact the Warm Springs Road view corridor. The Commission also expressed concerns regarding the design’s massing and lack of visual relief on the rear of the structure.

The Commission reviewed the development proposal for Lot 33 for the third time during their regular meeting on April 9, 2024. The applicant presented two redesigned development proposals. Both redesigns removed the third story and elevator and reduced the chimney height, but Redesign #1 featured a flat roof and Redesign #2 featured a pitched roof. The Commission was given the opportunity to select a design that best addresses their concerns of minimizing visual impact while maximizing architectural interest. Upon review of the new application materials, staff and the applicant presentation, and public comment, the Commission approved the Design Review application for Redesign #2.

The project will construct improvements to the right-of-way per the City of Ketchum improvement standards. The project proposes a driveway snowmelt system located entirely within the property boundary and not within the Bald Mountain Road right-of-way. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Finding	Required: 8,000 square feet Existing: 8,429 square feet (.19 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Finding	Permitted: 35% Proposed: 28% (2,322 square feet building coverage / 8,429 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks: Front: 15' Side: > of 1' for every 3' in building height, or 5' Rear: > of 1' for every 3' in building height, or 15' Proposed: Front (south): 21'-5 101/256" Side (east): 15' Side (west): 12'-4 215/256" Rear (north): 30'-9 17/64"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Finding	Maximum Permitted: 35' Proposed: 31'-10 169/256"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 28% (22-foot-wide driveway/80 feet of property frontage along Bald Mountain Road Road).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	Parking Spaces
			Finding	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Residential (one family dwelling), in all applicable zoning districts require two parking spaces. Proposed: The project plans indicate 2 parking spaces within the enclosed garage.

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
<p>Finding: The project proposes to construct a new asphalt driveway to access the subject property from Bald Mountain Road. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
<p>Finding: The City Engineer has reviewed the proposed driveway design for the property and finds it to be sufficient for the project.</p> <p>All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these</i></p>	YES

<p><i>improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	<p>YES</p>
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C-1 of the project plans. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	<p>YES</p>
<p>Finding: Drainage improvements are specified on Sheet C-1 of the project plans. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.C.3 - Drainage	Conformance
<p><i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i></p>	<p>YES</p>
<p>Finding: The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell/catch basin improvements are sufficient to maintain storm water drainage</p>	

on the subject property. The City Engineer may require additional drainage improvements if necessary. The applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p>Finding: The drainage improvements include the installation of a trench drain bordering the width of the driveway along Bald Mountain Road. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: As shown on Sheet C-1 of the project plans, the project will connect to the municipal water and sewer systems from existing lines on Bald Mountain Road. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: N/A. Extension of utilities is not necessary to service the residence.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: Pursuant to KMC §17.96.060.E.1, "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures."</p>	

The Warm Springs Ranch Subdivision was platted in 2021 and is in the process of being developed. Multiple single-family residences are currently being constructed on Bald Mountain Road and Mountain Creek Drive. All of which have similar, yet unique architectural styles that utilize both modern (flat and shed roofs with cold materials such as concrete and metal) and traditional (gabled roofs with warmer materials such as wood and stone) designs. The proposed development is a modern design which features a flat roof with large windows and a mix of cold and warm materials including wood, metal, and stone.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: As stated previously, the proposed structure features a modern design with a flat roof, large windows, and a mix of wood, metal, and stone materials.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: The proposed structure features dark bronze trimmed windows and a mix of wood, metal, and stone materials.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: A 4' wooden fence is located to the south of the public utility easement and is setback 5'-2" from the northern property line. The project proposes landscaping improvements that complement and soften the visual appearance of the structure from Warm Springs Road and neighboring properties. The landscaping includes trees, shrubs, and grasses. Utilities on the lot are screened with shrubs. New Mugo Pine trees, Ginnala Maple trees, and lilac shrubs to the north of the structure will provide screening from Warm Springs Road.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: The project features a three-story structure with multiple wall and deck pop-outs to provide undulation and reduce the appearance of flatness.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The structure is oriented towards the primary street frontage along Bald Mountain Road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p>Finding: No satellite receivers are proposed for the project. Sheet A101 of the project plans indicates that garbage bins will be stored within the garage and screened from public view.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: The roof plan indicates that gutters will be installed, and the roof will be sloped to downspouts.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way,</p>	

including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.

17.96.060.G.2 – Circulation Design	Conformance
<p><i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i></p>	<p>YES</p>
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.G.3 – Circulation Design	Conformance
<p><i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i></p>	<p>YES</p>
<p>Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p> <p>The City Engineer has reviewed the proposed driveway and finds the circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.G.4 – Circulation Design	Conformance
<p><i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i></p>	<p>YES</p>
<p>Finding: The proposed driveway is located further than 20 feet away from the nearest intersection of Bald Mountain Road and Mountain Creek Drive.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Access for emergency vehicles, snowplows, and garbage trucks is provided along Bald Mountain Road.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
Finding: Sheet L3 of the project plans indicate the proposed snow storage areas to include a total of 275 square feet, greater than the required 30% ($837 * .30 = 251$ square feet).	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: Locations of snow storage areas are indicated on Sheet L3 of the project plans.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: None of the snow storage areas have dimensions less than five feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
Finding: A driveway snowmelt system within the property boundary, and not within the Bald Mountain Road right-of-way, will be installed. In addition to the snowmelt system, snow storage areas are also provided on-site.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheets L3 of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The front, side, and rear yards will be vegetated with native grasses. The project proposes landscaping improvements that complement and soften the visual appearance of the structure from Warm Springs Road and neighboring properties. The landscaping includes trees,	

shrubs, and grasses. Utilities on the lot are screened with shrubs. Mugo Pine trees to the north of the structure will provide screening from Warm Springs Road. Ornamental grasses and wildflowers are also proposed around the structure.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan proposes drought-tolerant and native species, including pine trees, native shrubs, and drought tolerant grasses.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: Landscaping to the rear of the property provides a buffer from Warm Springs Road. Landscaping on the front and side yards provides privacy from adjacent properties.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
Finding: A sidewalk has already been installed along Bald Mountain Road adjacent to the subject property as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. No encroachments of below grade structures into the riparian setback are proposed.	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of the application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Warm Springs Ranch Residences Lot 33 Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** the Design Review Application File No. P23-018 this Tuesday, April 23, 2024, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the Redesign #2 project plans for Lot 33 presented at the April 9, 2024, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon

appeal, the date the approval is granted by the Council subject to changes in zoning regulations.

4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.
6. Prior to building permit application, the grading plan, elevations, and building sections shall be revised to be consistent and comply with City standards.
7. Prior to building permit application, the labels on the exterior materials sheet and the legend on the landscape plan shall be revised to accurately reflect the drawings.
8. At time of building permit application, staff will verify that there is no visible TPO material on the roof of the structure.

Findings of Fact **adopted** this 23rd day of April 2024.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF APRIL 23rd, 2024

PROJECT: Warm Springs Preserve Building

FILE NUMBER: P23-104

APPLICATION: Design Review

PROPERTY OWNER: City of Ketchum

ARCHITECT: Michael Doty, Michael Doty Associates

LOCATION: 201-311 Bald Mountain Road
(Warm Springs Ranch Resort PUD Blk 6)

ZONING: Tourist (T)

OVERLAY: Avalanche

REVIEWER: Adam Crutcher, Associate Planner

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on April 3, 2024. The notice was published in the Idaho Mountain Express on April 3, 2024. A notice was posted on the project site on April 16, 2024 and the city's website on April 8, 2024. The building corners were staked and story pole erected on 4/16/24.

EXECUTIVE SUMMARY

The applicant has submitted a Design Review application for the development of a new storage & restroom building on Block 6 of the Warm Springs Ranch Resort PUD (the "subject property"). The subject property is located within Warm Springs Preserve (includes Blocks 2-8 of Warm Springs Ranch Resort PUD), is zoned Tourist (T), and is vacant (See Figure 1 below). Development within the Warm Springs Preserve is guided by the adopted Warm Springs Master Plan and must meet the city's zoning requirements and provisions of a deed restriction which specify what can and cannot happen on the Warm Springs Preserve property. As proposed, the building includes a storage room of 928 square feet along with two restrooms and a janitors closet. The project is subject to Design Review pursuant to Ketchum Municipal Code §17.96.010.A1. Staff reviewed the design review application of the proposed building against both the deed restriction & master plan and found the standards to be met and the design of the building to closely match what was presented in previous meetings with the City Council.



Figure 1. Subject Property location

BACKGROUND

Warm Springs Preserve

The City of Ketchum acquired the subject property and surrounding land known as the Warm Springs Preserve in April of 2022. A deed restriction was placed upon the property, permitting the development of “a pump house, public restroom and a single story building up to one thousand square feet and not exceeding a height of twenty-seven feet from natural grade for storage of equipment and supplies needed for maintenance of the Property”. This development was discussed and shown in preliminary concepts in the [Warm Springs Preserve Master Plan](#) which was adopted by City Council in April of 2023. Pages 39-44 of the plan show renderings of the redesigned parking lot, a preliminary floor plan of the welcome building, and highlights aspects of the building including a donor recognition wall, preserve map, bike racks, and a leash hook board.

Process to Date

The Planning and Building Department received the Design Review application on November 20, 2023. While the subject property is greater than 11,000 square feet, KMC 17.96.010.D4 permits the Administrator to “waive the requirement for preapplication review if the project is found to have no significant impact.” Due to the size of the proposed building and it’s isolation from other structures, staff determine the pre-application requirement would be waived in this instance. The application was reviewed and scheduled for hearing after two rounds of review. As of the date of this staff report, all department comments have been resolved or will be addressed upon submittal of a design review application.

ANALYSIS

Per KMC 17.96.050.A Criteria. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.

2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 and 2: Health, Safety, and Welfare of the Public & General Conformance with the Comprehensive Plan

The 2014 Comprehensive Plan's future land use designation for the subject property is Low Density Residential. This category speaks to "single-family and duplex residences and accessory units" as appropriate primary uses. Secondary uses for this category include, "open space and recreation, agriculture/gardens, schools, places of worship, and other public uses". During the adoption of the 2014 Comprehensive Plan, the subject property was part of the development plans for the Warm Springs Ranch Resort project. As discussed previously, the City of Ketchum has since purchased the subject property and surrounding property to maintain open space for public use in perpetuity and implement a floodplain restoration project. The use of the property for open space aligns with the anticipated secondary uses of property within the Low-Density Residential land use designation. At the time of purchase and subsequent adoption of the Warm Springs Master Plan, no change was made to the Future Land Use Map to reflect the change in use. Staff plans to update the land use designation of the property as part of the update to the comprehensive plan that is currently underway. Through the purchase period and formulation of the master plan, many rounds of public engagement were open for feedback on the use of the property. As the proposed development is consistent with the secondary uses listed in the 2014 Comprehensive Plan and aligned with the Warm Springs Master Plan adopted by the city council, staff finds the project meets criteria #1 & #2.

Conformance with Zoning Regulations and Design Review Standards

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements, including permitted uses, dimensional standards, parking, and dark skies. Staff found the project to meet all applicable criteria. The comprehensive analysis of zoning requirements is provided in Attachment C.

Staff also reviewed the project for conformance with all design review standards and required improvements specified in KMC 17.96.060. Please see Attachment D for staff's comprehensive analysis of all design review standards. Staff believes that these requirements have either been met or are not applicable. While the proposed structure is not sited within a neighborhood and there are no nearby adjoining structures, staff finds the proposed use of wood materials to fit well within the future open space/park and uses materials that are consistently found throughout the Warm Springs Ranch Subdivision and Bald Mountain Rd neighborhoods. Staff found the walkway splitting the two segments of the building and the offsetting of those segments to assist in providing relief to the bulk and mass of the building and minimized the perceived flatness of the structures.

STAFF RECOMMENDATION

Staff finds the project, as conditioned, meets all zoning code requirements and design review standards. Staff recommends approval of the application with the following recommended conditions of approval.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon

appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.

2. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Motion:

“I move to approve the Warm Springs Preserve Building design review application subject to conditions 1-2 and direct staff to return with findings of fact.”

Attachments:

- A. Application
- B. Project Plans
- C. Zoning and Dimensional Standards Evaluation
- D. Design Review Standards Evaluation

Attachment A:
Design Review Application
Materials



City of Ketchum
Planning & Building

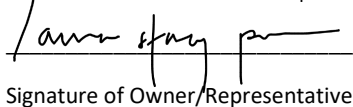
Design Review Application

OFFICIAL USE ONLY	
File Number:	P23-104
Date Received:	11/20/23
By:	HLN
Pre-Application Fee Paid:	
Design Review Fee Paid:	
By:	

Submit completed application and documentation to planningandzoning@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: Warm Springs Preserve		Phone: (208) 726-3841	
Owner: City of Ketchum - Ben Whipple (Owner's Contact + PM)		Mailing Address: P.O. Box 2315 - 191 5th St., West Ketchum, ID 83340	
Email: bwhipple@ketchumidaho.org			
Architect/Representative: Michael Doty Architects		Phone: (208)726.4228	
Email: Michael Doty - mike@mda-arc.com		Mailing Address: PO Box 2792 Ketchum, Idaho 83340	
Architect License Number: Idaho AR-1612			
Engineer of Record: Benchmark Associates (Civil)		Phone: (208) 726-9512	
Email: Phoebe Johannessen - phoebe@galena-benchmark.com		Mailing Address: PO Box 733 Ketchum, Idaho 83340	
Engineer License Number:			
Primary Contact Name and Phone Number: Stacy Passmore, Superbloom (Landscape Architect + Project Lead) 214-288-1517			
PROJECT INFORMATION WARM SPRINGS RANCH RESORT PUD BLK 2 IN CODE AREA 003002			
Legal Land Description:		Street Address: 201-311 Bald Mountain Rd, Ketchum, ID 83340	
Lot Area (Square Feet): 23.46 acres	Zoning District: T, RU	RPK #:	
Overlay District:	<input checked="" type="checkbox"/> Floodplain	<input checked="" type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Park & Open Space	Number of Residential Units: None (0)		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	Sq. Ft.	Sq. Ft.	
1 st Floor	1,260 Sq. Ft.	0 Sq. Ft.	
2 nd Floor	Sq. Ft.	Sq. Ft.	
3 rd Floor	Sq. Ft.	Sq. Ft.	
Mezzanine	Sq. Ft.	Sq. Ft.	
Total	1,260 Sq. Ft.	Sq. Ft.	
FLOOR AREA RATIO			
Community Core: n/a	Tourist: n/a	General Residential-High: n/a	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: .09 %			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front:	Side:	Side:	Rear:
Building Height: Highest portion of the roof is 18'-8"			
OFF STREET PARKING			
Parking Spaces Provided: 24	Curb Cut: n/a	Sq. Ft.	%
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



Stacy Passmore, Primary Contact

Signature of Owner/Representative

Superbloom on behalf of the Owner, The City of Ketchum

Date 11/17/23

DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: Warm Springs Preserve	Reviewed by:
Date:	Time:

REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

- Design review application form including project name, location, applicant, owner, project representatives and contact information.
- One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:
 - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
 - Drainage plan (grading, catch basins, piping, and dry-wells).
 - Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
 - Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions.
 - Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).
 - Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.
 - Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
 - Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for exterior lighting.
 - Photometric analysis prepared by MH Companies (see city Right-of Way and Lighting Standards at https://www.ketchumidaho.org/sites/default/files/fileattachments/streets_amp_facilities/page/2851/row_standards_-_2022.pdf) showing placement of street light fixtures and average and maximum footcandle illumination along the sidewalk adjacent to the project. NOTE: The project does not propose lighting adjacent to any public streets or sidewalks. Photometrics for the proposed light fixtures are included, and a photometric analysis can be provided, if determined necessary.
 - Will-serve letters from Idaho Power Company and Clear Creek Disposal
 - One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.
 - At least one week prior to the scheduled Commission meeting, on the site applicant shall stake the building corners for all proposed buildings and additions, all trees proposed to be removed shall be flagged and the applicant shall install story poles, or other height delineation method pre-approved by the Administrator, at the maximum roof peaks of the proposed buildings. Documentation of this work shall be provided to the project planner one week prior to the meeting. Failure by the applicant to perform this work one week prior to the Commission meeting shall result in a continuation of the project for consideration.

For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required. N/A but can be provided for the public hearing.

- For new multi-tenant buildings, a master signage plan shall be submitted.
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

STAFF COMMENTS:

Attachment B: Project Plans



**City of Ketchum
Planning & Building**

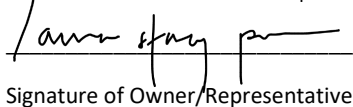
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Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Park & Open Space	Number of Residential Units: None (0)		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements		Sq. Ft.	Sq. Ft.
1 st Floor	1,260 Sq. Ft.		0 Sq. Ft.
2 nd Floor	Sq. Ft.		Sq. Ft.
3 rd Floor	Sq. Ft.		Sq. Ft.
Mezzanine	Sq. Ft.		Sq. Ft.
Total	1,260 Sq. Ft.		Sq. Ft.
FLOOR AREA RATIO			
Community Core:	n/a	Tourist:	n/a
		General Residential-High: n/a	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: .09 %			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front:	Side:	Side:	Rear:
Building Height: Highest portion of the roof is 18'-8"			
OFF STREET PARKING			
Parking Spaces Provided: 24	Curb Cut: n/a	Sq. Ft.	%
WATER SYSTEM			
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Stacy Passmore, Primary Contact

Signature of Owner/Representative

Superbloom on behalf of the Owner, The City of Ketchum

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 - Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).

 - Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.

 - Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).

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 - One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.

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- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

STAFF COMMENTS:

9/20/2023

To Whom it May Concern,

I am writing to acknowledge and recognize Idaho Power as the sole energy provider within our service area that includes Southwestern Idaho and Eastern Oregon. Idaho Power is a vertically integrated utility that provides generation, transmission and distribution service to over 620,000 customers in a 24,000- square-mile service area. As a regulated monopoly, we are governed by the Idaho State Public Utilities Commission and, as such, we proactively ensure that our company operates in the best interests of our customers, taking into account factors such as service reliability, affordability, and environmental stewardship. The regulatory framework we operate within ensures the appropriate checks and balances to prioritize the needs of consumers, while simultaneously enabling Idaho Power to fulfill its responsibility of delivering electrical service across a diverse service area that includes geographically remote communities.

We hope this information is helpful, but please let us know if you have any further questions or concerns.

Respectfully,

Amber Perkes

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

January 23, 2024

Morgan Landers, Director of Planning and Building
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Via: mlanders@ketchumidaho.org
bwhipple@Ketchumidaho.org

Re: Warm Springs Park

Dear Ms. Landers,

Please allow this letter to serve that Ben Whipple, Ketchum Senior Project Manager has engaged in conversations with me, regarding a new enclosure at the mentioned park above. The conversations have been to the following:

This site will provide enough space for a dumpster to adequately handle garbage service as per the attached drawing. There is enough space and access to service the dumpster effectively on site; albeit proper snow removal shall be required through the winter months. Also, the enclosure shall be constructed with an opening to the front of 10.5' minimum inside dimension and 7.33' minimum depth.

This enclosure when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage. If I may be of further assistance during this process or in the future, please call.

Sincerely,



Mike Goitiandia
Clear Creek Disposal

Enclosures

CC. Ben Whipple

.CofKWarmSpringsPark - 1



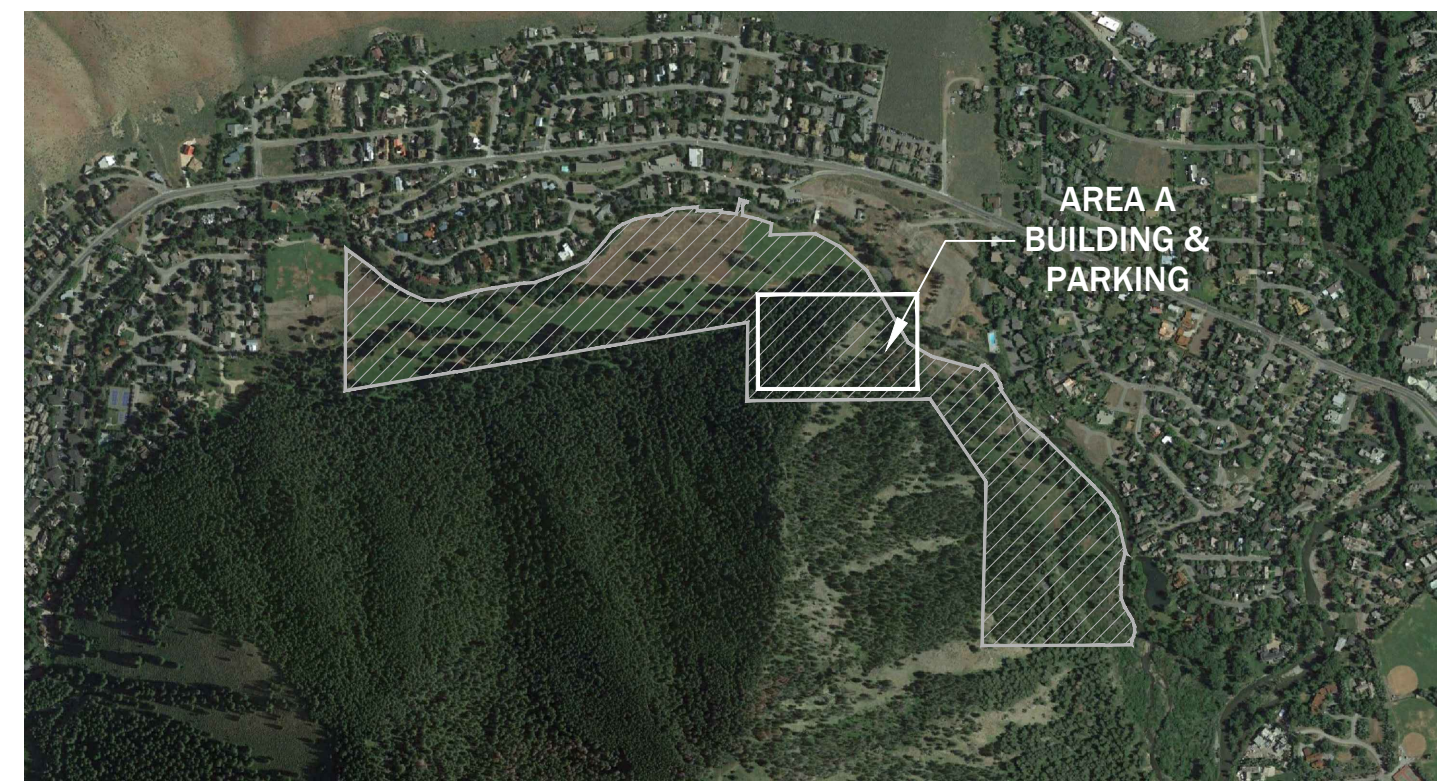
PROJECT NARRATIVE

A FORMER GOLF COURSE SAVED BY THE COMMUNITY, WARM SPRINGS PRESERVE IS AN EXTRAORDINARY OPPORTUNITY TO ENHANCE A WELL-LOVED LANDSCAPE AND IMPORTANT ECOSYSTEM IN THE KETCHUM COMMUNITY. IN 2022-2023 THE CITY OF KETCHUM CONDUCTED EXTENSIVE COMMUNITY OUTREACH TO DEVELOP A VISION PLAN FOR THE FUTURE OF THE PRESERVE, INCLUDING 10-ACRES OF CREEK AND FLOODPLAIN RESTORATION, UNIVERSALLY ACCESSIBLE (ADA) TRAIL IMPROVEMENTS, NEW IRRIGATION AND IMPROVED ACCESS AND PARKING. THESE ITEMS WERE OUTLINED AND REQUIRED THROUGH THE DEED OF TRANSFER WHEN THE CITY ACQUIRED THE PROPERTY, AND THE VISION PLAN WAS APPROVED BY KETCHUM CITY COUNCIL IN APRIL 2023. DUE TO THE SCALE OF THE PROJECT, THE IMPROVEMENTS INCLUDED IN THE VISION PLAN THE PROJECT MAY BE DEVELOPED IN PHASES.

AREA A - ENTRY BUILDING AND PARKING: THIS DESIGN PACKAGE INCLUDES THE IMPROVEMENTS SUBJECT TO THE CITY OF KETCHUM DESIGN REVIEW PROCESS - THE SMALL MAINTENANCE BUILDING AND RESTROOM, PARKING LOT, LANDSCAPE AND TRAILS IN THE ADJACENT AREAS.

LEGAL DESCRIPTION

WARM SPRINGS RANCH RESORT PUD BLK 2 IN CODE AREA 003002
ADDRESS: 201-311 BALD MOUNTAIN ROAD, KETCHUM, ID 83340



VICINITY MAP

NOT TO SCALE



TEAM NAMES + CONTACTS

OWNER:
CITY OF KETCHUM, IDAHO

ADDRESS:
CITY OF KETCHUM
PO BOX 2315 191 5TH ST
KETCHUM, IDAHO 83340

CONTACT | JADE RILEY

LANDSCAPE ARCHITECTURE
SUPERBLOOM

ADDRESS:
750 PENNSYLVANIA AVE.
DENVER, COLORADO 80203
WWW.SUPERBLOOM.NET

CONTACT | STACY PASSMORE
PHONE | 720.725.9406

ARCHITECTURE
MICHAEL DOTY ASSOCIATES,
ARCHITECTS PC

ADDRESS:
371 WASHINGTON AVE NORTH
KETCHUM, ID 83340

CONTACT | MICHAEL DOTY, AIA
PHONE | 208.726.4228

IRRIGATION
BAER DEESIGN GROUP, LLC

ADDRESS:
10674 N SAGE HOLLOW WAY
BOISE, ID 83714

CONTACT | GRERG BAER
EMAIL | GREG@BAERD.G.COM
PHONE | 208.859.1980

APPLIED SCIENCE & ENGINEERING
RIO APPLIED SCIENCE & ENGINEERING

ADDRESS:
3380 WEST AMERICANA TERRACE, SUITE
390, BOISE, ID 83706

CONTACT | ROB RICHARDSON
PHONE | 208.559.4615

RESTORATION ENGINEER & GEOMORPHOLOGY
MORELL ENGINEERING

CONTACT | MOTT MORELL
PHONE | 208.726.2844

CIVIL ENGINEERING
BENCHMARK ASSOCIATES

ADDRESS:
3380 WEST AMERICANA TERRACE, SUITE
390, BOISE, ID 83706

CONTACT | PHOEBE JOHANNESSEN P.E.
EMAIL | PHOEBE@BMA5B.COM
PHONE | 208.726.9516 EXT.116

RESTORATION PLANTING
NORTH FORK NATIVE PLANTS

ADDRESS:
1499 S 600 W
REXBURG, ID 83401

EMAIL |
INFO@NORTHFORKNATIVEPLANTS.COM
PHONE | 208.354.3691

WARM SPRINGS PRESERVE

AREA A - BUILDING ARCHITECTURE & LANDSCAPE DESIGN REVIEW #2

Issued: 01/23/24



WELCOME BUILDING ENTRANCE

ILLUSTRATIVE RENDERING

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
L0.00	COVER SHEET
L0.01	ILLUSTRATIVE RENDERINGS
C1.0	SITE GEOMETRY PLAN
C2.0	ROAD PLAN AND PROFILE
C2.1	PARKING LOT GRADING
C3.0	UTILITY PLAN
L1.00	OVERALL PLAN
L1.01	WILDFIRE MITIGATION PLAN
L1.02	SITE PLAN
L1.03	LANDSCAPE GRADING
L2.00	LANDSCAPE PLAN
A1.0	PROPOSED FLOOR PLAN
A1.1	PROPOSED REFLECTED CEILING PLAN / LIGHTING EXTERIOR
A1.2	PROPOSED ROOF PLAN
A1.3	EXTERIOR ELEVATIONS
A1.4	EXTERIOR ELEVATIONS
A1.5	PROPOSED EXTERIOR FINISHES
A1.6	PROPOSED EXTERIOR LIGHT FIXTURES

LANDSCAPE GENERAL NOTES

- ALL EXISTING GRADING, CURB LAYOUT, EASEMENTS AND UTILITIES ARE BASED ON SURVEY INFORMATION PREPARED BY MARK PHILLIPS (2023) AND RIO APPLIED SCIENCE & ENGINEERING (2023) AND ARE SHOWN FOR INFORMATION ONLY.
- ALL PROPOSED UTILITIES, STREET LAYOUT, AND STREET & ROAD GRADING INFORMATION WAS PREPARED BY BENCHMARK ASSOCIATES ENGINEERING AND ARE SHOWN FOR INFORMATION ONLY. REFER TO CIVIL CONSTRUCTION DRAWING PACKAGE FOR FURTHER INFORMATION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE PRIOR TO CONSTRUCTION.
- FINAL LIGHTING LOCATIONS TO BE STAKED AND CONFIRMED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. STREET LIGHTING WILL BE PROVIDED ON SITE PER CIVIL CONSTRUCTION DRAWINGS. CONTRACTOR TO VERIFY LOCATIONS IN FIELD PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
- ALL ARCHITECTURAL ELEMENTS ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. DEMOLITION AND PROPOSED ARCHITECTURAL BUILDING DOCUMENTATION SHALL BE PROVIDED UNDER SEPARATE COVER BY ARCHITECT OR MICHAEL DOTY ARCHITECTS.
- THESE DRAWINGS USE A SYSTEM OF KEYNOTES FOR MATERIAL DESIGNATIONS AND SPECIFIC SITUATION NOTES. CONTRACTOR TO BE FAMILIAR WITH SYSTEM PRIOR TO COMMENCING WORK. CONTACT LANDSCAPE ARCHITECT IF CONFLICTS ARE FOUND OR SYSTEM IS NOT CLEAR.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL LAYOUT DIMENSIONS ARE FROM PLAN VIEW CALCULATIONS. FIELD DIMENSIONS MAY VARY FROM PLAN DUE TO ACTUAL LENGTHS ALONG SLOPED SURFACES.
- ALL LAYOUT DIMENSIONS ARE TO BACK OF CURB, FACE OF WALL, CENTERLINE OF ARCHITECTURAL COLUMN, AND/OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- DIMENSIONS MARKED "VERIFY" ARE TO BE FIELD MEASURED. ANY DISCREPANCIES FROM THE NOTED DIMENSIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONTINUING WORK.
- COORDINATE PROPOSED WALKS AND RAMPS WITH EXISTING CONDITIONS. LAYOUT OF ARCS TO BE SMOOTH AND CONTINUOUS. STAKE PROPOSED WALKS AND REVIEW IN FIELD WITH ARCHITECT PRIOR TO FORMING.
- UNLESS OTHERWISE NOTED, FOR ALL ATTACHED AND DETACHED CITY SIDEWALKS, ACCESSIBLE RAMPS AND CURB & GUTTER WITHIN RIGHT-OF-WAY, REFER TO CIVIL DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL WALK WIDTHS, GRADES AND ADJACENT CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY AND ALL DISCREPANCIES.
- ALL UTILITY EASEMENTS AS NOTED HEREIN SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY.
- LIMIT OF WORK LINE FOR CONSTRUCTION IS SHOWN DIAGRAMMATICALLY AND OCCURS AT BACK OF CURB, FACE OF BUILDING OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- DRAWING AND PLAN NOTES REPRESENT FINISHED, BUILT CONDITIONS. ALL BRACING, TEMPORARY SUPPORTS AND SHORING NECESSARY FOR CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SYMBOLS ARE SHOWN DIAGRAMMATICALLY ILLUSTRATING APPROXIMATE LOCATION OF EXISTING AND PROPOSED MATERIALS. ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING AND PROPOSED CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF AURORA FENCE, WALL, AND AWNING STANDARDS CHAPTER 146-4.7.9, EXCEPT WHERE OTHERWISE NOTED AND ACCEPTED BY THE CITY OF AURORA.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION PERTAINING TO THE PROJECT MATERIALS, PROCEDURES AND INSTALLATION.

SUPERBLOOM

750 PENNSYLVANIA ST,
DENVER, CO 80203
720.440.2668

DATE: January 23, 2024
PROJECT NO. WSP

SUBMITTALS	DATE
1 DESIGN REVIEW #1	11/17/23
2 DESIGN REVIEW #2	01/23/24
3	
4	
5	
6	

NOTES:
1. CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND INTERDISCIPLINARY DRAWINGS, AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY FABRICATION OF ANY WORK OR FIELD WORK BEING DONE, IN ACCORDANCE WITH AIA DOCUMENT A201. DO NOT SCALE THESE DRAWINGS.
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PROJECT
WARM SPRINGS PRESERVE

201-311 BALD MOUNTAIN RD.
KETCHUM, ID
CITY OF KETCHUM

NOT FOR CONSTRUCTION

COVER SHEET

SCALE: AS NOTED

L0.00

DRAWN BY: SP, 34
CHECKED BY: DLSF



ILLUSTRATIVE PLAN VIEW

SCALE: NTS



PARKING LOT ILLUSTRATIVE PLAN VIEW



PARKING BIRDS EYE VIEW

NOTES:

1. RENDERINGS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO CONVEY GENERAL DESIGN AESTHETIC. THESE ARE NOT FOR CONSTRUCTION PURPOSES. PLEASE REFER TO HARDLINED DRAWINGS AND DETAILS FOR THIS INFORMATION.

SUBMITTALS	DATE
1 DESIGN REVIEW #1	11/17/23
2 DESIGN REVIEW #2	01/23/24
3	
4	

NOTES:
1. CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE. REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS, AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY FABRICATION OF ANY WORK OR FIELD WORK BEING DONE, IN ACCORDANCE WITH AIA DOCUMENT A201. DO NOT SCALE THESE DRAWINGS.
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PROJECT
WARM SPRINGS PRESERVE
201-311 BALD MOUNTAIN RD.
KETCHUM, ID
CITY OF KETCHUM

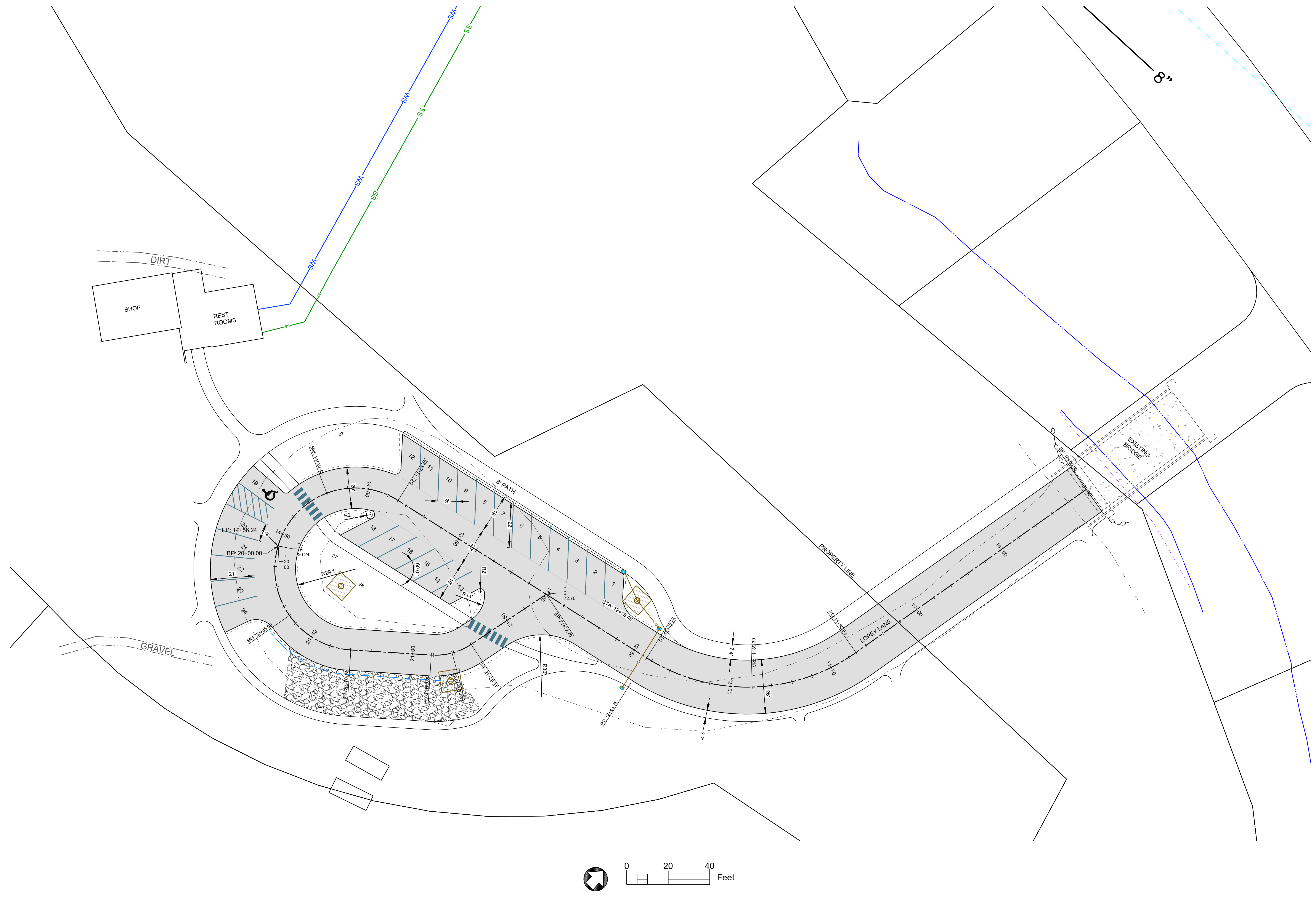
NOT FOR CONSTRUCTION

ILLUSTRATIVE RENDERINGS

SCALE: AS NOTED

L0.01

DRAWN BY: SP, 35
CHECKED BY: DLS, SP



**WARM SPRINGS PRESERVE
SITE GEOMETRY PLAN**

LOCATED WITHIN SECTION 1&12, T4 N, R17 E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: CITY OF KETCHUM

PROJECT INFORMATION
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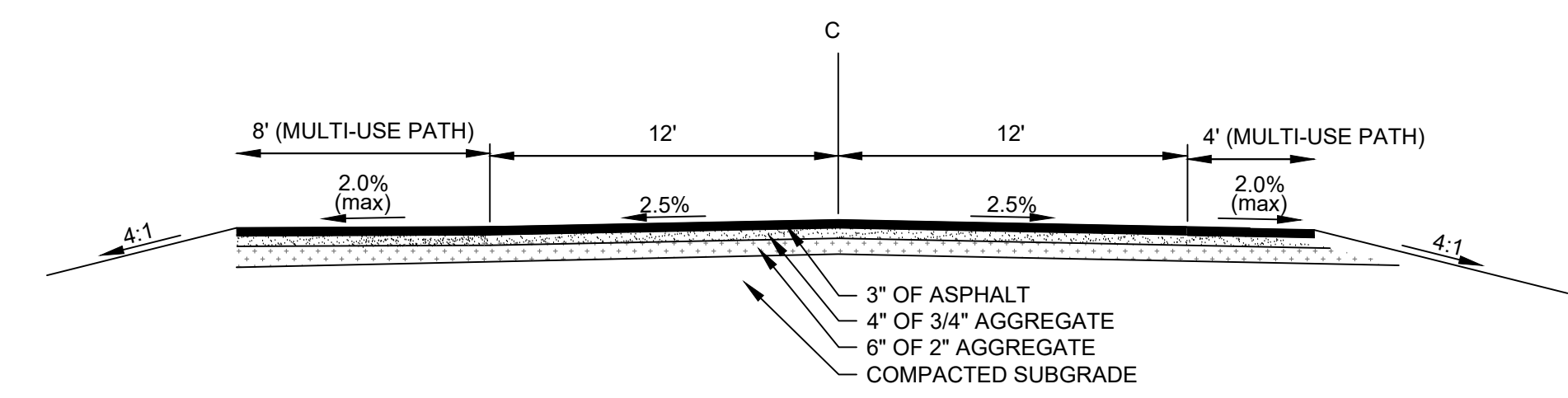
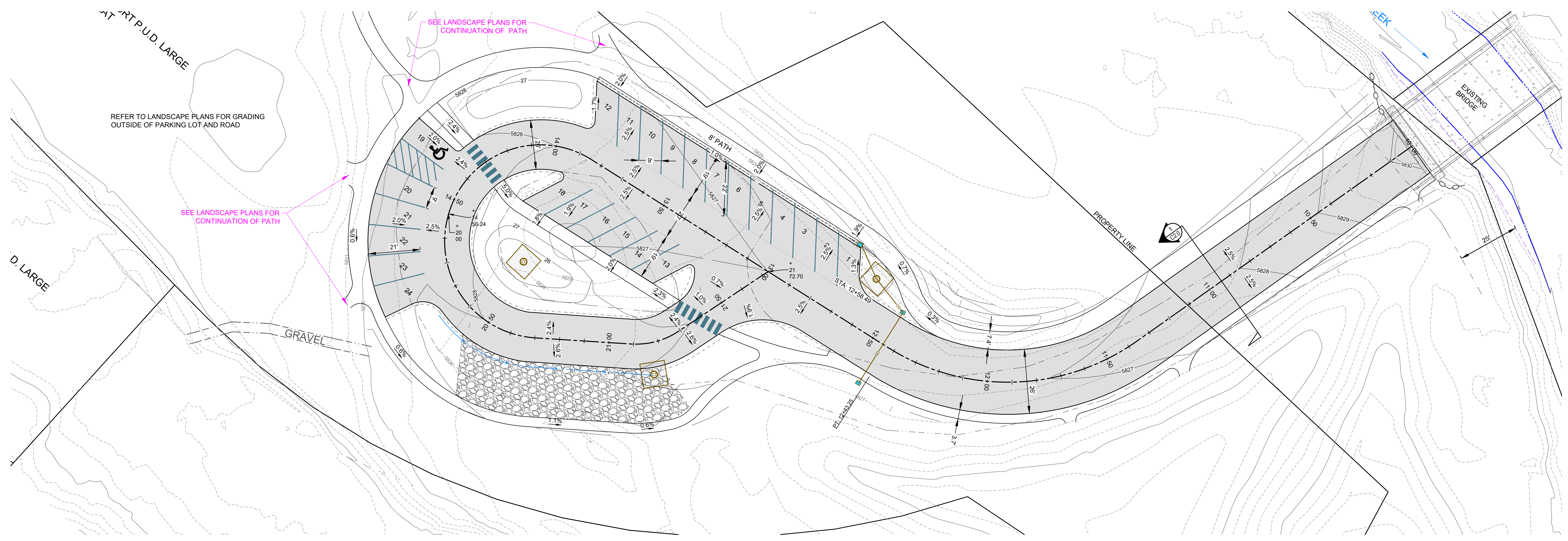
**PRELIMINARY
NOT FOR
CONSTRUCTION**

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SURVEY DATE:

**GALENA - BENCHMARK
ENGINEERING**
Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

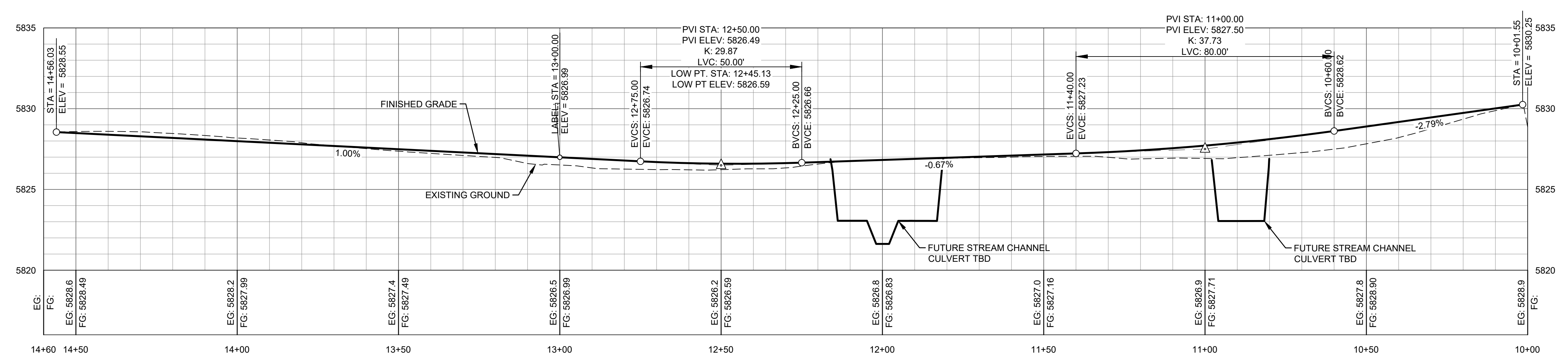
PURPOSE: ISSUE FOR REVIEW	
NO.	REVISIONS

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering.



- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 LOPEY LANE TYPICAL SECTION
N.T.S.
(STA: 10+00.00 TO STA: 12+70.00)



LOPEY LANE PROFILE
SCALE: 1"=20' H; 1"=4' V

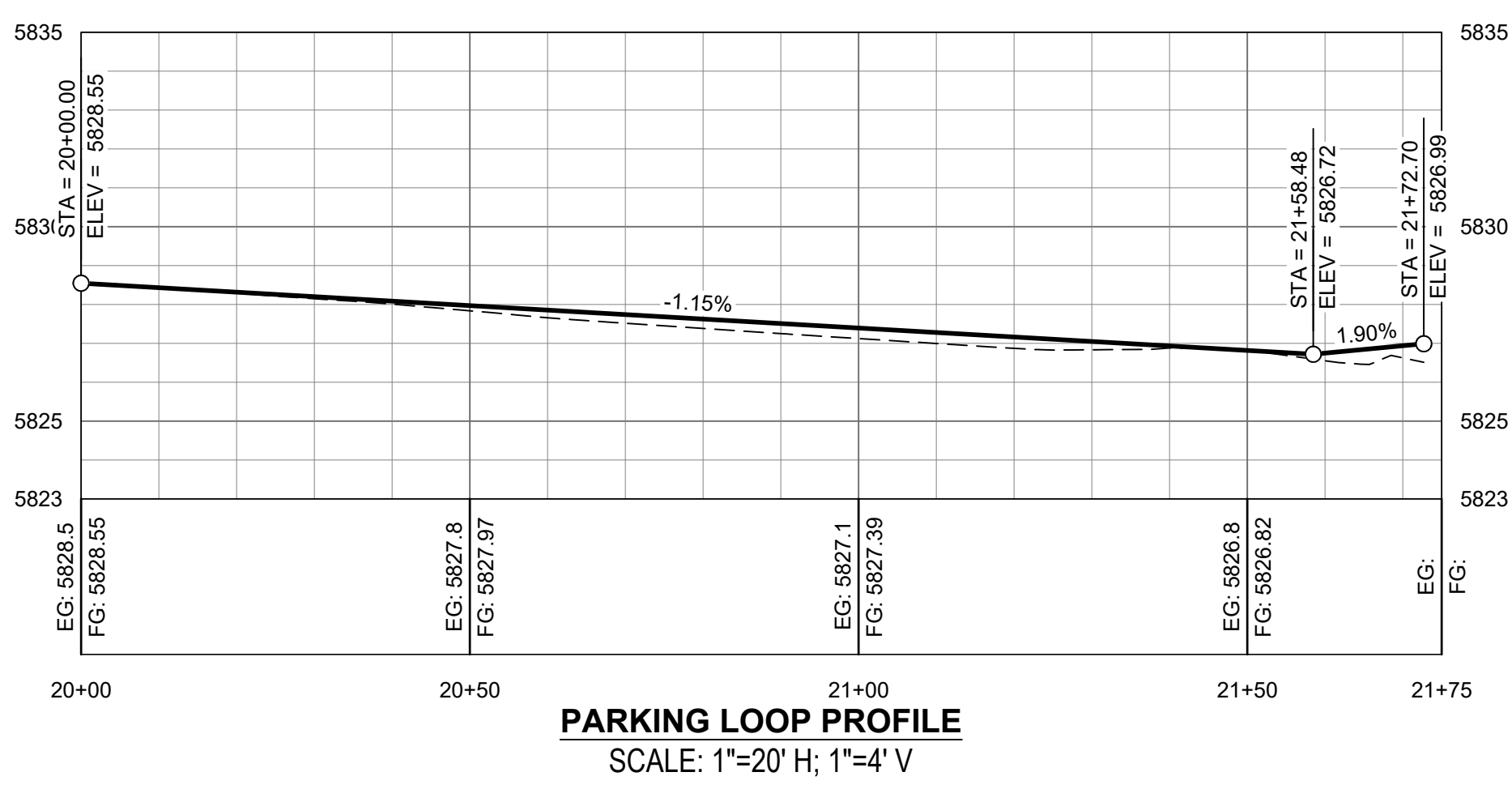
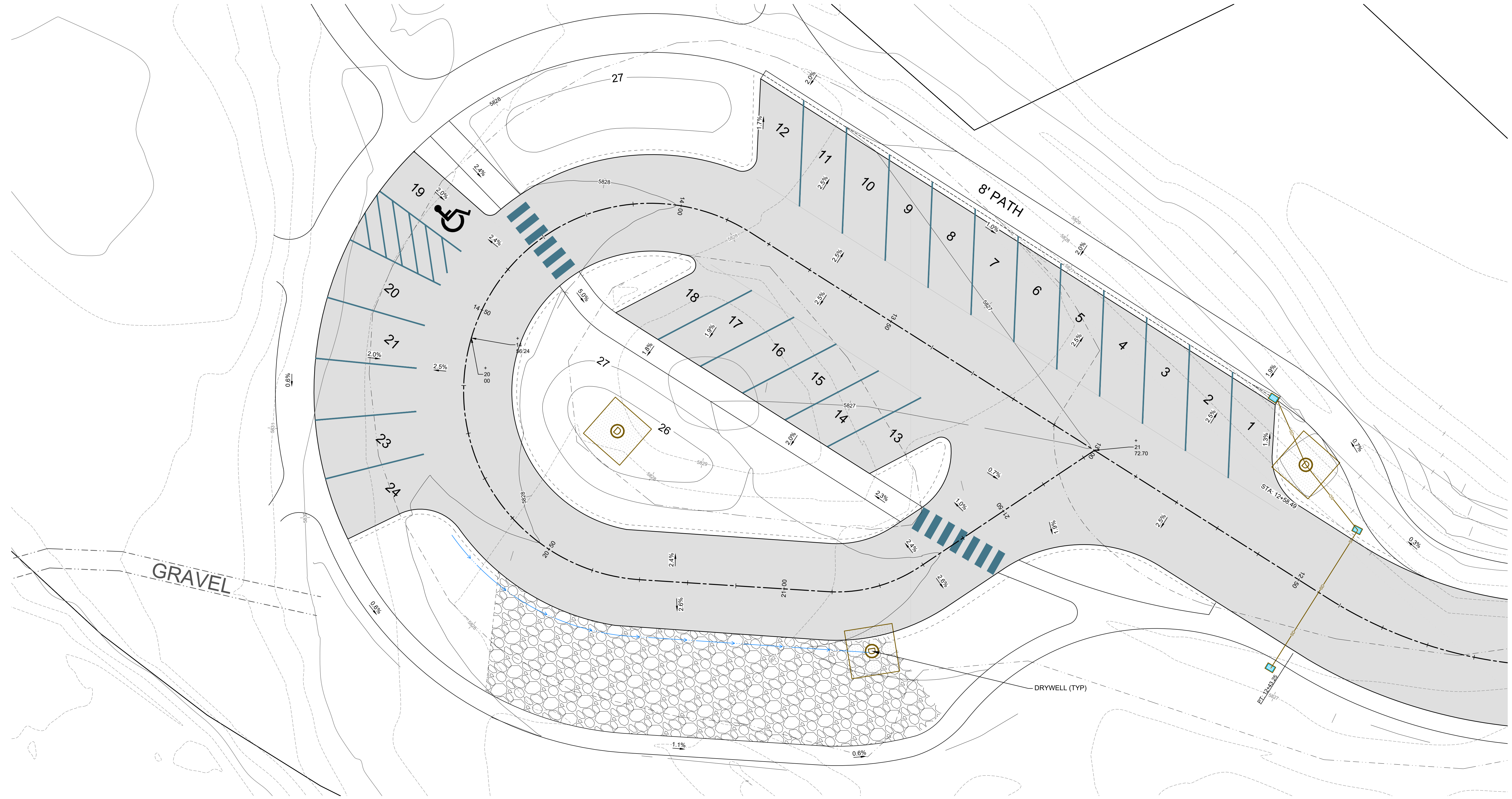
**WARM SPRINGS PRESERVE
ROAD PLAN AND PROFILE**
LOCATED WITHIN SECTION 11&12, T4 N, R17 E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: CITY OF KETCHUM

**PRELIMINARY
NOT FOR
CONSTRUCTION**

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SURVEY DATE:

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ENGINEERING**
Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, Idaho 83340
(208) 726-9512
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NO.	DATE	BY	REVISIONS



**WARM SPRINGS PRESERVE
PARKING LOT GRADING**

LOCATED WITHIN SECTION 11&12, T4 N, R17 E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: CITY OF KETCHUM

PROJECT INFORMATION
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CONSTRUCTION**

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DRAWN BY:
CHECKED BY:
SURVEY DATE:

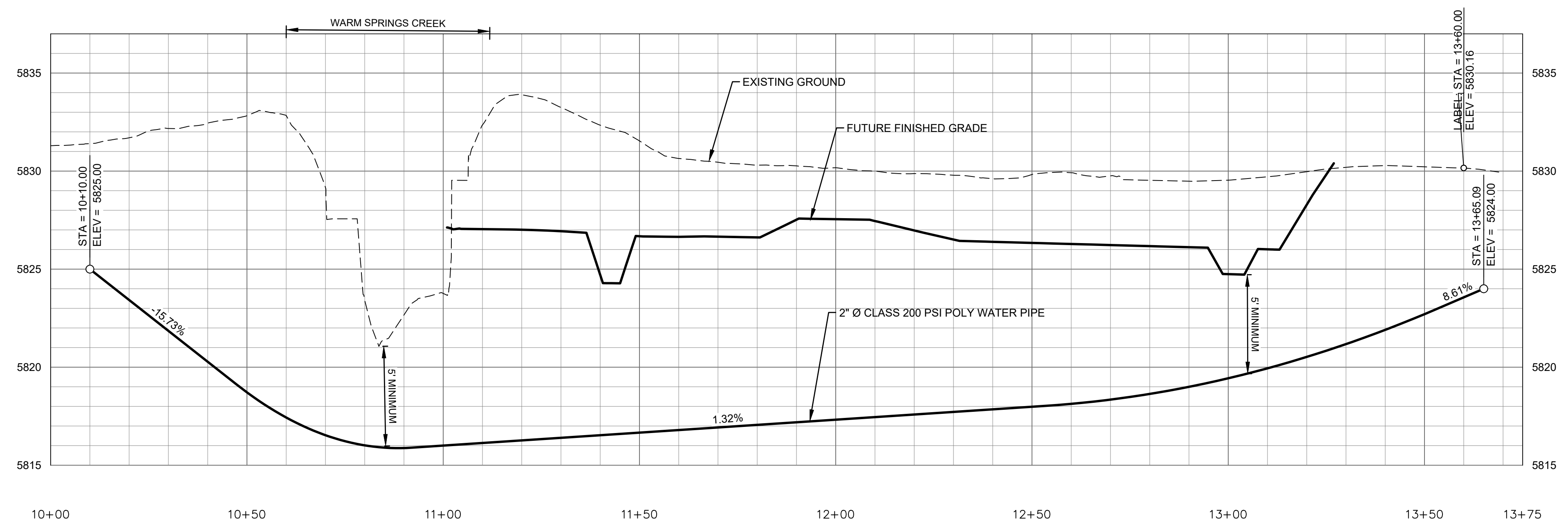
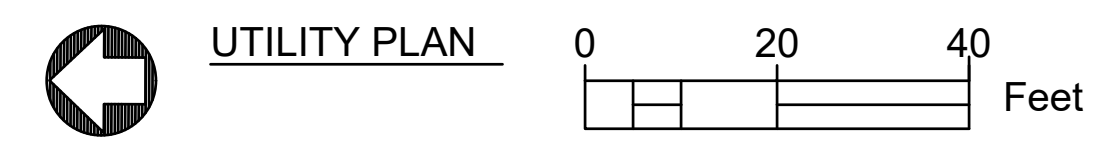
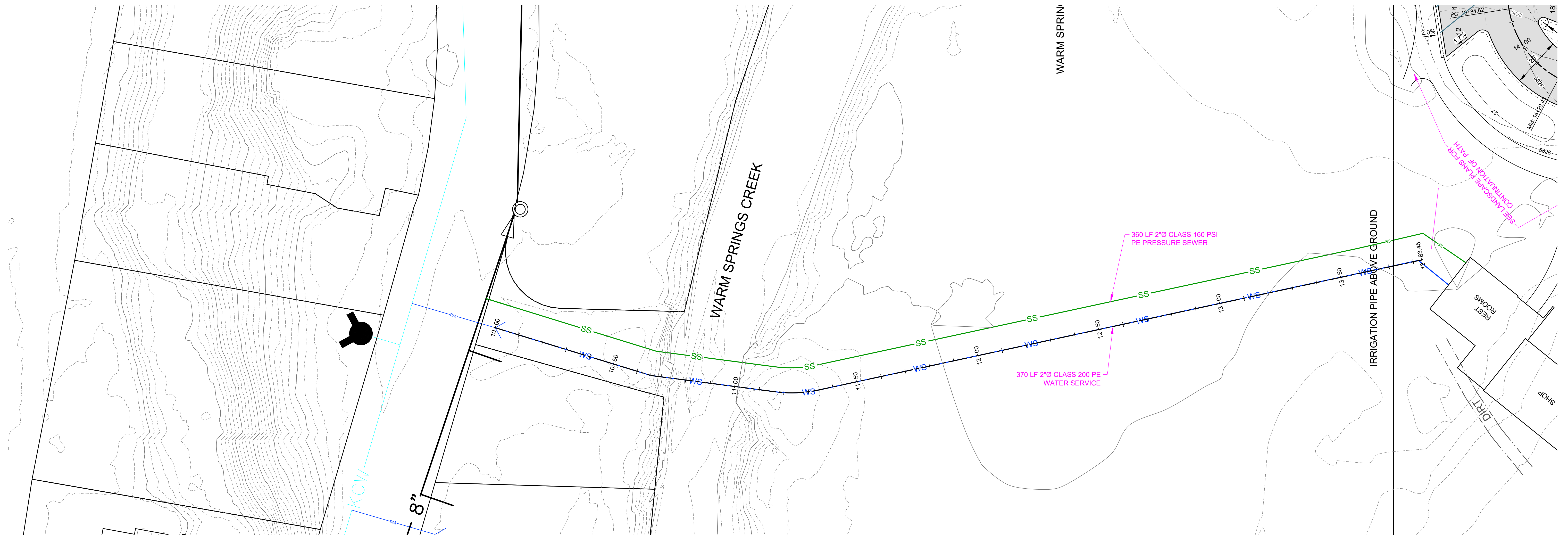
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100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
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GALENA-BENCHMARK
SURVEYING ENGINEERING PLANS
ELEVATION ABOVE SEA LEVEL
IN FEET

NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR REVIEW

C2.1



WATER SERVICE PROFILE
SCALE: 1"=20' H; 1"=4' V

**WARM SPRINGS PRESERVE
UTILITY PLAN**

LOCATED WITHIN SECTION 11&12, T4 N, R17 E, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: CITY OF KETCHUM

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CONSTRUCTION**

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DRAWN BY:
CHECKED BY:
SURVEY DATE:

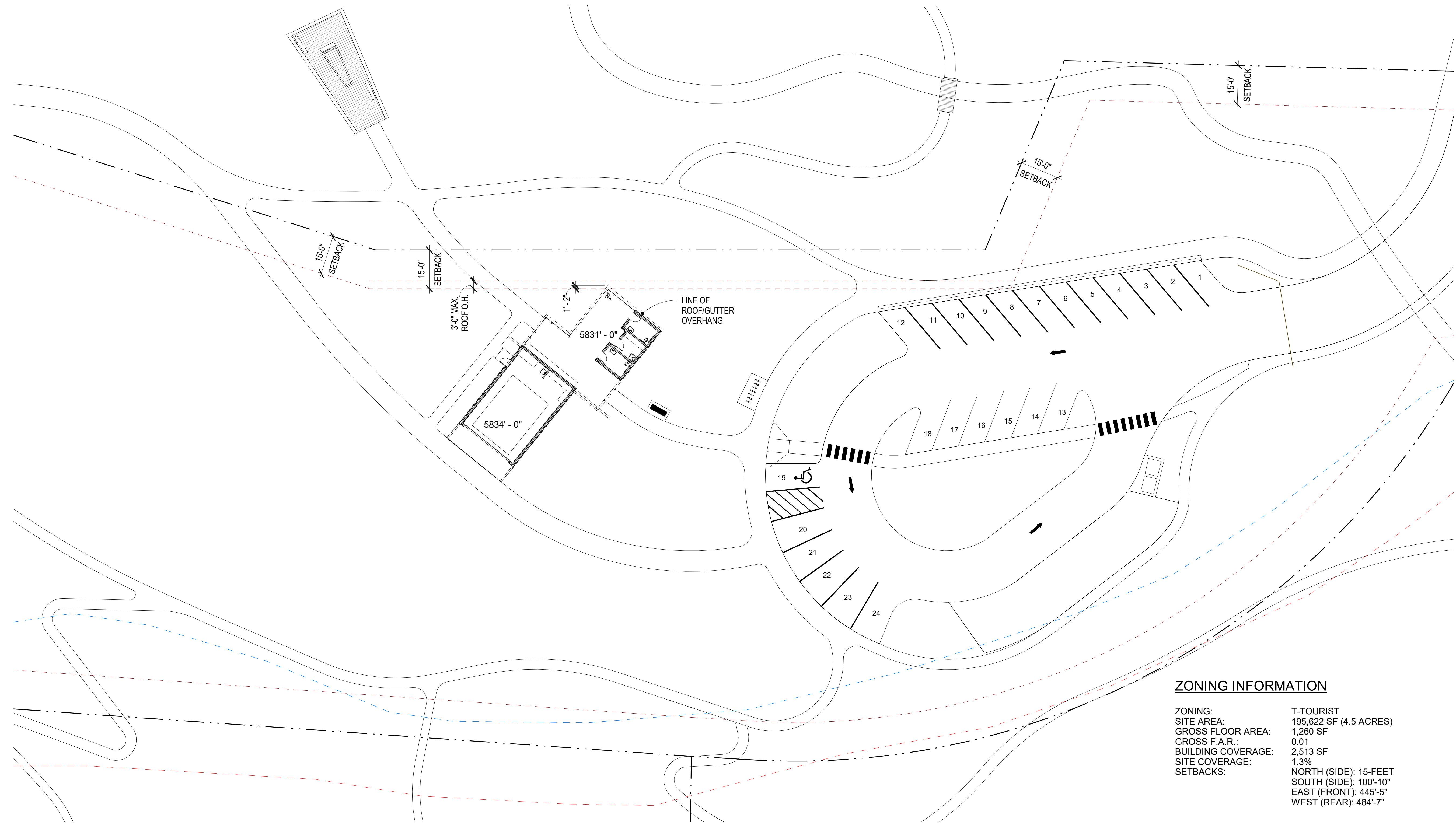
**GALENA-BENCHMARK
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Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, Idaho 83340
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PURPOSE: ISSUE FOR REVIEW

C3.0

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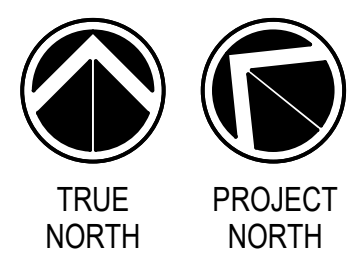


ZONING INFORMATION

ZONING:	T-TOURIST
SITE AREA:	195,622 SF (4.5 ACRES)
GROSS FLOOR AREA:	1,260 SF
GROSS F.A.R.:	0.01
BUILDING COVERAGE:	2,513 SF
SITE COVERAGE:	1.3%
SETBACKS:	NORTH (SIDE): 15-FEET
	SOUTH (SIDE): 100'-10"
	EAST (FRONT): 445'-5"
	WEST (REAR): 484'-7"

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"
12 4 8



WARM SPRINGS PRESERVE WELCOME BUILDING

KETCHUM, IDAHO
83340

DESIGN REVIEW
1/22/2024



Michael Doty Associates, Architects

SUBMITTALS	DATE
1 DESIGN REVIEW #1	11/17/23
2 DESIGN REVIEW #2	01/23/24
3	
4	
5	
6	

NOTES:
 1. CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITIONS AT THE JOBSITE. REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS, AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO ANY FABRICATION OF ANY WORK OR FIELD WORK BEING DONE, IN ACCORDANCE WITH AIA DOCUMENT A201. DO NOT SCALE THESE DRAWINGS.
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PROJECT
WARM SPRINGS PRESERVE
 201-311 BALD MOUNTAIN RD.
 KETCHUM, ID
 CITY OF KETCHUM

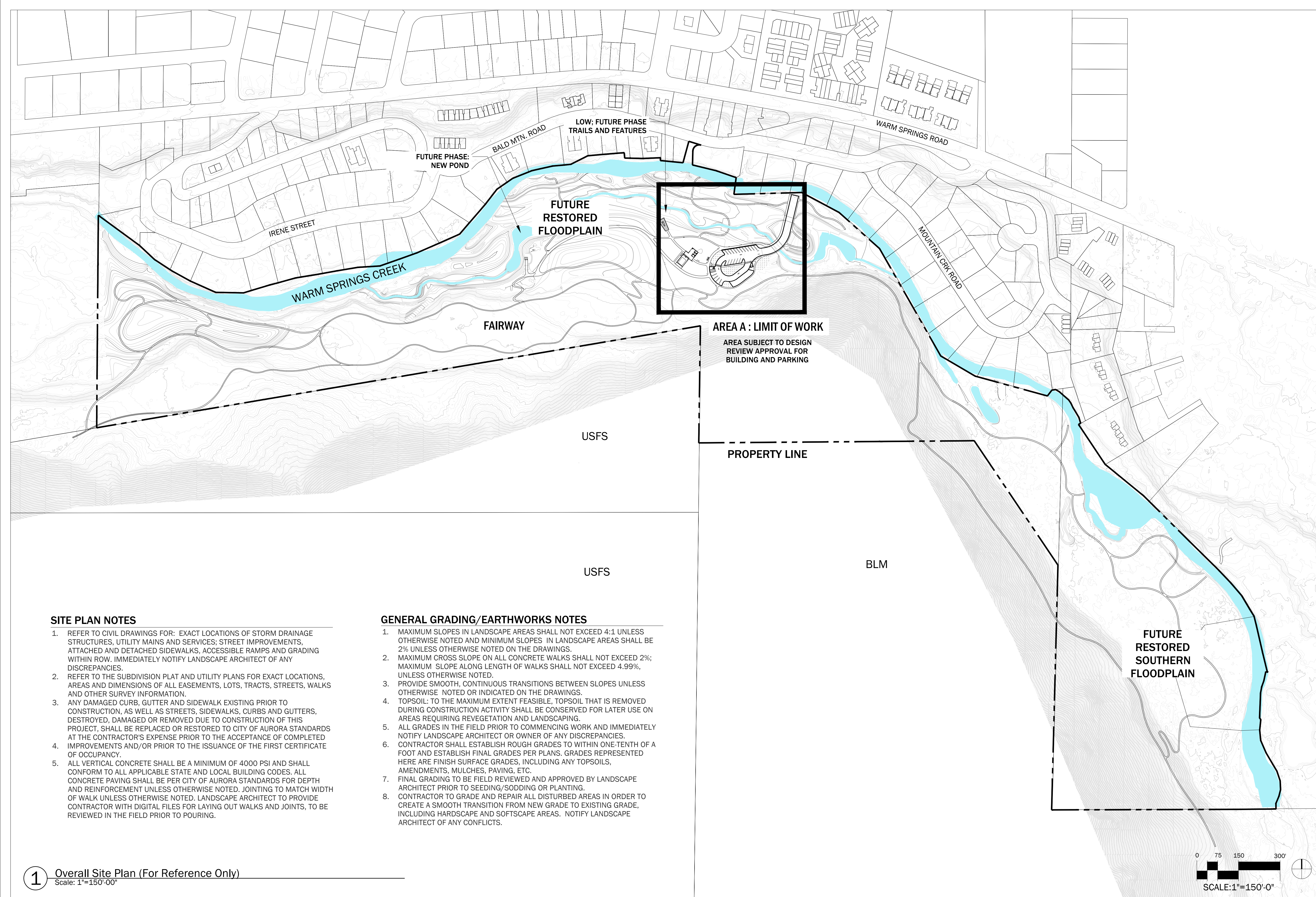
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OVERALL PLAN

SCALE: AS NOTED

L1.00

DRAWN BY: SP, 41
CHECKED BY: DCSF



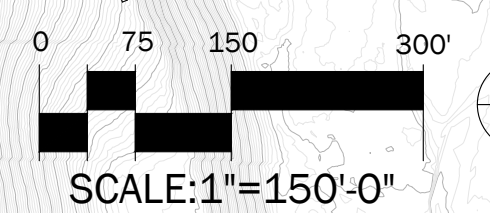
SITE PLAN NOTES

- REFER TO CIVIL DRAWINGS FOR: EXACT LOCATIONS OF STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES; STREET IMPROVEMENTS, ATTACHED AND DETACHED SIDEWALKS, ACCESSIBLE RAMPS AND GRADING WITHIN ROW. IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- REFER TO THE SUBDIVISION PLAT AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF AURORA STANDARDS AT THE CONTRACTOR'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- ALL VERTICAL CONCRETE SHALL BE A MINIMUM OF 4000 PSI AND SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL BUILDING CODES. ALL CONCRETE PAVING SHALL BE PER CITY OF AURORA STANDARDS FOR DEPTH AND REINFORCEMENT UNLESS OTHERWISE NOTED. JOINTING TO MATCH WIDTH OF WALK UNLESS OTHERWISE NOTED. LANDSCAPE ARCHITECT TO PROVIDE CONTRACTOR WITH DIGITAL FILES FOR LAYING OUT WALKS AND JOINTS, TO BE REVIEWED IN THE FIELD PRIOR TO POURING.

GENERAL GRADING/EARTHWORKS NOTES



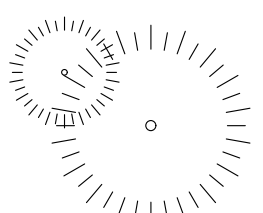
- MAXIMUM SLOPES IN LANDSCAPE AREAS SHALL NOT EXCEED 4:1 UNLESS OTHERWISE NOTED AND MINIMUM SLOPES IN LANDSCAPE AREAS SHALL BE 2% UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- MAXIMUM CROSS SLOPE ON ALL CONCRETE WALKS SHALL NOT EXCEED 2%; MAXIMUM SLOPE ALONG LENGTH OF WALKS SHALL NOT EXCEED 4.99%, UNLESS OTHERWISE NOTED.
- PROVIDE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED OR INDICATED ON THE DRAWINGS.
- TOPSOIL: TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- ALL GRADES IN THE FIELD PRIOR TO COMMENCING WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OR OWNER OF ANY DISCREPANCIES.
- CONTRACTOR SHALL ESTABLISH ROUGH GRADES TO WITHIN ONE-TENTH OF A FOOT AND ESTABLISH FINAL GRADES PER PLANS. GRADES REPRESENTED HERE ARE FINISH SURFACE GRADES, INCLUDING ANY TOPSOILS, AMENDMENTS, MULCHES, PAVING, ETC.
- FINAL GRADING TO BE FIELD REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO SEEDING/SODDING OR PLANTING.
- CONTRACTOR TO GRADE AND REPAIR ALL DISTURBED AREAS IN ORDER TO CREATE A SMOOTH TRANSITION FROM NEW GRADE TO EXISTING GRADE, INCLUDING HARDSCAPE AND SOFTSCAPE AREAS. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

1 Overall Site Plan (For Reference Only)
Scale: 1"=150'-0"

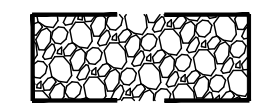




LEGEND

-  Existing Aspen Tree to Remain
-  Existing Aspen Tree to Remain
-  Existing Evergreen Tree to Remain

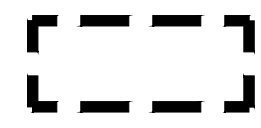
FIRE MITIGATION NOTES



ZONE A

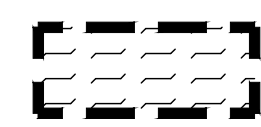
0-5' OFFSET

- Beginning from the edge of the foundation to 5' out, all combustible material should be eliminated and a method to prevent growth of vegetation utilized such as ground cloth under pea gravel.



BUILDING AND ASPEN GROVE

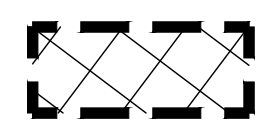
- This area includes the new building, existing aspen grove to be preserved, and new planting.



ZONE B

30' OFFSET

- All dead vegetation should be removed.
- Prune all trees to keep branches a minimum of 10' from neighboring trees.
- Create separation between trees, shrubs and other items that could catch fire such as garbage cans.
- Eliminate "ladder fuels" (i.e. shrubs below trees that could allow fire to spread into the tree branches).
- Prune all existing tree limbs to 6' clearance to ground.



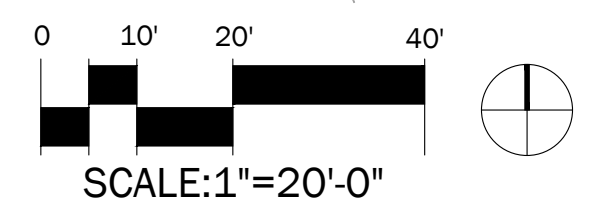
ZONE C

100' OFFSET

- Create horizontal space between shrubs and trees.
- Create vertical space between grass, shrubs, and trees.
- Eliminate "ladder fuels".
- Prune all tree limbs to 6' clearance to ground.

The Warm Springs Preserve site does not have a professional survey of existing trees. The locations indicated on this plan are estimations based on aerial imagery only. All tree locations should be field verified. Primary tree species located on site are Douglas Fir (*Pseudotsuga mesniesii*) and Aspen (*Populus tremuloides*).

KEY MAP



1 Area A - Building and Parking Site Layout and Materials Plan
Scale: 1"=20'-00"

SUBMITTALS	DATE
1. DESIGN REVIEW #1	11/17/23
2. DESIGN REVIEW #2	01/23/24
3.	
4.	
5.	
6.	

NOTES:
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PROJECT
WARM SPRINGS PRESERVE
 201-311 BALD MOUNTAIN RD.
 KETCHUM, ID
 CITY OF KETCHUM

SUBMITTALS	DATE
1 DESIGN REVIEW #1	11/17/23
2 DESIGN REVIEW #2	01/23/24
3	
4	
5	
6	

NOTES:
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PROJECT
WARM SPRINGS PRESERVE
 201-311 BALD MOUNTAIN RD.
 KETCHUM, ID
 CITY OF KETCHUM

LEGEND

- Stabilized Crusher Fines Paving (ADA Accessible)
- Asphalt Paving - Vehicular (Recycled Asphalt - Add Alt. #1)
- Planting Area
- Concrete Walkways
- Gravel

- Donor Bench
- Bike Rack
- Pathlight Bollard



ADA Accessible Donor Bench
Manufacturer: Streetlife Drifter Bench (Or Approved Equal)



Bike Racks
Manufacturer: Streetlife - Solid Bike Parking (Or Approved Equal)
Finish: Corten Steel



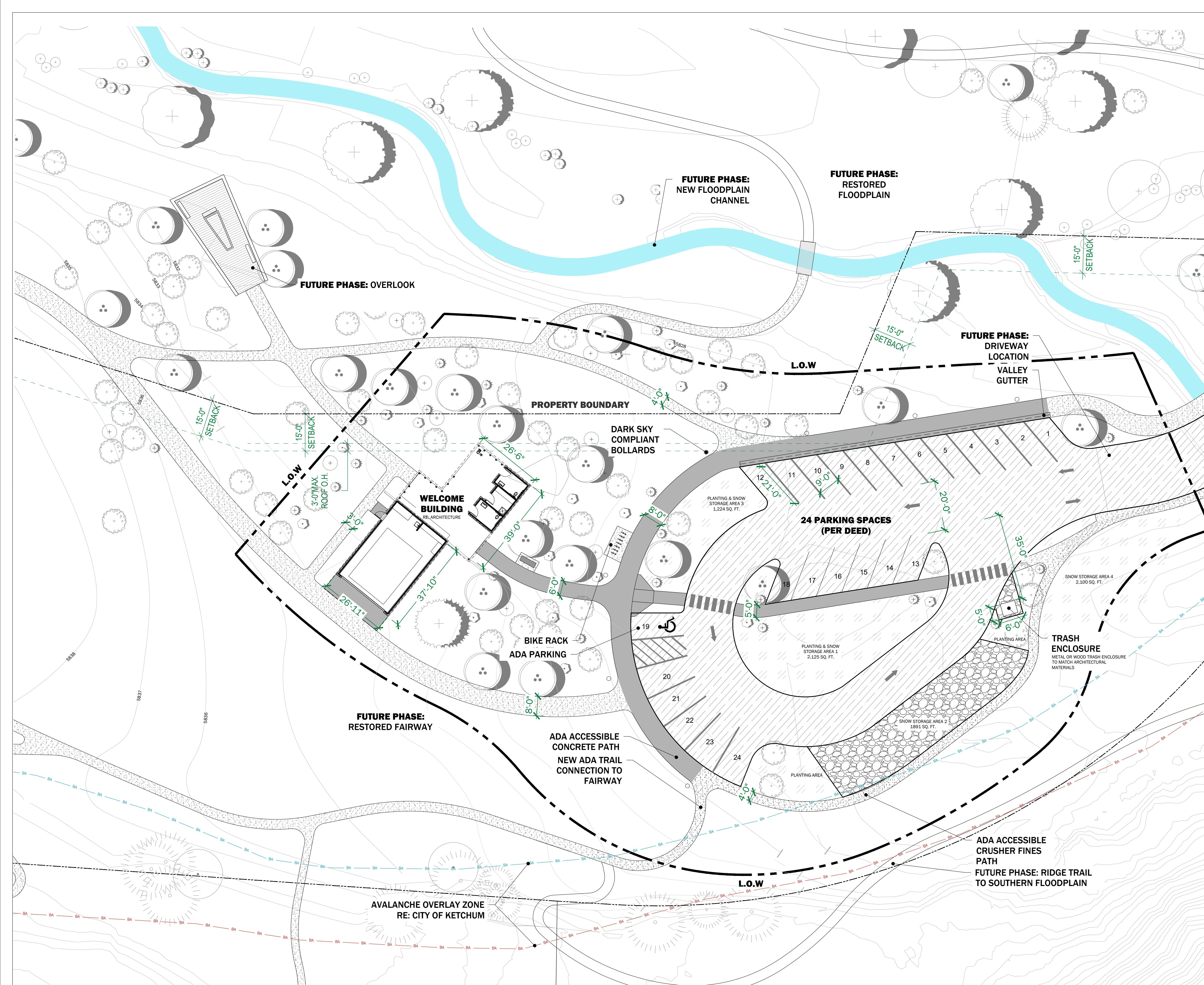
Dark Sky Approved Pathlight Bollard
Manufacturer: Ligman Lighting - Freetown 2
Finish: Corten Steel

PERCENTAGE OF SNOW STORAGE AREA: 32.3%

Total Snow Storage Area: 7,692 sq.ft.
 Snow Storage Area 1: 2,125 sq. ft.
 Snow Storage Area 2: 1,891 sq. ft.
 Snow Storage Area 3: 1,224 sq. ft.
 Snow Storage Area 4: 2,100 sq. ft.

Total Improved Parking - Pedestrian Area: 23,810 sq.ft.

KEY MAP



1 Area A - Building and Parking Site Layout and Materials Plan
Scale: 1"=20'-00"

SUBMITTALS	DATE
1 DESIGN REVIEW #1	11/17/23
2 DESIGN REVIEW #2	01/23/24
3	
4	
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6	

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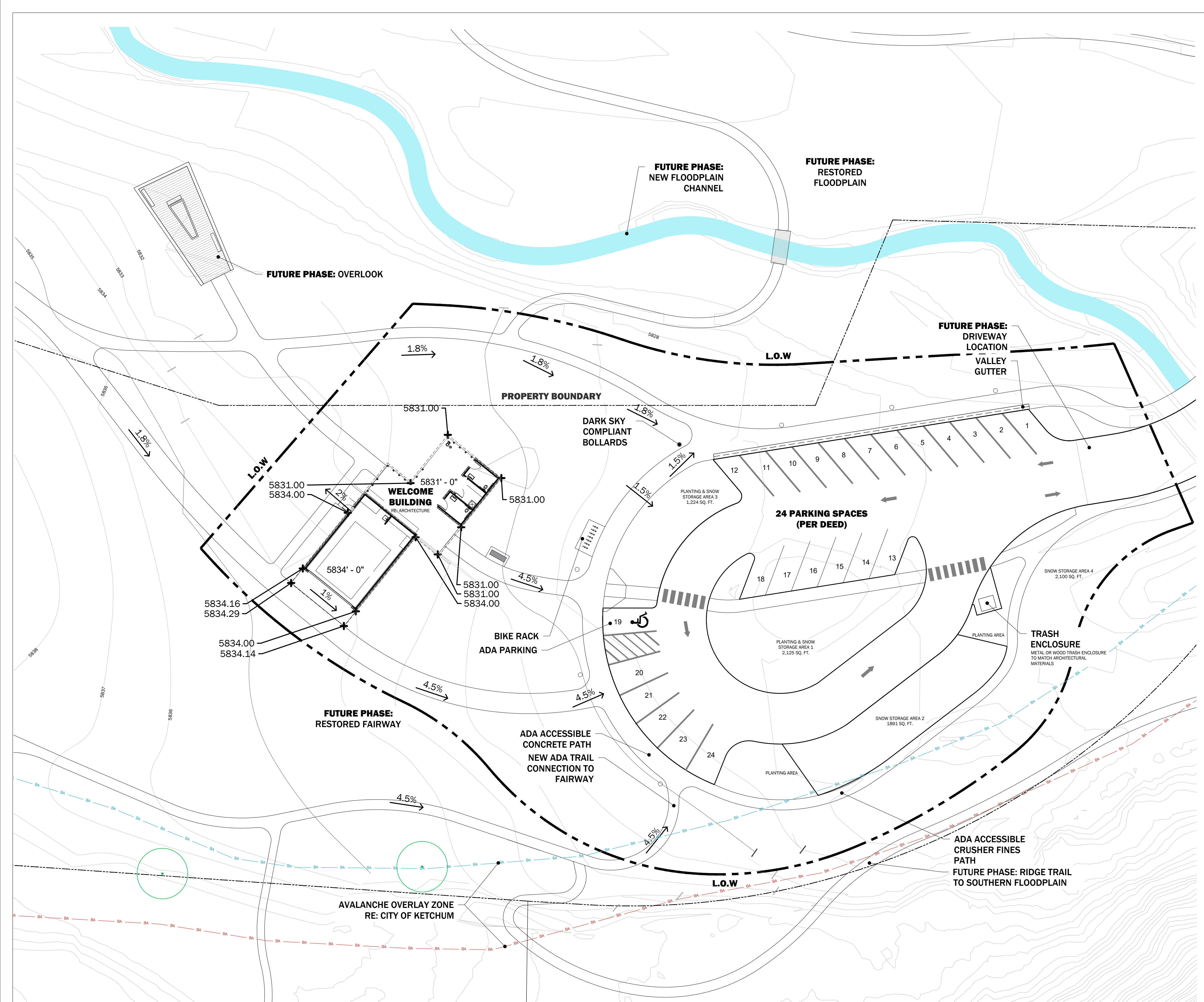
NOT FOR CONSTRUCTION

LANDSCAPE GRADING

SCALE: AS NOTED

L1.03

DRAWN BY: SP, 44
CHECKED BY: DL, SP



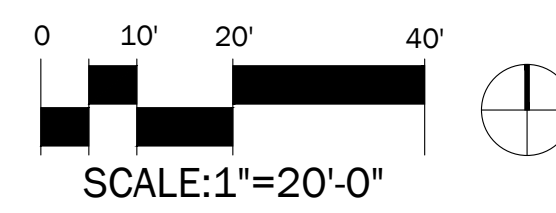
LINETYPE LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR

KEY MAP



1 Area A - Building and Parking Site Grading
Scale: 1"=20'-00"



SUBMITTALS	DATE
1. DESIGN REVIEW #1	11/17/23
2. DESIGN REVIEW #2	01/23/24
3.	
4.	
5.	
6.	

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PROJECT
WARM SPRINGS PRESERVE
201-311 BALD MOUNTAIN RD.
KETCHUM, ID
CITY OF KETCHUM

PLANTING LEGEND

TREES

	PD	1	Douglas Fir	<i>Pseudotsuga menziesii</i>	2.5" Cal.	B&B
--	----	---	-------------	------------------------------	-----------	-----

DECIDUOUS TREES

	PP2	15	Quaking Aspen (Multi-Stemmed)	<i>Populus tremuloides</i>	2.5" Cal.	B&B
	PT3	39	Quaking Aspen (Single-Stemmed)	<i>Populus tremuloides</i>	2.5" Cal.	B&B

SHRUBS

	AS	19	Serviceberry	<i>Amelanchier alnifolia</i>	5 gal.	Container
--	----	----	--------------	------------------------------	--------	-----------

DECIDUOUS SHRUBS

	SPB	9	Blizzard Mockorange	<i>Philadelphus lewisii</i> 'Blizzard'	#5, 2' ht.	Container
	SRM	24	Golden Currant	<i>Ribes aureum</i>	#3, 18" ht.	Container

			Existing Aspen Tree to be Removed			
			Existing Aspen Tree to be Remain			

SEEDED GRASSES, PERENNIALS + SODDED TURF

SEED MIX A
Upland Meadow

- Spoil piles, expected to be the driest plant community on site
- Achillea millefolium* / Common Yarrow
 - Artemisia tridentata vasyana* / Mountain Big Sagebrush
 - plant in patches in favorable microsites
 - Bromus ciliatus* / Fringed Brome
 - Bromus marginatus* / Mountain Brome
 - Chrysothamnus viscidiflorus* / Yellow Rabbitbrush
 - Elymus elymoides* / Squirreltail Grass
 - Elymus glaucus* / Blue Wildrye
 - Elymus lanceolatus lanceolatus* / Thickspike Wheatgrass
 - Elymus trachycaulus* / Slender Wheatgrass
 - Ericameria nauseosa* / Rubber Rabbitbrush
 - Eriogonum umbellatum* / Sulfurflower Buckwheat
 - Festuca idahoensis* / Idaho Fescue
 - Festuca thurberi* / Thurber's Fescue
 - Hesperostipa comata* / Needle and Thread Bunchgrass
 - Koeleria macrantha* / Prairie Junegrass
 - Leymus cinereus* / Great Basin Wildrye
 - Linum lewisii* 'Blue Flax' / Blue Flax
 - Poa secunda sandbergii* / Sandberg Bluegrass
 - Pseudoroegneria spicata* / Bluebunch Wheatgrass
 - Sphaeralcea* sp. / Globemallow
 - species dependent on availability

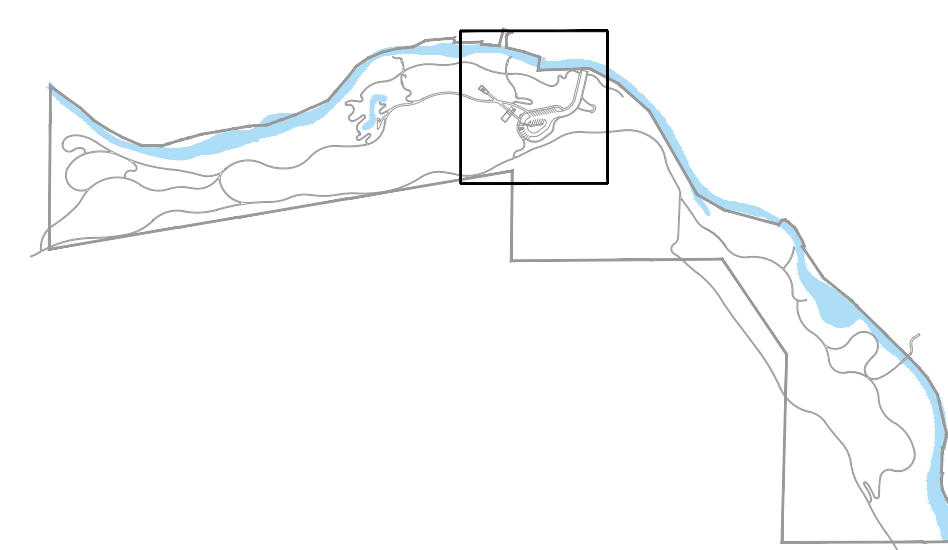
SEED MIX H
Aspen Grove

- Achillea millefolium* / Common Yarrow
- Aquilegia coerulea* / Blue Columbine
- Delphinium occidentale* / Duncecap Larkspur
- Erigeron speciosus* / Showy Fleabane
- Eriogonum umbellatum* / Sulfurflower Buckwheat
- Gaillardia aristata* / Blanket Flower
- Geranium viscosissimum* / Sticky Geranium
- Heliomeris multiflora* / Showy Goldeneye
- Hymenoxys hoopesii* / Meadow Fire
- Linum perenne lewisii* / Blue Flax
- Penstemon rydbergii* / Rydberg's Penstemon
- Penstemon strictus* / Rocky Mountain Penstemon
- Rudbeckia occidentalis* / Western Coneflower
- Solidago missouriensis* / Missouri Goldenrod
- Symphotrichum laeve* / Smooth Aster

SOD
Restored Lawn

- Festuca rubra*, *Cynodon Hybrida* Dog Tuff (or equivalent)

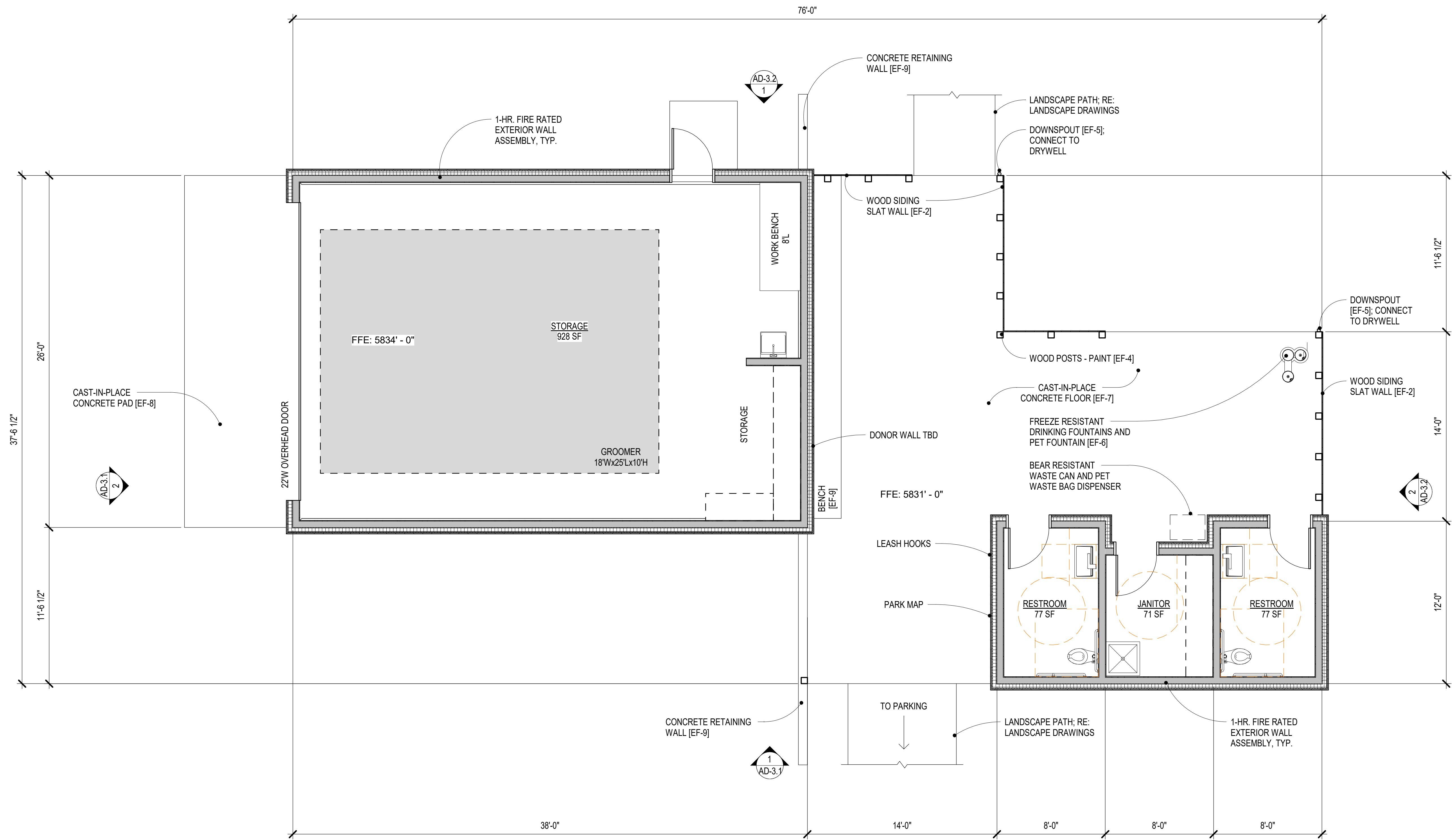
KEY MAP



NOTE:

1. THE LANDSCAPE PLAN BUILDS ON THE EXISTING ASPEN GROVE AND ENHANCES AND RESTORES IT. THE BUILDING WAS SITED TO BE NESTLED IN THE GROVE OF ASPENS AND MINIMIZE THE VISUAL IMPACT ON THE OVERALL PRESERVE





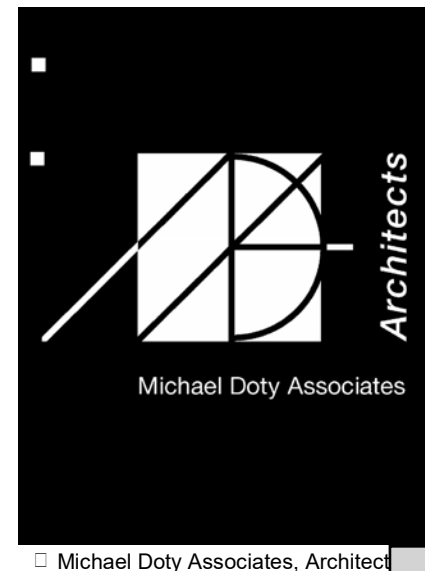
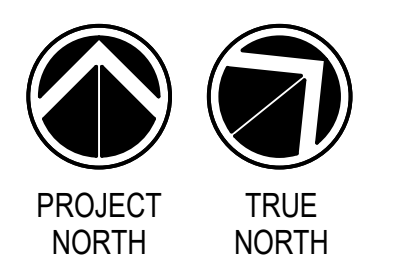
PROPOSED FLOOR PLAN

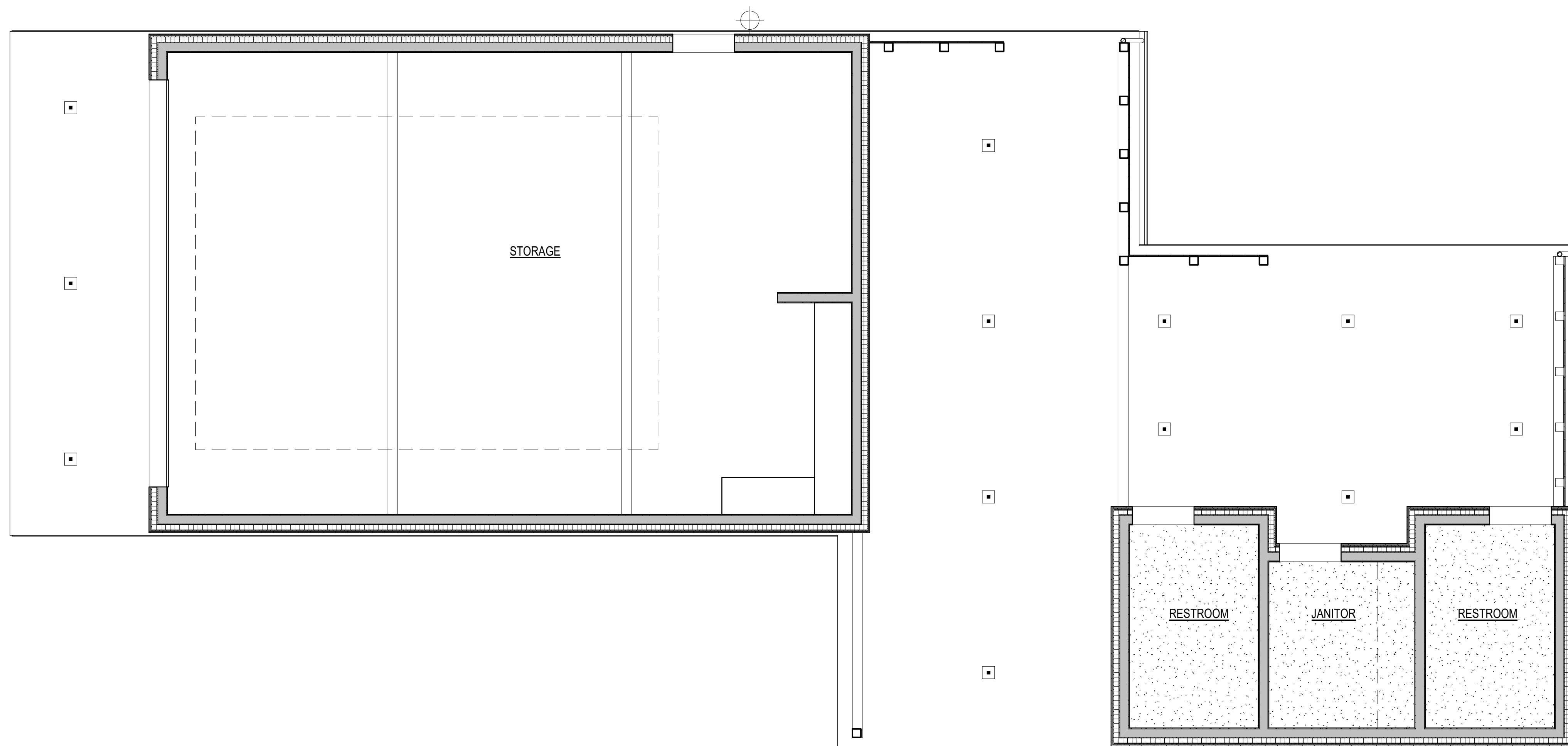


WARM SPRINGS PRESERVE WELCOME BUILDING

KETCHUM, IDAHO
83340

DESIGN REVIEW
1/22/2024





EXTERIOR LIGHTING KEY

LIGHTS TO BE ON TIMER TO TURN OFF 1 HOUR AFTER SUNSET

- RECESSED DOWNLIGHT: LUCIFER ATOMOS, 2" SQUARE PROFILE, FLUSH MILLWORK, BURNT BRONZE BAFFLE, 2700K

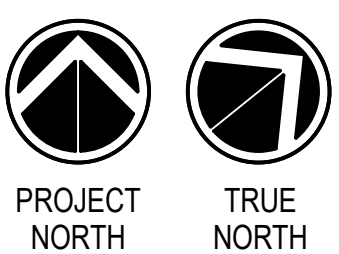


- WALL SCONCE: LUCIFER LUCIFER SQUILINDER, BURNT BRONZE, 2700K



PROPOSED REFLECTED CEILING PLAN / EXTERIOR LIGHTING

SCALE: 1/4" = 1'-0"
1 2 4 8

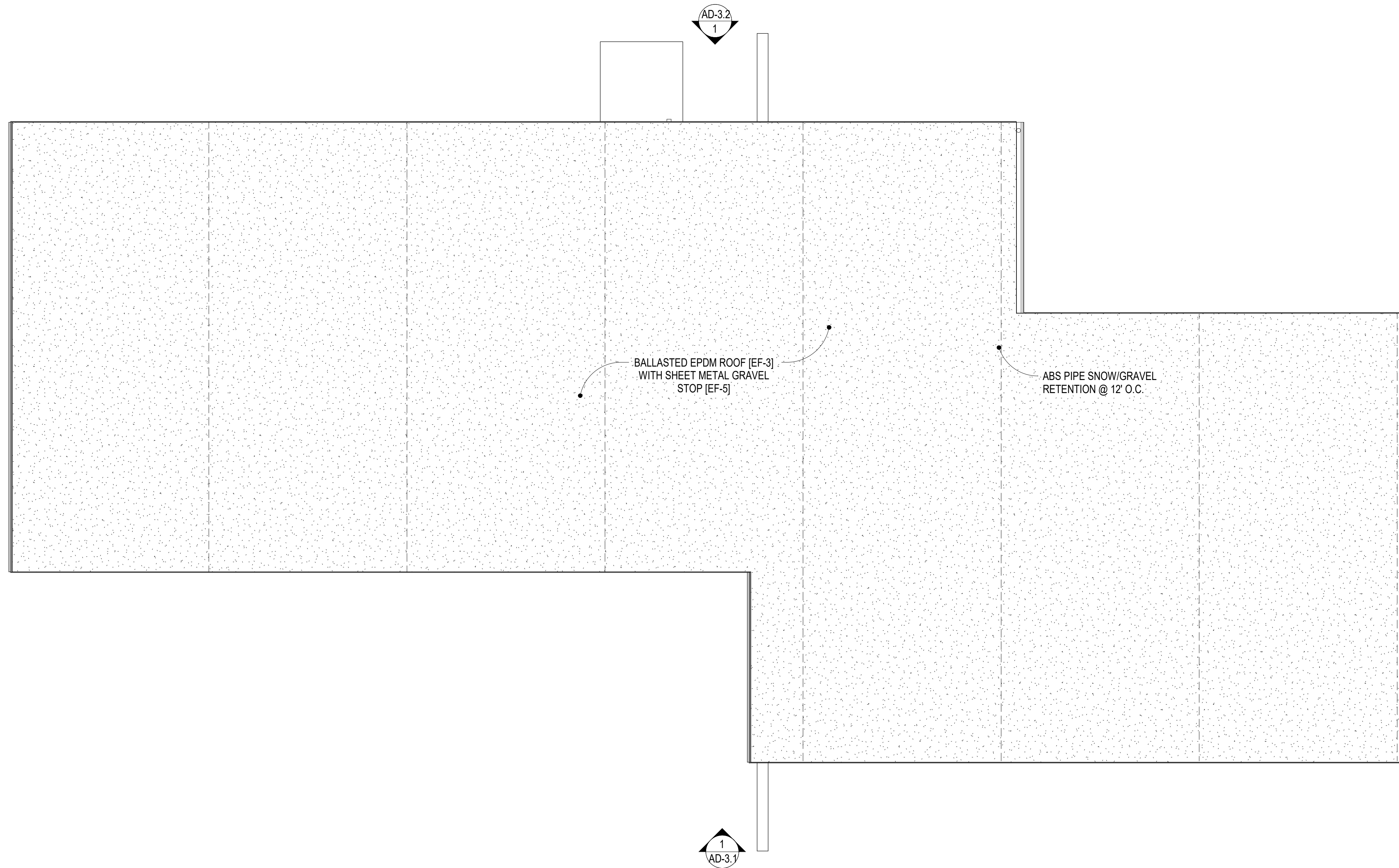


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1/22/2024





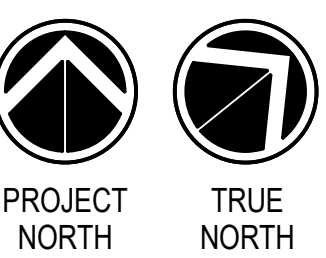
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"
1 2 4 8

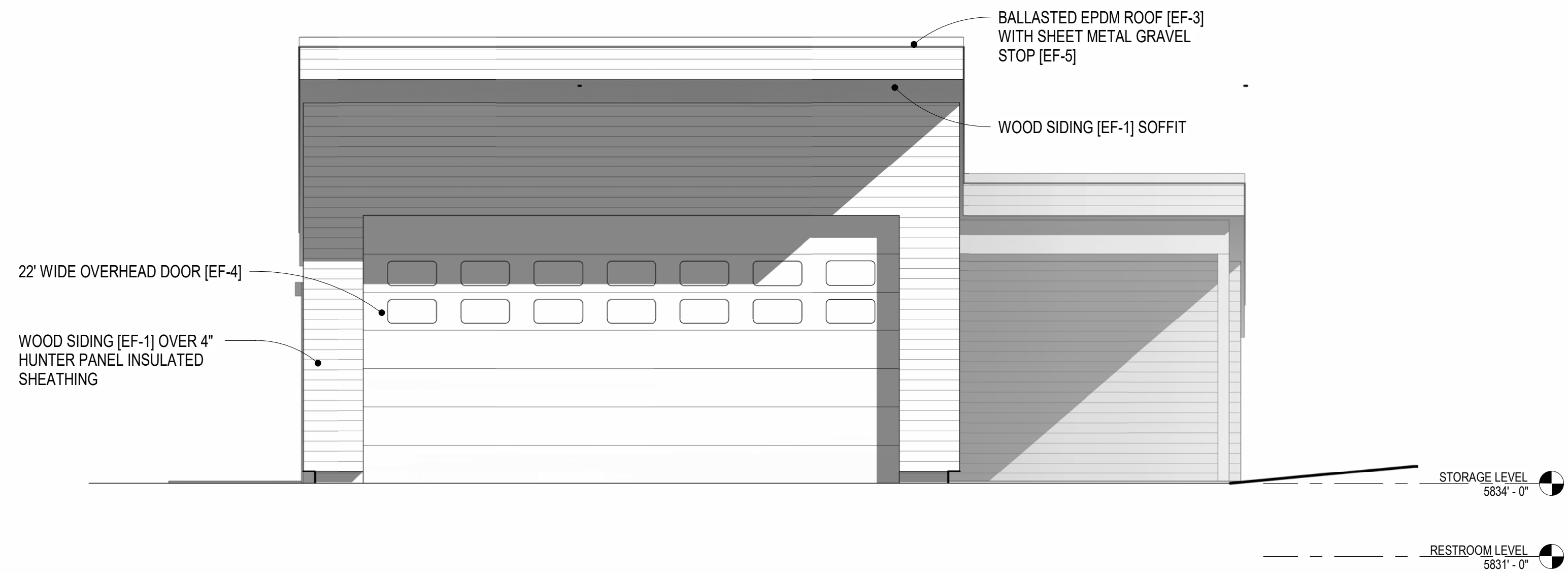
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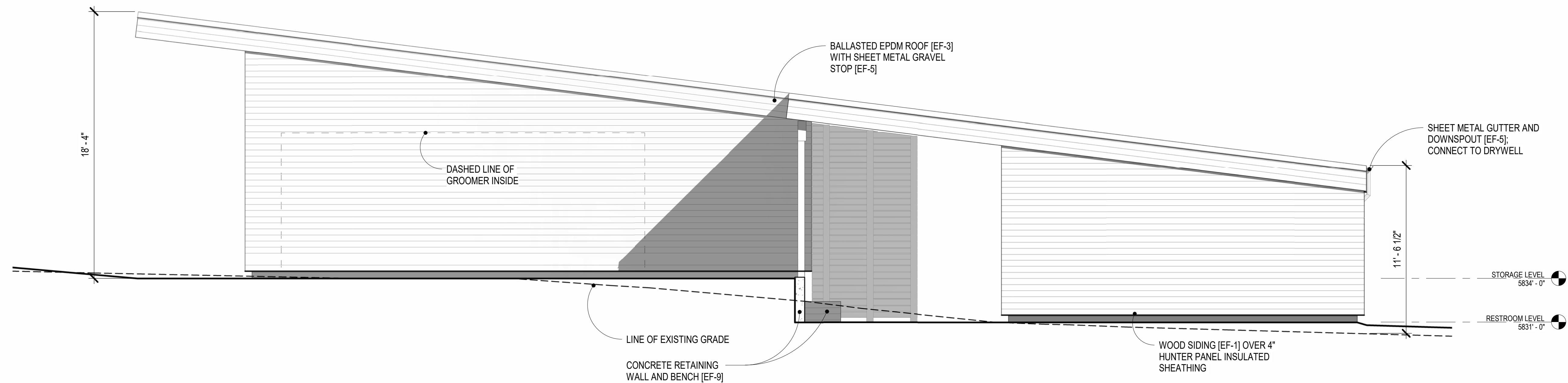
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Michael Doty Associates, Architect



WEST ELEVATION 2
1/4" = 1'-0"



SOUTH ELEVATION 1
1/4" = 1'-0"

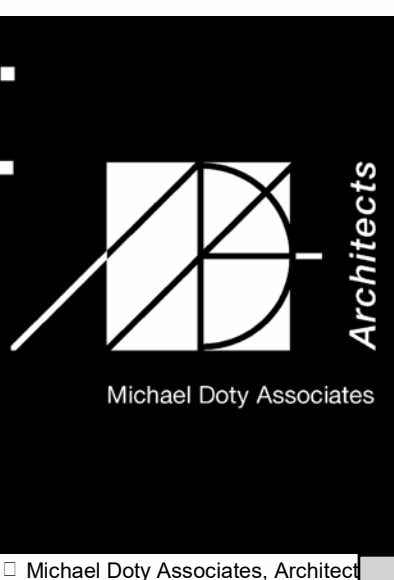
EXTERIOR ELEVATIONS

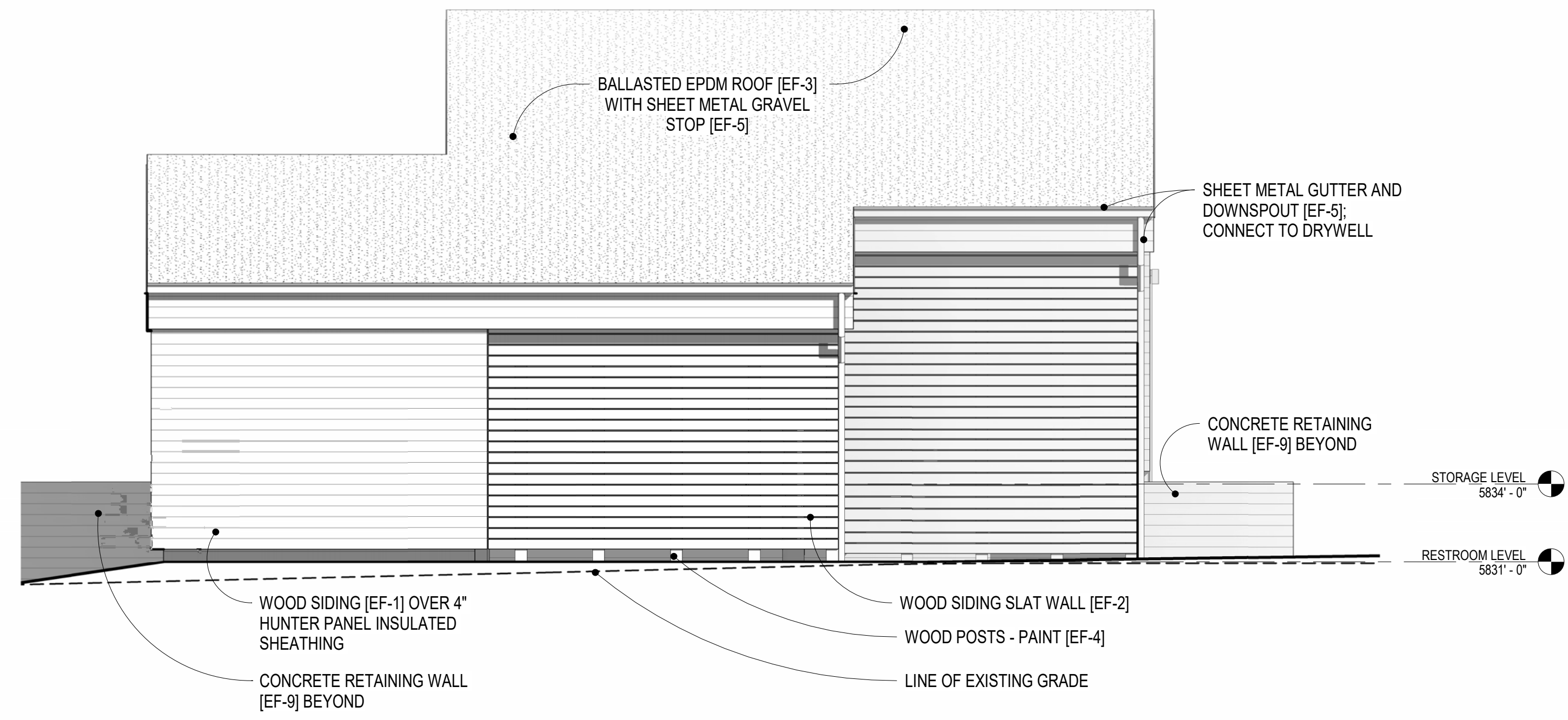


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1/22/2024

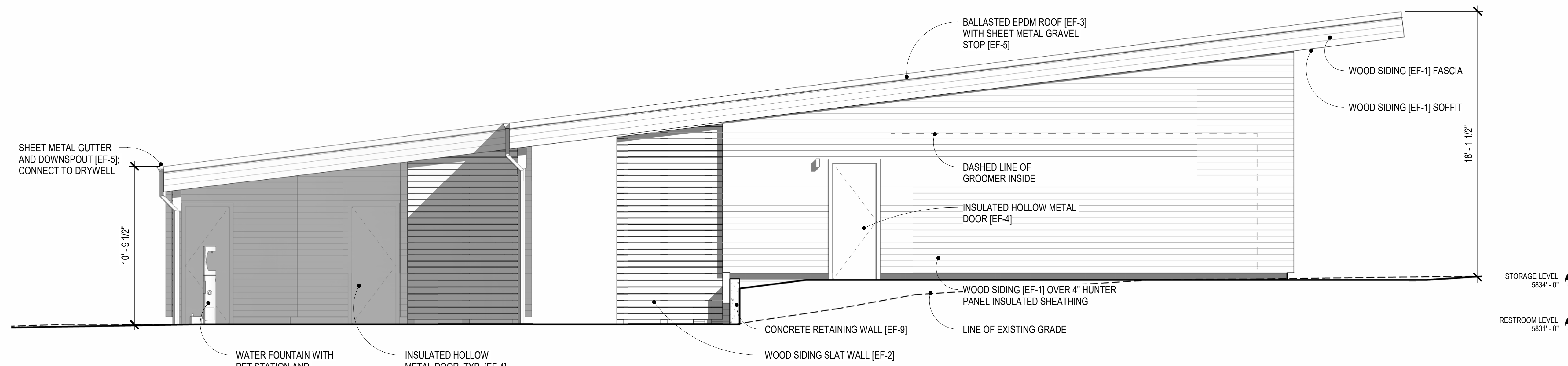




EAST ELEVATION

2

1/4" = 1'-0"



NORTH ELEVATION

1

1/4" = 1'-0"

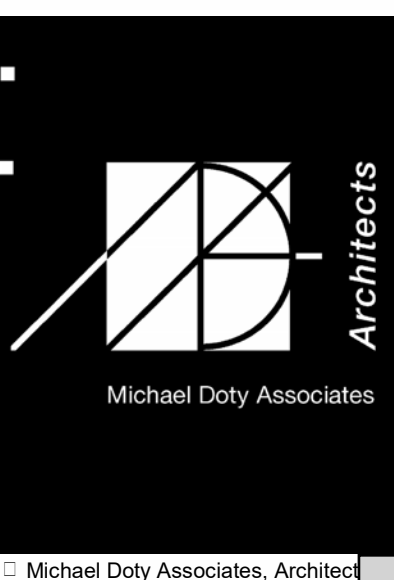
EXTERIOR ELEVATIONS



WARM SPRINGS PRESERVE WELCOME BUILDING

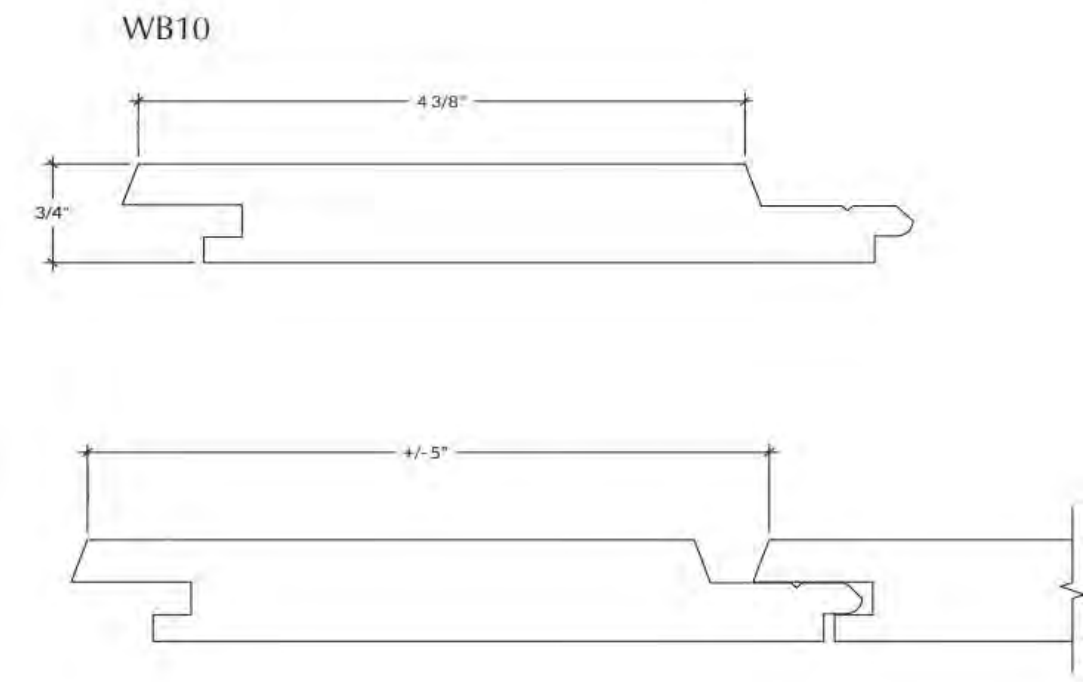
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DESIGN REVIEW
1/22/2024





EXTERIOR FINISH 1 (EF-1):
THERMALLY MODIFIED RADIATA PINE
SIDING; ADOBO WARBLER; WB10 PROFILE



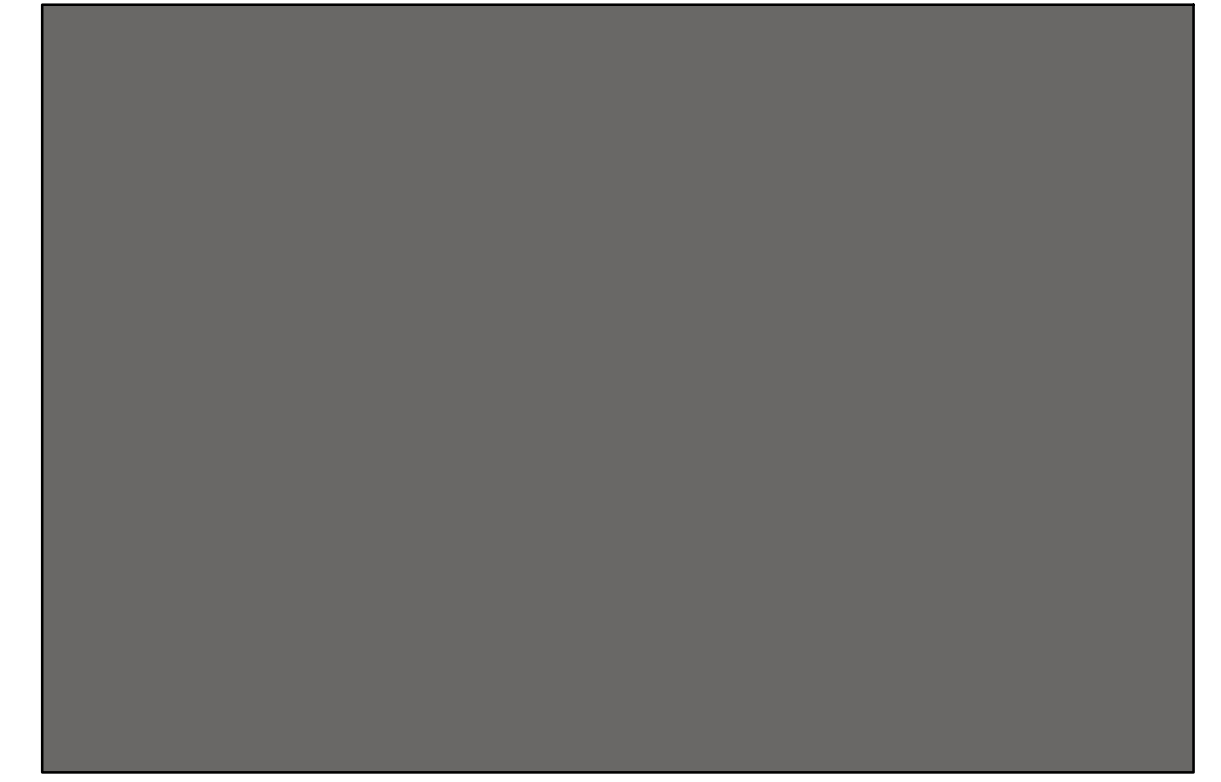
EXTERIOR FINISH 1 (EF-1) SIDING PROFILE



EXTERIOR FINISH 2 (EF-2):
THERMALLY MODIFIED RADIATA PINE SLAT
WALL; ADOBO WARBLER; S4S PROFILE, 1/2"
GAP SPACING



EXTERIOR FINISH 3 (EF-3):
RIVER BOTTOM STONE BALLAST; 10 PSF
MIN.



EXTERIOR FINISH 4 (EF-4):
PAINT FINISH AT OVERHEAD DOORS, MAN
DOORS, AND WOOD POSTS; BENJAMIN
MOORE CC-544, OVERCOAT



EXTERIOR FINISH 5 (EF-5):
SHEET METAL FLASHING AND TRIM;
WESTERN STATES METAL ROOFING, COOL
TECH 500 PVDF VINTAGE



EXTERIOR FINISH 6 (EF-6):
OUTDOOR DRINKING FOUNTAIN; ELAKY
ezH2O UPPER BOTTLE FILLING STATION BI-
LEVEL PEDESTAL WITH PET STATION.
COLOR: TBD PENDING OVERALL PARK
THEME



EXTERIOR FINISH 7 (EF-7):
EXTERIOR CAST-IN-PLACE CONCRETE SLAB;
ACID ETCHED CONCRETE WITH LIGHTLY
EXPOSED AGGREGATE



EXTERIOR FINISH 8 (EF-8):
EXTERIOR CAST-IN PLACE CONCRETE SLAB;
LIGHT BROOM FINISH



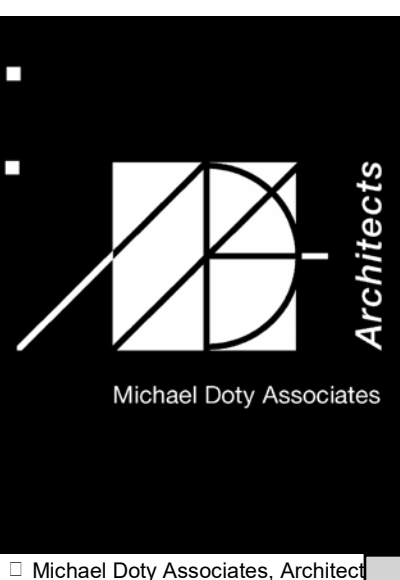
EXTERIOR FINISH 9 (EF-9):
EXTERIOR CAST-IN PLACE BOARD-FORMED
CONCRETE RETAINING WALL

PROPOSED EXTERIOR FINISHES

WARM SPRINGS PRESERVE WELCOME BUILDING

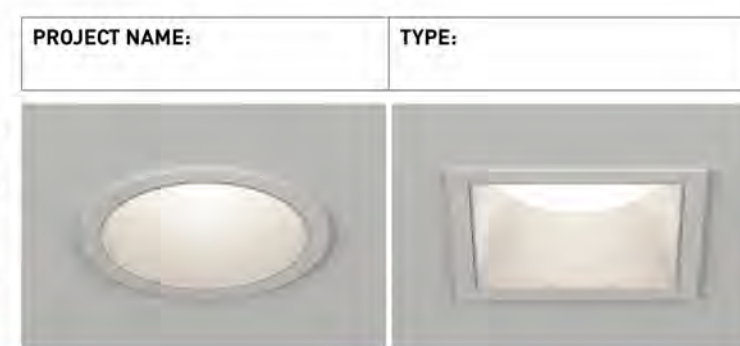
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DESIGN REVIEW
1/22/2024



ATOMOS™2 UNIVERSAL AND SLIM

A miniature downlight range offering impressive performance in an extremely small profile with a 2" aperture. Available as flange overlay and trimless for both drywall and millwork applications.



ORDERING INFORMATION - TRIM / HOUSING

TRM	TRM TYPE	RATING	TRM FINISH	BAFFLE FINISH	FIXTURE TYPE	INSTALL TYPE	LUMEN PACKAGE	CCT	OPTIC	EFFECTS DEVICE	DRIVER	
ADJUSTABLE & FIXED	F Flange Overlay T Trimless Drywall	1 Dry / Damp IP20	WH White AG Satin Silver AU Cashmere Gold	WH White AG Satin Silver AU Cashmere Gold	5.52" UNIVERSAL HOUSING (SEPARATE TRIM AND HOUSING) 1/2" - 2" MAX CEILING THICKNESS	INTEGRAL AD Adjustable, 30" Max Trim IC Non-IC A C, Airight S I.C. Remote K C, Airight, Remote R Remodel M Remodel	STATIC WHITE 80120 80-CR 35 3000K 40 4000K	27 2700K 25 2500K 30 3000K 40 4000K	15 15° 25 25° 35 35° 50 50°	4 Soft Focus PH ELV / Triac, 1% 10V W Wallwash Lens* SG eled.ED, ECOdrive 17.5-12V, LOG, 120-277V 0 No Media* SN eled.ED, ECOdrive 17.5-12V, LN, 120-277V AZ Adjustable Zoom* EG eled.ED, SOLDrive 0.1% 0-10V, LOG, 120-277V EN eled.ED, SOLDrive 0.1% 0-10V, LN, 120-277V ED eled.ED, SOLDrive 0.1% 0-10V, LN, 120-277V LP Lutron, Premier Ecosystem 0.1% Faded to Black, LOG, 120-277V L2 Lutron, Hi-Lume Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V C Honeycomb Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V LP Lutron, Premier Ecosystem 0.1% Faded to Black, LOG, 120-277V L2 Lutron, Hi-Lume Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V	STANDARD	ALL INSTALL TYPES
WALLWASH	W Trimless Millwork	2 Wet IP44	AG Satin Silver AU Cashmere Gold BB Burnt Bronze BK Black PR Primer CF Custom Finish* *Domest. Factory	AG Satin Silver AU Cashmere Gold BB Burnt Bronze BK Black PR Primer CF Custom Finish* *Domest. Factory	3.4" SLIM HIGH OUTPUT HOUSING (INTEGRATED LED HOUSING) FIXED ISFI 1/2" - 1" MAX CEILING THICKNESS WALLWASH ISFI 1/2" - 5/8" MAX CEILING THICKNESS	INTEGRAL X C Y NIC A C, Airight S I.C. Remote V I.C. Remote W NIC, Remote D C, Airight, Remote R Remodel M Remodel	STATIC WHITE 80120 80-CR 35 3000K 40 4000K	27 2700K 25 2500K 30 3000K 40 4000K	15 15° 25 25° 35 35° 50 50°	4 Soft Focus PH ELV / Triac, 1% 10V W Wallwash Lens* SG eled.ED, ECOdrive 17.5-12V, LOG, 120-277V 0 No Media* SN eled.ED, ECOdrive 17.5-12V, LN, 120-277V AZ Adjustable Zoom* EG eled.ED, SOLDrive 0.1% 0-10V, LOG, 120-277V EN eled.ED, SOLDrive 0.1% 0-10V, LN, 120-277V ED eled.ED, SOLDrive 0.1% 0-10V, LN, 120-277V LP Lutron, Premier Ecosystem 0.1% Faded to Black, LOG, 120-277V L2 Lutron, Hi-Lume Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V C Honeycomb Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V LP Lutron, Premier Ecosystem 0.1% Faded to Black, LOG, 120-277V L2 Lutron, Hi-Lume Lower w/ Clear Film* LH Lutron, Hi-Lume Ecosystem 1% Faded to Black, LOG, 120-277V	STANDARD	ALL INSTALL TYPES

- PART NUMBER NOTES**
- Universal trims ship as e.g.: A2RSFD1AGAG-8012DZ7-15I-PH*0
 - Universal housings ship as e.g.: IFR-A2I-280A-PH*
 - Slim fixtures ship as e.g.: A2RSFSF1AGAG-8012DZ7-15X-PH*0
 - Remote drivers ship as e.g.: PSA2-RMT-280A-PH*

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WALL SCONCE CYLINDER & SQUILINDER®

Exceptional adaptability and performance in classic and modern silhouettes that mount seamlessly and invisibly to the wall.



ORDERING INFORMATION

SHAPE	TYPE	RATING	BODY FINISH	BAFFLE FINISH	CRI / WATTAGE PACKAGE	CCT	LOWER OPTIC (UGR)	UPPER OPTIC (UGR)	DRIVER	LOWER MEDIA	UPPER MEDIA
CW2 Cylinder	DF Downlight	2 Wet IP53	WH White AG Satin Silver AU Cashmere Gold BB Burnt Bronze AB Architectural Bronze BK Black CF Custom Finish* *Domest. Factory	WH White AG Satin Silver AU Cashmere Gold BB Burnt Bronze AB Architectural Bronze BK Black CF Custom Finish* *Domest. Factory	DOWNLIGHT (DF) STATIC WHITE 80511A 80-CR, 11W, Dlx. Lumens - 1232 80517A 80-CR, 11W, Dlx. Lumens - 1893 80524A 80-CR, 23W, Dlx. Lumens - 2670 90511A 90-CR, 11W, Dlx. Lumens - 1028 90517A 90-CR, 11W, Dlx. Lumens - 1828 90524A 90-CR, 23W, Dlx. Lumens - 2122 97511A 97-CR, 11W, Dlx. Lumens - 979 97524A 97-CR, 23W, Dlx. Lumens - 1983	27 2700K 30 3000K 35 3500K 40 4000K	15 15° 20 20° 25 25° 40 40°	00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only	DOWNLIGHT (DF) INTEGRAL RP1 120V, 1% ELV / TRIAC or 120-277V, 1% 0-10V Analog Logarithmic REMOTE (120V) TR2 Philips, 2% Leading Triac/Trac* 117W packages only	3 Clear Glass Lens* *Not available for Warm Dim LEAVE BLANK FOR DOWNLIGHT (DF)	9 Diffusion Lens* *Required with UG (Integral)
SW2 Squilinder	UD Up / Downlight	2 Wet IP53	WH White AG Satin Silver AU Cashmere Gold BB Burnt Bronze AB Architectural Bronze BK Black CF Custom Finish* *Domest. Factory	WH White AG Satin Silver AU Cashmere Gold BB Burnt Bronze AB Architectural Bronze BK Black CF Custom Finish* *Domest. Factory	UP / DOWNLIGHT (UD) STATIC WHITE 80511A 80-CR, 11W, Dlx. Lumens - 1232 80517A 80-CR, 11W, Dlx. Lumens - 1893 80524A 80-CR, 23W, Dlx. Lumens - 2670 90511A 90-CR, 11W, Dlx. Lumens - 1028 90517A 90-CR, 11W, Dlx. Lumens - 1828 90524A 90-CR, 23W, Dlx. Lumens - 2122 97511A 97-CR, 11W, Dlx. Lumens - 979 97524A 97-CR, 23W, Dlx. Lumens - 1983	27 2700K 30 3000K 35 3500K 40 4000K	15 15° 20 20° 25 25° 40 40°	00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only 00 DF Only	UP / DOWNLIGHT (UD) INTEGRAL CA3 120-277V, 2% 0-10V Analog Logarithmic CE3 120V, 2% ELV Forward / Reverse Phase	3 Clear Glass Lens* *Required with UG (Integral)	9 Diffusion Lens* *Required with UG (Integral)

- SPECIFICATION NOTES**
- Wall Sconce (ex.) CW2-DF2-WHBK-90S23A2-30-RP1-40
 - Wall Sconce (ex.) SW2-UD2-WHBK-80S11A2-33-RMT-49
 - Up / Downlight (UD) fixtures require two remote drivers
 - Remote driver(s) ships as (ex.) PS-RMT-80S11A-1L23

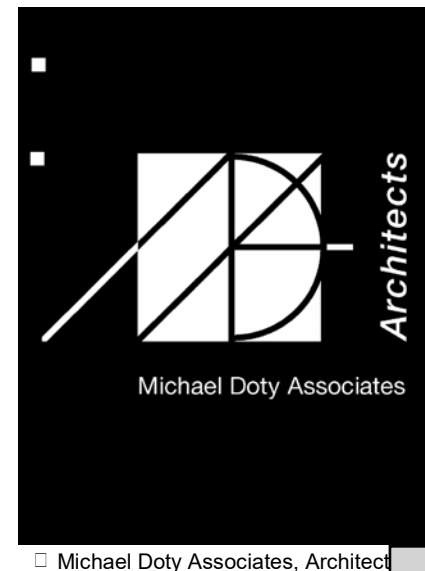
LUCIFER LIGHTING COMPANY luciferlighting.com ©2023 Lucifer® Lighting Company As part of its policy of continuous research and product development, the company reserves the right to change or withdraw specifications without prior notice. [PH] +1-210-227-7229 [FAX] +1-210-227-4967 pg. 1

PROPOSED EXTERIOR LIGHT FIXTURES

WARM SPRINGS PRESERVE WELCOME BUILDING

KETCHUM, IDAHO
83340

DESIGN REVIEW
1/22/2024



Attachment C: Zoning Standards



Warm Springs Preserve Building
COMPLIANCE WITH ZONING REGULATIONS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Finding	Required: 8,000 square feet Existing: 195,622 square feet (4.5 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR
			Finding	Permitted: 0.5 FAR Proposed: .01 FAR (1,260)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks*: Front: 15' Side: 15' Rear: 15' Proposed: Front (east): 445' 5" Side (north): 15' Side (south): 100' 10" Rear (west): 484' 7"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Finding	Maximum Permitted: 35' (27' maximum height per deed restriction) Proposed: 18' 4"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 9% (26-foot-wide driveway/280 feet of property frontage along Lopey Ln).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	Parking Spaces



			Finding	<p>Off-street parking standards of this chapter apply to any new development and to any new established uses.</p> <p>Required: Nonresidential, in zoning districts other than LI-1, LI-2, and LI-3 require 1 parking space per 1,000 gross square feet. Deed restriction permits 24 parking spaces.</p> <p>Proposed: 24 parking spaces</p>
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Attachment D:
Design Review
Standards



Warm Springs Preserve Building
DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
Finding: The project proposes to replace the existing gravel driveway and parking lot with asphalt up to Lopey Ln bridge.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
Finding: The City Engineer has reviewed the proposed driveway design and finds it to be sufficient for the project.	
All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	N/A
Finding: Sidewalks not required for the proposed project.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	N/A
Finding: Sidewalks not required for the proposed project.	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: Sidewalks waived due to low speed limit of Lopey Lane, trail access off of Lopey Lane, and additional disturbance sidewalks would create for the upcoming restoration.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	N/A
<p>Finding: Sidewalks were not required for the proposed project.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	N/A
<p>Finding: Sidewalks were not required for the proposed project.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	YES
<p>Finding: Sidewalks were not required for the proposed project.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	YES
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheets C1 -C3 on the project plans. The drainage improvements include the installation of swales and driveways. The City Engineer has</p>	

reviewed the proposed drainage plan and believes the swales and drywell improvements are sufficient to maintain all storm water drainage on the subject property.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheets C1 - C2.1 on the project plans. The drainage improvements include the installation of swales and driveways. The City Engineer has reviewed the proposed drainage plan and believes the swales and drywell improvements are sufficient to maintain all storm water drainage on the subject property.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES
<p>Finding: The City Engineer has reviewed the proposed drainage plan for proposed project and believes the swale and drywell improvements are sufficient to maintain storm water drainage on the subject property. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p>Finding: The drainage improvements for the proposed project include the installation of swales & drywells to collect stormwater from the parking lot and driveway. The City Engineer has reviewed the proposed drainage plan and believes the proposed swale and drywell improvements meet city standards.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
Finding: As shown on Sheet C3 of the project plans, the applicant proposes connecting to the municipal water and sewer systems from existing lines on Irene St. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
Finding: N/A. Extension of utilities is not necessary to service the proposed storage & restroom buildings.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: While the subject property is isolated from other development, the project utilizes natural materials which are found in the nearby developments along Bald Mountain Road & Irene St. These materials also assist in the building fitting well within the future open space/park.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: Nearest sidewalks to the proposed structure are located on Bald Mountain Rd. Pedestrians would access sidewalk by walking through preserve and on Lopey Ln. Primary use of building for the public is to use the restrooms which are accessed by using the walkway through the building.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: The sloped roof used throughout the project results in the segments of the building having varied façade heights, providing visual interest.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: The building utilizes primarily wood siding with metal trim. The same wood siding is used as slats in certain locations.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The proposed trash enclosure looks to use the same materials as the building (either wood or metal). A 3ft board form concrete wall is proposed on the downhill side of the storage room and matches the wood siding well in staff’s review. Landscaping is primarily native and will be planted all around the structure.	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
Finding: Staff finds the walkway splitting the two segments of the building and the offsetting of those segments to assist in providing relief to the bulk and mass of the building and minimized the perceived flatness of the structures.	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The structure is proposed to orient towards the parking area.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: No satellite receivers are proposed for the project. Sheet L1.03 indicates a trash enclosure area to be located near the parking area and to be surrounded by a metal or wood enclosure.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: Architectural sheets indicate that gutters will be installed, and the roofs will be sloped to downspouts. The roof form does not slope towards pedestrian gathering areas.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: All bicycle access will occur along Lopey Lane as currently exists. Pedestrian access will occur either on Lopey Lane as currently exists or through trails once restoration project is approved.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: Sidewalks are not required for the proposed project.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: The existing driveway & parking area is similar to what is proposed by the project. The City Engineer has reviewed the proposed driveway & parking area for the project and finds the	

circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The proposed driveway for the project is located further than 20 feet away from the nearest intersection of Bald Mountain Road and Lopey Ln.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Access for emergency vehicles, snowplows, and garbage trucks is provided along Lopey Ln.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
Finding: Sheet L1.02 shows the proposed snow storage areas to include a total of 7,692 square feet, greater than the required 30% (23,810 * .30 = 7,143 square feet).	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: The location of the snow storage area is indicated on Sheet L1.02 of the project plans.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: The snow storage areas for the proposed project do not have dimensions less than five feet as seen on Sheet L1.02.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: The project does not propose snowmelt or hauling of snow.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheet L2.00.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The landscape plan for the project proposes primarily species which are native to the area. These species are readily adaptable to the microclimate as many are present naturally within the Warm Springs Preserve.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan for the project proposes drought-tolerant and native species, including douglas fir, aspens, native shrubs, and drought tolerant grasses.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The project proposes many trees & shrubs to screen the proposed structure.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
Finding: Sidewalks were not required for this project.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological</i>	N/A

<i>areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	
Finding: N/A. No encroachments of below grade structures are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed, and the structure is not located within the riparian setback.	



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF APRIL 23, 2024

PROJECT: Warm Springs Townhomes

FILE NUMBER: P23-103

APPLICATION: Pre-Application Design Review

PROPERTY OWNER: 108-110 Ritchie LLC (Presidio Vista Properties – Erik DeBrujin)

ARCHITECT: Will Hentschel – 359 Design, LLC

LOCATION: 108 Ritchie Dr
(Warm Springs Village Subdivision 2nd Revision Lot 3A Blk 4)

ZONING: Tourist 3000 - (T-3000)

OVERLAY: None

REVIEWER: Morgan Landers, AICP – Director of Planning and Building

NOTICE: As a courtesy, a public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on April 3, 2024. The notice was published in the Idaho Mountain Express on April 3, 2024. A notice was posted on the project site on April 16, 2024 and the city’s website on April 8, 2024.

EXECUTIVE SUMMARY

The applicant has submitted a Pre-Application Design Review for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the “subject property”). The subject property is zoned Tourist 3000 (T-3000) and is vacant (See Figure 1). The development proposes to utilize the city’s density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. 11 of the townhouse units range in size from approximately 2,300 SF to 2,900 SF with the twelfth unit being approximately 1,600 SF. See page 11 of Attachment 1 for the full list of units and sizes. The units within the development would be accessed by

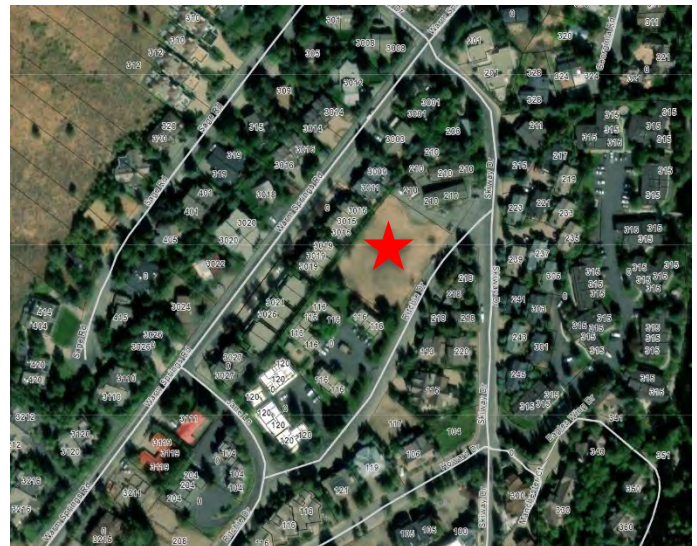


Figure 1: Subject Property

a private road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment 1.

The project is subject to Pre-Application Design Review pursuant to Ketchum Municipal Code §17.96.010.D.1 as the property is greater than 11,000 SF. Pre-Application Design Review is an opportunity for the Planning and Zoning Commission to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant. In the staff report below, staff has outlined some elements of the design for discussion by the Commission. As this is a pre-application meeting, there is no formal staff recommendation and no motion or action for the Commission to take. Public comment has been received and is included in Attachment C.

BACKGROUND

The subject property was previously two vacant lots. Prior to the adoption of Interim Ordinance 1234, an application was filed with the city to consolidate the lots (P22-027). The consolidation of the lots was approved on July 18, 2022 by the Ketchum City Council.

The Planning and Building Department received the Pre-Application Design Review application on November 17, 2023. The application was reviewed by all city department and comments were provided to the applicant for review. Although revisions in response to staff comments are not required for the pre-application process, the applicant chose to respond to staff's comments and conducted a redesign of the project based on staff's feedback. Staff provided comments to the applicant on the redesign and have included many of those comments in the analysis section below.

Analysis

Per KMC 17.96.050.A Criteria. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & 2

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes two multi-family buildings (Buildings 1 and 3) and two duplex units (Buildings 2 and 4). Staff believes the proposed development meets the intent of the future land use designation as proposed.

Chapter 4 of the comprehensive plan, Community Design and Neighborhoods, states that "Infill and development projects should be contextually appropriate to the neighborhood and development in which they will occur" (Policy CD-1.3). The plan also states that "Each new project should be well-designed and attractive and should complement surrounding land uses and existing neighborhood character" (Policy CD-1.4). The surrounding Warm Springs neighborhood is characterized by a variety

of two- and three-story multi-family and duplex developments. Figure 2 shows the subject property highlighted in yellow and surrounding properties. The surrounding properties have an outline of the buildings as well as how many units are in each building. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.



Figure 2: Surrounding Neighborhood Development

Staff believes that the type of development proposed is appropriate for the neighborhood, however, does believe that the design of the development should be further considered. The development features pitched roofs, which are consistent with the surrounding neighborhood. However, the architectural style of the buildings, the location of outdoor patio space, and the proposed materials are not as compatible with the surrounding neighborhood. Please see the design review analysis below for further discussion on this topic.

Criteria 3: Zoning and Design Review Standards

Zoning and Dimensional Standards

Staff reviewed the application for applicable zoning and dimensional standards including setbacks, building height, open site area, floor area ratio, and parking. Dark skies compliance is not reviewed at the pre-application stage, however, will be reviewed at Final Design Review. A full review of zoning and dimensional standards can be found in Attachment 2. As proposed, the development meets the requirements with no code compliance issues identified based on the information provided. All requirements will be checked again at the Final Design Review stage to ensure the project remains in compliance. Two comments were provided to the applicant to be addressed at the Final Design Review stage:

- Snowmelt Shed – the initial plan set did not include a standalone mechanical shed for the snowmelt system. The design of this shed will need to be included in the Final Design Review submittal and the footprint of the shed will have to be deducted from the Open Site Area calculation.
- Parking – Page 11 provides an overview of each unit, gross and net SF, and parking provided. The table incorrectly notates the parking allocated to Units 3C and 3D by transposing the unit and parking number. Unit 3D has one parking space and Unit 3C has two. Additionally, the total parking spaces provided is incorrect at 21. The total number of spaces is 23. The floorplans are correct and meet parking requirements, but the Final Design Review application should be corrected.

As noted above, the applicant is utilizing the FAR density bonus program. The base FAR permitted in the T-3000 zone district is 0.5, but can be increased to 1.6 with community housing mitigation. The proposed development has an FAR of 1.36 as shown on Page 14 of the application materials. The applicant has elected to pay a fee in-lieu of community housing for their mitigation and will be required to pay approximately \$2.3 million in housing in-lieu fees. The detailed calculation of the fee can be found in Attachment 2.

Finally, the Ketchum Municipal Code requires that sidewalks along Ritchie Dr. be a minimum of 7 feet in width (KMC 12.04.030.6-7). The initial application showed a 5-foot width sidewalk, which was corrected with the resubmitted drawings. The Applicant has requested the City Engineer consider allowing a 5-foot sidewalk as that would provide for additional landscape buffer, albeit in the public right-of-way. The sidewalk width is not at the discretion of the Planning and Zoning Commission; however, staff will provide any comments the Commission has to the City Engineer for consideration. Planning staff is not supportive of a reduction of sidewalk width in this location. The city consistently receives feedback from the Warm Springs community that pedestrian infrastructure is not adequate. A 5-foot sidewalk is only a comfortable width for two people to pass going opposite directions or two people to walk side-by-side. Any additional people with a desire to pass are required to use the road rather than a protected sidewalk which creates an unsafe environment.

Design Review Criteria

Bulk/Mass/Flatness (KMC 17.96.060.E.1 and F.3 and 5) – As noted above, the applicant conducted a redesign of the project following a first round of comments from staff. The redesign included changes to the roof forms, glazing, and materials. Although staff is very appreciative of the effort, the current design still has elements that should be considered further.

- Third floor overhang of patios – Buildings 1 and 2 both provide second floor outdoor decks that have the full third floor cantilevered over. The Warm Springs neighborhood has many properties with second and third level outdoor spaces provided with cantilevered decks. Most are uncovered and some are covered with modest roof overhangs. Full floor overhangs are uncharacteristic for the neighborhood and staff believes the proposed design accentuates the building's size at the third level, particularly at the corners.
- Glazing – The amount of glazing at the corner units could use continued refinement to be more characteristic of the surrounding neighborhood. During the first round of comments, staff encouraged the applicant to reduce the amount of glazing as the amount of glazing and lack of separation between windows was uncharacteristic of the surrounding neighborhood and increase the developments appearance of flatness. The applicant made changes to being more habitable space to the front of the façade, however, staff believes the corner units still appear somewhat flat with the amount of glazing.
- Materials and Color Palette - The light color palette of the buildings coupled with the vertical siding, wood slat treatments, and glazing makes the top two floors seem much larger in size than the lowest level which results in the bulk of the buildings being toward the top of the structures and a lack of grounding in the building design. Additionally, the overall color palette and vertical orientation of the materials lacks contrast and artificially elongates the height of the buildings. More prominent horizontal elements through materials or architectural features would assist in reducing the perceived mass of the building. Staff believes this is a challenge on all facades of the building, including the rear facades that face adjacent properties (page 25 of Attachment 1).

Landscaping (KMC 17.96.060.I.4) – Staff have concerns related to the use of small tree species vs. species that will grow in a more robust manner and would recommend finding opportunities to include larger species at appropriate places (such as party wall locations). Staff understands the desire of the applicant to preserve iconic views of Warm Springs ski runs, however, a better balance is recommended. Additionally, staff have concerns related to the reduction in tree species along the other property boundaries. The initial landscape plan included a variety of tree species along the side and rear property boundaries, which provided a substantial buffer between this development and

surrounding properties. The revised landscape plan eliminates most of the trees to be replaced by shrubs, which does not achieve the same buffering effect.

Staff Recommendation

As this is a pre-application meeting, there is no recommendation from staff and no action by the Planning and Zoning Commission. Staff requests the Commission provide feedback to the items mentioned above and any other items the Commission deems relevant.

Attachments:

- A. Application and Project Plans
- B. Zoning and Dimensional Standards Analysis
- C. Public Comment



City of Ketchum

ATTACHMENT A:

Application and Project Plans



**City of Ketchum
Planning & Building**

Pre-Application Design Review

OFFICIAL USE ONLY	
File Number:	P23-103
Date Received:	11/17/23
By:	HLN
Pre-Application Fee	\$3300
Design Review Fee Paid:	
By:	

Submit completed application and documentation to planningandzoning@ketchumidaho.org. If you have questions, please contact the Planning and Building Department at (208) 726-7801. Design Review criteria, zoning regulations, and development standards are specified in Title 17 of Ketchum Municipal Code, which may be viewed by clicking the link [here](#). You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: Warm Springs Townhomes		Phone: (720-)339-6798	
Owner: Presidio Vista Properties		Mailing Address:	
Email: erik@presidiovistaproperties.com		PO Box 14001-174, Ketchum, ID 83340	
Architect/Representative: 359 Design, LLC		Phone: (303) 884-9131	
Email: whentschel@359design.co		Mailing Address:	
Architect License Number: 2465		3459 Ringsby Court, Denver CO 80211	
Engineer of Record: Benchmark Associates		Phone: (208) 726-9512	
Email: phoebe@galena-benchmark.com		Mailing Address:	
Engineer License Number:		100 Bell Dr, Ketchum, ID 83340	
Primary Contact Name and Phone Number: Erik de Bruijn, +1 720-339-6798			
PROJECT INFORMATION			
Legal Land Description: Lot 3&4 Blk 4 Warm Springs Subdivision		Street Address: 108-110 Ritchie Drive	
Lot Area (Square Feet): 35,799	Zoning District: T-3000	RPK #:	
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Residential	Number of Residential Units: 14		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	Sq. Ft.	15,987	Sq. Ft.
1 st Floor	Sq. Ft.	14,725	Sq. Ft.
2 nd Floor	Sq. Ft.	14,568	Sq. Ft.
3 rd Floor	Sq. Ft.		Sq. Ft.
Mezzanine	Sq. Ft.		Sq. Ft.
Total	Sq. Ft.	45,280	Sq. Ft.
FLOOR AREA RATIO			
Community Core:	Tourist:	General Residential-High: 1.26	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 35%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 15'	Side: 10'-11'8"	Side: 10'-11'8"	Rear: 10'-11'8"
Building Height: 33' 11" - 34' 4"			
OFF STREET PARKING			
Parking Spaces Provided: 22	Curb Cut: 52' 5" LF	Sq. Ft.	% 23.9%

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

11-13-2023

Signature of Owner/Representative

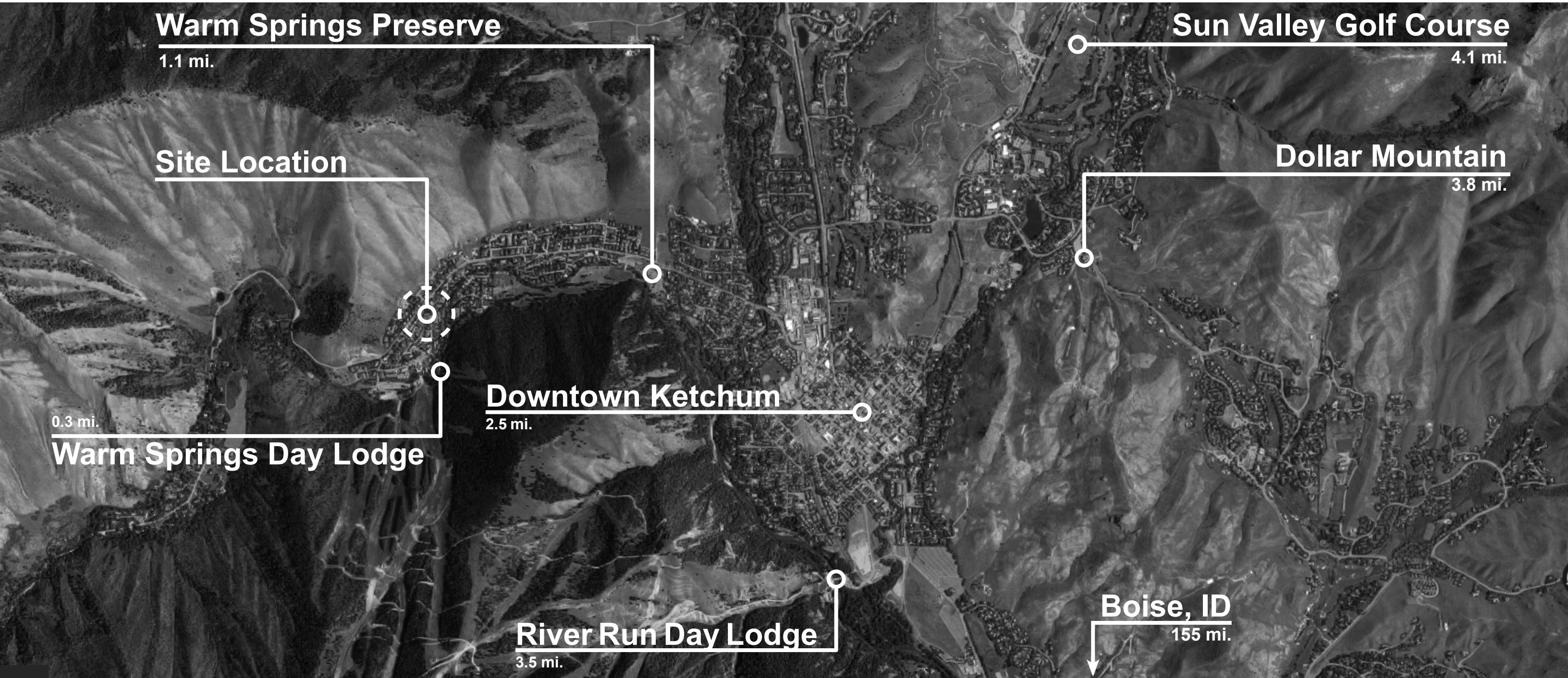
Date



WARM SPRINGS TOWNHOMES

PROJECT INFORMATION

01.0 \ PROJECT INFORMATION: Location



01.0 \ PROJECT INFORMATION: Vicinity Map



01.0 \ PROJECT INFORMATION: Site Plan



PROJECT NARRATIVE

02.0 \ PROJECT NARRATIVE: Overview

Project Name:	Warm Springs Townhomes
Project Address:	108 Ritchie Drive, Ketchum ID 83340
Lot Area:	35,799 sqft
Zoning District:	T-3000
Type of Construction:	New
Number of Residential Units:	12
Anticipated Use:	Residential
Owner:	108-110 Richie LLC
Owners Contact:	Erik de Bruijn, 720-339-6798, erik@presidiovistaproperties.com PO Box 14001-174, Ketchum ID 83340
Architect:	359 Design, LLC
Architects Contact:	Will Hentschel, whentshel@359design.co 3459 Ringsby Court, Denver CO, 80211
Engineer:	Benchmark Associates
Engineers Contact:	Phoebe Johannessen, Phoebe@galena-benchmark.com 100, Bell Dr, Ketchum, ID 83340
Project Approach and Concept:	
<p><i>Thank you for this opportunity to present the pre-application concept drawings for Warm Springs Townhomes. Warm Springs Townhomes is a new development concept for 108 Ritchie Drive, Ketchum, consisting of 12 new townhomes. These townhomes will be three level, 3-4-bedroom residences that comply with Ketchum's T-3000 Zoning District, all applicable design review requirements, and building code requirements.</i></p> <p><i>The purpose of this development project is to deliver high-quality residences that are contextual to the surrounding neighborhood. The Warm Springs townhome community will bring multifamily-living appropriate to the varied Warm Springs permanent and seasonal demographic. Given the proximity of the site to the Warm Springs ski base area, we can expect an array of owners and users as such, the project will be suitable to many different tastes and experiences. The design of each unit and development promotes an uplifting design for the neighborhood. The facade embraces natural materials, while promoting a fresh design perspective that bridges original palettes with new architectural design.</i></p> <p><i>The exterior design thoughtfully addresses all aspects of the neighborhood and its guests through materiality, structure and site association. The proposed exterior materials are meant to embrace the context of the valley while bridging the established exterior palettes of the neighborhood. The intent of the exterior is to be quiet, simple, and naturally evolving, like the natural landscape of the Warm Springs area. The exterior materials will evolve slowly and show "weathering" over time. Unlike unprotected materials, they will be stable during this weathering and the patina will be embraced and celebrated. The building's exterior designs use glazing to identify and activate public areas. Utilizing wood slats layered in with the glazing establish layers of privacy for residents, while softening the exterior facade for neighbors.</i></p> <p><i>While the proximity and location of the site has been studied thoroughly; each unit's floor plan creates undulation and addresses optimal placement and views on the site. The setbacks for decks in the axiomatic views and the differing exterior materials address circulation vs public spaces throughout. Given the proximity of the adjacent structures within the neighborhood, Warm Springs Townhomes do their best not to "tun their backs to their neighbors", but instead address, or intentionally be quiet and non-distracting from the beautiful views from the adjacent properties.</i></p> <p><i>On the technical side of designing this development - This project complies with the recently revised T-3000 zoning density requirements, which sets the quantity of units at 12. The site's depth and minimal gain in height from front to back, provides a challenge. The two rowed approach allows different building types from front to back. On the front, units will be oriented to address the street, and in the back, units will be oriented to capture the views.</i></p> <p><i>We look forward to showing you the project in more detail in the subsequent pages of this application.</i></p>	

Design Review Evaluation Standards 17.96.060: Improvements and Standards	Project Narrative Responses
<p>A. Streets:</p> <ol style="list-style-type: none"> The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. All street designs shall be approved by the City Engineer. 	<p>A1. <i>Project will comply.</i></p> <p>A2. <i>Project will comply.</i></p>
<p>B. Sidewalks:</p> <ol style="list-style-type: none"> All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department. Sidewalk width shall conform to the city's right of way standards; however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. Sidewalks may be waived if one of the following criteria is met: <ol style="list-style-type: none"> The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy. 	<p>B1. <i>Project will comply.</i></p> <p>B2. <i>Project will comply.</i></p> <p>B3. <i>Project does not ask for sidewalk requirement to be waived.</i></p> <p>B4. <i>Project complies, sidewalk is provided.</i></p> <p>B5. <i>Project complies, sidewalk is provided.</i></p> <p>B6. <i>Project complies, sidewalk is provided.</i></p>
<p>C. Drainage:</p> <ol style="list-style-type: none"> All storm water shall be retained on site. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. Drainage facilities shall be constructed per city standards. 	<p>C1. <i>Project will comply.</i></p> <p>C2. <i>Project will comply.</i></p> <p>C3. <i>Project will comply.</i></p> <p>C4. <i>Project will comply.</i></p>
<p>D. Utilities:</p> <ol style="list-style-type: none"> All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. Utilities shall be located underground and above grade utility, power and communication equipment within the development site shall be concealed from public view. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer. 	<p>D1. <i>Project will comply.</i></p> <p>D2. <i>Project will comply.</i></p> <p>D3. <i>Project will comply.</i></p>
<p>E. Compatibility of Design:</p> <ol style="list-style-type: none"> The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. 	<p>E1. <i>Project will comply.</i></p> <p>E2. <i>Not applicable</i></p> <p>E3. <i>Not applicable</i></p>

02.0 \ PROJECT NARRATIVE: Overview

Design Review Evaluation Standards
17.96.060: Improvements and Standards

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
 - F1. *The project and all units will have immediate sidewalk access. Buildings 1&2 will have individual connectors. Buildings 3&4 will have walk-up sidewalks via internal private street.*
2. The building character shall be clearly defined by use of architectural features.
 - F2. *The units within the townhome development have an easily identifiable front door. The social spaces are clearly identified and deliberate. Given the clear forms of each unit, this allows simplicity and continuation in materiality from unit to unit.*
3. There shall be continuity of materials, colors and signing within the project.
 - F3. *The materials are clearly continual from unit to unit. Spaces identified by material and entries and individual units via architectural form. The varied unit types give the project texture from building to building.*
4. Accessory structures, fences, walls, and landscape features within the project shall match or complement the principal building.
 - F4. *Any walls will be made of natural stone or concrete, connected to nature and grounded.*
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
 - F5. *The front facades of the buildings undulate from level to level and in many instances within each level. The setbacks in façade are for spaces of the deck while often a roof or additional floor is over the setback exterior space. This is deliberate and identifiable. It gives the project incredible texture from building to building.*
6. Building(s) shall orient towards their primary street frontage.
 - F6. *All buildings address the public way. Building 1 is a pedestrian walk-up building with vehicular access via a center drive lane. The deck and social space of the unit is on the second level, viably addressable from Ritchie drive and the sidewalk. A ground level patio allows for screened social interaction. Building 2 follows suit with building 1 but is further interactive with the street via drivelines and garage access. This is the only building of the four that has garage access form the street. The units on the building address the corner condition with social spaces and entry. Building 3 flips the script by having the decks on the upper level, though separate from the adjacent development to the north. The stagger in buildings and the rise or downward crescendo from north to south allow for each building to have a filtered view on the mid-levels and direct view on the upper levels. Building 4 addresses the integral pedestrian that comes from Ritchie and addresses the adjacent parcel and filtered views it allows.*
7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
 - F7. *The project will utilize individual trash pickup and cans for each unit. They will be stored within the garage except on trash pickup days. The project will use one trash service.*
8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
 - F8. *Snow control is of utmost importance. The project will be heavily studied, and snow/water dangers mitigated with the assistance of third-party experts.*

Design Review Evaluation Standards
17.96.060: Improvements and Standards

G. Circulation Design:

1. Pedestrian, equestrian, and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian, and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on-site.
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

I. Landscaping:

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All plant species shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.

Project Narrative Responses

- G1. *Project will comply.*
- G2. *Project will comply.*
- G3. *Project will comply.*
- G4. *Projects private street & driveway design is more than 20' from nearest intersection.*
- G5. *Project will comply.*
- H1. *Project will comply.*
- H2. *Project will comply.*
- H3. *Project will comply.*
- H4. *Project design includes snow melt.*
- I1. *Project will comply.*
- I2. *Project will comply.*
- I3. *Project will comply.*
- I4. *Project will comply.*
- J1. *Project will comply.*

02.0 \ PROJECT NARRATIVE: Location



**108 & 110
RITCHIE DR.**

02.0 \ PROJECT NARRATIVE: Zoning

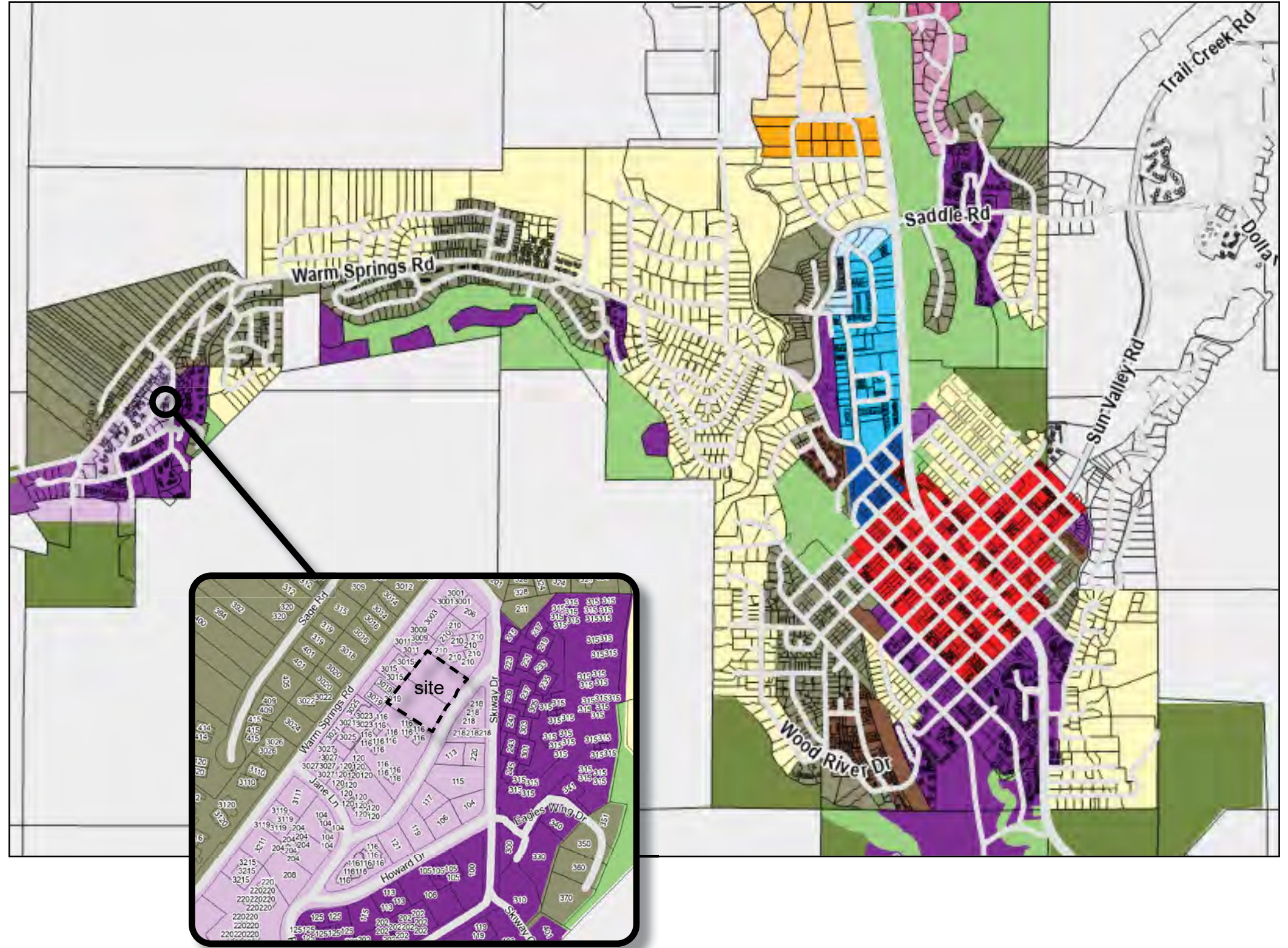
ZONING:

T-3000 Zoning District

2 Parking Spots required per unit if > 2,001 SF

FAR of 1.6 MAX, w/ inclusionary housing incentive

Zoning requirements are designed to complement and enhance neighborhood, & encourage articulation & quality design



02.0 \ PROJECT NARRATIVE: Off-Street Parking & Sidewalks

Code Requirement: Parking requirements.

Code Excerpt:

17.125.040 – Off street parking and loading calculations.

“A. Computational rules. The following rules apply when computing off street parking and loading requirements.

3. Area Measurements.

a. Residential. Unless otherwise specifically noted, residential parking requirements for all square footage-based parking and loading standards shall be computed on the interior square footage of each residential unit, as measured between the interior walls of the unit.

B. Off-street parking matrix.

2. Residential multiple-family dwelling within the Community Core (CC) District and the Tourist (T), Tourist 3000 (T-3000), and Tourist 4000 (T-4000):

- b. Units 751 square feet to 2,000 square feet 1 parking space
- c. Units 2,001 square feet and above 2 parking spaces”

Design Compliance:

In the proposed development, units with a net area of 2,000 square feet or less are provided a private single-car garage, and units with a net area over 2,000 square feet are provided a private two-car garage.



Code Requirement: Sidewalks

Code Excerpt:

12.04.030 Design Criteria. M. Sidewalk, Curb and Gutter.

“6. Sidewalks shall be five feet wide, except specifically as follows, in order to accommodate heavy pedestrian circulation: Sun Valley Road and Main Street within the community core zoning district (CC), as defined in title 17 of this Code, shall be eight feet in width; and Skiway Drive, Lloyd Drive, Gates Road, Jane Lane, Ritchie Drive and Howard Drive shall be seven feet in width, unless otherwise required or approved by the City Council.”

Design Compliance:

The proposed development includes a 7’ wide sidewalk along the lot line that is adjacent to Ritchie Drive within the R.O.W. of Ritchie Drive.

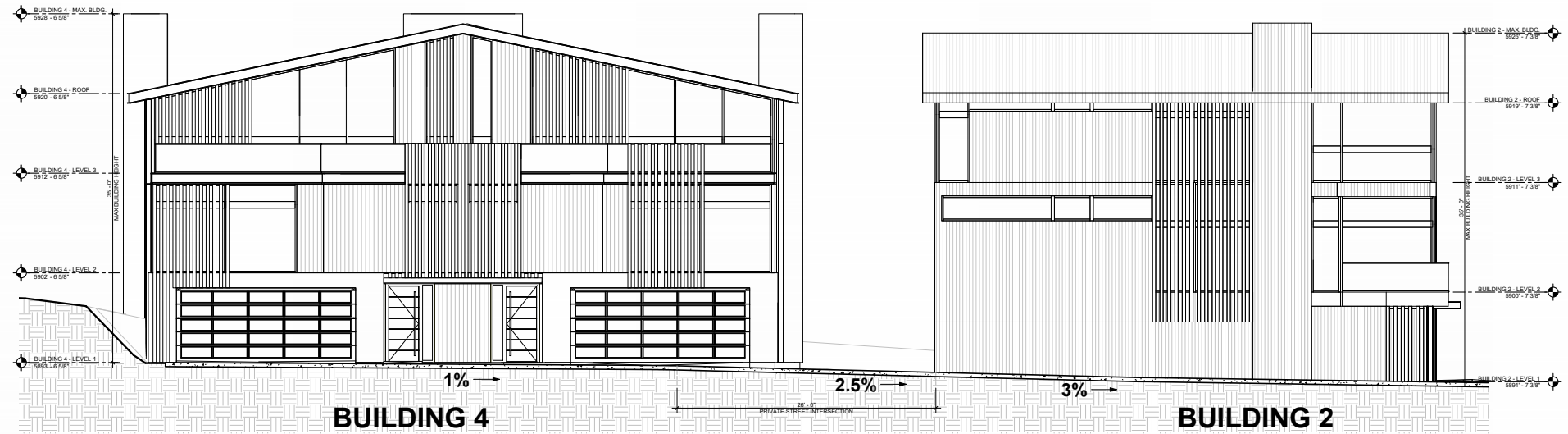
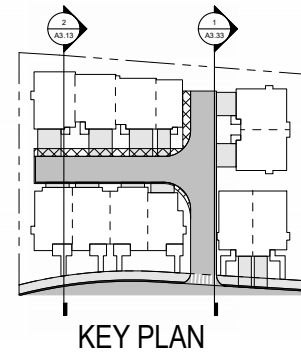
Project Matrix					
	Quantity	Building HT.	Gross SQFT.	Net SQFT.	Parking Spaces
1A	1	35'	3,699	2,865	2
1B	1	35'	3,662	2,796	2
1B-alt	1	35'	3,684	2,820	2
1C	1	35'	2,981	2,234	2
2A	1	35'	3,638	2,856	2
2B	1	35'	3,588	2,808	2
3A	1	35'	3,624	2,827	2
3B	1	35'	3,361	2,575	2
3C	1	35'	3,128	2,351	1
3D	1	35'	2,030	1,562	2
4A	1	35'	3,166	2,376	2
4B	1	35'	3,163	2,376	2
TOTAL:	12		39,725	30,446	21

02.0 \ PROJECT NARRATIVE: Maximum Building Height

Code Requirement: Maximum Building Height

Code Excerpt:
 "For buildings with a roof pitch greater than 5:12 the maximum height to the mean point of the ridge or ridges measured from eaves line to the ridge top shall be 35 feet. Roof ridges above the mean point may extend up to a height of 44 feet."

Design Compliance:
 The proposed development meets the maximum building height for the T-3000 district; all buildings are under the maximum building height of 35'-0".



SITE SECTION 1



SITE SECTION 2

02.0 \ PROJECT NARRATIVE: Lot Setbacks

Code Requirement: Lot Setbacks

Code Excerpt:

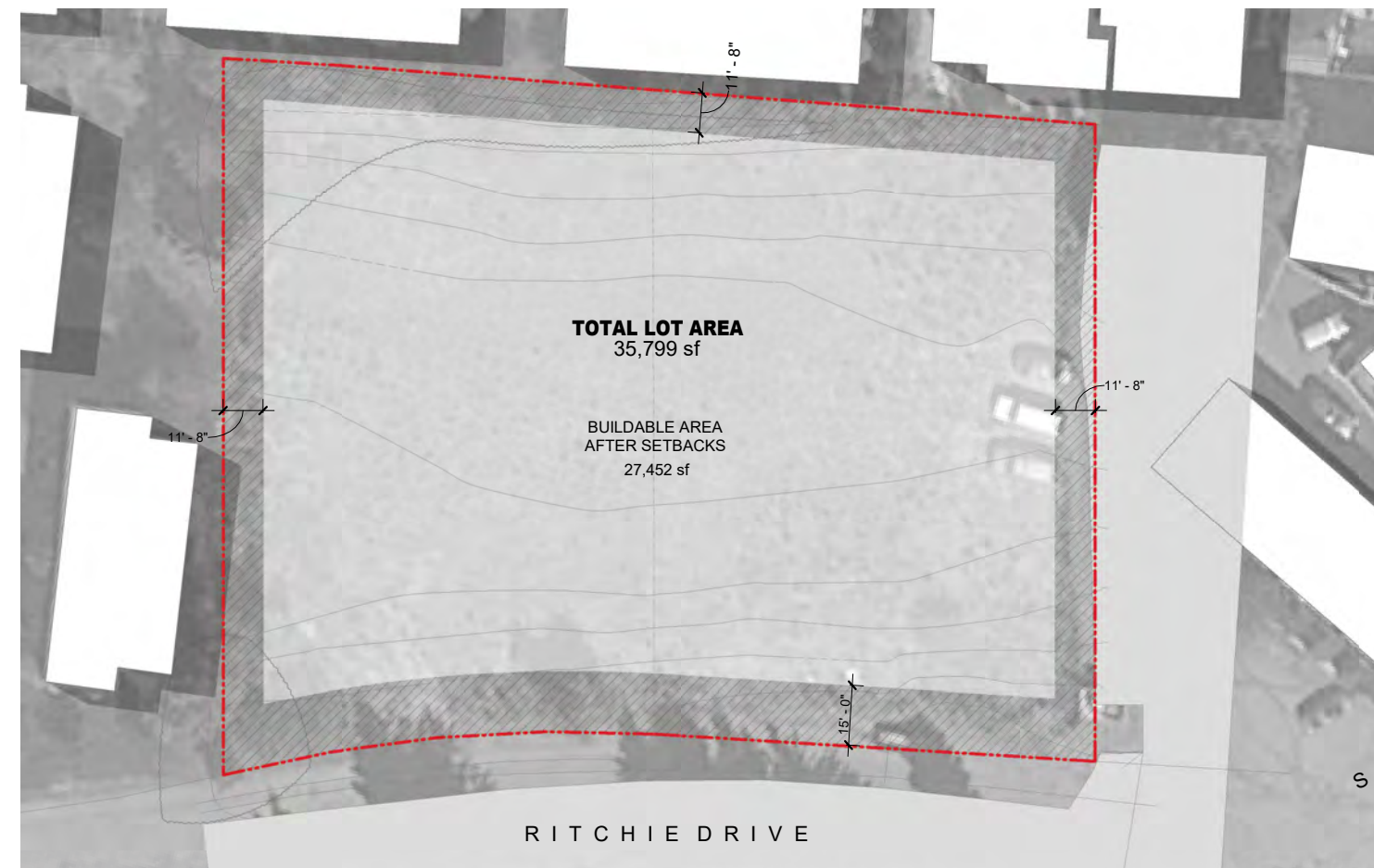
Front Setback- 15'

Side Setback - The greater of 1' for every 3' of building height, or 5'

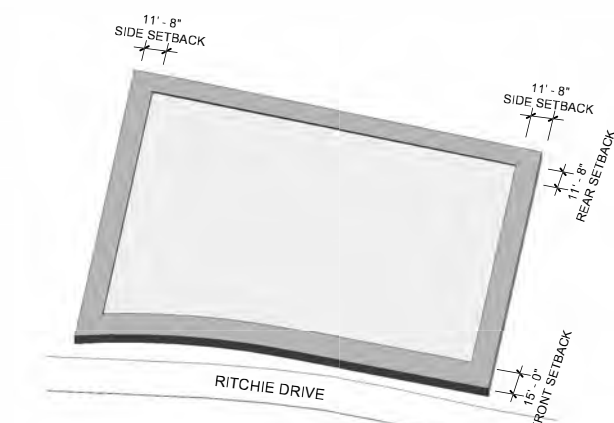
Rear Setback- The greater of 1' for every 3' of building height, or 10'

Design Compliance:

The proposed development has a 15' front setback along Ritchie Drive, and an 11'-8" side and rear setback for maximum 35' building heights.



1 PROPERTY AREA 2



2 SETBACKS - 35' BUILDING HEIGHT
*MAX BUILDING HEIGHT WITH LESS THAN 5/12 ROOF PITCH

02.0 \ PROJECT NARRATIVE: FAR

Code Requirement: FAR

Code Excerpt:

17.124.040 – Floor Area Ratios and Community Housing

A. General Requirements. All new buildings and alterations to existing buildings in the GR-H, T, T-3000, T-4000, and CC zoning districts, unless otherwise specified in this title, shall be subject to the maximum floor area ratio (FAR) described below.

T-3000 (Tourist Zone)

Permitted Gross FAR 0.5

Inclusionary Housing Incentive 1.6

17.08.020 - Terms defined.

Floor Area Ratio or FAR: The product of the floor area divided by the lot area (example 2,750 sqft. floor area/5,500 sqft lot area = 0.5 FAR).

EX: (Gross) floor area / Lot area = FAR

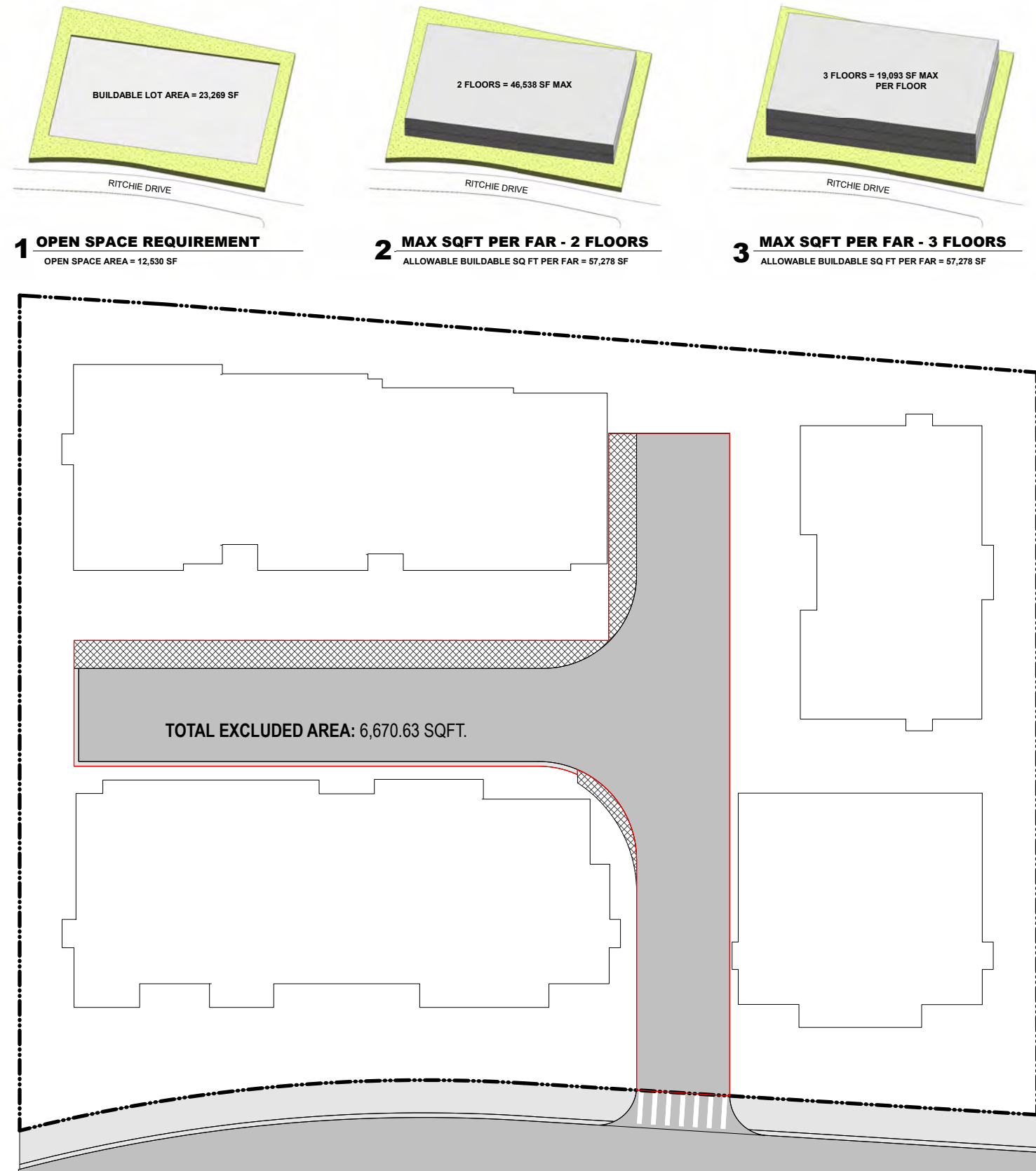
Lot area: The area within the boundaries of a lot, exclusive of of any of the area contained within a public or private street, alley, fire lane or private driveway easement.

Design Compliance:

The proposed development has a lot area of 35,799 sqft., an exclusionary area of 6,670 sqft, and a total gross building area of 39,725 sqft.

This results in a FAR of 1.36 which falls under the maximum for the T-3000 zone, Inclusionary Housing Incentive.

Total Property Area:	35,799 SQFT.
Total Excluded:	6,671 SQFT.
Revised Lot Area:	29,128 SQFT.
Gross Floor Area:	39,725 SQFT.
FAR:	1.36



02.0 \ PROJECT NARRATIVE: Unit Density

Code Requirement: Density

Code Excerpt:

17.124.180 - Minimum Residential Densities and Commercial Requirements
 A. General Requirements. New development projects or expansions of existing buildings that exceed a total floor area ratio (FAR) of...0.5 FAR in the T, T-3000, T-4000, and GR-H zoning districts must provide a minimum number of residential units as follows:

T-3000 4 Units/10,000 sqft. of lot area

Design Compliance:

With a lot area of 39,128 sqft the site is required to have 12 units to comply. The proposed development is comprised of 12 units.

Unit Requirement Calc:

Total Property Area: 35,799 SQFT.
 Total Excluded: 6,671 SQFT.

Revised Lot Area: 29,128 SQFT.

29,128 / 10,000 = 2.9128
 2.9128 x 4 Units = **12 Units (11.65)**

excerpt from ordinance 1249:

Zone District	Minimum Residential Density Required			
CC Subdistricts 1 and 2	100% Residential Development 5 units per Ketchum Townsite lot as originally platted			
	Mixed Use Development			
	≤ 30% Commercial 4 units per Ketchum Townsite lot as originally platted	31-60% Commercial 3 units per Ketchum Townsite lot as originally platted	61-80% Commercial 2 units per Ketchum Townsite lot as originally platted	≥ 80% Commercial No Minimum except when residential units are provided, there shall be a minimum of 2 units
T	100% Residential Development 7 / 10,000 SF of lot area			
	≤ 30% Commercial 4 / 10,000 SF of lot area	31-60% Commercial 3 / 10,000 SF of lot area	61-80% Commercial 2 / 10,000 SF of lot area	≥ 80% Commercial No Minimum except when residential units are provided, there shall be a minimum of 2 units
T-3000	4 / 10,000 SF of lot area			
T-4000	6 / 10,000 SF of lot area			
GR-H	6 / 10,000 SF of lot area			

B. Commercial calculation. For purposes of calculating commercial area for minimum residential densities, commercial square footage shall include all permitted and conditionally permitted uses identified in KMC Section 17.12.020 – District Use Matrix under the categories of “Commercial” or “Public and Institutional”.

1. Commercial area shall be calculated by dividing the net floor area of commercial square footage by the total net floor area for the project.

C. Minimum commercial. Mixed-use developments in the CC-1 Zone and for properties located from the alley west of Main Street to N 2nd Avenue between 2nd and 5th Streets within the CC-2 Zone shall have a minimum of 35% of the gross floor area, as defined in KMC 17.08.020, of the ground floor be commercial use(s).

D. Restaurant incentive. The minimum residential density requirements shall be reduced by one dwelling unit for new developments proposing restaurants that include necessary utility infrastructure for commercial kitchens, such as but not limited to commercial hood and grease traps.



02.0 \ PROJECT NARRATIVE: Open Space Requirement





Code Requirement: Open Space

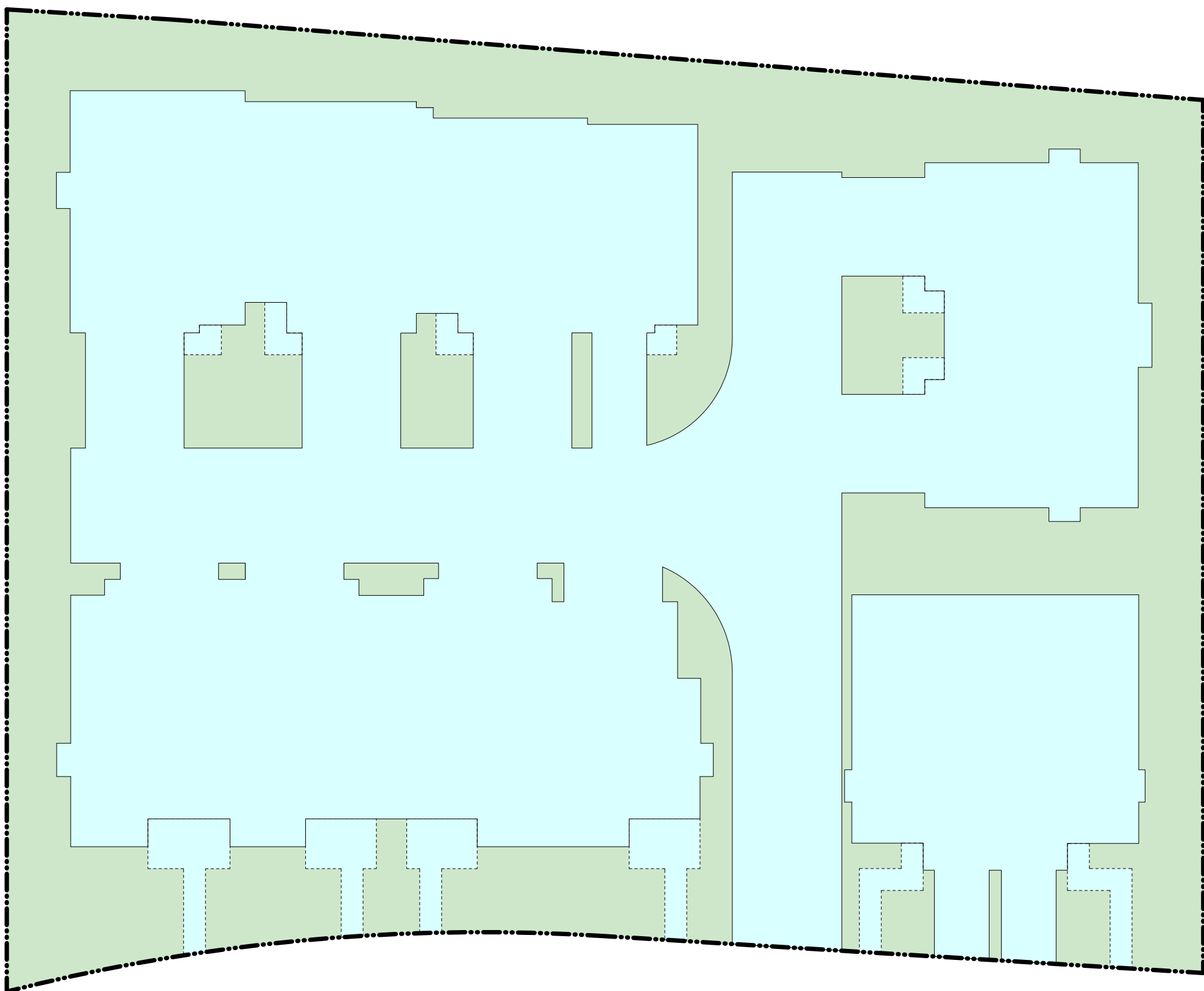
*Code Excerpt:
Minimum Open Space: 35% (A maximum of 5% open site area may be used for private decks or patios and walkways subject to design review).*

Design Compliance:

35,799 sqft = Total lot area
11,850 sqft = Open space
22,785 sqft = Buildings, driveways & private street.
1,165 sqft = Walkways and patios.

636 sq (5% of open space sqft for sidewalks)
+ 11,850 sqft (open space) = 35% adjusted open space

	OPEN SPACE
	NON-OPEN SPACE
	PATIO/DECKS/WALKWAYS
	PROPERTY LINE



02.0 \ PROJECT NARRATIVE: Fire Access

Code Requirement: Fire Access

Code Excerpt:

Appendix D of the 2018 IFC, Section D105 – Aerial Fire Apparatus Access Roads

D105.1 – Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9,144 mm), approved fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to exterior wall, or the top of parapet walls, whichever is greater.

D105.2 – Aerial fire apparatus access roads shall have a minimum unobstructed width of 26' (7,925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

D105.3 – One or more of the required access routes meeting this condition shall be located not less than 15' (4572 mm) and not greater than 30' (9144 mm) from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the Fire Code Official.

Design Compliance:

The proposed development has a 20' wide private road that would provide access to the interior of the site and designate 26' wide portions of the road for aerial fire truck access to buildings 3 and 4. Additionally, buildings 3 & 4 are setback 15' from edge of fire truck access road.



PROJECT EXHIBITS

03.0 \ PROJECT EXHIBITS: Conceptual Landscape Site Plan



Colorado Blue Spruce



Subalpine Fir



Mugo Tannenbaum Pine



Aspen Trees



Warm Springs

EGGERS ASSOCIATES, P.A.
landscape architecture
P.O. Box 859
Ketchum, ID 83740
T: (208) 725-0988
F: (208) 725-0972

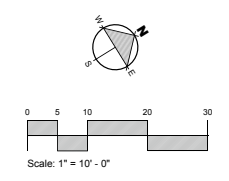
108 & 110 Richie Drive
Lots 3 & 4
Warm Springs Village Subd.
Ketchum, Idaho

Job No: 23.31
Scale: 1/8" = 1'-0"
Issue/Revision Date
Design Review 11/15/23
D.R. Update 01/24/24
D.R. Update 03/14/24

Stamp

Sheet Title:
Landscape
Concept

Sheet No:
L1



CONCEPT PLAN - NOT FOR CONSTRUCTION

03.0 \ PROJECT EXHIBITS: Conceptual Floor Plans



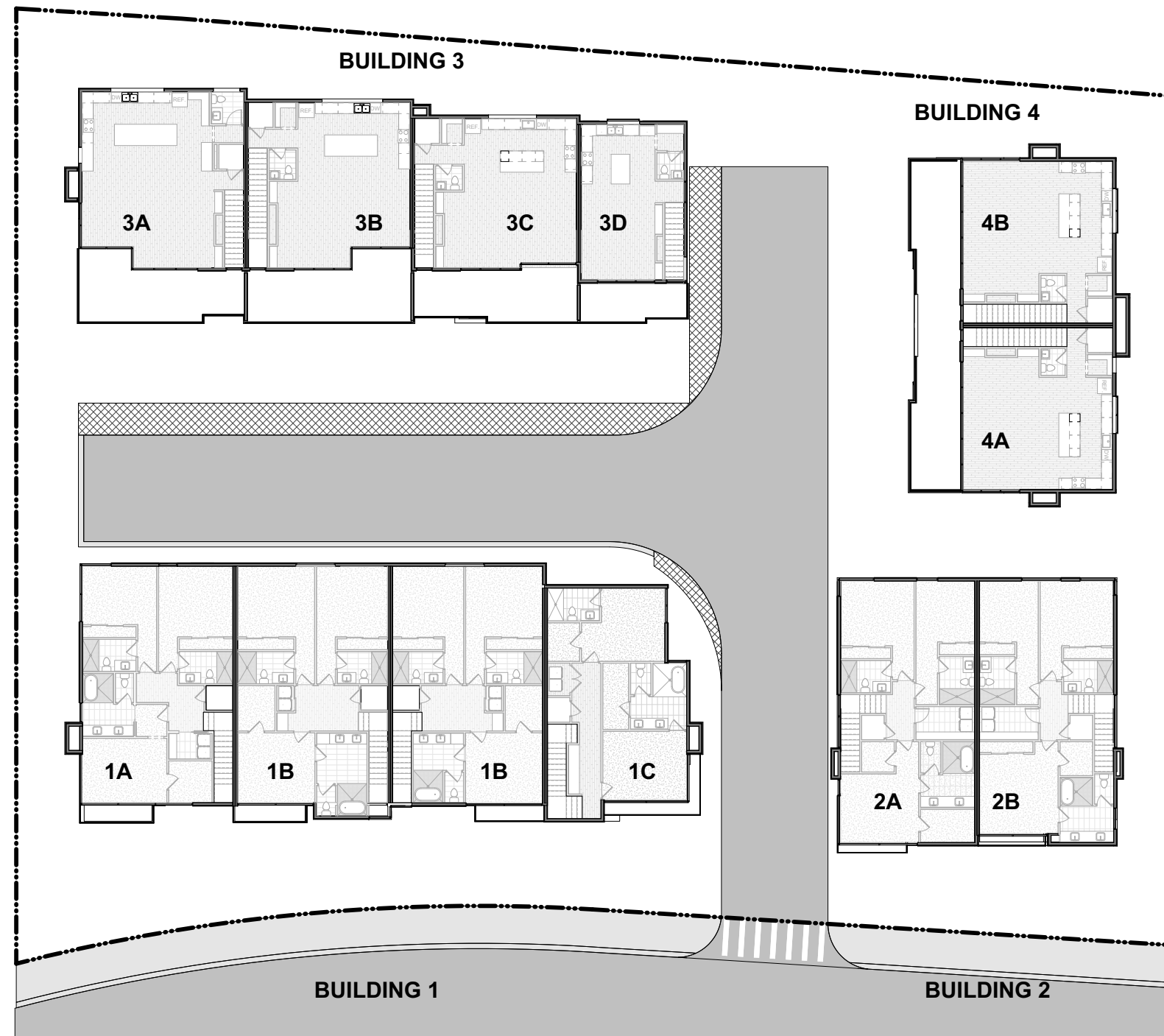
LEVEL 1

03.0 \ PROJECT EXHIBITS: Conceptual Floor Plans



LEVEL 2

03.0 \ PROJECT EXHIBITS: Conceptual Floor Plans



LEVEL 3

03.0 \ PROJECT EXHIBITS: Conceptual Floor Plans

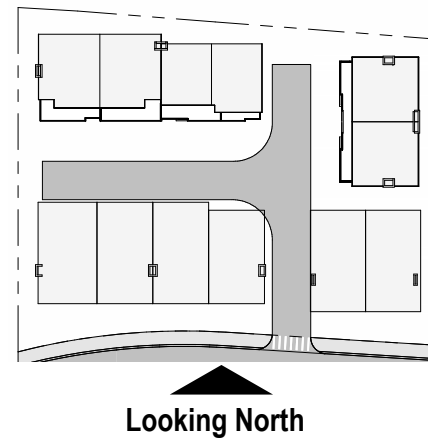


ROOF PLAN

03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials



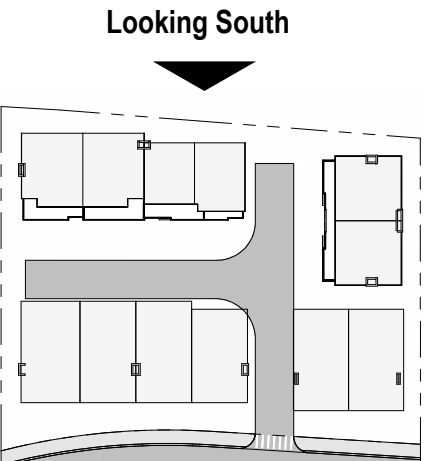
North Elevation



03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials



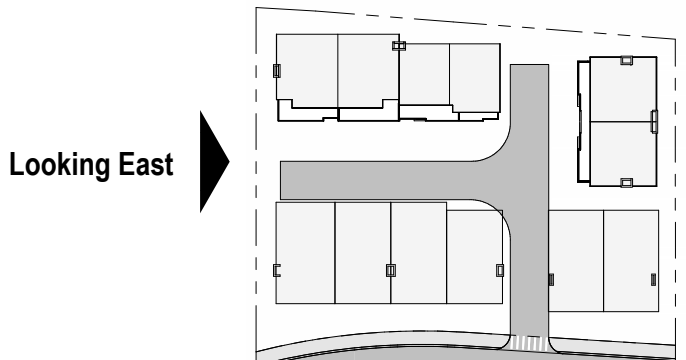
South Elevation



03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials



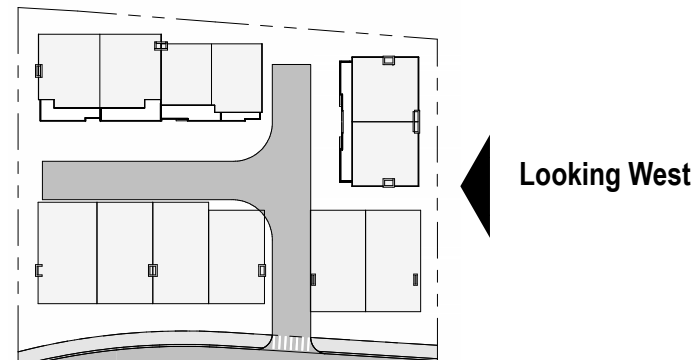
East Elevation



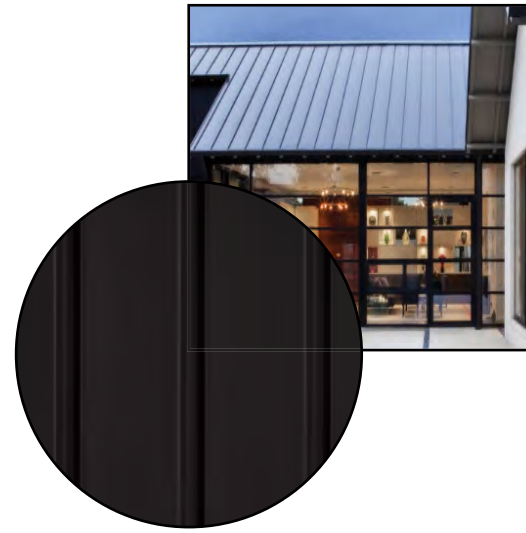
03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials



West Elevation



03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials

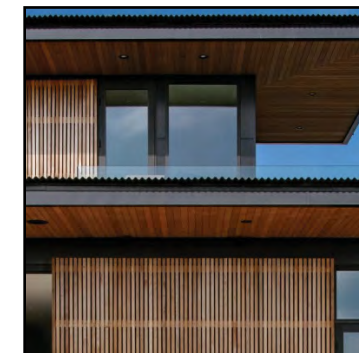


① **ROOF MATERIAL**
Standing Seam Black Roof

WOOD SCREEN DESCRIPTION
The wood screen details play on privacy and transparency. The modern facade includes an abundance of glazing, while the wood screen provides privacy with a natural element in the facade design. The screen is a natural play on the woods of the Wood River Valley.



ROOF DESCRIPTION
Graphite standing seam roof and graphite metal trim details create contrast to the light exterior materials. By creating outlines of contrast on the facade, we are cultivating a minimalistic and modern facade design.



② **WOOD SCREEN**
Clear Stain Oak Wood Slat Screen

CONCEPTUAL ELEVATION

03.0 \ PROJECT EXHIBITS: Conceptual Building Elevations and Materials



WOOD DESCRIPTION
Acoya Wood Cladding in light barnwood is a soft, modern material. The light barnwood is a nod to the rustic, farming origination of the Ketchum Valley. The lighter tones lend to the modernism and clean lines of the facade.



② **WOOD MATERIAL**
Acoya Wood - Light Barnwood



STONE DESCRIPTION
Casa Blanca rough cut stone replicates a limestone appearance. The stone provides a light, roughly cleaved, pronounced face. The limestone inspiration comes from the composition from the Ketchum Mountain range adjacent to our site.

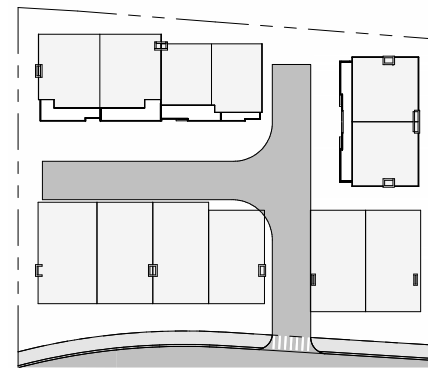
③ **STONE MATERIAL**
Casa Blanca Rough Cut Exterior Stone

CONCEPTUAL ELEVATION

03.0 \ PROJECT EXHIBITS: Conceptual Building Perspectives



Ritchie Drive Perspective



Looking NorthWest

03.0 \ PROJECT EXHIBITS: Conceptual Building Perspectives





City of Ketchum

ATTACHMENT B:

Zoning and Dimensional Standards Analysis

PROJECT NAME: Warm Springs Townhomes
DESIGN REVIEW FILE NUMBER: P23-103
ADDRESS: 108 Ritchie Dr.
ZONE DISTRICT: T-3000

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area and Width
			Staff Comments	<p>Permitted: 8,000 square feet with minimum of 80-foot width</p> <p>Existing: 35,799 SF lot area – 6,671 SF of private road and fire lane area = 29,128 SF</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	FAR or Lot Coverage
			Staff Comments	<p>Permitted FAR: 0.5</p> <p>Permitted FAR with Community Housing: 1.6</p> <p>Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.</p> <p>Proposed: Gross Square Footage – 39,725 SF (Per page 14) Total Lot Area – 29,128 SF FAR – 1.36 FAR</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (0.5 FAR): 14,564 SF Proposed Gross Square Feet: 39,725 SF</p>

				<p>Increase Above Permitted FAR: 25,161 SF 20% of Increase: 5,032 SF Net Livable (15% Reduction): 4,277 SF</p> <p>Fee In-Lieu Proposed: 4,277 SF x \$550/SF = \$2,352,554</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Building Setbacks</p> <p>Staff Comments</p> <p>Permitted: Front (Ritchie/south): 15 feet Side (west): The greater of 1 foot per 3 feet in building height, or 5 feet. Side (east): The greater of 1 foot per 3 feet in building height, or 5 feet. Rear (north): The greater of 1 foot per 3 feet of building height, or 10 feet.</p> <p>Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>Per Page 12 of the plans, all buildings do not exceed 35 feet in height.</p> <p>Proposed: Per Page 13 of the plans Front (Ritchie, south): 15 feet Side (west): 11 feet 8 inches Side (east): 11 feet 8 inches Rear (Alley/east): 11 feet 8 inches</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Staff Comments	<p>Permitted: 35 feet</p> <p>Proposed: 35 feet (see page 12 of the plans)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	Driveway
			Staff Comments	<p>Permitted: Not less than 12 feet and not more than 35% of street frontage or 30 feet (whichever is less) unless otherwise approved by the City Engineer.</p> <p>Proposed: Private roads curb cuts are not subject to driveway width requirements. Building 2 has driveways directly onto Ritchie Dr which are 12 feet in width.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	Parking Spaces
			Staff Comments	<p>Required:</p> <p>1 space for units between 751 and 2,000 SF 2 spaces for units 2,001 SF and greater</p> <p>Proposed: (per Page 11)</p> <p>12 units total 11 units over 2,001 SF = 22 parking spaces required 1 unit between 751 and 2,000 SF = 1 parking space required Total spaces required: 23 Total Spaces provided: 23</p> <p>*Note: There are errors in the Project Matrix chart about the assignment of parking spaces. However, the drawings are correct and meet the requirements.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Open Site Area
			Staff Comments	<p>Required: 35% - A maximum of five percent open site area may be used for private decks or patios and walkways subject to design review approval.</p> <p>Proposed: Per Page 16</p>

				<p>Total Lot area: 35,799 SF</p> <p>Total area of Buildings, driveways, and private street: 22,785 SF</p> <p>35,799 SF – 22,785 SF = 13,041 SF</p> <p>13,041 SF + 636 SF (private patios and walkways) = 13,677 SF</p> <p>13,677 SF/35,799 SF = 38% open space area</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.180	Minimum Residential Density
			Staff Comments	<p>Required: 4 residential units per 10,000 SF of lot area</p> <p>Total Lot Area: 29, 128 SF / 10,000 SF = 2.9</p> <p>2.9 x 4 units = 12 units</p> <p>Proposed: 12 Units</p>



City of Ketchum

ATTACHMENT C:

Public Comment

Monday, April 15, 2024

108-110 Ritche Pre-Application Design Review

The original planning of the Ritchie Street had two lots at this location to encourage development of smaller sized more affordable properties that are complimentary to the homes already in the area. Two years ago, the lots were merged and now the developer is proposing a **giant monolithic development** that does not fit in the existing neighborhood.

1. **The mass and scale of the proposed development is too large for this area.** The zoning of the existing T-3000 community is based upon a FAR of .5, while this development is requesting 1.36, which is 2 ½ times the size of the condominiums in this neighborhood. **Zoning is not just for new builds but also to protect those who already live in a neighborhood.** The 12 townhomes should comply with the zoning of .5 FAR. A smaller scale development would fit better with the existing condominiums in the neighborhood and most likely add to the rental pool in the community. People who buy \$3-5Million dollar townhouses typically do not rent them out.

2.17.100.070 Parking – The development is so dense many of the units do not even have a driveway. **One guest space is required per 4 units.** The development of 12 condominium's **needs at least 3 surface guest parking spaces.** There is no on street parking overnight in the winter months. Where will overnight guests park?

3. The **Snow Melt Shed should be moved between buildings 4 and 2 at the top of the "T" in the driveway.** (The hot water would have less distance to travel to melt snow and be more efficient) The neighbors would less effected by the sounds of pumps and boiler burning gas as well as the pollution exhausted by the process. Moving the shed away from the property line and positioning in more central in the property would be fair to the neighbors.

4. **Open space calculation – does not account for the retaining walled area as non-open space.** There needs to be 12,529 of open space the proposed plan does not appear to be compliant. The plans lack dimensional details to fully verify the open space calculation.

5. **Set back zone has retaining walls being built in a zone that does not allow construction.** The developer claims 11'8" setback then builds out from the units several retaining walls. The set back zone must be free of structures. The retaining walls are over 30" high. The set back should be increased to whatever the depth of the retaining wall encroaches into the setback zone – moving the building 4 feet south to put the edge of the retaining wall at 11' 8" from the property line and the building 15'8 from the property line.

6. **Garbage-** the plan of allowing the potential of 36 garbage bins at the end of one driveway seem very unneighborly. (One wheeled tote + two recycling plastic totes (metal + plastic) = 3 bins X 12 units). The developer should plan for garbage shed with a dumpster.

7. **Discrepancies** noted on the city of Ketchum planning and zoning document concerning parking spaces, (21 vs 22) building height (33' vs 35") and setback. (10' vs 11'8")

8. **Elevation**- if the townhouses were built out at the 5891 elevation (lowest elevation of the sloped lot) the town homes on the top of the sloped lot would have a lower impact on the immediate neighbors. Grading the lot flat would also fix the drainage issue of the driveway snowmelt system flowing towards building 1 garage.

Thank you for your consideration,

Jeff Oak

3015 Warm Springs #C

From: [Planning and Building](#)
To: [Morgan Landers](#)
Subject: FW: Regarding 108 Ritchie
Date: Wednesday, April 10, 2024 11:35:39 AM

PAIGE NIED, MID | CITY OF KETCHUM

ASSOCIATE PLANNER

P.O. Box 2315 | 191 5th St. West | Ketchum, ID 83340

o: 208.806.7013

pnied@ketchumidaho.org | www.ketchumidaho.org

****Please sign up for the NEW Planning and Building quarterly newsletter. Click [HERE](#) and select “Planning and Development”**

From: Participate <participate@ketchumidaho.org>
Sent: Tuesday, April 9, 2024 9:51 AM
To: Planning and Building <planningandbuilding@ketchumidaho.org>
Subject: FW: Regarding 108 Ritchie

For you?

CYNDY KING | CITY OF KETCHUM

Community Engagement Specialist

P.O. Box 2315 | 191 5th Street West | Ketchum, ID 83340

o: 208.726.3841 | f: 208.726.8234

cking@ketchumidaho.org | www.ketchumidaho.org

From: Patrick Gowan <pat.gowan02@gmail.com>
Sent: Monday, April 8, 2024 3:47 PM
To: Participate <participate@ketchumidaho.org>
Subject: Regarding 108 Ritchie

Regarding the off street parking: I might be mistaken but the “Project Matrix” indicates 3C has only one parking spot. Probably meant 3D?

It looks like Building 3 has window well retaining walls. Is there a need for a retaining wall along the property line behind Building 3?

Pat Gowan

(206)730-4644

Sent from my iPad