



Planning and Zoning Commission - Special Meeting AGENDA

Tuesday, July 27, 2021 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

Members of the public may observe the meeting live on the City's website at ketchumidaho.org/meetings.

If you would like to comment on the agenda item, please submit your comment to participate@ketchumidaho.org by noon the day of the meeting.

Comments will be provided to the Planning and Zoning Commission.

If you would like to phone in and provide comment on the agenda item, please find the instructions, phone number, and meeting identification on the following page of this agenda. You will be called upon for comment during that agenda item.

If you would like to provide comment on the agenda item in person, you may speak to the Commission when called upon but must leave the room after speaking and observe the meeting outside City Hall.

CALL TO ORDER

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

CONSENT CALENDAR — ACTION ITEMS

1. Minutes of July 13, 2021

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

2. ACTION ITEM - Pioneer Pickleball Club Conditional Use Permit
Continued from May 25, 2021, June 8, 2021, and July 27, 2021.
3. ACTION - Crossbuck McNea Town Homes Design Review and Preliminary Plat
4. ACTION - Crossbuck West Town Homes Design Review and Preliminary Plat

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

ADJOURNMENT

PUBLIC CALL-IN INFORMATION

You may listen to the meeting through your phone or watch and listen by live streaming. If you would like to provide public comment on the agenda item, please following these instructions.

1. Dial the number below and provide the meeting ID. You may only provide comment by phone.
2. Mute your phone until the last four digits of your phone number are called out by staff.
3. **When your phone number is identified to testify, mute the sound on your computer or other device that is live streaming the meeting. Press *6 to unmute your phone to speak.**
4. Provide your testimony on your phone and respond to any questions on your phone. You can hear the meeting through your phone.
5. When your testimony is complete, hang up the phone. You can continue watching the meeting through live streaming.

You will be muted until you are called upon to testify,
please do not unmute your phone until you are asked to testify.

The public has 3 minutes to provide testimony to the
Planning and Zoning Commission.

Please keep your comments to 3 minutes.

July 27, 2021

Public Call-In Number: 1-253-215-8782

Meeting ID: Meeting ID: 938 4161 1875

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning and Zoning Commission Meeting - Regular MINUTES

Tuesday, July 13, 2021 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

CALL TO ORDER

The meeting was called to order at 4:37 PM by Vice-Chair Mattie Mead.

PRESENT

Vice-Chairman Mattie Mead
Commissioner Tim Carter
Commissioner Jennifer Cosgrove
Commissioner Brenda Moczygemba

ABSENT

Chairman Neil Morrow

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

CONSENT CALENDAR—ACTION ITEMS

1. Minutes of June 8, 2021

Motion to approve the Minutes of June 8, 2021.

Motion made by Commissioner Moczygemba, Seconded by Commissioner Carter.

Voting Yea: Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

2. ACTION ITEM - Pioneer Pickleball Club Conditional Use Permit
Continued from May 25, 2021 and June 8, 2021.
To be continued to July 27, 2021.

Motion to continue the Pioneer Pickleball Club Conditional Use Permit to July 27, 2021.

Motion made by Commissioner Moczygemba, Seconded by Commissioner Carter.

Voting Yea: Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

3. ACTION ITEM - 780 N First Ave Multi-Use Building Pre-Design Review

The project was introduced by Senior Planner Morgan Landers, covering the zoning regulations, landscaping, and design review standards.

Daniel Hollis of Hollis Rumpeltes Architects presented the project for the applicant. He spoke to the exterior materials and presented samples. Drainage, slope, parking, setbacks, floorplans, and lighting were addressed.

The Commission had questions about the location of the gas meters, lighting, landscaping, and shade.

Landscape Architect Kurt Eggers responded to the likely survival of the existing large spruce trees.

Commissioner Cosgrove liked the corner treatment, colors, and massing.

Commissioner Moczygemba agreed and supported more street trees.

Commissioner Carter liked the form of the building and the front mural, but wanted to see relief from the black exterior.

The lighted mountain feature on the corner was discussed.

Reid Sanborn informed the Commission of future plans for affordable housing.

Vice-Chair Mead commented on the design elements and liked the corner design and the park bench. He encouraged more landscaping, and screening for the vehicles. He encouraged on-site affordable housing.

Motion to approve the 780 N First Ave Multi-Use Building Pre-Design Review and advance to Design Review.

Motion made by Commissioner Carter, Seconded by Commissioner Moczygemba.

Voting Yea: Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

Director Frick related the next Planning a Zoning meetings to be July-27th and August-10th. The Design Review for wo townhome units at the Crossbuck Subdivision were scheduled for the July meeting.

The Bluebird Village Design Review was scheduled on August-10th.

An update on the Staff workload and changes to the review process were noted.

ADJOURNMENT

Motion to adjourn.

Motion made by Commissioner Carter, Seconded by Commissioner Moczygemba.

Voting Yea: Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF TUESDAY, JULY 27, 2021

PROJECT: Pioneer Pickleball Club Shared Parking Reduction Conditional Use Permit

FILE NUMBER: P21-029

ASSOCIATED PERMITS: P19-116 CUP for Nomadic Vans, P10-032 CUP for Residential Use at 115A, 87-11 Glaske Subdivision Phase II, CR87-3 Design Review Approval for Galske Subdivision Building

OWNER: Steven Beck

APPLICANT: Steven Beck

REQUEST: Conditional Use Permit (CUP) to permit shared parking reduction for a new public pickleball court

LOCATION: 115 Northwood Way Unit A, Ketchum, ID

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI 48' Height Overlay

NOTICE: Notice was mailed to property owners within a 300-foot radius and was published in the Idaho Mountain Express on May 5, 2021. Notice was posted at the subject location on May 18, 2021. The hearing was continued to June 8, 2021, July 13, 2021 and July 27, 2021.

• **ATTACHMENTS:**

Proposed Findings of Fact and Conditions of Approval
July 14 letter from the Applicant

BACKGROUND AND SUMMARY

The Commission conducted a public hearing on May 25, 2021, on the proposed application to share required parking for a proposed pickleball club. The Commission asked the applicant to return with an agreement between the tenants acknowledging their approval to share the existing parking on the site. The applicant has been unable to secure an agreement from the other building tenants. Attached is a letter from the applicant.

The applicant indicates the CC&Rs provide the shared use agreement. In order to approve a conditional use permit for shared parking, the applicant must demonstrate there are five off-street parking spaces available to support the use.

The proposed use may not occupy the space unless the applicant provides five on-site spaces dedicated to the proposed use. Those parking spaces may be shared if other uses are not utilizing spaces. If the applicant cannot show that there is sufficient on-site parking to support the use, the use may not exist in this location.

The Commission may consider several options:

- Deny the conditional use permit for shared parking because there is no shared parking and the use cannot demonstrate there are five on-site parking spaces available to support the use. Staff would return to the Commission with findings for denial.
- Limit the hours of operation of the use to hours when the other businesses are not using the on-site parking spaces. The attached findings reflect this approach by limiting the hours of operation to Monday-Friday after 5:00 PM and anytime on Saturday and Sunday.
- Provide direction to staff on other conditions or options related to the application.



City of Ketchum
Planning & Building

IN RE:)	
)	
Pioneer Pickleball Club)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
June 8, 2021)	DECISION
)	
File Number: P21-029)	

Findings Regarding Application Filed

PROJECT: Pioneer Pickleball Club CUP

FILE NUMBER: P21-029

APPLICANT: Steven Beck

REQUEST: Conditional Use Permit (CUP) to permit shared parking reduction for a new public pickleball court

LOCATION: 115 Northwood Way Unit A, Ketchum, ID

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: LI 48' Height Overlay

NOTICE: Notice was mailed to property owners within a 300-foot radius and was published in the Idaho Mountain Express on May 5, 2021. Notice was posted at the subject location on May 18, 2021.

ATTACHMENT: A. Narrative
B. Access System
C. Site plan

BACKGROUND FINDINGS

1. On May 25, 2021, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application by Steven Beck to allow for shared parking associated with a new public pickleball court located at 115 Northwood Way Unit A.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. The request is to reduce the required on-site parking and satisfy the required parking through shared

use of on-site parking. The proposed use is a pickleball court open to members of the club. In the LI District, health and fitness facilities must provide dedicated on-site parking at a ratio of one parking space for every 250 gross square feet. In this case, the ground floor of the building is 1,153 square feet (based on plans on file) and requires five parking spaces for the proposed use.

4. The building was approved for three industrial/storage uses with five parking spaces located in the front of the building. Parking was to be shared by the three uses. The project approvals at the time acknowledged limited parking on the site and restricted the permitted uses to warehouse and storage only. Over time, uses have changed. In 2019, a conditional use permit was granted (P19-115) to permit Nomadic Vehicle Sales and Repair to operate in Unit C at 115 Northwood Way. Kirk Anderson Photography exists in Unit B at 115 Northwood Way and the Pioneer Pickleball Club is in Unit A.

5. The Commission determined the parking plan proposed by the applicant and as conditioned by the Commission will be sufficient to meet the parking demand of the proposed use. The applicant will manage parking by creating a reservation system. Court reservations will be for 2-hour increments and users will be prohibited from arriving more than 10 minutes before their reservation and departing not more than 10 minutes after their reservation time.

Table 3: Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.125.080				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B2 (a)	<i>A Parking Demand Analysis in accordance with section 17.125.070 of this chapter;</i>
			Staff Comments	Limited information was provided by the Applicant. The Commission requested the applicant provide a shared parking agreement between the tenants.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (b)	<i>The hours of peak parking demand for each use;</i>
			Staff Comments	Based on observations of the parking demand at the site and in the surrounding area, the peak parking demand occurs between 8:00 AM-5:00 PM.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (c)	<i>All locations of parking spaces on private property utilized through shared parking and identified on a location context map;</i>
			Staff Comments	Five parking spaces are located on site for use by the three building tenants. Two of the spaces are identified for use by Nomadic Vans through CUP 19-115.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (d)	<i>All public parking that can be accessed within a one thousand foot (1,000') walk as measured along sidewalk connecting to the site of the subject uses.</i>

			Staff Comments	<i>On-street public parking is available within 1,000 feet of the property.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (e)	<i>The plan shall include an agreement between property owners for sharing common parking on private property. However, in no case will the City manage shared parking agreements.</i>
			Staff Comments	<i>The Commission requested the applicant provide this agreement between the owners. The agreement has not been provided.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (f)	<i>Shared parking spaces may be provided in areas designed to serve jointly two (2) or more buildings or users.</i>
			Staff Comments	<i>Five on-site parking spaces are located on the site. Per the original approvals for the property, the five spaces were to be shared between the building tenants. Two of the parking spaces were identified for use by Nomadic Vans as part of CUP 19-115.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (g)	<i>All shared parking shall be located no less than three hundred feet (300') from the uses utilizing the shared parking, as determined by measuring along existing sidewalk or sidewalk that shall be constructed as a condition of approving the shared parking reduction from the primary entrance of the use(s) to the location of shared parking spaces.</i>
			Staff Comments	<i>The on-site parking and available street parking is within 300 feet of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (h)	<i>The total number of off-street parking spaces shall not be less than that required by this chapter for the total combined number of buildings or uses, unless a reduction is approved through a shared parking plan, or otherwise specified.</i>
			Staff Comments	<i>There are five on-site parking spaces, and the applicant is requesting a reduction through a shared parking plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.080 B (i)	<i>A reduction to parking requirements for individual uses may be made after considering the following standards and criteria:</i> <i>a. The hour(s) of peak parking demand for each use, with peak demand being different or staggered;</i> <i>b. The operating hours of each use, with operating hours being staggered; and</i> <i>c. There is existing on-street parking available for public use within a one thousand foot (1,000') walk as measured along the sidewalk connecting to the site of the subject use.</i>
			Staff Comments	<i>If the operating hours of the pickleball court occur after the peak hour of the surrounding businesses and uses in the building, there is sufficient parking available to meet the demand generate by the pickleball club. If the applicant provides an agreement with the other tenants of the building that the existing parking can be shared by all uses, the hours of operation would not be restricted.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant's Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission's May 25, 2021, public hearing and consideration of the applicant's Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.125.080, Shared parking Conditional Use of Ketchum Zoning Code Title 17.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Shared Parking Conditional Use Permit application for Pioneer Pickleball Club to operate and provide the required parking through a shared parking agreement on the 8th day of June 2021 in Unit A located at 115 Northwood Way subject to the following conditions :

- 1.** The Conditional Use Permit is applicable to Unit A at 115 Northwood Way consisting of 1,153 square feet of floor area indicated on the floorplan attached hereto is not transferrable to another property or person. No expansion of floor area is permitted unless a new Conditional Use Permit authorizing such expansion is approved;
- 2.** The Conditional Use Permit allows for the operation of single pickleball court to be available for reservation only. No other uses such as, but not limited to, office, residential, or assembly may occur at the location.
- 3.** Conditional Use Permit 10-032 shall be rescinded, and no residential use shall be permitted in this location.
- 4.** Staff shall make periodic inspections of Pioneer Pickleball Club beginning three months after approval of the Conditional Use Permit to ensure conditions of approval are being met. Documentation of observations from the site visits shall be made in writing and filed in the project file. These inspections shall occur for the entire time the business is in operation.
- 5.** The Commission shall have the discretion to hold a new public hearing to evaluate this Conditional Use Permit if violations of the conditions occur.
- 6.** Each reservation shall be for a two (2) hour period. Players shall not arrive more than ten (10) minutes prior to their reservation time and shall not stay longer than ten (10) minutes after their reservation time.
- 7.** No tournaments shall take place on the site.
- 8.** The total number of players, observers and employees on the site at any time shall not exceed four (4).
- 9.** Hours of operation for the club shall be Monday through Friday after 5:00 PM and anytime on Saturday and Sunday.

Findings of Fact **adopted** this 27th day of July 2021

Neil Morrow
Chair
Planning and Zoning Commission

Suzanne Frick, Planning and Building Director

July 14, 2021

To: KETCHUM PLANNING AND ZONING COMMISSION

From: Steven Beck / 115 Northwood Way, Unit A

Re: Pioneer Pickleball Club (File No. P21-029)

Dear Commissioners:

After the P&Z Meeting wherein it was requested that a Shared Parking Agreement be provided to the commission confirming the sharing of parking at Glaske Industrial Park (Northwood 115 and 125 buildings) I asked my adjacent owner / neighbor if he would sign a Shared Parking Agreement that I had prepared. My adjacent neighbor (Kirk Anderson / 115 Northwood, Unit B) indicated that the use of Common Area in our project (a two building, six-unit industrial condominium project) was addressed in the CC&R's established back in 1983 and that he would not sign any Shared Parking Agreement. After this meeting with Mr. Anderson, a meeting was set up with Barry Peterson who is the current President of the condominium association. Mr. Peterson indicated that Mr. Anderson was correct and that to his knowledge no Shared Parking Agreement has ever been entered by owners and tenants at Glaske Industrial Park; and that the CC&R's stipulate that the Common Area (all the area other than inside the perimeter walls of each of the six units) is owned by the six-unit owners in an undivided manner. I double checked the CC&R's and found in Article IV of the Declaration that "each owner shall have the nonexclusive right to use and enjoy the common area". All the parking at Glaske Industrial Park is within the common area. The specific nonexclusive guidance set forth in the CC&R's effectively establishes and mandates a shared parking arrangement among Glaske Industrial condominium owners. In summary, I've been told by my neighbor / owners that a Shared Parking Agreement will not be forthcoming, and that the guidance set forth in the CC&R's already establish the shared parking guidelines for our common area.

I do want to readdress to the Commission that we have taken substantive steps to mitigate ingress, egress and parking congestion in our common area parking. Our two-hour building entry blocks with ninety- minute player reservations provide a thirty-minute cushion between player reservations for departing and arriving players. This system was beta tested at the beginning of the year and it works well. While the system allows us to immediately cut off a player's unique building entry code to address non-compliance, we did not need to do this even once over a three-month beta testing period.

Thank you for your consideration of our request to open our non-profit club which will almost certainly add a positive element of recreation to our community.


Steven Beck

June 17, 2021

Ketchum Planning & Zoning Department
480 East Avenue North
Ketchum, Idaho 83353

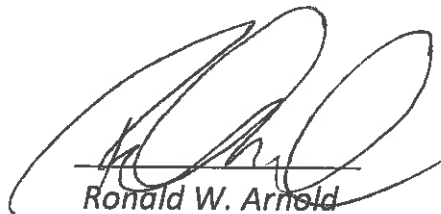
Re: 115 Northwood, Ketchum, Idaho

Dear Directors:

This letter is being written in support of the Pioneer Pickleball Club Shared Parking Reduction Conditional Use Permit (File Number P21-029) at 115 Northwood, Unit A, Ketchum, Idaho. Mr. Beck has gone to great lengths by installing a reservation and building entry system designed to mitigate potential parking issues on our shared Common Area parking. It's our opinion based on actual experience that these measures are effective and that the club activities and related parking are compatible with the existing businesses and related parking demands at the building.

Thank you,

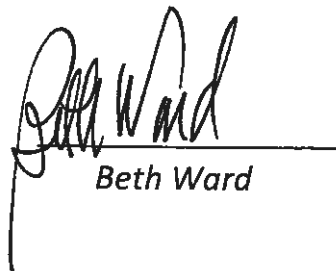
Nomadic Van Sun Valley, LLC
(115 Northwood, Unit C / tenant)



Ronald W. Arnold

6/21/21
Dated

Ayub Family Trust
By: Beth Ward
Authorized Signatory for the
Ayub Family Trust
(115 Northwood Unit C / owner)



Beth Ward

6/21/21
Dated



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF JULY 27, 2021**

PROJECT: Crossbuck McNee Townhomes

FILE NUMBERS: P21-025 & P21-026

APPLICATION: Design Review and Townhouse Subdivision Preliminary Plat

REPRESENTATIVE: Chad Blincoe, Architect

OWNER: MMDM11 LLC

LOCATION: Southwest Corner of 2nd Avenue & W 7th Street (Ketchum Townsite: Amended Block 67: Lot 1A)

ZONING: General Residential Low Density (GR-L)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on July 7th, 2021. The public hearing notice was published in the Idaho Mountain Express the on July 7th, 2021. A notice was posted on the project site and the city's website on July 20th, 2021.

CROSSBUCK DEVELOPMENT BACKGROUND

This project is part of the Crossbuck Townhomes development on Block 67 of Ketchum Townsite. The property is located between 7th Street to the north, 6th Street to the south, 2nd Avenue to the east, and the partially improved alleyway to the west. In 2018, the four lots within Block 67 were reconfigured (Lot Line Shift Application File No.) to accommodate the Crossbuck Townhome development. The City and the developers at that time, Bill Sundali and Shane and Sharon Mace, entered into Construction Phasing Agreement #20233 (Instrument #657569) for the installation of water, sewer, and right-of-way improvements as well as the designation of maintenance responsibilities. Water and sewer improvements were installed during the summer of 2018. The alleyway drainage and paving and 6th Street right-of-way (ROW) improvements, including a 5-foot concrete sidewalk, were installed with the construction of the first four detached townhome units on Lots 3 and 4.

The 7th Street ROW improvements were shown as part of the project plans. Two driveway accesses were shown along 7th Street—one to access Lot 1A and one to access Lot 2A. These lots were contemplated to be developed with single-family residences as a future phase of the Crossbuck development. The Construction Phasing Agreement did not specify a completion date for the 7th Street

ROW improvements. During their review of the Construction Phasing Agreement, the City Council discussed concerns regarding curb cuts for driveway access along the bike path. The Council approved one curb cut for a shared driveway over the bike path because an existing deed restriction precluded any curb cuts along 6th Street. The remaining lots and sublots within the development were required to be accessed from 7th Street or the alley.

The current owners of Lot 1A and 2A have each submitted Design Review and Townhouse Subdivision Preliminary Plat applications for the construction of two detached townhome units on remaining Lots 1A and 2A. The two proposed townhome developments comply with the improvement plan approved with the Construction Phasing Agreement. Additionally, a multi-family development containing a maximum of two dwelling units is a permitted use in the GR-L Zone (Ketchum Municipal Code §17.12.020). The building form, architectural design features, and exterior materials proposed with these new units match the existing townhomes within the Crossbuck development. The existing Crossbuck townhome units on Lot 3A and 4A have a building coverage of 35% and a maximum building height of 30 feet.

CROSSBUCK MCNEE TOWNHOMES

The Crossbuck McNee Townhomes project is comprised of concurrent Design Review and Townhouse Subdivision Preliminary Plat applications for the development of two new detached townhome units and associated site improvements on an undeveloped property located at the southwest corner of 2nd Avenue and W 7th Street (Ketchum Townsite: Amended Block 67: Lot 1A). The townhome units will share a private driveway accessed from 7th Street. The townhome development's total proposed building coverage is 35%. Lot 1A within Block 67 of Ketchum Townsite will be subdivided into two townhouse sublots. The Crossbuck McNee Townhomes project requires both Design Review for the development of multi-family residential dwellings (Ketchum Municipal Code §17.96.010.A3) and a Townhouse Subdivision Preliminary Plat to create the townhouse sublots (Ketchum Municipal Code §16.04.080). The project plans for the new townhome development are attached as Exhibit A to the Staff Report.

ANALYSIS

Comprehensive Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (2) adherence zoning and dimensional standards, (3) evaluation of Design Review criteria, (4) townhouse subdivision requirements, and (5) subdivision design and development standards.

The following analysis highlights certain Design Review standards for the Planning & Zoning Commission's consideration.

Architectural Design Review Standards

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The townhome units are boxy and bulky buildings. Unlike the existing Crossbuck units and the townhome units proposed on adjacent Lot 2A, the McNee units have maximum building heights of 35 feet and 38 feet in height. As shown on Sheet A-7A of the project plans, townhome unit A takes advantage of the additional 5 feet of building height provided for in Ketchum Municipal Code §17.08.020 due to the topography of the site. The maximum height of townhome unit A from lowest grade to highest point of the roof is 38 feet. The mass of the building's rectangular volumes is overbearing. The design utilizes

subtractive massing to create the covered entryway at the front door. This recession emphasizes the buildings' mass at the street-facing façade

The material differentiation and an upper-level setback created by the second-floor deck do not provide sufficient visual relief from the building mass. The lack of articulation and variation produces areas of uninterrupted, blank walls. The unbroken façades reinforce the bulk and mass of the townhome units.

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

The proposed architectural features include exterior material differentiation, fenestration, steel canopy elements, and wire mesh trellises. The exterior materials and architectural features will match the existing Crossbuck townhomes. Despite this consistency, these features are not as successful at defining the character of the McNee townhome units. The composition, proportion, and rhythm of the townhomes' materials do not provoke as much visual interest as the existing Crossbuck townhome units. For example, the existing Crossbuck townhomes incorporate more large rectangular windows. The arrangement of these windows establishes a rhythm that animates the street-facing facades. The fenestration proposed with the McNee townhomes does not provide enough visual relief to mitigate the appearance of blank walls at the street-side facades. The existing Crossbuck units utilize the placement of stone veneer more effectively. For example, the existing Crossbuck units' entire chimney is clad in stone veneer. This creates a prominent column that vertically integrates each floor and grounds the townhomes to the project site. The use of stone veneer proposed with the McNee townhomes is limited to one- and two-story elements. More exterior material differentiation and fenestration is needed to provide visual interest.

STAFF RECOMMENDATION

After considering the project plans attached as Exhibit A, the applicant's presentation, staff's analysis, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to continue review of the Design Review application to a date certain.

Table 1: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments
<i>All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
Fire Department: <ul style="list-style-type: none">It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.

- In lieu of a 20-foot-wide fire apparatus access road, the building located on the interior southwest corner of the project shall be provided with a minimum 14-foot-wide driveway and shall have an approved automatic fire sprinkler system installed throughout the building per City of Ketchum Ordinance No. 1217 and the National Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box, and Fire Department connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved Fire Department connection and flow bell shall be installed in a location approved by the Fire Department and the system shall be supervised by an approved alarm system.

Note: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's Office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance No. 1217 and the requirements of NFPA 72. Two sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved key box shall be installed on each townhome unit, with the appropriate keys, for emergency access in a location approved by the Fire Department. The key box shall be a Knox Box brand and sized to accommodate keys to every door of the townhome unit.
- Smoke and carbon monoxide detectors shall be installed per NFPA and the 2018 International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21 feet of each sleeping area, and on every level of occupancy, including the basement. Carbon monoxide alarms shall be installed in a central location outside each sleeping area and on every level of the townhome unit.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- An approved access roadway per 2018 International Fire Code Appendix D shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, an approved aerial fire apparatus access road shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be

placed in a conspicuous, easy to access, unobstructed location that is less than 75 feet travel distance to any combustibles on site, 30 feet to any hot work. Upon completion of project, every townhome unit shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. During construction, three 5-pound Class A fire extinguishers shall be required in each townhome unit.

- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10-feet of separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- This project shall comply with the City of Ketchum Fire Protection Ordinance No. 1217 and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, both shall have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12 inches vertical of finished grade shall be 1-hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12-inches horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire-resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the Fire Department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.

- The building permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The adjacent ROW along 7th must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities & Wastewater:

- The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property. The applicant shall coordinate with the existing Crossbuck HOA for future maintenance of the private water line.
- Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.
- Drywells must have proper separation from potable water lines.
- The final civil drawings shall be approved by DEQ prior to issuance of a building permit for the project.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.

Building:

- The building must meet the 2018 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with zoning and dimensional standards, design review evaluation standards, and subdivision design and development standards.

Table 2: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis

Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Lot Area</p> <p>Staff Comments Required Minimum Lot Area: 8,000 square feet minimum Required Minimum Townhouse Sublot Area: equal to the of the perimeter of the townhouse unit</p> <p>KMC §17.08.020 defines <i>Area of Lot</i> as the area of a lot, exclusive of any area contained within a private driveway easement.</p> <p><i>Ketchum Municipal Code §17.08.020: Definitions</i> AREA OF LOT: <i>The area within the boundaries of a lot, exclusive of any area contained within a public or private street, alley, fire lane or private driveway easement; also, exclusive of any narrow strip of land connecting a lot set back from any public street for the purpose of providing driveway access with that street and exclusive of any portion of the property that lies between the mean high-water marks of the Big Wood River, Trail Creek and Warm Springs Creek. All exclusions shall not be used for the purpose of calculating density and building coverage. Lot area shall include the area of any dedicated public bike path, equestrian path or other public pathway within the boundaries of a lot.</i></p> <p>Proposed: Lot 1A of Block 67 within Ketchum Townsite has a total area of 8,240 square feet (0.19 acres).</p> <p>The area of the private driveway easement on subplot 1A is 660 square feet.</p> <p>The area of the lot as defined by KMC §17.08.020 exclusive of the private driveway easement on subplot 1A is 7,580 square feet.</p> <p>Lot 1A is proposed to be subdivided into two townhouse sublots. All townhouse sublots within the proposed subdivisions are greater than the perimeter of the townhouse unit. No land within the townhouse subdivision is proposed to be designated as common area. The proposed areas of each townhouse subplot are indicated on the preliminary plat.</p> <p>Townhouse Sublot 1A: 4,120 square feet Townhouse Sublot 1B: 4,120 square feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Coverage</p> <p>Staff Comments BUILDING COVERAGE: The total square footage of the building foundation and all horizontal projections which constitute a "building" as defined in this section, but not including roof overhangs that are 3 feet or less or uncovered decks less than 30 inches above grade. Garages and guest homes shall be included in building coverage (KMC §17.08.020).</p>

				<p>Permitted: 35%</p> <p>Proposed: The townhome development's total building coverage is 35% (2,651 square feet building coverage/7,580-square-foot lot).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030</p> <p>Staff Comments</p>	<p>Minimum Building Setbacks</p> <p>Minimum: Front: 15 feet Side: 1 foot for every 3 feet in building height, but no less than 5 feet Rear: 15 feet</p> <p>KMC §17.128.020: Supplementary Yard Regulations A. Cornices, canopies, eaves, chimney chases or similar architectural features may extend into a required yard not more than 3 feet. H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</p> <p>Proposed: Dimensioned setbacks from property lines are indicated on Sheet L-1.0 of the project plans. Front (North/7th Street): 15' Street Side (East/2nd Avenue): 10'-4" Side (West/Interior): 15' Rear (South/Interior): 15'</p> <p>At-grade paver patios extend into the required setback areas, which is permitted pursuant to KMC §17.128.020.H. As indicated on Sheet A-2A, roof overhangs extend into the setback area a maximum of 3 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030</p> <p>Staff Comments</p>	<p>Building Height</p> <p>Maximum Permitted: 35 feet</p> <p><i>KMC §17.08.020: HEIGHT OF BUILDING: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet (5') greater than the maximum height permitted in the zoning district (see illustration B on file in the Office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the Office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of fifty percent (50%) of the height of the lower facade; except, that roof overhangs may extend up to three feet (3') into this area (see illustration B on file in the Office of the City Clerk). This building height provision shall apply to parapets, boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</i></p>

				<p>Proposed: <i>Townhome Unit A</i> Lowest Grade Elevation: 5795' Highest Point of Roof Elevation: 5833' Greatest Vertical Distance Building Height: 33 feet Maximum Distance Regardless of Vertical Alignment Building Height: 38 feet</p> <p><i>Townhome Unit B</i> Lowest Grade Elevation: 5800' Highest Point of Roof Elevation: 5831' Greatest Vertical Distance Building Height: 31 feet Maximum Distance Regardless of Vertical Alignment Building Height: 31 feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Curb Cut</p> <p>Staff Comments</p> <p>Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</p> <p>Proposed: Both townhomes are accessed from a shared driveway that is 26 feet wide, which is 35% (26-foot-wide driveway/75 feet of street frontage along 7th Street) of the development's site street frontage along 7th Street.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p>Staff Comments</p> <p>Off-street parking standards apply to any new development and to any new established uses.</p> <p>Required: Multiple-Family Residential Dwelling Units in the GR-L Zone Units 2,001 square feet and above: 2 parking spaces</p> <p>Proposed: Both townhome units exceed 2,001 square feet. Each townhome unit has its own attached 2-car garage.</p>

Table 3: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p>Staff Comments</p> <p>No new streets are proposed with this development. The townhome units will be accessed from a shared driveway off 7th Street. Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate</p>

				sight distances and proper signage for the proposed driveway accesses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	<p>While the Crossbuck McNee Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed along 7th Street within this residential neighborhood. The property has street frontage along 2nd Avenue and the bike path.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete

				sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			Staff Comments	The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7 th Street or 2 nd Avenue rights-of-way. All drainage improvements must meet city standards. Drainage improvements are indicated on Sheet L3 of the project plans (Exhibit A). Proposed drainage improvements include landscape drywells. Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. As noted in the Utilities Department’s comments, all drywells must have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements shall be equal to the length of the property lines adjacent to 7 th Street and 2 nd Avenue. All drainage improvements shall meet City standards. All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project. See Table 1 for comments and conditions from the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	The application will be required to install drainage improvements to the satisfaction of the City Engineer. A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the building permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			Staff Comments	All drainage facilities within the project site and the public right-of-way shall meet city standards. Final drainage specifications must be included with the civil drawings submitted with the building permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	<p>The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property.</p> <p>Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.</p> <p>Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Staff Comments	<p>All utilities within the development site shall be underground and concealed from public view.</p> <p>The project plans indicate a relocated transformer at the southwest corner of the parcel straddling the property line onto adjacent Lot 2A of Block 67. The transformer is proposed to be screened by deciduous shrubs.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify if additional fiber optical conduit is required to be installed for the new multi-family residential development.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	As noted on Sheet MB, the Crossbuck McNee Townhomes will match the existing Crossbuck townhome units developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette. The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	N/A. No significant landmarks of historical or cultural importance have been identified on the property. The site is vacant—this townhome development is an infill project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	N/A This standard does not apply because the project is new construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	The front doors to both townhome units are clearly defined by a covered entry framed by steel posts landscaped planters. The entrances to both townhome units lead to at-grade paver patios that connect to the bike path along 2 nd Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			Staff Comments	The proposed architectural features include exterior material differentiation, fenestration, steel canopy elements, and wire mesh trellises. The exterior materials and architectural features will match the existing Crossbuck townhomes. Despite this consistency, these features are not as successful at defining the character of the McNee townhome units. The composition, proportion, and rhythm of the townhomes' materials do not provoke as much visual interest as the existing Crossbuck townhome units. For example, the existing Crossbuck townhomes incorporates more large rectangular windows. The arrangement of these windows establishes a rhythm that animates the street-facing facades. The fenestration proposed with

				<p>the McNee townhomes does not provide enough visual relief to mitigate the appearance of blank walls at the street-side facades. The existing Crossbuck units utilize the placement of stone veneer more effectively. For example, the existing Crossbuck units' entire chimney is clad in stone veneer. This creates a prominent column that vertically integrates each floor and grounds the townhomes to the project site. The use of stone veneer proposed with the McNee townhomes is limited to one- and two-story elements. More exterior material differentiation and fenestration is needed to provide visual interest.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F3 Architectural</p> <p>There shall be continuity of materials, colors and signing within the project.</p>	<p>Staff Comments</p> <p>As noted on Sheet MB, the Crossbuck McNee Townhomes will match the existing Crossbuck Townhomes developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette.</p> <p>The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F4 Architectural</p> <p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p>	<p>Staff Comments</p> <p>The project does not propose any accessory structures. The project's site improvements include landscaping, planters, and gabion. The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the townhome units.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.F5 Architectural</p> <p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p>	<p>Staff Comments</p> <p>The townhome units are boxy and bulky buildings. Unlike the existing Crossbuck units and the townhome units proposed on adjacent Lot 2A, the McNee units have maximum building heights of 35 feet and 38 feet in height. As shown on Sheet A-7A of the project plans, townhome unit A takes advantage of the additional 5 feet of building height provided for in Ketchum Municipal Code §17.08.020 due to the topography of the site. The maximum height of townhome unit A from lowest grade to highest point of the roof is 38 feet. The mass of the building's rectangular volumes is overbearing. The design utilizes subtractive massing to create the covered entryway at the front door. This recession emphasizes the buildings' mass at the street-facing façade</p>

				The material differentiation and an upper-level setback created by the second-floor deck do not provide sufficient visual relief from the building mass. The lack of articulation and variation produces areas of uninterrupted, blank walls. The unbroken façades reinforce the bulk and mass of the townhome units.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			Staff Comments	The townhome units include covered entryways that orient towards the 2 nd Avenue. These covered entryway landings lead to paver walkways that connect to the bike path along 2 nd Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	Each townhome unit have its own trash and recycling bins stored and screened from public view within the attached, enclosed garages. The applicant has submitted a letter from Clear Creek Disposal approving the townhome development’s garbage disposal configuration. The townhome unit owners will move the garbage and recycling bin to 7 th Street for service. The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. As indicated on Sheet A2-A, the roof includes a system of internal drains as well as gutters. The roof plans shows snow guards to prevent snow from sliding onto areas where pedestrians gather and circulate or onto adjacent properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	The townhome units’ entrances lead to at-grade paver patios that connect to the bike path along 2 nd Avenue. The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood. Pedestrian and bicycle access is provided within the low-traffic residential streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5’) feet or more across the public sidewalk but shall not extend within two (2’) feet of parking or travel lanes within the right of way.

			Circulation Design	N/A. No awnings are proposed to extend across the public sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	The townhome units will both be accessed from a shared driveway along 7 th Street. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	As specified on Sheet L-1.0, the shared driveway entrance to the townhome development is located 58 feet from the intersection of 7 th Street and 2 nd Avenue. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	The new multi-family residential development provides unobstructed access for emergency vehicles, snowplows, garbage trucks, and other services vehicles. Unobstructed access to the townhome units is provided from the shared driveway along 7 th Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	The snow storage calculation is indicated on Sheet L3 of the property plans. The applicant has provided 600 square feet of snow storage on site, which is 30% of the asphalt driveway area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
			Staff Comments	The snow storage calculation is indicated on Sheet L3 of the property plans. The applicant has provided 600 square feet of snow storage on site, which is 30% of the asphalt driveway area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.

			Staff Comments	The 3 snow storage areas meet this dimensional requirement. The snow storage areas provided on site are 200, 50, and 350 square feet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	The applicant has provided snow storage on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			Staff Comments	The landscape plan is provided on Sheet L3 of the project plans. Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	The landscape plan is provided on Sheet L3 of the project plans. Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses. The landscape plan shows 7 deciduous trees planted along the street frontages. The proposed landscaping will beautify the adjacent bike path.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Staff Comments	All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The project's proposed landscaping provides a buffer between both townhome units and the adjacent existing Crossbuck townhome unit to the south. The 7 deciduous trees planted along the street side property line will buffer the townhome units from 2 nd Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	The City Engineer has determined that sidewalks are not required for this project in this residential neighborhood.

Table 4: Townhouse Subdivision Requirements

Townhouse Plat Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.B	Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.
			Staff Comments	The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and CC&Rs document to the Planning & Building Department and file such document prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.1	<p>Preliminary Plat Procedure: Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection.</p> <p>All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.</p>
			Staff Comments	The townhouse subdivision shall be platted under the procedures contained in the subdivision ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.2	The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.
			Staff Comments	The townhome subdivision preliminary plat and design review applications for the development are being reviewed concurrently.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.3	The preliminary plat, other data, and the commission's Staff Comments may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.
			Staff Comments	The preliminary plat and the Planning & Zoning Commission's Staff comments will be transmitted to the City Council for their review and approval prior to the issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.C.4	In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.
			Staff Comments	N/A. The applicant has not proposed phasing with this townhome development project.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.D	<p>D. Final Plat Procedure:</p> <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the townhouse has received either:</p> <ul style="list-style-type: none"> a. A certificate of occupancy issued by the city of Ketchum for all structures in the townhouse development and completion of all design review elements as approved by the planning and zoning administrator; or b. Signed council approval of a phased development project consistent with §16.04.110 herein. <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code.</p>
			Staff Comments	The applicant shall follow the final plat procedure as specified in the City's subdivision ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.1	<p>E. Required Staff Comments : In addition to all Townhouse Developments complying with the applicable provisions of Title 17 and this Subdivision Chapter (§16.04), the Administrator shall find that</p> <p>All Townhouse Developments, including each individual subplot, shall not exceed the maximum building coverage requirements of the zoning district.</p>
			Staff Comments	The townhome project is located within the General Residential Low Density (GR-L) Zone. The townhomes development's proposed building coverage is 35% (2,651 square feet building coverage/7,580-square-foot lot), which is the maximum permitted in the GR-L Zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.E.2	<p>Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is tied to specific townhouse units on the townhouse plat and in any owner's documents, and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development.</p>
			Staff Comments	Each townhome unit includes an attached and enclosed 2-car garage. No detached garages are proposed with this townhome development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.3	<p>General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse subdivisions. (Ord. 1061 § 3, 2009: Ord. 879 § 4, 2001: Ord. 460 § 2, 1987)</p>
			Staff Comments	This townhouse subdivision will comply with all applicable local, state, and federal ordinances, rules, and regulations.

Table 5: Preliminary Plat Requirements (all subdivisions)

Preliminary Plat Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Staff Comments	The application has been reviewed and determined to be complete.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Staff Comments	All required materials for the preliminary plat application have been submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I.1	The scale, north point and date.
			Staff Comments	This standard has been met. The preliminary plat contains a scale, north point, and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.2	The name of the proposed subdivision.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			Staff Comments	This information has been provided on the application form and indicated on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.4	Legal description of the area platted.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Staff Comments	This standard has been met. The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. Additionally, the applicant has indicated the Crossbuck West Townhomes proposed on adjacent Lot 2A on the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			Staff Comments	This project plans include a topographic map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Staff Comments	The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. 7 th Street and 2 nd Avenue are indicated on the plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.8	Boundary description and the area of the tract.
			Staff Comments	This boundary description and the area of the tract is noted on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Staff Comments	The property is within the GR-L Zone.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Staff Comments	This standard has been met. The location of the proposed townhouse sublots are indicated on the preliminary plat. The existing location of 2 nd Avenue, 7 th Street, and the Block 67 alley are indicated on the plat. The existing public utility easements are indicated on the plat. The townhouse subdivision does not propose a new lots, blocks, or street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Staff Comments	The townhome development does not provide any land intended to be dedicated for public use or for the common use of all future property owners within the proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Staff Comments	The project plans indicate the locations of all utility and drainage improvements as well as the required right-of-way improvements along 7 th Street. No new street lighting or curb and gutter improvements are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			Staff Comments	The project plans include drainage improvements. The drainage improvements are indicated on Sheet L2 and the drywell specifications are provided on the civil drawings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Staff Comments	All drainage improvements have been indicated on the project plans. No drainage canals are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			Staff Comments	The project plans include a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or avalanche overlay district.
			Staff Comments	N/A. The property is not currently mapped to be in the floodplain/floodway. The property is not located within the avalanche zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is

				adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Staff Comments	N/A. The property is not located within the floodway, floodplain, or avalanche zone. The property does not lie adjacent to a river or creek. The lot does not contain slopes of 25% or greater. The project does not create a new lot—the preliminary plat subdivides an existing corner lot into 2 townhouse sublots.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.18	Lot area of each lot.
			Staff Comments	The proposed size of each subplot is indicated on the preliminary plat—each subplot has an area of 4,120 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .19	Existing mature trees and established shrub masses.
			Staff Comments	The project plans indicate existing mature trees and shrub masses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	To be provided to Administrator:
				Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Staff Comments	The Crossbuck McNee Townhomes subdivision name is unique and is not the same as another townhouse subdivision in Blaine County.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Staff Comments	N/A. This project will connect to municipal services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Staff Comments	The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and Party Wall Agreement document to the Planning & Building Department and file such document prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Staff Comments	This standard has been met. The applicant has submitted a Title Report and the Last Deed of Record.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.24	A digital copy of the preliminary plat shall be filed with the administrator.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by

				<p>the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			Staff Comments	<p>This standard has been met. The construction design plans shall be submitted with the building permit application for review by City Departments. All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			Staff Comments	<p>Improvement plans shall be reviewed and approved by City Departments through the building permit application process.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Staff Comments	<p>All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the</p>

				<p>city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			Staff Comments	All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Staff Comments	The applicant shall meet the required monumentation standards prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater

			<p>to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat..</p>
		Staff Comments	<p>Standards 1, 4, 5, and 6 have been met.</p> <p>Standard 1 has been met—the lot and townhouse sublots sizes, widths, and depths comply with the dimensional standards for lots and townhouse sublots required in the GR-L Zone. The proposed townhome development complies with setbacks from front, rear, and side property lines required in the GR-L Zone.</p> <p>Standard 6 has been met. Each subplot has 55 feet of frontage along 2nd Avenue. Sublot 1A has 75 feet of frontage along 7th Street.</p> <p>Standard 2 is not applicable as the subdivision is not located in the floodplain, mountain overlay, or avalanche zone. Standard 3 is no applicable because subject Lot 1A is located within Ketchum Townsite.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.G</p> <p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.

				4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.
			Staff Comments	N/A. No new blocks are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.1	H. Street Improvement Requirements: 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;
			Staff Comments	N/A. The townhome development is an infill project within an existing subdivision. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.2	2.All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;
			Staff Comments	This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.3	3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;
			Staff Comments	N/A. No street frontage improvements like planting strips are required.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.4	4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.5	5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.6	6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.7	7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary

				turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
			Staff Comments	N/A. This proposal does not create a new dead-end street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.8	8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
			Staff Comments	N/A. The townhouse sublots are within an existing subdivision. No new streets are proposed. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.9	9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
			Staff Comments	N/A. No new streets are proposed with this townhome development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.10	10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.11	11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.12	12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.13	13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.14	14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.15	15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.16	16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
			Staff Comments	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.17	17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.18	18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed and no sidewalks are required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.19	19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new private streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.20	20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.21	21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;
			Staff Comments	N/A. This proposal does not require construction of a new bridge or impact any existing bridges.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.22	22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;
			Staff Comments	While the Crossbuck McNee Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed within this residential neighborhood. The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7 th Street to City ROW standards for residential roadways. The required right-of-way improvements are indicated on Sheet C2 of the

			<p>project plans. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.H.23 23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and</p> <p>Staff Comments No gates are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.H.24 24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone</p> <p>Staff Comments N/A. The townhouse sublots are not located within the Avalanche Zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.I I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p> <p>Staff Comments N/A. The townhouse sublots are located in a residential neighborhood within the City's GR-L Zone and do not abut an alley.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.1	<p>J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.</p>
			Staff Comments	N/A. These easements are not required as the project create a new street and the property is not adjacent to Warm Springs Road.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.2	<p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.3	<p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.4	<p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.5	<p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p>
			Staff Comments	N/A. No changes to ditches, pipes, or other irrigation structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.6	<p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.</p>

			Staff Comments	N/A. The townhouse sublots are within an existing residential neighborhood. The City Engineer has determined that sidewalks are not required for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	<p>K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			Staff Comments	All townhome units will connect to the municipal sewer systems. The project shall meet all requirements of the Wastewater Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.L	<p>L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.</p>
			Staff Comments	The townhome development will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the Utilities Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	<p>M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan</p>

				for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			Staff Comments	N/A. The townhouse sublots are within an existing residential subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.1	<p>N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <p>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.</p>
			Staff Comments	The project shall meet all cut, fill, and grading standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.2	<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <p>a. Proposed contours at a maximum of five foot (5') contour intervals.</p> <p>b. Cut and fill banks in pad elevations.</p> <p>c. Drainage patterns.</p> <p>d. Areas where trees and/or natural vegetation will be preserved.</p> <p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</p>
			Staff Comments	The project plans include a grading plan on Sheet L2.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.3	<p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>
			Staff Comments	The proposed grading meets these requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N.4	<p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p>
			Staff Comments	N/A. The townhome development is an infill project on a vacant lot surrounding by existing development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.5	<p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p>
			Staff Comments	The project shall meet this requirement regarding soil stabilization and revegetation.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.6	<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</p> <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
			Staff Comments	The project shall meet these development standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.0	<p>O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			Staff Comments	The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7 th Street or 2 nd Avenue rights-of-way. All drainage improvements must meet city standards.
				Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. Additionally, the applicant shall submit geotechnical report with the building permit application for review by the City Engineer. As noted in the Utilities Department's comments, all drywells must

				have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			Staff Comments	All utilities, including electricity, natural gas, telephone, and cable services, shall be installed underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			Staff Comments	N/A. The townhouse subdivision does not trigger off-site improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			Staff Comments	N/A. The townhouse sublots are not located in the Avalanche or Mountain overlay zoning districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			Staff Comments	The applicant will install new landscaping as indicated on Sheet L-3.0 of the project plans.

STAFF RECOMMENDATION

After considering the project plans attached as Exhibit A, the applicant's presentation, staff's analysis, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to continue review of the Design Review application to a date certain.

EXHIBITS:

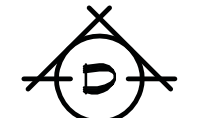
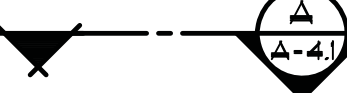

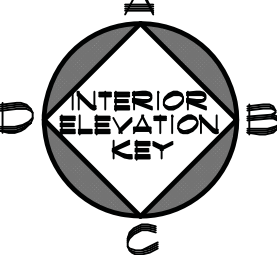
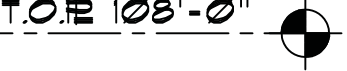





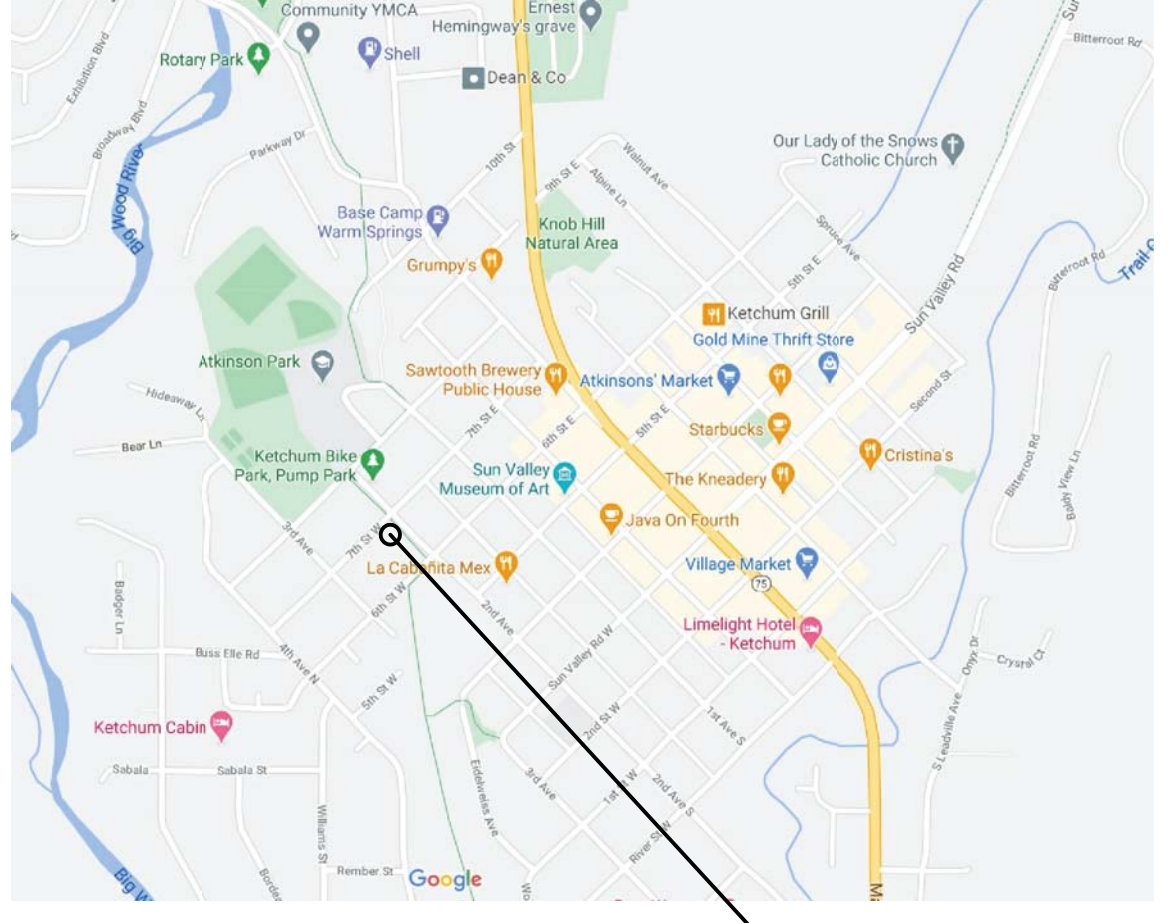
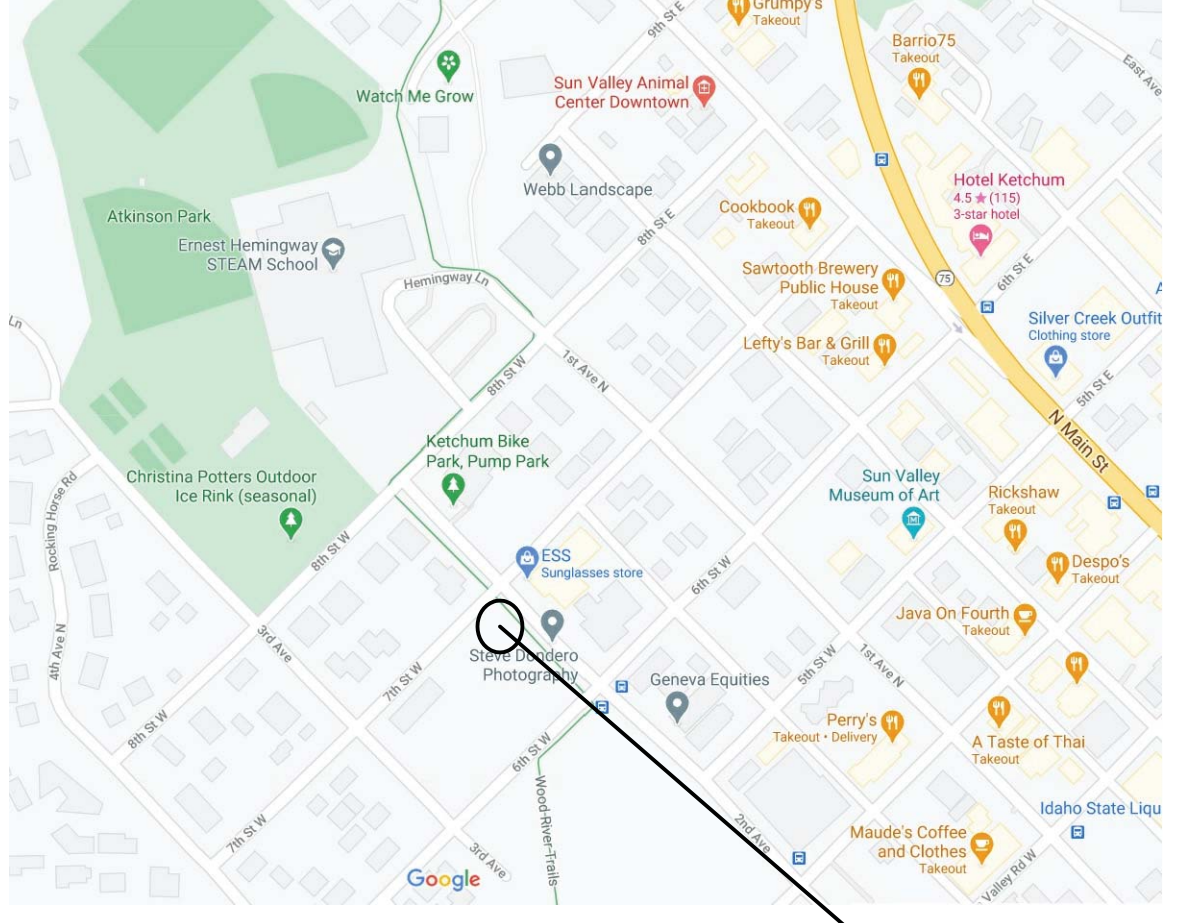
- A. Crossbuck McNee Townhomes Project Plans

Exhibit A:
Crossbuck McNee Townhomes
Project Plans

CROSSBUCK TOWNHOMES II

JUNE 21st, 2021

LOT 1A BLK 67
KETCHUM, ID 83340

PROJECT TEAM	GENERAL NOTES:	CODE COMPLIANCE:	SHEET INDEX																									
<p>ARCHITECT: Blincoe Architecture POST OFFICE BOX 4424 KETCHUM, IDAHO 83340 (208) 720-1925</p> <p>STRUCTURAL ENGINEER: Konrad Stohler Structural Engineering 614 S. MAIN BELLEVUE, IDAHO 83913 (208) 928-7810</p> <p>LANDSCAPE ARCHITECT: Eggers Associates, P.A. P.O. BOX 953 KETCHUM, ID 83340 (208) 725-0988</p> <p>CIVIL ENGINEER: Galena Engineering, INC. 317 N. RIVER STREET HALEY, ID 83333 (208) 788-1105</p> <p>SURVEYOR: Alpine Enterprises Inc. 280 RIVER ST. E KETCHUM, ID 83340 (208) 727-1988</p>	<p>NOTE:</p> <ol style="list-style-type: none"> CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER & GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS & DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE. 	<p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, (2018) INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.</p> <p>2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, (2018) INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70</p> <p>ROOFING: * ALL ROOFING SHALL COMPLY WITH CHAPTER 18 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>STAIRWAYS: * ALL STAIRWAYS SHALL COMPLY WITH SECTION R301 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>BUILDING ENVELOPE: * SHALL COMPLY WITH SECTION 402 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>LIGHTING EQUIPMENT: * SHALL COMPLY WITH SECTION R601 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>ATTIC ACCESS: * SHALL COMPLY WITH SECTION 402 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CHIMNEYS AND FIREPLACES: * ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 18 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND SECTION 402.4.2 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>GLASS AND GLAZING: * SHALL COMPLY WITH SECTION R602 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>DUCTS: * SHALL COMPLY WITH SECTION 403 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CRAWLSPACE VENTING: * SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>LIVING SPACE VENTILATION: * SHALL HAVE A RECOMMENDED AIR EXCHANGE OF .35 EXCHANGES PER PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p> <p>SOUND ISOLATION/TRANSMISSION * SHALL COMPLY WITH SECTION 720 AND SECTION 1207 OF THE 2018 INTERNATIONAL BUILDING CODE.</p>	<p>CS COVER SHEET</p> <p>00 PRELIMINARY FLAT</p> <p>01 ROW ENCROACHMENT PLAN</p> <p>02 CROSS SECTION</p> <p>03 UTILITY PLAN</p> <p>BUILDING "A"</p> <p>A-1A BASEMENT/MAIN LEVEL FLOOR PLAN</p> <p>A-2A UPPER LEVEL FLOOR PLAN/ROOF PLAN</p> <p>A-3A BUILDING SECTIONS</p> <p>A-4A BUILDING SECTIONS</p> <p>A-5A EXTERIOR ELEVATIONS</p> <p>A-6A EXTERIOR ELEVATIONS</p> <p>A-7A EXHIBIT "A" IN COMPLIANCE ILLUSTRATION B</p> <p>BUILDING "B"</p> <p>A-1B BASEMENT LEVEL/MAIN LEVEL PLAN</p> <p>A-2B UPPER LEVEL FLOOR/ROOF PLAN</p> <p>A-3B BUILDING SECTIONS</p> <p>A-4B BUILDING SECTIONS</p> <p>A-5B EXTERIOR ELEVATIONS</p> <p>A-6B EXTERIOR ELEVATIONS</p> <p>MB MATERIAL BOARD</p> <p>PS EXTERIOR PERSPECTIVES</p>																									
<p>ARCHITECTURAL SYMBOLS</p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p>BUILDING DATA</p> <p>OCCUPANCY : R3</p> <p>CONSTRUCTION TYPE : VI WOOD FRAME</p> <p>SQUARE FOOTAGE : UNIT A</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>BASEMENT LEVEL</td><td style="text-align: right;">586 #</td></tr> <tr><td>MAIN LEVEL AREA</td><td style="text-align: right;">1,076 #</td></tr> <tr><td>UPPER LEVEL AREA</td><td style="text-align: right;">899 #</td></tr> <tr><td>TOTAL LIVING:</td><td style="text-align: right;">2,561 #</td></tr> <tr><td>GARAGE</td><td style="text-align: right;">529 #</td></tr> <tr><td>TOTAL:</td><td style="text-align: right;">3,084 #</td></tr> </table> <p>: UNIT B</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>BASEMENT</td><td style="text-align: right;">847 #</td></tr> <tr><td>MAIN LEVEL AREA</td><td style="text-align: right;">892 #</td></tr> <tr><td>UPPER LEVEL AREA</td><td style="text-align: right;">1,202 #</td></tr> <tr><td>TOTAL LIVING:</td><td style="text-align: right;">2,941 #</td></tr> <tr><td>GARAGE</td><td style="text-align: right;">462 #</td></tr> <tr><td>TOTAL:</td><td style="text-align: right;">3,403 #</td></tr> </table> <p>TOTAL LOT COVERAGE : 34.9%</p> <p>PROPERTY AREA : 0.19 ACRE</p> <p>BUILDING CODE : 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>: 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>: 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>ZONING : GR-L</p> <p>PHYSICAL ADDRESS :</p> <p>LEGAL DESCRIPTION : LOT 1A BLK 67</p> <p>PARCEL NUMBER : RPK0000067001A</p> <p>CITY OF KETCHUM BUILDING DEPARTMENT.</p> <p>CITY OF KETCHUM FIRE DEPARTMENT</p>	BASEMENT LEVEL	586 #	MAIN LEVEL AREA	1,076 #	UPPER LEVEL AREA	899 #	TOTAL LIVING:	2,561 #	GARAGE	529 #	TOTAL:	3,084 #	BASEMENT	847 #	MAIN LEVEL AREA	892 #	UPPER LEVEL AREA	1,202 #	TOTAL LIVING:	2,941 #	GARAGE	462 #	TOTAL:	3,403 #	<p>VICINITY MAP</p>  <p style="text-align: center;">SITE</p>	<p>ENERGY REPORT</p>	<p>NEIGHBORHOOD MAP</p>  <p style="text-align: center;">PROJECT LOCATION</p>
BASEMENT LEVEL	586 #																											
MAIN LEVEL AREA	1,076 #																											
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<p>DESIGN REVIEW SET-REVISED</p> <p>NOT FOR CONSTRUCTION</p>																												

www.BlincoeArchitecture.com

Blincoe Architecture

UP/S/REG/EC
251 Northwood Way Suite E
Ketchum, Idaho 83340
Tel: 208-720-1925
Email: info@blincoearchitecture.com

LICENSED ARCHITECT
AR 984802

CHAD E. BLINCOE
STATE OF IDAHO

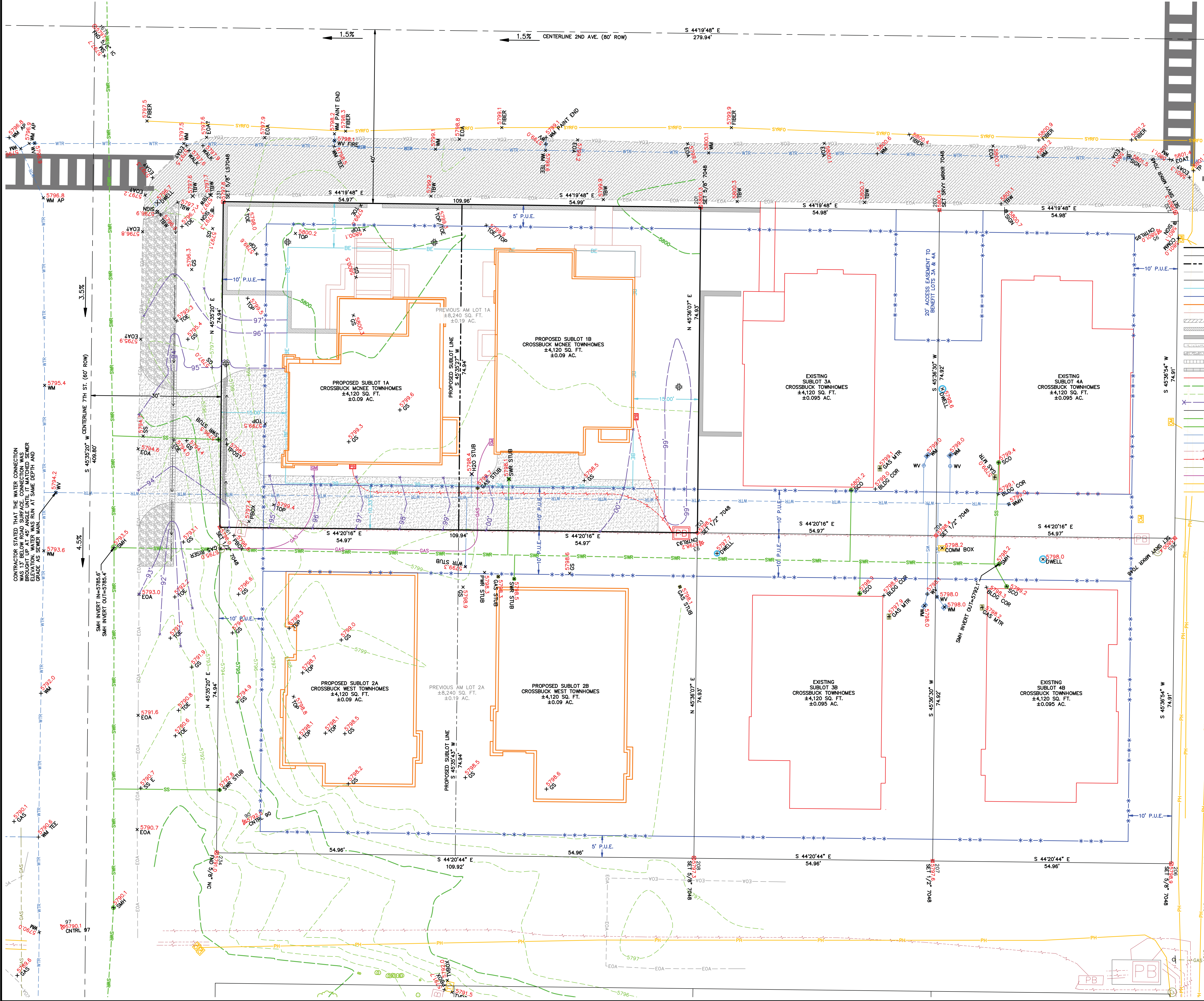
CROSSBUCK TOWNHOMES II

LOT 1A BLK 67
KETCHUM, ID 83340

JOB #:	008.20
PLOT DATE:	4/6/21
DESIGN REVIEW:	3/4/21
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△ DESIGN REVIEW	3/4/21
△ DESIGN REVIEW UPDATE	4/6/21
△ PERMIT SET	4/16/21
△ DESIGN REVIEW SET-RVSD	6/21/21
△	

CS

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



- ### LEGEND
- Subject Boundary
 - Adjoinder Boundary
 - Proposed Lot Line
 - EOA = Edge of Asphalt
 - CL = Road Centerline
 - BE = Building Envelope
 - PUE = Public Utility Easement
 - Proposed Structure
 - Proposed Deck & Walkway
 - Bike Path
 - Proposed Retaining Wall
 - Existing Retaining Wall
 - Proposed Driveway
 - Proposed Granular Fill
 - Proposed 12" CMP Culvert
 - Proposed Trench Drain
 - Existing Structure
 - Existing 5' Major Contour
 - Existing 1' Minor Contour
 - Proposed Contour
 - FL = Proposed Flowline
 - SWR = Sewer Main
 - SS = Sewer Service
 - WTR = Water Main
 - WS = Water Service
 - PWR = Buried Power
 - Proposed Buried Power Service
 - GAS = Buried Gas
 - Proposed Buried Gas Service
 - PH = Buried Phone
 - FIBER = Buried Syringa Fiber-Optic
 - FND 5/8" = Found 5/8" Rebar
 - FND 1/2" = Found 1/2" Rebar
 - CNTRL = Survey Control
 - WV = Water Valve
 - WM = Water Meter
 - Water Service Stub
 - DWELL = Existing Catch Basin
 - DWELL = Existing Dry Well
 - Proposed Dry Well
 - SMH = Sewer Manhole
 - SCO = Sewer Cleanout
 - Sewer Service Stub
 - PBOX = Existing Power Transformer/Meter
 - Proposed Power Transformer/Meter
 - GM = Existing Gas Meter
 - Gas Riser
 - Gas Service Stub
 - Proposed Gas Meter
 - COMM = Communications Box
 - Sign
 - IC Illegible Cap
 - GS Ground Elevation
 - TOP Top of Slope
 - TOE Toe of Slope
 - TBW Top Back of Walkway
 - BLDG Building
 - COR Corner

- ### NOTES
- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
 - 2) Boundary Information is from the Plat of Village of Ketchum; Found Monuments; Lots 1A, 2A, 3A, & 4A, Block 67, Ketchum Townsite, Instrument Number 658996; Crossbuck Townhomes: Phase 3, Instrument Number 667284; Records of Blaine County, Idaho.
 - 3) Current Zoning is City of Ketchum, General Residential Low-Density, GR-L.
 - 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
 - 5) Name and address of Owner/Subdivider: MMDM11 LLC, PO Box 2028, Sun Valley, ID 83353
 - 6) 5) Sublots shall have Mutual Reciprocal Utility Easements for Use, Maintenance and Repair.
 - 7) A Driveway Access Easement on Sublot 1A to benefit Sublot 1B will be provided on the Final Plat.

CONTRACTOR STATED THAT THE WATER CONNECTION WAS 13" BELOW ROAD SURFACE. CONNECTION WAS MADE TO EXISTING WATER MAIN. WATER MAIN DEPTH AND GRADE AS SEWER MAIN.

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

A PRELIMINARY PLAT SHOWING
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MMDM11 LLC.

Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering
and Natural Hazards Consulting
660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988 fax 727-1987
email: bsrnth@alpineenterprisesinc.com

NO	DATE	BY

REVISIONS
Design Review Set—Clarification Updates

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1274_KetchumBlk67\1-4.dwg\1274_CrossbuckTownHomes_Lots1A-1B_Prelat_2021.dwg 6/24/2021 10:47:49 AM MDT

PROFESSIONAL LAND SURVEYOR
STATE OF IDAHO
7048
24JUN21

Sheet 1 of 1



The USDA-FSA Aerial Photography Field office asks to be credited in derived products.



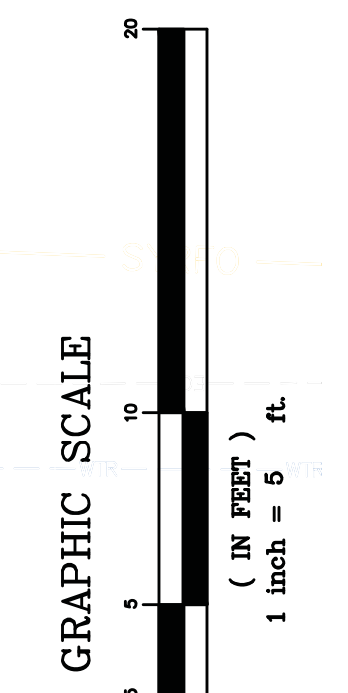
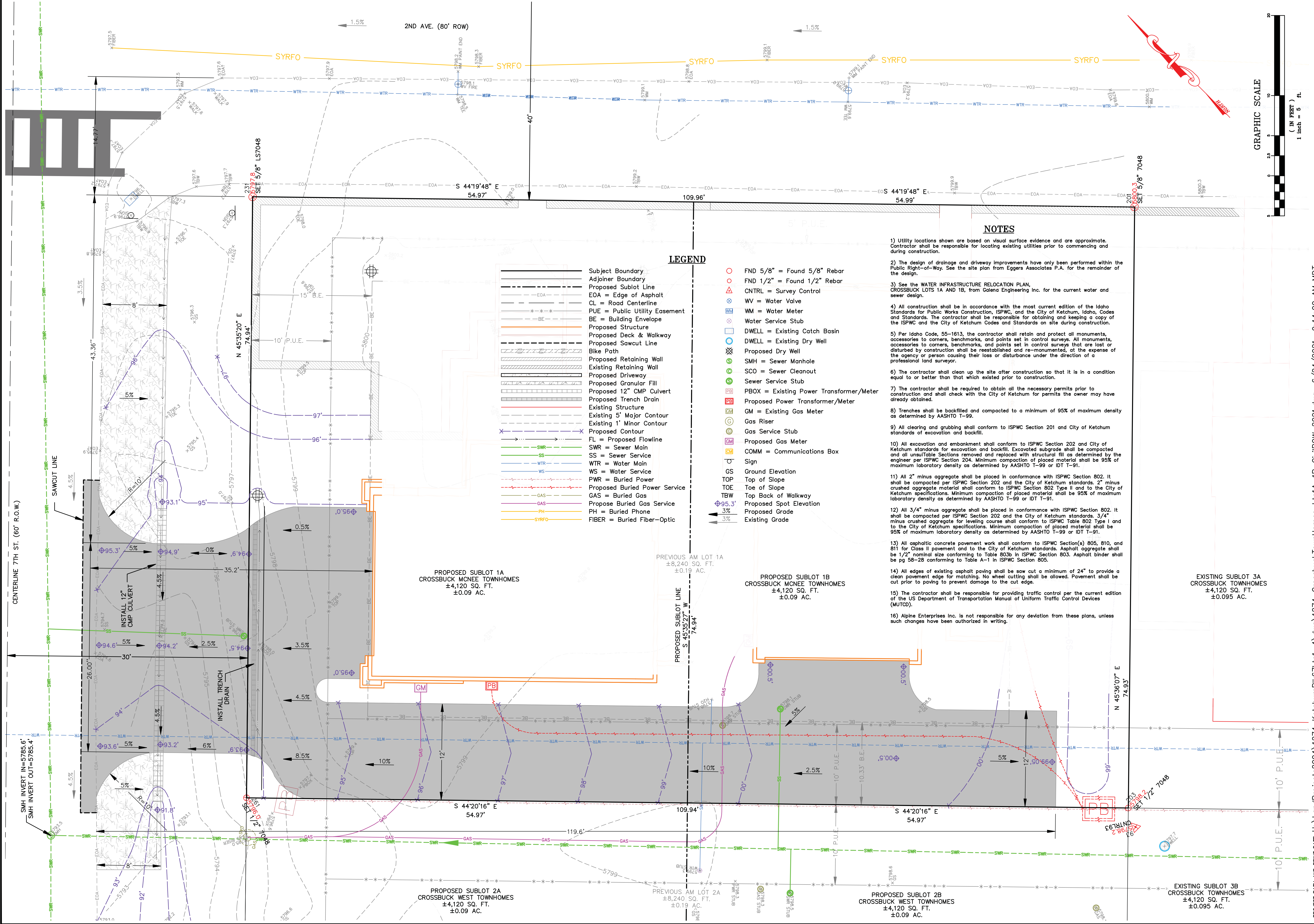
A Vicinity Map Showing
Crossbuck McNea Townhomes
City of Ketchum
Blaine County, Idaho

ALPINE ENTERPRISES INC.

PO Box 2037
660 Bell Drive, Unit1
Ketchum, Idaho
208-727-1988

1 inch = 100 feet

March 2021



LEGEND

- Subject Boundary
- Adjoiner Boundary
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- - - CL = Road Centerline
- - - PUE = Public Utility Easement
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- ⊗ Sign
- ⊗ GS Ground Elevation
- ⊗ TOP Top of Slope
- ⊗ TOE Toe of Slope
- ⊗ TBW Top Back of Walkway
- ⊗ Proposed Spot Elevation
- ⊗ Proposed Grade
- ⊗ Existing Grade

NOTES

- 1) Utility locations shown are based on visual surface evidence and are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- 2) The design of drainage and driveway improvements have only been performed within the Public Right-of-Way. See the site plan from Eggers Associates P.A. for the remainder of the design.
- 3) See the WATER INFRASTRUCTURE RELOCATION PLAN, CROSSBUCK LOTS 1A AND 1B, from Galena Engineering Inc. for the current water and sewer design.
- 4) All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPWC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPWC and the City of Ketchum Codes and Standards on site during construction.
- 5) Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- 6) The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- 7) The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- 8) Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- 9) All clearing and grubbing shall conform to ISPWC Section 201 and City of Ketchum standards of excavation and backfill.
- 10) All excavation and embankment shall conform to ISPWC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPWC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 11) All 2" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPWC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 12) All 3/4" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPWC Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 13) All asphaltic concrete pavement work shall conform to ISPWC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPWC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPWC Section 805.
- 14) All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- 15) The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- 16) Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.

PROJECT PATH AND PRINT DATE U:\LandProjects\2004\1274_KetchumBik67\1st-4.dwg\1274_CrossbuckTownHomes_Lots1A-1B_CivilROW_2021.dwg 6/24/2021 9:14:00 AM_MDT

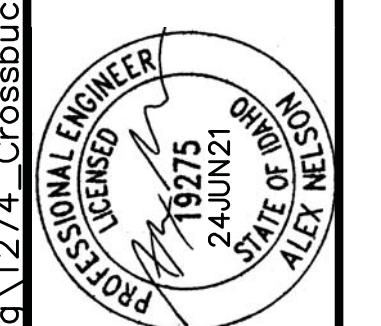
A ROW ENCROACHMENT PLAN SHOWING
 CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
 WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MMDM11 LLC.

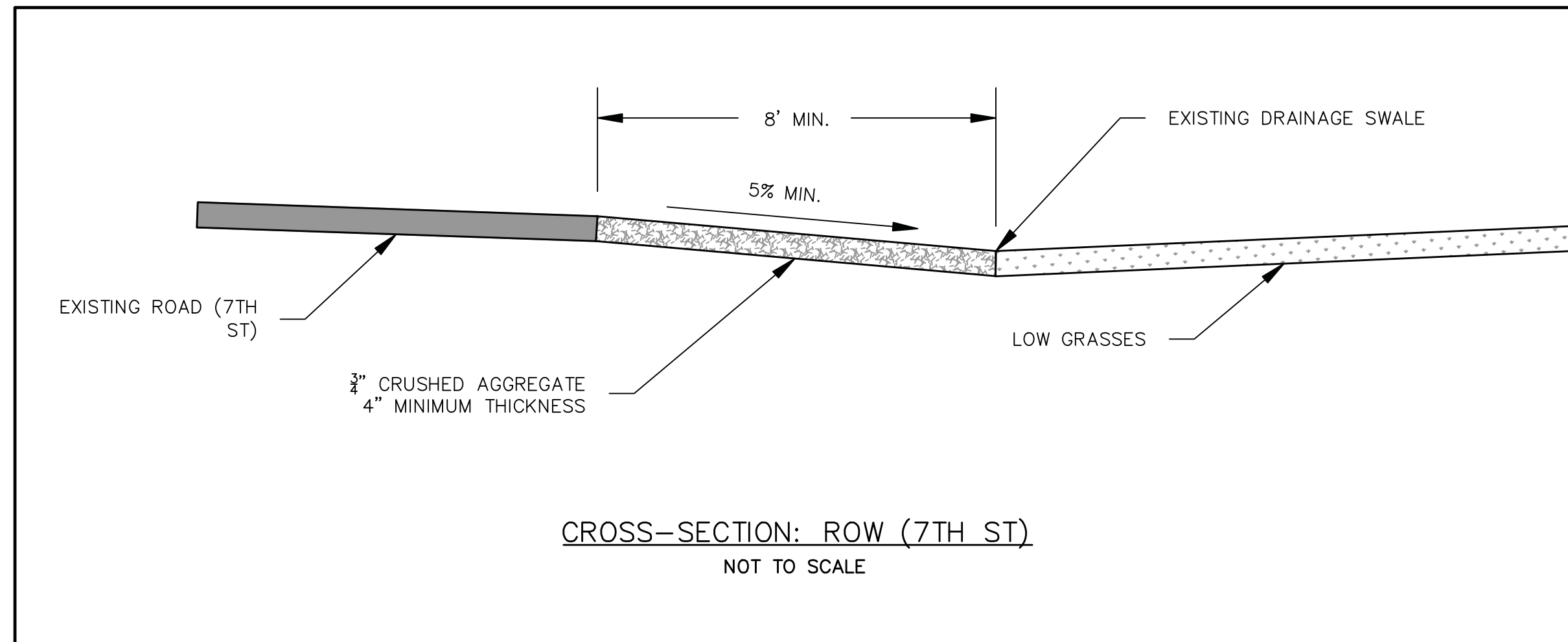
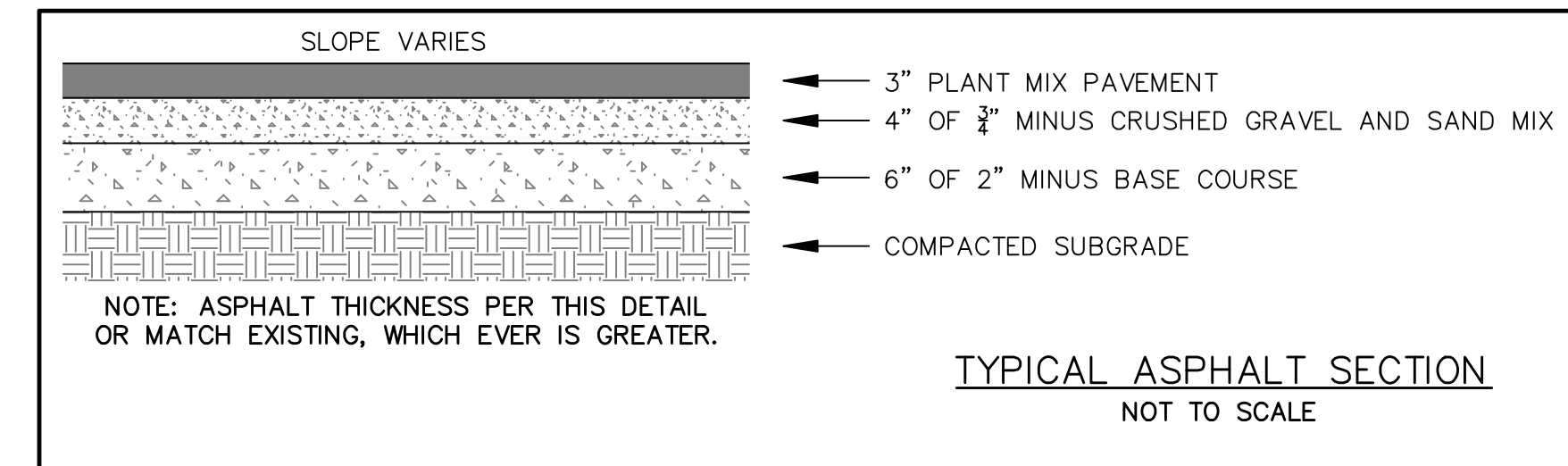
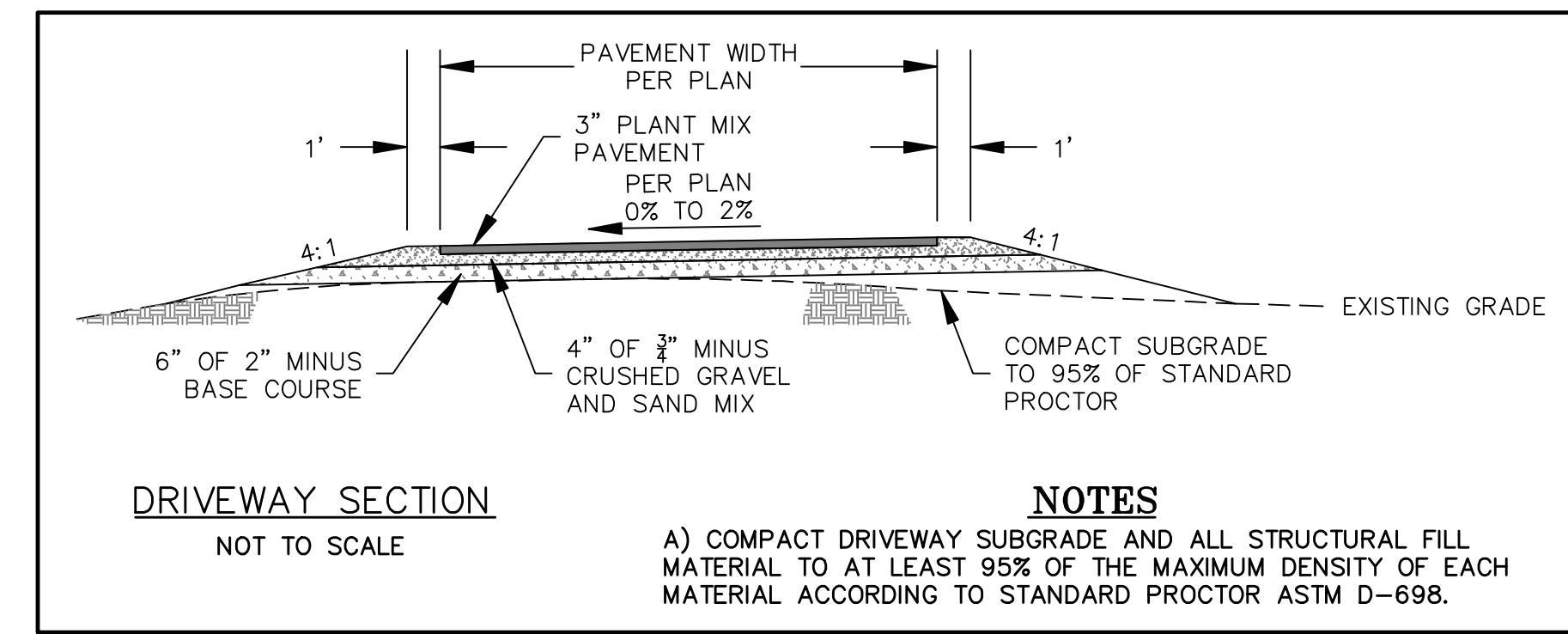
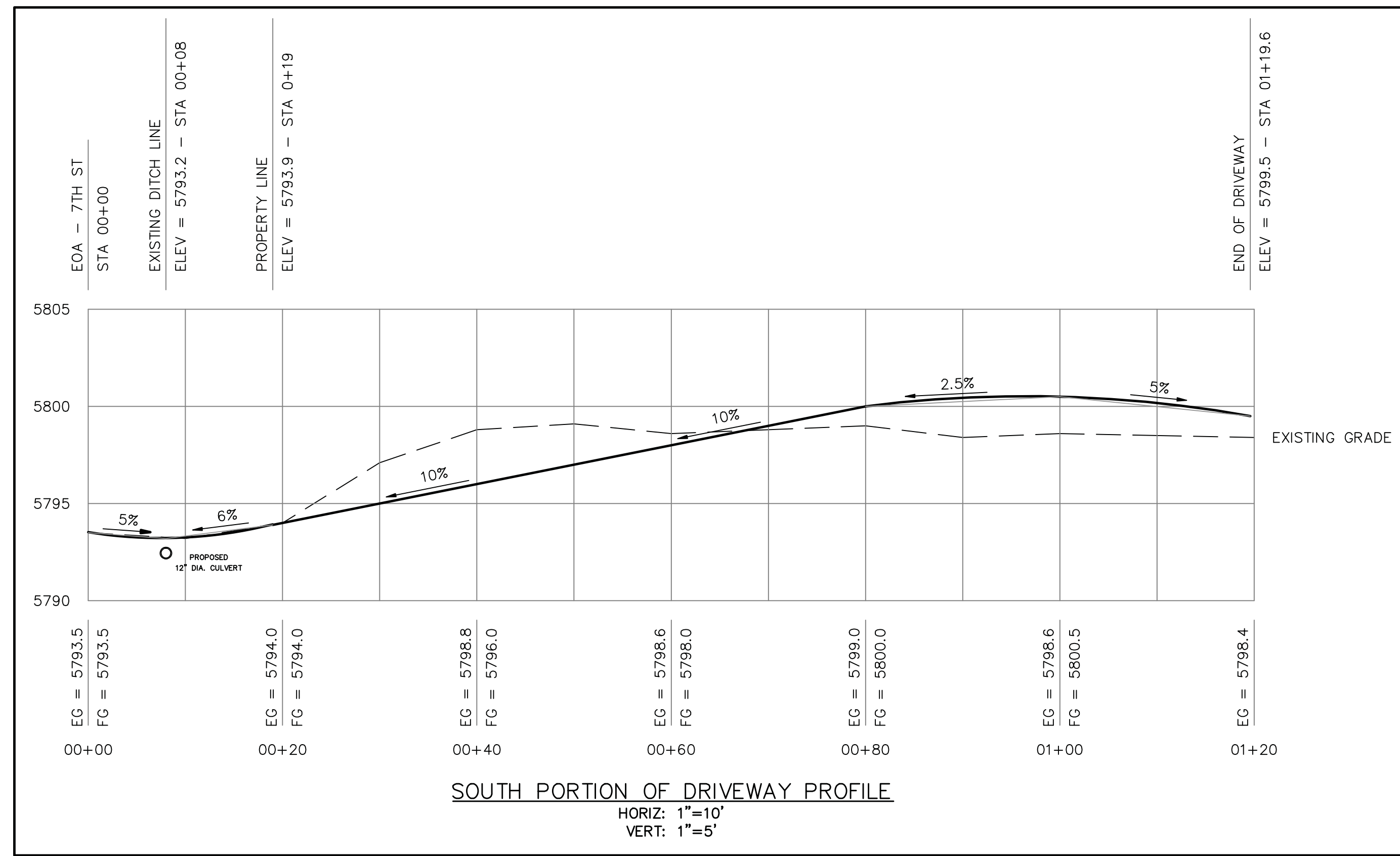
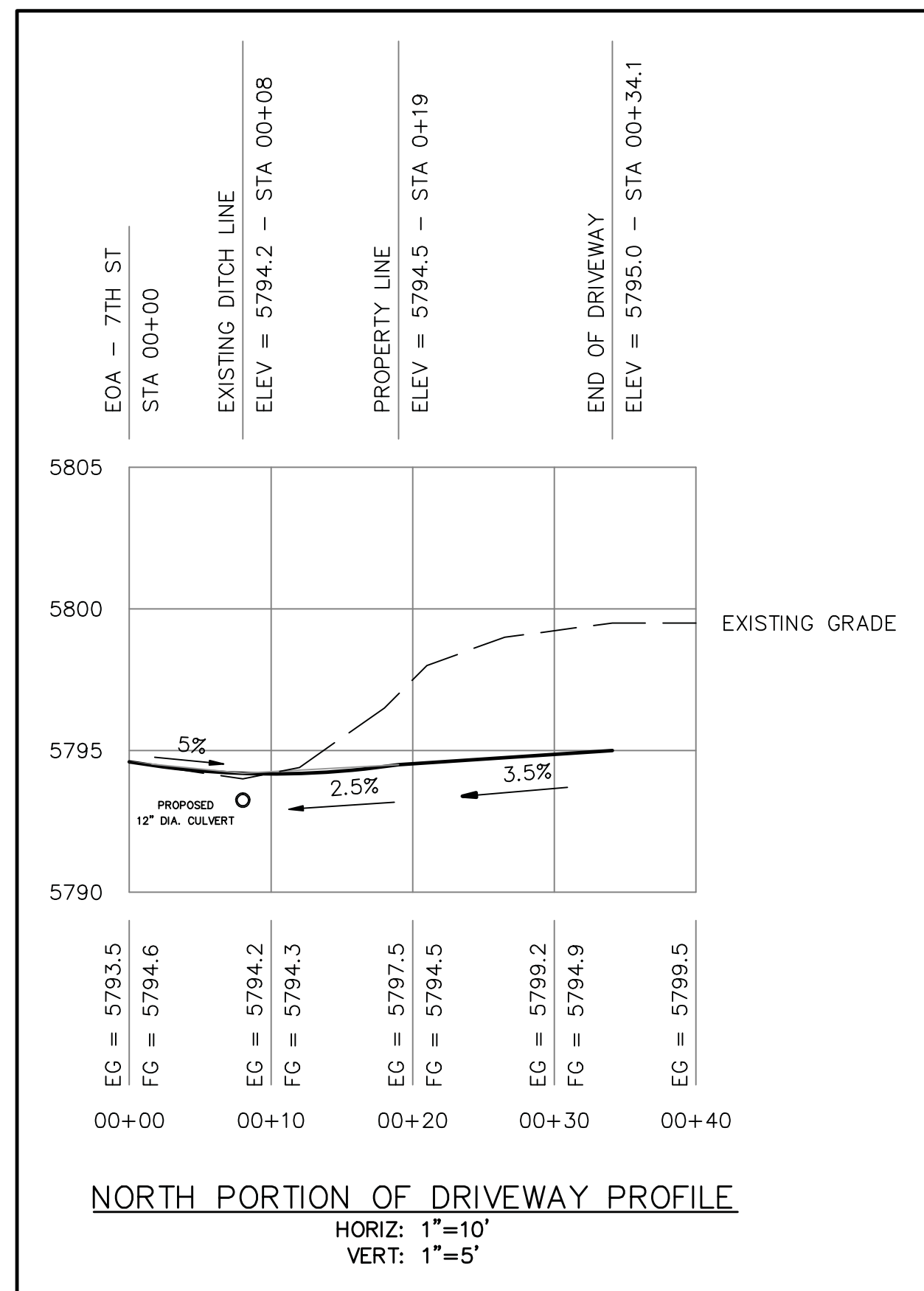
Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering
 and Natural Hazards Consulting
 660 Bell Drive, Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsrmi@alpineenterprisesinc.com

NO	DATE	BY

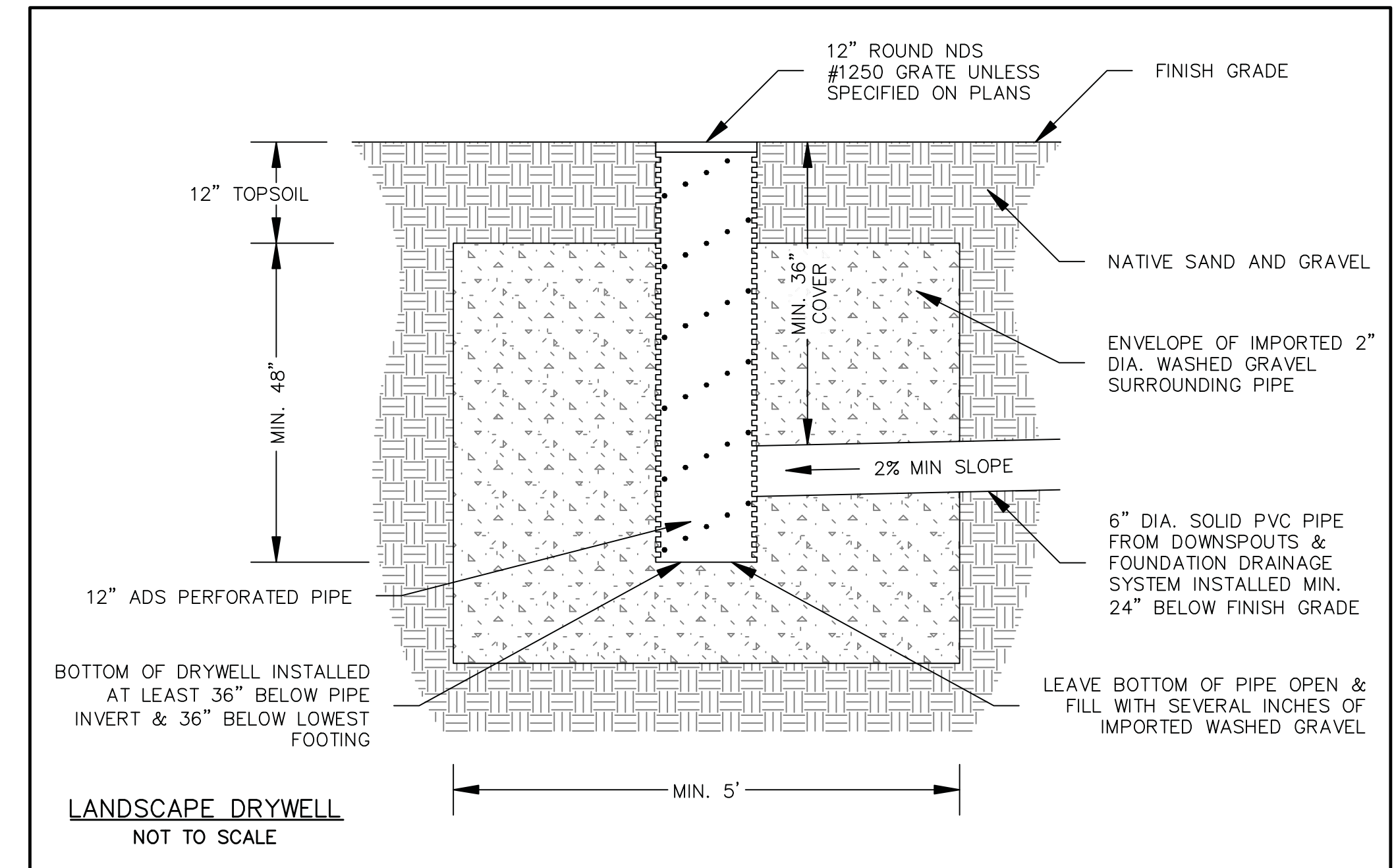
DESIGN REVIEW SET-CLARIFICATION UPDATES
 PRELIMINARY ONLY- NOT FOR CONSTRUCTION
 DESIGN REVIEW SUBMITTAL

Sheet 1 of 2





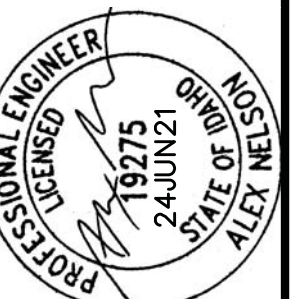
- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
 - H) No snow-melt system (other than driveway).



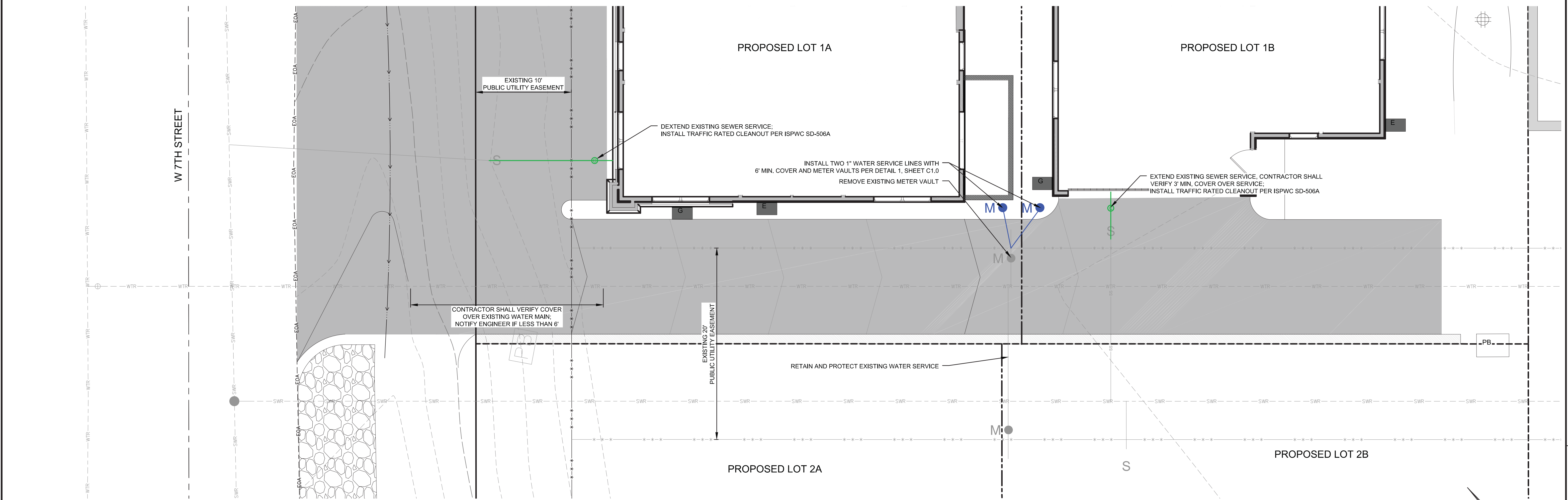
PROJECT PATH AND PRINT DATE U:\LandProjects\2004\1274_KetchumBk67\1-4.dwg\1274_CrossbuckTownHomes.Lts1A-1B_CivilROW_2021.dwg 6/24/2021 9:14:00 AM.MDT

DESIGN REVIEW SET - CLARIFICATION UPDATES	NO	DATE	BY
PRELIMINARY ONLY - NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL			

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering
 and Natural Hazards Consulting
 660 Bell Drive, Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsrsmith@alpineenterprisesinc.com

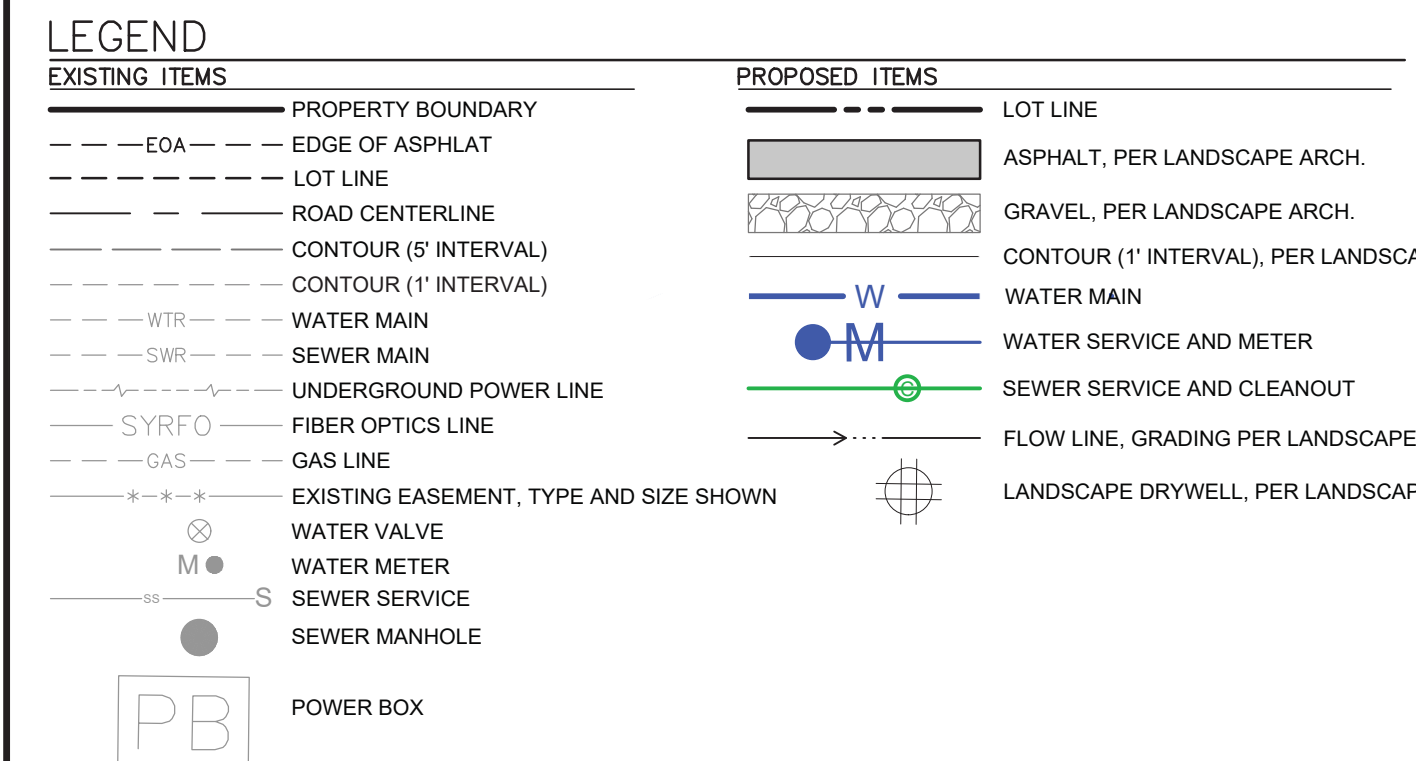


A ROW ENCROACHMENT PLAN SHOWING
 CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
 WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MMDM11 LLC.



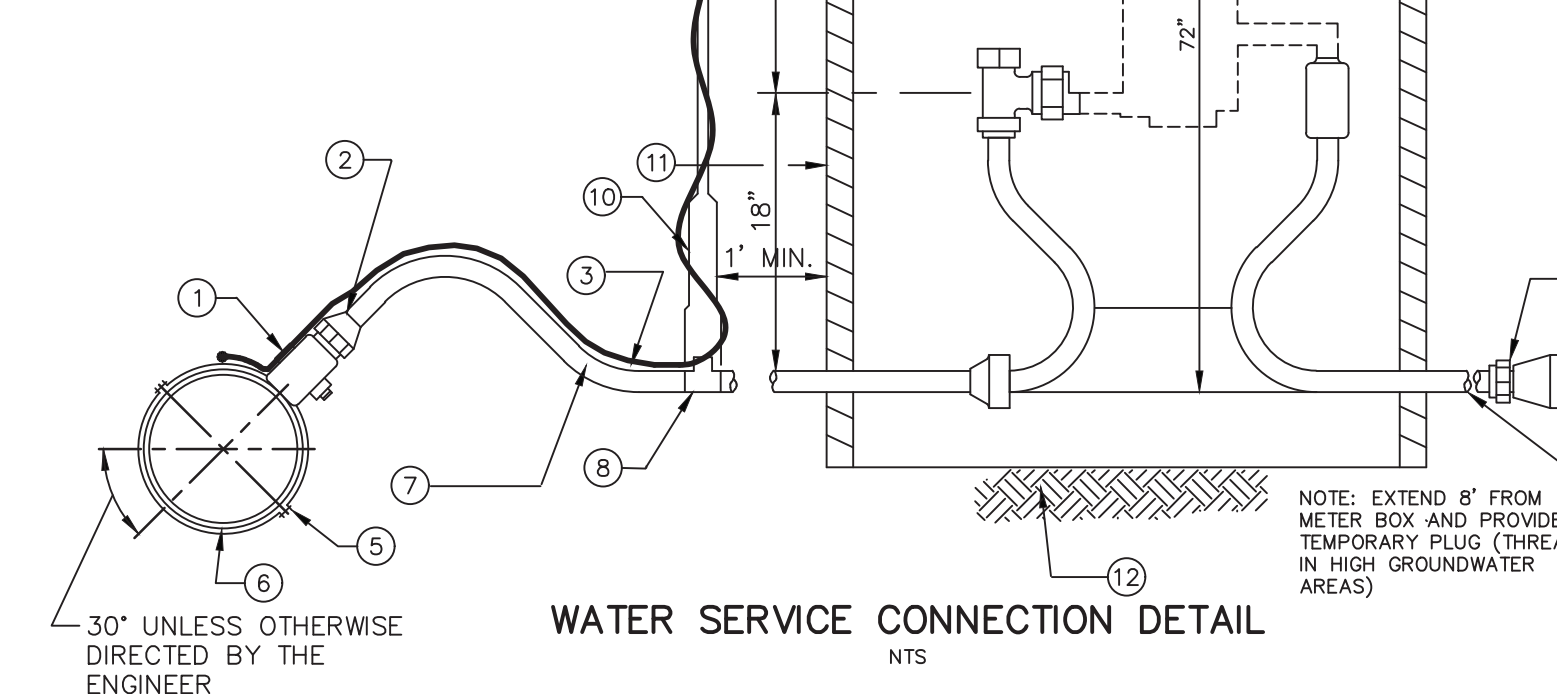
CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE 'IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION' (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE. PROPOSED LOCATIONS SHOWN HEREON ARE PER THE LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
8. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
9. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
10. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
11. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
12. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
13. THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
14. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES, ON-SITE EXISTING WATER AND SEWER INFRASTRUCTURE SHOWN HEREON PER AS-BUILT DRAWINGS BY GALENA ENGINEERING, DATED AUGUST 2020.
15. PROPOSED SITE IMPROVEMENTS SHOWN HEREON ARE PER THE LANDSCAPE ARCHITECT.

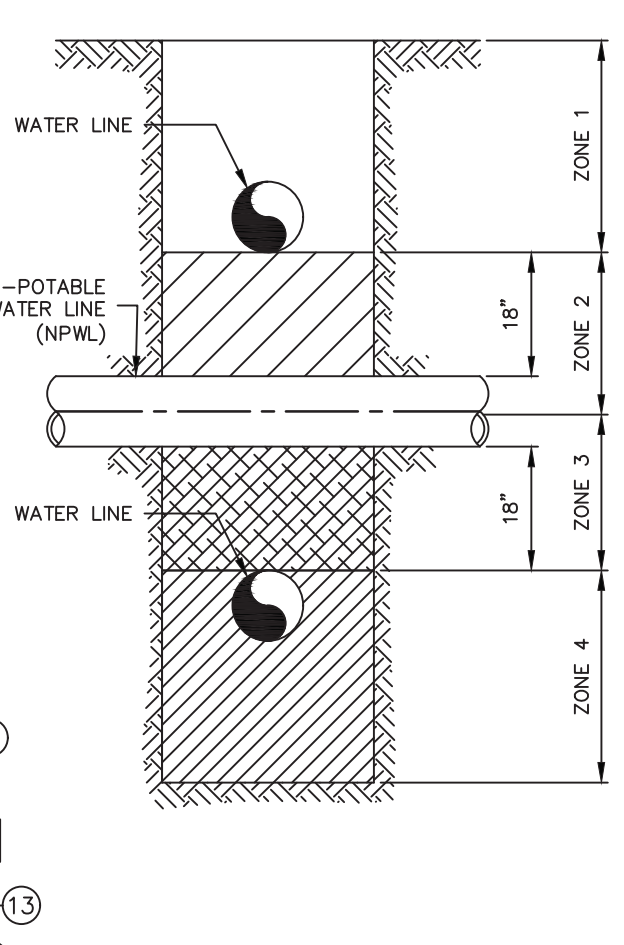


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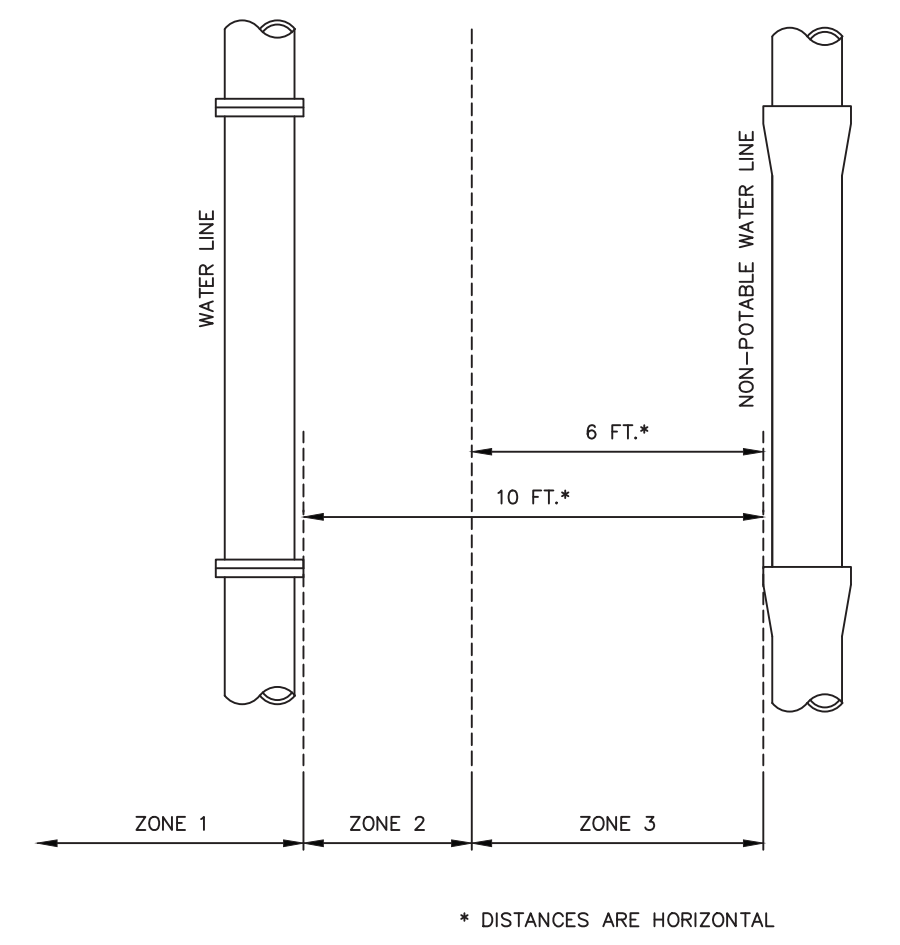
- A) ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- B) NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- C) SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SDR 9, GLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 1".
- D) SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN SERVICE SADDLES. EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE IPS.
- E) NO SERVICE CONNECTIONS WITHIN 18 INCHES OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES OR 2.5X PIPE MAXIMUM TWO (2) SERVICE CONNECTIONS PER STICK OF PIPE.
- F) ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.



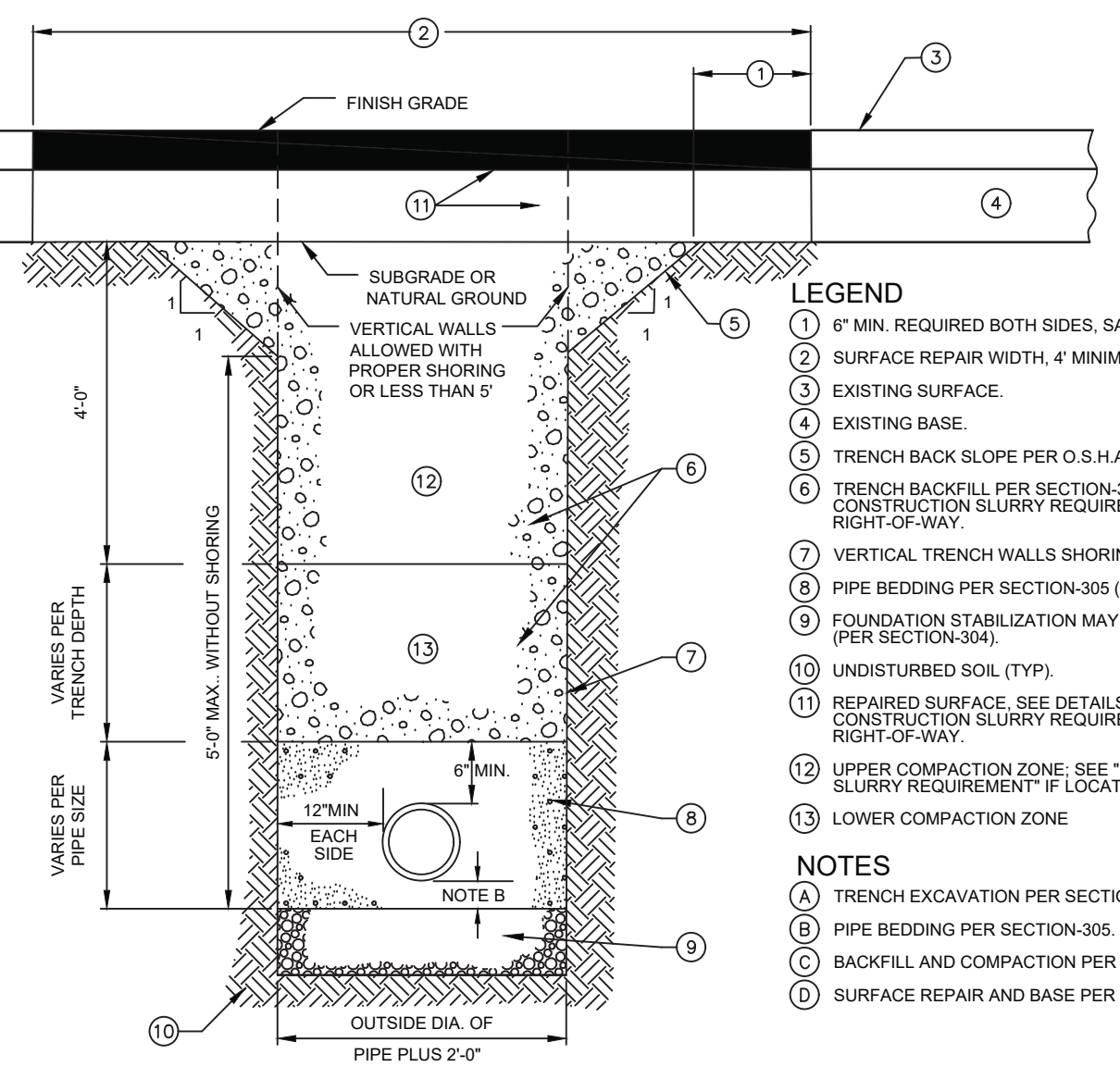
- LEGEND**
- 1 CORP STOP WITH COMPRESSION COUPLING FORD MODEL F-1100 OR APPROVED EQUAL
 - 2 MUELLER H-15072
 - 3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING
 - 4 MUELLER 18" DIA OPENING LID OR APPROVED EQUAL
 - 5 STAINLESS STEEL SADDLE.
 - 6 WATER MAIN.
 - 7 1" SERVICE LINE, 200 PSI POLY PIPE WITH INSERTS (TYP.) NO SPLICING IS ALLOWED.
 - 8 FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE OR APPROVED
 - 9 DOUBLE PURPOSE COUPLING.
 - 10 STANDARD KETCHUM STYLE VALVE BOX WITH ERIE STYLE LID AND ATTACHED ROD
 - 11 18" DIA. X 72" DEEP MUELLER THERMA COIL METER VAULT OR APPROVED EQUAL NOTCH FOR SERVICE LATERALS.
 - 12 FIRM UNDISTURBED EARTH. (SET TILE ON 2" X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
 - 13 PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).



- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18 INCHES. AND B) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL DEG FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. AND B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT
- AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.



- LEGEND**
- 1 6" MIN. REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - 2 SURFACE REPAIR WIDTH: 4' MINIMUM.
 - 3 EXISTING SURFACE.
 - 4 EXISTING BASE.
 - 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - 6 TRENCH BACKFILL PER SECTION-305. OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - 8 PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - 10 UNDISTURBED SOIL (TYP).
 - 11 REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 12 UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 13 LOWER COMPACTION ZONE.
- NOTES**
- A) TRENCH EXCAVATION PER SECTION-301.
 - B) PIPE BEDDING PER SECTION-305.
 - C) BACKFILL AND COMPACTION PER SECTION-306.
 - D) SURFACE REPAIR AND BASE PER DETAIL 3/20.
- KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**
- IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:
- | | |
|-------------------------------|---------------|
| COARSE AGGREGATE (3/4" MINUS) | 2,800 LBS |
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL (MAX.) |
- WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.
- NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.



UTILITY PLAN
CROSSBUCK LOTS 1A AND 1B

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR BLINCO ARCHITECTURE

PROJECT INFORMATION
[P:\sdr\89\8904\eng\Construction\8904-ENG BASE.dwg 02/26/21 12:10:02 PM]

ORIGINAL SIGNED BY
SAMANTHA STAHLNECKER
DATE ORIGINAL SIGNED:
03/01/2021

PROFESSIONAL ENGINEER
LICENSED
17618
STATE OF IDAHO
SAMANTHA STAHLNECKER

ORIGINAL ON FILE AT
OFFICE OF GALENA
ENGINEERING
(HAILLY, ID)

SKS
DESIGNED BY
SKS
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailly, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (03/01/21)

NO.	DATE	BY	REVISIONS

C1.0

2ND AVENUE

Existing Curb And Gutter

Existing Bike Path

Edge Of Asphalt

Gabion Walls To Match Existing Crossbuck

General Notes

1. Base map information taken from survey by Alpine Enterprises dated 04/20/20 and from on-site information. Architectural information provided by Blincoe Architecture dated 06/16/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

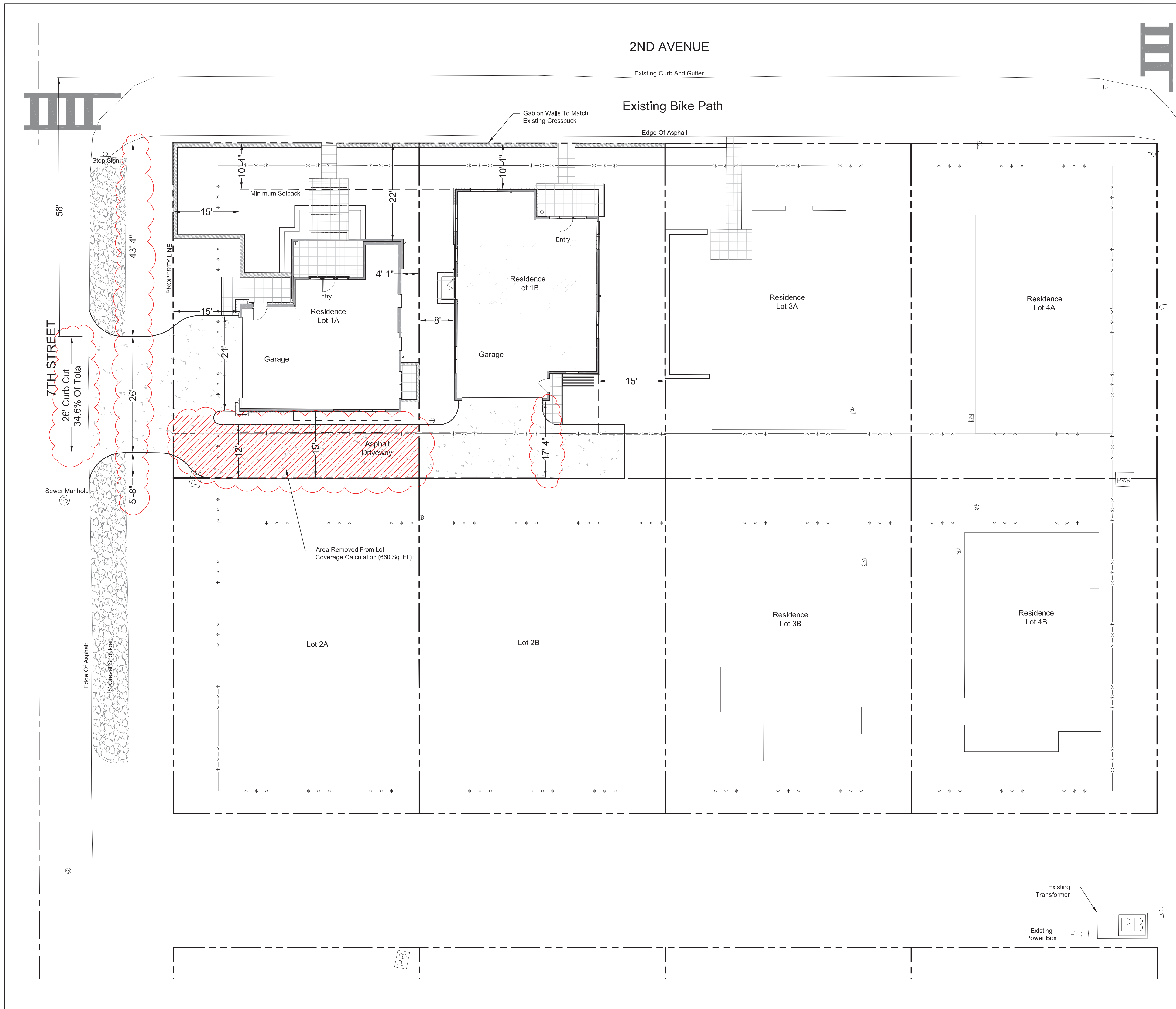
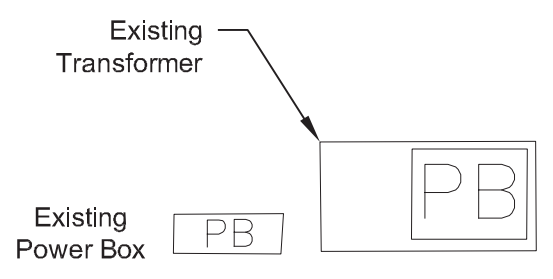
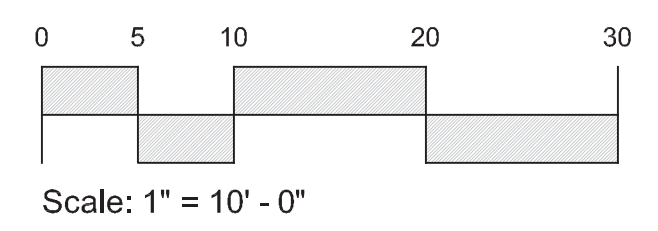
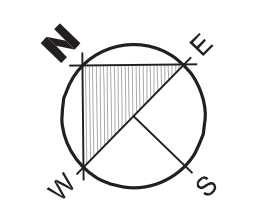
	Property Line
	Minimum Setback
	Public Utility Easement
	Utilities
	Sewer Manhole
	Water Meter
	Pavers
	Asphalt

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design

Building Coverage Calculations

Zoning GR-L	
Total Lot Size	8,240 sq./ft. (.19 Ac.)
	-660 sq./ft. (.015 Ac.)
	7,580 sq./ft.
Total Building Coverage	2,651 sq./ft. (.06 Ac.)
TOTAL BUILDING COVERAGE = 34.9%	



Crossbuck McNee
Lot 1 A Block 67
Ketchum, Idaho

Job No: 21.01

Scale: 1" = 10'-0"

Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:
Site Plan

Sheet No:
L1.0

Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

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2ND AVENUE

Existing Curb And Gutter

Existing Bike Path

Edge Of Asphalt

General Notes

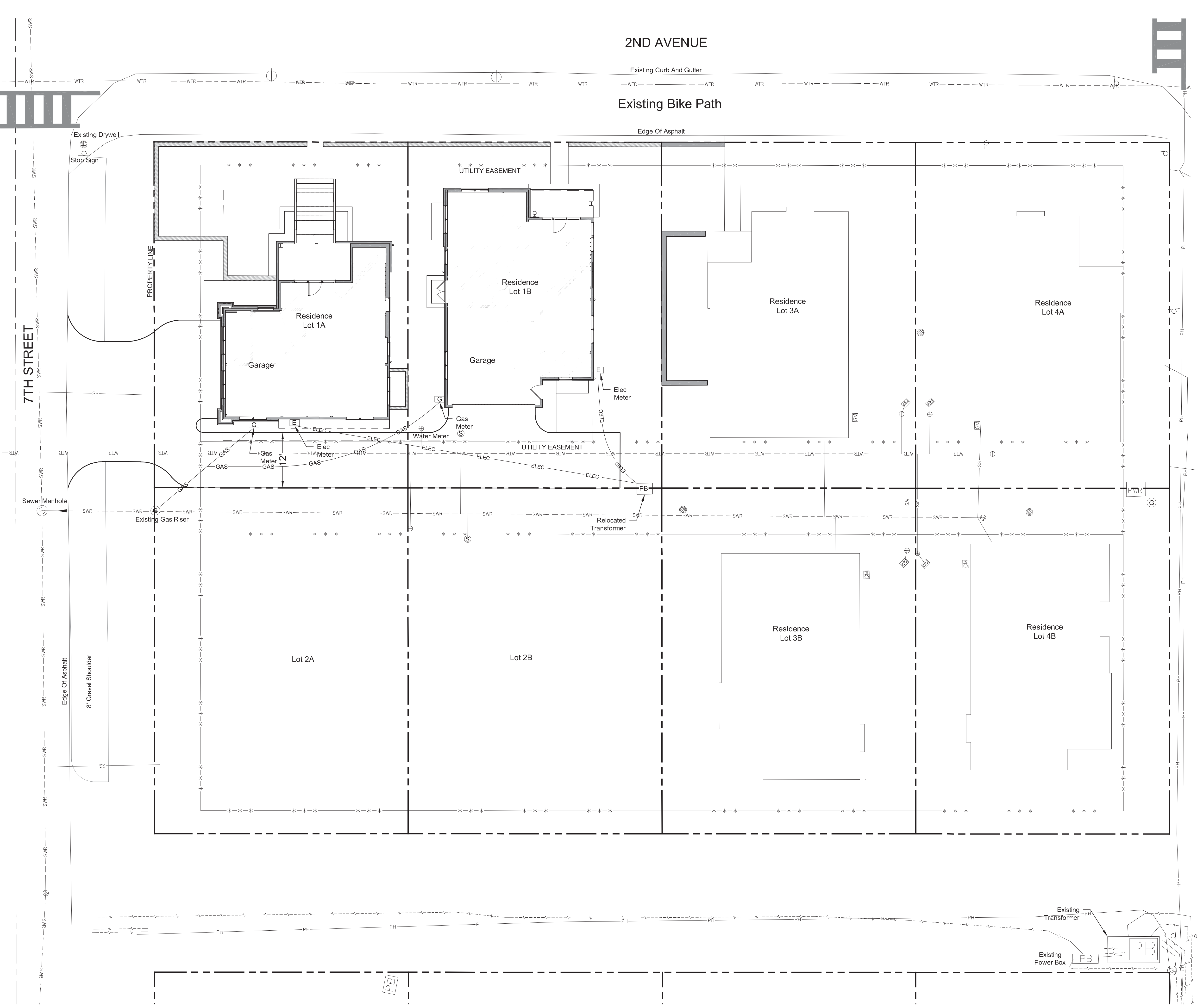
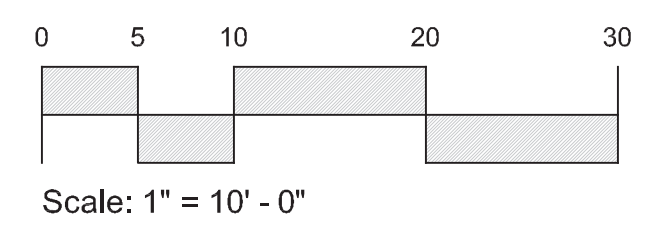
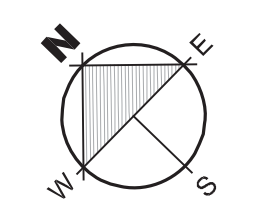
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4. Site serviced by City of Ketchum.

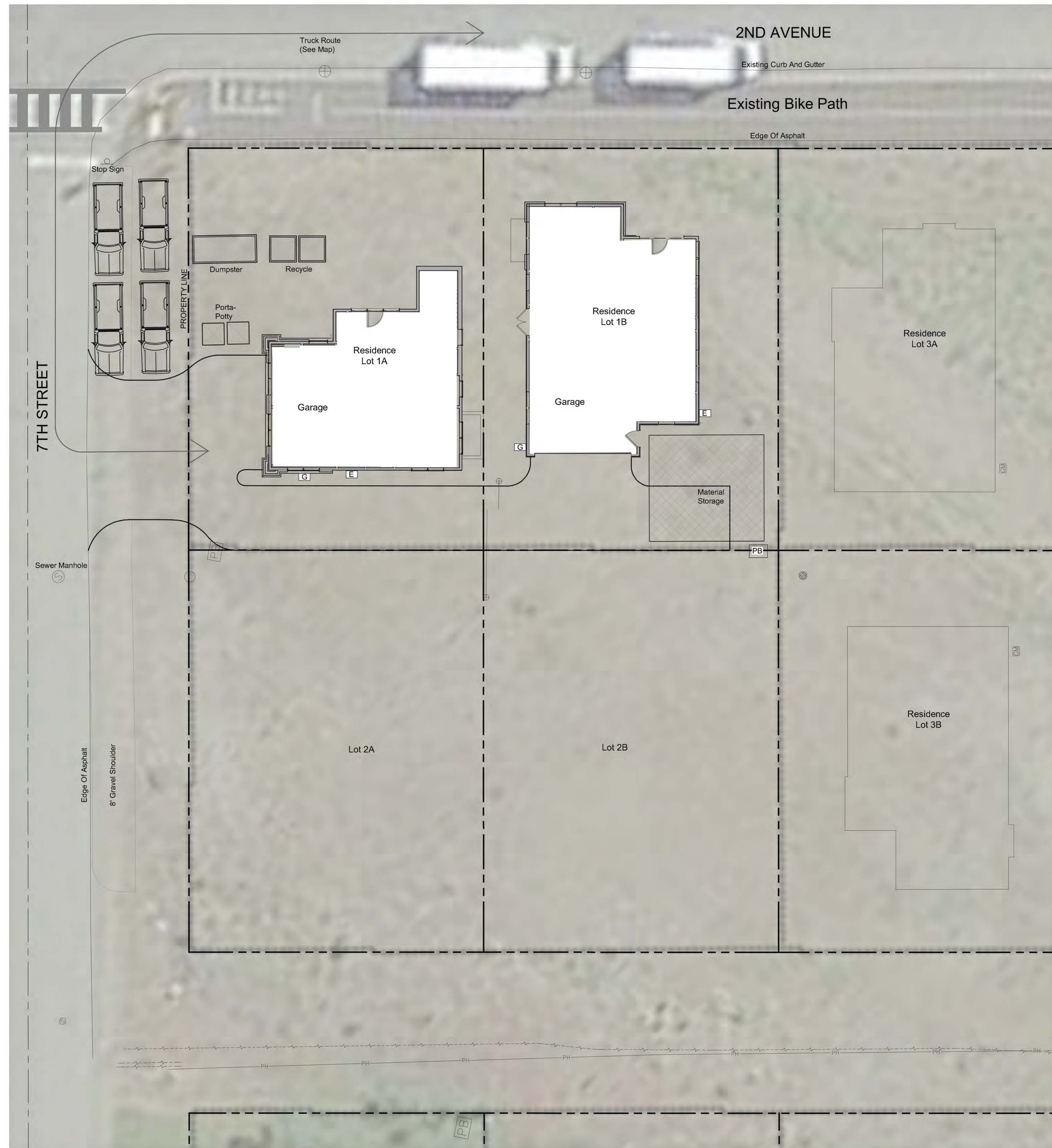
Plan Legend

	Property Line
	Water Main
	Sewer Main
	Underground Power Line
	Electric Line
	Gas Main
	Gas Line
	Public Utility Easement
	Sewer Manhole
	Water Line Stub
	Fire Hydrant
	Drywell
	Utilities
	Utilities
	Proposed Wall

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design





2ND AVENUE

Existing Bike Path

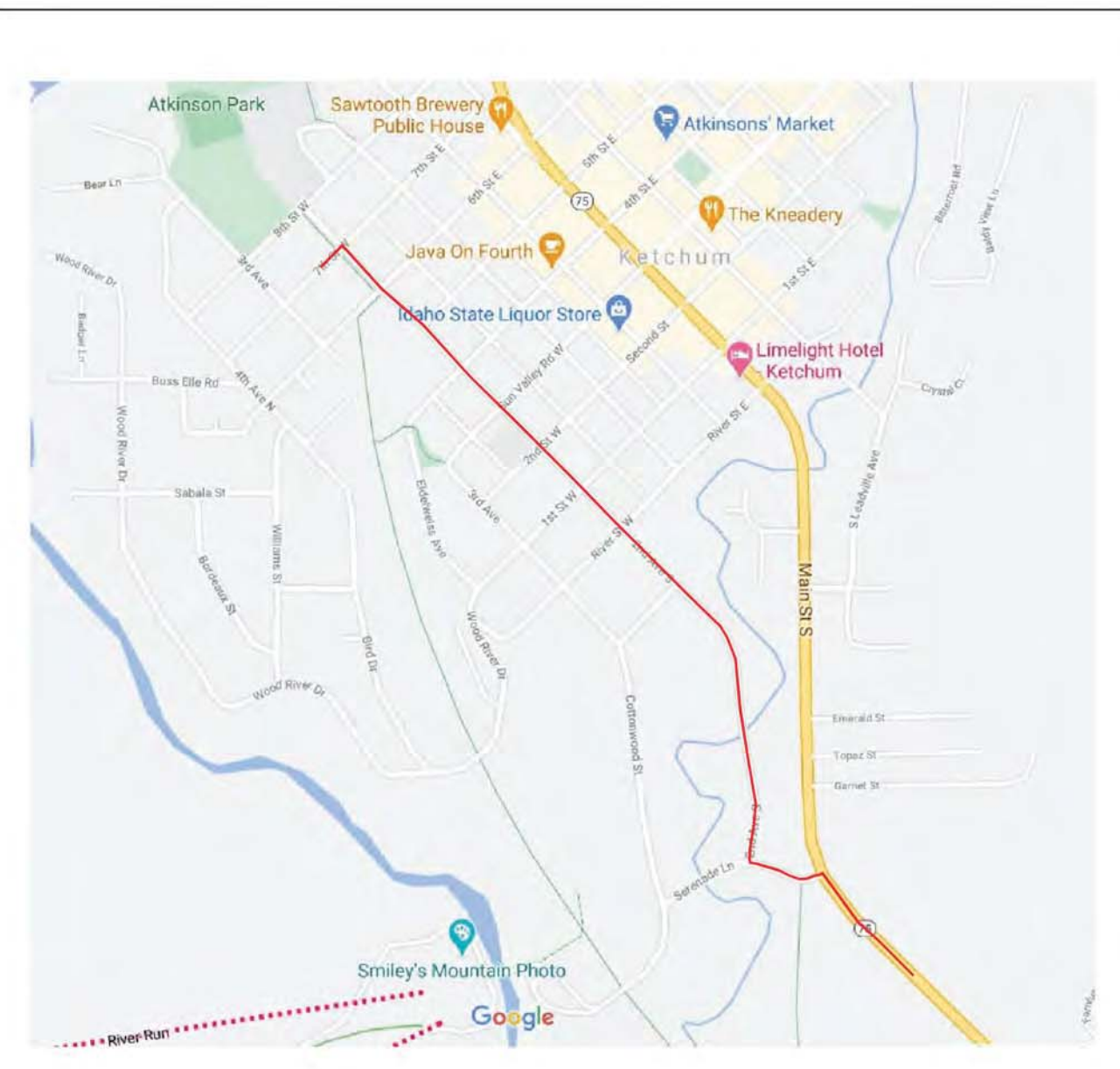
7TH STREET

General Notes

1. Base map information taken from survey by Alpine Enterprises dated 04/20/20 and from on-site information. Architectural information provided by Blincoe Architecture dated 06/16/21. Contractor shall verify conditions in the field prior to construction.
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Plan Legend

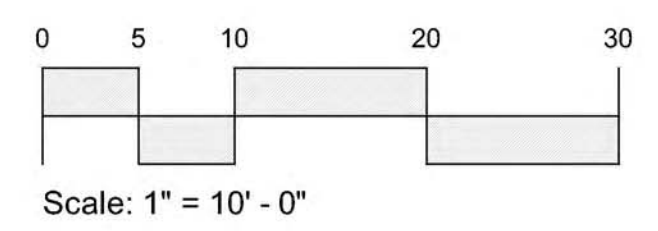
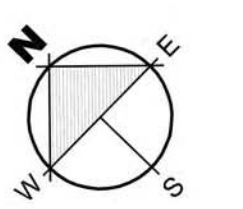
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---WTR---	Water Main
---SWR---	Sewer Main
---	Underground Power Line
---ELEC---	Electric Line
---	Gas Main
---	Gas Line
---	Public Utility Easement
⊙	Sewer Manhole
⊗	Water Line Stub
⊕	Fire Hydrant
⊖	Drywell
PB G	Utilities
---	Proposed Wall



TRUCK ROUTE

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Crossbuck
McNee

EGGERS ASSOCIATES, P.A.
Landscape Architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 955
Ketchum, ID 83340

Crossbuck McNee
Lot 1A Block 67
Ketchum, Idaho

Job No: 21.01

Scale: 1" = 10'-0"

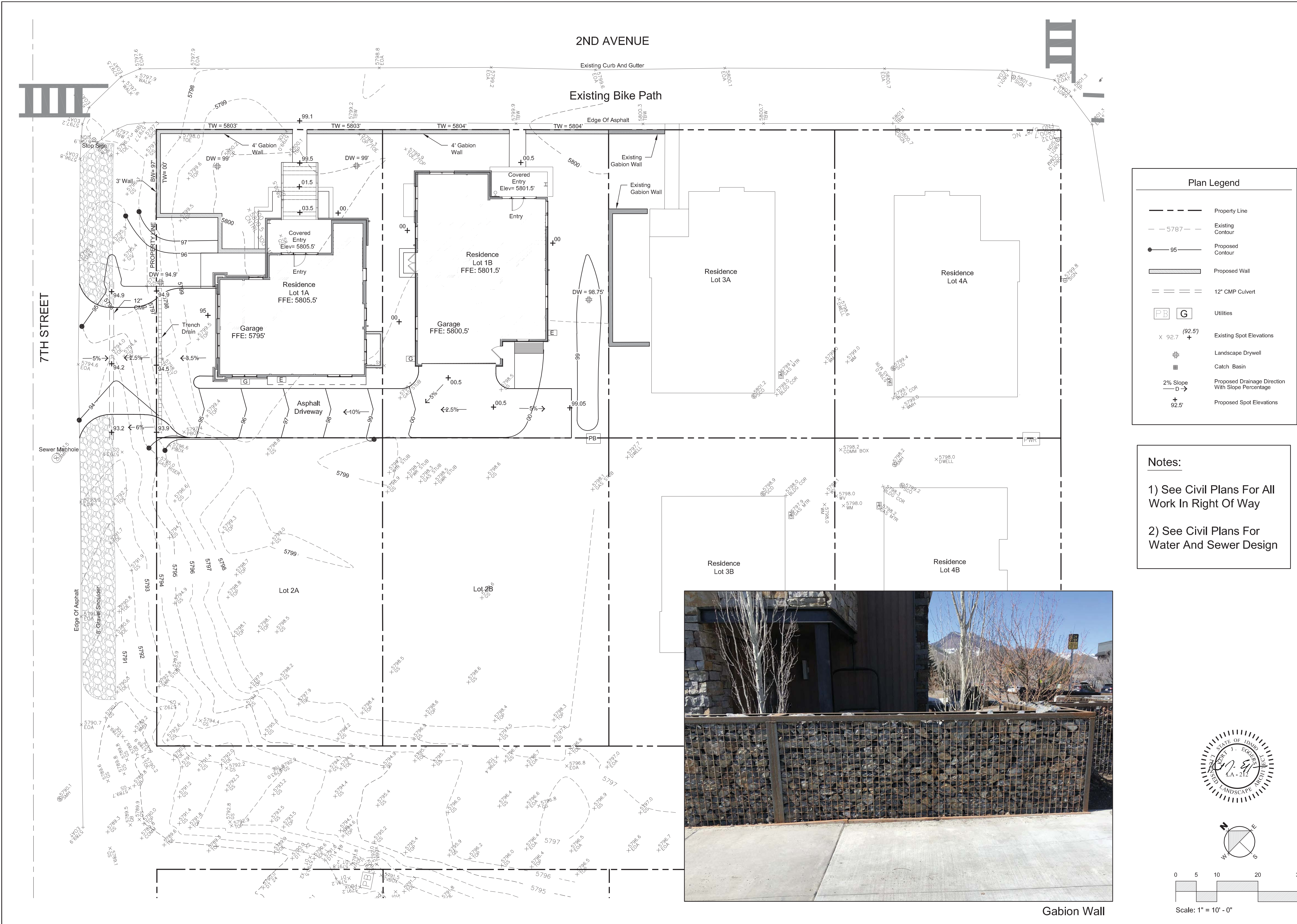
Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

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Sheet Title:
Construction
Management

Sheet No:
L1.2

Issue/Revisions	Date
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21



Plan Legend

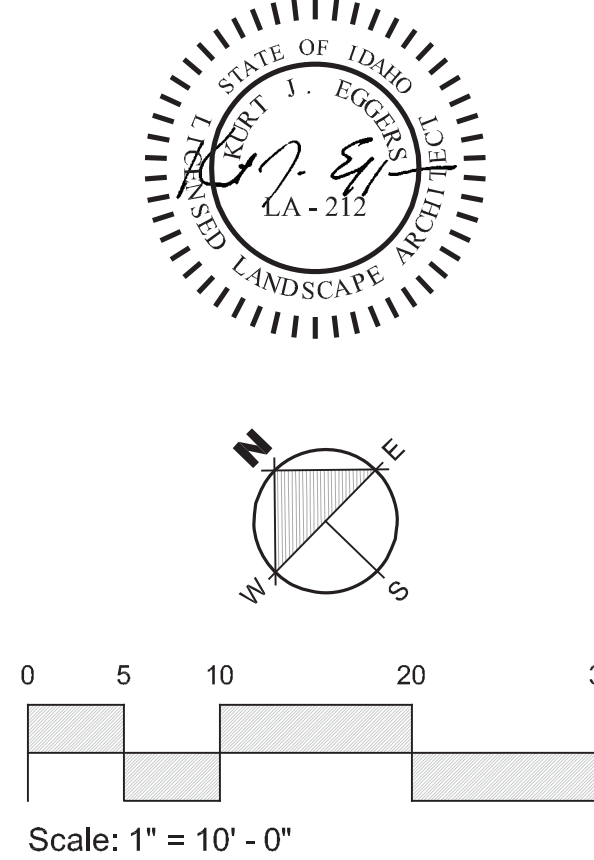
- Property Line
- Existing Contour
- Proposed Contour
- Proposed Wall
- 12" CMP Culvert
- Utilities
- Existing Spot Elevations
- Landscape Drywell
- Catch Basin
- Proposed Drainage Direction With Slope Percentage
- Proposed Spot Elevations

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Gabion Wall



Landscape Plan Notes

1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Plan Legend

- Property Line
- Existing Contour
- Proposed Contour
- Proposed Wall
- Utilities
- Pavers
- Landscape Drywell
- Snow Storage

Plant Legend

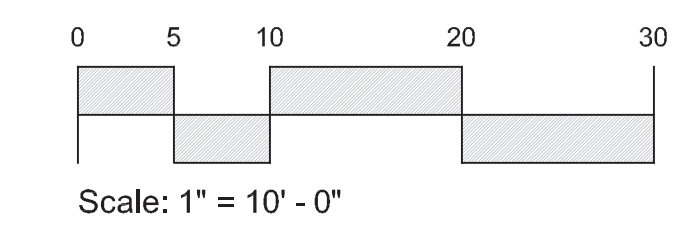
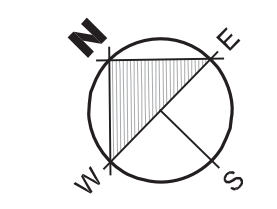
Symbol	Qty.	Description	Size
	8	Conifer Trees TBD	12' & 14'
	7	Deciduous Trees Flowering Crab	3" Cal.
	32	Deciduous Shrubs Various	1 gal.
	3,200 Sq. Ft	Grasses Lawn Mix	Sod
	1,200 Sq. Ft	Natural Grasses Cabin Mix	Hydroseed

Snow Storage

Driveway Area:	2,000 sq ft
	x .30%
Required Area:	600 sq ft
Snow Storage Provided:	600 sq ft

Notes:

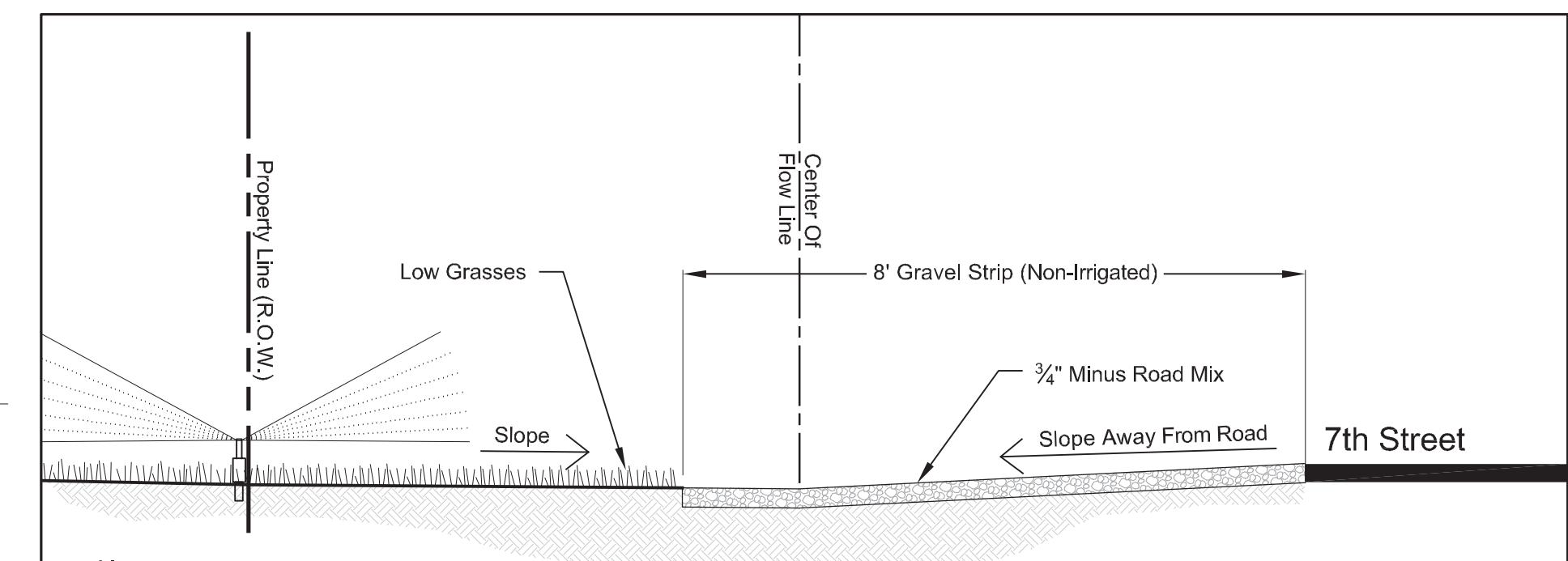
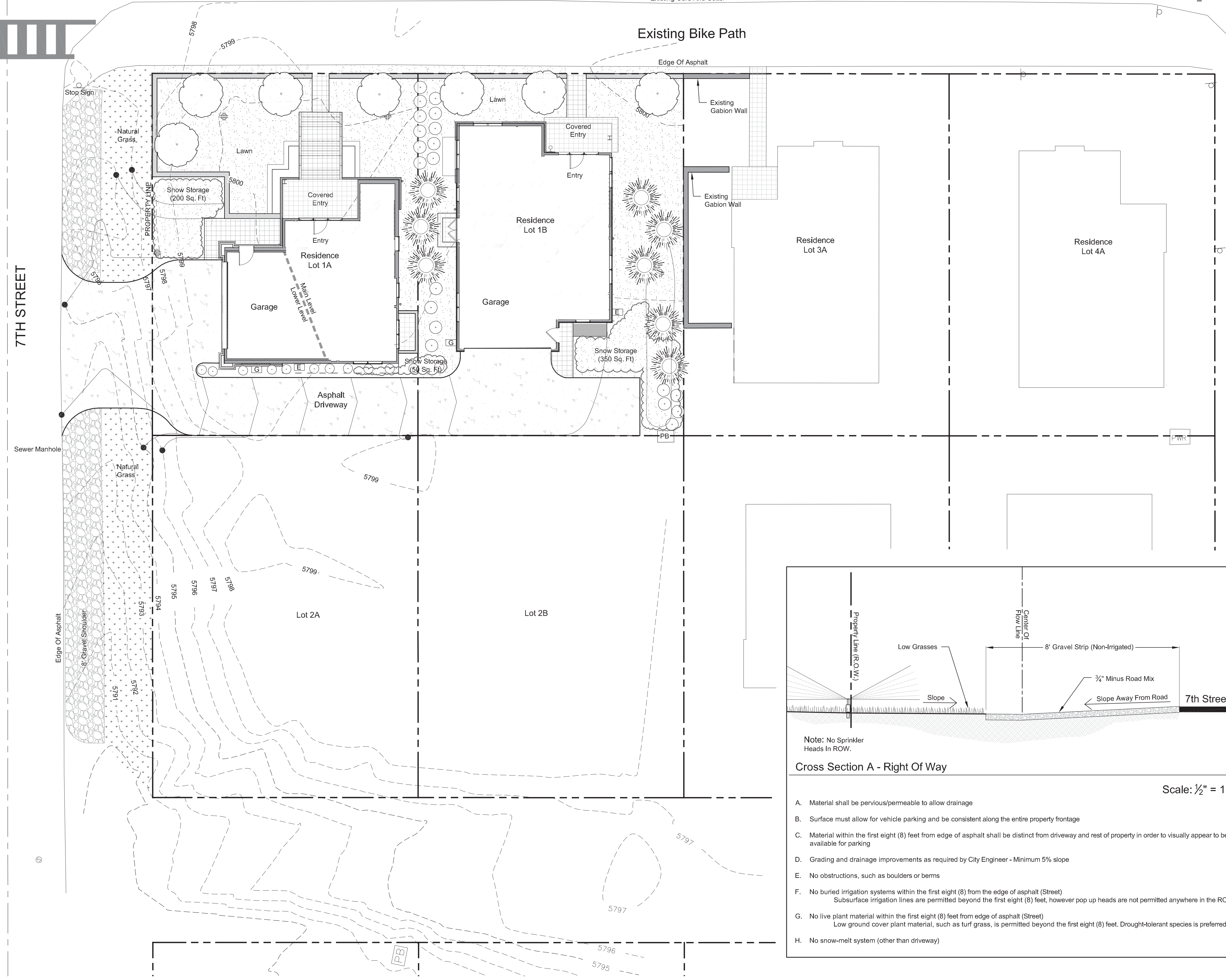
- 1) See Civil Plans For All Work In Right Of Way
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2ND AVENUE

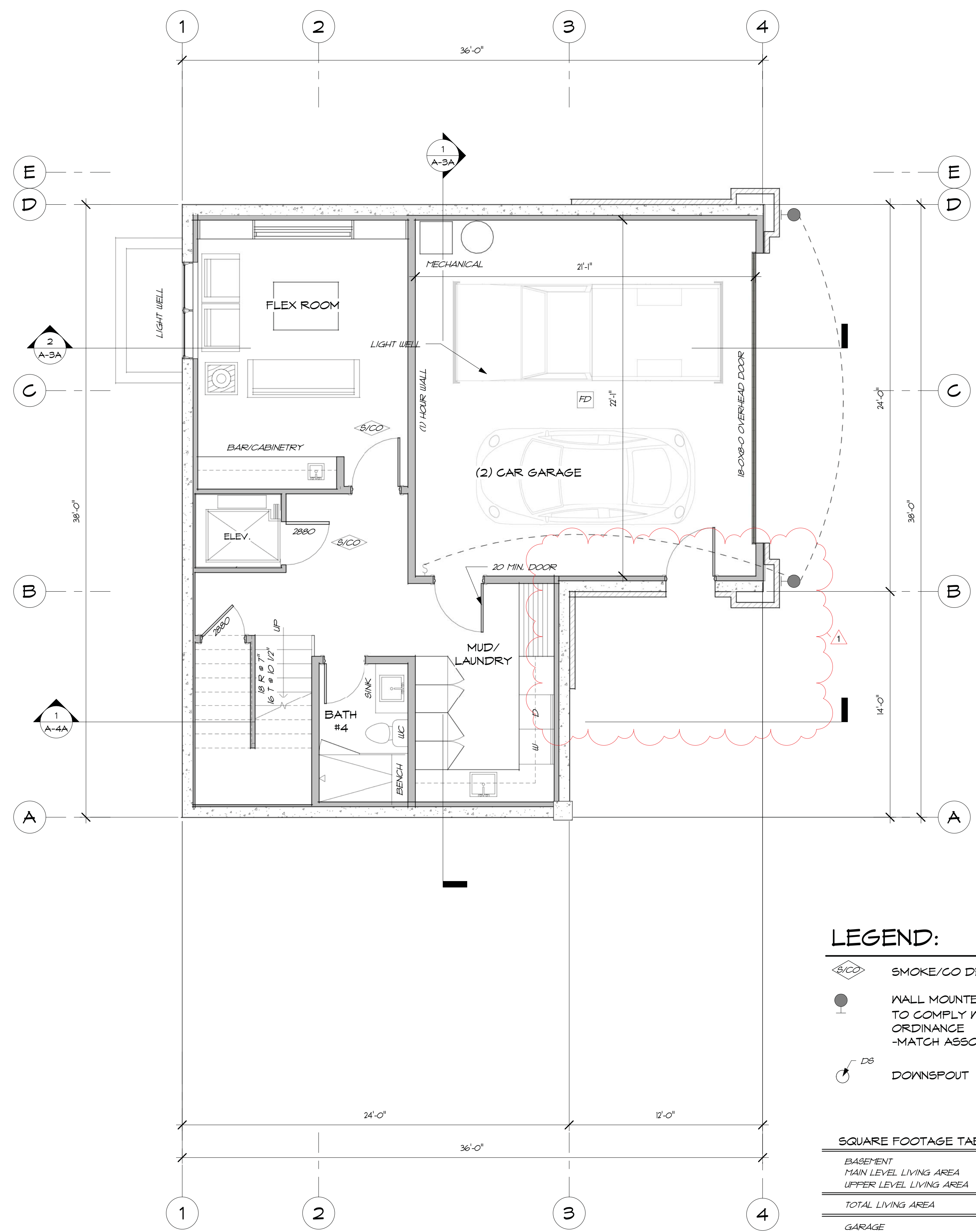
Existing Bike Path

7TH STREET



Note: No Sprinkler Heads In ROW.
Cross Section A - Right Of Way
Scale: 1/2" = 1' - 0"

- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street)
Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street)
Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- H. No snow-melt system (other than driveway)

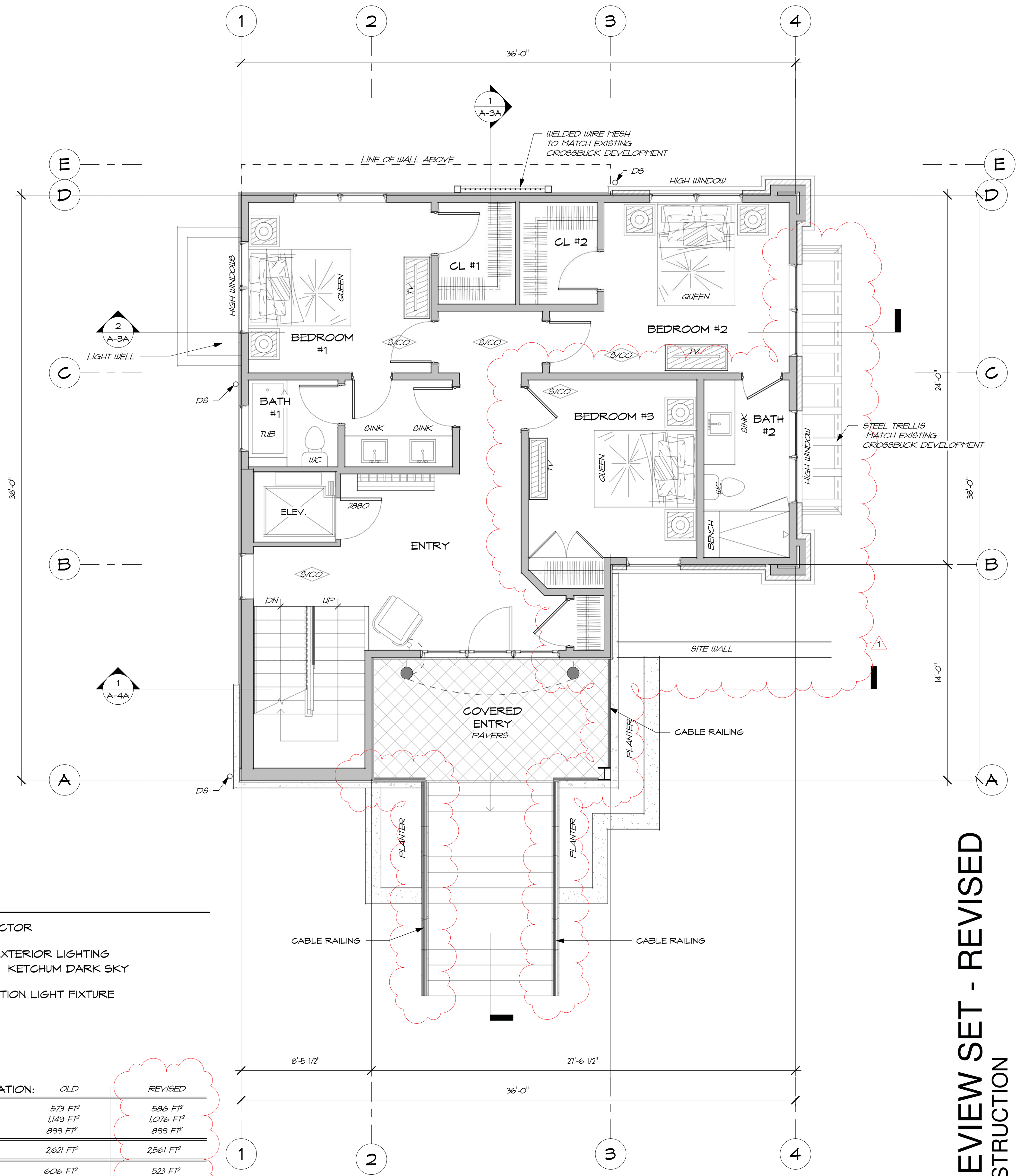


1
A-1A 1/4" = 1'-0"
BASEMENT LEVEL (UNIT A)

LEGEND:

- SMOKE/CO DETECTOR
- WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
- D_S DOWNSPOUT

SQUARE FOOTAGE TABULATION:	OLD	REVISED
BASEMENT	573 FF	586 FF
MAIN LEVEL LIVING AREA	1,149 FF	1,076 FF
UPPER LEVEL LIVING AREA	899 FF	899 FF
TOTAL LIVING AREA	2,621 FF	2,561 FF
GARAGE	606 FF	523 FF
TOTAL:	3,227 FF	3,084 FF
BUILDING FOOTPRINT	1,320 FF	1,248 FF



2
A-1A 1/4" = 1'-0"
MAIN LEVEL FLOOR PLAN (UNIT A)

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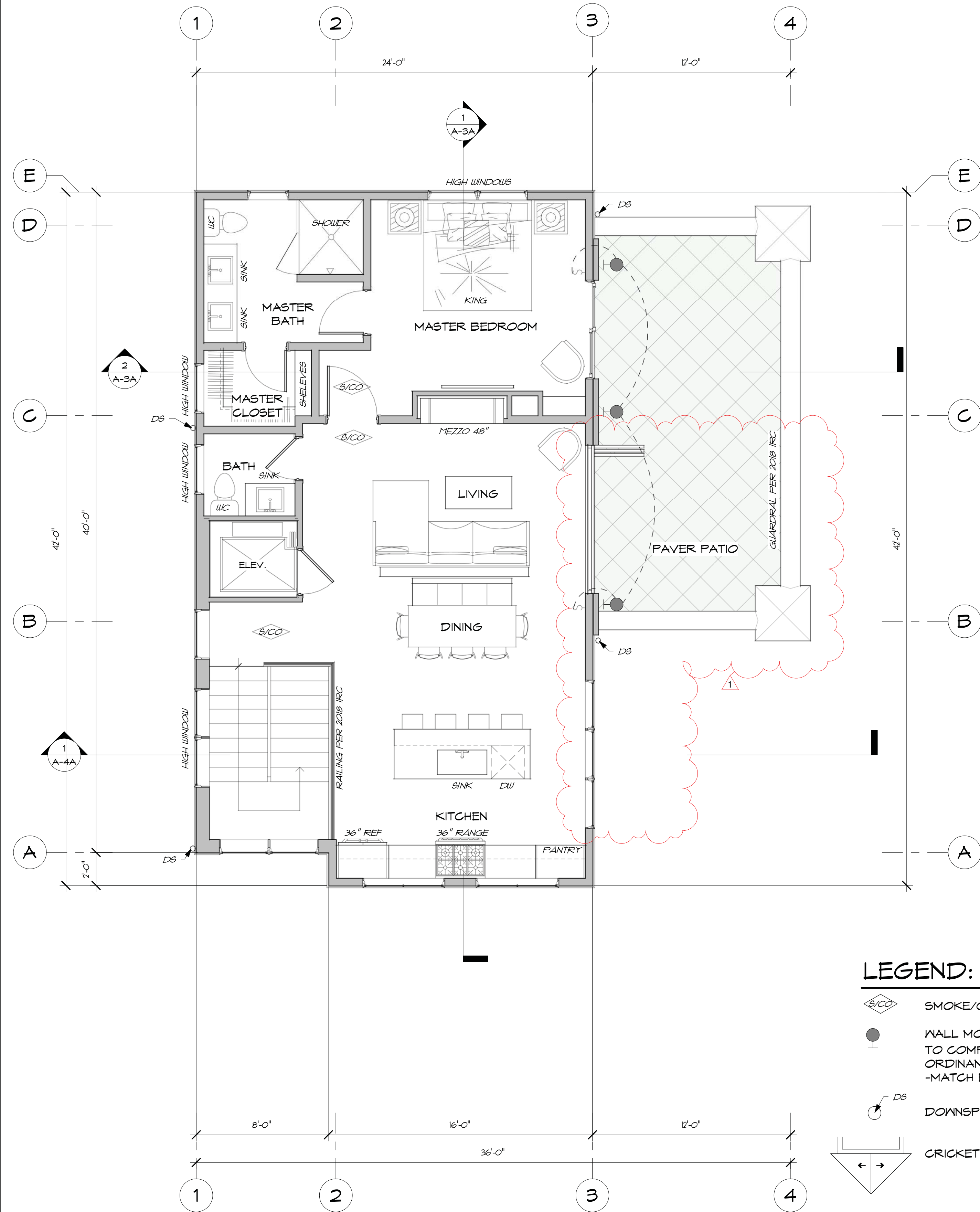
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CHAD E. BLINCOE
STATE OF IDAHO

CROSSBUCK TOWNHOMES II
7th STREET
KETCHUM, ID 83340

JOB #:	008.20
PLOT DATE:	4/16/21
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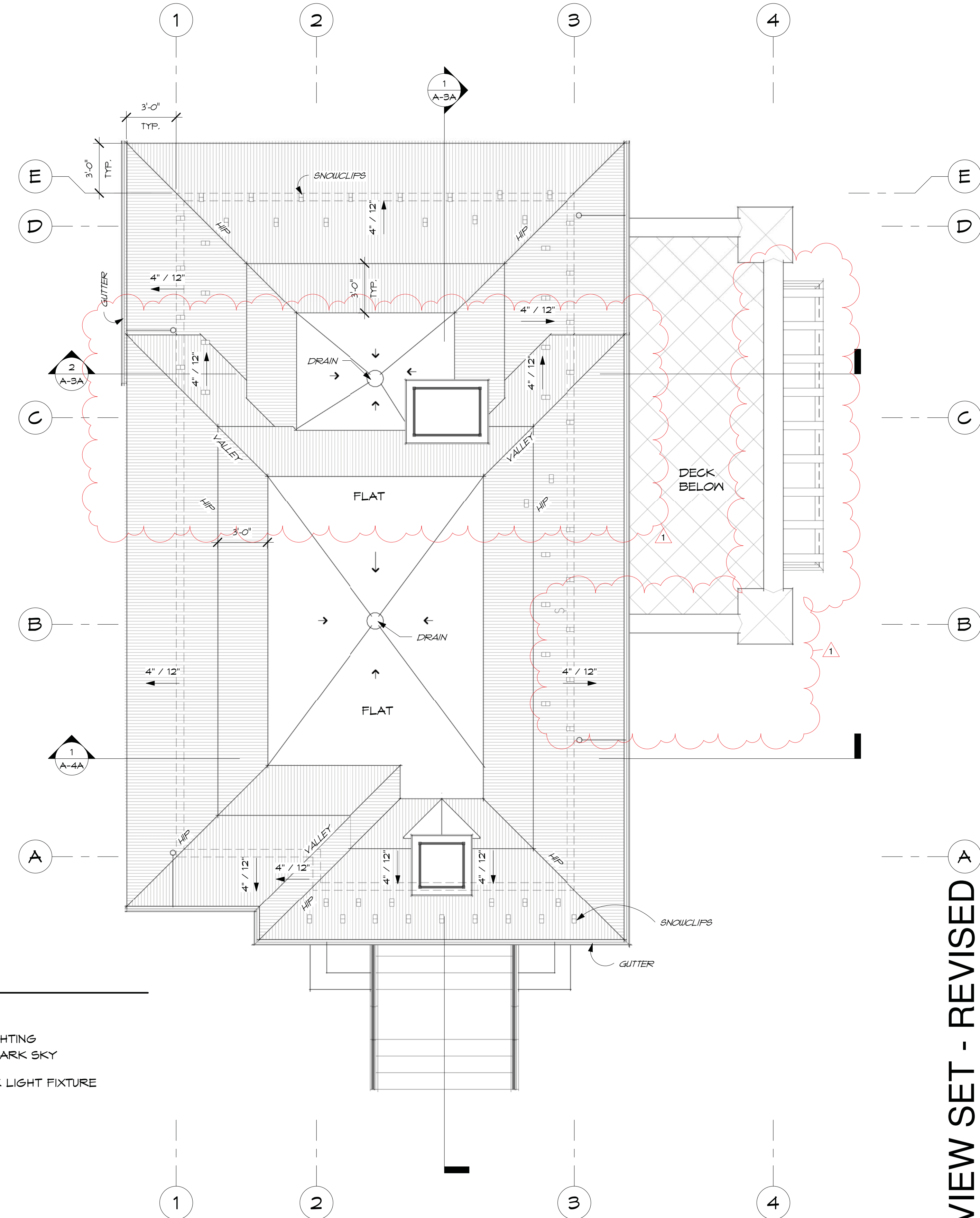
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1 UPPER LEVEL FLOOR PLAN (UNIT A)
 A-2A 1/4" = 1'-0"

- LEGEND:**
- SMOKE/CO DETECTOR
 - WALL MOUNTED EXTERIOR LIGHTING
TO COMPLY WITH KETCHUM DARK SKY
ORDINANCE
-MATCH EXISTING CROSSBUCK LIGHT FIXTURE
 - DOWNSPOUT
 - CRICKET
 - ROOF DRAIN W/ INTEGRAL OVERFLOW
-DAYLIGHT TO ENTRY



2 ROOF PLAN (UNIT A)
 A-2A 1/4" = 1'-0"

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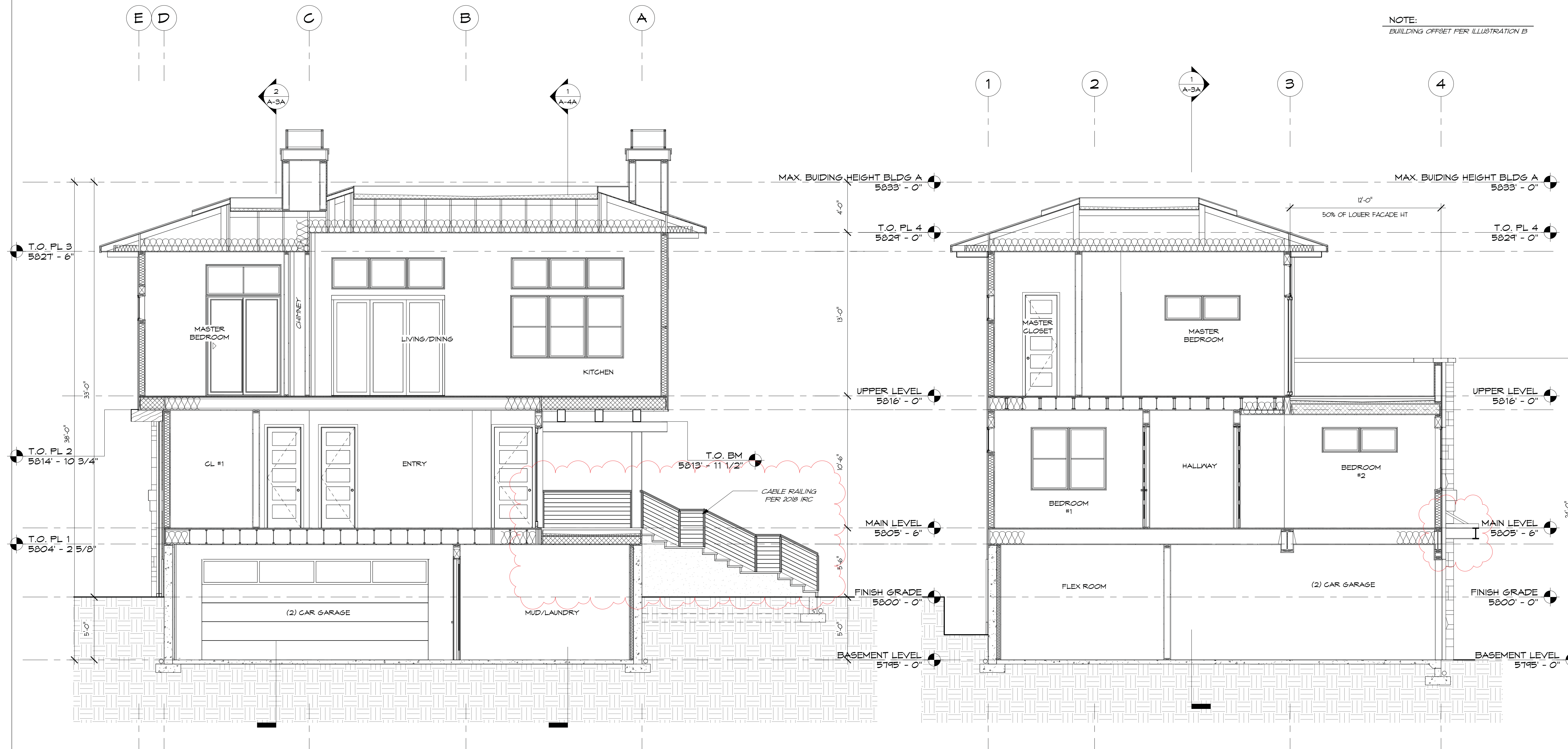
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1 BUILDING A SECTION 1
A-3A 1/4" = 1'-0"

2 BUILDING A SECTION 2
A-3A 1/4" = 1'-0"

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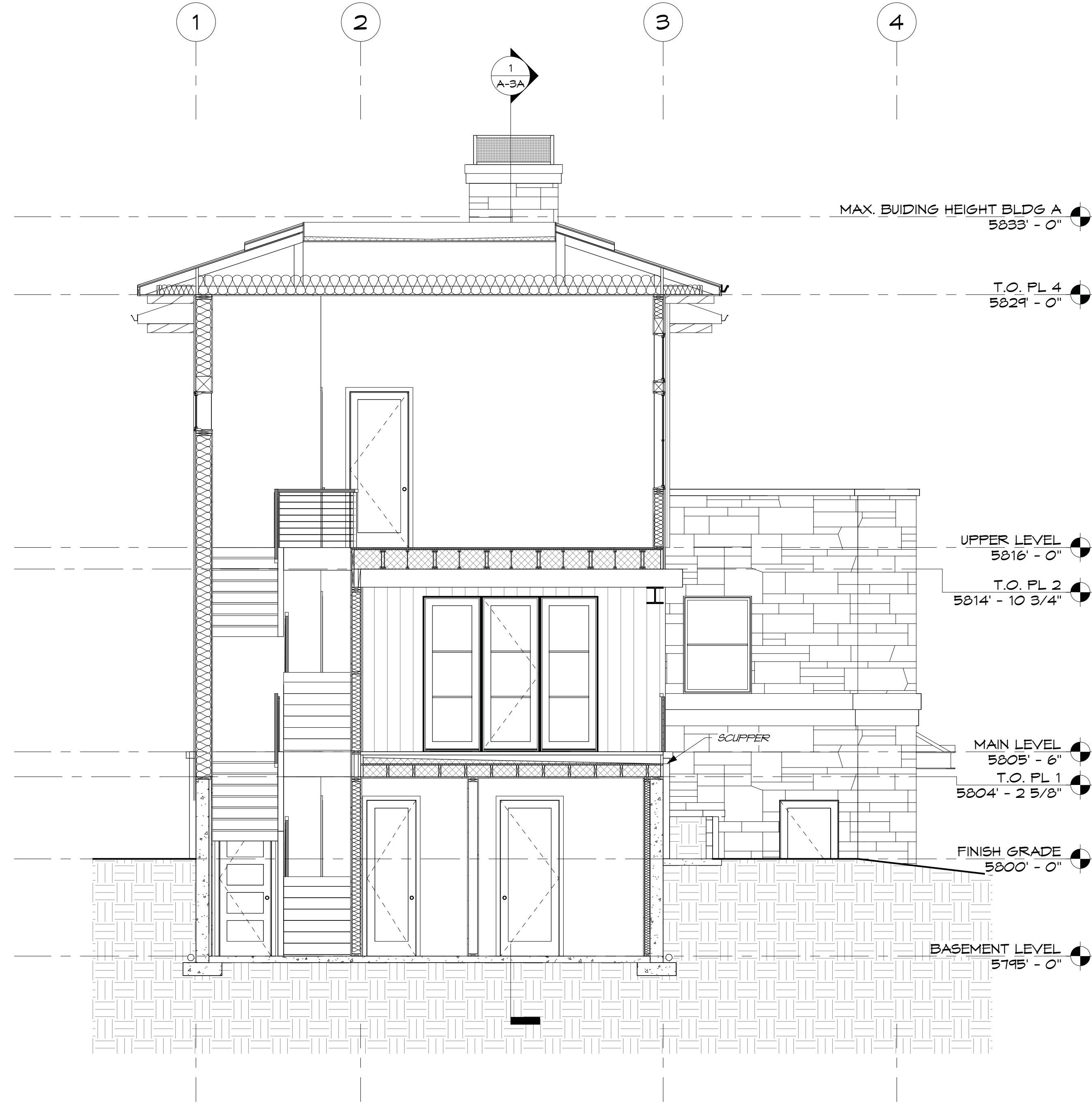
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1 BUILDING A SECTION 3
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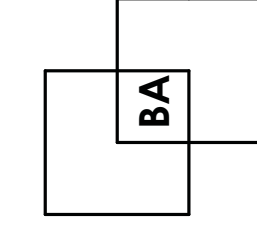
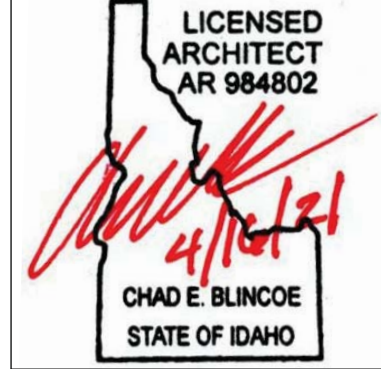
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A-4A

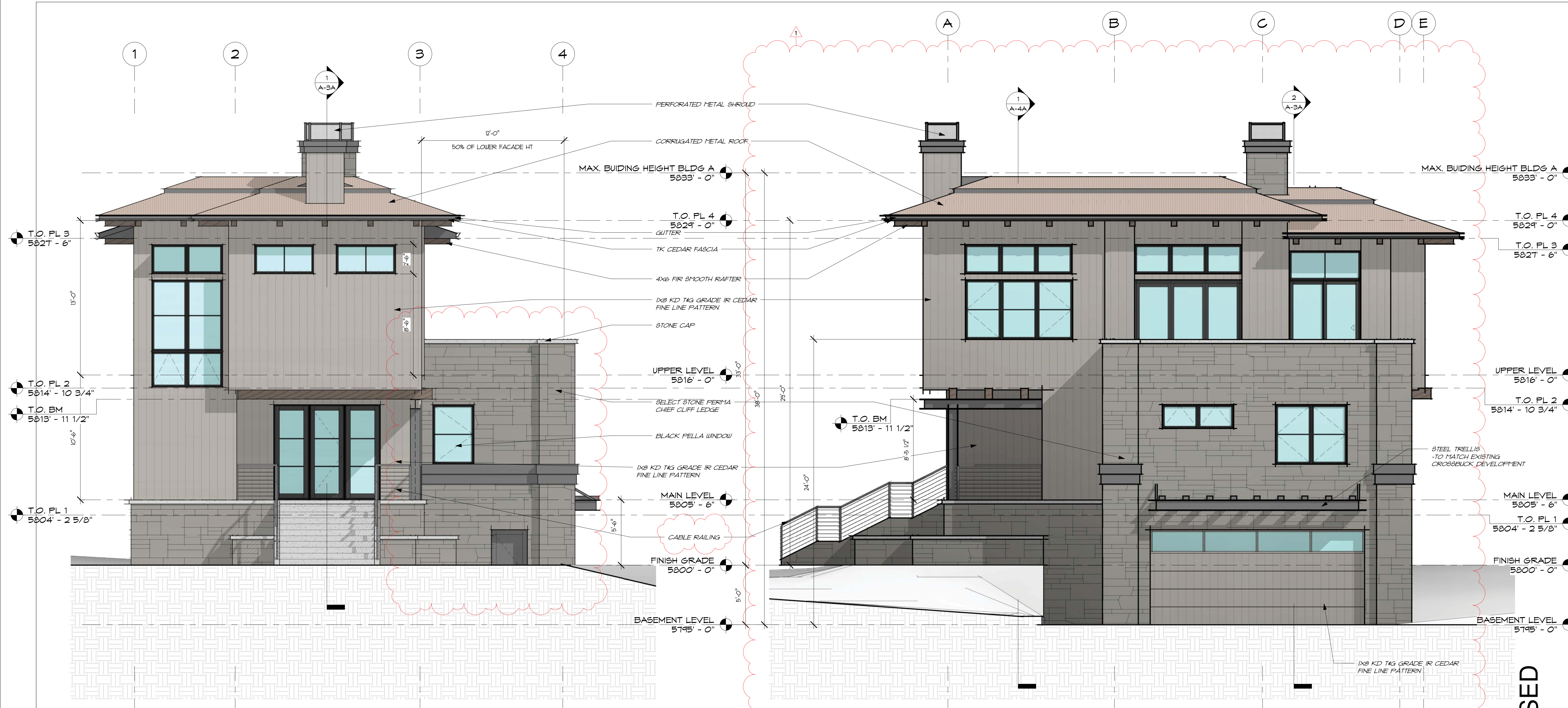
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1 EAST SIDE ELEVATION (UNIT A)
A-5A 1/4" = 1'-0"

2 NORTH SIDE ELEVATION (UNIT A)
A-5A 1/4" = 1'-0"

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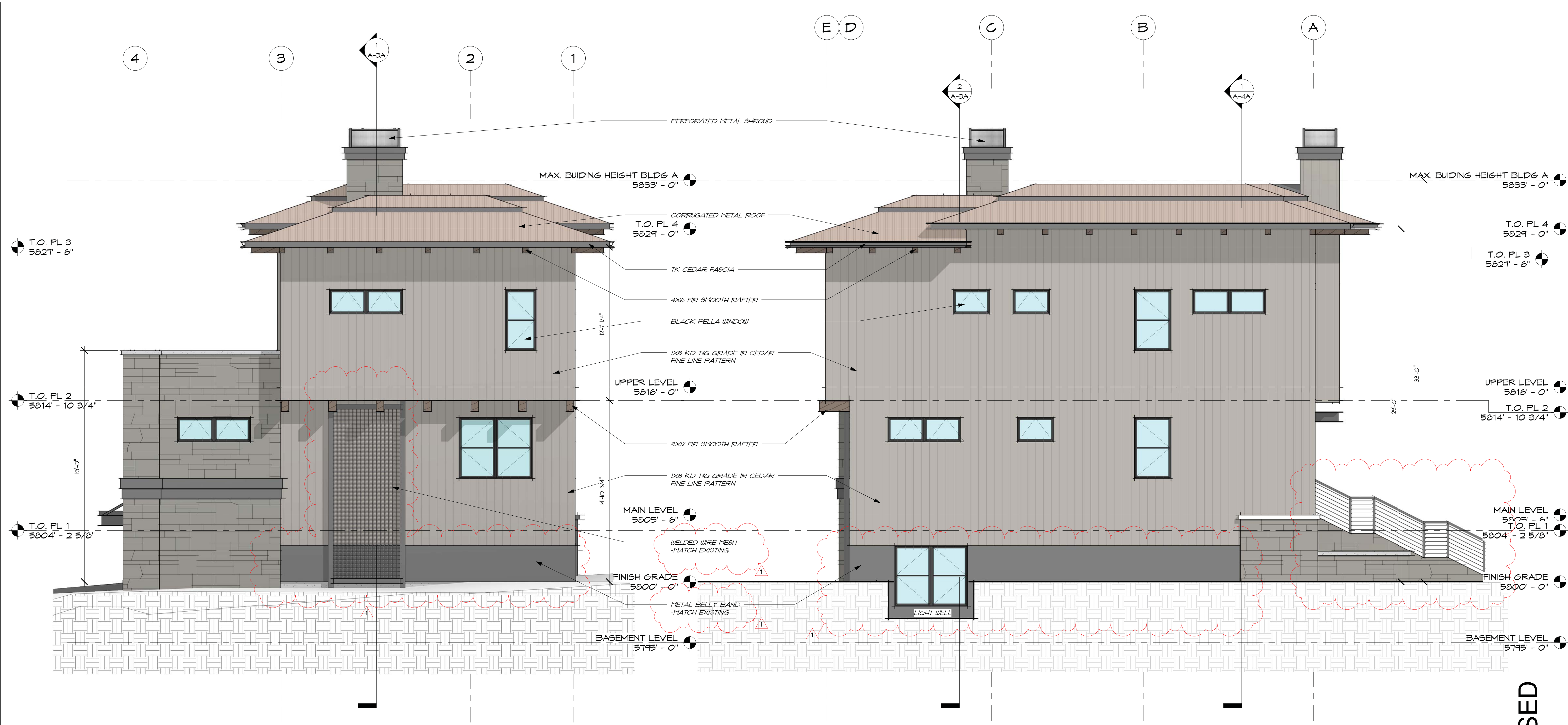
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1 WEST SIDE ELEVATION (UNIT A)
A-6A 1/4" = 1'-0"

2 SOUTH SIDE ELEVATION (UNIT A)
A-6A 1/4" = 1'-0"

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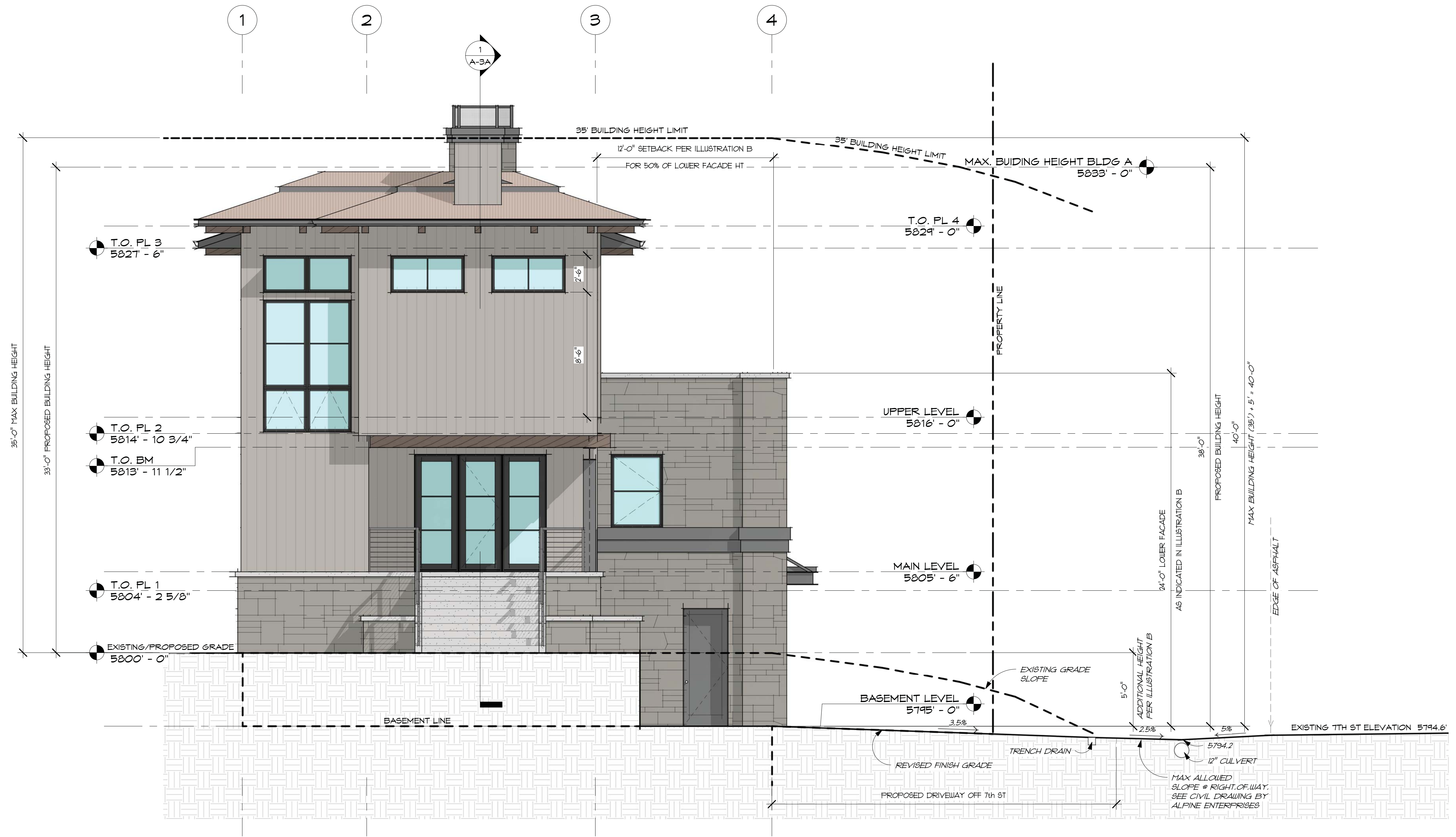
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1 EXHIBIT A REFLECTING COMPLIANCE WITH ILLUSTRATION B
 A-7A 1/4" = 1'-0"

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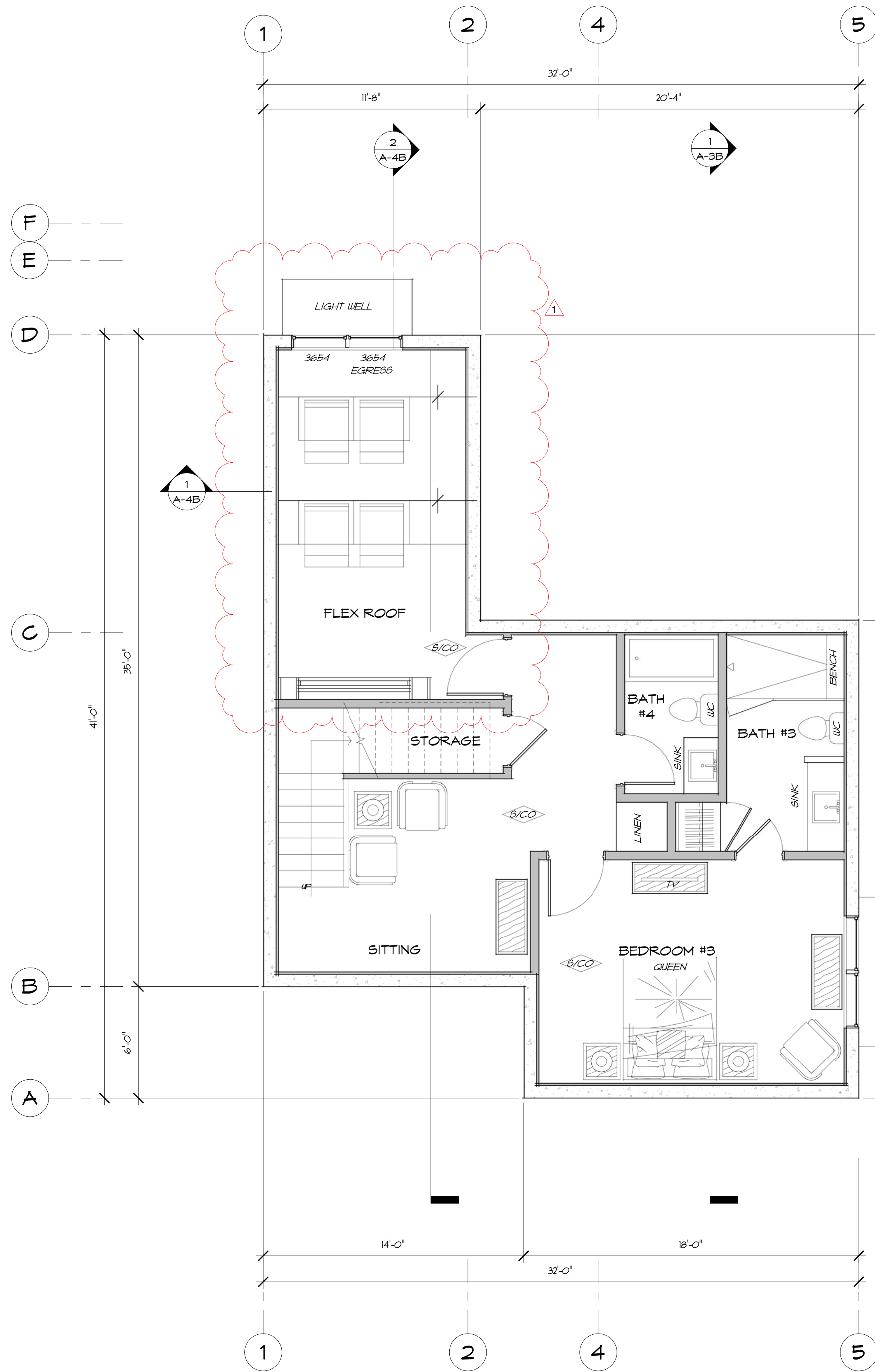
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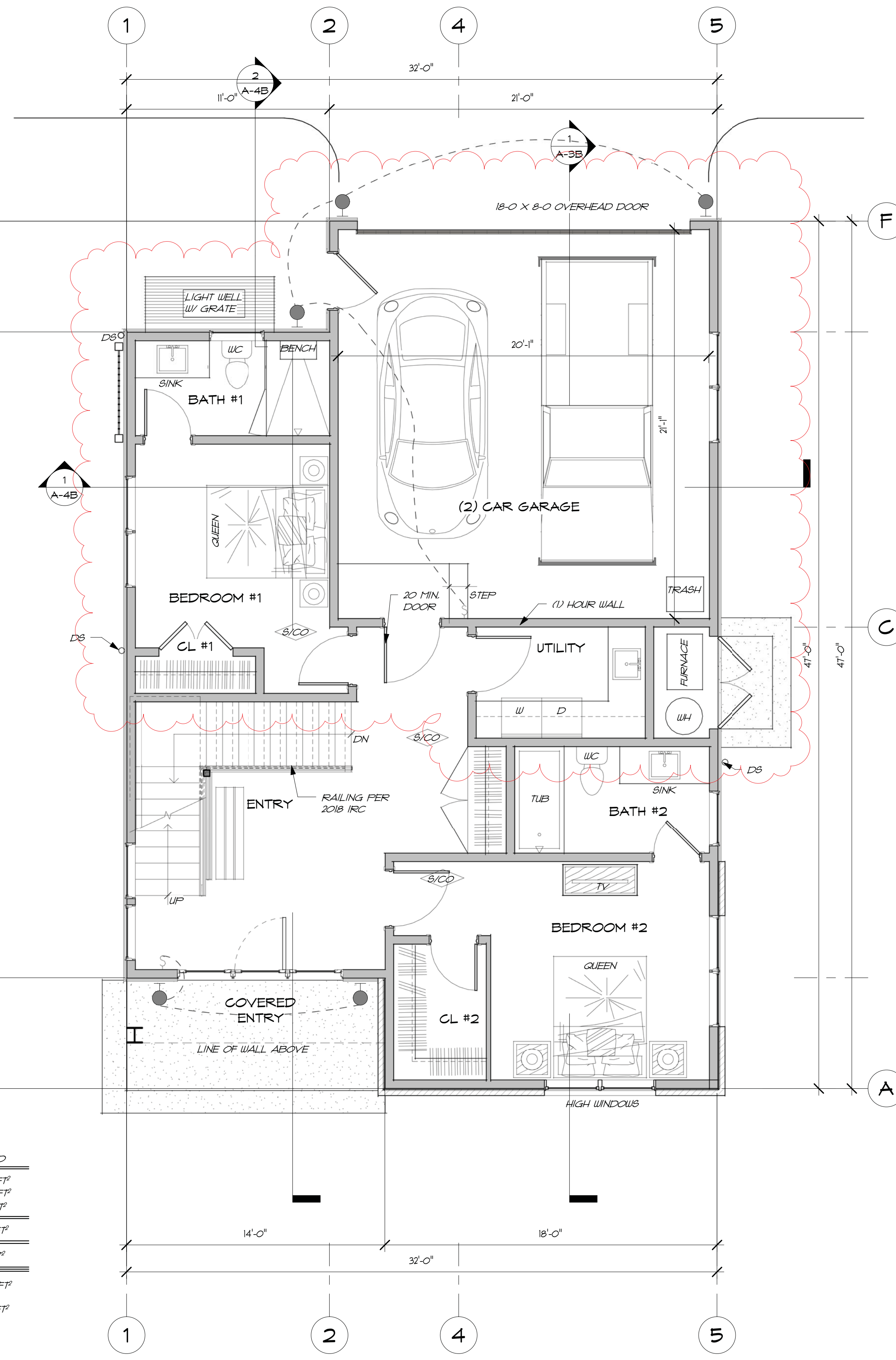


1 BASEMENT (UNIT B)
A-1B 1/4" = 1'-0"

SQUARE FOOTAGE TABULATION:	OLD	REVISED
BASEMENT	943 FF ²	847 FF ²
MAIN LEVEL LIVING AREA	962 FF ²	892 FF ²
UPPER LEVEL LIVING AREA	1,199 FF ²	1,202 FF ²
TOTAL LIVING AREA	3,104 FF²	2,941 FF²
GARAGE	496 FF ²	462 FF ²
TOTAL:	3,600 FF²	3,403 FF²
BUILDING FOOTPRINT:	1,541 FF ²	1,403 FF ²

LEGEND:

- SMOKE/CO DETECTOR
- WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
- D8 DOWNSPOUT



2 MAIN LEVEL PLAN (UNIT B)
A-1B 1/4" = 1'-0"

NOTE:

* UNIT B TO HAVE SPRINKLER SYSTEM PER EMAIL FROM TOM ACONA DATED 12/9/2020

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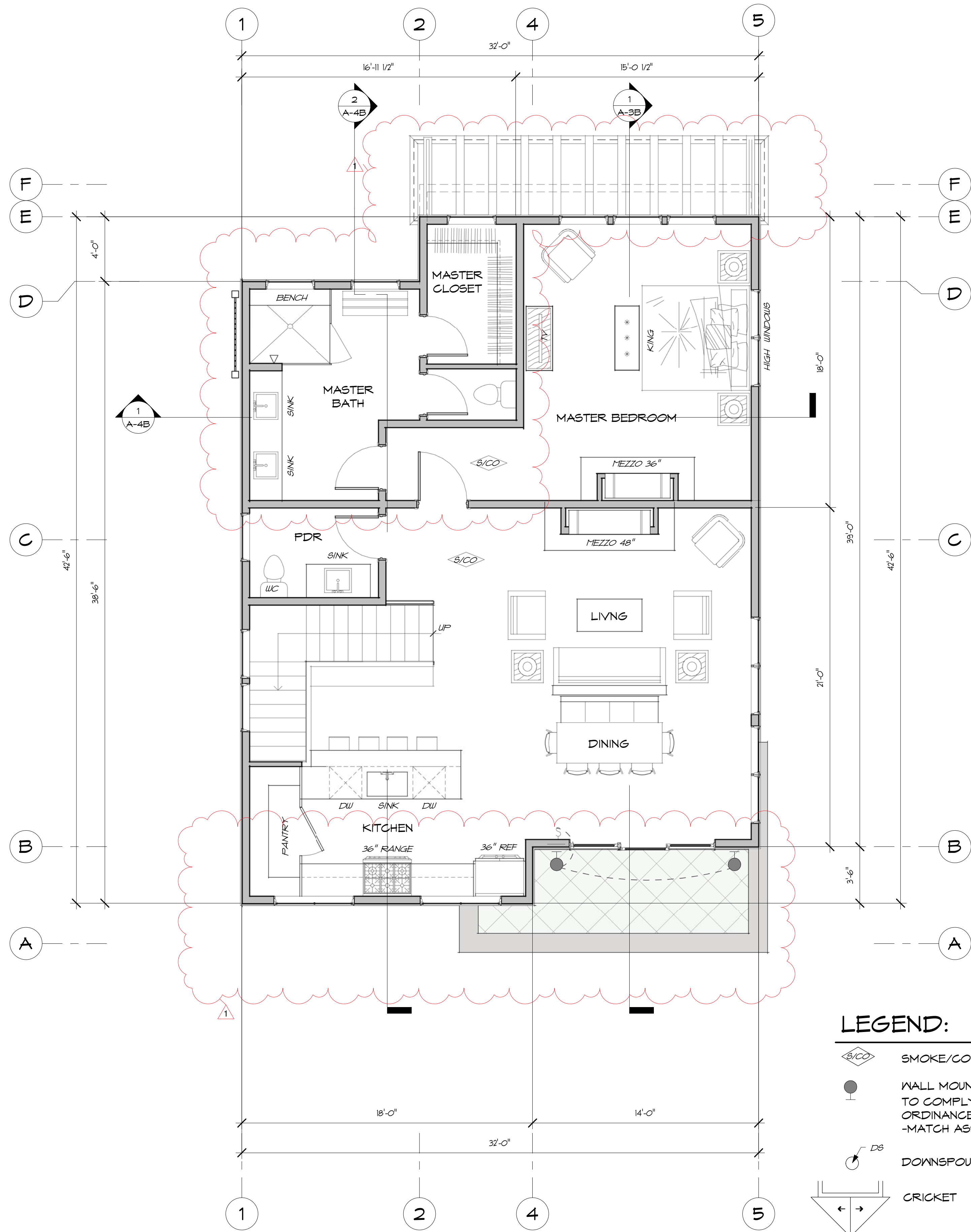
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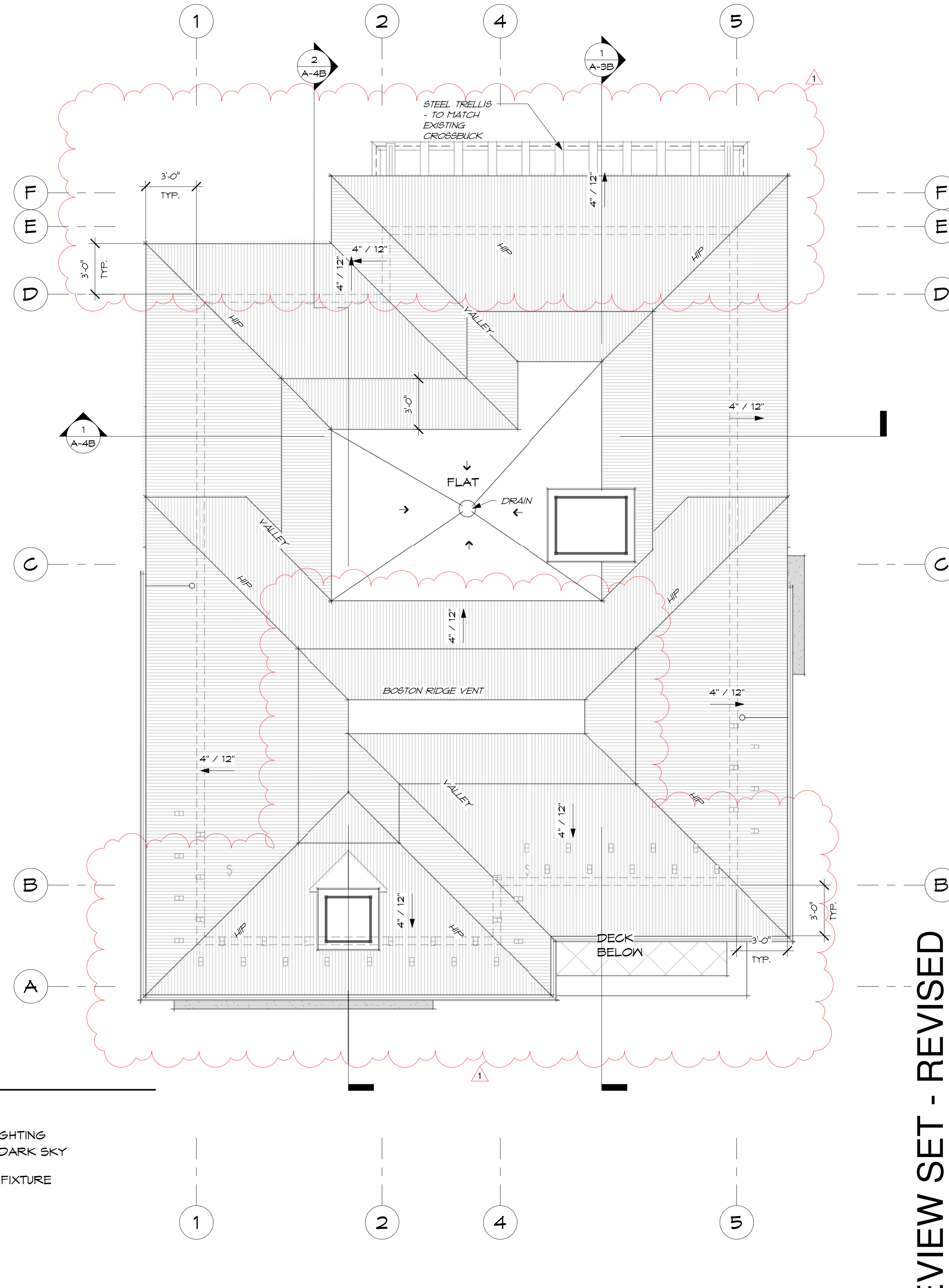
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1 UPPER LEVEL PLAN (UNIT B)
A-2B 1/4" = 1'-0"



2 ROOF PLAN (UNIT B)
A-2B 1/4" = 1'-0"

LEGEND:

- SMOKE/CO DETECTOR
- WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
- DOWNSPOUT
- CRICKET
- ROOF DRAIN w/ INTEGRAL OVERFLOW

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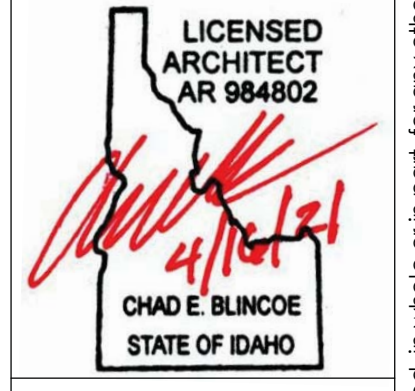
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1 BUILDING B SECTION 1
A-3B 1/4" = 1'-0"

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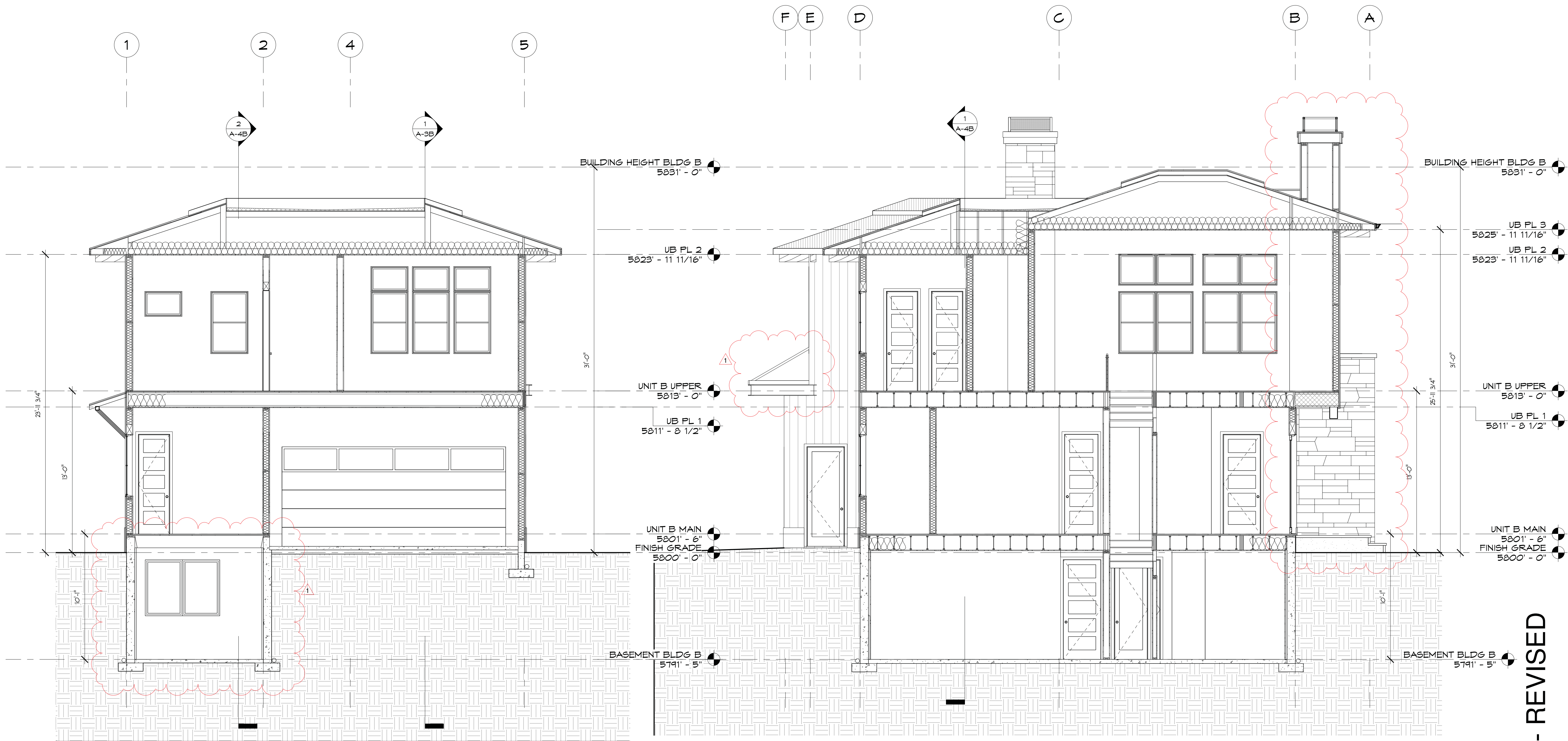
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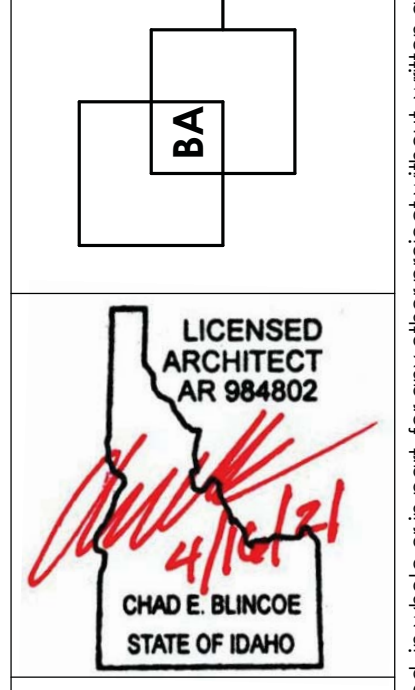


1 BUILDING B SECTION 2
A-4B 1/4" = 1'-0"

2 BUILDING B SECTION 3
A-4B 1/4" = 1'-0"

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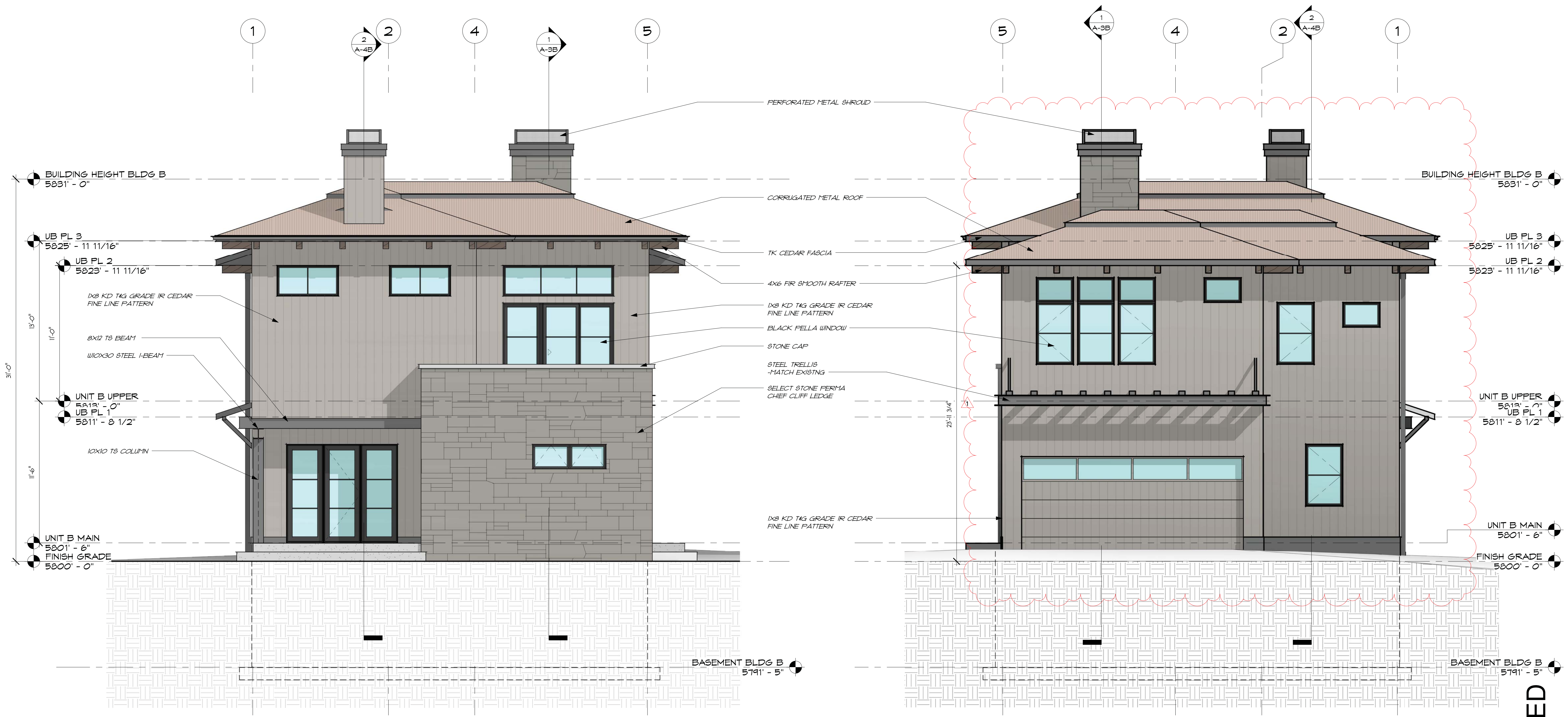


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1 EAST SIDE ELEVATION (UNIT B)
A-5B 1/4" = 1'-0"

2 WEST SIDE ELEVATION (UNIT B)
A-5B 1/4" = 1'-0"

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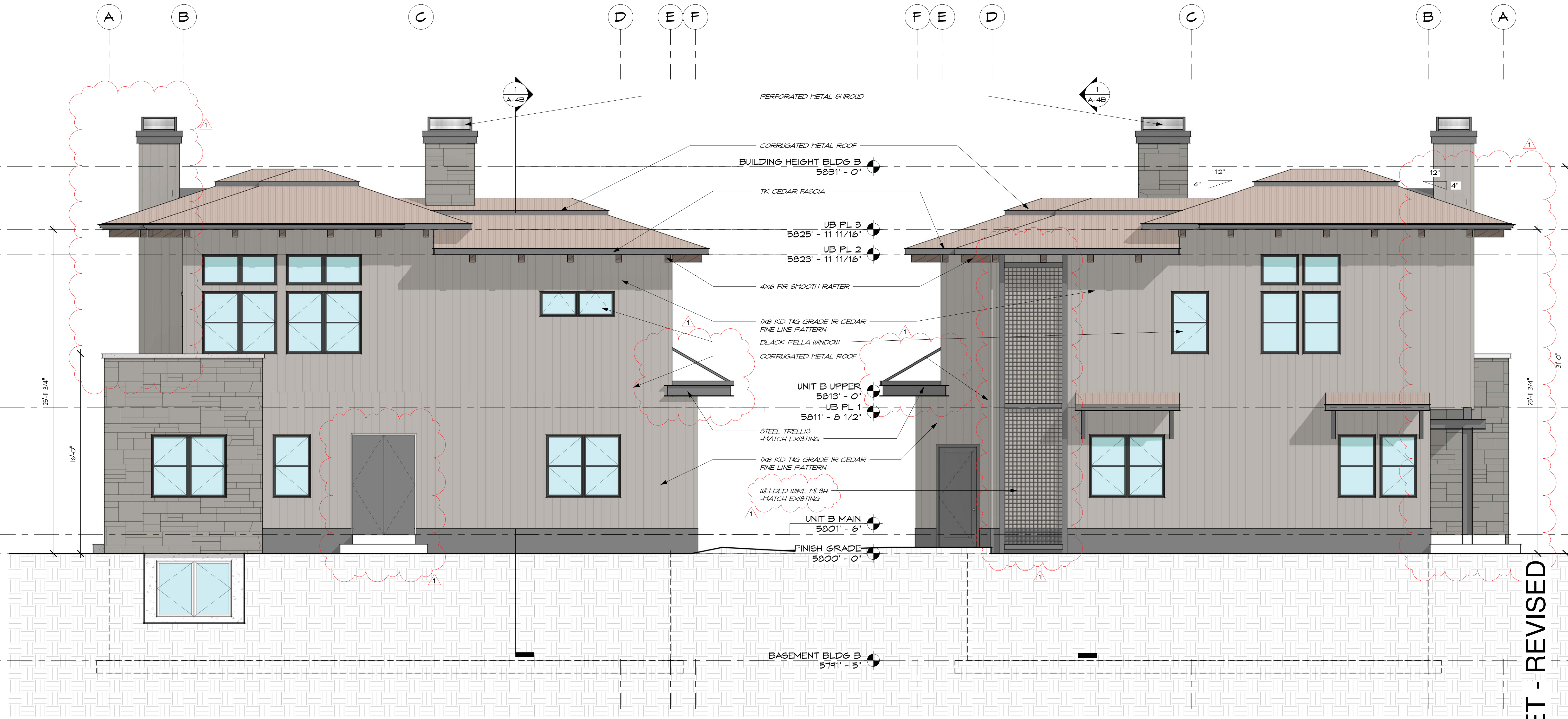
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1 NORTH SIDE ELEVATION (UNIT B)
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2 SOUTH SIDE ELEVATION (UNIT B)
A-6B 1/4" = 1'-0"

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EXISTING CROSSBUCK TOWNHOMES 1
MATERIAL REFERENCE PHOTO

PELLA WINDOWS

1X8 KD T&G D GRADE 1R
CEDAR FINE LINE PATTERN

SELECT STONE PERMA
CHIEF CLIFF LEDGE

STEEL FRAMING

NOTE:

CROSSBUCK TOWNHOMES II MATERIALS TO MATCH
EXISTING CROSSBUCK TOWNHOMES I



Hinkley Atlantis 16" High Dark Sky Outdoor
Wall Light



PRODUCT DETAILS

Bring a sleek elegance to your outdoor spaces with this titanium finish wall light.

Additional Info:

A minimal line and form gives this outdoor wall light an unbeatable contemporary appeal. It features a sleek titanium finish exterior and twin bulbs in a stacked format. Conforms to "Dark Sky" light pollution design specs.

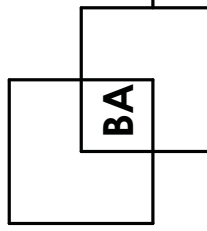
HINKLEY

Shop all Hinkley

- 16" high x 3" wide. Extends 7" from the wall. Backplate is 4 1/2" square.
- Comes with two 20 watt MR-16 halogen bulbs. Maximum 20 watt bulbs.
- Modern outdoor wall light from the Atlantis collection by Hinkley.
- Titanium finish. Extruded aluminum body construction. Etched glass lens.
- Wet location rated for outdoor use. Can also be used indoors. Dark Sky rated.

EXTERIOR LIGHTING
HINKLEY ATLANTIS BRONZE 16" HIGH
DARK SKY WALL LIGHT

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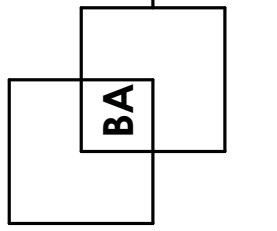
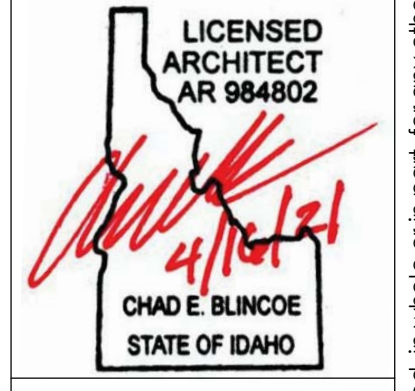
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**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF JULY 27, 2021**

PROJECT: Crossbuck West Townhomes

FILE NUMBERS: P21-048 & P21-049

APPLICATION: Design Review and Townhouse Subdivision Preliminary Plat

REPRESENTATIVE: Marc Corney, Architect

OWNER: William & Joan Wyatt

LOCATION: Southeast Corner of W 7th Street & Crossbuck Lane (Ketchum Townsite: Amended Block 67: Lot 2A)

ZONING: General Residential Low Density (GR-L)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on July 7th, 2021. The public hearing notice was published in the Idaho Mountain Express the on July 7th, 2021. A notice was posted on the project site and the city's website on July 20th, 2021.

CROSSBUCK DEVELOPMENT BACKGROUND

This project is part of the Crossbuck Townhomes development on Block 67 of Ketchum Townsite. The property is located between 7th Street to the north, 6th Street to the south, 2nd Avenue to the east, and the partially improved alleyway to the west. In 2018, the four lots within Block 67 were reconfigured (Lot Line Shift Application File No.) to accommodate the Crossbuck Townhome development. The City and the developers at that time, Bill Sundali and Shane and Sharon Mace, entered into Construction Phasing Agreement #20233 (Instrument #657569) for the installation of water, sewer, and right-of-way improvements as well as the designation of maintenance responsibilities. Water and sewer improvements were installed during the summer of 2018. The alleyway drainage and paving and 6th Street right-of-way (ROW) improvements, including a 5-foot concrete sidewalk, were installed with the construction of the first four detached townhome units on Lots 3 and 4.

The 7th Street ROW improvements were shown as part of the project plans. Two driveway accesses were shown along 7th Street—one to access Lot 1A and one to access Lot 2A. These lots were contemplated to be developed with single-family residences as a future phase of the Crossbuck

development. The Construction Phasing Agreement did not specify a completion date for the 7th Street ROW improvements. During their review of the Construction Phasing Agreement, the City Council discussed concerns regarding curb cuts for driveway access along the bike path. The Council approved one curb cut for a shared driveway over the bike path because an existing deed restriction precluded any curb cuts along 6th Street. The remaining lots and sublots within the development were required to be accessed from 7th Street or the alley.

The current owners of Lot 1A and 2A have each submitted Design Review and Townhouse Subdivision Preliminary Plat applications for the construction of two detached townhome units on remaining Lots 1A and 2A. The two proposed townhome developments comply with the improvement plan approved with the Construction Phasing Agreement. Additionally, a multi-family development containing a maximum of two dwelling units is a permitted use in the GR-L Zone (Ketchum Municipal Code §17.12.020). The building form, architectural design features, and exterior materials proposed with these new units match the existing townhomes within the Crossbuck development. The existing Crossbuck townhome units on Lot 3A and 4A have a building coverage of 35% and a maximum building height of 30 feet.

CROSSBUCK WEST TOWNHOMES

The Crossbuck West Townhomes project is comprised of concurrent Design Review and Townhouse Subdivision Preliminary Plat applications for the development of two new detached townhome units and associated site improvements on an undeveloped property located at the southeast corner of 7th Street and Crossbuck Lane (Ketchum Townsite: Amended Block 67: Lot 2A). The applicant will improve the remainder of the Block 67A alleyway. Both townhome units will be accessed from the improved alley. The townhome development's total proposed building coverage is 35%. Lot 2A within Block 67 of Ketchum Townsite will be subdivided into two townhouse sublots. The Crossbuck West Townhomes project requires both Design Review for the development of multi-family residential dwellings (Ketchum Municipal Code §17.96.010.A3) and a Townhouse Subdivision Preliminary Plat to create the townhouse sublots (Ketchum Municipal Code §16.04.080). The project plans for the new townhome development are attached as Exhibit A to the Staff Report.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant's presentation, and any public comment received, deliberate, and approve the Crossbuck West Townhomes Design Review application and recommend approval of the Townhouse Subdivision Preliminary Plat to City Council.

ANALYSIS

Comprehensive Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (2) adherence zoning and dimensional standards, (3) evaluation of Design Review criteria, (4) townhouse subdivision requirements, and (5) subdivision design and development standards.

Table 1: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All

right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments

All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Fire Department:

- It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- In lieu of a 20-foot-wide fire apparatus access road, the building located on the interior southwest corner of the project shall be provided with a minimum 14-foot-wide driveway and shall have an approved automatic fire sprinkler system installed throughout the building per City of Ketchum Ordinance No. 1217 and the National Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box, and Fire Department connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved Fire Department connection and flow bell shall be installed in a location approved by the Fire Department and the system shall be supervised by an approved alarm system.

Note: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s Office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance No. 1217 and the requirements of NFPA 72. Two sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved key box shall be installed on each townhome unit, with the appropriate keys, for emergency access in a location approved by the Fire Department. The key box shall be a Knox Box brand and sized to accommodate keys to every door of the townhome unit.
- Smoke and carbon monoxide detectors shall be installed per NFPA and the 2018 International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21 feet of each sleeping area, and on every level of occupancy, including the basement. Carbon monoxide alarms shall be installed in a central location outside each sleeping area and on every level of the townhome unit.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- An approved access roadway per 2018 International Fire Code Appendix D shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in

width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, an approved aerial fire apparatus access road shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75 feet travel distance to any combustibles on site, 30 feet to any hot work. Upon completion of project, every townhome unit shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. During construction, three 5-pound Class A fire extinguishers shall be required in each townhome unit.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10-feet of separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- This project shall comply with the City of Ketchum Fire Protection Ordinance No. 1217 and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, both shall have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12 inches vertical of finished grade shall be 1-hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12-inches horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire-resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the Fire Department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.

- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The building permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The adjacent ROW along 7th must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- The applicant shall improve the remainder of the Block 67 alleyway to city standards. Final civil drawings stamped by an Idaho-licensed engineer shall be submitted with the building permit application for final review and approval by the City Engineer and Streets Department. The applicant shall enter into an Alley Maintenance Agreement with the City. The Alley Maintenance Agreement shall be approved by the City Council and fully executed prior to or concurrent with the City Council’s review and approval of the final plat application.
- The proposed driveway pavers will require a ROW Encroachment Permit.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities & Wastewater:

- The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving

the property. The applicant shall coordinate with the existing Crossbuck HOA for future maintenance of the private water line.

- Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.
- Drywells must have proper separation from potable water lines.
- The final civil drawings shall be approved by DEQ prior to issuance of a building permit for the project.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.

Building:

- The building must meet the 2018 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with zoning and dimensional standards, design review evaluation standards, and subdivision design and development standards.

Table 2: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis				
Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Staff Comments	<p>Required Minimum Lot Area: 8,000 square feet minimum</p> <p>Required Minimum Townhouse Sublot Area: equal to the of the perimeter of the townhouse unit</p> <p>Proposed: Lot 2A of Block 67 within Ketchum Townsite has a total area of 8,240 square feet (0.19 acres).</p> <p>Lot 2A is proposed to be subdivided into two townhouse sublots. All townhouse sublots within the proposed subdivisions are greater than the perimeter of the townhouse unit. No land within the townhouse subdivision is proposed to be designated as common area. The proposed areas of each townhouse sublot are indicated on the preliminary plat.</p> <p>Townhouse Sublot 2A: 4,120 square feet Townhouse Sublot 2B: 4,120 square feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage

			Staff Comments	<p>BUILDING COVERAGE: The total square footage of the building foundation and all horizontal projections which constitute a "building" as defined in this section, but not including roof overhangs that are 3 feet or less or uncovered decks less than 30 inches above grade. Garages and guest homes shall be included in building coverage (KMC §17.08.020).</p> <p>Permitted: 35%</p> <p>Proposed: The townhome development's total building coverage is 35% (2,888 square feet building coverage/8,240-square-foot lot).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Staff Comments	<p>Minimum: Front: 15 feet Side: 1 foot for every 3 feet in building height, but no less than 5 feet Rear: 15 feet</p> <p>KMC §17.128.020: Supplementary Yard Regulations A. Cornices, canopies, eaves, chimney chases or similar architectural features may extend into a required yard not more than 3 feet. H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</p> <p>Proposed: Dimensioned setbacks from property lines are indicated on Sheet L-1.0 of the project plans. Front (North/7th Street): 15' Side (East/Interior): 10' Side (West/Alley): 13' Rear (South/Interior): 15'</p> <p>At-grade paver patios extend into the required setback areas, which is permitted pursuant to KMC §17.128.020.H. As indicated on Sheet A-1.2, roof overhangs extend into the setback area a maximum of 3 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Staff Comments	<p>Maximum Permitted: 35 feet</p> <p>Proposed: The townhome units' maximum building height are indicated on Sheet A3.1 of the project plans. Townhome Unit 2A: 29'-4¾" Townhome Unit 2B: 28'-10¾"</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030H	Curb Cut
			Staff Comments	<p>Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</p> <p>Proposed: Both townhomes are accessed from the Block 67 alley.</p>
			17.125.040	Parking Spaces

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<p>Off-street parking standards apply to any new development and to any new established uses.</p> <p>Required: Multiple-Family Residential Dwelling Units in the GR-L Zone Units 2,001 square feet and above: 2 parking spaces</p> <p>Proposed: Both townhome units exceed 2,001 square feet. Each townhome unit has its own attached 2-car garage.</p>
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Table 3: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	No new streets are proposed with this development. The townhome units will be accessed from the alley. Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	While the Crossbuck WestTownhomes project qualifies as a substantial improvement, sidewalks are not required to be installed along 7 th Street within this residential neighborhood. The property has street frontage along 2 nd Avenue and the bike path.

				<p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>The applicant shall improve the Block 67 alleyway to city standards.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B2 Sidewalks	<p>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</p>
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <p>a. The project comprises an addition of less than 250 square feet of conditioned space.</p>

				<p>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</p>
			Staff Comments	The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			Staff Comments	<p>The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7th Street or the alley rights-of-way. All drainage improvements must meet city standards. Drainage improvements are indicated on Sheet L2.0 of the project plans. Proposed drainage improvements include landscape drywells.</p> <p>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. As</p>

				noted in the Utilities Department's comments, all drywells must have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements shall be equal to the length of the property lines adjacent to 7 th Street and the alley. All drainage improvements shall meet City standards. All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project. See Table 1 for comments and conditions from the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	The application will be required to install drainage improvements to the satisfaction of the City Engineer. A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the building permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			Staff Comments	All drainage facilities within the project site and the public right-of-way shall meet city standards. Final drainage specifications must be included with the civil drawings submitted with the building permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property. Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.

				Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Staff Comments	All utilities within the development site shall be underground and concealed from public view. The project plans indicate a relocated transformer at the southwest corner of the parcel straddling the property line onto adjacent Lot 1A of Block 67. The transformer is proposed to be screened by deciduous shrubs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify if additional fiber optical conduit is required to be installed for the new multi-family residential development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	The Crossback WestTownhomes will match the existing Crossback townhome units developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette. The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	N/A. No significant landmarks of historical or cultural importance have been identified on the property. The site is vacant—this townhome development is an infill project.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	N/A This standard does not apply because the project is new construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	The front doors to both townhome units are clearly defined by a steel frame awning roof. The front door leads to paver walkways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			Staff Comments	The proposed architectural features include exterior material differentiation, fenestration, steel canopy elements, and wire mesh trellises. The exterior materials and architectural features will match the existing Crossbuck townhomes. The composition, proportion, and rhythm of the townhomes' materials provide visual interest. establishes a rhythm that animates the front facades. The fenestration proposed provides visual relief and mitigates the appearance of blank walls. The entire chimney is clad in stone veneer. This creates a prominent column that vertically integrates each floor and grounds the townhomes to the project site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
			Staff Comments	As noted on Sheet MB, the Crossbuck West Townhomes will match the existing Crossbuck Townhomes developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette. The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Staff Comments	The project does not propose any accessory structures. The project's site improvements include landscaping, planters, and gabion. The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes conifer trees, flowering crab deciduous trees, mugo pines, deciduous shrubs, perennials, and grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening from 7 th Street as well as the adjacent townhomes on Lot 3A and the proposed McNee townhomes on Lot 1A.

☒	☐	☐	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	Each townhome unit is less than 30 feet, which is 5 feet less than the maximum height permitted in the GR-L Zone. The mass of the building's rectangular volumes is broken up through material differentiation and an upper-level setback created by the second-floor deck. The projections created by the steel from awnings add visual interest to the building design. The landscaped trellis softens the rectangular volumes at the side facades.
☒	☐	☐	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			Staff Comments	The townhome units orient towards 7 th Street and the alley.
☒	☐	☐	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	Each townhome unit has its own trash and recycling bins stored and screened from public view within the attached, enclosed garages. The applicant has submitted a letter from Clear Creek Disposal approving the townhome development's garbage disposal configuration. The townhome unit owners will move the garbage and recycling bin to 7 th Street for service. The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view.
☒	☐	☐	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. As indicated on Sheet A1.4, the roof includes a system of rain gutters and downspouts. The roof plans show snow guards to prevent snow from sliding onto areas where pedestrians gather and circulate or onto adjacent properties.
☒	☐	☐	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	The townhome units' entrances lead to at-grade paver patios that lead to the alley and 7 th Street. The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood. Pedestrian and bicycle access is provided within the low-traffic residential streets.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	N/A. No awnings are proposed to extend across the public sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	The townhome units will both be accessed from the alley. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	As specified on Sheet C2 the driveway access is 35.2' from the alley's intersection with 7 th Street. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	The new multi-family residential development provides unobstructed access for emergency vehicles, snowplows, garbage trucks, and other services vehicles. Unobstructed access to the townhome units is provided from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	The snow storage calculation is indicated on Sheet L3.0 of the property plans. The applicant has provided 250 square feet of snow storage on site, which is 34% of the paver driveway area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
			Staff Comments	The snow storage calculation is indicated on Sheet L3.0 of the property plans. The applicant has provided 250 square feet of snow storage on site, which is 34% of the paver driveway area.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			Staff Comments	The 2 snow storage areas meet this dimensional requirement. The snow storage areas provided on site are 100 and 150 square feet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	The applicant has provided snow storage on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			Staff Comments	The landscape plan is provided on Sheet L3.0 of the project plans. Landscaping includes conifer trees, mugo pines, flowering crab deciduous trees, deciduous shrubs, perennials, and grasses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	The landscape plan is provided on Sheet L3 of the project plans. Landscaping includes conifer trees, mugo pines, flowering crab deciduous trees, deciduous shrubs, perennials, and grasses. The proposed landscaping will beautify the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Staff Comments	All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The proposed landscaping softens the rectangular mass of each townhome unit and provides screening from 7th Street as well as the adjacent townhomes on Lot 3A and the proposed McNee townhomes on Lot 1A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	The City Engineer has determined that sidewalks are not required for this project in this residential neighborhood.

Table 4: Townhouse Subdivision Requirements

Compliant			Townhouse Plat Requirements	
Yes	No	N /A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.B	<p>Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.</p> <p>Staff Comments The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and CC&Rs document to the Planning & Building Department and file such document prior to recordation of the final plat.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.1	<p>Preliminary Plat Procedure: Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection.</p> <p>All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.</p> <p>Staff Comments The townhouse subdivision shall be platted under the procedures contained in the subdivision ordinance.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.2	<p>The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.</p> <p>Staff Comments The townhome subdivision preliminary plat and design review applications for the development are being reviewed concurrently.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.3	<p>The preliminary plat, other data, and the commission's Staff Comments may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.</p> <p>Staff Comments The preliminary plat and the Planning & Zoning Commission's Staff comments will be transmitted to the City Council for their review and approval prior to the issuance of a building permit for the project.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.C.4	<p>In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat</p>

				procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.
			Staff Comments	N/A. The applicant has not proposed phasing with this townhome development project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.D	<p>D. Final Plat Procedure:</p> <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the townhouse has received either:</p> <ul style="list-style-type: none"> a. A certificate of occupancy issued by the city of Ketchum for all structures in the townhouse development and completion of all design review elements as approved by the planning and zoning administrator; or b. Signed council approval of a phased development project consistent with §16.04.110 herein. <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code.</p>
			Staff Comments	The applicant shall follow the final plat procedure as specified in the City's subdivision ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.1	<p>E. Required Staff Comments : In addition to all Townhouse Developments complying with the applicable provisions of Title 17 and this Subdivision Chapter (§16.04), the Administrator shall find that</p> <p>All Townhouse Developments, including each individual subplot, shall not exceed the maximum building coverage requirements of the zoning district.</p>
			Staff Comments	The townhome project is located within the General Residential Low Density (GR-L) Zone. The townhomes development's proposed building coverage is 35% (2,888 square feet building coverage/8,240-square-foot lot), which is the maximum permitted in the GR-L Zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.E.2	<p>Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is tied to specific townhouse units on the townhouse plat and in any owner's documents, and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development.</p>
			Staff Comments	Each townhome unit includes an attached and enclosed 2-car garage. No detached garages are proposed with this townhome development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.3	<p>General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse subdivisions. (Ord. 1061 § 3, 2009: Ord. 879 § 4, 2001: Ord. 460 § 2, 1987)</p>
			Staff Comments	This townhouse subdivision will comply with all applicable local, state, and federal ordinances, rules, and regulations.

Table 5: Preliminary Plat Requirements (all subdivisions)

Preliminary Plat Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Staff Comments	The application has been reviewed and determined to be complete.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Staff Comments	All required materials for the preliminary plat application have been submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I.1	The scale, north point and date.
			Staff Comments	This standard has been met. The preliminary plat contains a scale, north point, and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.2	The name of the proposed subdivision.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			Staff Comments	This information has been provided on the application form and indicated on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.4	Legal description of the area platted.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Staff Comments	This standard has been met. The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. Additionally, the applicant has indicated the Crossbuck McNee Townhomes proposed on adjacent Lot 1A on the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			Staff Comments	This project plans include a topographic map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Staff Comments	The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. 7 th Street and 2 nd Avenue are indicated on the plat.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.8	Boundary description and the area of the tract.
			Staff Comments	This boundary description and the area of the tract is noted on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Staff Comments	The property is within the GR-L Zone.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Staff Comments	This standard has been met. The location of the proposed townhouse sublots are indicated on the preliminary plat. The existing location of 2 nd Avenue, 7 th Street, and the Block 67 alley are indicated on the plat. The existing public utility easements are indicated on the plat. The townhouse subdivision does not propose a new lots, blocks, or street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Staff Comments	The townhome development does not provide any land intended to be dedicated for public use or for the common use of all future property owners within the proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Staff Comments	The project plans indicate the locations of all utility and drainage improvements as well as the required right-of-way improvements along 7 th Street and the alley. No new street lighting or curb and gutter improvements are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			Staff Comments	The project plans include drainage improvements. The drainage improvements are indicated on Sheet L2.0 and the drywell specifications are provided on the civil drawings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Staff Comments	All drainage improvements have been indicated on the project plans. No drainage canals are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			Staff Comments	The project plans include a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or

				avalanche overlay district.
			Staff Comments	N/A. The property is not currently mapped to be in the floodplain/floodway. The property is not located within the avalanche zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Staff Comments	N/A. The property is not located within the floodway, floodplain, or avalanche zone. The property does not lie adjacent to a river or creek. The lot does not contain slopes of 25% or greater. The project does not create a new lot—the preliminary plat subdivides an existing corner lot into 2 townhouse sublots.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.18	Lot area of each lot.
			Staff Comments	The proposed size of each subplot is indicated on the preliminary plat—each subplot has an area of 4,120 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.19	Existing mature trees and established shrub masses.
			Staff Comments	The project plans indicate existing mature trees and shrub masses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	To be provided to Administrator: Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Staff Comments	The Crossbuck West Townhomes subdivision name is unique and is not the same as another townhouse subdivision in Blaine County.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Staff Comments	N/A. This project will connect to municipal services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Staff Comments	The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and Party Wall Agreement document to the Planning & Building Department and file such document prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Staff Comments	This standard has been met. The applicant has submitted a Title Report and the Last Deed of Record.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.24	A digital copy of the preliminary plat shall be filed with the administrator.

			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	<p>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			Staff Comments	This standard has been met. The construction design plans shall be submitted with the building permit application for review by City Departments. All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			Staff Comments	Improvement plans shall be reviewed and approved by City Departments through the building permit application process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Staff Comments	All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate

				of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			Staff Comments	All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Staff Comments	The applicant shall meet the required monumentation standards prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be

			<p>created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat..</p>
		Staff Comments	<p>Standards 1, 4, 5, and 6 have been met.</p> <p>Standard 1 has been met—the lot and townhouse sublots sizes, widths, and depths comply with the dimensional standards for lots and townhouse sublots required in the GR-L Zone. The proposed townhome development complies with setbacks from front, rear, and side property lines required in the GR-L Zone.</p> <p>Standard 6 has been met.</p> <p>Standard 2 is not applicable as the subdivision is not located in the floodplain, mountain overlay, or avalanche zone. Standard 3 is no applicable because subject Lot 1A is located within Ketchum Townsite.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.G</p> <p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and

				<p>minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</p> <p>4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</p>
			Staff Comments	N/A. No new blocks are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.1	<p>H. Street Improvement Requirements:</p> <p>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</p>
			Staff Comments	N/A. The townhome development is an infill project within an existing subdivision. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.2	<p>2.All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</p>
			Staff Comments	This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.3	<p>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</p>
			Staff Comments	N/A. No street frontage improvements like planting strips are required.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.4	<p>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</p>
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.5	<p>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</p>
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.6	<p>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p>
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.7	<p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the</p>

				subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
			Staff Comments	N/A. This proposal does not create a new dead-end street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.8	8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
			Staff Comments	N/A. The townhouse sublots are within an existing subdivision. No new streets are proposed. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.9	9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
			Staff Comments	N/A. No new streets are proposed with this townhome development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.10	10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.11	11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.12	12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.13	13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.14	14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.15	15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;

			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.16	16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
			Staff Comments	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.17	17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.18	18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed and no sidewalks are required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.19	19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new private streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.20	20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.21	21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;
			Staff Comments	N/A. This proposal does not require construction of a new bridge or impact any existing bridges.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.22	22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;
			Staff Comments	While the Crossbuck West Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed within this residential neighborhood.

				<p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways. The required right-of-way improvements are indicated on Sheet C2 of the project plans. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred. The applicant shall improve the remainder of the Block 67 alleyway to City standards.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.23	<p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and</p> <p>Staff Comments No gates are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.24	<p>24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone</p> <p>Staff Comments N/A. The townhouse sublots are not located within the Avalanche Zone.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	<p>I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>

			Staff Comments	The proposed alley improvements shall meet these requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.1	<p>J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.</p>
			Staff Comments	N/A. These easements are not required as the project create a new street and the property is not adjacent to Warm Springs Road.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.2	<p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.3	<p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.4	<p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.5	<p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p>
			Staff Comments	N/A. No changes to ditches, pipes, or other irrigation structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.6	<p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.</p>

			Staff Comments	N/A. The townhouse sublots are within an existing residential neighborhood. The City Engineer has determined that sidewalks are not required for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			Staff Comments	All townhome units will connect to the municipal sewer systems. The project shall meet all requirements of the Wastewater Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.L	L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.
			Staff Comments	The townhome development will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the Utilities Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan

				for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			Staff Comments	N/A. The townhouse sublots are within an existing residential subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.1	<p>N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <p>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.</p>
			Staff Comments	The project shall meet all cut, fill, and grading standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.2	<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <p>a. Proposed contours at a maximum of five foot (5') contour intervals.</p> <p>b. Cut and fill banks in pad elevations.</p> <p>c. Drainage patterns.</p> <p>d. Areas where trees and/or natural vegetation will be preserved.</p> <p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</p>
			Staff Comments	The project plans include a grading plan on Sheet L2.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.3	<p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>
			Staff Comments	The proposed grading meets these requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N.4	<p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p>
			Staff Comments	N/A. The townhome development is an infill project on a vacant lot surrounding by existing development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.5	<p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p>
			Staff Comments	The project shall meet this requirement regarding soil stabilization and revegetation.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.6	<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</p> <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
			Staff Comments	The project shall meet these development standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.0	<p>O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			Staff Comments	<p>The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7th Street or the alley rights-of-way. All drainage improvements must meet city standards.</p> <p>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. Additionally, the applicant shall submit geotechnical report with the building permit application for review by the City Engineer. As noted in the Utilities Department's comments, all drywells must</p>

				have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			Staff Comments	All utilities, including electricity, natural gas, telephone, and cable services, shall be installed underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			Staff Comments	N/A. The townhouse subdivision does not trigger off-site improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			Staff Comments	N/A. The townhouse sublots are not located in the Avalanche or Mountain overlay zoning districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			Staff Comments	The applicant will install new landscaping as indicated on Sheet L-3.0 of the project plans.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, and approve the Crossbuck West Townhomes Design Review application and recommend approval of the Townhouse Subdivision Preliminary Plat to City Council.

RECOMMENDED MOTIONS

“I move to approve the Crossbuck West Townhomes Design Review application subject to conditions 1-11.”

“I move to recommend approval of the Crossbuck West Townhomes Subdivision Preliminary Plat to the City Council subject to conditions 1-7.”

ECOMMENDED DESIGN REVIEW CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 1, 2, and 3.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
5. Prior to issuance of a Certificate of Occupancy for the project, the applicant shall secure a Right-of-Way Encroachment Permit from the City for the proposed pavers within the public right-of-way. The ROW Encroachment Permit requires review by the Streets Department and City Engineer and final approval by the Ketchum City Council.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
7. All Design Review elements, including right-of-way improvements and landscaping, shall be completed prior to issuance of a Certificate of Occupancy for the building.
8. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
9. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
10. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
11. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

RECOMMENDED TOWNHOUSE SUBDIVISION PRELIMINARY PLAT CONDITIONS OF APPROVAL

1. The project shall meet all requirements of the Fire, Utility, Building, Streets/City Engineer, and Planning requirements as specified in Table 1.
2. The project shall comply with all conditions and comments as specified in Table 4 and 5.
3. The applicant shall improve the remainder of the Block 67 alleyway to city standards. Final civil drawings stamped by an Idaho-licensed engineer shall be submitted with the building permit application for final review and approval by the City Engineer and Streets Department. The applicant shall enter into an Alley Maintenance Agreement with the City.

The Alley Maintenance Agreement shall be approved by the City Council and fully executed prior to or concurrent with the City Council's review and approval of the final plat application.

4. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map.
5. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
 - d. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Department of Planning and Building for the official file on the application.
7. The Townhouse Declaration shall be simultaneously recorded with the Final Plat. The developer shall submit a final copy of the document to the Planning & Building Department and file such document prior to recordation of the final plat. The City will not now, nor in the future, determine the validity of the Townhouse Declaration.

EXHIBITS:

A. Crossbuck West Townhomes Project Plans

Exhibit A:
Crossbuck West Townhomes
Project Plans



Crossbuck West Townhomes

Amended Lot 2A, Block 67, Ketchum, Idaho

Crossbuck West Townhomes
Amended Lot 2A, Block 67, Ketchum, Idaho

RED
CANOE
Architecture
P.A.

565 Mother Lode Loop
Hailey, Idaho 83333
208.788.7050

PRINTED: 6/15/21

DATE:
KETCHUM DESIGN
REVIEW
3/23/2021

COVER SHEET

A0.0

PROJECT TEAM:

ARCHITECT:
Red Canoe Architecture, P.A.
565 Mother Lode Loop
Hailey, Idaho 83333
Phone: (208) 788-7050
Email: info@red-canoe.com

CIVIL ENGINEER/SURVEYOR:
Alpine Enterprises Inc.
280 River Street E.
Ketchum, Idaho 83340
Phone: (208) 727-1988
Email: bsmit@alpineenterprisesinc.com

GENERAL CONTRACTOR:
Young Construction, Inc.
Box 4936
Ketchum, Idaho 83340
Phone: (208) 725-2001
Email: dan@youngconstructioninc.com

LANDSCAPE ARCHITECT:
Eggers Associates, P.A.
Box 953
Ketchum, Idaho 83340
Phone: (208) 725-0988
Email: info@eggersassociates.com

STRUCTURAL ENGINEER:
Morell Engineering P.C.
Box 2401
Ketchum, Idaho 83340
Phone: (208) 726-2844
Email: morellengineering@cox.net

BUILDING DATA:

PROJECT NAME: Crossbuck West Townhomes
LEGAL DESCRIPTION: Amended Lot 2A, Block 67, Ketchum, Idaho
PHYSICAL ADDRESS: T.B.D.
ZONING DISTRICT: GR-L
PARCEL NUMBER: RPK0000061002A
LOT SIZE: ± 8,250 S.F.

BUILDING AREA:

SUBLOT 2A (W/PATT)	
Basement Living:	726.18 S.F.
1st Floor Living:	839.06 S.F.
2nd Floor Living:	1,285.13 S.F.
Total Living:	2,850.37 S.F.
Garage/Mech/Sto.:	736.59 S.F.
Total Footprint:	1,443.75 S.F.
SUBLOT 2B (W/PARK)	
Basement Living:	652.63 S.F.
1st Floor Living:	949.00 S.F.
2nd Floor Living:	1,285.12 S.F.
Total Living:	2,886.75 S.F.
Garage/Mech/Sto.:	634.12 S.F.
Total Footprint:	1,443.75 S.F.

CONST. TYPE: V B
LOT COVERAGE: 35.0%
STORIES: (2) Two

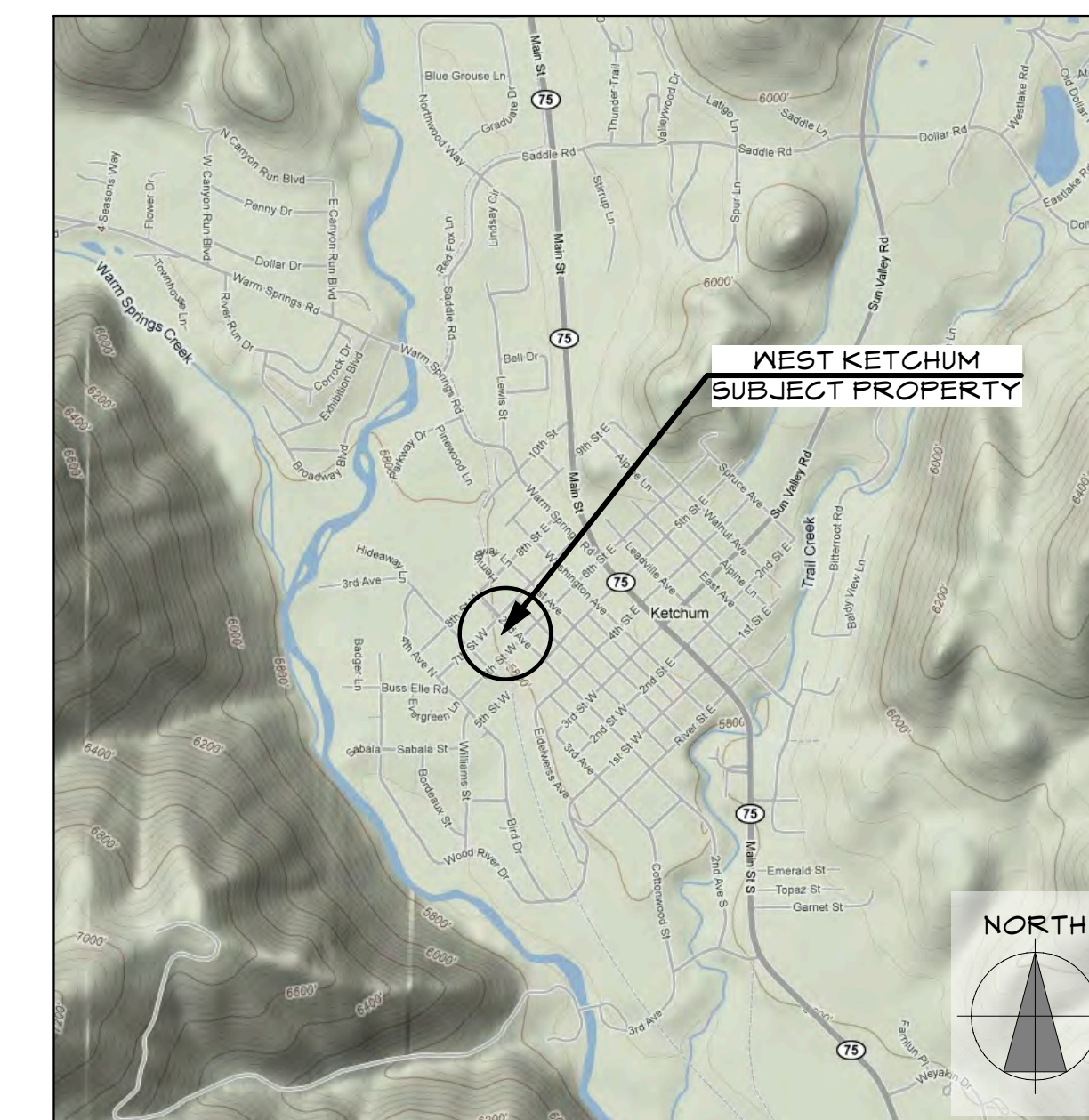
NEIGHBORHOOD MAP:



WEST KETCHUM

NOT TO SCALE

VICINITY MAP:

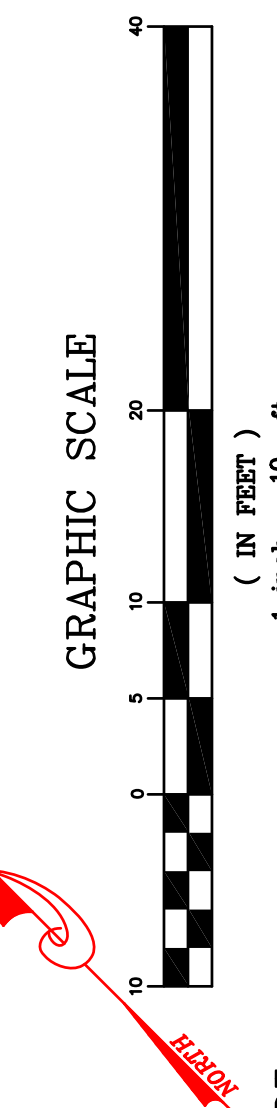
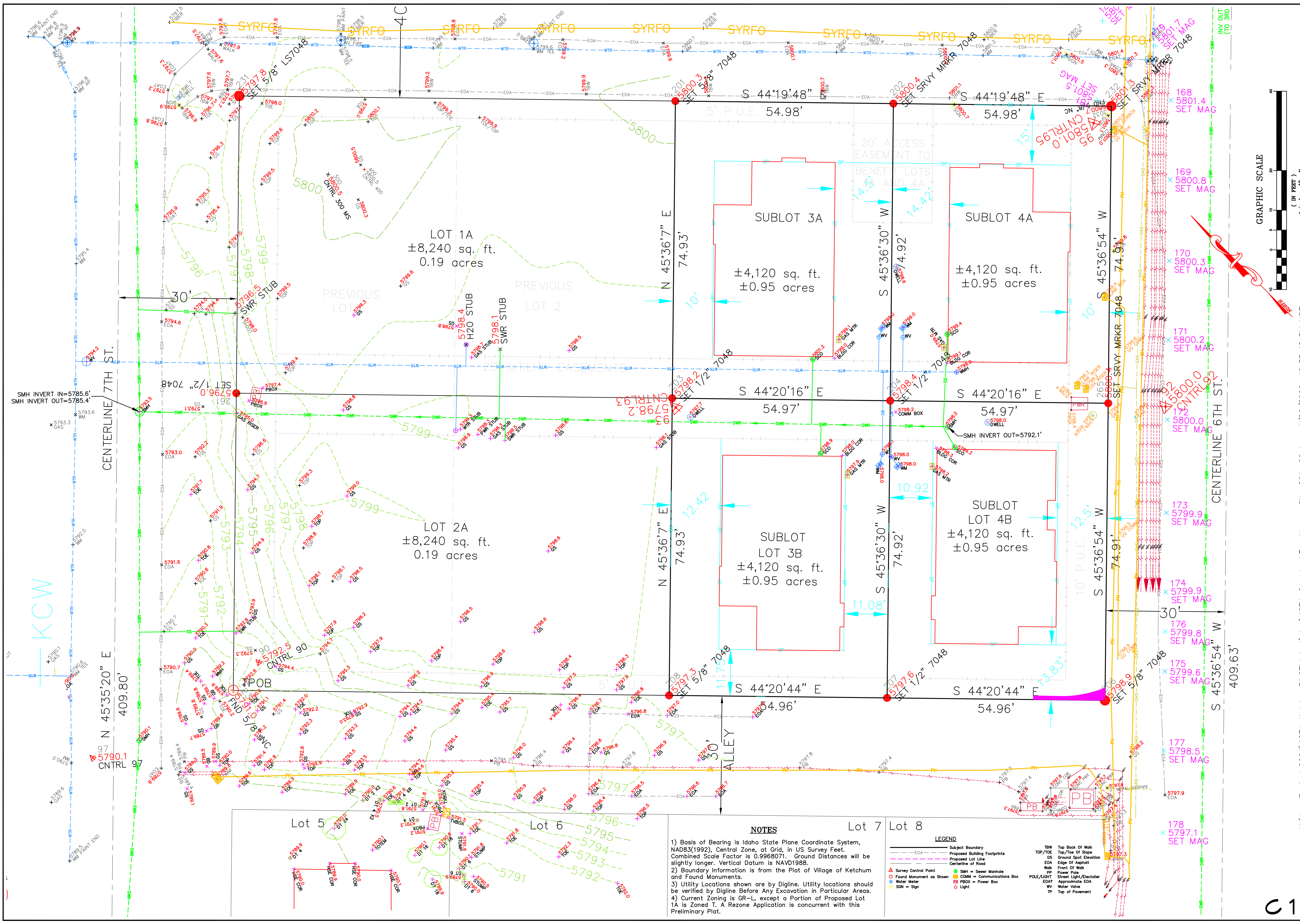


CITY OF KETCHUM

NOT TO SCALE

DRAWING INDEX:

- A0.0 COVER SHEET
- C1 SITE SURVEY
- C2 CIVIL: SITE PLAN @ ALLEY
- C3 CIVIL: ALLEY/DRIVEWAY PROFILES
- C4 CIVIL: DRYWELL DETAILS
- C5 CIVIL: PRELIMINARY PLAT
- L1.0 SITE PLAN
- L1.1 UTILITY PLAN
- L1.2 CONSTRUCTION MANAGEMENT PLAN
- L2.0 GRADING PLAN
- L3.0 LANDSCAPE PLAN
- A1.1 SUBLOT 2A: BASEMENT & 1st FLOOR PLAN
- A1.2 SUBLOT 2A: 2nd FLOOR & ROOF PLAN
- A1.3 SUBLOT 2A: BASEMENT & 1st FLOOR PLAN
- A1.4 SUBLOT 2B: 2nd FLOOR & ROOF PLAN
- A2.1 ELEVATIONS: SUBLOT 2A
- A2.2 ELEVATIONS: SUBLOT 2B
- A2.3 SITE WALL ELEVATIONS
- A3.1 SECTIONS: SUBLOT 2A & 2B



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AN AS-BUILT DRAWING SHOWING
 CROSSBUCK TOWNHOMES AND LOTS 1A & 2A, BLOCK 67, VILLAGE OF KETCHUM
 WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR SUNDALI AND MACE

Alpine Enterprises Inc.
 Surveying, Mapping, and Natural Hazards Consulting
 660 Bell Drive, Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsamith@alpineenterprisesinc.com

REVISIONS	NO	DATE	BY
Move 3B 2" Line up 3A, Linetypes	1	05Apr19	BWS
Update new Utilities, Remove old, 15' O/Ss in 7th	2	19Jul19	BWS
Rev per Galena C-1 03Sep19	3	10Sep19	BWS
As-Built after Construction	4	20Apr20	BWS

Sheet 1 of 1

NOTES

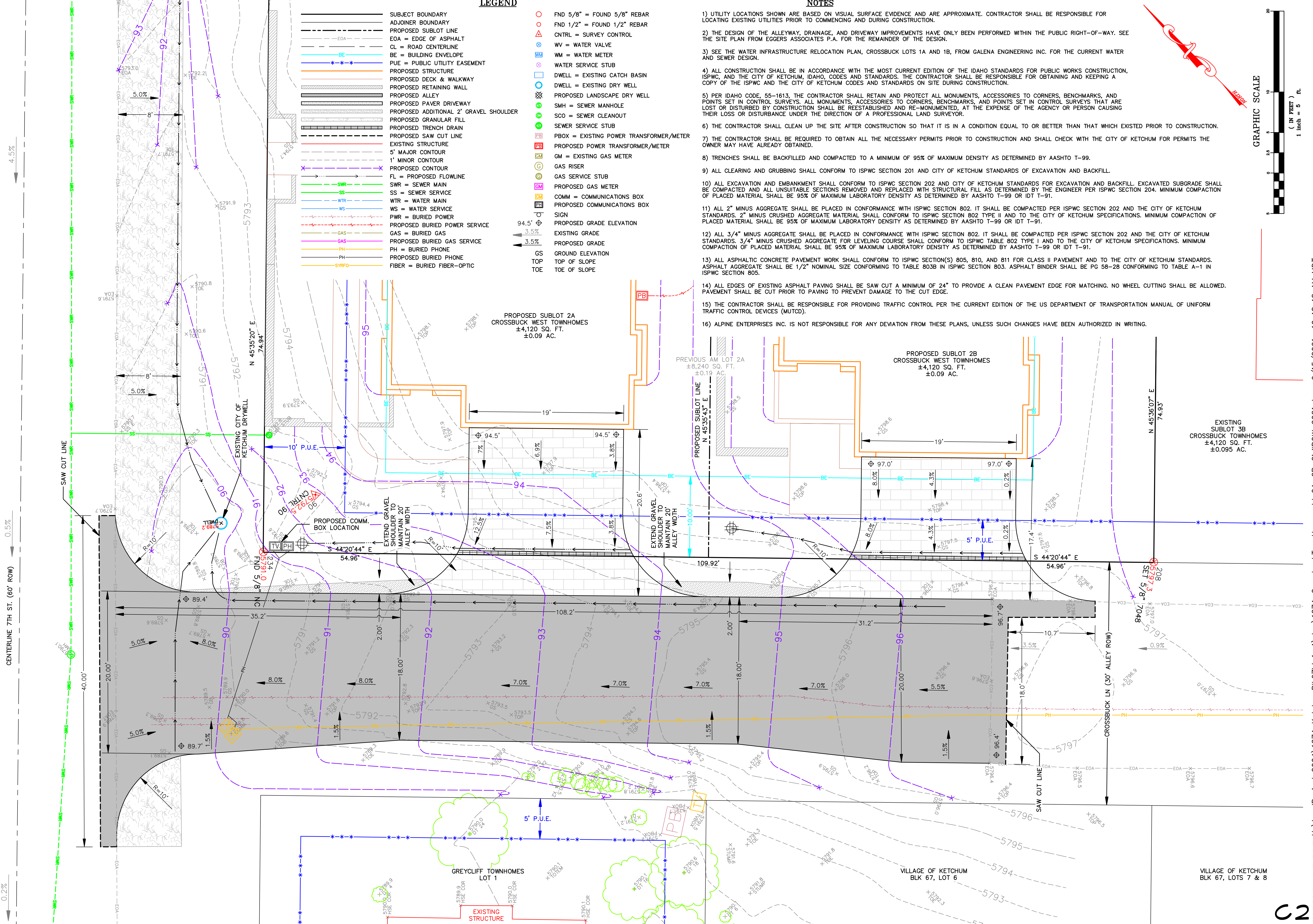
- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Village of Ketchum and Found Monuments.
- 3) Utility Locations shown are by Digline. Utility locations should be verified by Digline Before Any Excavation in Particular Areas.
- 4) Current Zoning is CR-L, except a Portion of Proposed Lot 1A is Zoned T. A Rezone Application is concurrent with this Preliminary Plat.

LEGEND

—	Subject Boundary	—	Top Back Of Walk
---	Proposed Building Footprints	TOP/TOE	Top/Toe Of Slope
---	Centerline of Road	GS	Ground Spot Elevation
---	Proposed Lot Line	EA	Edge of Asphalt
---	Found Monument as Shown	W	Walk Front Of Walk
○	Survey Control Point	PF	Power Pole
○	Water Meter	SL	Street Light/Electrifier
○	Found Monument as Shown	EA01	Approximate EOA
○	SMH = Sewer Manhole	WV	Water Valve
○	COMM = Communications Box	TP	Top of Pavement
○	PB = Power Box		
○	Light		

KCW

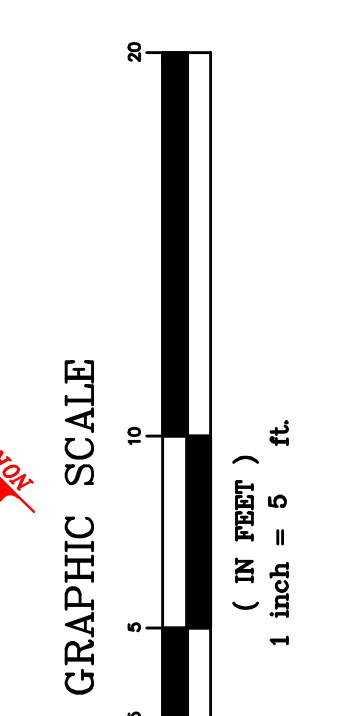
C1



LEGEND

	SUBJECT BOUNDARY		FND 5/8" = FOUND 5/8" REBAR
	ADJOINER BOUNDARY		FND 1/2" = FOUND 1/2" REBAR
	PROPOSED SUBLOT LINE		CNTRL = SURVEY CONTROL
	EOA = EDGE OF ASPHALT		WV = WATER VALVE
	CL = ROAD CENTERLINE		WM = WATER METER
	BE = BUILDING ENVELOPE		WATER SERVICE STUB
	PUE = PUBLIC UTILITY EASEMENT		DWELL = EXISTING CATCH BASIN
	PROPOSED STRUCTURE		DWELL = EXISTING DRY WELL
	PROPOSED DECK & WALKWAY		PROPOSED LANDSCAPE DRY WELL
	PROPOSED RETAINING WALL		SMH = SEWER MANHOLE
	PROPOSED ALLEY		SCO = SEWER CLEANOUT
	PROPOSED PAVEMENT DRIVEWAY		SEWER SERVICE STUB
	PROPOSED GRANULAR FILL		PBOX = EXISTING POWER TRANSFORMER/METER
	PROPOSED TRENCH DRAIN		PROPOSED POWER TRANSFORMER/METER
	PROPOSED SAW CUT LINE		GM = EXISTING GAS METER
	EXISTING STRUCTURE		GAS RISER
	5' MAJOR CONTOUR		GAS SERVICE STUB
	1' MINOR CONTOUR		PROPOSED GAS METER
	PROPOSED CONTOUR		COMM = COMMUNICATIONS BOX
	FL = PROPOSED FLOWLINE		PROPOSED COMMUNICATIONS BOX
	SWR = SEWER MAIN		SIGN
	SS = SEWER SERVICE		PROPOSED GRADE ELEVATION
	WTR = WATER MAIN		EXISTING GRADE
	WS = WATER SERVICE		PROPOSED GRADE
	PWR = BURIED POWER		GS
	PROPOSED BURIED POWER SERVICE		TOP
	GAS = BURIED GAS		TOE
	PROPOSED BURIED GAS SERVICE		
	PH = BURIED PHONE		
	PROPOSED BURIED PHONE		
	FIBER = BURIED FIBER-OPTIC		

- ### NOTES
- UTILITY LOCATIONS SHOWN ARE BASED ON VISUAL SURFACE EVIDENCE AND ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING CONSTRUCTION.
 - THE DESIGN OF THE ALLEYWAY, DRAINAGE, AND DRIVEWAY IMPROVEMENTS HAVE ONLY BEEN PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. SEE THE SITE PLAN FROM EGGERS ASSOCIATES P.A. FOR THE REMAINDER OF THE DESIGN.
 - SEE THE WATER INFRASTRUCTURE RELOCATION PLAN, CROSSBUCK LOTS 1A AND 1B, FROM GALENA ENGINEERING INC. FOR THE CURRENT WATER AND SEWER DESIGN.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, ISPMC, AND THE CITY OF KETCHUM, IDAHO, CODES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND THE CITY OF KETCHUM CODES AND STANDARDS ON SITE DURING CONSTRUCTION.
 - PER IDAHO CODE, 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS, AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS, AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE RE-ESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
 - THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SHALL CHECK WITH THE CITY OF KETCHUM FOR PERMITS THE OWNER MAY HAVE ALREADY OBTAINED.
 - TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
 - ALL CLEARING AND GRUBBING SHALL CONFORM TO ISPMC SECTION 201 AND CITY OF KETCHUM STANDARDS OF EXCAVATION AND BACKFILL.
 - ALL EXCAVATION AND EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202 AND CITY OF KETCHUM STANDARDS FOR EXCAVATION AND BACKFILL. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER PER ISPMC SECTION 204. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR IDT T-91.
 - ALL 2" MINUS AGGREGATE SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802. IT SHALL BE COMPACTED PER ISPMC SECTION 202 AND THE CITY OF KETCHUM STANDARDS. 2" MINUS CRUSHED AGGREGATE MATERIAL SHALL CONFORM TO ISPMC SECTION 802 TYPE II AND TO THE CITY OF KETCHUM SPECIFICATIONS. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR IDT T-91.
 - ALL 3/4" MINUS AGGREGATE SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802. IT SHALL BE COMPACTED PER ISPMC SECTION 202 AND THE CITY OF KETCHUM STANDARDS. 3/4" MINUS CRUSHED AGGREGATE FOR LEVELING COURSE SHALL CONFORM TO ISPMC TABLE 802 TYPE I AND TO THE CITY OF KETCHUM SPECIFICATIONS. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR IDT T-91.
 - ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT AND TO THE CITY OF KETCHUM STANDARDS. ASPHALT AGGREGATE SHALL BE 1/2" NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
 - ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT A MINIMUM OF 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PAVEMENT SHALL BE CUT PRIOR TO PAVING TO PREVENT DAMAGE TO THE CUT EDGE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALPINE ENTERPRISES INC. IS NOT RESPONSIBLE FOR ANY DEVIATION FROM THESE PLANS, UNLESS SUCH CHANGES HAVE BEEN AUTHORIZED IN WRITING.



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PLAN & PROFILES FOR
CROSSBUCK WEST TOWNHOMES ON LOT 2A, BLOCK 67, VILLAGE OF KETCHUM
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR RED CANOE ARCHITECTURE, WYATT & DUFUR

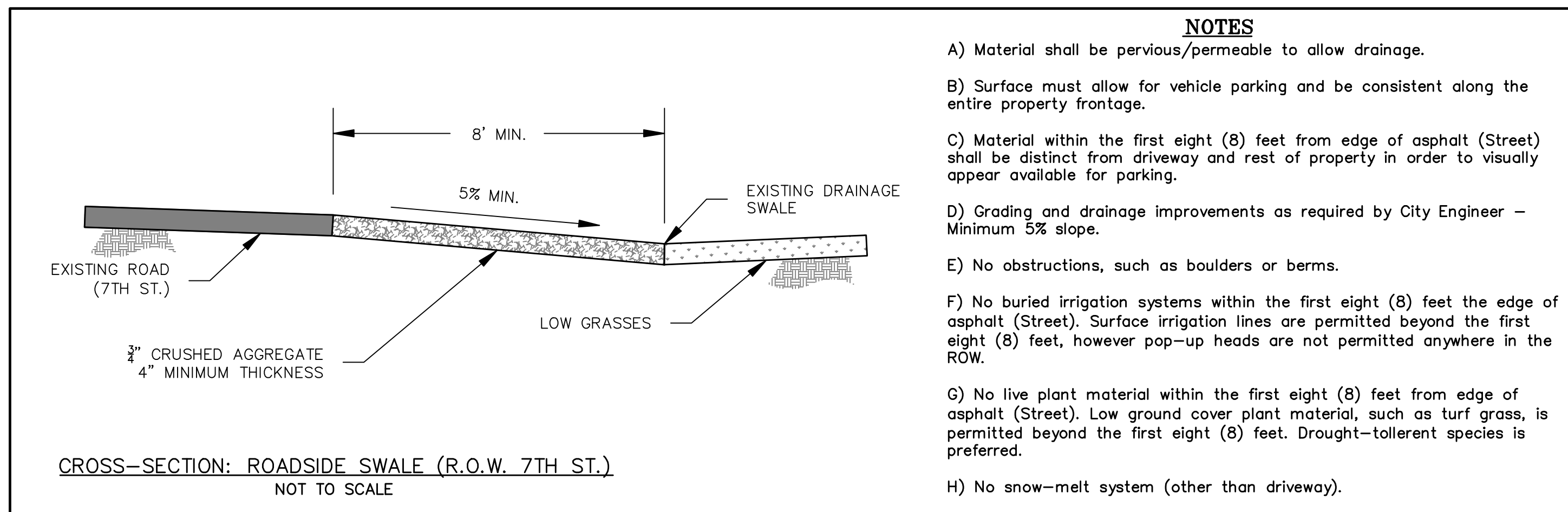
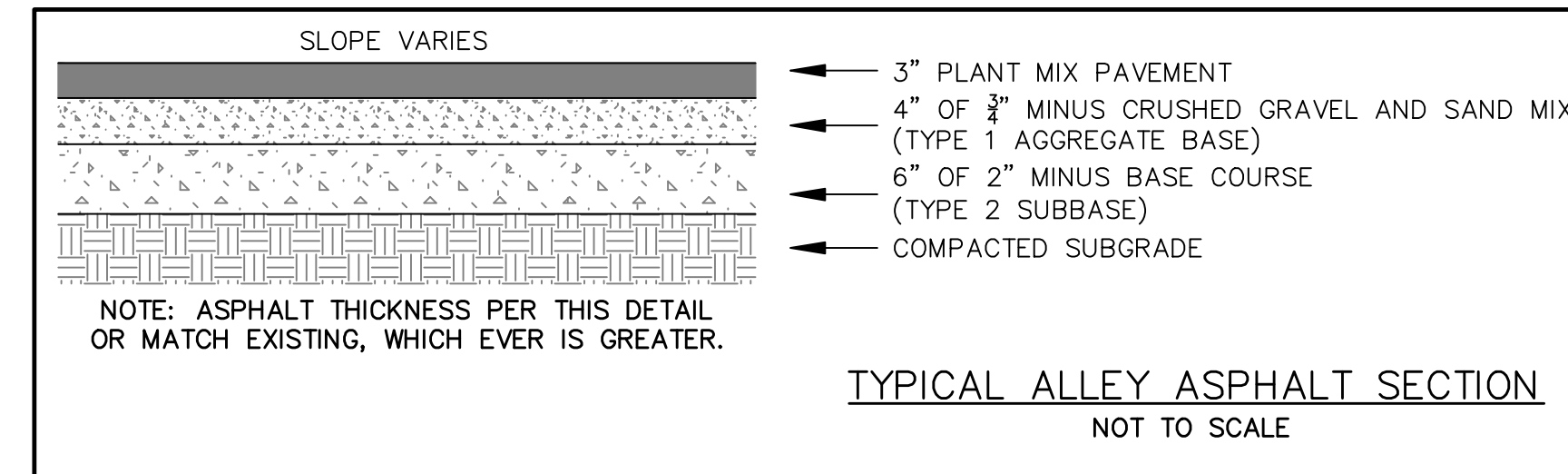
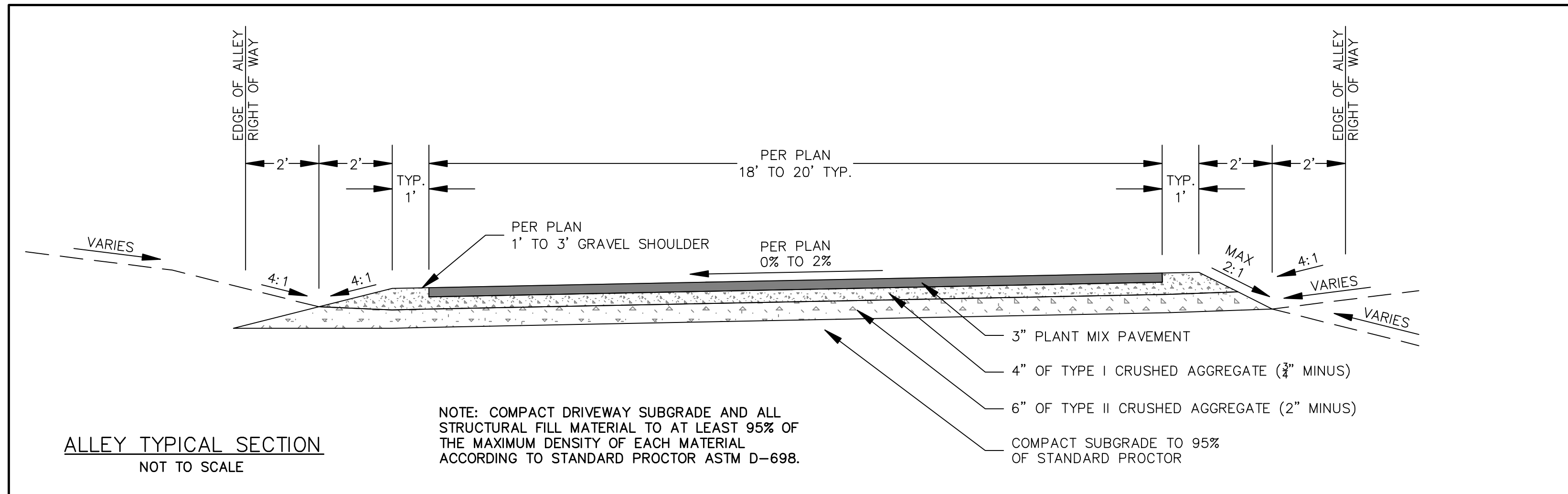
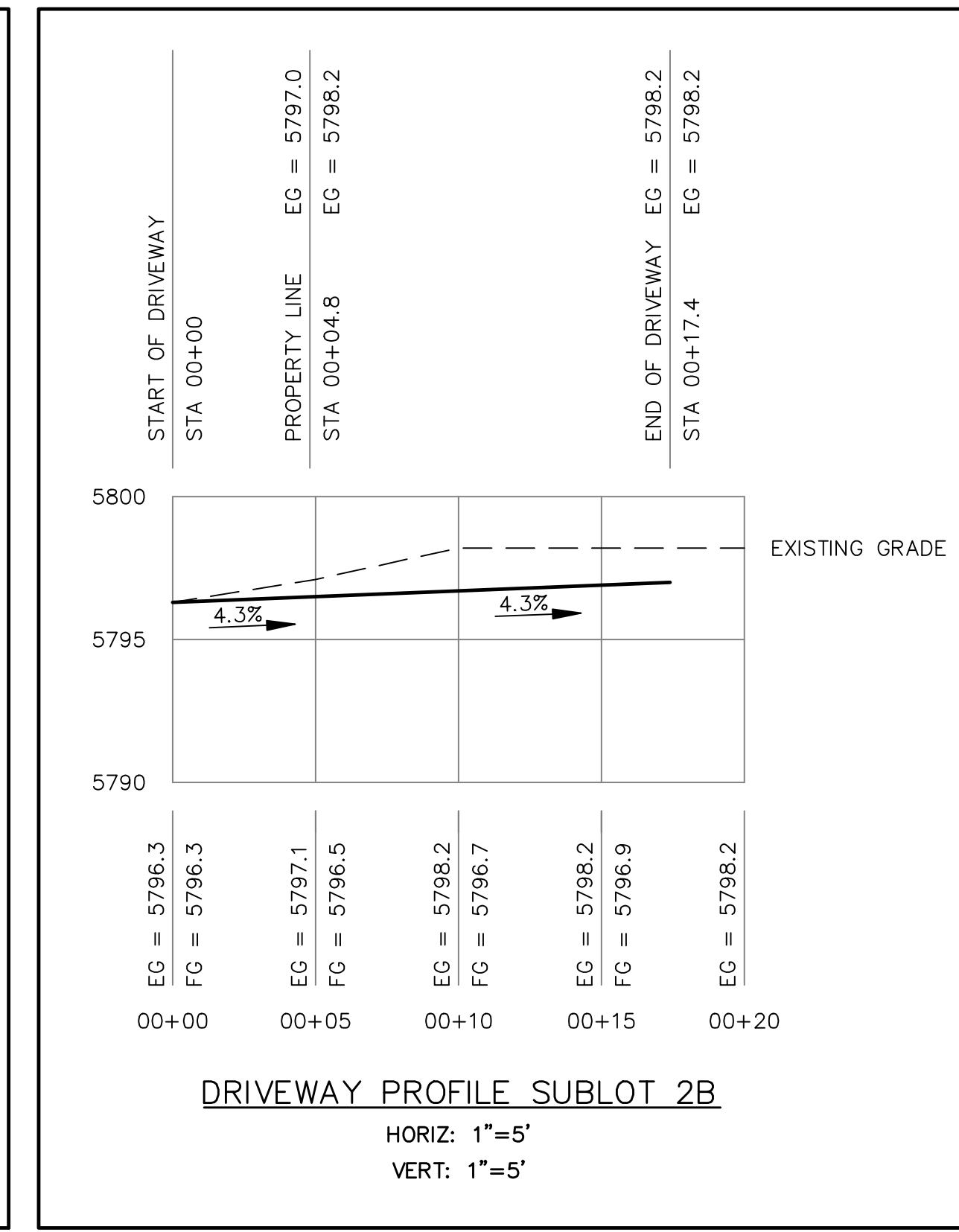
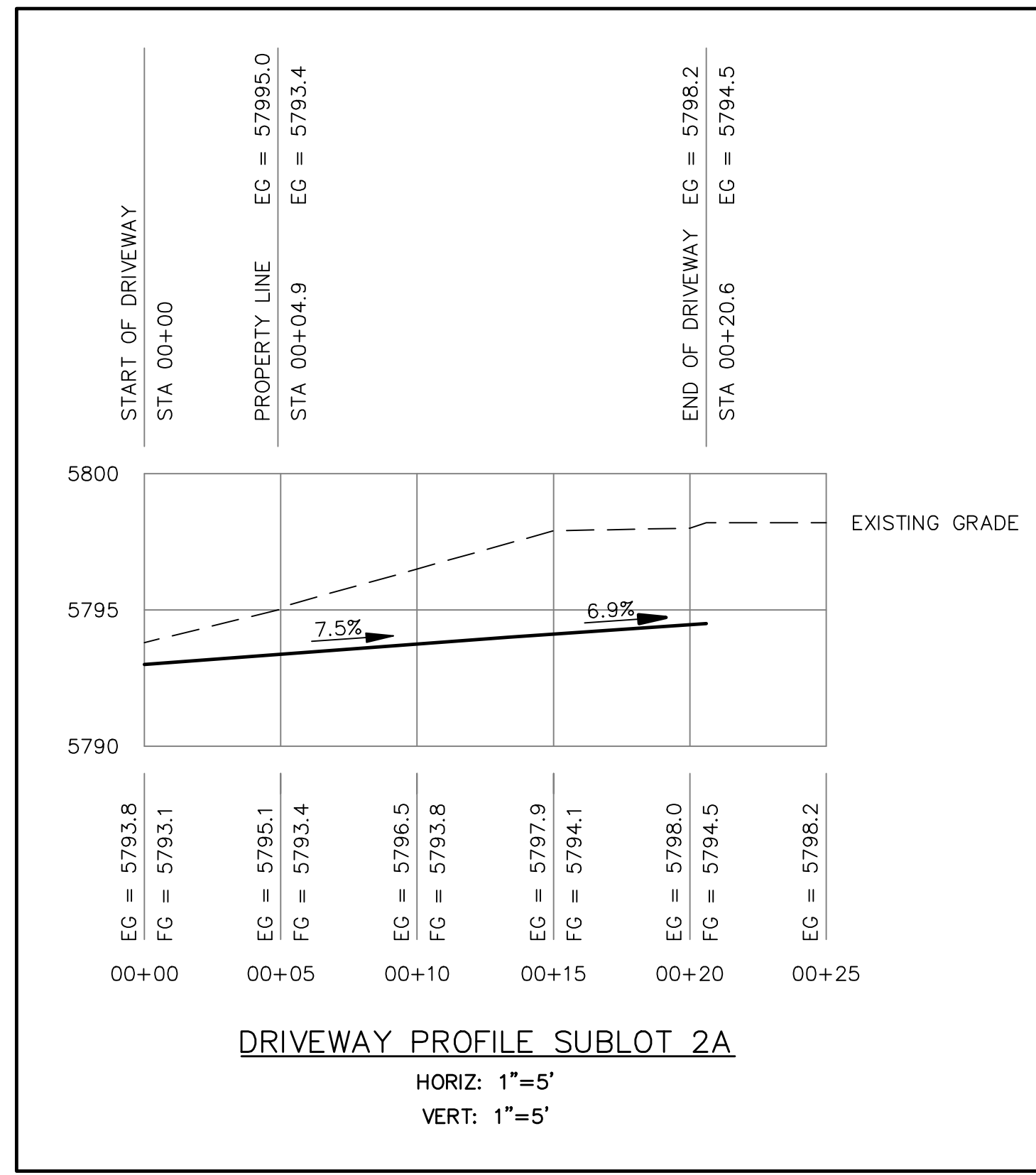
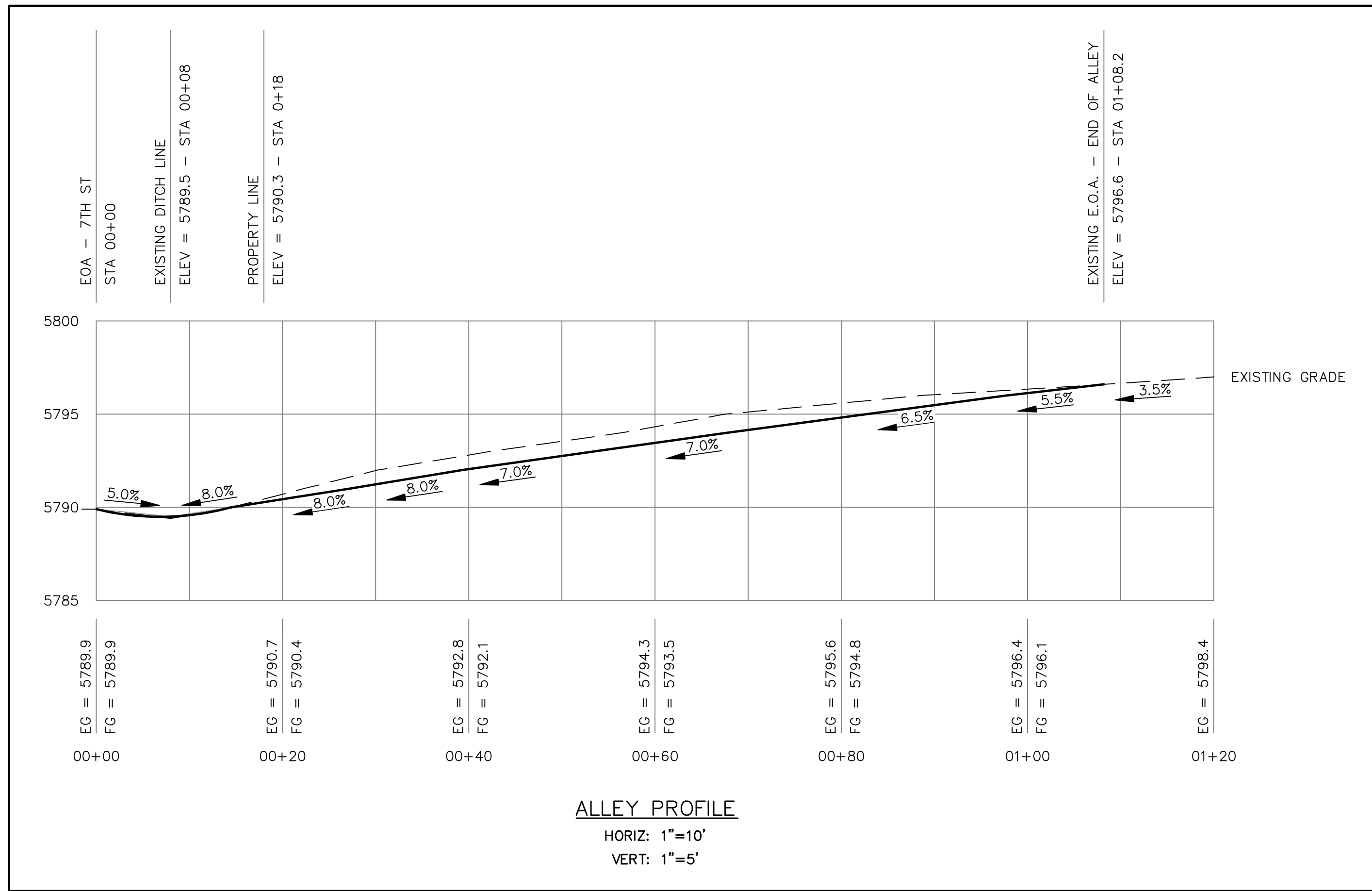
Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering
and Natural Hazards Consulting
660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988 727-1987 fax
email: bsrnith@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
12725
15JUN21
STATE OF IDAHO
ALLEY NE

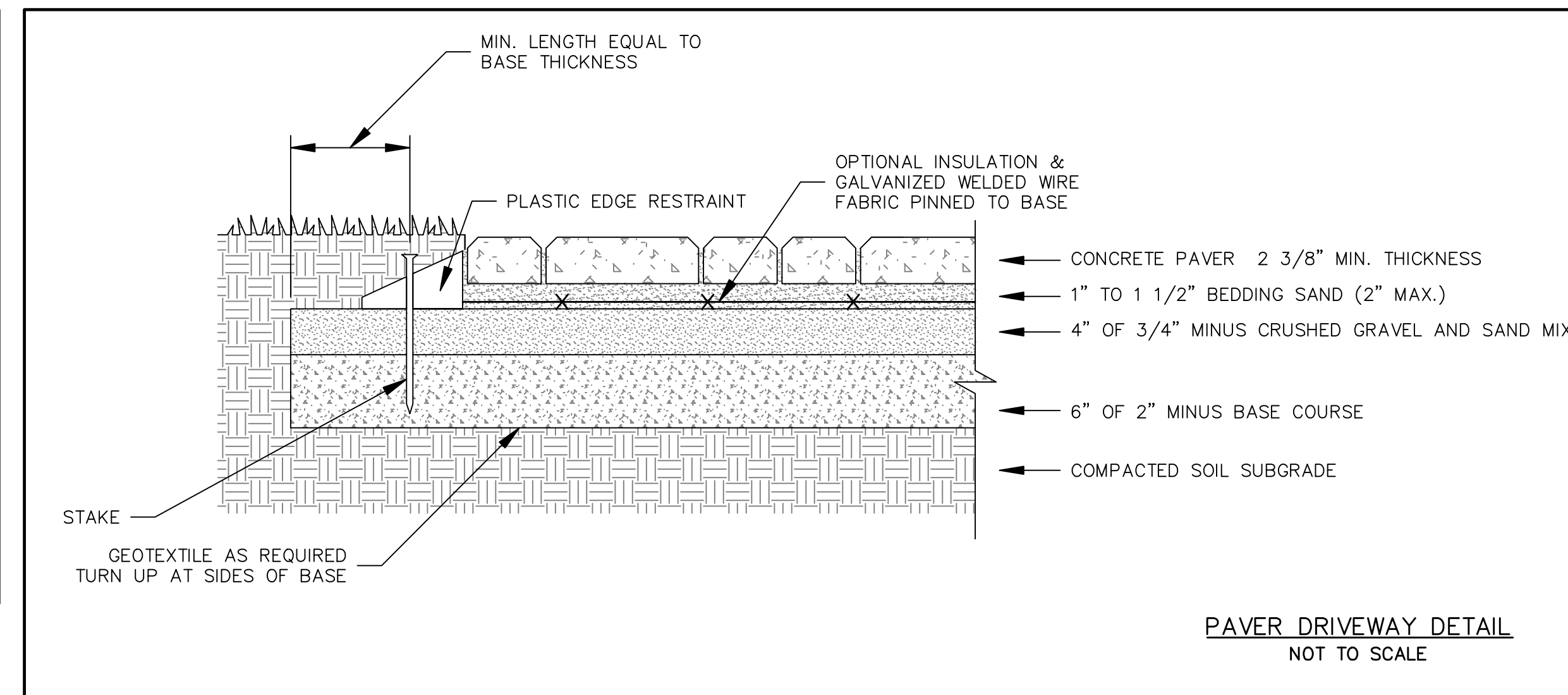
REVISIONS	NO	DATE	BY
DESIGN REVIEW SET-CLARIFICATION UPDATES			
PRELIMINARY ONLY: NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL			

Sheet 1 of 3

C2



- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
 - H) No snow-melt system (other than driveway).



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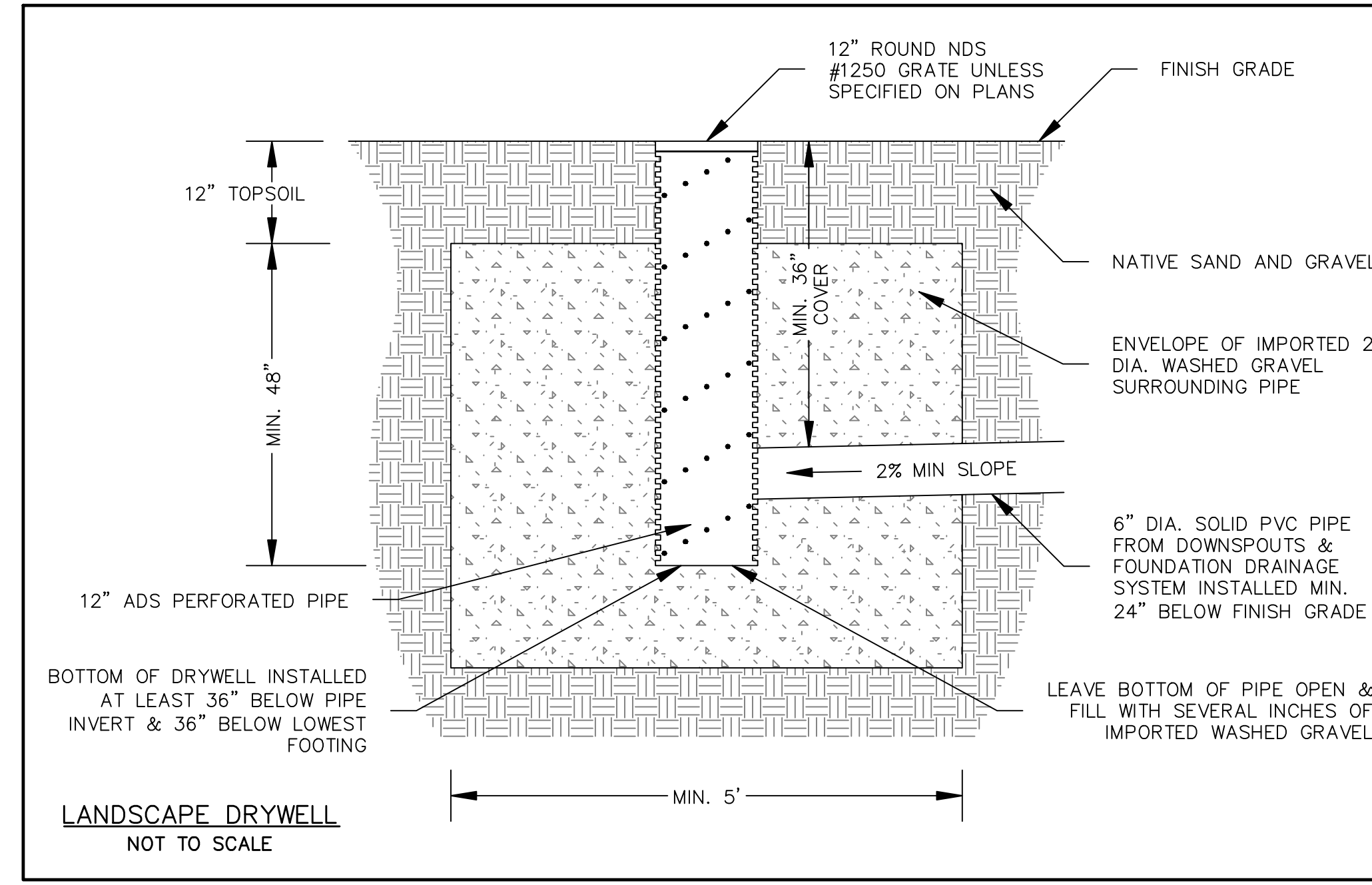
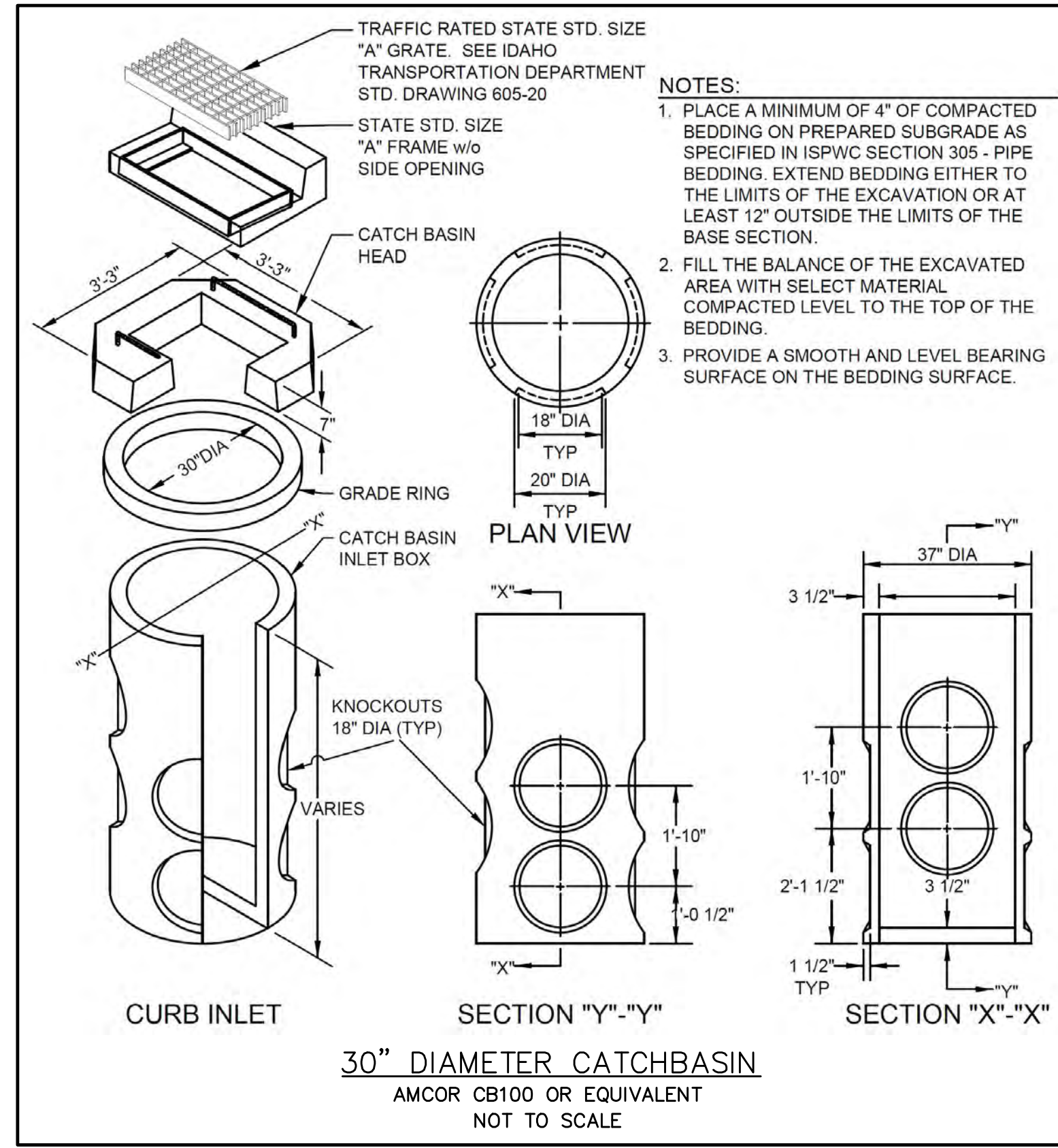
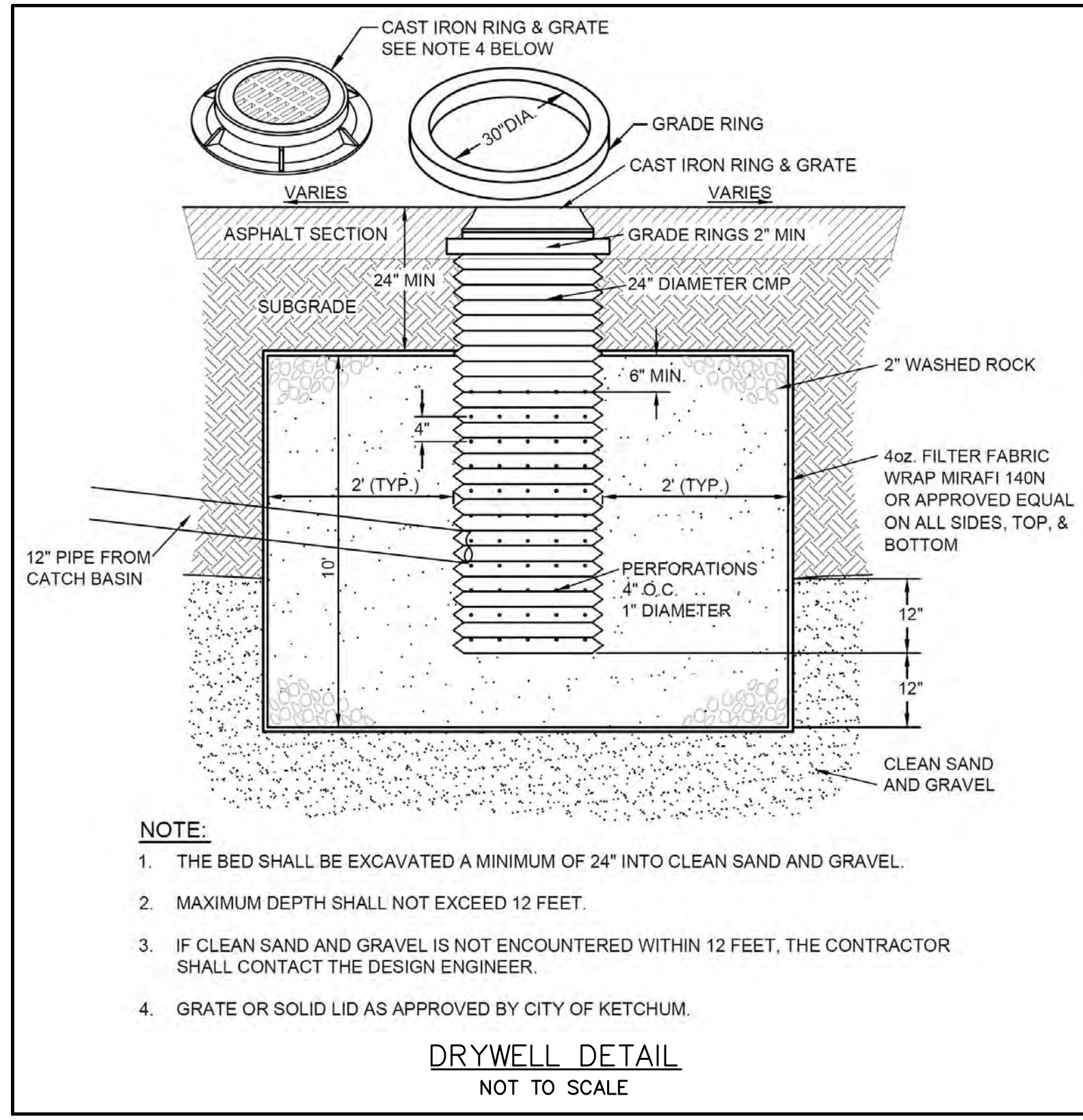
PLAN & PROFILES FOR
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 email: bsrnith@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 13275
 15-JUN-21
 STATE OF IDAHO
 ALLEY NE

REVISIONS	NO	DATE	BY
DESIGN REVIEW SET-CLARIFICATION UPDATES			
PRELIMINARY ONLY: NOT FOR CONSTRUCTION			
DESIGN REVIEW SUBMITTAL			

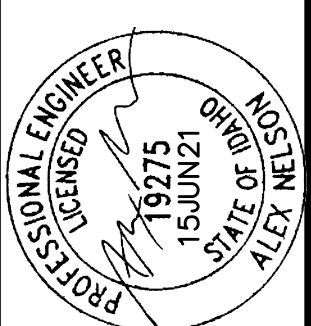
Sheet 2 of 3



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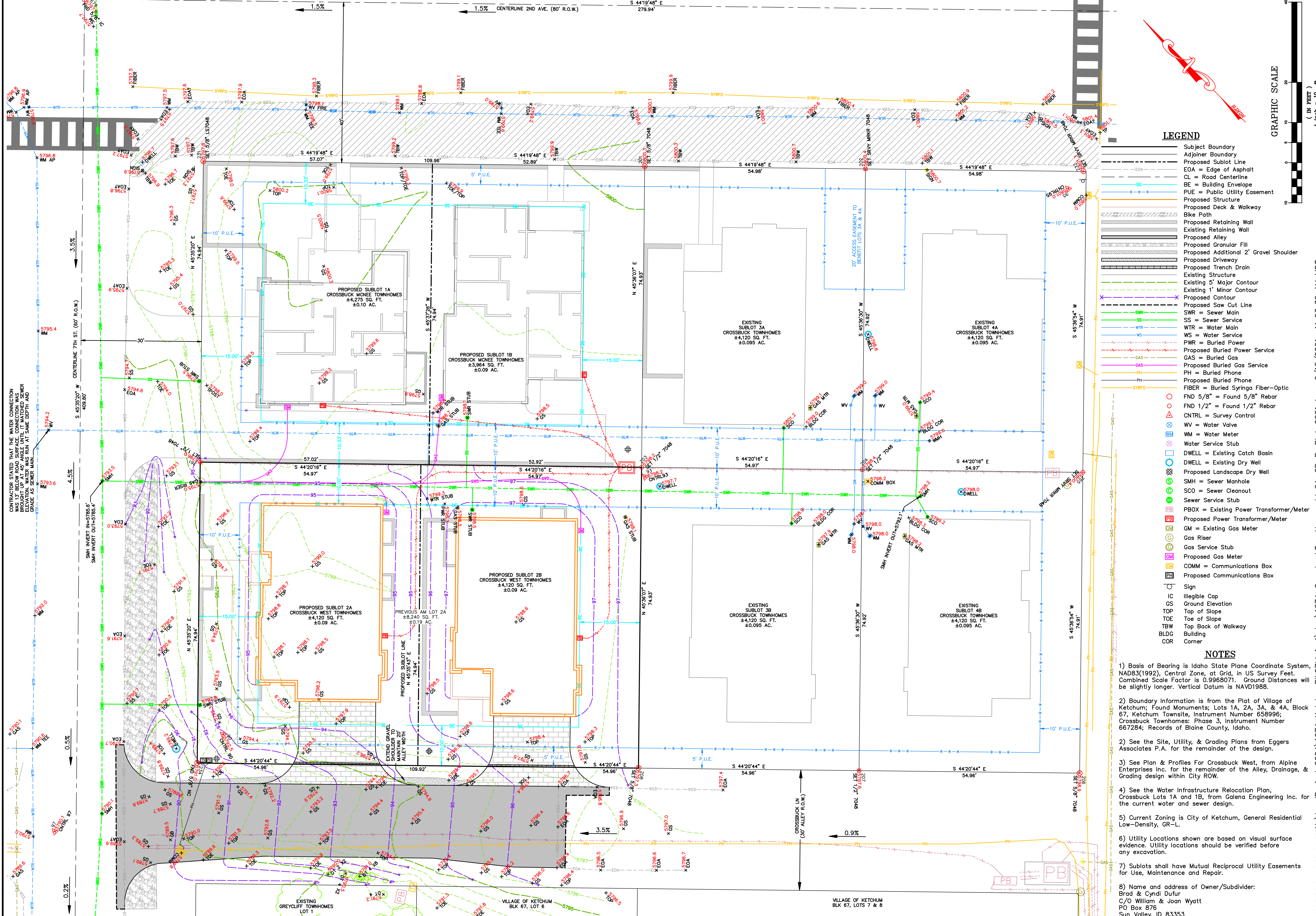
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660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1968 727-1987 fax
email: bsmith@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY
SIGN REVIEW SET-CLARIFICATION UPDATES			
SIGN REVIEW SET-CLARIFICATION UPDATES			
SIGN REVIEW SUBMITTAL			

Sheet 3 of 3

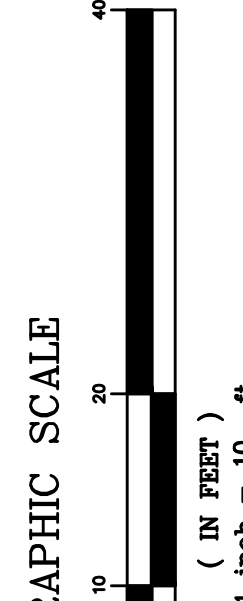


LEGEND

- Subject Boundary
- Adjoiner Boundary
- Proposed Sublot Line
- EOA = Edge of Asphalt
- CL = Road Centerline
- BE = Building Envelope
- PUE = Public Utility Easement
- Proposed Structure
- Proposed Deck & Walkway
- Bike Path
- Proposed Retaining Wall
- Existing Retaining Wall
- Proposed Alley
- Proposed Granular Fill
- Proposed Additional 2' Gravel Shoulder
- Proposed Driveway
- Proposed Trench Drain
- Existing Structure
- Existing 5' Major Contour
- Existing 1' Minor Contour
- Proposed Contour
- Proposed Saw Cut Line
- SWR = Sewer Main
- SS = Sewer Service
- WTR = Water Main
- WS = Water Service
- PWR = Buried Power
- Proposed Buried Power Service
- GAS = Buried Gas
- Proposed Buried Gas Service
- PH = Buried Phone
- Proposed Buried Phone
- FIBER = Buried Syringa Fiber-Optic
- FND 5/8" = Found 5/8" Rebar
- FND 1/2" = Found 1/2" Rebar
- CNTRL = Survey Control
- WV = Water Valve
- WM = Water Meter
- Water Service Stub
- DWELL = Existing Catch Basin
- DWELL = Existing Dry Well
- Proposed Landscape Dry Well
- SMH = Sewer Manhole
- SCO = Sewer Cleanout
- Sewer Service Stub
- PBOX = Existing Power Transformer/Meter
- Proposed Power Transformer/Meter
- GM = Existing Gas Meter
- Gas Riser
- Proposed Gas Meter
- COMM = Communications Box
- Proposed Communications Box
- Sign
- IC = Illegible Cap
- GS = Ground Elevation
- TOP = Top of Slope
- TOE = Toe of Slope
- TBW = Top Back of Walkway
- BLDG = Building
- COR = Corner

NOTES

- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Village of Ketchum; Found Monuments; Lots 1A, 2A, 3A, & 4A, Block 67, Ketchum Townsite, Instrument Number 658996; Crossbuck Townhomes: Phase 3, Instrument Number 667284; Records of Blaine County, Idaho.
- 2) See the Site, Utility, & Grading Plans from Eggers Associates P.A. for the remainder of the design.
- 3) See Plan & Profiles For Crossbuck West, from Alpine Enterprises Inc. for the remainder of the Alley, Drainage, & Grading design within City ROW.
- 4) See the Water Infrastructure Relocation Plan, Crossbuck Lots 1A and 1B, from Galena Engineering Inc. for the current water and sewer design.
- 5) Current Zoning is City of Ketchum, General Residential Low-Density, GR-L.
- 6) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
- 7) Sublots shall have Mutual Reciprocal Utility Easements for Use, Maintenance and Repair.
- 8) Name and address of Owner/Subdivider:
Brad & Cyndi Dufur
C/O William & Joan Wyatt
PO Box 876
Sun Valley, ID 83353



CONTRACTOR STATED THAT THE WATER CONNECTION BROUGHT UP AT 45° ANGLE UNTIL IT MATCHED SEWER ELEVATION. WATER WAS RUN AT SAME DEPTH AND MADE AS SEWER MAIN.

A PRELIMINARY PLAT SHOWING
CROSSBUCK WEST TOWNHOMES ON LOT 2A, BLOCK 67, VILLAGE OF KETCHUM,
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR RED CANOE ARCHITECTURE, WYATT & DUFUR

Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering
and Natural Hazards Consulting
660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988
email: bsmith@alpineenterprisesinc.com

PROFESSIONAL LAND SURVEYOR

7048

STATE OF IDAHO

LICENSED

NO	DATE	BY
1	06Apr21	Smith
2	24Apr21	AHN
3	09JUN21	AHN

REVISIONS
1) Utility Easement Note, Changed PUE Color
2) Utility Locations & Grading Updates Added

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1274_Ketchum\Bk67\1s1-4.dwg\1274_CrossbuckTownHomes_Lts2A-2B_Prelat_2021.dwg 6/15/2021 11:03:30 AM MDT

Sheet 1 of 1

General Notes

1. Base map information taken from survey by Galena Engineering dated 04/20/20 and from on-site information. Architectural information provided by Red Canoe Architects dated 03/03/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Minimum Setback
	Public Utility Easement
	Utilities
	Sewer Manhole
	Water Meter
	Pavers
	Asphalt
	Proposed Concrete Wall
	Proposed Gabion Wall

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design

Building Coverage Calculations

Zoning GR-L	
Total Lot Size	8,240 sq./ft. (.19 Ac.)
Total Building Coverage	2,887.5 sq./ft. (.07 Ac.)
TOTAL BUILDING COVERAGE = 35.0%	



Crossbuck West Townhomes
Lot 2A Block 67
Ketchum, Idaho

Job No: 21.02

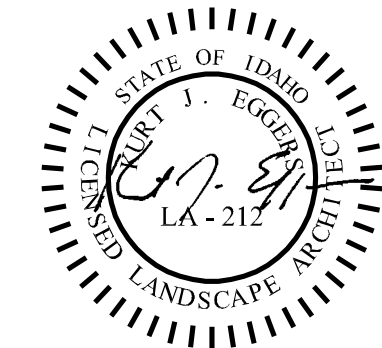
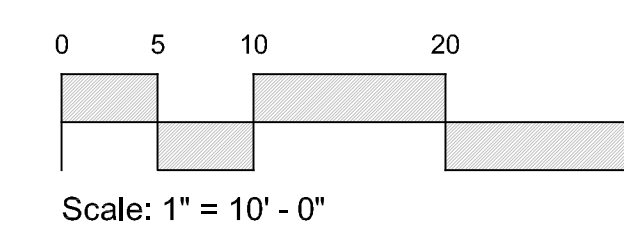
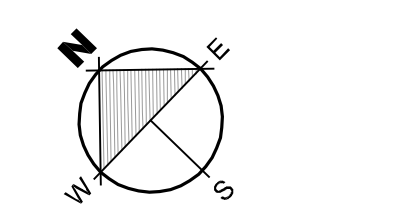
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Issue/Revisions	Date:
Design Review	05/26/21
RVSD	05/11/21
RVSD	06/15/21

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:
Site Plan

Sheet No:
L1.0



General Notes

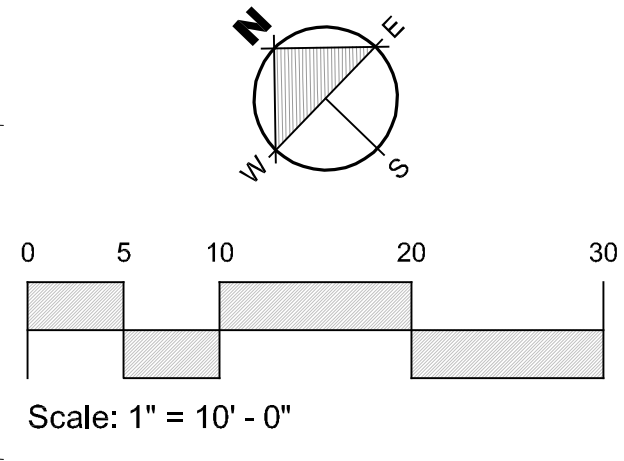
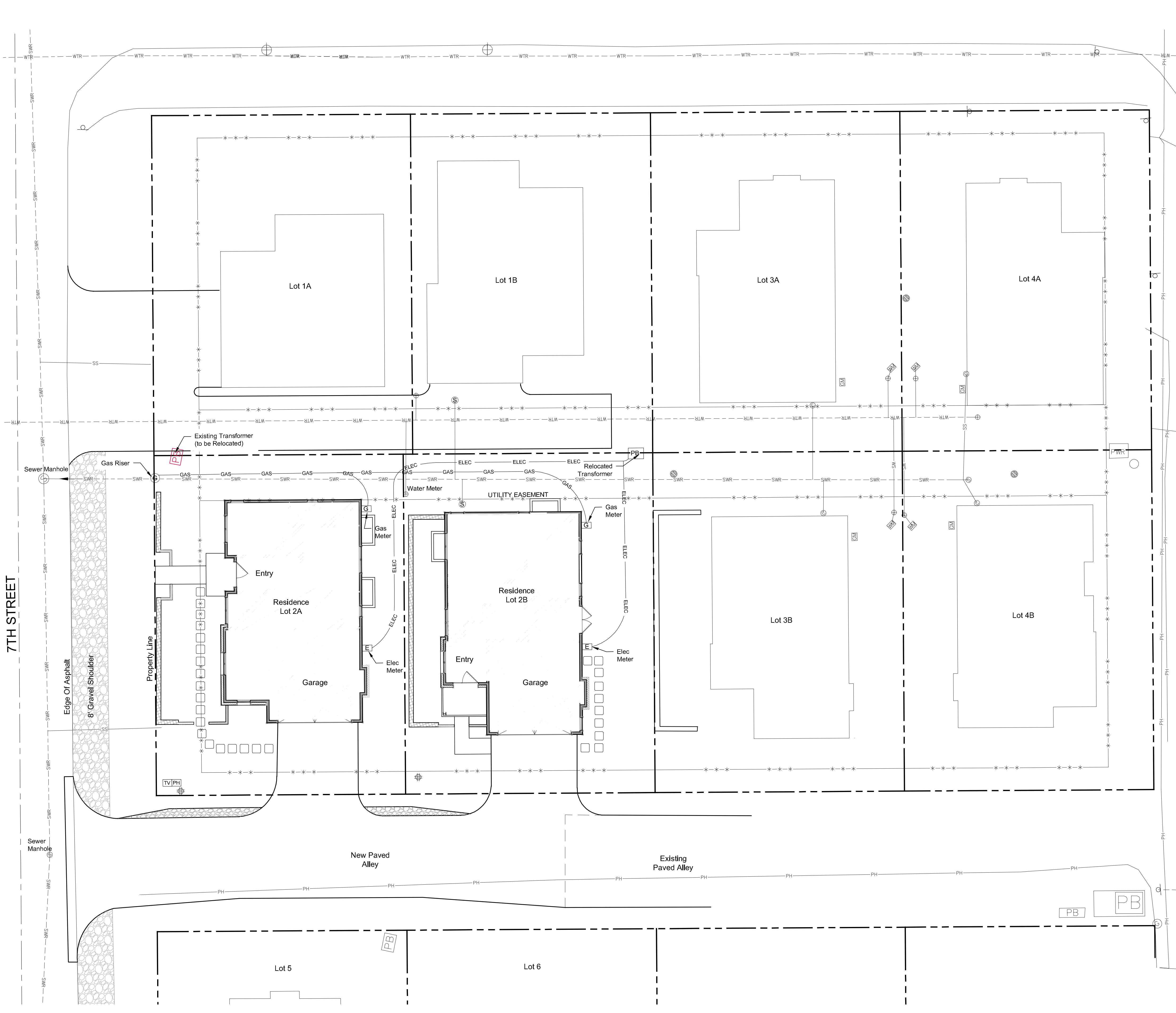
1. Base map information taken from survey by Galena Engineering dated 04/20/20 and from on-site information. Architectural information provided by Red Canoe Architects dated 03/03/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

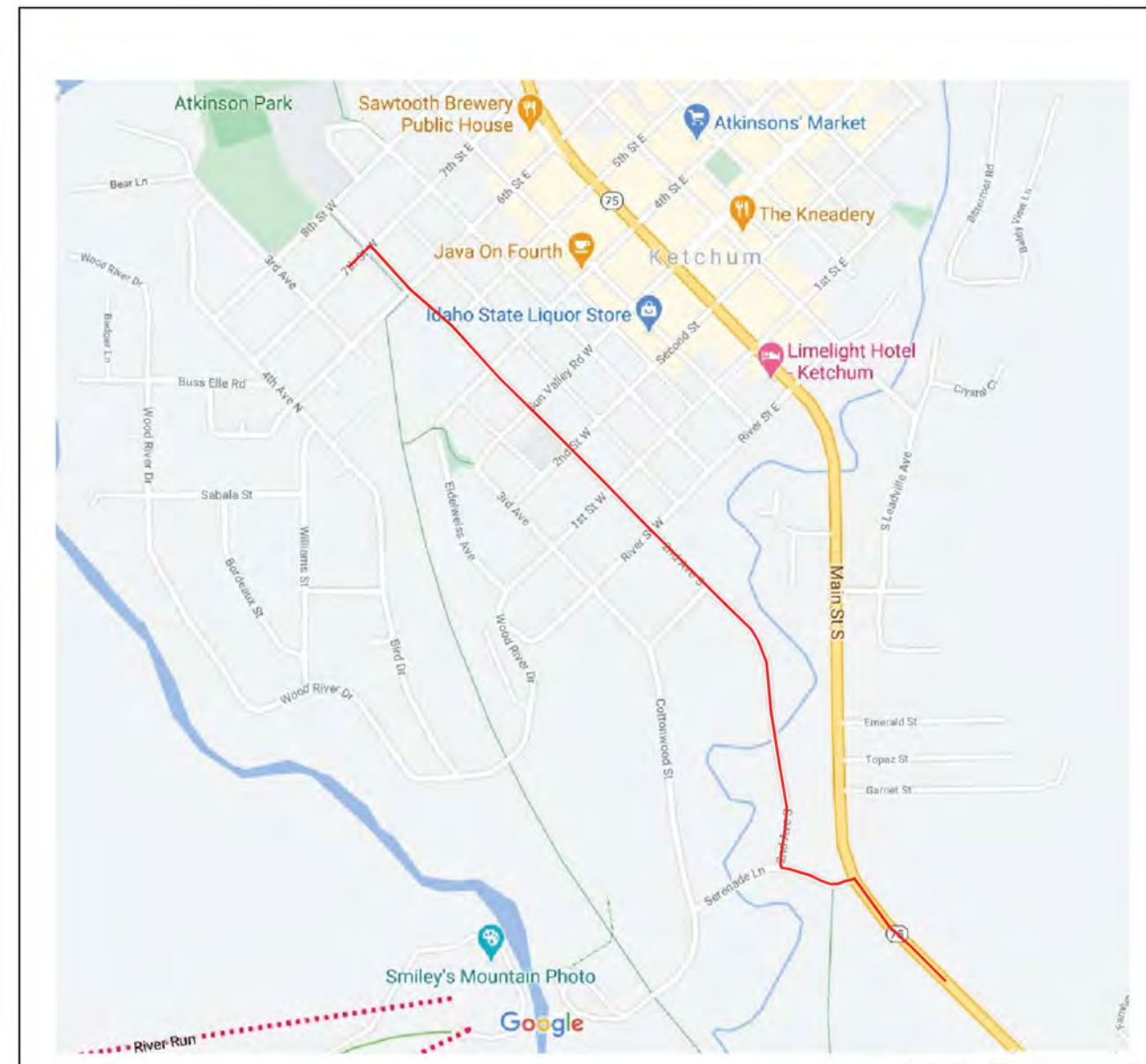
Plan Legend

	Property Line
	Water Main
	Sewer Main
	Underground Power Line
	Electric Line
	Gas Main
	Gas Line
	Public Utility Easement
	Sewer Manhole
	Water Line Stub
	Fire Hydrant
	Drywell
	Utilities
	Proposed Concrete Wall
	Proposed Gabion Wall

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design





TRUCK ROUTE

General Notes

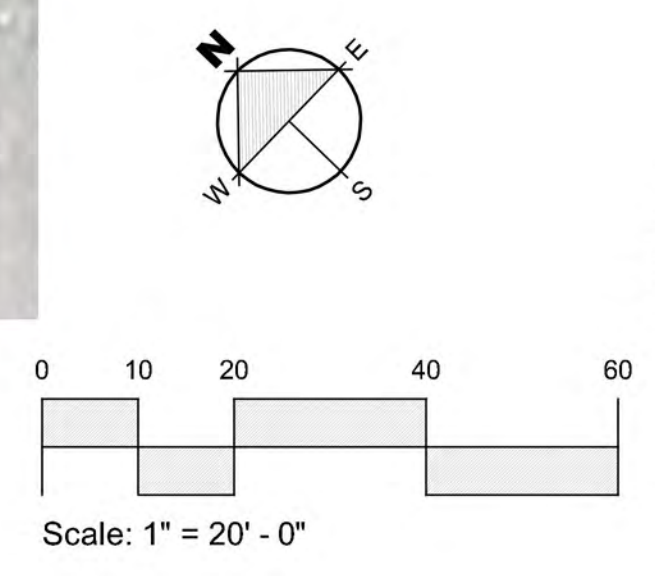
1. Base map information taken from survey by Galena Engineering dated 04/20/20 and from on-site information. Architectural information provided by Red Canoe Architects dated 03/03/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Utilities
	Sewer Manhole
	Water Meter
	Pavers
	Asphalt
	Proposed Concrete Wall
	Proposed Gabion Wall

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Crossbuck West

EGGERS ASSOCIATES, P.A.
Landscape Architecture
P.O. Box 927
Ketchum, ID 83340
T: (208) 725-0988
F: (208) 725-0972

Crossbuck West Townhomes
Lot 2A Block 67
Ketchum, Idaho

Job No: 21.02
Scale: 1" = 20'-0"
Issue/Revisions Date:
Design Review 05/26/21
RVSD 05/11/21
RVSD 06/15/21

Sheet Title:
Construction Management

Sheet No:
L1.2

Grading Plan Notes

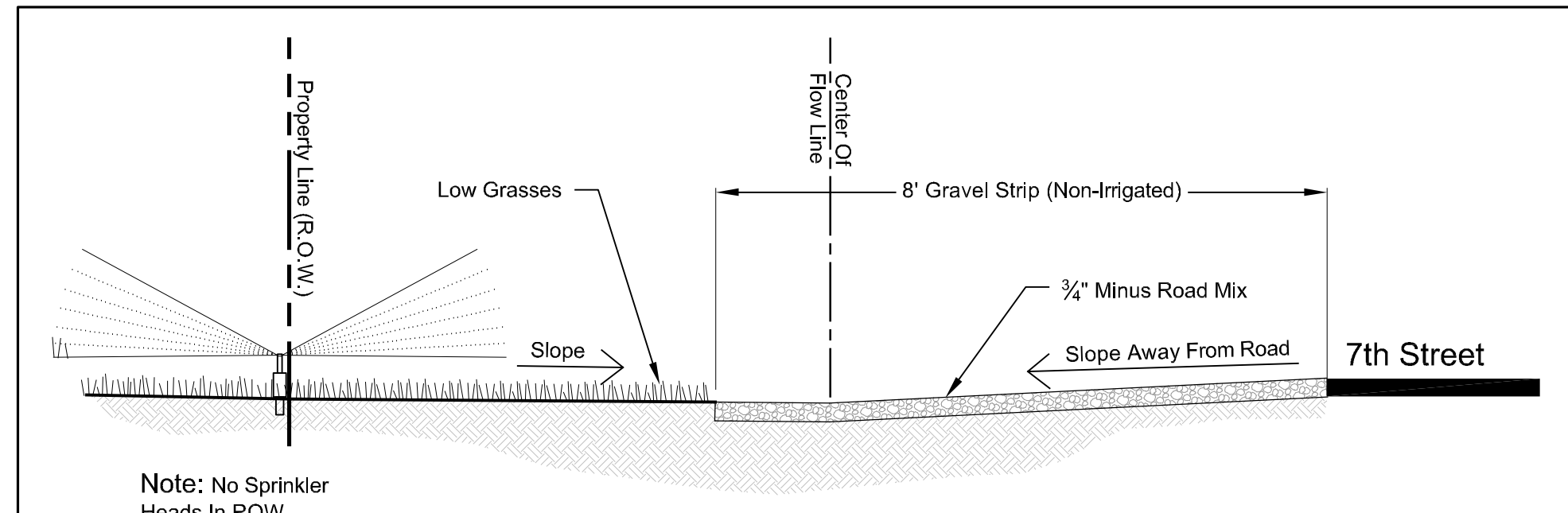
1. Landscape architect shall review grading on site prior to completion.
2. Topsoil shall be imported for all lawn and bed areas at depth of 4".
3. Any topsoil shall be retained with vegetation for use in reestablishing new natural areas.

Plan Legend

- Property Line
- - - 5787 - - - Existing Contour
- - 95 - Proposed Contour
- ▬ Proposed Concrete Wall
- ▬ Proposed Gabion Wall
- ▬ Trench Drain
- [PB] [G] Utilities
- X 92.7 (92.5) + Existing Spot Elevations
- ⊕ Landscape Drywell
- 2% Slope D → Proposed Drainage Direction With Slope Percentage
- + 92.5' Proposed Spot Elevations

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



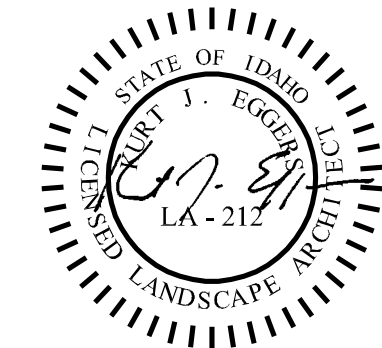
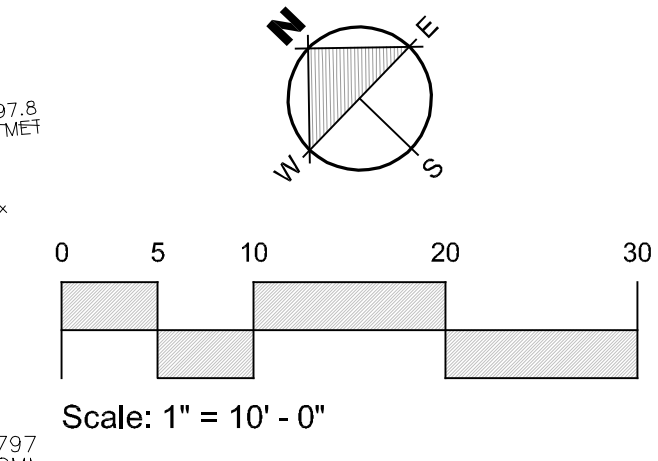
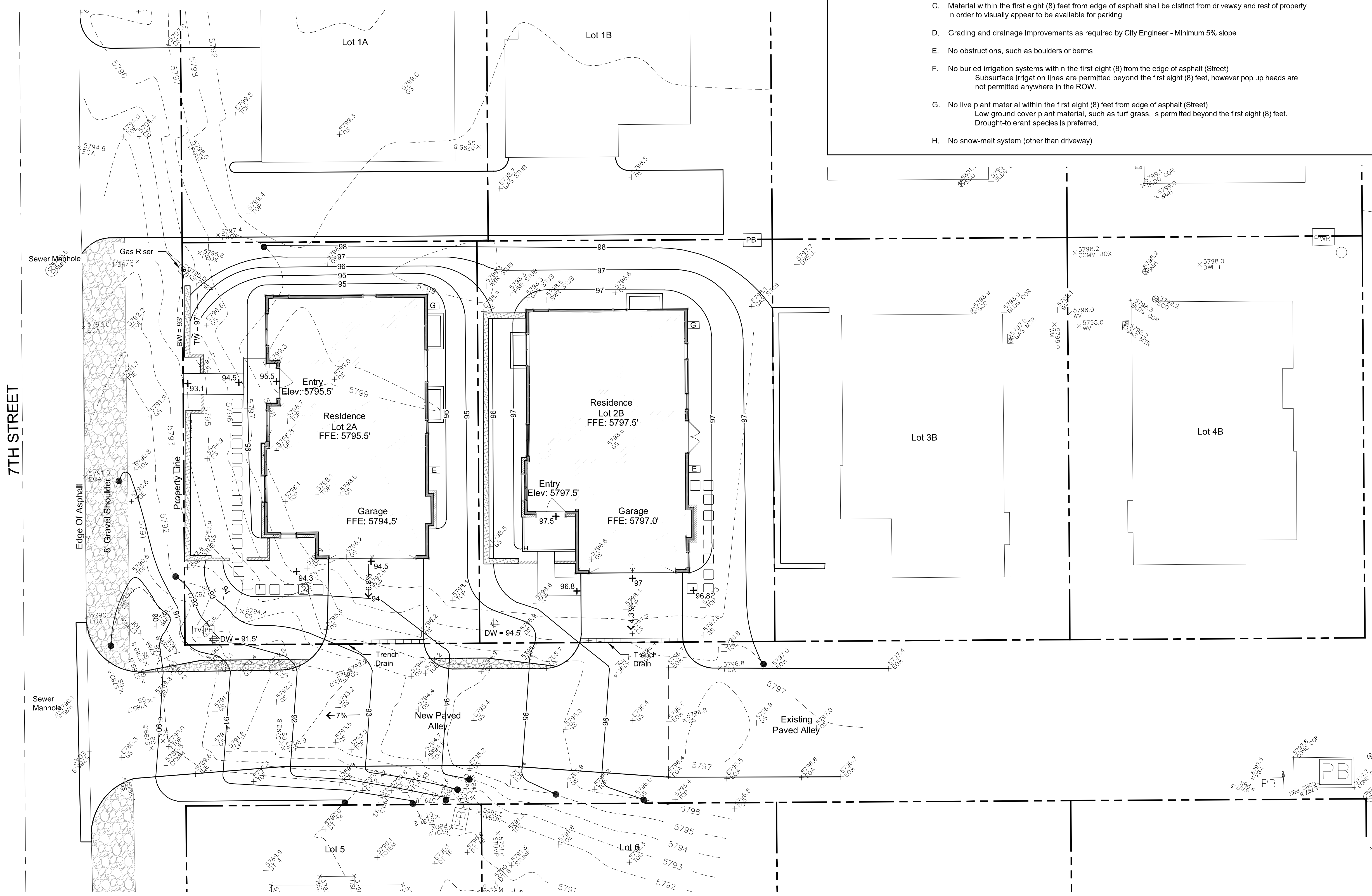
Cross Section A - Right Of Way

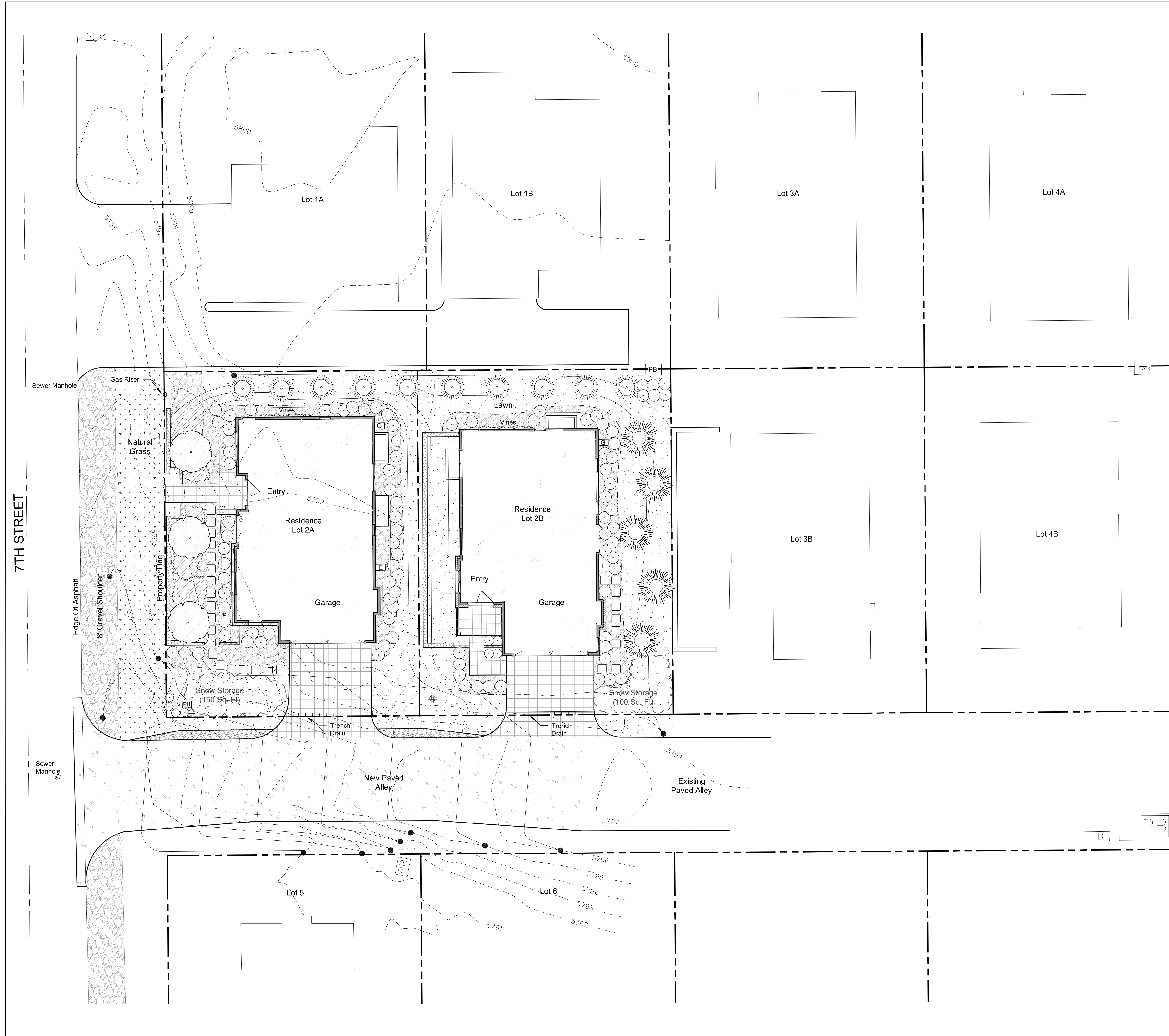
Scale: 1/2" = 1' - 0"

- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- H. No snow-melt system (other than driveway)



Gabion Wall





Landscape Plan Notes

1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Plan Legend

---	Property Line
- - - 5787 - - -	Existing Contour
●	Proposed Contour
▬	Proposed Concrete Wall
▬	Proposed Gabion Wall
PB G	Utilities
▬	Pavers
▬	Decorative Gravel 3/8" Chip
⊕	Landscape Drywell

Plant Legend

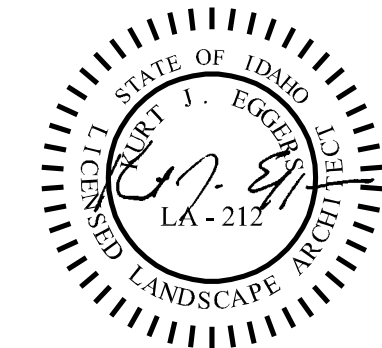
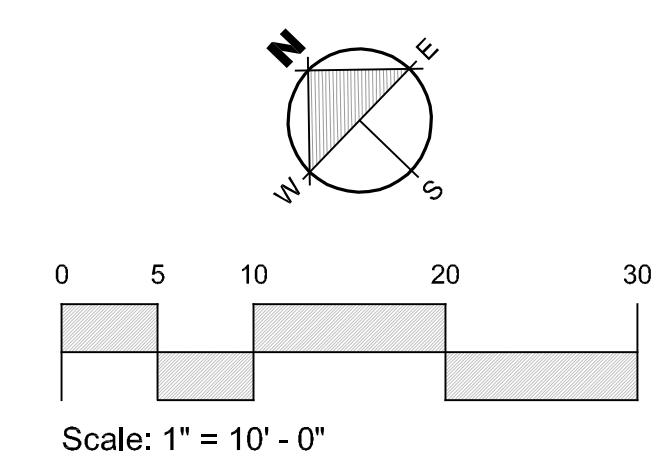
Symbol	Qty.	Description	Size
☀	5	Conifer Trees Alpine Fir Lodgepole Pine	12" & 14"
☀	3	Deciduous Trees Flowering Crab	3" Cal.
☀	12	Mugo Pines	6'
☀	104	Deciduous Shrubs Various	1 gal.
☀	300 Sq. Ft.	Perennials/ Groundcover Various	1 gal. & Flats
▬	2,500 Sq. Ft.	Grasses Lawn Mix	Sod
▬	800 Sq. Ft.	Nastural Grasses Cabin Mix	Hydrosseed

Snow Storage

Description	Square Footage
Proposed Driveways	750
	x 30%
Required Snow Storage	225
Proposed Snow Storage	250

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Crossbuck
West

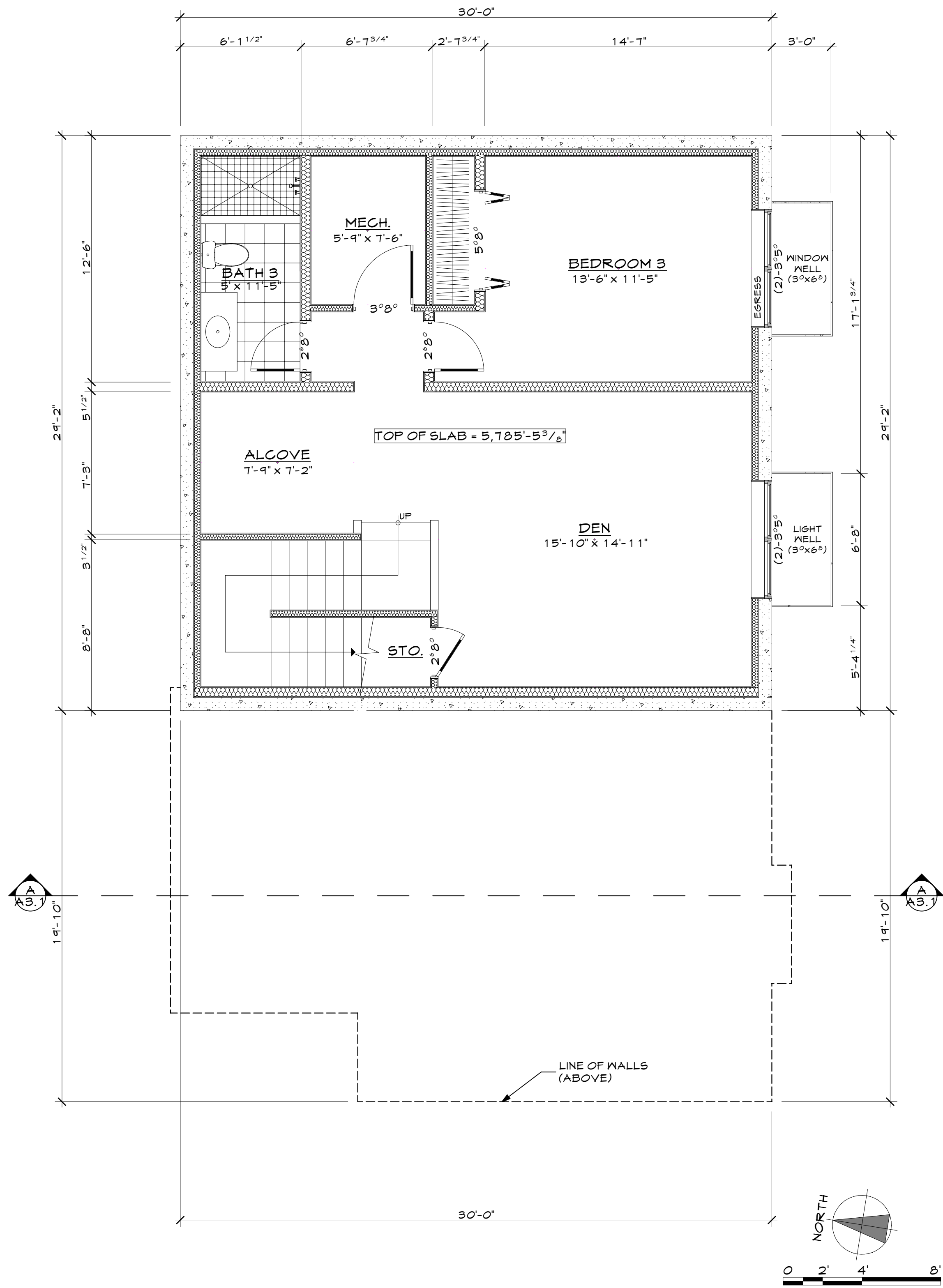
EGGERS ASSOCIATES, P.A.
landscape architecture
P.O. Box 979
Ketchum, ID 83340
T: (208) 725-0988
F: (208) 725-0972

Crossbuck West Townhomes
Lot 2A Block 67
Ketchum, Idaho

Job No: 21.02
Scale: 1" = 10' - 0"
Issue/Revisions: Date:
Design Review 05/26/21
RVSD 05/10/21
RVSD 06/15/21

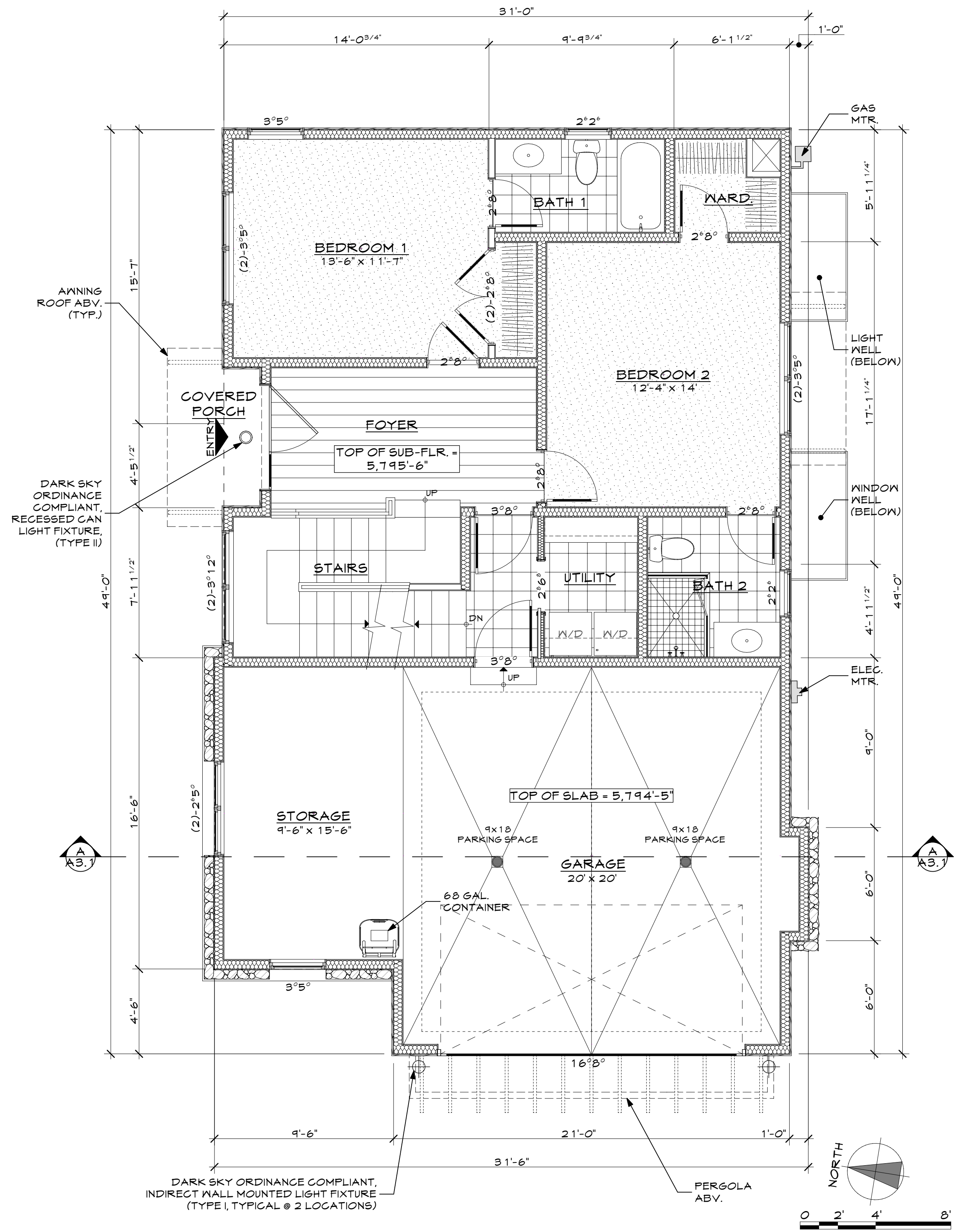
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Landscape
Plan

Sheet No:
L3.0



2A-BASEMENT PLAN

SCALE: 1/4" = 1'-0"



2A-1st FLOOR PLAN

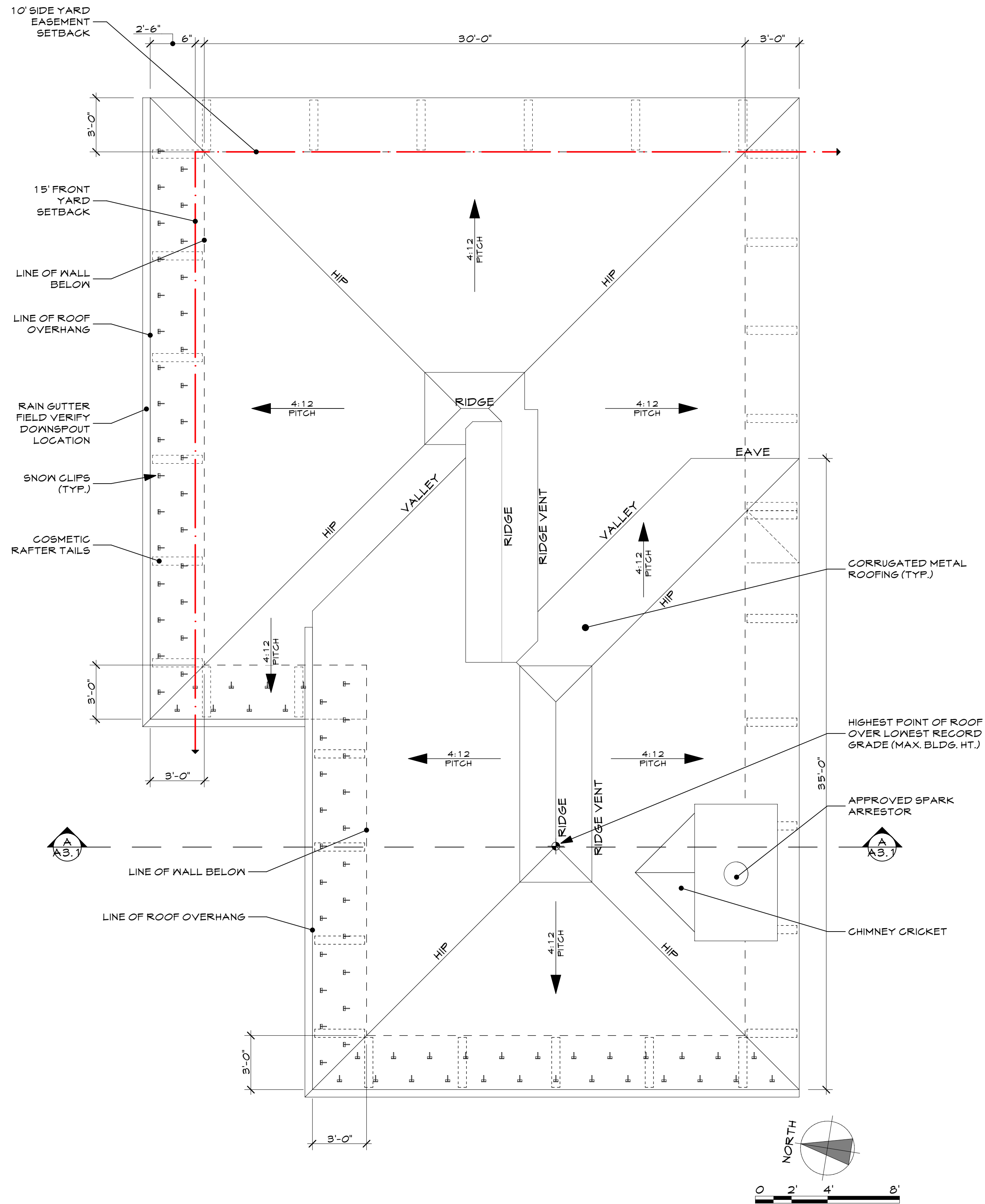
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- VERIFY RADON MITIGATION SYSTEM.
- VERIFY TEMP. GLAZING LOCATIONS.
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT SITE. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING, UNLESS OTHERWISE NOTED.

ROOF PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS
- FLASH AND COUNTER FLASH ALL ROOF TO WALL TRANSITIONS
- PROVIDE ICE AND WATER SHIELD AT ALL VALLEYS, ROOF TRANSITIONS AND EAVES
- INSTALL SNOW CLIPS AS PER MANUFACTURES SPECIFICATIONS
- ROOF CLASSIFICATION: A

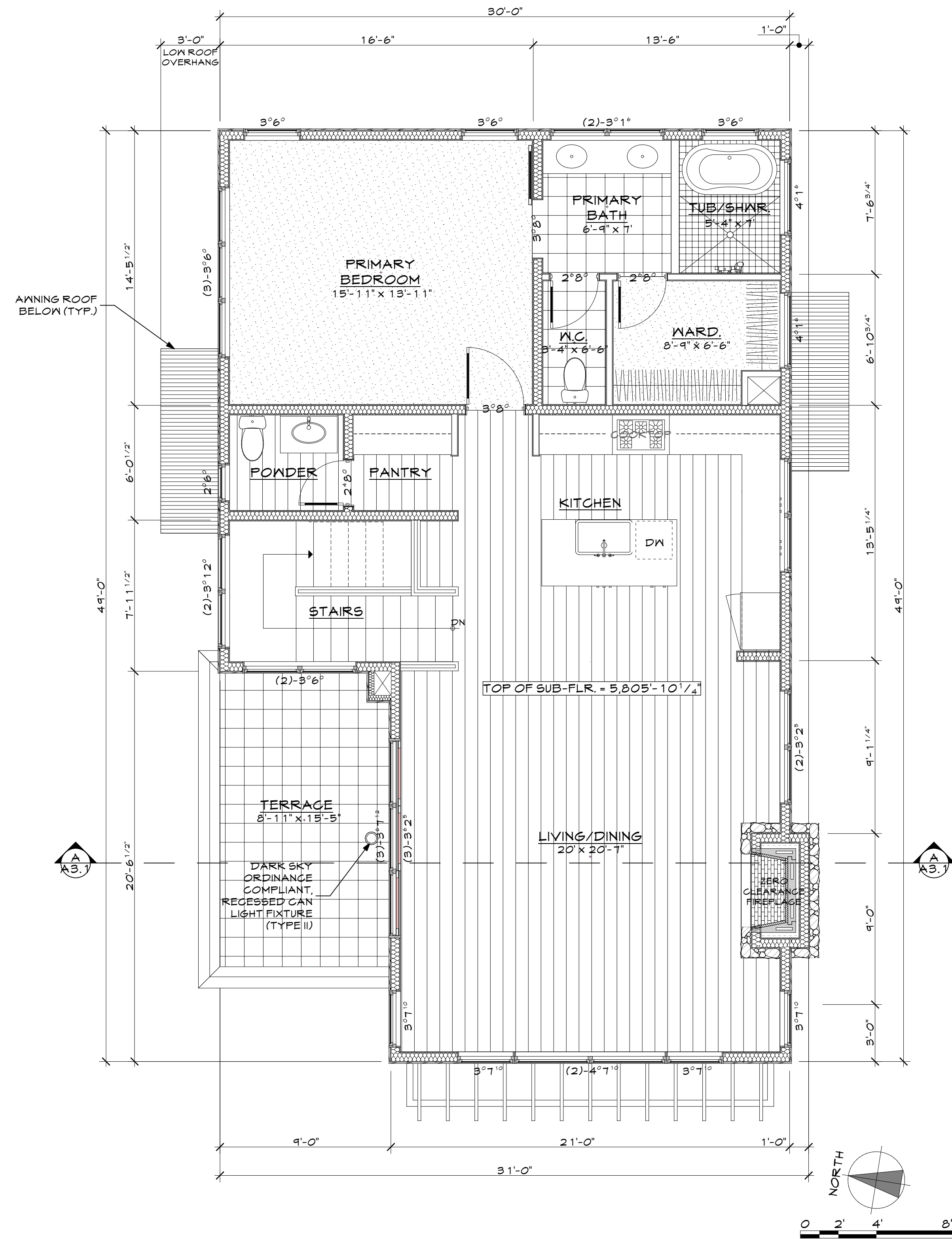


2A-ROOF PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

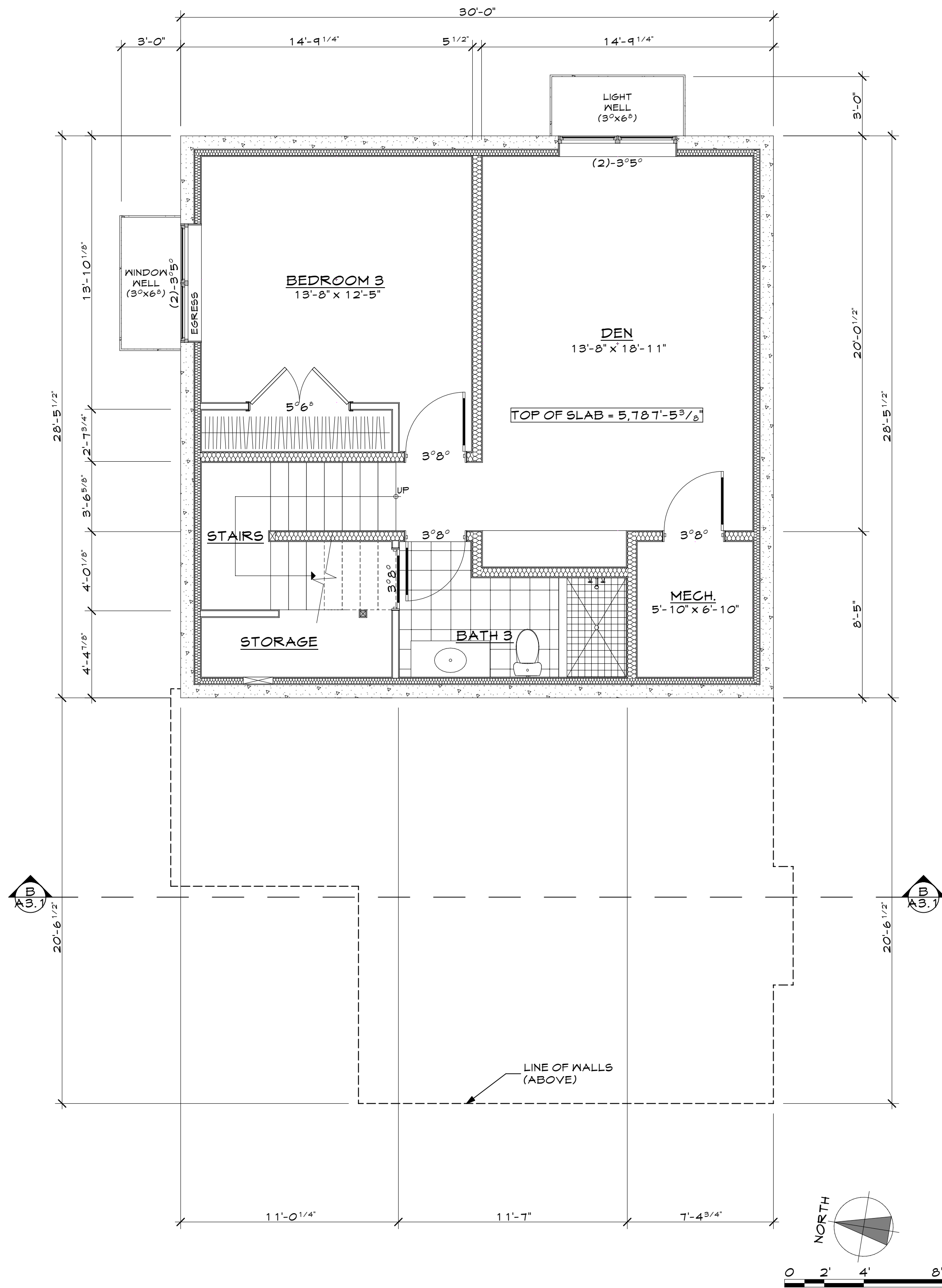
- VERIFY RADON MITIGATION SYSTEM.
- VERIFY TEMP. GLAZING LOCATIONS.
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT SITE. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
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2A-2nd FLOOR PLAN

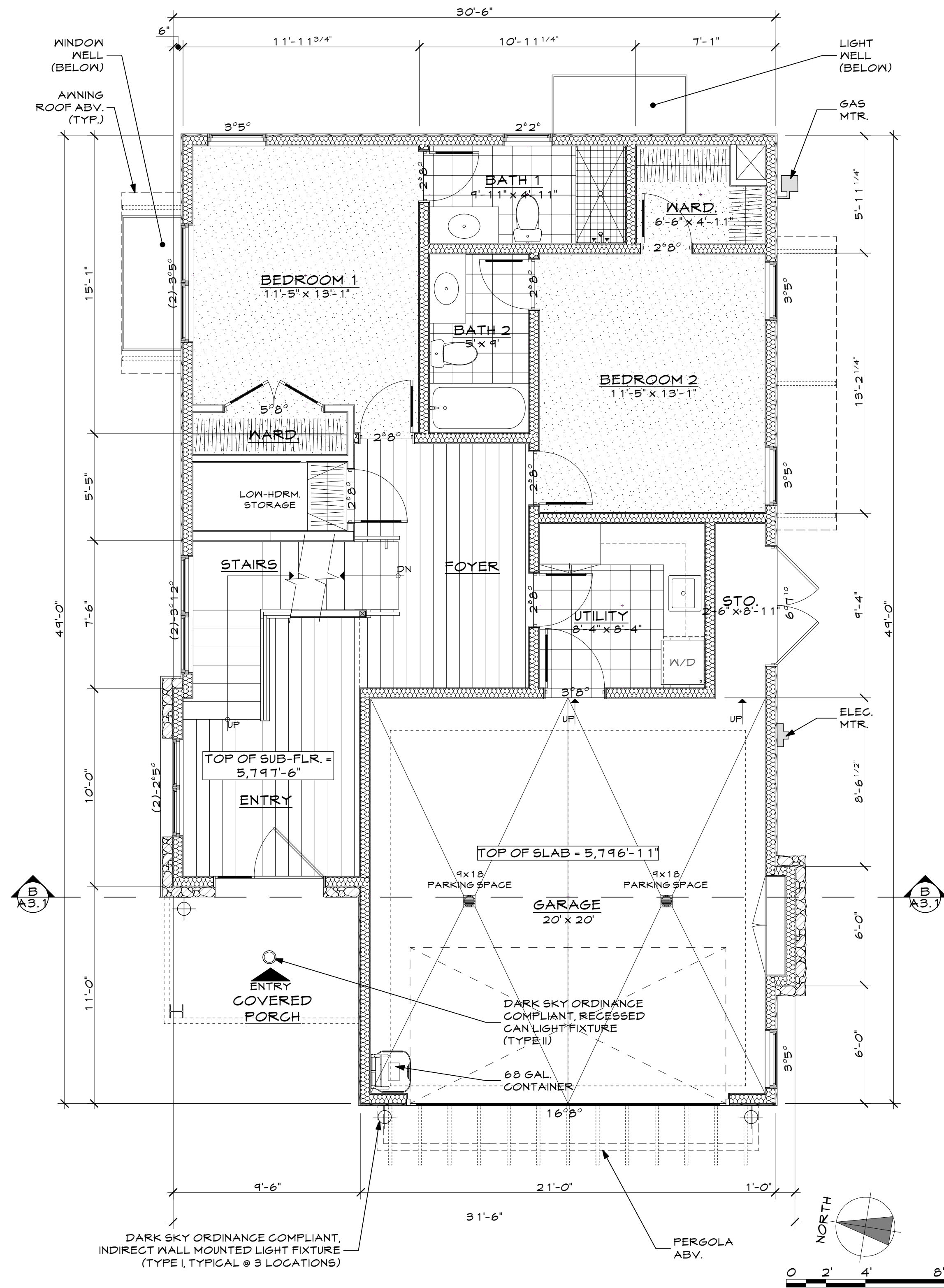
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DATE:	REVISION:
3/23/2021	KETCHUM DESIGN
5/10/2021	REVISED
6/7/2021	REVISED
6/14/2021	REVISED



2B-BASEMENT PLAN

SCALE: 1/4" = 1'-0"



2B-1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

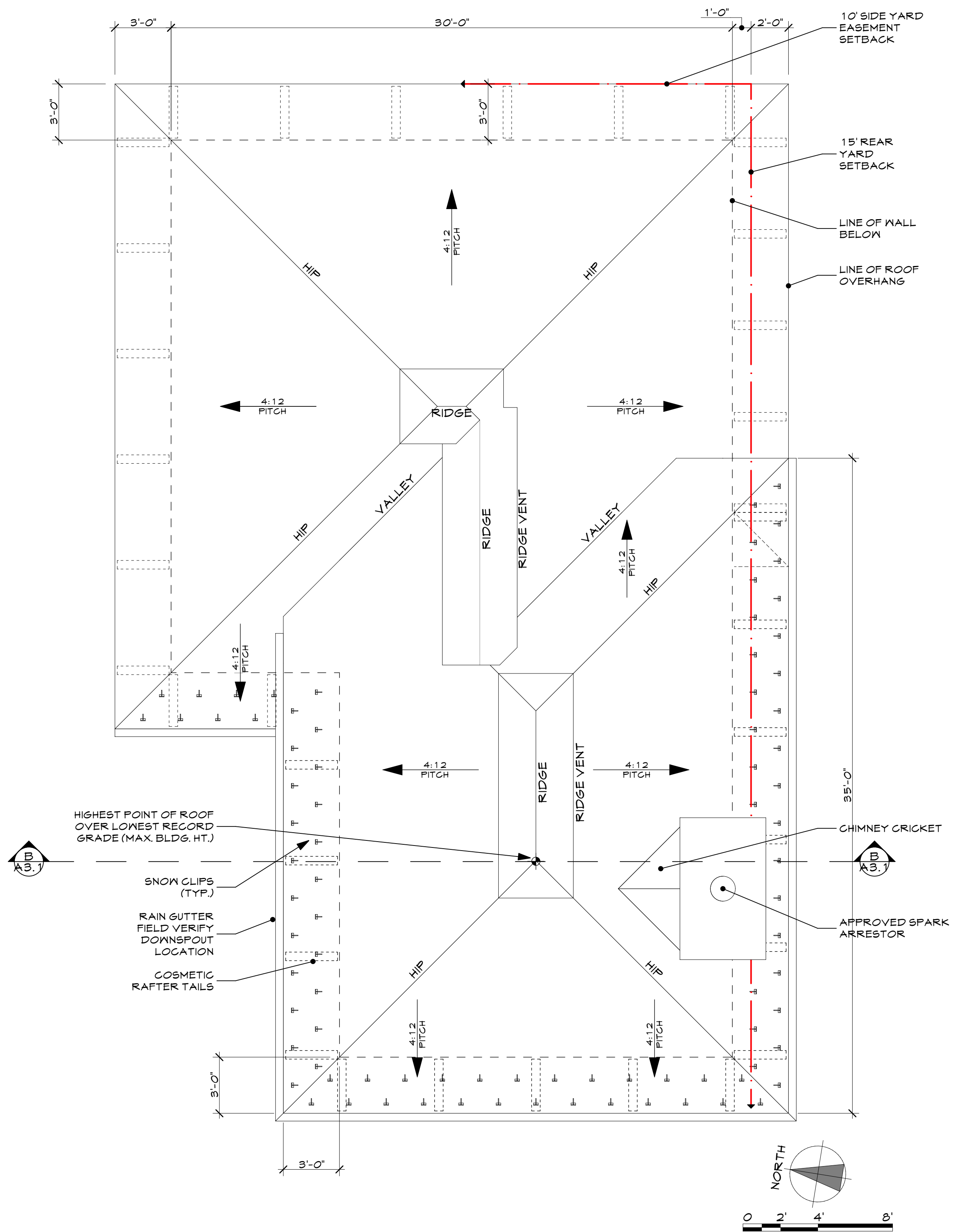
FLOOR PLAN NOTES

- VERIFY RADON MITIGATION SYSTEM.
- VERIFY TEMP. GLAZING LOCATIONS.
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT SITE. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
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ROOF PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS
- FLASH AND COUNTER FLASH ALL ROOF TO WALL TRANSITIONS
- PROVIDE ICE AND WATER SHIELD AT ALL VALLEYS, ROOF TRANSITIONS AND EAVES
- INSTALL SNOW CLIPS AS PER MANUFACTURES SPECIFICATIONS
- ROOF CLASSIFICATION: A

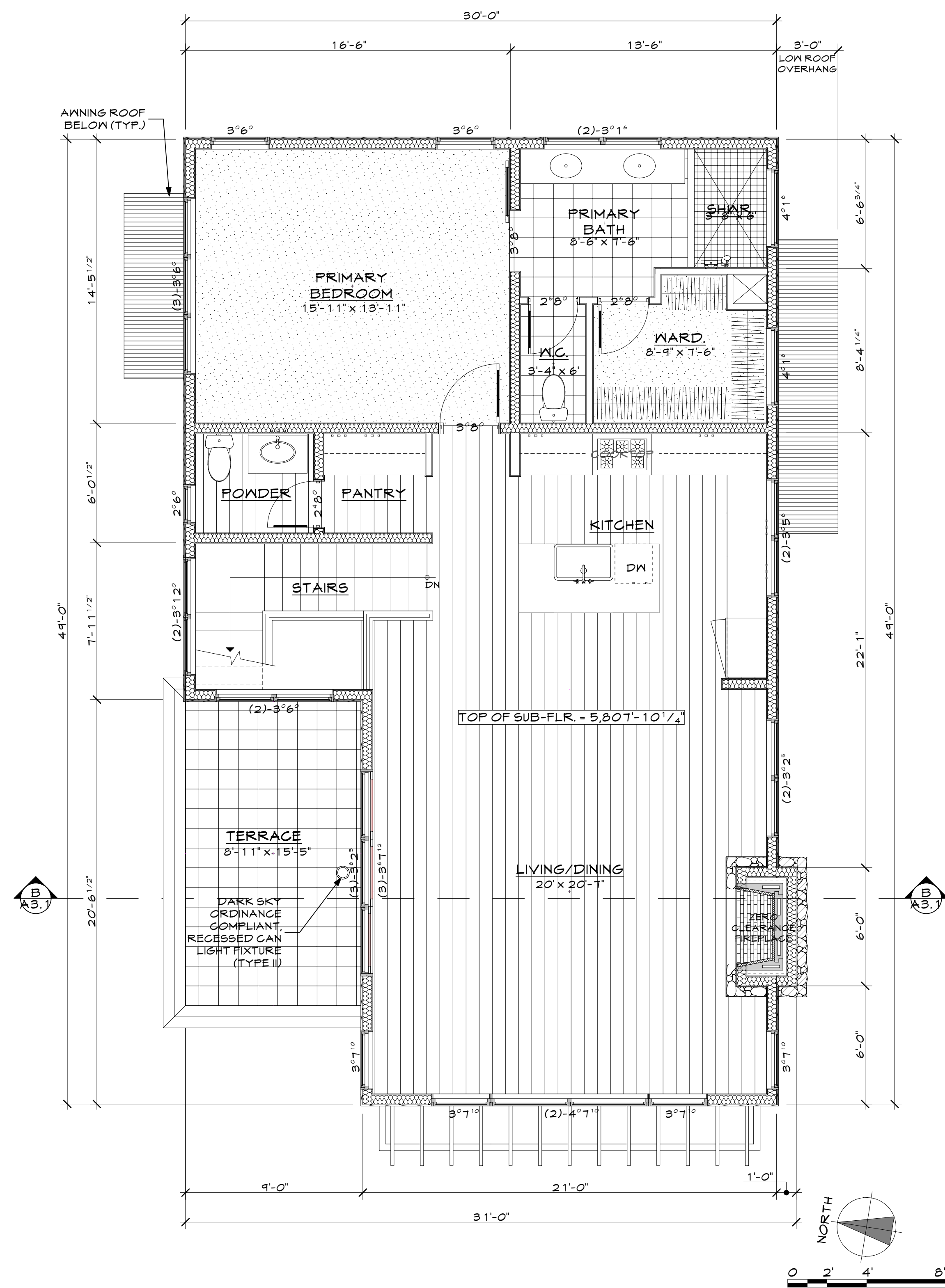


2B-ROOF PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- VERIFY RADON MITIGATION SYSTEM.
- VERIFY TEMP. GLAZING LOCATIONS.
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT SITE. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
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2B-2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"

Crossbuck West Townhomes

A mended Lot 2A, Block 67, Ketchum, Idaho

RED CANOE Architecture P.A.

565 Mother Lode Loop
Hailey, Idaho 83333
208.788.7050

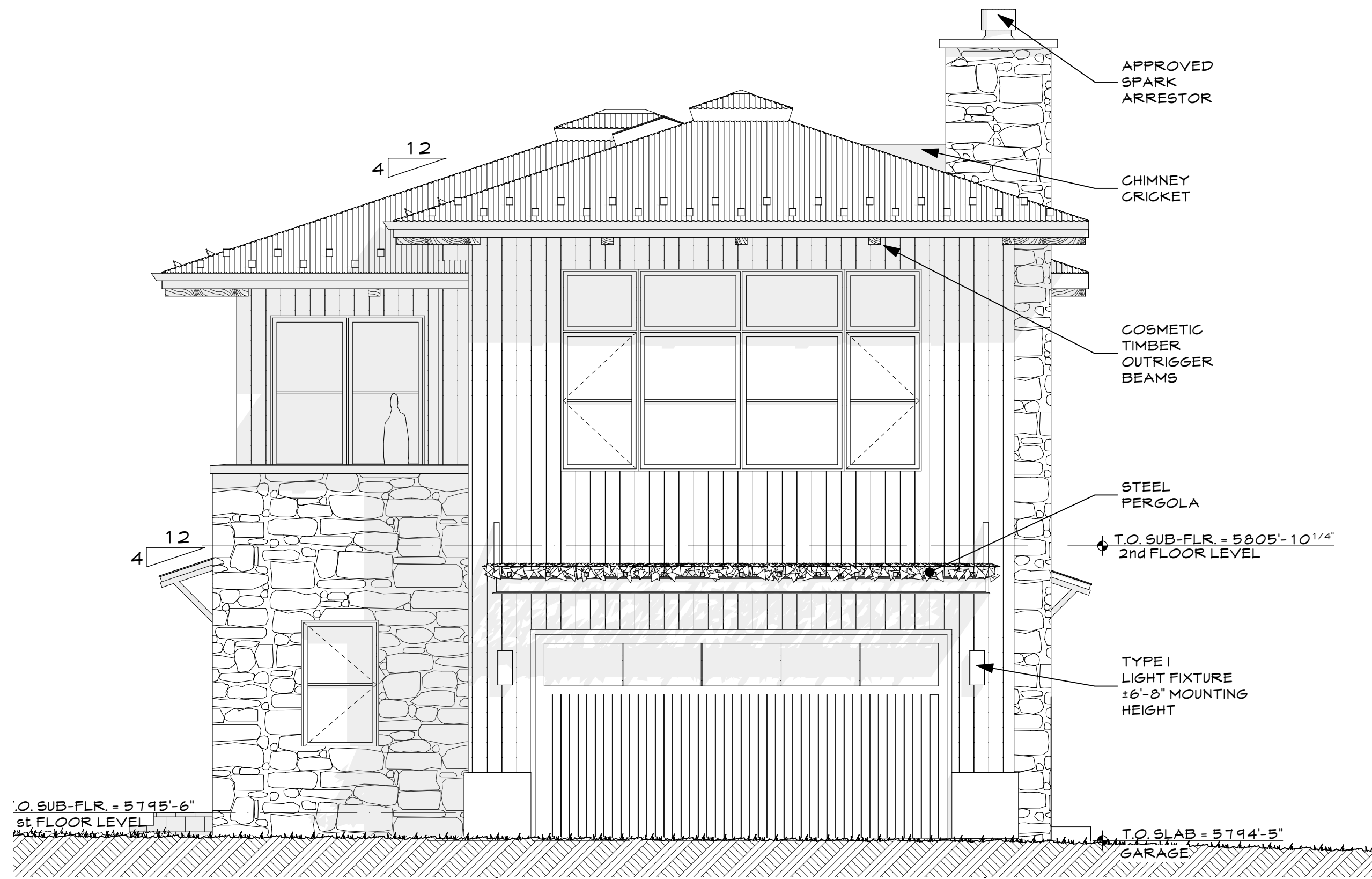
PRINTED: 6/15/21

DATE: KETCHUM DESIGN
REVISION 3/23/2021
REVISED 5/10/2021
REVISED 6/7/2021
REVISED 6/14/2021

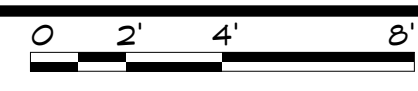
SUBLOT 2B: 2nd FLOOR & ROOF PLAN

A 1.4

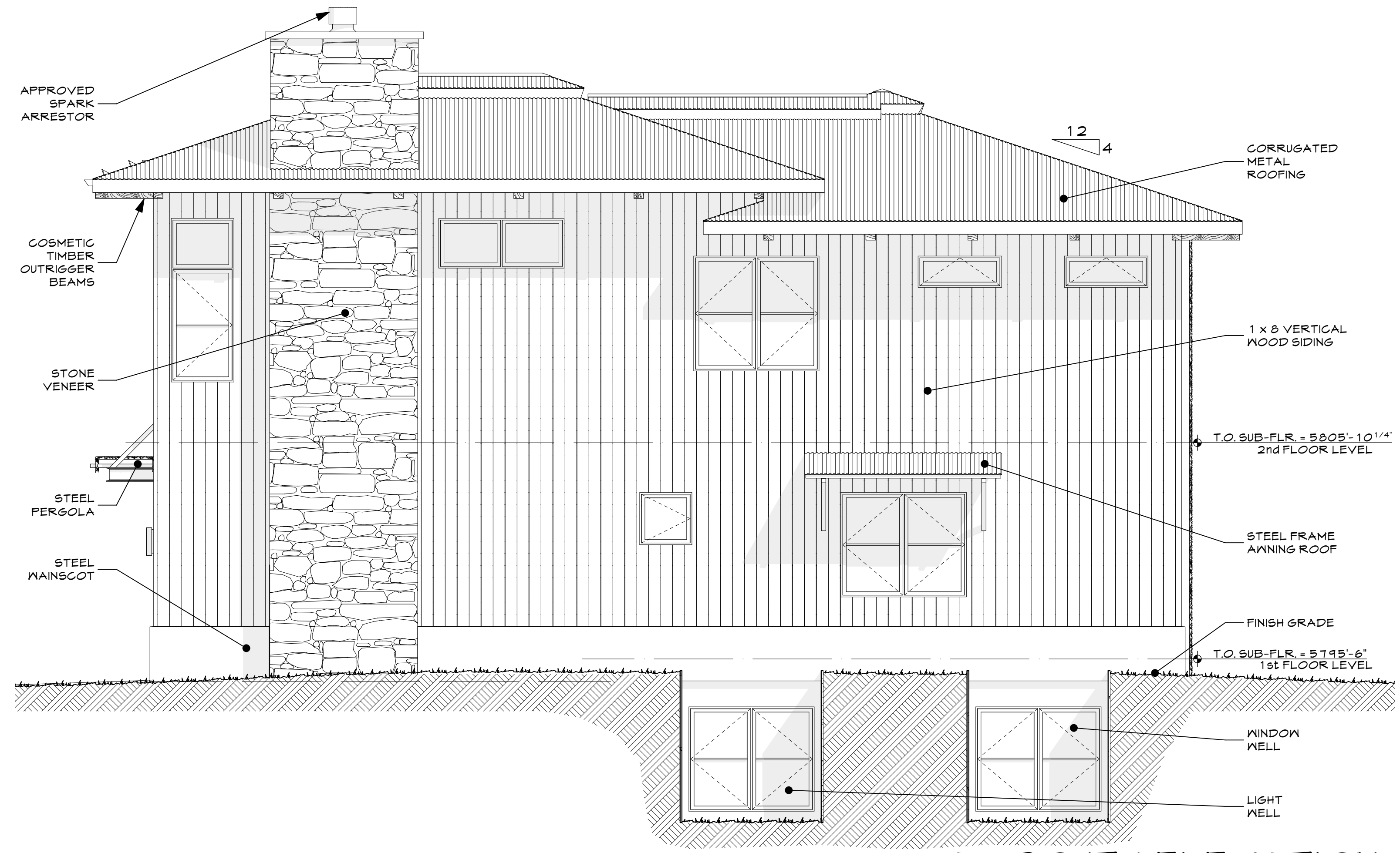
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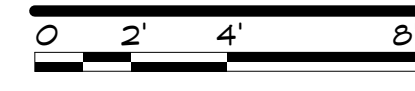
2A - WEST ELEVATION



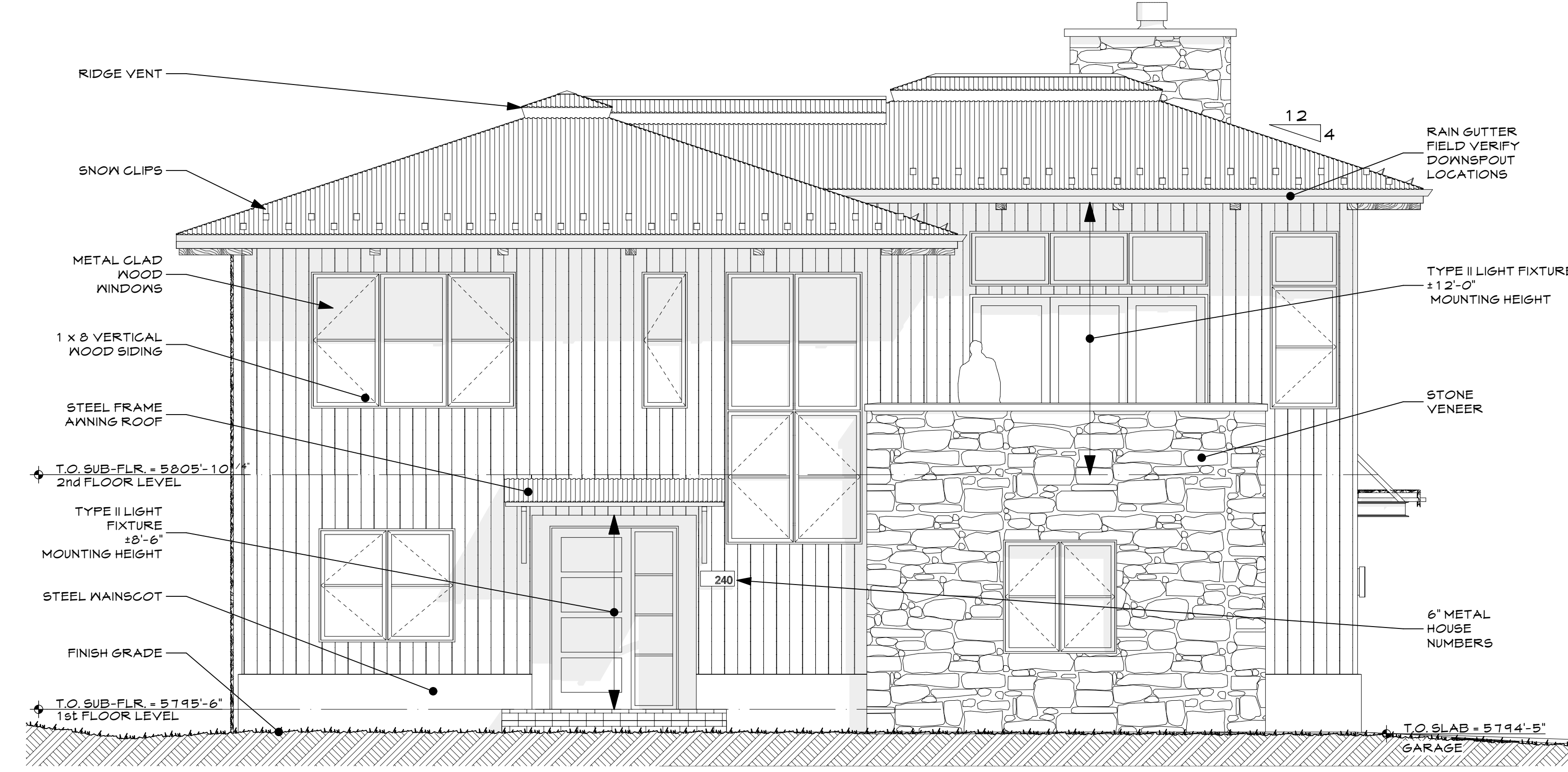
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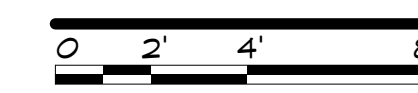
2A - SOUTH ELEVATION



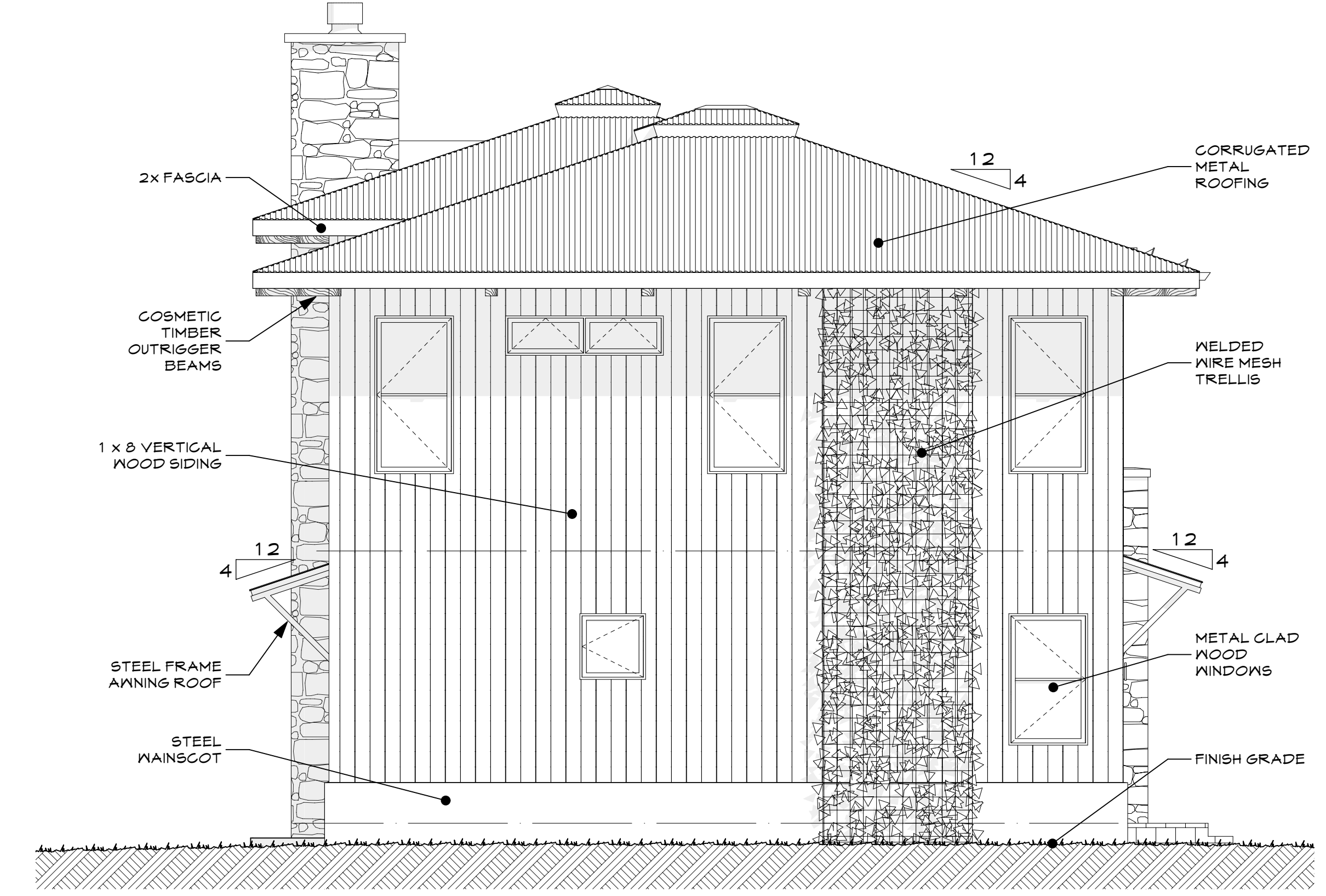
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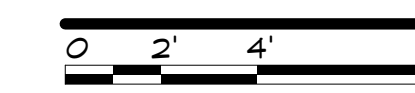
2A - NORTH ELEVATION



SCALE: 1/4" = 1'-0"



2A - EAST ELEVATION



SCALE: 1/4" = 1'-0"

Crossbuck West Townhomes
Amended Lot 2A, Block 67, Ketchum, Idaho

RED CANOE Architecture P.A.
565 Mother Lode Loop
Hailey, Idaho 83333
208.788.7050

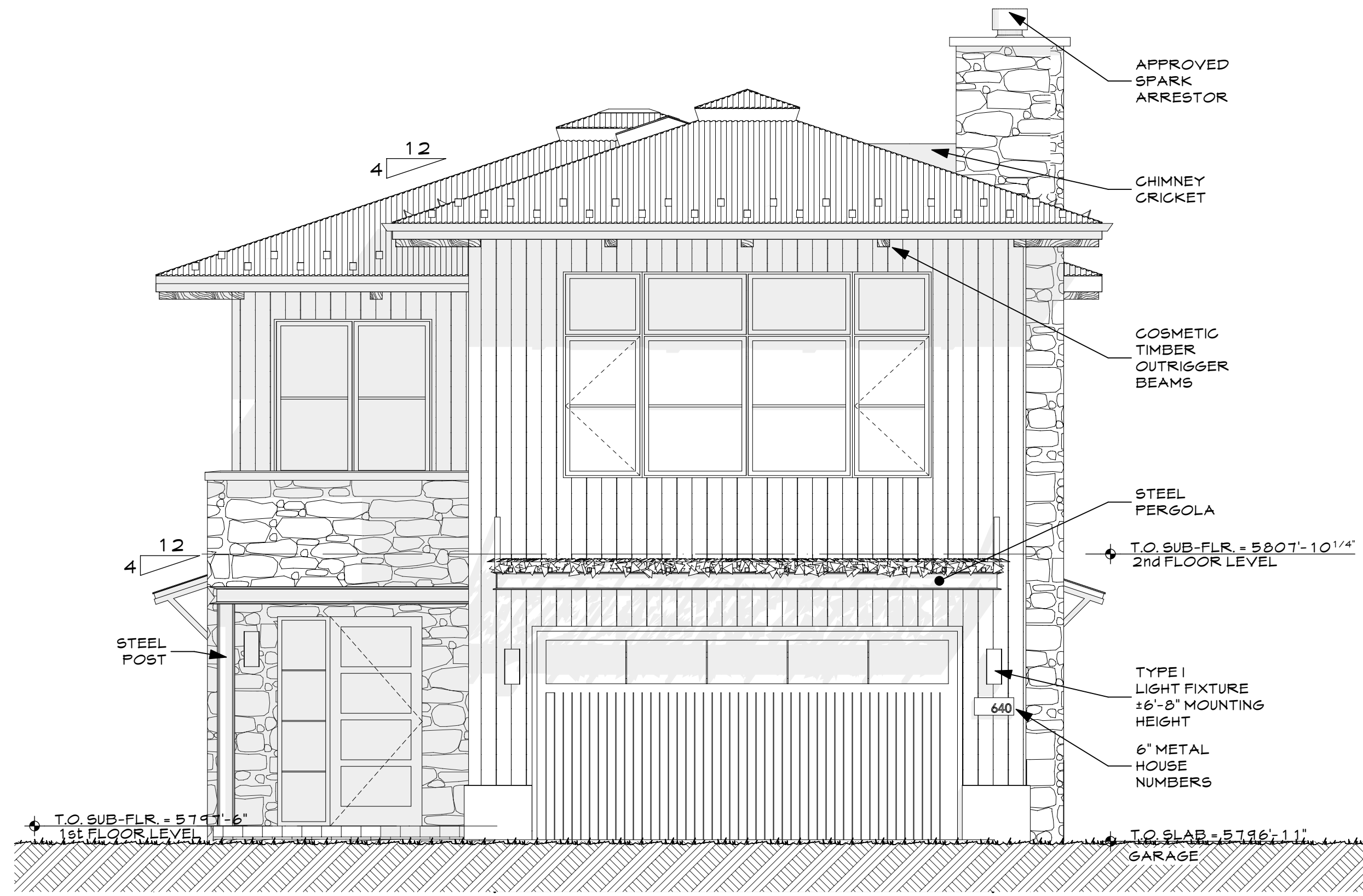
PRINTED: 6/15/21

DATE: KETCHUM DESIGN
REVIEW 3/29/2021
REVISED 5/20/2021
REVISED 6/14/2021

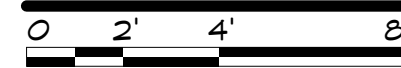
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A2.1

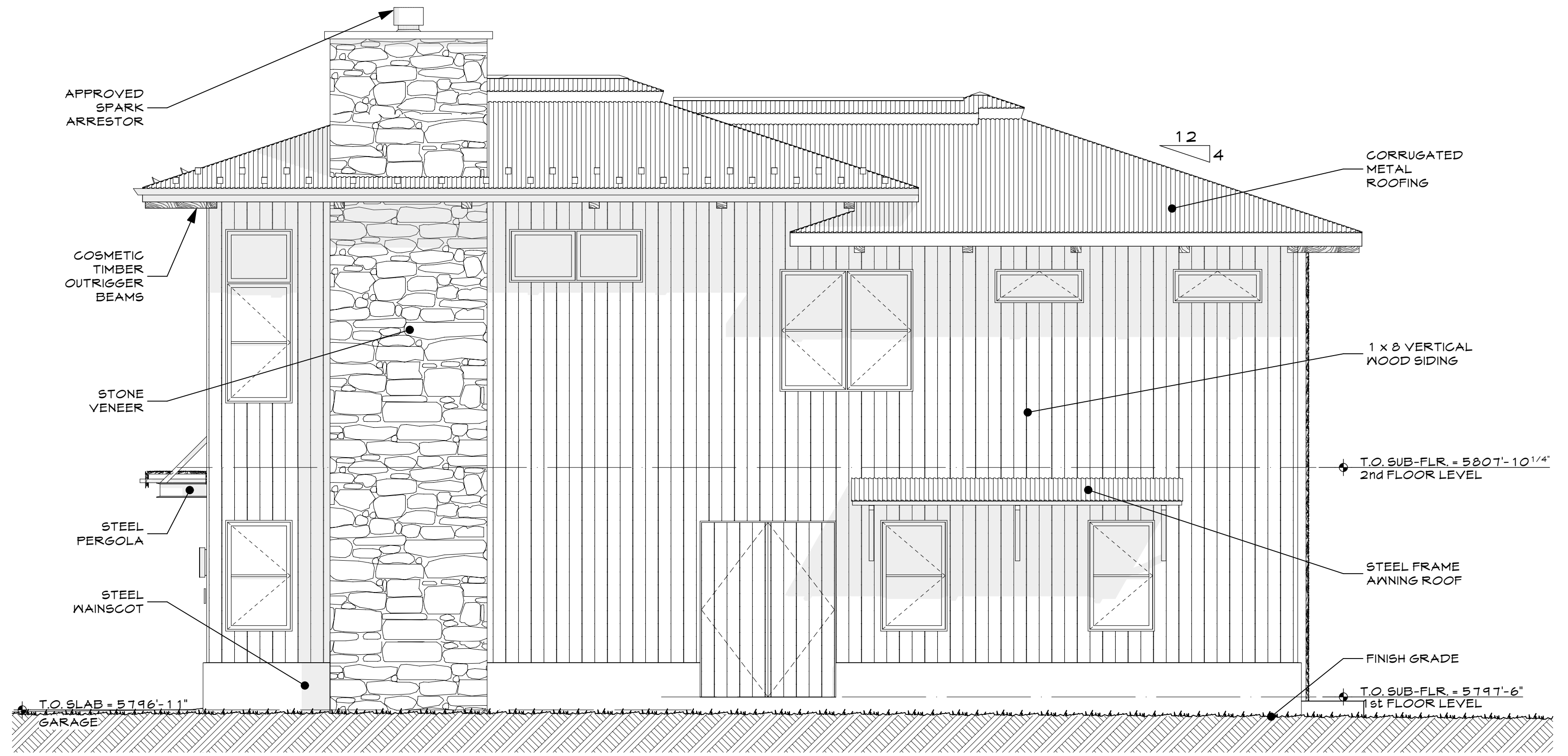
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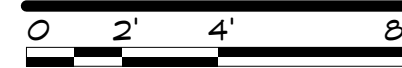
2B - WEST ELEVATION



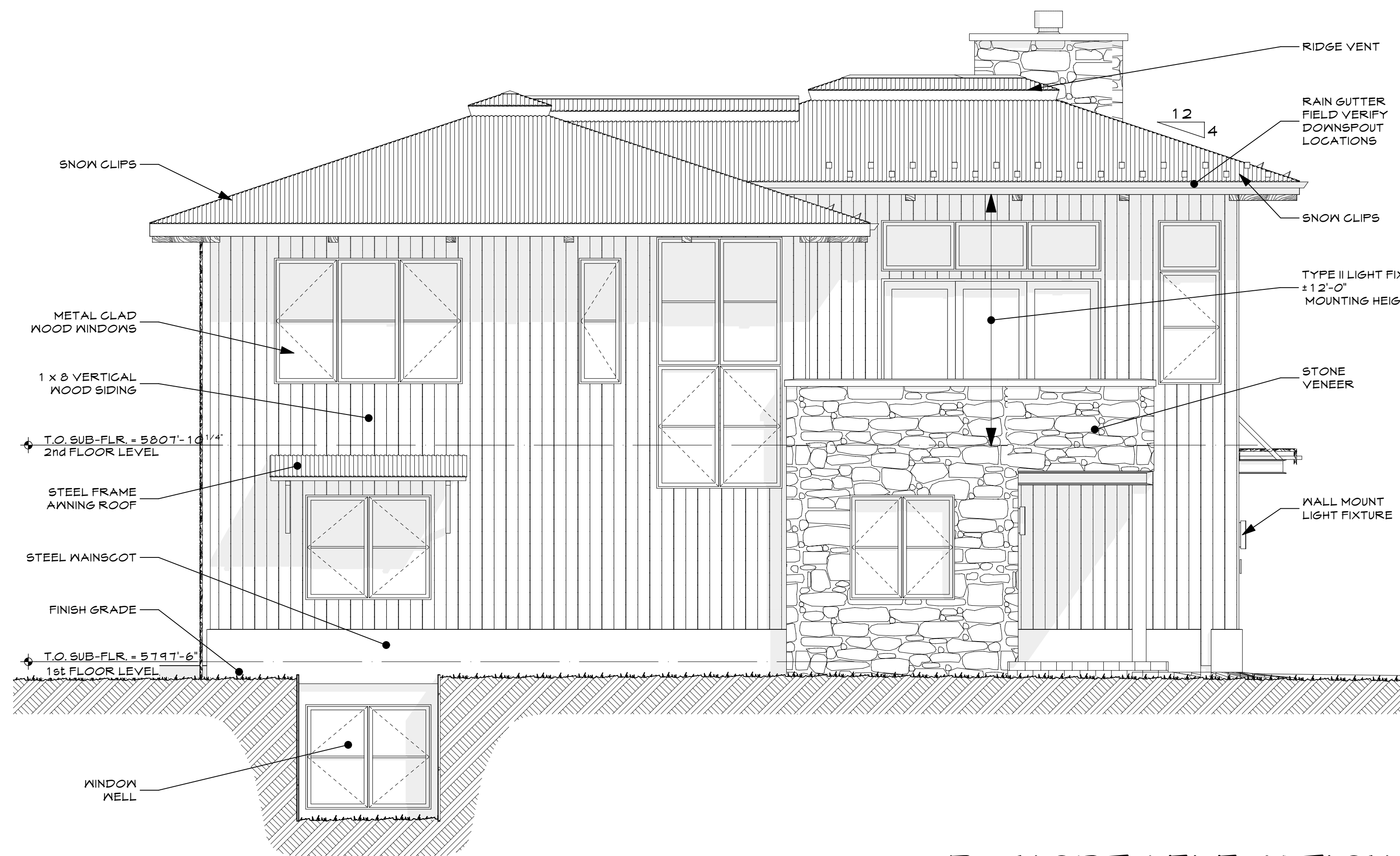
SCALE: 1/4" = 1'-0"



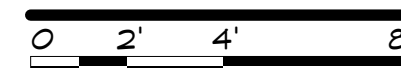
2B - SOUTH ELEVATION



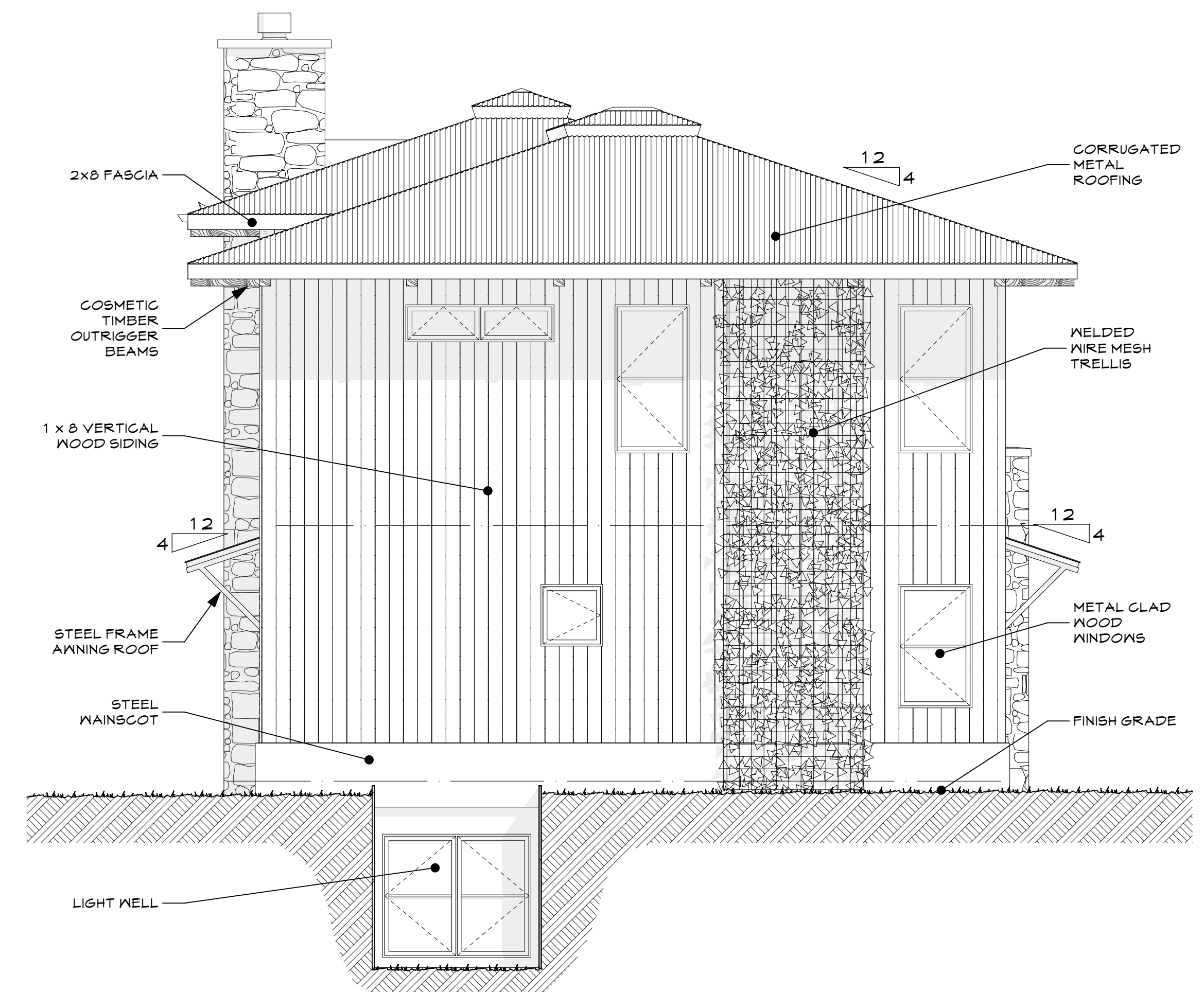
SCALE: 1/4" = 1'-0"



2B - NORTH ELEVATION



SCALE: 1/4" = 1'-0"



2B - EAST ELEVATION



SCALE: 1/4" = 1'-0"

Crossbuck West Townhomes
Amended Lot 2A, Block 67, Ketchum, Idaho

RED CANOE
Architecture P.A.

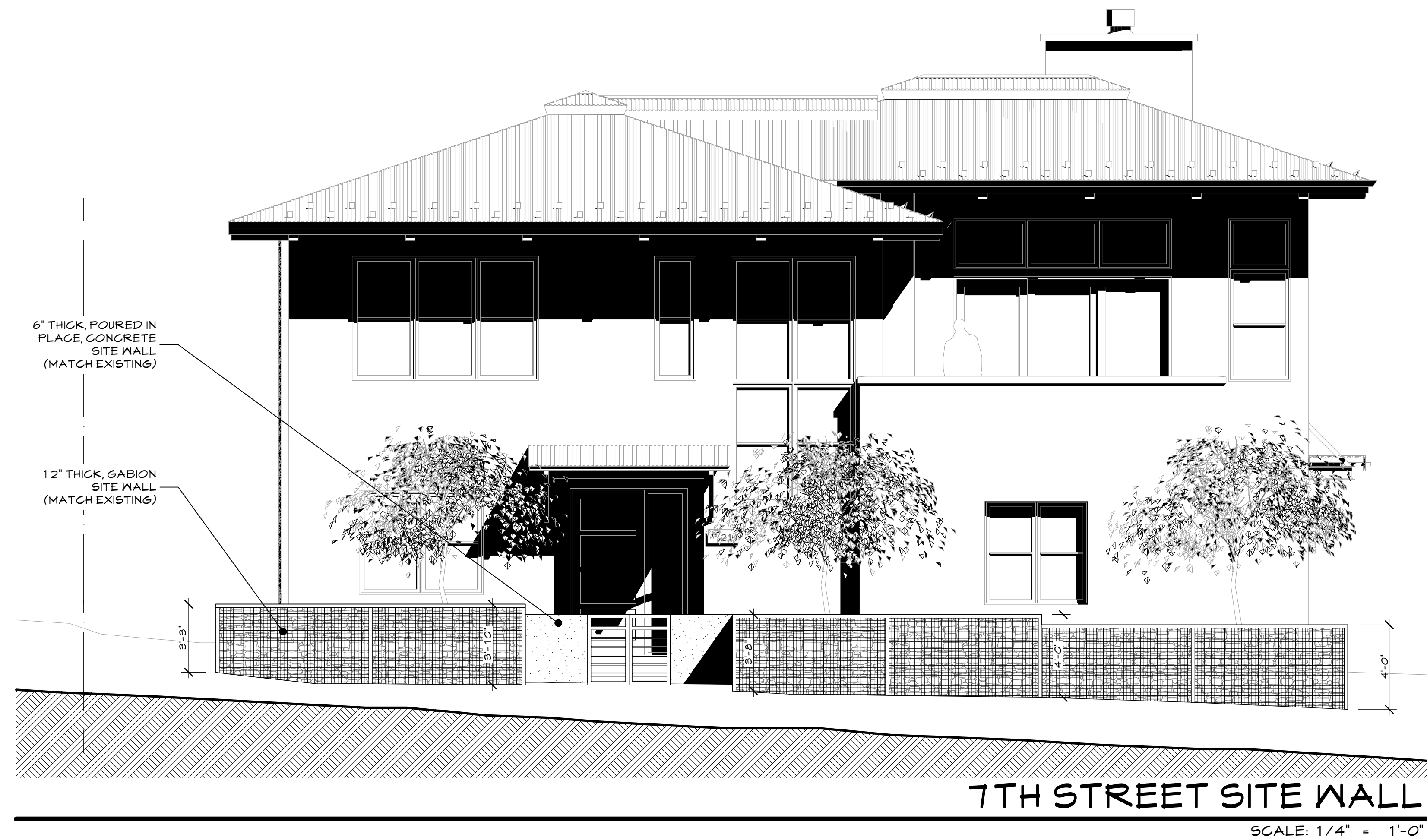
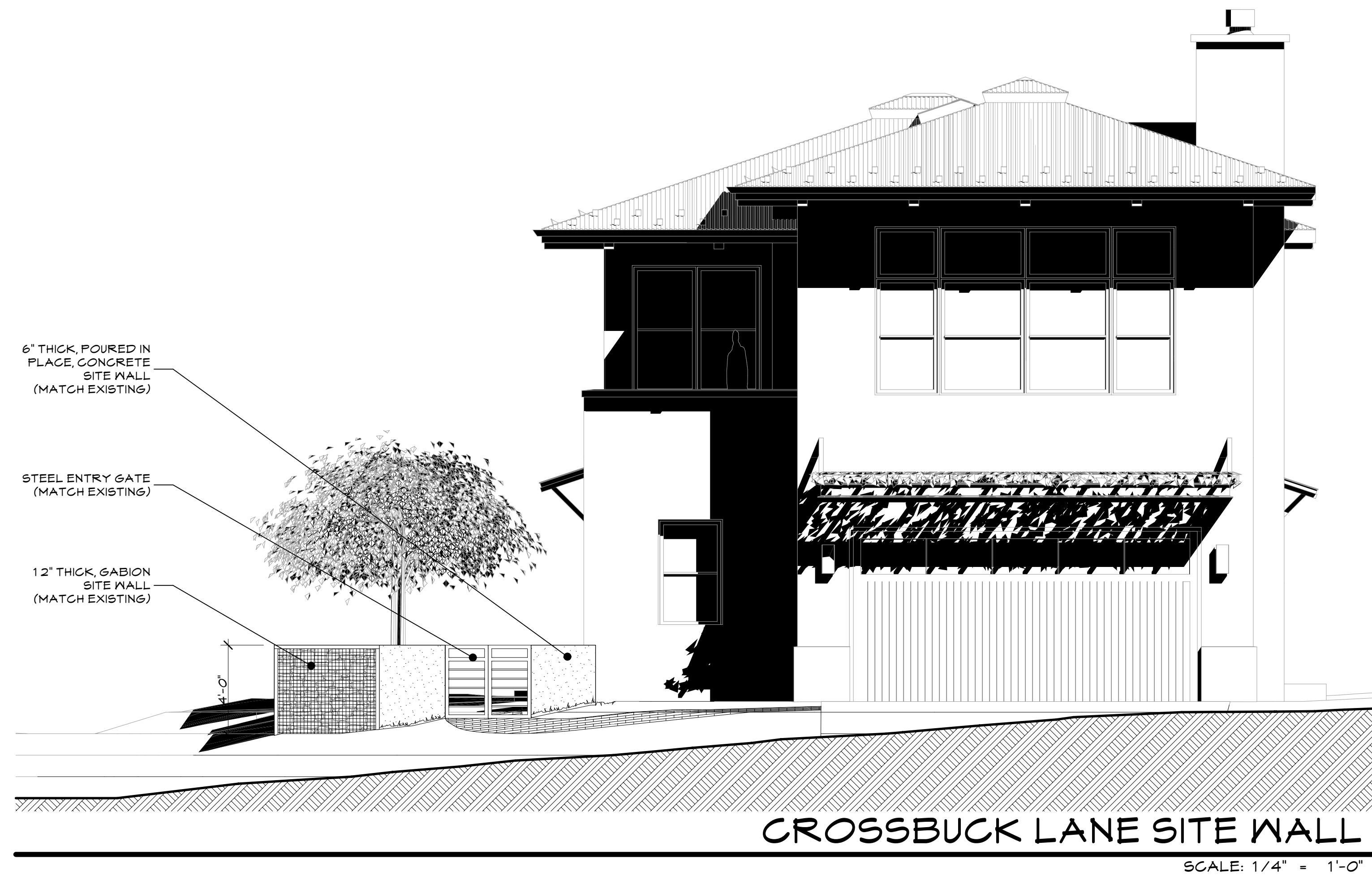
565 Mother Lode Loop
Hailey, Idaho 83333
208.788.7050

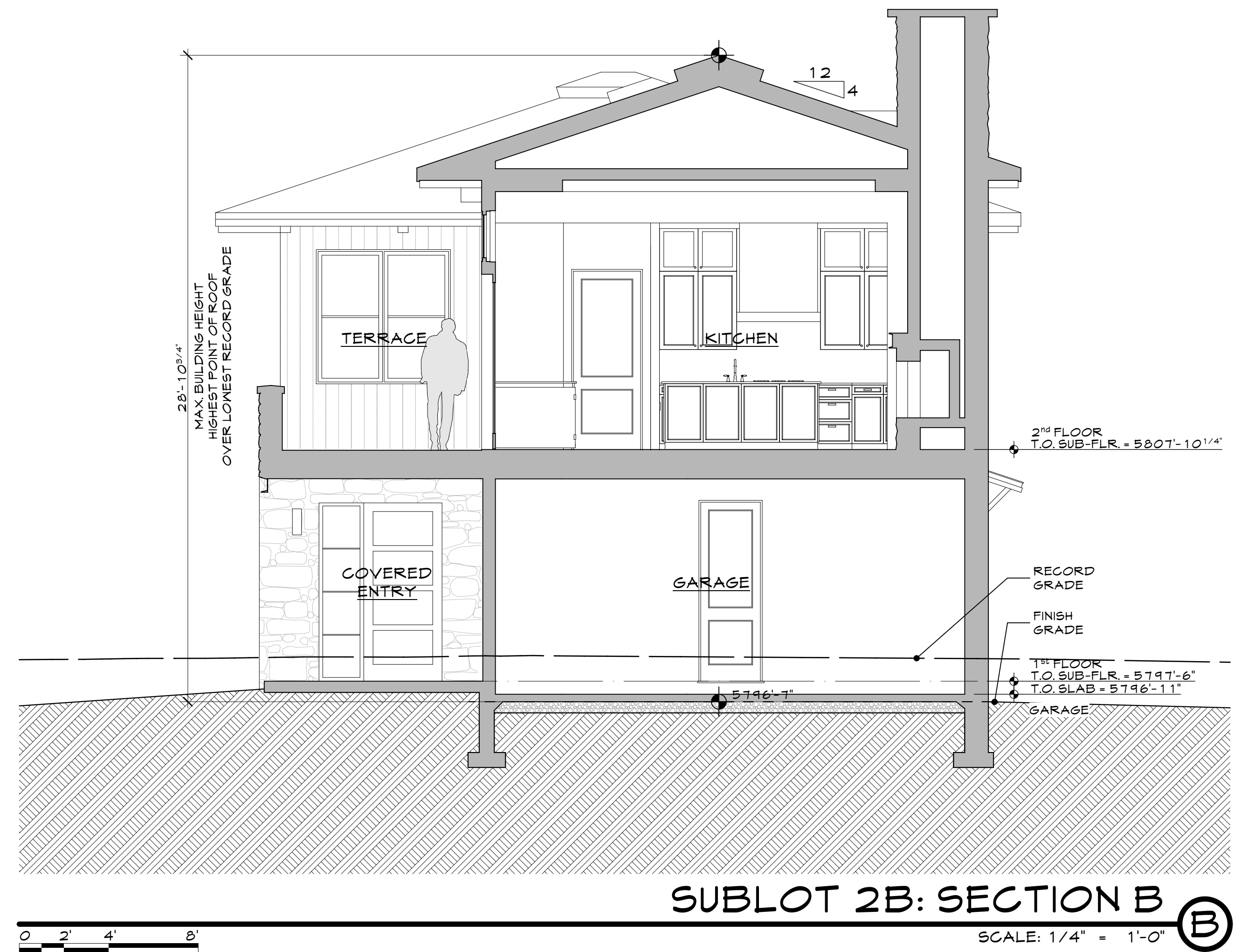
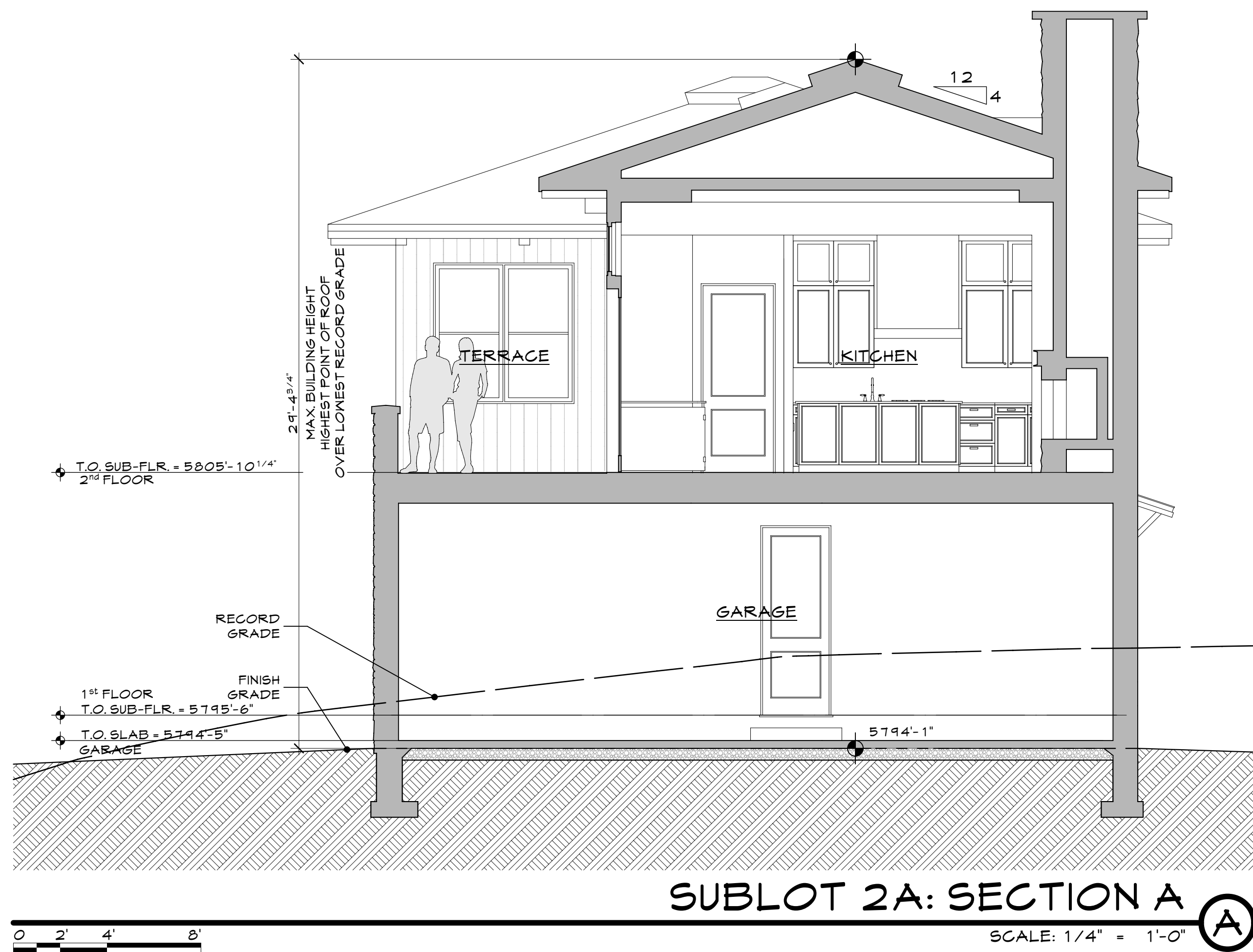
PRINTED: 6/15/21

DATE:
KETCHUM DESIGN
REVIEW
3/29/2021
REVISED
5/20/2021
REVISED
6/7/2021
REVISED
6/14/2021

ELEVATIONS: SUBLOT 2B

A2.2





Crossbuck West Townhomes

A mended Lot 2A, Block 67, Ketchum, Idaho

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CANOE
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P.A.

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Hailey, Idaho 83333
208.788.7050

PRINTED: 6/15/21

DATE:
KETCHUM DESIGN
REVIEW
3/23/2021
REVISED
5/10/2021

SECTIONS: SUBLOT 2A & 2B

A3.1