



AGENDA

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You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*). **Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/85077883433>
Webinar ID: 850 7788 3433
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM COMMISSIONERS:

CONSENT AGENDA:

Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. ACTION ITEM: Approval of August 23, 2022 Minutes

PUBLIC HEARING:

2. ACTION ITEM: Recommendation to review and provide direction on Pre-Application Mountain Overlay Design Review for 307 Garnet Street, P-22-048.
3. ACTION ITEM: Recommendation to review and conduct a public hearing on proposed project modifications to previously approved Design Review Permit P20-046 for the project under construction at 580 E 4th Street located at Fourth and Walnut.

ADJOURNMENT:



CITY OF KETCHUM
MINUTES OF THE SPECIAL MEETING
PLANNING AND ZONING COMMISSION
Tuesday, August 23, 2022

CALL TO ORDER: *(00:02:28 in video)*

Chairman Neil Morrow called the meeting to order at 4:30 p.m.

Roll Call:

Tim Carter
Spencer Cordovano
Brenda Moczygemba
Neil Morrow

Also Present:

Jade Riley
Suzanne Frick
Morgan Landers
Abby Rivin
Adam Crutcher

COMMUNICATIONS FROM COMMISSIONERS: *(00:02:55 in video)*

Commissioner Moczygemba disclosed she had worked on this project for a zoning study.
Commissioner Cordovano disclosed he owns property adjacent to the Perry Building site.

CONSENT CALENDAR: *(00:02:55 in video)*

1. ACTION ITEM: Minutes of July 26, 2022
2. ACTION ITEM: Minutes of August 16, 2022

Motion to approve the Minutes of August 16, 2022

Motion made by Tim Carter; Seconded by Brenda Moczygemba

Ayes: Tim Carter, Spencer Cordovano, Brenda Moczygemba, Neil Morrow

3. **NEW BUSINESS:**

Presentation and Discussion on Warm Springs Preserve Master Plan *(00:05:10 in video)*
City Administrator Jade Riley gave a timeline of the Warm Springs Preserve improvements.

4. ACTION ITEM: Recommendation to Review and Provide Direction to Staff and the Applicant on the Pre-Design Review Application for the Perry Building located at 131 4th St and 471 & 431 N 1st Avenue. (00:27:30 in video)

Motion to move the Pre-Application Design Review full Design Review for the Perry Building located at 131 4th St and 471 & 431 N 1st Avenue.

Motion made by Brenda Moczygemba; Seconded by Tim Carter

Ayes: Tim Carter, Brenda Moczygemba, Neil Morrow

Recused: Spencer Cordovano

Commissioner Codovano indicated he read all the public comment and appreciated the public's input on this project.

ADJOURNMENT: (01:58:06 in video)

Motion to adjourn at 6:25 pm.

Motion made by Tim Carter; seconded by Brenda Moczygemba.

Ayes: Tim Carter, Spencer Cordovano, Brenda Moczygemba, Neil Morrow

Nays: None

Chair Neil Morrow

Lisa Enourato, Interim City Clerk
City of Ketchum



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING ON SEPTEMBER 27, 2022

PROJECT: McGavick Residence

FILE NUMBER: P22-048

APPLICATION: Pre-Application Mountain Overlay Design Review

PROPERTY OWNER: The Dirty Foot Gang LLC

REPRESENTATIVE: Jim McLaughlin, McLaughlin and Associates (Architect)

LOCATION: 307 Garnet Street (ESMERALDA SOUTH SUBD LOT 2 BLK 1)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay

REVIEWER: Morgan Landers, AICP - Senior Planner

Introduction and Background

The City of Ketchum received a Preapplication Mountain Overlay Design Review application for the development of a new single family dwelling unit on July 21, 2022, referred to as the McGavick Residence. The proposed project is on a 6-acre vacant lot zoned Limited Residential (LR) located at 307 Garnet St on the south end of Ketchum in the Gem Streets Neighborhood (the “subject property”) as shown in Figure 1. The proposed residence has 18,756 square feet of living space which includes five bedrooms, 6 baths, three car garage, and attached pool house. Surrounding the dwelling unit is an extensive landscaping program that includes a garden, multiple hardscape patios and circulation paths, densely planted landscaped areas with trees and shrubs, open landscaped areas with low lying plants and flowers, and open turf and no-mow areas. The project plans, including architectural plans, site plan, landscape plans, and preliminary grading and drainage plans, are in Attachment B to this staff report.

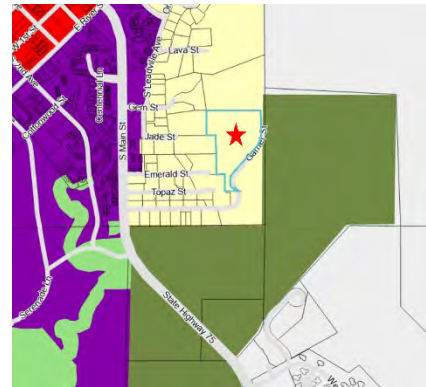


Figure 1: Subject Property Location Map

The subject property is within the Mountain Overlay Zone District, therefore subject to Design Review pursuant to Ketchum Municipal Code (KMC) §17.104.050. Pre-Application Design Review is not required; however, the applicants have requested a preapplication review by the Planning and Zoning Commission (the “Commission”) pursuant to KMC §17.104.060. The Preapplication review is an opportunity for the Commission to give the applicant feedback on the proposed project. This

preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant.

Development of the property must adhere to the provisions of the zoning regulations:

- Dark skies, parking, and development standards for single family dwellings
- Dimensional standards and supplemental lot and bulk regulations applicable to the LR zone district
- All applicable plat notes outlined on the Esmeralda Subdivision plat recorded under Instrument Number 415453.
- Mountain Overlay Design Review criteria and standards as outlined in KMC §17.104.070.A

Staff has conducted a review of the proposed project for conformance with the requirements outlined above. Below is a general analysis of the project's conformance with the requirements and an overview of design review criteria issues the Commission may want to discuss with the applicant.

Analysis

The subject property is a total of 6 acres with a platted building envelope of approximately 1.77 acres as shown in Figure 2. The plat for the property outlines plat notes specific to this lot that overlay the dimensional limitations of the LR zone district. Pertinent Plat Notes are as follows:

- Note 3 – All grading and construction activity and all fencing shall be subject to Ketchum Mountain Overlay Design Review (KMODR).
- Note 4 – All existing vegetation outside of building envelopes shall be preserved (with exception of driveway connections from the access road and livestock grazing as pursuant to Note 5).
- Note 8 – Maximum building height is restricted to 28 feet on Lots 1, 2, & 3.
- Note 9 – No portion of a structure on Lot 2 shall exceed elevation 5920 feet and/or be visible above the ridgeline, as determined by KMODR.
- Note 19 – A 10 foot pedestrian & non-motorized easement is reserved as illustrated on the plat, for access through Lot 2 from the property at the end of Emerald Street to the Garnet Street pedestrian easement.
- Note 20 – The lot owner doing construction shall be responsible for the installation of speed bumps, the posting of the speed limit to be determined by the City, and construction cleanup and dust abatement on an assigned basis, on Garnet Street as determined by the City.
- Note 27 – Front lot lines for Lots 1 & 2 shall be those lot lines adjacent to the Lot 3 flaglot.

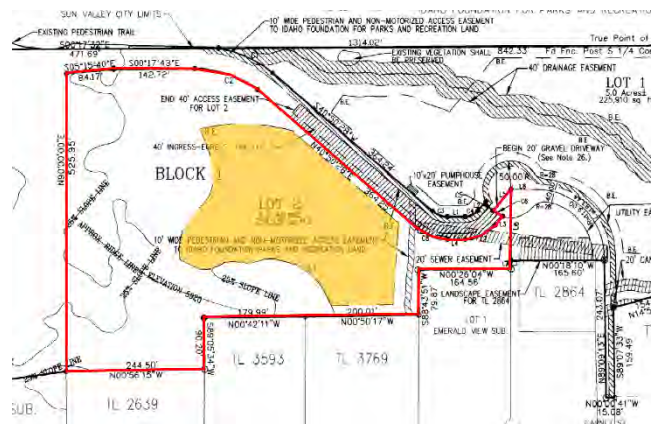


Figure 2: Subject Property Building Envelope

Conformance with Zoning and Dimensional Standards and Plat Notes

In general, the property is in conformance with the zoning and dimensional standards. Final confirmation of all zoning, dimensional standards, and plat notes will be conducted at the time of final design review. Below are specific items of note that are uniquely applicable to this project.

Building Height

As noted above, the building height calculations for this project are layered with four elements that must be complied with:

- The building may not exceed 35 feet above finished grade at any point, with exceptions for chimneys per KMC 17.08.020 – definitions and KMC 17.12.030 – dimensional standards.
- Per the plat, the building must not exceed 28 feet above existing grade as calculated using the definition of building height in KMC 17.08.020.
- No portion of the building (chimneys included) can exceed an elevation of 5920 and/or be visible above the ridgeline.

Sheets L4.01 through L5.01 show the locations of sections in plan view and section cuts for the building height calculations for the proposed project. The red line shows the elevation of 5920 on all three sections. As shown on Section 2, the red line shows not only the 5920 limitation but also the line of 28 feet above existing grade. Section 2 indicates the total building height from finished grade is 34 feet. Section 2 also shows the total building height does not exceed 28 feet above existing grade with the exception of the chimney, which is permitted as it does not exceed the elevation of 5920 feet.

As part of the preapplication design review application, staff requested the applicant erect story poles during the review period of the project to ensure that the building will not be visible above the ridgeline. For this property, the “ridgeline” is referencing a series of mounds and saddles to the north of the platted building envelope as highlighted in Figure 3. Attachment C is the location of all staking and story poles erected for review by staff and the Commission.

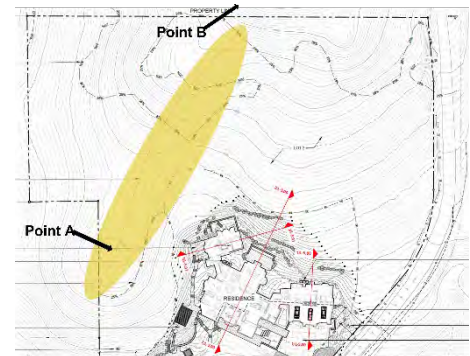


Figure 3: Ridgeline Reference Diagram (points referenced for Images in Attachment D)

During the department review period, staff conducted an extensive site visit to verify not only the location of the story poles, but whether the structure would be visible from various vantage points including 4th Street and East Ave and locations south of the property as noted on Figure 4. The red star is the location of the subject property. The yellow stars indicate vantage points where staff made observations to determine if the building would be visible above the ridgeline. As shown in the figures in Attachment D, the proposed project would not be visible above the ridgeline from these locations, nor would the proposed project be visible from the identified vantage points due to the topography and extensive tree canopy surrounding the property.



Figure 4: Building Height Vantage Points

Drainage

Pursuant to KMC §17.96.060.C1 and 17.124.170.A.1, all stormwater must be retained on site. The project plans include a grading and drainage plan; however, the proposed drainage funnels all stormwater along a newly created drainage swale along the private drive, south and off the property. This current configuration does not meet the city standards for retaining stormwater and will need to be addressed for the final design review application. The applicant is aware of this issue and will comply with the requirements as outlined in the KMC.

The proposed drainage also increases the amount of disturbance outside the building envelope. Per plat note 4 “All existing vegetation outside of building envelopes shall be preserved (with exception of driveway connections from the access road and livestock grazing as pursuant to Note 5).” As proposed all stormwater is being funneled from the top of the property into one main drainage channel along the private driveway, requiring the removal of existing shrubs and tall grass vegetation for the length of the building envelope. Disturbance is permitted for the driveway connection, however, disturbance not related to the driveway should be avoided. The applicant is aware of this issue and will evaluate alternative drainage solutions for review during final design review.

Design Review Criteria Items for Discussion

Staff identified three main areas where the Commission may want to provide feedback to the applicant based on the Mountain Overlay Design Review criteria.

Amount of Disturbance

KMC Section 17.104.070.A states “Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.” The total area of the building envelope is 77,050 SF (1.77 acres) with a proposed area of disturbance of 62,227 SF (1.42 acres). The total building coverage proposed is 9,646 SF (.22 acres). During the review process, staff relayed concerns to the applicant related to the amount of disturbance outside the “building construction” as noted in the design review criteria. As proposed the building coverage is 15% of the total area of disturbance which shows a significant amount of hillside disturbance for grading and landscaping to accommodate the proposed outdoor seating areas to the rear of the building, pool and pool seating areas, extensive landscaping to buffer the project, garden, and lawn areas. Although the proposed area of disturbance is within the platted building envelope, staff believes the amount of disturbance proposed that is not related to the building construction to be extensive and not aligned with the intent of the mountain overlay design review objectives.

Additionally, KMC Section 17.104.070.A.10 states that “No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.” Staff acknowledges there is a platted building envelope on the property, however, the building envelope is of significant size. During staff review, the applicants were asked to provide a description of how the location of the building within the building envelope was chosen. It appeared to staff that locating the building further downhill may serve to minimize the amount of grading required. Currently the proposed project has 1,500 cubic yards of fill and almost 11,000 cubic yards of cut. The applicant response as to the siting of the building can be found in Attachment A.

Extent and Type of Vegetation

KMC Section 17.104.070A.9 states that “Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30’) around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.” This standard is primarily focused on prevention of structure damage in the event of a wildfire; however, the last sentence is of specific note related to the type of vegetation that should be outside the clear zone. As shown on Sheet L4.01, the proposed project is meeting minimum fire code requirements of a 10-foot clear zone, however, adjustments to the planting plan would be required if the Commission felt a 30-foot clear zone was necessary. Additionally, there is significant landscaping that does not blend with the surrounding hillsides, which is primarily sage brush, tall grasses and other drought tolerant species. The proposed landscape plan includes extensive tree plantings,

decorative shrubs, a play lawn, and a no mow lawn. Other than landscaping down the hill in the more developed area of Garnet Street, these landscaping choices are not found with the surrounding hillsides.

Pool Criteria

On July 26th, the Planning and Zoning Commission adopted the following criteria for pools within the Mtn Overlay district in conjunction with the Mtn Overlay Design Review application for 600 N Walnut. The criteria outlined that proposed pools in the Mtn Overlay district shall demonstrate the following:

1. Adding the footprint of the pool to the building coverage of the lot does not take the building coverage of the project over the permitted building coverage requirement.
2. The project site must be disturbed from previous development therefore the pool causes minimal disruption to the project site.
3. Prior to issuance of the building permit, the applicant must demonstrate that the pool cover is sufficient to withstand the weight of wildlife and the pool does not endanger wildlife.
4. Pools construction shall not excavate into a hillside and shall not have a visual impact on the hillside.
5. Pool size shall be minimal in size and not cause disruption to the hillside.

The proposed project includes a 53x20 square foot pool with a maximum depth of 7 feet. The applicant has provided a written response to the pool criteria which can be found in Attachment A. The proposed pool does not exceed the building coverage maximum, and the applicant has sourced a cover that will withstand wildlife as noted in the narrative. However, this property has had no previous development or disturbance. Construction of the pool will require excavation of the hillside and regrading of the area for the pool and adjacent patio, jacuzzi, and pool house that is attached to the residence.

Staff Recommendation

After considering the application materials provided as attachments, the applicant's presentation, and any public comment received, staff recommends the Commission provide feedback to the applicant and move to advance the McGavick Residence project to final Design Review.

Attachments:

- A. Application and Applicant Narrative
- B. Design Review Plan Set
- C. Story Pole and Staking Diagram
- D. Ridgeline Images with Location References
- E. Public Comment



City of Ketchum

ATTACHMENT A: Application and Applicant Narrative



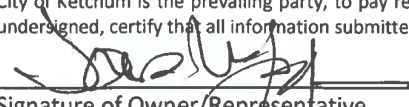
City of Ketchum
Planning & Building

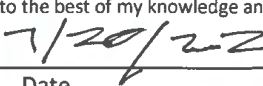
OFFICIAL USE ONLY	
File #	022048
Date Received	7/21/22
By:	SMcGavick
Fee Paid	\$100
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: McGavick Residence			
Owner Name: Gaelynn and Mike McGavick			
Mailing Address: 276 Greenley Road, New Canaan, 06840			
Phone: (239) 315-5835			
Email: mikemcgavick@me.com; gaelynn@me.com			
PROJECT INFORMATION			
Architect/Representative: McLaughlin & Associates			
Phone: 208-726-9392			
Mailing Address: PO Box 479, Sun Valley, ID 83353			
Email: jim@mclaughlinarchitects.com			
Engineer of Record: Benchmark Associates			
Engineer Email:			
Legal Land Description: Lot 2, Esmerelda South Subdivision			
Project Address: City of Ketchum, Blaine County, Idaho			
Lot Area:			
Zoning District: LR Limited Residential - Mountain Overlay			
Anticipated Use: Private Residence			
Number of Residential Units: One			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:		LOT 2 CALCULATIONS	
1 st Floor: Lower - 9110.00 square feet		LOT COVERAGE	
2 nd Floor: Upper - 9646.00 square feet		LOT 2 SIZE = +/- 259,330 (6.0 ACRES)	
3 rd Floor:		COVERAGE BY BUILDING = 11,570 SF	
Decks:		COVERAGE BY PARKING AND DRIVEWAY = 3,500 SF TOTAL = 15,070 SF	
Mezzanine:		PERCENTAGE COVERAGE BY BLDG AND PARKING (15,070 / 259,330) = +/- 6%	
Total: Living - 18,756.00 square feet		SNOW STORAGE	
Building Coverage: 9646.00SF %		DRIVEWAY + MOTORCOURT	
		3,500 SF X .3 = 1,050 SF (REQUIRED PER CODE)	
		SNOW STORAGE PER PLAN 1,105 SF	
		Curb Cut: SF %	
PROPOSED SETBACKS			
Front: Per Envelope	Side: Per Envelope	Side: Per Envelope	Rear: Per Envelope
ADDITIONAL INFORMATION			
Building Height: Not to exceed 28' per plot		Parking Spaces Provided:	
Will Fill or Excavation Be Required? <input checked="" type="radio"/> Yes <input type="radio"/> No			
If Yes, Amount in Cubic Yards		Fill: 1,500 cy	Excavation: 10,700 cy
Will Existing Trees or Vegetation Be Removed? <input type="radio"/> Yes <input type="radio"/> No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative


Date

McGavick Residence

22 09-15 BYLA Narrative Responses to City of Ketchum Preapplication MOD Design Review Comments

2. Comment: As mentioned above, the location of the pool, turf areas, and siting of the home within the BE directly relates to the amount of disturbance proposed. KMC Section 17.104.070.A.10 states that “No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.” Based on the information provided, staff is unclear whether siting the building in a different location, i.e. further south on the site, would lessen the amount of disturbance on the property based on existing grades.

a. Required Action: Please provide a narrative response that describes the methodology and approach to siting the building in its current location and also describe whether alternative sites within the building envelope were contemplated.

RESPONSE:

The building envelope created at time of platting the subdivision addresses the primary concern of this question; it creates a building site - as mentioned in KMC 17.104.070.A.10 “in order to carry out the purpose of the section”. We considered the lower portion of the site; however, that would have placed the home close to the two existing homes adjoining this lot. We selected the current location because it allows us to integrate the home into the site taking advantage of the existing slope as opposed to a two-story home placed on top of the lower portion of the site. The location of the home also allowed us to place much of the excavated material on site. All grading and development is to take place within the designated building envelope.

3. Comment: During the pre-submittal meeting, staff indicated that the Planning Commission was evaluating the appropriateness of pools within the Mtn Overlay district. On July 15th, staff provided preliminary criteria for the applicant to be aware of, however, the final verbiage of the criteria had not been adopted. On July 26th, the Planning and Zoning Commission adopted the following criteria for pools within the Mtn Overlay district. Proposed pools in the Mtn Overlay district shall demonstrate the following: 1) Adding the footprint of the pool to the building coverage of the lot does not take the building coverage of the project over the permitted building coverage requirement. 2) The project site must be disturbed from previous development therefore the pool causes minimal disruption to the project site. 3) Prior to issuance of the building permit, the applicant must demonstrate that the pool cover is sufficient to withstand the weight of wildlife and the pool does not endanger wildlife. 4) Pools construction shall not excavate into a hillside and shall not have a visual impact on the hillside. 5) Pool size shall be minimal in size and not cause disruption to the hillside.

a. Required Action: Please provide a narrative response to how the proposed pool meets all the criteria listed above. Additionally, staff understands the pool to be 53x20 feet. Please also provide the total depth of the pool at its lowest point.

The proposed location of the pool has been studied and selected with careful attention to the placement of this outdoor amenity on the site. The overall objectives with the selected location have been to locate the pool in a manner that does not excavate into the hillside, while also considering views of the pool, both from within the site and from off site – so as to not have a visual impact on the hillside. The site as

a whole is undisturbed, there are no disturbances presently on site, so any improvements to this regard will result in modifications to the existing site.

The pool size is approximately 53ft length x 20ft width, with an anticipated maximum depth of 7ft. The pool will have a safety cover that meets or exceeds ASTM F1346-91. There are a number of pool manufacturers that provide safety cover of this quality, GLI Pool Products – Secur -A-Pool Mesh Safety Cover, is one such example. A pool of the proposed size does not take the building coverage of the project over the permitted limits.



City of Ketchum

ATTACHMENT B: Design Review Plan Set

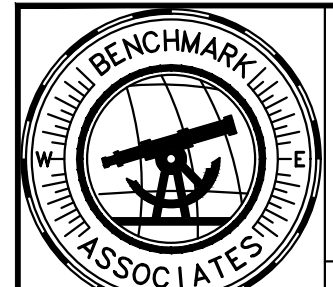
NOTES

- GENERAL RESTRICTIONS & TITLE INFORMATION:**
1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 2. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 3. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 4. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
5. BUILDING AREA: BUILDING ENVELOPE AS SHOWN. IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY OF KETCHUM ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN. MAP IS FOR CONCEPTUAL DESIGN ONLY. A FULL BOUNDARY SURVEY MUST BE COMPLETED PRIOR TO HOUSE AND SITE DESIGN.
 6. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE, ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
 7. WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
 8. STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.
 9. NOTE 9 FROM PLAT: NO PORTION OF A STRUCTURE ON LOT 2 SHALL EXCEED ELEVATION 5920 FEET AND/OR BE VISIBLE ABOVE RIDGELINE, AS DETERMINED BY KOMDR.
 10. PLAT DOES NOT SPECIFY ELEVATION DATUM.

- SURVEY AND SITE FEATURES:**
11. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 12. ELEVATIONS BASED ON NGVD 1929 DATUM.
 13. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 14. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 15. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 16. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 17. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2016.
 18. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 19. FEATURES OBSCURED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.



PREPARED BY:
BENCHMARK ASSOCIATES
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
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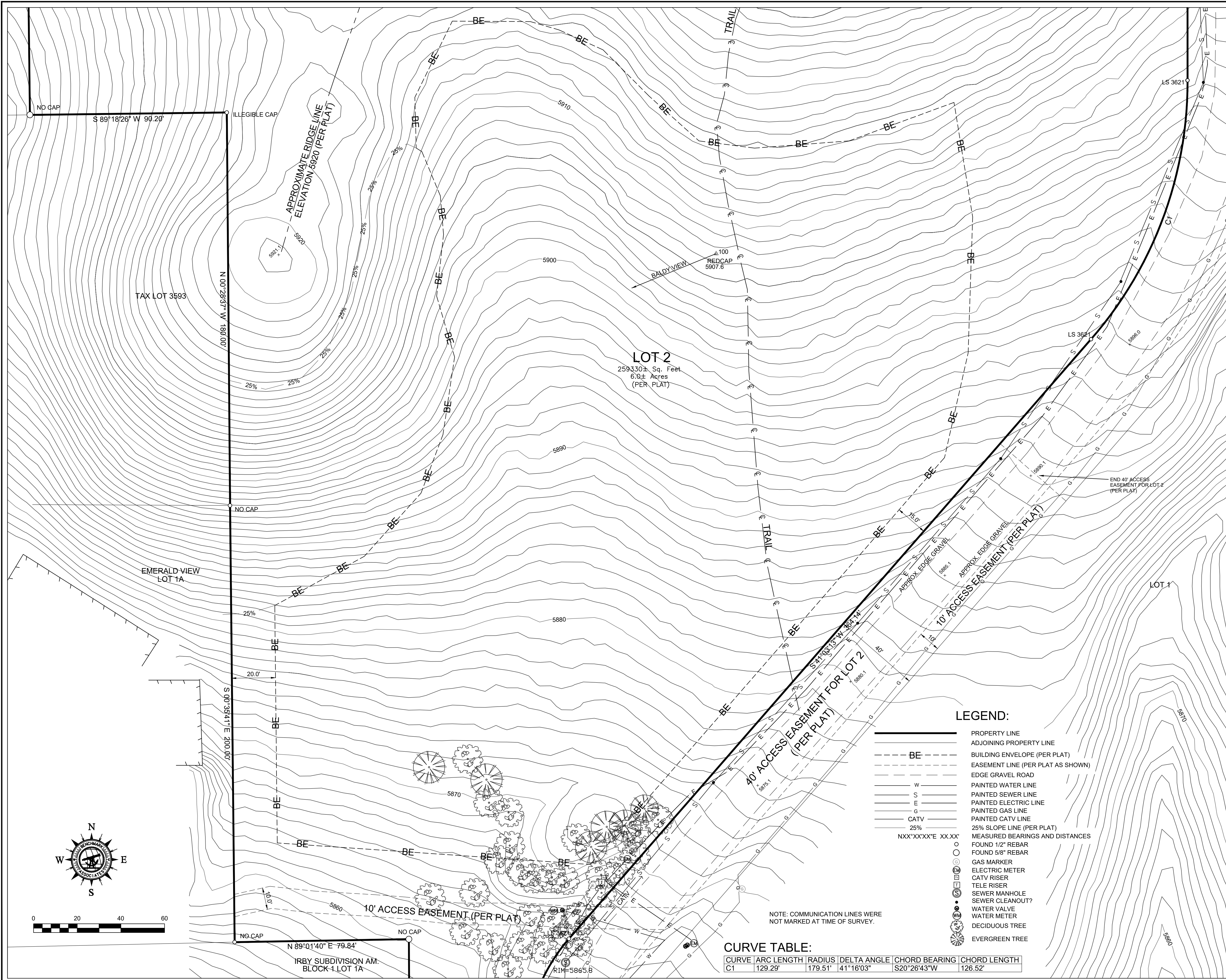


**ESMERELDA SOUTH
BLOCK 1, LOT 2**

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: MICHAEL AND GAILYNN McGAVICK

PROJECT NO. 21127	DWG BY: DWS	CRD: 21127.CRD	21127 TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 3/31/2022	SHEET: 1 OF 1	



LEGEND:

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - BE BUILDING ENVELOPE (PER PLAT)
- - - EASEMENT LINE (PER PLAT AS SHOWN)
- - - EDGE GRAVEL ROAD
- - - PAINTED WATER LINE
- - - S PAINTED SEWER LINE
- - - E PAINTED ELECTRIC LINE
- - - G PAINTED GAS LINE
- - - CATV PAINTED CATV LINE
- - - 25% 25% SLOPE LINE (PER PLAT)
- - - NXX°XX'XX"E XX.XX' MEASURED BEARINGS AND DISTANCES
- FOUND 1/2" REBAR
- FOUND 5/8" REBAR
- GAS MARKER
- ELECTRIC METER
- CATV RISER
- TELE RISER
- SEWER MANHOLE
- SEWER CLEANOUT?
- WATER VALVE
- WATER METER
- DECIDUOUS TREE
- EVERGREEN TREE

CURVE TABLE:

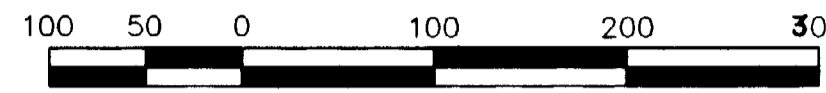
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	129.29'	179.51'	141°16'03"	S20°26'43"W	126.52'

NOTE: COMMUNICATION LINES WERE NOT MARKED AT TIME OF SURVEY.

A PLAT SHOWING ESMERALDA SOUTH SUBDIVISION

WHEREIN LOT 1A, BLOCK 1, ESMERALDA SUBDIVISION IS SUBDIVIDED INTO LOTS 1, 2, & 3
LOCATED WITHIN
SECTION 18 T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JUNE 1998



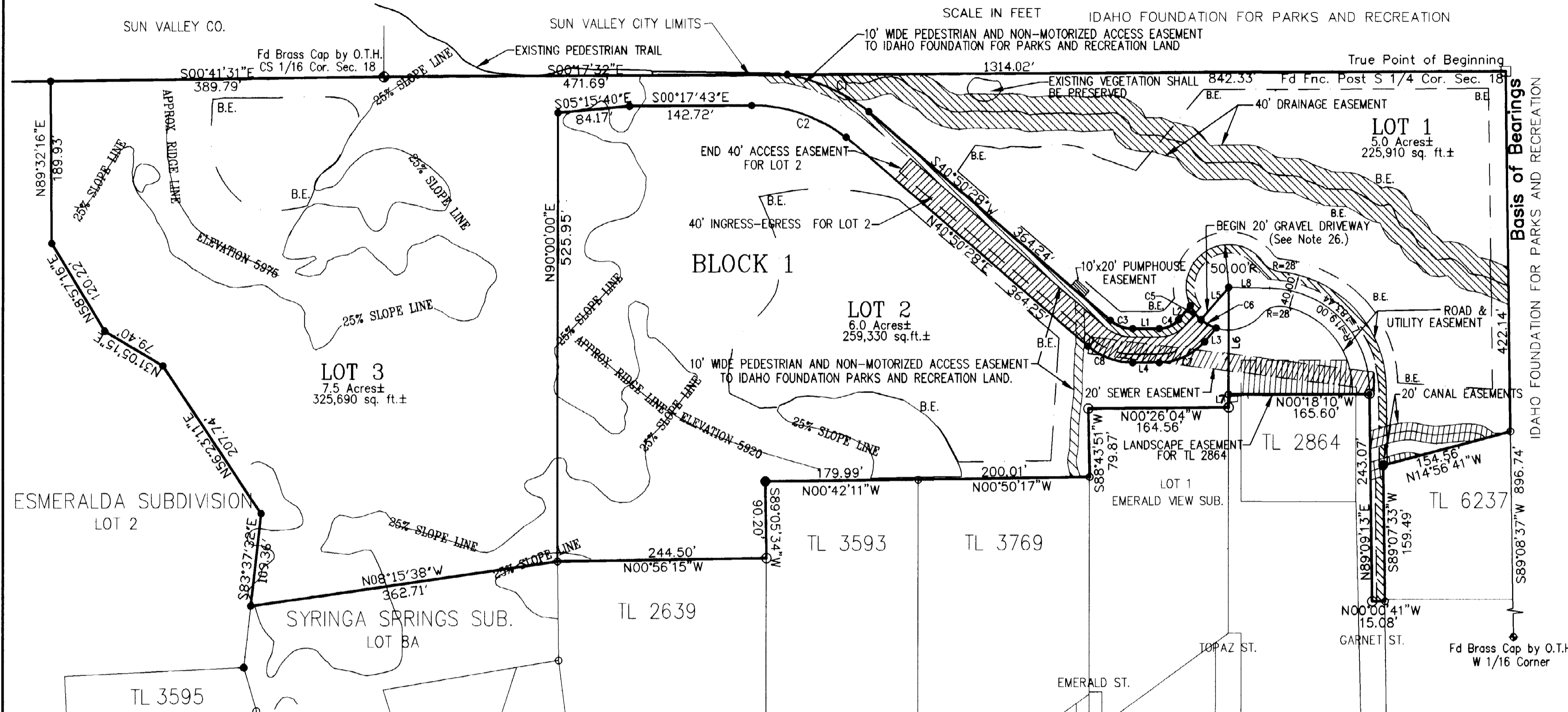
Z
SCALE: 1" = 100'

BASIS OF BEARINGS IS ORIGINAL PLAT OF
ESMERALDA SUBDIVISION, INST. NO. 386969

LEGEND

- Found Brass Cap
- Found 5/8" Rebar
- Found 1/2" Rebar
- Set 1/2" Rebar, L.S. 3621
- Set 5/8" Rebar, L.S. 3621
- ⊙ Fd Iron Pipe
- Fd Galvanized Iron Fence Post
- ▨ Easement
- B.E. Building Envelope
- Approx. Ridge Line
- 25% SLOPE LINE
- Property Line
- Slopes Greater Than 25%

LINE TABLE		
LINE	LENGTH	BEARING
L1	31.10	S00°00'00"E
L2	21.02	N49°31'09"W
L3	21.05	N49°31'09"W
L4	31.10	N00°00'00"E
L5	50.00	N49°33'07"W
L6	125.66	N89°59'30"E
L7	15.23	S89°08'45"W
L8	48.26	S00°49'53"W

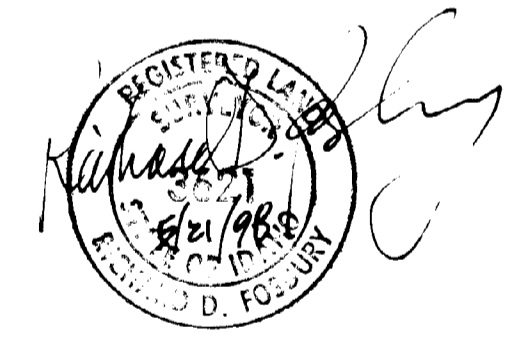


NOTES:

1. This entire subdivision is zoned Limited Residential and Mountain Overlay.
2. All building envelopes have been established by Ketchum Ordinance No. 316 and Ketchum Zoning Ordinance 208, Section 19, Ketchum Mountain Overlay Zoning District. Any changes to building envelopes shall require the applicant to go through the Subdivision procedure and obtain Ketchum Mountain Overlay Design Review approval.
3. All grading and construction activity and all fencing shall be subject to Ketchum Mountain Overlay Design Review (KMODR).
4. All natural existing vegetation outside of building envelopes shall be preserved (with exception of driveway connections from the access road and livestock grazing as pursuant to Note 5).
5. Livestock grazing shall be limited to 15% of the lot area.
6. Each lot is restricted to no more than one horse per acre.
7. This development recognizes Section 22-4503 of the Idaho code, The Right To Farm, which states "Agricultural operation or an appurtenance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided that the provisions of this section shall not apply whenever a nuisance results from the improper or negligent operation of any agricultural operation or appurtenance to it".
8. Maximum building height is restricted to 28 feet on Lots 1, 2 & 3.
9. No portion of a structure on Lot 2 shall exceed elevation 5920 feet and/or be visible above the ridgeline, as determined by KMODR.

10. No portion of a structure on Lot 3 shall exceed elevation 5975 feet and/or be visible above the ridgeline, as determined by KMODR.
11. All lots shall provide adequate access for Fire Suppression Services as approved by Ketchum Fire Chief.
12. All residential structures shall install automatic fire sprinklers approved by the Ketchum Fire Chief and be of Type V-1 hour construction.
13. Sewer utilities to the manhole in Lot 2 and Water utilities up to the pumphouse easement in Lot 1 shall be dedicated to the City of Ketchum.
14. A pumphouse easement is reserved, as illustrated on plat, for Lot 3 on Lot 1.
15. A 40 foot drainage easement is reserved as illustrated on the plat to preserve existing vegetation and natural runoff. No fill, excavation or disturbance of vegetation shall occur within this easement.
16. A 20 foot maintenance easement for the benefit of the Weyakkin Homeowners Association and the Idaho Foundation For Parks and Recreation Land is reserved for the existing Weyakkin/Reinheimer Canal. Existing vegetation shall be preserved within a 40 easement centered on the canals.
17. The 40 foot landscape easement on Lot 1 for the benefit of TL 2864 shall be improved with landscaping and maintained by Lot 1.
18. A 10 foot pedestrian & non-motorized easement is reserved, as illustrated on the plat, for access through said subdivision from Garnet Street to the Idaho Foundation For Parks & Recreation Lands.

19. A 10 foot pedestrian & non-motorized easement is reserved, as illustrated on the plat, for access through Lot 2 from the property at the end of Emerald Street to the Garnet Street pedestrian easement.
20. The lot owner doing construction shall be responsible for the installation of speed bumps, the posting of the speed limit to be determined by the City, and construction cleanup and dust abatement on an assigned basis, on Garnet Street as determined by the City.
21. A 20 foot sewer easement on Lot 1 and Lot 2 is reserved, as illustrated on the plat, for maintenance for the City of Ketchum.
22. The 40 foot road and utility easement over the paved portion of Garnet Street within said subdivision shall be for maintenance and access for the City of Ketchum for the purpose of snowplowing.
23. The gravel portion of Garnet Street shall remain unimproved per recorded agreement dated February 8, 1996 between Carl Curtis, City of Ketchum, and Garnet Street neighbors, Instrument No. 403847 dated February 2, 1996, recorded July 15, 1997.
24. The paved portion of Garnet Street in this subdivision is considered a private road and shall be maintained by Lot 1 with all the costs shared equally between Lots 1, 2, and 3.
25. A 40 foot access easement for Lot 2 overlays the Lot 3 Flag Lot for approximately 450 feet.
26. If Lot 3 gravel driveway is oiled it shall be chipsealed with earth tone gravel.
27. Front lot lines for Lots 1 & 2 shall be those lot lines adjacent to the Lot 3 flaglot.



RICHARD D. FOSBURY, L.S. 3621

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	115.92'	220.00'	30°11'27"	114.59'	N25°44'45"E
C2	129.21'	180.00'	41°07'47"	126.46'	N20°16'22"E
C3	28.51'	40.00'	40°50'28"	27.91'	S20°25'14"W
C4	28.51'	40.00'	40°50'28"	27.91'	S20°25'14"W
C5	25.93'	30.00'	49°31'09"	25.13'	S24°45'34"E
C6	20.57'	50.00'	23°34'31"	20.43'	S52°14'08"W
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C9	57.03'	90.00'	40°50'28"	55.93'	S20°25'14"W

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of disapproval.

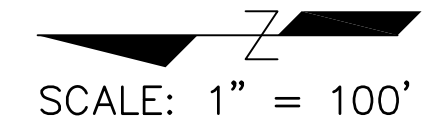
5-26-98 *Robert W. Erickson*
Date South Central District Health Dept., EHS

ESMERALDA SOUTH
SUBDIVISION
GALENA ENGINEERING,
INC.
KETCHUM, IDAHO
SHEET 1 OF 2
Job No. 2910

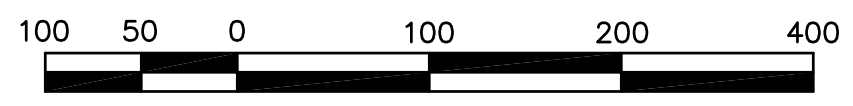
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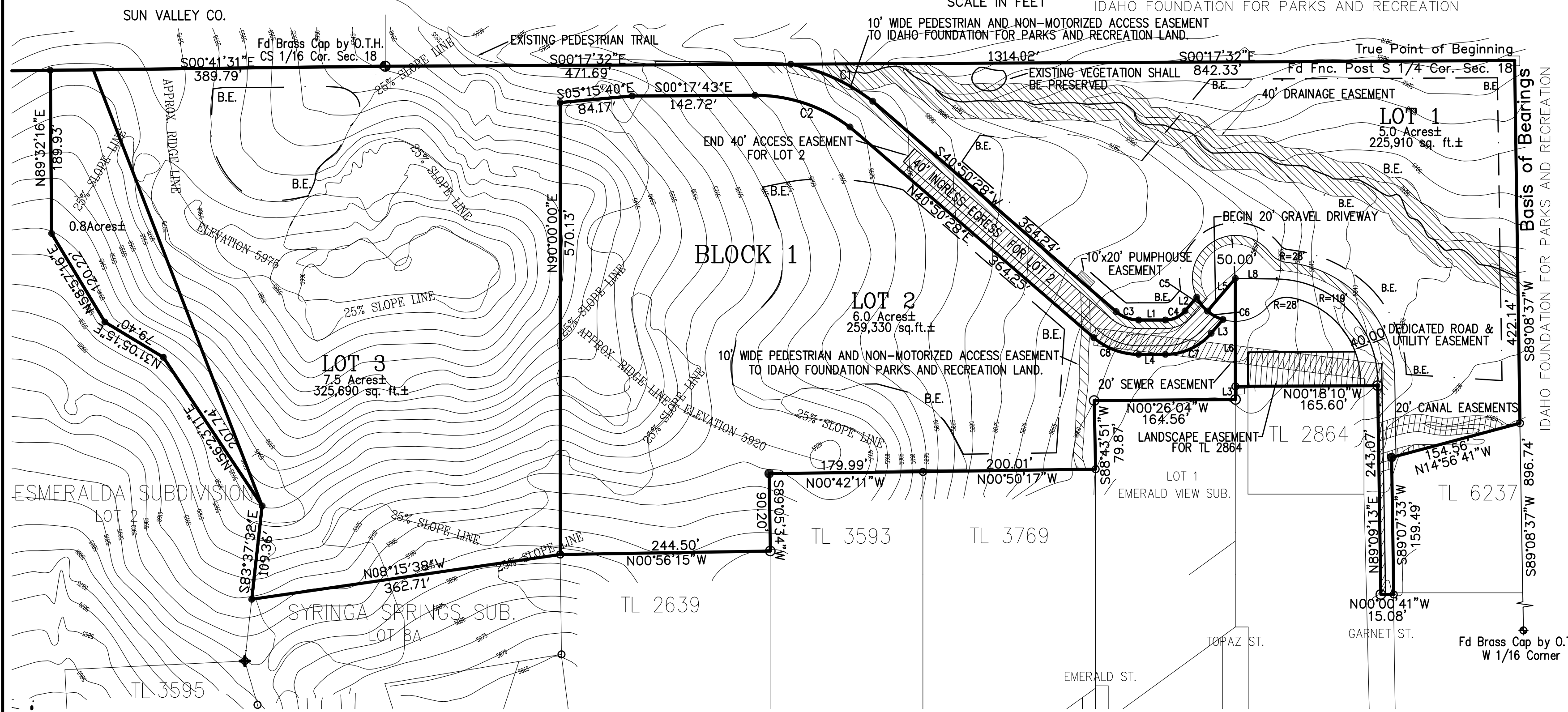
MARCH 1998



BASIS OF BEARINGS IS ORIGINAL PLAT OF
ESMERALDA SUBDIVISION, INST. NO. 386969



SCALE IN FEET IDAHO FOUNDATION FOR PARKS AND RECREATION



LEGEND

- Found Brass Cap
- Found 5/8" Rebar
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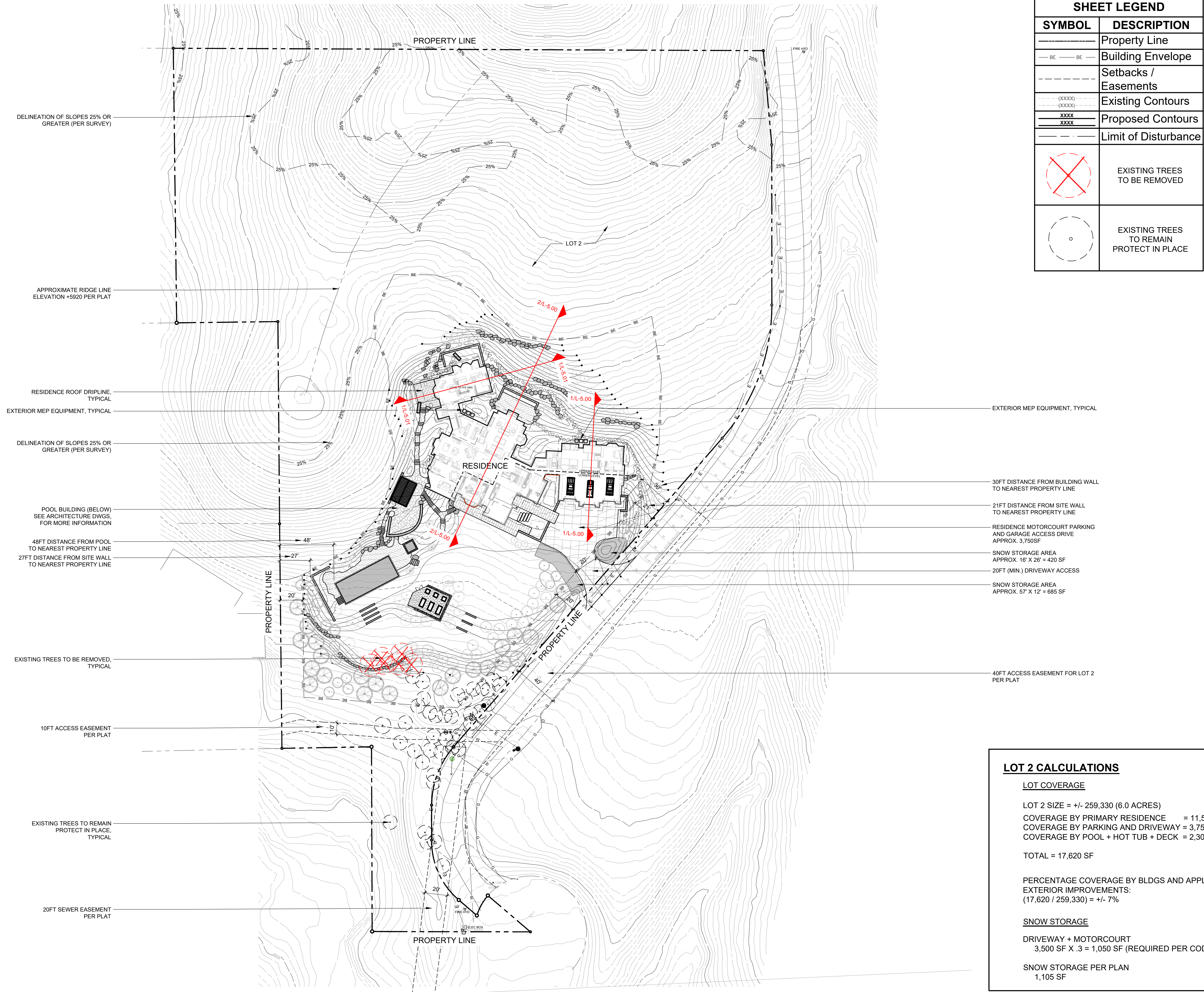
RICHARD D. FOSBURY, L.S. 3621

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Date _____ South Central District Health Dept., EHS

ESMERALDA SOUTH
SUBDIVISION
GALENA ENGINEERING,
INC.
KETCHUM, IDAHO
SHEET 1 OF 2
Job No. 2910



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE --- BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance
(Red X)	EXISTING TREES TO BE REMOVED
(Circle)	EXISTING TREES TO REMAIN PROTECT IN PLACE

DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

APPROXIMATE RIDGE LINE ELEVATION +5920 PER PLAT

RESIDENCE ROOF DRIPLINE, TYPICAL
EXTERIOR MEP EQUIPMENT, TYPICAL

DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

POOL BUILDING (BELOW) SEE ARCHITECTURE DWGS. FOR MORE INFORMATION

48FT DISTANCE FROM POOL TO NEAREST PROPERTY LINE
27FT DISTANCE FROM SITE WALL TO NEAREST PROPERTY LINE

EXISTING TREES TO BE REMOVED, TYPICAL

10FT ACCESS EASEMENT PER PLAT

EXISTING TREES TO REMAIN PROTECT IN PLACE, TYPICAL

20FT SEWER EASEMENT PER PLAT

EXTERIOR MEP EQUIPMENT, TYPICAL

30FT DISTANCE FROM BUILDING WALL TO NEAREST PROPERTY LINE

21FT DISTANCE FROM SITE WALL TO NEAREST PROPERTY LINE

RESIDENCE MOTORCOURT PARKING AND GARAGE ACCESS DRIVE APPROX. 3,750SF

SNOW STORAGE AREA APPROX. 16' X 26' = 420 SF

20FT (MIN.) DRIVEWAY ACCESS

SNOW STORAGE AREA APPROX. 57' X 12' = 685 SF

40FT ACCESS EASEMENT FOR LOT 2 PER PLAT

LOT 2 CALCULATIONS

LOT COVERAGE

LOT 2 SIZE = +/- 259,330 (6.0 ACRES)
 COVERAGE BY PRIMARY RESIDENCE = 11,570 SF
 COVERAGE BY PARKING AND DRIVEWAY = 3,750 SF
 COVERAGE BY POOL + HOT TUB + DECK = 2,300 SF
 TOTAL = 17,620 SF

PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS:
 (17,620 / 259,330) = +/- 7%

SNOW STORAGE

DRIVEWAY + MOTORCOURT
 3,500 SF X .3 = 1,050 SF (REQUIRED PER CODE)
 SNOW STORAGE PER PLAN
 1,105 SF

ISSUE	DATE	DESCRIPTION
1	07/12/22	MTA OVERLAY DESIGN REVIEW
2	09/09/22	MOD PRE-APP REVISED DWGS

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 BYLA Landscape Architects

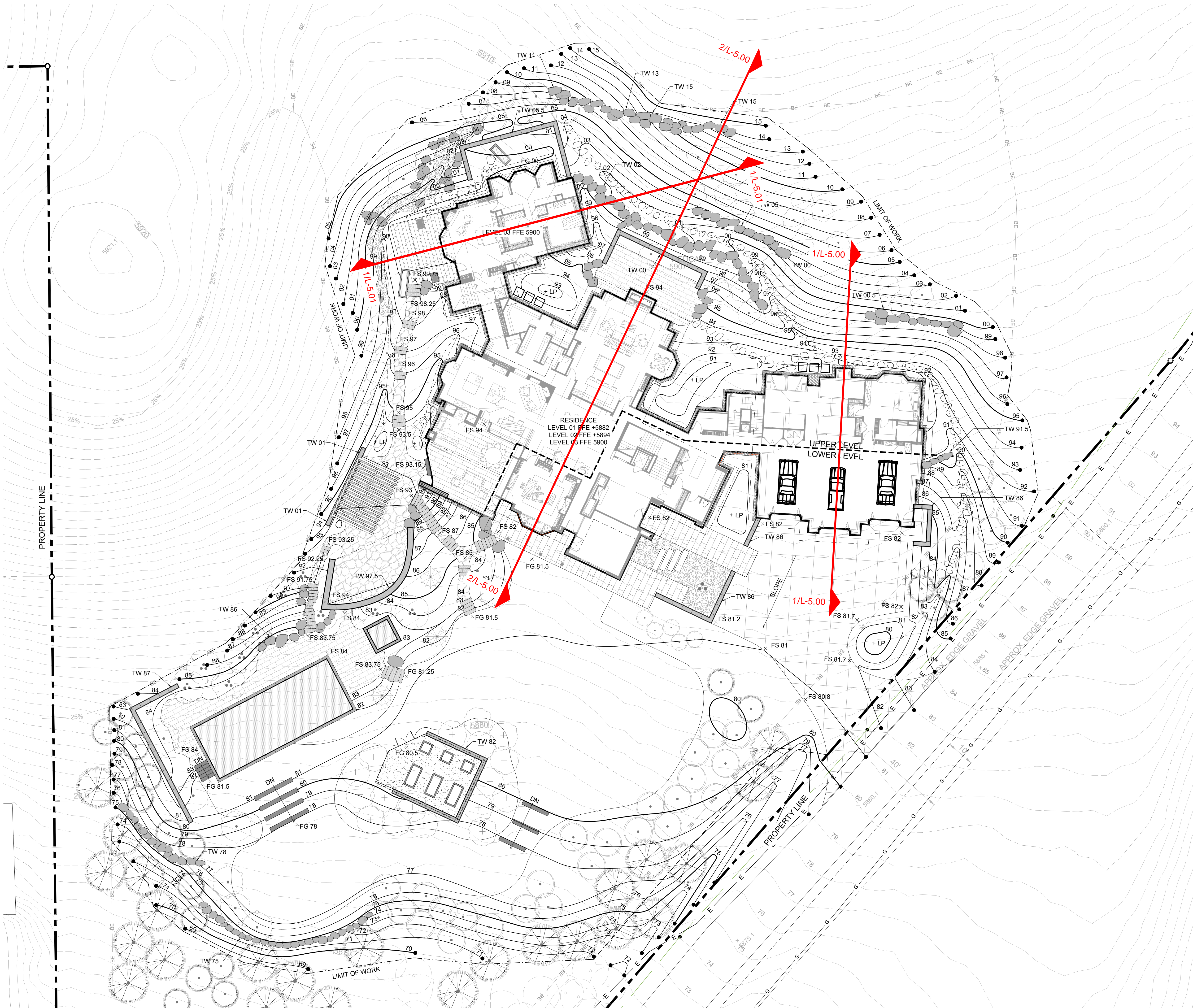
LANDSCAPE DESIGN
McGAVICK RESIDENCE
 KETCHUM, ID

FILENAME: -
 PROJECT MANAGER: **EM**
 DRAWN BY:
 ISSUE DATE: **09/09/2022**

OVERALL SITE PLAN

SHEET NO.

L-1.00



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	Catch Basin
●	Dry Well
X.X%	Grade Pitch
→	Drainage Swale
+H.P.S	High Point of Swale
FFE	Finish Floor Elevation
10.5000	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TC	Top of Coping
TB	Top of Boulder
LP	Low Point
HP	High Point

- NOTES**
- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
 - REFER TO ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).
 - GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSES ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR.
 - CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
 - CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
 - ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR - HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
 - EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
 - ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.

LANDSCAPE DESIGN
MCGAVICK RESIDENCE
KETCHUM, ID

FILENAME: -
PROJECT MANAGER: **EM**
DRAWN BY:
ISSUE DATE: **09/09/2022**

**SITE GRADING +
DRAINAGE PLAN**

SHEET NO.

L-2.00

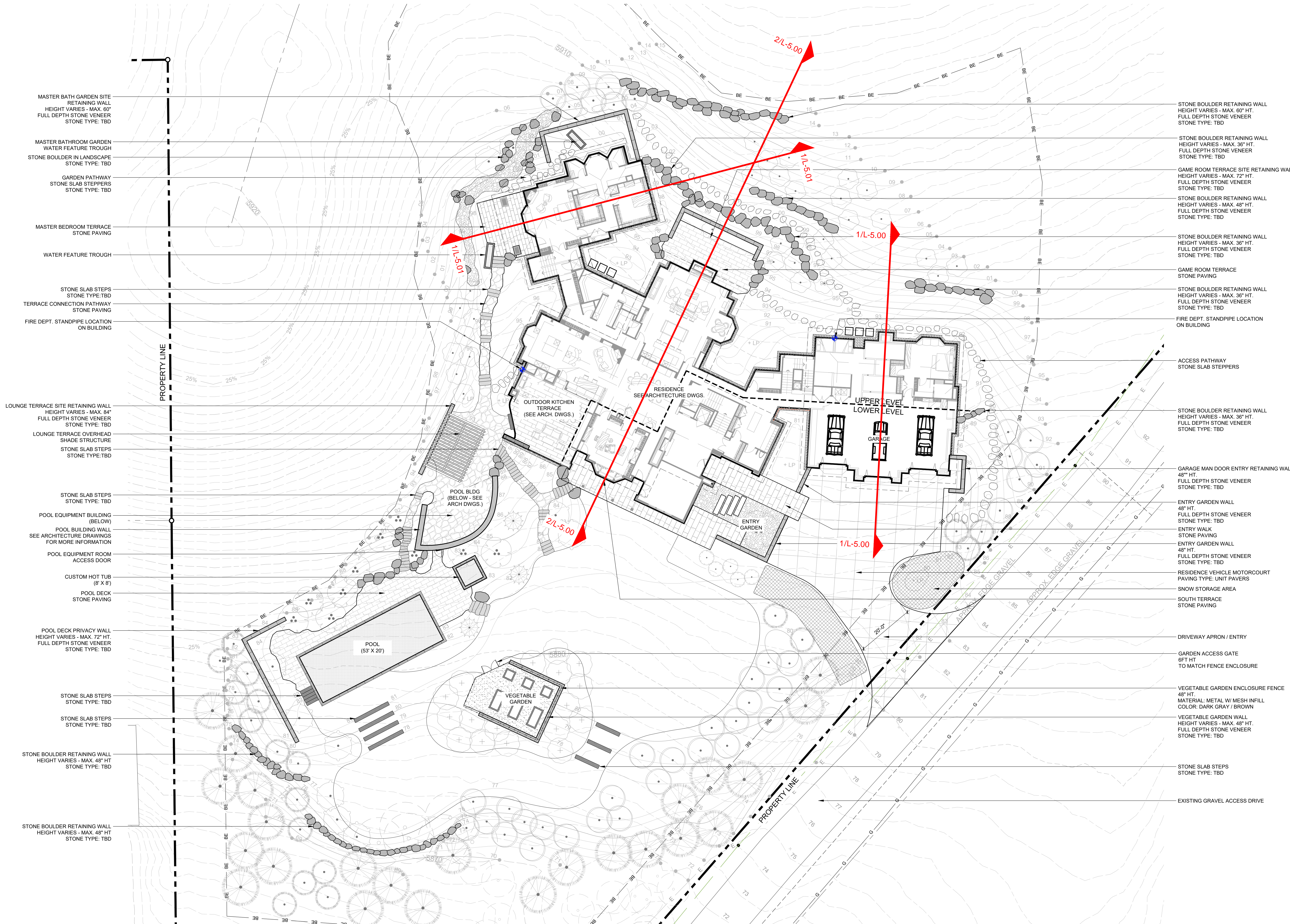
LANDSCAPE DESIGN
McGAVICK RESIDENCE
KETCHUM, ID

FILENAME: -
PROJECT MANAGER: **EM**
DRAWN BY:
ISSUE DATE: **09/09/2022**

SITE MATERIALS
+ LAYOUT PLAN

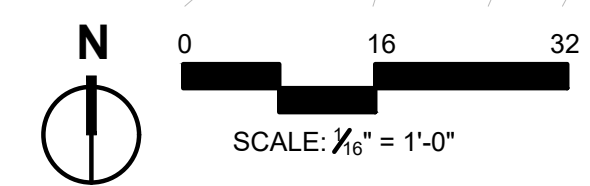
SHEET NO.

L-3.00



- MASTER BATH GARDEN SITE RETAINING WALL
HEIGHT VARIES - MAX. 60" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- MASTER BATHROOM GARDEN
WATER FEATURE TROUGH
- STONE BOULDER IN LANDSCAPE
STONE TYPE: TBD
- GARDEN PATHWAY
STONE SLAB STEPPERS
STONE TYPE: TBD
- MASTER BEDROOM TERRACE
STONE PAVING
- WATER FEATURE TROUGH
- STONE SLAB STEPS
STONE TYPE: TBD
- TERRACE CONNECTION PATHWAY
STONE PAVING
- FIRE DEPT. STANDPIPE LOCATION
ON BUILDING
- LOUNGE TERRACE SITE RETAINING WALL
HEIGHT VARIES - MAX. 84"
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- LOUNGE TERRACE OVERHEAD
SHADE STRUCTURE
- STONE SLAB STEPS
STONE TYPE: TBD
- STONE SLAB STEPS
STONE TYPE: TBD
- POOL EQUIPMENT BUILDING
(BELOW)
- POOL BUILDING WALL
SEE ARCHITECTURE DRAWINGS
FOR MORE INFORMATION
- POOL EQUIPMENT ROOM
ACCESS DOOR
- CUSTOM HOT TUB
(8' X 8')
- POOL DECK
STONE PAVING
- POOL DECK PRIVACY WALL
HEIGHT VARIES - MAX. 72" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- STONE SLAB STEPS
STONE TYPE: TBD
- STONE SLAB STEPS
STONE TYPE: TBD
- STONE BOULDER RETAINING WALL
HEIGHT VARIES - MAX. 48" HT.
STONE TYPE: TBD
- STONE BOULDER RETAINING WALL
HEIGHT VARIES - MAX. 48" HT.
STONE TYPE: TBD

- STONE BOULDER RETAINING WALL
HEIGHT VARIES - MAX. 60" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- STONE BOULDER RETAINING WALL
HEIGHT VARIES - MAX. 36" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- GAME ROOM TERRACE SITE RETAINING WALL
HEIGHT VARIES - MAX. 72" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- STONE BOULDER RETAINING WALL
HEIGHT VARIES - MAX. 48" HT.
FULL DEPTH STONE VENEER
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STONE TYPE: TBD
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STONE PAVING
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STONE TYPE: TBD
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ON BUILDING
- ACCESS PATHWAY
STONE SLAB STEPPERS
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HEIGHT VARIES - MAX. 36" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- GARAGE MAN DOOR ENTRY RETAINING WALL
48" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- ENTRY GARDEN WALL
48" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- ENTRY WALK
STONE PAVING
- ENTRY GARDEN WALL
48" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- RESIDENCE VEHICLE MOTORCOURT
PAVING TYPE: UNIT PAVERS
- SNOW STORAGE AREA
- SOUTH TERRACE
STONE PAVING
- DRIVEWAY APRON / ENTRY
- GARDEN ACCESS GATE
6FT HT
TO MATCH FENCE ENCLOSURE
- VEGETABLE GARDEN ENCLOSURE FENCE
48" HT.
MATERIAL: METAL W/ MESH INFILL
COLOR: DARK GRAY / BROWN
- VEGETABLE GARDEN WALL
HEIGHT VARIES - MAX. 48" HT.
FULL DEPTH STONE VENEER
STONE TYPE: TBD
- STONE SLAB STEPS
STONE TYPE: TBD
- EXISTING GRAVEL ACCESS DRIVE



PLANTING NOTES:

1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET, AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
2. MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
3. FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE, PRIOR TO LANDSCAPE INSTALLATION.
4. PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
5. PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
6. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
PLANTING DETAILS: REFER TO PLANTING DETAILS AND OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
8. PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
9. INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
10. STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
11. WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
12. WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

SOIL PREPARATION NOTES:

1. BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL.
2. DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.
LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOIL'S:
COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
4. THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
5. SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
6. TURF/SOD PREPARATION: PREPARE SOILS IN SEED AND SOD AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 4" BELOW FINISHED SOIL SURFACE

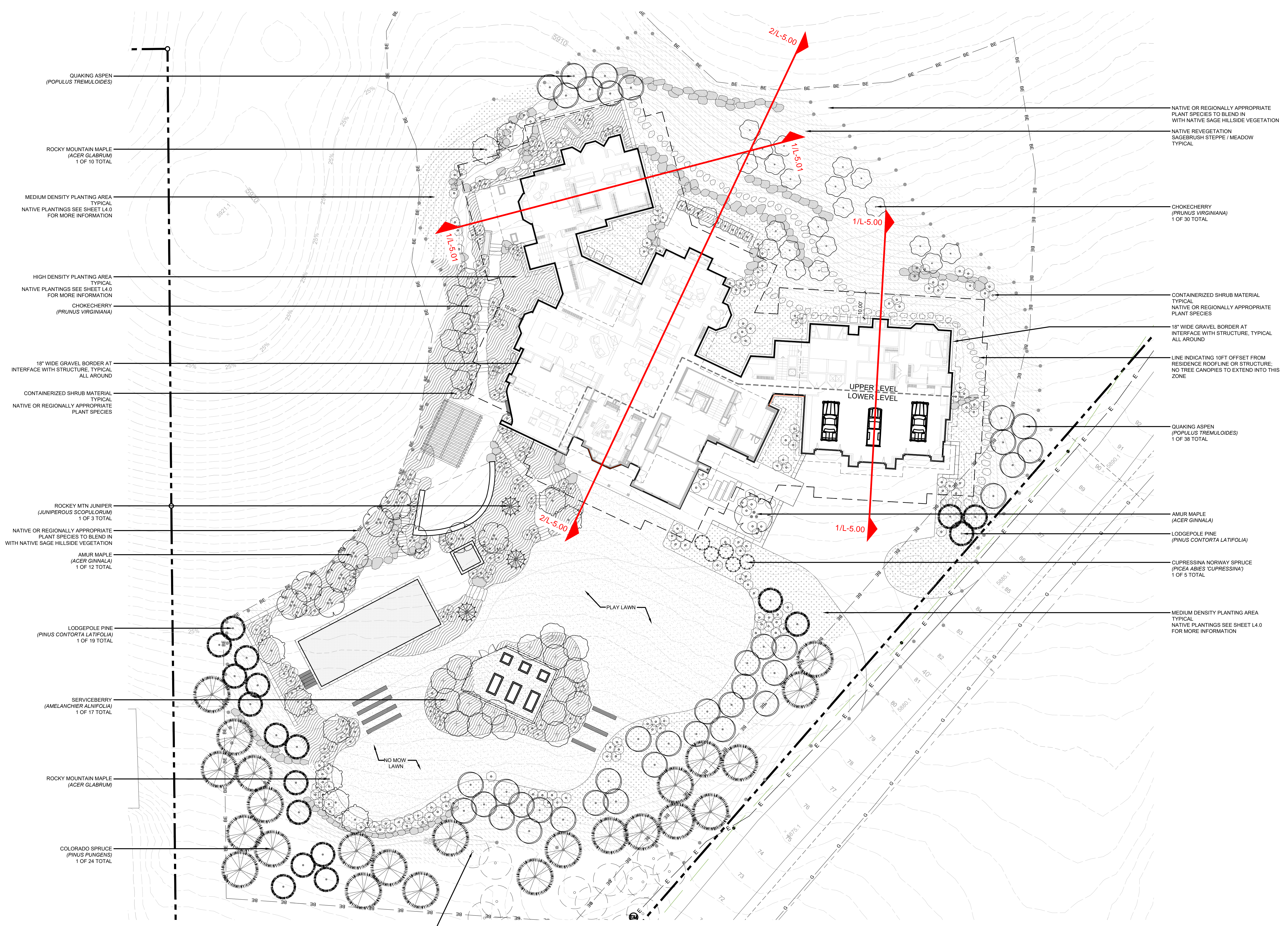
IRRIGATION NOTES:

1. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
2. SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
3. LAWN AREAS: SHALL BE IRRIGATED BY SUBSURFACE DRIP TUBING WITH A PERMANENT AUTOMATIC SYSTEM.
4. SHRUB, TREE, AND GROUND COVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM.
5. DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
6. SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK - CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
7. SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
8. UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

PLANTING SCHEDULE

TREES				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	AG	AMUR MAPLE <i>ACER GINNALA</i>	12 TOTAL AT 10' HT.	PER PLAN
	AL	ROCKY MOUNTAIN MAPLE <i>ACER GLABRUM</i>	10 TOTAL AT 10' HT.	PER PLAN
	AA	SERVICEBERRY <i>AMELANCHIER ALNIFOLIA</i>	17 TOTAL AT 8' HT.	PER PLAN
	JS	ROCKY MOUNTAIN JUNIPER <i>JUNIPEROUS SCOPULORUM</i>	3 TOTAL AT 8' HT.	PER PLAN
	PAC	CUPRESSINA NORWAY SPRUCE <i>PICEA ABIES 'CUPRESSINA'</i>	5 TOTAL AT 12' HT.	PER PLAN
	PP	COLORADO SPRUCE <i>PICEA PUNGENS</i>	24 TOTAL AT 16' - 18' HT.	PER PLAN
	PL	LODGEPOLE PINE <i>PINUS CONTORTA LATIFOLIA</i>	19 TOTAL AT 12' - 14' HT.	PER PLAN
	PT	QUAKING ASPEN <i>POPULUS TREMULOIDES</i>	48 TOTAL AT 3" CAL.	PER PLAN
	PV	CHOCHECHERRY <i>PRUNUS VIRGINIANA</i>	30 TOTAL AT 8' - 10' HT.	PER PLAN
SHRUBS				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	-	FINAL SPECIES SELECTED TO BE NATIVE OR REGIONALLY APPROPRIATE PLANT SPECIES	CONTAINERIZED SHRUB MATERIAL 120 LARGE 204 SMALL	PER PLAN
PERENNIALS				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	-	HIGH DENSITY PLANTING AREA FINAL SPECIES SELECTED TO BE NATIVE OR REGIONALLY APPROPRIATE PLANT SPECIES	9,250 SF 5 GAL / 2 GAL / 1 GAL	TBD BY SPECIES
	-	MEDIUM DENSITY PLANTING AREA FINAL SPECIES SELECTED TO BE NATIVE OR REGIONALLY APPROPRIATE PLANT SPECIES	11,200 SF 5 GAL / 2 GAL / 1 GAL	TBD BY SPECIES

GROUND COVER - SEEDED AREA				
SYMBOL	ZONE	SEED MIX / RATE		AREA
		COMMON NAME	RATE (LBS OF PLS / ACRE)	
	NATIVE REVEGETATION	SAGEBRUSH STEPPE / MEADOW SEED MIX TBD		13,100 SF
	PLAY LAWN	FESCUE TURF GRASS (SOD - DROUGHT TOLERANT)		5,720 SF
	NO MOW LAWN	NO MOW FESCUE GRASS		2,160 SF



- QUAKING ASPEN
(POPULUS TREMULOIDES)
- ROCKY MOUNTAIN MAPLE
(ACER GLABRUM)
1 OF 10 TOTAL
- MEDIUM DENSITY PLANTING AREA
TYPICAL
NATIVE PLANTINGS SEE SHEET L4.0
FOR MORE INFORMATION
- HIGH DENSITY PLANTING AREA
TYPICAL
NATIVE PLANTINGS SEE SHEET L4.0
FOR MORE INFORMATION
- CHOKECHERRY
(PRUNUS VIRGINIANA)
- 18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND
- CONTAINERIZED SHRUB MATERIAL
TYPICAL
NATIVE OR REGIONALLY APPROPRIATE
PLANT SPECIES
- ROCKY MOUNTAIN JUNIPER
(JUNIPERUS SCOPULORUM)
1 OF 3 TOTAL
- NATIVE OR REGIONALLY APPROPRIATE
PLANT SPECIES TO BLEND IN
WITH NATIVE SAGE HILLSIDE VEGETATION
- AMUR MAPLE
(ACER GINNALA)
1 OF 12 TOTAL
- LODGEPOLE PINE
(PINUS CONTORTA LATIFOLIA)
1 OF 19 TOTAL
- SERVICEBERRY
(AMELANCHIER ALNIFOLIA)
1 OF 17 TOTAL
- ROCKY MOUNTAIN MAPLE
(ACER GLABRUM)
- COLORADO SPRUCE
(PINUS PLINGENS)
1 OF 24 TOTAL

- NATIVE OR REGIONALLY APPROPRIATE
PLANT SPECIES TO BLEND IN
WITH NATIVE SAGE HILLSIDE VEGETATION
- NATIVE REVEGETATION
SAGEBRUSH STEPPE / MEADOW
TYPICAL
- CHOKECHERRY
(PRUNUS VIRGINIANA)
1 OF 30 TOTAL
- CONTAINERIZED SHRUB MATERIAL
TYPICAL
NATIVE OR REGIONALLY APPROPRIATE
PLANT SPECIES
- 18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND
- LINE INDICATING 10FT OFFSET FROM
RESIDENCE ROOFLINE OR STRUCTURE;
NO TREE CANOPIES TO EXTEND INTO THIS
ZONE
- QUAKING ASPEN
(POPULUS TREMULOIDES)
1 OF 38 TOTAL
- AMUR MAPLE
(ACER GINNALA)
- LODGEPOLE PINE
(PINUS CONTORTA LATIFOLIA)
- CUPRESSINA NORWAY SPRUCE
(PICEA ABIES 'CUPRESSINA')
1 OF 5 TOTAL
- MEDIUM DENSITY PLANTING AREA
TYPICAL
NATIVE PLANTINGS SEE SHEET L4.0
FOR MORE INFORMATION

LANDSCAPE DESIGN

McGAVICK RESIDENCE

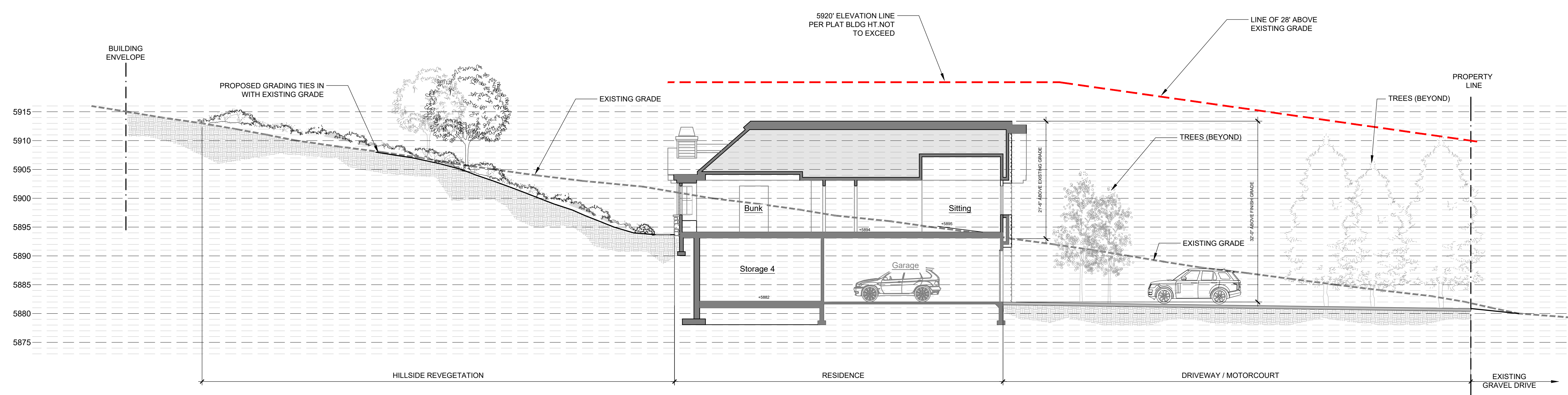
KETCHUM, ID

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ISSUE DATE: 09/09/2022

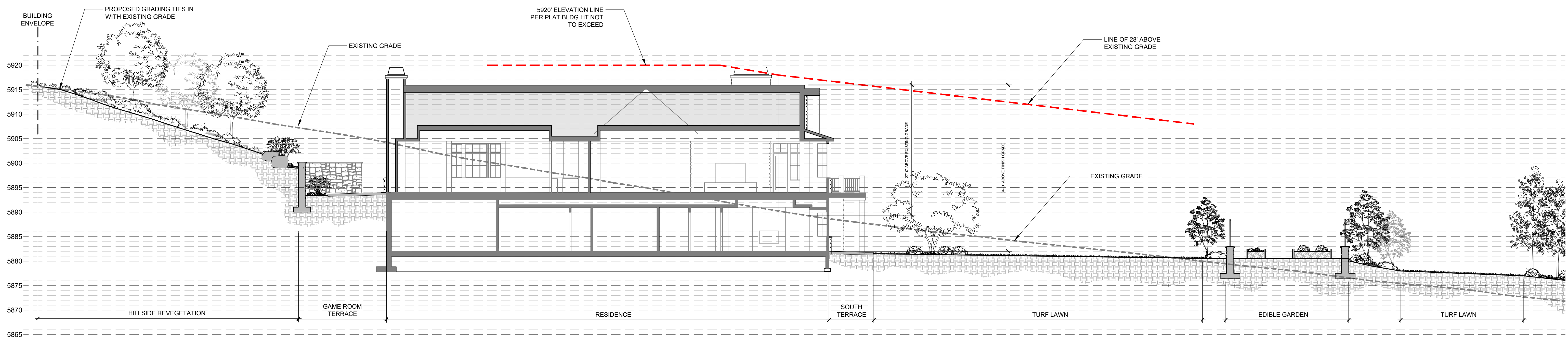
SITE PLANTING PLAN

SHEET NO.

L-4.01



1 SECTION - RESIDENCE GARAGE
SCALE 1" = 10'-0"



2 SECTION - RESIDENCE LIVING DINING ROOM
SCALE 1" = 10'-0"

ISSUE: 07/17/2022 MTA OVERLAY DESIGN REVIEW
09/09/22 MOD PREAPP REVISED DIMS

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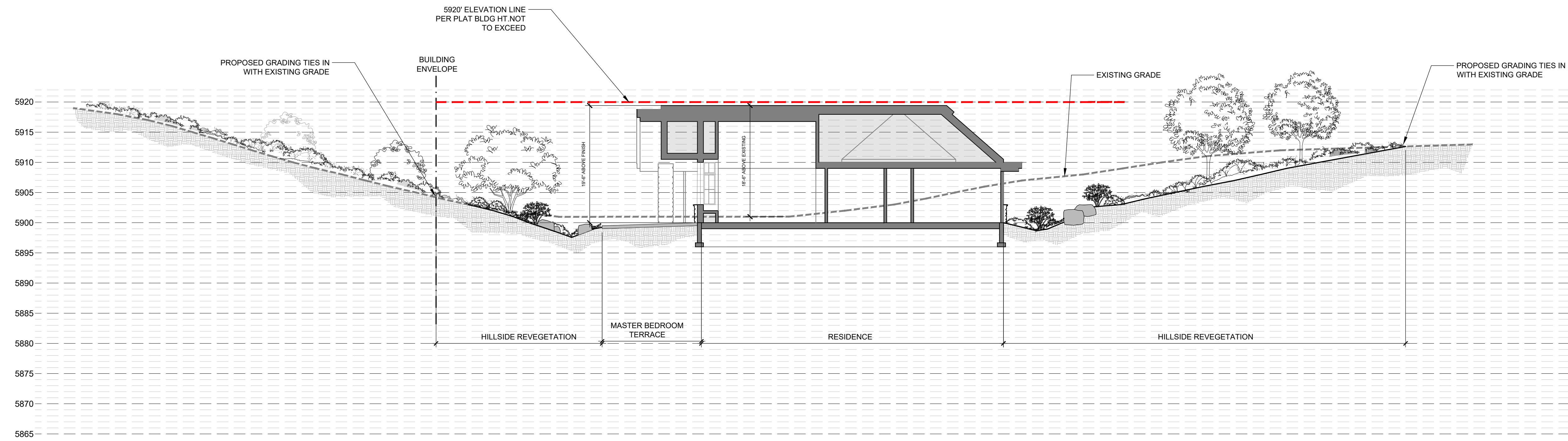
LANDSCAPE DESIGN
McGAVICK RESIDENCE
KETCHUM, ID

FILENAME:	
PROJECT MANAGER:	EM
DRAWN BY:	
ISSUE DATE:	09/09/2022

SITE SECTIONS

SHEET NO.

L-5.00



1 SECTION - RESIDENCE MASTER BEDROOM
SCALE 1" = 10'-0"

LANDSCAPE DESIGN
McGAVICK RESIDENCE
KETCHUM, ID

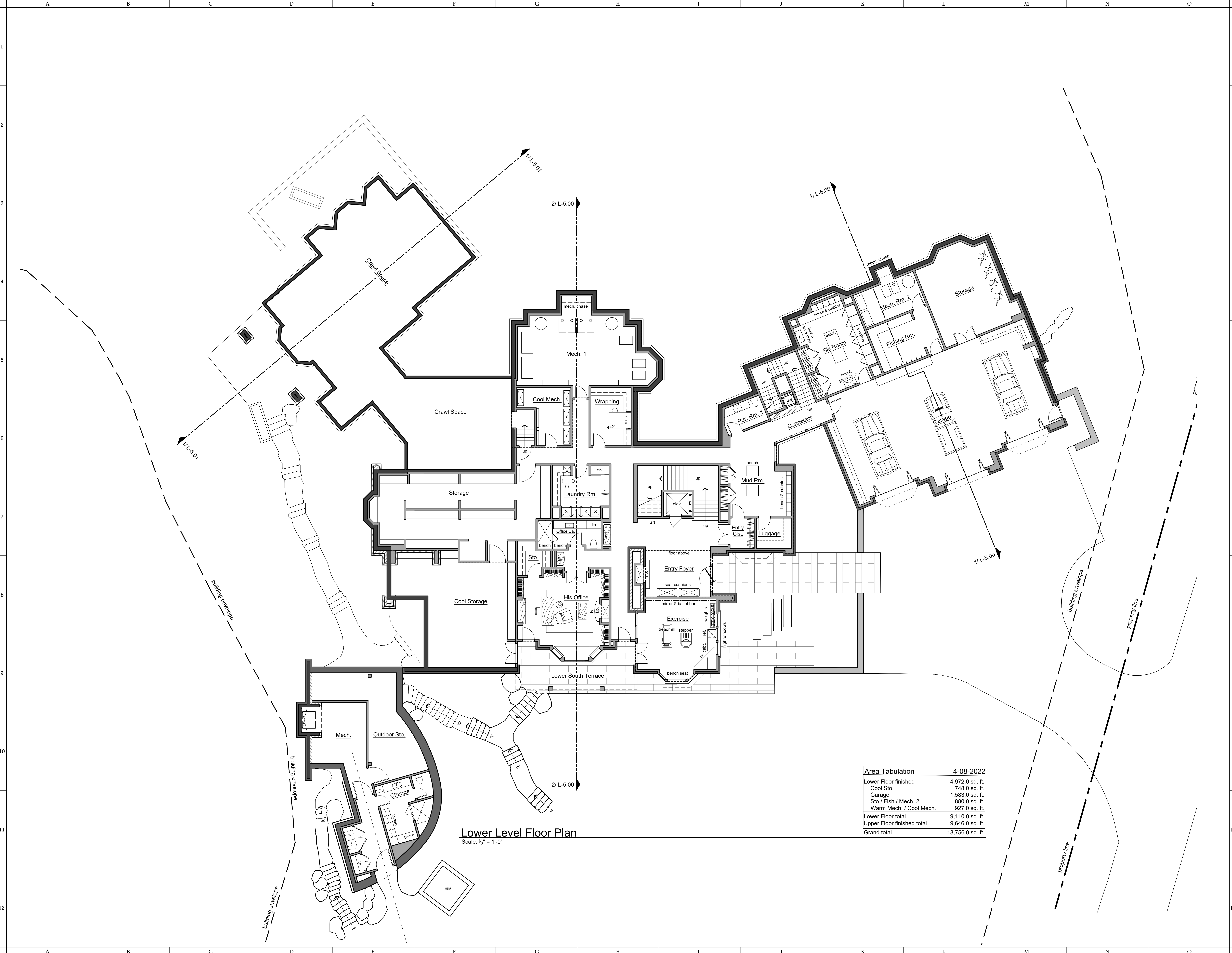
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DRAWN BY:
ISSUE DATE: 09/09/2022

SITE SECTIONS

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Lower Level Floor Plan
 Scale: 1/8" = 1'-0"

Area Tabulation		4-08-2022
Lower Floor finished	4,972.0 sq. ft.	
Cool Sto.	748.0 sq. ft.	
Garage	1,583.0 sq. ft.	
Sto./ Fish / Mech. 2	880.0 sq. ft.	
Warm Mech. / Cool Mech.	927.0 sq. ft.	
Lower Floor total	9,110.0 sq. ft.	
Upper Floor finished total	9,646.0 sq. ft.	
Grand total	18,756.0 sq. ft.	

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PROJECT INFORMATION
 Project Name: McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

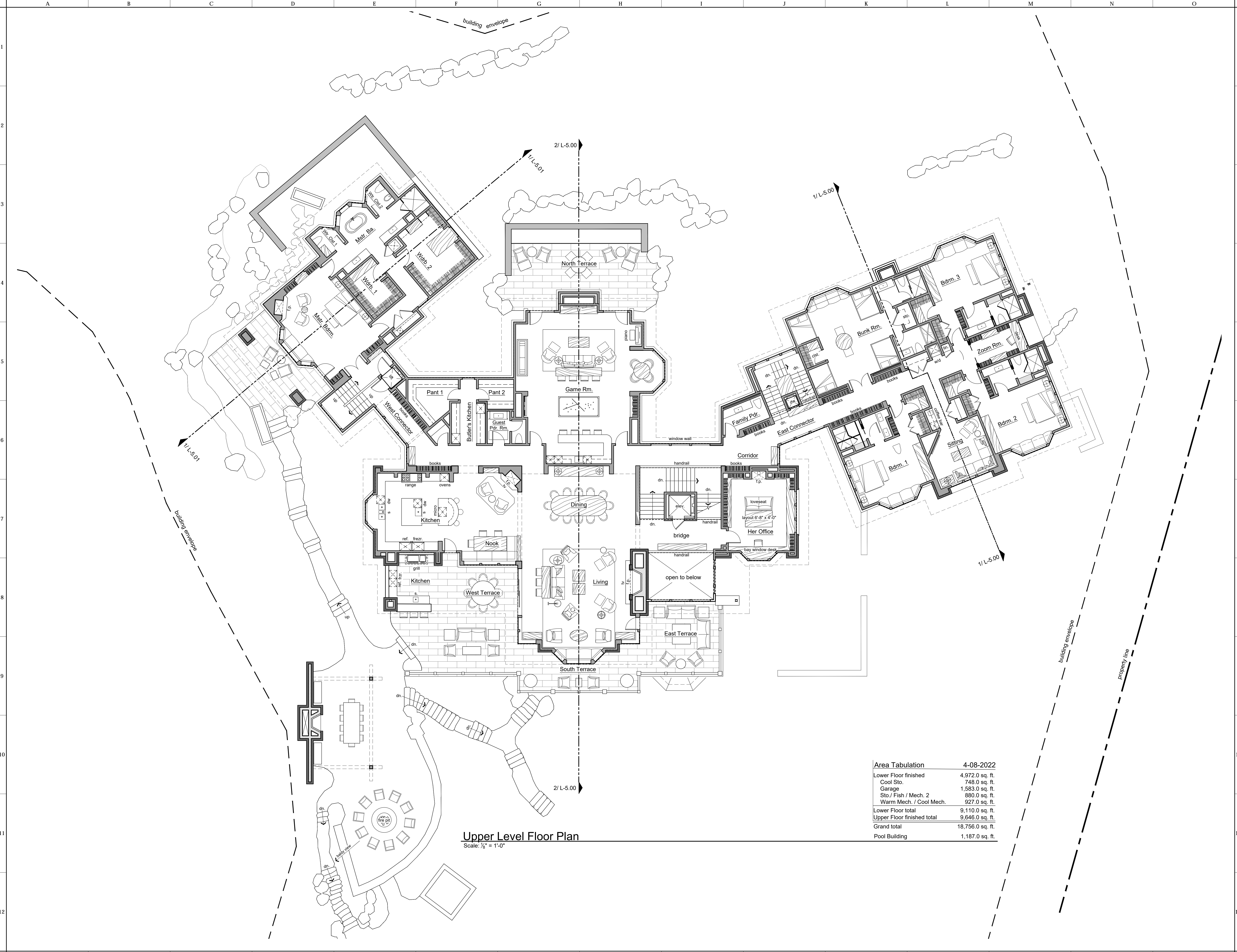
ARCHITECT INFORMATION
McLaughlin & Associates Architects
 Chartered, AIA
 208 South Lewisville Ave., 3rd Floor
 Ketchum, ID 83346
 Phone: 208.725.8282
 Fax: 208.725.8282
 www.mclaughlinarchitects.com

PROJECT STATUS
 Project Issue Date: 5-11-2022
 MOD Pre-Design Review

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Upper Level Floor Plan
Scale: 1/8" = 1'-0"

Area Tabulation 4-08-2022	
Lower Floor finished	4,972.0 sq. ft.
Cool Sto.	748.0 sq. ft.
Garage	1,583.0 sq. ft.
Sto / Fish / Mech. 2	880.0 sq. ft.
Warm Mech. / Cool Mech.	927.0 sq. ft.
Lower Floor total	9,110.0 sq. ft.
Upper Floor finished total	9,646.0 sq. ft.
Grand total	18,756.0 sq. ft.
Pool Building	1,187.0 sq. ft.

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McLaughlin & Associates Architects
 Chartered, AIA
 Project: Issue: Date:
 MOD Pre-Design Review
 5-11-2022
 Review

McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

100 South Leadville Ave. 3rd Floor
 Ketchum, ID 83340
 telephone: 208.725.8282
 fax: 208.725.8282
 www.mclaughlinarchitects.com

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C:\Users\bernie\Dropbox\McGavick 2021\Drawings\AutoCAD\Archives\2022-04-13 archive\BASE ELEVATIONS SECTIONS.dwg

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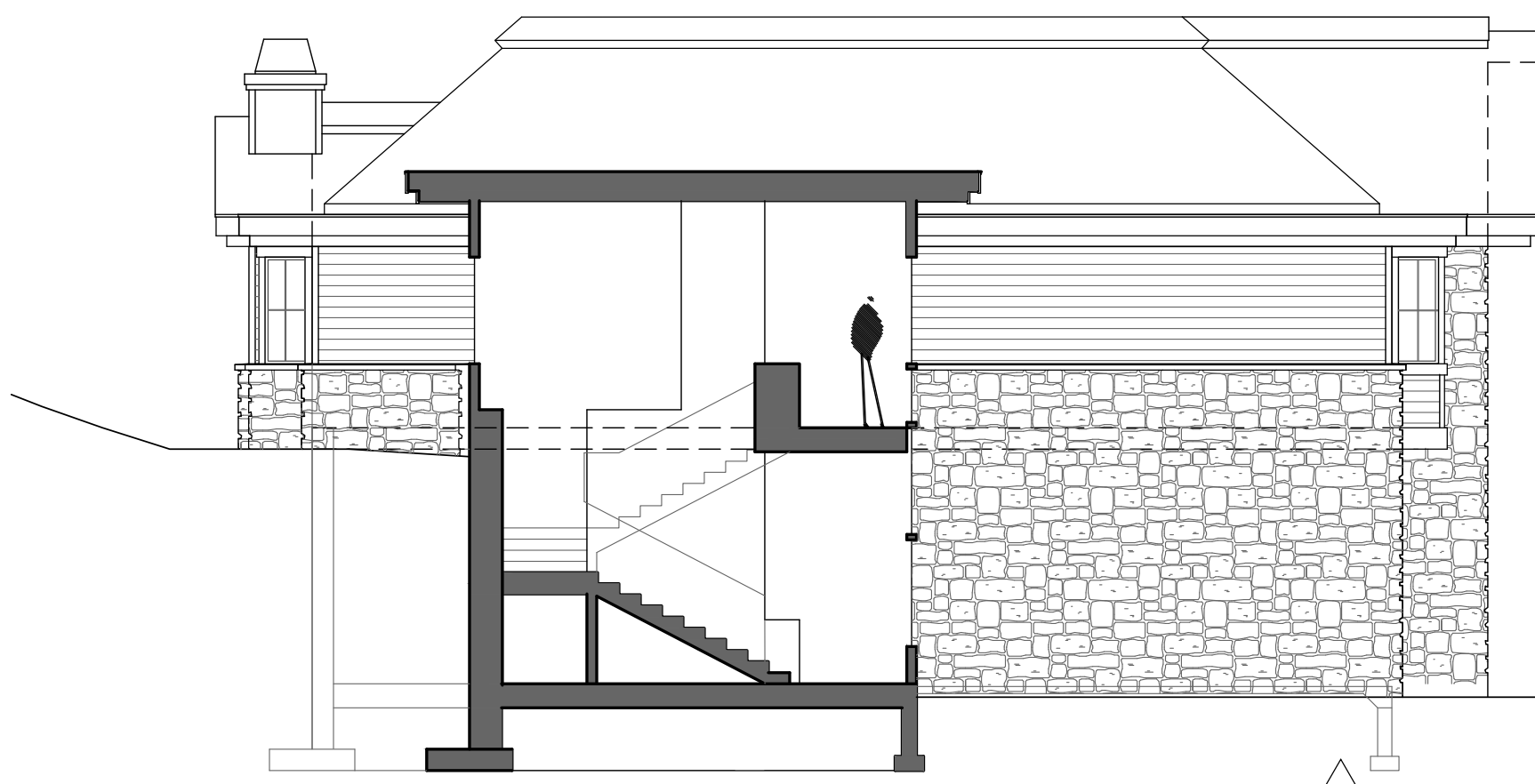
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Exterior Elevation
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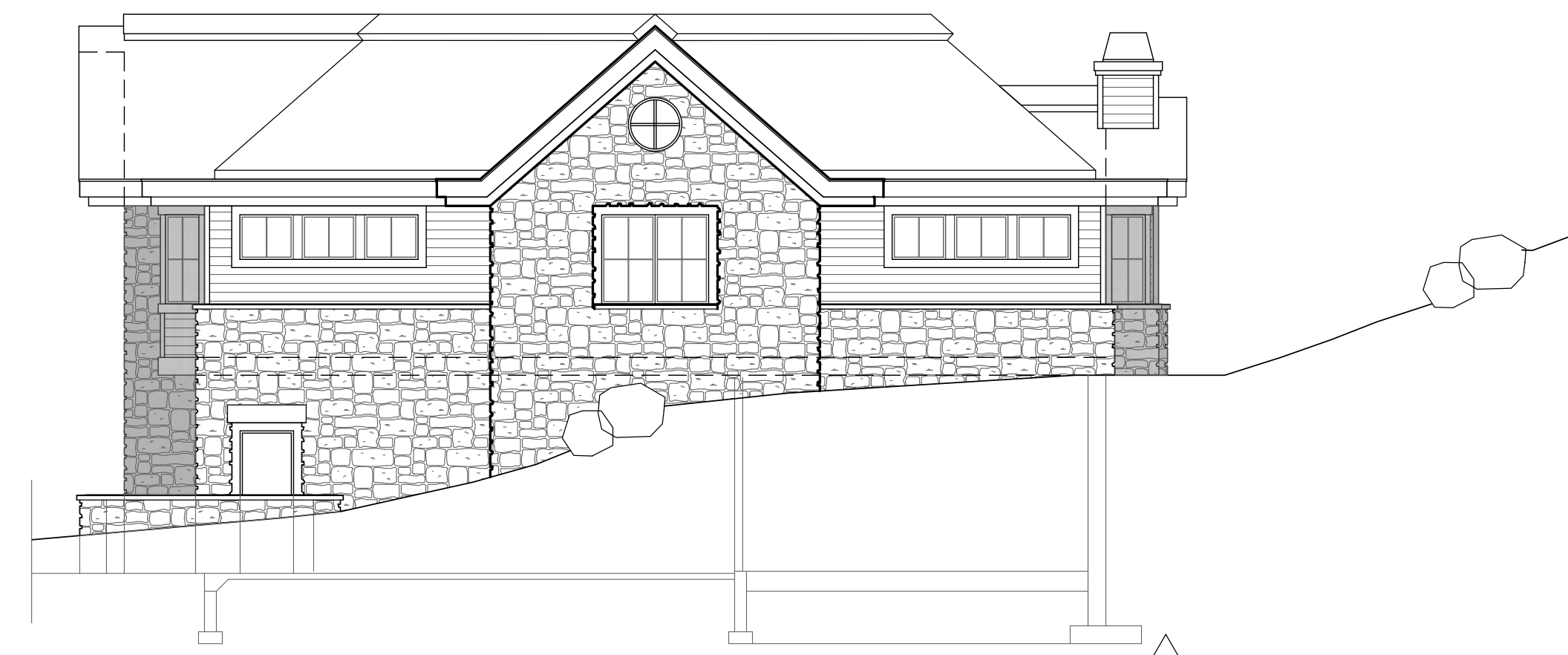
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Exterior Elevation
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Exterior Elevation
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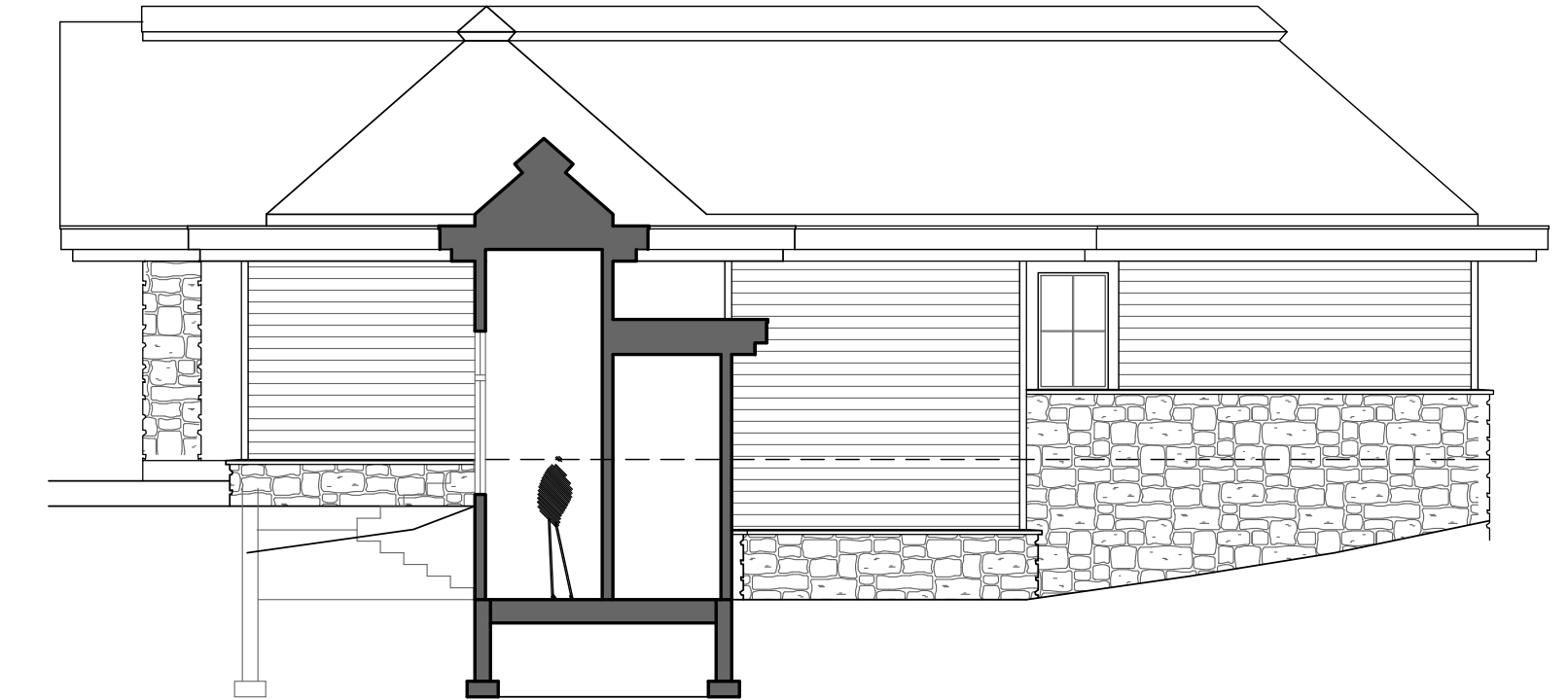
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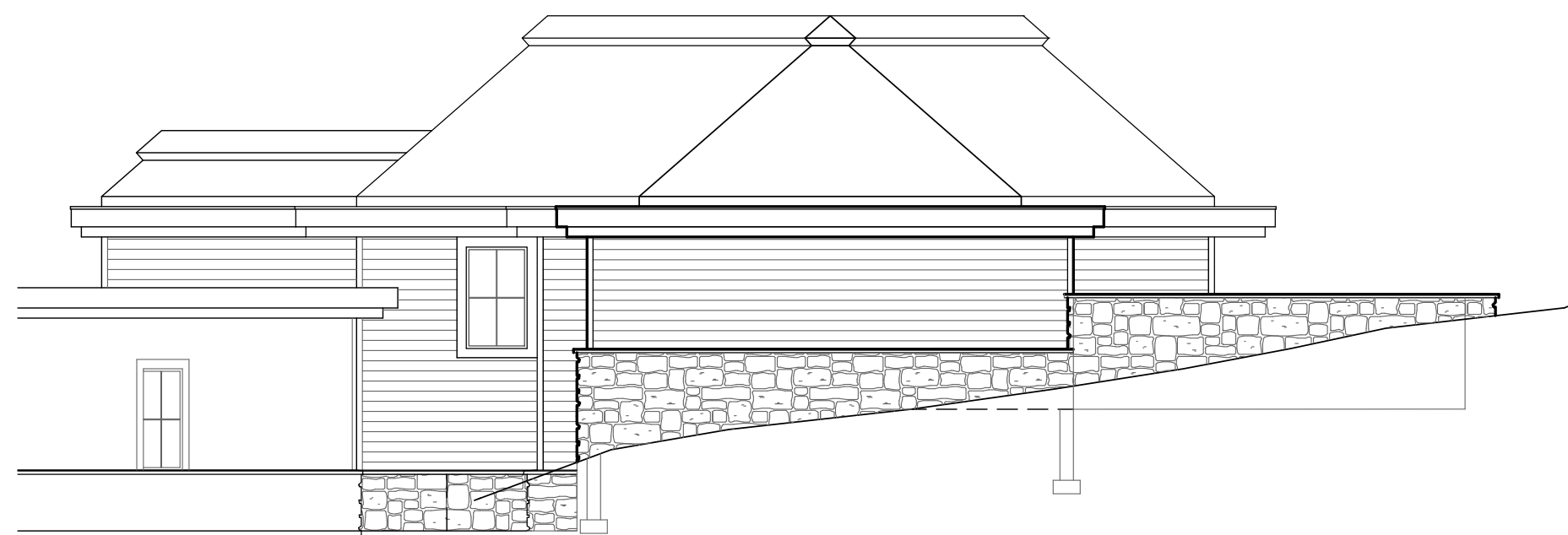
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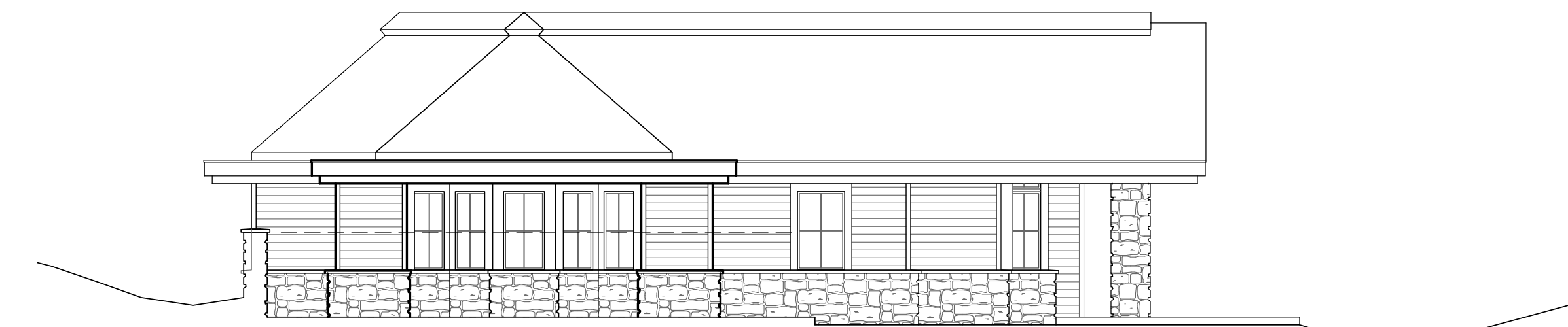
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Exterior Elevation
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Exterior Elevation
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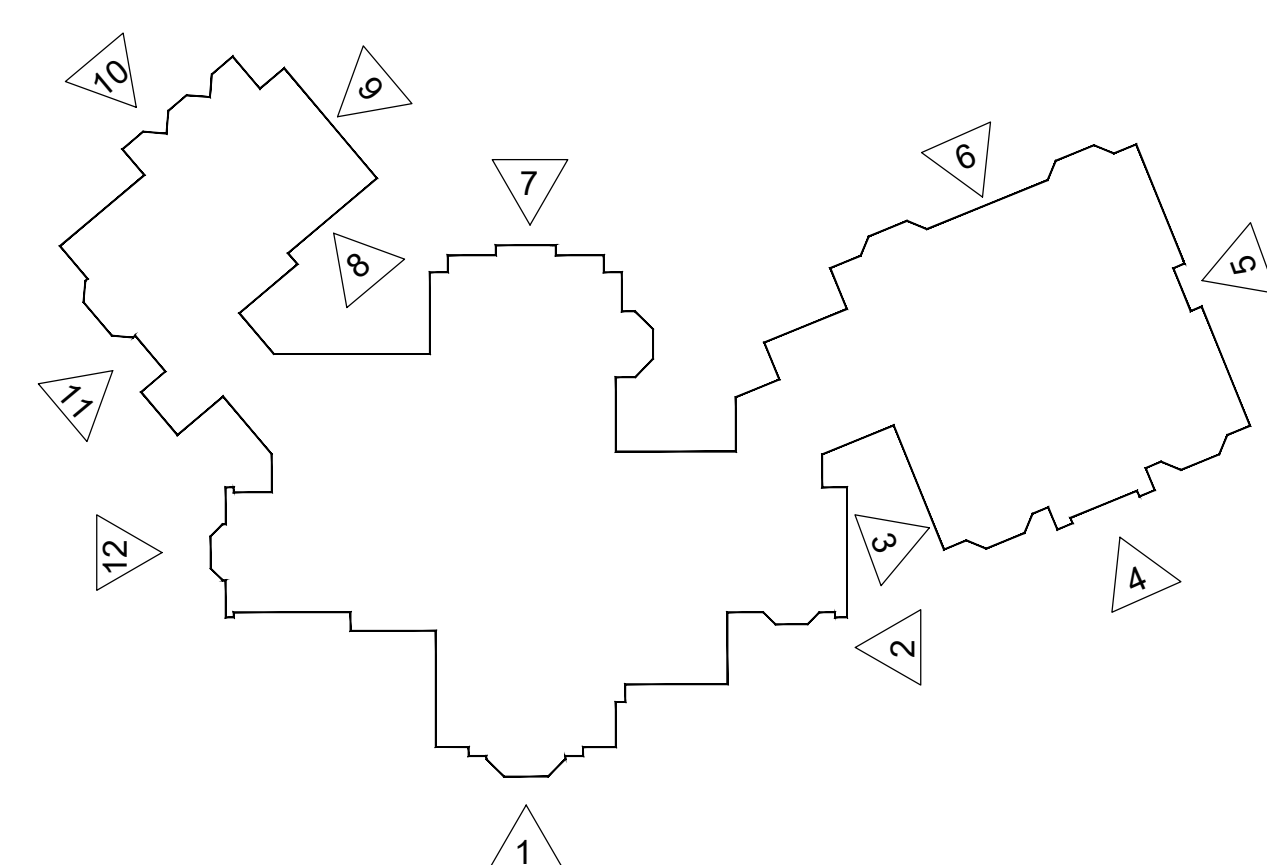
Exterior Elevation
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Exterior Elevation
Scale: 1/8" = 1'-0"

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Exterior Elevation Key
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REVISIONS:

NO.	DESCRIPTION	DATE

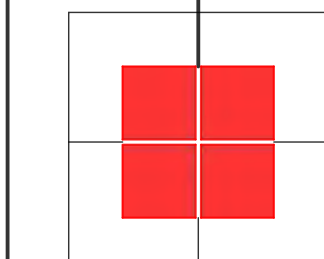
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McGavick Residence

Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
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Ketchum, ID 83240



Project Issue Date:
5-08-2022
MOD Pre-Design
Review

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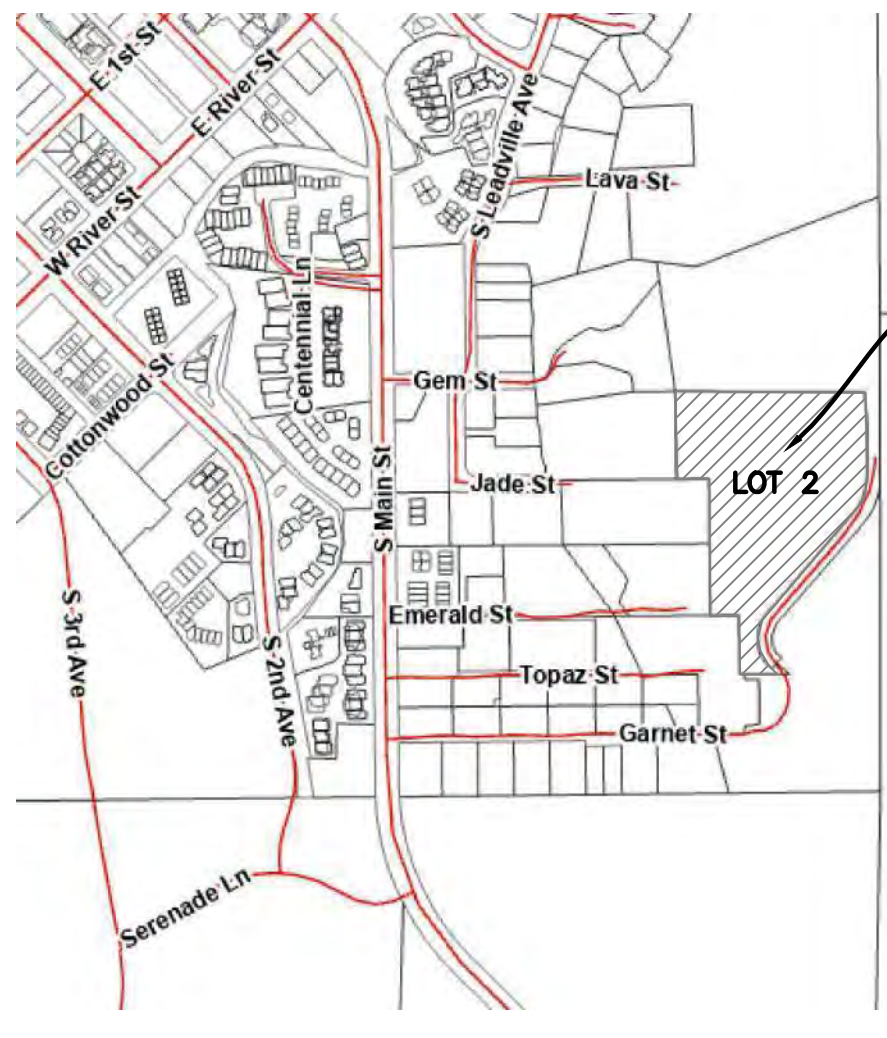
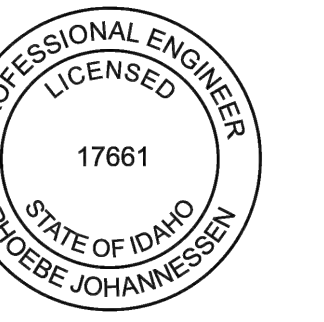
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 Chartered, AIA
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 City of Ketchum, Blaine County, Idaho
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 Ketchum, ID 83340

Project Issue Date:
 5-11-2022
 Conceptual Design

OWNERSHIP OF DOCUMENTS: The documents and the ideas and design incorporated herein are an instrument of professional service. It is the property of McLaughlin & Associates Architects Chartered, AIA, and is not to be used, in whole or in part, for any other project without the written authorization of McLaughlin & Associates Architects Chartered 70110070

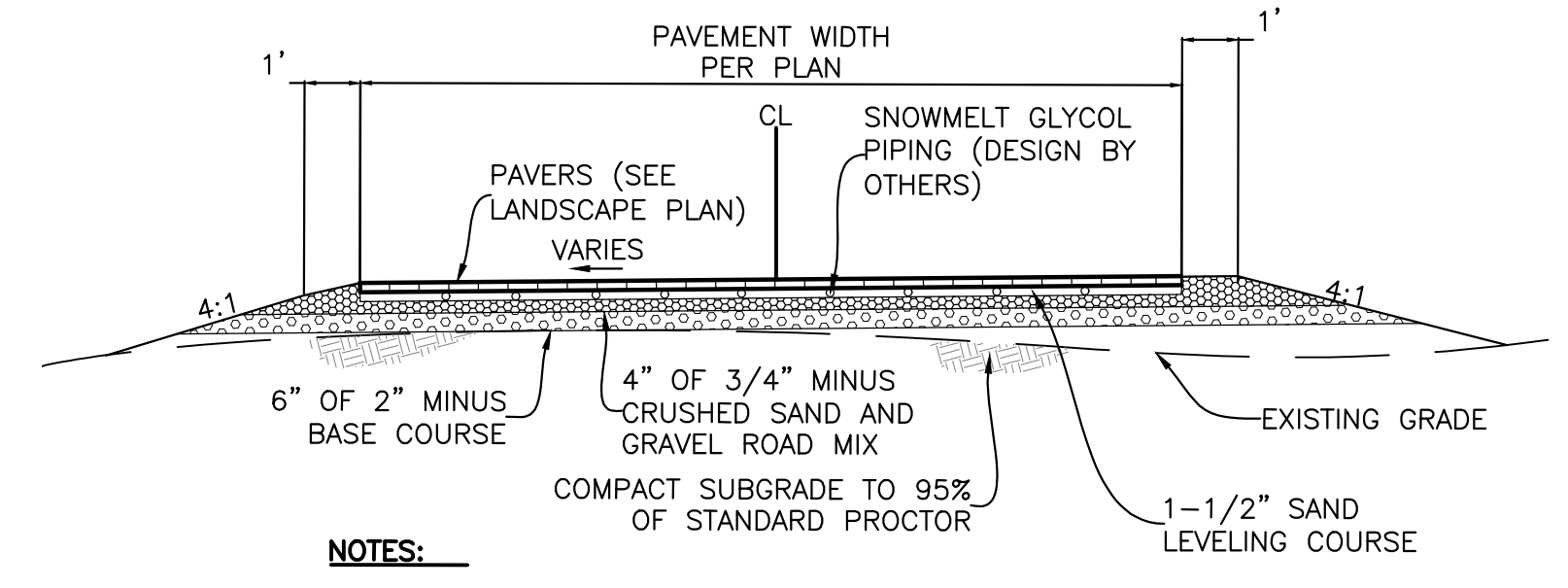
4



VICINITY MAP

LEGEND

PROPERTY LINE	—	PAVEMENT WIDTH PER PLAN	—
ADJOINING PROPERTY LINE	- - -	CL	SNOWMELT GLYCOL PIPING (DESIGN BY OTHERS)
EASEMENT	- · - · -	PAVERS (SEE LANDSCAPE PLAN)	VARIES
SEWER	S	6" OF 2" MINUS BASE COURSE	4" OF 3/4" MINUS CRUSHED SAND AND GRAVEL ROAD MIX
SEWER MANHOLE	⊙	EXISTING GRADE	1-1/2" SAND LEVELING COURSE
SEWER CLEANOUT	●		
WATER	W		
GAS	G		
POWER	P		
TELEPHONE	T		
CABLE TV LINE	TV		
ELEVATION CONTOUR	- - -		
	5775		
	NOT TO SCALE		
FLOW LINE	→		
DRYWELL	⊙		
CATCH BASIN	⊙		
	NOT TO SCALE		
STORM DRAIN PIPE	6"SD		
DOWN SPOUT	DS		
CONCRETE PAVERS	▨		
GRAVEL	▨		
FG	FINISHED GRADE		
EG	EXISTING GROUND		
GB	GRADE BREAK		
ME	MATCH EXISTING		



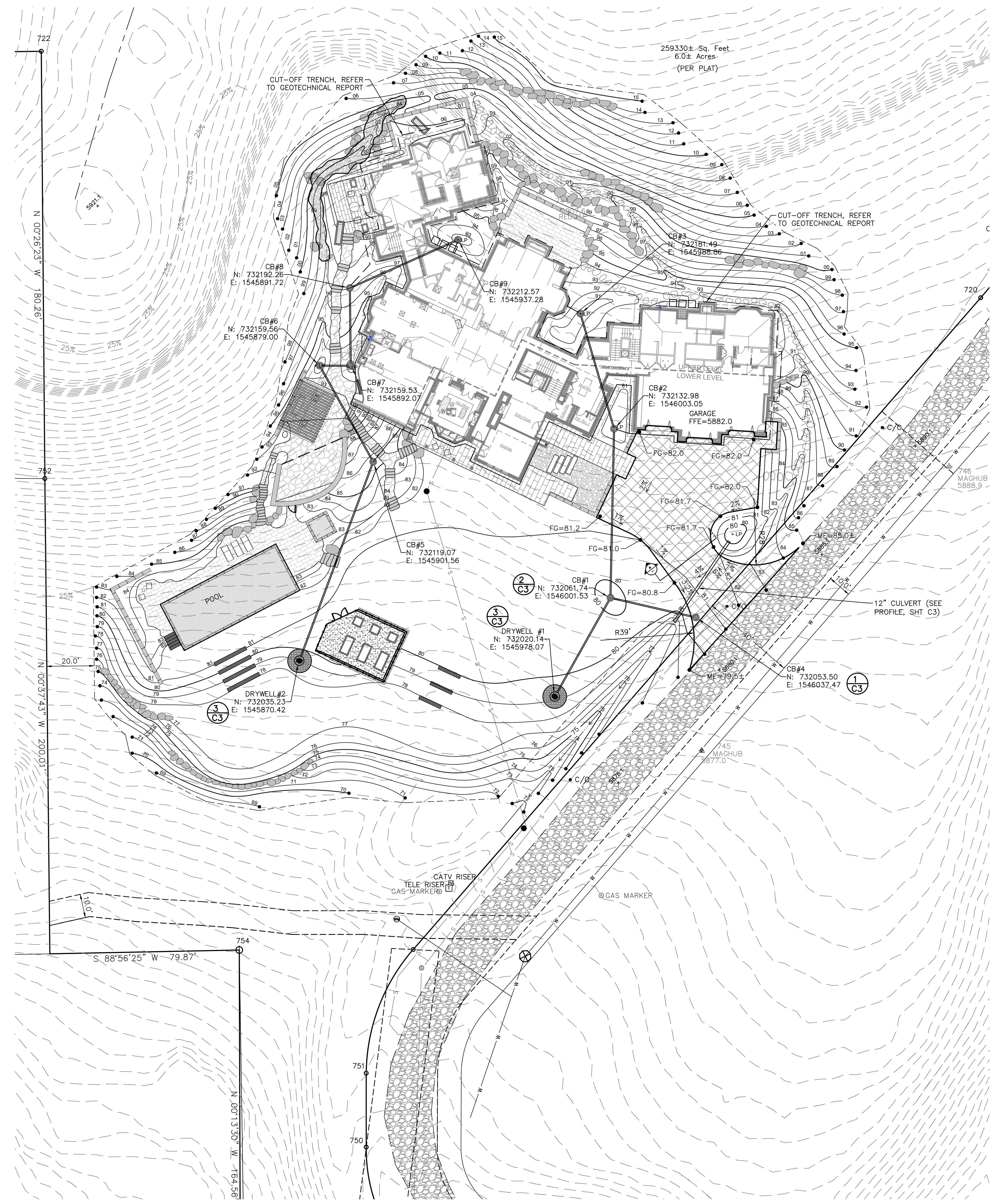
- NOTES:**
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

A
C1 DRIVEWAY SECTION
SCALE: NONE

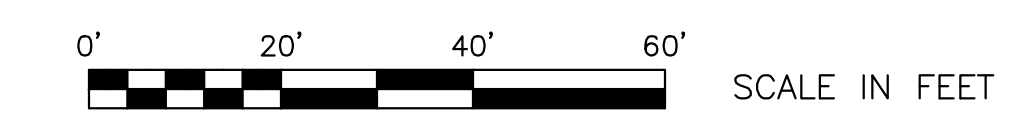
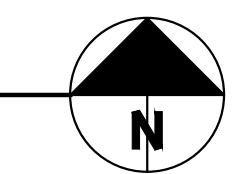
- MOUNTAIN OVERLAY SUBMITTAL NOTES:**
- THE FOLLOWING ITEMS ARE MISSING FROM THE PRELIMINARY SUBMITTAL, BUT WILL BE ADDED FOR THE OFFICIAL SUBMITTAL:
1. EXISTING CONDITIONS MAP WITH PROPERTY BOUNDARY TIED IN
 2. UNDERGROUND UTILITY INFORMATION
 3. SIGNIFICANT TREES WILL BE SHOWN
 4. GEOTECHNICAL REPORT

SITE CUT-FILL VOLUMES:

CUT:	13,100 CY
FILL:	1,500 CY
NET:	11,600 CY CUT



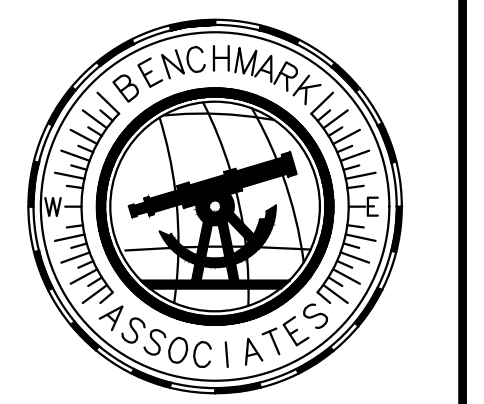
PLAN



SCALE IN FEET

REVISIONS

NO.	DATE	BY	DESCRIPTION
1			



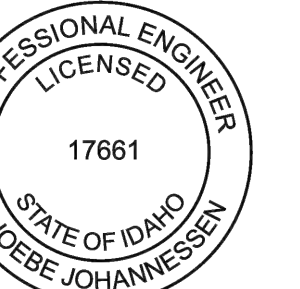
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733, 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
(FAX) 726-9514
WEB: www.benchmark-associates.com
MAIL: mail@bma5b.com

GRADING AND DRAINAGE PLAN
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO
PREPARED FOR: BYLA

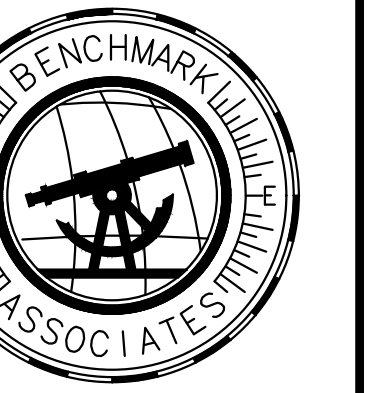
DRAWN BY: PLJ
DESIGNED BY: PLJ
CHECKED: -
DATE: 5/3/22
PROJECT NO.: 22029

SHEET NUMBER

C1



NO.	REVISIONS	DATE	BY
1	DESCRIPTION		



BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733, KETCHUM, IDAHO 83340
 (208) 726-9512
 (FAX) 726-9514
 WEB: www.benchmark-associates.com
 MAIL: mail@bma5b.com

UTILITY PLAN
 T4N, R18E, SEC 18, B.M.,
 KETCHUM, IDAHO
 PREPARED FOR: BYLA

DRAWN BY: PLJ
 DESIGNED BY: PLJ
 CHECKED: -
 DATE: 5/3/22
 PROJECT NO.: 22029

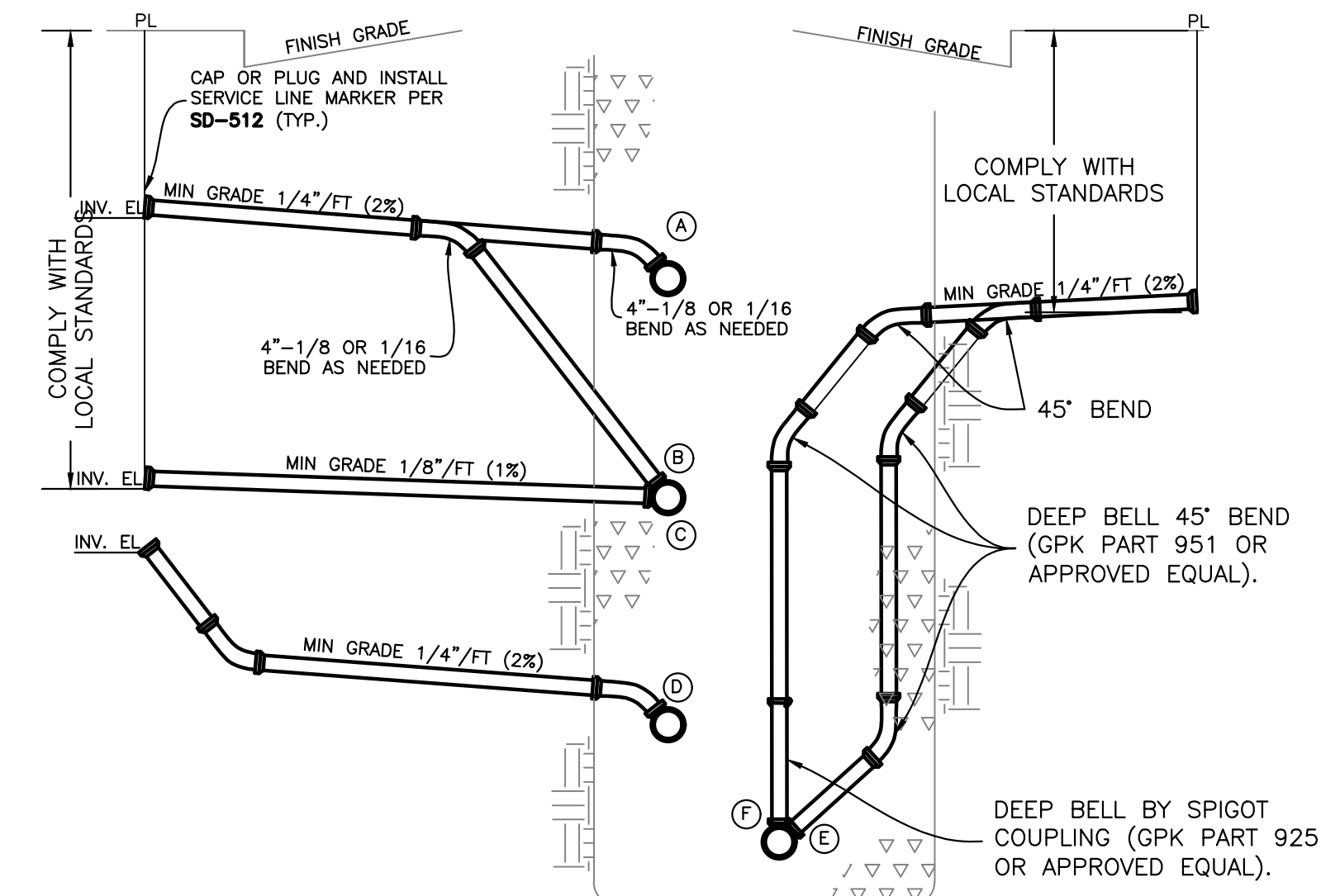
SHEET NUMBER

C2

NOTE: UNDERGROUND UTILITIES TO BE ADDED TO PLAN.

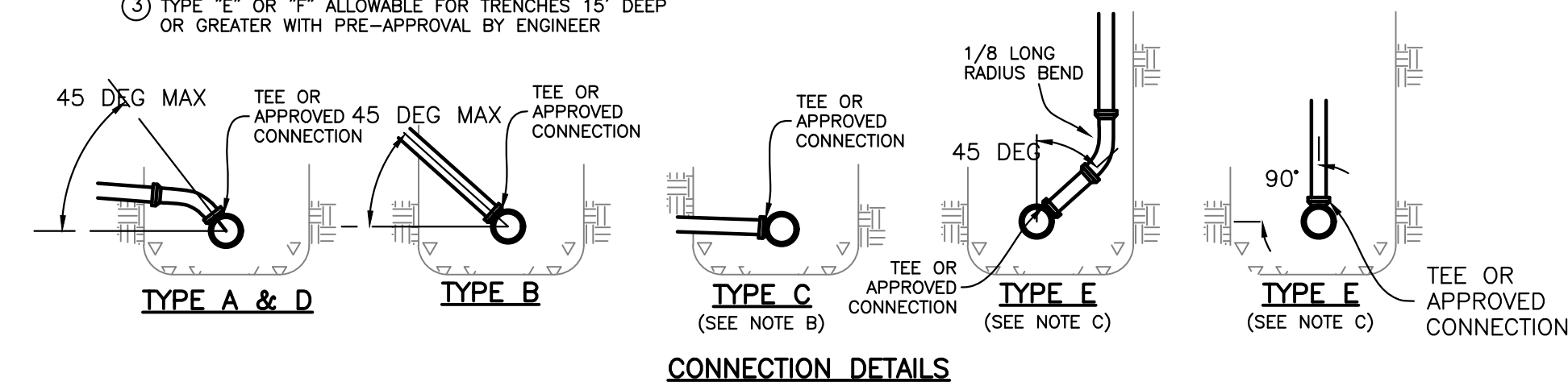
UTILITY NOTES:

- REFER TO FIRE PROTECTION PLANS FOR LOCATIONS OF FDC STANDPIPES.
- ELECTRICAL CONNECTION TO BE COORDINATED WITH IDAHO POWER DURING FINAL DESIGN.

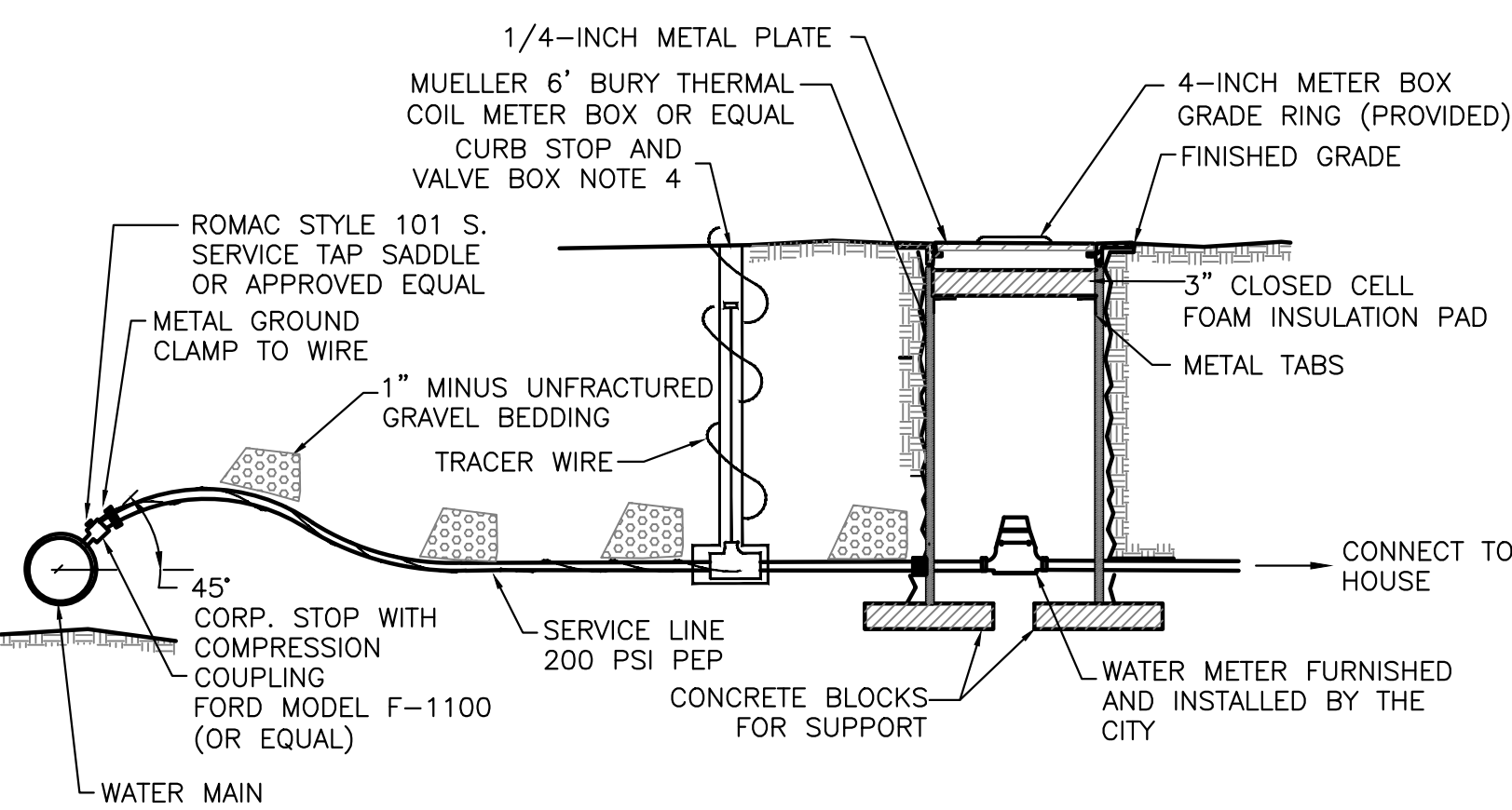


NOTES

- ALL SERVICE LINES TO BE 4" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- TYPE "C" CONNECTION WILL ONLY BE ALLOWED IF SHOWN ON THE PLANS OR OTHERWISE APPROVED BY THE ENGINEER.
- TYPE "E" OR "F" ALLOWABLE FOR TRENCHES 15" DEEP OR GREATER WITH PRE-APPROVAL BY ENGINEER.



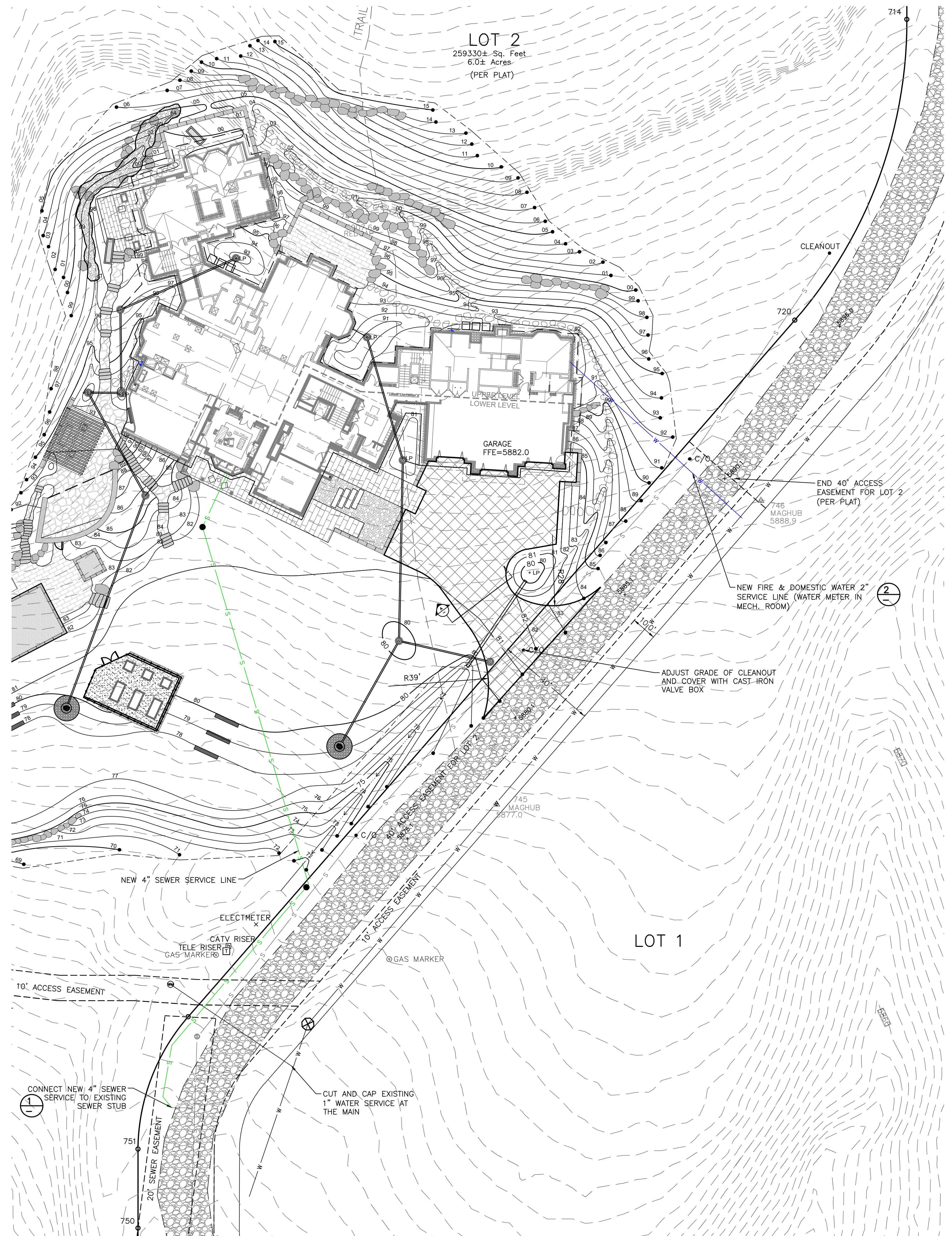
1 STANDARD SEWER SERVICE LINES
 SCALE: NONE



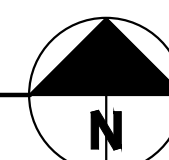
NOTES

- WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
- SERVICE LINE SHALL BE 2" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
- WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
- FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL), FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

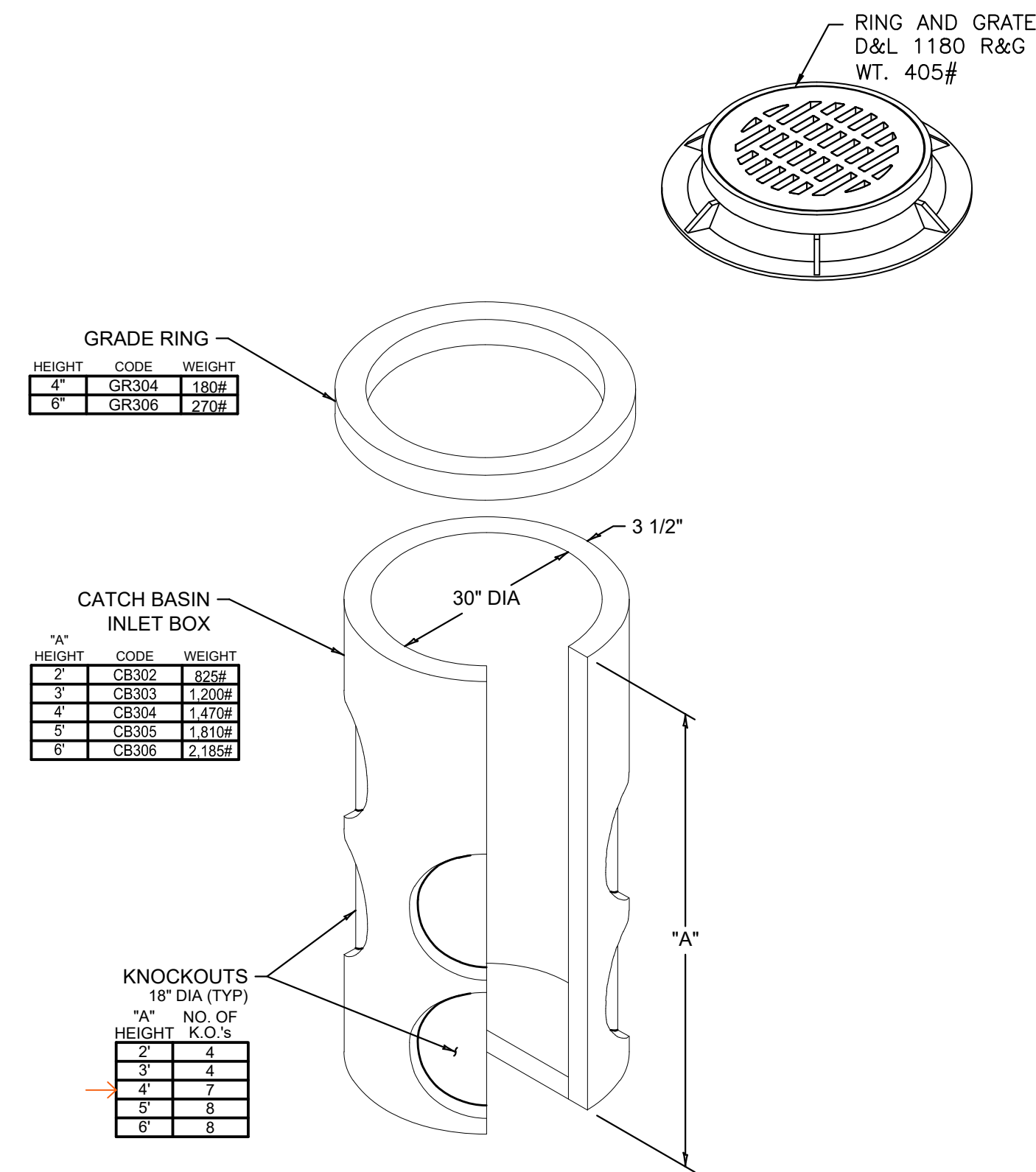
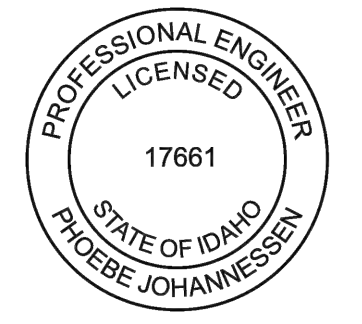
2 WATER SERVICE AND METER CONNECTION
 SCALE: N.T.S.



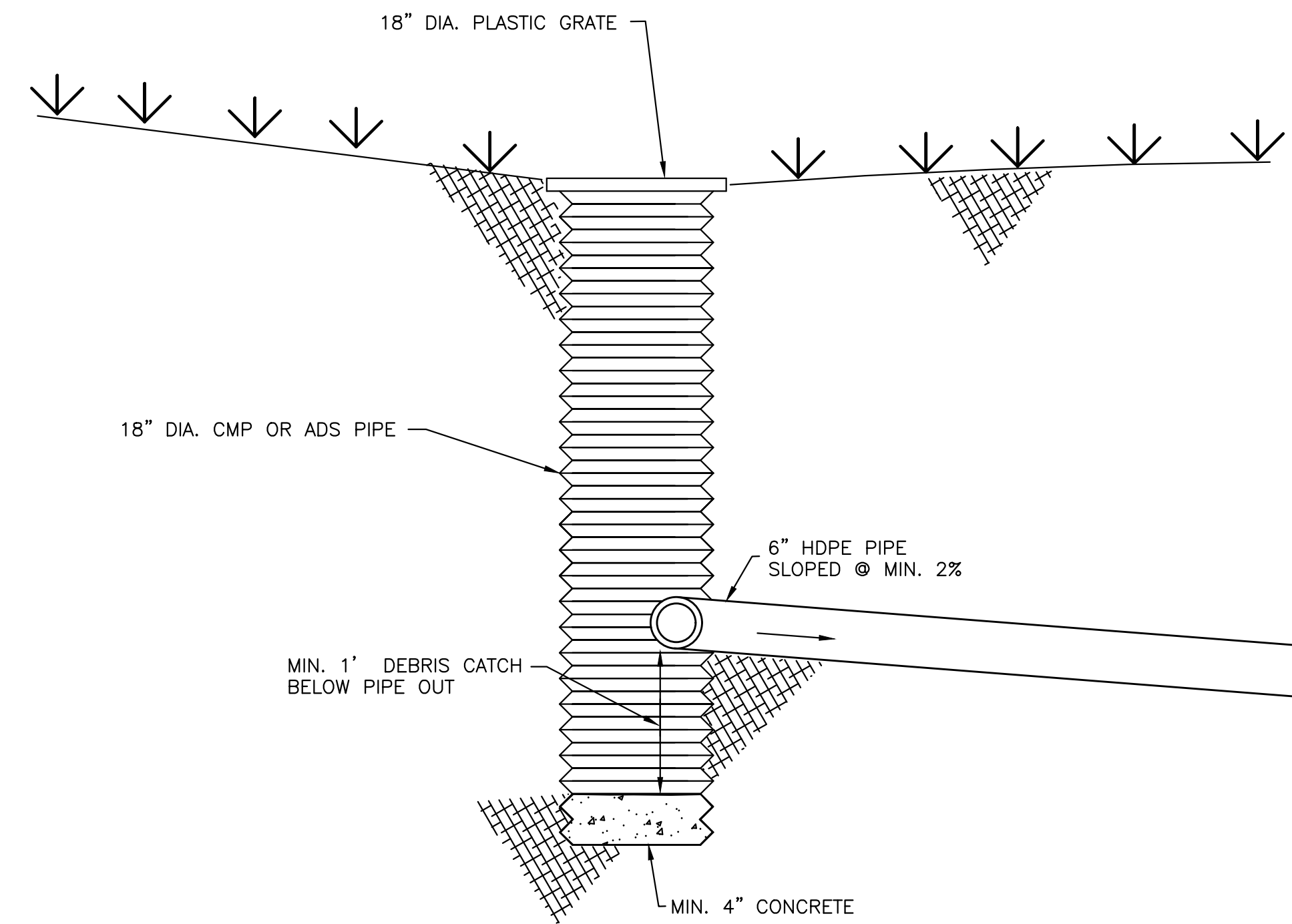
PLAN



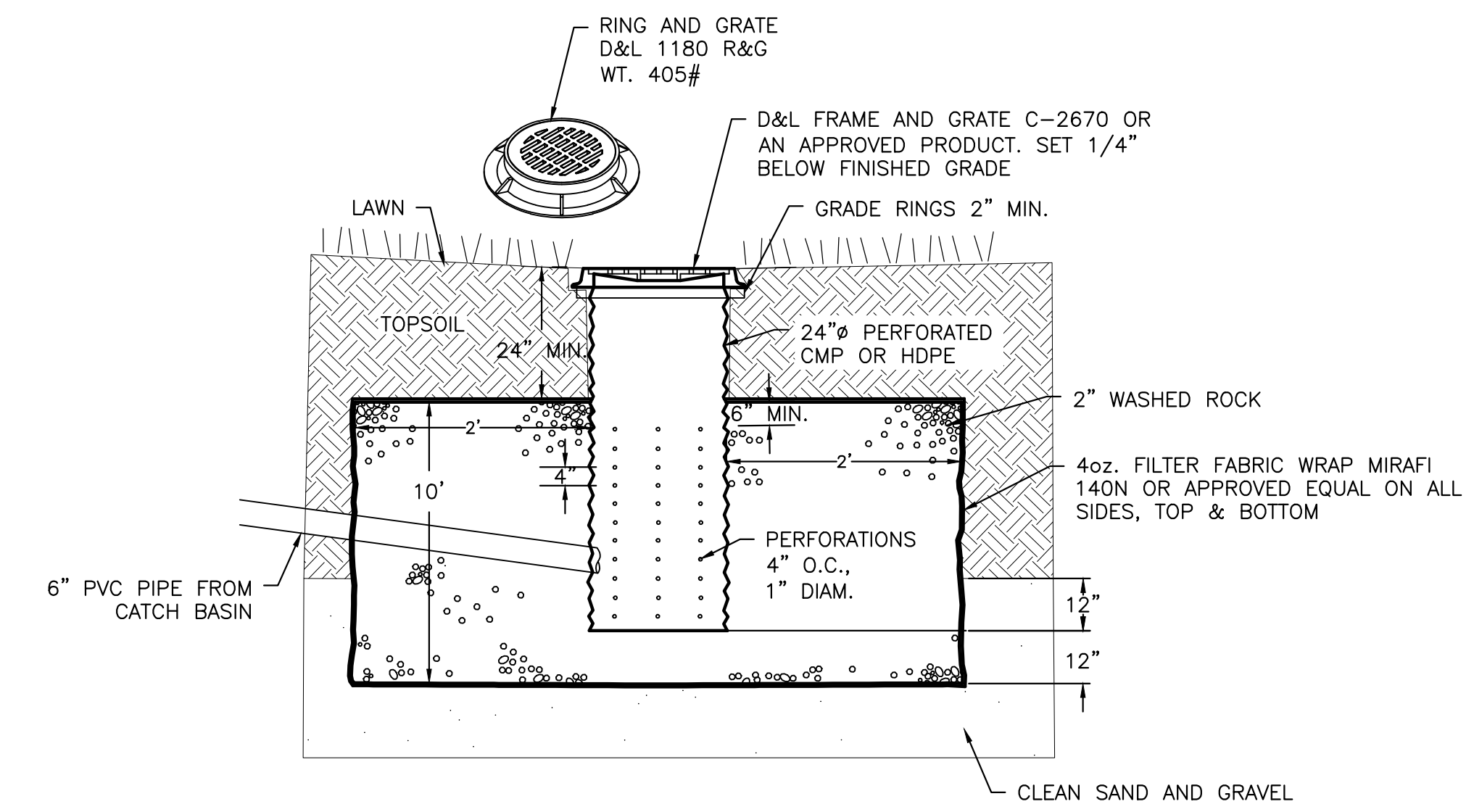
0' 20' 40' 60' SCALE IN FEET



1 30" CATCH BASIN (FOR USE IN PAVED AREAS)
C1 SCALE: N.T.S.



2 18-INCH ADS CATCH BASIN (FOR USE IN LANDSCAPE AREAS)
C1 SCALE: NONE

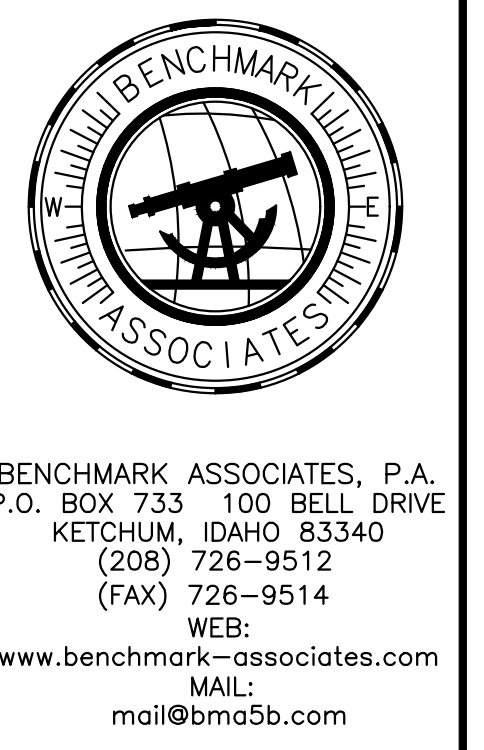


NOTES:

1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

3 TYPICAL DRYWELL DETAIL
C1 SCALE: NONE

NO.	REVISIONS	DESCRIPTION	DATE	BY
1				

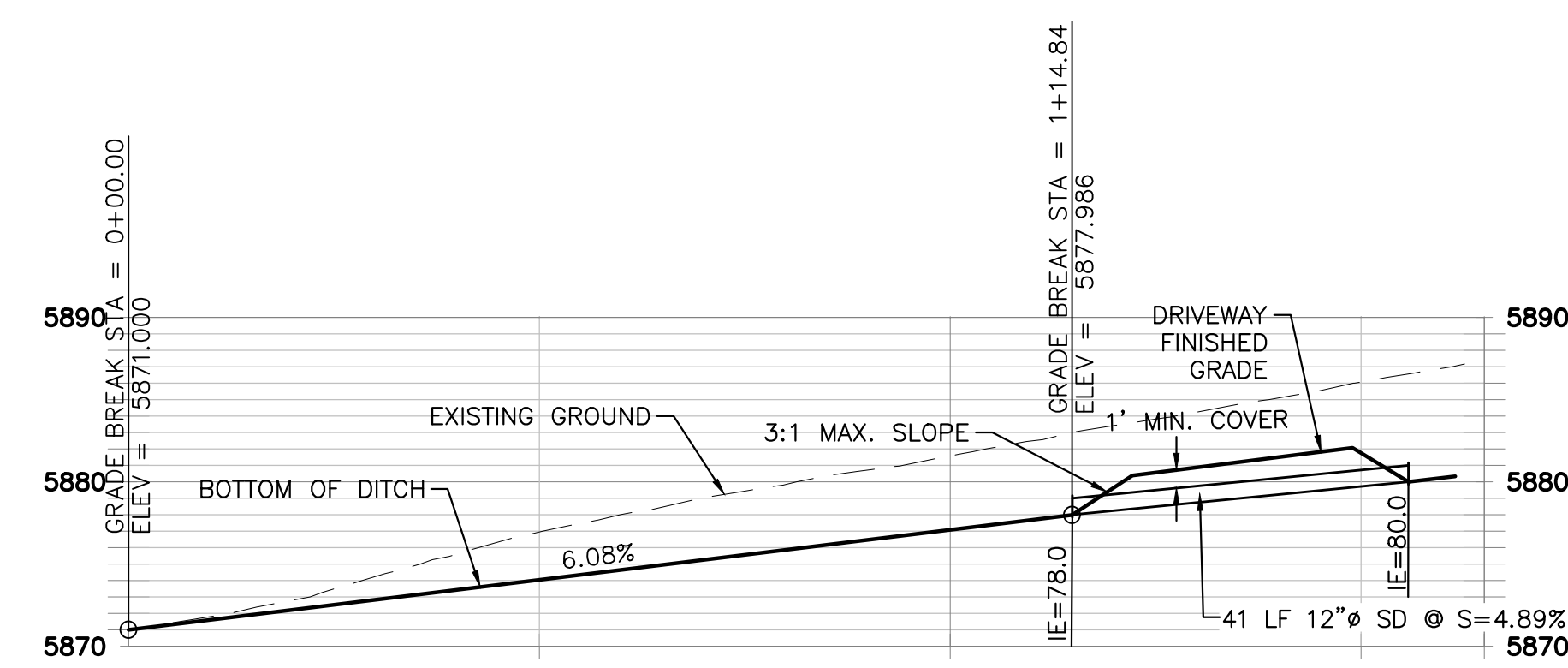
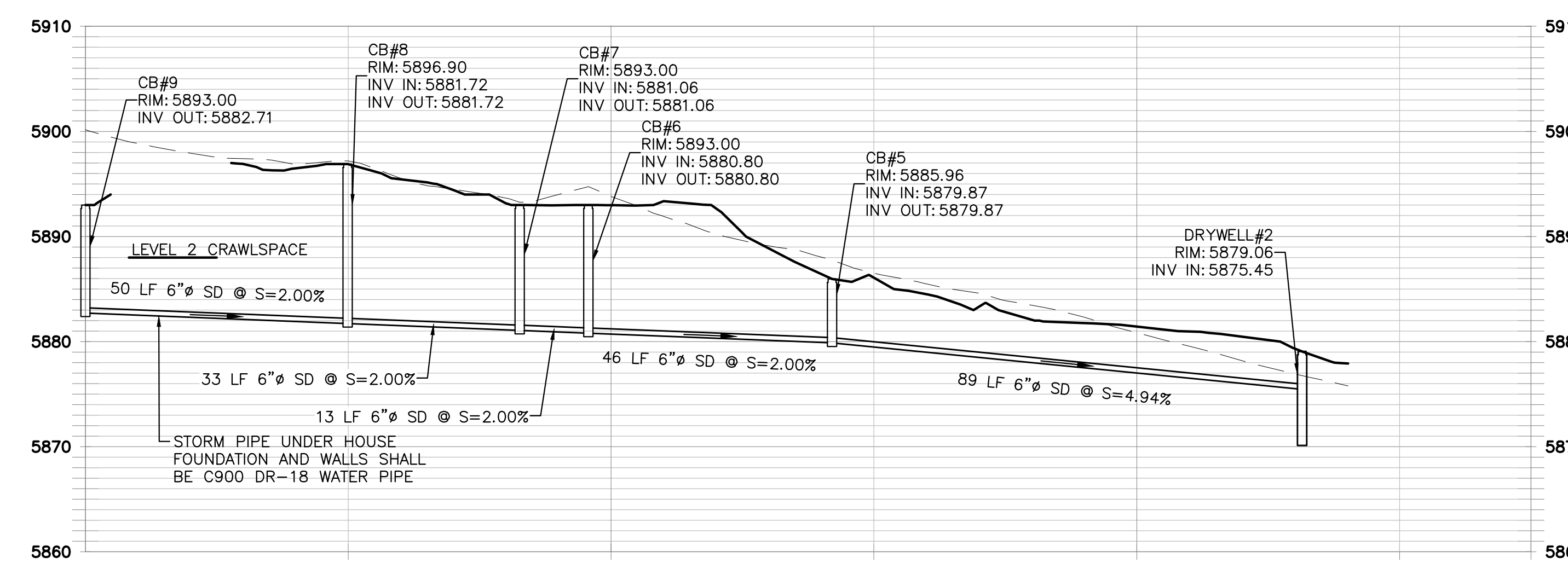
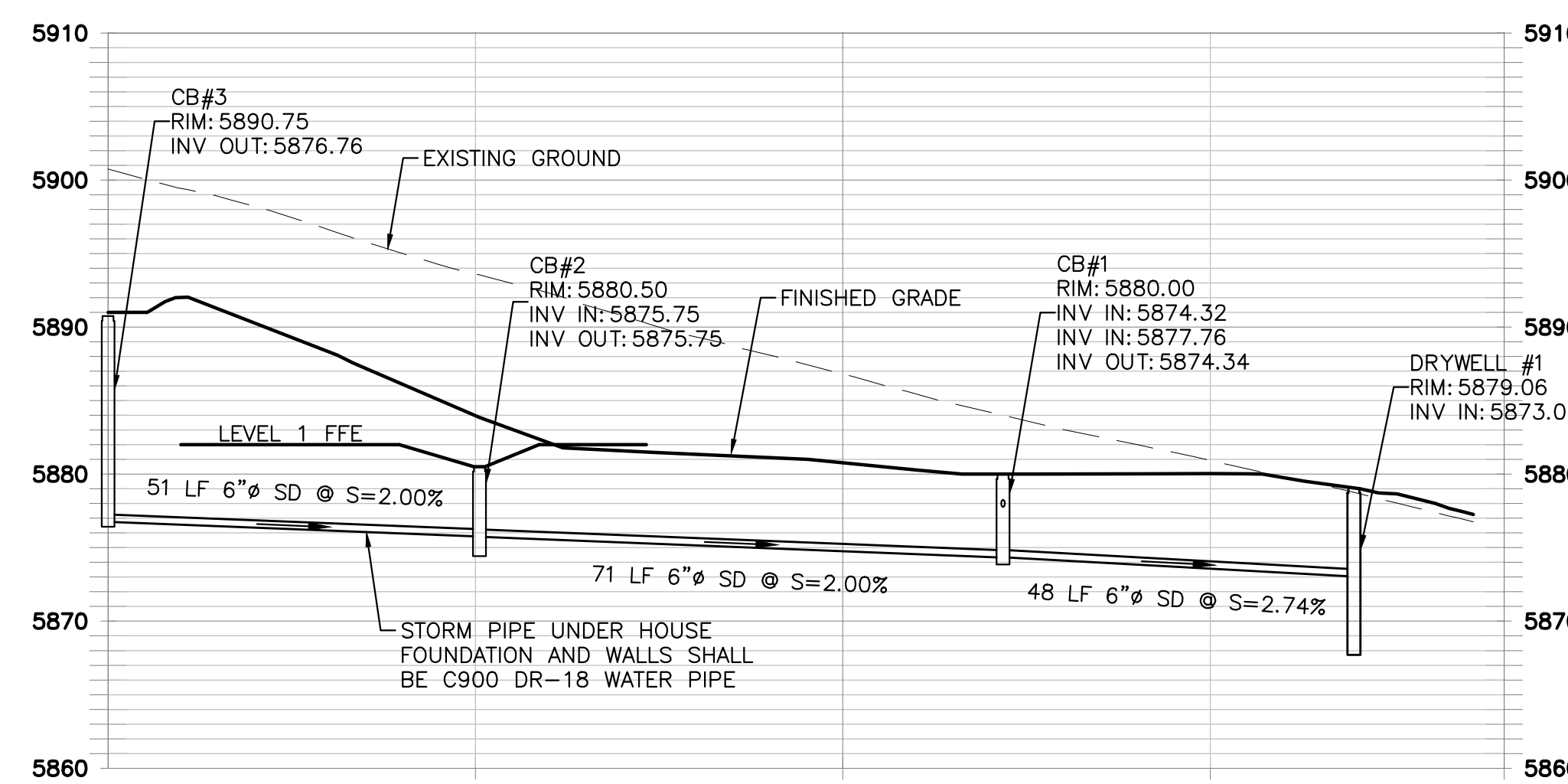


DRAINAGE DETAILS
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO
PREPARED FOR: BYLA

DRAWN BY: PLJ
DESIGNED BY: PLJ
CHECKED: -
DATE: 5/3/22
PROJECT NO.: 22029

SHEET NUMBER

C3

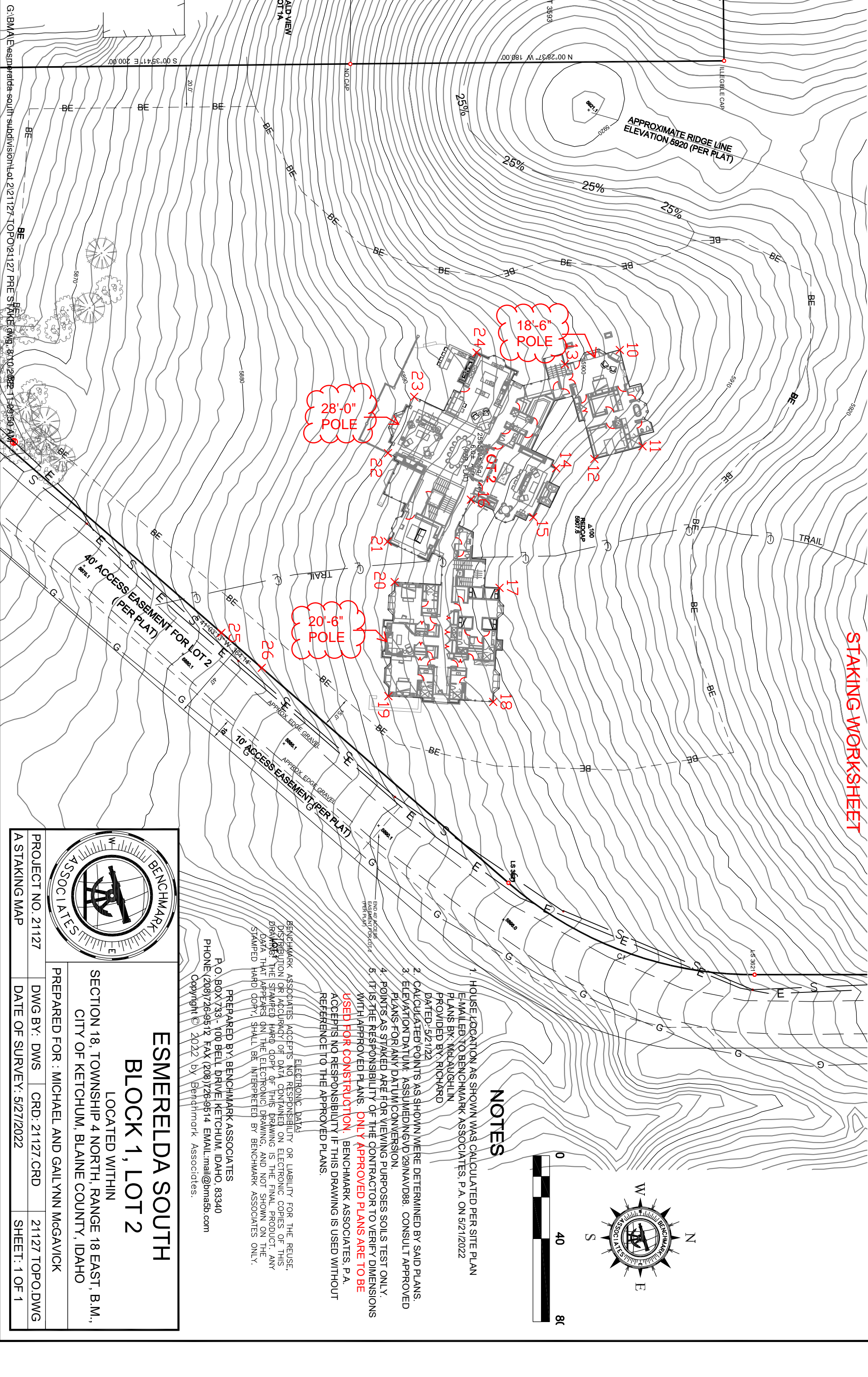


DRIVEWAY CULVERT AND DITCH PROFILE
SCALE: NONE



City of Ketchum

ATTACHMENT C: Story Pole and Staking Diagram



NOTES

1. HOUSE LOCATION AS SHOWN WAS CALCULATED PER SITE PLAN E-MAILED TO BENCHMARK ASSOCIATES, P.A. ON 5/21/2022 PLANS BY: McLAUGHLIN PROVIDED BY: RICHARD DATED: 5/21/22
2. CALCULATED POINTS AS SHOWN WERE DETERMINED BY SAID PLANS.
3. ELEVATION DATUM ASSUMED: NGVD 29/NAVD88. CONSULT APPROVED PLANS FOR ANY DATUM CONVERSION.
4. POINTS AS STAKED ARE FOR VIEWING PURPOSES SOILS TEST ONLY.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY DIMENSIONS WITH APPROVED PLANS. **ONLY APPROVED PLANS ARE TO BE USED FOR CONSTRUCTION.** BENCHMARK ASSOCIATES, P.A. ACCEPTS NO RESPONSIBILITY IF THIS DRAWING IS USED WITHOUT REFERENCE TO THE APPROVED PLANS.

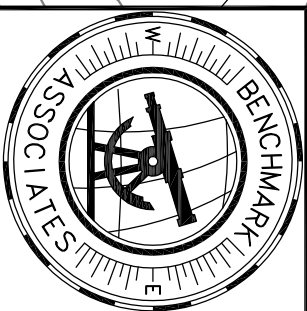
ELECTRONIC DATA:
 BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT. ANY DATA THAT APPEARS ON THE ELECTRONIC DRAWING, AND NOT SHOWN ON THE STAMPED HARD COPY, SHALL BE INTERPRETED BY BENCHMARK ASSOCIATES ONLY.

PREPARED BY: BENCHMARK ASSOCIATES
 P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
 PHONE: (208) 726-9512 FAX: (208) 726-9514 EMAIL: mail@bma5b.com
 Copyright © 2022 by Benchmark Associates.

**ESMERELDA SOUTH
 BLOCK 1, LOT 2**

LOCATED WITHIN
 SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
 CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : MICHAEL AND GALLYNN MCGAVICK



PROJECT NO. 21127 DWG BY: DWS CRD: 21127.CRD 21127 TOPO.DWG
 A STAKING MAP DATE OF SURVEY: 5/27/2022 SHEET: 1 OF 1



City of Ketchum

ATTACHMENT D: Ridgeline Images with Location References

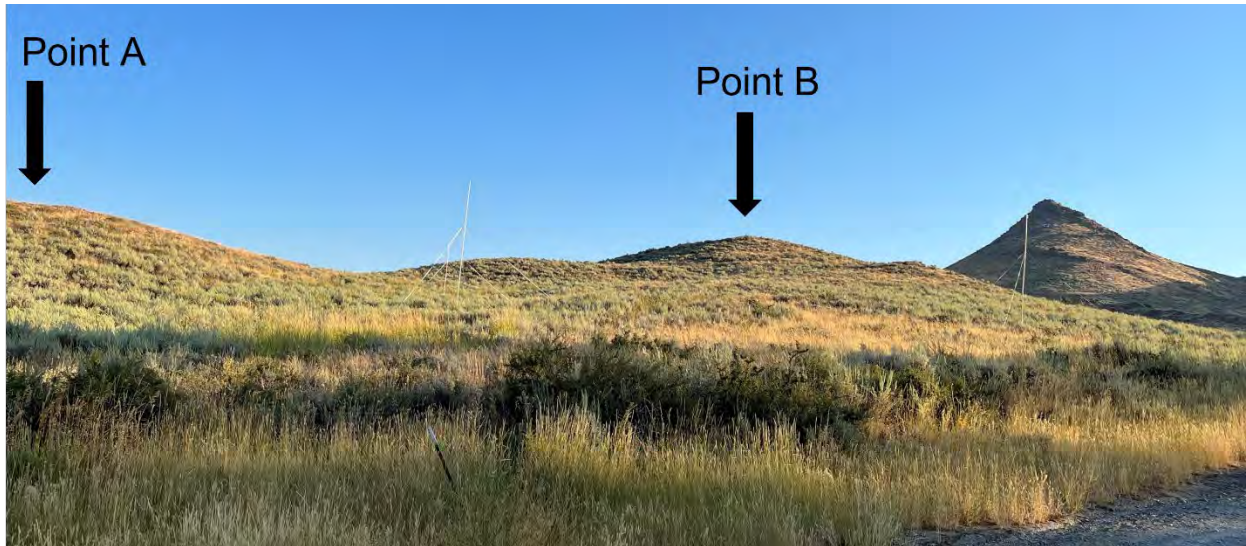
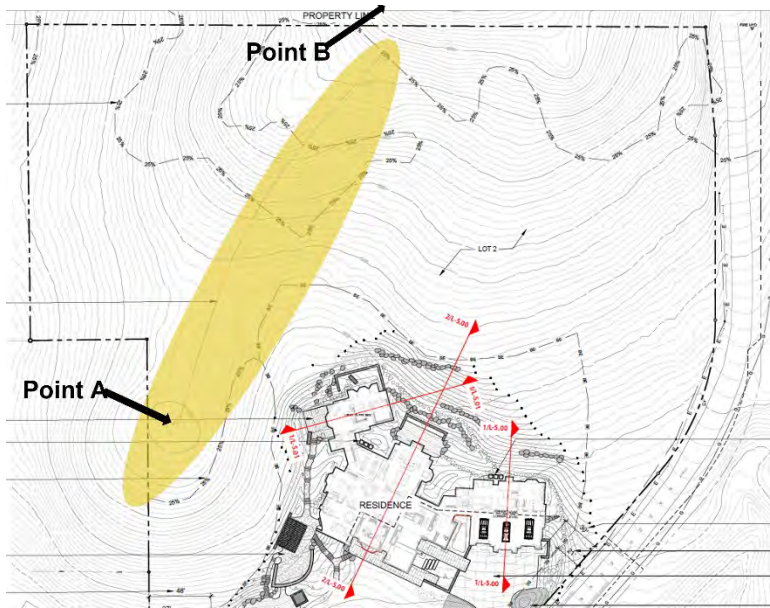


Image 1: Photo looking north from private driveway.

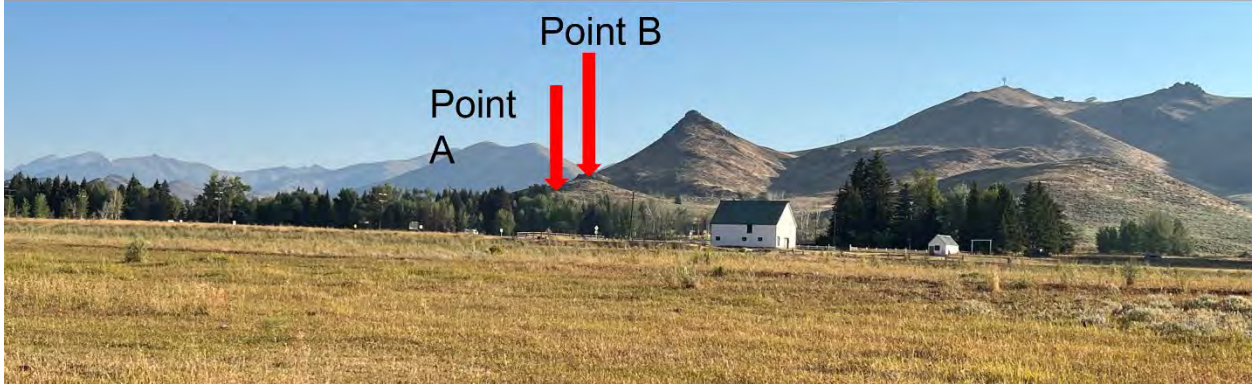


Image 2: Photo from bike path on southwest side of Reinheimer Ranch

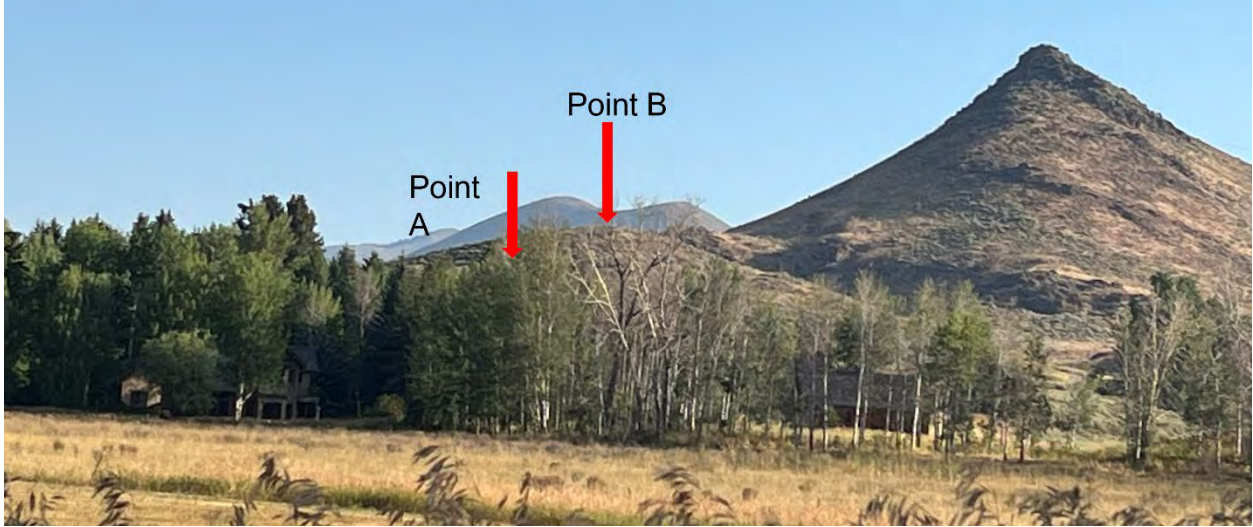


Image 3: Photo from Hwy 75 just north of Reinheimer residence.

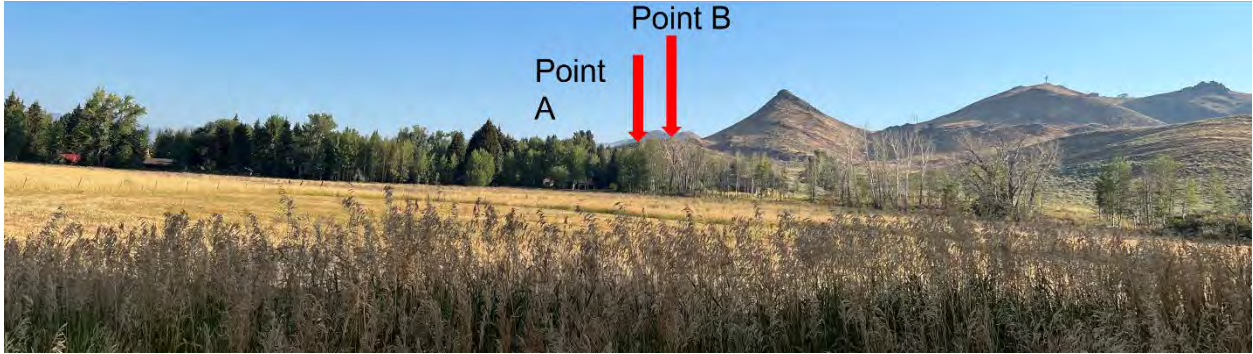


Image 4: Photo from Hwy 75 just north of Reinheimer residence.



Image 5: Photo from Hwy 75 just south of Reinheimer residence.



City of Ketchum

ATTACHMENT E: Public Comment

From: [Participate](#)
To: [Morgan Landers](#)
Subject: Fwd: Pre-Application Mountain Overlay Design Review for the McGavick Residence, 307 Garnet Street
Date: Wednesday, September 21, 2022 8:14:38 PM

Public comment

Begin forwarded message:

From: Annie Vanderbilt <mambuk11@gmail.com>
Date: September 21, 2022 at 12:50:03 PM MDT
To: Participate <participate@ketchumidaho.org>
Subject: Pre-Application Mountain Overlay Design Review for the McGavick Residence, 307 Garnet Street

TO: Ketchum Planning and Zoning Commission
RE: Pre-Application Mountain Overlay Design Review Application for the McGavick Residence

It is our opinion that the construction of an 18,756 gross-square-foot single family residence in the Mountain Overlay Zoning District east of the Reinheimer Ditch violates Ordinance No. 996, Section 17.104.020. Title 7, in which the zoning code states the purposes of the Mountain Overlay Zoning District:

- To encourage land uses harmonious with existing natural resources.
- To protect natural land features and wildlife habitat
- To minimize or prohibit detrimental effects on the natural topography, geology, soils, drainage, wildlife and vegetation.

In light of these stated purposes, the enormous size of this house and the extent of the excavation for the foundation seems a travesty in a hillside area within the Mountain Overlay District.

In Ordinance 208, adopted by the City of Ketchum in 1974, it states that in order to protect the general health, safety and welfare of the community, future projects, and adjacent property owners, it is necessary to adopt certain regulations, three of which are:

- To insure that the general appearance of building design and construction shall be orderly and harmonious with the appearance and character of this neighborhood and the City.

- To minimize the impact of vehicular traffic on adjacent streets and to prevent traffic congestion.
- To provide for proper ingress and egress with safe, adequate and efficient pedestrian and vehicular traffic systems.

An 18,756 gross-square-foot dwelling is certainly not compatible with the appearance and character of the Garnet Street neighborhood. And the amount of time (years) when the McGavick house, garage and pool house are under construction, will not only cause major traffic congestion, disruption, and blockage on a narrow, neighborhood access street, but the unpaved portion of Garnet, which is a steep, dirt, one-lane track, "shall remain as is, without modification in width, grade or surface," as per a Settlement Agreement made in February, 1994 between Carl Curtis (developer of Esmeralda Subdivision), the Garnet Street Neighbors and the City of Ketchum. We wonder, will the excavation and construction equipment, including cranes, safely be able to access the building site up this narrow dirt-and-gravel roadway?

Bill and Annie Vanderbilt
300 Garnet Street
Ketchum

From: [Participate](#)
To: [Morgan Landers](#)
Subject: Fwd: 307 garnet street
Date: Wednesday, September 21, 2022 8:14:07 PM

Public Comment

Begin forwarded message:

From: Janet Nathanail <jnathanail@hotmail.com>
Date: September 21, 2022 at 5:05:59 PM MDT
To: Participate <participate@ketchumidaho.org>
Subject: 307 garnet street

as a resident in the esmeralda subdivision i am concerned about the proposal to build a 18,756 sq ft house in our neighborhood. i don't understand why i have not received either by post or at my home any news of this meeting. but instead heard from my neighbours.

i went on the ketchum idaho website and could not find any details about the proposed plans but responded there with a request for more detailed information.

can you please send them to me before the meeting on sept 27?

i plan to intend virtually since i will not be in ketchum at that time.

thank you
janet

Please consider your environmental responsibility before printing this email or any other documents.

Janet Nathanail
Starcrest Tower 1
Flat F, 10/f
9 Star Street
Hong Kong

From: [Participate](#)
To: [Planning and Zoning](#)
Subject: FW: McGavick Garnet St Complex
Date: Monday, September 26, 2022 2:04:07 PM

Public comment.

LISA ENOURATO | CITY OF KETCHUM
Public Affairs & Administrative Services Manager
P.O. Box 2315 | 191 Fifth St. W. | Ketchum, ID 83340
o: 208.726.7803 | f: 208.726.7812
lenourato@ketchumidaho.org | www.ketchumidaho.org

-----Original Message-----

From: Bill Vanderbilt <robalo61@gmail.com>
Sent: Monday, September 26, 2022 9:41 AM
To: Participate <participate@ketchumidaho.org>
Subject: McGavick Garnet St Complex

TO: Ketchum P and Z Commission
FROM: Bill and Annie Vanderbilt, 300 Garnet St, Ketchum

Dear Commissioners.

We have previously written a comment on the proposed McGavick residence at 307 Garnet St. However, since seeing the specs for the proposed complex, we have further comments.

Allowing development of this size and scope in the proposed location makes a mockery of the Mountain Overlay Zone as it violates many of the conditions of that zone. The stated purposes of the MOZ are to protect hillsides (not just hillsides visible to the general public), reduce excavation and minimize impact on existing neighborhoods.

The proposed McGavick complex violates all of these criteria, and yet you have recommended for approval the development plan. If the restrictions in the MOZ are not sufficient to prevent this type of excessive destruction of a hillside and serious impact on an old residential neighborhood, then the language in the MOZ needs to be updated to meet future threats to the beauty and integrity of our community.

Finally, I would remind you of the legal agreement between the City of Ketchum, Carl Curtis as developer of the Esmeralda subdivision and the Garnet Street neighbors, that the privately owned dirt portion of Garnet street, from our driveway at 300 to the start of the pavement in the subdivision, may not be changed in any way. Given the damage to this portion of Garnet street that we have seen from other building projects in our neighborhood, we would request that the City require the McGavicks, or their contractor, to post a bond guaranteeing the repair of the dirt portion of Garnet street to its original condition at the completion of the project.

Sincerely,
Bill and Annie Vanderbilt
300 Garnet St, Ketchum

Sent from my iPad

To Whom It May Concern,

As a longtime resident of Garnet Street, I am appalled that a house of this size would be allowed to be built in one of Ketchum's oldest neighborhoods and which does not conform with the neighborhood's character. I'm extremely concerned about the safety of all the Garnet Street children and pets, including my own, who have always enjoyed the freedom to play, bike, and hike in the neighborhood without the worry of heavy traffic. The lengthy construction period for this home with the continuous flow of construction vehicles would severely impinge upon their freedom and safety. The construction of a home this size will be an undeniable detriment to the neighborhood.

I wholeheartedly endorse this letter,

Pamela Irby

RE: Pre-Application Mountain Overlay Design Review for the McGavick Residence, 307 Garnet Street (Lot 2, Block 1, Esmeralda Subdivision).

It is our opinion that the construction of an 18,756 gross-square-foot single family residence in the Mountain Overlay Zoning District east of the Reinheimer Ditch violates Ordinance No. 996, Section 17.104.020. Title 7, in which the zoning code states the purposes of the Mountain Overlay Zoning District:

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- To protect natural land features and wildlife habitat
- To minimize or prohibit detrimental effects on the natural topography, geology, soils, drainage, wildlife and vegetation.

In light of these stated purposes, the enormous size of this house and the extent of the excavation for the foundation seems a travesty in a hillside area within the Mountain Overlay District.

In Ordinance 208, adopted by the City of Ketchum in 1974, it states that in order to protect the general health, safety and welfare of the community, future projects, and adjacent property owners, it is necessary to adopt certain regulations, three of which are:

- To insure that the general appearance of building design and construction shall be orderly and harmonious with the appearance and character of this neighborhood and the City.
- To minimize the impact of vehicular traffic on adjacent streets and to prevent traffic congestion.
- To provide for proper ingress and egress with safe, adequate and efficient pedestrian and vehicular traffic systems.

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Bill and Annie Vanderbilt
300 Garnet Street
Ketchum



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF SEPTEMBER 27th, 2022**

PROJECT: Walnut & 4th Mixed-Use Building Design Review Amendment

APPLICATION TYPES: Design Review Amendment

FILE NUMBER: P20-046A

REPRESENTATIVES: John Montoya, Architect, Resin Design & Morley Golden

PROPERTY OWNER: Walnut & Fourth LLC

LOCATION: 580 E 4th Street (Ketchum Townsite: Block 44: Lot 7A)

ZONING: Retail Core of the Community Core (CC-1)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on September 7th, 2022. The public hearing notice was published in the Idaho Mountain Express the on September 7th, 2022. A notice was posted on the City’s website on September 7th, 2022. The public hearing notice was posted on the project site on September 7th, 2022.

WALNUT & 4TH MIXED-USE BUILDING DESIGN REVIEW AMENDMENT

The project before the Commission consists of reviewing proposed modifications to the project plans for the Walnut & 4th Mixed-Use Building approved by the Planning and Zoning Commission with Design Review Permit P20-046. The project is located at the southwest corner of 4th Street and Walnut Avenue within the Retail Core of the Community Core (CC-1 Zone) and is currently under construction.

Project History and Background

The Planning and Zoning Commission reviewed and approved Design Review Permit P20-046 for the Walnut & 4th Mixed-Use Building on September 15th, 2020. The mixed-use building as approved by the Commission contained: (a) a community housing unit in the partial basement, (b) food service, retail, and a market-rate residential unit on the ground level, (c) two residential units, office space, and a food service area balcony on the second floor, and (d) 6 on-site parking spaces, including one ADA space, accessed from the Block 44 alleyway.

The Ketchum City Council approved Floor Area Ratio (FAR) Exceedance Agreement Contract #20595, recorded as Instrument number #682499 in records of Blaine County, on April 19th, 2021. The FAR Exceedance Agreement memorialized the applicant's community housing requirement in exchange for the project's increased FAR. FAR Exceedance Agreement Contract #20595 approved a 1,488-square-foot community housing rental unit within the basement of the new mixed-use building targeted for Blaine County Housing Authority Income Category 4.

The project was issued a building permit (Application File No. B21-009) on June 22nd, 2021. After the building permit for the project was issued, the applicant submitted modifications to extend the partial basement to a full basement that matched the building footprint of the upper levels. The enlarged basement floor plan matched the configuration of the partial basement plan. No changes were proposed to the total area or configuration of the community housing unit within the basement. The enlarged basement area was proposed to accommodate more non-habitable space for storage. No changes were proposed to the development's total gross floor area as basements are not included in the gross floor area calculation pursuant to Ketchum Municipal Code §17.08.020. Staff administratively approved the proposed change to enlarge the basement on August 25th, 2021.

PROPOSED MODIFICATIONS TO DESIGN REVIEW PERMIT P20-046

The changes to the project plans approved with Design Review Permit P20-046 propose to modify the mixture and configuration of uses that were approved by the Planning and Zoning Commission. As the requested change modifies the mixture of uses within the development, Staff determined that the proposed amendment does not qualify as a minor modification and is subject to the Commission's review and approval.

In addition to the proposed request to modify the mixture and configuration of uses, the applicant has proposed changes to the exterior of the mixed-use building. The proposed modifications are identified on the modified project plans attached as Exhibit A to the Staff Report. The original project plans approved by the Commission with Design Review Permit P20-046 are attached as Exhibit B to the Staff Report.

Exterior Modifications

The proposed exterior modifications include changes to the exterior materials, window size and design, landscaping, and exterior lighting.

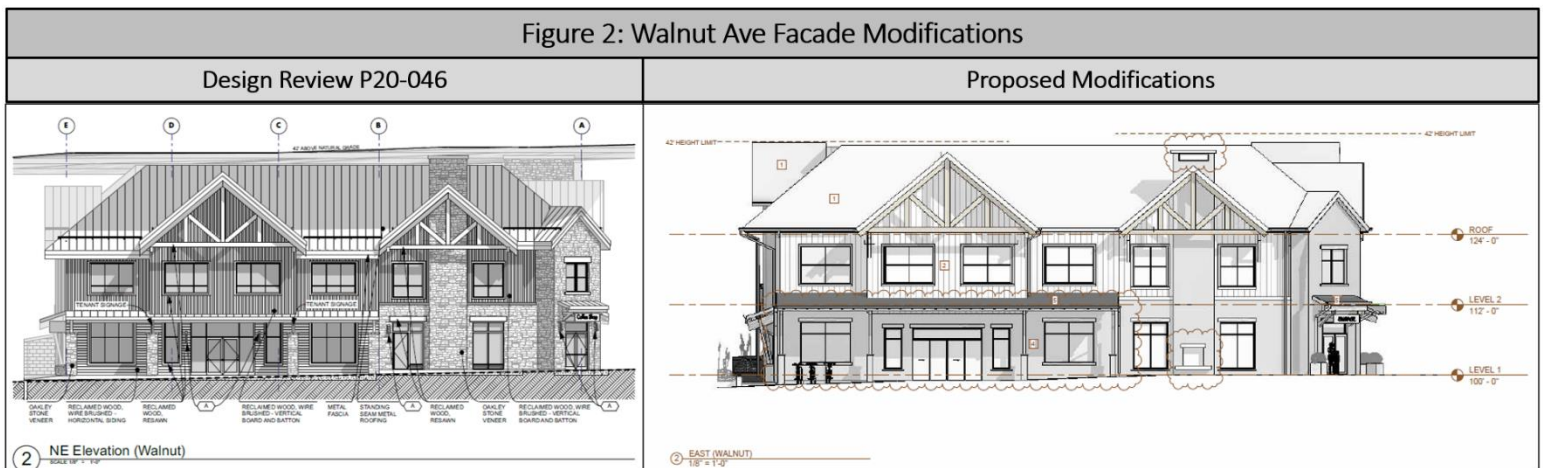
The applicant has replaced the wood siding proposed at the ground floor with stone veneer to comply with Fire Department standards requiring all exterior materials within 12 vertical inches of finished grade to be 1-hour rated, noncombustible material. The applicant has proposed enlarging the window above the building entrance at the 4th Street façade. The windows at the ground-level of the south elevation have been modified to a clerestory design. The applicant has modified the design of the guardrails at the upper-level balconies at the alley and interior side elevations. The original project plans approve with Design Review P20-046A proposed horizontal metal rails. The applicant has proposed modifying these guardrails to solid, stained wood panels to provide more privacy to the balconies.

The applicant has revised the proposed exterior lighting plan (See Figure 1). The project plans approved with Design Review P20-046 proposed 18 total wall sconces and 30 recessed can lights. Three different wall sconces were proposed with the original project plans approved with Design Review P20-046. The applicant has proposed 1 new exterior wall sconce to replace the 3 wall sconces that were approved with Design Review P20-046 and reduced the total number of wall sconces to 6 total fixtures.



The landscape plan has been modified along 4th Street. The project plans approved with Design Review P20-046 showed in-ground planting beds along the 4th Street frontage that extended into the public right-of-way. The landscape plan has been revised to provide raised landscaped planter boxes along the 4th Street façade. The planter boxes are contained on the subject property and do not extend into the public right-of-way.

The original project plans approved with Design Review Application File No. P20-046 included a false chimney that was incorporated into the design of the 4th Street façade. This false chimney has been removed from the 4th Street façade. The applicant has modified the design of the chimney at the Walnut Avenue Elevation (See Figure 2). Side openings have been added to the chimney cap. The applicant has modified the design of the fireplace at the ground level so that the fire is visible from the exterior of the mixed-use building along Walnut Avenue. The fireplace is proposed to be enclosed and sealed with glass so that the fire is visible on the exterior of the mixed-use building along Walnut Avenue.



The proposed modifications show proposed changes to the right-of-way improvements. The applicant has proposed modifying the surfacing material for the sidewalk along Walnut Avenue from heated pavers to heated concrete. These modifications also extend the heated concrete sidewalks along Walnut Avenue through the street frontage along the adjacent Gold Mine property. These right-of-way modifications are currently under review by the City Engineer and Planning Department. Before the City approves the building permit modifications, the applicant must receive City Council approval for 2 ROW Encroachment Agreements—one for the 4th& Walnut Mixed-Use Building property located at 580 E 4th Street and one for the Gold Mine property located at 331 N Walnut Avenue.

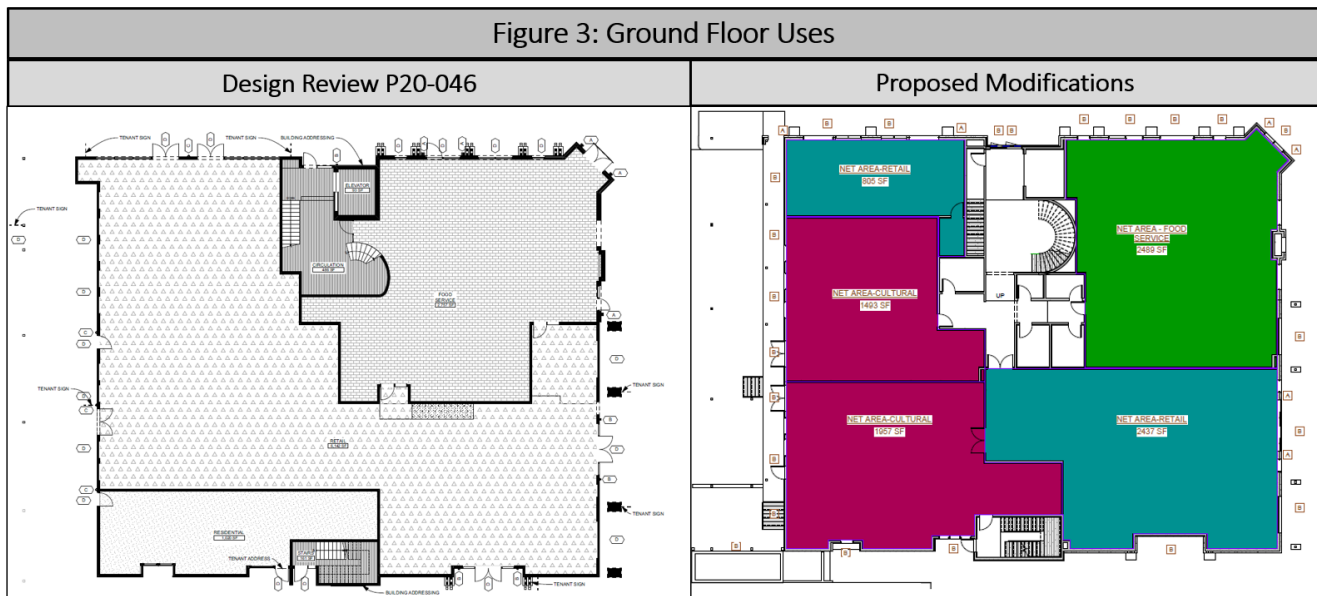
Proposed Modifications to Mixture of Uses

The applicant has proposed changes to the mixture and configuration of uses within the mixed-use development. Table 1 provides a summary of these proposed changes.

Table 1: Summary of Proposed Changes to Mixture of Uses			
Use	Design Review P20-046 Floor Area	Proposed Modification Floor Area	Summary of Proposed Changes
<i>Basement</i>			
Community Housing	1,522 square feet	2,018 square feet with 105 square feet detached storage area	496 net livable square feet addition to community housing unit and 105 square foot detached storage area for community housing unit added to the basement.
<i>Ground Floor</i>			
Retail	6,142 square feet	3,288 square feet	The total retail area is proposed to be reduced by 2,854 square feet. The total food service area is proposed to be reduced by 268 square feet. The residential unit on the ground level has been eliminated. A new 3,252-square-foot unit for the Community Library Regional History Museum (cultural facility) has been added to the ground level.
Food Service	2,757 square feet	2,489 square feet	
Residential	1,020 square feet	None	
Cultural Facility	None	3,252 square feet	
<i>Second Level</i>			
Residential A	1,773 square feet	1,866 square feet	The residential floor area on the second level is proposed to be increased by 87 square feet. The office area on the second level is proposed to be increased by 1,123 square feet.
Residential B	1,928 square feet	1,922 square feet	
Office	3,867 square feet	4,999 square feet	

The size of the community housing unit provided in the basement is proposed to be increased by 496 square feet. A detached 105-square-foot storage area for the community housing unit has been added to the basement floor plan. Staff has added recommended condition #3 that FAR Exceedance Agreement 20595 shall be revised to reflect the modified project and that the amended agreement shall be reviewed and approved by the Ketchum City Council prior to City approval of the modified project plans submitted by the applicant to amend Building Permit B21-009.

The applicant has proposed to modify the mixture of commercial uses on the ground level (See Figure 3). The original project plans approved by the Commission with Design Review Permit P20-046 included a market-rate residential unit at the back of the building along the alley on the ground floor. Residential units on the ground level with street frontage are prohibited in the CC-1 Zone. This residence was permitted on the ground level as the unit did not have any street frontage along Walnut Avenue or 4th Street. This market-rate residential unit has been removed from the ground floor. The total retail area on the ground level has been reduced by 2,854 square feet. The food service area at the street corner has been reduced by 268 square feet. The removal of the market-rate residential unit and the reduction in total retail and food service areas will accommodate a new 3,252-square-foot area for the Community Library Regional History Museum located on the ground level. The museum is qualified as a cultural facility use. Ketchum Municipal Code §17.08.020 defines cultural facility as an institution or use of land for the display, preservation, or exhibition of art, scientific, cultural, or historical materials, including, but not limited to, museums, libraries, or art galleries. Cultural facilities are a permitted use in the CC-1 Zone pursuant to Ketchum Municipal Code §17.12.020. While the total retail and food service areas have been reduced, these uses are proposed to remain at the street frontages along 4th Street and Walnut Avenue.



The original project plans approved by the Commission with Design Review Permit P20-046 proposed two residential units and office space on the second level. The second floor also included a balcony area for the food service establishment located on the ground level. The applicant has proposed removing this balcony on the second level. The office area is proposed to be increased by 1,123 square feet.

Off-Street Parking Requirements (Ketchum Municipal Code §17.125.040)

The proposed modifications to the mixture of uses within the development have resulted in increased parking demand for the mixed-use development. The mixture of uses approved by the Commission with Design Review P20-046 generated a parking demand of 8 spaces (3 residential parking spaces and 5 commercial parking spaces). The parking demand for the proposed mixture of uses is detailed in Table 2.

Table 2: Parking Demand for Proposed Changes to Mixture of Uses

Proposed Uses	Floor Area	Total Parking Required (Ketchum Municipal Code §17.125.040)
Community Housing	2,018 square feet	Exempt Pursuant to Ketchum Municipal Code §17.125.040.C.1a
Retail	3,288 square feet	Exempt Pursuant to Ketchum Municipal Code §17.125.040.C.1c
Food Service	2,489 square feet	Exempt Pursuant to Ketchum Municipal Code §17.125.040.C.1b
Cultural Facility	3,252 square feet	3 parking spaces
Residential A	1,866 square feet	1 parking space
Residential B	1,922 square feet	1 parking space
Office	4,999 square feet	5 parking spaces
Total Parking Spaces Required:		10 parking spaces
Total Parking Spaces Provided On-Site:		6 parking spaces are provided on-site
Community Core On-Street Parking Credit (KMC §17.125.050.C)		<ul style="list-style-type: none"> 4 parking spaces per 5,500 sq ft of lot area may be credited after 4 spaces minimum is satisfied <i>8 parking spaces may be credited based on 16,378 sq ft lot area</i> Only spaces directly adjacent to property lines <i>5 parking spaces are located within the ROW directly adjacent to the property lines</i> Credit spaces shall only be credited for non-residential parking demand. <i>The project's nonresidential parking demand is 8 spaces.</i> <p>5 total on-street parking spaces may be credited for the non-residential parking demand.</p>
Total Parking Provided		11 Parking Spaces (6 on-site and 5 on-street credit spaces)

The proposed mixture of uses generates a total parking demand of 8 spaces—2 parking spaces required for the residential uses and 8 parking spaces for the commercial uses. The applicant has provided 11 total parking spaces. 6 of these parking spaces, including 1 ADA space, are provided on site. The project is eligible for 5 on-street parking credits pursuant to Ketchum Municipal Code §17.125.050.C. The 6 on-site parking spaces and 5 on-street credit spaces satisfy the project parking demand for the proposed mixture of uses.

STAFF RECOMMENDATION

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Commission approve the proposed modifications to the Walnut & 4th Mixed-Use Building.

Should the Commission choose to support the proposed project modifications, Staff recommends the following conditions of approval. If the Commission approves the project, Staff would return with findings and conditions reflecting the Commission's decision.

RECOMMENDED DESIGN REVIEW AMENDMENT CONDITIONS OF APPROVAL

1. The interior and exterior modifications are subject to the conditions of approval for Design Review Permit P20-046.
2. This Design Review Amendment is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or the Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. Prior to City approval of the modified project plans submitted by the applicant to amend Building Permit B21-009, FAR Exceedance Agreement 20595 shall be revised to reflect the modified project and that the amended agreement shall be reviewed and approved by the Ketchum City Council.

EXHIBITS

- A. Walnut & 4th Mixed-Use Building Design Review Amendment P20-046A Project Plans
- B. Walnut & 4th Mixed-Use Building Design Review Permit P20-046 Approved Project Plans

Exhibit A
Walnut & 4th
Mixed-Use Building
Design Review Amendment
P20-046A
Project Plans

WALNUT & 4TH LLC

580 4TH ST E, KETCHUM, ID 83340
 AMENDMENT TO DESIGN REVIEW P20-A46



SHEET LIST

A000	COVER SHEET
C0.1	CIVIL NOTES AND DETAILS
C0.2	CIVIL DETAILS
C1.1	CIVIL GRADING, DRAINAGE AND UTILITIES
C1.2	CIVIL GEOMETRY
L-1.0	LANDSCAPE SITE PLAN
L-3.1	LANDSCAPE MATERIAL PLAN
AS-101	CONSTRUCTION MANAGEMENT PLAN
A01	BASEMENT AREA PLAN
A02	FIRST FLOOR AREA PLAN
A03	SECOND FLOOR AREA PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A503	EXTERIOR LIGHTING FIXTURES
A909	BUILDING MATERIALS
A910	3D VIEWS
A911	3D VIEWS

OWNER

WALNUT & FOURTH LLC
 C/O GREGORY C CARR
 313 N WATER AVE, IDAHO FALLS, ID 83402-0000

STRUCTURAL

FROST ENGINEERING
 1020 LINCOLN ROAD, IDAHO FALLS, ID 83401
 (208) 227-8404

CIVIL

GALENA ENGINEERING
 317 NORTH RIVER ST, HAILEY, ID 83333
 (208) 418-0306

ARCHITECT

ENSITIO DESIGN
 627 E PEACH ST, BOZEMAN, MT 59715
 (406) 209-8330

CONTRACTOR

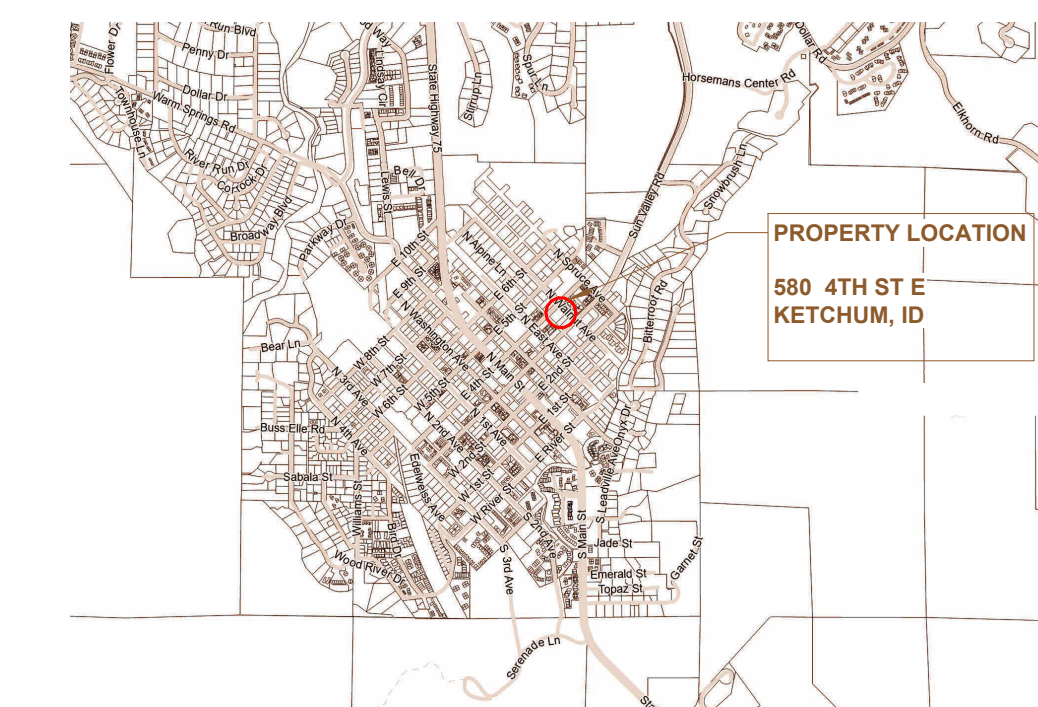
ELIAS CONSTRUCTION
 131 4TH ST/ #211, KETCHUM, ID 83340
 (208) 725-5400

LANDSCAPE ARCHITECT

LANDWORK STUDIO
 110 5TH ST WEST, KETCHUM, ID 83340
 (208) 726-5331

PROPERTY LEGAL DESCRIPTION

LOT 7A BLOCK 44, KETCHUM



VICINITY MAP
 NOT TO SCALE

DESIGN TEAM
ENSITIO
 ARCHITECTURE
 627 E PEACH ST
 BOZEMAN, MT 59715
 406.209.8330

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NOT FOR
 CONSTRUCTION

WALNUT & 4TH LLC

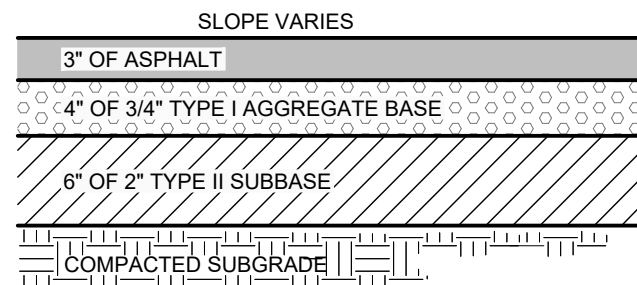
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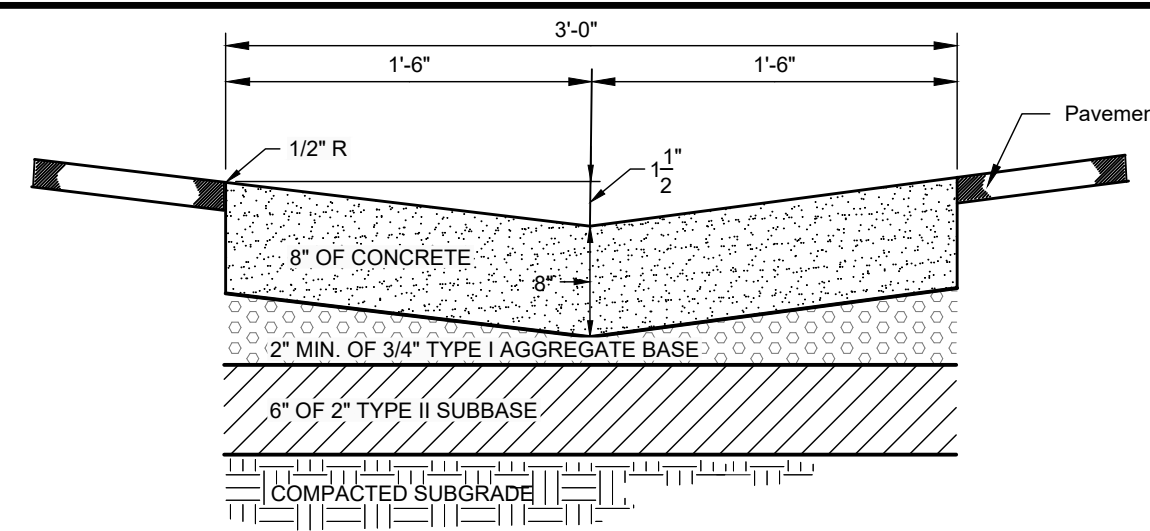
PROJECT ISSUE DATE
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CONSTRUCTION NOTES

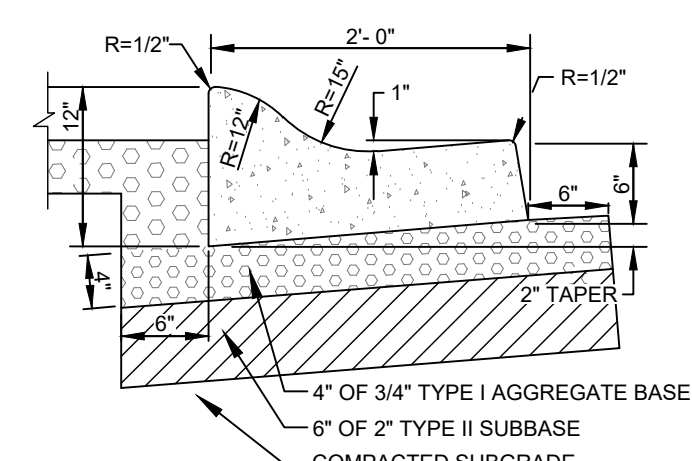
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED AT THE EXPENSE OF PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



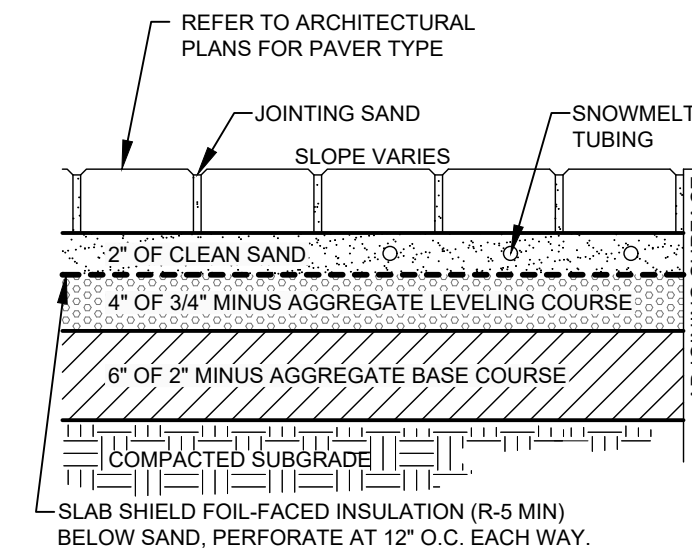
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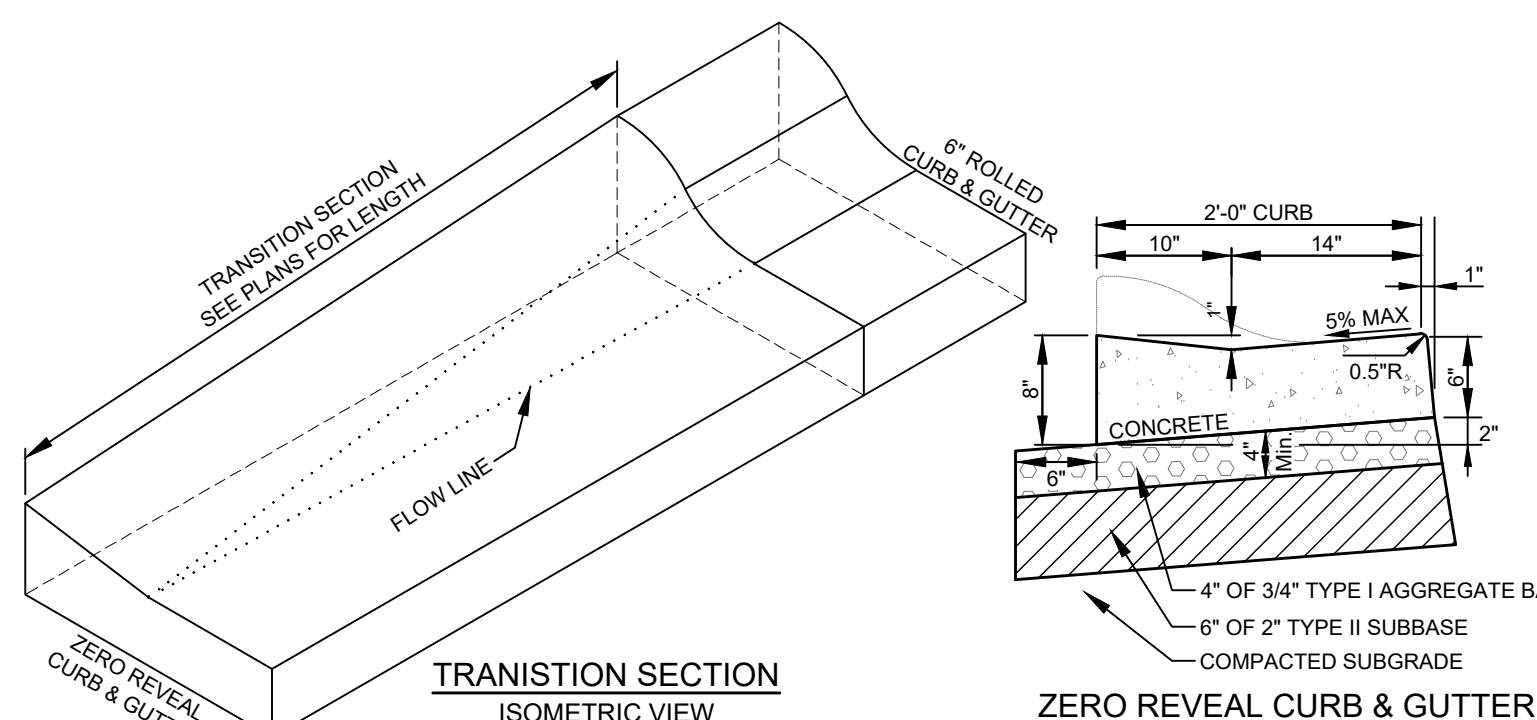
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C0.1 **36" CONCRETE VALLEY GUTTER**
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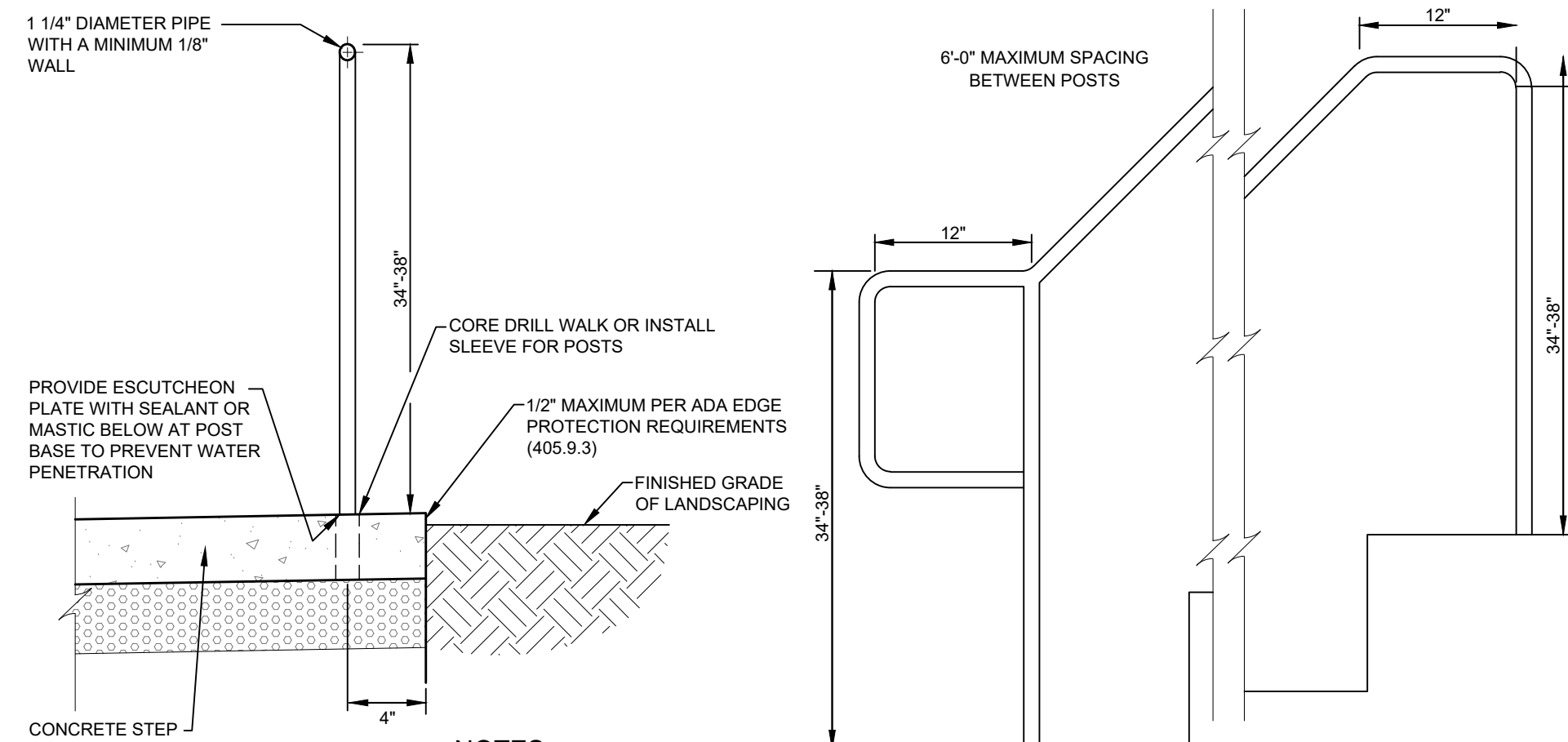
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C0.1 **6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



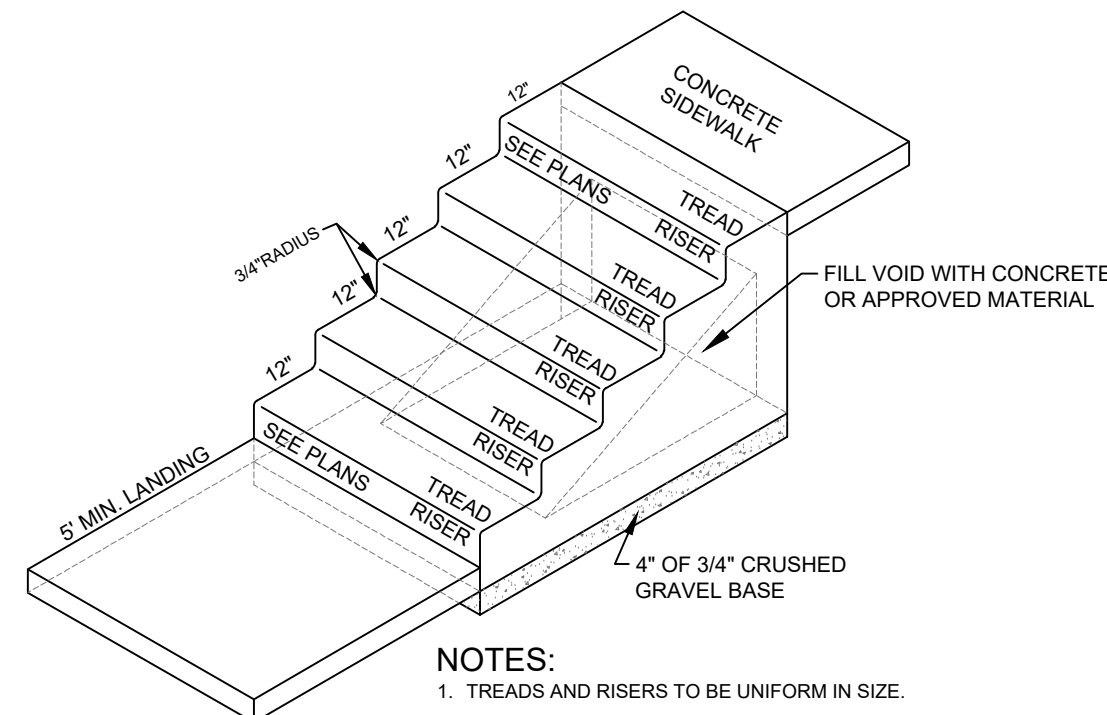
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C0.1 **HEATED PAVER DETAIL**
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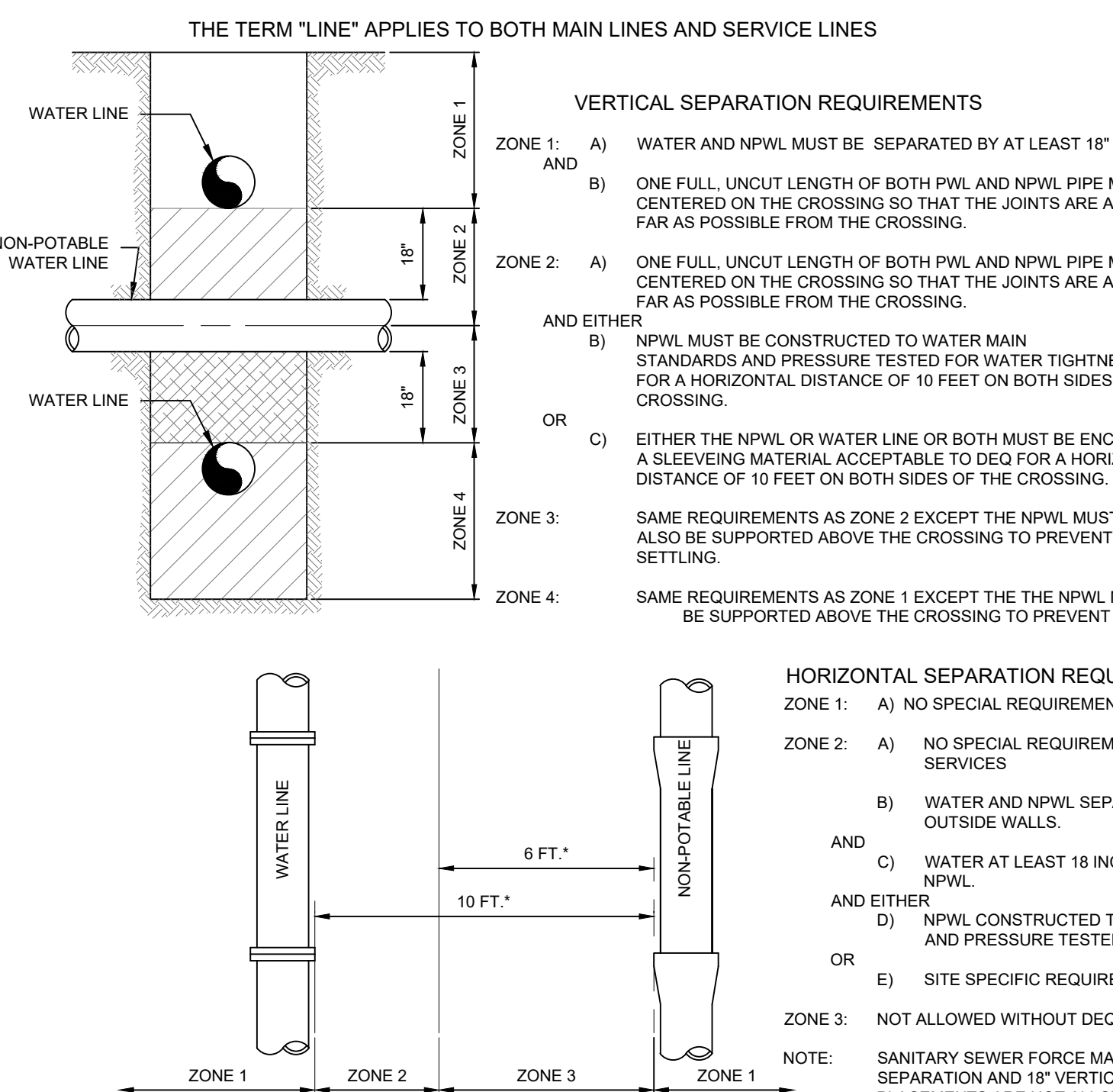
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C0.1 **TYPICAL CURB TRANSITION DETAIL**
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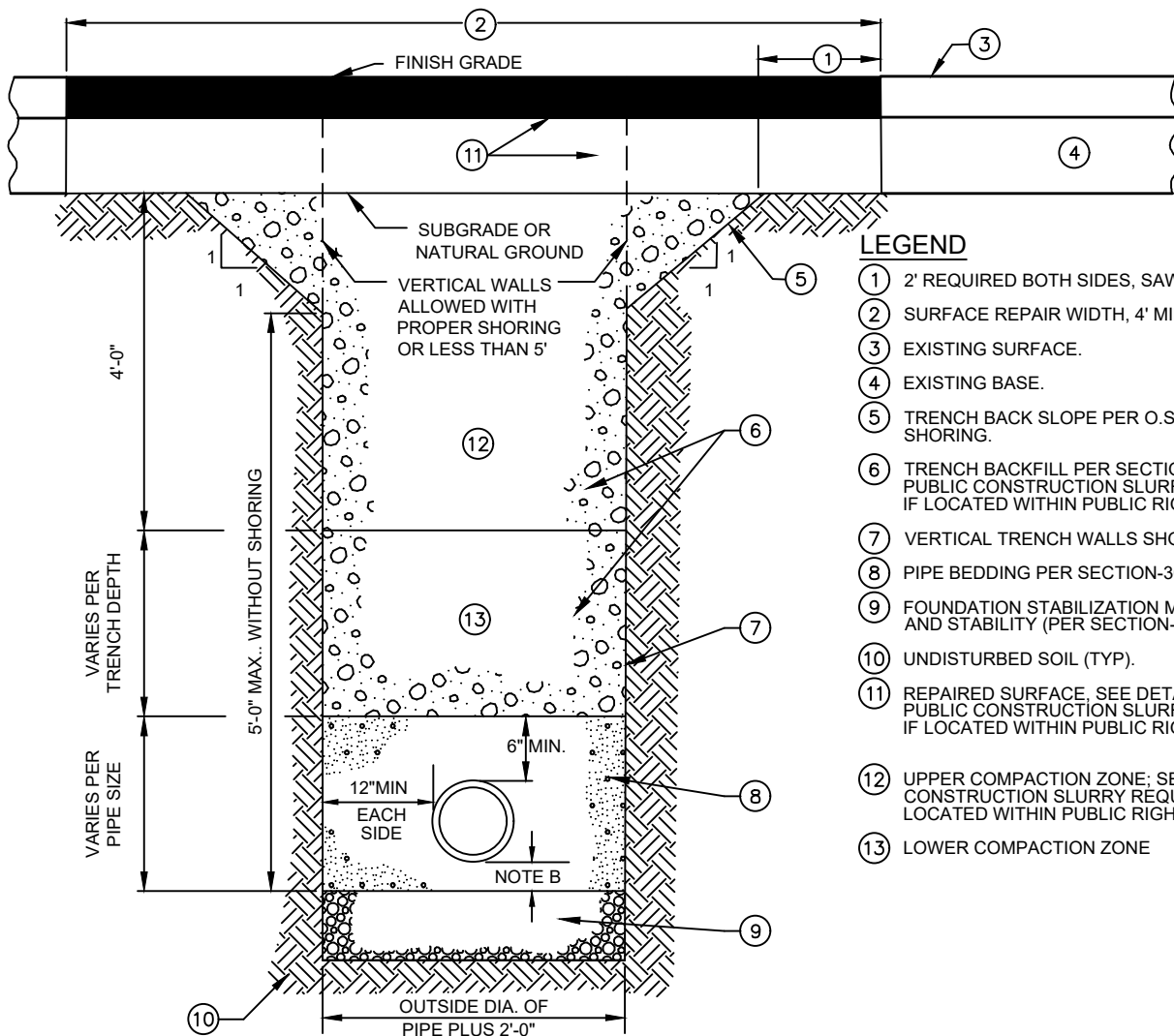
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C0.1 **TYPICAL HANDRAIL AND STAIRS DETAIL**
N.T.S.



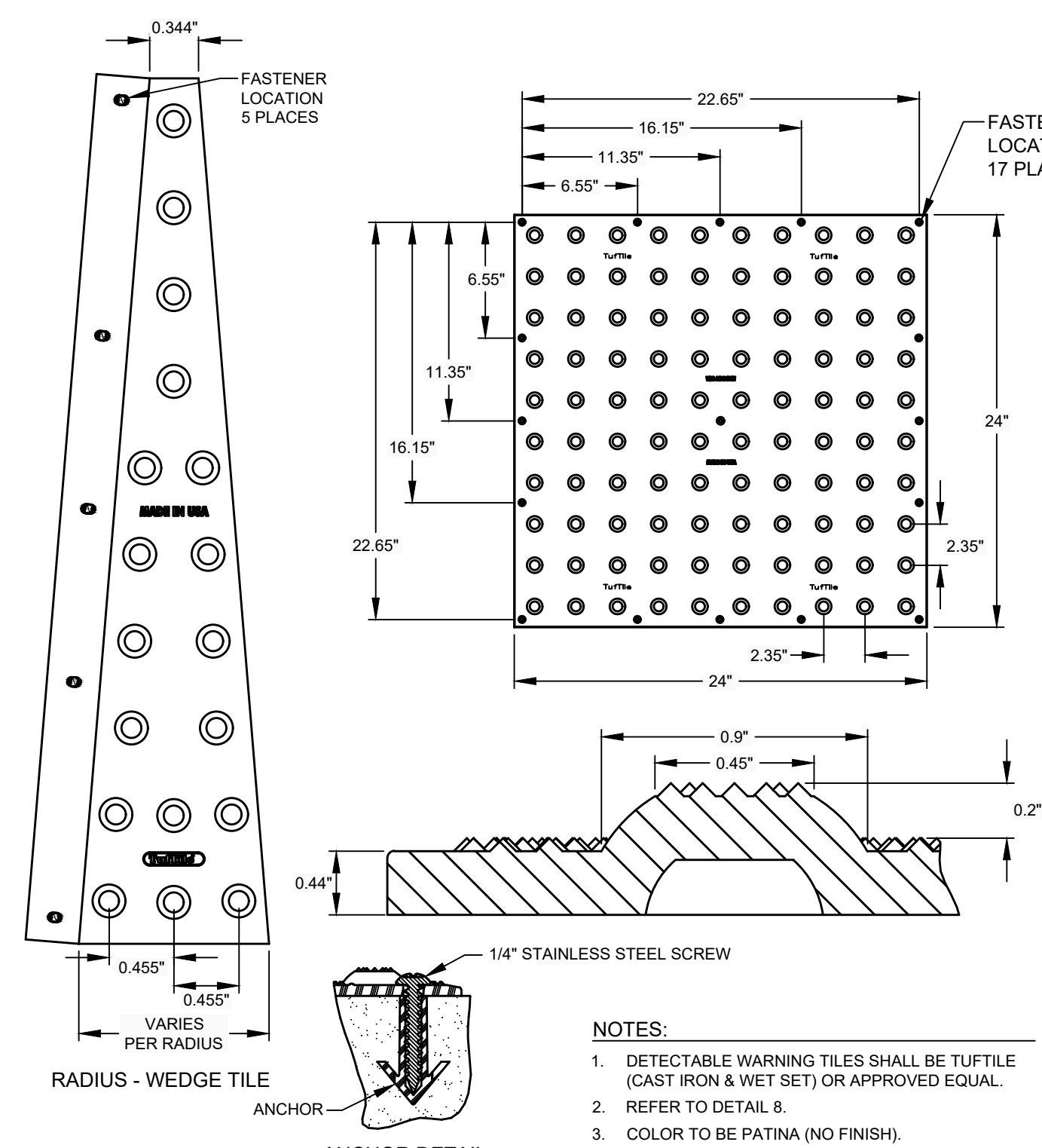
WALL MOUNTED HANDRAIL DETAIL
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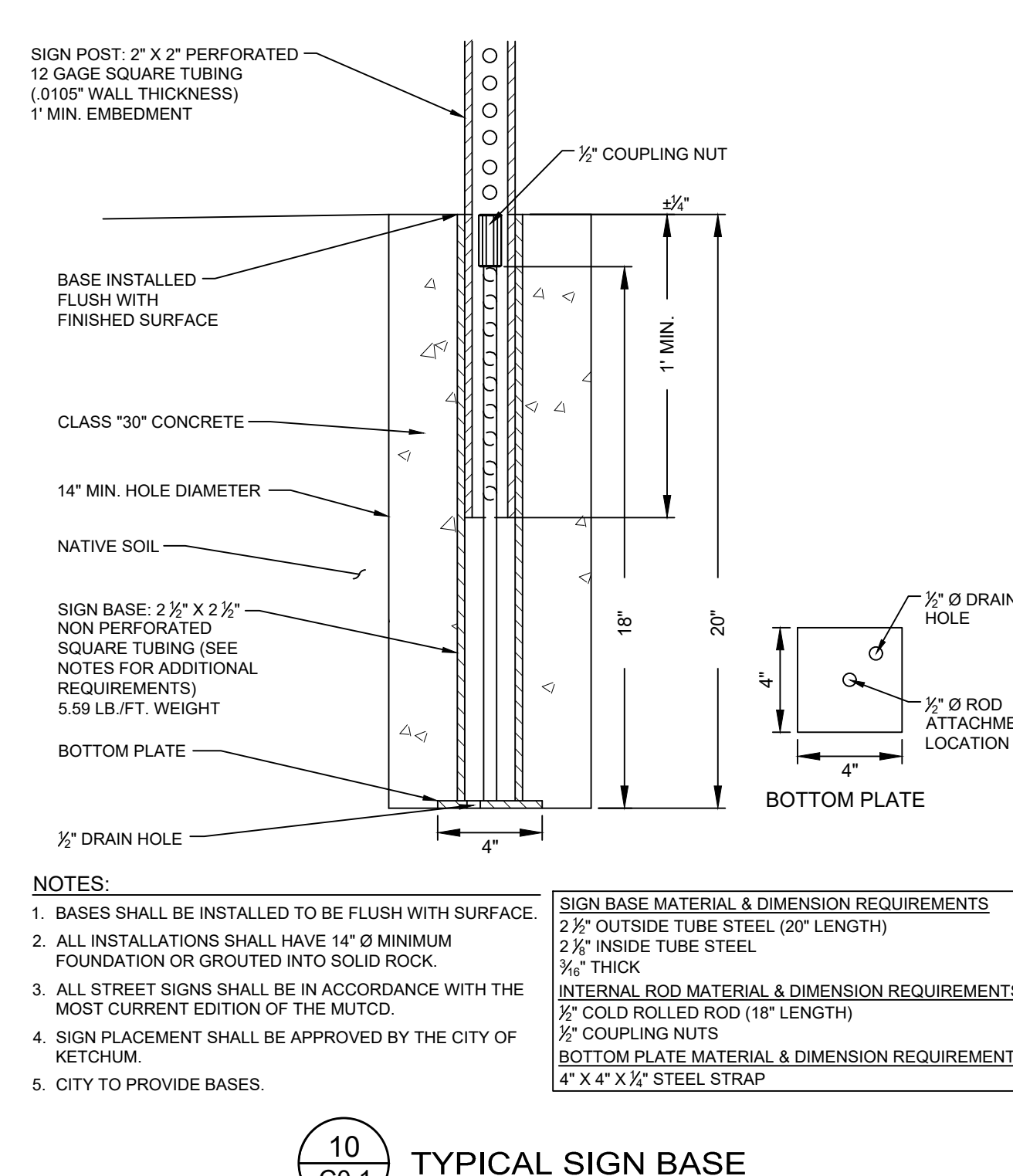
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C0.1 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.



8
C0.1 **TYPICAL TRENCH**
N.T.S.



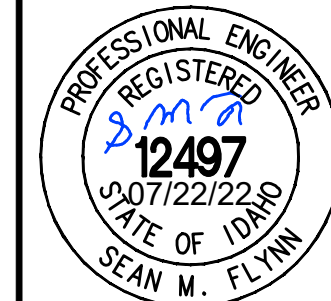
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C0.1 **DETECTABLE WARNING PLATE**
N.T.S.



10
C0.1 **TYPICAL SIGN BASE**
N.T.S.

NOTES AND DETAIL SHEET
4TH AND WALNUT

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WALNUT & FOURTH LLC



SKS/CT
DESIGNED BY
SKS/CT
DRAWN BY
SMF
CHECKED BY

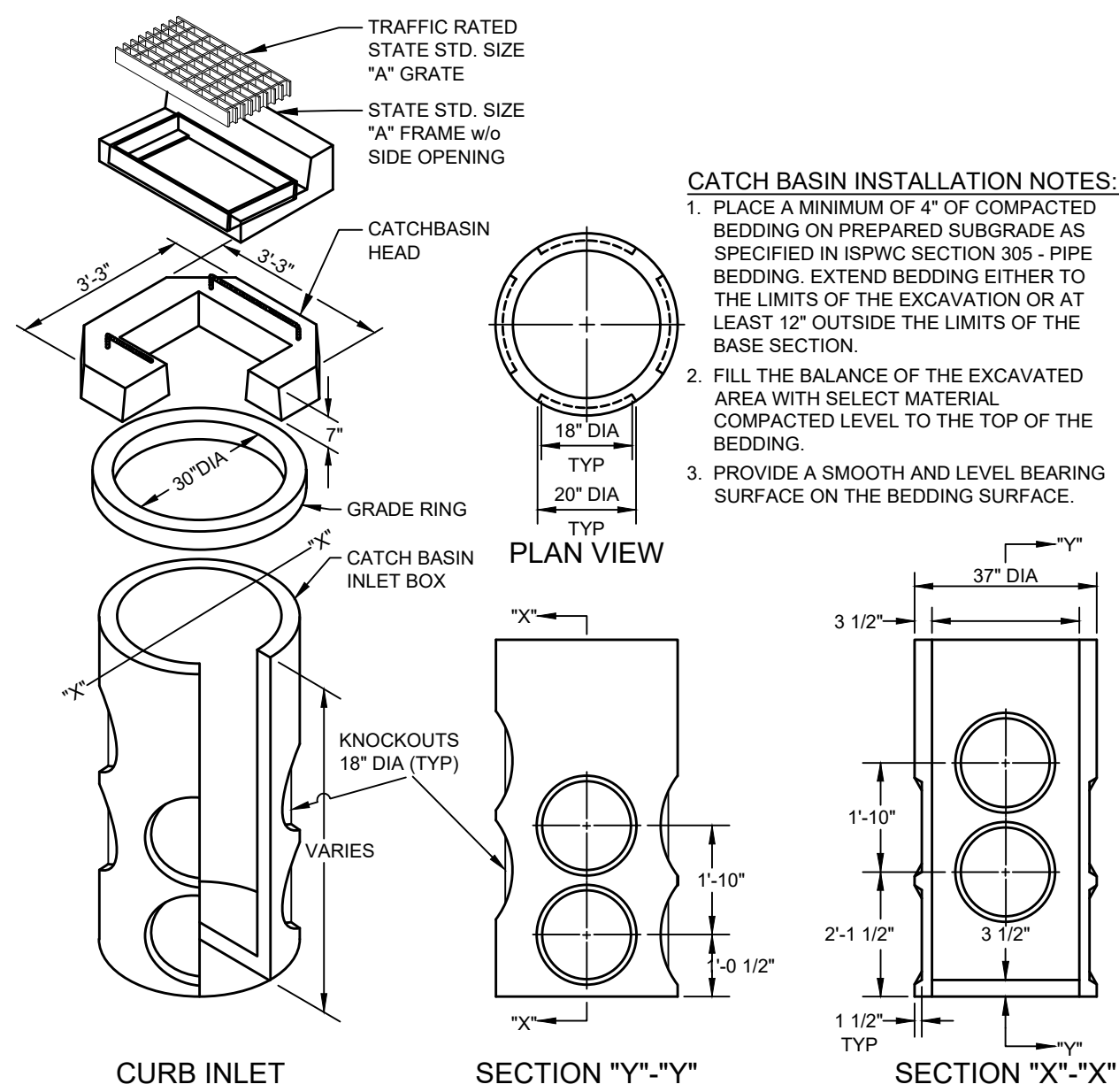
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 768-1705
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	04/25/21	SKS	RESPONSE TO AHJ
2	05/05/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
3	06/18/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
4	06/04/22	SMF	SIDEWALK TYPE REVISIONS: CONC. FLOOR @ UT'S IN ALLEY
5	06/22/22	SMF	ADD NORTHWEST CANOPY COLUMNS
6	07/22/22	SMF	ADD 331 N WALNUT AVE. DESIGN

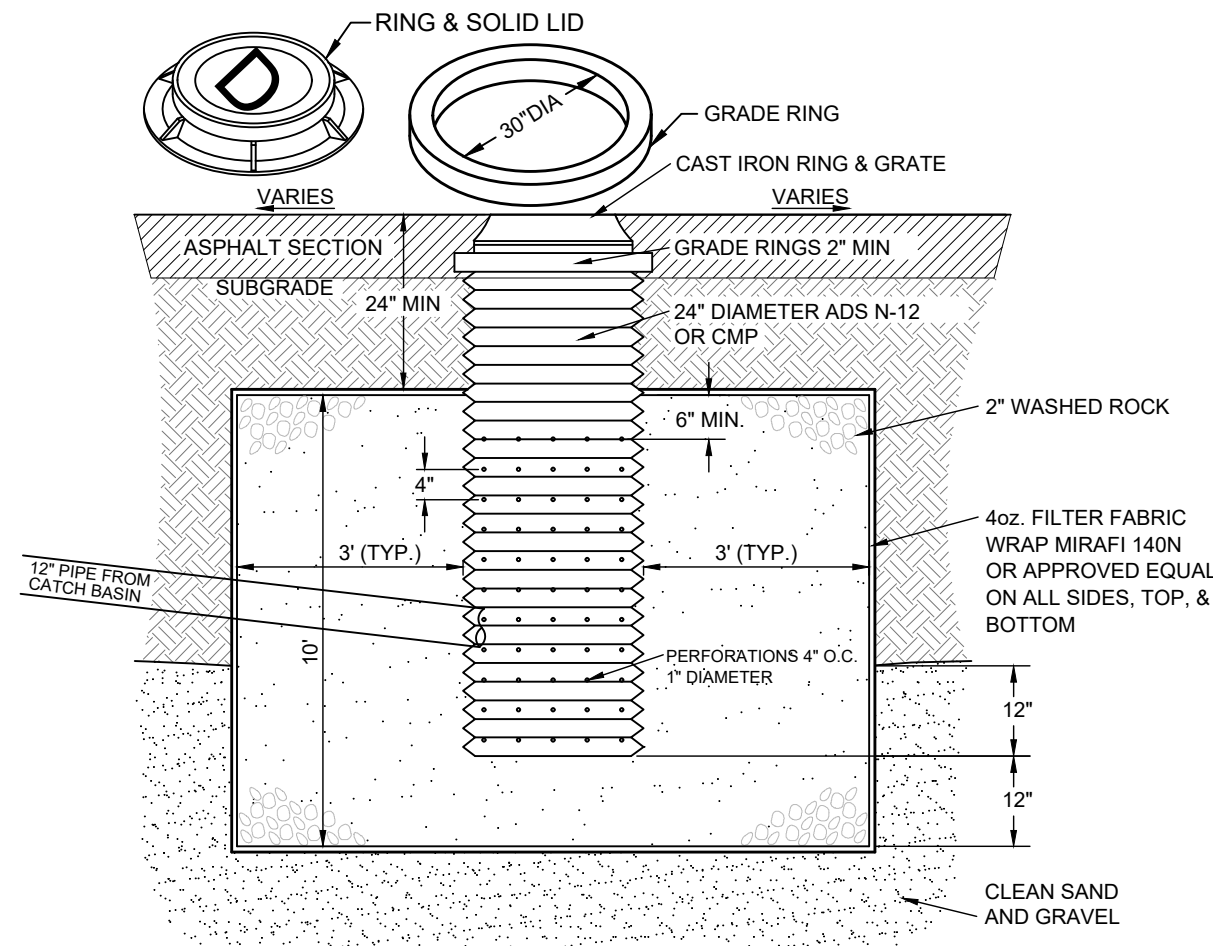
C0.1

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

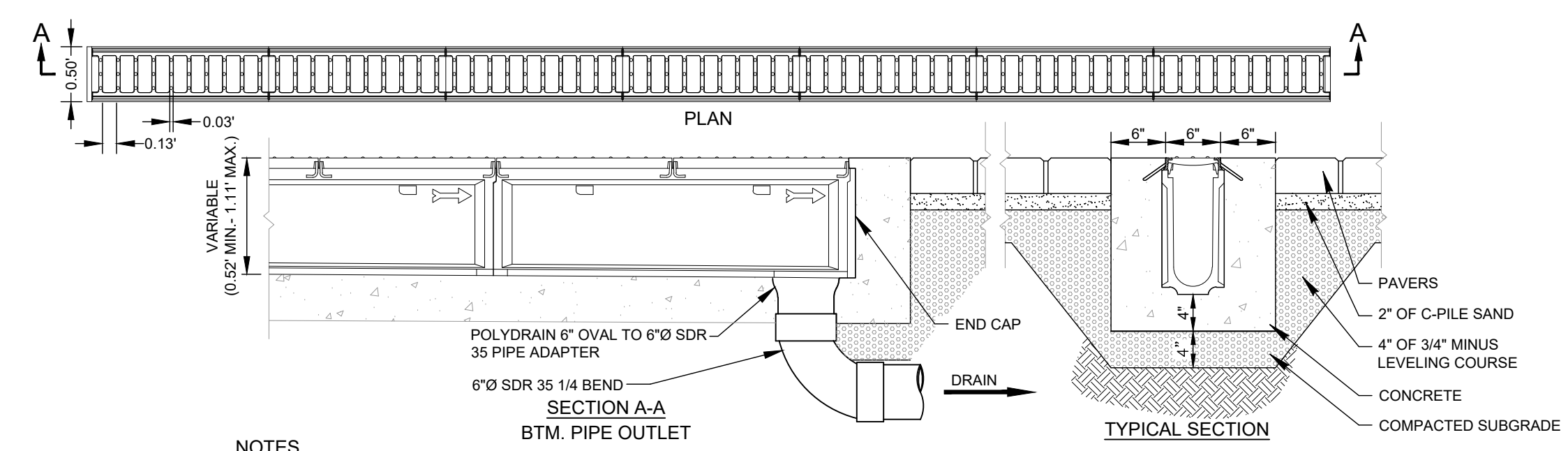
PROJECT INFORMATION
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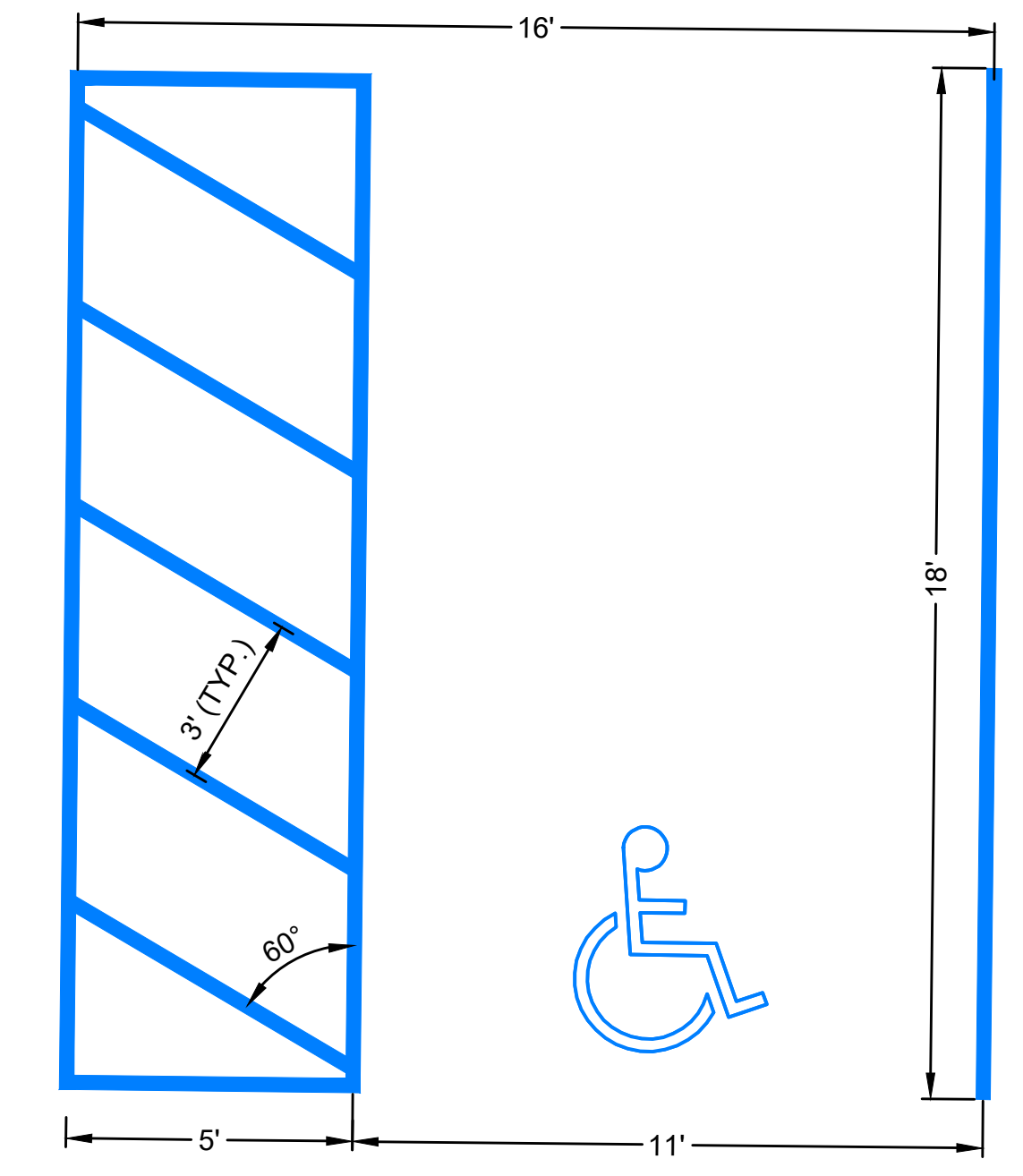
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C0.2 **30\"/>**



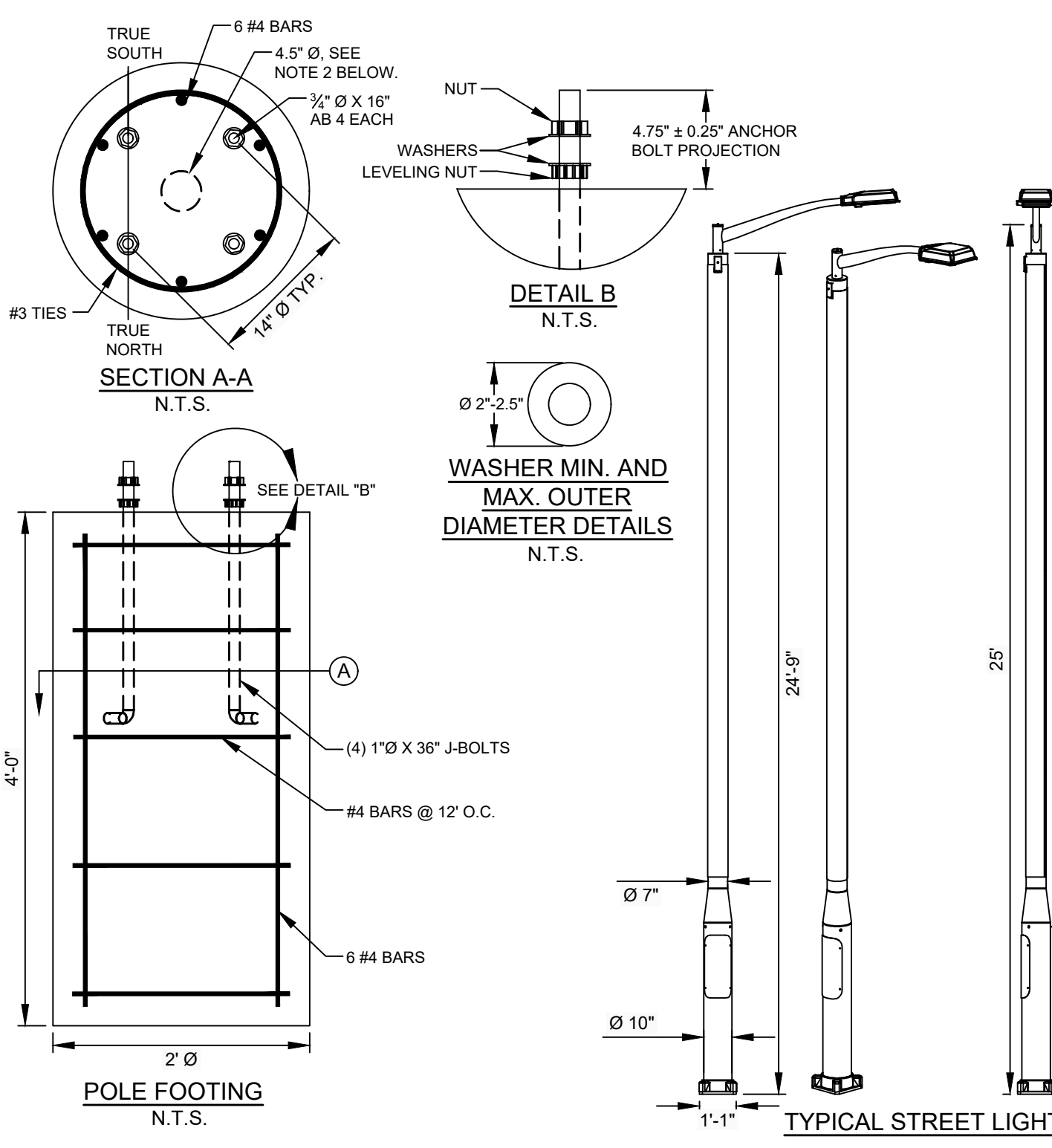
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C0.2 **DRYWELL DETAIL (8\"/>**



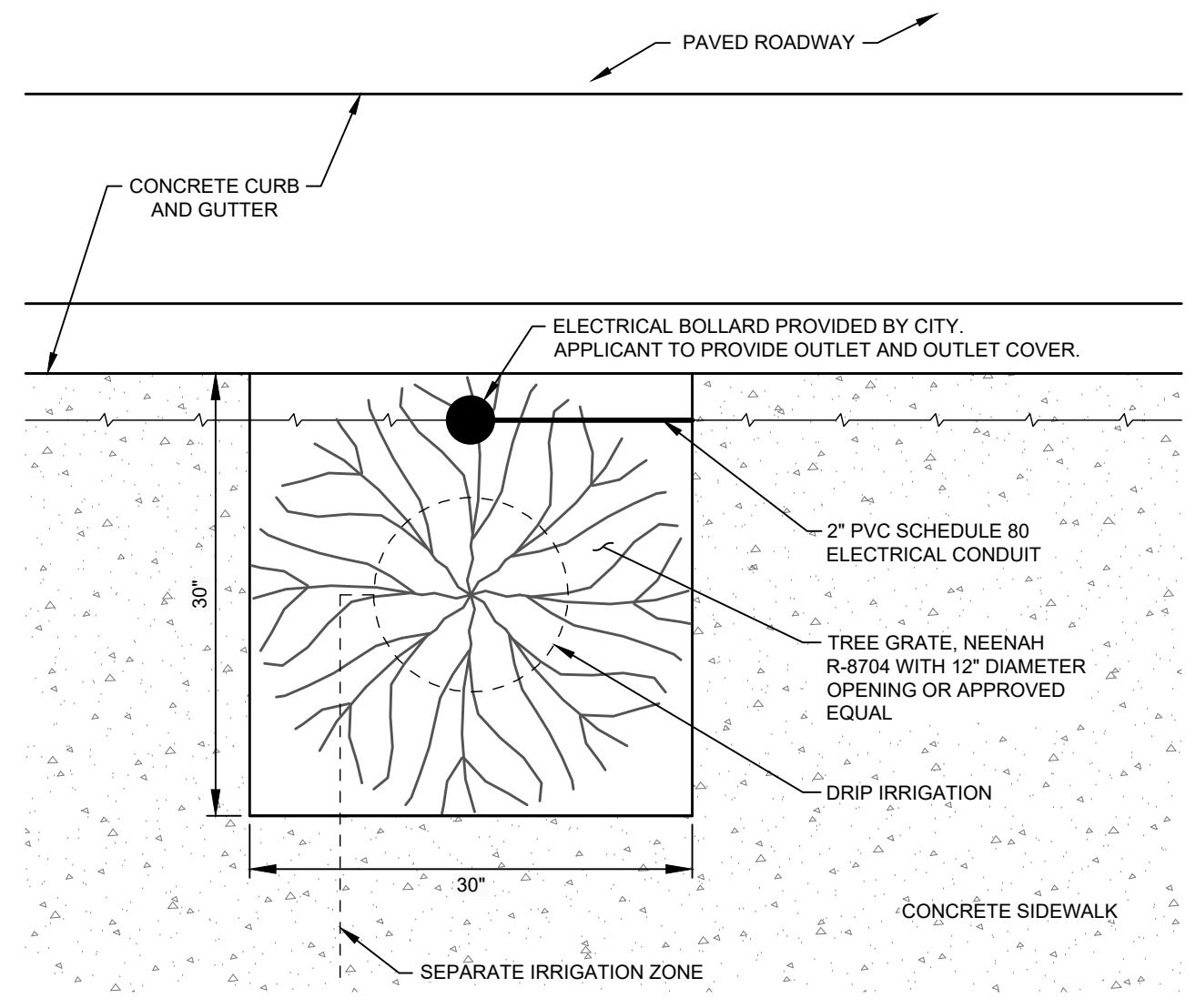
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C0.2 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



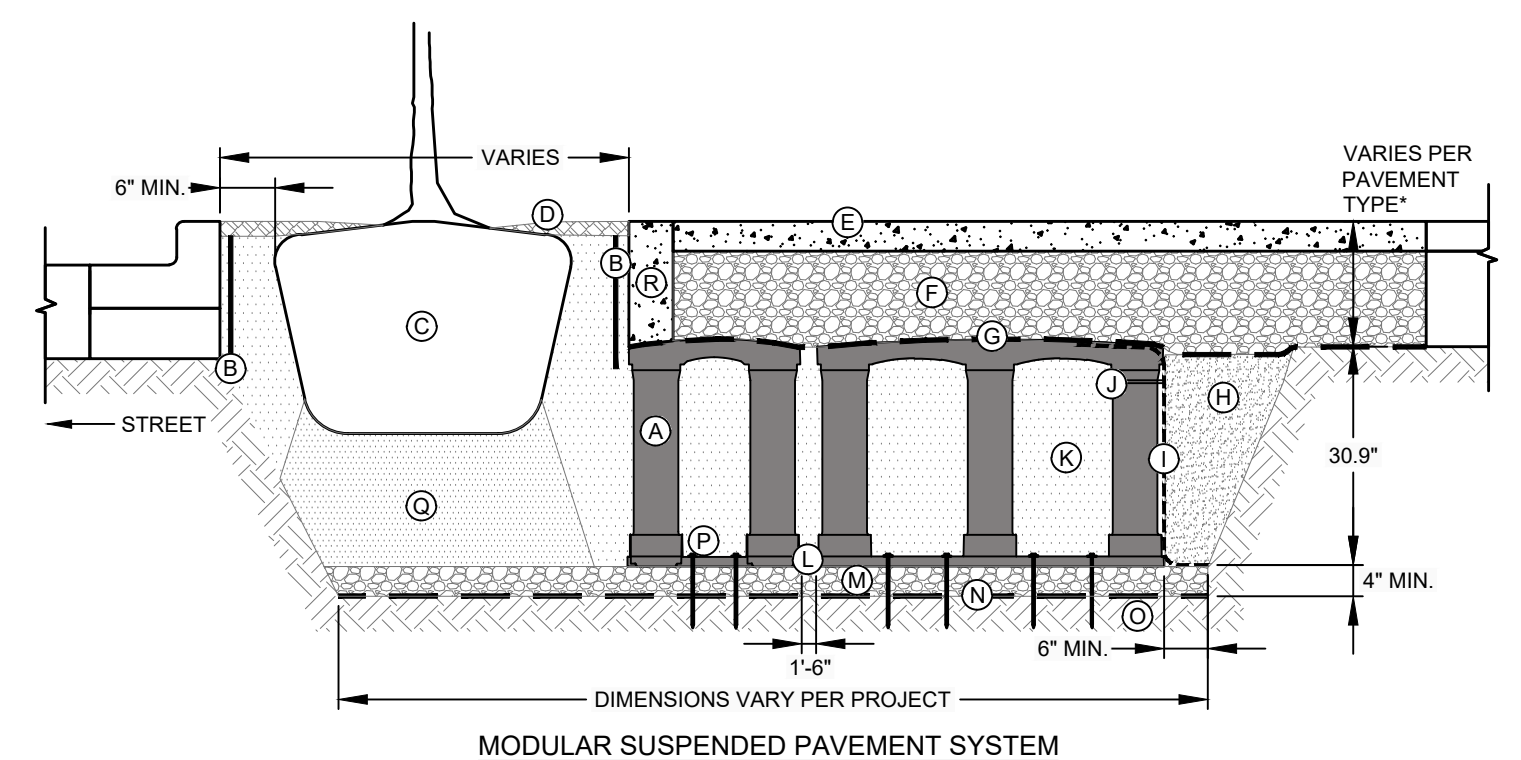
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C0.2 **ADA PARKING SPACE DIMENSIONS**
N.T.S.



5
C0.2 **TYPICAL STREET LIGHT**
N.T.S.



6
C0.2 **TREE WELL DETAILS**
N.T.S.

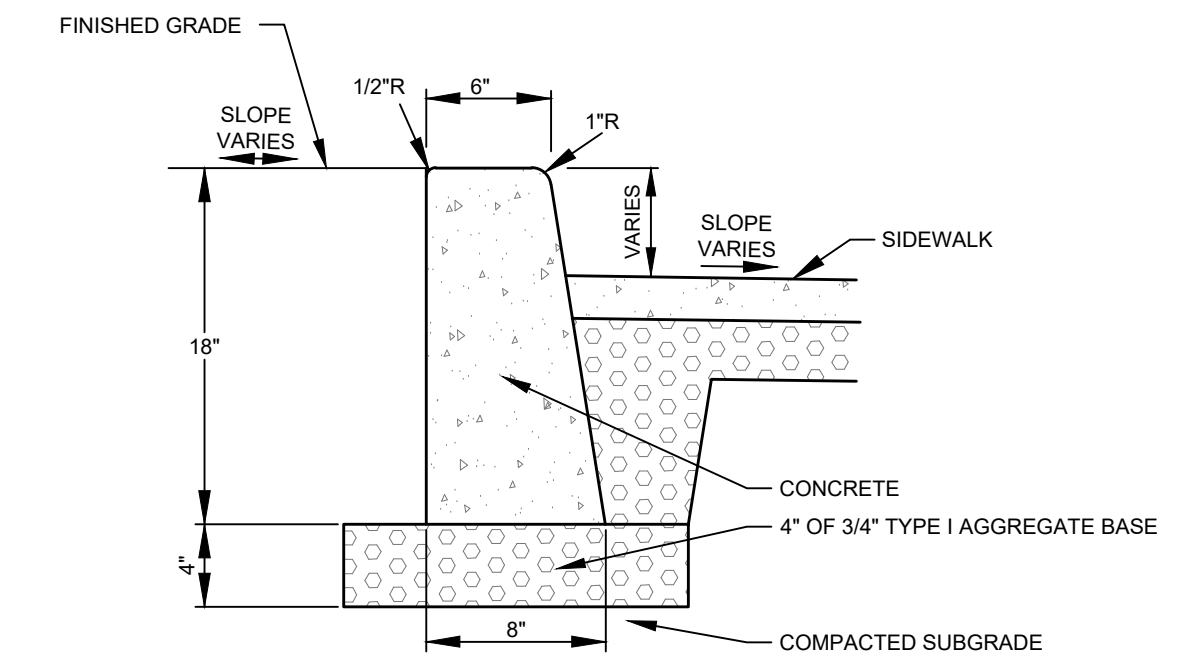


KEY PLAN:
 A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 B. DEEPROOT ROOT BARRIER, 12" OR 18" DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 C. TREE ROOT PACKAGE, SIZE VARIES.
 D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
 E. SURFACE TREATMENT, PER PROJECT.
 F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
 G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
 H. BACKFILL, PER PROJECT SPECIFICATIONS.
 I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
 K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
 L. SILVA CELL BASE SLOPE, 10% MAX.
 M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
 N. GEOTEXTILE TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
 O. SUBGRADE, COMPACTED TO 95% PROCTOR.
 P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
 Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
 R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	+ AGGREGATE
4" CONCRETE	4" AGGREGATE
3" PAVEMENT	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.6" PAVEMENT	+ 5" CONCRETE

NOTES:
 1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



7
C0.2 **CONCRETE VERTICAL CURB**
N.T.S.

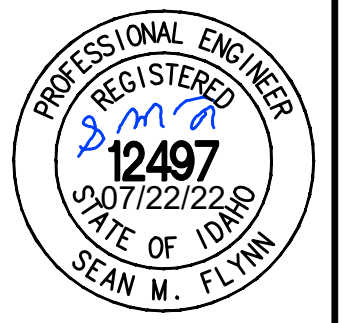
NOTES:
 1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

NOTES:
 1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 2. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 6. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C0.2 **TYPICAL CONCRETE SECTION**
N.T.S.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.

DETAIL SHEET
4TH AND WALNUT
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WALNUT & FOURTH LLC
 PROJECT INFORMATION
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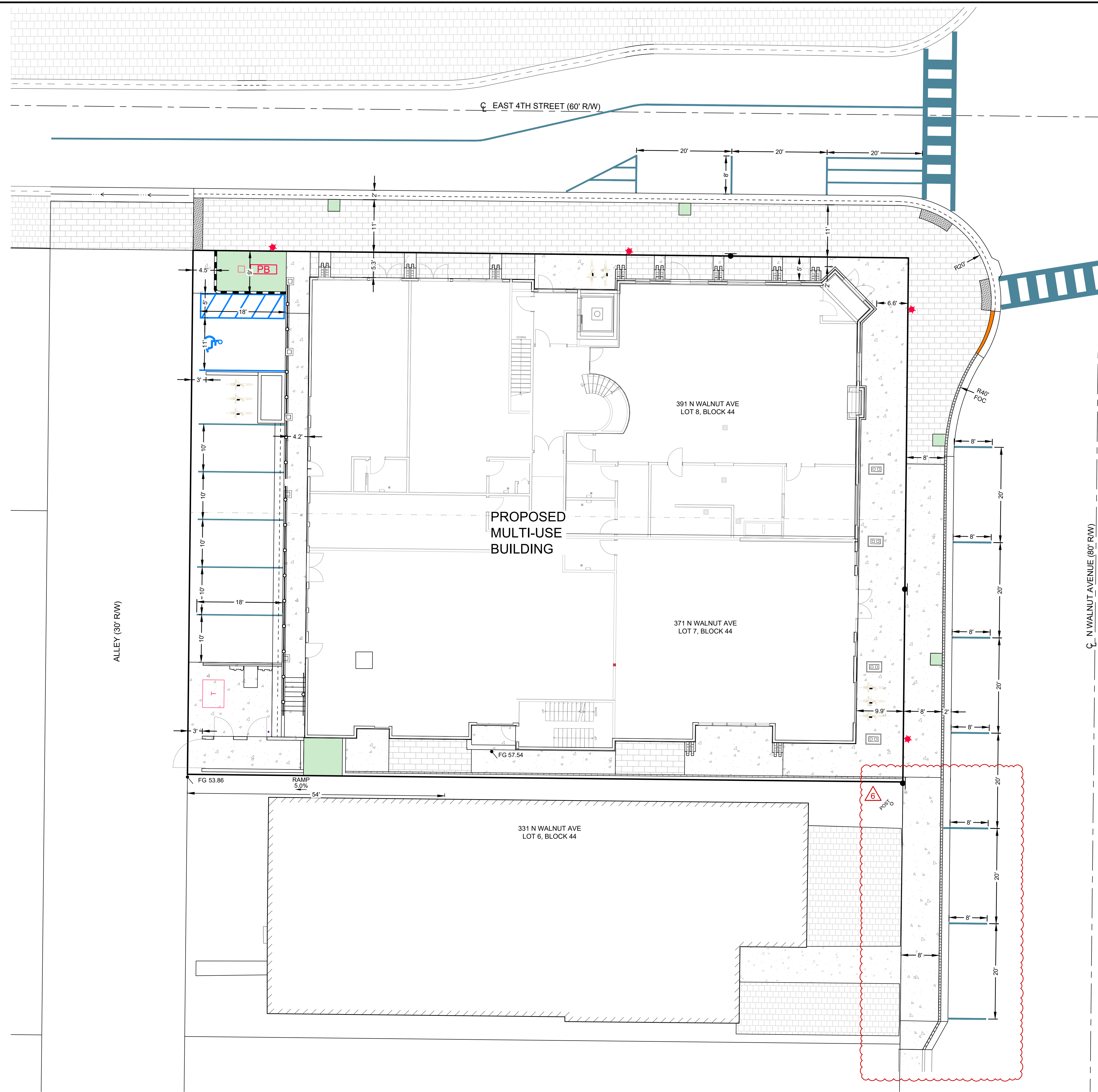
SKS/CT
 DESIGNED BY
 SKS/CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	04/23/21	SKS	RESPONSE TO AHJ
2	05/06/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
3	06/18/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
4	05/04/22	SMF	SIDEWALK TYPE REVISIONS: CONC. FLOOR @ UT'S IN ALLEY
5	06/22/22	SMF	ADD NORTHWEST CANOPY COLUMNS
6	07/22/22	SMF	ADD 331 N WALNUT AVE. DESIGN

C0.2

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND

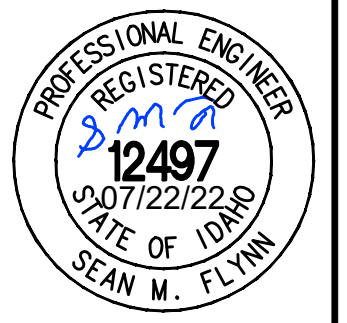
EXISTING ITEMS	
	Property Line
	Adjoiner's Lot Line
	Centerline
	FD5/8 = Found 5/8" Rebar
	Curb & Gutter
	Valley Gutter
	Building
	Pavers
PROPOSED ITEMS	
	Asphalt
	Concrete
	6" Rolled Curb & Gutter
	Zero Reveal Curb & Gutter
	Curb Transition
	Vertical Curb
	ADA Access Truncated Dome
	Sign
	Road Paint
	ADA Road Paint
	ADA Parking Symbol
	Landscape Area
	Trench Drain
	Retaining/Landscape Wall
	Rolled to Vertical Curb Transition
	Pavers
	Transformer
	FOC = Face of Curb
	Bike Rack

PURPOSE: ISSUE FOR BUILDING PERMIT (01/21/2021)

NO.	DATE	BY	REVISIONS
A	04/23/21	SKS	RESPONSE TO AHJ
A	05/06/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
A	06/18/21	SKS	RESPONSE TO PLANNING BUILDING PERMIT COMMENTS
A	05/04/22	SMF	SIDEWALK TYPE REVISIONS; CONC. FLOOR @ LOTS IN ALLEY
A	06/22/22	SMF	ADD NORTHWEST CANOPY COLUMNS
A	07/22/22	SMF	ADD 331 N WALNUT AVE. DESIGN

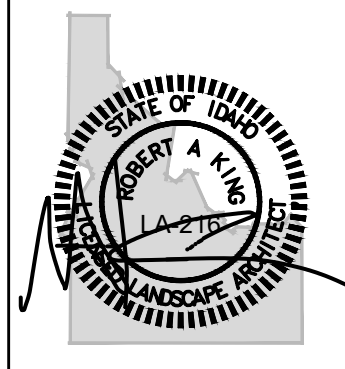
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

SKS/CT DESIGNED BY
 SKS/CT DRAWN BY
 SMF CHECKED BY



**GEOMETRY PLAN
 4TH AND WALNUT**
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WALNUT & FOURTH LLC

PROJECT INFORMATION
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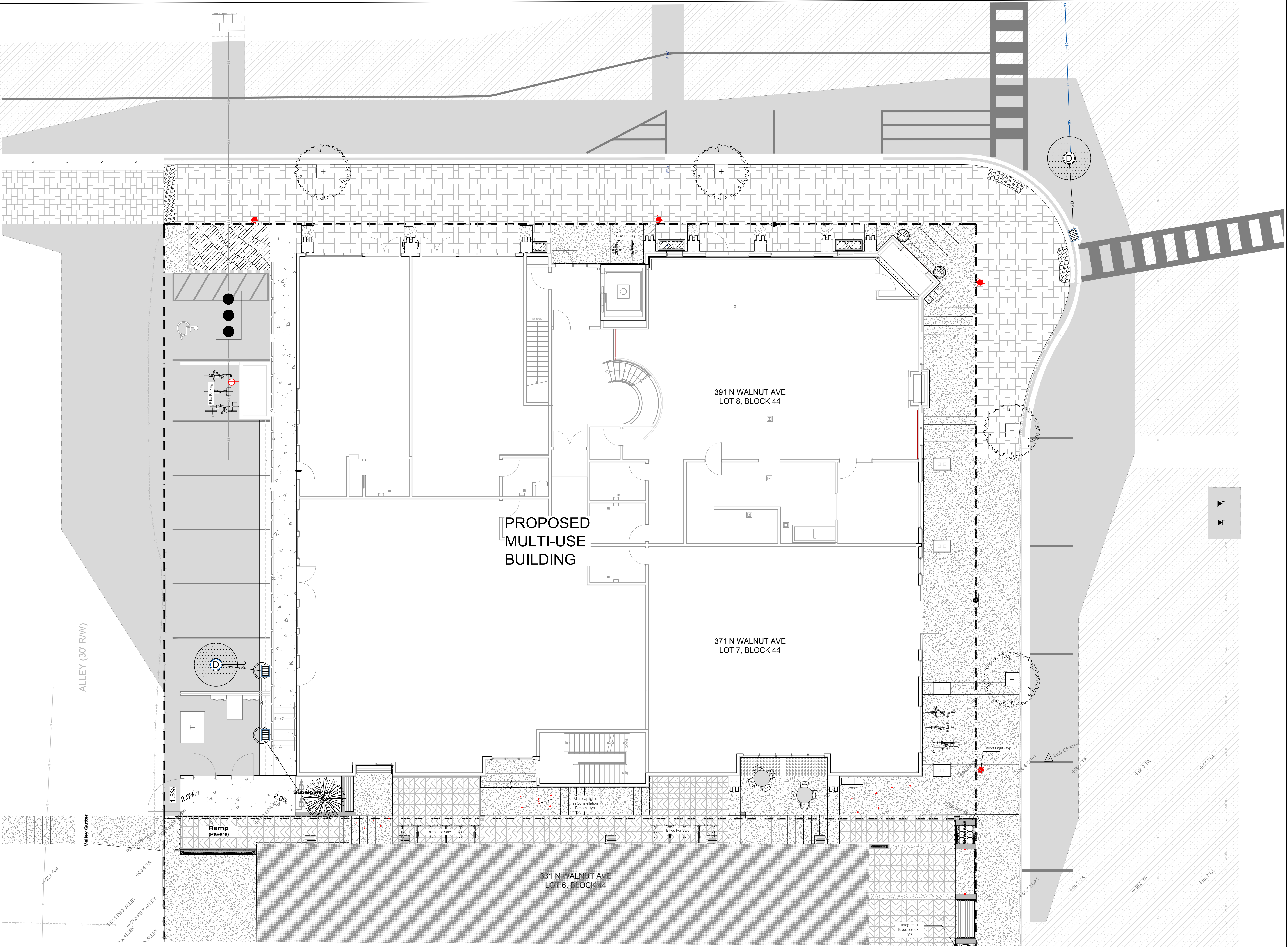


WALNUT AND FOURTH

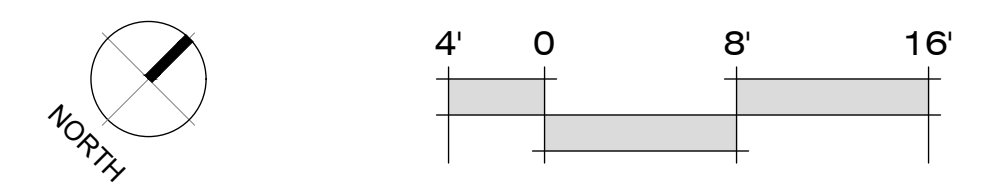
580 4TH STREET E
 LOT 7A, BLOCK 44
 CITY OF KETCHUM

DATE: 03/15/2022
 PRELIMINARY
 S.D.

SITE PLAN
L-1.0

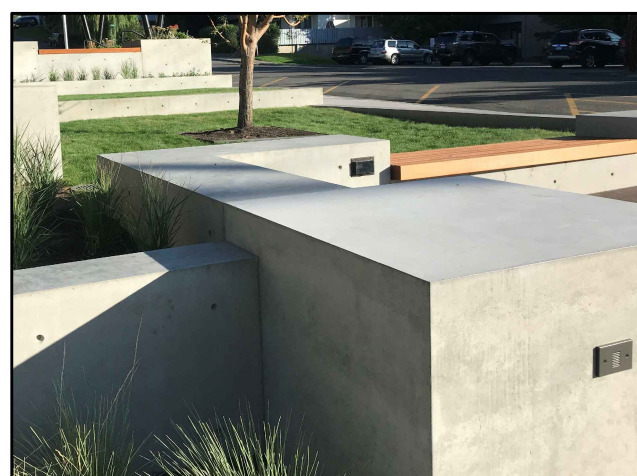


SITE PLAN
 SCALE: 1/8" = 1'-0"



OWNERSHIP OF DOCUMENTS THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF LANDWORK STUDIO, LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF LANDWORK STUDIO, LLC.

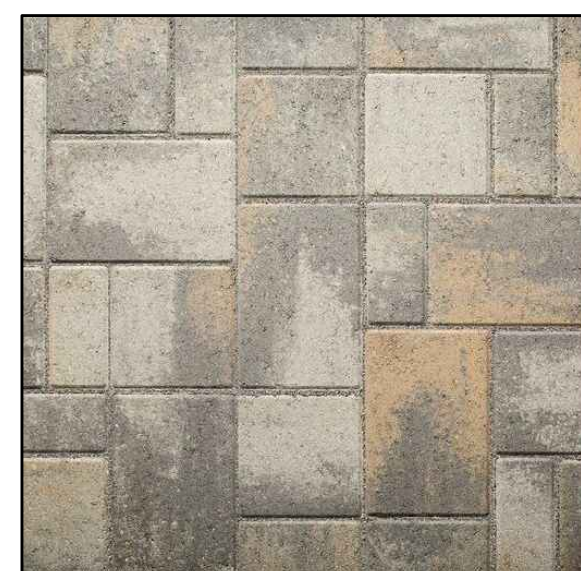
HARDSCAPE MATERIALS



ARCHITECTURAL CONCRETE SITE WALLS



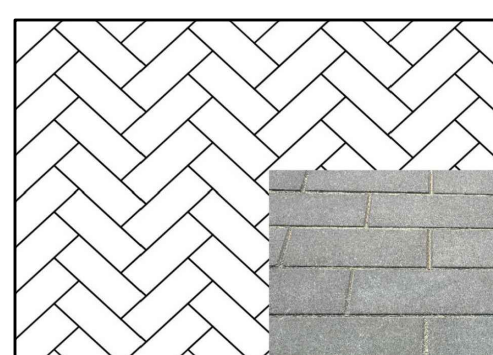
RECLAIMED REDWOOD BENCHES



CONCRETE PAVERS - 4TH STREET
Belgard Catalina Grana - Victorian
*Per City of Ketchum Standard



TREE GRATE - Neenah R-8704
Per City of Ketchum Standard

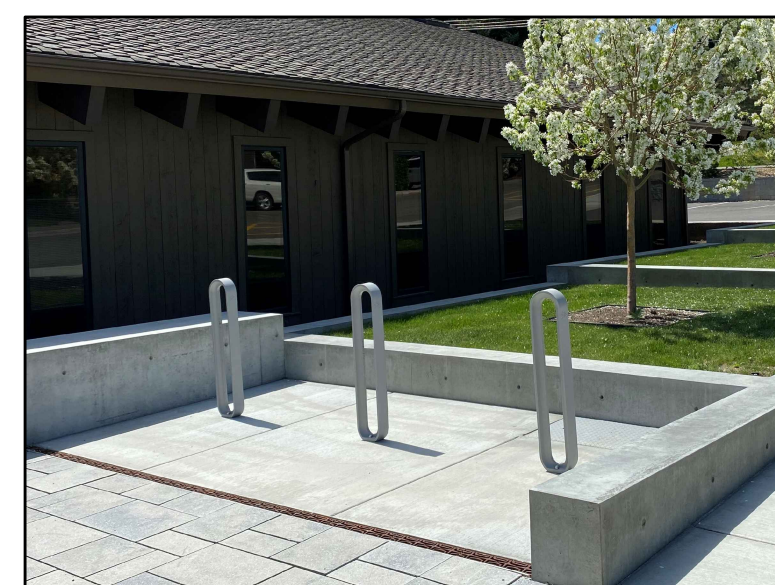


CONCRETE PAVERS - ALLEY
Abbotsford Classic Standard
Charcoal - Herringbone Pattern

LIGHTING

PER CITY STANDARD - STREET LIGHT:
SOLARONE RFS DESIGN 158 LFP (Or Approved Equal)
*Refer to Civil Plans for Details

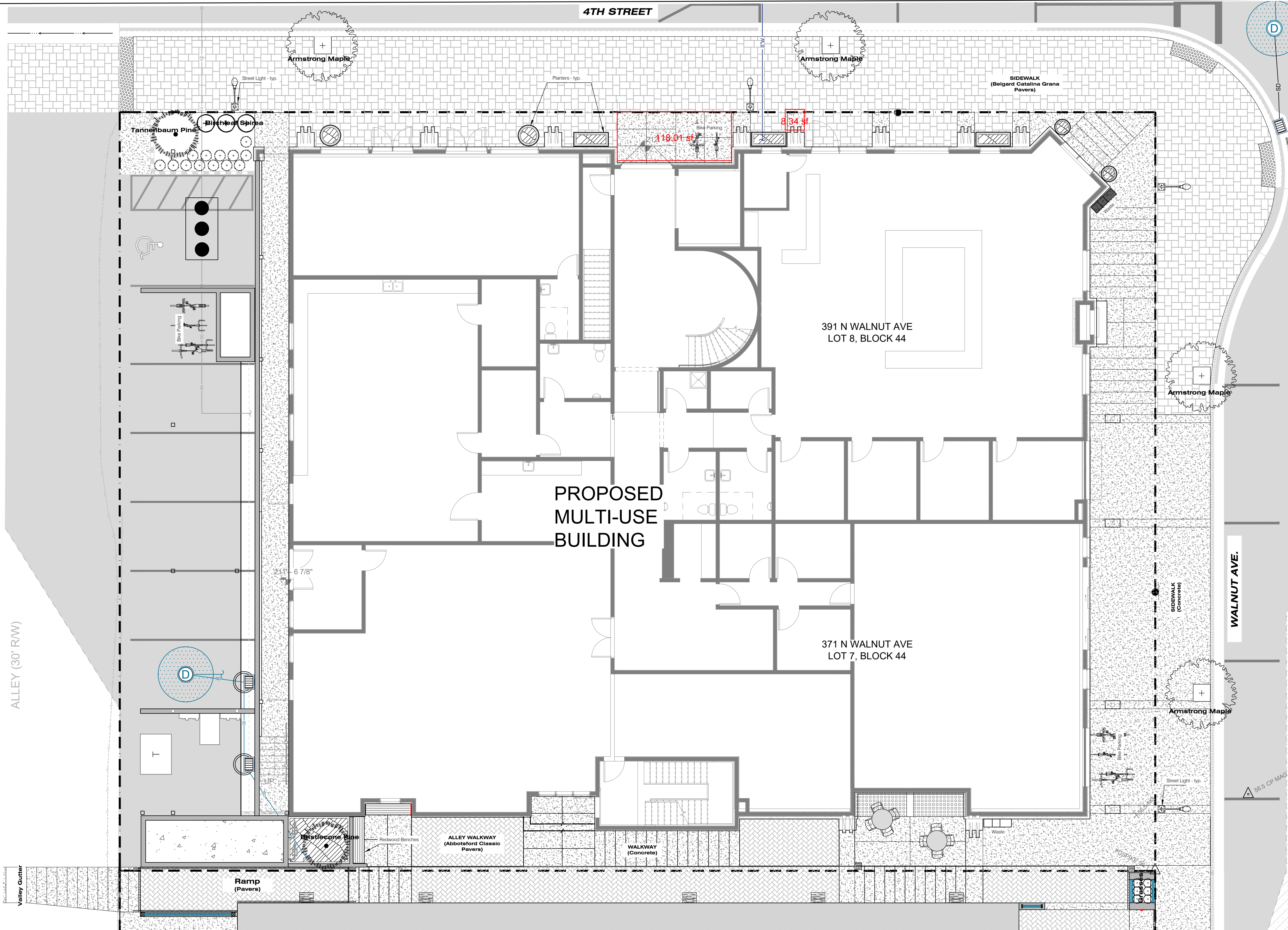
SITE AMENITIES



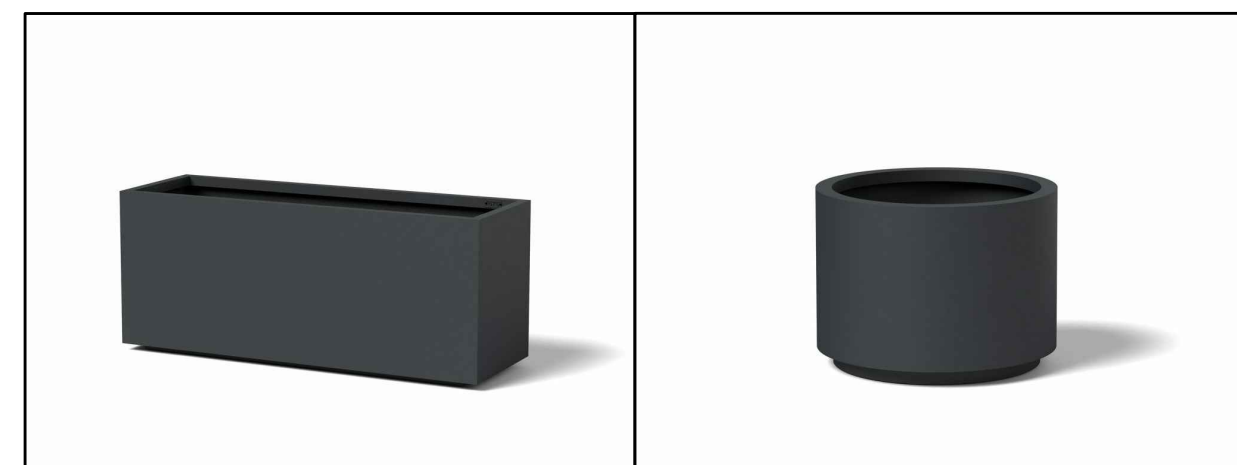
BIKE RACKS - Form + Surface 'Olympia'



WASTE BINS - MMCite - Crystal



LANDSCAPE MATERIALS



PLANTERS - ORE High Rectangle + ORE Cylinder - Dark Gray Metallic



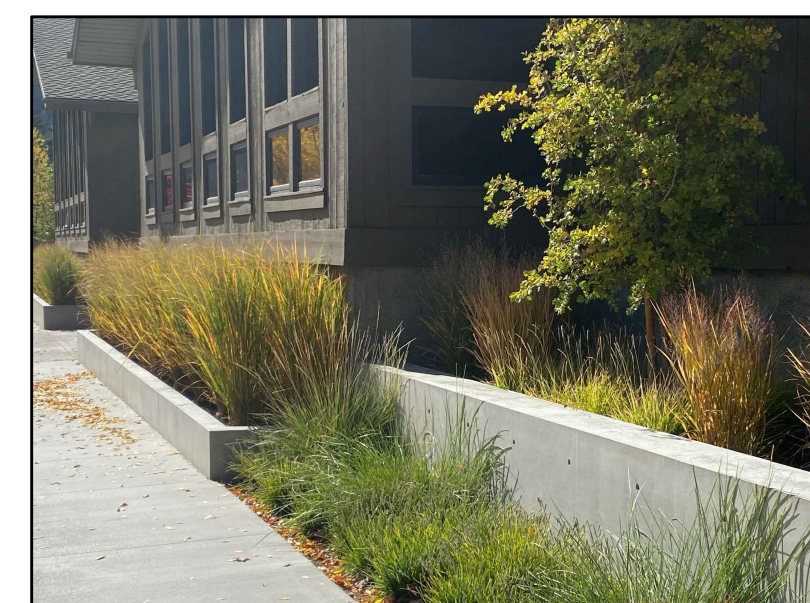
ARMSTRONG MAPLE



TANNENBAUM PINE



BIRCHLEAF SPIREA



GRASSES



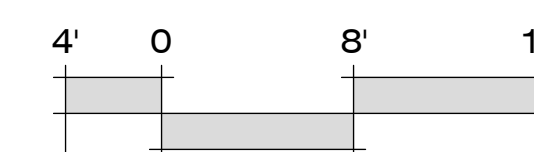
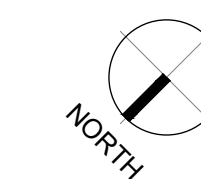
NATIVE GROUNDCOVERS



BRISTLECONE PINE

LANDSCAPE MATERIALS PLAN

SCALE: 1/8" = 1'-0"



THE GOLD MINE

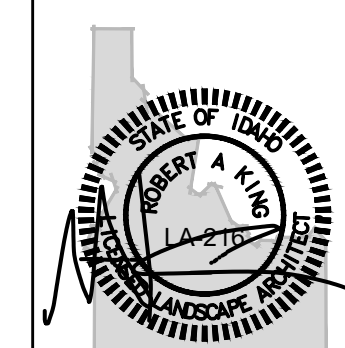
331 N WALNUT AVE
LOT 6 BLOCK 44
CITY OF KETCHUM

DATE: 06/24/2022
DESIGN REVIEW
REVISED

LANDSCAPE MATERIALS PLAN

L-3.1

LANDWORK STUDIO LLC
LANDSCAPE ARCHITECTURE + DESIGN
110 5TH STREET SUITE 109
PO BOX 1000
208.228.1531 WWW.LANDWORKSTUDIO.COM



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BASEMENT	
NET AREA-WORKFORCE HOUSING	2018 SF
NET AREA-WORKFORCE HOUSING	105 SF
LEVEL 1	
NET AREA - FOOD SERVICE	2489 SF
NET AREA-CULTURAL	3252 SF
LEVEL 2	
NET AREA-OFFICE	4999 SF
LEVEL 3	
NET AREA-RESIDENTIAL	1922 SF
NET AREA-RESIDENTIAL	1886 SF
NET AREA-RESIDENTIAL	3809 SF
	19960 SF

BUILDING AREA

TOTAL GROSS BUILDING AREA = 11,215 + 10,744 = 21,383
 TOTAL NET BUILDING AREA = 19,960
 LOT AREA: 16,371
 FAR: 1.3

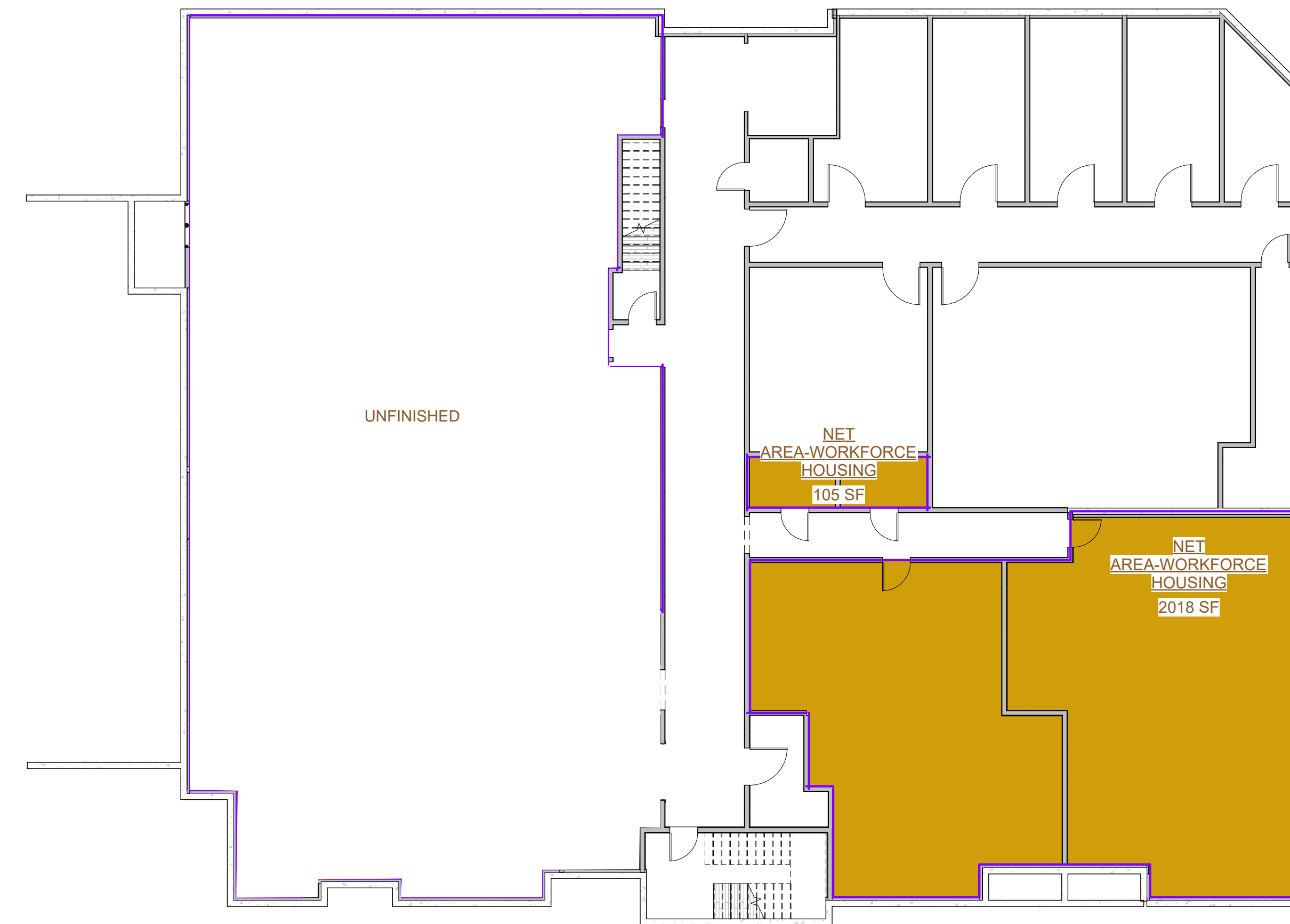
TOTAL GROSS BUILDING AREA = 11,215 + 10,744 = 21,383
 TOTAL NET BUILDING AREA = 24,276
 LOT AREA: 16,371
 FAR: 1.3

CITY OF KETCHUM AREA DEFINITION:
 Floor area, gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,500 square feet in size or less are not included in the gross floor area calculation.

Floor area increase: The gross and net floor area of a building allowed in addition to the permitted floor area in exchange for the provision of community housing units within the project, all of which are considered to be a public benefit.

Floor area, net: The sum of the horizontal areas of all floors in a building including basements but not including open unenclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

Floor area ratio or far: The product of the floor area divided by the lot area (example 2,750 square feet floor area/5,500 square feet lot area = 0.5 FAR)



② BASEMENT FLOOR PLAN
 1" = 10'-0"

- NET AREA-RESIDENTIAL
- NET AREA-WORKFORCE HOUSING

NOT FOR
 CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.

WALNUT & 4TH LLC
 580 4TH ST. E., KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

BASEMENT
 AREA PLAN

A01

ISSUE DATE:
 08/16/22

BASEMENT	
NET AREA-WORKFORCE HOUSING	2018 SF
NET AREA-WORKFORCE HOUSING	105 SF
	2123 SF
LEVEL 1	
NET AREA - FOOD SERVICE	2489 SF
	2489 SF
NET AREA-CULTURAL	3252 SF
	3252 SF
LEVEL 2	
NET AREA-RETAIL	1138 SF
NET AREA-RETAIL	808 SF
NET AREA-RETAIL	1342 SF
	3288 SF
LEVEL 2	
NET AREA-OFFICE	4999 SF
	4999 SF
NET AREA-RESIDENTIAL	
NET AREA-RESIDENTIAL	1922 SF
NET AREA-RESIDENTIAL	1886 SF
	3809 SF
	19960 SF

BUILDING AREA

TOTAL GROSS BUILDING AREA = 11,215 + 10,744 = 21,383

TOTAL NET BUILDING AREA = 19,960

LOT AREA: 16,371

FAR: 1.3

CITY OF KETCHUM AREA DEFINITION:

Floor area, gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,800 square feet in size or less are not included in the gross floor area calculation.

Floor area increase: The gross and net floor area of a building allowed in addition to the permitted floor area in exchange for the provision of community housing units within the project, all of which are considered to be a public benefit.

Floor area, net: The sum of the horizontal areas of all floors in a building including basements but not including open unenclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

Floor area ratio or far: The product of the floor area divided by the lot area (example 2,750 square feet floor area/5,500 square feet lot area = 0.5 FAR)

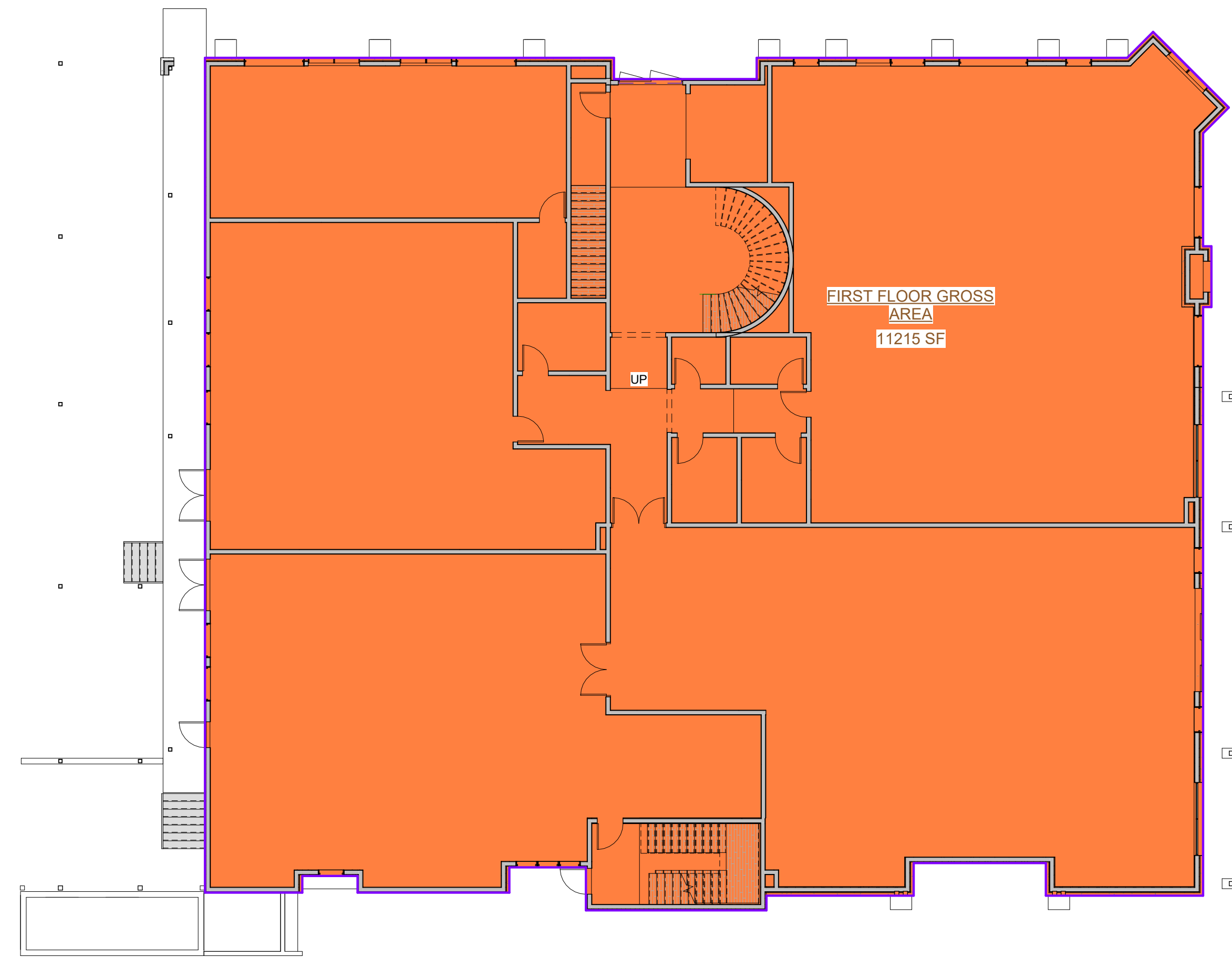
EXTERIOR LIGHTING



A TYPE A
WALL SCONCE
8"4" MOUNTING HEIGHT
DARK SKY COMPLIANT
6 FIXTURES



B TYPE B
RECESSED CAN
SCOFFIT MOUNTED
DARK SKY COMPLIANT
20 FIXTURES



1 FIRST FLOOR AREA PLAN - GROSS
3/32" = 1'-0"



2 FIRST FLOOR PLAN
3/32" = 1'-0"

FIRST FLOOR GROSS AREA

NET AREA - FOOD SERVICE
 NET AREA-CULTURAL
 NET AREA-RETAIL

NOT FOR
CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
-----	------	----------

WALNUT & 4TH LLC
580 4TH ST. E., KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

FIRST FLOOR
AREA PLAN

A02

ISSUE DATE:
08/16/22

BASEMENT	
NET AREA-WORKFORCE HOUSING	2018 SF
NET AREA-WORKFORCE HOUSING	105 SF
	2123 SF
LEVEL 1	
NET AREA - FOOD SERVICE	2489 SF
	2489 SF
NET AREA-CULTURAL	3252 SF
	3252 SF
LEVEL 2	
NET AREA-OFFICE	4999 SF
	4999 SF
NET AREA-RESIDENTIAL	1922 SF
NET AREA-RESIDENTIAL	1886 SF
	3809 SF
	19960 SF

BUILDING AREA

TOTAL GROSS BUILDING AREA = 11,215 + 10,744 = 21,383
 TOTAL NET BUILDING AREA = 19,960
 LOT AREA: 16,371
 FAR: 1.3

CITY OF KETCHUM AREA DEFINITION:
 Floor area, gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.

Floor area increase: The gross and net floor area of a building allowed in addition to the permitted floor area in exchange for the provision of community housing units within the project, all of which are considered to be a public benefit.

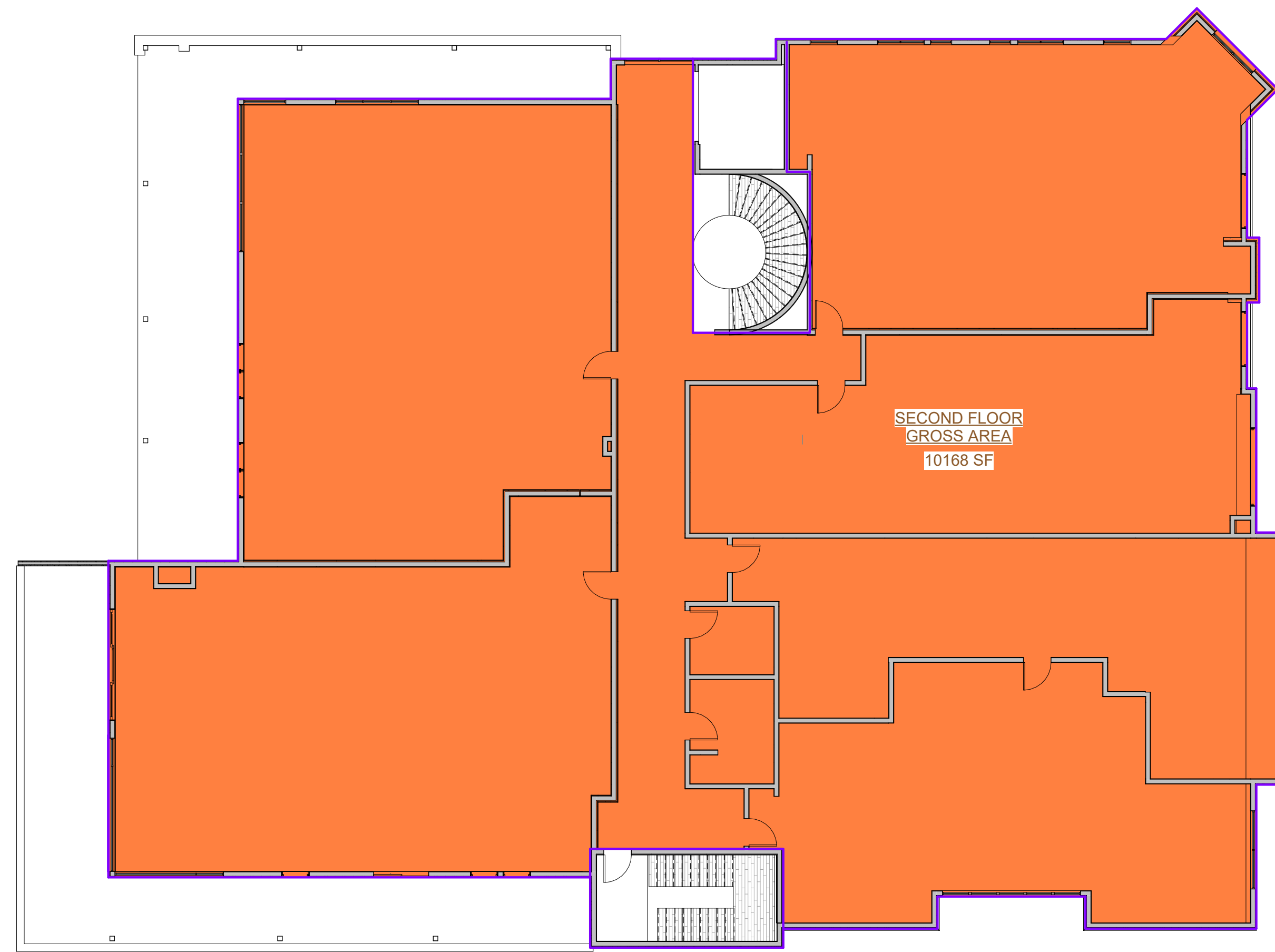
Floor area, net: The sum of the horizontal areas of all floors in a building including basements but not including open unenclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

Floor area ratio or far: The product of the floor area divided by the lot area (example 2,750 square feet floor area/5,500 square feet lot area = 0.5 FAR)

EXTERIOR LIGHTING



TYPE B
 RECESSED CAN
 SOFFIT MOUNTED
 DARK SKY COMPLIANT
 17 FIXTURES



① SECOND FLOOR AREA PLAN - GROSS
 1" = 10'-0"

SECOND FLOOR GROSS AREA



② SECOND FLOOR AREA PLAN - AREA BY USE
 1" = 10'-0"

NET AREA-OFFICE
 NET AREA-RESIDENTIAL

NOT FOR
 CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
-----	------	----------

WALNUT & 4TH LLC
 580 4TH ST. E., KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

SECOND FLOOR AREA PLAN

A03

ISSUE DATE:
 08/16/22

NOT FOR
CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
1	JULY 22, 2022	DESIGN REVIEW

WALNUT & 4TH LLC
580 4TH ST E, KETCHUM, ID 83340

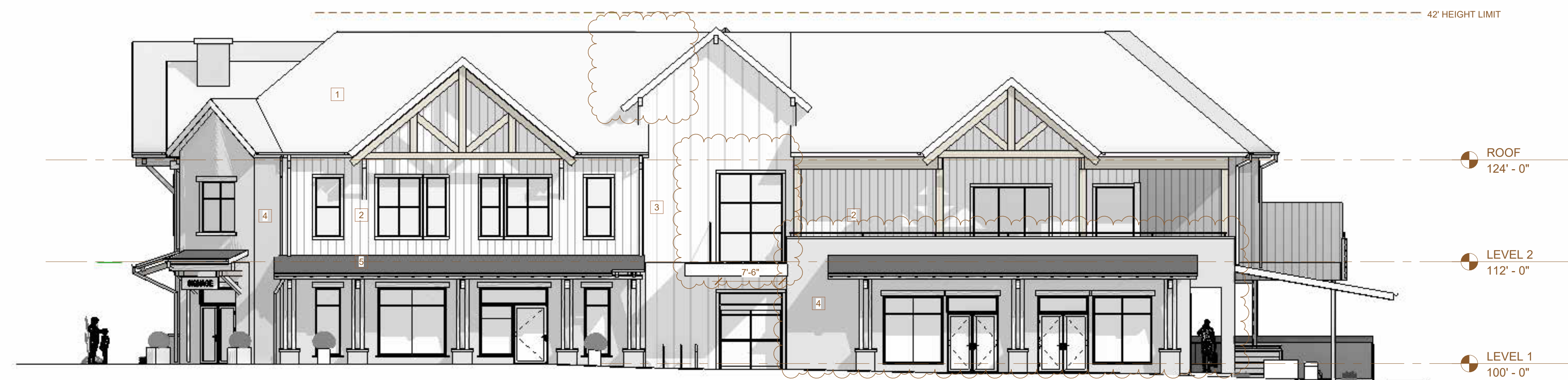
AMENDMENT TO DESIGN REVIEW P20-A46

ELEVATIONS

A201

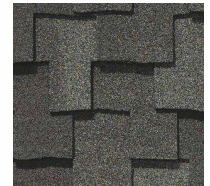


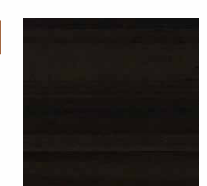


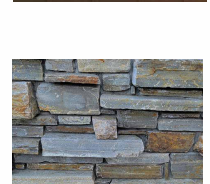
ISSUE DATE:
07/21/2022

 = CHANGES INCLUDED IN THIS AMMENDMENT



① NORTH (4TH)
1/8" = 1'-0"

MATERIAL KEY

- | | | | | | |
|---|---|--|---|---|------------------------------------|
| 1 |  | ASPHALT SHINGLES - CLASSIC WEATHERED WOOD | 5 |  | STANDING SEAM ROOF |
| 2 |  | WOOD SIDINGS, BOARD AND BATTEN | 6 |  | STAINED WOOD MEMBER |
| 3 |  | METAL WALL PANEL - ULTRA BATTEN - BONDERIZED | 7 |  | DARK BRONZE WINDOWS/METAL FLASHING |
| 4 |  | STACKED STONE VENEER - 7" - 9" DEPTH | | | |



② EAST (WALNUT)
1/8" = 1'-0"

NOT FOR
CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
1	JULY 22, 2022	DESIGN REVIEW

WALNUT & 4TH LLC
580 4TH ST. E., KETCHUM, ID 83340

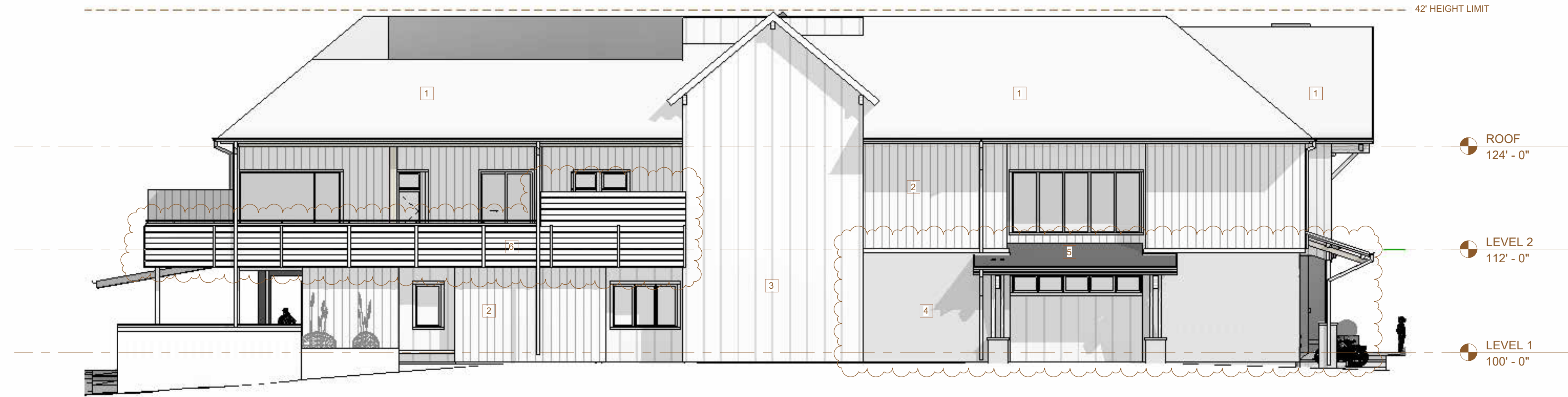
AMENDMENT TO DESIGN REVIEW P20-A46

ELEVATIONS

A202


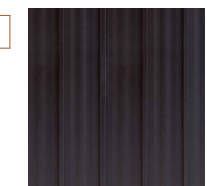
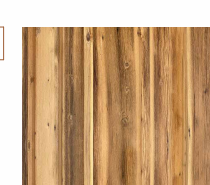
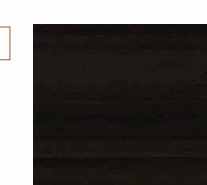


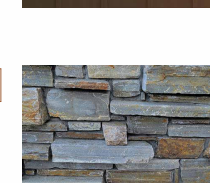
ISSUE DATE:
07/21/2022

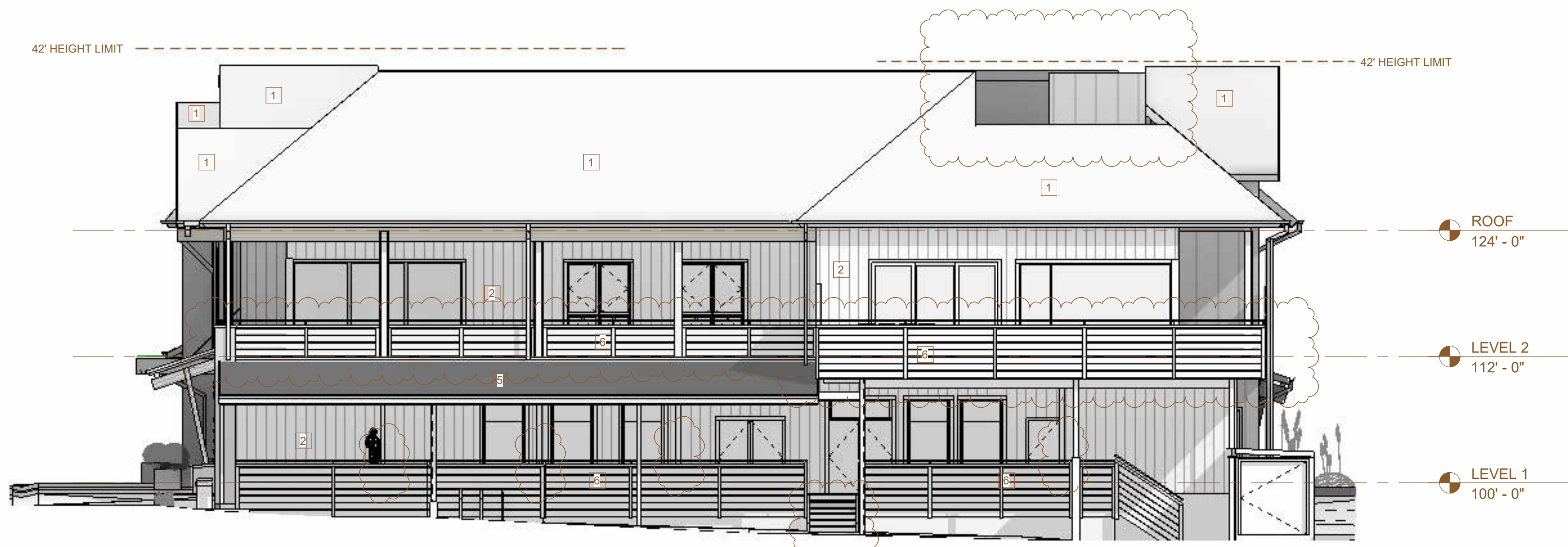
 = CHANGES INCLUDED IN THIS AMMENDMENT



① SOUTH
1/8" = 1'-0"

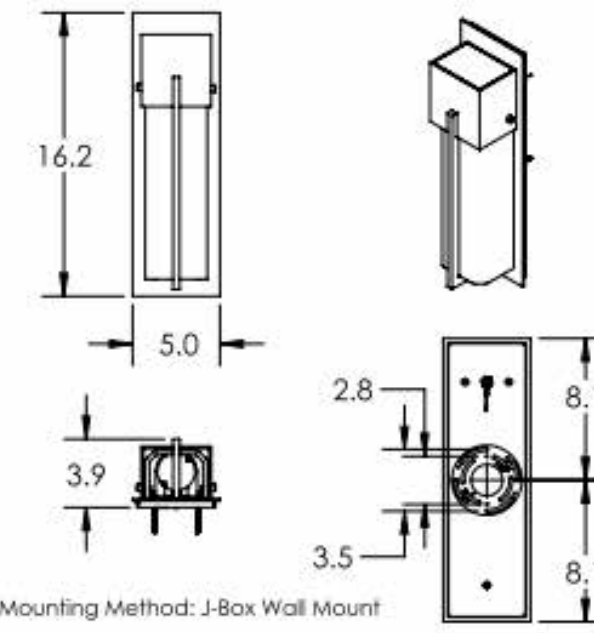
MATERIAL KEY

- | | | | |
|---|--|---|-------------------------------------|
|  | ASPHALT SHINGLES - CLASSIC WEATHERED WOOD |  | STANDING SEAM ROOF |
|  | WOOD SIDINGS, BOARD AND BATTEN |  | STAINED WOOD MEMBER |
|  | METAL WALL PANEL - ULTRA BATTEN - BONDERIZED |  | DARK BRONZE WINDOWS/ METAL FLASHING |
|  | STACKED STONE VENEER - 7" - 9" DEPTH | | |



② WEST
1/8" = 1'-0"

HAMMERTONSTUDIO™ OUTDOOR | SQUARE GLASS SCONCE 16" PRODUCT #: ODB0055-16 L2



Mounting Method: J-Box Wall Mount

PRODUCT DESCRIPTION

Slim design and a breadth of options make this versatile ADA compliant sconce a go-to solution for most outdoor applications. The Square Cover sconce features a textured kiln-fused glass lens and an optional metalwork accent. AC LED lamping minimizes energy consumption and fixture maintenance.

Choose from three AAMA 2604-rated all-climate finishes and three textured glass colors. For ADA Dark Sky compliance, choose either Bronze Granite or Smoke Granite glass.

SCAN FOR MORE INFORMATION

Notes:
 GENERAL NOTE: Visit studio.hammerton.com to read about our Lifetime Limited Warranty.
 All Hammerton fixtures are manufactured by certified. Single inspections reflect the mark of the artisan and should be expected in any handcrafted product. Dimensions may vary up to 7/16".
 © Copyright 2021. All rights in design, detail or invention of this drawing are reserved on the property of Hammerton. Any imitation or adaptation without written consent is strictly prohibited.
 Hammerton Inc. 217 Wright Brothers Dr. Salt Lake City, UT 84114 (801)973-8095 | studio.hammerton.com | info@hammerton.com

TYPE A

DCD4
 Higher-Lumen Adjustable Downlight

New Construction, Remodel
 4" Aperture, 0-10V

Project:	Type:
Product Code:	Date:

V050422



- Flexibility** Radically simplifies configuration in the field
- Modularity** Wide range of interoperable lighting options including lumen, color temperature, and beam angle
- Aimable** 360° rotation and 40° tilt for precise, aimable lighting
- Ease** Connect the power and driver with a simple snap, no tools required

OPTICAL

Adjustment
 360° directional aim, 40° tilt

Delivered Lumens (Power)
 1500 lm (21W), 2000 lm (27W), 2500 lm (37W)

Color Quality
 90+ CRI, 2-step SDCM

Color Temperature
 2700K 3000K
 3500K 4000K

Beam Spread
 Narrow Spot (15°) Spot (25°)
 Flood (40°) Wide Flood (60°)

Specialty Lens
 Linear Spread

PHYSICAL

Application
 New Construction, Remodel

Aperture
 4" Commercial

Ceiling Thickness
 1/2" up to 1 1/4"

TRIMS
 Style
 Round Beveled, Pinhole

Finish
 White, Black, Clear Diffuse, Warm Diffuse,
 Black w/ White Flange, Clear Diffuse w/
 White Flange, Warm Diffuse w/ White Flange,
 Custom

ELECTRICAL & CONTROLS

Input Voltage
 120/277V

1% Dimming
 0-10V 1%

RATINGS
 Module
 UL Listed for Damp Location

DMF LIGHTING 1118 E. 225th St. Carson, CA 90745 323.934.7779 info@dmflighting.com dmflighting.com
 © 2022 DMF Lighting. All Rights Reserved. Specifications subject to change without notice. See website for U.S. and international patent information.



TYPE B

NOT FOR
 CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
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WALNUT & 4TH LLC
 580 4TH ST. E. KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

DETAILS
 LIGHTING

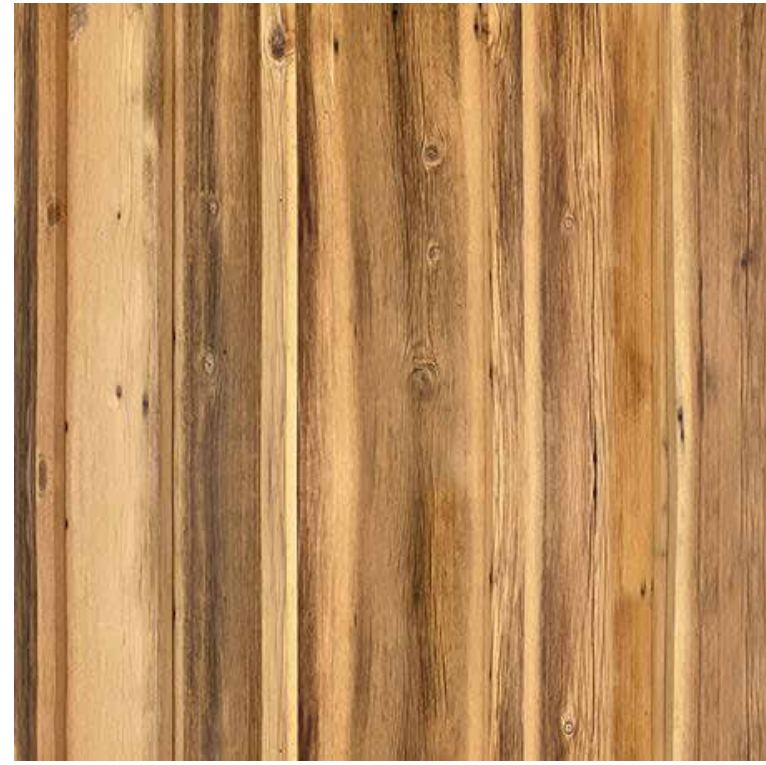
A503
 ISSUE DATE:
 07/21/2022

1



ASPHALT SHINGLES - CLASSIC WEATHERED WOOD

2



WOOD SIDINGS, BOARD AND BATTEN

3



METAL WALL PANEL - ULTRA BATTEN - BONDERIZED

4



STACKED STONE VENEER - 7" - 9" DEPTH

5



STANDING SEAM ROOF

6



STAINED WOOD MEMBER

7



DARK BRONZE WINDOWS/ METAL FLASHING

REVISION SCHEDULE

NO.	DATE	DESCRIP.

WALNUT & 4TH LLC
580 4TH ST. E., KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

BUILDING MATERIALS

A909

ISSUE DATE:
07/21/2022



NORTH ENTRANCE VIEW



NORTH-WEST VIEW



WEST VIEW



SOUTH-EAST VIEW

REVISION SCHEDULE

NO.	DATE	DESCRIP.

WALNUT & 4TH LLC
580 4TH ST E, KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

3D VIEWS

A910
ISSUE DATE:
07/21/2022



ENSITIO
ARCHITECTURE
827 E. PROSPECT
BOZEMAN, MONTANA 59719
406.226.8300

NOT FOR
CONSTRUCTION

REVISION SCHEDULE

NO.	DATE	DESCRIP.
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WALNUT & 4TH LLC
580 4TH ST E, KETCHUM, ID 83340

AMENDMENT TO DESIGN REVIEW P20-A46

3D VIEWS

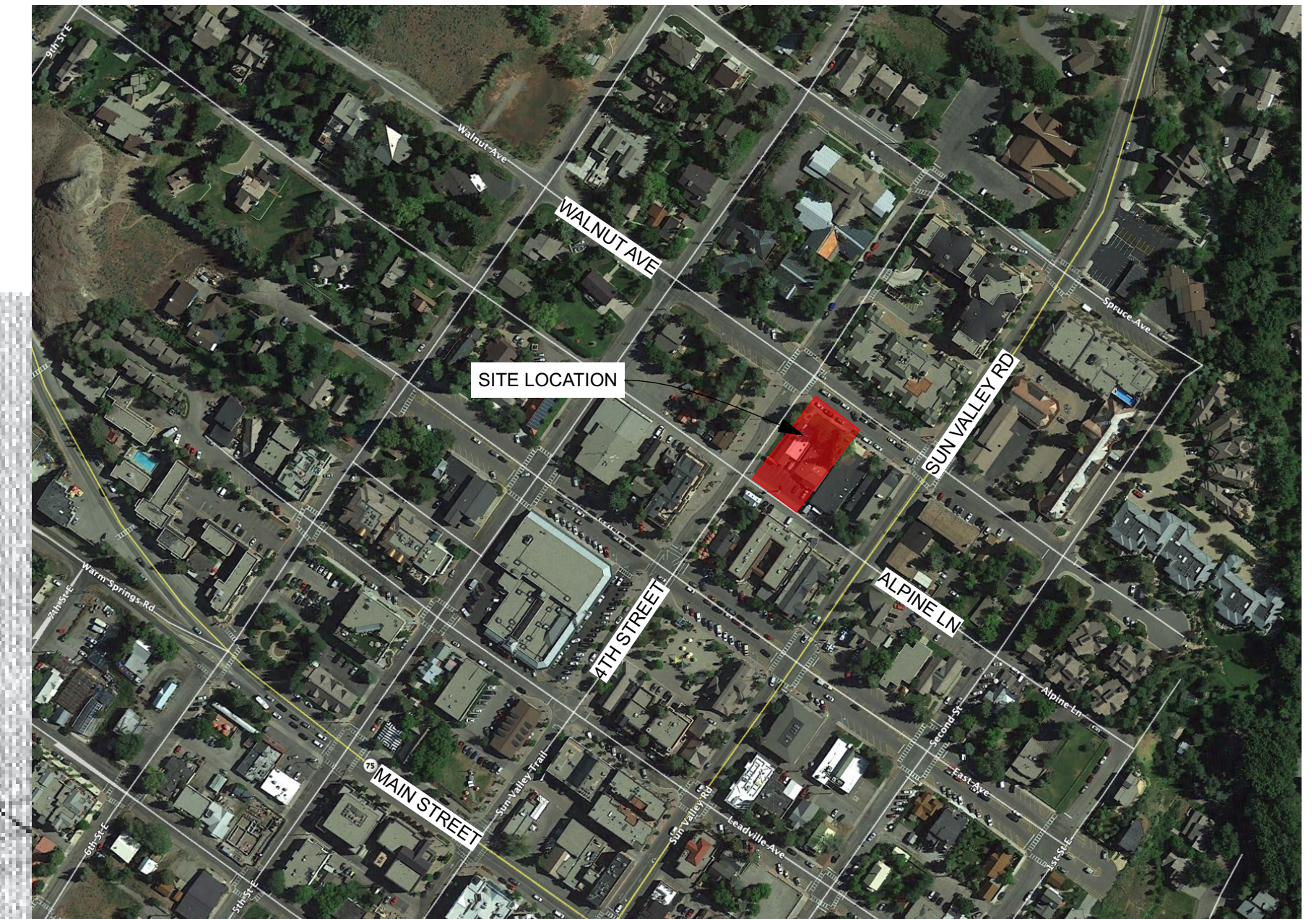
A911

ISSUE DATE:
07/21/2022

Exhibit B
Walnut & 4th
Mixed-Use Building
Design Review Permit P20-046
Approved Project Plans

4th & Walnut Ave. Commercial Development

"TBD" Ketchum Idaho 83340



N
VICINITY MAP
NOT TO SCALE

Cover Sheet	G-1 COVER SHEET
Civil	C0.1 NOTES AND DETAILS C0.2 NOTES AND DETAILS C1.1 SITE PLAN
Landscaping	L-1 DEMOLITION LANDSCAPING PLAN L-2 LANDSCAPING PLAN L-3 LANDSCAPING PLANTS
Architectural Site Plans	AS-101 ARCHITECTURAL SITE PLAN AS-102 ARCHITECTURAL VICINITY MAP AS-103 CONSTRUCTION MANAGEMENT PLAN
Floor Plans	A-100 BASEMENT FLOOR PLAN A-101 FIRST FLOOR PLAN A-102 SECOND FLOOR PLAN
Elevations	A-201 ELEVATIONS A-202 ELEVATIONS
Renderings	A-301 RENDERINGS A-302 RENDERINGS
Materials	AF-101 EXTERIOR MATERIALS AF-102 EXTERIOR LIGHTING

COVER SHEET

8/4/20

4th & Walnut Ave. Commercial Development

Design Review August 11th 2020

G-1



305 1st STREET,
Idaho Falls, ID 83401
PH: 208.757.5700
www.resinarchitecture.com

Original document is on file
with the date and architect signature

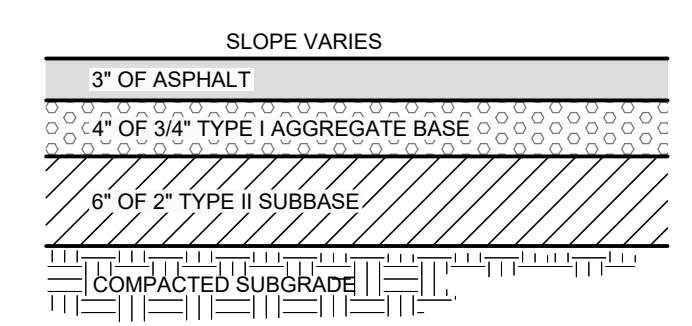
Original documents signed by:
J. GRAHAM WHIPPLE
Date original documents signed:
8/4/20

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CONSTRUCTION NOTES

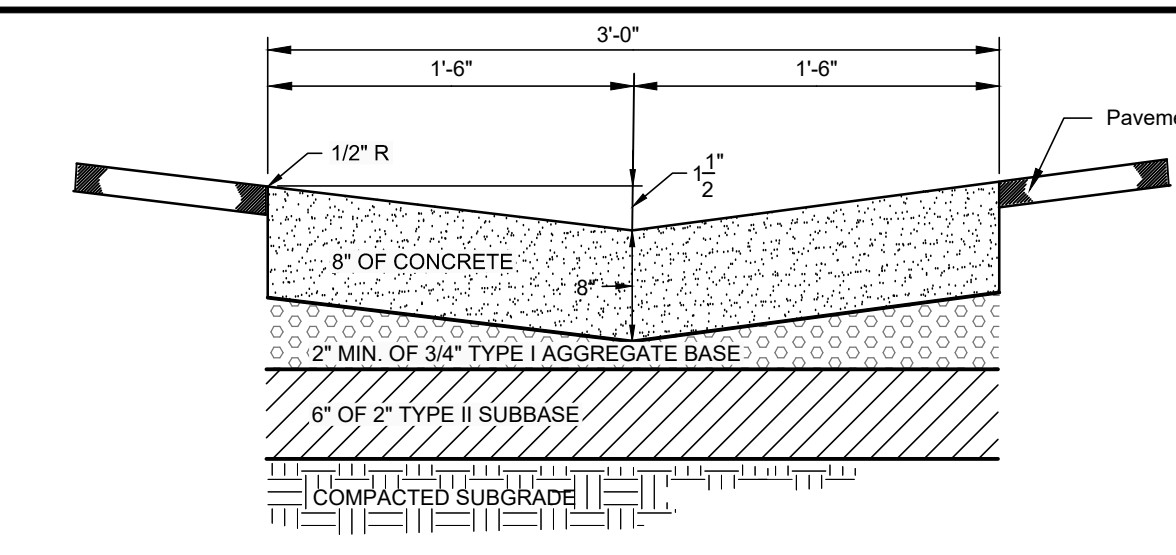
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1595) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58 01 08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTING, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIN/STF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIN/STF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.

1
C0.1 **TYPICAL STREET ASPHALT SECTION**
N.T.S.



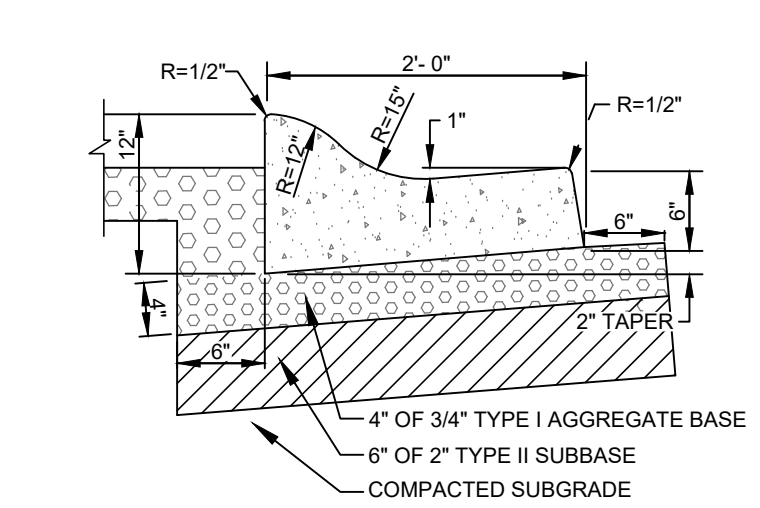
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2
C0.1 **36" CONCRETE VALLEY GUTTER**
N.T.S.



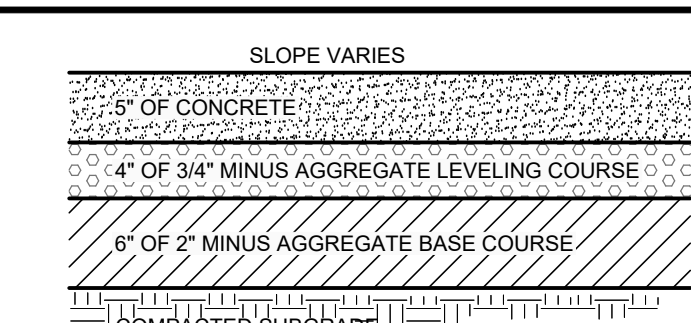
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

3
C0.1 **6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.

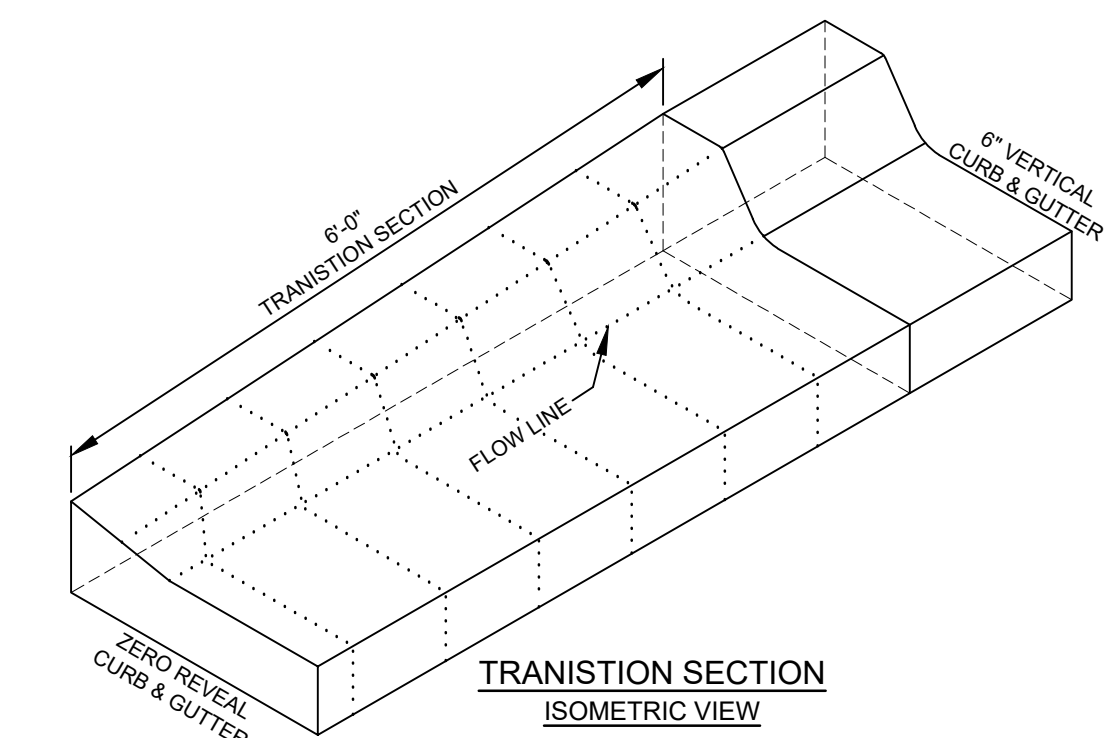


- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

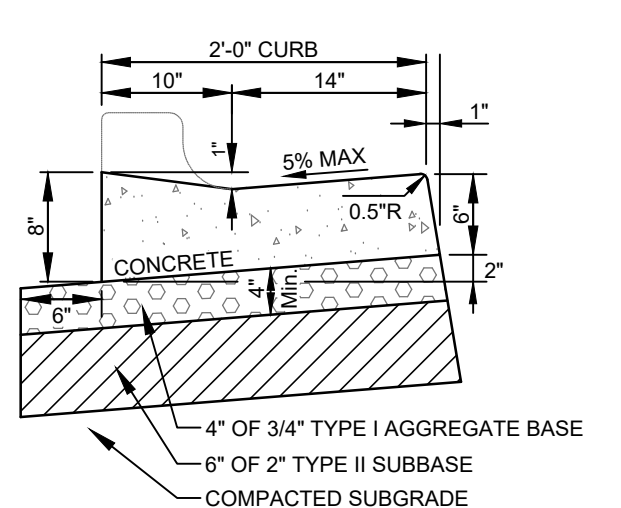
4
C0.1 **TYPICAL CONCRETE SECTION**
N.T.S.



- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 3" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.



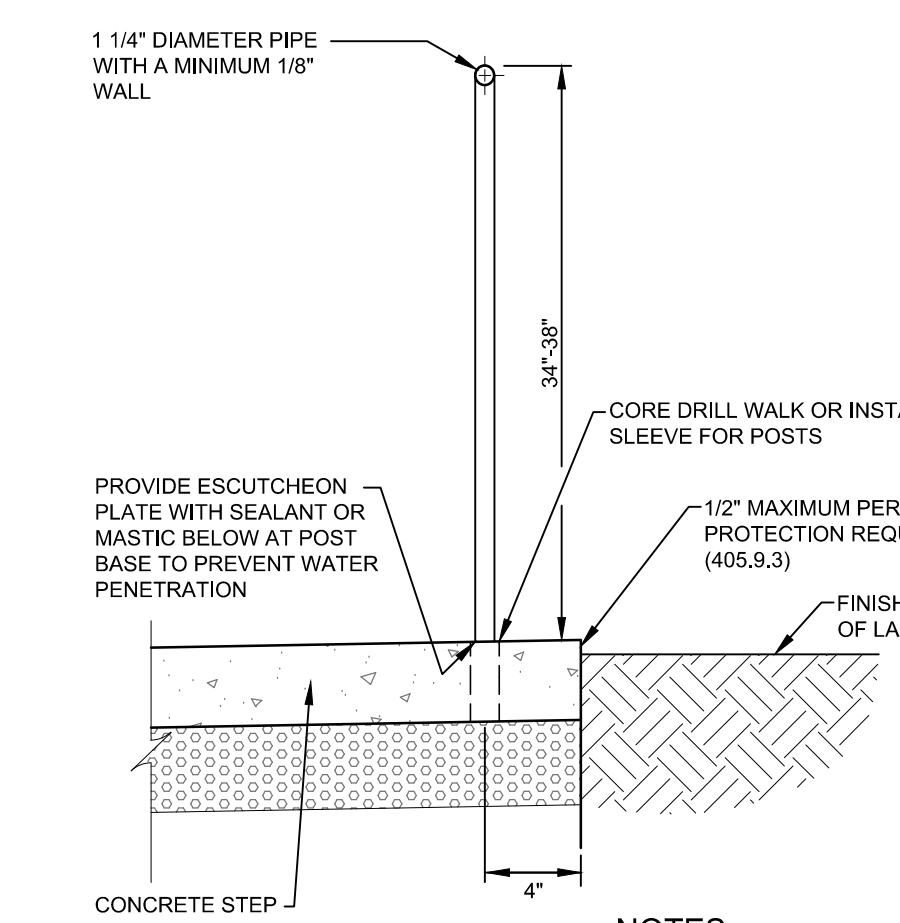
TRANSITION SECTION ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER

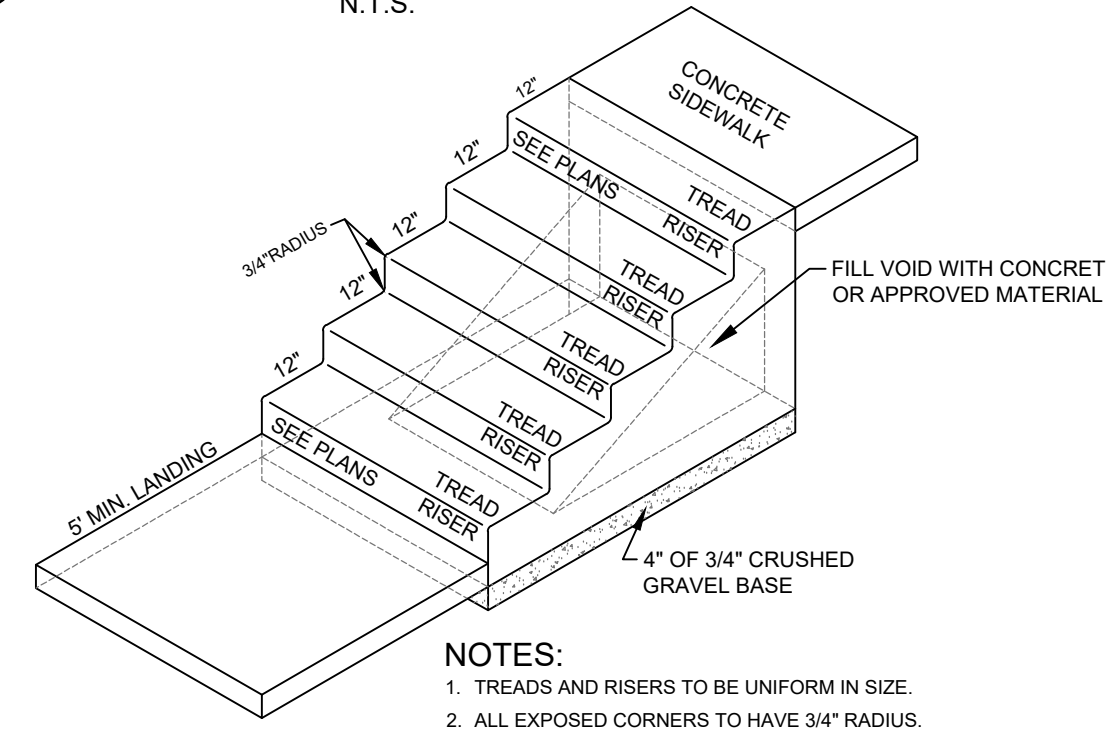
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 1/2" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOET MAXIMUM SPACING (8-FOET W/SIDEWALK).

5
C0.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
 - CLEAR WIDTH: THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5).

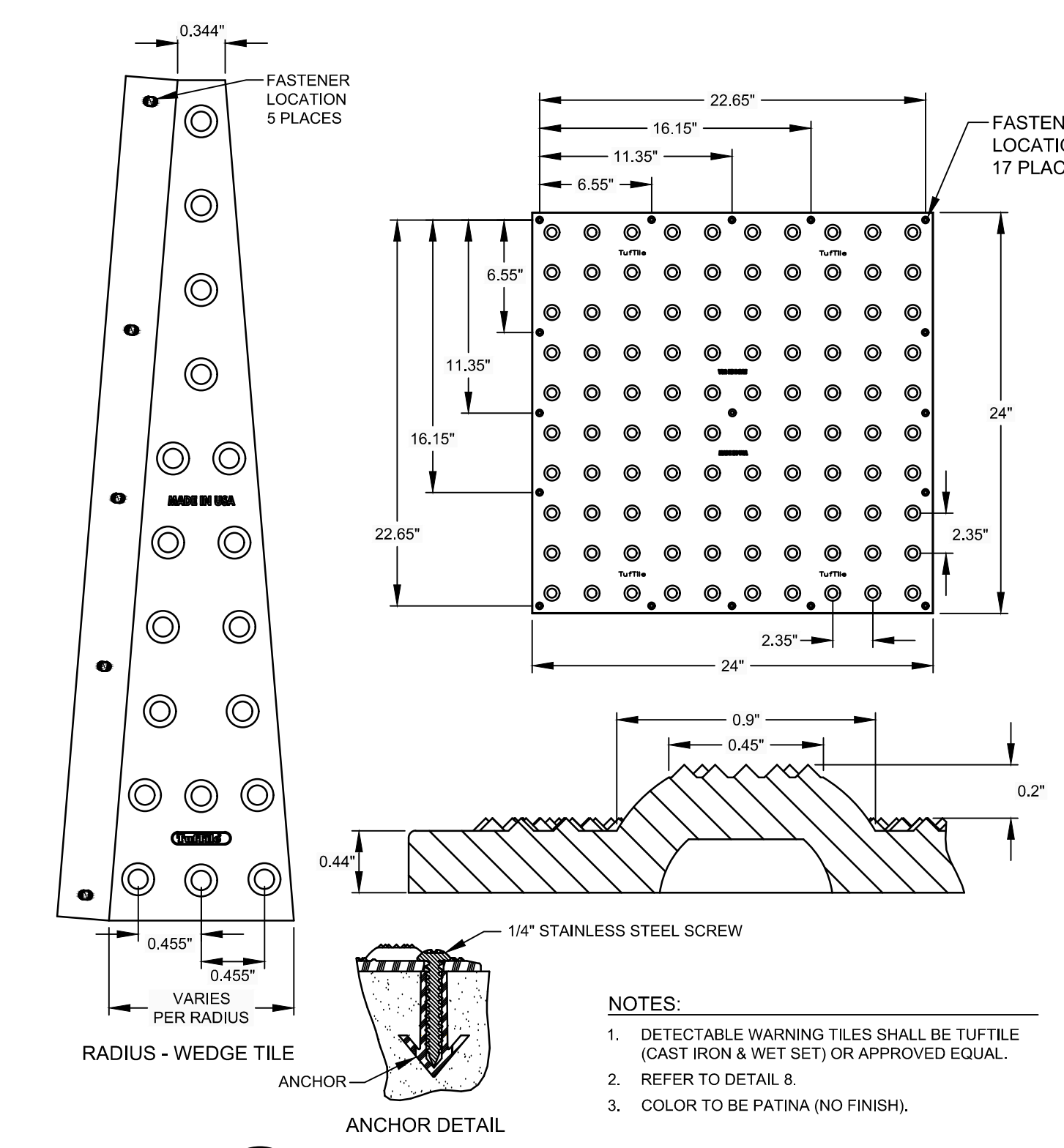
STAND ALONE HANDRAIL DETAIL
N.T.S.



- NOTES:**
- TREADS AND RISERS TO BE UNIFORM IN SIZE.
 - ALL EXPOSED CORNERS TO HAVE 3/4" RADIUS.
 - IF SPACE PERMITS, FIRST TREAD TO BE AT GRADE WITH SIDEWALK.

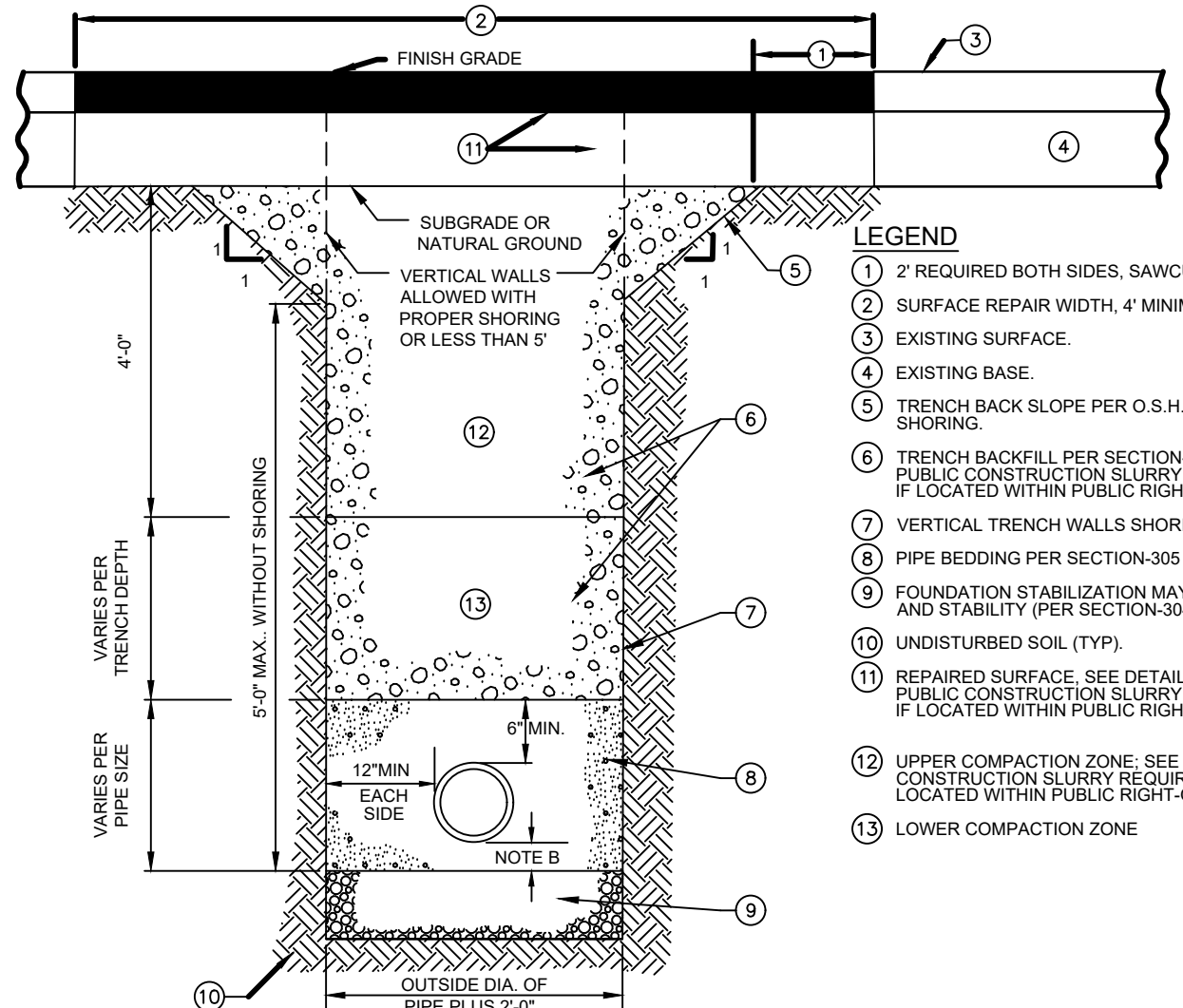
WALL MOUNTED HANDRAIL DETAIL
N.T.S.

6
C0.1 **TYPICAL HANDRAIL AND STAIRS DETAIL**
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

7
C0.1 **DETECTABLE WARNING PLATE**
N.T.S.



- LEGEND**
- 2" REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER 0.5 H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER 0.5 H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE. SEE DETAIL 8. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL, WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (MINUS) : 2,800 LBS
 SAND : 800 LBS
 PORTLAND CEMENT : 94 LBS
 WATER : 11 GAL (MAX.)

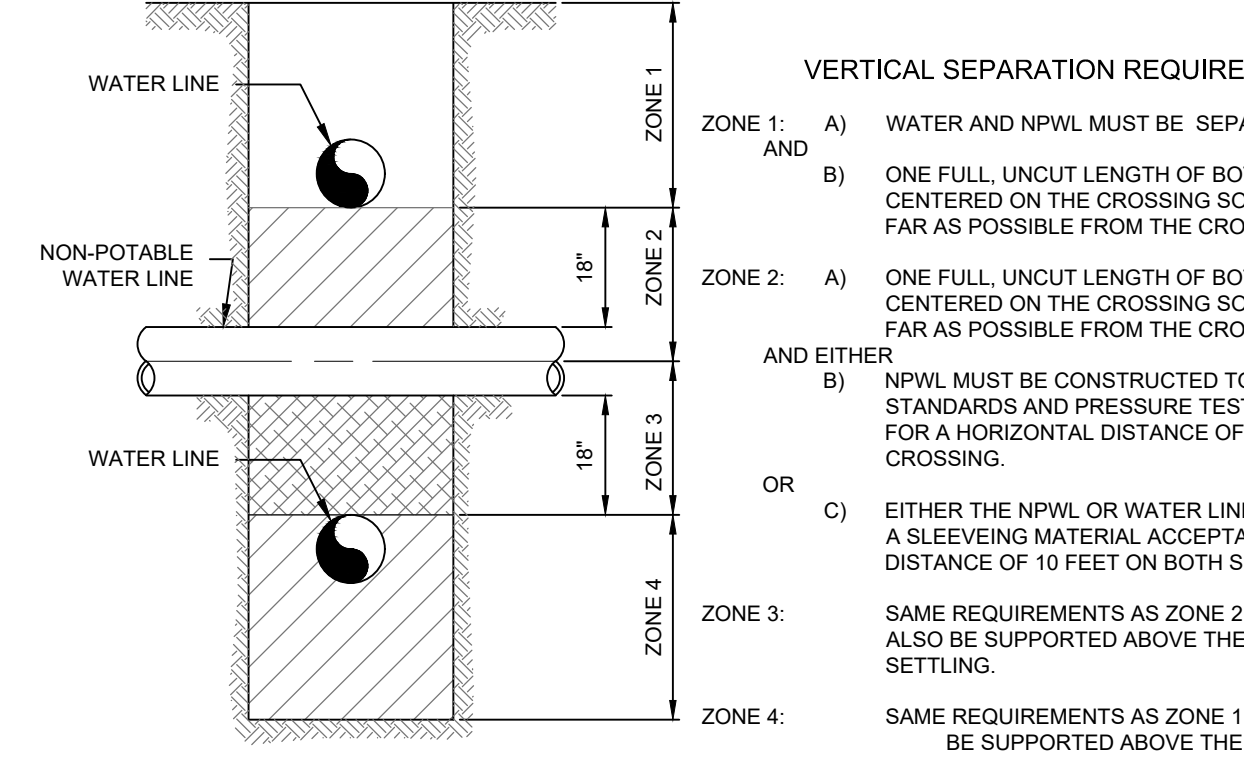
WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF CONSTRUCTION PRIOR TO COMPLETING THE PERMANENT REPAIR.

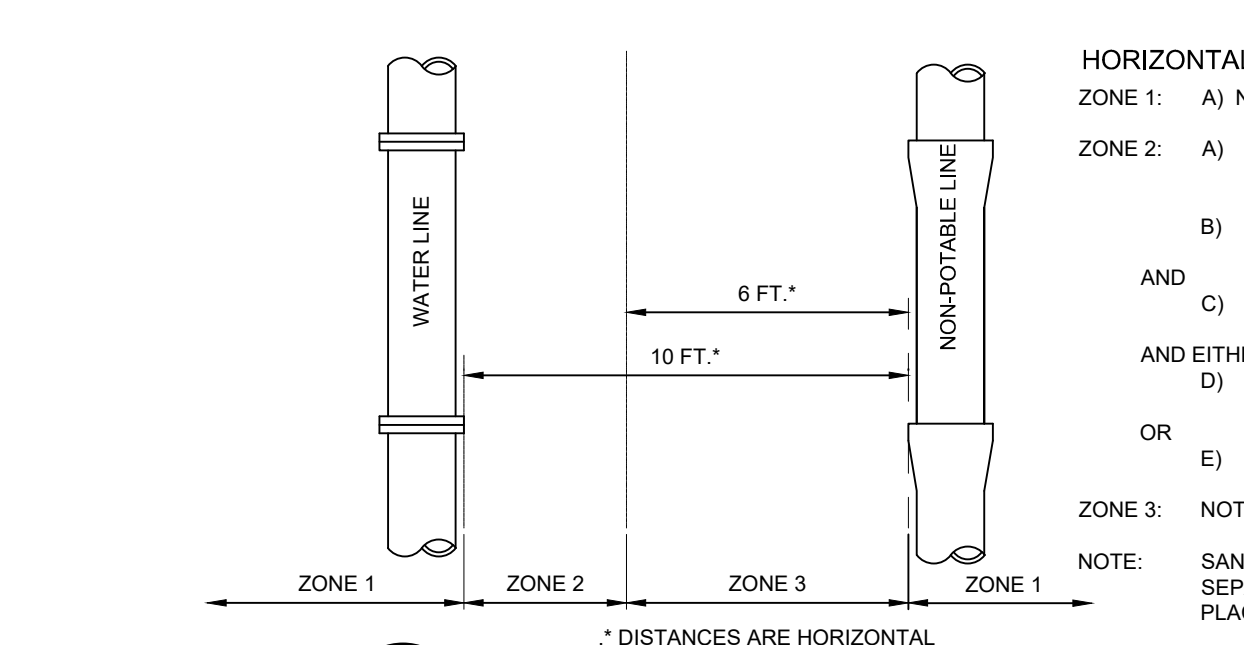
- NOTES:**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3.
 - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
 - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

8
C0.1 **TYPICAL TRENCH**
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES AND B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE:** SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

7
C0.1 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.

NOTES AND DETAIL SHEET
4TH AND WALNUT
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WALNUT & FOURTH LLC

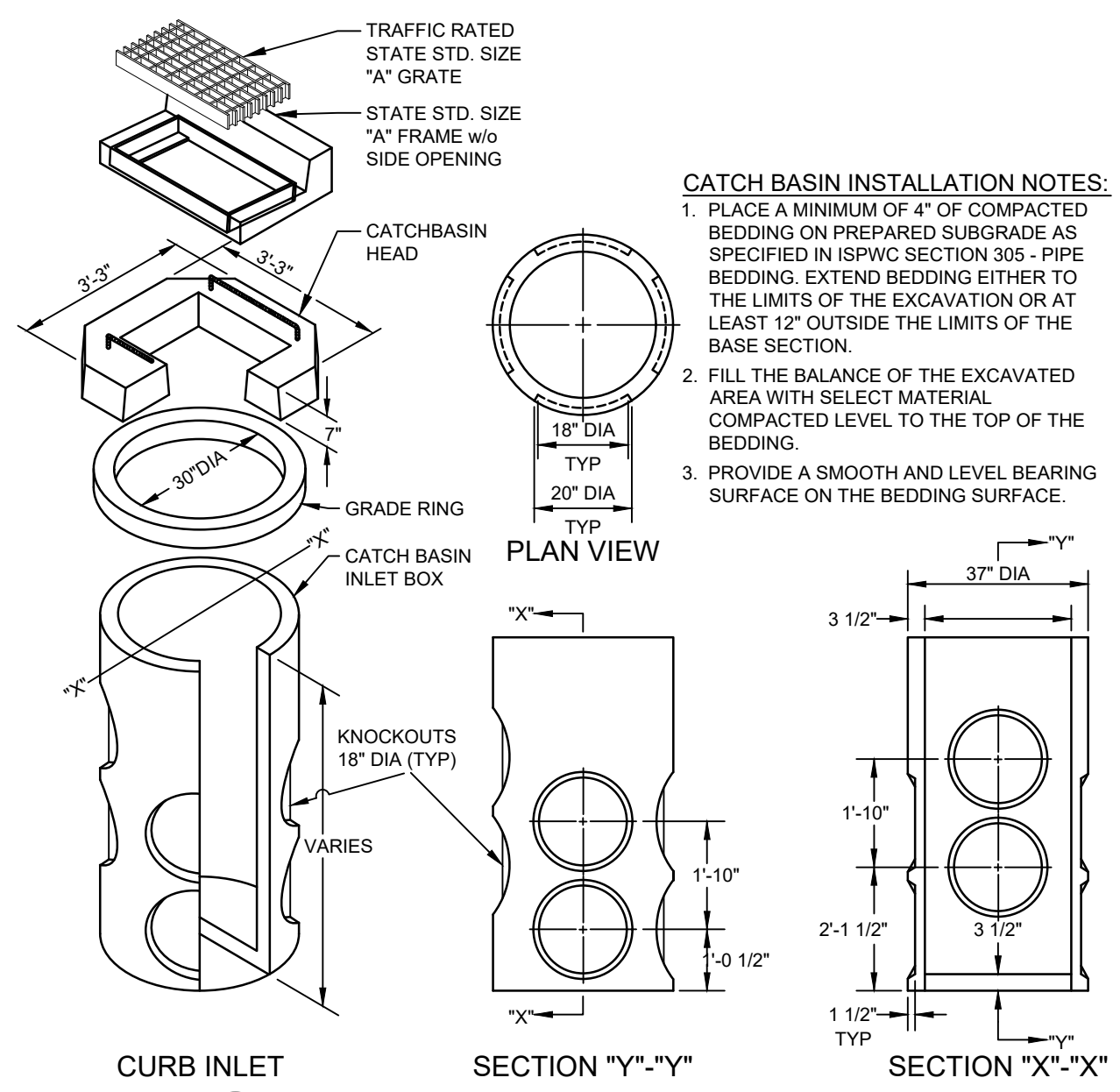
PROJECT INFORMATION
 Prepared by: [Name]
 Date: 10/14/2020

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

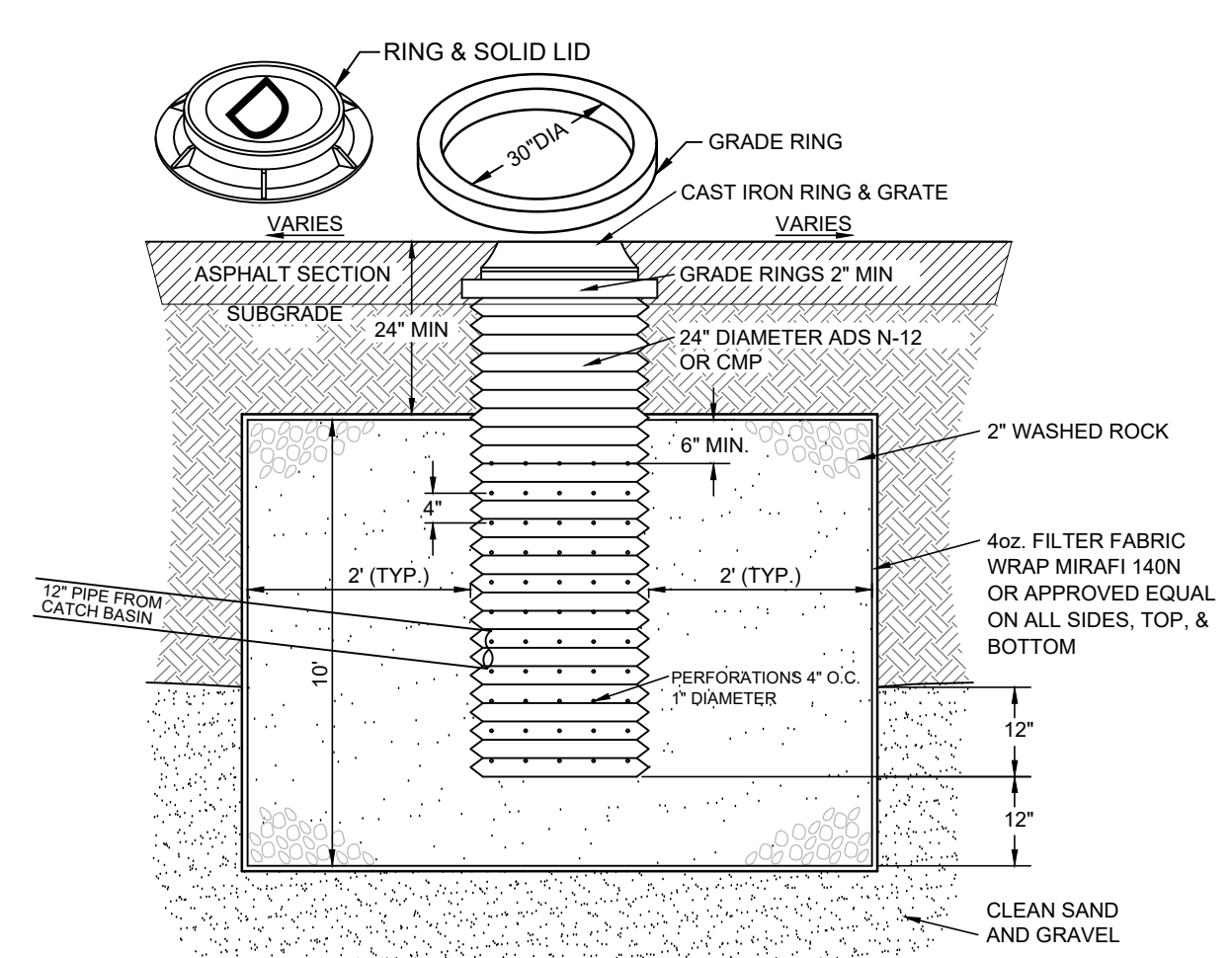
PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS

C0.1

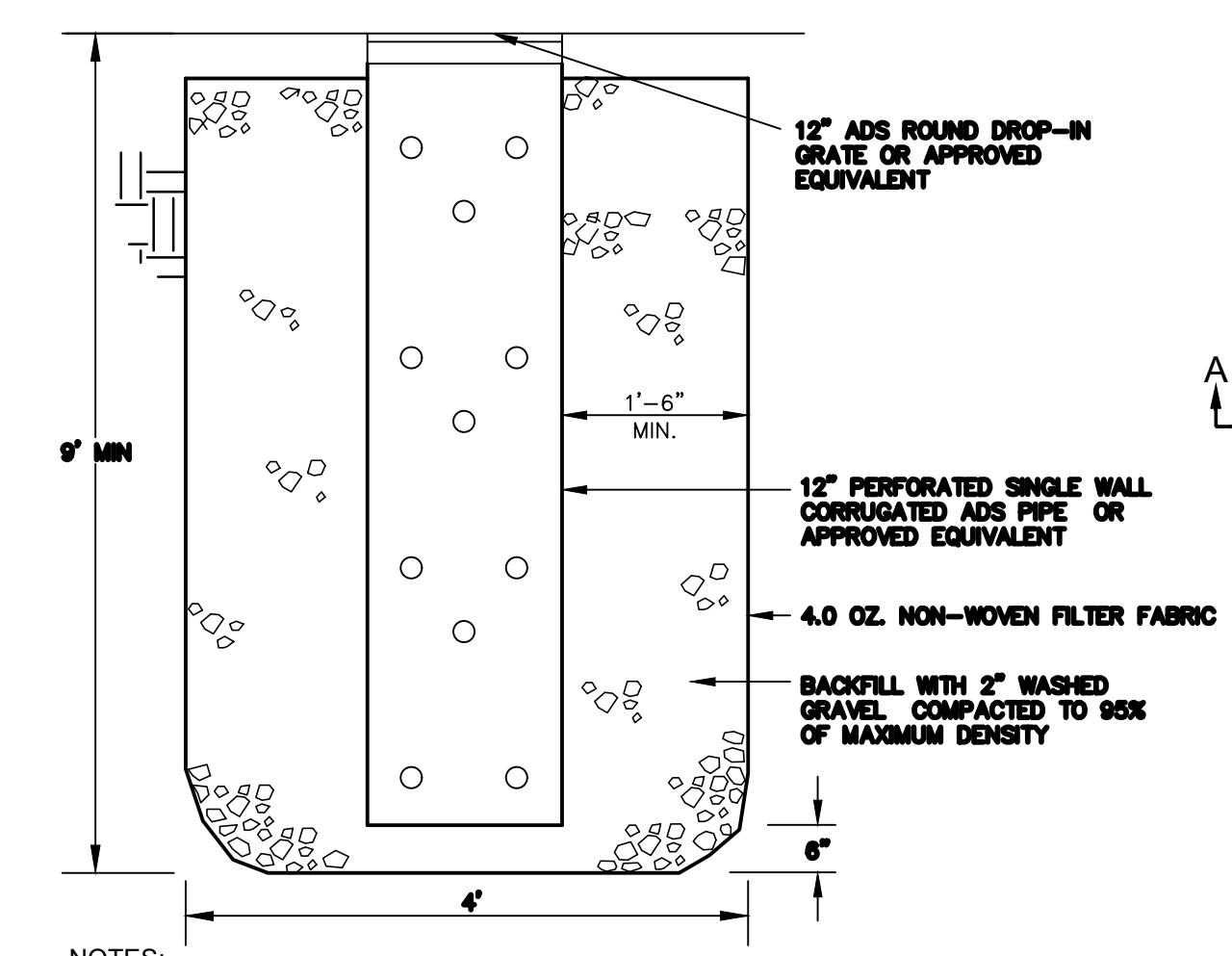


1
C0.2 **30\"/>**



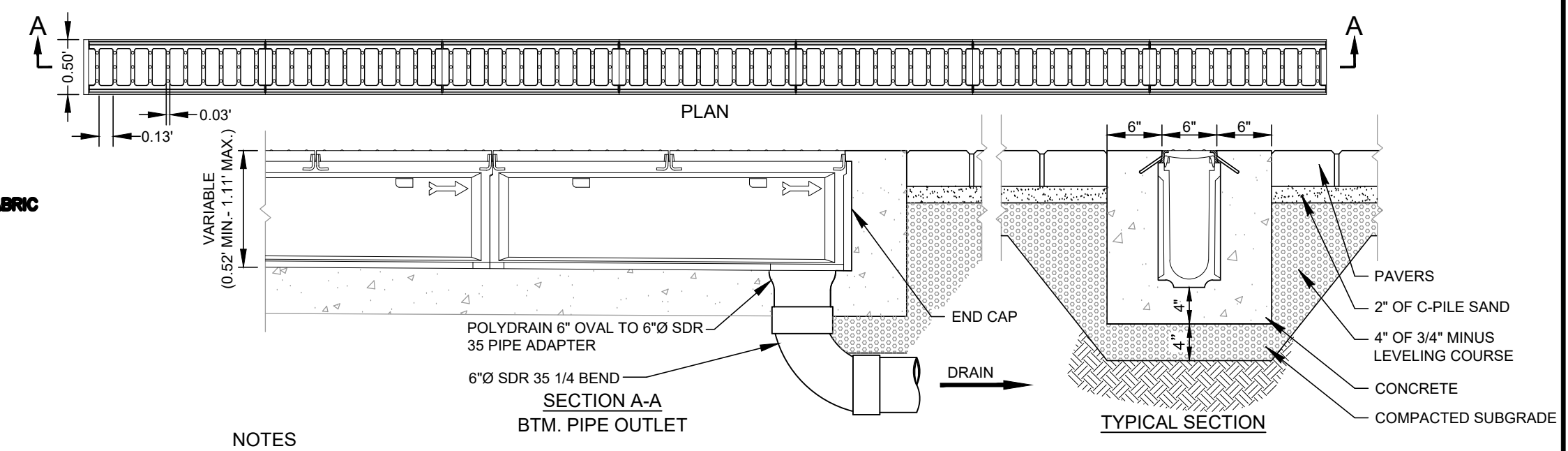
- NOTES:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

2
C0.2 **DRYWELL DETAIL (6'X6')**
N.T.S.



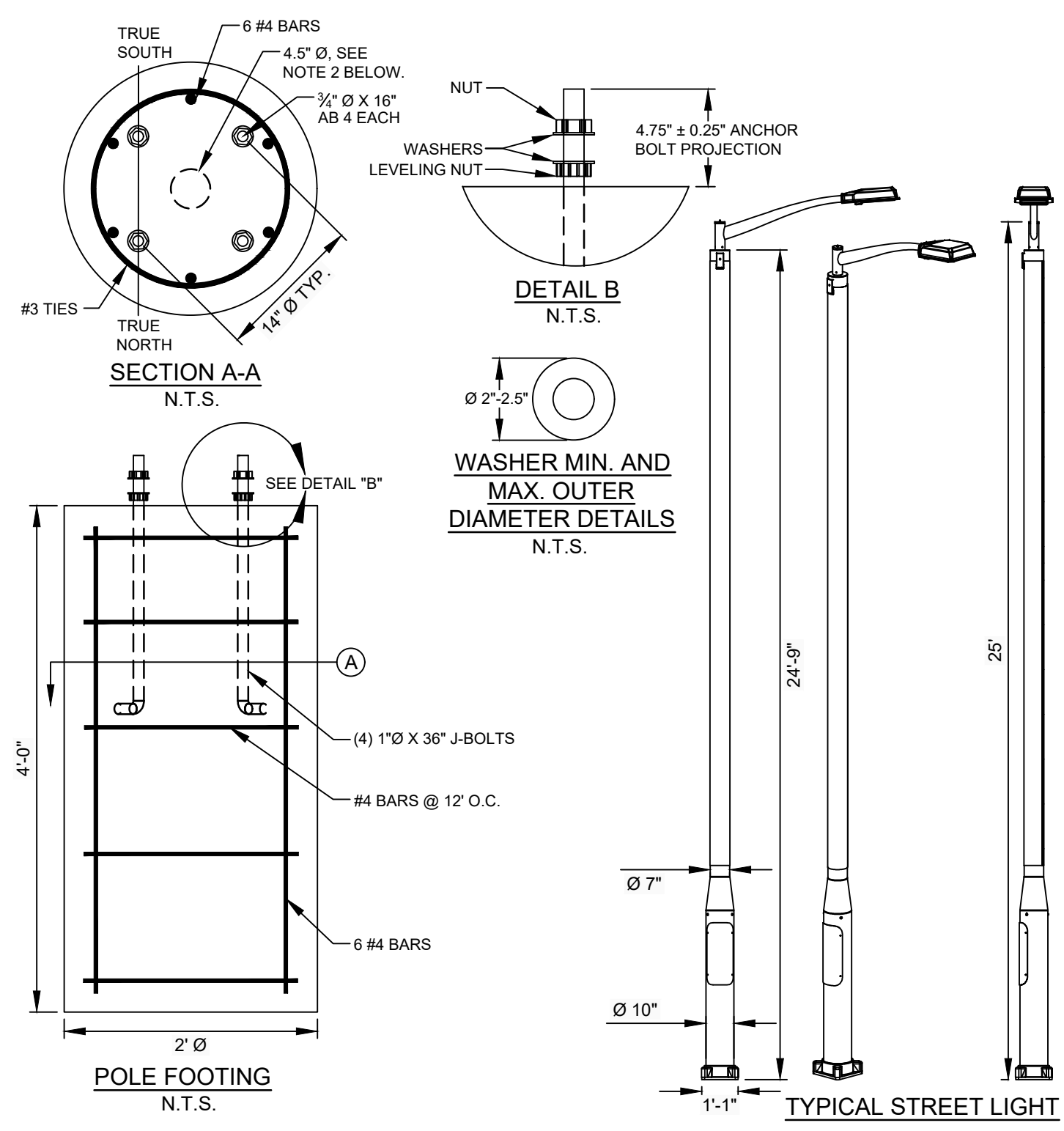
- NOTES:**
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

3
C0.2 **TYPICAL HANDRAIL AND STAIRS DETAIL**
N.T.S.



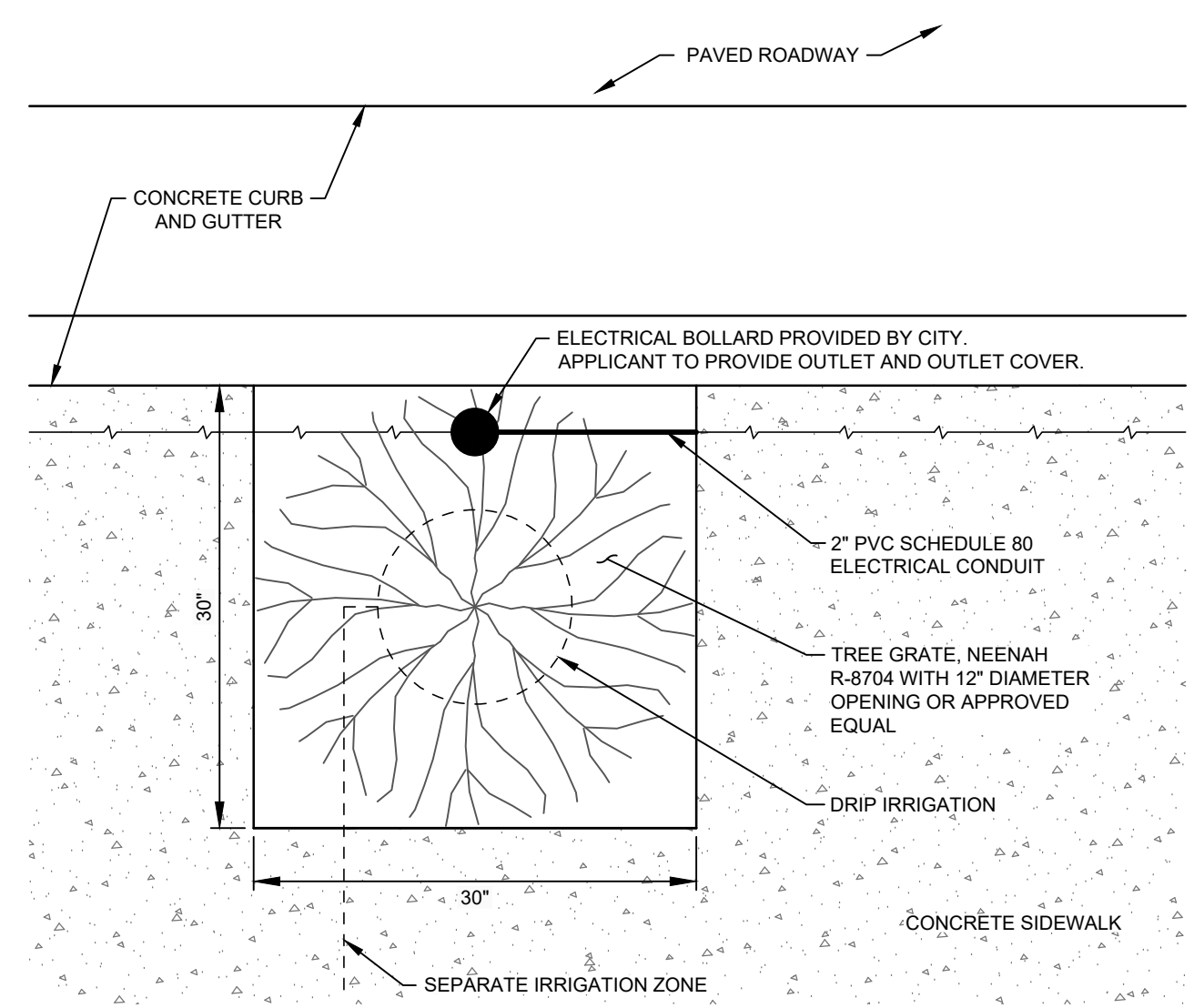
- NOTES:**
1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.

4
C0.2 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



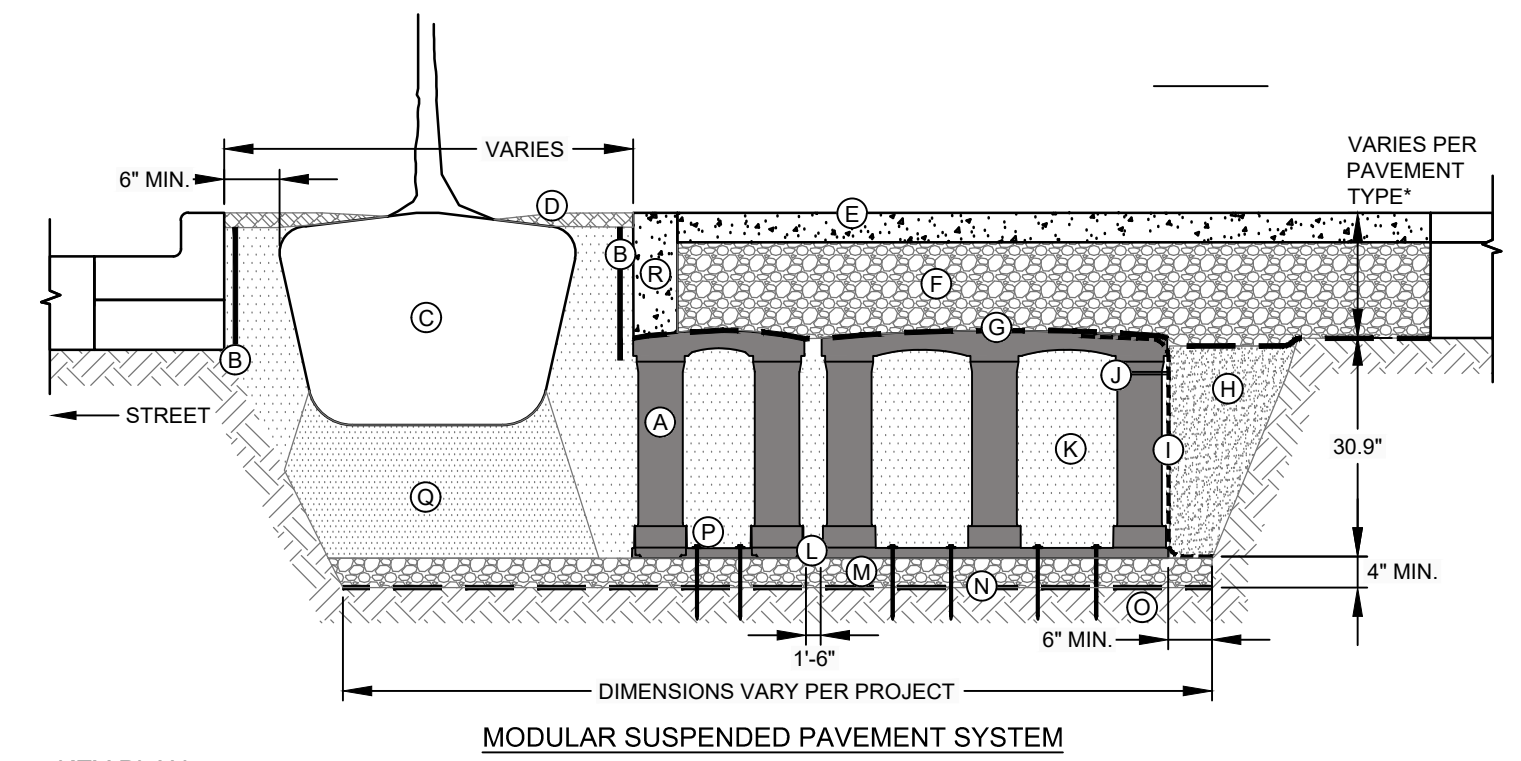
- NOTES:**
1. STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 2. ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5\"/>

5
C0.2 **TYPICAL STREET LIGHT**
N.T.S.



- NOTES:**
1. TREE TO BE 3\"/>

PLAN VIEW



- KEY PLAN:**
- SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - DEEPROOT ROOT BARRIER, 12\"/>

***MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING**

PAVEMENT	BASE COURSE	AGGREGATE
4\"/>		
3\"/>		
4\"/>		
2.6\"/>		

- NOTES:**
1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.

SECTION VIEW

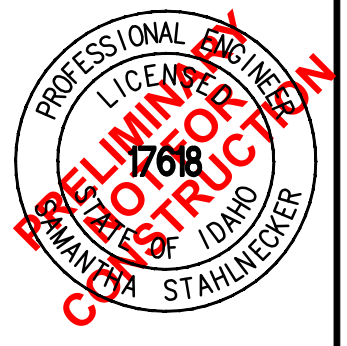
6
C0.2 **TREE WELL DETAILS**
N.T.S.

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PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)

NO.	DATE	BY	REVISIONS

C0.2

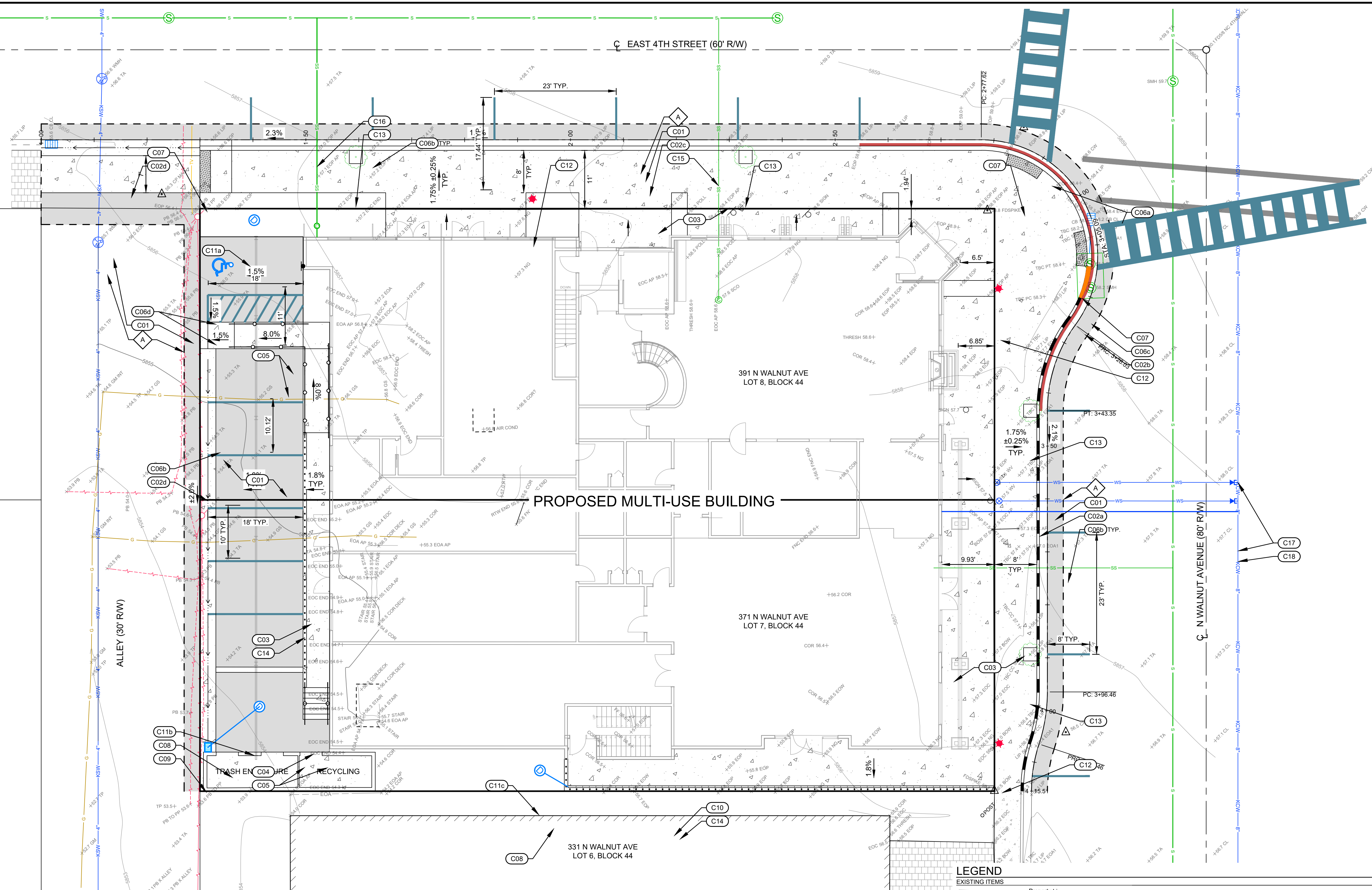


SKS
DESIGNED BY
SKS
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

DETAIL SHEET
4TH AND WALNUT
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR WALNUT & FOURTH LLC
 PROJECT INFORMATION
 P:\addshore\7819\img\Construction\1919-ENG-BASE.dwg 000620 10:14:52 AM

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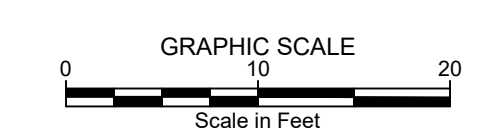


CONSTRUCTION KEY NOTES

- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / CO.1.
C02 CONSTRUCT CONCRETE CURB AND GUTTER.
C03 CONSTRUCT CONCRETE SIDEWALK.
C04 CONSTRUCT CONCRETE STAIRS.
C05 INSTALL HANDRAIL.
C06 INSTALL ROAD STRIPING / PAINT.
C07 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT.
C08 INSTALL 12" ADS N-12 STORM DRAIN PIPE.
C09 INSTALL CATCH BASIN.
C10 INSTALL TRENCH DRAIN.
C11 DRYWELL.
C12 INSTALL CITY OF KETCHUM STANDARD STREET LIGHT.
C13 INSTALL TREE WELL BOLLARDS.
C14 INSTALL RETAINING WALL.
C15 CUT AND CAP EXISTING SEWER SERVICE.
C16 INSTALL 6" PVC SEWER SERVICE.
C17 CUT, CAP, AND ABANDON EXISTING WATER SERVICE.
C18 INSTALL 6" PVC WATER SERVICE.
C19 RELOCATE UTILITIES.

LEGEND

LEGEND table with columns for EXISTING ITEMS and PROPOSED ITEMS. Includes symbols for Property Line, Curb & Gutter, Sewer Main, and various materials like Asphalt and Concrete.



NOTES AND DETAIL SHEET
4TH AND WALNUT

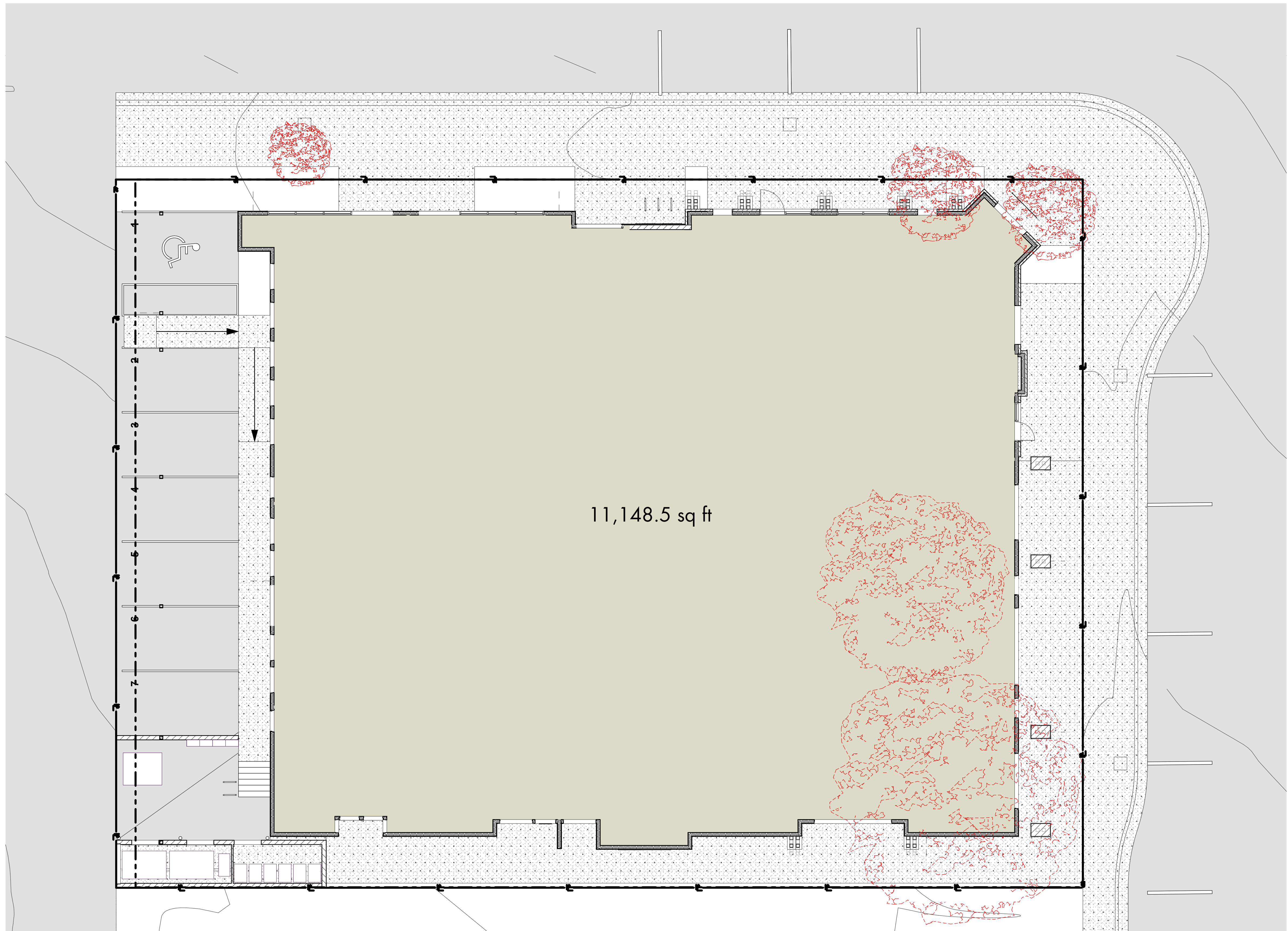
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR WALNUT & FOURTH LLC



DESIGNED BY
DRAWN BY
SMF
CHECKED BY

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (06/09/2020)
NO. DATE BY REVISIONS



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 Idaho Falls, ID 83401
 PH: 208.757.5700
 www.resinarchitecture.com

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 with the date and architect signature

Original documents signed by:
 J. GRAHAM WHIPPLE
 Date original documents signed:
 8/4/20

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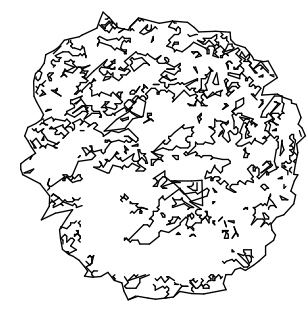
DEMOLITION LANDSCAPING PLAN

8/4/20

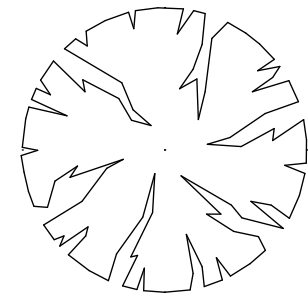
4th & Walnut Ave.
 Commercial Development

Design Review August 11th 2020

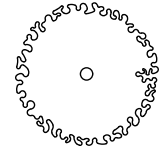
L-1



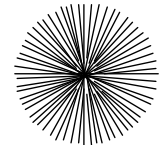
ARMSTRONG MAPLE, ACER x FREEMANII "ARMSTRONG"
15-20 x 40-50 MATURE



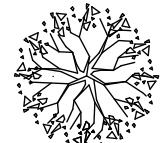
TANNENBAUM PINE, PINUS MUGHO "TANNENBAUM"
8-10 x 12-15 MATURE



PERENNIALS AND GRASSES
1 GAL @ 12"-18" O.C.



AUTUMN MOOR GRASS



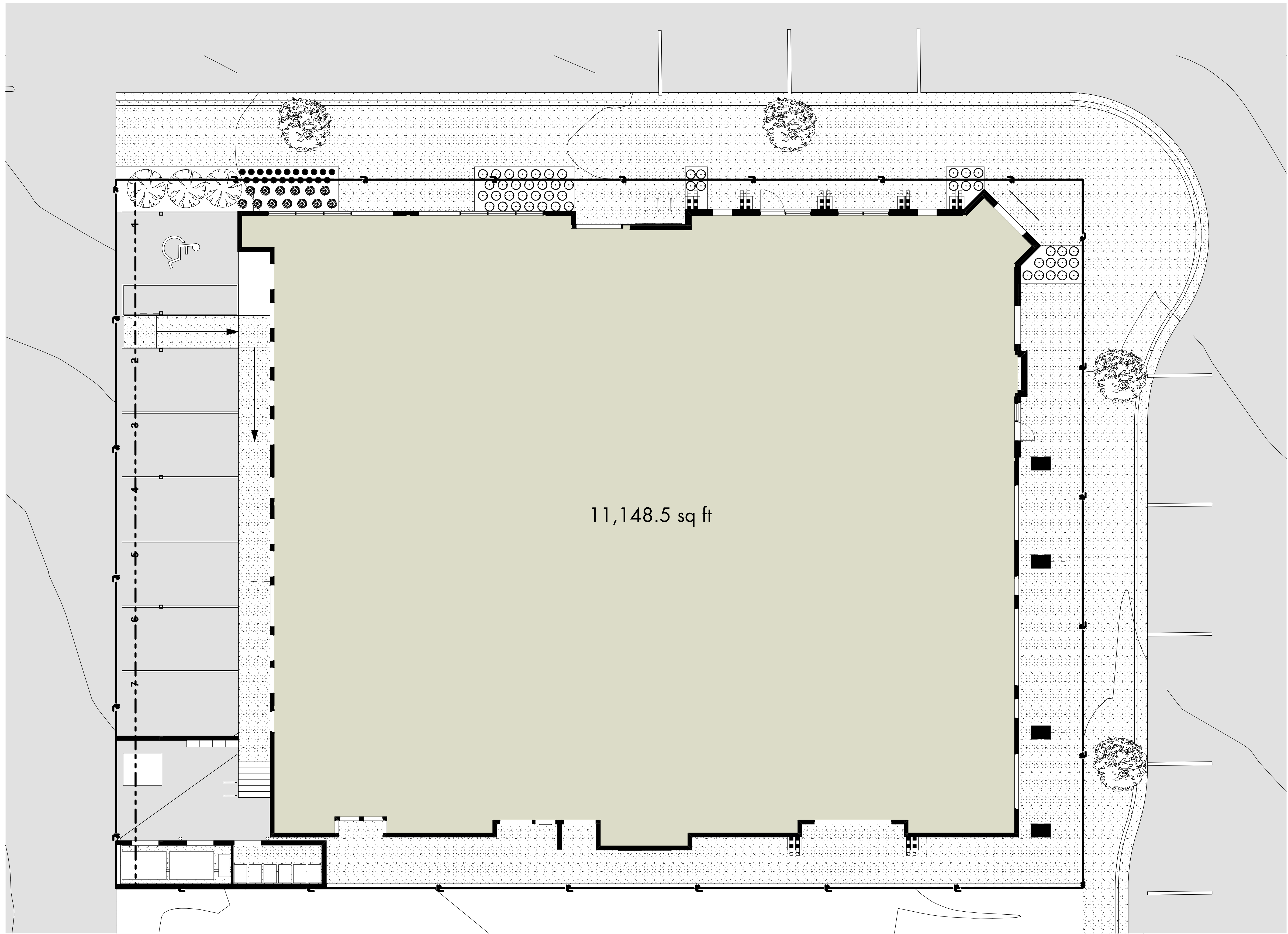
TOR BIRCHLEAF SPIREA, SPIRAEA BETULIFOLIA "TOR"



2 Mugho Tannenbaum
SCALE: 1:1.39



1 Armstrong Maple
SCALE: 1:1.19



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ARCHITECTURE

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LANDSCAPING PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

Perennials (1 gal. @ 12"-18")

- *Alchillea millefolium* – Yarrow ‘Terracotta’
- *Geum* – Avens ‘Mai Tai’
- *Nepeta musinii* – Catmint ‘Blue Wonder’
- *Penstemon digitalis* – Penstemon ‘Dark Towers’
- *Salvia nemerosa* - ‘Ave Maria’
- *Salvia nemerosa* - ‘Caradonna’
- *Sedum telephium* - ‘Knight Rider’
- *Sedum telephium* - ‘Matrona’
- *Veronica longifolia* - ‘First Lady’



12 Veronica Longifolia First Lady
NOT TO SCALE



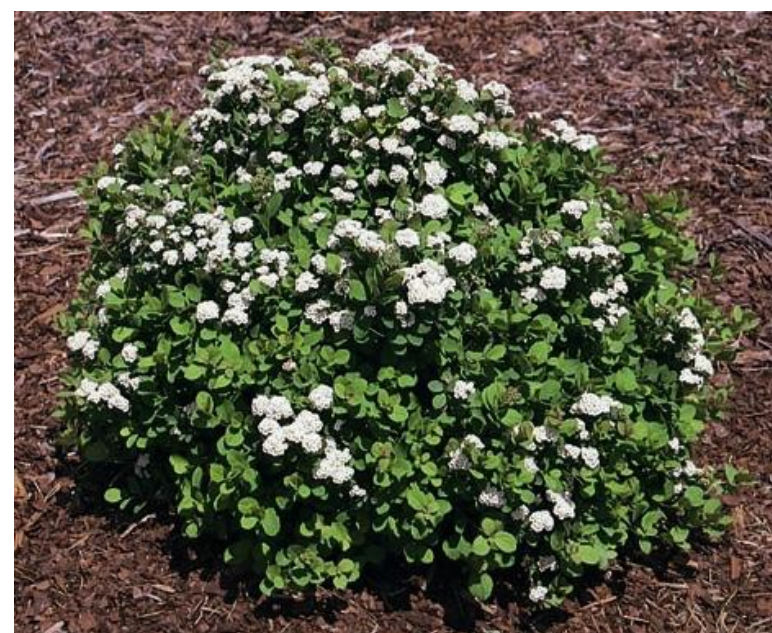
11 Yarrow Terracotta
NOT TO SCALE



10 Avens Mai Tai
NOT TO SCALE

Ornamental Grasses (1 gal.) - 40

- *Calamagrostis acutiflora* – Feather Reed Grass ‘Avalanche’
- *Sesleria autumnalis* - Autumn Moor Grass w



6 Tor Birchleaf Spirea
SCALE: 1:1.63



5 Autumn Moor Grass
NOT TO SCALE



4 Feather Reed grass Avalanche
NOT TO SCALE



9 Penstemon Dark Towers
NOT TO SCALE



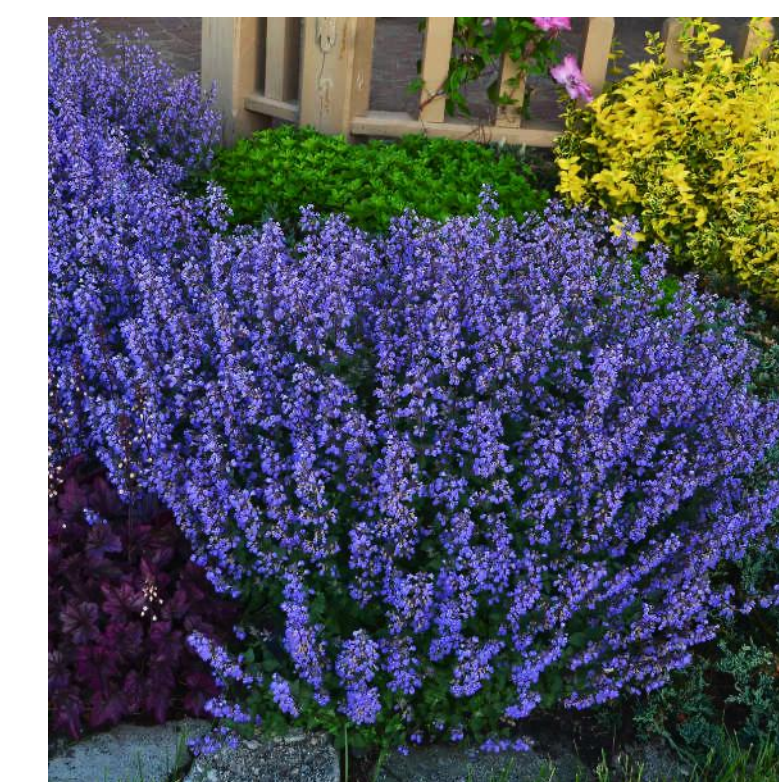
8 Sedum Telephium Knight Rider
NOT TO SCALE



7 Salvia Nemerosa Caradonna
NOT TO SCALE



3 Sedum Telephium Matrona
NOT TO SCALE



2 Catmint Blue Wonder
NOT TO SCALE



1 Salvia Nemerosa Ave Maria
NOT TO SCALE



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LANDSCAPING PLANTS

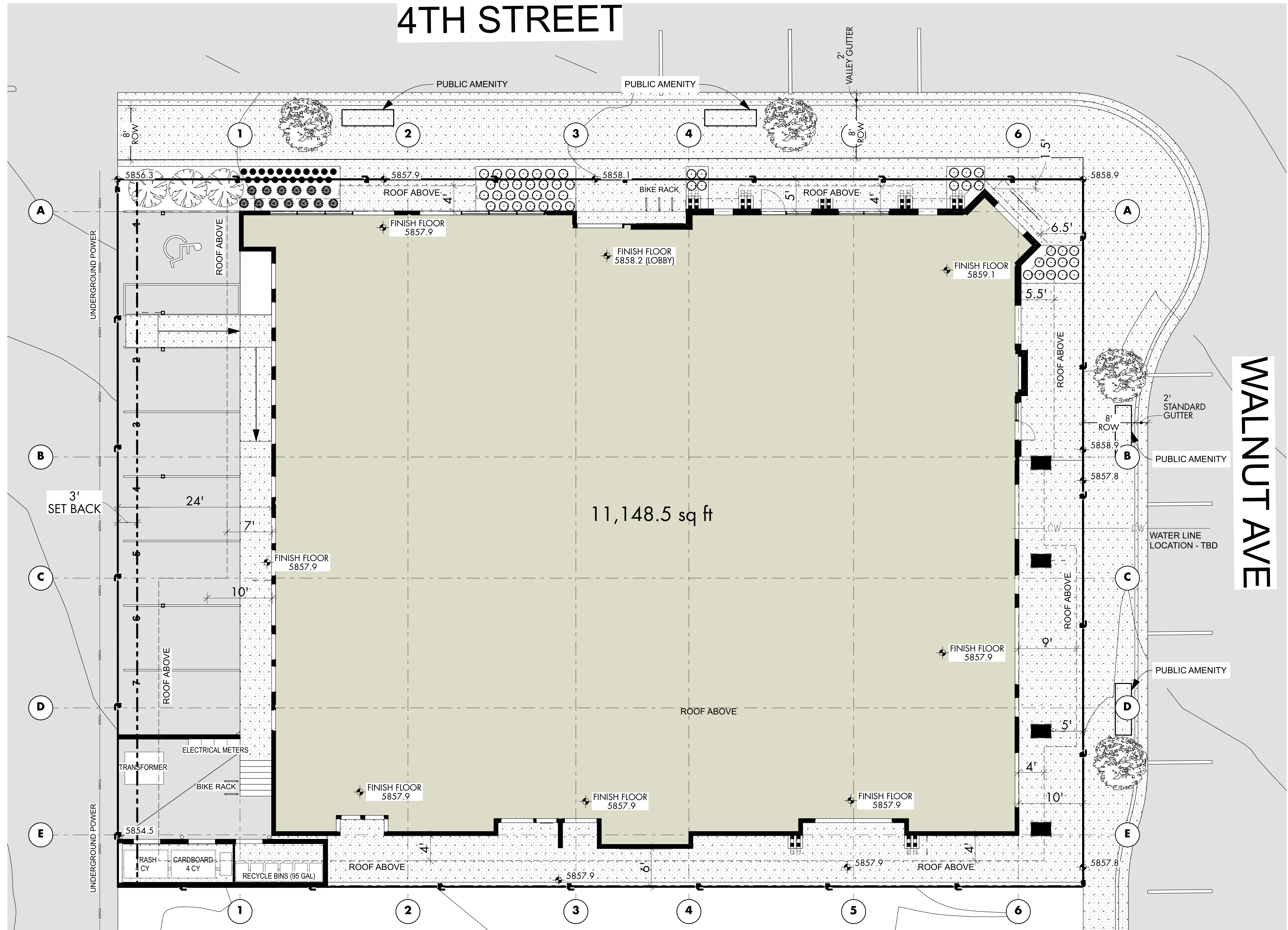
8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

ARCH SITE GENERAL NOTES

- A. ALL SIDE WALKS AND RIGHT OF WAY SHALL COMPLY WITH KMC 17.96.060.H.4 "4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed."
- B. PUBLIC AMENITIES COMPLYING WITH KMC 17.96.060.J "1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches, other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. all public amenities shall receive approval from the Public Works Department prior to design review approval from the commission." PUBLIC AMENITIES IN THE FORM OF BENCHES, TRASH RECEPTACLES AND/OR ART ARE ANTICIPATED AS PART OF THIS PROJECT. FINAL LOCATION AND DESIGN WILL BE COORDINATED WITH PUBLIC WORKS AND PLANNING DEPARTMENTS PRIOR TO PERMITTING.



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ARCHITECTURAL SITE PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AS-101



1 ARCHITECTURAL SITE VICINITY
SCALE: 1:288



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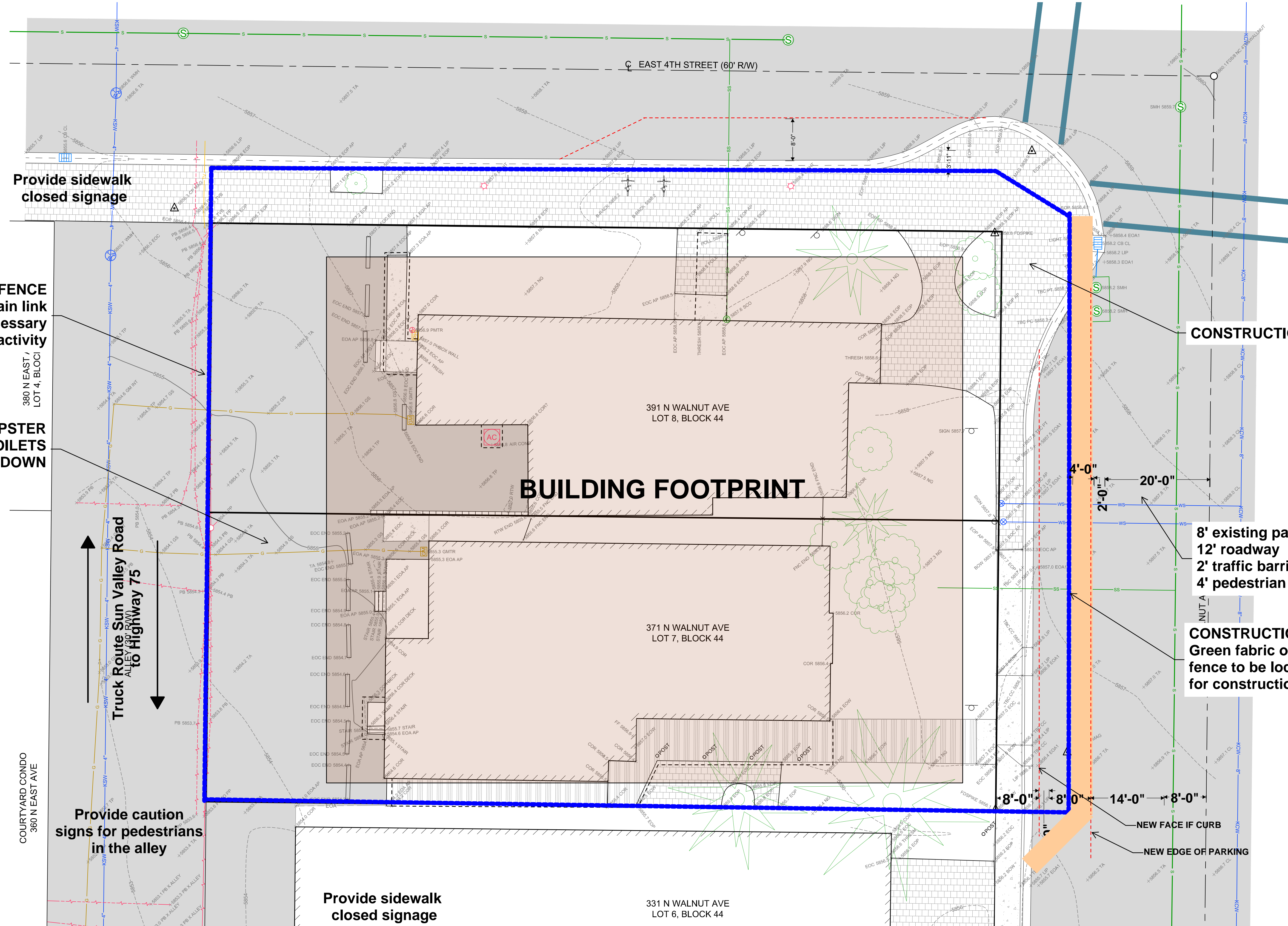
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ARCHITECTURAL VICINITY MAP

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AS-102



CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

DUMPSTER
CHEMICAL TOILETS
MATERIAL LAYDOWN

380 N EAST /
LOT 4, BLOCK 1

Provide caution signs for pedestrians in the alley

Provide sidewalk closed signage

CONSTRUCTION OFFICE

BUILDING FOOTPRINT

8' existing parking
12' roadway
2' traffic barrier
4' pedestrian walkway

CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

- Contractor Parking will be provided
1. Onsite
 2. Public parking lot at the east end of 4th Street
 3. Public parking lot on Washington Street with shuttle

CONSTRUCTION MANAGEMENT PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020 AS-103



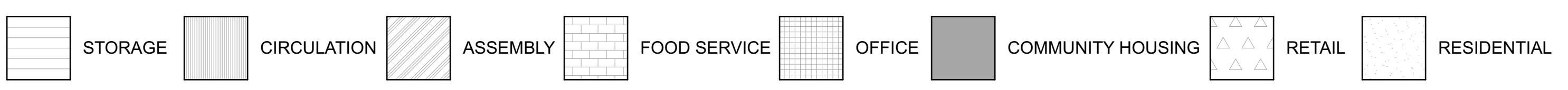
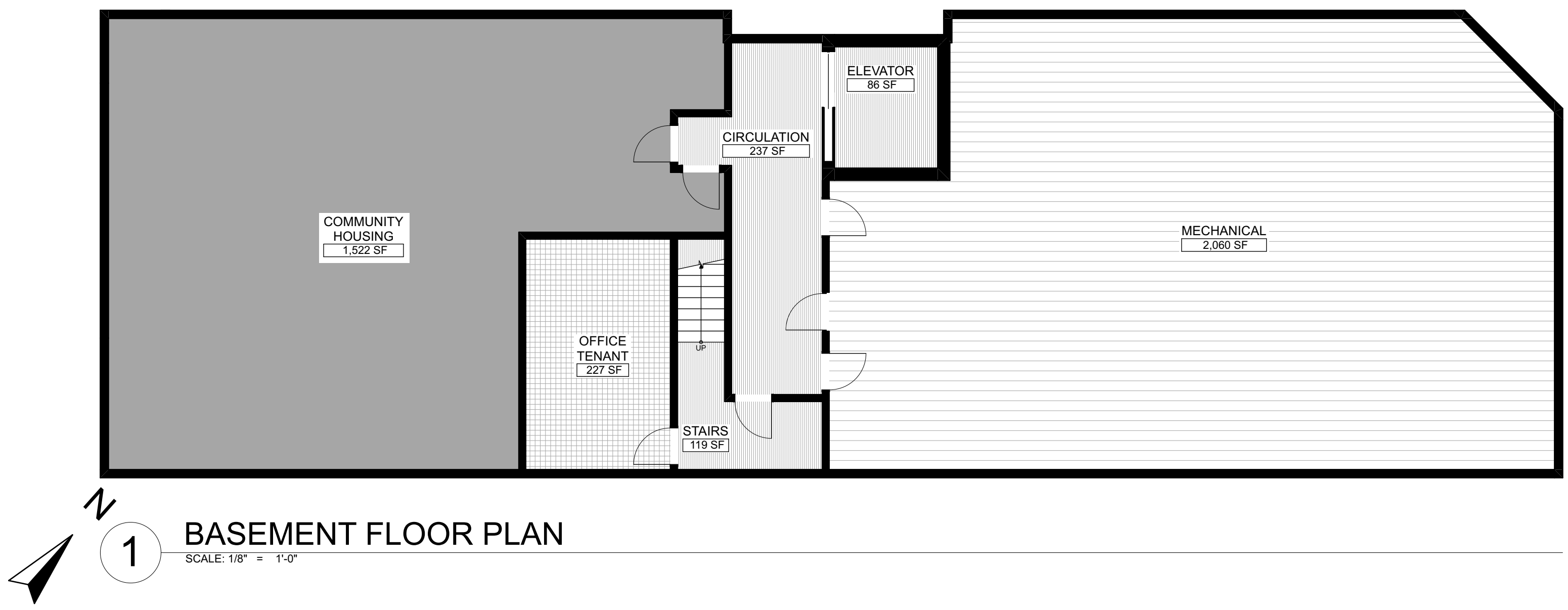
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Original documents signed by:
J. GRAHAM WHIPPLE
Date original documents signed:
8/4/20

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
	BASEMENT	CIRCULATION	276.06
	BASEMENT	ELEVATOR	120.00
	BASEMENT	STAIRS	150.45
	FIRST FLOOR	CIRCULATION	542.31
	FIRST FLOOR	ELEVATOR	120.12
	FIRST FLOOR	STAIRS	195.82
	SECOND FLOOR	CIRCULATION	1,060.44
	SECOND FLOOR	ELEVATOR	124.57
	SECOND FLOOR	STAIRS	214.79
			2,804.56 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,625.14
			1,625.14 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,914.49
			2,914.49 sq ft
Office			
	BASEMENT	OFFICE TENANT	243.61
	SECOND FLOOR	OFFICE TENANT	3,974.19
			4,217.80 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,085.12
	SECOND FLOOR	RESIDENTIAL A	1,845.38
	SECOND FLOOR	RESIDENTIAL B	1,994.78
			4,925.28 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,338.40
			6,338.40 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
	BASEMENT	CIRCULATION	236.79
	BASEMENT	ELEVATOR	86.33
	BASEMENT	STAIRS	119.13
	FIRST FLOOR	CIRCULATION	485.54
	FIRST FLOOR	ELEVATOR	92.53
	FIRST FLOOR	STAIRS	160.51
	SECOND FLOOR	CIRCULATION	943.60
	SECOND FLOOR	ELEVATOR	92.53
	SECOND FLOOR	STAIRS	186.24
			2,403.20 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,521.78
			1,521.78 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,783.72
			2,783.72 sq ft
Office			
	BASEMENT	OFFICE TENANT	226.69
	SECOND FLOOR	OFFICE TENANT	3,867.44
			4,094.13 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,020.42
	SECOND FLOOR	RESIDENTIAL A	1,772.70
	SECOND FLOOR	RESIDENTIAL B	1,927.91
			4,721.03 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,145.23
			6,145.23 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



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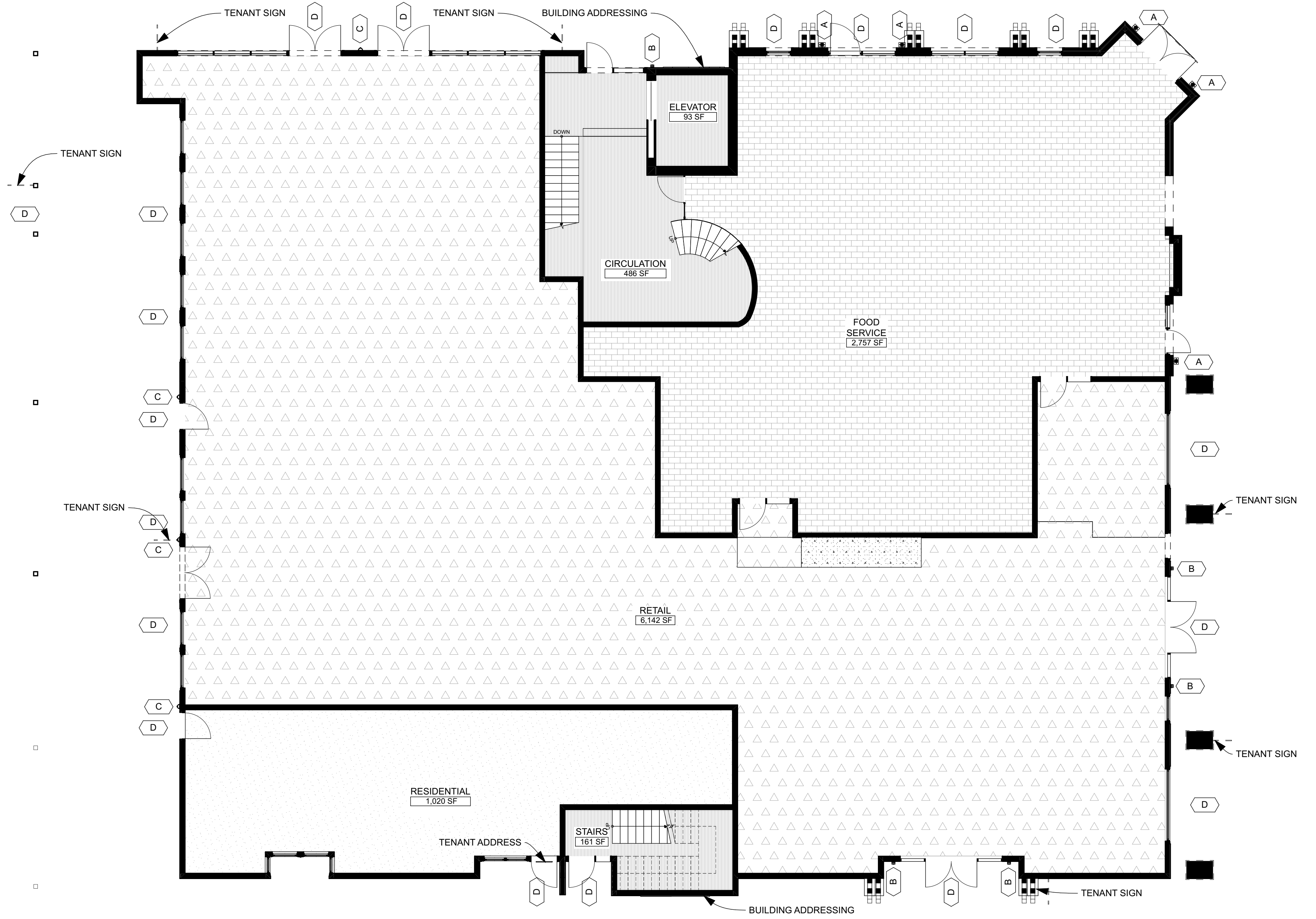
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BASEMENT FLOOR PLAN
8/4/20
4th & Walnut Ave.
Commercial Development
Design Review August 11th 2020 A-100

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
BASEMENT	CIRCULATION		276.06
BASEMENT	ELEVATOR		120.00
BASEMENT	STAIRS		150.45
FIRST FLOOR	CIRCULATION		542.31
FIRST FLOOR	ELEVATOR		120.12
FIRST FLOOR	STAIRS		195.82
SECOND FLOOR	CIRCULATION		1,060.44
SECOND FLOOR	ELEVATOR		124.57
SECOND FLOOR	STAIRS		214.79
			2,804.56 sq ft
Community Housing			
BASEMENT	COMMUNITY HOUSING		1,625.14
			1,625.14 sq ft
Food Service			
FIRST FLOOR	FOOD SERVICE		2,914.49
			2,914.49 sq ft
Office			
BASEMENT	OFFICE TENANT		243.61
SECOND FLOOR	OFFICE TENANT		3,974.19
			4,217.80 sq ft
Residential			
FIRST FLOOR	RESIDENTIAL		1,085.12
SECOND FLOOR	RESIDENTIAL A		1,845.38
SECOND FLOOR	RESIDENTIAL B		1,994.78
			4,925.28 sq ft
Retail			
FIRST FLOOR	RETAIL		6,338.40
			6,338.40 sq ft
Storage & Mechanical			
BASEMENT	MECHANICAL		2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
BASEMENT	CIRCULATION		236.79
BASEMENT	ELEVATOR		86.33
BASEMENT	STAIRS		119.13
FIRST FLOOR	CIRCULATION		485.54
FIRST FLOOR	ELEVATOR		92.53
FIRST FLOOR	STAIRS		160.51
SECOND FLOOR	CIRCULATION		943.60
SECOND FLOOR	ELEVATOR		92.53
SECOND FLOOR	STAIRS		186.24
			2,403.20 sq ft
Community Housing			
BASEMENT	COMMUNITY HOUSING		1,521.78
			1,521.78 sq ft
Food Service			
FIRST FLOOR	FOOD SERVICE		2,783.72
			2,783.72 sq ft
Office			
BASEMENT	OFFICE TENANT		226.69
SECOND FLOOR	OFFICE TENANT		3,867.44
			4,094.13 sq ft
Residential			
FIRST FLOOR	RESIDENTIAL		1,020.42
SECOND FLOOR	RESIDENTIAL A		1,772.70
SECOND FLOOR	RESIDENTIAL B		1,927.91
			4,721.03 sq ft
Retail			
FIRST FLOOR	RETAIL		6,145.23
			6,145.23 sq ft
Storage & Mechanical			
BASEMENT	MECHANICAL		2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND:

- STORAGE
- CIRCULATION
- ASSEMBLY
- FOOD SERVICE
- OFFICE
- COMMUNITY HOUSING
- RETAIL
- RESIDENTIAL



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



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PH: 208.757.5700
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J. GRAHAM WHIPPLE
Date original documents signed:
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FIRST FLOOR PLAN
8/4/20
4th & Walnut Ave.
Commercial Development
Design Review August 11th 2020 A-101

Design Review - Gross Square Footage			
Category	Level	Zone	Gross Square Footage
Assembly			
	SECOND FLOOR	BALCONY	807.02
			807.02 sq ft
Circulation			
	BASEMENT	CIRCULATION	276.06
	BASEMENT	ELEVATOR	120.00
	BASEMENT	STAIRS	150.45
	FIRST FLOOR	CIRCULATION	542.31
	FIRST FLOOR	ELEVATOR	120.12
	FIRST FLOOR	STAIRS	195.82
	SECOND FLOOR	CIRCULATION	1,060.44
	SECOND FLOOR	ELEVATOR	124.57
	SECOND FLOOR	STAIRS	214.79
			2,804.56 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,625.14
			1,625.14 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,914.49
			2,914.49 sq ft
Office			
	BASEMENT	OFFICE TENANT	243.61
	SECOND FLOOR	OFFICE TENANT	3,974.19
			4,217.80 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,085.12
	SECOND FLOOR	RESIDENTIAL A	1,845.38
	SECOND FLOOR	RESIDENTIAL B	1,994.78
			4,925.28 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,338.40
			6,338.40 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,157.06
			2,157.06 sq ft
			25,789.75 sq ft

Design Review - Net Square Footage			
Category	Level	Zone	Net Square Footage
Assembly			
	SECOND FLOOR	BALCONY	745.30
			745.30 sq ft
Circulation			
	BASEMENT	CIRCULATION	236.79
	BASEMENT	ELEVATOR	86.33
	BASEMENT	STAIRS	119.13
	FIRST FLOOR	CIRCULATION	485.54
	FIRST FLOOR	ELEVATOR	92.53
	FIRST FLOOR	STAIRS	160.51
	SECOND FLOOR	CIRCULATION	943.60
	SECOND FLOOR	ELEVATOR	92.53
	SECOND FLOOR	STAIRS	186.24
			2,403.20 sq ft
Community Housing			
	BASEMENT	COMMUNITY HOUSING	1,521.78
			1,521.78 sq ft
Food Service			
	FIRST FLOOR	FOOD SERVICE	2,783.72
			2,783.72 sq ft
Office			
	BASEMENT	OFFICE TENANT	226.69
	SECOND FLOOR	OFFICE TENANT	3,867.44
			4,094.13 sq ft
Residential			
	FIRST FLOOR	RESIDENTIAL	1,020.42
	SECOND FLOOR	RESIDENTIAL A	1,772.70
	SECOND FLOOR	RESIDENTIAL B	1,927.91
			4,721.03 sq ft
Retail			
	FIRST FLOOR	RETAIL	6,145.23
			6,145.23 sq ft
Storage & Mechanical			
	BASEMENT	MECHANICAL	2,060.06
			2,060.06 sq ft
			24,474.45 sq ft



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



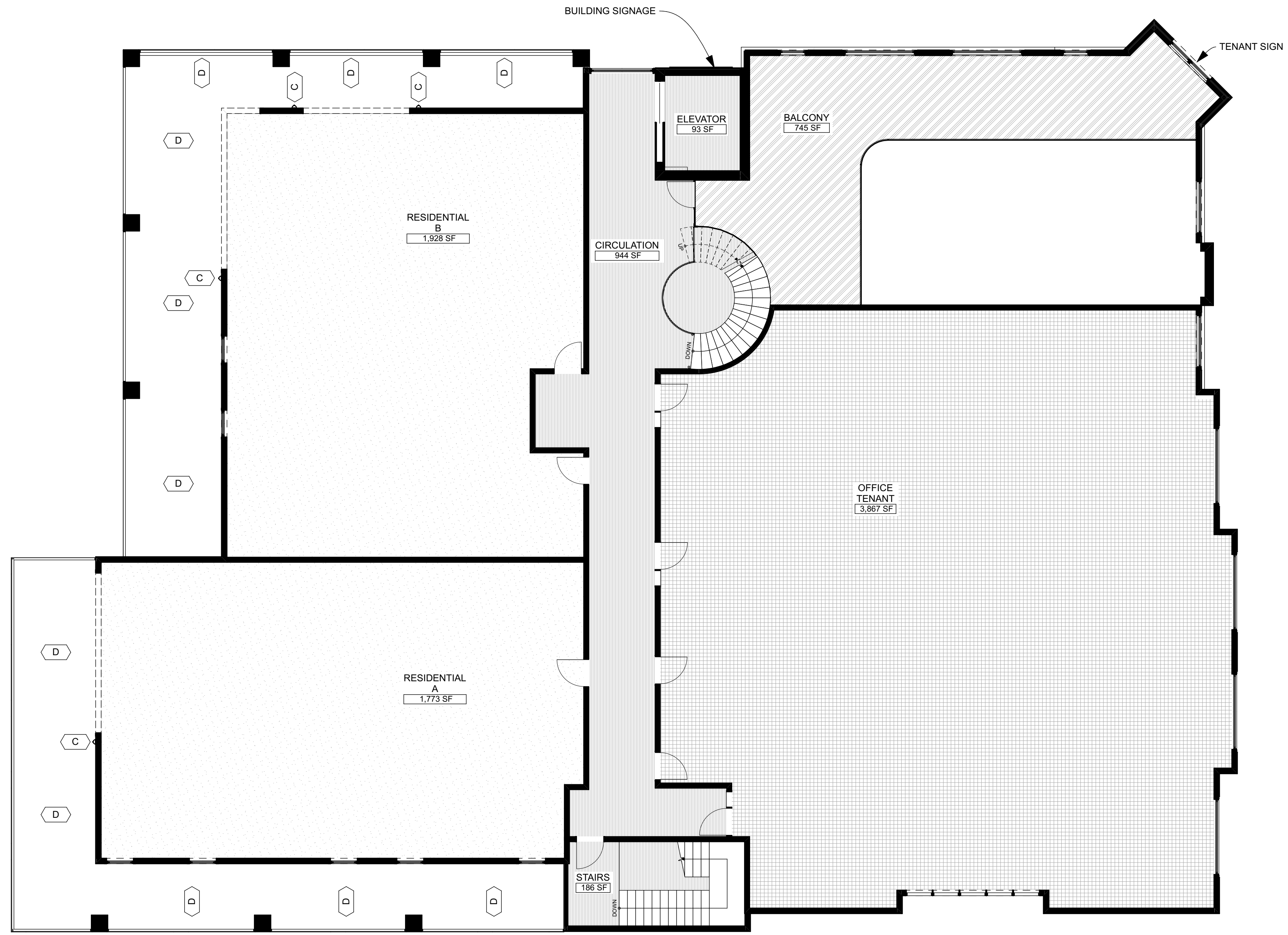
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND:

- STORAGE
- CIRCULATION
- ASSEMBLY
- FOOD SERVICE
- OFFICE
- COMMUNITY HOUSING
- RETAIL
- RESIDENTIAL



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SECOND FLOOR PLAN

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-102



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



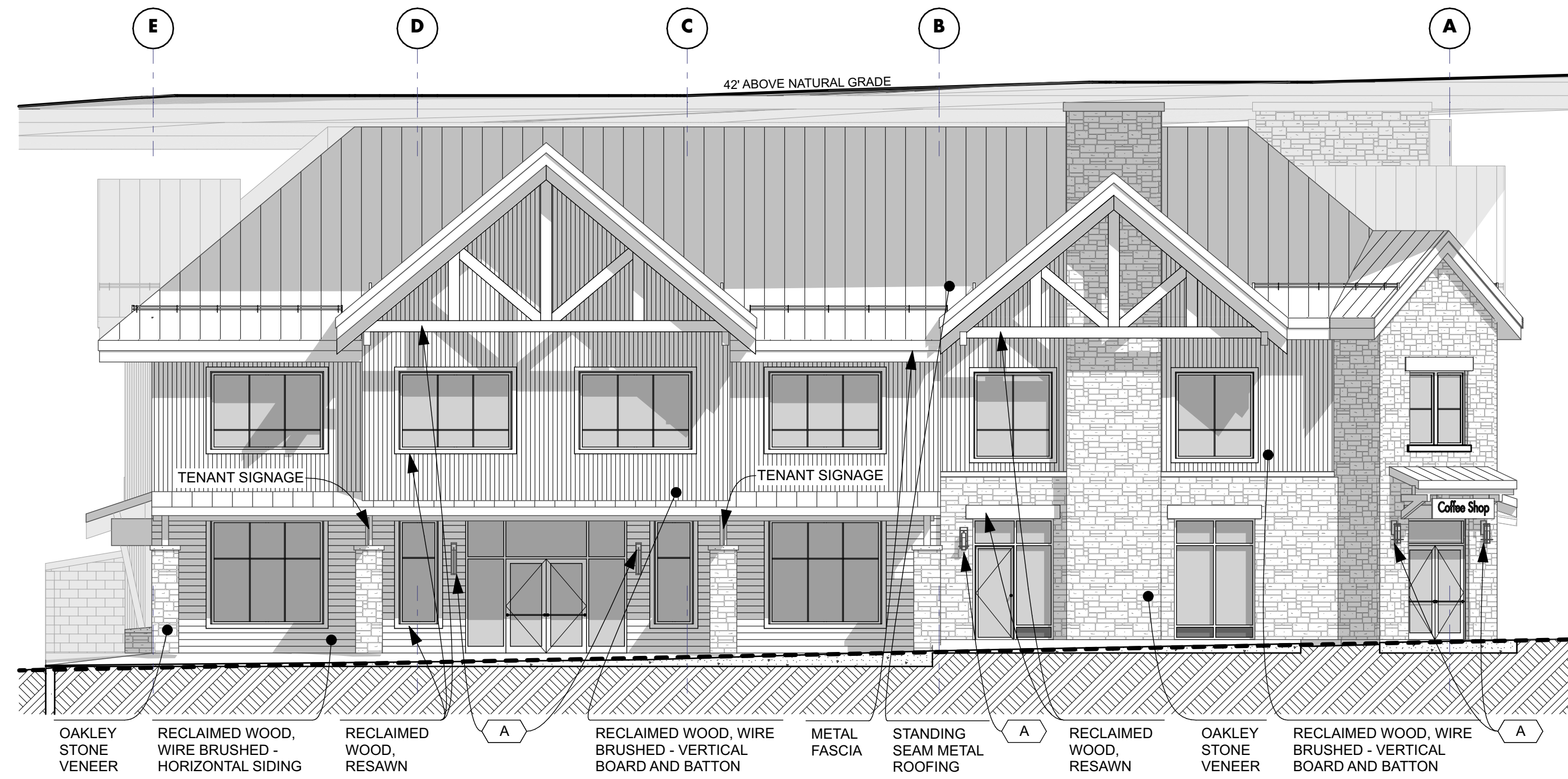
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



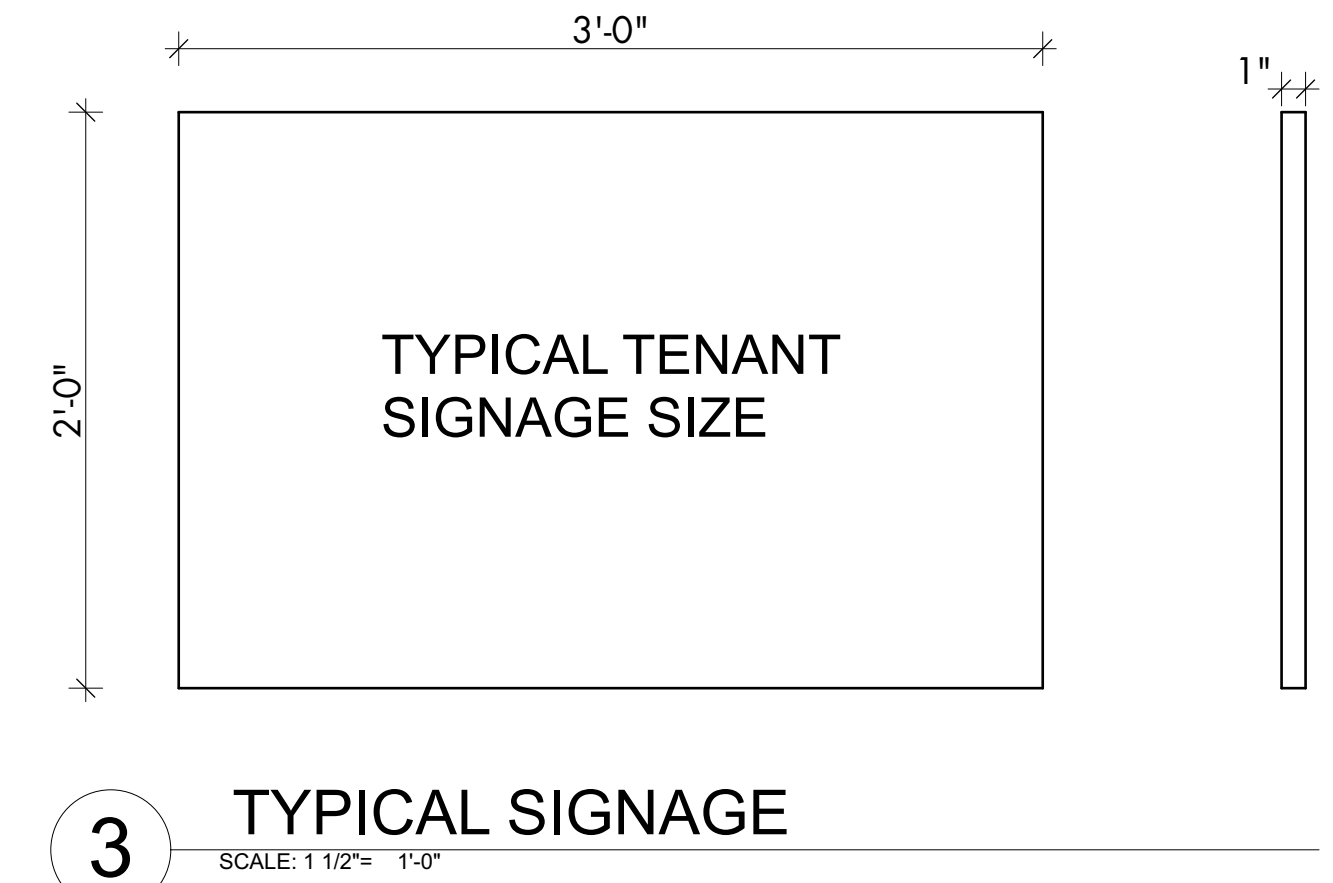
TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



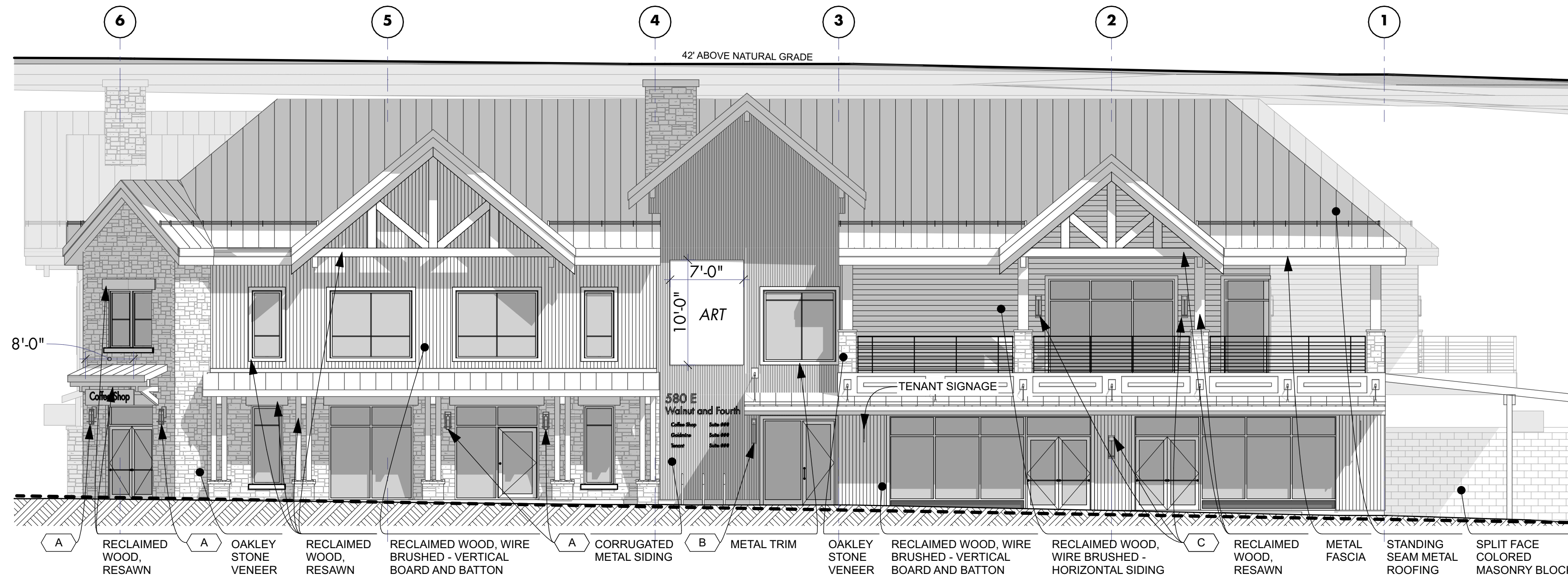
TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



2 NE Elevation (Walnut)
SCALE: 1/8" = 1'-0"



3 TYPICAL SIGNAGE
SCALE: 1 1/2" = 1'-0"



1 NW Elevation (4th)
SCALE: 1/8" = 1'-0"



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ELEVATIONS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-201



TYPE A
WALL SCONCE
8'-4" HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



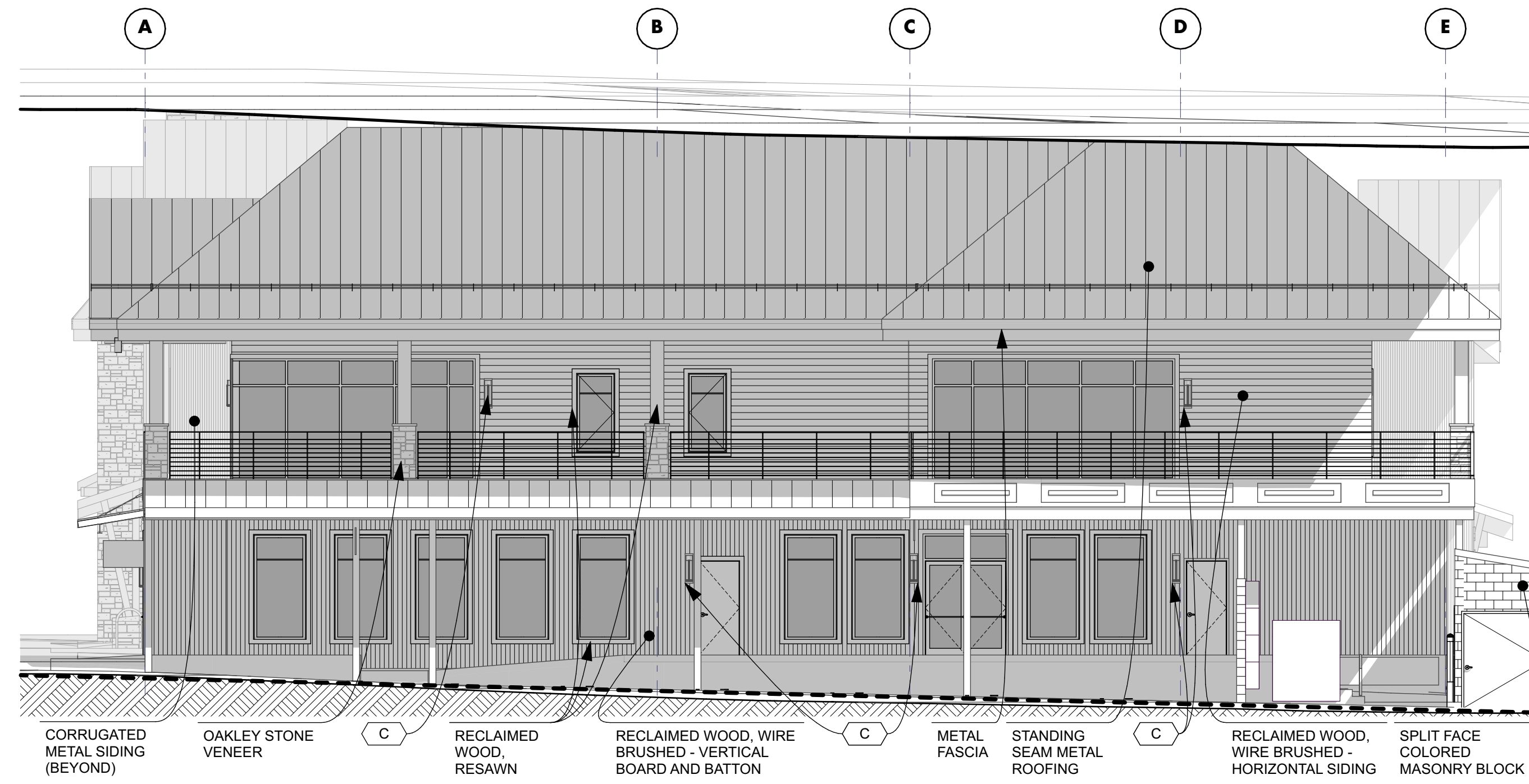
TYPE C
WALL SCONCE
6'-6" MOUNTING HEIGHT
DARK SKY COMPLIANT
(8 FIXTURES)



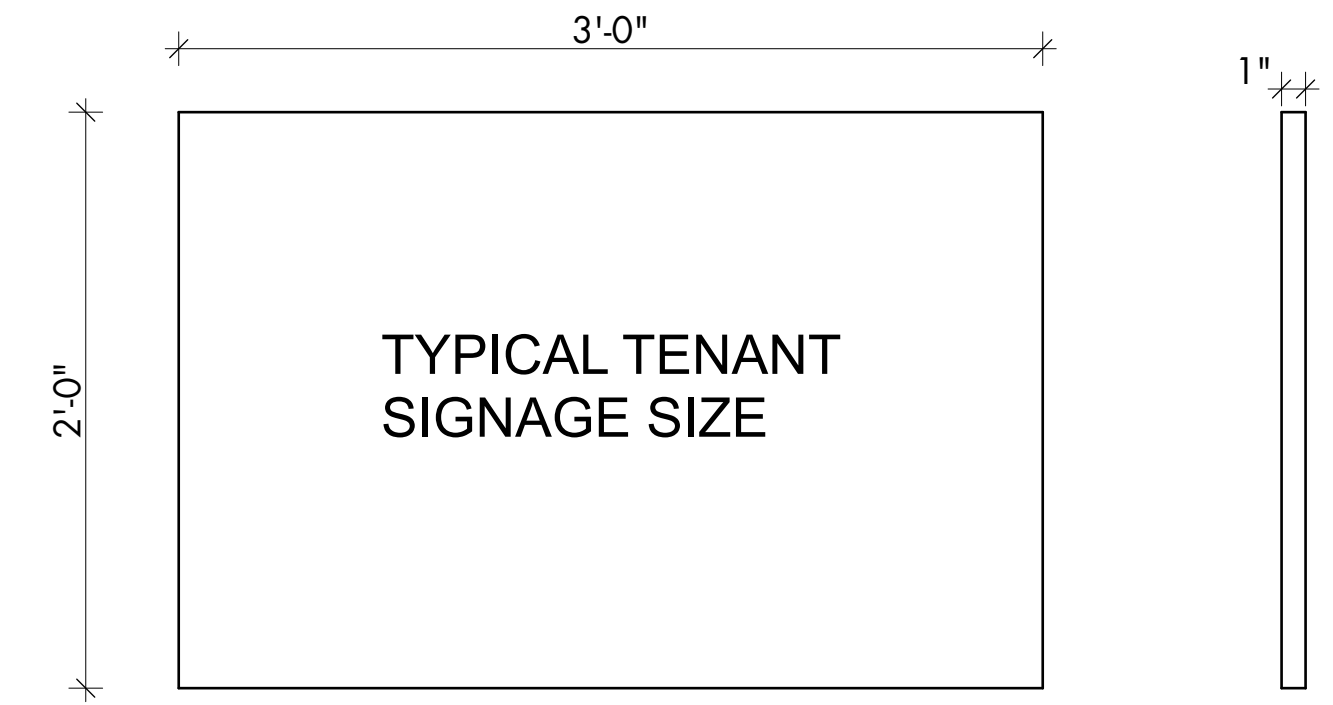
TYPE B
WALL SCONCE
7'-0" MOUNTING HEIGHT
DARK SKY COMPLIANT
(5 FIXTURES)



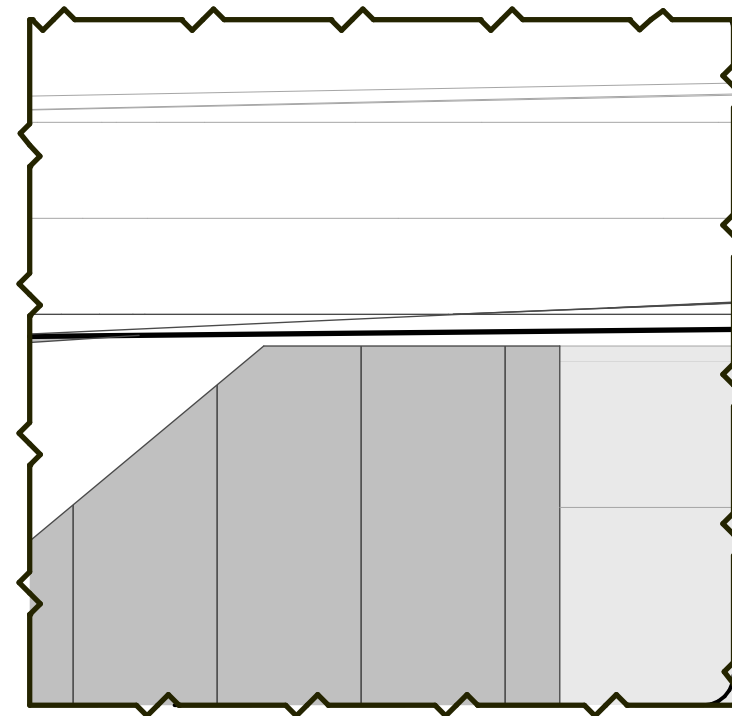
TYPE D
RECESSED CAN
SOFFIT MOUNTED
DARK SKY COMPLIANT
(30 FIXTURES)



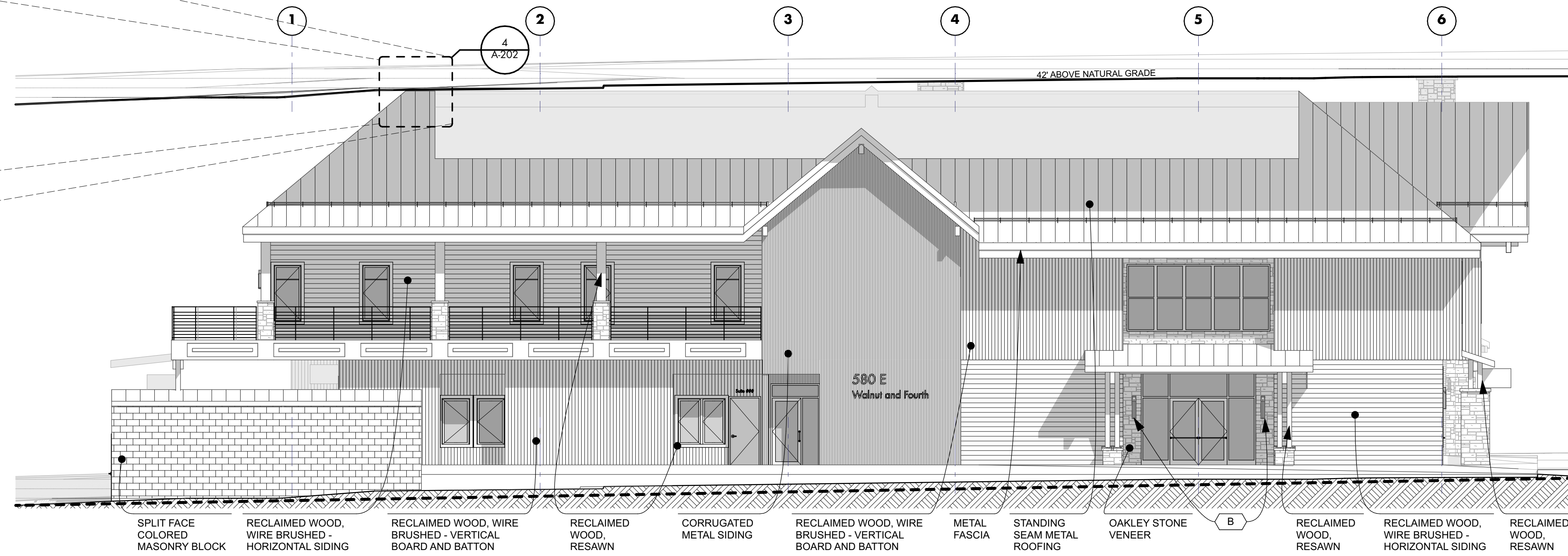
2 SW Elevation (Alley)
SCALE: 1/8" = 1'-0"



3 TYPICAL SIGNAGE
SCALE: 1 1/2" = 1'-0"



4 SE Elevation
SCALE: 1/2" = 1'-0"



1 SE Elevation
SCALE: 1/8" = 1'-0"



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ELEVATIONS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-202



1 WALNUT & 4TH
NOT TO SCALE



2 WALNUT & 4TH
NOT TO SCALE



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RENDERINGS

8/4/20

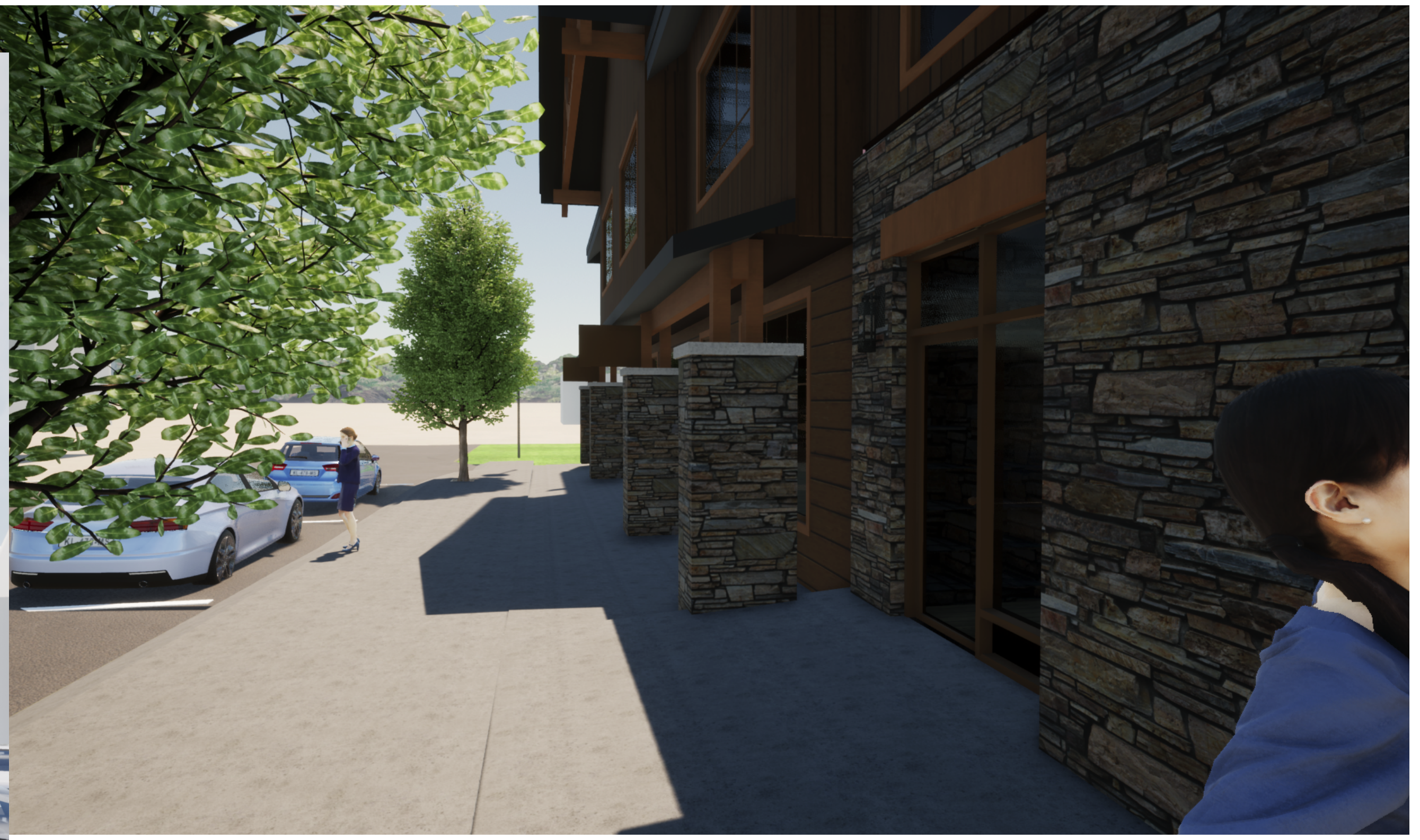
4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-301



2 4TH
NOT TO SCALE



3 WALNUT
NOT TO SCALE



1 4TH
NOT TO SCALE



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RENDERINGS

8/4/20

4th & Walnut Ave.
Commercial Development

Design Review August 11th 2020

A-302



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EXTERIOR MATERIALS

8/4/20

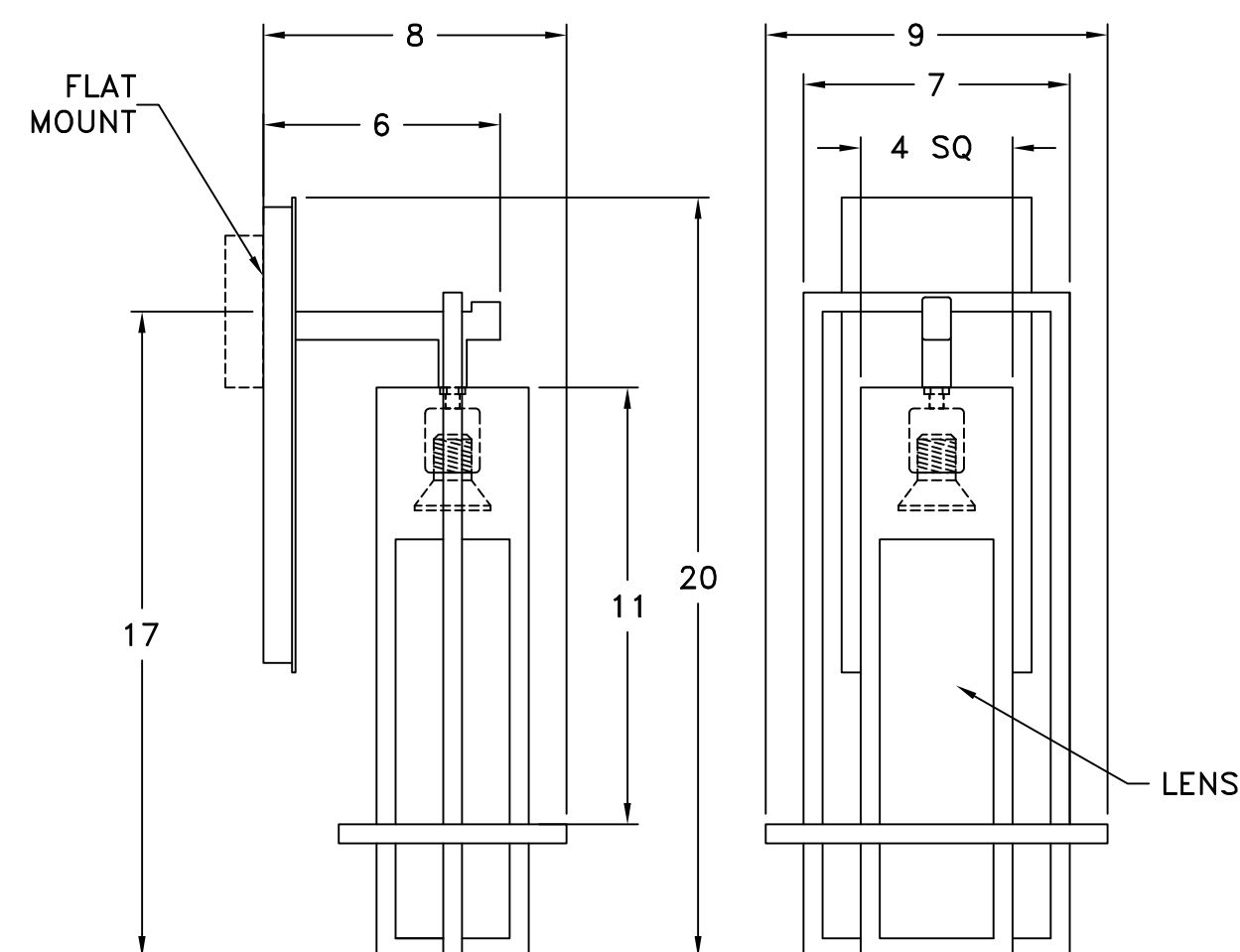
4th & Walnut Ave.
 Commercial Development

Design Review August 11th 2020 AF-101

HAMMERTON

CONCEPT

Location: Product #: CU-OD2186-20C-A
Date: 6/25/2020
Concept drawing only. A final specification drawing will be provided after purchase order.



NOTE: FIXTURE IS IDA (DARK SKY) COMPLIANT

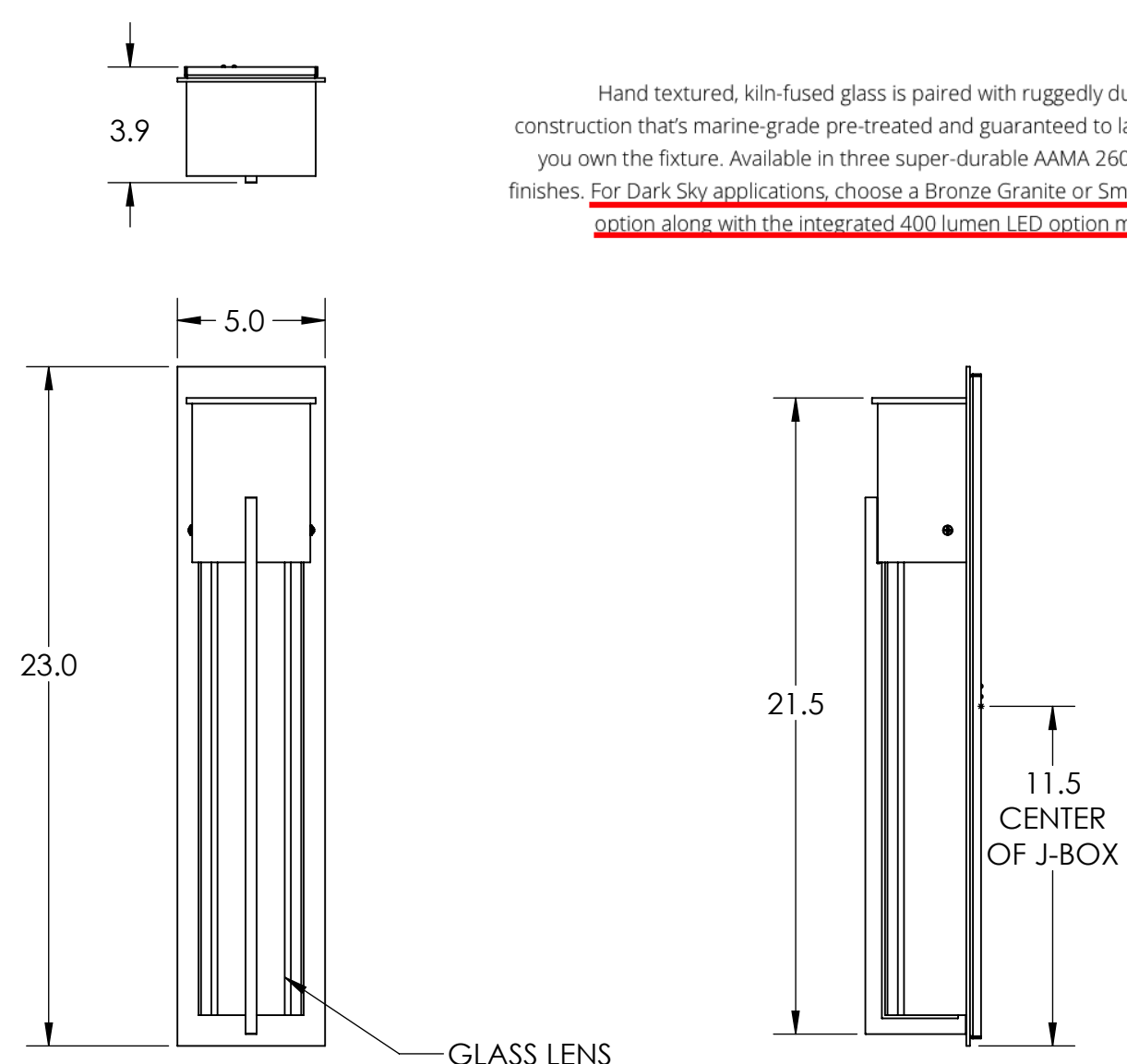
Finish: TBD	UL Location: DAMP	Mounting Style
Top Diffuser: CLOSED	Electrical Type: MR-16	<p>CAUTION HARDWARE PACKET "D" MOUNTS DIRECTLY TO J-BOX.</p>
Bottom Diffuser: OPEN	Bulb Qty: 1 Wattage: 35 Voltage: 120	

1 TYPE A
SCALE: 1" = 1'-0"

HAMMERTONSTUDIO™

SPECIFICATION DRAWING

Collection: OUTDOOR Product #: ODB0055-23



Hand textured, kiln-fused glass is paired with ruggedly durable aluminum construction that's marine-grade pre-treated and guaranteed to last for as long as you own the fixture. Available in three super-durable AAMA 2604 rated outdoor finishes. For Dark Sky applications, choose a Bronze Granite or Smoke Granite lens option along with the integrated 400 lumen LED option must be selected.

Bulbs Not Included Visit hammertonstudio.com for product options and specifications.		12/7/2017 (A)
Mounting Packet: U	Electrical Type: HALOGEN/LED RETRO	<p>MOUNTS DIRECTLY TO J-BOX</p>
Approximate lbs.: 15	Bulb Qty: 1 Bulb Type: MR16	
Finish: SEE WEB SITE FOR OPTIONS	Wattage: 35 Voltage: 120	
Top Diffuser: CLOSED METAL	Socket Type: GU10	
Bottom Diffuser: OPEN	UL Location: WET	

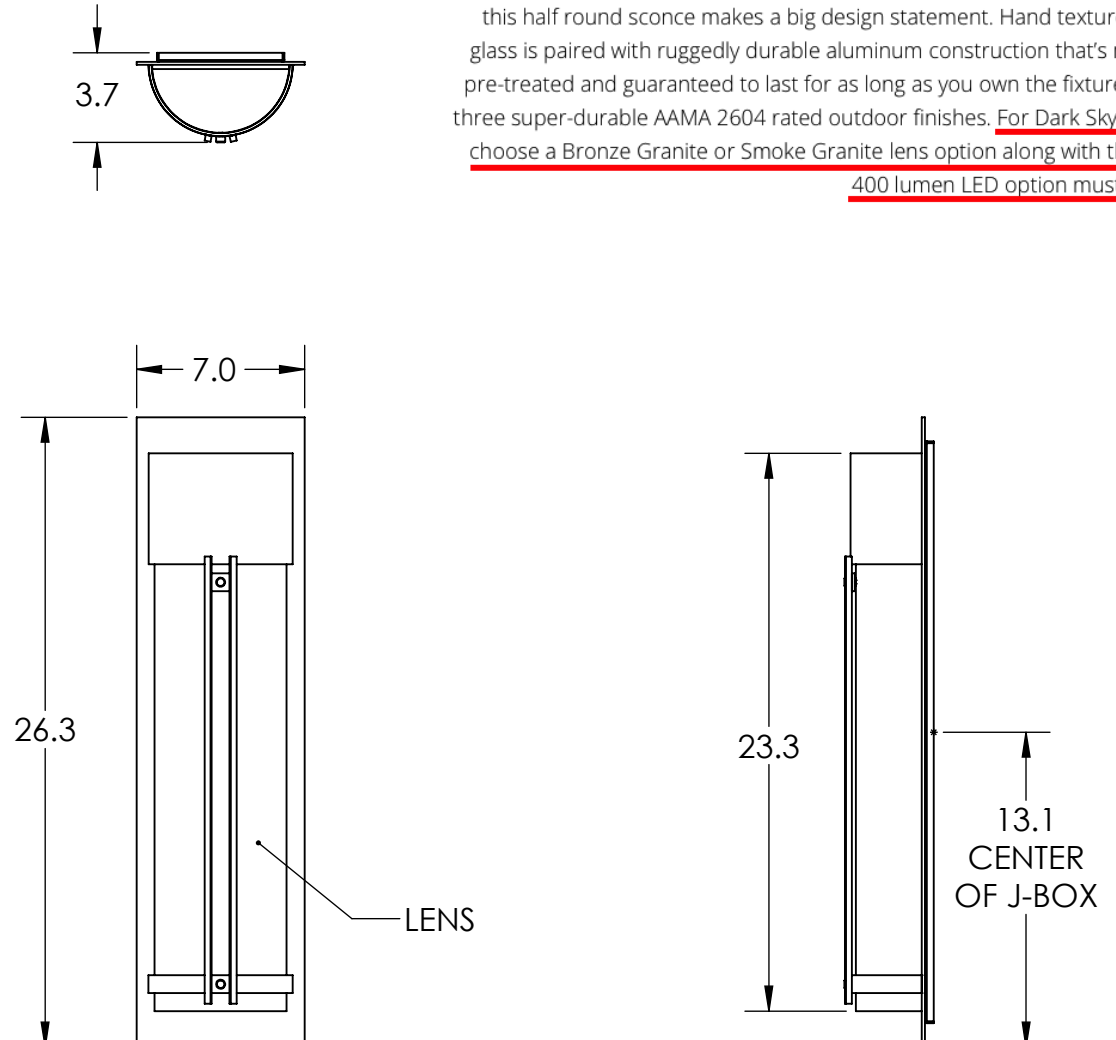
3 TYPE B
SCALE: 1" = 1'-0"

HAMMERTONSTUDIO™

SPECIFICATION DRAWING

Collection: OUTDOOR Product #: ODB0054-26

FOR BEST RESULTS USE A 10°-20° DIRECTIONAL BULB



Two inches wider than our outdoor square cover sconce and with similar options, this half round sconce makes a big design statement. Hand textured, kiln-fused glass is paired with ruggedly durable aluminum construction that's marine-grade pre-treated and guaranteed to last for as long as you own the fixture. Available in three super-durable AAMA 2604 rated outdoor finishes. For Dark Sky applications, choose a Bronze Granite or Smoke Granite lens option along with the integrated 400 lumen LED option must be selected.

Bulbs Not Included Visit hammertonstudio.com for product options and specifications.		12/7/2017 (A)
Mounting Packet: U	Electrical Type: HALOGEN/LED RETRO	<p>MOUNTS DIRECTLY TO J-BOX</p>
Approximate lbs.: 10	Bulb Qty: 1 Bulb Type: MR16	
Finish: SEE WEB SITE FOR OPTIONS	Wattage: 35 Voltage: 120	
Top Diffuser: CLOSED METAL	Socket Type: GU10	
Bottom Diffuser: OPEN	UL Location: WET	

2 TYPE C
SCALE: 1" = 1'-0"



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EXTERIOR LIGHTING

8/4/20

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