



Planning and Zoning Commission AGENDA

Monday, February 10, 2020

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

SITE VISITS

1. 4:00 PM - SITE VISIT - KETCHUM FIRE STATION DESIGN REVIEW: 107 Saddle Road
2. 4:25 PM - SITE VISIT - 210 Lewis St. Residential Use Conditional Use Permit: 210 Lewis St.
3. 4:35 PM - SITE VISIT - 100 Bell Dr Residential Use Conditional Use Permit: 100 Bell Dr.
4. 4:45 PM - SITE VISIT - 10th St Ventures Work/Live Conditional Use Permit: 471 E 10th St, Unit B13
5. 5:00 PM - SITE VISIT - Ketch II: 100 E. 6th Street (Corner of E. 6th Street and N 1st Avenue)
6. 5:15 PM - SITE VISIT - West Ketchum Residences Design Review: 150 Bird Drive

CALL TO ORDER

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

PUBLIC COMMENT - Communications from the public for items not on the agenda.

CONSENT CALENDAR—ACTION ITEMS

7. [**ACTION - Minutes of January 13, 2020**](#)
8. [**ACTION - Duval LI Residential Use Conditional Use Permit Findings of Fact and Conclusions of Law**](#)
9. [**ACTION - My Sun Valley Home Conditional Use Permit Findings of Fact and Conclusions of Law**](#)
10. [**ACTION - My Sun Valley Home Design Review Findings of Fact and Conclusions of Law**](#)

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

11. [**ACTION - Ketchum Fire Station Design Review: 107 Saddle Road.**](#) (Portion of Tax Lot 6689: Sec 12 & 13 4N 17E) The commission will consider and take action on a Design Review application submitted by Cole Architects on behalf of the City of Ketchum for the new fire station and associated site improvements located within the Tourist (T) Zoning District. The proposed 16,419 sq ft, two-story facility will accommodate four bays for fire apparatus, a turnout locker-room, rescue and technical gear storage, offices for Fire Department staff, a public meeting room, and firefighter living quarters.
12. [**ACTION - 10th St Ventures Work/Live Conditional Use Permit: 417 E 10th St, Unit B13**](#) (Tenth Street Light Industrial Complex: Bldg B: Unit 13) The commission will consider and take action on a Conditional Use Permit application for a proposed work/live unit within unit B13 of the Tenth Street Light Industrial Complex. The proposed work/live unit will contain a 781 sq ft dwelling unit and 1,265 sq ft of commercial space.
13. [**ACTION - 210 Lewis St. Residential Use Conditional Use Permit: 210 Lewis St**](#) (Lot 1, Industrial Park Sub) The commission will consider and take action on a Conditional Use Permit application submitted by Loomis Inc. for one (1) residential apartment to be located at 210 Lewis Street (Lot 1, Industrial Park Sub) within the Light Industrial Number 2 Zoning District (LI-2).
14. [**ACTION - 100 Bell Dr. Residential Use Conditional Use Permit: 100 Bell Drive**](#) (Lot 2, Industrial Park Sub) The commission will consider and take action on a Conditional Use Permit application by Loomis Inc for one (1) residential apartment and one (1) work/live unit to be located at 100 Bell Drive (Lot 2, Industrial Park Sub) within the Light Industrial Number 2 Zoning District (LI-2); an additional residential apartment already exists within the building (approved in 1977).

15. [**ACTION - West Ketchum Residences Design Review: Lots 5A, 6A, 7A, and 8A Bavarian Village Subdivision** \(156 Wick Strasse & 150, 152, and 154 Bird Drive\) The commission will consider and take action on a Design Review application submitted by Errin Bliss of Bliss Architecture on behalf of West Ketchum Residences, LLC for the development of ten total townhouse units on Lots 5A, 6A, 7A, and 8A of Bavarian Village Subdivision \(156 Wick Strasse & 150, 152, and 154 Bird Drive\) within the General Residential High Density \(GR-H\) Zoning District. The West Ketchum Residences development will be comprised of five two-story duplexes accessed from a shared private roadway with associated common area and site improvements. The 1,800 sq ft attached townhome units have mirrored floor plans and include an attached two-car garage.](#)

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning & Zoning Commission Regular Meeting MINUTES

Monday, January 13, 2020
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

SITE VISITS

1. 4:00 PM - SITE VISIT - Swan Streambank Alteration: 401 Northwood Way
2. 4:15 PM - SITE VISIT - My Sun Valley Home Design Review and CUP: 120 Northwood Way
3. 4:30 PM - SITE VISIT - City of Ketchum Fire Station Pre-Application Design Review - Saddle Road (adjacent to the south of 101 E. Park Circle)
4. 4:45 PM - SITE VISIT - Dean LI Conditional Use Permit: 471 E 10th St., Unit B2
5. 5:00 PM - SITE VISIT - Duval LI Conditional Use Permit: 491 E 10th St., Unit A17
6. 5:15 PM - SITE VISIT - 4th & Main Mixed-Use Building Pre-Application Design Review: Fourth and Main Streets, Northeast corner

CALL TO ORDER

The meeting was called to order at 5:35 PM by chairperson Neil Morrow.
Site Visits were conducted at 401 Northwood, 120 Northwood, Saddle Road, 471 and 491 E 10th St, and Hot Dog Hill.

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

There were no disclosures from the Commission.

PUBLIC COMMENT - Communications from the public for items not on the agenda.

There were no public comments.

CONSENT CALENDAR—ACTION ITEMS

7. **ACTION - Minutes of December 9, 2019**

Motion to approve the minutes of December 9, 2019.

Motion made by Commissioner Cosgrove, Seconded by Commissioner Eggers.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

8. **ACTION - Gyurkey - North Town Center Conditional Use Permit Findings of Fact and Conclusions of Law, and Decision.**

Motion to approve the Gyurkey- North Town Center Conditional Use Permit Findings of Fact and Conclusions of Law as amended and authorize the sign the Findings.

Motion made by Commissioner Cosgrove, Seconded by Commissioner Eggers.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

9. **ACTION – 771 E 5th Street (Bierbaum) Accessory Building Mountain Overlay Design Review Findings of Fact, Conclusions of Law, and Decision.**

Motion to approve the 771h Street Accessory Building Mountain Overlay Design Review Findings of Fact and Conclusions of Law and authorize the Chair to sign the Findings.

Motion made by Commissioner Eggers, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

10. **ACTION - Dean LI Residential Conditional Use Permit: 471 E 10th St, Unit B2** (Tenth St Light Industrial Complex Bldg B Unit 2) The Commission will consider and take action on a Conditional Use application for a work/live unit submitted by property owners Tina Dean and Ryan Dean proposing a work/live unit.

Director Geaddert gave the background of the application and the site visit, noting an extension for drywall installation. Staff recommended approval.

Craig Barry commented on the drywall regulation and appreciated the postponement of the requirement.

Motion to approve the Dean LI Residential Conditional Use Permit. with Conditions 1-11 and authorize the Chair to sign the Findings of Fact and Conclusions of Law.

Motion made by Commissioner Eggers, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

11. **ACTION - Duval LI Residential Conditional Use Permit: 491 E 10th St, Unit A17** (Tenth St Light Industrial Complex Bldg A Unit 17) The Commission will consider and take action on a Conditional Use application for a work/live unit submitted by property owner Jon-Kristian A. Duval proposing a work/live unit.

Chair Morrow asked for public comment. There were no comments.

Commissioner Eggers asked about the transferability of the CUP from the owner to the tenant. Director Gaeddert offered that the CUP was issued to the owner but can be transferred to the tenant (operating the same business) who is soon to be the owner.

Motion to approve the Duval LI Residential Conditional Use Permit with Conditions 1-10 with Condition 1 as amended and authorize the Chair to sign the Findings of Fact and Conclusions of Law.

Motion made by Commissioner Eggers, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

- 12. **ACTION – City of Ketchum Fire Station Pre-Application Design Review: Saddle Road** (adjacent to the south of 101 E. Park Circle) The Commission will consider and give feedback on the proposed design of the new fire station.

Architect for the applicant, Steve Cole, gave the overview of the project. He covered snow melt, trash, landscaping, traffic, floor plans, exterior materials, and solar panels.

Commissioner Cosgrove liked the design but had concerns about the location. Chair Morrow asked the applicant about prior Fire Station experience and the darkness of the exterior. He also questioned the four (4) parking places and suggested the addition of housing above the station. He expressed concern over the safety of the area. Commissioner Eggers had questions about the generator, snow melt, trash, and parking for volunteers. He requested clarification of the parking spaces and sidewalk landscaping. He shared concern over the darkness of the building exterior.

Associate Planner Abby Rivin indicated a traffic consultant had been engaged to review the traffic/pedestrian patterns. Staff recommended advancement to Design Review. Commissioners Eggers and Cosgrove requested to review the traffic study prior to the final Design Review hearing. Rivin agreed to distribute it to the Commissioners as soon as it became available.

The Chair opened the floor for Public Comment. No Comments were made, and Comments were closed.

Director Gaeddert indicated the budget restrictions would probably not allow for additional housing at this time. He requested the Commission advance the project to Design Review.

Motion to advance the Ketchum Fire Station to full Design Review, pending the Traffic Study.

Motion made by Commissioner Eggers, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

- 13. **ACTION - 4th and Main Mixed-Use Building Pre-Application Design Review: Main and 4th Street** (Lots 1, 2, 3, and 4, Block 5, Ketchum Townsite) The Commission will consider and give feedback on the proposed design of a new four-story, 59,130 gross sq ft mixed-use building, which will include an underground parking garage, retail space on the first floor, and community housing units and market rate condominium dwelling units on the second, third, and fourth levels.

Associate Planner Abby Rivin introduced the project and the applicant, Chris Ensign, a developer from Salt Lake City. Ensign was excited to present a project to enhance Ketchum. He presented the project style, design, exterior materials, walkability factors.

Chair Morrow questioned the street bump-out but liked the design of the project and full use of the site. Commissioner Cosgrove liked the design but thought the scale was massive, more in scale of a larger city. She wanted to see the mass broken up. The applicant suggested breaking up the exterior to appear to be three (3) separate buildings. Commissioner Cosgrove asked for a rendering of the building in the context of the current Main Street buildings. Commissioner Eggers requested a review of the floor plans for each story. Parking and setbacks were discussed. Planner Rivin clarified the height and parking requirements. Commissioner Eggers asked about the likelihood of the units becoming short-term rentals and Ensign replied that the CCR's require only a restricted number of units can be rented with a minimum 30-day rental.

Commissioner Eggers liked the brick, but also wanted to see more undulation. Chair Morrow wanted to see additional parking spaces. Ensign replied they are still working on the final design, adding his typical buyer is older, single, and desires less space.

Chair Morrow opened the floor for Public Comment. No Comments were made, and Comments were closed.

Motion to advance the 4th and Main Mixed-Use Project to full Design Review.

Motion made by Commissioner Eggers, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

- 14. ACTION - My Sun Valley Home Mixed-Use Building Design Review: 120 Northwood Way** (Northwood Light Industrial Park, Lot 8) The Commission will consider and take action on a Design Review Application submitted by Don Stamp on behalf of property owners Cory and Amber Black for a new three-story 9,822 square foot mixed-use building, which will include offices, a laundry facility, and storage for My Sun Valley Home Property Services as well as three (3) employee housing studio units on the third level.

Associate Planner Abby Rivin introduced the project. Don Stamp, Architect for the applicant, presented the Design Review. He addressed the exterior materials, floor plans, parking, facades, signage, landscaping, and drainage.

Commissioner Eggers asked for clarification of the decks, railings, and lighting. Chair Morrow asked about ADA requirements. Rivin replied it was not required for only three (3) units.

Chair Morrow opened the floor for Public Comment. No Comments were made, and Comments were closed.

Motion to approve My Sun Valley Home Mixed-Use Building Design Review with Conditions 1-12.

Motion made by Chairman Morrow, Seconded by Commissioner Eggers.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

- 15. ACTION - My Sun Valley Home Mixed-Use Building Conditional Use Permit: 120 Northwood Way** (Northwood Light Industrial Park, Lot 8) The Commission will consider and take action on a Conditional Use Permit Application submitted by property owners Cory and Amber Black for three (3) new employee housing units on the third floor of the new My Sun Valley Home Mixed-Use Building located in the Light Industrial Number 2 (LI-2) Zoning District.

Motion to approve My Sun Valley Home Mixed-Use Building Conditional Use Permit with Conditions 1-13.

Motion made by Chairman Morrow, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

16. ACTION - Swan Residence Streambank Alteration: 401 Northwood Way (Chateaux of Northwood, Lot 12) The Commissioner will consider and take action on a floodplain development application submitted by property owner Sandra Swan proposing subgrade installation of a geogrid to be located within the 1% annual chance floodplain (Special Flood Hazard Area) but outside of the 25' riparian zone. The subject property is zoned GR-L with floodplain, floodway, and waterways design review overlays.

This item was removed from the agenda by the applicant's attorney.

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Planner Abby Rivin disclosed the City Council will hear the third review for the PEG Hotel on January 21, 2020. The PUD, CUP, and Plat Amendment will be heard.

The February 10th PZ Meeting is anticipated to include:

- Full Design Review, Preliminary Plat, and adjustment of lot lines for the West Ketchum Residences.
- CUP Live/Work permit for the 10th St Light Industrial Center.
- The Fire Station will be returning for Design Review
- 4th and Main projects will be returning for Design Review.

A Special Planning and Zoning Commission meeting may be called on February 24th for the full Design Review for the PEG Hotel, depending on the City Council Meeting.

ADJOURNMENT

Motion to adjourn at 7:06 PM

Motion made by Chairman Morrow, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Cosgrove, Commissioner Eggers

Neil Morrow
Chairperson



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Duval Work/Live)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: January 13, 2020)	DECISION
)	
File Number: 19-135)	

PROJECT: Duval Work/Live Conditional Use Permit

FILE NUMBER: P19-135

OWNER: Jon-Kristian A. Duval

APPLICANT: Jon Duval

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 491 E. 10th Street Unit A17 (Tenth St Light Industrial Complex Bldg A Unit A17)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019, was mailed to property owners within 300' on December 30, 2019 and was posted on site on January 6, 2020.

ATTACHMENT: As-built Floorplan

FINDINGS OF FACT

1. On January 13, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed work/live unit.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district.
4. The work/live unit has a 833 square foot upper-floor living space and a 950 square foot ground floor that consists of workspace and storage associated with the businesses. The total square footage of the unit is 1,783 square feet.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p> <p>The proposed use, a work/live unit with commercial studio (art/graphic design) businesses being the work component, meets both the primary and secondary intention of the light industrial area.</p> <p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p> <p>The proposed use is work/live.</p> <p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p> <p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire: No comment.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Unit is in compliance. No comment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:			
Residential units in the light industrial districts shall comply with the following minimum criteria:			
Yes	No	N/A	City Code
			17.124.090 A (1)
			Dwelling units shall not occupy the ground floor.

10	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>The application is for a work/live unit with the living area located on the upper floor and work space/storage located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>46% of the work/live unit's square footage is devoted to residential use (833 of the 1,783 square feet).</i> <i>Building A of the Tenth Street Light Industrial Complex is comprised of 29,996 square feet. There is one existing Conditional Use Permit for residential use (P17-001, Knudson) in the building for a 461 square foot residential unit. Approval of this work/live CUP would result in 1,294 square feet of residential use, equal to 4.3% of the total square footage in the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:

11				<p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			<p>Staff Comments</p>	<p>Standards 17.124.090.A.5.a and c have been met. Standards 17.124.090.A.5.b.1 and 3 have been met.</p> <p>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as both businesses have applied for City of Ketchum business licenses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.124.090 A (6)</p>	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			<p>Staff Comments</p>	<p>This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.124.090 A (7)</p>	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			<p>Staff Comments</p>	<p>N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.124.090 A (8)</p>	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p>

12				<p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>The proposal is required one parking space for the residential unit and one parking space for the work square footage. There is space to accommodate one vehicle within the ground-floor of the unit and there are additional parking spaces located in the common parking area for the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code

13 Conditional use permit shall be granted by the commission only if the applicant demonstrates the following:

Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The work component of the work/live unit is comprised of two businesses categorized as Commercial Studios and Commercial Studio is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with this permitted use, and with the proposed residents being the owners of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>There are no outstanding life safety code violations within the unit.</i></p> <p><i>Residential use within the unit will not materially endanger the health, safety and welfare of the community.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>The work/live use is not anticipated to generate a high volume of trips as both businesses are primarily design-based and on-site sales of products do not occur. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p><i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i></p>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;

- 2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
- 3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
- 4. The Planning and Zoning Commission’s January 13th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
- 5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a work/live unit on this 13th day of January 2020 subject to the following conditions 1 - 11:

- 1. The Conditional Use Permit is non-transferrable to another property and the validity of the permit is dependent upon Remy Road and/or 5 Atmospheres operating as a commercial studio.
- 2. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090A.5.b.2;
- 3. The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 4. No residential use shall occur on the ground level (first floor);
- 5. Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
- 6. Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 7. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 8. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 9. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 10. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

Findings of Fact **adopted** this 13th day of January 2020.

Neil Morrow
Chair
Planning and Zoning Commission



City of Ketchum
Planning & Building

IN RE:)
)
 My Sun Valley Home Mixed-Use Building) **KETCHUM PLANNING AND ZONING COMMISSION**
 Conditional Use Permit) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
 Date: February 10, 2020) **DECISION**
)
 File Number: 20-004)

PROJECT: My Sun Valley Home Property Services Mixed-Use Building

FILE NUMBERS: P20-004

APPLICATION TYPES: Conditional Use Permit

REPRESENTATIVE: Don Stamp, Architect

OWNER: Corey & Amber Black/Black Properties, LLC

REQUEST: Design Review for the proposed development of a new three-story, 9,822 gross sq ft mixed-use building, which will include work spaces, offices, a laundry facility, and storage for My Sun Valley Home Property Services and a Conditional Use Permit for the three employee housing units on the third level.

LOCATION: 120 Northwood Way (Northwood Light Industrial Park Subdivision Phase 1: Block 1: Lot 8)

ZONING: Light Industrial District Number 2 (LI-2)

OVERLAY: 48 ft Height Overlay

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on December 30th, 2019. The public hearing notice was published in the Idaho Mountain Express on December 25th, 2019.

Findings Regarding Applications Filed

Owners and operators of My Sun Valley Home, Corey and Amber Black have submitted a Design Review application concurrent with a Conditional Use Permit application for the development of a new three-story, 9,822 sq ft mixed-use building, which will contain three employee housing units on the third level, located at 120 Northwood Way (Northwood Light Industrial Subdivision: Lot 8) within the Light Industrial Number 2 (LI-2) Zoning District. The mixed-use building will be comprised of light industrial, office, and residential uses. The property management operation includes multiple permitted light industrial uses, such as a maintenance service facility, storage, industrial laundry, repair shop, and motor vehicle service. The second-level of the proposed mixed-use building is comprised of offices as well as a conference room for administrative functions associated with the property management service, which is permitted use in the LI-2 Zone as a contractor-related business as specified in Ketchum Municipal Code (KMC) §17.08.020.

OFFICE, CONTRACTOR-RELATED BUSINESS: *An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction, landscaping, maintenance and property management (KMC §17.08.020).*

As indicated on Sheet 5 of the applicant submittal (Exhibit A), the third level of the building is reserved for three one-bedroom employee housing units. The housing units are accessed from a common lobby. Each unit has its own separate storage area and designated parking space. The employee housing units are subject to the minimum criteria for residential units in light industrial districts as specified in KMC §17.124.090.

Findings Regarding Subject Property

The subject property, Lot 8 of Northwood Light Industrial Park Subdivision Phase 1, is currently vacant and has a total area of 8,040 sq ft, which complies with the 8,000 sq ft minimum lot area required in the LI-2 Zone. To the east of the subject property at the corner of Northwood Way and Lewis Street, the 100 Northwood Way mixed-use building is currently under construction. A commercial building utilized by High County Resort Properties, sheet-metal fabrication, and auto detailing lies adjacent to the west of the subject property. The Glaske and Horn Industrial condominiums are across Northwood Way to the north of subject Lot 8.

Findings Regarding Public Hearing

At the December 9th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Design Review submittal as well as Staff analysis, the applicant’s presentation, and public comment. Following review of the Pre-Application and providing feedback to the applicant, the Commission unanimously moved to advance the project to final Design Review.

Table 1: Findings Regarding Comprehensive Plan Analysis

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Well-Connected Community, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<p>Land Use Category: Mixed-Use Industrial</p>	<p>PRIMARY USES Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</p> <p>SECONDARY USES A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>CHARACTERISTICS AND LOCATION The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p> <p><i>My Sun Valley Home is a property management operation that combines many light industrial uses including routine maintenance of buildings, industrial laundry, repair shop, storage, and motor vehicle service. The proposed mixed-use building will also contain offices for the business’s administrative functions, which is permitted in the LI-2 Zone as a contractor-related business. The commercial components of the mixed-use building meet the intention for primary uses in the mixed-use industrial area. The employee housing units provided on the third floor meet the intention for secondary uses in the mixed-use industrial land use category.</i></p>

Community Design and Neighborhoods

Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Policy H-1.2 Local Solutions to Attainable Housing	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions. <i>The proposal integrates housing into the light industrial area in a mixed-use building.</i>
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	<i>The housing stock in Ketchum predominately consists of single-family homes, attached and detached townhomes, large scale condominium developments, and condominiums within mixed use buildings in the Community Core. These three employee housing units represent a less common housing type (residential above a business in the LI), thus diversifying the mixture of housing available.</i>
A Strong and Diverse Economy	
Goal E-1	Ketchum will work to retain and help expand existing independent small local business and corporations.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
Future Land Use	
Goal LU-1: Promote a functional, compact, and mixed-use pattern that integrates land and balances residential and non-residential land uses.	Policy LU-1.1 Integrated and Compatible Land Uses <i>The project seamlessly balances the light industrial functions associated with the property management with the residential employee housing units. The uses associated with the property management operations including storage and laundry are compatible with the adjacent land uses in the LI-2 Zone.</i>
Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas	Policy LU-2.2 Compatible Residential Infill Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood. <i>The project includes new residential units on the third floor of the property services building.</i>

19 What can take advantage of proximity to services and transportation.	
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Table 2: Findings Regarding City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance. • An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. • Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. • Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from

burning embers.

- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The shall improve the adjacent Northwood Way right-of-way to comply with City ROW standards specified for a 60-foot wide right-of-way including: (a) sidewalk, parking, and drive lane width, (b) stop, street, and parking sign installation, (c) street lights, and (d) parking stall dimensions. Specifications for the ROW improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an encroachment permit approved by the City will be required. Property owner will be responsible for all associated maintenance and repair.
- All lighting within the ROW will need to meet city ROW standards (see Right-of-Way Standards, Commercial Category). Per City ROW standards a lighting study will need to be provided to ensure proper lighting of sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc.
- Per ADA Standards sidewalks cross slopes are 1.75 +/- 0.25 percent.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- 21
- The applicant will be responsible for installing connections to the water and sewer system at Northwood Way.
 - Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 3, 4, and 5.

Table 3: Findings Regarding Zoning and Dimensional Standard Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and <i>Commission Findings</i>	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Lot Area
			<i>Commission Findings</i>	Required: 8,000 square feet minimum Existing: Lot 8 has a total area of 8,040 sq ft (Sheet 1)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Coverage
			<i>Commission Findings</i>	Permitted: 75% Proposed: 72%(5,757 sq ft building coverage/8,040 sq ft lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Building Setbacks
			<i>Commission Findings</i>	Minimum Required Setbacks: Front: 20' Side: 0' for internal side yards Rear: 0' Proposed: Front (N): 20' (Sheet 4) Side (E): 2" Side (W): 2" Rear (S): 2"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Height
			<i>Commission Findings</i>	Maximum Building Height Permitted: 35' Non-habitable Structures Located on Building Rooftops: 6 ft above roof surface height Parapets and Rooftop Walls Screening/Enclosing Mechanical Equipment: 4 ft above roof surface height Rooftop Solar and Mechanical Equipment Above Roof Surface: 5 ft above roof surface height Proposed: Maximum Building Height Top of Roof Deck: 32'-6" (Sheet 7) Maximum Building Height Top of Parapet: 35' (Sheet 7) Elevator (non-habitable structure): 3'-6" above roof surface (Sheet 7)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	Curb Cut

			<p>Commission Findings</p>	<p>Maximum Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p>Proposed: <i>As indicated on Sheet C1.0, the applicant has proposed a 31 ft curb cut, which is 35% of the property's total street frontage along Northwood Way.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.020.A1 & 17.125.040.B</p> <p>Parking Spaces</p>	<p>Required In Light Industrial Districts:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 1 parking space per bedroom Office, Contractor-Related Business: 1 parking space per 250 gross sq ft LI Uses (Maintenance Service Facility): 1 parking space per 1,000 gross sq ft <p>Required with My Sun Valley Home Mixed-Use Building:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 3 parking space (3 one-bedroom employee housing units) Office, Contractor-Related Business: 3 parking spaces (845 sq ft office and conference room/ 250 gross sq ft) LI Uses (Maintenance Service Facility): 6 parking space (6,101 gross sq ft LI uses/1,000 gross sq ft) <p>12 total parking space are required for the proposed use.</p> <p>Proposed: <i>The applicant has provided 15 total off-street parking spaces. 12 parking spaces are provided within the enclosed garage and 3 surface parking spaces are provided underneath the second-level cantilever. As indicated on Sheet 3 of the submittal drawings, the 3 surface parking spaces will be designated and reserved for the three employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125. 040.D</p> <p>Commission Findings</p>	<p>Off Street Vehicle Loading Area</p> <p>Required: In the LI-1, LI-2, and LI-3 Districts, off street loading areas shall be required as an accessory use for new construction or additions involving an increase in gross floor area as follows: 1. Number Of Spaces: a. One off street loading space is required for gross floor area in excess of two thousand (2,000) square feet. b. No loading space shall occupy any part of a public street, alley, driveway, or sidewalk. Where practicable to do so, an alley may be used in lieu of the requirement for off street loading space(s) if permission is granted by the Administrator. 2. Dimensions: An off street loading space shall be a minimum of one hundred eighty (180) square feet with no length of the space being less than ten feet (10').</p> <p>Proposed: <i>The off-street loading space is provided within the surface parking</i></p>

area underneath the second-floor cantilever. Sufficient area has been provided on the site for vehicles to back in towards the rear of the property to the elevator on the first level, which leads to the second-level storage area.

Table 4: Findings Regarding Dwelling Units in Light Industrial Districts Standards Analysis

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS: Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Commission Findings	<i>The three employee housing units are located on the third level of the mixed-use building as specified on Sheet 5 of the submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Commission Findings	<i>The applicant has concurrently submitted a Design Review application for the proposed mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Commission Findings	<i>The total area of residential use including the employee housing dwelling units and associated storage areas is 2,543 sq ft, which is 26% of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Commission Findings	<i>The applicant has not proposed separating the dwelling units for sale as individual units. The dwelling units are reserved for My Sun Valley Home employees.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.

24				<p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			Commission Findings	<i>N/A as no work/live units have been proposed within the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Commission Findings	<i>The three employee housing units have similar floor plans with an open kitchen and living area, a bathroom, and one bedroom. Each unit has its own designated storage area accessed from a lobby area as well as a designated parking space. Each employee housing unit contains one bedroom. Each unit and associated storage area is ~843 sq ft. The mean average of all of the employee housing units is ~845 sq ft, which is 155 sq ft less than the mean average permitted.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <ul style="list-style-type: none"> a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines; b. The area designated as light industrial shall be as follows: <ul style="list-style-type: none"> (1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings. (2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings. (3) Subject light industrial use shall not be for personal storage by dwelling occupants; c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.
			Commission Findings	<i>N/A. The proposed mixed-use building is three stories.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <ul style="list-style-type: none"> a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful

				<p>light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Commission Findings	<i>The property owner is aware of the nature of the light industrial zone and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Commission Findings	<i>The applicant has provided three more parking spaces than are required for the uses proposed within the building. The proposed light industrial, office, and residential uses generate a parking demand of 12 parking spaces and the applicant has provided 15 off-street parking space, which include three spaces specifically designated for the employee housing units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Commission Findings	<i>Recommended conditions of approval for the subject Conditional Use Permit application are specified in the Staff Report below. The Planning & Zoning</i>

Commission may attach additional conditions of approval to the Conditional Use Permit as specified by KMC §17.124.090.A10.

Table 5: Findings Regarding Conditional Use Permit Criteria Analysis

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Commission Findings	<i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is to, “provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public.”</i>
				<i>Many permitted light industrial uses, such as manufacturing, maintenance service facilities, repair shops, and motor vehicle service, may not occur elsewhere within the City of Ketchum, and these uses are largely permitted by-right in this district. In contrast, residential dwellings are permitted by Conditional Use Permit only – in order to both mitigate the impact of residential uses on light industrial operations and to ensure the proposed residential use will be located and constructed in such a manner that minimizes any negative externalities.</i>
				<i>The proposed mixed-use building is comprised of uses, which include storage, industrial laundry, maintenance service facility, and a repair shop. The property management operations align with permitted uses within the LI-2 Zone and existing uses within the Northwood Way area. Offices and a conference room are included within the building to serve the administrative functions of the property management business. The offices on the second level provide a buffer between the light industrial uses on the first level and the residential dwelling units on the third level.</i>
				<i>The light industrial, office, and residential uses are compatible with the types of uses permitted in the LI-2 Zone and existing within the Northwood Way area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Commission Findings	<i>The My Sun Valley Home Mixed-Use Building project is consistent with the types of uses in the neighborhood. The proposed residential use is not expected to materially endanger the health, safety, or welfare of the community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Commission Findings	<i>The proposed project is not anticipated to significantly increase pedestrian and vehicular traffic as the building will primarily serve My Sun Valley Home employees. Clients and customers will not frequent the mixed-use building. The applicant has provided three more off-street parking spaces than required for the proposed development. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances as well as safe vehicular and pedestrian circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be

27				established to mitigate adverse impacts.
			Commission Findings	<i>The three employee housing units will be adequately supported by public facilities and services. The addition of three new dwelling units on the third level of the mixed-use building will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			Commission Findings	<i>As described in Table 1 of this Staff Report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the Ordinances and regulations, which Ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Conditional Use Permit Application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Code Title 17.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
2. The Conditional Use Permit Application is governed under Ketchum Municipal Code Chapters 17.124 and 17.116.
3. The proposed Conditional Use Permit for two new employee housing units on the third floor of the new My Sun Valley Home Mixed-Use Building in the LI-2 Zoning District meets the standards of approval under Title 17 of KMC subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Conditional Use Permit application this Monday, January 13th, 2020 subject to the following conditions:

CONDITIONS OF APPROVAL

1. The Conditional Use Permit is non-transferable.
2. This Conditional Use Permit approval is subject to all comments and conditions as described in Tables 3, 4, and 5.
3. This Conditional Use Permit approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Conditional Use Permit plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. This Conditional Use Permit approval is subject to Design Review P20-003. All conditions of approval shall apply.
5. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2
6. No individual housing unit may exceed a maximum of 2,000 sq ft or contain more than two bedrooms and all units within a building shall not exceed a mean average of 1,000 sq ft.

7. No residential use shall occur on the ground level (first floor).
8. Due to both the mixed-use nature of this space and in order to ensure compliance with the zoning code requirement that the employee housing units do not exceed the residential unit size restriction in the LI-2 Zone, the Fire Marshal shall conduct routine inspections of the mixed-use building.
9. Inspections by Planning Staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of Staff.
10. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
11. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
12. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
13. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

Findings of Fact **adopted** this 10th day of February, 2020.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

IN RE:)
)
 My Sun Valley Home Mixed-Use Building) **KETCHUM PLANNING AND ZONING COMMISSION**
 Design Review) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
 Date: February 10, 2020) **DECISION**
)
 File Number: 19-003)

PROJECT: My Sun Valley Home Property Services Mixed-Use Building

FILE NUMBERS: P19-003

APPLICATION TYPES: Design Review

REPRESENTATIVE: Don Stamp, Architect

OWNER: Corey & Amber Black/Black Properties, LLC

REQUEST: Design Review for the proposed development of a new three-story, 9,822 gross sq ft mixed-use building, which will include work spaces, offices, a laundry facility, and storage for My Sun Valley Home Property Services and a Conditional Use Permit for the three employee housing units on the third level.

LOCATION: 120 Northwood Way (Northwood Light Industrial Park Subdivision Phase 1: Block 1: Lot 8)

ZONING: Light Industrial District Number 2 (LI-2)

OVERLAY: 48 ft Height Overlay

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on December 30th, 2019. The public hearing notice was published in the Idaho Mountain Express on December 25th, 2019.

Findings Regarding Applications Filed

Owners and operators of My Sun Valley Home, Corey and Amber Black have submitted a Design Review application concurrent with a Conditional Use Permit application for the development of a new three-story, 9,822 sq ft mixed-use building, which will contain three employee housing units on the third level, located at 120 Northwood Way (Northwood Light Industrial Subdivision: Lot 8) within the Light Industrial Number 2 (LI-2) Zoning District. The mixed-use building will be comprised of light industrial, office, and residential uses. The property management operation includes multiple permitted light industrial uses, such as a maintenance service facility, storage, industrial laundry, repair shop, and motor vehicle service. The second-level of the proposed mixed-use building is comprised of offices as well as a conference room for administrative functions associated with the property management service, which is permitted use in the LI-2 Zone as a contractor-related business as specified in Ketchum Municipal Code (KMC) §17.08.020.

OFFICE, CONTRACTOR-RELATED BUSINESS: An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction, landscaping, maintenance and property management (KMC §17.08.020).

As indicated on Sheet 5 of the applicant submittal (Exhibit A), the third level of the building is reserved for three one-bedroom employee housing units. The housing units are accessed from a common lobby. Each unit has its own separate storage area and designated parking space. The employee housing units are subject to the minimum criteria for residential units in light industrial districts as specified in KMC §17.124.090.

Findings Regarding Subject Property

The subject property, Lot 8 of Northwood Light Industrial Park Subdivision Phase 1, is currently vacant and has a total area of 8,040 sq ft, which complies with the 8,000 sq ft minimum lot area required in the LI-2 Zone. To the east of the subject property at the corner of Northwood Way and Lewis Street, the 100 Northwood Way mixed-use building is currently under construction. A commercial building utilized by High County Resort Properties, sheet-metal fabrication, and auto detailing lies adjacent to the west of the subject property. The Glaske and Horn Industrial condominiums are across Northwood Way to the north of subject Lot 8.

Finding Regarding Public Hearing

At the December 9th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Design Review submittal as well as Staff analysis, the applicant’s presentation, and public comment. Following review of the Pre-Application and providing feedback to the applicant, the Commission unanimously moved to advance the project to final Design Review.

Table 1: Findings Regarding Comprehensive Plan Analysis

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Well-Connected Community, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<p>Land Use Category: Mixed-Use Industrial</p>	<p>PRIMARY USES Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</p> <p>SECONDARY USES A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>CHARACTERISTICS AND LOCATION The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p> <p><i>My Sun Valley Home is a property management operation that combines many light industrial uses including routine maintenance of buildings, industrial laundry, repair shop, storage, and motor vehicle service. The proposed mixed-use building will also contain offices for the business’s administrative functions, which is permitted in the LI-2 Zone as a contractor-related business. The commercial components of the mixed-use building meet the intention for primary uses in the mixed-use industrial area. The employee housing units provided on the third floor</i></p>

meet the intention for secondary uses in the mixed-use industrial land use category.

Community Design and Neighborhoods

Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.

Housing

Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Policy H-1.2 Local Solutions to Attainable Housing	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions. <i>The proposal integrates housing into the light industrial area in a mixed-use building.</i>
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	<i>The housing stock in Ketchum predominately consists of single-family homes, attached and detached townhomes, large scale condominium developments, and condominiums within mixed use buildings in the Community Core. These three employee housing units represent a less common housing type (residential above a business in the LI), thus diversifying the mixture of housing available.</i>

A Strong and Diverse Economy

Goal E-1	Ketchum will work to retain and help expand existing independent small local business and corporations.
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Mobility

Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
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Future Land Use

Goal LU-1: Promote a functional, compact, and mixed-use pattern that integrates land and balances residential and non-residential land uses.	Policy LU-1.1 Integrated and Compatible Land Uses <i>The project seamlessly balances the light industrial functions associated with the property management with the residential employee housing units. The uses associated with the property management operations including storage and laundry are compatible with the adjacent land uses in the LI-2 Zone.</i>
Goal LU-2 Support infill and redevelopment in the downtown, major activity areas	Policy LU-2.2 Compatible Residential Infill Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.

32 and specific areas that can take advantage of proximity to services and transportation.	The project includes new residential units on the third floor of the property services building.
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Table 2: Findings Regarding City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance. • An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. • Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. • Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from

burning embers.

- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The shall improve the adjacent Northwood Way right-of-way to comply with City ROW standards specified for a 60-foot wide right-of-way including: (a) sidewalk, parking, and drive lane width, (b) stop, street, and parking sign installation, (c) street lights, and (d) parking stall dimensions. Specifications for the ROW improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an encroachment permit approved by the City will be required. Property owner will be responsible for all associated maintenance and repair.
- All lighting within the ROW will need to meet city ROW standards (see Right-of-Way Standards, Commercial Category). Per City ROW standards a lighting study will need to be provided to ensure proper lighting of sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc.
- Per ADA Standards sidewalks cross slopes are 1.75 +/- 0.25 percent.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system at Northwood Way.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 1, 3, and 4.

Table 3: Findings Regarding Zoning and Dimensional Standard Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and <i>Commission Findings</i>	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Lot Area
			<i>Commission Findings</i>	Required: 8,000 square feet minimum Existing: Lot 8 has a total area of 8,040 sq ft (Sheet 1)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Coverage
			<i>Commission Findings</i>	Permitted: 75% Proposed: 72%(5,757 sq ft building coverage/8,040 sq ft lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Building Setbacks
			<i>Commission Findings</i>	Minimum Required Setbacks: Front: 20' Side: 0' for internal side yards Rear: 0' Proposed: Front (N): 20' (Sheet 4) Side (E): 2" Side (W): 2" Rear (S): 2"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Height
			<i>Commission Findings</i>	Maximum Building Height Permitted: 35' Non-habitable Structures Located on Building Rooftops: 6 ft above roof surface height Parapets and Rooftop Walls Screening/Enclosing Mechanical Equipment: 4 ft above roof surface height Rooftop Solar and Mechanical Equipment Above Roof Surface: 5 ft above roof surface height Proposed: Maximum Building Height Top of Roof Deck: 32'-6" (Sheet 7) Maximum Building Height Top of Parapet: 35' (Sheet 7) Elevator (non-habitable structure): 3'-6" above roof surface (Sheet 7)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	Curb Cut
			<i>Commission Findings</i>	Maximum Permitted:

				<p>A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p>Proposed: <i>As indicated on Sheet C1.0, the applicant has proposed a 31 ft curb cut, which is 35% of the property's total street frontage along Northwood Way.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125.020.A1 & 17.125.040.B</p> <p>Parking Spaces</p>	<p>Required In Light Industrial Districts:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 1 parking space per bedroom Office, Contractor-Related Business: 1 parking space per 250 gross sq ft LI Uses (Maintenance Service Facility): 1 parking space per 1,000 gross sq ft <p>Required with My Sun Valley Home Mixed-Use Building:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 3 parking space (3 one-bedroom employee housing units) Office, Contractor-Related Business: 3 parking spaces (845 sq ft office and conference room/ 250 gross sq ft) LI Uses (Maintenance Service Facility): 6 parking space (6,101 gross sq ft LI uses/1,000 gross sq ft) <p>12 total parking space are required for the proposed use.</p> <p>Proposed: <i>The applicant has provided 16 total off-street parking spaces, including one ADA parking space adjacent to the front entrance to the mixed-use building. 12 parking spaces are provided within the enclosed garage and 3 surface parking spaces are provided underneath the second-level cantilever. As indicated on Sheet 3 of the submittal drawings, the 3 surface parking spaces will be designated and reserved for the three employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.125. 040.D</p> <p>Off Street Vehicle Loading Area</p>	<p>Required:</p> <p>In the LI-1, LI-2, and LI-3 Districts, off street loading areas shall be required as an accessory use for new construction or additions involving an increase in gross floor area as follows:</p> <p>1. Number Of Spaces:</p> <p>a. One off street loading space is required for gross floor area in excess of two thousand (2,000) square feet.</p> <p>b. No loading space shall occupy any part of a public street, alley, driveway, or sidewalk. Where practicable to do so, an alley may be used in lieu of the requirement for off street loading space(s) if permission is granted by the Administrator.</p> <p>2. Dimensions: An off street loading space shall be a minimum of one hundred eighty (180) square feet with no length of the space being less than ten feet (10').</p> <p>Proposed: <i>The off-street loading space is provided within the surface parking</i></p>

area underneath the second-floor cantilever. Sufficient area has been provided on the site for vehicles to back in towards the rear of the property to the elevator on the first level, which leads to the second-level storage area.

Table 4: Findings Regarding Design Review Standards Analysis

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Commission Findings</i>	<i>The subject property has existing street frontage on Northwood Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			<i>Commission Findings</i>	<i>No changes to the lanes of travel in the street are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Commission Findings</i>	<i>As the mixed-use building is new construction, the project qualifies as a substantial improvement and the developer shall install sidewalks, curb, and gutter adjacent to the front property line along Northwood Way to comply with City right-of-way standards specified for 60-foot wide ROW roads.</i> <i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i> <i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060B2c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Commission Findings</i>	<i>All ROW improvements shall be constructed to City ROW standards including specifications for sidewalk width. See Table 2 for comments and conditions from the City Engineer & Streets Department. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Commission Findings</i>	<i>N/A as sidewalks are required to be installed with the My Sun Valley Home Mixed-Use Building development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.

			Commission Findings	<i>The length of sidewalk improvements constructed shall be equal to the length of the subject front property line) adjacent to Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Commission Findings	<i>As indicated on Sheet C1.0, the new 6 ft concrete sidewalk is designed to connect to the existing sidewalks along Northwood Way adjacent to Lots 7A and 9 of the Northwood Light Industrial Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Commission Findings	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1	All storm water shall be retained on site.
			Commission Findings	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted a preliminary drainage plan on Sheets C1.0 and C2.0 of the submittal drawings. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Commission Findings	<i>See above Commission Findings for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped by an Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.3	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Commission Findings	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4	Drainage facilities shall be constructed per City standards.
			Commission Findings	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Commission Findings	<i>The applicant is aware of this requirement and the preliminary plans indicated on Sheets C1.0 and C2.0 show utility connections and locations. Prior to</i>

				issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Idaho Power. See Table 2 for Utilities Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Commission Findings	All utilities within the development site shall be underground and concealed from public view. See above Commission Findings for Ketchum Municipal Code §17.96.060(D)(1).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3	When extension of utilities is necessary all developers will be required to pay for and install two (2”) inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Commission Findings	The applicant is aware of this requirement and will comply with these standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Commission Findings	As indicated on the Material Board and Sheet 7 of the drawings, the proposed exterior materials include: (1) “weathered zinc” vertical standing seam siding, (2) prefabricated, light-gray stucco panels, (3) “rubi” Parklex wood siding panels, (4) corrugated galvanized guardrail panels with dark gray steel supports, (5) “hemlock” clad wood windows and doors, (6) brown fiberglass windows, (7) dark-gray, exposed steel beams and columns, and (8) red/brown gridded steel screening panels. The roof system is comprised of (1) “weathered zinc” standing seam metal roofing, (2) a white TPA flat roof system, and (3) curved corrugated galvanized roofing. The proposed design including the exterior materials and colors of the mixed-use building is complementary to other structures within the neighborhood. The gray stucco and wood siding panels combined with the exposed steel beams and columns echo the light industrial area’s interaction with Ketchum’s mountain backdrop and natural surroundings. Disparate from the flat roof system, the low pitch roof (1.5/12) element is highlighted as a distinguished feature that resonates with the architectural vernacular of the new, more modern development within the City of Ketchum. The specification and rendering for the proposed sign is included on Sheet 9 of the submittal drawings. The proposed sign materials including the gridded steel panels and exposed tube steel as well as the dark brown and gray colors match the design of the mixed-use building.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Commission Findings	N/A. There are no identified landmarks on the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Commission Findings	N/A as the lot is vacant and the project will be new construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Commission	The sidewalk within the public ROW will connect to an on-site concrete entry

			Findings	walkway, which leads to the front entrance of the mixed-use building and spans the length of the garage bay (Sheet L1.0). The main building entrance is defined through the use of architectural elements, including the low pitch roof and cantilever of the second-level balcony, which frame and highlight the entryway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2	The building character shall be clearly defined by use of architectural features.
			Commission Findings	As indicated by the renderings on Sheets 2, 7, and 8, breaks are incorporated within the vertical wall planes through projecting elements, such as the balconies, and recessed building masses. The design of each façade is further articulated by varying roof heights. The material differentiation and fenestration provided across all façade further define the building. The design incorporates a rectangular rhythm with the unique patterns provided by the wood and gray stucco siding panels. The low pitch roof element enhances the prominence of the main entrance to the mixed-use building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3	There shall be continuity of materials, colors and signing within the project.
			Commission Findings	The same materials and color schemes are used on all four facades of the building. The materials and color of the proposed sign complement the exterior design of the mixed-use building.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F4	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Commission Findings	The gridded steel screening panels, roof overhang, and steel beams associated with the dumpster enclosure serve as a unique architectural element that complements the design of the mixed-use building. The landscape plantings combine Swedish aspens with grasses and shrubs that complement the mixed-use building and serve as a buffer from Northwood Way and the adjacent property to the west.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Commission Findings	The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The façades combine horizontal and vertical elements through the variation of siding materials, the placement of balconies and associated railings, the garage doors, as well as the fenestration provided through multiple window and door openings. The main entrance is distinguished by the low pitch roof and the overhang of the second-level balcony. Breaks are incorporated into the vertical wall plane through recessed building masses and projecting elements, which articulate the each and reduce the appearance of flatness.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6	Building(s) shall orient towards their primary street frontage.
			Commission Findings	The front façade of the building orients towards Northwood Way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Commission Findings	While located at the front façade, the dumpster enclosure is fully screened from public view through gridded steel screening panels and exposed steel beams and columns. The curved roof overhanging the dumpster enclosure serves as a unique architectural element that complements the light industrial design aesthetic. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.

	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Commission Findings</i>	<i>The majority of the roof system is flat with roof drains that prevent water from dripping or snow from sliding onto circulation areas. As noted on Sheet 5 of the drawings, the curved roof element overhanging the dumpster will include snow retention devices. The projected low pitch roof overhang and second-level balcony overhang serve as weather protection for the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Commission Findings</i>	<i>The applicant as proposed an on-site concrete entry walkway, which will connect to the new concrete sidewalk along Northwood Way (Sheet L1.0). As indicated on Sheet C1.0, the proposed concrete sidewalk will connect to the existing sidewalk along Northwood Way. No new easements or pathways are expected in this vicinity of the Light Industrial zone. Equestrian access is not appropriate in this location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Commission Findings</i>	<i>N/A as no awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Commission Findings</i>	<i>Vehicular traffic will access the development from Northwood Way. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Findings</i>	<i>The subject property is located over 150 ft from the intersection of Northwood Way and Lewis Street. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Commission Findings</i>	<i>Northwood Way provides unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles. The project poses no impediment to emergency or service vehicles.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Commission Findings</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2	Snow storage areas shall be provided on-site.
			<i>Commission Findings</i>	<i>N/A. As indicated on Sheet 1, the applicant has proposed hauling snow from the site as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3	A designated snow storage area shall not have any dimension less than five

41				(5') feet and shall be a minimum of twenty-five (25) square feet.
				<i>Commission Findings</i> As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
				<i>Commission Findings</i> As noted on Sheet 1 of the drawings, the applicant has proposed hauling the snow off-site in lieu of providing a snow storage area on-site. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping is required for all projects.
				<i>Commission Findings</i> The landscape plan is included on Sheet L1.0 of the submittal drawings. The landscape plan includes Swedish aspens as well as planters comprised of ornamental grasses and perennial flowers.
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
				<i>Commission Findings</i> The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the mixed-use building and enhance the neighborhood. Bordering the front property line, the planters framing the driveway access create an inviting entryway to the mixed-use development.
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.I3 All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
				<i>Commission Findings</i> All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
				<i>Commission Findings</i> The proposed landscaping will provide a buffer between the mixed-use building and Northwood Way. The line of Swedish Aspen trees bordering the interior property line will provide a buffer between the entryway to the mixed-use building from the adjacent mixed-use development to the west.
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
				<i>Commission Findings</i> The project is located in the Light Industrial area and the width of the existing sidewalks in the neighborhood as well as the proposed sidewalk along Northwood Way range from 5 to 6 ft. As a result, the width does not provide sufficient clearance to allow public amenities in the sidewalk while still maintaining a clear path of travel as required by ADA. Further, sight constraints limit available locations to install amenities as any obstruction would conflict with vehicle ingress and egress into the site. Given the associated site constraints, Staff finds this standard to be inapplicable to the project.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the Ordinances and regulations, which Ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review Application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
2. The Design Review Application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, and 17.128.
3. The proposed Design Review for the development of the My Sun Valley Home mixed-use building meets the standards of approval under Title 17 of KMC subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review application this Monday, January 13th, 2020 subject to the following conditions:

CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. This Design Review approval is subject to Conditional Use Permit P20-004. All conditions of approval shall apply.
4. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.
5. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.

7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
9. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 10th day of February, 2020.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

KETCHUM FIRE STATION DESIGN REVIEW
STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: Ketchum Fire Station

FILE NUMBER: P20-013

APPLICATION: Design Review

REPRESENTATIVE: Cole Architects

OWNER: City of Ketchum

LOCATION: 107 Saddle Road (Portion of Tax Lot 6689)

ZONING: Tourist (T)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property adjacent to the project site on January 22nd, 2020. The public hearing notice was published in the Idaho Mountain Express on January 22nd, 2020.

REVIEWER: Abby Rivin, Associate Planner



Figure 1: PUD Parcel Tax Lot 6689

FIRE STATION LOCATION

The new fire station is located on a portion of a larger parcel owned by the City within a Planned Unit Development (PUD) in the Tourist Zone. The PUD includes the Northwood Place apartments, the YMCA, and shared public parking areas all on the same parcel. The fire station site area is 15% of the PUD area with over 150 feet of street frontage along Saddle Road.

The neighborhood connects residential, commercial, recreational, and industrial development. A recreation hub, the multi-use path connects the YMCA to Guy Coles Skate Park and Rotary Park. Across Saddle Road, a townhome development extends north from the Church of the Big Wood.

Industrial buildings, including the Fire Training Facility on Lewis Street, border the east side of the PUD.

The project location and site area meet the Fire Department’s operational needs. The Future Land Use Map designates the parcel as Public/Quasi-Public for community services, utilities, and government buildings like the proposed fire station. The City-owned parcel is one of only four properties within the City designated for this type of essential facility. The other Public/Quasi-Public properties are developed with the Community Library, Post Office, and the Wastewater Treatment Plant.

PROJECT COMPLIES WITH DESIGN REVIEW STANDARDS



Figure 2: Fire Station Rendering by Cole Architects

The fire station design balances multiple discordant functions, including living quarters, apparatus and equipment storage, maintenance, decontamination facilities, and administrative offices and training rooms. Occupied by personnel in continuous 24-hour shifts, the fire station design must balance

these different activities while maintaining a healthy and safe environment. The building layout and site design organizes similar functions within distinct areas—the apparatus bays at the center of the station separate the operations and maintenance area from the administrative offices, public meeting room, and residential areas. The orientation and placement of rectangular building shapes facilitate this functional arrangement. The modern design refashions traditional materials like brick to augment visual interest. Details like the red trim across the apparatus-bay windows allude to more traditional firehouse design.

PARKING & TRAFFIC CIRCULATION

By Highway 75, Saddle Road, and Warm Springs, the fire station is centrally located with easy access to main routes that connect to all areas of the City. The circulation plan includes drive-through apparatus bays and sight windows that enhance safety while minimizing the fire station’s impact to neighborhood traffic. The City has engaged a professional traffic engineer to identify safety concerns or circulation conflicts. Any improvements necessary to ensure the safety of pedestrians, bicyclists, drivers, and emergency responders will be included in the project plan.

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The shared parking areas within the PUD contain 220 public parking spaces. The parking spaces are unrestricted and shared between multiple users. Instead of restricting spaces to an exclusive use, sharing spaces satisfies parking demand by flexibly accommodating various uses during different times of the day. More than enough parking spaces are provided in the PUD to meet the needs of all users including the fire station parking demand.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, and approve the Ketchum Fire Station Design Review.

ANALYSIS

Staff analysis is provided in Tables 1 through 4 including: (1) the project’s alignment with the 2014 Comprehensive Plan, (2) City Department comments, (3) adherence zoning and dimensional standards, and (4) evaluation of Design Review criteria. Project plans are attached as Exhibit A. The *Response to Planning and Zoning Commission Comments on the Fire Station Pre-Application Design Review* included as Exhibit B provides additional information regarding the site selection process, shared parking area, employee housing considerations, and traffic circulation.

Table 1: Comprehensive Plan Analysis

A critical facility that will support the future growth of Ketchum, the new fire station is an essential facility needed to sustain our vibrant mountain town. Providing fire protection and emergency medical services, the Fire Department preserves and enhances quality of life for Ketchum residents and visitors. The 2014 Comprehensive Plan identified the construction of a new, modern fire station as the department’s highest priority. By protecting life and property, the Fire Department provides the foundation to support our community vision and shared values. The fire station is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN & STAFF COMMENTS
Land Use Category: Public/Quasi Public	<p>PRIMARY USES The Public/Quasi-Public category includes uses related to community services, such as schools, libraries, community centers and gardens, arts/culture, hospitals, government, utilities, cemeteries, and places of worship.</p> <p><i>The fire station is a public facility that delivers an essential service to the community. <u>The project site is one of only four properties within the City designated as an appropriate location for this type of use.</u> The remaining Public/Quasi-Public properties are developed with the Community Library, Post Office, and the Wastewater Treatment Plant.</i></p>
Future Land Use	

<p>Infill and Redevelopment to Accommodate Growth</p>	<p><i>Ketchum needs a new fire station to sustain our vibrant community and support future growth. As first responders to fires, public safety and medical emergencies, and technical rescues, the Fire Department protects the lives and property of The fire station is a critical facility needed to deliver essential services to protect the community. A vacant and underutilized property within a built-out area, the project site is strategically located for emergency response near major transportation corridors. As Ketchum continues to grow, the Fire Department must respond to increasing demands for services. The fire station is necessary to support the future growth of Ketchum.</i></p>
<p>A Strong and Diverse Economy</p>	
<p>Policy E-2(b) Quality of Life Infrastructure</p>	<p><i>The Fire Department keeps Ketchum dynamic, resilient, and economically viable. By enhancing delivery of fire protection and emergency services, the fire station project is critical to Ketchum's economic success.</i></p>
<p>Community Design and Neighborhoods</p>	
<p>Policy CD-1.3 Compatible Infill and Redevelopment Projects</p>	<p><i>The fire station is contextually appropriate located in a neighborhood at the intersection of commercial, industrial, and residential development.</i></p>
<p>Policy CD-1.5 High-Quality and Sustainable Design Principles for Public Buildings and Public Outdoor Spaces</p>	<p><i>Centrally located, the fire station is sited near main routes to serve Ketchum residents and visitors. The project plans include a community room to host public meetings and events.</i></p> <p><i>The fire station will be a LEED certified building.</i></p>
<p>Policy CD-2.5 Energy and Water Efficiency in New Development</p>	<p><i>The fire station will be a LEED certified building to ensure high performance standards for energy and water conservation.</i></p>
<p>Natural Resource Stewardship</p>	
<p>Policy NR6.1 City Leadership in Energy Efficiency and Conservation</p>	<p><i>The City of Ketchum will serve as an example by continuing to improve energy efficiency and GHG reductions in City facilities and operations.</i></p>
<p>Policy NR6.2 Energy Alternatives</p>	<p><i>The City should implement policies and programs that enhance opportunities for individuals, businesses, and public organizations to conserve energy and convert to renewable resources. The City should support energy conservation in City buildings, vehicles, operations and processes through its own policies, and provide information about techniques for energy efficiency.</i></p>
<p>Public Safety and Utilities</p>	

48 al PSU-1	Ketchum will proactively ensure the safety and welfare of residents by providing high levels of police, fire, and emergency response services. In addition, the City will promote community awareness and involvement with crime prevention and code enforcement. A primary objective is to provide and maintain reliable funding to protect investment in existing fire and police facilities and ensure appropriate levels of service.
Policy PSU-1.3 Fire and Police Service Standards	Future fire and police facility requirements should be determined using level of service (LOS) standards. Level of service should be defined as the optimum level of service desired from the service provider and may differ from the current LOS.
Policy PSU-3.2 Channeling Capital Improvements	The fire station project provides a safety-related capital improvement.

Table 2: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments
<i>All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to

structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.

Note: The entire building shall be protected by an NFPA 13 Fire Sprinkler system.

- NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1). Any roof drain locations will need to be shown on project plans submitted with the Building Permit application.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2,

the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.

- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020. Reconstruction of the city sidewalk is required. Specifications for the ROW improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
- Recommended separation distance between a dry well and water main is 25’. If a dry well is installed closer than 25’ to the water main install 20 mil HDPE groundwater barrier along the water main side of drywell. Barrier should extend of 18 inches below the water main pipe. Minimum distance between a dry well and water main must be 10’.
- Utility locations (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas. All utilities need to be shown on the plans including the location and size of water and sewer mains and services, gas, electric, TV and phone.
- Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with the Comprehensive Plan, zoning and dimensional standards, and Design Review evaluation standards.

Table 3: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>

51	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			<i>Staff Comments</i>	<p>Required: 8,000 square feet minimum</p> <p>Existing: Tax Lot 6689 Total: 249,150 square feet Fire Station Project Site: 35,139 square feet</p>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Open Space</p> <p><i>Staff Comments</i></p> <p>Required: 35%/30% (Footnote 5: 5% open site area may be used for private decks or patios and walkways subject to Design Review approval)</p> <p>Proposed with Ketchum Fire Station: YMCA and Greenhouse Building Footprint: 69,282 square feet Northwood Place & Carport Building Footprint: 23,402 square feet Ketchum Fire Station & Carport Building Footprint: 14,810 square feet Total Building Footprint: 107,494 square feet Total Open Space: 141,656 square feet Open Space: 57% (141,656 square feet open space/249,150 square feet Tax Lot 6689 area)</p>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Floor Area Ratios and Community Housing</p> <p><i>Staff Comments</i></p> <p>Floor Area Ratio Permitted in Tourist (T) Zoning District FAR Permitted in T Zone: 0.5 FAR Permitted with Inclusionary Housing Incentive: 1.6</p> <p>Proposed Floor Area Ratio Existing YMCA and Northwood Place Gross Floor Area: 128,806.5 square feet (YMCA 91,374 gross square feet + Northwood Place 37,432.5 gross square feet)</p> <p>Proposed Ketchum Fire Station Gross Floor Area: 17, 507 gross square feet</p> <p>Total Gross Floor Area of YMCA, Northwood Place, Ketchum Fire Station: 146,313.5 gross square feet Floor Area Ratio Proposed: 0.59 (146,313.5 gross square feet/249,150 square feet TL 6689 area)</p> <p>Increase Above 0.5 Permitted FAR: 21,738.5 square feet (146,313.5 gross floor area-124,575 permitted 0.5 gross floor area) 20% of Increase: 4,348 square feet 15% Reduction for Net Livable Floor Area: 3,696 square feet</p> <p>Northwood Place is an affordable apartment complex with 32 deed restricted community housing units. Comprised of five buildings, the</p>

				total floor area of Northwood Place is 33,188 square feet, which satisfies the community housing contribution.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			<i>Staff Comments</i>	<p>Minimum: <i>Front: 15 feet</i> <i>West Side Setback Along Saddle Road Waiver (PUD CUP 04-008): 0 feet</i> <i>East Side Setback Along Interior Property Line Waiver (PUD CUP 09-023): 0 feet</i> <i>Rear: > 1 per 3 feet in building height, but no less than 10 feet</i> <i>Setback Along Warm Springs Road with Waiver: 20 feet</i></p> <p><i>The PUD designates the Warm Springs Road boundary as the front property line.</i></p> <p>Proposed: <i>Front (South/Warm Springs): Greater than 15 feet</i> <i>Rear (North/Park Circle): Greater than 15 feet</i> <i>Side with Waiver (East/Interior): 0 feet</i> <i>Side with Waiver (West/Saddle Road): 0 feet</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			<i>Staff Comments</i>	<p>Maximum Permitted in Tourist Zone: 35 feet Maximum Permitted with PUD Waiver: 45 feet-6 inches</p> <p>Proposed: <i>The fire station is 29 feet tall.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	Curb Cut
			<i>Staff Comments</i>	<p>Required: <i>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</i></p> <p>Existing: <i>YMCA (PUD CUP 04-008 & Design Review CR04-013): 5%</i> <i>Northwood Place (PUD CUP 09-023 & Design Review R09-003): 38 feet/27% Park Circle frontage</i></p> <p>Proposed: <i>As indicated on the Site Plan (Sheet C2.00), 2 curb cuts are proposed along Saddle Road to facilitate two-way traffic for command vehicles and fire apparatus to exit and enter the fire station. The 2 curb cuts are separated by a grass median. The north access serves as the main entrance and exit for staff vehicles and fire trucks. During an emergency response, firefighters will exit the station from the apparatus-bay curb cut.</i></p>

				<p>Tax Lot 6689 has 1,747 feet of street frontage along Park Circle, Saddle Road, and Warm Springs Road. The property has 890 feet of street frontage along Saddle Road. The 2 curb cuts have a combined width of 147.5 feet. An existing 30-foot curb cut along Saddle Road serves as the main access to the YMCA. The total width of the driveway accesses along Saddle Road will be 177.5 feet or 20% of the street frontage along Saddle Road.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p><i>Staff Comments</i></p> <p>Off-street parking standards apply to any new development and to any new established uses.</p> <p>Required: <i>Non-Residential Use in T Zone: 1 parking space per 1,000 gross square feet (Footnote 1: Refer to definition of floor area, gross and with the additional exclusion of common and public areas).</i></p> <p>Proposed: <i>Ketchum Fire Station is 17,507 gross square feet generating a parking demand of 18 parking spaces.</i> <i>The shared parking areas within the PUD contain 220 public parking spaces. More than enough parking spaces are provided in the PUD to meet the needs of all users including the fire station parking demand.</i></p>

Table 4: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p><i>Staff Comments</i></p> <p>Tax Lot 6689 is bordered by Park Circle to the north, Saddle Road to the west, and Warm Springs to the south. A driveway access along Saddle Road at the north end of the project site provides two-way traffic to the fire station. The apparatus bay curb cut is reserved for emergency response.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	<p>All street designs shall be approved by the City Engineer.</p> <p><i>Staff Comments</i></p> <p>No changes are proposed to the street design or lanes of travel within the Saddle Road right-of-way.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	<p>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</p> <p><i>Staff Comments</i></p> <p>The fire station is new construction and qualifies as a substantial improvement project requiring the installation of sidewalks. A concrete path extends the length of the PUD connecting Northwood</p>

				<p><i>Place to the YMCA. The path within the project site will be relocated within the Saddle Road right-of-way to align with the existing path.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i></p> <p><i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	<p>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</p> <p><i>Staff Comments</i> <i>All ROW improvements shall be constructed to City ROW standards. The proposed width of the path is 7 feet to match the existing sidewalk to the north and south. The City Engineer may reduce or increase the sidewalk width and design standard requirements.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the City Engineer & Streets Department.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. <p><i>Staff Comments</i> <i>N/A the existing pathway must be relocated within the Saddle Road right-of-way.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	<p>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p> <p><i>Staff Comments</i> <i>The sidewalk will be constructed across the length of the project site along Saddle Road.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5 Sidewalks	<p>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</p> <p><i>Staff Comments</i> <i>The new sidewalk along Saddle Road will connect to a path that leads to the fire station’s public entrance. The sidewalk extends the length</i></p>

				<i>of the PUD and connects Northwood Place to the YMCA. This circulation system connects to the BCRD Wood River Trail multi-use path, commonly referred to as the bike path, to the west across Saddle Road through existing crosswalks.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			Staff Comments	<i>All storm water shall be retained on site including water from roof drains. Preliminary drainage plans are indicated on Sheets C2.0 and C3.0 of the Design Review submittal drawings. The proposed drainage plan includes a system of drywells and grass drainage swales.</i> <i>Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 2 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	<i>See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements are required to meet City standards.</i> <i>All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</i> <i>See Table 2 for review comments and conditions from the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

			<i>Staff Comments</i>	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>Sheet C4.00 of the project plans show utility connections and locations. All utilities necessary for the fire station must be improved and installed at the sole expense of the applicant. Prior to issuance of a Building Permit, the applicant must secure a will-serve letter from Idaho Power. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the Utilities Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>All utilities within the development site shall be underground and concealed from public view. See above analysis for Ketchum Municipal Code §17.96.060D1. The generator located at the northeast corner of the project site must be fully screened from public view.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The exterior elevations (Sheet A3.00) show the proposed materials, colors, and signage. The façade design alternates gray horizontal metal panels with brown vertical metal siding. Projecting towards</i>

				<p><i>Saddle Road, the four apparatus bays are distinguished from the rest of the fire station with black brick veneer and glass-panel garage doors. The modern building alludes to traditional firehouse design through red detailing framing the garage doors. Integrated with the architecture of the building, the Ketchum Fire Station 1 sign at the south elevation directs attention to the public entryway. In addition to the red firehouse doors, the 1 sign at the front elevation anchors the building as a fire station.</i></p> <p><i>Residential, commercial, and light industrial development border the project site and PUD. Most of the surrounding neighborhood is developed with the exception of a few vacant properties in the light industrial area. To the east of the project site, the light industrial buildings are characterized by more simple design styles that combine stucco, concrete, and brick. Directly north of the project site, the Northwood Place façade design uses stone veneer to differentiate from the horizontal siding. Across Saddle Road, buildings including the church and townhomes integrate river rock, stone veneer, stucco, and wood siding into the façade design. The alternation of brick veneer with board-and-batten siding provides visual interest to the YMCA building.</i></p> <p><i>The materials proposed for the fire station are compatible with the surrounding neighborhood and nearby buildings. The design approach refashions traditional materials combined with contemporary finishes to augment visual interest. The new fire station will add modern style to the eclectic buildings within the neighborhood. The adaptation of traditional materials like the brick complements the more conventional design styles in the neighborhood.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p>
			<i>Staff Comments</i>	<i>N/A. No significant landmarks of historical or cultural importance have been identified on the property. The project site has been used for parking and snow storage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	<p>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</p>
			<i>Staff Comments</i>	<i>N/A This standard does not apply because the fire station is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	<p>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</p>

			<p><i>Staff Comments</i></p> <p><i>The project plans include a path that borders the south side of fire station and directs pedestrians to the public entrance from the shared parking area. This pathway leads to the sidewalk that extends from Northwood Place to the YMCA. This internal circulation system will connect to the bike path across Saddle Road through existing crosswalks.</i></p> <p><i>The fire station accommodates diverse spaces from living quarters to fire truck storage to maintenance areas to administrative offices. These different fire station functions are separated within the building. The apparatus bays at the center of the station separate the administrative areas and firefighter living quarters from areas dedicated to emergency response operations, maintenance, and storage.</i></p> <p><i>The design of the entryway at the south elevation includes large windows and doors inviting the public into the facility. The entryway is distinguished from the rest of the fire station by brown metal siding and signage. The emergency response operations area incorporates with fewer windows and uses different materials combining the gray metal panels with the black brick.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F2 Architectural</p> <p>The building character shall be clearly defined by use of architectural features.</p> <p><i>Staff Comments</i></p> <p><i>The fire station is characterized by modern design elements with simple building forms and functional floor plans. The orientation and placement of rectangular building shapes with flat roofs at varying heights define the fire station’s functional arrangement.</i></p> <p><i>Separating the operations and maintenance areas from the administrative offices and living quarters, the apparatus bays at the center of the station are defined by the glass-paneled garage doors. These windows will introduce natural light into the apparatus bays while providing pedestrians a unique view of the stored fire engines.</i></p> <p><i>The southern portion of the building is distinguished from the rest of the fire station through its size, shape, and placement. With significant fenestration, the south façade design welcomes the public into the fire station. The pattern of material placement provides texture to the box building form. The vertical placement of the brown metal siding provides visual relief from the horizontal metal panels and black brick.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F3 Architectural</p> <p>There shall be continuity of materials, colors and signing within the project.</p>

			<i>Staff Comments</i>	<i>The exterior walls of the building utilize the same metal and brick materials and gray, black, and brown color scheme. Highlighting the apparatus bays, the use of the firehouse red is limited to the apparatus-bay garage doors. The consistent pattern of material placement and colors across all building walls connects the diverse functions of the fire station into one cohesive design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	<p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p><i>Staff Comments</i></p> <p><u>Accessory Structures</u> <i>The 1,360 square foot carport at the southeast corner of the project site uses the same black brick material as the fire station. A row of rectangular windows at the carport’s south elevation provides relief from the black brick veneer. The four parking spaces in the carport will be reserved for staff and command vehicles. A covered patio area will extend to the south of the carport. Utilizing the same material and color palette, the carport and patio match the fire station design theme.</i></p> <p><u>Fences & Gates</u> <i>In the 1990s, a 5-foot concrete retaining wall was constructed along the side property line to separate Tax Lot 6689 from the industrial area to the east. In addition to the existing CMU wall, the project includes a 4-foot tall patio fence, a 6-foot tall trellis, and a rolling gate (Sheets L1.00 & L1.50). The patio fence will not only enhance privacy, but also limits public access to the Fire Department operations area. Comprised of horizontal slats, the patio fence will match the color of the carport and covered patio. The trellis system separates the fire station from the Northwood Place apartments. Plants attach to panels so that the freestanding trellis will transform into a living fence. Multi-functional, the green trellis will enhance screening and soften the fires station’s black, brown, and gray walls.</i></p> <p><u>Landscape</u> <i>The landscape plan is included on Sheets L1.00 and L1.500 of the project plans. Grass medians border Saddle Road and separate the northern driveway access from the apparatus-bay curb cut reserved for emergency response. Grasses and flowering plants are proposed along the front façade at either side of the center apparatus bays. Softening the building’s hard edges, the plants invite and welcome the public into the fire station. Flowering plants and shrubs border the north side of the building softening the gray and brown metals panels. Boulders are incorporated throughout the landscape design providing visual interest.</i></p>

	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The fire station design uses rectangular shapes in different forms to reduce the flatness of building walls. The gray metal panels, black brick, brown metal siding, and window openings are all unique rectangular elements in different sizes and orientations. For example, the gray metal panels are placed horizontally and the brown metal siding is aligned vertically. This contrast of rectangular shapes provides visual interest to the box-shaped building. In addition to this rectangular arrangement, color variation and multiple windows and doors to breathe life into the fire station. The varying roof heights define the separate areas of the building. Projecting beyond the rest of the building, the firehouse red detailing highlight framing the glass panels focuses attention to the apparatus bays.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The front façade of the building orients towards Saddle Road.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The concrete trash enclosure is located at the southeast corner of the project site. In addition to the concrete trash enclosure, the carport and fenced patio further screen the dumpster from public view.</i> <i>Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</i> <i>The project plans do not include any satellite receivers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>Enhancing weather protection, the flat roof form will prevent water from dripping or snow from sliding from the building. At the main entrance, the second floor cantilevers beyond the first floor to cover the pedestrian pathway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The project plans include a path that directs pedestrians to the public entrance from the shared parking area. This pathway leads to the sidewalk that extends from Northwood Place to the YMCA. This</i>

				<i>internal circulation system connects to the bike path across Saddle Road through existing crosswalks.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<p><i>Neighboring Highway 75, Saddle Road, and Warm Springs Road, the fire station site is centrally located with easy access to main routes to all service delivery areas. A driveway access off Saddle Road at the northwest corner of the site will facilitate two-way traffic to and from the fire station. The curb cut along the four apparatus bays will be reserved for emergency response. Sight line windows are incorporated into the building design that allow emergency responders to view any pedestrians or bicyclists approaching the station on the sidewalk and any obstructions in front of the apparatus bays.</i></p> <p><i>The City has engaged a traffic engineering firm to identify safety concerns and circulation conflicts between neighborhood traffic and Fire Department emergency response operations and identify any mitigation measures. These mitigation measures may include warning signals, traffic control devices, and alert systems. If the traffic study identifies circulation conflicts, the City will implement any mitigation measures necessary to ensure the safety of pedestrians, bicyclists, and drivers in the area.</i></p> <p><i>A comprehensive analysis of traffic circulation is included within Exhibit B of the Staff Report.</i></p> <p><i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.

			<i>Staff Comments</i>	<p>The project site is located over 250 ft from Saddle Road's intersection with Park Circle and over 400 ft from the Saddle Road and Warm Springs Road intersection. Clear sight lines are provided to the north and south of the fire station driveways.</p> <p>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	<p>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</p> <p><i>Staff Comments</i></p> <p>Clear sight lines are provided to the north and south of the fire station driveways. Sight line windows are incorporated into the building design that allow emergency responders to view any pedestrians or bicyclists approaching the station on the sidewalk and any obstructions in front of the apparatus bays. The north driveway access facilitates two-way traffic for staff vehicles to enter and exit the station. The curb cut at the apparatus bays is reserved for emergency response.</p> <p>Garbage trucks will access the trash enclosure from the shared parking area to the south of the station. As the circulation areas will include a snowmelt system, snowplows will not need to remove snow from the site.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	<p>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</p> <p><i>Staff Comments</i></p> <p>As permitted by KMC §17.96.060.H4, the traffic and pedestrian circulation areas will include a snowmelt system instead of a snow storage area.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	<p>Snow storage areas shall be provided on-site.</p> <p><i>Staff Comments</i></p> <p>N/A. As indicated on Sheet C2.00 of the project plans, the fire station site will be snow-melted as permitted pursuant to KMC §17.96.060.H4.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	<p>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</p> <p><i>Staff Comments</i></p> <p>As permitted by KMC §17.96.060.H4, the project site will include a snowmelt system instead of a snow storage area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	<p>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</p> <p><i>Staff Comments</i></p> <p>The fire station paved circulation areas will include a snowmelt system instead of snow storage. Snow-melting all circulation areas will enhance Fire Department operations and emergency response.</p>

63	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.11 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheets L1.00 and L1.50 of the project plans. The grasses, flowering plants, and shrubs complement the fire station's modern design.</i>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.12 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the fire station's hard lines and rectangular mass. Bordering the front property line, the tall grasses and flowering plants augment the welcoming entryway to the fire station.</i>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.13 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.14 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The proposed landscaping is appropriate for the fire station project. The living trellis buffers the fire station from the Northwood Place apartments. An existing retaining wall separates the project site from the light industrial area.</i>
☒	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>The project will realign the existing sidewalk that extends from Northwood Place to the YMCA. The width does not provide sufficient clearance to allow public amenities within the sidewalk design while still maintaining a clear path of travel as required by ADA. Further, sight constraints limit available locations to install amenities as any obstruction would conflict with vehicle ingress and egress into the site. Due to associated site constraints and potential conflicts with Fire Department operations, the fire station project does not propose any exterior public amenities such as benches. The community room and public restrooms provided within the fire station satisfy the public amenity requirement.</i>

RECOMMENDED MOTION

"I move to approve the Ketchum Fire Station Design Review subject to conditions."

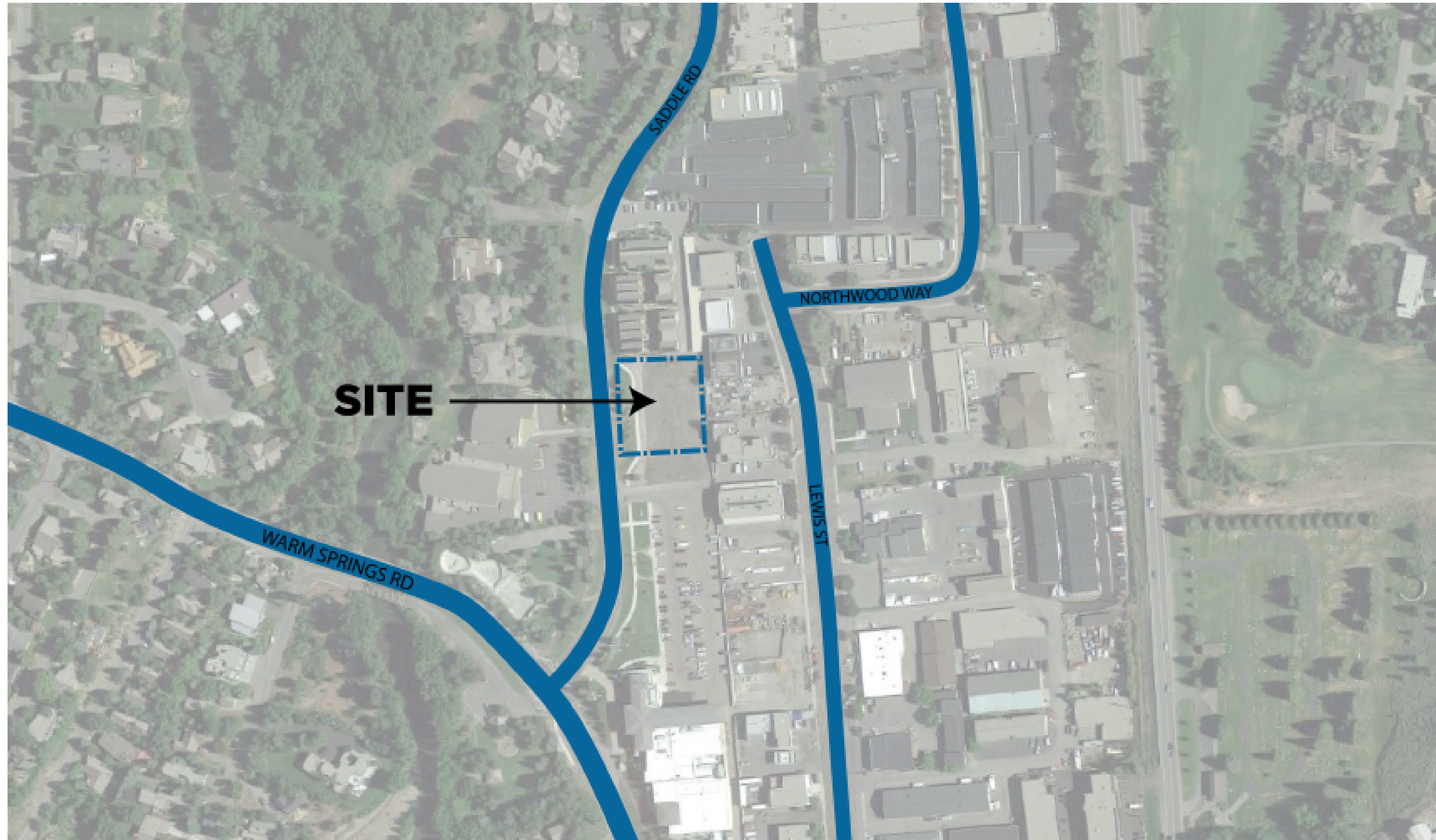
RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
6. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
8. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
9. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

EXHIBITS:

- A. Project Plans
- B. Response to Planning and Zoning Commission Comments on the Fire Station Pre-Application Design Review

Exhibit A: Project Plans



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ARCHITECTS

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T C A

ARCHITECTURE + PLANNING + DESIGN

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PROJECT INFORMATION



**KETCHUM FIRE
STATION**

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE DESIGN REVIEW

DATE FEBRUARY 3, 2020

JOB NUMBER 18-022

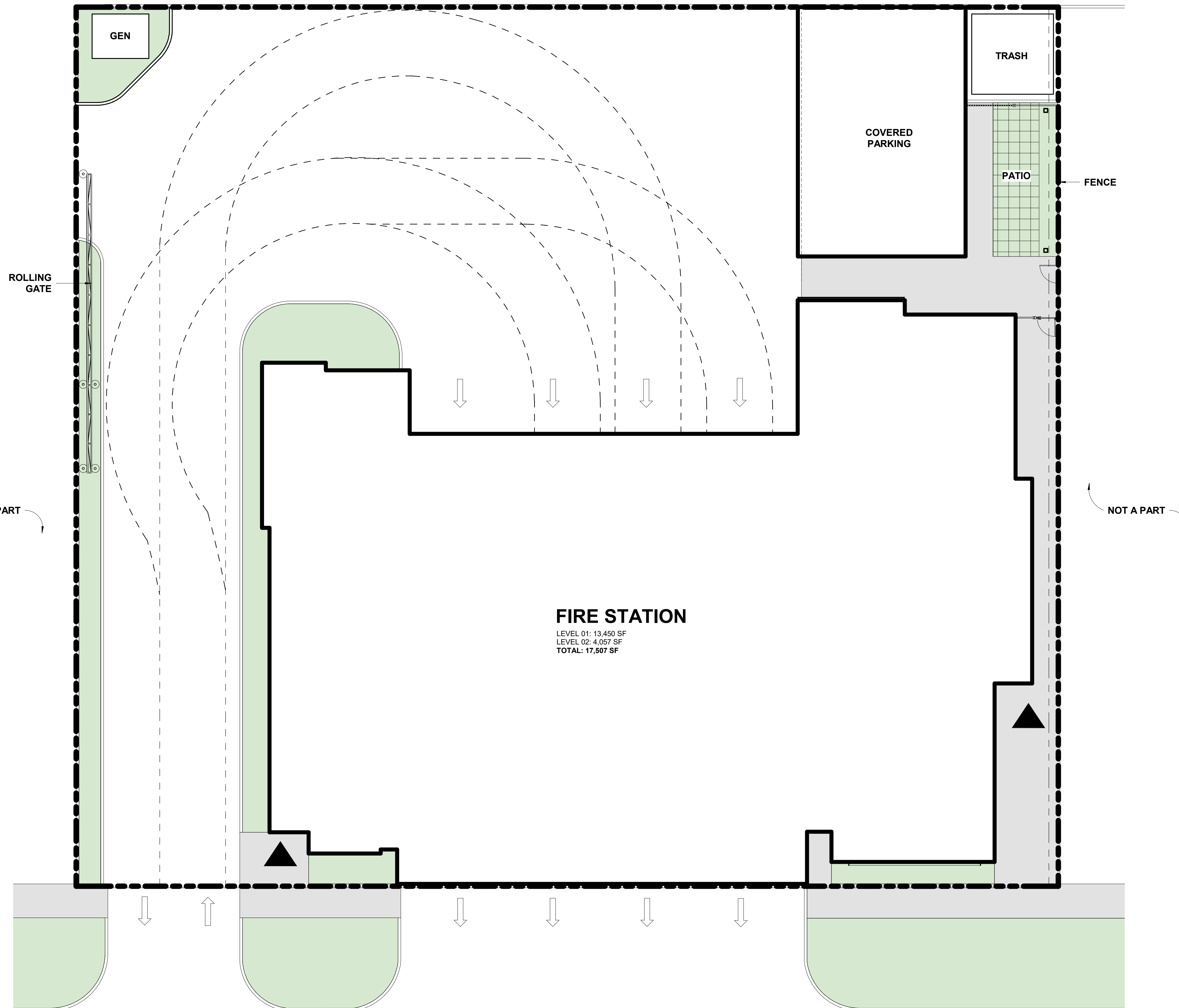
MARK	DATE	DESCRIPTION

SHEET NAME

VICINITY MAP

SHEET NUMBER

G0.10



FIRE STATION
 LEVEL 01: 13,450 SF
 LEVEL 02: 4,057 SF
 TOTAL: 17,507 SF

1 SITE PLAN, PRESENTATION (CROPPED)
 SCALE | 1" = 10'-0"

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**KETCHUM FIRE
 STATION**

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE DESIGN REVIEW

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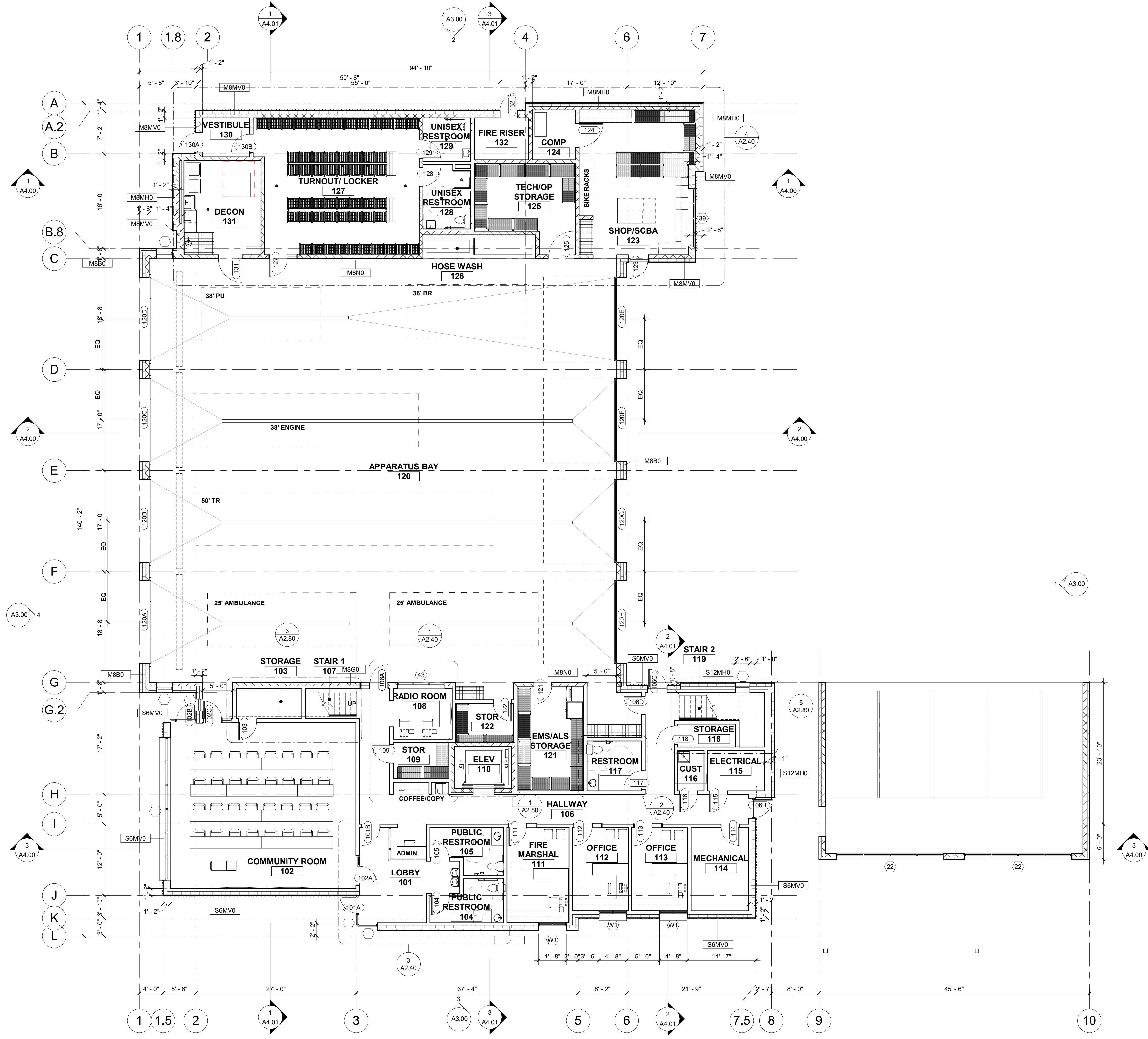
MARK	DATE	DESCRIPTION

SHEET NAME

**ARCHITECTURAL
 SITE PLAN**

SHEET NUMBER

A1.00

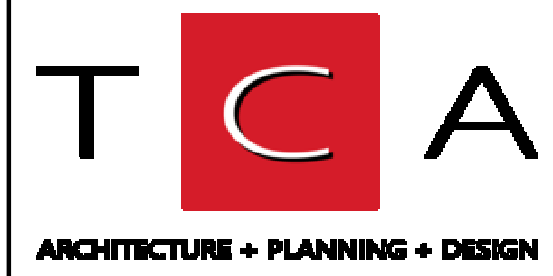


GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE PROCEEDING WITH WORK.
- B. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. IF DESIGN INTENT REMAINS UNCLEAR THEN PROVIDE MOST EXPENSIVE OPTION IN BID.
- C. PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL HUNG EQUIPMENT. BLOCKING TO MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS. FASTEN EQUIPMENT TO WALLS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BLOCKING FOR, BUT NOT LIMITED TO THE FOLLOWING: MILLWORK, RAILING, FIRE EXTINGUISHER ACCESSORIES, WALL MOUNTED PLUMBING FIXTURES, SHELVING, ELECTRICAL EQUIPMENT, RESTROOM ACCESSORIES AND DISPLAY ITEMS.
- D. CAULK ALL COUNTERTOPS, BACKSPASHES AND CABINETS AT LOCATIONS WHERE THEY MEET WALLS. SEAL ALL CUT-OUTS IN COUNTERTOPS.
- E. ERECT DUST PROOF PARTITIONS AS REQUIRED BY OWNER TO PROTECT ADJACENT AREAS.
- F. SEAL AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT PENETRATIONS AT WALLS. AT RATED WALLS USE A U.L. APPROVED FIRE-STOPPING MATERIAL.
- G. PROVIDE 4" DOOR JAMBS FROM FACE-OF-FINISH AT ADJACENT WALLS ON THE HINGE SIDE OR UNLESS OTHERWISE INDICATED.
- H. DIMENSIONS ARE TO GRID LINE OR FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING OR CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.
- I. WHEN APPLICABLE - UNLESS NOTED OTHERWISE, USE CDX PLYWOOD FOR EXTERIOR AND CONCEALED APPLICATIONS AND AB PLYWOOD FOR EXPOSED INTERIOR APPLICATIONS.



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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE	DESIGN REVIEW	
DATE	FEBRUARY 3, 2020	
JOB NUMBER	18-022	
MARK	DATE	DESCRIPTION

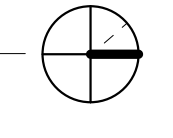
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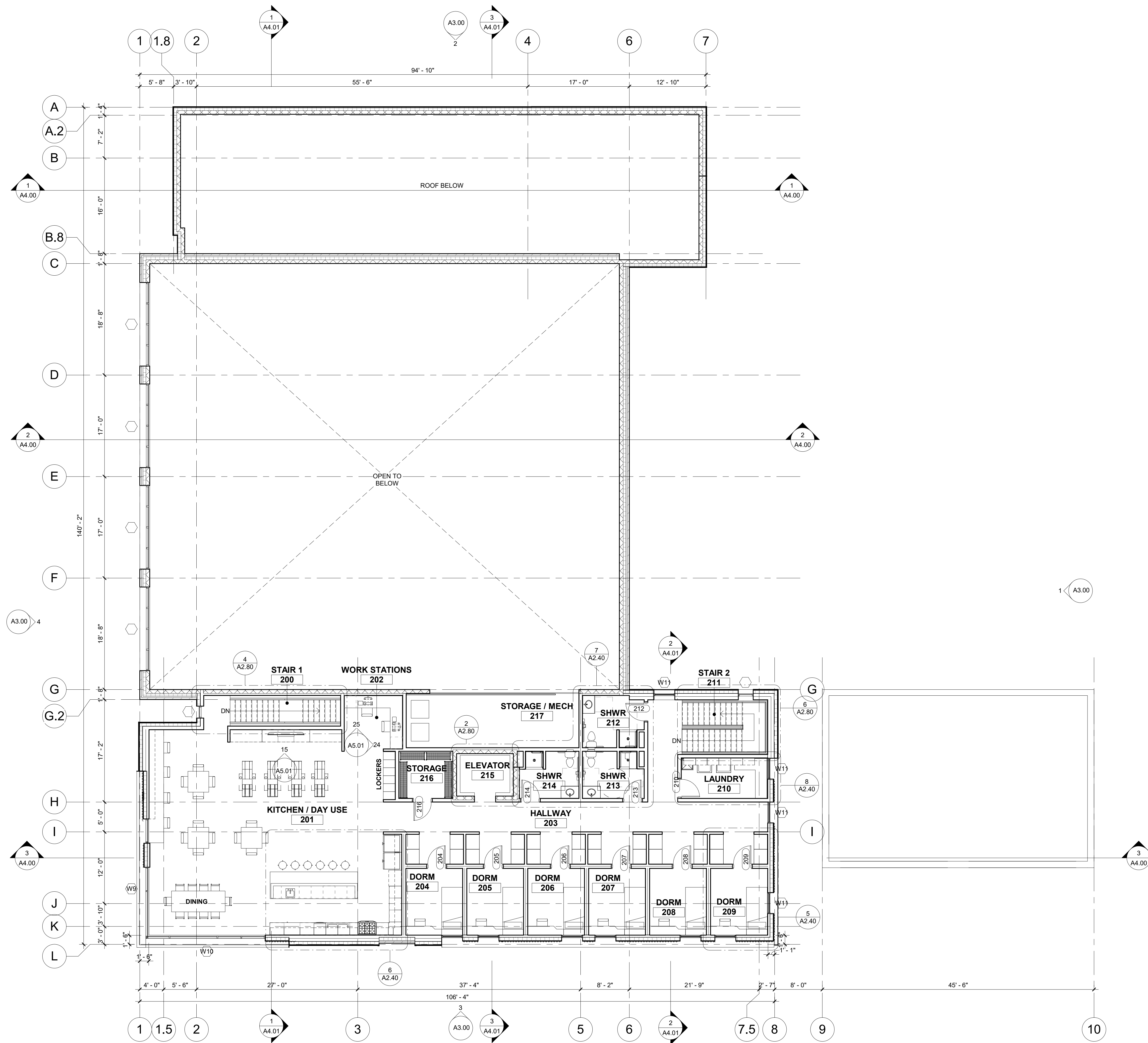
FLOOR PLAN - LEVEL 01

SHEET NUMBER

A2.01

1 1ST FLOOR PLAN
SCALE | 1/8" = 1'-0"





1 2ND FLOOR PLAN
SCALE | 1/8" = 1'-0"

GENERAL NOTES

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KEYNOTES #

- 1. XX



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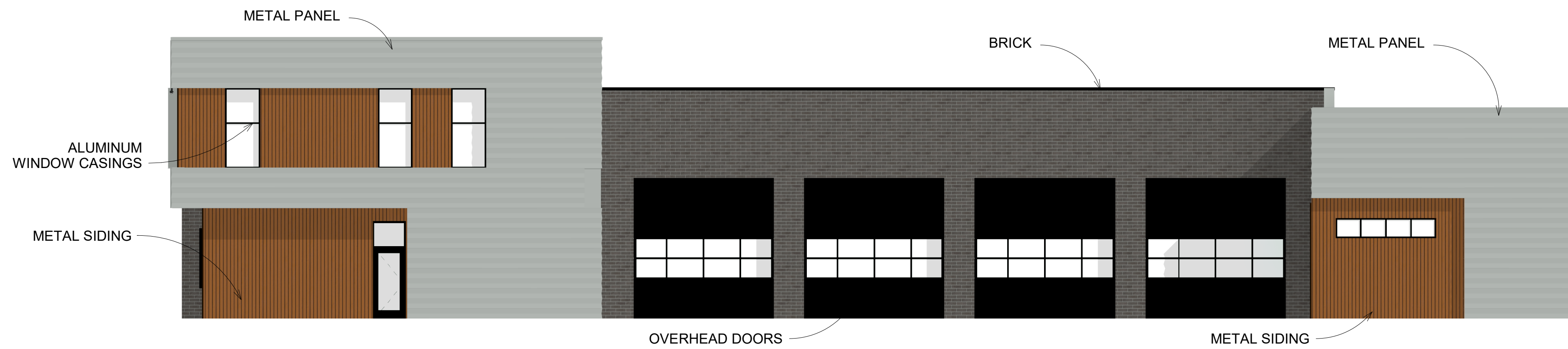
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MARK	DATE	DESCRIPTION

SHEET NAME

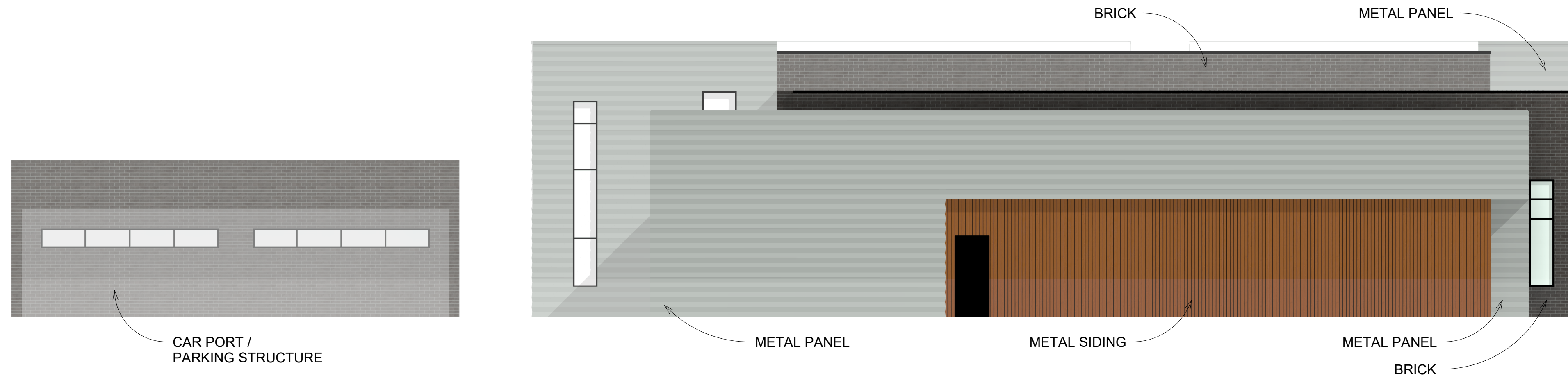
FLOOR PLAN - LEVEL 02

SHEET NUMBER

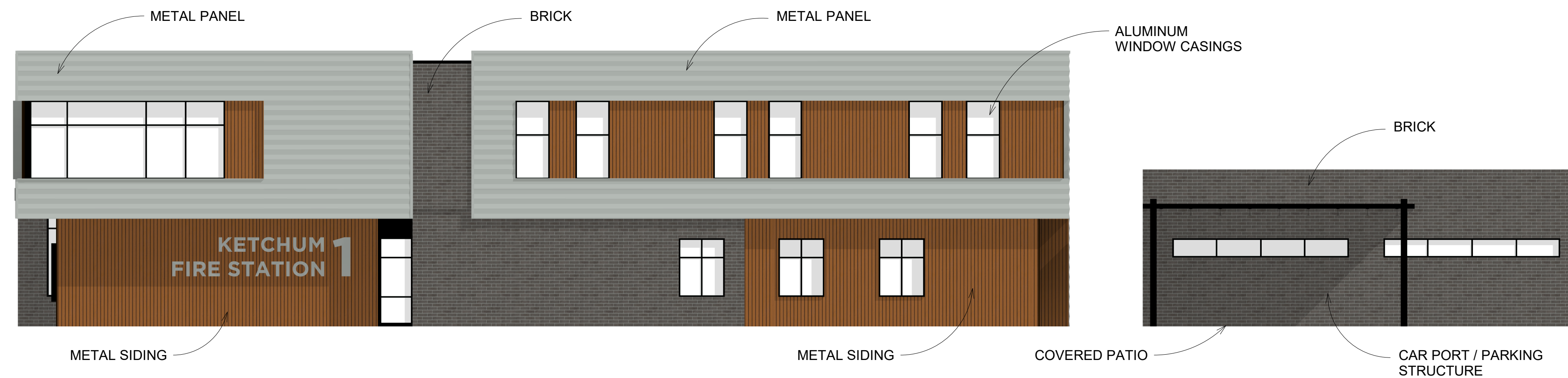
A2.02



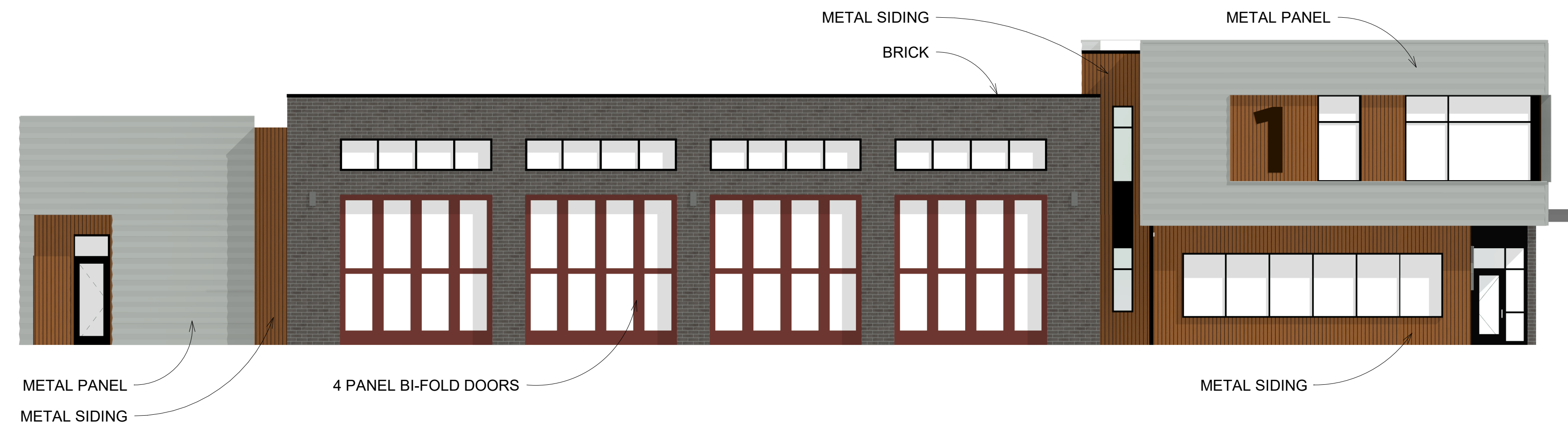
1 EAST ELEVATION
SCALE | 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE | 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE | 1/8" = 1'-0"



4 WEST ELEVATION
SCALE | 1/8" = 1'-0"

GENERAL NOTES

- A. GENERAL NOTES APPLY TO ALL DRAWING SETS.
- B. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE PROCEEDING WITH WORK.
- C. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. IF DESIGN INTENT REMAINS UNCLEAR THEN PROVIDE MOST EXPENSIVE OPTION IN BID.
- D. DIMENSIONS ARE TO GRID LINE OR FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING OR CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.



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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE	DESIGN REVIEW	
DATE	FEBRUARY 3, 2020	
JOB NUMBER	18-022	
MARK	DATE	DESCRIPTION

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NUMBER

A3.00



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KETCHUM FIRE
STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE DESIGN REVIEW

DATE FEBRUARY 3, 2020

JOB NUMBER 18-022

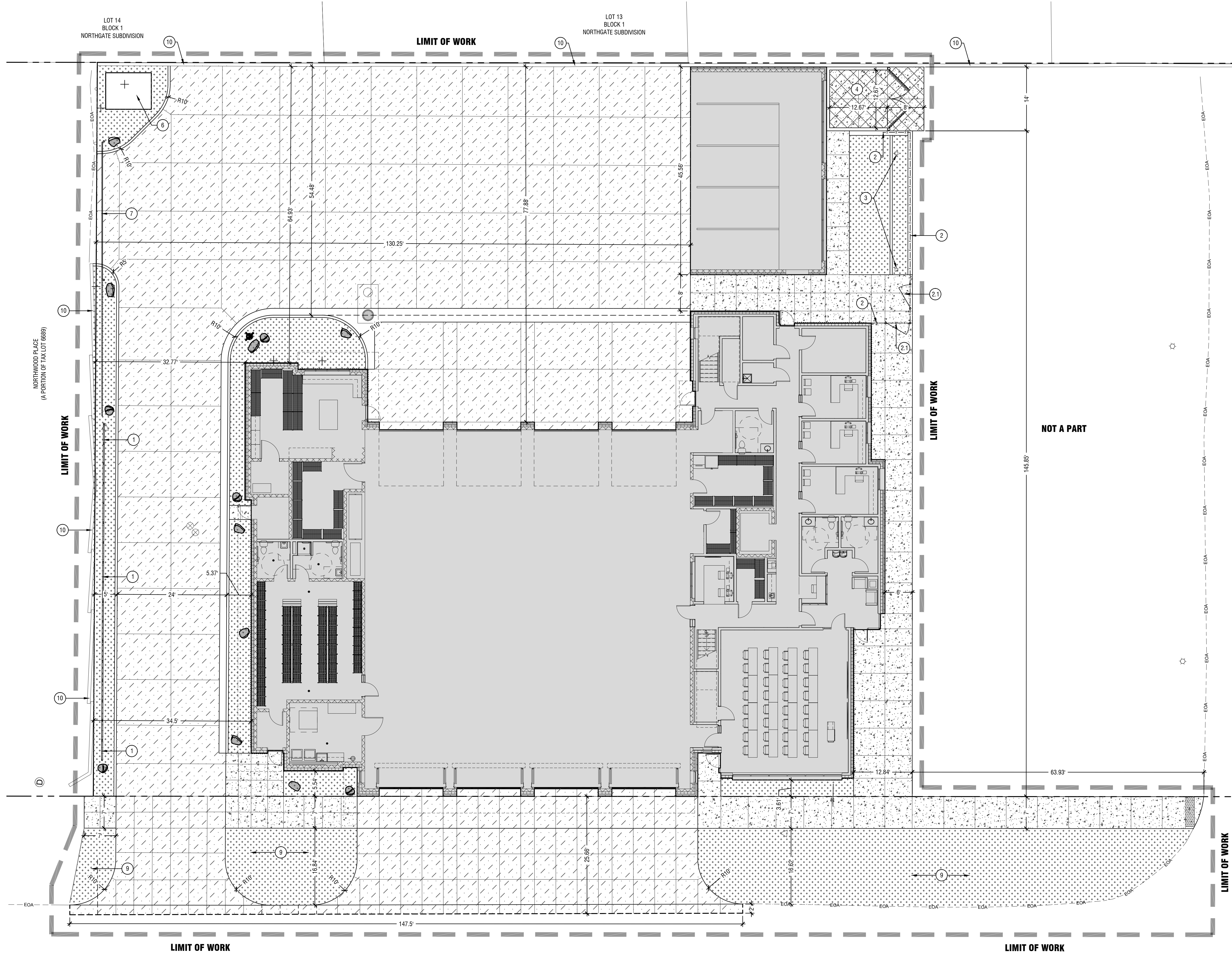
MARK	DATE	DESCRIPTION

SHEET NAME

3D PERSPECTIVE

SHEET NUMBER

G0.20



Sheet Notes:

- A. SNOW MELT SYSTEM WILL BE UTILIZED FOR THIS SITE.
- B. REFER TO SHEET C3.00 FOR GRADING INFORMATION.
- C. REFER TO SHEET C4.00 FOR UTILITY INFORMATION.

Property Info:

SUBJECT PROPERTY: 35,139 SQ. FT. (DEVELOPED AREA)
ZONING DISTRICT: TOURIST

Material Legend:

	6" CONCRETE PAVING		STANDARD CONCRETE FLATWORK
	REINFORCED CONCRETE FLATWORK		LANDSCAPE AREA - REFER TO SHEET L1.00 FOR MORE INFORMATION.

Keynotes:

- CALL OUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.
1. 6-FT TALL FREE STANDING GREENSCREEN TRELLISING SYSTEM - SEE IMAGE 5/L1.50.
 2. 4-FT TALL ONE INCH HORIZONTAL SLAT FENCE BY LANDSCAPE FORMS. COLOR: STORMCLOUD. SEE IMAGE 4/L1.50.
 - 2.1. 5-FT WIDE GATE.
 3. PATIO STRUCTURE POSTS AND STRUCTURE BY ARCHITECTS.
 4. CMU TRASH ENCLOSURE.
 5. NOT USED
 6. GENERATOR BY MECHANICAL.
 7. ROLLING GATE
 8. NOT USED.
 9. GRASS DRAINAGE SWALE
 10. RETAIN AND PROTECT EXISTING WALL.



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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

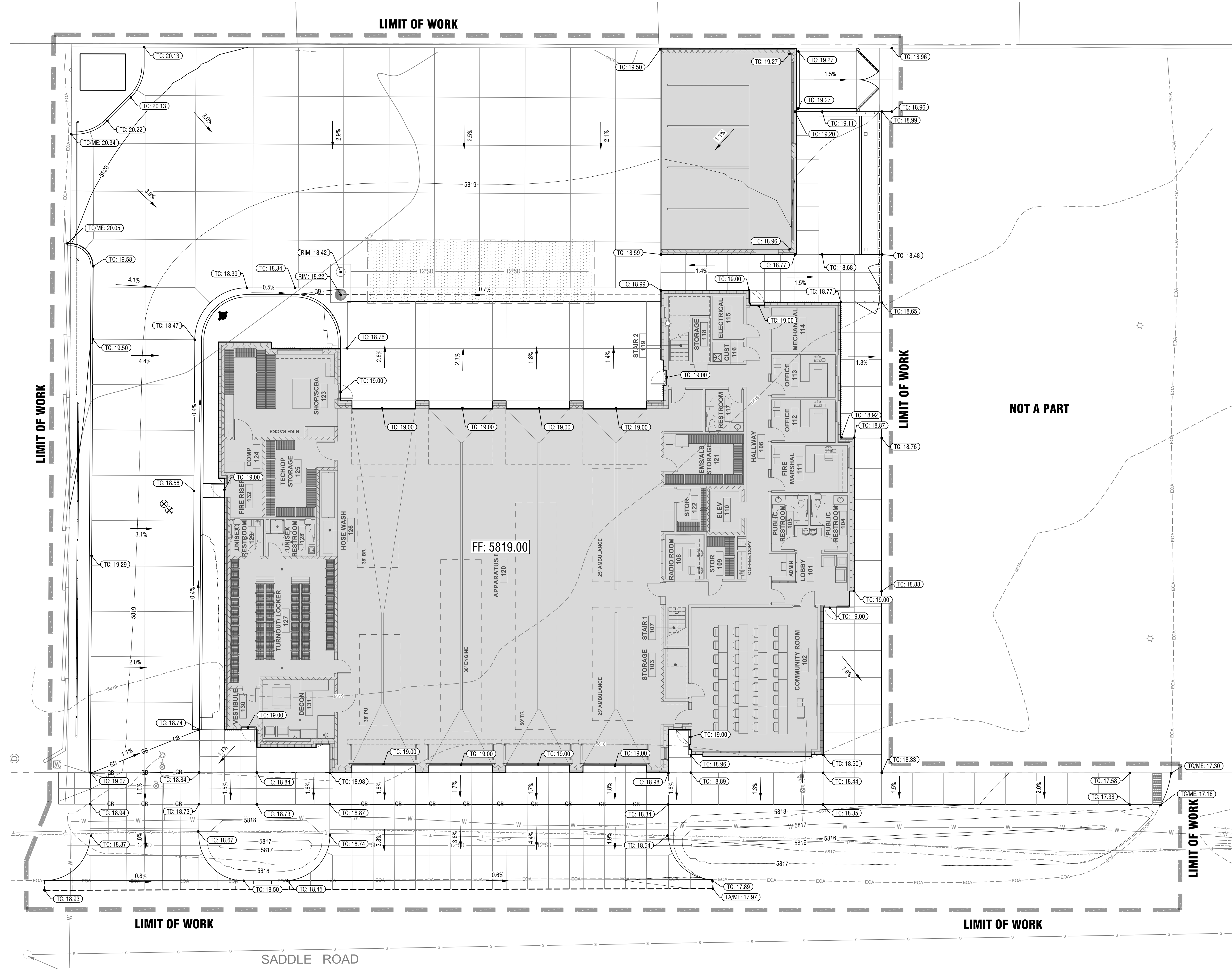
PHASE	DESIGN REVIEW	
DATE	FEBRUARY 3, 2020	
JOB NUMBER	18-022	
MARK	DATE	DESCRIPTION

SHEET NAME

SITE PLAN

SHEET NUMBER

C2.00



- Sheet Notes:**
- A. EXISTING AND PROPOSED CONTOURS ARE AT A 1-FT INTERVAL.
 - B. LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO THE BUILDING SHALL NOT EXCEED 2.0% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1.0%.
 - C. ADD 2500 FEET TO ALL SPOT ELEVATIONS FOR ACTUAL ELEVATION.
 - D. BUILDING FINISH FLOOR ELEVATION 2561.50' REFERS TO ARCHITECTURAL ELEVATION 100'-0".
 - E. SPOT ELEVATIONS INDICATE TOP OF CONCRETE SURFACE UNLESS NOTED OTHERWISE AS FOLLOWS:
 - E.A. FF = FINISH FLOOR
 - E.B. FL = FLOW LINE
 - E.C. ME = MATCH EXISTING
 - E.D. RIM = RIM OF STRUCTURE
 - E.E. TA = TOP OF ASPHALT
 - E.F. TBC = TOP BACK OF CURB
 - E.G. TC = TOP OF CONCRETE
 - E.H. FG = FINISH GRADE
 - F. SET FLAT WORK ADJACENT TO BUILDING FLUSH WITH FINISH FLOOR AT DOOR OPENING AND UNIFORMLY TRANSITION TO REVEAL 2" OF STEM WALL UNLESS INDICATED OTHERWISE. SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION ADJACENT TO THE BUILDING.



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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE	DESIGN REVIEW	
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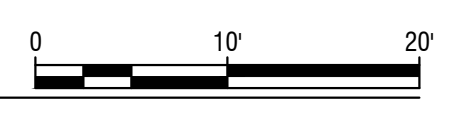
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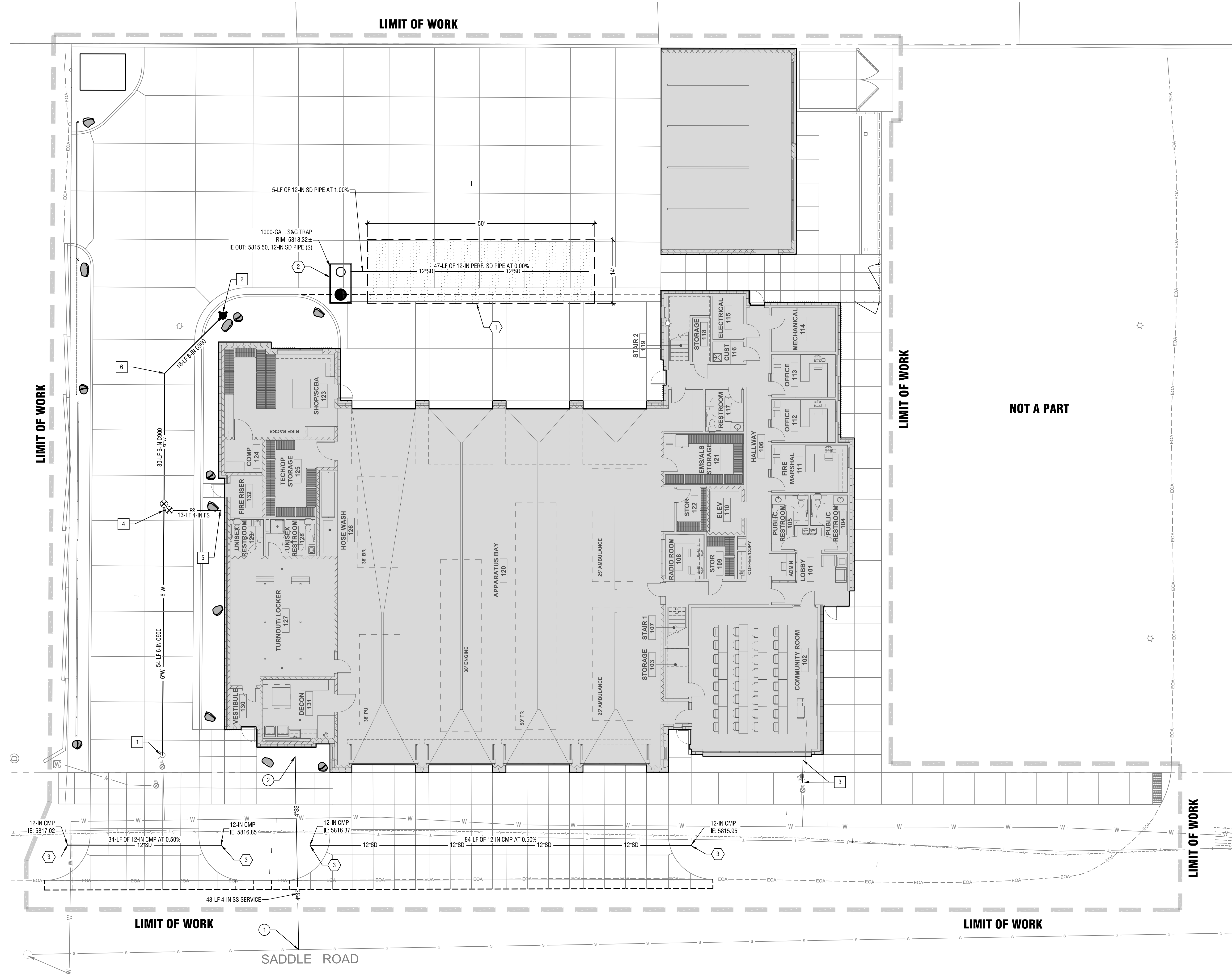
GRADING PLAN

SHEET NUMBER

C3.00

Design Review-Grading Plan
Horizontal Scale: 1" = 10'





Sheet Notes:

1. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND THE CITY OF KETCHUM REVISIONS TO THE ISPMC .
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION AND ELEVATION OF ALL TIE IN POINTS PRIOR TO CONSTRUCTION AND SHALL CONTACT THE DESIGN ENGINEER WITH ANY DISCREPANCIES.
3. BOTH DOMESTIC AND FIRE SERVICE LINES REQUIRE A BACKFLOW PREVENTION DEVICE AT THE POINT OF ENTRY TO ANY BUILDING. THE TYPE OF DEVICE IS CONTINGENT UPON THE DEGREE OF HAZARD AND MUST MEET IDAHO DEQ STANDARDS. SEE MECHANICAL PLANS FOR BACK FLOW PREVENTION DEVICE.
4. PIPE LENGTHS SPECIFIED ARE FROM FITTING TO FITTING OR FITTING TO CONNECTION POINT AND ARE SHOWN FOR CONVENIENCE ONLY AS ACTUAL INSTALLED LENGTH MAY VARY FROM PLAN.

Water Keynotes:

1. REMOVE EXISTING FIRE HYDRANT AND REINSTALL AT NEW LOCATION.
2. RE-INSTALL FIRE HYDRANT ASSEMBLY PER ISPMC SD-404.
3. INSTALL WATER METER PER CITY OF KETCHUM STANDARDS. COORDINATE CONTINUATION WITHIN STRUCTURE PER MECHANICAL PLAN.
4. INSTALL FIRE-SERVICE STUB IN COORDINATION WITH BUILDING FIRE SPRINKLER DESIGN. INSTALL APPROPRIATELY SIZED FITTINGS AND THRUST BLOCK PER ISPMC SD-403. COORDINATE SIZES WITH FIRE SPRINKLER DESIGN. APPROXIMATE 4-INCH LINE.
5. COORDINATE CONTINUATION OF FIRE SERVICE WITHIN STRUCTURE PER FIRE SPRINKLER DESIGN.
6. INSTALL 45° BEND AND THRUST BLOCK PER ISPMC SD-403.

Sewer Keynotes:

1. TAP EXISTING SEWER MAIN. COORDINATE CONNECTION WITH THE CITY OF KETCHUM.
2. COORDINATE CONTINUATION OF FIRE SERVICE WITHIN STRUCTURE PER FIRE SPRINKLER DESIGN.

Storm Drain Keynotes:

1. INSTALL 14"W x 50'L X 7' D SEEPAGE BED.
2. INSTALL OLDCASTLE PRECAST 1000 GALLON SAND AND GREASE TRAP OR APPROVED EQUIVALENT.
3. INSTALL FLARE END SECTION.



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PROJECT INFORMATION



KETCHUM FIRE STATION
107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

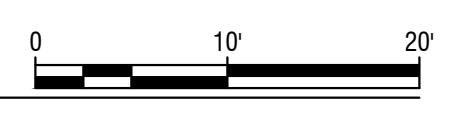
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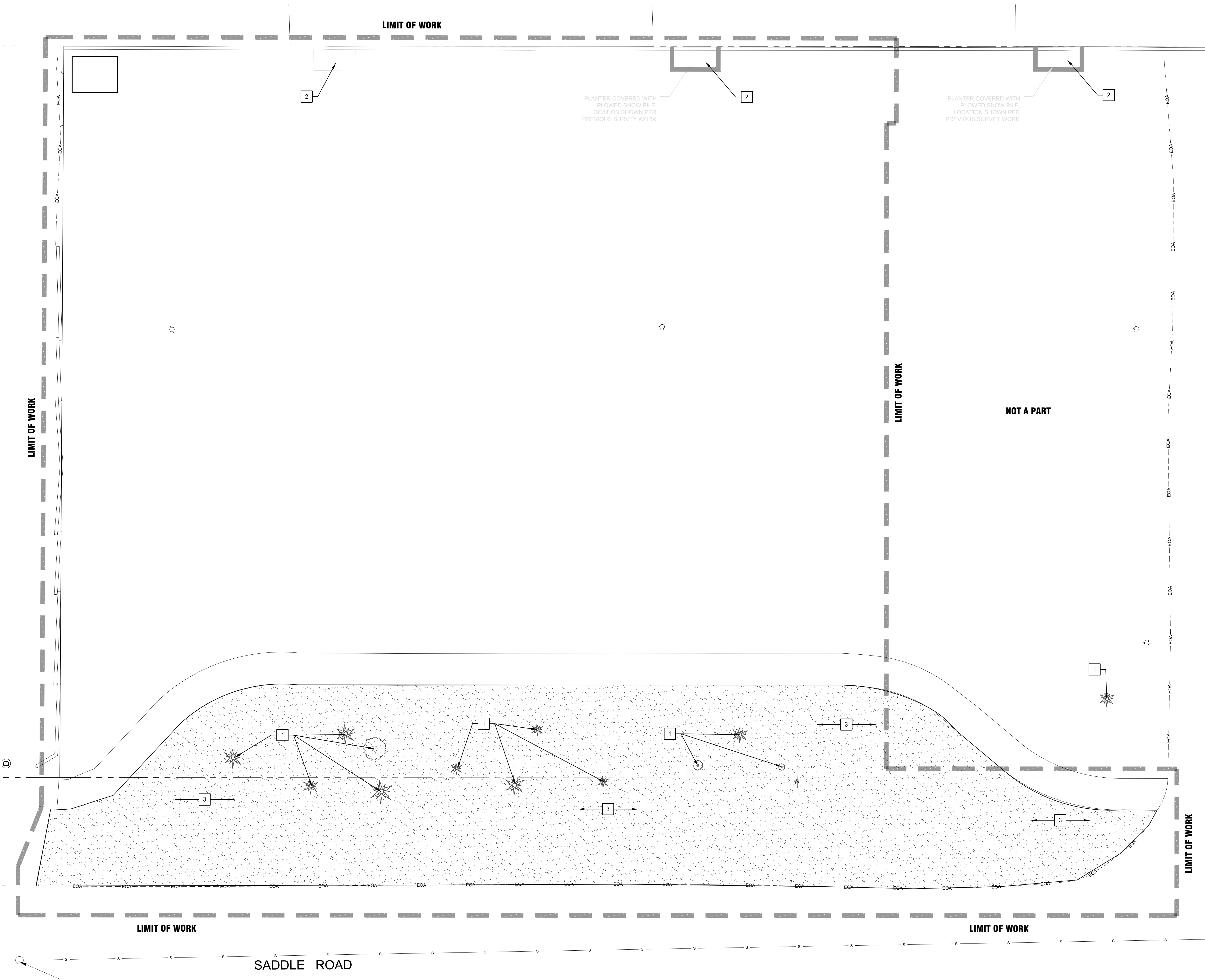
SHEET NAME

UTILITIES PLAN

SHEET NUMBER

C4.00





Sheet Notes:

- 1. REFER TO L1.00 FOR PROPOSED LANDSCAPE.

Material Legend:



Keynotes:

- 1. REMOVE EXISTING TREE.
- 2. REMOVE EXISTING WALL, PLANTER AND VEGETATION IN PLANTER.
- 3. REMOVE EXISTING LAWN.

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

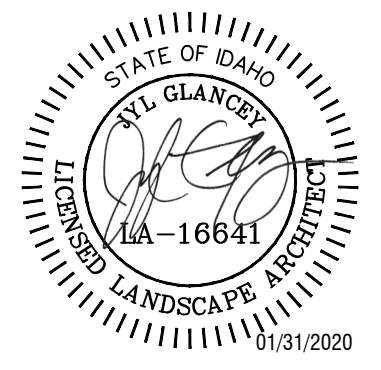


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PROJECT INFORMATION



KETCHUM FIRE STATION

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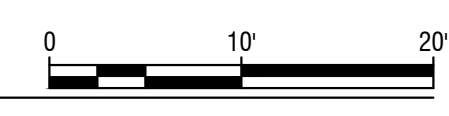
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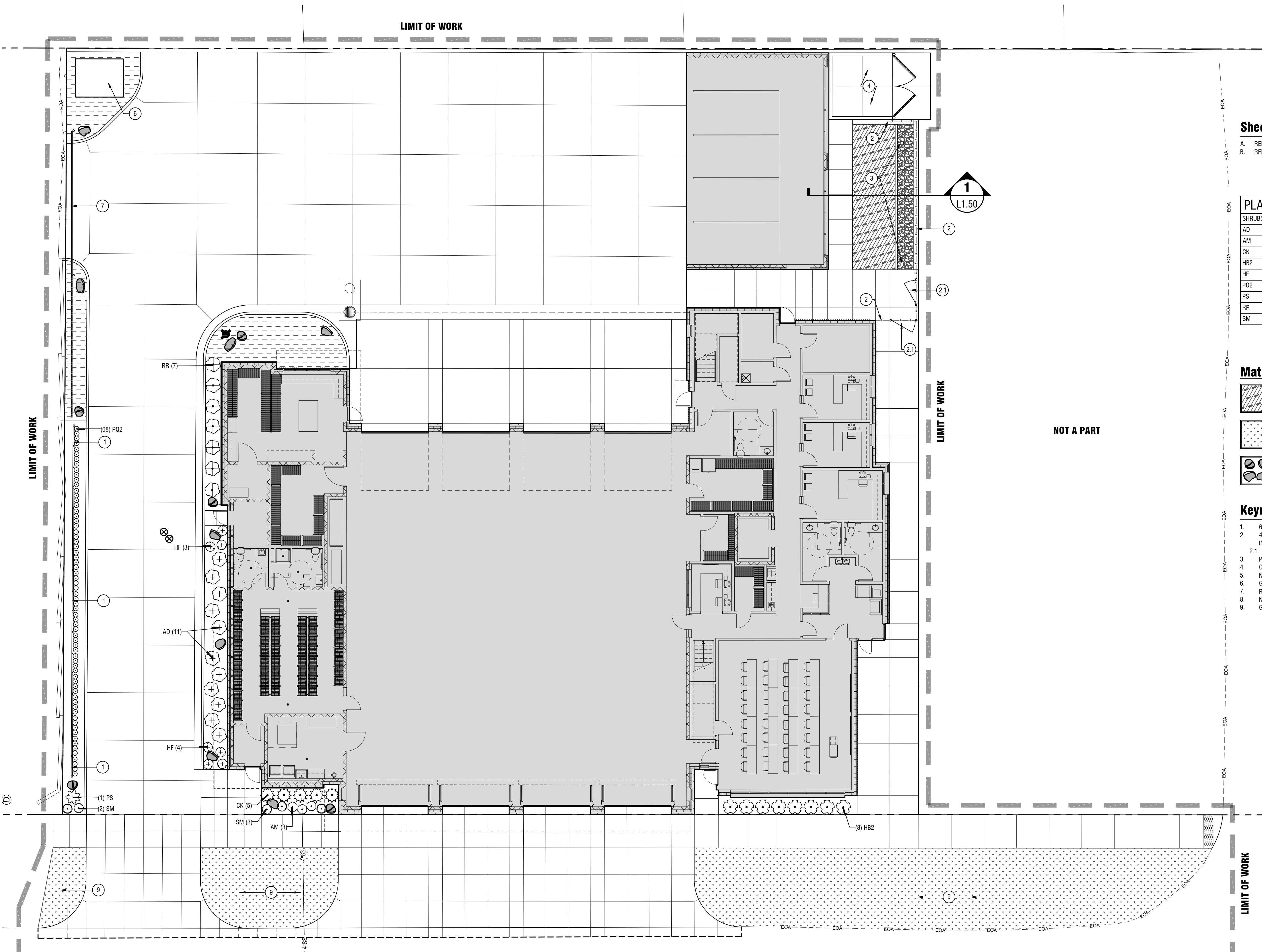
EXISTING LANDSCAPE

SHEET NUMBER

L0.00



LIMIT OF WORK



Sheet Notes:

- A. REFER TO SHEET L1.50 FOR LANDSCAPE AND IRRIGATION NOTES.
- B. REFER TO SHEET L0.00 FOR EXISTING LANDSCAPE.

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
AD	ASTILBE X ARENDSII 'DEUTSCHLAND' / DEUTSCHLAND FALSE SPIRAEA	3 GAL.	11
AM	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL.	3
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	3 GAL.	5
HB2	HELIOTRICHON SEMPERVIRENS 'BLUE OATS' / BLUE OAT GRASS	1 GAL.	8
HF	HEUCHERA X 'FIRE CHIEF' / FIRE CHIEF CORAL BELLS	1 GAL.	7
PO2	PARTHENOCISSUS QUINQUEFOLIA / VIRGINA CREEPER	1 GAL.	68
PS	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL.	1
RR	RHAMNUS FRANGULA 'RON WILLIAMS' / FINE LINE FERN LEAF BUCKTHORN	5 GAL.	7
SM	SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SAGE	1 GAL.	5

Material Legend:

- SYNTHETIC TURF - SEE DETAIL 3/L1.50.
- TURF SOD
- LARGE DARK GREY - TAN BOULDERS, 2-3' DIA. TYP. X 1'-2' HIGH.
- 3-IN DEPTH 4-IN - 6-IN ROUND RIVER ROCK. ROCK SHALL BE FREE OF FINES AND LESS THAN 2-IN IN SIZE.
- 3-IN DEPTH 1-IN CRUSHED DECORATIVE ROCK MULCH. COLOR: DARK TAN - GREY.

Keynotes:

- 1. 6-FT TALL FREE STANDING GREENSCREEN TRELLISING SYSTEM - SEE IMAGE 5/L1.50.
- 2. 4-FT TALL ONE INCH HORIZONTAL SLAT FENCE BY LANDSCAPE FORMS. COLOR: STORMCLOUD. SEE IMAGE 4/L1.50.
- 2.1. 5-FT WIDE GATE.
- 3. PATIO STRUCTURE POSTS AND STRUCTURE BY ARCHITECTS.
- 4. CMU TRASH ENCLOSURE.
- 5. NOT USED.
- 6. GENERATOR BY MECHANICAL.
- 7. ROLLING GATE.
- 8. NOT USED.
- 9. GRASS DRAINAGE SWALE.

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

NOT A PART



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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE	DESIGN REVIEW
DATE	FEBRUARY 3, 2020
JOB NUMBER	18-022
MARK DATE DESCRIPTION	

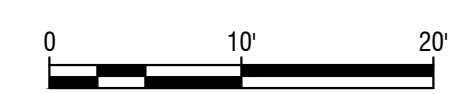
SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

L1.00

SEWER MANHOLE RIM = 5819.17
INVERT = 5810.19

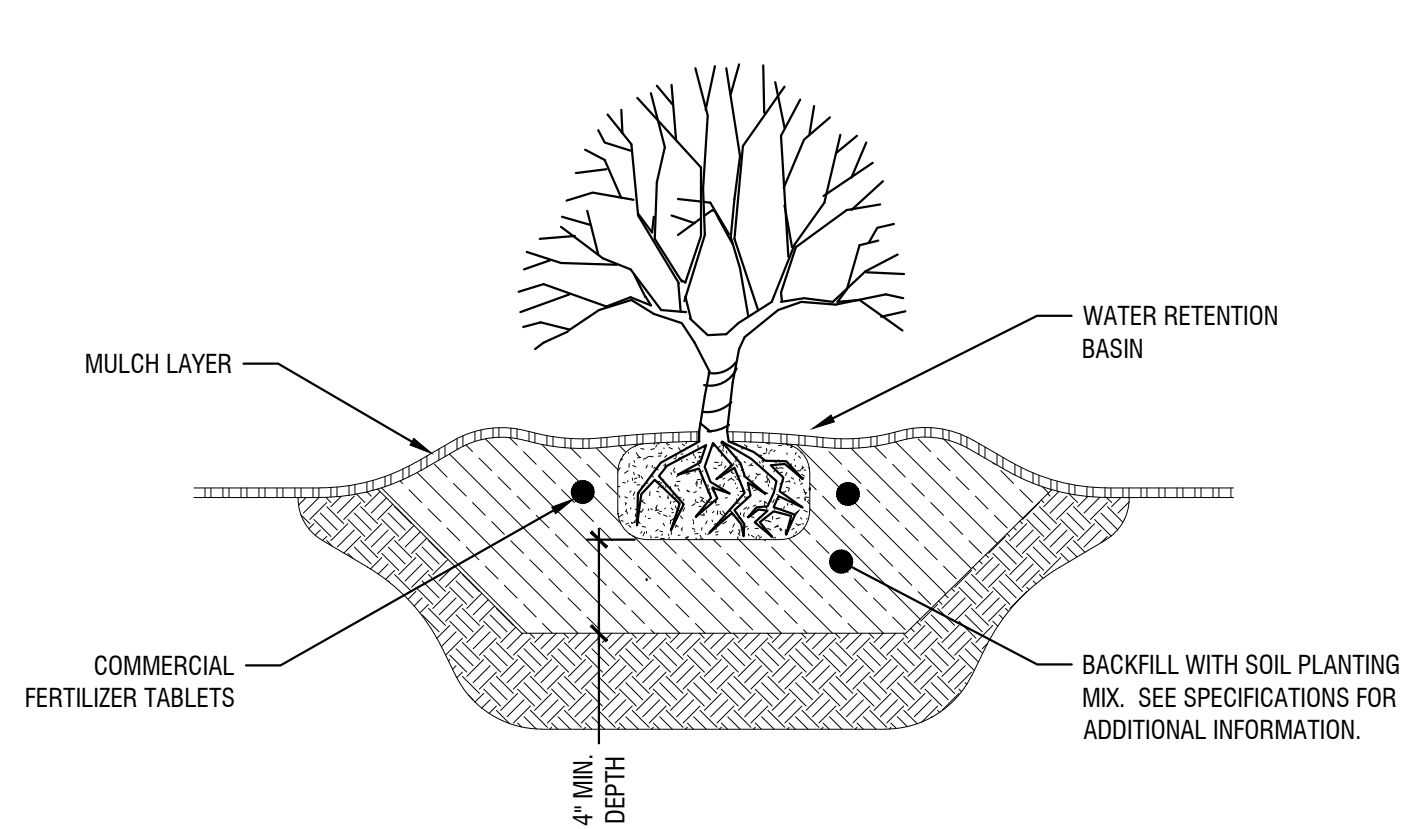


Landscape Notes:

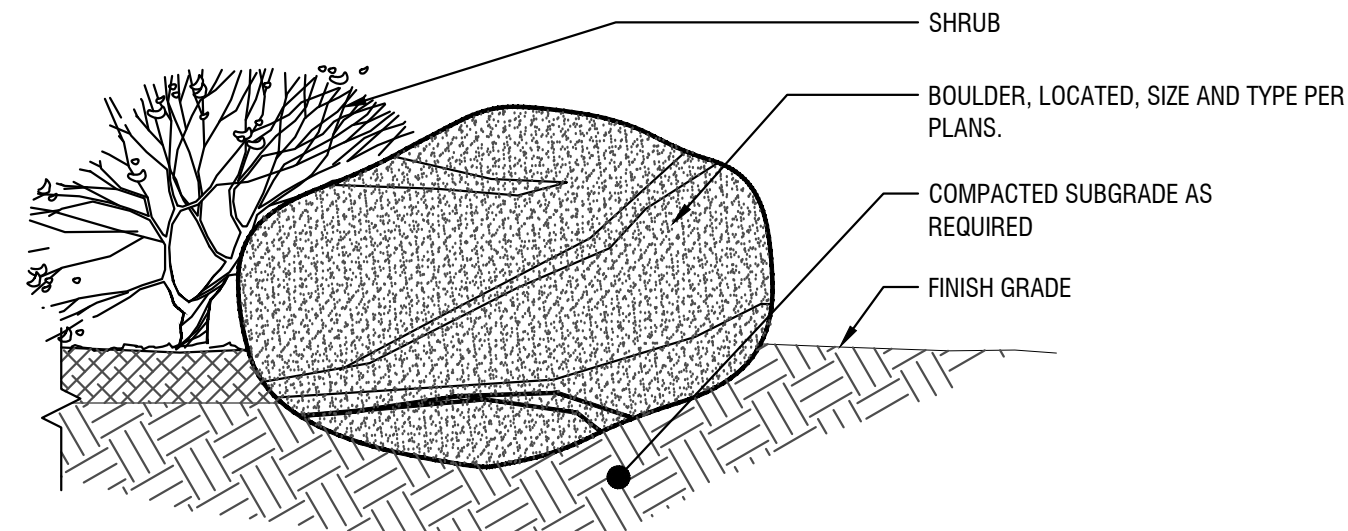
- A. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- B. FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE 3" OF BARK MULCH, UNLESS SPECIFIED OTHERWISE, OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT SITE ELEMENTS SHALL BE:
 - B.A. 1-INCH BELOW TOP OF ADJACENT PAVEMENT, VALVE BOX, VAULT, ETC.
 - B.B. 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
- C. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL. SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
- D. RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: A) PROVIDE APPROVED IMPORTED TOPSOIL, OR B.) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY LANDSCAPE ARCHITECT. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- E. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- F. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- G. ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION.REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SURFACE.
- H. NEW SHRUB PLANTING. SEE DETAIL 1/L1.50.
- I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- J. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.

Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT PLANTER BEDS, 6" AT LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - E.A. PRECISE INDIVIDUAL STATION TIMING
 - E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

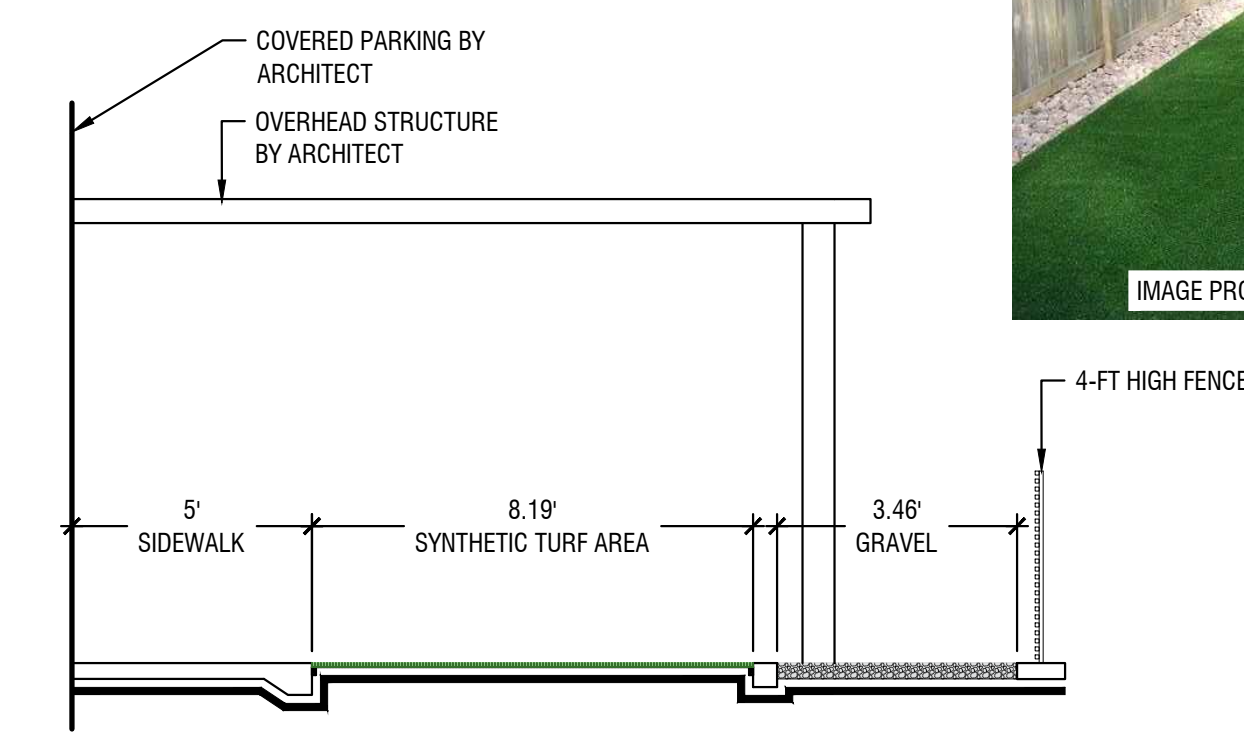


1 Shrub Planting
Scale: NTS



- NOTES:
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
 3. CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
 4. WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FINISH GRADE.
 5. DO NOT SCAR OR DAMAGE BOULDERS.

2 Boulder Installation
Scale: NTS



3 Patio Section
Scale: 1/4" = 1'



4 Patio Fence
Scale: NTS



5 Greenscreen Trellis System
Scale: NTS

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PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

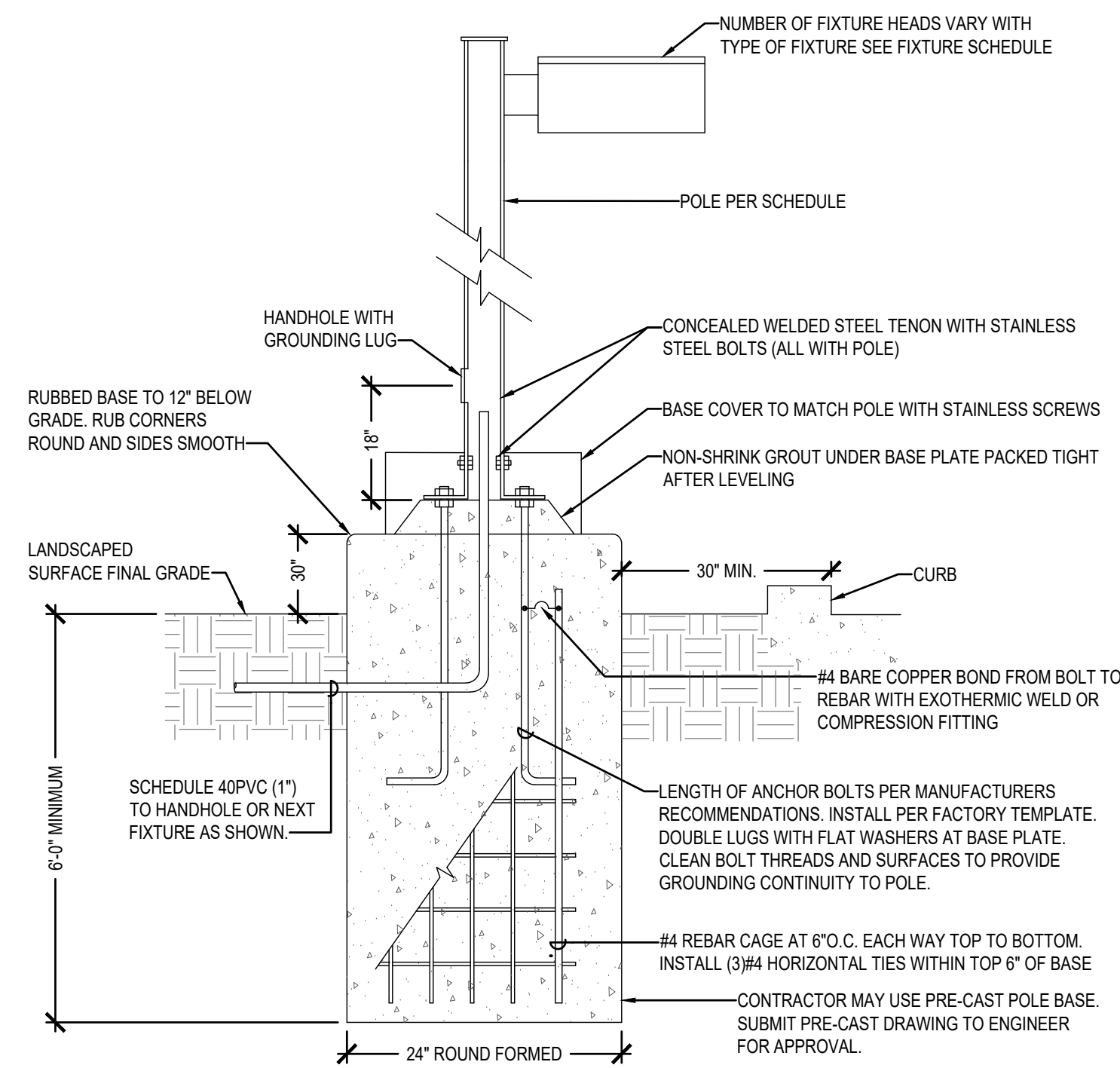
PHASE	DESIGN REVIEW	
DATE	FEBRUARY 3, 2020	
JOB NUMBER	18-022	
MARK	DATE	DESCRIPTION

SHEET NAME

LANDSCAPE DETAILS

SHEET NUMBER

L1.50



DETAIL NOTES

1. INCREASE THE SPECIFIED HEIGHT OF THE POLE BY 2'-0" TO ENSURE UNIFORM FIXTURE MOUNTAIN HEIGHT WHERE THE 6" BASE IS USED.
2. PROTECTED AREA IMPLIES THE POLE IS INSTALLED AT LEAST 30' FROM PARKING OR DRIVE AREAS.

SITE LIGHTING POLE BASE DETAIL
NTS

ELECTRICAL LEGEND - LIGHTING

- ⊕ RECESSED LIGHT FIXTURE
- ◻ POLE LIGHT 1 HEAD WITH POLE
- ⊞ EXTERIOR WALL PACK

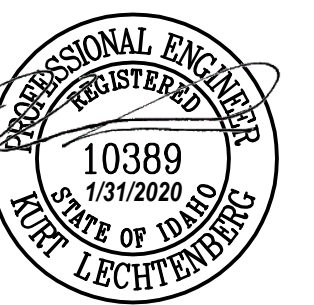
LIGHTING FIXTURE SCHEDULE (19-366)

TYPE	DESCRIPTION	MTG.	LAMPS	WATTAGE	MANUFACTURER
P1	LED VISUAL COMFORT LENS ON +12'-0" POLE AND +2'-6" CONCRETE BASE	POLE MOUNTED	LED 11,000 LUMENS 2700K	85	LITHONIA NO. RAD1 LED SERIES
RR1	LED 4" ROUND RECESSED CAN LIGHT	RECESSED	LED 1000 LUMENS 2700K	10.6	LITHONIA NO. LDN4 SERIES
WB1	ARCHITECTURAL WALL SCONCE WITH VISUAL COMFOR LENS	WALL MOUNTED	LED 3000 LUMENS 2700K	25	LITHONIA NO. WST LED SERIES
WB2	ARCHITECTURAL WALL SCONCE WITH VISUAL COMFOR LENS	WALL MOUNTED	LED 1500 LUMENS 2700K	11	LITHONIA NO. WST LED SERIES
WB3	ARCHITECTURAL WALL SCONCE WITH VISUAL COMFOR LENS	WALL MOUNTED	LED 6000 LUMENS 2700K	50	LITHONIA NO. WST LED SERIES

LIGHTING CONTROLS NOTES

THE EXTERIOR BUILDING LIGHTING AND POLE LIGHTS WILL BE ROUTED THROUGH THE LIGHTING CONTROL PANEL AND PHOTOCELL. THE LIGHTING CONTROL PANEL WILL TURN LIGHTS ON AND OFF BASED ON A TIMED SCHEDULE AND THE PHOTOCELL WILL TURN LIGHTS ON AND OFF BASED ON LIGHT CONDITIONS. THE EXTERIOR LIGHTS AND POLE LIGHTS WILL ALSO BE EQUIPPED WITH FACTORY INSTALLED MODULES TO ALLOW THE FIXTURES TO BE DIMMED AT A PRESET TIME TO REDUCE LIGHT LEVELS. FOR EXAMPLE FROM DUSK TO 11:00 PM AND 5:00 AM TO 7:00 AM THE FIXTURES TO BE DIMMED AT A PRESET TIME TO REDUCE LIGHT LEVELS. FROM 11:00 PM TO 5:00 AM THE FIXTURES COULD BE DIMMED TO 30% LIGHT OUTPUT. THESE FIXTURE WILL ALSO BE CONNECTED TO THE EMERGENCY ALARM SYSTEM IN THE BUILDING. UPON ACTIVATION OF THE ALARM DURING THE DIMMING PRESET TIME, THESE FIXTURES WOULD RETURN TO FULL LIGHT OUTPUT.

STAMP



CONSULTANT



234 S. WHISPERWOOD WAY, BOISE, ID 83709
PH: (208) 384-0985
MUSGROVE PROJECT NUMBER: 19-366

PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE DESIGN REVIEW

DATE FEBRUARY 3, 2020

JOB NUMBER 18-022

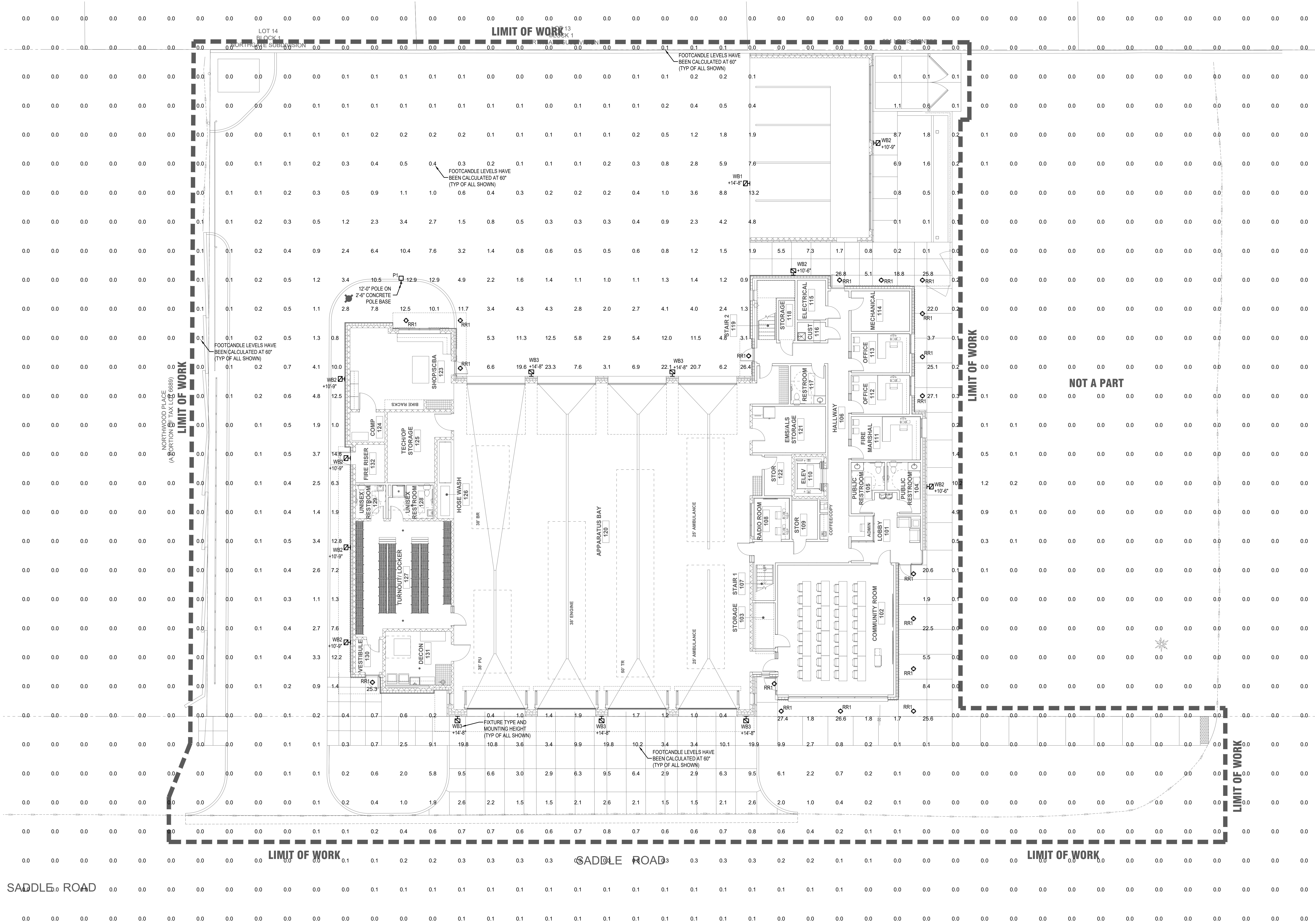
MARK	DATE	DESCRIPTION

SHEET NAME

ELECTRICAL DETAILS AND NOTES

SHEET NUMBER

E0.00



1008 W Main St
Boise, Idaho 83702
208.345.1800
colearchitects.net
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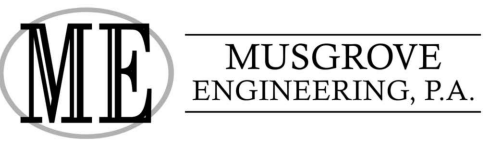
ARCHITECTURE + PLANNING + DESIGN

6211 Roosevelt Way NE
Seattle, WA 98115
206.522.3820

STAMP



CONSULTANT



234 S. WHISPERWOOD WAY, BOISE, ID 83709
PH: (208) 384-0885
MUSGROVE PROJECT NUMBER: 19-366

PROJECT INFORMATION



KETCHUM FIRE STATION

107 SADDLE ROAD, KETCHUM, ID 83353

ISSUES

PHASE	DESIGN REVIEW	
DATE	FEBRUARY 3, 2020	
JOB NUMBER	18-022	
MARK	DATE	DESCRIPTION

SHEET NAME

PHOTOMETRIC SITE PLAN

SHEET NUMBER

E1.00

1 SITE LIGHTING PHOTOMETRIC PLAN
SCALE | 1" = 10'-0"



KETCHUM 1
FIRE STATION

Exhibit B:

**Response to Planning and
Zoning Commission Comments
on the Fire Station Pre-
Application Design Review**

Response to Planning and Zoning Commission Comments on the Fire Station Pre-Application Design Review

Site Location

While the selection of the fire station site location is not part of the design review process, the following information is provided in response to Commission comments made at the January 13, 2020 meeting.

Between 2001 and 2016, the City evaluated different locations for a new fire station. Sites considered consisted of the following locations:

- City property on Lewis Street
- City property adjacent to the YMCA (north and south properties)
- Stock Building site
- City Hall site

In September 2017 a new site evaluation process was initiated. A group of 11 people that included police and fire personnel, real estate and development professionals, and residents of Ketchum evaluated sites in and around Ketchum and assessed feasibility. All known feasible sites were evaluated. Attachment A provides a summary of the sites evaluated. The group identified 22 locations. These 22 locations were further evaluated for accessibility and other factors, including response time.

Initially, the City site south of the YMCA was identified as a preferred location. However, after public review and comment, that site was no longer under consideration. Two sites emerged as preferred locations, the City owned dirt lot north of the YMCA and the private property at 290 and 298 Northwood Way. The Northwood Way properties were available for purchase for \$3,036,000. Of the two sites, the City Council selected the dirt lot north of the YMCA.

The selected site is suitable with or without consolidation of the north valley fire agencies. The site is centrally located with access to Highway 75, Saddle Road into the City of Sun Valley, and Warm Springs Road.

Unlike some of the other sites considered, this location provides enough area for drive-through apparatus bays. Without drive-through bays, vehicles would have to back into the apparatus bay.

Throughout the 2019 Fire Bond campaign and at the 20 public meetings and open houses, the Saddle Road site was presented as the preferred location. After the bond passed, the City Council conducted a public meeting to review any other proposed locations. No other locations were presented and based on the input from the public and Fire Chief, the Council approved the Saddle Road location.

Parking

As shown in Exhibit A, the fire station is located within a larger parcel owned by the City of Ketchum, it is not a separate parcel.



EXHIBIT A

The parcel contains approximately 170 public parking spaces between the YMCA and fire station and 50 spaces in the parking lot south of the YMCA. Over 100 vehicles can be parked on the street along Saddle Road and in and around Rotary Park. In total, the area can accommodate over 320 vehicles in the surrounding area not including the Presbyterian Church parking lot.

Parking in the area is all shared public parking. No single user has exclusive use or dedicated parking for their use. The City has determined that shared parking is the most efficient, sustainable and cost-effective way to provide parking for the various users in the area. This approach takes advantage of the fact that most parking spaces are only used part time by a particular user. Providing dedicated parking for any single user will result in under-utilized parking and is counter to the transportation and mobility goals of the City.

The parking demands of the fire station will fluctuate depending on the type of emergency call. The existing fire station is in the downtown core adjacent to the most congested and high demand parking area in Ketchum. Firefighters responding to a call must drive into the downtown and typically find parking on the street. While this is not ideal, to date, this practice has not impacted response times. The availability and access to parking for the new fire station is far superior to existing conditions.

On average, there are 2.7 incidents per day. The maximum number of firefighters responding to a major incident is 20. On Tuesday evenings, there would be an average of 16 vehicles coming to either the training facility on Lewis Street and/or the station for training. Training typically occurs between 5-8pm.

Daily, there will be 2-4 firefighters at the station in addition to the Fire Chief, Assistant Chief and Fire Clerk. The two chiefs drive command vehicles which will likely be parked within the fire station bays. Worst case, there is a demand for 5 parking spaces for the full-time staff during the day and as noted above, 20 spaces for other firefighters responding to a major call and approximately 16 spaces during Tuesday training sessions. Based on the available parking around

the site, there will be ample shared parking spaces to meet the parking demand of the station. There are over 60 public spaces within close proximity to the station.

Until the YMCA expands, the number of spaces reasonably necessary to support the YMCA, as identified by the YMCA, is 150 spaces. Assuming the YMCA is at capacity, the Presbyterian Church has an event and there is a major fire call, and all 320 parking places are occupied, the Fire Chief will facilitate parking for firefighters on the fire station site. There is space to park vehicles along the north driveway and in the rear of the station. While it is highly unlikely all uses will have peak parking at the same time, there is a plan in place to handle this situation if it occurs.

The availability of parking is an important issue and based on a careful analysis, the city has determined there is more than enough shared parking to accommodate the needs of all users in the area. In addition to the available parking, the site is located at the intersection of the two highest capacity bus routes (Valley and Blue Route) and within close proximity of the Wood River Multi-Use Path offering ample alternative transportation opportunities. Based on the availability of parking and alternative transportation options, the city is not prepared to dedicate public parking spaces for exclusive use of any use in the area, including the fire station.

Housing

While the decision to include housing within the project is not part of the design review process, the following provides background information on the topic.

The availability of employee housing is a critical issue in the City of Ketchum. Without employees to plow and repair our streets, operate the water and wastewater system, maintain our parks and public facilities, and respond to fire and medical calls, the city simply cannot function and provide critical services. Providing employee housing is a top priority for the Mayor and City Council.

Constructing permanent housing as part of the fire station was contemplated in the early stages of the project development. After input from the full-time firefighters and an evaluation of project costs, it was determined permanent employee housing at this location was not attractive to employees and was expensive to build. Recognizing there is a critical need for employee housing, the Mayor and City Council have put all efforts towards developing over 50 units of community housing at the present city hall site. This project will accommodate employees and, as proposed, is expected to be more cost effective.

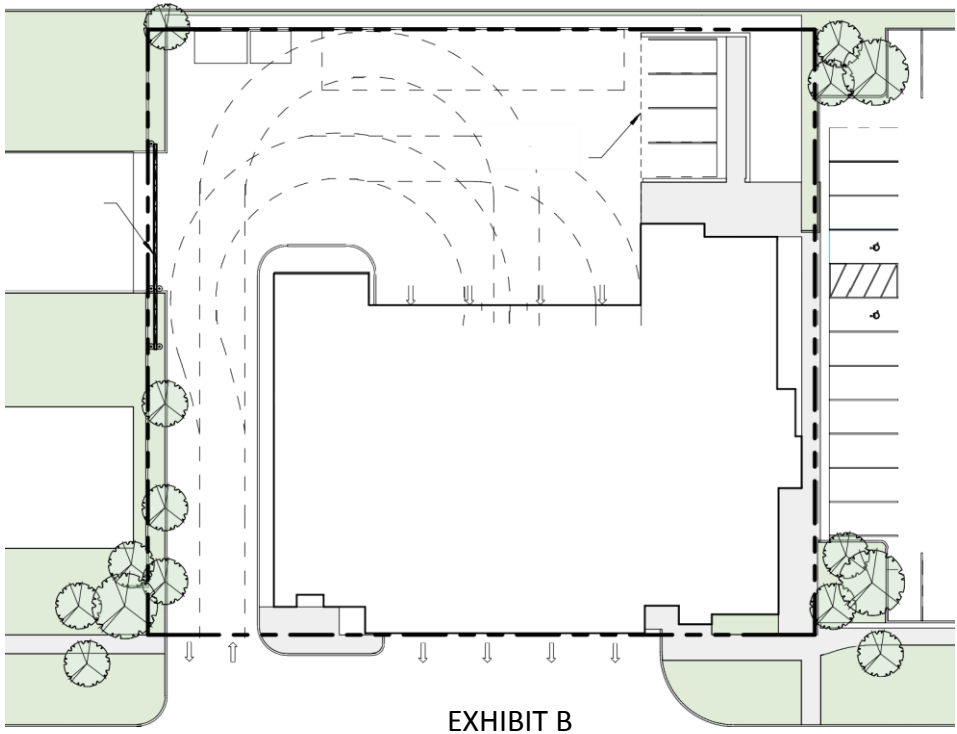
In the event there are funds and fire personnel demand to construct permanent housing units on the fire station site, the carport could readily be removed and replaced with housing units and parking. The option exists for future housing on the fire station site.

Traffic Circulation

As mentioned at the January 13th meeting, the City has hired AECOM to conduct a traffic analysis to determine if there will be safety and circulation conflicts between pedestrians, vehicles and emergency vehicles and responders within the general area. If conflicts are identified, mitigation

measures will be implemented. This study is underway and will be presented to the City Council for consideration.

With respect to the circulation in and around the site, there will be a curb cut on the North end of the property providing two-way traffic to the rear of the fire station (Exhibit B). Command and utility vehicles and some staff vehicles will ingress and egress the facility from that north entrance. With current activity, this would be between 10 and 20 vehicles per day entering and exiting. In addition, this entrance will also be the entrance for fire and EMS apparatus. Some EMS apparatus may exit the facility from this location, however emergency response will primarily be from the curb cut at the apparatus bays.



There will be four apparatus bays fronting Saddle Road. Fire and EMS apparatus will be responding to emergencies from these bays. As identified above, on average, there are 2.7 incidents per day and 1.4 apparatus responding to each incident. This amounts to 3.8 apparatus responding daily to incidents. In addition, fire apparatus will be exiting on non-emergency tasks, which currently averages 2 to 4 trips on an average day, Our best estimate is that the number of non-emergency vehicle trips will increase slightly to a total of approximately 5 non-emergency vehicle trips on an average day. Vehicles exiting from the apparatus bays will be almost exclusively re-enter from the north driveway.

Currently 8.1 volunteer trips are made to the station each day. These occur over the course of the day and are not normally at the same time. The maximum number of firefighters responding to a major incident is 20. On Tuesday evenings, there would be an average of 16 vehicles coming to the

station for training. On joint training events, there may also be 2 to 4 fire apparatus coming from other fire departments.

Volunteers and off-duty firefighters may enter the north entrance, park in the joint parking lot south of the fire station or along Saddle Road.

From the emergency apparatus entrance, there are clear sight lines both to the north and south.

AECOM is conducting an analysis to determine if additional traffic and pedestrian control devices are necessary. Should it be determined control devices should be installed, systems such as those shown in Exhibit C could be considered.



STC optically-activated fire station warning signal

EXHIBIT C

The station is designed with sight line windows that will allow apparatus drivers to view pedestrians or bicyclists on sidewalks approaching the station as well as in front of the apparatus. In addition, if determined necessary by AECOM, there are systems to alert pedestrians and bicyclists of vehicles existing the driveway. Exhibit D provides some examples.

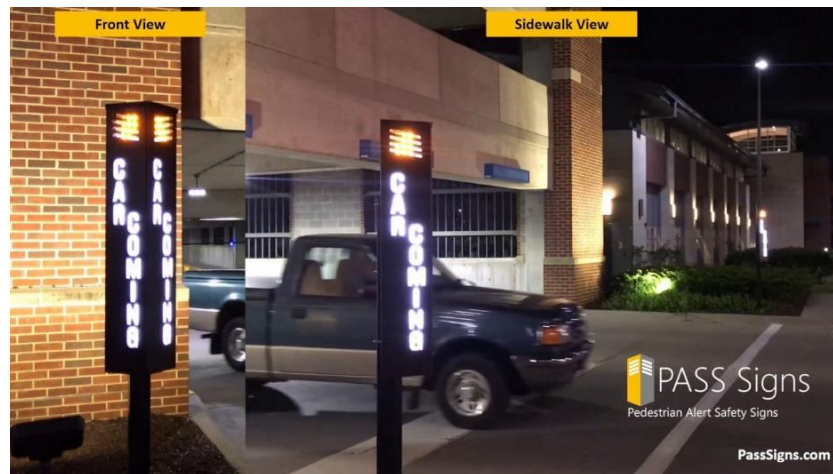


EXHIBIT D



EXHIBIT D

Even during emergency response, all apparatus will be required to come to a complete stop prior to pulling on to the roadway. Fire and EMS apparatus will also be required to activate emergency warning lights on the apparatus at all times, and sirens, when appropriate.

Volunteers and off-duty staff are not permitted by law to exceed speed limits or ignore traffic rules. This is also strictly enforced by a “no-tolerance” policy of the fire department.

There is adequate space in the rear courtyard for fire and EMS apparatus to turn around, and adequate space for freight delivery and other service uses.

The safety of first responders arriving and departing during emergencies along with the public around the station will be thoroughly evaluated by professional traffic engineers. If conflicts are identified, the City Council will implement measures to ensure the safety of all users in the area.

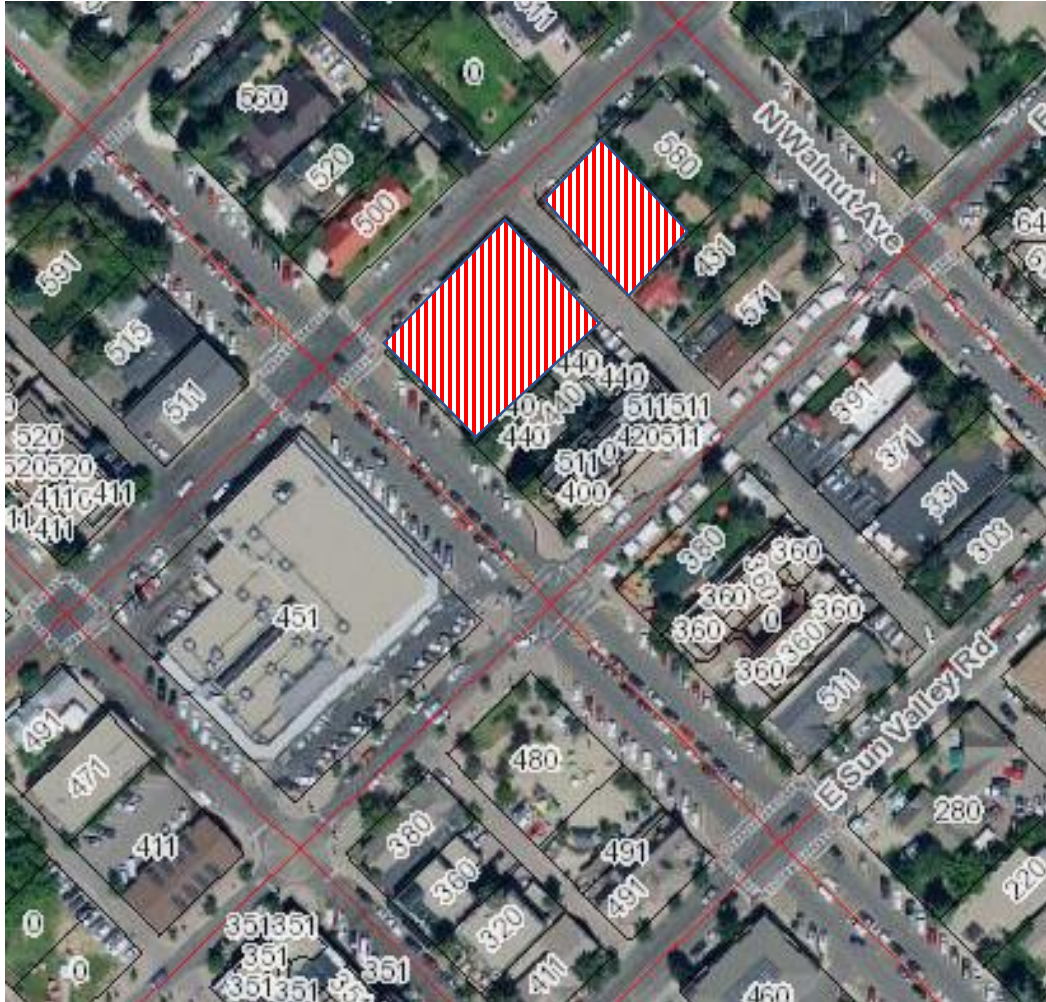
Design Comments

The Commission expressed concern over the dark color of the exterior brick. The graphic submitted made the brick appear to be darker than the actual appearance. At the February 10th meeting, samples of brick options will be provided for Commission review and approval.

ATTACHMENT A

CITY-OWNED LOTS

CURRENT CITY HALL LOT



Location: NE Corner of East Avenue & 5th Street

Legal: Lot 3A, Block 45

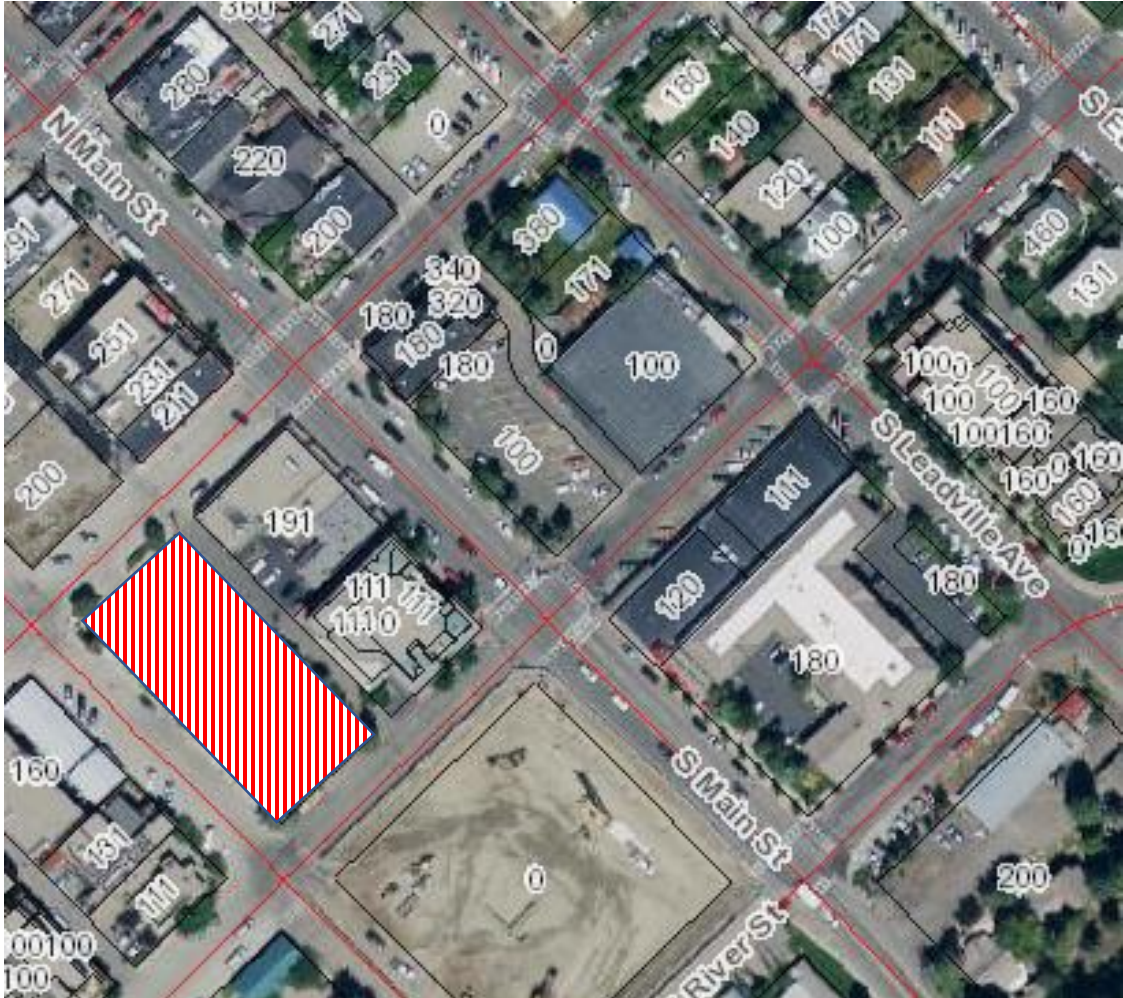
Size: 0.379 acres

Dimensions (WxD): Approx. 110' x 150'

Ownership: City of Ketchum

Market Value: N/A

1ST & WASHINGTON LOT



Location: Washington Avenue (btwn 1st & 2nd Streets)

Legal: Lot 5-8, Block 19

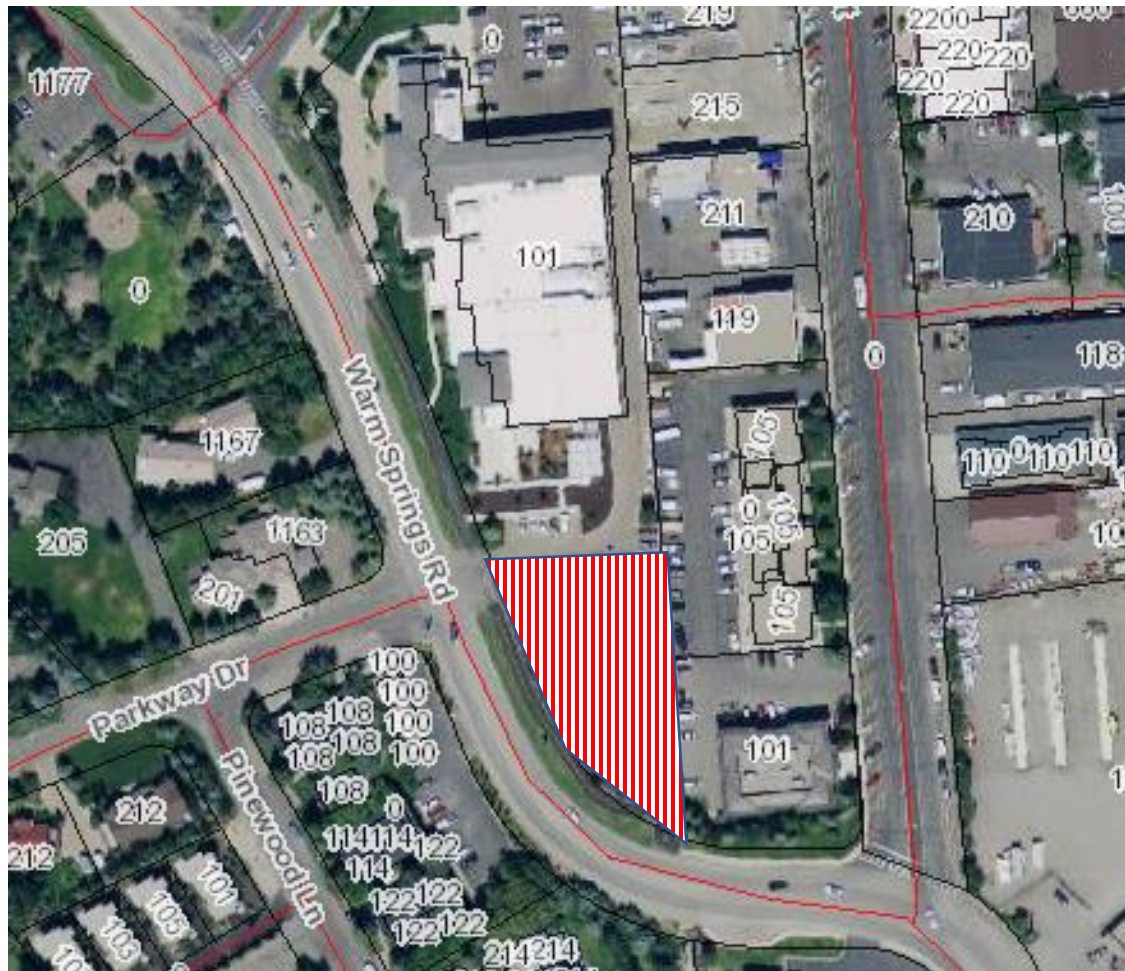
Size: 0.505 acres

Dimensions (WxD): Approx 220' x 100'

Ownership: City of Ketchum/KURA

Market Value: N/A

YMCA SOUTH LOT



Location: Warm Springs Road

Legal: Sec 12 & 13 4N 17E

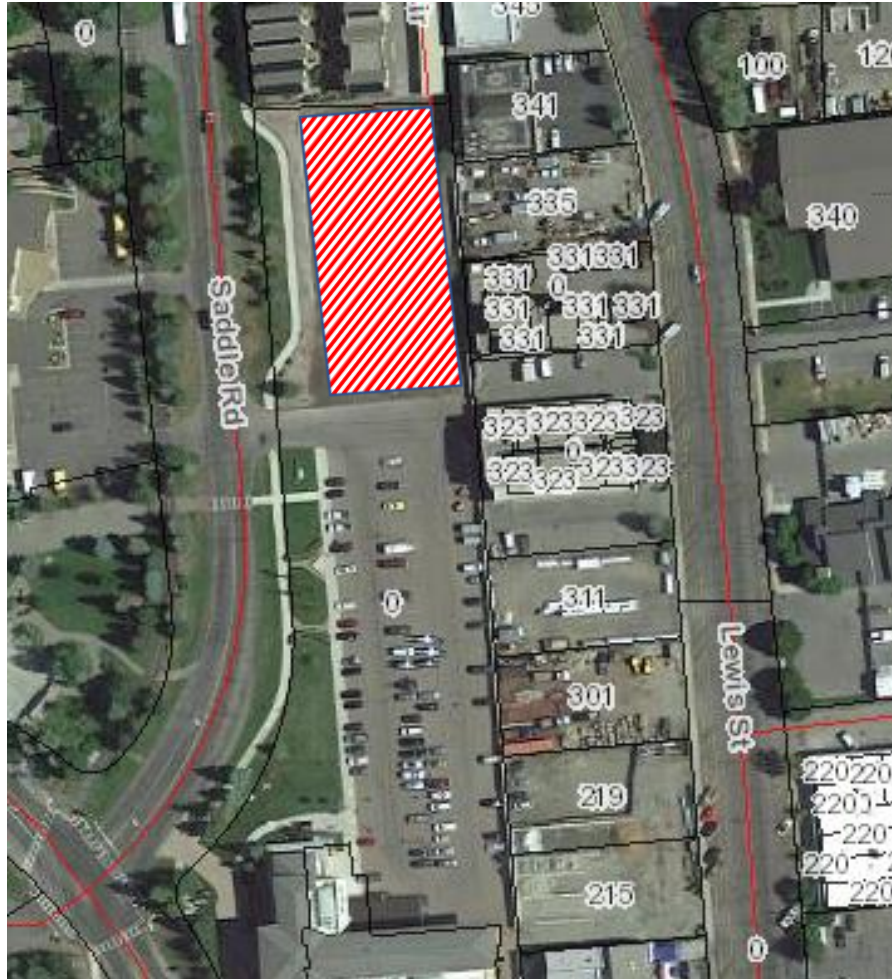
Size: 0.55 acres

Dimensions (WxD): Approx. 200' x 120'

Ownership: City of Ketchum

Market Value: N/A

YMCA NORTH LOT



Location: Warm Springs Road

Legal: Sec 12 & 13 4N 17E

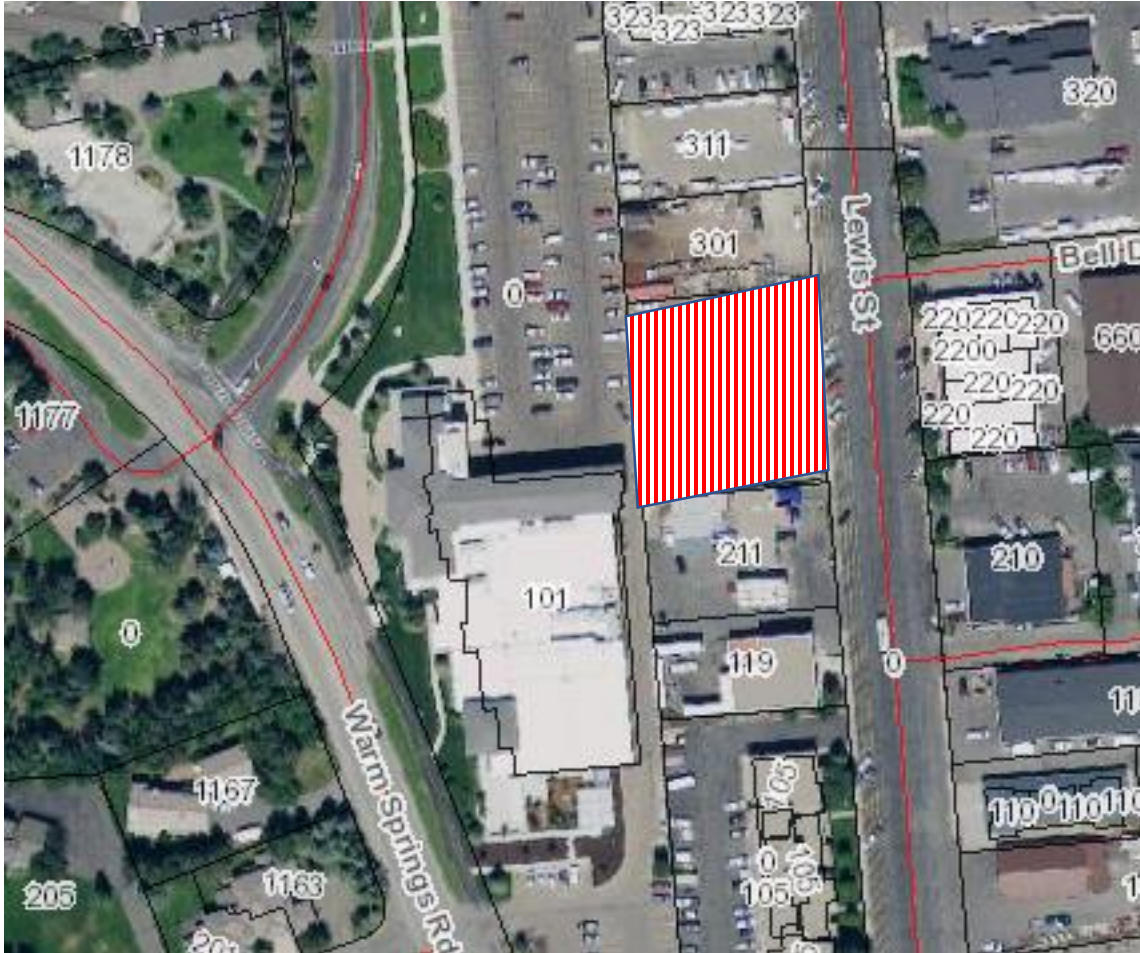
Size: 0.58 acres

Dimensions (WxD): Approx. 240' x 110'

Ownership: City of Ketchum

Market Value: N/A

CITY-OWNED LEWIS STREET LOTS



Location: Lewis Street

Legal: Lot 7, Block 1 and Lot 6, Block 1

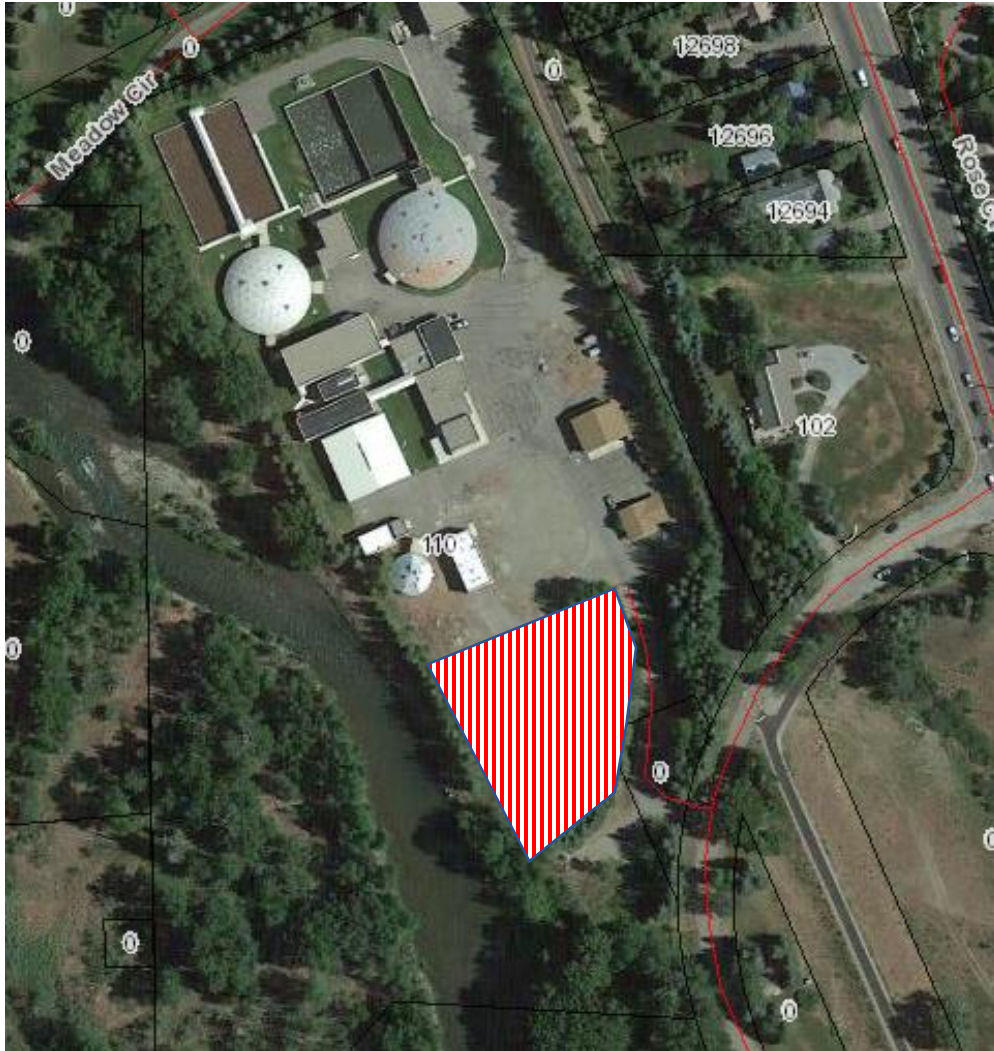
Size: 0.55 acres

Dimensions (WxD): Approx 160' x 150'

Ownership: City of Ketchum

Market Value: N/A

WATER TREATMENT PLANT LOT



Location: Water Treatment Plant

Legal: N/A

Size: Approx. 0.83 acres

Dimensions (WxD): Approx. 160' x 180'

Ownership: City of Ketchum

Market Value: N/A

FOOT OF 9TH STREET LOT



Location: West End of 9th Street

Legal: N/A

Size: Approx. 0.15 acres

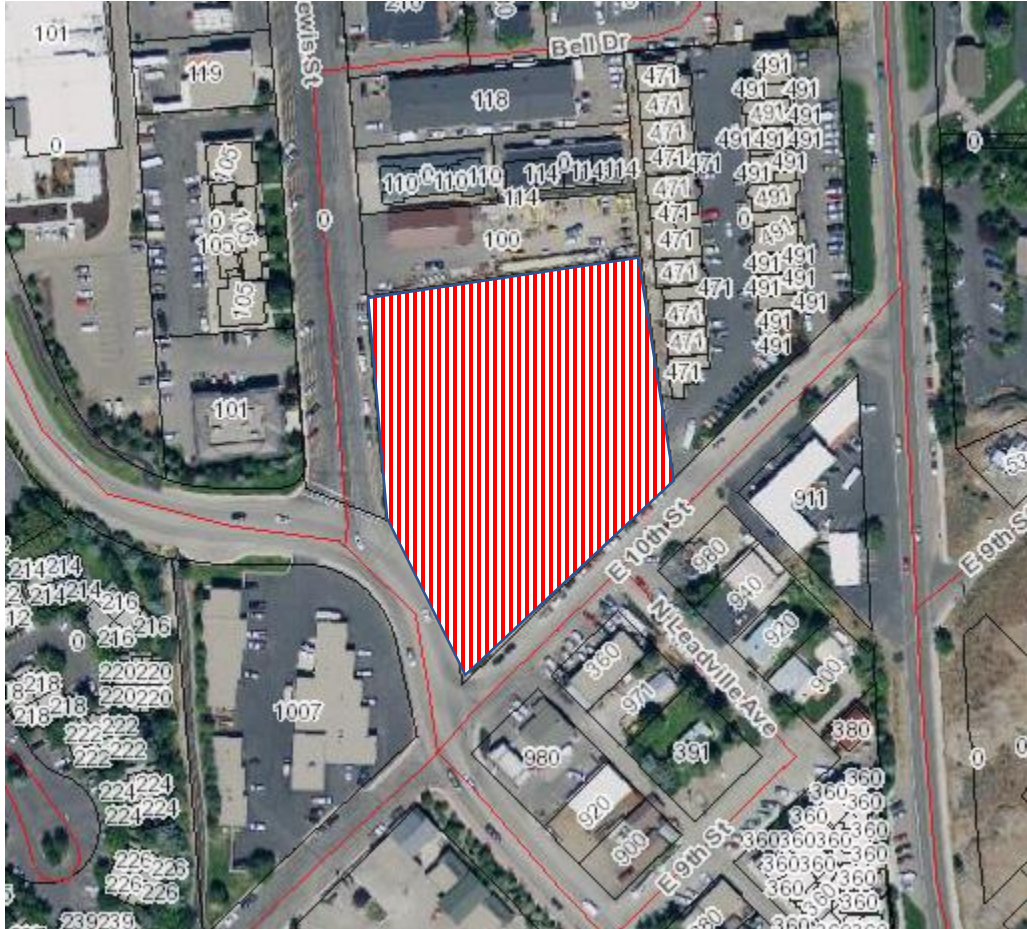
Dimensions (WxD): Approx. 80' x 65'

Ownership: City of Ketchum

Market Value: N/A

PRIVATELY-OWNED LOTS

STOCK BUILDING SUPPLY LOT



Location: Lewis Street & Warm Springs Road.

Legal: Sec 13 4N 17E

Size: 2.432 acres

Dimensions (WxD): Approx. 340' x 305'

Ownership: Private (Warm Springs & 10th LLC).

Market Value: \$2,969,723

1ST AVENUE BETWEEN 4TH & 5TH STREET LOT



Location: 1st Avenue (btwn 4th & 5th Streets)

Legal: Lot 2 & 3A, Block 56

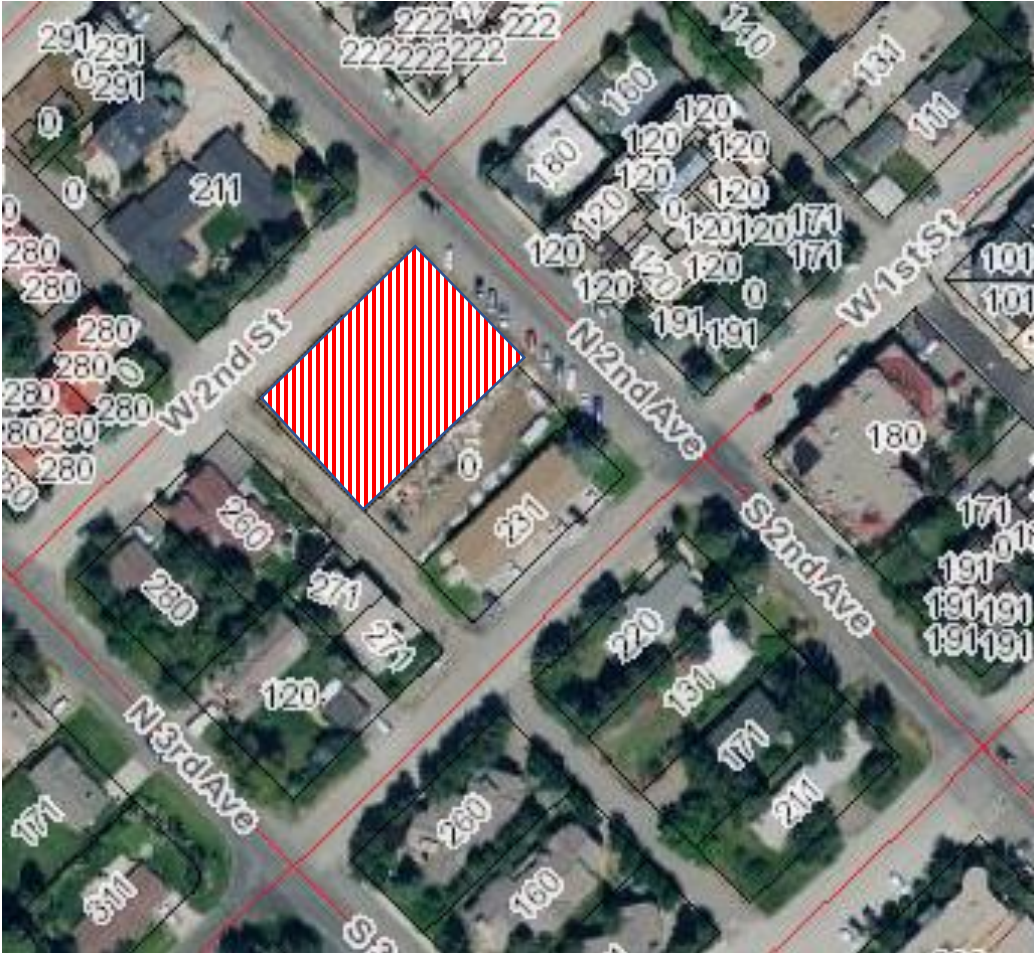
Size: 0.381 acres

Dimensions (WxD): Appox. 110' x 150'

Ownership: Private (431-471 N 1st Avenue LLC)

Market Value: \$1,625,330

2ND AVENUE & 2ND STREET LOT



Location: SW Corner of 2nd Avenue & 2nd Street

Legal: Lots 1 & 2, Block 62

Size: 0.379 acres

Dimensions (WxD): Approx. 110' x 150'

Ownership: Private (Brien Stuart MD Trustee)

Market Value: \$1,056,000

1ST AVENUE LOT (HOSPICE & MT. EXPRESS)



Location: 1st Avenue (btwn 5th & 6th Streets)

Legal: Lots 2 & 3, Block 55

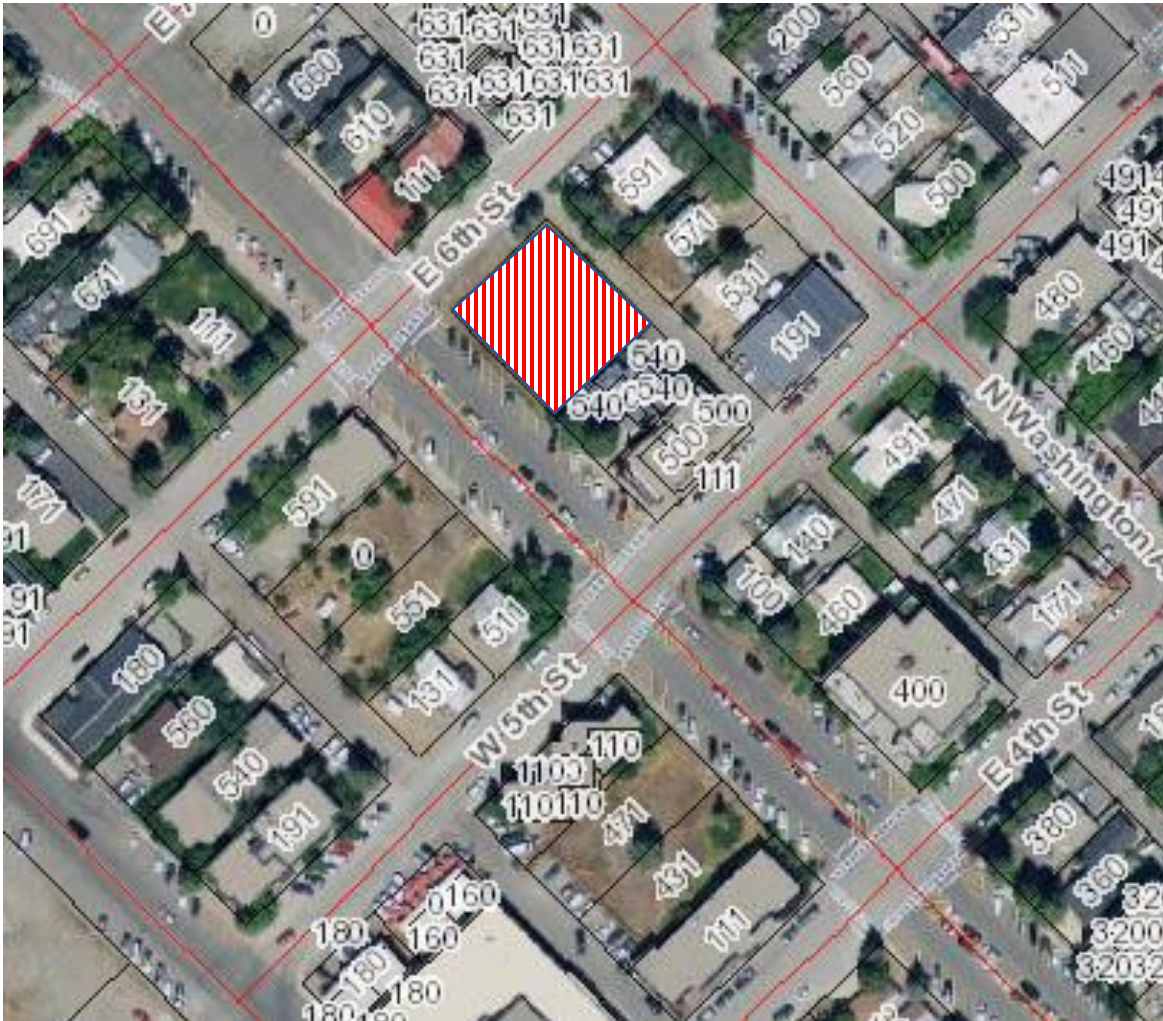
Size: 0.378 acres

Dimensions (WxD): Approx. 110' x 150'

Ownership: Private (Hardy Foundation Inc.)

Market Value: \$1,062,728

1st AVENUE AND 6TH STREET LOT



Location: SE Corner of 1st Avenue & 6th Street

Legal: Lot 5 & 6, Block 35

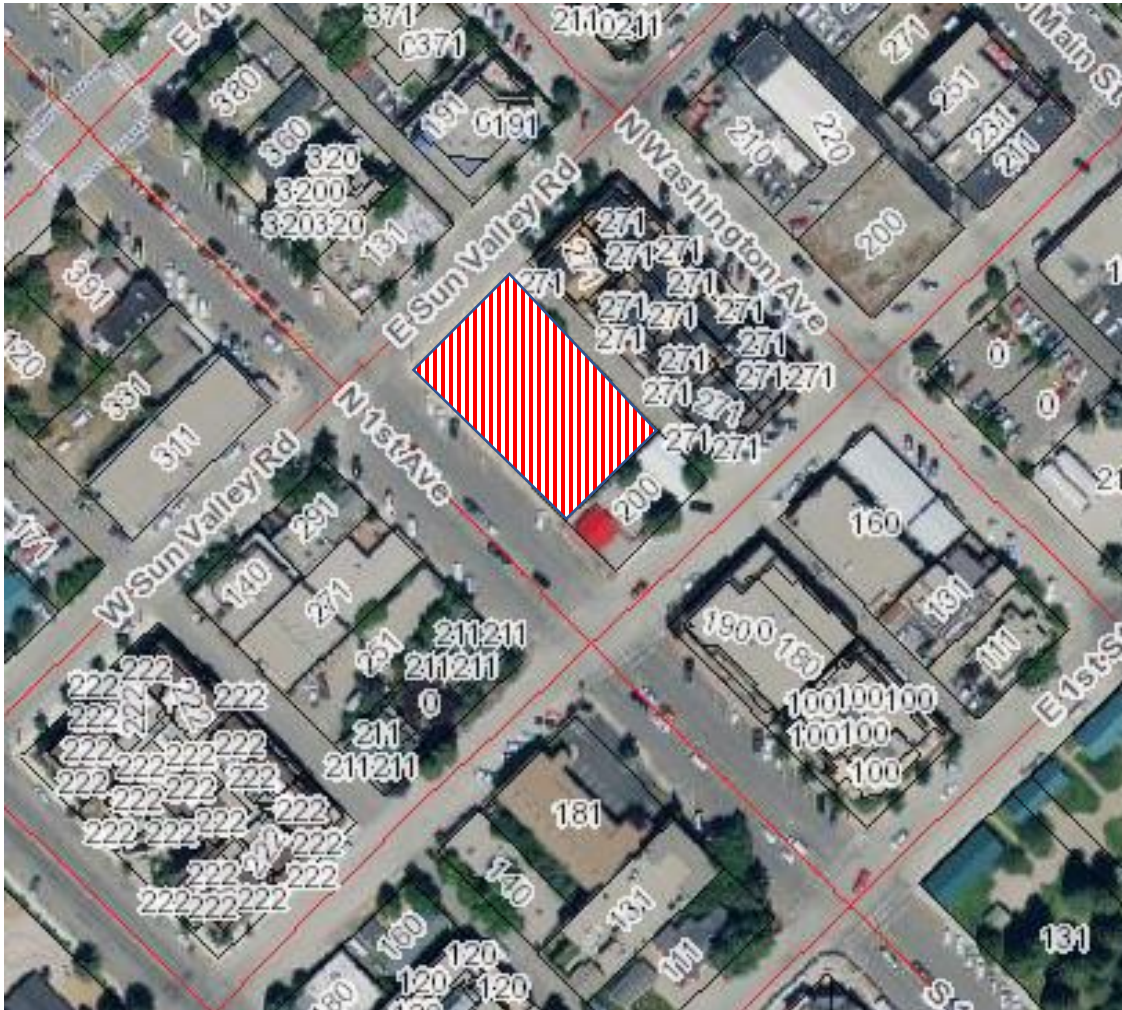
Size: 0.252 acres

Dimensions (WxD): Approx. 110' x 100'

Ownership: Private (Jack Bariteau)

Market Value: \$880,000

SUN VALLEY ROAD AND 1ST AVENUE LOT



Location: SE Corner of 1st Avenue & SV Road

Legal: Lot 5A, Block 38

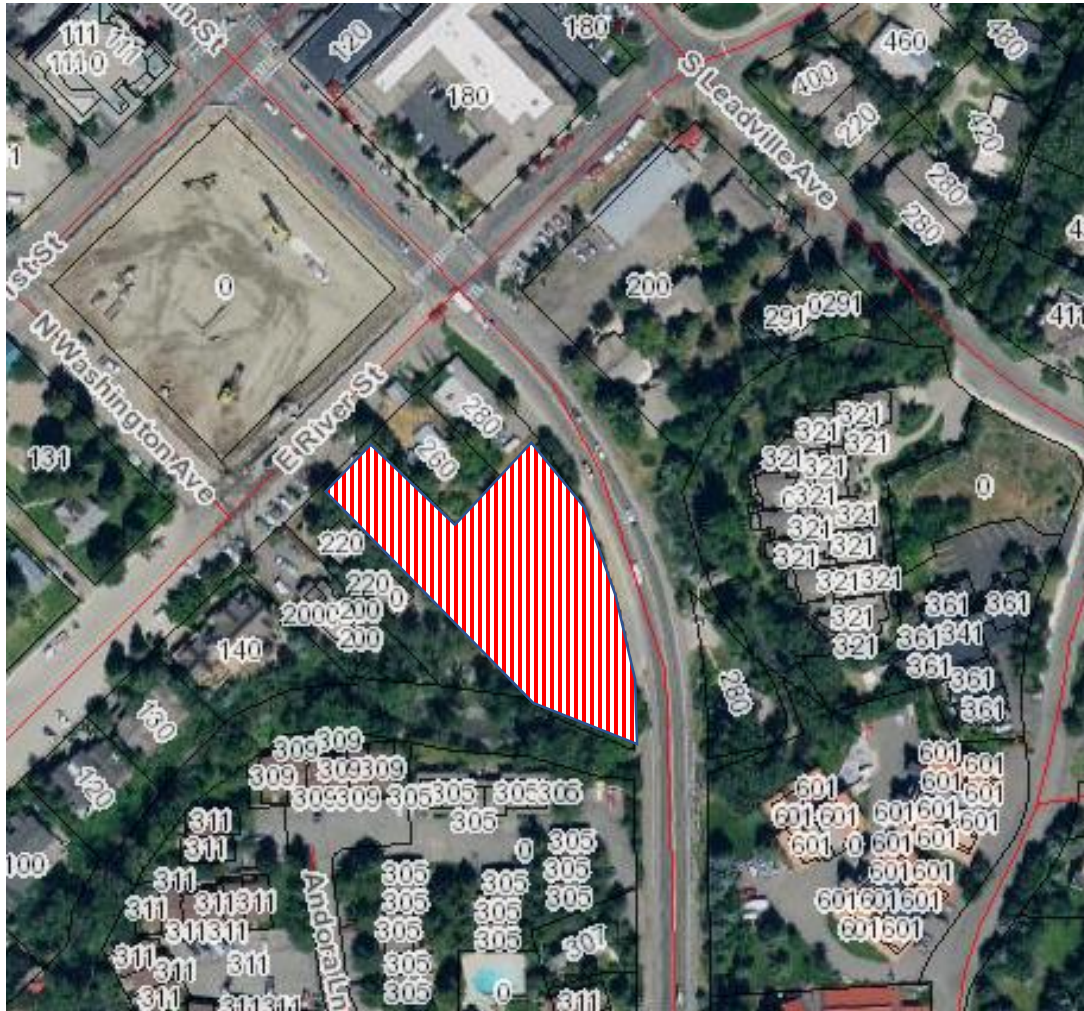
Size: 0.38 acres

Dimensions (WxD): Approx. 165' x 100'

Ownership: Private (260 1st LLC)

Market Value: \$1,617,000

GATEWAY BUILDING LOT



Location: Main Street, South of River

Legal: Lots 3, 21, 22, Block 82

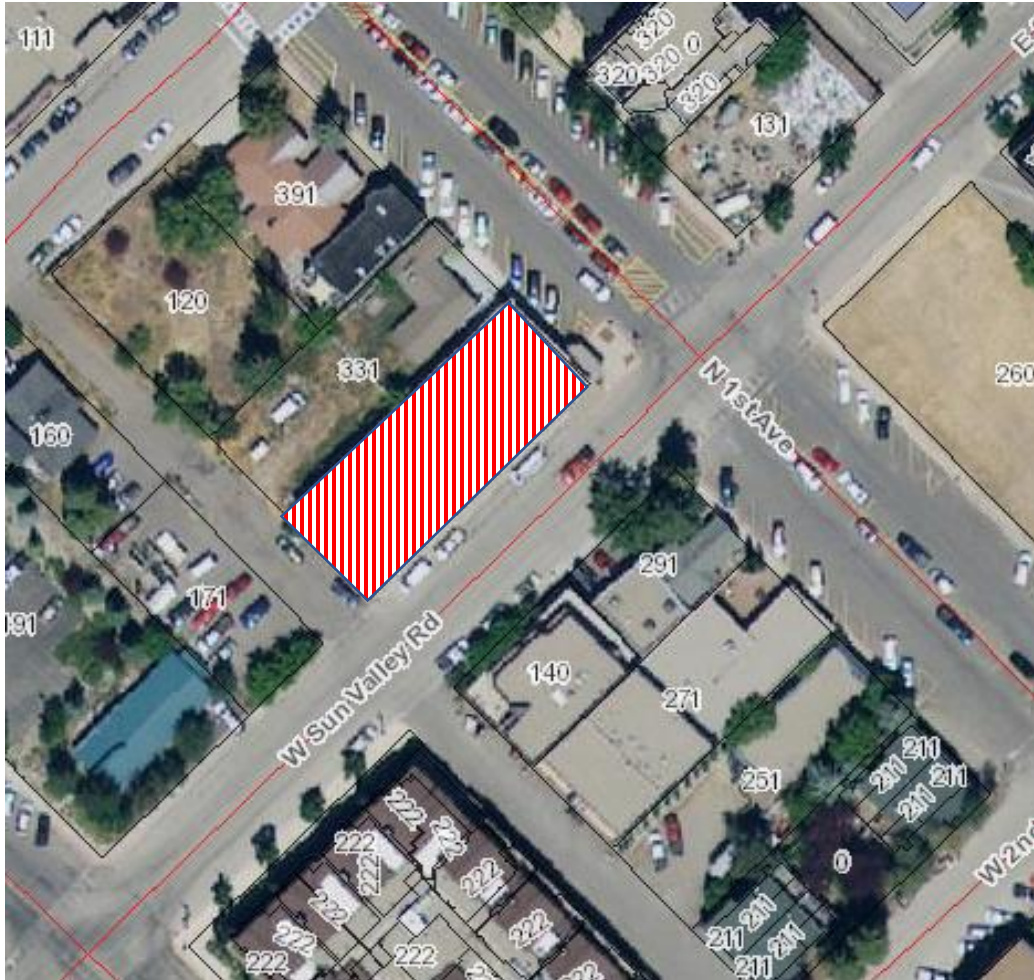
Size: 0.774 acres

Dimensions (WxD):

Ownership: Private (Idaho Banking Company, C/O DL Evans)

Market Value: \$2,421,785

OLD POST OFFICE LOT



Location: NW Corner of 1st Avenue & SV Road

Legal: Lot 4, Block 57

Size: 0.189 acres

Dimensions (WxD): Approx. 50' x 150'

Ownership: Private (Geneva Plaza LLC)

Market Value: \$1,144,788

HOT DOG HILL LOT



Location: NE Corner of Main Street & 4th Street

Legal: Lots 1 & 2, Block 5

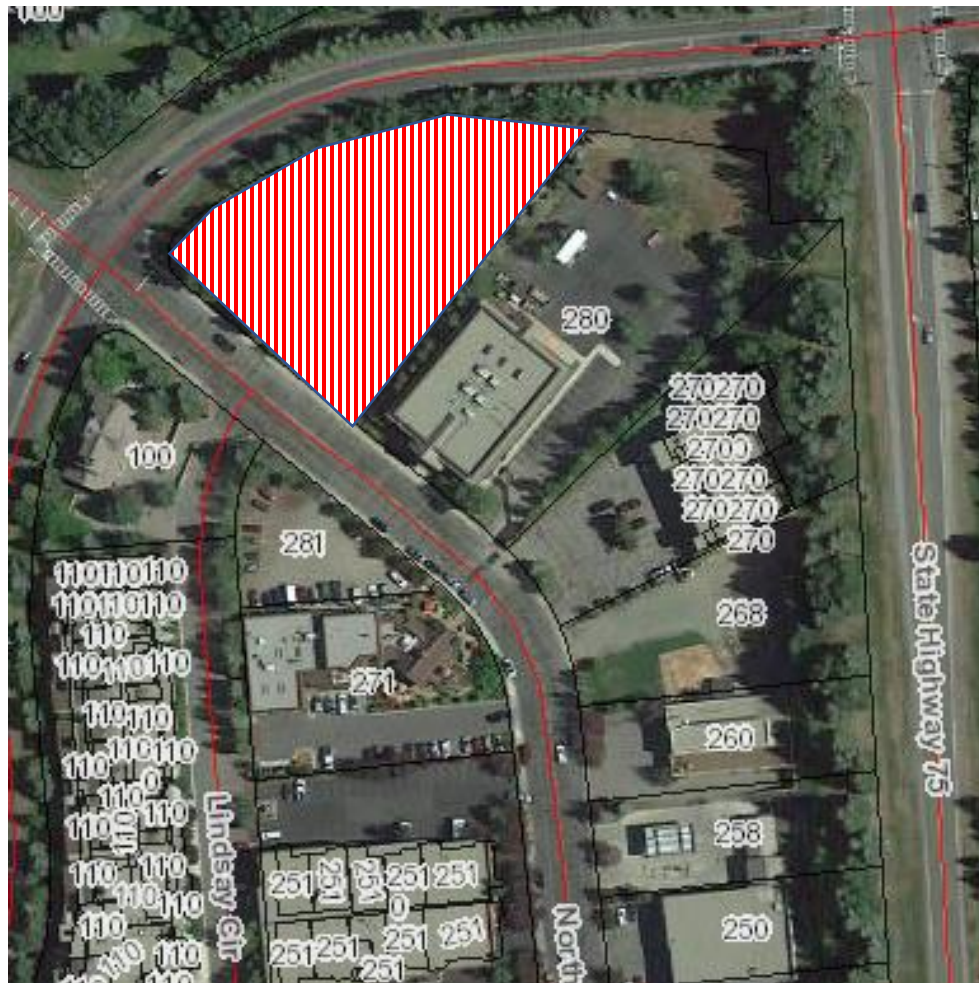
Size: 0.252 acres

Dimensions (WxD): Approx. 110' x 100'

Ownership: Private (440 North Main LLC).

Market Value: \$1,210,000

BARSOTTI LIGHT INDUSTRIAL LOT



Location: SE Corner of Saddle & Northwood Roads

Legal: Lots 23 & 24

Size: 1.096 acres

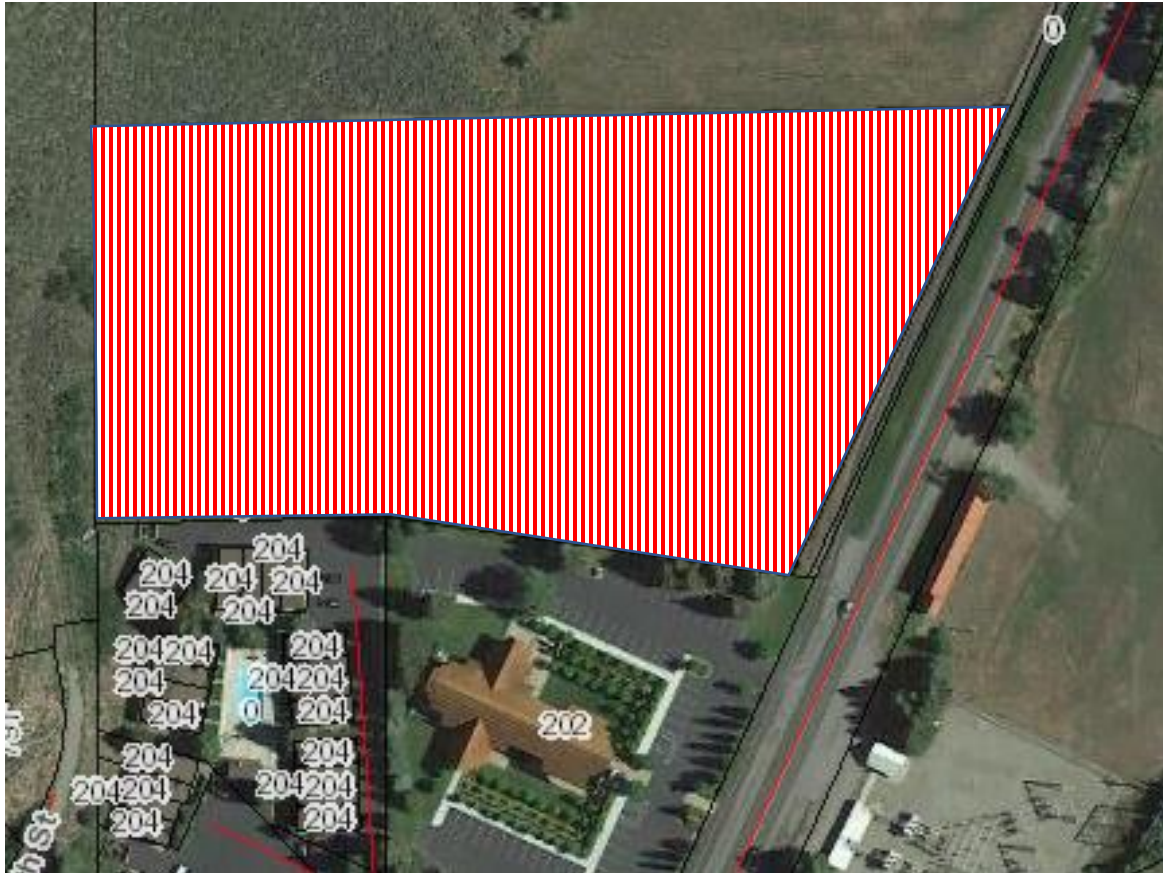
Dimensions (WxD): Approx 210' x 200'

Ownership: Private (Barsotti Investment Company LLC)

Market Value: \$1,388,246

ORGANIZATION-OWNED LOTS

FESITVAL FIELD LOT



Location: Sun Valley Road (East of Town)

Legal: Sec 18 4N 18E

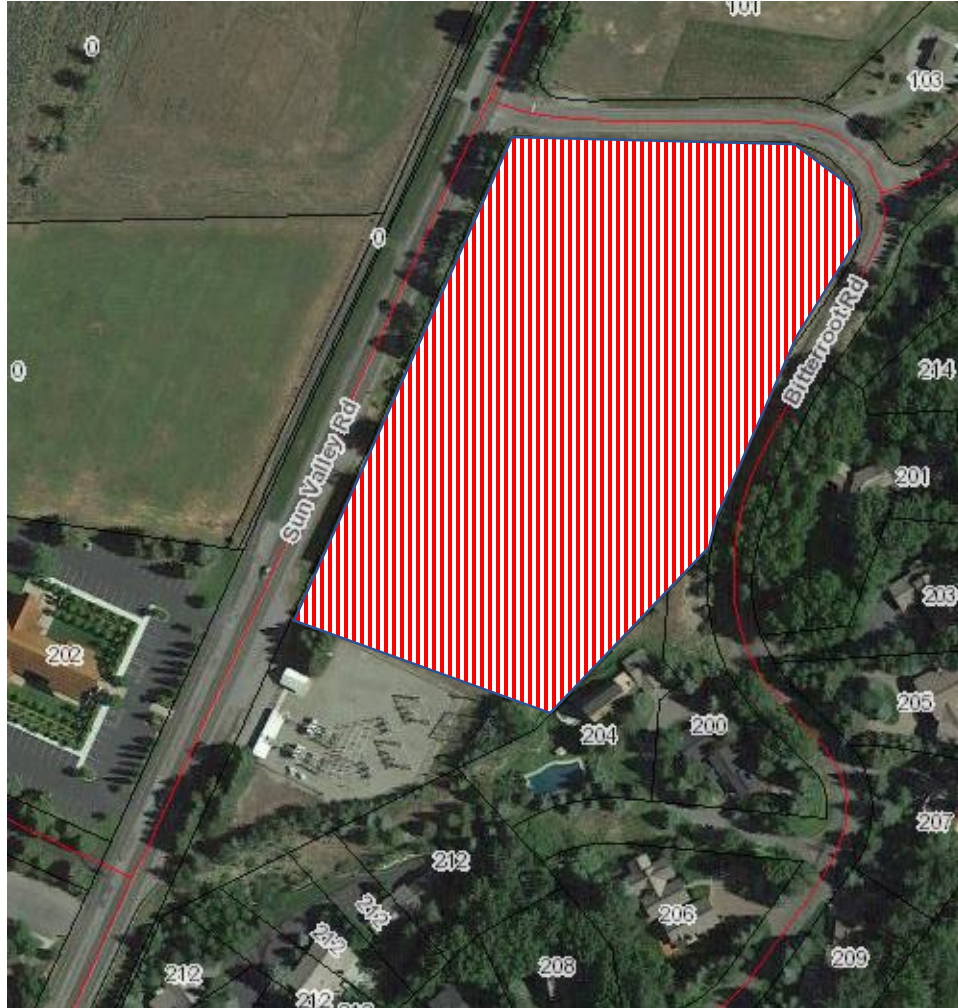
Size: 5.0 acres

Dimensions (WxD): Approx. 300' x 630'

Ownership: Private (City of Sun Valley)

Market Value:

RED BARN LOT



Location: Sun Valley Road (east of town)

Legal: Bitter Root Sub, Lot 3, Block 2

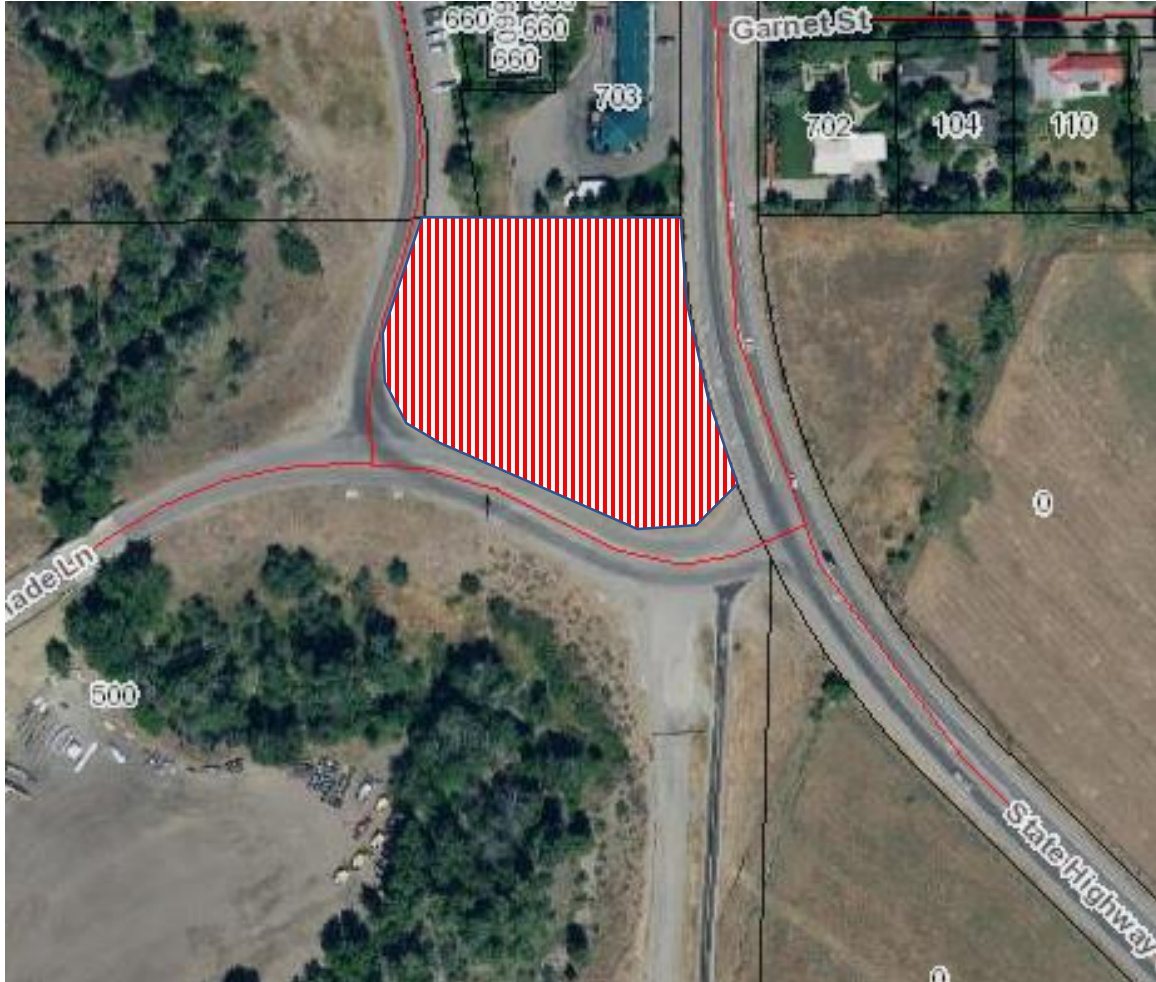
Size: Approx. 7.0 acres

Dimensions (WxD): Approx. 450' x 375'

Ownership: Private (Sun Valley Company)

Market Value: Unknown

2ND AVENUE & SERENADE LANE LOT



Location: 2nd Avenue @ Serenade Lane

Legal: N/A

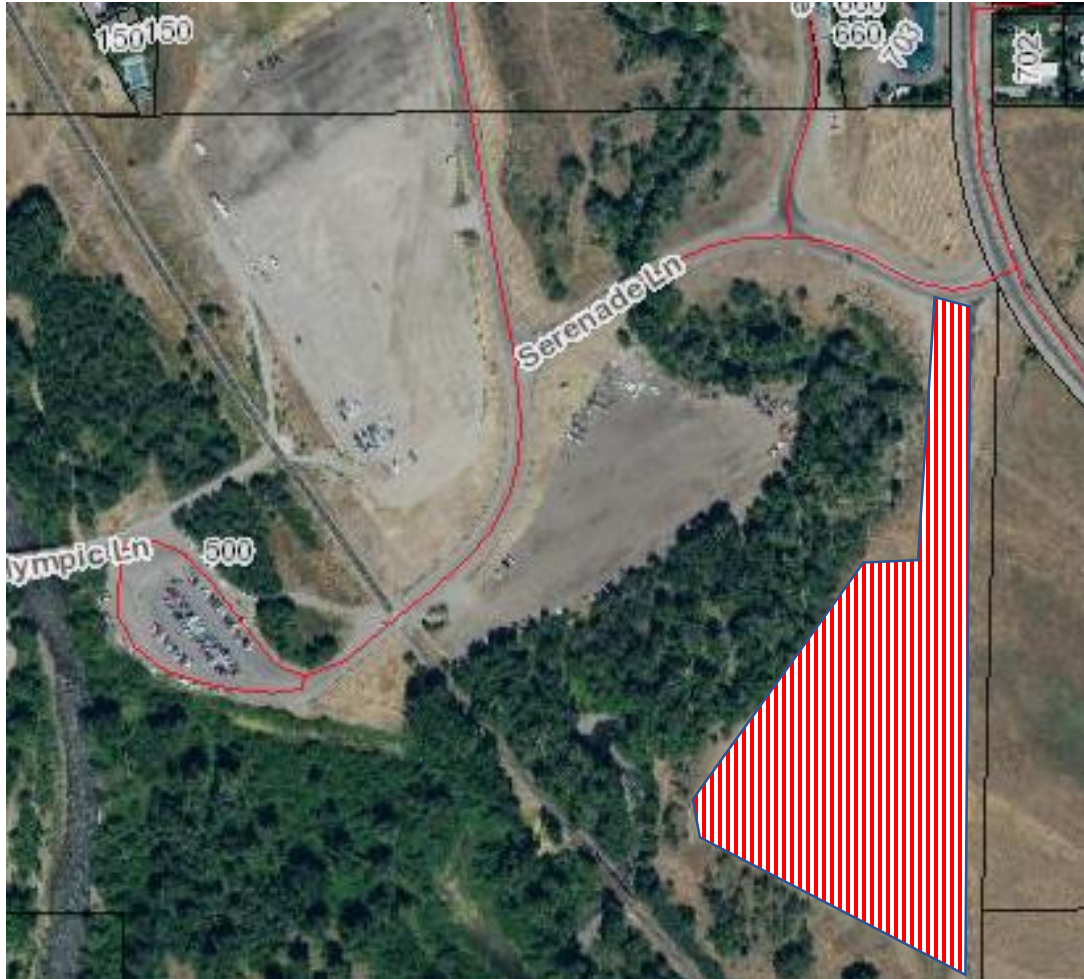
Size: Approx. 1.3 acres

Dimensions (WxD): Approx. 210' x 230'

Ownership: Private (Sun Valley Company)

Market Value: Unknown

SNOW DUMP LOT



Location: Serenade Lane

Legal: N/A

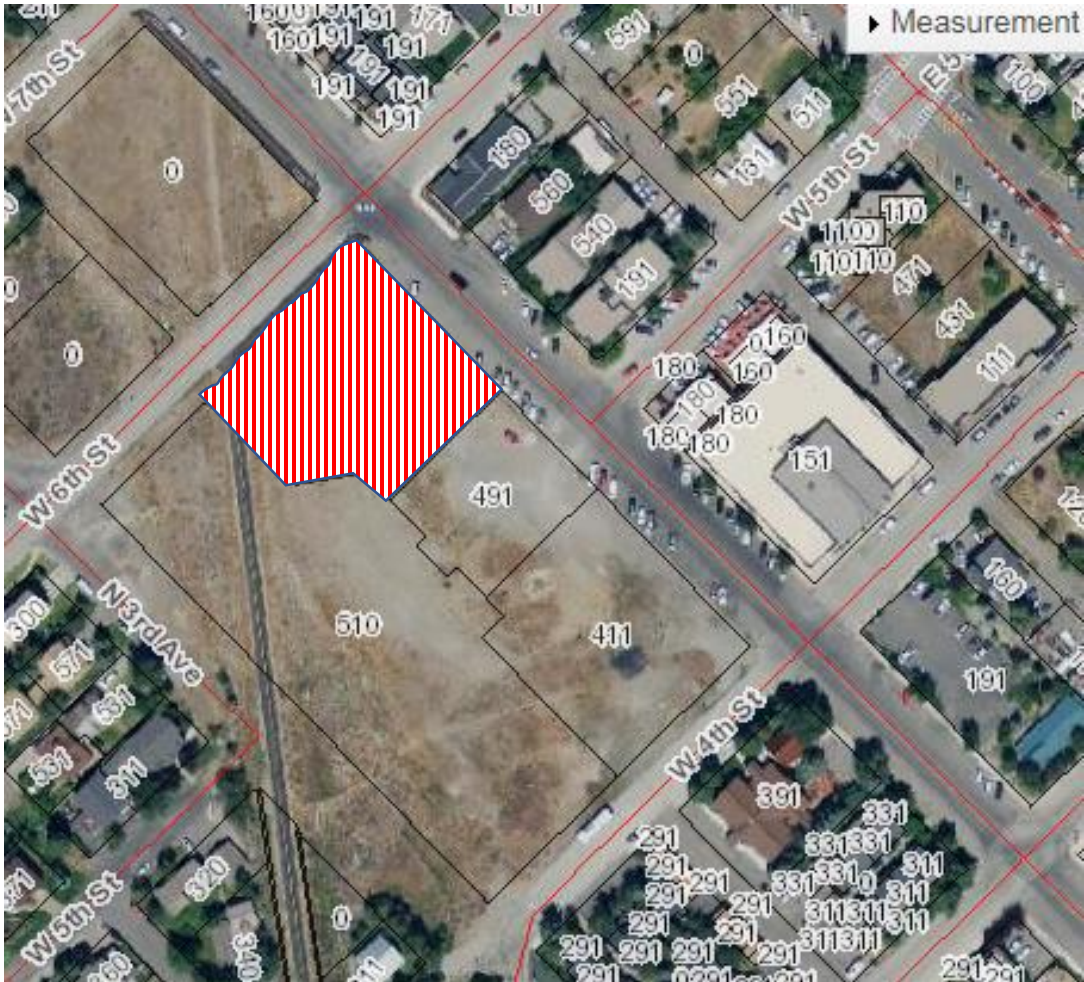
Size: 3.75 acres

Dimensions (WxD): 325' x 500'

Ownership: Private (Sun Valley Company)

Market Value: Unknown

SIMPLOT LOT



Location: NW Corner of 6th Street & 2nd Avenue.

Legal: Lot 3A, Block 1

Size: 0.72 Acres

Dimensions (WxD): Approx. 175' x 190'

Ownership: Private (Simplot Ketchum Properties LLC).

Market Value: \$1,717,960



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: 10th Street Ventures Work/Live Conditional Use Permit

FILE NUMBER: P20-001

OWNER: 10th Street Ventures LLC

APPLICANT: 10th Street Ventures LLC / Chris Heinz

REPRESENTATIVE: Travis Killmer, Williams Partners Architects, P.C.

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 471 E. 10th Street Unit B17 (Tenth St Light Industrial Complex Bldg B Unit B13)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. As built floor plan
- C. Dr. Sasha Heinz webpage
- D. E-mail correspondence
- E. Draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

The subject property is located at 471 E. 10th Street, Unit B13, in Building B of the 10th Street Light Industrial development. 10th Street Ventures LLC (Chris and Sasha Heinz), property owners, have applied for a Conditional Use Permit to bring the work/live unit operating in the unit into compliance with the zoning code. The existence of the work/live use was discovered during the city's publicized efforts to locate and bring non-conforming and unpermitted residential living spaces in the LI zones into compliance with building, fire, and zoning codes.

The unit is currently occupied on an occasional basis for work/live use. The ground floor consists of a 1,266 square foot workspace and the 781 square foot upper floor contains the residential living area. As indicated in correspondence between the applicant's representative and the applicant and submitted to the city (attachment D), the property owners purchased the unit in 2018 and one of the owners, Sasha Heinz, began using the ground floor for her business on a part-time basis in January of 2019. The business, as described on the business owner's application for a City of Ketchum business license on file with the city clerk's office, consists of life coaching conducted via video chat, with Ms. Heinz located in the unit and clients located off-site. As indicated on the business license application, clients are not seen on the premises. The life coaching business is classified as "instructional service" per zoning code use definitions.

When the business began operation at the subject property instructional service was permitted to occur anywhere within a structure and the zoning code's definition of instructional service was defined broadly:

INSTRUCTIONAL SERVICE: The use of land for the provision of informational, instructional and similar services for personal improvement. Typical uses include, but are not limited to health or physical fitness studios, dance, music, arts or photography studios, educational tutoring facilities, handicraft or hobby instruction.

In July 2019 the city adopted amendments to the Light Industrial zoning regulations, including a regulation that instructional service shall only occur on the upper floor(s) of businesses that have more than one floor. Additionally, the definition of instructional service was narrowed to:

INSTRUCTIONAL SERVICE: The use of land for the provision of instructional services for personal improvement other than physical improvement. Uses include music, painting, ceramics, photography, fiber arts, educational tutoring facilities, handicraft or hobby instruction.

Because the business was established in the subject location prior to the zoning code amendments, the instructional service use may continue to operate from the ground floor as it is a non-conforming use and non-conforming uses may continue to operate provided operation does not cease for more than six months (KMC § 17.136.030.C)

Ketchum Fire Marshal Tom Ancona has confirmed there are no major outstanding fire code violations within the unit and indicates the only potential outstanding issues are the presence of a fire extinguisher and smoke detectors. The floor plans submitted by the applicant indicate a fire extinguisher has been installed on the ground floor. Staff recommends that as a condition of approval if smoke detectors are not present smoke detectors shall be installed by February 21, 2020, to be confirmed by a site inspection by city staff and with compliance noted by a memo to the application file.

An April 2019 property inspection report by the building official indicated no major building code violations and suggested additional exit signage could aid in occupant safety. A follow up inspection to confirm the unit meets the building official's satisfaction is pending. Staff recommends approval of this application with a condition that a final inspection by the building official occur no later than February 21, 2020 and the inspection confirm no outstanding building code concerns or violations.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum's economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
The work/live unit represents a type of residential use envisioned by the Comprehensive Plan for the mixed-use industrial land use area.
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
The proposed use is work/live.
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
The proposal integrates housing into the light industrial area in a mixed-use building.

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and <i>City Department Comments</i>
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: A fire extinguisher and smoke detectors need to be installed if not currently present.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Exit signage could help with occupant safety.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for a work/live unit with the living area located on the upper floor and work space located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.

117			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<p><i>38% of the work/live unit's square footage is devoted to residential use (781 of the 2,047 square feet).</i></p> <p><i>There are 13 units in Building B of the Tenth Street Light Industrial Complex consisting of 24,279 square feet (per Blaine County Assessor records).</i></p> <p><i>There are three Conditional Use Permits for work/live in the complex, consisting of (P19-045, Good Medicine Pottery, P19-094, Cerutti and P19-134, Dean) 2,162 square feet.</i></p> <p><i>This work/live unit would add an additional 781 square feet of residential square footage for a total of 2,943 square feet or 12.1% of the 24,279 square foot building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:

				<p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<p>Standards 17.124.090.A.5.a and c have been met.</p> <p>Standards 17.124.090.A.5.b.1 and 3 have been met.</p> <p>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as the applicant has applied for a City of Ketchum business license.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<p>This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<p>N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p>

				<p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<p><i>The proposal is required two parking spaces for the residential unit (one per bedroom) and would be required five parking spaces for the instructional service use.</i></p> <p><i>However, as the 10th Street Light Industrial Complex is an existing building, and exterior parking is common area and not designated to a specific unit, staff finds the use compliant with parking standards per KMC 17.125.040.A.5:</i></p> <p><i>5. Nonconforming Due To Lack Of Parking And Loading: No lawfully existing building shall be deemed to be a nonconforming building solely because of lack of parking and loading spaces; provided, that space being used for off street parking or loading in connection with any such building at the effective date of this chapter shall not be further reduced in area or capacity.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or,

			j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
		Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The work component of the work/live unit is instructional service and instructional service is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with the permitted use, and with the residential occupant being the owner of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>The work/live use will not materially endanger the health, safety, and welfare of the community provided the fire and building officials’ conditions are met.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>The work/live use is not anticipated to generate a high volume of trips as the applicant indicates no clients are seen on the premises. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p>

121		Staff Comments	<i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>
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The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the residential use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (KMC §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;
- C. Controlling the duration of development;
- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

Additionally, KMC §17.124.090 pertaining to residential standards in light industrial districts states that the following conditions may be attached to the Conditional Use Permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of Occupancy required prior to occupancy of units;
- E. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

STAFF RECOMMENDATION

Staff recommends approval of the work/live application with conditions.

RECOMMENDED MOTION

“I MOVE to approve the 10th Street Ventures Work/Live Conditional Use Permit with conditions 1-12 and to approve the Commission Chair to sign the draft Findings of Fact, Conclusions of Law, and Decision.”

RECOMMENDED CONDITIONS

- 1.** Ketchum Fire Marshal Tom Ancona has confirmed there are no major outstanding fire code violations within the unit and indicates the only potential outstanding issues are the presence of a fire extinguisher and smoke detectors. The floor plans submitted by the applicant indicate a fire extinguisher has been installed on the ground floor. If smoke detectors are not present smoke detectors shall be installed by February 21, 2020, to be confirmed by a site inspection by city staff and with compliance noted by a memo to the application file.

- 2.** An inspection by the Building Official shall occur by February 21, 2020 and shall confirm there are no outstanding building code concerns or violations within the unit. If building code violations are found to exist the violations shall be cured by March 31, 2020 as evidenced by a memo to the application file.
- 3.** The Conditional Use Permit for this work/live unit is non-transferrable to another property or property owner and the validity of the permit is dependent upon Dr. Sasha Heinz LLC remaining in operation;
- 4.** Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2;
- 5.** The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 6.** No residential use shall occur on the ground level (first floor);
- 7.** Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
- 8.** Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 9.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 10.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 11.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 12.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

ATTACHMENTS

- A. Application
- B. As built floor plan
- C. Dr. Sasha Heinz webpage
- D. E-mail correspondence
- E. Draft Findings of Fact, Conclusions of Law, and Decision

A. Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P19-044
Date Received:	12/17/19
By:	ml
Fee Paid:	1100-
Approved Date:	
Denied Date:	
By:	

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: 10th Street Ventures CUP	
Name of Owner of Record: 10th Street Ventures LLC	
Physical Address: 471 E 10th Street Suite B13	
Property Legal Description: TENTH ST LIGHT INDUST COMPLEX BLDG B UNIT 13	
Property Zoning District: LI-2	
Contact Phone: 208-726-0020	Contact Email: travis@williams-partners.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: Light Industrial work/live unit	
Description of Proposed and Existing Exterior Lighting:	The applicant is seeking approval for a conditional use permit to allow an existing work/live unit.
ADDITIONAL COMMENTS	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> Existing Site Plan Proposed Site Plan Landscape Plan Grading and Drainage Plan Exterior Lighting Plan and Specifications Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

DocuSigned by:
Chris Heinz
Applicant Signature AE64401...

11/5/2019 12/3/2019

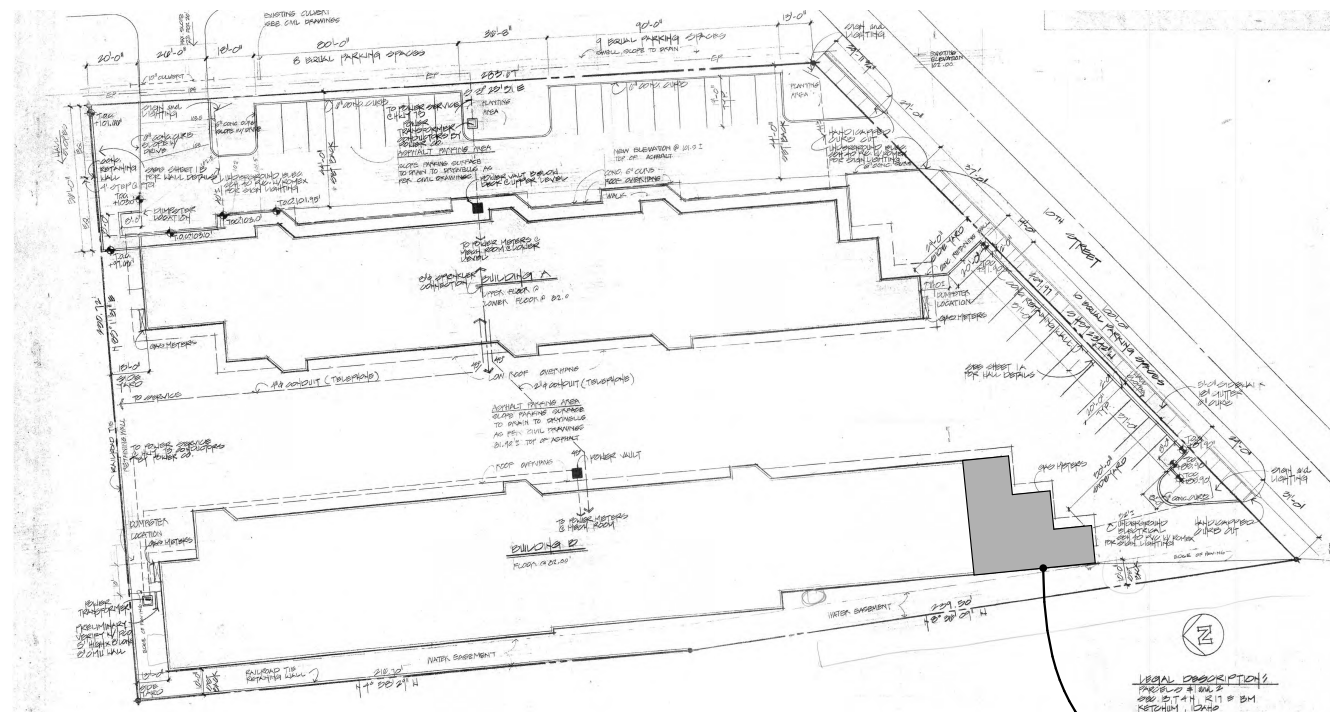
Date

B. As built floor plan

Client:
 10th Street Ventures LLC
 625 Liberty Ave., Suite 3200
 Pittsburgh, PA 15222

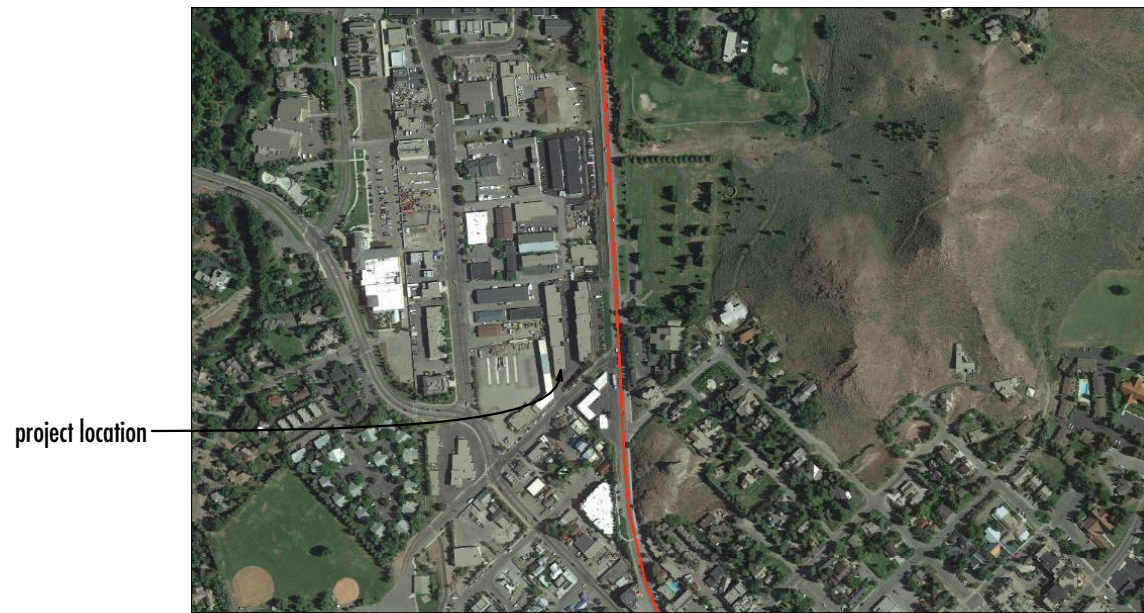
Architect:
 Williams | Partners Architects
 P.O. Box 4373
 Ketchum, ID 83340
 Ph. 208.726.0020
 Fax 208.726.0019

10TH ST. VENTURES LLC C.U.P.



Neighborhood Map
 Tenth St Light Industrial Complex, Ketchum, Idaho

project location



project location

Satellite View
 Tenth St Light Industrial Complex, Ketchum, Idaho



Drawing Index:

- A 0.0 COVER SHEET
- A1.1 SITE PLAN
- A 2.1 FLOOR PLANS
- A 2.2 GROSS SQ. FT. DIAGRAMS
- A 6.1 INTERIOR ELEVATIONS

AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

10th St. Ventures LLC

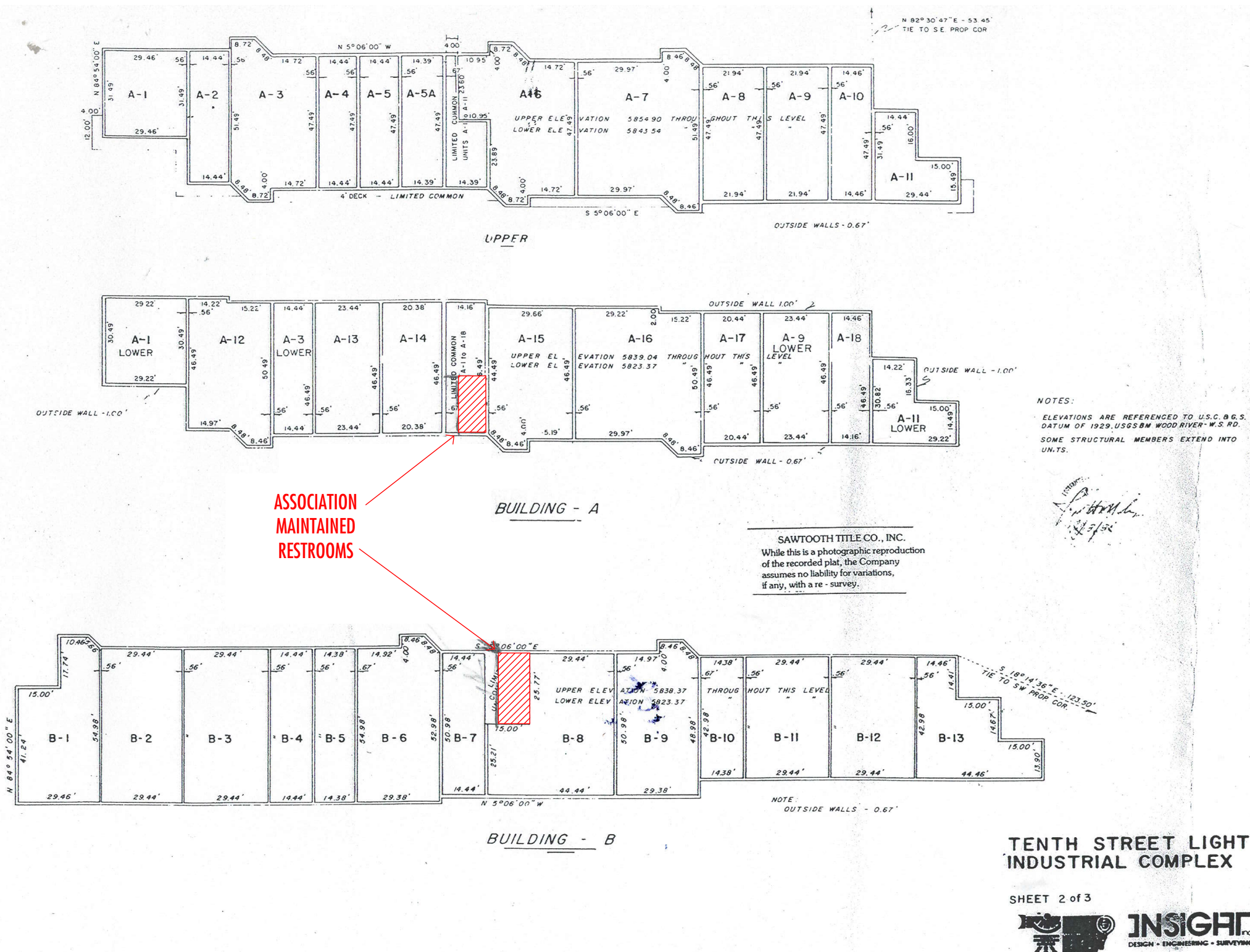
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
 ARCHITECTS



OWNERSHIP OF DOCUMENTS:
 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



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10th St. Ventures LLC

471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

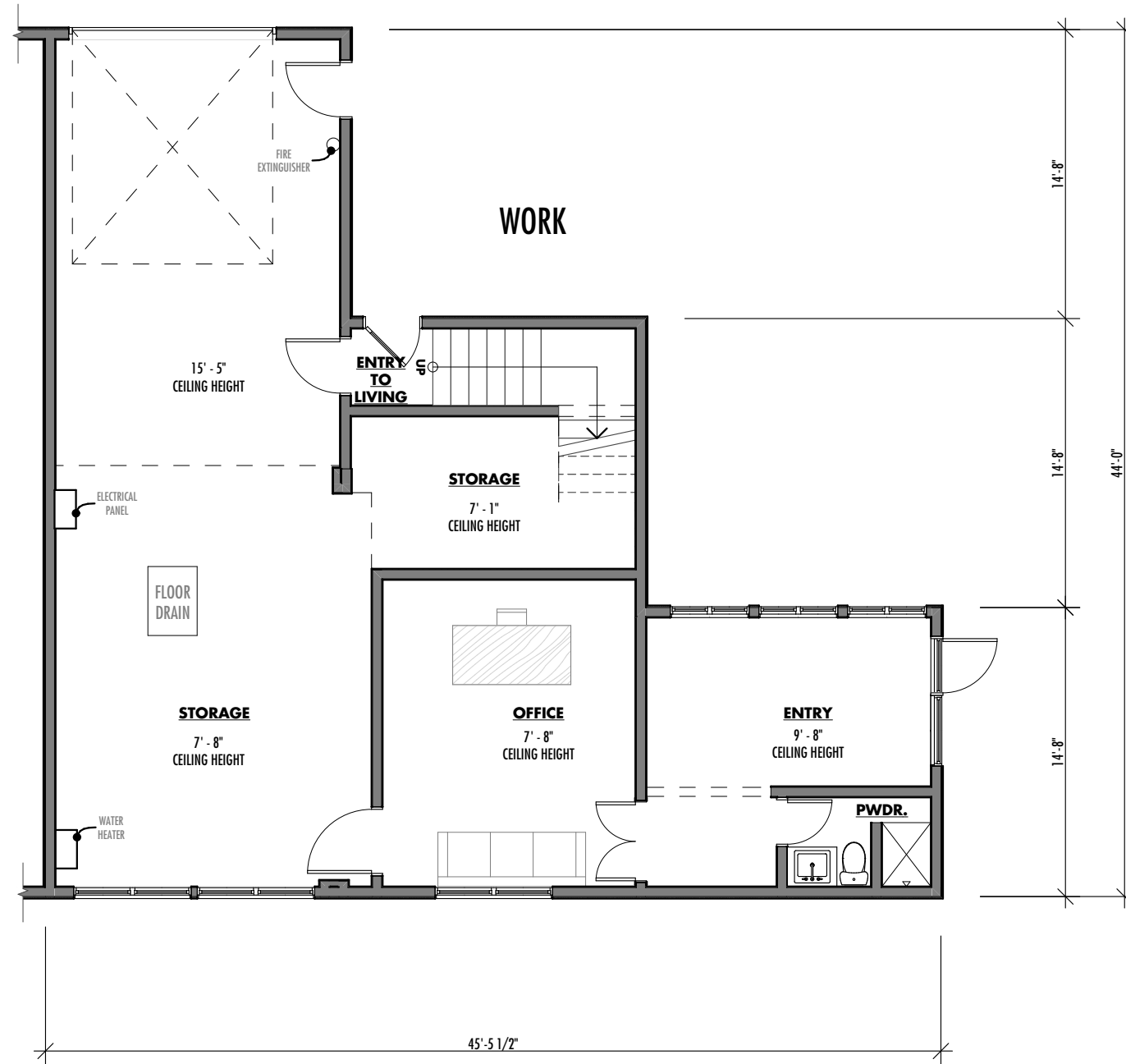
WILLIAMS | PARTNERS
ARCHITECTS

A1.1

SITE PLAN

NOT TO SCALE

1

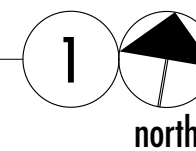


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

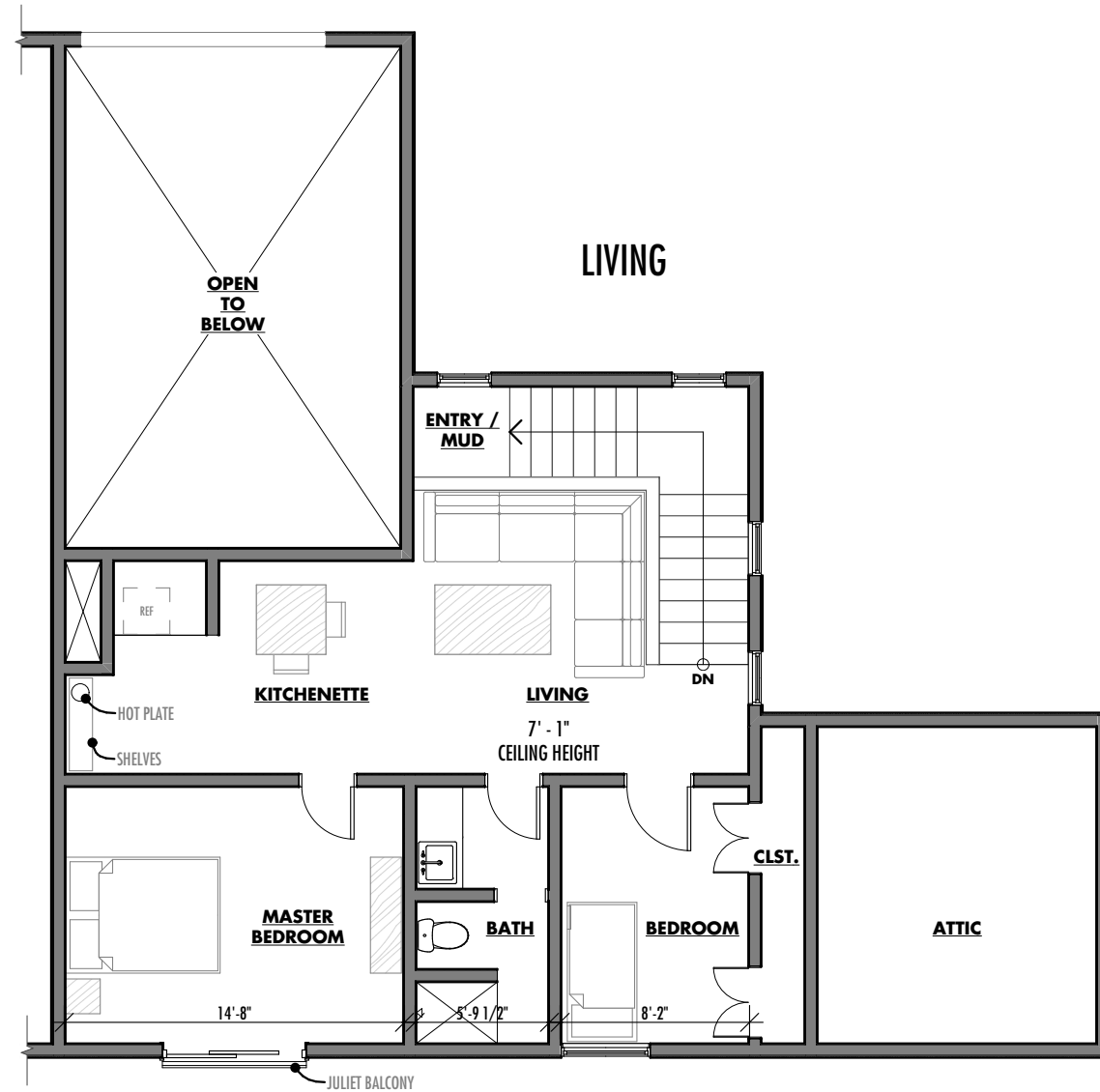
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.1

OWNERSHIP OF DOCUMENTS:
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

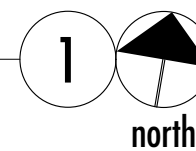


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

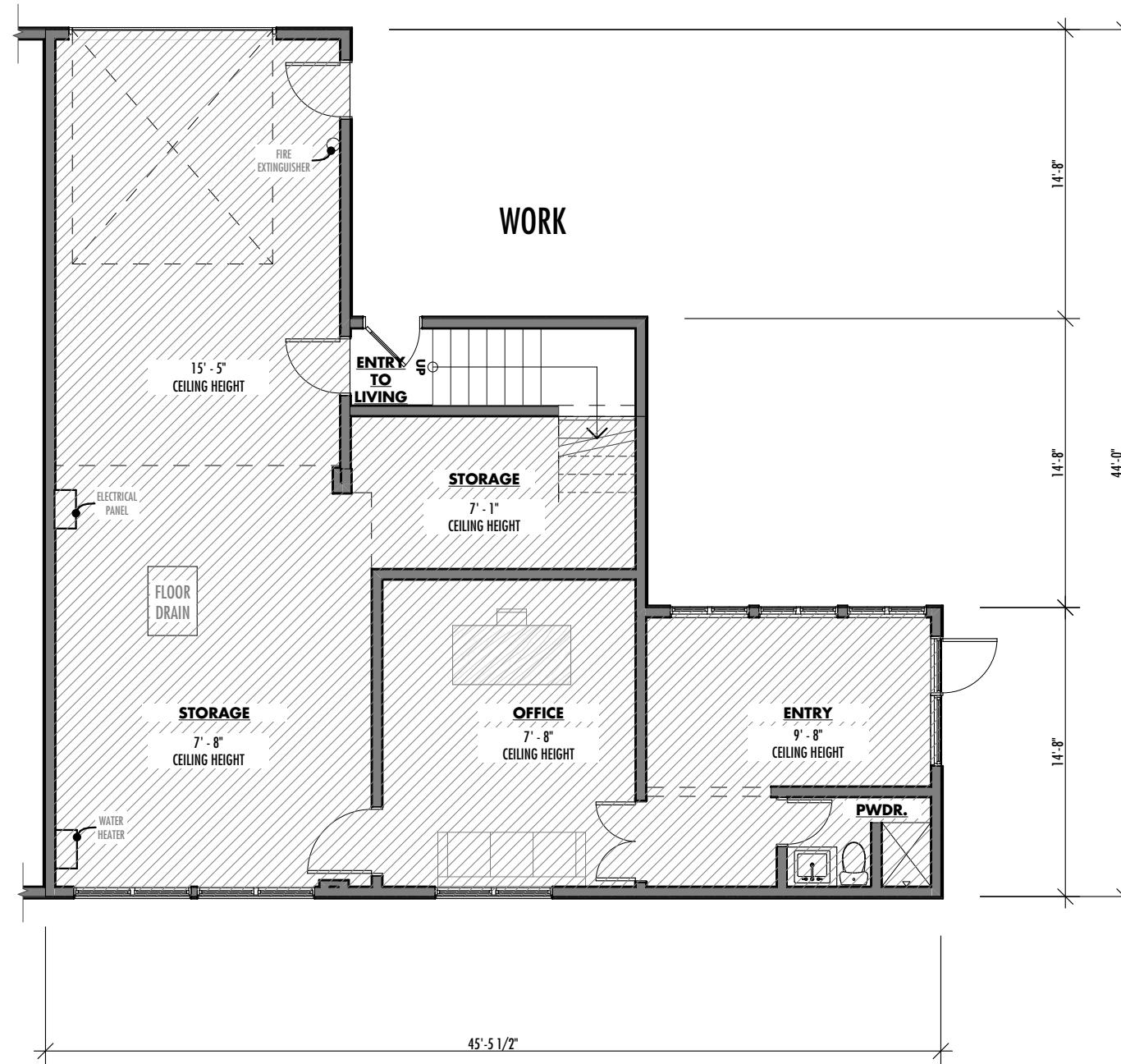
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.2

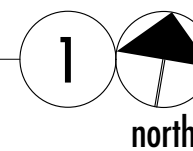
OWNERSHIP OF DOCUMENTS:
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

FIRST FLOOR
SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

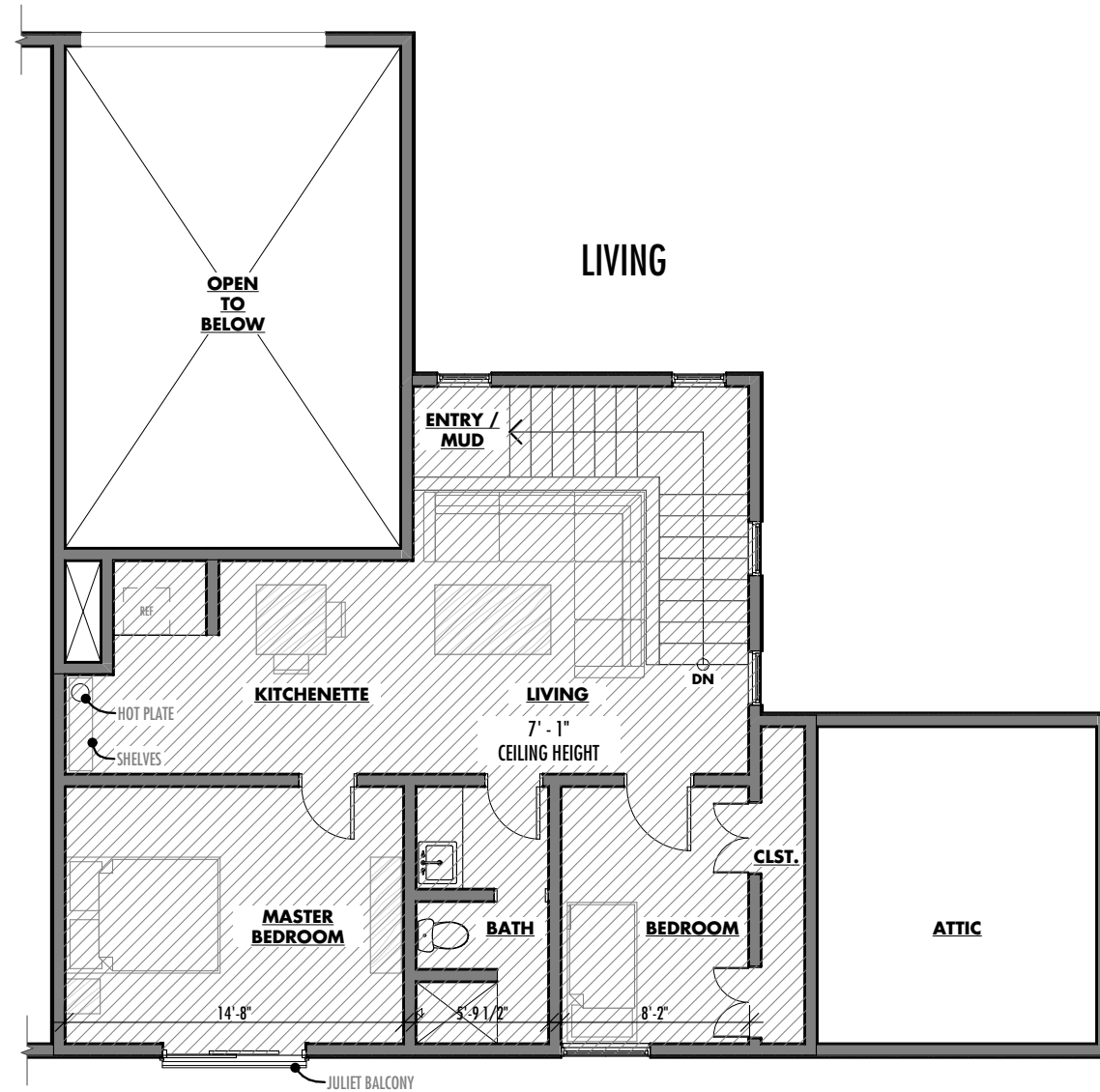
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DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.3

OWNERSHIP OF DOCUMENTS:
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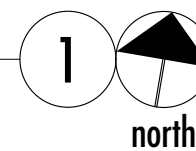


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

SECOND FLOOR

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

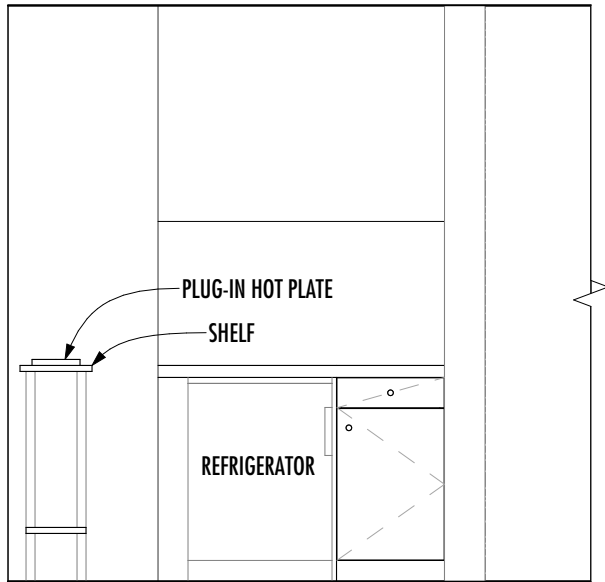
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.4

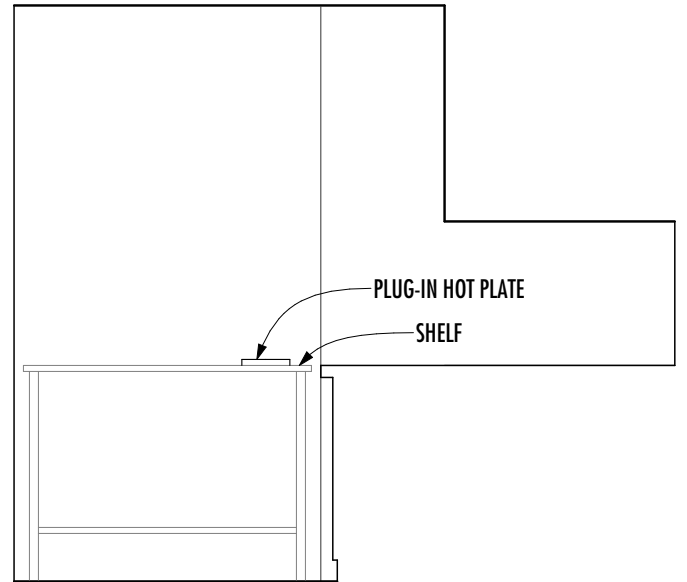
OWNERSHIP OF DOCUMENTS:
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KITCHENETTE FACING N

SCALE: 3/8" = 1'-0"

1



KITCHENETTE FACING W

SCALE: 3/8" = 1'-0"

2

10th St. Ventures LLC

471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 6.1

OWNERSHIP OF DOCUMENTS:
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

C. Dr. Sasha Heinz webpage



HELLO@DRSASHAHEINZ.COM



I work solely one on one with clients who are serious about their mental health.

A NOTE: “Mental health” is not about the absence of mental illness. It’s about thriving emotionally and psychologically, and achieving a sense of well-being that’s well beyond a baseline of zero, or just OK.

Clients who are ready to dig into this work include those who:

- Have checked the boxes of what “should” make them happy, and wonder why they still don’t feel fulfilled.
- Want to get off the treadmill of maintaining a picture-perfect, Instagram-ready life and stop chasing external sources for their happiness.
- Are determined to cultivate greater psychological flexibility and mental fitness, and to live a life that lines up with their values.

My focus is on emotional and behavioral change.

I use the evidence-based science of psychology and the action-oriented techniques of coaching to help you learn how to feel intrinsically good about yourself and about your life.

The change is fast and the results stick.

I work with a limited number of clients per month through application only.

Please apply below and I'll respond shortly.

START HERE

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TERMS AND CONDITIONS

PRIVACY POLICY

PRODUCTS & SERVICES

DISCLAIMER

CONTACT

TERMS AND CONDITIONS

PRIVACY POLICY

PRODUCTS & SERVICES

DISCLAIMER

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D. E-mail correspondence

From: Travis Killmer <travis@williams-partners.com>
Sent: Monday, January 27, 2020 2:01 PM
To: Brittany Skelton
Subject: FW: 10th Street CUP

Hello Brittany,

Please see the email below indicating the effective date when the proposed use began to take place in the 10th Street Light Industrial unit. Also in speaking with the transacting real estate agent the current user purchased the unit in August of 2018.

Thank you,

Travis Killmer AIA, ASSOC.
Project Manager
travis@williams-partners.com

Williams | Partners Architects, P.C.
P.O. Box 4373
Ketchum, Idaho 83340
PH: 208.726.0020
FX: 208.726.0019
www.williams-partners.com

From: Ned Burns <ned@nedburnsrealestate.com>
Sent: Monday, January 27, 2020 1:55 PM
To: Travis Killmer <travis@williams-partners.com>
Subject: FW: 10th Street

Travis,

Please pass this along to Brittany if necessary.

From: Alexandra Heinz <slheinz@mac.com>
Date: Monday, January 27, 2020 at 1:49 PM
To: Ned Burns <ned@nedburnsrealestate.com>
Subject: Re: 10th Street

Since Jan 2019

Sent from my iPhone

On Jan 27, 2020, at 1:47 PM, Ned Burns <ned@nedburnsrealestate.com> wrote:

Sasha,

139

The city of Ketchum is asking for a few dates in advance of the conditional use permit hearing. Roughly what date did you effectively 'open' your office in the 10th Street building? They know that you've been in operation since 2016 as indicated by the business license application, but when did you operate at that space?

Please reply when you're able.

Best,
Ned

E. Draft Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum
Planning & Building**

IN RE:)
)
 10th Street Ventures Work/Live) **KETCHUM PLANNING AND ZONING COMMISSION**
 Conditional Use Permit) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
 Date: February 10, 2020) **DECISION**
)
 File Number: P20-001)

PROJECT: 10th Street Ventures Work/Live Conditional Use Permit
FILE NUMBER: P20-001
OWNER: 10th Street Ventures LLC
APPLICANT: 10th Street Ventures LLC / Chris Heinz
REQUEST: Conditional Use Permit (CUP) for a work/live unit
LOCATION: 471 E. 10th Street Unit B17 (Tenth St Light Industrial Complex Bldg B Unit B13)
ZONING: Light Industrial District No. 2 (LI-2)
OVERLAY: None
NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.
ATTACHMENT: Floorplans

FINDINGS OF FACT

1. On February 10, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed work/live unit.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district. 38% of the work/live unit's square footage is devoted to residential use (781 of the 2,047 square feet).

There are 13 units in Building B of the Tenth Street Light Industrial Complex consisting of 24,279 square feet (per Blaine County Assessor records). There are three additional Conditional Use Permits for work/live in the complex, consisting of 2,162 square feet (P19-045, Good Medicine Pottery, P19-094, Cerutti and P19-134, Dean).

This work/live unit adds an additional 781 square feet of residential square footage for a total of 2,943 square feet or 12.1% of the 24,279 square foot building.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>The work/live unit represents a type of residential use envisioned by the Comprehensive Plan for the mixed-use industrial land use area.</p>
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
<p>The proposed use is work/live.</p>
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2: City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: A fire extinguisher and smoke detectors need to be installed if not currently present.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Exit signage could help with occupant safety.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3: Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor. <i>Staff Comments</i> The application is for a work/live unit with the living area located on the upper floor and work space located on the ground floor.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building. <i>Staff Comments</i> Design Review is not required as this application does not change the exterior of the building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit. <i>Staff Comments</i> 38% of the work/live unit's square footage is devoted to residential use (781 of the 2,047 square feet). There are 13 units in Building B of the Tenth Street Light Industrial Complex consisting of 24,279 square feet (per Blaine County Assessor records). There are three Conditional Use Permits for work/live in the complex, consisting of (P19-045, Good Medicine Pottery, P19-094, Cerutti and P19-134, Dean) 2,162 square feet. This work/live unit would add an additional 781 square feet of residential square footage for a total of 2,943 square feet or 12.1% of the 24,279 square foot building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published. <i>Staff Comments</i> This unit is eligible for individual ownership because it is a work/live unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation;

				<p>(3) Served by the prominent means of access for the work/live unit; and,</p> <p>(4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.</p> <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<p><i>Standards 17.124.090.A.5.a and c have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.1 and 3 have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as the applicant has applied for a City of Ketchum business license.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<p><i>This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<p><i>N/A</i></p>

145	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p> <p>Staff Comments</p> <p><i>The proposal is required two parking spaces for the residential unit (one per bedroom) and would be required five parking spaces for the instructional service use.</i></p> <p><i>However, as the 10th Street Light Industrial Complex is an existing building, and exterior parking is common area and not designated to a specific unit, staff finds the use compliant with parking standards per KMC 17.125.040.A.5:</i></p> <p><i>5. Nonconforming Due To Lack Of Parking And Loading: No lawfully existing building shall be deemed to be a nonconforming building solely because of lack of parking and loading spaces; provided, that space being used for off street parking or loading in connection with any such building at the effective date of this chapter shall not be further reduced in area or capacity.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <p>a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards;</p> <p>b. Separation of residential and light industrial parking on the site to minimize conflicts;</p> <p>c. Restrictions on exterior storage of personal property of tenants;</p> <p>d. Certificate of occupancy required prior to occupancy of units;</p> <p>e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;</p>

			<p>f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations;</p> <p>g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses;</p> <p>h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged;</p> <p>i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or,</p> <p>j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.</p>
		Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The work component of the work/live unit is instructional service and instructional service is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with the permitted use, and with the residential occupant being the owner of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p>
			Staff Comments	<i>The work/live use will not materially endanger the health, safety, and welfare of the community provided the fire and building officials’ conditions are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p>
			Staff Comments	<i>The work/live use will not materially endanger the health, safety, and welfare of the community provided the fire and building officials’ conditions are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p>
			Staff Comments	<i>The work/live use is not anticipated to generate a high volume of trips as the applicant indicates no clients are seen on the premises. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i>

147	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			Staff Comments	<i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission’s February 10th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a work/live unit on this 10th day of February 2020 subject to the following conditions 1 - 12:

1. Ketchum Fire Marshal Tom Ancona has confirmed there are no major outstanding fire code violations within the unit and indicates the only potential outstanding issues are the presence of a fire extinguisher and smoke detectors. The floor plans submitted by the applicant indicate a fire extinguisher has been installed on the ground floor. If smoke detectors are not present smoke detectors shall be installed by February 21, 2020, to be confirmed by a site inspection by city staff and with compliance noted by a memo to the application file.
2. An inspection by the Building Official shall occur by February 21, 2020 and shall confirm there are no outstanding building code concerns or violations within the unit. If building code violations are found to exist the violations shall be cured by March 31, 2020 as evidenced by a memo to the application file.
3. The Conditional Use Permit for this work/live unit is non-transferrable to another property or property owner and the validity of the permit is dependent upon Dr. Sasha Heinz LLC remaining in operation;
4. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2;
5. The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
6. No residential use shall occur on the ground level (first floor);

7. Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
8. Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
9. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
10. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
11. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
12. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

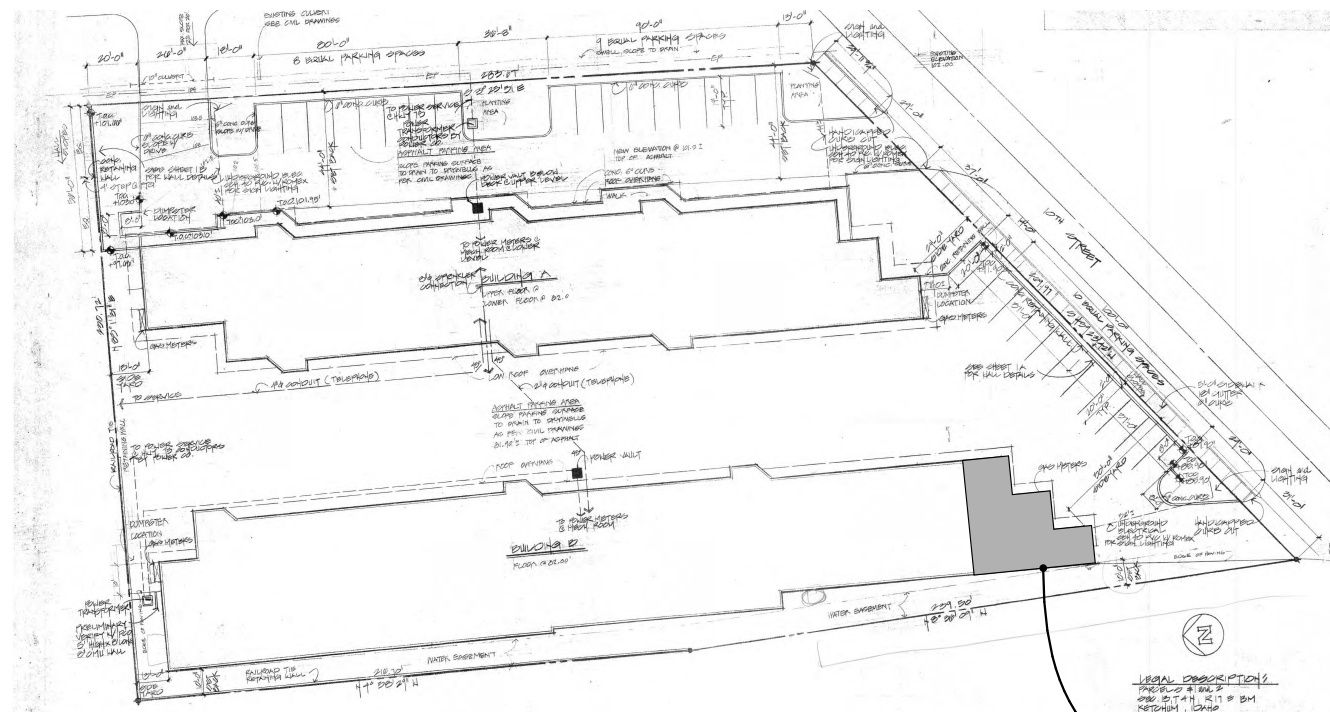
Findings of Fact **adopted** this 10th day of February, 2020.

Neil Morrow
Chair
Planning and Zoning Commission

Client:
 10th Street Ventures LLC
 625 Liberty Ave., Suite 3200
 Pittsburgh, PA 15222

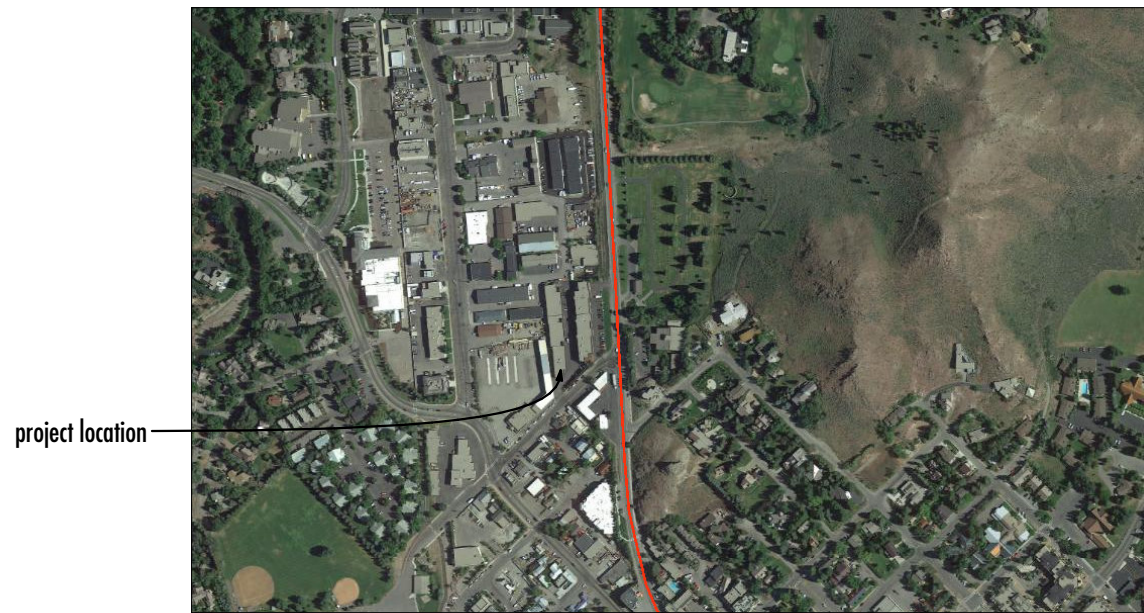
Architect:
 Williams | Partners Architects
 P.O. Box 4373
 Ketchum, ID 83340
 Ph. 208.726.0020
 Fax 208.726.0019

10TH ST. VENTURES LLC C.U.P.



Neighborhood Map
 Tenth St Light Industrial Complex, Ketchum, Idaho

project location



project location

Satellite View
 Tenth St Light Industrial Complex, Ketchum, Idaho



north

Drawing Index:

- A 0.0 COVER SHEET
- A1.1 SITE PLAN
- A 2.1 FLOOR PLANS
- A 2.2 GROSS SQ. FT. DIAGRAMS
- A 6.1 INTERIOR ELEVATIONS

AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

10th St. Ventures LLC

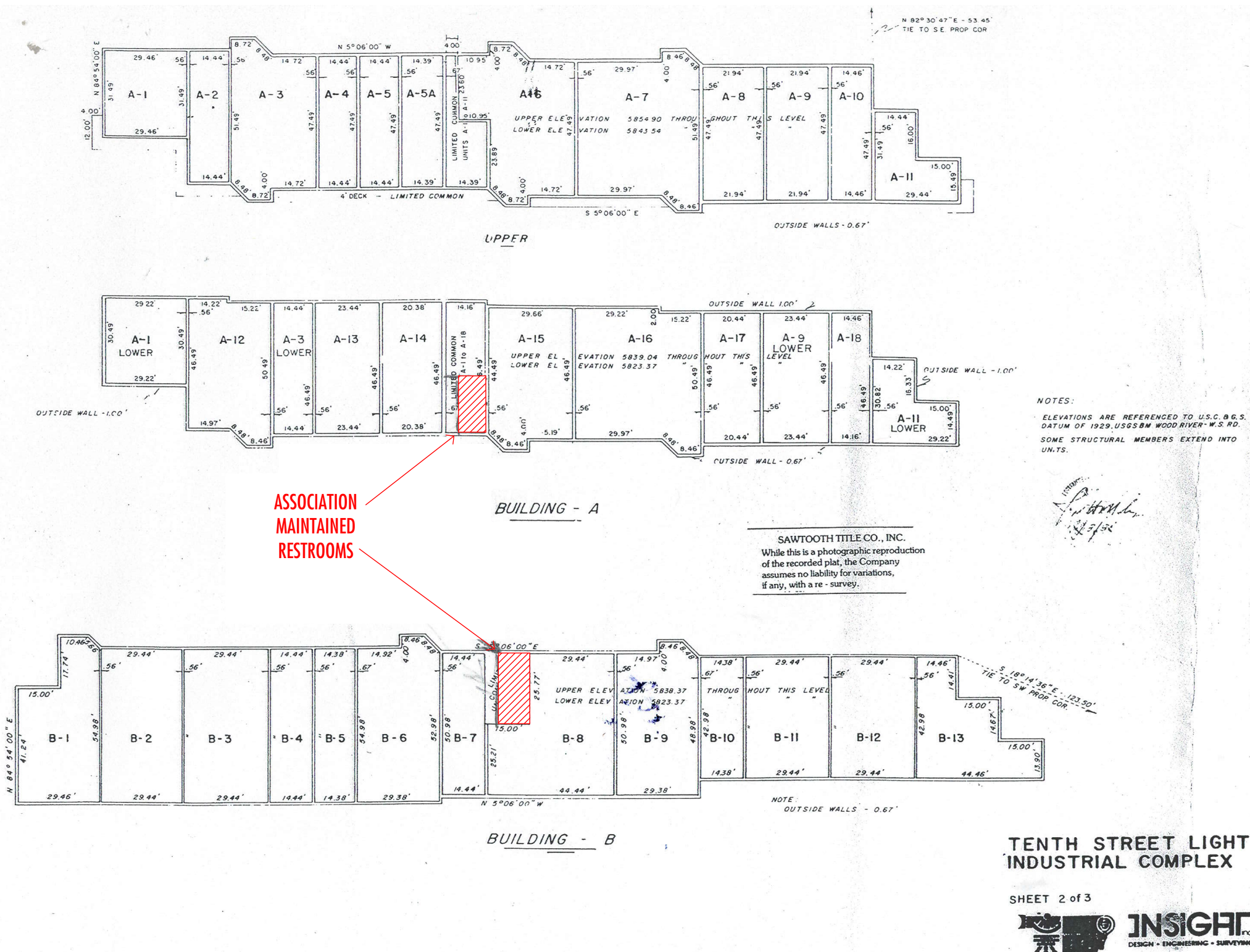
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
 ARCHITECTS

CS

OWNERSHIP OF DOCUMENTS:
 THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



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10th St. Ventures LLC

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DATE: 12/11/2019

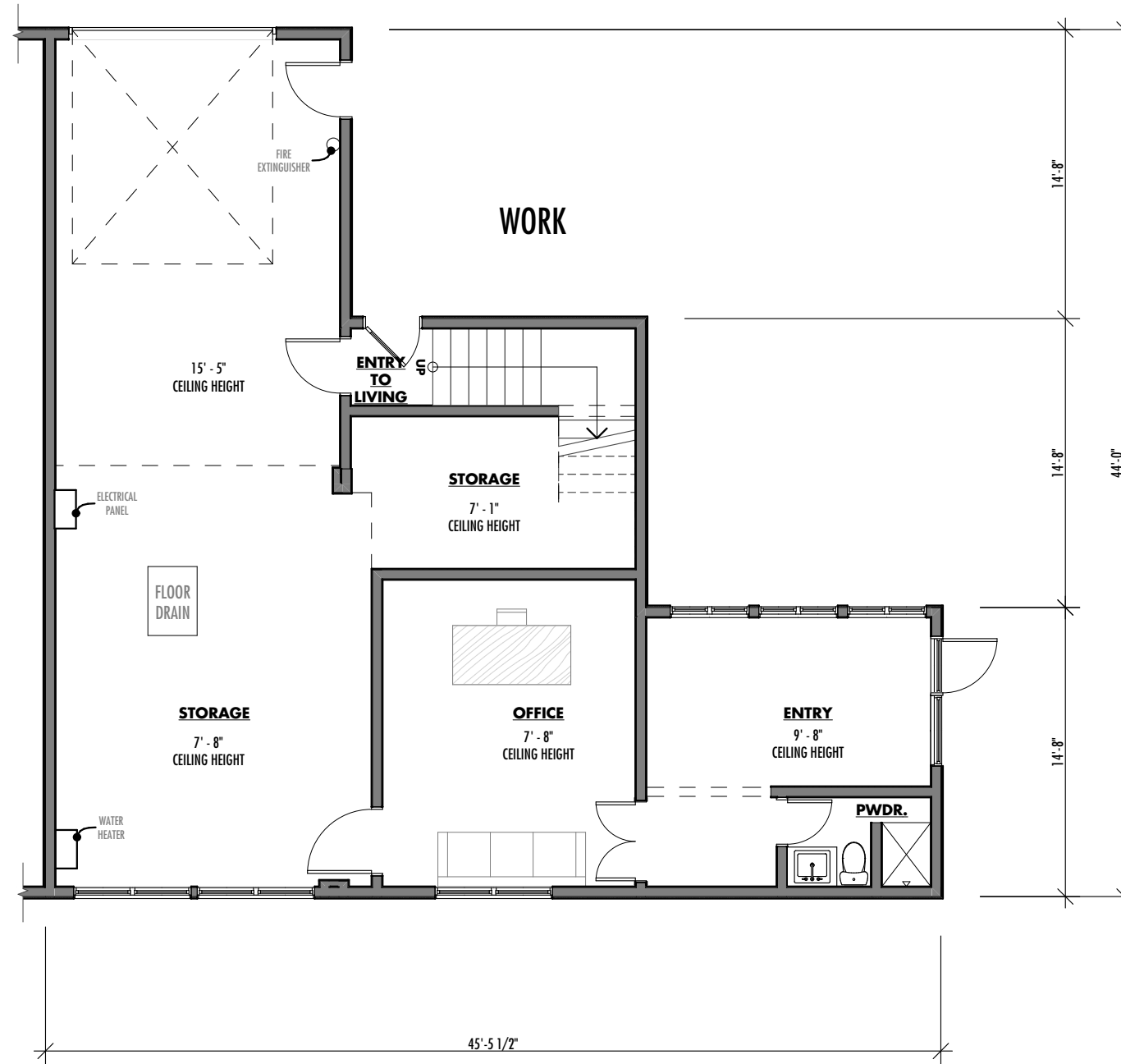
WILLIAMS | PARTNERS
ARCHITECTS

A1.1

SITE PLAN

NOT TO SCALE

1

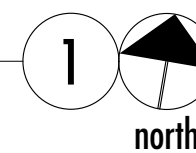


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

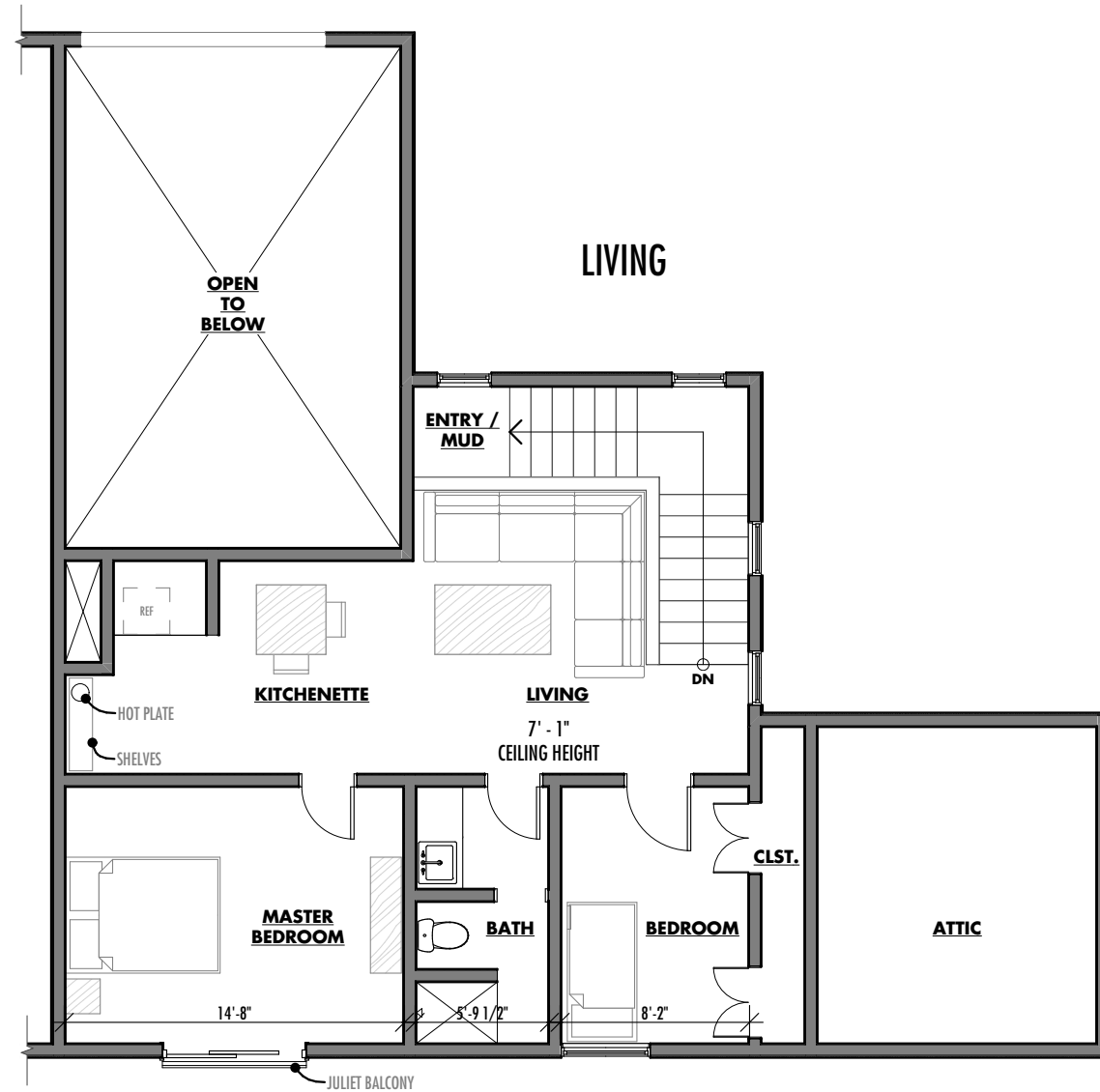
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WILLIAMS PARTNERS
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A 2.1

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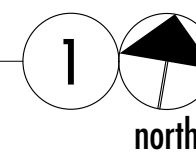


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

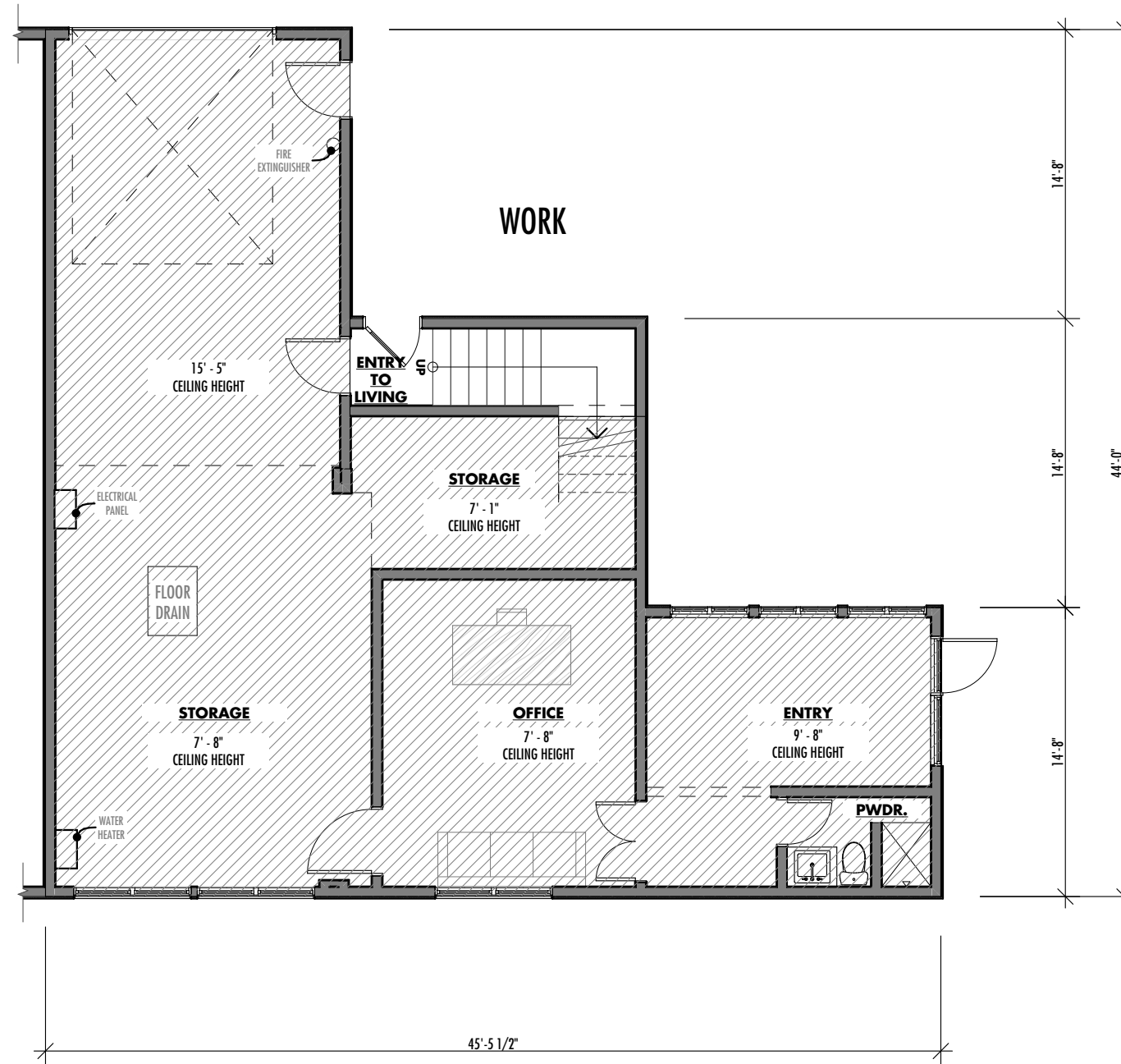
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.2

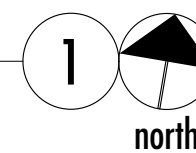
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AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

FIRST FLOOR
SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

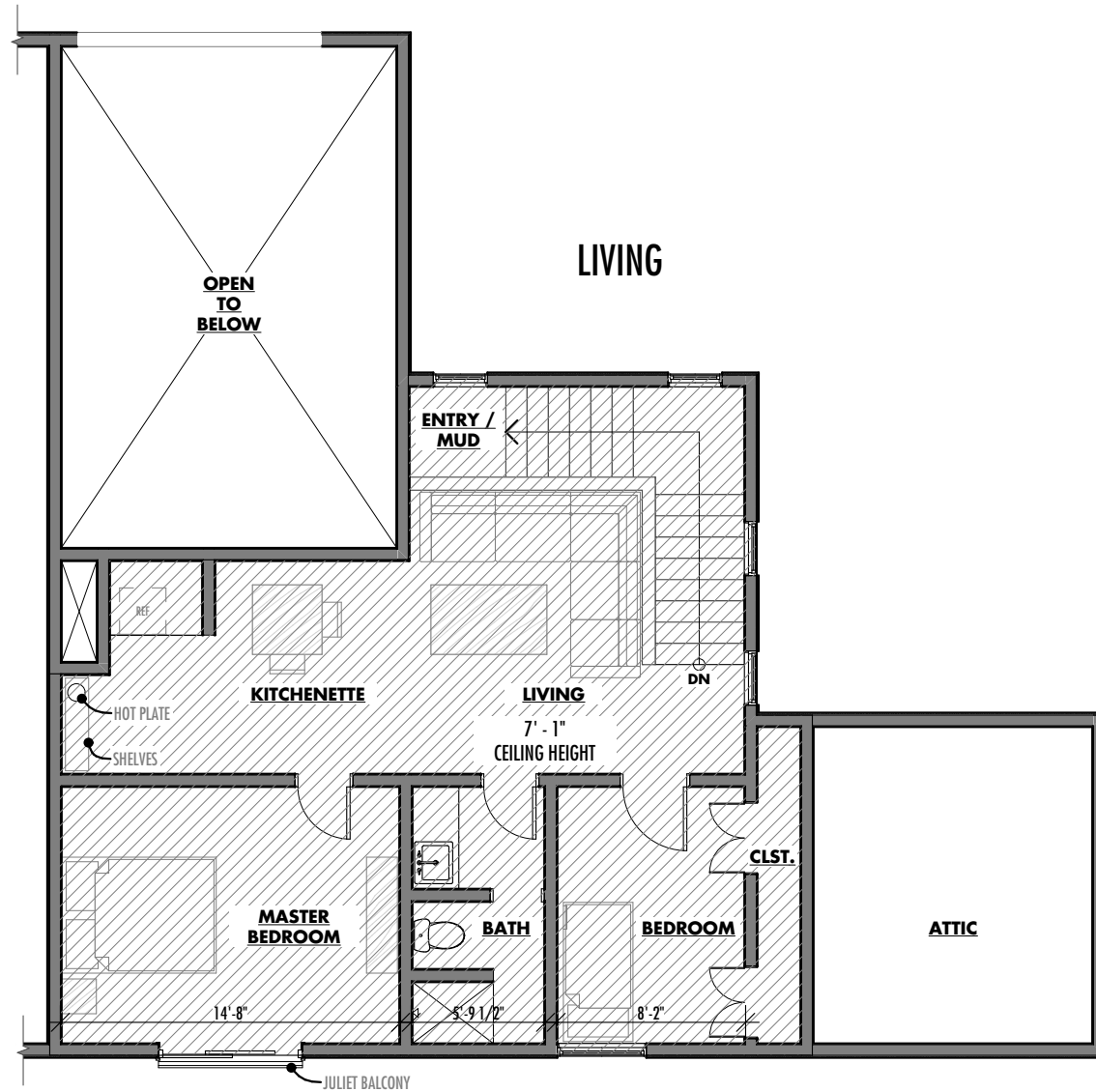
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DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.3

OWNERSHIP OF DOCUMENTS:
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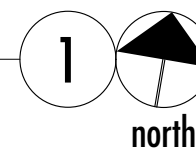


AREA CALCULATIONS

LIVE	781.31 S.F.
WORK	1,265.64 S.F.
TOTAL:	2,045.95 S.F.

SECOND FLOOR

SCALE: 1/8" = 1'-0"



10th St. Ventures LLC

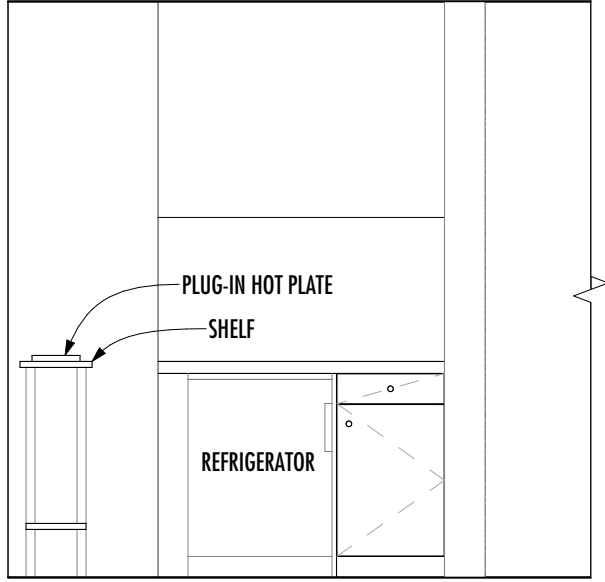
471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 2.4

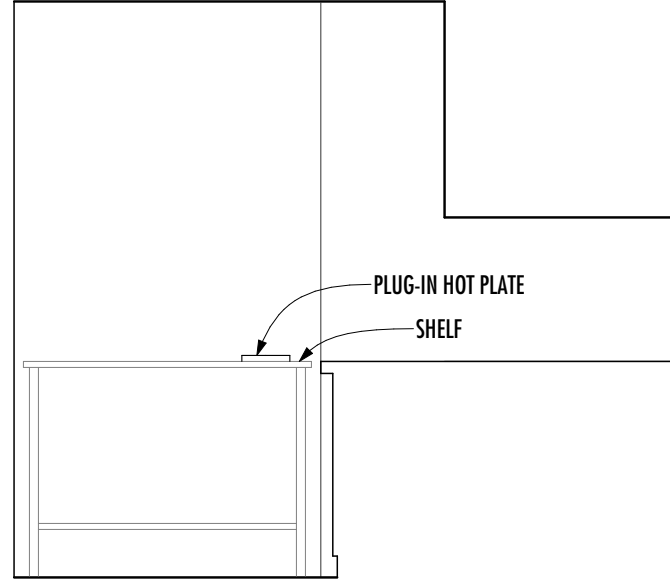
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KITCHENETTE FACING N

SCALE: 3/8" = 1'-0"

1



KITCHENETTE FACING W

SCALE: 3/8" = 1'-0"

2

10th St. Ventures LLC

471 E 10th St., Suite B13, Ketchum, ID 83340

DATE: 12/11/2019

WILLIAMS PARTNERS
ARCHITECTS

A 6.1

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City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: 210 Lewis Street Residential Conditional Use Permit

FILE NUMBER: P20-010

OWNER: Loomis Inc.

APPLICANT: Loomis Inc. / Amy Anderson

REPRESENTATIVE: Amy Anderson

REQUEST: Conditional Use Permit (CUP) for one (1) residential apartment

LOCATION: 210 Lewis Street (Lot 1, Industrial Park Subdivision)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI-48' Height

NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. Applicant's narrative
- C. Floorplan and property information from the Blaine County Assessor
- D. As-built floorplans
- E. Exterior lighting fixture photos
- F. Draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

The building on the subject property was constructed in 1975, is a two-story building, contains exclusively commercial uses on the ground floor and contains a mix of commercial and residential use on the second story.

The 2019 life safety site inspections in the Light Industrial zone revealed the existing residential apartment on the second floor. A review of city records found no existing Conditional Use Permit for the residential apartment and the purpose of this application is to consider approval of the apartment.

In addition to the residential use the building’s tenants are Blueprinting and Pipe Co., both of which are permitted uses in the LI-2 zoning district.

The subject building is 4,014 square feet and the total residential square footage is 566 square feet, which equates to 14% of the building being used for residential use. The apartment complies with all zoning standards.

There are currently no outstanding fire or building code compliance issues identified within the unit.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p>		
<p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p>		
<p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p>		
<p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>		
<p>The majority of square footage in the building is used for construction/development related businesses. The apartment is integrated into the building and fit the secondary purpose of the Mixed-Use Industrial land use.</p>		
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>		
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>		

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: No outstanding issues identified.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department:

158			N/A. This is an existing building that is not being substantially improved.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: N/A. This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: No outstanding issues identified.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for one upper floor apartment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The subject building is 4,014 square feet and the total residential square footage is 566 square feet, which equates to 14% of the building being used for residential use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>The building is not condominimized, the residential unit is not separate units for sale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation;

				<p>(3) Served by the prominent means of access for the work/live unit; and,</p> <p>(4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.</p> <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<i>N/A, this is not a work/live proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>The residential unit is 566 square feet and contains one bedroom.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light</p>

				<p>industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>This standard has been met. There are +/- 30 parking spaces shared between the subject property and the adjacent property, 100 Bell Drive, that is held under the same ownership.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements

EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code

A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:

Compliance and Analysis

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone” (KMC §17.18.150)</i></p> <p><i>The apartment considered by this application is subordinate in size to the commercial uses and its second-floor location mitigates interference with the commercial uses and further. Additionally, the apartment use is representative of the secondary purpose of the LI-2 zoning district: residential units that are secondary and subordinate to primary uses.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>There are no outstanding life safety code violations identified within the unit. Therefore, the building is safe to occupy.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>The one-bedroom apartment’s occupant and guests unit generates vehicle/pedestrian traffic</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>The existing building is adequately served by public facilities and services. The residential use will not adversely affect the delivery of public services to the surrounding area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p><i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i></p>

The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the residential use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (KMC §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;

- C. Controlling the duration of development;
- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

Additionally, KMC §17.124.090 pertaining to residential standards in light industrial districts states that the following conditions may be attached to the Conditional Use Permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of Occupancy required prior to occupancy of units;
- E. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long-term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

STAFF RECOMMENDATION

Staff recommends approval of the Conditional Use permit application for one (1) apartment with conditions.

RECOMMENDED MOTION

"I MOVE to approve Loomis Inc.'s Conditional Use Permit for a second-story apartment with conditions 1-8 and to approve the Commission Chair to sign the draft Findings of Fact, Conclusions of Law, and Decision."

RECOMMENDED CONDITIONS

- 1.** The residential apartment shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 2.** No residential use shall occur on the ground level (first floor);
- 3.** Because of the mixed-use nature of the building, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the apartment concurrent with the routine inspections of the commercial spaces;
- 4.** Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 5.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 6.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.

- 7.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 8.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

ATTACHMENTS

- A. Application
- B. Applicant's narrative
- C. Floorplan and property information from the Blaine County Assessor
- D. As-built floorplans
- E. Exterior lighting fixture photos
- F. Draft Findings of Fact, Conclusions of Law, and Decision

A. Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
Permit Number	
Date Permitted	
By	
Permit Paid	
Approved Date	
Issued By	
By	

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: 210 Lewis St.	
Name of Owner of Record: Loomis Inc.	
Physical Address: 210 Lewis St. Ketchum ID 83340	
Property Legal Description: Industrial Park Sub Lot 1	
Property Zoning District: LI -2 Parcel # RPK04750000010	
Contact Phone: Amy Anderson 208-720-1255	Contact Email: loomisinc@yahoo.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: LI Residential	
Description of Proposed and Existing Exterior Lighting:	Existing buildings exterior lighting- See Attached
ADDITIONAL COMMENTS	
See Attached	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> • Existing Site Plan • Proposed Site Plan • Landscape Plan • Grading and Drainage Plan • Exterior Lighting Plan and Specifications • Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortious conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.


 Applicant Signature _____ Date 1/26/20

B. Applicant's narrative



210 Lewis St.

Built in 1975

Overall Building square footage: 4,014 sq ft

Existing living square footage: 566 sq ft

allowable living square footage: 2007 sq ft

Applying for: One Conditional Use Permit for one residence

General information: The existing building was constructed in 1975 and has been various construction related businesses on the ground floor. The second floor has been a mix of both residential and commercial over the year. The 2nd floor once contained 2 residences but only one today. Currently Pipe Co. (an irrigation supply company) occupies the 1st floor and on the second floor there is a residence on the north end and Blueprinting (a large format printing service) on the south end of the building. All renters are long time tenants renting for 15+ years.

North Unit G:

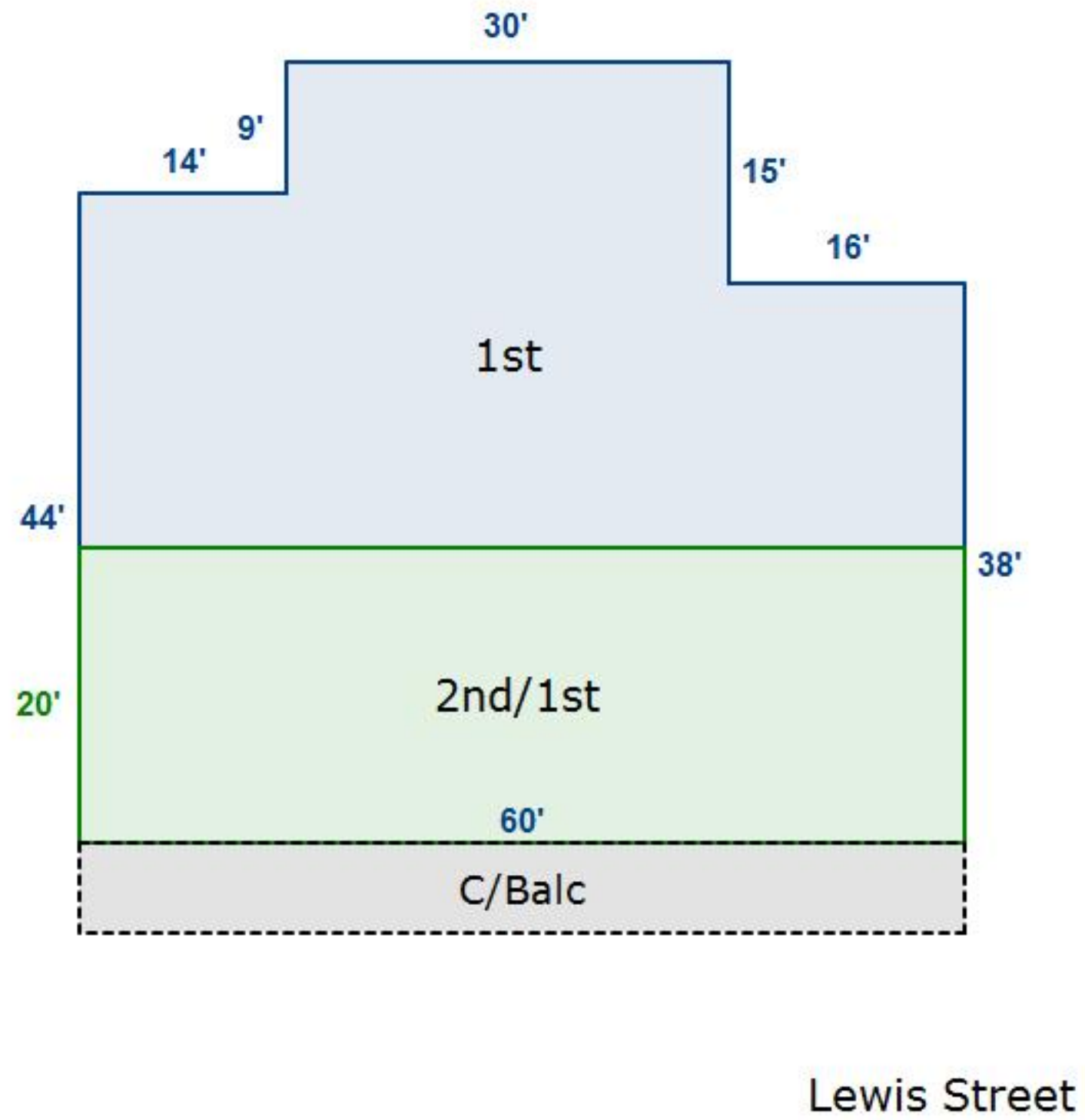
Residential

2nd Floor Living: 566 sq ft

This unit is currently occupied by a tenant who has lived here for over 15 years. There is a living room, Kitchenette, bathroom and a bedroom. There is a smoke detector on both the inside and outside of the bedroom door that are connected and meet the fire code. The bedroom has a door to the living room as well as one that exits onto an outside deck.

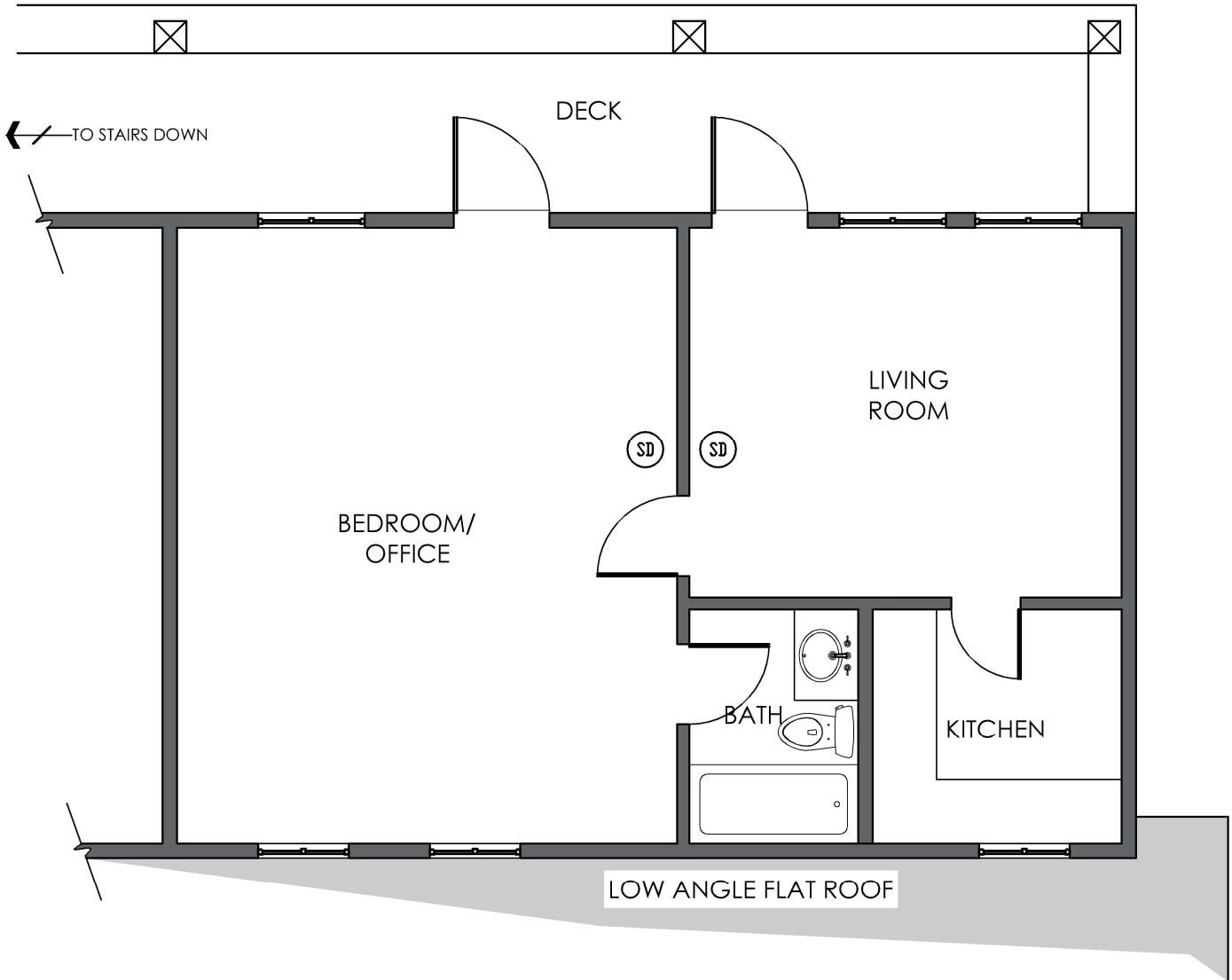
C. Floorplan and property information from the Blaine County Assessor

Parcel Number	RPK04750000010
Owner	LOOMIS INC
Address	210 LEWIS ST
Legal Description	INDUSTRIAL PARK SUB LOT 1 22,100SF
Mailing Address	BOX 852 KETCHUM ID 83340-0000
Acres	0.507
Land Value	\$746,200
Farm Value	\$0
Commercial Value	\$116,430
Residential Value	\$0
Manufactured Value	\$0
Personal Property Value	\$0
Market Value	\$862,630
Home Owner Exemption	\$0
Taxable Value (2019)	\$862,630
Sketch	View Sketch



D. As-built floorplans

210 LEWIS ST.
UNIT "G"
(566 SQ FT)



E. Exterior lighting fixture photos

210 Lewis St. Existing Lighting



SOFFIT



WALL SCONCE

F. Draft Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum
Planning & Building**

IN RE:)	
)	
210 Lewis Street Residential Use)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: February 10, 2020)	DECISION
)	
File Number: P20-010)	

PROJECT: 210 Lewis Street Residential Conditional Use Permit

FILE NUMBER: P20-010

OWNER: Loomis Inc.

APPLICANT: Loomis Inc. / Amy Anderson

REPRESENTATIVE: Amy Anderson

REQUEST: Conditional Use Permit (CUP) for one (1) residential apartment

LOCATION: 210 Lewis Street (Lot 1, Industrial Park Subdivision)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI-48' Height

NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.

ATTACHMENT: Floorplan

FINDINGS OF FACT

1. On February 10, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed residential unit.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district.
4. The residential unit consists of 566 square feet of residential dwelling use on the upper floor, which equates to 14% of the square footage of the 4,014 square foot building.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>The majority of square footage in the building is used for construction/development related businesses, including the work space of the work/live unit, and these uses fit the primary purpose of the Mixed-Use Industrial land use. The two apartments are integrated into the building and fit the secondary purpose of the Mixed-Use Industrial land use.</p>
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
<p>One of the two dwelling units proposed with this permit is a work/live unit.</p>
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2: City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: No outstanding issues identified.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: N/A. This is an existing building that is not being substantially improved.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: N/A. This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: No outstanding issues identified.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3: Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
			17.124.090 A (1)	Dwelling units shall not occupy the ground floor.

178	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>The application is for one upper floor apartment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The subject building is 4,014 square feet and the total residential square footage is 566 square feet, which equates to 14% of the building being used for residential use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>The building is not condominimized, the residential unit is not separate units for sale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to: <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and

				(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			<i>Staff Comments</i>	<i>N/A, this is not a work/live proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.
			<i>Staff Comments</i>	<i>The residential unit is 566 square feet and contains one bedroom.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria: a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines; b. The area designated as light industrial shall be as follows: (1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings. (2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings. (3) Subject light industrial use shall not be for personal storage by dwelling occupants; c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	8. Anti-Nuisance And Notice Provisions: a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use. b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities. c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.

				d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.
			Staff Comments	<i>This standard has been met. There are +/- 30 parking spaces shared between the subject property and the adjacent property, 100 Bell Drive, that is held under the same ownership.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval: <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Staff Comments	<i>The purpose of the LI-2 Zone is "established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide</i>

181				<p><i>multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone” (KMC §17.18.150)</i></p> <p><i>The apartment considered by this application is subordinate in size to the commercial uses and its second-floor location mitigates interference with the commercial uses and further. Additionally, the apartment use is representative of the secondary purpose of the LI-2 zoning district: residential units that are secondary and subordinate to primary uses.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>Staff Comments</i> <i>There are no outstanding life safety code violations identified within the unit. Therefore, the building is safe to occupy.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>Staff Comments</i> <i>The one-bedroom apartment’s occupant and guests unit generates vehicle/pedestrian traffic</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>Staff Comments</i> <i>The existing building is adequately served by public facilities and services. The residential use will not adversely affect the delivery of public services to the surrounding area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p><i>Staff Comments</i> <i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i></p>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission’s February 10th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

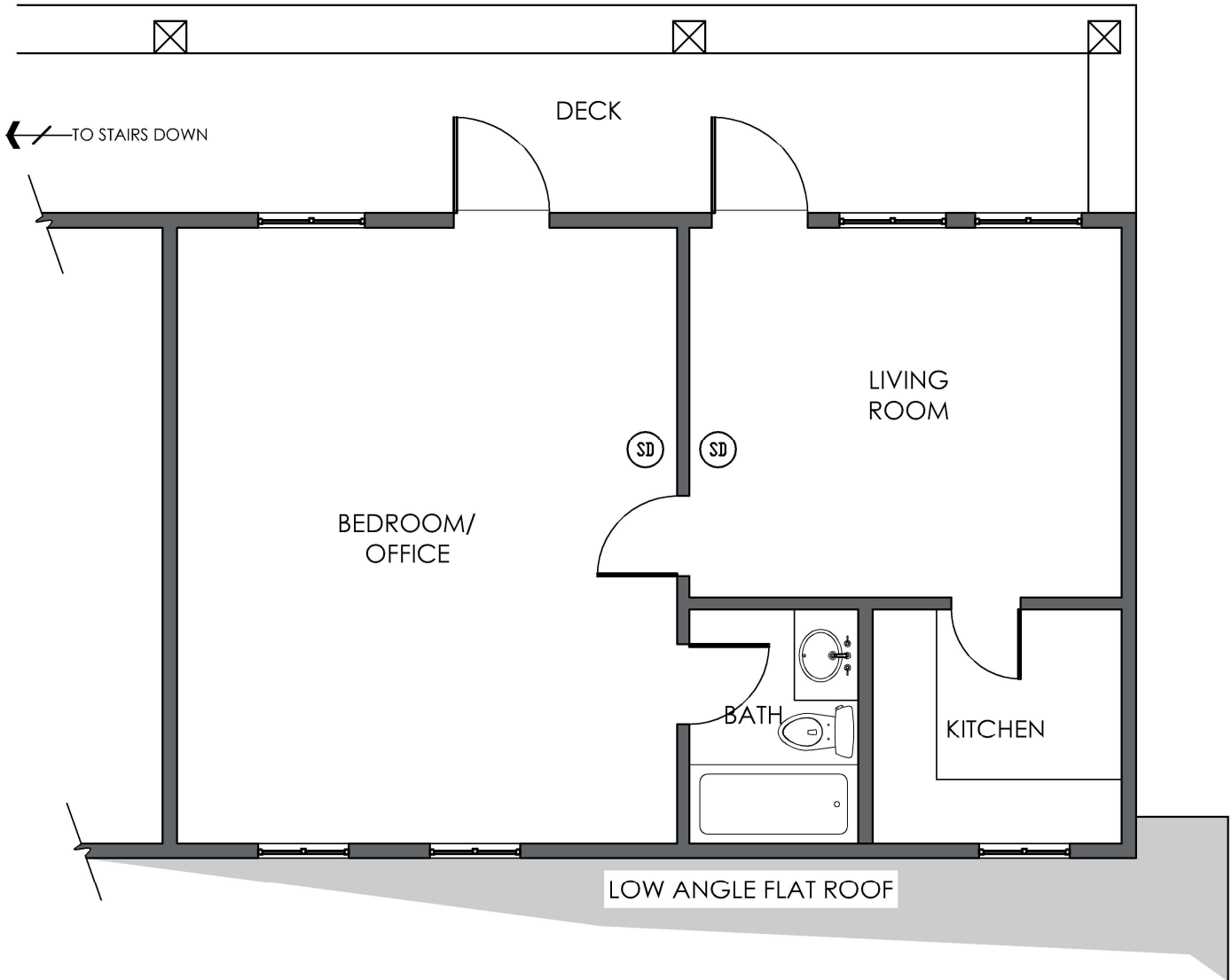
THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a residential apartment on this 10th day of February 2020 subject to the following conditions 1 - 8:

- 1.** The residential apartment shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 2.** No residential use shall occur on the ground level (first floor);
- 3.** Because of the mixed-use nature of the building, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the apartment concurrent with the routine inspections of the commercial spaces;
- 4.** Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 5.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 6.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 7.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 8.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

Findings of Fact **adopted** this 10th day of February, 2020.

Neil Morrow
 Chair
 Planning and Zoning Commission

210 LEWIS ST.
UNIT "G"
(566 SQ FT)





City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: 100 Bell Drive Residential Use Conditional Use Permit

FILE NUMBER: P20-011

OWNER: Loomis Inc.

APPLICANT: Loomis Inc. / Amy Anderson

REPRESENTATIVE: Amy Anderson

REQUEST: Conditional Use Permit (CUP) for a work/live unit and one (1) residential apartment

LOCATION: 100 Bell Drive (Lot 2, Industrial Park Subdivision)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI-48' Height

NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. Applicant's narrative
- C. Floorplan and property information from the Blaine County Assessor
- D. As-built floorplans
- E. Exterior lighting fixture photos
- F. Draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

The building on the subject property was constructed in 1975 and in 1977 a Conditional Use Permit for one (1) residential apartment (unit E) was approved for an upper floor site manager’s unit. The unit has remained occupied by tenants since that time.

The 2019 life safety site inspections in the Light Industrial zone revealed an additional two residential units within the subject building: an additional upper floor apartment (unit F) and a work/live unit (unit A) that contained living on the upper floor and work space on the ground floor.

The purpose of this application is to review the work/live unit (unit A) and the previously unpermitted apartment (unit F).

In addition to the residential uses the building located at 100 Bell Drive contains several office suites that are occupied with valid light industrial uses: Benchmark Associates, Tormey Construction, and Northwest Institute of Energy Medicine (approved via CUP in 2018).

Two businesses operate from the work/live unit, both of which are run by the property owner and occupant of the unit, Amy Anderson. The two businesses are A Design, an architectural drafting business, and Loomis Inc., the company that owns and manages the subject property and the adjacent property 210 Lewis Street. Both businesses are registered with the Idaho Secretary of State and business license paperwork with the City of Ketchum has been filed.

The subject building is 6,840 square feet and the total residential square footage is 1,399 square feet, which equates to 20% of the building being used for residential use. Both of the apartments and the work/live unit comply with the size requirements for residential units in the LI-2 zoning district.

There are currently no outstanding fire or building code compliance issues identified within the unit.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p> <p>The majority of square footage in the building is used for construction/development related businesses, including the work space of the work/live unit, and these uses fit the primary purpose of the Mixed-Use Industrial land use. The two apartments are integrated into the building and fit the secondary purpose of the Mixed-Use Industrial land use.</p>
--

Policy E-2(e) Live-Work Opportunities and Home Businesses

Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.

One of the two dwelling units proposed with this permit is a work/live unit.

Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas

Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.

The proposal integrates housing into the light industrial area in a mixed-use building.

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and <i>City Department Comments</i>
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: No outstanding issues identified.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: N/A. This is an existing building that is not being substantially improved.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: N/A. This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: No outstanding issues identified.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for a one additional upper floor apartment and one work/live unit with the has living area on the upper floor and work space located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The total residential square footage in the building (apartment approved in 1977 and the work/live unit and additional apartment proposed by this application) equates to 20% of the building's square footage.</i> <i>The work/live unit is 917 square feet with the 263 square feet, or 29% of the unit's square footage, devoted to residential use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and

			<p>may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			<p>Staff Comments <i>The building is not condominimized, the residential units are not separate units for sale.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.124.090 A (5)</p> <p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to: <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			<p>Staff Comments <i>Standards 17.124.090.A.5.a and c have been met. Standards 17.124.090.A.5.b.1 and 3 have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as both businesses have applied for City of Ketchum business licenses.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.124.090 A (6)</p> <p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two</p>

				(2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.
			Staff Comments	<i>The two residential dwelling units are 570 and 566 square feet respectively. The work/live unit is 917 square feet total.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>

189	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>This standard has been met. There are +/- 30 parking spaces shared between the subject property and the adjacent property, 210 Lewis Street, that is held under the same ownership.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p>
			Staff Comments	<p><i>The purpose of the LI-2 Zone is "established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone" (KMC §17.18.150)</i></p>

				<p><i>The work component of the work/live unit is comprised of two businesses that support the development/construction industry and are categorized as “office, contractor-related business”. Office, contractor-related business is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with this permitted use, and with the proposed resident of the work/live unit being an owner/operator of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p> <p><i>Additionally, the apartment proposed by this application is subordinate in size to the commercial uses and its second-floor location mitigates interference with the commercial uses and further.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>Staff Comments</i> There are no outstanding life safety code violations identified within the unit. Therefore, the building is safe to occupy and will not materially endanger the health, safety, and welfare of the community.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>Staff Comments</i> The work/live unit and additional apartment are small in scale (less than 1,000 square feet of residential use) and do not generate a high volume of trips. Additionally, the primary business that operates from the work/live unit, A Design, interacts with only one client (or group of clients) on site at a given time. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>Staff Comments</i> The existing building is adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p><i>Staff Comments</i> As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</p>

The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the residential use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (KMC §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;
- C. Controlling the duration of development;
- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

Additionally, KMC §17.124.090 pertaining to residential standards in light industrial districts states that the following conditions may be attached to the Conditional Use Permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of Occupancy required prior to occupancy of units;
- E. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long-term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

STAFF RECOMMENDATION

Staff recommends approval of the work/live application with conditions.

RECOMMENDED MOTION

"I MOVE to approve Loomis Inc.'s Conditional Use Permit for a work/live unit and apartment unit F with conditions 1-11 and to approve the Commission Chair to sign the draft Findings of Fact, Conclusions of Law, and Decision."

RECOMMENDED CONDITIONS

- 1.** The non-compliant exterior lighting fixture indicated in Exhibit E shall be replaced with a complaint fixture by April 1, 2020 as evidenced by a site inspection conducted by staff and a memo to the application file confirming compliance.
- 2.** The Conditional Use Permit approval for the work/live unit is valid only for occupant Amy Anderson and is contingent upon A Design LLC or Loomis Inc. remaining in operation; a new Conditional Use Permit approval is required for any other work/live residential or commercial occupant. The Conditional Use Permit approval for the apartment located in Unit F runs with the land.
- 3.** Hours of operation for the work/live business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2;
- 4.** Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.;
- 5.** No residential use shall occur on the ground level (first floor);
- 6.** Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirements, the Fire Marshal shall conduct routine inspections of the residential units within the building concurrent with routine inspections of the commercial units;
- 7.** Inspections by Planning staff to ensure compliance with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 8.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 9.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.

- 10.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 11.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

ATTACHMENTS

- A. Application
- B. Applicant's narrative
- C. Floorplan and property information from the Blaine County Assessor
- D. As-built floorplans
- E. Exterior lighting fixture photos
- F. Draft Findings of Fact, Conclusions of Law, and Decision

A. Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: 100 Bell Dr. Unit A	
Name of Owner of Record: Loomis Inc.	
Physical Address: 100 Bell Dr. Ketchum ID 83340	
Property Legal Description: Industrial Park Sub Lot 2	
Property Zoning District: LI -2 Parcel # RPK0475000020	
Contact Phone: Amy Anderson 208-720-1255	Contact Email: loomisinc@yahoo.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: LI Residential Live /Work Space	
Description of Proposed and Existing Exterior Lighting: Existing buildings exterior lighting- See Attached	
ADDITIONAL COMMENTS	
See Attached	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> • Existing Site Plan • Proposed Site Plan • Landscape Plan • Grading and Drainage Plan • Exterior Lighting Plan and Specifications • Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Applicant Signature

Date



City of Ketchum
Planning & Building

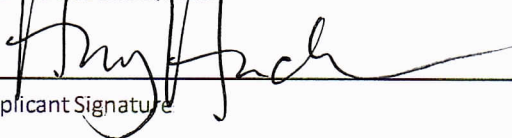
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OWNER INFORMATION	
Project Name: 100 Bell Dr. Unit F	
Name of Owner of Record: Loomis Inc.	
Physical Address: 100 Bell Dr. Ketchum ID 83340	
Property Legal Description: Industrial Park Sub Lot 2	
Property Zoning District: LI -2 Parcel # RPK04750000020	
Contact Phone: Amy Anderson 208-720-1255	Contact Email: loomisinc@yahoo.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: LI Residential	
Description of Proposed and Existing Exterior Lighting: Existing buildings exterior lighting- See Attached	
ADDITIONAL COMMENTS	
See Attached	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> • Existing Site Plan • Proposed Site Plan • Landscape Plan • Grading and Drainage Plan • Exterior Lighting Plan and Specifications • Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.


Applicant Signature

1/26/20
Date

B. Applicant's narrative



100 Bell Dr.

Built in 1986

Overall Building square footage: 6,840 sq ft

Existing living square footage: 1,399 sq ft

allowable living square footage: 3,420 sq ft

Applying for: 1 conditional Use permit for the upstairs south end of the building, confirming an existing conditional use permit for the upstairs north end of the building and one live/work conditional use permit for the 1st and 2nd floor of the north end of the building.

General information: The building was constructed in 1986. The current tenants in the building are Benchmark Associates (a surveying company), Tormey Construction (General Contractor), Northwest institute of Energy Medicine (Has an existing conditional use permit for this business issued 8/2018)

Unit A

Live/Work

Ground floor office: 654 sq ft

2nd floor living: 263 sq ft

On the ground floor of Unit A serves as an office for both A-Design and Loomis Inc.

A-Design, owned by Amy Anderson, provides architectural drafting service providing individuals as well as licensed architects with draft both commercial and residential related drawings. The work is on a contract basis and is done from this location. The space is used for client meetings as well as a work space.

Loomis Inc. is the parent company that owns both 100 Bell dr. and 210 Lewis st. Amy manages properties for her Parents, Bob and Leslie Anderson, from this location. All bookkeeping, property management, maintenance are part of her duties and are done on site.

The second floor of Unit A has an internal staircase from the office area accessing the enclosed 2nd floor studio living space. The studio includes a bed, kitchenette, washer/dryer and a bathroom. This area is where Amy lives. There is a smoke detector on both the inside and outside of the bedroom door that are connected and meet fire codes.

Unit E

Verifying Existing Residential Unit

Located on 2nd floor living: 570 sq ft

Unit E was built as the on site Manager's Unit and has an existing conditional use permit. Egress is onto the deck or onto the roof of Unit A. It has smoke detectors that meet the fire codes. It is currently occupied by Tenants.

Unit F

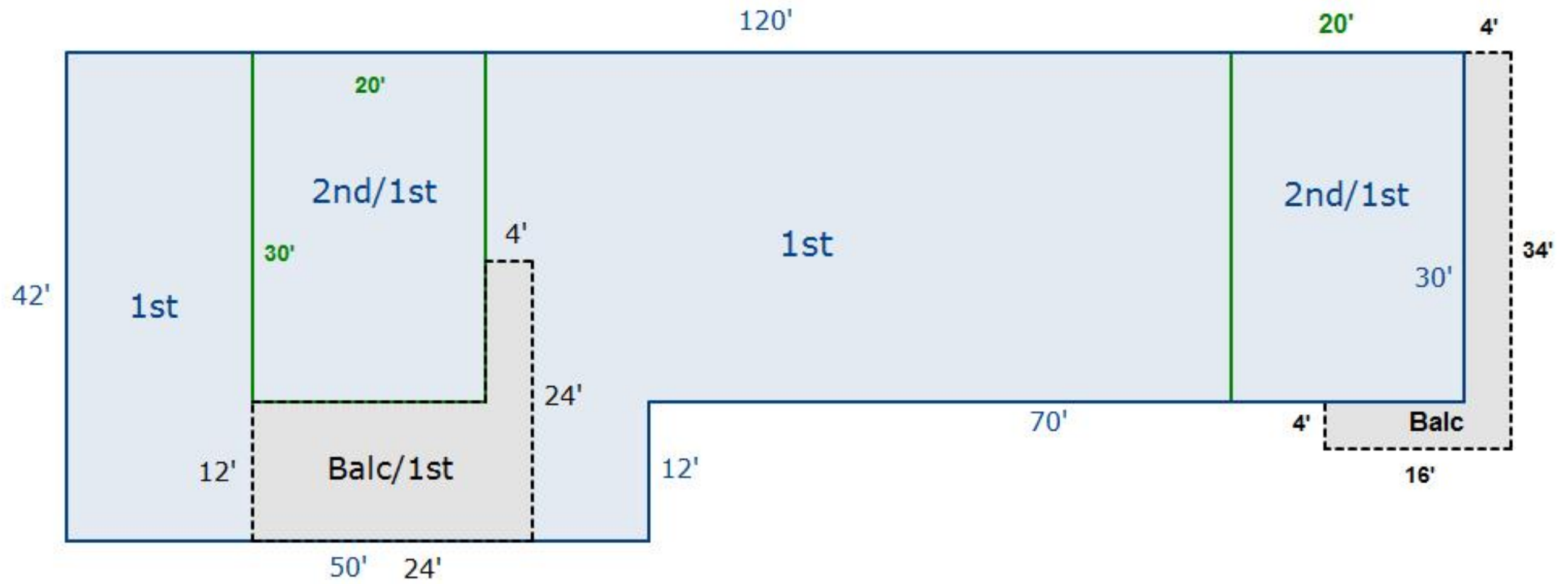
Residential

Located on 2nd floor living: 566 sq ft

Unit F was built as part of the original building. It an open studio floor plan with a sperate bathroom and closet. It has smoke detectors that meet the fire codes. Egress is onto a deck or onto the roof of Benchmark. It is currently occupied by Tenants.

C. Floorplan and property information from the Blaine County Assessor

Parcel Number	RPK0475000020
Owner	LOOMIS INC
Address	100 BELL DR
Legal Description	INDUSTRIAL PARK SUB LOT 2 14,450SF
Mailing Address	BOX 852 KETCHUM ID 83340-0000
Acres	0.332
Land Value	\$535,500
Farm Value	\$0
Commercial Value	\$194,104
Residential Value	\$0
Manufactured Value	\$0
Personal Property Value	\$0
Market Value	\$729,604
Home Owner Exemption	\$0
Taxable Value (2019)	\$729,604
Sketch	View Sketch

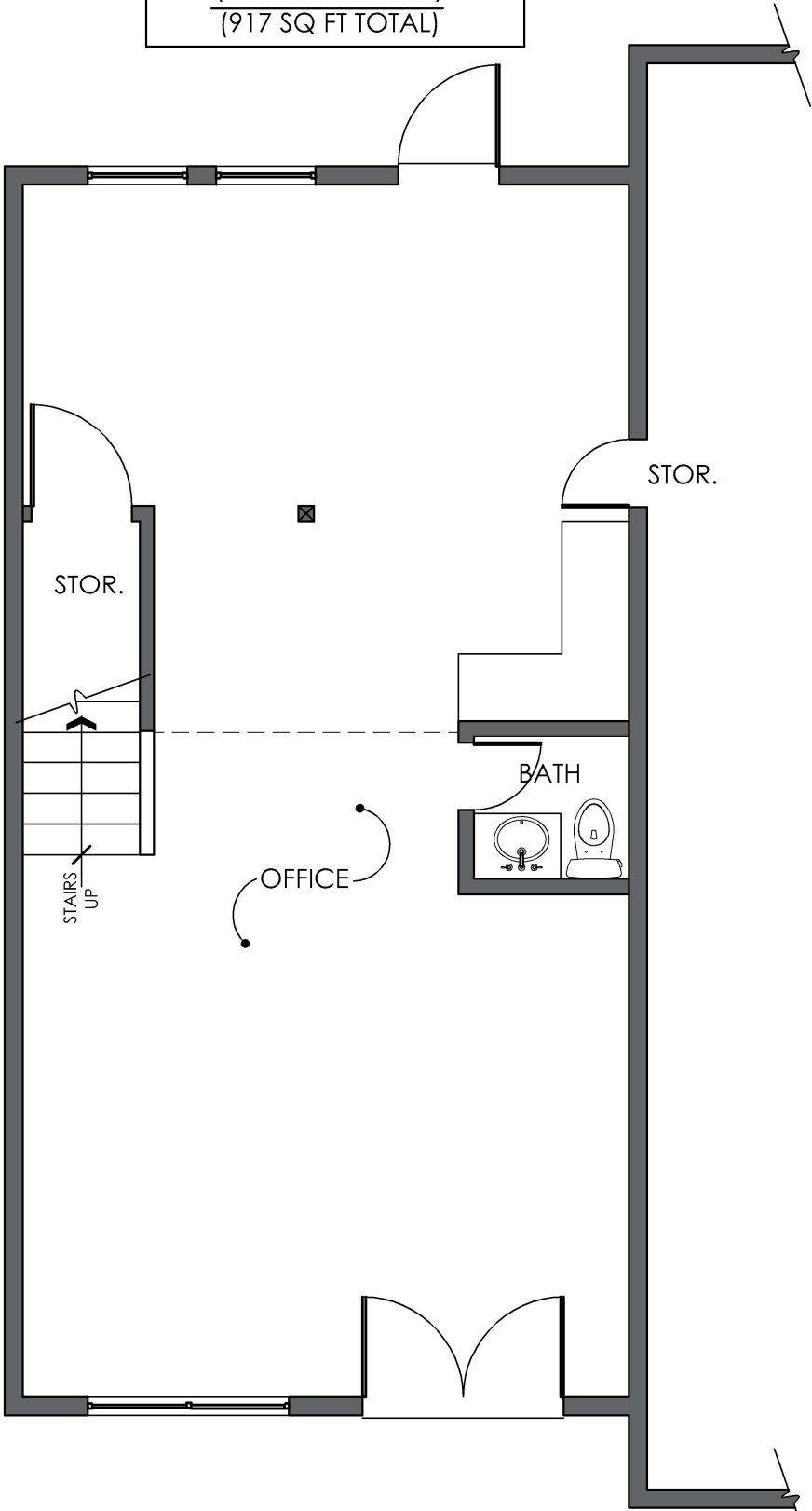


Bell Drive

D. As-built floorplans

100 BELL DR.
UNIT "A"
(654 SQ FT OFFICE)
(263 SQ FT LIVING)

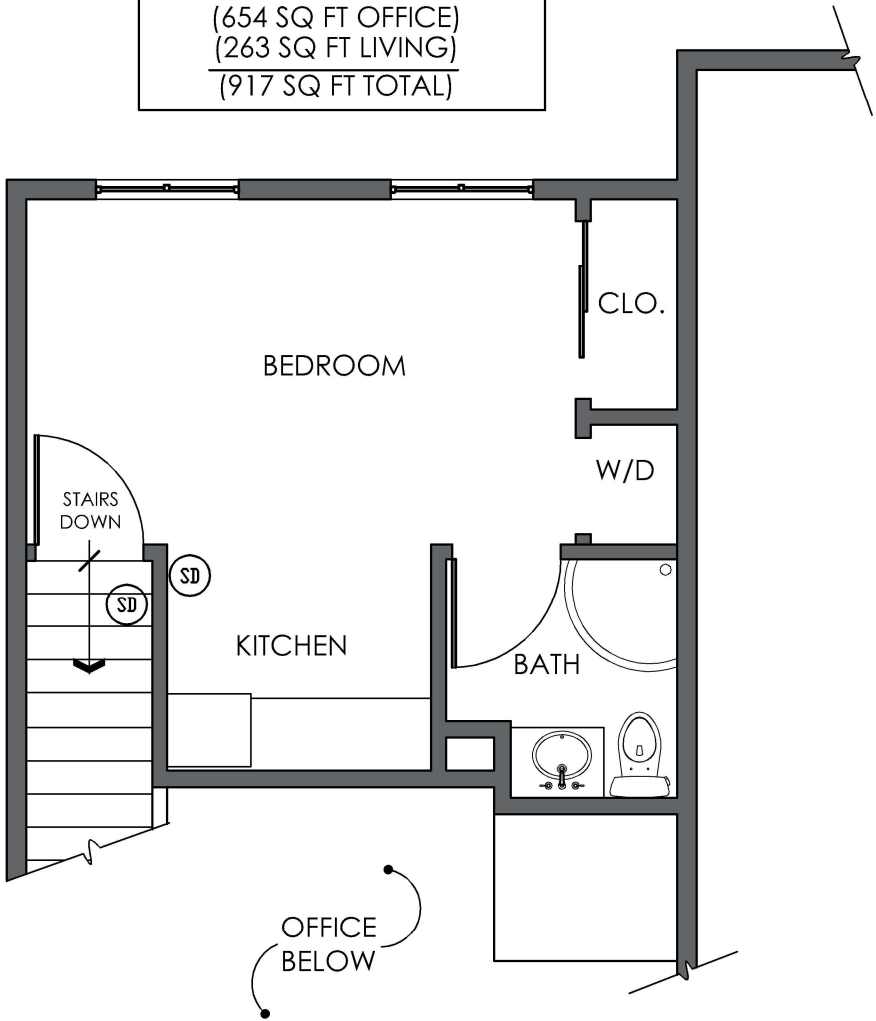
(917 SQ FT TOTAL)



FIRST FLOOR PLAN

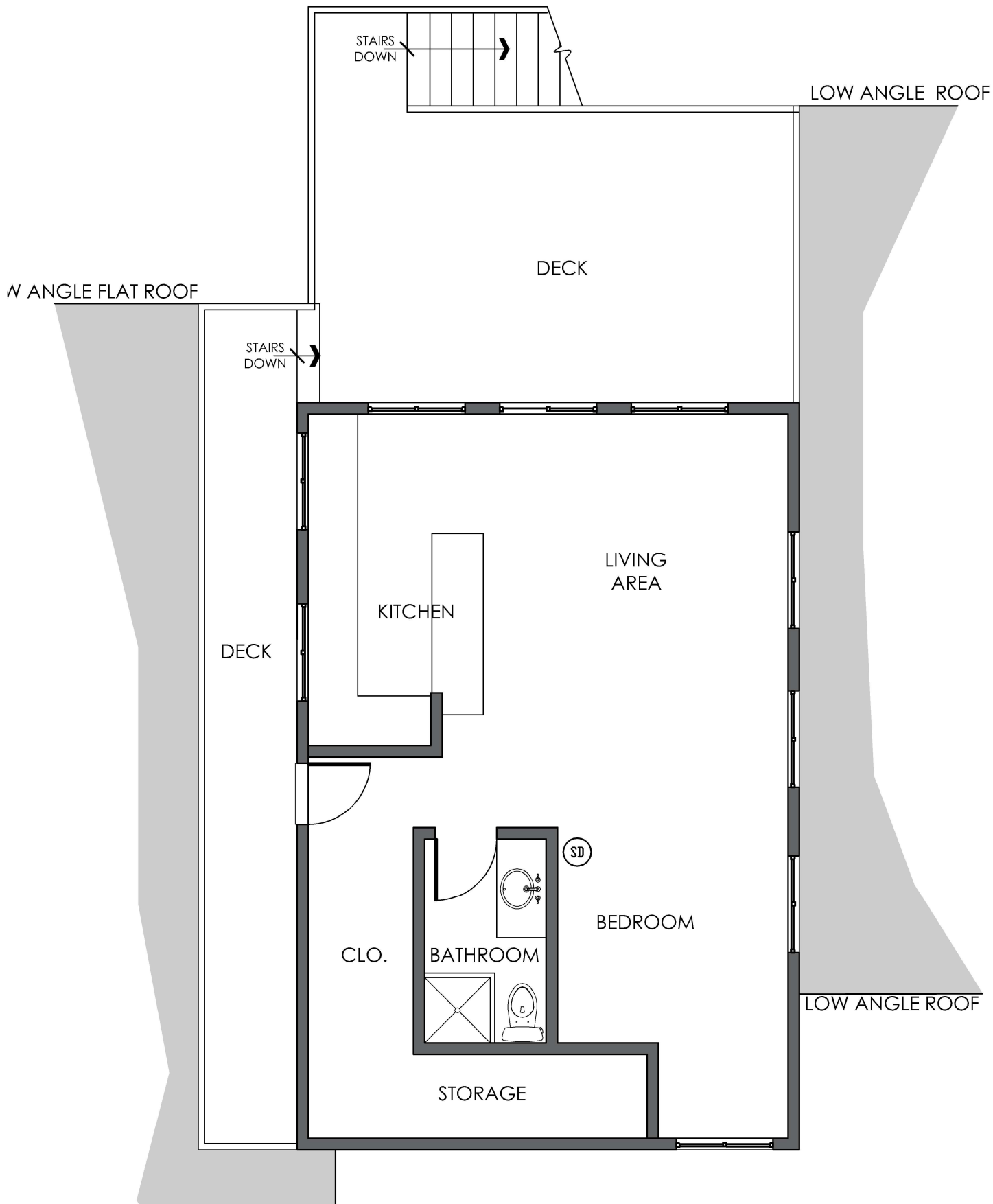
100 BELL DR.
UNIT "A"
(654 SQ FT OFFICE)
(263 SQ FT LIVING)

(917 SQ FT TOTAL)

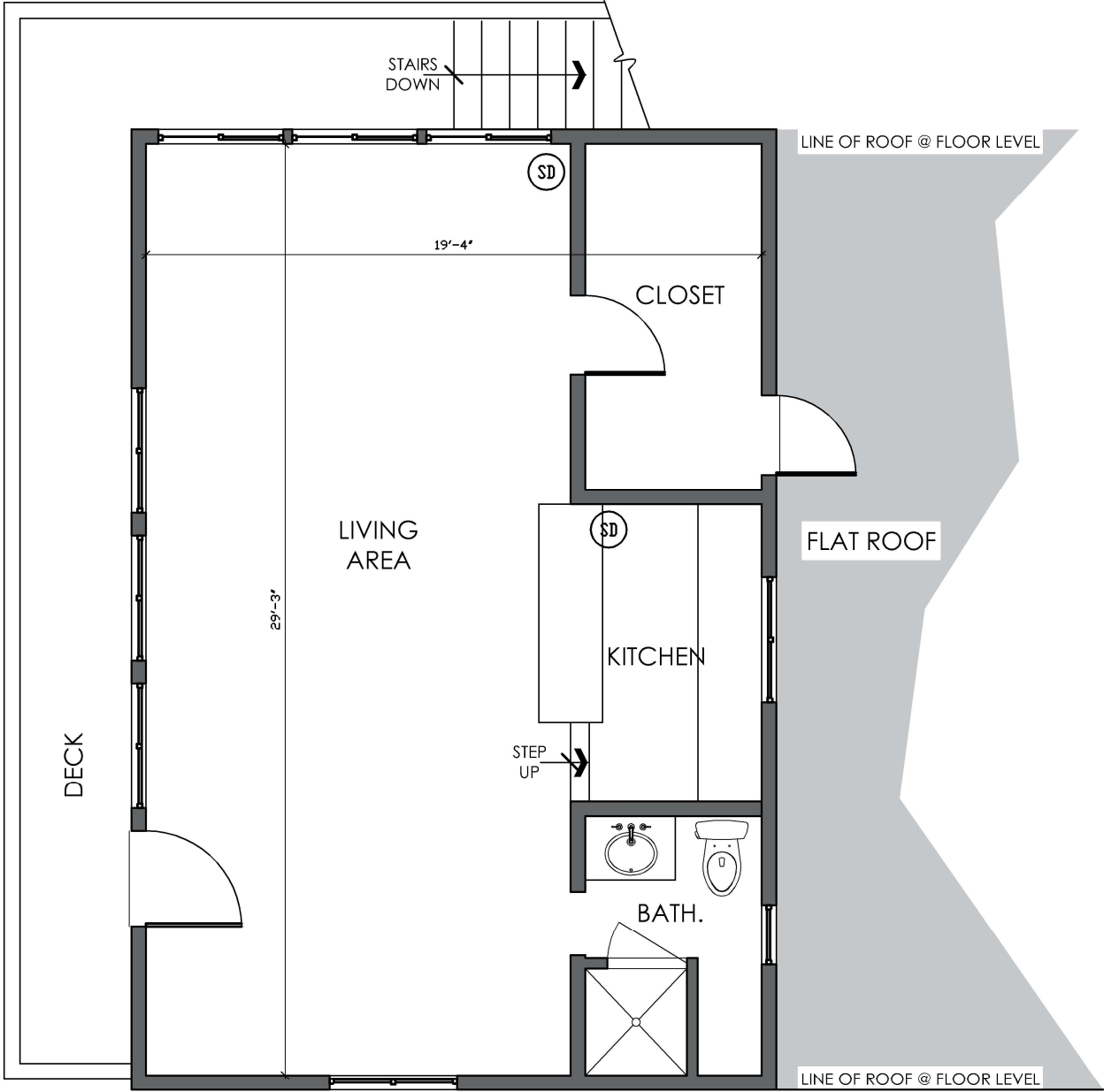


SECOND FLOOR PLAN

100 BELL DR.
UNIT "E"
(570 SQ FT)



100 BELL DR.
UNIT "F"
(566 SQ FT)



E. Exterior lighting fixture photos

100 Bell Dr. Existing Lighting



WALL SCONCE



WALL SCONCE

F. Draft Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum
Planning & Building**

IN RE:)	
)	
100 Bell Drive Residential Use)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: February 10, 2020)	DECISION
)	
File Number: P20-011)	

PROJECT: 100 Bell Drive Residential Use Conditional Use Permit

FILE NUMBER: P20-011

OWNER: Loomis Inc.

APPLICANT: Loomis Inc. / Amy Anderson

REPRESENTATIVE: Amy Anderson

REQUEST: Conditional Use Permit (CUP) for a work/live unit and one (1) residential apartment

LOCATION: 100 Bell Drive (Lot 2, Industrial Park Subdivision)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI-48' Height

NOTICE: Notice was published in the Idaho Mountain Express on January 22, 2020, was mailed to property owners within 300' on January 22, 2020, and was posted on site on January 31, 2020.

ATTACHMENT: Floorplans

FINDINGS OF FACT

1. On February 10, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed work/live unit and residential apartment unit F. An existing residential apartment, unit E, was approved via a Conditional Use Permit in 1977.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district.

4. The subject building is 6,840 square feet and the total residential square footage is 1,399 square feet, which equates to 20% of the building being used for residential use. Both of the apartments and the work/live unit comply with the size requirements for residential units in the LI-2 zoning district.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum's economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>The majority of square footage in the building is used for construction/development related businesses, including the work space of the work/live unit, and these uses fit the primary purpose of the Mixed-Use Industrial land use. The two apartments are integrated into the building and fit the secondary purpose of the Mixed-Use Industrial land use.</p>
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
<p>One of the two dwelling units proposed with this permit is a work/live unit.</p>
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2: City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire: No outstanding issues identified.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: N/A. This is an existing building that is not being substantially improved.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: N/A. This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: No outstanding issues identified.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3: Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for a one additional upper floor apartment and one work/live unit with the has living area on the upper floor and work space located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The total residential square footage in the building (apartment approved in 1977 and the work/live unit and additional apartment proposed by this application) equates to 20% of the building's square footage.</i> <i>The work/live unit is 917 square feet with the 263 square feet, or 29% of the unit's square footage, devoted to residential use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>The building is not condominimized, the residential units are not separate units for sale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and,

				<p>(4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.</p> <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<p><i>Standards 17.124.090.A.5.a and c have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.1 and 3 have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as both businesses have applied for City of Ketchum business licenses.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<p><i>The two residential dwelling units are 570 and 566 square feet respectively. The work/live unit is 917 square feet total.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	8. Anti-Nuisance And Notice Provisions:

				<p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>This standard has been met. There are +/- 30 parking spaces shared between the subject property and the adjacent property, 210 Lewis Street, that is held under the same ownership.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or,

			j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
		Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.
			Staff Comments	<i>The purpose of the LI-2 Zone is "established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone" (KMC §17.18.150)</i> <i>The work component of the work/live unit is comprised of two businesses that support the development/construction industry and are categorized as "office, contractor-related business". Office, contractor-related business is a permitted use in the LI-2 zoning district.</i> <i>The combination of residential living with this permitted use, and with the proposed resident of the work/live unit being an owner/operator of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i> <i>Additionally, the apartment proposed by this application is subordinate in size to the commercial uses and its second-floor location mitigates interference with the commercial uses and further.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Staff Comments	<i>There are no outstanding life safety code violations identified within the unit. Therefore, the building is safe to occupy and will not materially endanger the health, safety, and welfare of the community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Staff Comments	<i>The work/live unit and additional apartment are small in scale (less than 1,000 square feet of residential use) and do not generate a high volume of trips. Additionally, the primary business that operates from the work/live unit, A Design, interacts with only one client (or group of clients) on site at a given time. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i>

216	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<i>The existing building is adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			Staff Comments	<i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission’s February 10th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a work/live unit and residential apartment unit F on this 10th day of February 2020 subject to the following conditions 1 - 11:

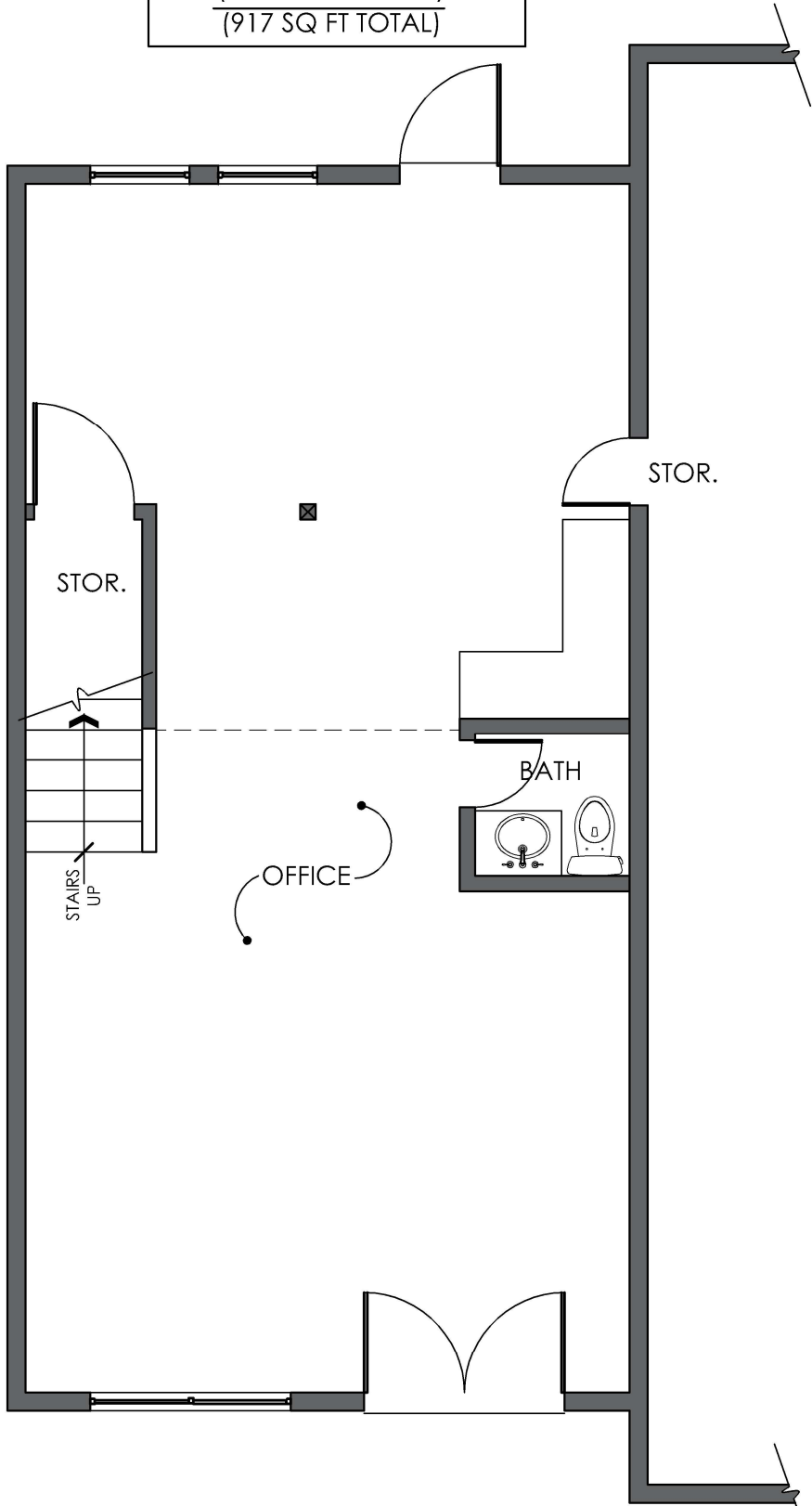
- 1.** The non-compliant exterior lighting fixture indicated in Exhibit E shall be replaced with a complaint fixture by April 1, 2020 as evidenced by a site inspection conducted by staff and a memo to the application file confirming compliance.
- 2.** The Conditional Use Permit approval for the work/live unit is valid only for occupant Amy Anderson and is contingent upon A Design LLC or Loomis Inc. remaining in operation; a new Conditional Use Permit approval is required for any other work/live residential or commercial occupant. The Conditional Use Permit approval for the apartment located in Unit F runs with the land.
- 3.** Hours of operation for the work/live business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2;
- 4.** Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.;
- 5.** No residential use shall occur on the ground level (first floor);

6. Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirements, the Fire Marshal shall conduct routine inspections of the residential units within the building concurrent with routine inspections of the commercial units;
7. Inspections by Planning staff to ensure compliance with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
8. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
9. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
10. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
11. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

Findings of Fact **adopted** this 10th day of February, 2020.

Neil Morrow
Chair
Planning and Zoning Commission

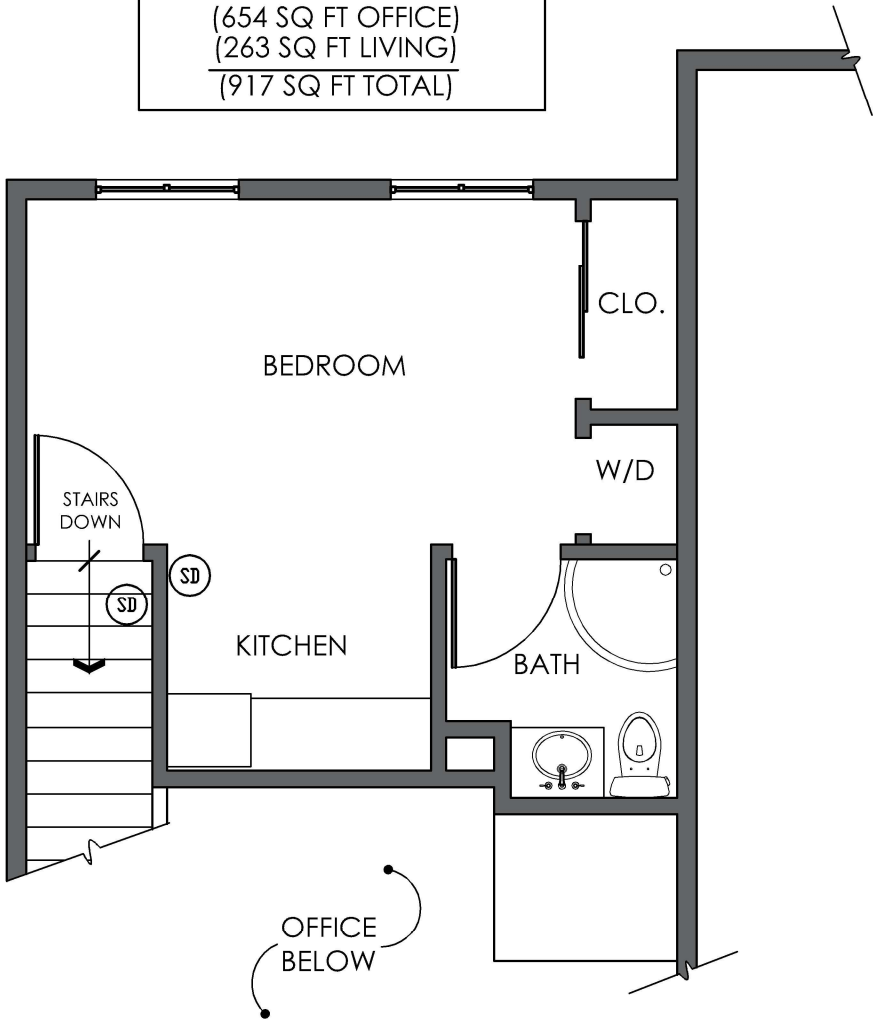
100 BELL DR.
UNIT "A"
(654 SQ FT OFFICE)
(263 SQ FT LIVING)
(917 SQ FT TOTAL)



FIRST FLOOR PLAN

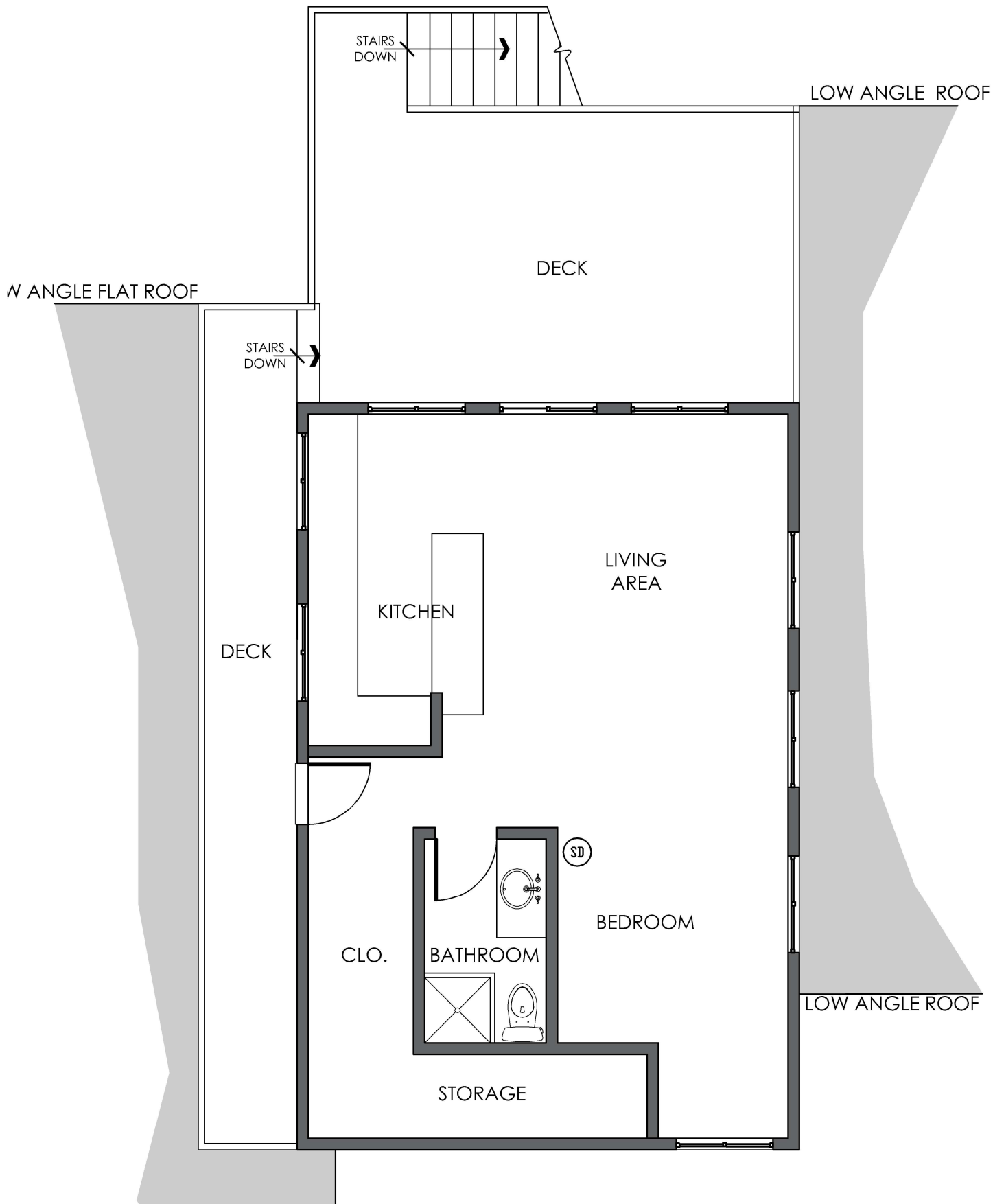
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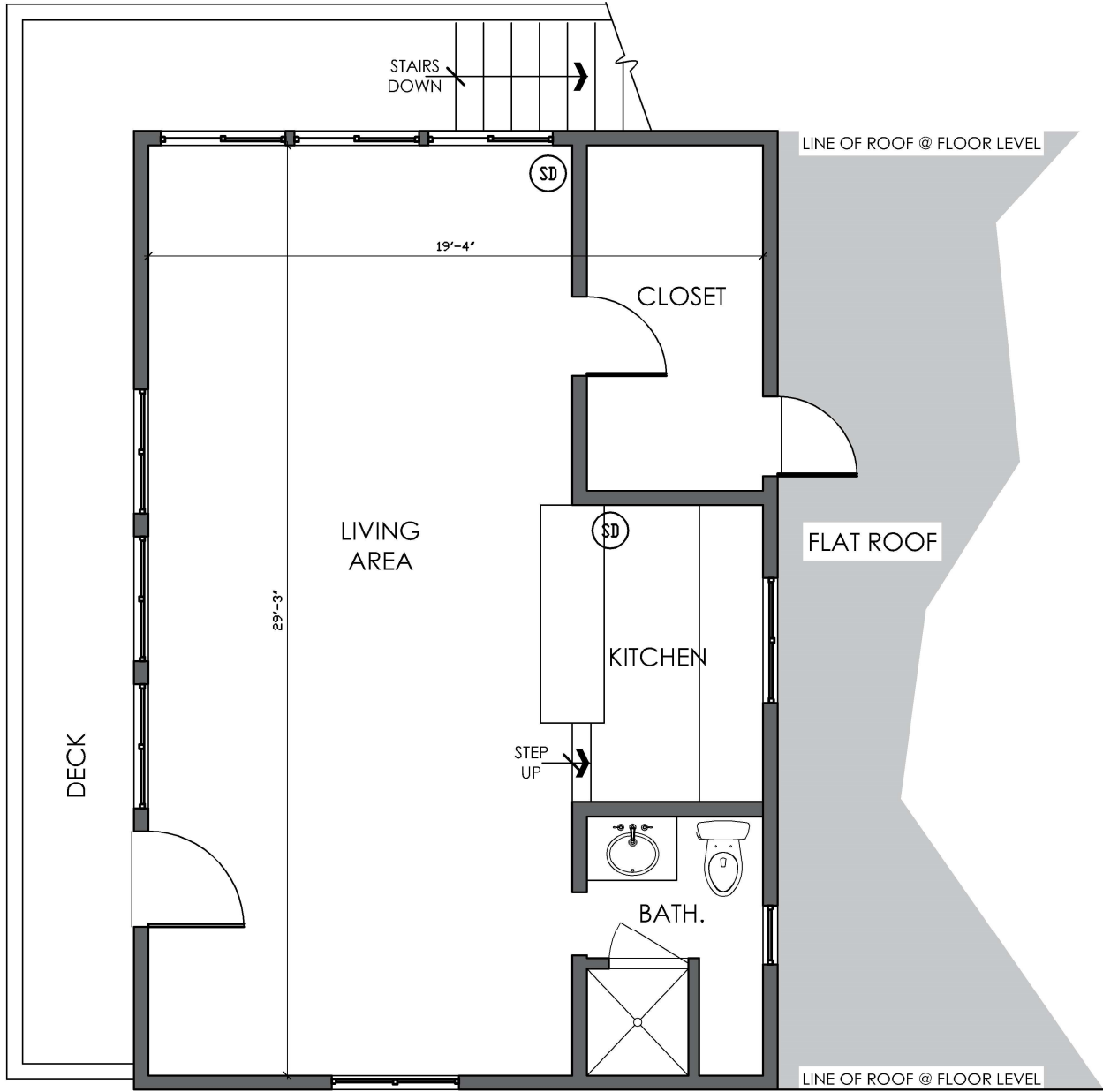


SECOND FLOOR PLAN

100 BELL DR.
UNIT "E"
(570 SQ FT)



100 BELL DR.
UNIT "F"
(566 SQ FT)





City of Ketchum
Planning & Building

WEST KETCHUM RESIDENCES DESIGN REVIEW
STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: West Ketchum Residences

FILE NUMBER: P19-143

APPLICATION: Design Review

REPRESENTATIVE: Errin Bliss, Bliss Architecture

OWNER: Wet Ketchum Residences, LLC

LOCATION: Bavarian Village: Lots 5A, 6A, 7A, and 8A

ZONING: General Residential High Density (GR-H) Zoning District

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property adjacent to the project site and published in the Idaho Mountain Express the on January 22nd, 2020.

REVIEWER: Abby Rivin, Associate Planner

WEST KETCHUM RESIDENCES: 10 TOWNHOMES IN 5 DUPLEXES
The West Ketchum Residences is a 10-unit townhome development on 4 vacant lots within a residential neighborhood. The project consists of 5, two-story duplex units. Each unit will have its own garage accessed off of a shared driveway. The developer will install a snow-melted private driveway that bisects the property to access each townhome. The project plans include landscaping that will buffer the development from the street and enhance privacy between the



Figure 1: Project Visualization, Project Plans Sheet L3

existing townhomes and condominiums in the neighborhood.



LOCATION

The project is located on 4 vacant lots in the Bavarian Village Subdivision within the General Residential High Density Zoning District (GR-H). The 1.09 acre project site will be accessed from a 24-foot curb cut off of Bird Drive. The Future Land Use Map designates the parcel as High Density Residential appropriate for multi-family housing.

Figure 2: Site Plan, Project Plans Sheet L2

PROJECT COMPLIES WITH DESIGN REVIEW STANDARDS

The duplex design is modern with rectangular building forms comprised of natural materials that include wood, stone, glass, and metal. The butterfly roof system, building placement, and projecting and overhanging elements add visual interest to the minimalist design. Context sensitive, the townhome development is compatible to the character and scale of the surrounding residential neighborhood.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, and approve the West Ketchum Residences Design Review.

ANALYSIS

Staff analysis is provided in Tables 1 through 4 including: (1) the project’s alignment with the 2014 Comprehensive Plan, (2) City Department comments, (3) adherence zoning and dimensional standards, and (4) evaluation of Design Review criteria. Project plans are attached as Exhibit A.

Table 1: Comprehensive Plan Analysis

The West Ketchum Residences project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN & STAFF COMMENTS
<p>Land Use Category: High-Density Residential</p>	<p>PRIMARY USES This type of residential includes a broader variety of residential types, including single-family residences, duplexes, and multifamily housing.</p> <p>SECONDARY USES Multi-family apartments, townhomes, and condominiums would be appropriate in some locations. Supporting and complementary uses, including accessory dwelling units, open space, gardens, and recreation, schools, places of worship, and other public uses are appropriate in this residential category. Senior housing facilities are also appropriate in this category</p> <p><i>The West Ketchum Residences is a 10-unit townhome development.</i></p>
Future Land Use	
<p>Policy LU-2.2 Compatible Residential Infill</p>	<p>Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.</p> <p><i>The project will add 10 townhomes units to a vacant lot in a residential neighborhood.</i></p>
Community Design and Neighborhoods	
<p>Policy CD-1.3 Compatible Infill and Redevelopment Projects</p>	<p><i>The West Ketchum Residences is contextually appropriate located in a residential neighborhood.</i></p>

Table 2: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments

City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Fire Department:

- It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
Note: The entire building shall be protected by an NFPA 13 Fire Sprinkler system.
- NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.

- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. 2 five-pound fire extinguishers shall be required for each living unit.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- One approved key box shall be installed on each duplex unit, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020). The adjacent ROW along Bird Drive must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.

- Utility locations (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas. All utilities need to be shown on the plans including the location and size of water and sewer mains and services, gas, electric, TV and phone.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with the Comprehensive Plan, zoning and dimensional standards, and Design Review evaluation standards.

Table 3: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			<i>Staff Comments</i>	Required: 8,000 square feet minimum Proposed: <i>The developer has submitted a Lot Line Shift application to remove the common boundary lines between Lots 5A, 6A, 7A, and 8A to form Lot 5AA.</i> <i>Bavarian Village Subdivision: Block 1: Lot 5AA will have a total area 47,338 square feet (1.09 acres).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Open Space
			<i>Staff Comments</i>	Required: 35%/ 30% (Footnote 5: 5% open site area may be used for private decks or patios and walkways subject to Design Review approval)

228				Proposed with West Ketchum Residences: 41% (Sheet AS102)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<p>Floor Area Ratios and Community Housing</p> <p><i>Staff Comments</i></p> <p>Floor Area Ratio Permitted in General Residential High Density (GR-H) Zoning District <i>FAR Permitted in GR-H Zone: 0.5</i> <i>FAR Permitted with Inclusionary Housing Incentive: 1.4</i></p> <p>Proposed Floor Area Ratio <i>Townhome Unit Gross Floor Area: 3,001 gross square feet</i> <i>Total Gross Floor Area for 10 Townhome Units: 30,010 gross square feet</i> <i>Floor Area Ratio Proposed: 0.64 (30,010 gross square feet/ 47,338 square feet)</i></p> <p><i>Increase Above 0.5 Permitted FAR: 6,341 gross square feet (30,010 square feet – 23,669 square feet)</i> <i>20% of Increase: 1,268.2 gross square feet</i> <i>15% Reduction for Net Livable Floor Area: 1,078 square feet</i></p> <p><i>Sheet AS102 notes that the developer will pay the associated community housing in-lieu fee.</i> <i>Community Housing In-Lieu Fee: \$256,564 (1,078 square feet x \$238)</i></p> <p><i>Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve an Exceedance Agreement with the developer addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Building Setbacks</p> <p><i>Staff Comments</i></p> <p>Minimum: <i>Front: 15 feet</i> <i>Side: 1 foot for every 3 feet in building height, but no less than 10 feet</i> <i>Rear: 15 feet</i></p> <p><i>KMC §17.128.020: Supplementary Yard Regulations</i> <i>A. Cornices, canopies, eaves, chimney chases or similar architectural features may extend into a required yard not more than 3 feet.</i> <i>H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</i></p> <p>Proposed: <i>Front (East/Bird Drive): 15 feet</i> <i>Side (North/Interior): 10 feet 6 inches</i> <i>Side (South/Interior): 10 feet 6 inches</i></p>

229				<p><i>Rear (West/Interior): 15 feet</i></p> <p><i>The grade-level patios extend into the side setback, which is permitted by KMC §17.128.020.H. The second-level deck extend within the required side yard setback less than 3 feet, which is permitted by KMC §17.128.020.A.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Height</p> <p><i>Staff Comments</i></p> <p>Maximum Permitted: 35 feet Proposed: Each duplex is 31 feet-5 inches in height.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Curb Cut</p> <p><i>Staff Comments</i></p> <p>Required: <i>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</i></p> <p>Proposed: <i>The private driveway access off of Bird Drive is 24 feet wide. 12% (24-foot curb cut/201 linear feet along Bird Drive) of the property's street frontage along Bird Drive is used for the private drive access to the townhome development.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p><i>Staff Comments</i></p> <p><i>Off-street parking standards apply to any new development and to any new established uses.</i></p> <p>Required: <i>Multiple-Family Residential Dwelling Units in the GR-H Zone Units 2,001 square feet and above: 2 parking spaces</i></p> <p>Proposed: Townhome Unit Net Livable Floor Area: 2,172 square feet Each townhome unit has its own 2-car garage.</p>

Table 4: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p><i>Staff Comments</i></p> <p><i>The 10-unit townhome development will have one driveway access off of Bird Drive. A 50-foot wide residential street, Bird Drive does not meet the minimum 60-foot width required for residential streets (KMC §12.04.030A).</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	<p>All street designs shall be approved by the City Engineer.</p> <p><i>Staff Comments</i></p> <p><i>No changes are proposed to the street design or lanes of travel within the Bird Drive right-of-way.</i></p>

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	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<p><i>While the West Ketchum Residences is a substantial improvement project, sidewalks are not required to be installed along residential roads. The right-of-way next to the front property line must be improved to City standards residential streets.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i></p> <p><i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i></p>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<p><i>The City does not require developers to install sidewalks along residential roads.</i></p> <p><i>The developer must improve the right-of-way next to the front property line to meet City standards for residential streets.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the City Engineer & Streets Department.</i></p>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>The developer is not required to install sidewalks for the townhome development.</i>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>This standards does not apply because sidewalks are not included in the City right-of-way standards for residential roads.</i>

				<i>The developer must improve the right-of-way next to the front property line to meet City standards for residential streets. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. Table 2 lists comments from the City Engineer & Streets Department regarding the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A. The City does not require developers to install sidewalks in residential neighborhoods.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The drainage system must keep all storm water within the project site. The developer must install drainage improvements that meet City standards. Preliminary drainage plans are included on Sheets C1.0 and L1 of the project plans. The drainage plan includes a system of drywells and catch basins. Preliminary details for the drainage improvements are included on Sheet C2.0.</i> <i>Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 2 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

			<i>Staff Comments</i>	<p>See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements are required to meet City standards.</p> <p>All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</p> <p>See Table 2 for review comments and conditions from the City Engineer & Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	All utilities necessary for the fire station must be improved and installed at the sole expense of the applicant. The utility plan is included on Sheet C1.0 of the project plans. Prior to issuance of a Building Permit, the applicant must secure a will-serve letter from Idaho Power. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the Utilities Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	All utilities within the development site shall be underground and concealed from public view. Sheet AS102 notes that all roof and ground mounted mechanical, electrical, and plumbing equipment will be screened from public view. See above analysis for Ketchum Municipal Code §17.96.060D1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The

				placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The project combines wood siding with stone veneer. The aluminum clad windows and corrugated metal panels add a modern element to these traditional materials. The color palette blends the brown of the Montana timber wood siding with different shades of dark gray including the lighter stone veneer and aluminum clad windows with the darker stained wood posts and corrugated metal panel siding. The stone veneer wall sign matches the stone veneer incorporated within the duplex design.</i> <i>The West Ketchum Residences project will add a more modern design style to the residential neighborhood. Surrounding development is characterized by a more traditional design style with natural materials and pitched roofs. While the project design is more modern, the use of traditional materials complements the traditional architecture of the neighboring residential development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. No significant landmarks of historical or cultural importance have been identified on the property. An infill project, the site is vacant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A This standard does not apply because the West Ketchum Residences project is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The townhome units have two entrances—one interior access from the garage and an exterior entryway. The entryways at either side of the duplex lead to concrete paver path that leads to the driveway, which connects to Bird Drive. The City does not require the installation of sidewalks in residential neighborhoods. The entrance corridor is framed with stained wood posts and the projection of the garage. The</i>

				<i>cantilever of the second floor and balcony cover the walkway that leads to the entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>Building elevations and renderings are included on Sheets A201, A202, and A203 of the project plans. The modern duplexes are defined by projecting wall planes and overhanging elements. Projecting between the townhome units, the stone privacy wall extends to the highest point of the roof. The scale of the vertical plane draws attention to the stone privacy wall. The opening within the privacy wall at the first-level decreases the visual weight of the privacy wall. The wood posts that frame the entryway are a welcome transition from the flat mass of the vertical wall planes. The roof and balcony overhangs visually enhance the modern building's shapes. The townhome units are attached at a slight skew. The slanted placement defines the individual townhome units within the duplexes. The slight butterfly of the roof decrease the bulk of the box-shaped building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The materials are noted on the elevations included as Sheet A201 and A202 of the project plans. The exterior walls of the building utilize the same metal and brick materials and gray, block, and brown color scheme. Highlighting the apparatus bays, the use of the firehouse red is limited to the apparatus-bay garage doors. The consistent pattern of material placement and colors across all building walls connects the diverse functions of the fire station into one cohesive design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The project does not propose any fences or accessory structures. Existing fences and vegetation border the south side and rear property line separating the development site from the adjacent townhomes.</i> <u>Landscape</u> <i>The landscape plan is included on Sheets L2 of the project plans. Landscaped areas at the front of the property buffer the townhome development from the street. Evergreen trees and aspens are proposed to be planted in the rear yard to enhance privacy between the adjacent townhomes. Landscaped areas with shrubs, tall, grasses, and trees provide a visually-pleasing border between each duplex. The landscape will enhance the appearance of the townhome development by softening the visual impact of the vertical wall</i>

				<p>planes. The diversity of plants with a range of trees, tall grasses, and shrubs complement the duplex's stone and wood materials.</p> <p><u>Sign</u> The wall sign is comprised of the same stone veneer as the duplex buildings.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	<p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p> <p><i>Staff Comments</i> The building walls are predominately comprised of wood siding panels. The horizontal placement of the wood siding establishes a rectangular rhythm that defines the building form. Disrupting this horizontal rhythm, windows and corrugated metal panels articulate the building surface lessening the visual weight of the flat wall plane. The use of stone material for prominent privacy wall defines the building by separating each townhome unit. The combination of materials and color variation provides relief to flat wall planes. The inverted pitch of the butterfly roof reduces the bulk of the box-shaped building form. The front façade is further defined by projecting elements including the roof overhang and cantilevered balcony. The windows decrease the visual impact of the flat wall planes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	<p>Building(s) shall orient towards their primary street frontage.</p> <p><i>Staff Comments</i> The duplex buildings orient towards the shared paver driveway.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	<p>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</p> <p><i>Staff Comments</i> This project is a townhome development in a residential neighborhood accessed off of Bird Drive. Each home will have its own garbage bin fully screened within the townhome unit. No common dumpster has been proposed within the multi-family residential development. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</p> <p>The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	<p>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</p> <p><i>Staff Comments</i> The roof plan is included on Sheet A121 of the project plans. Enhancing weather protection, the inverted pitch of the flat roof forms will prevent water from dripping or snow from sliding from the</p>

				<i>building. The roof plan includes roof drains that will tie into the drywell system. At the front entryways, the second floor cantilevers beyond the first floor to cover the pedestrian pathway. The roof plan notes any sloped roof shedding snow and rain onto pedestrian and vehicular circulation pathways below will include snow clips, gutters, and downspouts.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The entryways at either side of the duplex include a concrete paver path that leads to the driveway, which connects to Bird Drive. The subject property is an infill site located within a multi-family residential neighborhood. The City does not require the installation of sidewalks in residential areas of town. The site is not contiguous to existing pedestrian, equestrian, or bicycle accesses.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The townhome development will be access from Bird Drive, which is a low traffic, residential street. The traffic is anticipated to flow safely onto Bird Drive.</i> <i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The project site is located over 150 feet from Bird Drive's intersection with Rember Street to the north and over 600 ft from Bird Drive's intersection with Wood River Drive.</i> <i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure</i>

				<i>adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>The townhome development is accessed off of Bird Drive. The 24-foot wide curb cut leads to snow-melted private driveway that bisects the property. A turnaround is included in the driveway design to accommodate the fire apparatus turnaround. The shared private drive extends to driveways leading to each townhome garage. The snow-melted interior circulation system provides unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>As permitted by KMC §17.96.060.H4, the traffic and pedestrian circulation areas will include a snowmelt system instead of a snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. As indicated on Sheet C2.00 of the project plans, the project site will be snow-melted as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>As permitted by KMC §17.96.060.H4, the project site will include a snowmelt system instead of a snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The West Ketchum Residences paved circulation areas will include a snowmelt system instead of snow storage. Snow-melting all circulation areas will enhance Fire Department operations and emergency response.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheets L1, L2, and L3 of the project plans. Landscaping includes a variety of trees, shrubs, and tall grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the duplex building's hard lines and rectangular mass. The trees, shrubs, and grasses</i>

				<i>provides relief from the building walls and screens the townhome development from the street and adjacent residential developments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.13 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.14 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping will screen the West Ketchum Residences development from Bird Drive and adjacent townhomes and condominiums. The applicant has proposed fir, spruce, and pine trees that provide a buffer from the Hourglass Townhomes and Smoky Lane Condominiums. A combination of evergreens and shrub groupings border the southern property line, which will enhance privacy between the duplexes and the Autumn Woods and Summit Ridge Townhouses to the south. Trees, tall grasses, and shrubs are included in the front yard landscape design to screen the townhome development from the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>This standard does not apply because the developer is not required to install sidewalks. The City does not require the installation of sidewalks in residential neighborhoods.</i>

RECOMMENDED MOTION

"I move to approve the West Ketchum Residences Design Review subject to conditions."

RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of

- Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
 5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
 6. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
 8. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
 9. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
 10. Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve an Exceedance Agreement with the developer addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).
 11. Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve a Lot Line Shift application to remove the common boundary lines between Lots 5A, 6A, 7A, and 8A to form Lot 5AA.
 12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

EXHIBIT:

- A. Project Plans

Exhibit A: Project Plans

ABBREVIATIONS

@	AT	LAM	LAMINATE
AB	ANCHOR BOLT		
ABC	AGGREGATE BASE COURSE	MAT	MATERIAL
AFB	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MTL	METAL
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BO	BOTTOM OF	NOM	NOMINAL
BOD	BOTTOM OF DECK	N	NORTH
		NTS	NOT TO SCALE
CC	CENTER TO CENTER		
CIP	CAST IN PLACE	OC	ON CENTER
CL	CENTER LINE	OH	OVERHEAD
CLNG	CEILING	OPP	OPPOSITE
CJ	CONTROL JOINT	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PR	PAIR
CONT	CONTINUOUS		
		RA	RETURN AIR
DET	DETAIL	RAD	RADIUS
DIM	DIMENSION	RCP	REFLECTED CEILING PLAN
DN	DOWN	REF	REFERENCE
DWG	DRAWING	REQ'D	REQUIRED
		REV	REVISION
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	ROW	RIGHT OF WAY
ELEV	ELEVATION		
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXT	EXTERIOR	SF	SQUARE FEET
EXIST	EXISTING	SHT	SHEET
		SIM	SIMILAR
FA	FIRE ALARM	STL	STEEL
FACP	FIRE ALARM CONTROL PANEL	STRUC	STRUCTURAL
FD	FLOOR DRAIN		
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE & GROOVE
FF	FINISHED FLOOR ELEVATION	TO	TOP OF
FIN	FINISH	TOB	TOP OF BEAM
FLR	FLOOR	TOM	TOP OF MASONRY
FT	FOOT OR FEET	TOW	TOP OF WALL
FV	FIELD VERIFY	TYP	TYPICAL
GA	GAUGE	UL	UNDERWRITERS LABORATORIES
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GLB	GLUE LAMINATED BEAM		
GSF	GROSS SQUARE FEET	VERT	VERTICAL
GYP	GYPSONUM		
		WC	WATER CLOSET
HB	HOSE BIBB	WD	WOOD
HDWR	HARDWARE	W/	WITH
HR	HOUR	W/O	WITHOUT
INSUL	INSULATION		
INT	INTERIOR		
JNT	JOINT		

DRAWING SYMBOLS

BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM

DEVELOPER:
WEST KETCHUM RESIDENCES, LLC
C/O ROBERT PARKER
208-721-1359
ROBERT@VPCOMPANIES.COM

GENERAL CONTRACTOR:
MAGLEBY CONSTRUCTION
DESTROY SIMPSON
208-720-5673
DSIMPSON@MAGLEBYCONSTRUCTION.COM

ARCHITECT:
BLISS ARCHITECTURE
ERRIN BLISS, AIA
208-721-7424
ERRIN@BLISSARCHITECTURE.COM
126 SOUTH MAIN STREET, SUITE B1
HAILEY, IDAHO 83333

CIVIL ENGINEER:
GALENA ENGINEERING, INC.
SAM STAHLNECKER, PE
208-788-1705
SAM@GALENA-ENGINEERING.COM
317 N. RIVER STREET
HAILEY, IDAHO 83340

LANDSCAPE ARCHITECT:
NS CONSULTING
NATHAN SCHUTTE
208-320-2911
NATHANWSCHUTTE@GMAIL.COM

STRUCTURAL ENGINEER:
T.B.D.

MECHANICAL ENGINEER:
DESIGN BUILD

ELECTRICAL ENGINEER:
DESIGN BUILD

PROJECT DATA

SITE ADDRESS:
150 BIRD DRIVE
KETCHUM, IDAHO

APPLICABLE BUILDING CODES:
2012 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF KETCHUM AMENDMENTS
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF KETCHUM AMENDMENTS

OCCUPANCY TYPE:
TWO FAMILY DWELLING UNIT

CONSTRUCTION TYPE:
V-B SPRINKLERED

SEE SHEET AS102 FOR SITE DATA

SHEET INDEX

A000 COVER SHEET

C0.1 CIVIL COVER SHEET
C1.0 DRIVEWAY GRADING, DRAINAGE, & UTILITY PLAN
C1.1 DRIVEWAY PLAN AND PROFILE
C2.0 DETAILS

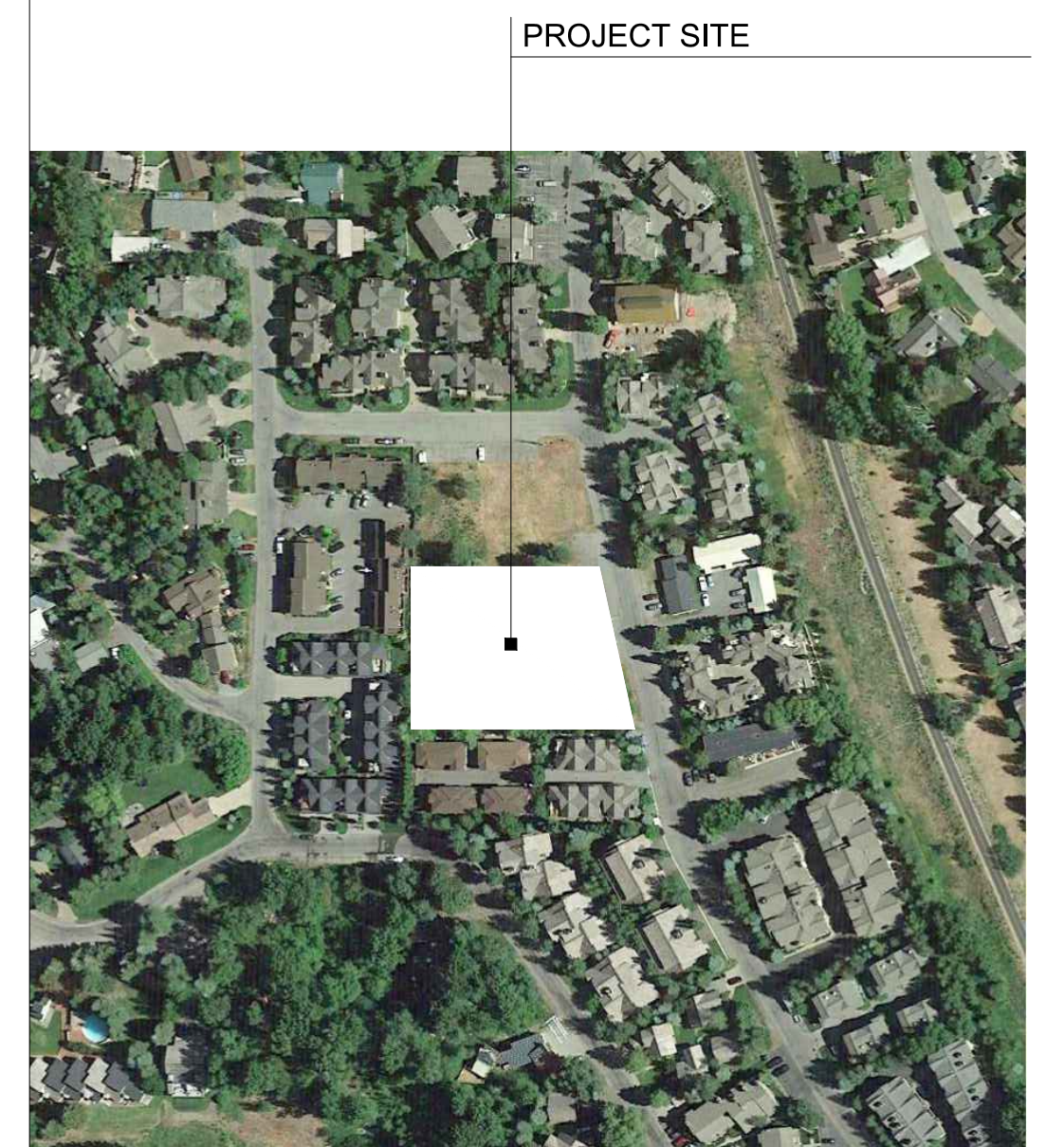
L1 LANDSCAPE GRADING & DRAINAGE PLAN
L2 LANDSCAPE PLAN
L3 PROJECT SITE VISUALIZATIONS
CM CONSTRUCTION MANAGEMENT PLAN

AS101 CONTEXT SITE PLAN
AS102 SITE PLAN
A101 TYPICAL FIRST FLOOR PLAN
A102 TYPICAL SECOND FLOOR PLAN
A121 TYPICAL ROOF PLAN
A201 TYPICAL BUILDING ELEVATIONS
A202 TYPICAL BUILDING ELEVATIONS
A203 BUILDING RENDERINGS

PROJECT DESCRIPTION

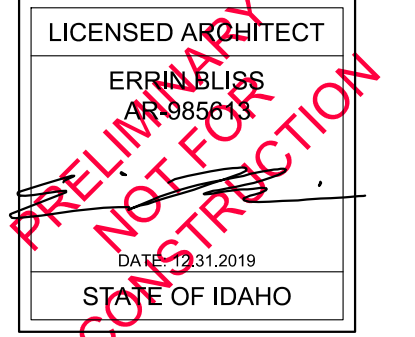
PROJECT NAME:
WEST KETCHUM RESIDENCES

THE PROPOSED PROJECT CONSISTS OF 5, TWO STORY DUPLEX UNITS. EACH UNIT WILL HAVE A 2 CAR GARAGE, LAUNDRY ROOM, 2 BEDROOMS, 2 BATHS, A MASTER SUITE, KITCHEN, DINING ROOM, & LIVING ROOM. THE TOTAL LIVABLE AREA OF EACH UNIT IS 2,172 S.F. WITH 484 S.F. GARAGES.



VICINITY MAP

SCALE: N.T.S.



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

WEST KETCHUM RESIDENCES

KETCHUM, IDAHO

PROJECT NO. | 201914

DRAWN BY | EMB
CHECKED BY | EMB

CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

SHEET INDEX
PROJECT INFO

A000

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WEST KETCHUM RESIDENCES

KETCHUM, IDAHO

DECEMBER 2019

SHEET INDEX

CIVIL ENGINEERING

CO.1 COVER SHEET

C1.0 DRIVEWAY GRADING, DRAINAGE, AND UTILITY PLAN

C1.1 DRIVEWAY PLAN AND PROFILE

C2.0 DETAILS

CONSTRUCTION NOTES

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (TD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1-C, IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/ASTM STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIREING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIS/ASTM STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK ASSOCIATES DATED 10/8/2019.
- PROPOSED DISTURBED AREA IS OVER 1 ACRE. THE CONTRACTOR SHALL OBTAIN AN EPA NOTICE OF INTENT (NOI) AND IMPLEMENT SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO COMMENCING CONSTRUCTION.

LEGEND

EXISTING ITEMS	PROPOSED ITEMS
Property Line	SUBLOT LINE
Adjoiner's Lot Line	REINFORCED TURF PER LANDSCAPE ARCHITECT
Found Rebar	HEATED PAVERS
5' Contour Interval	SEWER MANHOLE
1' Contour Interval	SEWER CLEANOUT
Edge of Asphalt	SEWER SERVICE
Sewer Main	SEWER MAIN
Water Main	WATER METER
Water Service	WATER SERVICE
Painted Gas Line	WATER MAIN
Painted Electric Line	WATER MANHOLE
Painted CATV Line	WATER CAP AND THRUST BLOCK
Wood Fence	WATER VALVE
Electric Box	DRYWELL
Gas Marker	CATCH BASIN
Electric Marker	STORM DRAIN
Sewer Manhole	POWER LINE (PRIMARY)
Telecom Box	POWER LINE (SECONDARY)
Water Valve	TRANSFORMER (POWER)
Water Meter	JUNCTION BOX (POWER)
Sewer Service	CABLE TV RISER
CATV Box	TELEPHONE RISER
Catchbasin	
Fire Hydrant	

FLUSHING AND DISINFECTION

- FLUSHING PRIOR TO DISINFECTION
 - BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
 - USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
 - IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A TAP OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
 - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
 - EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL THAT MAY HAVE ENTERED THE MAINS.
 - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
 - DISINFECTION OF WATER PIPES
 - GENERAL
 - COMPLY WITH ANSII/AWWA C 651 - DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - KEEP THE INTERIOR OF ALL PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
 - LIQUID CHLORINE
 - FORM LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - STANDARD: ANSII/AWWA B 301.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND EJECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - SODIUM HYPOCHLORITE
 - FORM LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
 - STANDARD: ANSII/AWWA B 300.
 - CALCIUM HYPOCHLORITE
 - FORM GRANULAR OR IN 5G TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
 - STANDARD: ANSII/AWWA B 300.
 - METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
 - TAPLET IN EACH HYDRANT, BRANCH AND OTHER APPURTENANCES. ATTACH TABLETS TO THE INSIDE OF THE PIPE USING AN ADHESIVE SUCH AS PERMATEX NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE TAPLET EXCEPT ON THE BROAD SIDE ATTACHED TO THE SURFACE OF THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE TIP OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBERS OF TABLETS AT EACH END OF A GIVEN PIPE LENGTH. IF THE TABLETS ARE ATTACHED BEFORE THE PIPE SECTION IS PLACED IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLETS AT THE TOP.
 - TAPLET QUANTITY: REFER TO TABLE 3
 - ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
 - BASED ON 3.25G AVAILABLE CHLORINE PER TAPLET.
 - FILLING PROCEDURE: WHEN GRANULE OR TAPLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 41° F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
 - CONTINUOUS FEED METHOD.
 - SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
 - RESIDUAL: 10 MG/L AT 24 HOURS.
 - DOSING METHODS:
 - LIQUID CHLORINE: SOLUTION FEED VACUUM-OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
 - DIRECT FEED: NOT ALLOWED.
 - HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
 - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOES. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END OF THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
 - SLUG METHOD.
 - SOLUTION STRENGTH: 100 MG/L
 - DOSING METHODS: PER ENGINEER'S DIRECTION.
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE. APPLY THE TIME CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR 'SLUG' OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
- FINAL FLUSHING.
 - AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE
 - DAMAGE SURROUNDING PROPERTIES
 - TAKE PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
 - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEQ STAFF PRIOR TO FLUSHING.
- BACTERIOLOGICAL TESTS.
 - AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA.
 - TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
 - UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.
- REDISINFECTION.
 - IF THE INITIAL DISINFECTION FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFRESH AND RESAMPLE THE MAIN.
 - IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.
- SWABBING.
 - IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

TABLE 1
REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES
40 PSI RESIDUAL PRESSURE IN WATER MAIN (1)

Pipe Diam. (inch)	Flow Required to Produce 2.5 fps (approx) (Gpm)	Size of Tap (inch)		Hydrant Outlets	
		(1) (1-1/2)	(2)	Number	Size (inch)
4	100	1	1	1	2-1/2
6	220	1	1	1	2-1/2
8	400	2	1	1	2-1/2
10	600	3	2	1	2-1/2
12	900	4	2	2	2-1/2
16	1600	4	2	2	2-1/2

TABLE 2
OUNCES OF GRANULES

Pipe Diameter (inches)	Amount (ounces)
4	1.7
6	3.5
8	5.7
10	10.5
12	15.1
16	26.8
18	34.0
20	41.9
24	60.4

TABLE 3
NUMBER OF TABLETS (1)

Pipe Diameter (inches)	Number of 5g Tablets (2)
4	1
6	1
8	2
10	3
12	4
16	6
18	7
20	9
24	13

- With a 40 psi pressure in the main with the hydrant flowing to atmosphere, a 2-1/2 inch hydrant outlet will discharge approximately 1,000 gpm and a 4-1/2 inch hydrant will discharge approximately 2,500 gpm.
- Number of taps on pipe based on discharge through 5 feet of galvanized iron (GI) pipe with one 90° elbow.

SEWER CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND THE CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEQ APPROVAL STAMP AND A COPY OF THE DEQ APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL MAINS AND SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON THIS SHEET). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPCW STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.542.07.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- ALL SEWER SERVICE STUBS SHALL BE MARKED AND CAPPED WITH A GREEN PAINTED METAL FENCE POST. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPCW. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH (ISPCW) TYPE I BEDDING MATERIAL.
- TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER MAINS AND SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".
- ALL SEWER MAINS SHALL BE CONSTRUCTED OF PVC PIPE CONFORMING TO ASTM D3034 SDR 35. MINIMUM PIPE DIAMETER FOR GRAVITY SEWER MAINS SHALL BE 8-INCHES. MINIMUM SLOPE FOR 8-INCH SEWER MAIN SHALL BE 0.4%. INSTALL PIPE AT SLOPES INDICATED ON PLANS.
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISPCW STANDARD DRAWING SD-501. MINIMUM DIAMETER SHALL BE 48 INCHES, AT ALL PIPE INTERSECTION, CHANGES IN ALIGNMENT, CHANGES IN GRADE, AND AT TERMINAL ENDS.

WATER MAIN CONSTRUCTION NOTES

- WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF KETCHUM STANDARDS. NO WATER MAIN OR SERVICES SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
- WATER MAINS AND SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
- ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPCW SECTION 401.3.6 AND THE CITY OF KETCHUM STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPCW SECTION 401 AND THE CITY OF KETCHUM SPECIFICATIONS.
- SEE FLUSHING AND DISINFECTION REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF KETCHUM WATER AND SEWER DEPARTMENT FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSIS/ASTM STANDARD 60601. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25%pb BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPCW SD-403 AND THE CITY OF KETCHUM STANDARDS.
- ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM. "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPCW SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPCW SD-406 AND THE CITY OF KETCHUM SPECIFICATIONS.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF KETCHUM STANDARDS.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSII/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
- ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON THIS SHEET). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPCW SECTION 404 AND THE CITY OF KETCHUM STANDARDS. A USE EIC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF KETCHUM WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
- EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

PURPOSE: ISSUE FOR DESIGN REVIEW (12/31/19)

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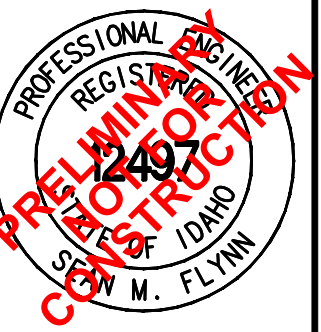
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DRIVEWAY PLAN AND PROFILE SHEET
WEST KETCHUM RESIDENCES

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MAGLEBY CONSTRUCTION

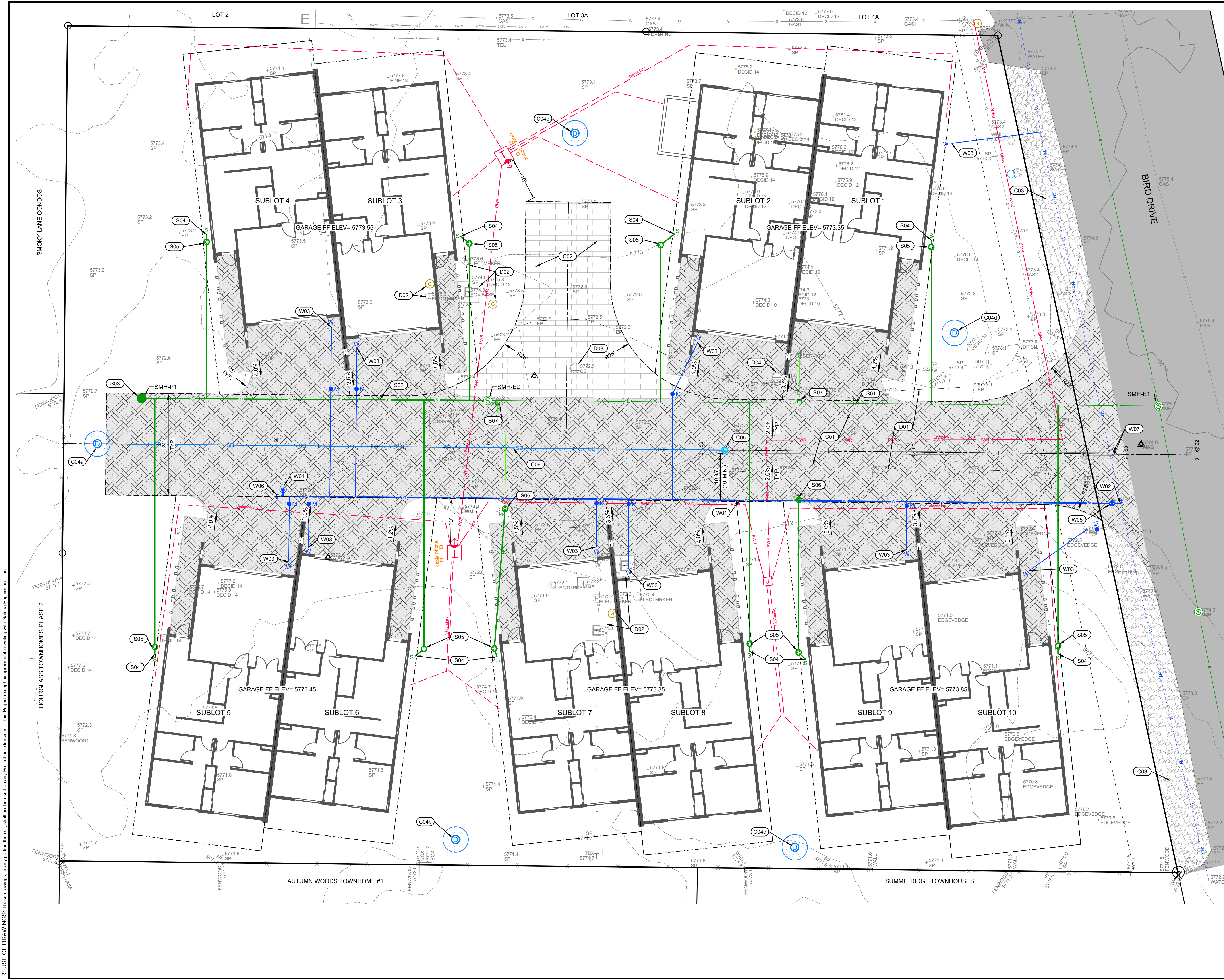
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GENERAL NOTE
SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.

- CONSTRUCTION KEYNOTES**
- DEMOLITION**
- (D01) DEMOLISH AND REMOVE EXISTING ASPHALT DRIVEWAY
 - (D02) REMOVE OR ABANDON EXISTING UTILITY IN PLACE. COORDINATE WITH IDAHO POWER OR INTERMOUNTAIN GAS
 - (D03) REMOVE EXISTING DRYWELL
 - (D04) REMOVE EXISTING CATCH BASIN

- SITE AND DRAINAGE IMPROVEMENTS**
- (C01) CONSTRUCT HEATED PAVER DRIVEWAY PER DETAIL 4, SHEET C2.0
 - (C02) INSTALL TURF CELL PRODUCT WITH PAVER EDGE DELINEATION PER LANDSCAPE ARCHITECT IN FIRE TRUCK TURN AROUND.
 - (C03) INSTALL GRAVEL SHOULDER PER DETAIL 5, SHEET C2.0
 - (C04) INSTALL DRYWELL PER DETAIL 7, SHEET C2.0
 - a. RIM ELEV = ±5772.0
 - IE IN (EAST) = 5765.52
 - b. RIM ELEV = ±5771.0
 - c. RIM ELEV = ±5771.5
 - d. RIM ELEV = ±5772.5
 - e. RIM ELEV = ±5771.75
 - (C05) INSTALL CATCH BASIN PER DETAIL 2, SHEET C2.0
 - RIM ELEV = 5772.46
 - IE OUT (WEST) = 5768.46
 - (C06) INSTALL 147 LF 12"Ø D3034 PVC PIPE @ S=2.0% MIN.

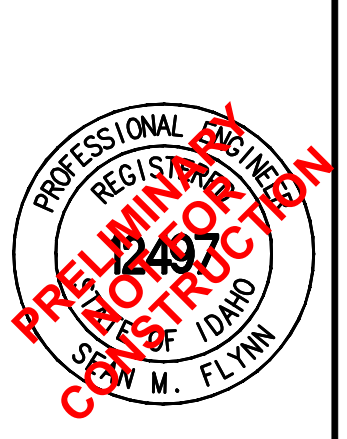
- SEWER KEY NOTES**
- (S01) RETAIN AND PROTECT EXISTING SEWER MAIN
 - (S02) INSTALL SEWER MAIN. SEE PROFILE SHEET C1.1
 - (S03) INSTALL SANITARY SEWER MANHOLE. SEE PROFILE SHEET C1.1
 - (S04) INSTALL 4" SEWER SERVICE.
 - (S05) INSTALL CLEAN-OUT PER ISPPWC SD-506A
 - (S06) INSTALL CLEAN-OUT AND EXTEND 4" SEWER SERVICE TO PROPOSED BUILDING.
 - (S07) LOCATE, CUT, CAP, AND ABANDON EXISTING SEWER SERVICE.

- WATER KEY NOTES**
- (W01) POTABLE/NON-POTABLE CROSSING. SEE ISPPWC DETAIL SD-407 AND SHEET C0.1 FOR SEPARATION REQUIREMENTS.
 - (W02) POINT OF WATER CONNECTION. COORDINATE TAP AND INSTALLATION OF TAPPING VALVE WITH CITY.
 - (W03) INSTALL 1" WATER SERVICE PER CITY OF KETCHUM STANDARDS
 - (W04) INSTALL 4" BLOW-OFF ASSEMBLY PER ISPPWC STANDARD DRAWING SD-405.
 - (W05) INSTALL 8" GATE VALVE
 - (W06) INSTALL 8" CAP W/ THRUST BLOCK
 - (W07) LOCATE, CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT THE MAIN IN BIRD DRIVE.

DRIVEWAY GRADING, DRAINAGE, AND UTILITY PLAN
WEST KETCHUM RESIDENCES

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

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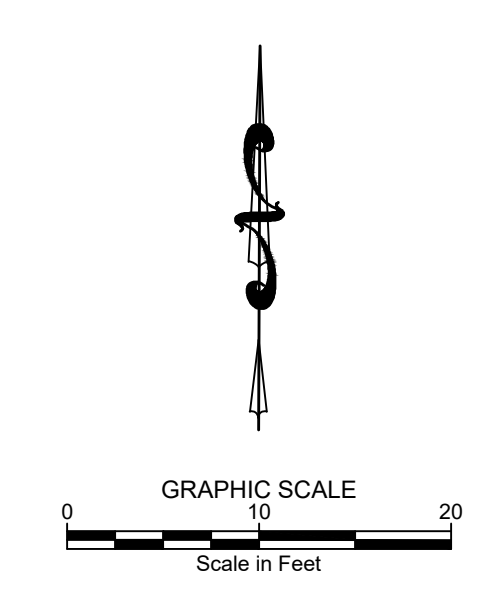
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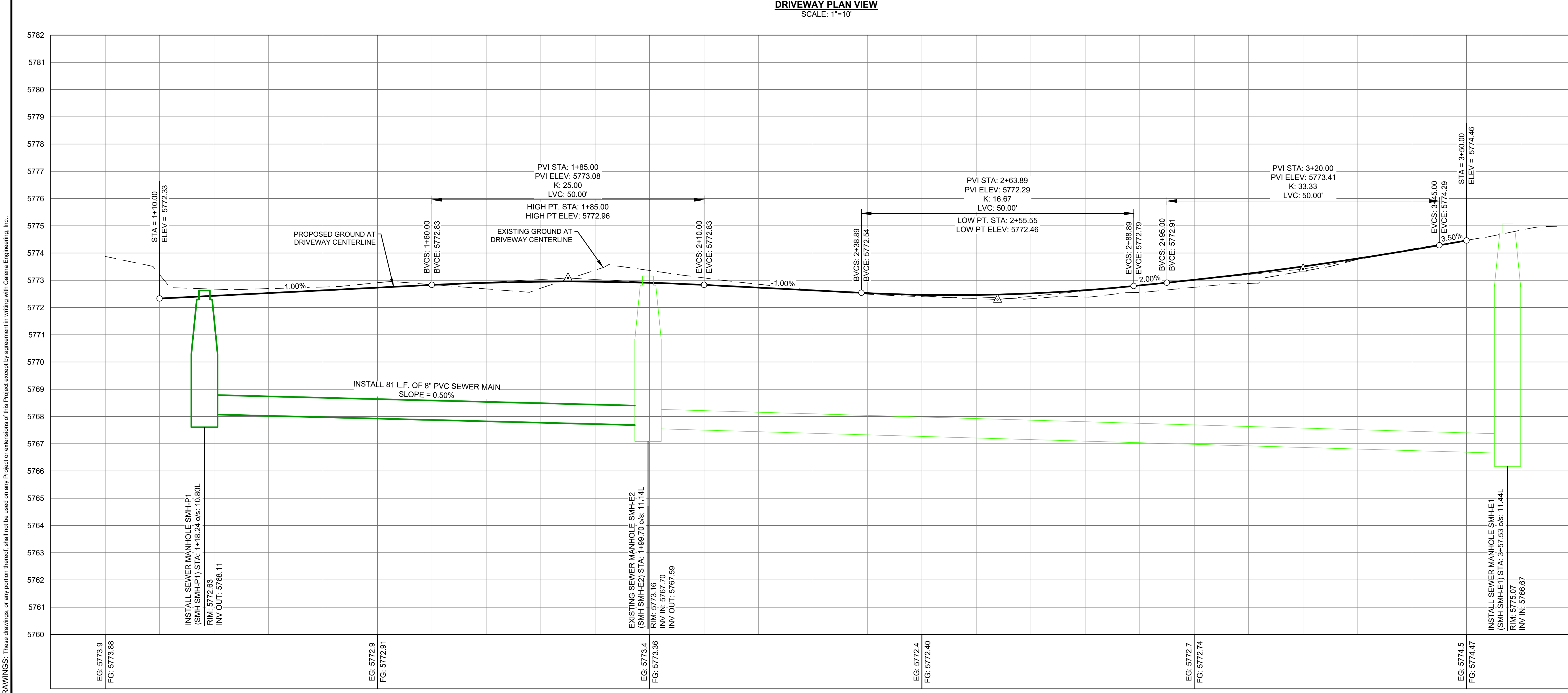
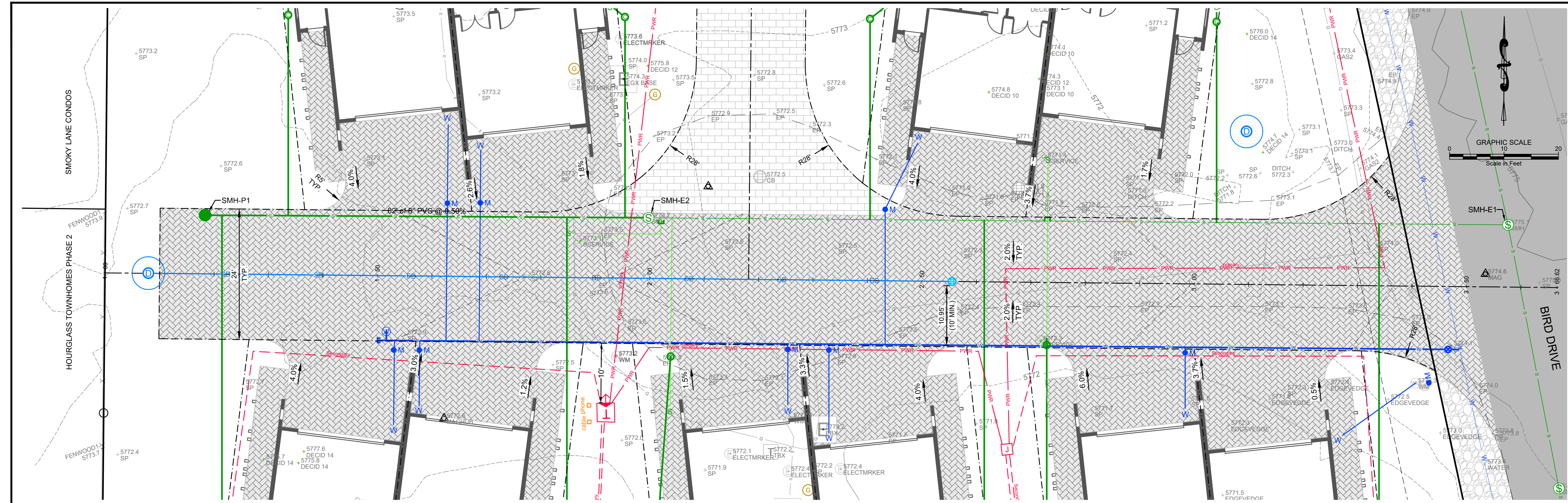
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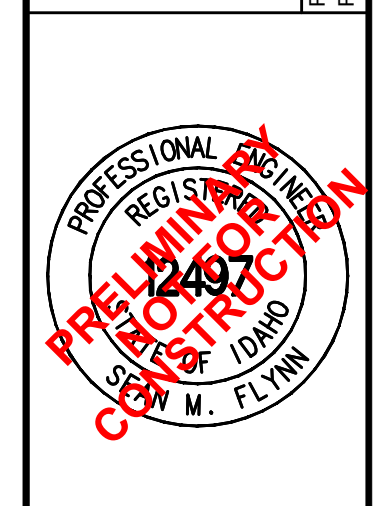


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DRIVEWAY PLAN AND PROFILE
WEST KETCHUM RESIDENCES

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: MAGLEY CONSTRUCTION

PROJECT INFORMATION
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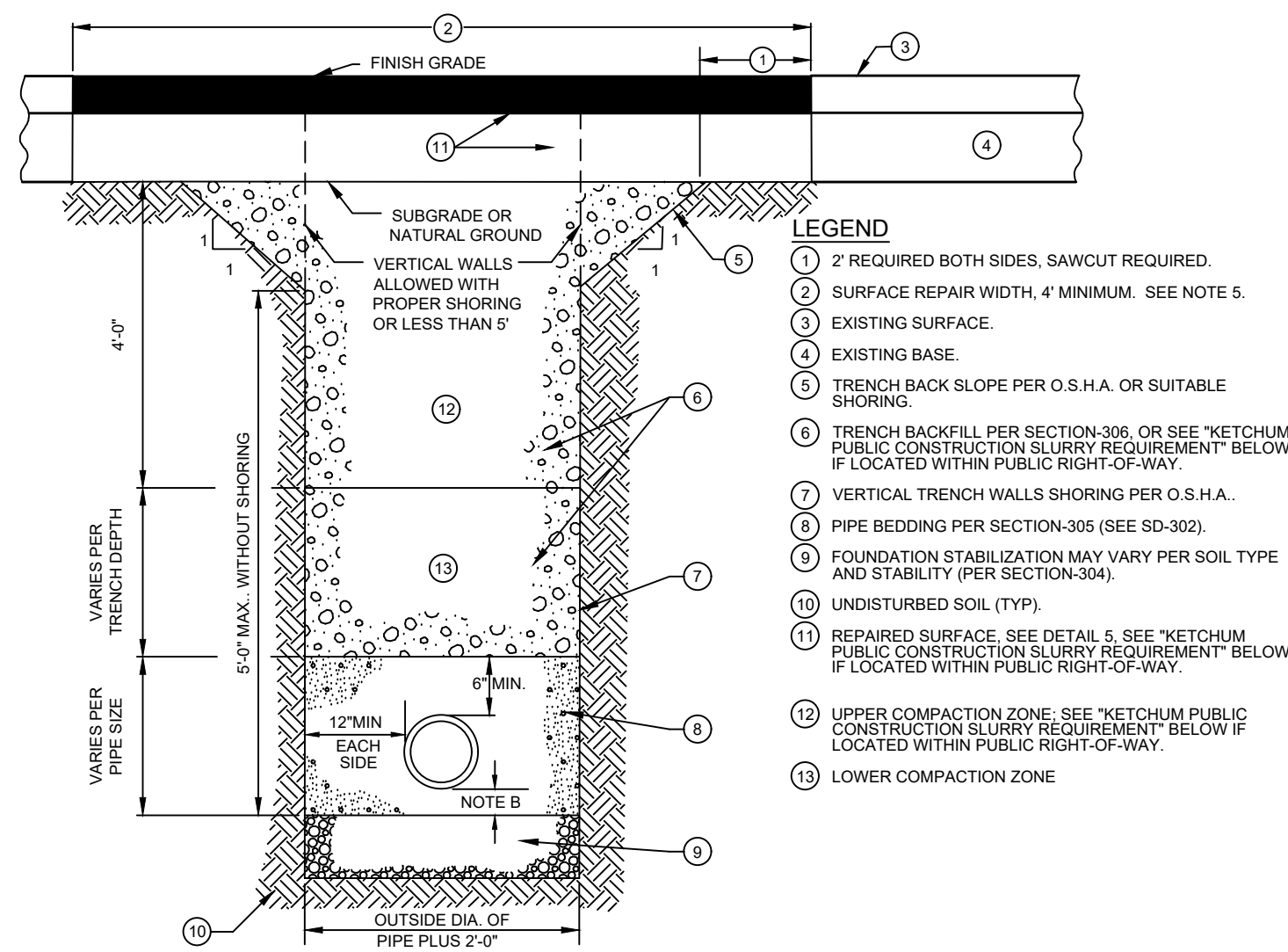
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- LEGEND**
- 2" REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION 306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION 305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 306).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE. SEE DETAIL 5, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

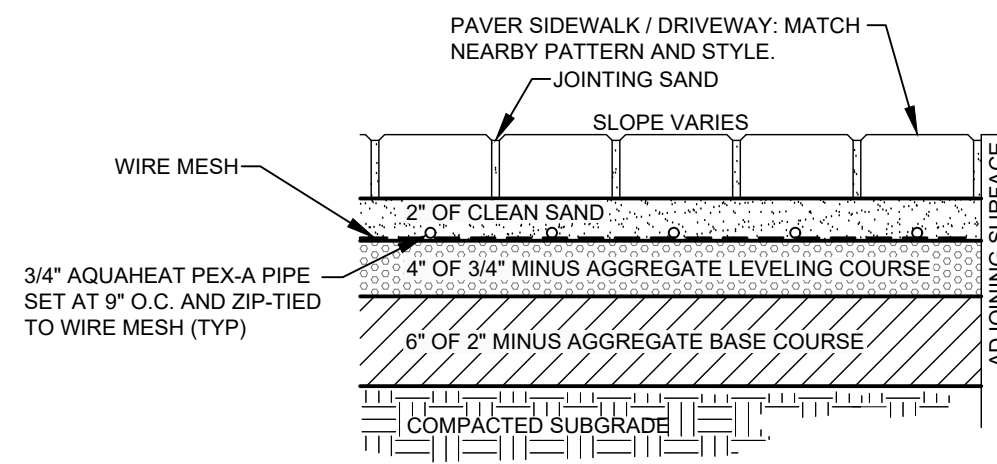
COARSE AGGREGATE (1/2" MINUS)	2,800 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

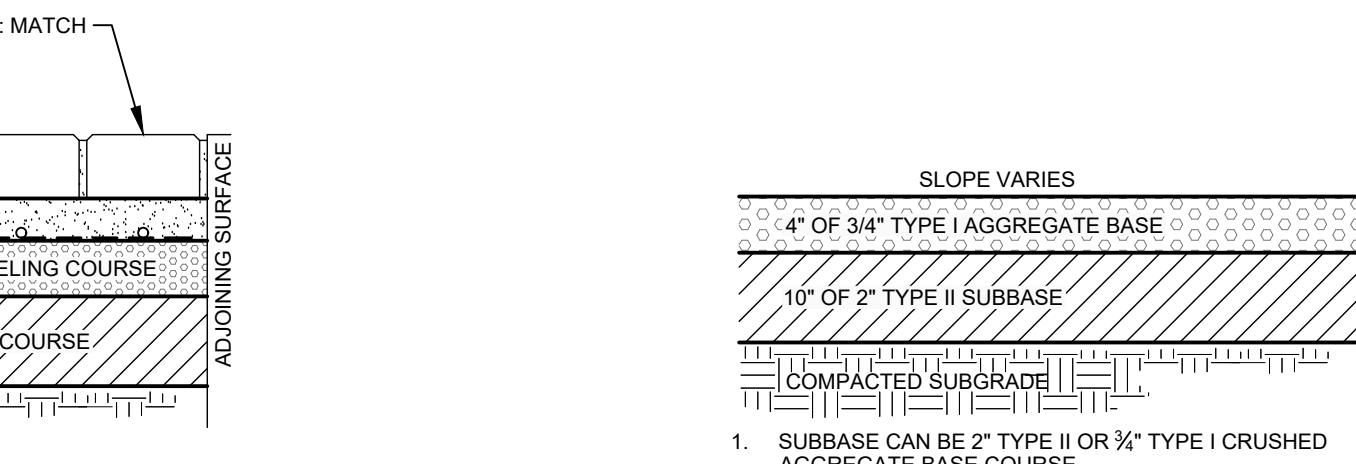
- NOTES:**
- TRENCH EXCAVATION PER SECTION 301.
 - PIPE BEDDING PER SECTION 305.
 - BACKFILL AND COMPACTION PER SECTION 306.
 - SURFACE REPAIR AND BASE PER DETAIL 3.
 - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
 - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

1 TYPICAL TRENCH
 C2.0 N.T.S.

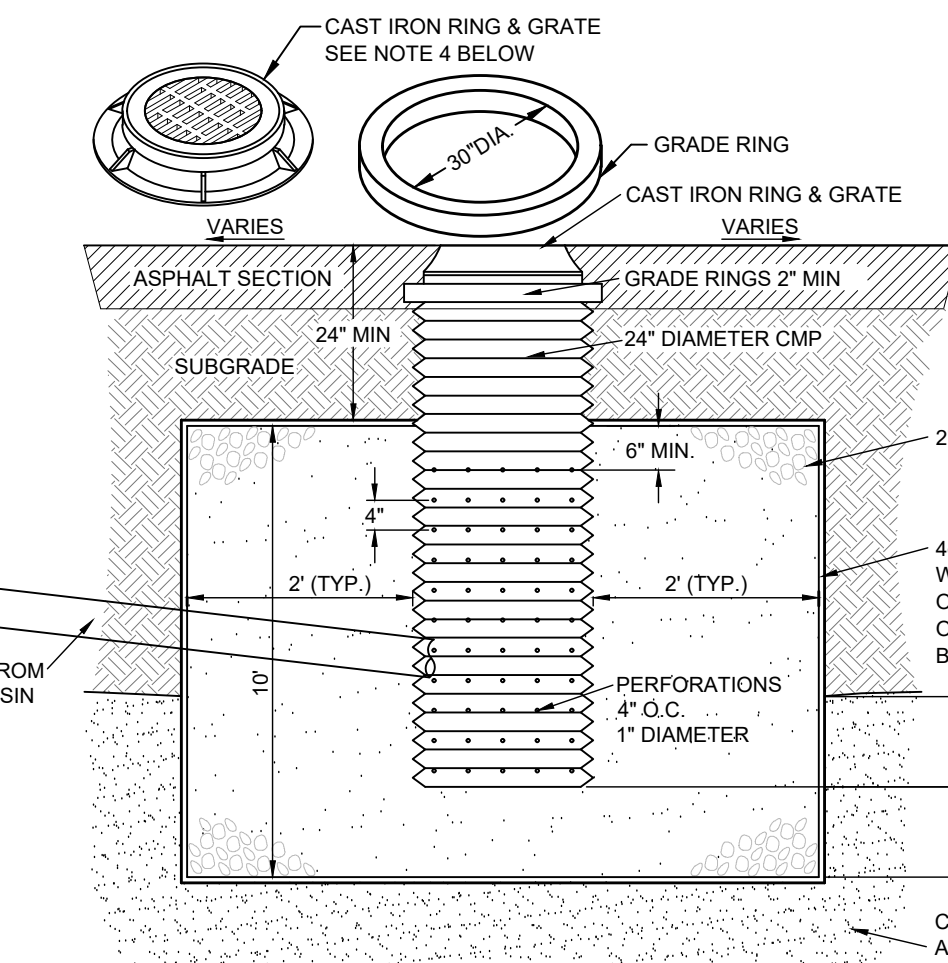


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - INSTALL INSULATION PER PLUMBER IF REQUIRED.

4 PAVER DETAIL
 C2.0 N.T.S.

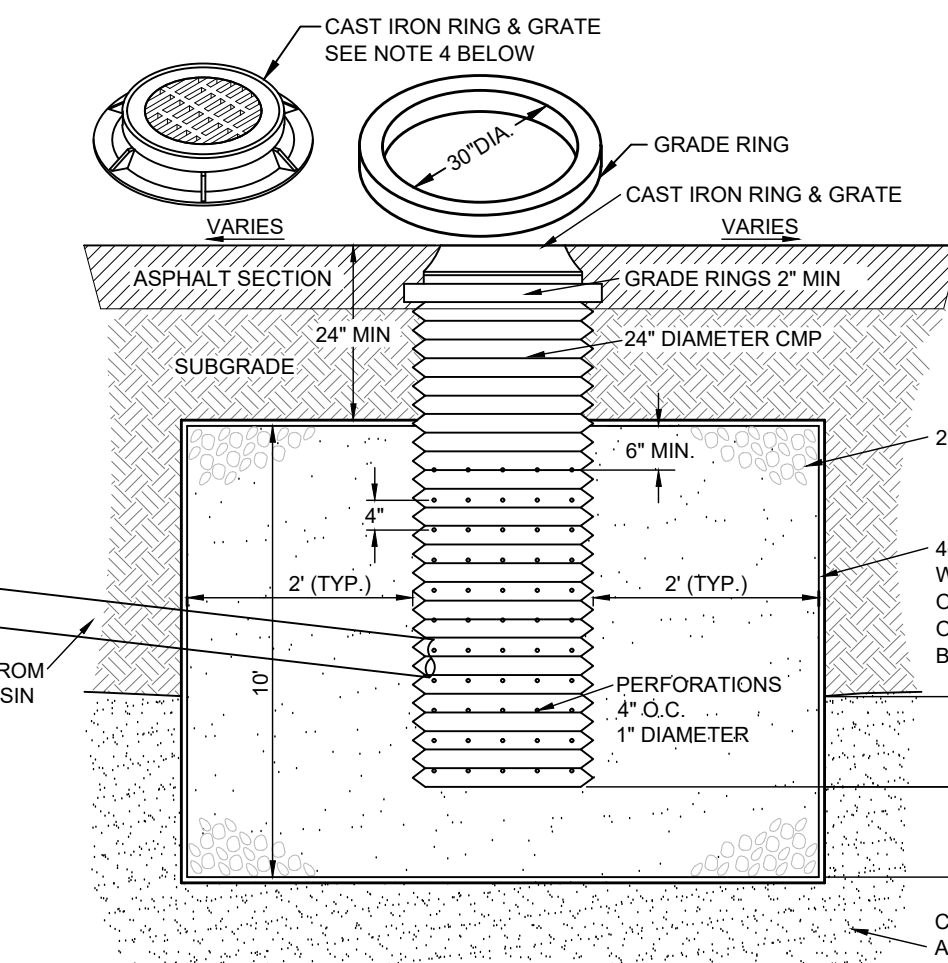


5 TYPICAL GRAVEL SECTION
 C2.0 N.T.S.

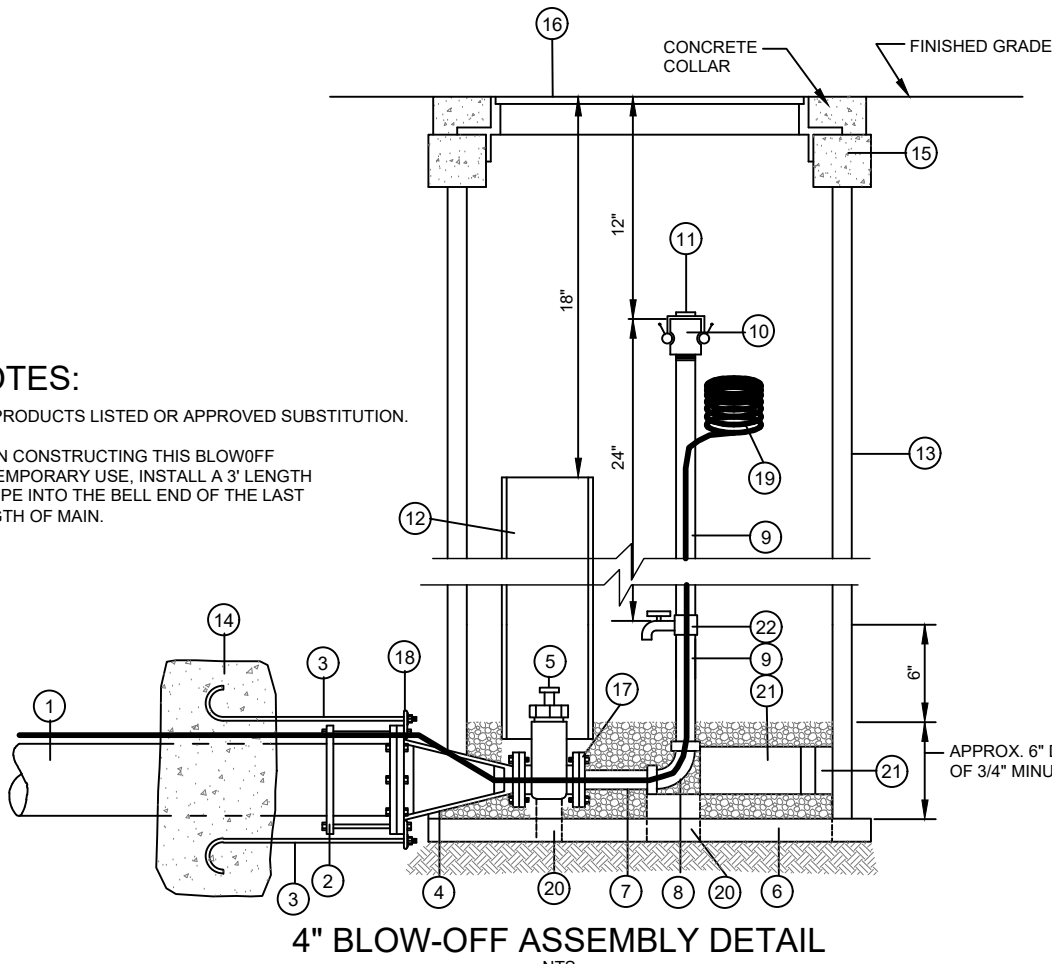


- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

7 DRYWELL
 C2.0 N.T.S.

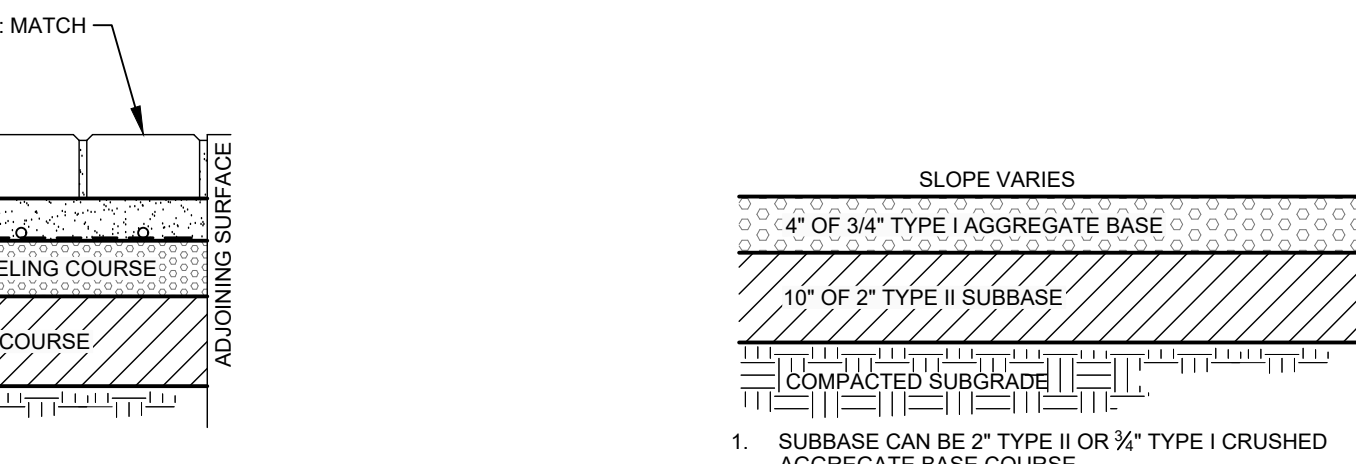


- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.



- NOTES:**
- ALL PRODUCTS LISTED OR APPROVED SUBSTITUTION.
 - WHEN CONSTRUCTING THIS BLOWOFF AS TEMPORARY USE, INSTALL A 3' LENGTH OF PIPE INTO THE BELL END OF THE LAST LENGTH OF MAIN.
- LEGEND**
- WATER MAIN (SIZE VARIES). BELL END REQUIRED FOR TEMPORARY INSTALLATION WITH 18" PIPE SECTION.
 - UNI-FLANGE RETAINER SERIES 1300 FOR PVC PIPE.
 - 3/4" RODS 2 REQUIRED ON 6" AND SMALLER, 3/4" RODS 4 REQUIRED ON 8" AND LARGER.
 - MAIN SIZE MU X 4" REDUCER. IF 4" MAIN, GATE VALVE TO BE MU X 4".
 - GATE VALVE RESILIENT WEDGE FLANGE X FLANGE.
 - PRE-CAST GRADE 2" RING USED TO SUPPORT CMP (33" O.D.) CONCRETE.
 - 4" X 6" THREADED GALVANIZED NIPPLE.
 - 4" THREADED GALVANIZED 90° ELBOW.
 - 4" THREADED GALVANIZED PIPE.
 - THREADED X ALUM. KAM-LOCK QUICK COUPLING MALE ADAPTER.
 - KAM-LOCK CAP.
 - PLASTIC VALVE BOX BOTTOM SECTION.
 - 30" CMP CUT TO FIELD LENGTH.
 - HAMMERHEAD THRUST BLOCK 10.3 SQ. FT.
 - 4" X 38" O.D. PRE-CAST CONCRETE GRADE RING MIN. 1 1/4" GRADE RING MAX. 1 1/4" GRADE RING AND 1 1/2" GRADE RING (OTHERWISE CMP EXTENSION AND CMP BAND).
 - WATER MANHOLE RING AND LID.
 - 4" COMPANION FLANGE CAP TAPPED 4" F.I.P.
 - EYE-BOLTS.
 - LOCATOR WIRE-LONG ENOUGH TO BE PULLED UP AND OUT TO ABOVE GROUND LEVEL. SEE SD 514 FOR SPLING.
 - PRE-CAST CONCRETE BLOCKS.
 - PRE-CAST CONCRETE BLOCKS WEDGED IN PLACE. FILL VOID BETWEEN TILE AND BLOCKS.
 - 1 1/4" DRAIN VALVE WITH SADDLE (1/4 TURN TO OPEN).

6 4" BLOW-OFF ASSEMBLY
 C2.0 (ISPCW SD-405)
 N.T.S.



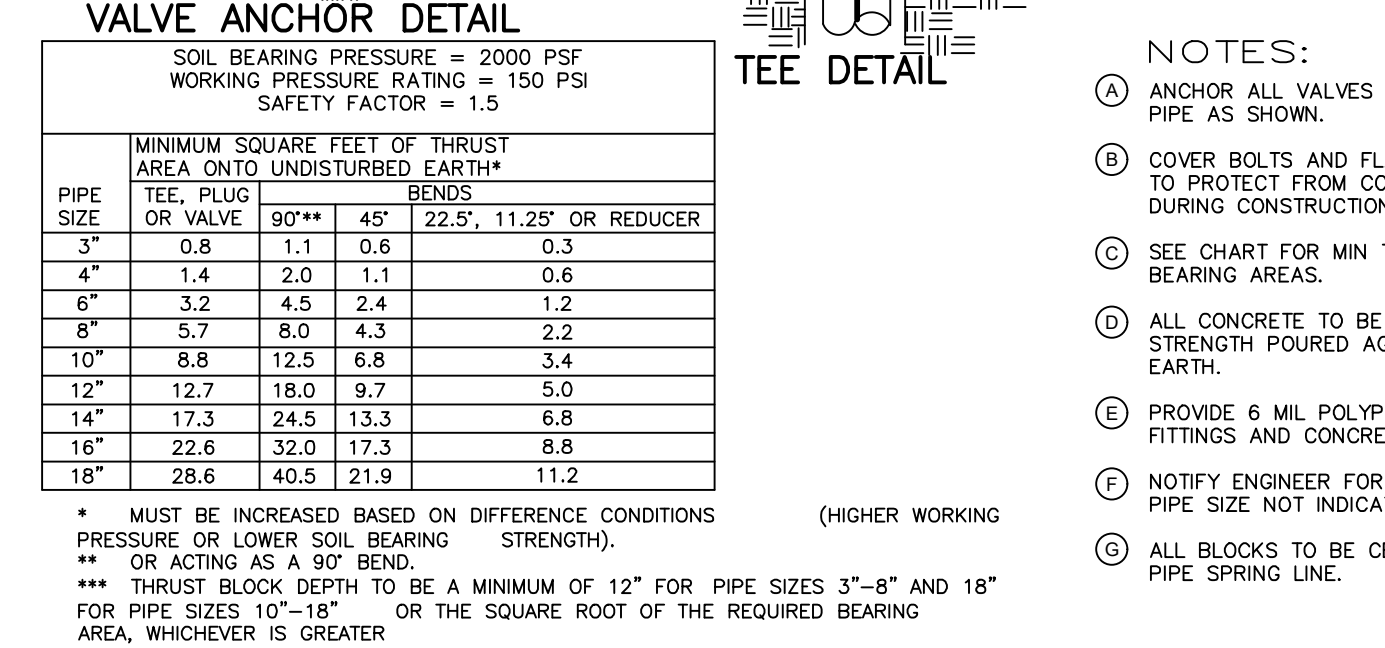
3 THRUST BLOCK AND ANCHOR DETAILS
 C2.0 (ISPCW SD-403)
 N.T.S.

SOIL BEARING PRESSURE = 2000 PSF
 WORKING PRESSURE RATING = 150 PSI
 SAFETY FACTOR = 1.5

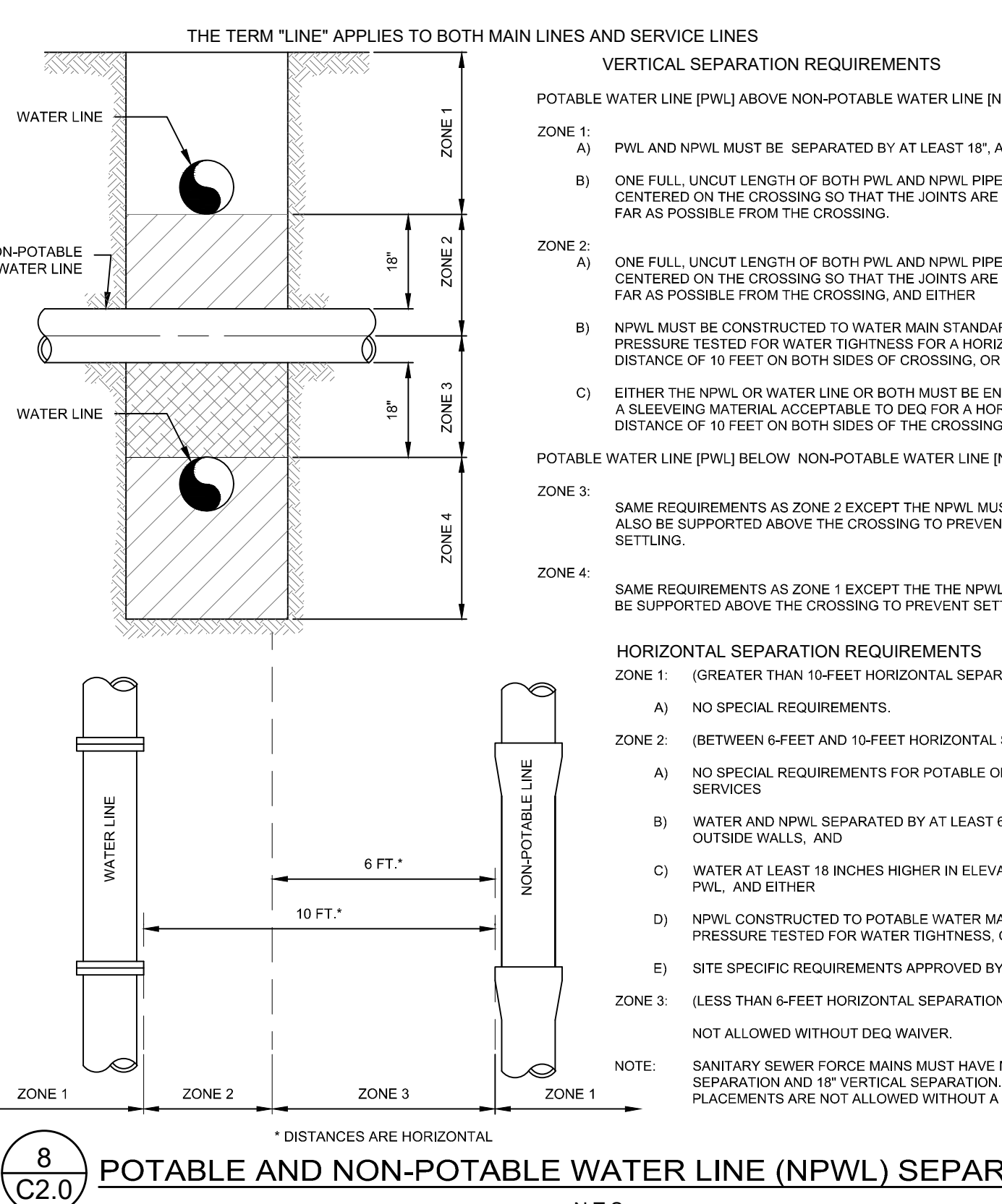
PIPE SIZE	TEE	PLUG	BENDS
3"	0.8	1.1	0.6
4"	1.4	2.0	1.1
6"	3.2	4.5	2.4
8"	5.7	8.0	4.3
10"	8.8	12.5	6.8
12"	12.7	18.0	9.7
14"	17.3	24.5	13.3
16"	22.6	32.0	17.3
18"	28.6	40.5	21.9

* MUST BE INCREASED BASED ON DIFFERENCE CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR ACTING AS A 90° BEND.
 *** THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

- NOTES:**
- ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.
 - COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS BEARING AREAS.
 - SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
 - ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.
 - PROVIDE 6 MIL. POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
 - NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
 - ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.



- VERTICAL SEPARATION REQUIREMENTS**
- POTABLE WATER LINE (PWL) ABOVE NON-POTABLE WATER LINE (NPWL)
- ZONE 1:
 A) PWL AND NPWL MUST BE SEPARATED BY AT LEAST 18", AND
 B) ONE FULL UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2:
 A) ONE FULL UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING, AND EITHER
 B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING, OR
 C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- POTABLE WATER LINE (PWL) BELOW NON-POTABLE WATER LINE (NPWL)
- ZONE 3:
 SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4:
 SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: (GREATER THAN 10-FEET HORIZONTAL SEPARATION):
 A) NO SPECIAL REQUIREMENTS.
- ZONE 2: (BETWEEN 6-FEET AND 10-FEET HORIZONTAL SEPARATION):
 A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
 B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS, AND
 C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE PWL, AND EITHER
 D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS, AND PRESSURE TESTED FOR WATER TIGHTNESS, OR
 E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: (LESS THAN 6-FEET HORIZONTAL SEPARATION):
 NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.



8 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
 C2.0 N.T.S.

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

WEST KETCHUM RESIDENCES
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MAGLEBY CONSTRUCTION

REVISIONS

NO.	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR DESIGN REVIEW (12/31/19)

C2.0



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019

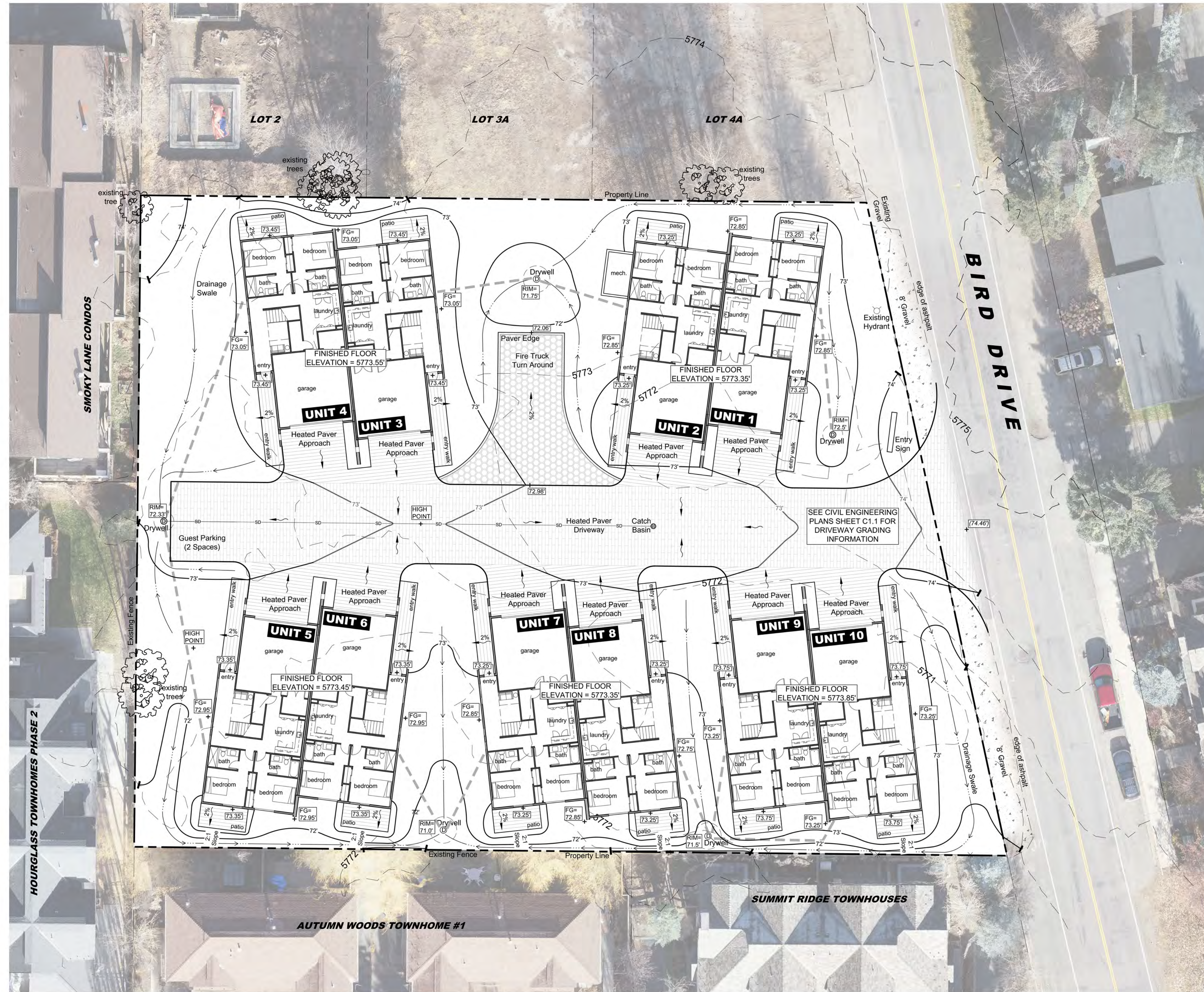
DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
12/31/19 Design Review

DESIGN REVIEW SET

GRADING & DRAINAGE PLAN

L1



PLAN LEGEND

- Property Boundary**
(Per Survey)
- Adjacent Lot Line**
- Compacted Gravel**
(8' Wide x 6" Thick)
- Heated Paver Approach & Walkway**
(Colored Tones To Match Architecture)
- Heated Paver Driveway**
(Colored Tones To Match Architecture)
- Paver Edging**
- Reinforced Grass Fire Truck Turn Around**
(Turf Cell)

GRADING LEGEND

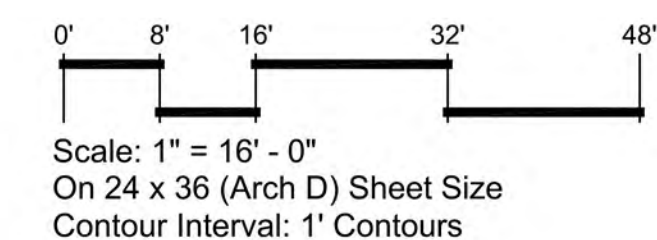
- Existing 1' Contour**
(Per LIDAR 2015 Survey)
- Proposed 1' Contour**
- Proposed Driveway Contour**
(See Civil Plans For More Information)
- Proposed Drainage Swale**
- Proposed Engineered Drywell**
(See Civil Plans For More Information)
- Proposed Building Drainage**
(Connected To Drainage System)
- Proposed Drainage**
(Slope Percentage And Direction)
- Existing Spot Elevation**
- Proposed Spot Elevation**

GRADING ABBREVIATIONS

- FFE** FINISHED FLOOR ELEVATION
- GB** GRADE BREAK
- FG** FINISHED GRADE

GRADING NOTES

1. Driveway grading & drainage by Galena Engineering, see civil plans for more information.
2. Landscape architect shall review grading on site prior to completion.
3. Topsoil shall be imported for all grass and planting bed areas at a depth of 6" min.
4. Best Management Erosion Control practices will be followed. An NOI and SWPPP plan will be submitted to the EPA and implemented on site during construction.





LANDSCAPE LEGEND

- Property Boundary**
(Per Survey)
- Adjacent Lot Line**
- Existing 1' Contour**
- Proposed 1' Contour**
(See Grading Plan For More Information)
- Proposed Drywells**
(See Grading Plan For More Information)
- Steel Edging**
- Compacted Gravel**
(8' Wide x 6" Thick)
- Heated Paver Approach & Walkway**
(Colored Tones To Match Architecture)
- Heated Paver Driveway**
(Colored Tones To Match Architecture)
- Paver Edging**
- Reinforced Grass**
Fire Truck Turn Around
(Turf Cell)
- Snow Storage Areas**
(30% Provided)
- Existing Tree To Remain**
- Existing Tree To Be Removed**
- Existing Shrubs To Be Removed**

NOTE: NO SITE LIGHTING IS PROPOSED

PLANT LEGEND

symbol	quan	description	size	photo examples
	16	Evergreen Trees Sub Alpine Fir - <i>Abies lasiocarpa</i> Blackhills Spruce - <i>Picea glauca densata</i> Vanderwolf's Pine - <i>Pinus flexilis 'VP'</i>	10'-14'	
	18	Evergreen Screening Rocky Mountain Juniper - <i>Juniperus scopulorum</i> Blue Columnar Spruce - <i>Picea pungens 'Iseli Fastigiate'</i>	10'-14'	
	3	Deciduous Shade Trees Autumn Blaze Maple - <i>Acer x freemanii</i>	3" Cal.	
	18	Deciduous Trees Quaking Aspen - <i>Populus tremuloides</i>	2"-3" Cal.	
	150	Shrub Massing Peking Cotoneaster - <i>Cotoneaster ilicoides</i> Diablo Ninebark - <i>Physocarpus opulifolius 'Diablo'</i> Common Snowberry - <i>Symphoricarpos albus</i> American Cranberrybush - <i>Viburnum trilobum</i>	5 Gal.	
	234	Ornamental Grasses Reed Grass - <i>Calamagrostis x s. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i>	5 Gal.	
	30	Native Perennials & Grasses Coneflower - <i>Echinacea</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavendar - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i>	1 Gal.	
	4,800 sq ft	Maintained Grass Fescue Blend	Sod	
	5,300 sq ft	Low Maintenance Grass Scottish Links Blend	Hydroseed	



steel edging example



turf cell photo example



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019

DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
12/31/19 Design Review

DESIGN REVIEW SET
LANDSCAPE PLAN

IRRIGATION NOTES

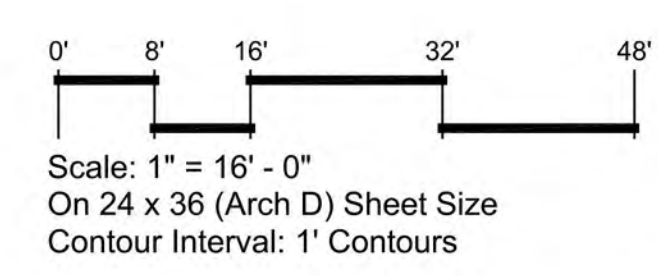
- Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and rain/freeze sensor for a water wise system.
- Drip irrigation shall be installed adjacent to buildings and around tree plantings in natural areas.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- Irrigation supply connected to the developments water system. The point of connection will include an approved backflow prevention device and water meter.

FIREWISE NOTES

- Plants to be carefully spaced, low-growing and free of resins, oils, and waxes that burn easily.
- Landscape adjacent to buildings shall be irrigated, mowed, and maintained regularly to eliminate ladder fuel configurations.
- Irrigation shall be used regularly to prevent landscape from dying and drying out.
- A mixture of deciduous and coniferous trees to be used.
- Create "fuel breaks", like driveways, gravel walkways and lawns.

LANDSCAPE NOTES

- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Planting beds adjacent to buildings to have 3" of decorative rock.
- All other planting areas and tree rings to have 3" cover of bark or mulch.
- Aerial image from drone flight dated 11/18/2019.





PLAN VIEW



0' 15' 30' 60' 90'
Scale: 1" = 30' - 0"
On 24 x 36 (Arch D) Sheet Size



PROJECT VISUALIZATION 1



EXISTING CONDITION 1



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
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DRAWN BY
Nathan Schutte

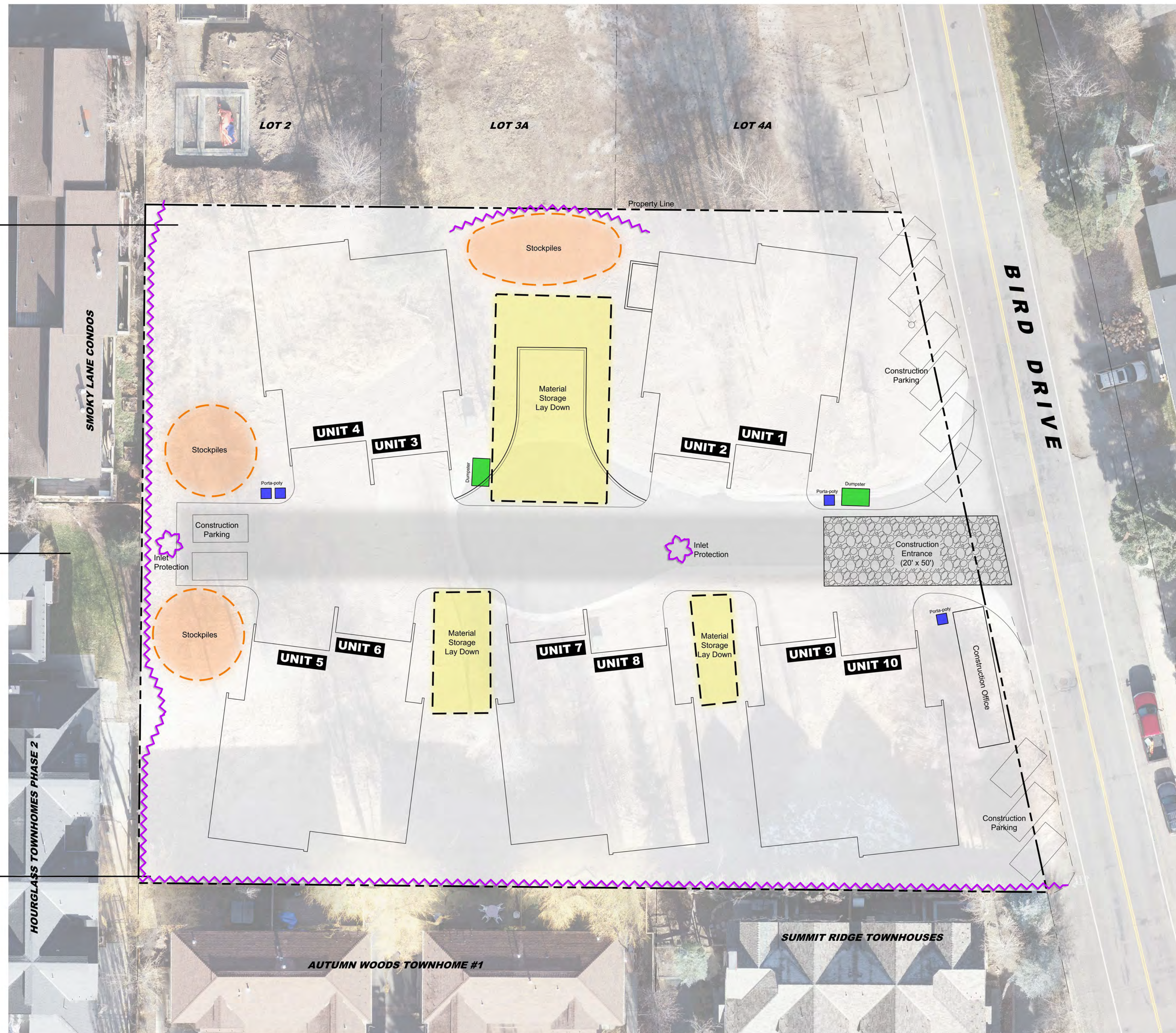
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		12/31/19	Design Review

DESIGN REVIEW SET

SITE AERIAL VISUALIZATION



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PHASE 1
 4 UNITS
 START DATE
 SPRING/SUMMER 2020

PHASE 2
 6 UNITS
 START DATE
 FALL 2020

CONSTRUCTION MANAGEMENT NOTES

1. Bird Drive Road will remain clear during construction for emergency access and response.
2. Material storage areas will be secured with fencing as needed.
3. Hours of activity and construction will meet the City of Ketchum ordinance.
4. Dust control with a water truck will be used as needed during the dry summer months.
5. Street sweeping of existing roadway will be used as needed. During excavation and heavy site work sweeping will be provided weekly.
6. The project will be an OSHA compliant job site with weekly job site safety meetings.
7. For extra safety and OSHA compliance, regular third party safety inspections will be performed.
8. Best Management Erosion Control practices will be followed. An NOI and SWPPP plan will be submitted to the EPA and implemented on site during construction.

NOTE: NO CONSTRUCTION FENCE IS PROPOSED

LEGEND

- Property Line
- Construction Entrance (20' Wide x 50' Long)
- Material Storage, Lay Down, & Staging
- Stockpiles
- Construction Parking
- Dumpster For Recycling & Trash
- Restrooms (Porta-poty)
- Erosion Control - Straw Wattle

PROJECT
WEST KETCHUM RESIDENCES
 150 BIRD DRIVE
 Ketchum, Idaho

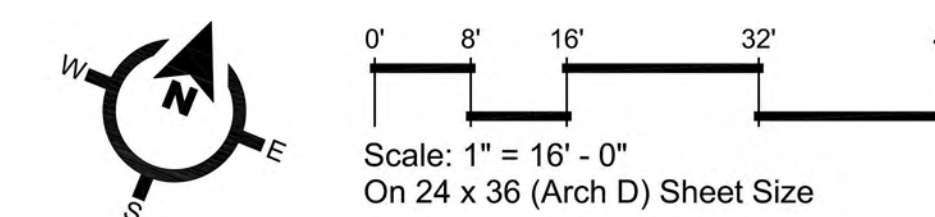
DOCUMENT DATE
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 Nathan Schutte

REVISION
 No. Date Remark
 12/31/19 Design Review

DESIGN REVIEW SET

CONSTRUCTION MANAGEMENT PLAN





FOR
REFERENCE
ONLY

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201914

DRAWN BY | EMB
CHECKED BY | EMB

CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

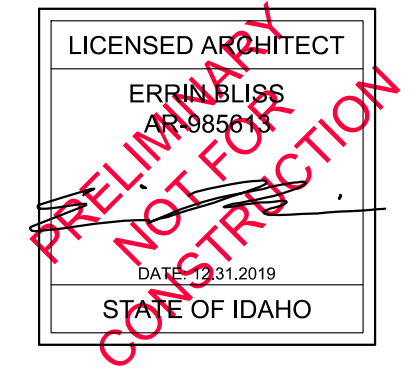
CONTEXT SITE
PLAN

AS101

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CONTEXT SITE PLAN
SCALE: 1" = 30'-0"



GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS U.N.O.

LEGEND

- OFF-SITE GRAVEL PARKING - SEE CIVIL
- CONC. PAVERS - FIELD COLOR WITH SNOWMELT SYSTEM - SEE CIVIL & LANDSCAPE
- CONC. PAVERS - ACCENT COLOR WITH SNOWMELT SYSTEM (NO SNOWMELT AT PATIOS) - SEE CIVIL & LANDSCAPE
- TURF CELL FIRE APPARATUS HAMMERHEAD - SEE LANDSCAPE

SITE DATA

SITE ADDRESS:
150 BIRD DRIVE
KETCHUM, IDAHO

LEGAL DESCRIPTION:
BAVARIAN VILLAGE SUBDIVISION LOTS 5A, 6A, 7A, & 8A

ZONING DISTRICT:
GENERAL RESIDENTIAL HIGH DENSITY: GR-H

LOT AREA:
LOT 5A: 10,480 S.F. (0.24 ACRES)
LOT 6A: 13,807 S.F. (0.32 ACRES)
LOT 7A: 10,176 S.F. (0.23 ACRES)
LOT 8A: 12,893 S.F. (0.30 ACRES)
TOTAL: 47,356 S.F.

BUILDING GROSS AREA:
EACH UNIT:
FIRST FLOOR: 1,563 S.F.
SECOND FLOOR: 1,438 S.F.
TOTAL: 3,001 S.F. x 10 UNITS = 30,010 S.F.

BUILDING NET AREA:
EACH UNIT:
FIRST FLOOR: 621 S.F.
SECOND FLOOR: 1,182 S.F.
TOTAL: 1,803 S.F. x 10 UNITS = 18,030 S.F.

FLOOR TO AREA RATIO:
ALLOWED: 0.5 ALLOWED/1.4 ALLOWED WITH IN LIEU FEE
PROVIDED: 30,010 S.F./47,356 S.F. = .63
NOTE: AN IN LIEU FEE WILL BE PROVIDED

MIN. OPEN SPACE:
REQUIRED: 35%
PROVIDED: 41%

MIN. FRONT SETBACK:
REQUIRED: 15'-0"
PROVIDED: 15'-0"

MIN. REAR SETBACK:
REQUIRED: 15'-0" OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" - 15'-0" IS GREATEST

MIN. NORTH SIDE SETBACK:
REQUIRED: 5'-0" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" IS GREATEST

MIN. SOUTH SIDE SETBACK:
REQUIRED: 5'-0" MIN. OR 1'-0" FOR EVERY 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" IS GREATEST

MAX. BUILDING HEIGHT:
ALLOWED: 35'-0" ABOVE LOWEST EXISTING GRADE
PROVIDED: 31'-5" - SEE BUILDING ELEVATIONS

ON-SITE PARKING:
REQUIRED: 2 SPACES FOR UNITS 2,001 S.F. AND ABOVE
PROVIDED: 2 GARAGE SPACES & 2 DRIVEWAY SPACES PER UNIT

TOTAL PARKING:
REQUIRED: 20 SPACES
PROVIDED: 2 GARAGE SPACES & 2 DRIVEWAY SPACES PER UNIT = 40 SPACES TOTAL

SNOW STORAGE:
SEE LANDSCAPE



SITE PLAN
SCALE: 1/16" = 1'-0"
1

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
 P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201914

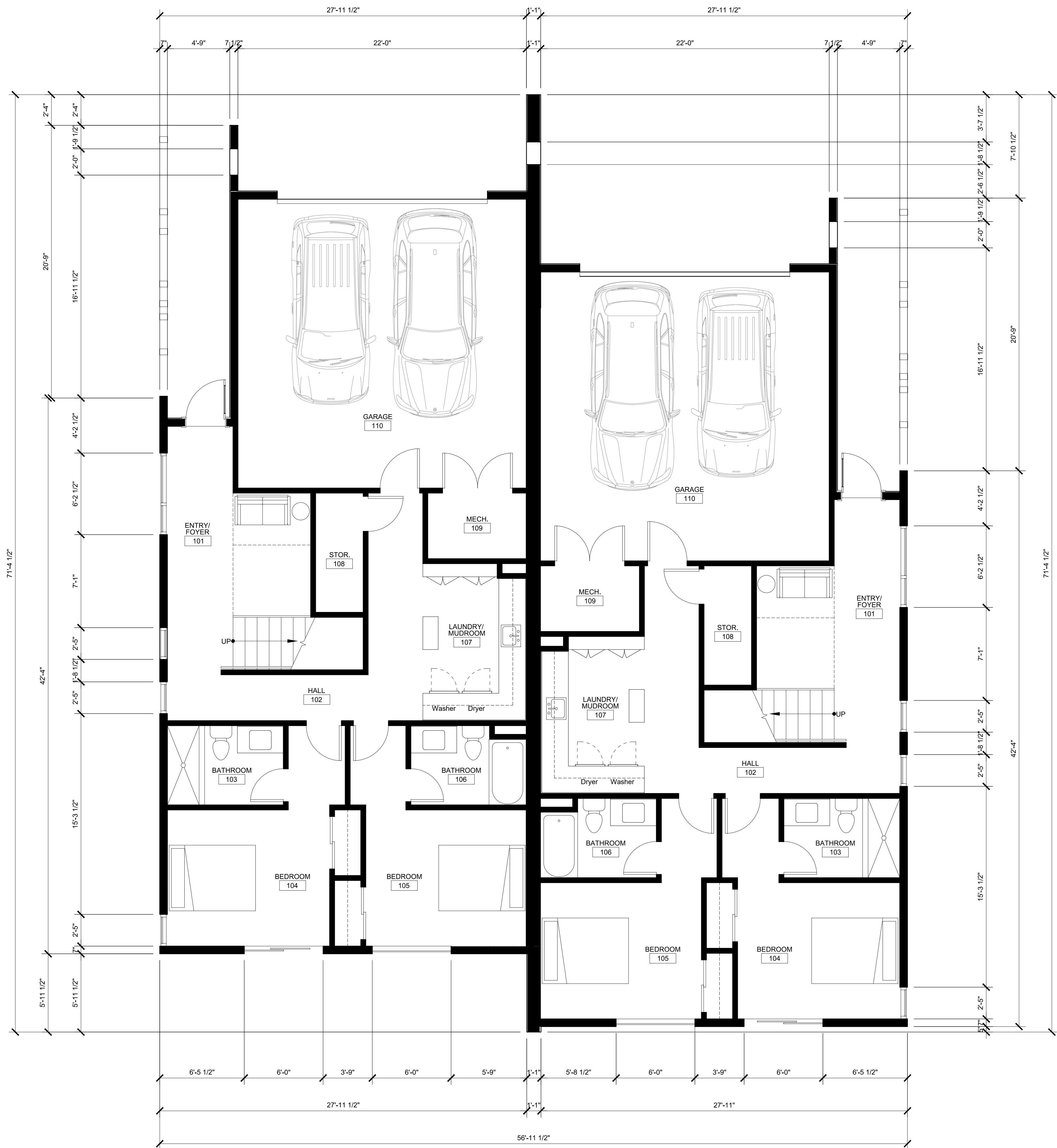
DRAWN BY | EMB
CHECKED BY | EMB

CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

SITE
PLAN

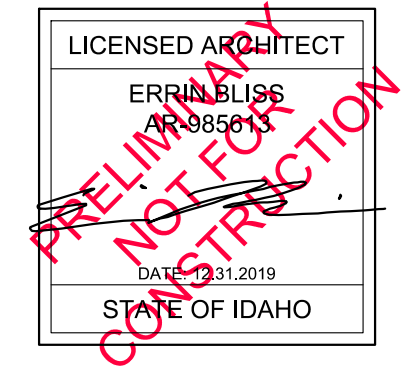
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GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



FIRST FLOOR AREA CALCULATIONS

GROSS AREA: SEE SITE PLAN
 NET AREA: SEE SITE PLAN
 GARAGE AREA: 484 S.F.
 MECH. ROOM AREA: 40 S.F.
 LIVABLE AREA: 882 S.F.

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
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PROJECT NO. | 201914

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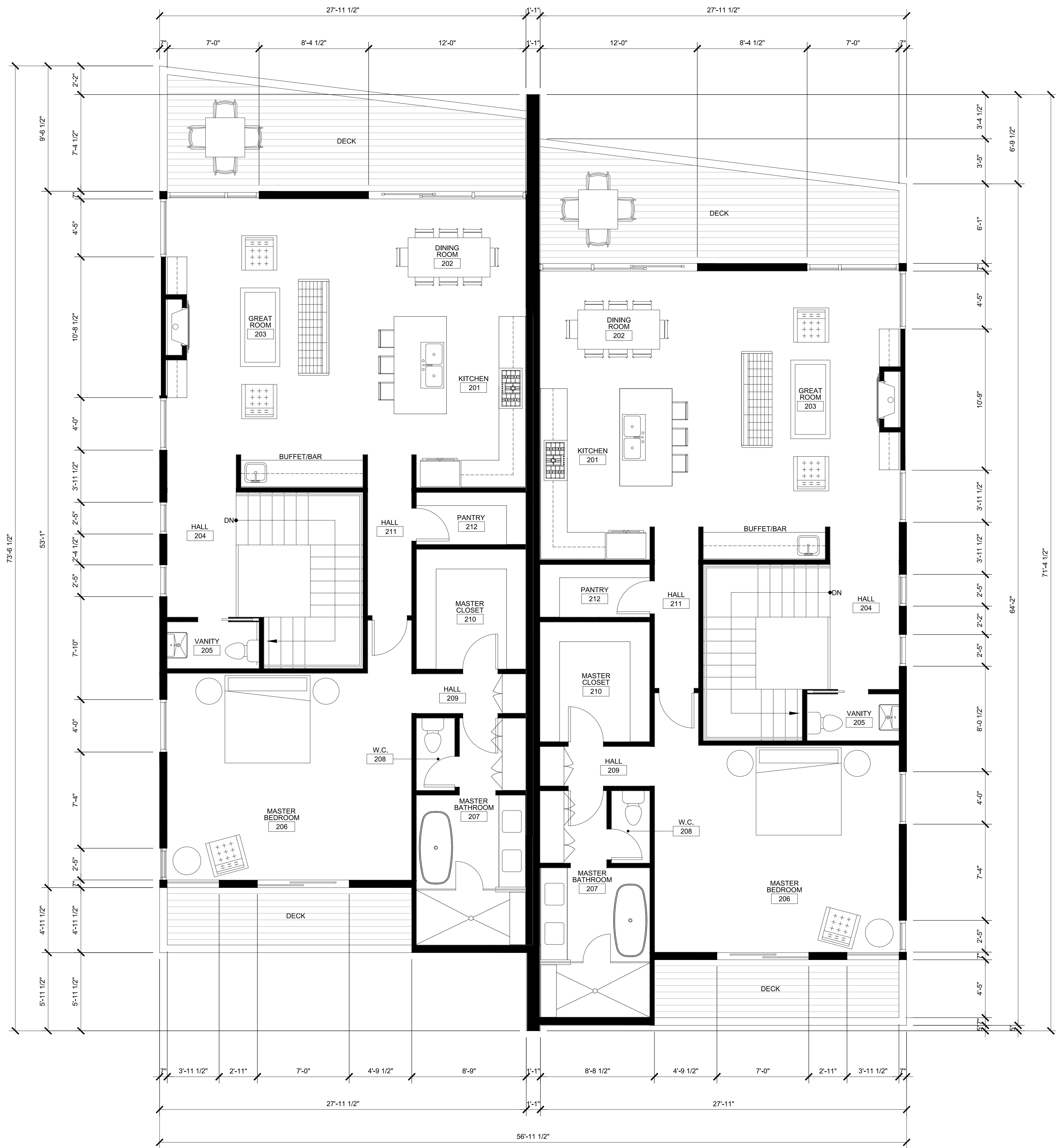
CITY OF KETCHUM
 DESIGN REVIEW
 DATE | 12 31 2019

TYPICAL FIRST
 FLOOR PLAN

A101

TYPICAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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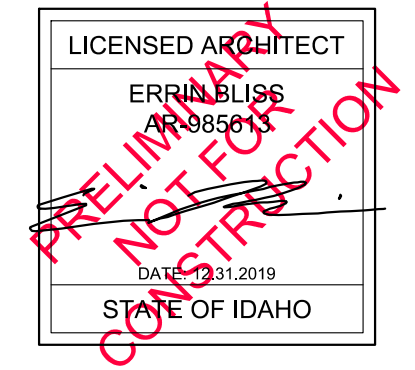
TYPICAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

SECOND FLOOR AREA CALCULATIONS

GROSS AREA: SEE SITE PLAN
NET AREA: SEE SITE PLAN
LIVABLE AREA: 1,290 S.F.
TOTAL LIVABLE: 2,172 S.F.



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
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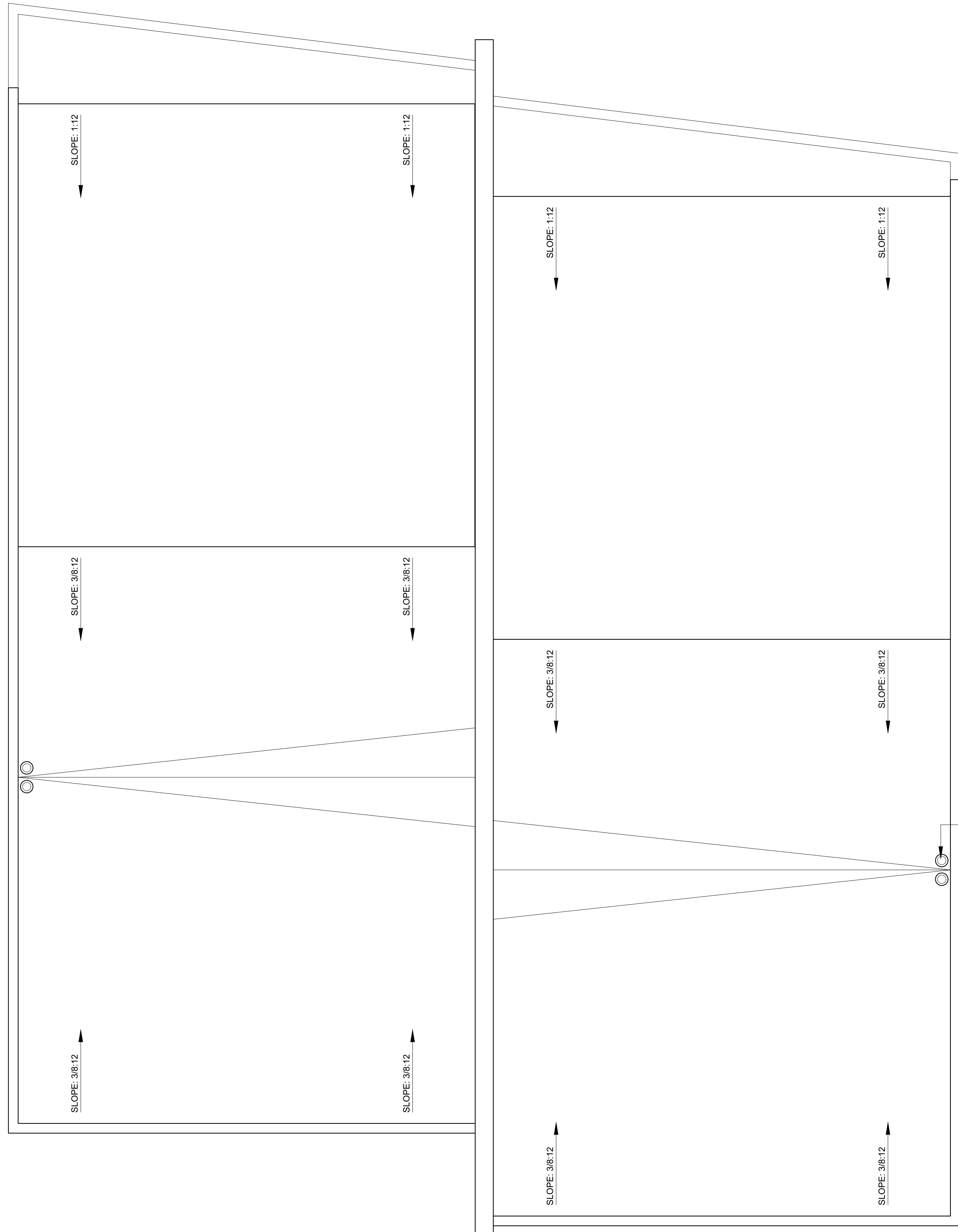
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TYPICAL SECOND
FLOOR PLAN

A102

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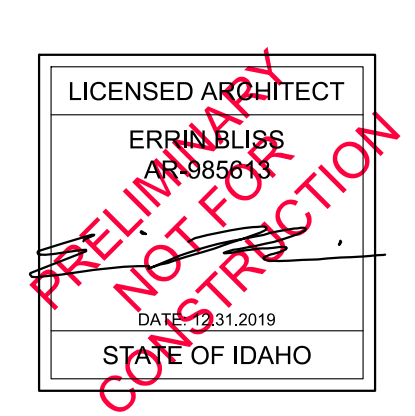


ROOF DRAIN & OVERFLOW
ROOF DRAIN - TYP.

ROOF DRAIN LEADERS TO
TIE INTO DRYWELLS BELOW
GRADE - TYP. - SEE CIVIL

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS U.N.O.
4. ALL ROOF DRAIN LEADERS TO TIE INTO DRYWELLS BELOW GRADE - SEE CIVIL



WEST KETCHUM RESIDENCES
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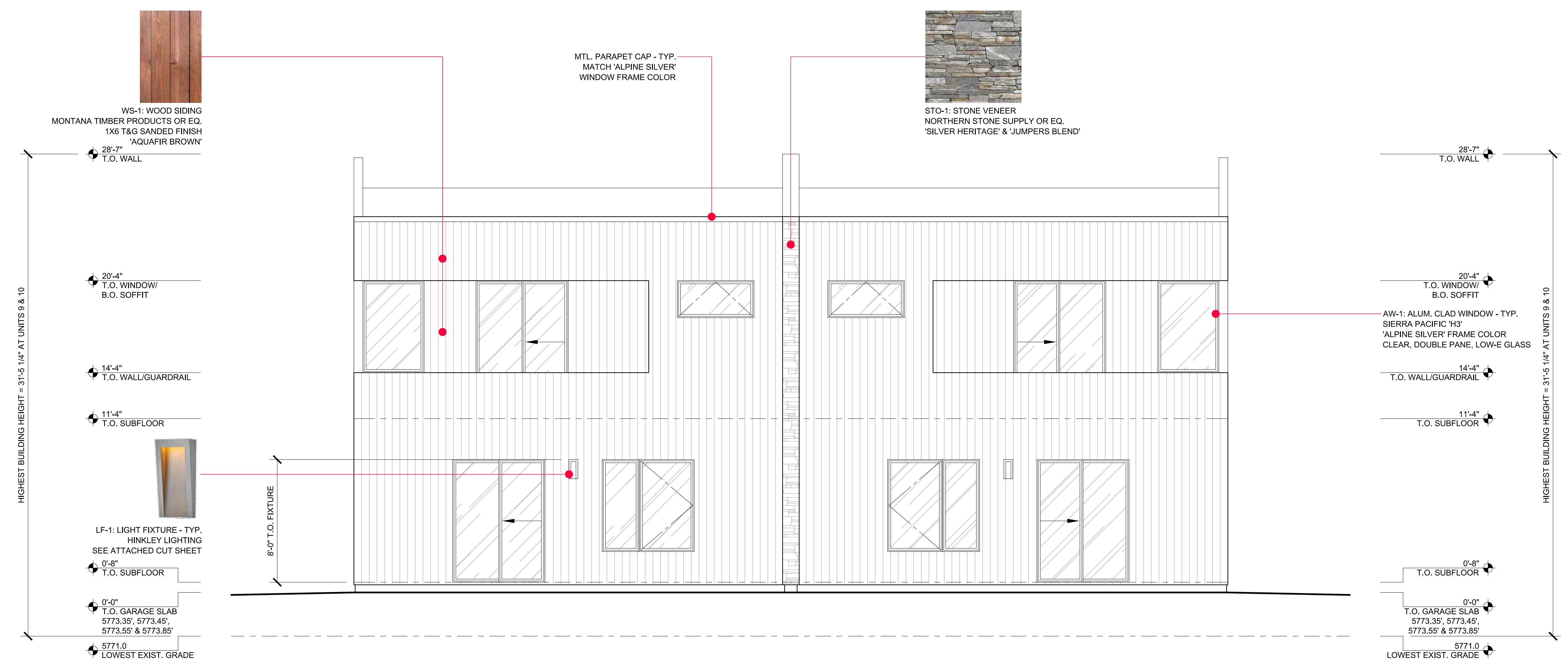
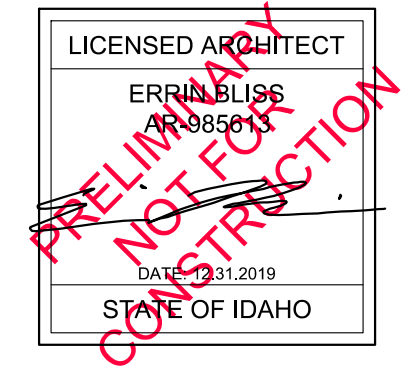
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TYPICAL ROOF
PLAN

A121

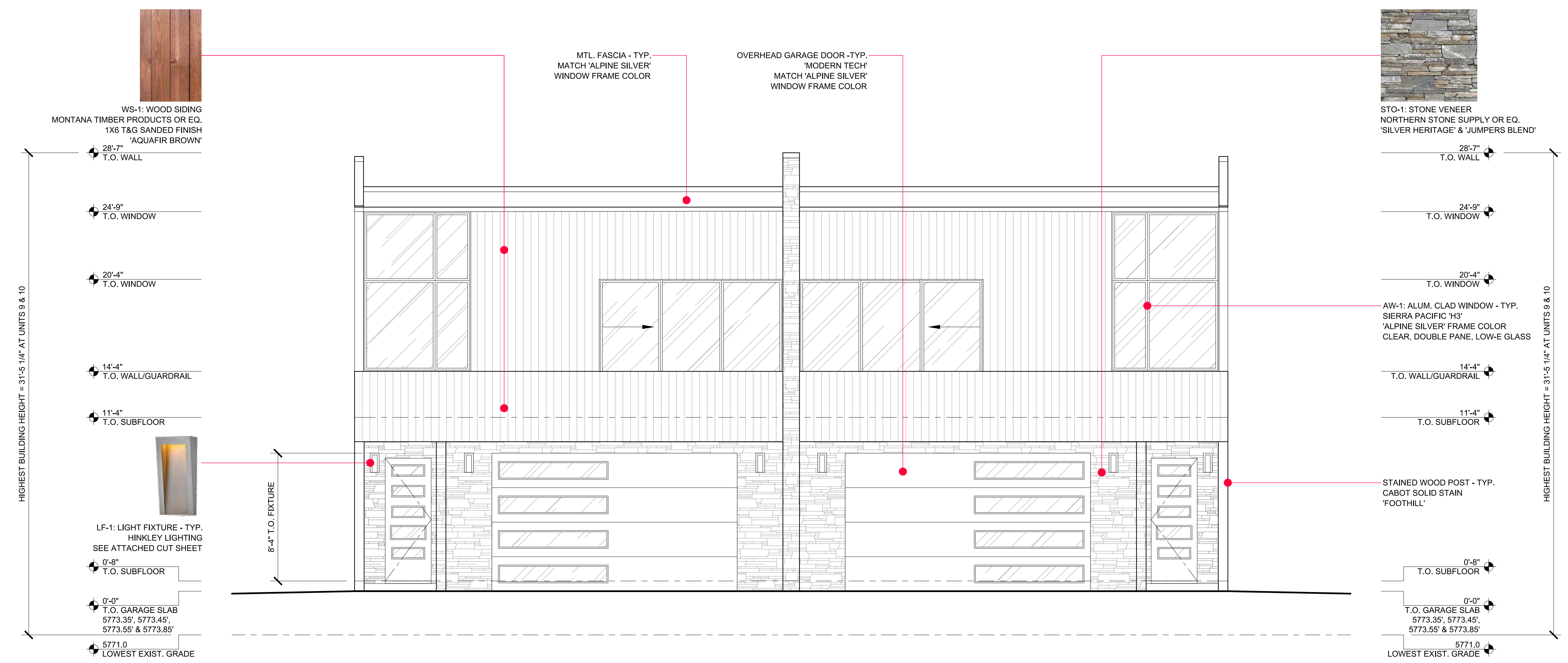
TYPICAL ROOF PLAN
SCALE: 1/4" = 1'-0"

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TYPICAL BACK ELEVATION
SCALE: 1/4" = 1'-0"

2



TYPICAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
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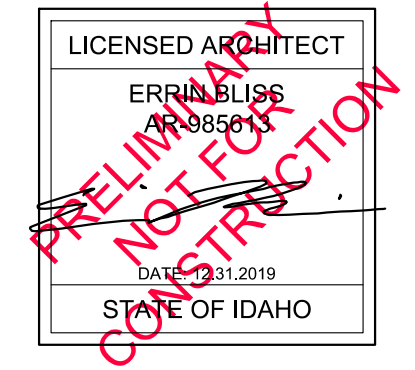
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TYPICAL BUILDING
ELEVATIONS

A201

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WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE

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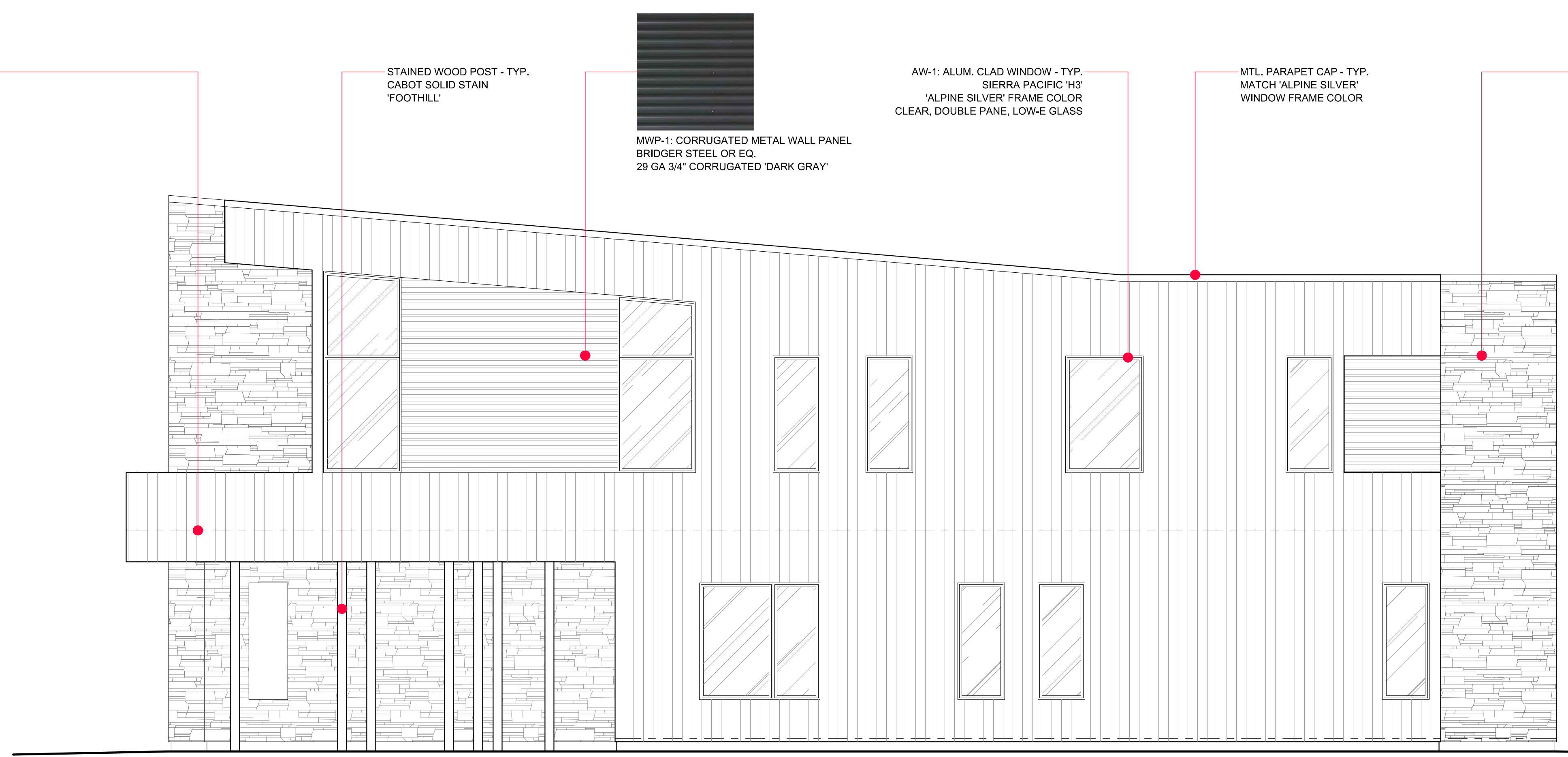
TYPICAL BUILDING
 ELEVATIONS
A202

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24'-6" T.O. PARAPET
 20'-4" T.O. WINDOW/ B.O. SOFFIT
 14'-4" T.O. WALL/GUARDRAIL
 11'-4" T.O. SUBFLOOR
 0'-8" T.O. SUBFLOOR
 0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'
 5771.0 LOWEST EXIST. GRADE

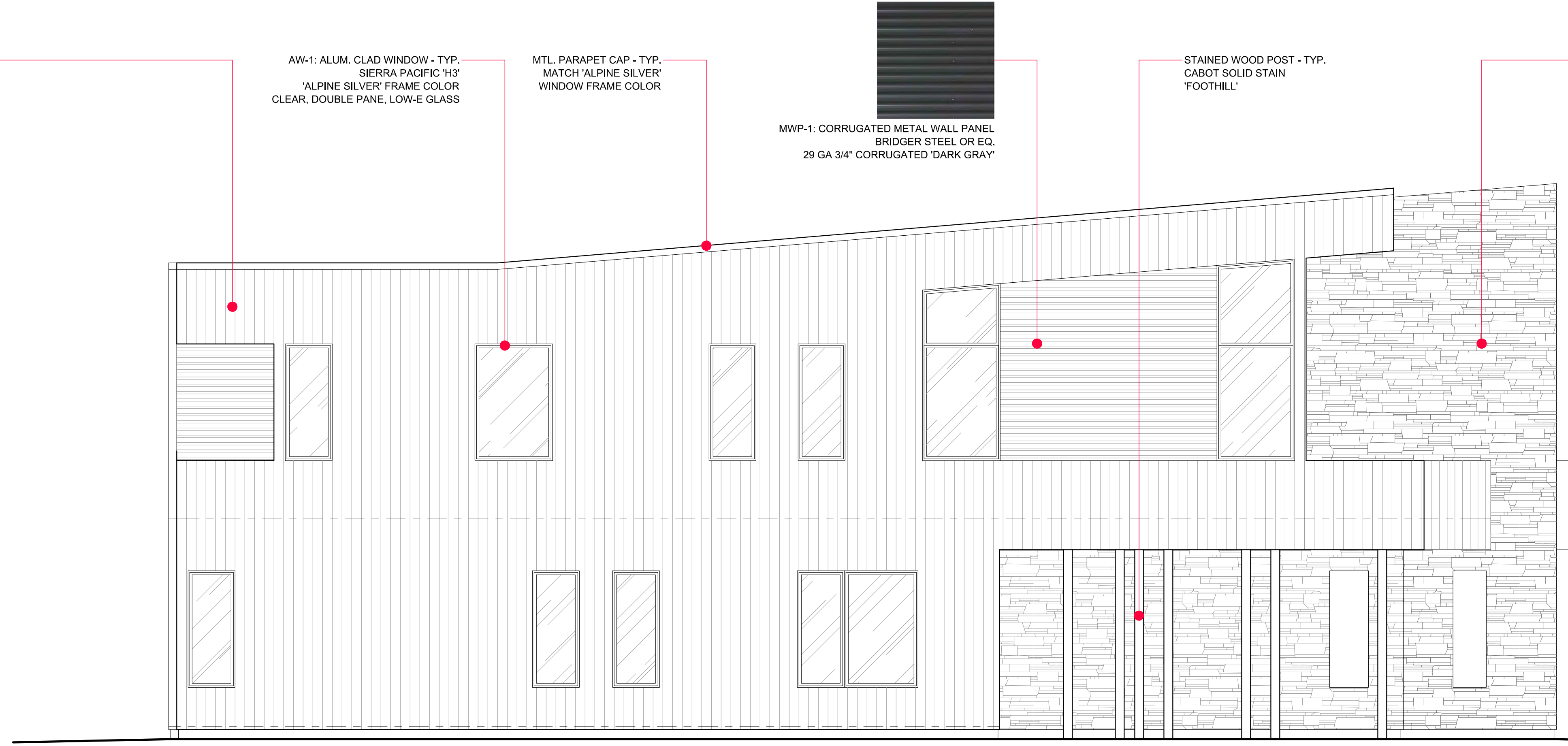


TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2



28'-7" T.O. WALL
 14'-4" T.O. WALL/GUARDRAIL
 11'-4" T.O. SUBFLOOR
 0'-8" T.O. SUBFLOOR
 0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'
 5771.0 LOWEST EXIST. GRADE



TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"

1

HIGHEST BUILDING HEIGHT = 31'-5 1/4" AT UNITS 9 & 10

28'-7" T.O. WALL
 14'-4" T.O. WALL/GUARDRAIL
 11'-4" T.O. SUBFLOOR
 0'-8" T.O. SUBFLOOR
 0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'
 5771.0 LOWEST EXIST. GRADE

27'-4 1/4"

24'-6" T.O. PARAPET
 20'-4" T.O. WINDOW/ B.O. SOFFIT
 14'-4" T.O. WALL/GUARDRAIL
 11'-4" T.O. SUBFLOOR
 0'-8" T.O. SUBFLOOR
 0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'
 5771.0 LOWEST EXIST. GRADE

HIGHEST BUILDING HEIGHT = 31'-5 1/4" AT UNITS 9 & 10



PERSPECTIVE VIEW
SCALE: N.T.S.

3



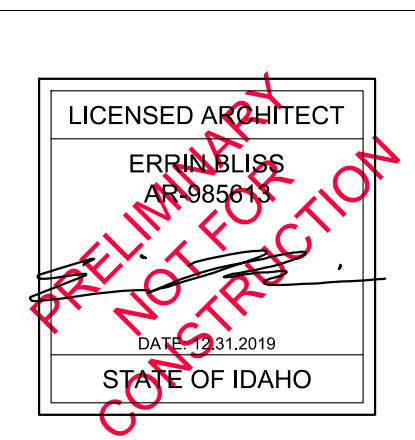
PERSPECTIVE VIEW
SCALE: N.T.S.

2



VIEW FROM BIRD DRIVE
SCALE: N.T.S.

1



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
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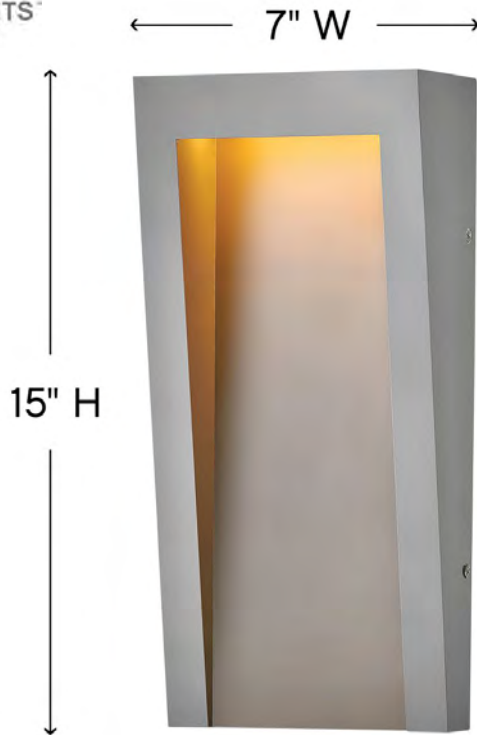
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BUILDING
RENDERINGS

A203

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COASTAL ELEMENTS[®]
 Collection


TAPER

2144TG

MEDIUM WALL MOUNT LANTERN

Sleek and sophisticated, Taper is built to last with a timeless, minimalist style that radiates contemporary cool. Its recessed integrated LED engine is directed downward with gradient illumination that grazes the gently tapered design. Part of the Coastal Elements collection, it is engineered with composite materials for maximum durability in modern Textured Black, Textured Graphite and Textured Oiled Rubbed Bronze finish options.

DETAILS	
FINISH:	Textured Graphite
MATERIAL:	Composite
GLASS:	Etched

DIMENSIONS	
WIDTH:	7"
HEIGHT:	15"
WEIGHT:	3.5 lbs.
BACK PLATE:	7"W X 15"H
EXTENSION:	3.5"
TOP TO OUTLET:	7.5"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	L214X-6 & (6) 3030LED
WATTAGE:	8w LED *Included
VOLTAGE:	120v
COLOR TEMP:	3000.0000k
LUMENS:	600
CRI:	90
INCANDESCENT EQUIVALENCY:	60W
DIMMABLE:	Yes, on any

SHIPPING	
CARTON LENGTH:	9.8"
CARTON WIDTH:	6.2"
CARTON HEIGHT:	17.9"
CARTON WEIGHT:	4.6 lbs.

PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Meets California Energy Commission 2016 Title regulations
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED components carry a 5-year limited warranty
- 5 year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.
- Rich gray tone

HINKLEY

HINKLEY
 33000 Pin Oak Parkway
 Avon Lake, OH 44012

PHONE: (440) 653-5500
 Toll Free: 1 (800) 446-5539

hinkley.com