



CITY OF KETCHUM, IDAHO
PLANNING AND ZONING COMMISSION
Tuesday, February 13, 2024, 4:30 PM
191 5th Street West, Ketchum, Idaho 83340

AGENDA

PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

We welcome you to watch Commission Meetings via live stream.

You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/83485028477>
Webinar ID: 834 8502 8477
2. Address the Commission in person at City Hall.
3. • Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*)

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM COMMISSIONERS:

CONSENT AGENDA:

ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. ACTION ITEM: Approval of the January 23, 2024 minutes

PUBLIC HEARING:

2. ACTION ITEM: Recommend commission review and approve the 200 North Main design review application subject to conditions 1-10, the conditional use permit application subject to conditions 1-4, and direct staff to return with findings of fact."

NEW BUSINESS:

ADJOURNMENT:



CALL TO ORDER: (00:00:20 in video)

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30 p.m.

ROLL CALL:

Neil Morrow
Susan Passovoy
Brenda Moczygemba
Tim Carter
Matthew McGraw

ALSO PRESENT:

Morgan Landers—Director of Planning and Building
Adam Crutcher – Associate Planner
Abby Rivin – Senior Planner
Paige Nied – Associate Planner
Trent Donat – City Clerk

COMMUNICATIONS FROM COMMISSIONERS: (00:01:18 in video)

None

CONSENT AGENDA: (00:01:21 in video)

1. ACTION ITEM: Approval of the January 9, 2024 minutes

Motion to approve the consent agenda. Motion made by Susan Passovoy seconded by Tim Carter
(00:01:30 in video)

MOVER: Susan Passovoy

SECONDER: Tim Carter

AYES: Brenda Moczygemba, Tim Carter, Susan Passovoy & Neil Morrow

NAYS:

ABSTAIN: Matthew McGraw

RESULT: MOTION ADOPTED 4-AYES, 0-NAYS, 1-ABSTAIN

PUBLIC HEARING: (00:01:46 in video)

2. ACTION ITEM: Recommend review and approval of the 600 East Ave Lot Consolidation Preliminary Plat application and waiver to City Council, as conditioned, and adopt the Findings of Fact, Conclusions of Law, and Decision.
 - Staff Report – Adam Crutcher, Associate Planner (00:02:06 in video)
 - Commission comments & questions for Staff (00:10:06 in video)
 - Applicant comments – David Patrie, Galena Benchmark (00:15:00 in video)

- Commission comments & questions for Applicant (00:15:26 in video)

PUBLIC COMMENT OPEN (00:17:58 in video)

- Perry Boyle (00:18:08 in video)

PUBLIC COMMENT CLOSED (00:20: 400 in video)

- Commission comments & questions for Staff and deliberations (00:20:43 in video)

Motion to recommend City Council approve the 600 East Ave Lot Consolidation Preliminary Plat application and waiver, as conditioned, and adopt the Findings of Fact, Conclusions of Law, and Decision. (00:33:07 in video)

MOVER: Susan Passovoy

SECONDER: Tim Carter

AYES: Brenda Moczygemba, Tim Carter, Susan Passovoy & Neil Morrow

NAYS:

ABSTAIN: Matthew McGraw

RESULT: MOTION ADOPTED 4-AYES, 0-NAYS, 1-ABSTAIN

NEW BUSINESS: (00:33:35 in video)

3. Project Update: Cohesive Ketchum - Comprehensive Plan and Code Update (00:33:42 in video)
 - Staff Presentation – Abby Rivin, Senior Planner & Adam Crutcher, Associate Planner (00:33:55 in video)
 - Commission comments & questions for Staff (00:45:50 in video)
4. Staff highlights, updates, and housekeeping items (00:48:33 in video)

ADJOURNMENT:

Motion to adjourn at 5:21 pm (00:50:23 in video)

MOVER: Neil Morrow

SECONDER: Susan Passovoy

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, Tim Carter & Neil Morrow

NAYS:

RESULT: UNANIMOUSLY ADOPTED

Neil Morrow – P & Z Commissioner

Morgan Landers – Director of Planning & Building



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 13, 2024

PROJECT: 200 North Main

APPLICATION TYPE: Design Review (Application File No. P23-049)
Conditional Use Permit (Application File No. P23-49A)

PROPERTY OWNER: 200 North Main LLC, Kenneth & Ann Dudunakis, Managing Members

REPRESENTATIVE: Michael Doty Associates, Architects

REQUEST: Final Design Review for the development of a new 12,405 gross-square-foot mixed-use building and Conditional Use Permit for a residential unit greater than 3,000 square feet as required by Interim Ordinance 1234.

LOCATION: 200 North Main Street
(Ketchum Townsite: Block 3: Lots 1)

ZONING: Community Core – Subdistrict 1 – Retail Core (CC-1)

REVIEWER: Abby Rivin – Senior Planner

NOTICE: The public hearing for this project was continued to a date uncertain from the Planning and Zoning Commission Meeting on December 12, 2023. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on January 24, 2024. The public hearing notice was published in the Idaho Mountain Express on January 24, 2024. A notice was posted on the project site and the city’s website on January 29, 2024. The building corners were staked and the story pole was installed on the project site on February 6, 2024. Public comment is included as Attachment F.

I. EXECUTIVE SUMMARY

The Planning and Zoning Commission (“Commission”) reviewed the 200 North Main project during their regular meeting on December 12, 2023. The staff report from the Commission’s initial review of this project is included as Attachment A. After reviewing the project plans, staff and applicant presentations, and public comment, the Commission moved to continue review of the Design Review and Conditional Use Permit applications and directed the applicant to modify the project plans according to their feedback.

II. COMMISSION FEEDBACK & PROPOSED CHANGES

During their deliberations at the December 12 meeting, the Commission raised concerns that the project was incompatible with its surrounding context along Main Street. Their deliberations focused on the building’s size and mass in relation to historic buildings in the neighborhood. The Commission provided feedback to the applicant regarding the massing of the third-floor penthouse. Pursuant to Ketchum Municipal Code §17.96.060.F5, “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.” The Commission commented that the light color of the Oko Skin exterior finish proposed for the third-floor penthouse with the initial submittal appeared eye-catchingly bright due to its juxtaposition with the darker brick below. Pursuant to Ketchum Municipal Code §17.96.060.F3, “There shall be continuity of materials, colors and signing within the project.” In addition, the Commission raised a concern that the mature height of the Korean Maple trees proposed to border the third-floor terraces would block views along Main Street.

The applicant has revised the project plans in response to the Commission’s feedback. The updated project plans are included as Attachment B to the staff report. In addition, the applicant has provided a narrative description of the proposed changes, which is included as Attachment C. The applicant has reduced the height of the second- and third-floor ceilings and lowered the parapets. These changes have reduced the overall height of the building by 21 inches from 41’-7” to 39’-10”. Figure 1 shows this reduction of parapet heights at the Main Street elevation. In addition, the applicant has lowered the height of the stairwell at the northwest corner of the building by 2 feet. The red box in Figure 1 illustrates how this change has reduced the visual perception of the stairwell from the street level along Main Street.



Figure 1: Height Reductions at Main Street Elevation

The applicant has eroded the mass of the third-floor penthouse at the 2nd Street elevation by removing the cantilevered building mass covering the BBQ grill (blue box in Figure 2) and reducing the ceiling height of the adjacent building mass projection (orange box in Figure 2). The initial project plans showed a portion of the third-floor exterior wall that extended to the property line along 2nd Street matching the vertical wall plane of the lower levels (purple box in Figure 2), which created a break in the continuity of the steel guardrail along 2nd Street. The Commission provided feedback that this element increased the perceived bulk and mass of the third floor on 2nd Street and recommended the applicant make revisions. The applicant has stepped this wall back 6 inches, which allows the brick parapet and steel guardrail to run continuously along 2nd Street.



Figure 2: Third-Floor Penthouse Massing Modifications

As shown in Figure 3, the applicant has changed the exterior finish of the third-floor penthouse to Neolith Sintered Stone Siding Panels. These stone siding panels have an Iron Corten color with red and brown tones that complement the brick veneer of the first two floors.

Finally, the applicant changed the type of shade tree proposed for the third-floor terraces from a Korean Maple to a Vine Maple. The Korean Maples trees proposed with the initial submittal have a mature height of 10 feet. As shown on Sheet L5.0 of the updated project plans (Attachment B), the Vine Maple trees have a mature height of 8 feet. The applicant’s narrative states that the Vine Maple trees have, “more compact mature height and spread.”

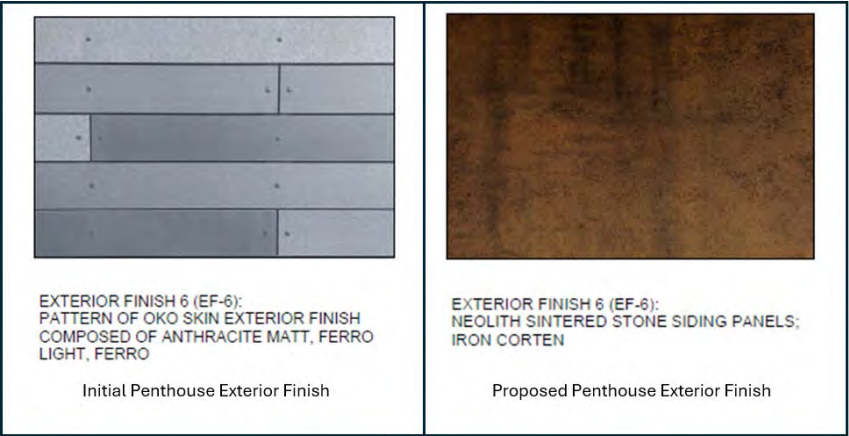


Figure 3: Penthouse Exterior Finish--Initial Submittal & Proposed Change

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Pursuant to KMC §17.96.050.A, the Commission must determine that a project meets the following criteria before granting Design Review approval:

- 1. The project doesn’t jeopardize the health, safety, or welfare of the public.
- 2. The project conforms to all Design Review standards and zoning regulations.

Section 13 of the interim ordinance requires that all development subject to Design Review must meet an additional criterion that, “The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan.”

Criteria 1: Health, Safety, and Welfare of the Public

Interior Ordinance 1234 Section 13: General Conformance with the Comprehensive Plan

As noted in the December 12 staff report (Attachment A), staff believes the project complies with many of the goals and policies of the 2014 Comprehensive Plan (“comprehensive plan”). During their deliberations at the December 12 meeting, the Commission expressed concerns with the scale and mass of the building in relation to its surrounding context along Main Street and neighboring historic buildings. Table 1 provides staff’s analysis of the comprehensive plan policies that address contextual compatibility. A table of surrounding building height, floor area ratios, and exterior materials is included as Attachment D.

Table 1: 2014 Comprehensive Plan—Contextual Compatibility Policies & Staff Analysis	
Chapter 4 Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	<i>Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.</i>
<p>Staff Analysis: As shown on the Ketchum Neighborhoods and Districts Map on page 25 of the comprehensive plan, both the Retail Core and Mixed-Use Subdistrict of the Community Core Zone are within the Downtown Core neighborhood. The comprehensive plan does not distinguish Main Street as a separate district with its own design elements. Main Street is considered part of the Downtown Core neighborhood.</p> <p>200 North Main celebrates Ketchum’s historic architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum’s early mercantile and bank buildings constructed in the 1880s. The projecting awning supported by columns at the street corner is also a nod to downtown’s historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building’s colonnade are characteristic of western vernacular architecture.</p>	
Policy CD-1.3 Compatible Infill and Redevelopment Projects	<i>Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.</i>
<p>Staff Analysis: The subject property is located within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments. 200 North Main sensitively responds to its surrounding context through its façade design and high-quality exterior materials. The third floor is setback an average of 17’-9” from the front property line along Main Street, 5’-11” from the side property line along 2nd Street, 9’-9” from the alley property line, and 6’-10” from the interior side property line. The third-floor building mass is sculpted vertically and horizontally to provide a human-scale at the street level and a softer transition to smaller-scaled historic buildings. Staff believes the 200 North Main project is contextually appropriate to the Downtown Core neighborhood.</p>	
Policy CD-1.4 High-Quality Site Planning and Building and Landscape Design	<i>It is important to maintain and reinforce development quality, particularly in the built-up community core area. New development should convey a positive image for the community—particularly through high quality design of residential and commercial buildings and resort accommodations. Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character.</i>
<p>Staff Analysis: The design celebrates character-defining features of Ketchum’s historic architecture without mimicry or replication. The project blends character-defining features that honor Ketchum’s historic architecture with more contemporary design elements like black metal accents to create a high-quality design that appears as a product of its own time.</p>	
Chapter 12: Future Land Use	
Policy LU-1.1 Integrated and Compatible Mix of Land Uses	<i>Use the Future Land Use Plan to guide decisions about growth and development. The Future Land Use Plan identifies locations of land-use classifications within both the city limits and the ACI.</i>
<p>Staff Analysis: The comprehensive plan designates the future land use of the subject property as Retail Core and envisions, “a variety of mixed-use buildings that have ground-floor storefronts,” and “restaurants and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment” (page 69). The 200 North Main project proposes a ground-floor commercial restaurant and an outdoor dining area at the street corner.</p>	

Conformance with Zoning Regulations and Design Review Standards

Conformance with Zoning Regulations

The December 12 staff report flagged a concern regarding light trespass from the outdoor dining area. Staff recommended a condition of approval requiring that the applicant revise the outdoor dining area lighting plan and submit an updated photometric study that shows an average of 0.2 footcandles outside of the awning onto the uncovered areas of the sidewalk along Main and 2nd Streets. The applicant has reduced light trespass by dimming the light emanating from the fixtures in the outdoor dining area and removing the recessed canopy fixtures along 2nd Street. As shown on sheet LSK-01 of the updated project plans (See Attachment B), these changes have reduced light trespass to achieve an average of 0.2 footcandles outside of the awning.

The proposed changes to the height and massing of the mixed-use building do not impact the project’s conformance with zoning regulations, including dimensional standards. The project remains in conformance with all zoning regulations, including Community Core dimensional standards, parking, and permitted uses. Staff’s comprehensive analysis of how the project complies with zoning code requirements and dimensional standards is provided in Attachment E of the December 12 staff report (See Attachment A).

Conformance with Design Review Regulations

Ketchum Municipal Code §17.96.060.F5 states that, “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.” Staff believes the applicant’s proposed changes reducing the overall height of the building and modifying the massing of the third-floor penthouse help make the project more contextually compatible with the scale of the surrounding built environment. Pursuant to Ketchum Municipal Code §17.96.060.F3, “There shall be continuity of materials, color and signing with the project.” Staff believes the Iron Corten color of the stone panels proposed for the penthouse complements the brick veneer as both materials have red and brown color tones. As noted at the December 12 meeting, staff believes the project complies with all Design Review standards Ketchum Municipal Code §17.96.060 and requirements for developments within the Community Core specified in Ketchum Municipal Code §17.96.070. Please see Attachment F of the December 12 staff report (Attachment A) for staff’s comprehensive analysis of all design review standards.

IV. STAFF RECOMMENDATION

Staff believes the project, as conditioned, complies with all zoning code requirements, Design Review standards, interim ordinance standards, and Conditional Use Permit criteria. Staff recommends approval of the applications with the following recommended conditions of approval:

Design Review: Recommended Conditions of Approval

1. The Design Review approval is subject to Conditional Use Permit Application File No. P23-049A. All associated conditions of approval shall apply to the project.
2. This Design Review approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.
4. Each individual apartment shall have a dedicated detached storage unit as shown on sheet A-221 of Exhibit A.
5. The property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the HOA must provide evidence of similar transport services.
6. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project.
7. The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.
8. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
9. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Conditional Use Permit Conditions of Approval

- 1. This Conditional Use Permit approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
- 2. The Conditional Use Permit is not transferable from one parcel of land to another.
- 3. The term of this Conditional Use Permit shall be that of the term of approval for Design Review Application File No. P23-049. In the event the Design Review approval expires, this Conditional Use Permit approval shall also expire and become null and void.
- 4. In addition to the requirements set forth in this Conditional Use Permit approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Motions

- 1. “I move to approve the 200 North Main design review application subject to conditions 1-10 and direct staff to return with findings of fact.”
- 2. “I move to approve the 200 North Main conditional use permit application subject to conditions 1-4 and direct staff to return with findings of fact.”

V. ATTACHMENTS:

- A. Staff Report—December 12, 2023 Planning and Zoning Commission Meeting
- B. Design Review Application Materials: Revised 200 North Main Project Plan Set
- C. Design Review Application Materials: Architect’s Design Review Revisions Memo
- D. Surrounding Building Heights, Floor Area Ratios, and Exterior Materials
- E. Public Comment

Attachment A

Staff Report:

December 12, 2023

Planning and Zoning Commission
Meeting

Please Click Following Link:

[December 12, 2023 Staff Report](#)

Attachment B

Design Review Application Materials:
Revised 200 North Main Project Plan Set



INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME
DR-1	DESIGN REVIEW COVER
DR-2	KETCHUM HISTORICAL PHOTOS
DR-3	VICINITY MAP
C0.10	CIVIL ENGINEERING COVER
C0.20	EXISTING SITE CONDITIONS
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.02	DETAIL SHEET
C1.10	DEMOLITION AND SITE GEOMETRY PLAN
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN
L1.0	SITE PLAN
L1.1	OUTDOOR DINING
L2.0	OUTDOOR DINING DESIGN FEATURE HEIGHTS
L3.0	OUTDOOR DINING MATERIALS + ELEVATIONS
L4.0	SPECIFICATIONS AND CUT SHEETS
L5.0	THIRD FLOOR TERRACES
L5.1	WEST TERRACE
L6.0	THIRD FLOOR TERRACES - MATERIALS + ELEVATIONS
L7.0	SPECIFICATIONS AND CUT SHEETS
LSK-01	FIRST FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-02	THIRD FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-03	PROPOSED LIGHTING PLANS AND SPECIFICATIONS
LSK-04	STREETLIGHT PHOTOMETRIC
A-102	PROPOSED ARCHITECTURAL SITE PLAN
A-103	PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED
A-201	PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS
A-202	PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS
A-203	PROPOSED THIRD FLOOR PLAN - NET UNIT AREA
A-205	PROPOSED BASEMENT PLAN
A-211	PROPOSED GROUND FLOOR PLAN
A-221	PROPOSED SECOND FLOOR PLAN
A-231	PROPOSED THIRD FLOOR PLAN
A-241	PROPOSED ROOF PLAN
A-251	THIRD FLOOR SETBACK DIAGRAM
A-301	PROPOSED EXTERIOR FINISHES
A-311	PROPOSED BUILDING ELEVATIONS - WEST
A-312	PROPOSED BUILDING ELEVATIONS - SOUTH
A-313	PROPOSED BUILDING ELEVATIONS - EAST
A-314	PROPOSED BUILDING ELEVATIONS - NORTH
A-315	PROPOSED BUILDING SIGNAGE
A-321	PROPOSED RIGHT-OF-WAY ENCROACHMENT
A-331	PROPOSED BUILDING SECTION
A-351	EXISTING WEST PERSPECTIVE
A-352	ORIGINAL DESIGN WEST PERSPECTIVE
A-353	PROPOSED REVISION WEST PERSPECTIVE
A-354	EXISTING WEST PERSPECTIVE
A-355	PROPOSED REVISION WEST PERSPECTIVE
A-356	EXISTING SOUTH PERSPECTIVE
A-357	ORIGINAL DESIGN SOUTH PERSPECTIVE
A-358	PROPOSED REVISION SOUTH PERSPECTIVE
A-359	EXISTING SOUTH PERSPECTIVE
A-360	PROPOSED REVISION SOUTH PERSPECTIVE
A-361	EXISTING NORTH PERSPECTIVE
A-362	PROPOSED REVISION NORTH PERSPECTIVE
A-363	PROPOSED REVISION NORTH PERSPECTIVE
A-364	EXISTING EAST PERSPECTIVE
A-365	PROPOSED REVISION EAST PERSPECTIVE
A-366	EXISTING MAIN STREET PERSPECTIVE
A-367	ORIGINAL DESIGN MAIN STREET PERSPECTIVE
A-368	PROPOSED REVISION MAIN STREET PERSPECTIVE
DESIGN REVIEW SHEET TOTAL: 60	

MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION			
	EARTH / TOP SOIL		PLYWOOD		SIDING - WOOD
	WASHED ROCK		FINISH WOOD		SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
	ASPHALT PAVING / ROADBED MATL.		SAND, PLASTER, GYPSUM BOARD		BRICK
	CONCRETE		BATT INSULATION		CONCRETE
	BRICK		BIBS INSULATION		STUCCO
	CONCRETE MASONRY UNIT		RIGID INSULATION		GLASS
	CUT STONE		SPRAY FOAM INSULATION		CONCRETE MASONRY UNIT
	STEEL		WALL - NEW CONSTRUCTION		
	ALUMINUM		WALL - EXISTING TO REMAIN		
			WALL - TO BE DEMOLISHED		

PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 720-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smithman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 480 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judson Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judson.williams@kpff.com		

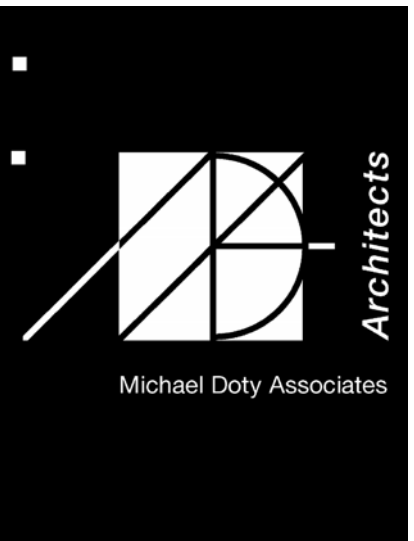
PROJECT DATA

PARCEL NUMBER:	RPK0000003001A
STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

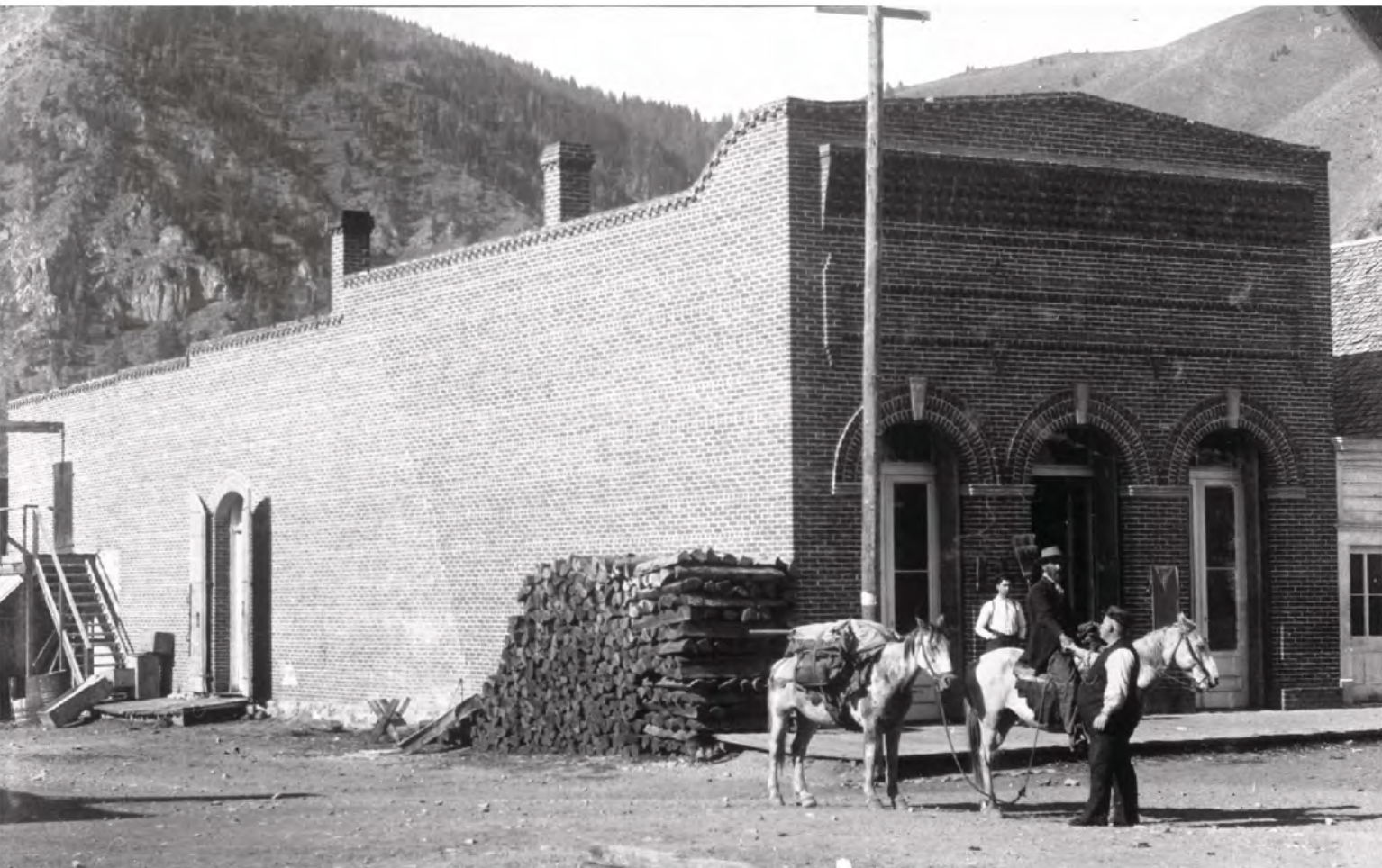
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM



LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING—CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON, KETCHUM, LATE 19TH CENTURY.



FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND STREETS, KETCHUM, LATE 19TH CENTURY.



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.



VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



MAIN STREET, LOOKING NORTH, MID-1930S.



VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





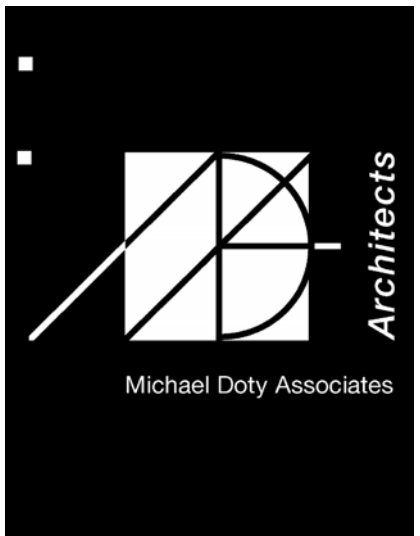
VICINITY MAP

SCALE: 1" = 100'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



200 N. MAIN STREET
KETCHUM, IDAHO
MAY 2023

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C1.00-C1.02	DETAIL SHEETS
C1.10	DEMOLITION AND SITE GEOMETRY
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN

SITE IMPROVEMENT PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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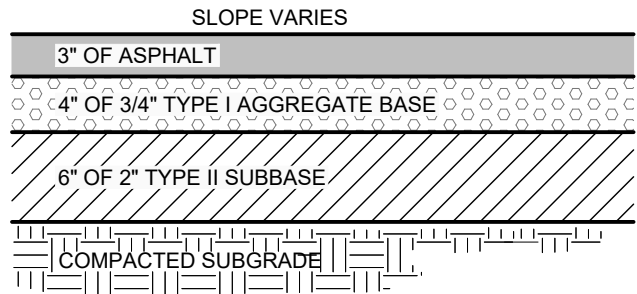
DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

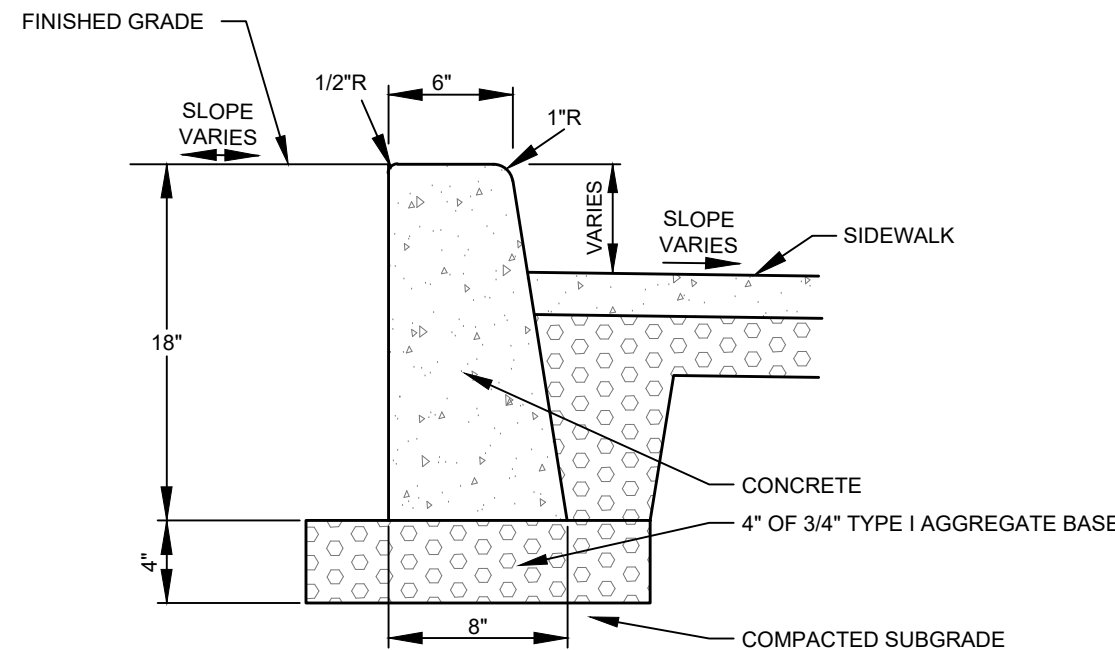
NO. DATE BY REVISIONS

C0.10



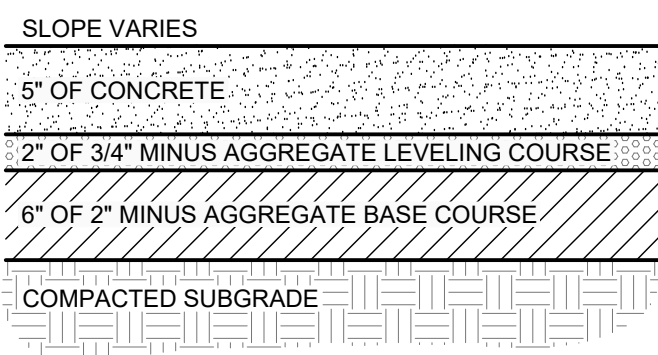
- NOTES:
- SUBBASE CAN BE 2\"/>
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.00 **TYPICAL ASPHALT SECTION**
N.T.S.



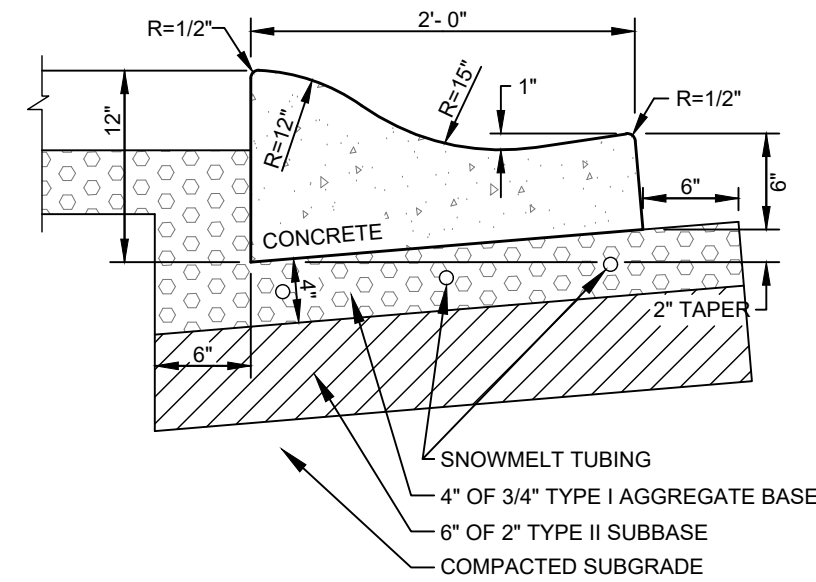
- NOTES:
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

4
C1.00 **CONCRETE VERTICAL CURB**
N.T.S.



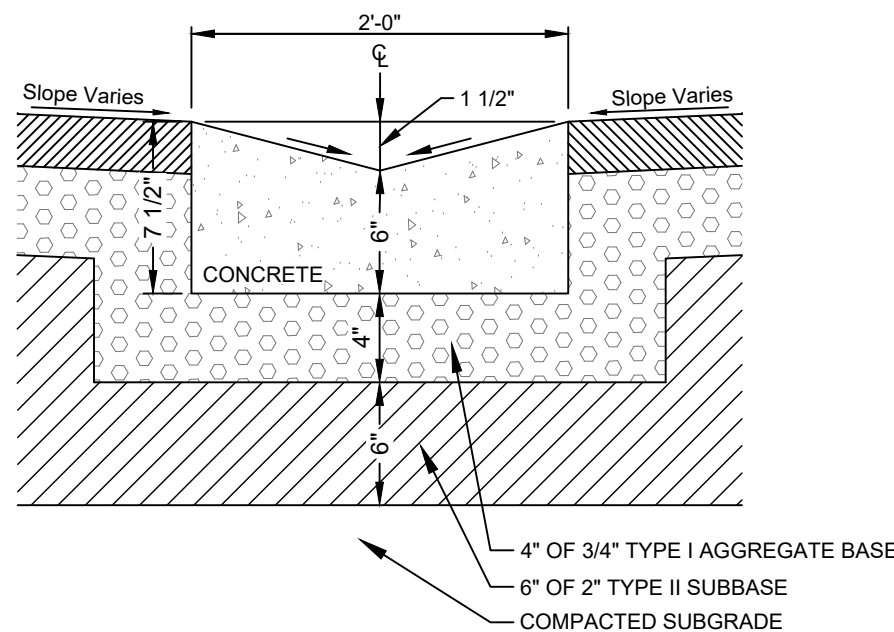
- NOTES:
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2\"/>
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8\"/>
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C1.00 **TYPICAL CONCRETE SECTION #2**
N.T.S.



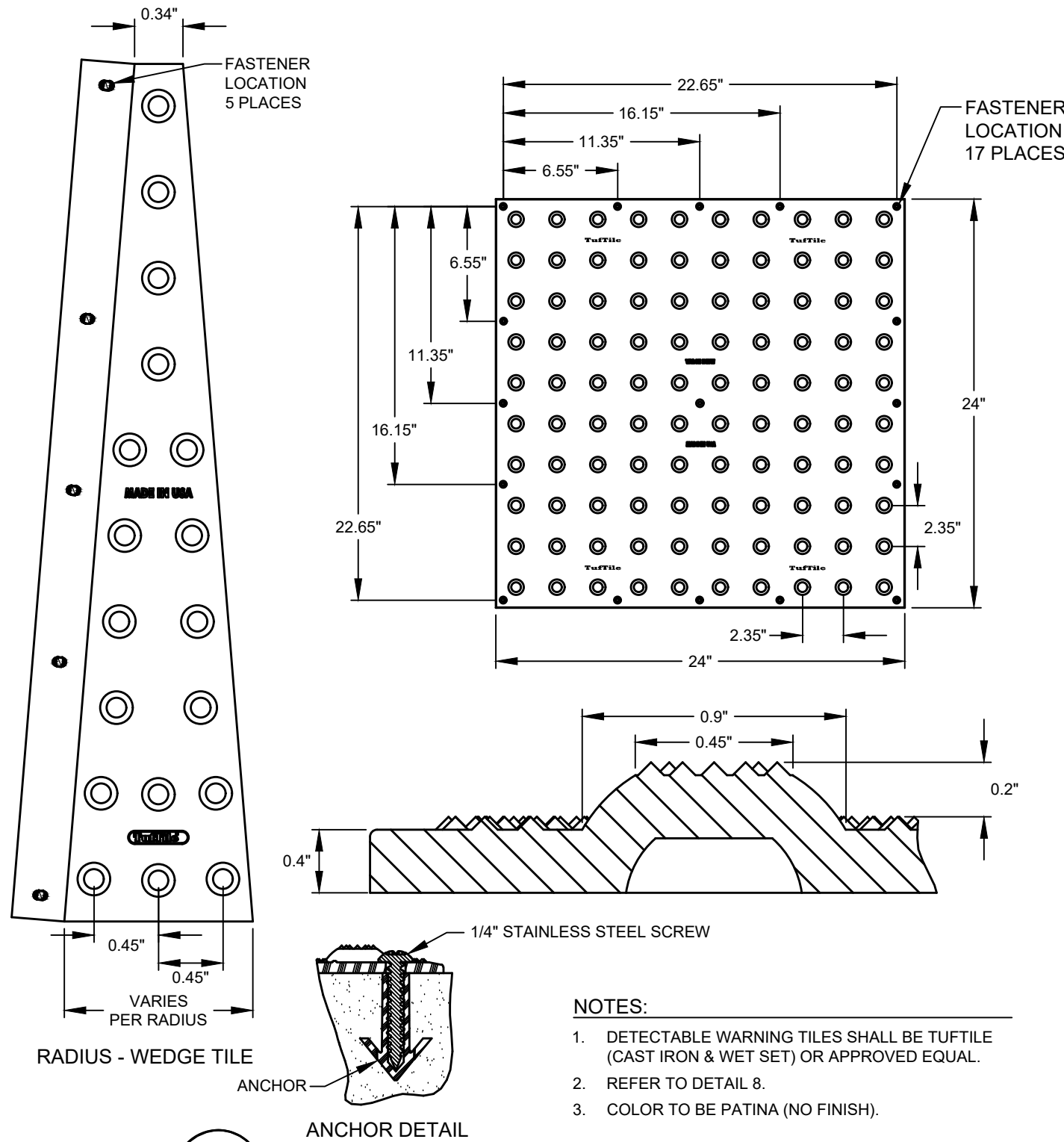
- NOTES:
- SUBBASE CAN BE 2\"/>
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2
C1.00 **HEATED 6\"/>**
N.T.S.



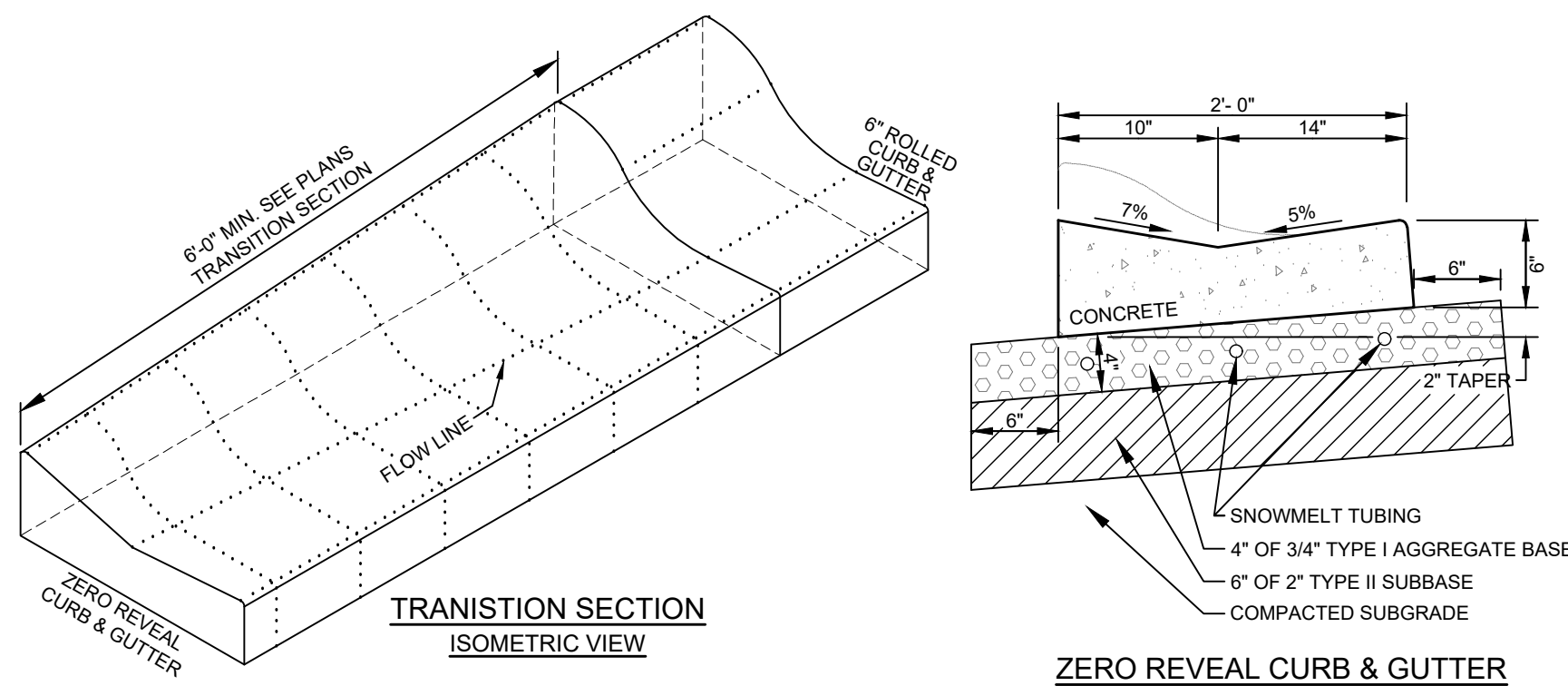
- NOTES:
- SUBBASE CAN BE 2\"/>
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

5
C1.00 **24\"/>**
N.T.S.



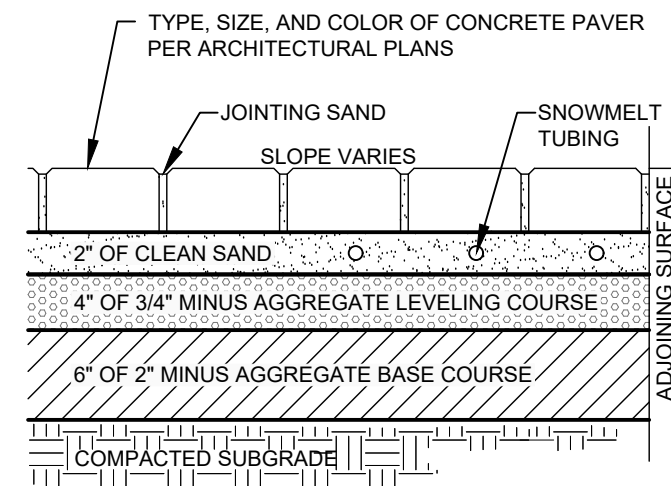
- NOTES:
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

9
C1.00 **DETECTABLE WARNING PLATE**
N.T.S.

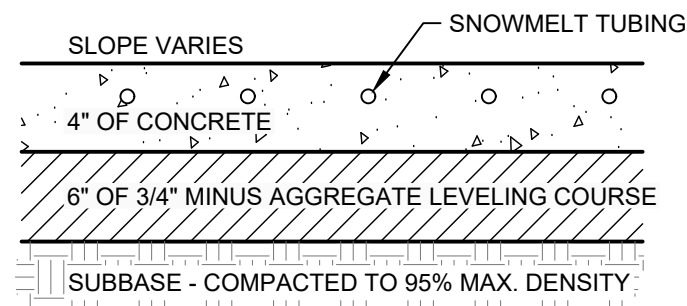


- NOTES:
- SUBBASE CAN BE 2\"/>
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 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3
C1.00 **TYPICAL HEATED ROLLED CURB TRANSITION DETAIL**
N.T.S.

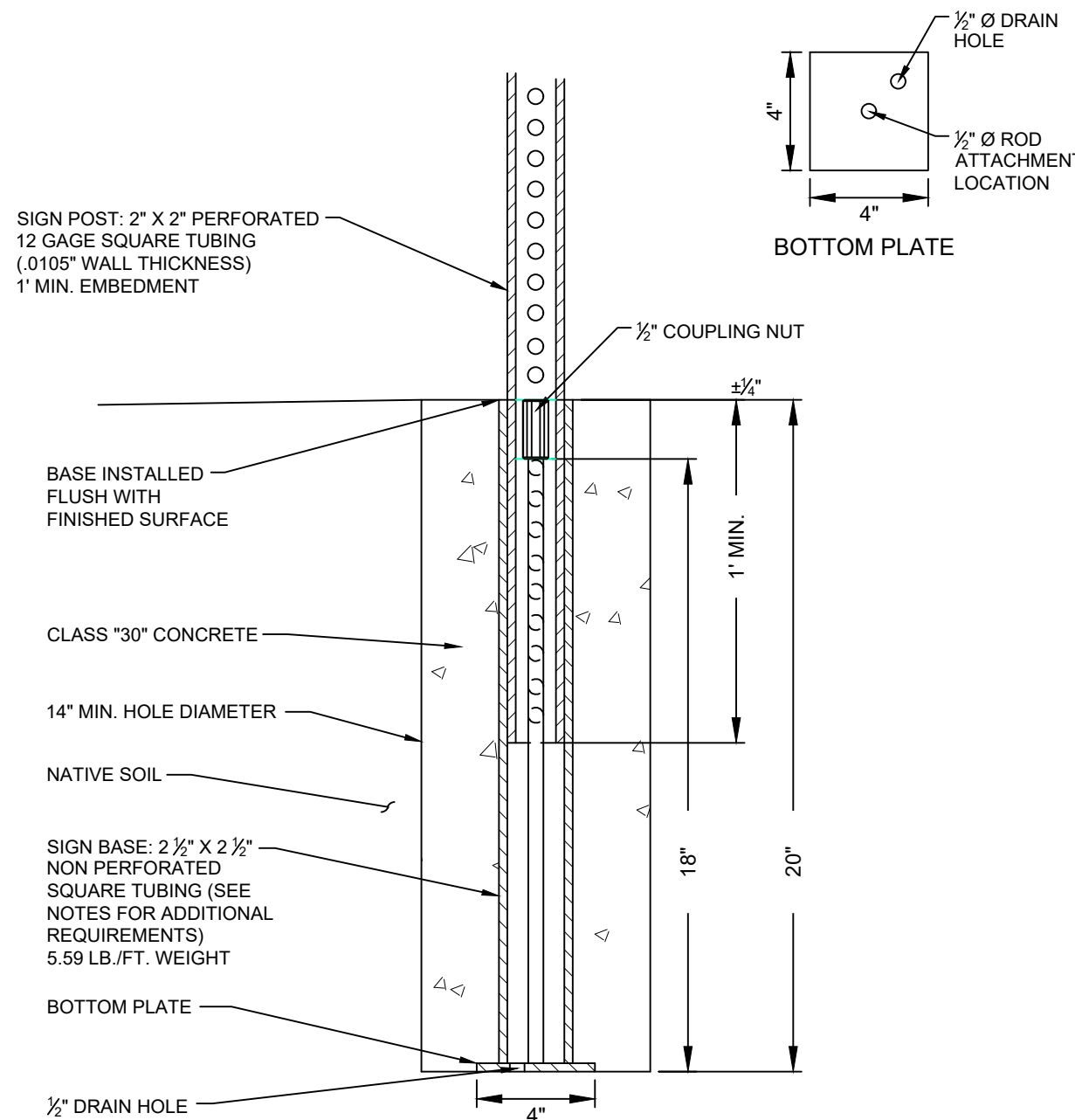


6
C1.00 **HEATED PAVER DETAIL**
N.T.S.



- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2\"/>
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPMC SPECIFICATIONS.
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

7
C1.00 **TYPICAL CONCRETE SECTION #1 (HEATED)**
N.T.S.



- NOTES:
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14\"/>
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS	
2 1/2\"/>	
2 1/2\"/>	
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS	
3/4\"/>	
1/2\"/>	
1/2\"/>	
1/2\"/>	
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS	
4\"/>	

10
C1.00 **TYPICAL SIGN BASE**
N.T.S.

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

GALENA-BENCHMARK

ENGINEERING

Civil Engineers & Land Surveyors

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PROFESSIONAL ENGINEER

24

MADE FOR

SMITHMAN

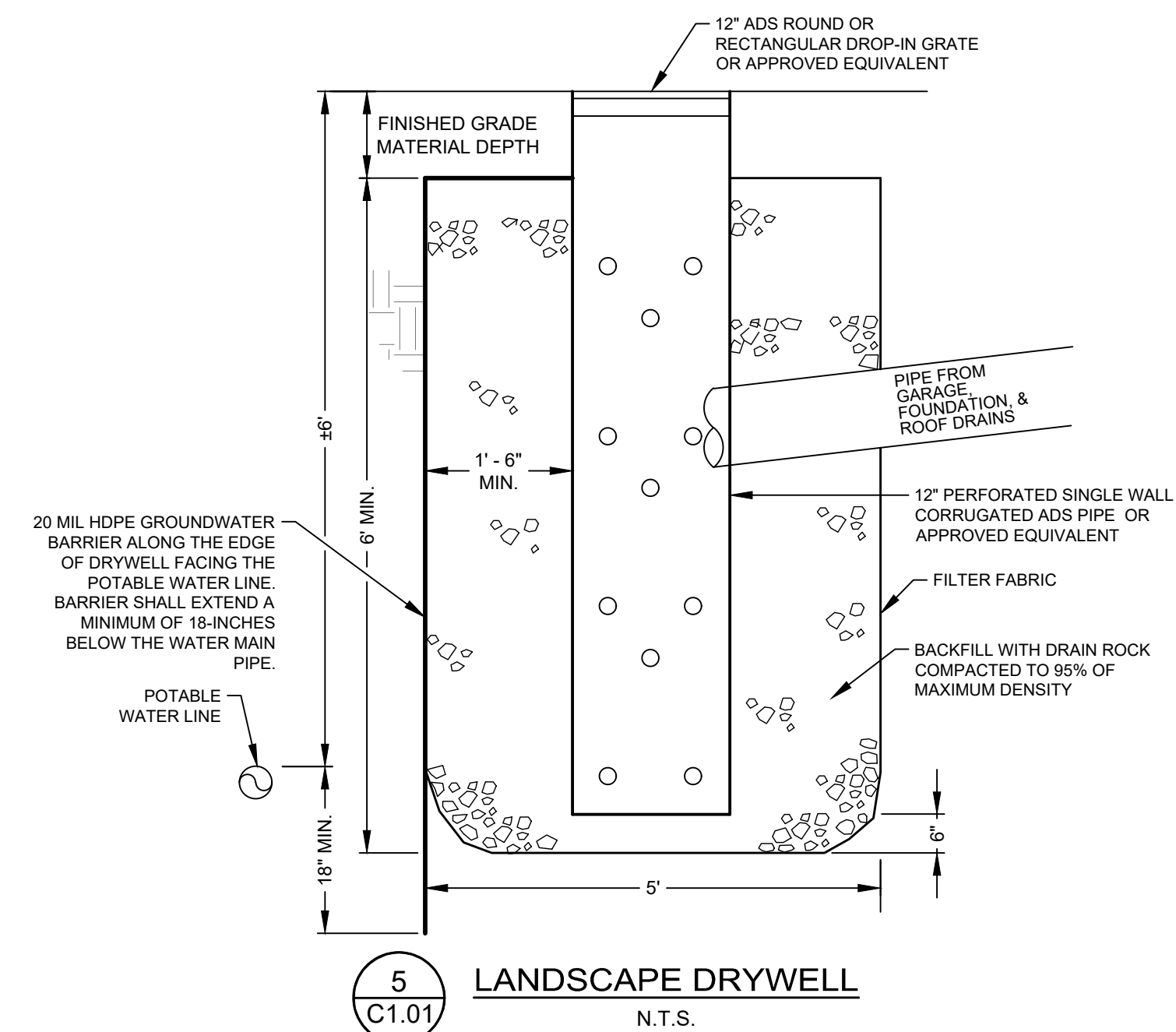
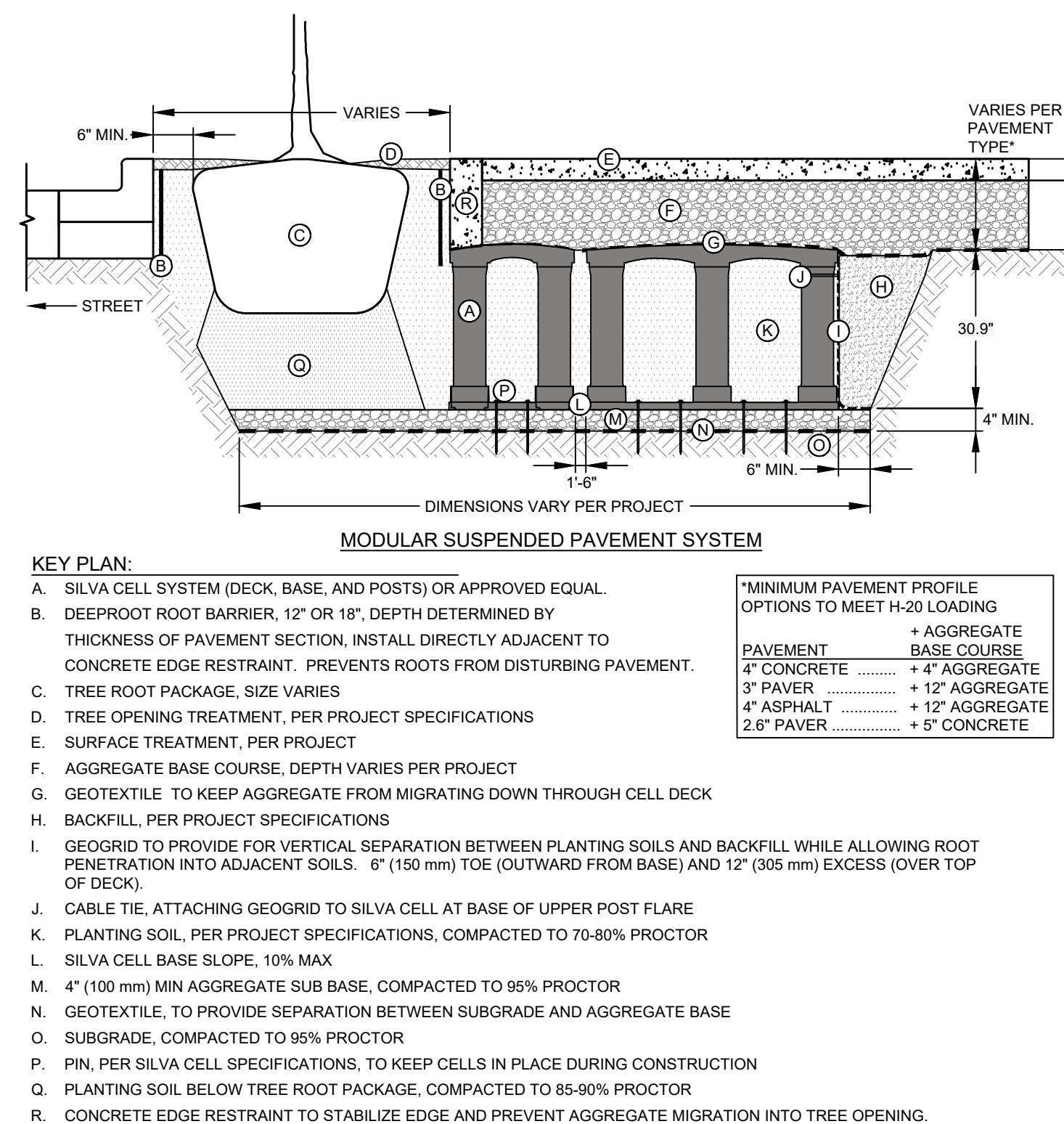
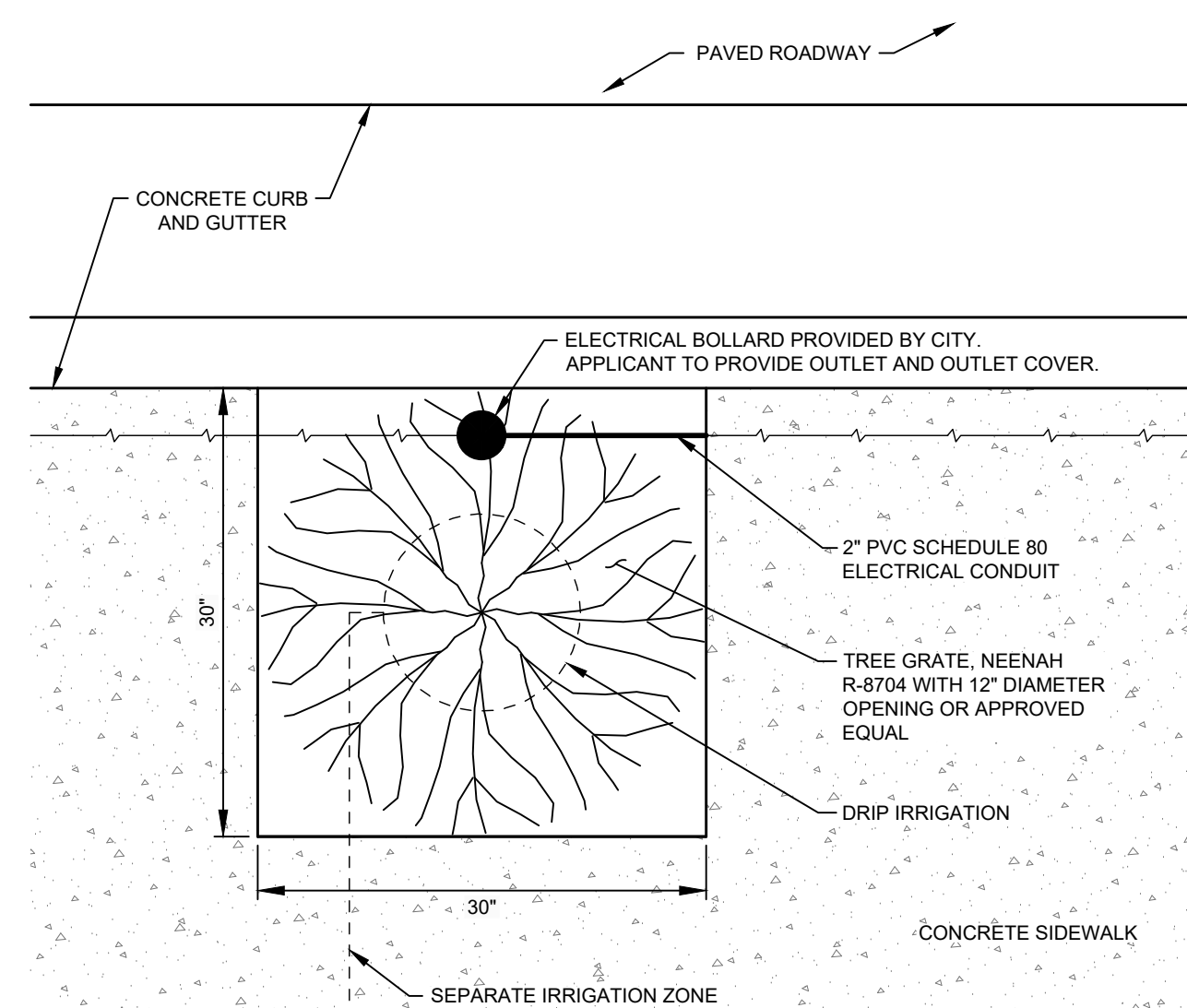
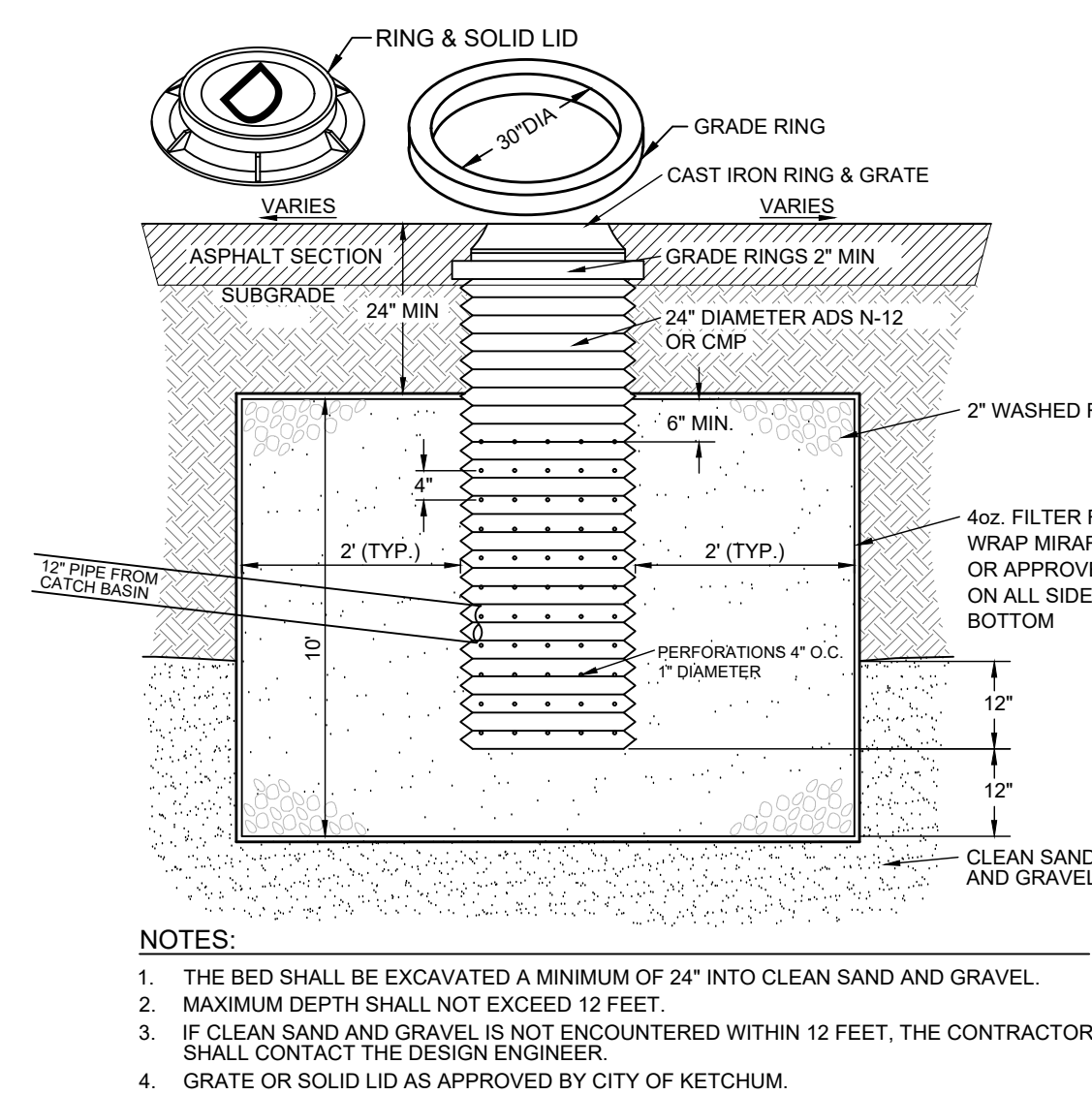
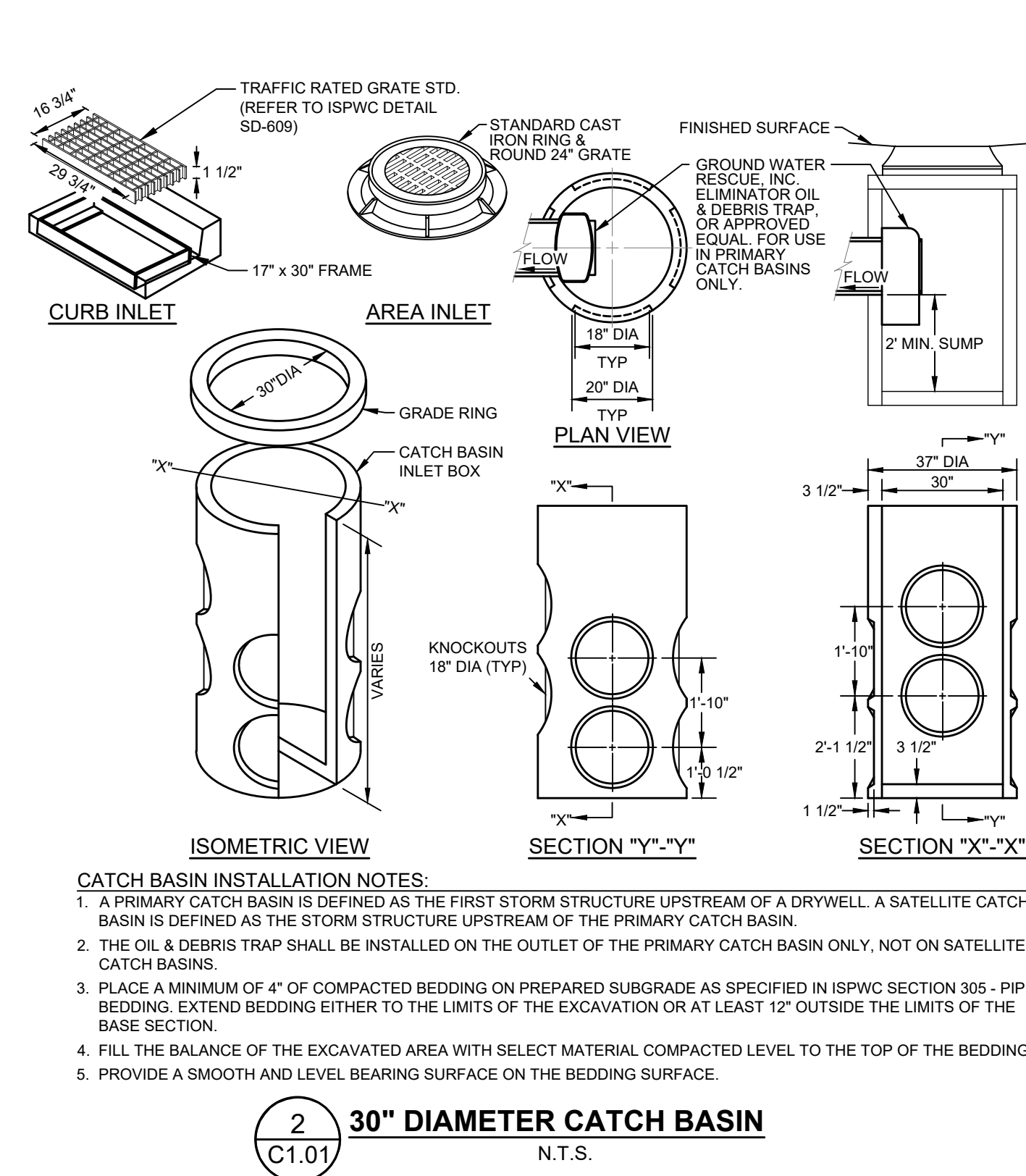
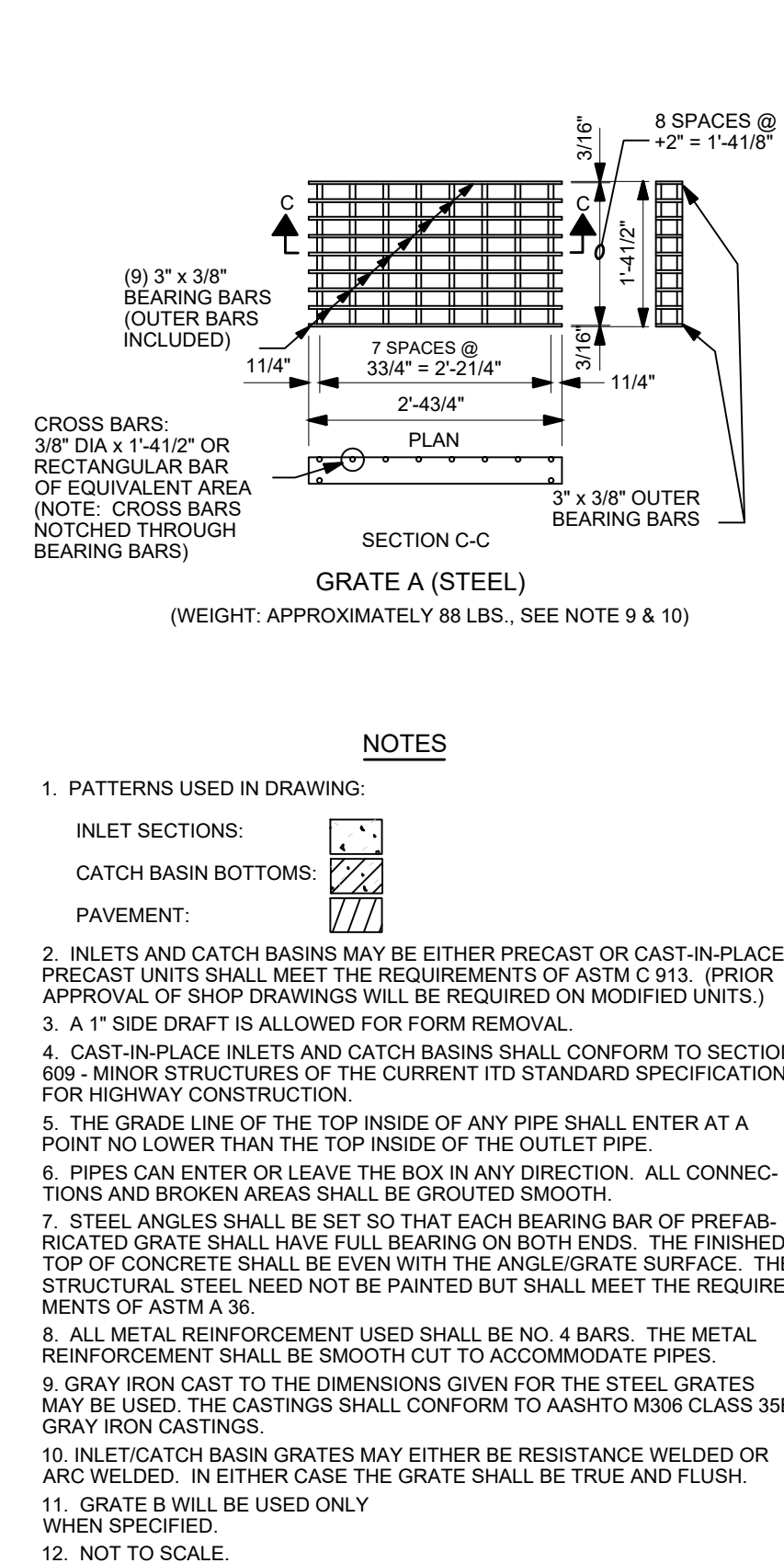
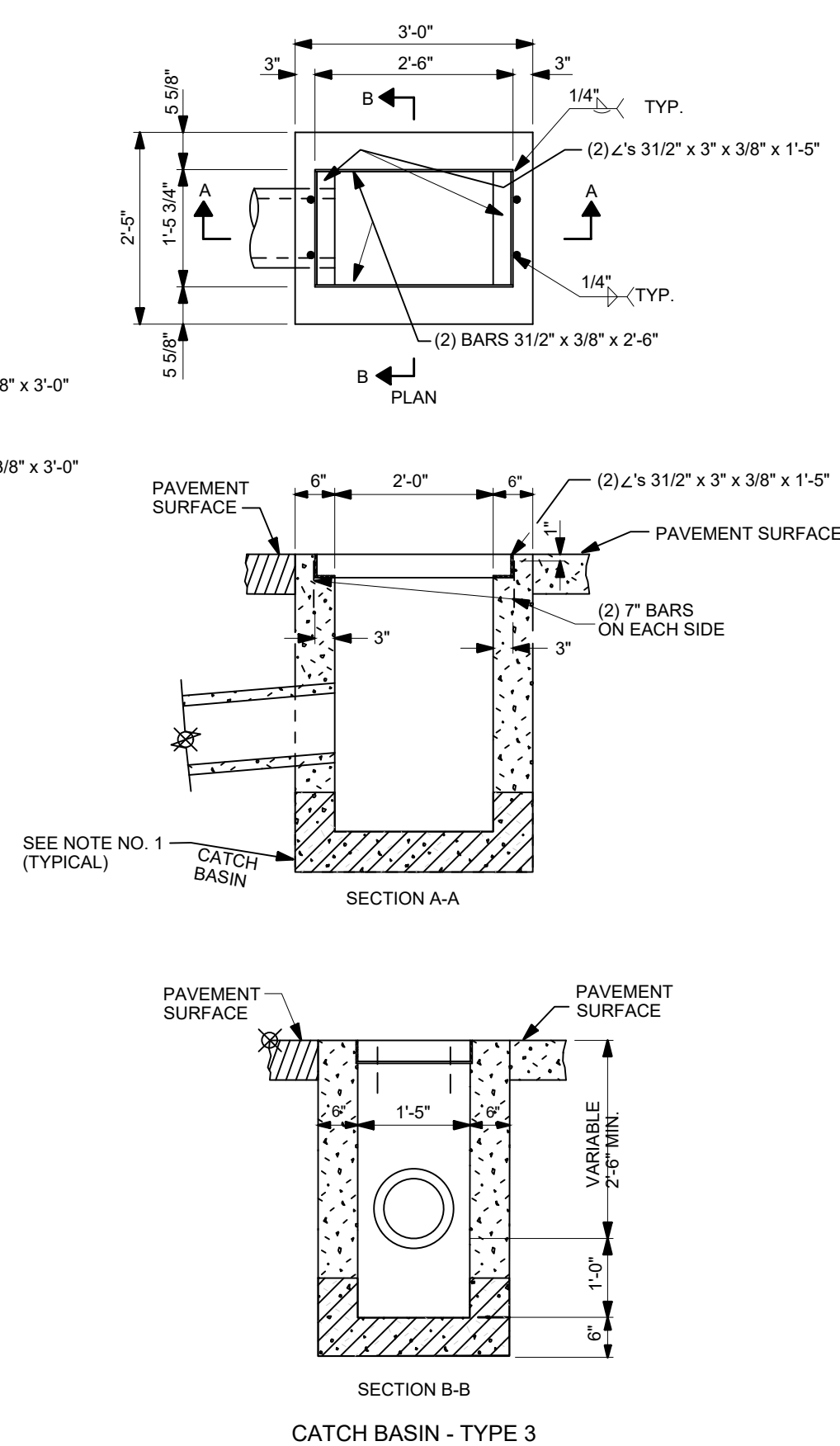
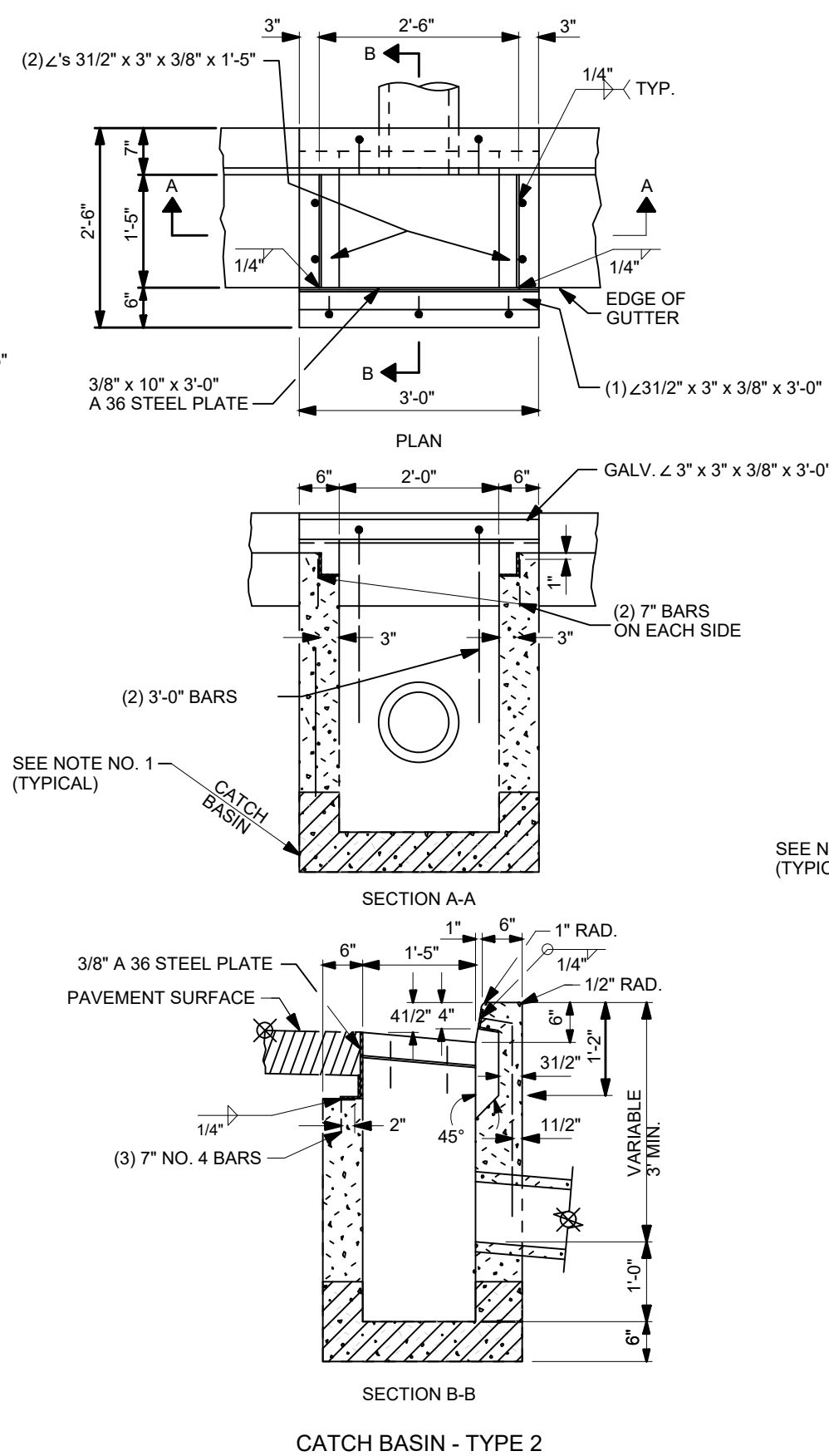
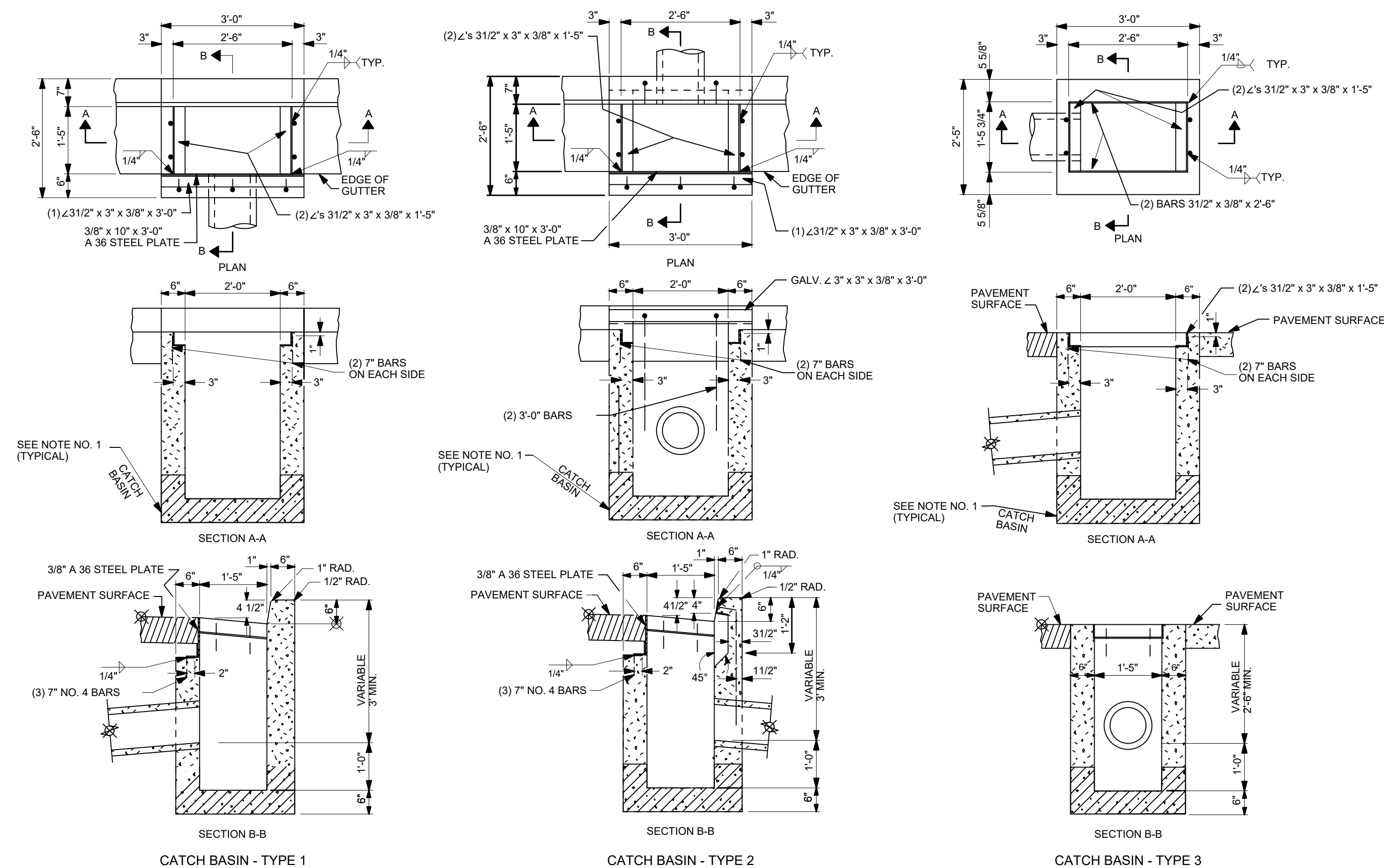
DETAIL SHEET

200 N. MAIN STREET

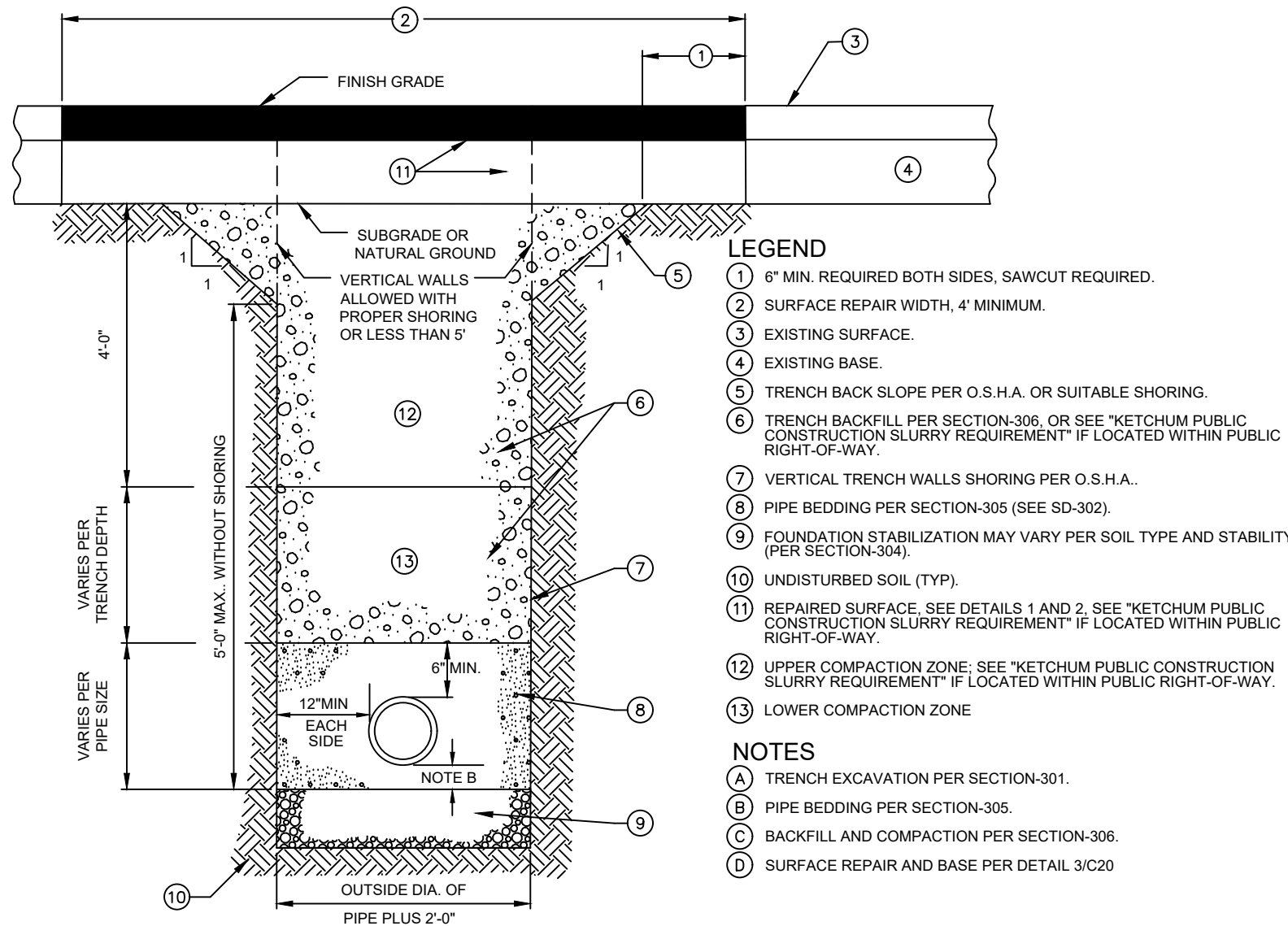
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUONAKIS

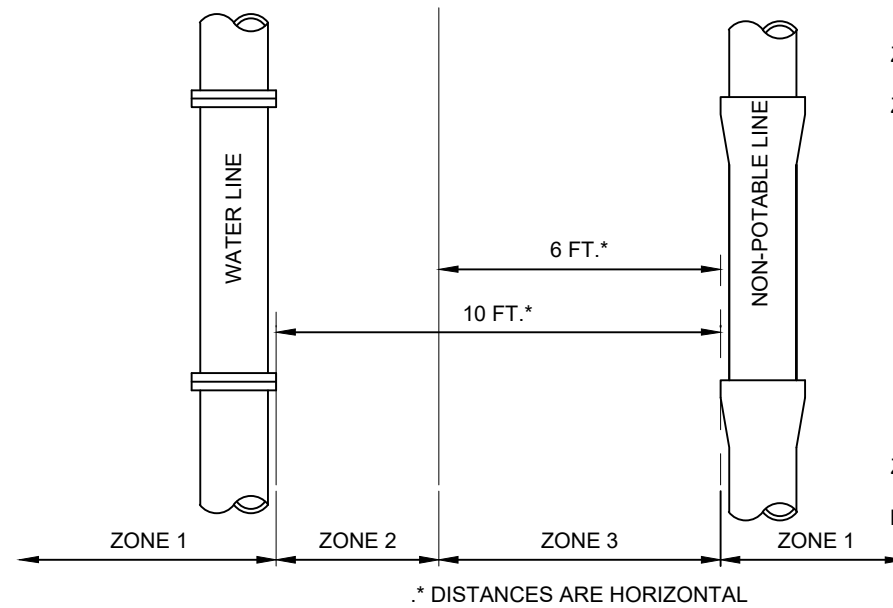
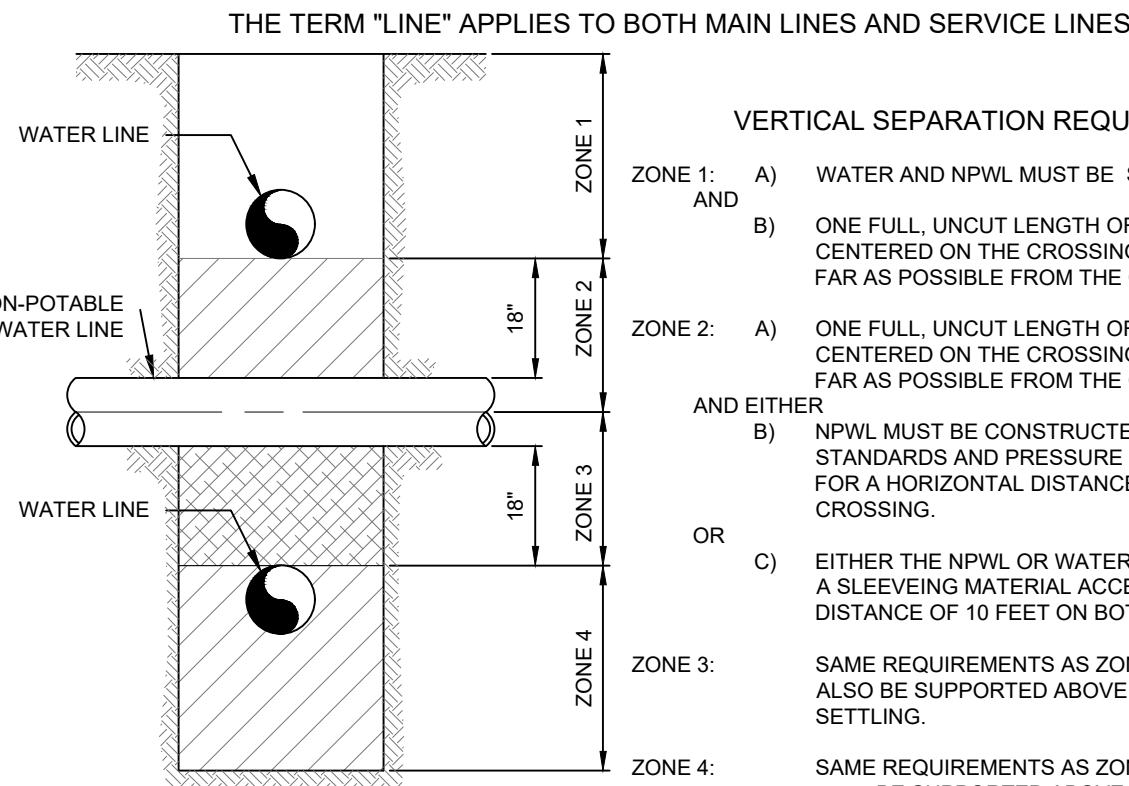
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.



1
C1.02
TYPICAL TRENCH SECTION
N.T.S.



2
C1.02
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

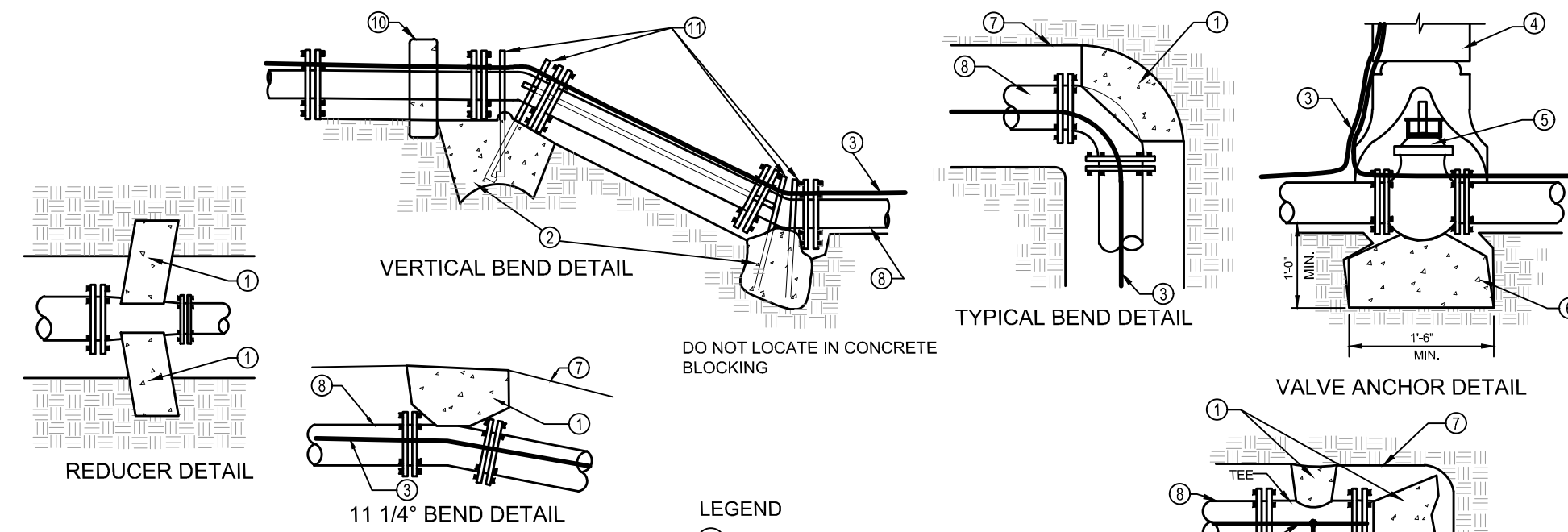
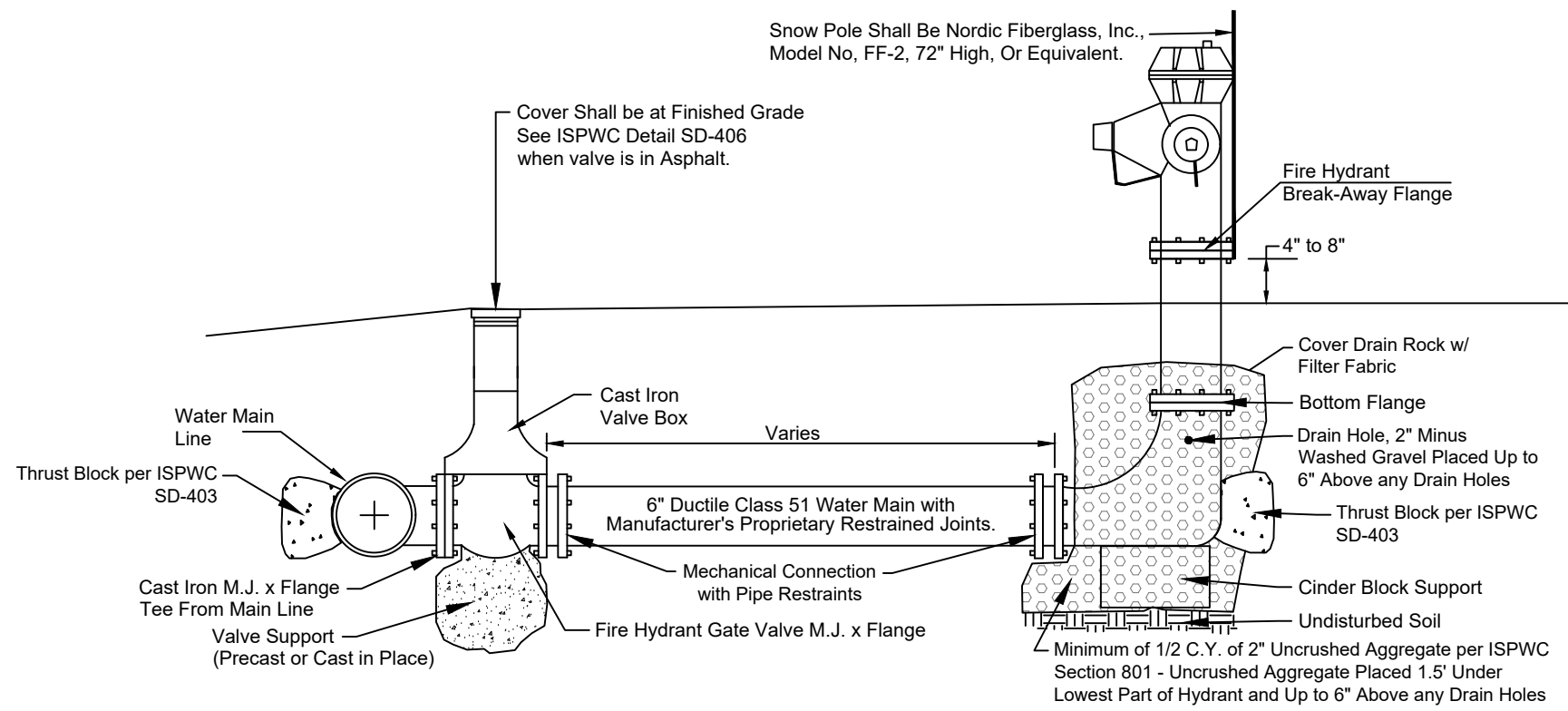


TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
** OR TEE ACTING AS A 90° BEND
***THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

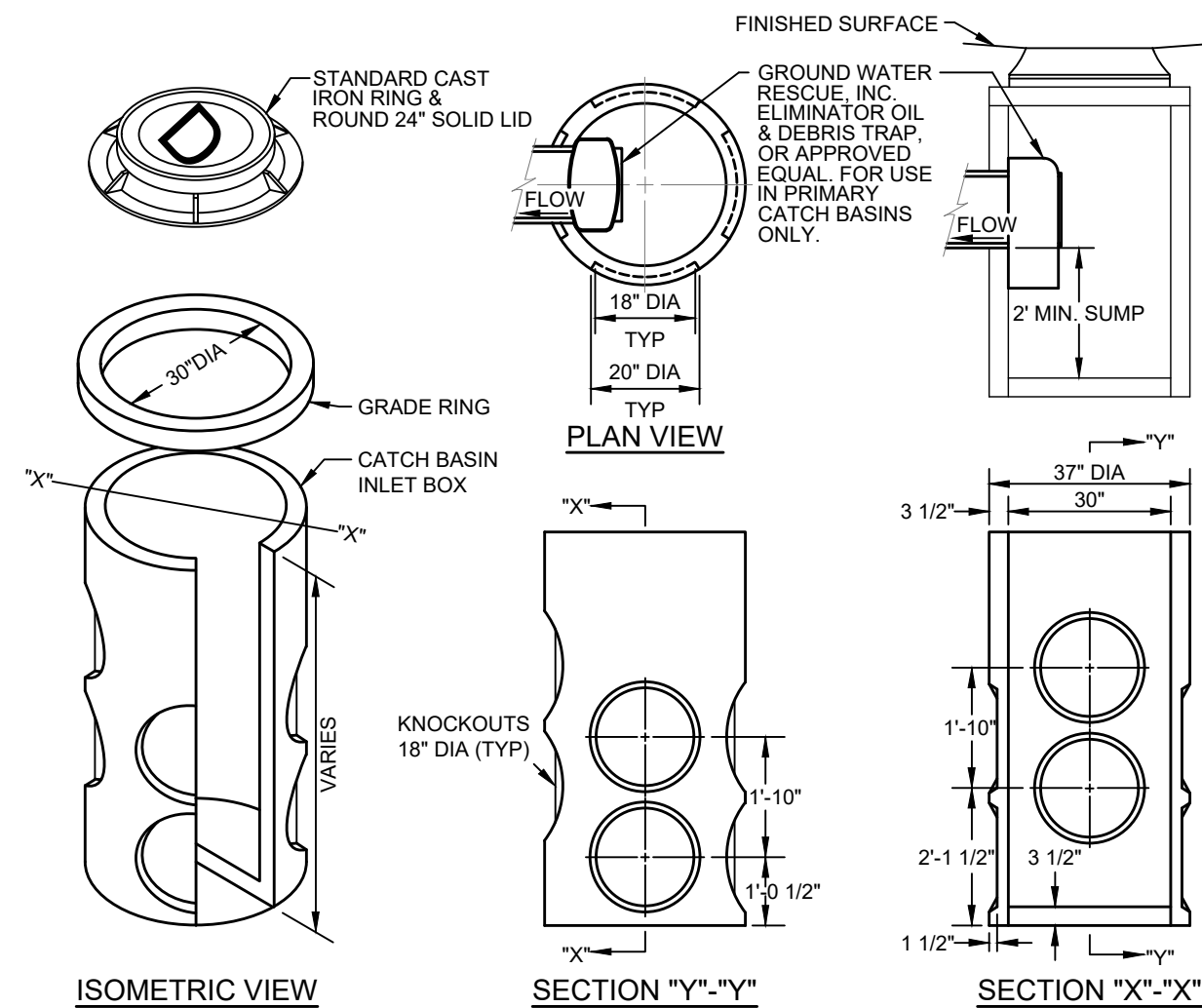
3
C1.02
THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



- NOTES**
- Hydrants shall have a 6' foot bury.
 - Hydrants shall be Watertight Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
 - Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
 - City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants.
 - Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, watertight series or approved equal).
 - Valve Box shall be Tyler 664A or approved equal.
 - Hydrant break away flange elevation equal to street centerline or 4" to 6" above finished grade as approved.
 - Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.
 - The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department.
 - Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks.

- HYDRANT VEHICULAR PROTECTION**
- Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum distance required for proper operation.
- When they are installed, they shall be:
- Constructed of steel not less than (4) inches in diameter and concrete filled.
 - Spaced not more than four (4) feet between posts on center.
 - Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
 - Set with the top of the posts not less than (3) feet above the ground.
 - The post shall be painted bright red, reflective markings are recommended.
 - Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.

4
C1.02
FIRE HYDRANT DETAIL
N.T.S.



- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C1.02
30" DIAMETER STORM DRAIN MANHOLE
N.T.S.

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

GALENA-BENCHMARK ENGINEERING
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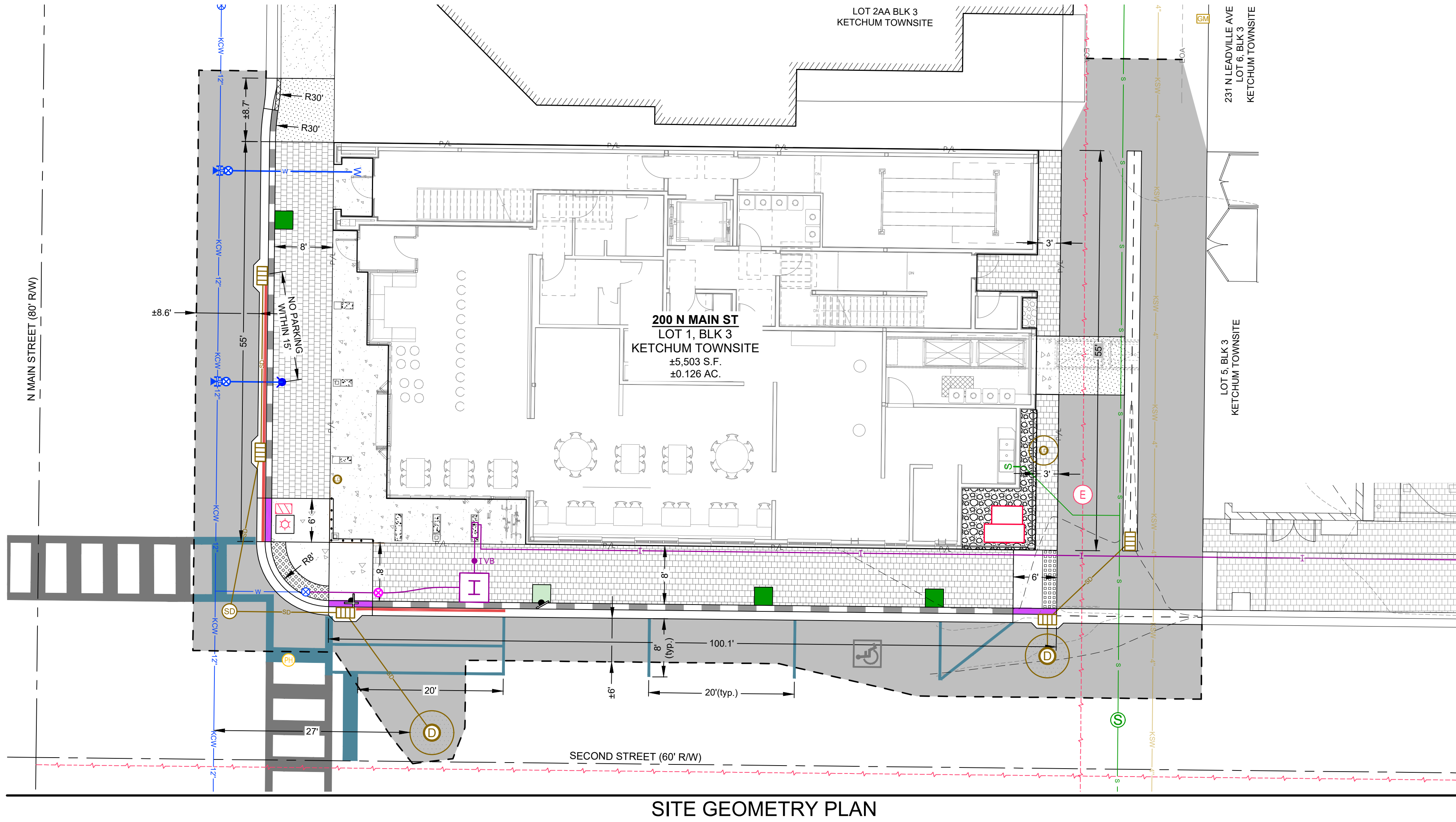
PROFESSIONAL ENGINEER
LICENSED IN IDAHO
No. 24424
DATE OF BIRTH 01/24/1974
NAME OF DAD SMITHMAN

DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

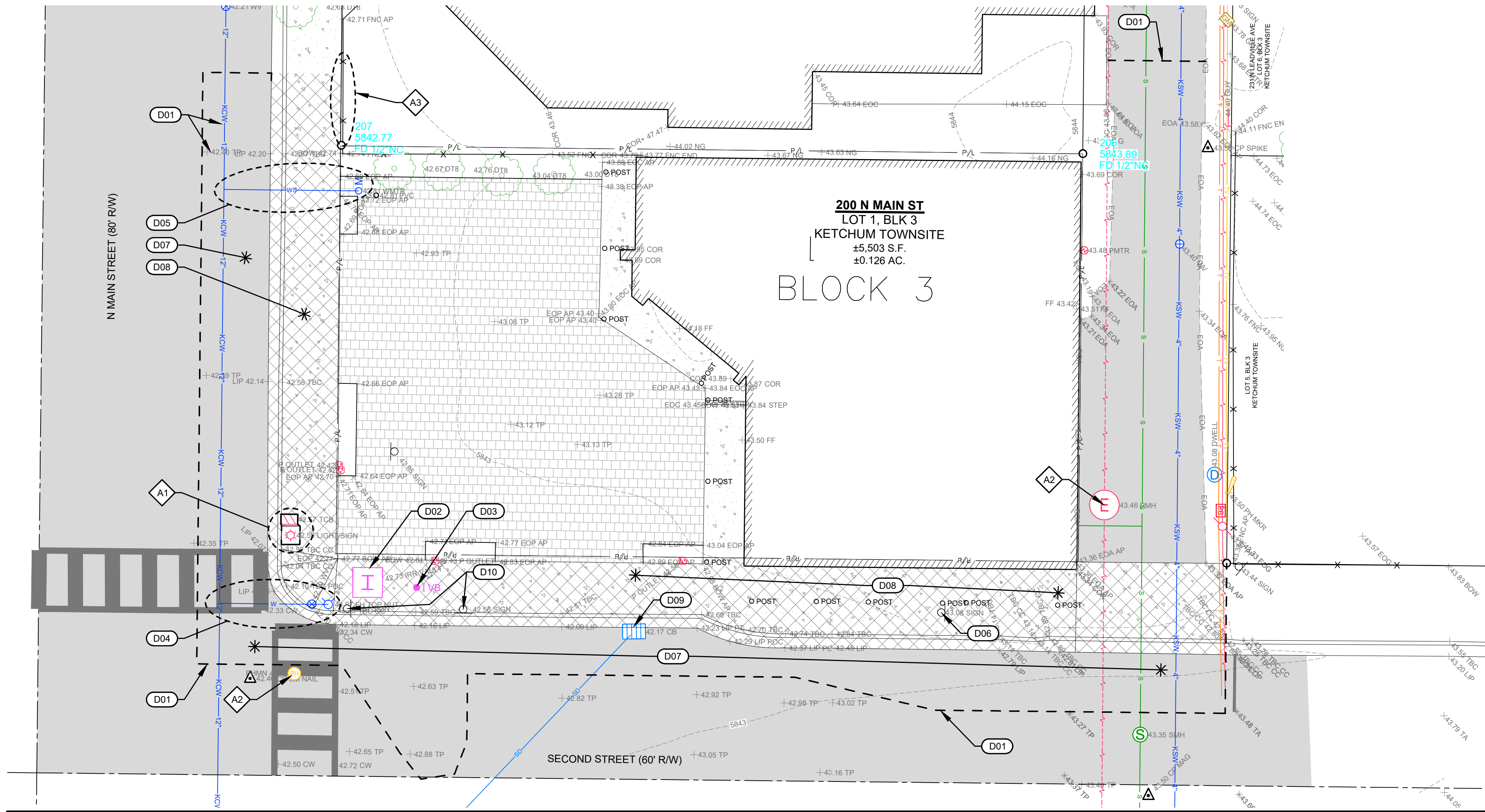
DETAIL SHEET
200 N. MAIN STREET
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
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152276 - 200 N Main St Construction 02/21/2023 04:17.dwg 09/05/23 11:55:59 AM

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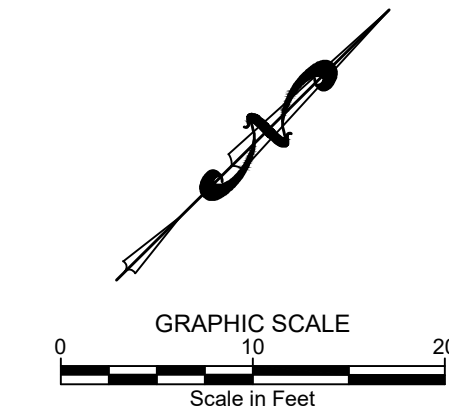


SITE GEOMETRY PLAN



OFF-SITE DEMOLITION PLAN

- OFF-SITE DEMOLITION KEY NOTES****
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 RELOCATE IRRIGATION VAULT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D03 RELOCATE IRRIGATION SERVICE VALVE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D04 RELOCATE FIRE HYDRANT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D05 CLOSE CORPORATION STOP AT WATER MAIN AND DISCONNECT EXISTING WATER SERVICE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D06 REMOVE SIGN AND RETURN TO CITY.
 - D07 REMOVE AND DISPOSE OF ASPHALT.
 - D08 REMOVE AND DISPOSE OF CONCRETE.
 - D09 REMOVE AND DISPOSE OF CATCH BASIN. CUT AND CAP STORM DRAIN PIPE.
 - D10 REMOVE AND RETAIN SIGN.
- **EVERYTHING ON-SITE WILL BE REMOVED.**



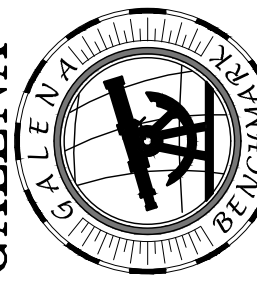
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

GALENA-BENCHMARK

ENGINEERING

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DESIGNED BY: CT
DRAWN BY: MS
CHECKED BY: MS

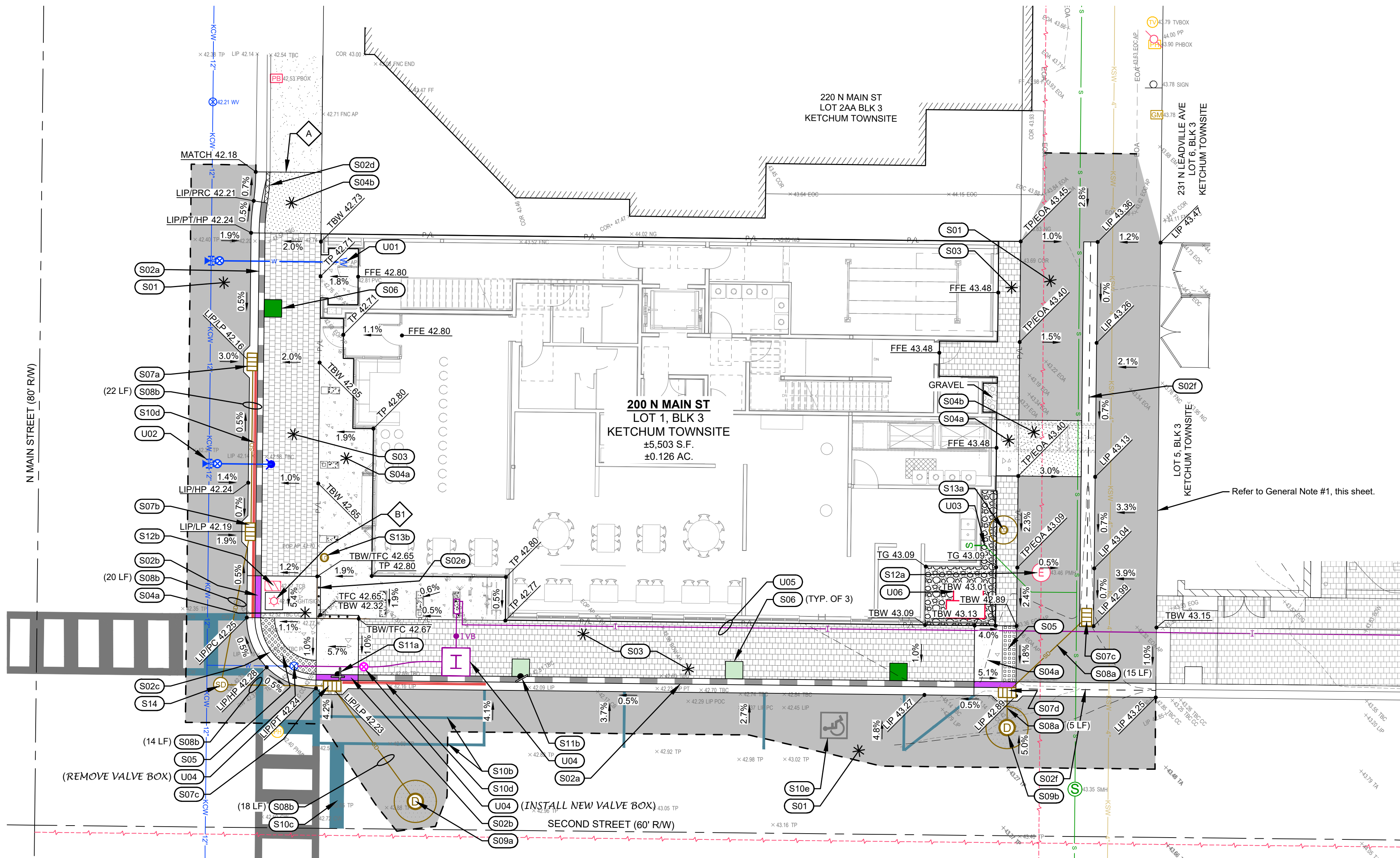


DEMOLITION AND SITE GEOMETRY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BNA\Ketchum Village\block 3\Lot 1\2023-04-17.dwg 09/05/23 11:55:59 AM

C1.10



- UTILITY IMPROVEMENT KEY NOTES**
- U01 INSTALL 6" WATER SERVICE LINE
STAINLESS STEEL TAPPING SADDLE
GATE VALVE
W/ THRUST BLOCKS
SEE DETAILS 1 / C1.02 FOR TRENCHING, &
3 / C1.02 FOR THRUST BLOCKING.
COORDINATE ACTIVITY WITH THE KETCHUM
WATER DEPARTMENT.
- U02 INSTALL FIRE HYDRANT WITH MOUNTAIN
EXTENSION.
12"x6" STAINLESS STEEL TAPPING SADDLE
8" GATE VALVE
W/ THRUST BLOCKS
±9 LF OF 6" PVC C-900 WATER MAIN PIPE
SEE DETAILS 1 / C1.02 FOR TRENCHING,
3 / C1.02 FOR THRUST BLOCKING, &
4 / C1.02 FOR FIRE HYDRANT
DETAIL.
COORDINATE ACTIVITY WITH THE KETCHUM
WATER DEPARTMENT.
- U03 UTILIZE EXISTING 4" SEWER SERVICE.
- U04 INSTALL IRRIGATION VAULT (MATCH EXISTING
RECTANGULAR VAULT REMOVED AT DEMOLITION).
- CONNECT TO EXISTING 6" WATER LINE THAT
SUPPLIED THE REMOVED FIRE HYDRANT (SEE
DEMOLITION PLAN). ENSURE VALVE IS TURNED
ON AND REMOVE ORIGINAL VALVE BOX.
INSTALL NEW 6" GATE IN FLAT AREA OF PAVES
SIDEWALK.
- IRRIGATION VALVE BOX
- BACKFLOW PREVENTION DEVICE. REFER TO
LANDSCAPE PLANS FOR PLACEMENT.
COORDINATE ACTIVITY WITH THE KETCHUM
WATER DEPARTMENT.
RIM = 5842.68
- U05 INSTALL IRRIGATION LINE (SIZE AND FINAL
LOCATION BY THE CITY OF KETCHUM).
COORDINATE ACTIVITY WITH THE KETCHUM
WATER DEPARTMENT.
- U06 INSTALL POWER TRANSFORMER. SEE
ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

ABBREVIATIONS:

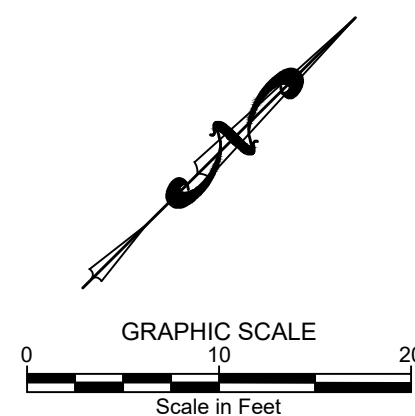
EOA = EDGE OF ASPHALT
FF = FINISHED FLOOR
FFE = FINISHED FLOOR AT ENTRY
FG = FINISHED GRADE
GFFE = GARAGE FINISHED FLOOR AT ENTRY
HP = HIGH POINT
IE = INVERT ELEVATION
LF = LINEAL FEET
LIP = LIP OF GUTTER
LP = LOW POINT
MAX = MAXIMUM
MIN = MINIMUM
PC = POINT OF CURVATURE
PRC = POINT OF REVERSE CURB
PT = POINT OF TANGENT
TBW = TOP BACK OF WALK
TFC = TOP FACE OF CURB
TG = TOP OF GRAVEL
TYP = TYPICAL

GENERAL NOTES:

- CONSTRUCTION OF ALLEY RIGHT-OF-WAY
IMPROVEMENTS SHALL BE COORDINATED WITH
THE LEADVILLE TRADING PROJECT EAST OF THE
ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
- CONTRACTOR SHALL COORDINATE WITH THE CITY
OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY
FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG
MAIN STREET.

SITE IMPROVEMENT KEY NOTES

- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT
REPAIR. SEE DETAIL 1 / C1.00.
- S02 CONSTRUCT CONCRETE CURB AND GUTTER
a. HEATED 6" ROLLED C&G.
REFER TO DETAIL 2 / C1.00.
b. HEATED CURB TRANSITION.
REFER TO DETAIL 3 / C1.00.
c. HEATED ZERO REVEAL CURB AND GUTTER.
REFER TO DETAIL 3 / C1.00.
d. CURB TRANSITION (BETWEEN 6" VERTICAL
C&G AND 6" ROLLED C&G).
e. VERTICAL CURB.
REFER TO DETAIL 4 / C1.00.
f. 24" WIDE VALLEY GUTTER.
REFER TO DETAIL 5 / C1.00.
- S03 CONSTRUCT HEATED PAVES SIDEWALK/PATIO.
WIDTH AS SHOWN HEREON.
REFER TO DETAIL 6 / C1.00.
- S04 CONSTRUCT CONCRETE SIDEWALK/SECTION.
WIDTH AS SHOWN HEREON.
a. CONCRETE SIDEWALK/SECTION #1 (HEATED).
REFER TO DETAIL 7 / C1.00.
b. CONCRETE SIDEWALK/SECTION #2.
REFER TO DETAIL 8 / C1.00.
- S05 INSTALL CITY OF KETCHUM APPROVED CAST IRON
TRUNCATED DOME DETECTABLE WARNING
INSERT. REFER TO DETAIL 9 / C1.00.
- S06 INSTALL TREE AND TREE WELL AS SHOWN
HEREON. REFER TO DETAIL 4 / C1.01.
- S07 INSTALL CATCH BASIN WITH MINIMUM SUMP
DEPTH OF 12".
- 10" STANDARD CATCH BASIN.**
REFER TO DETAIL 1 / C1.01.
a. RIM = 5841.96
I.E.(OUT) = 5838.69
b. RIM = 5841.91
I.E.(IN) = 5838.30
I.E.(OUT) = 5838.20
- 30" DIAMETER CATCH BASIN.**
REFER TO DETAIL 2 / C1.01.
c. ASSUMED "EXISTING" CATCH BASIN PER
PROJECT EAST OF ALLEY, OR ELSE NEW
CATCH BASIN PER THIS PROJECT.
RIM = 5842.79
I.E.(OUT) = 5839.79
d. ASSUMED "EXISTING" CATCH BASIN PER
PROJECT EAST OF ALLEY, OR ELSE NEW
CATCH BASIN PER THIS PROJECT.
RIM = 5842.89
I.E.(IN) = 5839.49
I.E.(OUT) = 5839.39
- S08 INSTALL STORM DRAIN:
a. 12" ADS N-12 STORM DRAIN PIPE WITH A
MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1
/ C1.02 FOR TRENCHING AND DETAIL 2 / C1.02
FOR POTABLE AND NON-POTABLE WATER
LINE SEPARATION.
b. 12" PVC WATER QUALITY PIPE WITH A
MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1
/ C1.02 FOR TRENCHING
- S09 DRYWELL:
a. INSTALL NEW DRYWELL
REFER TO DETAIL 3 / C1.01.
RIM = 5842.88
I.E.(IN) = 5837.50
b. ASSUMED "EXISTING" DRYWELL PER
PROJECT EAST OF ALLEY, OR ELSE NEW
DRYWELL PER THIS PROJECT.
RIM = 5842.87
I.E.(IN) = 5839.39
- S10 INSTALL ROAD STRIPING / PAINT
a. WHITE CROSSWALK STRIPING (12" WIDE).
b. YELLOW ASPHALT PARKING STRIPING
(4" WIDE). MATCH CITY PATTERNS.
c. WHITE CROSSWALK / STOP BAR STRIPING (24"
WIDE).
d. RED "NO PARKING" STRIPING ON CURB. MATCH
CITY PATTERNS.
e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.
- S11 RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00
FOR SIGN BASE DETAIL.
a. STOP & STREET SIGN
b. REGULATORY PARKING
- S12 RESET UTILITY BOX LID ELEVATION.
a. POWER VAULT LID
ORIGINAL RIM = 5843.46
NEW RIM = 5843.07
b. POWER HANDHOLE
ORIGINAL RIM = 5842.57
NEW RIM = 5842.44
- S13 INSTALL LANDSCAPE DRYWELL. CONNECT ROOF
DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE
DETAIL 5 / C1.01.
a. RIM = 5843.16
b. RIM = 5842.66
- S14 INSTALL 30" CONCRETE STORM DRAIN MANHOLE.
REFER TO DETAIL 5 / C1.02.
RIM = 5842.38
- A MATCH EXISTING LINES AND GRADES
- B RETAIN AND PROTECT
1. SIGNAL POLE



SITE GRADING, DRAINAGE, AND UTILITY PLAN

200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUONAKIS

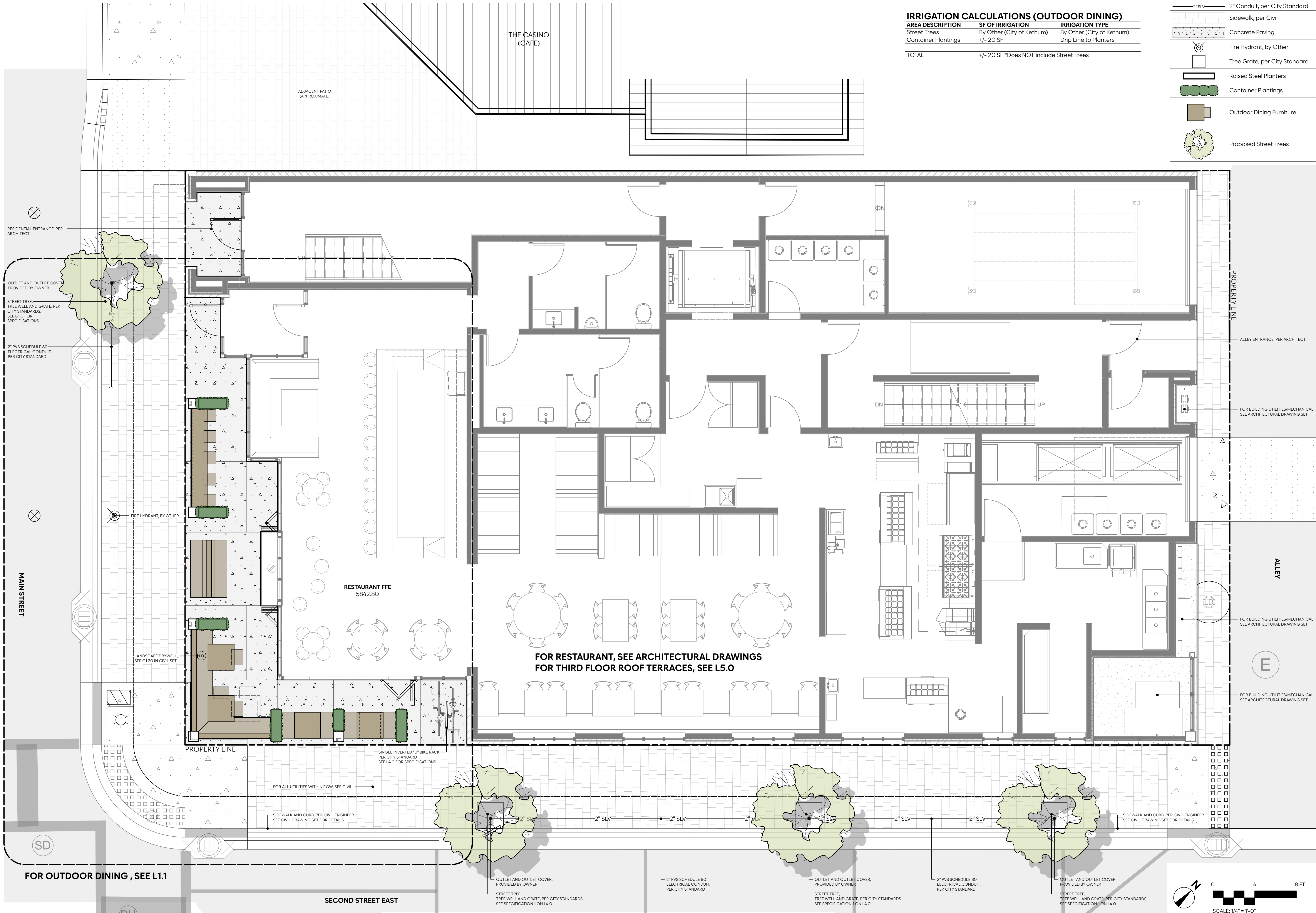
PROJECT INFORMATION
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DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

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PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)		REVISIONS	
NO.	DATE	BY	



PLANT SCHEDULE (STREET TREES ONLY)

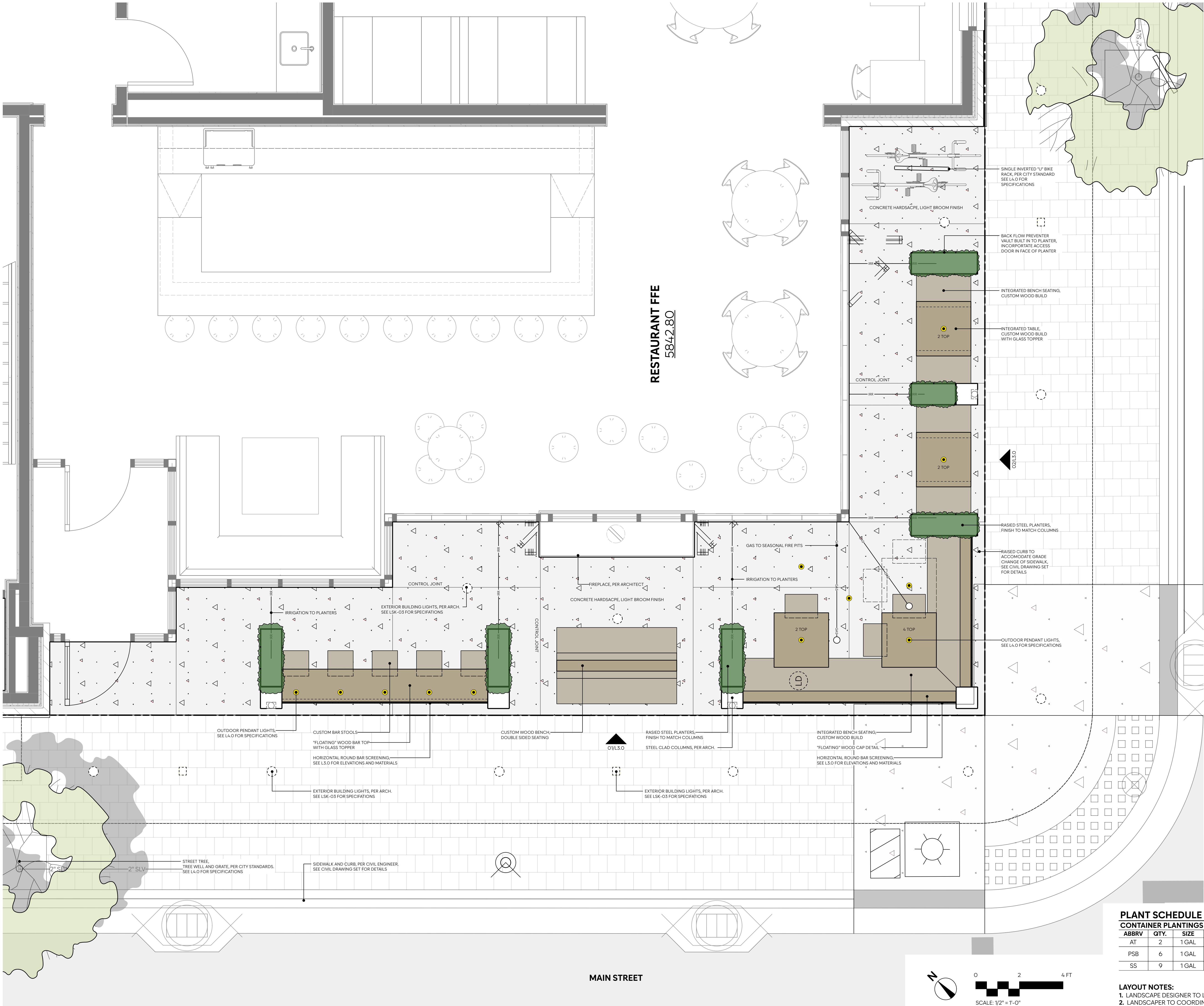
STREET TREES			
ABBRV	QTY.	SIZE	BOTANICAL NAME
AFA	4	3" CAL	Acer x freemanii 'Armstrong'
			COMMON NAME
			Armstrong Maple

IRRIGATION CALCULATIONS (OUTDOOR DINING)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Street Trees	By Other (City of Kethum)	By Other (City of Kethum)
Container Plantings	+/- 20 SF	Drip Line to Planters
TOTAL		+/- 20 SF *Does NOT include Street Trees

LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
	2" Conduit, per City Standard
	Sidewalk, per Civil
	Concrete Paving
	Fire Hydrant, by Other
	Tree Grate, per City Standard
	Raised Steel Planters
	Container Plantings
	Outdoor Dining Furniture
	Proposed Street Trees



LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
2" SLV	2" Conduit, per City Standard
GAS	Gas Line to Seasonal Fire Pits
●	Hanging Light Fixtures
○	Architectural Lighting, Per Arch.
▬	Sidewalk, per Civil
▬	Concrete Paving
○	Fire Hydrant, by Other
□	Tree Grate, per City Standard
▬	Raised Steel Planters
■	Container Plantings
■	Outdoor Dining Furniture
●	Proposed Street Trees

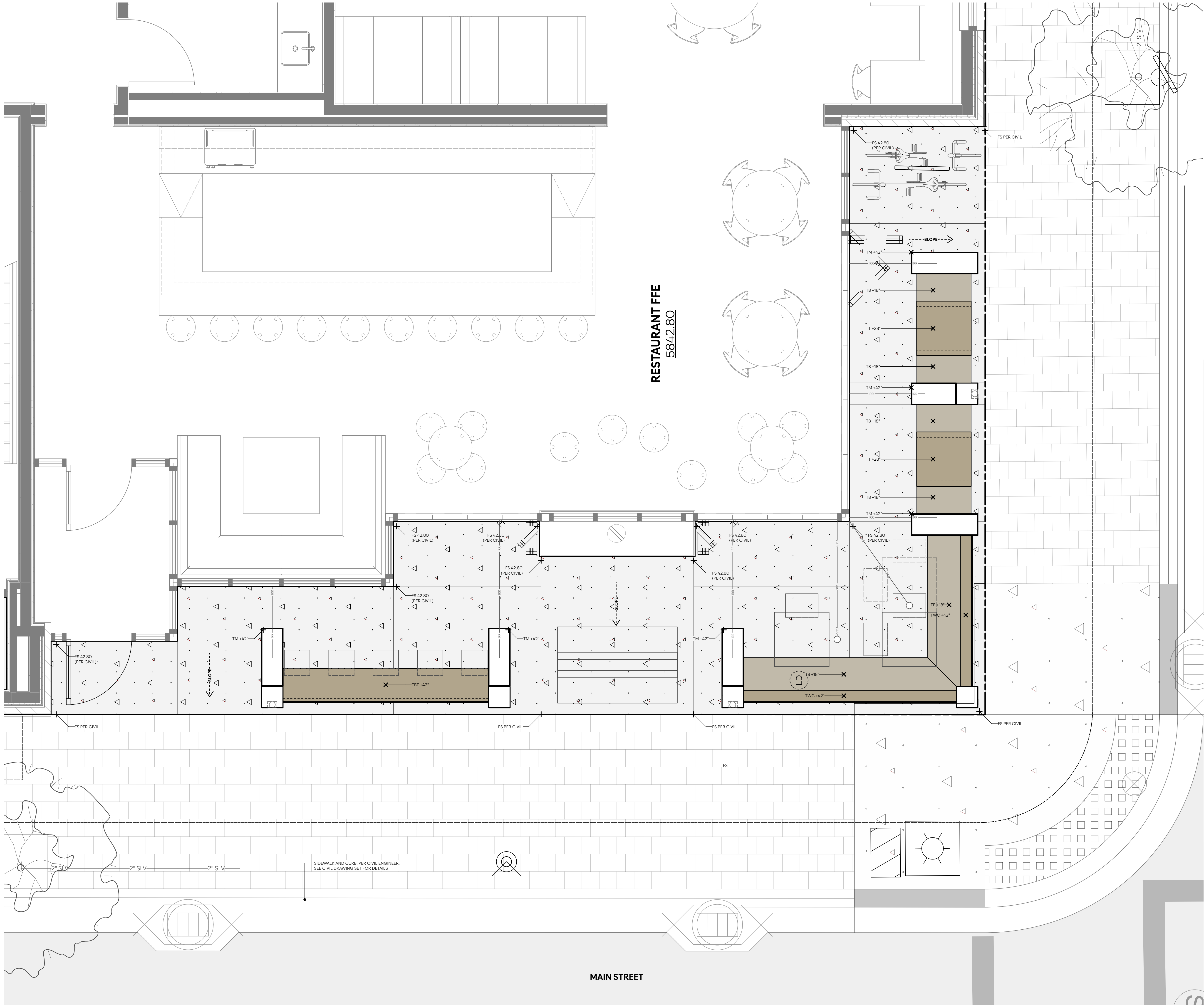
LIGHTING ZONE SCHEDULE				
SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
●	Outdoor Dining	12	Pendant	A

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON DIMMER AND ONLY ON DURING OPERATING BUSINESS HOURS.
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03

SECOND STREET EAST

PLANT SCHEDULE (RESTAURANT ONLY)				
CONTAINER PLANTINGS				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AT	2	1 GAL	Achillea Terracotta	Terracotta Yarrow
PSB	6	1 GAL	Penstemon strictus 'Blanca Peak'	Blanca Peak™ White Penstemon
SS	9	1 GAL	Schizachyrium scoparium	Little Bluestem

- LAYOUT NOTES:**
- LANDSCAPE DESIGNER TO LAYOUT CONTAINER PLANTS PRIOR TO INSTALL.
 - LANDSCAPER TO COORDINATE AND SCHEDULE ACCORDINGLY



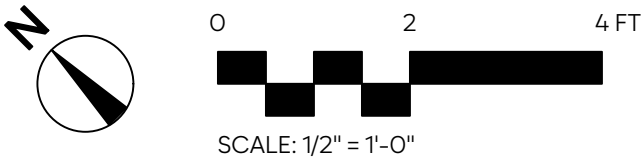
LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
2" SLV	2" Conduit, per City Standard
	Sidewalk, per Civil
	Concrete Paving
	Fire Hydrant, by Other
	Tree Grate, per City Standard
	Raised Steel Planters
	Outdoor Dining Furniture
---SLOPE---	Slope Surface
FS	Finished Surface
TM	Top of Metal
TB	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

GRADING NOTES:
1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND DETAILS.
2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE DESIGNER.

SECOND STREET EAST

RESTAURANT FFE
5842.80

MAIN STREET



PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY AB

1/16/24 10:00:03 AM

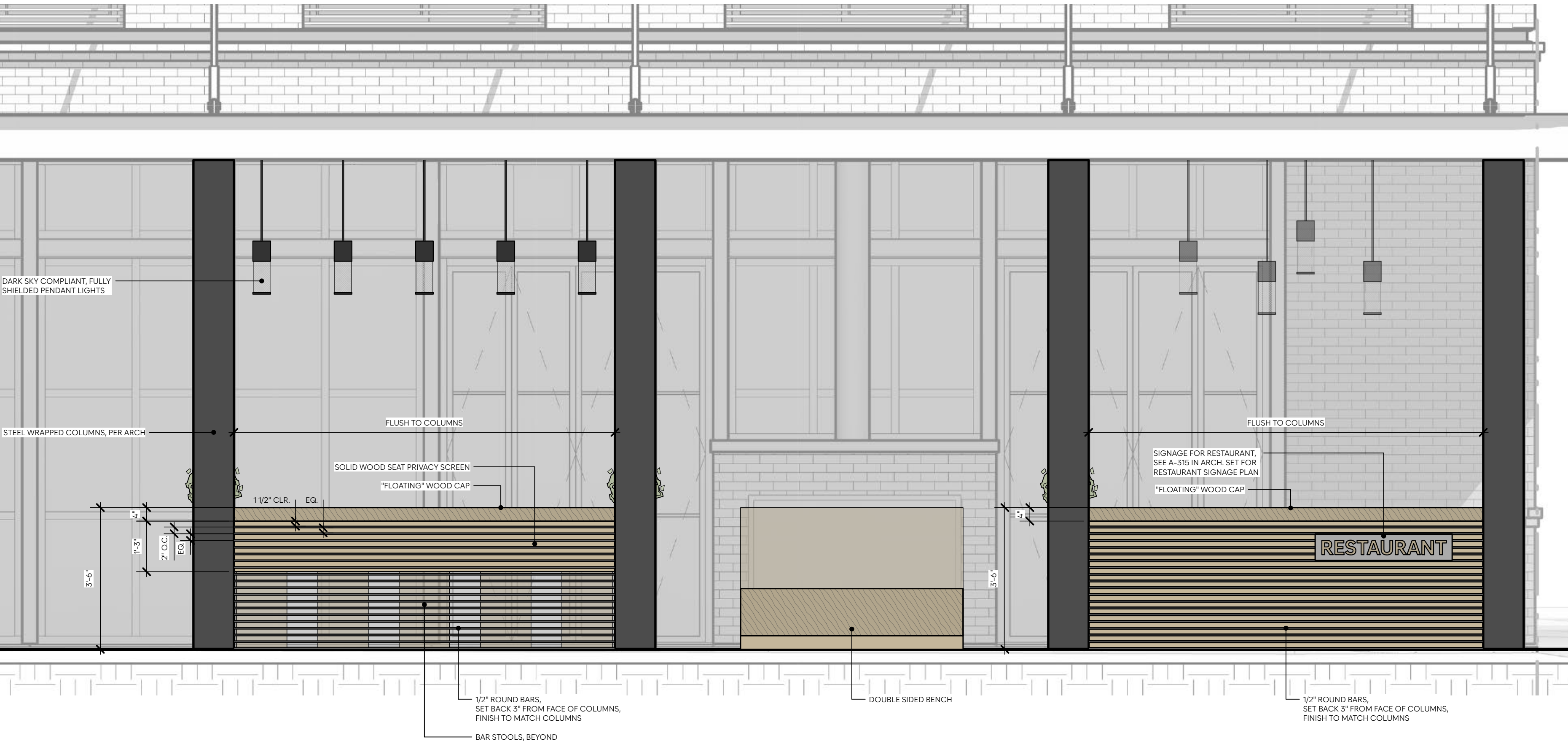
PLOT DATE

ISSUE

L2.0

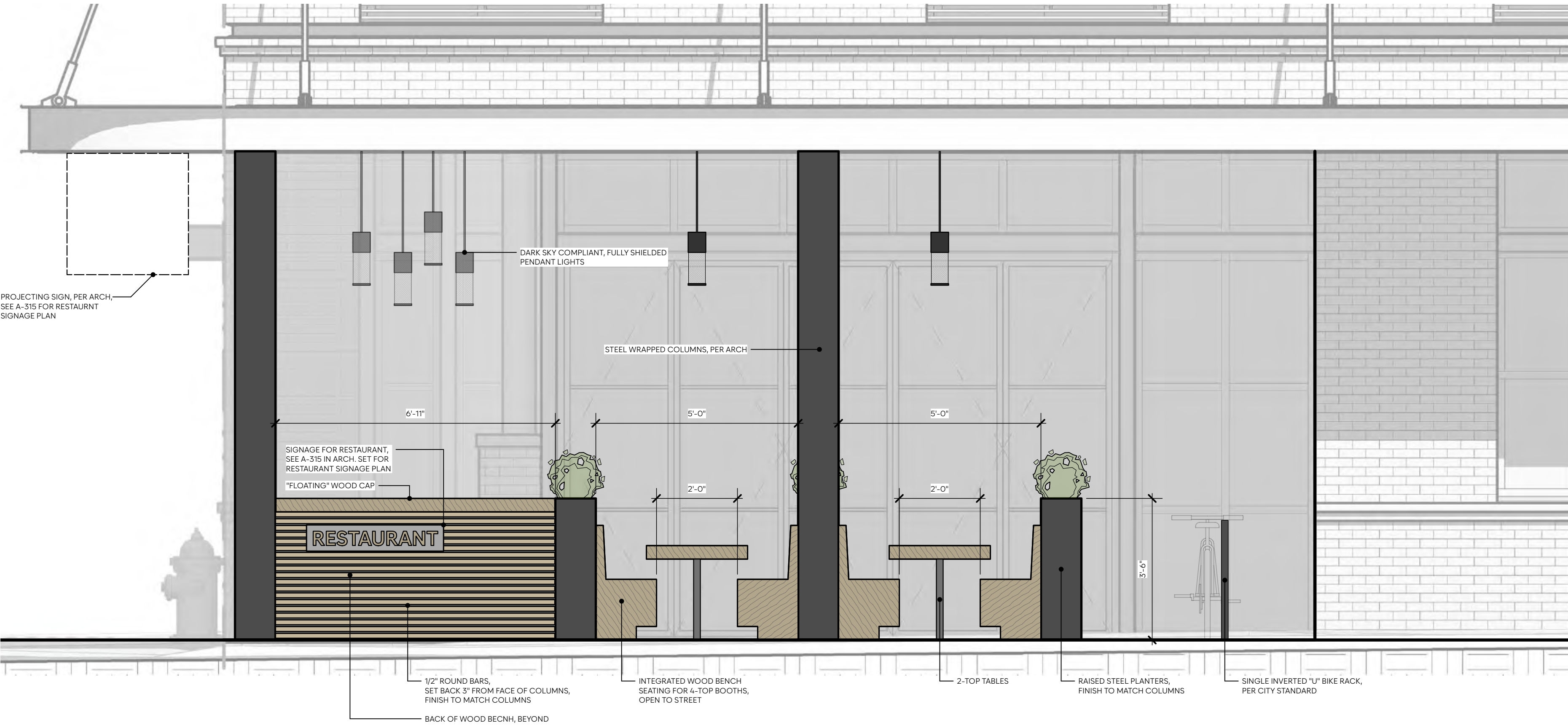
OUTDOOR DINING:
DESIGN FEATURE
HEIGHTS

OUTDOOR DINING ELEVATIONS



01 MAIN STREET ELEVATION

Scale: 1/2" = 1'-0"



02 SECOND STREET ELEVATION

Scale: 1/2" = 1'-0"

MATERIALS BOARD

①



②



③



④



⑤



MATERIALS KEY

- ① ROUND IRON BAR
FINISH: BLACK
- ② WOOD SLAB BAR TOP
MATERIAL: WALNUT
FINISH: CLEAR COAT
- ③ HANGING LIGHT FIXTURE
FINISH: BLACK
- ④ RAISED STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

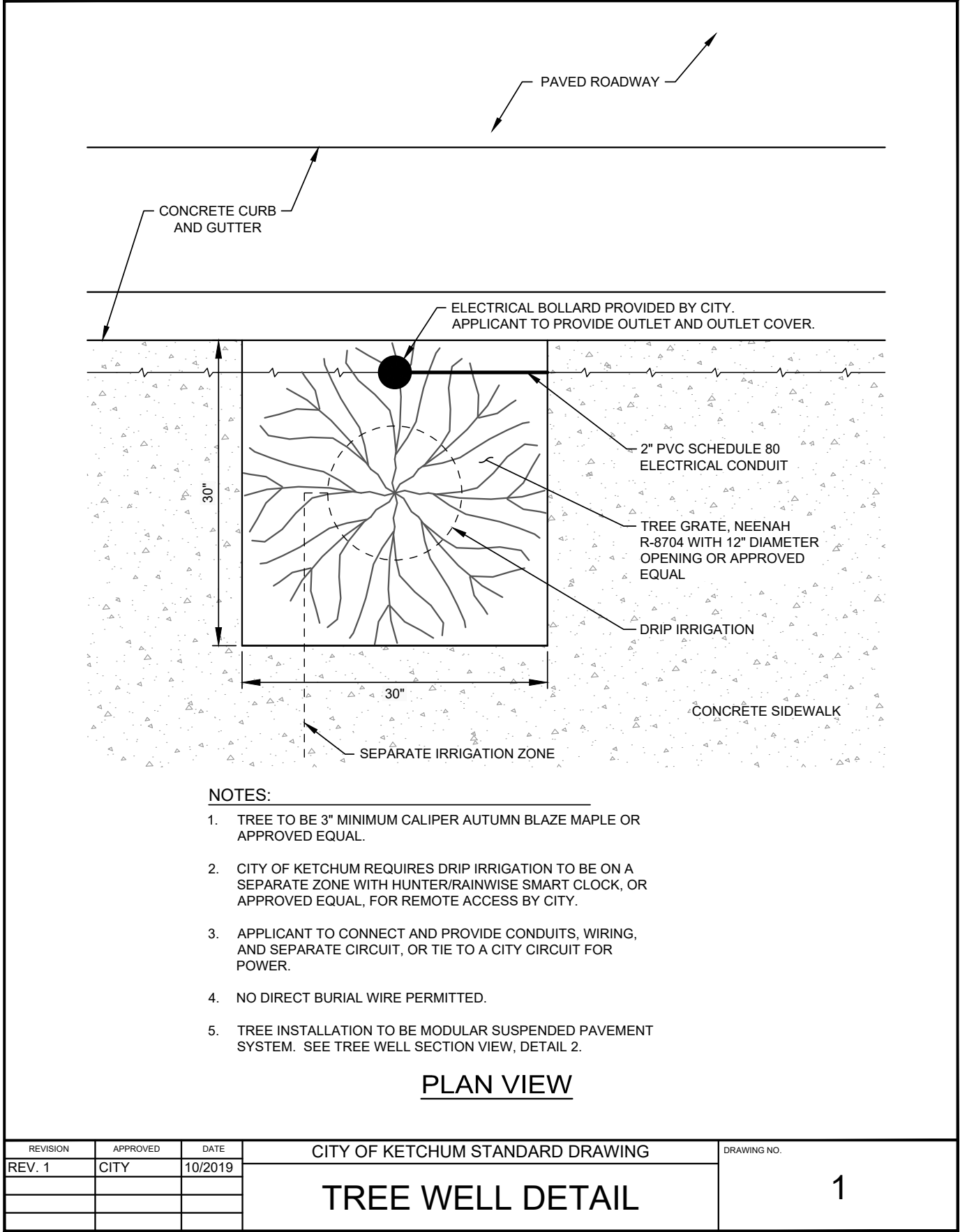
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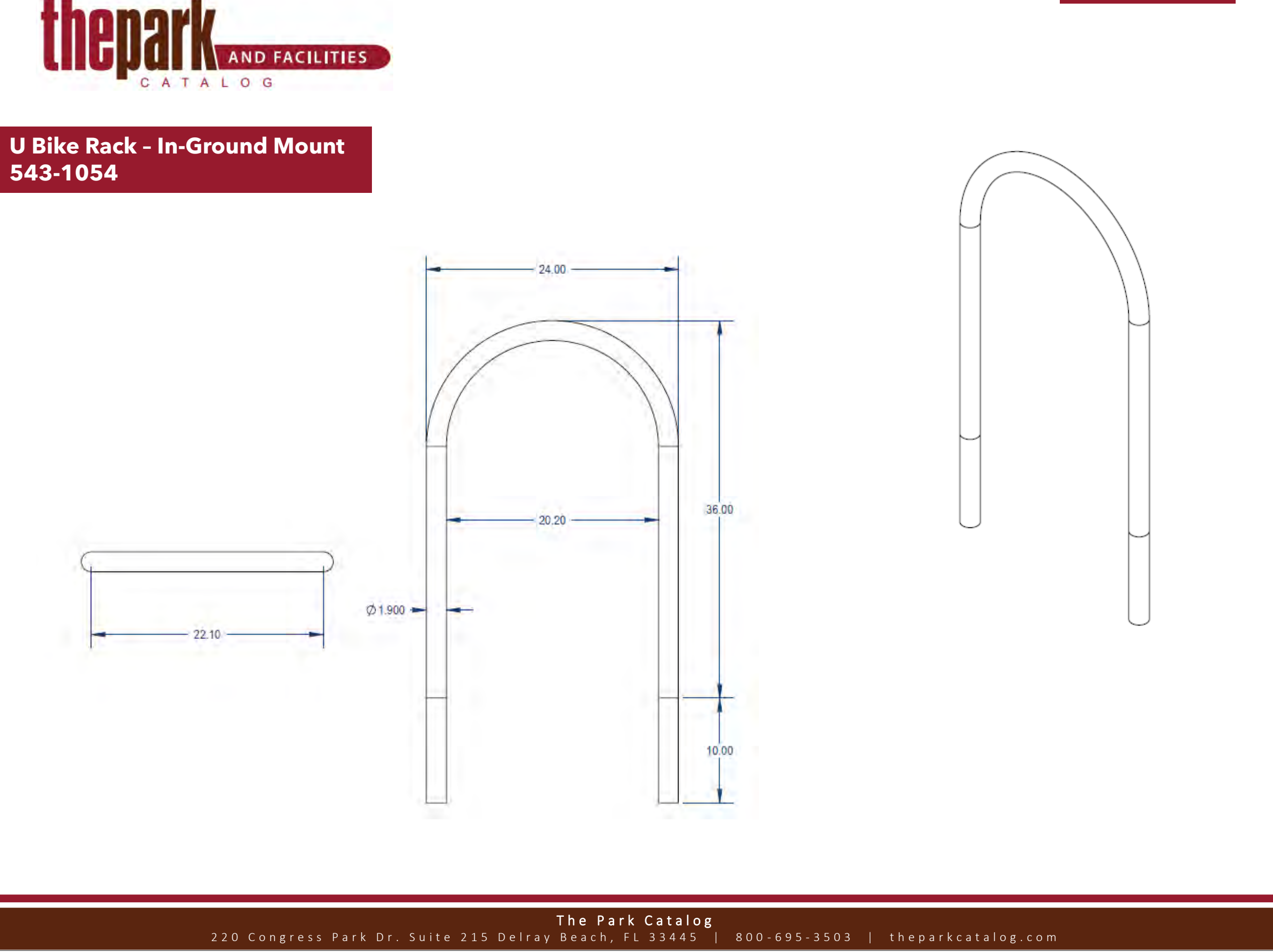
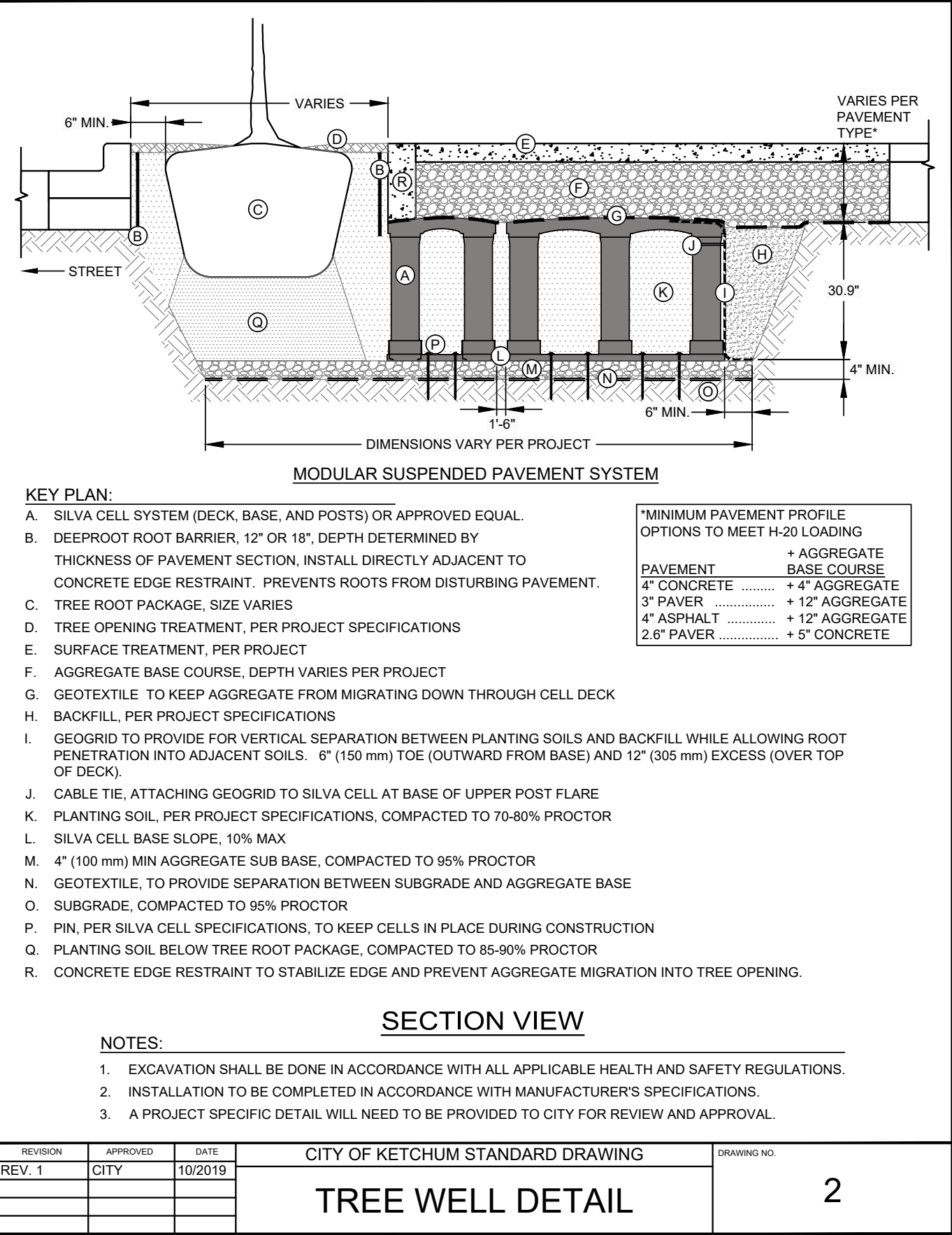
PLOT DATE

ISSUE

STREETSCAPE AND AMENITIES SPECIFICATIONS



01 TREE WELL
Scale: NTS



02 BIKE RACK
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS



03 PENDANT LIGHT (TYPE A)
Scale: NTS

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY

AB

PLOT DATE

1/16/24 10:00:30 AM

ISSUE

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
LED	Dining + Fire Pit	2	LED Strip Light	C
LED	Dining + Fire Pit	6	Wall Light (Recessed)	B
ZONE 2				
LED	North Bedroom	1	LED Strip Light	C

LIGHTING NOTES:

- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
- EXTERIOR LIGHTS TO BE ON TIMER AND OFF WHEN NOT IN USE
- FOR ARCHITECTURAL LIGHTING, SEE LSK-03

PLANT SCHEDULE

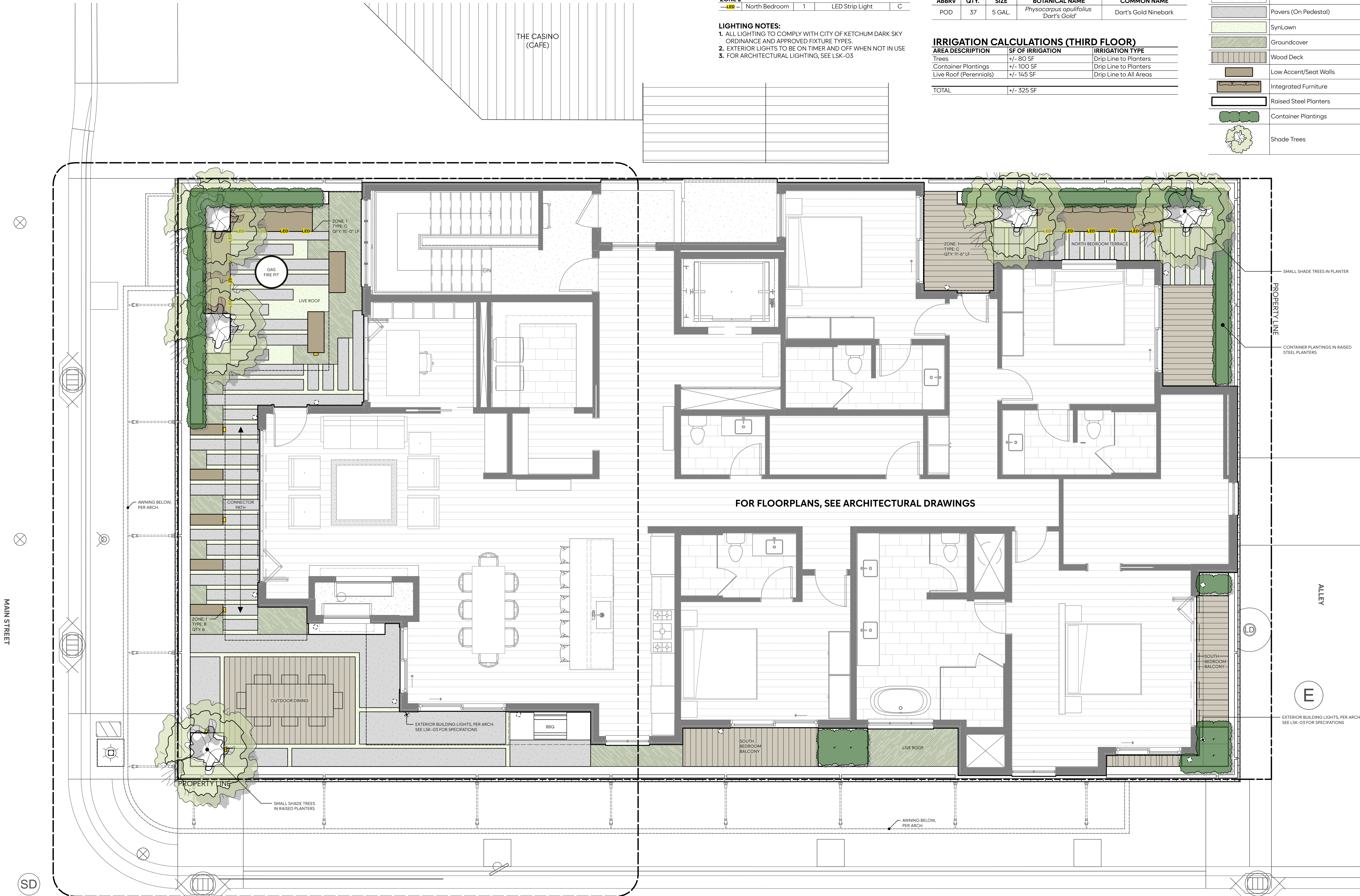
THIRD FLOOR TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer circinatum</i>	Vine Maple
THIRD FLOOR CONTAINER PLANTINGS (SHRUBS)				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
POD	37	5 GAL.	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Dart's Gold Ninebark

IRRIGATION CALCULATIONS (THIRD FLOOR)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Trees	+/- 80 SF	Drip Line to Planters
Container Plantings	+/- 100 SF	Drip Line to Planters
Live Roof (Perennials)	+/- 145 SF	Drip Line to All Areas
TOTAL	+/- 325 SF	

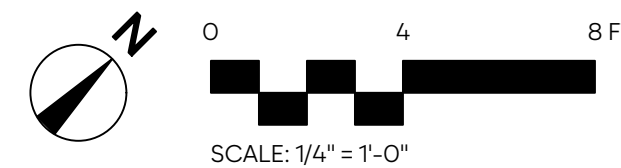
LEGEND

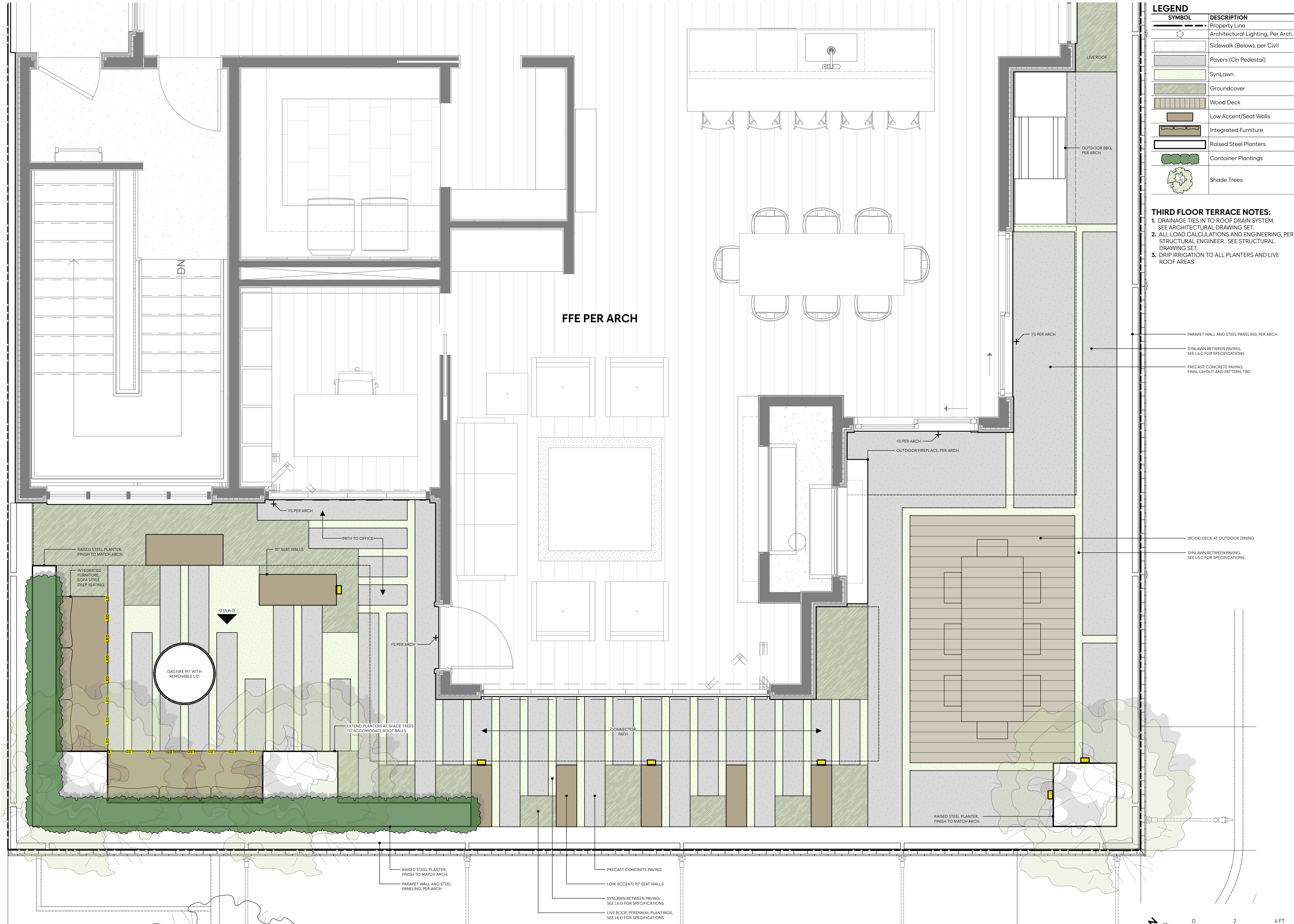
SYMBOL	DESCRIPTION
---	Property Line
⊙	Architectural Lighting, Per Arch.
▨	Sidewalk (Below), per Civil
▩	Pavers (On Pedestal)
▬	SynLawn
▨	Groundcover
▩	Wood Deck
▩	Low Accent/Seat Walls
▩	Integrated Furniture
▨	Raised Steel Planters
▨	Container Plantings
⊙	Shade Trees



FOR WEST TERRACE, SEE L5.1
NOTE: PLAN ROTATION OF 90° ON L5.1

SECOND STREET EAST





LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

- THIRD FLOOR TERRACE NOTES:**
1. DRAINAGE TIES IN TO ROOF DRAIN SYSTEM. SEE ARCHITECTURAL DRAWING SET.
 2. ALL LOAD CALCULATIONS AND ENGINEERING, PER STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWING SET.
 3. DRIP IRRIGATION TO ALL PLANTERS AND LIVE ROOF AREAS

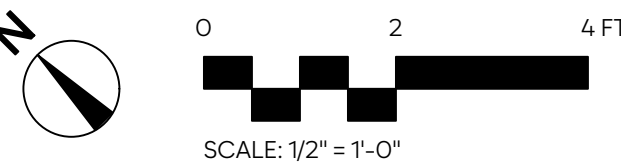
PARAPET WALL AND STEEL PANELING, PER ARCH.

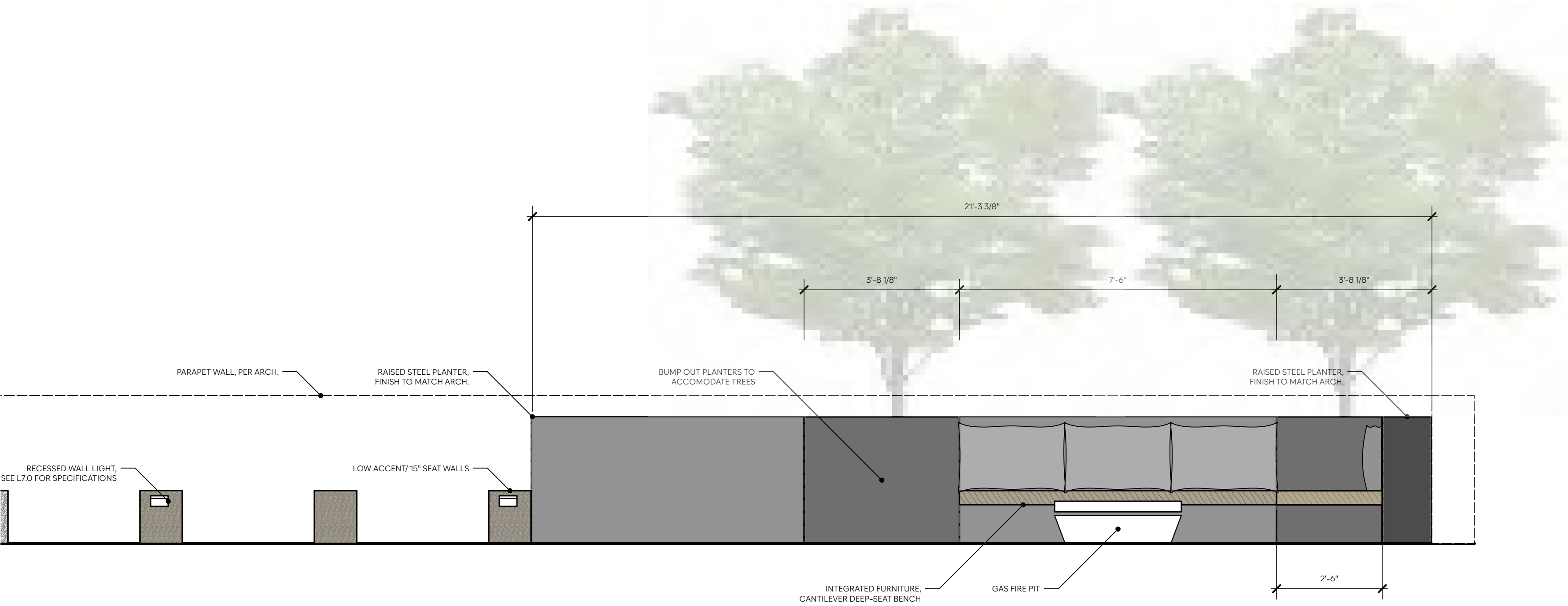
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS

PRECAST CONCRETE PAVING, FINAL LAYOUT AND PATTERN, TBD

WOOD DECK AT OUTDOOR DINING

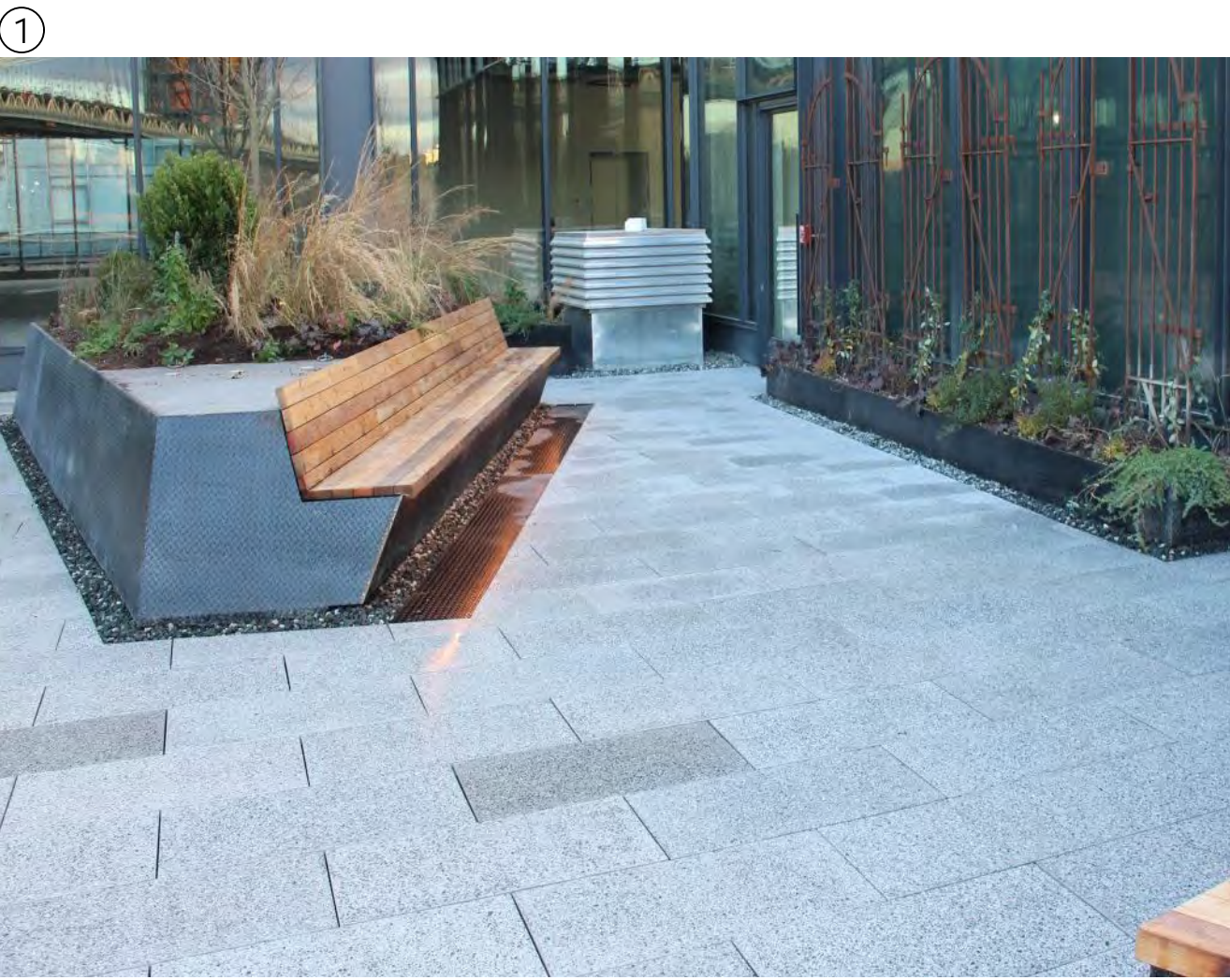
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS





01 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION

Scale: 1/2" = 1'-0"



MATERIALS KEY

- 1 PAVER
FINISH: GREY (NATURAL)
- 2 WOOD DECKING
MATERIAL: THERMORY
FINISH: NONE
- 3 WALL LIGHT
FINISH: BLACK
- 4 STEEL PLANTERS
FINISH: BLACK
- 5 WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY AB

1/16/24 10:00:31 AM

PLOT DATE

ISSUE

LiveRoof DEEP SYSTEM

Over Conventional Roofing Assembly

SIDE VIEW

The side view diagram illustrates the vertical profile of the LiveRoof DEEP SYSTEM. The layers from top to bottom are:

- LiveRoof Module**: The top layer, shown with a height of 2.98.
- LiveRoof Engineered Soil**: A layer of soil above the module, with a height of 3.02.
- LiveRoof Green Roof Plants**: Plants growing in the soil, with a height of 0.38.
- Approved Slip Sheet (Root Barrier / Protection Layer) *****: A layer below the soil, with a height of 0.38.
- EPDM, TPO or PVC Waterproofing Membrane**: A layer below the slip sheet.
- Fully Adhered or Mechanically Fastened Coverboard**: A layer below the waterproofing membrane.
- Fully Adhered or Mechanically Fastened Insulation**: The bottom layer.

Dimensions are indicated on the left and right sides. The total height of the assembly is 6.00. The height of the LiveRoof Module is 2.98. The height of the LiveRoof Engineered Soil is 3.02. The height of the LiveRoof Green Roof Plants is 0.38. The height of the Approved Slip Sheet is 0.38.

TOP VIEW (Empty Module)

The top view diagram shows the layout of the LiveRoof DEEP SYSTEM modules. The dimensions are:

- Module Width**: 24.00
- Module Height**: 12.00

Key features include:

- Drainage Holes**: Located in the center of each module.
- Ergonomic Handles**: Located on the sides of each module.

*** Examples of commonly used slip sheet include minimum 40mil EPDM, TPO, PVC polypropylene, Polyethin or other product depending type of roof and/or warranty. Installer to confirm compatibility of slip sheet and waterproofing membrane with waterproofing membrane manufacturer.

LiveRoof System Saturated Weight: 40-50 lbs / sf + Retention Layer (Varies)

NOT TO SCALE

ILLUSTRATIONS ARE TO CONCEPTUALLY ASSIST PROFESSIONALS IN DESIGNING LIVEROOF INSTALLATIONS. LIVEROOF DOES NOT ACCEPT RESPONSIBILITY FOR ENGINEERING BASED ON ILLUSTRATIONS. A QUALIFIED ROOFING SPECIALIST SHOULD BE CONSULTED TO DETERMINE APPROPRIATE WATERPROOFING AND ROOF DECK MATERIALS AND SUITABLE DESIGN.

DEEP Conventional
2022-11-8

LiveRoof, LLC
P.O. Box 533
Spring Lake, MI 49456

(800) 875-1392
www.liveroof.com

LiveRoof

OUTDOOR LIGHTING SPECIFICATIONS

- Easy installation into a recessed 2" x 4" jbox
- Deep regress of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

LEDs: Long-life, high-efficiency surface mount LEDs

Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%

Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Temperature	4000K	3000K	2700K
Input Watts	3	3	3
Output Lumens*	94	88	82
Color Accuracy (CRI)*	82	82	79

Lens: Tempered glass

Gaskets: High-temperature silicone

Finish: Our environmentally friendly polyester powder coatings are formulated for high durability and long-lasting color, and contain no VOC or toxic heavy metals.

*Performance for white models. For performance of bronze, black and silver, visit robweb.com

FSLED Horizontal
1' 6" Mounting Height
Photometric Report #ITL87576

FSLED Vertical
1' 6" Mounting Height
Photometric Report #ITL87584

Grid scales: Multiples of mounting height • Values shown in footcandles

Mounting Height	Multiplier
1' 0"	2.25
1' 6"	1.5
2' 0"	0.6
2' 6"	0.4
3' 0"	0.3

Product Family	Orientation	Wattage	Color Temperature	Finish	Voltage	Trim Options
FSLED	H	3	YY	B	/120	
	H Horizontal V Vertical	3 3W	N 4000K Y 3000K YY 2700K	Blank W White B Black	/120 120V /277 277V	Blank /TL Surface Plate Trimless Mount

02 SYNLAWN
Scale: NTS





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LIGHT TRESSPASS

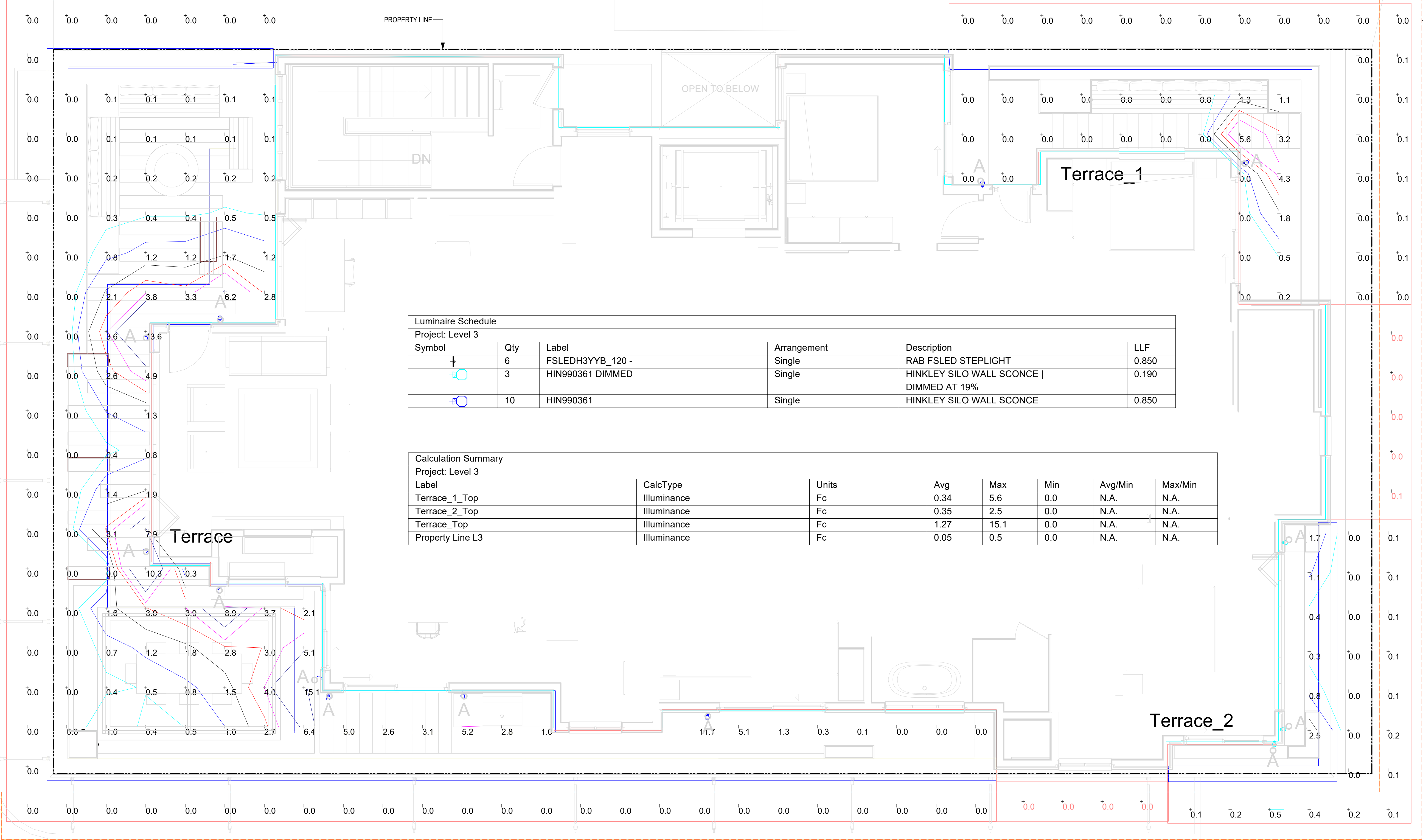
Illuminance (Fc)
Average = 0.20
Maximum = 0.8
Minimum = 0.0

Property Line L1

Illuminance (Fc)
Average = 0.19

Luminaire Schedule					
Project: Level 1					
Symbol	Qty	Label	Arrangement	Description	LLF
	5	2302BK_1	Single	HINKLEY ARIA PENDANT DIMMED AT 15%	0.150
	5	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED_1	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 25%	0.250
	7	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 8%	0.080
	2	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
	6	2302BK	Single	HINKLEY ARIA PENDANT DIMMED AT 40%	0.400

Calculation Summary							
Project: Level 1							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bar_Planar	Illuminance	Fc	5.34	6.4	3.6	1.48	1.78
GROUNDPLANE 1_Planar	Illuminance	Fc	0.93	5.6	0.0	N.A.	N.A.
Tabletop_1_Tabletop_1	Illuminance	Fc	5.48	8.0	3.4	1.61	2.35
Tabletop_2_Planar	Illuminance	Fc	4.50	6.7	1.9	2.37	3.53
Tabletop_3_Planar	Illuminance	Fc	3.53	3.8	3.2	1.10	1.19
Tabletop_4_Planar	Illuminance	Fc	4.53	5.0	4.0	1.13	1.25
LIGHT TRESSPASS	Illuminance	Fc	0.20	0.8	0.0	N.A.	N.A.
Property Line L1	Illuminance	Fc	0.19	0.7	0.0	N.A.	N.A.



ILLUMINANCE AVG
OUTSIDE OF
PROPERTY LINE

Property Line L3
Illuminance (Fc)
Average = 0.05

Luminaire Schedule					
Project: Level 3					
Symbol	Qty	Label	Arrangement	Description	LLF
⬇	6	FSLEDH3YYB_120 -	Single	RAB FSLED STEPLIGHT	0.850
⬆	3	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⬆	10	HIN990361	Single	HINKLEY SILO WALL SCONCE	0.850

Calculation Summary								
Project: Level 3								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Terrace_1_Top	Illuminance	Fc	0.34	5.6	0.0	N.A.	N.A.	
Terrace_2_Top	Illuminance	Fc	0.35	2.5	0.0	N.A.	N.A.	
Terrace_Top	Illuminance	Fc	1.27	15.1	0.0	N.A.	N.A.	
Property Line L3	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.	

Terrace

Terrace_2

WALL SCONCE ('A')
- MOUNTING HEIGHT 7'6" UON ON LIGHTING PLANS

RECESSED CAN LIGHTS ('B')
- MOUNTING HEIGHT 12' UON ON LIGHTING PLANS

RECESSED CAN STREETLIGHTS ('D')
- MOUNTING HEIGHT 12'
- TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)

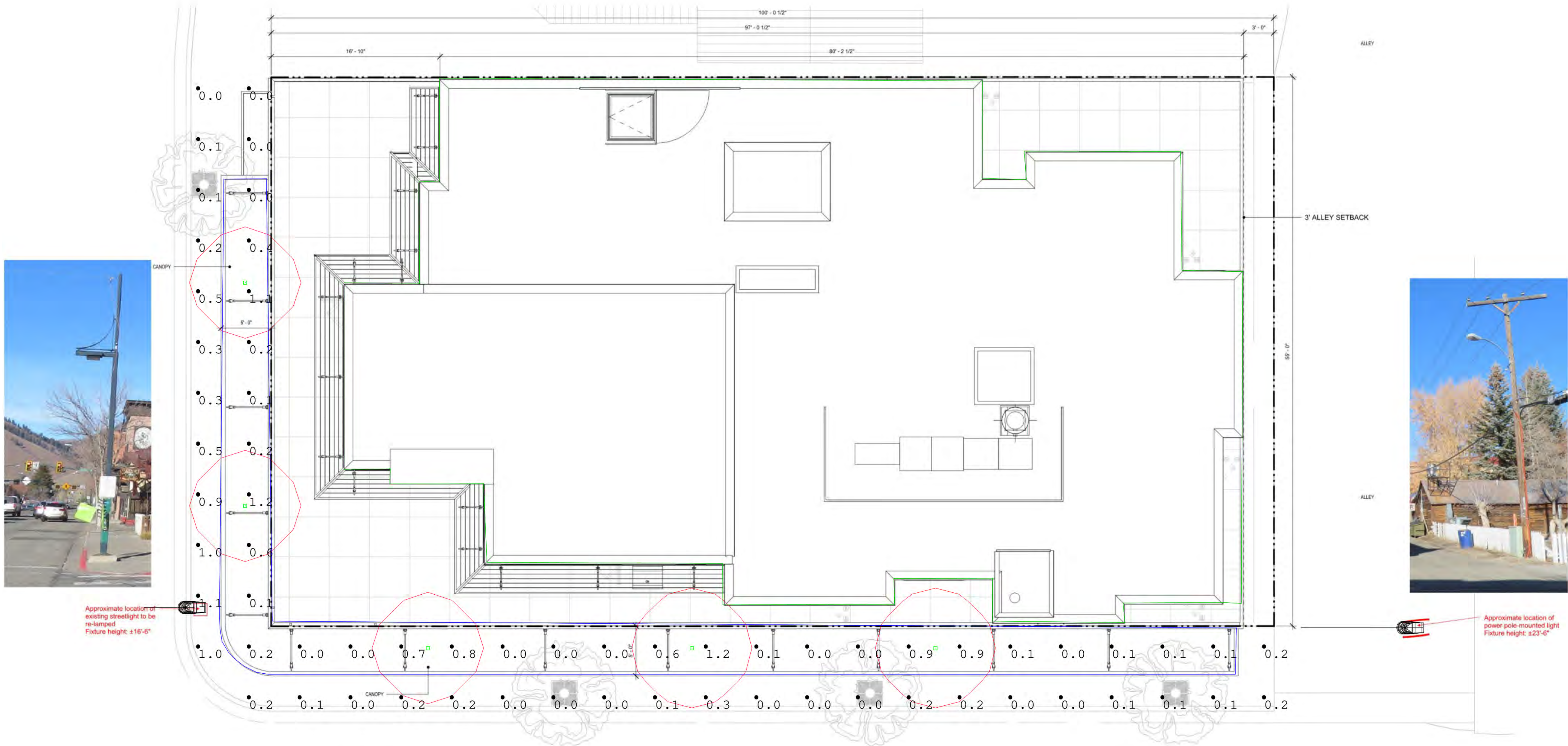
HANGING LANTERN ('C')
- MOUNTING HEIGHT 8'6" ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

STEP LIGHTS ('E')
 - MOUNTING HEIGHT 12" UON ON LIGHTING PLANS
 - REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



PROJECT NORTH TRUE NORTH

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1/17/2024



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	1	ERLC_03C527____-120-277V	SINGLE	N.A.	0.900	ERLC_03C527____-120-277V
	1	800 Lumens ERLC	SINGLE	N.A.	0.300	ERLC_03C527____-120-277V
	3	LFR 4%	SINGLE	N.A.	0.040	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S
	2	LFR 5%	SINGLE	N.A.	0.050	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.28	1.2	0.0	N.A.	N.A.

PHOTOMETRIC PLAN PREPARED BY THE MH COMPANIES

STREETLIGHT PHOTOMETRIC

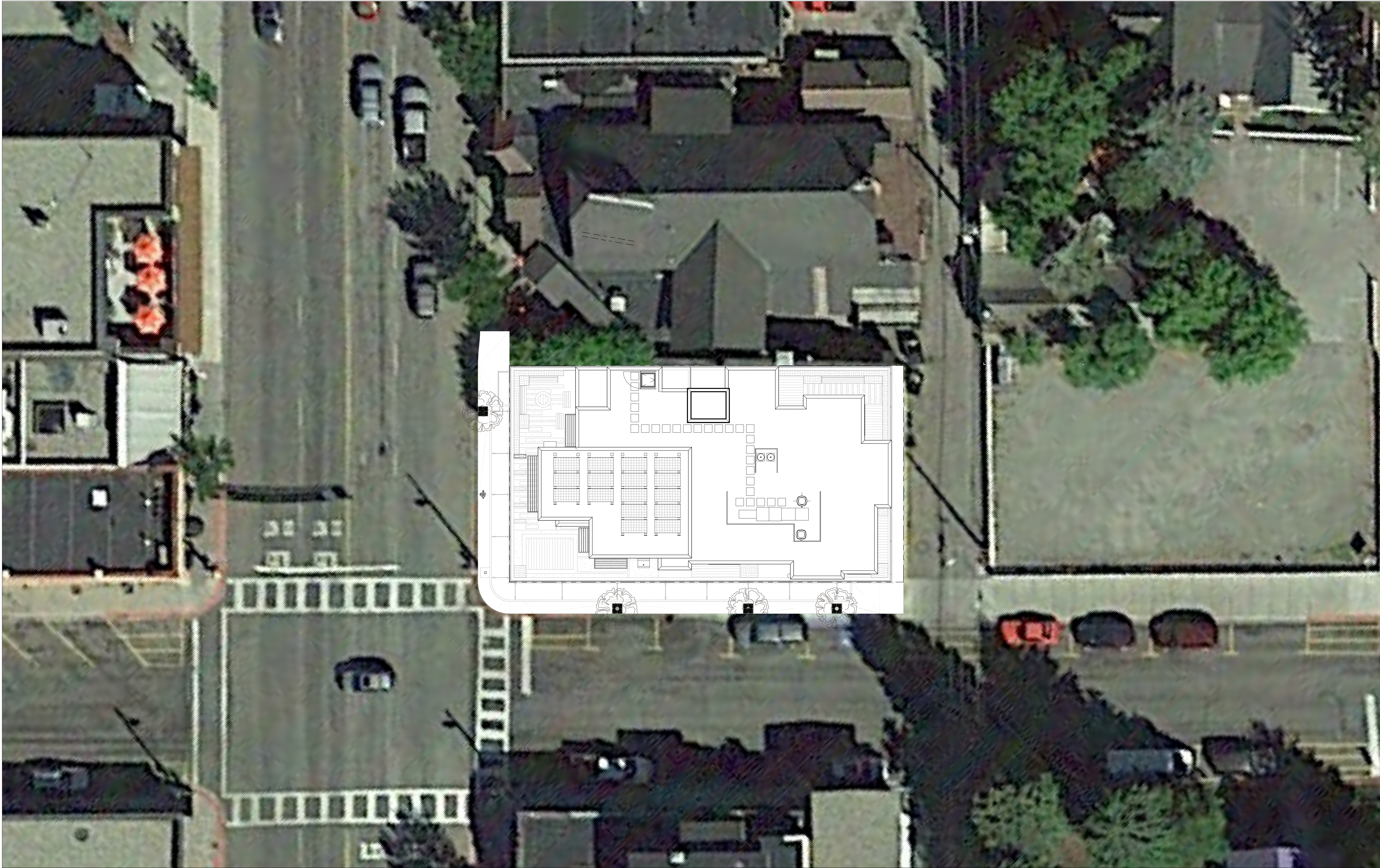
SCALE: N.T.S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN

ZONING
ZONING: CC-1 COMMUNITY CORE, RETAIL

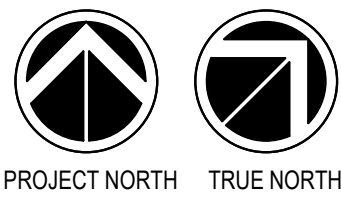
SITE DIMENSIONS & AREAS
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION
RESIDENTIAL GROUP R-2
STORAGE GROUP S-2
ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE
CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
BUILDING AREA (GROSS): 12,398 SF

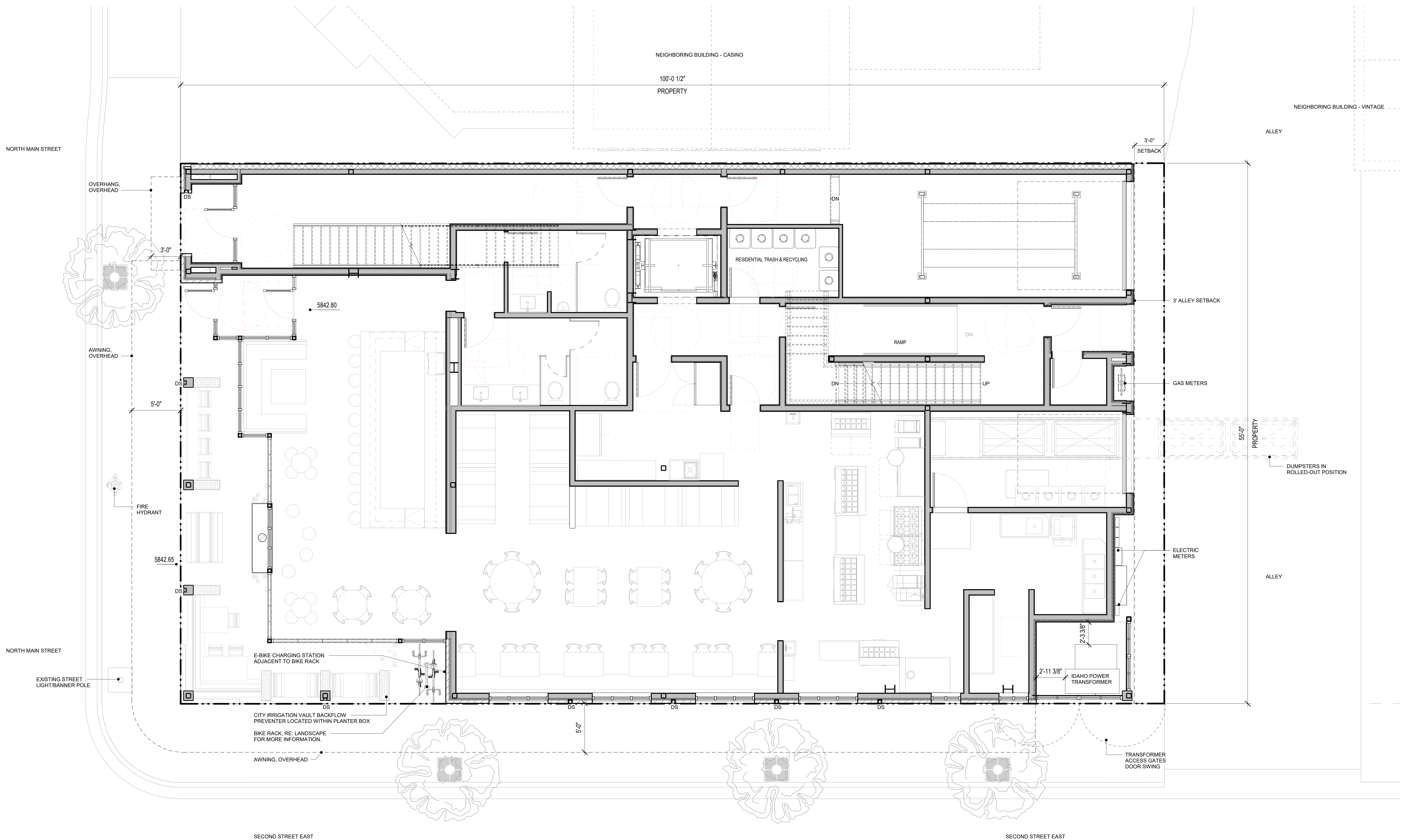


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

ZONING
ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

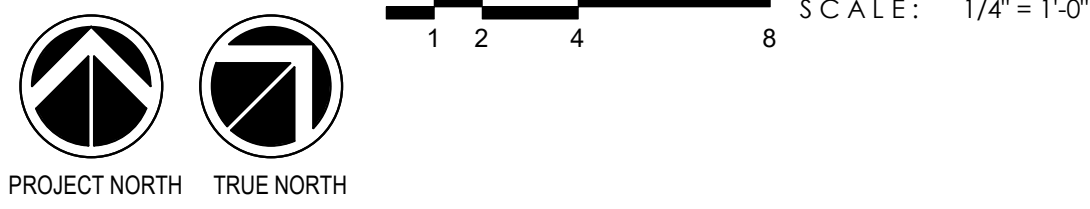
USE & OCCUPANCY CLASSIFICATION
RESIDENTIAL GROUP R-2
STORAGE GROUP S-2
ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE
CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
BUILDING AREA (GROSS): 12,398 SF

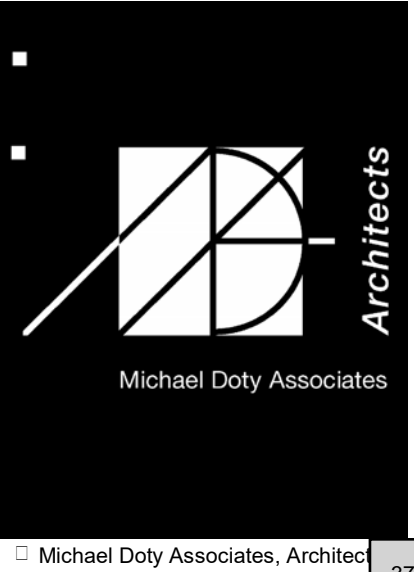
DRAWING NOTES
ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

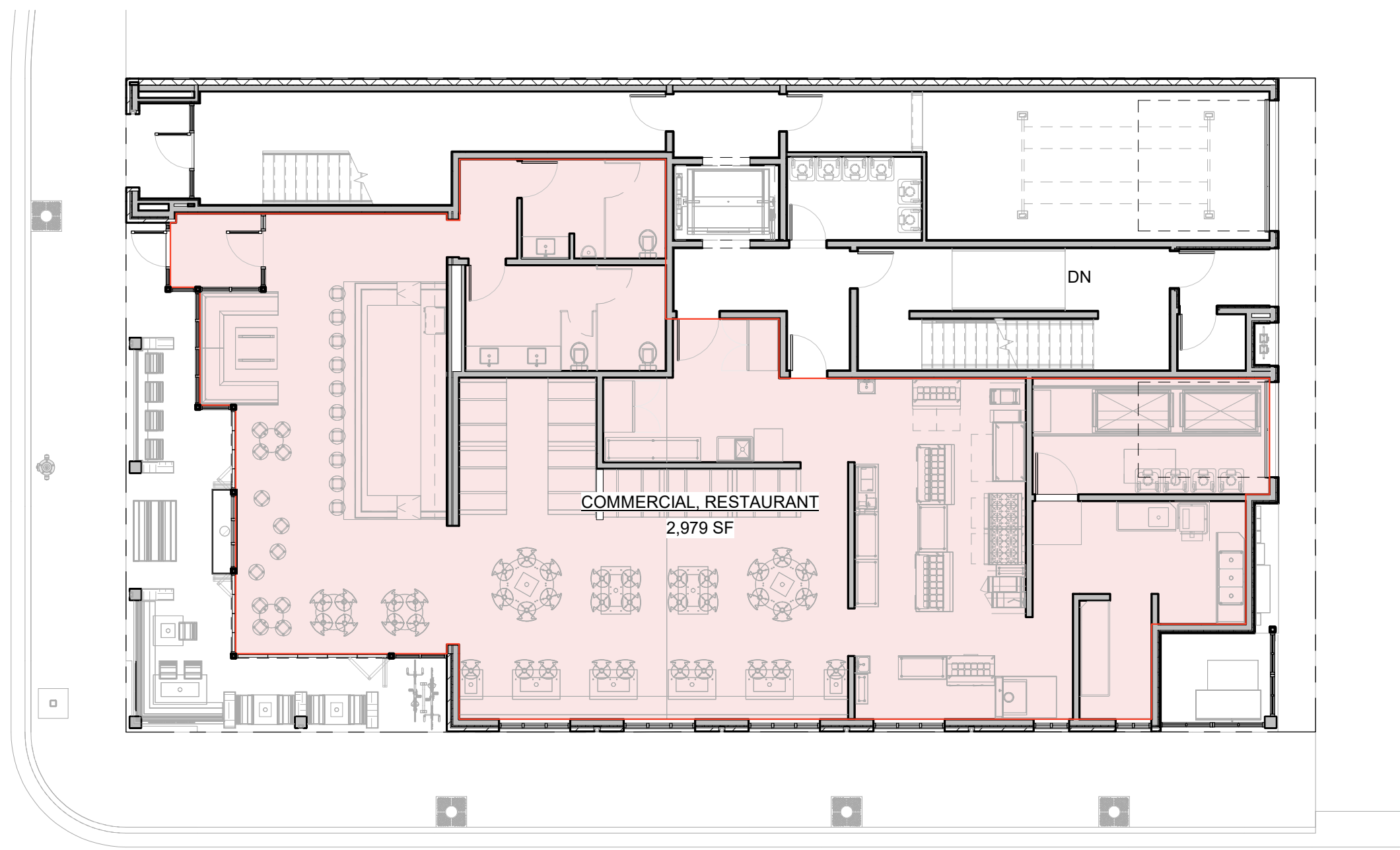


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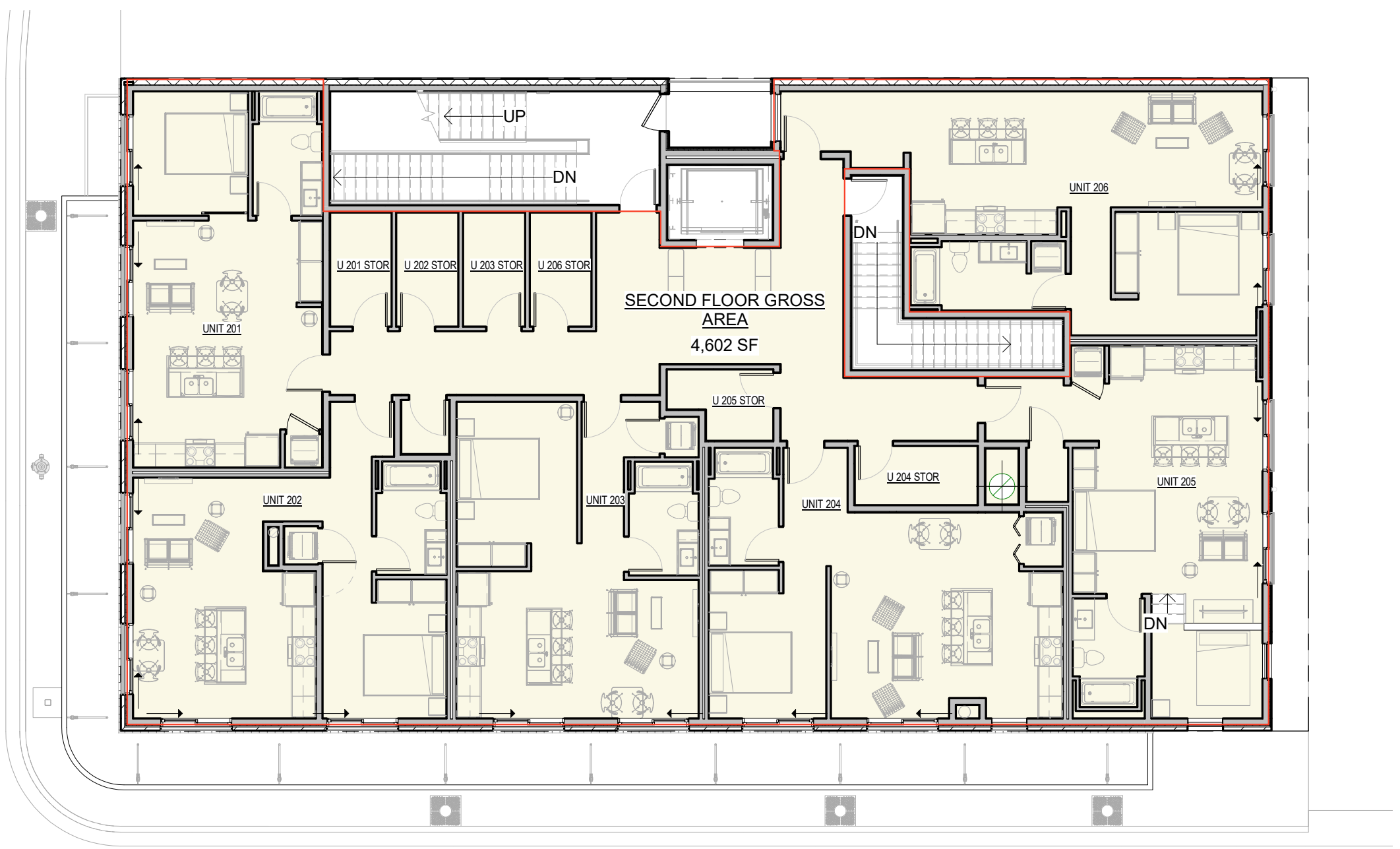
200 N. MAIN ST.
KETCHUM, ID 83340

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1/17/2024





GROUND FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"

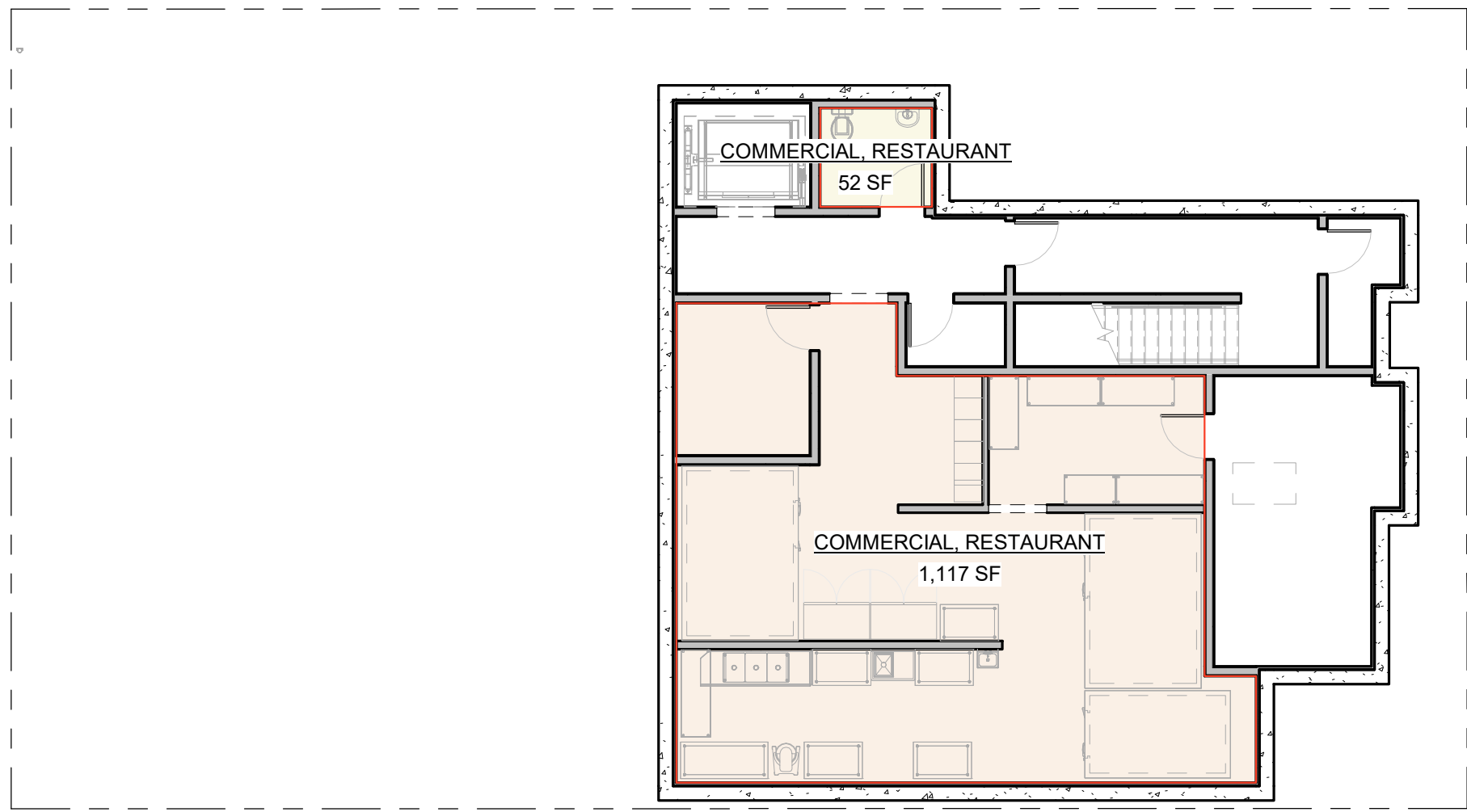


SECOND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

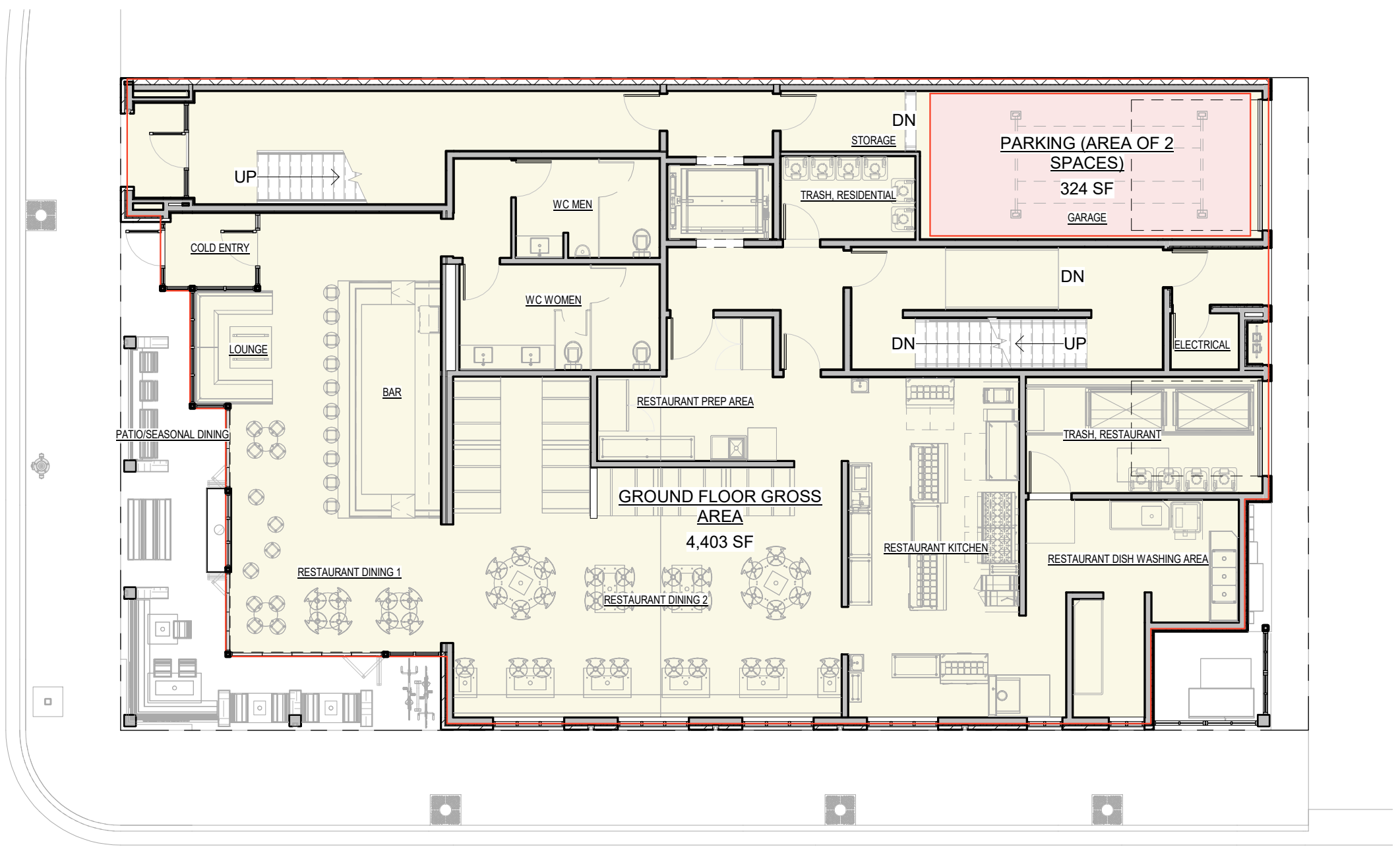
AREA SCHEDULE		
AREA NAME	AREA	NOTES
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA
	2,117 SF	
GROUND FLOOR GROSS AREA	4,403 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA
PARKING (AREA OF 2 SPACES)	324 SF	
	4,727 SF	
SECOND FLOOR GROSS AREA	4,602 SF	
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	
	3,393 SF	
TOTAL FLOOR AREA	14,839 SF	

AREA SCHEDULE - GROSS - FAR		
AREA NAME	AREA	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL
	4,403 SF	
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	THIRD FLOOR
	3,393 SF	
TOTAL GROSS FLOOR AREA*	12,398 SF	

*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS



BASEMENT FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



GROUND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE - NET - COMMERCIAL		
AREA NAME	AREA	LEVEL
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL
	1,169 SF	
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL
	2,979 SF	
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF	

FLOOR AREA RATIO

BUILDING GROSS AREA
TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES
12,398 SF

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA
 $12,398 \div 5,503 =$
2.25 FAR

ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

MINIMUM HOUSING DENSITY
DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA =
 $4,148 \div 12,398 =$
33%
3 RESIDENTIAL UNITS REQUIRED
7 RESIDENTIAL UNITS PROVIDED
4 RESIDENTIAL UNITS OVER MINIMUM

ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

GROUND FLOOR NET COMMERCIAL AREA
2,979 SF

GROUND FLOOR GROSS AREA
4,403 SF

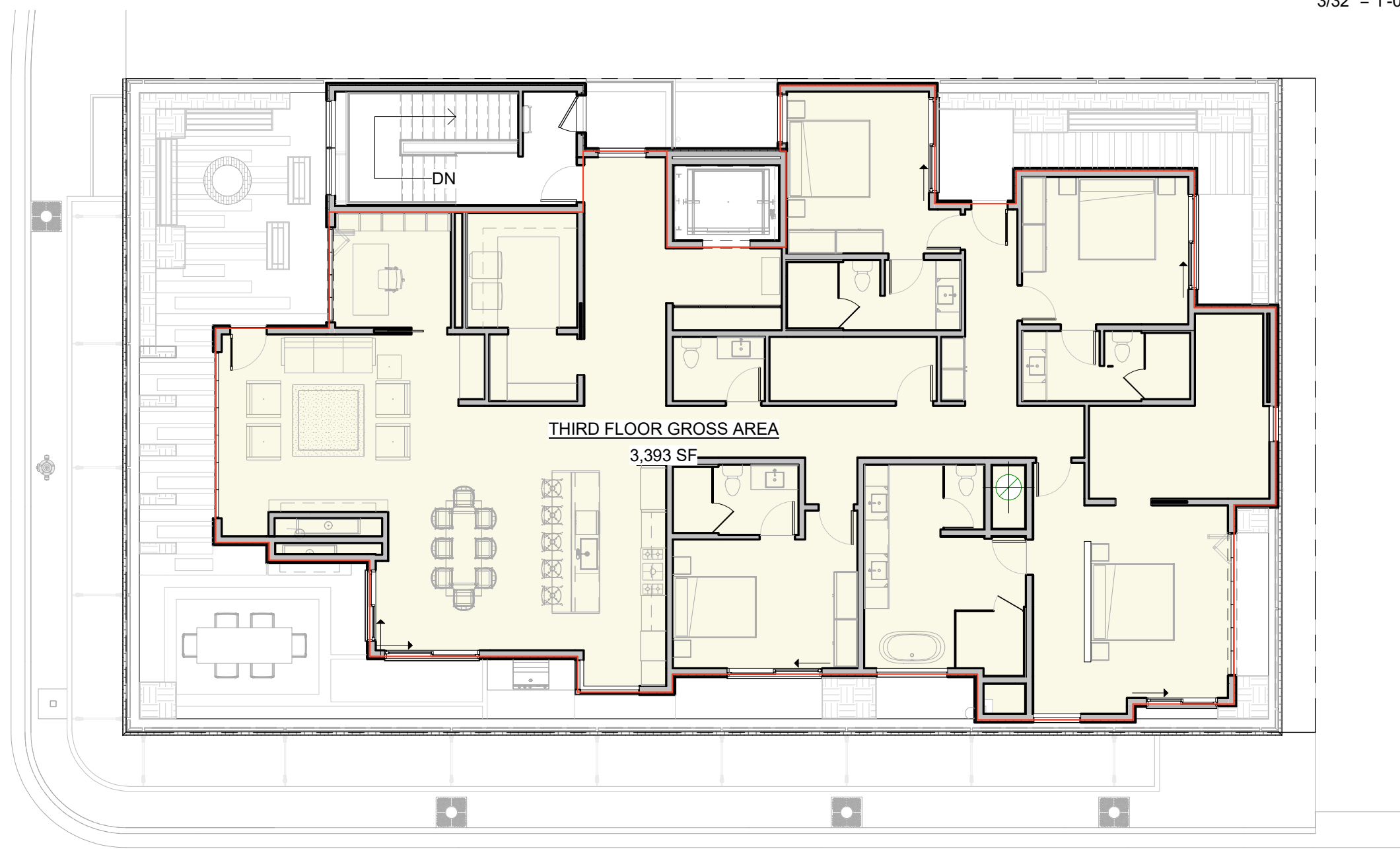
GROUND FLOOR COMMERCIAL AREA RATIO
DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA
 $2,979 \div 4,403 =$
68% OF GROUND FLOOR AREA IS COMMERCIAL
13% OVER MINIMUM 55%

INCLUSIONARY HOUSING INCENTIVE CALCULATION

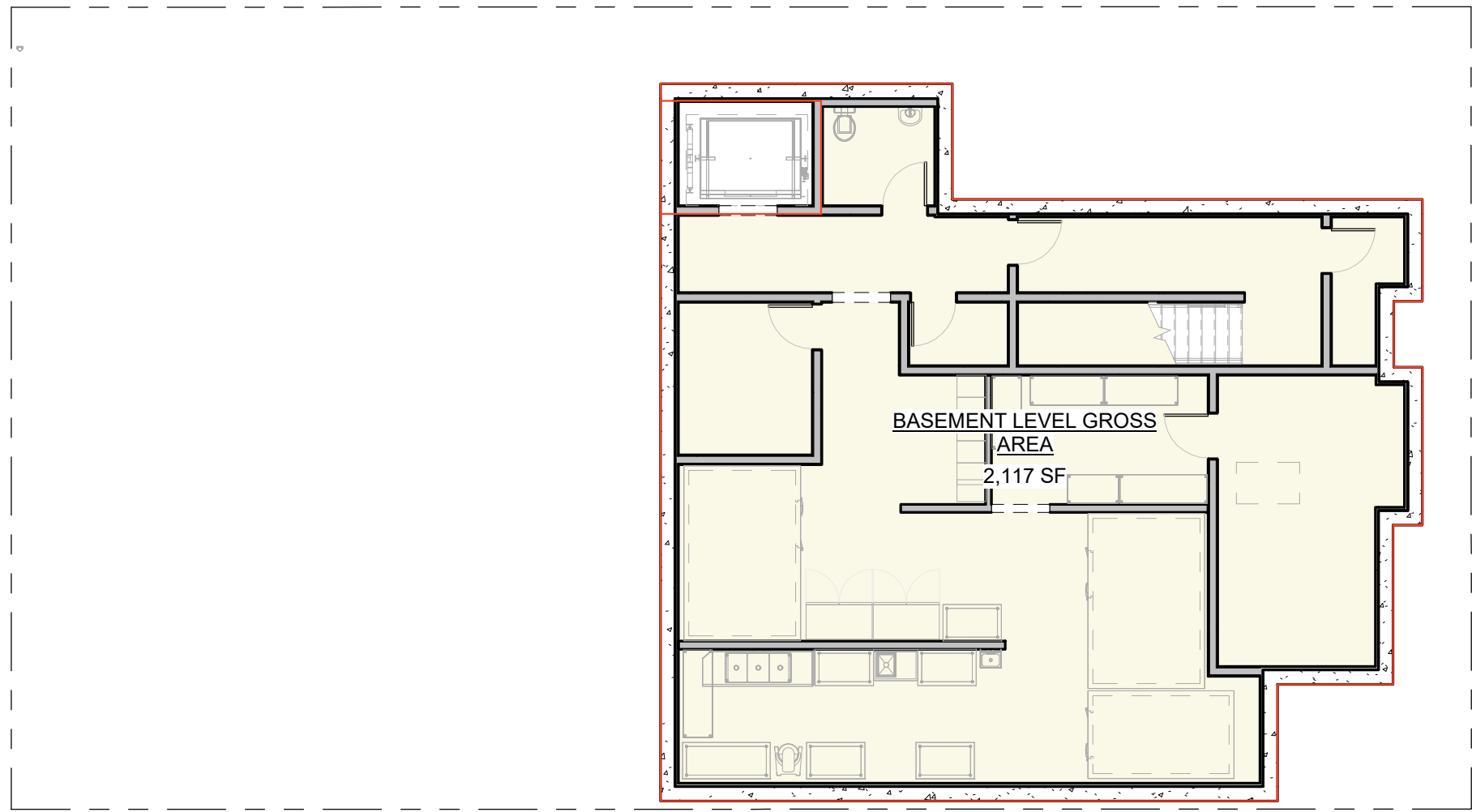
BUILDING GROSS AREA OVER 1.0 FAR
 $12,398 \text{ SF} - 5,503 \text{ SF (1.0 FAR)} = 6,895 \text{ SF}$

REQUIRED AREA OF DEED RESTRICTED HOUSING
 $6,895 \text{ SF} \times 20\% = 1,379 \text{ SF}$
 $1,379 \text{ SF} - 15\% \text{ (NET LIVABLE)} = 1,172 \text{ SF REQUIRED AS DEED RESTRICTED}$

COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
 $\text{UNIT 205 (600 SF)} + \text{UNIT 206 (692)} = 1,292 \text{ SF DEED RESTRICTED PROVIDED}$



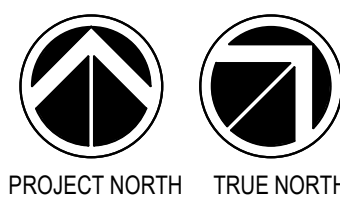
THIRD FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



BASEMENT FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

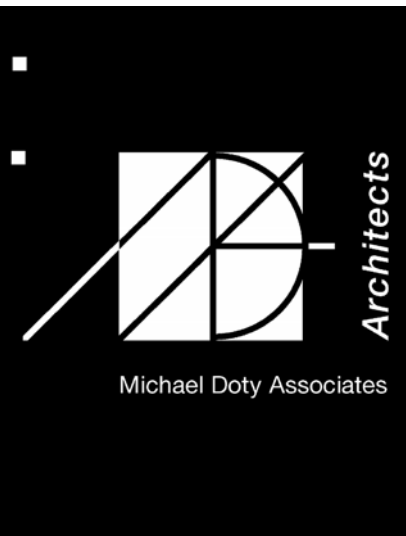
SCALE: 3/32" = 1'-0"

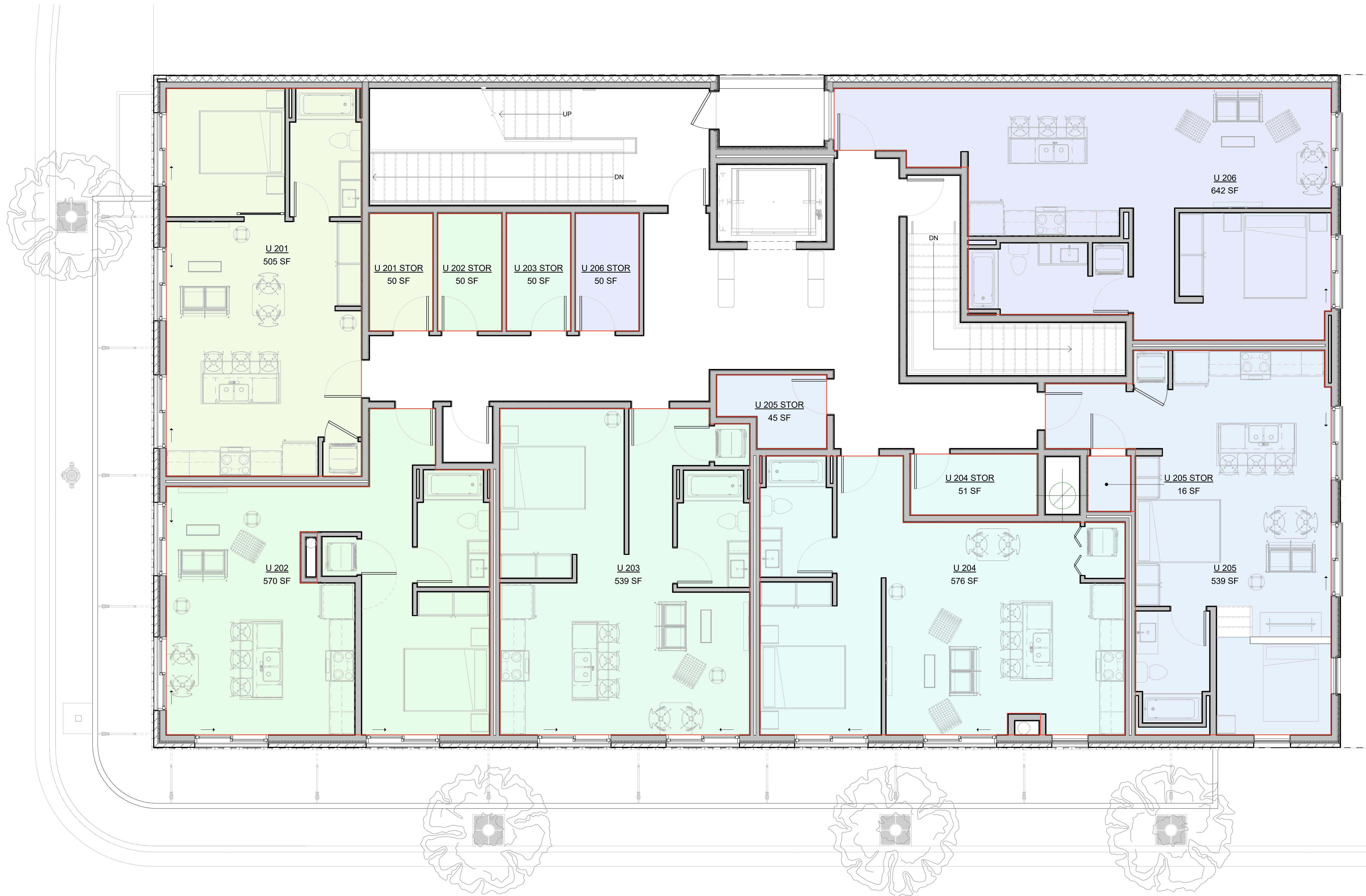


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

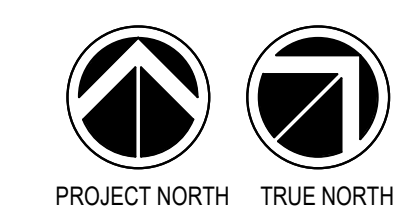




AREA SCHEDULE 2ND FLOOR RESIDENTIAL UNITS	
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS

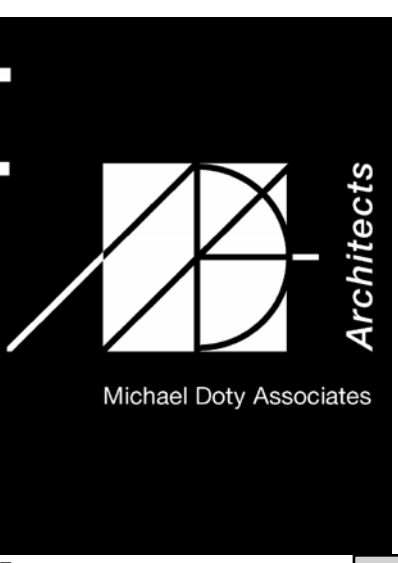
SCALE: 1/4" = 1'-0"



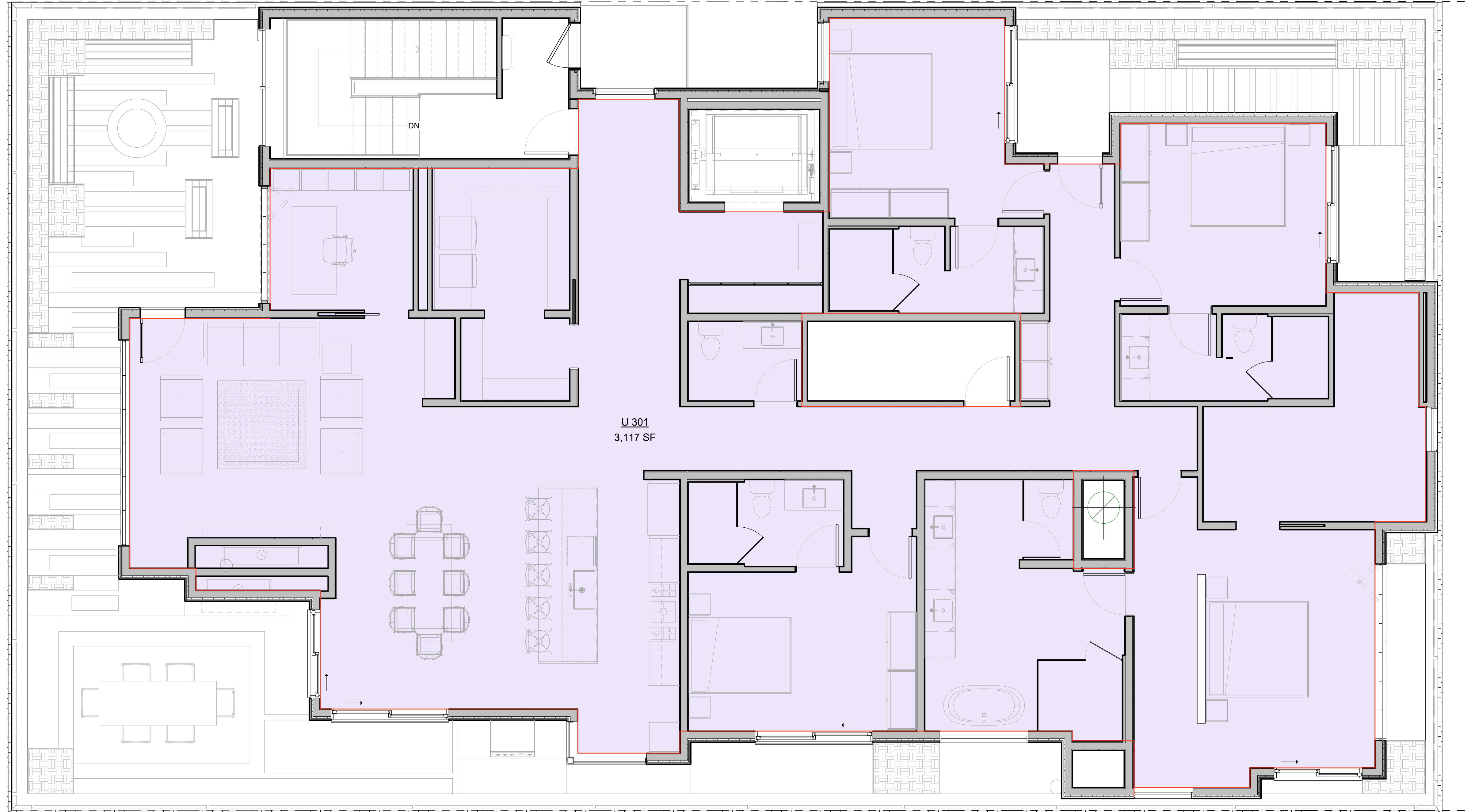
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DESIGN REVIEW 2
1/17/2024



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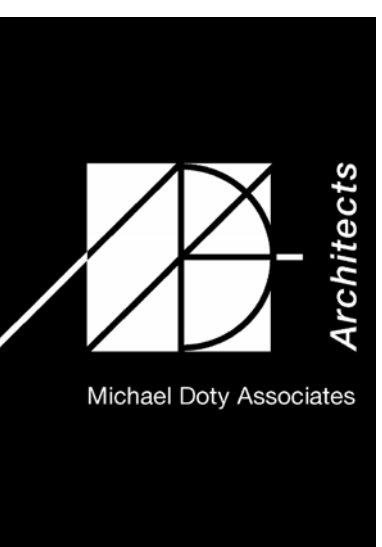
PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

SCALE: 1/4" = 1'-0"

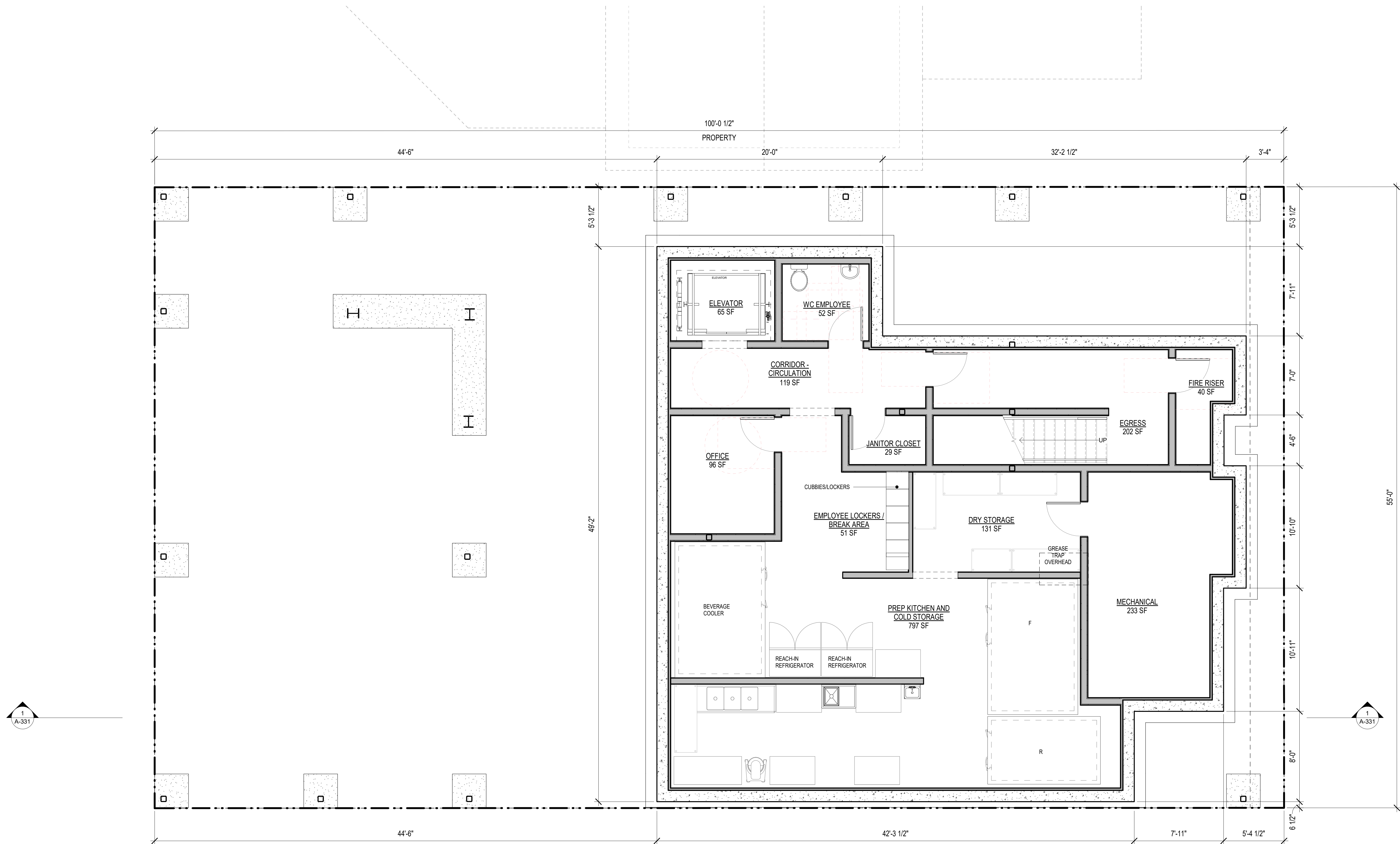
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SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: $\pm 55' \times \pm 100' = \pm 5503 \text{ SF} = \pm 0.126 \text{ ACRE}$

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

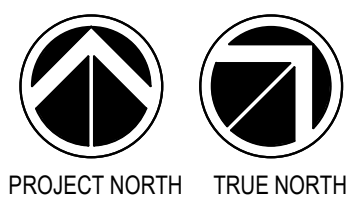
USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

PROPOSED BASEMENT PLAN

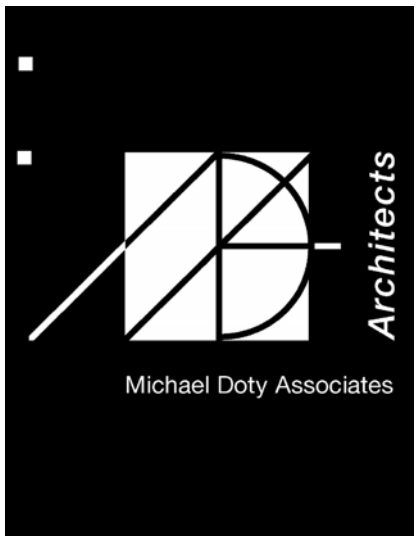


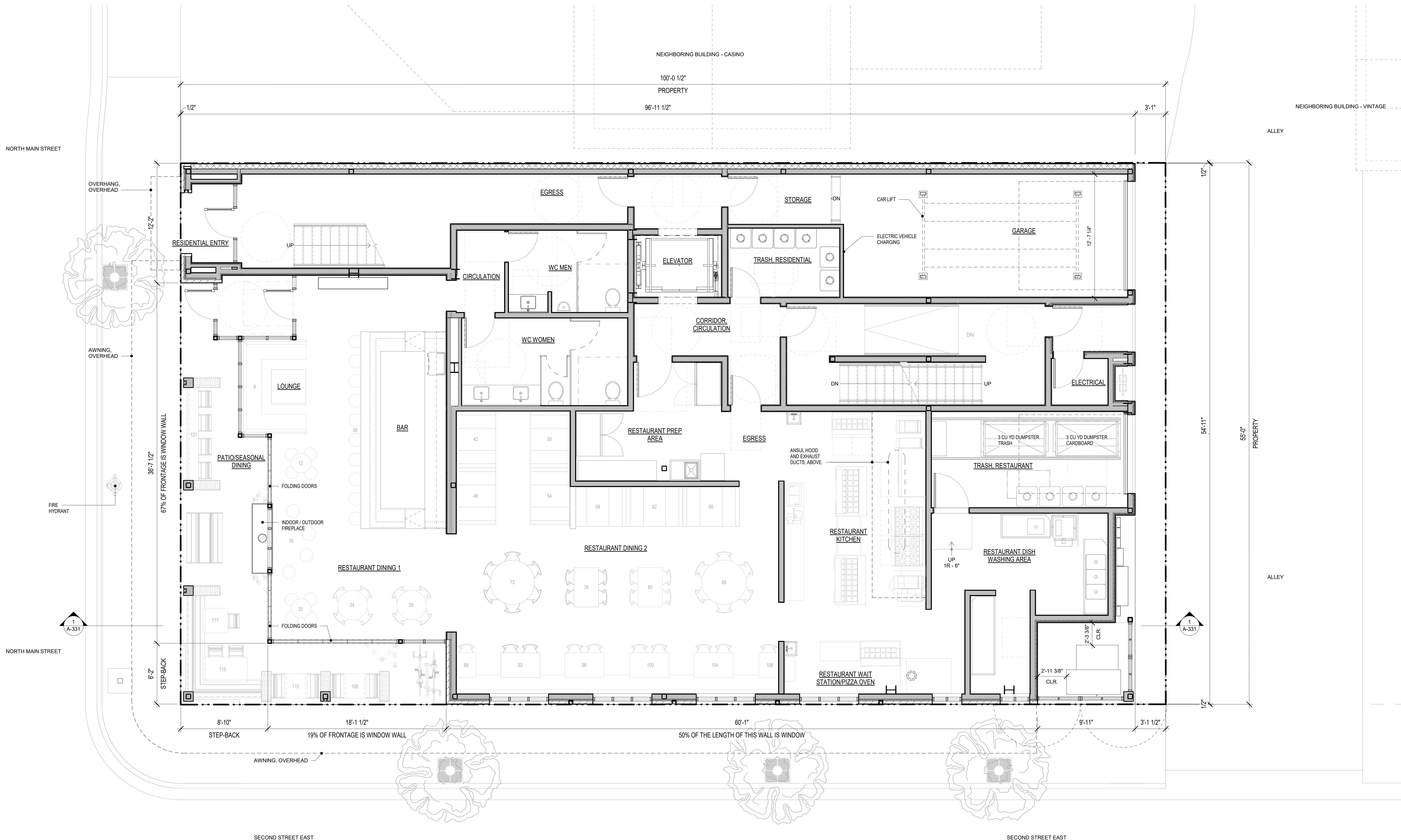
SCALE: 1/4" = 1'-0"

200 NORTH MAIN

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KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED GROUND FLOOR PLAN

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW
MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT
AND HAULING OFF-SITE.

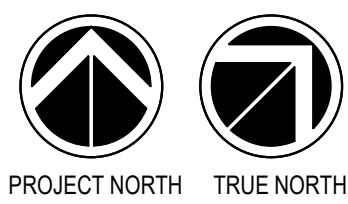
CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND
TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

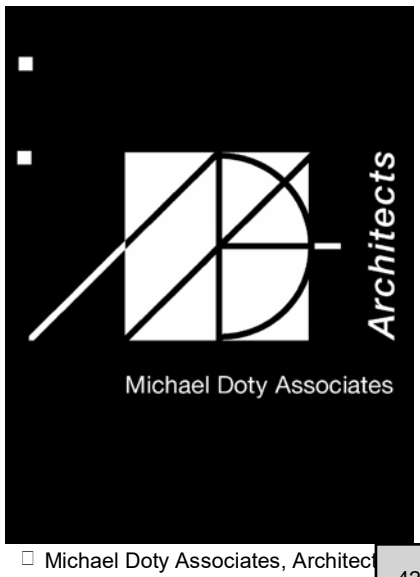


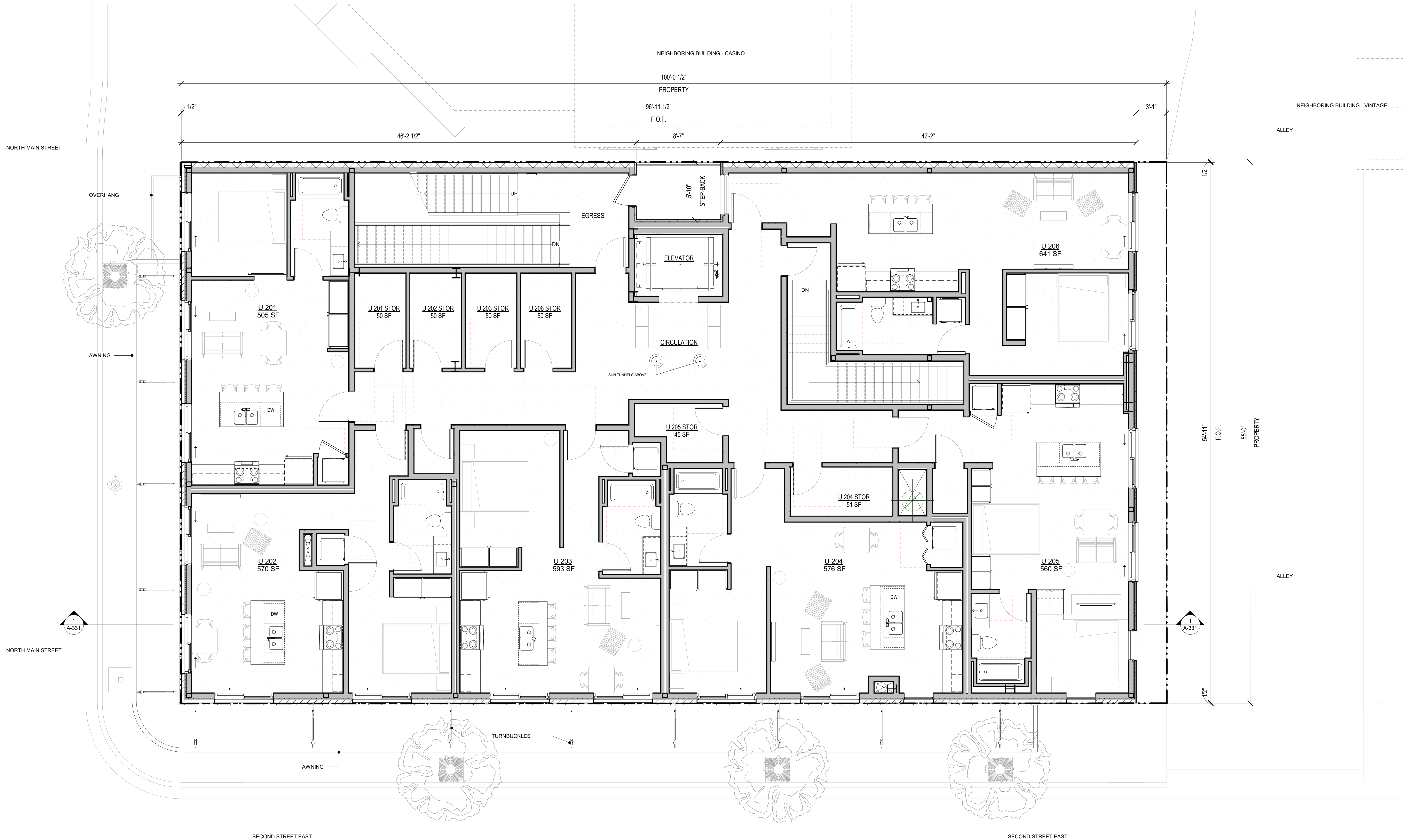
SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS

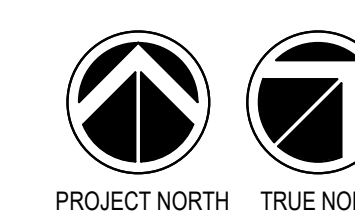
LOT 1, BLOCK 3: $\pm 55' \times \pm 100' = \pm 5503 \text{ SF} = \pm 0.126 \text{ ACRE}$

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2



SCALE: 1/4" = 1'-0"

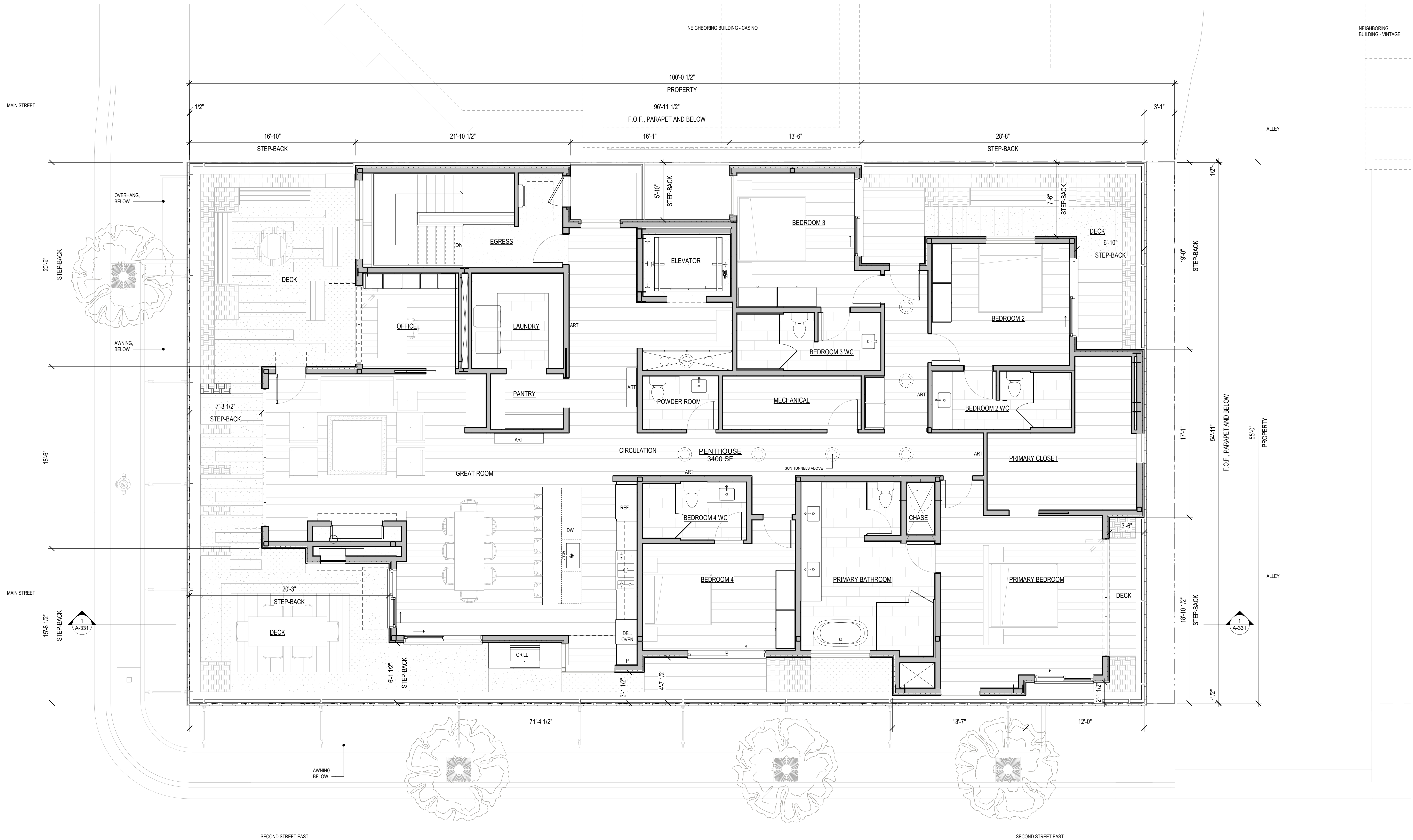
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects



PROPOSED THIRD FLOOR PLAN

SITE DIMENSIONS & AREAS
LOT 1, BLOCK 3: $\pm 55' \times \pm 100' = \pm 5503 \text{ SF} = \pm 0.126 \text{ ACRE}$

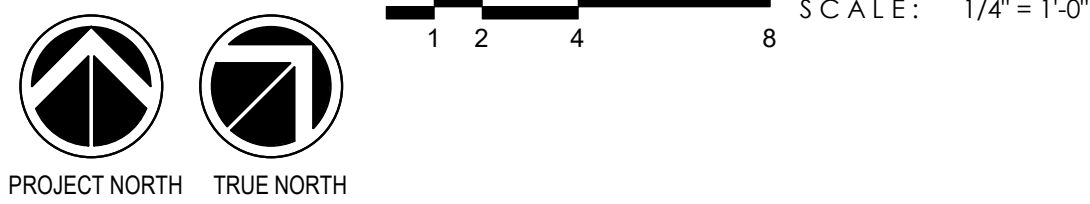
USE & OCCUPANCY CLASSIFICATION
ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

CONSTRUCTION TYPE
CONSTRUCTION TYPE: TYPE V-B

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

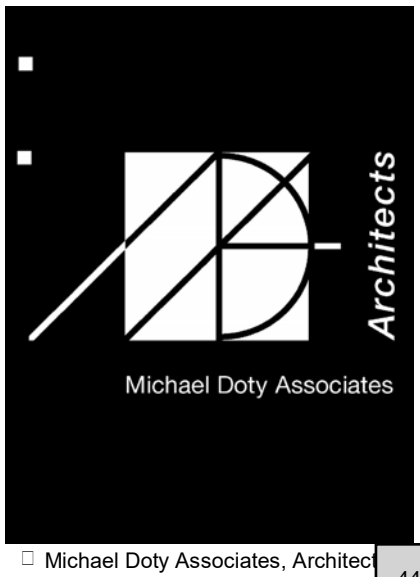
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

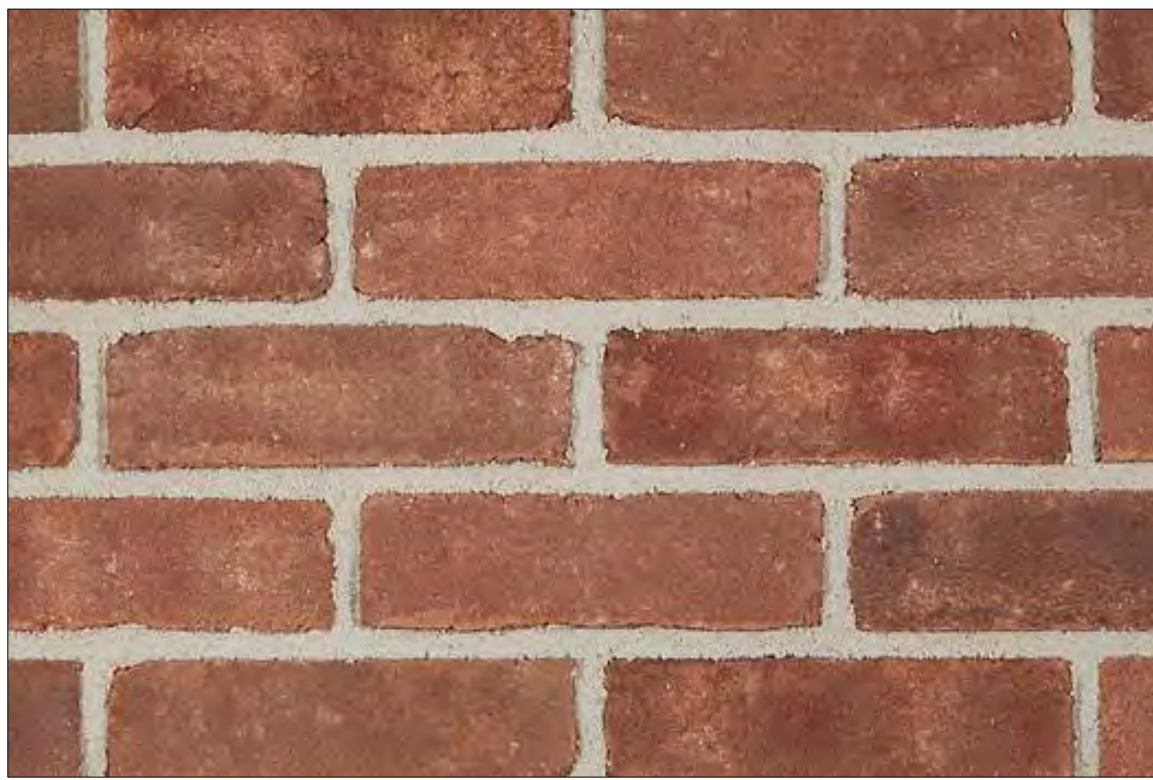


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

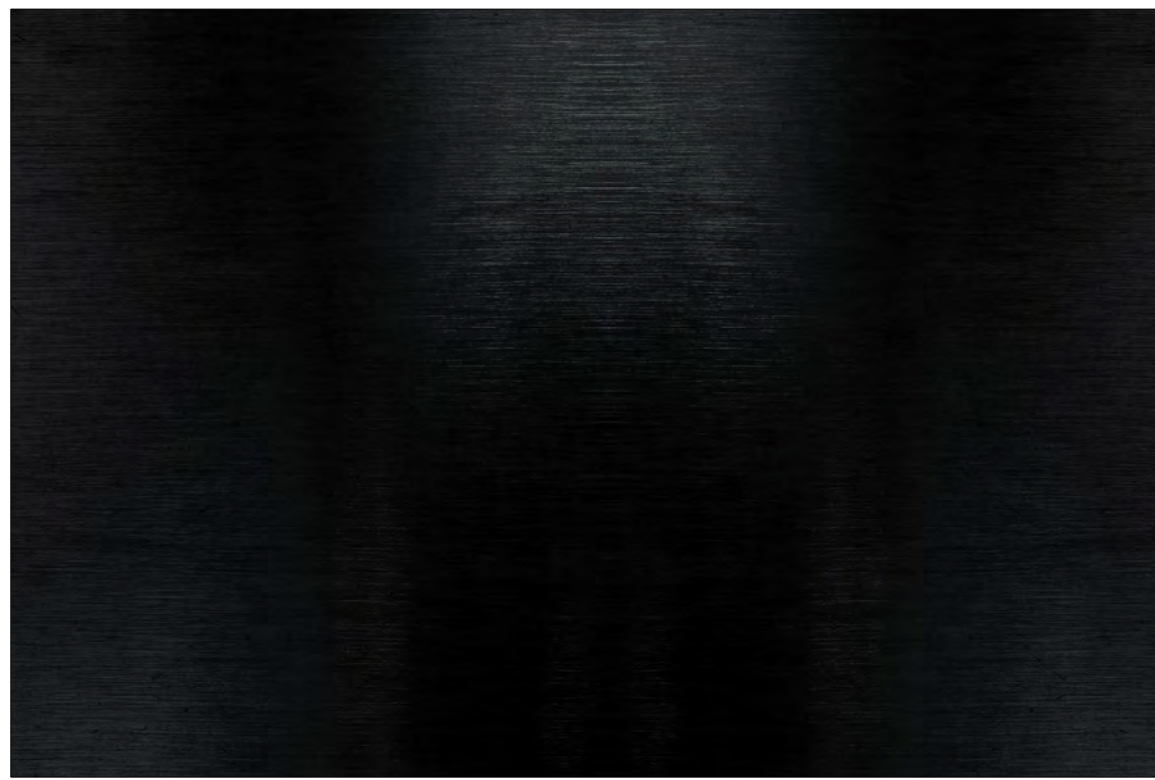




EXTERIOR FINISH 1 (EF-1):
FULL SIZE BRICK, SANDMOLD TEXTURE
RED COLOR, SAND COATING
BELDEN BRICK COMPANY



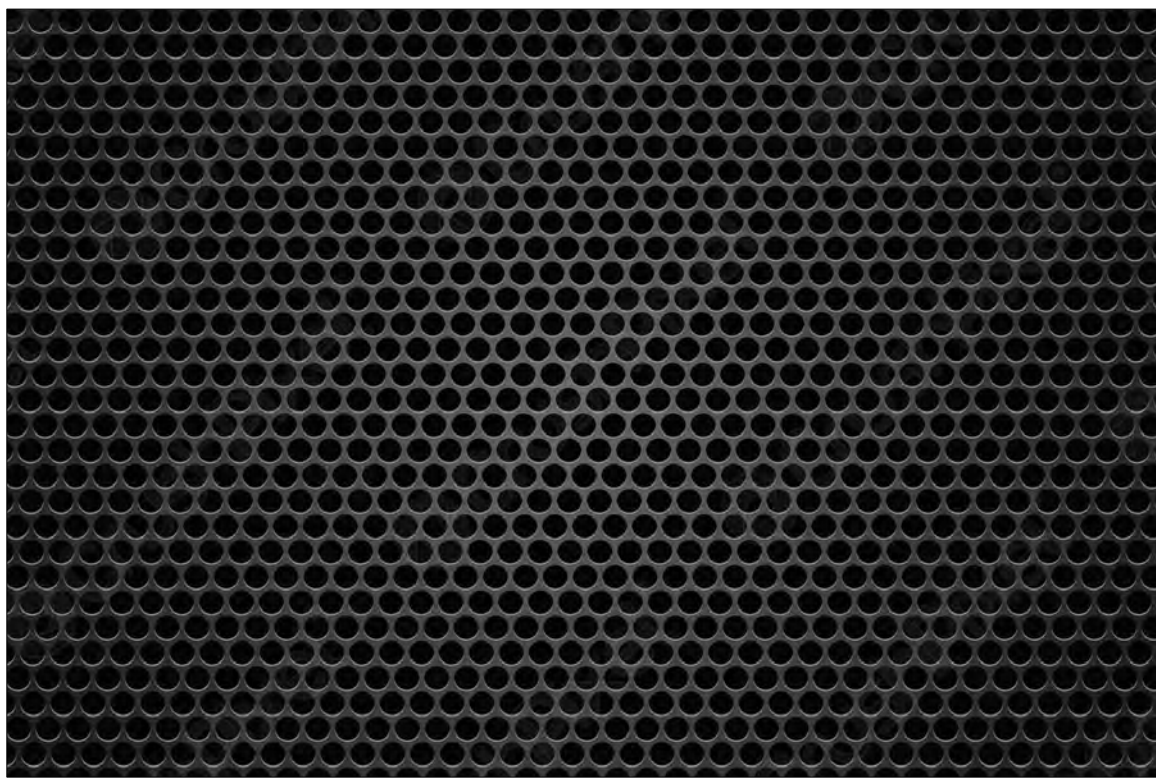
EXTERIOR FINISH 2 (EF-2):
INDIANA LIMESTONE
COLOR: FULL COLOR BLEND



EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 4 (EF-4):
MATAVERDE PREMIUM DECKING AND SIDING
SOLUTIONS: THERMALLY MODIFIED HEM-FIR



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 6 (EF-6):
NEOLITH SINTERED STONE SIDING PANELS;
IRON CORTEN



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - WEST

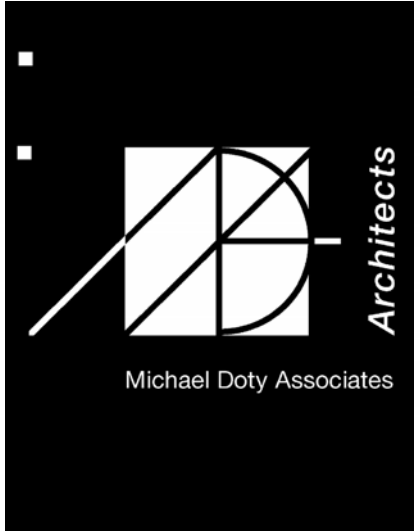
BUILDING HEIGHT - MAXIMUM - CALCULATION	
<u>MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE</u>	<u>MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE</u>
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80'	SE CORNER GROUND ELEVATION = 5843.40'
NW CORNER GROUND ELEVATION = 5842.77'	NE CORNER GROUND ELEVATION = 5843.89'
= 5842.80' + 5842.77' / 2 = 5842.79'	= 5843.40' + 5843.89' / 2 = 5843.65'
<u>WEST PROPERTY LINE MAXIMUM HEIGHT</u>	<u>EAST PROPERTY LINE MAXIMUM HEIGHT</u>
= 5842.79' + 42' = 5884.79' or 5884' 9 1/2"	= 5843.65' + 42' = 5885.65' or 5885' 7 3/4"

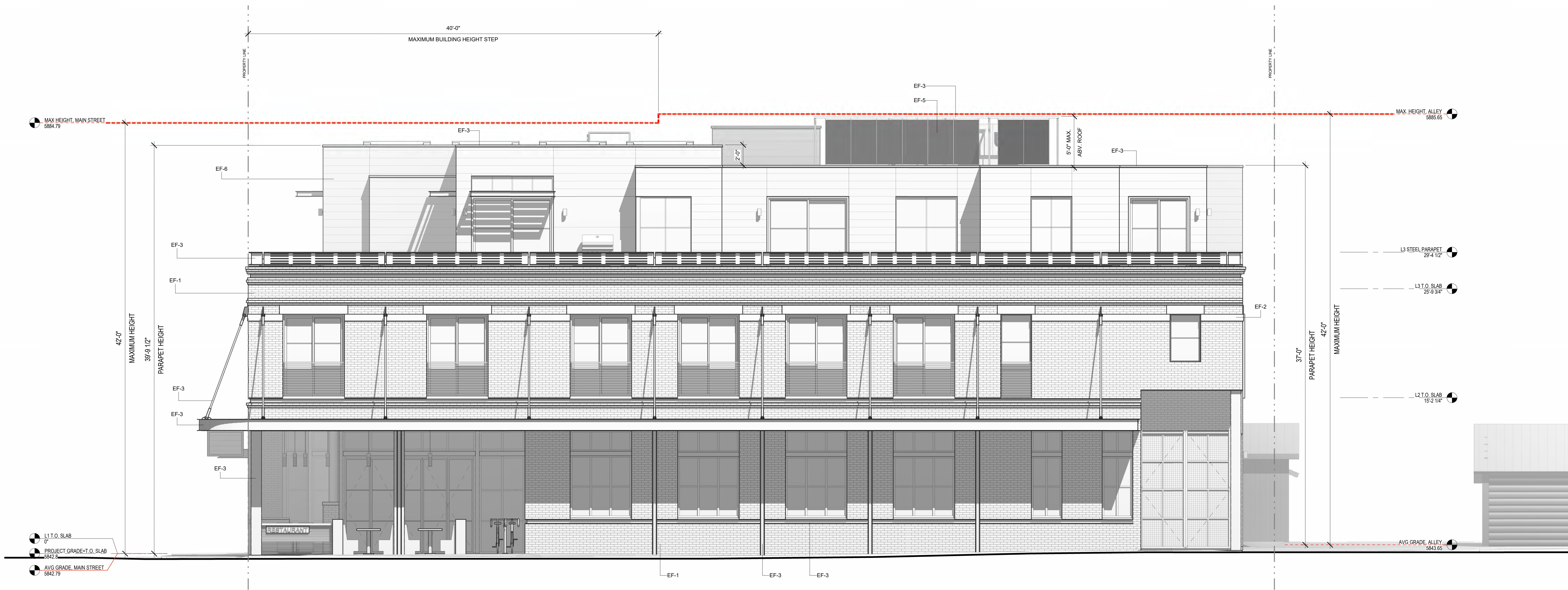
JUNE 21 - 4:30PM 1 2 4 8 SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - SOUTH

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' / 2 = 5843.65'

EAST PROPERTY LINE MAXIMUM HEIGHT

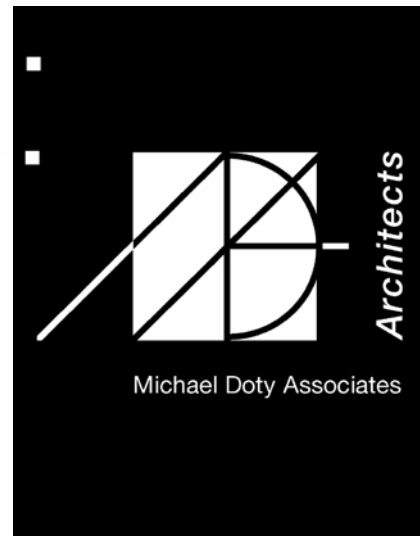
= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

SHADOWS: 06/21, 11:00 AM SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - EAST

BUILDING HEIGHT - MAXIMUM - CALCULATION

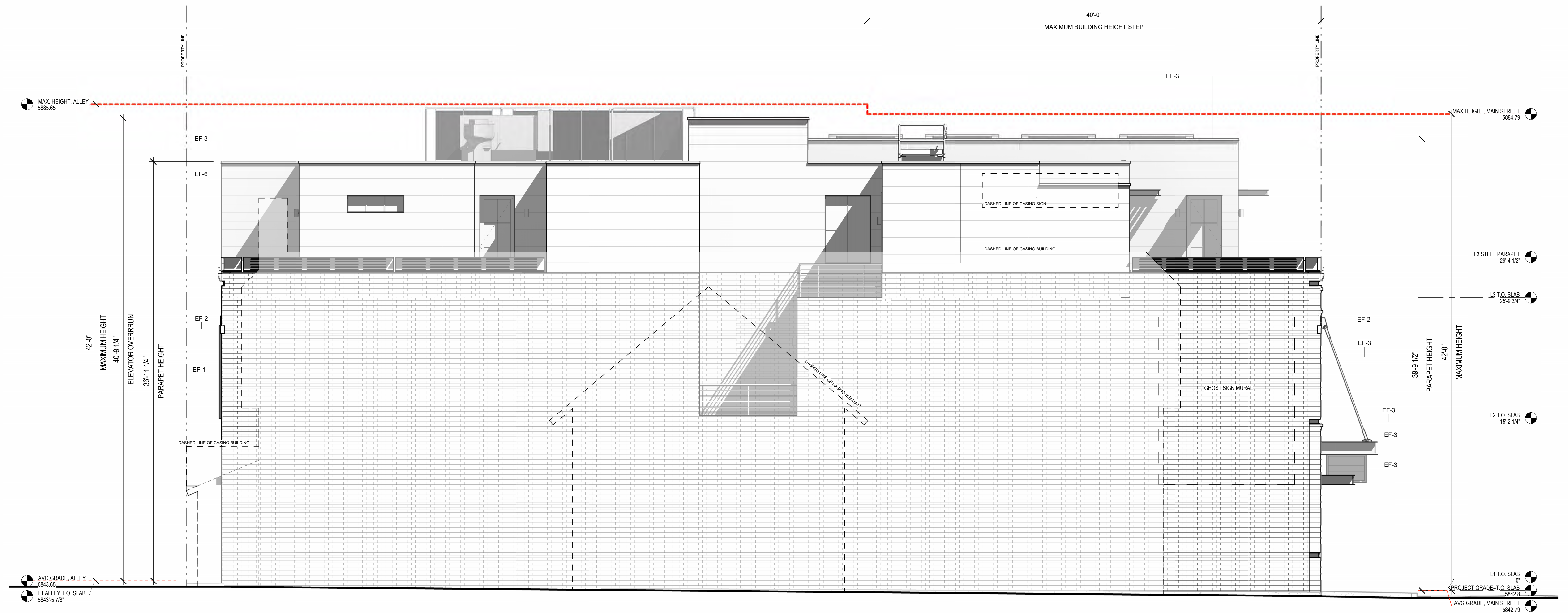
MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE	MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80'	SE CORNER GROUND ELEVATION = 5843.40'
NW CORNER GROUND ELEVATION = 5842.77'	NE CORNER GROUND ELEVATION = 5843.89'
= 5842.80' + 5842.77' / 2 = 5842.79'	= 5843.40' + 5843.89' / 2 = 5843.65'
WEST PROPERTY LINE MAXIMUM HEIGHT	EAST PROPERTY LINE MAXIMUM HEIGHT
= 5842.79' + 42' = 5884.79' or 5884' 9 1/2"	= 5843.65' + 42' = 5885.65' or 5885' 7 3/4"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - NORTH

1 2 4 8 SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

$= 5842.80' + 5842.77' / 2 = 5842.79'$

WEST PROPERTY LINE MAXIMUM HEIGHT

$= 5842.79' + 42' = 5884.79'$ or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

$= 5843.40' + 5843.89' / 2 = 5843.65'$

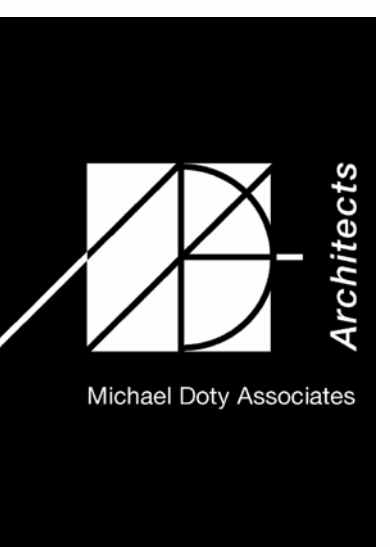
EAST PROPERTY LINE MAXIMUM HEIGHT

$= 5843.65' + 42' = 5885.65'$ or 5885' 7 3/4"

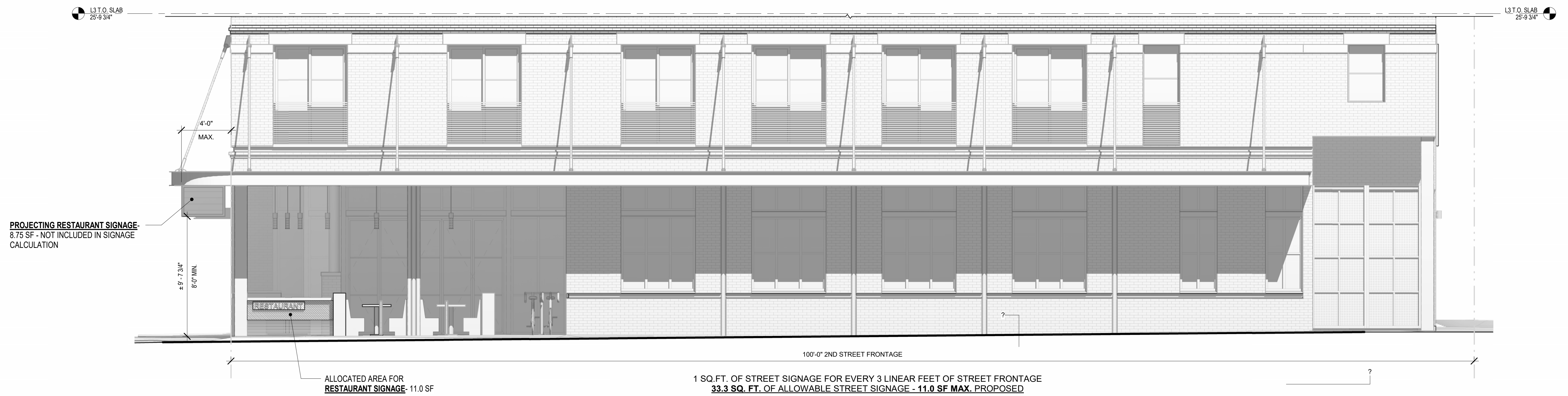
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



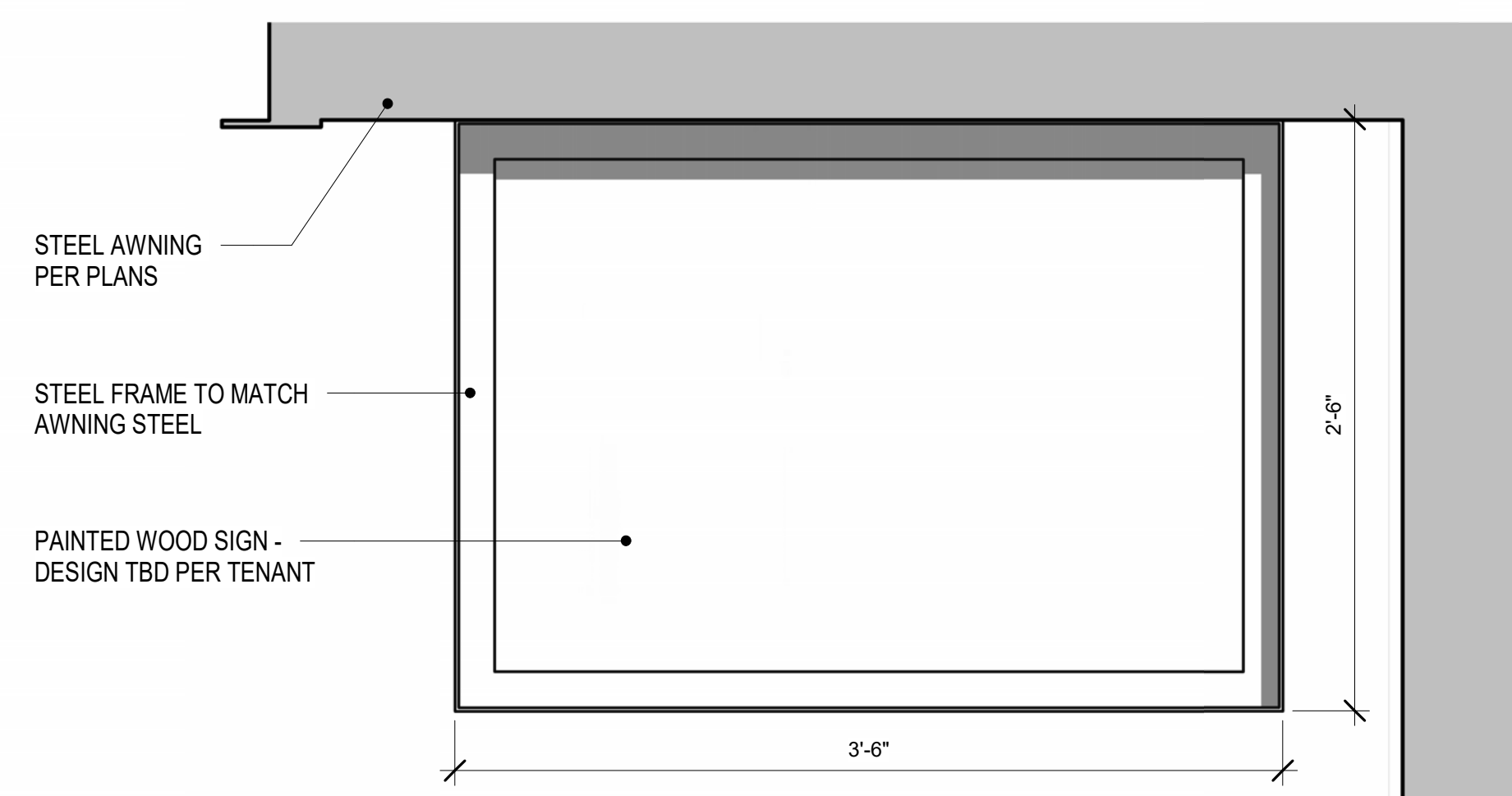
Michael Doty Associates, Architects



2ND STREET FRONTAGE SIGNAGE

1 2 4 8 1/4" = 1'-0"

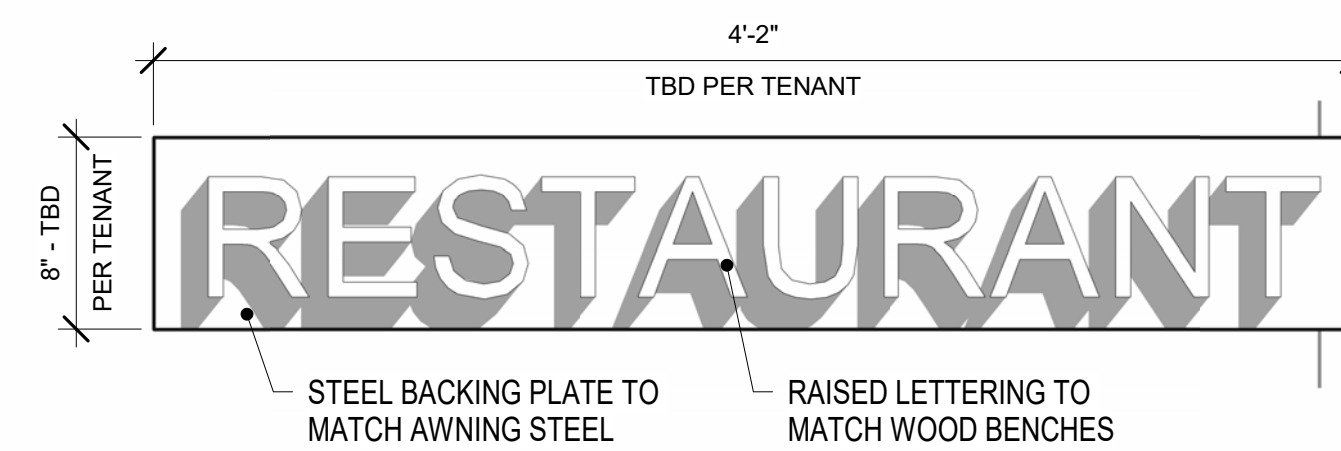
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PROJECTING RESTAURANT SIGNAGE

1 1/2" = 1'-0"

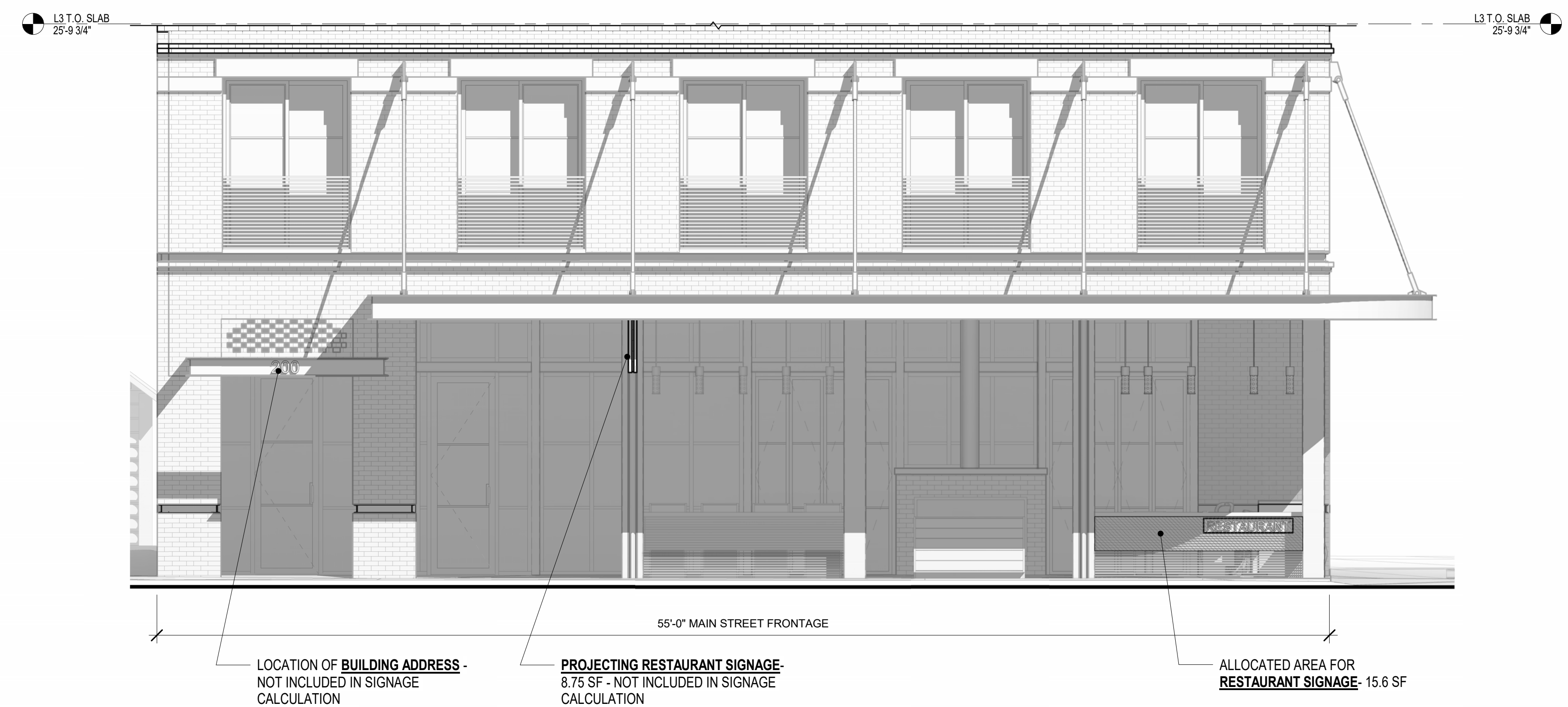
4



RESTAURANT SIGNAGE

1 1/2" = 1'-0"

3



MAIN STREET FRONTAGE SIGNAGE

1 2 4 8 1/4" = 1'-0"

1

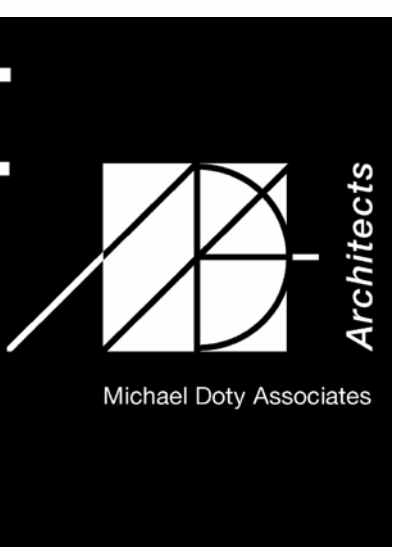
PROPOSED BUILDING SIGNAGE

SCALE: As indicated

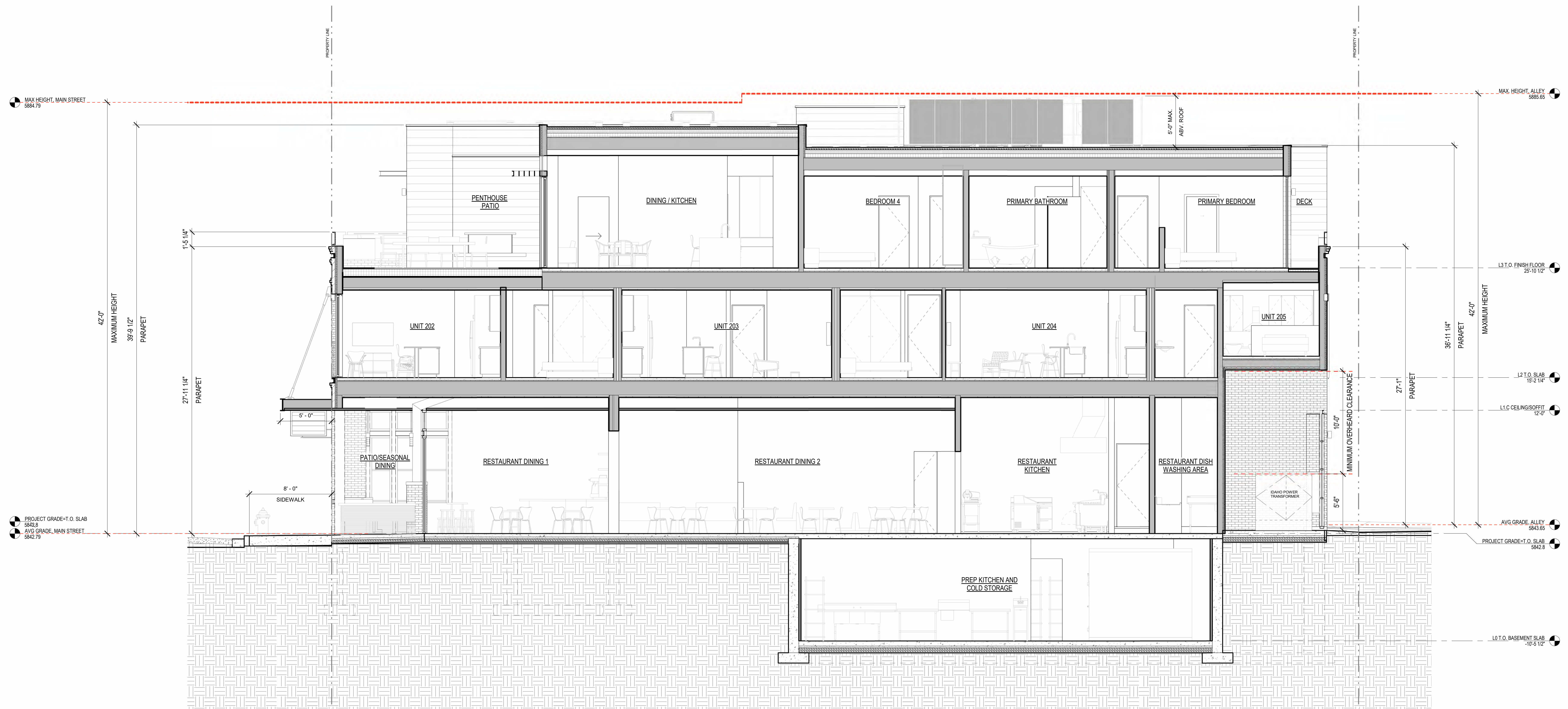
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



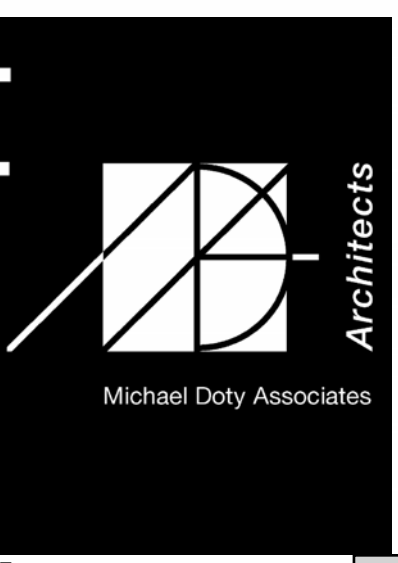
Michael Doty Associates, Architects



200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



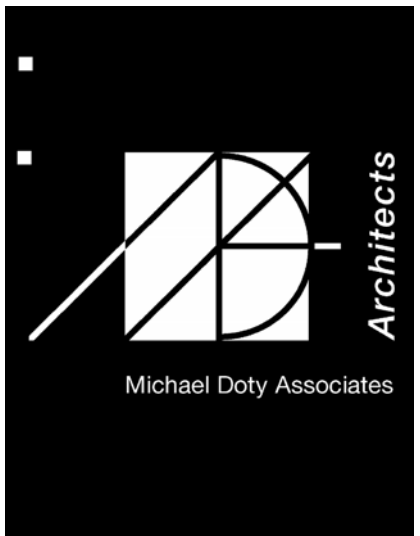


ORIGINAL DESIGN WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024





EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

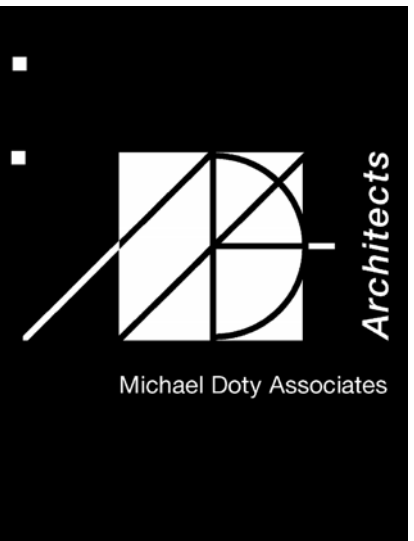




ORIGINAL DESIGN SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024

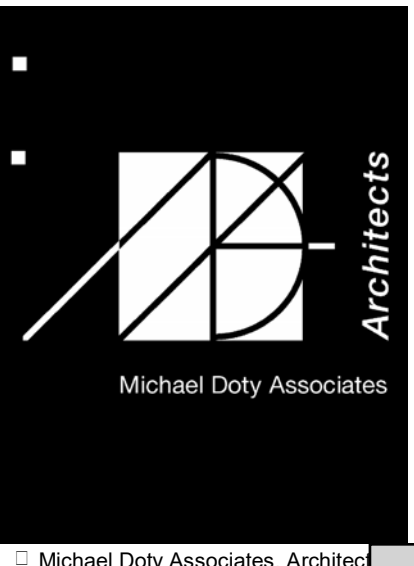




PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024





EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024

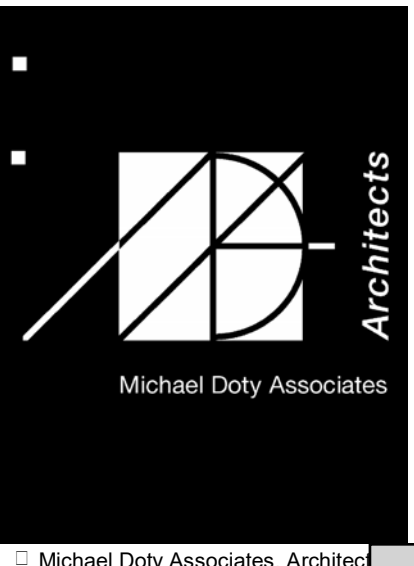




PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024





EXISTING NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024

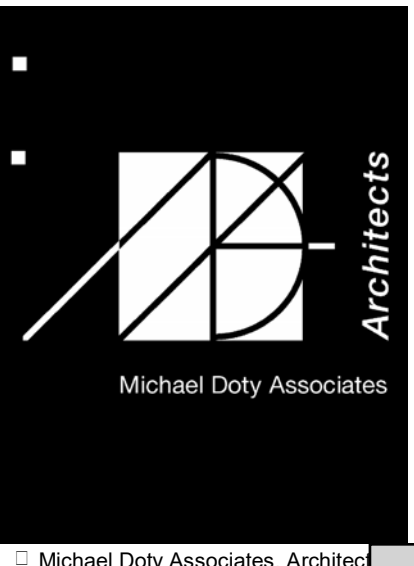




PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340
DESIGN REVIEW 2
1/17/2024





EXISTING EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





EXISTING MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



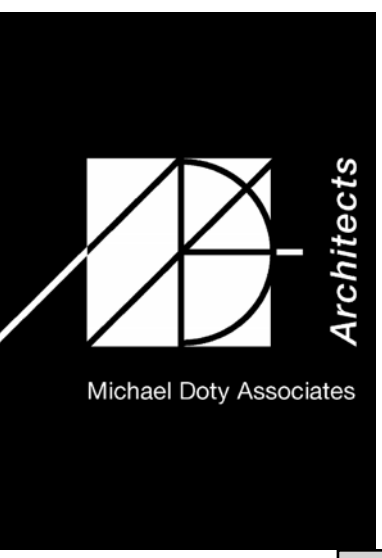


ORIGINAL DESIGN MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects



PROPOSED REVISION MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Attachment C

Design Review Application Materials: Architect's Design Review Revisions Memo

■ ARCHITECT'S MEMO

To: City of Ketchum Planning and Building
From: Michael Doty, AIA, LEED AP
Date: 01/17/2024
Re: 200 North Main; Design Review Revisions

Main Floor Revisions:

- Dimmed outdoor dining light fixtures to appropriate dining levels and removed canopy fixtures at second street, resulting in footcandle levels at the street and sidewalk to meet the planning staff's recommended levels.
- Moved the structural brace frame in the kitchen prep area at 2nd street inboard by 6".

Second Floor Revisions:

- Reduced 2nd floor ceiling height by 7 ½" thereby reducing the building heights by the same amount, and further reducing the 2nd floor brick parapet height by an additional 1/2" after adjusting for modular brick coursing, resulting in an 8" total reduction of height at the brick parapet/guardrail.
- Moved the structural brace frame in Units 204 & 205 at 2nd street inboard by 6".

Third Floor and Rooftop Revisions:

- Reduced 3rd floor ceiling heights by 12" respectively, thereby reducing the building heights by the same amount.
- Reduced parapet heights by 2" thereby reducing the building heights by the same amount.
- Moved the structural brace frame in the Primary Bedroom at 2nd street inboard by 6", allowing the exterior wall to also move back so the brick parapet and steel guardrail cap element can pass in front unimpeded, strengthening the 2-story visual datum.
- Removed ventilation hood and associated roof element over the BBQ grill, reducing building mass.
- Reduced the ceiling height over the kitchen pop-out adjacent to the BBQ grill to match the lower ceiling of the bedrooms, reducing building mass.
- Modified guardrail at portion of low roof adjacent to elevator to an open rail style in lieu of solid brick parapet and steel guardrail cap, reducing building mass.
- Reduced ceiling/roof height over Main Street-side exit stair mid-landing by an additional 2-feet, reducing building mass.

- Changed exterior finish to Neolith sintered stone siding panels in Iron Corten color to complement the red and brown tones in the brick veneer below.
- Changed rooftop shade tree to a Vine Maple with a more compact mature height and spread.

General Summary:

- In response to the commission's constructive comments, the above revisions, taken as a whole, work together to provide a substantive reduction to the overall building height and perceived massing as viewed from Main Street.
 - 21 ½" reduction to the overall building heights from 41'-7" to 39'-9 ½" at the upper parapet and from 39'-7" to 37'-9 ½" at the lower parapet.
 - 8" reduction to the second story brick parapet/guardrail from 30'-0 ½" to 29'-4 ½".
 - 80% of the building is now less than 38-feet in height.
 - 100% of the building, apart from the elevator overrun (40'-9 ¼") and the mechanical screens (60" maximum above roof surface), is now less than 40-feet in height.
 - The removal of the wall and roof above the BBQ grill meaningfully reduces the visual perception of height and mass as viewed from the street.
 - The lowered roof over the stair landing reduces the street-level visual perception of the stair element's height and mass to such a degree that it is obscured when the building is viewed from the south and west.

Attachment D
Surrounding Building
Heights, Floor Area Ratios, and Exterior
Materials

Surrounding Building Heights, Floor Area Ratios, and Exterior Materials							
Building Name	Property Address	Lot Area	Gross Floor Area	Floor Area Ratio	Number of Floors	Height	Building Materials
Casino (Historic Name: Ketchum Kamp Hotel)	220 N Main Street	7,321 sq ft	8,211 sq ft	1.13	2	~30 feet	Wood Frame, Logs
Warfield	280 N Main Street	9,186 sq ft	12,001 sq ft	1.31	2	42 feet	Brick, Wood, Dark Metal Accents
Leadville Trading (currently under construction)	211 N Leadville Avenue	5,500 sq ft	6,039 sq ft	1.10	2	32 feet	Brick, Metal Panels, Dark Accents
Vintage Restaurant (Historic Name: Bert Cross Cabin)	231 N Leadville Avenue	5,500 sq ft	711 sq ft	.13	1	~15 feet	Log Cabin, Metal Roof
McCann Daech Fenton Realtors	271 N Leadville Avenue	5,500 sq ft	3,112 sq ft	.57	1.5	26 feet	Wood Frame, Metal Roof
360 SVR Condominiums/Olbum Building	360 E Sun Valley Road	5,504 sq ft	6,488 sq ft	1.18	2	33 feet-8 inches	Brick, Dryvit, Metal Roof
Culinary Institute (Historic Name: Greenhow & Rumsey Store)	211 N Main Street	2,737 sq ft	3,617 sq ft	1.33	2	24 feet	Brick
Sawtooth Club	231 N Main Street	2,763 sq ft	5,136 sq ft	1.86	2	26 feet	Brick, Metal Railing, Green Trim
Whiskey Jacques	251 N Main Street	5,428 sq ft	10,237 sq ft	1.89	2	32.5 feet	Stained Cedar, Rusted Metal, Stone Veneer, Stucco
Sotheby’s International Realty	291 N Main Street	5,500 sq ft	2,984 sq ft	.55	1	14 feet	Wood Siding
Rocky Mountain Hardware (Historic Name: Lewis Bank)	180 N Main Street	4,978 sq ft	5,026 sq ft	1.01	2	31 feet-9 inches	Brick, Stucco, Timber Cladding
Ketchum Korner Building	191 N Main Street	11,020 sq ft	12,487 sq ft	1.14	2	37 feet	Wood Siding, Stucco, Metal Roof
131 Main Street Condos (US Bank Building)	111 N Main Street	11,000 sq ft	19,422 sq ft	1.77	3	40 feet	Brick, Stucco, Stone
Village Market	100 N Main Street	26,692 sq ft	19,422 sq ft	0.73	3	40 feet	Corrugated Sheet Metal Siding, Stone
Argyros	120 S Main Street	12,108 sq ft	17,859 sq ft	1.48	2	42 feet	Wood Laminate Panels, Vertical Zinc Siding, Fiber Cement Wall Panels
200 North Main	200 N Main Street	5,503 sq ft	12,405 sq ft	2.25	3	39 feet-10 inches	Brick, Limestone, Stone Siding Panels, Dark Steel Accents

Attachment E
Public Comment



208.788.6102 | INFO@BCOHA.ORG | WWW.BCOHA.ORG | PO BOX 4045 | KETCHUM, ID 83340

February 8, 2024

Memo

To: Members of the Ketchum Planning and Zoning Commission
City of Ketchum Senior Planner Abby Rivin

From: Keith Perry, Chair
Blaine County Housing Authority

Subject: 200 N. Main Project Comments and Support for Community Housing Units

On behalf of the Blaine County Housing Authority (BCHA), I am writing to provide comments on the proposed development under design review at 200 N. Main Street. BCHA is supportive of the City of Ketchum's FAR Exceedance Program and its use to incentivize the development of deed-restricted community housing. The FAR Exceedance Program is one of the only tools currently available in the community to encourage market production of deed-restricted community housing without public or philanthropic subsidies. We are pleased to see this project is utilizing the FAR exceedance bonus and providing two deed-restricted community housing units.

Regarding the size of the proposed housing units, the 2023 Blaine County Housing Survey found that among respondent households in need of or expecting to need housing, 79% reported they could accept a 1-bedroom unit, with over 50% reporting that a 1-bedroom unit would be ideal. Two-bedroom units were reported to be the most ideal and most acceptable unit size. There is high housing need among smaller households.

The BCHA recognizes that the proposed building at 200 N. Main includes four additional unrestricted 1-bedroom units on the second floor. While these units may ultimately be rented to some members of the community, there is no guarantee that they will house or be affordable to locals without a deed restriction. The 2022 Housing Needs Assessment and 2023 update show that there is need for community housing up to 250% of Area Median Income, although the greatest need is for households earning less than 80% of Area Median Income. The FAR Exceedance Program does not require that additional square footage or units in this building be deed-restricted for community housing, however, if the applicant wishes to ensure that the 1-bedroom units are rented to full-time, qualifying members of the community, the applicant could consider voluntarily restricting the units with a Category Local deed-restriction. BCHA's income Category Local does not have an income limit or a maximum rent limit. However, Category Local units have a substantial net worth maximum and require that occupants meet BCHA's basic qualifications of full-time local employment or allowed exceptions.

We appreciate your consideration of these comments and hope that you will support the project and its delivery of two additional Category 4 deed-restricted housing units for our community.

February 5, 2024

RE: 200 Main Street Application

Dear Ketchum Planning & Zoning Commissioners,

I am aware of the pending Planning Department application submitted for the property at 200 Main St., Ketchum.

I am in full support of the project both as a nearby local business and as an employer interested in the addition of for- rent residential units that may be available for employees.

Please approve the referenced application so this project can move forward to add to the vitality of Main Street Ketchum.

Thank you.

John Curnow

General Manager, Limelight Ketchum

Participate

From: Doug Waddell <doug@waddellpropertiesinc.com>
Sent: Wednesday, January 31, 2024 11:58 AM
To: Participate
Subject: Proposed development - 200 N Main

Dear City of Ketchum Planning and Zoning Commission –

Our family has been in the Valley for over 20 years and are currently in Warm Springs. Over that time, we have seen a fair amount of new development, most of it good, some just ok. I have thoroughly reviewed the proposed plans, did a second look along Main Street and fully support this development. Below are some of the reasons for that support.

- I like how they have looked into the history of the town and incorporated design and materials consistent with the neighborhood and the City design guidelines and Comprehensive Plan. Specifically the brick, concrete headers, windows and black trim.
- The bulk and scale of the building fit very well into the neighborhood. By recessing (wedding caking) the third floor, it feels much less imposing than it could be and specially less than the bank building across the street a block or so to the south. It seems to be equal or less than the City code allows.
- From what I can tell on the drawings, it appears to be very pedestrian friendly with nice planters, seating and coverings along the sidewalk.
- The City is in desperate need of any new rental housing.

Thank you for considering this recommendation of approval.

Doug Waddell

Participate

From: Emily Stoddard <emily@huckandpaddle.com>
Sent: Friday, January 26, 2024 1:51 PM
To: Participate
Subject: Dudunakis SV LLC - Main Street/ 2nd Ave Project

My name is Emily Stoddard, owner of Huck + Paddle at 400 Sun Valley Road, which is owned by the Dudunakis SV LLC. I am aware that they are in the planning process of new development on Main Street and 2nd Ave. While I can't speak to the proposed design and use(s) on that lot, I wanted to send a quick note to say how lovely Kenny and Kris Dudunakis are as landlords and existing building owners here in town. Since purchasing the Cellar Building in 2020, Kenny and Kris have taken great care to make the necessary improvements all while preserving the nostalgia of the building. They have a deep appreciation for the City of Ketchum and it's history. As a small business owner, it is so comforting to have the support and appreciation from my landlord. I have no doubt that Dudunakis SV LLC will carry that same care and respect for a vibrant retail and dining culture in Ketchum with them to their next project.

Thank you,
Emily

Participate

From: Carson Palmer <carson@silentwater.com>
Sent: Friday, January 26, 2024 1:35 PM
To: Participate
Subject: Rico's building

Hello,

I'm am writing in to support the new Rico's building. I really like the design with all the beautiful brick on the exterior as well as the number of housing units this project brings to downtown Ketchum.

Best, Carson Palmer

Sent from my iPhone

Participate

From: Paul Kenny <paul@kenny-bogue.com>
Sent: Sunday, February 4, 2024 1:06 PM
To: Participate
Cc: Neil Bradshaw; Morgan Landers; Abby Rivin
Subject: 200 North Main - February 13, 2024 Hearing

Dear Planning & Zoning Commissioners;

Please attach this email to the staff report for the February 13, 2024 Hearing regarding the 200 North Main Street project.

I am writing in support of the project as proposed by the property owner. I believe that Michael Doty Associates has done a very good job of designing a structure that fits in with the appearance of the current projects on Main Street, respects the stated goals of city staff, and complies with the intended direction of the ordinance and comp plan rewrites.

The city has made an effort in the past year to direct developers toward dense, mixed-use buildings that bring ground floor commercial uses and residential spaces on upper levels. The proposed project definitely accomplishes that. The six units, which will likely target a middle income range for workers in Ketchum, are planned to measure between 505 and 641 square feet, two of which are proposed as deed-restricted community housing units. This density of housing units in the downtown core is accomplishing the stated goals of the city, and importantly those of the downtown business operators that struggle to find and house their employees.

I respectfully ask that you please approve the CUP for this project.

Sincerely,

Paul Kenny

**Paul Kenny, [CCIM](#)
Associate Broker, Principal**

**Paul Kenny & Matt Bogue
Commercial Real Estate**

Tel: [\(208\) 726-1918](tel:(208)726-1918)
Cell: [\(208\) 720-3125](tel:(208)720-3125)
www.kenny-bogue.com



Participate

From: Mike Raskin <Mike@mjrdevelopment.com>
Sent: Sunday, February 4, 2024 9:35 PM
To: Participate
Cc: Mike Raskin
Subject: Proposed Rico Building at 200 N Main

Dear Planning Department

I am a home owner in the Sun Valley area and own a home at 8 Chateau Circle in Elkhorn. I wanted to write to you in support of the proposed Rico Building at 200 N Main. I have seen the plans and I think it would be a great addition to downtown Ketchum. This is an important corner and the developer has done a good job. I hope you will approve this project.

Thanks for the opportunity to share thoughts

Mike Raskin
8 Chateau Circle Sun Vally ID

Participate

From: Charlie Robbins <crobbs@seatoskiproperties.com>
Sent: Saturday, February 3, 2024 4:06 PM
To: Participate
Subject: Proposed 200 North Main - Rico Building

I am writing in support of the proposed development on 200 North Main led by Kenny Dudunakis. As a former Ketchum business owner and current Warm Springs property owner, I feel the development proposed by Kenny Dudunakis would add significant value to Ketchum and Sun Valley. The proposed development aligns with the vision of a thriving downtown area, fostering economic prosperity and community engagement.

Here are some key reasons why I believe this project is crucial for the betterment of our community:

1. **Economic Boost:** The development has the potential to stimulate economic growth by attracting new businesses, creating job opportunities, and increasing foot traffic in the downtown area. This, in turn, will contribute to the overall economic well-being of Ketchum and Sun Valley.

Improved Infrastructure: These enhancements will make the downtown area a more aesthetically pleasing environment and will coincide nicely with the upcoming Project Main Street improvements as detailed by the Ketchum Urban Renewal Agency and the Idaho Transportation Department:

- <https://www.projectketchum.org/main-street/>

Environmental and Community Considerations: I am pleased to learn the proposed development will include two workforce housing units and will incorporate exterior features that will blend in with Ketchum's other historic buildings.

I believe this development has the potential to continue efforts to keep downtown Ketchum a vibrant and dynamic hub that benefits both residents and visitors. I urge you to consider and approve the positive impact the project could have on our community's growth and well-being.

Sincerely,

Charlie Robbins



Charlie Robbins

Founder + CEO

Sea to Ski Property Management

435.729.0579

crobbins@seatoski.com

www.seatoski.com

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Participate

From: Brad Pratt <bradpratt@outlook.com>
Sent: Friday, February 2, 2024 12:04 PM
To: Participate
Subject: 200 N Main - Rico building

I have reviewed the plan and design and think it fits great in the downtown core of Ketchum. I like the brick exterior, ground floor restaurant space and apartment spaces on the second floor. Seems to be a very good use of that corner of Ketchum.

Brad Pratt
406 Sage Road
Ketchum
425-269-4000

Participate

From: Michael Heijer <michael@GRANCORP.COM>
Sent: Tuesday, February 6, 2024 6:35 AM
To: Participate
Subject: Support for the Rico Building, 200 N Main, Ketchum

Dear Committee members;

I am writing in support of the proposed development on 200 North Main led by Kris and Kenny Dudunakis. I am a Warm Springs property owner since 2003 and I am excited to see a new building being built at the former Rico site. I feel the proposed building would add to the current charm on Main Street. The proposed development aligns with the vision of a thriving downtown area and it is built to fit right in, as if it would have been there for many decades. I like the setback of the top floor apartment so the building doesn't look too big or overwhelming as you walk on the sidewalk.

The brick design fits in very nicely with all the other brick buildings on both side of Main Street and I look the way the awning is designed in old fashioned styling.

As the city lacks nice restaurants I am excited to see a nice sized restaurant in the space and hopefully with a nice complementing bar as well. The indoor and outdoor seating will make it look very inviting when you walk around on the sidewalk in the summers. As the proposed building is not very big I am pleased to see that there will be two affordable units as well as four market rent units. It is great to see more apartment housing in the central business district. As Kris and Kenny have done in the past with donating the site to various charitable organizations, such as the Film festival and other gatherings I was happy to hear that they plan to continue that tradition with the larger unit located on the top floor.

I am very much in favor of this project as it will add another restaurant, affordable housing and create more jobs to our community, both during the construction period but also afterwards with all the restaurant staffing.

So, I urge the committee to approve this project and keep moving it along in the permitting permit approval process. Once completed it will be a great asset in town that all of us will frequent and enjoy.

Best Regards,

Michael Heijer
Owner, GranCorp Holdings LLC
(206) 399-4170 | www.grancorp.com

Participate

From: Mike Christian <mchristian@icg.com>
Sent: Monday, February 5, 2024 4:23 PM
To: Participate
Subject: Rico Building

City Planners,

We are in favor of the Rico Building project on Main Street in Ketchum. The architecture and color scheme will fit in perfectly on that block. I think that space needs a fine dining restaurant as they have planned.

The addition of affordable apartments just adds one more positive element to this great project. We are very excited to see this area get this level of improvement.

Mike and Lynn Christian
100 Edelweiss
Ketchum, ID 83340

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Participate

From: Paige Lethbridge <paigelethbridge@me.com>
Sent: Wednesday, February 7, 2024 3:50 PM
To: Participate
Subject: Kenny & Kris Dududnakis Ricos Building

City of Ketchum,

I am in support of the new Rico's Building Design. I am in favor of for-rent workforce housing and a ground floor restaurant.

Thank you for your continued efforts to move forward with is project.

Paige Lethbridge
The Cellar Pub
Lunceford Excavation
208-720-4990

Participate

From: Peter Prekeges <prekeges@gmail.com>
Sent: Wednesday, February 7, 2024 11:55 AM
To: Participate
Subject: 200 N. Main

To:
Mayor and council members

Re: 200 N. Main project

I am writing to throw my support behind this project.

We not only need workforce housing, but we need this market rate housing as well.

The owners are in the build, own, and support the local community business. Not the build, sell and bail out business.

Their track record speaks for itself.

Sincerely,

Peter Prekeges
Grumpy's Inc

Participate

From: michael.horwitz2470@icloud.com
Sent: Wednesday, February 7, 2024 9:07 AM
To: Participate
Subject: Rico Building Development

Hello-I am reaching out as I have had a chance to review the proposed development in Ketchum and am in support of it. I think that the design is striking, has good balance and is not a towering project that will change negatively the character of the downtown quadrant.

The valley needs more affordable housing, more food and beverage and establishments that can balance multiple uses.

Thank You
-Michael Horwitz

Participate

From: Scott Hanson <scott.hanson@seamark.com>
Sent: Tuesday, February 6, 2024 6:42 PM
To: Participate
Subject: 200 N. Main Street
Attachments: 200 N Main Ketchum ID.pdf

Dear Planning and Zoning Commissioners,
Please see my attached letter in support of the proposed development at 200 N. Main.
Thank you,
Scott Hanson

Participate

From: Kenny Dudunakis <kenny.dudunakis@berkadia.com>
Sent: Tuesday, February 6, 2024 6:07 PM
To: Participate
Cc: Jim Garrison; Kristina Dudunakis
Subject: 200 Main Street Support
Attachments: SKM_28724020616550.pdf

This message was sent securely using Zix®

To Whom It May Concern:

Please see attached, is there any way we can get copies of the letters submitted so far.

Thanks, Kenny D



Kenny Dudunakis

SENIOR MANAGING DIRECTOR

INVESTMENT SALES

411 108th Avenue Northeast

Suite 1080

Bellevue, WA 98004

O +1 (206) 521-7216 | **M** +1 (206) 390-1196

kenny.dudunakis@berkadia.com

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February 5, 2024

To: Ketchum Planning & Zoning Commission

From: Steve Burnstead – 150 South Main St., Ketchum, ID

RE: 200 Main Street Application

Dear Commissioners,

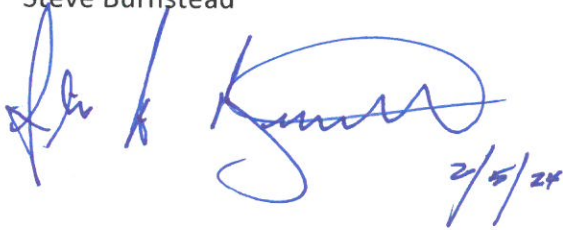
I am writing to support the Planning application for 200 Main Street, Ketchum.

I am the lessee/operator of the newly renovated and re-opened Whiskey Jacks, (Whiskeys on Main), and fully support the proposed project application to renovate the property. 200 Main is directly across the street from Whiskeys and we strongly encourage additional activation of this block as much as possible. It is only good for all nearby businesses with the additional food service opportunity and the addition of several residential apartments available for employee housing.

Please approve this application.

Thank you.

Steve Burnstead



Participate

From: Doyle Douglas <doyledouglas@comcast.net>
Sent: Thursday, February 8, 2024 6:47 PM
To: Participate
Subject: 200 N Main, Rico Building Site

My name is Doyle Douglas, I am a 23 year resident of Ketchum living at 280 W. 8th St. Over the years I have seen the ebbs and flows of real estate development in Ketchum, arguably and to the City's and citizens' benefit, much of it good. Toward this end, I want to voice my support for the proposed Rico Site redevelopment.

In short, the design is thoughtful, compatible, and reasonably scaled to Ketchum's historical building designs and frontage on Main Street in particular. The affordable housing component is desperately needed in Ketchum and while the limited addition of units from the proposed development might not move the proverbial needle much it is imperative that the City do everything they can to encourage and support the addition of affordable housing. And lastly, the addition of another dining option for the larger Ketchum community is always a bonus.

Thank you for the opportunity to be head on this matter. I sincerely hope the city will approve the project as designed so we will all be able to realize the value that is sure to accrue from the development.

Sincerely,
Doyle Douglas

Participate

From: Steven Chattin <Steven.Chattin@berkadia.com>
Sent: Friday, February 9, 2024 8:26 AM
To: Participate
Subject: 200 N. Main st.

This message was sent securely using Zix®

Good morning,

I want to express my support in favor of the redevelopment of 200 N. Main St in Ketchum. I believe the design of the building aligns perfectly with the existing structures and would greatly compliment the town and the proposed. Additionally, it would provide much needed housing and I would encourage the city to approve the project. I am also excited for a new premier restaurant!

Thank you,
Steven Chattin



Steven Chattin

MANAGING DIRECTOR

INVESTMENT SALES

411 108th Avenue Northeast

Suite 1080

Bellevue, WA 98004

O +1 (206) 521-7224 | **M** +1 (425) 269-3826

steven.chattin@berkadia.com

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Participate

From: Joshua Alhadeff <Josh@dsbinvestments.com>
Sent: Friday, February 9, 2024 7:48 AM
To: Participate
Subject: 200 N Main

Hi,

I'd like to express my support for the proposed project at 200 N Main. I especially appreciate the design I believe Koetje needs more affordable housing and would benefit from another hotel.

Thank you.

Joshua J. Alhadeff | DSB Investments

Participate

From: Scott Rogel <scott.rogel@gmail.com>
Sent: Friday, February 9, 2024 5:13 AM
To: Participate; Kenny Dudunakis
Subject: 200 N Main Street Project - Ketchum, Idaho

To whom it may concern,

I am writing to express my support for the above project of Kenny and Kris Dudanakis at the above address. I have been involved in numerous Seattle and Tacoma, Washington mixed use developments. Most if not all of my projects have included restaurants. That is why I feel I understand and can comment on this project.

The nature of mixed use is very tough. You have to design and create functional spaces for retail/commercial use and residential use all at the same time. The retail needs the most visible and accessible street frontage for welcoming customers. The storefront needs to be expansive with lots of glass to enhance customer visits and promote sales. The residential units need a formal and welcoming entrance to get residential tenants and guests access without imposing on the retail spaces visibility and viability. It is not easy to have one not adversely impact the other. I believe the design of this project has accomplished such that both elements of use are functional and aesthetically pleasing.

I also feel the look and scale of the project fits with the old style buildings of downtown Ketchum. The design also adds the third floor component in an appropriate and appealing way. It steps back and does not add to the bulk or scale of the project.

I would be happy to speak at the upcoming design meeting. And discuss further my thoughts and comments or offer any insight from my experiences in this field.

Sincerely,

Scott Rogel
Rogel Properties LLC

Participate

From: David Caldwell <david@wcinvestrealty.com>
Sent: Friday, February 9, 2024 3:02 PM
To: Participate
Subject: Former Rico's Site at 2nd and Main

I am writing in support of the current applicant's project as proposed.

David G. Caldwell
President, Broker
West Coast Investment Realty, Inc.
PO Box 14001 #208, Ketchum, ID 83340
220 East Avenue, #208, Ketchum, ID 83340
Tel. 760-815-5504
Email: david@wcinvestrealty.com
Lic. No. OR: 850200042 ID: BR40234 WA:3392



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Participate

From: Donna Shahbaz <shahbazdmp@gmail.com>
Sent: Saturday, February 10, 2024 12:03 PM
To: Participate
Subject: Public Comment 200 North Main Design Review for P&Z Meeting 2/13

> Hi, thank you for providing this opportunity to comment. While I appreciate the finishes used in this building and that the ground level has been maintained as restaurant space, I am disappointed that so little has changed with the design of this building after all the feedback residents provided at the last P&Z meeting.

> We should not allow developers to exceed the FAR every time they request it just because it can be allowed. This building site is the perfect example. This building is far too large, dense, and tall when built in context to the historic buildings that surround it and we should at least try to preserve that on Main Street and Sun Valley road. The two deed restricted units (without parking) are insufficient compensation for the mass of this building.

> Additionally, as we move forward updating our master plan, I think we
> should consider additional height and density limits on Main Street and Sun Valley Roads. We should also re-look allowing units less than 750 square feet to be built without parking unless those units are specifically deed restricted. This building is the perfect example of how the parking waiver is abused to provide profitable residential units that are unlikely to be primary residences, and additional height for the even more lucrative penthouse, at the expense of the community.

> Thank you, Donna Shahbaz.

Participate

From: KRIS WALKER <bobandkrisw@yahoo.com>
Sent: Sunday, February 11, 2024 9:03 PM
To: Participate
Subject: Rico's project

I listen with mild amusement the negative comments about the Rico's proposed project. If the developer's proposal meets the city's criteria's, I don't see a problem. If you want to control it, you need to own it.
Progres is not always to our liking.
Bob Walker

Dear City of Ketchum and whom it may concern,

I am the owner of the property of 211 Leadville Avenue North. I did not see notice of the resubmittal of 200 North Main Street, but it was brought to my attention earlier today.

I am still in strong opposition to the project as currently designed. The letter below is very similar to the letter I sent last August 2023, as I have the same concerns. The project resubmittal addressed some minor design comments the P&Z had, but not the larger concerns of height & bulk and neighborhood compatibility.


The height and bulk are out of scale and enormous. The building dwarfs its neighbors, and obliterates the view of the historic 'Casino' sign as you drive into town. We should not sacrifice the character of Main Street and the town we all love. Please refer to attached ASK-006r1, you can see how huge this proposed development is, especially compared to the existing building located on the site.

It will also wipe out the Baldy view from my own development. Please reference ASK-009r1 showing the approximate bulk of the proposed development as visible from my second floor. The visual impact will be even greater for the public, as experienced from the sidewalk. I realize views are not protected, but if everyone builds to a similar standard, equity is maintained. During the design review of our project, we received very positive feedback on the scale of our building. Ketchum residents want to maintain a two-story scale near the historic one and two story buildings along Main Street.

I question if the city's decision to allow additional FAR and the associated additional bulk for workforce housing is the correct decision in the CC zone.

Having done many projects myself, I am in favor of good development. But in the current building boom that is expanding our small town, let's not lose sight of maintaining the character of Ketchum by allowing new developments to maximize their bulk. Particularly in the heart of downtown along Main Street.

Thank you,



Mark Dooley

ARCHITECT

ENGINEER

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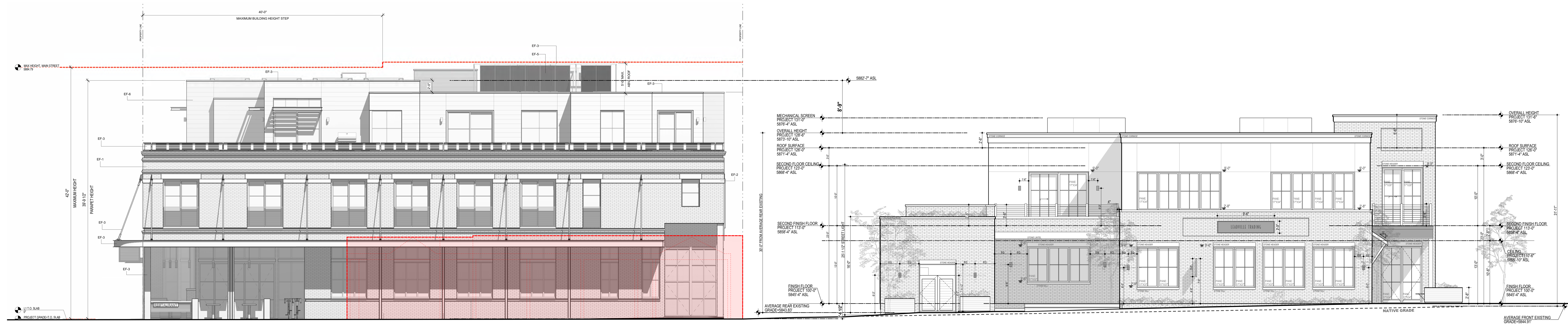
DRAWN

DATE 12.08.2023

[illegible]

PRINT DATE: Monday, February 12, 2024

ASK-006r1



1 ELEVATION: PROPOSED NEIGHBOR COMPARISON
SCALE: 1/4" = 1'-0"

PROPOSED NEIGHBOR HEIGHT COMPARISON



DIAGRAM: THREE STORY BUILDING

Participate

From: Julie Stanek <jberry17@gmail.com>
Sent: Monday, February 12, 2024 2:56 PM
To: Participate; Neil Morrow; Brenda Moczygemba; Tim Carter; Susan Passovoy
Subject: 220 Main Street Concerns

P & Z Commissioners,

I expressed my concern via public comment in December when the applicant at 220 Main Street went before you. I am unimpressed to see how little changes the applicant made in their design which almost seems an insult to this whole process.

I still believe the 2.25 floor area ratio is incompatible with our local history and culture and I propose 1.8 FAR. I also think setbacks need to be in place to highlight the historic building to the north, or to at least be more inviting as one enters town. I am especially concerned about the precedent of approving this project and worry it would be a slippery slope for future applications to submit with a higher FAR.

Thank you for your consideration of these concerns, which I know are shared by many in our community.

Appreciate you taking the time to read.

Julie Stanek

Participate

From: Robert Meyer <bjscmeyer@gmail.com>
Sent: Monday, February 12, 2024 9:57 PM
To: Participate
Subject: Dudunakis building

To whom it may concern,

I'm Robert Bob Meyer life long friend with Ken Dudunakis and his wife Kis. I just wanted to send a note to you announcing my support for the proposed construction project on the Rico's building site.

At first I was skeptical about a monster being on the corner but after reviewing the plans I fully support the construction plans. The look of the building and set backs all below the maximum allowed will in be a great addition to the downtown area.

Recently I spoke with the owners of a restaurant in Kenny's building the Cellar. They are very happy with the interactions with him and his ability to not only upgrade the building but resolve any and all issues that may arise.

The city will be lucky having him managing that proposed building. Hopefully you will grant him the right to construct a wonderful addition to the City of Ketchum.

Thank you,
Robert Meyer
3871 S Duston Pl
Boise ID 83706
208 863-5721
bjscmeyer@gmail.com

Participate

From: Harry Griffith <harry@sunvalleyeconomy.org>
Sent: Monday, February 12, 2024 10:02 PM
To: Participate
Subject: SVED Comments for Planning & Zoning 2/13/2024 Meeting on 200 Main Building

In advance of tomorrow's meeting on the 200 Main Project, Sun Valley Economic Development wanted to provide some data and comments in advance.

Generally, SVED supports this project for the following reasons:

1. Full compliance with all existing Ketchum ordinances
2. Incremental Job creation
3. Positive economic impact on LOT and property tax base
4. Revitalization of underutilized space
5. New needed restaurant seating

The issue of restaurant seats available and their impact on parking in the area has been one specific point of discussion where I wanted to provide some data. SVED conducted a high-level evaluation of the changes in restaurant's within a 2-block radius of the 200 Main Project. We looked at both winter (interior) and summer (interior and exterior) capacities and found that since 2014, the net change in restaurant seating available has significantly DECLINED. The detail of these changes can be seen on the map attached below.



Please note that this analysis includes this 200 Main St project and another future project, both with ground floor restaurants that have not yet been built but are expected in the next two years.

The analysis indicates at this area of the city has historically fewer restaurant seats than ever before. As a result, demand for parking associated with dining should not be exacerbated by this project. Additionally, given the area's growth in hotel rooms (both recent additions and planned projects), pressure on parking should be reduced due to a significant number of walkup diners.

Respectfully,

Harry Griffith

Executive Director, Sun Valley Economic Development

www.SunValleyEconomy.org

February 13, 2024

City of Ketchum/To whom it may concern:

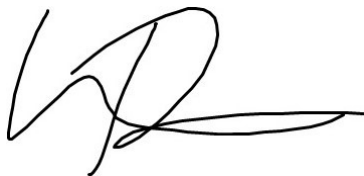
I am writing in strong support of the proposed development of the former Rico's building on 2nd and Main streets. As a long-time resident (Community School class of '96) I have seen the evolution of the community and need for quality developments with RENTAL housing for locals across the socio-economic spectrum.

I have known the Dudunakis's personally in the Ketchum community and professionally in the multifamily industry for more than 20 years. They are well-meaning and of the highest integrity.

I currently own and operate a national portfolio of 5,000+ market rate and affordable apartment units and have dedicated my career to providing and improving workforce housing across the U.S. I know that Kenny and Kris have a deep understanding of the housing market and see the need to bring additional rental units to the supply starved community.

I have reviewed the project and aside from the benefit of additional rental units for the community, the building will be a beautiful and welcomed addition to the charm of Main St.

Best regards,

A handwritten signature in black ink, appearing to be 'WR' followed by a long horizontal stroke.

Will Roos- (310.428.9942)

wroos@elementresidential.com

Participate

From: David Hutchinson <david@vpcompanies.com>
Sent: Tuesday, February 13, 2024 11:58 AM
To: Participate
Subject: 200 North Main Street (Design Review)

Dear Commissioners,

I would like to incorporate my previous letter that was submitted for the original hearing for this project as all comments still pertain as the applicant and the design team refused to make any substantive or meaningful changes based upon your feedback at the last hearing. As you unanimously agreed at the last hearing, the project does not meet the all the standards of approval under the design review ordinance. Most evident is that it is incompatible with the surrounding neighborhood and the overall townscape based on its bulk and scale.

It is extremely disrespectful to each of you and the overall process, that virtually no perceptible changes have been made to the building's bulk and scale related to your comments at the previous hearing. The disregard for your generous allowance, to the applicant, to resubmit under a continuance vs. a denial, is simply an insult.

The current proposal continues at the maximum FAR of 2.255 FAR (which is actually above any allowable bonus that has yet to be granted). As you found at the last hearing , any building of that size on that corner lot on Main Street, will be incompatible.

I believe that you have little choice but to send a message to this applicant and potential future applicants that think they can "thumb their noses" at this important community process. That message should be a swift DENIAL.

I would also like to suggest that the P&Z packet be made public sooner as there would have been significantly more opposition to this application. I noticed in the record that the applicant made a significant effort to gather support prior to the proposal being made public by having friends, business associates and affiliated parties preemptively submit letters, many at a time when none of the general public was able to see or review the new application.

Had the applicant and his design team listened to your thoughtful feedback and spent the time on re-design vs. cheerleading for a virtually identical project, they could have avoided this necessary DENIAL.

Respectfully,
David Hutchinson
220 Aspen Drive, Ketchum
Ketchum Downtown Property Owner
200 N. Leadville Ave.