



AGENDA

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If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/87106715013>
Webinar ID: 871 0671 5013
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM COMMISSIONERS:

CONSENT AGENDA:

Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. ACTION ITEM: Approval of the July 11, 2023 minutes
2. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 219 Hillside Drive Mountain Overlay Design Review application File No P22-046
3. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 219 Hillside Drive Conditional Use Permit application File No P22-046A

4. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 406 Sage Road Mountain Overlay Design Review application File No P23-009
5. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 406 Sage Road Conditional Use Permit application File No P23-009A
6. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 400 East Ave Conditional Use Permit application File No P22-069

PUBLIC HEARING:

7. ACTION ITEM: Recommendation to review and provide feedback on Ordinance 1249 (First review)

NEW BUSINESS:

ADJOURNMENT:



CITY OF KETCHUM
MEETING MINUTES OF THE
PLANNING AND ZONING COMMISSION
Tuesday, July 11, 2023

CALL TO ORDER: (00:00:11 in video)

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30p.m.

ROLL CALL:

Neil Morrow
Susan Passovoy
Brenda Moczygemba
Tim Carter
Spencer Cordovano

ALSO PRESENT:

Morgan Landers—Director of Planning and Building
Paige Nied —Associate Planner
Adam Crutcher—Associate Planner
Heather Nicolai—Planning Technician & Office Administrator

COMMUNICATIONS FROM COMMISSIONERS: (00:00:30 in video)

Brenda Moczygemba – *I was not present for the first public hearing for 219 Hillside, but watched the recording and read all packet materials. Will participate in today’s vote unless rest of the Commission would like me to recuse myself.*

CONSENT AGENDA: (00:01:00 in video)

1. ACTION ITEM: Approval of the June 27, 2023 minutes

Motion to approve June 27, 2023 Minutes (00:01:12 in video)

MOVER: Susan Passovoy

SECONDER: Brenda Moczygemba

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Spencer Cordovano, Brenda Moczygemba

NAYS:

RESULT: ADOPTED UNANIMOUSLY

2. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of

Law, and Decision for the 402 Sage Road Mountain Overlay Design Review application File No. P22-070.

3. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 402 Sage Road Townhouse Preliminary Plat application File No. P22-070A.

4. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 402 Sage Road Conditional Use Permit application File No. P22-070B.

Motion to approve the Findings of Fact, Conclusions of Law, and Decision for the 402 Sage Road Mountain Overlay Design Review application File No. P22-070, Townhouse Preliminary Plat application File No. P22-070A, the Conditional Use Permit application File No. P22-070B.
(00:02:00 in video)

MOVER: Susan Passovoy

SECONDER: Brenda Moczygemba

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Spencer Cordovano, Brenda Moczygemba

NAYS:

RESULT: ADOPED UNANIMOUSLY

PUBLIC HEARING: *(00:02:28 in video)*

5. ACTION ITEM ACTION ITEM: Recommendation to review and approve the Sun Valley Museum of Art Special Event Conditional Use Permit, as conditioned, and adopt the Findings of Fact, Conclusions of Law, and Decision.

- Staff Presentation: Adam Crutcher Morgan Landers—Director of Planning and Building
(00:02:40 in video)
- Commission Questions/Comments for Staff *(00:05:16 in video)*

Public Comment: *(00:10:15 in video)*

Public Comment Closed: *(00:10:28 in video)*

Motion to approve to approve the Sun Valley Museum of Art Special Event Conditional Use Permit, as conditioned, and adopt the Findings of Fact, Conclusions of Law, and Decision.
(01:10:34 in video)

MOVER: Tim Carter

SECONDER: Spencer Cordovano

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Brenda Moczygemba, Spencer Cordovano

NAY:

RESULT: ADOPED UNANIMOUSLY

6. ACTION ITEM: Recommendation to review and approve the 219 Hillside Drive Mountain Overlay Design Review & Conditional Use Permit applications, as conditioned, and direct staff to return with the findings of fact

- Staff Presentation: Paige Nied—Associate Planner (00:11:00 in video)
- Applicant Presentation, Bruce Smith-Alpine Enterprises (00:16:25 in video)
- Commission Questions/Comments for Applicant (00:18:35 in video)
- Applicant Presentation – Alex Nelson-Alpine Enterprises (00:26:12 in video)
- Commission Questions/Comments for Applicant (00:27:30 in video)
- Applicant Presentation, Bruce Smith-Alpine Enterprises (00:28:45 in video)

Public Comment: (00:32:05 in video)

- Kevin Moss (00:32:22 in video)
- Bill Glenn (00:36:10 in video)

Public Comment Closed: (00:40:32 in video)

- Applicant Response to public comment (00:40:55 in video)
- Commission comments, questions for staff (00:48:20 in video)
- Commission deliberations and determination (01:02:55 in video)

Motion to approve the 219 Hillside Drive Mountain Overlay Design Review & Conditional Use Permit applications, as conditioned, and direct staff to return with the findings of fact.

(01:15:29 in video)

MOVER: Susan Passovoy

SECONDER: Brenda Moczygemba

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Brenda Moczygemba

NAY: Spencer Cordovano

RESULT: ADOPED 4-1

***** Break for 10 minutes***** reconvened at 5:56pm (01:17:10 in video)

7. ACTION ITEM: Recommendation to review and approve the 406 Sage Road Mountain Overlay Design Review & Conditional Use Permit applications, as conditioned, and direct staff to return with the findings of fact

- Staff Presentation: Paige Nied—Associate Planner (01:17:17 in video)
- Applicant Presentation, Scott Payne-Farmer Payne Architects (01:23:50 in video)
- Applicant Presentation, Denise Ford-Gardenspace Design (01:31:35 in video)
- Applicant Presentation, Scott Payne-Farmer Payne Architects (01:39:05 in video)
- Commission Questions/Comments for Applicant (01:40:50 in video)

Public Comment: (01:43:14 in video)

- Will Chinn (01:43:25 in video)

Public Comment Closed: (01:44:00 in video)

- Commission comments and questions for staff (1:44:05 in video)
- Commission deliberations and determination (01:46:48 in video)

Motion to approve the 406 Sage Road Mountain Overlay Design Review & Conditional Use Permit applications, as conditioned, and direct staff to return with the findings of fact.
(01:50:45 in video)

MOVER: Brenda Moczygemba

SECONDER: Tim Carter

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Brenda Moczygemba, Spencer Cordovano

NAY:

RESULT: ADOPED UNANIMOUSLY

NEW BUSINESS: (01:51:13 in video) 630

General Announcements from Staff of upcoming meetings and department highlights.
(01:51:20 in video)

ADJOURNMENT:

Motion to adjourn at 6:40pm (02:01:05 in video)

MOVER: Neil Morrow

SECONDER: Tim Carter

AYES: Susan Passovoy, Tim Carter, Neil Morrow, Spencer Cordovano, Brenda Moczygemba

RESULT: ADOPED UNANIMOUSLY

Neil Morrow – P & Z Commissioner

Morgan Landers – Director of Planning & Building



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Miller Residence	)	KETCHUM PLANNING & ZONING COMMISSION
Design Review	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023	)	DECISION
)	
File Number: 22-046)	

PROJECT: Miller Residence

FILE NUMBER: P22-046

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Aaron Bunse – Studio DVLP, LLC (architect)

PROPERTY OWNER: Paramount Property Development LLC

LOCATION: 219 Hillside Drive (Lot 9, Block 5, Warm Springs Valley Subdivision)

ZONING: Limited Residential (LR) & Mountain Overlay (MO)

REVIEWER: Paige Nied – Associate Planner

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 219 Hillside Drive Design Review (Application File No. 22-046) and Conditional Use Permit (Application File No. 22-046A) applications during their regular meeting on June 13, 2023, meeting of the Planning & Zoning Commission and was continued to a regular meeting on July 11, 2023. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 24, 2023. The public hearing notice was published in the Idaho Mountain Express on May 24, 2023. A notice was posted on the project site and the city’s website on June 6, 2023. Story poles were documented on the project site as of June 6, 2023.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing a new 3,745 square foot three-story single-family residence (the “project”), located at 219 Hillside Drive (the “subject property”). The project contains four bedrooms and an attached two car garage. The subject property is zoned Limited Residential (LR) in the Mountain Overlay District (MOD), and the lot is currently vacant.

The project will construct improvements in the right-of-way per the City of Ketchum improvement standards. The project proposes paver a driveway with no snowmelt system. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

During the Planning and Zoning meeting on June 13, 2023, the Commission requested additional information regarding the avalanche retaining wall’s flow deflection and roof pitches of the home and continued the applications to the July 11, 2023, meeting. The applicant submitted a clarification letter to accompany the site-specific avalanche report, revised the grading and architectural plans to increase the exposed height of the retaining wall, and removed the can exterior lighting fixtures from the patio. Upon review of the new application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review and Conditional Use Permit applications.

FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Finding	Required: 9,000 square feet Existing: 111,849 square feet (2.57 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Finding	Permitted: 35% Proposed: 3.4% (3,745 square feet / 111,849 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks: Front: 15’ Side: > of 1’ for every 2’ in building height, or 10’ (18’ required) Rear: 20’ Proposed: Front (Hillside Drive/south): 15’

				Side (east): 18.34' Side (west): 99.1' Rear (north): 477'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Finding	Maximum Permitted: 35' (properties which step up or down hillsides may extend 5 feet above the maximum height permitted in the zoning district) Proposed: 36' – 8"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 10% (20-foot-wide driveway/209.08 feet of property frontage along Hillside Drive). The curb cut calculation included both of the front lot lines of the property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	Parking Spaces
			Finding	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Residential (one family dwelling), in all applicable zoning districts require two parking spaces. Proposed: The project proposes two parking spaces within the enclosed garage.

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
Finding: The project plans indicate that a new paver driveway will be constructed to access the property from Hillside Drive. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
Finding: The City Engineer has reviewed the proposed driveway design and finds it to be sufficient for the project. All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	N/A
<p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	N/A
<p>Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	N/A
<p>Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	N/A
<p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	N/A
<p>Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	YES
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	YES
<p>Finding: Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<p><i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i></p>	YES
<p>Finding: The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell/catch basin improvements are sufficient to maintain all storm water drainage on-site. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p>Finding: The drainage improvements include the installation of a trench drain bordering the width of the driveway along Hillside Drive. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: As shown on Sheet C1.0 of the project plans, the applicant has proposed connecting to the municipal water and sewer systems from existing lines on Hillside Drive. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: N/A. Extension of utilities is not necessary to service the proposed development.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: Pursuant to Ketchum Municipal Code §17.96.060.E1, “The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.” Hillside Drive features residences built at varying timeframes resulting in a diverse range of materials and architectural styles. This has resulted in mountain modern architectural styles (flat roofs, high percentage of glazing, and cold materials such as concrete and metal) mixed with older traditional styles (pitched roofs and warm materials such as wood and stone). The adjacent structure to the lookers right is three stories in height and features a</p>	

Santa Fe architectural style which has flat roofs with stucco and block forms. The structure to the lookers left is one story in height with pitched roofs and stucco and stone siding. The architectural style of the proposed residence is modern in nature; however, it is complementary of the newer and older residences of the neighborhood as it utilizes wood and steel cladding, board formed concrete, large windows, and shed roofs sloped away from each other which presents as a pitched roof.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant, therefore no additions to existing buildings will take place.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: As stated previously, the proposed development utilizes a mountain modern, yet traditional design which utilizes clean lines, large windows, pitched roof, and a mix of warm and cold materials.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: The project utilizes wood and corten steel cladding, board formed concrete, and black trimmed windows.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES

Finding: No accessory structures or fences are proposed. The project proposes landscaping improvements that restore disturbed hillside areas. These landscaping improvements complement and soften the visual appearance of the single-family residence. The front, side, and rear yard setback areas will be restored and revegetated with native grasses. Shrubs are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New Evergreen, Aspen, and Russian Hawthorn trees will be installed to providing screening for the residence from adjacent properties.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
Finding: The proposed residence is three stories in height and each floor of the structure is stepped back into the hillside, providing undulation and relief to reduce the appearance of bulk and flatness.	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The residence is proposed to be oriented towards the primary street frontage along Hillside Drive.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: No satellite receivers are proposed for the project. As shown on the sheet entitled “Floor Plan – Level 1” of the architectural plans, the garage contains storage space to accommodate garbage bins. The garbage storage area will be contained within the enclosed garage and fully screened from public view.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: The roof plan indicates that metal gutters will be installed and sloped to downspouts, as shown in the architectural plans in Exhibit A. The roof plan also includes clamp mounted snow guards on the east and west side of the roof to prevent snow from sliding on pedestrian areas.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	N/A
Finding: N/A. This project is located within the Hillside Drive area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: The proposal is a residential development along a low traffic area on Hillside Drive. The City Engineer has reviewed the proposed driveway and finds its circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The proposed driveway is located further than 20 feet away from the nearest intersection of Hillside Drive and Turf Drive.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Access for emergency vehicles, snowplows and garbage trucks is provided along Hillside Drive.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
Finding: Sheets C1.0 & C2.0 of the project plans show the proposed snow storage areas to include 575 square feet, greater than the required 30% (1,825 * .30 = 547 square feet).	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: Sheet C1.0 shows the snow storage areas to be provided are on-site.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: Sheet C1.0 of the project plans indicate that no snow storage area has dimensions less than five feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: N/A. The applicant is not proposing a snowmelt system.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheet L2 of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The front, side, and rear yard setback areas will be restored and revegetated with native grasses. Shrubs are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New Evergreen, Aspen, and Russian Hawthorn trees will be installed to provide screening for the residence from adjacent properties. Boulders and ornamental grasses and perennials are also proposed in front of the structure.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan proposes drought-tolerant and native species, including evergreens and aspens, native shrubs, and drought tolerant grasses.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES

Finding: The proposal intends to provide landscaping on the front and side yards allowing for privacy between adjacent properties.

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed, and the structure is not located within the riparian setback.	

FINDINGS REGARDING COMPLIANCE WITH MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS

Mountain Overlay Design Review Standards (KMC §17.104.070.A)				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The proposed residence is sited at the lower elevation of the parcel preserving the natural topography of the hillside above.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	As the proposal occurs at the lower elevation of the subject property, all building, excavating, filling and vegetation disturbance will not occur at a point on the hillside which has a material visual impact visible from a public vantage point.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Findings	The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L. If approved, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Findings	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. The Fire Department has reviewed the project plans and has found that all access requirements for emergency vehicles have been met. Emergency vehicle access shall be reviewed and approved by the Fire Department prior to issuance of a building permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.5	Significant rock outcroppings are not disturbed.
			Findings	There are no significant rock outcroppings within the property boundary of the subject property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Findings	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code, fire code, and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.7	Public water and sewer service comply with the requirements of the City.
			Findings	As shown on C1.0 of the project plans, the applicant is proposing to connect to the municipal water and sewer systems from existing lines within Hillside Drive. Requirements and specification for the water and sewer connections will be

				verified, reviewed, and approved by the Utilities Departments prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Findings	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans in Exhibit A. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.
			Findings	<p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p> <p>The proposed residence is sited at the minimum front yard setback; however, the driveway to the residence is lengthy due to the shape of the lot which has a narrow entryway. The proposed driveway on Hillside Drive is 20 feet in width.</p> <p>The landscape plan proposes a variety of drought tolerant trees, shrubs, and grasses that will conceal any cuts and fills the project has.</p> <p>The Fire Department has reviewed the project plans and recommended a 26-foot aerial fire apparatus access road for the project, which is proposed in the project plans. Fire Protection Ordinance No. 1217 (KMC §15.08.080) requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The project complies with the fire protection and defensible space standards specified in KMC §15.08.080. The Fire Department is not requiring a driveway snowmelt system for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Findings	The proposed residence is situated at the lot's lower elevation with the minimum required front yard setback of 15 feet, thus is sited at the most suitable location on the parcel.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Findings	A portion of the driveway access traverses in 25% or greater slopes. The City Engineer reviewed the proposed driveway access and determined that the proposal does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties. The final access plan shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.12	Utilities shall be underground.
			Findings	The utility improvements are indicated on Sheet C1.0 of the project plans. The project will utilize sewer, gas, and electrical service from Hillside Drive. The Utilities Department reviewed the project plans and the service connections for compliance with city requirements. Pursuant to condition of approval #2, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			Findings	Sheet C1.0 shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be required to be submitted with the building permit application. City Departments will conduct a comprehensive review of the proposed construction management plan during plan review for the building permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			Findings	The project minimizes building, excavating, filling, and vegetation disturbance by siting the proposed residence at the minimum required front yard setback. The lot is currently vacant, so there is no previously disturbed area on site. The proposed cut and fill quantities are specified on Sheet C4.0. The total volume of the proposed cut is 1302.3 cubic yards. The proposed fill comes out to 60.1 cubic yards. The proposed residence is sited at the lower elevation of the parcel, which preserves the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within the front and side yard setback areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 .A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Findings	No significant landmarks have been identified on-site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 .A.16	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable

			easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
		Findings	This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 219 Hillside Drive Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** this Design Review Application File No. P22-046 this Tuesday, August 8, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the project plans presented at the July 11, 2023, Planning and Zoning Commission meeting, include as Exhibit A to these findings. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon

appeal, the date the approval is granted by the Council subject to changes in zoning regulations.

4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Prior to issuance of a building permit, the applicant shall submit a lighting plan for the third-story patio and a narrative explaining how the proposed lighting fixtures achieve minimal visual impact on adjacent lower elevation properties.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

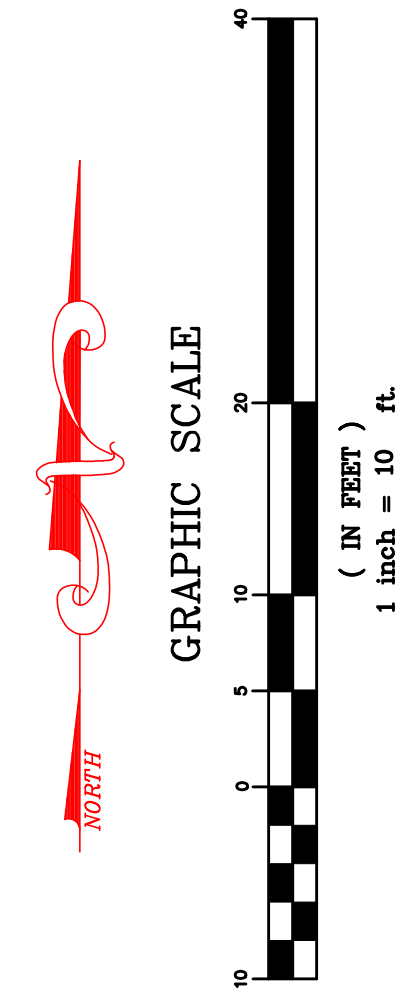
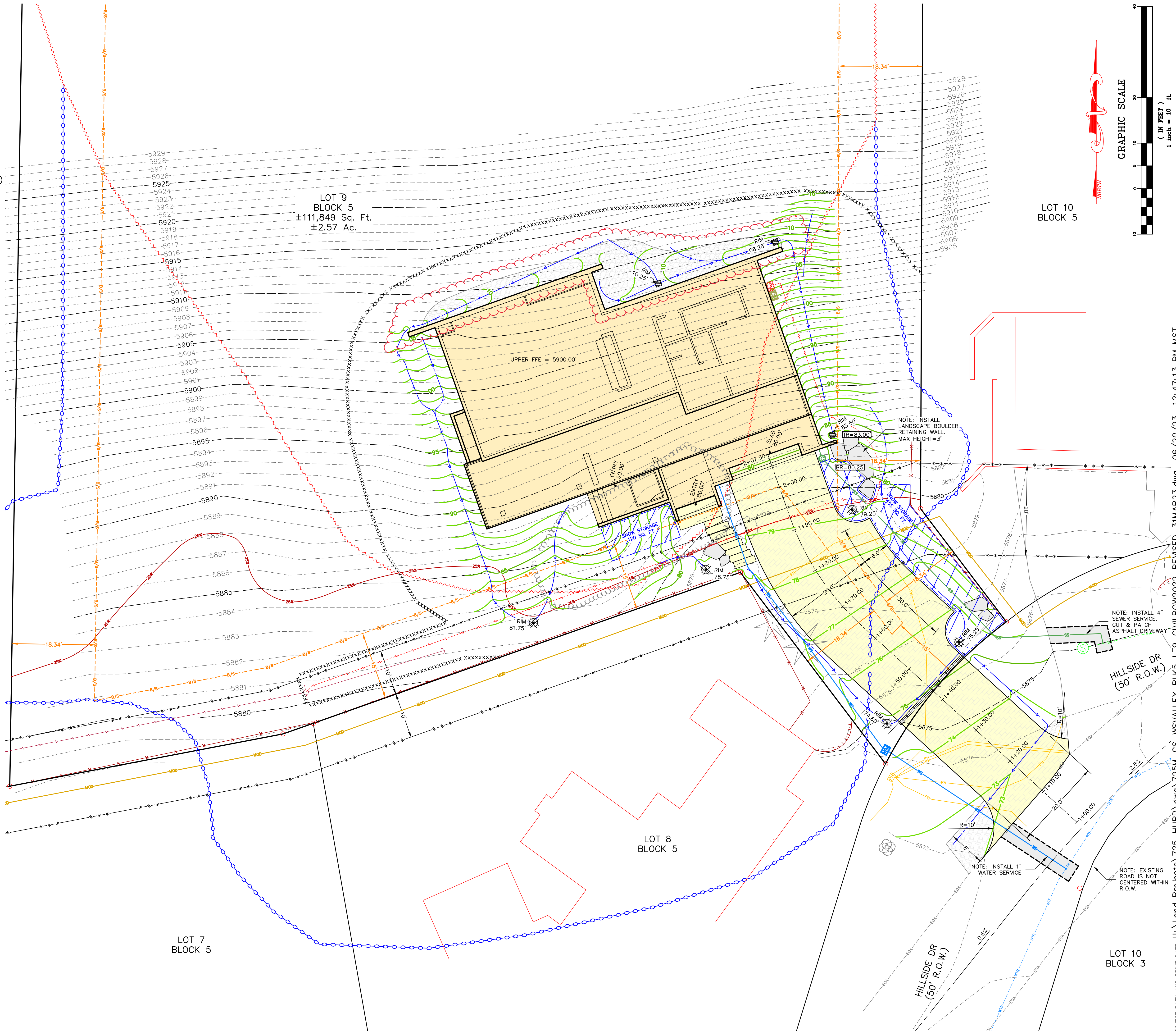
Exhibit A: Design Review Plan Set

LEGEND

- Subject Boundary
- Adjainers Boundary
- Centerline of Existing Road
- Existing Edge of Asphalt Roadway
- Existing Edge of Paver Driveway
- - - - - Drainage & Utility Easement per Plat
- - - - - Building Setback (See Note 5)
- - - - - Mountain Overlay District (City of Ketchum)
- - - - - 25% Slope Line (Alpine 2022)
- - - - - Existing 5' Major Contour Line (Alpine 2022)
- - - - - Existing 1' Minor Contour Line (Alpine 2022)
- - - - - Proposed 5' Major Contour
- - - - - Proposed 1' Minor Contour
- - - - - Proposed Drainage Flowline
- XXXXXXXXXXXXXXXXXXXXXXXXXXXX Proposed Limits of Disturbance
- Existing Wooden Fence
- Existing Wooden Fence (To Be Removed)
- Existing Dripline/Edge of Vegetation (To Be Removed)
- Approximate Existing Structure
- Existing Retaining Wall
- Existing Overhead Power
- Proposed Underground Power
- Existing Water Main
- Existing Water Service
- Proposed 1" Water Service (C2.0, Detail 4)
- Existing Sewer Main
- Existing Sewer Service
- Proposed 4" Sanitary Sewer Service (C2.0, Detail 4)
- Existing Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Existing Power Pole
- Existing Power Pole Guy Wire
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Proposed Water Meter (C2.0, Detail 1)
- Existing Phone Box
- Proposed Power Meter
- Proposed Gas Meter
- 1.0% Existing Road Grade
- Existing Willow Bush (To Be Removed)
- Existing Conifer Tree (To Be Removed)
- Existing Deciduous Tree (To Be Removed)
- Proposed Structure
- Proposed Paver Driveway (C3.0, Detail 9)
- Proposed Asphalt Patch & Saw-Cut Line (C3.0, Detail 7)
- Proposed Stone Entry
- Proposed Boulders (C3.0, Detail 10)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Snow Storage
- Proposed Landscape Drywell (C3.0, Detail 8)
- Proposed Heated Landscape Catch Basin Connected To Building Drainage
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- FFE Finish Floor Elevation
- RIM Drywell/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation

NOTES

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary information is from the Plats of Warm Springs Valley Subdivision, Instrument Number 119580; Warm Springs Valley Subdivision, Block 5, Lots 5A & 7A, Instrument Number 559480; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified by Digline before any excavation.
- 5) Current Zoning appears to be Limited Residential District, (LR). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front and Rear Building Setbacks are as shown, Side Setbacks are the greater of 1' for every 2' in building height or 10'.
- 6) Lot 9 appears to be partially in the City of Ketchum Mountain Overlay District.
- 7) Lot 9 appears to be zoned Blaine County Elk Winter Range.
- 8) Lot 9 appears to be in the Ketchum Avalanche Overlay District.
- 9) Not all trees and vegetation are shown, some locations are approximate.
- 10) Avalanche Zoning is from a 2022 RAMMS & AVAL-1D Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.



PROJECT PATH AND PRINT DATE: U:\Land Projects\725_HURD.dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

REVISIONS

NO	DATE	BY
1	02DEC22	AHN
2	30JAN23	AHN
3	28APR23	AHN
4	20JUN23	AHN

PRELIMINARY ONLY: NOT FOR CONSTRUCTION
 DESIGN REVIEW SUBMITTAL
 REVISIONS - CUFF/FILL CALCULATIONS ADDED
 REVISIONS
 REVISIONS

ALPINE ENTERPRISES INC.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1 83340 USA
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1808 / 727-1967 fax
 email: bamt@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 18075
 20JUN23
 STATE OF IDAHO
 ALEX NEVILL

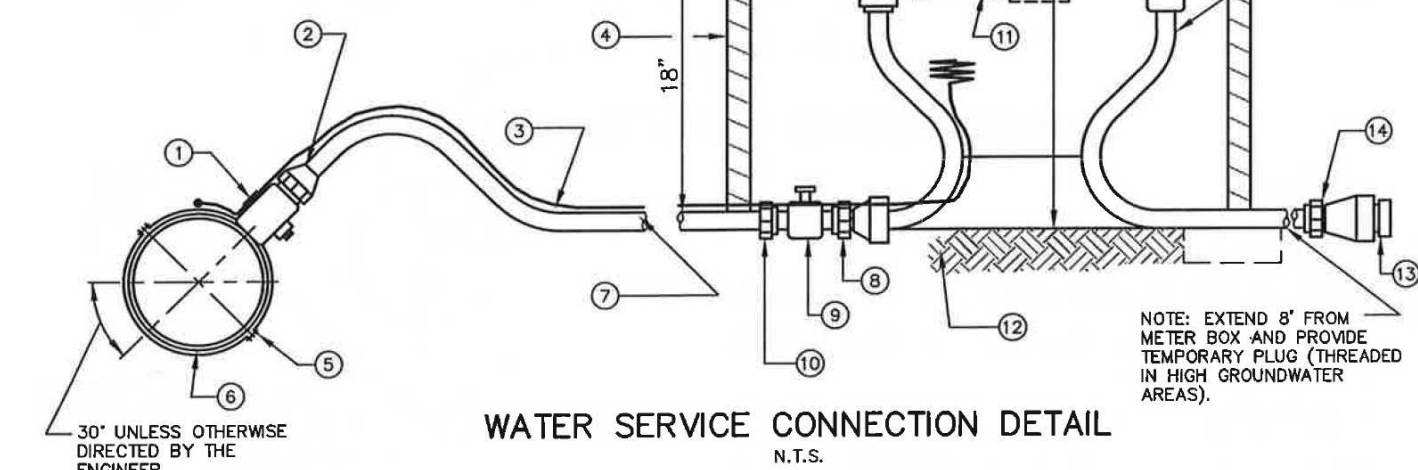
C1.0

GENERAL CONSTRUCTION NOTES

- Utility Locations shown are based on Digline locates and visual surface evidence. They are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- See the Building Plan from Studio DVLP and the Landscape Plan from N.S. Consulting for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- The Trench Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Grate shall be ductile iron with a slotted pattern. All components shall be rated for H=20 loading.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPWC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPWC and the City of Ketchum Codes and Standards on site during construction.
- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- Potable/non-potable crossings shall comply with ISPWC Standard Drawing SD-407 and IDAPA section 58.01.08.542.07.
- Sewer service lines shall be placed at a slope of 2%, with markers per ISPWC. Cleanouts are required at changes in alignment, grade, and minimum 150' length.
- All pipe shall be bedded with (ISPWC) Type I bedding material.
- Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- The contractor shall pressure test all sewer service connections in accordance with Idaho Standards for Public Works Construction, ISPWC.
- All clearing and grubbing shall conform to ISPWC Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPWC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPWC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 2" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPWC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPWC Table 803 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPWC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table A-1 in ISPWC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPWC Section 805.
- All concrete work shall conform to ISPWC Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPWC Section 703, Table 1.C.
- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- Snow Storage based on 30% of the Improved Parking and Pedestrian Circulation Areas.
Driveway = *1,475 Sq. Ft.
Front Walk = *350 Sq. Ft.
Total = 1,825 Sq. Ft.
30% of Total = 547.5 Sq. Ft.
Area Designated = 455 Sq. Ft. + 120 Sq. Ft. = 575 Sq. Ft. of Snow Storage
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.

NOTES:

- ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SIZE 2" CLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 3/4" OR 1".
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN SERVICE SADDLES. EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE CC.
- NO SERVICE CONNECTIONS WITHIN ONE FOOT OF THE PIPE END. STAGERS MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE THE ALONG CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF ONE FOOT.
- CENTER METER BOXES LOCATED IN CONCRETE DRIVEWAYS IN A 4' X 4' SQUARE OF CONCRETE, SEPARATED FROM THE REST OF THE DRIVEWAY CONCRETE BY EXPANSION JOINT MATERIAL. USE 30' TILE WITH CONCRETE GRADE RING, STANDARD MANHOLE RING AND LID MARKED "WATER".
- ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.

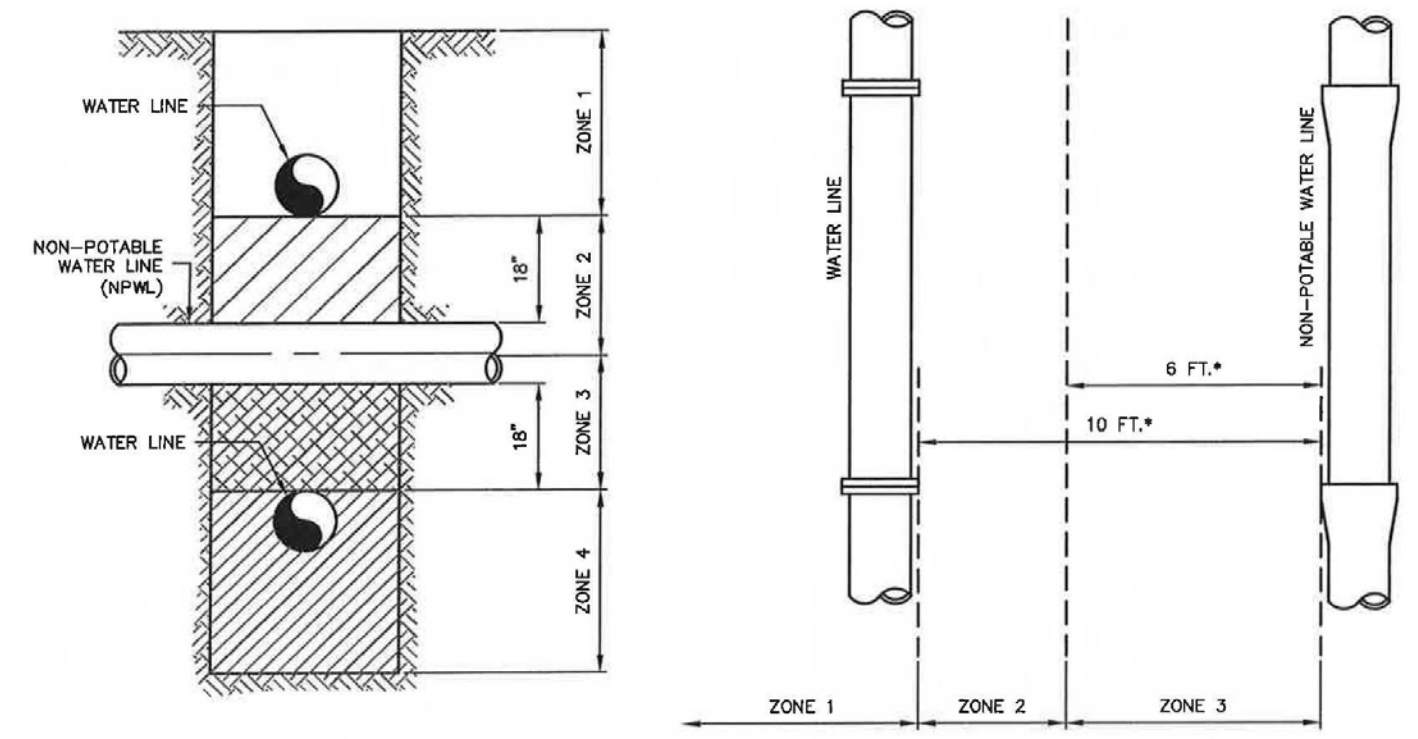


WATER SERVICE CONNECTION DETAIL
N.T.S.

LEGEND

- FORD FB-1101 OR MUELLER BALL CORPORATION STOP 3/4" OR 1".
- MUELLER H-15072.
- NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- 20" DIA. X 42" DEEP METER BOX (NOTCH FOR SERVICE LINES).
- STAINLESS STEEL SADDLE.
- WATER MAIN.
- 3/4" OR 1" SERVICE LINE (TYP.) NO SPLICING IS ALLOWED.
- MALE SWIVEL END.
- FULL OPENING 3/4" OR 1" MUELLER 300 BALL OR FORD B-11333 BALL VALVE.
- CURB STOP ADAPTER (FORD C-86 OR MUELLER H-15426 "GRIP JOINT").
- FUTURE METER INSTALLED BY WATER PURVEYOR.
- FIRM UNDISTURBED EARTH (SET TILE ON 2" X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
- PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).
- DOUBLE PURPOSE COUPLING.
- FORD VHM-92-18" YOKE WITH MALE CONNECTION AND EXTENDED END OR APPROVED EQUAL.
- FORD CARTRIDGE DUAL CHECK VALVE (VERTICAL).
- FORD BALL VALVE 18" (92-93-94 SERIES OR MUELLER B24101-142) 3/4"-1" COPPER SETTER WITH PADLOCK WINGS AND EXTENDED END ON EACH.
- FORD TYPE X SINGLE LID COVERS NO. X43, 13 1/2" OPENING-1/32" PENTAGONAL NUT.

1 WATER SERVICE CONNECTION (3/4" - 1")
ISPWC - SD-401
NOT TO SCALE



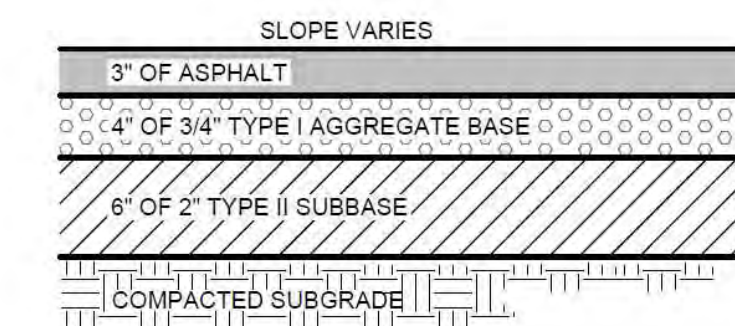
VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER D) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO SD-304 FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

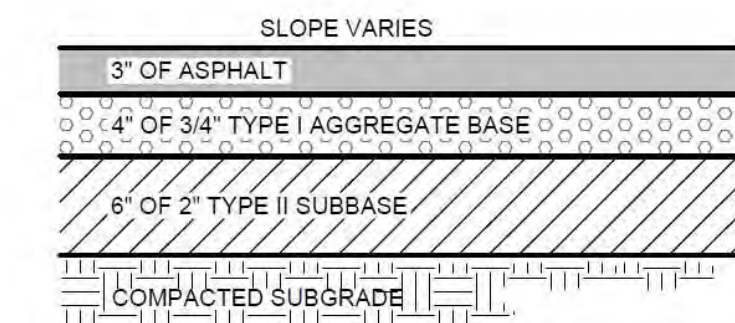
HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED WITHOUT DEG WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPERATION
ISPWC - SD-407
NOT TO SCALE



TYPICAL STREET ASPHALT SECTION

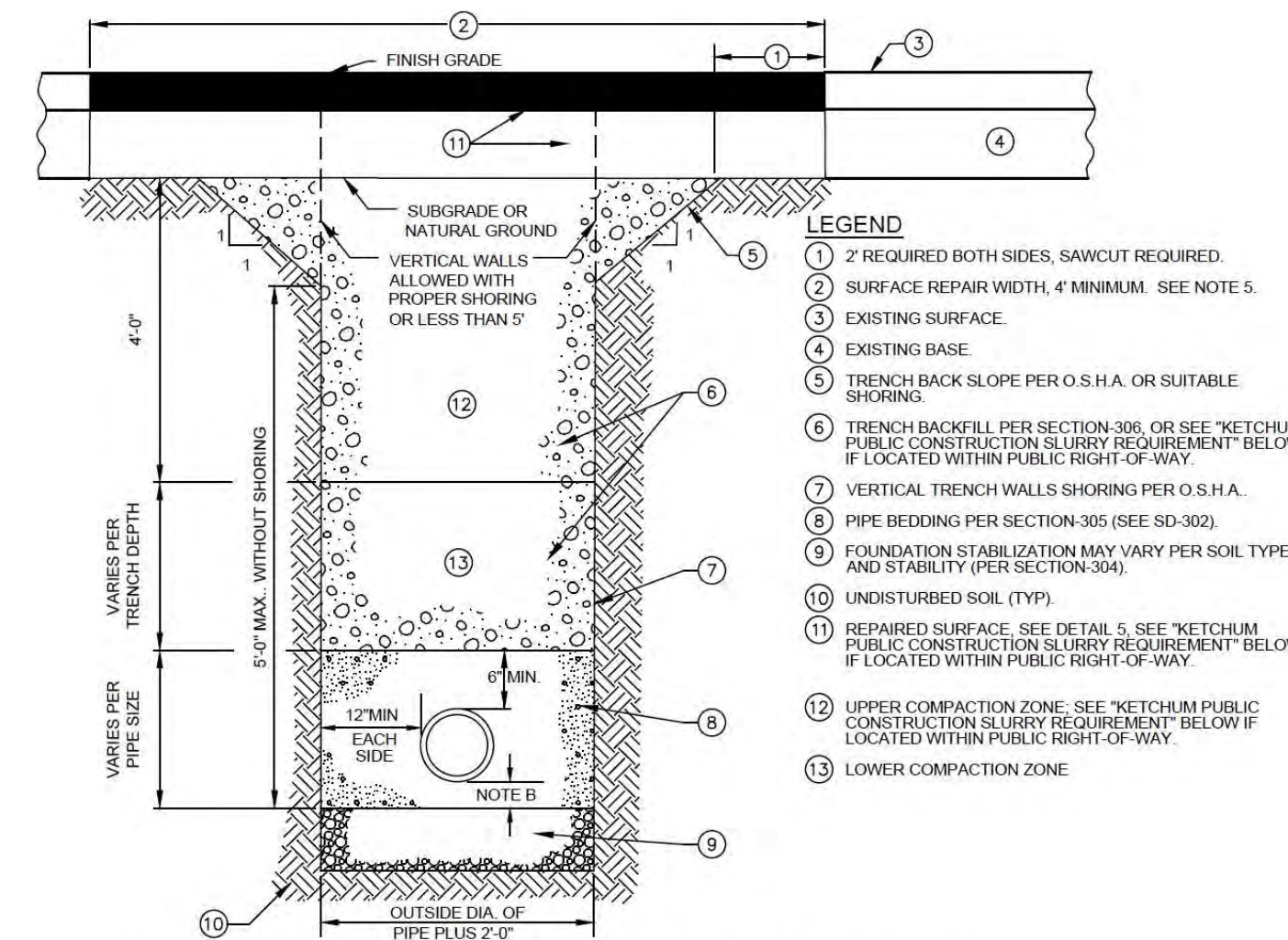


TYPICAL ALLEY ASPHALT SECTION

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ROAD SECTIONS
CITY OF KETCHUM - SD-3
NOT TO SCALE



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

- IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:
- COARSE AGGREGATE (6" MINUS) 2,600 LBS
SAND 800 LBS
PORTLAND CEMENT 94 LBS
WATER 11 GAL (MAX.)
- WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.
- NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE A-1 IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

4 TYPICAL TRENCH
CITY OF KETCHUM - SD-12
NOT TO SCALE

PROJECT PATH AND PRINT DATE: U:\Land Projects\725M_HURD\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

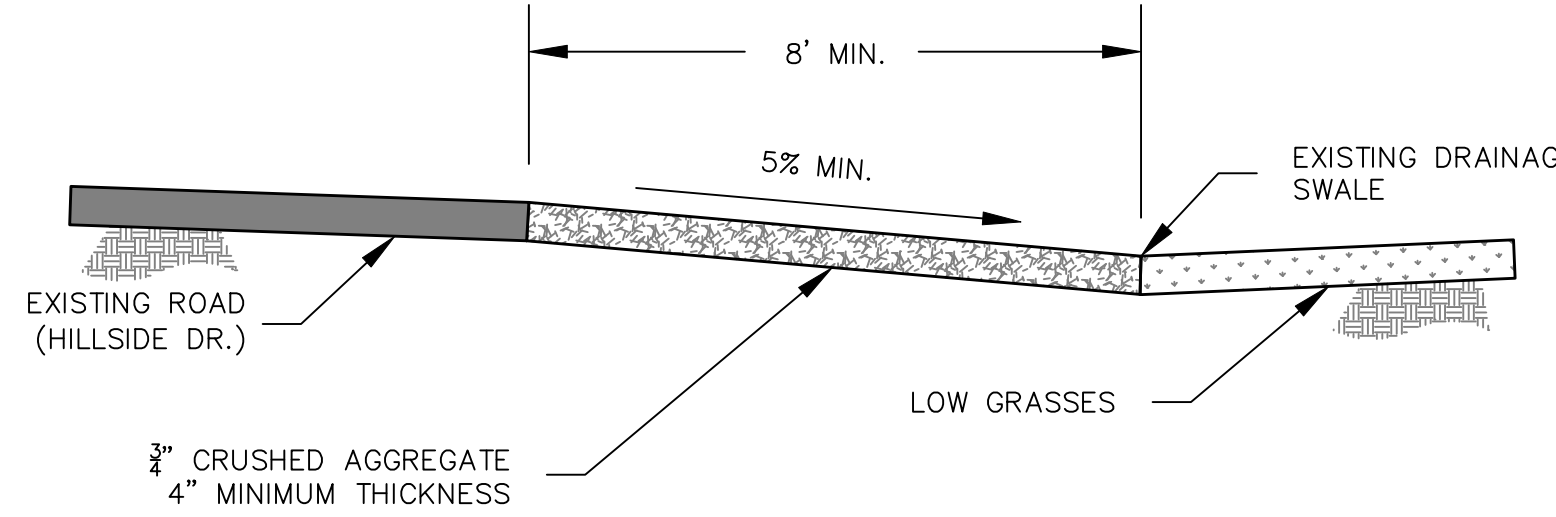
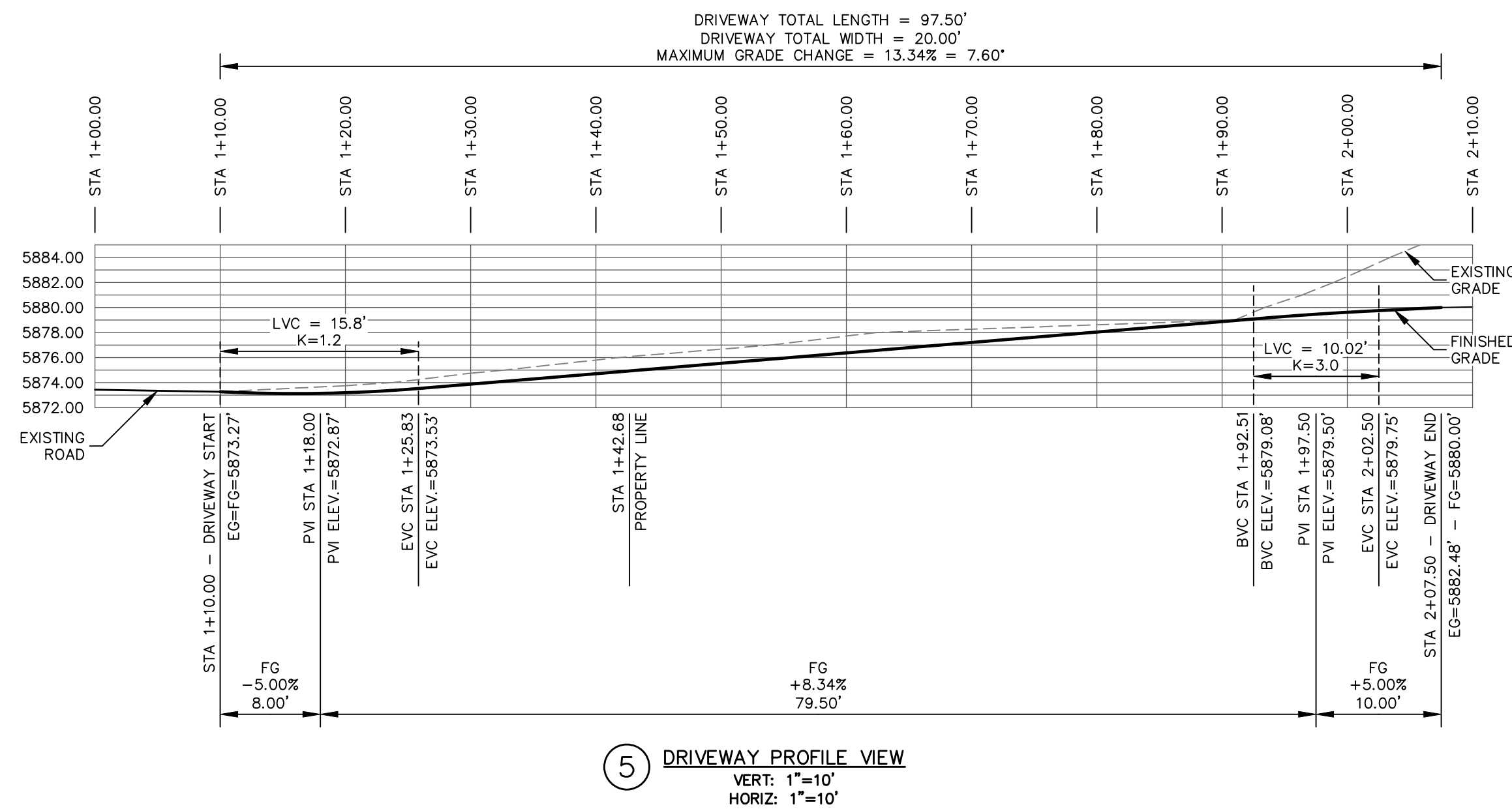
Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering,
and Natural Hazards Consulting
660 Bell Dr., Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1808
email: bamt@alpineenterprisesinc.com

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

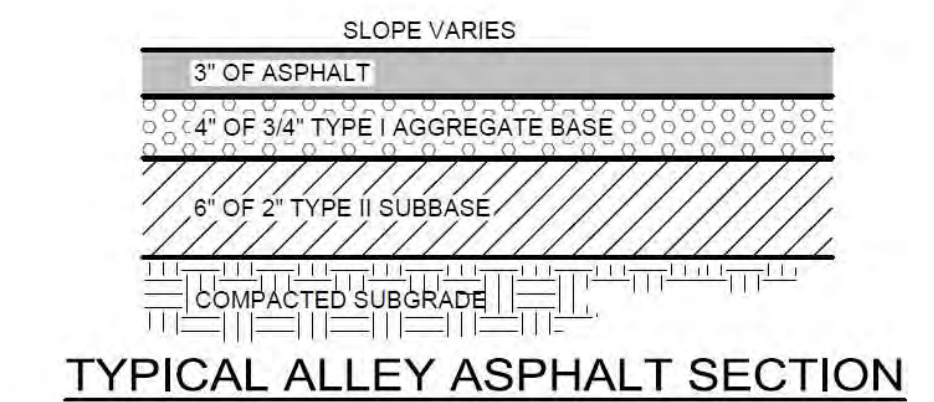
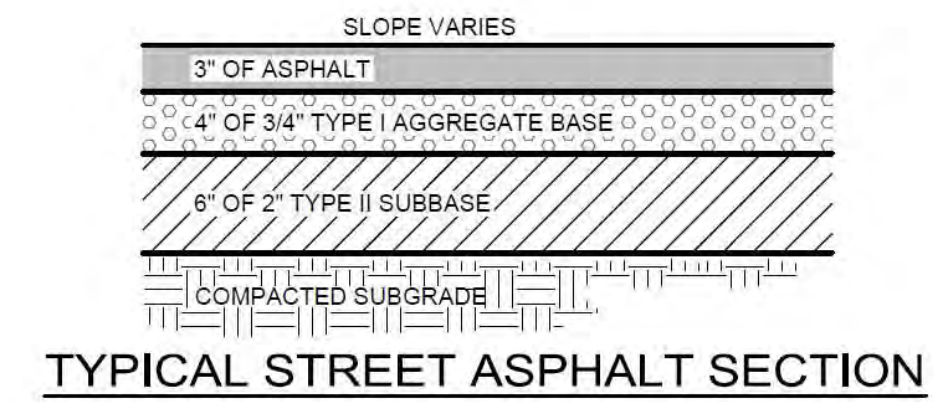
NO	DATE	BY	REVISIONS
1	02DEC22	AHN	PRELIMINARY ONLY: NOT FOR CONSTRUCTION DESIGN REVIEW SUBMITTAL
2	30JAN23	AHN	REVISED - CUFF/FILL CALCULATIONS ADDED
3	28APR23	AHN	REVISED
4	20JUN23	AHN	REVISED

PROFESSIONAL ENGINEER
STATE OF IDAHO
20 JUN 23
ALEX HELL

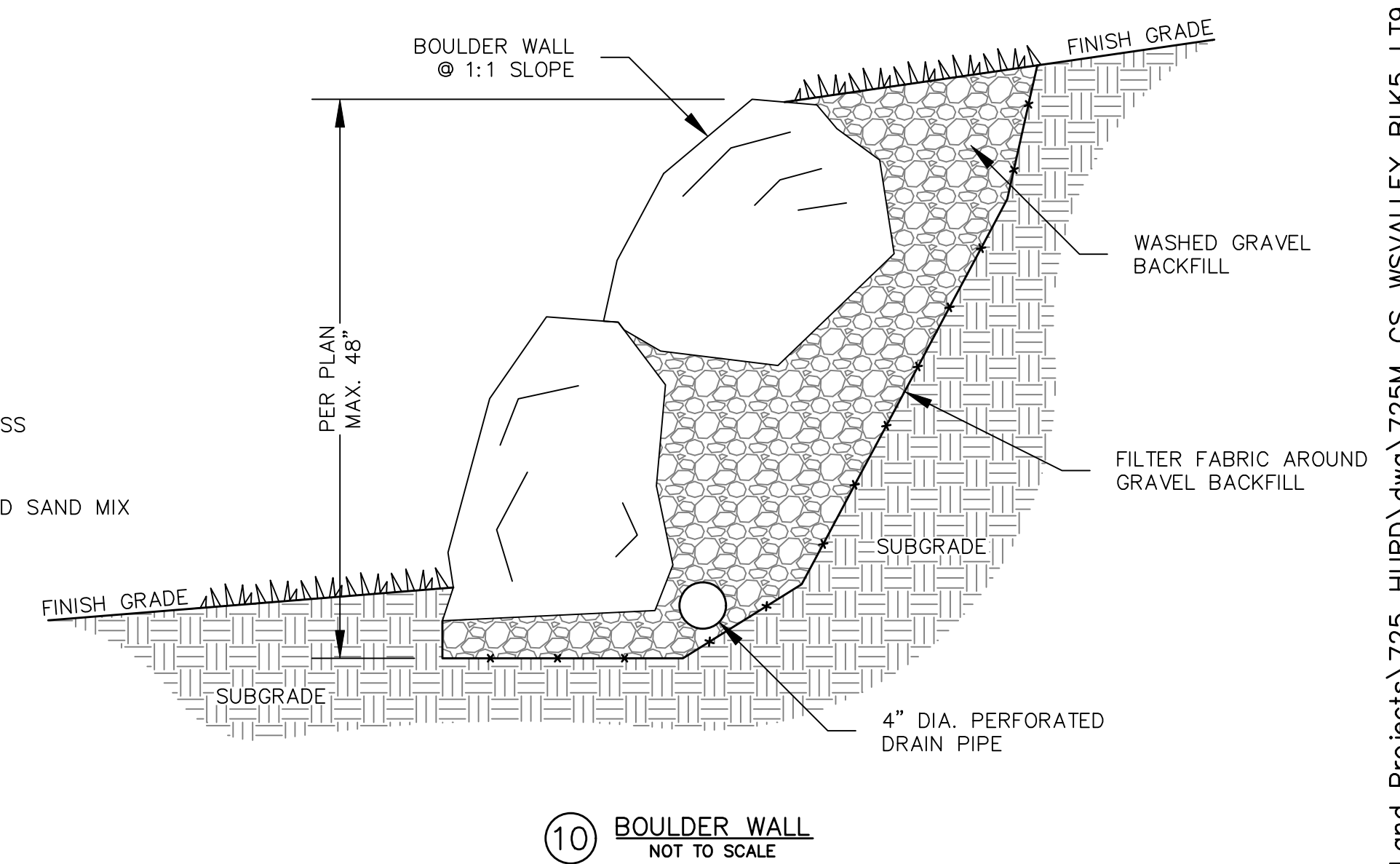
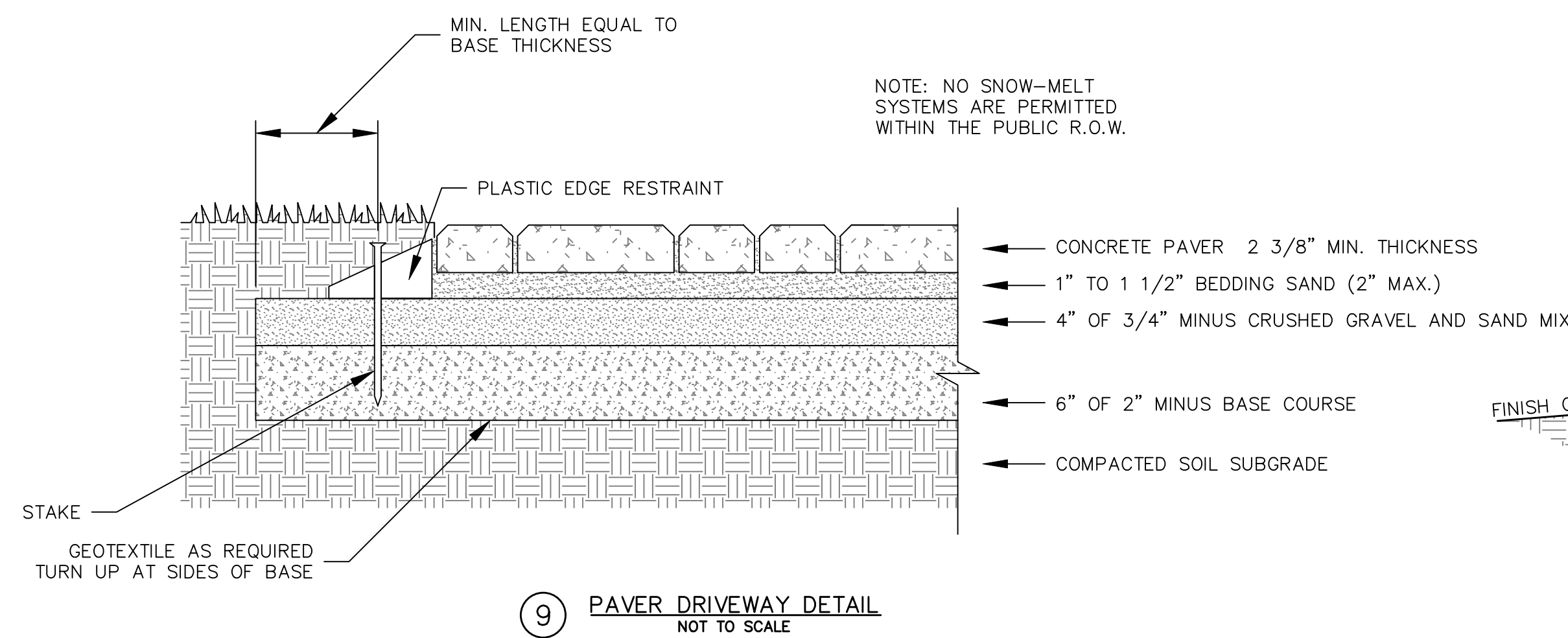
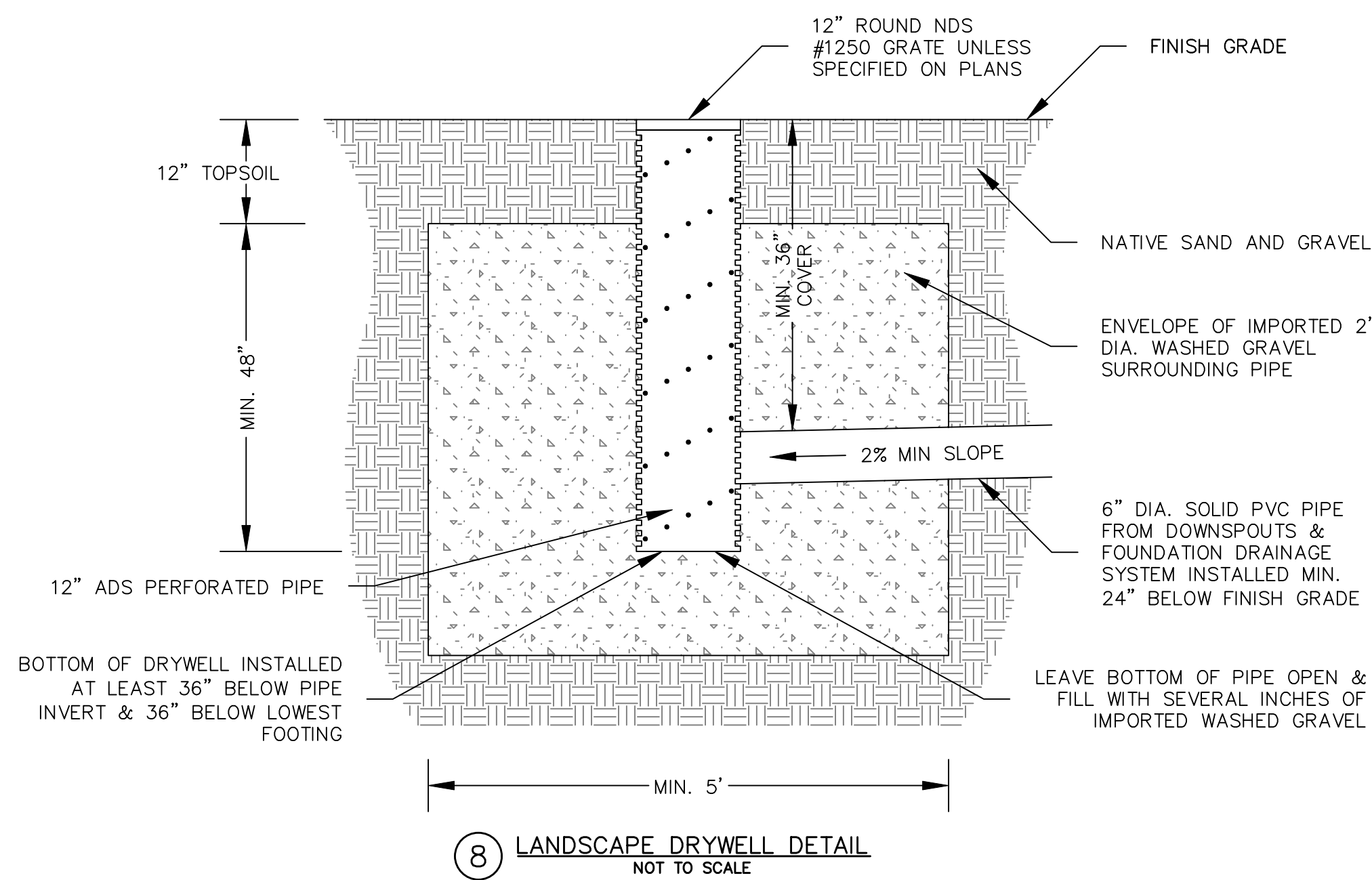
C2.0



- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
 - H) No snow-melt systems to be located within the Public R.O.W.



- NOTES:**
1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 7 TYPICAL ROAD SECTIONS**
 CITY OF KETCHUM - SD-3
 NOT TO SCALE



PROJECT PATH AND PRINT DATE: U:\Land Projects\725_HURD\dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
 LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
 WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1 83340 USA
 (208) 727-1808
 email: bamt@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 STATE OF IDAHO
 18073
 ALEX NELSON

NO	DATE	BY
1	02DEC22	AHN
2	30JAN23	AHN
3	28APR23	AHN
4	20JUN23	AHN

REVISIONS
 PRELIMINARY ONLY: NOT FOR CONSTRUCTION
 DESIGN REVIEW SUBMITTAL
 REVISD - CUF/FILL CALCULATIONS ADDED
 REVISD
 REVISD

C3.0

LEGEND

- Subject Boundary
- Adjainers Boundary
- Centerline of Existing Road
- Existing Edge of Asphalt Roadway
- Existing Edge of Paver Driveway
- Drainage & Utility Easement per Plat
- Building Setback (See Note 5)
- Mountain Overlay District (City of Ketchum)
- 25% Slope Line (Alpine 2022)
- Existing 5' Major Contour Line (Alpine 2022)
- Existing 1' Minor Contour Line (Alpine 2022)
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Proposed Limits of Disturbance
- Existing Wooden Fence
- Existing Wooden Fence (To Be Removed)
- Existing Dripline/Edge of Vegetation (To Be Removed)
- Approximate Existing Structure
- Existing Retaining Wall
- Existing Overhead Power
- Proposed Underground Power
- Existing Water Main
- Existing Water Service
- Proposed 1" Water Service (C2.0, Detail 4)
- Existing Sewer Main
- Existing Sewer Service
- Proposed 4" Sanitary Sewer Service (C2.0, Detail 4)
- Existing Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Existing Power Pole
- Existing Power Pole Guy Wire
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Proposed Water Meter (C2.0, Detail 1)
- Existing Phone Box
- Proposed Power Meter
- Proposed Gas Meter
- 1.0% Existing Road Grade
- Existing Willow Bush (To Be Removed)
- Existing Conifer Tree (To Be Removed)
- Existing Deciduous Tree (To Be Removed)
- Proposed Structure
- Proposed Paver Driveway (C3.0, Detail 9)
- Proposed Asphalt Patch & Saw-Cut Line (C3.0, Detail 7)
- Proposed Stone Entry
- Proposed Boulders (C3.0, Detail 10)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Snow Storage
- Proposed Landscape Drywell (C3.0, Detail 8)
- Proposed Heated Landscape Catch Basin Connected To Building Drainage
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- FFE Finish Floor Elevation
- RIM Drywell/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation

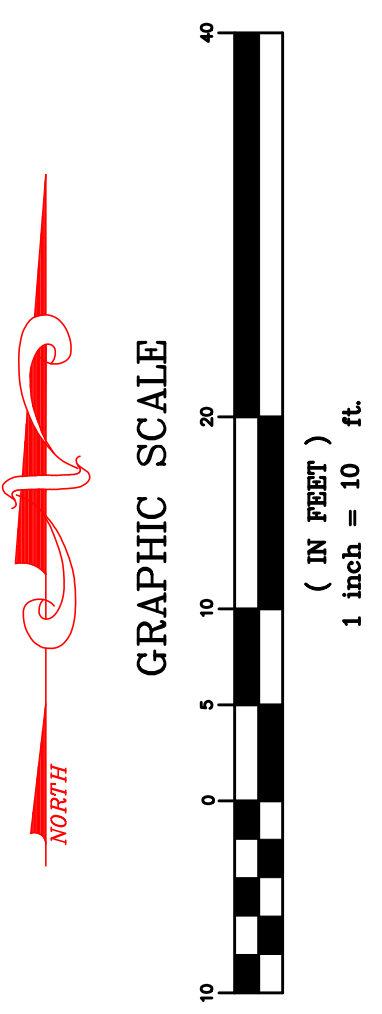
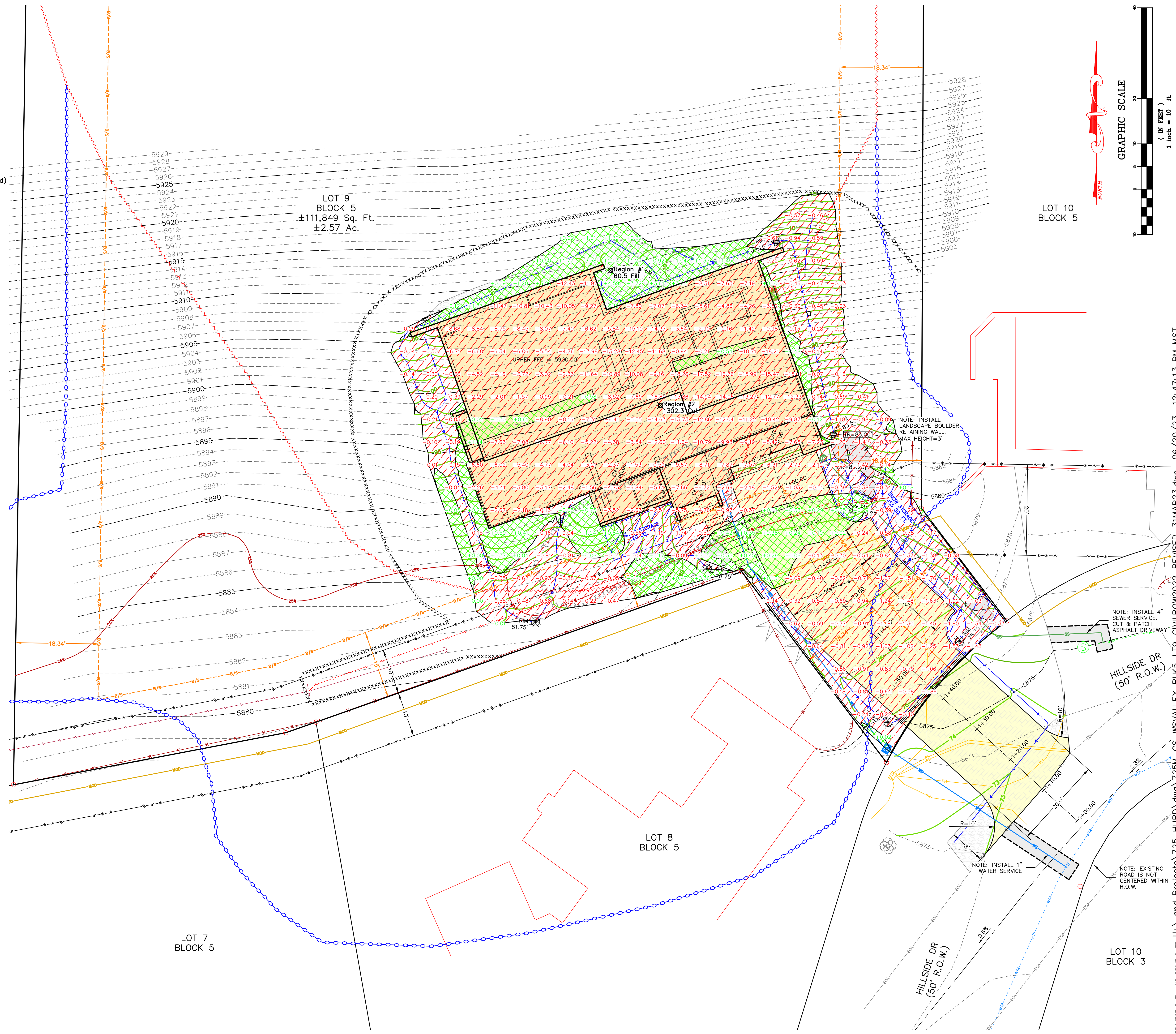
NOTES

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plats of Warm Springs Valley Subdivision, Instrument Number 119580; Warm Springs Valley Subdivision, Block 5, Lots 5A & 7A, Instrument Number 559480; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified by Digline before any excavation.
- 5) Current Zoning appears to be Limited Residential District, (LR). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front and Rear Building Setbacks are as shown, Side Setbacks are the greater of 1' for every 2' in building height or 10'.
- 6) Lot 9 appears to be partially in the City of Ketchum Mountain Overlay District.
- 7) Lot 9 appears to be zoned Blaine County Elk Winter Range.
- 8) Lot 9 appears to be in the Ketchum Avalanche Overlay District.
- 9) Not all trees and vegetation are shown, some locations are approximate.
- 10) Avalanche Zoning is from a 2022 RAMMS & AVAL-1D Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.

CUT/FILL VOLUMES

- Proposed Cut (Total = 1302.3 Cubic Yards)
- Proposed Fill (Total = 60.1 Cubic Yards)
- 7.29 Proposed Vertical Cut Elevation Difference
- +1.52 Proposed Vertical Fill Elevation Difference

NOTE: Shrink/Swell Factor = 1.2



PROJECT PATH AND PRINT DATE U:\Land Projects\725_HURD.dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

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4	20JUN23	AHN	REVISED

PROFESSIONAL ENGINEER
 18075
 20JUN23
 STATE OF IDAHO
 ALEX NEVILL

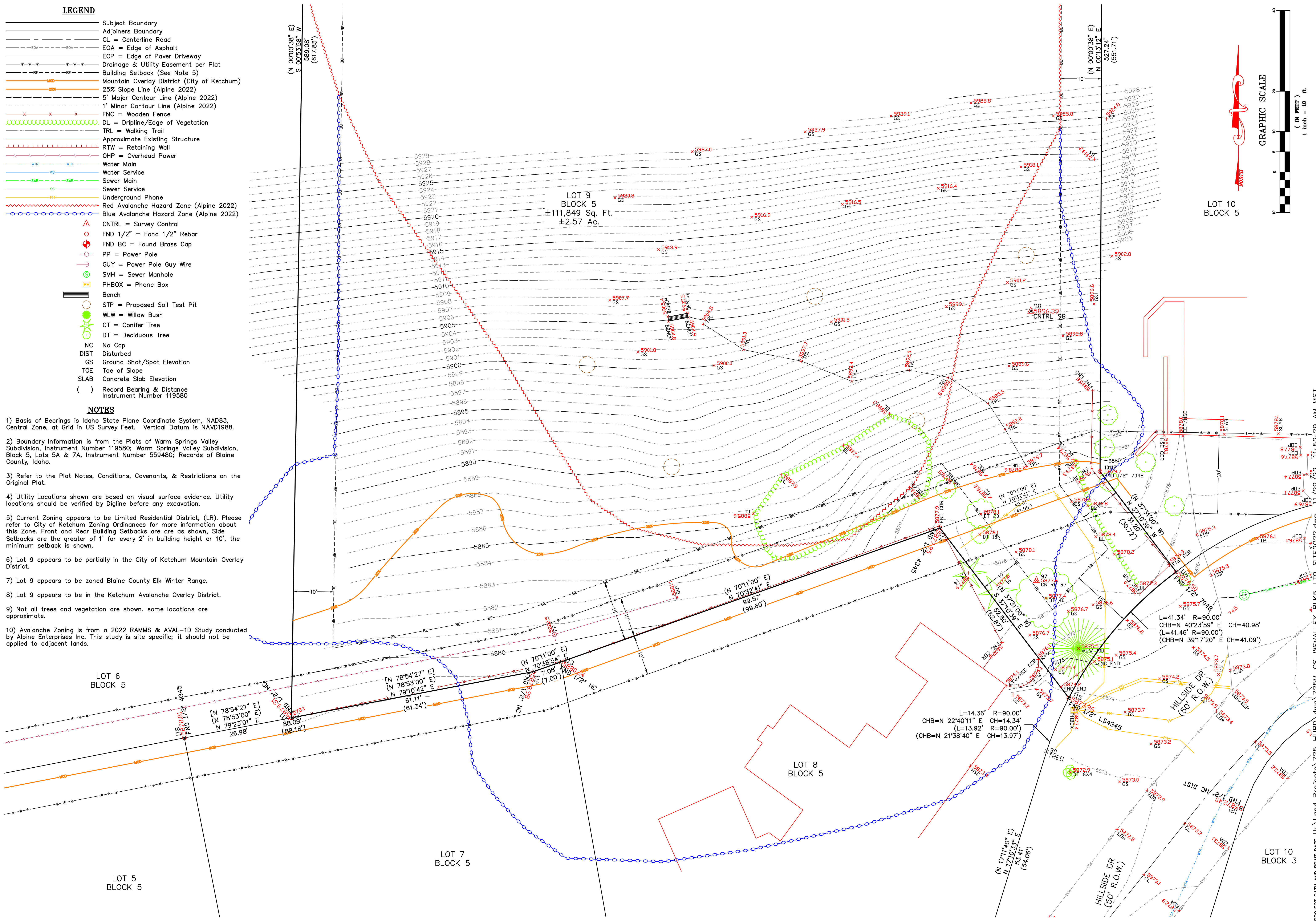
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LEGEND

- Subject Boundary
- Adjoiners Boundary
- CL = Centerline Road
- EOA = Edge of Asphalt
- EOP = Edge of Paver Driveway
- Drainage & Utility Easement per Plat
- Building Setback (See Note 5)
- Mountain Overlay District (City of Ketchum)
- 25% Slope Line (Alpine 2022)
- 5' Major Contour Line (Alpine 2022)
- 1' Minor Contour Line (Alpine 2022)
- FNC = Wooden Fence
- DL = Dripline/Edge of Vegetation
- TRL = Walking Trail
- Approximate Existing Structure
- RTW = Retaining Wall
- OHP = Overhead Power
- WTR = Water Main
- WS = Water Service
- SMR = Sewer Main
- SS = Sewer Service
- PH = Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- CNTRL = Survey Control
- FND 1/2" = Fond 1/2" Rebar
- FND BC = Found Brass Cap
- PP = Power Pole
- GUY = Power Pole Guy Wire
- SMH = Sewer Manhole
- PHBOX = Phone Box
- Bench
- STP = Proposed Soil Test Pit
- WLW = Willow Bush
- CT = Conifer Tree
- DT = Deciduous Tree
- NC = No Cap
- DIST = Disturbed
- GS = Ground Shot/Spot Elevation
- TOE = Toe of Slope
- SLAB = Concrete Slab Elevation
- () = Record Bearing & Distance
Instrument Number 119580

NOTES

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A SITE SURVEY SHOWING
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 email: alpine@alpineenterprisesinc.com

PROJECT PATH AND PRINT DATE U:\Land Projects\725M_HURD.dwg 725M_CS_WSVALLEY_BLK5.LT9_SITE2022.dwg 11/29/22 11:52:29 AM MST

NO	DATE	BY

REVISIONS

SHEET 1 OF 1

Site location:
219 Hillside Drive
Ketchum, ID 83340

Location in avalanche zone

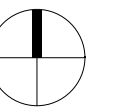


Aerial view of Ketchum
NTS

Enlarged aerial view at 219 Hillside Drive relative to existing residential homes (1"=100'-0"):
Proposed single-family residential footprint in white; dashed lines represent property boundary

AERIAL SITE IMAGE 219 HILLSIDE DRIVE

04/27/2023





EXTERIOR INSPIRATION

219 HILLSIDE DRIVE

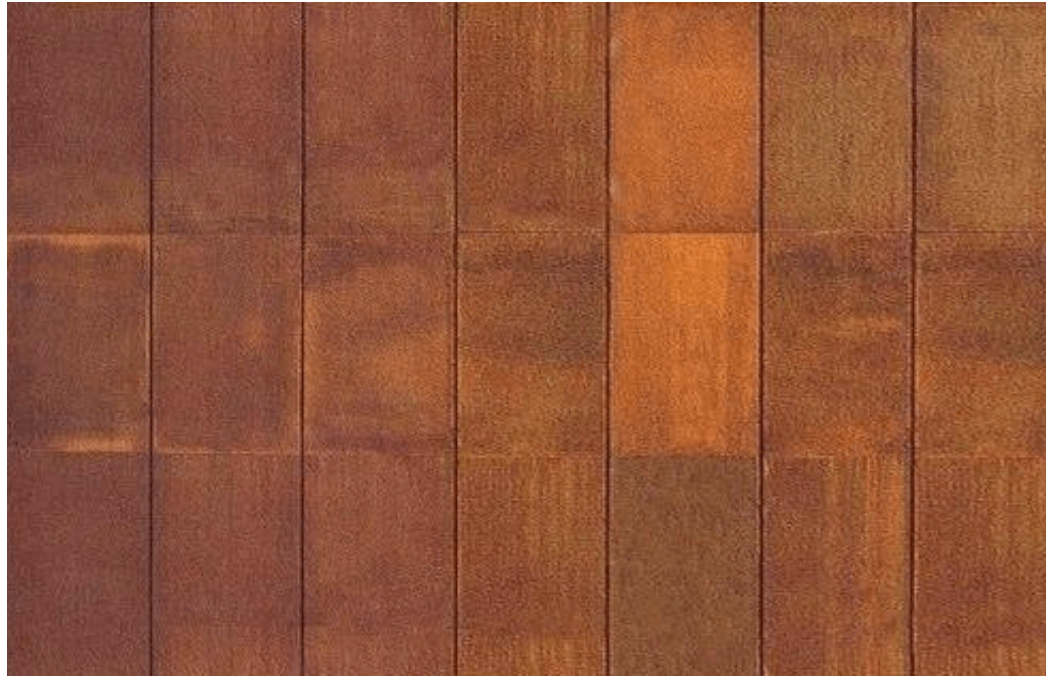
04/27/2023



INTERIOR INSPIRATION 219 HILLSIDE DRIVE

04/27/2023





corten steel



black framed windows + doors



painted black steel



native landscaping



board formed concrete



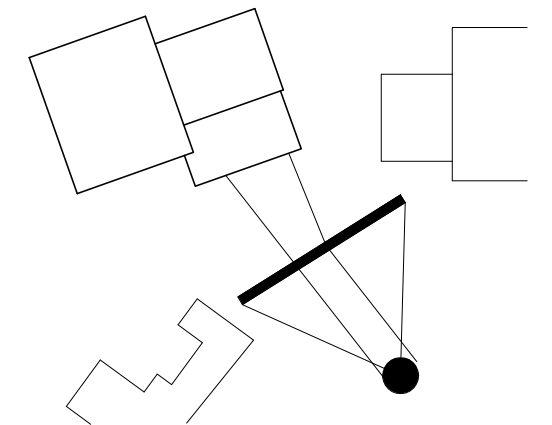
wood cladding

EXTERIOR MATERIAL PALETTE

219 HILLSIDE DRIVE

04/27/2023

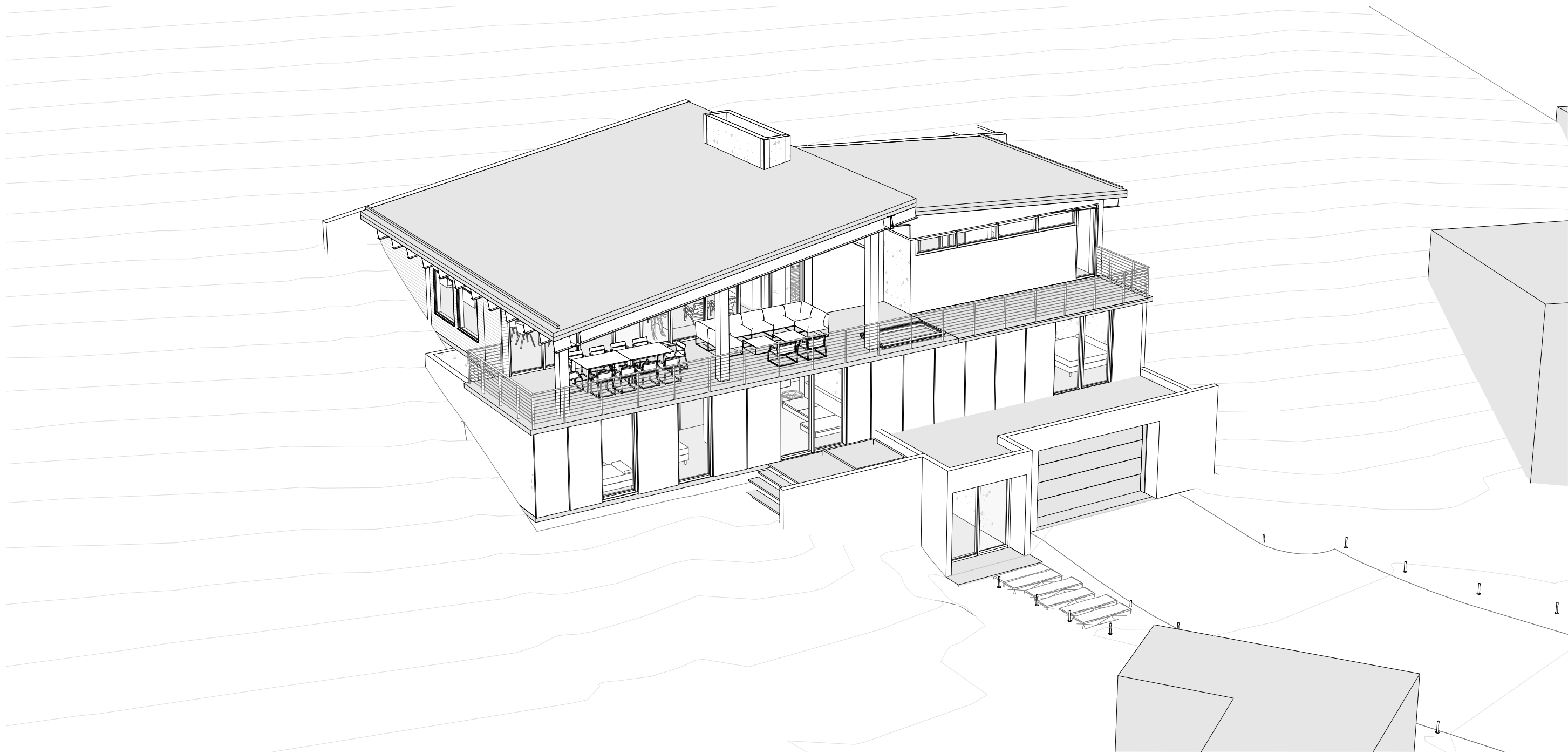




SCHEMATIC RENDERING - FROM STREET
219 HILLSIDE DRIVE

04/27/2023

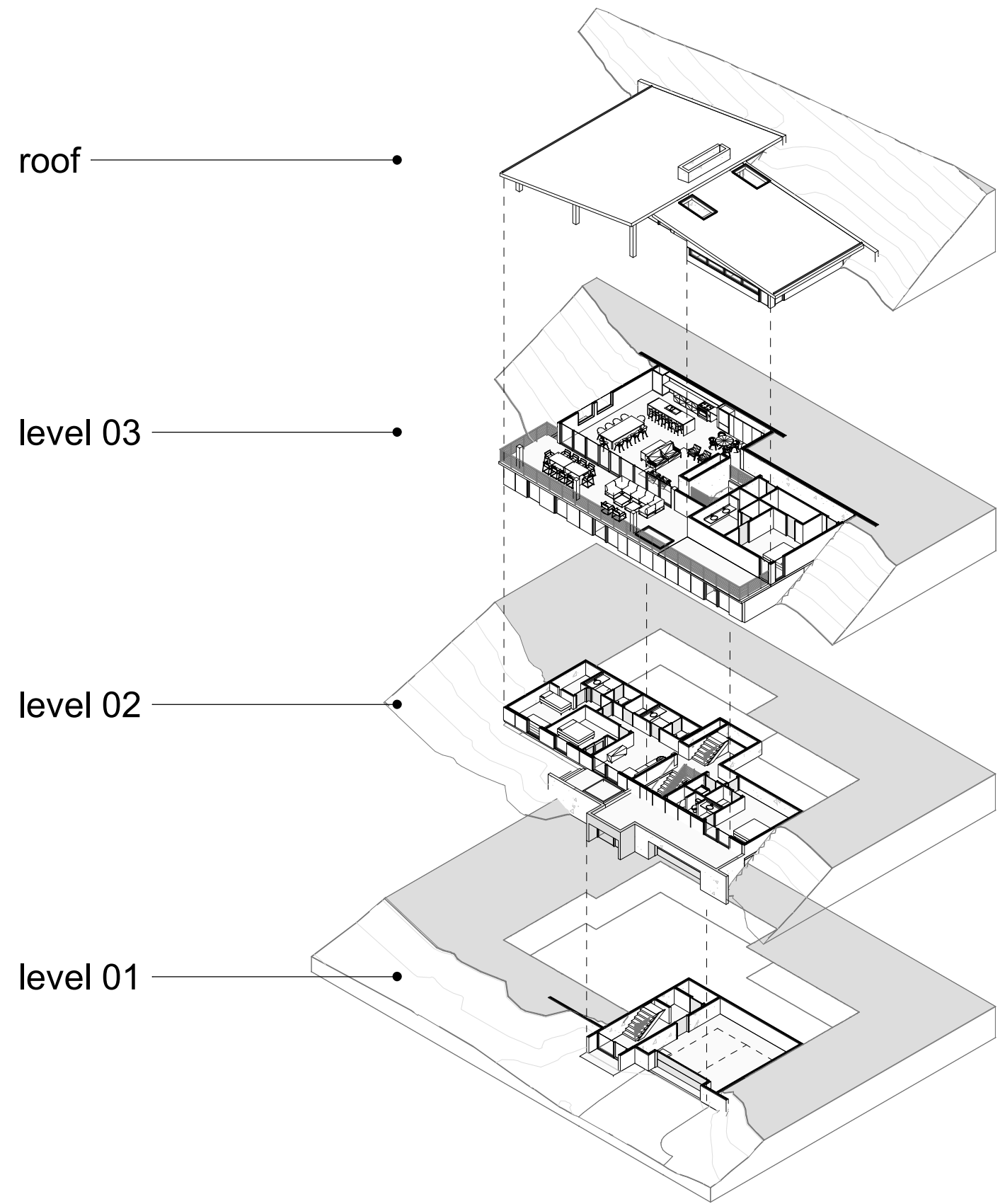




BIRD'S EYE PERSPECTIVE
219 HILLSIDE DRIVE

04/27/2023

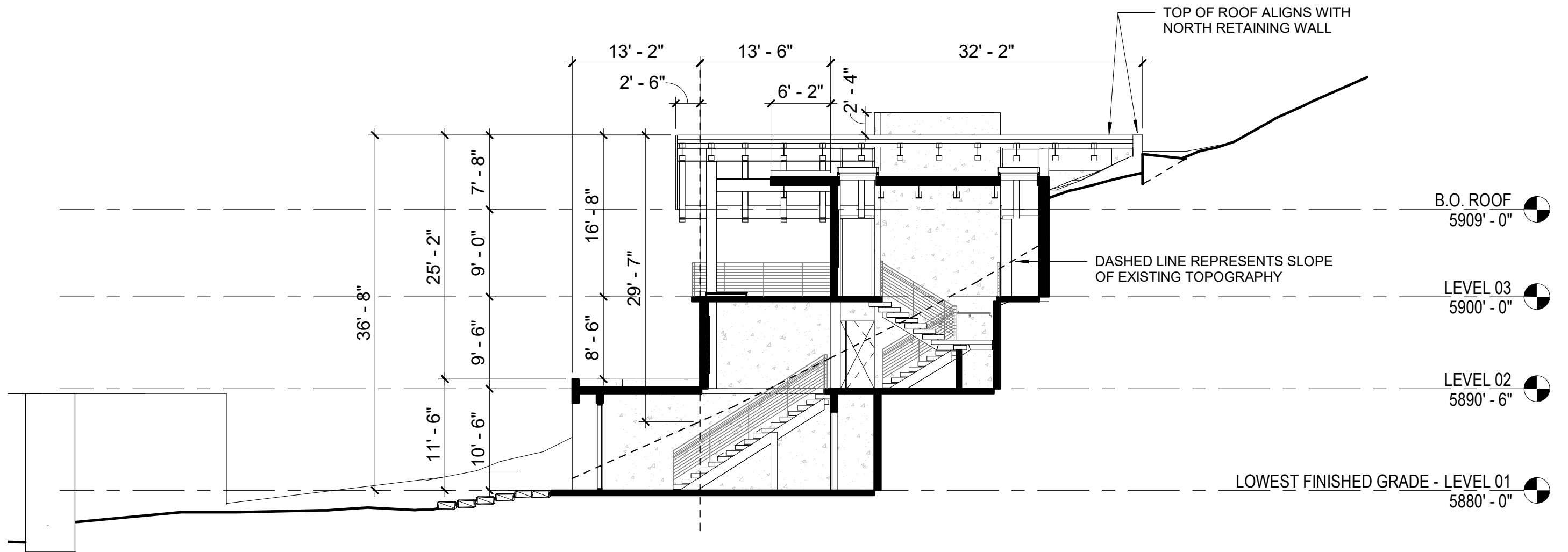




EXPLODED AXONS
219 HILLSIDE DRIVE

04/27/2023

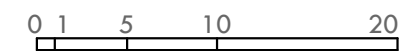


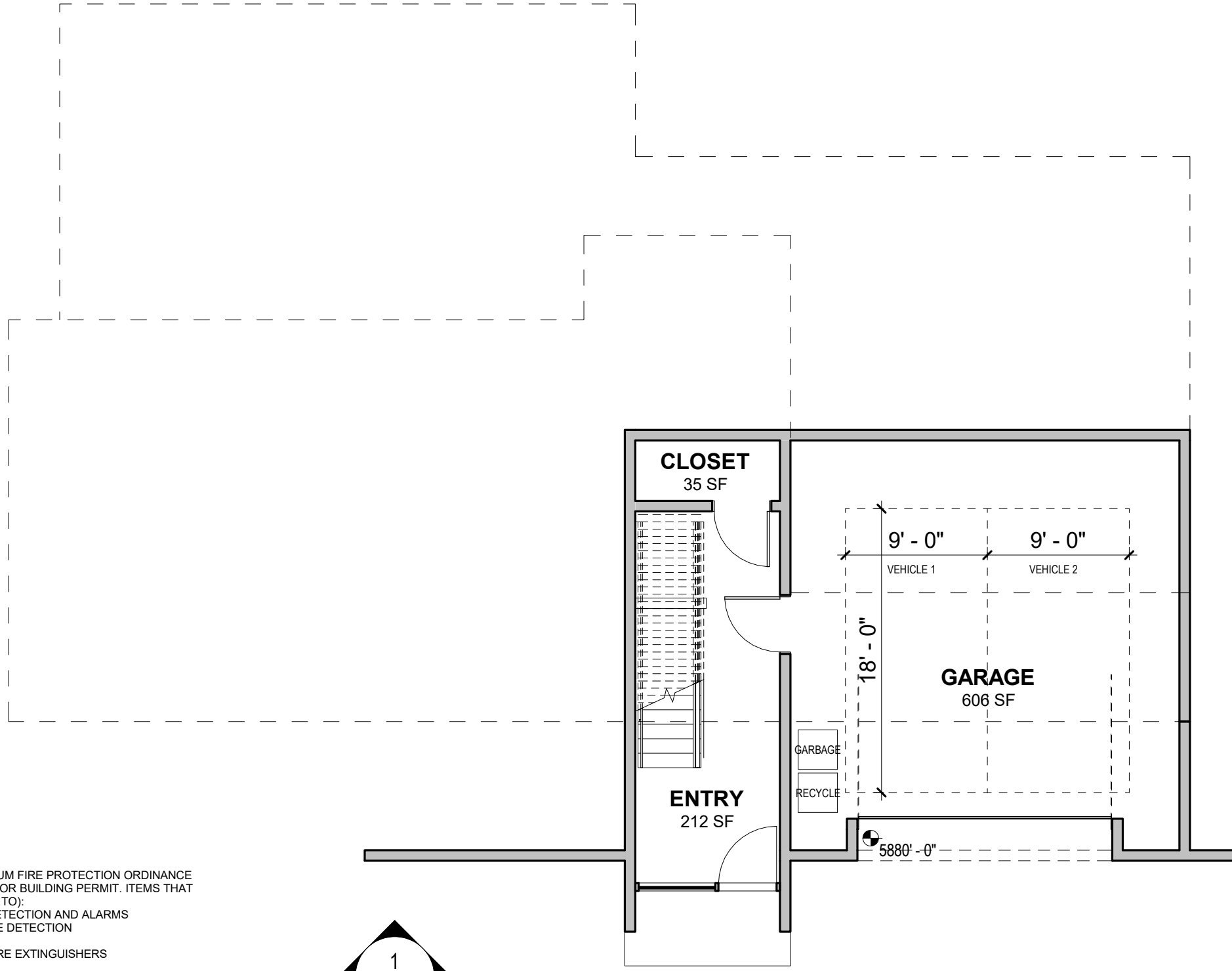
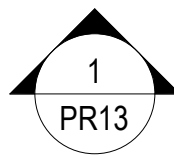
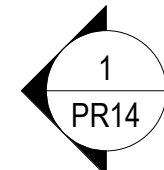
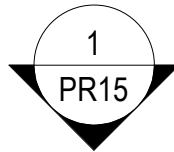
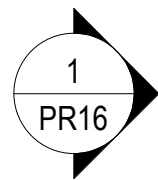


SECTION
219 HILLSIDE DRIVE

04/27/2023

Scale: 3/32" = 1'-0"





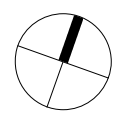
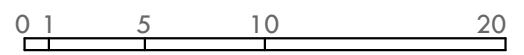
TYPICAL ALL FLOOR PLANS:
 PROJECT WILL COMPLY WITH KETCHUM FIRE PROTECTION ORDINANCE #1217 AND 2018 IFC REQUIREMENTS FOR BUILDING PERMIT. ITEMS THAT WILL BE INCLUDED (BUT NOT LIMITED TO):

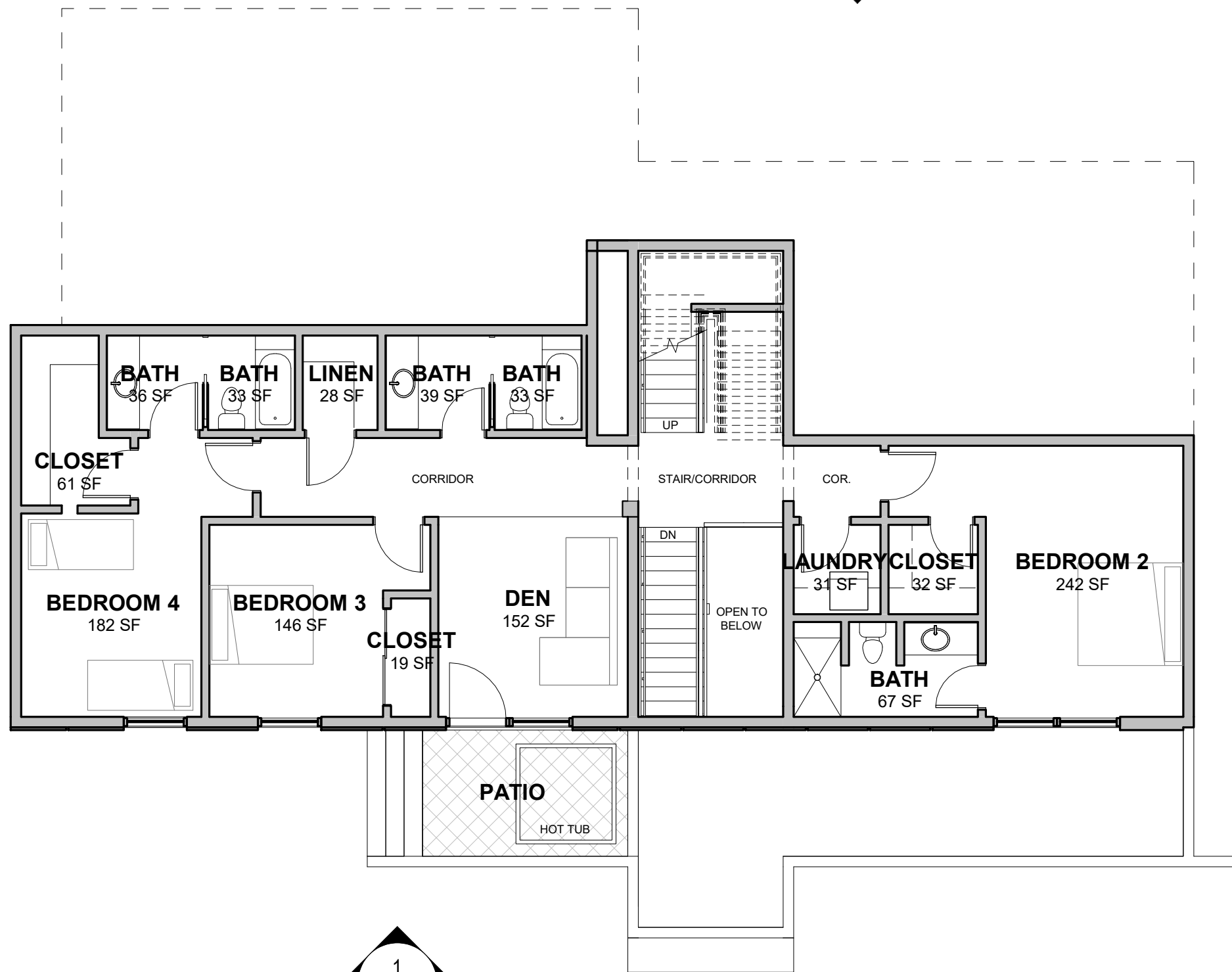
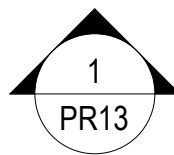
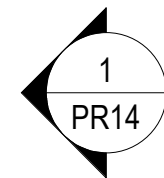
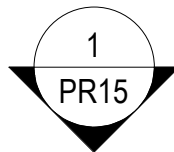
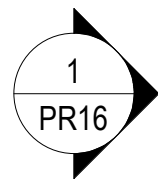
- APPROVED MONITORED FIRE DETECTION AND ALARMS
- SMOKE AND CARBON MONOXIDE DETECTION
- APPROVED ADDRESS NUMBERS
- QUANTITY AND LOCATION OF FIRE EXTINGUISHERS
- KNOX BOX
- EXTERIOR FIRE RATING AND MATERIAL REQUIREMENTS

FLOOR PLAN - LEVEL 1

219 HILLSIDE DRIVE

04/27/2023 Scale: 1/8" = 1'-0"

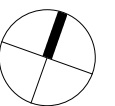
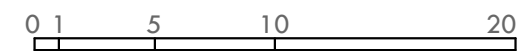


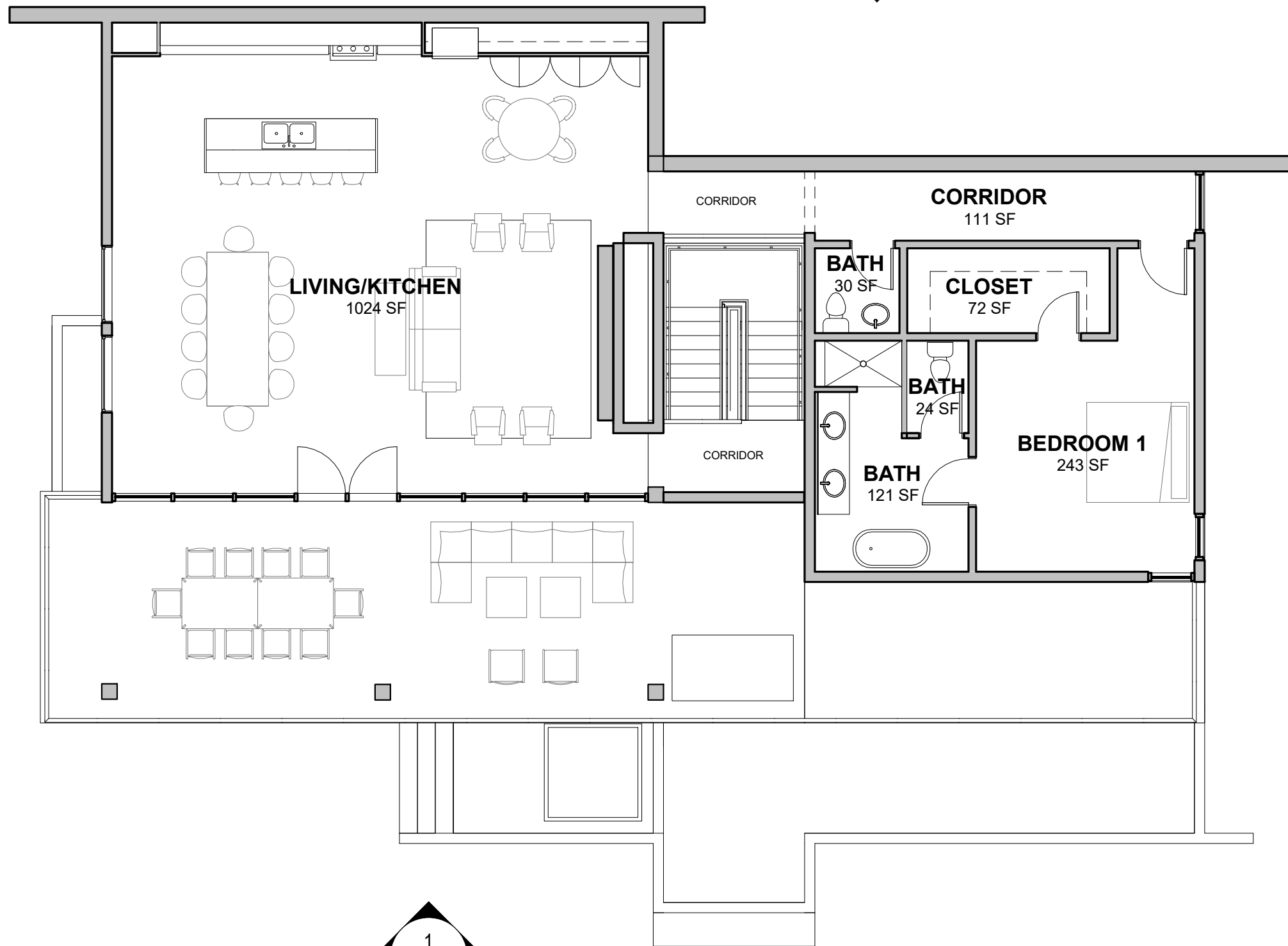
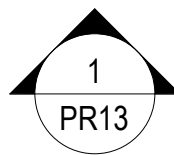
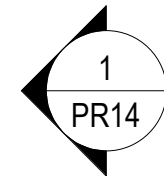
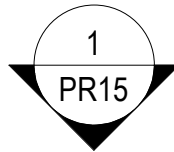
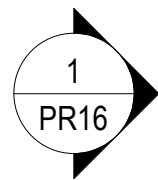


FLOOR PLAN - LEVEL 2
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

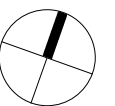
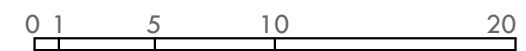


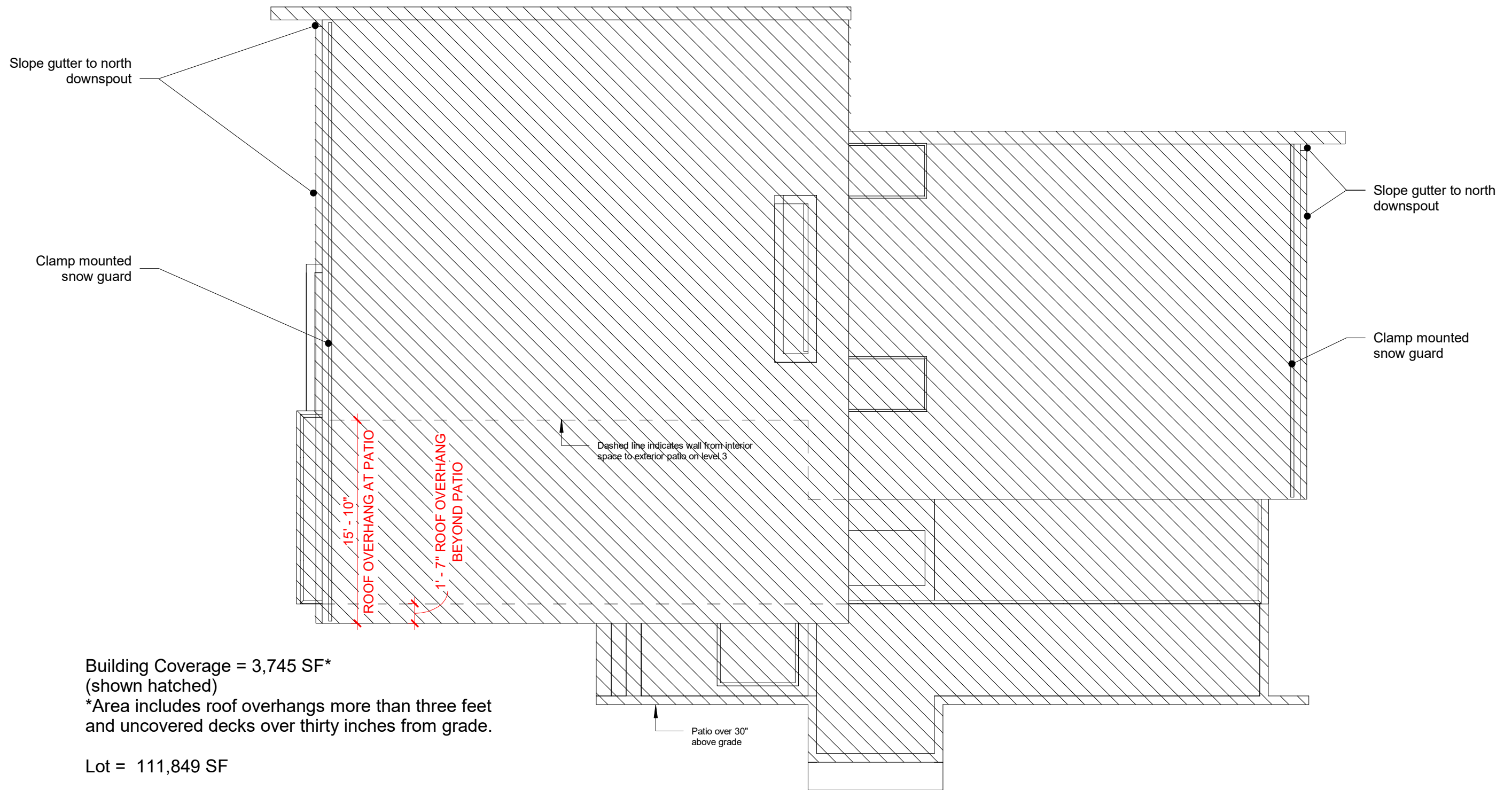


FLOOR PLAN - LEVEL 3
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"



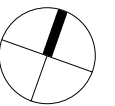


Building Coverage = 3,745 SF*
 (shown hatched)

*Area includes roof overhangs more than three feet
 and uncovered decks over thirty inches from grade.

Lot = 111,849 SF

3.4% coverage

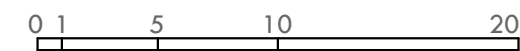


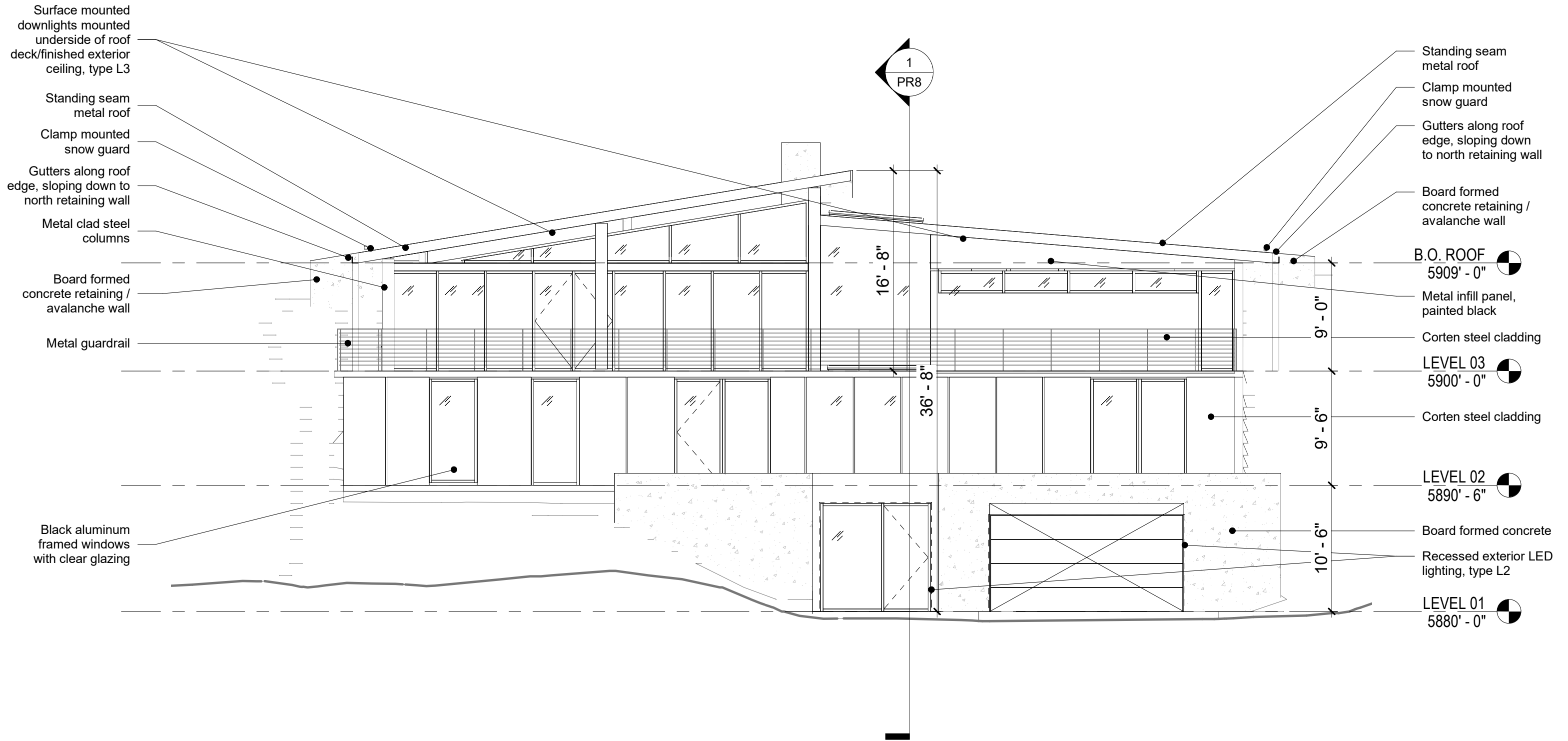
ROOF PLAN

219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"





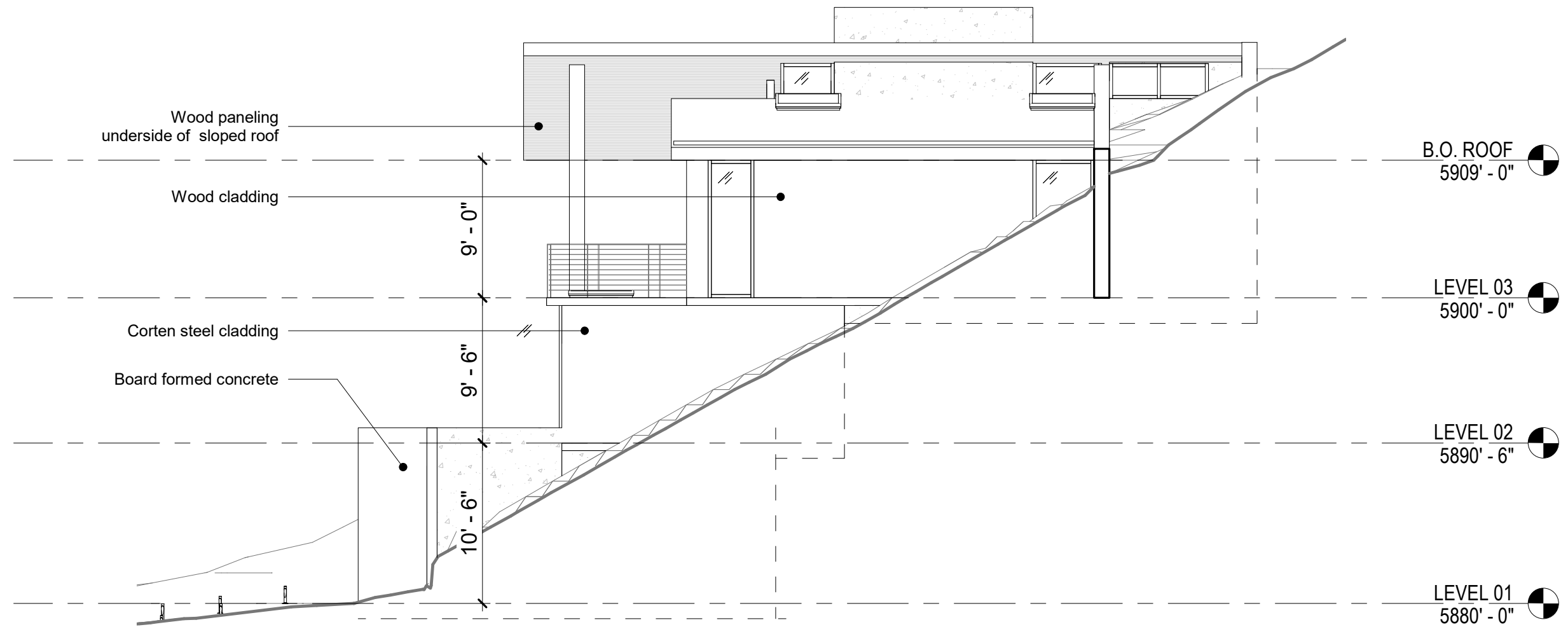
ELEVATION SOUTH

219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

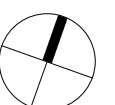
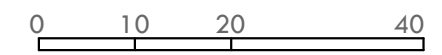


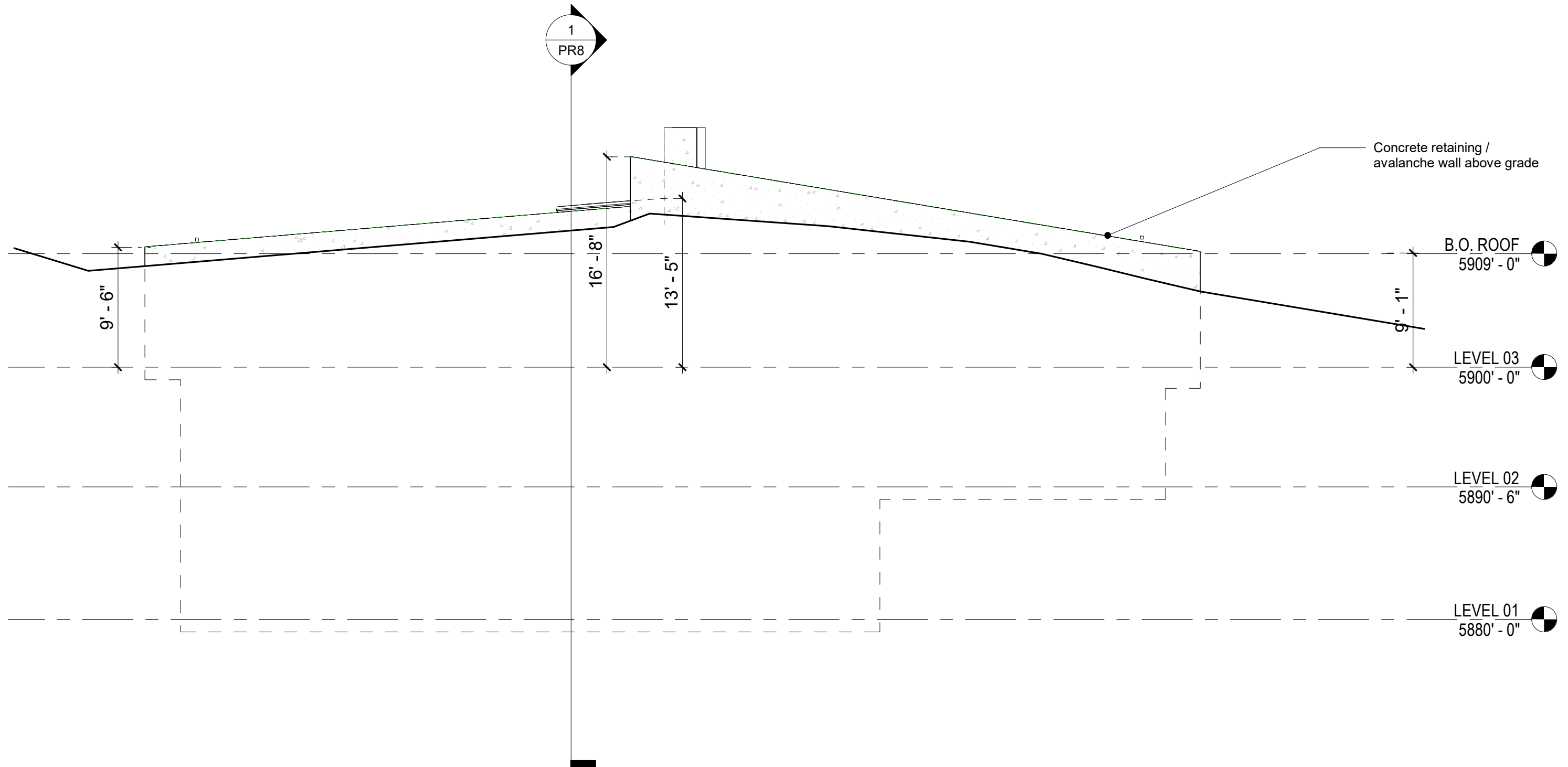


ELEVATION EAST
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"



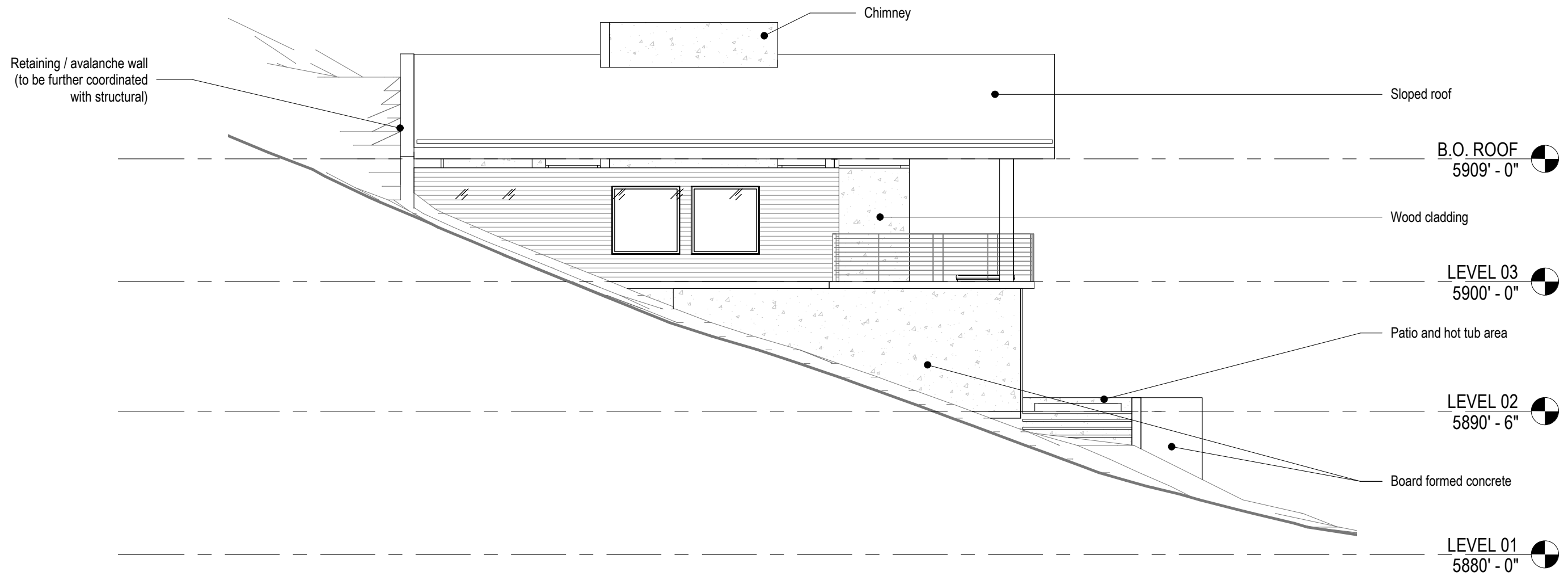


ELEVATION NORTH
219 HILLSIDE DRIVE

07/03/2023

Scale: 1/8" = 1'-0"

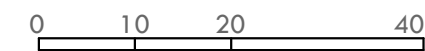




ELEVATION WEST
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

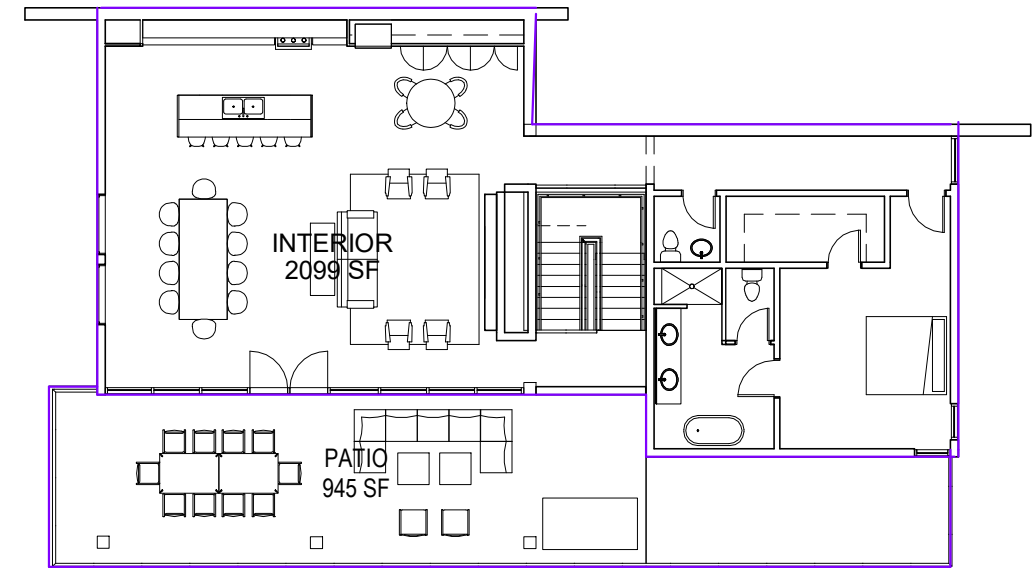


Room Schedule -Usable SF	
Name	Area

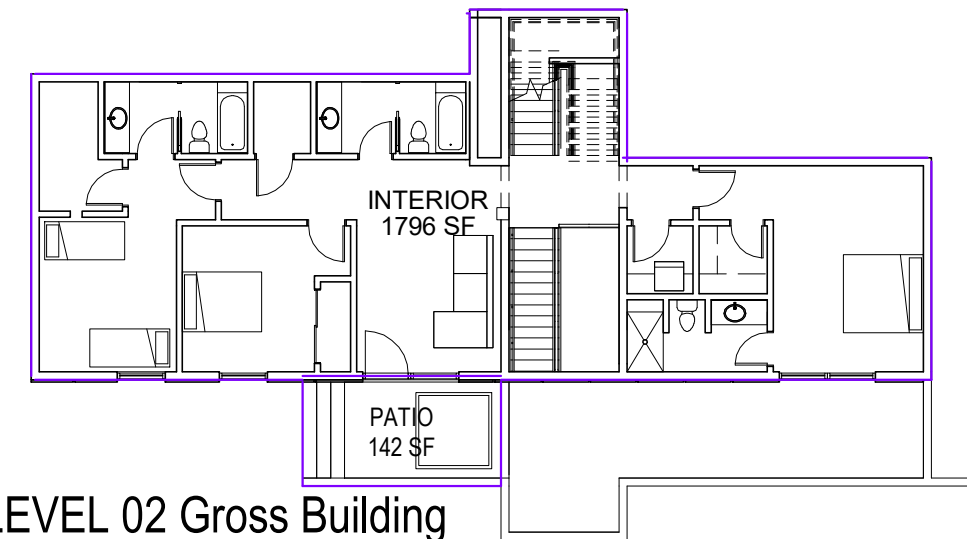
LEVEL 01	
CLOSET	35 SF
ENTRY	212 SF
GARAGE	606 SF
LEVEL 01: 3	853 SF
LEVEL 02	
BATH	39 SF
BATH	33 SF
BATH	67 SF
BATH	36 SF
BATH	33 SF
BEDROOM 2	242 SF
BEDROOM 3	146 SF
BEDROOM 4	182 SF
CLOSET	61 SF
CLOSET	19 SF
CLOSET	32 SF
COR.	25 SF
CORRIDOR	115 SF
DEN	152 SF
LAUNDRY	31 SF
LINEN	28 SF
STAIR/CORRIDOR	155 SF
LEVEL 02: 17	1398 SF

Room Schedule -Usable SF	
Name	Area

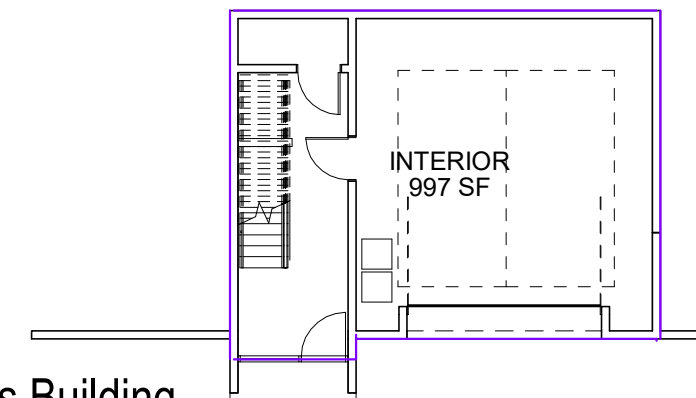
LEVEL 03	
BATH	30 SF
BATH	121 SF
BATH	24 SF
BEDROOM 1	243 SF
CLOSET	72 SF
CORRIDOR	47 SF
CORRIDOR	46 SF
CORRIDOR	111 SF
LIVING/KITCHEN	1024 SF
LEVEL 03: 9	1719 SF
Grand total: 29	3970 SF



LEVEL 03 Gross Building



LEVEL 02 Gross Building



LEVEL 01 Gross Building

Area Schedule - Gross...	
Level	Area

LEVEL 01	997 SF
LEVEL 02	1796 SF
LEVEL 03	2099 SF
	4892 SF

Bold purple lines indicate area boundary.

AREA BREAKDOWN

219 HILLSIDE DRIVE

04/27/2023





PLANT LEGEND

symbol	quan	description	planted size
	9	Evergreen Trees Douglas Fir - <i>Pseudotsuga menziesii</i> var. <i>glauca</i> Bristlecone Pine - <i>Pinus aristata</i>	10'
	6	Aspen Groupings Quaking Aspen - <i>Populus tremuloides</i>	2" & 3" Cal.
	3	Small Accent Tree Russian Hawthorn - <i>Crataegus ambigua</i>	2" Cal.
	46	Shrubs Snowmound Spirea - <i>Spiraea x nipponica</i> 'Snowmound' Common Snowberry - <i>Symphoricarpos albus</i> American Cranberrybush - <i>Viburnum trilobum</i>	5 Gal.
	50	Ornamental Grasses & Perennials Reed Grass, Switch Grass, Blue Oat Grass	1 Gal.
	3,300 sq ft	Low Maintenance Grasses Fescue Blend	Hydroseed

*Proposed plants to be drought tolerant

LEGEND

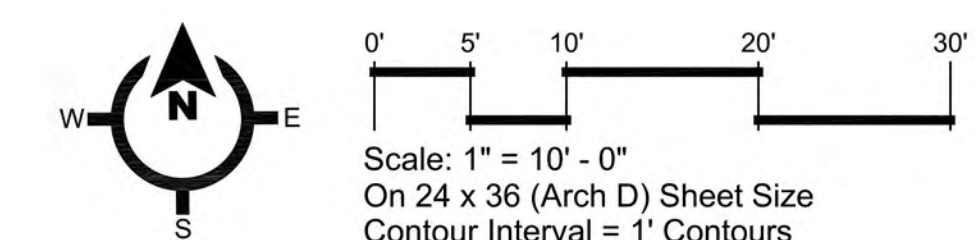
	Property Line (Per Survey)
	Existing Contour (Per Survey)
	Proposed 1' Contour (See Civil Plan For Grading)
	Proposed Boulders
	Gravel
	Heated Paver Driveway
	Stone Entry
	Existing Evergreen Tree (To Remain)
	Existing Trees (To Be Removed)

LANDSCAPE NOTES

- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Planting beds shall have 3" cover of decorative rock.

IRRIGATION NOTES

- Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and rain/freeze sensor for a water wise system.
- Rotors to be used in grass & lawn areas and drip irrigation shall be installed adjacent to buildings in planting beds and around tree plantings in natural areas.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- No irrigation heads to be installed in Right of Way.



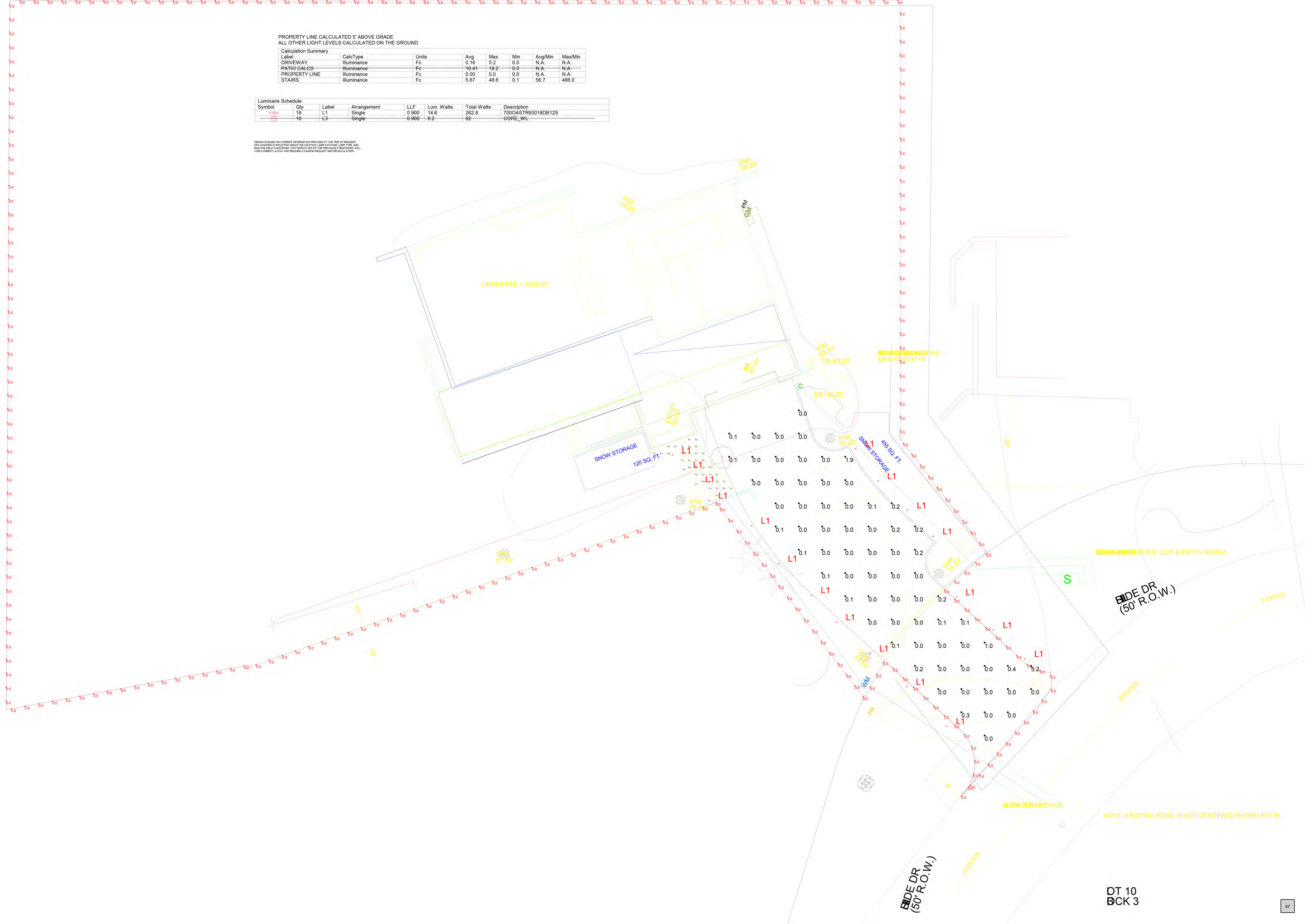
The designs and concepts shown are the sole property of NS Consulting. The drawings may not be used except with the expressed written consent of NS Consulting, PLLC.

PROPERTY LINE CALCULATED 5' ABOVE GRADE
ALL OTHER LIGHT LEVELS CALCULATED ON THE GROUND

Calculation Summary						
Label	Calc Type	Units	Avg	Max	Min	Avg/Min
DRIVEWAY	Illuminance	Fc	0.16	5.2	0.0	N.A.
PATIO-CALCS	Illuminance	Fc	10.41	18.2	0.0	N.A.
PROPERTY LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.
STAIRS	Illuminance	Fc	5.67	48.6	0.1	56.7

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts
□	18	L1	Single	0.900	14.6	262.8
□	10	L3	Single	0.900	8.2	82

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP BATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RE-CALCULATION.



The Strut LED path exemplifies the epitome of a modern, minimalist aesthetic. The clean lines and modern design can effortlessly disappear into the setting or be positioned to make a bold statement. Also available as a matching 42" bollard. Ideal for outdoor path and campus illumination.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Bolt or Stake mounting options

SPECIFICATIONS

DELIVERED LUMENS	693.1
WATTS	15
VOLTAGE	12V (Transformer sold separately)
DIMMING	MLV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Bolt or Stake
CCT	2700K, 3000K
CRI	90
COLOR BINNING	3 Step
BUG RATING	B0-U1-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	4 lbs.

* Visit techlighting.com for specific warranty limitations and details.



STRUT PATH
shown in bronze

STRUT PATH
shown in charcoal

STRUT PATH
shown in black

12V AC TRANSFORMERS*

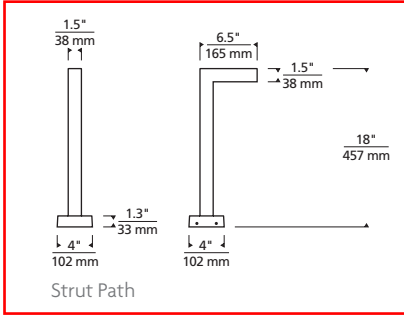
(OUTDOOR RATED, ORDERED SEPARATELY)

ITEM	DESCRIPTION	HOUSING	DIMMING
700OT150T	MAGNETIC, 150W, 120V	STAINLESS STEEL	MAGNETIC
700OT300T	MAGNETIC, 300W, 120V	STAINLESS STEEL	MAGNETIC

ORDERING INFORMATION

PRODUCT	CRI/CCT	LENGTH	LENS	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
700OASTR	927 90 CRI, 2700K 930 90 CRI, 3000K	18' 18'	D DIFFUSE	Z BRONZE H CHARCOAL B BLACK	12 12V*	S SYMMETRIC	CONCRETE MOUNT ST STAKE MOUNTING KIT

*12V TRANSFORMER ORDERED SEPARATELY.

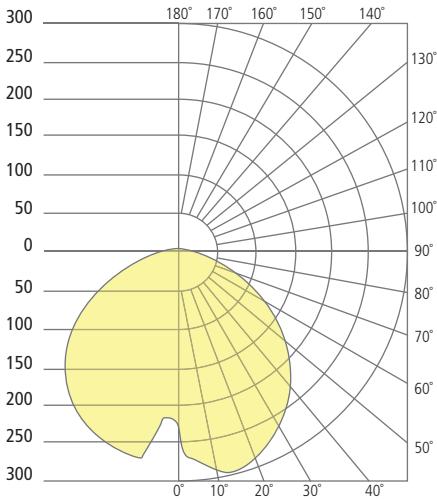


PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

STRUT PATH

Total Lumen Output: 693.1
 Total Power: 14.6
 Luminaire Efficacy: 47
 Color Temp: 3000K
 CRI: 80+
 BUG Rating: B0-U1-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Miller Residence	)	KETCHUM PLANNING & ZONING COMMISSION
Conditional Use Permit	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023	)	DECISION
)	
File Number: 22-046A)	

PROJECT: Miller Residence

FILE NUMBER: P22-046A

APPLICATION TYPE: Conditional Use Permit

REPRESENTATIVE: Aaron Bunse – Studio DVLP, LLC (architect)

PROPERTY OWNER: Paramount Property Development LLC

LOCATION: 219 Hillside Drive (Lot 9, Block 5, Warm Springs Valley Subdivision)

ZONING: Limited Residential (LR) & Mountain Overlay (MO)

REVIEWER: Paige Nied – Associate Planner

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 219 Hillside Drive Design Review (Application File No. 22-046) and Conditional Use Permit (Application File No. 22-046A) applications during their regular meeting on June 13, 2023, meeting of the Planning & Zoning Commission and was continued to a regular meeting on July 11, 2023. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 24, 2023. The public hearing notice was published in the Idaho Mountain Express on May 24, 2023. A notice was posted on the project site and the city’s website on June 6, 2023. Story poles were documented on the project site as of June 6, 2023.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing a new 3,745 square foot three-story single-family residence (the “project”), located at 219 Hillside Drive (the “subject property”). The project contains four bedrooms and an attached two car garage. The subject property is zoned Limited Residential (LR) in the Mountain Overlay District (MOD), and the lot is currently vacant.

The project will construct improvements in the right-of-way per the City of Ketchum improvement standards. The project proposes paver a driveway with no snowmelt system. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

During the Planning and Zoning meeting on June 13, 2023, the Commission requested additional information regarding the avalanche retaining wall’s flow deflection and roof pitches of the home and continued the applications to the July 11, 2023, meeting. The applicant submitted a clarification letter to accompany the site-specific avalanche report, revised the grading and architectural plans to increase the exposed height of the retaining wall, and removed the can exterior lighting fixtures from the patio. Upon review of the new application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review and Conditional Use Permit applications.

FINDINGS REGARDING COMPLIANCE WITH CONDITIONAL USE PERMIT CRITERIA

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			<i>Staff Comments</i>	The project includes an avalanche retaining wall to the rear of the residence, requiring a conditional use permit. The function of the avalanche wall is to protect the proposed structure, adjacent structures, and to prevent snow from sliding onto the Hillside Drive right-of-way. Staff finds the avalanche protective structure for the project to be compatible with the zoning district, as other conditional use avalanche protective structures have been permitted on Hillside Drive and in the surrounding neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			<i>Staff Comments</i>	As previously mentioned, the function of the avalanche wall is to protect the proposed structure, adjacent structures, and to prevent

				<p>snow from sliding onto the Hillside Drive right-of-way. The applicant submitted a site-specific avalanche study and avalanche wall plans designed by a structural engineer to withstand the anticipated forces. The wall is located perpendicular to the projected avalanche flow to not deflect avalanches onto adjacent properties or damage/endanger persons or property in the vicinity of the project.</p> <p>Since the June 13th Planning & Zoning meeting, the applicant submitted revised civil plans which indicate the uphill grade north of the foundation has been lowered in order to expose more of the vertical foundation wall. The applicant also submitted a new north elevation architectural sheet to reflect the new exposed wall height. Previously, the maximum exposed height of the wall was three feet, and the revised plans indicate the maximum exposed height of the wall is five feet. This was done in an effort to increase avalanche safety to the proposed structure and surrounding properties by having a higher wall exposed to mitigate avalanche forces. However, as explained by Alpine Enterprises Inc. during the June 13th meeting, during this time of year much of the wall will be covered by snow on the ground. The entirety of the retaining wall (which is built vertically into the hillside), roof design, and regrading uphill above the wall are cohesive elements to the design which will protect the structure and adjacent structures from avalanche forces.</p> <p>In addition to the revised civil and architectural drawings, the applicant submitted a Snow Avalanche Hazard Evaluation clarification letter, dated June 3, 2023, produced by Alpine Enterprises Inc. which provides a detailed analysis of the methods used and findings in the site-specific avalanche report for the project. It presents three different avalanche scenarios which all indicate that the proposed development does not increase the danger to adjacent properties, compared to the existing danger if the development were not constructed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			<i>Staff Comments</i>	The proposed development is platted within the Warm Springs Valley Subdivision that was recorded in 1963. The subject property was identified as being within an Avalanche Zone by the City of Ketchum in 1979. The proposed conditional use avalanche protective wall will not be hazardous or conflict with existing and anticipated traffic in the neighborhood. A function of the avalanche protective wall is to act as a mitigation structure and prevent snow from sliding onto the Hillside Drive right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.

			<i>Staff Comments</i>	As mentioned above, all departments have reviewed the proposed conditional use including streets, fire, water, wastewater, planning and engineering. The conditional use permit is for the structure's avalanche protective wall. Avalanche protective walls do not require public facilities or services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			<i>Staff Comments</i>	The community's core values in the City of Ketchum's 2014 Comprehensive Plan include protecting the community character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. Staff believes that the goals and policies of the comprehensive plan related to hillside development are met with the proposed project as the single-family residence is within the list of primary uses anticipated in the future land use category and due to the location of the structure sited at the minimum front yard setback to cause minimal impact on the visual character of the hillside.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Conditional Use Permit application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.116.040.
4. The 219 Hillside Drive Conditional Use Permit application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** this Conditional Use Permit Application File No. P22-046A this Tuesday, August 8, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This conditional use permit approval is based on the project plans presented at the July 11, 2023, Planning and Zoning Commission meeting. Building Permit Plans must conform to the

approved plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.

2. This Conditional Use Permit is not transferable from one parcel of land to another.
3. The conditional use permit is subject to all conditions of approval associated with Design Review approval P22-046.
4. The term of this Conditional Use Permit shall be that of Design Review approval P22-046. In the event the Design Review approval expires, this Conditional Use Permit approval shall also expire and become null and void.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Pratt Residence	)	KETCHUM PLANNING & ZONING COMMISSION
Design Review	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023	)	DECISION
)	
File Number: 23-009)	

PROJECT: Pratt Residence

FILE NUMBER: P23-009

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Nathan Hecker – Farmer Payne Architects (architect)

PROPERTY OWNER: Bradley and Gail Pratt

LOCATION: 406 Sage Road (Lot 23, Block 3, Warm Springs Valley Subdivision Fourth Addition)

ZONING: General Residential – Low Density (GR-L), Mountain Overlay (MO), Avalanche Overlay (A)

REVIEWER: Paige Nied – Associate Planner

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 406 Sage Road Design Review (Application File No. 23-009) and Conditional Use Permit (Application File No. 23-009A) applications during their regular meeting on July 11, 2023. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on June 21, 2023. The public hearing notice was published in the Idaho Mountain Express on June 21, 2023. A notice was posted on the project site and the city’s website on July 3, 2023. Story poles were documented on the project site as of July 3, 2023.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing to demolish an existing 2,016 square foot single family residence and construct a new 5,939 gross square foot three-story single-family residence (the “project”), located at 406 Sage Road (the “subject property”). The project contains four bedrooms and an attached two car garage. The subject property is zoned General Residential – Low Density (GR-L) in the Mountain Overlay District (MOD) and Avalanche District (A).

The project will construct improvements in the right-of-way per the City of Ketchum improvement standards. The project proposes a paver driveway with a snowmelt system. The snowmelt system is located entirely on the property and not within the Sage Road right-of-way. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area Required: 8,000 square feet Existing: 136,408 square feet (3.13 acres)
			Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage Permitted: 35% Proposed: 2.7% (3,692 square feet building coverage / 136,408 square feet lot area)
			Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks Minimum Required Setbacks: Front: 15' Side: > of 1' for every 3' in building height, or 5' (13'-4" required) Rear: > of 1' for every 3' in building height, or 15' (13'-4" required) Proposed: Front (Sage Road/east): 15'-2½" Side (south): 13'-4 ¾" Side (north): 13'-6 ¾" Rear (west): 1,023'
			Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height Maximum Permitted: 35' (properties which step up or down hillsides may extend 5 feet above the maximum height permitted in the zoning district)
			Finding	

				Proposed: 39'-6"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H Finding	Curb Cut Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 16% (20-foot-wide driveway/127.82 feet of property frontage along Sage Road).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050 Finding	Parking Spaces Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Residential (one family dwelling), in all applicable zoning districts require two parking spaces. Proposed: The project proposes three parking spaces within the enclosed garage.

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
Finding: The project proposes to construct a new paver driveway that accesses the property from Sage Road. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
Finding: The City Engineer has reviewed the proposed driveway design and finds it to be sufficient for the project.	
All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	N/A
Finding: N/A. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
Finding: N/A. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	N/A
Finding: N/A. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the GR-L Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A

Finding: N/A. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for this project.

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES
<p>Finding: Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES
<p>Finding: The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell/catch basin improvements are sufficient to maintain all storm water drainage on-site. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p>Finding: The drainage improvements include the installation of a trench drain bordering the width of the driveway along Sage Road. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards.</p>	

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: As shown on Sheet C1.0 of the project plans, the applicant proposes abandoning the existing private well service and connecting to the municipal water and sewer systems from existing lines on Sage Road. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: N/A. Extension of utilities is not necessary to service the proposed development.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: Pursuant to KMC §17.96.060.E.1, “The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.” Sage Road features residences built at varying timeframes resulting in a diverse range of materials and architectural styles. This has resulted in mountain modern architectural styles (flat roofs, high percentage of glazing, and cold materials such as concrete and metal) mixed with older traditional styles (pitched roofs and warm materials such as wood and stone). The adjacent structure to the lookers right recently received Design Review approval on June 27, 2023 (File No. P22-070) to demolish the existing three-story traditional log cabin style attached townhouse development with a modern style flat roof and high glazing detached townhomes. The structure to the lookers left is also a three-story high townhouse of a more traditional design that utilizes shed roofs and wood materials. The architectural style of the proposed residence is three stories in height and features a modern design with flat roofs, large windows, and a mix of wood, steel, and stone siding.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: The subject property is developed with an existing single-family residence that was constructed in 1966 and is proposed to be demolished. While the existing structure is more than 50 years old, it is not designated on the City’s adopted Historic Building/Site List. Review by the Historic Preservation Commission is not required; however, a demolition permit cannot be issued for the existing residence until a 60-day waiting period has concluded (KMC §15.16.040.B3) and a complete building permit application for a replacement project on the property has been accepted by the city and required fees have been paid (KMC §17.20.010.B).	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: As stated previously, the proposed development utilizes a mountain modern design which utilizes clean lines, large windows, flat roof, and a mix of materials including wood, stone, concrete, and steel.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: The project utilizes wood, steel, and stone siding materials and black trimmed windows throughout the project.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: No accessory structures or fences are proposed. The project proposes landscaping improvements that restore disturbed hillside areas. These landscaping improvements complement and soften the visual appearance of the single-family residence. The front, side, and rear yard	

setback areas will be restored and revegetated with native grasses. Shrubs are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New Evergreen, Aspen, and Russian Hawthorn trees will be installed to providing screening for the residence from adjacent properties.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
Finding: The proposed residence is three stories in height and each floor of the structure is stepped back into the hillside, providing undulation and relief. Additionally, the proposal features multiple wall and deck pop-outs to reduce the appearance of flatness.	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The residence is proposed to be oriented towards the primary street frontage along Sage Road.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: No satellite receivers are proposed for the project. As shown on Sheet A201 of the project plans, the garage contains storage space to accommodate garbage bins. The garbage storage area will be contained within the enclosed garage and fully screened from public view.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: The roof plan indicates that metal gutters will be installed, and the roof will be sloped to downspouts, as shown on Sheet A204 of the project plans. Further, the roof plan states that heat tape will be installed at all gutters and downspouts.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	N/A
Finding: N/A. This project is located within the Sage Road area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
<p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the GR-L Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
<p>Finding: The proposal is for a residential development along a low traffic area on Sage Road. The City Engineer has reviewed the proposed driveway and finds its circulation design to meet city standards.</p> <p>Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
<p>Finding: The proposed driveway is located further than 20 feet away from the nearest intersection of Sage Road and Lloyd Court.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
<p>Finding: Access for emergency vehicles, snowplows, and garbage trucks is provided along Sage Road.</p>	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
<p>Finding: Sheet L-1.0 shows the proposed snow storage areas to include a total of 989 square feet, greater than the required 30% (2,507 * .30 = 752 square feet).</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: Sheet L-1.0 shows the locations of the snow storage areas on-site.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: Sheet L-1.0 shows that no snow storage area has dimensions less than five feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
Finding: The applicant is proposing a driveway snowmelt system within the property boundary and not within the Sage Road right-of-way. In addition to the snowmelt system, the project is also proposing snow storage areas on-site.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheets L-1.0, L-1.1, L-2.0, L-3.0, and L-4.0 of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The front, side, and rear yard setback areas will be restored and revegetated with native grasses. Shrubs and trees are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New native chokecherry trees will be installed to provide screening for utilities and new hackberry, spruce, and hawthorn trees will be installed to provide screening for the residence from adjacent properties. Maple trees are proposed in front of the residence to screen the structure from Sage Road. Boulders, ornamental grasses, vines, and perennials are also proposed around the structure.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan proposes drought-tolerant and native species, including bristlecone pine and common hackberry trees, native shrubs, and drought tolerant grasses. The Commission recommended that the Columnar Armstrong Maple trees be replaced with a tree that is drought tolerant and the applicant stated that those trees will be replaced with drought tolerant trees.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The proposal intends to provide landscaping on the front and side yards allowing for privacy between adjacent properties.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
Finding: N/A. The subject property is located within the GR-L Zone, and sidewalks are not required to be installed for this project.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed, and the structure is not located within the riparian setback.	

FINDINGS REGARDING COMPLIANCE WITH MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS

Mountain Overlay Design Review Standards (KMC §17.104.070.A)				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein,

				shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The proposed residence is sited at the lower elevation of the parcel preserving the natural topography of the hillside above.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	As the proposal occurs at the lower elevation of the subject property, all building, excavating, filling and vegetation disturbance will not occur at a point on the hillside which has a material visual impact visible from a public vantage point.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Findings	The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Findings	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. The Fire Department has reviewed the project plans and has found that all access requirements for emergency vehicles have been met. Emergency vehicle access shall be reviewed and approved by the Fire Department prior to issuance of a building permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Findings	There are no significant rock outcroppings within the property boundary of the subject property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Findings	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code, fire code, and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
			17.104.070.A.7	Public water and sewer service comply with the requirements of the City.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Findings	As shown on C1.0 of the project plans, the applicant is proposing to abandon the existing well service and connect to the municipal water and sewer systems from existing lines within Sage Road. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Departments prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Findings	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.9	<p>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</p> <p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
			Findings	<p>The proposed residence is sited slightly above the minimum front yard setback at 15'-2 ½". The proposed driveway on Sage Road is 20 feet in width.</p> <p>The landscape plan proposes a variety of drought tolerant trees, shrubs, and grasses that will conceal any cuts and fills the project has.</p> <p>The Fire Department has reviewed the project plans and recommended a 26-foot aerial fire apparatus access road for the project, which is proposed in the project plans. Fire Protection Ordinance No. 1217 (KMC §15.08.080) requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The project complies with the fire protection and defensible space standards specified in KMC §15.08.080. The Fire Department is not requiring a driveway snowmelt system for the project.</p>

			17.104.070.A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Findings	<p>The proposed residence is situated just slightly above the minimum required front yard setback (of 15') at 15'-2 1/2". The applicant is proposing to demolish the existing single-family residence and retain the existing configuration of the property. Therefore, subsection B of the Planning and Zoning Commission's Zoning Code Interpretation 22-001 is applicable to the project. This requires the project to demonstrate that the project does not exceed the height or limits of disturbance of the existing nonconforming home. Staff believes that to comply with criteria #10, more compliant and suitable locations for development are those outside of 25% or greater slopes, particularly when a site is previously disturbed.</p> <p>Currently, the existing nonconforming single-family residence on the property is located outside of the 25% slope. However, due to the grading lines on the site survey (Figure 3), it appears that the entire lot was previously within 25% slope and was graded for the construction of the existing structure on the lot.</p> <p>The proposed development differs by increasing the disturbance into the 25% slope area of the lot. No portion of the proposed residence will encroach into the 25% slope area. However, 396 square feet of disturbance into the hillside is proposed for the structure's construction. This disturbance is not reflected in the current plan set, as staff had brought it to the applicant's attention that the existing limits of disturbance diagram on Sheet A200C of the plan set had not accurately reflected the site survey. The applicant informed staff that an outdated site survey had been used and sent staff a revised Sheet A200C which increased the proposed limits of disturbance from 254 square feet to 396 square feet. The MOD does encourage development to be sited down on the hillside, which the proposed residence does by having just slightly above the minimum required front yard setback. However, as the development uses more of the western portion of the lot, the development does see encroachment into the 25% slope area. In previous Mountain Overlay applications, the Commission has been supportive of minor encroachments into the 25% slope area for permanent structures. The project is proposing temporary encroachment into the 25% slope for construction that would be reclaimed following completion of the project. Therefore, staff is supportive of the proposed temporary encroachment into the hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Findings	No access traversing 25% or greater slopes is proposed.
			17.104.070.A.12	Utilities shall be underground.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Findings	The utility improvements are indicated on Sheet C1.0 of the project plans. The project will utilize sewer, gas, and electrical service from Sage Road. The Utilities Department reviewed the project plans and the service connections for compliance with city requirements. Pursuant to condition of approval #2, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Findings	Sheet C1.0 of the project plans shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be required to be submitted with the building permit application. City Departments will conduct a comprehensive review of the proposed construction management plan during plan review for the building permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Findings	The project minimizes building, excavating, filling, and vegetation disturbance by containing all construction activity within a majority of the existing disturbed area on the subject property. The proposed cut and fill quantities are specified on Sheet C4.0 of the project plans. The total volume of the proposed cut is 2057.7 cubic yards. The proposed fill comes out to 83.7 cubic yards. The proposed residence is sited at the lower elevation of the parcel, which preserves the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within the rear and side yard setback areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070.A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Findings	No significant landmarks have been identified on-site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070.A.16	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Findings	This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 406 Sage Road Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** this Design Review Application File No. P23-009 this Tuesday, August 8, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the project plans presented at the July 11, 2023, Planning and Zoning Commission meeting, included as Exhibit A to these findings. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

Exhibit A: Design Review Plan Set

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0080

Sun Valley
351 N. Louisville Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pierremont Rd, Suite 410
Shreveport, LA 71106
T.318.363.1100

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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479
5/4/23
Scott Payne
STATE OF IDAHO
EXP. 6.25.23

DESIGN REVIEW SET



P R A T T R E S I D E N C E

406 SAGE RD, KETCHUM
ID 83340

DATE:	5/4/23
PROJECT #:	SV2202
DRAWN:	NH/AB
ISSUE:	
Design Review	3.31.23
Design Review Response	

A101
COVER SHEET

PRATT RESIDENCE

406 Sage Rd, Ketchum, ID 83340

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0080

Sun Valley
351 N Locustville Ave, Suite 204
Ketchum, ID 83340
T.208.214.5155

Lochiana
910 Pierremont Rd, Suite 410
Shreveport, LA 71106
T.218.388.3100

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AR 986479
5/18/23

EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE
406 SAGE RD, KETCHUM ID 83340

PROJECT DIRECTORY

Architect: **Farmer Payne Architects**
Nate Hecker Architect, Project Manager, AIA
Aaron Belzer Architect, Associate, AIA
Scott Payne Principal, AIA, LEED AP
351 N Leadville Avenue, Suite 204
Ketchum, ID 83340
t: 208.214.5155
e: nate@farmerpaynearchitects.com
aaron@farmerpaynearchitects.com
scott@farmerpaynearchitects.com

Contractor: **Poster Construction**
Riley Sibbach Superintendent
Richard Brownson Project Manager
Brian Poster President, Owner
120 Second Avenue, North, Suite 105
Ketchum, ID 83340
t: 208.726.7676
e: riley@poster-construction.com
richard@poster-construction.com
brian@poster-construction.com

Interior Designer: **Jennifer Hoey Interior Design**
Madison King Designer
Jennifer Hoey Founder, ASID, NCIDQ
300 North Main Street, Suite 202
Ketchum, ID 83340
t: 208.726.1561
e: madison@jenniferhoey.com
jennifer@jenniferhoey.com

Structural Engineer: **Maxwell Structural Design Studio**
Jack Swanson EIT
Craig Maxwell Founder, PE
106 Lewis Street, Suite 205
Ketchum, ID 83340
t: 208.721.2171
e: jack@maxwellsds.com
craig@maxwellsds.com

Landscape Architect: **Gardenspace Design**
Denise Ford Landscape Architect
Dean Hernandez Founder
101 East Bullion Street, Studio 2J
Halley, ID 83333
t: 208.721.0987 / 208.720.7210
e: denise@gardenspacedesigns.com
dean@gardenspacedesigns.com

Civil Engineer / **Alpine Enterprises**
Avalanche Consultant
Bruce Smith Land Surveyor
Alex Nelson Civil Engineer & Surveyor, PE
660 Bell Drive, Unit 1
Ketchum, ID 83340
t: 208.727.1988
e: bsmith@alpineenterprisesinc.com
alexnelson@alpineenterprisesinc.com

CODE ANALYSIS

2018 International Residential Code
2018 IFC
2018 IECC
City of Ketchum Building & Fire Ordinances

Occupancy Residential
Construction Type Type V-B
Number of Stories 3
Building Height 39'-6"
Zoning: GR-L / Avalanche
Deferred Submittal Signage Package
Fire Detection Design
Fire Sprinkler Alarm Design
Fire Sprinkler Design

SQUARE FOOTAGE TABULATIONS

Lower Level Habitable	406 sf
Main Level Habitable	2,178 sf
Upper Level Habitable	2,044 sf
TOTAL HABITABLE	4,628 sf
Mechanical	162 sf
Garage (Carport)	1,149 sf
TOTAL NON-HABITABLE	1,311 sf
GROSS SQUARE FOOTAGE	5,939 sf

BLDG COVERAGE TABULATIONS

LOT SIZE 136,408 sf
ALLOWABLE PER ZONING CODE: 35% (47,743sf)
PROPOSED COVERAGE: 2.7% (3,692 sf)

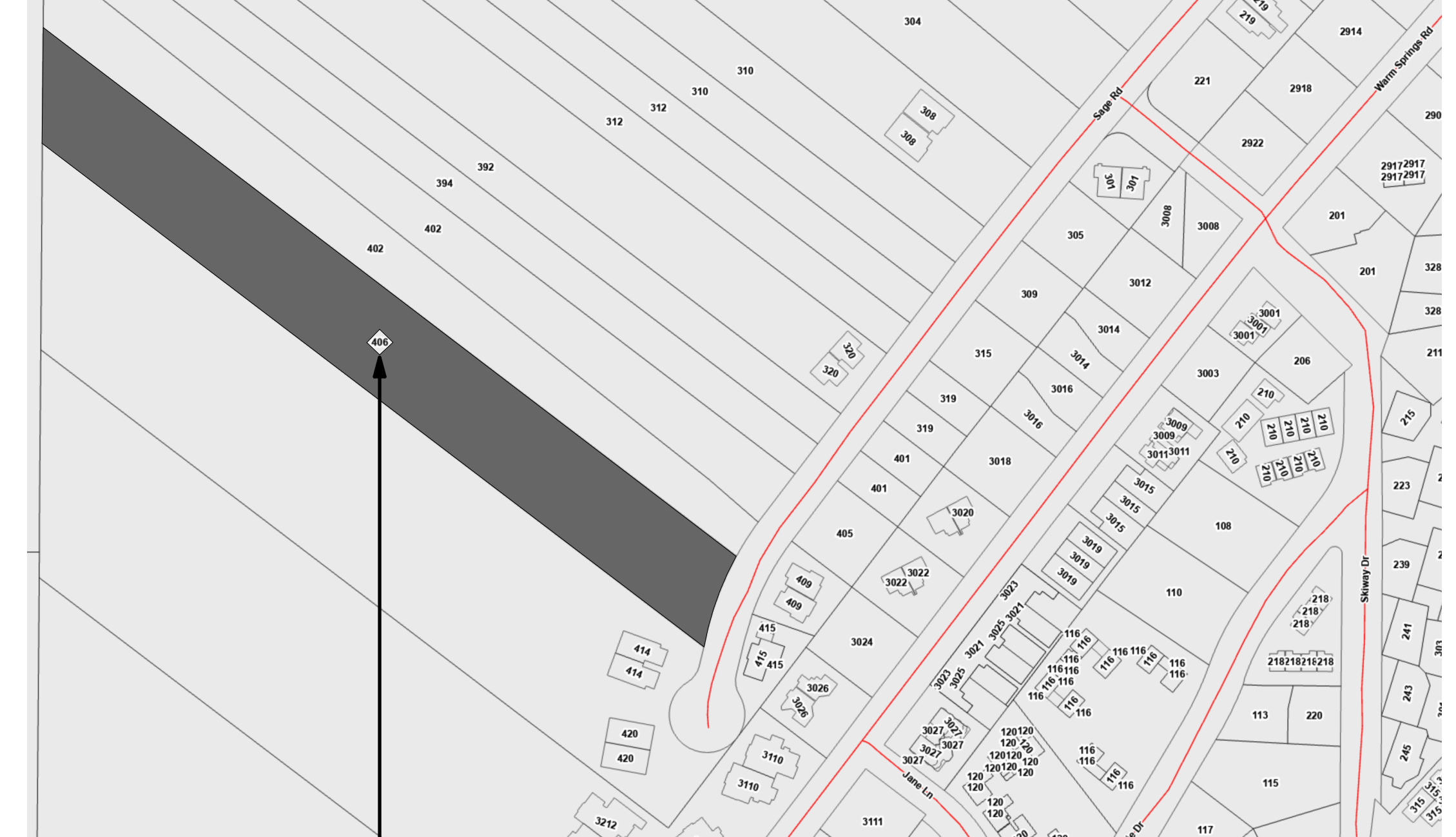
SETBACKS

REQUIRED:	PROPOSED:
Front: 15'-0"	15'-2 1/2"
Side: 13'-4" (Based on 40' Bldg Ht)	13'-4 3/4" South Side
Side: 13'-4" (Based on 40' Bldg Ht)	13'-6 3/4" North Side
Rear: 15'-0"	1,034'

DRAWING INDEX

A100	Cover	STRUCTURAL
A101	General Notes	S1.0 Structural Specifications
A102	Renderings	S2.0 Foundation Plan
A103	Renderings	S2.1 Second Level Floor Framing Plan
A104	Material Board	S2.2 Third Level Floor Framing Plan
		S2.3 Lower Roof Framing Plan
		S2.4 Upper Roof Framing Plan
C—	Survey	S3.0 Foundation Details
C—	Slope Range Map	S3.1 Concrete Wall Sections
C1.0	Civil Site Plan	S3.2 Concrete Wall Sections
C2.0	Civil Details	S3.3 Concrete Wall Sections
C3.0	Civil Details	S3.4 Concrete Wall Sections
C4.0	Cut / Fill Volume Map	S3.5 Concrete Wall Sections
		INTERIOR DESIGN
L-1.0	Landscape Site Plan	ID Mini Spec
L-1.1	Existing Conditions	ID Mini Spec
L-1.2	Construction Management Plan	ID Mini Spec
L-2.0	Hardscape Dimension Plan	ID Furniture Plans
L-3.0	Planting Plan	ID Furniture Plans
L-4.0	Sample Plants and Materials	ID Furniture Plans
		ARCHITECTURAL
A200A	Context Diagrams	A201 First Level Plan - Noted
A200B	Architectural Site Plan	A202 Second Level Plan - Noted
A200C	Disturbance Diagrams	A203 Third Level Plan - Noted
		A204 Roof Plan
A201	First Level Plan - Noted	A211 First Level RCP & Exterior Lighting
A202	Second Level Plan - Noted	A212 Second Level RCP & Exterior Lighting
A203	Third Level Plan - Noted	A213 Third Level RCP & Exterior Lighting
A204	Roof Plan	A214 Exterior Lighting Spec.
A211	First Level RCP & Exterior Lighting	A215 Photometric Plans
A212	Second Level RCP & Exterior Lighting	
A213	Third Level RCP & Exterior Lighting	
A214	Exterior Lighting Spec.	
A215	Photometric Plans	
A300	Building Elevations	
A301	Building Elevations	
A303	Facade Stepback Diagram	
A401	Building Sections	
A402	Building Sections	
A403	Building Sections	
A701	Window Schedule	
A702	Door Schedule	

NEIGHBORHOOD MAP



PROJECT LOCATION
406 Sage Rd, Ketchum, ID 83340



GENERAL NOTES

- The structural, mechanical and electrical drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before the installation of structural, mechanical, electrical, and plumbing work. Any discrepancy between the architectural drawings and the consulting engineers drawings, shall be brought to the architects attention for clarification prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at his expense and at no additional expense to the owner or architect.
- Contractor shall verify all conditions and dimensions at job site prior to bidding and start of construction. If discrepancies are found, the architect shall be notified for clarification before commencing work.
- All symbols and abbreviations used on the drawings are considered to be construction standards. If the contractor has questions regarding some, or their exact meaning, the architect shall be notified for clarification.
- All work shall conform to the requirements of the most current edition of the International Residential Code. The most current adopted version NFPA 101 Life Safety Code, National Electric Code, The Uniform Plumbing Code, The Uniform Mechanical Code, and all other governing authorities having jurisdiction.
- Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, structural steel, trusses, etc. Contractor shall submit samples for all finishes. All submittals shall be approved by architect before installed.
- All dimensions are to face of concrete, face of column or center line, face of concrete block walls and face of studs unless otherwise noted.
- Offset studs where required so that finish wall surface will be flush.
- All exterior walls are 2x6 and all interior walls are 2x6 unless otherwise noted or dimensioned.
- Ceiling height dimensions are to structural or framing surfaces. Coordinate finishes with interior finish schedule.
- Gypsum boards shall extend 6" above ceiling at all column cores and walls, unless noted otherwise.
- Install metal corner beads at all exposed wallboard edges. Install casing beads wherever wallboard, plaster, etc. abuts a dissimilar finish material and provide sealant as required.
- Extend perimeter walls of core to structure above insulation.
- Plenum spaces shall be airtight and sealed.
- Contractors shall verify size and locations of all mechanical equipment pads and bases as well as power and water or drain installations with equipment manufacturer's before proceeding with the work. Changes to accommodate field conditions or substitutions shall be made without additional charge to owner.
- Ducts penetrating stud walls or shaft walls be provided with necessary frames, bracing and sealant around the opening.
- Contractor shall provide and install all stiffeners, bracing, back-up plates and supporting brackets required for the installation of all wall mounted or suspended mechanical, electrical or miscellaneous equipment.
- Contact between dissimilar metal shall be protected
- Contractor responsible for structural foundation, mechanical, electrical, and plumbing. Architects mechanical, electrical, and plumbing drawings are schematic and only meant for design intent.
- Roofing system shall bear U.L. listing as a class "A" system. All manufactured materials used shall bear the appropriate U.L. label.
- Contractor shall verify all concrete and masonry openings in the field prior to the fabrication of doors and frames.
- Air leakage at exterior doors shall be limited by the following:
 - All doors shall be provided with a seal or astragal
 - Doors mounted on either the inside or outside of an exterior wall shall have a minimum of one-inch lap at each jamb.
 - Doors requiring vertical track or guides shall use a continuous mounting angle, sealed in accordance with "G" listed here.
 - Doors mounted between the jambs shall have a continuous seal or baffle at each jamb.
 - Meeting rails or sections doors and meeting stiles or rails of biparting doors shall be provided with a seal, astragal or baffle.
 - Swinging and revolving doors shall be weather-stripped at the head, sill and jamb.
 - Open exterior joints around window and door frames, between wall and foundations, between wall and roof, between wall panels, at penetrations of utility services through walls, floors and roofs and all other openings in the exterior envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air leakage.
- All door sizes shown on door schedule are opening sizes. Allowance for thresholds etc. shall be taken off door. All doors and frames shall be reinforced where required for closers, stops and hardware.

SITE CONDITIONS

- The general contractor shall coordinate with the architect and civil engineer for the final building location, and driveway layout.
- The general contractor shall dispose of all excess excavated material
- The general contractor shall maintain the site throughout the course of the project by:
 - Repairing all earth related scarring such as ruts caused by equipment, spills, etc.;
 - Repairing or replacing all scarred, broken, or trees damaged by equipment movement.;
 - Exercise routine weekly removal of all refuse or other discarded material.
- The general contractor responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sewer, gas, cable, etc. The general contractor shall fill in and compact all trenches cut to install utilities on the site. The general contractor shall verify the location of all meters, cans, tanks, lines, etc., with the architect.
- The general contractor shall retain any removed topsoil for the finish grading, of which 6" shall be topsoil. All disturbed soil shall be finish graded and machine raked to achieve a uniform surface. This finish grade shall be free of rock and debris greater than 3/4" diameter, twigs, sticks, and other non-soil material and shall taper away from building.

CONDITIONS

- It is the intent of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
- The general contractor and subcontractor(s) shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.
- The general contractor shall be responsible for the performance of all construction personnel on the site.
- Code: All codes having jurisdiction shall be observed strictly in the construction or the project, including all applicable state, city and county building, zoning, electrical, mechanical, plumbing and fire codes. The general contractor shall verify all code requirements before commencement of construction and bring any discrepancies between code requirements and the construction documents to the attention of the architect.
- Cleanup: The general contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint over-spray, etc. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.
- The general contractor shall obtain all required building permits and agency approvals. The general contractor shall provide the owner with copies of permits, licenses, certifications, inspection reports, receipts for payment, and all similar documents.
- The presence of the architect on the job site does not imply approval of any work. The general contractor must call specific items to the attention of the architect if he wishes to obtain the architect's approval.
- The general contractor shall submit all proposed substitutions in writing to the architect for approval with samples, cost analysis, and sufficient information for evaluation. If a revision or substitution is made without the architect's written approval that does not conform to the contract documents, it will relieve the architect of any liability from the resulting aesthetic effect, subsequent failure, property damage, or personal injury.
- The general contractor shall perform a high quality, professional work. The work of each trade shall meet or exceed all quality

FIRE SAFETY GENERAL NOTES

Fire Sprinkler System: Installed per NFPA 13 & City of Ketchum Ordinance #1217. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.

Class 1 Standpipe System: An approved Class 1 Standpipe system is required to be installed at every floor level above and below grade and in every stairwell. Fire hose connections shall be located in an intermediate floor level landing between floors. Fire hose connections to the standpipe system in the stairwells shall be galed 2 1/2 inch NHT male couplings. The standpipe system shall be installed by the same contractor that installs the fire sprinkler system.

Fire Detection & Fire Sprinkler Alarm System: Installed per NFPA 72 & City of Ketchum Ordinance #1217. Alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.

Fire Extinguishers: Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75' travel distance to any combustibles on site, 30' to any hot work. Upon completion of the project extinguishers shall be required at ever floor landing in every stairwell as well as a minimum of one extinguisher per kitchen area (under sink). Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. Fire extinguishers located in areas other than under kitchenette sinks shall comply with section 307 of the ICC A117.1-2009

City of Ketchum Fire Protection & Defensible Characteristics Outline:
This project shall comply with the City of Ketchum Fire Protection and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, or have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12" vertical of finished grade shall be 1 hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12" horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.

FIRE SAFETY GENERAL NOTES

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DATE:	5/18/23
PROJECT #:	SV2202
DRAWN:	NH/AB
ISSUE:	
Design Review:	3.31.23
Design Review Response:	



Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0280

Sun Valley
351 N. Louisa Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pierremont Rd, Suite 410
Shreveport, LA 71106
T.225.383.3100

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LICENSED ARCHITECT
AR 986479
5/4/23
Scott Payne
STATE OF IDAHO
EXP. 6.25.23

DESIGN REVIEW SET

P R A T T R E S I D E N C E
406 SAGE RD, KETCHUM
ID 83340

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Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83301
T.307.264.0280

Sun Valley
351 N Louisa Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pierremont Rd, Suite 410
Shreveport, LA 71106
T.214.383.3100

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DATE: 5/4/23
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A104
RENDERINGS

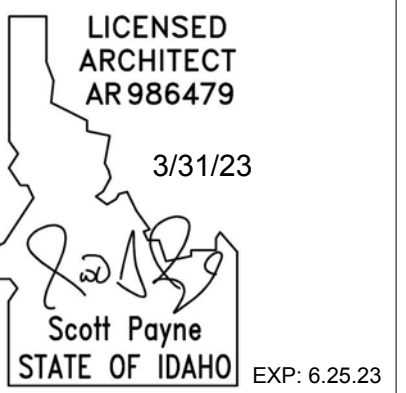
Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0080

Sun Valley
351 N. Louisville Ave., Suite 204
Ketchikan, ID 83340
T.208.214.5155

Louisiana
910 Poydras St., Suite 410
Shreveport, LA 71106
T.318.383.1300

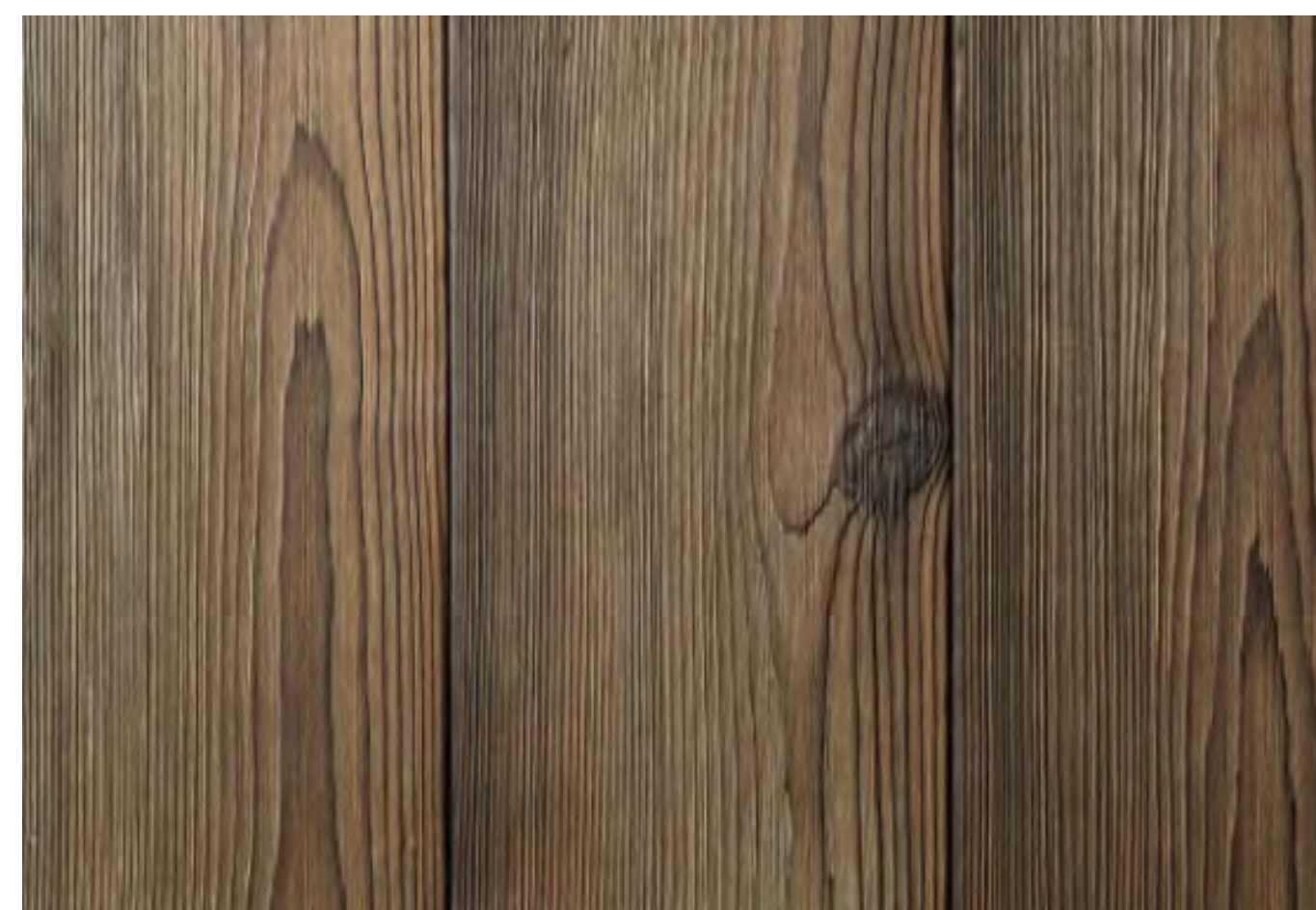
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ARCHITECT STAMP



DESIGN REVIEW SET

HEWN RUSTIC RECLAIMED WESTERN REDCEDAR SIDING



BLACK ALUMINUM GLO WINDOWS



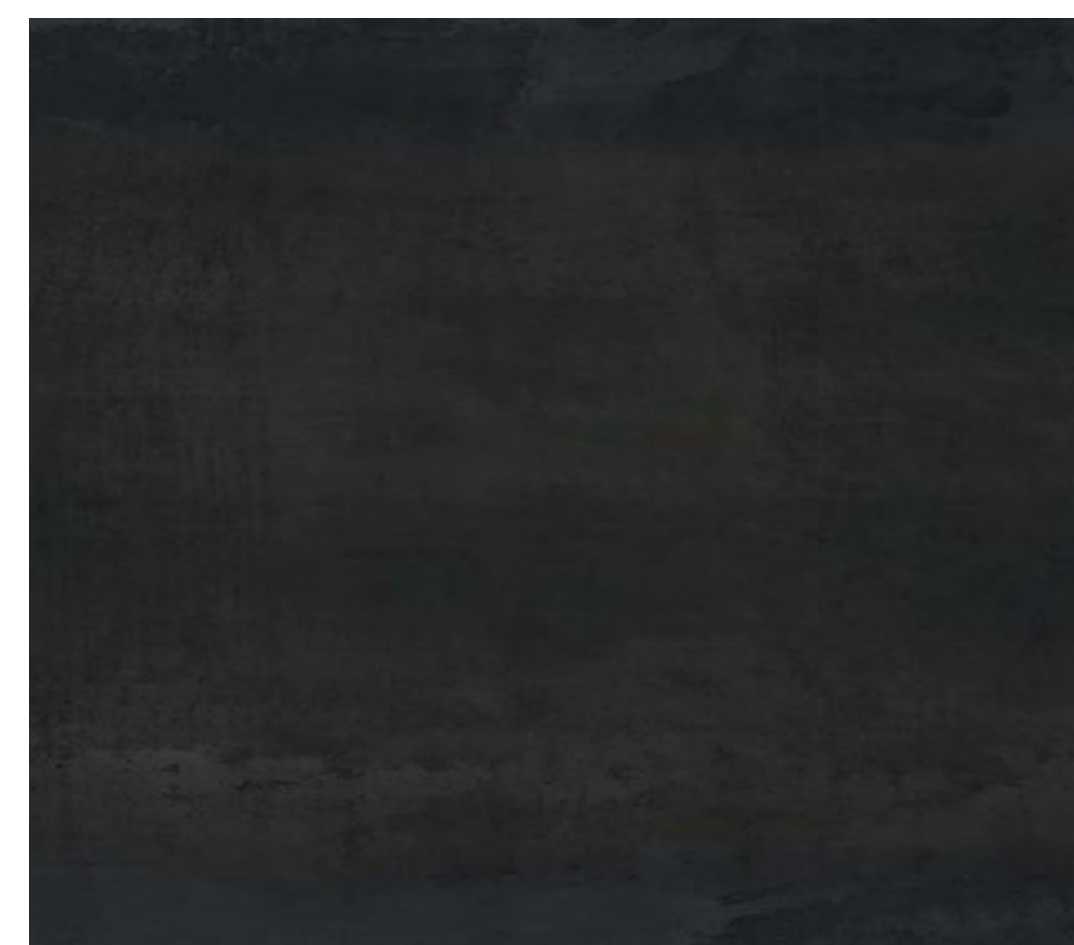
CLEAR HEMLOCK CEILING & SOFFIT



ATLAS GRANITE SELECT STONE



SMOOTH PANELIZED CONCRETE



BLACKENED STEEL

P R A T T R E S I D E N C E
406 SAGE RD, KETCHUM
ID 83340

DATE: 3/31/23

PROJECT #: SV2202

DRAWN: NH/AB

ISSUE:

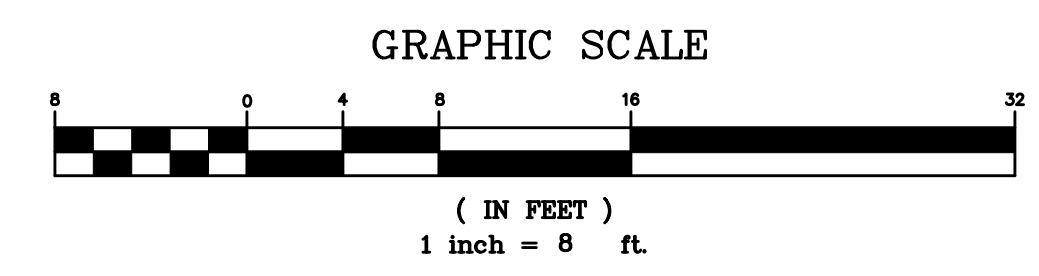
Design Review

A105
MATERIAL BOARD



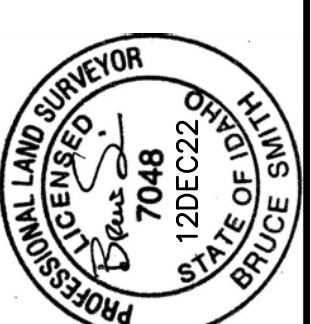
- LEGEND**
- Subject Boundary
 - Adjoiners Boundary
 - EOA = Edge of Asphalt Roadway
 - Building Setback (See Note 5)
 - Mountain Overlay District (City of Ketchum)
 - 25% Slope Line (Alpine 2022)
 - 5' Major Contour Line (Alpine 2022)
 - 1' Minor Contour Line (Alpine 2022)
 - HSE = Existing Structure
 - DECK = Existing Deck
 - CONC/DW = Concrete/Driveway
 - RTW = Retaining Wall
 - Overhead Power
 - Water Main
 - Water Service
 - Sewer Main
 - Sewer Service
 - CA/TV
 - Gas Main
 - DL = Dripline of Trees/Edge of Vegetation
 - Red Avalanche Hazard Zone (Alpine 2022)
 - Blue Avalanche Hazard Zone (Alpine 2022)
 - FND 1/2" = Found 1/2" Rebar
 - FND ALU = Found Aluminum Cap
 - PP = Power Pole
 - SMH = Sewer Manhole
 - WM = Water Meter
 - WV = Water Valve
 - PHBOX = Phone Box
 - TVBOX = CA/TV Box
 - PBOX = Existing Power Box
 - PMTR = Proposed Power Meter
 - CT = Conifer Tree
 - DT = Deciduous Tree
 - x 5920.5 Ground Shot/Spot Elevation
 - NC No Cap
 - AP Angle Point
 - COR Corner
 - SLAB Garage Slab Elevation
 - THRESH Threshold Elevation
 - GB Grade Break
 - TOP Top of Slope
 - TOE Toe of Slope
 - HOT Hot Tub/Spa
 - SW Concrete Sidewalk
 - () Record Bearing & Distance Inst. No. 115701
 - [] Record Bearing & Distance Inst. No. 210802
 - { } Record Bearing & Distance Inst. No. 456235

- NOTES**
- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
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PROJECT PATH AND PRINT DATE U:\LD3\214_L22B3WSV4\dwg\CS_214_Prat1_WSV4th_Blk3\123_SiteSurvey2022.dwg 12/12/22 10:38:29 AM MST

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988
 email: bennett@alpineenterprisesinc.com



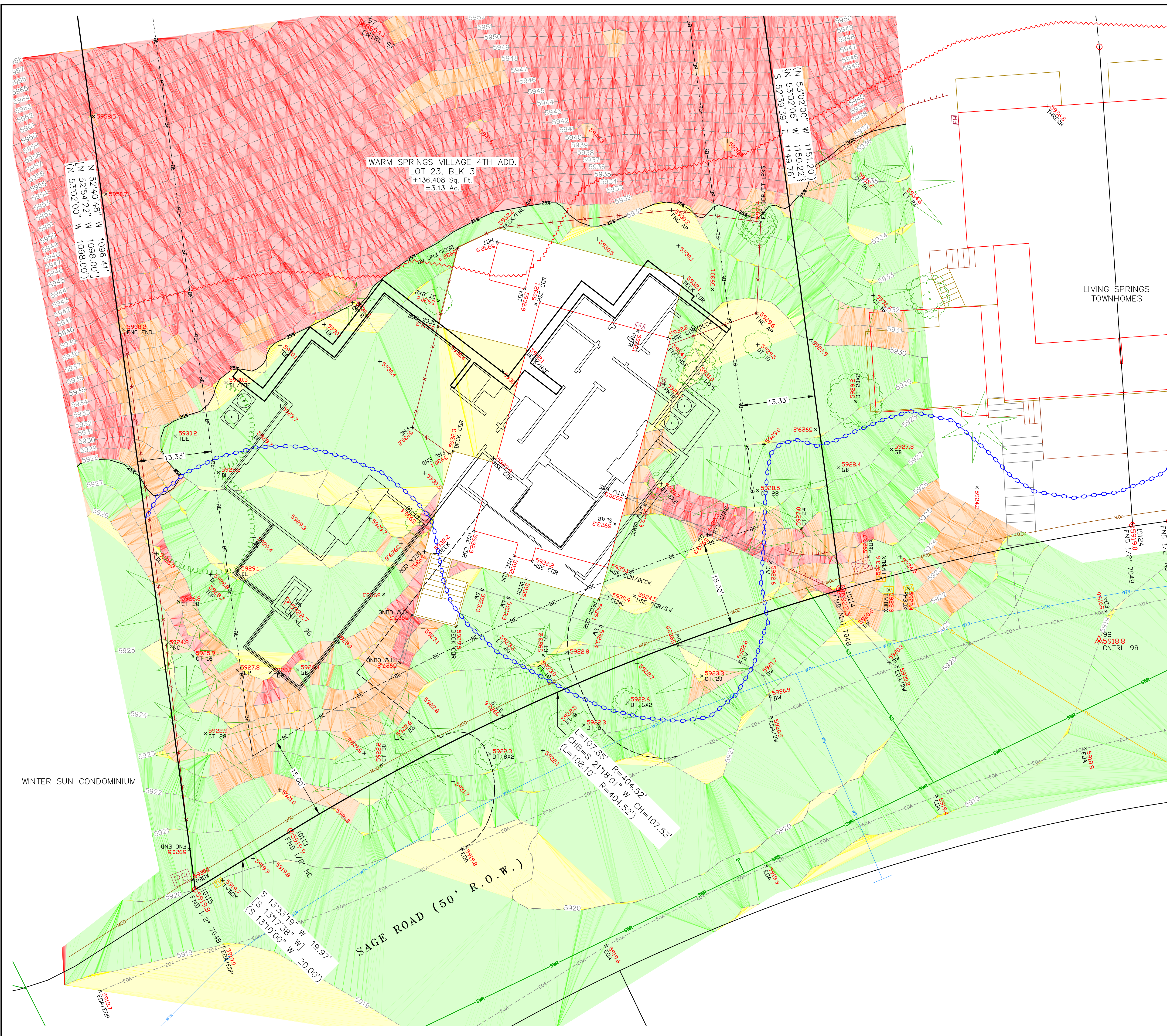
NO	DATE	BY

REVISIONS
 CONDUCTED ON MAY 6TH, 2022

SITE SURVEY CONDUCTED ON MAY 6TH, 2022

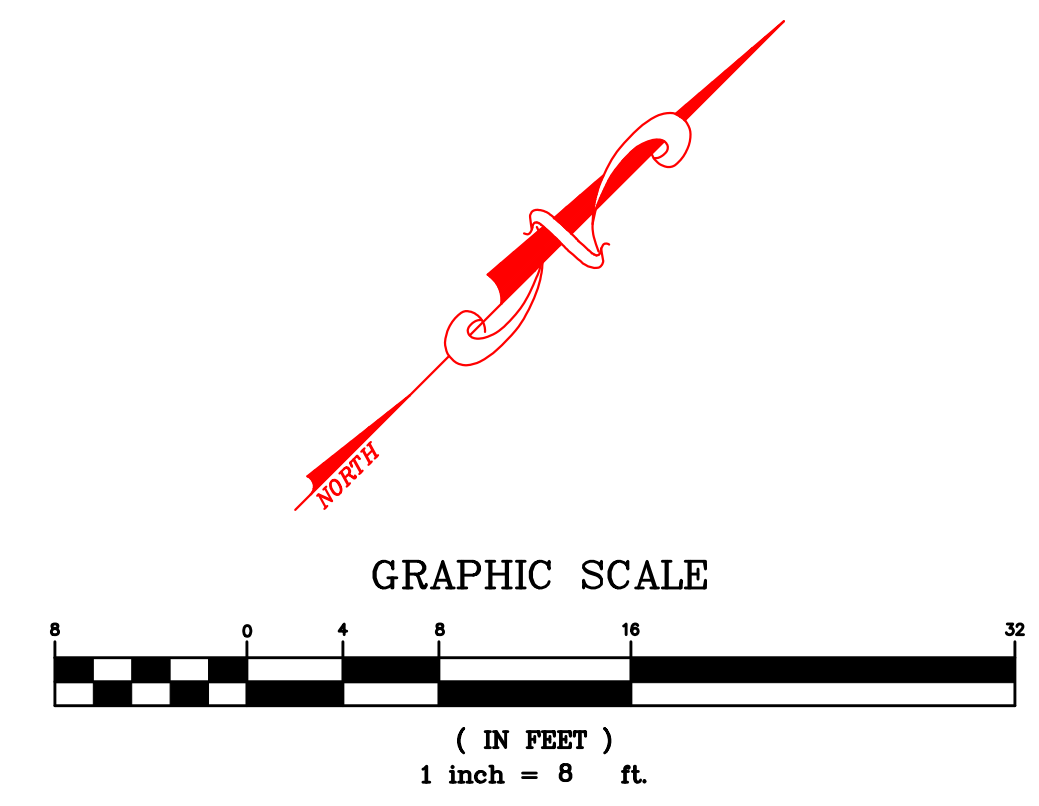
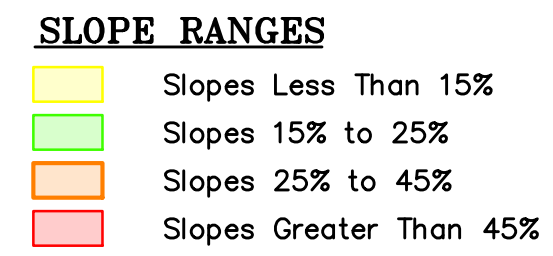
SHEET 1 OF 1

A SITE SURVEY SHOWING
 LOT 23, BLOCK 3, WARM SPRINGS VILLAGE SUBD., 4TH ADD.
 WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR BRADLEY AND GAIL PRATT



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PROJECT PATH AND PRINT DATE U:\LD3\214_L22B3WSV4\dwg_CS_214_Prat1_WSV4th_Blk3\123_SlopeRanges2023.dwg 3/29/23 2:45:29 PM MST

ALPINE ENTERPRISES INC. Surveying, Mapping, Civil Engineering, and Natural Hazards Consulting
660 Bell Dr., Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988
email: bairn@alpineenterprisesinc.com

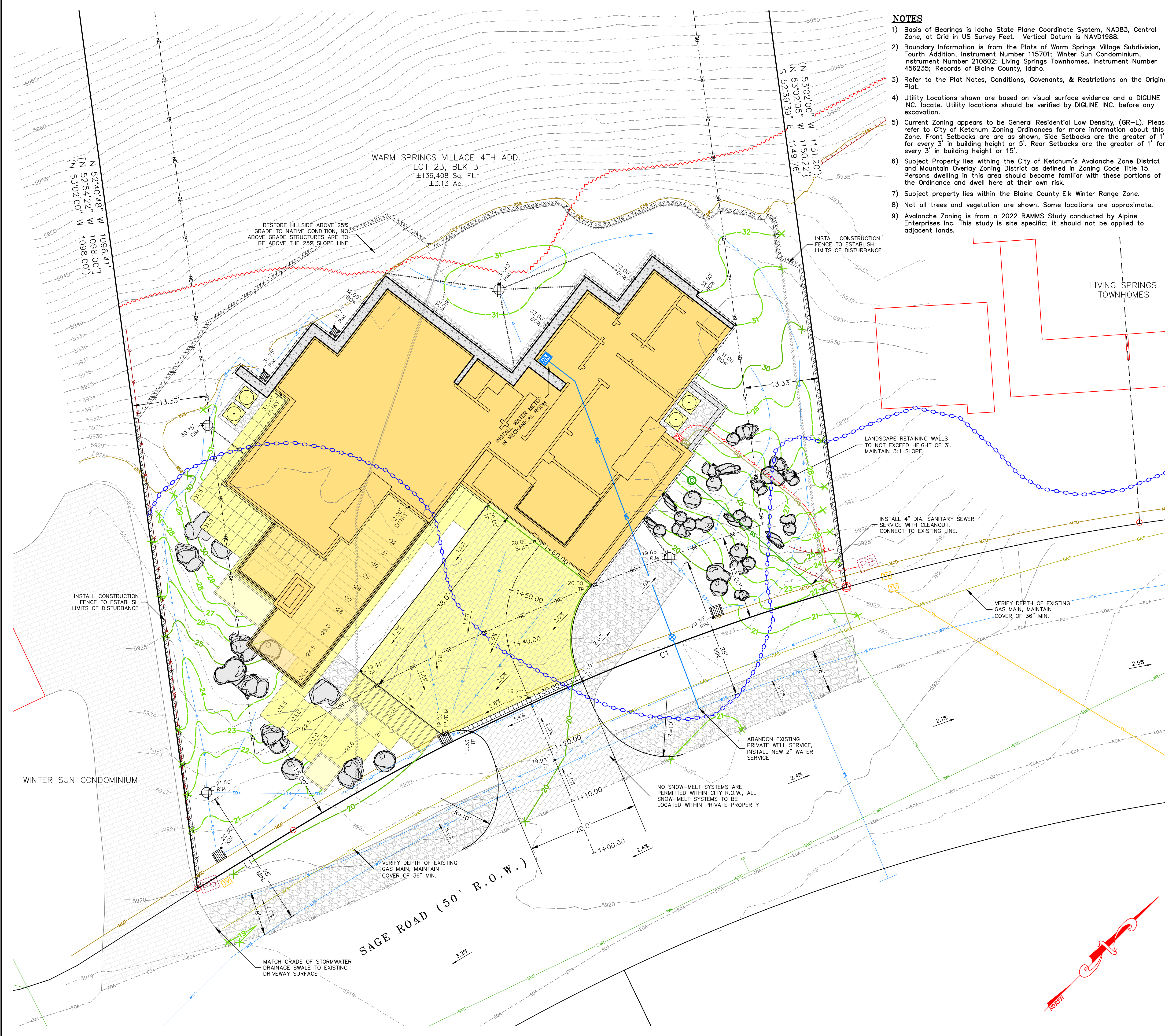
PROFESSIONAL LAND SURVEYOR
7048
STATE OF IDAHO
BRUCE SWINNEY

NO	DATE	BY

REVISIONS
SITE SURVEY CONDUCTED ON MAY 6TH, 2022

LOT 23, BLOCK 3, WARM SPRINGS VILLAGE SUBD., 4TH ADD.
WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR BRADLEY AND GAIL PRATT

SHEET 1 OF 1

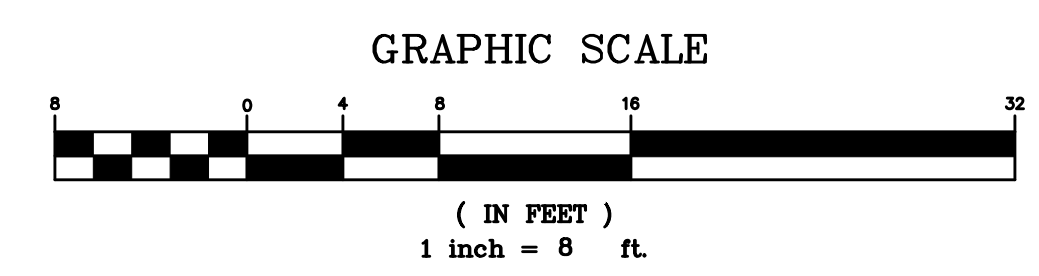


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LEGEND

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- 25% Slope Line (Alpine 2022)
- Existing 5' Major Contour Line (Alpine 2022)
- Existing 1' Minor Contour Line (Alpine 2022)
- Existing Paver Driveway
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Proposed 6" Dia. PVC Storm Drain Pipe
- Proposed 4" Dia. Footing Drain Pipe
- Proposed 4" Dia. Roof Drain Pipe
- Proposed L.O.D. with Silt Fence (Construction)
- Proposed L.O.D. (Demolition)
- Existing Structure
- Existing Retaining Wall (To Be Removed)
- Existing Wooden Fence (36" Tall, To Remain)
- Existing Overhead Power
- Proposed Underground Power
- Existing 8" Water Main
- Existing Water Service
- Proposed 2" Water Service (C2.0, Detail 4)
- Existing 8" Sewer Main
- Existing Sewer Service
- Proposed Sewer Service (C2.0, Detail 4)
- Existing CA/TV
- Existing Gas Main
- Proposed Gas Service
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Found Aluminum Cap
- Existing Power Pole
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Existing Water Meter
- Existing Water Valve
- Existing Well
- Proposed Water Meter (C2.0, Detail 1)
- Proposed Water Valve/Curb Stop (C2.0, Detail 1)
- Existing Phone Box
- Existing CA/TV Box
- Existing Power Box
- Proposed Power Meter
- Proposed Gas Meter
- Existing Road Grade
- Proposed Grade
- Proposed Finish Grade Spot Elevation
- Location Description
- Proposed Finish Grade Spot Elevation
- Proposed Structure
- Proposed Concrete Avalanche Protection Wall
- Proposed Heated Paver Driveway (C3.0, Detail 8)
- Proposed Non-Heated Paver Driveway within City R.O.W. (C3.0, Detail 8)
- Proposed Asphalt Patch & Saw-Cut Line (C2.0, Detail 2)
- Proposed Landscaping (See Landscape Plan for Patio Elevations)
- Proposed Landscaping Steel Planter Box
- Proposed Boulders (C3.0, Detail 9)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Landscape Dry Well (C3.0, Detail 7)
- Proposed Heated Landscape Catch Basin
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- BOW Bottom of Wall/Adjacent Grade Elevation
- ENTRY Stone Entry Elevation
- RIM Dry Well/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation
- TP Top of Pavers Elevation
- () Record Bearing & Distance Inst. No. 115701
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CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	404.52'	107.85'	107.53'	S 21°18'01" W
(C1)	(404.52')	(108.10')	-	-
LINE	LENGTH	BEARING	-	-
L1	19.97'	S 13°33'19" W	-	-
(L1)	(20.00')	(S 13°17'38" W)	-	-



PROJECT PATH AND PRINT DATE: U:\LD3\214_L22B3WSV4.dwg\CS_214_Pratt_WSV4th_Blk31.123_CivilROW2022.dwg 5/30/23 3:28:37 PM MST

ALPINE ENTERPRISES INC.
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 email: bamt@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 STATE OF IDAHO
 30 MAY 23
 ALEX NELSON

REVISIONS	NO	DATE	BY
PRELIMINARY ONLY: NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL			
REVISED FOR CITY COMMENTS	1	17MAY23	AHN
REVISED FOR CITY COMMENTS	2	30MAY23	AHN

C1.0

GENERAL CONSTRUCTION NOTES

- The location of existing underground utilities are shown on the plans in an approximate way. The contractor shall be responsible for locating existing utilities during the construction. The contractor agrees to be fully responsible for any and all damages which result from his failure to accurately locate and preserve any and all underground utilities.
- See the Building Plan from Farmer Payne Architects and the Landscape Plan from Garden Space Design for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- The Trench Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Gate shall be ductile iron with a slotted pattern. All components shall be rated for H-20 loading.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPCW, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPCW and the City of Ketchum Codes and Standards on site during construction.

- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be re-established and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- All mains and services shall comply with IDAPA 58.01.08.542.07.a and IDAPA 58.01.08.542.07.b which addresses the requirements for separation distances between potable water lines (including mains and service lines) with non-potable lines. In addition, water services shall be constructed with at least 25 feet horizontal separation from infiltration trenches and dry wells.

- Potable/non-potable crossings shall comply with ISPCW Standard Drawing SD-407 and IDAPA section 58.01.08.542.07.
- Sewer service lines shall be placed at a slope of 2%, with markers per ISPCW. Cleanouts are required at changes in alignment, grade, and minimum 150' length.
- All pipe shall be bedded with (ISPCW) Type I bedding material.
- Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- The contractor shall pressure test all sewer service connections in accordance with Idaho Standards for Public Works Construction, ISPCW.
- All clearing and grubbing shall conform to ISPCW Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPCW Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPCW Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.

- All 2" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPCW Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPCW Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPCW Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPCW Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPCW Section 805.

- All concrete work shall conform to ISPCW Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPCW Section 703, Table 1.C.

- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.

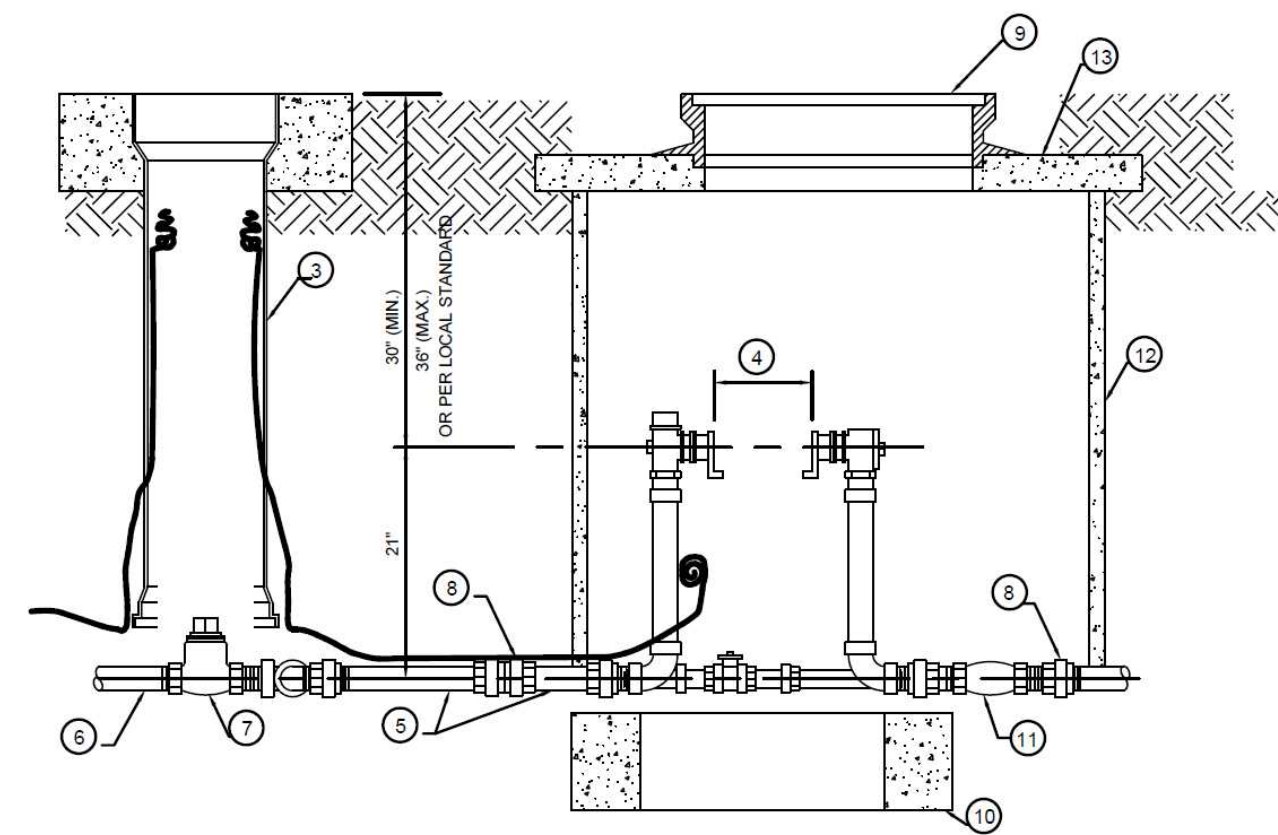
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).

- All drainage is to be retained on-site. Grade open areas to drain to Dry Wells as shown hereon.

- Grade away from foundation at 5%.

- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.

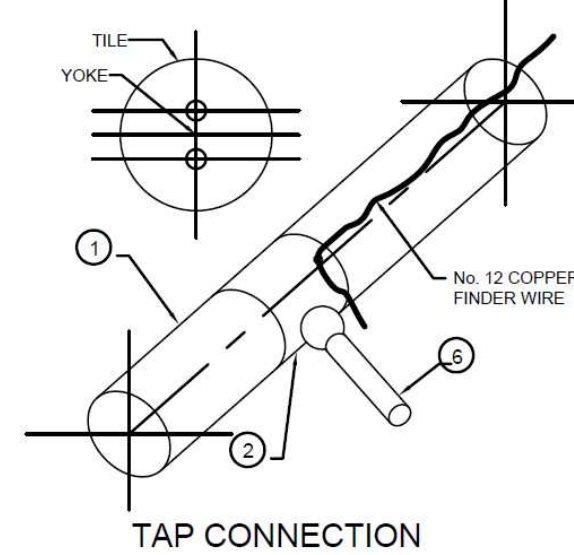
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.



WATER SERVICE CONNECTION DETAIL

NOTES

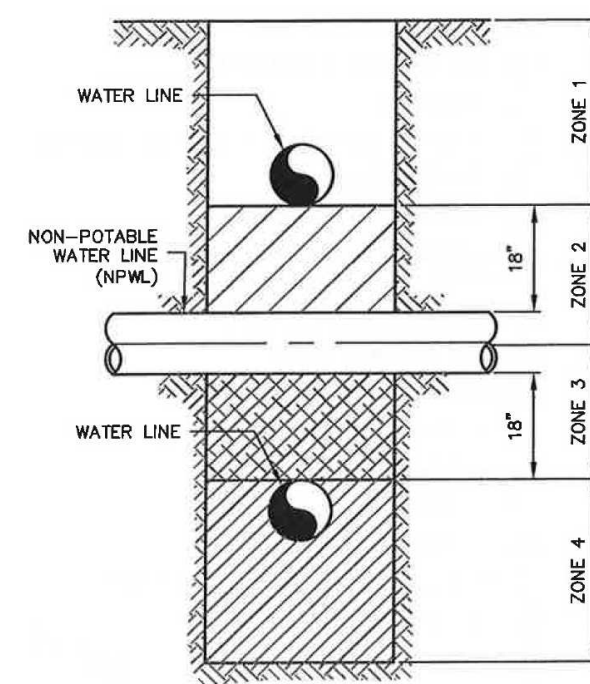
- WATER MAIN PER ISPCW SECTION 401.
- MIP X PAC CORP STOPS: 200 PSI POLY PIPE WITH INSERTS FOR FOR SERVICE LINES FROM MAIN TO CORPS STOPS AND INTO METER VAULT.
- VALVE BOX
- 1-1/2" METER: 13-1/4" WITH GASKETS
- 2" METER: 17-1/4" WITH GASKETS
- WATER METER FURNISHED AND INSTALLED BY THE CITY. (PAID BY CUSTOMER WITH CONNECTION FEES.)
- 6" LONG RED BRASS NIPPLE
- SERVICE LINE: 1-1/2" OR 2", 200 PSI POLYETHYLENE PIPE WITH PACK JOINT BRASS FITTINGS AND STAINLESS STEEL INSERTS.
- FORD BALL VALVE CURB STOP WITH RISER AND LOCKING LID. (IF REQUIRED)
- RED BRASS UNION.
- STANDARD 24" DIA. MANHOLE RING & "WATER" COVER; 2" HOLE IN LID FOR RADIO READ UNIT.
- 2" X 35" O.D. CONCRETE GRADE RING UNDER YOKE.
- BALL VALVE TO BE INSTALLED IN METER VAULT. NO OTHER EQUIPMENT SHALL BE PERMITTED WITHIN THE METER VAULT.
- 36" DIA. PRECAST CONCRETE MANHOLE.
- 4" X 35" O.D. CONCRETE GRADE RING.



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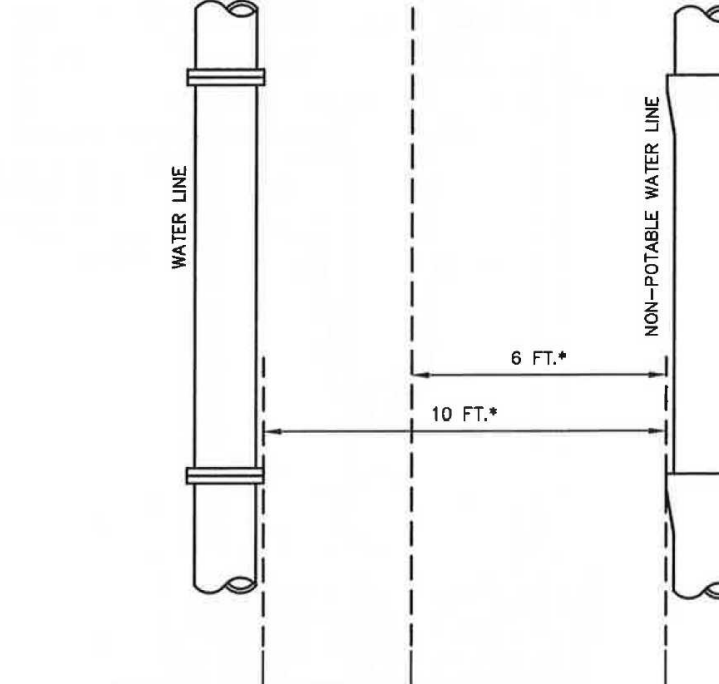
- ALL PRODUCTS AS NOTED OR APPROVED SUBSTITUTION.
- THE DIAMETER (1-1/2" OR 2") OF EACH APPURTENANCE SHOWN HEREON IS THE SAME AS THE METER SIZE.
- NO BY-PASS ALLOWED ON METER SETTERS FOR LANDSCAPE OR PRESSURIZED IRRIGATION SYSTEM.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS.
- NO TAPS WITHIN ONE FOOT OF THE PIPE ENDS.

① WATER SERVICE CONNECTION (1-1/2", 2")
ISPCW - SD-402
NOT TO SCALE



VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO SDO FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

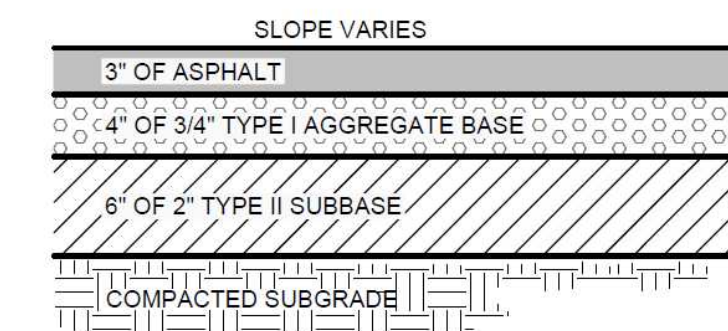


HORIZONTAL SEPARATION REQUIREMENTS

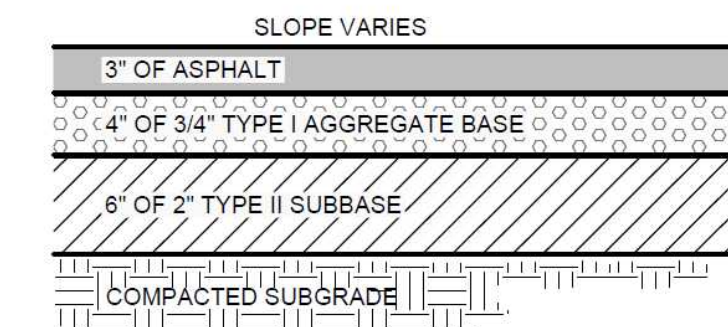
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

③ POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPERATION
ISPCW - SD-407
NOT TO SCALE



TYPICAL STREET ASPHALT SECTION

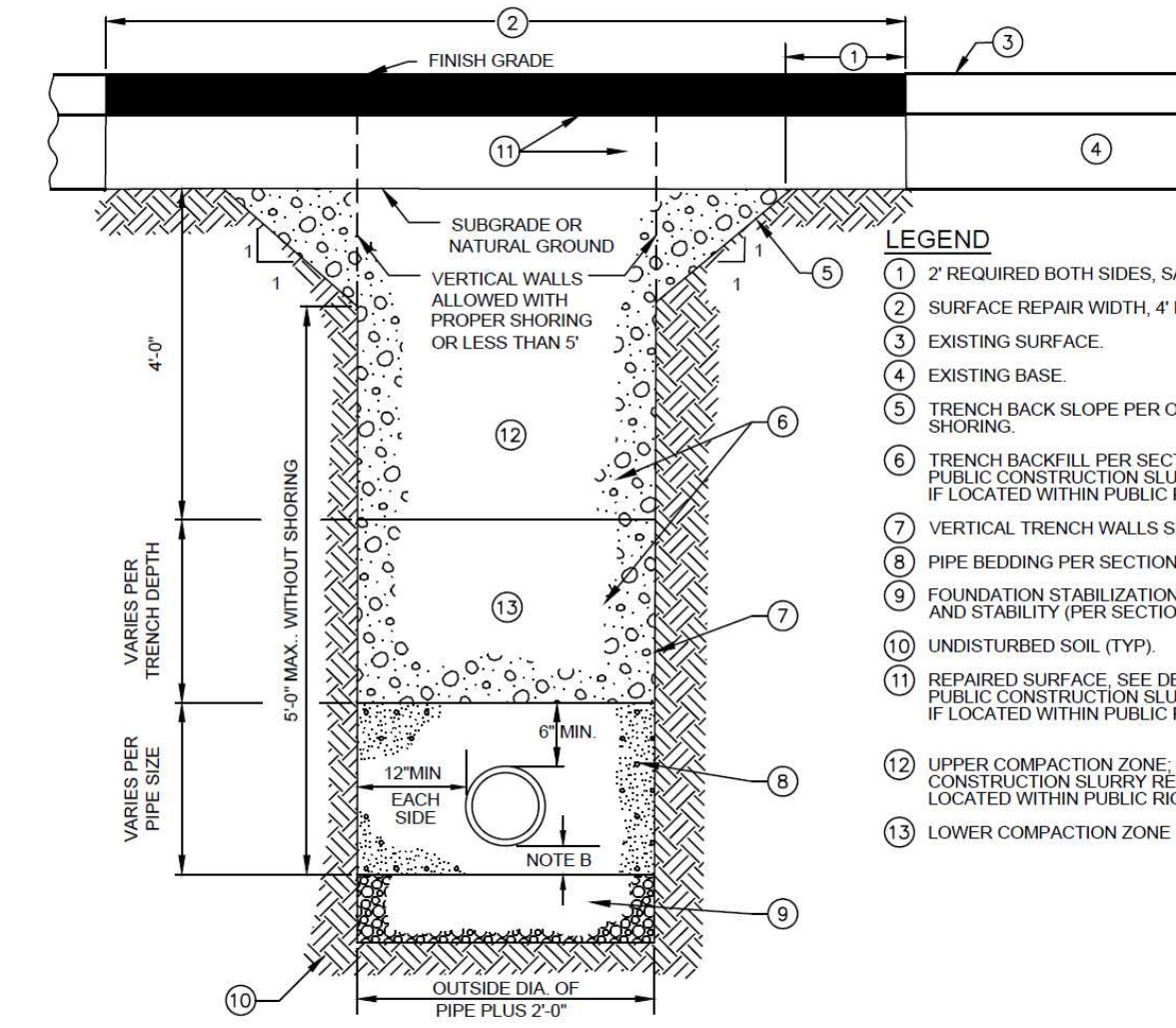


TYPICAL ALLEY ASPHALT SECTION

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

② TYPICAL ROAD SECTIONS
CITY OF KETCHUM - SD-3
NOT TO SCALE



LEGEND

- Z' REQUIRED BOTH SIDES, SAWCUT REQUIRED.
- SURFACE REPAIR WIDTH, 4' MINIMUM. SEE NOTE 5.
- EXISTING SURFACE.
- EXISTING BASE.
- TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- TRENCH BACKFILL PER SECTION 306. OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
- PIPE BEDDING PER SECTION 306 (SEE SD-302).
- FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
- UNDISTURBED SOIL (TYP).
- REPAIRED SURFACE. SEE DETAIL 5. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (1/2" MINUS)	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS (11.0% MAX.)
WATER	11.0% (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

④ TYPICAL TRENCH
CITY OF KETCHUM - SD-12
NOT TO SCALE

PROJECT PATH AND PRINT DATE: U:\LD3\214_L22B3WSV4.dwg\CS_214_Pratte_MSW4th_Blk31.123_CivilROW2022.dwg 5/30/23 3:28:37 PM MST

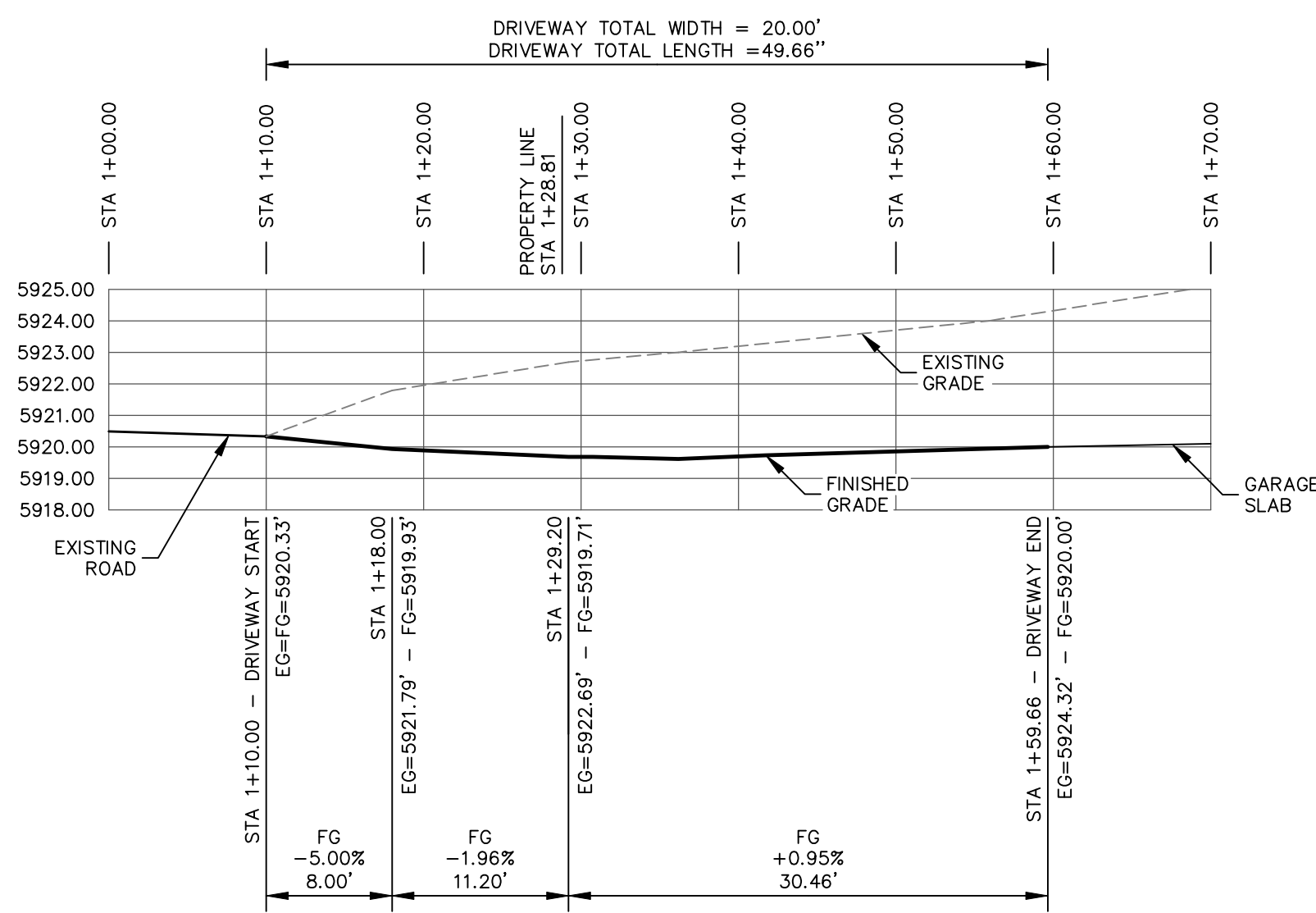
A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
LOT 23, BLOCK 3, WARM SPRINGS VILLAGE SUBD., 4TH ADD.
WITHIN S11 & S14, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR BRADLEY AND GAIL PRATT

Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering,
and Natural Hazards Consulting
660 Bell Dr., Unit 1, 83940 USA
P.O. Box 2037, Ketchum, ID 727-1987 fax
email: bmitt@alpineenterprisesinc.com

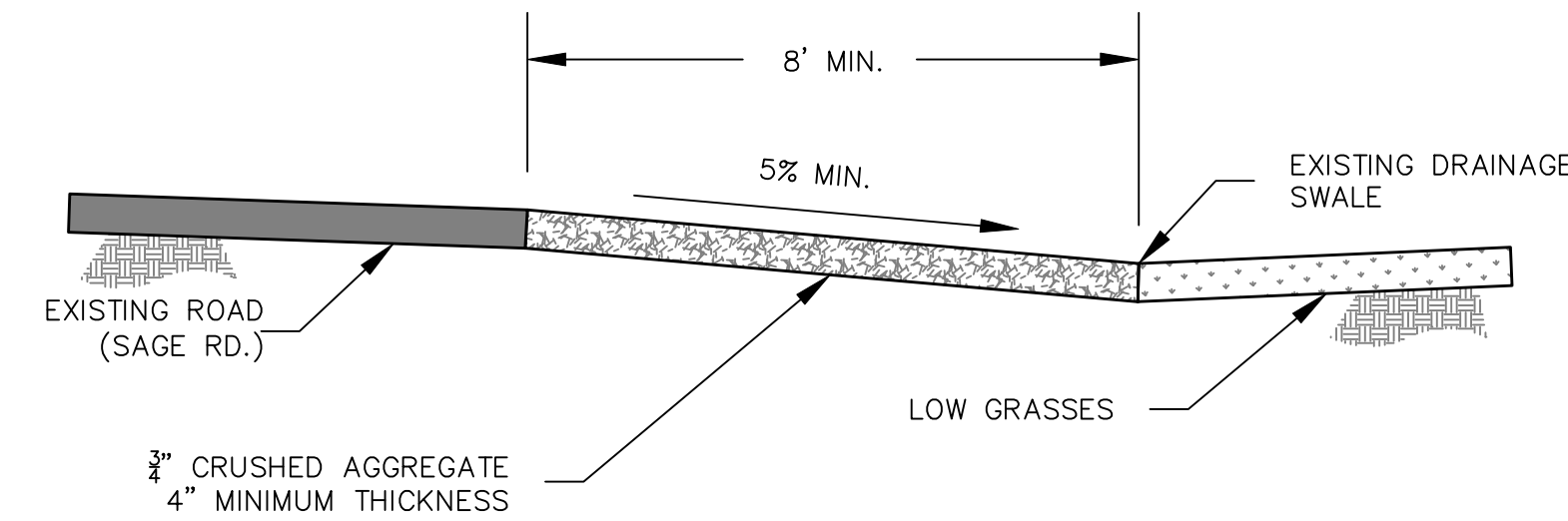
NO.	DATE	BY
1	17MAY23	AHN
2	30MAY23	AHN

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PRELIMINARY ONLY: NOT FOR CONSTRUCTION
DESIGN REVIEW SUBMITTAL
REVISED FOR CITY COMMENTS
REVISED FOR CITY COMMENTS

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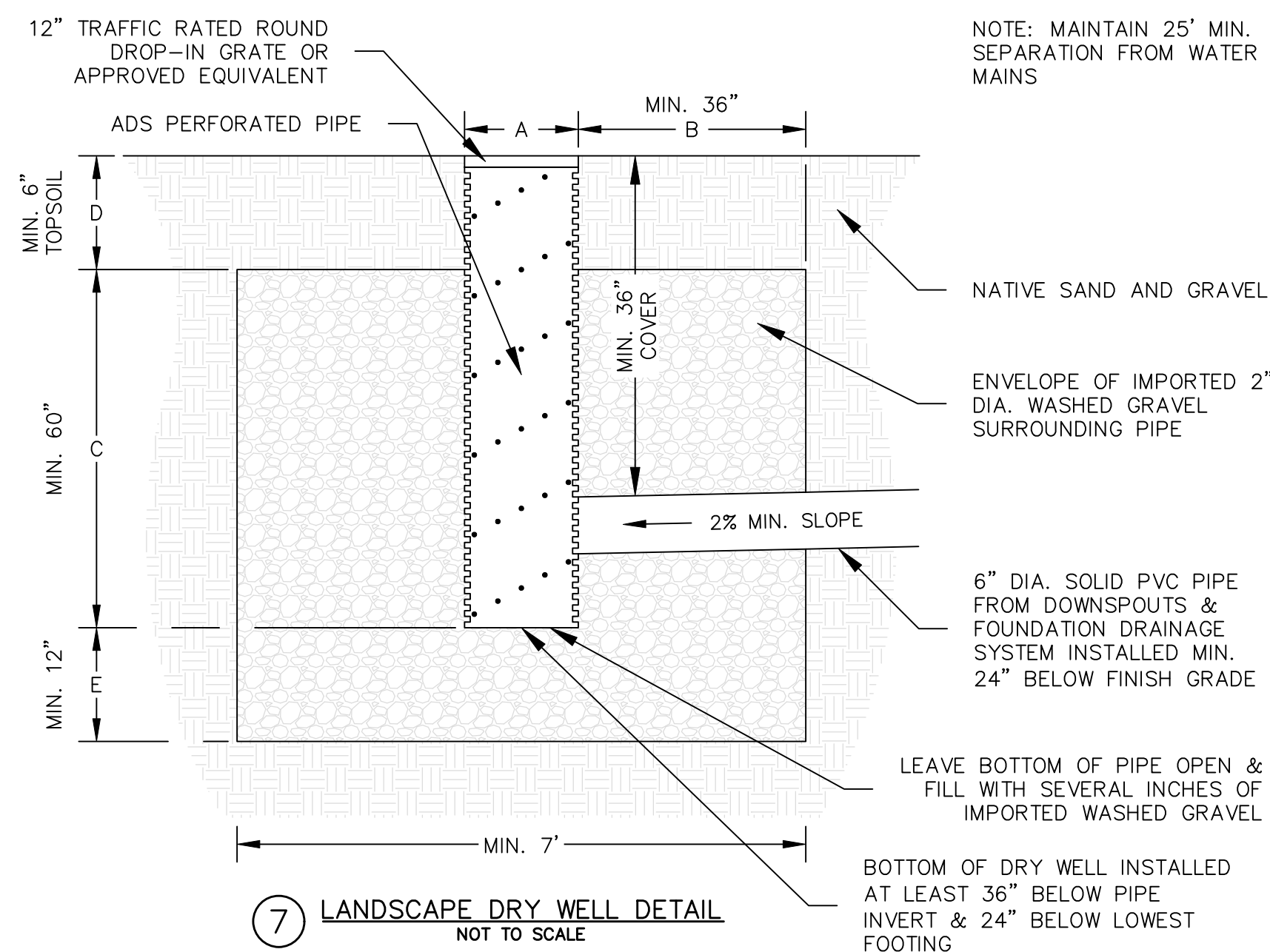


5 DRIVEWAY PROFILE VIEW
LOT 23
VERT: 1"=5'
HORIZ: 1"=10'

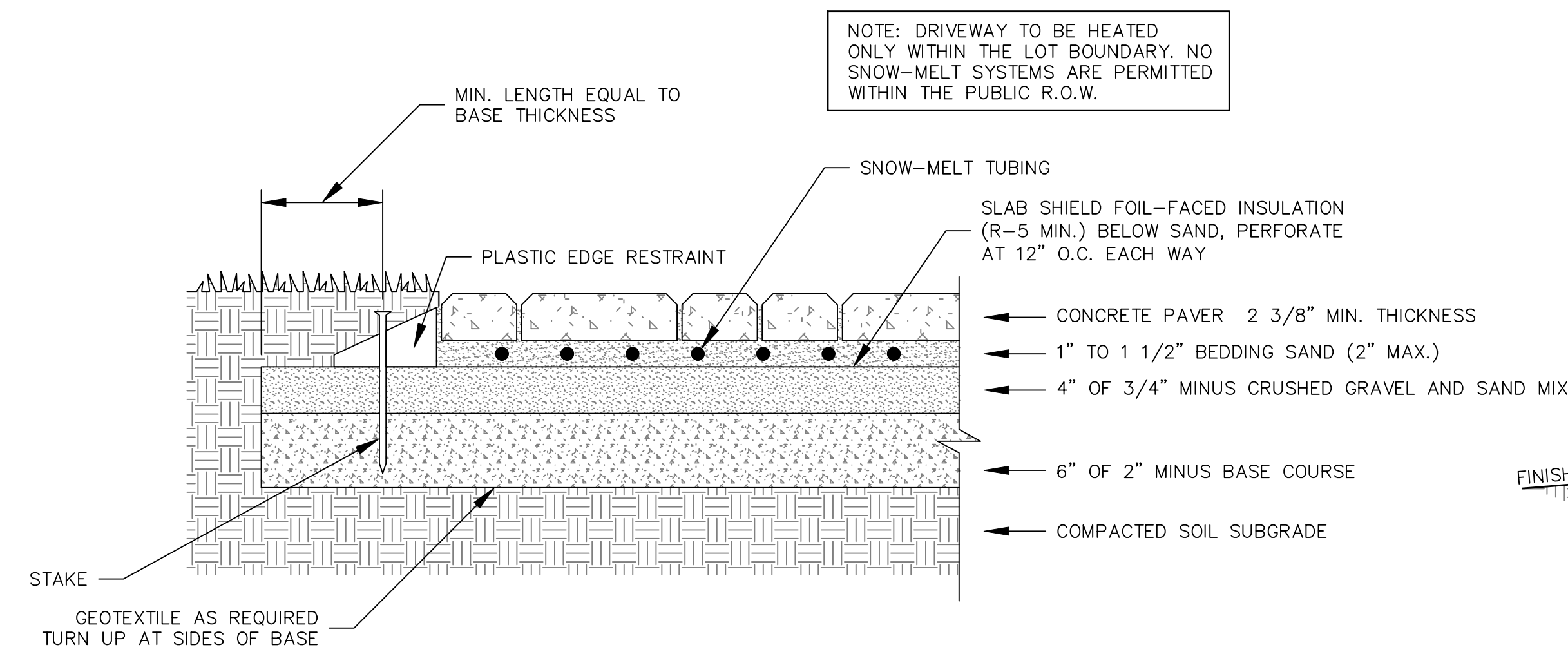


6 CROSS-SECTION: ROADSIDE SWALE
R.O.W. SAGE ROAD
NOT TO SCALE

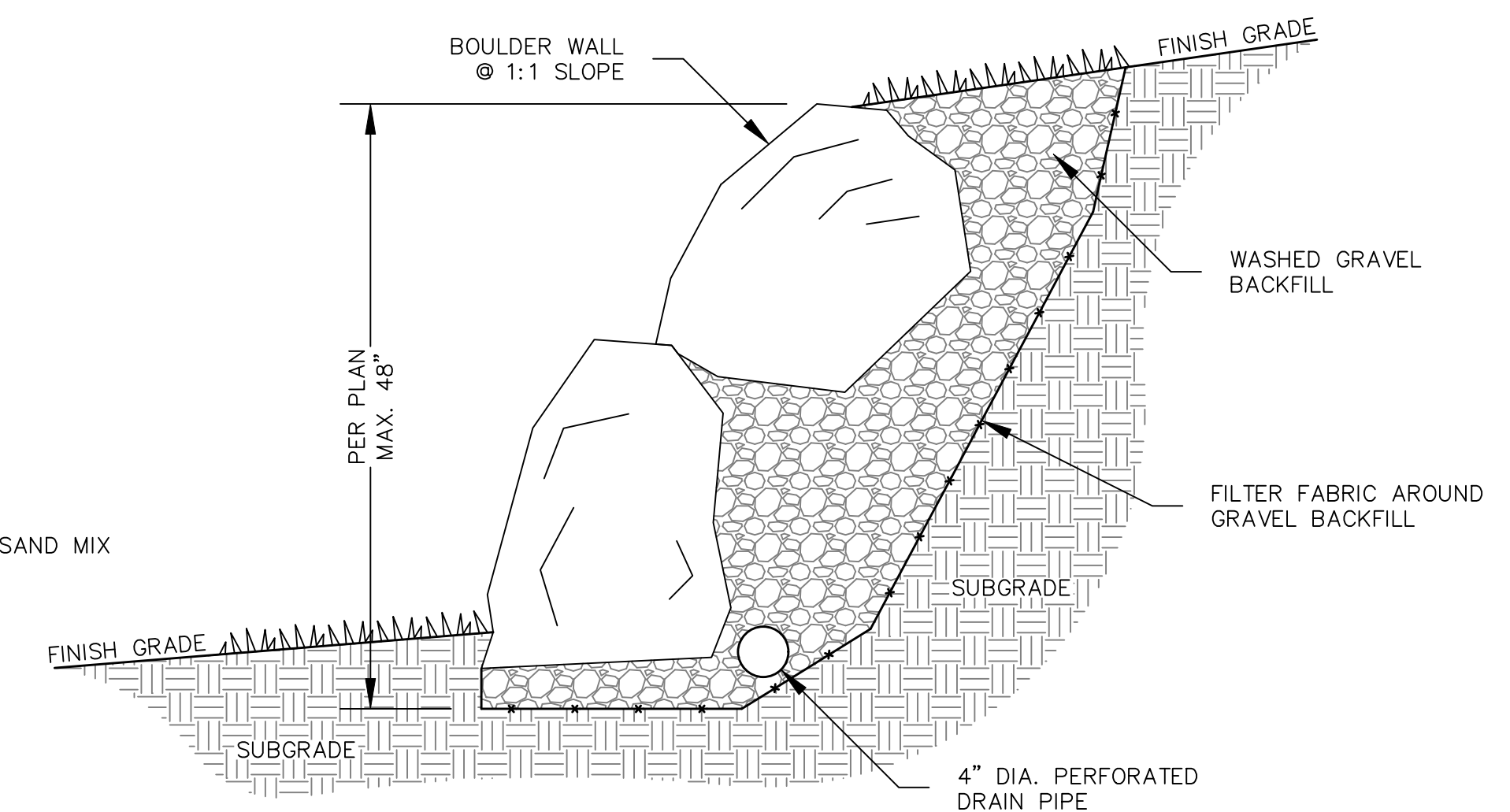
- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet of the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
 - H) No snow-melt systems.



7 LANDSCAPE DRY WELL DETAIL
NOT TO SCALE



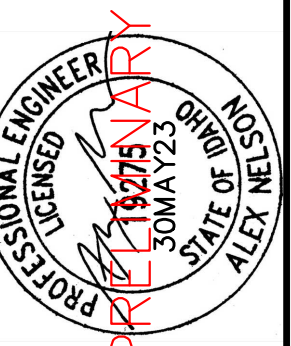
8 HEATED PAVER DRIVEWAY DETAIL
NOT TO SCALE



9 BOULDER WALL
NOT TO SCALE

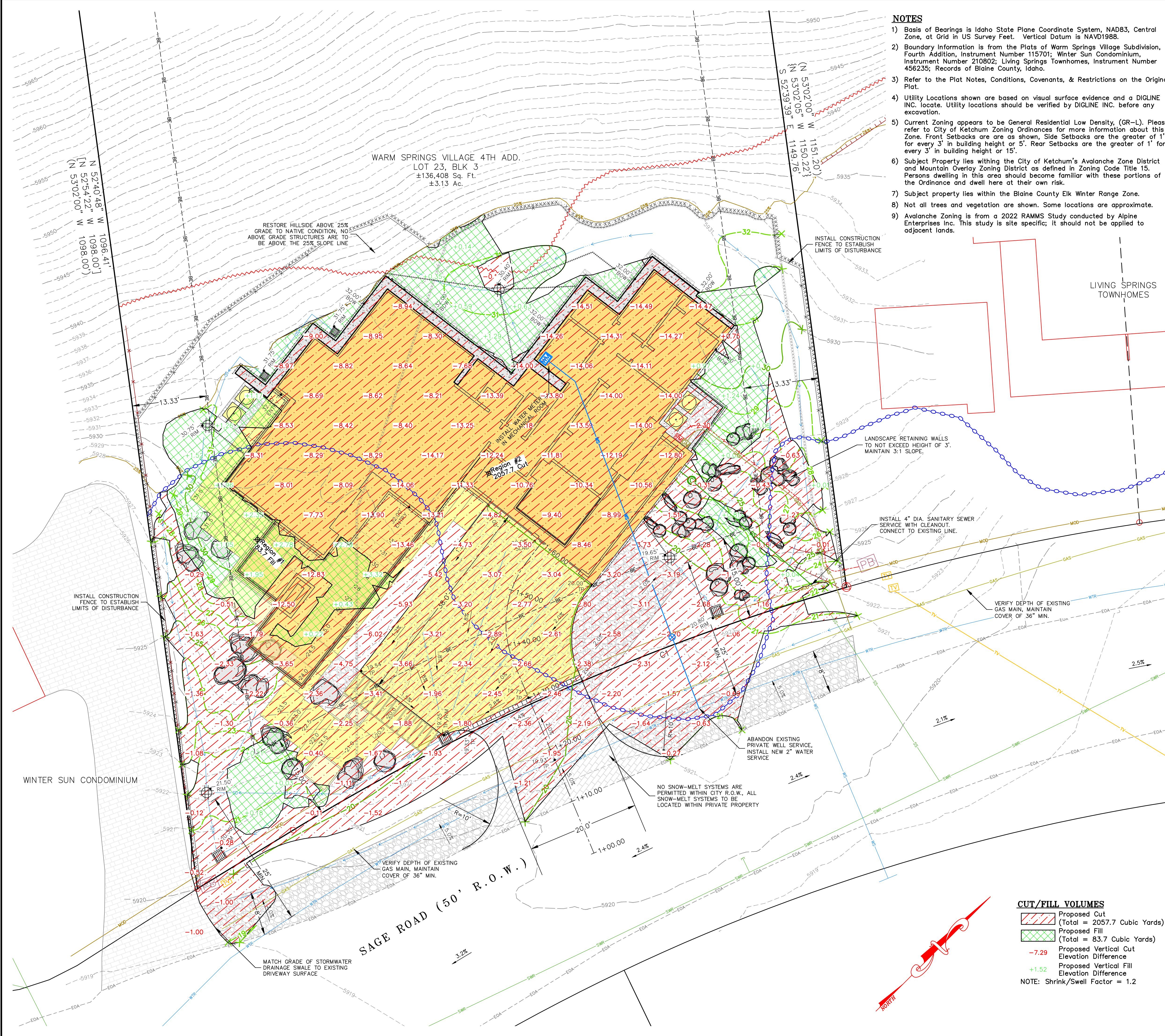
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Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering,
and Natural Hazards Consulting
660 Bell Dr., Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988
email: bsmith@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY
PRELIMINARY ONLY: NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL			
REVISED FOR CITY COMMENTS	1	17MAY23	AHN
REVISED FOR CITY COMMENTS	2	30MAY23	AHN

C3.0



- NOTES**
- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
 - 2) Boundary information is from the Plats of Warm Springs Village Subdivision, Fourth Addition, Instrument Number 115701; Winter Sun Condominium, Instrument Number 210802; Living Springs Townhomes, Instrument Number 456235; Records of Blaine County, Idaho.
 - 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
 - 4) Utility Locations shown are based on visual surface evidence and a DIGLINE INC. locate. Utility locations should be verified by DIGLINE INC. before any excavation.
 - 5) Current Zoning appears to be General Residential Low Density, (GR-L). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front Setbacks are as shown, Side Setbacks are the greater of 1' for every 3' in building height or 5'. Rear Setbacks are the greater of 1' for every 3' in building height or 15'.
 - 6) Subject Property lies within the City of Ketchum's Avalanche Zone District and Mountain Overlay Zoning District as defined in Zoning Code Title 15. Persons dwelling in this area should become familiar with these portions of the Ordinance and dwell here at their own risk.
 - 7) Subject property lies within the Blaine County Elk Winter Range Zone.
 - 8) Not all trees and vegetation are shown. Some locations are approximate.
 - 9) Avalanche Zoning is from a 2022 RAMMS Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.

LEGEND

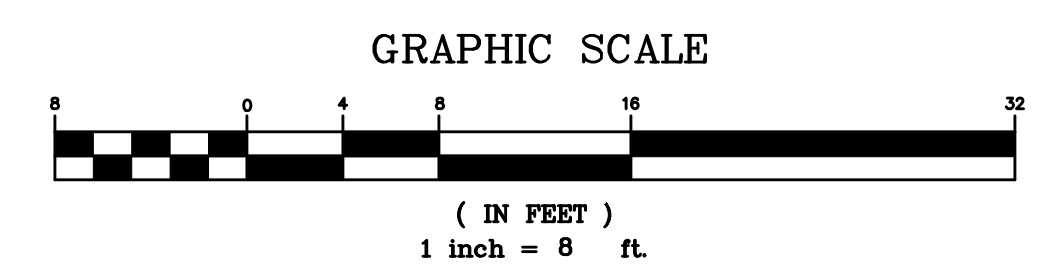
- Subject Boundary
- Adjurers Boundary
- Existing Edge of Asphalt Roadway
- Building Setback (See Note 5)
- Mountain Overlay District (City of Ketchum)
- 25% Slope Line (Alpine 2022)
- Existing 5' Major Contour Line (Alpine 2022)
- Existing 1' Minor Contour Line (Alpine 2022)
- Existing Paver Driveway
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Proposed 6" Dia. PVC Storm Drain Pipe
- Proposed 4" Dia. Footing Drain Pipe
- Proposed 4" Dia. Roof Drain Pipe
- Proposed L.O.D. with Silt Fence (Construction)
- Proposed L.O.D. (Demolition)
- Existing Structure
- Existing Retaining Wall (To Be Removed)
- Existing Wooden Fence (36" Tall, To Remain)
- Existing Overhead Power
- Proposed Underground Power
- Existing 8" Water Main
- Existing Water Service
- Proposed 2" Water Service (C2.0, Detail 4)
- Existing 8" Sewer Main
- Existing Sewer Service
- Proposed Sewer Service (C2.0, Detail 4)
- Existing CA/TV
- Existing Gas Main
- Proposed Gas Service
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Found Aluminum Cap
- Existing Power Pole
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Existing Water Meter
- Existing Water Valve
- Existing Well
- Proposed Water Meter (C2.0, Detail 1)
- Proposed Water Valve/Curb Stop (C2.0, Detail 1)
- Existing Phone Box
- Existing CA/TV Box
- Existing Power Box
- Proposed Power Meter
- Proposed Gas Meter
- Existing Road Grade
- Proposed Grade
- Proposed Finish Grade Spot Elevation
- Location Description
- Proposed Finish Grade Spot Elevation
- Proposed Structure
- Proposed Concrete Avalanche Protection Wall
- Proposed Heated Paver Driveway (C3.0, Detail 8)
- Proposed Non-Heated Paver Driveway within City R.O.W. (C3.0, Detail 8)
- Proposed Asphalt Patch & Saw-Cut Line (C2.0, Detail 2)
- Proposed Landscaping (See Landscape Plan for Patio Elevations)
- Proposed Landscaping Steel Planter Box
- Proposed Boulders (C3.0, Detail 9)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Landscape Dry Well (C3.0, Detail 7)
- Proposed Heated Landscape Catch Basin
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- BOW Bottom of Wall/Adjacent Grade Elevation
- ENTRY Stone Entry Elevation
- RIM Dry Well/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation
- TP Top of Pavers Elevation
- () Record Bearing & Distance Inst. No. 115701
- [] Record Bearing & Distance Inst. No. 210802
- { } Record Bearing & Distance Inst. No. 456235

CUT/FILL VOLUMES

- Proposed Cut (Total = 2057.7 Cubic Yards)
- Proposed Fill (Total = 83.7 Cubic Yards)
- 7.29 Proposed Vertical Cut Elevation Difference
- +1.52 Proposed Vertical Fill Elevation Difference

NOTE: Shrink/Swell Factor = 1.2

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	404.52'	107.85'	107.53'	S 21°18'01" W
(C1)	(404.52')	(108.10")	-	-
L1	19.97'	S 13°33'19" W	-	-
(L1)	(20.00')	(S 13°17'38" W)	-	-



PROJECT PATH AND PRINT DATE U:\LD3\214_L22B3WSV4.dwg\CS_214_Pratt_WSV4th_Blk3\123_Civil\ROW2022.dwg 5/30/23 3:28:37 PM MST

ALPINE ENTERPRISES INC.
 Surveying, Mapping, Civil Engineering, and Natural Hazards Consulting
 660 Bell Dr., Unit 1, Ketchum, ID 83340 USA
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 722-1988
 email: barmitt@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 17875 ARY
 30 MAY 23
 STATE OF IDAHO
 ALEX NELSON

REVISIONS	NO	DATE	BY
PRELIMINARY ONLY: NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL	1	17MAY23	AHN
REVISED FOR CITY COMMENTS	2	30MAY23	AHN
REVISED FOR CITY COMMENTS			

C4.0

PLAN KEY

- PROPOSED PAVER DRIVEWAY (1,450 SQ FT) TOTAL (TECHO-BLU 80 PAVERS)
- HEATED SLABS AT WALKWAY ENTRY (68 SQ FT) (OSLO STONE)
- HEATED DRIVEWAY W/ SLABS (1,047 SQ FT) COMBINED AREA
- GRASSPAVE² (262 SQ FT)
- SNOW STORAGE (30% x 2,507 = 752 SQ FT) (989 SQ FT) PROVIDED
- CONCRETE STEPS / LANDINGS (226 SQ FT)
- PATIO / WALKWAY STONE (240 SQ FT) (OSLO STONE)
- STONE SLAB STEPS (261 SQ FT) (WINDSOR GRAY STONE)
- LANDSCAPE BOULDERS (CHIEF CLIFF)
- IRRIGATED NATIVE GRASS (4,285 SQ FT)
- R.O.W. SAGE COUNTRY SHORT GRASS MIX (1,042 SQ FT)
- (2") CRUSHED OAKLEY STONE (150 SQ FT)
- MULCHED PLANT BEDS (492 SQ FT)
- STEEL PLANTER (IRRIGATED) (138 SQ FT)
- RED AVALANCHE HAZ. ZONE
- BLUE AVALANCHE HAZ. ZONE
- 25% SLOPE
- MOUNTAIN OVERLAY DISTRICT
- UTILITIES - POWER & GAS
- FIRE HOSE REACH
- (1/4" X 10") STEEL EDGING
- PROPERTY LINE
- BUILDING ENVELOPE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EDGE OF ASPHALT
- (24") LANDSCAPE DRY-WELL
- (12") LANDSCAPE DRY-WELL
- (12") LANDSCAPE CATCH BASIN
- ROOF DRIP LINE
- EXISTING FENCE

SNOW STORAGE CALCULATIONS

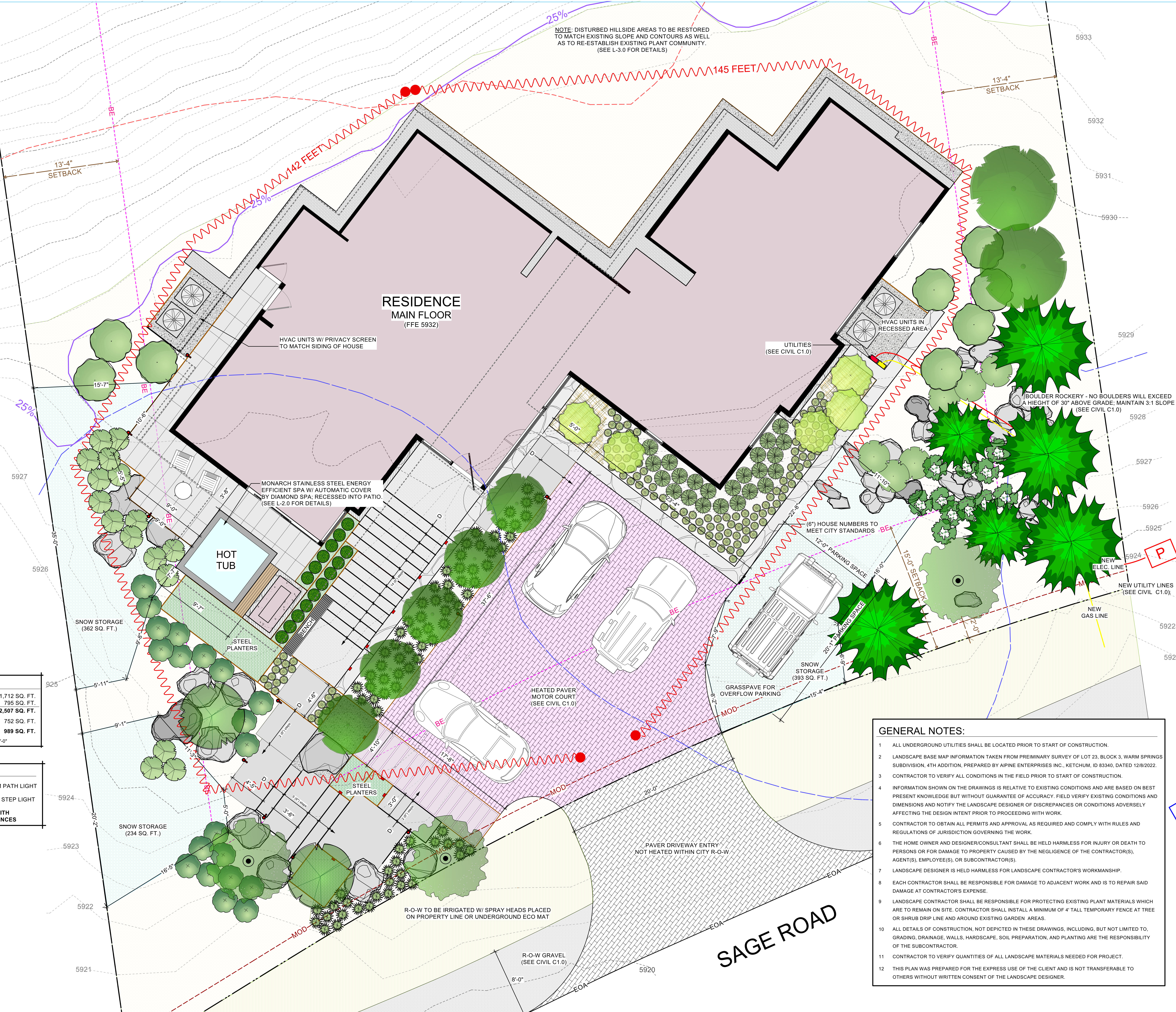
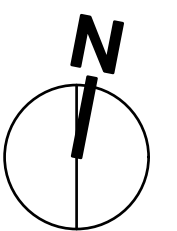
PAVER DRIVEWAY & GRASSPAVE AREAS: 1,712 SQ. FT.
 PAVER PATIOS, STONE STEPS & CONCRETE STEPS: 795 SQ. FT.
TOTAL HARDSCAPE AREA: 2,507 SQ. FT.
 SNOW STORAGE REQUIRED: 2,507 SQ.FT. x 30% = 752 SQ. FT.
TOTAL SNOW STORAGE PROVIDED: 362 + 234 + 393 = 989 SQ. FT.
 SPECIAL NOTE: NO SNOW STORAGE DIMENSION IS LESS THAN 5'-0"

LANDSCAPE LIGHTING KEY

- 10 PATH LIGHT - KICHLER TWO ARM PATH LIGHT
 - 10 STEP LIGHT - ICON HORIZONTAL STEP LIGHT
- NOTE: ALL LIGHT FIXTURES TO BE COMPLIANT WITH LOCAL DARK SKY PRESERVATION ORDINANCES**

LANDSCAPE LIGHTING CALCULATIONS

LANDSCAPE LIGHTING PROPOSED:
 10 PATH LIGHTS x 85 LUMENS/LIGHT = 850
 10 STEP LIGHTS x 68 LUMENS/LIGHT = 680
 = 850 + 680 = 1,530 TOTAL LUMENS
TOTAL LUMENS PROPOSED: 1,530 LUMENS



GENERAL NOTES:

- 1 ALL UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO START OF CONSTRUCTION.
- 2 LANDSCAPE BASE MAP INFORMATION TAKEN FROM PRELIMINARY SURVEY OF LOT 23, BLOCK 3, WARM SPRINGS SUBDIVISION, 4TH ADDITION, PREPARED BY APINE ENTERPRISES INC., KETCHUM, ID 83340, DATED 12/8/2022.
- 3 CONTRACTOR TO VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO START OF CONSTRUCTION.
- 4 INFORMATION SHOWN ON THE DRAWINGS IS RELATIVE TO EXISTING CONDITIONS AND ARE BASED ON BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE LANDSCAPE DESIGNER OF DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN INTENT PRIOR TO PROCEEDING WITH WORK.
- 5 CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVAL AS REQUIRED AND COMPLY WITH RULES AND REGULATIONS OF JURISDICTION GOVERNING THE WORK.
- 6 THE HOME OWNER AND DESIGNER/CONSULTANT SHALL BE HELD HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR(S), AGENT(S), EMPLOYEE(S), OR SUBCONTRACTOR(S).
- 7 LANDSCAPE DESIGNER IS HELD HARMLESS FOR LANDSCAPE CONTRACTOR'S WORKMANSHIP.
- 8 EACH CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ADJACENT WORK AND IS TO REPAIR SAID DAMAGE AT CONTRACTOR'S EXPENSE.
- 9 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PLANT MATERIALS WHICH ARE TO REMAIN ON SITE. CONTRACTOR SHALL INSTALL A MINIMUM OF 4' TALL TEMPORARY FENCE AT TREE OR SHRUB DRIP LINE AND AROUND EXISTING GARDEN AREAS.
- 10 ALL DETAILS OF CONSTRUCTION, NOT DEPICTED IN THESE DRAWINGS, INCLUDING, BUT NOT LIMITED TO, GRADING, DRAINAGE, WALLS, HARDSCAPE, SOIL PREPARATION, AND PLANTING ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR.
- 11 CONTRACTOR TO VERIFY QUANTITIES OF ALL LANDSCAPE MATERIALS NEEDED FOR PROJECT.
- 12 THIS PLAN WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT OF THE LANDSCAPE DESIGNER.

DATE	5.30.2023
REVISED	
PROJECT #	GSD 395.23
SCALE	1/4" = 1'-0"



PRATT RESIDENCE
 406 SAGE ROAD, KETCHUM, IDAHO
LANDSCAPE SITE PLAN

**PRELIMINARY:
 ONLY FOR
 DESIGN REVIEW**

EXISTING CONDITIONS KEY	
	RED AVALANCHE HAZ. ZONE
	BLUE AVALANCHE HAZ. ZONE
	25% SLOPE
	MOUNTAIN OVERLAY DIST.
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING CONTOUR LINE
	EXISTING FENCE
	EDGE OF ASPHALT

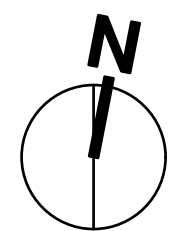
PLANT KEY	
	(9) EXISTING EVERGREEN TREES TO BE REMOVED
	(11) EXISTING DECIDUOUS TREES TO BE REMOVED



LOOKING WEST TO EXISTING HOUSE



LOOKING NORTHEAST TO EXISTING HOUSE



DATE	5.30.2023
REVISED	
PROJECT #	GSD 395.23
All ideas & designs appearing herein shall not be duplicated, altered or otherwise used without the written consent of garden space design.	
SCALE	3/16" = 1'-0"



PRATT RESIDENCE
406 SAGE ROAD, KETCHUM, IDAHO
EXISTING CONDITIONS

PRELIMINARY:
ONLY FOR
DESIGN REVIEW

PAGE	2 OF 6
------	--------

garden
space
design
101 EAST BULLION ST. SUITE 2J
HAILEY, IDAHO
208.720.7210
gardenspacedesigns.com

CONSTRUCTION MGMT. KEY	
	TIRE CLEAN AREA
	PARKING AREA
	STAGING AREA
	OFFICE TRAILER
	DUMPSTER
	PORTA POTTY
	(4') CONSTRUCTION FENCE LIMIT OF DISTURBANCE
	(2') SLIT FENCE

DUST AND SNOW MITIGATION

- DUST THAT IS EXPECTED TO BE CREATED AT POTENTIALLY HIGH LEVELS DURING CONSTRUCTION ACTIVITIES WILL BE CONTROLLED BY DAMPENING SOILS WITH SPRINKLED WATER.
- VEHICLES EXITING THE SITE WILL LEAVE THROUGH A PROPER TIRE CLEAN-OUT, LOCATED AT THE DRIVEWAY ENTRY, TO ENSURE MUD IS NOT TRACKED ONTO THE MAIN ROADWAYS.
- SNOW TO BE STORED ON SITE AND OUT OF ALL ROADWAYS, CITY RIGHTS-OF-WAY, AND EMS AND PUBLIC ACCESS.
- IF SNOW QUANTITY DICTATES NECESSITY, SNOW WILL BE REMOVED FROM THE SITE WITH TRUCKS AND TAKEN TO AN APPROVED DUMP LOCATION FOR SNOW REMOVAL.

CONSTRUCTION SCHEDULE

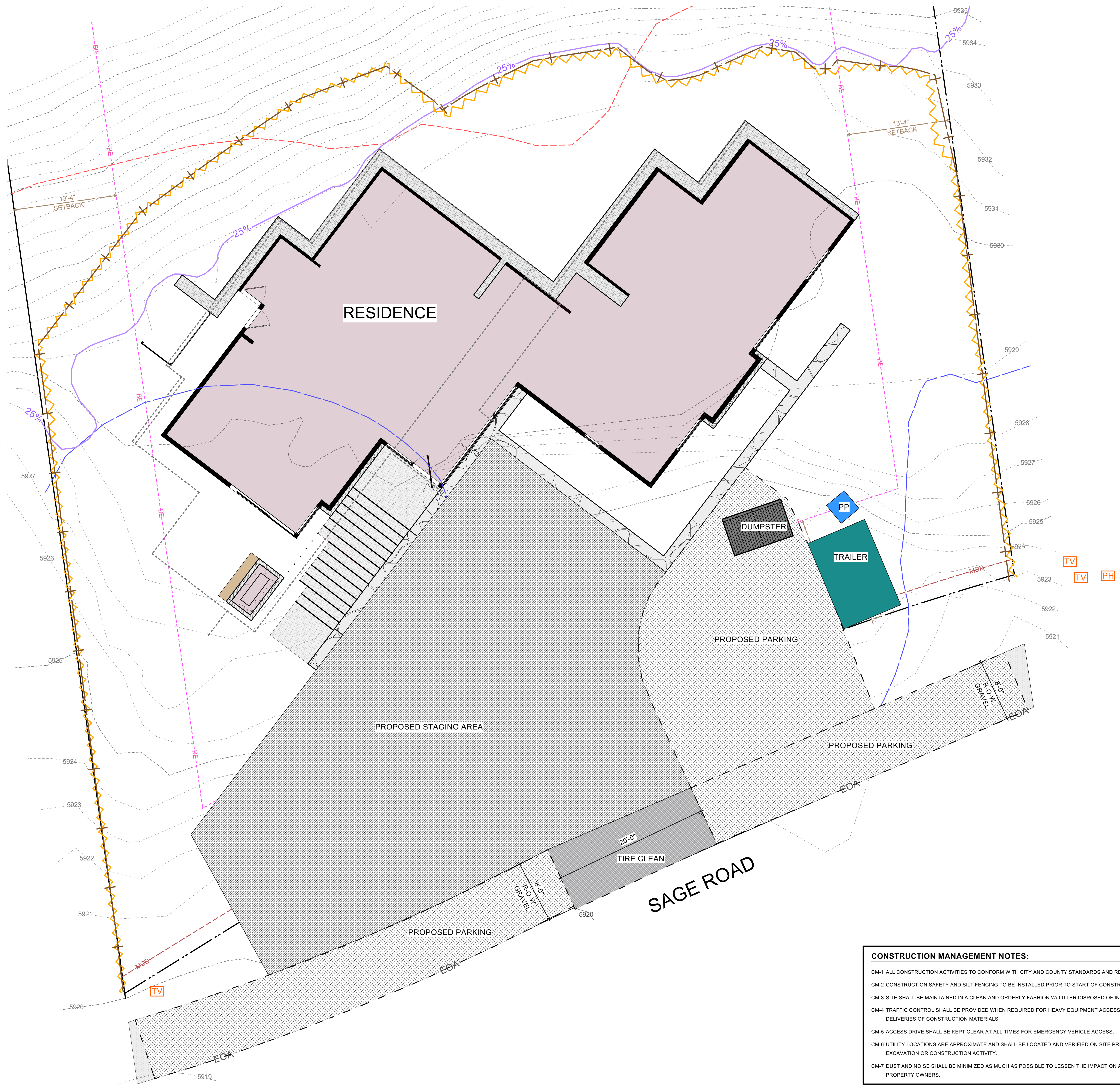
- CONSTRUCTION SCHEDULE TO LAST TWENTY-FOUR (24) MONTHS.
- PRIOR TO STARTING CONSTRUCTION, NEIGHBORING PROPERTY OWNERS TO BE NOTIFIED AND PROVIDED CONTACT INFORMATION FOR THE PROJECT MANAGEMENT TEAM MEMBERS IN CASE OF QUESTIONS AND CONCERNS.
- A FOUR FOOT (4') CONSTRUCTION FENCE AND NECESSARY SILT FENCE WILL BE USED THROUGHOUT THE PROJECT DURATION TO PROTECT NEIGHBORING LOTS FROM CONSTRUCTION DEBRIS.

CUT AND FILL QUANTITIES

- SOILS REMOVED DURING CONSTRUCTION WILL PREDOMINANTLY STAY WITHIN THE PROJECT BOUNDARIES AND BE REUSED ON SITE.
- ANY EXCESS MATERIALS WILL BE REMOVED BY TRUCKS AND DUMPED AT APPROVED SITES.
- CUT AND FILL CALCULATIONS TBD BY CONTRATOR AND PROVIDED TO THE CITY OF KETCHUM PRIOR TO START OF CONSTRUCTION.

SAGE ROAD CONSTRUCTION MANAGEMENT:

SAGE ROAD SHALL ALWAYS BE KEPT FREE AND CLEAR FOR EMERGENCY VEHICLES ACCESS. ANY SIGNIFICANT ACCESS ISSUES SHALL BE BROUGHT TO THE ATTENTION OF THE CITY OF KETCHUM IN ADVANCE. ALL CONSTRUCTION-RELATED VEHICLES AND EQUIPMENT, SUCH AS CRANES, WASTE DUMPSTERS, ETC., SHALL BE LOCATED ENTIRELY ON THE PROJECT SITE (I.E. NOT IN THE ROADWAY OR PUBLIC RIGHT-OF-WAY,) UNLESS GRANTED APPROVAL BY THE CITY OF KETCHUM.



CONSTRUCTION MANAGEMENT NOTES:

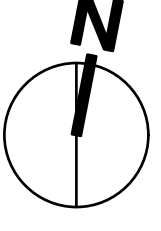
- ALL CONSTRUCTION ACTIVITIES TO CONFORM WITH CITY AND COUNTY STANDARDS AND RESTRICTIONS.
- CONSTRUCTION SAFETY AND SILT FENCING TO BE INSTALLED PRIOR TO START OF CONSTRUCTION.
- SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY FASHION W/ LITTER DISPOSED OF IN CONTAINERS.
- TRAFFIC CONTROL SHALL BE PROVIDED WHEN REQUIRED FOR HEAVY EQUIPMENT ACCESS OR FOR DELIVERIES OF CONSTRUCTION MATERIALS.
- ACCESS DRIVE SHALL BE KEPT CLEAR AT ALL TIMES FOR EMERGENCY VEHICLE ACCESS.
- UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE LOCATED AND VERIFIED ON SITE PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY.
- DUST AND NOISE SHALL BE MINIMIZED AS MUCH AS POSSIBLE TO LESSEN THE IMPACT ON ADJACENT PROPERTY OWNERS.

DATE	5.30.2023
REVISED	
PROJECT #	GSD 395.23
SCALE	3/16" = 1'-0"



PRATT RESIDENCE
406 SAGE ROAD, KETCHUM, IDAHO
CONSTRUCTION MANAGEMENT PLAN

**PRELIMINARY:
ONLY FOR
DESIGN REVIEW**



GRASSPAVE²

100% Grass Covered Porous Pavement

Grasspave² porous pavers are designed to be used in any area where you want to have a beautiful, permeable, and long-lasting pavement. Grasspave² porous pavers are made from recycled plastic and are designed to be used in any area where you want to have a beautiful, permeable, and long-lasting pavement. Grasspave² porous pavers are made from recycled plastic and are designed to be used in any area where you want to have a beautiful, permeable, and long-lasting pavement.

Specifications:

- Unit Size - 30" x 20" x 1" (80 x 50 x 2.5mm)
- Unit Weight - 11.1 lbs (5.0 kg)
- Strength - 11,000 psi (760 MPa)
- Color - Black
- Base - 100% Recycled HDPE with 1% carbon black
- Storage in Bags (41 lbs) If needed, other unit sizes available
- 100% Recycled Plastic

Applications:

- Chalkboard parking
- Child and pet safety
- Residential driveways
- Pedestrian

Notes:

- The steps also act to create the most secure surface (used) and prevent liquid spillage from the steps, deck, or other deck.
- The steps also act to create the most secure surface (used) and prevent liquid spillage from the steps, deck, or other deck.

IKON OUTDOOR STEP LIGHT

TECH LIGHTING

The Ikon outdoor step light features a minimalist rectangular aperture that allows maximum downward light output with minimal glare. Ideal for highlighting and adding safety after dark. Available in two finishes, Black and Bronze.

Specifications:

- Selectable CCT (3000/3000K)
- 12V or 24V
- Outstanding protection against the elements
- Water Level IP68 Rating
- Stainless Steel Mounting Hardware
- Powder Coat Finish

Ordering Information:

Model: Ikon-Black
 Model: Ikon-Bronze

12V Two Arm Path Light with LED Lamp

15844

Specifications:

- Height: 22" (560mm)
- Length: 14" (355mm)
- Material: Cast Aluminum
- Lamp Base: 12V/3W wedge
- Beam Spread: 90°
- Light Output: 120 lumens

12V Two Arm Path Light with LED Lamp

15844

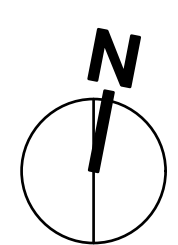
Specifications:

- Height: 22" (560mm)
- Length: 14" (355mm)
- Material: Cast Aluminum
- Lamp Base: 12V/3W wedge
- Beam Spread: 90°
- Light Output: 120 lumens

LANDSCAPE LIGHTING KEY

- 10 PATH LIGHT - KICHLER TWO ARM PATH LIGHT
- 10 STEP LIGHT - ICON HORIZONTAL STEP LIGHT

NOTE: ALL LIGHT FIXTURES TO BE COMPLIANT WITH LOCAL DARK SKY PRESERVATION ORDINANCES



DIAMOND SPA

THE MONARCH PORTABLE SPA ABOVE GROUND WITH AUTOCOVER

Specifications:

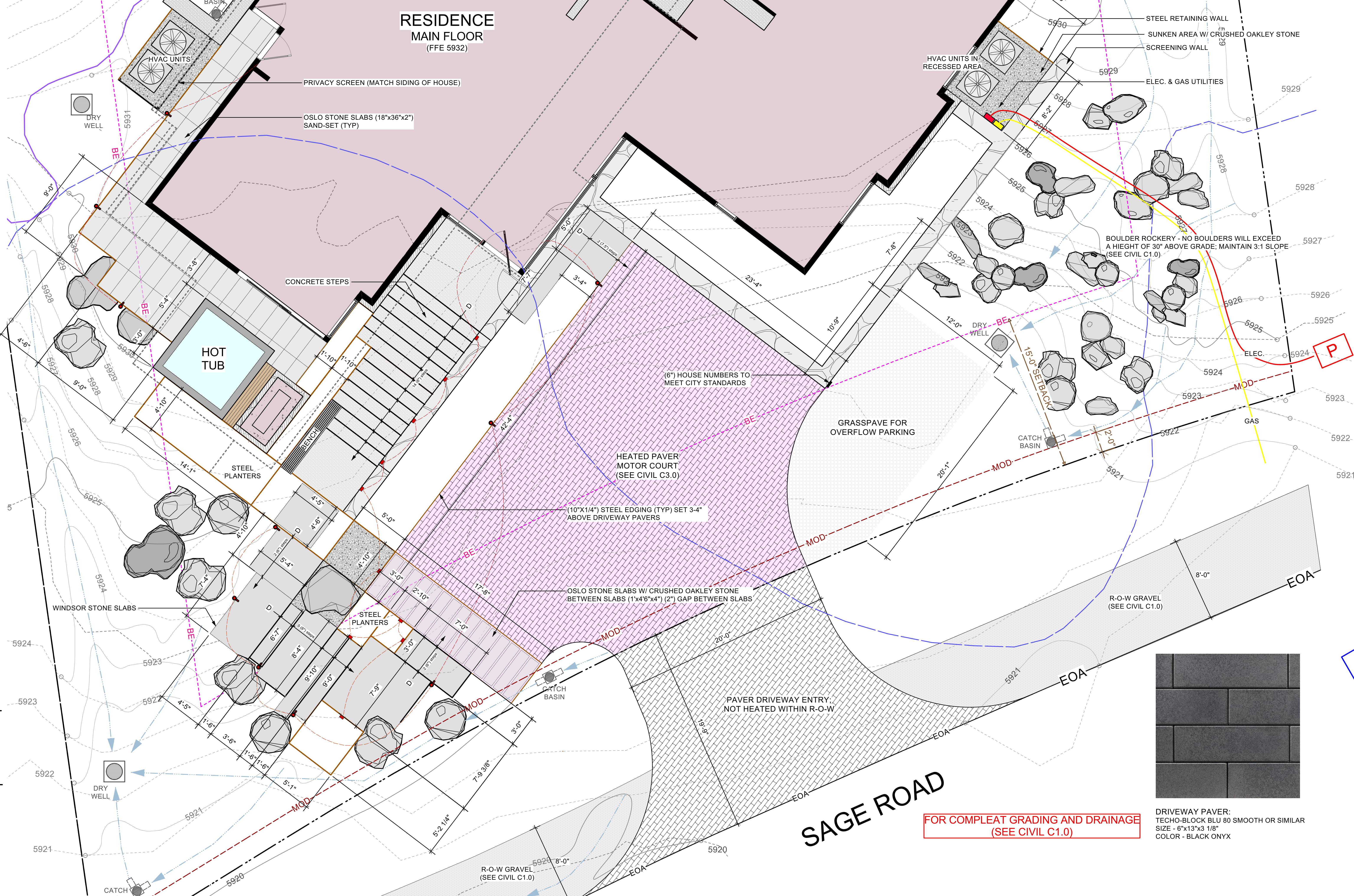
- Unit Size - 30" x 20" x 1" (80 x 50 x 2.5mm)
- Unit Weight - 11.1 lbs (5.0 kg)
- Strength - 11,000 psi (760 MPa)
- Color - Black
- Base - 100% Recycled HDPE with 1% carbon black
- Storage in Bags (41 lbs) If needed, other unit sizes available
- 100% Recycled Plastic

Applications:

- Chalkboard parking
- Child and pet safety
- Residential driveways
- Pedestrian

Notes:

- The steps also act to create the most secure surface (used) and prevent liquid spillage from the steps, deck, or other deck.



DATE	5.30.2023
REVISED	
PROJECT #	GSB 395.23
SCALE	1/4" = 1'-0"

STATE OF IDAHO
 LANDSCAPE ARCHITECT
 421.228

PRATT RESIDENCE
 406 SAGE ROAD, KETCHUM, IDAHO

HARDSCAPE DIMENSION PLAN

PRELIMINARY: ONLY FOR DESIGN REVIEW

PLANT SCHEDULE		NOTES: B&B=BALL & BURLAP; D.T.=DROUGHT TOLERANT; N.=NATIVE; X.=XERIC			
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
TREES					
5	ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	3.5"-4" CAL	B & B	
2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2 1/2" CAL	B & B; D.T.; N.; XX.	
3	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	12"-14" MULTI-STEM	B & B; D.T.; XX.	
CONIFERS					
4	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	12'-14'	B & B; D.T.; XX.	
2	PINUS ARISTATA'	BRISTLECONE PINE	8'-10'	B & B; D.T.; N.; X.	
SHRUBS					
2	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	8-10" MULTI-STEM	B & B; D.T.; N.; X.	
8	ARONIA MELANOCARPA	BLACK CHOKEBERRY	5'-6"	D.T.; N.; X.	
20	PHILADELPHUS 'SNOWBELLE'	DWARF MOCK ORANGE	5 GAL	D.T.; N.; X.	
16	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	5 GAL	D.T.; N.; XX.	
11	PRUNUS BESSEYI 'PAWNEE BUTTES'	CREEPING WESTERN CHERRY	5 GAL	D.T.; N.; XX.	
5	RHUS TYPHINA 'BALTIGER'	TIGER-EYE SUMAC	10 GAL	D.T.; N.; XX.	
6	RIBES AUREUM	GOLDEN CURRANT	10 GAL	D.T.; N.; X.	
GRASSES					
81	DESCHAPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	D.T.; N.; X.	
138	FESTUCA IDAHOENSIS 'MEDIUM GREEN'	MEDIUM GREEN FESCUE	1 GAL	NATIVE ROOTS	
23	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES'	THE BLUES PRAIRIE GRASS	1 GAL	D.T.; N.; XX.	
PERENNIALS / GROUNDCOVERS					
15	EQUISETUM SPP.	HORSETAIL RUSH	1 GAL		
300	MISCELLANEOUS PERENNIALS	MISCELLANEOUS PERENNIALS	1 GAL		
90	SEDUM SPURIMUM FULAGLUT	CREEPING SEDUM	4" CUPS		10" O.C.
VINES					
4	CLEMATIS X 'JACKMANI'	JACKMANI CLEMATIS	5 GAL		
5	CLEMATIS X 'MADAME LE COULTE'	MADAME LE COULTE CLEMATIS	5 GAL		
3	LONICERA X BROWNII 'DROPMORE SCARLET'	DROPMORE SCARLET HONEYSUCKLE	5 GAL	D.T.; X.	

SAGE GRASS MIX

25% Pseudoroegneria spicata	BLUEBUNCH WHEATGRASS
25% Festuca idahoensis	IDAHO FESCUE
15% Elymus trachycaulus	SLENDER WHEATGRASS
10% Achnatherum hymenoides	INDIAN RICEGRASS
10% Paspocorym smithii	WESTERN WHEATGRASS
5% Elymus lanceolatus	THICKSPIKE WHEATGRASS
5% Lomatium triternatum	NINELEAF BISCUITROOT
5% Poa secunda	SANDBERG'S BLUEGRASS
5% Elymus elymoides	BOTTLEBRUSH SQUIRRELTAIL

(SOURCE: WESTERN NATIVE SEED)

*** SEEDING RATE: 2 lbs per 1,000 sq. ft. or 25 lbs per acre
 PLUG RATE: 18" O.C. = 45 plants per sq. ft.

SAGE COUNTRY WILDFLOWER MIX

15% Balsamorhiza sagittata	ARROWLEAF BALSAMROOT
12% Eriogonum umbellatum	SULFURFLOWER BUCKWHEAT
10% Cleome serrulata	ROCKY MOUNTAIN BEEPLANT
10% Linum perenne lewisii	BLUEFLAX
10% Penstemon eatonii	FIRECRACKER PENSTEMON
10% Penstemon strictus	ROCKY MT. PENSTEMON
5% Eriogonum heracleoides	WYETH BUCKWHEAT
5% Lomatium triternatum	NINELEAF BISCUITROOT
5% Penstemon speciosus	SAGE PENSTEMON
3% Penstemon wilcoxii	WILCOX PENSTEMON
2% Achillea millefolium occidentalis	ROCKY MT. PENSTEMON
2% Helianthus multiflorus	SHOWY GOLDENEYE
1% Sphaeralcea munroana	MUNRO GLOBEMALLOW

(SOURCE: WESTERN NATIVE SEED)

*** SEEDING RATE: 8oz. per 1,000 sq. ft.

IRRIGATION CALCULATIONS

TOTAL LOT ACREAGE = 3.13 ACRES = 136,443 SQ.FT.

IRRIGATED AREAS:

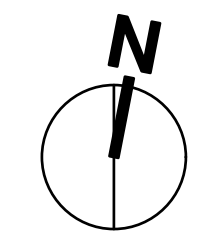
NATIVE GRASS AREAS (IRRIGATED)	4,285 SQ.FT.
R.O.W. NATIVE GRASS AREA (IRRIGATED)	1,042 SQ.FT.
MULCHED PLANTING BEDS	492 SQ.FT.
RAISED STEEL PLANTERS	138 SQ.FT.
TOTAL IRRIGATED AREAS:	.14 ACRES = 5,957 SQ.FT.

SAGE COUNTRY SHORT GRASS MIX

25% Achnatherum hymenoides	INDIAN RICEGRASS
20% Elymus elymoides	BOTTLEBRUSH SQUIRRELTAIL
5% Koeleria macrantha	JUNEGRASS
5% Poa fendleriana	MUTTONGRASS
45% Poa secunda	SANDBERG'S BLUEGRASS

(SOURCE: WESTERN NATIVE SEED)

*** SEEDING RATE: 1 lb per 1,000 sq. ft. or 25 lbs. per acre



RUSSIAN HAWTHORN
 SASKATOON SERVICEBERRY



NOTE: THIS PLANTING PLAN REPRESENTS A NATIVE AND DROUGHT TOLERANT PLANT PALLET AND QUALIFIES FOR THE BLAINE COUNTY WOOD RIVER LAND TRUST TROUT FRIENDLY PROGRAM. ANY PLANT SUBSTITUTIONS MUST BE DROUGHT TOLERANT AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.

DATE	5.30.2023
REVISED	
PROJECT #	GSD 395.23
SCALE	1/4" = 1'-0"

All ideas & designs appearing herein shall not be duplicated, altered or otherwise used without the written consent of garden space design.

PRATT RESIDENCE
 406 SAGE ROAD, KETCHUM, IDAHO

PLANTING PLAN

LANDSCAPE ARCHITECT
 GARDEN SPACE DESIGN

- IRRIGATION NOTES:**
- IRRIGATE ALL DISTURBED AREAS WITH UNDERGROUND AUTOMATIC SPRINKLER SYSTEM.
 - DESIGN ALL DRIP AND SPRAY ZONES BASED ON SITE WATER FLOW AND PRESSURE AS WELL AS ALL PLANT SPECIES REQUIREMENTS.
 - ZONE ALL TURF AREAS SEPARATELY FROM NATURAL GRASSES AND ALL OTHER PLANT ZONES.
 - ZONE ALL PLANTER BOXES AND/OR CONTAINERS SEPARATELY FROM ALL OTHER PLANT ZONES.
 - USE MP ROTATING SPRINKLERS WHENEVER POSSIBLE FOR OVERHEAD TURF IRRIGATION.
 - DRIP IRRIGATE ALL NEW PLANTINGS INCLUDING GARDEN BEDS, TREES, AND SHRUBS.
 - ALL NEW IRRIGATION SYSTEMS ARE REQUIRED TO HAVE A STATE PLUMBING CODE APPROVED RP BACKFLOW ASSEMBLY INSTALLED.
 - MAINTAIN EXISTING SITE IRRIGATION THROUGHOUT CONSTRUCTION AS MUCH AS POSSIBLE AND WHERE IMPRACTICAL PROVIDE A TEMPORARY WATERING SYSTEM TO MAINTAIN THE HEALTH OF EXISTING PLANT MATERIAL.
 - GSD RECOMMENDS INSTALLING WI-FI ENABLED IRRIGATION CONTROLLERS THAT MEET WATERSENSE EPA CRITERIA.
 - DESIGN IRRIGATION SYSTEMS FOR MAXIMUM EFFICIENCY; REFER TO IRRIGATION PLAN IF APPLICABLE.
 - INSTALL PIPING, SPRINKLER HEADS AND FITTINGS WITH METHODS CONSISTENT WITH IDAHO CODE, MANUFACTURING RECOMMENDATIONS AND IRRIGATION DESIGN WHERE APPLICABLE.
 - IRRIGATION INSTALLER WILL PROVIDE APPROPRIATELY SIZED SLEEVING UNDER ALL HARDSCAPE ELEMENTS.
 - REMOVE FROM THE SITE ANY DEBRIS LARGER THAN 4" DIAMETER THAT IS UNEARTHED DURING INSTALLATION.
 - IRRIGATION DESIGNER OR INSTALLER WILL PROVIDE "AS BUILT" DRAWINGS - SHOWING ALL COMPONENTS OF THE SYSTEM AT PROJECT COMPLETION SUCH AS GPM OF ZONES, WIRE RUNS, HEADS, VALVES, PIPE SIZES, ETC. - FOR ALL INSTALLATIONS.

- PLANTING NOTES:**
- ALL PLANT MATERIALS SHALL BE TRUE TO NAME. SUBSTITUTIONS DUE TO AVAILABILITY MUST BE APPROVED BY THE HOME OWNER OR LANDSCAPE DESIGNER IN WRITING.
 - PLANT LOCATIONS FOR NEW OR TRANSPLANTED TREES, SHRUBS AND PERENNIALS TO BE DETERMINED BY THE HOME OWNER OR LANDSCAPE DESIGNER; STAKE AND LABEL LOCATIONS OF INDIVIDUAL TREES AND SHRUBS; OUTLINE GARDEN BEDS OF MULTIPLE PLANTINGS.
 - VERIFY ALL EXISTING TREES, SHRUBS AND OTHER VEGETATION TO REMAIN IN PLACE. ANY TREES, SHRUBS OR OTHER VEGETATION TO BE REMOVED ENTIRELY OR RELOCATED ON-SITE MUST BE IDENTIFIED AND FLAGGED BY LANDSCAPE DESIGNER PRIOR TO REMOVAL OR TRANSPLANTING.
 - PRIOR TO PLANTING, CONTRACTOR SHALL AERATE ALL EXISTING SOILS. DECOMPACTION DEPTH SHALL BE EQUAL TO OR GREATER THAN MATURE ROOT DEPTH OF THE PLANTS TO BE INSTALLED.
 - ALL EXISTING SOILS THAT ARE TO BE USED FOR PLANTING WILL BE EVALUATED AND APPROPRIATELY AMENDED TO SUPPORT THE SPECIFIC PLANT NEEDS IN EACH SPECIFIED PLANTING AREA. GENERALLY, AMENDED SOILS SHOULD BE BLENDED: 50% BIOSOLIDS / 50% TOPSOIL.
 - ALL DECIDUOUS PLANT MATERIALS MOVED IN FULL-LEAF ARE REQUIRED TO BE COVERED WITH TARPS AND HANDLED APPROPRIATELY DURING TRANSPORTATION.
 - MAINTENANCE OF ALL PLANT MATERIALS STORED ON OR OFF SITE THROUGHOUT THE INSTALLATION PHASE IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PLANT MATERIAL THROUGHOUT THE PROJECT.
 - PLANT MATERIAL OBSERVATION: DESIGNER MAY OBSERVE PLANT MATERIAL EITHER AT PLACE OF GROWTH OR AT CONSTRUCTION SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, CULTIVAR, SIZE, AND QUALITY. FURTHERMORE, DESIGNER RETAINS THE RIGHT TO OBSERVE TREES AND SHRUBS FOR SIZE AND CONDITION OF ROOT BALL SYSTEMS, PESTS, DISEASE SYMPTOMS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
 - GARDEN BED: FINISHED GRADE OF TOPSOIL SHALL BE APPROXIMATELY 3 1/2" BELOW ADJOINING PAVED SURFACES ALLOWING FOR 3" OF MULCH TO BE PLACED ON TOP.
 - TREES AND SHRUBS: INDIVIDUALLY PLANTED TREES AND SHRUBS SHALL BE TOP DRESSED WITH 3-4" MINIMUM OF COMPOSTED MULCH ON TOP OF ROOT BALL(S) AND EXCAVATION. DAMAGED BRANCHES SHALL BE PRUNED AND APPROXIMATELY 1/3 OF INNER GROWTH REMOVED USING PROPER HORTICULTURE PRUNING STANDARDS.
 - SOD AND SEEDED AREAS: SEE P-5 FOR GENERAL SOIL COMPOSITION. AREAS TO BE SODDED 1'-1 1/2" BELOW FINISHED ELEVATION.

**PRELIMINARY:
 ONLY FOR
 DESIGN REVIEW**



ARMSTRONG MAPLE



TIGER-EYE SUMAC



COMMON HACKBERRY



BLACK CHOKEBERRY

SASKATOON SERVICEBERRY



BLACK HILLS SPRUCE



IDAHO FESCUE



BRISTLECONE PINE



HONEYSUCKLE VINE



CLEMATIS SPP.



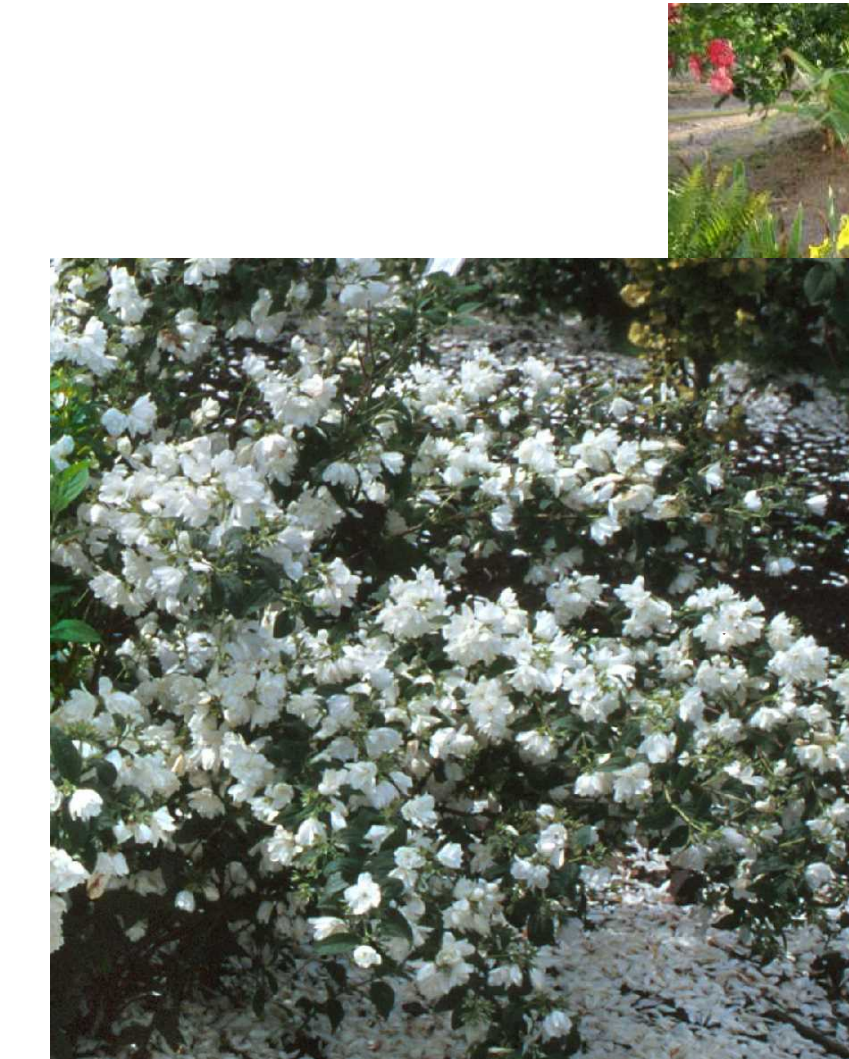
WESTERN CREEPING CHERRY



HORSETAIL REED GRASS



GOLDEN CURRENT



DWARF MOCK ORANGE



GOLDFINGER POTENTILLA



Boulder / PLANT SLOPE RETENTION



RUSSIAN HAWTHORN



TUFTED HAIR GRASS



SEDUM SPP.

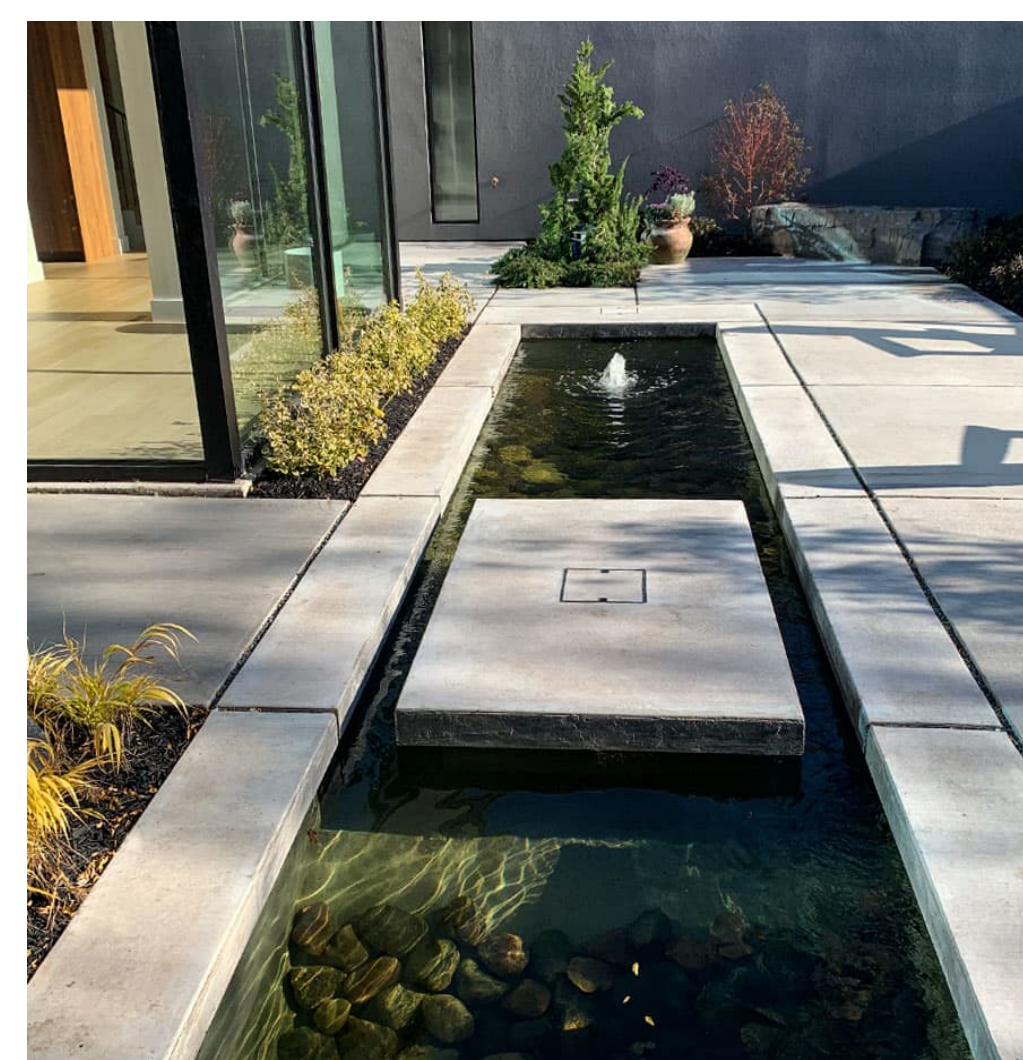


SAGE COUNTRY SEED MIX

SAGE COUNTRY MIX



THE BLUES PRAIRIE GRASS



WALKWAY OVER WATER



NATURAL GRASS ROOF



CONCRETE W/ STEEL PLANTERS AS RETAINING WALLS



STEEL PLANTERS W/ CONCRETE STEPS



HORSETAIL W/ MOVING WATER

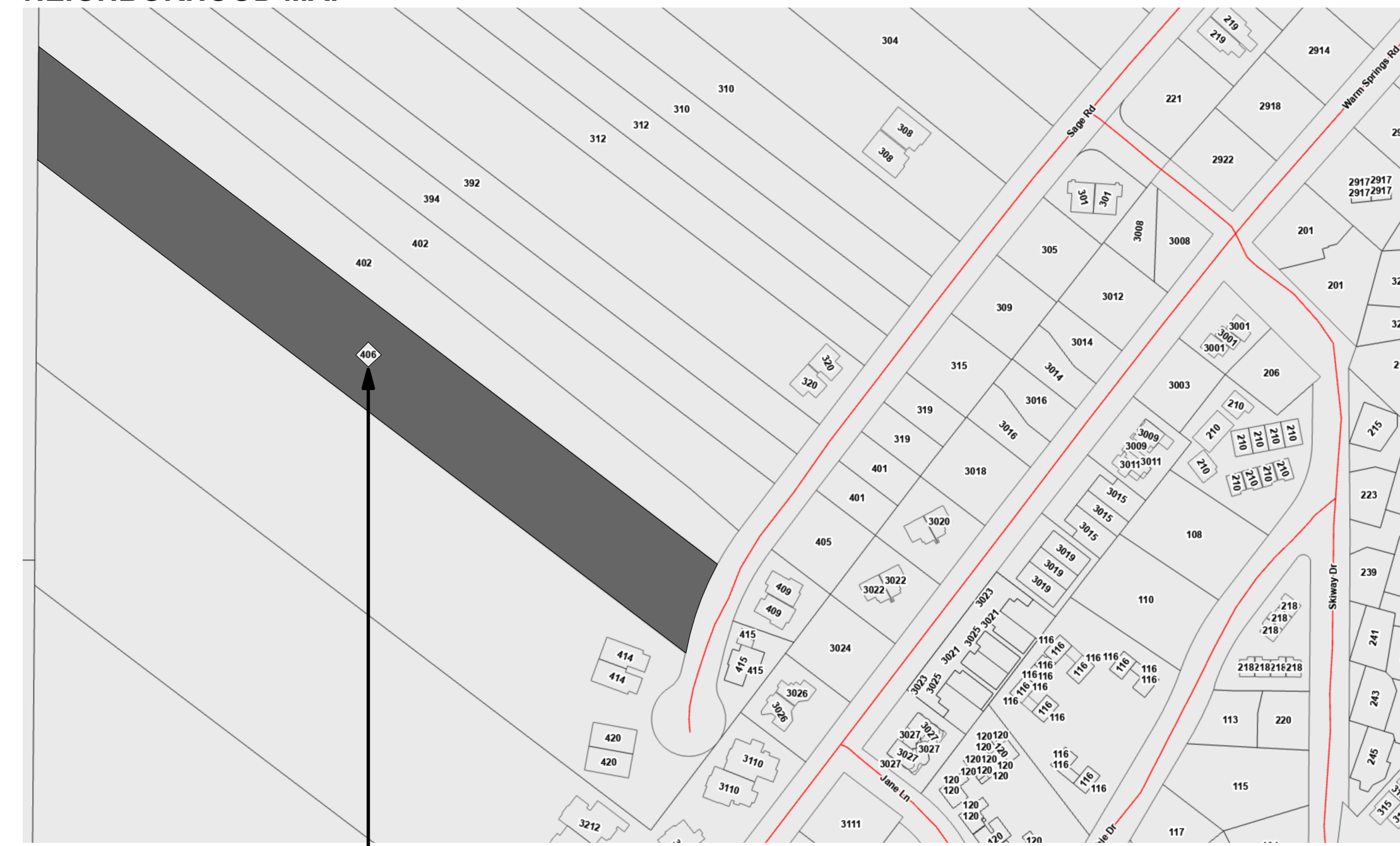
DATE	5.30.2023
REVISED	
PROJECT #	GSD 395.23
All ideas & designs appearing herein shall not be duplicated, altered or otherwise used without the written consent of garden space design.	
SCALE	NO SCALE



PRATT RESIDENCE
406 SAGE ROAD, KETCHUM, IDAHO
INSPIRATIONAL & PLANT PHOTOS

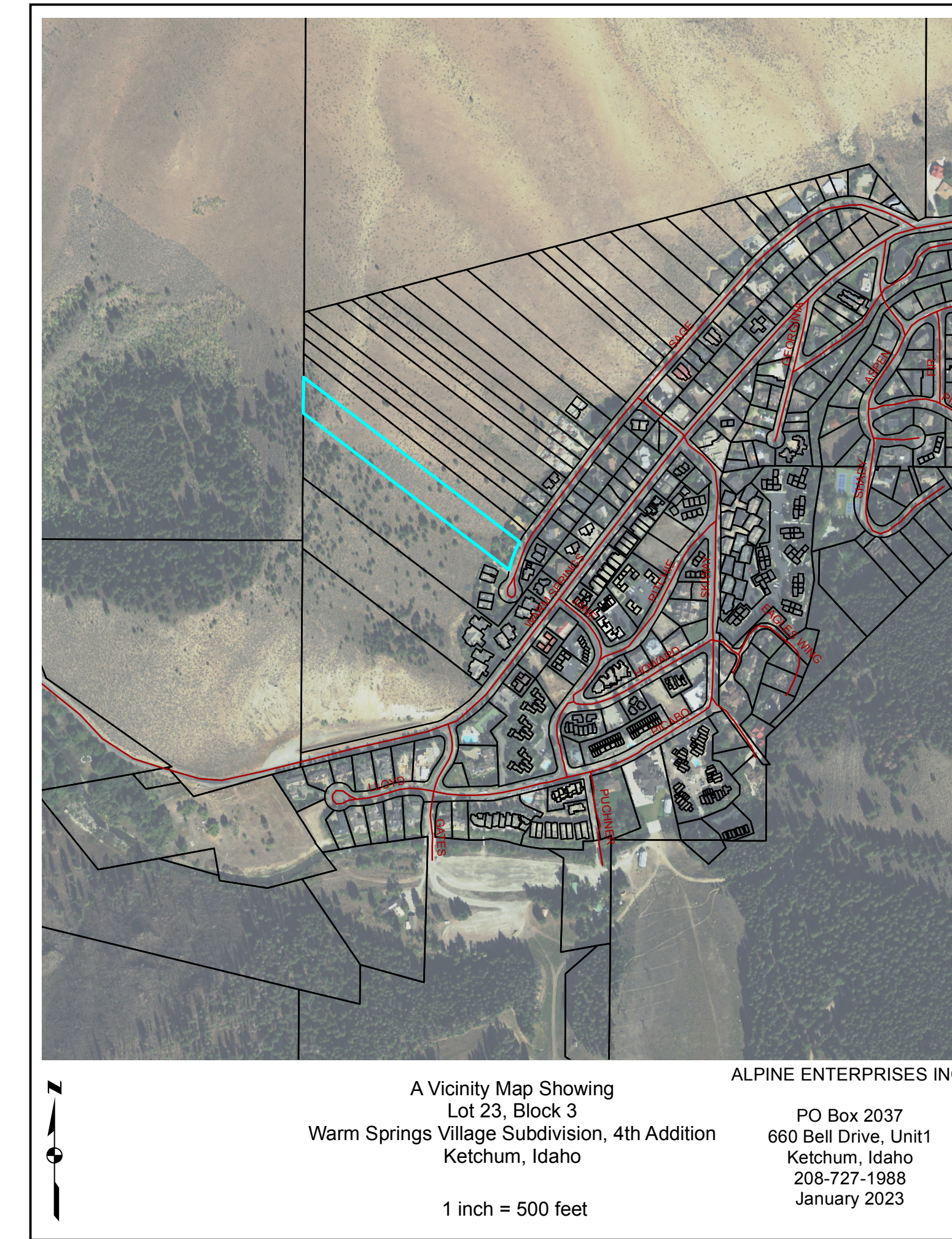
**PRELIMINARY:
ONLY FOR
DESIGN REVIEW**

NEIGHBORHOOD MAP



PROJECT LOCATION
406 Sage Rd., Ketchum, ID. 83340

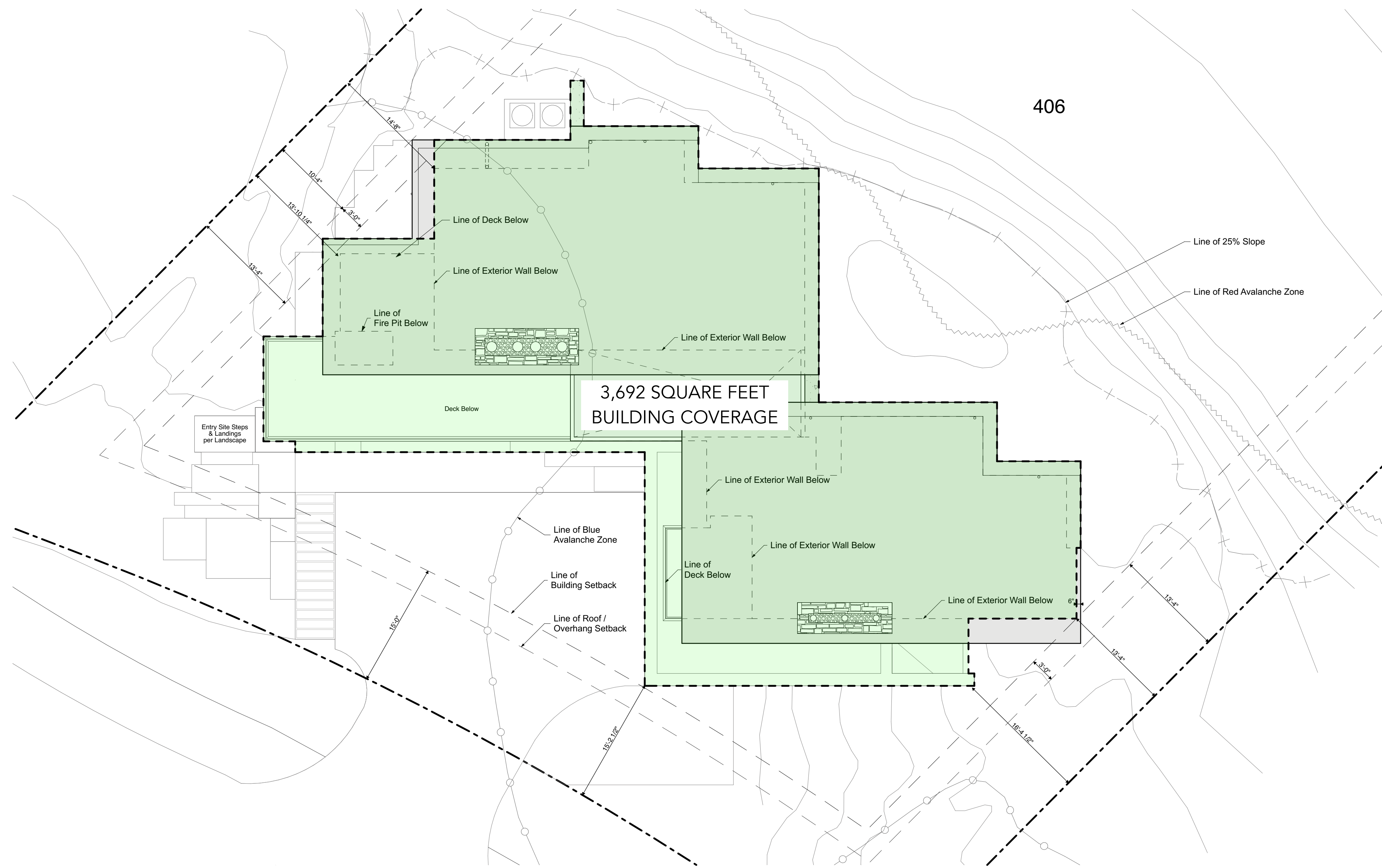
FIRE SAFETY GENERAL NO



A Vicinity Map Showing
Lot 23, Block 3
Warm Springs Village Subdivision, 4th Addition
Ketchum, Idaho

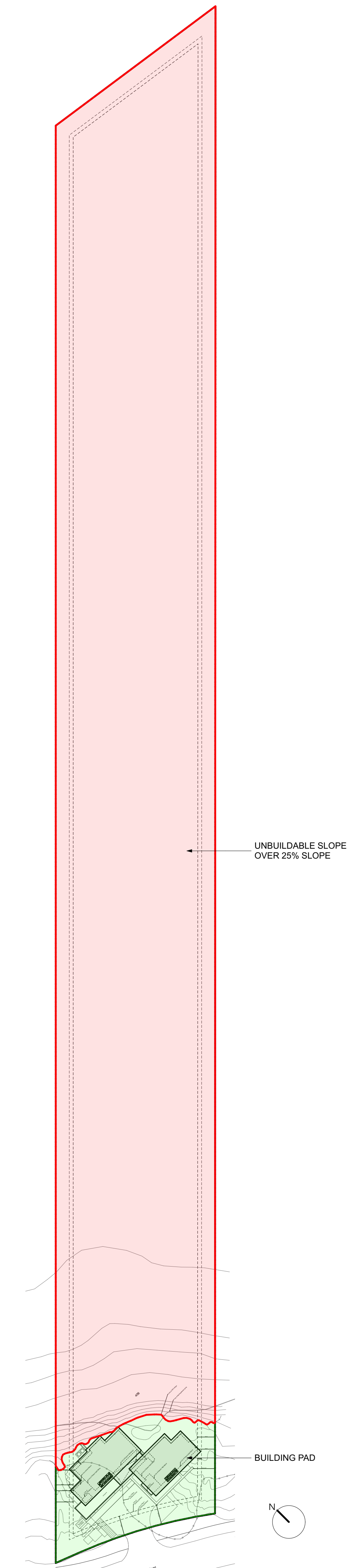
ALPINE ENTERPRISES INC.
PO Box 2037
660 Belt Drive, Unit 1
Ketchum, Idaho
208-727-1988
January 2023

1 inch = 500 feet



**3,692 SQUARE FEET
BUILDING COVERAGE**

BUILDING COVERAGE OVERLAY DIAGRAM
SCALE: 1/8" = 1'-0"



SITE EXTENTS AND BUILDING PAD DIAGRAM
1"=50'

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0280

Sun Valley
351 N. Louisville Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pinerose Rd., Suite 410
Shreveport, LA 71106
T.318.383.3100

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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/31/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

P R A T T R E S I D E N C E
 406 SAGE RD, KETCHUM
 ID 83340


DATE:	5/31/23
PROJECT #:	SV2202
DRAWN:	NH/AB
ISSUE:	
Design Review	3.31.23
Design Review Response	

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5/31/23



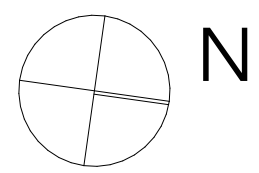
Scott Payne
STATE OF IDAHO EXP. 6.25.23

DESIGN REVIEW SET



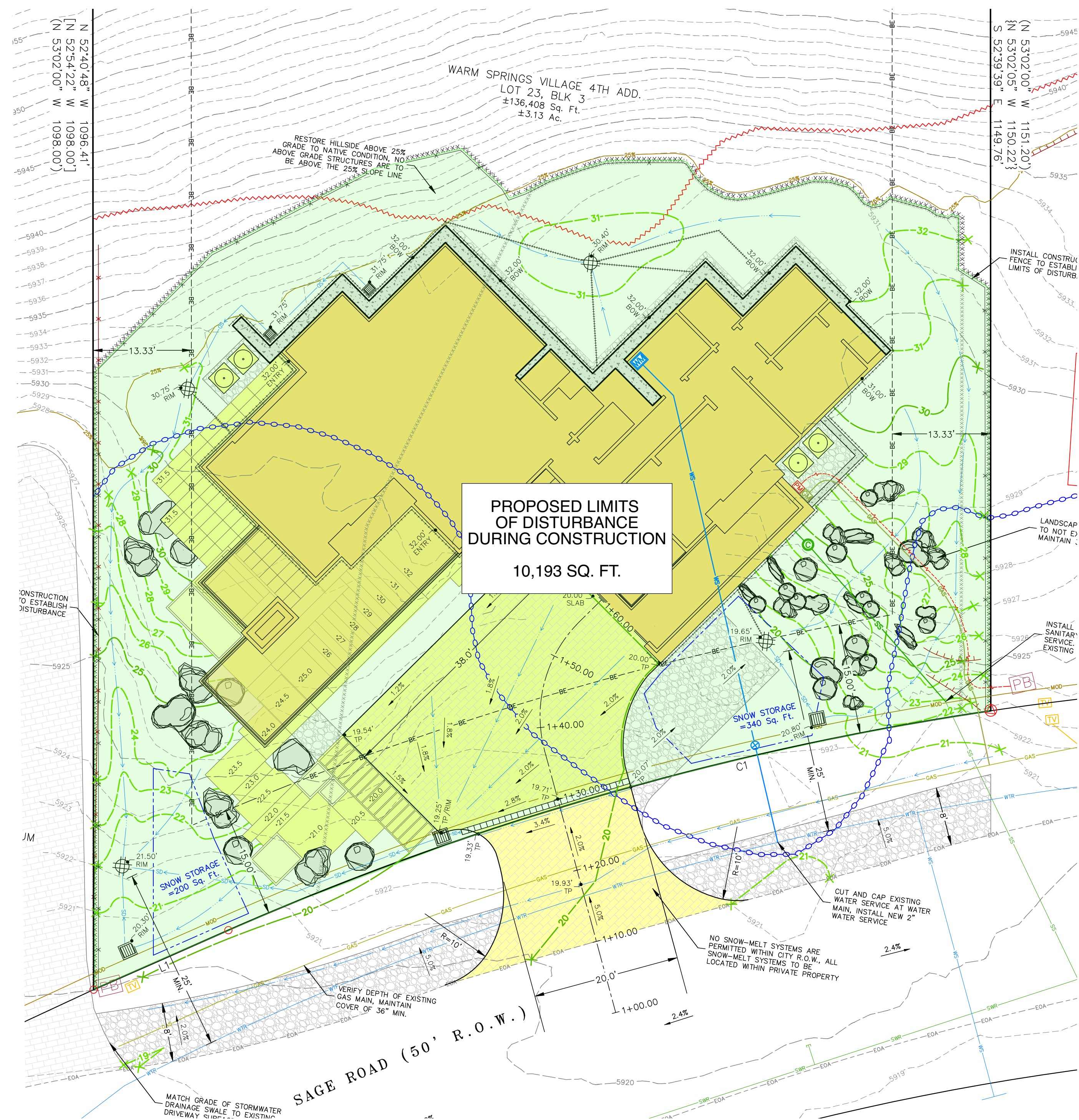
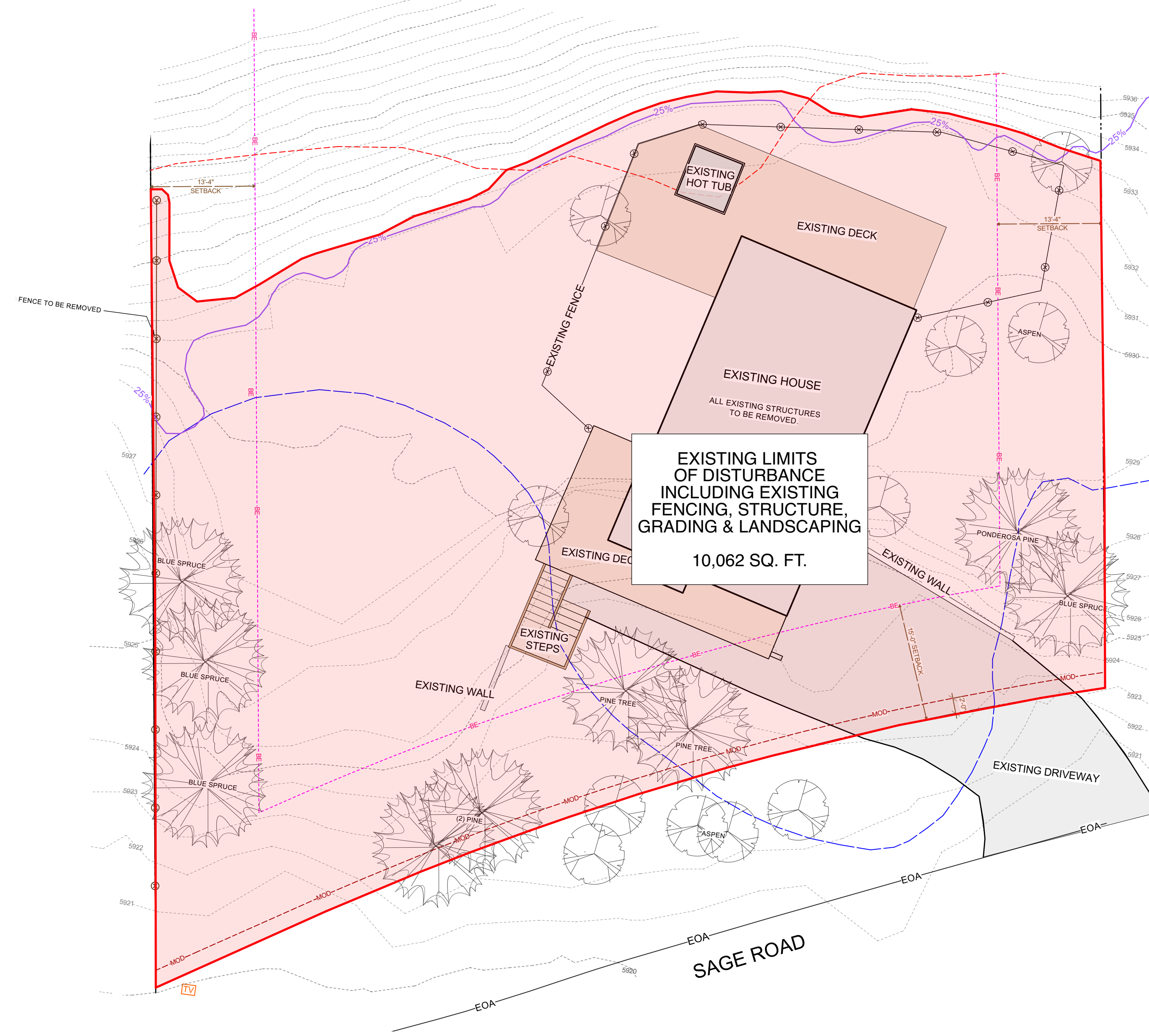
P R A T T R E S I D E N C E
 406 SAGE RD, KETCHUM
 ID 83340

DATE:	5/31/23
PROJECT #:	SV2202
DRAWN:	NH/AB
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Design Review	3.31.23
Design Review Response	



SITE PLAN
SCALE: 1/8" = 1'-0"

A200B
ARCHITECTURAL SITE PLAN



SITE DISTURBANCE DIAGRAMS
SCALE: 1" = 10'



NOTE: ALL HILLSIDE ABOVE 25% GRADE LINE TO BE RESTORED TO NATIVE CONDITION & NO ABOVE GRADE STRUCTURES ARE TO BE ABOVE THE 25% SLOPE LINE.

LOD COMPARISON DIAGRAM
SCALE: 1" = 10'

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7/5/23
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STATE OF IDAHO
EXP. 6.25.23

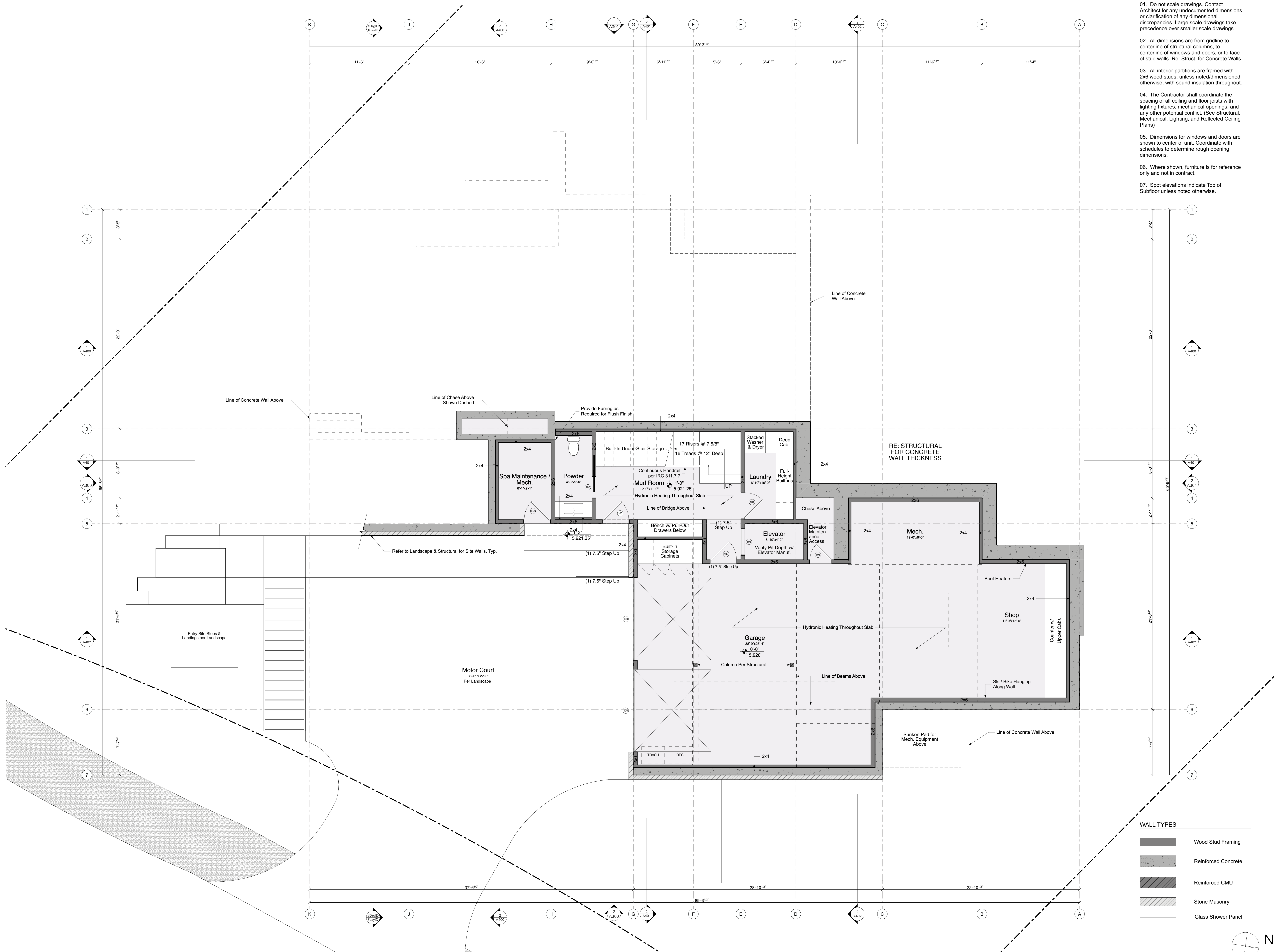
DESIGN REVIEW SET

P R A T T R E S I D E N C E
406 SAGE RD, KETCHUM
ID 83340

DATE: 7/5/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response

GENERAL PLAN NOTES

- Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls. Re: Struct. for Concrete Walls.
- All interior partitions are framed with 2x6 wood studs, unless noted/dimensioned otherwise, with sound insulation throughout.
- The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
- Where shown, furniture is for reference only and not in contract.
- Spot elevations indicate Top of Subfloor unless noted otherwise.



WALL TYPES

[Symbol]	Wood Stud Framing
[Symbol]	Reinforced Concrete
[Symbol]	Reinforced CMU
[Symbol]	Stone Masonry
[Symbol]	Glass Shower Panel

1 FIRST LEVEL - NOTED
SCALE: 1/4" = 1'-0"

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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/31/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

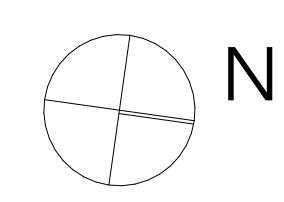
GENERAL PLAN NOTES

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- Spot elevations indicate Top of Subfloor unless noted otherwise.



WALL TYPES

	Wood Stud Framing
	Reinforced Concrete
	Reinforced CMU
	Stone Masonry
	Glass Shower Panel



1 SECOND LEVEL - NOTED
SCALE: 1/4" = 1'-0"

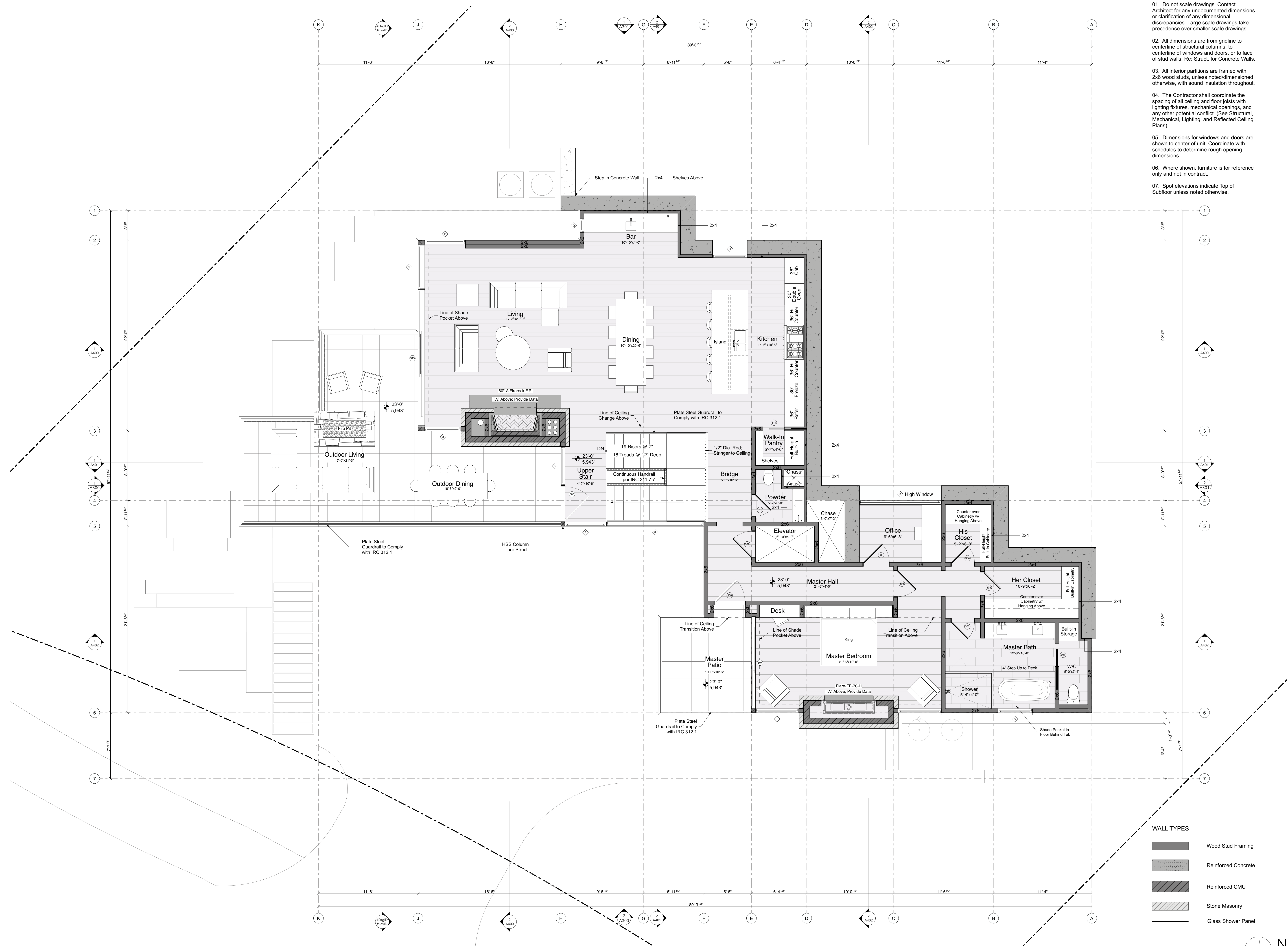
DATE: 5/31/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response

A202
SECOND LEVEL PLAN - NOTED

PRATT RESIDENCE
406 SAGE RD, KETCHUM
ID 83340

GENERAL PLAN NOTES

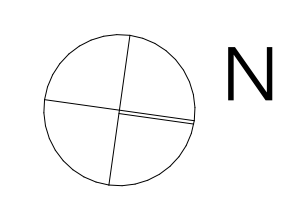
- 01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- 02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls. Re: Struct. for Concrete Walls.
- 03. All interior partitions are framed with 2x6 wood studs, unless noted/dimensioned otherwise, with sound insulation throughout.
- 04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- 05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
- 06. Where shown, furniture is for reference only and not in contract.
- 07. Spot elevations indicate Top of Subfloor unless noted otherwise.



WALL TYPES

	Wood Stud Framing
	Reinforced Concrete
	Reinforced CMU
	Stone Masonry
	Glass Shower Panel


1 THIRD LEVEL - NOTED
SCALE: 1/4" = 1'-0"



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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479
5/31/23



Scott Payne
STATE OF IDAHO
EXP. 6.25.23

DESIGN REVIEW SET

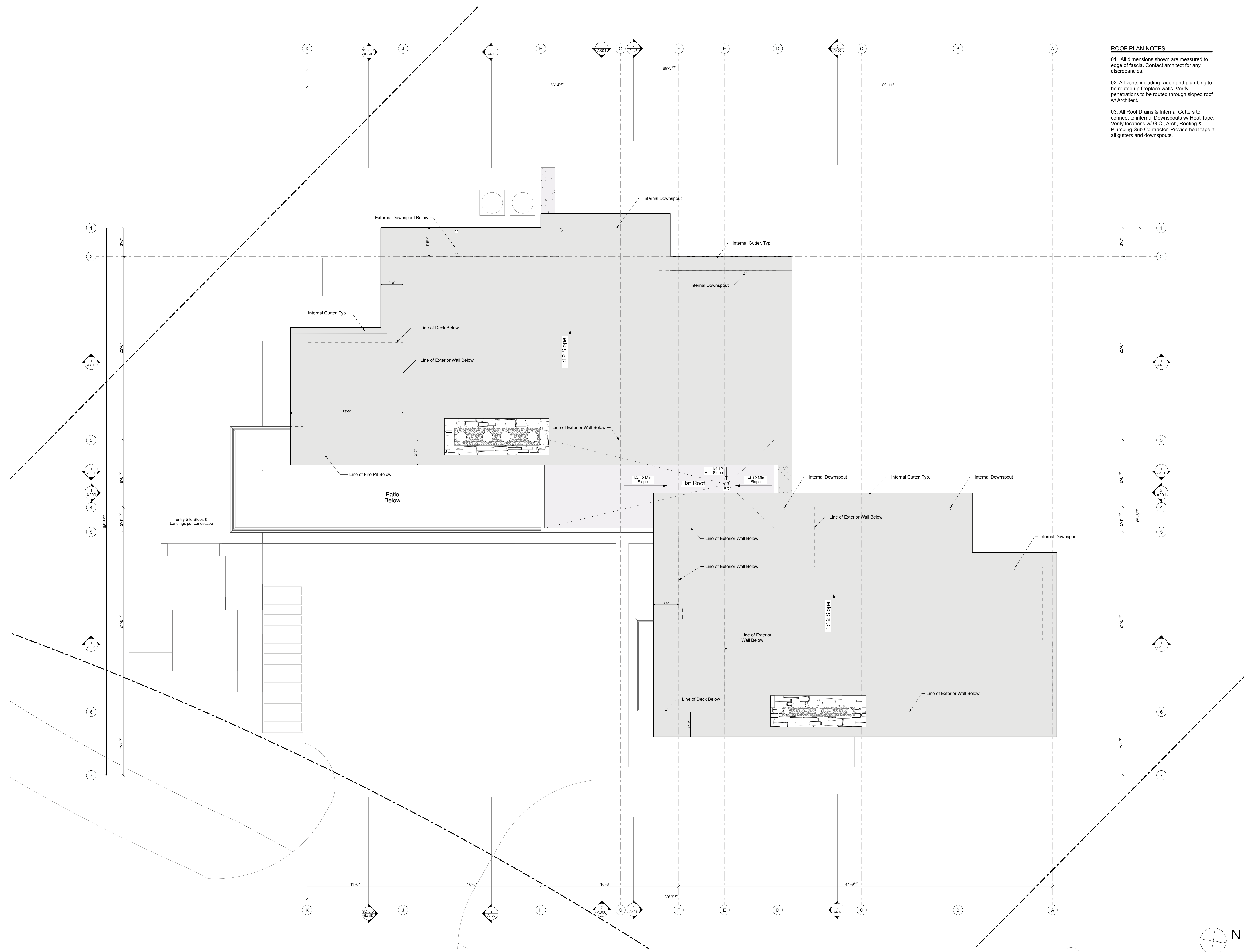
PRATT RESIDENCE
406 SAGE RD, KETCHUM
ID 83340

DATE:	5/31/23
PROJECT #:	SV2202
DRAWN:	NH/AB
ISSUE:	
Design Review	3.31.23
Design Review Response	

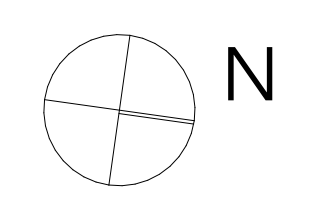
A204
ROOF PLAN

ROOF PLAN NOTES

- All dimensions shown are measured to edge of fascia. Contact architect for any discrepancies.
- All vents including radon and plumbing to be routed up fireplaces walls. Verify penetrations to be routed through sloped roof w/ Architect.
- All Roof Drains & Internal Gutters to connect to internal Downspouts w/ Heat Tape. Verify locations w/ G.C., Arch, Roofing & Plumbing Sub Contractor. Provide heat tape at all gutters and downspouts.



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



GENERAL REFLECTED CEILING PLAN NOTES



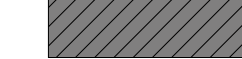


01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All interior partitions are framed with 2x6 wood studs, unless noted/ dimensioned otherwise, with sound insulation throughout.

03. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)

04. Spot elevations indicate Bottom of Ceiling unless noted otherwise.

WALL TYPES

-  Wood Stud Framing
-  Reinforced Concrete
-  Reinforced CMU
-  Stone Masonry
-  Glass Shower Panel

FARMERPAYNE ARCHITECTS

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0080

Sun Valley
351 N. Lockville Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pinerose Rd, Suite 410
Shreveport, LA 71106
T.318.383.3100

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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/4/23

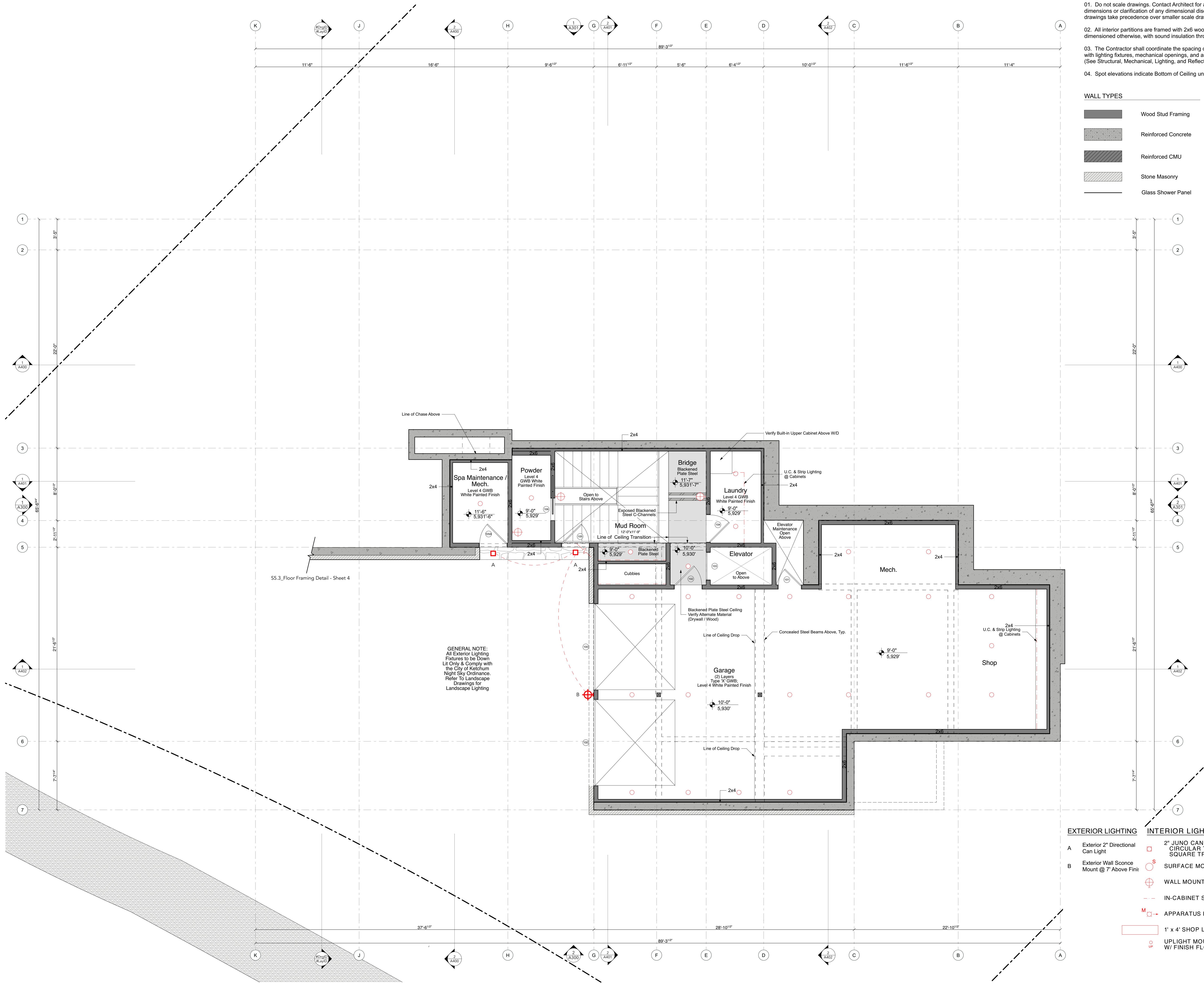
Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE

406 SAGE RD, KETCHUM
ID 83340



EXTERIOR LIGHTING

- A Exterior 2" Directional Can Light
- B Exterior Wall Sconce Mount @ 7' Above Fini

INTERIOR LIGHTING LEGEND

- 2" JUNO CAN; CIRCULAR TRIM @ DRYWALL SQUARE TRIM @ WOOD
- SURFACE MOUNTED FIXTURE
- WALL MOUNTED SCONCE
- IN-CABINET STRIP LIGHTING
- APPARATUS PENDANT MONOPOINT
- 1' x 4' SHOP LIGHT
- UPLIGHT MOUNTED FLUSH W/ FINISH FLOOR

1 FIRST LEVEL RCP & EXTERIOR LIGHTING
SCALE: 1/4" = 1'-0"

DATE: 5/4/23
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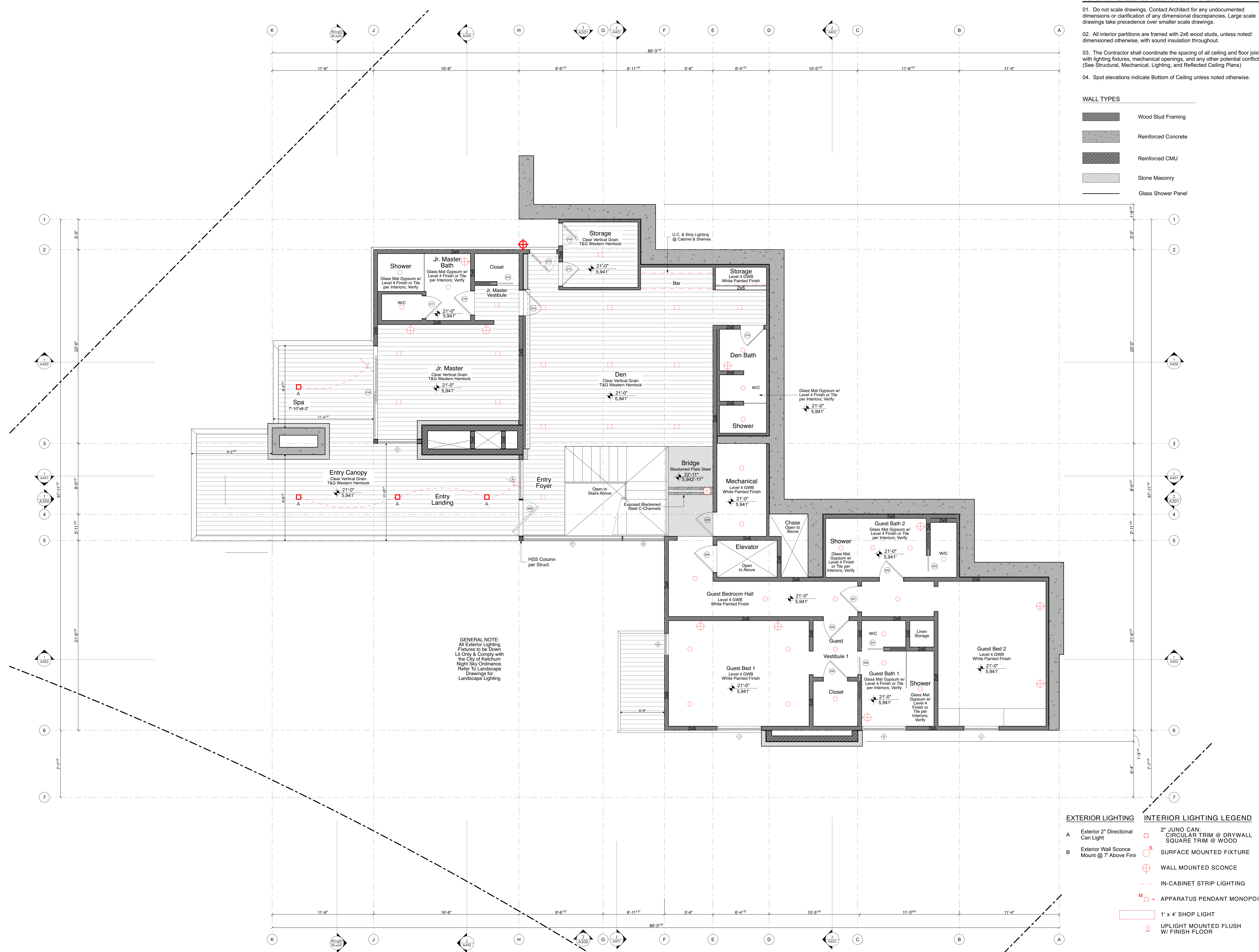
A211
FIRST LEVEL RCP &
EXTERIOR LIGHTING

GENERAL REFLECTED CEILING PLAN NOTES

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03. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
04. Spot elevations indicate Bottom of Ceiling unless noted otherwise.

WALL TYPES

- Wood Stud Framing
- Reinforced Concrete
- Reinforced CMU
- Stone Masonry
- Glass Shower Panel



GENERAL NOTE:
All Exterior Lighting Fixtures to be Down Lit Only & Comply with the City of Ketchum Night Sky Ordinances. Refer to Landscape Drawings for Landscape Lighting

EXTERIOR LIGHTING

- A Exterior 2" Directional Can Light
- B Exterior Wall Sconce Mount @ 7' Above Finic

INTERIOR LIGHTING LEGEND

- 2" JUNO CAN: CIRCULAR TRIM @ DRYWALL SQUARE TRIM @ WOOD
- SURFACE MOUNTED FIXTURE
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- IN-CABINET STRIP LIGHTING
- APPARATUS PENDANT MONOPOINT
- 1' x 4' SHOP LIGHT
- UPLIGHT MOUNTED FLUSH W/ FINISH FLOOR

FARMERPAYNE ARCHITECTS

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0280

Sun Valley
351 N. Locustville Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
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Shreveport, LA 71106
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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/4/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE

406 SAGE RD, KETCHUM
ID 83340

DATE: 5/4/23
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A212
SECOND LEVEL RCP &
EXTERIOR LIGHTING

1 SECOND LEVEL RCP & EXTERIOR LIGHTING
SCALE: 1/4" = 1'-0"

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ARCHITECT STAMP

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5/4/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE

406 SAGE RD, KETCHUM ID 83340


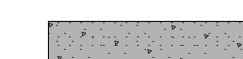

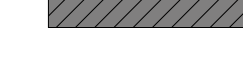

DATE: 5/4/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response

A213
THIRD LEVEL RCP &
EXTERIOR LIGHTING

GENERAL REFLECTED CEILING PLAN NOTES

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- Spot elevations indicate Bottom of Ceiling unless noted otherwise.

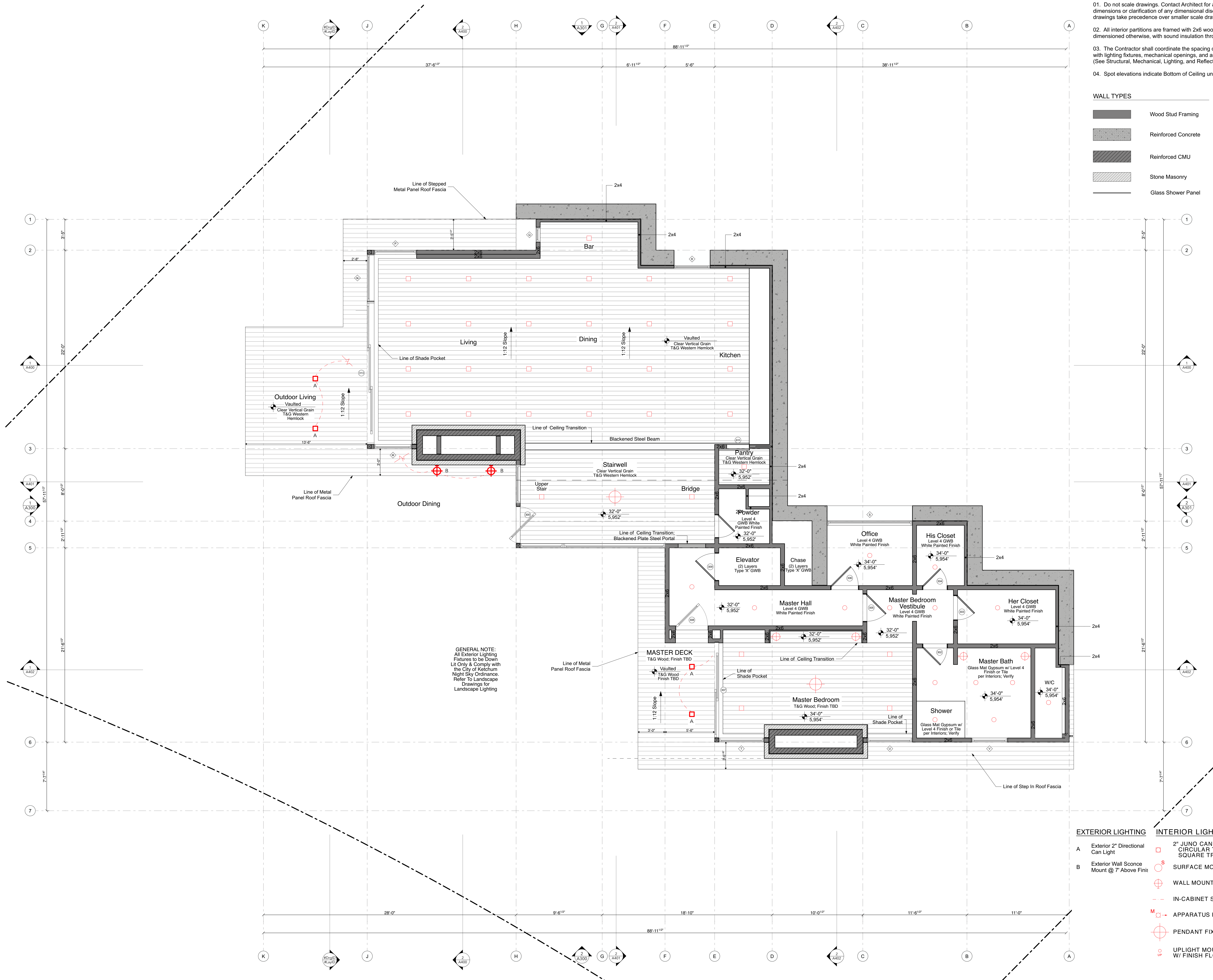
WALL TYPES

-  Wood Stud Framing
-  Reinforced Concrete
-  Reinforced CMU
-  Stone Masonry
-  Glass Shower Panel

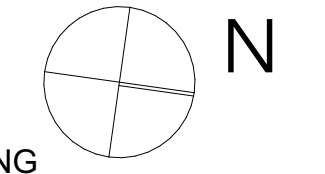
EXTERIOR LIGHTING **INTERIOR LIGHTING LEGEND**

- A Exterior 2" Directional Can Light
- B Exterior Wall Sconce Mount @ 7' Above Finis
- 2" JUNO CAN; CIRCULAR TRIM @ DRYWALL SQUARE TRIM @ WOOD
- SURFACE MOUNTED FIXTURE
- ⊕ WALL MOUNTED SCONCE
- IN-CABINET STRIP LIGHTING
- M APPARATUS PENDANT MONOPINT
- ⊙ PENDANT FIXTURE TBD
- UPLIGHT MOUNTED FLUSH W/ FINISH FLOOR

1 THIRD LEVEL RCP EXTERIOR LIGHTING
SCALE: 1/4" = 1'-0"



GENERAL NOTE:
All Exterior Lighting Fixtures to be Down Lit Only & Comply with the City of Ketchum Night Sky Ordinances. Refer to Landscape Drawings for Landscape Lighting



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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/31/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

12V Two Arm Path Light with LED Lamp 15844

RECOMMENDED LED LAMPS* (sold separately)

18121	1.5W, 2.4VA, 2700K, 130 lumens, 120° Beam
18121	1.5W, 2.4VA, 3000K, 130 lumens, 120° Beam
18198	1.1W, 1.2VA, 2700K, 85 lumens, 90° Beam
18199	1.1W, 1.2VA, 3000K, 85 lumens, 90° Beam
18204	2.3W, 3.3VA, 2700K, 215 lumens, 300° Beam
18205	2.3W, 3.3VA, 3000K, 215 lumens, 300° Beam

PHOTOMETRICS*

Distance from Light	0'	1'	2'	3'	4'	5'	6'	7'	8'	
Footcandles*	0.3	0.2	0.15	0.1	0.06	0.2	0.1	0.05	0.03	0.01

*Values scaled for supplied lamp with fixture

*Power usage at 12V AC input

Power (W)	10	12	14	16
0-20	1860/367	1950/391	2040/415	2130/439
40	3620/734	3900/782	4080/830	4260/878
60	5430/1101	5850/1173	6120/1245	6390/1319
80	7240/1468	7740/1564	8040/1630	8340/1706
100	9050/1835	9600/1951	10080/2060	10560/2169
>100				Consult Technical Support

INSTALLATION INFORMATION

TROUBLESHOOTING

Fixture does not illuminate Verify power connections. Review installation guide for installation problem. Insure manual reset breaker has not been tripped.

Fixture turns off Verify power connections. Review installation guide for installation problem. Insure manual reset breaker has not been tripped. Check voltage drop at fixture.

Fixture trips breaker Check installation for a possible short or overload state. Isolate the identified short and replace affected fixture or remove fixture(s) installed in overload.

LISTING
UL 1838 Issued: 2003/01/13 Ed: 3 Rev: 2015/01/13
Low Voltage Landscape Lighting Systems
CE marking in accordance with IEC 62471 Issue: 2006/07/01 Ed:1
Photobiological safety of lamps and lamp systems. No. 219
CE/ CB Scheme: Aluminum fixtures only.
Contact: layout@kichler.com

WARRANTY
See Kichler.com/Warranty for warranty details.
Consult Kichler Advanced Product Solutions for additional support at 844-452-5437.

KICHLER

Landscape Two Arm Path Light

IKON OUTDOOR STEP LIGHT TECH LIGHTING

The Ikon outdoor step light features a minimized rectangular aperture that aims illumination downward to light stairs with minimal glare. Ideal for wayfinding and added safety after dark. Available in two finishes, Black and Bronze.

- Selectable CCT (2700K/3000K)
- 120V or 12V
- Outstanding protection against the elements:
 - Wet Listed IP66 Rated
 - Stainless Steel Mounting Hardware
 - Powder Coat Finishes

SPECIFICATIONS

DELIVERED LUMENS	202 (2700K)
WATTS	12.2
VOLTAGE	120V (Transformer sold separately) or 120V
DIMMING	12V: ETV, MCV and Triac; 120V: not dimmable
LIGHT DISTRIBUTION	Spot
OPTICS	Not applicable
MOUNTING OPTIONS	Step: 248 junction box
CCT	2700K/3000K Selectable
CRI	90+
COLOR BINNING	3 Step
BUILD RATING	IP66-IP68-IP69
DARK SKY	Compliant
WET LISTED	IP66
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	ETL: 50,000 Hours
WARRANTY*	5 Years
WEIGHT	1 lb.

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

PRODUCT	CRI/CCT	FINISH	VOLTAGE
78050HM	80/90	BL/BR	120V/277V/3000K/3000K
		Z	120V/120V

*REQUIRES 12V REMOTE TRANSFORMER

12V AC TRANSFORMERS* (SOLD SEPARATELY)

ITEM	DESCRIPTION	HOURS	DIMMING
2000T100T	MAGNETIC, 100W, 100V	100,000	MAGNETIC
2000T100T	MAGNETIC, 100W, 120V	100,000	MAGNETIC
2000T100T	MAGNETIC, 100W, 120V	100,000	MAGNETIC

*SEE US FOR RECOMMENDED DIMMER. DIMMERS MUST BE 70% OF THE MAXIMUM WATTAGE SPECIFIED FOR THE LOW VOLTAGE TRANSFORMER DUE TO WATTAGE CURRENT REQUIREMENTS.

Landscape IKON Step Light

2" IC 600 AND 1000 LUMENS LED SQUARE DOWNLIGHT

2CPNC G2 SQ CHICAGO PLENUM

PRODUCT DESCRIPTION

2" inch aperture recessed downlight approved for City of Chicago Environmental Air (CECA) + C, rated for insulated or non-insulated applications. Luminaire produces up to 1000 lumens and is available with optic distribution approximating that of 2" W. 60° halogen lamps. Designed to provide 50,000 hours of life. 4 year limited warranty on LED Components. CECA marking per the electrical code specifications of the City of Chicago, commonly referred to as "Chicago Rules".

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury, RoHS compliant
- Comparable light output up to a 75W MR16 halogen lamp

PRODUCT SPECIFICATIONS

LED Light Engine Exceptional fixture to fixture color consistency within a 3-step MacAdam ellipse. 2700K, 3000K, 3000K, and 4000K color temperatures are available with 80 CRI or 90 CRI minimum.

Modular Optics Available with field interchangeable optics in 18° Spot, 24° Narrow Flood, or 40° Flood distribution.

Aesthetic Trim Trim features die cast beveled knife edge trim ring for clean setting. Optics available in white, black, satin nickel, or brushed bronze. Die cast baffles are available in white, black, satin nickel, or brushed bronze.

LED Driver Choice of dedicated 120 volt (120 driver or universal voltage (UVOL) driver that accommodates input voltages from 120-277 volts AC, or 50-60Hz. Power factor > 0.9. Dedicated 120 volt driver (120V) is dimmable with the use of most incandescent, magnetic low voltage and electronic low voltage dimmers. Universal voltage driver (UVOL) is dimmable with the use of most 0-10V protocol dimmers. For a list of compatible dimmers, see LEDCENRES036.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels CECA Marking: U.L. listed for use in environment or spaces other than shops and garages per the Electrical Code specifications of the City of Chicago. ENERGY STAR Certified. RoHS fixtures are certified to the high efficiency requirements of California Title 24, Part 2.4. Meets energy code Air Leakage requirements per ASTM E283. UL and cUL listed for wet locations.

Junction Box Includes (7) 1/8" and (1) 1/2" knock-outs equipped with grommet kits. Push-in electrical connections for field connections.

Mounting Designed for use in IC (insulated ceiling) or NON-IC non-combustible recessed trim 1" to 1 1/4" for Recessed ceilings up to 1 1/4" under 2(C)TA150. 2CPNC requires 248 connector. LED driver and trim installs directly into 2CPNC housing, with provided conduit connector.

Red Nail 3 Bar Hanger Chicago Plenum new construction housing. 2CPNC available with optional telescoping Red Nail® bar hanger system which permits quick placement of housing anywhere with 24" C.C. ribs or w/standard hangings. Includes removable nail for repositioning of fixture in wood joist construction. Integrated floor notch and clip for suspended ceiling. Design covered under US Patent D552,949.

Specifications subject to change without notice.

Downlight Reflector Finishes

WWH, BBL, BWB, BRZ, BSN

DIMENSIONS

2CPNC Housing

2 5/8" CIRCULAR CEILING CUTOUT
1 1/2" SQ APERTURE

A - Exterior Juno Directional 2" Can

Icon Outdoor Wall Light By dweLED YLIGHTING

Call Us 866 428 9289

Product Options

Finish: Bronze, Brushed Aluminum

Details

- Low-glare illumination
- Up and down light
- White diffuser lens
- Dimmable from 100-0% with an ELV dimmer (not included)
- Driver located inside the fixture
- Universal driver (120V/220V-277V)
- Material: Aluminum
- ADA compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: Limited 5 Year Functional, 2 Year Finish
- Made in China

Dimensions

Fixture: Width 5", Height 14", Depth 3"

Lighting

- 11 Watt (845 Lumens) 120 Volt/277 Volt Integrated LED; CRI: 90 Color Temp: 3000K Lifespan: 54000 hours **2700K**

Additional Details

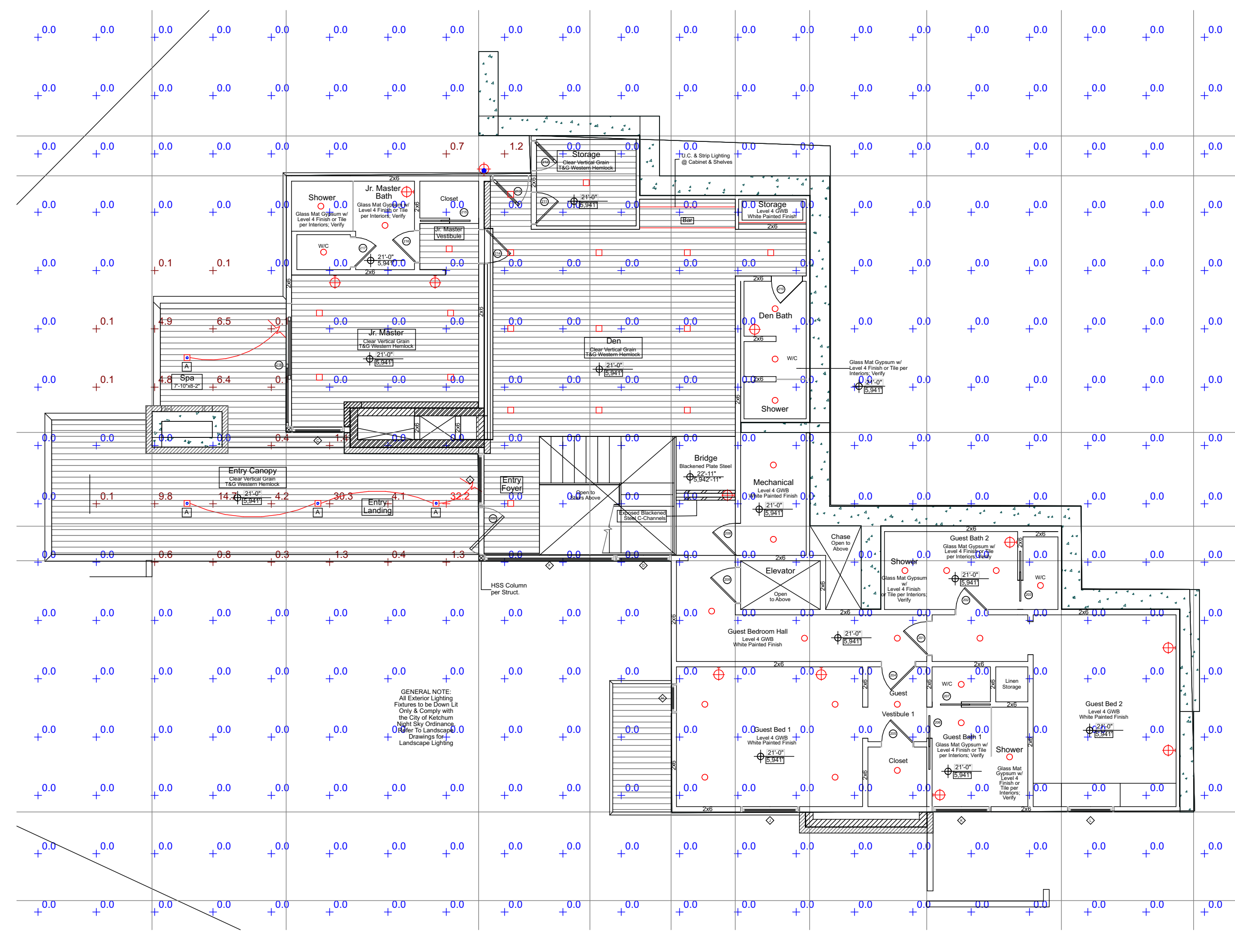
Product URL: <https://www.ylighting.com/icon-outdoor-wall-light-by-dweled-DWEIP154761.html>

Rating: ETL Listed Wet

Product ID: DWEIP154761

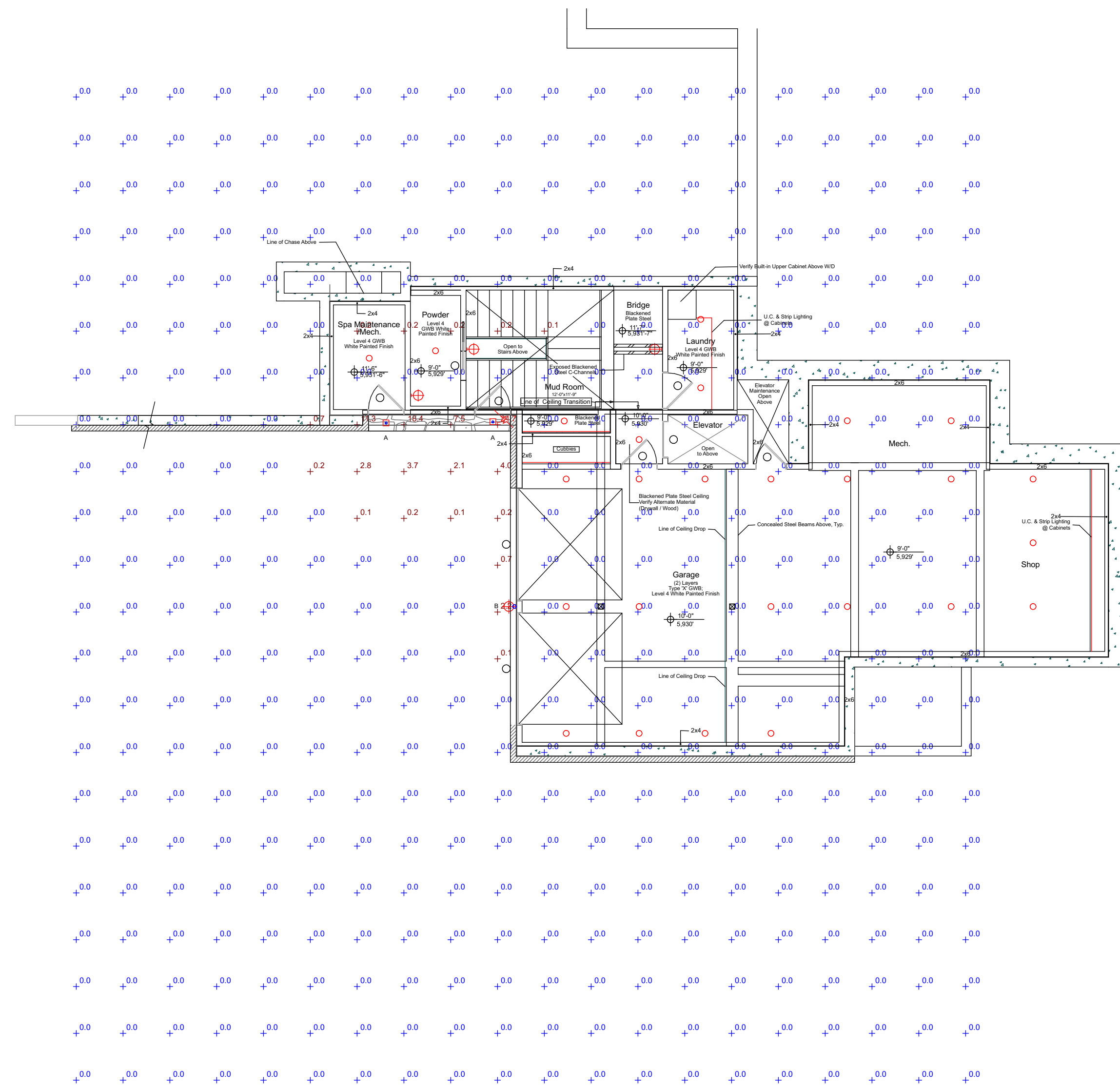
Prepared by: _____ Project: _____ Room: _____ Placement: _____ Approval: _____

B - Exterior Icon Wall Sconce



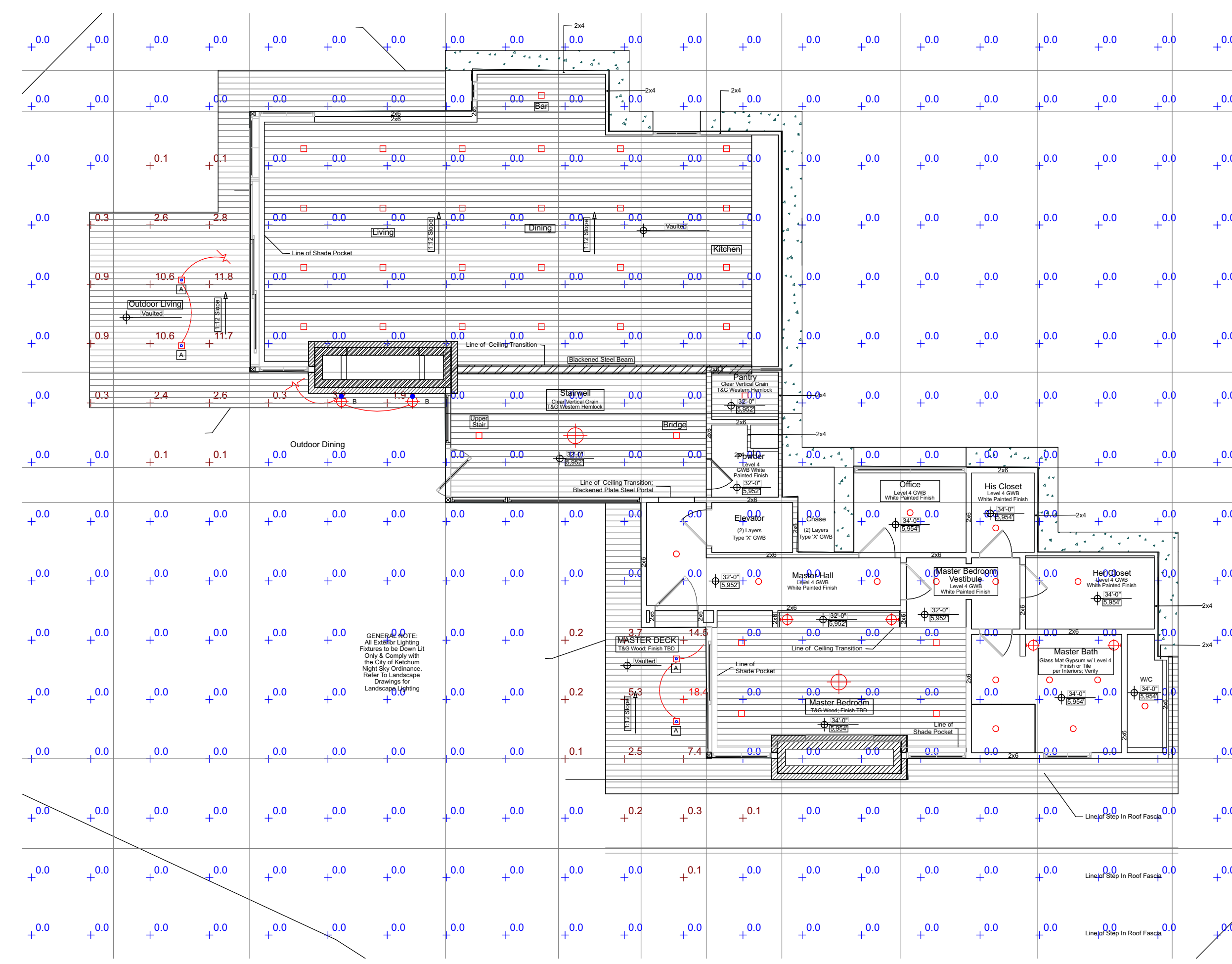
SECOND LEVEL PHOTOMETRIC LIGHTING PLAN

SCALE: 1/8" = 1' - 0"



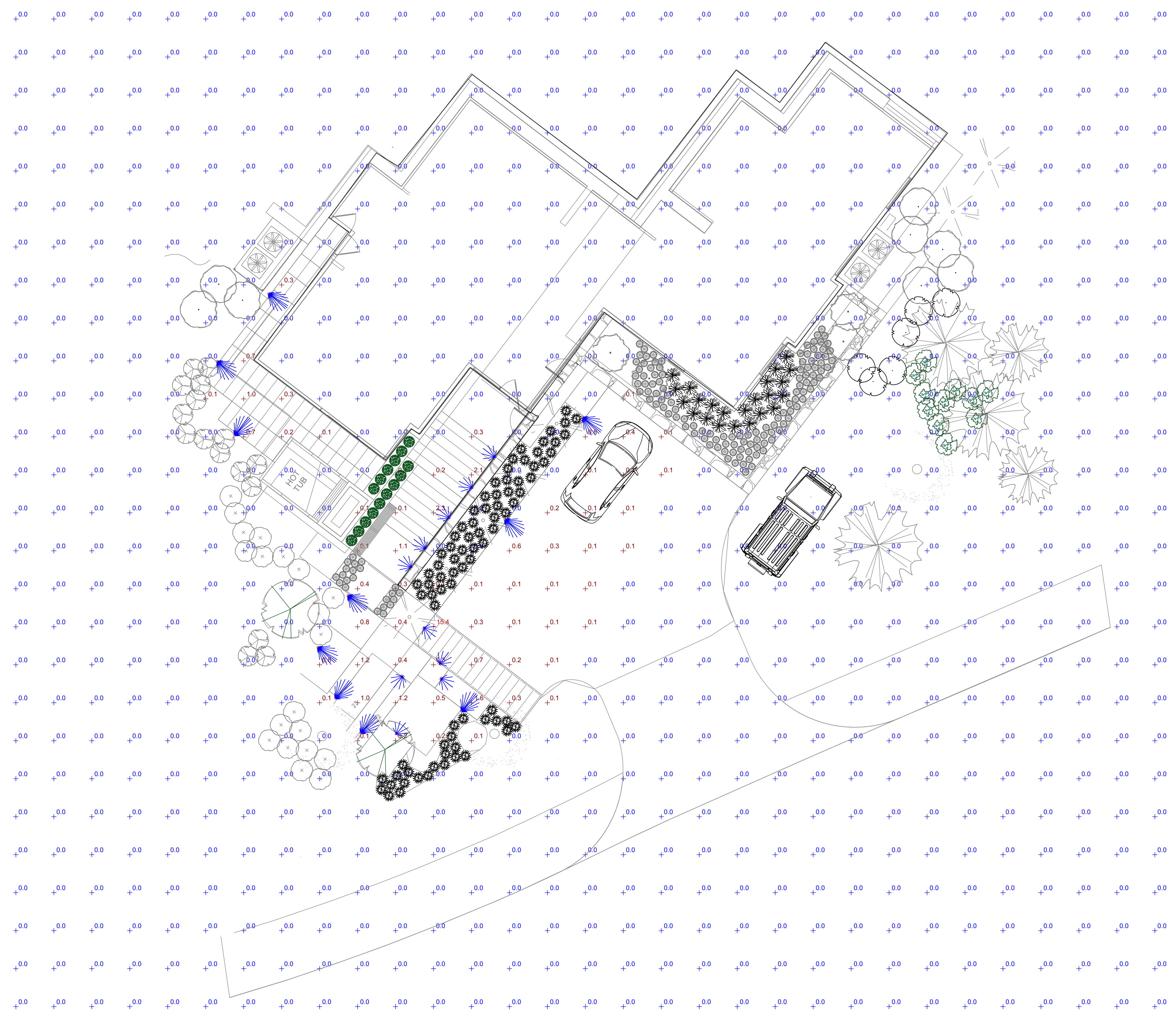
FIRST LEVEL PHOTOMETRIC LIGHTING PLAN

SCALE: 1/8" = 1' - 0"



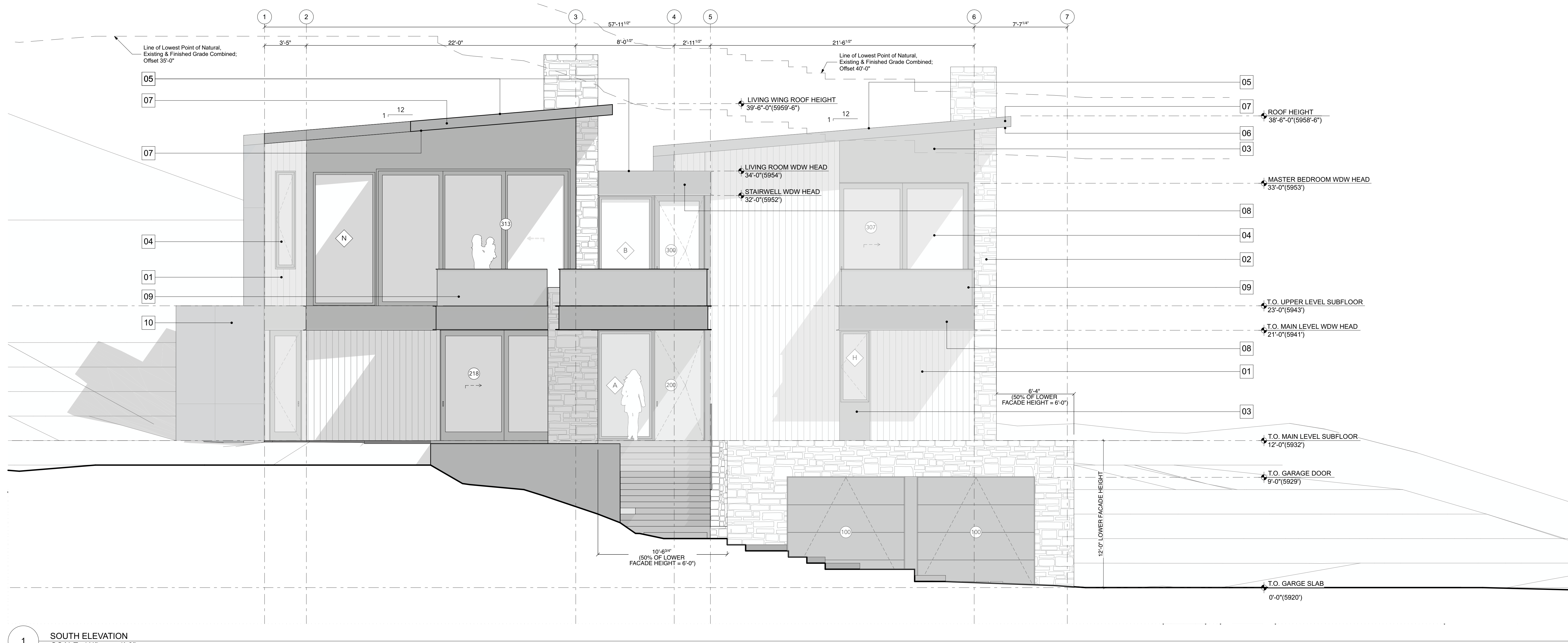
THIRD LEVEL PHOTOMETRIC LIGHTING PLAN

SCALE: 1/8" = 1' - 0"

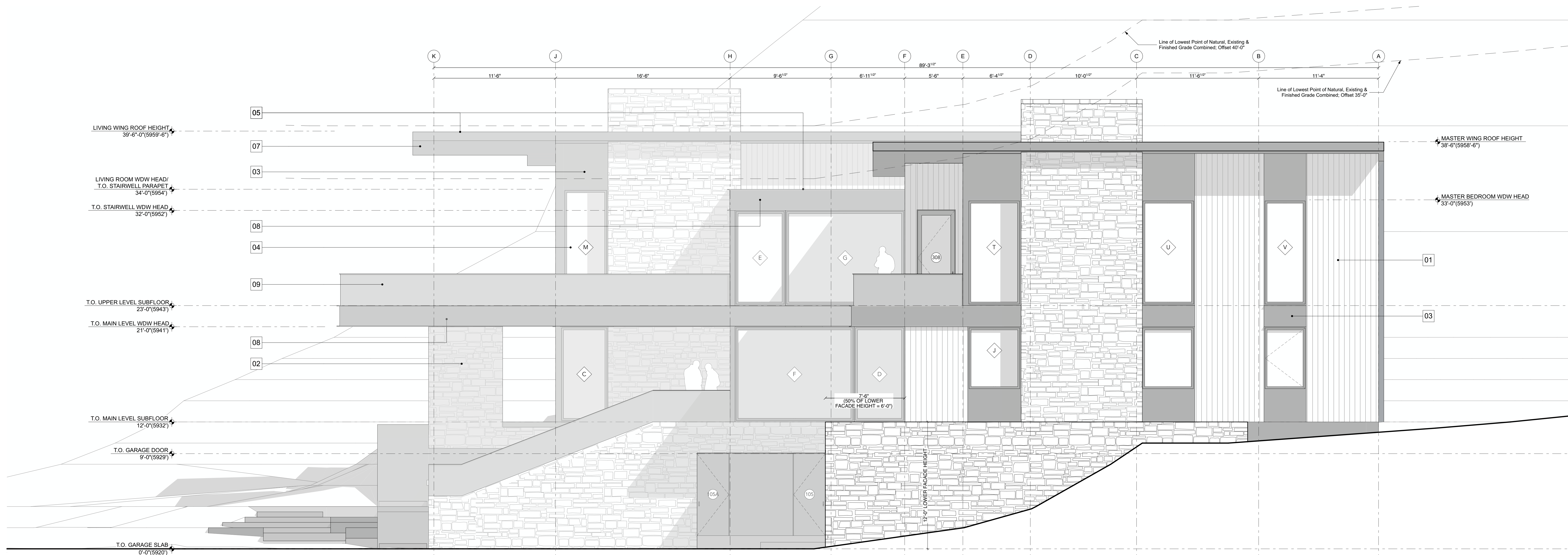


PHOTOMETRIC SITE LIGHTING PLAN

SCALE: 1/8" = 1' - 0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

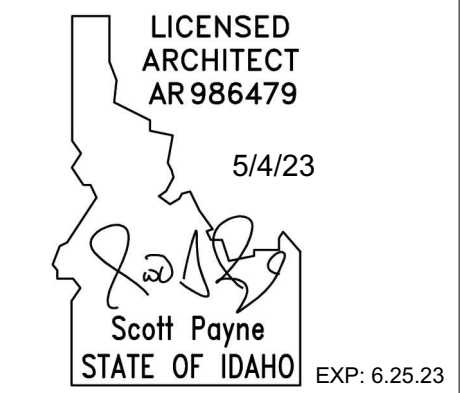
ELEVATION KEY NOTES

- 1 Vertical Wood Siding; Quality of Hewn - Rustic Reclaimed WRC STK
- 2 Grouted Stone Veneer; Quality of Select Stone - Atlas Granite 6069-6074
- 3 Pre-Finished Metal Panels to Match Windows / Doors; Gauge & Blackened / Dark Bronze Finish TBD
- 4 Aluminum Windows & Doors; Quality of Glo Blackened / Dark Bronze Finish TBD
- 5 Fully Adhered EPDM Flat Roof / 1:12 Shed Roof
- 6 1x T&G Oak Soffit, Stained TBD
- 7 Pre-Finished Metal Fascia; Gauge & Blackened / Dark Bronze Finish TBD
- 8 Blackened Exposed Structural Steel; Blackened / Dark Bronze Finish TBD
- 9 Blackened Perforated Steel Guardrails
- 10 Panelized Concrete

NOTE: ALL FINISHES TO BE APPROVED BY ARCHITECT THRU SUBMITTALS / SAMPLES, G.C. TO VERIFY WITH ARCHITECT BEFORE INSTALL, TYP.

NOTE: CHIMNEY AND MECHANICAL EXHAUST MUST BE FITTED W/ SPARK ARRESTOR.

ARCHITECT STAMP



DESIGN REVIEW SET

PRATT RESIDENCE
406 SAGE RD, KETCHUM
ID 83340

DATE: 5/4/23
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A300
BUILDING ELEVATIONS

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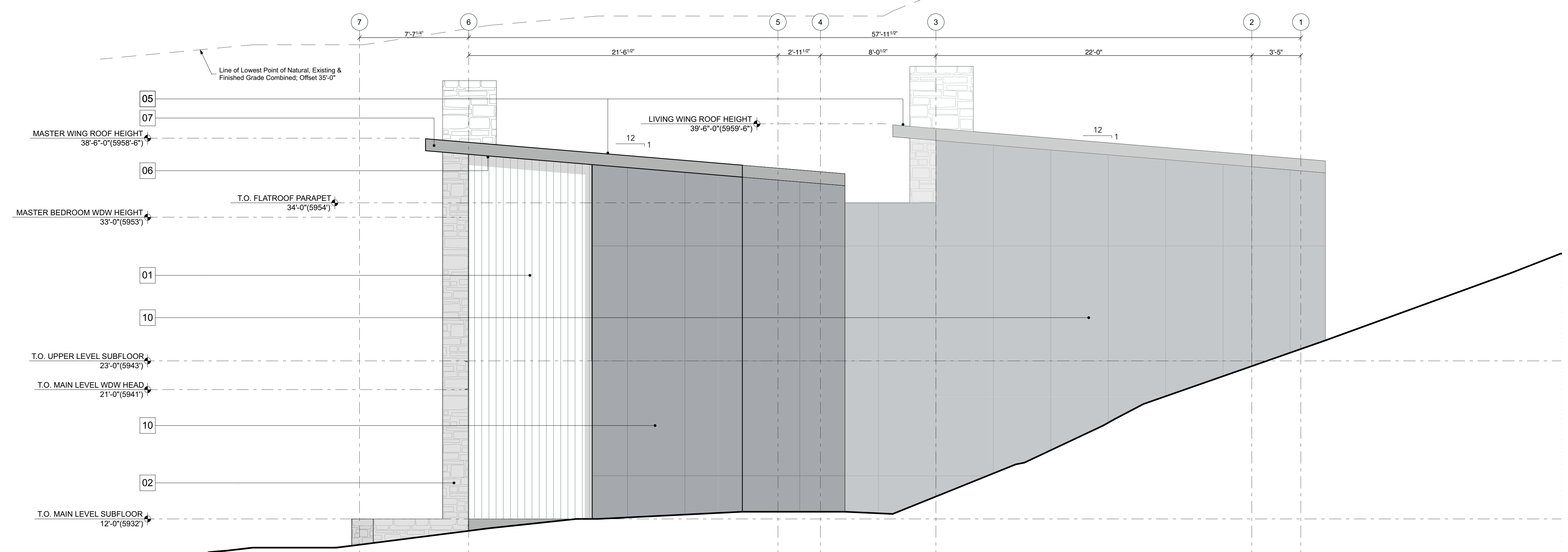
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AR 986479

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Scott Payne
STATE OF IDAHO

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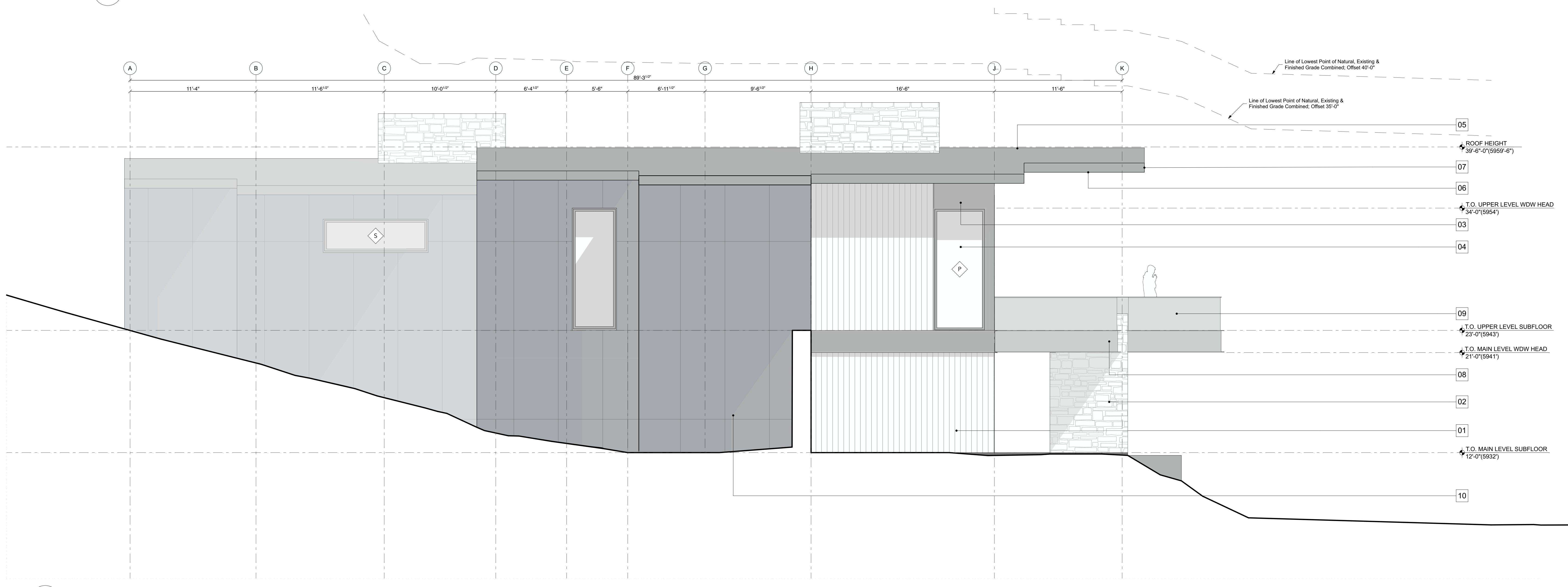
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

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NOTE: CHIMNEY AND MECHANICAL EXHAUST MUST BE FITTED W/ SPARK ARRESTOR.

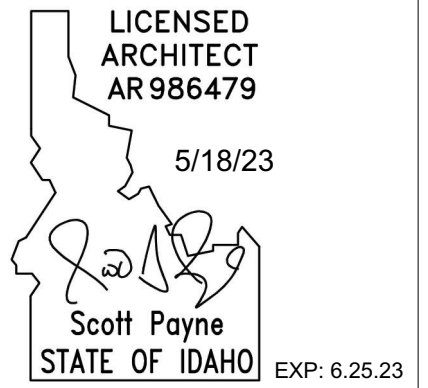


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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ARCHITECT STAMP



DESIGN REVIEW SET

P R A T T R E S I D E N C E
406 SAGE RD, KETCHUM
ID 83340

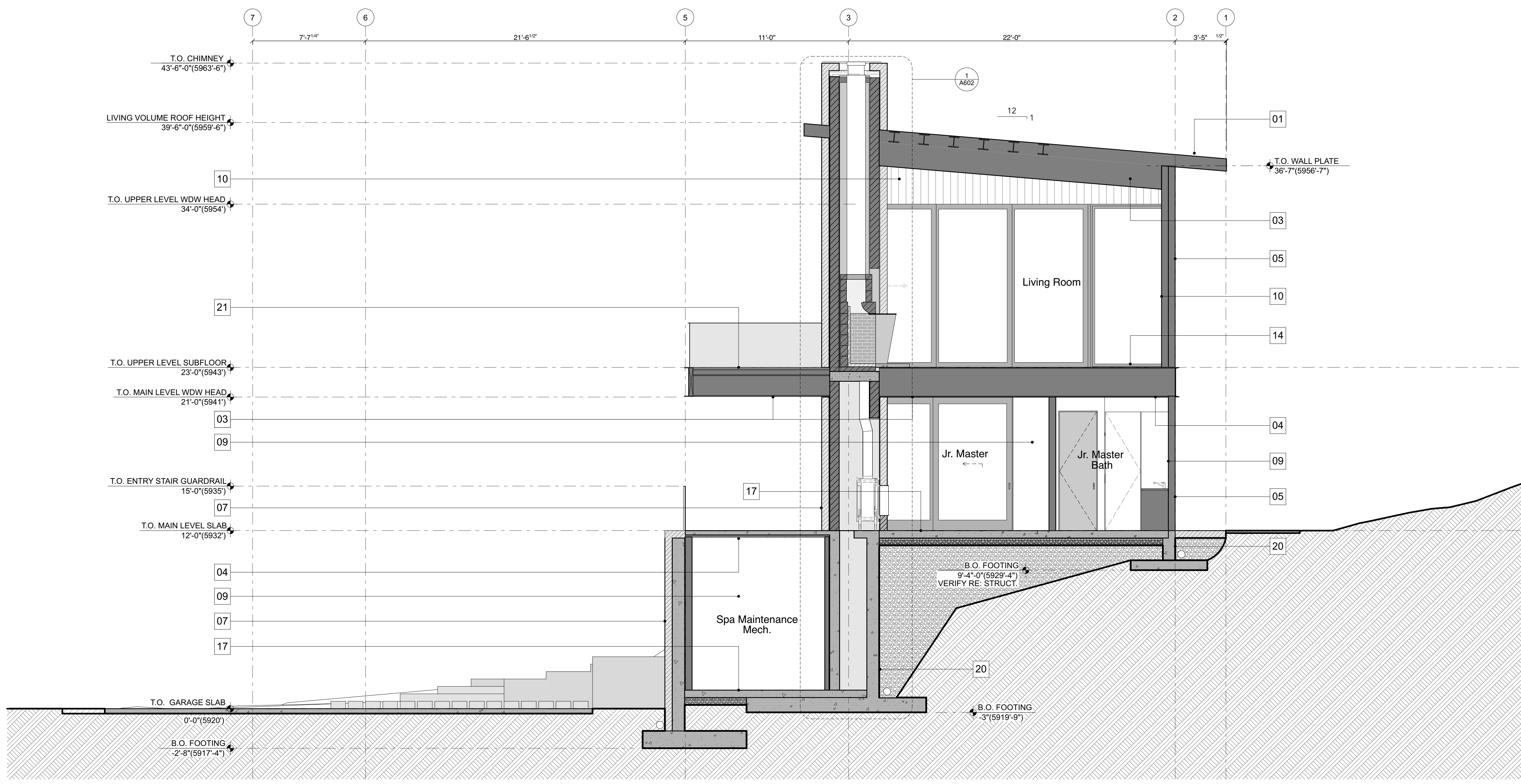


FACADE STEPBACK DIAGRAM

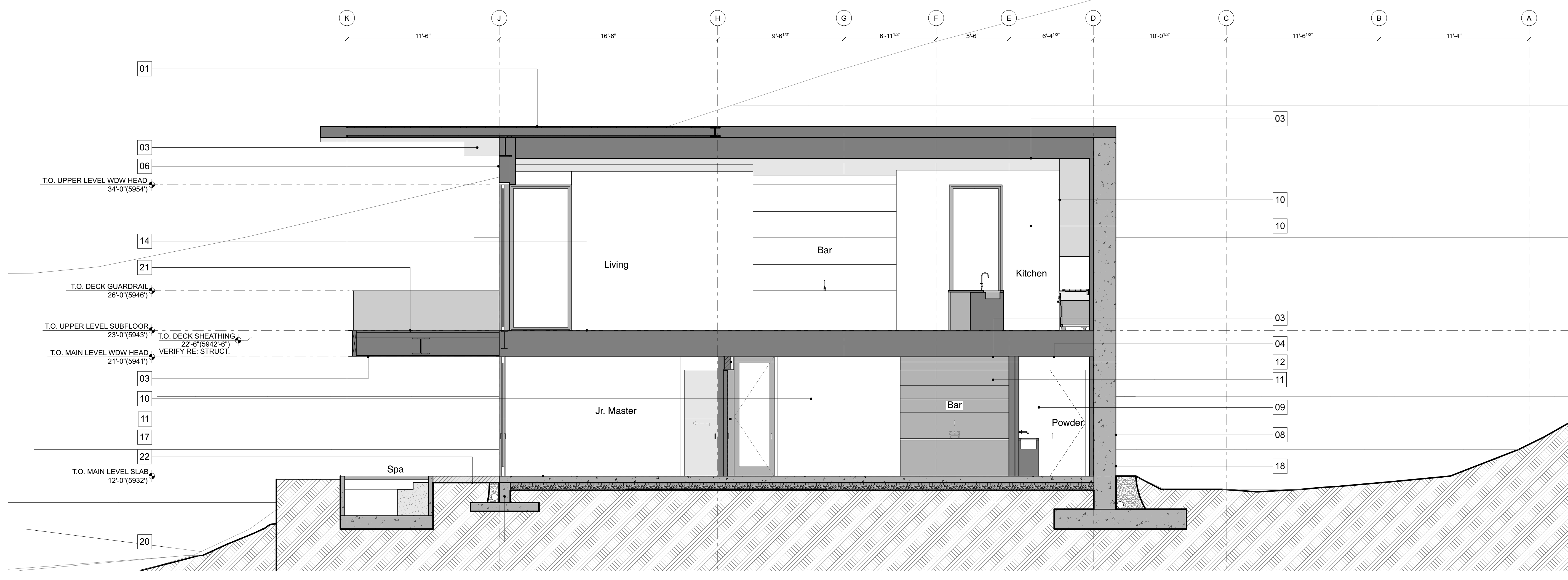
12'-0" HIGH LOWER FACADE; 6'-0" STEP BACK REQUIRED FOR 5' HEIGHT BONUS (MAX. 40')
REFER TO SHEET A300 - BUILDING ELEVATIONS FOR 2-D SETBACK DIMENSIONS

- UPPER FACADE 2 STEPPED BACK 6'-4" FROM LOWER FACADE 1
- UPPER FACADE 4 STEPPED BACK 7'-6" FROM LOWER FACADE 3
- UPPER FACADE 6 STEPPED BACK 10'-6" FROM LOWER FACADE 5
- UPPER FACADE 7 STEPPED BACK 1'-4" FROM LOWER FACADE 5; FACADE 7 DOES NOT NEED TO HEIGHT BONUS (UNDER 35'-0")

DATE:	5/18/23
PROJECT #:	SV2202
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2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

ASSEMBLY NOTES

- 1 **Shed Roof @ 1:12 Roof Pitch:**
Fully Adhered 80mm EPDM Roofing membrane, on Breathable Interlayment per Manufacturer's Specifications, on Fully-Adhered Ice and Water Shield Underlayment, on Plywood Sheathing, on Wood Sleeper / MPP Framing, on Plywood Sheathing, on pre-manufactured wood trusses OR "T" Joist rafter framing (Re: Struct) w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ All Roof Edges. Typ. Provide snow retention system; to be coordinated with Architect, General Contractor, and Roofing Sub Contractor. Provide heat cable at edge of the roofline and gutters. NO THERMAL BREAKS of the Structure.
- 2 **Flat Roof @ Parapet Roof:**
Fully Adhered 80mm EPDM roofing membrane, on Breathable interlayment per Manufacturer's Specifications, on Insulated rigid insulation (1" min.) w/ 0.25:12 slope, on DensDeck, on Fully-Adhered Ice and Water Shield Underlayment, on plywood roof sheathing, on 1 joist framing. Re: Struct. w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ All Curbs, Wall Transitions and Roof Edges. Typ. Provide self-adhering ice and water shield up all wall transitions 3'-0" min., over curbs & overlap all valleys 3'-0" min. to either side. See roof plan for roof slope and drain/downspout locations. Provide heat cable at all downspouts and scuppers. NO THERMAL BREAKS of the Structure.
- 3 **Exterior & Interior Soffit:**
Trim-less 1x6 T&G 1/16" Shadowline Joint, Quality of TBD (Or Alternate Provided by Poster), with Hidden Fastener Connection to Structural Frame Above.
- 4 **Interior Ceiling:**
Level 4 Sheetrock Painted Finish/Color, TBD, Trim-less 5/8" Sheetrock with LEVEL 4 SMOOTH Mud-Work on Ceiling Framing Framing, with Sound-Batt Noise Insulation @ 1st & 2nd Levels. Typ. Verify Glass Mat / Waterproofing w/ RCP
- 5 **Exterior Wall Assembly @ Wood Siding:**
Vertical Trim-less 1x6 T&G Butt Joint, Quality of Hewn Rustic Reclaimed, (Or Alternate Provided by Poster), on Commercial Grade Drainage Wrap, Quality of Benjamin Obdyke HydroGap, (Or Alternate Provided by Poster) per Manufacturer's Standards with Premium Metal Flashing Drip Edge @ Base of Siding (Damp-Proof Flash Stud), on 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, Provide Blocking Inside Sheathing For Vertical Siding Attachment, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. (REF: STRUCTURAL)
- 6 **Exterior Wall Assembly @ Metal Siding:**
22 ga. Kynar Coated Metal Panels on typical wall assembly as noted above. Color and Finish TBD
- 7 **Exterior Wall Assembly @ Stone Veneer:**
Atlas Granite Select Stone w/ Standard Grey Grout pattern (provide samples) & heavy duty adjustable brick veneer anchors (spaced per Manufacturers Specifications), expansion joints (inside corners) and weep holes (Ref: Specifications), with 1" min. Airspace, Premium Metal Flashing & Counterflashings, Typ. & Premium Metal Damp Proof Flashing. Typ. On Black Spray Applied Weather Resistant Barrier (Quality of Tremco Ewin-Dri), on Concrete / CMU Wall OR 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. NOTE: SEE STRUCTURAL FOR CONCRETE STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 8 **Exterior Wall Assembly @ Concrete Avalanche Wall:**
Concrete Avalanche Wall (REF: STRUCTURAL); Finish TBD
- 9 **Interior Wall Assembly @ Level 4 Smooth Drywall:**
Trim-less 5/8" Sheetrock with Painted Finish/Color TBD, on LEVEL 4 SMOOTH Mud-Work on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 10 **Interior Wall Assembly @ Wood Accent Wall:**
Trim-less Wood Accent Wall with Hidden Fastener connections, Quality of Hewn Rustic Reclaimed (Verify Cedar or Hemlock), on 5/8" Sheetrock on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 11 **Interior Wall Assembly @ Steel Accent Wall:**
Picked & Tarnished Blackened Steel Panels with Hidden Fastener Connections on Plywood Sheathing on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 12 **Interior Wall Assembly @ Stone Veneer:**
Atlas Granite Select Stone w/ Standard Grey Grout (Provide Samples) & heavy duty adjustable veneer anchors (spaced per Manufacturers Specifications), on plywood sheathing on Typical Engineered 2x6 Stud Wall Wood Framing and/or Structural CMU/Concrete walls. NOTE: SEE STRUCTURAL FOR CMU STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 13 **Interior Wall Assembly @ Tile Walls:**
Thin Set Tile on Bond Coat with Minimal Grout Lines, on Cement Backer Board, on Continuous Water Proof Membrane, on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ.
- 14 **Floor Assembly @ Unheated Wood Floors:**
Floor Finish (Ref: Finish Schedule), on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. AT BRIDGE: Plate Steel occurs in lieu of Framing & Insulation
- 15 **Floor Assembly @ Unheated Tile Floors:**
ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 16 **Floor Assembly @ Heated Tile Floors:**
ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Electric Heat Mat, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 17 **Floor Assembly @ Heated Concrete Floors:**
Concrete Finish TBD; 6" Concrete Structural Slab with Radiant Hydronic Heating, on Vapor Barrier, on 2" Rigid Insulation On Compacted Fill; REF & VERIFY W/ STRUCTURAL
- 18 **Floor Assembly @ Heated Tile Floors:**
ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on 1 1/2" Lightweight Concrete with 2x2 Wood Sleepers on 16" O.C. Spacing (Wood Floor Nailer), with Radiant Heat Floors, on:
a) Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
b) on Structural Concrete Slab
- 19 **Garage Floor Assembly:**
Reinforced Concrete Slab w/ Radiant Hydronic Heating, REF: STRUCTURAL, On Vapor Barrier, 2" Rigid Insulation, On Compacted Gravel Fill, Typ. Slope Concrete to Internal Catch Basin Drain Centered @ Garage Bay, Typ.
- 20 **Foundation Wall, Typ:**
2" Extruded polystyrene insulation (R-10), on Fluid Applied waterproofing, on Foundation/Retaining Wall, RE: Struct.
Above grade: Provide Premium Metal flashing over drainage/protection/ insulation board.
@ Basement & Avalanche Walls: Provide wood stud for wall w/ blown in fiberglass insulation (R-15 min.) NO VAPOR BARRIER
Provide Perforated Perimeter Drain @ Base of Exterior Side of Foundation Wall / Footing, Typ.
- 21 **Floor Assembly @ Deck**
Stone Tile (Finish TBD with Samples), On Adjustable Pedestal System, on 80mm Fully Adhered EPDM Membrane Roofing, on Breathable Interlayment Per Manufacturer's Specifications, over Isolated extruded polystyrene (1/2" min.) as needed for positive drainage to internal roof drains, on Dens Deck, on Fully-Adhered Ice and Water Shield Underlayment over entire roof extents. Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ all curbs, wall transitions and roof edges. Typ. Provide self-adhering ice and water shield up wall transitions up to 3'-0" min., over curbs & Provide 3'-0" min overlap at all ridges, valleys, pitch changes to either side. On Structural Plywood Deck (NO OSB), on Engineered Wood Framing (REF: Structural) NO THERMAL BREAKS of the Structure.
21A - Interior: Stone Tile (Finish TBD with Samples), on Mortar Bed/ Lightweight Concrete prep, with Radiant Heat Floors, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ.
- 22 **Floor Assembly @ Patio**
Sand Set Stone Tile (Finish TBD with Samples) Hydronic Heating TBD, REF: LANDSCAPE
- 23 **Floor Assembly @ Heated Concrete Pan Deck Slab:**
2" Concrete Pan Deck Slab w/ Radiant Hydronic Heating, on Floor Framing REF: STRUCTURAL

FARMERPAYNE
ARCHITECTS

Jackson Hole
260 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0280

Sun Valley
351 N. Louisa Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pineridge Rd, Suite 410
Shreveport, LA 71106
T.318.383.3100

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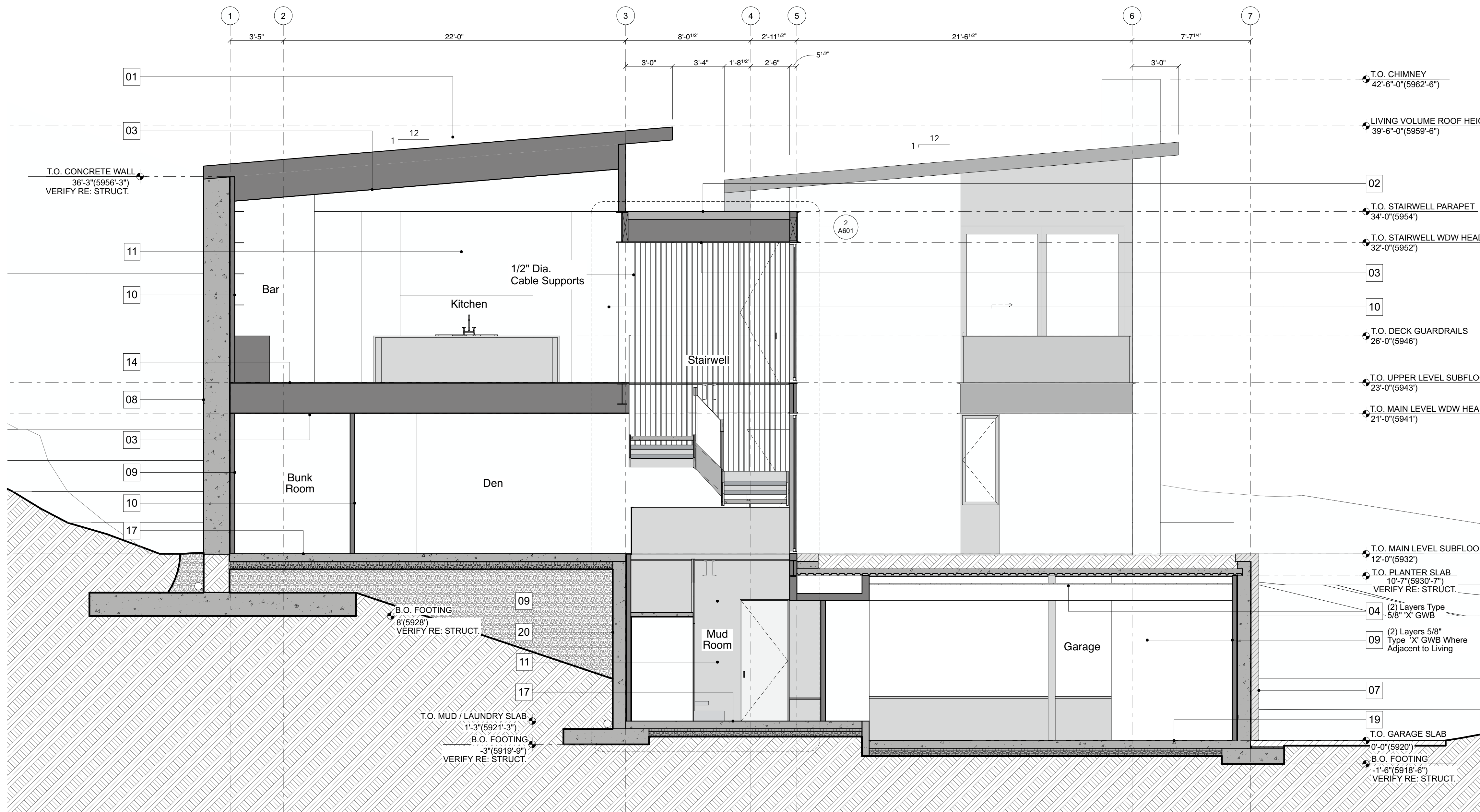
ARCHITECT STAMP
LICENSED ARCHITECT
AR 986479
5/4/23
Scott Payne
STATE OF IDAHO
EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE
406 SAGE RD, KETCHUM
ID 83340

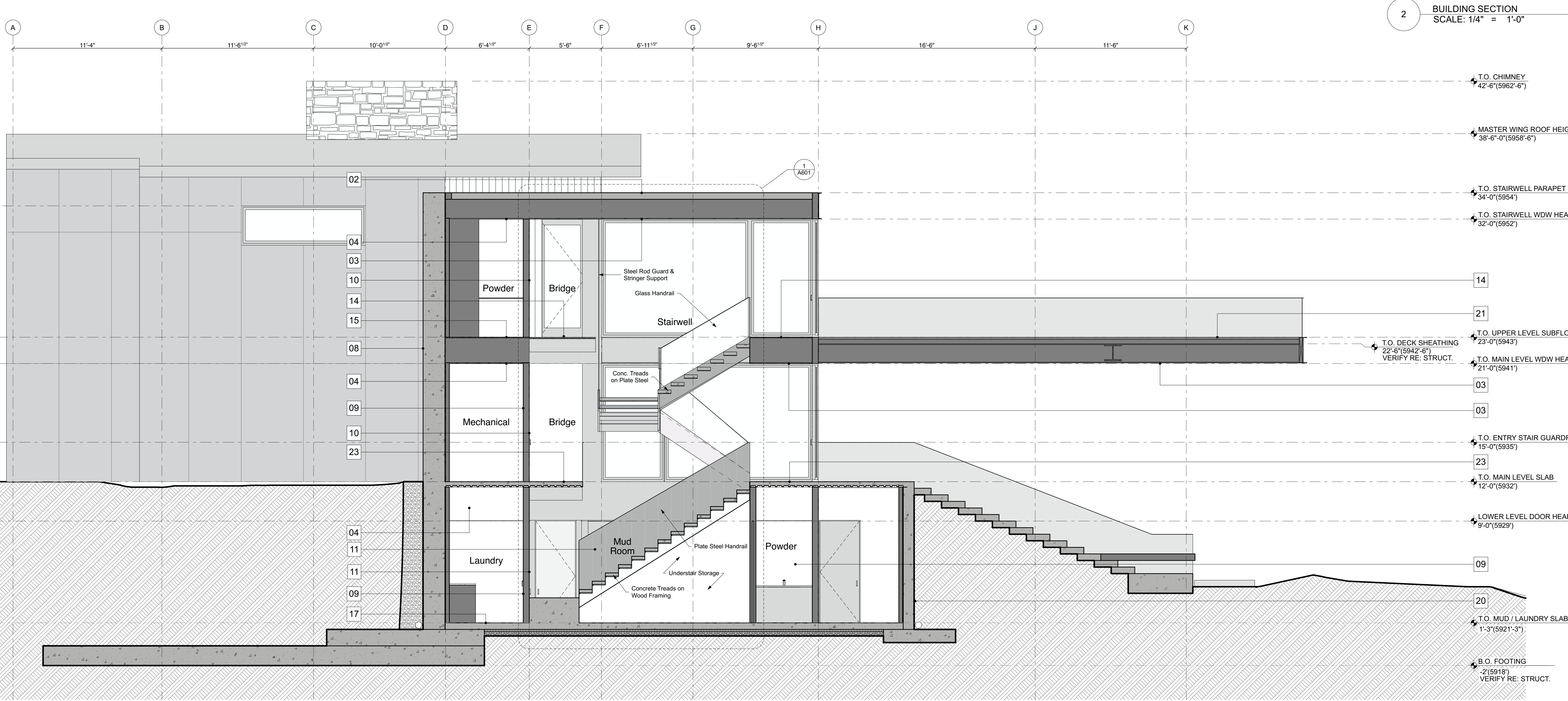
DATE:	5/4/23
PROJECT #:	SV2202
DRAWN:	NH/AB
ISSUE:	
Design Review	3.31.23
Design Review Response	

A400
BUILDING SECTIONS



ASSEMBLY NOTES

- 1 **Shed Roof @ 1:12 Roof Pitch:** Fully Adhered 80mm EPDM Roofing membrane, on Breathable Interlayment per Manufacturer's Specifications, on Fully-Adhered Ice and Water Shield Underlayment, on Plywood Sheathing, on Wood Sleeper / MPP Framing, on Plywood Sheathing, on pre-manufactured wood trusses OR 1" Joist rafter framing (Re: Struct) w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ All Roof Edges, typ. Provide snow retention system; to be coordinated with Architect, General Contractor, and Roofing Sub Contractor. Provide heat cable at edge of the roofline and gutters. NO THERMAL BREAKS of the Structure.
- 2 **Flat Roof @ Parapet Roof:** Fully Adhered 80mm EPDM roofing membrane, on Breathable Interlayment per Manufacturer's Specifications, on Isolated rigid insulation (1 1/2" min.) w/ 0.25:12 slope, on DensDeck, on Fully-Adhered Ice and Water Shield Underlayment, on plywood roof sheathing, on 1 joist framing, Re: Struct. w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ All Curbs, Wall Transitions and Roof Edges, typ. Provide self-adhering ice and water shield up all wall transitions 3'-0" min., over curbs & overlap all valleys 3'-0" min. to either side. See roof plan for roof slope and drain/downspout locations. Provide heat cable at all downspouts and scuppers. NO THERMAL BREAKS of the Structure.
- 3 **Exterior & Interior Soffit:** Trim-less 1x6 T&G 1/16" Shadowline Joint, Quality of TBD (Or Alternate Provided by Poster), with Hidden Fastener Connection to Structural Frame Above.
- 4 **Interior Ceiling:** Level 4 Sheetrock Painted Finish/Color, TBD, Trim-less 5/8" Sheetrock with LEVEL 4 SMOOTH Mud-Work on Ceiling Framing Framing, with Sound-Batt Noise Insulation @ 1st & 2nd Levels, Typ. Verify Glass Mat / Waterproofing w/ RCP
- 5 **Exterior Wall Assembly @ Wood Siding:** Vertical Trim-less 1x6 T&G Butt Joint, Quality of Hewn Rustic Reclaimed, (Or Alternate Provided by Poster), on Commercial Grade Drainage Wrap, Quality of Benjamin Obdyke HydroGap, (Or Alternate Provided by Poster) per Manufacturer's Standards with Premium Metal Flashing Drip Edge @ Base of Siding (Damp-Proof Flashing), on 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, Provide Blocking Inside Sheathing For Vertical Siding Attachment, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. (REF: STRUCTURAL)
- 6 **Exterior Wall Assembly @ Metal Siding:** 22 ga. Kynar Coated Metal Panels on typical wall assembly as noted above. Color and Finish TBD
- 7 **Exterior Wall Assembly @ Stone Veneer:** Atlas Granite Select Stone w/ Standard Grey Grout pattern (provide samples) & heavy duty adjustable brick veneer anchors (spaced per Manufacturer's Specifications), expansion joints (inside corners) and weep holes (Ref: Specifications), with 1" min. Airspace, Premium Metal Flashing & Counterflashings, Typ. & Premium Metal Damproof Flashing, Typ. On Black Spray Applied Weather Resistant Barrier (Quality of Tremco Ewiv-Di), on Concrete / CMU Wall OR 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. NOTE: SEE STRUCTURAL FOR CONCRETE STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 8 **Exterior Wall Assembly @ Concrete Avalanche Wall:** Concrete Avalanche Wall (REF: STRUCTURAL); Finish TBD
- 9 **Interior Wall Assembly @ Level 4 Smooth Drywall:** Trim-less 5/8" Sheetrock with Hidden Fastener Connection to Structural Frame, on LEVEL 4 SMOOTH Mud-Work on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 10 **Interior Wall Assembly @ Wood Accent Wall:** Trim-less Wood Accent Wall with Hidden Fastener connections, Quality of Hewn Rustic Reclaimed (Verify Cedar or Hemlock), on 5/8" Sheetrock on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 11 **Interior Wall Assembly @ Steel Accent Wall:** Picked & Tarnished Blackened Steel Panels with Hidden Fastener Connections on Plywood Sheathing on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ.
- 12 **Interior Wall Assembly @ Stone Veneer:** Atlas Granite Select Stone w/ Standard Grey Grout (Provide Samples) & heavy duty adjustable veneer anchors (spaced per Manufacturer's Specifications), on plywood sheathing on Typical Engineered 2x6 Stud Wall Wood Framing and/or Structural CMU/Concrete walls. NOTE: SEE STRUCTURAL FOR CMU STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 13 **Interior Wall Assembly @ Tile Walls:** Thin Set Tile on Bond Coat with Minimal Grout Lines, on Cement Backer Board, on Continuous Water Proof Membrane, on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Membrane, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ.
- 14 **Floor Assembly @ Unheated Wood Floors:** Floor Finish (Ref: Finish Schedule), on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. AT BRIDGE: Plate Steel occurs in lieu of Framing & Insulation
- 15 **Floor Assembly @ Unheated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 16 **Floor Assembly @ Heated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Electric Heat Mat, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 17 **Floor Assembly @ Heated Concrete Floors:** Concrete Finish TBD; 6" Concrete Structural Slab with Radiant Hydronic Heating, on Vapor Barrier, on 2" Rigid Insulation On Compacted Fill, REF & VERIFY W/ STRUCTURAL
- 18 **Floor Assembly @ Heated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on 1 1/2" Lightweight Concrete with 2x2 Wood Sleepers on 16" O.C. Spacing (Wood Floor Nailer), with Radiant Heat Floors, on: a) Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS) b) on Structural Concrete Slab
- 19 **Garage Floor Assembly:** Reinforced Concrete Slab w/ Radiant Hydronic Heating, REF: STRUCTURAL, on Vapor Barrier, 2" Rigid Insulation, On Compacted Gravel Fill, Typ. Slope Concrete to Internal Catch Basin Drain Centered @ Garage Bay, Typ.
- 20 **Foundation Wall, Typ:** 2" Extruded polystyrene insulation (R-10), on Fluid Applied waterproofing, on Foundation/Retaining Wall, RE: Struct. Above grade: Provide Premium Metal flashing over drainage/protection/ insulation board. @ Basement & Avalanche Walls: Provide wood stud for wall w/ blown in fiberglass insulation (R-15 min.) NO VAPOR BARRIER Provide Perforated Perimeter Drain @ Base of Exterior Side of Foundation Wall / Footing, Typ.
- 21 **Floor Assembly @ Deck** Stone Tile (Finish TBD with Samples), On Adjustable Pedestal System, on 80mm Fully Adhered EPDM Membrane Roofing, on Breathable Interlayment Per Manufacturer's Specifications, over Isolated extruded polystyrene (1 1/2" min.) as needed for positive drainage to internal roof drains, on Dens Deck, on Fully-Adhered Ice and Water Shield Underlayment over entire roof extents. Provide Premium Metal Hemmed Drip Edge Flashing/ Counter Flashing @ all curbs, wall transitions and roof edges, typ. Provide self-adhering ice and water shield up wall transitions up to 3'-0" min., over curbs & Provide a 3'-0" min overlap at all ridges, valleys, pitch changes to either side. On Structural Plywood Deck (NO OSB), on Engineered Wood Framing (REF: Structural), NO THERMAL BREAKS of the Structure. **21A - Interior:** Stone Tile (Finish TBD with Samples), on Mortar Bed/ Lightweight Concrete prep, with Radiant Heat Floors, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout, Typ.
- 22 **Floor Assembly @ Patio** Sand Set Stone Tile (Finish TBD with Samples) Hydronic Heating TBD, REF: LANDSCAPE
- 23 **Floor Assembly @ Heated Concrete Pan Deck Slab:** 5" Concrete Pan Deck Slab w/ Radiant Hydronic Heating, on Floor Framing REF: STRUCTURAL



2 BUILDING SECTION SCALE: 1/4" = 1'-0"

1 BUILDING SECTION SCALE: 1/4" = 1'-0"

Jackson Hole
246 West Broadway, Suite A
Jackson, WY 83001
T.307.264.0080

Sun Valley
351 N. Louisville Ave., Suite 204
Ketchum, ID 83340
T.208.214.5155

Louisiana
910 Pinerose Rd, Suite 410
Shreveport, LA 71106
T.318.383.3100

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ARCHITECT STAMP

LICENSED ARCHITECT
AR 986479

5/4/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

DESIGN REVIEW SET

PRATT RESIDENCE

406 SAGE RD, KETCHUM ID 83340

DATE: 5/4/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response

A401
BUILDING SECTIONS

ASSEMBLY NOTES

- 1 **Shed Roof @ 1:12 Roof Pitch:** Fully Adhered 80mm EPDM Roofing membrane, on Breathable Interlayment per Manufacturer's Specifications, on Fully-Adhered Ice and Water Shield Underlayment, on Plywood Sheathing, on Wood Sleeper / MPP Framing, on Plywood Sheathing, on pre-manufactured wood trusses OR "T" Joist rafter framing (Re: Struct) w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing / Counter Flashing @ All Roof Edges. Typ. Provide snow retention system; to be coordinated with Architect, General Contractor, and Roofing Sub Contractor. Provide heat cable at edge of the roofline and gutters. NO THERMAL BREAKS of the Structure.
- 2 **Flat Roof @ Parapet Roof:** Fully Adhered 80mm EPDM roofing membrane, on Breathable Interlayment per Manufacturer's Specifications, on Insulated Rigid Insulation (1 1/2" min.) w/ 0.25:12 slope, on DensDeck, on Fully-Adhered Ice and Water Shield Underlayment, on plywood roof sheathing, on 1 joist framing. Re: Struct. w/ closed cell polyurethane spray foam insulation (R-60 Min.) Provide Premium Metal Hemmed Drip Edge Flashing / Counter Flashing @ All Curbs, Wall Transitions and Roof Edges. Typ. Provide self-adhering ice and water shield up all wall transitions 3'-0" min., over curbs & overlap all valleys 3'-0" min. to other side. See roof plan for roof slope and drain/downspout locations. Provide heat cable at all downsouts and scuppers. NO THERMAL BREAKS of the Structure.
- 3 **Exterior & Interior Soffit:** Trim-less 1x6 T&G 1/8" Shadowline Joint, Quality of TBD (Or Alternate Provided by Poster), with Hidden Fastener Connection to Structural Frame Above.
- 4 **Interior Ceiling:** Level 4 Sheetrock Painted Finish/Color, TBD, Trim-less 5/8" Sheetrock with LEVEL 4 SMOOTH Mud-Work on Ceiling Framing Framing, with Sound-Batt Noise Insulation @ 1st & 2nd Levels. Typ. Verify Glass Mat / Waterproofing w/ RCP
- 5 **Exterior Wall Assembly @ Wood Siding:** Vertical Trim-less 1x6 T&G Butt Joint; Quality of Hewn Rustic Reclaimed, (Or Alternate Provided by Poster), on Commercial Grade Drainage Wrap, Quality of Benjamin Obdyke HydroGap, (Or Alternate Provided by Poster) per Manufacturer's Standards with Premium Metal Flashing Drip Edge @ Base of Siding (Damp-Proof Flashing), on 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, Provide Blocking Inside Sheathing For Vertical Siding Attachment, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. (REF: STRUCTURAL)
- 6 **Exterior Wall Assembly @ Metal Siding:** 22 ga. Kynar Coated Metal Panels on typical wall assembly as noted above. Color and Finish TBD
- 7 **Exterior Wall Assembly @ Stone Veneer:** Atlas Granite Select Stone w/ Standard Grey Grout pattern (provide samples) & heavy duty adjustable brick veneer anchors (spaced per Manufacturer's Specifications), expansion joints (inside corners) and weep holes (Ref: Specifications), with 1" min. Airspace, Premium Metal Flashing & Counterflashings, Typ. & Premium Metal Damproof Flashing. Typ. On Black Spray Applied Weather Resistant Barrier (Quality of Tremco Ewin-Dri), on Concrete / CMU Wall OR 1/2" Plywood Sheathing (no OSB), on Typical Engineered 2x6 Stud Wall Wood Framing, with closed cell polyurethane spray foam insulation (full depth of Stud), (R-35 Min.) Typ. NOTE: SEE STRUCTURAL FOR CONCRETE STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 8 **Exterior Wall Assembly @ Concrete Avalanche Wall:** Concrete Avalanche Wall (REF: STRUCTURAL); Finish TBD
- 9 **Interior Wall Assembly @ Level 4 Smooth Drywall:** Trim-less 5/8" Sheetrock with Painted Finish/Color TBD, on LEVEL 4 SMOOTH Mud-Work on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout. Typ.
- 10 **Interior Wall Assembly @ Wood Accent Wall:** Trim-less Wood Accent Wall with Hidden Fastener connections, Quality of Hewn Rustic Reclaimed (Verity Cedar or Hemlock), on 5/8" Sheetrock on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout. Typ.
- 11 **Interior Wall Assembly @ Steel Accent Wall:** Picked & Tarnished Blackened Steel Panels with Hidden Fastener connections on Plywood Sheathing on Typical Engineered 2x6 Wood Stud Framing, with Sound-Batt Noise Insulation Throughout. Typ.
- 12 **Interior Wall Assembly @ Stone Veneer:** Atlas Granite Select Stone w/ Standard Grey Grout (Provide Samples) & heavy duty adjustable veneer anchors (spaced per Manufacturer's Specifications), on plywood sheathing on Typical Engineered 2x6 Stud Wall Wood Framing and/or Structural CMU/Concrete walls. NOTE: SEE STRUCTURAL FOR CMU STONE SHELF WALL & FOOTING DETAIL FOR SUPPORTING STONE, TYP.
- 13 **Interior Wall Assembly @ Tile Walls:** Thin Set Tile on Bond Coat with Minimal Grout Lines, on Cement Backer Board, on Continuous Water Proof Membrane, on Typical Engineered Wood Stud Framing, with Sound-Batt Noise Insulation Throughout. Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ.
- 14 **Floor Assembly @ Unheated Wood Floors:** Floor Finish (Ref: Finish Schedule), on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout. Typ. AT BRIDGE: Plate Steel occurs in lieu of Framing & Insulation
- 15 **Floor Assembly @ Unheated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout. Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 16 **Floor Assembly @ Heated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on Electric Heat Mat, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout. Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
- 17 **Floor Assembly @ Heated Concrete Floors:** Concrete Finish TBD; 6" Concrete Structural Slab with Radiant Hydronic Heating, on Vapor Barrier, on 2" Rigid Insulation On Compacted Fill, REF & VERIFY W/ STRUCTURAL
- 18 **Floor Assembly @ Heated Tile Floors:** ThinSet Tile Floors per Manufacturer's Install Specifications with minimal grout lines, on 1 1/2" Lightweight Concrete with 2x2 Wood Sleepers on 16" O.C. Spacing (Wood Floor Nailer), with Radiant Heat Floors, on:
 - a) Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout. Typ. (Provide Waterproof Pan, with Waterproof Membrane, and Mortar beds sloping to linear drains at Shower, Typ. - NO WOOD SLEEPERS)
 - b) on Structural Concrete Slab
- 19 **Garage Floor Assembly:** Reinforced Concrete Slab w/ Radiant Hydronic Heating, REF: STRUCTURAL, On Vapor Barrier, 2" Rigid Insulation, On Compacted Gravel Fill, Typ. Slope Concrete to Internal Catch Basin Drain Centered @ Garage Bay. Typ.
- 20 **Foundation Wall, Typ:** 2" Extruded polystyrene insulation (R-10), on Fluid Applied waterproofing, on Foundation/Retaining Wall, RE: Struct.
Above grade: Provide Premium Metal flashing over drainage/protection/ insulation board.
@ Basement & Avalanche Walls: Provide wood stud for wall w/ blown in fiberglass insulation (R-15 min.) NO VAPOR BARRIER
Provide Perforated Perimeter Drain @ Base of Exterior Side of Foundation Wall / Footing. Typ.
- 21 **Floor Assembly @ Deck** Stone Tile (Finish TBD with Samples), On Adjustable Pedestal System, on 80mm Fully Adhered EPDM Membrane Roofing, on Breathable Interlayment Per Manufacturer's Specifications, over Isolated extruded polystyrene (1 1/2" min.) as needed for positive drainage to internal roof drains, on Dens Deck, on Fully-Adhered Ice and Water Shield Underlayment over entire roof extents. Provide Premium Metal Hemmed Drip Edge Flashing / Counter Flashing @ all curbs, wall transitions and roof edges. Typ. Provide self-adhering ice and water shield up wall transitions up to 3'-0" min., over curbs & Provide a 3'-0" min overlap at all ridges, valleys, pitch changes to either side. On Structural Plywood Deck (NO OSB), on Engineered Wood Framing (REF: Structural) NO THERMAL BREAKS of the Structure.
21A - Interior: Stone Tile (Finish TBD with Samples), on Mortar Bed/Lightweight Concrete prep, with Radiant Heat Floors, on Plywood Floor Deck (NO OSB), on Engineered Wood Framing, REF: STRUCTURAL, with Sound-Batt Noise Insulation Throughout. Typ.
- 22 **Floor Assembly @ Patio** Sand Set Stone Tile (Finish TBD with Samples) Hydronic Heating TBD, REF: LANDSCAPE
- 23 **Floor Assembly @ Heated Concrete Pan Deck Slab:** 5" Concrete Pan Deck Slab w/ Radiant Hydronic Heating, on Floor Framing REF: STRUCTURAL

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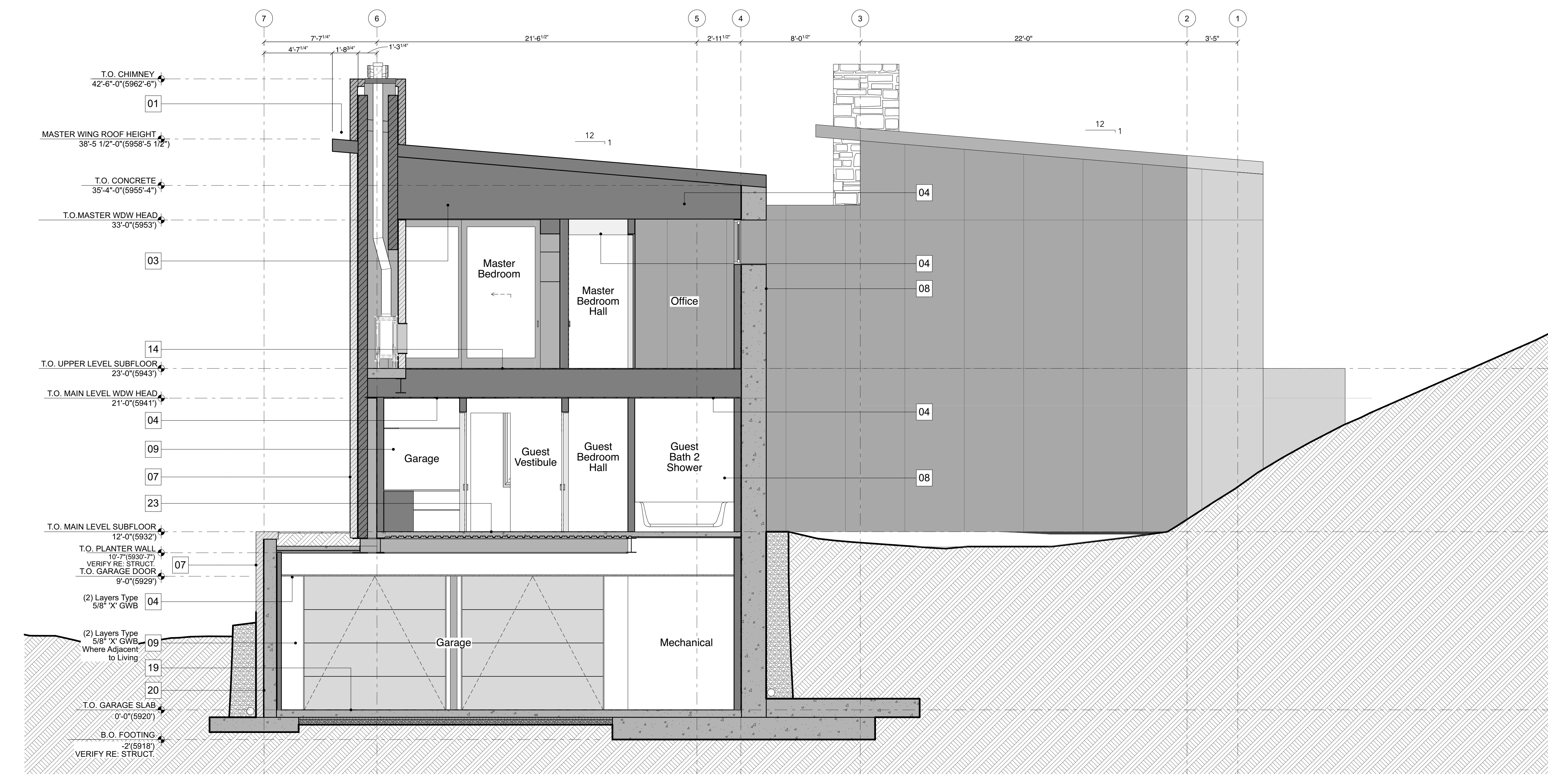
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LICENSED ARCHITECT
AR 986479
6/2/23
Scott Payne
STATE OF IDAHO
EXP. 6.25.23

DESIGN REVIEW SET

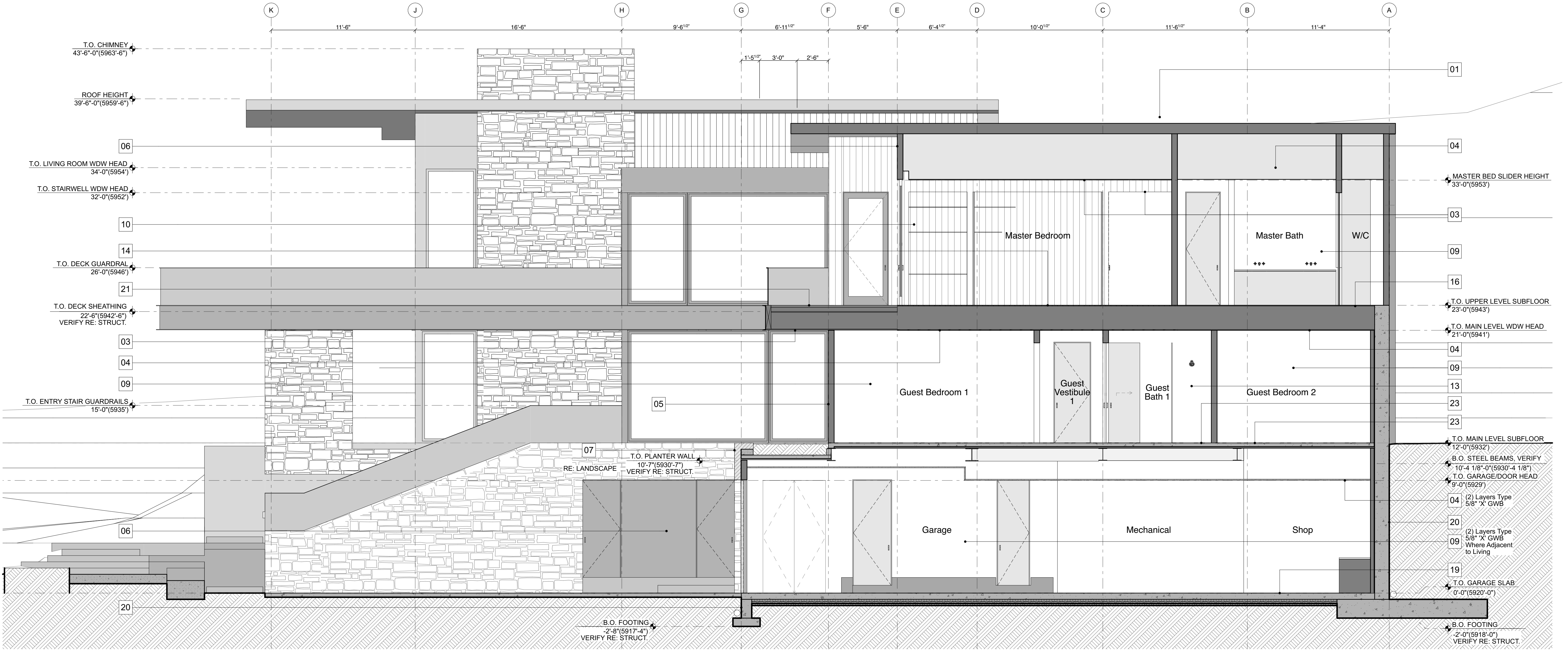
P R A T T R E S I D E N C E
406 SAGE RD, KETCHUM
ID 83340

DATE: 6/2/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response

A402
BUILDING SECTIONS



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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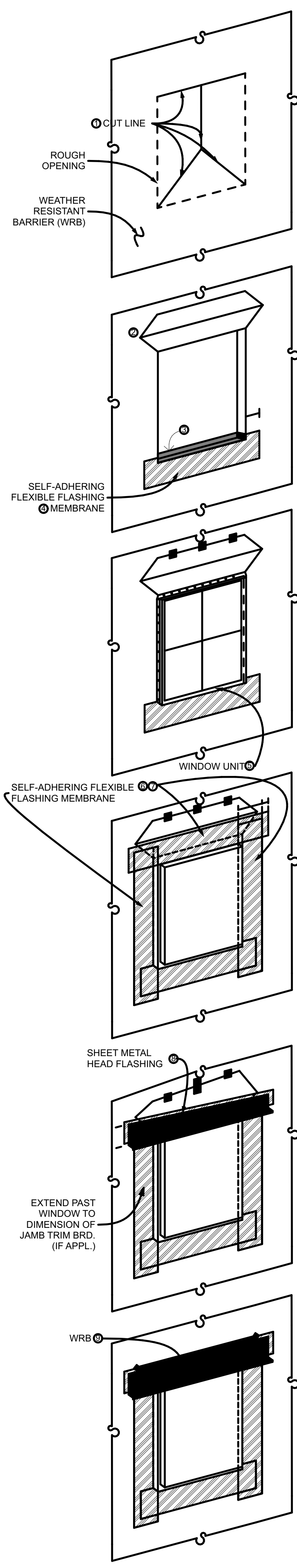
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AR 986479
5/4/23

Scott Payne
STATE OF IDAHO
EXP. 6.25.23

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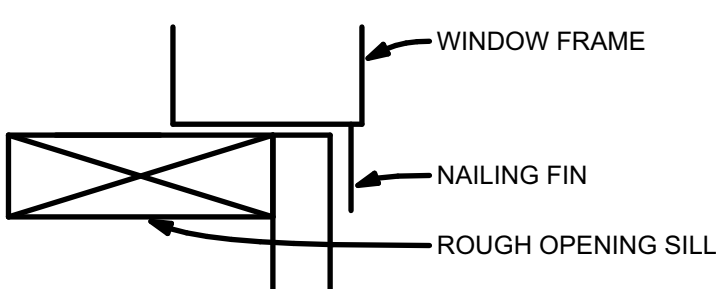
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DATE: 5/4/23
PROJECT #: SV2202
DRAWN: NH/AB
ISSUE:
Design Review 3.31.23
Design Review Response



WINDOW INSTALLATION DETAILS
- WRB INSTALLED PRIOR TO WINDOW
- STRUCTURAL, INTEGRAL NAILING FIN
- REFER ALSO TO ASTM E2112 & MFG.
INSTALLATION INSTRUCTIONS

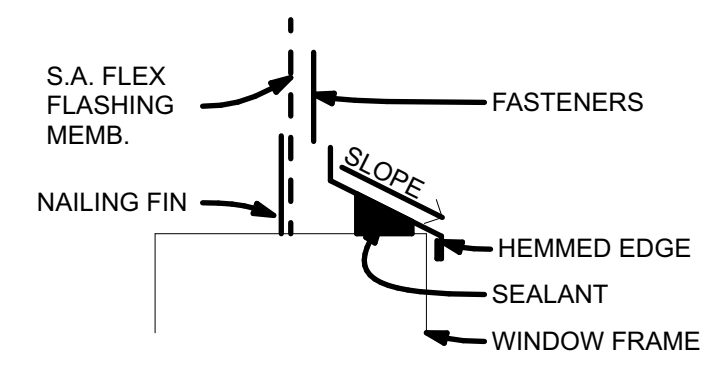
- 1) MAKE A MODIFIED "I" CUT IN THE WRB (SEE CUT LINE), THEN WRAP WRB TO INTERIOR AT SILL AND JAMBS AND STAPLE IN PLACE.
- 2) AT HEAD, CUT TOP PORTION TO CREATE A FLAP, THEN RAISE AND TAPE UP TEMPORARILY.
- 3) POSITION SO THAT WINDOW DEPTH CAN BE ACCOMODATED PLUS 1/2".



- 4) INSTALL FLASHING MEMBRANE ON SILL OF ROUGH OPENING & ON SIDES OF JAMB. EXTEND ONTO FACE OF SHEATHING AT JAMBS AND BELOW SILL. SEAL ALL CORNERS W/ COMPATIBLE MATERIAL.
- 5) A. INSERT WINDOW INTO OPENING. CENTER UNIT IN ROUGH OPENING. CHECK THE UNIT FOR LEVEL ACROSS HEAD (WINDOW MUST BE LOCKED). SHIM SILL UNTIL LEVEL AT BOTTOM OF JAMBS, BOTTOM OF VERTICAL MULLION, OR BOTTOM OF MEETING STILE.
B. NAIL OR SCREW CORNERS IN EACH DIRECTION (3" TO 10" FROM CORNER).
C. PLUMB JAMBS & CHECK DIAGONAL MEASUREMENTS. SHIM SIDE JAMBS IN CENTER TO MAINTAIN SAME WIDTH AS TOP AND BOTTOM OF UNIT.

- D. FINISH NAILING AROUND PERIMETER OF UNIT W/ FASTENERS AT 16" O.C. (MAX) FASTENERS INSTALLED AT HEAD OF WINDOW SHALL ALLOW FOR DEFLECTION OF HEAD BEAM WITHOUT DEFLECTION OF WINDOW HEAD.
- E. SHIM SILL SO IT IS SUPPORTED IN STRAIGHT AND LEVEL CONDITION AT MINIMUM OF THREE POINTS. SPACE SHIMS 12" MAX.

- 6) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG JAMBS.
- 7) APPLY SELF-ADHERING FLEXIBLE FLASHING MEMBRANE ALONG HEAD.
- 8) A. APPLY BEAD OF SEALANT TO TOP OF HEAD OF WINDOW.
B. INSTALL SHEET METAL HEAD FLASHING TO HEAD OF WINDOW; ENSURE THAT BOTTOM OF FLASHING IS SEALED TO TOP OF HEAD OF WINDOW. FASTEN INTO PLACE. SHEET METAL HEAD FLASHING SHOULD SLOPE TO DRAIN, THUS:



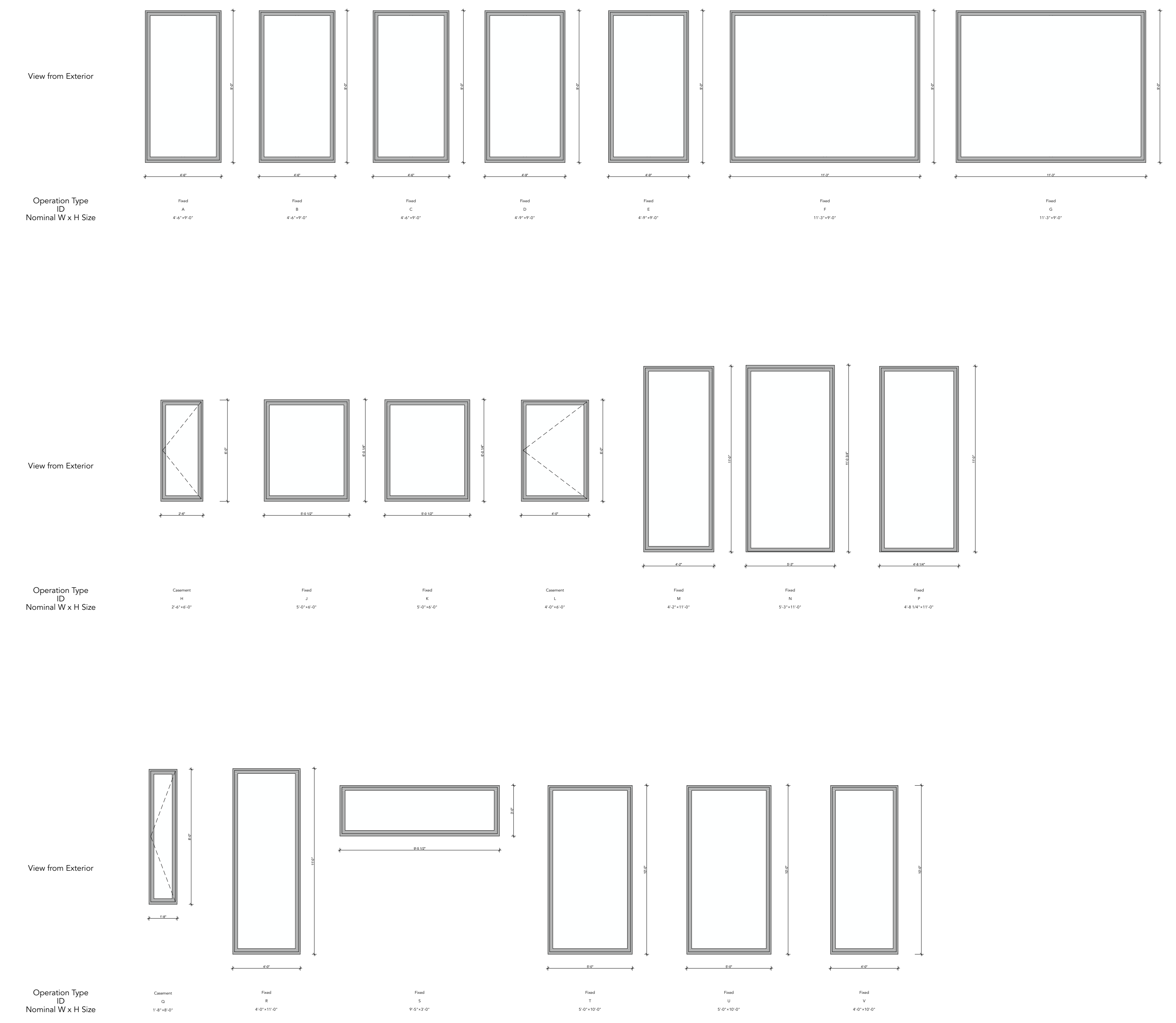
- 9) RIM WRB TO OVERLAP SHEET METAL FLASHING. FOLD WRB DOWN OVER SHEET METAL FLASHING & SEAL BETWEEN THE TWO WITH SEALANT. APPLY SHEATHING TAPE OVER DIAGONAL CUT IN WRB.

ID	Type	W x H	Sill Height	Head	Jamb	Sill	Manufacturer	Notes/Remarks
A	Fixed	4'-6" x 9'-0"	0"				Glo	
B	Fixed	4'-6" x 9'-0"	0"				Glo	
C	Fixed	4'-6" x 9'-0"	0"				Glo	
D	Fixed	4'-0" x 9'-0"	0"				Glo	
E	Fixed	4'-0" x 9'-0"	0"				Glo	
F	Fixed	11'-3" x 9'-0"	0"				Glo	
G	Fixed	11'-3" x 9'-0"	0"				Glo	
H	Casement	2'-0" x 6'-0"	3'-0"				Glo	Tilt & Turn
J	Fixed	5'-0" x 6'-0"	3'-0"				Glo	
K	Fixed	5'-0" x 6'-0"	3'-0"				Glo	
L	Casement	4'-0" x 6'-0"	3'-0"				Glo	Tilt & Turn
M	Fixed	4'-2" x 11'-0"	0"				Glo	
N	Fixed	5'-3" x 11'-0"	0"				Glo	
P	Fixed	4'-8" x 14'-11" x 11'-0"	0"				Glo	
Q	Casement	1'-8" x 8'-0"	3'-0"				Glo	
R	Fixed	4'-0" x 11'-0"	0"				Glo	
S	Fixed	9'-0" x 3'-0"	7'-0"				Glo	
T	Fixed	5'-0" x 10'-0"	0"				Glo	
U	Fixed	5'-0" x 10'-0"	0"				Glo	
V	Fixed	4'-0" x 10'-0"	0"				Glo	

NOTE: All windows have max. U-Value = 0.32

GENERAL NOTE: REFER TO NOTED PLANS FOR LOCATIONS WHERE TEMPERED GLAZING OCCURS.

NOTE: All windows have max. U-Value = 0.32



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6/1/23

Scott Payne
STATE OF IDAHO

EXP. 6.25.23

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DATE: 6/1/23
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ISSUE:
Design Review 3.31.23
Design Review Response

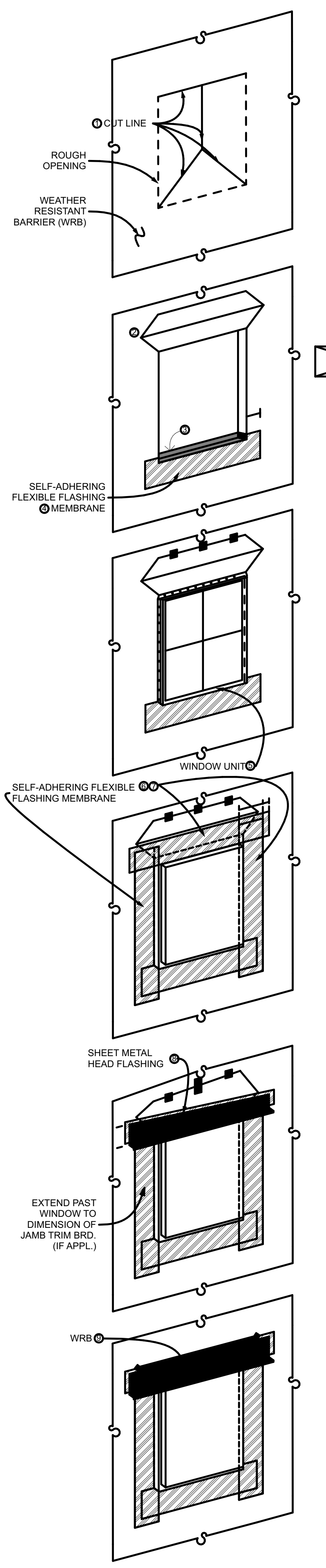
Exterior Door Schedule								
ID	Operation	Location	W x H	Head	Jam	Sill	Manufacturer	Notes/Remarks
100	Overhead	Garage	9'-6" x 9'-0"				TBD	
101	Swinging	Garage	9'-6" x 9'-0"				TBD	
101	Swinging	Elevator Maintenance Access	2'-4" x 8'-4 1/2"				TBD	Verify Fire Rating Requirements
102	Swinging	Garage	3'-0" x 8'-4 1/2"				TBD	Self-Closing 1 3/4" Solid Wood/Steel Door or 20 Minute Fire-Rated Door
103	Swinging	Elevator	3'-0" x 8'-4 1/2"				TBD	Elevator Man Door; Verify with Elevator Manufacturer
104	Swinging	Laundry	3'-0" x 7'-9"				TBD	
105	Swinging	Mud Room	3'-0" x 7'-9"				TBD	Exterior Door - Clad to Match Exterior Siding; Verify
105A	Swinging	Spa Maintenance / Mech.	3'-0" x 7'-9"				TBD	Exterior Door - Clad to Match Exterior Siding; Verify
106	Pocket	Powder	2'-6" x 7'-9"				TBD	
200	Pivot	Entry Foyer	4'-0" x 9'-0"				TBD	Exterior
201	Swinging	Guest Bedroom Hall	2'-10" x 8'-0"				TBD	
202	Swinging	Guest Bath 2	2'-8" x 8'-0"				TBD	
203	Pocket	Guest Bath 2	2'-6" x 8'-0"				TBD	
204	Swinging	Guest Vestibule 1	2'-10" x 8'-0"				TBD	
205	Swinging	Guest Vestibule 1	2'-8" x 8'-0"				TBD	
206	Pocket	Guest Bath 1	2'-8" x 8'-0"				TBD	
207	Pocket	Guest Bath 1	2'-6" x 8'-0"				TBD	
208	Swinging	Elevator	3'-0" x 8'-0"				TBD	Elevator Man Door; Verify with Elevator Manufacturer
209	Swinging	Mechanical	2'-9" x 8'-0"				TBD	Outside Face Clad to Match Adjacent Wood Siding in Bridge
210	Swinging	Den Bath	2'-8" x 8'-0"				TBD	Frosted Glass; Re: Interiors
211	Pocket	Bunk Room	2'-6" x 8'-0"				TBD	
212	Swinging	Bunk Room	2'-6" x 9'-0"				TBD	Exterior, Full-Lite
213	Swinging	Den	3'-0" x 9'-0"				TBD	Exterior, Full-Lite
214	Swinging	Jr. Master Vestibule	2'-10" x 8'-0"				TBD	Built to Match Exterior Wood Siding
215	Pocket	Jr. Master Closet	2'-6" x 8'-0"				TBD	
216	Swinging	Jr. Master Bath	2'-8" x 8'-0"				TBD	
217	Swinging	Jr. Master Bath	2'-6" x 8'-0"				TBD	
218	XO Two-Panel Slider	Jr. Master	10'-6" x 9'-0"				Glo	Exterior, Full-Lite
300	Swinging	Upper Stair	4'-0" x 9'-0"				TBD	Exterior, Full-Lite
301	Pocket	Master Bath	2'-8" x 9'-0"				TBD	
302	Swinging	Master Bath	2'-8" x 9'-0"				TBD	
303	Swinging	Her Closet	2'-8" x 9'-0"				TBD	
304	Swinging	His Closet	2'-8" x 9'-0"				TBD	
305	Swinging	Master Bedroom	3'-0" x 9'-0"				TBD	
306	Swinging	Office	3'-0" x 9'-0"				TBD	
307	XO Two-Panel Slider	Master Patio	10'-6" x 10'-0"				Glo	Exterior, Full-Lite
308	Swinging	Master Hall	3'-6" x 9'-0"				Glo	Exterior, Full-Lite
309	Swinging	Elevator	3'-0" x 9'-0"				TBD	Elevator Man Door; Verify with Elevator Manufacturer
310	Swinging	Powder	2'-6" x 9'-0"				TBD	Built to Match Exterior Wood Siding
311	Pocket	Pantry	2'-6" x 11'-0"				TBD	
313	XO Two-Panel Slider	Outdoor Living	15'-6" x 11'-0"				Glo	Exterior, Full-Lite

01. Frame Size and location of each window is depicted from the top of subfloor. Intent is to align T.O. Window Units w/ T.O. Exterior Doors in all cases. Head height indicates rough opening height for window/door, SEE WINDOW/DOOR DETAIL FOR MORE INFORMATION. Also Door Height on schedule indicates leaf size and not unit size, please consult architect for any questions.
02. Manufacturer shall submit shop drawings, tabulations, and rough opening sizes to Owner for review.
03. Verify exterior cladding color with Owner.
04. All glazing shall be Low-E 2 sealed insulating glass unless noted otherwise. Where required by code, glazing shall be tempered.
05. Window/Door hardware to be determined.

- Interior Door Notes**
01. Frame Size and location of each window is depicted from the top of subfloor (Doors and Windows numbering 100) subfloor El=101'-0" at main level. Intent is to align Interior Doors with T.O. Window Units or T.O. Exterior Doors in most cases. Head height indicates mounting height for window/door, SEE INTERIOR DOOR DETAILS FOR MORE INFORMATION.
 02. Manufacturer shall submit shop drawings, tabulations, and verified in field rough opening sizes to Owner for review.
 03. See Door Elevation for information on look and style of door.

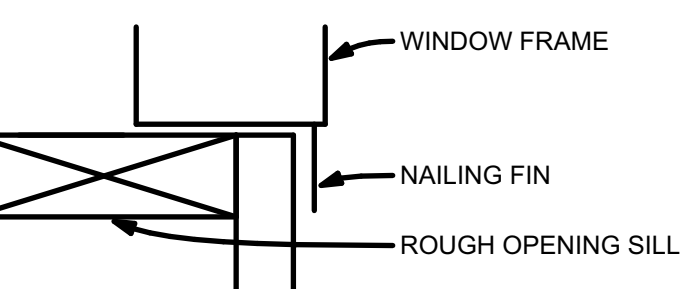
GENERAL NOTE: REFER TO NOTED PLANS FOR LOCATIONS WHERE TEMPERED GLAZING OCCURS.

NOTE: All windows have max. U-Value = 0.32



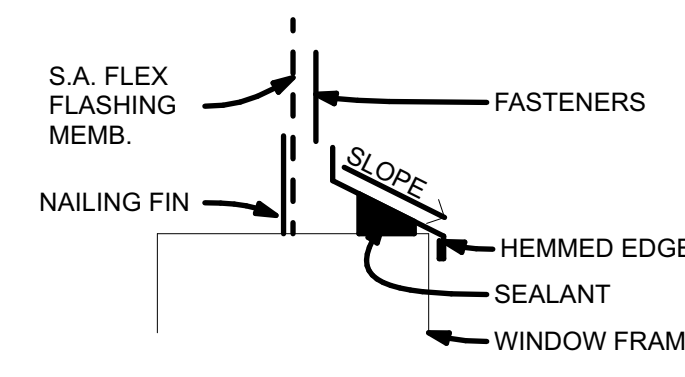
WINDOW INSTALLATION DETAILS
- WRB INSTALLED PRIOR TO WINDOW
- STRUCTURAL, INTEGRAL NAILING FIN
- REFER ALSO TO ASTM E2112 & MFGR.
INSTALLATION INSTRUCTIONS

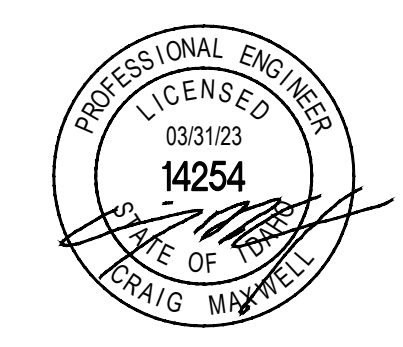
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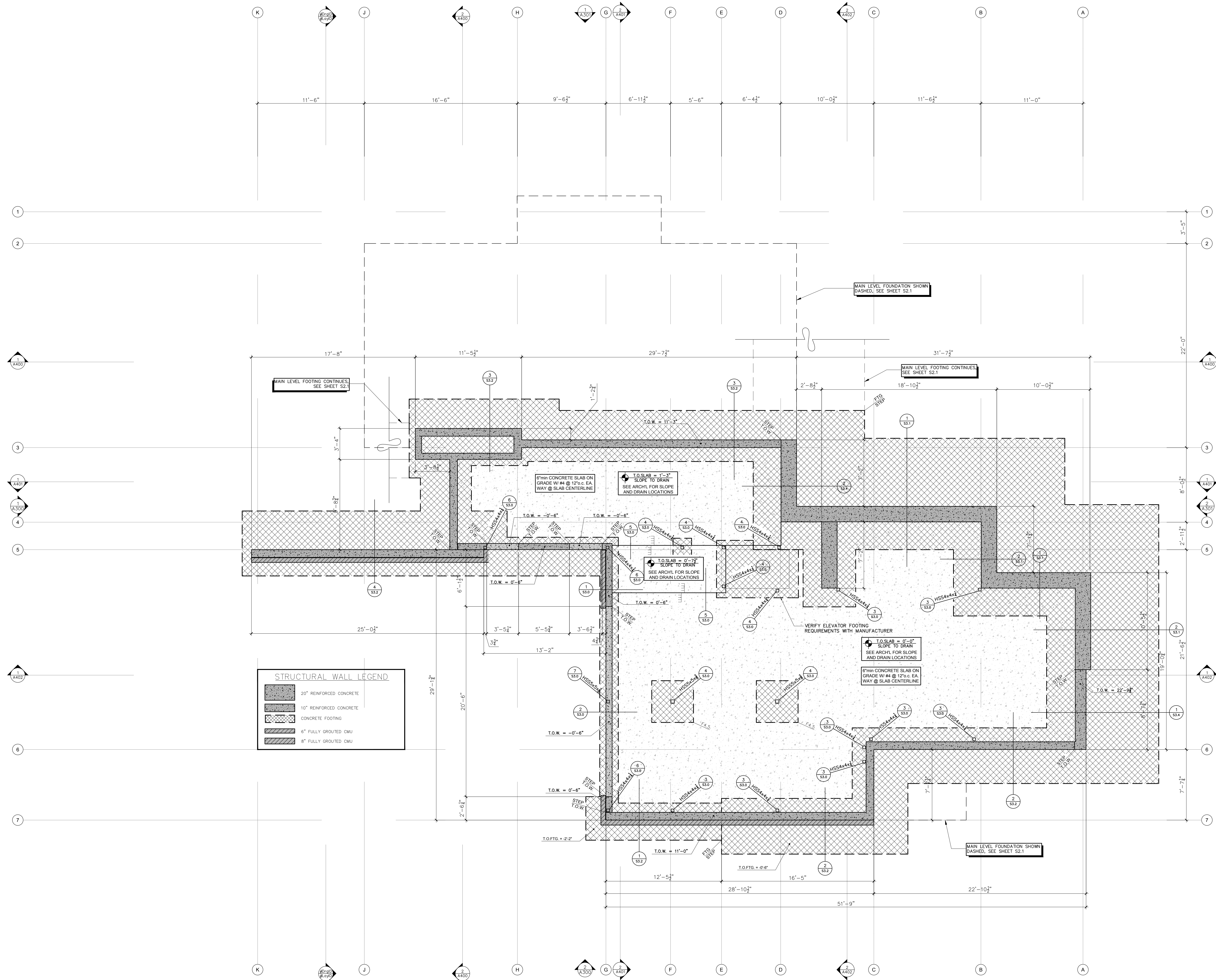
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MAXWELL
 STRUCTURAL DESIGN STUDIO
 CRAIG MAXWELL P.E.
 105 Lewis Street, Unit 205 :: Ketchum, Idaho 83340
 P.O. Box 1911 :: Sun Valley, Idaho 83353
 craig@maxwellstudio.com :: 208.721.2171
 www.maxwellstudio.com

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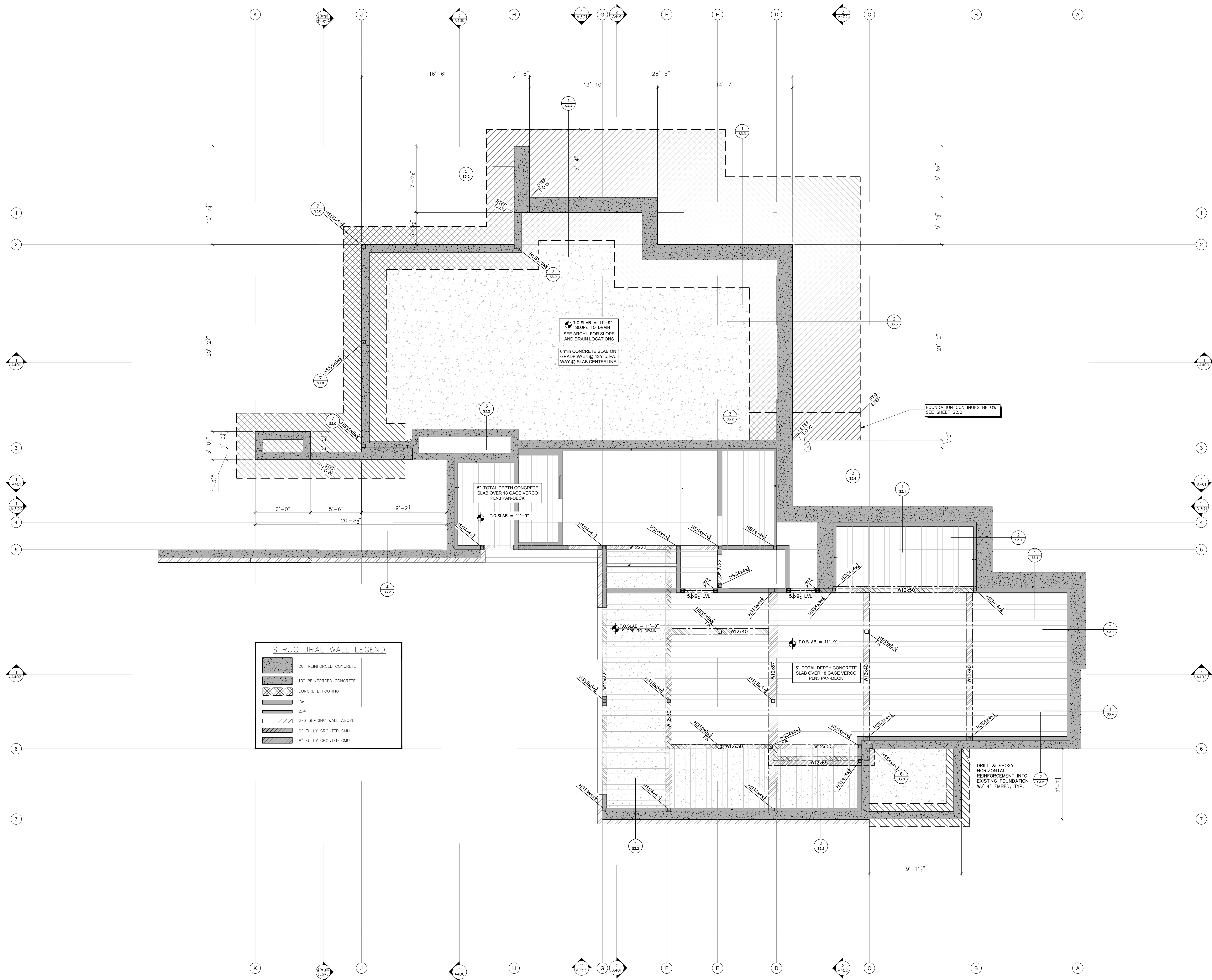


FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

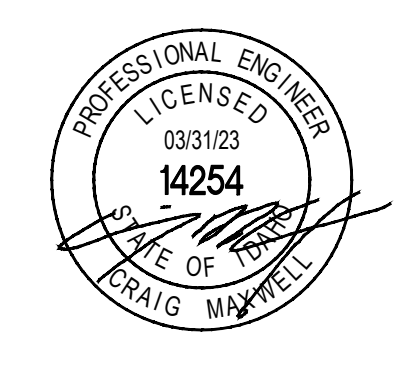


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SECOND LEVEL FLOOR FRAMING PLAN

SCALE : 1/4" = 1'-0"



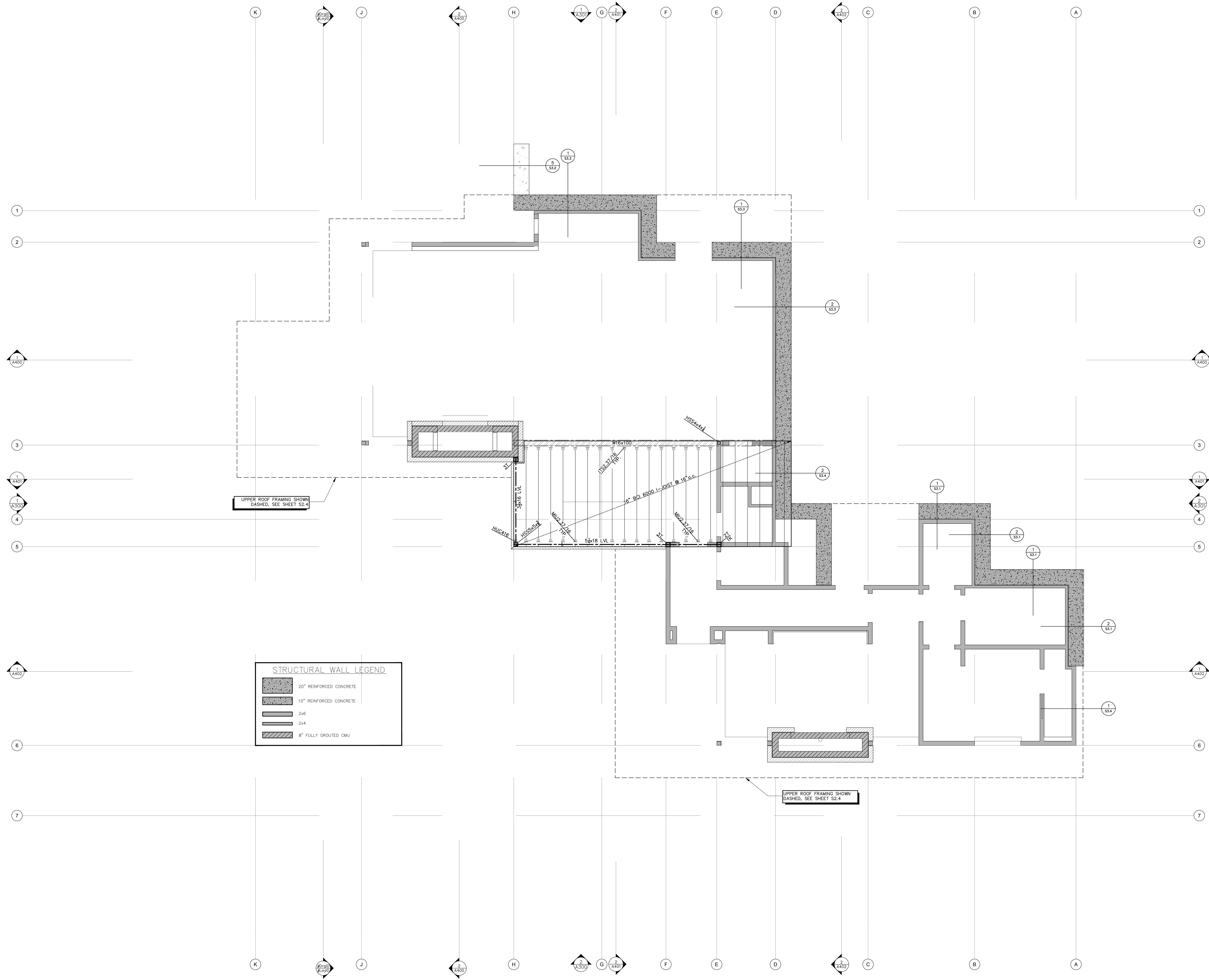
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STRUCTURAL DESIGN STUDIO
CRAIG MAXWELL, P.E.
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P.O. Box 1911 :: Sun Valley, Idaho 83353
craig@maxwellstudio.com
www.maxwellstudio.com

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THIRD LEVEL FLOOR FRAMING PLAN

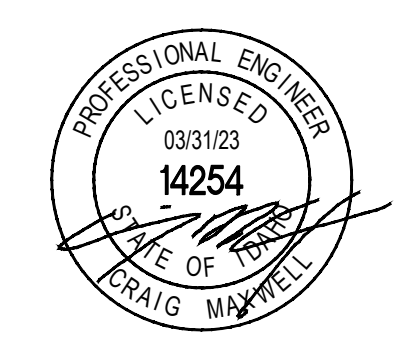
SCALE : 1/4" = 1'-0"



STRUCTURAL WALL LEGEND	
20" REINFORCED CONCRETE	
10" REINFORCED CONCRETE	
2x6	
2x4	
8" FULLY GROUTED CMU	

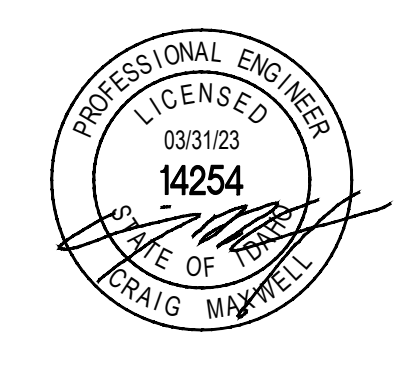
LOWER ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"



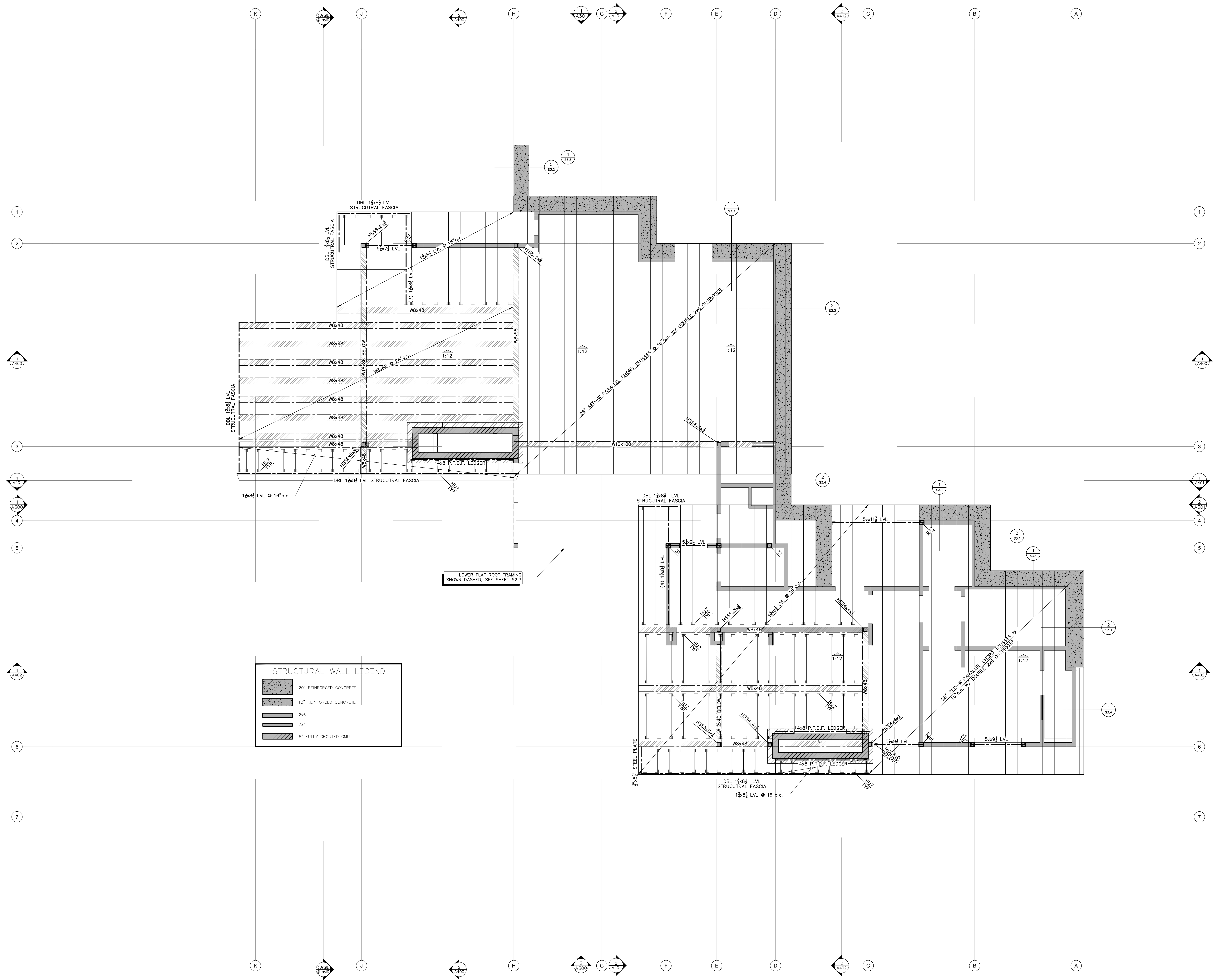
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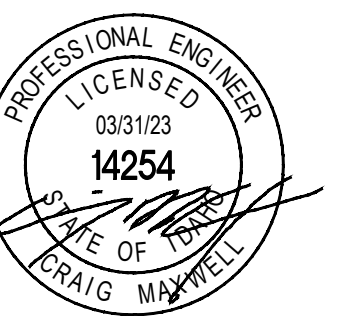
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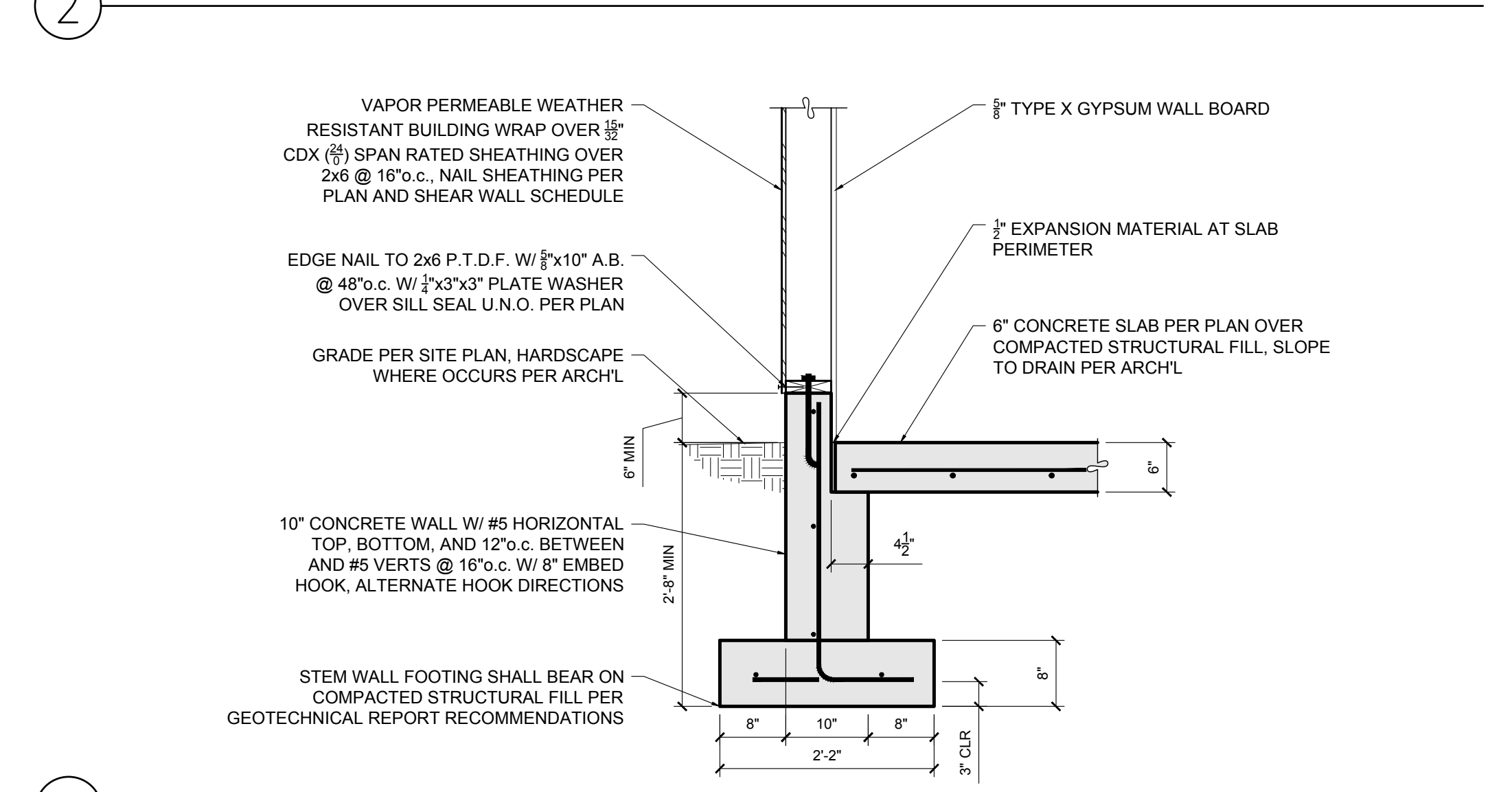
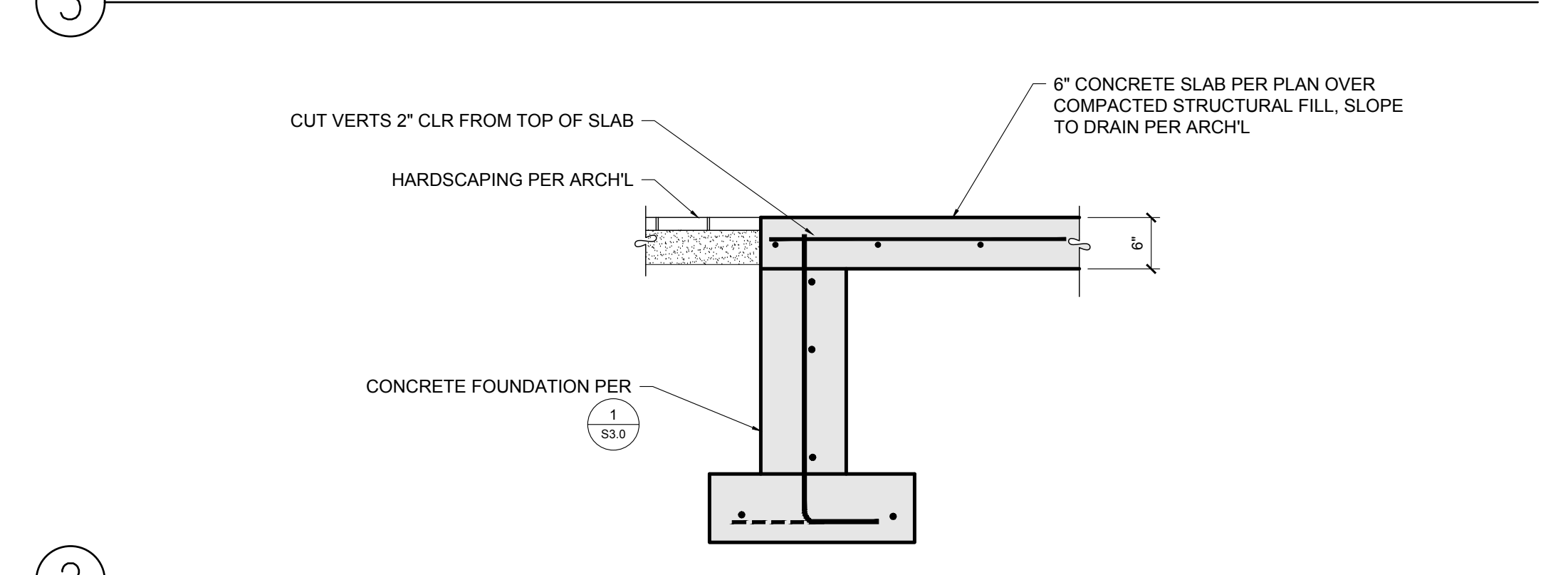
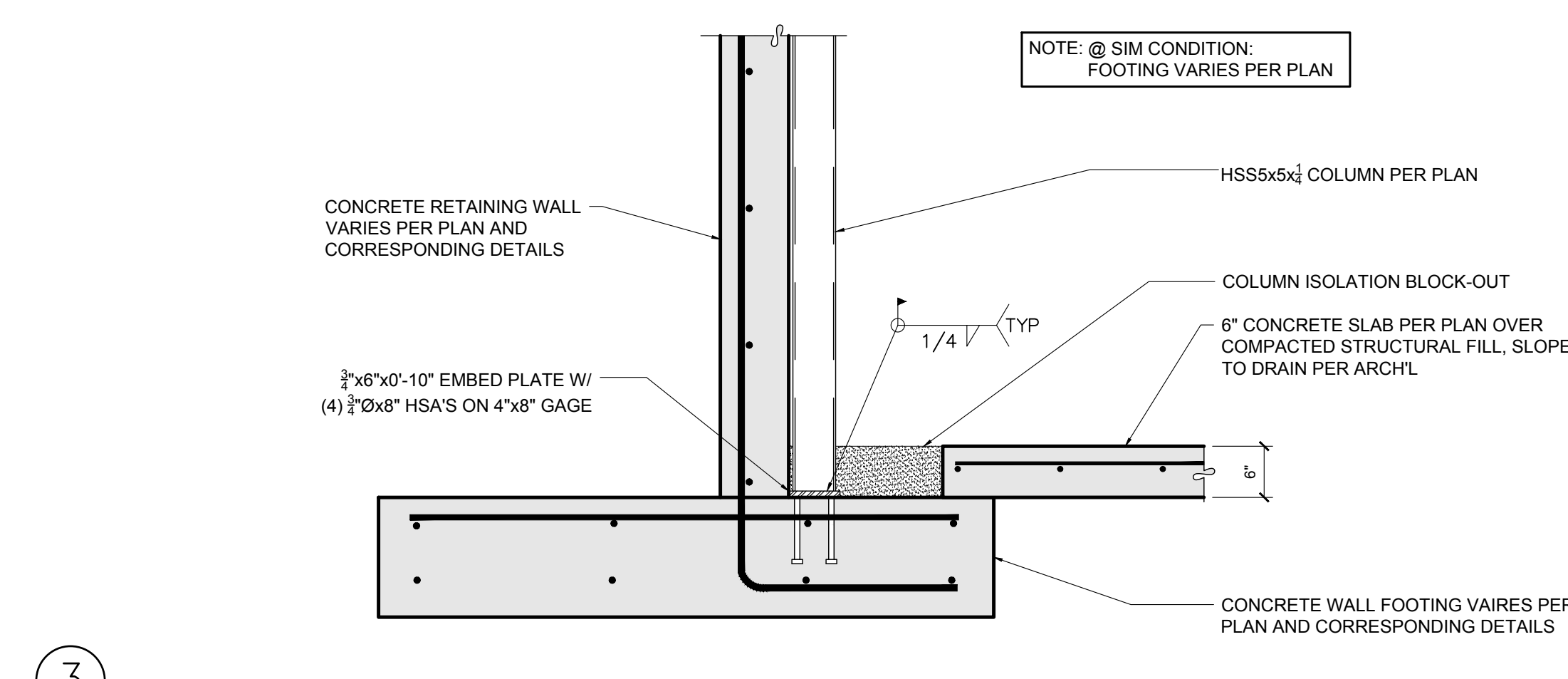
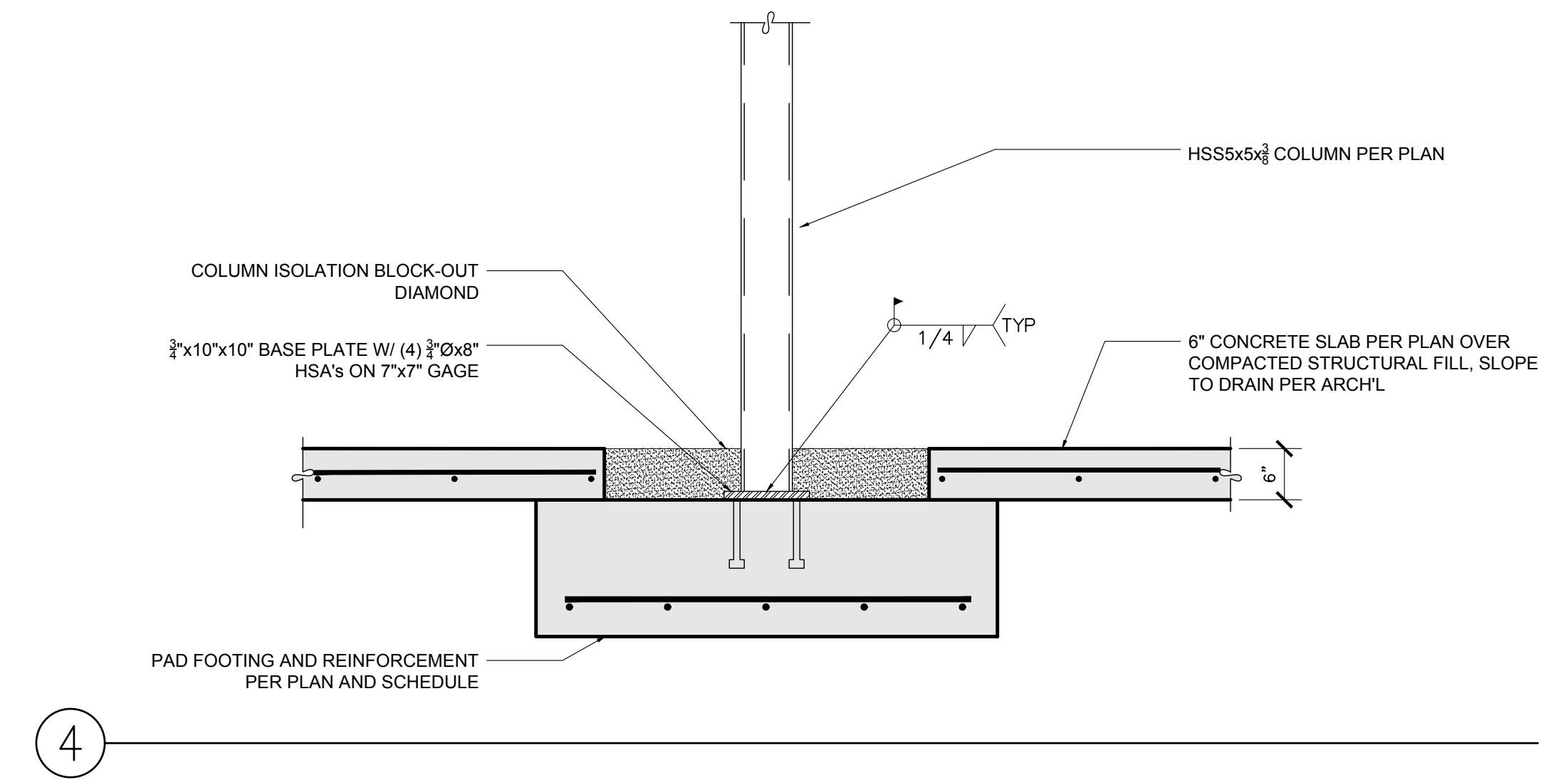
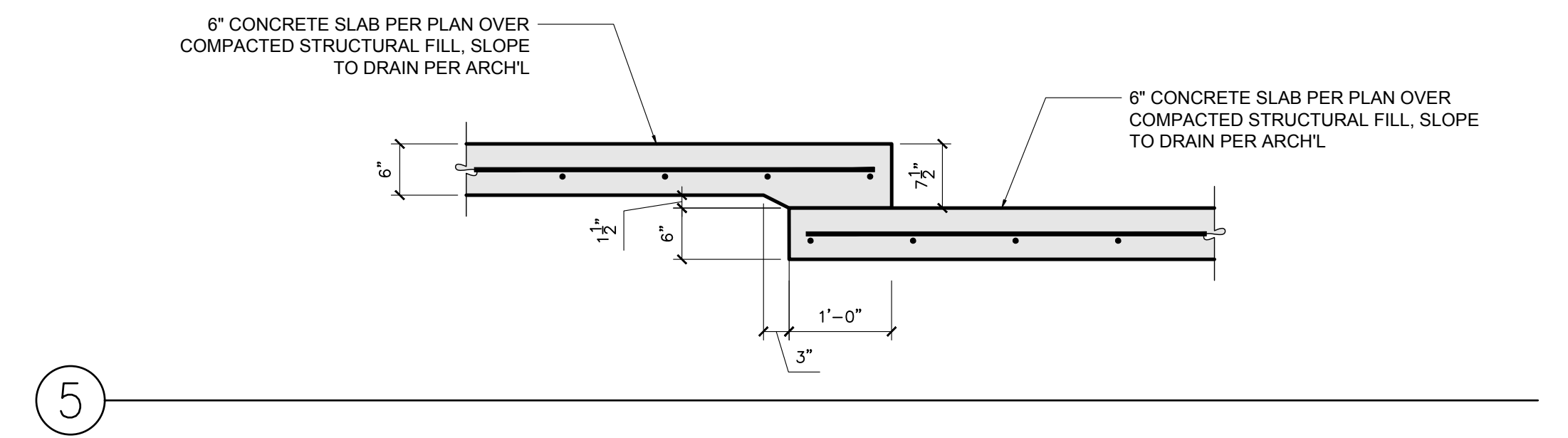


UPPER ROOF FRAMING PLAN

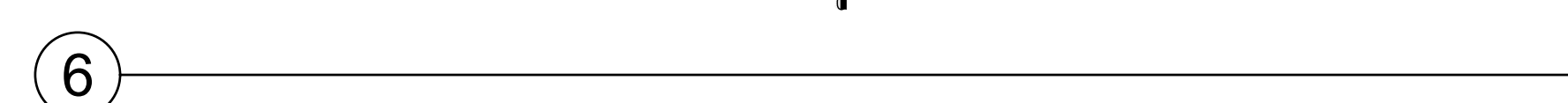
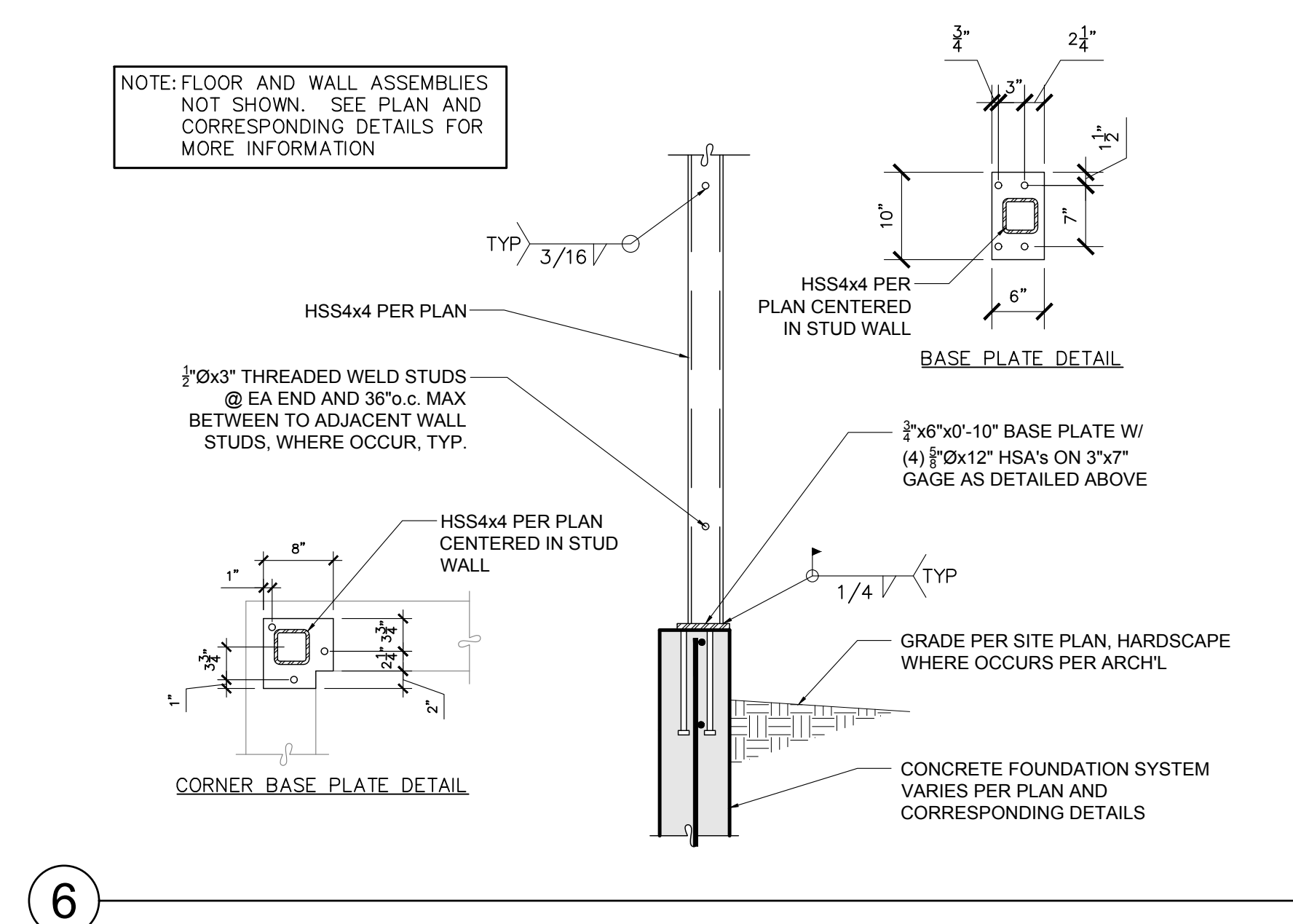
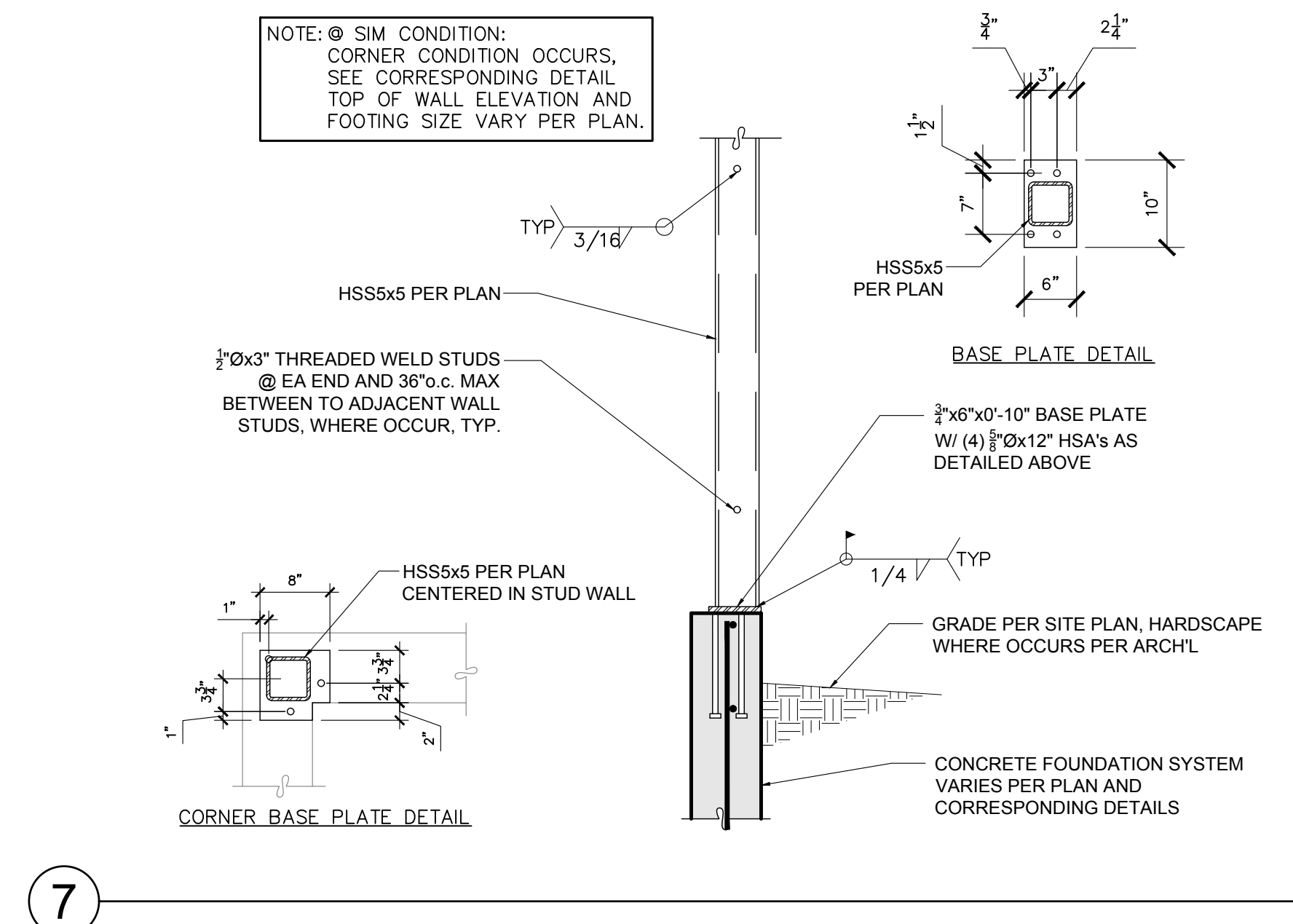
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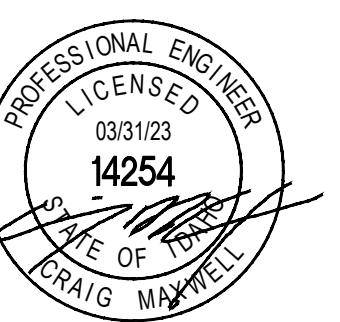
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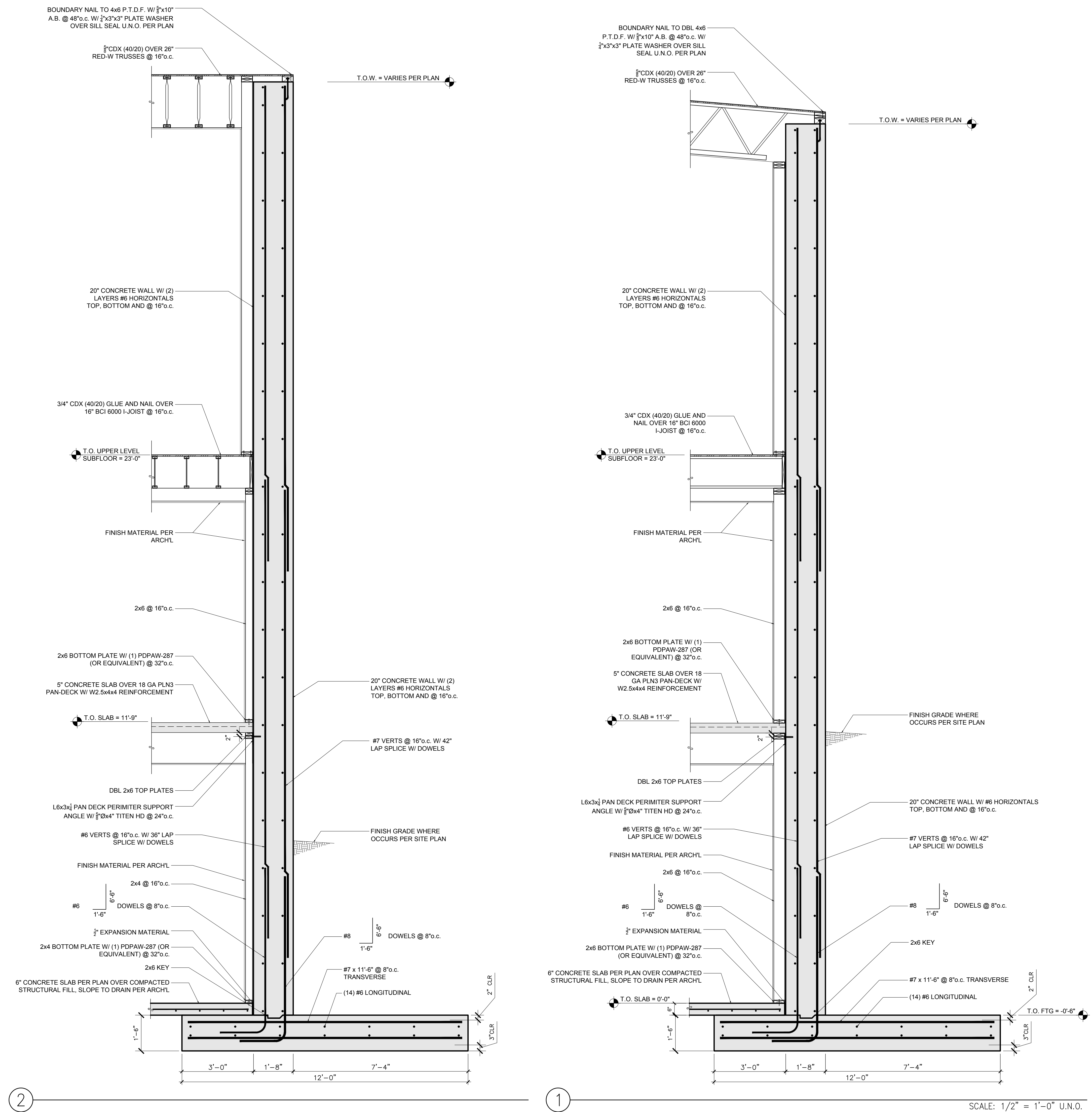
PRATT RESIDENCE
406 SAGE ROAD
KETCHUM, ID



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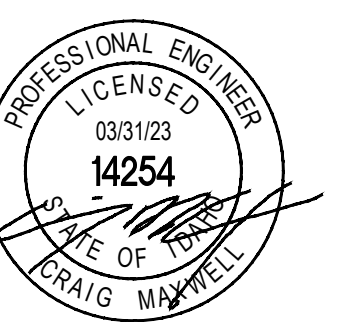
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S3.1



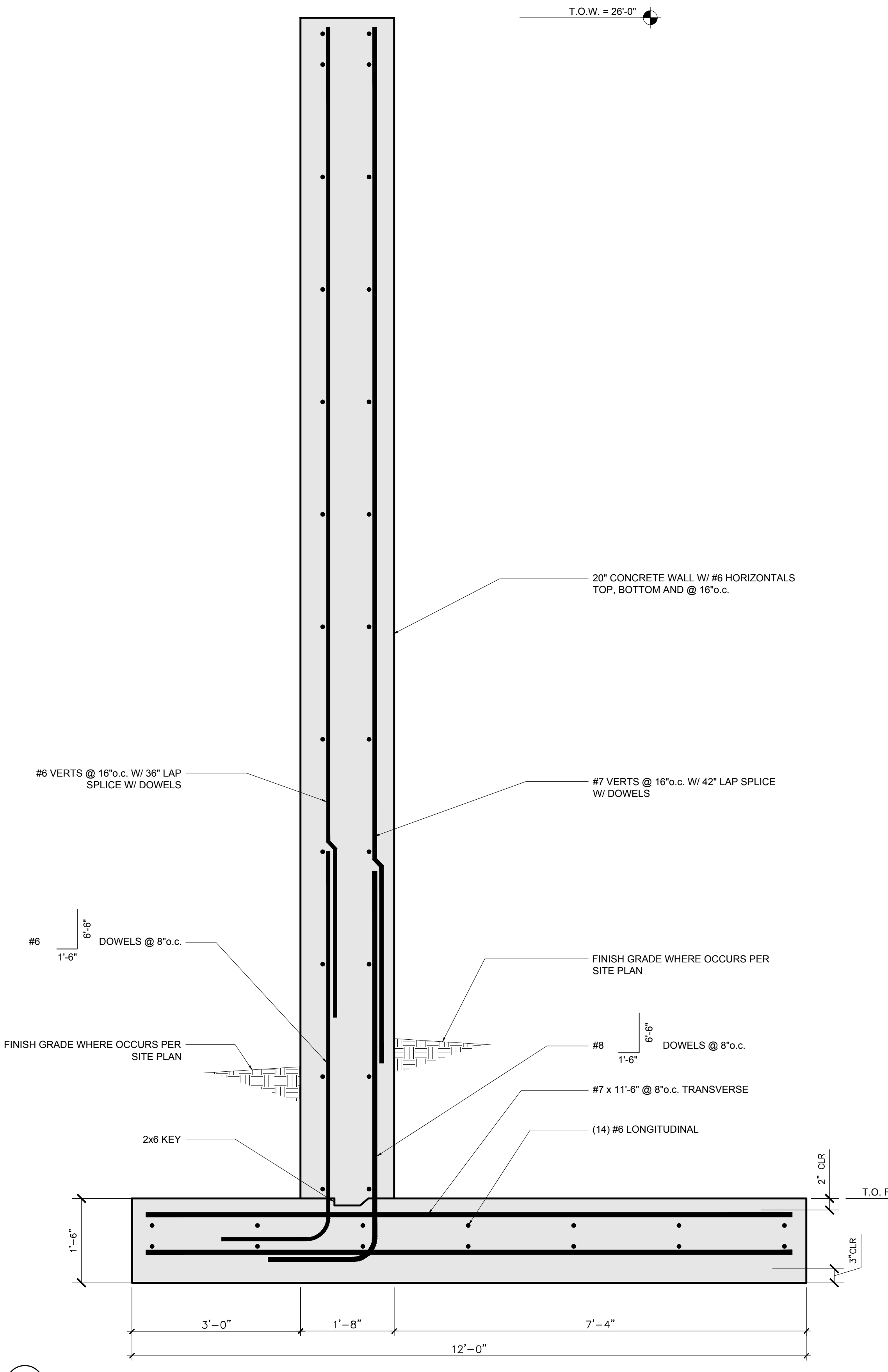
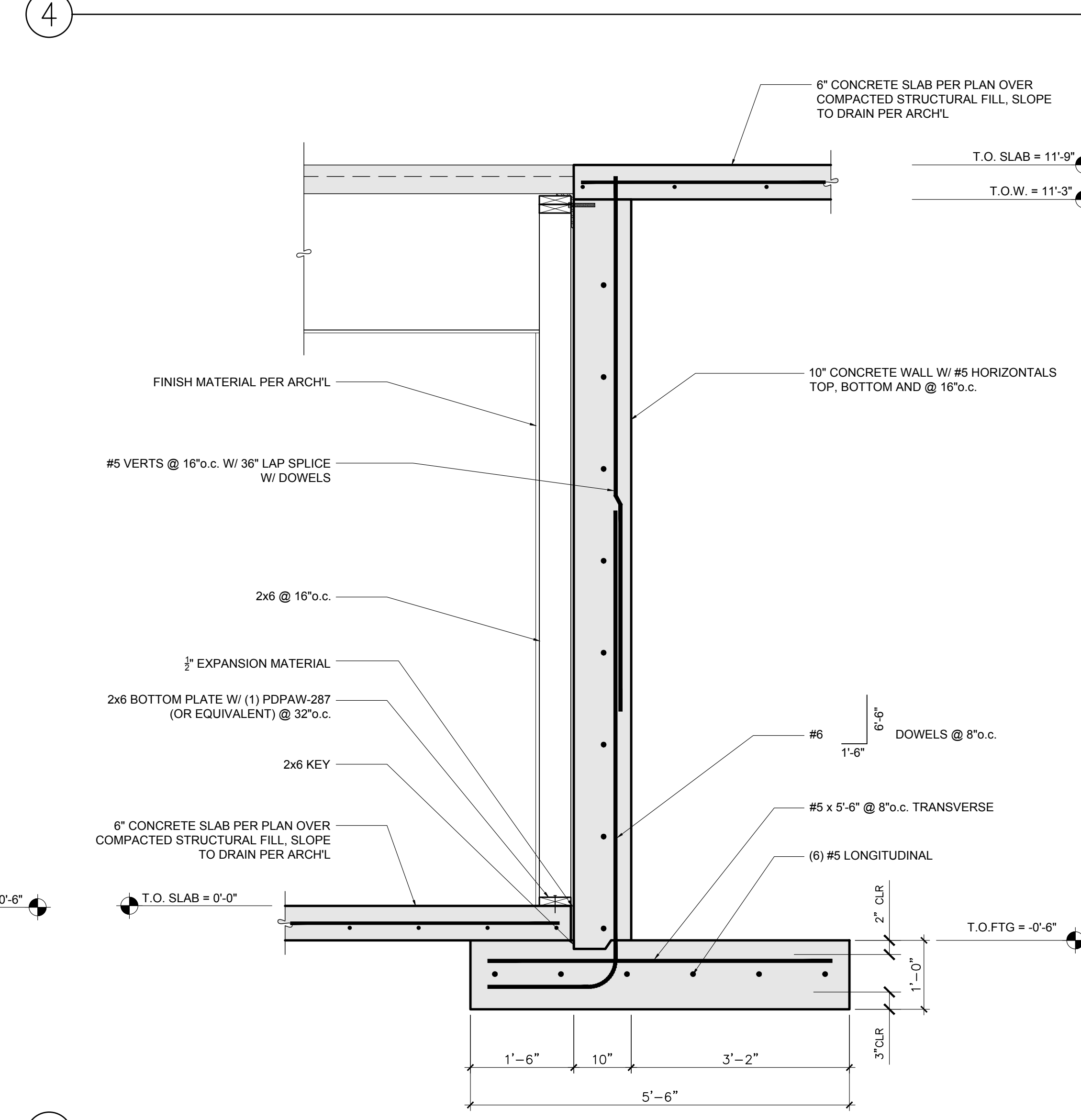
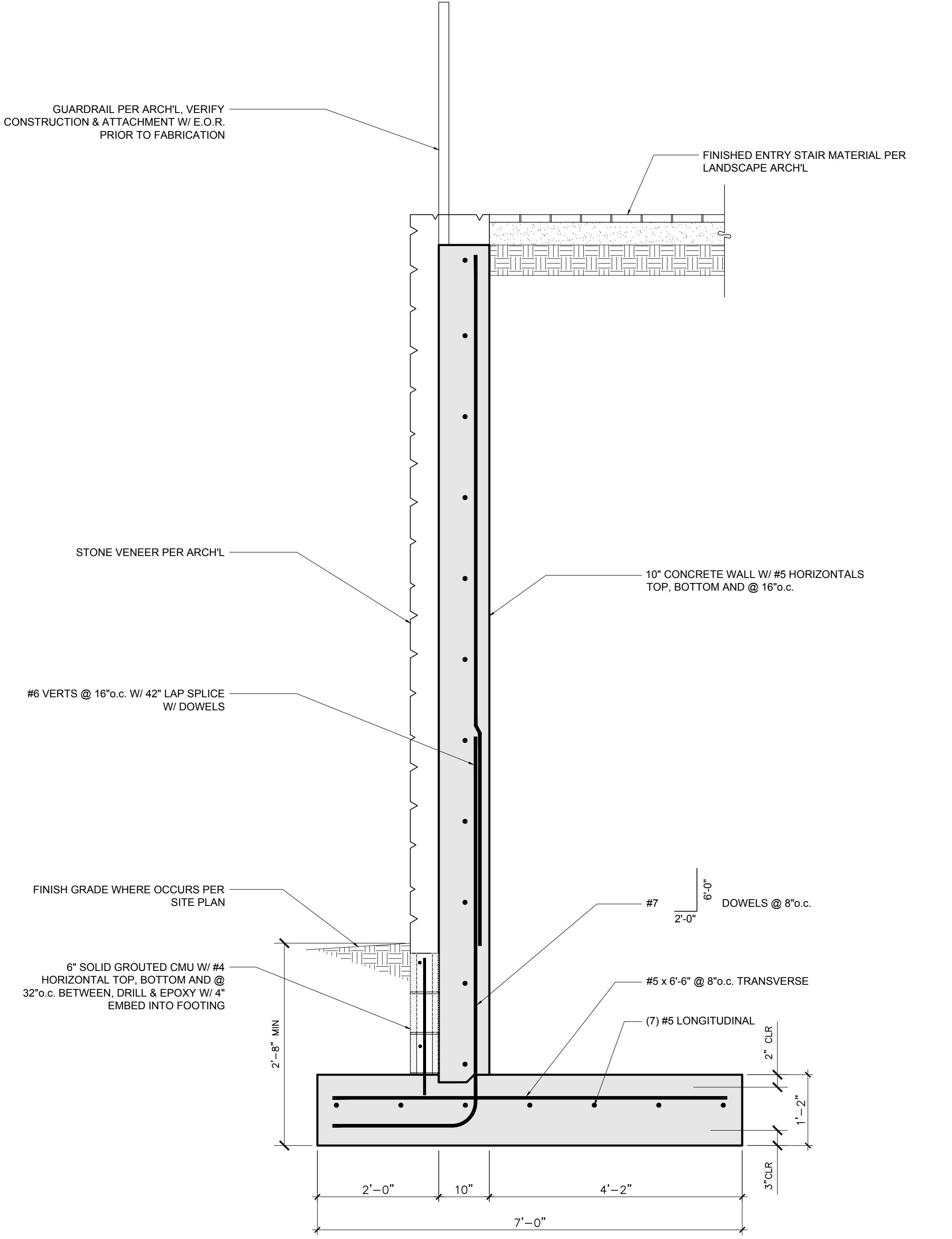
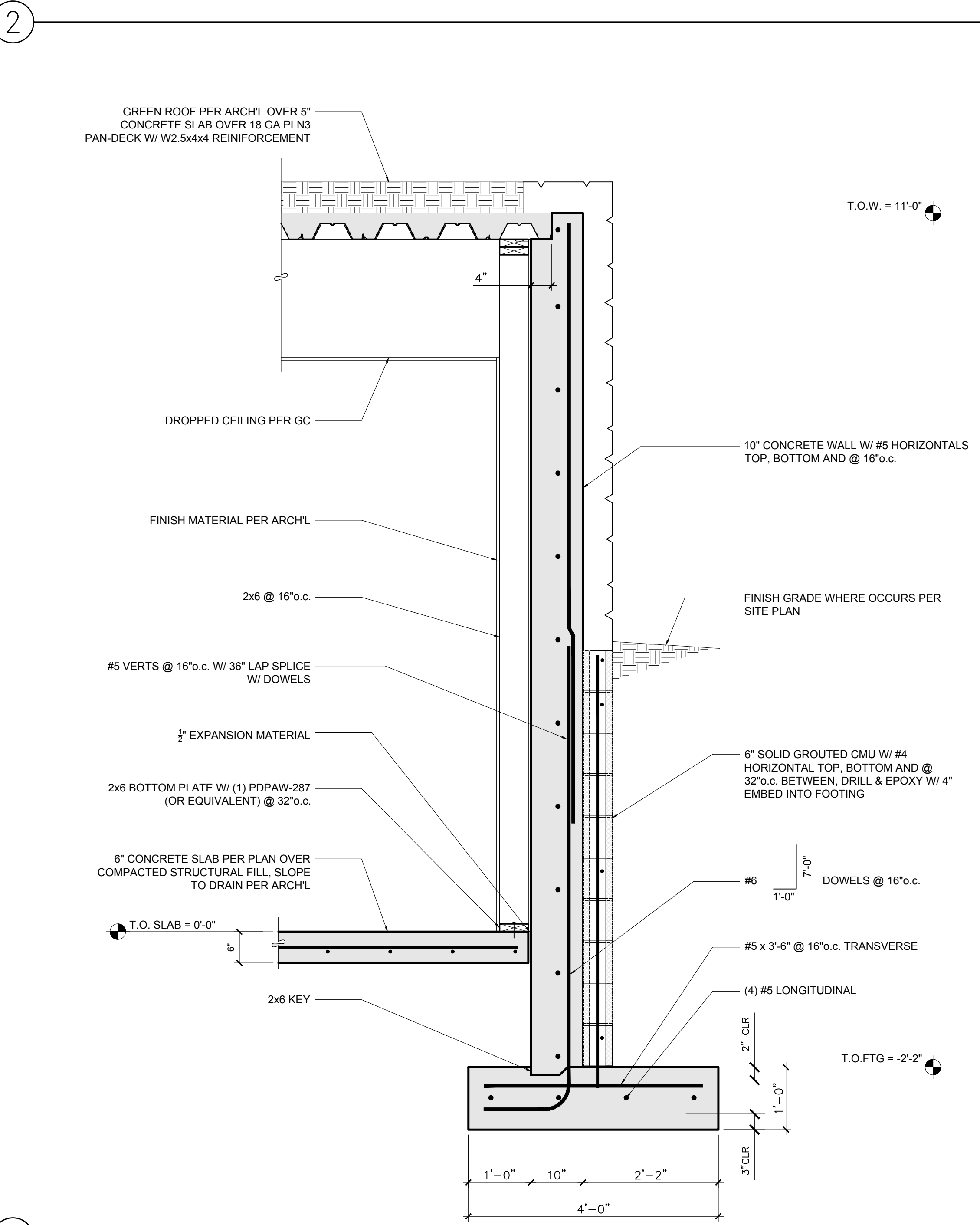
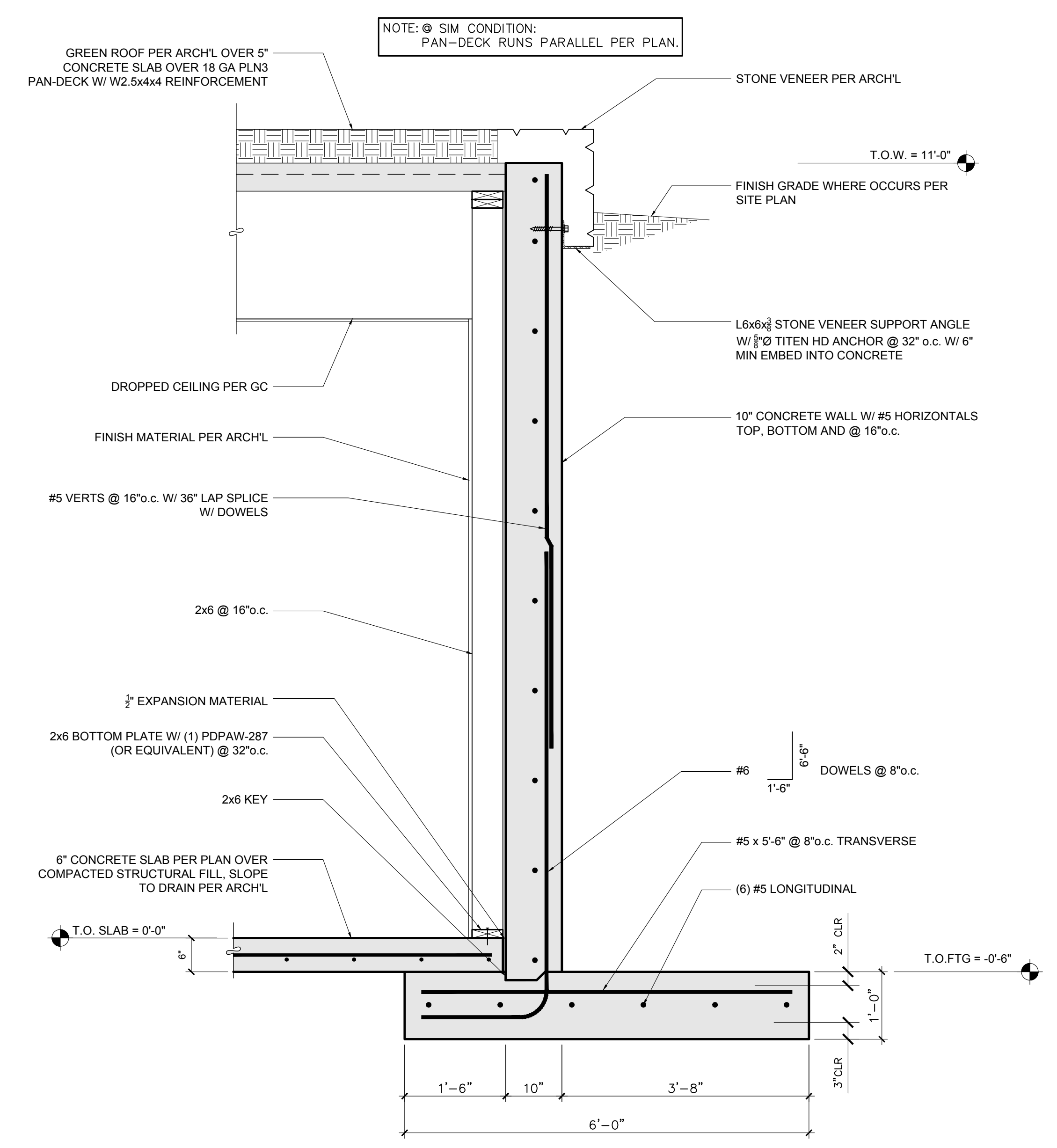
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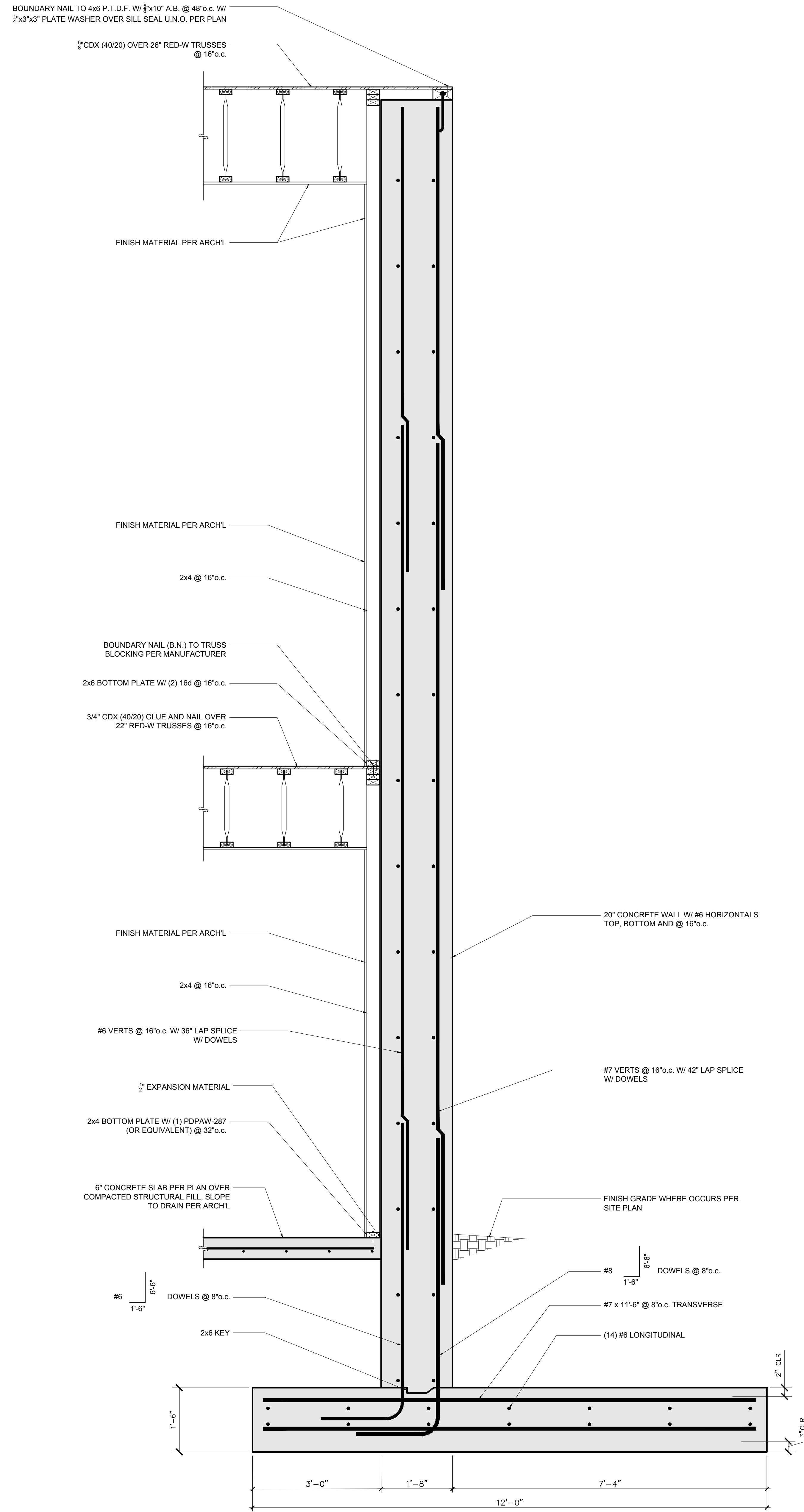


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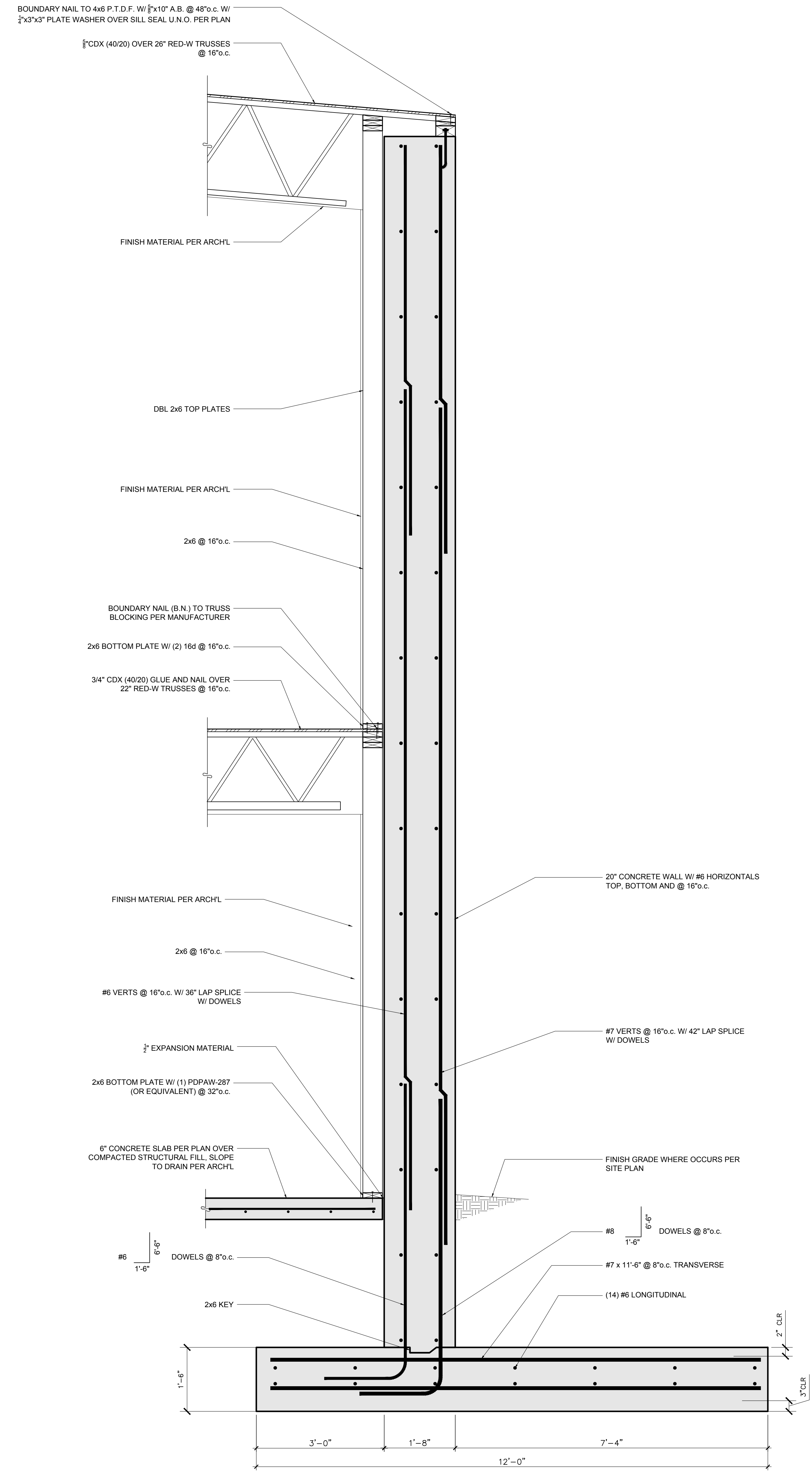
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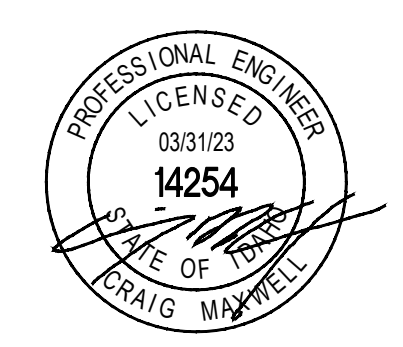
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ISSUE DATE
CUP SET: MARCH 31, 2023

PRATT RESIDENCE

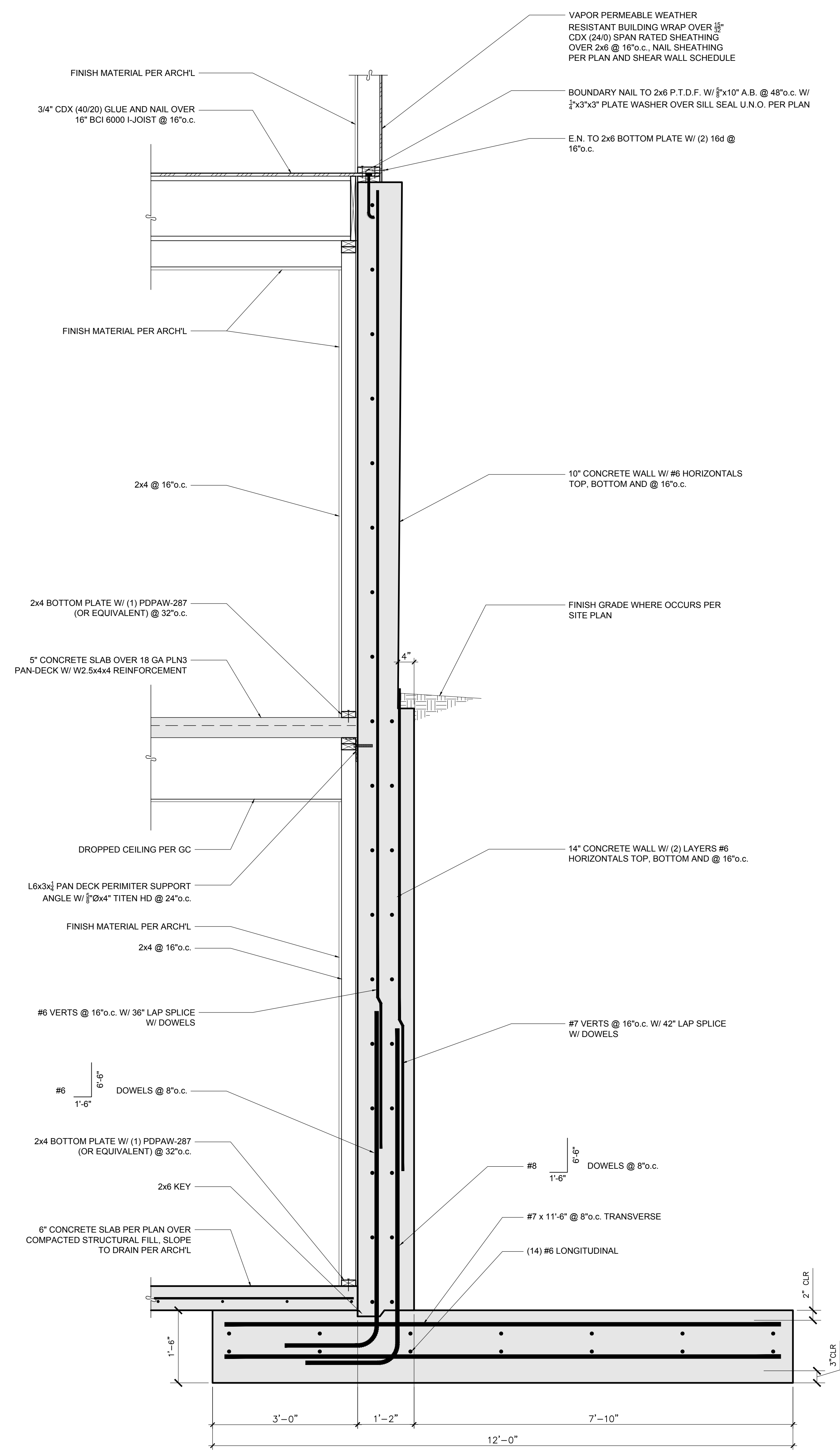
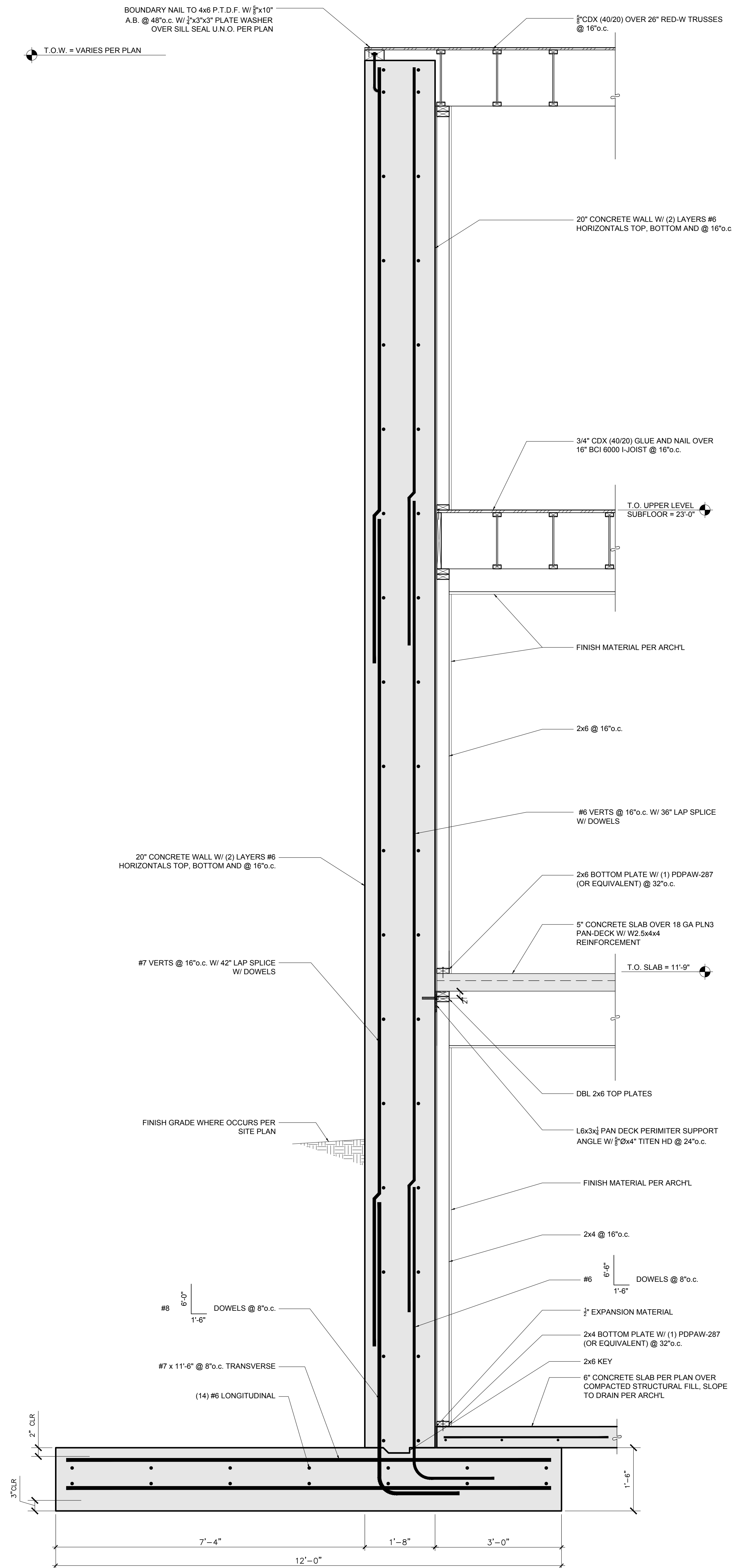
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STRUCTURAL DESIGN STUDIO
CRAIG MAXWELL P.E.
105 Lewis Street, Unit 205 • Ketchum, Idaho 83340
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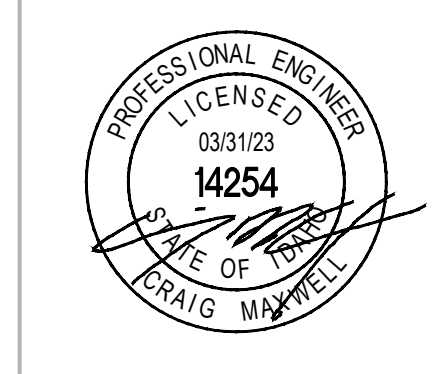
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SCALE: 3/4" = 1'-0" U.N.O.

ISSUE DATE
CUP SET: MARCH 31, 2023

PRATT RESIDENCE

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KETCHUM, ID



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S3.4



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Pratt Residence)	KETCHUM PLANNING & ZONING COMMISSION
Conditional Use Permit	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023	)	DECISION
)	
File Number: 23-009A)	

PROJECT: Pratt Residence

FILE NUMBER: P23-009A

APPLICATION TYPE: Conditional Use Permit

REPRESENTATIVE: Nathan Hecker – Farmer Payne Architects (architect)

PROPERTY OWNER: Bradley and Gail Pratt

LOCATION: 406 Sage Road (Lot 23, Block 3, Warm Springs Valley Subdivision Fourth Addition)

ZONING: General Residential – Low Density (GR-L), Mountain Overlay (MO), Avalanche Overlay (A)

REVIEWER: Paige Nied – Associate Planner

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 406 Sage Road Design Review (Application File No. 23-009) and Conditional Use Permit (Application File No. 23-009A) applications during their regular meeting on July 11, 2023. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on June 21, 2023. The public hearing notice was published in the Idaho Mountain Express on June 21, 2023. A notice was posted on the project site and the city’s website on July 3, 2023. Story poles were documented on the project site as of July 3, 2023.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing to demolish an existing 2,016 square foot single family residence and construct a new 5,939 gross square foot three-story single-family residence (the “project”), located at 406 Sage Road (the “subject property”). The project contains four bedrooms and an attached two car garage. The subject property is zoned General Residential – Low Density (GR-L) in the Mountain Overlay District (MOD) and Avalanche District (A).

The project will construct improvements in the right-of-way per the City of Ketchum improvement standards. The project proposes a paver driveway with a snowmelt system. The snowmelt system is located entirely on the property and not within the Sage Road right-of-way. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

FINDINGS REGARDING COMPLIANCE WITH CONDITIONAL USE PERMIT CRITERIA

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			<i>Staff Comments</i>	The project includes an avalanche retaining wall to the rear of the residence, which requires a conditional use permit. The function of the avalanche wall is to protect the proposed structure, adjacent structures, and to prevent snow from sliding onto the Sage Road right-of-way. Staff finds the avalanche protective structure for the project to be compatible with the zoning district, as other conditional use avalanche protective structures have been permitted on Sage Road, including the adjacent townhomes at 400 and 402 Sage Road (File No. P22-070A), and in the surrounding neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			<i>Staff Comments</i>	As previously mentioned, the function of the avalanche wall is to protect the proposed structure, adjacent structures, and to prevent snow from sliding onto the Sage Road right-of-way. The applicant submitted a site-specific avalanche study and avalanche wall plans designed by a structural engineer to withstand the anticipated forces. The wall’s exposed height is 24’ above grade and it is located perpendicular to the projected avalanche flow to not deflect

				avalanches onto adjacent properties or damage/endorse persons or property in the vicinity of the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			<i>Staff Comments</i>	The proposed development is platted within the Warm Springs Village Subdivision, Fourth Addition that was recorded in 1961. The subject property was identified as being within an Avalanche Zone by the City of Ketchum in 1979. The proposed conditional use avalanche protective wall will not be hazardous or conflict with existing and anticipated traffic in the neighborhood. A function of the avalanche protective wall is to prevent snow from sliding onto the Sage Road right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			<i>Staff Comments</i>	As mentioned above, all departments have reviewed the proposed conditional use including streets, fire, water, wastewater, planning and engineering. The conditional use permit is for the structure's avalanche protective wall. Avalanche protective walls do not require public facilities or services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			<i>Staff Comments</i>	The community's core values in the City of Ketchum's 2014 Comprehensive Plan include protecting the community character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. Staff believes that the goals and policies of the comprehensive plan related to hillside development are met with the proposed project as the single-family residence is within the list of primary uses anticipated in the future land use category and due to the location of the structure sited at the lower elevation of the lot and has a front yard setback of 15'-2 1/2" which is just slightly above the minimum front yard setback of 15' to cause minimal impact on the visual character of the hillside.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this

reference and which City Ordinances govern the applicant's Conditional Use Permit application for the development and use of the project site.

2. The Commission has authority to hear the applicant's Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.116.040.
4. The 406 Sage Road Conditional Use Permit application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** this Conditional Use Permit Application File No. P23-009A this Tuesday, August 8, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This conditional use permit approval is based on the project plans presented at the July 11, 2023, Planning and Zoning Commission meeting. Building Permit Plans must conform to the approved plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. This Conditional Use Permit is not transferable from one parcel of land to another.
3. The conditional use permit is subject to all conditions of approval associated with Design Review approval P23-009.
4. The term of this Conditional Use Permit shall be that of Design Review approval P23-009. In the event the Design Review approval expires, this Conditional Use Permit approval shall also expire and become null and void.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

IN RE:)
)
400 East Ave Offices) KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023) DECISION
)
File Number: P22-069)

PROJECT: 400 East Ave Office
APPLICATION TYPE: Conditional Use Permit
FILE NUMBER: P22-069
REPRESENTATIVE: Rich Childress, Point Architects (Architect)
OWNER: East Ave. Investment Properties, LLC
LOCATION: 400 East Avenue – (400 East Avenue Condo Unit 1 21% Commercial and Condo Unit 2 7% Commercial; Ketchum Townsite: Lot 1, Block 45)
ZONING: Community Core – Subdistrict 1 – Retail Core (CC-1)
OVERLAY: None

Regulatory Taking Notice: Applicant has the right, pursuant to section 67-8003, Idaho Code, to request a regulatory taking analysis.

RECORD OF PROCEEDINGS

The City of Ketchum received the application for a Conditional Use Permit on December 8, 2022. Following receipt of the application, staff routed the application materials to all city departments for review. The application was deemed complete on January 24th, 2023. All department comments have been addressed through applicant revision of project plans or were discussed by the Planning & Zoning Commission (the “Commission”).

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on March 8, 2023. The public hearing notice was

published in the Idaho Mountain Express on March 8, 2023. A notice was posted on the project site and the city's website on March 21, 2023. The project was heard at the March 28, 2023 meeting of the Commission. After considering staff's analysis, the applicant's presentation, and public comment, the Commission denied the Conditional Use Permit application with a vote of 5-0.

BACKGROUND

The Applicant is requesting a Conditional Use Permit (CUP) to establish a private office space in two of the ground floor units in the building located at 400 East Avenue (the "subject property"). The subject property sits at the corner of East Avenue & 4th Street with nearby businesses and locations including Atkinson's Market, Town Square, coffee shops, restaurants, retail and clothing shops. The existing building received design review approval on November 13th, 2001 and was constructed in 2003. As originally approved and constructed, the building has two commercial and one residential unit on the ground floor, two residential units on the second floor, and one residential unit on the third floor for a total of two commercial units and four residential units. Today, the ground floor commercial spaces are vacant.

The subject property is zoned Community Core Subdistrict 1 – Retail Core (CC-1), which allows "Office, business" with ground floor street frontage only through the approval of a Conditional Use Permit. The Ketchum Municipal Code defines "Office, business" as:

"Office, business: An establishment wherein the primary use is the conduct of a business or profession including, but not limited to, accounting, design services, computer software, information systems, engineering, insurance, legal services, management and administration, organization and association offices, psychology, real estate, travel and medical offices. Medical care facilities and hospitals are not included in this definition."

As outlined in the cover letter as part of the project plans, the proposed office space is intended to be a private office space. If approved, the proposed space would consist of multiple office space units, a shared conference/break area and a storage room.

Staff reviewed the application for conformance with the City of Ketchum's zoning regulations including but not limited to uses permitted, parking, and dark skies. During department review, staff asked for additional information regarding the proposed uses to occur within the ground floor suites. The applicants response to the request for additional information was included as an attachment to the staff report. Staff also reviewed the application for conformance with the conditional use permit criteria outline in Section 17.116.030, including conformance with the 2014 Comprehensive Plan, of the Ketchum Municipal Code. Based on review of the proposed application, staff does not believe the proposed office space meets the conditional use permit criteria and does not recommend approval of the application. The application proposes a ground floor private office use that would not contribute towards the goals of the

Comprehensive Plan regarding downtown vibrancy and creating a pedestrian friendly environment.

FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby find that the project does not conform to all applicable standards and criteria as set forth in Chapter 17.116 – *Conditional Uses* and Title 17 – *Zoning Regulations*. The Commission discussed the project’s conformance with the conditional use permit criteria and whether the proposed office space was contextually appropriate. The Commission concurred with staff’s review and found the project to not be in conformance with the conditional use permit criteria. Therefore, the Commission does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

FINDINGS REGARDING CONDITIONAL USE PERMIT CRITERIA

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Finding	<i>The Community Core (CC) Zone District is divided into two subdistricts, Retail Core (CC-1) & Mixed Use (CC-2) Subdistricts. The Retail Core intends to be the community’s primary shopping district and provide ground floor storefronts which create an active pedestrian-friendly environment. The Mixed-Use Subdistrict includes many of the same uses seen in the Retail Core but the two subdistricts differ when it comes to office space. While office space is permitted by right in all portions of a building in the Mixed-Use Subdistrict, the Retail Core requires a conditional use permit for office space that is on the ground floor and has street frontage. As further discussed in Criteria 5, office is identified as an appropriate use on upper floors of buildings within the Retail Core land use category. The proposed office space is located on the ground floor with frontage on East Avenue & 4th Street, both highly used pedestrian corridors within Ketchum’s downtown. Frequently visited pedestrian uses in the immediate area include Atkinson’s Market, Town Square, restaurants, coffee shops, and multiple retail and clothing stores making the area a very active pedestrian hub. Other uses which are permitted in the Retail Core include convenience stores, daycare centers, food service, instructional services (music, painting, educational tutoring facilities), personal services (beauty/barber shops, pet grooming, tailors, shoe repair), cultural facilities (museums, libraries, art galleries), medical care facilities, and more. These uses differ from retail but still attract frequent pedestrian activity which help to contribute to the overall pedestrian activity which defines the area. According to the applicant narrative, the proposed office space intends to be used for private business by two clients with few visitors each day. The lack of frequent visitors</i>

				and private nature of the office makes the space not compatible with the surrounding businesses in the immediate area as it creates a gap in pedestrian activity on the block and decreases the connectivity of pedestrian activating uses. The actions, the applicant could take to obtain approval include modifying the office use to one that receives a higher volume of foot traffic or changing the proposed use to one that is permitted in the CC-1 zone as mentioned above.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Finding	<i>The building and fire department have reviewed the proposed plans for the space. All life safety and building code requirements are being met. Staff does not believe the request meets the policies in the Comprehensive Plan and therefore does not believe the application to support the overall welfare of the downtown and the community. Further discussion regarding whether the request meets the policies of the comprehensive plan is reviewed later in Criteria 5.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Finding	<i>The proposed use is in a portion of the community core that has fully connected sidewalks providing a pedestrian path from surrounding businesses, transportation stops, and parking areas. The proposed office space does not anticipate frequent visitors, therefore an increase pedestrian and vehicular traffic is not anticipated. Visitors and users of the office space will have access to on street parking or can walk, bike, or bus to the space depending on where they are coming from. Interim Ordinance 1234 exempts on-site parking requirements for the first 5,500 square feet of office space in the Community Core zoning district. The proposed office is space is less than 5,500 square feet and located within the Community Core zoning district, making the proposed use exempt from providing on-site parking.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Finding	<i>As mentioned above, all departments have reviewed the proposed use including streets, fire, water, wastewater, building and engineering. Additionally, the proposed use is within a commercial building currently served by all other utilities necessary to service the use including electricity, gas, and garbage service with no increase in service levels anticipated with the proposed use.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			Finding	<i>See Table 1 below</i>

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: <i>Retail Core</i></p> <p>Purpose <i>The community’s primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices.</i></p>
<p>Analysis: The comprehensive plan identifies office as an appropriate use within the retail core but notes that offices should be located on the upper floor of buildings. As outlined in the application narrative, the proposed office space expects to see one to three regular users with few visitors per day. The proposed office space being a private use with a few visitors per day does not achieve the Retail Core’s purpose of creating an active pedestrian-friendly environment. The subject property is located along the 4th Street Heritage Corridor and adjacent to active pedestrian uses such as Atkinson’s Market and Town Square. The 4th Street Heritage Corridor was embarked upon by the City with assistance from the Ketchum Community Development Corporation (KCDC) in 2007. In a newsletter published by the KCDC in April of 2007 the intent of the 4th Street Heritage Corridor was to be, “the pedestrian-priority spine of the city center” and would aid in making “the Downtown core an exciting place to BE, to walk, to meet, and to shop” (KCDC, April 2007). As seen in the floor plans for the proposed office space, portions of the space fronting East Avenue will be used for storage. Locating a storage room in a portion of the building with street frontage reduces the pedestrian activation of the proposed space even further than a private office suite. The proposed office space’s lack of pedestrian activity and private nature does not contribute towards the Retail Core’s goal of creating an active pedestrian-friendly environment.</p>
<p>Comprehensive Plan Value: Vibrant Downtown <i>Our downtown core is critical to the economic health and well-being of Ketchum. It functions as both an economic engine and the symbolic “heart and soul” of the City. We will preserve this vibrant commercial area as a place where local businesses can thrive and where people can congregate. Downtown must be a place that people can reach easily by foot, bike, and transit. We will continue to reinforce the downtown as the City’s primary business district, retail core, and key gathering place for residents and visitors for shopping, dining, and entertainment. Enhancements and efforts to support events, the arts, and Ketchum’s history and culture will make downtown an even greater community asset.</i></p>
<p>Analysis: The proposed use does not support the city’s value of creating a vibrant downtown as it would be a private office space and anticipates few visitors per day to the site. Additionally, Ketchum’s downtown should be a “key gathering place for residents and visitors for shopping, dining, and entertainment”. Instead of using the space to further the goal of downtown being a key gathering space for residents and visitors for shopping, dining, and entertainment, the proposal instead occupies a building with frontage on both 4th Street & East Avenue with two private office suites and storage room which expects very few visitors to visit the site per day. Staff believes the proposal does not reinforce the downtown as the City’s primary retail core, due to the lack of pedestrian activity which would result from a private office space being located on the ground floor as discussed previously.</p>
<p>Policy E-1(b) Downtown as a Major Community Asset and Tourism Attraction <i>The community will strive to maintain a single concentrated commercial and retail core. The City will reinforce the downtown core’s role as a major asset and visitor attraction by encouraging businesses that fit the downtown character and by developing policies, programs, investment strategies, and organizations that help retain downtown businesses.</i></p>
<p>Analysis: While the proposed office space may be appropriate in the Mixed Use Subdistrict where pedestrian activated street fronts aren’t as vital to the purpose of that zoning district, allowing a ground floor private office space in the Retail Core detracts from the pedestrian activation that the area intends to provide. The proposal for a ground floor private office space does not fit the downtown character, particularly the character of the East Avenue & 4th Street</p>

intersection. This intersection is a key pedestrian visited area with Atkinson’s Market located across the street and Town Square kitty corner from the subject property. These two sites, including many other businesses around the subject property, help to reinforce the downtown as a vibrant and engaging space where both residents and visitors come to visit and shop. As the subject property is within such an area, any proposed ground floor use should contribute to the downtown being a key provider of commercial & retail space. The proposal of a ground floor private office space, with a storage room having street frontage, does not contribute towards the downtown being a major community asset and tourism attraction.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.

2. The Commission has authority to hear the applicant’s Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Municipal Code Title 17.

3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.116.040.

4. The Conditional Use Permit application is governed under Ketchum Municipal Code Chapters 17.116, 17.08, 17.12, 17.18, 17.132.

5. The Conditional Use Permit application does not meet all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Commission **denies** this Conditional Use Permit Application File No. P22-069 this Tuesday, August 8, 2023, subject to the following conditions of approval.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF AUGUST 8, 2023

EXECUTIVE SUMMARY

[Interim Ordinance 1234](#) (“interim ordinance”), adopted in October 2022, temporarily changed the city’s development regulations to ensure new developments meet the city’s vision as outlined in the 2014 Comprehensive plan. The goals of the ordinance were to enhance downtown vibrancy, strengthen Ketchum’s economy, and increasing housing production. The ordinance included the following requirements:

- Established minimum residential densities in certain zone districts.
- Established limitations and standards for lot consolidations.
- Prevented the net loss of residential units when properties redevelop.
- Provided parking exemptions for office and retail uses in certain zone districts.
- Required minimum amount of commercial space in mixed-use developments.
- Put a cap on the total size of residential units in certain zone districts.
- Expanded the area of the downtown where ground floor commercial is required.
- Established a time limitation for submittal of final design review applications following pre-application review by the Commission.
- Required comprehensive plan conformance analysis for design review approvals.

Over the past year, Planning Department staff and consultants have been evaluating the interim ordinance to answer the following questions:

- Do the requirements of the interim ordinance facilitate the city’s goals of a vibrant downtown, strong economy, and increased housing?
- Does the City of Ketchum have enough commercial space to support its economic health?
- Does the interim ordinance allow for the development of feasible projects?
- Are the parameters of the ordinance too limiting? If so, when? Under what conditions?

Based on the analysis, as further described in the report below, draft Ordinance 1249 includes a variety of revisions to the interim ordinance standards to:

- Ensure that future developments continue to forward the city’s vision of the future,
- Secure opportunities for future commercial development to support future commercial demand,
- Provide greater flexibility in development regulations to provide a wider range of development types, and
- Eliminate portions of the regulations that significantly reduce feasibility of developments.

Changes proposed include:

- A reduction in the minimum residential densities required for 100% residential developments,
- A reduction in the required commercial space in mixed-use developments,
- Removal of the cap on size of residential units,
- Additional parking exemptions for personal service uses,

- Removal of the conditional use permit process to relieve requirements, and
- Adjustments to calculations to be more equitable and clearer.

No changes are proposed to the limitations on lot consolidations, no net lot of residential units, location of community housing units, areas where ground floor commercial are required, design review application timeframes, or comprehensive plan conformance.

In addition to the items mentioned above, draft Ordinance 1249 includes additional housekeeping code amendments that:

- Improve processes to reduce uncertainty,
- Clarify code requirements to decrease inconsistencies, and
- Reduce regulatory barriers for accessory dwelling unit development.

The full text of draft Ordinance 1249 in redline and clean version can be found in Attachments C and D respectively. These documents are quite lengthy and difficult to navigate as the amendments are dispersed through Titles 16 and 17 based on the appropriate locations of code for the amendments. To make the ordinance easier to navigate, staff has prepared an executive summary of the proposed ordinance to make the document more user friendly. The executive summary can be found in Attachment A. Currently, two public hearings are scheduled for the Commission’s review of Ordinance 1249 on August 8 and August 22. This staff report for the Commission’s first review on August 8 focuses on proposed changes to the interim ordinance standards only. The Commission’s second review session on August 22 will continue discussion on interim ordinance standards and also focus on the housekeeping code amendments.

RECOMMENDATION

Staff recommends the Planning and Zoning Commission (the “Commission”) hold a public hearing to review and provide feedback on the following questions:

- Does the Commission support the reduction in minimum residential densities and reduction in amount of commercial space on the ground floor for mixed-use developments?
- Does the Commission support the elimination of the size cap on residential units?
- Does the Commission support the additional parking exemption for personal service uses?
- Are there further revisions to the ordinance the Commission would like staff to consider based on feedback from the TAG and online survey?

Based on discussions and recommendations from the Commission, staff will note all additional changes and revisions to the ordinance. Minor changes may be incorporated for discussion at the August 22nd hearing, however, more significant changes may need to be made between Commission recommendation and review by City Council. On August 22nd, staff will provide an overview of outcomes from the first meeting and provide a detailed review of the additional housekeeping code changes not related to the interim ordinance. Staff will seek a recommendation to the City Council at the August 22nd hearing if the Commission is ready to do so.

BACKGROUND & CONTEXT

The city’s 2014 Comprehensive Plan identifies “A Strong and Diverse Economy”, a “Vibrant Downtown”, and a “Variety of Housing Options” as some of the top values for the community. Prior to adoption of the interim ordinance, development trends showed that:

- Ketchum has a severe shortage of housing, which has a negative impact on our businesses, the vibrancy of our downtown, and the community.

- Businesses are closing, reducing hours, and struggling to hire new staff.
- Ketchum lacks available office, retail, and restaurant space, limiting the ability for businesses to start or expand within Ketchum.
- Prime ground floor commercial space in new developments primarily feature luxury residential amenities.
- Upper floors in new developments include large penthouse units, rather than office, other commercial uses, or smaller residential units.
- Ketchum lost 475 long term rental and ownership housing units from 2000 to 2019.
- Construction of residential units within Ketchum has decreased significantly since 2009.

The comprehensive plan guides the city in achieving our vision of having a strong and diverse economy, vibrant downtown, and variety of housing options. Our plan says that:

- “Our downtown core is critical to the **health and well-being** of Ketchum.”
- “Ketchum will work to **retain and help expand** existing independent small local business and corporations.”
- “We will preserve this vibrant commercial area [downtown] as a place where **local businesses can thrive** and where people can congregate.”
- “We will continue to reinforce the downtown as the **city’s primary business district, retail core, and key gathering place** for residents and visitors.”
- “We value a **thriving year-round population** of people who can work, live and engage in a dynamic Ketchum community.”
- “The city will promote the siting of **higher density** housing near public transportation, ski base areas, shopping, and designated neighborhoods and districts.”
- “Ketchum will have a **mix of housing types** and styles.”
- “Ketchum will **increase its supply of homes**, including rental and special-needs housing for low, moderate, and median-income households.”

Long-term vibrancy of the downtown and the viability of Ketchum’s economy is dependent on housing inventory and availability, and sufficient commercial space for a wide variety of services, retail, offices, restaurants, and other uses that support the community.

In October of 2022, the City of Ketchum took the first significant step towards reversing these development trends and encouraging projects that enhance downtown vibrancy, strengthen Ketchum’s economy, and provide a variety of housing options by adopting the interim ordinance. The interim ordinance is effective for one year and will expire on October 17 unless the code is amended through the adoption of permanent Ordinance 1249.

COMMUNITY OUTREACH & FEEDBACK

As mentioned above, planning staff and consultants have been evaluating the interim ordinance and getting feedback from various stakeholders from the design and development community. In addition, Staff frequently reference responses from the in-person open house and online surveys conducted in summer 2022 for the interim ordinance to ensure feedback from the entire community is considered. The 2022 workshop was attended by 23 members of the community, and the city received 158 responses to the online survey. In February of 2023, the city formulated a Technical Advisory Group (TAG). This group was appointed by the City Council and is made up of architects, contractors, developers, landscape architects, engineers, and representatives from Sun Valley Economic

Development and the Sun Valley Board of Realtors. The main role of this group of subject matter experts is to provide feedback to the city on various policies, initiatives, and regulatory changes to help calibrate the benefits or impacts to the industry and community as a whole. Since its creation, the city has held four meetings with the TAG covering a range of topics.

Initial findings from the commercial demand analysis and financial feasibility study were presented to the TAG on June 22, the Commission on June 27, and the City Council on July 3. Based on TAG, Commission, and City Council feedback on these initial findings, EPS has performed sensitivity analysis to test different variables to further refine their models. Findings from EPS's sensitivity testing were presented to the TAG during their meeting on July 27. In general, TAG members have provided the following feedback:

- Consolidating more than two Ketchum townsite lots results in big buildings that do not compliment the scale and character of downtown.
- The assumptions used for the financial feasibility model inputs, including penthouse price, market-rate condominium price, and land costs are still too high.
- The rate of return for a feasible project is likely higher than 15%. Developments in our community rely more heavily on equity than debt, which comes with a higher return on investment expectations.
- The regulations do not incentivize restaurants.
- Renderings, which are not scalable and costly to produce, shouldn't be required for pre-applications.
- The population growth rates used in their estimates for commercial demand may be too high.

Recently, the city held two public open house sessions on July 12 to share what staff has learned from ongoing evaluation of the interim ordinance and gather feedback on potential changes to the interim ordinance standards. The presentation boards from the public open house are included as Attachment H. 12 members of the community attended the two public open house sessions. Following the public open houses, the city published an online survey to facilitate broader participation and feedback from the community. The city received 33 responses to the online survey. The survey responses are included as Attachment I. In general, feedback from the survey indicates:

- General agreement on providing more flexibility to the layout of the ground floor of mixed-use developments and reducing the amount of commercial required,
- Support for providing a parking exemption for personal service uses downtown,
- Different views on removing the restriction limiting the amount of additional parking that developments may provide,
- General support for reducing the number of dwelling units required for 100% residential developments, and
- Mixed opinions on reducing or eliminating the maximum size limitation for penthouses.

ANALYSIS

To determine what changes were necessary to the interim ordinance, the Planning Department worked with technical experts, Holst Architecture ("Holst") and Economic and Planning Systems, Inc. ("EPS"), to help us answer the questions noted above. Holst and EPS conducted a commercial demand analysis, architectural feasibility studies, and financial feasibility models to evaluate whether the interim ordinance standards are achievable on different types of Ketchum townsite lots downtown and can result in projects with acceptable rates of return that developers can finance. The purpose of these studies is to identify major barriers to financial feasibility caused by development regulations,

however, not meant (or able) to ensure all potential projects are financially feasible. Financial feasibility is impacted by several factors, many of which are not impacted by development regulations, like land costs and the sales prices. Staff have used the Holst and EPS models to identify refinements to the regulations. Based on TAG, Commission, City Council, and community feedback on these initial findings, EPS has performed sensitivity analysis to test different variables to further refine their models. Attachment G summarizes the results of EPS’s sensitivity testing.

Commercial Demand in Ketchum

Does Ketchum have enough commercial space to support its economic health?

EPS evaluated two different metrics to estimate the amount of commercial space Ketchum can support: (1) current and future spending and retail trends to estimate demand for retail, food & beverage, and personal service uses and (2) current and future employment growth to estimate demand for office space.

EPS’s commercial demand analysis found that Ketchum has unmet demand for commercial space, particularly for retail and restaurant uses. Ketchum could currently support up to 60,000 square feet of additional retail and restaurant space. In addition to current unmet demand, population growth and visitor increases in Ketchum may generate even more demand for commercial space supporting up to 40,000 square feet of additional retail and restaurant space by 2030. EPS performed sensitivity analysis (See Attachment G) evaluating different population growth rates for permanent and seasonal trends based on historic trends and slow, moderate, and high growth rate projections. EPS’s initial demand estimates fit within the range found through the sensitivity analysis.

Based on this information, staff believes the change the interim ordinance made to expand the area of downtown where ground-floor commercial is required should be retained to assist in meeting future demand and provide more options for where businesses can locate.

DEVELOPMENT FEASIBILITY

Does the interim ordinance allow for the development of feasible projects?

The Holst architectural studies demonstrate that the minimum residential density requirements are achievable on interior and corner 5,500-square-foot Ketchum townsite lots (“standard lots”) and interior 8,250-square-foot Ketchum townsite lots (“long lots”). Although the densities are feasible from a design perspective, the EPS study shows that increasing residential density decreases the financial feasibility of a development project. Density and financial return have an inverse relationship because increasing the number of residential units decreases the number of larger penthouses that can be accommodated within a project. Mixed-use developments are more feasible because these projects are required to provide fewer residential units to meet the density requirements.

As the development community has told us time and time again, the penthouse pays for the project. EPS’s financial feasibility models demonstrate that penthouses pay for the cost of development. Providing multiple penthouses within a project significantly increases a development’s financial return. Limiting the size of residential units to 3,000 square feet can negatively impact feasibility.

EPS performed sensitivity testing on variable assumptions for model inputs based on feedback provided by the TAG. EPS tested different inputs for the penthouse sales price, land costs, and the sales price for smaller, market-rate condo units. While these variables greatly impact a development’s feasibility, the city has no control over these inputs. EPS also tested the impact of lowering the

minimum residential density requirement for 100% residential developments and increasing the size of penthouse units (Attachment G).

Are the parameters too limiting? If so, when and under what conditions?

The findings from the architectural feasibility studies, commercial demand analysis, and financial feasibility models indicate that certain interim ordinance standards may be too limiting in certain development scenarios. Based on the analysis, EPS recommended the following changes to the ordinance:

- Increase or eliminate the 3,000-square-foot maximum size limitation for penthouses,
- Provide greater flexibility on the amount of commercial required on the ground floor of mixed-use developments provided that the commercial on the ground floor is oriented towards the street frontage,
- Allow for community housing units on the ground floor, and
- Consider reducing the minimum density requirements for 100% residential developments.

As outlined in the executive summary, staff is proposing changes to the ordinance, including:

- A reduction in the minimum residential densities required for 100% residential developments,
- A reduction in the required commercial space in mixed-use developments,
- Removal of the cap on size of residential units,
- Additional parking exemptions for personal service uses,
- Removal of the conditional use permit process to relieve requirements, and
- Adjustments to calculations to be more equitable and clearer.

No changes are proposed to the limitations on lot consolidations, no net lot of residential units, location of community housing units, areas where ground floor commercial are required, design review application timeframes, or comprehensive plan conformance.

Attachment B provides a detailed analysis of each of the proposed changes listed above with an overview of what the interim ordinance changed, what we learned, and the changes to the interim ordinance standards proposed by staff for permanent Ordinance 1249.

Attachments

- [Executive Summary: Draft Ordinance 1249](#)
- Staff Analysis: Proposed Changes to Interim Ordinance Standards
- [Redline: Draft Ordinance 1249](#)
- [Clean: Draft Ordinance 1249](#)
- [Interim Ordinance 1234](#)
- [June 27, 2023 Staff Report: Evaluation of Interim Ordinance 1234 Standards](#)
- [EPS Memorandum: Feasibility and Commercial Demand Model Sensitivity Testing](#)
- [Community Conversations: Vibrancy & Housing Public Open House Presentation Boards](#)
- [Community Conversations: Vibrancy & Housing Survey Results](#)

Attachment A

Executive Summary: Draft Ordinance 1249

Please Click Following Link:

[Executive Summary: Draft Ordinance 1249](#)

Attachment B

Staff Analysis:

Proposed Changes

to

Interim Ordinance Standards



STAFF ANALYSIS PROPOSED CHANGES TO INTERIM ORDINANCE 1234 STANDARDS

The following analysis provides a detailed explanation of staff's proposed changes to the interim ordinance standards. The analysis provides an overview of what the interim ordinance changed, what we learned, and the changes to the interim ordinance standards proposed by staff for permanent Ordinance 1249.

Minimum Residential Densities

Interim Ordinance 1234

Section 4 of the interim ordinance establishes minimum residential densities for new development projects that exceed a total floor area ratio of 1.0 in the Community Core (CC Zone), Tourist Zone Districts (T, T-3000, and T-4000 Zones), and the General Residential – High Density (GR-H) Zone. The density requirements for projects in the Community Core are based on the number of units per 5,500 square feet of lot area, which is the size of a standard Ketchum townsite lot downtown. The density requirements increase with the long Ketchum townsite lots that have an area of 8,250 square feet. The minimum residential densities required for mixed-use projects depend on the amount of net leasable commercial square footage measured from the interior walls and excluding common areas, mechanical and maintenance equipment rooms, parking areas and/or garages, and public areas. The percent commercial thresholds are calculated as the total net leasable commercial area divided by the gross floor area of the project.

What We Learned

We've learned that increasing the number of residential units within a development decreases the project's financial feasibility. EPS performed sensitivity testing to study the impact of reducing the minimum residential requirements. EPS found that:

- The number, size, and configuration of the penthouse units in a project are the biggest factor in the project design and density. A developer will seek to maximize the number of penthouse units it can provide within the density and parking constraints but will not likely seek to maximize density using additional non-penthouse units.
- The ability to include two penthouse units is a major factor in feasibility for all residential programs.
- The reduction of the minimum density does not necessarily improve returns for the project, but it does create more opportunity to provide larger units and greater flexibility in design to do so, which can increase the return of the project depending on the program.
- The reduction of the minimum density is more important for larger, interior long lots than the standard interior lots due to challenges designing projects with desirable units. (Attachment F: Page 6)

Ordinance 1249: Proposed Changes

Staff's proposed revisions to the minimum residential density requirements are included in section 21 of draft Ordinance 1249 (See Attachment B: Page 26-27 & Attachment C: Pages 24-

25). Staff has proposed reducing the minimum residential density requirements for 100% residential developments in the Community Core by 2 units.

In addition to reducing the minimum density requirements, staff has proposed adjusting the calculation for minimum residential density requirements in the Community Core. The proposed change calculates the density requirements based on Ketchum townsite lot as originally platted instead of per 5,500 square feet of lot area. With this change, both a standard 5,500-square-foot Ketchum townsite lot and a long 8,250-square-foot Ketchum townsite lot will require the same number of residential units to satisfy the density requirements. As proposed with draft Ordinance 1249, both standard and long lots would be required to provide 5 dwelling units for a 100% residential requirement. The density requirement would increase if multiple Ketchum townsite lots were consolidated for the development project. For example, if two standard lots or two long lots were consolidated, the minimum number of residential units required to satisfy the density requirement for a 100% residential development would be 10 units.

Staff has also proposed changing the method for calculating the percent commercial thresholds to determine the minimum residential requirements for mixed-use projects. The interim ordinance provides an apples-to-oranges method for this calculation by dividing the net leasable commercial floor area by the gross floor area of the project. Staff has proposed changing this calculation to an apples-to-apples calculation by dividing the net leasable commercial floor area by the net floor area of the project.





MIXED-USE DEVELOPMENTS: COMMERCIAL AREA FOR MINIMUM RESIDENTIAL DENSITIES		
Interim Ordinance 1234		
Net Leasable Commercial Floor Area 	\div	Total Project Gross Floor Area 
Draft Ordinance 1249		
Net Leasable Commercial Floor Area 	\div	Total Project Net Floor Area 

Figure 1: Proposed Change to Calculation

New developments or additions to existing buildings that exceed a total Floor Area Ratio (FAR) of 1.0 within the Community Core must comply with following minimum residential density requirements:

- 5 dwelling units per townsite lot for 100% residential developments,
- 4 dwelling units per townsite lot for mixed-use developments with 30% or less commercial,



- 3 dwelling units per townsite lot for mixed-use developments with 31 to 60% commercial,
- 2 dwelling units per townsite lot for mixed-use developments with 61 to 80% commercial, and
- No minimum residential density required for projects with 80% or more commercial space except a minimum of 2 dwelling units if the development includes residential use.

No changes are proposed to the minimum residential density requirements for projects that exceed 1.0 FAR in the Tourist (T), Tourist-3000 (T-3000), Tourist-4000 (T-4000), and General Residential-High Density (GR-H) zoning districts.

Tourist Zone:

- 7 dwelling units per 10,000 square feet of lot area for 100% residential developments,
- 4 dwelling units per 10,000 square feet of lot area for mixed-use developments with 30% or less commercial,
- 3 dwelling units per 10,000 square feet of lot area for mixed-use developments with 31 to 60% commercial,
- 2 dwelling units per 10,000 square feet of lot area for mixed-use developments with 61 to 80% commercial, and
- No minimum residential density required for projects with 80% or more commercial space except a minimum of 2 dwelling units if the development includes residential use.

T-3000 Zone: 4 dwelling units per 10,000 square feet of lot area

T-4000 Zone: 8 dwelling units per 10,000 square feet of lot area

GR-H Zone: 8 dwelling units per 10,000 square feet of lot area

Maximum Size of Penthouse Units

Interim Ordinance 1234

Section 11C of the interim ordinance states that, “individual residential dwelling units cannot exceed a total square footage of 3,000 square feet.” The goal of maximum size limitation was to encourage more dwelling units with a variety of sizes, room layouts, and configurations within a building. Recent downtown development trends have resulted in an increase in the number of large, luxury penthouse units. Most of these penthouse units are occupied by seasonal residents and are vacant most of the year. Unoccupied luxury penthouses are inactive uses and result in uninviting buildings with little to no human activity, which diminishes the quality of the streetscape.

What We Learned

We’ve learned that limiting the size of penthouse units to a maximum of 3,000 square feet negatively impacts financial feasibility. Based on feedback provided by the TAG and an analysis of recent sales prices from penthouse units that have recently been sold downtown, EPS tested different penthouse sale prices ranging from \$1,700 to \$2,000 per square foot. EPS found that reducing the penthouse sales price negatively impacts the financial return. In addition, EPS performed sensitivity testing to analyze the impact of penthouse unit size. EPS also performed

sensitivity testing to study the impacts of larger penthouses with sizes ranging in size from 3,300 to 3,900 square feet. Findings from the sensitivity testing show that larger penthouses can generate a higher sales price increasing a project’s financial return. EPS found that, “This greater size flexibility can potentially help to offset the concerns about feasibility related to lower than achievable price points or higher land costs” (Attachment F: page 5).

Ordinance 1249: Proposed Changes

Staff proposes eliminating the 3,000-square-foot maximum size limit for individual residential units.

Commercial in the Downtown Area

Interim Ordinance 1234

Section 9 of the interim ordinance changed the permitted uses on the south side of River Street with frontage along River Street between Leadville Avenue and Second Avenue as shown in Figure 2 to match the uses permitted on adjacent properties within the downtown within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). This change allows for a wider range of commercial uses but limits the future development of single-family homes on these properties.

Section 10 of the interim ordinance changed the permitted uses of certain properties in the Mixed-Use Subdistrict of the Community Core (CC-2 Zone) as shown in Figure 3 from the alley west of Main Street to 2nd Avenue between 2nd and 5th Streets to prohibit ground-floor residential use with street frontage. These CC-2 properties were selected due to their existing vibrant characteristics and high volume of pedestrian traffic. The expansion of downtown properties subject to the ground-floor commercial along street frontage requirement encompasses key pedestrian corridors, including 4th Street and Sun Valley Road. This expansion increases the downtown properties where commercial use is required on the ground floor with street frontage by 43% promoting vibrant uses that will create an activated, pedestrian-friendly, and engaging downtown environment.

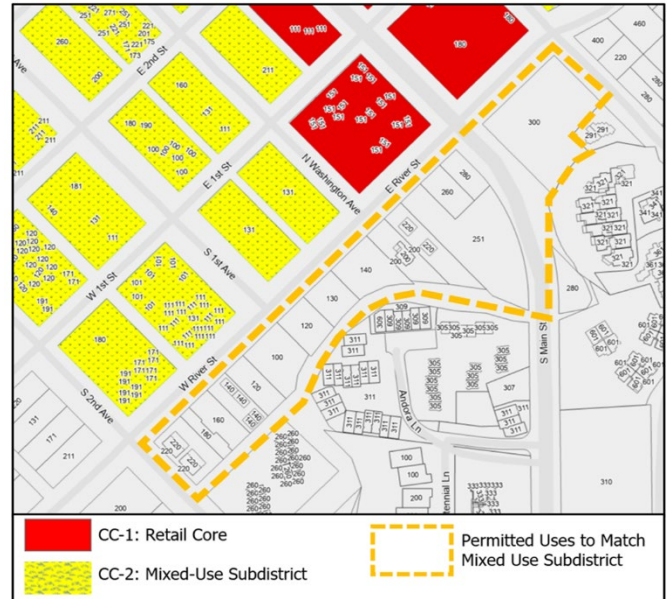


Figure 2: River Street Properties with Change to Permitted Uses

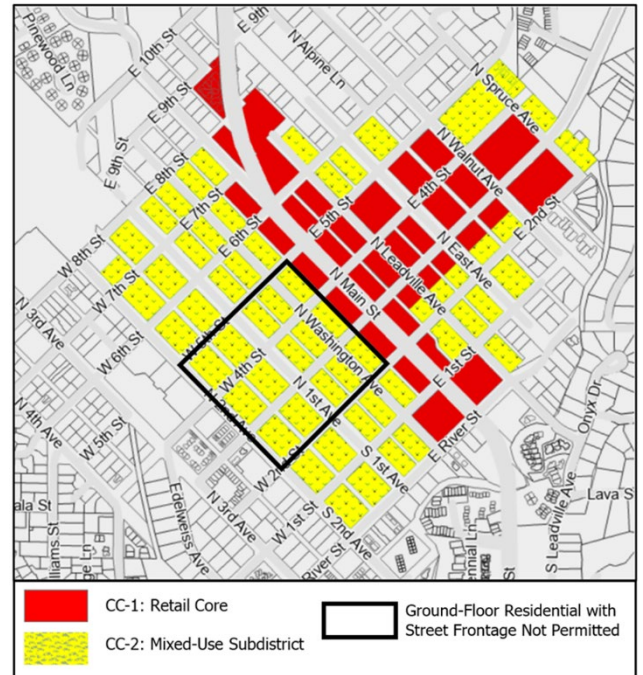


Figure 3: Downtown Area Where Commercial on the Ground-Floor with Street Frontage is Required



What We Learned

EPS's findings show that the city can support additional commercial space. Ketchum can support an additional 100,000 SF (25% increase) in commercial space for retail and restaurant space by 2030. The city has 31,500 square feet of retail, food & beverage, and personal service space in the pipeline through new development projects that have received approvals and/or are currently under construction. Ketchum's current demand for office space is generally being met. Ketchum could support an additional 32,000 square feet by 2030 and has 21,200 square feet of office currently in the pipeline.

Downtown is an essential area for capturing potential retail sales within Ketchum as it serves as the city's vibrant commercial area, primary business district, and retail core. Downtown is the most desirable place for commercial uses because it's the city's key gathering place for locals and visitors for shopping, dining, and entertainment and is easily accessible by multiple modes of transportation.

Ordinance 1249: No Changes Proposed

Draft Ordinance 1249 permanently adopts the interim ordinance regulations that: (1) provide for a wider range of commercial uses and prohibit future development of single-family homes for properties with frontage along River Street from Leadville Avenue to 2nd Avenue within the Tourist Zone and (2) require ground-floor commercial with street frontage for properties located from the alley west of Main Street to 2nd Avenue between 2nd and 5th Streets within Mixed-Use Subdistrict of the Community Core.

55% Commercial on the Ground-Floor

Interim Ordinance 1234

Recent development trends in Ketchum have prioritized low-density, large, luxury residential units for second homeowners over commercial uses. Market-rate residential units have been prioritized in mixed-use developments above commercial uses as evidenced by residential amenities, including large lobbies, private garages, and storage areas, that occupy large areas on the ground floor of mixed-use developments. Section 11A of the interim ordinance states, "For mixed-use developments, a minimum of 55% of the gross floor area, as defined in KMC 17.08.020, of the ground floor must be commercial use(s)." The intent of this interim ordinance standard is to promote the prioritization of commercial uses on the ground floor and limit the areas dedicated to luxury residential amenities. The goal of this interim standard is to facilitate a vibrant downtown by providing active ground-floor commercial uses that contribute to an engaging pedestrian-oriented experience.

What We Learned

We've learned that the 55% commercial on the ground floor with street frontage requirement is achievable but challenging to deliver on long lots. Holst's architectural studies show that this requirement may result in undesirable configurations of commercial space and precludes the opportunity to provide residential units or additional parking on the ground floor. Holst's mixed-



use development scenarios demonstrate that 55% commercial on the ground floor is achievable. The mixed-use models show that to meet the 55% minimum, all leasable space on the ground floor must be commercial. With the total area required for the dumpster, transformer, parking, mechanical, and circulation, the 55% commercial requirement doesn't leave any remaining space on the ground floor for residential units. Limiting options for the building program, the 55% requirement can result in undesirable configurations of commercial space on the ground floor.

Interim Ordinance 1234: Proposed Changes

Ordinance 1249 reduces the amount of commercial space required on the ground floor of mixed-use developments to 40%.

Parking

Interim Ordinance 1234

Section 7 of the interim ordinance provides a parking exemption for individual retail spaces of 5,500 square feet or less within the Community Core (CC) and Tourist (T) zoning districts. Section 8 of the interim ordinance provides a parking exemption for office uses. The interim ordinance limits the amount of additional parking that developments may provide beyond the minimum number required per the zoning code. Section 11D of the interim ordinance states, "Developments shall not provide a total number of parking spaces above the minimum requirements per KMC §17.125.040-Off Street Parking and Loading Calculations, unless the additional parking spaces are designated for public parking use only or for deed restricted community housing."

What We've Learned

Ketchum has one of the highest number of parking spaces, per capita, among peer resort communities. The city has enough parking inventory to support existing and future commercial uses downtown, however, better management of the parking inventory is necessary. The city and industry expert Dixon Resources are developing a downtown parking action plan that provides management strategies to increase efficiency and address the parking needs of various users, including workers, shoppers, and tourists. The city has been collecting data through license plate recognition technology that indicates downtown parking availability block by block, duration, and turnover ratio. This data will inform the city's parking policies, regulations, rates, and management strategies to maximize the efficient use of existing parking spaces and future parking supply.

Staff has received feedback that the city should consider providing a parking exception for personal service uses like beauty salons that provide services with a short time duration resulting in more transient customer parking. The cost of leasing newly constructed commercial space is unattainable for many small businesses and entrepreneurs due to land cost and the cost of construction. Currently, when a business moves into an existing building, additional parking may be required. Accommodating more parking for new businesses within existing buildings is often impossible. The requirement to accommodate parking when personal service businesses want to



lease a new commercial unit within an existing building limit the areas where these businesses can locate downtown.

The Commission has expressed concerns with downtown parking availability and the loss of existing on-street parking spaces resulting from new sidewalk improvements and bulb-outs. In addition, the TAG has provided feedback that smaller market-rate condominiums require parking in order to be marketable.

Ordinance 1249: Proposed Changes

In addition to parking exemptions for office and retail, Staff has proposed adding a parking exemption for personal service uses within the Community Core. Draft Ordinance 1249 removes this limitation and allows developments to provide additional parking.

No Net Loss of Dwelling Units

Interim Ordinance 1234

Recent development trends in Ketchum have demolished older, high-density multi-family developments to accommodate large single-family homes and luxury townhomes. Many older, high-density multi-family residential developments support naturally occurring affordable housing that is unsubsidized but remains affordable regardless of market rent. The interim ordinance prevents the net loss of housing units through redevelopment by requiring new developments to replace all existing dwelling units on the property. Section 6 of the interior ordinance states, "No demolition permit shall be issued pursuant to Chapter 15.16 of the KMC that results in the net loss in the total number of residential units currently existing on a property." No project can result in the net loss of residential units through the consolidation of dwelling units, conversion of dwelling units to other uses, demolition, or redevelopment.

Ordinance 1249: No Changes Proposed

No changes are proposed to the net loss of dwelling unit standard. Draft Ordinance 1249 requires that no project results in the net loss of residential units through the consolidation of dwelling units, conversion of dwelling units to other uses, demolition, or redevelopment.

Location of Community Housing

Interim Ordinance 1234

Section 11B of the interim ordinance prohibits the location of community housing units in basements. The goal of this interim ordinance standard was to ensure that community housing units for Ketchum's workforce are of a livability standard similar to market residential units within Ketchum. New developments commonly locate on-site community housing units in less desirable areas of the building. The Commission has expressed that basement community housing units do not provide basic livability standards, such as access to light and air.

What We've Learned

Providing on-site community housing is more favorable than paying the fee in lieu. The city's Housing Department is currently working to: (1) determine how well current efforts are meeting the community's housing need and preferences and (2) expand and verify the 2022 housing



needs assessment with more recent data. The city’s Housing Department has recommended that additional community housing livability standards be developed at a later date so that the requirements may be informed by these ongoing efforts.

Ordinance 1249: No Changes Proposed

Draft Ordinance 1249 prohibits community housing units in basements.

Lot Consolidations

Interim Ordinance 1234

Section 5 of the interim ordinance established standards and limitations for lot consolidations. Lot consolidations must demonstrate compliance with land use development approvals, building permit approvals, and zoning regulations and must generally conform to the comprehensive plan. Lot consolidations are permitted in all zone districts except in the General Residential Low Density (GR-L), Limited Residential (LR, LR-1, and LR-2), and Short-Term Occupancy (STO-1, STO-4, and STO-H) Zoning Districts where lot consolidations are permitted subject to a waiver. The goal of the interim ordinance lot consolidation standards was to limit the loss of existing housing stock and preserve future development potential on vacant lots. Lot consolidations, consolidations of residential units, and conversion of long-term rentals into short-term rentals is decreasing the number of housing units available in the community.

What We’ve Learned

Lot consolidations can be an effective way to achieve the minimum residential densities as it provides more land area and potential for more efficient building design and use of space. In addition, lot consolidations can allow for the development of an underground parking garage, which can provide more flexibility for the layout of the ground floor. Staff has received feedback that consolidating more than two Ketchum townsite lots results in big buildings that do not compliment the scale and character of downtown Ketchum.

Ordinance 1249: No Changes Proposed

No changes are proposed to the interim ordinance standards for lot consolidations. Draft Ordinance 1249 requires that lot consolidations demonstrate compliance with land use development approval, building permit approvals, and zoning regulations and must generally conform to the adopted comprehensive plan. Lot consolidations are permitted in all zone districts except in the General Residential Low Density (GR-L), Limited Residential (LR, LR-1, and LR-2), and Short Term Occupancy (STO-1, STO-4, and STO-H) Zoning District where lot consolidations are permitted subject to a waiver.

Comprehensive Plan Conformance

Interim Ordinance 1234

Section 13 of the interim ordinance requires that all development subject to Design Review must comply with the criteria that, “The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan.” The goal of this interim ordinance standard was to ensure projects forward the goals and objectives of the comprehensive plan to



ensure all land use decisions are evaluated against the goals, policies, and objectives of the community's vision for Ketchum.

What We've Learned

Requiring general conformance with the comprehensive plan ensures that all land use decisions forward the community's goals for the future of Ketchum. Reviewing and considering the adopted comprehensive plan in land use decisions is considered best practice. This standard provides the Commission the ability to ensure all projects subject to Design Review contribute to the community, enhance downtown vibrancy, and strengthen Ketchum's economy.

Ordinance 1249: No Changes Proposed

Draft Ordinance 1249 adopts the interim ordinance standard requiring that projects subject to Design Review demonstrate general conformance with the comprehensive plan.

Pre-Application Term of Approval

Section 3 of the interim ordinance states that projects that have a conducted a preapplication meeting with the Commission, "must file a complete Design Review Permit application and pay all required fees within 180 calendar days of the last review meeting on the preapplication with the Commission, otherwise the preapplication review will become null and void." Ordinance 1249 permanently adopts the 180-calendar-day term of approval for Preapplication Design Review established through the interim ordinance.

Adjustment of Requirements through Conditional Use Permit

Section 4D and Section 12 of the interim ordinance allow certain requirements to be adjusted subject to the review and approval of a Conditional Use Permit by the Planning and Zoning Commission. Stakeholders have provided feedback that the CUP process increases uncertainty for developers. Additionally, the CUP criteria are broad and challenging to apply to the adjustment of interim ordinance standards. Draft Ordinance 1249 removes the provision allowing certain requirements to be adjusted subject to the review and approval of a Conditional Use Permit by the Planning and Zoning Commission.

Attachment C

Redline: Draft Ordinance 1249

Please Click Following Link:

[Redline: Draft Ordinance 1249](#)

Attachment D

Clean: Draft Ordinance 1249

Please Click Following Link:

[Clean: Draft Ordinance 1249](#)

Attachment E

Interim Ordinance 1234

Please Click Following Link:

[Interim Ordinance 1234](#)

Attachment F

June 27, 2023 Staff Report: Evaluation of Interim Ordinance 1234 Standards

Please Click Following Link:

[June 27, 2023 Staff Report: Evaluation of Interim Ordinance 1234 Standards](#)

Attachment G

EPS Memorandum:

Feasibility

and

Commercial Demand Model

Sensitivity Testing

Please Click Following Link:

[EPS Memorandum: Feasibility and Commercial Demand Model Sensitivity Testing](#)

Attachment H

Community Conversations: Vibrancy & Housing Public Open House Presentation Boards

Please Click Following Link:

[Community Conversations: Vibrancy & Housing Public Open House Presentation Boards](#)

Attachment I

Community Conversations: Vibrancy & Housing Survey Results

Please Click Following Link:

[Community Conversations: Vibrancy & Housing Survey Results](#)

From: [Participate](#)
To: [Heather Nicolai](#)
Subject: FW: Public comment for P&Z August 8 meeting on a ordinance 1249
Date: Friday, August 4, 2023 2:59:04 PM

Public comment.

LISA ENOURATO | CITY OF KETCHUM
Public Affairs & Administrative Services Manager
P.O. Box 2315 | 191 Fifth St. W. | Ketchum, ID 83340
o: 208.726.7803 | f: 208.726.7812
lenourato@ketchumidaho.org | www.ketchumidaho.org

-----Original Message-----

From: H Boyle <Boylehp@yahoo.com>
Sent: Friday, August 4, 2023 10:48 AM
To: Participate <participate@ketchumidaho.org>
Subject: Public comment for P&Z August 8 meeting on a ordinance 1249

Commissioners:

This makes no sense. You have consistently bemoaned the replacement of LTRs by STRs. Why would you approve making it easier to building even more STRs in Ketchum? No matter what a property owner promises you in a meeting, they can rent it out AirBNB the day it is built. How is this good for the community? Who's interests are you representing—the people who live here or people trying to make money off of the town?

Perry Boyle
Ketchum