



CITY OF KETCHUM, IDAHO
CITY COUNCIL - START TIME UPON CONCLUSION OF *SPECIAL JOINT MEETING* WITH
PLANNING AND ZONING COMMISSION
Monday, February 03, 2025, 5:00 PM
191 5th Street West, Ketchum, Idaho 83340

AGENDA

PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

We welcome you to watch Council Meetings via live stream.

You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

- Join us via Zoom (*please mute your device until called upon*)

Join the Webinar: <https://ketchumidaho-org.zoom.us/j/86860901748>

Webinar ID:868 6090 1748

- Address the Council in person at City Hall.
- Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*)

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER: By Mayor Neil Bradshaw

ROLL CALL: Pursuant to Idaho Code Section 74-204(4), all agenda items are action items, and a vote may be taken on these items.

COMMUNICATIONS FROM MAYOR AND COUNCILORS:

1. Public Comments submitted

CONSENT AGENDA:

ALL ACTION ITEMS - The Council is asked to approve the following listed items by a single vote, except for any items that a Councilmember asks to be removed from the Consent Agenda and considered separately.

2. Recommendation to approve minutes of January 21, 2025 - City Clerk Trent Donat
3. Authorization and approval of the payroll register - Finance Director Brent Davis
4. Authorization and approval of the disbursement of funds from the City's treasury for the payment of bills - Finance Director Brent Davis
5. Recommendation to approve change orders to Purchase Order 24073 with Record Steel and Construction, Inc. for Aeration Upgrades and Construction Services - Wastewater Division Supervisor Mick Mummert

- [6.](#) Recommendation to approve Ownership and Preservation Program Policy Update - Housing Program & Policy Strategist Rian Rooney
- [7.](#) Recommendation to approve Right-of-Way Encroachment Agreement 25945 for placement of pavers in the public right-of-way on Broadway Blvd - City Engineer Robyn Mattison
- [8.](#) Recommendation to approve Right-of-Way Encroachment Agreement 25950 for placement of pavers and snowmelt in the public right-of-way on Hillside Drive - City Engineer Robyn Mattison
- [9.](#) Recommendation to approve Purchase Order 25071 for the direct purchase of plantings for Warm Springs Preserve Restoration - Senior Project Manager Ben Whipple
- [10.](#) Recommendation to approve Bid Award and corresponding Purchase Order 25072 for South of Ketchum Redundant Water Line Project A to Canyon Excavation LLC - Senior Project Manager Ben Whipple
- [11.](#) Recommendation to approve Bid Award and corresponding Purchase Order 25073 for South of Ketchum Redundant Water Line Project B to Canyon Excavation LLC - Senior Project Manager Ben Whipple
- [12.](#) Approval of Resolution 25-006 appointing Rebecca Larson to the Ketchum Arts Commission - Community Engagement Manager Daniel Hansen
- [13.](#) Recommendation to approve a Memorandum of Understanding 25-001 with Idaho Department of Transportation for Highway 75 Rehabilitation Project (Elkhorn to River Street - City Administrator Jade Riley

PUBLIC HEARING:

- [14.](#) Recommendation to hold Budget Public Hearing for FY 2025 Amended Budget Ordinance and 1st, 2nd and 3rd Reading of Ordinance 1258 - Finance Director Brent Davis

EXECUTIVE SESSION:

15. Idaho Code 74-206(1)(c) - To acquire an interest in real property not owned by a public agency.

ADJOURNMENT:

Cyndy King

From: HP Boyle <boylehp@yahoo.com>
Sent: Wednesday, January 22, 2025 6:24 AM
To: Participate
Cc: jwestcott@mtexpress.com
Subject: PUBLIC COMMENT for P&Z and City Council on Comp Plan Tool

To the P&Z and City Council:

Over the years, I have made several written and oral public comments suggesting that the City use 3D mapping tools in the Planning process. A 3D model of the City and its land use map would help the Planning Department provide more information to the P&Z, the Council, and the public about the implications of land use decisions.

One P&Z commissioner at last week's Open House told me that these models are too expensive for Ketchum to acquire. I offered to raise the money to pay for it.

But I don't need to. I have been gas-lighted.

These tools are cheap and well within the means of Ketchum and are widely used by other similarly sized towns. From ChatGPT, we learn it's just a couple of thousand dollars.

Why does the City operate like this? There is a pattern of willful ignorance about using data and analysis to make informed decisions. For example, we spend tens of millions of dollars on housing with no information on what housing we need—we could be buying cell phone data. If SVED can afford that, the City can. Likewise, we are paying \$34+ million to upgrade the water treatment facility and increase its capacity for future growth. However, no analysis of future water use was presented to the Council. Ironically, when the plant was built forty years ago, before the internet or Excel, our planners designed the plant with a capacity based on the need for every lot to be built to its maximum density.

Now, the staff is proposing a Comp Plan that will massively increase density in Ketchum with a cute little map tool that distracts from the real impact of the Plan.

Get the data. Buy the tool. Do the analysis. Be transparent with the public. Proactively seek out and incorporate statistically representative public input.

Isn't that what you are supposed to be doing? It's not that hard.

Perry Boyle
Ketchum

:

Here are three widely used tools you could consider:

1. SketchUp (with PlaceMaker Extension)

Why Use It: SketchUp is a user-friendly 3D modeling tool that allows you to create detailed land use plans and zoning maps. The PlaceMaker extension integrates GIS data to help visualize roads, buildings, and natural features, making it ideal for urban planning.

Key Features:

Import satellite imagery and terrain.

Simulate building height, setbacks, and shadows.
Collaborate and share 3D models with stakeholders.
Offers a subscription model at approximately \$299 per year.
Ideal For: Small towns needing an accessible and cost-effective tool.

2. ArcGIS Urban

Why Use It: ArcGIS Urban is a powerful 3D planning tool specifically designed for city planning. It allows you to visualize zoning scenarios and evaluate their impacts on land use, housing, and infrastructure.

Key Features:

Integrates GIS data for precise analysis.

Scenario modeling for zoning changes.

Community engagement features for public feedback.

Ideal For: Towns requiring detailed GIS-based planning and analytics.

ArcGIS Urban is an add-on to ArcGIS Online or ArcGIS Enterprise subscriptions.

3. CityEngine (by Esri)

Why Use It: CityEngine excels in creating procedural 3D models of urban environments. It helps generate large-scale city models quickly, making it perfect for zoning and land use planning.

Key Features:

Generate entire towns or neighborhoods procedurally.

Test zoning scenarios and design alternatives.

Compatible with ArcGIS for data integration.

Ideal For: Comprehensive 3D planning and visualization projects.

ArcGIS CityEngine is priced at approximately \$2,700 per year in the United States

Cyndy King

From: James Hungelmann <jim.hungelmann@gmail.com>
Sent: Tuesday, January 21, 2025 11:09 PM
To: Neil Bradshaw; Amanda Breen; Courtney Hamilton; Spencer Cordovano; Tripp Hutchinson; Participate; Neil Morrow; Brenda Moczygemba; Tim Carter; Matthew McGraw; Susan Passovoy; Suzanne Frick
Subject: PUBLIC COMMENT - OPPOSITION TO KETCHUM DRAFT COMPREHENSIVE PLAN

For the record of the Ketchum City Council, the Ketchum Planning and Zoning Commission, and KURA

OPPOSITION TO DRAFT COMPREHENSIVE PLAN

I submit the following objections to the proposed comprehensive plan:

1. Misrepresentation in "Cohesive Ketchum"

The term “Cohesive Ketchum” is a gross misnomer, because, as pointed out by the local newspaper, the process of developing and rolling out the plan and presenting it to the public has been a “travesty”, lacking transparency and participation of the public in an orderly manner consistent with responsible city governance. It is not reasonable for city officials to propose something this grandiose at the holiday season time of year when people have no time to give meaningful review and submit feedback.

2. Excessive and Unnecessary Scope

Most importantly, the proposed draft plan, while all fine and glossy, is wildly excessive to what we want in Ketchum. In fact, only the first two sentences of the vision statement hold any merit:

“We aspire to be an authentic mountain community with world-class character, yet small-town feel. We see our community as one with a high quality of life for a local, year-round population and a visiting population.”

The rest of the 151 pages is nothing but platitudes, pontifications, and proposed shenanigans, which most of the Ketchum public does not want: So, a waste of time and money.

3. Legal and Practical Risks of Comprehensive Plans

It's important to understand that a comprehensive plan like this, while having no legally binding significance, can create legal and other problems for the city. The plan purports to lock us into long-term strategies that may well become outdated or irrelevant as circumstances, priorities, and economic conditions change. A comprehensive plan can expose the city to lawsuits if decisions perceived as inconsistent with the plan are challenged by developers, property owners, or other stakeholders. By contrast, incremental, issue-specific

planning and decision-making allow for more adaptive and targeted solutions without the burdens of an overarching plan.

Moreover, a plan like this can be used by local government to illegally bootstrap its way to rezoning, which is exactly what's proposed in this plan, a serious Densification of Ketchum.

4. Densification Threatens Community Character

Densification as proposed in the Plan would dramatically change the character of the small town mountain community that Ketchum residents treasure and seek to maintain.

Ketchum is one of the most pristine and desirable places to live in the world. The quality of life is unparalleled and priceless. What we have here is unlike virtually every other resort-oriented area that has scrambled for economic growth and has ended up in a scrambled pile of bodies pushing and shoving, with gnashing of teeth all around. We do not want to be Aspen, Vail, Park Cit, or Tahoe – all of them are overrun, with higher crime and housing problems exacerbated, not alleviated, and higher taxes, pushing locals out.

The 3000 residents of Ketchum are akin to shareholders. We have the right to control our future including the right not to facilitate a grand inflow of people. We don't want to subsidize anything or anyone thinking about coming here that would not only erode quality of life but also unfairly pressure and create economic hardship for our existing workforce and businesses who have made their way here the old-fashioned way.

Densification also often prioritizes high-end or market-rate housing, which does not cater to the income levels of essential workers like teachers, healthcare providers, and service industry employees. Higher-density developments tend to drive up property values, and taxes, displacing long-term residents or low-income populations.

The many issues around densification must be fully aired in the city P&Z process, with involvement of all residents in areas affected by proposed densified rezoning.

5. Failures in Affordable Housing Strategy

The city's approach to affordable housing as currently pursued and as laid out in this draft plan is a failure and economic disaster. Bluebird is the most expensive "affordable housing" project ever pursued, consisting of dungeon quarters built in prime location representing a massive opportunity cost to the city. And yet The Wrecking Crew (city council) is planning more of the same – can't happen. Stumbled incompetence with economic ruination must be halted.

Rather than building more harebrained projects downtown as this plan contemplates, with huge ongoing costs of administration in the city department of housing, etc., the right thing to do is to end or dramatically limit city involvement in housing, shedding bloated overhead – and to encourage the development of affordable housing projects down valley where there is more space and lower cost.

The "affordable housing" economic and eyesore ruination of downtown Ketchum must be halted immediately.

6. Short-Term Rentals and Housing Scarcity

City Council intermeddling by allowing Airbnb-type short term rentals in residentially zoned areas has been a major driver of the perceived shortage of affordable housing in Ketchum.

Many property owners have converted long-term rental units into more lucrative short-term rentals. This reduces the availability of housing for locals, particularly for working-class families and essential workers. The artificial scarcity created by short-term rentals drives up demand for remaining housing, further exacerbating affordability issues. Prices no longer reflect demand for traditional residential use but rather for profit-driven short-term stays. This makes neighborhoods less appealing for families and long-term residents, indirectly driving them away and further reducing affordable housing options.

Eliminating STRs in residential areas would significantly alleviate the housing shortage.

7. KURA and Illegal Urban Renewal Practices

Major Capital investment projects of the city must be determined by the voting residents and not by KURA. KURA is a wildly illegal entity – never have there existed “blight conditions” anywhere in Ketchum warranting the existence of an urban renewal agency and yet the city council and KURA members persist with their shenanigans, illegally stomping on the rights of the citizenry at large to control our own destiny as mandated by Idaho Constitution and law.

Conclusion

This draft plan is flawed in both substance and process. I urge its rejection and call for an immediate end to this expensive and counterproductive ‘comprehensive planning’ process.

Thank you.

Cyndy King

From: Julie Hairston <aspenpartnersidaho@gmail.com>
Sent: Tuesday, January 21, 2025 8:24 PM
To: Participate
Subject: Ketchum Comp Plan-NO, NO, NO!!!!!!

Here are my takeaways after attending the open house last Wednesday. I vehemently oppose this obscene and unnecessary push by the Mayor and his officials.

1. This radical rezoning plan is for developers and tourists. It is NOT for locals. We will have high rises 3-6 stories high in our beloved town. We will turn into a soulless Aspen or Park City culture with AirBNB condos dominating.
2. The collective attitude and sentiment of the attendees of the meeting were overwhelmingly against this drastic new plan. We were there for almost 1.5 hours and did not meet one attendee who was happy about this. Many were very upset because they know what it will mean to our funky, small town culture. I can tell you, It has already changed so much since I graduated WRHS in 1990. I don't want to see it transformed for the benefit of developers and hoards of tourists who want to visit their SV condo for a month of the year and rent it out the remaining 11 months. This is not about low cost community housing as the city officials are claiming! Not to mention the traffic this will create will be unbearable. Let them do that in Vale, Aspen or Park City. Not here.
3. The one way streets, clogged hiking trails, endless condo infill and traffic are many of the reasons we left Boise. We raised our children there when it had a safe, small town feel. It changed for the worse. The quality of life has degraded under Mayor Mclean. I see many parallels to Mayor Bradshaw and his hell bent intent on changing our valley, which is in opposition to public opinion.

Cyndy King

From: Bronwyn Patterson <bbpatters@yahoo.com>
Sent: Tuesday, January 21, 2025 2:59 PM
Subject: Public Comment Re: Bike/Ped Pilot Program
Attachments: Bike-Ped Public Comment Jan. 21st.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hello!

Attached please find public comment from KBAC on the proposed bike/ped pilot program.

Thank you and have a great evening!

Bronwyn Nickel

Ketchum Business Advisory Coalition
Public Comment on Bike/Ped Pilot Program
Jan. 21st, 2025

The Ketchum Business Advisory Coalition, representing over 110 local businesses and community members, does not believe they currently have the necessary information or understanding needed to make an informed decision about the City of Ketchum's proposed Bike/Ped Master Plan as a whole, but related specifically to the **pilot** program being considered for Summer 2025. . . We have the following questions and concerns:

- What would be the cost of a 'pilot' project? And if the pilot project proved to be unsuccessful, what would the cost be to return all of the affected streets back to their original configuration?
- As a pilot project, how would it be monitored and evaluated?
- Who would assess and evaluate the impacts of a pilot project, and what experience does that team have with bike/ped plans, one-way streets, winter maintenance and so forth, in smaller, seasonal, mountain resort communities?
- How would a pilot program impact the delivery of goods and services needed by residents and businesses?
- What specific parking places would be eliminated, moved, or otherwise changed? How would residents and businesses be consulted-with, regarding any parking changes, **before** any changes were implemented?
- How would any proposed parking changes fit into the City's long-term Parking Management Plan?
- Given that there would supposedly be 'no net loss of parking', where and how would the parking places that are removed from Leadville, Fourth and Washington streets be created and replaced somewhere else? And what would the cost be of creating this new parking?
- Is Summer 2025 really the right time to initiate a pilot program, given the construction projects that are already planned for this summer? These projects include but are not limited to:

1. Main Street phases 4 & 5 - <https://www.projectketchum.org/main-street/> scheduled for April -October 2025

- **Phase 4: 4th Street-6th Street - April to July 2025:** (updated October 24, 2024)
Includes roadway closures for demolition, foundation, and paving, as well as intermittent sidewalk closures for demolition, infrastructure, and paver installation
- **Phase 5: 6th Street-10th Street - September through mid-October 2025** (updated October 20, 2024)
Includes roadway closures for demolition, foundation, and paving, as well as intermittent sidewalk closures for demolition, infrastructure, and paver installation

2. Idaho Transportation Department work between Elkhorn Road and River Street - Work is scheduled for summer 2025. <https://itdprojects.idaho.gov/pages/idaho75>

3. ITD Trail Creek Bridge replacement and HWY 75 closure – <https://www.ketchumidaho.org/planning-building/project/trail-creek-bridge-streambank-alteration-hwy-75-crossing-trail-creek-0>

4. Ongoing construction of the hotel at the south end of town - Work to continue throughout summer 2025

5. Possible development of the parking lot at 1st & Washington - Could begin as early as Spring 2025

As of now, the city has not provided either a Summer 2025 parking management or a traffic-flow plan to deal with the above construction projects. The city **did** however, cite a study claiming there was '*no or minimal negative impact to businesses with the creation of one-way streets*'. This November 2020 report called "[Economic Impacts on Local Businesses of Investments in Bicycle and Pedestrian Infrastructure: A Review of the Evidence](#)" looked at 23 studies of cities throughout North America,

including Toronto, San Francisco, Oakland, Portland, Memphis, New York, Seattle, Denver, etc. (the full list can be seen within the study itself) that reviewed one way traffic streets, which in some cases were created to facilitate bicycle and pedestrian-friendly infrastructure. Is it appropriate for the city to use a study that looked at cities with populations of between 91,000 and 8.8 million, as part of the decision-making process for Ketchum, which has population of 3,555 full-time residents, and a seasonal economy?

Residents and businesses continue to feel the real impacts from the Summer 2024 Main Street construction and the subsequent loss of parking. Ketchum businesses may not be able to survive yet another summer with the amount of construction the city is proposing in such a short period of time. **Chapter One Bookstore**, a 50-year old community touchstone, a business that employed hundreds of people over decades, a business that supported local non-profits, paid taxes, created events and served as a gathering space for the community, was forced to close in the winter of 2024 as a direct result of the lack of customer access caused by the summer 2024 Main Street and 2nd Street construction. Several more businesses have said they will not be able to remain open through yet another season of disruption. Summer 2025 may be the last straw for many of our friends, neighbors and community members who will find they are no longer able to live and/or continue to operate their businesses in Ketchum.

We cannot say this loud enough. . . The policies and decisions City leaders are making regarding more development, more density & more construction, so often resulting in less access and parking, have a direct, real, and extremely negative impact on the ability to live and do business in Ketchum.

The Ketchum Business Advisory Coalition feels strongly that Summer-2025 is not the right time to conduct a pilot program that would yet again disrupt access and parking for residents and businesses. Furthermore, a pilot program this summer could not possibly provide accurate or useful information, given the huge amount of construction and disruption that is already sure to occur. We as a community would be doing a disservice to the very important bike/ped plan by trying to squeeze it in when so much other disruptive work is happening throughout town.

KBAC Recommendation:

Postpone the bike/ped pilot program to 2026 to:

- Allow proper planning and community assessment
- Avoid conflicting with major construction projects
- Enable accurate program evaluation without interference from other disruptions
- Obtain specific answers to all raised concerns

KBAC Board of Directors:

Bronwyn Nickel
Holly Mora
Pete Prekeges
Julie Johnson
Scott Curtis
Cindy Forgeon
Roger Roland
Duffy Witmer
Tom Nickel
Jed Gray
Dillon Witmer
Amy Weyler

Cyndy King

From: Leigh Barer <Leigh@barercom.com>
Sent: Tuesday, January 21, 2025 2:53 PM
To: Participate; Morgan Landers
Cc: Leigh Barer
Subject: Draft Comprehensive Plan Update: KEEP NORTH WS PROPERTY LOW-DENSITY RESIDENTIAL

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Morgan,

We met at the Jan. 15 open house. Thank you for your time. I am writing today to reiterate my strong opposition to the Draft Comprehensive Plan Update: Chapter IV Map, which proposes to change the 25-acre SCHERNTANNER ACRES SUB from it's current status as low-density residential district to a high-density residential district Again, this is the 25-acre SCHERNTHANNER ACRES SUB, LOT 2 BLK 1, RPK05170000020:

Again, I strongly oppose the plan's suggestion to update this land to high-density residential (HDR) and believe it should remain as a low-density residential (LDR) district. Updating it to HDR would dramatically negatively impact the character and property values, wildlife, traffic, and pollution of Warm Springs. The land is designated as low-density for several reasons and should remain low-density residential:

-LDR remains consistent with all residential properties on the north side of Warm Springs Road.

-LDR purpose is to identify and preserve residential properties, prevent overcrowding of land, and preserve natural features and openness.

- changing to HDR will be detrimental to the value and character of Warm Springs residential properties -- traffic, noise, and light pollution will affect the entire area. We already have experienced increased traffic, noise and light pollution with the development of the former dog park area in the last year.

-HDR would negatively impact on wildlife as the land has been preserved as a wildlife reserve for many years. Deer, elk and an occasional moose live on the property and travel to Warm Springs Creek and the Big Wood River.

Thank you,

Leigh

Leigh K. Barer
The Fields at Warm Springs Condominium Owner
E: leigh@barercom.com

Cyndy King

From: D Bruce Johnsen <dbjohnsen@5bgazette.com>
Sent: Tuesday, January 21, 2025 2:52 PM
To: Participate
Cc: Sarah Lurie; Raiza Giorgi
Subject: Comment on Draft Ketchum Comprehensive Plan

Follow Up Flag: Follow up
Flag Status: Flagged

January 21, 2025

Dear City of Ketchum:

I write to provide comments on the 2025 *Cohesive Ketchum Comprehensive Plan*. Please consider the following points:

How many functions can the City of Ketchum perform before it becomes impossible for its citizens to effectively monitor elected officials and their administrative staff? Nowhere in the document do I see any discussion regarding the legitimate role or proper limits of municipal government. The final *Plan* should address this and self-evaluate each strategy or proposal accordingly.

I see that Clarion Associates and Economic Planning Systems consulted in creating the *Plan*. But I am surprised to see no mention of how much the City paid them in consulting fees, nor any mention of possible conflicts of interest in retaining them. For the sake of transparency, a brief statement of fees and a disclaimer of conflicts should appear prominently at the beginning of the final *Plan*.

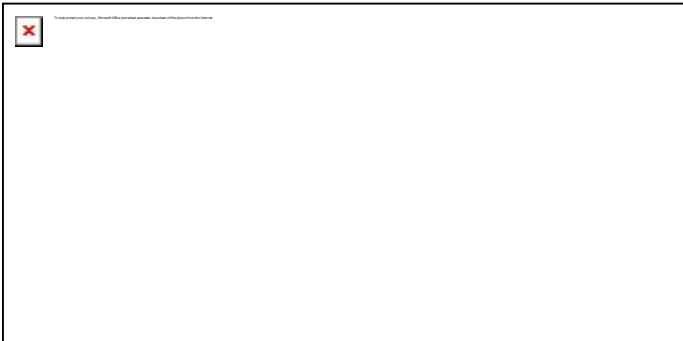
The portion of the *Plan* titled DIVERSE COMMUNITY HOUSING OPTIONS states that “With housing and land prices expected to grow and wages expected to remain relatively constant, Ketchum must continue to pursue a variety of strategies to expand affordable, workforce, and

community housing options.” Yet whenever I have suggested HUD’s Section 8 *Housing Choice Voucher Program* as a solution at City of Ketchum events and in private conversations with City officials, I’ve heard no explanation for why the City has repeatedly ignored it. Perhaps there are very good reasons. In the interest of transparency, however, the citizens of Ketchum should be informed of the possibility and viability of a Section 8 (or other) voucher program and be given a good explanation why it is inferior to the government orchestrated solutions to which the draft *Plan* alludes.

On page 38, the typo “Local and Regional Partners Hips” should be corrected.

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Cordially,
D. Bruce Johnsen
Editor: Law, Economics, and Politics
Professor Emeritus of Law
Antonin Scalia Law School



Cyndy King

From: Bronwyn Patterson <bbpatters@yahoo.com>
Sent: Tuesday, January 21, 2025 11:07 AM
To: Morgan Landers; Daniel Hansen; Participate
Subject: KBAC Comments on Comp Plan
Attachments: Comp Plan Comments Final Jan. 21st, 2025.pdf

Good Morning!

Attached please find comments from KBAC on the comp plan.

Thank you-stay warm out there today!
Bronwyn Nickel

Summary of Comp Plan

KBAC is a group of 100+ business owners, business professionals, and residents across Ketchum and Sun Valley. We are the voice of business owners, employees, customers and residents. We aim to provide a balanced view to preserve the uniqueness of Ketchum and the long-term viability of the town we all call home. Below are KBAC's comments on the Comprehensive Plan.

Background & Overview

- Time Period: Plan extends through 2040
- Type: Public Draft from November 2024
- Purpose: Guide city development, growth, and policy decisions
- Location: Ketchum, Idaho - mountain resort town in Wood River Valley

Key Demographics & Current State

- Population (2023): 3,553 residents
- Median Age: 51.3 years (increased by 10 years since 2010)
- Employment: 5,000 jobs (34% of Blaine County jobs)
- Workforce Housing: Only 9% of workforce lives in Ketchum
- Tourism Impact: ~45% of jobs are tourism-related

CORE VALUES & PRIORITIES

Each core value has specific implementation strategies and metrics for success, with both short-term (1-2 years) and mid-term (3-4 years) actions identified in the plan. The success of these initiatives relies heavily on collaboration between city departments, regional partners, and community stakeholders.

1. CONNECTED TRANSPORTATION NETWORK

Key Elements:

- Multimodal transit system integrating vehicles, bikes, pedestrians, and public transit
- Regional collaboration with Mountain Rides Transportation Authority
- Focus on "last mile" connections between transit and destinations

Major Challenges:

- Only 9% of workforce lives in Ketchum, creating heavy commuter traffic
- Right-of-way constraints limiting infrastructure expansion
- Severe weather conditions affecting transportation 6 months per year
- Limited funding for improvements

Key Actions:

- Implement Vision Zero policy for safety
- Enhance bicycle/pedestrian facilities
- Expand electric vehicle infrastructure
- Improve regional transit connections
- Develop transportation demand management strategies

KBAC Comments:

Ketchum is a transient town, and residents, tourists, and workers come and go nearly always via car. There is support for a bicycle/pedestrian safety and access, but not at the expense of traffic flow, parking access, and convenient access to local businesses.

2. DISTINCTIVE BUILT & NATURAL ENVIRONMENT

Key Elements:

- Protection of mountain vistas and scenic views
- Historic preservation efforts
- Mountain town character preservation
- Dark sky protection

Major Challenges:

- 20% of historic buildings lost in past decade
- Balancing development with character preservation
- Protecting community gateways
- Managing modern architectural trends

Key Actions:

- Strengthen historic preservation tools
- Develop design guidelines
- Protect hillsides and natural features
- Enhance community separators
- Underground utility lines where possible

KBAC Comments:

KBAC is a strong proponent of focusing on preservation and responsible, managed growth vs prioritizing developer growth objectives. We need unambiguous build and design guidelines committed to historical and view preservation. Allowing developers to receive waivers indicates they are more important than the local businesses and residents. We must stop this practice if we are honestly committed to what the community asks for - a local, small mountain-town feel with distinctive neighborhoods. Right now, the developer's voice and money take priority over the community's voice. Preservation and thoughtful consideration when any development is considered. Does it fit the zoning requirements/restrictions? Does it align with the goals outlined in the plan - preservation of history and culture, small mountain town feel? The City has acknowledged the loose P&Z guidelines, and the City, community, business owners, residents, and tourists have all spoken for a focus on the history and feel of Ketchum. We support prioritizing this and backing it up with clear, tight P&Z guidelines focused on reinforcing the small, mountain-town character, protecting views, preservation, and increasing awareness.

3. DIVERSE COMMUNITY HOUSING OPTIONS

Key Elements:

- Affordable housing initiatives
- Mix of housing types and sizes
- Community housing programs
- Housing preservation strategies

Major Challenges:

- Median home price over \$1.6 million
- Limited land availability
- High percentage of second homes
- Loss of long-term rental units

Key Actions:

- Expand community housing programs
- Preserve naturally occurring affordable housing
- Create housing incentives
- Develop new funding sources
- Partner with regional housing organizations

KBAC Comments:

KBAC understands that Ketchum has a workforce shortage due, in part, to has a housing market that has allowed the tourism industry to become the priority. The business and workforce community would benefit from a semi-annual basis about our employee needs, and what housing solutions would address worker shortage, as well as employee needs to create labor force resilience.

4. EXCEPTIONAL RECREATIONAL OPPORTUNITIES

Key Elements:

- Trail system maintenance and expansion
- Park and recreation facility improvements
- Access to public lands
- Year-round recreational programming

Major Challenges:

- Limited funding for facility maintenance
- High land costs for new facilities
- Access point preservation
- Programming limitations

Key Actions:

- Upgrade existing facilities
- Expand recreation programs
- Improve trail connectivity
- Enhance river access

- Develop new recreation amenities

KBAC Comments:

KBAC is supportive of funding for parks and recreational programming. Blaine County is lucky to have access to exceptional public lands and trails systems. Rather than put towards funding towards new recreation and trail amenities, KBAC suggest budget priorities focus on existing facilities and expanding program access to the community.

5. LIVELY ARTS & CULTURE SCENE

Key Elements:

- Public art initiatives
- Cultural events and festivals
- Performance venues
- Arts organization support

Major Challenges:

- Sustainable funding needs
- Marketing visibility
- Event space limitations
- Program coordination

Key Actions:

- Expand cultural facilities
- Increase arts funding
- Enhance marketing efforts
- Support public art installations
- Develop new event spaces

KBAC Comments

Ketchum has a world class art scene and community, and KBAC is supportive of arts initiatives, cultural events and festivals. KBAC would encourage the City to partner with existing art non-profits organizations rather than creating new events or cultural facilities in order to meet other budgetary priorities.

6. RESPONSIBLE STEWARDSHIP OF NATURAL RESOURCES

Key Elements:

- Environmental protection
- Water resource management
- Energy efficiency
- Waste reduction

Major Challenges:

- Development impacts on natural areas

- Limited recycling options
- Energy system vulnerability
- Cost of renewable technologies

Key Actions:

- Implement sustainability practices
- Promote renewable energy
- Enhance water conservation
- Expand recycling programs
- Protect wildlife habitat

KBAC Comments

We support and agree with these goals and objectives. The surrounding mountains and natural resources are an integral component of the high quality of life Ketchum offers. Our community has opportunities to increase sustainable actions by partnering with existing organizations and other municipalities.

7. SAFE & HEALTHY COMMUNITY

Key Elements:

- Emergency services
- Natural hazard mitigation
- Public health initiatives
- Mental health support

Major Challenges:

- Emergency service capacity
- Natural disaster risks
- Healthcare access
- Childcare availability

Key Actions:

- Improve emergency response
- Develop evacuation plans
- Expand health services
- Enhance public safety
- Support mental health initiatives

KBAC Comments

This goal is challenging to grasp completely. Housing, mental health, hazard mitigation, design guidelines, emergency preparedness, childcare, etc. This reads like a catch-all for various goals versus aligning these programs/ideas with the other goals. KBAC recognizes the needs and agrees that emergency preparedness for fire, flood, power grid, pandemics, etc, remains a concern, especially as we view the devastating southern CA wildfires. A county-wide, multi-agency approach would be welcomed, especially since Ketchum is now outsourcing some of

these agencies and work. The City could further these (and other) efforts by committing to a county-wide approach, partnering, and working across all cities and agencies. That seems like a more attainable and understandable goal.

8. STRONG & DIVERSE ECONOMY

Key Elements:

- Economic diversification
- Tourism management
- Local business support
- Workforce development

Major Challenges:

- Tourism dependence
- Workforce housing
- Geographic isolation
- Seasonal fluctuations

Key Actions:

- Support local businesses
- Attract diverse industries
- Enhance tourism management
- Develop workforce programs
- Improve air service

KBAC Comments

KBAC believes there needs to be a commitment from the City on supporting existing businesses as opposed to an emphasis on attracting new businesses. We don't see action items by the City on listed key elements.

9. TRANSPARENT & COLLABORATIVE GOVERNANCE

Key Elements:

- Public engagement
- Regional cooperation
- Clear communication
- Efficient services

Major Challenges:

- Technology adaptation
- Public participation barriers
- Budget constraints
- Regional coordination

Key Actions:

- Enhance communication methods

- Improve public participation
- Strengthen partnerships
- Update technology systems
- Streamline services

KBAC Comments

These elements are not in line with current City policies and practices. KBAC would like to see the City have consent and agreement with the public prior to conducting studies and engaging consultants on projects. Public meetings are held during the workday, prohibiting business owners and employees from engaging with the government process. Public comment is often not allowed during public meetings, and written public comment is rarely responded to. We would like to see a stronger partnership between the City and business community.

10. VIBRANT DOWNTOWN

Key Elements:

- Mixed-use development
- Historic preservation
- Public spaces
- Retail core preservation

Major Challenges:

- Parking management
- Development pressure
- Character preservation
- Housing integration

Key Actions:

- Implement parking solutions
- Enhance public spaces
- Preserve historic buildings
- Balance development
- Support local businesses

KBAC Comments:

Local businesses are a significant part of the “symbolic heart and soul of the City” and “economic engine”. Ketchum has an existing vibrant downtown with restaurants, bars, retail, performing arts spaces, events, parades, commerce, and residences. To keep that vibrancy, businesses need partnership from the City on convenient access, character/historical preservation, and clear development guidelines that recognize the impact this development has on existing businesses.

KBAC Comp Plan Subcommittee:

Julie Johnson

Perry Boyle

Amy Wyler

Beth Chiodo

Ned Burns

Bronwyn Nickel

Kevin Livingstone

Tom Nickel

Cyndy King

From: Emily Johnstone <thejohnstones5@me.com>
Sent: Wednesday, January 15, 2025 9:37 PM
To: Participate
Subject: Draft Comp Plan

The plan makes no sense and set the stage for developers to create a community like overcrowded Vail where too much traffic, too many people are driving out locals - a complete disgrace by the current Mayor.

The plan to build large apartment complexes in Warm Springs must be hanged - this only enriches developers (I.e. donors to Bradshaw) and does it help the community. The affordable house is not serving locals - they are above the median for these units - but rather people who come in to qualify and are not working people. All on the backs of taxpayers

The Council should nix this plan and listen to residents.

Emily Johnstone
161 Simpson Dr
Ketchum
415.640.5204

Cyndy King

From: Jeff Oak <jeff.oak11@gmail.com>
Sent: Wednesday, January 15, 2025 8:05 PM
To: Participate
Subject: Draft Comprehensive Plan

The comprehensive plan before us appears to be rooted in growth estimates provided by consultants, with the intention of preparing for a future population that is not here yet. But I ask, do we really need to upend our town—altering its character and increasing density—to accommodate a hypothetical future? What if, instead, we focused on preserving the unique small-town charm that makes this community so special?

I live in Warm Springs, a neighborhood that has thrived for decades under zoning regulations designed to protect its character and livability. Now, this plan proposes to change our area to a high-density zone. But what about the people who already live here? Our neighborhood isn't just a blank slate; it's a community built on decades of investment, care, and shared values.

Zoning isn't just a tool for shaping future development—it's also a promise to the residents who have already chosen to call this town home. It's a commitment to maintaining the integrity of the neighborhoods we've worked hard to build and sustain. Changing zoning to accommodate an influx of future residents, while disregarding the stability and expectations of current ones, feels unfair.

Let's not lose sight of what makes this town special: its people, its character, and its history. Growth is inevitable, but it should be thoughtful and respectful. We should focus on enhancing what we already have, preserving the small-town feel, and protecting the rights of those who have built their lives here.

This isn't just about accommodating growth; it's about ensuring that the decisions we make today reflect the values and vision of the community we are now—and the one we aspire to remain.

Respectfully,

Jeff Oak
3015 Warm Springs Road #C

Cyndy King

From: Juanita young <belespritskin@gmail.com>
Sent: Monday, January 27, 2025 7:49 PM
To: Participate
Subject: one way 4th St.

I strongly oppose the proposal to make 4th Street a one-way street. As a resident at the end of West 4th Street, I fail to understand the necessity of altering the street layout. It would be best to leave the streets as they are. The changes made to Main Street resulted in the closure of several businesses, and those that managed to remain open experienced a significant drop in revenue. Are you attempting to push small businesses out of Ketchum, leaving only corporate entities like Johnny Was and Faherty to thrive? This undermines the concept of supporting local commerce. It appears that there is a concerted effort to undermine the unique character of Ketchum.

Adjusting streets to better accommodate bicycles should be considered in the future, specifically a year from now. I attended the meeting focused on bicycles, but the significant issue regarding electric bikes was overlooked. To begin with, an electric bike essentially functions as a motorcycle, particularly given the manner in which they are operated in this area. They possess two wheels and a motor, which categorizes them as motorcycles, regardless of the appealing term "e-bike." It is essential to regulate electric bikes before making any changes to the street infrastructure.

As a long-time resident, I recognize that certain changes are necessary in Ketchum to accommodate the growing number of individuals choosing to make it their permanent home here. However, it is essential that we preserve the unique charm and character that Ketchum has long been known for.

Cyndy King

From: Carol Klick <carolklick@gmail.com>
Sent: Sunday, January 26, 2025 3:07 PM
To: Participate
Subject: Ketchum Parking

Follow Up Flag: Follow up
Flag Status: Flagged

KURA and City of Ketchum

I want to thank you for your diligence and hard work to improve Ketchum.

However, I believe you are missing very valuable points which I will share with you.

1. Parking - Where are the "in Lieu Funds" collected for years? The city was to build a parking structure, or at least, this is what was said for the last 25 years that I am aware of.

Also on the subject of parking, I wonder why in your studies regarding long term city parking you never address the work force that drives in from south of Ketchum every day to work. The transportation dept quantifies 6000 cars into Ketchum every day and 5000 out of Ketchum in the evening. Last year they endured lengthy drives to and from work as a result of the road work to get here. It's surprising there weren't more Misc II complaints.

True, they don't spend time on your surveys. Most are more interested in getting their jobs done and going home. They need parking more than affordable housing IN THE CORE OF KETCHUM. I say this from the personal experience of working in Ketchum for 49 plus years. I'm already 2 and half blocks from my office. Where will I, or the other workers, park when you take more LT spaces away and make them 2 hr parking.

2. Washington and First project: This will remove more parking, 65 spaces to be replaced by 65 housing units. Isn't the value of parking spaces more valuable than 65 housing units? And the citizens of Ketchum are being asked to pay for this at a price of \$20 million dollars. I can't see the value of building this project when the give up is so highly priced.

3. Forest Service Park: This is a treasure as it is. Not as a housing option for city employees. Please consider the importance of green space in the city. It is used by everyone!

In conclusion, I believe that South valley workers will become irritated and unhappy with your plan to increase the difficulty of working in Ketchum. And will find it more valuable to work in Hailey and Bellevue. I think the new businesses and existing ones will find more value in moving south if their needs are not met.

I'm also wondering why the Bluebird residents without designated parking should trust you when you say parking will be available for them. You didn't honor your promise to use "in Lieu Funds" to build a parking structure. Or do you have a plan to build one?

Thank you for considering my points.



CALL TO ORDER: *(00:00:13 in video)*

Neil Bradshaw called the meeting of the Ketchum City Council to order at 4:00 PM.

ROLL CALL:

Tripp Hutchinson *(via teleconference)*

Amanda Breen

Spencer Cordovano

ABSENT:

Courtney Hamilton

ALSO PRESENT:

Jade Riley—City Administrator *(via teleconference)*

Brent Davis—Director of Finance

Trent Donat—City Clerk & Business Manager

Ben Whipple—Senior Project Manager

Daniel Hansen—Community Engagement Director

Morgan Landers—Planning and Building Director *(via teleconference)*

Carissa Connelly—Housing Director

Rian Rooney—Housing Policy & Program Strategist *(via teleconference)*

Mark Sindell—GGLO

- Neil Bradshaw introduced Morgan Ballis, new Blaine County Sherriff. *(00:00:51 in video)*
- Morgan Ballis addressed the Council and Mayor. *(00:02:28 in video)*
- Council members welcomed Morgan Ballis *(00:04:30 in video)*

COMMUNICATIONS FROM COUNCIL AND STAFF:

Amanda Breen *(00:05:56 in video)*

Neil Bradshaw *(00:07:21 in video)*

Spencer Cordovano *(00:08:05 in video)*

Neil Bradshaw *(00:11:12 in video)*

Spencer Cordovano *(00:12:44 in video)*

CONSENT AGENDA:

Brent Davis commented on item #6 *(00:17:01 in video)*

Motion to approve Consent Agenda items #2-#9. *(00:17:54 in video)*

MOVER: Spencer Cordovano

SECONDER: Amanda Breen

AYES: Tripp Hutchinson, Spencer Cordovano, Amanda Breen

RESULT: ADOPTED

NEW BUSINESS

10. Update on Year One of the Ownership and Preservation Program.
Presented by: Rian Rooney (00:18:07 in video)
Joined by: Daniel Hansen (00:31:27 in video)

Comments, questions and discussion by Council. (00:36:14 in video)
Joined by: Carissa Connelly (00:51:39 in video)

11. Update on FIS World Cup Coordination Plans.
Presented by: Daniel Hansen (00:54:30 in video)

Comments, questions and discussion by Council. (01:04:23 in video)

12. Update on the Downtown Bike Network Study.
Presented by: Mark Sindell (01:10:40 in video)

Comments, questions, and discussion by Council, Ben Whipple, Jade Riley and Neil Bradshaw.
(throughout the presentation)

EXECUTIVE SESSION:

13. Idaho Code 74-206(1)(c) - To acquire an interest in real property not owned by a public agency.
Motion to move into Executive Session per Idaho Code 74-206(1)(c) - To acquire an interest in real property not owned by a public agency. (02:06:55 in video)

MOVER: Amanda Breen

SECONDER: Spencer Cordovano

AYES: Amanda Breen, Tripp Hutchinson, Spencer Cordovano

RESULT: ADOPTED

Neil Bradshaw announced coming out of executive session, where the discussion was in regard to the due diligence regarding the potential purchase of 291 Sun Valley Road, and no action will be taken.
(02:07:20 in video)

ADJOURNMENT:

Motion to adjourn. (02:07:44 in video)

MOVER: Spencer Cordovano

SECONDER: Amanda Breen

AYES: Spencer Cordovano, Tripp Hutchinson, Amanda Breen

RESULT: ADOPTED

Neil Bradshaw, Mayor

ATTEST: _____

Trent Donat, City Clerk

Report Criteria:

Invoices with totals above \$0 included.
 Paid and unpaid invoices included.
 [Report].GL Account Number = "0110000000"- "9700000000", "9910000000"- "9911810000"
 Invoice Detail.Voided = No,Yes

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|--|--------------------|-----------------------|--------------------|
| GENERAL FUND | | | | | |
| ADMINISTRATIVE SERVICES | | | | | |
| 01-4150-3100 OFFICE SUPPLIES & POSTAGE | | | | | |
| CHATEAU DRUG CENTER | 2960712 | VELCRO | 7.58 | | 0 |
| GEM STATE PAPER & SUPPLY | 1134019 | TISSUES, COPY PAPER, HOT CUP LID, TRASH BAGS | 725.96 | | 0 |
| JANE'S ARTIFACTS | 063969 | CALENDARS & POST ITS | 234.76 | | 0 |
| JANE'S ARTIFACTS | 063972 | POST IT PODS | 103.98 | | 0 |
| 01-4150-4200 PROFESSIONAL SERVICES | | | | | |
| CLEARMINDGRAPHICS | 6898 | MONTHLY WEB DESIGN, DEVELOPMENT AND SECURITY UPDATES | 225.00 | | 0 |
| NESTED STRATEGIES | 1247 | NOVEMBER WSP HOURS | 4,375.00 | | 0 |
| NESTED STRATEGIES | 1248 | DECEMBER WSP HOURS | 4,812.50 | | 0 |
| 01-4150-5100 TELEPHONE & COMMUNICATIONS | | | | | |
| CENTURY LINK | 333450155 011 | 333450155 011325 | 82.39 | | 0 |
| 01-4150-5110 COMPUTER NETWORK | | | | | |
| CDW GOVERNMENT, INC. | AC2CK7X | ADOBE GOV ACROBAT | 5,335.15 | | 0 |
| CIVICPLUS LLC | 328229 | MUNICODE PAGES & FREIGHT | 639.66 | | 0 |
| 01-4150-5150 COMMUNICATIONS | | | | | |
| COPY & PRINT, L.L.C. | 3100 | REMIT ENVELOPES | 47.69 | | 0 |
| 01-4150-5200 UTILITIES | | | | | |
| IDAHO POWER | 2203990334 01 | 2203990334 131 E RIVER, 1ST AVE LIGHT CENTER | 152.75 | | 0 |
| IDAHO POWER | 2206570869 01 | 2206570869 171 E RIVER | 11.94 | | 0 |
| IDAHO POWER | 2224128120 01 | 2224128120 191 W 5TH ST | 928.36 | | 0 |
| IDAHO POWER | 2224128120 10 | 2224128120 - 191 W 5TH ST OCTOBER 2024 | 916.70 | | 0 |
| IDAHO POWER | 2260077785 01 | 2260077785 180 E 1ST ST WHSE | 206.22 | | 0 |
| Total ADMINISTRATIVE SERVICES: | | | 18,805.64 | | |

PLANNING & BUILDING

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|--|--------------------|-----------------------|--------------------|
| 01-4170-4220 PROF SVCS-FLOOD PLAIN PROG REM | | | | | |
| HARMONY DESIGN & ENGINEE | 24781 | 18018 KETCHUM SAP REVIEW THROUGH 123124 | 2,815.00 | | 0 |
| Total PLANNING & BUILDING: | | | 2,815.00 | | |
| NON-DEPARTMENTAL | | | | | |
| 01-4193-4200 PROFESSIONAL SERVICE | | | | | |
| SKINNER FAWCETT | 48415 | PROFESSIONAL LEGAL SERVICES FOR DECEMBER | 2,287.50 | | 0 |
| KIMLEY-HORN & ASSOCIATES | 193154000-122 | KETCHUM PAVEMENT MANAGEMENT PHASE 2 | 1,625.00 | 24101 | 0 |
| 01-4193-9930 GENERAL FUND OP. CONTINGENCY | | | | | |
| SNEE, MOLLY | 2502 | MONTHLY RETAINER RATE | 1,000.00 | | 0 |
| Total NON-DEPARTMENTAL: | | | 4,912.50 | | |
| FACILITY MAINTENANCE | | | | | |
| 01-4194-3200 OPERATING SUPPLIES | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-838495 | PARTICULATE RESPIRATOR | 29.99 | | 0 |
| OHIO GULCH TRANSFER STATIO | 00312632 | transfer TICKET | 14.04 | | 0 |
| 01-4194-5200 UTILITIES | | | | | |
| IDAHO POWER | 2203313446011 | 900 NN 3RD AVE RESTROOM | 26.34 | | 0 |
| IDAHO POWER | 2206452274122 | 571 5TH ST & 900 N 3RD | 73.80 | | 0 |
| IDAHO POWER | 2208579470010 | 215 LEWIST ST COMPACTOR | 563.97 | | 0 |
| IDAHO POWER | 2208794558011 | 505 N MAIN ST EV CHARGER | 169.48 | | 0 |
| OHIO GULCH TRANSFER STATIO | 00312294 | WASTE TRANSFER TICKET | 10.00 | | 0 |
| OHIO GULCH TRANSFER STATIO | 00312533 | CHRISTMAS TREE DISPOSAL | 10.00 | | 0 |
| 01-4194-5910 REPAIR & MAINT-491 SV ROAD | | | | | |
| CINTAS | 4217979803 | MATS | 48.85 | | 0 |
| CINTAS | 4218711019 | MATS | 48.85 | | 0 |
| L.L. GREEN'S HARDWARE | B461911 | LIGHTED CORD | 91.98 | | 0 |
| 01-4194-6950 MAINTENANCE | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-835378 | FASTNERS | 3.50 | | 0 |
| A.C. HOUSTON LUMBER CO. | 2501-835557 | BIT HOLDER | 11.99 | | 0 |
| A.C. HOUSTON LUMBER CO. | 2501-838977 | COAT HANGER FOR SHOP BATHROOM | 10.42 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|---|----------------|--|--------------------|-----------------------|--------------------|
| Total FACILITY MAINTENANCE: | | | 1,113.21 | | |
| POLICE | | | | | |
| 01-4210-5100 TELEPHONE & COMMUNICATIONS | | | | | |
| CENTURY LINK | 333466365 011 | 333466365 011325 | 187.04 | | 0 |
| Total POLICE: | | | 187.04 | | |
| FIRE & RESCUE | | | | | |
| 01-4230-2530 EMPLOYEE MEDICAL SERVICES | | | | | |
| EMERGENCY RESPONDERS HEA | 110124 | EXAM INCIDENTALS | 433.00 | | 0 |
| 01-4230-3200 OPERATING SUPPLIES FIRE | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-835113 | FIRE ACADEMY MATERIALS AND SUPPLIES | 107.23 | | 0 |
| CHATEAU DRUG CENTER | 2963223 | AUTO CLEANING CLOTHS | 7.12 | | 0 |
| MUNICIPAL EMERGENCY SERIC | IN2187487 | BATTERIES | 70.18 | | 0 |
| WHITE CLOUD | 97925 | STATION COFFEE | 100.92 | | 0 |
| 01-4230-3210 OPERATING SUPPLIES EMS | | | | | |
| BOUNDTREE MEDICAL | 85631312 | SYRINGES, FLEX ALL, HEAT PACKS, LARYNGOSCOPE BLADES | 640.98 | | 0 |
| BOUNDTREE MEDICAL | 85631313 | COLD PACKS | 52.05 | | 0 |
| BOUNDTREE MEDICAL | 85635232 | FACE MASKS, VACUUM CONNECTORS | 491.37 | | 0 |
| CHATEAU DRUG CENTER | 2961380 | DRY ERASE BOARD | 7.59 | | 0 |
| CHATEAU DRUG CENTER | 2963223 | AUTO CLEANING CLOTHS | 7.12 | | 0 |
| NORCO | 0042663072 | OXYGEN | 191.97 | | 0 |
| MUNICIPAL EMERGENCY SERIC | IN2187487 | BATTERIES | 70.17 | | 0 |
| HENRY SCHEIN | 31082658 | EMS MEDICATION | 259.11 | | 0 |
| WHITE CLOUD | 97925 | STATION COFFEE | 100.92 | | 0 |
| LIGHTHOUSE UNIFORMS INC | A-324541 | JACKET/HAT BADGE | 125.65 | | 0 |
| SNAP HEAT | 0210 | SNAP HEAT FULL BACK | 660.14 | | 0 |
| 01-4230-3500 MOTOR FUELS & LUBRICANTS FIRE | | | | | |
| CHRISTENSEN INC. | CL76962 | 1001221 FIRE CFN | 444.14 | | 0 |
| 01-4230-3510 MOTOR FUELS & LUBRICANTS EMS | | | | | |
| CHRISTENSEN INC. | CL76962 | 1001221 FIRE CFN | 444.14 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|--|--------------------|-----------------------|--------------------|
| 01-4230-4200 PROFESSIONAL SERVICES FIRE | | | | | |
| HONEYWELL INTL. | 5268970666 | G2 Alerting System 2025 fees | 3,573.64 | | 0 |
| 01-4230-4210 PROFESSIONAL SERVICES EMS | | | | | |
| HONEYWELL INTL. | 5268970666 | G2 Alerting System 2025 fees | 3,573.64 | | 0 |
| 01-4230-4930 PUBLIC EDUCATION | | | | | |
| JONES AND BARTLETT PUBLISH | 961279 | EMergency Care Training Courses | 4,869.39 | | 0 |
| 01-4230-5100 TELEPHONE & COMMUNICATION FIRE | | | | | |
| SUN VALLEY COMPANY | 6210 | Mtn. Space Rental | 1,378.42 | | 0 |
| SUN VALLEY COMPANY | 6245 | Mtn. Space Rental | 116.87 | | 0 |
| CENTRALSQUARE | 429538 | ANNUAL MAINTENANCE FEES | 565.52 | | 0 |
| 01-4230-5110 TELEPHONE & COMMUNICATION EMS | | | | | |
| SUN VALLEY COMPANY | 6210 | Mtn. Space Rental | 1,378.42 | | 0 |
| SUN VALLEY COMPANY | 6245 | Mtn. Space Rental | 116.87 | | 0 |
| CENTRALSQUARE | 429538 | ANNUAL MAINTENANCE FEES | 565.52 | | 0 |
| 01-4230-5900 REPAIR & MAINTENANCE-BUILDINGS | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-837853 | SPRING SNAP AND PULLEYS | 16.76 | | 0 |
| A.C. HOUSTON LUMBER CO. | 2501-837973 | PULLEY | 5.39 | | 0 |
| 01-4230-6000 REPAIR & MAINT-AUTO EQUIP FIRE | | | | | |
| HUGHES FIRE EQUIPMENT, INC. | 617446 | PRC PUMPER REPAIRS | 14,431.38 | 25074 | 0 |
| WARM SPRINGS AUTO PARTS LL | 206074 | HEAT SHRINKING TUBING | 7.35 | | 0 |
| 01-4230-6010 REPAIR & MAINT-AUTO EQUIP EMS | | | | | |
| WARM SPRINGS AUTO PARTS LL | 206074 | HEAT SHRINKING TUBING | 7.35 | | 0 |
| WARM SPRINGS AUTO PARTS LL | 206234 | CABIN AIR FILTER, AUTO MAINTENANCE PARTS | 86.12 | | 0 |
| 01-4230-6100 REPAIR & MAINT--MACHINERY & EQ | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-834575 | SCREWS | 4.00 | | 0 |
| UPS STORE #2444 | MMN7FR53JD | RADIO SHIPPING | 7.92 | | 0 |
| UPS STORE #2444 | MMN7FR5Y25 | ANTENNA SHIP AND MAILER | 8.16 | | 0 |
| WARM SPRINGS AUTO PARTS LL | 205821 | BRAKE PARTS AND ELECTRICAL TAPE | 9.18 | | 0 |
| 01-4230-6110 REPAIR & MAINT--MACHINERY & EQ | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-834575 | SCREWS | 3.99 | | 0 |
| UPS STORE #2444 | MMN7FR53JD | RADIO SHIPPING | 7.92 | | 0 |
| UPS STORE #2444 | MMN7FR5Y25 | ANTENNA SHIP AND MAILER | 8.16 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|----------------------------------|--------------------|-----------------------|--------------------|
| WARM SPRINGS AUTO PARTS LL | 205821 | BRAKE PARTS AND ELECTRICAL TAPE | 9.17 | | 0 |
| Total FIRE & RESCUE: | | | 34,964.94 | | |
| STREET | | | | | |
| 01-4310-3200 OPERATING SUPPLIES | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-837054 | RESPIRATOR AND GLOVES | 101.97 | | 4310044 |
| A.C. HOUSTON LUMBER CO. | 2501-837996 | FLAP DISC FOR GRINDER | 24.38 | | 4310044 |
| A.C. HOUSTON LUMBER CO. | 2501-839827 | WELDING SUPPLIES | 24.38 | | 4310044 |
| A.C. HOUSTON LUMBER CO. | 2501-840026 | EXTENSION CORD | 42.98 | | 4310044 |
| NAPA AUTO PARTS | 211767 | VARIOUS HOSE END FITTINGS | 228.04 | | 4310044 |
| NAPA AUTO PARTS | 211770 | Hose End Fittings CREDIT | 20.30- | | 4310044 |
| NAPA AUTO PARTS | 211819 | Hose End fittings | 20.30 | | 4310044 |
| NAPA AUTO PARTS | 211820 | DIPSTICK | 8.49 | | 4310044 |
| 01-4310-3500 MOTOR FUELS & LUBRICANTS | | | | | |
| VALLEY WIDE COOPERATIVE | U001A247 | UNLEADED GAS | 761.32 | | 4310044 |
| 01-4310-4200 PROFESSIONAL SERVICES | | | | | |
| WESTERN STATES CAT | IN003053861 | CAT D6T TRACTOR RENTAL | 6,648.25 | 25010 | 4310037 |
| 01-4310-4900 PERSONNEL TRAINING/TRAVEL/MTG | | | | | |
| LHTAC | T210012024FC | Flagger Certification- Paul B | 40.00 | | 4310047 |
| 01-4310-5200 UTILITIES | | | | | |
| IDAHO POWER | 2204882910 01 | 2204882910 200/260 E 10TH | 656.71 | | 4310047 |
| 01-4310-6000 REPAIR & MAINT--AUTOMOTIVE EQU | | | | | |
| NAPA AUTO PARTS | 211936 | 2001 CHEVROLET C1500 REPAIRS | 212.96 | | 4310044 |
| 01-4310-6100 REPAIR & MAINT--MACHINERY & EQ | | | | | |
| NAPA AUTO PARTS | 211950 | REPAIRS FOR ROLLER | 159.99 | | 4310044 |
| HIGH DESERT BOBCAT | P11708 | CYLINDER | 1,624.98 | | 4310044 |
| INTERWEST SUPPLY COMPANY, | IN0117219 | PLOW BLADE | 2,961.67 | | 4310044 |
| 01-4310-6910 OTHER PURCHASED SERVICES | | | | | |
| CINTAS | 4217979680 | BLACK MAT AND COVERALL CLEANINGS | 23.48 | | 4310044 |
| NORCO | 0042665456 | OXYGEN & ACETYLENE RENTALS | 175.39 | | 4310044 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|--|--------------------|-----------------------|--------------------|
| 01-4310-6920 SIGNS & SIGNALIZATION | | | | | |
| TRAFFIC SAFETY SUPPLY CO., I | INV075340 | PEDESTAL POST BASE FOR SIGNS | 1,139.10 | | 4310040 |
| ROAD WORK AHEAD TRAFFIC S | TS--25705 | SANDING TRUCK SIGNAGE | 147.78 | | 4310040 |
| 01-4310-6930 STREET LIGHTING | | | | | |
| IDAHO POWER | 2201174667011 | 6TH ST & MAIN | 17.11 | | 4310050 |
| IDAHO POWER | 2202627564011 | 411 N MAIN ST LIGHT | 47.73 | | 4310050 |
| IDAHO POWER | 2204882910 01 | 2204882910 41C LIGHTS, STREET LIGHTS, TRAFFIC LIGHTS | 601.56 | | 4310050 |
| IDAHO POWER | 2205963446 01 | 2205963446 421 N LEADVILLE LIGHT | 89.57 | | 4310050 |
| IDAHO POWER | 2208791562012 | 1ST ST & MAIN ST LITE | 87.69 | | 4310050 |
| 01-4310-6950 MAINTENANCE & IMPROVEMENTS | | | | | |
| D & L SUPPLY | 0000171789 | FREIGHT | 280.00 | 25067 | 0 |
| D & L SUPPLY | 0000171789 | MANHOLE COVERS AND LIDS | 4,815.00 | 25067 | 4310031 |
| RUBBERFORM RECYCLED PRO | RF90472 | SPEED CUSHIONS | 3,293.76 | 25066 | 4310033 |
| Total STREET: | | | 24,214.29 | | |
| RECREATION | | | | | |
| 01-4510-3200 OPERATING SUPPLIES | | | | | |
| CHATEAU DRUG CENTER | 2961075 | FLEX SEAL SPRAY & LED ALARM CLOCK | 31.33 | | 0 |
| CHATEAU DRUG CENTER | 2961368 | HAND WARMERS | 20.88 | | 0 |
| 01-4510-3250 RECREATION SUPPLIES | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-835361 | METALLIC GOLD SPRAY PAINT & SNOW PUSHER | 77.56 | | 0 |
| 01-4510-3300 RESALE ITEMS-CONCESSION SUPPLY | | | | | |
| ATKINSONS' MARKET | 05886750 | APPLES & MANDARINS | 22.99 | | 0 |
| ATKINSONS' MARKET | 05889891 | APPLES & MANDARINS | 26.34 | | 0 |
| ATKINSONS' MARKET | 05892289 | APPLES HALF & HALF & MANDARINS | 35.55 | | 0 |
| ATKINSONS' MARKET | 06826003 | HONEYDEW APPLES & ORANGES | 24.60 | | 0 |
| 01-4510-3500 MOTOR FUELS & LUBRICANTS | | | | | |
| LUTZ RENTALS | 160163-1 | PROPANE | 44.92 | | 0 |
| LUTZ RENTALS | 160239-1 | PROPANE | 55.25 | | 0 |
| LUTZ RENTALS | 160292-1 | PROPANE | 41.88 | | 0 |
| LUTZ RENTALS | 160315-1 | PROPANE | 57.98 | | 0 |
| LUTZ RENTALS | 160378-1 | PROPANE | 47.95 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|---|----------------|---|--------------------|-----------------------|--------------------|
| 01-4510-5200 UTILITIES | | | | | |
| IDAHO POWER | 2206452274122 | 900 N 3rd Ave Rec | 186.87 | | 0 |
| Total RECREATION: | | | 674.10 | | |
| Total GENERAL FUND: | | | 87,686.72 | | |
| GENERAL CAPITAL IMPROVEMENT FD | | | | | |
| GENERAL CIP EXPENDITURES | | | | | |
| 03-4193-7110 DOWNTOWN CORE SIDEWALK INFILL | | | | | |
| GIACOBBI SQUARE | 5637 | BULBOUT ON 5TH AND LEADVILLE | 13,945.00 | 25033 | 711001 |
| 03-4193-7200 TECHNOLOGY UPGRADES | | | | | |
| CDW GOVERNMENT, INC. | AC1WZ2W | DELL WARRANTY AND TECHNICAL SUPPORT | 378.28 | | 0 |
| CDW GOVERNMENT, INC. | AC2B52U | DESKTOP COMPUTER | 1,034.01 | | 0 |
| CDW GOVERNMENT, INC. | AC2FL5G | LAPTOP | 946.66 | | 0 |
| CDW GOVERNMENT, INC. | AC2WP5L | SURFACE POWER SUPPLY | 73.80 | | 0 |
| B&H PHOTO | 227880066.1 | APPLECARE | 210.00 | | 0 |
| Total GENERAL CIP EXPENDITURES: | | | 16,587.75 | | |
| FACILITY MAINT CIP EXPENDITURE | | | | | |
| 03-4194-7170 TRASH CANS (CITYWIDE) REPLACE | | | | | |
| SONNTAG RECREATION, LLC | 24303 | QUOTE #250 FOR DUMOR CVR-30-BT 25 3/8" DIA STL BONNET TOP CVR | 4,150.00 | 25023 | 0 |
| Total FACILITY MAINT CIP EXPENDITURE: | | | 4,150.00 | | |
| FIRE & RESCUE CIP EXPENDITURES | | | | | |
| 03-4230-7130 PPE (TURNOUT GEAR) | | | | | |
| DAVIS EMBROIDERY INC. | 46191 | SCREEN PRINTED SHIRTS | 1,103.72 | | 0 |
| MUNICIPAL EMERGENCY SERIC | IN2189855 | EBSS POUCHES | 453.61 | | 0 |
| Total FIRE & RESCUE CIP EXPENDITURES: | | | 1,557.33 | | |
| RECREATION CIP EXPENDITURES | | | | | |
| 03-4510-7125 PUMP PARK OVERHAUL | | | | | |
| COPY & PRINT, L.L.C. | 1017 | ACM SIGN | 183.72 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|---|----------------|--|--------------------|-----------------------|--------------------|
| Total RECREATION CIP EXPENDITURES: | | | 183.72 | | |
| Total GENERAL CAPITAL IMPROVEMENT FD: | | | 22,478.80 | | |
| ORIGINAL LOT FUND | | | | | |
| ORIGINAL LOT TAX | | | | | |
| 22-4910-6075 IDAHO DARK SKY ALLIANCE | | | | | |
| IDAHO DARK SKY ALLIANCE | 25002 | 2025 CONTRACT | 2,500.00 | 25027 | 0 |
| Total ORIGINAL LOT TAX: | | | 2,500.00 | | |
| Total ORIGINAL LOT FUND: | | | 2,500.00 | | |
| COMMUNITY HOUSING | | | | | |
| COMMUNITY HOUSING EXPENSE | | | | | |
| 54-4410-3200 LIFT TOWER LODGE OPERATIONS | | | | | |
| IDAHO POWER | 2208260063 01 | 2208260063 703 S MAIN ST | 528.20 | | 0 |
| IDAHO POWER | 2226910376 01 | 2226910376 702 S MAIN ST | 477.76 | | 0 |
| 54-4410-4210 LEASE TO LOCALS INCENTIVES | | | | | |
| PENROSE, LANA | 012325 | LEASE TO LOCALS | 1,250.00 | | 0 |
| SPELIUS, CHRIS | 012325 | LEASE TO LOCALS | 3,000.00 | | 0 |
| 54-4410-4225 DEED RESTRICTIONS | | | | | |
| FIREPLACE OUTFITTERS | 10679 | FIREPLACE SERVICING AT 225 PINEWOOD LN | 330.71 | | 0 |
| 54-4410-5900 LIFT TOWER LDG REPAIR & MAINT | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-838201 | ROOM 11 SUPPLIES | 59.57 | | 0 |
| SHERWIN-WILLIAMS CO. | 7830-5 | Paint supplies | 12.82 | | 0 |
| Total COMMUNITY HOUSING EXPENSE: | | | 5,659.06 | | |
| Total COMMUNITY HOUSING: | | | 5,659.06 | | |
| WATER FUND | | | | | |
| WATER EXPENDITURES | | | | | |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|---|----------------|---|--------------------|-----------------------|--------------------|
| 63-4340-3200 OPERATING SUPPLIES | | | | | |
| CINTAS | 4218710864 | UTILITIES ADMIN BLDG - WATER | 11.17 | | 0 |
| CINTAS | 4218710864 | WATER | 32.00 | | 0 |
| D & B SUPPLY INC. | 4441 | WORK CLOTHES | 234.97 | | 0 |
| LUTZ RENTALS | 160220-1 | Propane | 27.32 | | 0 |
| LUTZ RENTALS | 160306-1 | Propane | 27.32 | | 0 |
| USA BLUEBOOK | SO3604122 | HACH DPD 1 | 262.33 | | 0 |
| 63-4340-3500 MOTOR FUELS & LUBRICANTS | | | | | |
| VALLEY WIDE COOPERATIVE | U001A248 | 462942 - Unleaded Gas - Water Dept | 434.99 | | 0 |
| 63-4340-4200 PROFESSIONAL SERVICES | | | | | |
| ROBERTS ELECTRIC | 13038 | Rotary Park - Transformer | 100.00 | | 0 |
| 63-4340-4300 STATE & WA DISTRICT FEES | | | | | |
| WRRC&D | 123124 | 2025 CIEF MEMBERSHIP, CLOUD SEEING OPS AND MANAGEMENT | 61,827.00 | 25070 | 0 |
| 63-4340-5100 TELEPHONE & COMMUNICATIONS | | | | | |
| CENTURY LINK | 333465565 010 | 333465565 - WATER | 140.73 | | 0 |
| VERIZON WIRELESS | 6103508315 | 365516521 WATER DEPT | 123.49 | | 0 |
| 63-4340-6100 REPAIR & MAINT-MACH & EQUIP | | | | | |
| L.L. GREEN'S HARDWARE | A760896 | Faucet | 149.98 | | 0 |
| L.L. GREEN'S HARDWARE | C14326 | Garbage Disposer | 129.99 | | 0 |
| ROBERTS ELECTRIC | 13005 | Rotary Park - Transformer | 3,105.39 | | 0 |
| Total WATER EXPENDITURES: | | | 66,606.68 | | |
| Total WATER FUND: | | | 66,606.68 | | |
| WASTEWATER FUND | | | | | |
| WASTEWATER EXPENDITURES | | | | | |
| 65-4350-3200 OPERATING SUPPLIES | | | | | |
| ATKINSONS' MARKET | 05889757 | Distilled Water | 14.76 | | 0 |
| CINTAS | 4218710864 | Utilities Admin Bldg - Wastewater | 11.17 | | 0 |
| CINTAS | 4218710864 | WASTEWATER | 65.54 | | 0 |
| NAPA AUTO PARTS | 212786 | Brake Clnr, Red & Blue Threadlocker | 45.97 | | 0 |
| UPS STORE #2444 | MMN7FR5DU | WATER SAMPLES | 17.56 | | 0 |
| USA BLUEBOOK | INV005400886 | LAB CHEMICALS & EQUIPMENT | 100.19 | | 0 |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|---|----------------|--|--------------------|-----------------------|--------------------|
| 65-4350-3400 MINOR EQUIPMENT | | | | | |
| USA BLUEBOOK | INV00541008 | LAB CHEMICALS & EQUIPMENT | 401.00 | | 0 |
| 65-4350-3500 MOTOR FUELS & LUBRICANTS | | | | | |
| NAPA AUTO PARTS | 211860 | EP Grease Cart | 54.90 | | 0 |
| 65-4350-3800 CHEMICALS | | | | | |
| USA BLUEBOOK | INV00505022 | LAB CHEMICALS & EQUIPMENT | 604.32 | | 0 |
| 65-4350-4200 PROFESSIONAL SERVICES | | | | | |
| JOE'S BACKHOE SERVICES, INC. | 24-2229 | 2024-25 HAULING SERVICE | 29,120.00 | 25048 | 0 |
| ROBERTS ELECTRIC | 12954 | Cabinet Bonding | 1,405.13 | | 0 |
| 65-4350-5100 TELEPHONE & COMMUNICATIONS | | | | | |
| CENTURY LINK | 333803119 011 | 333803119 - Wastwater | 80.73 | | 0 |
| VERIZON WIRELESS | 6103347545 | 965494438 WASTEWATER DEPT | 66.38 | | 0 |
| 65-4350-5200 UTILITIES | | | | | |
| SOUTHERN IDAHO SOLID WAST | 617707-619578 | WWTP SLUDGE | 9,219.50 | 25076 | 0 |
| 65-4350-6000 REPAIR & MAINT-AUTO EQUIP | | | | | |
| JACK'S TIRE & OIL, INC. | 25-0649238-03 | Flat Repair | 142.00 | | 0 |
| LES SCHWAB | 11700921410 | TIRE AND RADIAL REPAIR | 62.22 | | 0 |
| NAPA AUTO PARTS | 211860 | Oil Filter | 38.61 | | 0 |
| NAPA AUTO PARTS | 211952 | Air Filter | 64.85 | | 0 |
| NAPA AUTO PARTS | 212785 | ATF Plus 4 | 37.74 | | 0 |
| 65-4350-6100 REPAIR & MAINT-MACH & EQUIP | | | | | |
| McMASTER-CARR SUPPLY CO. | 38947738 | Plastic Pipe Fitting, Stainless Steel Pipe Fitting | 35.01 | | 0 |
| 65-4350-6900 COLLECTION SYSTEM SERVICES/CHA | | | | | |
| A.C. HOUSTON LUMBER CO. | 2501-838669 | Grounding Conn, Batteries | 17.98 | | 0 |
| PACIFIC STEEL & RECYCLING | 8920282 | Alum Tube 21' | 208.38 | | 0 |
| USA BLUEBOOK | INV00584808 | Magnetic Locator | 1,348.19 | | 0 |
| VERIZON WIRELESS | 6103347545 | 965494438 WASTEWATER COLLECTIONS DEPT | 41.74 | | 0 |
| Total WASTEWATER EXPENDITURES: | | | 43,203.87 | | |
| Total WASTEWATER FUND: | | | 43,203.87 | | |

| Vendor Name | Invoice Number | Description | Net Invoice Amount | Purchase Order Number | GL Activity Number |
|--|----------------|---|--------------------|-----------------------|--------------------|
| WASTEWATER CAPITAL IMPROVE FND | | | | | |
| WASTEWATER CIP EXPENDITURES | | | | | |
| 67-4350-7813 CAPITAL IMP PLAN(NO SHARING) | | | | | |
| HDR ENGINEERING, INC. | 1200690888 | TASK ORDER #5 - SEWER COLLECTION MASTER PLAN | 1,072.30 | 23007 | 0 |
| 67-4350-7815 AERATION BASINS BLOWERS & ELEC | | | | | |
| HDR ENGINEERING, INC. | 1200688219 | TASK ORDER #3: SERVICES DURING CONSTRUCTION FOR AERATION UPGRADES PROJECT | 8,067.85 | 24055 | 0 |
| 67-4350-7818 ROTARY DRUM THICK & DEWATERING | | | | | |
| HDR ENGINEERING, INC. | 1200688222 | TASK ORDER #5 - SOLIDS DEWATERING DESIGN | 50,519.06 | 24071 | 0 |
| Total WASTEWATER CIP EXPENDITURES: | | | 59,659.21 | | |
| Total WASTEWATER CAPITAL IMPROVE FND: | | | 59,659.21 | | |
| PARKS/REC DEV TRUST FUND | | | | | |
| PARKS/REC TRUST EXPENDITURES | | | | | |
| 93-4900-6200 PARK MEMORIAL BENCH/TREES | | | | | |
| SONNTAG RECREATION, LLC | 24279 | NOYES MEMORIAL BENCH | 2,209.00 | | 0 |
| SONNTAG RECREATION, LLC | 24298 | Memorial Benches | 2,209.00 | | 0 |
| Total PARKS/REC TRUST EXPENDITURES: | | | 4,418.00 | | |
| Total PARKS/REC DEV TRUST FUND: | | | 4,418.00 | | |
| Grand Totals: | | | 292,212.34 | | |

| <u>Vendor Name</u> | <u>Invoice Number</u> | <u>Description</u> | <u>Net Invoice Amount</u> | <u>Purchase Order Number</u> | <u>GL Activity Number</u> |
|--------------------|-----------------------|--------------------|---------------------------|------------------------------|---------------------------|
|--------------------|-----------------------|--------------------|---------------------------|------------------------------|---------------------------|

Report Criteria:

Invoices with totals above \$0 included.

Paid and unpaid invoices included.

[Report].GL Account Number = "0110000000"-"9700000000","9910000000"-"9911810000"

Invoice Detail.Voided = No,Yes



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: Staff Member/Dept:

Agenda Item:

Recommended Motion:

I move to approve Change Order No. 01 and future change orders to Purchase Order #24073 with Record Steel and Construction, Inc. for Aeration Upgrades Construction Services for the not to exceed amount of \$74,320.00.

Reasons for Recommendation:

- Change Order No. 01 to the Aeration Upgrades Construction contract contains costs for necessary modifications to the construction plans encountered during construction totaling \$52,886.83.
- The modifications are for unknown site conditions and general project improvements approved by city personnel and project engineers.
- \$74,320.00 represents 2% of the initial contract amount which is typical for construction project modifications.

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

None OR state impact here:

Financial Impact:

| | |
|--|--|
| None OR Adequate funds exist in account: | This is a budgeted expense in the Capital Improvement Projects category of Wastewater Division Expenditures. This expense will be shared equally with the Sun Valley Water and Sewer District. |
|--|--|

Attachments:

- | |
|---|
| 1. RSCI Change Order No. 01 |
| 2. Engineer's Review and Recommendation |
| <input type="text"/> |

CHANGE ORDER NO.: 01

Owner: City of Ketchum / Sun Valley Water & Sewer District (SVWSD) Owner's Project No.:
Engineer: HDR Engineer's Project No.: 10360008
Contractor: RSCI Contractor's Project No.:
Project: Aeration Upgrades
Contract Name:
Date Issued: Jan. 21, 2025 Effective Date of Change Order: Feb. 3, 2025

The Contract is modified as follows upon execution of this Change Order:

Description:


1. **Item 1: \$3,046.86**
 - a. **Modification of buried piping found in the footing area of the new electrical room.**
2. **Item 2: \$9,836.97**
 - a. **Modification of existing blower building walls to accept new wider doorway.**
3. **Item 3: \$2,985.05**
 - a. **Relocation of existing dewatering well motor starters to a location on the south side of the blower building.**
4. **Item 4: (\$10,053.75)**
 - a. **Credit to delete diffuser testing requirements.**
5. **Item 5: \$1,050.00**
 - a. **Exterior Insulation and Finish System (EIFS) closure at infilled louver locations.**
6. **Item 6: \$512.53**
 - a. **Filling transition gap between new electrical room and existing building.**
7. **Item 7: \$23,767.08**
 - a. **Relocated disconnect switches for MLR pumps P-311 and P-314 for better equipment maintenance.**
8. **Item 8: \$39,473.15**
 - a. **Electrical Changes**
 - i. **Relocated mixer disconnects and local control stations to same location of where mixers will be removed from basins and maintained.**
 - ii. **Credit for removal of 120V receptacles at cranes.**
 - iii. **Inclusion of quad receptacles along basin catwalk per Owner request.**
 - iv. **Removal & replacement of existing j-box south of catwalk due to condition.**
 - v. **Addition of 480V outlet along basin catwalk per Owner request.**
9. **Item 9: (\$34,128.25)**
 - a. **Reduction in davit cranes from 4 to 1 for credit.**
10. **Item 10: \$1,449.75**
 - a. **Added hollow-core roofing expansion joint.**
11. **Item 11: \$13,614.46**
 - a. **Grit removal for AB #3.**
12. **Supporting Equipment and Small Tools: \$1,333.17**

Attachments:

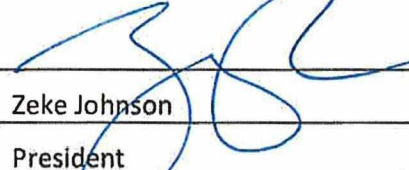
RSCI November 20, 2024 letter and pricing details for the changes described above.

| Change in Contract Price | Change in Contract Times [Number of days] |
|---|---|
| Original Contract Price: \$ <u>3,716,000.00</u> | Original Contract Times: Substantial Completion: <u>425</u> Ready for final payment: <u>470</u> |
| [Increase] [Decrease] from previously approved Change Orders No. 1 to No. [Number of previous Change Order] : \$ <u>NA</u> | [Increase] [Decrease] from previously approved Change Orders No.1 to No. [Number of previous Change Order] : Substantial Completion: <u>0</u> Ready for final payment: <u>0</u> |
| Contract Price prior to this Change Order: \$ <u>3,716,000.00</u> | Contract Times prior to this Change Order: Substantial Completion: <u>425</u> Ready for final payment: <u>470</u> |
| Increase this Change Order: \$ <u>52,886.83</u> | [Increase] [Decrease] this Change Order: Substantial Completion: <u>0</u> Ready for final payment: <u>0</u> |
| Contract Price incorporating this Change Order: \$ <u>3,768,886.83</u> | Contract Times with all approved Change Orders: Substantial Completion: <u>425</u> Ready for final payment: <u>470</u> |

Recommended by Engineer: HDR

By: 
 Name: Bradley Bjerke, PE
 Title: Project Manager
 Date: 01/23/2025
 Authorized by Owner: City of Ketchum

Accepted by Contractor: RSCI


 Zeke Johnson
 President
1/22/25
 Authorized by Owner: SVWSD

By: _____
 Name: Neil Bradshaw
 Title: Mayor
 Date: _____

 Peter Hendricks
 Board Chairman



MT 36115
OR 68403
NV 0032585
ID RCE-1006
ID 12164-U-1-3
WA RECORSO33QK
NV 67472 & 74179

November 20, 2024

Serial No. 0001

City of Ketchum
191 5th Street West
Ketchum, ID 83340

Attention: Brad Bjerke, PE

Reference: Engr Contract No. 10360008
Ketchum – SVWSD WRF Aeration Upgrades

Subject: Proposal No. 1 – Ketchum WWTP – Packaged Changes

Dear Mr. Bjerke,

I am providing additional details regarding Proposal No. 01, which includes a total cost of **\$52,886.83**. This proposal reflects the agreed-upon and preapproved changes throughout the project, as outlined in the attached supplemental data.

Enclosed are the requested proposal documentation and a cost summary. Please note that we are not requesting an extension to the project schedule in connection with these changes.

Additionally, we reserve the right to seek further compensation for addressing any potential errors or omissions that may be identified during the detailed cost review. This proposal remains valid for 30 calendar days.

Thank you for your attention to this matter. If you have any questions or need further clarification, please feel free to contact me at tannerjared@rscigroup.com or (208) 472-0161.

Sincerely,

Tanner Jared
Project Manager

CC: Bill Macy, RSCI

Ketchum SVWSD WRF Aeration Upgrades - Change Order Package #1

BACKGROUND: This change order consolidates a plethora of modifications that have accumulated over the course of the project. These changes include adjustments to a 6" WAS line, building shell demolition for a larger man door, aeration sump pump brackets, relocation of gutter starters to avoid a snow removal area, aeration diffuser testing, infill at louvers, walkway transition work, power supply changes, hollow core expansion joint materials, davit crane modifications, and additions to the grit removal system.

SCHEDULE MODIFICATION REQUESTS: RSCI does not see this change as a driving delay at the time of this change order development. We do retain our rights to reassess this if the resubmittal process and subsequent material lead times are extended.

| WAGE RATES | |
|--------------------------|---------|
| Common/General Wage Rate | \$64.28 |

| Scope | Item | Quantity | Unit | Mat \$/unit | Material \$ | Prod. Rate (Units/Manhour) | Total MHRS | Lab \$/Unit | Labor \$ | E,O,S/Unit | Equip \$ | Other/Sub \$ | GRAND TOTALS | TOTAL RSCI WORK | TOTAL CREDITS | TOTAL SUB WORK |
|---|---|----------|------|-------------|-------------|----------------------------|------------|-------------|------------|--------------|--------------|--------------|--------------|-----------------|---------------|----------------|
| ITEM 1.0 - Differing Site Conditions: 6" WAS Cleanout | | | | | | | | | | | | | | | | |
| | LABOR | | | | | | | | | | | | | | | |
| | See RSCI labor reports attached. | 28.0 | MH | | | 1.0 | 28.0 | \$64.28 | \$1,799.84 | | | | \$1,800 | \$1,800 | | |
| | EQUIPMENT | | | | | | | | | | | | | | | |
| | Komatsu 55 MR | 2.0 | DAY | | | | | | | \$375.00 | | \$750.00 | \$750 | \$750 | | |
| | Fuel @ 1.5 GAL/HR | 24.0 | GAL | | | | | | | \$4.15 | | \$99.60 | \$100 | \$100 | | |
| ITEM 2.0 - Demolish CMU to Receive Mandoor Frame | | | | | | | | | | | | | | | | |
| | LABOR | | | | | | | | | | | | | | | |
| | Remove and Dispose of Block | 6.7 | SF | | | 3.4 | 22.3 | \$64.28 | \$1,434.15 | \$25.00 | | \$166.50 | \$1,601 | \$1,601 | | |
| | Install Angle Iron - EIFS | 21.0 | LF | | | 1.8 | 36.8 | \$64.28 | \$2,362.29 | | | | \$2,362 | \$2,362 | | |
| | Install Angle Iron - Structural Header | 8.5 | LF | | | 1.8 | 14.9 | \$64.28 | \$956.17 | | | | \$956 | \$956 | | |
| | PURCHASE | | | | | | | | | | | | | | | |
| | Angle Iron & Hardware | 1.0 | PLS | | | | | | | \$1,126.67 | | \$1,126.67 | \$1,127 | \$1,127 | | |
| | SUBCONTRACTOR | | | | | | | | | | | | | | | |
| | Desert Sage - EFIS Changes | 1.0 | PLS | | | | | | | \$500.00 | | \$500.00 | \$500 | | | \$500 |
| | Sawcut Doorway - Westec Concrete - Quote Included | 1.0 | PLS | | | | | | | \$1,973.00 | | \$1,973.00 | \$1,973 | | | \$1,973 |
| | OTHER | | | | | | | | | | | | | | | |
| | Dump Fees | 1.0 | PLS | | | | | | | \$250.00 | | \$250.00 | \$250 | \$250 | | |
| ITEM 3.0 - Starters Relocation | | | | | | | | | | | | | | | | |
| | LABOR | | | | | | | | | | | | | | | |
| | Excavation & Backfill Trench | 8.0 | MH | | | 1.0 | 8.0 | \$64.28 | \$514.24 | | | | \$514 | \$514 | | |
| | EQUIPMENT | | | | | | | | | | | | | | | |
| | Komatsu 55 MR | 1.0 | DAY | | | | | | | \$375.00 | | \$375.00 | \$375 | \$375 | | |
| | Fuel @ 1.5 GAL/HR | 6.0 | GAL | | | | | | | \$4.15 | | \$24.90 | \$25 | \$25 | | |
| | SUBCONTRACTOR | | | | | | | | | | | | | | | |
| | DL Electrical | 1.0 | PLS | | | | | | | \$1,841.70 | | \$1,841.70 | \$1,842 | | | \$1,842 |
| ITEM 4.0 - Aeration Diffusers Testing Mods | | | | | | | | | | | | | | | | |
| | MATERIAL | | | | | | | | | | | | | | | |
| | Removal of Testing Requirements | 1.0 | PLS | | | | | | | (\$9,575.00) | (\$9,575.00) | | (\$9,575) | | (\$9,575) | |
| ITEM 5.0 - Infill at Louvers | | | | | | | | | | | | | | | | |
| | SUBCONTRACTOR | | | | | | | | | | | | | | | |
| | Desert Sage - EFIS Changes | 1.0 | PLS | | | | | | | \$1,000.00 | \$1,000.00 | | \$1,000 | | | \$1,000 |
| ITEM 6.0 - Walkway Transition | | | | | | | | | | | | | | | | |
| | LABOR | | | | | | | | | | | | | | | |
| | Caulk Wall and Ceiling Joint | 4.0 | MH | | | 1.5 | 6.0 | \$64.28 | \$385.68 | | | | \$386 | \$386 | | |
| | MATERIALS | | | | | | | | | | | | | | | |
| | Sika 1A Caulking | 30.0 | LF | \$2 | \$60 | | | | | | | | \$60 | \$60 | | |
| ITEM 7.0 - Power Supply Changes for Pumps | | | | | | | | | | | | | | | | |
| | SUBCONTRACT | | | | | | | | | | | | | | | |
| | DL Electric:Quote 1511 | 1.0 | PLS | | | | | | | \$22,635.31 | | \$22,635.31 | \$22,635 | | | \$22,635 |
| ITEM 8.0 - Misc Electrical Changes including: Jbox Adds, MXR Pump Disconnects, Field Directives, Quad Receptacles, Etc | | | | | | | | | | | | | | | | |
| | SUBCONTRACT | | | | | | | | | | | | | | | |
| | DL Electric: Quote 1812 | 1.0 | PLS | | | | | | | \$37,593.48 | | \$37,593.48 | \$37,593 | | | \$37,593 |

| | | | | | | | | | | | | | | | |
|---|-----|-----|------------|---------|-----|------|----------|------------|------------|---------------|---------------|------------|------------|------------|----------|
| ITEM 9.0 - Davit Cranes | | | | | | | | | | | | | | | |
| MATERIALS | | | | | | | | | | | | | | | |
| Triangle Pump: Full Credit from PO | 1.0 | PLS | | | | | | | | (\$56,215.00) | (\$56,215.00) | (\$56,215) | (\$56,215) | | |
| Triangle Pump: Submittal Cost To-Date | 1.0 | PLS | | | | | | | | \$1,350.00 | \$1,350.00 | \$1,350 | \$1,350 | | |
| Triangle Pump: Change in Crane Supply | 1.0 | PLS | | | | | | | | \$15,324.00 | \$15,324.00 | \$15,324 | \$15,324 | | |
| Davit Crane Lids | 4.0 | EA | \$1,244 | \$4,976 | | | | | | | | \$4,976 | \$4,976 | | |
| ITEM 10.0 - Hollow Core Expansion Joint | | | | | | | | | | | | | | | |
| MATERIALS | | | | | | | | | | | | | | | |
| Compressable Filler | 1.0 | PLS | \$1,333.09 | \$1,333 | | | | | | | | \$1,333 | \$1,333 | | |
| Credit: Expansive Material (Spray Foam) - Assume 5 cans from HD | 1.0 | PLS | (\$79.34) | (\$79) | | | | | | | | (\$79) | (\$79) | | |
| ITEM 11.0 - Grit Removal Basin 3 & Pump Assist | | | | | | | | | | | | | | | |
| LABOR | | | | | | | | | | | | | | | |
| Grit Removal: See RSCI labor reports attached. | 1.0 | PLS | | | 1.0 | 66.0 | \$64.28 | \$4,242.48 | | | | \$4,242 | \$4,242 | | |
| Pumping: See RSCI labor reports attached. | 1.0 | PLS | | | 1.0 | 43.5 | \$64.28 | \$2,796.18 | | | | \$2,796 | \$2,796 | | |
| EQUIPMENT | | | | | | | | | | | | | | | |
| Vac Truck Rental | 3.0 | DAY | | | | | | | \$1,600.00 | | \$4,800.00 | \$4,800 | \$4,800 | | |
| ITEM 12.0 - Power In Trenches (Precast Panel Covers) ----> MOVED TO CHANGE ORDER #2 PER HDR REQUEST | | | | | | | | | | | | | | | |
| SUPPORTING EQUIPMENT AND SMALL TOOLS - ALL | | | | | | | | | | | | | | | |
| Indirect - Small Tools and Supplies (5% of Labor) | 1.0 | PLS | | | | | | | \$724.55 | | \$724.55 | \$725 | \$725 | | |
| Indirect - Safety Supplies (3% of Labor) | 1.0 | PLS | | | | | | | \$434.73 | | \$434.73 | \$435 | \$435 | | |
| TOTAL | | | | \$6,290 | 225 | | \$14,491 | | | (\$8,575) | \$33,754 | \$45,960 | \$46,286 | (\$65,869) | \$65,543 |

| | | |
|--|--------------------|--------------|
| RSCI ADDER MARKUP PER CONTRACT (15%): | \$6,942.91 | |
| CREDIT ADDER PER CONTRACT (5%): | | (\$3,293.47) |
| SUBCONTRACTOR ADDER PER CONTRACT (5%): | | \$3,277.17 |
| SUBTOTAL: | \$53,228.98 | -\$69,162.81 |
| GRAND TOTAL: | \$52,886.83 | |

| | | |
|---------------------------|---|---|
| Report Selections: | Job: 568 | Job Status: Active |
| | Phase: 31105 | Phase Status: Active, Inactive, Complete |
| | Cost Type: L | Division: ALL |
| | Tran. Type: AP, EQ, GL, IC, JC, PR, OH | Customer: ALL |
| | Vendor: ALL | Draw Appl. #: ALL |
| | Employee: ALL | A/P Contract Labor Hours? No |
| | Inv. Item: ALL | Master Job? No |

Record Steel & Construction
Job Cost History Report From Inception To 11/16/24
Including P.O. Receipts

| UnPosted? | | | | | | | | Unit of Measure | |
|--|-----------|------------------------|------------------|------------------------|--------------|----------|--------|-----------------|--|
| Date | Tran Type | Reference | Description | Additional Information | Hours | Quantity | Amount | | |
| Job: 568 KETCHUM WWTP AERATION | | | | | | | | | |
| Phase: 31-105 6 IN WAS CLEANOUT DSC Cost Type: L LABOR | | | | | | | | | |
| 05/13/24 | PR | DAHGRA | GRANT R DAHL | Check# F30994 | 3.00 | | | | |
| 05/13/24 | PR | LOPJJR | JOSE R LOPEZ JR | Check# F31041 | 3.00 | | | | |
| 05/13/24 | PR | MORJAC | JACOB D MORRISON | Check# F31062 | 3.00 | | | | |
| 05/14/24 | PR | DAHGRA | GRANT R DAHL | Check# F30994 | 3.00 | | | | |
| 05/14/24 | PR | LOPJJR | JOSE R LOPEZ JR | Check# F31041 | 3.00 | | | | |
| 05/14/24 | PR | MORJAC | JACOB D MORRISON | Check# F31062 | 3.00 | | | | |
| 05/22/24 | PR | DAHGRA | GRANT R DAHL | Check# F31495 | 2.00 | | | | |
| 05/23/24 | PR | DAHGRA | GRANT R DAHL | Check# F31495 | 4.00 | | | | |
| 05/23/24 | PR | LOPJJR | JOSE R LOPEZ JR | Check# F31544 | 4.00 | | | | |
| Subtotal for Phase: 31-105 6 IN WAS CLEANOUT DSC Cost Type: L LABOR | | | | | 28.00 | | | | |
| | | | | | 28.00 | | | | |



Steel Corporation

"Delivering quality metal solutions that drive customer success"

Remit To: P. O. BOX 1026 Eugene, OR 97440
 Billing Questions: 541-431-8027 or see credit contact below

Invoice No: 2131138
 Invoice Date: 15-Aug-24
 Page: 1 of 1

Bill To :
 RSCI
 333 W ROSSI ST STE 200
 BOISE ID 83706

Ship To :
 RSCI
 1780 YAMHILL
 BOISE ID 83716

| Terms | Due Date | Customer PO No. | Sales Order | Ship Date |
|-------------|------------|---------------------|--------------------|-----------|
| NET 45 | 29-Sep-24 | 568 | 3237065 | 15-Aug-24 |
| Customer No | Ordered By | Outside Salesperson | Inside Salesperson | |
| 73530 | BILL MACY | TODD CRAFT | Nikki Stanley | |

| Qty | Description | Weight | Sec UOM | Sell Price | Sell UOM | Selling Price | Sell Amount |
|-----|---------------------------------|--------|---------|------------|----------|---------------|---------------|
| 1 | ANGLE 8 X 4 X 1/2 - 20' | 392 | | 135.71 | EA | 531.98 | 531.98 |
| 1 | ANGLE 3 X 2 X 3/8 - 20' | 118 | | 99.62 | EA | 117.55 | 117.55 |
| 1 | ANGLE 4 X 3 X 3/8 - 20' | 170 | | 92.82 | EA | 157.80 | 157.80 |
| 1 | ANGLE 1 1/2 X 1 1/2 X 3/8 - 20' | 67 | | 186.67 | EA | 125.07 | 125.07 |
| 1 | FUEL SURCHARGE | | | | | 5.24 | 5.24 |
| | Weight | 747 | | | | | |
| | Subtotal | | | | | | 937.64 |
| | Tax | | | | | | 55.94 |
| | TOTAL | | | | | | 993.58 |

Service Charge Note : Service Charge accrues at a rate of 1.5% per month.

Discount :

Comment : ;Effective January 2, 2023 a 2.0% surcharge, which is not greater than our cost of acceptance, will be imposed on the total transaction amount of all credit card sales.

Note that debit cards are not subject to surcharges.

Credit Contacts:

| Eugene / Medford | Post Falls / Stockton / Boise | Vancouver / Renton |
|--|--|--|
| Samantha.Bittler@farweststeel.com (800) 787-1736 | Sarah.Wood@farweststeel.com (800) 562-9368 | Melissa.Cleverley@farweststeel.com (800) 562-9323 |

Westec Concrete Cutting LLC
 53 N 200 W
 Jerome ID 83338
 208-324-3427 208-324-2688



| | | |
|--|-------------------------|-----------|
| SOLD TO RSCI 333 W Rossi St Ste 200 Boise ID 83706-3806 | Invoice Number: | W14587 |
| | Invoice Date: | Aug 26/24 |
| | Terms: | Net 30 |
| | Customer PO: | |
| | Work Order #: | 4671 |
| | Work Order Type: | T&M |
| JOB LOCATION 110 river ranch rd ketchum 2088871401 | Called By: | don |
| | Completion Date: | Aug 26/24 |
| | | |
| | | |

| Quantity | Description | Rate | Amount |
|-------------------------|--|--------------|-------------|
| 1.00 | 26 FT X 8" CMU WALL | 0.00 | 0.00 |
| 1.00 | 2 CORNER CUTS | 0.00 | 0.00 |
| 1.00 | 1-20" COREDRILL X 8" CMU WALL | 0.00 | 0.00 |
| 1.00 | Job Ticket Total | 1,973.00 | 1,973.00 |
| | 24 ft x 8" cmu wall take small scaffolding 1-20" coredrill | | |
| Please Pay from Invoice | | Total | \$ 1,973.00 |

Terms: Invoices are due Net 30 days from invoice date. Customer agrees to 1/5% (A.P.R. 18%) reasonable collection fees for past due accounts. Westec Concrete Cutting LLC. does not assume liability for layout or damage buried structures and utilities.

| |
|----------------|
| Phone # |
| (208) 324-3427 |

Bill Macy

From: Russell Freeman <russell@desertsagewallsystems.com>
Sent: Monday, July 1, 2024 1:29 PM
To: Bill Macy; Ryan Sullivan
Cc: Frank Freeman; Tanner Jared
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Bill,

The value of the requested additional patch & repair work is \$1,500.00.

If you have any questions, please reach out to Frank, as he is the one who put this together, and I am just passing the message along.

Thank you,

Russell Freeman
Desert Sage Wall Systems, LLC.
3901 Skyway Street
Caldwell, ID 83605
(208) 454-6461
(208) 454-9521 (FAX)
(208) 989-8783 (CELL)
russell@desertsagewallsystems.com
<http://www.desertsagewallsystems.com>

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From: Bill Macy <billmacy@rscigroup.com>
Sent: Friday, June 28, 2024 4:28 PM
To: Russell Freeman <russell@desertsagewallsystems.com>; Ryan Sullivan <ryan@rscigroup.com>
Cc: Frank Freeman <frank@desertsagewallsystems.com>; Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hi Russell/Frank,

Any updates on the below request? We would like to get this submitted to the owner early next week for review.

Let me know if you have any questions.

Thanks,

Bill Macy

RSCI | 333 W Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 171 | Direct 208.472.0171
Mobile: 208.871.2952 | Fax: 208.888.9130

From: Bill Macy
Sent: Tuesday, June 18, 2024 3:22 PM
To: 'Russell Freeman' <russell@desertsagewallsystems.com>; Ryan Sullivan <ryan@rscigroup.com>
Cc: 'Frank Freeman' <frank@desertsagewallsystems.com>; Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hi Russell,

Please see attached for a couple items we would like to get pricing on.

1. EIFS repair around new door frame.
2. EIFS infill for existing louvers

Please also include a separate mobilization line item for this work. We will try to line it up with the original scope of work, but just in case it does not work that way.

As of now we are tentatively aiming to start the EIFS work on 7/22/24.

Let us know if you have any questions.

Thanks,

Bill Macy

RSCI | 333 W Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 171 | Direct 208.472.0171
Mobile: 208.871.2952 | Fax: 208.888.9130
<http://www.rscigroup.com>

From: Bill Macy
Sent: Monday, June 3, 2024 1:45 PM
To: Russell Freeman <russell@desertsagewallsystems.com>; Ryan Sullivan <ryan@rscigroup.com>
Cc: Frank Freeman <frank@desertsagewallsystems.com>; Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hi Russel,

I spoke with the engineer and they confirmed the 4" EPS with the sharp edge transition between buildings.

Let us know if you have any questions.

Thanks,

Bill Macy

RSCI | 333 W Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 171 | Direct 208.472.0171
Mobile: 208.871.2952 | Fax: 208.888.9130
<http://www.rscigroup.com>

From: Russell Freeman <russell@desertsagewallsystems.com>
Sent: Saturday, June 1, 2024 6:21 AM
To: Ryan Sullivan <ryan@rscigroup.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Frank Freeman <frank@desertsagewallsystems.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Samples of the requested colors have been ordered in Swirl texture. I will get them over to you once they arrive.

The EIFS system is to be completed with Type I EPS, to meet the “minimum R-13.3 per energy code requirement” we will need to be installing 4” thick EPS at the EIFS.

Thank you,

Russell Freeman
Desert Sage Wall Systems, LLC.
3901 Skyway Street
Caldwell, ID 83605
(208) 454-6461
(208) 454-9521 (FAX)
(208) 989-8783 (CELL)
russell@desertsagewallsystems.com
<http://www.desertsagewallsystems.com>

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From: Ryan Sullivan <ryan@rscigroup.com>
Sent: Friday, May 31, 2024 12:45 PM
To: Russell Freeman <russell@desertsagewallsystems.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Frank Freeman <frank@desertsagewallsystems.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Russel,

Attached is a response from HDR and they’ve included what colors and textures they’d like to see, along with the dryvit color for the existing buildings

Thanks

Ryan Sullivan
Superintendent
M: 208-973-1476
RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706
<http://www.rscigroup.com>

From: Don Wall <donw@rscigroup.com>
Sent: Thursday, May 30, 2024 11:59 AM
To: Ryan Sullivan <ryan@rscigroup.com>; Russell Freeman <russell@desertsagewallsystems.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Tanner Jared <tannerjared@rscigroup.com>; Frank Freeman <frank@desertsagewallsystems.com>
Subject: Re: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Sent from my Verizon, Samsung Galaxy smartphone

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From: Ryan Sullivan <ryan@rscigroup.com>
Sent: Thursday, May 30, 2024 11:02:44 AM
To: Russell Freeman <russell@desertsagewallsystems.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Tanner Jared <tannerjared@rscigroup.com>; Frank Freeman <frank@desertsagewallsystems.com>; Don Wall <donw@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hey Russel,

We got an answer back from the engineers, they decided to balk at the request for the Dryvit. I'll have Don, our superintendent on site, send some up close pictures so you can get some color and texture samples put together.

Thanks

Ryan Sullivan

M: 208-973-1476

RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706

<http://www.rscigroup.com>

From: Russell Freeman <russell@desertsagewallsystems.com>
Sent: Thursday, May 30, 2024 7:12 AM
To: Ryan Sullivan <ryan@rscigroup.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Tanner Jared <tannerjared@rscigroup.com>; Frank Freeman <frank@desertsagewallsystems.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Ryan,

We are able to provide Dryvit instead of STO, however there is a material cost increase for Dryvit products. I can double check pricing for sure and get back to you, but I am guessing roughly \$1,100 price increase. Please advise if you want to move forward with pricing/new submittals.

If they are good with sticking with STO, they can pick a Dryvit color and we can get STO to match that, to try to maintain consistency with regard to finish coat appearance.

Russell Freeman
Desert Sage Wall Systems, LLC.
3901 Skyway Street
Caldwell, ID 83605
(208) 454-6461
(208) 454-9521 (FAX)
(208) 989-8783 (CELL)
russell@desertsagewallsystems.com
<http://www.desertsagewallsystems.com>

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intended recipient, please contact the sender by reply email and destroy or delete all copies of the original message and any attachments.

From: Ryan Sullivan <ryan@rscigroup.com>
Sent: Friday, May 24, 2024 7:21 AM
To: Russell Freeman <russell@desertsagewallsystems.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Russel,

The engineers decided they wanted to switch things up on us after we'd already submitted the package that you'd sent us. They are now asking if you are able to provide Dryvit instead of STO for the project. It came up that all existing buildings were finished using Dryvit and they'd like to maintain as close as possible of a finish to the rest of the plant. Are you able to supply Dryvit? If so let's get another submittal package put together and we'll get it turned in and have them select a couple of the closest colors before you have swatches made up.

Thanks

Ryan Sullivan
Superintendent
M: 208-973-1476
RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706
<http://www.rscigroup.com>

From: Tanner Jared <tannerjared@rscigroup.com>
Sent: Saturday, May 4, 2024 8:05 AM
To: Ryan Sullivan <ryan@rscigroup.com>; Bill Macy <billmacy@rscigroup.com>
Subject: FW: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Tanner Jared, P.E.
RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 161 | Direct: 208.472.0161
Mobile: 208.890.7169 | Fax: 208.888.9130
<http://www.rscigroup.com>

From: Russell Freeman <russell@desertsagewallsystems.com>
Sent: Saturday, May 4, 2024 7:23 AM
To: Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Tanner,

Attached is the submittal information for the EIFS on this project. I have also attached a standard color chart. Once colors are selected, we will have samples made for final approval.

Thank you,

Russell Freeman

Desert Sage Wall Systems, LLC.
3901 Skyway Street
Caldwell, ID 83605
(208) 454-6461
(208) 454-9521 (FAX)
(208) 989-8783 (CELL)
russell@desertsagewallsystems.com
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From: Tanner Jared <tannerjared@rscigroup.com>
Sent: Monday, April 15, 2024 7:54 AM
To: Frank Freeman <frank@desertsagewallsystems.com>
Cc: Bill Macy <billmacy@rscigroup.com>; Russell Freeman <russell@desertsagewallsystems.com>; Kerrie Simpson <kerrie@desertsagewallsystems.com>
Subject: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hello Frank,

Enclosed, please find Subcontract #568-004 outlining the **entire EIFs supply and installation** scope for the Ketchum SVWSSD WRF Aeration Upgrades Project in Ketchum, Idaho. Your prompt attention to the following matters is greatly appreciated:

1. **Review, Sign, and Return:** Kindly review the subcontract and sign a copy at your earliest convenience. Your timely response is crucial to ensure smooth project progression.
2. **Invoicing Details:** Once work commences, all invoices should be directed to invoice@rscigroup.com for efficient processing. Any deviation from this email address may result in payment delays. To expedite payment, please structure your billing according to the line items provided in the attached example. Clearly indicate the phase code and line item number on your invoice to avoid any payment delays.
3. **Certificate of Insurance and W-9:** If not already submitted, please provide your Certificate of Insurance and W-9.
4. **Submittals:** Kindly begin to gather the necessary submittals for the project. Once these submittals are ready, kindly send them to the following members of our team:
 - Tanner Jared – Project Manager - tannerjared@rscigroup.com - (208) 472-0161
 - Bill Macy – Project Manager/Project Engineer - billmacy@rscigroup.com - (208) 472-0171

Thank you for your cooperation. We are excited about the collaboration and the success of this significant project.

Best regards,

Tanner Jared

Tanner Jared, P.E.
RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 161 | Direct: 208.472.0161

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INVOICE

*** DUPLICATE ***



| | | |
|------------|---------------|--------------|
| Customer # | Invoice Date | Invoice # |
| 106772 | 08/16/24 | 200143850-00 |
| Pmnt Terms | PO # | Page # |
| Net30 | 568 | 1 |
| Ship Via | Freight Terms | |
| WC Boise | | |
| Reference | Written By | Delivery Rep |
| | DFB | RMZ |

Remit To TACOMA SCREW PRODUCTS INC
ATTENTION ACCOUNTS RECEIVABLE
2001 CENTER ST
TACOMA, WA 98409-7895

Pick Up Address BOISE
TACOMA SCREW PRODUCTS INC
2230 S COLE RD STE 110
BOISE, ID 83709-2809
(208)378-0560/

Bill To RSCI INC
ATTN: ACCOUNTS PAYABLE
333 W ROSSI ST STE 200
BOISE, ID 83706-3806

Ship To RSCI INC
ATTN: RECEIVING
1854 E LANARK ST
MERIDIAN, ID 83642-4080

| Ln # | Product # And Description | Quantity Ordered | Quantity Shipped | Quantity Backordered | Unit Price | UM | Promo Discount | Amount (Net) |
|------|---|------------------|------------------|----------------------|------------|----|----------------|--------------|
| 1 | 038-212-1 5/8"-11 x 3 ft. Threaded Rod - ASTM A307 Grade A, Coarse Thread, Zinc | 3 | 3 | 0 | 3.28950 | EA | 0.00 | 9.87 |
| 2 | 056-107-1 5/8"-11 Finished Hex Full Nut - ASTM A563 Grade A, Zinc, Coarse | 16 | 16 | 0 | 0.08570 | EA | 0.00 | 1.37 |
| 3 | 069-212-1 5/8" x 1-5/16" x 3/32" SAE Flat Washers - ASME B18.21.1, Zinc | 16 | 16 | 0 | 0.10190 | EA | 0.00 | 1.63 |
| 4 | 041-314-1 DeWalt 7433SD1-PWR 5/8" x 5" Power-Stud+ SD1 Wedge Anchor Zinc Plated Carbon Steel | 18 | 18 | 0 | 1.64460 | EA | 0.00 | 29.60 |
| 5 | 046-310-2 DeWalt DFM12726 1/4" x 2-3/4" Hex Head UltraCon Anchor | 100 | 100 | 0 | 0.18020 | EA | 0.00 | 18.02 |
| 6 | 592-425 Milwaukee 49-66-4733 5/16" x 2-9/16" Magnetic Impact Nut Driver | 1 | 1 | 0 | 3.87850 | EA | 0.00 | 3.88 |
| 7 | 333-610 Bosch HC2102 5/8" x 8" SDS Plus Carbide Hammer Drill Bit | 1 | 1 | 0 | 15.85890 | EA | 0.00 | 15.86 |
| 8 | 333-630 Bosch HC2107 5/8" x 18" SDS Plus Carbide Hammer Drill Bit | 1 | 1 | 0 | 34.48190 | EA | 0.00 | 34.48 |
| 9 | 333-602 Bosch HC2011 3/16" x 6" SDS Plus Carbide Hammer Drill Bit | 2 | 2 | 0 | 5.42560 | EA | 0.00 | 10.85 |

Picked Up By DON

Invoice



INVOICE

*** DUPLICATE ***



| | | |
|------------|---------------|--------------|
| Customer # | Invoice Date | Invoice # |
| 106772 | 08/16/24 | 200143850-00 |
| Pmnt Terms | PO # | Page # |
| Net30 | 568 | 2 |
| Ship Via | Freight Terms | |
| WC Boise | | |
| Reference | Written By | Delivery Rep |
| | DFB | RMZ |

Remit To TACOMA SCREW PRODUCTS INC
ATTENTION ACCOUNTS RECEIVABLE
2001 CENTER ST
TACOMA, WA 98409-7895

Pick Up Address BOISE
TACOMA SCREW PRODUCTS INC
2230 S COLE RD STE 110
BOISE, ID 83709-2809
(208)378-0560/

Bill To RSCI INC
ATTN: ACCOUNTS PAYABLE
333 W ROSSI ST STE 200
BOISE, ID 83706-3806

Ship To RSCI INC
ATTN: RECEIVING
1854 E LANARK ST
MERIDIAN, ID 83642-4080

| Ln # | Product # And Description | Quantity Ordered | Quantity Shipped | Quantity Backordered | Unit Price | UM | Promo Discount | Amount (Net) |
|------|---------------------------|------------------|------------------|----------------------|------------|----|----------------|--------------|
|------|---------------------------|------------------|------------------|----------------------|------------|----|----------------|--------------|

| | | | | | | | | |
|---|-------------|--|-------------------|-----|--|--|-----------------------|---------------|
| 9 | Lines Total | | Qty Shipped Total | 158 | | | | |
| | | | | | | | Merchandise Total \$ | 125.56 |
| | | | | | | | Taxes \$ | 7.53 |
| | | | | | | | Invoice Total \$ | 133.09 |
| | | | | | | | Balance Due \$ | 133.09 |

Thank you for your order. Please note that all sales are subject to Tacoma Screw Products Inc.'s Terms of Sale and Condition of Sale. If there should be any questions, or if we can be of further service, please call (253) 572-3444 or (800) 562-8192. We appreciate and value your continued business.

Picked Up By DON

Cash Discount 0.00 If Paid By 08

60



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

DL Electric LLC
 515 W 27 S
 Blackfoot, ID
 83221, US
 2088210101

Prepared By:
 Brandon Jones
 2088210101
 dlelectric41@gmail.com

Project: **Ketchum waste water**

Scope of Work

Default Group

| | Quantity | Unit Cost | Total Cost |
|-------------------------------------|----------|-----------|------------|
| 2 x 1" pvc with 4 #12 cu conductors | 34.71 ft | \$22.18 | \$769.62 |
| 1" 90 Degree Schedule 40 Pvc Elbows | 4 ea | \$13.47 | \$53.87 |
| 3 x 3" core holes | 1 ea | \$794.67 | \$794.67 |
| 12 x 12 x 4 inch pvc J box | 1 ea | \$193.13 | \$193.13 |

Notes

Summary

| Price | |
|-----------------------|-------------------|
| Labor and Adjustments | \$1,304.22 |
| Materials | \$507.06 |
| Subtotal | \$1,811.28 |

| Taxes | |
|---------------------------|----------------|
| Labor and Adjustments Tax | \$0.00 |
| Material Tax | \$30.42 |
| Total Taxes | \$30.42 |

\$1,841.70

Accepted By _____ Date _____

.....

Tanner Jared

From: Bill Macy
Sent: Tuesday, June 18, 2024 1:09 PM
To: Tanner Jared
Subject: RE: Ketchum / SVWSD WRF Aeration Upgrades Diffusers

Categories: 568 - Ketchum WWTP

Project: Ketchum_ID WWTP

Sanitaire #: 24-0225tc

OXYGEN TRANSFER SHOP TEST WAIVER REQUEST

Enclosed is the Oxygen Transfer Field Test Procedure for the above referenced project. These procedures include a brief synopsis of the ASCE Test Procedure along with the test tank diffuser layout and the specified design parameters for the Sanitaire aeration equipment.

Xylem has previously conducted performance tests on the Sanitaire diffused aeration equipment for approximately four hundred different projects that consist of a total of several thousand individual test runs.

The vast majority of these tests have been Shop Tests conducted at the Xylem test facility in Milwaukee, Wisconsin. The remainder of tests has been on site Field tests. This test mixture allows for a direct comparison between Shop and Field test results.

In addition to client specified Oxygen Transfer tests, our ongoing research and development program regularly conducts tests to enhance and verify our application curves for existing products and establish new data as new products are brought to the market. This extensive database allows us to accurately predict the performance of the Sanitaire aeration products for any given application.

In reviewing our database, we have identified multiple projects where the design parameters are very similar to this project. The certified data from these tests and how it relates to the specified test parameters are presented in a graphical and tabulated format and have been included immediately following this document.

We ask that this certified data be reviewed and approved in lieu of conducting the field test.

If this proposal is acceptable, we will issue a monetary credit of USD\$9,575 for waiving the testing.

Please confirm your acceptance or rejection of this waiver request in writing with the returned submittal.

Thanks,

Bill Macy

RSCI | 333 W Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 171 | Direct 208.472.0171
Mobile: 208.871.2952 | Fax: 208.888.9130
<http://www.rscigroup.com>

From: Tanner Jared <tannerjared@rscigroup.com>

Sent: Tuesday, June 18, 2024 12:23 PM

To: Bill Macy <billmacy@rscigroup.com>
Subject: FW: Ketchum / SVWSD WRF Aeration Upgrades Diffusers

So we need to issue a Change Order for this to Cogent/Xylem. Do you know the credit value?

Tanner Jared, P.E.
RSCI | 333 W. Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 161 | Direct: 208.472.0161
Mobile: 208.890.7169 | Fax: 208.888.9130
<http://www.rscigroup.com>

From: Thomas, Kody <Kody.Thomas@hdrinc.com>
Sent: Tuesday, June 18, 2024 9:40 AM
To: Bill Macy <billmacy@rscigroup.com>; Tanner Jared <tannerjared@rscigroup.com>
Cc: Bjerke, Brad <brad.bjerke@hdrinc.com>
Subject: Ketchum / SVWSD WRF Aeration Upgrades Diffusers

Bill,

We are good with waiving the diffuser field testing to get the credit identified in the diffuser submittal.

Thanks,

Kody Thomas
Wastewater EIT

HDR
412 E. Parkcenter Blvd., Suite 100
Boise, ID 83706
D 208.387.7130 M 208.994.1922
kody.thomas@hdrinc.com

hdrinc.com/follow-us

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



CXT Incorporated
6701 E Flamingo Ave, Bld. 300
Nampa, ID 83687
208-800-6200

Page 1 of 1
 09/13/2024 14:19:07

Invoice

| Bill-To-Party |
|--|
| RSCI Brett Downs (208) 936-8131 invoice@rscigroup.com 333 W Rossi St, Ste 200 Boise ID 83706 |

| Ship-To-Party |
|--|
| RSCI Brett Downs (208) 936-8131 invoice@rscigroup.com 333 W Rossi St, Ste 200 Boise ID 83706 |

| Remit-To |
|---|
| Remitting by check: CXT Incorporated PO BOX 676208 DALLAS TX 75267-6208 |
| Remitting by ACH or Wire Transfer: Beneficiary: CXT Incorporated Beneficiary Bank: PNC Bank, NA Pittsburgh, PA Account: 1077766885 ABA / Routing: 043000096 |

| Information |
|---|
| Invoice No. 90086873 |
| Invoice Date 09/13/2024 |
| Delivery No. 80174374 |
| Sales Order No. 453950 |
| Customer PO No. Ketchem Proj |
| Customer 1006909 |
| Customer Name RSCI |
| Term of Payment Due upon receipt |
| Incoterm FOB Free on board |

| Item | Material/Description | Quantity | Unit Price | Value |
|---------------------------|---|----------|------------|----------|
| 10 | RM80961 CI - 30" X 4" RING/COVER BLANK | 4 EA | 1,150.00 | 4,600.00 |
| 20 | DLV164 DELIVERY - TRUCK | 1 EA | 100.00 | 100.00 |
| State Tax 6.00% | | | | 276.00 |
| Total Before Tax | | | | 4,700.00 |
| Total Tax | | | | 276.00 |
| Total Amount (USD) | | | | 4,976.00 |

L.B. Foster Standard Terms and Conditions apply to this transaction and are available on our website at:
http://www.lbfoster.com/Index_Corp_Business_Units-1.asp



To: Bidding Contractors

Date: 2/26/24

Subject: Ketchum SVWSD Water Reclamation Facility (WRF) Aeration Upgrades Project

Based on published specs, plans and addenda, Triangle Pump & Equipment is pleased to offer the following:

SECTION 41 22 23 HOISTS, TROLLEYS, AND MONORAILS

2.2 Manufactured Units

Davit crane bases (HST-307) & (HST-310)

- Qty (2) Thern 5BW20 wall mount base
- Qty (2) AN62A-6S316 SS anchor bolt kits
- Qty (2) WS25-20NS wire rope assembly

Davit cranes (HST-308), (HST-309), (HST-311), and (HST-312)

- Qty (4) Thern Captain Series Davit Crane Model 5FT25 with 3WG4B-K power winch
 - Crane includes:
 - Handle for easy 360° rotation
 - Adjust boom angle using ratchet style screw jack with Defender Coating -
 - Proprietary corrosion-resistant finish. Matte black color. Exceeds 1,000 hours of salt spray life when tested to the requirements of ASTM B117-18.
 - Adjust boom reach with boom extension
 - Welded construction of structural steel pipe and tubing
 - Red Enamel finish
 - Stainless Steel assembly hardware
 - Winch Includes:
 - 1.5 HP, 115-1-60 motor
 - Automatic internal load brake
 - 6-foot NEMA 4 pendant control and an 8ft power cord w/ grounded plug
 - Line Speed range from 9 - 16 fpm
 - Frame construction of mild steel
 - Gear reducer construction of cast aluminum

The above order Quotation is subject to Triangle Pump and Equipment Inc.'s standard terms and conditions and credit approval which are attached and made part of this agreement. We appreciate your interest in our products and services. The pricing in this quotation does not include any local, state, or federal taxes. If applicable, taxes will be included on the Invoice.



Triangle Pump & Equipment, Inc.

Quote #5497

PO Box 2890
Battle Ground, WA 98604
Ph (360)887-9530 / Fax (360)887-9540

- Pressure plate with corrosion-resistant trivalent zinc finish
 - Red Enamel finish
 - Stainless Steel fasteners to mount winch to crane
- Qty (4) Factory Load test (1 for each crane) per 1.4.A.5

Factory Load Test the 5FT25 series davit crane to 125% of rated load at position being tested, with signed test report. Thern will load test davit crane at furthest reach available on davit crane. (if load test at alternate position is required, please advise details of this requirement for Thern's review and approval)

Manufacturer's load test, with signed test report. No 3rd party involved.

Load test at Thern factory, up to 125% rated load at position being tested. Crane system being tested will consist of the crane and winch line item only. Testing of additional line items such as base, rotational bearing, base extension are not included in this test. Testing of these additional line item components can be quoted separately for an additional charge. Testing is not performed utilizing the ordered wire rope assembly.

- Qty (4) WS31-36DS, 36ft 304SS wire rope assemblies

CREDIT

Net price for all equipment above - \$56,215.00 (includes freight to jobsite)

Davit Crane Onsite Startup (pricing listed within this description):

Charge for (1) Thern Representative to be onsite for one day to adjust preinstalled crane, winch and base. The crane, winch, base, rigging and cables must be in place prior to the Thern Representatives onsite scheduled date.

Thern will provide a Davit Crane Onsite Startup plan for review and approval prior to scheduling an onsite visit.

SERVICES NOT PROVIDED:

== Product installation - Including any electrical services required

== Onsite inspection

The above order Quotation is subject to Triangle Pump and Equipment Inc.'s standard terms and conditions and credit approval which are attached and made part of this agreement. We appreciate your interest in our products and services. The pricing in this quotation does not include any local, state, or federal taxes. If applicable, taxes will be included on the Invoice.



To: Bill Macy

Date: 8/8/24

Subject: Ketchum SVWSD Water Reclamation Facility (WRF) Aeration Upgrades Project

Based on published specs, plans and addenda, Triangle Pump & Equipment is pleased to offer the following:

Revised 8/6/24

- Bases for existing Anoxic Mixer 03 Crane (HST-307) and Anoxic Mixer 04 Crane (HST-310):
 - Provide Thern 5BW20 powder-coated wall mount or equivalent for each davit crane
 - Qty (2) 5BW20 (wall mount base)
 - Qty (2) AN62A-6S (SS anchor bolt kit)
 - Qty (1) WS25-36NS (1/4" x 36ft wire rope kit)

- MLR Pump 05 Crane (HST-308), MLR Pump 06 Crane (HST-309), MLR Pump 07 Crane, (HST-311), and MLR Pump 08 Crane (HST-312):
 - Qty (1) 5FT25-M2 w/ 2W40V-BM-K worm gear hand winch/ratchet jack-red enamel finish)
 - Qty (4) AN62A-6S (SS anchor bolt kit)
 - Qty (1) WS31-36DS (5/16" x 36ft SS wire rope assy)

ADDITION

Net price - \$15,324.00 (includes freight)

Optional Factory Load Test - \$1,000

The above order Quotation is subject to Triangle Pump and Equipment Inc.'s standard terms and conditions and credit approval which are attached and made part of this agreement. We appreciate your interest in our products and services. The pricing in this quotation does not include any local, state, or federal taxes. If applicable, taxes will be included on the Invoice.



Triangle Pump & Equipment, Inc.

PO Box 2890

Battle Ground, WA 98604

Ph (360)887-9530 / Fax (360)887-9540

Quote #5497_r6

Lead time – 50-60 business days

Terms

TBD

Ty Collins

Technical Sales

ty@trianglepump.com

The above order Quotation is subject to Triangle Pump and Equipment Inc.'s standard terms and conditions and credit approval which are attached and made part of this agreement. We appreciate your interest in our products and services. The pricing in this quotation does not include any local, state, or federal taxes. If applicable, taxes will be included on the Invoice.



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

DL Electric LLC
515 W 27 S
Blackfoot, ID
83221, US
2088210101

Prepared By:
David Long
2088210101
slong1721@hotmail.com

Project: **Ketchum waste water**

Scope of Work

Extend the P311, P314 Disconnects and conduits from hand rails in the center of the two basins to the South East and South west sides of the basins so the cord for the pump doesn't extend across the entire basin.

I acknowledge in this field order to add the 120v and 480 v receptacles on the side of the basin but have not entered pricing for this, as I also know that F06 removed them.

I acknowledge F03 was to add 208v circuit breakers but i did not add them in as FO4 removes them.

Default Group

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|-----------|---------------|-------------------------------------|-------------|
| 1-1/2" pvc coated rigid | 117.21 ft | \$38.23 | \$53.92 | \$10,800.60 |
| 1-1/2" Pvc coated LB | 4 ea | \$309.47 | \$422.99 | \$2,929.82 |
| Stainless Unistrut | 36 ea | \$16.72 | \$28.03 | \$1,610.69 |
| 3#8, 1#8 GND VFD Cable | 100 ft | \$14.65 | \$7.35 | \$2,199.78 |
| Field cut unistrut Description: Cut Unistrut in the field | 5.7 hrs | \$0.00 | \$217.80 | \$1,241.46 |
| 1/4 - 20 expansion anchors, flush type Description: 1/4 - 20 expansion anchors, flush type | 72 ea | \$7.44 | \$33.41 | \$2,941.49 |
| 1-1/2" SS rigid strut strap | 26 ea | \$6.16 | \$9.33 | \$402.57 |
| | -- | \$8,481.66 | \$13,644.74 | \$22,126.41 |

Notes



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

Change Order: 1511 - 1 / Date: 11/12/2024

Summary

Cost Type

| | |
|-----------------------|--------------------|
| Labor and Adjustments | \$13,644.74 |
| Materials | \$8,481.66 |
| Subtotal | \$22,126.41 |

Taxes

| | |
|---------------------------|-----------------|
| Labor and Adjustments Tax | \$0.00 |
| Material Tax | \$508.90 |
| Total Taxes | \$508.90 |

| |
|--------------------|
| \$22,635.31 |
|--------------------|

Accepted By

Date

.....



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

Quote: 1812 / Date: 11/15/2024

DL Electric LLC
515 W 27 S
Blackfoot, ID
83221, US
2088210101

Prepared By:
David Long
2088210101
slong1721@hotmail.com

Project: **Ketchum waste water**

Scope of Work

Price is for demoing existing J box note 26 and installing a new 4x box and mounting it with the 2 other new 4x boxes. Rerouting 3- 3/4" raceways in pvc coated rigid pipe from where it comes out of the poured walkway and going up onto our rack that is being ran. Includes the extra length of pipes.

Includes moving MXR disconnect's, LCS out to the edge of the basin for both MXR-303,304-LCS.

Includes credit for Davit crane outlets, piping and wires.

Includes extras as per Jeff (box, 480v outlet)

Includes added quad receptacles on walkway note 24

J Box added note 26

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|----------|---------------|-------------------------------------|------------|
| Demo box | 1 ea | \$0.00 | \$320.76 | \$320.76 |
| Demo and Remove Conduit, electric metallic tubing (EMT), 1/2" to 1" diameter, conduit to 15' high, including fittings & hangers Description: Demo and Remove Conduit, electric metallic tubing (EMT), 1/2" to 1" diameter, conduit to 15' high, including fittings & hangers | 18.2 ft | \$0.00 | \$8.55 | \$155.65 |
| 12X12X8 Nema 4 stainless box | 1 ea | \$1,622.40 | \$664.39 | \$2,286.79 |
| 3/4" PVC Coated Rigid Conduit | 78 ft | \$17.69 | \$35.63 | \$4,158.76 |
| 3/4" SS strut strap | 12 ea | \$4.87 | \$6.80 | \$140.12 |

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|-----------------------------|----------|---------------|-------------------------------------|------------|
| 3/4" PVC coated conduit hub | 3 ea | \$93.67 | \$41.71 | \$406.14 |
| Drill hole 3/4" | 0.69 hrs | \$0.00 | \$213.84 | \$147.55 |
| | -- | \$3,341.54 | \$4,274.24 | \$7,615.78 |

MXR Pump Disconnects

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|-----------|---------------|-------------------------------------|-------------|
| 3/4" SS strut strap | 26 ea | \$4.87 | \$6.80 | \$303.60 |
| 3/4" PVC coated T | 2 ea | \$182.40 | \$228.43 | \$821.66 |
| DEEP STRUT SS | 50 ft | \$16.72 | \$27.00 | \$2,185.70 |
| 3/4" PVC coated Rigid | 136.4 ft | \$17.69 | \$35.63 | \$7,272.50 |
| # 14 Type Thhn 600 Volt Stranded Copper Building Wire | 2,312 ft | \$0.17 | \$1.30 | \$3,385.88 |
| #10 Type THHN 600 Volt Stranded Copper Building Wire Description: #10 Type THHN 600 Volt Stranded Copper Building Wire | 953.89 ft | \$0.38 | \$1.74 | \$2,027.44 |
| | -- | \$4,494.63 | \$11,502.16 | \$15,996.78 |

Added work per Jeff

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|----------|---------------|-------------------------------------|------------|
| 12X10X8 Stainless 4x box Description: stainless steel box | 1 ea | \$1,305.55 | \$532.12 | \$1,837.68 |
| Labor for drilling holes | 0.54 hrs | \$0.00 | \$218.59 | \$118.04 |
| FS/FD BOX 2 G | 1 ea | \$91.58 | \$180.54 | \$272.12 |
| box weather proof cover | 1 ea | \$45.20 | \$25.00 | \$70.20 |
| 30a 480v Circuit Breaker Description: Breaker | 1 ea | \$76.21 | \$113.02 | \$189.23 |
| #8 Type THHN 600 Volt Stranded Copper Building Wire Description: #8 Type THHN 600 Volt Stranded Copper Building Wire | 429 ft | \$0.71 | \$1.98 | \$1,153.67 |
| | -- | \$1,822.28 | \$1,818.65 | \$3,640.94 |

Credit on Davit Outlets



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

Quote: 1812 / Date: 11/15/2024

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|----------|---------------|-------------------------------------|------------|
| FS/FD box 1 gang | 6 ea | \$62.81 | \$165.40 | \$1,369.28 |
| box weather proof cover | 6 ea | \$45.20 | \$25.00 | \$421.23 |
| 20 Amp GFCI duplex | 2 ea | \$33.36 | \$34.74 | \$136.21 |
| 3/4" PVC coated Rigid | 106 ft | \$17.69 | \$35.63 | \$5,651.65 |
| #12 Type THHN 600 Volt Stranded Copper Building Wire Description: #12 Type THHN 600 Volt Stranded Copper Building Wire | 644 ft | \$0.25 | \$1.52 | \$1,139.26 |
| 3/4" SS strut strap | 10 ea | \$4.87 | \$6.80 | \$116.77 |
| | -- | \$2,800.73 | \$6,033.66 | \$8,834.39 |

Quad Receptacles note 24

| | Quantity | Material Cost | Labor Cost and/or Adjustments | Total Cost |
|---|-----------|---------------|-------------------------------------|------------|
| 3/4" PVC coated Rigid | 134.63 ft | \$17.69 | \$35.63 | \$7,177.88 |
| FS/FD 2 gang box | 2 ea | \$91.58 | \$180.54 | \$544.24 |
| 20 Amp duplex GFCI | 4 ea | \$33.36 | \$34.74 | \$272.42 |
| box weather proof cover | 2 ea | \$45.20 | \$25.00 | \$140.41 |
| #8 Type THHN 600 Volt Stranded Copper Building Wire Description: #8 Type THHN 600 Volt Stranded Copper Building Wire | 550.7 ft | \$0.71 | \$1.98 | \$1,480.96 |
| | -- | \$3,178.17 | \$6,437.74 | \$9,615.91 |

Notes



DL ELECTRIC

COMMERCIAL INDUSTRIAL RESIDENTIAL

Quote: 1812 / Date: 11/15/2024

Summary

Cost Type

| | |
|-----------------------|--------------------|
| Labor and Adjustments | \$30,066.45 |
| Materials | \$15,637.35 |
| Discount | -\$8,866.54 |
| Subtotal | \$36,837.26 |

Taxes

| | |
|---------------------------|-----------------|
| Labor and Adjustments Tax | \$0.00 |
| Material Tax | \$756.22 |
| Total Taxes | \$756.22 |

| |
|--------------------|
| \$37,593.48 |
|--------------------|

Accepted By

Date

.....

Bill Macy

From: Russell Freeman <russell@desertsagewallsystems.com>
Sent: Monday, July 1, 2024 1:29 PM
To: Bill Macy; Ryan Sullivan
Cc: Frank Freeman; Tanner Jared
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Bill,

The value of the requested additional patch & repair work is \$1,500.00.

If you have any questions, please reach out to Frank, as he is the one who put this together, and I am just passing the message along.

Thank you,

Russell Freeman
Desert Sage Wall Systems, LLC.
3901 Skyway Street
Caldwell, ID 83605
(208) 454-6461
(208) 454-9521 (FAX)
(208) 989-8783 (CELL)
russell@desertsagewallsystems.com
<http://www.desertsagewallsystems.com>

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From: Bill Macy <billmacy@rscigroup.com>
Sent: Friday, June 28, 2024 4:28 PM
To: Russell Freeman <russell@desertsagewallsystems.com>; Ryan Sullivan <ryan@rscigroup.com>
Cc: Frank Freeman <frank@desertsagewallsystems.com>; Tanner Jared <tannerjared@rscigroup.com>
Subject: RE: 568 - Ketchum SVWSSD WRF Aeration Upgrades Project - Subcontract 568-004 - EIFs - AWARD

Hi Russell/Frank,

Any updates on the below request? We would like to get this submitted to the owner early next week for review.

Let me know if you have any questions.

Thanks,

Bill Macy

RSCI | 333 W Rossi, Suite 200 | Boise, ID 83706
Office: 208.887.1401 ext. 171 | Direct 208.472.0171
Mobile: 208.871.2952 | Fax: 208.888.9130



SECO CONSTRUCTION SUPPLY



Invoice

| | | | |
|---------------------|-----------------|-------------------|------------------|
| Invoice Date | Due Date | Customer # | Invoice # |
| 8/8/24 | 9/7/24 | 7727 | 1017148-00 |
| PO Date | PO # | Job Name | Page # |
| 7/31/24 | Ketchum | Quote | 1 |

| |
|--|
| Bill To |
| R S C I Record Steel & Construction 333 W Rossi St., Ste #200 Boise, ID 83706 |

| |
|--|
| Ship To |
| R S C I Record Steel & Construction 333 W Rossi St., Ste #200 Boise, ID 83706 |

| |
|--|
| Correspondence To |
| Sealant Specialists, P.O. Box 3794, Seattle, WA 98124-3794 |

Instructions

| Ship Point | Via | Shipped | Terms | Package ID |
|--------------------------|-----|---------|--------|------------|
| John Latta Assoc - Boise | | 8/8/24 | Net 30 | |

Notes

| Line | Product and Description | Order Quantity | Backorder Quantity | Shipped Quantity | Qty UM | Unit Price | Price UM | Discount Multiplier | Amount(Net) |
|------|--|----------------|--------------------|------------------|--------|------------|----------|---------------------|-------------|
| 1 | WILLSEAL 600S 2 x 2 2" x 2" x 7' Roll | 6.00 | 0.00 | 6.00 | EA | 201.39 | EA | 0.00 | 1,208.34 |

| | | | | |
|----------------------|--------------------------|-------------|--|-----------------|
| 1 Lines Total | Qty Shipped Total | 6.00 | Subtotal | 1,208.34 |
| | | | Freight In | 52.25 |
| | | | Taxes | 72.50 |
| | | | Total | 1,333.09 |
| | | | Cash Discount 0.00 If Paid Within Terms | |

Please remit **ALL** payments to:
JLA Supply, Inc.
PO BOX 3794 • Seattle, WA 98124
 Direct all billing inquiries to: AR@JLASupply.com
 Contact Accounts Receivable at (971) 315-0625

JLA Supply

100% EMPLOYEE OWNED



SECO CONSTRUCTION SUPPLY



Invoice

| | | | |
|---------------------|-----------------|-------------------|------------------|
| Invoice Date | Due Date | Customer # | Invoice # |
| 8/8/24 | 9/7/24 | 7727 | 1017148-00 |
| PO Date | PO # | Job Name | Page # |
| 7/31/24 | Ketchum | Quote | 1 |

Bill To

R S C I
Record Steel & Construction
333 W Rossi St., Ste #200
Boise, ID 83706

Ship To

R S C I
Record Steel & Construction
333 W Rossi St., Ste #200
Boise, ID 83706

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Direct all billing inquiries to: AR@JLASupply.com
Contact Accounts Receivable at (971) 315-0625

| | | |
|---------------------------|---|---|
| Report Selections: | Job: 568 | Job Status: Active |
| | Phase: 028* | Phase Status: Active, Inactive, Complete |
| | Cost Type: L | Division: ALL |
| | Tran. Type: AP, EQ, GL, IC, JC, PR, OH | Customer: ALL |
| | Vendor: ALL | Draw Appl. #: ALL |
| | Employee: ALL | A/P Contract Labor Hours? No |
| | Inv. Item: ALL | Master Job? No |

Record Steel & Construction
Job Cost History Report From Inception To 11/16/24
Including P.O. Receipts

| UnPosted? | | | | | | | | Unit of Measure | |
|---------------------------------------|-----------|-----------|-------------|------------------------|-------|----------|--------|-----------------|--|
| Date | Tran Type | Reference | Description | Additional Information | Hours | Quantity | Amount | | |
| Job: 568 KETCHUM WWTP AERATION | | | | | | | | | |

Phase: 02-801 DRAIN AB4 ASSIST Cost Type: L LABOR

| | | | | | | | | | |
|----------|----|------------------------|-----------------|--|------|--|--------|--|--|
| 07/08/24 | PR | DAHGRA | GRANT R DAHL | | 4.00 | | 112.00 | | |
| 07/08/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 4.00 | | 136.00 | | |
| 07/08/24 | PR | ROSJOS | JOSE G ROSAS-J | | 4.00 | | 112.00 | | |

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Job Cost History Report From Inception To 11/16/24
Including P.O. Receipts

UnPosted?

Unit of Measure

| Date | Tran Type | Reference | Description | Additional Information | Hours | Quantity | Amount |
|---|-----------|------------------------|-----------------|------------------------|--------------|----------|--------|
| Job: 568 KETCHUM WWTP AERATION | | | | | | | |
| Phase: 02-801 DRAIN AB4 ASSIST Cost Type: L LABOR | | | | | | | |
| 07/10/24 | PR | DAHGRA | GRANT R DAHL | | 8.00 | | |
| 07/10/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 8.00 | | |
| 07/10/24 | PR | ROSJOS | JOSE G ROSAS-J | | 8.00 | | |
| Subtotal for Phase: 02-801 DRAIN AB4 ASSIST Cost Type: L LABOR | | | | | 36.00 | | |
| Phase: 02-802 GRIT REMOVAL Cost Type: L LABOR | | | | | | | |
| 07/24/24 | PR | DAHGRA | GRANT R DAHL | | 10.00 | | |
| 07/24/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 10.00 | | |
| 07/24/24 | PR | ROSJOS | JOSE G ROSAS-J | | 10.00 | | |
| 07/25/24 | PR | DAHGRA | GRANT R DAHL | | 10.00 | | |
| 07/25/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 10.00 | | |
| 07/25/24 | PR | ROSJOS | JOSE G ROSAS-J | | 10.00 | | |
| 07/26/24 | PR | DAHGRA | GRANT R DAHL | | 2.00 | | |
| 07/26/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 2.00 | | |
| 07/26/24 | PR | ROSJOS | JOSE G ROSAS-J | | 2.00 | | |
| Subtotal for Phase: 02-802 GRIT REMOVAL Cost Type: L LABOR | | | | | 66.00 | | |
| Phase: 02-803 DRAIN AB3 ASSIST Cost Type: L LABOR | | | | | | | |
| 07/23/24 | PR | DAHGRA | GRANT R DAHL | | 2.50 | | |
| 07/23/24 | PR | LOPJJR | JOSE R LOPEZ JR | | 2.50 | | |
| 07/23/24 | PR | ROSJOS | JOSE G ROSAS-J | | 2.50 | | |
| Subtotal for Phase: 02-803 DRAIN AB3 ASSIST Cost Type: L LABOR | | | | | 7.50 | | |

43.5 hr

Mick Mummert

From: Bjerke, Brad <Brad.Bjerke@hdrinc.com>
Sent: Thursday, January 23, 2025 2:57 PM
To: Trent Donat
Cc: Mick Mummert; Tanner Jared; Thomas, Kody
Subject: RSCI_Aeration Upgrades_Change Order No #1
Attachments: RSCI_Aeration Upgrades_Change Order No. 01.pdf

Trent,

Please find attached Change Order No. 1 for the Aeration Upgrades. The items represents a few unknown site conditions but generally are improvements to the project. We have thoroughly reviewed the changes and find the items are priced appropriately and fairly. Change order #1 cost is about 1.4% of the total contract amount. The signed version is ready for Ketchum Council and SVWSD Board signatures. Please return the fully executed change order forms to RSCI and HDR.

Let us know if you have any questions regarding the change order.

Thanks,

Brad Bjerke, PE (ID,OR,WA,UT,MN)
Senior Project Manager

HDR

412 E. Parkcenter Blvd., Suite 100
Boise, ID 83706
D 208.387.7073 M 208.841.3822
brad.bjerke@hdrinc.com

hdrinc.com/follow-us



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: February 3, 2025 Staff Member/Dept: Rian Rooney / Housing

Agenda Item: Ownership and Preservation Program Policy Update

Recommended Motions:

“I move to approve the updates to the Ownership and Preservation Program Policies, as reflected in the draft attached to the staff report packet.”

Reasons for Recommendation:

- The Ownership and Preservation Program (OPP) has been active for one year and has shown initial success (3 transactions) with little marketing. Initial policies were adopted after significant engagement with stakeholders and Council over more than a year.
- The proposed, minor adjustments to the OPP policies clarify language to align with current implementation practices and limit discrepancies between the program and Blaine County Housing Authority’s own Administrative Policies.

Policy Analysis and Background (non-consent items only):

Goal 1: Create + Preserve Housing
Action: Pathway to Ownership
Ownership and Preservation Program

At the January 21, 2025 Council Meeting, staff provided a year 1 update on the status of the Ownership and Preservation Program, including information on funds spent and committed to date, size and type of units restricted, and application data. The program is currently limited to use on properties located within the City of Ketchum municipal boundary. The Council provided staff general direction to not change significant program parameters – like location – at this time, with the suggestion that further review of the program should occur in alignment with budget discussions, when additional data will be available.

Staff is ready to begin a marketing push to educate the community on the program opportunity, given the limited marketing that occurred with the program launch in January 2024.

Proposed Updates to Policies
 Staff is recommending minor amendments to the Ownership and Preservation Program policies for clarity and to align with existing practices and BCHA policies. The proposed changes make direct reference to the most current BCHA policies for qualifying for purchase of community housing, ensuring that the latest requirements will carry over to the OPP when any amendments are made to BCHA’s policies. This simplifies program administration and communication with interested applicants for multiple programs.

Next Steps

Staff will initiate the broader marketing effort to increase awareness of the Ownership and Preservation Program and engage local lenders and real estate professional on the OPP.

Staff will return to present findings and program data over the summer, in alignment with budget conversations, to review policies and program funding.

Sustainability Impact:

Community housing houses members of the community locally, ensuring that residents are closer to their places of work, recreation, and other services. This proximity helps to decrease transportation time and reduce vehicle-related emissions associated with commuting to and from work from outside of the community.

Additionally, the proposed Ownership and Preservation program converts existing housing units into community housing, utilizing existing housing stock, land, and resources.

Financial Impact:

| | |
|--|---|
| None OR Adequate funds exist in account: | The Ownership and Preservation Program is funded with \$1 million in the FY25 budget. |
|--|---|

Attachments:

1. Draft Ownership and Preservation Program Policy amendments, with redlined changes shown
2. Draft Ownership and Preservation Program policy, clean

Ketchum Ownership and Preservation Pilot Program

Program Description and Policies

1 PILOT PROGRAM OVERVIEW

The Ownership and Preservation Program (the “Program”), offers cash incentives to homeowners in exchange for recording a deed-restriction on their property to restrict ownership and occupancy of the housing unit to qualified local employees, local seniors, and local disabled persons s-working-and/or-living-within-the-geographic-boundaries-of-Blaine-County, Idaho. The goals of the program are to assist community members in accessing homeownership, to help existing local homeowners remain in the community, and to preserve the supply and prevent leakage of housing available for ownership by locals and local workers. The Program includes two program options, which provide different deed-restriction terms and corresponding cash incentive values.

2 PROGRAM DEFINITIONS

(a) Category Local: A community housing classification which does not have an income limit but requires that an occupant household meet certain net worth and/or asset limits and the Basic Qualifications for Community Housing, as defined by the latest adopted version of the Blaine County Housing Authority Community Housing Administrative Guidelines-Policies (“BCHA GuidelinesPolicies”). Such definition and classification may be updated from time to time by Blaine County Housing Authority.

(b) Housing Unit: A housing unit is a single-family house, townhome, or condominium, that is intended for occupancy living quarters and can be owned individually. It does not include multi-family rental units, accessory dwelling units, or commercial lodging units.

(c) Property Owner: The individual(s) or legal entity that holds fee title to the property, as reflected on the recorded documents.

(d) Qualified Household: A Qualified Household is any group of individuals living together in one home as their sole and primary residence, meeting the Basic Qualifications for Purchase of Community Housing, as defined and described in the latest adopted version of the Blaine County Housing Authority Community Housing Administrative Policies and meeting the following criteria: -the following criteria:

- a. At least one non-dependent member of the Qualified Household must be a Full Time employee, as defined in the BCHA Guidelines, employed by one or more Blaine County employers and physically working in Blaine County, or the Household must meet one of the following exemptions:
 - i. The Household consists of one or more retired persons over the age of 65 who was a full-time employee of an entity located within Blaine County, Idaho or self-employed immediately prior to retirement and for not less than ten (10) out of the fifteen (15) years prior to qualification, and continued living as a full-time resident within Blaine County following their retirement.
 - ii. The Household consists of one or more persons unable to work

or who does not have a work history due to qualifying for disability as defined by the Americans with Disabilities Act

(ADA) and who currently resides in Blaine County as their Primary Residence.

- iii. ~~The Household consists of one non-dependent adult who is either a full-time, single parent or guardian of a child under the age of 4 or a full-time, informal caregiver of a child or an adult with a disability. This exemption is subject to review and approval by the Blaine County Housing Authority Board.~~
- iv. ~~A member of the Household is a full-time teacher at a school located within Blaine County.~~
- v. ~~A member of the Household actively serving in the U.S. Armed Services counts as full-time employment in Blaine County, Idaho if that member of the Household met employment criteria for a minimum of two years prior to enlisting and if the individual has returned to employment in Blaine County within sixty (60) days of terminating enlistment with the U.S. Armed Services.~~
- vi. ~~If a member of the Household is self-employed, either 75% of the clients and customers of the business or organization must be or 75% of the total revenues must be from clients and customers physically located in Blaine County, Idaho. The self-employed member must work a minimum of 1,500 hours per year.~~

~~b.a.~~ b.a. At least one (1) member of the Household must be eighteen (18) years of age.

~~e.b.~~ e.b. No member of the Household may own developed residential real estate or a mobile home other than the housing unit that serves or will serve as the Household's primary residence and will be subject to a Category Local deed-restriction upon participation in the Program. ~~However, ownership of shared inheritance of developed residential real estate will not disqualify the Household and may be reviewed by the Blaine County Housing Authority Board.~~ Ownership of developed residential real estate outside of Blaine County will not disqualify a Household at the time of application from receiving a Qualification Letter, but Funding Disbursement ~~may~~ will be withheld until the Household has ceased ownership of the property.

~~d.~~ d. ~~The Household Net Worth (the total net worth of all members of the Household) must not exceed the Allowable Net Worth or Allowable Net Worth of Persons of Retirement Age, which shall be 65 years of age for this program, depending on household composition, specified for Category Local and updated annually by the Blaine County Housing Authority.~~

3 PROGRAM ADMINISTRATION

The City will administer the Program with support from the Blaine County Housing Authority.

City of Ketchum Role: The City will oversee and fund the Program and establish and modify these Program Policies.

Blaine County Housing Authority Role: The Blaine County Housing Authority will function as the administrator of all Category Local deed_covenants recorded as part of the Program. The Blaine County Housing Authority will also be responsible for review of applications, compliance, and reporting to the City.

4 PROGRAM FUNDING

4.1 Funding Amounts

The City will provide 15% to 30% of the appraised value of the housing unit or, in the event the housing unit is being purchased, the purchase price, whichever is less. Funding percentages will be commensurate with the requested program option and corresponding deed-restriction, as follows:

Program Option 1: The City will provide 30% of the appraised value of the housing unit or purchase price, whichever is less. The Category Local deed-restriction will have an appreciation cap (defined in section 6). Funding will not exceed \$225,000 [per deed restriction](#).

Program Option 2: The City will provide 15% of the appraised value of the housing unit or purchase price, whichever is less. The Category Local deed-restriction will not have an appreciation cap. Funding will not exceed \$125,000 [per deed restriction](#).

4.2 Funding Disbursement

Funds will not be disbursed until Final Approval, which will not occur until the following conditions have been satisfied:

- a. **Title Company.** Closing must take place at a title company.
- b. **Appraisal.** A complete appraisal dated within sixty days must be submitted to the City prior to final approval.
- c. **Home Inspection.** A professional home inspector must perform an inspection and complete and submit a home inspection report to the City dated within sixty days prior to closing.
- d. **Title Insurance.** The buyer or owner must provide title insurance to insure clear title to the property prior to recording the deed-restriction.
- e. **Approval of Closing Statement.** The final closing statement must be reviewed and approved.
- f. **Final Loan Approval.** If applicable, a letter from any mortgagee stating that the buyer has received final loan approval for financing of the purchase of the housing unit.
- g. **Category Local Ownership Deed Restriction.** The buyer or owner must execute the applicable Category Local Ownership deed restriction and

corresponding Program Mortgage. The Title Company will record the applicable deed restriction and Program Mortgage at time of closing.

- h. Closing Instructions.** The City will provide instructions to the title company concerning required signatures, recording of documents, and disbursement of funds.

4.3 Use of Funds

There are no restrictions on recipients' use of the Ownership and Preservation Program funds. Funds may be used toward down payment and closing costs or for any other purpose.

5 ELIGIBILITY & REQUIREMENTS

5.1 Program Application and Documentation

Applicants must submit a complete copy of the application for participation in the Ownership and Preservation Program through the Blaine County Housing Authority. Applicants participating in the program to purchase a home and who have not previously owned a home must also provide evidence of completion of the BCHA-approved Homebuyer Education Course prior to qualification.

The application will be reviewed and additional documentation may be required following the procedures of the Blaine County Housing Authority Community Housing Administrative GuidelinesPolicies. If the applicant is approved, a Qualification Letter will be issued to the applicant. The Qualification Letter is good for six months and may be updated and reissued at the request of the applicant upon providing current documentation of program qualification. All applicable qualification criteria must continue to be met by the applicant through the closing of qualified housing with available Program funds. Any changes to the information that was included in the application must be reported to the City and BCHA and may require re-qualification and issuance of a new Qualification Letter prior to Final Approval and commitment of funds.

5.2 Housing Unit Eligibility & Requirements

To participate in the Program, Housing Units must meet the following requirements.

- (a) Location: The Housing Unit must be located within the city limits of the City of Ketchum.
- (b) Status: The Housing Unit must be a legally permitted dwelling unit and not have any known code violations or open code violation cases.
- (c) Eligible Properties: The Housing Unit must be a single-family house, condominium, or townhome, that is not otherwise deed-restricted or otherwise restricted for local occupancy or affordability.
- (d) Property Condition: The Housing Unit must meet basic health and safety criteria as may be required per Idaho law and regulations.

5.3 Applicant Eligibility and Requirements

Property Owners who participate in the program must meet the following requirements and follow the applicable requirements and policies of the Blaine County Housing Authority Community Housing [Administrative GuidelinesPolicies](#).

(a) Qualified Household: The Property Owner must be a member of a Qualified Household, as defined in Section 2.

(b) Ongoing Obligations for Community Homeownership: The Property Owner must comply with all provisions of the recorded Category Local deed covenant and adhere to the ongoing obligations and requirements for Community Homeownership described in the most recently adopted Blaine County Housing Authority Community Housing Administrative [GuidelinesPolicies](#). Where the requirements of the recorded Category Local deed covenant and the Blaine County Housing Authority Community Housing Administrative [Guidelines-Policies](#) may conflict, the requirements of the deed covenant shall govern. Property Owner is required to annually submit information verifying compliance with [program-deed restriction and policy](#) criteria.

6 RESTRICTED HOUSING UNIT REQUIREMENTS

Housing units will be deed-restricted with a Category Local ownership covenant, using the template provided by the City of Ketchum. [Once Restricted, households and](#) housing units will meet the following requirements, consistent with the Category Local deed-restriction template and the BCHA Guidelines:

- a. **Owner Occupied.** The restricted housing unit will be owner occupied year-round, consistent with the minimum occupancy terms of the BCHA Guidelines.
- b. **Rental.** Rental of a Category-Local ownership deed-restricted housing unit will follow the [most recently adopted](#) BCHA [Guidelines-Policies](#) for Long-Term Rental of Community Housing. No portion of the home may be used as a short-term or vacation rental.
- c. **Deed-Restriction Term.** The deed-restriction will last 70 years unless sold to a new Qualified Household or as determined in the [Deed-Restrictiondeed restriction](#). At [closingtransfer of the home to a new owner](#), a new deed- restriction will be recorded [with a new term](#).
- d. **Appreciation.** Appreciation of the value of the restricted housing unit depends on the elected program option and corresponding deed restriction.
 - i. **Program Option 1: Appreciation cap.** Appreciation of the value of the restricted housing unit is equal to the previous sales price, or the appraised value at the time the restriction is recorded if there is no transaction, plus any increase in the cost of living during the Property Owner's ownership of the property, as determined by the Consumer Price Index, Wage Earners and Clerical Workers (CPI-W), [Mountain Division](#), All Items (2017-1982-1984 = 100) published by the Bureau of Labor Statistics, United States Department of Labor. Annual appreciation shall not exceed [an average of](#) 3% per annum. Funds contributed by the City as part of the Program will be subtracted from the [initial-established market value at the time of restriction to determine the](#) base price [for calculating appreciation](#).
 - ii. **Program Option 2: No cap.** Appreciation of the value of the restricted housing unit is not limited. The housing unit may be sold at any price to a Qualified Household.

- e. **Sale.** Sale of a deed-restricted Category Local ownership housing unit will follow Blaine County Housing Authority Community Housing Administrative [Guidelines-Policies](#) for Selling Community Housing. [Marketing of a "Program Option 2" non-appreciation capped unit will be the responsibility of the Owner, however, the City and/or BCHA must review and approve any buyer to ensure they are a Qualified Household prior to closing.](#)
- f. **Change of Ownership:** If the Housing Unit changes ownership during the effective period of the deed _restriction, the deed _restriction remains intact and will be re-recorded. The new owner must be a Qualified Household and is subject to the terms of the new, recorded deed _restriction.

7 PROGRAM DURATION

~~(a) The Program is a two-year pilot that starts on 9/1/2023. If the Council takes no action to extend or renew this program, it shall automatically expire on 8/31/2025.~~

~~(b)(a)~~ City staff will review program progress and provide periodic updates and recommendations to the City Council regarding the continuance of and/or modifications to the Program.

At a minimum, at least ~~three~~ two (32) months before the end of the ~~pilot term~~ fiscal year, City staff will provide a report to the City Council using the following criteria to measure success of the program:

- i. Number of people served (including children)
- ii. Number of housing units preserved
- iii. Types/Sizes of units preserved
- iv. Sales prices of each home preserved
- v. Income of program participants
- vi. Funds expended and funds remaining
- vii. Barriers to participation/eligibility for the program

Ketchum Ownership and Preservation Pilot Program

Description and Policies

1 PILOT PROGRAM OVERVIEW

The Ownership and Preservation Program (the “Program”), offers cash incentives to homeowners in exchange for recording a deed-restriction on their property to restrict ownership and occupancy of the housing unit to qualified local employees, local seniors, and local disabled persons. The goals of the program are to assist community members in accessing homeownership, to help existing local homeowners remain in the community, and to preserve the supply and prevent leakage of housing available for ownership by locals and local workers. The Program includes two program options, which provide different deed restriction terms and corresponding cash incentive values.

2 PROGRAM DEFINITIONS

(a) Category Local: A community housing classification which does not have an income limit but requires that an occupant household meet certain net worth and/or asset limits and the Basic Qualifications for Community Housing, as defined by the latest adopted version of the Blaine County Housing Authority Community Housing Administrative Policies (“BCHA Policies”). Such definition and classification may be updated from time to time by Blaine County Housing Authority.

(b) Housing Unit: A housing unit is a single-family house, townhome, or condominium, that is intended for occupancy living quarters and can be owned individually. It does not include multi-family rental units, accessory dwelling units, or commercial lodging units.

(c) Property Owner: The individual(s) or legal entity that holds fee title to the property, as reflected on the recorded documents.

(d) Qualified Household: A Qualified Household is any group of individuals living together in one home as their sole and primary residence, meeting the Basic Qualifications for Purchase of Community Housing, as defined and described in the latest adopted version of the Blaine County Housing Authority Community Housing Administrative Policies and meeting the following criteria:

- a. At least one (1) member of the Household must be eighteen (18) years of age.
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application from receiving a Qualification Letter, but Funding Disbursement will be withheld until the Household has ceased ownership of the property.

- c. The Household shall, at a minimum, meet Blaine County Housing Authority's Category Local definition, including compliance with the latest published asset and/or net worth limits.

3 PROGRAM ADMINISTRATION

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City of Ketchum Role: The City will oversee and fund the Program and establish and modify these Program Policies.

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- (b) Status: The Housing Unit must be a legally permitted dwelling unit and not have any known code violations or open code violation cases.
- (c) Eligible Properties: The Housing Unit must be a single-family house, condominium, or townhome, that is not otherwise deed-restricted or otherwise restricted for local occupancy or affordability.
- (d) Property Condition: The Housing Unit must meet basic health and safety criteria as may be required per Idaho law and regulations.

5.3 Applicant Eligibility and Requirements

Property Owners who participate in the program must meet the following requirements and follow the applicable requirements and policies of the Blaine County Housing Authority Community Housing Administrative Policies.

- (a) Qualified Household: The Property Owner must be a member of a Qualified Household, as defined in Section 2.
- (b) Ongoing Obligations for Community Homeownership: The Property Owner must comply with all provisions of the recorded Category Local deed covenant and adhere to the ongoing obligations and requirements for Community Homeownership described in the most recently adopted Blaine County Housing Authority Community Housing Administrative Policies. Where the requirements of the recorded Category Local deed covenant and the Blaine County Housing Authority Community Housing Administrative Policies may conflict, the requirements of the deed covenant shall govern. Property Owner is required to annually submit information verifying compliance with deed restriction and policy criteria.

6 RESTRICTED HOUSING UNIT REQUIREMENTS

Housing units will be deed-restricted with a Category Local ownership covenant, using the template provided by the City of Ketchum. Once restricted, households and housing units will meet the following requirements, consistent with the Category Local deed-restriction template and the BCHA Guidelines:

- a. Owner Occupied.** The restricted housing unit will be owner occupied year-round, consistent with the minimum occupancy terms of the BCHA Guidelines.
- b. Rental.** Rental of a Category Local ownership deed-restricted housing unit will follow the most recently adopted BCHA Policies for Long-Term Rental of Community Housing. No portion of the home may be used as a short-term or vacation rental.
- c. Deed Restriction Term.** The deed restriction will last 70 years unless sold to a new Qualified Household or as determined in the deed restriction. At transfer of the home to a new owner, a new deed restriction will be recorded with a new term.
- d. Appreciation.** Appreciation of the value of the restricted housing unit depends on

the elected program option and corresponding deed restriction.

- i. Program Option 1: Appreciation cap.** Appreciation of the value of the restricted housing unit is equal to the previous sales price, or the appraised value at the time the restriction is recorded if there is no transaction, plus any increase in the cost of living during the Property Owner's ownership of the property, as determined by the Consumer Price Index, Wage Earners and Clerical Workers (CPI-W), , All Items (1982-1984 = 100) published by the Bureau of Labor Statistics, United States Department of Labor. Annual appreciation shall not exceed an average of 3% per annum. Funds contributed by the City as part of the Program will be subtracted from the established market value at the time of restriction to determine the base price for calculating appreciation.
 - ii. Program Option 2: No cap.** Appreciation of the value of the restricted housing unit is not limited. The housing unit may be sold at any price to a Qualified Household.
- e. Sale.** Sale of a deed-restricted Category Local ownership housing unit will follow Blaine County Housing Authority Community Housing Administrative Policies for Selling Community Housing. Marketing of a "Program Option 2" non-appreciation capped unit will be the responsibility of the Property Owner, however, the City and/or BCHA must review and approve any buyer to ensure they are a Qualified Household prior to closing.
- f. Change of Ownership:** If the Housing Unit changes ownership during the effective period of the deed restriction, the deed restriction remains intact and will be re-recorded. The new owner must be a Qualified Household and is subject to the terms of the new, recorded deed restriction.

7 PROGRAM DURATION AND REPORTING

City staff will review program progress and provide periodic updates and recommendations to the City Council regarding the continuance of and/or modifications to the Program.

At a minimum, at least two (2) months before the end of the fiscal year, City staff will provide a report to the City Council using the following criteria to measure success of the program:

- i. Number of people served (including children)
- ii. Number of housing units preserved
- iii. Types/Sizes of units preserved
- iv. Sales prices of each home preserved
- v. Income of program participants
- vi. Funds expended and funds remaining
- vii. Barriers to participation/eligibility for the program



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: February 3, 2025 Staff Member/Dept: Robyn Mattison/City Engineer

Agenda Item: Recommendation to Approve Right-of-Way Encroachment Agreement 25945 for placement of pavers in the public right-of-way on Broadway Blvd.

Recommended Motion:

I move to authorize the Mayor to sign Right-of-Way Encroachment Agreement 25945 between the City and Chad Scott Graves Revocable Living Trust Dated 5-17-17, owner of 429 Broadway Blvd.

Reasons for Recommendation:

- The improvements will not impact the use or operation of Broadway Blvd.
- The improvements will not impact drainage or snow removal within the public right-of-way.
- The project complies with all standards for Right-of-Way Encroachment Permit issuance specified in Ketchum Municipal Code §12.12.060.

Policy Analysis and Background (non-consent items only):

The project proposes to resurface an existing driveway with concrete pavers. Placement of the pavers are within the same footprint of the existing driveway.

Pursuant to Ketchum Municipal Code §12.12.040.C, a Right-of-Way Encroachment Permit is required for any permanent encroachment of the public right-of-way where a permanent fixture to the ground or a building will occur. The associated Right-of-Way Encroachment Agreement is intended to help protect the City in the event the proposed encroachments were to ever pose an issue requiring repair, relocation, or removal of the encroachment. The standards for issuance of a Right-of-Way Encroachment Permit are specified in Ketchum Municipal Code §12.12.060. The encroachments proposed for the Exhibition Blvd project complies with all standards.

Sustainability Impact:

None OR state impact here: None

Financial Impact:

None OR Adequate funds exist in account: None

Attachments:

1. Right-of-Way Encroachment Agreement 25945
2. Exhibit "A"

WHEN RECORDED, PLEASE RETURN TO:

**OFFICE OF THE CITY CLERK
CITY OF KETCHUM
POST OFFICE BOX 2315
KETCHUM, IDAHO 83340**

RIGHT-OF-WAY ENCROACHMENT AGREEMENT 25945

THIS AGREEMENT, made and entered into this ____ day of _____, 2025, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho and Chad Graves, as trustee for the Chad Scott Graves Revocable Living Trust Dated 5-17-17, (collectively referred to as "Owner"), whose address is 372 S Eagle Rd Ste 389, Eagle ID 83616.

RECITALS

WHEREAS, Owner wishes to permit placement of a paver driveway within the right of way at 429 Broadway Blvd, legal description SUN VALLEY SUB 1ST ADD REV AM LOT 11A BLK 5. These improvements are shown in Exhibit "A" attached hereto and incorporated herein (collectively referred to as the "Improvements"); and,

WHEREAS, Ketchum finds that said Improvements will not impede the use of said public right-of-way at this time subject to the terms and provisions of this Agreement;

WHEREAS, the Owner will restore the landscaping back to the original condition acceptable to the Streets and Facilities Director;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

TERMS AND CONDITIONS

1. Ketchum shall permit Owner to resurface an existing driveway with concrete pavers, as identified in Exhibit "A", within the public right-of-way on Broadway Blvd, until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.
2. Owner shall be responsible for the maintenance of said Improvements and shall repair said improvements within 48 hours upon notice from Ketchum that repairs are needed. Any modification to the improvements identified in Exhibit "A" shall be approved by the City prior to any modifications taking place.
3. Owner shall be responsible for restoring the landscaping that is altered due to the installation and removal of the Improvements, to the satisfaction of the Director of Streets and Facilities.
4. In consideration of Ketchum allowing Owner to maintain the Improvements in the public right-of-way, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the

Improvements constructed, installed and maintained in the public right-of-way. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

5. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public right-of-way.

6. Owner understands and agrees that by maintaining the Improvements in the public right-of-way pursuant to this Agreement, Owner obtains no claim or interest in said public right-of-way which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public right-of-way nor any other right to use the public right-of-way not specifically described herein.

7. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

8. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

9. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

10. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

11. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

12. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.

OWNER:

CITY OF KETCHUM:

By: _____
Chad Graves, Trustee
Chad Scott Graves Revocable Living
Trust Dated 5-17-17

By: _____
Neil Bradshaw
Its: Mayor

STATE OF _____,)
County of _____,) ss.

On this ____ day of _____, 2025, before me, the undersigned Notary Public in and for said State, personally appeared _____, known to me to be the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public for _____
Residing at _____
Commission expires _____

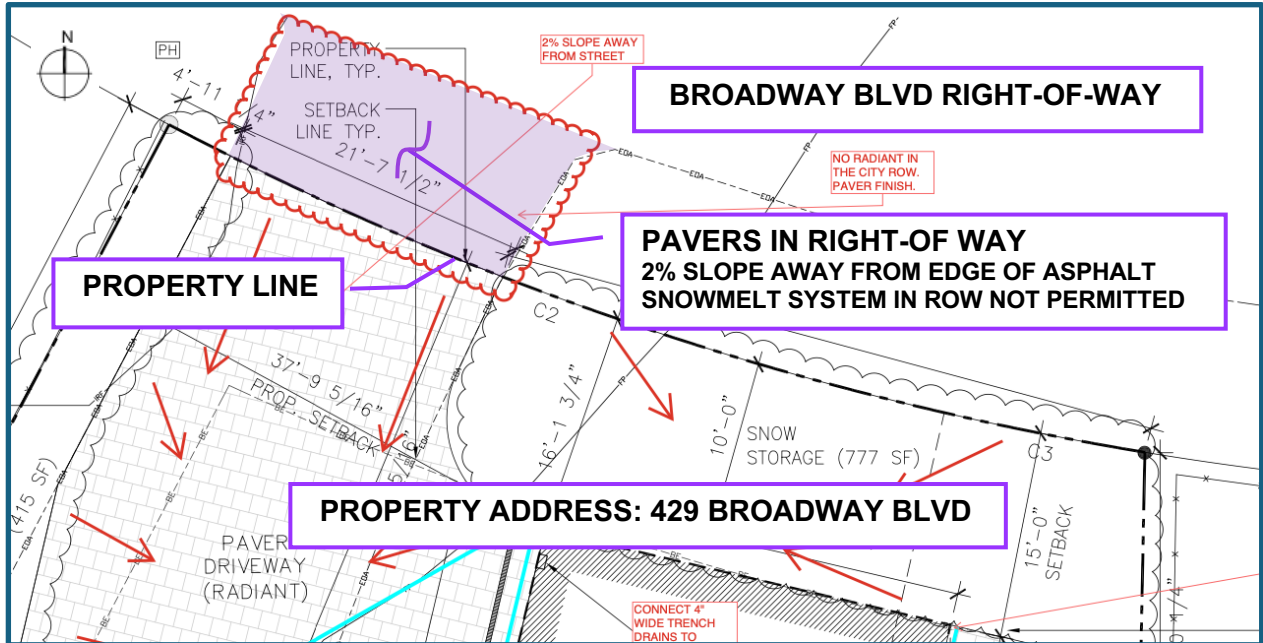
STATE OF IDAHO)
County of Blaine) ss.

On this ____ day of _____, 2025, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person who executed the foregoing instrument on behalf of said municipal corporation and acknowledged to me that said municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

EXHIBIT "A"



Base figure provided by applicant, prepared by HollisPartners Architects – 429 Broadway Blvd. Sheet A 1.2
Figure annotated with purple textboxes by City Engineering Robyn Mattison to clarify improvements included in Right-Of-Way Encroachment Agreement No. 25945



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: February 3, 2025 Staff Member/Dept: Robyn Mattison/City Engineer

Agenda Item: Recommendation to Approve Right-of-Way Encroachment Agreement 25950 for placement of pavers and snowmelt system in the public right-of-way on Hillside Drive.

Recommended Motion:

I move to authorize the Mayor to sign Right-of-Way Encroachment Agreement 25950 between the City and Paramount Property Development, LLC, owner of 219 Hillside Drive.

Reasons for Recommendation:

- Staff recommends the snowmelt system installed in the right-of-way for life safety considerations, particularly due to the steep slope of the driveway.
- The improvements will not impact the use or operation of Hillside Drive.
- The improvements will not impact drainage or snow removal within the public right-of-way.
- The project complies with all standards for Right-of-Way Encroachment Permit issuance specified in Ketchum Municipal Code §12.12.060.

Policy Analysis and Background (non-consent items only):

The project proposes installation of a heated concrete paver driveway within the Hillside Dr. right-of-way.

Pursuant to Ketchum Municipal Code §12.12.040.C, a Right-of-Way Encroachment Permit is required for any permanent encroachment of the public right-of-way where a permanent fixture to the ground or a building will occur. The associated Right-of-Way Encroachment Agreement is intended to help protect the City in the event the proposed encroachments were to ever pose an issue requiring repair, relocation, or removal of the encroachment. The standards for issuance of a Right-of-Way Encroachment Permit are specified in Ketchum Municipal Code §12.12.060. The encroachments proposed for the Exhibition Blvd project complies with all standards.

Sustainability Impact:

None OR state impact here: None

Financial Impact:

| | |
|--|------|
| None OR Adequate funds exist in account: | None |
|--|------|

Attachments:

1. Right-of-Way Encroachment Agreement 25950
2. Exhibit "A"

WHEN RECORDED, PLEASE RETURN TO:

**OFFICE OF THE CITY CLERK
CITY OF KETCHUM
POST OFFICE BOX 2315
KETCHUM, IDAHO 83340**

RIGHT-OF-WAY ENCROACHMENT AGREEMENT 25950

THIS AGREEMENT, made and entered into this ____ day of _____, 2025, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho and Paramount Property Development LLC (collectively referred to as "Owner"), whose address is 2359 Pole Line Rd E. Twin Falls ID 83301.

RECITALS

WHEREAS, Owner wishes to permit placement of a paver driveway with snowmelt within the right of way at 219 Hillside Dr, legal description WARM SPRINGS VALLEY SUB LOT 9 BLK 5. These improvements are shown in Exhibit "A" attached hereto and incorporated herein (collectively referred to as the "Improvements"); and,

WHEREAS, Ketchum finds that said Improvements will not impede the use of said public right-of-way at this time subject to the terms and provisions of this Agreement;

WHEREAS, the Owner will restore the landscaping back to the original condition acceptable to the Streets and Facilities Director;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

TERMS AND CONDITIONS

1. Ketchum shall permit Owner to install a heated paver driveway as identified in Exhibit "A", within the public right-of-way on Hillside Dr, until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.
2. Owner shall be responsible for the maintenance of said Improvements and shall repair said improvements within 48 hours upon notice from Ketchum that repairs are needed. Any modification to the improvements identified in Exhibit "A" shall be approved by the City prior to any modifications taking place.
3. Owner shall be responsible for restoring the landscaping that is altered due to the installation and removal of the Improvements, to the satisfaction of the Director of Streets and Facilities.
4. In consideration of Ketchum allowing Owner to maintain the Improvements in the public right-of-way, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the Improvements constructed, installed and maintained in the public right-of-way. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from

any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

5. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public right-of-way.

6. Owner understands and agrees that by maintaining the Improvements in the public right-of-way pursuant to this Agreement, Owner obtains no claim or interest in said public right-of-way which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public right-of-way nor any other right to use the public right-of-way not specifically described herein.

7. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

8. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

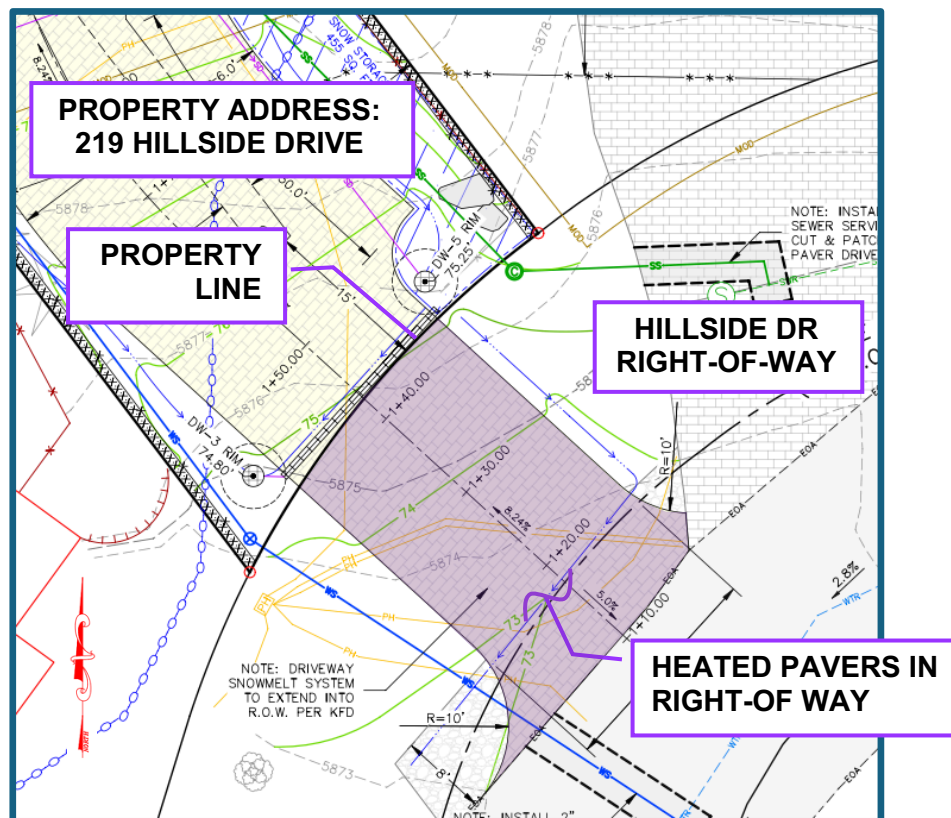
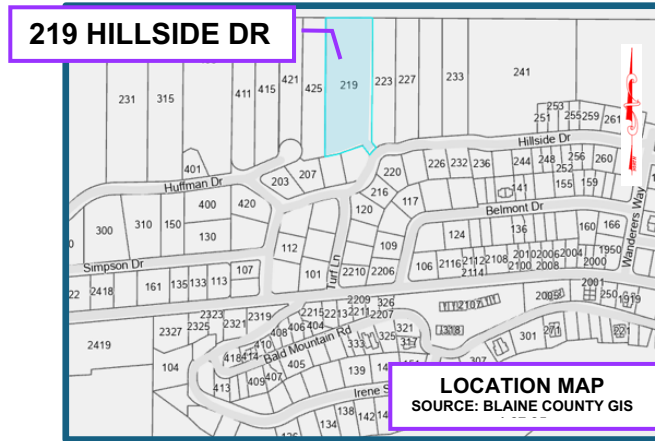
9. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

10. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

11. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

12. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.

EXHIBIT "A"



Base figure provided by applicant, prepared by Alpine Enterprises Inc 1/22/2025, Lot 9, Blk 5, Warm Springs Valley Subdivision, Sheet C2.0

Annotated figure by City Engineer Robyn Mattison in purple textboxes to clarify improvements incorporated into Right-Of-Way Encroachment Agreement No. 25950.



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: Staff Member/Dept:

Agenda Item:

Recommended Motion:

Recommendation to approve Purchase Order 25071 for the direct purchase of plantings for Warm Springs Preserve Restoration.

Reasons for Recommendation:

- The long lead time and nursery allocation requirement of this portion of restoration plants requires us to direct purchase these cancellation ahead of time if we want to have them planted in Fall 2025
- Direct purchase saves significantly on cost by cutting out a margin from the future installer of these plants
- A semi-formal bid method was utilized where staff sent request for quote to 4 suppliers. North Fork Natives was the lowest cost and most complete supply of materials
- Supplier requires a deposit for plant material but as agreed to include minimum prorated penalties in the event the main Warm Springs Preserve Restoration project is cancelled.

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

No direct impact.

Financial Impact:

| | |
|--|---|
| None OR Adequate funds exist in account: | Full contract amount is subject to final bidding of overall project. Adequate funds to cover all this material exist via a reimbursement from Wood River Land Trust and is directly tied to their approved federal grant award. |
|--|---|

Attachments:

- | |
|---|
| 1. North Fork Native Plants Plantings Price Sheet |
| 2. Purchase order 25071 |
| 3. Plantings schedule from project drawing sheets |

Client - City of Ketchum Warm Springs Creek Preserve

TREES AND SHRUBS

| KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE | TYPE | UN \$ | TOT \$ | AVAIL. | NOTES |
|-----|-----|--|-----------------------|------|-----------|----------|------------|--------|--|
| | 15 | <i>Populus angustifolia</i> | Narrowleaf Cottonwood | #5 | Container | \$29.00 | \$435.00 | 2025 | Sourced from local genetics |
| PC | 21 | <i>Populus trichocarpa</i> | Black Cottonwood | #5 | Container | \$29.00 | \$609.00 | 2025 | Sourced from local genetics |
| SA | 34 | <i>Salix sp. (Shrub clump forming)</i> | Native Willows | #15 | Container | \$110.00 | \$3,740.00 | 2026 | Sourced from local genetics |
| SI | 48 | <i>Salix sp. (Tree forming)</i> | Native Willows | #15 | Container | \$110.00 | \$5,280.00 | 2026 | Sourced from local genetics |
| SAA | 15 | <i>Amelanchier alnifolia</i> | Serviceberry | #5 | Container | \$26.00 | \$390.00 | 2025 | |
| SAI | 2 | <i>Alnus incana</i> | Thin-leaf Alder | #5 | Container | \$26.00 | \$52.00 | 2025 | or <i>Alnus incana subsp. tenuifolia</i> |
| SCS | 14 | <i>Cornus sericea</i> | Red Twig Dogwood | #5 | Container | \$29.00 | \$406.00 | 2025 | Sourced from local genetics |
| | 20 | <i>Ericameria nauseosa</i> | Rubber Rabbitbrush | #1 | Container | \$9.00 | \$180.00 | 2026 | |
| SPV | 2 | <i>Prunus virginiana</i> | Chokecherry | #5 | Container | \$26.00 | \$52.00 | 2025 | |
| SRG | 11 | <i>Ribes aureum</i> | Golden Currant | #5 | Container | \$26.00 | \$286.00 | 2025 | |
| SRT | 3 | <i>Rhus trilobata</i> | Skunkbush Sumac | #5 | Container | \$26.00 | \$78.00 | 2025 | |
| SRW | 10 | <i>Rosa woodsii</i> | Mountain Rose | #5 | Container | \$26.00 | \$260.00 | 2025 | |
| SSB | 30 | <i>Salix sp. (Shrub clump forming)</i> | Native Willows | #5 | Container | \$29.00 | \$870.00 | 2025 | Sourced from local genetics |
| SSL | 3 | <i>Salix sp. (Shrub clump forming)</i> | Native Willows | #5 | Container | \$29.00 | \$87.00 | 2025 | Sourced from local genetics |
| SSP | 3 | <i>Symphoricarpos sp.</i> | Snowberry | #5 | Container | \$26.00 | \$78.00 | 2025 | |
| SSX | 53 | <i>Salix exigua</i> | Coyote Willow | #5 | Container | \$29.00 | \$1,537.00 | 2025 | Sourced from local genetics |

PLANT MIXES

Plant Mix A - Upland Meadow

| | | | | | | | | | |
|--|------|---|------------------------|-------|---------------|--------|------------|------|-----------------------------|
| | 4180 | <i>Artemisia tridentata var. vaseyana</i> | Mountain Big Sagebrush | 10 ci | Tube Seedling | \$1.74 | \$7,273.20 | 2026 | Sourced from local genetics |
| | 1250 | <i>Chrysothamnus viscidiflorus</i> | Douglas Rabbitbrush | 10 ci | Tube Seedling | \$1.74 | \$2,175.00 | 2026 | Sourced from local genetics |
| | 1250 | <i>Ericameria nauseosa</i> | Rubber Rabbitbrush | 10 ci | Tube Seedling | \$1.74 | \$2,175.00 | 2026 | Sourced from local genetics |
| | 1670 | <i>Purshia tridentata</i> | Antelope Bitterbrush | 10 ci | Tube Seedling | \$1.74 | \$2,905.80 | 2026 | Sourced from local genetics |

Plant Mix B - Xeric (Dry) Floodplain

| | | | | | | | | | |
|--|------|------------------------------------|----------------------|-------|---------------|---------|------------|------|-----------------------------|
| | 90 | <i>Amelanchier alnifolia</i> | Western Serviceberry | #5 | Container | \$26.00 | \$2,340.00 | 2025 | |
| | 1775 | <i>Artemisia tridentata</i> | Big Sagebrush | 10 ci | Tube Seedling | \$1.74 | \$3,088.50 | 2026 | Sourced from local genetics |
| | 530 | <i>Chrysothamnus viscidiflorus</i> | Douglas Rabbitbrush | 10 ci | Tube Seedling | \$1.74 | \$922.20 | 2026 | Sourced from local genetics |
| | 530 | <i>Ericameria nauseosa</i> | Rubber Rabbitbrush | 10 ci | Tube Seedling | \$1.74 | \$922.20 | 2026 | Sourced from local genetics |
| | 90 | <i>Prunus virginiana</i> | Chokecherry | #5 | Container | \$26.00 | \$2,340.00 | 2025 | |
| | 355 | <i>Purshia tridentata</i> | Antelope Bitterbrush | 10 ci | Tube Seedling | \$1.74 | \$617.70 | 2026 | Sourced from local genetics |
| | 175 | <i>Rosa woodsii</i> | Wood's Rose | #5 | Container | \$26.00 | \$4,550.00 | 2025 | |

Plant Mix C - Mesic (Wet) Floodplain

| | | | | | | | | | |
|--|-----|-----------------------------|------------------------|----|-----------|---------|------------|------|-----------------------------|
| | 55 | <i>Populus angustifolia</i> | Narrow-leaf Cottonwood | #5 | Container | \$29.00 | \$1,595.00 | 2025 | Sourced from local genetics |
| | 12 | <i>Populus tremuloides</i> | Quaking Aspen | #5 | Container | \$26.00 | \$312.00 | 2025 | |
| | 55 | <i>Populus trichocarpa</i> | Black Cottonwood | #5 | Container | \$29.00 | \$1,595.00 | 2025 | Sourced from local genetics |
| | 25 | <i>Alnus incana</i> | Thin-leaf Alder | #5 | Container | \$26.00 | \$650.00 | 2025 | |
| | 25 | <i>Betula occidentalis</i> | Water Birch | #5 | Container | \$29.00 | \$725.00 | 2025 | Sourced from local genetics |
| | 150 | <i>Ribes aureum</i> | Golden Currant | #5 | Container | \$26.00 | \$3,900.00 | 2025 | |
| | 150 | <i>Rosa woodsii</i> | Wood's Rose | #5 | Container | \$26.00 | \$3,900.00 | 2025 | |

| | | | | | | | | | |
|---|------|---|---|-------------|---------------|----------|-------------|------|-----------------------------|
| | 90 | <i>Symphoricarpos sp.</i> | Snowberry | #5 | Container | \$26.00 | \$2,340.00 | 2025 | |
| Plant Mix D - Near Stream Riparian | | | | | | | | | |
| | 50 | <i>Populus angustifolia</i> | Narrow-leaf Cottonwood | #5 | Container | \$29.00 | \$1,450.00 | 2025 | Sourced from local genetics |
| | 50 | <i>Populus trichocarpa</i> | Black Cottonwood | #5 | Container | \$29.00 | \$1,450.00 | 2025 | Sourced from local genetics |
| | 30 | <i>Salix species</i> (Tree or Clump Form) | Native Willow Species | #5 | Container | \$29.00 | \$870.00 | 2025 | Sourced from local genetics |
| | 110 | <i>Cornus sericea</i> | Redosier Dogwood | #5 | Container | \$29.00 | \$3,190.00 | 2025 | Sourced from local genetics |
| | 110 | <i>Salix exigua</i> | Coyote Willow | #5 | Container | \$29.00 | \$3,190.00 | 2025 | Sourced from local genetics |
| | 220 | <i>Salix species</i> (Multistem Shrub Form) | Native Willow Species | #5 | Container | \$29.00 | \$6,380.00 | 2025 | Sourced from local genetics |
| Plant Mix E - In Stream Aquatic | | | | | | | | | |
| | 106 | <i>Carex aquatilis, C. utriculata, Eleocharis palustris</i> | Water sedge, Beaked sedge, Creeping spikerush | Wetland Sod | Mat | \$205.44 | \$21,776.64 | 2025 | |
| | 1050 | <i>Carex aquatilis</i> | Water Sedge | 10 ci | Tube Seedling | \$1.32 | \$1,386.00 | 2025 | |
| | 1050 | <i>Carex utriculata</i> | Beaked Sedge | 10 ci | Tube Seedling | \$1.32 | \$1,386.00 | 2025 | |
| Plant Mix F - Shallow Emergent Wetland | | | | | | | | | |
| | 66 | <i>Carex nebraskensis, C. utriculata, Juncus acutus</i> | Nebraska sedge, Beaked sedge, Arctic rush | Wetland Sod | Mat | \$205.44 | \$13,559.04 | 2025 | |
| Plant Mix G - Deep Emergent Wetland | | | | | | | | | |
| | 16 | <i>Schoenoplectus acutus</i> | Hardstem Bulrush | Wetland Sod | Mat | \$205.44 | \$3,287.04 | 2025 | |
| | 16 | <i>Scirpus microcarpus</i> | Small-Fruited Bulrush | Wetland Sod | Mat | \$205.44 | \$3,287.04 | 2025 | |
| Plant Mix H - Aspen Grove | | | | | | | | | |
| | 360 | <i>Achillea millefolium</i> | Common Yarrow | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Aquilegia coerulea</i> | Blue Columbine | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Delphinium occidentale</i> | Duncecap Larkspur | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Erigeron speciosus</i> | Showy Fleabane | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Eriogonum umbellatum</i> | Sulfurflower Buckwheat | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Gaillardia aristata</i> | Blanket Flower | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Geranium viscosissimum</i> | Sticky Geranium | 10 ci | Tube Seedling | \$1.85 | \$666.00 | 2025 | |
| | 360 | <i>Heliomeris multiflora</i> | Showy Goldeneye | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Hymenoxys hoopesii</i> | Meadow Fire | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Linum lewisii</i> | Blue Flax | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Penstemon rydbergii</i> | Rydberg's Penstemon | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Penstemon strictus</i> | Rocky Mountain Penstemon | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Rudbeckia occidentalis</i> | Western Coneflower | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Solidago missouriensis</i> | Missouri Goldenrod | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 360 | <i>Symphotrichum laeve</i> | Smooth Aster | 10 ci | Tube Seedling | \$1.55 | \$558.00 | 2025 | |
| | 1630 | <i>Bouteloua curtipendula</i> | Side Oats Gram | 10 ci | Tube Seedling | \$1.55 | \$2,526.50 | 2025 | |
| | 1630 | <i>Bouteloua gracilis</i> | Blue Grama | 10 ci | Tube Seedling | \$1.55 | \$2,526.50 | 2025 | |
| | 1630 | <i>Festuca idahoensis</i> | Idaho Blue Fescue | 10 ci | Tube Seedling | \$1.55 | \$2,526.50 | 2025 | |
| | 1630 | <i>Hesperostipa comata</i> | Needle and Thread Grass | 10 ci | Tube Seedling | \$1.55 | \$2,526.50 | 2025 | |
| | 1630 | <i>Oryzopsis hymenoides</i> | Indian Ricegrass | 10 ci | Tube Seedling | \$1.55 | \$2,526.50 | 2025 | |

| | |
|---------------------------|-------------------|
| DELIVERY ALLOWANCE | \$8,500.00 |
|---------------------------|-------------------|

| | |
|--------------|---------------------|
| TOTAL | \$149,488.86 |
|--------------|---------------------|

Assumptions:

Earliest availability __ 2025

Wetland Sod coverage approximately __ square/linear feet

Delivery cost is subject to change, price quoted on ____

Unit price includes overwintering costs

50% Non-refundable deposit required upon acceptance

Earliest availability subject to change until order has been approved by both NFNP and customer

Quantities depend upon available seed sources and germination results

Subject to Additional Fees - Refer to NFNP Sales Policies

Contact: Rebecca Wright

Cell: (208) 243-4565



CITY OF KETCHUM

PO BOX 2315 * 191 5TH ST. * KETCHUM, ID 83340
 Administration 208-726-3841 (fax) 208-726-8234

PURCHASE ORDER

BUDGETED ITEM? ___ Yes ___ No

PURCHASE ORDER - NUMBER: 25071

| | |
|--|---|
| To: 6300 NORTH FORK NATIVE PLANTS PO BOX 1115 DRIGGS ID 83422 | Ship to: CITY OF KETCHUM PO BOX 2315 KETCHUM ID 83340 |
|--|---|

| P. O. Date | Created By | Requested By | Department | Req Number | Terms |
|------------|------------|--------------|------------|------------|-------|
| 01/28/2025 | BDAVIS | BDAVIS | | | |

| Quantity | Description | Unit Price | Total |
|----------|--|------------|------------|
| 1.00 | WSP PLANTINGS DIRECT PURCHASE 93-4900-7950 | 149,488.86 | 149,488.86 |
| | SHIPPING & HANDLING | | 0.00 |
| | TOTAL PO AMOUNT | | 149,488.86 |

 Authorized Signature

| PLANT MIX A - UPLAND MEADOW (312,926 SF) | | | | | | | | | | | | | MIX SF | MIX % | SPACING | QTY | | |
|--|------|---|------------------------------|------------|-------|---------------|-----------------|------------|--------------|--------------|-------|--|--|-----------------------------------|---------|-----|--|--|
| | | | | | | | | | | | | | 330,626 | | | | | |
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | Prelim \$/sq | Total | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY | | |
| Shrubs (Patches): 18% of Total Hatch Area (44,939 sf) | | | | | | | | | | | | | | | | | | |
| - | 3180 | <i>Artemisia tridentata</i> var. <i>vaseyana</i> | Mountain Big Sagebrush | Shrub | 10 ci | Tube Seedling | - | 50% | 3' | - | - | Plant in patches in favorable microsites. Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 955 | <i>Chrysothamnus viscidiflorus</i> | Douglas Rabbitbrush | Shrub | 10 ci | Tube Seedling | - | 15% | 3' | - | - | Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 955 | <i>Encarnia nauseosa</i> | Rubber Rabbitbrush | Shrub | 10 ci | Tube Seedling | - | 15% | 3' | - | - | Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 1270 | <i>Purshia tridentata</i> | Antelope Bitterbrush | Shrub | 10 ci | Tube Seedling | - | 20% | 3' | - | - | Plant in patches in favorable microsites. Shrubs to be Field Located by Landscape Architect. | | | | | | |
| Grasses (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Bromus ciliatus</i> | Fringed Brome | Grass | - | Seed | - | - | - | - | - | Grasses = 80% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | | |
| - | - | <i>Bromus ciliatus</i> | Fringed Brome | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Bromus marginatus</i> | Mountain Brome | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Bromus marginatus</i> | Mountain Brome | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus elymoides</i> | Squirreltail Grass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus elymoides</i> | Squirreltail Grass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus glaucus</i> | Blue Wildrye | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus glaucus</i> | Blue Wildrye | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus lanceolatus</i> ssp. <i>lanceolatus</i> | Thickspike Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus lanceolatus</i> ssp. <i>lanceolatus</i> | Thickspike Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus trachycaulus</i> | Slender Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Elymus trachycaulus</i> | Slender Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Festuca idahoensis</i> | Idaho Fescue | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Festuca thurberi</i> | Thurber's Fescue | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Hesperostipa comata</i> | Needle and Thread Bunchgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Koeleria macrantha</i> | Prairie Junegrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Leymus cinereus</i> | Great Basin Wildrye | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Poa secunda</i> sandbergii | Sandberg Bluegrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Pseudoroegneria spicata</i> | Bluebunch Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| Forbs (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Achillea millefolium</i> occidentalis | Western Common Yarrow | Forb | - | Seed | - | - | - | - | - | Forbs = 20% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | | |
| - | - | <i>Eriogonum umbellatum</i> | Suffurflower Buckwheat | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Linum lewisii</i> | Blue Flax | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Lupinus sericeus</i> | Silky Lupine | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Penstemon eatonii</i> | Firecracker Penstemon | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Penstemon strictus</i> | Rocky Mountain Penstemon | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Sphaeralcea</i> sp. | Globemallow | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | | | | | | | | | | | | Species dependent on availability | | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| PLANT MIX B - XERIC (DRY) FLOODPLAIN (125,606 SF) | | | | | | | | | | | | | 124,999 | | | | | |
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | | Total | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY | | |
| Shrubs (Patches): 20% of Total Hatch Area (28,090 sf) | | | | | | | | | | | | | | | | | | |
| - | 80 | <i>Amelanchier alnifolia</i> | Western Serviceberry | Shrub | #5 | Cont. | - | 2.5% | 3' | - | - | Plant in microsites that retain more moisture. Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 1600 | <i>Artemisia tridentata</i> | Big Sagebrush | Shrub | 10 ci | Tube Seedling | - | 50% | 3' | - | - | | Consider Establishing in island patches. Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 480 | <i>Chrysothamnus viscidiflorus</i> | Douglas Rabbitbrush | Shrub | 10 ci | Tube Seedling | - | 15% | 3' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 480 | <i>Encarnia nauseosa</i> | Rubber Rabbitbrush | Shrub | 10 ci | Tube Seedling | - | 15% | 3' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 80 | <i>Prunus virginiana</i> | Chokecherry | Shrub | #5 | Cont. | - | 2.5% | 3' | - | - | | Plant in microsites that retain more moisture. Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 320 | <i>Purshia tridentata</i> | Antelope Bitterbrush | Shrub | 10 ci | Tube Seedling | - | 10% | 3' | - | - | | Plant in patches in favorable microsites. Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 180 | <i>Rosa woodsii</i> | Wood's Rose | Shrub | #5 | Cont. | - | 5% | 3' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| Grasses (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Festuca idahoensis</i> | Idaho Fescue | Grass | - | Seed | - | - | - | - | - | | Grasses = 75% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | |
| - | - | <i>Leymus cinereus</i> | Great Basin Wildrye | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Poa secunda</i> sandbergii | Sandberg Bluegrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Pseudoroegneria spicata</i> | Bluebunch Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| Forbs (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Achillea millefolium</i> | Common Yarrow | Forb | - | Seed | - | - | - | - | - | Forbs = 25% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | | |
| - | - | <i>Artemisia ludoviciana</i> | White Sagebrush | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Eriogonum umbellatum</i> | Suffurflower Buckwheat | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Linum lewisii</i> | Blue Flax | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Lupinus argenteus</i> | Silvery Lupine | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Penstemon</i> sp. | Penstemon species | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | | | | | | | | | | | | Species dependent on availability | | | | | |
| - | - | | | | | | | | | | | | | Species dependent on availability | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| PLANT MIX C - MESIC (WET) FLOODPLAIN (66,963 SF) | | | | | | | | | | | | | 66,963 | | | | | |
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | | Total | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY | | |
| Trees (Patches): 10% of Total Hatch Area (6,898 sf) | | | | | | | | | | | | | | | | | | |
| - | 55 | <i>Populus angustifolia</i> | Narrow-leaf Cottonwood | Tree | #5 | Cont. | - | 45% | 8' | - | - | Install Wildlife Exclusion Fence Around Trees | | | | | | |
| - | 12 | <i>Populus tremuloides</i> | Quaking Aspen | Tree | #5 | Cont. | - | 10% | 8' | - | - | | Install Wildlife Exclusion Fence Around Trees | | | | | |
| - | 55 | <i>Populus trichocarpa</i> | Black Cottonwood | Tree | #5 | Cont. | - | 45% | 8' | - | - | | Install Wildlife Exclusion Fence Around Trees | | | | | |
| Shrubs (Patches): 10% of Total Hatch Area (6,898 sf) | | | | | | | | | | | | | | | | | | |
| - | 25 | <i>Ainus incana</i> | Thin-leaf Alder | Shrub | #5 | Cont. | - | 5% | 6' | - | - | Plant in microsites that retain more moisture. Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 25 | <i>Betula occidentalis</i> | Water Birch | Shrub | #5 | Cont. | - | 5% | 6' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 150 | <i>Ribes aureum</i> | Golden Currant | Shrub | #5 | Cont. | - | 35% | 6' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 150 | <i>Rosa woodsii</i> | Wood's Rose | Shrub | #5 | Cont. | - | 35% | 6' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | 90 | <i>Symphoricarpos</i> sp. | Snowberry | Shrub | #5 | Cont. | - | 20% | 6' | - | - | | Shrubs to be Field Located by Landscape Architect. | | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| Grasses (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Elymus glaucus</i> | Blue Wildrye | Grass | - | Seed | - | - | - | - | - | Grasses = 60% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | | |
| - | - | <i>Leymus cinereus</i> | Great Basin Wildrye | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Pascopyrum smithii</i> | Western Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Pseudoroegneria spicata</i> | Bluebunch Wheatgrass | Grass | - | Seed | - | - | - | - | - | | | | | | | |
| Forbs (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | | | | | | |
| - | - | <i>Achillea millefolium</i> | Common Yarrow | Forb | - | Seed | - | - | - | - | - | Forbs = 40% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase | | | | | | |
| - | - | <i>Linum lewisii</i> | Blue Flax | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Lupinus</i> sp. | Lupine Species | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Penstemon</i> sp. | Penstemon species | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Symphotrichum laeve</i> | Smooth Blue Aster | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | <i>Vicia americana</i> | American Vetch | Forb | - | Seed | - | - | - | - | - | | | | | | | |
| - | - | | | | | | | | | | | | Species dependent on availability | | | | | |
| - | - | | | | | | | | | | | | | | | | | |
| PLANT MIX D - NEAR STREAM RIPARIAN (26,985 SF) | | | | | | | | | | | | | 26,985 | | | | | |
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | | Total | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY | | |
| Trees (Patches): 10% of Total Hatch Area (6,746 sf) | | | | | | | | | | | | | | | | | | |
| - | 50 | <i>Populus angustifolia</i> | Narrow-leaf Cottonwood | Tree | #5 | Cont. | - | 40% | 8' | - | - | Tree Forming. Install Wildlife Exclusion Fence Around Trees | | | | | | |
| - | 50 | <i>Populus trichocarpa</i> | Black Cottonwood | Tree | #5 | Cont. | - | 40% | 8' | - | - | | Install Wildlife Exclusion Fence Around Trees | | | | | |
| - | 15 | <i>Salix amygdaloides</i> | Peachleaf Willow | Tree | #5 | Cont. | - | 10% | 8' | - | - | | Install Wildlife Exclusion Fence Around Trees | | | | | |
| - | 15 | <i>Salix lasiandra</i> var. <i>caudata</i> | Whiplash Willow | Tree | #5 | Cont. | - | 10% | 8' | - | - | | Tree Forming. Install Wildlife Exclusion Fence Around Trees | | | | | |
| Shrubs (Patches): 50% of Total Hatch Area (13,460 sf) | | | | | | | | | | | | | | | | | | |
| - | 110 | <i>Cornus sericea</i> | Redosier Dogwood | Shrub | #5 | Cont. | - | 25% | 6' | - | - | Very Palatable to Moose. Shrubs to be Field Located by Landscape Architect. | | | | | | |
| - | 110 | <i>Salix boothii</i> | Booth's Willow | Shrub | #5 | Cont. | - | 25% | 6' | - | - | | Clump Forming. Shrubs to be Field Located by Landscape Architect. | | | | | |

| | | | | | | | | | | | | | |
|---|-----|--------------------------|---------------------|-------|----|-------|-----|----|---|--|--|--|--|
| - | 110 | Salix exigua | Golden Currant | Shrub | #5 | Cont. | 25% | 6' | | Mat Forming, Shrubs to be Field Located by Landscape Architect. | | | |
| - | 110 | Salix lutea | Wood's Rose | Shrub | #5 | Cont. | 25% | 6' | | Clump Forming, Shrubs to be Field Located by Landscape Architect. | | | |
| Grasses (Seed to Cover 100% of Hatch Area) | | | | | | | | | | | | | |
| - | - | Calamagrostis canadensis | Bluejoint Reedgrass | Grass | - | Seed | - | - | - | Grasses = 100% of Seed Mix. Individual Species Percentages to be Supplied to Contractor During Construction Phase, Saturated but not inundated soils | | | |
| - | - | Deschampsia cespitosa | Tufted Hairgrass | Grass | - | Seed | - | - | - | Saturated but not inundated soils | | | |
| - | - | Elymus glaucus | Blue Wildrye | Grass | - | Seed | - | - | - | Moist Soils | | | |

| PLANT MIX E - IN STREAM AQUATIC (2,055 SF, 33.33% of Total Hatch Area Indicated in Plans as Mix E, F, G) | | | | | | | | | | | 6165 SF Mix E, F, G Hatch | | | |
|--|-----|--------------------------|-----------------------|------------|------|---------------|------------------|------------|--------------|--|---------------------------|------------|------|-----|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF PLANT MIX E | % OF PATCH | O.C. SPACING | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY |
| Herbaceous Live Plants: 25% of Mix E | | | | | | | | | | | | | | |
| - | 265 | Carex aquatilis | Water Sedge | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | To be located along stream channels on inundated and saturated soils | | | | |
| - | 265 | Carex utriculata | Beaked Sedge | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| - | 265 | Eleocharis palustris | Great Spike Rush | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| - | 265 | Juncus articus | Arctic Rush | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| Seed Mix: Seed to Cover 100% of Plant Mix E (2,055 SF) | | | | | | | | | | | | | | |
| - | | Beckmannia syzigachne | American Slough Grass | Herbaceous | - | Seed | 100% | | | Saturated but not inundated soils | | | | |
| - | | Calamagrostis canadensis | Bluejoint Grass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |
| - | | Deschampsia cespitosa | Tufted Hair Grass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |
| - | | Pascopyrum smithii | Western Wheatgrass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |

| PLANT MIX F - SHALLOW EMERGENT WETLAND (2,055 SF, 33.33% of Total Hatch Area Indicated in Plans as Mix E, F, G) | | | | | | | | | | | Total SF Hatch | | | |
|---|-----|--------------------------|-----------------------|------------|------|---------------|------------------|------------|--------------|--|----------------|------------|------|-----|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF PLANT MIX F | % OF PATCH | O.C. SPACING | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY |
| Herbaceous Live Plants: 25% of Mix F | | | | | | | | | | | | | | |
| - | 265 | Carex nebrascensis | Nebraska Sedge | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | To be located along pond edges with zones of permanent inundation and frequent soil saturation | | | | |
| - | 265 | Carex pellita | Woolly Sedge | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| - | 265 | Carex utriculata | Beaked Sedge | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| - | 265 | Juncus articus | Arctic Rush | Herbaceous | 10ci | Tube Seedling | 25% | | 9" | | | | | |
| Seed Mix: Seed to Cover 100% of Plant Mix F (2,055 SF) | | | | | | | | | | | | | | |
| - | | Beckmannia syzigachne | American Slough Grass | Herbaceous | - | Seed | 100% | | | Saturated but not inundated soils | | | | |
| - | | Calamagrostis canadensis | Bluejoint Grass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |
| - | | Deschampsia cespitosa | Tufted Hair Grass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |
| - | | Pascopyrum smithii | Western Wheatgrass | Herbaceous | - | Seed | | | | Saturated but not inundated soils | | | | |

| PLANT MIX G - DEEP EMERGENT WETLAND (2,055 SF, 33.33% of Total Hatch Area Indicated in Plans as Mix E, F, G) | | | | | | | | | | | Total SF Hatch | | | |
|--|------|-----------------------|-----------------------|------------|------|-------|------------------|------------|--------------|--|----------------|------------|------|-----|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF PLANT MIX G | % OF PATCH | O.C. SPACING | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY |
| Herbaceous Live Plants: 100% of Mix G | | | | | | | | | | | | | | |
| - | 1185 | Schoenoplectus acutus | Hardstem Bulrush | Herbaceous | #1 | Cont. | 50% | | 12" | To be located within pond on permanently inundated soils | | | | |
| - | 1185 | Scirpus microcarpus | Small-Fruited Bulrush | Herbaceous | #1 | Cont. | 50% | | 12" | | | | | |

| PLANT MIX H - ASPEN GROVE (24731 SF) | | | | | | | | | | | 26,483 | | | |
|---|------|------------------------|--------------------------|------------|------|---------------|-----------------|------------|--------------|-------|----------------|------------|------|-----|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY |
| Forbs: 40% of Total Hatch Area (9892.4 sf) | | | | | | | | | | | | | | |
| - | 360 | Achillea millefolium | Common Yarrow | Forb | 10ci | Pot | - | - | 18" | | | | | |
| - | 360 | Aquilegia coerulea | Blue Columbine | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Delphinium occidentale | Duncecap Larkspur | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Erigeron speciosus | Showy Fleabane | Forb | 10ci | Pot | - | - | 18" | | | | | |
| - | 360 | Eriogonum umbellatum | Sufflower Buckwheat | Forb | 10ci | Pot | - | - | 18" | | | | | |
| - | 360 | Gaillardia aristata | Blanket Flower | Forb | 10ci | Pot | - | - | 18" | | | | | |
| - | 360 | Geranium viscosissimum | Sticky Geranium | Forb | 10ci | Pot | - | - | 18" | | | | | |
| - | 360 | Heliopsis multiflora | Showy Goldeneye | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Hymenoxys hoopesii | Meadow Fire | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Linum lewisii | Blue Flax | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Penstemon rydbergii | Rydberg's Penstemon | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Penstemon strictus | Rocky Mountain Penstemon | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Rudbeckia occidentalis | Western Coneflower | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Solidago missouriensis | Missouri Goldenrod | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| - | 360 | Symphoricarum laeve | Smooth Aster | Forb | 10ci | Cont. | - | - | 18" | | | | | |
| Grasses: 60% of Hatch Area (14838 sf) | | | | | | | | | | | | | | |
| - | 1630 | Bouteloua curtipendula | Side Oats Gram | Grass | 10ci | Tube Seedling | | | 18" | | | | | |
| - | 1630 | Bouteloua gracilis | Blue Grama | Grass | 10ci | Tube Seedling | | | 18" | | | | | |
| - | 1630 | Festuca idahoensis | Idaho Blue Fescue | Grass | 10ci | Tube Seedling | | | 18" | | | | | |
| - | 1630 | Hesperostipa comata | Needle and Thread Grass | Grass | 10ci | Tube Seedling | | | 18" | | | | | |
| - | 1630 | Oryzopsis hymenoides | Indian Ricegrass | Grass | 10ci | Tube Seedling | | | 18" | | | | | |

| PLANT MIX I - WETLAND SOD (LF) | | | | | | | | | | | 26,483 | | | |
|--|----------|---|-------------|------------|--------------|------|-----------------|------------|--------------|---|----------------|------------|------|-----|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANT TYPE | SIZE | ROOT | % OF HATCH AREA | % OF PATCH | O.C. SPACING | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY |
| 1 M x 16' WETLAND SOD ON POND AND CHANNEL EDGES | | | | | | | | | | | | | | |
| - | 5,250 LF | Pond & Channel Edges Mix of these species: Carex nebrascensis, Carex pellita, Carex utriculata, Juncus articus | | Herbaceous | 1M x 16' SOD | SOD | - | - | | Mix of sedges and rushes at water's edge along pond shores and stream channel margins | | | | |

| SOD (54,410 SF) | | | | | | | | | | | 54,410 | | |
|-----------------|-------|-------------------------|--|----------------|------------|------|-----|--|--|--|--------|--|--|
| KEY | QTY | BOTANICAL NAME | NOTES | Total SF Hatch | % of Hatch | O.C. | QTY | | | | | | |
| - | 73862 | Rhizomatous Tall Fescue | ** Contractor to Reclaim Existing Sod on Site and Install in Areas of the Fairway as Shown in the Planting Plans, Where Possible After Regrading. Contractor to Submit Pricing for New Sod as part of their base bid for review. | | | | | | | | | | |



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: February 3, 2025 Staff Member/Dept: Ben Whipple – Public Works

Agenda Item: South Ketchum Redundant Water Line Project A

Recommended Motion:

Recommendation to approve Bid award and corresponding Purchase Order 25072 for South of Ketchum Redundant Water Line Project A to Canyon Excavation LLC

Reasons for Recommendation:

- Canyon Excavation LLC submitted a low bid amongst five total bidders to complete the South Ketchum Redundant Water Line Project A
- This project replaces the existing water main on Hwy 75 with new water infrastructure east of State Highway 75, adjacent to the south of 702 S Main Street and ending in Farnlun Place
- Coupled with Project B, this creates redundancy in this area and improves system resiliency by allowing back flow water to replace any section of line that could need to be worked on in the future.
- This new line, as well as the line in Project B, is required due to ITD reconstruction of Hwy 75 and the storm sewer system being placed on Hwy 75.
- Recommendation includes authorization to process change orders up to 15% of total contract value without additional council approval
- Project is contingent on executed easement agreement with Idaho Parks Foundation

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

No direct impact.

Financial Impact:

| | |
|--|---|
| None OR Adequate funds exist in account: | Adequate funds exist in the Water Fund CIP to cover this project. |
|--|---|

Attachments:

1. Purchase order 25072
2. Canyon Excavation LLC Bid for Project A
3. Drawings for South Ketchum Redundant Water Line Project A



CITY OF KETCHUM

PO BOX 2315 * 191 5TH ST. * KETCHUM, ID 83340
 Administration 208-726-3841 (fax) 208-726-8234

PURCHASE ORDER

BUDGETED ITEM? ___ Yes ___ No

PURCHASE ORDER - NUMBER: 25072

| | |
|--|---|
| To: 5046 CANYON EXCAVATION, LLC BOX 961 SHOSHONE ID 83352 | Ship to: CITY OF KETCHUM PO BOX 2315 KETCHUM ID 83340 |
|--|---|

| P. O. Date | Created By | Requested By | Department | Req Number | Terms |
|------------|------------|--------------|------------|------------|-------|
| 01/28/2025 | CCHING | CCHING | | | |

| Quantity | Description | Unit Price | Total |
|----------|---|------------|------------|
| 1.00 | S KETCHUM REDUNDANT WATERLINE PROJ 64-4340-7809 | 568,469.24 | 568,469.24 |
| | SHIPPING & HANDLING | | 0.00 |
| | TOTAL PO AMOUNT | | 568,469.24 |

 Authorized Signature

NOTE TO BIDDER: Use BLACK or BLUE in for completing this BID FORM

To: City of Ketchum

Address: 191 5th Street West, Ketchum, ID 83340
PO Box 2315, Ketchum, ID 83340

Project Identification: South Ketchum Redundant Water Main, Project A

1 BIDDER'S DECLARATION AND UNDERSTANDING

- 1.01 Bidder accepts all of the terms and conditions of the Advertisement and Instructions to Bidders, including without limitations those dealing with the dispositions of Bid Security. The bid will remain subject to acceptance for 30 days after the Bid Opening, or for such longer period of time that the Bidder may agree to in writing upon request of the Owner.
- 1.02 In compliance with the Instruction to Bidders, the BIDDER hereby proposes to perform all WORK for the construction of the KETCHUM MAIN STREET WATER MAIN RELOCATION project in strict accordance with the CONTRACT DOCUMENTS, within the time set forth therein, and at the prices stated below. The BID prices shall include all labor, materials, overhead, profit, insurance, etc., to cover the finished work of the several kinds called for. Prices shall also include all applicable taxes, overhead, profit, and fees.
- 1.03 By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to his own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.
- 1.04 The BIDDER acknowledges that no special interpretation or inference of intent is to be given to any different formats of different Specifications sections.
- 1.05 In submitting this Bid, the BIDDER acknowledges and accepts the CONTRACTOR's representations as more fully set forth in the AGREEMENT.
- 1.06 The BIDDER understands that quantities listed are approximate and the OWNER reserves the right to increase or decrease individual items as may be, in his sole judgment, to his best interest depending upon conditions encountered or observed during the execution of the WORK.
- 1.07 In addition to this BID FORM, the BIDDER agrees that the following shall form part of this BID:
- 1.07.1 BID SECURITY
 - 1.07.2 BID PROPOSAL – SCHEDULE OF ITEMS AND PRICES
 - 1.07.3 LISTING OF SUBCONTRACTORS
- 1.08 BIDDER accepts the terms and conditions of the Bidding Documents.

2 CONTRACT EXECUTION AND BONDS

- 2.01 The Bidder understands and agrees that if a contract is awarded, OWNER may elect to modify the scope of Work as best serves the interests of OWNER.
- 2.02 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an Agreement with OWNER on the form included in the Bidding Documents, to perform and furnish Work as specified or indicated in the Bidding documents for the Contract Price derived from the Bid and within the Contract Times indicated in the Agreement and in accordance with the other terms and conditions of the Bidding Documents.

3 ADDENDA

3.01 BIDDER acknowledges receipt of the following ADDENDUM No's.:
1, 2, 3

(BIDDER shall insert number of Addendum received) and agrees that Addenda issued are hereby made part of the Contract Documents, and BIDDER further agrees that this BID includes impacts resulting from said Addenda.

4 BID SCHEDULES

- 4.01 In the event of a discrepancy, the amount in words shall prevail.
- 4.02 The BIDDER hereby acknowledges that the bid prices are based solely on the BIDDER's own estimate of costs, and includes all applicable taxes, overhead, and profit.

Respectfully submitted by:


Canyon Excavation LLC
(Business Name)

LLC

(Type of Bidder: Individual, Partnership, Corporation, Joint Venture)

(State of Incorporation)

By:

Jake Gage 

(Name and Signature of Person Authorized to Sign)
For a Joint Venture, each Joint Venture must sign

Owner

(Title)

PUBLIC WORKS LICENSE NO.: 022954-A-4

(Corporate Seal)

Name, telephone number, and address for receipt of official communications and for additional information on this BID:

Name: Jake Gage

Title: Owner

Tel. No.: 208-731-1454

Address: Box 961

Shoshone ID 83352

DATE SUBMITTED: 1-22-25

BID PROPOSAL

1. CONTRACT PRICE

Owner shall pay Contractor for completion of the Work in accordance with the Contract Documents and amount in current funds equal to the sum of the amounts determined pursuant to table below.

- 1.01 For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work multiplied by the estimated quantity of that item as indicated below.
- 1.02 Estimated quantities are not guaranteed. All computations of the Contractor's compensation shall be based upon the quantities of work actually performed, whether greater or less than estimated quantities.
- 1.03 Each item to be bid shall be completely filled in by the Contractor.

| No. | Description | Unit | Qty | Unit Price | Bid Amount |
|-----|--|------|--------|------------|------------|
| 1 | Mobilization | LS | 1 | 14,631 | 14,631 |
| 2 | 10" C900 Water Main | LF | 4,881 | 75 | 366,075 |
| 3 | 8" C900 Water Main | LF | 562 | 57.02 | 32,045.24 |
| 4 | Water Main Connection - 12" Hot Tap (W01a), Sheet C1.10 | EA | 1 | 7,000 | 7,000 |
| 5 | Water Main Connection - 8" (W01b), Sheet C1.10 | EA | 1 | 5,000 | 5,000 |
| 6 | Water Main Connection - 12" Hot Tap (W01c), Sheet C1.20 | EA | 1 | 7,000 | 7,000 |
| 7 | Water Main Connection - 8" Hot Tap (W01d), Sheet C1.20 | EA | 1 | 6,000 | 6,000 |
| 8 | Water Main Connection - 8" Hot Tap (W01e), Sheet C1.30 | EA | 1 | 5,000 | 5,000 |
| 9 | Water Main Connection - 12"x8" D.I. Reducer (W01f), Sheet C1.30 | EA | 1 | 2,000 | 2,000 |
| 10 | D.I. Fitting - 10" 11 1/4° Bend | EA | 8-6 | 1,400 | 8,400 |
| 11 | D.I. Fitting - 10" 22 1/2° Bend | EA | 9-12 | 1,400 | 16,800 |
| 12 | D.I. Fitting - 10" 45° Bend | EA | 6-5 | 1,400 | 7,000 |
| 13 | D.I. Fitting - 10" 90° Bend | EA | 1 | 1,100 | 1,100 |
| 14 | D.I. Fitting - 8" 11 1/4° Bend | EA | 3 | 750 | 2,250 |
| 15 | D.I. Fitting - 8" 22 1/2° Bend | EA | 1 | 750 | 750 |
| 16 | 10" Water Main Boring - (W09) | LF | 30 | 370 | 11,100 |
| 17 | Landscape Repair (Fence Reconstruction) | LS | 1 | 4,000 | 4,000 |
| 18 | Landscape Repair (Grass Re-seeding), Assumed 20' Wide along trench | SY | 11,530 | 4.00 | 46,120 |
| 19 | Landscape Repair (Irrigation Repair) | LS | 1 | 4,000 | 4,000 |

BID PROPOSAL

| | | | | | |
|--|------------------------|----|----|--------|-------------------|
| 20 | Asphalt Repair | SY | 58 | 81 | 4,698 |
| 21 | Traffic Control | LS | 1 | 500 | 500 |
| 22 | Construction Surveying | LS | 1 | 17,000 | 17,000 |
| WATER IMPROVEMENTS TOTAL BID AMOUNT | | | | | 568,469.24 |

Five Hundred Sixty Eight Thousand, Four Hundred Sixty Nine Dollars and $\frac{2}{1}$

LISTING OF SUBCONTRACTORS

1. The BIDDER shall submit with the BID FORM a list of names of subcontracting firms or businesses that will be awarded subcontractors for portions of the Work as specified in Section 13 of the "Instructions to Bidders."
2. The Subcontractors list shall be completed and shall include the following information:
 - 2.01 Subcontractors, listing each subcontractor whose subcontract amount is more than ten percent (10%) of the Contract Price with whom the BIDDER, if awarded the Contract, will subcontract for performance.
 - 2.02 The categories of work those subcontractors will perform on the Contract.
 - 2.03 The subcontractors that will be performing Instrumentation, Mechanical, HVAC, Plumbing, and Electrical work.
3. A BID PROPOSAL will be considered non-responsive and will be rejected if the BIDDER does not correctly complete the Listing of Subcontractors contained herein, and include this list with the BID FORM.
4. List of Subcontractors to be used:

| SUBCONTRACTOR | WORK | SUBCONTRACT AMOUNT | % OF CONTRACT PRICE |
|-----------------------|-------------------------|--------------------|---------------------|
| <i>Webb Landscape</i> | <i>Landscape Repair</i> | <i>\$46,120.00</i> | <i>8.11</i> |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

5. Material Suppliers List

| SUPPLIER | MATERIAL | | |
|----------------------------|--------------------------|--|--|
| <i>Mountainland Supply</i> | <i>Pipe and fittings</i> | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
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| | | | |

BID BOND

BY THESE PRESENTS, that we, the undersigned, _____

Canyon Excavation LLC _____ as Principal, and

American Alternative Insurance Corporation _____ as Surety, are hereby held and firmly bound unto the CITY OF KETCHUM as OWNER in the penal sum of FIVE PERCENT OF THE TOTAL AMOUNT BID for the payment of which, well and truly to be made, we hereby jointly and severally bind ourselves, successors and assigns.

Signed this 22nd day of January, 2025.

The Condition of the above obligation is such that whereas the Principal has submitted to the CITY OF KETCHUM certain BID attached hereto and hereby made a part hereof to enter into a contract in writing for the Work associated with SOUTH KETCHUM REDUNDANT WATER MAIN, PROJECT A.

NOW, THEREFORE,

- (a) If said BID shall be rejected, or
- (b) If said BID shall be accepted and the Principal shall execute and deliver a contract in the Form of Contract attached hereto (properly completed in accordance with said BID) and shall furnish a BOND for his faithful performance of said contract, and for the payment of all persons performing labor or furnishing materials in connection therewith, and shall in all other respects perform the agreement created by the acceptance of said BID,

then this obligation shall be void, otherwise the same shall remain in force and effect; it being expressly understood and agreed that the liability of the Surety for any and all claims hereunder shall, in no event, exceed the penal amount of this obligation as herein stated.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its BOND shall be in no way impaired or affected by any extension of the time within which the OWNER may accept such BID; and said Surety does hereby waive notice of any such extension.

IN WITNESS WHEREOF, the Principal and the Surety have hereunto set their hands and seals, and such of them as are corporations have caused their corporate seals to be hereto affixed and these presents to be signed by their proper officers, the day and year first set forth above.

SEAL (If BID is by a corporation)

Canyon Excavation LLC

By: _____
(Signature)

Attest: _____
(Signature)

Title: Owner

American Alternative Insurance Corporation

By: _____
(Signature)

Witness: _____
(Signature)

Matthew Grenrood, Attorney-in-Fact

Jennifer Grenrood, Witness/Attest



IMPORTANT - Surety Companies executing BONDS must appear on the Treasury Department's most current list (Circular 570 as amended) and be authorized to transact business in the state where the project is located.

CERTIFIED COPY

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That the AMERICAN ALTERNATIVE INSURANCE CORPORATION, a corporation organized and existing by virtue of the laws of the State of Delaware ("Corporation") with offices at 555 College Road East, Princeton, N.J. 08543, has made, constituted and appointed, and by these presents, does make, constitute and appoint:

Kara Skinner; Cameron Huntsucker; Mercedes Trokey-Moudy; Jennifer Grenrod; Sierra Maine; Matthew Grenrod; and Alexa Bevill

its true and lawful Attorneys-in-Fact, at Princeton, in the State of New Jersey, each of them alone to have full power to act without the other or others, to make, execute and deliver on its behalf, as Surety or Co-surety, bonds and undertakings given for any and all purposes, also to execute and deliver on its behalf as aforesaid renewals, extensions, agreements, waivers, consents or stipulations relating to such bonds or undertakings provided, however, that no single bond or undertaking so made, executed and delivered shall obligate said Company for any portion of the penal sum thereof in excess of the sum of **One Hundred Million Dollars (\$100,000,000)**. Such bonds and undertakings for said purposes, when duly executed by said Attorney(s)-in-Fact, shall be binding upon said Company as fully and to the same extent as if signed by the President of said Company under its corporate seal attested by its Secretary. This appointment is made under and by authority of a certain Resolution adopted at a meeting of the Board of Directors of said Company duly held on the 27th day of August, 1975, a copy of which appears below.

IN WITNESS WHEREOF, the AMERICAN ALTERNATIVE INSURANCE CORPORATION has caused its corporate seal to be hereunto affixed, and these presents to be signed by its duly authorized officers this 24th day of September, 2021.



By: *Michael G. Kerner*
Michael G. Kerner
President
Attest: *Ignacio Rivera*
Ignacio Rivera
Deputy General Counsel & Secretary

STATE OF NEW JERSEY, COUNTY OF SOMERSET

The foregoing instrument was acknowledged before me by means of online notarization this 24th day of September, 2021, by Michael G. Kerner and Ignacio Rivera, who are personally known to me.



Jillian Sanfilippo
Jillian Sanfilippo/Notary Public
State of New Jersey
My Commission Expires February 8, 2026

SECRETARY'S CERTIFICATE

The undersigned, Ignacio Rivera, hereby certifies:

- 1. That the undersigned is Secretary of American Alternative Insurance Corporation, a corporation of the State of Delaware;
- 2. That the original power of attorney of which the foregoing is a copy was duly executed on behalf of said Corporation on the day of its date, and has not since been revoked, amended or modified; that the undersigned has compared the foregoing copy thereof with said original power of attorney, and that the same is a true and correct copy of said original power of attorney and of the whole thereof;
- 3. That the original resolution of which the following is a copy was duly adopted at, and recorded in the minutes of, a regular meeting of the Board of Directors of said Corporation duly held on August 4, 1998, and has not since been revoked, amended or modified.

RESOLVED, that each of the following officers of this Corporation, namely, the President, the Executive Vice President, the Senior Vice Presidents, and the Vice Presidents, be, and they hereby are, authorized, from time to time in their discretion, to appoint such agent or agents or attorney or attorneys-in-fact as deemed by them necessary or desirable for the purpose of carrying on this Corporation's business, and to empower such agent or agents or attorney or attorneys-in-fact to execute and deliver, in this Corporation's name and on its behalf, and under its seal or otherwise, surety bonds, surety undertakings or surety contracts made by this Corporation as surety thereon.

RESOLVED, that the signature of any authorized officer of the Corporation and the Corporation's seal may be affixed by facsimile to any power of attorney and revocation of any power of attorney or certificate of either given for the execution of any surety bond, surety undertaking, or surety contract, such signature and seal, when so used being hereby adopted by the Corporation as the original signature of such officer and the original seal of the Corporation, to be valid and binding upon the Corporation with the same force and effect as though manually affixed.

FURTHER RESOLVED, that any prior appointments by the Corporation of MGAs are, in all respects, hereby ratified, confirmed and approved.

FURTHER RESOLVED, that the Secretary or any Assistant Secretary of this Corporation is hereby authorized to certify and deliver to any person to whom such certification and delivery may be deemed necessary and desirable in the opinion of such Secretary or Assistant Secretary, a true copy of the foregoing resolution.

- 4. The undersigned has compared the foregoing copies of said original resolutions as so recorded, and they are the same true and correct copies of said original resolutions as so recorded and of the whole thereof.

Witness the hand of the undersigned and the seal of said Corporation this 22nd day of January, 2025.



AMERICAN ALTERNATIVE INSURANCE CORPORATION

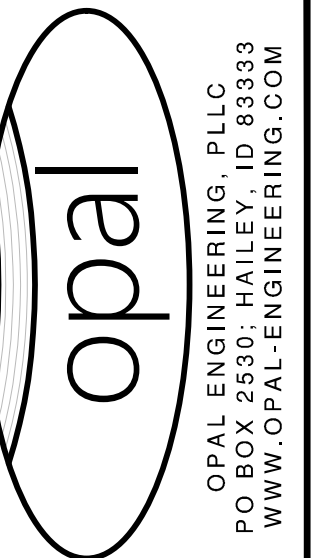
Ignacio Rivera
Ignacio Rivera (Sep 24, 2021 16:06 EDT)
Ignacio Rivera
Deputy General Counsel & Secretary

TRS-1001-1

SOUTH KETCHUM REDUNDANT MAIN, PROJECT A

KETCHUM, IDAHO

DECEMBER 2024



OPAL ENGINEERING, PLLC
 PO BOX 2530 - HAILEY, ID 83333
 WWW.OPAL-ENGINEERING.COM



These plans and/or specifications have been reviewed for compliance with Department of Environmental Quality rules. This review does not relieve the owner, engineer, or the contractor of the responsibility to design or construct these facilities in compliance with all current applicable federal, state, and local laws, rules, regulations, or ordinances. Plans and/or specifications must be resubmitted for review if construction is not completed within one year from approval date.

Joseph Otero, P.E. **Dec 13, 2024**
 Reviewing DEQ Engineer Approval Date:
 Refer to approval conditions in letter to: City of Ketchum

GENERAL CONSTRUCTIONS NOTES

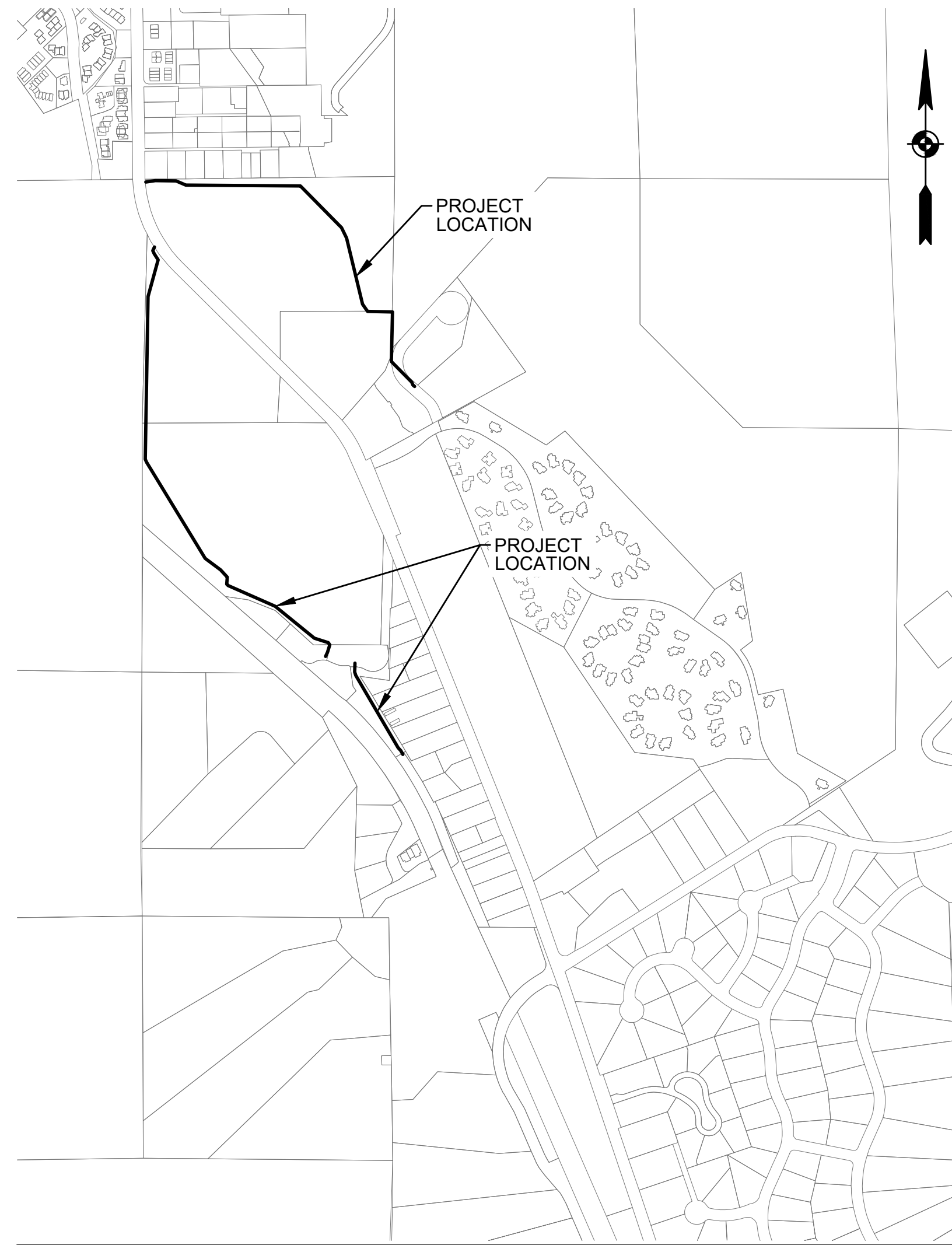
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPGC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPGC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION TO INCLUDE ANY AND ALL LANDSCAPE IRRIGATION, VEGETATION, STRUCTURES, AND FIXTURES.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPGC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPGC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPGC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPGC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPGC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPGC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPGC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPGC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPGC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPGC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPGC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPGC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA-BENCHMARK ENGINEERING. CONTOUR DATA IS PER BLAINE COUNTY LIDAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.

WATER MAIN CONSTRUCTION NOTES

- WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF KETCHUM STANDARDS. NO WATER MAIN OR SERVICES SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
- WATER MAINS AND SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
- ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPGC SECTION 401.3.6 AND THE CITY OF KETCHUM STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPGC SECTION 401 AND THE CITY OF KETCHUM SPECIFICATIONS.
- SEE FLUSHING AND DISINFECTION REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF KETCHUM WATER AND SEWER DEPARTMENT FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSIS/NSF STANDARD 60/61. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25%Pb BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPGC SD-403 AND THE CITY OF KETCHUM STANDARDS.
- ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPGC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPGC SD-406 AND THE CITY OF KETCHUM SPECIFICATIONS.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSII/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
- ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07.a AND IDAPA 58.01.08.542.07.b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON THIS SHEET). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPGC SECTION 404 AND THE CITY OF KETCHUM STANDARDS. A USC EC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF KETCHUM WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
- EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

SHEET INDEX

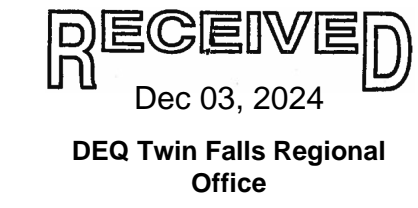
| SHEET# | DESCRIPTION |
|--------|--|
| C0.10 | COVER SHEET |
| C0.20 | KEY MAP |
| C0.30 | EASEMENT OVERLAY MAP |
| C1.00 | DETAIL SHEET |
| C1.10 | WATER MAIN PLAN (SH-75 TO FARNLUN PL) |
| C1.20 | WATER MAIN PLAN (SERENADE LN TO NEILS WAY) |
| C1.30 | WATER MAIN PLAN (NEILS WAY TO GLADE CT) |



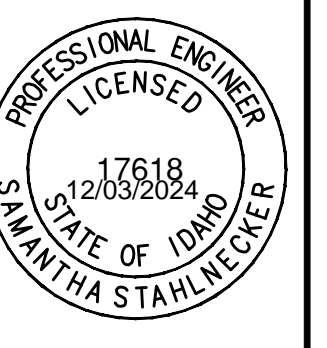
VICINITY MAP
N.T.S.

LEGEND

| EXISTING CONDITIONS | PROPOSED CONDITIONS |
|---------------------|----------------------------------|
| P/L | |
| | 8" Water Main Fitting, see plans |
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PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

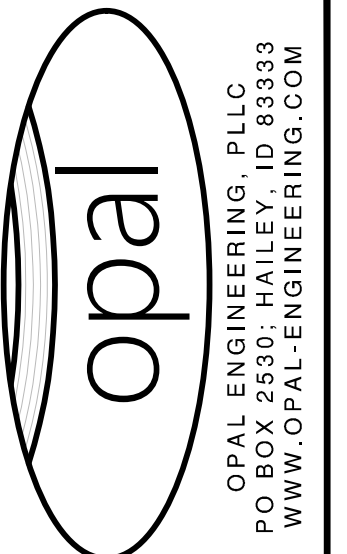
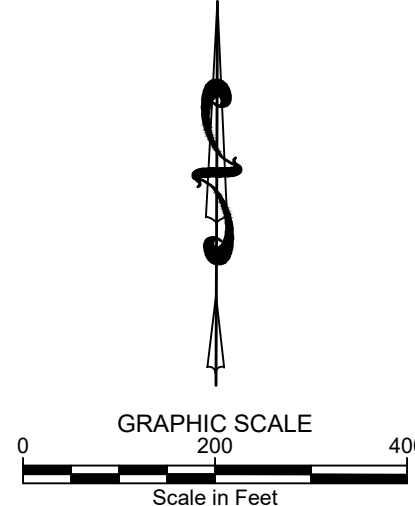
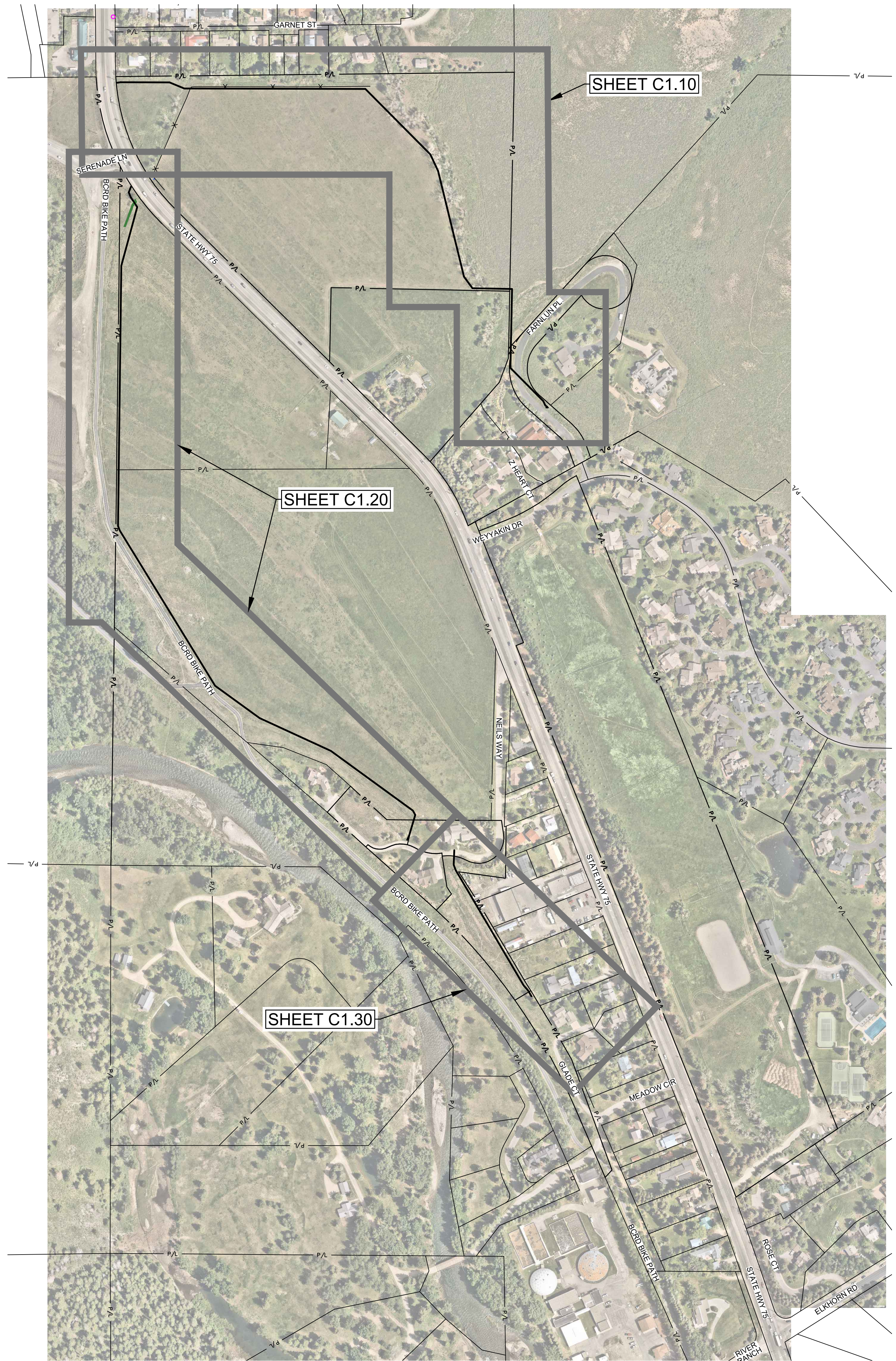


COVER SHEET
SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
 PREPARED FOR: CITY OF KETCHUM

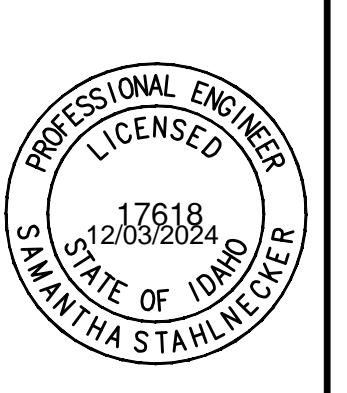
CIVIL ENGINEER
 SAMANTHA STAHLNECKER, PE
 OPAL ENGINEERING, PLLC
 416 S. MAIN STREET SUITE 204
 PO BOX 2530
 HAILEY, IDAHO 83333

22036-7.0
PROJECT NUMBER

C0.10



| REVISION NO. | DATE | DESCRIPTION |
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KEY MAP

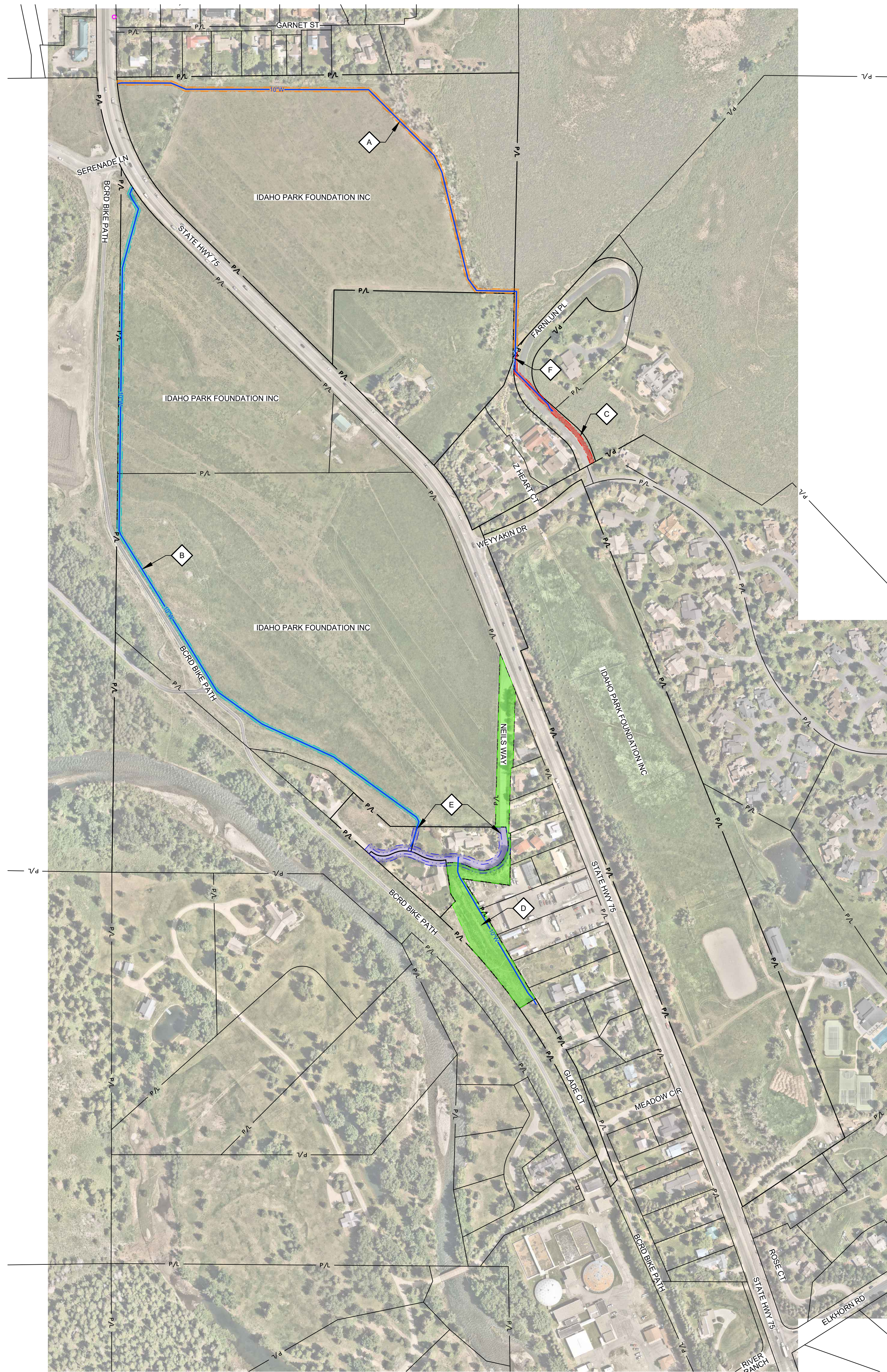
SOUTH KETCHUM REDUNDANT MAIN, PROJECT A

PREPARED FOR: CITY OF KETCHUM

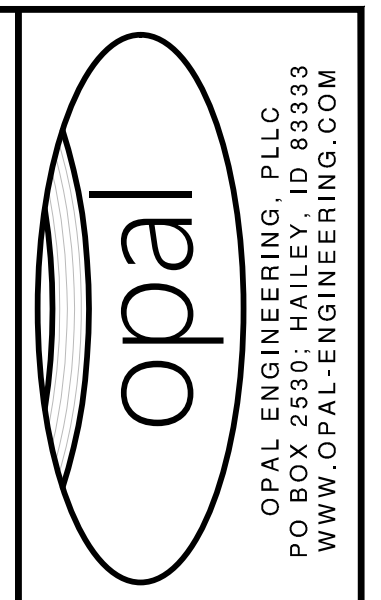
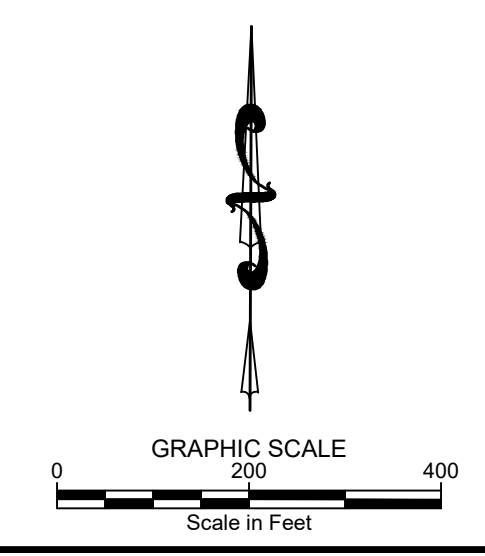
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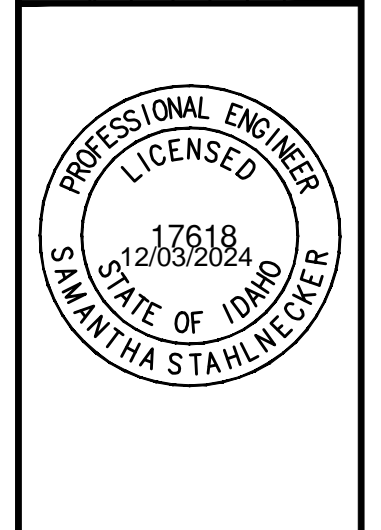
NOTE: THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH OPAL ENGINEERING, PLLC.



- WATER MAIN EASEMENT LEGEND**
- A PROPOSED 15' WIDE EASEMENT: IDAHO PARK FOUNDATION INC, AREA EAST OF HIGHWAY 75
 - B PROPOSED 15' WIDE EASEMENT: IDAHO PARK FOUNDATION INC, AREA WEST OF HIGHWAY 75
 - C PROPOSED 15' WIDE EASEMENT: ALONG FARNLUN PLACE (PRIVATE ROAD).
 - D EXISTING UTILITY EASEMENT WITHIN PARCEL A, EAST OF BALDY, NOTE 5, INSTR.# 369083.
 - E EXISTING UTILITY EASEMENTS ALONG NEILS WAY, PER EAST OF BALDY, NOTES 3 & 7, INSTR.# 369083.
 - F EXISTING UTILITY EASEMENT ALONG FARNLUN PLACE, PER PLAT OF LOT 1A, BLOCK 7 WEYYAKIN SUB., NOTE 1, INSTR.# 485709.

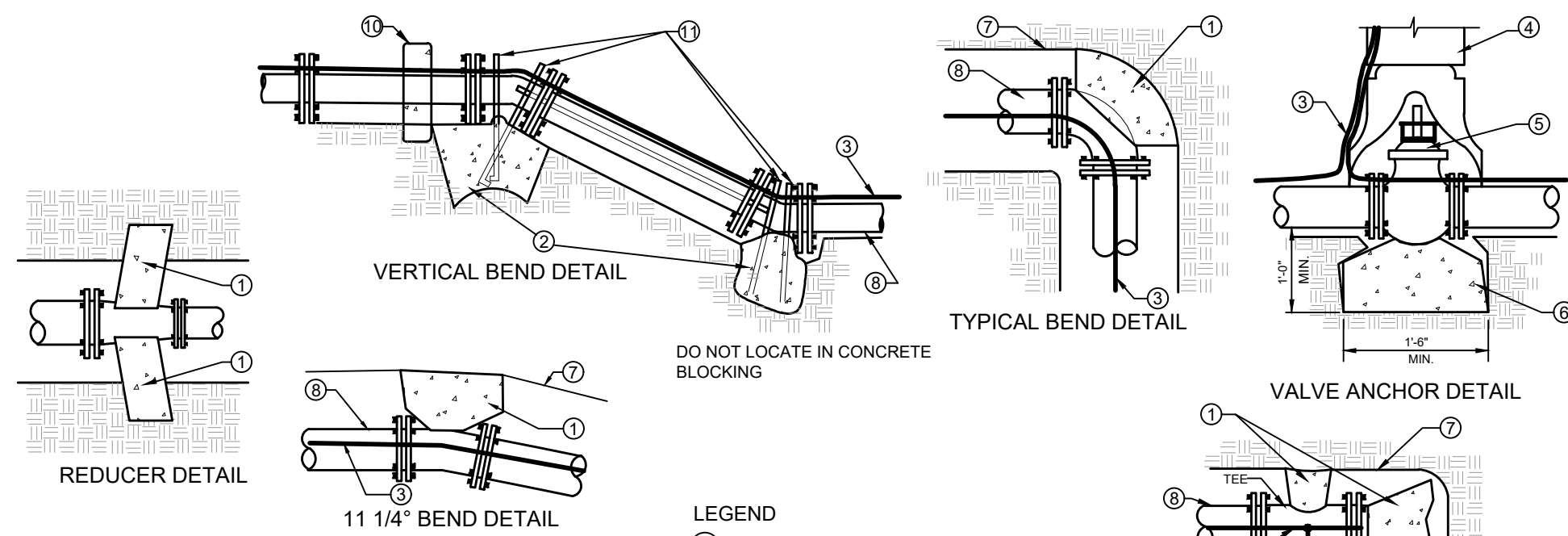


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EASEMENT OVERLAY MAP
SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
 PREPARED FOR: CITY OF KETCHUM

22036-7.0
 PROJECT NUMBER
C0.30



LEGEND

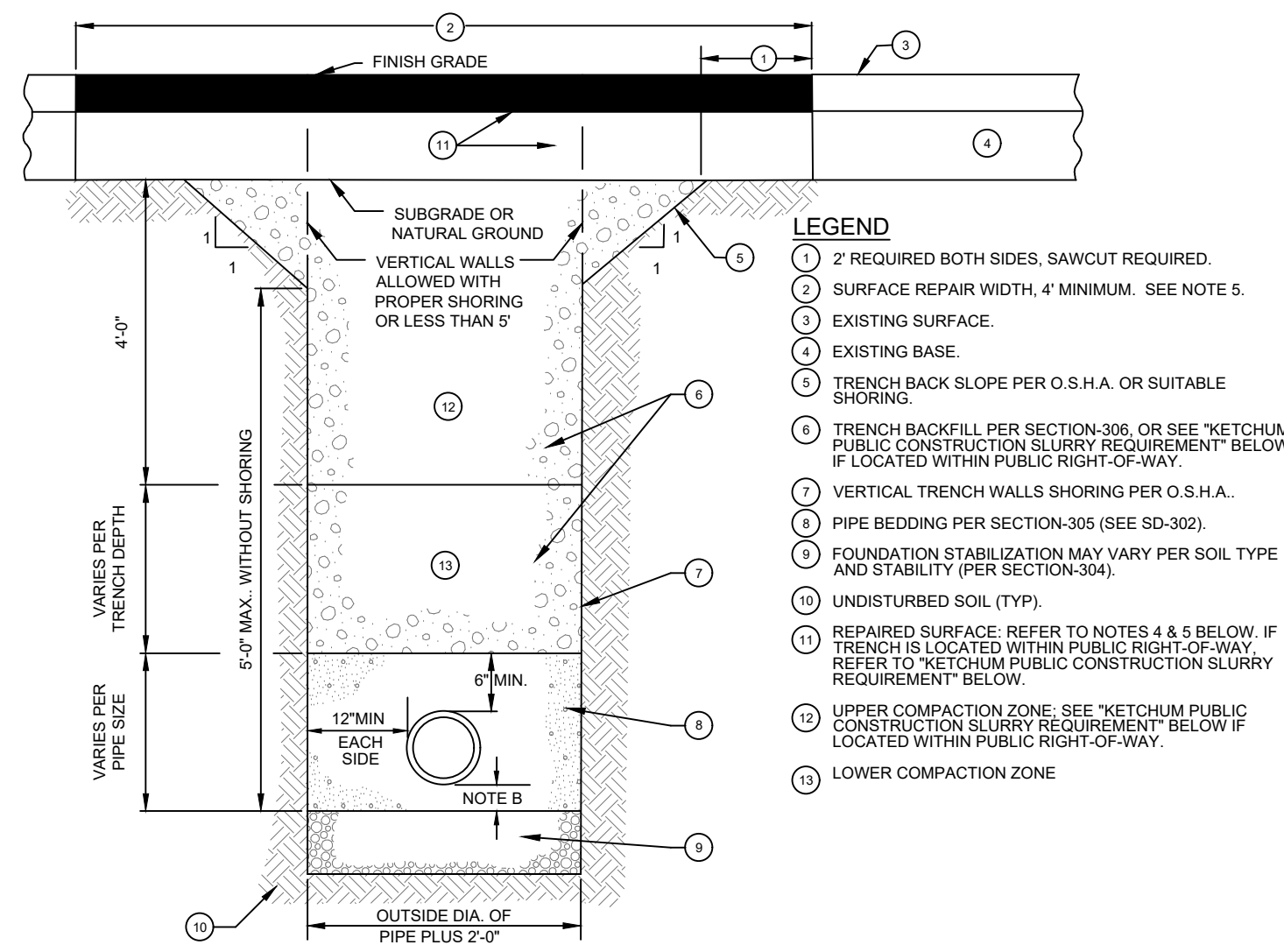
- 1) FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- 2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- 3) NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- 4) C.I. VALVE BOX WITH COVER.
- 5) C.I. GATE VALVE (M.J.).
- 6) PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
- 7) TRENCH SIDE.
- 8) PIPE.
- 9) PLUG.
- 10) HAMMERHEAD THRUST BLOCKING.
- 11) ANCHOR BARS (1/2" MIN)

TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

| PIPE SIZE | TEE, FLUG OF VALVE | 90° BEND** | 45° BEND | 22.5° 11.25° BENDS OR REDUCER |
|-----------|--------------------|------------|----------|-------------------------------|
| 3" | 0.8 | 1.1 | 0.6 | 0.3 |
| 4" | 1.4 | 2.0 | 1.1 | 0.6 |
| 6" | 3.2 | 4.5 | 2.4 | 1.2 |
| 8" | 5.7 | 8.0 | 4.3 | 2.2 |
| 10" | 8.8 | 12.5 | 6.8 | 3.4 |
| 12" | 12.7 | 18.0 | 9.7 | 5.0 |
| 14" | 17.3 | 24.5 | 13.3 | 6.8 |
| 16" | 22.6 | 32.0 | 17.3 | 8.8 |
| 18" | 28.6 | 40.5 | 21.9 | 11.2 |

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR TEE ACTING AS A 90° BEND
 ***THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

1 C1.00 THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



LEGEND

- 1) 2" REQUIRED BOTH SIDES. SAWCUT REQUIRED.
- 2) SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
- 3) EXISTING SURFACE.
- 4) EXISTING BASE.
- 5) TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- 6) TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- 7) VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
- 8) PIPE BEDDING PER SECTION-305 (SEE SD-302).
- 9) FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY PER SECTION-304.
- 10) UNDISTURBED SOIL (TY).
- 11) REPAIRED SURFACE: REFER TO NOTES 4 & 5 BELOW. IF TRENCH IS LOCATED WITHIN PUBLIC RIGHT-OF-WAY REFER TO "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW.
- 12) UPPER COMPACTION ZONE: SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- 13) LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL, WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

| | |
|-------------------------------|----------------|
| COARSE AGGREGATE (3/4" MINUS) | 2,600 LBS |
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL. (MAX.) |

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

- NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.
- NOTES:
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE AND BASE REPAIR PER CITY OF KETCHUM STANDARD DRAWING DETAIL NO. 3, "TYPICAL STREET ASPHALT SECTION".
 - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
 - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

2 C1.00 TYPICAL TRENCH SECTION
N.T.S.

FLUSHING AND DISINFECTION

- BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
 - USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
 - IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A TAP OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
 - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
 - EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL THAT MAY HAVE ENTERED THE MAINS.
 - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- DISINFECTION OF WATER PIPES
 - GENERAL
 - COMPLY WITH ANSI/AWWA C 651: DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - KEEP THE INTERIOR OF PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
 - LIQUID CHLORINE
 - FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - STANDARD: ANSI/AWWA B 301.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND EJECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - SODIUM HYPOCHLORITE
 - FORM: LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
 - STANDARD: ANSI/AWWA B 300.
 - CALCIUM HYPOCHLORITE
 - FORM: GRANULAR OR IN 5G TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
 - STANDARD: ANSI/AWWA B 300.
- METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
 - TABLET OR GRANULE METHOD
 - SOLUTION STRENGTH: 25 MG/L MINIMUM.
 - USE: ONLY IF THE PIPES AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SCREWED JOINT STEEL PIPE.
 - PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN, AND AT 500-FOOT INTERVALS.
 - GRANULAR QUANTITY: REFER TO TABLE 2
 - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 5G CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT, HYDRANT BRANCH AND OTHER APPURTENANCES. ATTACH TABLETS TO THE INSIDE OF THE PIPE USING AN ADHESIVE SUCH AS AN ADHESIVE NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE TABLET EXCEPT ON THE BROAD SIDE ATTACHED TO THE SURFACE OF THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE TIP OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBERS OF TABLETS AT EACH END OF A GIVEN PIPE LENGTH. IF THE TABLES ARE ATTACHED BEFORE THE PIPE SECTION IS PLACED IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLES AT THE TOP.
 - TABLET QUANTITY: REFER TO TABLE 3
 - ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
 - BASED ON 3.25G AVAILABLE CHLORINE PER TABLET.
 - FILLING PROCEDURE: WHEN GRANULE OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 41° F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
 - CONTINUOUS FEED METHOD
 - SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
 - RESIDUAL: 10 MG/L AT 24 HOURS.
 - DOSING METHODS
 - LIQUID CHLORINE: SOLUTION FEED VACUUM-OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
 - DIRECT FEED: NOT ALLOWED.
 - HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
 - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOSE. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END ON THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
 - SLUG METHOD
 - SOLUTION STRENGTH: 100 MG/L
 - DOSING METHODS: PER ENGINEER'S DIRECTION
 - FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE. APPLY THE CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR "SLUG" OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
- FINAL FLUSHING.
 - AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE
 - DAMAGE SURROUNDING PROPERTIES.
 - TAKE PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
 - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL, AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEQ STAFF PRIOR TO FLUSHING.
- BACTERIOLOGICAL TESTS.
 - AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA.
 - TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
 - UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.
- SWABBING.
 - IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

TABLE 1
REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES
40 PSI RESIDUAL PRESSURE IN WATER MAIN (1)

| Pipe Diam. (inch) | Flow Required to Produce 2.5 fps (approx) (Gpm) | Size of Tap (inch) | | Hydrant Outlets | |
|-------------------|---|--------------------|-----|-----------------|----------------|
| | | (1) (1-1/2) | (2) | Number | Size in (inch) |
| 4 | 100 | 1 | 1 | 1 | 2-1/2 |
| 6 | 220 | 1 | 1 | 1 | 2-1/2 |
| 8 | 400 | 2 | 1 | 1 | 2-1/2 |
| 10 | 600 | 3 | 2 | 1 | 2-1/2 |
| 12 | 900 | 4 | 2 | 2 | 2-1/2 |
| 16 | 1500 | 4 | 2 | 2 | 2-1/2 |

1) With a 40 psi pressure in the main with the hydrant flowing to atmosphere, a 2-1/2 inch hydrant outlet will discharge approximately 1,000 gpm and a 4-1/2 inch hydrant will discharge approximately 2500 gpm.
 2) Number of taps on pipe based on discharge through 5 feet of galvanized iron (GI) pipe with one 90° elbow.

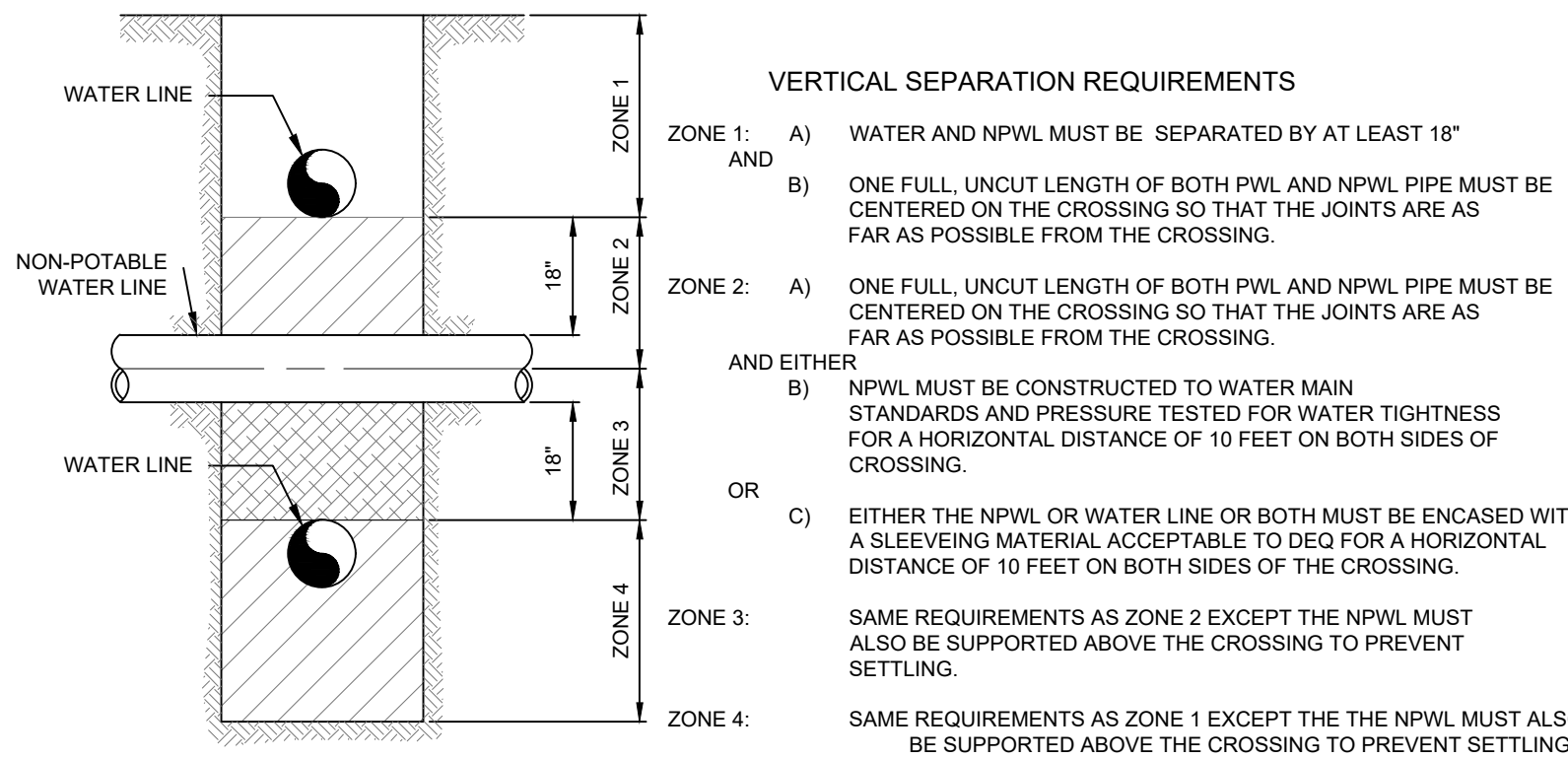
TABLE 2
OUNCES OF GRANULES

| Pipe Diameter (inches) | Amount (ounces) |
|------------------------|-----------------|
| 4 | 1.7 |
| 6 | 3.8 |
| 8 | 6.7 |
| 10 | 10.5 |
| 12 | 15.1 |
| 16 | 26.8 |
| 18 | 34.0 |
| 20 | 41.9 |
| 24 | 60.4 |

TABLE 3
NUMBER OF TABLETS (1)

| Pipe Diameter (inches) | Number of 5g Tablets (2) |
|------------------------|--------------------------|
| 4 | 1 |
| 6 | 1 |
| 8 | 2 |
| 10 | 3 |
| 12 | 4 |
| 16 | 7 |
| 18 | 9 |
| 24 | 13 |

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

HORIZONTAL SEPARATION REQUIREMENTS

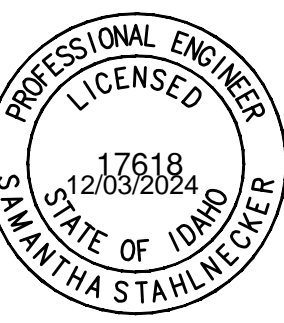
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- OR
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

* DISTANCES ARE HORIZONTAL

3 C1.00 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

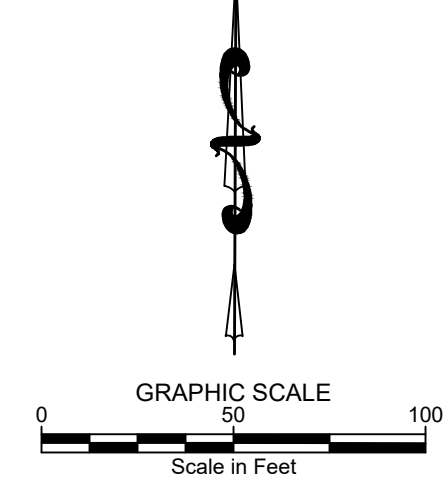
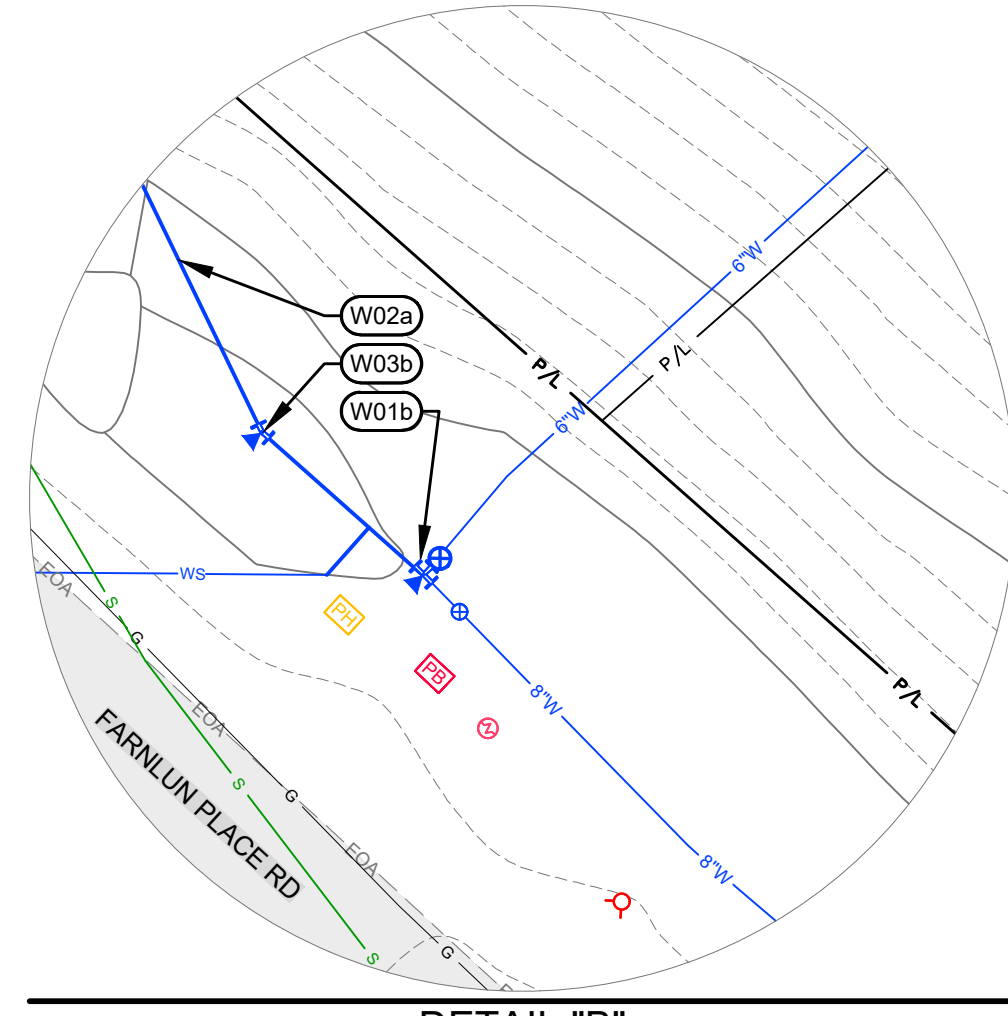
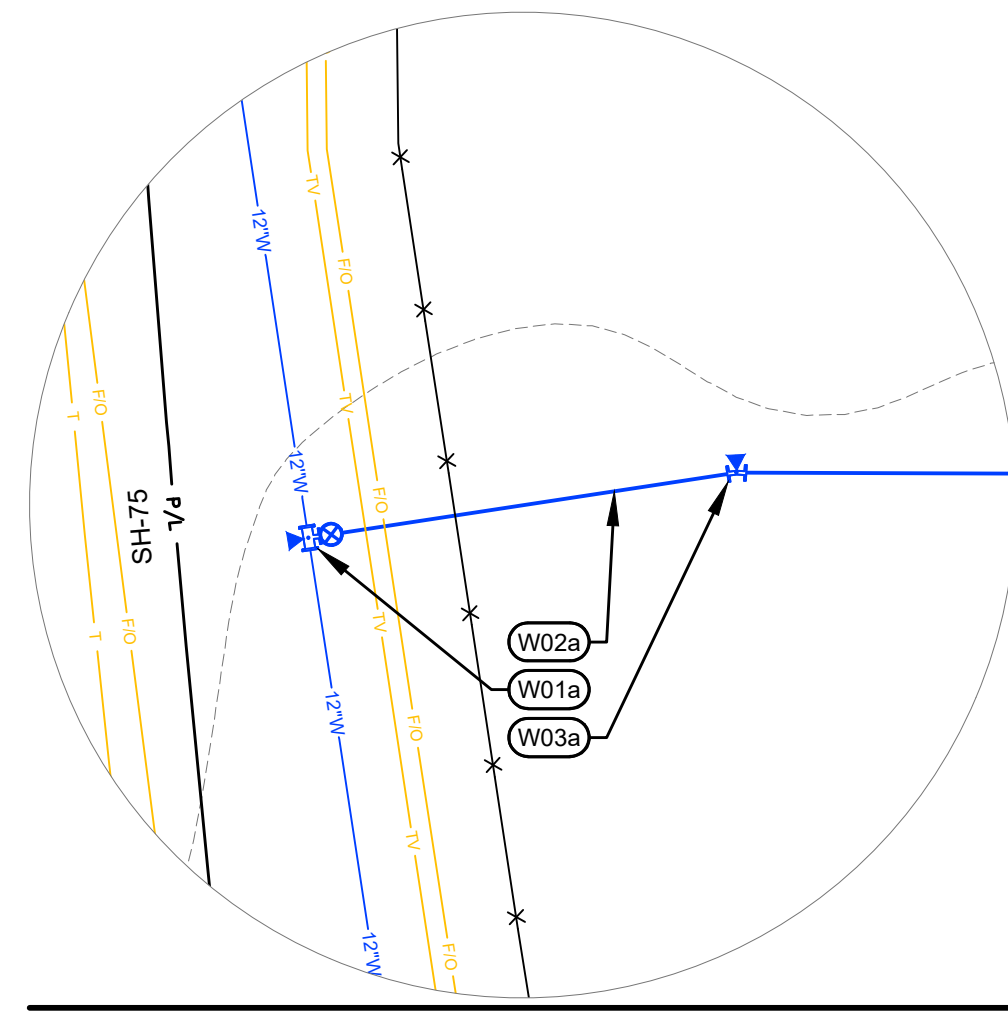
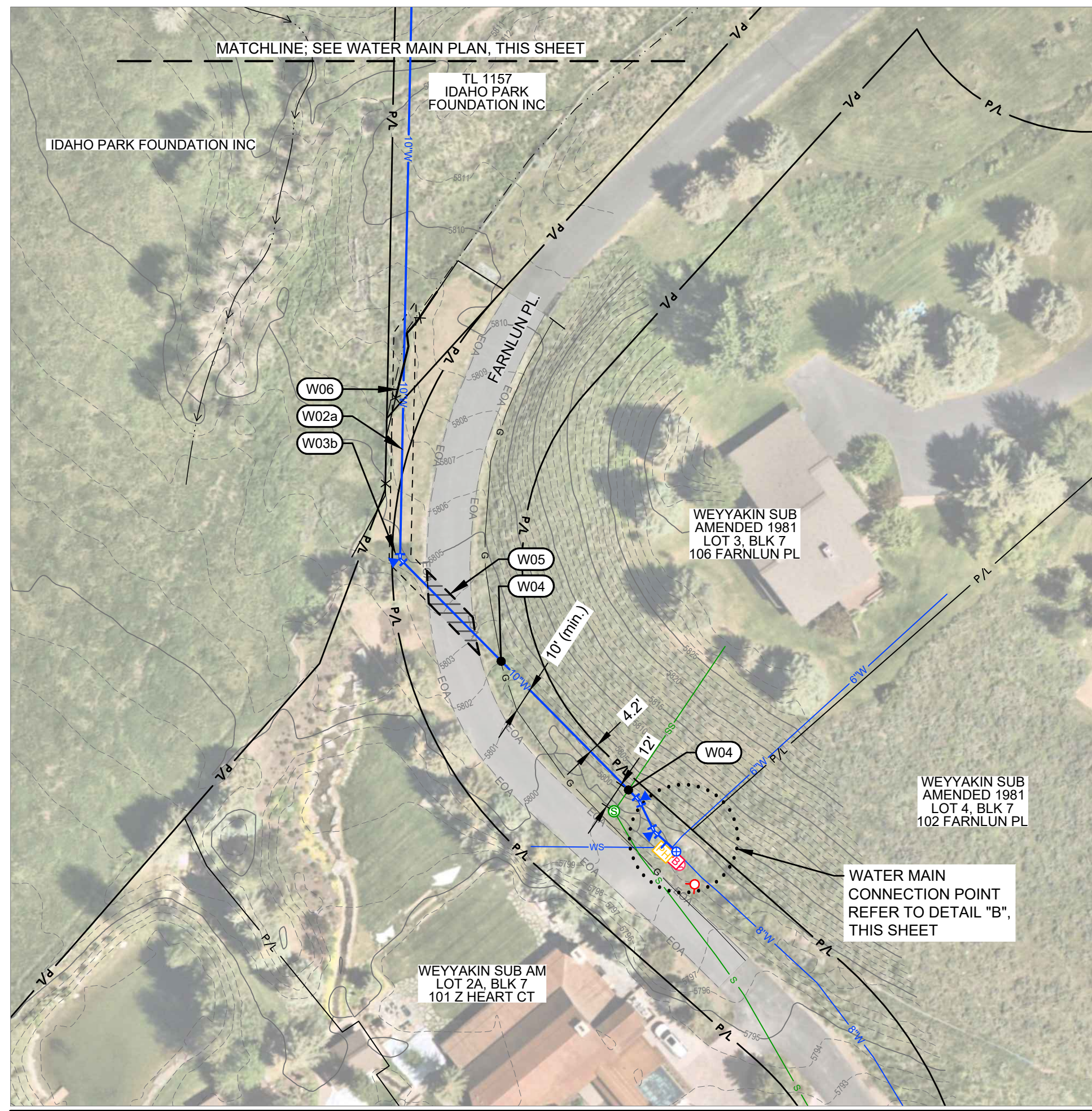
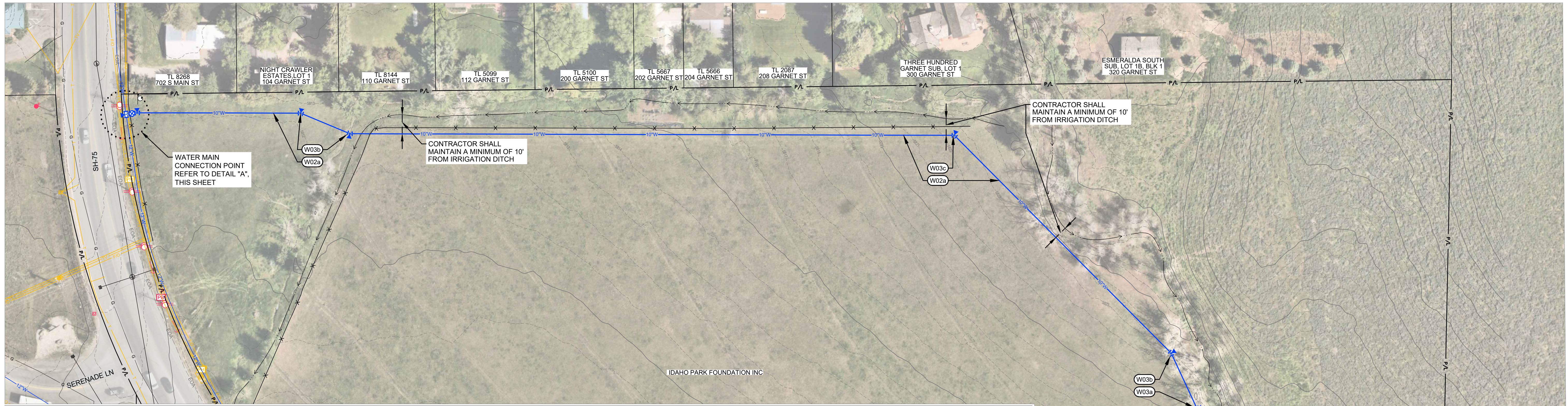
REVISION NO. DATE DESCRIPTION



DETAIL SHEET
SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
PREPARED FOR: CITY OF KETCHUM

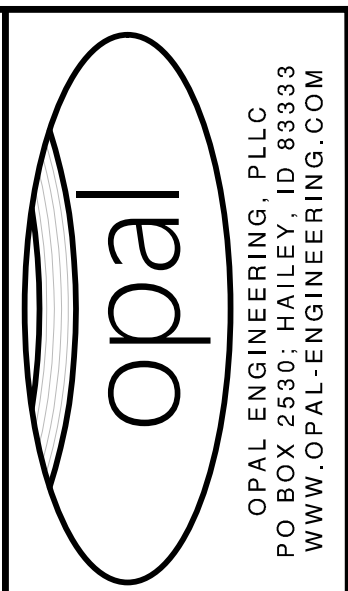
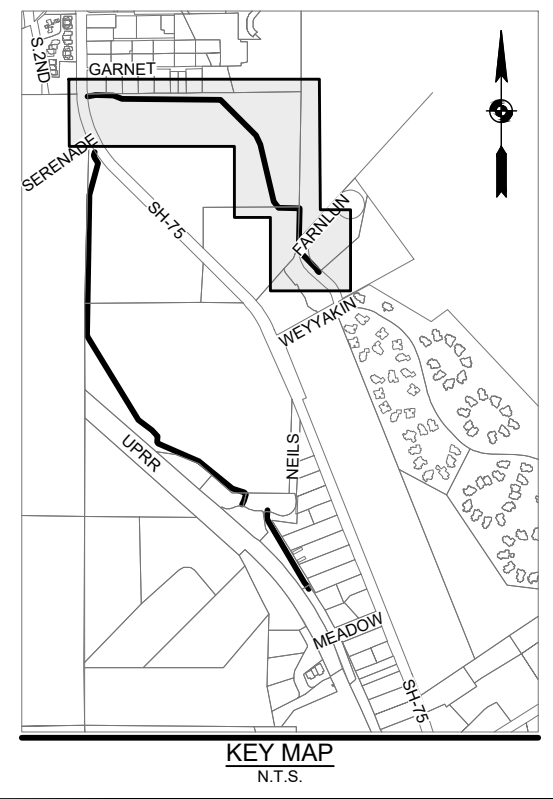
22036-7.0
PROJECT NUMBER

C1.00

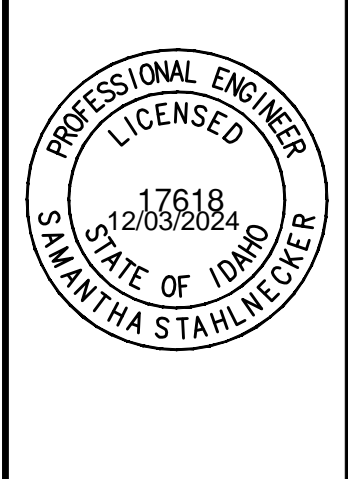


WATER KEY NOTES

- W01** POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY.
 - a. INSTALL 12"x10" STAINLESS STEEL TAPPING SADDLE, 10" GATE VALVE, WITH THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
 - b. CONNECT TO EXISTING 8" WATER MAIN.
 - EXPECTED CONNECTION IS 8"x6" D.I. REDUCING 90° BEND WITH WATER SERVICE TO "101 Z HEART CT" CONNECTED WITH SERVICE TAPPING SADDLE.
 - CONTRACTOR SHALL INSTALL 10"x8" REDUCER 8"x8"x6" D.I. TEE
 - 6" GATE VALVE
 - W/ THRUST BLOCKS
 - RECONNECT WATER SERVICE TO "101 Z HEART CT"
 - CONTRACTOR SHALL CONFIRM FITTING AND WATER SERVICE CONFIGURATION. EXTRA WATER FITTINGS MAY BE NEEDED.
- W02** INSTALL PVC C-900 WATER MAIN. REFER TO DETAIL 2 / C1.00 FOR TRENCHING.
 - a. 10 INCH
- W03** INSTALL DUCTILE IRON FITTINGS WITH THRUST BLOCK. REFER TO DETAIL 1 / C1.00 FOR THRUST PROTECTION.
 - a. 10" 11 1/4" BEND
 - b. 10" 22 1/2" BEND
 - c. 10" 45° BEND
 - d. 10" 90° BEND
- W04** POTABLE/NON-POTABLE CROSSING. SEE ISPW/C DETAIL SD-407 AND/OR DETAIL 3 / C1.00 FOR SEPARATION REQUIREMENTS.
- W05** SAWCUT ASPHALT AND REPAIR. REFER TO DETAIL 2 / C1.00. CONTRACTOR SHALL DEVELOP SEQUENCING PLAN AND SCHEDULE TO MINIMIZE CLOSURE OF FARNLUN PLACE. COORDINATE WITH CITY STAFF FOR IMPACTED NEIGHBOR NOTIFICATIONS.
- W06** LANDSCAPE REPAIR. THE CONTRACTOR SHALL REPAIR LANDSCAPED AREA AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION. SUCH ITEMS IN MAY INCLUDE, BUT ARE NOT LIMITED TO, LAWN, IRRIGATION, FENCE, LANDSCAPE WALL, ETC.
- RETAIN AND PROTECT**
 1. UTILITY POLE AND TELEPHONE RISER
 2. UTILITY BOX / VAULT
 3. FIRE HYDRANT



| REVISION NO. | DATE | DESCRIPTION |
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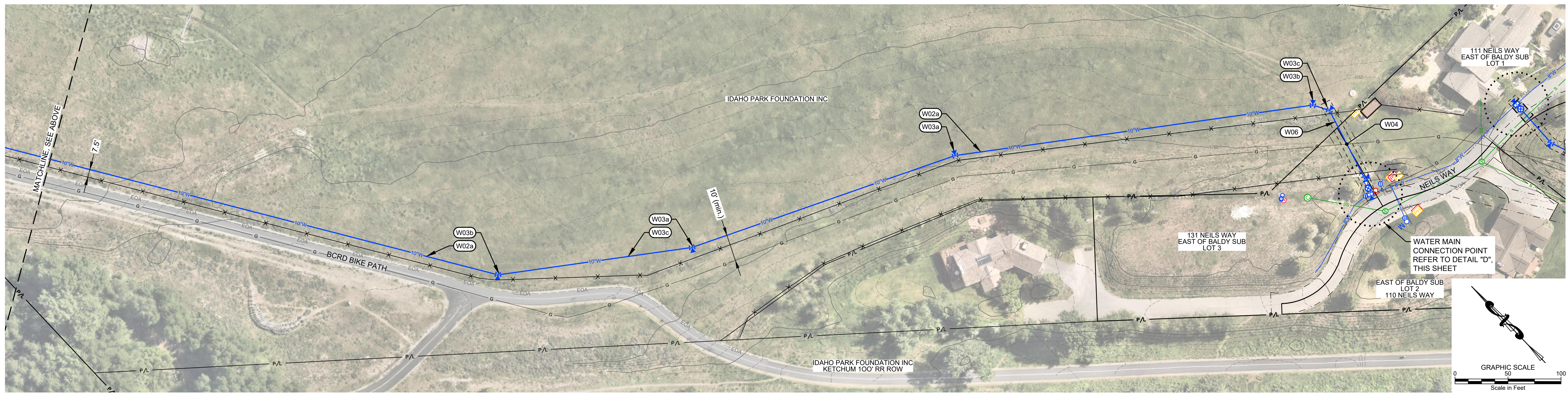


WATER MAIN PLAN
SH-75 TO FARNLUN PLACE
 SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
 PREPARED FOR: CITY OF KETCHUM

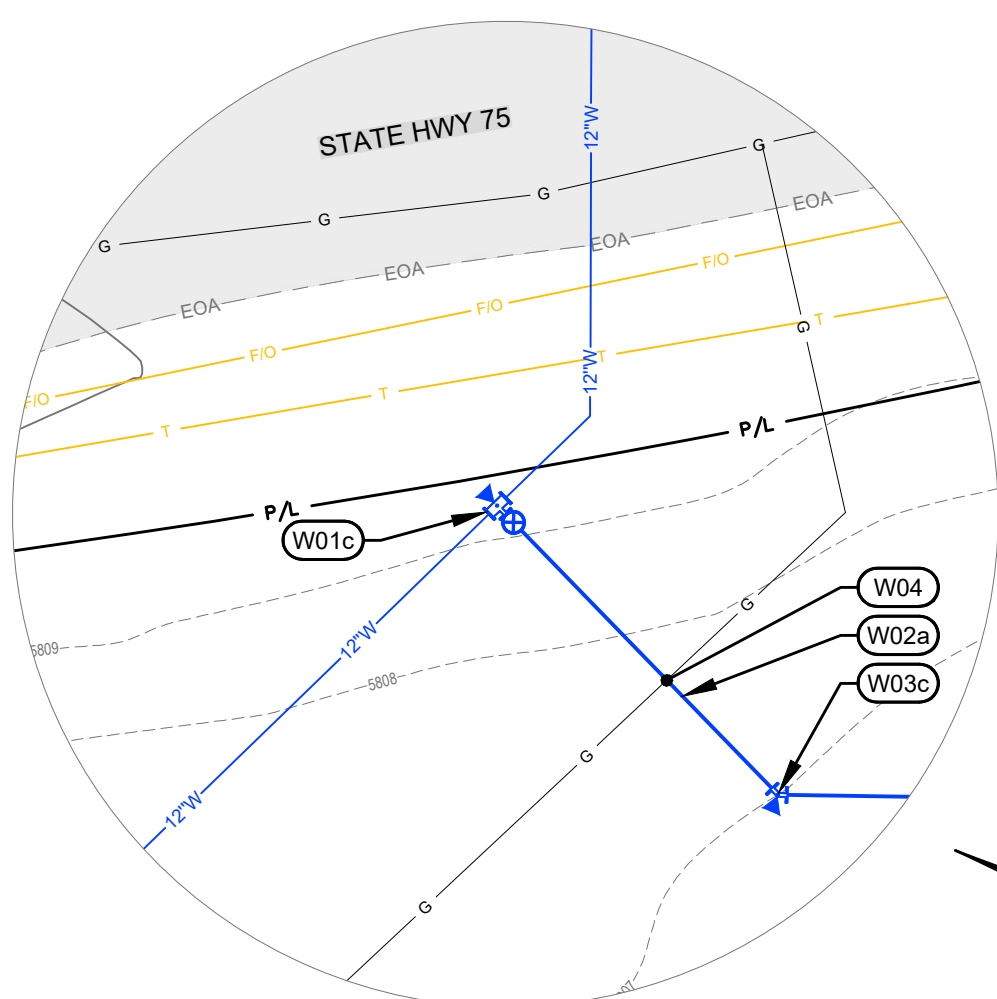
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 PROJECT NUMBER
C1.10



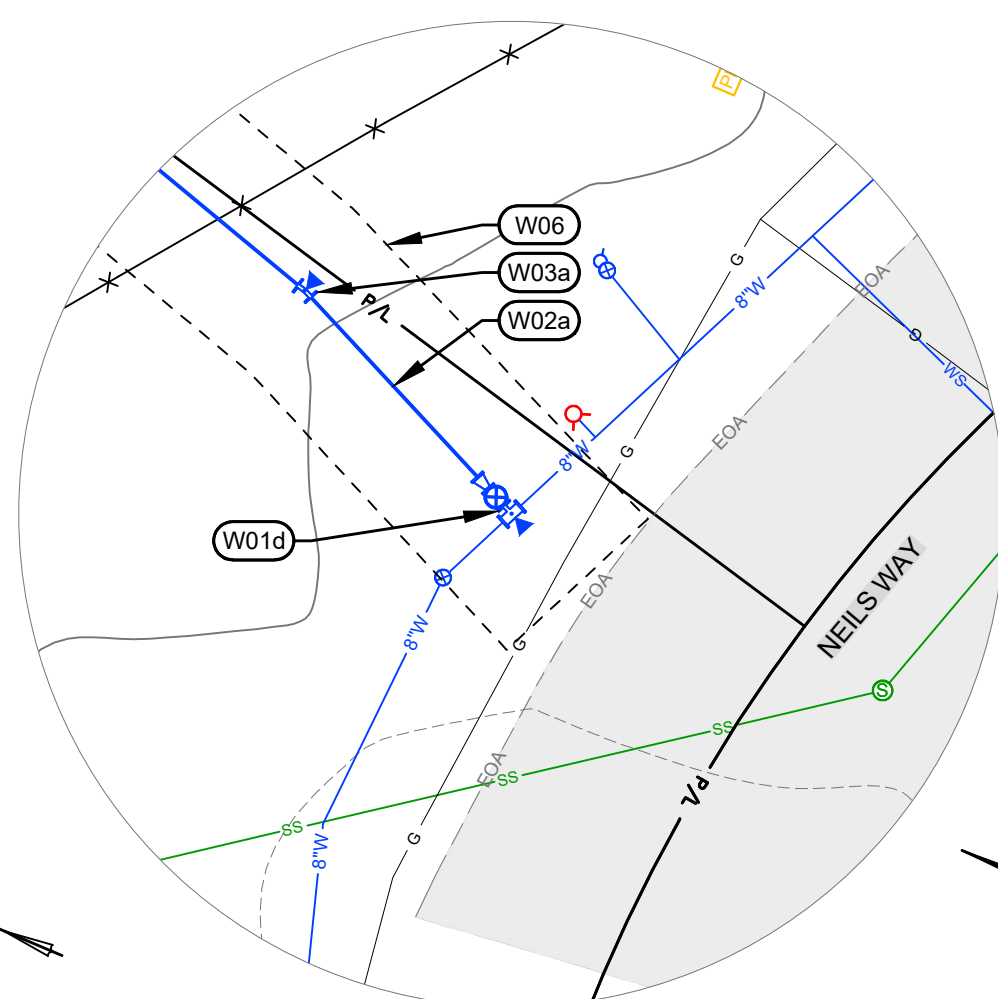
WATER MAIN PLAN



WATER MAIN PLAN



DETAIL "C"
SCALE: 1" = 10'



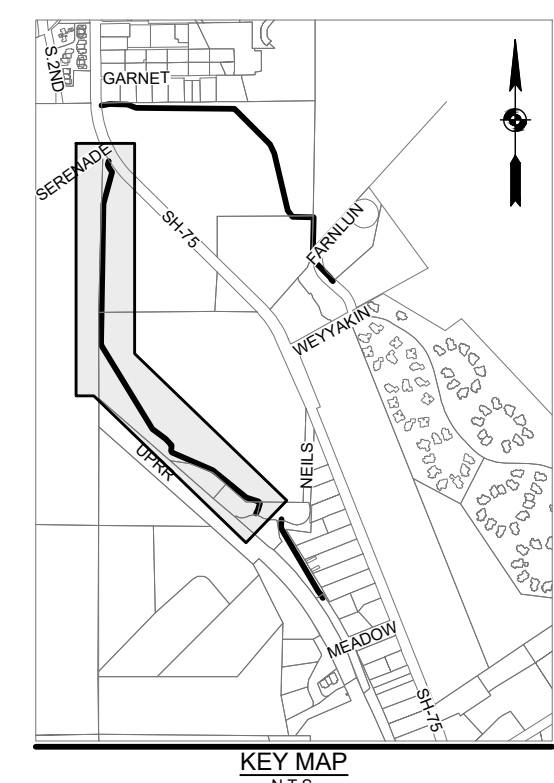
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WATER KEY NOTES

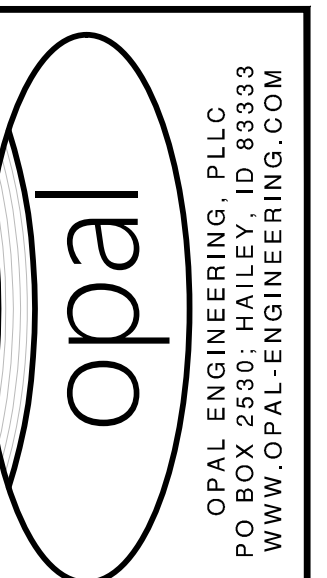
- W01 POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY.
 - c. CONNECT TO EXISTING 12" WATER MAIN. INSTALL 12"x10" STAINLESS STEEL TAPPING SADDLE, 10" GATE VALVE, WITH THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
 - d. CONNECT TO EXISTING 8" WATER MAIN. INSTALL 8"x8" STAINLESS STEEL TAPPING SADDLE, 8" GATE VALVE, 10"x8" REDUCER W/ THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
- W02 INSTALL PVC C-900 WATER MAIN. REFER TO DETAIL 2 / C1.00 FOR TRENCHING.
 - a. 10 INCH

- W03 INSTALL DUCTILE IRON FITTINGS WITH THRUST BLOCK. REFER TO DETAIL 1 / C1.00 FOR THRUST PROTECTION.
 - a. 10" 11 1/4" BEND
 - b. 10" 22 1/2" BEND
 - c. 10" 45" BEND
 - d. 10" 90" BEND

- W04 POTABLE/NON-POTABLE CROSSING. SEE ISPWC DETAIL SD-407 AND/OR DETAIL 3 / C1.00 FOR SEPARATION REQUIREMENTS.
- W06 LANDSCAPE REPAIR. THE CONTRACTOR SHALL REPAIR LANDSCAPED AREA AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION. SUCH ITEMS IN MAY INCLUDE, BUT ARE NOT LIMITED TO, LAWN, IRRIGATION, FENCE, LANDSCAPE WALL, ETC.
- W09 WETLANDS CROSSING. CONTRACTOR SHALL BORE UNDER WETLANDS AND CLEAR ITS EDGE BY A MINIMUM OF 10'. REFER TO ISPWC STANDARD DETAIL 307 (SD-307).

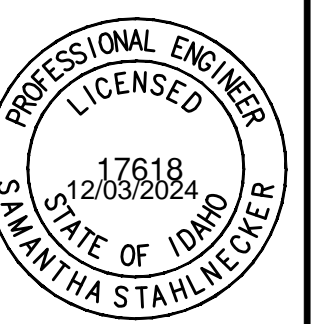


KEY MAP
N.T.S.



PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

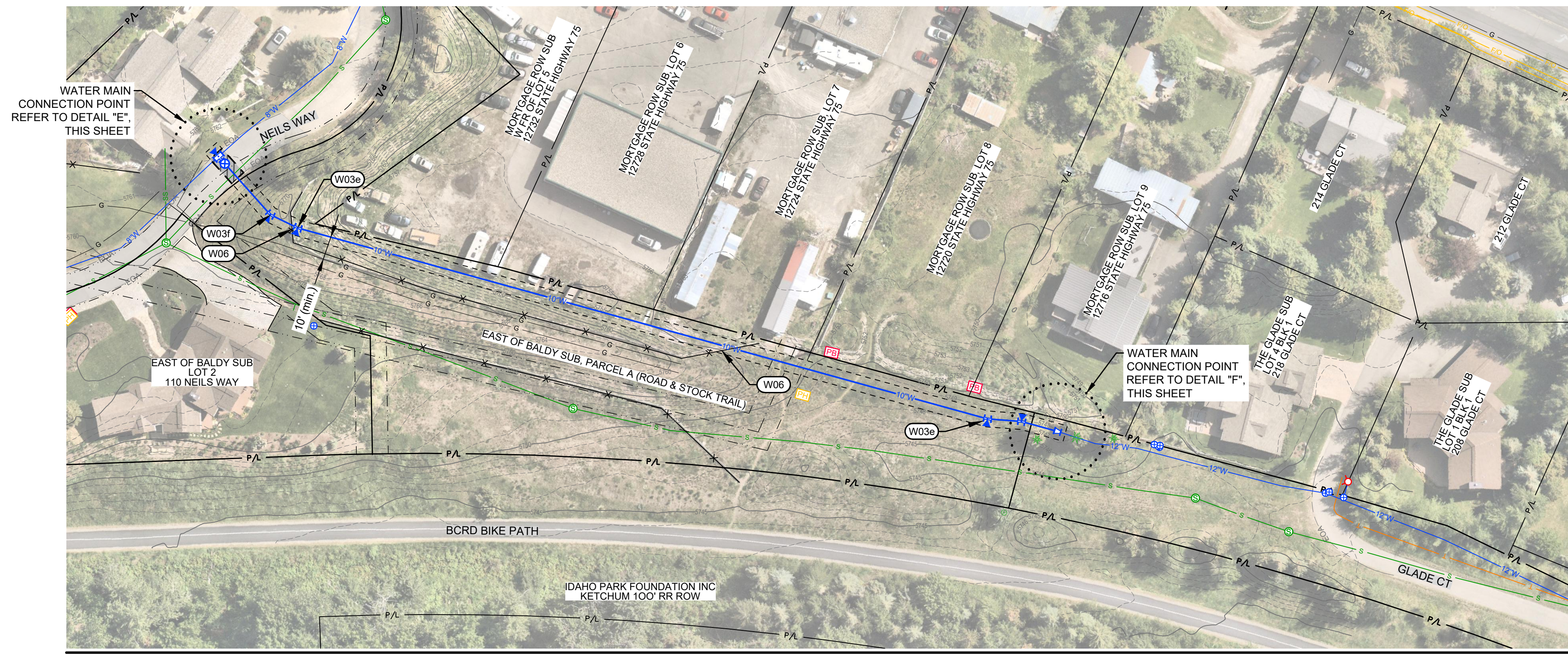
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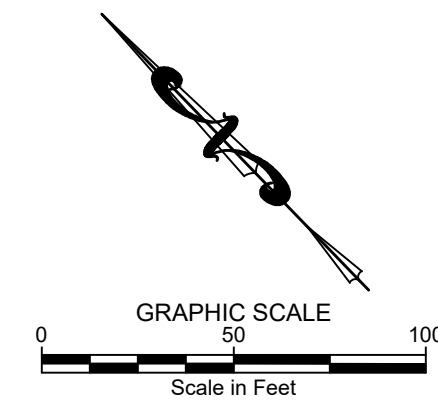
WATER MAIN PLAN
SERENADE LN TO NEILS WAY
 SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
 PREPARED FOR: CITY OF KETCHUM

22036-7.0
PROJECT NUMBER

C1.20

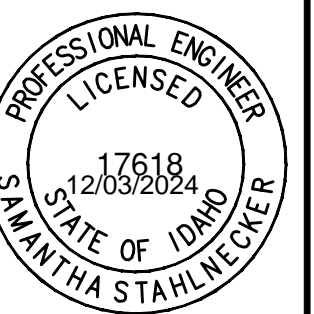


WATER MAIN PLAN



PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

| REVISION NO. | DATE | DESCRIPTION |
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**WATER MAIN PLAN
NEILS WAY TO GLADE CT**
SOUTH KETCHUM REDUNDANT MAIN, PROJECT A
PREPARED FOR: CITY OF KETCHUM

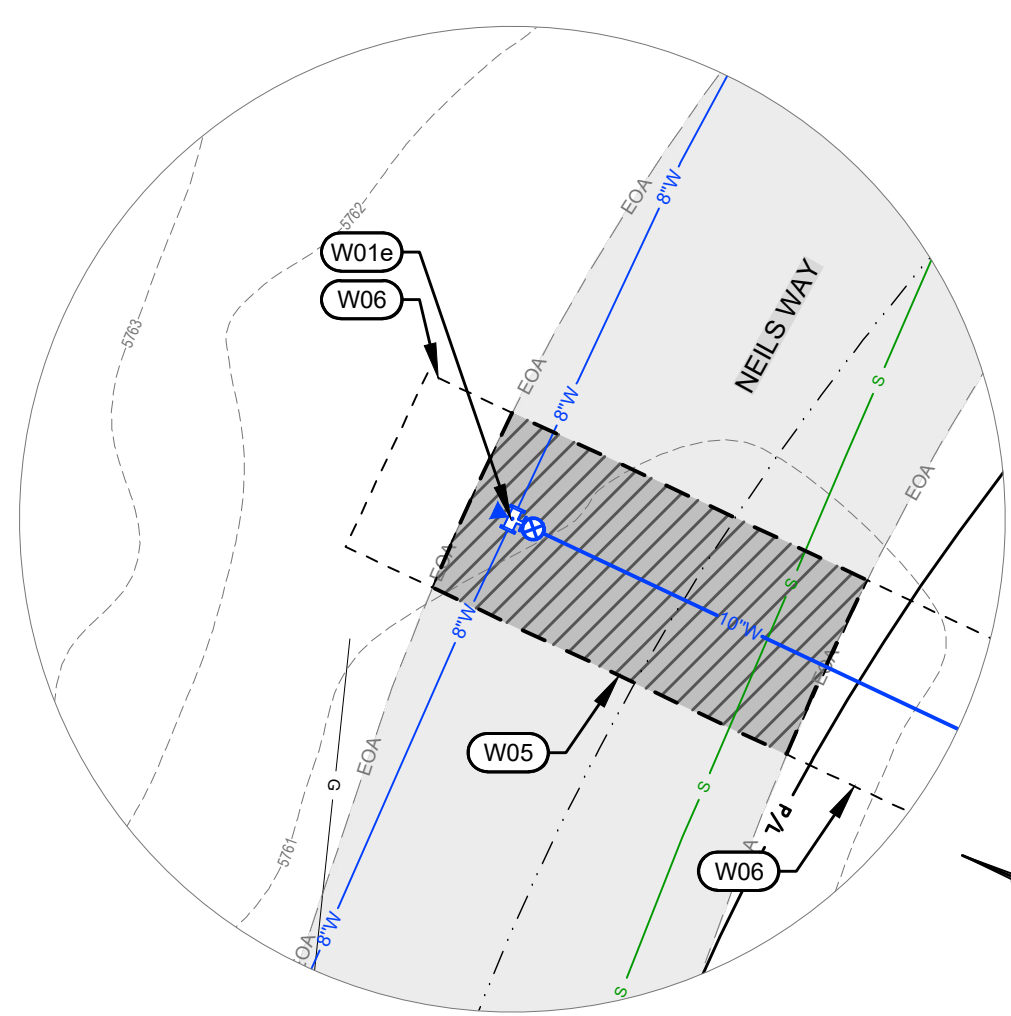
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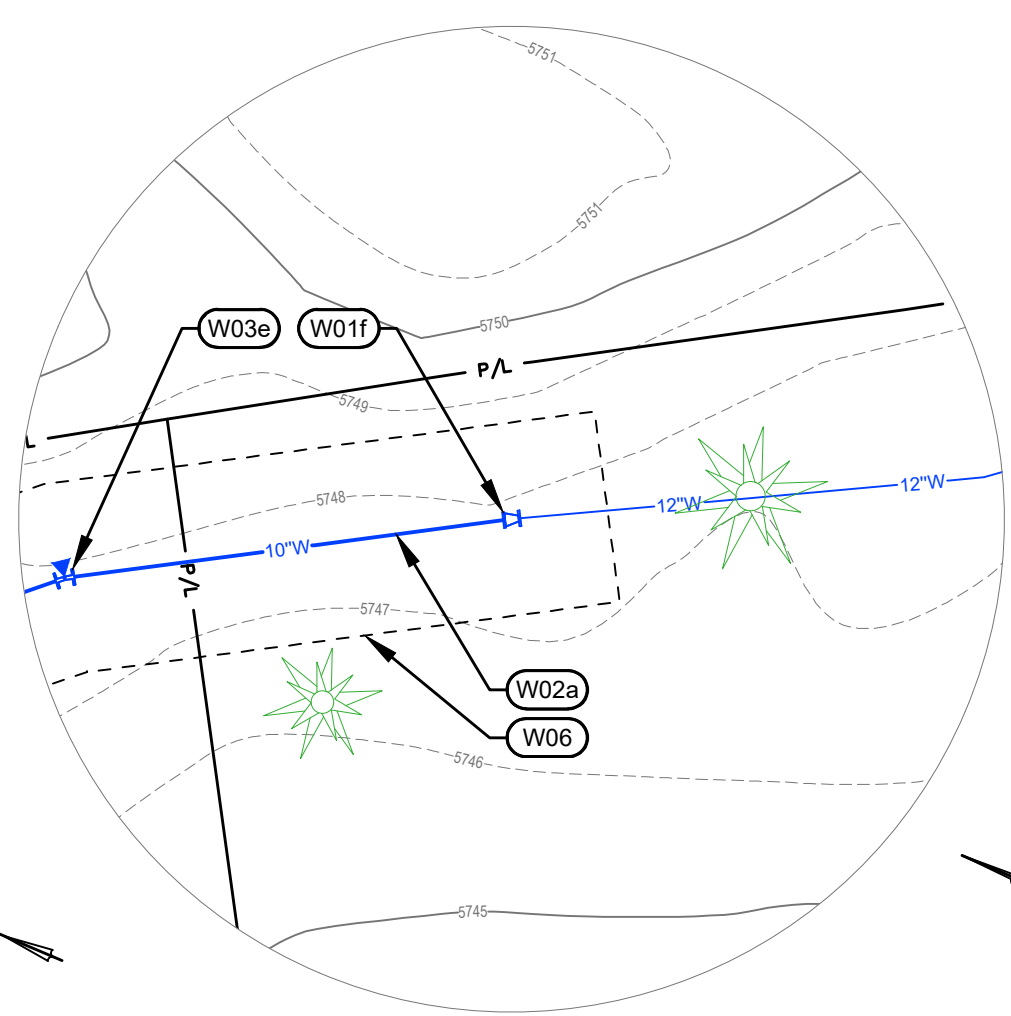
WATER KEY NOTES

- W01** POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY.
 - e. CONNECT TO EXISTING 8" WATER MAIN. INSTALL 8"x8" STAINLESS STEEL TAPPING SADDLE, 8" GATE VALVE, WITH THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
 - f. CONNECT TO EXISTING 12" WATER MAIN. INSTALL 12"x8" D.I. REDUCER WITH THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
- W02** INSTALL PVC C-900 WATER MAIN. REFER TO DETAIL 2 / C1.00 FOR TRENCHING.
 - a. N/A
 - b. 8 INCH
- W03** INSTALL DUCTILE IRON FITTINGS WITH THRUST BLOCK. REFER TO DETAIL 1 / C1.00 FOR THRUST PROTECTION.
 - a. N/A (10" 11 1/4" BEND)
 - b. N/A (10" 22 1/2" BEND)
 - c. N/A (10" 45" BEND)
 - d. N/A (10" 90" BEND)
 - e. 8" 11 1/4" BEND
 - f. 8" 22 1/2" BEND

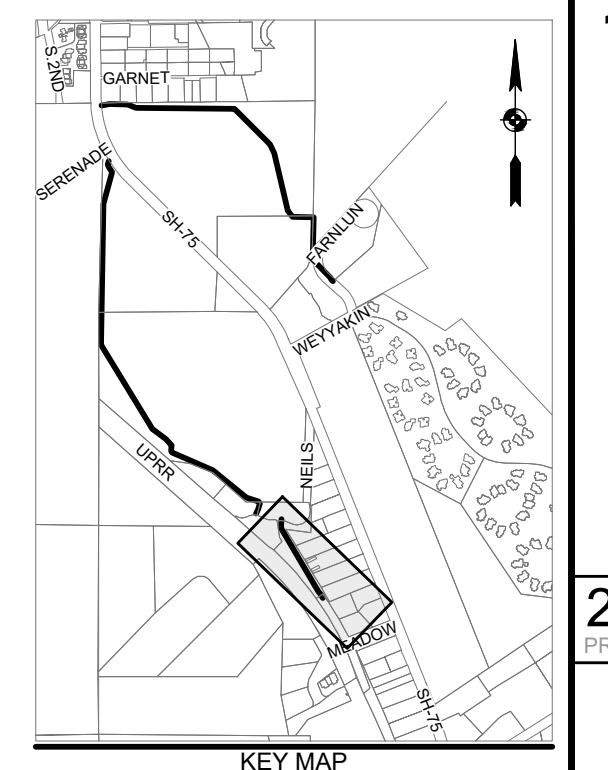
- W04** POTABLE/NON-POTABLE CROSSING. SEE ISPPWC DETAIL SS-407 AND/OR DETAIL 3 / C1.00 FOR SEPARATION REQUIREMENTS.
- W05** SAWCUT ASPHALT AND REPAIR. REFER TO DETAIL 2 / C1.00. CONTRACTOR SHALL DEVELOP SEQUENCING PLAN AND SCHEDULE TO MINIMIZE CLOSURE OF FARNLUN PLACE. COORDINATE WITH CITY STAFF FOR IMPACTED NEIGHBOR NOTIFICATIONS.
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DETAIL "E"
SCALE: 1" = 10'



DETAIL "F"
SCALE: 1" = 10'



KEY MAP
N.T.S.



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: Staff Member/Dept:

Agenda Item:

Recommended Motion:

Recommendation to approve Bid award and corresponding Purchase Order 25073 for South of Ketchum Redundant Water Line Project B to Canyon Excavation LLC.

Reasons for Recommendation:

- Canyon Excavation LLC submitted a low bid amongst five total bidders to complete the South Ketchum Redundant Water Line Project B
- The project consists of the construction of new water infrastructure to functionally replace existing water main in State Highway 75 Idaho Transportation Department right-of-way, east of State Highway 75 is proposed within Weyyakin Subdivision Block 5 open space.
- Coupled with Project A, this creates redundancy in this area and improves system resiliency by allowing back flow water to replace any section of line that could need to be worked on in the future.
- This new line, as well as the line in Project A, is required due to ITD reconstruction of Hwy 75 and the storm sewer system being placed.
- Recommendation includes authorization to process change orders up to 15% of total contract value without additional council approval
- Project is contingent on executed easement agreement with Weyyakin Subdivision

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

No direct impact.

Financial Impact:

| | |
|--|---|
| None OR Adequate funds exist in account: | Adequate funds exist in the Water Fund CIP "New Weyyakin Mainline Ext." to cover this project |
|--|---|

Attachments:

1. Purchase order 25073
2. Canyon Excavation LLC Bid for Project B
3. Drawings for South Ketchum Redundant Water Line Project B



CITY OF KETCHUM

PO BOX 2315 * 191 5TH ST. * KETCHUM, ID 83340
 Administration 208-726-3841 (fax) 208-726-8234

PURCHASE ORDER

BUDGETED ITEM? Yes No

PURCHASE ORDER - NUMBER: 25073

| | |
|--|---|
| To: 5046 CANYON EXCAVATION, LLC BOX 961 SHOSHONE ID 83352 | Ship to: CITY OF KETCHUM PO BOX 2315 KETCHUM ID 83340 |
|--|---|

| P. O. Date | Created By | Requested By | Department | Req Number | Terms |
|------------|------------|--------------|------------|------------|-------|
| 01/28/2025 | CCHING | CCHING | | | |

| Quantity | Description | Unit Price | Total |
|----------|---|------------|------------|
| 1.00 | S KETCHUM REDUNDANT WATERLINE PROJ 64-4340-7810 | 351,198.30 | 351,198.30 |
| | SHIPPING & HANDLING | | 0.00 |
| | TOTAL PO AMOUNT | | 351,198.30 |

 Authorized Signature

NOTE TO BIDDER: Use BLACK or BLUE in for completing this BID FORM

To: City of Ketchum

Address: 191 5th Street West, Ketchum, ID 83340
PO Box 2315, Ketchum, ID 83340

Project Identification: South Ketchum Redundant Water Main, Project B

1 BIDDER'S DECLARATION AND UNDERSTANDING

- 1.01 Bidder accepts all of the terms and conditions of the Advertisement and Instructions to Bidders, including without limitations those dealing with the dispositions of Bid Security. The bid will remain subject to acceptance for 30 days after the Bid Opening, or for such longer period of time that the Bidder may agree to in writing upon request of the Owner.
- 1.02 In compliance with the Instruction to Bidders, the BIDDER hereby proposes to perform all WORK for the construction of the KETCHUM MAIN STREET WATER MAIN RELOCATION project in strict accordance with the CONTRACT DOCUMENTS, within the time set forth therein, and at the prices stated below. The BID prices shall include all labor, materials, overhead, profit, insurance, etc., to cover the finished work of the several kinds called for. Prices shall also include all applicable taxes, overhead, profit, and fees.
- 1.03 By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to his own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.
- 1.04 The BIDDER acknowledges that no special interpretation or inference of intent is to be given to any different formats of different Specifications sections.
- 1.05 In submitting this Bid, the BIDDER acknowledges and accepts the CONTRACTOR's representations as more fully set forth in the AGREEMENT.
- 1.06 The BIDDER understands that quantities listed are approximate and the OWNER reserves the right to increase or decrease individual items as may be, in his sole judgment, to his best interest depending upon conditions encountered or observed during the execution of the WORK.
- 1.07 In addition to this BID FORM, the BIDDER agrees that the following shall form part of this BID:
- 1.07.1 BID SECURITY
 - 1.07.2 BID PROPOSAL – SCHEDULE OF ITEMS AND PRICES
 - 1.07.3 LISTING OF SUBCONTRACTORS
- 1.08 BIDDER accepts the terms and conditions of the Bidding Documents.

2 CONTRACT EXECUTION AND BONDS

- 2.01 The Bidder understands and agrees that if a contract is awarded, OWNER may elect to modify the scope of Work as best serves the interests of OWNER.
- 2.02 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an Agreement with OWNER on the form included in the Bidding Documents, to perform and furnish Work as specified or indicated in the Bidding documents for the Contract Price derived from the Bid and within the Contract Times indicated in the Agreement and in accordance with the other terms and conditions of the Bidding Documents.

3 ADDENDA

3.01 BIDDER acknowledges receipt of the following ADDENDUM No's.:
1, 2, _____, _____,

(BIDDER shall insert number of Addendum received) and agrees that Addenda issued are hereby made part of the Contract Documents, and BIDDER further agrees that this BID includes impacts resulting from said Addenda.

4 BID SCHEDULES

- 4.01 In the event of a discrepancy, the amount in words shall prevail.
- 4.02 The BIDDER hereby acknowledges that the bid prices are based solely on the BIDDER's own estimate of costs, and includes all applicable taxes, overhead, and profit.

Respectfully submitted by:

Canyon Excavation LLC
(Business Name)

LLC

(Type of Bidder: Individual, Partnership, Corporation, Joint Venture)

(State of Incorporation)

By:

Jake Gage 

(Name and Signature of Person Authorized to Sign)
For a Joint Venture, each Joint Venture must sign

Owner

(Title)

PUBLIC WORKS LICENSE NO.: 022954-A-4

(Corporate Seal)

Name, telephone number, and address for receipt of official communications and for additional information on this BID:

Name: Jake Gage

Title: Owner

Tel. No.: 208-731-1454

Address: Box 961
Sheshone ID 83352

DATE SUBMITTED: 1-22-25

BID BOND

BY THESE PRESENTS, that we, the undersigned, _____

Canyon Excavation LLC as Principal, and

American Alternative Insurance Corporation as Surety, are hereby held and

firmly bound unto the CITY OF KETCHUM as OWNER in the penal sum of FIVE PERCENT OF THE TOTAL AMOUNT BID for the payment of which, well and truly to be made, we hereby jointly and severally bind ourselves, successors and assigns.

Signed this 22nd day of January, 2025.

The Condition of the above obligation is such that whereas the Principal has submitted to the CITY OF KETCHUM certain BID attached hereto and hereby made a part hereof to enter into a contract in writing for the Work associated with SOUTH KETCHUM REDUNDANT WATER MAIN, PROJECT B.

NOW, THEREFORE,

- (a) If said BID shall be rejected, or
- (b) If said BID shall be accepted and the Principal shall execute and deliver a contract in the Form of Contract attached hereto (properly completed in accordance with said BID) and shall furnish a BOND for his faithful performance of said contract, and for the payment of all persons performing labor or furnishing materials in connection therewith, and shall in all other respects perform the agreement created by the acceptance of said BID,

then this obligation shall be void, otherwise the same shall remain in force and effect; it being expressly understood and agreed that the liability of the Surety for any and all claims hereunder shall, in no event, exceed the penal amount of this obligation as herein stated.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its BOND shall be in no way impaired or affected by any extension of the time within which the OWNER may accept such BID; and said Surety does hereby waive notice of any such extension.

IN WITNESS WHEREOF, the Principal and the Surety have hereunto set their hands and seals, and such of them as are corporations have caused their corporate seals to be hereto affixed and these presents to be signed by their proper officers, the day and year first set forth above.

SEAL (If BID is by a corporation)

Canyon Excavation LLC

By: [Signature]
(Signature)

Title: Owner
American Alternative Insurance Corporation

Attest: [Signature]

By: [Signature]
(Signature)
Matthew Grenrod, Attorney-in-Fact

Witness: [Signature]
(Signature)
Jennifer Grenrod, Witness/Attest



IMPORTANT - Surety Companies executing BONDS must appear on the Treasury Department's most current list (Circular 570 as amended) and be authorized to transact business in the state where the project is located.

1. CONTRACT PRICE

Owner shall pay Contractor for completion of the Work in accordance with the Contract Documents and amount in current funds equal to the sum of the amounts determined pursuant to table below.

- 1.01 For all Unit Price Work, an amount equal to the sum of the established unit price for each separately identified item of Unit Price Work multiplied by the estimated quantity of that item as indicated below.
- 1.02 Estimated quantities are not guaranteed. All computations of the Contractor's compensation shall be based upon the quantities of work actually performed, whether greater or less than estimated quantities.
- 1.03 Each item to be bid shall be completely filled in by the Contractor.

| No. | Description | Unit | Qty | Unit Price | Bid Amount |
|-----|---|------|-------|------------------|------------------|
| 1 | Mobilization | LS | 1 | 14,500 | 14,500 |
| 2 | 8" C900 Water Main | LF | 2,955 | 57.02 | 168,494.10 |
| 3 | 6" C900 Water Main | LF | 198 | 50 | 9,900 |
| 4 | 4" C900 Water Main | LF | 170 | 41 | 6,970 |
| 5 | Water Main Connection - (W01a), sheet C1.10 | EA | 1 | 4,317 | 4,317 |
| 6 | Water Main Connection - (W01b), sheet C1.10 | EA | 1 | 1,673 | 1,673 |
| 7 | Water Main Connection - (W01c), sheet C1.10 | EA | 1 | 2,108 | 2,108 |
| 8 | Water Main Connection - (W01d), sheet C1.10 | EA | 1 | 3,871 | 3,871 |
| 9 | D.I. Fitting - 8" 11 1/4° Bend | EA | 3 | 1000 | 3,000 |
| 10 | D.I. Fitting - 8" 22 1/2° Bend | EA | 3 | 1000 | 3,000 |
| 11 | D.I. Fitting - 8" 45° Bend | EA | 9 | 1000 | 9,000 |
| 12 | D.I. Fitting - 6" 45° Bend | EA | 2 | 1000 | 2,000 |
| 13 | D.I. Fitting - 4" 45° Bend | EA | 1 | 1000 | 1,000 |
| 14 | D.I. Fitting - 8" 90° Bend | EA | 3 | 1000 | 3,000 |
| 15 | D.I. Fitting - 4" 90° Bend | EA | 2 | 1000 | 2,000 |
| 16 | D.I. Fitting - 8"x8"x8" Tee | EA | 2 | 1,400 | 2,800 |
| 17 | D.I. Fitting - 8"x8"x6" Tee | EA | 3 | 1,400 | 4,200 |
| 18 | D.I. Fitting - 8"x8"x4" Tee | EA | 1 | 1,000 | 1,000 |
| 19 | D.I. Fitting - 4"x4"x4" Tee | EA | 1 | 1,000 | 1,000 |

BID PROPOSAL

| | | | | | |
|--|--|----|-------|--------|-------------------|
| 20 | D.I. Fitting - 12"x8" Reducer | EA | 1 | 1,800 | 1,800 |
| 21 | 8" Gate Valve (not including valves at WM connections) | EA | 4 | 3,000 | 12,000 |
| 22 | 6" Gate Valve | EA | 3 | 2,100 | 6,300 |
| 23 | 4" Gate Valve | EA | 2 | 2,100 | 4,200 |
| 24 | 4" Double Check Valve | EA | 1 | 4,000 | 4,000 |
| 25 | 4" Blow-off / Air Release Valve | EA | 1 | 3,500 | 3,500 |
| 26 | Irrigation Main Drain / Drywell | EA | 1 | 4,000 | 4,000 |
| 27 | Fire Hydrant connections | EA | 2 | 5,000 | 10,000 |
| 28 | Install New Fire Hydrant | EA | 1 | 8,270 | 8,270 |
| 29 | Landscape Repair (Fence Reconstruction) | LS | 1 | 4,000 | 4,000 |
| 30 | Landscape Repair (Grass Re-seeding), Assumed 20' Wide along trench | SY | 7,036 | 2.70 | 18,997.20 |
| 31 | Landscape Repair (Irrigation Repair) | LS | 1 | 4,000 | 4,000 |
| 32 | Asphalt Repair | SY | 158 | 81 | 12,798 |
| 33 | Traffic Control | LS | 1 | 500 | 500 |
| 34 | Construction Surveying | LS | 1 | 13,000 | 13,000 |
| WATER IMPROVEMENTS TOTAL BID AMOUNT | | | | | 351,198.30 |

Three Hundred Fifty One Thousand One Hundred Ninety Eight Dollars and $\frac{30}{100}$

LISTING OF SUBCONTRACTORS

1. The BIDDER shall submit with the BID FORM a list of names of subcontracting firms or businesses that will be awarded subcontractors for portions of the Work as specified in Section 13 of the "Instructions to Bidders."
2. The Subcontractors list shall be completed and shall include the following information:
 - 2.01 Subcontractors, listing each subcontractor whose subcontract amount is more than ten percent (10%) of the Contract Price with whom the BIDDER, if awarded the Contract, will subcontract for performance.
 - 2.02 The categories of work those subcontractors will perform on the Contract.
 - 2.03 The subcontractors that will be performing Instrumentation, Mechanical, HVAC, Plumbing, and Electrical work.
3. A BID PROPOSAL will be considered non-responsive and will be rejected if the BIDDER does not correctly complete the Listing of Subcontractors contained herein, and include this list with the BID FORM.
4. List of Subcontractors to be used:

| SUBCONTRACTOR | WORK | SUBCONTRACT AMOUNT | % OF CONTRACT PRICE |
|-----------------------|-------------------------|--------------------|---------------------|
| <i>Webb Landscape</i> | <i>Landscape Repair</i> | <i>\$18997.20</i> | <i>5.41</i> |
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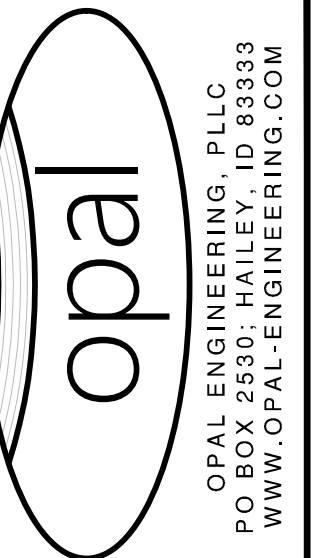
5. Material Suppliers List

| SUPPLIER | MATERIAL | | |
|----------------------------|------------------------|--|--|
| <i>Mountainland Supply</i> | <i>Pipe - fittings</i> | | |
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SOUTH KETCHUM REDUNDANT MAIN, PROJECT B

KETCHUM, IDAHO

DECEMBER 2024



OPAL ENGINEERING, PLLC
 PO BOX 2530 - HAILEY, ID 83333
 WWW.OPAL-ENGINEERING.COM



State of Idaho • Department of Environmental Quality
PLANS & SPECIFICATIONS REVIEW
 These plans and/or specifications have been reviewed for compliance with Department of Environmental Quality rules. This review does not relieve the owner, engineer, or the contractor of the responsibility to design or construct these facilities in compliance with all current applicable federal, state, and local laws, rules, regulations, or ordinances. Plans and/or specifications must be resubmitted for review if construction is not completed within one year from approval date.

Joseph Otero, P.E. *Dec 13, 2024*
 Reviewing DEQ Engineer Approval Date
 Refer to approval conditions in letter to: *City of Ketchum*

GENERAL CONSTRUCTIONS NOTES

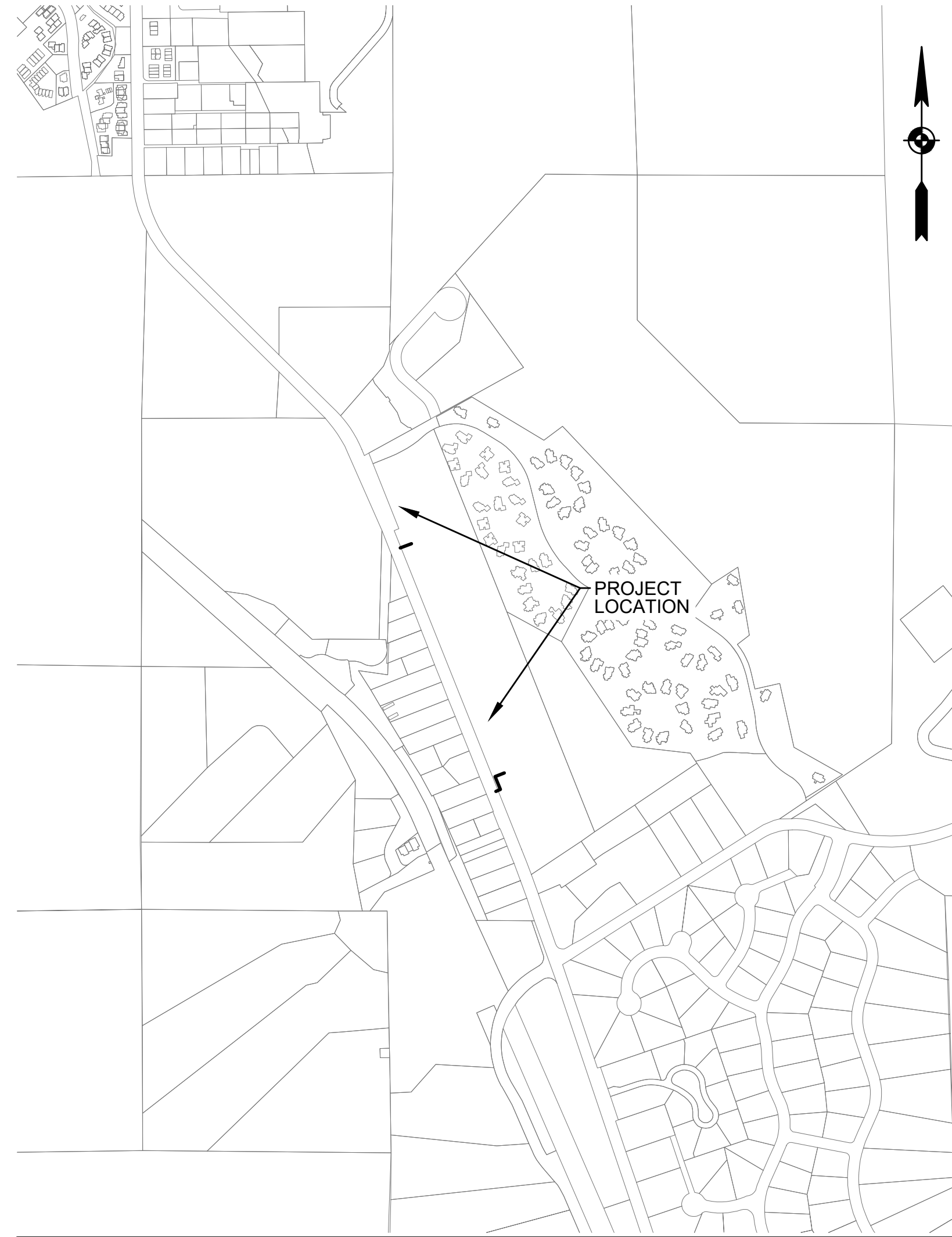
1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION. TO INCLUDE ANY AND ALL LANDSCAPE IRRIGATION, VEGETATION, STRUCTURES, AND FIXTURES.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
13. ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA-BENCHMARK ENGINEERING. CONTOUR DATA IS PER BLAINE COUNTY LIDAR.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.

WATER MAIN CONSTRUCTION NOTES

1. WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF KETCHUM STANDARDS. NO WATER MAIN OR SERVICES SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
2. WATER MAINS AND SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
3. ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH AWWA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPMC SECTION 401.3.6 AND THE CITY OF KETCHUM STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPMC SECTION 401 AND THE CITY OF KETCHUM SPECIFICATIONS.
4. SEE FLUSHING AND DISINFECTION REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF KETCHUM WATER AND SEWER DEPARTMENT FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
5. ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANS/NF STANDARD 60/61. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25%Pb BY WEIGHT).
6. ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPMC SD-403 AND THE CITY OF KETCHUM STANDARDS.
7. ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPMC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPMC SD-406 AND THE CITY OF KETCHUM SPECIFICATIONS.
8. ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
10. ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANS/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
11. ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07.a AND IDAPA 58.01.08.542.07.b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON THIS SHEET). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
12. ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPMC SECTION 404 AND THE CITY OF KETCHUM STANDARDS. A USC EC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF KETCHUM WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
13. THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE, TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
15. EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

SHEET INDEX

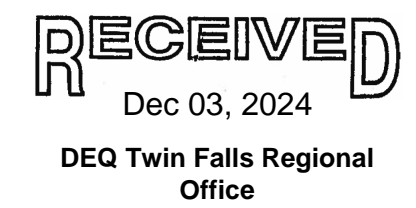
| SHEET# | DESCRIPTION |
|--------|---------------------------------------|
| C0.10 | COVER SHEET |
| C0.20 | KEY MAP AND EASEMENT OVERLAY MAP |
| C1.00 | DETAIL SHEET |
| C1.10 | WATER MAIN PLAN (THRU WEYYAKIN RANCH) |



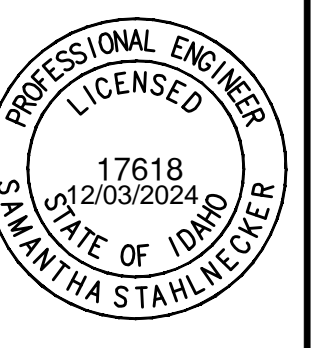
VICINITY MAP
N.T.S.

LEGEND

| EXISTING CONDITIONS | PROPOSED CONDITIONS |
|---------------------|----------------------------------|
| P/L | |
| | 8" Water Main Fitting, see plans |
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| | Fire Hydrant |
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PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

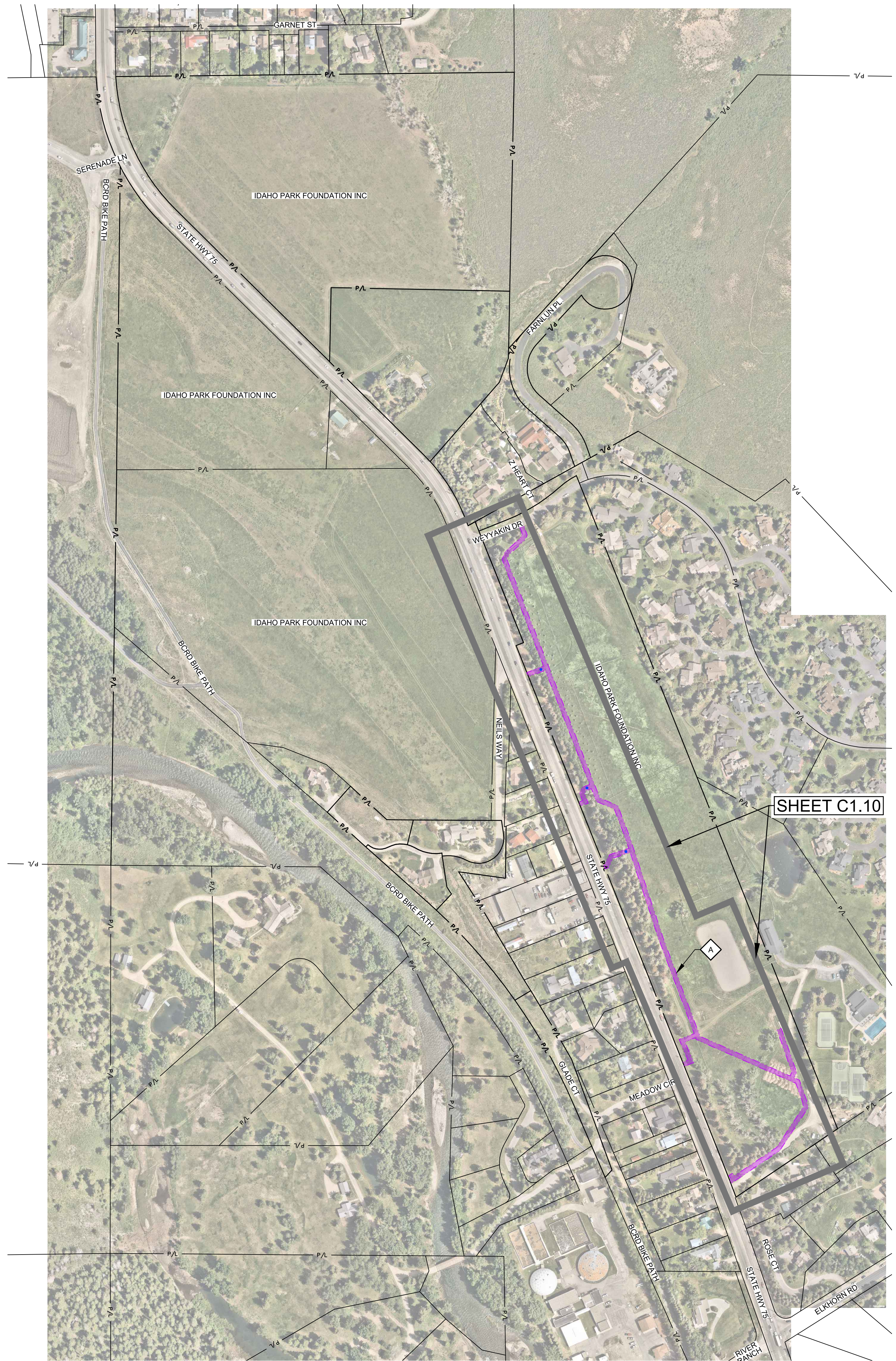


COVER SHEET
 SOUTH KETCHUM REDUNDANT MAIN, PROJECT B
 PREPARED FOR: CITY OF KETCHUM

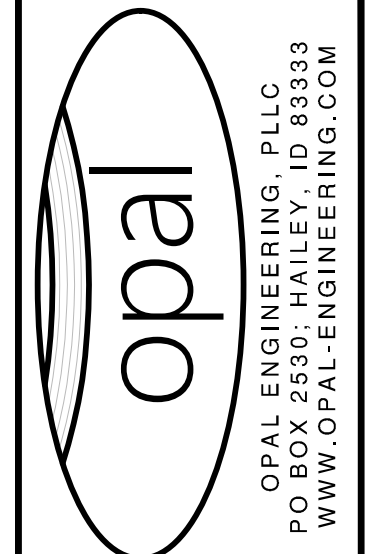
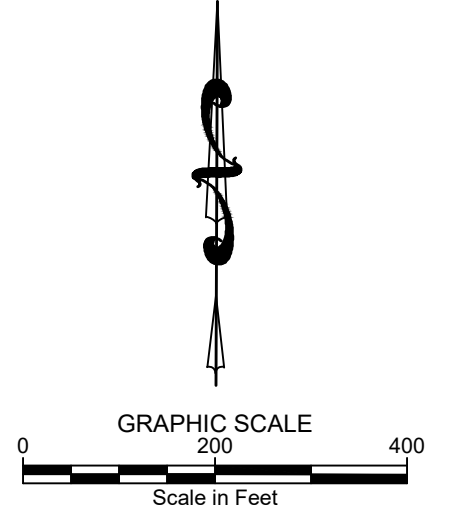
CIVIL ENGINEER
 SAMANTHA STAHLNECKER, PE
 OPAL ENGINEERING, PLLC
 416 S. MAIN STREET SUITE 204
 PO BOX 2530
 HAILEY, IDAHO 83333

22036-7.0
PROJECT NUMBER

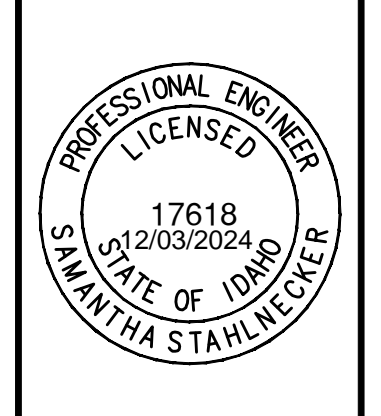
C0.10



WATER MAIN EASEMENT LEGEND
 A PROPOSED 15' WIDE EASEMENT:
 WEYYAKIN RANCH PROPERTY OWNERS ASSOC.

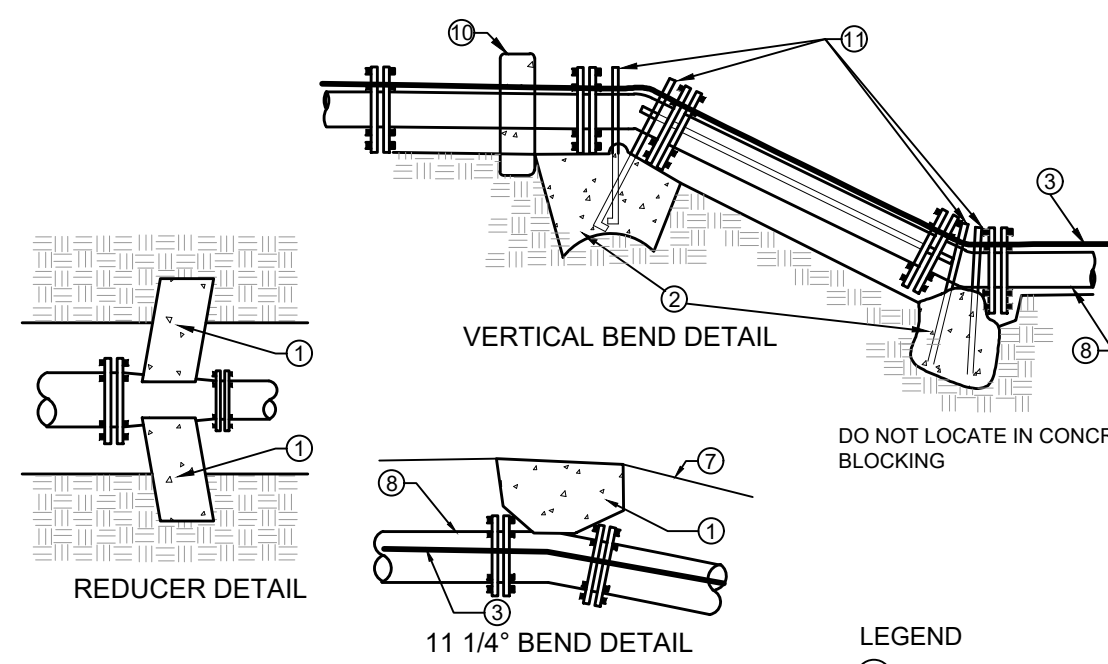


| REVISION NO. | DATE | DESCRIPTION |
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KET MAP AND EASEMENT OVERLAY MAP
 SOUTH KETCHUM REDUNDANT MAIN, PROJECT B
 PREPARED FOR: CITY OF KETCHUM

22036-7.0
 PROJECT NUMBER
 C0.20



DO NOT LOCATE IN CONCRETE BLOCKING

LEGEND

- 1) FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- 2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- 3) NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- 4) C.I. VALVE BOX WITH COVER.
- 5) C.I. GATE VALVE (M.J.).
- 6) PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.
- 7) TRENCH SIDE.
- 8) PIPE.
- 9) PLUG.
- 10) HAMMERHEAD THRUST BLOCKING.
- 11) ANCHOR BARS (1/2" MIN)

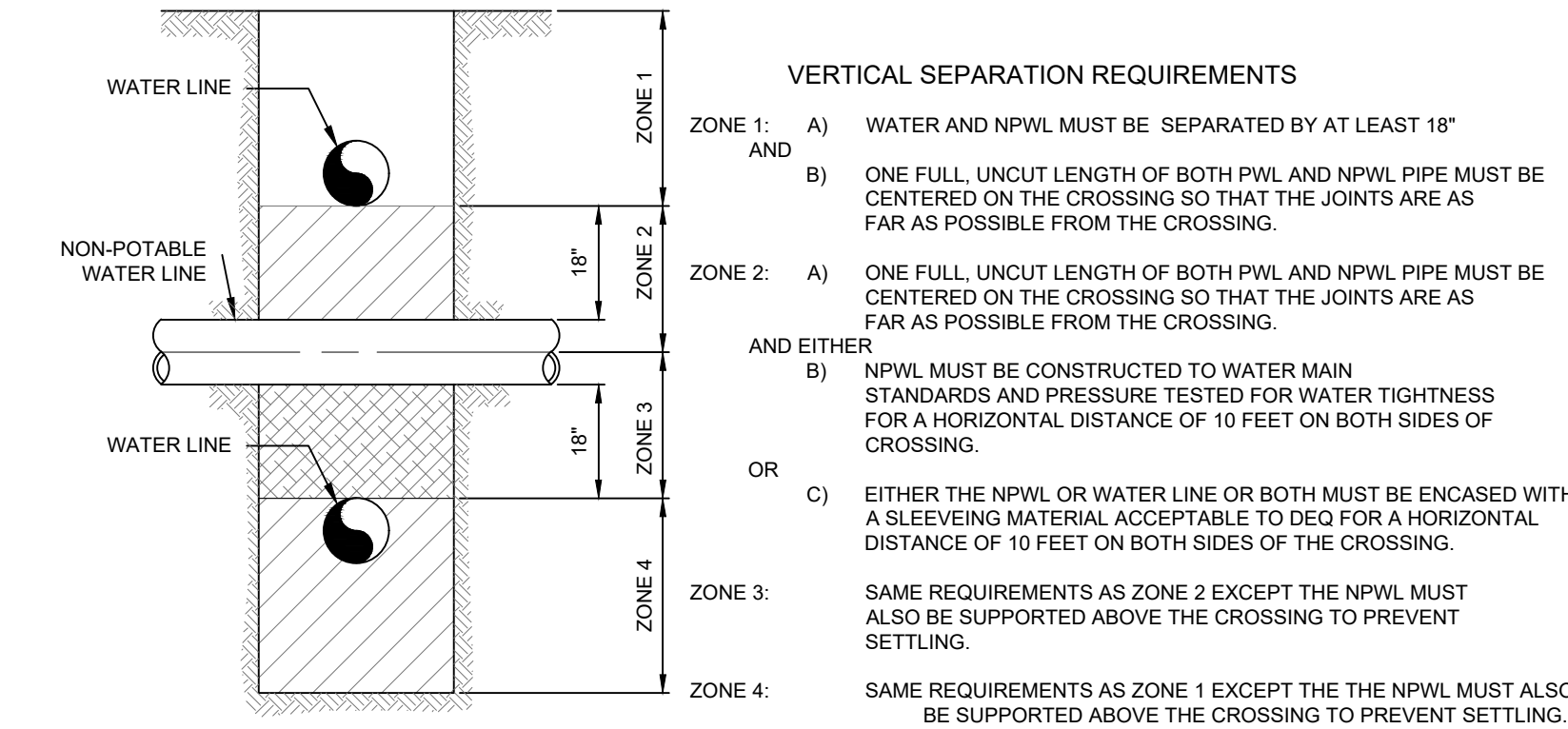
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

| PIPE SIZE | TEE, PLUG OF VALVE | 90° BEND** | 45° BEND | 22.5° 11.25° BENDS OR REDUCER |
|-----------|--------------------|------------|----------|-------------------------------|
| 3" | 0.8 | 1.1 | 0.6 | 0.3 |
| 4" | 1.4 | 2.0 | 1.1 | 0.6 |
| 6" | 3.2 | 4.5 | 2.4 | 1.2 |
| 8" | 5.7 | 8.0 | 4.3 | 2.2 |
| 10" | 8.8 | 12.5 | 6.8 | 3.4 |
| 12" | 12.7 | 18.0 | 9.7 | 5.0 |
| 14" | 17.3 | 24.5 | 13.3 | 6.8 |
| 16" | 22.6 | 32.0 | 17.3 | 8.8 |
| 18" | 28.6 | 40.5 | 21.9 | 11.2 |

*** MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
** OR TEE ACTING AS A 90° BEND
*** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

1
C1.00 **THRUST BLOCK AND ANCHOR DETAILS**
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

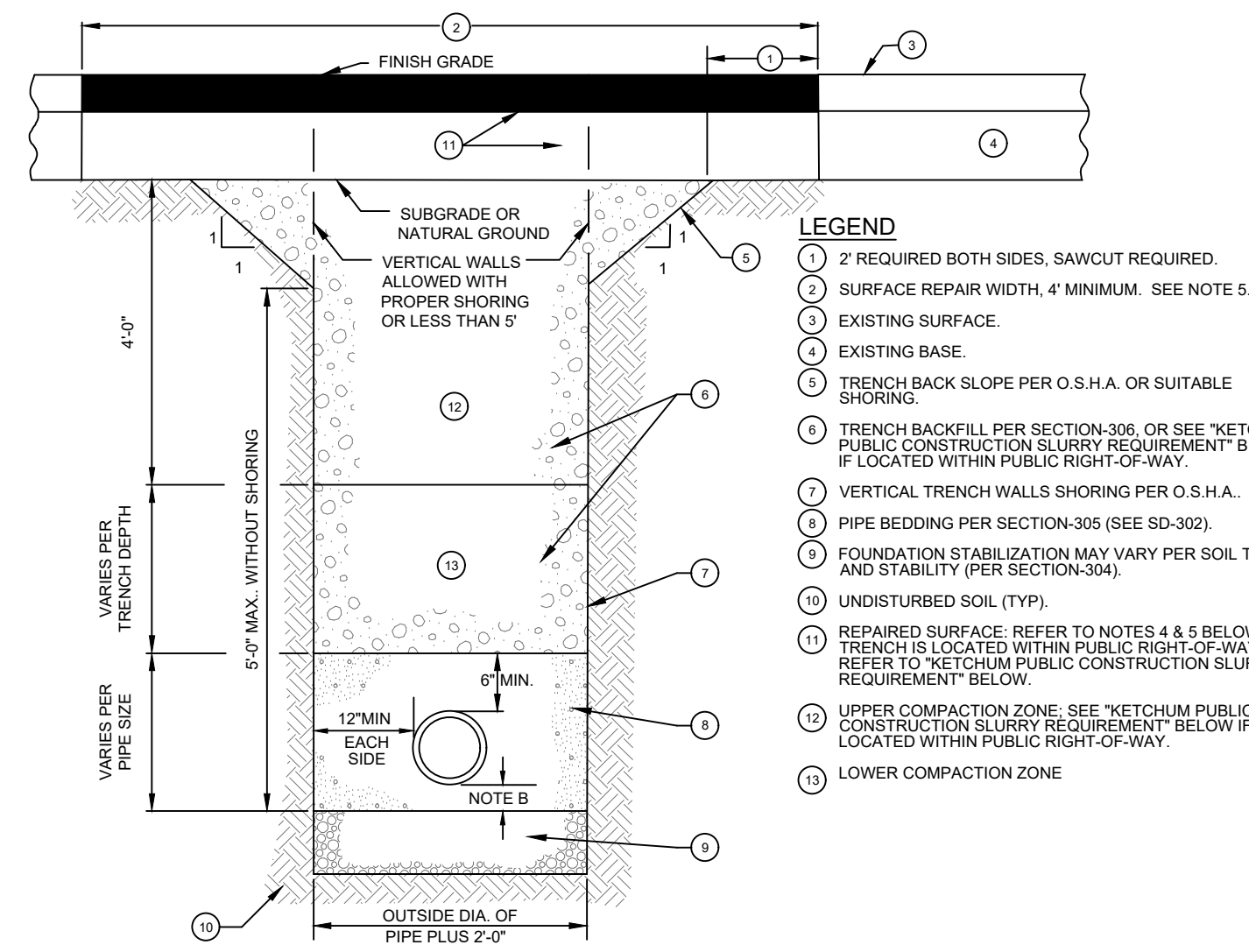
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

3
C1.00 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.



LEGEND

- 1) 2" REQUIRED BOTH SIDES, SAWCUT REQUIRED.
- 2) SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
- 3) EXISTING SURFACE.
- 4) EXISTING BASE.
- 5) TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- 6) TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- 7) VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
- 8) PIPE BEDDING PER SECTION-305 (SEE SD-302).
- 9) FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY PER SECTION-304.
- 10) UNDISTURBED SOIL (TYP).
- 11) REPAIRED SURFACE: REFER TO NOTES 4 & 5 BELOW. IF TRENCH IS LOCATED WITHIN PUBLIC RIGHT-OF-WAY REFER TO "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW.
- 12) UPPER COMPACTION ZONE: SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- 13) LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

| | |
|-------------------------------|----------------|
| COARSE AGGREGATE (3/4" MINUS) | 2,600 LBS |
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL. (MAX.) |

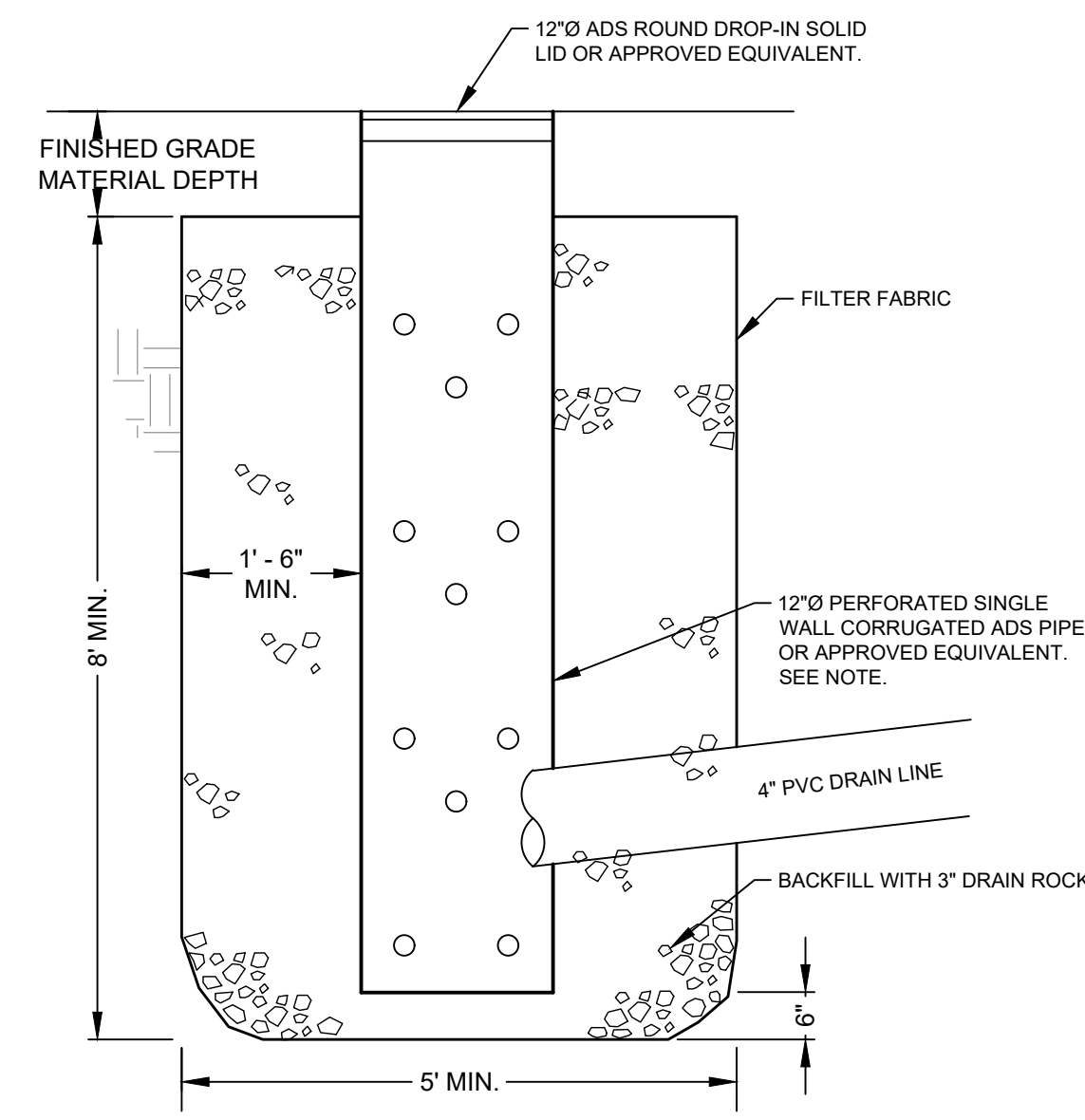
WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

- 1. TRENCH EXCAVATION PER SECTION-301.
- 2. PIPE BEDDING PER SECTION-305.
- 3. BACKFILL AND COMPACTION PER SECTION-306.
- 4. SURFACE AND BASE REPAIR PER CITY OF KETCHUM STANDARD DRAWING DETAIL NO. 3, "TYPICAL STREET ASPHALT SECTION".
- 5. ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCV SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCV SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCV SECTION 805.
- 6. IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

2
C1.00 **TYPICAL TRENCH SECTION**
N.T.S.



4
C1.00 **IRRIGATION DRAIN**
N.T.S.

FLUSHING AND DISINFECTION

- A. FLUSHING PRIOR TO DISINFECTION
 - 1. BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
 - 2. USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
 - 3. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A TAP OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
 - 4. TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
 - 5. EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL THAT MAY HAVE ENTERED THE MAINS.
 - 6. CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- B. DISINFECTION OF WATER PIPES
 - 1. GENERAL
 - a. COMPLY WITH ANSI/AWWA C 651: DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - b. KEEP THE INTERIOR OF PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - c. DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - 2. FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
 - a. LIQUID CHLORINE
 - 1) FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - 2) STANDARD: ANSI/AWWA B 301.
 - b. EXECUTION: USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND EJECTORS.
 - c. AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - 3. METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
 - a. TABLET OR GRANULE METHOD
 - 1) SOLUTION STRENGTH: 25 MG/L MINIMUM.
 - 2) USE: ONLY IF THE PIPES AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SCREWED JOINT STEEL PIPE.
 - 3) PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN, AND AT 500-FOOT INTERVALS.
 - 4) GRANULAR QUANTITY: REFER TO TABLE 2
 - 5) PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 5G CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT, HYDRANT BRANCH AND OTHER APPURTENANCES. ATTACH TABLETS TO THE INSIDE OF THE PIPE USING AN ADHESIVE SUCH AS GRANULE NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE TABLET EXCEPT ON THE BROAD SIDE ATTACHED TO THE SURFACE OF THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE TIP OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBERS OF TABLETS AT EACH END OF A GIVEN PIPE LENGTH. IF THE TABLES ARE ATTACHED BEFORE THE PIPE SECTION IS PLACED IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLES AT THE TOP.
 - 6) TABLET QUANTITY: REFER TO TABLE 3
 - (1) ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
 - (2) BASED ON 3.25G AVAILABLE CHLORINE PER TABLET.
 - 7) FILLING PROCEDURE: WHEN GRANULE OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 41° F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
 - b. CONTINUOUS FEED METHOD
 - 1) SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
 - 2) RESIDUAL: 10 MG/L AT 24 HOURS.
 - 3) DOSING METHODS
 - a) LIQUID CHLORINE: SOLUTION FEED VACUUM-OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
 - b) DIRECT FEED: NOT ALLOWED.
 - c) HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
 - d) CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
 - 4) FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOSE. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END ON THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
 - c. SLUG METHOD
 - 1) SOLUTION STRENGTH: 100 MG/L
 - 2) DOSING METHODS: PER ENGINEER'S DIRECTION
 - 3) FILLING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE. APPLY THE CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR "SLUG" OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
- C. FINAL FLUSHING.
 - 1. AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
 - 2. DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - a. REACH SURFACE WATERS OR WATERS OF THE STATE
 - b. DAMAGE SURROUNDING PROPERTIES.
 - c. TAKE PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
 - 3. IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL, AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEQ STAFF PRIOR TO FLUSHING.
- D. BACTERIOLOGICAL TESTS.
 - 1. AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA.
 - 2. TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
 - 3. UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.
- E. REDISINFECTION.
 - 1. IF THE INITIAL DISINFECTION FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFRESH AND RESAMPLE THE MAIN.
 - 2. IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.
- F. SWABBING.
 - 1. IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

TABLE 1
REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES
40 PSI RESIDUAL PRESSURE IN WATER MAIN (1)

| Pipe Diam. (inch) | Flow Required to Produce 2.5 fps (approx) (gpm) | Size of Tap (inch) | | Hydrant Outlets | |
|-------------------|---|--------------------|-----|-----------------|----------------|
| | | (1) (1-1/2) | (2) | Number | Size in (inch) |
| 4 | 100 | 1 | 1 | 1 | 2-1/2 |
| 6 | 220 | 1 | 1 | 1 | 2-1/2 |
| 8 | 400 | 2 | 1 | 1 | 2-1/2 |
| 10 | 600 | 3 | 2 | 1 | 2-1/2 |
| 12 | 900 | 4 | 2 | 2 | 2-1/2 |
| 16 | 1500 | 4 | 2 | 2 | 2-1/2 |

1) With a 40 psi pressure in the main with the hydrant flowing to atmosphere, a 2-1/2 inch hydrant outlet will discharge approximately 1,000 gpm and a 4-1/2 inch hydrant will discharge approximately 2500 gpm.
2) Number of taps on pipe based on discharge through 5 feet of galvanized iron (GI) pipe with one 90° elbow.

TABLE 2
OUNCES OF GRANULES

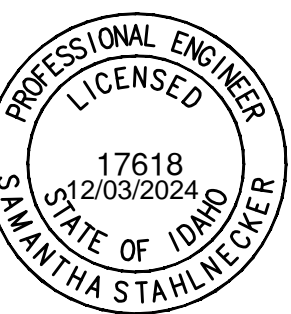
| Pipe Diameter (inches) | Amount (ounces) |
|------------------------|-----------------|
| 4 | 1.7 |
| 6 | 3.8 |
| 8 | 6.7 |
| 10 | 10.5 |
| 12 | 15.1 |
| 16 | 26.8 |
| 18 | 34.0 |
| 20 | 41.9 |
| 24 | 60.4 |

TABLE 3
NUMBER OF TABLETS (1)

| Pipe Diameter (inches) | Number of 5g Tablets (2) |
|------------------------|--------------------------|
| 4 | 1 |
| 6 | 1 |
| 8 | 2 |
| 10 | 3 |
| 12 | 4 |
| 16 | 6 |
| 18 | 7 |
| 20 | 9 |
| 24 | 13 |

PURPOSE: ISSUE FOR BID / D.E.Q. REVIEW (12-03-2024)

| REVISION NO. | DATE | DESCRIPTION |
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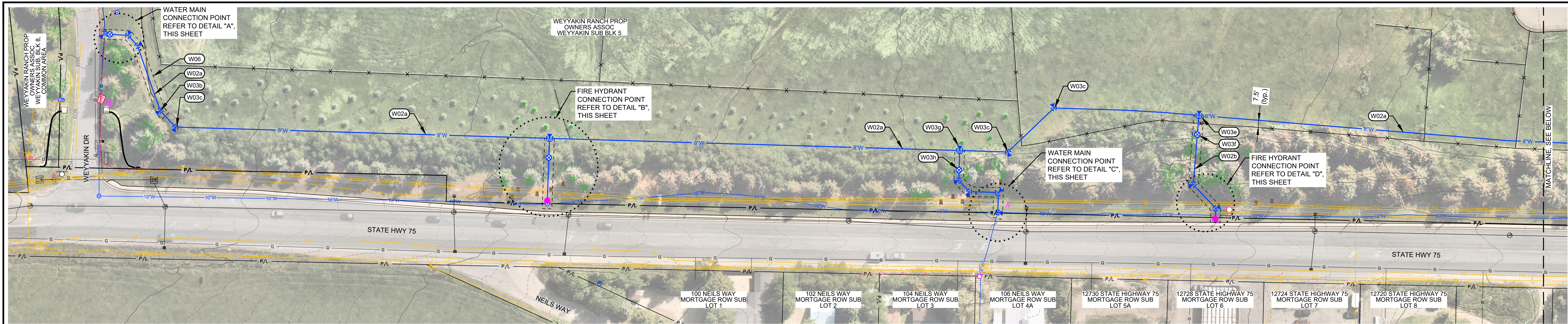


DETAIL SHEET

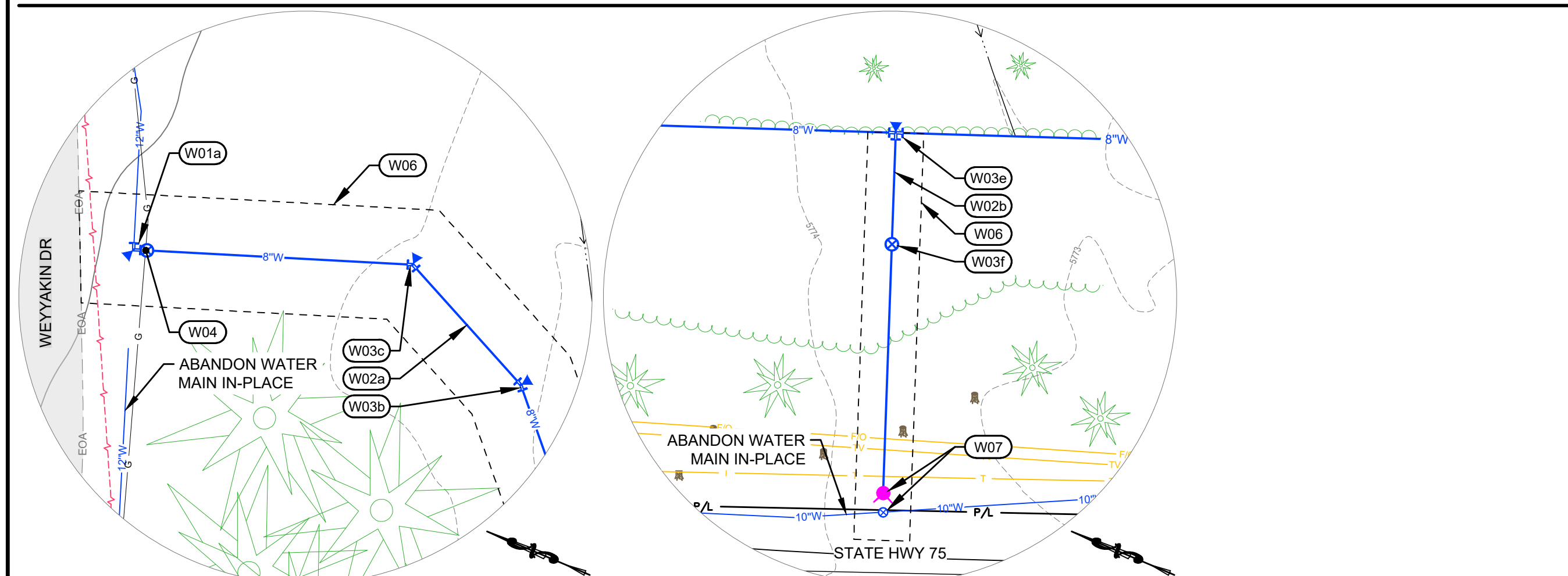
SOUTH KETCHUM REDUNDANT MAIN, PROJECT B
PREPARED FOR: CITY OF KETCHUM

22036-7.0
PROJECT NUMBER

C1.00

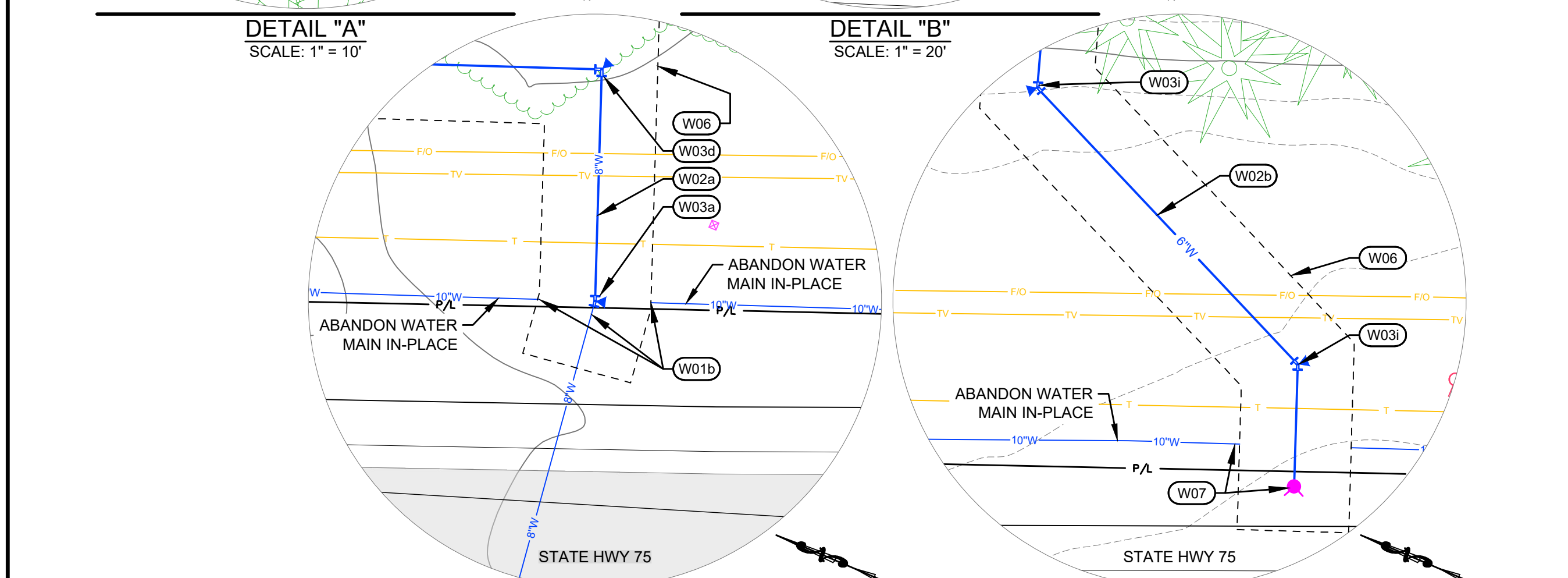


WATER MAIN PLAN



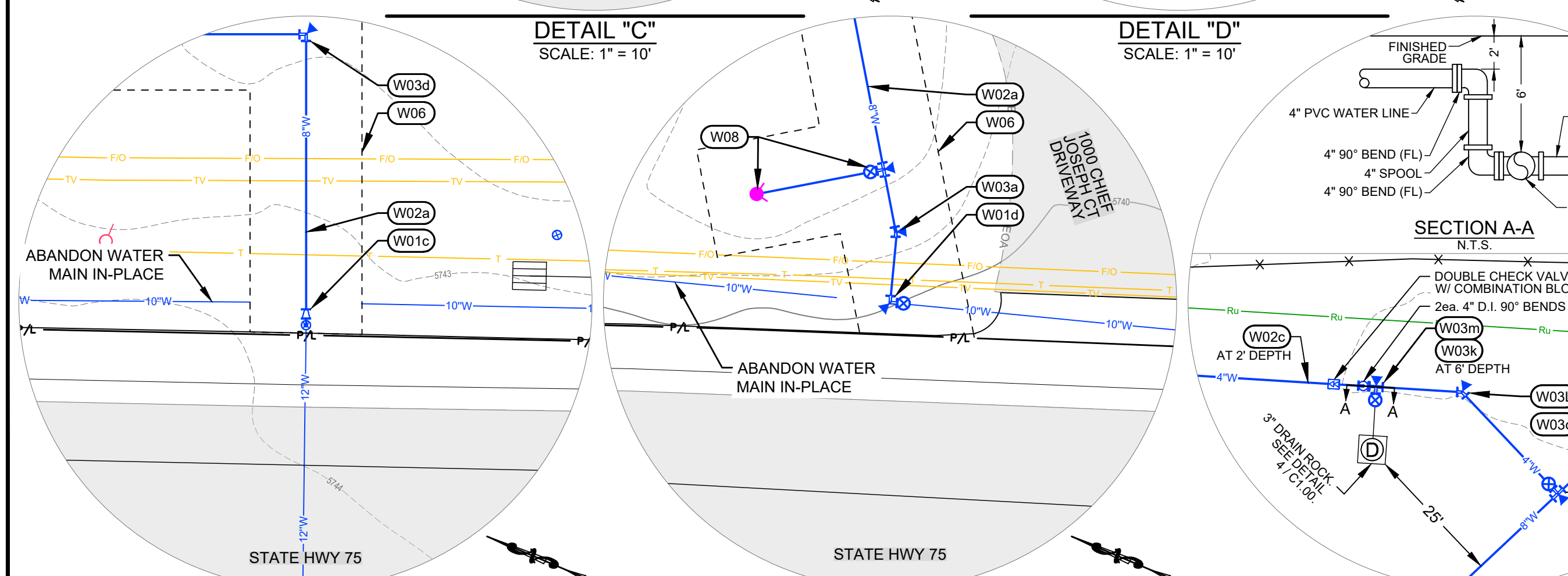
DETAIL "A"
SCALE: 1" = 10'

DETAIL "B"
SCALE: 1" = 20'



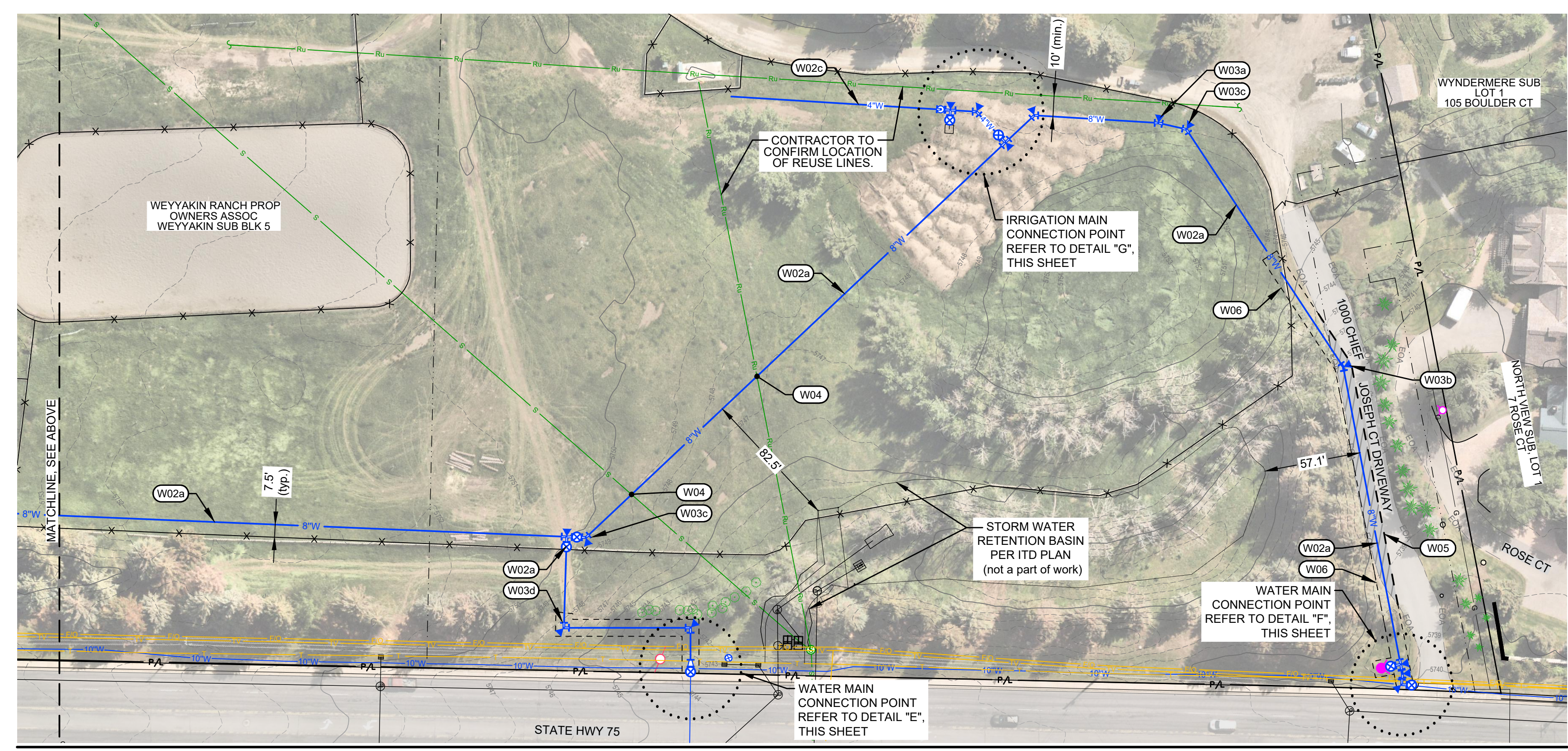
DETAIL "C"
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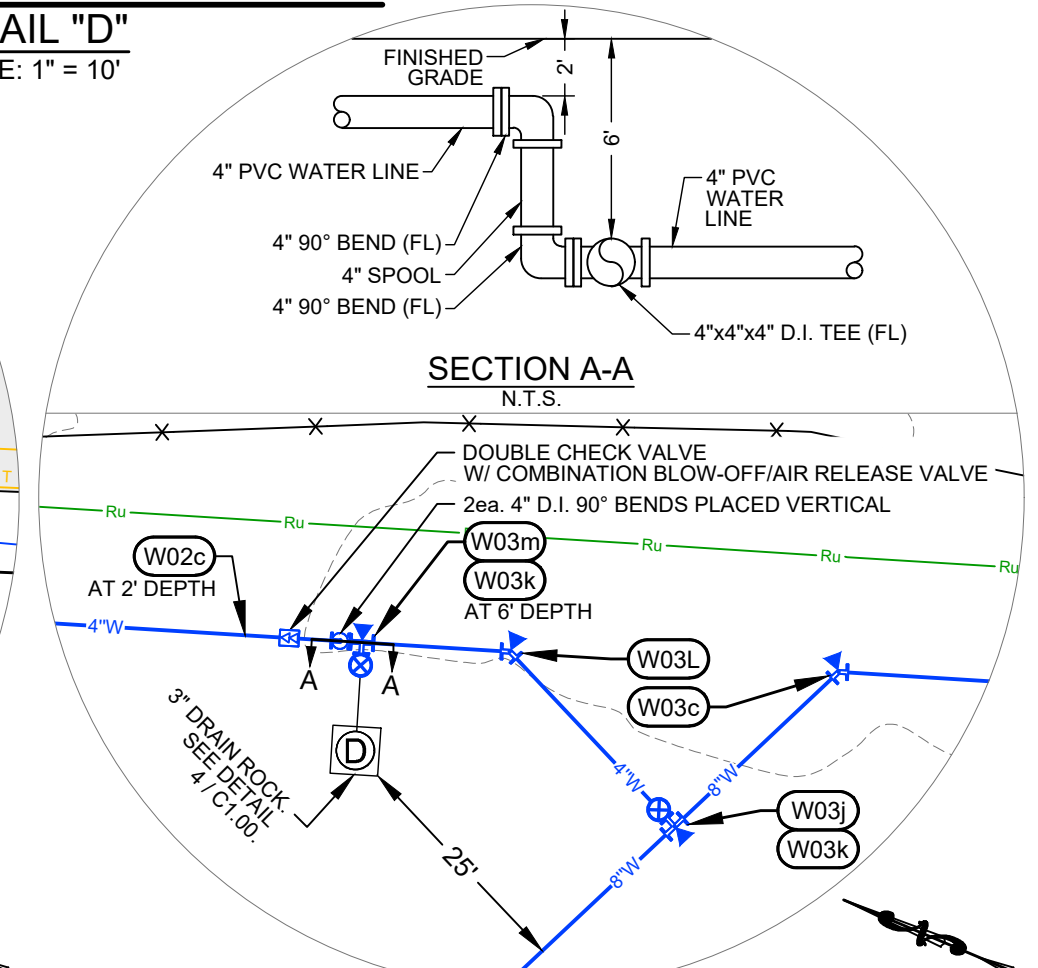


DETAIL "E"
SCALE: 1" = 10'

DETAIL "F"
SCALE: 1" = 10'



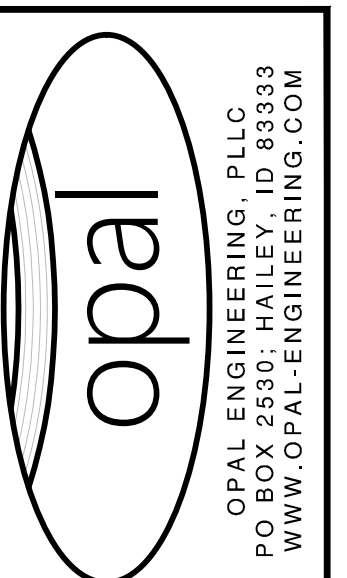
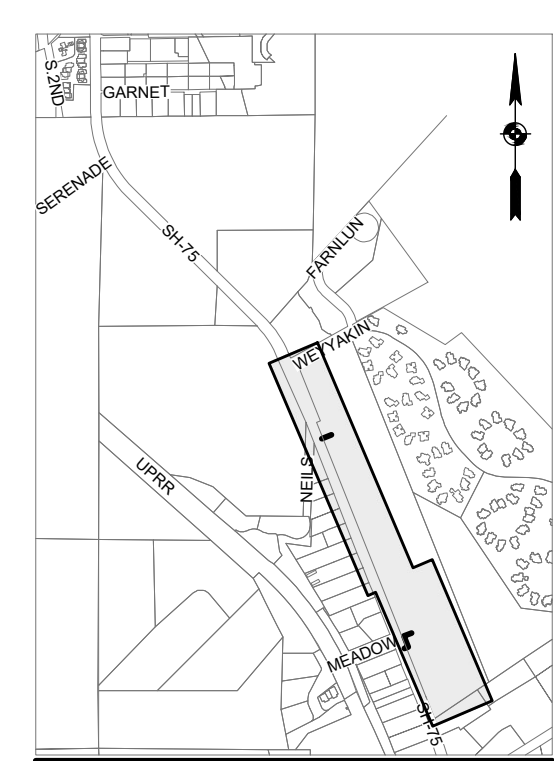
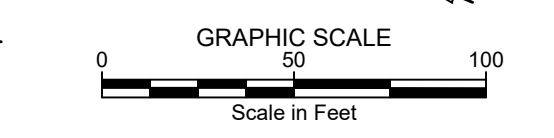
WATER MAIN PLAN



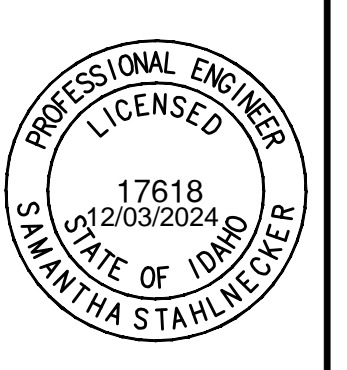
DETAIL "G"
SCALE: 1" = 20'

WATER KEY NOTES

- W01 POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY.
 - a. CUT EXISTING 12" WATER MAIN. INSTALL 12"x8" D.I. REDUCING 90° BEND AND 8" GATE VALVE. W/ THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
 - b. REMOVE EXISTING 10" WATER MAIN CONNECTION. CONNECT NEW 8" WATER MAIN TO EXISTING 8" WATER MAIN. EXTRA WATER FITTINGS MAY BE NEEDED.
 - c. REMOVE EXISTING 10" WATER MAIN CONNECTION. CONNECT NEW 8" WATER MAIN TO EXISTING 12" WATER MAIN AT GATE VALVE WITH 12"x8" D.I. REDUCER AND THRUST PROTECTION. EXTRA WATER FITTINGS MAY BE NEEDED. REFER TO DETAIL 1 / C1.00.
 - d. CUT EXISTING 10" WATER MAIN. INSTALL 10"x8" D.I. REDUCING 90° BEND AND 8" GATE VALVE. W/ THRUST PROTECTION. REFER TO DETAIL 1 / C1.00.
- W02 INSTALL DUCTILE IRON FITTINGS WITH THRUST BLOCK. REFER TO DETAIL 1 / C1.00 FOR THRUST PROTECTION.
 - a. 8" 11 1/4" BEND
 - b. 8" 22 1/2" BEND
 - c. 8" 45" BEND
 - d. 8" 90° BEND
 - e. 8"x8"x6" TEE
 - f. 6" GATE VALVE
 - g. 8"x8"x8" TEE
 - h. 8" GATE VALVE
 - i. 6" 45° BEND
 - j. 8"x8"x4" TEE
 - k. 4" GATE VALVE
 - l. 4" GATE VALVE
 - m. 4"x4"x4" TEE (FL)
- W03 INSTALL PVC C-900 WATER MAIN. REFER TO DETAIL 2 / C1.00 FOR TRENCHING.
 - a. 8 INCH
 - b. 6 INCH
 - c. 4 INCH
- W04 POTABLE/NON-POTABLE CROSSING. SEE ISPPWC DETAIL SD-407 AND/OR DETAIL 3 / C1.00 FOR SEPARATION REQUIREMENTS.
- W05 SAWCUT ASPHALT AND REPAIR. REFER TO DETAIL 2 / C1.00.
- W06 LANDSCAPE REPAIR: THE CONTRACTOR SHALL REPAIR LANDSCAPED AREA AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION. SUCH ITEMS IN MAY INCLUDE, BUT ARE NOT LIMITED TO, LAWN, IRRIGATION, FENCE, LANDSCAPE WALL, ETC.
- W07 REMOVE CONNECTION OF FIRE HYDRANT FROM EXISTING 10" WATER MAIN. CONNECT FIRE HYDRANT TO NEW 6" WATER MAIN.
- W08 INSTALL NEW FIRE HYDRANT ASSEMBLY. 8"x8"x6" D.I. TEE. 6" GATE VALVE W/ THRUST BLOCKS.



| REVISION NO. | DATE | DESCRIPTION |
|--------------|------|-------------|
| | | |
| | | |
| | | |



**WATER MAIN PLAN
THRU WEYAKIN RANCH**
SOUTH KETCHUM REDUNDANT MAIN, PROJECT B
PREPARED FOR: CITY OF KETCHUM

22036-7.0
PROJECT NUMBER
C1.10



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: Staff Member/Dept:

Agenda Item:

Recommended Motion:

Reasons for Recommendation:

-
-
-

Policy Analysis and Background (non-consent items only):

Sustainability Impact:

Financial Impact:

Attachments:

-

RESOLUTION NUMBER 25-006

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO, TO APPROVE THE APPOINTMENT OF REBECCA LARSON TO THE KETCHUM ARTS COMMISSION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, pursuant to Ordinance No. 1168, Ketchum Arts Commission members shall be appointed by the Mayor and Arts Commission Chair, and confirmed by the City Council; and

WHEREAS, Ketchum Arts Commission members may serve two consecutive three-year terms and upon completion of a full-term, reappointment will be allowable after a one-year waiting period; and

WHEREAS, the Mayor and Arts Commission Chair desire to appoint Rebecca Larson to the Ketchum Arts Commission, filling the position of Jill Lear, whose term ended on September 30, 2024.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF KETCHUM IDAHO:

That Rebecca Larson is hereby appointed to the Ketchum Arts Commission with a term beginning immediately and expiring on September 30, 2028.

This Resolution will be in full force and effect upon its adoption this 3rd day of February 2025.

CITY OF KETCHUM, IDAHO

Neil Bradshaw
Mayor

ATTEST:

Trent Donat
City Clerk



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: Staff Member/Dept:

Agenda Item:

Recommended Motion

Reasons for Recommendation

- ITD has worked closely with city staff to coordinate key elements for the project, including the timing for the replacement of the Trail Creek bridge to not conflict with World Cup event.
- The MOU does NOT include any provision for transferring city ROW to ITD per previous Council direction.
- The MOU outlines:
 - Official detour routes during the Trail Creek bridge portion of construction
 - ITD funding rehabilitation of city streets utilized as the detour route following conclusion of project
 - Enables city to fund certain elements (e.g., pedestrian lights and irrigation lines) desired in the new sidewalks

Policy Analysis & Background

The Idaho Department of Transportation (ITD) has been working closely with the City regarding the roadway design and construction schedule. ITD's current plan is to split the work between 2025 and 2026. The new Trail Creek bridge will be constructed in two phases over that two-year period. During bridge construction, northbound traffic will stay on the highway and southbound traffic will be detoured at First Street to Second Avenue then Serenade Lane.

Upon learning that Sun Valley will host the 2025 World Cup Finals (March 22-27, 2025), several entities requested that the ITD bridge construction work **NOT** occur during the event. Work in the creek channel must take place during periods allowed under state law to avoid conflicting with fish spawning periods. The City completed outreach to the Ketchum Business Advisory Committee and recommended to ITD to complete first phase of bridge construction during fall of 2025 and remaining portion in spring of 2026.

ITD has recently completed the public bidding process for the project and is still finalizing the final construction sequence and schedule with the low bidder. The city will work to ensure the final construction schedule is shared with the business community and public during the March Mobility open houses.

Sustainability Impact:

Project creates new sidewalks and bike lanes on both sides of Highway 75 from Serenade Lane to River Street to encourage alternate transportation.

Financial Impact:

None OR Adequate funds exist in account:

City will need to reimburse ITD for conduit related to pedestrian lights from Trail Creek Bridge to River Street and irrigation conduit at Serenade intersection. Adequate funds exist in CIP Contingency Account.

Attachments:

1. MOU 25-001

**COOPERATIVE AGREEMENT
PROJECT NO. A020(033)
SH-75, ELKHORN ROAD TO RIVER STREET
CITY OF KETCHUM; BLAINE COUNTY, IDAHO
KEY NO. 20033
ITD AGREEMENT NO. _____
KETCHUM AGREEMENT NO. 25-001**

PARTIES

THIS AGREEMENT (“Agreement”) is made and entered into this 3rd day of February 2025 by and between the **IDAHO TRANSPORTATION DEPARTMENT**, hereafter called the **STATE**, and the **CITY OF KETCHUM**, hereafter called the **CITY**.

PURPOSE

The State, with the aid of funds provided by the Federal Government, has programed a safety and capacity improvement project to widen and reconstruct SH-75 in Blaine County, Idaho. The State proposes to add vehicular travel lanes, curb, gutter, sidewalk and drainage features to SH-75 which will require regrading and widening the roadway which will then require the use of City of Ketchum rights of way to reconstruct connections to City roadways. Construction is expected to begin in February 2025 and continuing until completion expected in late 2026.

The State will acquire the necessary right-of-way (ROW) where necessary for roadway widening and facility enhancements, including along City roadways. The City will reimburse the State for improvements to SH-75 which will be included in the State’s construction contract as described in Section II-8.

This agreement sets out the terms for the design and construction of the State project and use of City ROW.

Authority for this Agreement is established by Section 40-317 of the Idaho Code.

The Parties agree as follows:

SECTION I. That the **STATE** will:

1. Design, construct and use project funds for the reconstruction of SH-75 and portions of **CITY** ROW upon Serenade Lane, Garnet Street, Topaz Street, Emerald Street, Gem Street and River Street as part of this project.
2. Acquire all necessary rights of way for widening of SH-75 and connections of **CITY** streets.
3. Create plans, specifications, and estimate for the project, and oversee the construction.
4. In cooperation with the **CITY**, establish and cause to be maintained all detours deemed necessary to best serve the public interests and to expedite the work.
5. Transfer ownership of parcels adjoining to the **CITY** street ROW to the **CITY** upon completion of

construction. Transfer of ownership will be by executed recorded instrument at the discretion of the **STATE**.

6. Permit the **CITY** to retain, maintain, connect to, and improve all existing **CITY**-owned water lines and sanitary sewer now in place in the **STATE** highway ROW within the project limits.
7. Furnish and install all official guide signs and junctions of the urban extensions to the State Highway System, and all confirming and reassurance route markers and guide arrows along the urban extensions of the State Highway System necessary to properly identify the **STATE'S** highways.
8. Trail Creek bridge construction requires a detour of traffic, see the final roadway plans. Prior to detouring traffic onto **CITY** roads coordinate with the **CITY** to document the existing conditions. At the conclusion of the detour coordinate with **CITY** to document the post-detour conditions of **CITY** roads. Repair, as necessary, any damage to **CITY** roads, as shown on the plans caused by the detouring traffic. The necessary repairs will be determined by reviewing the pre-detour and post-detour condition surveys.

SECTION II. That the **CITY** will:

1. Permit the **STATE** easement upon **CITY** ROW to complete construction of agreed improvements along Serenade Lane, Garnet Street, Topaz Street, Emerald Street, Gem Street, and River Street to the extents shown on project plans.
2. Provide emergency preemption device for the signal at Serenade Lane, to be installed by **STATE** contractor at project expense.
3. By appropriate ordinance and police action, prohibit and remove any encroachments that would limit safety and protective features of the improved roadways and intersections.
4. Maintain, erect, or install within the project limits only those traffic control devices, including signs, that are in conformance with the Manual on Uniform Traffic Control Devices for Streets and Highways, as adopted by the **STATE**.
5. Relocate any **CITY**-owned utilities, including water lines, storm sewer, sanitary sewer, or other facilities, as shown in attached "Utility Plans" hereto and by reference made a part of this agreement.
6. Reimburse the **STATE** for improvements added to the project and constructed by the **STATE'S** contractor. Reimbursement amount will be based on the contractor bid prices. Improvements include future-use conduit and junction boxes for streetlights between Serenade Lane and River Street, hangers and a sleeve for **CITY** waterline upon the new Trail Creek bridge, future-use conduit for irrigation at Serenade intersection.
7. Apply for an Encroachment Permit from the **STATE** before installing or constructing any new or relocating any existing sidewalk or any existing **CITY**-owned water line, storm sewer, sanitary sewer, or other facilities on the state highway right-of-way within the project limits.

8. Obtain concurrence from the **STATE** before vacating or closing any right-of-way connecting to the State highways within the project limits.
9. As needed, cooperate with the **STATE** in the selection and designation of suitable detour routing during project construction.
10. Allow the **STATE** to utilize **CITY** roads as shown on the plans. Coordinate with the **STATE** in documenting pre-detour and post-detour conditions of **CITY** roads as shown on the plans.

SECTION III. Both parties agree that:

1. Connecting roadways and intersections will not be altered or abandoned without the prior concurrence of both parties.
2. Should any portion of SH-75 or any connecting roadway and safety features within the project limits be damaged or destroyed through the wrongful or negligent act of any third party, both parties will make every effort to determine the identity and whereabouts of the responsible party, and will attempt collection of the cost of repair or replacement.
3. This Agreement shall become effective on the first date mentioned above and shall remain in full force and affect until amended or replaced upon the mutual consent of the **CITY** and **STATE**.

EXECUTION

This agreement is executed for the **STATE** by its District Engineer, and executed for the **CITY** by the Mayor, attested to by the City Clerk, with the corporate seal of the **CITY OF KETCHUM**.

IDAHO TRANSPORTATION DEPARTMENT

District Engineer

ATTEST:

CITY OF KETCHUM

Trent Donat, City Clerk

Neil Bradshaw, Mayor

By regular/special meeting

on _____



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: February 3, 2025 Staff Member/Dept: Brent Davis – Director of Finance

Agenda Item: Budget Public Hearing
FY 2025 Amended Budget Ordinance
1st, 2nd and 3rd Reading of Ordinance #1258

Recommended Motion:

Motion to approve the first, second, and third reading by title only of Ordinance #1258.

Reasons for Recommendation:

Amendment of the FY 2025 Budget based on Carryover budgets, Interim Budget Changes, and EOY commitments previously approved by City Council as part of the Year End Process. Changes made per Idaho Code 50-1003.
I have attached the FY 2025 Budget Amendments worksheet previously approved. These changes account for all of the appropriation changes, absent one item approved on 1/6/25.

Sustainability Impact:

N/A

Financial Impact:

| | |
|------------------------------------|--------------|
| FY 2024 Amended Expenditure Change | \$11,051,414 |
| FY 2024 Amended Revenue Change | \$11,133,144 |

Attachments:

1. FY 2025 Amended Budget Notice of Public Hearing
2. FY 2025 Amended Budget Ordinance #1258
3. FY 2025 Budget Amendments Worksheet

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City Council of the City of Ketchum, Idaho, will hold a Public Hearing for consideration of an amendment to the fiscal year 2025 budget. The Council will consider appropriation of additional monies received by the City of Ketchum, Idaho, during the fiscal year. Said hearing will be held at Ketchum City Hall, 191 W. 5th Street, at 4:00 p.m. on February 3, 2025.

That the following table sets forth the amounts appropriated to each fund for fiscal year 2025, the amount of the revised appropriation for each fund for the 2025 fiscal year, and the proposed adjustment amount.

CITY OF KETCHUM, IDAHO

EXPENDITURES

| | FY 2025 ADOPTED | FY 2025 REVISED | PROPOSED ADMENDMENT |
|--|----------------------------|----------------------------|--------------------------------|
| GENERAL FUND | 14,446,021 | 16,836,417 | 2,390,396 |
| WAGON DAYS FUND | 163,000 | 188,000 | 25,000 |
| GENERAL CAPITAL IMPROVEMENT FUND | 3,359,750 | 7,534,411 | 4,174,661 |
| ORIGINAL LOT FUND | 3,578,226 | 4,603,226 | 1,025,000 |
| ADDITIONAL 1%-LOT FUND | 2,447,253 | 2,746,378 | 299,125 |
| FIRE GO BOND FUND | 617,019 | 617,019 | - |
| COMMUNITY HOUSING IN-LIEU FUND | 1,214,874 | 2,394,874 | 1,180,000 |
| COMMUNITY HOUSING FUND | 1,761,798 | 2,992,315 | 1,230,517 |
| WATER FUND | 2,814,908 | 2,814,908 | - |
| WATER CAPITAL IMPROVEMENT FUND | 1,015,000 | 1,088,000 | 73,000 |
| WASTEWATER FUND | 3,470,836 | 3,470,836 | - |
| WASTEWATER CAPITAL IMP. FUND | 4,729,135 | 5,382,850 | 653,715 |
| POLICE TRUST FUND | 7,500 | 7,500 | - |
| PARKS & RECREATION TRUST FUND | 1,130,650 | 1,130,650 | - |
| DEVELOPMENT TRUST FUND | 650,000 | 650,000 | - |
| Total Expenditures | 41,405,970 | 52,457,384 | 11,051,414 |

REVENUE

| | | | |
|--|-------------------|-------------------|-------------------|
| GENERAL FUND | | | |
| GENERAL PROPERTY TAXES | 5,258,549 | 5,258,549 | - |
| OTHER REVENUE | 9,187,472 | 9,747,591 | 560,119 |
| FUND BALANCE APPLIED | - | 1,830,277 | 1,830,277 |
| TOTAL FUND | 14,446,021 | 16,836,417 | 2,390,396 |
| WAGON DAYS FUND | 163,000 | 188,000 | 25,000 |
| FUND BALANCE APPLIED | - | - | - |
| TOTAL FUND | 163,000 | 188,000 | 25,000 |
| GENERAL CAPITAL IMPROVEMENT FUND | 2,027,500 | 3,937,678 | 1,910,178 |
| FUND BALANCE APPLIED | 1,332,250 | 3,596,733 | 2,264,483 |
| TOTAL FUND | 3,359,750 | 7,534,411 | 4,174,661 |
| ORIGINAL LOT FUND | 3,244,835 | 3,244,835 | - |
| FUND BALANCE APPLIED | 333,391 | 1,358,391 | 1,025,000 |
| TOTAL FUND | 3,578,226 | 4,603,226 | 1,025,000 |
| ADDITIONAL 1%-LOT FUND | 2,447,253 | 2,447,253 | - |
| FUND BALANCE APPLIED | - | 299,125 | 299,125 |
| TOTAL FUND | 2,447,253 | 2,746,378 | 299,125 |
| FIRE GO BOND FUND | 617,019 | 617,019 | - |
| FUND BALANCE APPLIED | - | - | - |
| TOTAL FUND | 617,019 | 617,019 | - |
| COMMUNITY HOUSING IN-LIEU FUND | 305,000 | 305,000 | - |
| FUND BALANCE APPLIED | 909,874 | 2,089,874 | 1,180,000 |
| TOTAL FUND | 1,214,874 | 2,394,874 | 1,180,000 |
| COMMUNITY HOUSING | 1,696,045 | 3,074,045 | 1,378,000 |
| FUND BALANCE APPLIED | 65,753 | - | (65,753) |
| TOTAL FUND | 1,761,798 | 3,074,045 | 1,312,247 |
| WATER FUND | 2,758,722 | 2,758,722 | - |
| FUND BALANCE APPLIED | 56,186 | 56,186 | - |
| TOTAL FUND | 2,814,908 | 2,814,908 | - |
| WATER CAPITAL IMPROVEMENT FUND | 265,000 | 265,000 | - |
| FUND BALANCE APPLIED | 750,000 | 823,000 | 73,000 |
| TOTAL FUND | 1,015,000 | 1,088,000 | 73,000 |
| WASTEWATER FUND | 3,621,609 | 3,621,609 | - |
| FUND BALANCE APPLIED | - | - | - |
| TOTAL FUND | 3,621,609 | 3,621,609 | - |
| WASTEWATER CAPITAL IMP. FUND | 2,417,068 | 2,417,068 | - |
| FUND BALANCE APPLIED | 2,312,068 | 2,965,783 | 653,715 |
| TOTAL FUND | 4,729,136 | 5,382,850 | 653,715 |
| POLICE TRUST FUND | - | - | - |
| FUND BALANCE APPLIED | 7,500 | 7,500 | - |
| TOTAL FUND | 7,500 | 7,500 | - |
| PARKS & RECREATION TRUST FUND | 1,130,650 | 1,130,650 | - |
| FUND BALANCE APPLIED | - | - | - |
| TOTAL FUND | 1,130,650 | 1,130,650 | - |
| DEVELOPMENT TRUST FUND | 650,000 | 650,000 | - |
| Total Revenue | 41,556,743 | 52,689,887 | 11,133,144 |

ORDINANCE NO. 1258

AN ORDINANCE OF THE CITY OF KETCHUM, IDAHO, AMENDING ORDINANCE NUMBER 1255, THE ANNUAL APPROPRIATION ORDINANCE FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2024, AND ENDING SEPTEMBER 30, 2025; APPROPRIATING ADDITIONAL MONIES TO BE RECEIVED BY THE CITY OF KETCHUM, IDAHO; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO:

SECTION 1. The Ordinance Number 1258 the Amended Annual Appropriation Ordinance for the City of Ketchum, Idaho, for the fiscal year commencing October 1, 2024, and ending September 30, 2025, be hereby amended as follows:

| EXPENDITURES | FY 2025 ADOPTED | FY 2025 REVISED | PROPOSED AMENDMENT |
|-------------------------------------|-------------------|-------------------|--------------------|
| General Fund | 14,446,021 | 16,836,417 | 2,390,396 |
| Wagon Days Fund | 163,000 | 188,000 | 25,000 |
| General Capital Improvement Fund | 3,359,750 | 7,534,411 | 4,174,661 |
| Original LOT Fund | 3,578,226 | 4,603,226 | 1,025,000 |
| Additional 1% LOT Fund | 2,447,253 | 2,746,378 | 299,125 |
| Fire GO Bond Fund | 617,019 | 617,019 | - |
| Community Housing In-Lieu Fund | 1,214,874 | 2,394,874 | 1,180,000 |
| Community Housing Fund | 1,761,798 | 2,992,315 | 1,230,517 |
| Water Operating Fund | 2,814,908 | 2,814,908 | - |
| Water Capital Improvement Fund | 1,015,000 | 1,088,000 | 73,000 |
| Wastewater Operating Fund | 3,470,836 | 3,470,836 | - |
| Wastewater Capital Improvement Fund | 4,729,135 | 5,382,850 | 653,715 |
| Police Trust Fund | 7,500 | 7,500 | - |
| Parks & Recreation Trust Fund | 1,130,650 | 1,130,650 | - |
| Development Trust Fund | 650,000 | 650,000 | - |
| TOTAL | 41,405,970 | 52,457,384 | 11,051,414 |

That the additional sum be appropriated out of the revenues received from:

| REVENUES | FY 2025 ADOPTED | FY 2025 REVISED | PROPOSED AMENDMENT |
|-------------------------------------|-------------------|-------------------|--------------------|
| General Fund | 14,446,021 | 16,836,417 | 2,390,396 |
| Wagon Days Fund | 163,000 | 188,000 | 25,000 |
| General Capital Improvement Fund | 3,359,750 | 7,534,411 | 4,174,661 |
| Original LOT Fund | 3,578,226 | 4,603,226 | 1,025,000 |
| Additional 1% LOT Fund | 2,447,253 | 2,746,378 | 299,125 |
| Fire GO Bond Fund | 617,019 | 617,019 | - |
| Community Housing In-Lieu Fund | 1,214,874 | 2,394,874 | 1,180,000 |
| Community Housing Fund | 1,761,798 | 3,074,045 | 1,312,247 |
| Water Operating Fund | 2,814,908 | 2,814,908 | - |
| Water Capital Improvement Fund | 1,015,000 | 1,088,000 | 73,000 |
| Wastewater Operating Fund | 3,470,836 | 3,470,836 | - |
| Wastewater Capital Improvement Fund | 4,729,135 | 5,382,850 | 653,715 |
| Police Trust Fund | 7,500 | 7,500 | - |
| Parks & Recreation Trust Fund | 1,130,650 | 1,130,650 | - |
| Development Trust Fund | 650,000 | 650,000 | - |
| TOTAL | 41,556,743 | 52,689,887 | 11,133,144 |

Section 2. This Ordinance shall be in full force and effect from after its passage, approval, and publication. PASSED by the City Council and APPROVED by the Mayor of the City of Ketchum, Idaho, this 3rd day of February.

ATTEST:

TRENT DONAT, CITY CLERK

NEIL BRADSHAW, MAYOR

Publish: Idaho Mountain Express
February 12, 2025

City of Ketchum
2025 Budget Amendments
by Fund

1 General Fund

| 2 Department | Account | Revenue | Expenditure | Amendment Type | Justification |
|---|----------------|-------------------|---------------------|-----------------------|--|
| 3 Administration | 01-4150-5150 | | \$ 15,000 | Re-Budget/Carryover | Vehicle Graphics needed in FY 2025 |
| 4 Facilities | 01-4194-4220 | | \$ 35,000 | Re-Budget/Carryover | Main Street Punch List Items and Increased Service Level |
| 5 Facilities | 01-4194-5900 | | \$ 23,000 | Re-Budget/Carryover | Address City Hall 5th Entrance Doors |
| 6 Streets | 01-4310-6950 | | \$ 40,000 | Re-Budget/Carryover | Needed re-budget to address deferred maintenance (seal coat bike paths) |
| 7 Streets | 01-4310-4200 | | \$ 25,000 | Re-Budget/Carryover | Carry to 2025 for electrical work and snow hauling |
| 8 Fire | 01-4230-3200 | | \$ 11,000 | Re-Budget/Carryover | Fire Supplies, focus on Wildland |
| 9 Fire | 01-4230-2310 | | \$ 12,000 | Re-Budget/Carryover | Deferred Comp Performance Based Volunteers |
| 10 Fire | 01-3700-8799 | \$ 200,000 | | Revenue Neutral | Budget amendment to capture Fire assignment reimbursement revenue |
| 11 Fire | 01-4230-4940 | | \$ 200,000 | Revenue Neutral | Expenses associated with Fire assignments |
| 12 Non-Departmental | 01-3700-3600 | \$ 153,400 | | Interim Budget Change | Contract savings remitted to the City as part of the Policing contract |
| 13 Non-Departmental Transfer Out to Capital Fund | 01-4193-8803 | | \$ 847,677 | Interim Budget Change | Transfer to CIP Fund to maintain \$1.0M minimum (~\$243k) plus additional funds to address various CIP priorities at Council direction |
| 14 Non-Departmental Transfer Out to Housing Fund | 01-4193-8804 | | \$ 500,000 | Interim Budget Change | \$500k EOY commitment to further execute the Housing Action Plan per Council Direction |
| 15 Planning & Building | 01-3200-2100 | \$ 35,000 | | Revenue Neutral | Building Permit Revenue Adjustment |
| 16 Planning & Building | 01-4170-1000 | | \$ 15,000 | Revenue Neutral | Net Staffing Transition Need |
| 17 Planning & Building | 01-4170-4200 | | \$ 20,000 | Revenue Neutral | Flood Plain Professional Services |
| 18 Non-Departmental | 01-3320-8600 | \$ 171,719 | | Revenue Neutral | Final EMS contract contribution amount increase |
| 19 Non-Departmental | 01-4193-9930 | | \$ 171,719 | Revenue Neutral | Offsetting contingency expense |
| 20 General Fund Total | | \$ 560,119 | \$ 1,915,396 | | |

City of Ketchum
2025 Budget Amendments
by Fund

21 **Wagon Days Fund**

| 22 Program | Account | Revenue | Expenditure | Amendment Type | Justification |
|---------------------------------|--------------|------------------|------------------|---------------------|------------------------------------|
| 23 Transfer In (Original LOT) | 02-3700-8722 | \$ 25,000 | | Re-Budget/Carryover | Transfer in from Original LOT Fund |
| 24 Wagon Days Event | 02-4530-4210 | | \$ 25,000 | Re-Budget/Carryover | Program expense account |
| 25 Wagon Days Fund Total | | \$ 25,000 | \$ 25,000 | | |

26 **Capital Fund**

| 27 Project/Department | Account | Revenue | Expenditure | Amendment Type | Justification |
|--|--------------|---------------------|---------------------|-----------------------|---|
| 28 Streets Vehicle Replacement | 03-4310-7600 | | \$ 35,000 | Re-Budget/Carryover | Pushed from 2024 |
| 29 Facilities Truck Replacement | 03-4194-7110 | | \$ 35,000 | Re-Budget/Carryover | Pushed from 2024 |
| 30 Facilities Mower Replacement | 03-4194-7602 | | \$ 34,000 | Re-Budget/Carryover | Pushed from 2024 |
| 31 Recreations Gator Replacement | 03-4150-7130 | | \$ 20,000 | Re-Budget/Carryover | Pushed from 2024 |
| 32 Technology Upgrades CIP | 03-4193-7200 | | \$ 26,825 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025 |
| 33 Fire Rescue Equipment | 03-4230-7125 | | \$ 5,000 | Re-Budget/Carryover | Unused spending authority, needed in FY 2025 for Back Country equipment |
| 34 Atkinson Park Irrigation Upgrades | 03-4194-7120 | | \$ 50,000 | Re-Budget/Carryover | Pushed from 2024 |
| 35 Trash Cans Replacement/New | 03-4194-7170 | | \$ 10,000 | Re-Budget/Carryover | Needed in 2025 for Main Street |
| 36 Main Street Rehab | 03-4193-7135 | | \$ 3,258,204 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025 |
| 37 Warm Springs Preserve Reimbursement | 03-3700-3600 | \$ 62,501 | | Re-Budget/Carryover | 2024 expenses to be reimbursed |
| 38 Power Undergrounding Contract (HWY 75 South of Town) | 03-4193-7180 | | \$ 700,632 | Interim Budget Change | Remaining expense per Contract |
| 39 Transfer In (General Fund) | 03-3700-8701 | \$ 847,677 | | Interim Budget Change | Transfer in from General to maintain \$1.0M minimum and address various CIP priorities at Council's direction |
| 40 Transfer In (Original LOT Fund) | 03-3700-8722 | \$ 1,000,000 | | Interim Budget Change | Fund Balance Transfer In to address future CIP needs at Councils direction |
| 41 Capital Fund Total | | \$ 1,910,178 | \$ 4,174,661 | | |

City of Ketchum
2025 Budget Amendments
by Fund

42 **Original LOT Fund**

| 43 Program | Account | Revenue | Expenditure | Amendment Type | Justification |
|-----------------------------------|--------------|---------|--------------|-----------------------|--|
| 44 Wagon Days Transfer | 22-4910-8802 | | \$ 25,000 | Re-Budget/Carryover | Based on recent events, needed due to cost increases, transfer out account |
| 45 Transfer Out | 22-4910-8803 | | \$ 1,000,000 | Interim Budget Change | Transfer Fund Balance to address future CIP needs at Councils direction |
| 46 Original LOT Fund Total | | \$ - | \$ 1,025,000 | | |

47 **Additional LOT Fund**

| | | | | | |
|-------------------------------------|--|------|------------|-----------------------|--|
| 48 Fund Balance Release to SVASB | | | \$ 299,125 | Interim Budget Change | Release of Fund Balance, All SVASB based on historic fund balance analysis |
| 49 Additional LOT Fund Total | | \$ - | \$ 299,125 | | |

50 **In-Lieu Housing Fund**

| 51 Program | Account | Revenue | Expenditure | Amendment Type | Justification |
|--|--------------|---------|--------------|-----------------------|--|
| 52 Transfer Out to Housing Fund (EOY Commitment) | 52-4410-8899 | | \$ 500,000 | Interim Budget Change | \$500k EOY commitment to further execute the Housing Action Plan per Council Direction |
| 53 Bluebird Contractual Commitment | 52-4410-7116 | | \$ 680,000 | Re-Budget/Carryover | Remaining Contractual Commitment |
| 54 In-Lieu Housing Fund Total | | \$ - | \$ 1,180,000 | | |

55 **Housing Fund**

| 56 Program | Account | Revenue | Expenditure | Amendment Type | Justification |
|---|--------------|--------------|--------------|-----------------------|--|
| 57 Deed Restricted Property Sale | 54-3700-4000 | \$ 378,000 | | Re-Budget/Carryover | Sale did not occur in FY 2024 |
| 58 Reimburse General Fund (Property Purchase) | | | \$ 230,517 | Re-Budget/Carryover | Remaining reimbursement to the General Fund for the deed restricted purchase. |
| 59 Transfer In (General Fund) | 54-3700-8701 | \$ 500,000 | | Interim Budget Change | \$500k EOY commitment to further execute the Housing Action Plan per Council Direction |
| 60 Transfer In (In-Lieu Fund) | 54-3700-8730 | \$ 500,000 | | Interim Budget Change | \$500k EOY commitment to further execute the Housing Action Plan per Council Direction |
| 61 Program Expense (Deed Restrictions) | 54-4410-4225 | | \$ 1,000,000 | Interim Budget Change | Offsetting Program Expense |
| 62 Housing Fund Total | | \$ 1,378,000 | \$ 1,230,517 | | |

**City of Ketchum
2025 Budget Amendments
by Fund**

63 **Water Fund**

| 64 Program/Project | Account | Revenue | Expenditure | Amendment Type | Justification |
|-----------------------------|--------------|---------|-------------|---------------------|---|
| 65 Main Street Hydrant CIP | 64-4340-7135 | | \$ 23,000 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025 |
| 66 General Construction CIP | 64-4340-7800 | | \$ 50,000 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025, Trial Creek Bridge Water Line Adjustment, VFD Pump Replacement |
| 67 Water Fund Total | | \$ - | \$ 73,000 | | |

68 **Wastewater Fund**

| 69 Program/Project | Account | Revenue | Expenditure | Amendment Type | Justification |
|---------------------------------|--------------|---------|-------------|---------------------|---|
| 70 Collections CIP | 67-4350-7813 | | \$ 50,000 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025 |
| 71 Aeration Basins CIP | 67-4350-7815 | | \$ 603,715 | Re-Budget/Carryover | Ongoing, spending authority needed in FY 2025 |
| 72 Wastewater Fund Total | | \$ - | \$ 653,715 | | |