



**PLANNING AND ZONING COMMISSION MEETING**

Tuesday, November 9, 2021, at 4:30 PM  
191 5<sup>th</sup> Street West, Ketchum, Idaho

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**PUBLIC PARTICIPATION INFORMATION**

Public information on this meeting is posted outside City Hall.

**We welcome you to watch Planning and Zoning Commission Meetings via live stream.**

You will find this option on our website at [www.ketchumidaho.org/meetings](http://www.ketchumidaho.org/meetings).

**If you would like to comment on a public hearing agenda item, please select the best option for your participation:**

1. Join us live via Zoom (*see specific instructions below in the Public Hearing section of the agenda*).
2. Join us at City Hall (*masks are required in Council Chambers and seating has been arranged per the required social distance of 6'*).
3. Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (*by noon the day of the meeting*).

*This agenda is subject to revisions. All revisions will be underlined.*

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**Agenda**

**CALL TO ORDER:**

**COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE:**

**CONSENT CALENDAR - ACTION ITEMS:**

1. ACTION - Minutes of October 26, 2021.
2. ACTION - Recommendation to approve Gem Street Replat Subdivision Preliminary Plat – Findings of Fact, Conclusions of Law, and Decision.

**PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF - ACTION ITEMS:**

4. ACTION - Recommendation to consider the Moseley Pool House Underground Structure Design Review application and provide direction on how setbacks should be applied to permanent structures.

**ZOOM Information for Public Comment:**

<https://ketchumidaho-org.zoom.us/j/84752715852>

Meeting ID: 847 5271 5852

**Dial by your location:**

+1 253 215 8782

Meeting ID: 847 5271 5852

5. ACTION - Recommendation to approve the 380 N 1st Ave Mixed-Use Building Design Review (Application File No. P21-085).

**ZOOM Information for Public Comment:**

<https://ketchumidaho-org.zoom.us/j/82087165263>

Meeting ID: 820 8716 5263

**Dial by your location**

+1 253 215 8782

Meeting ID: 820 8716 5263

**STAFF REPORTS & CITY COUNCIL MEETING UPDATE:**

**ADJOURNMENT:**

Any person needing special accommodations to participate in the above noticed meeting should contact the City prior to the meeting at (208) 726-3841.





**Planning and Zoning Commission Special Meeting Minutes**

Tuesday, October 26, 2021, at 4:30 PM

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

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**CALL TO ORDER** (*video 00:11:15*)

The meeting was called to order at 4:30 p.m. by Chairman, Neil Morrow.

**PRESENT**

Chairman, Neil Morrow

Vice-Chairman, Mattie Mead

Commissioner, Jennifer Cosgrove

Commissioner, Brenda Moczygemba

Commissioner, Tim Carter

**OTHER STAFF**

Director, Suzanne Frick

Senior Planner – Abby Rivin

Senior Planner – Morgan Landers

Planner – Adam Crutcher

**COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE**

None.

**CONSENT CALENDAR — ACTION ITEMS** (*video 00:11:15*)

1. Minutes of September 21, 2021.

**Motion to approve the Minutes.**

Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Brenda Moczygemba.

Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

2. Recommendation to approve 780 N 1<sup>st</sup> Ave Multi-Family Design Review and Preliminary Plat - Findings of Fact, Conclusions of Law, and Decision.

**Motion to approve 780 N 1<sup>st</sup> Ave Multi-Family Design Review and Preliminary Plat.**

Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Tim Carter.

Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

3. Recommendation to approve Okada Residence Design Review and Preliminary Plat - Findings of Fact, Conclusions of Law, and Decision.

**Motion to approve Okada Residence Design Review and Preliminary Plat - Findings of Fact, Conclusions of Law, and Decision.**

Motion made by Commissioner, Brenda Moczygemba, Seconded by Commissioner, Jennifer Cosgrove. Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

**PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS** *(video 00:15:00)*

4. ACTION - Recommendation to approve the 760 N Washington Ave Mixed-Use Design Review (P21-077) and Condominium Preliminary Plat (P21-041) - Findings of Fact, Conclusions of Law, and Decision, located at 760 N Washington Ave.

Senior Planner, Morgan Landers provided the Commission an overview of the applicant’s project, with a recommendation to approve the design review and preliminary plat.

Applicant, Daniel Hollis provided the Commission with final comments on roofing changes requested and answered questions posed by Commissioners.

Commissioners addressed submitted public comments.

**Public Comment**

None.

**Motion to approve Design Review.**

Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Tim Carter. Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

**Motion to approve Condominium Preliminary Plat.**

Motion made by Commissioner, Mattie Mead, Seconded by Commissioner, Tim Carter. Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

5. ACTION – Recommendation to approve the Gem Street Replat Subdivision Preliminary Plat (P21-034) located at 151 Topaz Street.

Senior Planner, Morgan Landers provided the Commission a review of the applicant’s project in reference to Subdivision and Dimensional Standards, with a recommendation to approve the preliminary plat with conditions for the Applicant to address items required by the City.

**Public Comment**

The Randy MacAfee household shared concerns over subdividing the area and increasing the density in the area, as well as changing the character of the residential neighborhood.

The Commission discussed public feedback, confirming that the applicant has agreed to address the improvements required for subdivision. The applicant confirmed compliance.

**Motion to approve Gem Street Replat Subdivision Preliminary Plat.**

Motion made by Commissioner, Tim Carter, Seconded by Commissioner, Brenda Moczygemba.

Voting Yea: Morrow, Mead, Moczygemba, Carter.

Voting Nea: Cosgrove.

6. ACTION – Recommendation to hold a public hearing, consider, and provide direction on the draft Community Core Design Guidelines, draft Text Amendments to Ketchum Municipal Code Chapters 4.08 – Historical Preservation Commission and 17.96 – Design Review, and draft addition of Chapter 17.20 – Historic Preservation to the Ketchum Municipal Code.

Director, Suzanne Frick provided the Commission an overview of the partnership with Logan Simpson for the creation of design guidelines.

Bruce Meighen, Jennifer Gardner, and Melissa Ruth, from Morgan Simpson shared a presentation for the Commission, requesting their comment on draft design guidelines, in the categories of; 1) Building Orientation, 2) Massing and Form, 3) Building Articulation, 4) Building Materials, 5) Roof Forms, 6) Pedestrian Amenities, and 7) Historic Building Design Guidelines.

Senior Planner, Morgan Landers presented an overview of components of the Permanent Ordinance.

Commissioners provided comments and perspective for staff to consider.

7. ACTION – Recommendation to review and provide direction on interpretation of Title 17 – Zoning Regulations of the Ketchum Municipal Code, related to the number of accessory buildings permitted on an individual lot.

Director, Suzanne Frick provided the Commission a summary of recent increases in the number of accessory buildings on an individual lot.

Commissioners provided comments and perspective for staff to consider.

**STAFF REPORTS & CITY COUNCIL MEETING UPDATE** *(video 03:37:25)*

Director, Suzanne Frick reminded the Commission of the New City Hall location for future meetings.

**ADJOURNMENT** *(video 03:40:20)*

**Motion to adjourn at 7:59 p.m.**

Motion made by Chairman, Neil Morrow, Seconded by Commissioner, Mattie Mead.

Voting Yea: Morrow, Mead, Cosgrove, Moczygemba, Carter.

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Chairman, Neil Morrow  
Planning and Zoning Commission

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Secretary, Tara Fenwick



City of Ketchum  
Planning & Building

IN RE:	)	
	)	
Gem Street Subdivision Replat	)	<b>KETCHUM PLANNING &amp; ZONING COMMISSION</b>
Subdivision – Preliminary Plat	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND</b>
Date: November 9, 2021	)	<b>DECISION</b>
	)	
File Number: 21-034	)	

PROJECT: Gem Street Subdivision Replat

APPLICATION TYPE: Subdivision – Preliminary Plat

FILE NUMBER: P21-034

ASSOCIATED APPLICATIONS: None

REPRESENTATIVE: Sean Flynn, Galena Engineering (Engineer)

OWNER: Sallie Castle

LOCATION: 151 Topaz (Lot 2, Block 1 – Gem Street Subdivision)

ZONING: Limited Residential (LR)

OVERLAY: None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the application for Subdivision Preliminary Plat on April 5, 2021. The application was deemed complete on June 9, 2021, after one review for completeness. Following receipt of the complete application, staff routed the application materials to all city departments for review. Department comments were provided to the applicant on June 25, 2021.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on October 6, 2021. The public hearing notice was published in the Idaho Mountain Express and the city’s website on October 6, 2021. A notice was posted on the project site on October 19, 2021.

The Planning & Zoning Commission (the “Commission”) considered the Subdivision Preliminary Plat application (Application File No. P21-034) during the regular meeting on October 26, 2021. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission voted

to recommended approval of the Subdivision Preliminary Plat application to the City Council with a vote of 4 to 1.

### **BACKGROUND**

The Applicant is proposing to subdivide Lot 2 of the Gem Street Subdivision, located at 151 Topaz Street (the “subject property”) into two lots (the “project”). The subject property is zoned Limited Residential (LR) and has an existing single family dwelling unit and detached garage. The project proposes to retain the existing single family dwelling unit and garage and create a new 9,000 square foot lot on the eastern portion of the existing lot. See Attachment B for the preliminary plat illustrating the location of the existing dwelling unit and proposed lot lines for the new lot.

### **FINDINGS OF FACT**

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

#### **FINDINGS REGARDING CONFORMANCE WITH THE COMPREHENSIVE PLAN**

The City of Ketchum adopted the 2014 Comprehensive Plan (the “plan”) on February 18, 2014. The plan outlines the community vision and core values for the city. Using those, the plan outlines goals and policy objectives to reach key goals for the community related to the economy, housing, neighborhoods, parks and recreation, open space, public safety, and others. The plan also includes a Future Land Use Map (FLUM) that identifies possible future land uses for properties to achieve desirable land use patterns for the city.

Specifically, the plan includes goals and policies in Chapter 3: Housing, Chapter 4: Community Design and Neighborhoods, and Chapter 9: Public Safety and Utilities that relate to the proposed application.

- Housing Goal H-1: Ketchum will increase its supply of homes, including rental and special-needs housing for low, moderate, and median-income households.
  - Although the city cannot require the future owner or development of the proposed lot be targeted for a certain type of household or income category, the addition of a lot provides an opportunity to construct one additional dwelling unit and one additional accessory dwelling unit than exists today. Policy H-1.3 of this goal discusses the desire to integrate affordable housing into neighborhoods. Additionally, Policy H-1.5 states that “the community will continue to support and encourage construction of accessory dwelling units within residential areas to provide affordable housing.” The approval of the proposed application assists in achieving these goals.
- Community Design and Neighborhoods Goal CD-1: Our community will preserve its small-town character and the distinct image of neighborhoods and districts.
  - Policy CD-1.3 discusses infill and redevelopment projects. The policy emphasizes the importance of contextually appropriate projects. Specifically, projects should consider natural and manmade features adjoining a development site, not a certain style. In contrast to that, the plan also states that each neighborhood or district should include a mix of design elements that will reinforce its unique design (Policy CD-1.1). The subject property is located within the Gem Street Neighborhood, one of the oldest and least modified neighborhoods in the community. Many of the lots are large with smaller footprint log cabin or A-frame residential dwelling units. Some properties include a detached garage in addition to the primary dwelling unit. The subject property is one of

the larger lots in the Gem Street Neighborhood, equivalent to almost four of the properties found to the south and west. As the application is a request to create one lot, not multiple lots, the perceived impact of the subdivision may be less.

- Subdivision of property often results in the construction of new homes, sometimes reflective of current architectural trends or styles that may contradict the unique design of the neighborhood as it sits today. Although the lot sizes may be like the surrounding neighborhood, design of the future structure may differ. Design review is not required for single family dwelling units.
- Public Safety and Utilities Goal PDU-3: Provide safety related capital improvements in conjunction with new development.
  - Policy PSU-3.2 outlines that infill development and redevelopment should be encouraged where excess utility capacity is available. Policy PSU-1.1 discusses that the city will continue to provide high-quality police and emergency services. The Gem Streets are a neighborhood where providing street maintenance and emergency services is very challenging. Most areas do not have dedicated public right-of-way and where right-of-way exists, it is substandard in width and level of improvements. Public improvements required for redevelopment of property is one of the few ways the city can offer greater levels of service to the neighborhood through right-of-way dedications and physical improvements to streets and drainage.
- Future Land Use Map (FLUM)
  - The FLUM designates the subject property as “Low Density Residential”. Primary uses for this land use designation include “Single-family and duplex residences and accessory units.” The plan also states that “the average density of a residential area in this category is not to exceed about five units per acre.” A density of five units per acre equates to approximately one primary dwelling unit per 8,700 square feet of land. The new lot is 9,000 square feet, which is the minimum lot size in the LR zone district. Accessory dwelling units are not counted in density calculations as they are considered accessory and optional.

Although the subdivision of the property may result in new development with a different design than exists today, the request to subdivide the property is in conformance with the FLUM and forwards many policies aimed at housing and public safety.

### FINDINGS REGARDING PRELIMINARY PLAT SUBDIVISION REQUIREMENTS

Preliminary Plat Requirements				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	<b>The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.</b>
			<i>Findings</i>	The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on April 5, 2021.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I	<b>Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.</b>
			<i>Findings</i>	The subdivision application was deemed complete on June 25, 2021.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:  The scale, north point and date.
			<i>Findings</i>	This standard is met as shown on Sheet 1 of the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.
			<i>Findings</i>	As shown on Sheet 1 of the preliminary plat, the application is a replat of Lot 2 of the existing Gem Street Subdivision. As this is a subdivision of an existing lot, the subdivision name remains the same.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			<i>Findings</i>	As shown on Sheets 1 and 2, the owner and subdivider is Sallie Castle. The plat was prepared by Mark Phillips of Galena Engineering.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .4	Legal description of the area platted.
			<i>Findings</i>	The legal description of the area platted is shown in the Certificate of Ownership on Sheet 2 of the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			<i>Findings</i>	Sheet 1 of the preliminary plat indicates the boundary lines of the adjoining tax lots to the east, north, and south, as well as the lot within the Warm Springs Subdivision to the west.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .6	A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the contour lines for the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I 7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the location of the existing dwelling unit and detached garage on Lot 1 and all adjacent streets. Sheet 1 also indicates the snow storage and utility easement, and turnaround access easement on the northern property boundary, and utility easements along all property lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .8	Boundary description and the area of the tract.
			<i>Findings</i>	Sheet 1 provides the boundary description of the area and includes square footage and acreage of both lots.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .9	Existing zoning of the tract.
			<i>Findings</i>	Plat note #4 on Sheet 1 of the preliminary plat lists the existing zoning of the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			<i>Findings</i>	No new streets or blocks are proposed for the project; however, Sheet 1 of the preliminary plat includes names and dimensions of all existing right-of-way for Emerald Street to the north and Topaz Street to the south. Sheet 1 of the preliminary plat shows the locations and lot lines for the proposed lots.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.

			<i>Findings</i>	This standard is not applicable as there is no requirement or proposal for land dedicated for public or common use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .12	<b>The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.</b>
			<i>Findings</i>	As shown on Sheet 1, the existing dwelling unit is currently served by city water and sewer. The new lot will have separate services for water and sewer from the main lines in Emerald Street as shown on Sheet 1 of the preliminary plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .13	<b>The direction of drainage, flow and approximate grade of all streets.</b>
			<i>Findings</i>	This standard does not apply as no new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .14	<b>The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.</b>
			<i>Findings</i>	This standard does not apply as no new drainage canals or structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .15	<b>All percolation tests and/or exploratory pit excavations required by state health authorities.</b>
			<i>Findings</i>	This standard does not apply as no addition tests are required.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .16	<b>A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.</b>
			<i>Findings</i>	This standard does not apply as this preliminary plat application is not for a townhouse or condominium subdivision and no commonly owned land or facilities are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .17	<b>Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.</b>
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the surrounding streets. There are no collector streets within this are of the Gem Street Neighborhood as the streets are dead ends. Highway 75 is the closest arterial, located just west of the subject property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .18	<b>The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.</b>
			<i>Findings</i>	The subject property is not within a floodplain, floodway, or avalanche zone district.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .19	<b>Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.</b>
			<i>Findings</i>	A building envelope is not required as the subject property is not within the floodway, floodplain, or avalanche zone. The subject property is not adjacent to the Big Wood River, Trail Creek or Warm Springs. The subject property does not contain slopes greater than 25% and is not adjacent to an intersection.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .20	<b>Lot area of each lot.</b>



			<i>Findings</i>	As shown on Sheet 1 of the preliminary plat, the area of Lot 1 is 24,093 square feet and the area of Lot 2 is 9,000 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .21	<b>Existing mature trees and established shrub masses.</b>
			<i>Findings</i>	As verified by a site visit with city staff, the subject property includes multiple mature trees, primarily on Lot 1. Lot 2 contains some shrubs in the northeast corner where the property slopes uphill toward the right-of-way of Emerald Street. None of the trees on Lot 1 are within the snow storage easement. A 10-foot-wide planting strip is noted for Lot 1 as the existing lot is a nonconforming double frontage lot. Per plat note #8, the planting strip along Lot 1 shall be devoted exclusively to landscaping. No vehicular access from Lot 1 onto Emerald Street is permitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .22	<b>A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.</b>
			<i>Findings</i>	The applicant provided a title commitment issued by Stewart Title dated November 25, 2021 and a warranty deed recorded on November 25, 2020 with the Blaine County Clerk and Recorder.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .23	<b>Three (3) copies of the preliminary plat shall be filed with the administrator.</b>
			<i>Findings</i>	The City of Ketchum received hard and digital copies of the preliminary plat at the time of application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	<b>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</b>
			<i>Findings</i>	As shown on Sheet 1 of the preliminary plat, all proposed improvements to the public right-of-way are shown. As outlined in condition of approval #4, all right-of-way improvements are required prior to approval of the Final Plat. The subject property does not include any watercourses, rock outcroppings, significant shrub masses or historic areas. At this time, a development proposal has not been submitted for the future use of the property. All future development plans must comply with all applicable provisions of Title 17, including KMC 17.124.170 – Minimum standards for one-family dwellings.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	<b>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</b>
			<i>Findings</i>	This standard does not apply as this is a preliminary plat application, not a final plat application. Compliance with this standard will be required for Final Plat application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	<b>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required</b>

				<p>improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			<i>Findings</i>	As noted in condition of approval #4, all required improvements must be complete prior to approval of the Final Plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	<p><b>As Built Drawing:</b> Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			<i>Findings</i>	This standard does not apply as this is a preliminary plat application, not a final plat application. Compliance with this standard will be required for Final Plat application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p><b>Monumentation:</b> Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> <li>1. All angle points in the exterior boundary of the plat.</li> <li>2. All street intersections, points within and adjacent to the final plat.</li> <li>3. All street corner lines ending at boundary line of final plat.</li> <li>4. All angle points and points of curves on all streets.</li> <li>5. The point of beginning of the subdivision plat description.</li> </ol>
			<i>Findings</i>	This standard does not apply as this is a preliminary plat application, not a final plat application. Compliance with this standard will be required for Final Plat application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p><b>Lot Requirements:</b></p> <ol style="list-style-type: none"> <li>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</li> <li>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so</li> </ol>

			<p>affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <ol style="list-style-type: none"> <li>a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</li> <li>b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</li> </ol> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
		<p><i>Findings</i></p>	<ol style="list-style-type: none"> <li>1. The proposed townhouse subdivision meets all dimensional standards as outlined in the LR zone district. The minimum lot size is 9,000 square feet. Lot 1 and Lot 2 are 24,093 square feet and 9,000 square feet. Future development of Lot 2 must comply with setback requirements in the LR zone district. The existing structures on Lot 1 meet setback requirements for the LR zone district. The required minimum lot width in the LR zone district is "80 feet average". The average is taken by measuring the width of the lot in 10-foot increments and taking the average of all measurements. Using this methodology, the average lot width for Lot 1 is greater than 152.6 feet and 80 feet for Lot 2.</li> <li>2. Building envelopes are not required as the subject property is not within the floodplain/floodway, avalanche zone, does not contain slopes greater than 25%, nor is it located adjacent to an intersection of two streets</li> <li>3. The subject property is not a corner lot.</li> <li>4. The newly created Lot 2 is within 20 degrees to a right angle to the street lot line along Emerald Street.</li> <li>5. The subject property is not a double frontage lot. Lot 1 is an existing double frontage lot that was previously approved as part of the original Gem Street Subdivision in November 2020. A 10-foot planting strip has been added to Lot 1, restricting vehicular access from Emerald Street.</li> </ol>

				<p>6. Both lots have a minimum of 20 feet of frontage on Emerald Street or Topaz Street. Lot 1 has 236.44 feet of frontage on Topaz Street and Lot 2 has 84 feet of frontage on Emerald Street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p><b>G. Block Requirements:</b> The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> <li>1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>2. Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</li> <li>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</li> </ol>
			<i>Findings</i>	This standard does not apply as no new blocks are being created.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H	<p><b>Street Improvement Requirements:</b></p> <ol style="list-style-type: none"> <li>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</li> <li>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</li> <li>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</li> <li>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</li> <li>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</li> <li>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</li> <li>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</li> <li>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from</li> </ol>

			<p>entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
			<p>Emerald Street is classified as a residential street, requiring a minimum right-of-way of 60 feet. Emerald Street, unlike some streets in the Gem Street</p>

				<p>Neighborhood, has a designated right-of-way. However, the right-of-way is minimal. West of the property, the right-of-way is 25 feet but narrows to only 10 feet adjacent to the subject property, turning into a private driveway at the eastern property boundary. The subdivision regulations require that all streets meet the minimum standards as outlined in Chapter 12.04, however, this pertains to the creation of new subdivisions and the construction of new streets. The original Gem Street Subdivision, approved in November 2020, dedicated the 10 feet of right-of-way adjacent to the subject property. Additional right-of-way dedication to achieve a consistent 25 feet must come from the adjacent property to the north if or when it develops in the future. The goal for this application is to meet or exceed the minimum width and improvements required for efficient maintenance (primarily snow removal) and emergency service access. The following items are required to achieve this:</p> <ul style="list-style-type: none"> <li>• 5-foot Snow storage and utility easement along Emerald Street</li> <li>• Designation of driveway curb cut location onto Emerald Street from the new lot, see recommended condition of approval #1</li> <li>• Widening of pavement within the right of way to a consistent 20 feet from the western property boundary to the eastern side of the designated driveway access point of the new lot to meet minimum fire access requirements</li> <li>• 20x20 access easement on the new lot for the city to facilitate maneuvering of snowplows or other equipment</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.I	<p><b>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</b></p>
			<i>Findings</i>	This standard does not apply as the subject property is not within a business, commercial, or light-industrial zone district.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.J	<p><b>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</b></p> <ol style="list-style-type: none"> <li>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</li> <li>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</li> <li>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that</li> </ol>

				<p>easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p> <p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p>
			<i>Findings</i>	<p>As shown on Sheet 1 of the preliminary plat, Lot 1 and Lot 2 include a 5-foot snow storage and utility easement. Lot 2 includes a 20x20 foot turnaround access easement for maneuvering of snowplows during the winter months. Both lots include 5-foot utility easements along all property boundaries.</p> <p>Standards 2-6 do not apply to the project as the property is not adjacent to any of the listed waterways, not adjacent to Warm Springs, does not contain any irrigation infrastructure, and does not include pedestrian or equestrian pathways.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.K	<p><b>Sanitary Sewage Disposal Improvements:</b> Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			<i>Findings</i>	<p>This standard does not apply as this application does not create a new subdivision. Lot 1 is connected to the City of Ketchum sewer system main located in Topaz Street. Lot 2 will be connected to the City of Ketchum sewer system main located in Emerald Street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	<p><b>Water System Improvements:</b> A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall</p>

				be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.
			<i>Findings</i>	This standard does not apply as this application does not create a new subdivision. Lot 1 is connected to the City of Ketchum water system main located in Topaz Street. Lot 2 will be connected to the City of Ketchum water system main located in Emerald Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off-street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			<i>Findings</i>	As outlined in plat note #8, a 10-foot planting strip applies to Lot 1. The purpose of the planting strip is to limited vehicular access onto Emerald Street with the addition of a driveway for Lot 2.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	<p>Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <ol style="list-style-type: none"> <li>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application.</li> <li>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> <li>a. Proposed contours at a maximum of five foot (5') contour intervals.</li> <li>b. Cut and fill banks in pad elevations.</li> <li>c. Drainage patterns.</li> <li>d. Areas where trees and/or natural vegetation will be preserved.</li> <li>e. Location of all street and utility improvements including driveways to building envelopes.</li> <li>f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.</li> </ol> </li> <li>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</li> <li>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</li> <li>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</li> </ol>



				<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).</p> <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
			<i>Findings</i>	This standard does not apply as this application is the subdivision of an existing lot. On-site grading for development on Lot 2 must meet all requirements of Title 17 – Zoning Regulations and Title 15 – Buildings and Construction.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.O	<p><b>Drainage Improvements:</b> The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			<i>Findings</i>	The subject property is mostly flat, with existing drainage operating adequately to manage surface water on site. Drainage of stormwater from the right-of-way and proposed improvements have been verified by the City Engineer. Prior to start of construction of right-of-way improvements, construction drawings shall be reviewed and approved by the City Engineer as outlined in condition of approval #1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	<p><b>Utilities:</b> In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.</p>
			<i>Findings</i>	All existing utilities are underground for the existing residential dwelling unit and detached garage. As show on Sheet 1 of the preliminary plat, new utilities will be

				installed underground. Utility locations will be reviewed and verified at the time of building permit application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	<b>Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.</b>
			<i>Findings</i>	The proposed subdivision does not create substantial additional traffic, therefore, no improvements are required.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Townhouse Preliminary Plat application for the development and use of the project site.
2. The Commission has authority to review and recommend approval of the applicant’s Subdivision Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §16.04.030.
4. The Subdivision Preliminary Plat application is governed under Chapter 16.04 of Ketchum Municipal Code.
5. The Gem Street Replat Subdivision Preliminary Plat application meets all applicable standards specified in Title 16 of Ketchum Municipal Code.

### DECISION

**THEREFORE,** the Commission **approves** this Preliminary Plat Application File No. P21-034 this Tuesday, November 9,2021, subject to the following conditions of approval.

### CONDITIONS OF APPROVAL

1. Prior to construction of required improvements, construction plans for proposed improvements to Emerald Street shall be reviewed and approved by the City Engineer.
2. The Final Plat application shall include a plat note restricting construction of driveway curb cuts on the new lot to the turnaround access easement location as shown on the preliminary plat.
3. All fences located within snow storage easements must either be relocated or removed entirely and verified by a member of the City of Ketchum Planning staff, prior to approval of the Final Plat.
4. The Final Plat application shall not include Plat note 3 provided that all fences have been adequately removed or relocated.

5. All right-of-way improvements shall be completed and accepted by the City of Ketchum City Engineer prior to approval of the Final Plat.
6. Failure to record a Final Plat within two (2) years of Council's approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.

Findings of Fact **adopted** this 9th day of November 2021.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF NOVEMBER 9, 2021**

- PROJECT:** Moseley Residence
- APPLICATION TYPE:** Design Review (Underground Structure Setback Encroachment)
- REPRESENTATIVE:** Aaron Belzer, Farmer Payne Architects
- OWNER:** Colin Moseley
- LOCATION:** 119 Sage Road (Warm Springs Village 4th Addition: Block 2: Lot 9)
- ZONING:** General Residential Low Density (GR-L)
- OVERLAY:** Avalanche
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on October 27<sup>th</sup>, 2021. The public hearing notice was published in the Idaho Mountain Express the on October 27<sup>th</sup>, 2021.

**PROJECT BACKGROUND**

The applicant submitted a building permit application for the construction of a new single-family residence and associated site improvements, including a pool, located at 119 Sage Road on April 6<sup>th</sup>, 2021. The project plans did not comply with Ketchum Municipal Code as noncompliant features encroached within the 15-foot required setback from front property line. The code compliance issue was flagged by the Planning Department and communicated to the contractor and architect on May 14<sup>th</sup>, June 22<sup>nd</sup>, July 1<sup>st</sup>, August 26<sup>th</sup>, and September 13<sup>th</sup>. The revised plans submitted by the applicant failed to address the code violation. The applicant started construction without an approved building permit (Figure 1). The Building Official issued a Stop Work Order for the project on August 9<sup>th</sup>, 2021.



Figure 1: Picture of Project Site Taken 8/9/21

## ACTIONS BEFORE PLANNING AND ZONING COMMISSION

In order to issue a building permit for the proposed project, the project must comply with the Zoning Ordinance. There are two outstanding compliance issues. The first is the building foundation/structure encroaching into the front yard setback (Figure 2). Subject to Design Review approval, subterranean encroachments may be approved by the Planning and Zoning Commission. The second issue is the placement of an above-grade wall with a structural foundation and permanent stairs within the front setback area. The Commission is being asked to review the Design Review application for the subterranean encroachments and separately make a determination if the above-grade wall and stairs are considered permanent, structural elements that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.

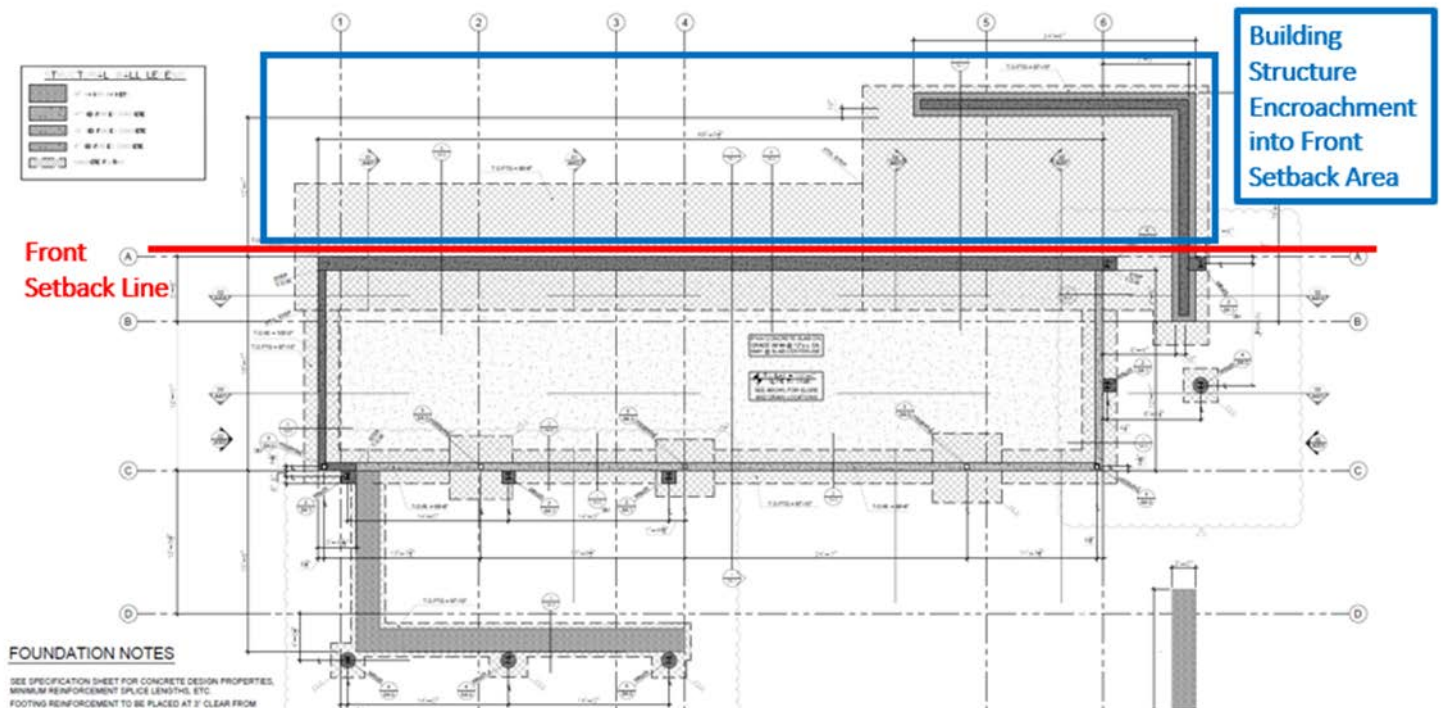


Figure 2: Foundation Plan (Sheet S2.0)

## PROPOSED PROJECT

The applicant submitted revised project plans on October 27<sup>th</sup>, 2021 showing their desired design and configuration for the residential development (Exhibit B). The site plan indicates stairs and a steel-clad, concrete wall encroaching within the front setback area. The stairs connect the driveway access along Sage Road to the front door of the home. The grade change from Sage Road to the residence's finished floor elevation is approximately 6 feet. The stairwell is comprised of 10 stair risers and includes a handrail.

The structural details on Sheet S4.1 show that the concrete wall is 9 feet-2 inches in height from the bottom of the footing to the top of the wall. As noted in the applicant's letter (Exhibit A), the wall has been engineered to withstand the avalanche forces that may impact the property. The foundation plan on Sheet S2.0 (See Figure 2) shows that the avalanche wall and building foundation footings are connected.

## OUTSTANDING COMPLIANCE ISSUE NO. 1: UNDERGROUND STRUCTURE ENCROACHMENT

As indicated on Sheet S2.0 (See Figure 2), the home's building footing encroaches into the front setback area. Below-grade structures may encroach into required setbacks subject to the standards specified in Ketchum Municipal Code §17.128.020.K.

- K. Encroachments of below grade structures into required setbacks are permitted provided all of the following standards are met:*
- 1. Proposed encroachments shall receive design review approval from the Planning and Zoning Commission; and*
  - 2. Below grade encroachments into the riparian setback are not permitted; and*
  - 3. Construction activity shall not occur on adjacent properties; and*
  - 4. Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare; and*
  - 5. Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and*
  - 6. Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest; and*
  - 7. The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.*
    - a. Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and*
  - 8. Below grade encroachments into required setbacks shall not interfere with drainage.*
    - a. Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.*

The building footing meets these required standards. The below-grade structure does not conflict with any applicable easements, sensitive ecological areas, or drainage. The building footing is located entirely underground. Staff recommends approval of the underground encroachment.

## OUTSTANDING COMPLIANCE ISSUE NO. 2: PERMANENT STRUCTURES IN FRONT SETBACK

### Ketchum Municipal Code: Setback Requirements

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above-grade or below-grade building or structure.

### *Ketchum Municipal Code §17.08.020: Definitions*

#### **BUILDING:**

- A.** Any permanent structure built for the shelter or enclosure of persons, animals, chattels or property of any kind, which:
  - 1.** Is permanently affixed to the land; and

2. Has one or more floors and a roof.
- B. Any appendages to said structure, such as decks, roof overhangs and porte-cocheres, are part of said building for purposes of determining building coverage, setbacks or other regulations unless otherwise specified.

STRUCTURE: Anything permanently constructed in or on the ground, or over the water, including gas or liquid storage tank that is principally above ground and manufactured homes; excluding fences less than six feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill.

*Ketchum Municipal Code §17.128.020: Supplementary Yard Regulations*

Supplementary yard regulations specified in Ketchum Municipal Code §17.128.020 provide allowances for certain features to extend into required setback areas. For example, cornices, canopies, eaves, chimney chases, or similar architectural features may extend into a required yard not more than 3 feet and decks less than 30 inches in height from existing grade may be constructed to the property line.

All structures are subject to setbacks. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020).

Wall & Stairs

Staff has qualified the avalanche wall and stairs as permanent structures subject to setbacks as these features are permanently constructed in the ground. The zoning code does allow features like fences that are not permanent within setbacks. The wall footing is connected to the building footing. The wall is an appendage to the principal residential structure and is subject to setbacks pursuant to Ketchum Municipal Code §17.08.020.

**STAFF RECOMMENDATION**

*Outstanding Compliance Issue No. 1: Underground Structure Encroachment*

Staff recommends that the Commission approve the Design Review application for the subterranean building structure.

*Outstanding Compliance Issue No. 2: Permanent Structures in Front Setback*

Staff recommends the Commission make a determination if the above-grade wall and stairs are considered permanent, structural element that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.

**EXHIBITS:**

- A. Applicant Letter
- B. Moseley Residence Project Plans

# Exhibit A

## Applicant Letter



To Whom it may concern,

The point of the following letter is to bring the commission up to speed on the project, and to provide some context of the Permitting process to date.

After several meetings with the Planning and Zoning Department and multiple rounds of comments, we are presenting to you our design for 119 Sage Rd. A small structure that sits towards the front of the property to allow for ample yard space to the south. The issue at hand is the encroachment of the building footing into the Front Setback, and the design of a landscape wall that is also within the Front Setback. I've split these issues into 2 different topics because despite them having a connected footing, we believe they should be treated as 2 separate issues. I've tried to tackle each of those below.

**1. Building Footing encroachment into Building Setback:**

As per our previous conversations with the city, We have always measured Setbacks to the face of wall and never to edge of foundation footing. In all of our combined experience as a design/construction team in Ketchum, A footing encroachment into a setback has not been a barrier to approval and has not needed special approval from P&Z. This is true not only for the City of Ketchum, but for all of the various jurisdictions we have worked in.

I've included several precedent projects that show this condition. These are a few of the projects that the design team has completed in the last couple of years within the City of Ketchum that show a version of this condition. Again, these were all approved without needing special approval through P&Z. We hope these clearly demonstrate our argument.

FPA, MSDS, BYLA, & HALL BROWN

-116 Sage Rd (*Footings for Avalanche wall encroach into setbacks*)

MSDS

-124 Sage Rd (*Footing for house is within setback, site wall connected to house also within setback*)

-221 Sage Rd (*Footing for avalanche wall is within setback*)

BYLA

-411 Leadville Ave, Ketchum, ID (*4' tall wall and footing within front setback*)

-671 Alpine Lane, Ketchum, ID (*4' tall wall and footing within front setback*)

HALL BROWN

-206 Fox Run Rd (*Site walls and Architectural footings all encroach within side and front setbacks*)

-This project was approved Pre-2018 and completed in 2018, but still shows that historically, footings and site-walls have been allowed with setbacks.

**2. Site wall with Connected Footing:**

The existing topography of the site falls steeply away from Sage Rd, and the intention of the site wall is to maintain the current grading within the R.O.W. while providing **at grade** landscape steps that lead you down to the Finish Floor Elevation. We are not doing any excavation to accomplish this design.

The Site wall has been documented by BYLA to conform to all city requirements for landscape site walls. The design consists of a concrete wall clad in steel that is engineered for the avalanche forces that are present on site. To clarify, the wall itself is not an avalanche protection wall per se, but is engineered so that if an avalanche does occur, the wall does not become a projectile as part of the avalanche. This is standard practice for site walls within Avalanche Zones as Craig Maxwell will talk about this at the meeting.

One other point that has been brought up through this process, is the need for site or landscape walls to be engineered with footings. Site walls, whether they are in the Avalanche zone or not, require properly engineered footings. Several of the precedent projects I listed above also have this condition.

While the Footings are connected for building efficiency the site wall and the Primary building structure are completely structurally independent of one another. The footings are only connected to simplify the concrete formwork and pour. Therefore the site wall could be removed by a future owner with no impact to the engineering of the Building.

Thank you for taking the time to review our design.

Best,

Aaron Belzer  
 Associate

Sun Valley | 208. 214. 5155  
 Jackson Hole | 307. 264. 0080  
 Louisiana | 318. 383. 3100

Exhibit B  
Moseley Residence  
Project Plans



Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

ARCHITECT STAMP:



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MPH RESIDENCE  
119 SAGE RD  
KETCHUM, ID. 83340

DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

A001  
Cover





**PROJECT ADDRESS**

119 Sage Rd  
Ketchum, ID. 83340

LEGAL ADDRESS:  
Warm Springs Village  
4th Add, Lot 9, BLK 2

PARCEL:  
RPK06100020090



**PROJECT DIRECTORY**

- Owner:** CM & MPM Revocable Trust  
PO Box 21866  
Seattle, WA. 98111
- Architect:** Farmer Payne Architects  
Scott Payne, Principal, AIA, LEED AP  
PO Box 869  
Ketchum, ID. 83340  
t: 208.214.5155  
e: scott@farmerpaynearchitects.com
- Contractor:** Hall Brown Builders LLC  
Chad Brown, Principal  
PO Box 2949  
Ketchum, ID. 83340  
t: 208.726.2440  
e: chad@hallbrown.com
- Structural Engineer:** Maxwell Structural Design Studio  
Craig Maxwell  
PO Box 1991  
Ketchum, ID. 83340  
t: 208.721.2171  
e: craig@maxwellsds.com
- Landscape Architect:** Ben Young Landscape Architects  
Ashley Boand  
PO Box 594  
Ketchum, ID. 83340  
t: 208.726.5907  
e: ben@byla.us
- Energy Consultant:** John Reuter Greenworks  
John Reuter  
PO Box 4714  
Ketchum, ID. 83340  
t: 208.721.2922  
e: jreuter@gmx.com
- Avalanche Consultant:** Alpine Enterprises  
Bruce Smith  
PO Box 2037  
Ketchum, ID. 83340  
t: 208-720-3042  
e: bsmith@alpineenterprisesinc.com

**GENERAL NOTES**

- All work shall be done in accordance with all applicable, currently adopted federal, state, and local codes and requirements to include, but not limited to the International Building Code, the International Residential Code, the National Electric Code, the Uniform Plumbing Code, and the Uniform Mechanical Code.
- All subcontractors shall inspect the site before beginning work and identify any conflicts or inconsistencies between the Contract Documents and the existing conditions.
- All subcontractors shall notify the Owner and the Architect of conditions which require deviation from constructing the work as indicated in the Contract Documents.
- Do not scale drawings. Large scale drawings take precedence over smaller scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies.
- The General Contractor shall submit all proposed substitutions in writing to the Owner and the Architect for approval with samples, cost analysis, and sufficient information for evaluation. If a revision or substitution is made without the Owners' written approval that does not conform to the Contract Documents, it will relieve the Architect and Owner of any liability from the resulting aesthetic effect, subsequent failure, property damage, or personal injury.
- All subcontractors shall perform high quality, professional work. The work of each trade shall meet or exceed all quality standards published by that trade.
- All subcontractors shall comply with the rules of the City of Ketchum and the direction of the Owner for construction site facilities, use of premises, access to the site, and trash removal.
- All work vehicles must be parked within areas indicated on Construction Activity Plan
- It is the intent of these plans and specifications to describe a complete and finished project other than items marked NIC (not in Contract). Errors and omissions that may occur in contract documents shall be brought to the attention of the Architect. The General Contractor will be held responsible for the results of any errors, discrepancies, or omissions which the General Contractor fails to notify the Architect before construction or fabrication of the work.
- The General Contractor and Subcontractors shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.
- The presence of the architect on the job site does not imply approval of any work. The General Contractor must call specific items to the attention of the Architect if he/ she wishes to obtain the Architects approval.
- The General Contractor shall protect all newly installed materials, finishes, and assemblies from damage throughout construction.
- The General Contractor shall provide adequate and proper dry storage and handling of all building materials, supplies and finishes in accordance with the manufacturer's recommendations.
- The General Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, decorative steel elements, etc as wells as samples for all finishes. All Submittals shall be approved by Architect before installed

**GENERAL SITE CONDITIONS**

- The General Contractor shall coordinate with the Architect for the final building location, and driveway layout.
- The General Contractor shall dispose of all excess excavated material.
- The General Contractor shall maintain the site throughout the course of the project by: repairing all earth related scarring resulting from equipment, spills, etc.
- The General Contractor is responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sanitary sewer, gas, cable, etc. The General Contractor shall fill in and compact all trenches cut to install utilities on the site and verify all locate of meters, cans, tanks, lines with the Architect.

**CODE ANALYSIS**

2018 International Building and Residential Code

Construction Type	Type V
Number of Stories	1
Building Height	15'-5 1/2"
Zoning:	GR-L
Parking Spaces:	2
No Proposed Fire Sprinklers	

**SQUARE FOOTAGE TABULATIONS**

<b>PROPOSED SQUARE FOOTAGE</b>	
Main Level Habitable:	1,068 sf

**BUILDING COVERAGE:**

Lot Area:	10,031 sf
Building Coverage:	1,068 sf
Building Coverage Percentage:	10.6%
Building Coverage Percentage: (Allowed)	35%

**SETBACKS**

	REQUIRED:	PROPOSED: *
Front:	15'-0"	15'-1 5/8"
Side:	5'-0" (Based on Bldg Ht)	7'-6 5/8"
Side:	5'-0" (Based on Bldg Ht)	8'-2 3/8"
Rear:	15'-0"	16'-3"

**DRAWING INDEX**

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A002	General Notes and Drawing Index
A101	Perspectives
A102	Perspectives
A103	Perspectives
A107	Material Board
<b>CIVIL</b>	
C-1	Survey
C-2	Grading & Drainage Plan Details
<b>LANDSCAPE</b>	
L0.0	Cover
L1.0	Tree Removal Plan
L2.0	Site Plan
L3.0	Grading Plan
L3.1	Pool/Spa & Wall Layout
L3.2	Patio Layout
L4.0	Leisure Pool Details & Specs
L4.1	Leisure Pool Evaluation Report
L5.0	Lighting & Utility Plan
L5.1	Fixture Cut Sheets
L6.0	Landscape Schedule
<b>ARCHITECTURAL</b>	
A200	Architectural Site Plan
A200A	Recessed Slab Plan
A201	Main Level Plan - Noted
A202	Main Level Plan - Dimensioned
A203	Main Level - RCP
A204	Roof Plan
A301	Elevations
A302	Elevations
A401	Building Sections
A402	Building Sections
A501	Wall Sections
A502	Wall Sections
A503	Wall Sections
A504	Window / Door Details
A801	Door & Window Schedules
<b>STRUCTURAL</b>	
S1.0	Structural Specifications
S2.0	Foundation Plan
S3.0	Roof Framing
S4.0	Details
S4.1	Details
S5.0	Details
S5.1	Details



**Jackson Hole**  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

**Sun Valley**  
351 N Leadville Ave., Suite 204  
Ketchum, ID 83340  
T.208.214.5155

**Louisiana**  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

**ARCHITECT STAMP:**

LICENSED ARCHITECT  
AR 986479  
5/17/21

Scott Payne  
STATE OF IDAHO

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KETCHUM, ID. 83340

DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

**A002**  
General Notes & DWG Index

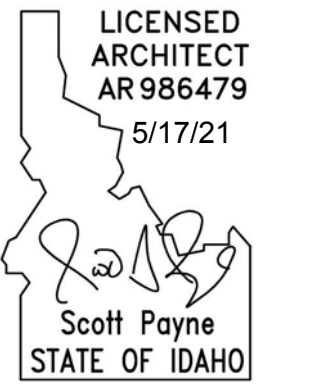


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260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

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351 N Leaville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

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T.318.383.3100

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KETCHUM, ID. 83340

DATE: 5/17/21

PROJECT #: SV2004

DRAWN: AB / CB

ISSUE:

CD Set 4/02/21

Revision 01 4/19/21

Revision 02 4/29/21

A101

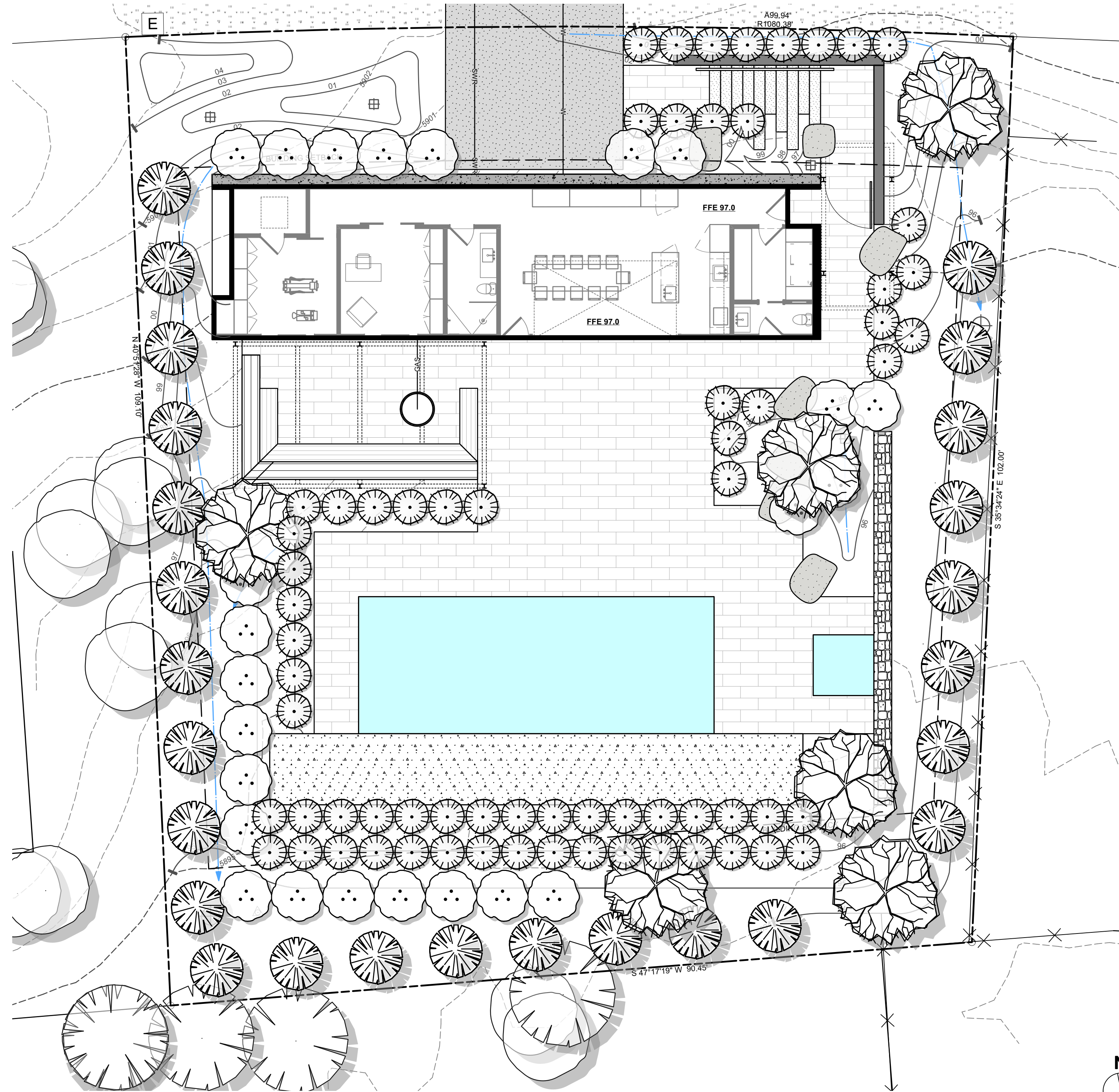
Perspectives





# MPH RESIDENCE

## 119 SAGE | KETCHUM, ID 83340



### SHEET INDEX

SHEET TITLE	SHEET NO.
COVER	L0.0
TREE REMOVAL PLAN	L1.0
SITE PLAN	L2.0
GRADING PLAN	L3.0
POOL/SPA + WALL LAYOUT	L3.1
PATIO LAYOUT	L3.2
DETAILS   LEISURE POOL SPECS AND FACT SHEET	L4.0
DETAILS   LEISURE POOL EVALUATION REPORT	L4.1
LIGHTING + UTILITY PLAN	L5.0
FIXTURE CUT SHEETS	L5.1
LANDSCAPE SCHEDULE	L6.0

### PROJECT INFORMATION

**OWNER**  
COLIN AND MARTHA MOSELEY

**PROJECT ADDRESS**  
119 SAGE ROAD KETCHUM, ID 83340

**LEGAL DESCRIPTION**  
WARM SPRINGS VILLAGE 4TH ADD LOT 9 BLK 2

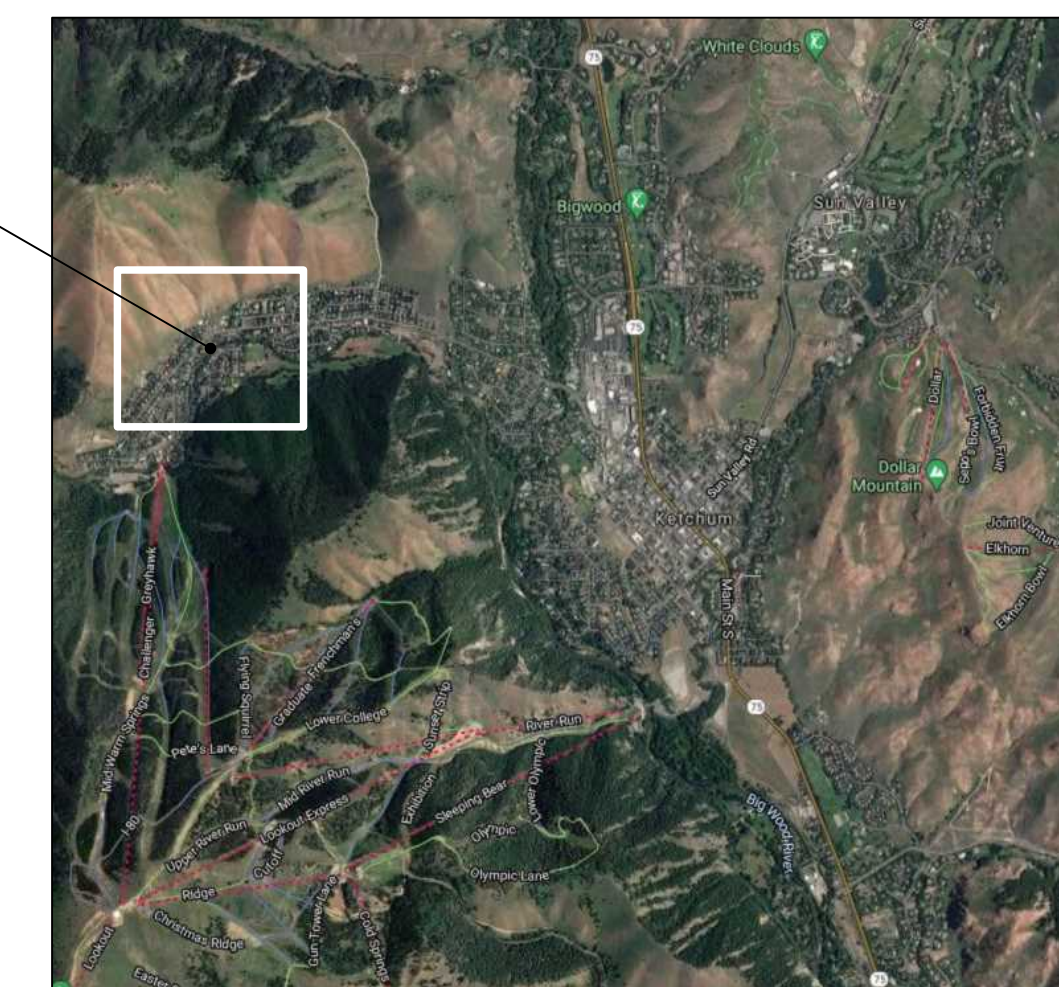
**PARCEL NUMBER**  
RPK06100020090

**ARCHITECT OF RECORD**  
FARMER PAYNE | ARCHITECTS  
351 N LEADVILLE AVE, UNIT 204  
KETCHUM, ID 83340

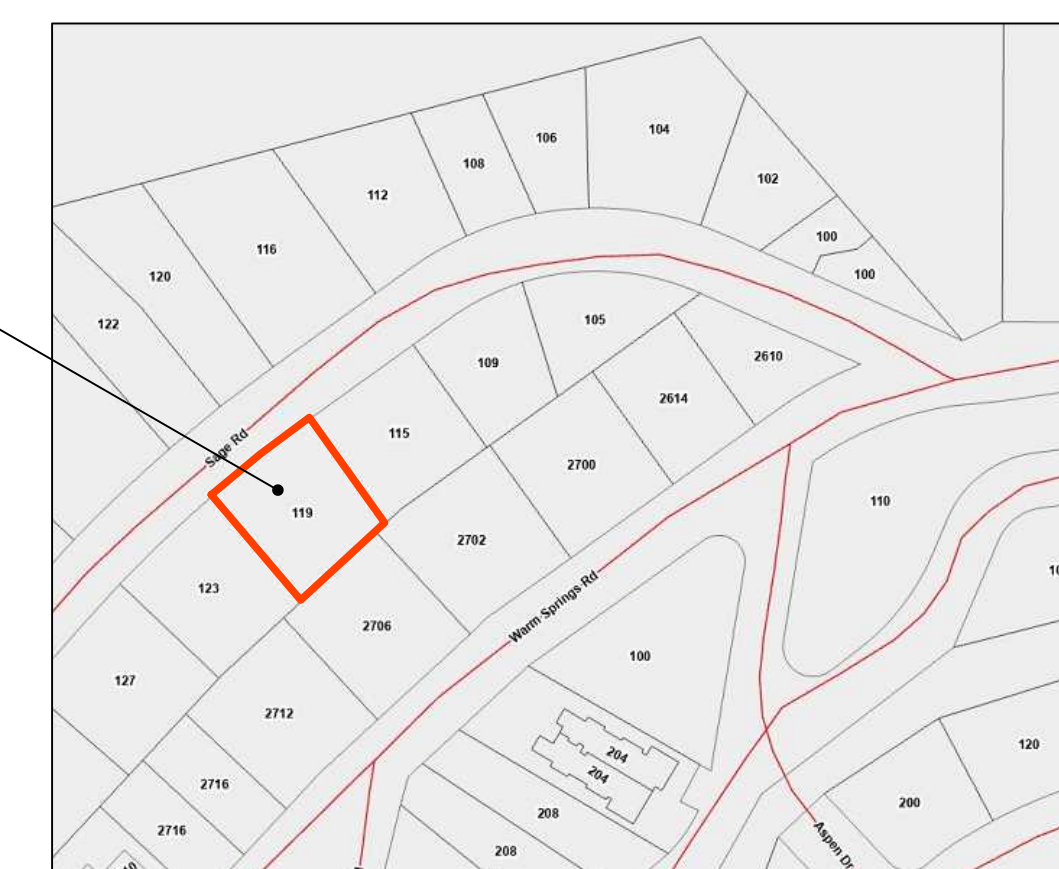
**LANDSCAPE ARCHITECT**  
BYLA  
323 LEWIS ST. N.  
PO BOX 594  
KETCHUM, ID 83340

**CONTRACTOR/BUILDER**  
BYLA  
323 LEWIS ST. N.  
PO BOX 594  
KETCHUM, ID 83340

### VICINITY MAP



### SITE LOCATOR



**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

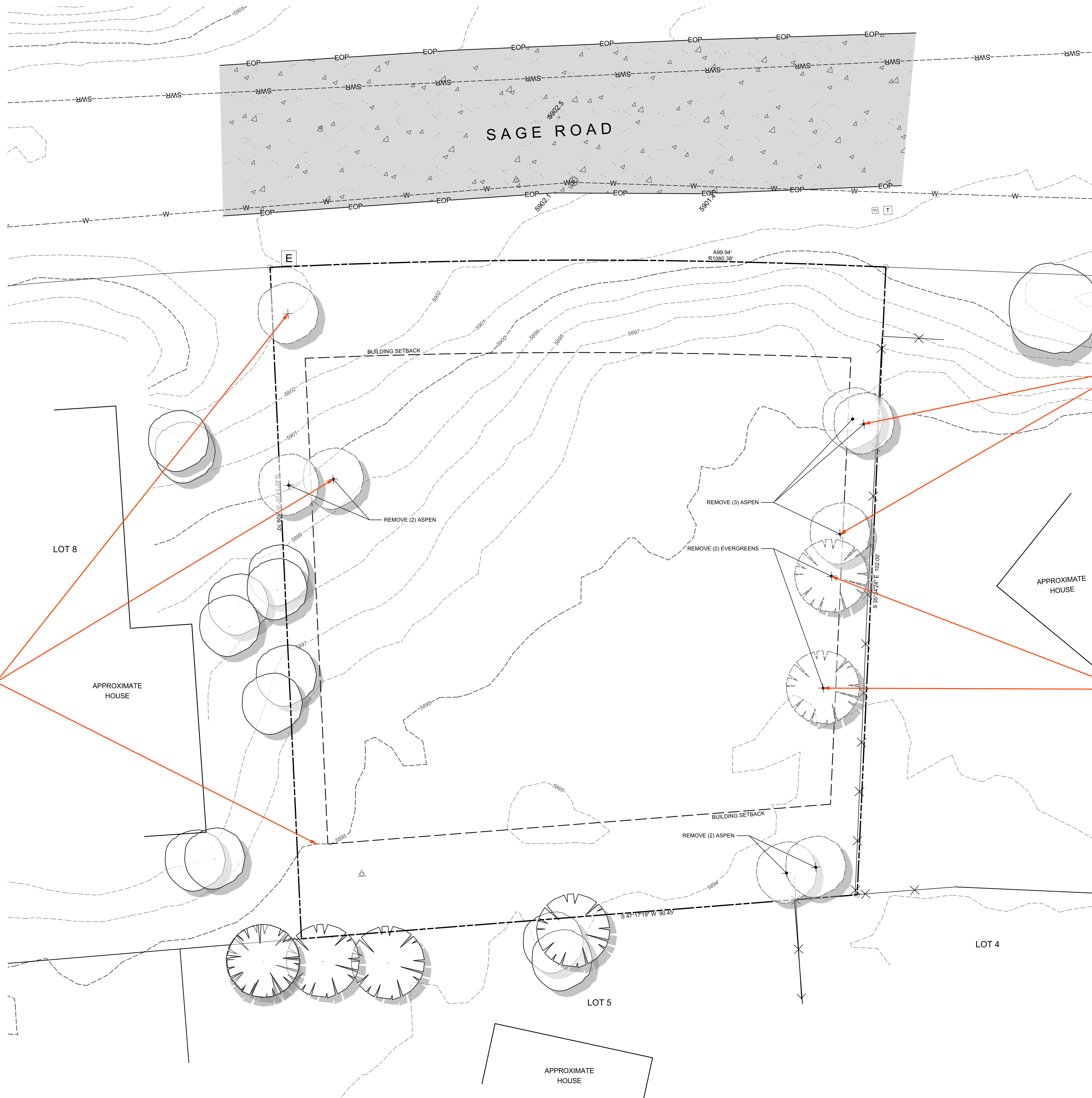
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PLOT DATE: 6/4/21 11:44:29

**COVER**

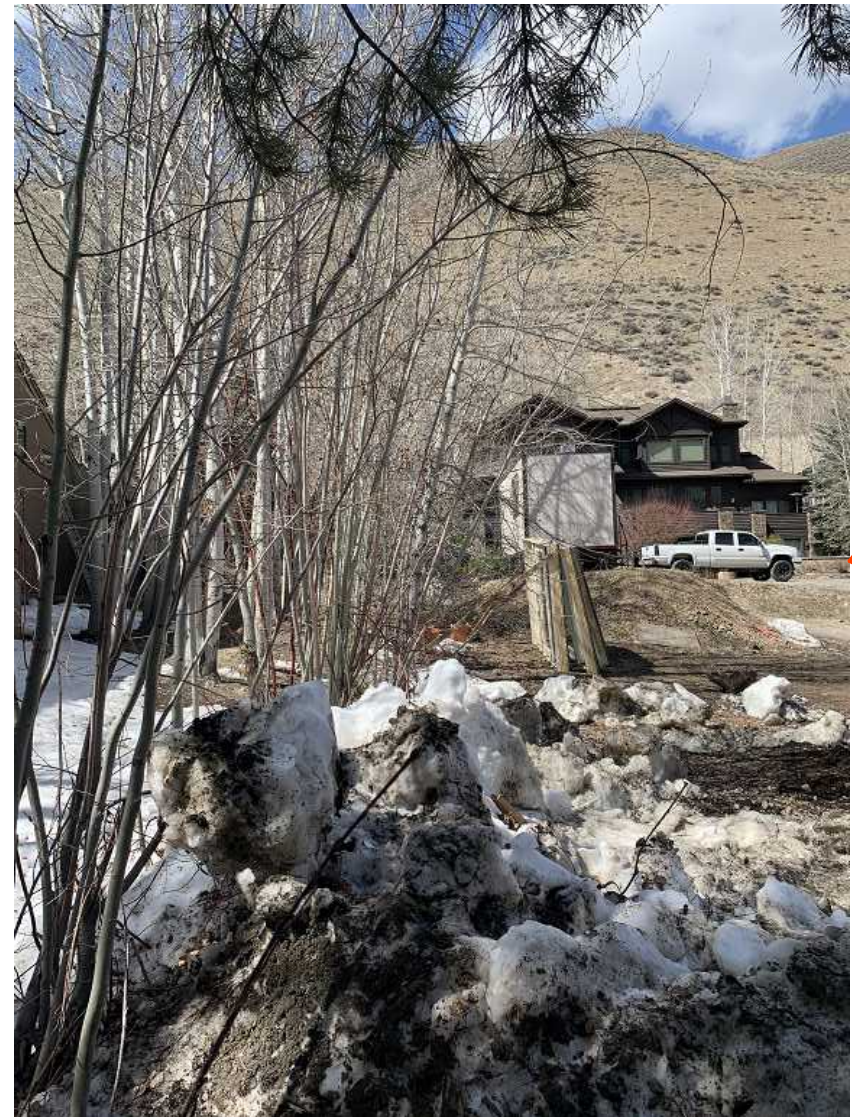
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**L0.0**

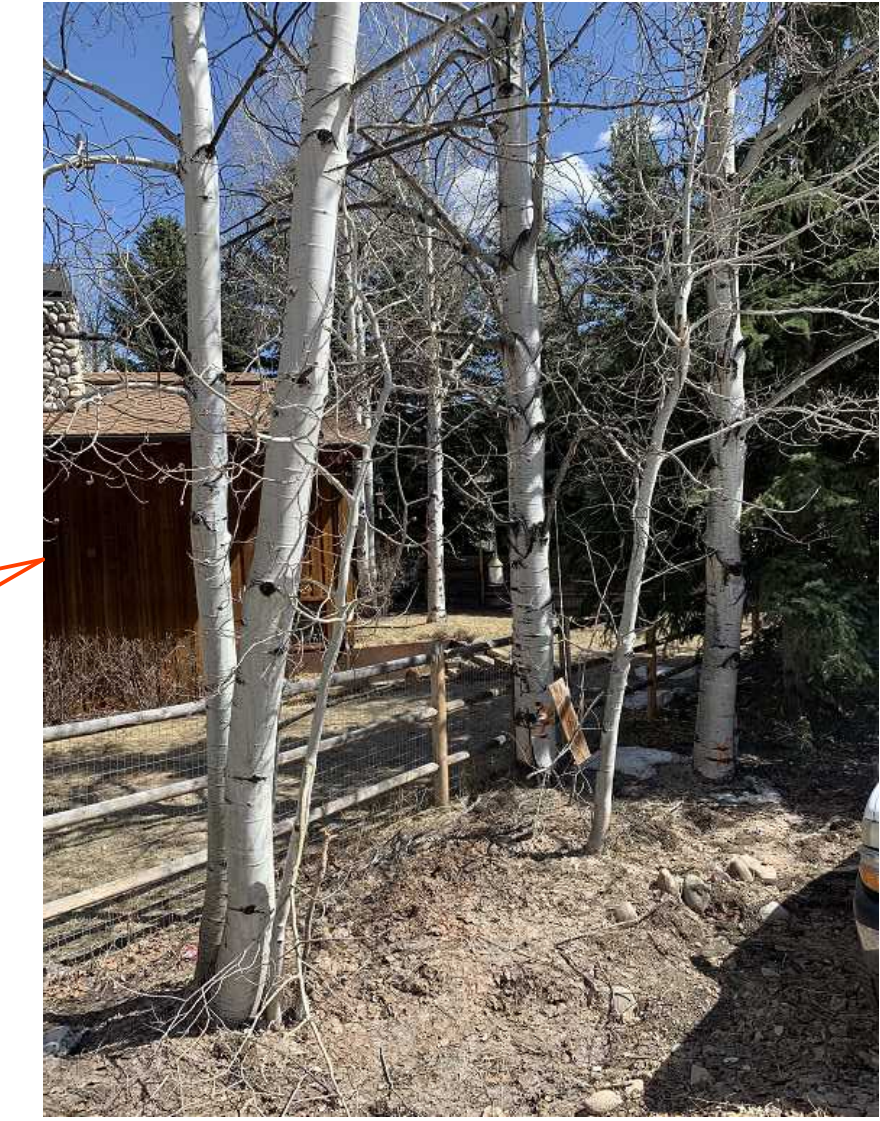




SHEET LEGEND	
SYMBOL	DESCRIPTION
—	Property Line
- - - -	Setbacks / Easements
---XXXX---	Existing Contours
XXXXXXX	Proposed Contours
---SWR---	Existing Nearby Utility
⊙	Existing Vegetation
⊙	Existing Vegetation to be Removed



REMOVE ALL VEGETATION AT WEST PROPERTY LINE (WITHIN PROJECT PARCEL)



REMOVE ASPEN AT EAST PROPERTY LINE (WITHIN PROJECT PARCEL)



REMOVE SPRUCE AT EAST PROPERTY LINE (WITHIN PROJECT PARCEL)



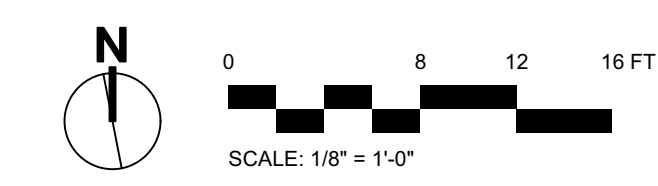
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**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

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PLOT DATE: 6/4/21 11:44:31

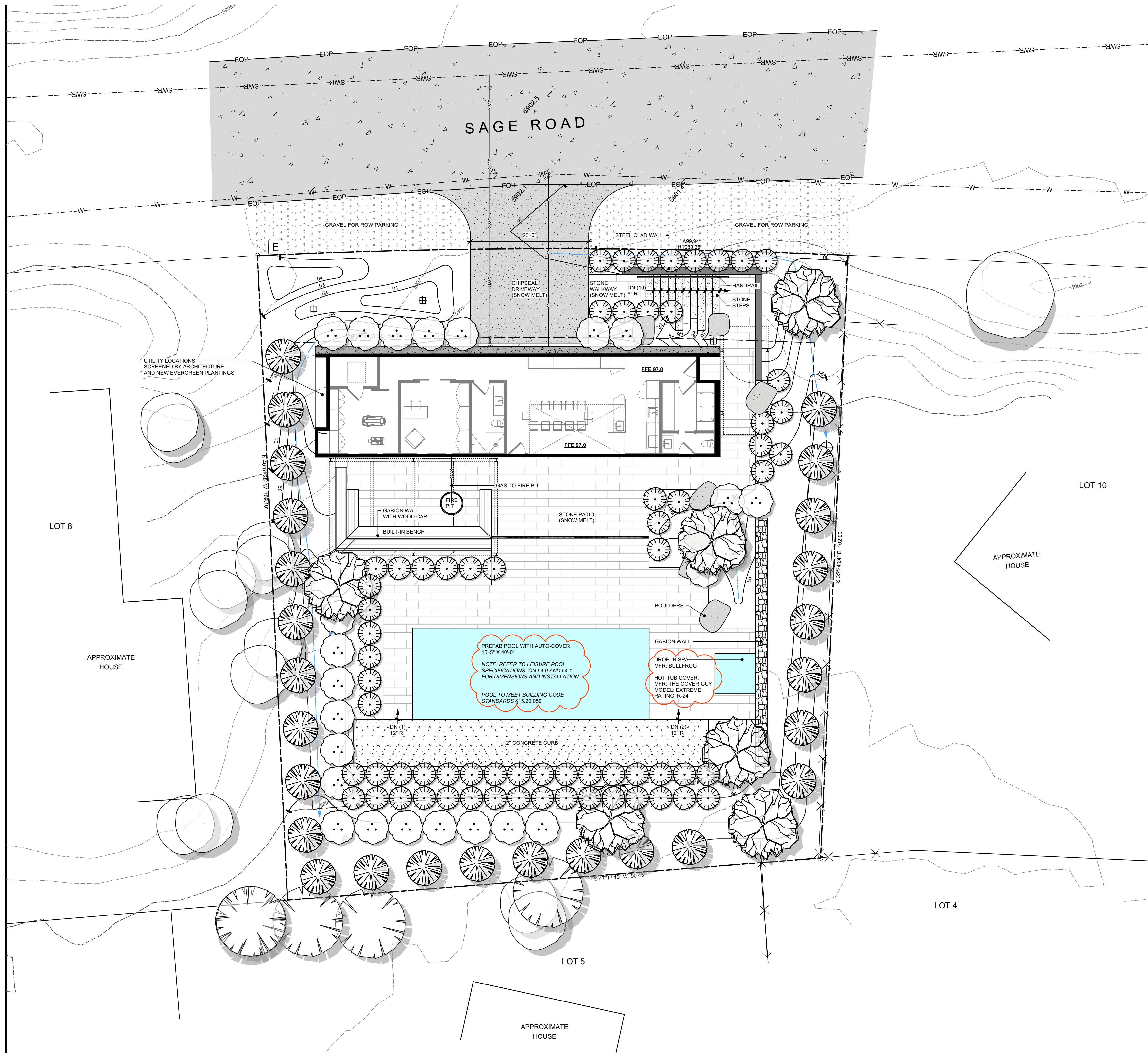
**TREE REMOVAL PLAN**

SHEET NO.

**L1.0**







SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
---	Hardscape - Concrete Curb
---	Hardscape - Cut Stone Pavers
---	Hardscape - Stone Steps
---	Site Wall - Gabion
---	Site Wall - Gabion with Wood Cap
○	Landscape Boulders
○	Landscape - Shrubs
○	Landscape - Trees

**BYLA**  
LANDSCAPE ARCHITECTS

ISSUE: 1 4/28/2021 UPDATE THIS  
REVISIONS:

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BYLA Landscape Architects

# FOR BUILDING PERMIT

## MPH RESIDENCE

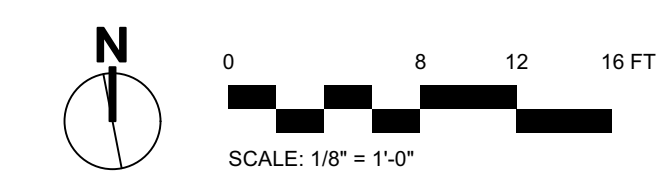
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PLOT DATE: 6/4/21 11:44:32

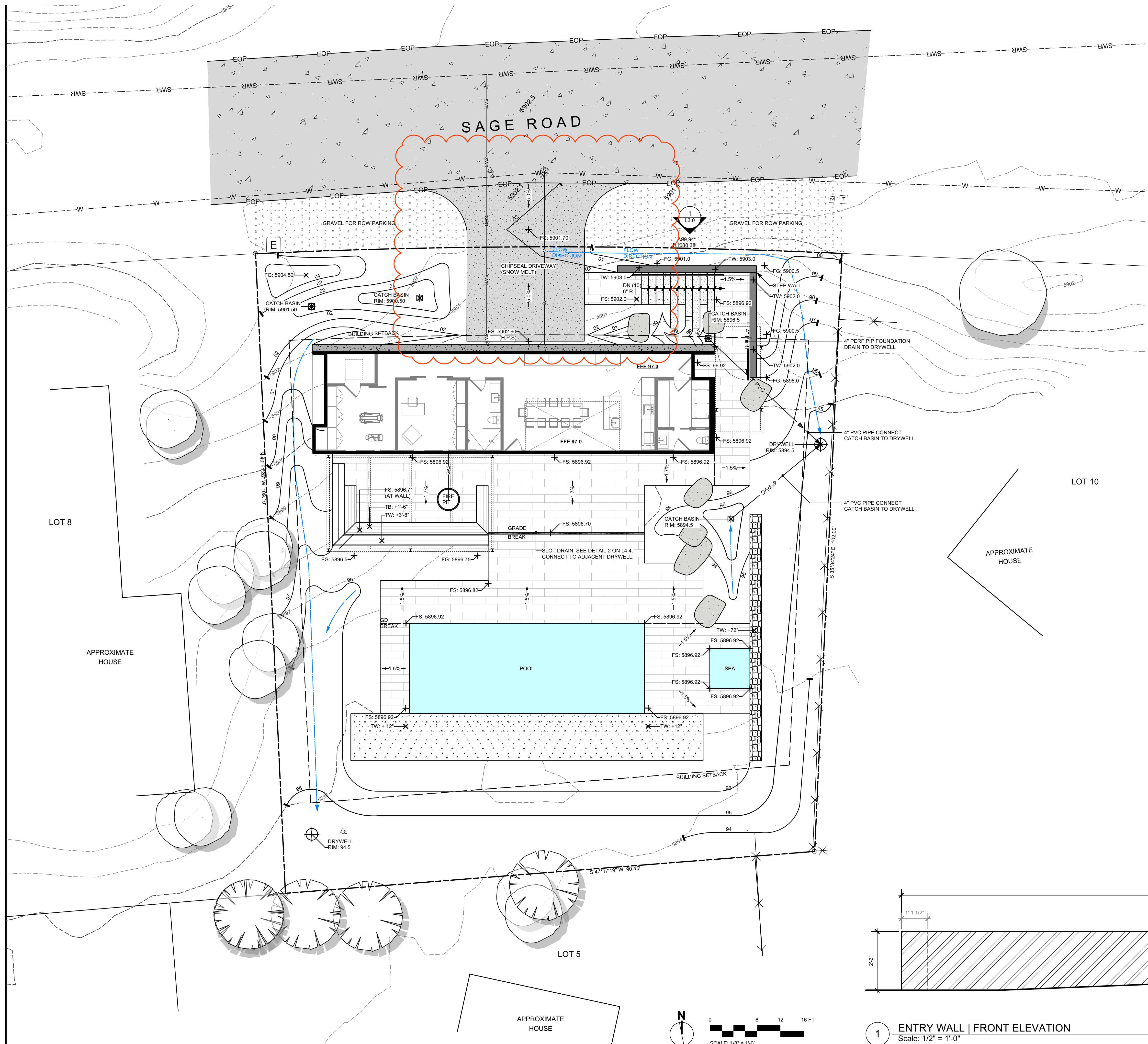
### SITE PLAN

SHEET NO.

# L2.0



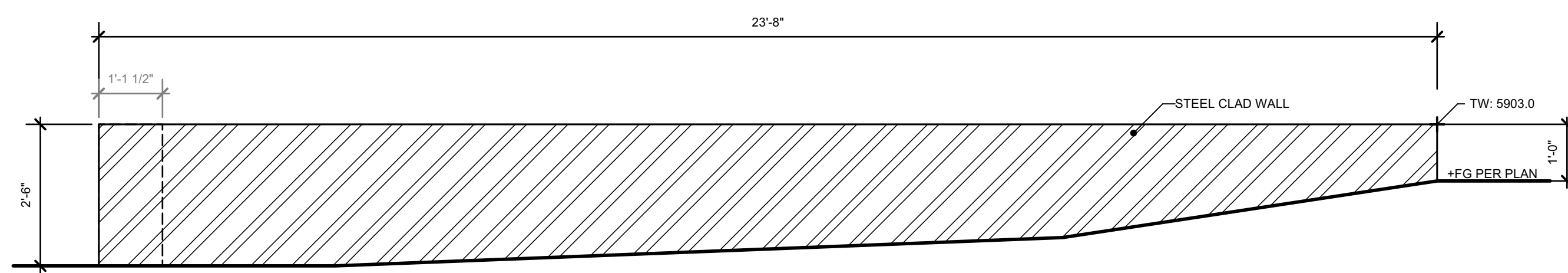




SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
▨	Landscape Boulders

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	24" Drywell (Cast Iron): 3 Qty.
→	Drainage Direction
↻	Flush Grade Condition
FFE	Finished Floor Elevation
+10.50	Spot Elevation
+HPS	High Point of Swale
FG	Finished Grade
FS	Finished Surface
TW	Top of Wall

**NOTE:**  
 1. FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 2. FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 3. FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 4. STORMWATER RUNOFF TO BE COLLECTED ON SITE THROUGH SWALE AND LANDSCAPE DRAIN SYSTEM. CATCH BASINS AND DRYWELLS, PER CIVIL ENGINEER.



1 ENTRY WALL | FRONT ELEVATION  
 Scale: 1/2" = 1'-0"

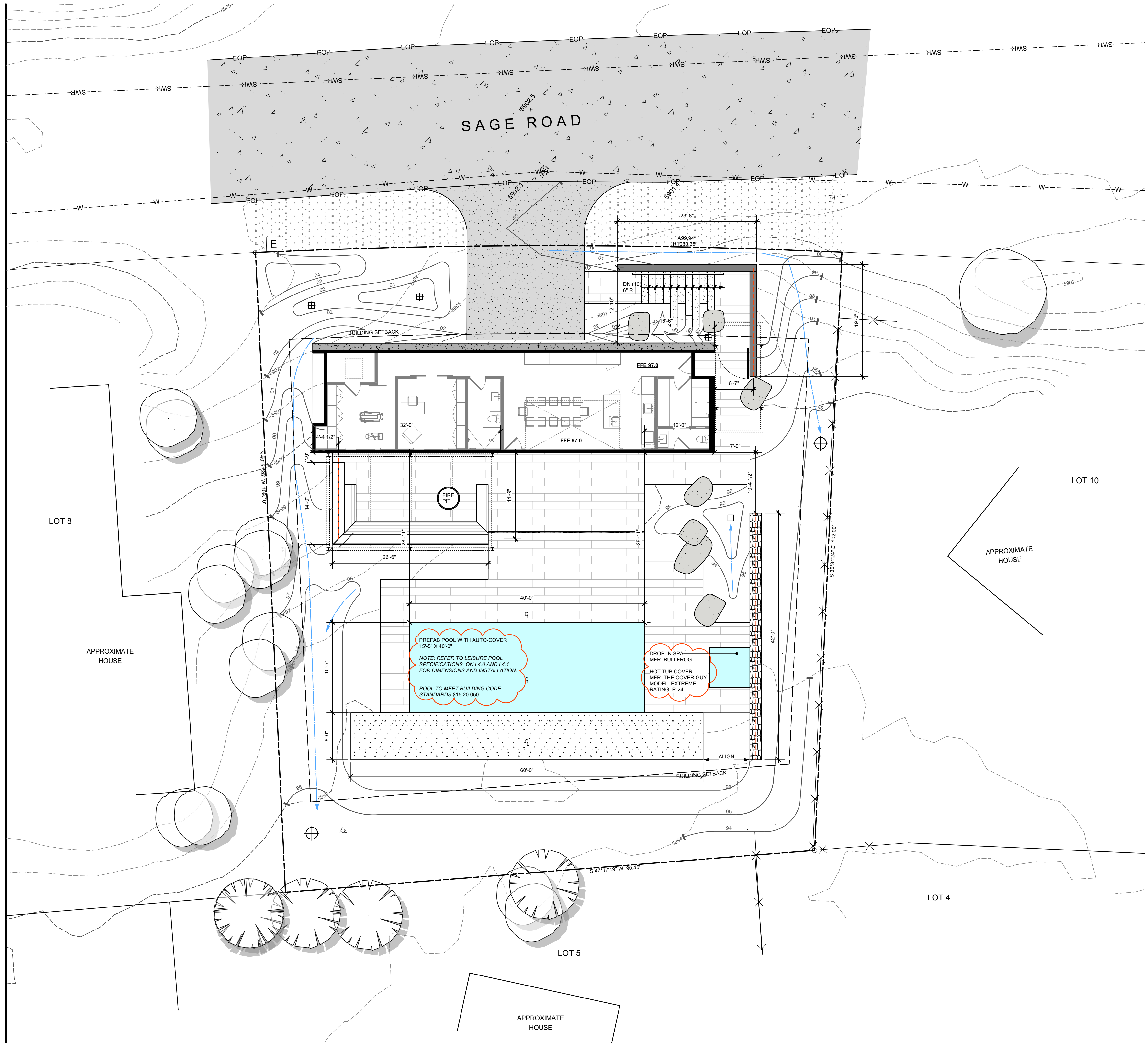
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
 119 SAGE ROAD | KETCHUM, ID 83340

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 DRAWN BY: AB  
 ISSUE DATE: 5/5/2021  
 PLOT DATE: 6/4/21 11:44:34

**GRADING PLAN**

SHEET NO.





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
- - - -	Setbacks / Easements
-XXX-	Existing Contours
-XXX-	Proposed Contours
SWR, EOP, etc.	Existing Nearby Utility
⊗, ⊙, ⊕	Existing Vegetation
[Pattern]	Hardscape - Concrete Curb
[Pattern]	Hardscape - Cut Stone Pavers
[Pattern]	Hardscape - Stone Steps
[Pattern]	Site Wall - Gabion
[Pattern]	Site Wall - Gabion with Wood Cap
[Pattern]	Landscape Boulders

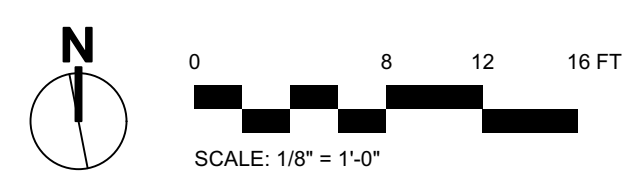
**NOTE:**  
 1. WALL LAYOUT DIMENSIONS TO CENTER LINE OF WALL  
 2. REFER TO STRUCTURAL ENGINEERS SHEETS FOR FOOTING LAYOUT AND DETAILS

**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
 119 SAGE ROAD | KETCHUM, ID 83340

FILENAME: MPH-LEISURE.vwx  
 PROJECT MANAGER: AB  
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 ISSUE DATE: 4/28/2021  
 PLOT DATE: 6/4/21 11:44:34

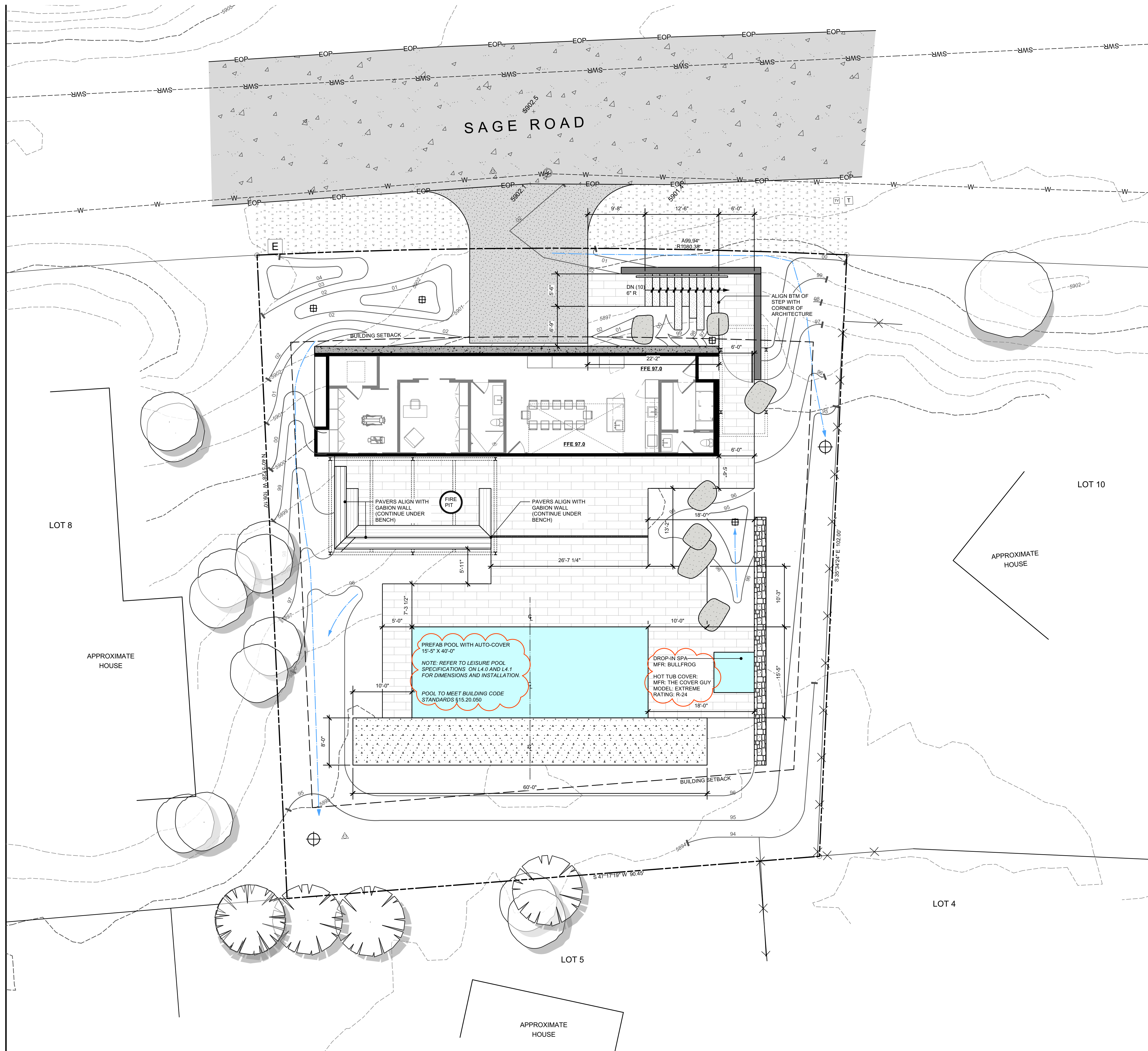
**POOL/SPA + WALL LAYOUT**

SHEET NO.



**L3.1**





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
- - - -	Setbacks / Easements
XXXX	Existing Contours
XXXX	Proposed Contours
SWR	Existing Nearby Utility
⊙	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
⊕	Landscape Boulders

**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

FILENAME: MPH-LEISURE.vwx  
PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 4/28/2021  
PLOT DATE: 6/4/21 11:44:35

**PATIO LAYOUT**

SHEET NO.

**L3.2**











ICC-ES Evaluation Report

ESR-1732

Effective Date: May 2020

This listing is subject to re-examination in one year.

www.icc-es-pmg.org | (800) 423-6587 | (562) 699-0543 A Subsidiary of the International Code Council®

DIVISION: 13 00 00—SPECIAL CONSTRUCTION
Section: 13 11 13—Below-Grade Swimming Pools

REPORT HOLDER:

LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA
www.leisurepoolsusa.com

EVALUATION SUBJECT:

FIBERGLASS ONE-PIECE SWIMMING POOL SHELLS

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC)
2021, 2018, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)
2018 and 2015 International Swimming Pool and Spa Code® (ISPSA)
2019, 2016, 2013 and 2010 California Building Code® (CBC)
2019, 2016, 2013 and 2010 California Residential Code® (CRC)
2020 and 2017 Florida Building Code® (FBC)
2020 and 2017 Florida Residential Code® (FRC)
2013 Abu Dhabi International Building Code® (ADIBC)

For evaluation for compliance with codes adopted by Los Angeles Department of Building and Safety (LADBS), see ESR-1732 ABC and LARC Supplement

Compliance with the following standards:

- APSP/ANSI 5-2011, Standard for Residential Inground Swimming Pools
AC274, ICC-ES Acceptance Criteria for In-ground, Residential, Fiber-reinforced Plastic Swimming Pools and Permanently Installed Plastic Spas, dated December 2006 (editorially revised July 2017)

2.0 USES

The fiberglass pool shells are permanently installed in-ground and are intended for recreational use as swimming pools in residential applications with water

Listings are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the listing or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this listing, or as to any product covered by the listing.

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Page 1 of 4

Details specifically for installations in expansive, clay, or adobe soils apply only when supported by the registered design professional's recommendations and approved by the code official.

The pool excavation profile must coincide with the contours of the pool. The overexcavation is approximately 6 to 12 inches (152 to 305 mm) on the sides and ends. The overexcavation at the pool bottom is approximately 4 inches (102 mm). The backfill for the pool is a layer of minimum 3-inch-thick (76 mm) bedding sand matching the pool or spa profile. This sand layer is compacted using a manual tamper and water. The pool shell must sit firmly on the sand and be within 1 inch (25.4 mm) of level. Simultaneous waterfill and sand backfill operations then commence. The sand is compacted with a tamper and water. The installer must ensure that the backfill level and water level are approximately the same throughout the filling procedure.

After completion of the backfill, the bond beam and decking must be installed in accordance with the manufacturer's published installation instructions, and as approved by the code official.

5.0 CONDITIONS OF USE

The fiberglass pool shells described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The pool shells must be constructed and installed in accordance with this report and the manufacturer's published installation instructions. In the event of conflict, this report governs.
5.2 Electrical and plumbing installations must comply with the applicable codes in effect at the construction site at the time of construction.
5.3 Clearances of the pools from slopes set forth in IBC Section 1808.7, CBC Section 1808.7, CRC Section R403.1.7 or IRC Section R403.1.7 must be observed.
5.4 A barrier must be installed in accordance with IBC Section 3102, ISPSA Section 305, CRC Section AG105 or IRC Section AG105, as applicable.
5.5 Slip resistance is outside the scope of this evaluation report. Reports of slip resistance tests that demonstrate compliance with Section 8.1 of APSP/ANSI-5 must be submitted for approval by the code official.
5.6 The pools are classified as either:
Type I pools: not intended for use with diving boards or other diving equipment; or
Type II pools: maximum height of stationary diving platform or diving rock above the waterline shall be 42 inches
5.7 Pools located in flood hazard areas established in accordance with Table R301.2(1) of the IRC must comply with Sections AG101.2 and AG103.3 of the IRC, Section AG101.2 of the CRC or Section 304 of the ISPSA.
5.8 Suction outlets must be designed and installed in accordance with IBC Section 3109.5, CBC Section 3137B, CRC Section AG106, ISPSA Section 310 and IRC Section AG106.1.

6.0 IDENTIFICATION

6.1 The pool shells are identified adjacent to the skimmer with an imprint that includes the words "Leisure Pools USA," the model designation, a coded serial number and the ICC-ES evaluation report number (ESR-1732).

A permanent sign, bearing the following statement, must be attached to the pumping equipment:

Notice: The pool shell is designed to remain full of water at all times. The shell may be damaged if the water level is allowed to drop below the skimmer. When appreciable draw-down is noticed or if it becomes necessary to drain the pool, contact Leisure Pools USA or its dealers for instructions.

A permanent label must be attached adjacent to the above sign indicating the Leisure Pools USA distributor's name, address and telephone number.

6.2 The report holder's contact information is the following:

LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA
2901 LEISURE ISLAND WAY
KNOXVILLE, TENNESSEE 37914
(855) 219-2880
www.leisurepoolsusa.com

TABLE 1

Table with 8 columns: MODEL, SIZE, MODEL ABBREVIATION, LENGTH (feet/inches), WIDTH (feet/inches), MAX. DEPTH (feet/inches), CAPACITY (gallons), POOL TYPE. Lists various pool models like Allure, Canbbean, Courtyard Roman, etc.

Table with 7 columns: Model, Size, Model Abbreviation, Length, Width, Max. Depth, Capacity. Lists models like Rivera, Roman, Sorrento Spa, etc.

For Sft: 1 foot = 304.8 mm, 1 inch = 25.4 mm, 1 gallon = 3.785 liters.



323 Lewis | Ketchum, ID
(208) 726-5907 | (208) 720-0215
www.byla.us

ISSUE: 1 4/28/2021 UPDATE THIS REVISIONS:

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MPH RESIDENCE
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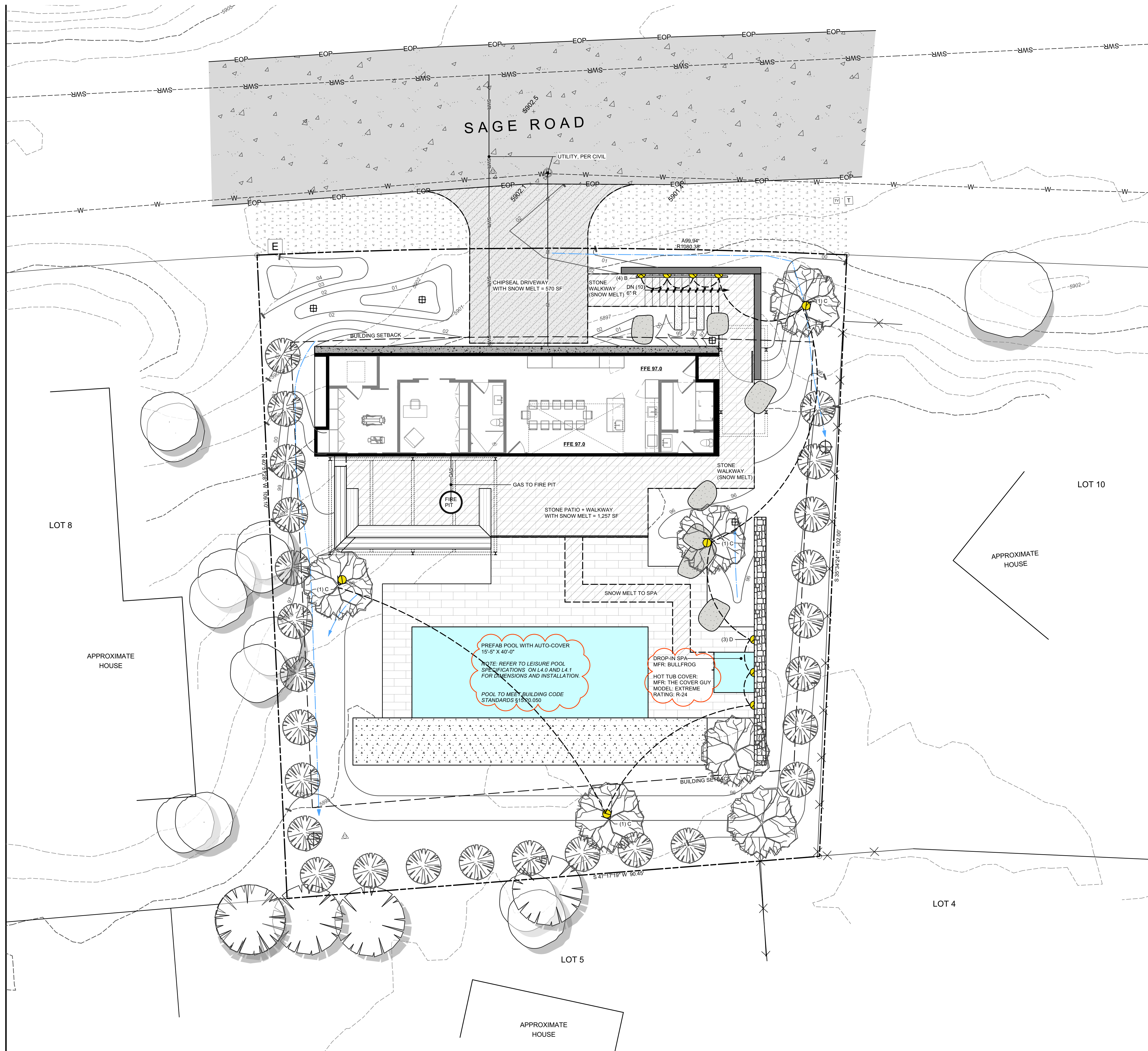
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PROJECT MANAGER: AB
DRAWN BY: AB
ISSUE DATE: 4/28/2021
PLOT DATE: 6/4/21 11:44:36

DETAILS | LEISURE POOL EVALUATION REPORT

SHEET NO.

L4.1





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
▨	Landscape Boulders
○	Landscape - Shrubs
○	Landscape - Trees
▨	Utility - Snow Melt Area
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
○	Lighting - Fixture
---	Lighting - Ganging (per zone)

LIGHTING ZONE SCHEDULE				
SYMB	LOCATION	QTY.	FIXTURE	TYPE
<b>ZONE 1</b>				
○	ENTRY LIGHTS	1	DOWNLIGHT	C
○	ENTRY LIGHTS	4	WALL LIGHT-RECESSED	B
<b>ZONE 2</b>				
○	POOL PATIO	3	DOWNLIGHT	C
○	POOL PATIO	3	WALL LIGHT-SCONCE	D

NOTE: ALL LAMP HARDWARE TO USE LED TECHNOLOGY. ALL LAMP TEMPERATURES SHALL MATCH.

**NOTE:**  
 1. FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 2. FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 3. FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE REFER TO CIVIL DRAWINGS C1-C2

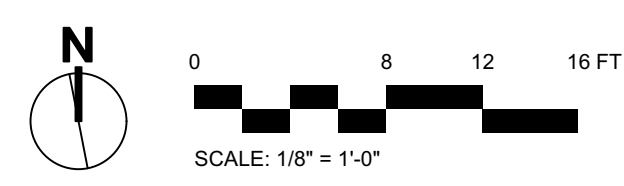
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**MPH RESIDENCE**  
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 PROJECT MANAGER: AB  
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**LIGHTING + UTILITY PLAN**

SHEET NO.

**L5.0**



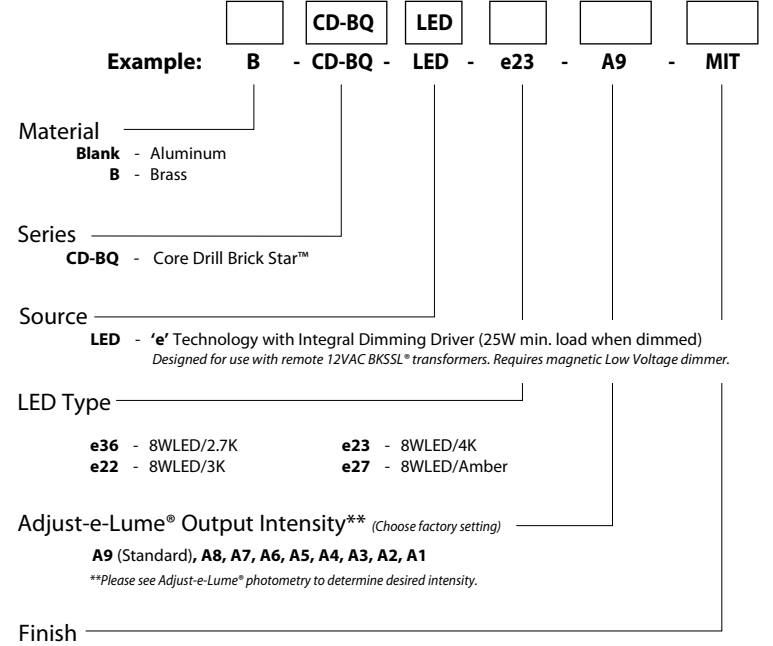




**CORE DRILL BRICK STAR™**

PROJECT: \_\_\_\_\_  
 TYPE: **FIXTURE TYPE: B**  
 CATALOG NUMBER: **CD-BQ-LED-E36-A9-BZP**  
 SOURCE: \_\_\_\_\_  
 NOTES: \_\_\_\_\_

**CATALOG NUMBER LOGIC**



Aluminum Finish			Brass Finish			Premium Finish		
Powder Coat Color	Satin	Wrinkle	Machined	MAC	Polished	POL	Mitique™	MIT
Bronze	BZP	BZW	ABP	Antique Brass Powder	CMG	Cascade Mountain Granite	RMG	Rocky Mountain Granite
Black	BLP	BLW	AMG	Alabaster Mountain Granite	CEI	Cracked Ice	SDS	Sonoran Desert Sandstone
White (Gloss)	WHP	WHW	AQW	Antique White	CRM	Cream	SMG	Sierra Mountain Granite
Aluminum	SAP	---	BCM	Black Chrome	HUG	Hunter Green	TXF	Textured Forest
Verde	---	VER	BGE	Brge	MDS	Mojave Desert Sandstone	WCP	Weathered Copper
			BPP	Brown Patina Powder	NBP	Natural Brass Powder	WR	Weathered Iron
			CAP	Clear Anodized Powder	OCF	Old Copper		Also available in A&L Finishes. See submittal SUB-117D-06.

DRIVER DATA	Input Voltage	InRush Current	Dimmable	Operation Ambient Temperature
	12VAC/DC 50/60Hz	<1A (non-dimmed)	Magnetic Low Voltage Dimmer	-10°F-130°F

LM79 DATA				L70 DATA			
BK No.	CCT (Typ.)	Input Watts (Typ.)	CRI (Typ.)	Minimum Rated Life (hrs.)	70% of Initial Lumen (Eqval.)	50,000	50,000
e36	2700K	8.4	90	50,000	50,000	50,000	50,000
e23	3100K	8.4	90	50,000	50,000	50,000	50,000
e23	4100K	8.4	78	50,000	50,000	50,000	50,000
e27	Amber (590nm)	7.9	---	---	---	---	---

**B-K LIGHTING** 40429 Brickyard Drive • Modesto, CA 95808 • USA  
 530.438.5800 • FAX 530.438.5900  
 www.bklighting.com • info@bklighting.com

RELEASED 07-10-15 DRAWING NUMBER SUB001024

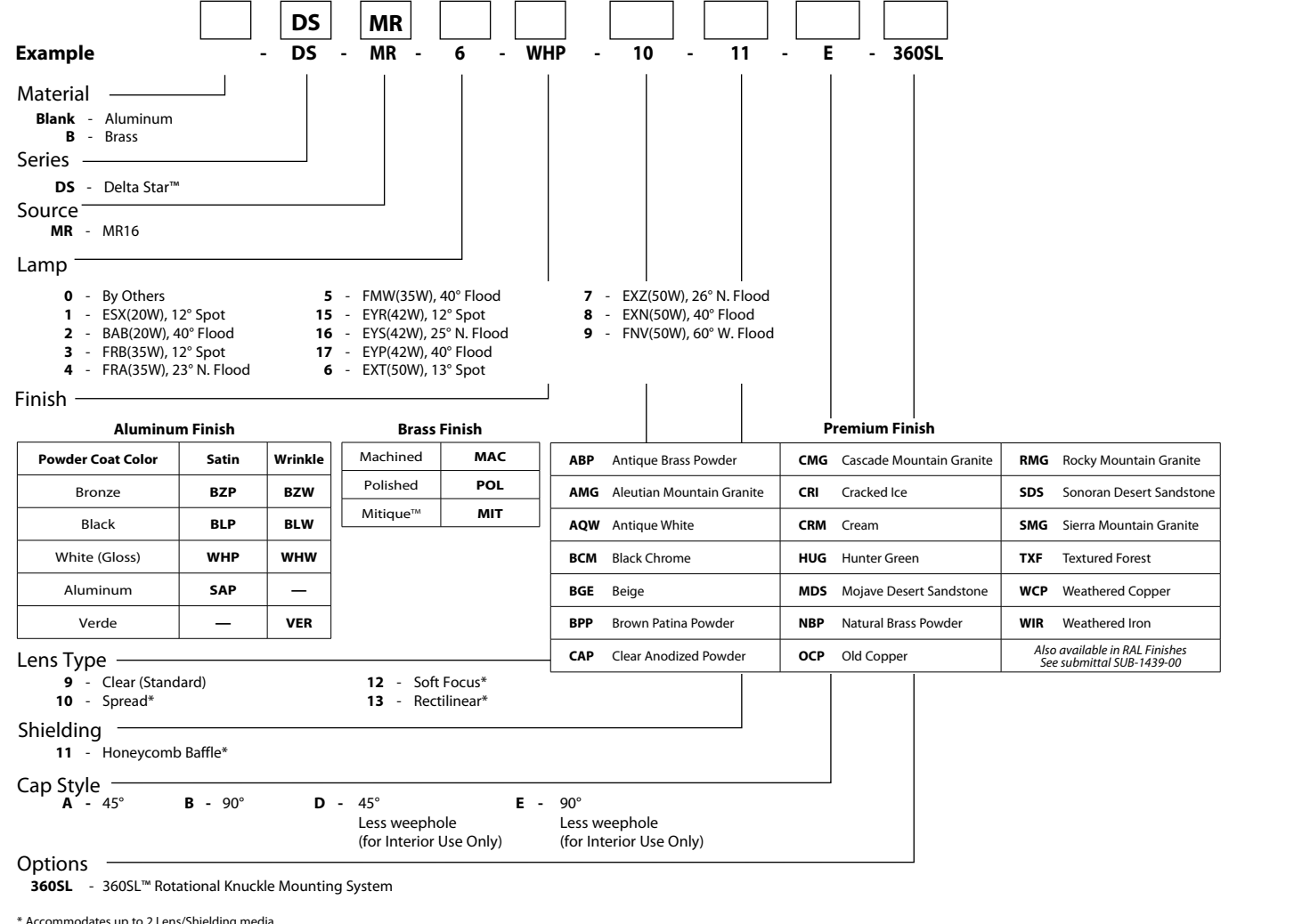
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**DELTA STAR™**

PROJECT: \_\_\_\_\_  
 TYPE: **FIXTURE TYPE: C**  
 CATALOG NUMBER: **DS-MR-5-BZP-10=11-A-360SL**  
 LAMP(S): \_\_\_\_\_  
 NOTES: **FIXTURE IS USED FOR DOWNLIGHTING**

**CATALOG NUMBER LOGIC**



LAMP DATA	BK No.	Lamp Watts	Description	Rated Life (hrs.)	Center Beam Candpower	Beam Angle	Beam Type
1	20	ESX	4,000	4,000	12°	Spot	
2	20	BAB	4,000	500	40°	Flood	
3	35	FRB	5,000	7,600	12°	Spot	
4	35	FRA	5,000	2,300	23°	Narrow Flood	
5	35	FMV	5,000	1,100	40°	Flood	
15	42	EYB	5,000	7,500	12°	Spot	
16	42	EYS	5,000	2,600	25°	Narrow Flood	
17	42	EYP	5,000	1,100	40°	Flood	
6	50	EXT	5,000	9,800	13°	Spot	
7	50	EXZ	5,000	3,200	26°	Narrow Flood	
8	50	EXN	5,000	1,600	40°	Flood	
9	50	FNV	5,000	700	60°	Wide Flood	

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SUBMITTAL DATE 6-6-14 DRAWING NUMBER SUB-117D-06

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**ARIA** FIXTURE TYPE: D

**2300BK**  
 SMALL WALL MOUNT LANTERN  
 Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant.

DETAILS	
FINISH:	Black
MATERIAL:	Aluminum

DIMENSIONS	
WIDTH:	5.3"
HEIGHT:	15.5"
WEIGHT:	2 lbs.
BACK PLATE:	4.5"W X 8.25"H
EXTENSION:	6.8"
TOP TO OUTLET:	5"

LIGHT SOURCE	
LIGHT SOURCE:	Socket
WATTAGE:	1-75w Med.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	17.5"
CARTON WIDTH:	9"
CARTON HEIGHT:	7.5"
CARTON WEIGHT:	2.5 lbs.

**PRODUCT DETAILS:**

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade
- Striking black finish enhances design
- Please refer to Hinkley's Warranty for complete product warranty details; some warranty limitations may apply.

**HINKLEY** HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012  
 PHONE: (440) 653-5500 hinkley.com  
 Toll Free: 1 (800) 446-0539



**FOR BUILDING PERMIT**  
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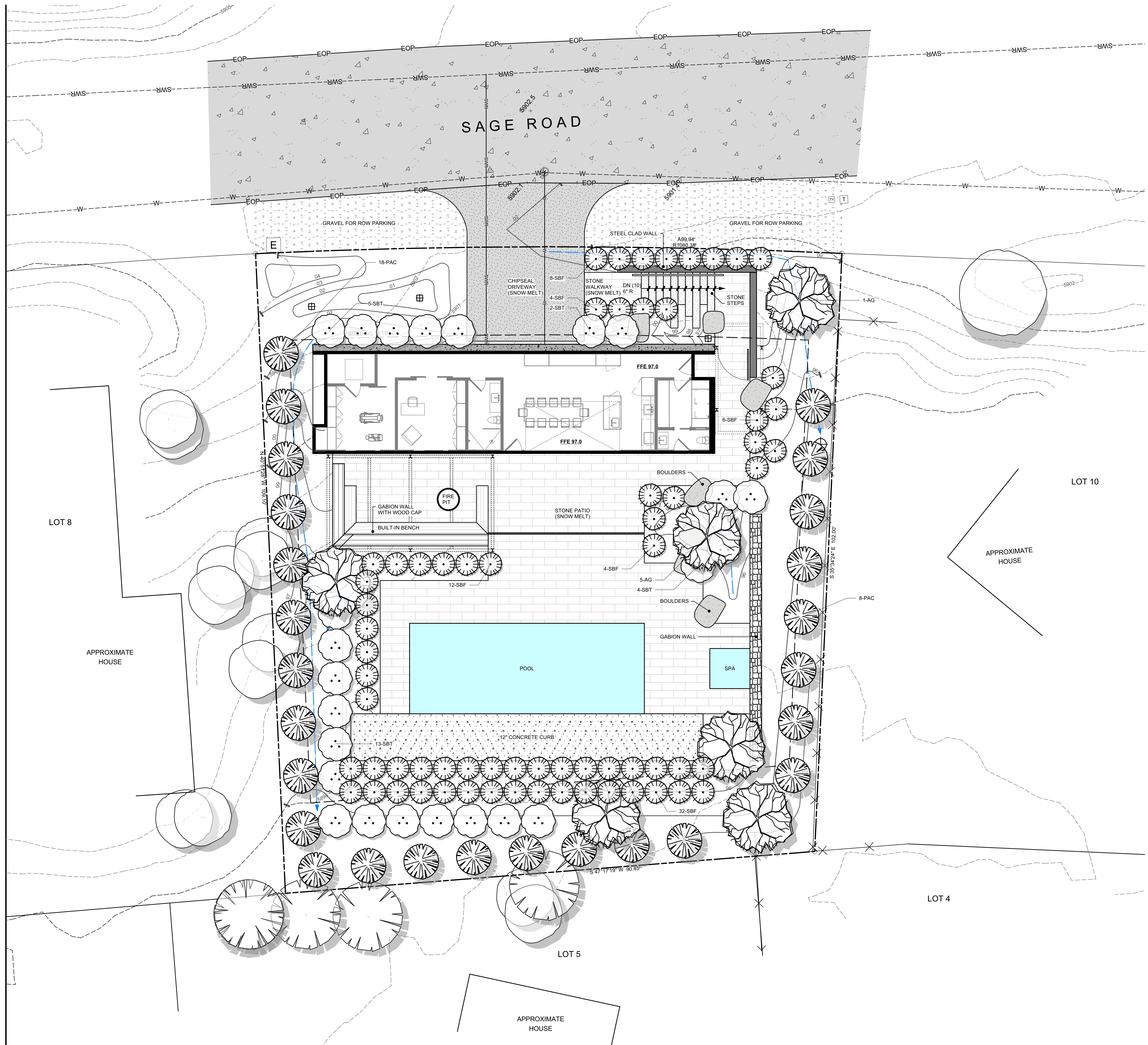
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PLOT DATE:	6/4/21 11:44:37

**FIXTURE CUT SHEETS**

SHEET NO.

**L5.1**





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
---	Hardscape - Concrete Curb
---	Hardscape - Cut Stone Pavers
---	Hardscape - Stone Steps
---	Site Wall - Gabion
---	Site Wall - Gabion with Wood Cap
○	Landscape Boulders
○	Landscape - Shrubs
○	Landscape - Trees

IRRIGATION SCHEDULE	
AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	N/A
Native Re-Veg	N/A

IRRIGATION CALCULATIONS	
AREA DESCRIPTION	SF OF IRRIGATION
Trees + Shrubs	+/- 2324 SF
Perennial Beds	N/A
Lawn	N/A
Native Re-Veg	N/A
Total Irrigation	+/- 2324 SF = 0.05 AC

PLANT SCHEDULE				
TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer ginnale</i>	Amur Maple
PAC	26	8" B&B	<i>Picea abies 'Cupressina'</i>	Columnar Norway Spruce
SHRUBS				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
SBF	66	5 GAL	<i>Salix brachycarpa 'Blue Fox'</i>	Blue Fox Willow
SBT	24	5 GAL	<i>Spiraea x billardii 'Triumphans'</i>	Triumphans Spirea

**NOTE:**  
 1. PICEA ABIES 'CUPRESSINA' DOES NOT EXCEED MORE THAN 6' DIAMETER GARDEN WIDTH.

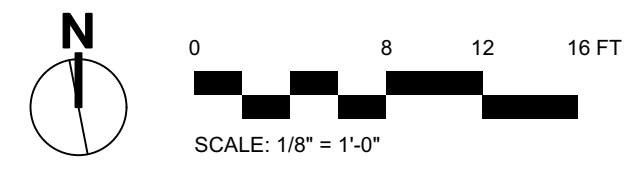
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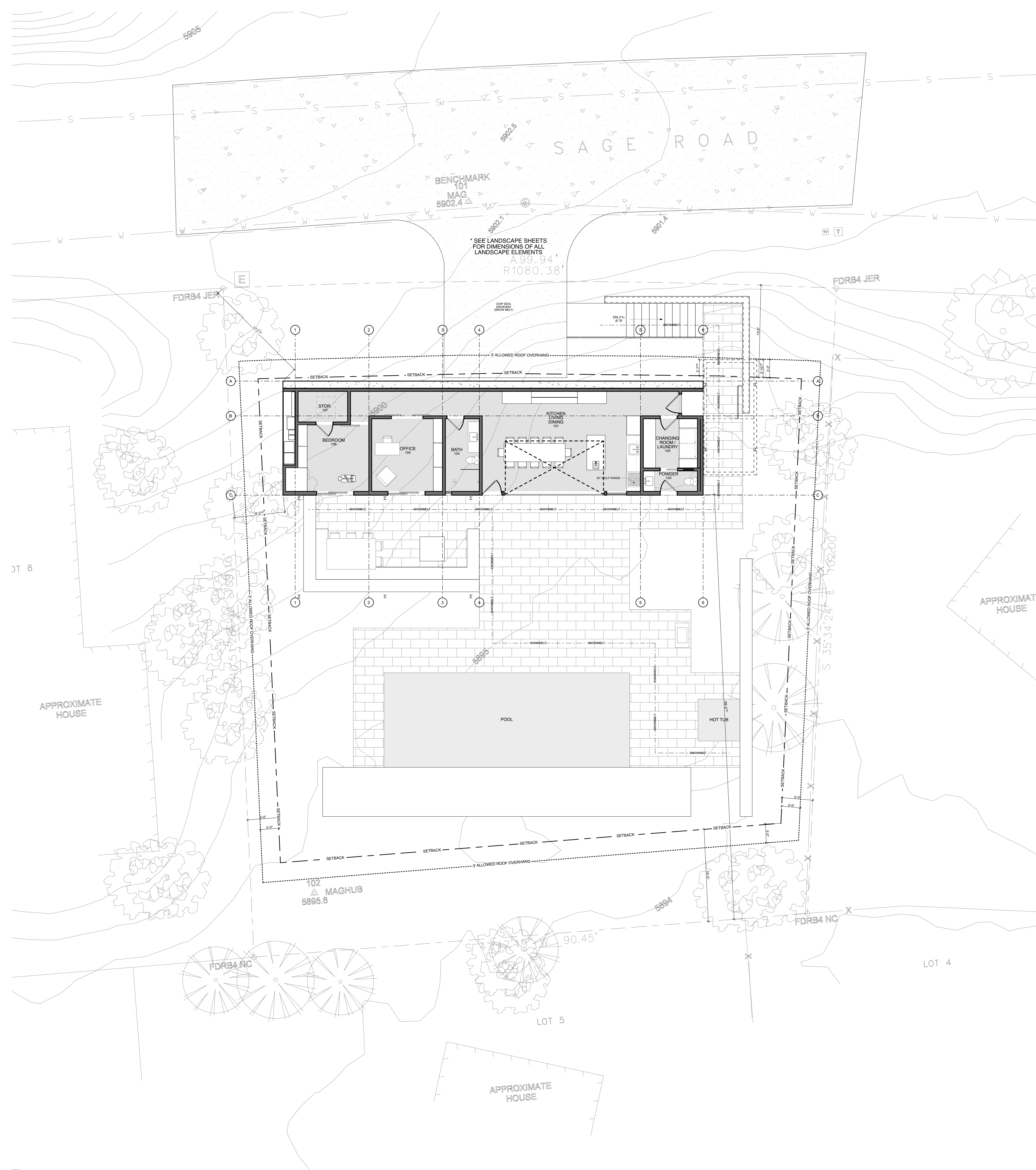
**LANDSCAPE SCHEDULE**

SHEET NO.

**L6.0**

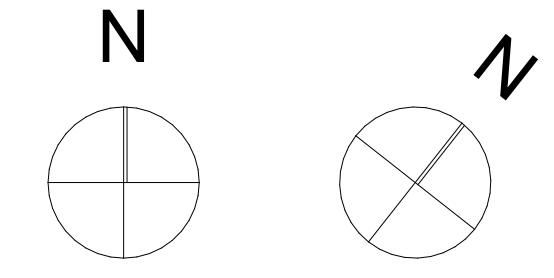






GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
03. All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
06. Where shown, furniture is for reference only and not in contract.



Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83001  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

ARCHITECT STAMP:

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AR 986479  
6/24/21

Scott Payne  
STATE OF IDAHO

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ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

A200  
Site Plan



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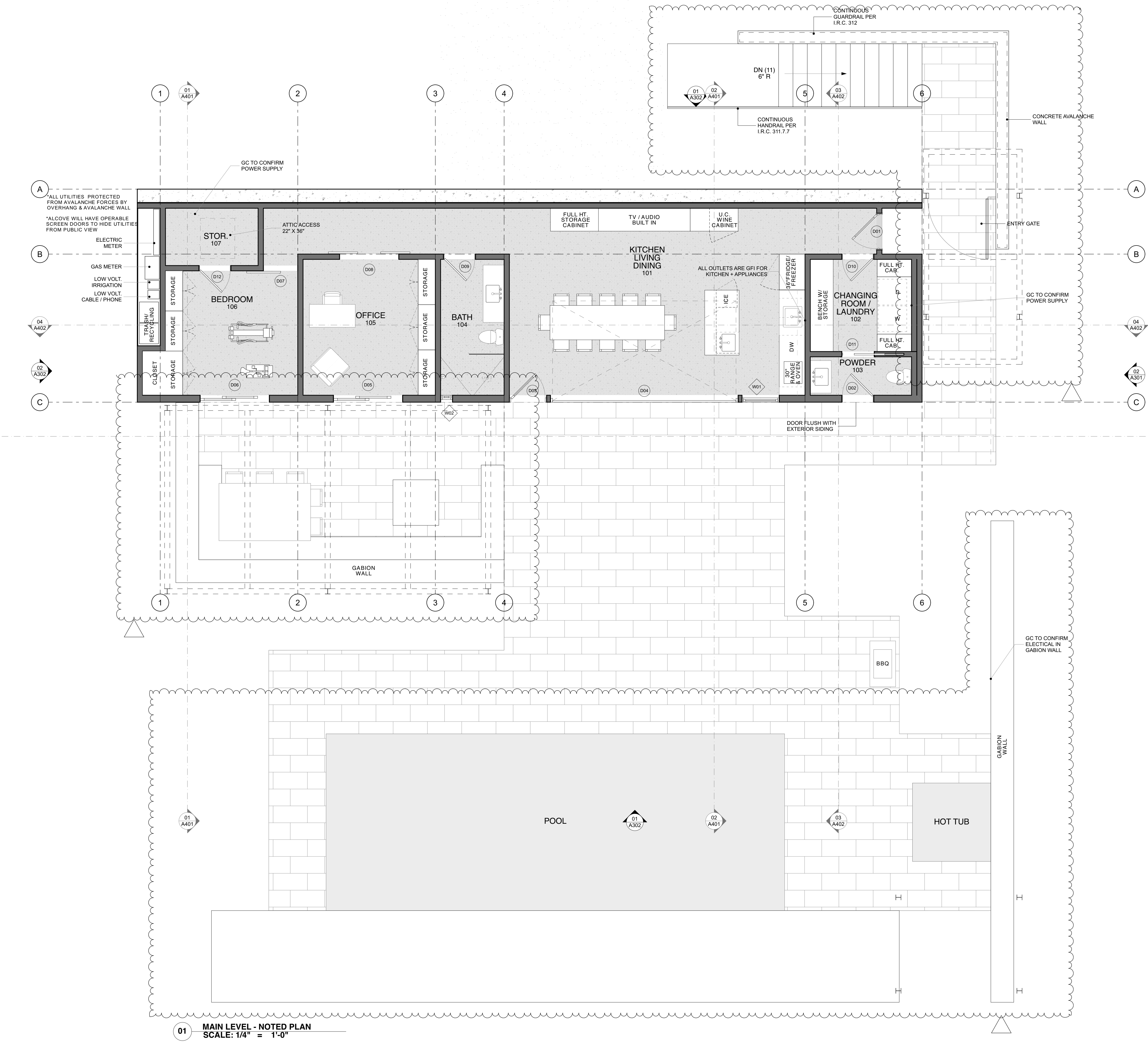
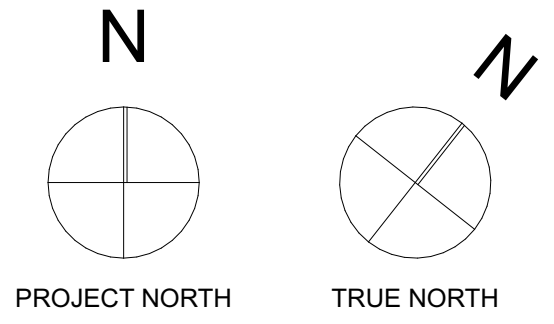
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KETCHUM, ID. 83340

DATE:	5/18/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

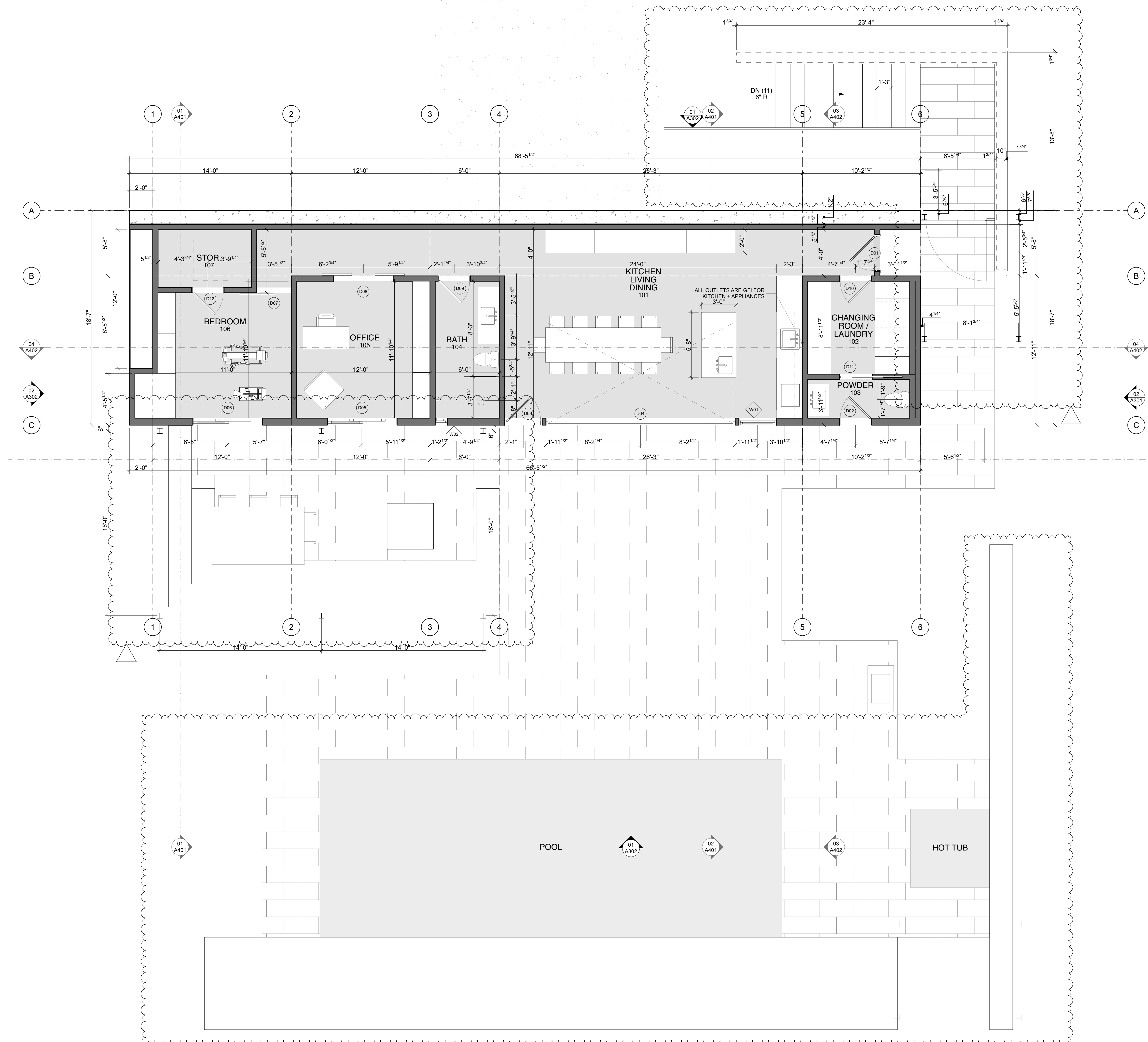
A201  
Main Plan - Noted

GENERAL PLAN NOTES

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- The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
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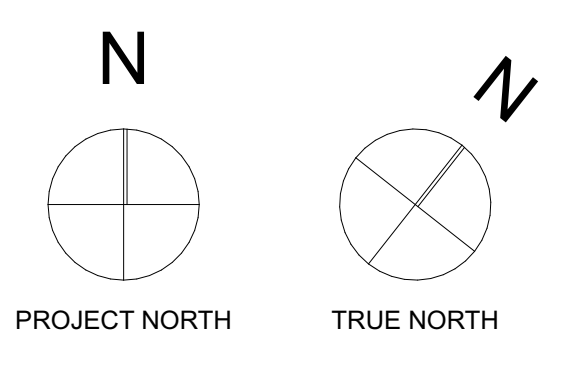
01 MAIN LEVEL - NOTED PLAN  
SCALE: 1/4" = 1'-0"



01 MAIN LEVEL - DIMENSIONED PLAN  
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

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- 06. Where shown, furniture is for reference only and not in contract.



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T.307.264.0080

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T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
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AR 986479  
5/17/21  
Scott Payne  
STATE OF IDAHO

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DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

**A202**  
Main Plan - Dimension





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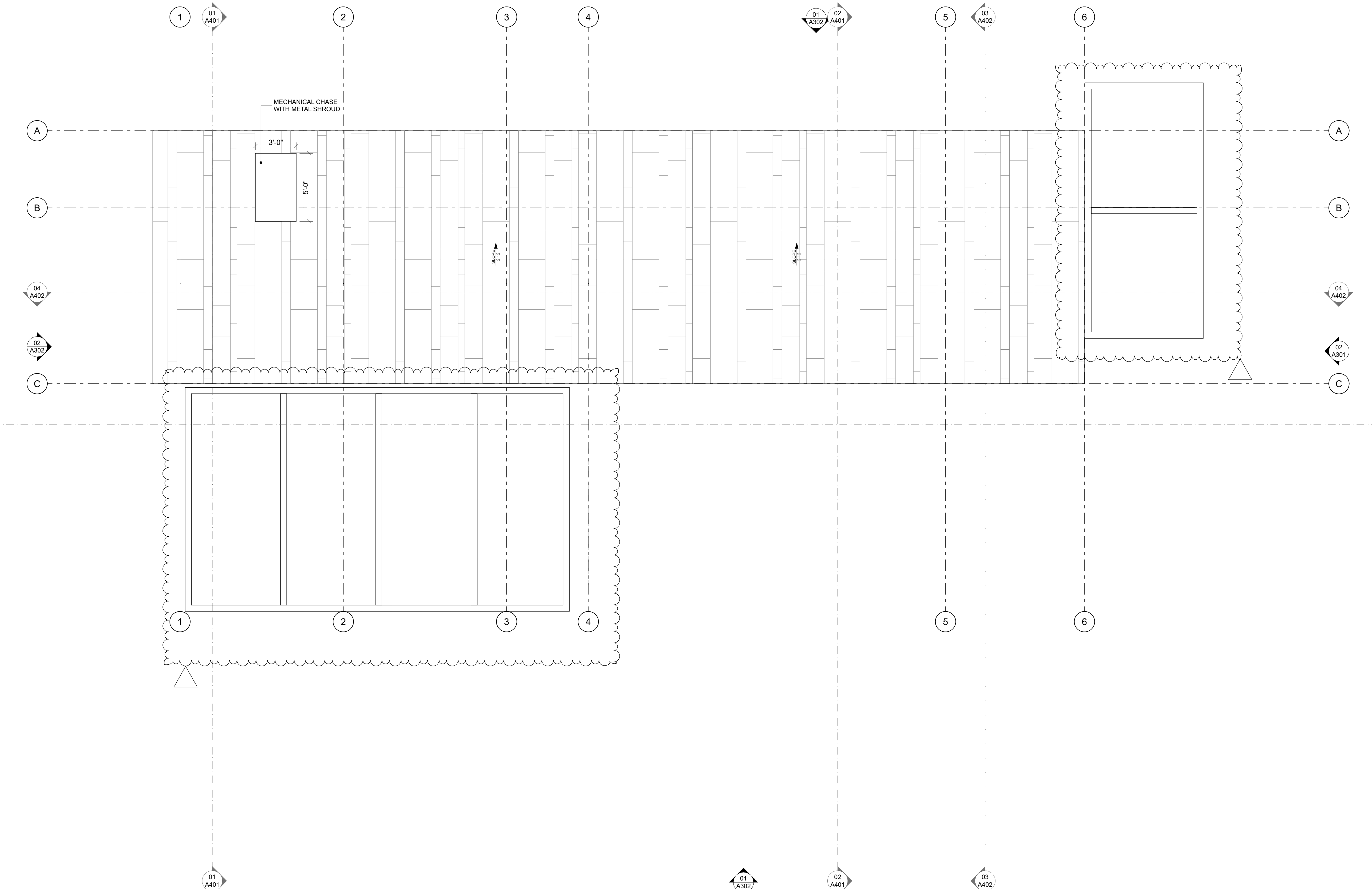
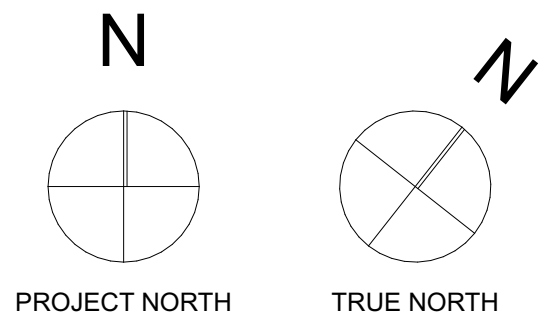
DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

A204

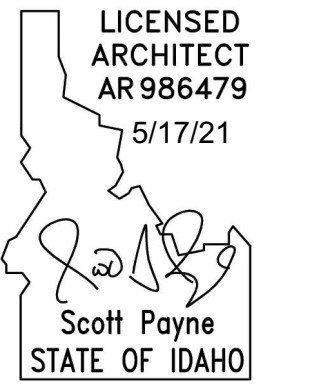
Roof Plan

GENERAL PLAN NOTES

- Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
- All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
- The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
- Where shown, furniture is for reference only and not in contract.



01 ROOF PLAN  
SCALE: 1/4" = 1'-0"



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KETCHUM, ID. 83340

DATE: 5/17/21

PROJECT #: SV2004

DRAWN: AB / CB

ISSUE:

CD Set 4/02/21

Revision 01 4/19/21

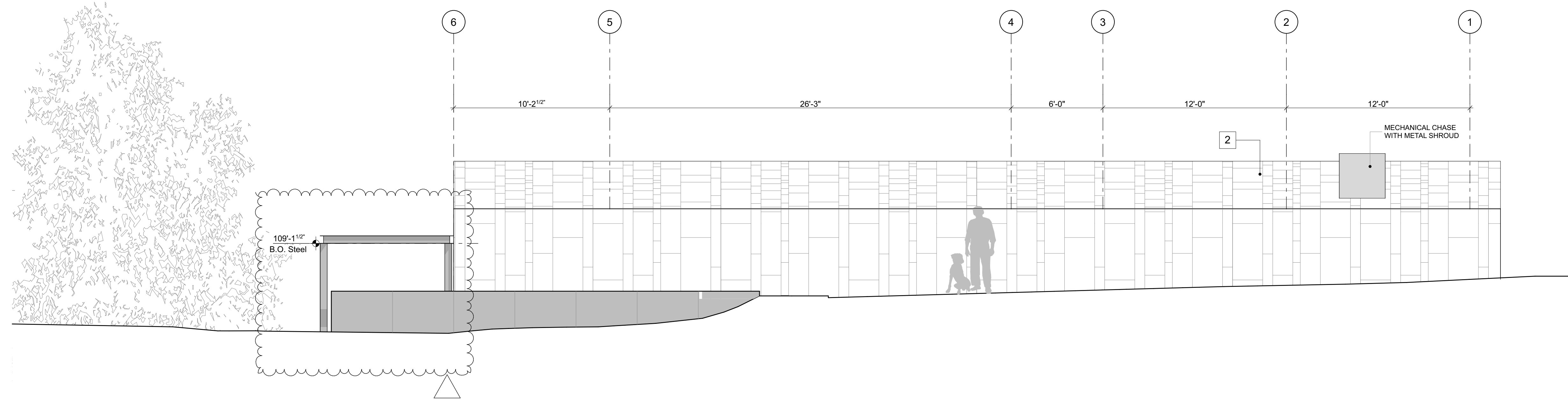
Revision 02 4/29/21

A301

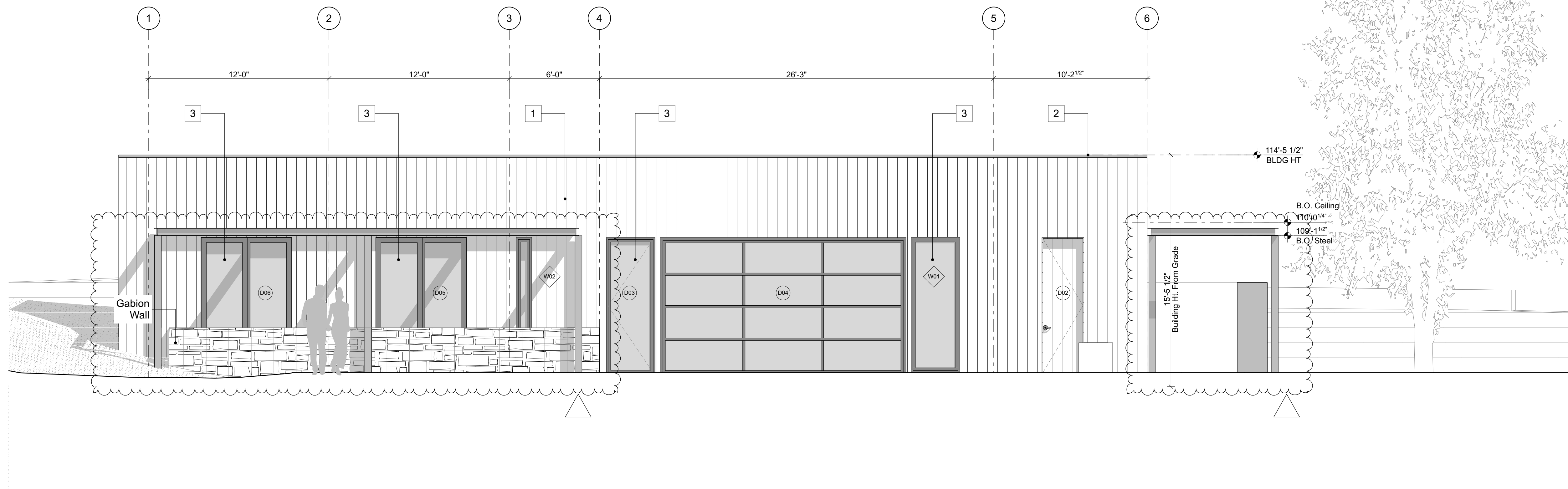
Elevations

ELEVATION KEY NOTES

- 1 Stained Western Red Cedar
- 2 Standing Seam Roof / Siding Variable Widths
- 3 Aluminum Clad Wood Window / Door



01 North Elevation  
SCALE: 1/4" = 1'-0"



02 South Elevation  
SCALE: 1/4" = 1'-0"

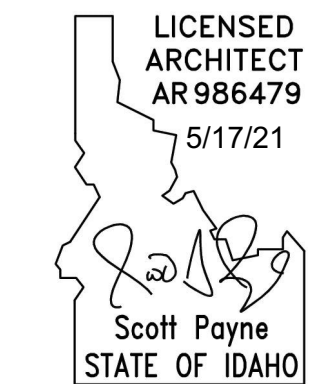


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ARCHITECT STAMP:



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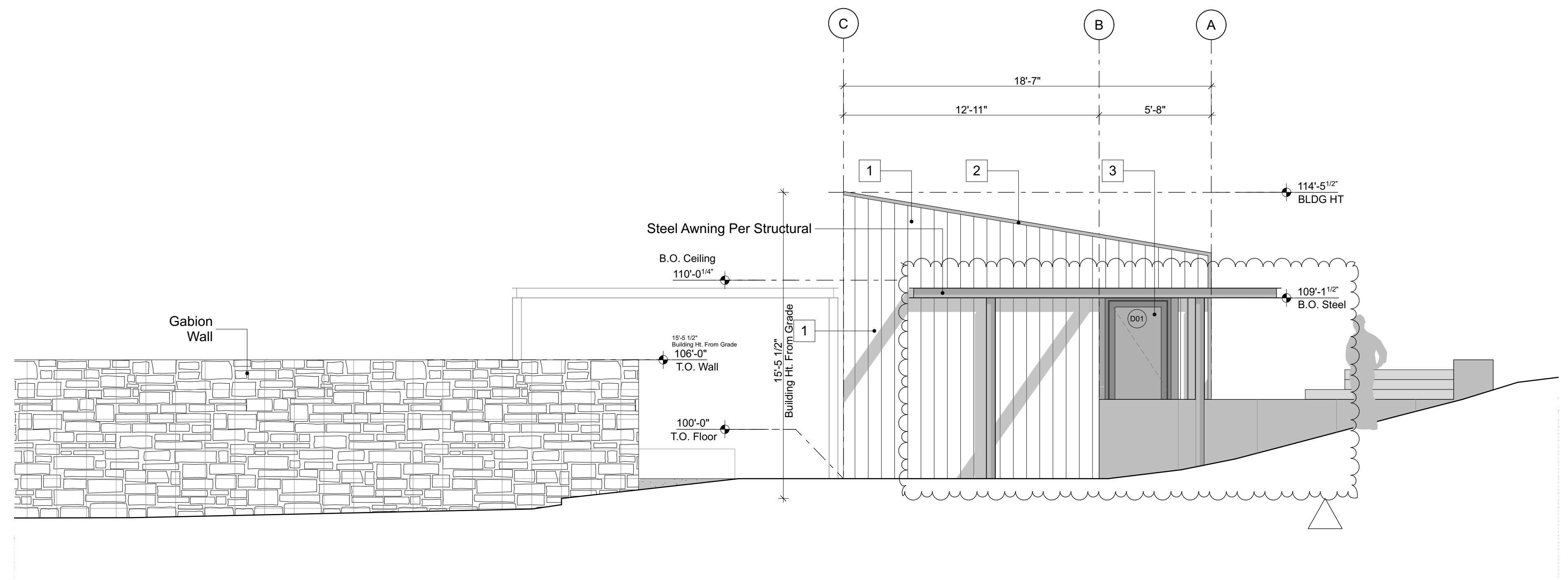
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Revision 01 4/19/21

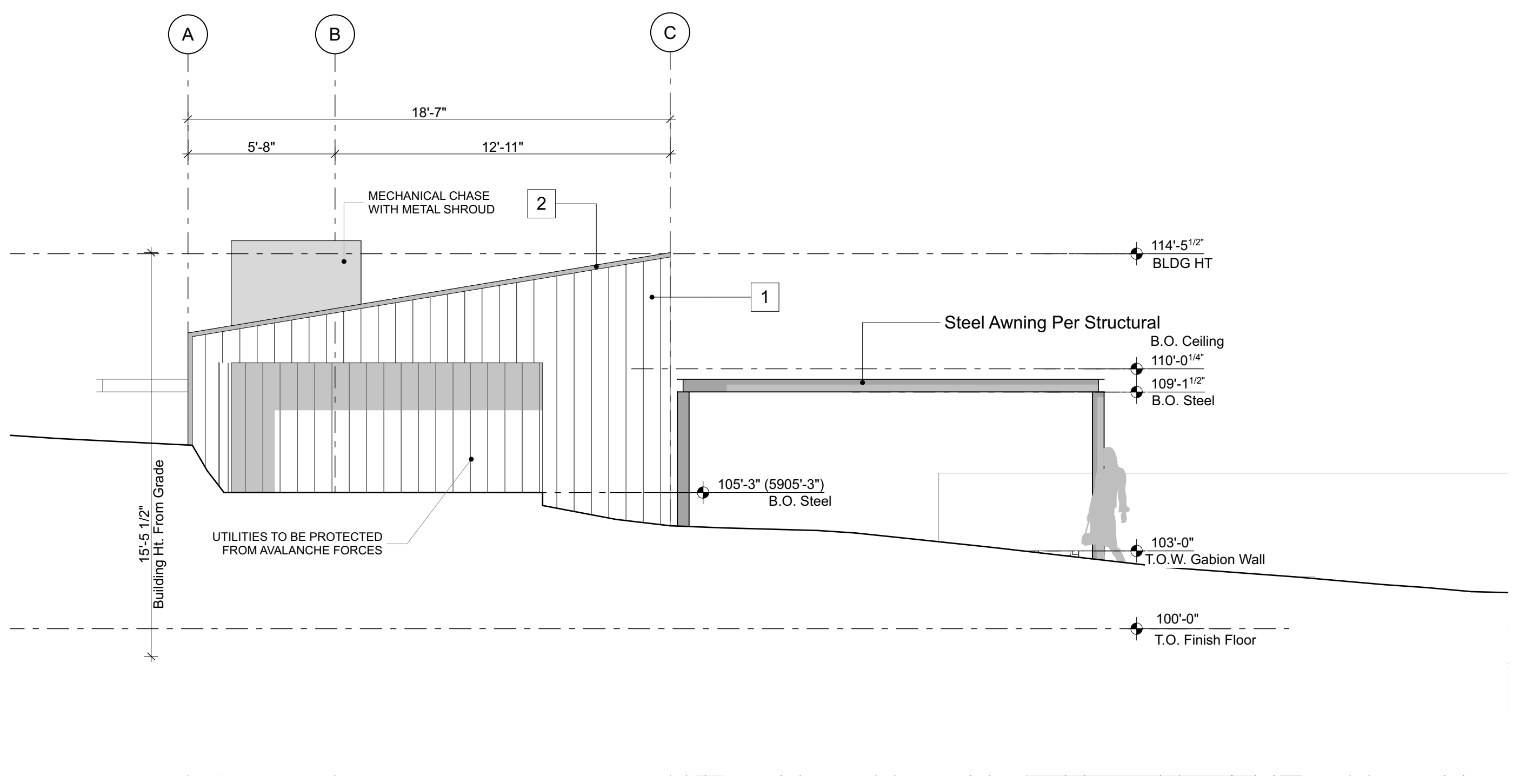
Revision 02 4/29/21

A302

Elevations



03 East Elevation  
SCALE: 1/4" = 1'-0"



04 West Elevation  
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 Stained Western Red Cedar
- 2 Standing Seam Roof / Siding  
Variable Widths
- 3 Aluminum Clad Wood Window / Door

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ARCHITECT  
AR 986479  
5/17/21  
Scott Payne  
STATE OF IDAHO

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DOCUMENT SET

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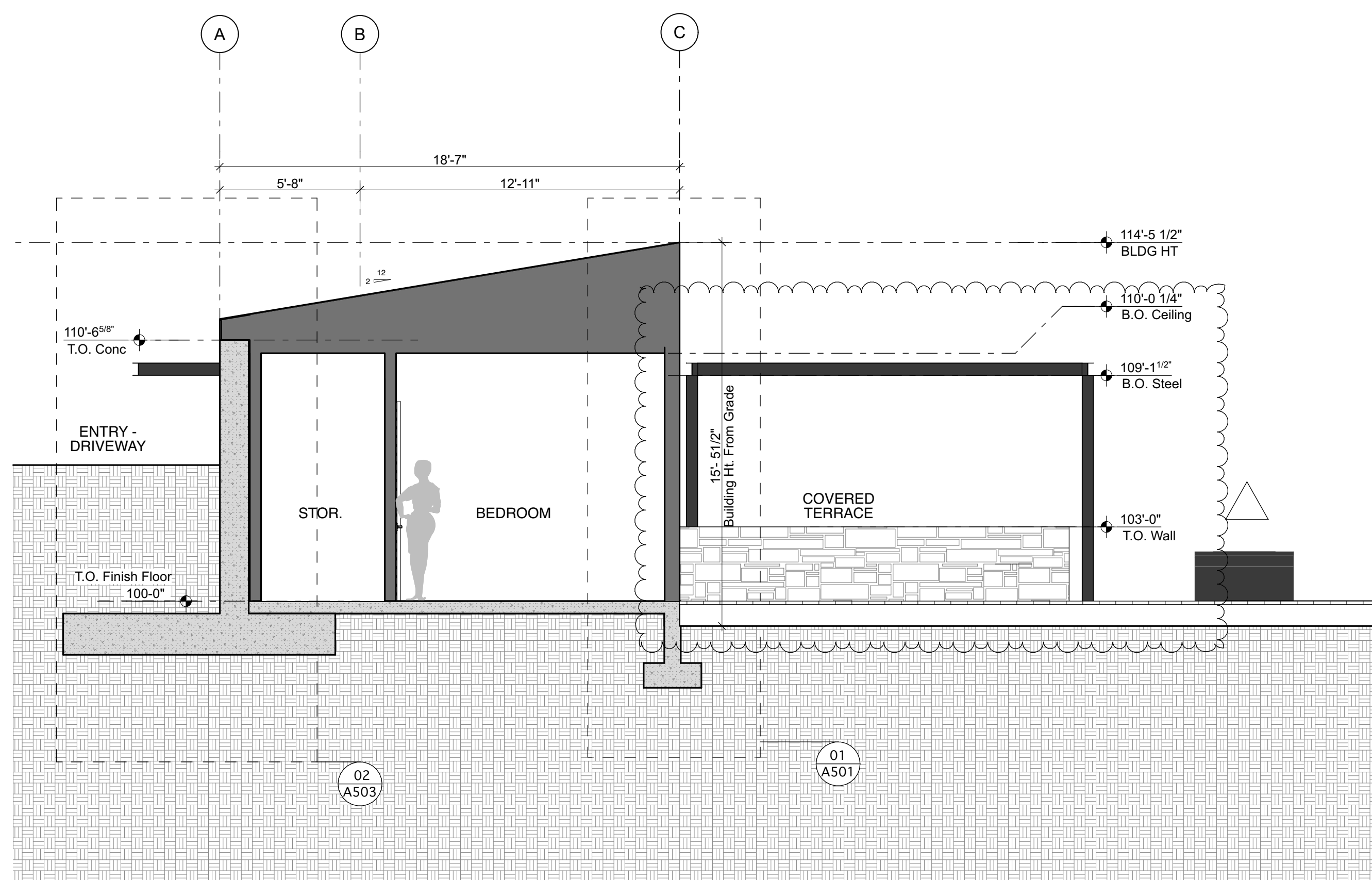
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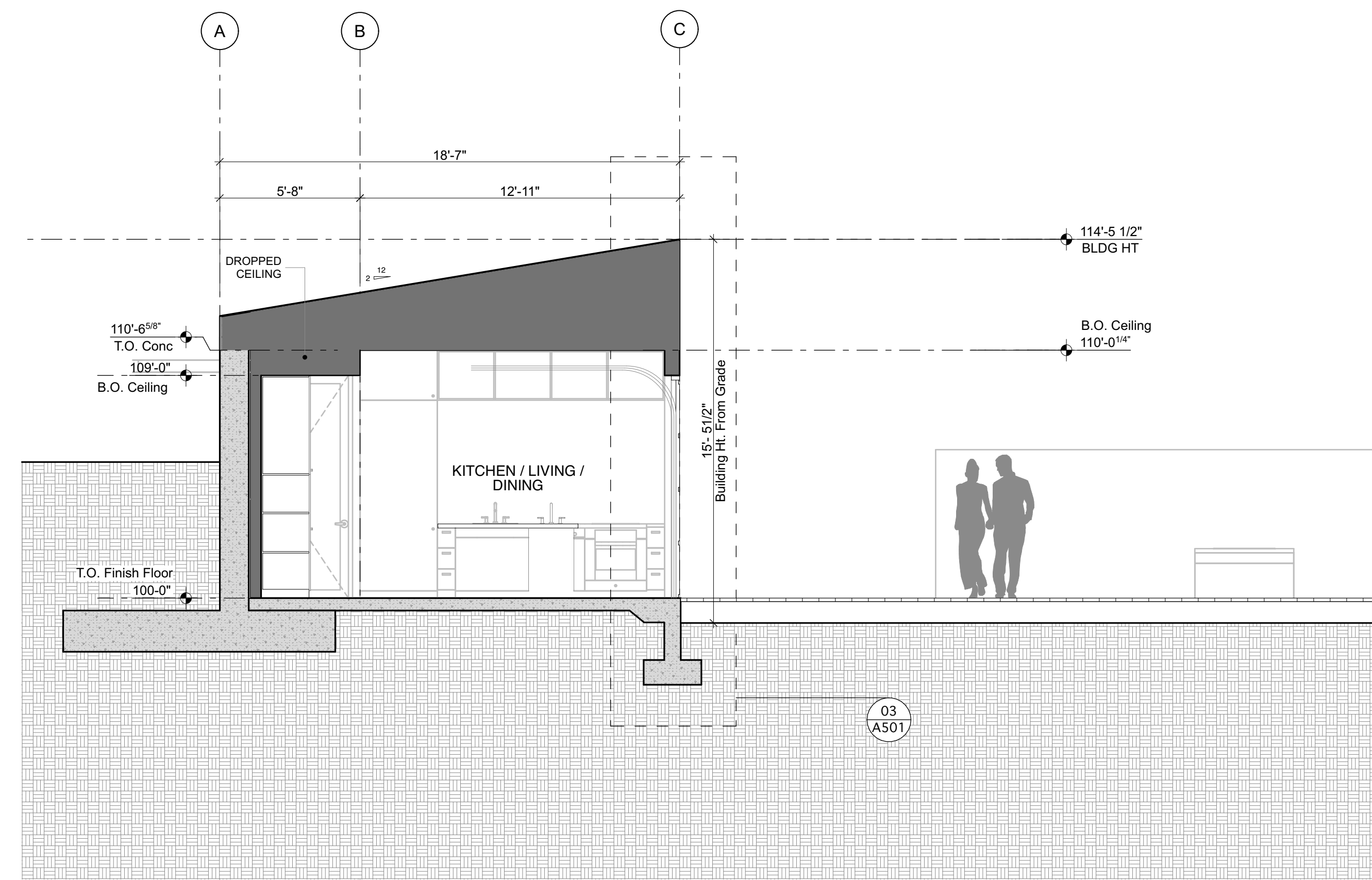
Revision 02 4/29/21

A401

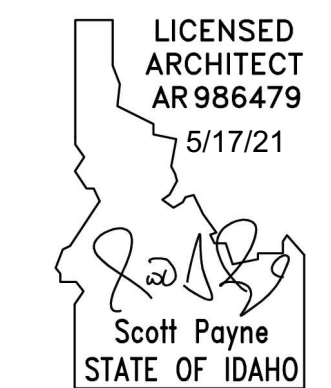
Building Section



01 Building Section  
SCALE: 1/4" = 1'-0"



02 Building Section - Kitchen  
SCALE: 1/4" = 1'-0"



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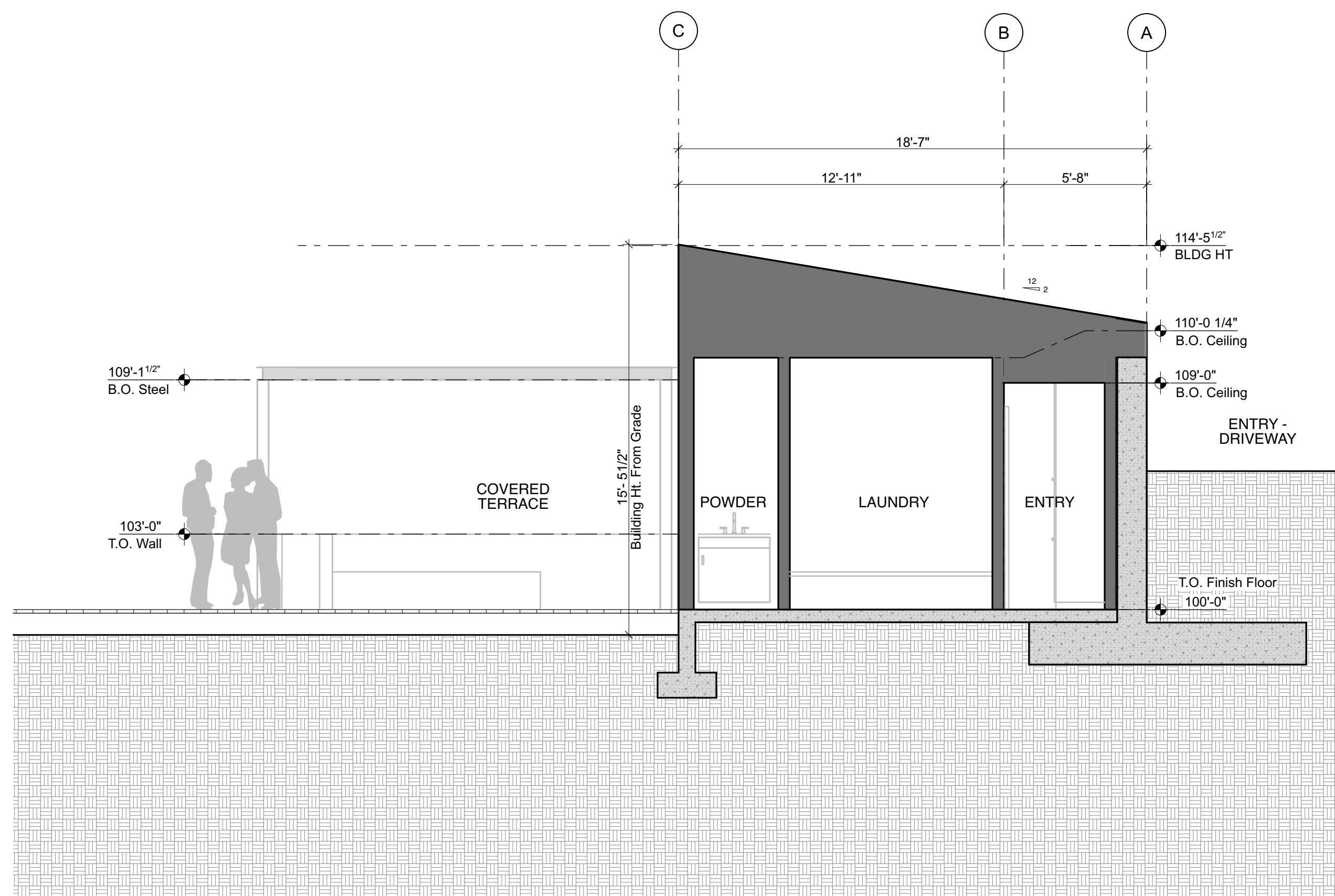
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Revision 01 4/19/21

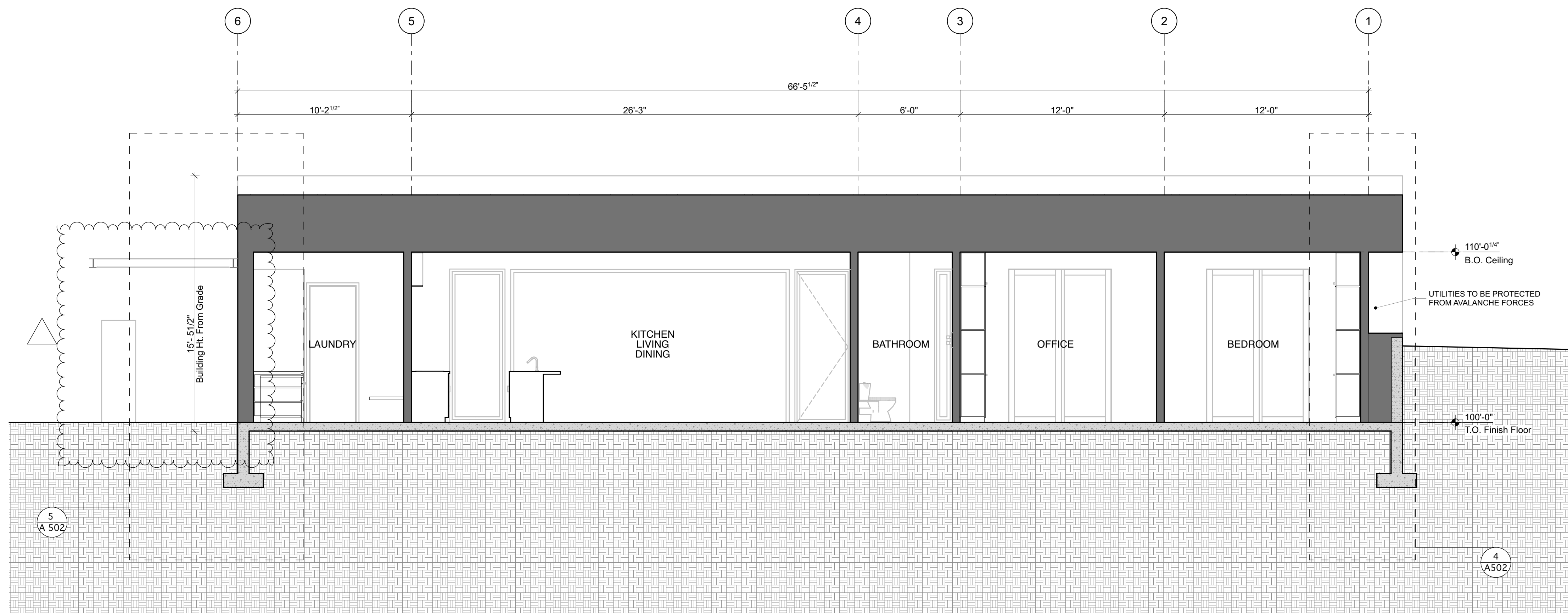
Revision 02 4/29/21

A402

Building Sections



03 Building Section  
SCALE: 1/4" = 1'-0"



04 Longitudinal Building Section  
SCALE: 1/4" = 1'-0"



# STRUCTURAL SPECIFICATION

ISSUE DATE

PERMIT SET: 4/2/2021

CONSTRUCTION SET: 4/16/2021

DELTA 1: 5/5/2021

## GENERAL NOTES

The General Contractor shall verify all existing site conditions and coordinate dimensions among all drawings prior to proceeding with any work or off site fabrication.

Any discrepancies found among the drawings, specifications and notes shall be reported to the Engineer Of Record for clarification.

Contractor to submit a request to Engineer for any substitution of materials or products specified in the contract drawings or specifications.

Contractor to provide shop drawings to the Engineer for review prior to the fabrication and erection of the following items: Structurally Insulated Panels (SIP's), Structural Steel and Miscellaneous Metals, Manufactured Wood Joists and Trusses.

Holes, notching or other penetrations through structural members shall not be permitted without prior Engineer approval.

It is the responsibility of the General Contractor for safety and protection within and adjacent to the job site.

## CONCRETE & REINFORCEMENT

**CONCRETE**  
Structural concrete shall be of normal weight concrete (145pcf) with a maximum aggregate size of 3/4" conforming to ASTM C 33, and shall meet the following criteria:

LOCATION	MINIMUM 28day COMPRESSIVE STRENGTH, psi	MAXIMUM WATER-CEMENT RATIO (b)	MAXIMUM SLUMP, inches (a)	AIR-ENTRAINMENT PERCENT ± 1.5%	CEMENT TYPE
INTERIOR CONCRETE, STEM WALLS, & FOOTINGS (NOT INCLUDING GARAGE SLABS)	5000	.45	4	6	II
EXTERIOR CONCRETE AND GARAGE SLABS	5000	.45	4	6	II

a) Maximum slump based on maximum water-cementitious ratio. Mid and high range water reducing agents can be used to increase slump beyond these maximums with Approval of Engineer.  
b) Water shall not be added at the job site such that the water-cementitious ratio is exceeded.

**CONCRETE BATCHING, MIXING, TRANSPORTATION, PLACEMENT, CONSOLIDATION, HOT & COLD WEATHER PROTECTION**  
Concrete batching, mixing, and transportation shall conform to ACI 304R.  
Cement to conform to ASTM C 150.  
Aggregates to conform to ASTM C 33.  
Water shall conform to ACI 318-34.  
Placing of concrete shall conform to ACI 304R and ACI 318-5.10.  
Pumping of concrete shall conform to ACI 304.2R.  
No more than 90 minutes shall elapse between batching and placement of concrete.  
Form work shall conform to ACI 347R and ACI 318-6.1.  
Reinforcing steel and Embedded items shall be clean and free of foreign debris and be tied securely in place and care taken not to displace during concrete placement.  
Conduits and Pipes shall not be embedded in concrete without Engineers written approval.  
Consolidation of concrete shall conform to ACI 309R. The unconfined fall of concrete shall not exceed 5'-0".  
Hot weather concreting shall conform to ACI 305R.  
Cold weather concreting shall conform to ACI 306R.  
Concrete shall not be placed on disturbed soil, frozen soil, or placed in water.  
Forms shall not be stripped from walls and footings until concrete strength reaches a minimum of 1000psi. Forms supporting suspended slabs shall not be stripped until full 28day specified compressive strength is achieved.

**CONCRETE WALLS**  
Provide dowels from footing to wall to match vertical reinforcement size, spacing and location with embed hooks minimum 12 bar diameters in length, U.O.N.  
Provide corner bars with 2'-0" long legs to match horizontal reinforcement size, spacing and location unless otherwise noted in drawings. Lap splice horizontal steel full length with corner bars.  
Reinforcing steel shall be continuous through all cold joints.  
Stem walls shall not be back filled until concrete has cured a minimum 7 days and been approved by engineer.  
Provide adequate drainage behind walls as required to prevent standing water behind walls.  
Anchor bolts shall be ASTM F1554 Grade 36 and of the size and spacing as indicated on the drawings and have a 7" minimum embedment depth. Anchor bolts to be within 1'-0" of sill plate ends, with a minimum of two per wall, and closer than 6" from concrete wall corners.

**CONCRETE SLABS ON GRADE**  
Unless otherwise noted on drawings, concrete slabs on grade to be minimum 6" thick, reinforced with #4 @ 12"o.c. each way placed at slab centerline.  
Thicken perimeter slab edges to 8" thick and provide additional #3 in thickened edge.  
Slabs to be placed over 6" thick compacted gravel base over undisturbed or compacted native strata.  
All surfaces of construction joints shall be free of dust, chips and foreign matter prior to casting adjacent slab. Reinforcement shall be continuous through construction and crack control joints.  
Provide 3/8" thick expansion joint material and sealant between slab edges and abutting walls and columns unless otherwise noted on the drawings.  
Provide 3/4" deep tooled or saw-cut crack control joints at a maximum of 15'-0" apart in both directions. Fill joint with and elasmeric sealant. Contractor to submit to the Architect/Engineer proposed control and construction joint locations for review prior to concrete placement.

**REINFORCING STEEL**  
Reinforcing steel shall conform to ASTM A615, grade 60. Welded Wire Fabric shall conform to ASTM A185. Reinforcing steel to be detailed, fabricated, and placed in accordance with ACI 318 and ACI 318.  
Reinforcement and deformed bar anchors to be welded shall be A706 weldable or prior approved equal. Welding of rebar to be approved by Engineer. Welding shall conform to AWS D1.4 standards.  
**LAP SPLICES**  
Unless otherwise noted, lap splices shall be minimum 48 x bar diameter.  
Clear spacing between bars to be greater than 2 bar diameters. Clear cover greater than 1 bar diameter.  
Reinforcement concrete cover requirements, unless otherwise noted in drawings, as follows:

(1) Cast against earth 3"  
(2) Cast against form, Exposed to earth or weather 2"  
(3) Walls, slabs, joists Not exposed to earth or weather 3/4"  
(4) Beams, columns Not exposed to earth or weather 1-1/2"

## DESIGN CRITERIA

**BUILDING CODE**  
Design, construction, and inspection shall conform to the International Building Code, (IBC), 2018 Edition and all Local Codes that may be applicable.

Material test standards referenced shall be the edition referenced in the 2018 IBC.

**OCCUPANCY CATEGORY OF BUILDING: II**

**DESIGN LOAD CRITERIA**  
At all times, The General Contractor and Owner shall keep the loads on the structure within the limits of the design load criteria.

The General Contractor is responsible to provide all bracing and shoring as required to support the loads that may be imposed on the structure during construction until all structural elements are complete.

**DESIGN ROOF LOADS**  
Live Load (Snow) 100 PSF (Minimum Local Jurisdiction / Balanced Snow Load)  
Avalanche Deposit 400 PSF (Static Load)  
Dead Load 25 PSF  
Wood Load Duration Factor 1.15  
Importance Factor Snow (Is) 1.0  
Drift and Un-Balanced Loads per ASCE/SEI 7-16  
Ground Snow Load 120 PSF  
Exposure Factor 1.0  
Temperature Factor 1.1

**DESIGN FLOOR LOADS**  
Live Load 40 PSF  
Dead Load 50 PSF

**WIND LOAD DATA**  
Wind Speed (3 sec. gust) 103 MPH  
Importance Factor (Iw) 1.0  
Building Category I  
Exposure Category B  
Internal Pressure Coefficient +/- .18

**SEISMIC LOAD DATA**  
Project Coordinates (43.69, -114.70)  
Importance Factor (Is) 1.0  
Ss 0.597  
S1 0.171  
Sds 0.462  
Sd1 0.185  
Site Class C  
Seismic Design Category C  
Basic Seismic Force Resisting System - Light Frame Walls with Wood Structural Panels  
Response Modification Coefficient (R) = 6.5  
Simplified Analysis Procedure F 1.0  
Vbase (unmodified) .071\*M  
Seismic Weights (W) Dead Loads + 35% Balanced Snow Load

## SOIL & FILL

**FOUNDATION/SOILS**  
Design soil bearing pressure = 3000 psf

All foundations shall bear on firm, undisturbed, drained, granular soil free of organic material. If soil is disturbed, compact soil in maximum 8" deep lifts to 95% maximum dry density per ASTM D698.

Contractor to notify Engineer if soil conditions are contrary to the assumed design conditions which may require over excavation and placement of structural fill or a lower assumed soil bearing pressure such as clays, silts or organics.

Exterior footings shall bear a minimum of 2'-6" below finished grade unless otherwise noted in the drawings.

**STRUCTURAL FILL**  
Structural Fill to be GW, GP, SW, or Sp soil under the unified classification system. Structural Fill shall consist of 4" minus select, clean, granular soil with no more than 12% passing the #200 sieve. Fill shall be placed in lifts of no more than 8", moisture conditioned, and compacted to 95% of modified proctor density ASTM D1557. Structural Fill placed below footings must extend laterally outside the perimeter of the footing for a distance equal to the thickness of the fill measured from the bottom of the footing to the underlying undisturbed soil. Back fill behind stem walls and retaining walls to be the same as prescribed above, except the maximum aggregate size should be 2". Compaction of back fill behind walls shall be done by hand compactors.

## STEEL AND MISC. METALS

**STRUCTURAL STEEL AND MISCELLANEOUS METALS**  
All structural steel, fabrication, painting, and erection shall comply with AISC Manual of Steel Construction including the Code of Standard Practice and the IBC 2018 edition.

All wide flange sections shall conform to ASTM A992 yield stress = 50 ksi.

All plates, angles, and channels to conform to ASTM A36 yield stress = 36 ksi.

All structural steel tubing to conform to ASTM A500 grade B yield stress = 46 ksi.

All structural steel pipe shall conform to ASTM A501 grade B yield stress = 36 ksi.

Use ASTM A325 bolts where specified in documents for all steel to steel connections with a minimum diameter of 5/8" U.O.N.

All bolts shall be tightened to the minimum bolt tension in Accordance with AISC Specifications For Structural Joints Using ASTM A325 or A490 Bolts. Direct tension indicators or twist-off-type tension-control bolt assemblies may be used. Provide carbonized washers between turned element and steel. Connections indicated as slip critical (SC), shall have a minimum of a Class A contact surface preparation and bolts tightened to the specified minimum bolt tension utilizing direct tension indicators.

Holes in structural steel may be made only with Engineer prior approval.

All welding shall be performed in accordance with a Welding Procedure Specification (WPS) as required in AWS D1.1 Structural Welding Code and the IBC 2018 code.

Weld Filler to comply with E70XX low hydrogen electrodes with a Charpy-V-Notch (CVN) of 20 foot-pounds at -20 degrees F. The WPS shall be within the parameters established by the filler metal manufacturer.

Welder shall be certified by AWS standards within the past 12 months. Upon request, written certification shall be submitted to the Engineer or special inspectors for review. Welder shall avoid welding directly in the K-area of structural steel.

Shop drawings shall be approved by Engineer prior to fabrication or erection. Shop drawing submittal shall include, but not be limited to, all welding, bolting, dimensions, member size and grade.

All field welds shall be visually inspected by AWS certified welding inspectors in accordance with the provisions of AWS D1.1.

## WOOD FRAMING

**SAWN STRUCTURAL LUMBER**  
Structural lumber shall conform to the latest edition of the West Coast Lumber Inspection Bureau (WCLIB) or Western Wood Products Association (WWPA) grading rules for the specified sizes and minimum grades listed below:

2x & 4x Douglas Fir-Larch No.2  
6x and larger Douglas Fir-Larch No.1

Wood Members in contact with concrete or masonry walls below grade or supported by concrete or masonry foundations that are less than 8" from exposed earth shall be naturally durable wood or preservative-treated per AWPA U1. See IRC section 2304.11 for additional decay and termite protection requirements.

**LAMINATED VENEER LUMBER (LVL)**  
Laminated Veneer Lumber shall conform to the minimum allowable design properties listed below. LVL material to be of solid sections. Substitution of multiple piece sections requires Engineer's prior approval.

Where multiple piece LVL sections are specified in drawings, nail two ply and three ply LVL sections with (3) rows 16d common at 12"o.c. each ply.

LVL Minimum Allowable Design Properties:  
1-3/4" thick 3-1/2" - 7" thick

Fb (bending) = 2800psi Fb (bending) = 3100psi  
Fv (horizontal) = 285psi Fv (horizontal) = 285psi  
Fc (parallel) = 3000psi Fc (parallel) = 3000psi  
Fc (perpendicular) = 750psi Fc (perpendicular) = 750psi  
E = 2,000,000psi E = 2,000,000psi

**MANUFACTURED WOOD JOISTS**  
Manufactured wood "I" joists, to be manufactured by Truss Joist Corporation or Boise Cascade, and to be of the type and spacing specified in the drawings.

Joists shall be erected, installed and braced per manufacturer's specifications.

Other manufactured wood joists may be substituted with prior Engineer approval.

All holes must be cut within joist web and meet manufacturer's requirements.

**WOOD FRAMING**  
Conventional Light Framing construction shall conform to IRC section 2308.

All framing fastening shall be in accordance with IRC section 2304.9 unless otherwise noted on the drawings.

Minimum header shall be (3) 2x8 unless otherwise noted in drawings.

Minimum header post shall be 2x6 bearing (trimmer) stud plus 2x6 king stud each end below 6x8 and (2) 2x6 trimmer studs plus 2x6 king stud for 6x10 and larger, unless otherwise noted in drawings.

Typical beam pocket at beam bearing locations shall consist of full beam width 2x6 bearing trimmers and 2x6 grabber stud each side. Where 2x6 grabber studs are not possible, provide Simpson TS22 or ST6224 steel strap attached equally to beam and bearing stud.

Provide minimum 1-1/4" thick solid blocking below all bearing walls. Provide minimum 1-1/4" thick solid rim board at perimeter of all floors.

Provide solid blocking in floor space below all posts and trimmers from above. Where "I" joists interrupt blocking, provide joist web stiffeners and blocking per manufacturers recommendations.

Typical wall construction to consist of 2x6 studs @ 16"o.c. module with framing members above, U.O.N.

Where wall heights exceed 13'-0", wall construction to consist of 1-1/2"x5-1/2" BCI 2.0E VERSA-STUD at 16"o.c. (or equivalent).

**PLYWOOD SHEATHING**  
All plywood sheathing shall be APA rated exposure 1 plywood with thickness, veneer grades and span ratings as noted herein or in drawings.

Flywood at roof and floors shall be laid with face grain perpendicular to supports and end joints staggered at 4'-0" o.c. Provide 1/8" space at all panel edges.

Nail roof sheathing with 10d common at 6"o.c. boundary edges, 6"o.c. interior panel edges, and 12"o.c. intermediate unless otherwise noted on drawings.

Glue floor sheathing and nail with 10d common at 6"o.c. boundary edges, 6"o.c. interior panel edges, 12"o.c. intermediate unless otherwise noted.

Unless otherwise noted in drawings and shear wall schedule, nail APA rated wall panel edges and boundaries with 8d galvanized box at 6"o.c., and 12"o.c. intermediate. Block and edge nail all horizontal panel edges at designated shear walls.

Roof Sheathing:  
3/4" CDX minimum (40/20) span rating.

Exterior Wall Sheathing:  
15/32" CDX minimum (24/0) span rating unless otherwise noted. 7/16" Oriented Strand Board with the same span rating may be substituted for exterior wall sheathing.

**NAILS, BOLTS, LAGS AND PREFABRICATED CONNECTIONS FOR WOOD**  
Unless otherwise noted in drawings or hardware supplier specification, all nails shall be common or galvanized box.

Wood bolts and lags shall conform to ASTM A307 grade unless otherwise noted. Provide mild steel plate washers at all bolt heads and nuts bearing against wood.

Metal connectors specified in drawings shall be manufactured by the Simpson Strong Tie Company and installed per their specifications. Other manufacturers may be considered where load capacity and dimensions are equal or better. All substitutions must be submitted to the Engineer for review.

Provide the maximum nailing pattern for all metal connectors.

Nail or screw substitutions, other than manufacturers specified, must have Architect/Engineer prior approval.

Anchoring adhesive shall be two component 100% solids epoxy based system supplied in manufacturer's standard side-by-side cartridge and dispensed through a static mixing nozzle supplied by the manufacturer. Epoxy shall meet the minimum requirements of ASTM C-881 specification for type I,II,IV and V grade 3, class B and C and must develop a minimum 13,390 psi compressive yield strength after 7 day cure.

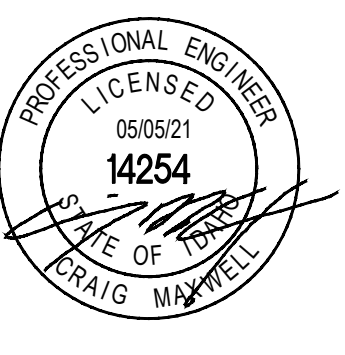
## CONCRETE MASONRY

Concrete masonry materials and construction shall conform to the American Concrete Institute (ACI) 530.

All concrete masonry units shall conform to ASTM C 90, Grade N-1, and normal weight. Minimum net area compressive strength of masonry units shall be 2,500 PSI at 28 days.

Mortar for all work shall be type M or S.  
Grout for filling shall be a minimum compressive strength (f'm) of 2800 psi, and shall conform to ASTM C476, place grout filling 8'-0" maximum lift vertically.  
All reinforcing bars for masonry construction shall conform to ASTM A-615 grade 60. Lap length shall be minimum 40 bar diameters.

MPH RESIDENCE  
119 SAGE RD  
KETCHUM, ID



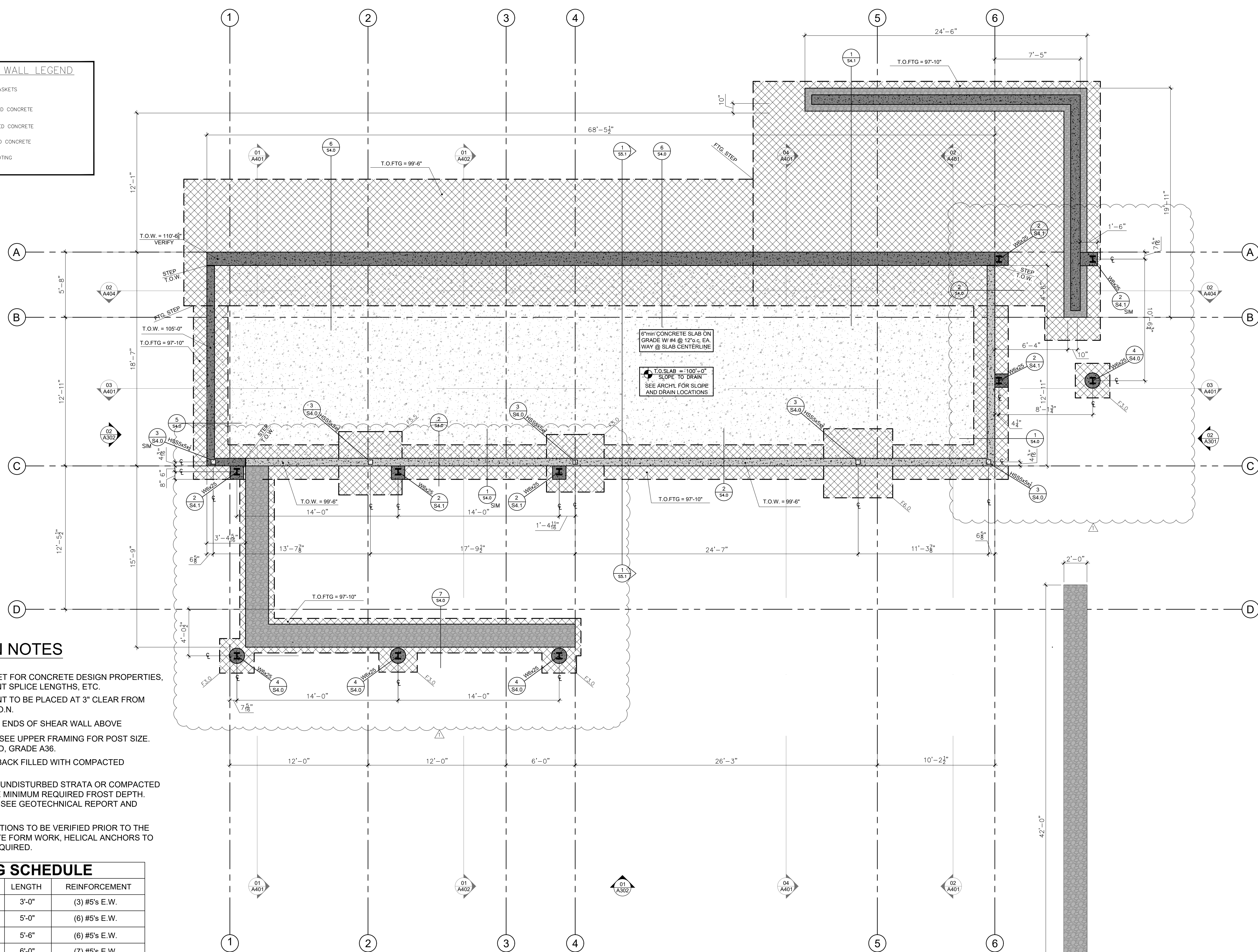
**MAXWELL**  
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S1.0



STRUCTURAL WALL LEGEND	
	18" GABION BASKETS
	14" REINFORCED CONCRETE
	10" REINFORCED CONCRETE
	8" REINFORCED CONCRETE
	CONCRETE FOOTING



### FOUNDATION NOTES

- SEE SPECIFICATION SHEET FOR CONCRETE DESIGN PROPERTIES, MINIMUM REINFORCEMENT SPLICE LENGTHS, ETC.
- FOOTING REINFORCEMENT TO BE PLACED AT 3" CLEAR FROM BOTTOM OF FOOTING, U.O.N.
- LOCATE HOLD DOWNS AT ENDS OF SHEAR WALL ABOVE
- FA = POST FROM ABOVE, SEE UPPER FRAMING FOR POST SIZE.
- ATR = ALL THREADED ROD, GRADE A36.
- EXTERIOR WALLS TO BE BACK FILLED WITH COMPACTED FREE DRAINING GRAVEL.
- PLACE ALL FOOTINGS ON UNDISTURBED STRATA OR COMPACTED STRUCTURAL FILL TO THE MINIMUM REQUIRED FROST DEPTH. FOR MORE INFORMATION SEE GEOTECHNICAL REPORT AND SHEET S1.0
- FOOTING BEARING CONDITIONS TO BE VERIFIED PRIOR TO THE PLACEMENT OF CONCRETE FORM WORK, HELICAL ANCHORS TO BE INSTALLED WHERE REQUIRED.

FOOTING SCHEDULE				
MARK	DEPTH	WIDTH	LENGTH	REINFORCEMENT
F3.0	12"	3'-0"	3'-0"	(3) #5's E.W.
F5.0	1'-2"	5'-0"	5'-0"	(6) #5's E.W.
F5.5	1'-2"	5'-6"	5'-6"	(6) #5's E.W.
F6.0	1'-2"	6'-0"	6'-0"	(7) #5's E.W.

- ALL REINFORCEMENT TO BE GRADE 60 U.O.N.
- PLACE REINFORCEMENT 3" CLEAR FROM BOTTOM FACE, U.O.N.

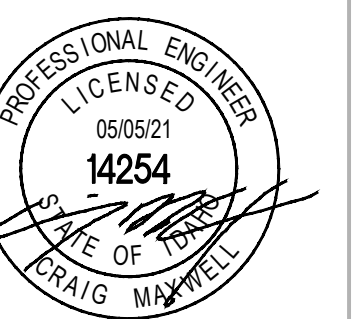
**NOTE:**  
INSTALL RADON ABATEMENT SYSTEM AS MAY BE REQUIRED TO MEET PROVISIONS OF 2018 INTERNATIONAL RESIDENTIAL CODE, APPENDIX F.

## FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

ISSUE DATE  
PERMIT SET: 4/2/2021  
CONSTRUCTION SET: 4/16/2021  
DELTA 1: 5/5/2021

**MPH RESIDENCE**  
119 SAGE RD  
KETCHUM, ID



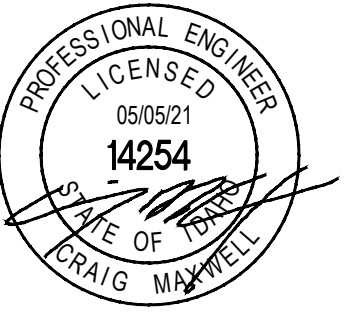
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CRAIG MAXWELL, P.E.  
105 Lewis Street, Unit 205 • Ketchum, Idaho 83340  
P.O. Box 1911 • Sun Valley, Idaho 83353  
Craig@maxwellsds.com • 208.721.2171  
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**S2.0**



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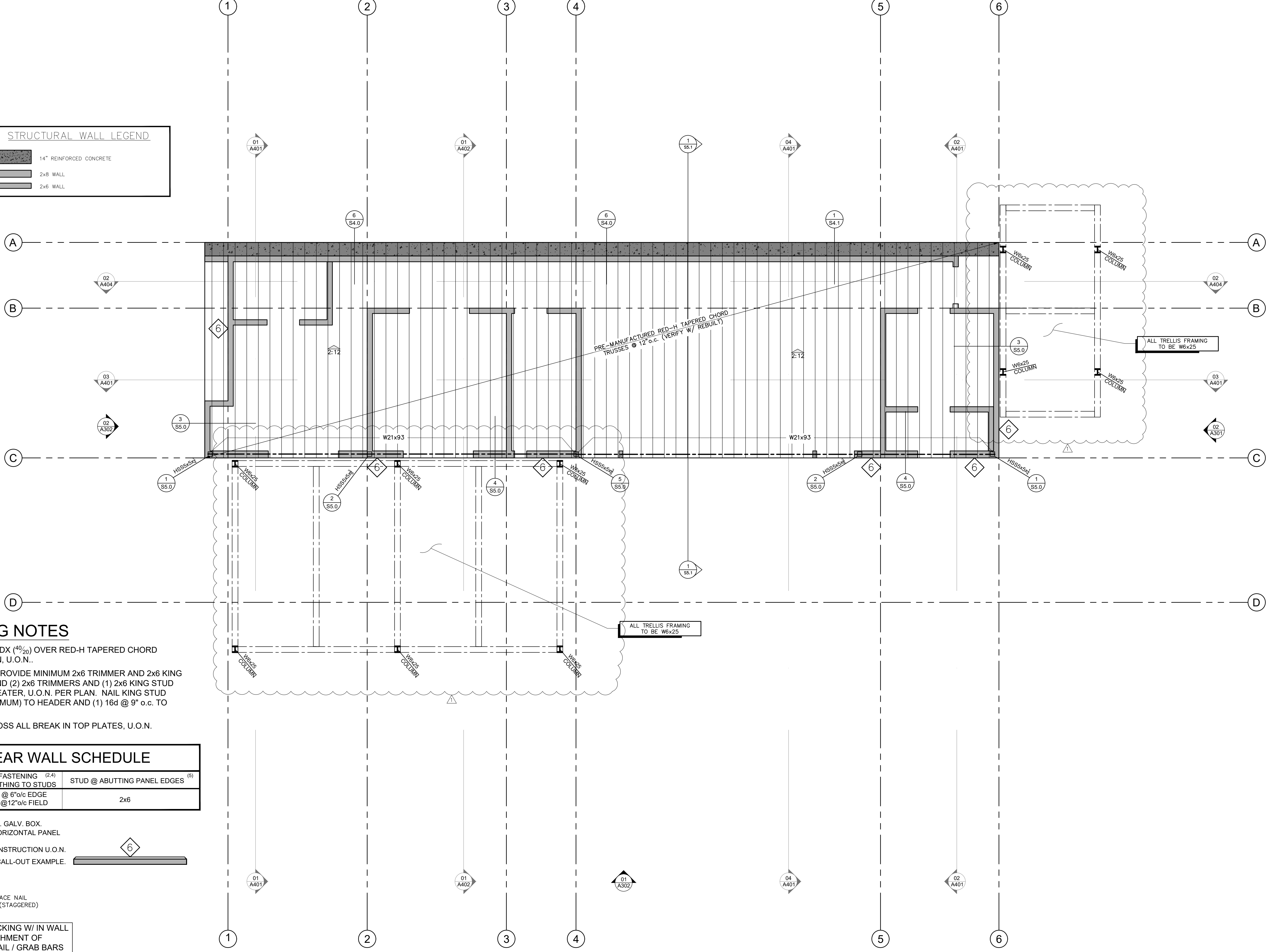
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**S3.0**

**STRUCTURAL WALL LEGEND**

	14" REINFORCED CONCRETE
	2x8 WALL
	2x6 WALL



**ROOF FRAMING NOTES**

ROOF SYSTEM SHALL BE 3/8" CDX (40/20) OVER RED-H TAPERED CHORD TRUSSES @ 12" o.c. PER PLAN, U.O.N..

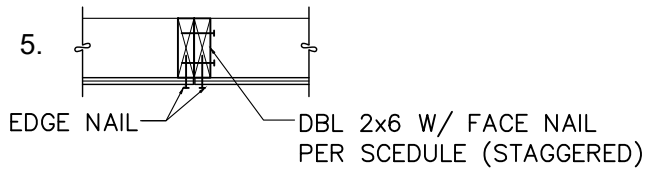
AT ENDS OF ALL HEADERS, PROVIDE MINIMUM 2x6 TRIMMER AND 2x6 KING STUD BELOW 6x8 HEADER AND (2) 2x6 TRIMMERS AND (1) 2x6 KING STUD UNDER 6x10 HEADER OR GREATER, U.O.N. PER PLAN. NAIL KING STUD WITH (2) 16d @ 6" o.c. ((6) MINIMUM) TO HEADER AND (1) 16d @ 9" o.c. TO TRIMMER STUD PACK, U.N.O.

PROVIDE MST37 STRAP ACROSS ALL BREAK IN TOP PLATES, U.O.N.

**SHEAR WALL SCHEDULE**

MK	SHEATHING <sup>(1)</sup>	FASTENING <sup>(2,4)</sup> SHEATHING TO STUDS	STUD @ ABUTTING PANEL EDGES <sup>(5)</sup>
6 <sup>(3)</sup>	3/8" CDX (1) SIDE	8d @ 6" o.c EDGE 8d @ 12" o.c FIELD	2x6

- NAILS TO BE COMMON OR H.D. GALV. BOX.
- BLOCK AND EDGE NAIL ALL HORIZONTAL PANEL EDGES.
- MINIMUM EXTERIOR WALL CONSTRUCTION U.O.N.
- SEE RIGHT FOR SHEAR WALL CALL-OUT EXAMPLE.



NOTE: PROVIDE SOLID BLOCKING W/ IN WALL FRAMING FOR ATTACHMENT OF HANDRAIL / GAUDDRAIL / GRAB BARS ETC. WHERE OCCUR.

**ROOF FRAMING PLAN**

ISSUE DATE
PERMIT SET: 4/2/2021
CONSTRUCTION SET: 4/16/2021
DELTA 1: 5/5/2021

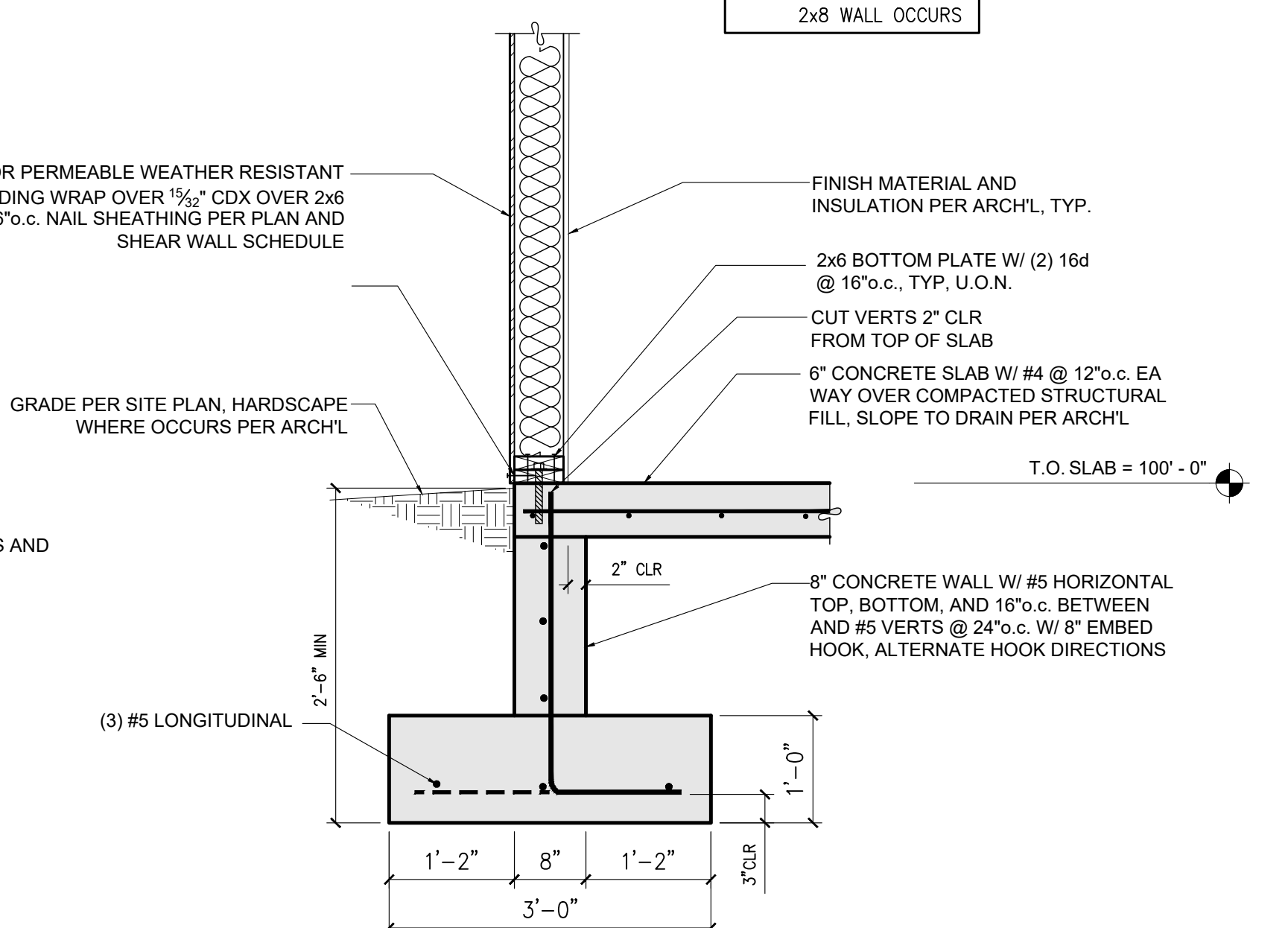
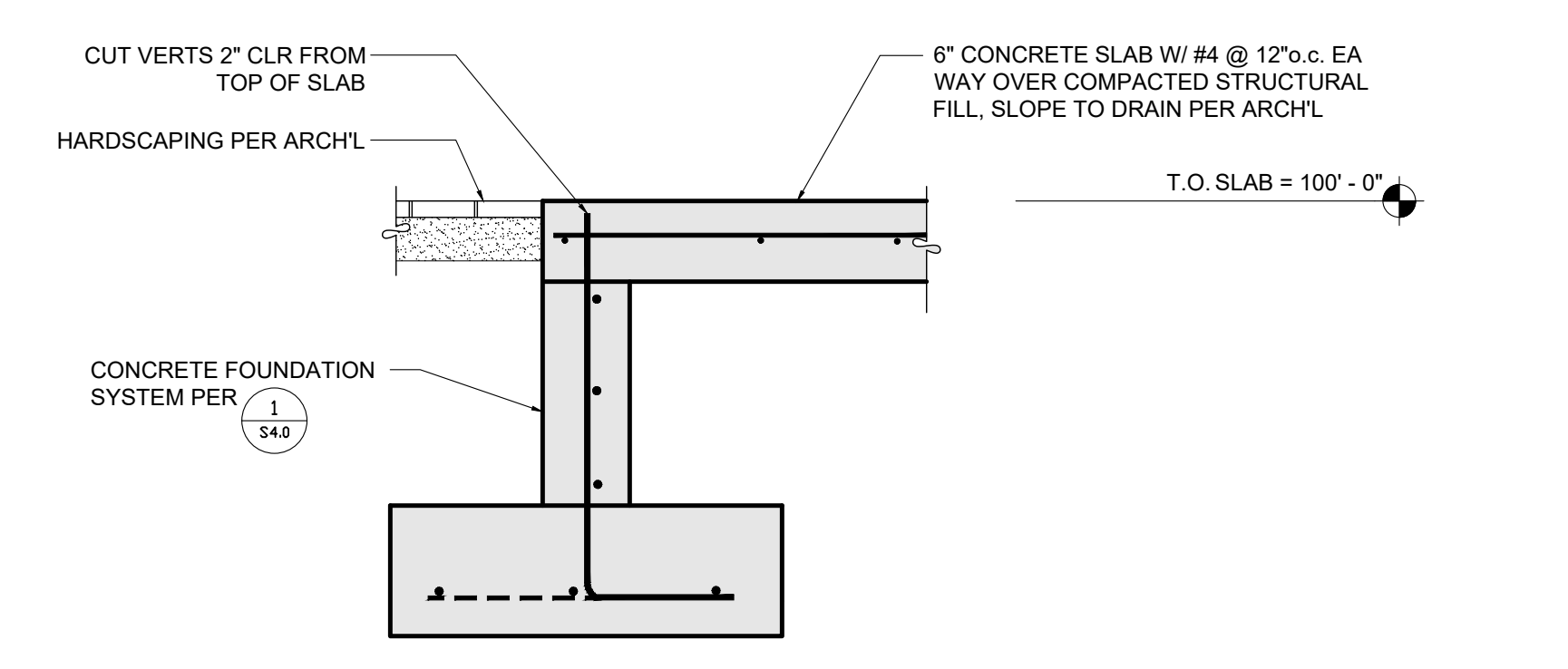
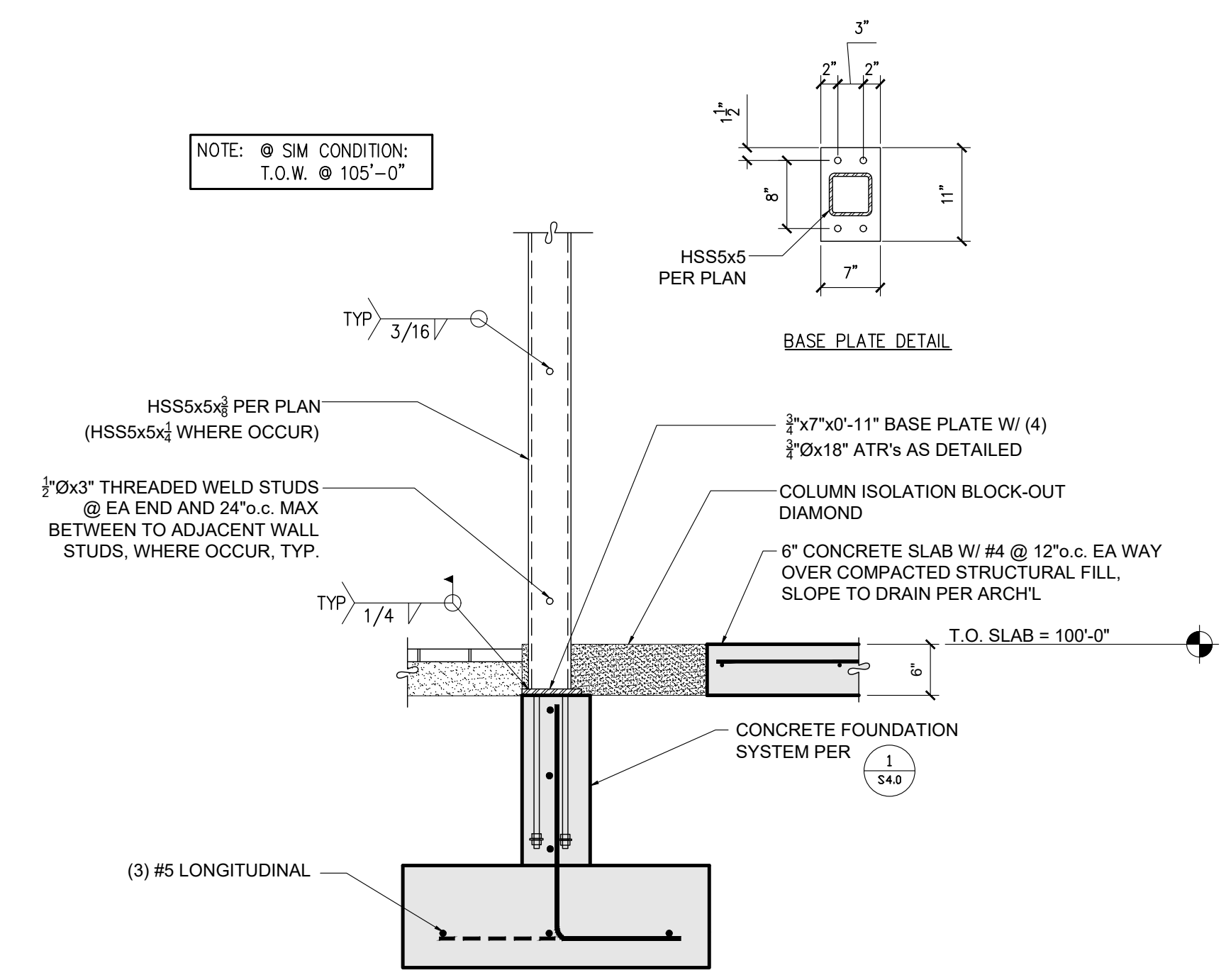
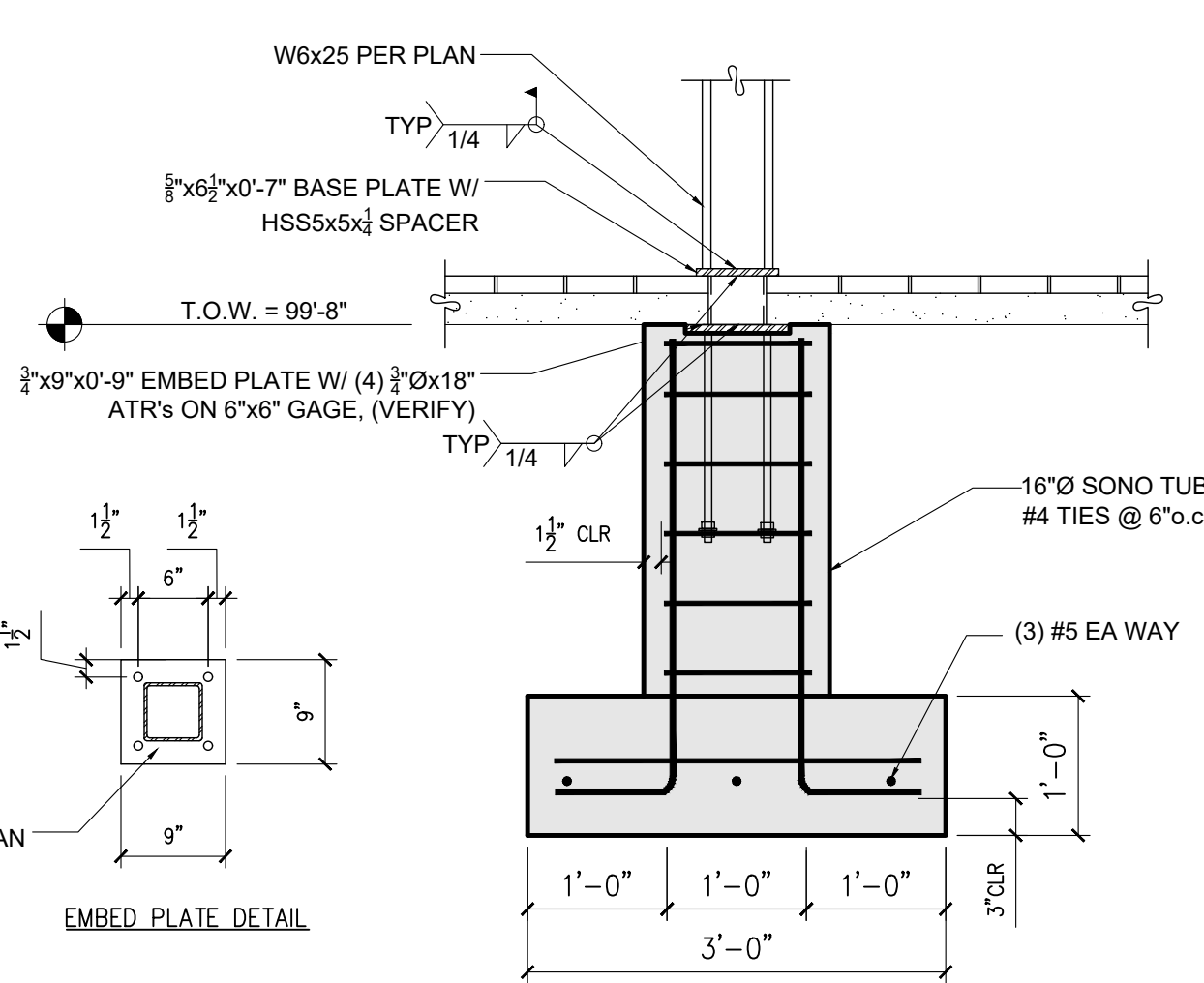
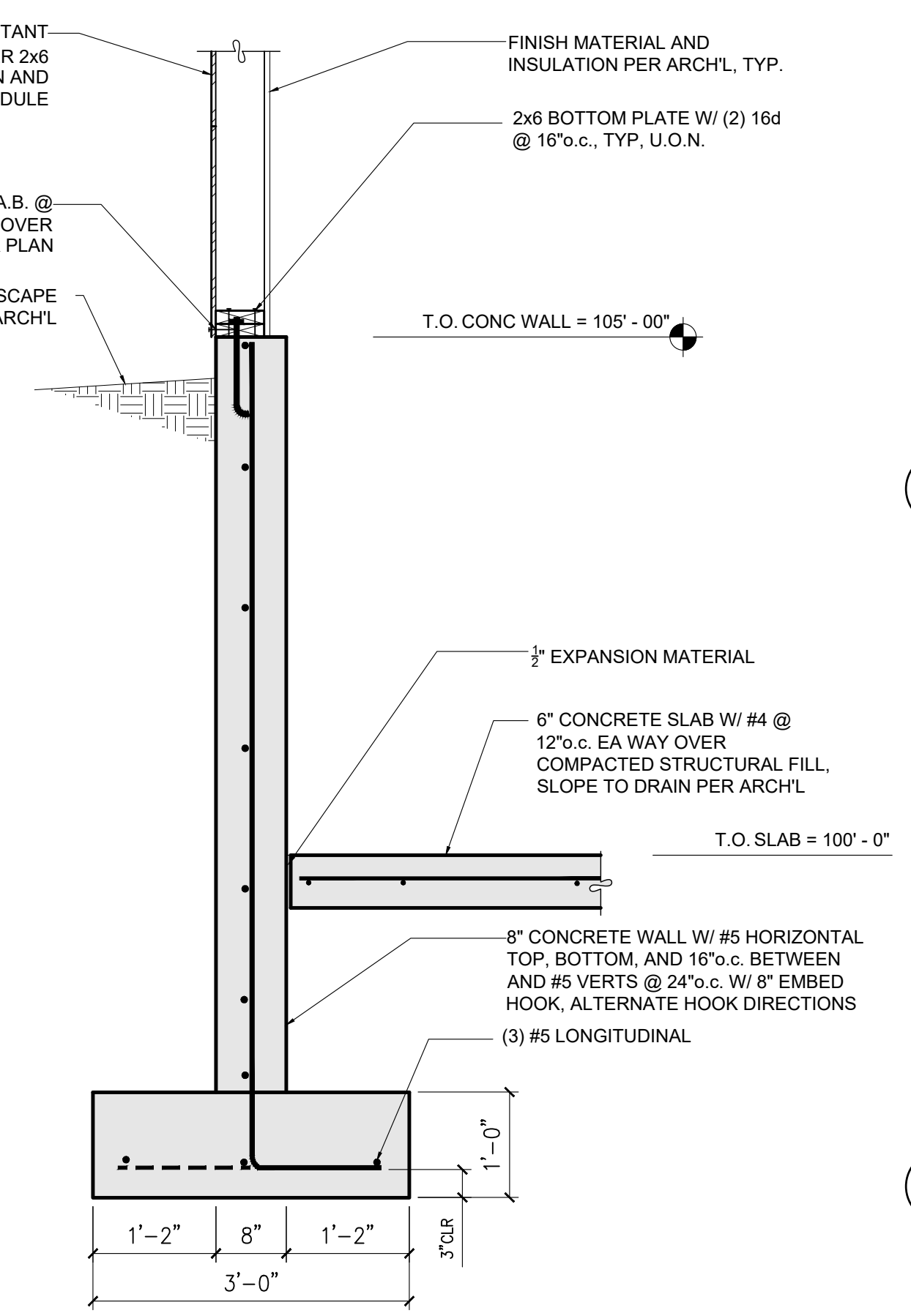
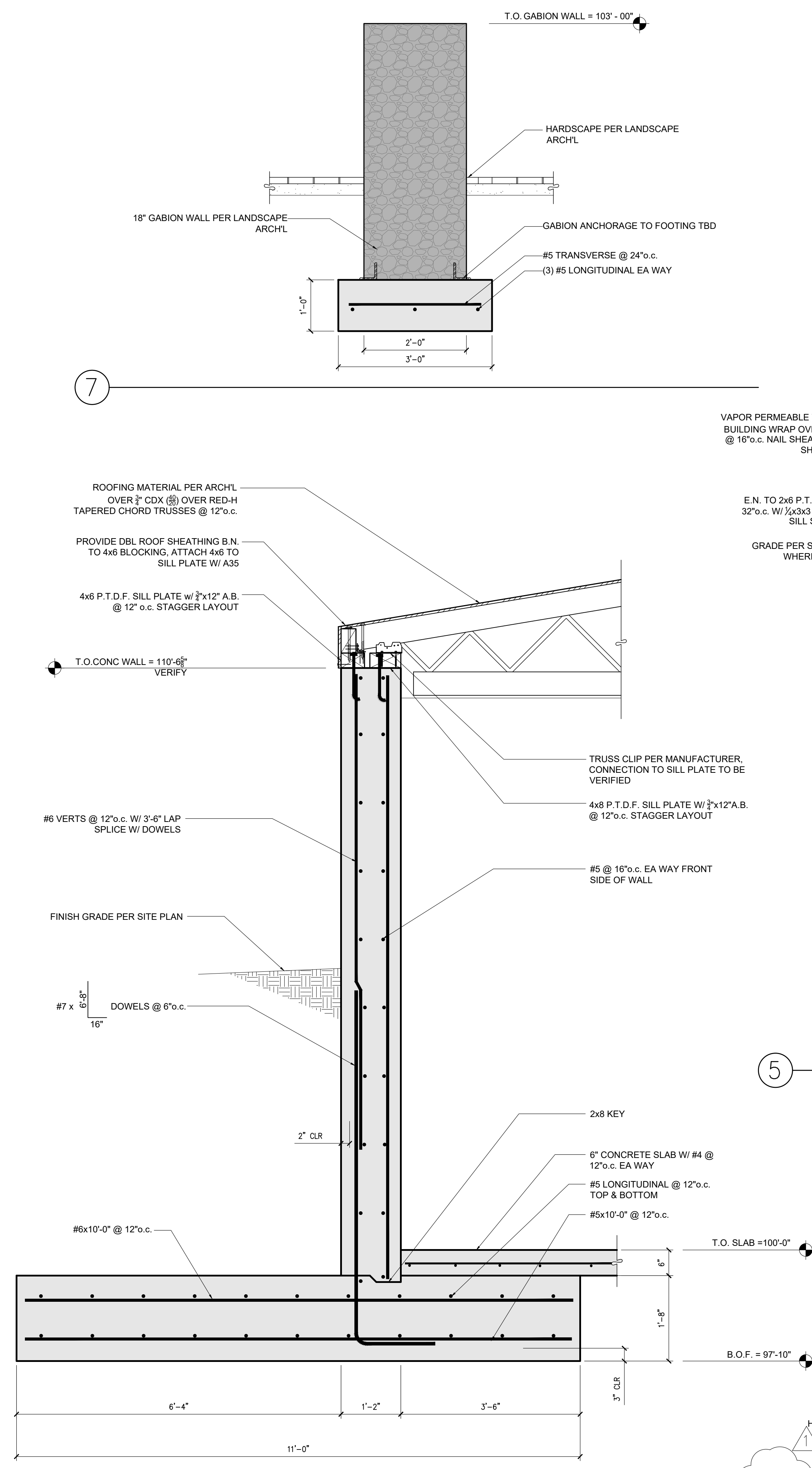
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**S4.0**



SCALE: 3/4" = 1'-0" U.N.O.

6

4

1

7

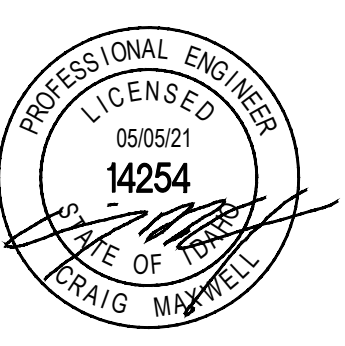
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**MPH RESIDENCE**  
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 KETCHUM, ID

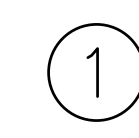
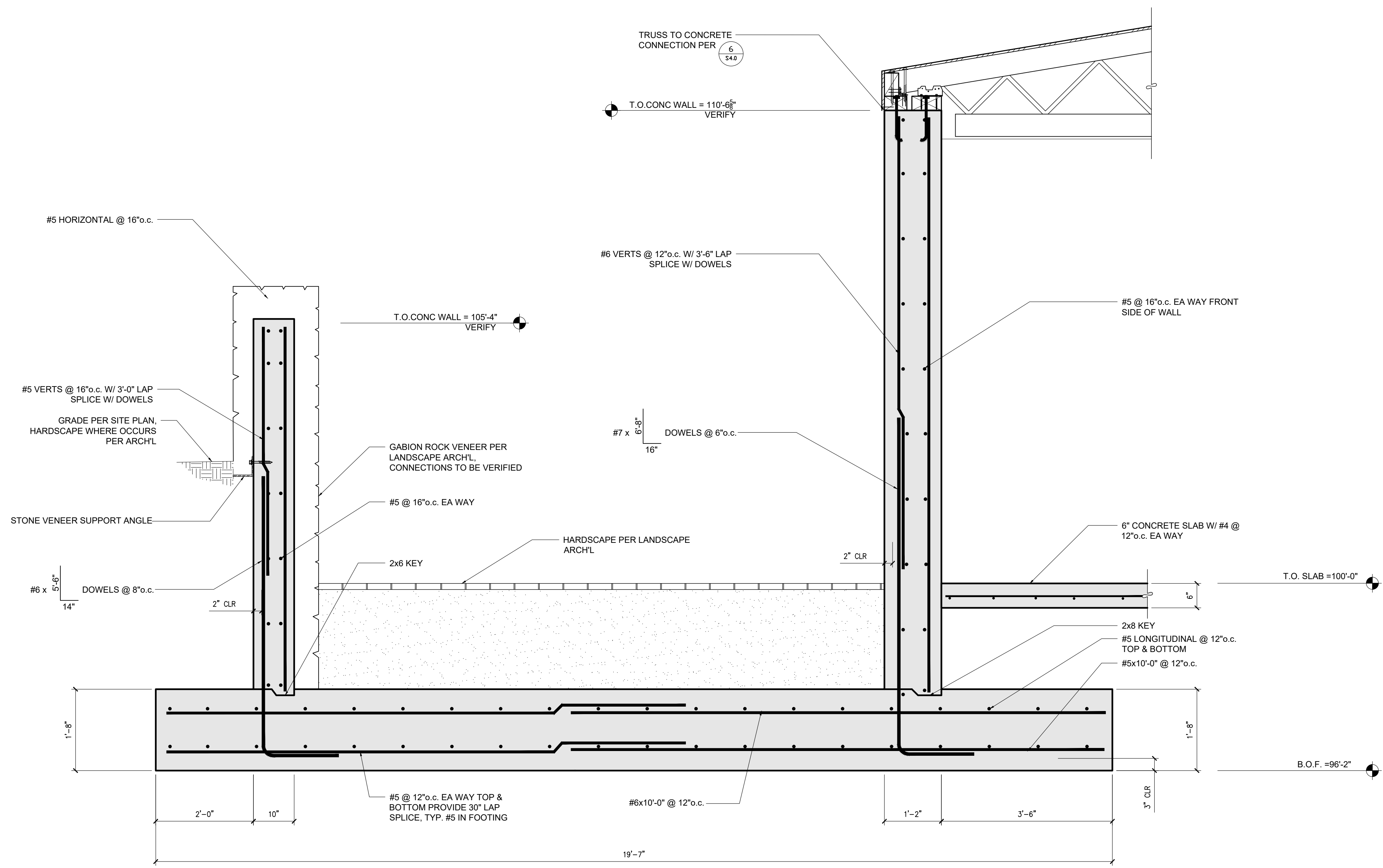
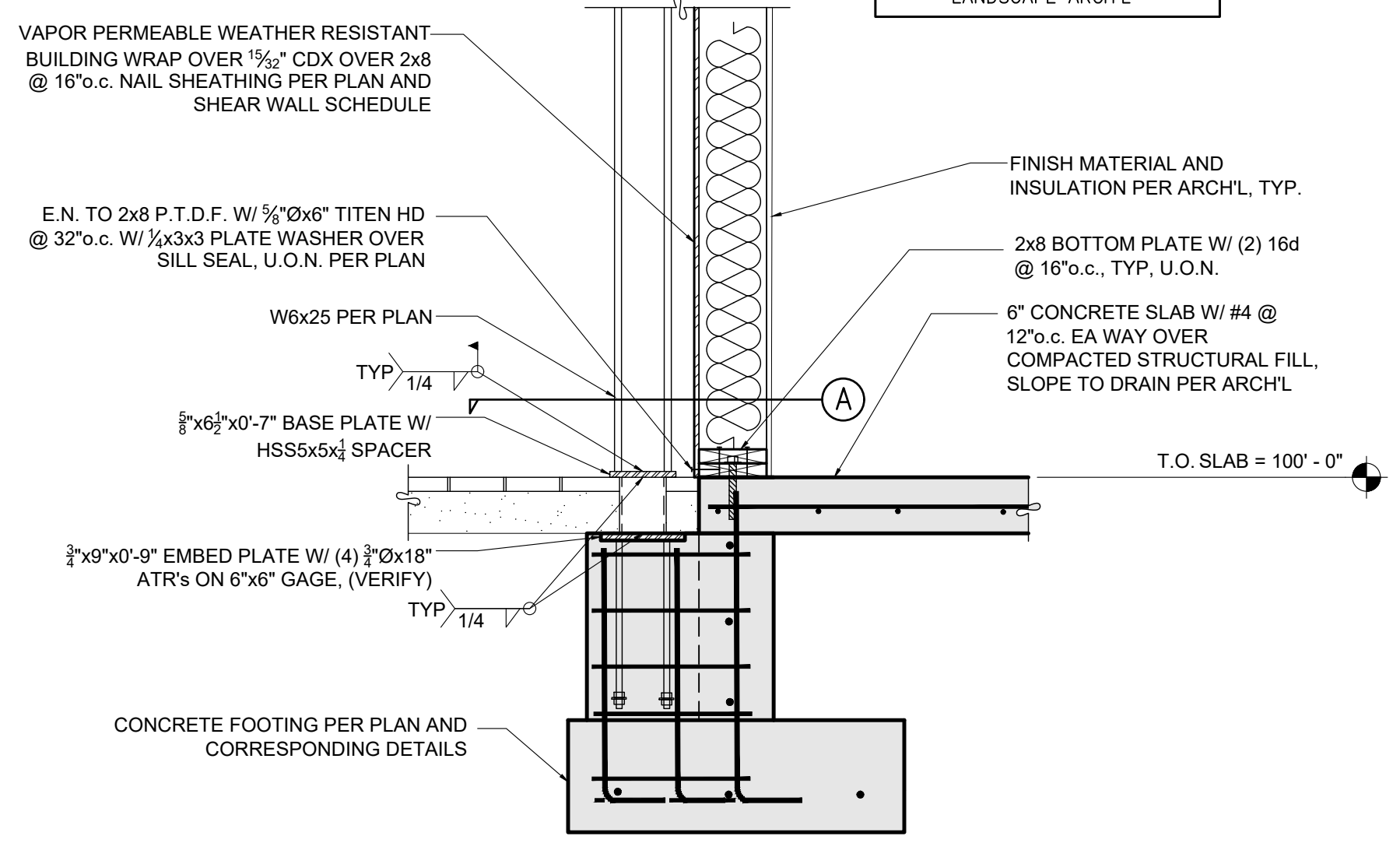
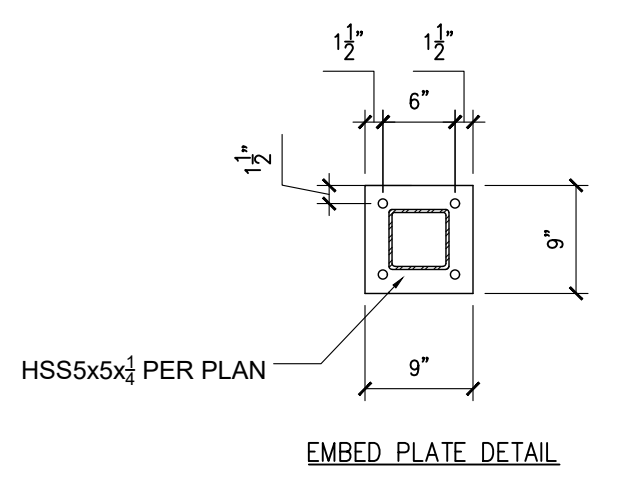
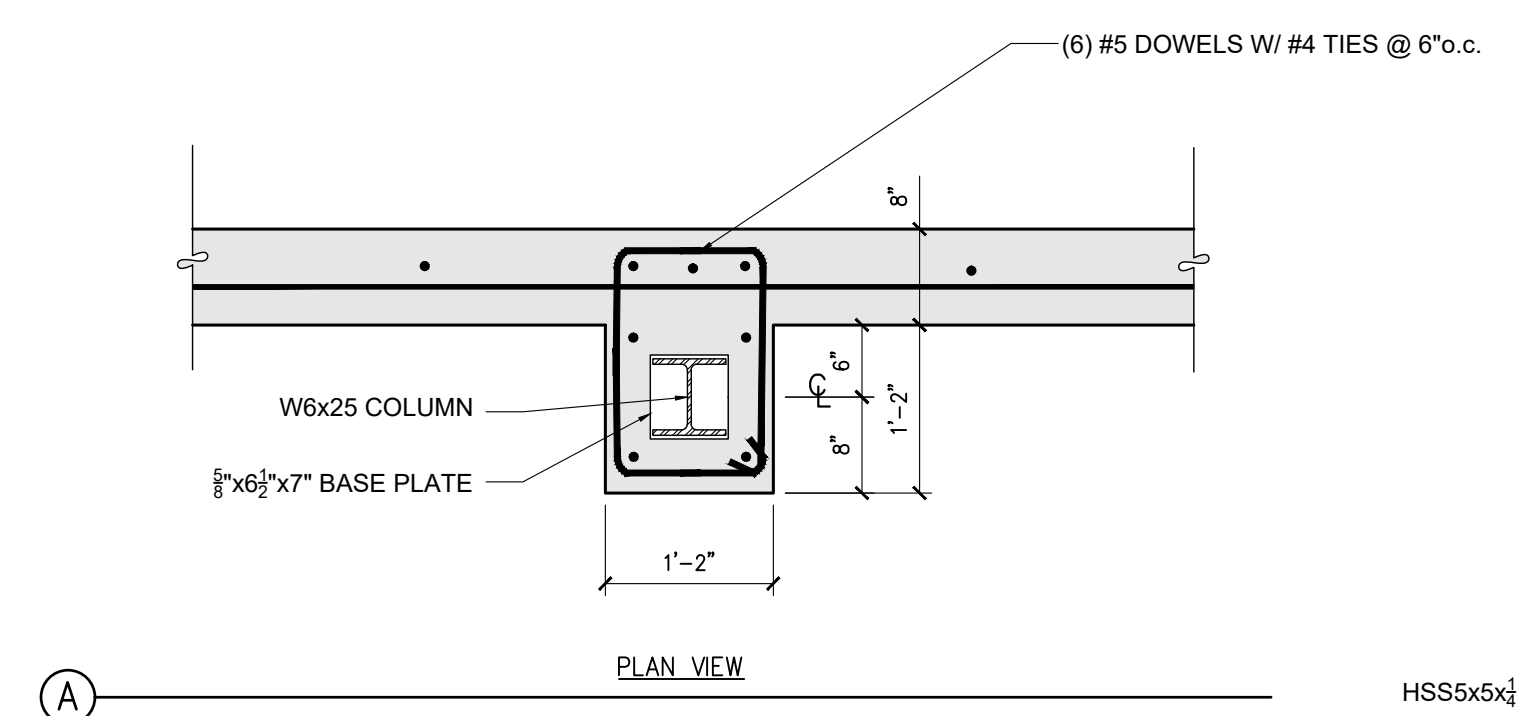
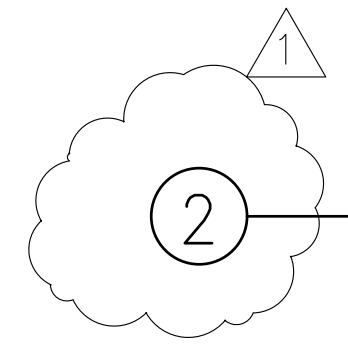


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NOTE: ORIENTATION OF W6x25 VARIES PER PLAN WALL AND FOOTING VARIES PER PLAN

NOTE: @ SIM CONDITION: VERIFY REQUIREMENTS WITH LANDSCAPE ARCH'L



SCALE: 3/4" = 1'-0" U.N.O.

ISSUE DATE
PERMIT SET: 4/2/2021
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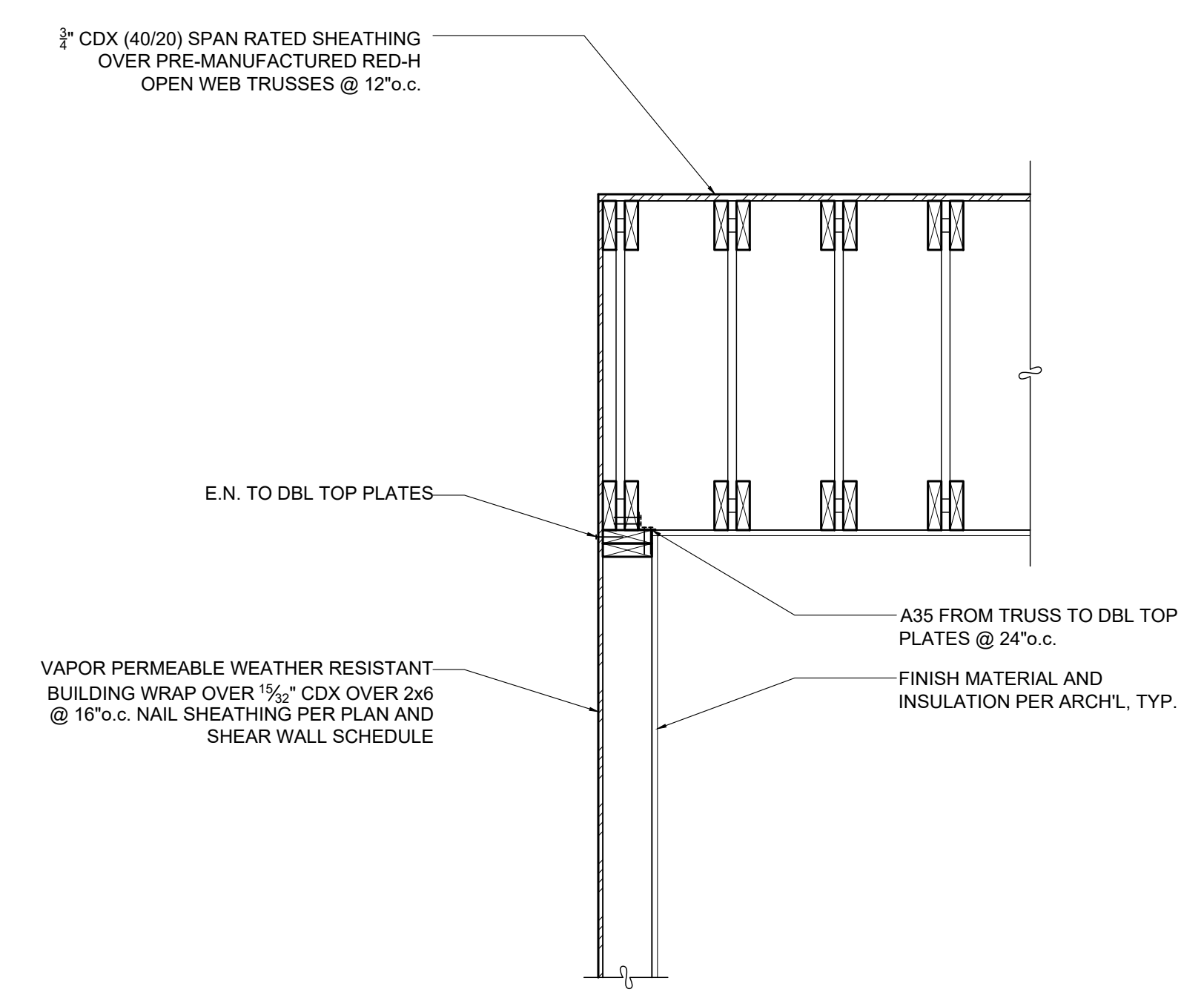


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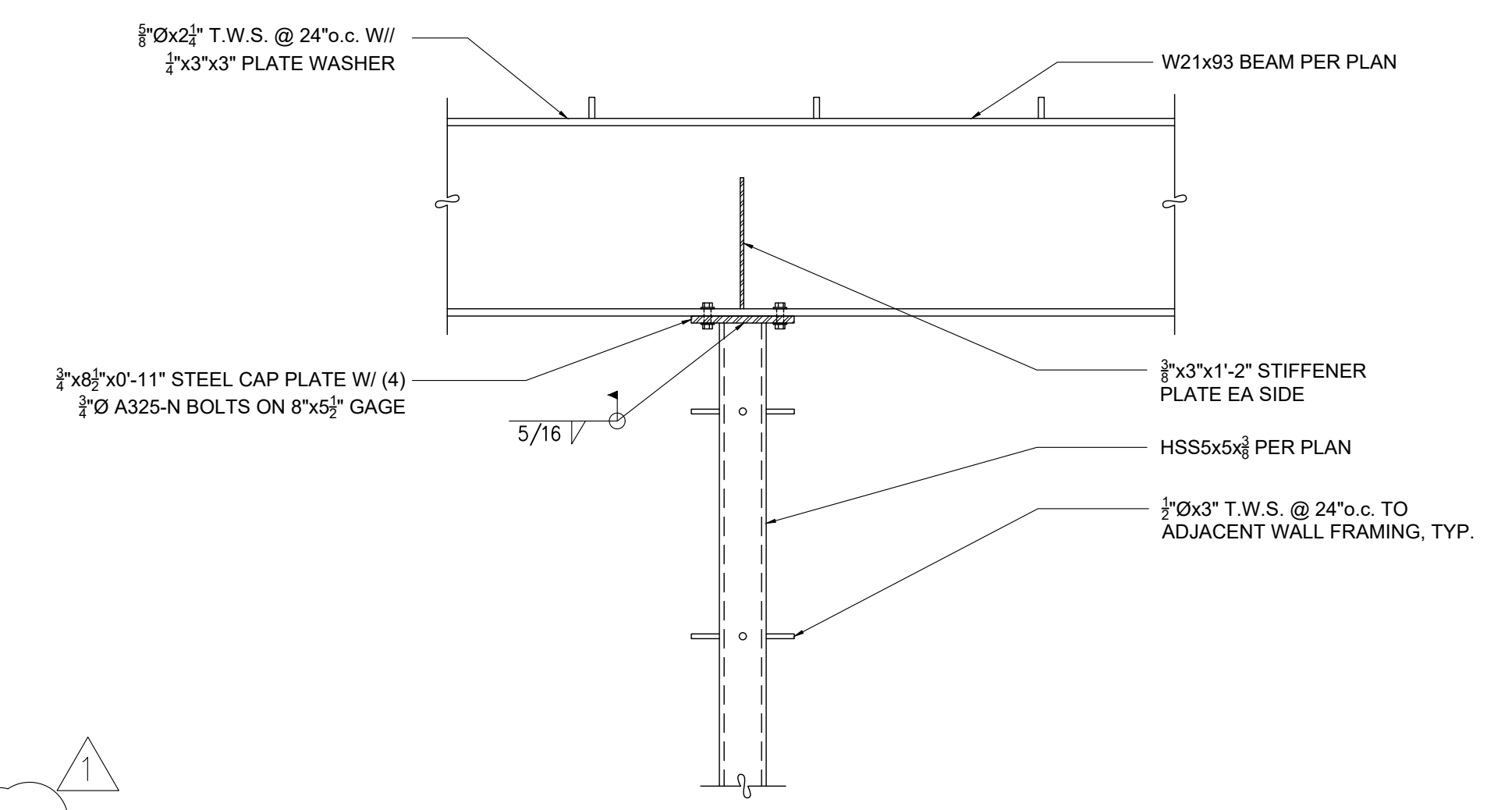


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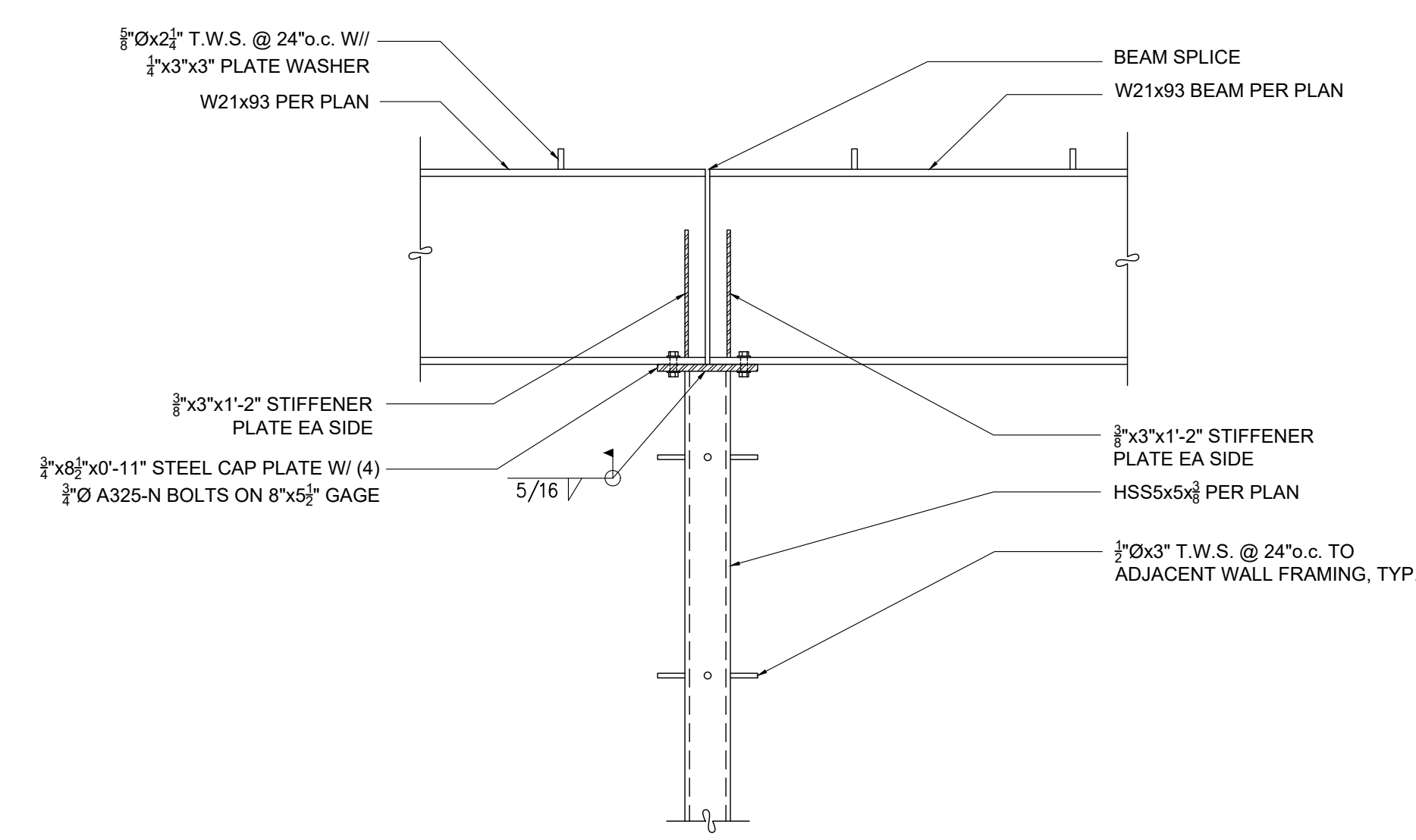
**S5.0**



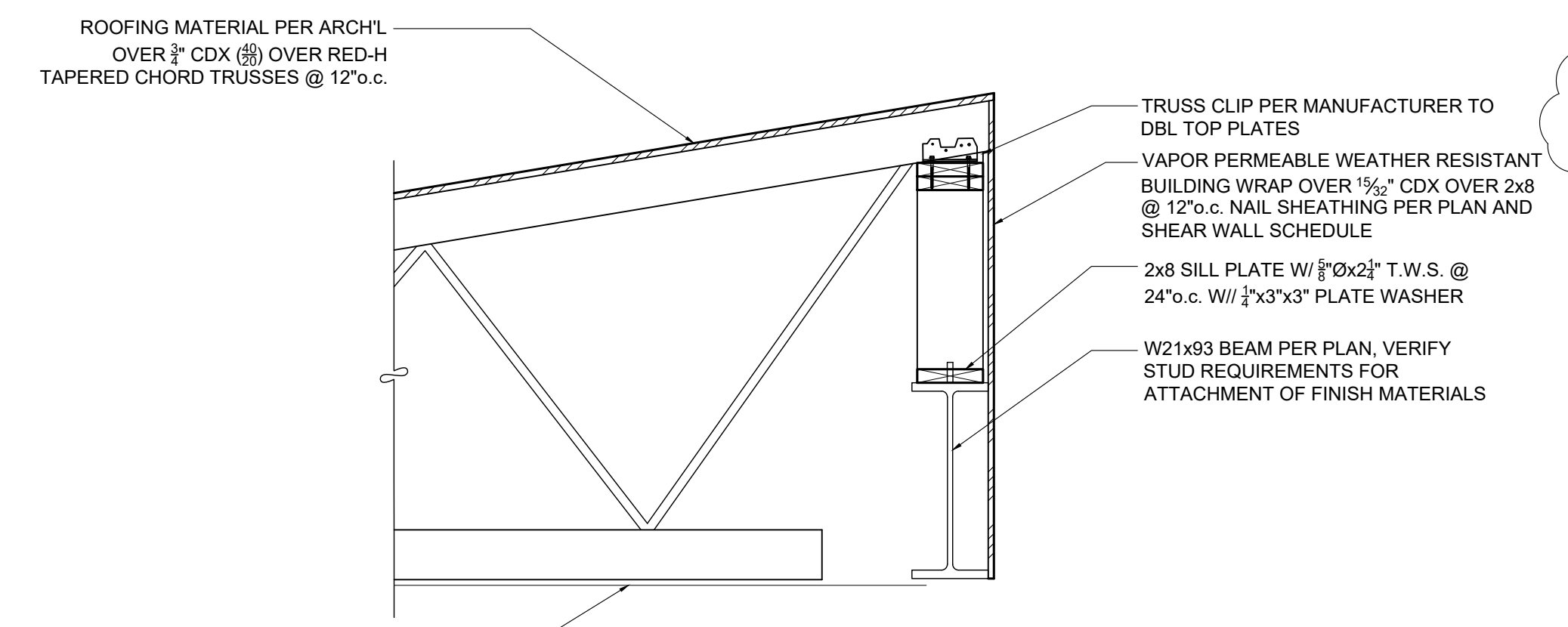
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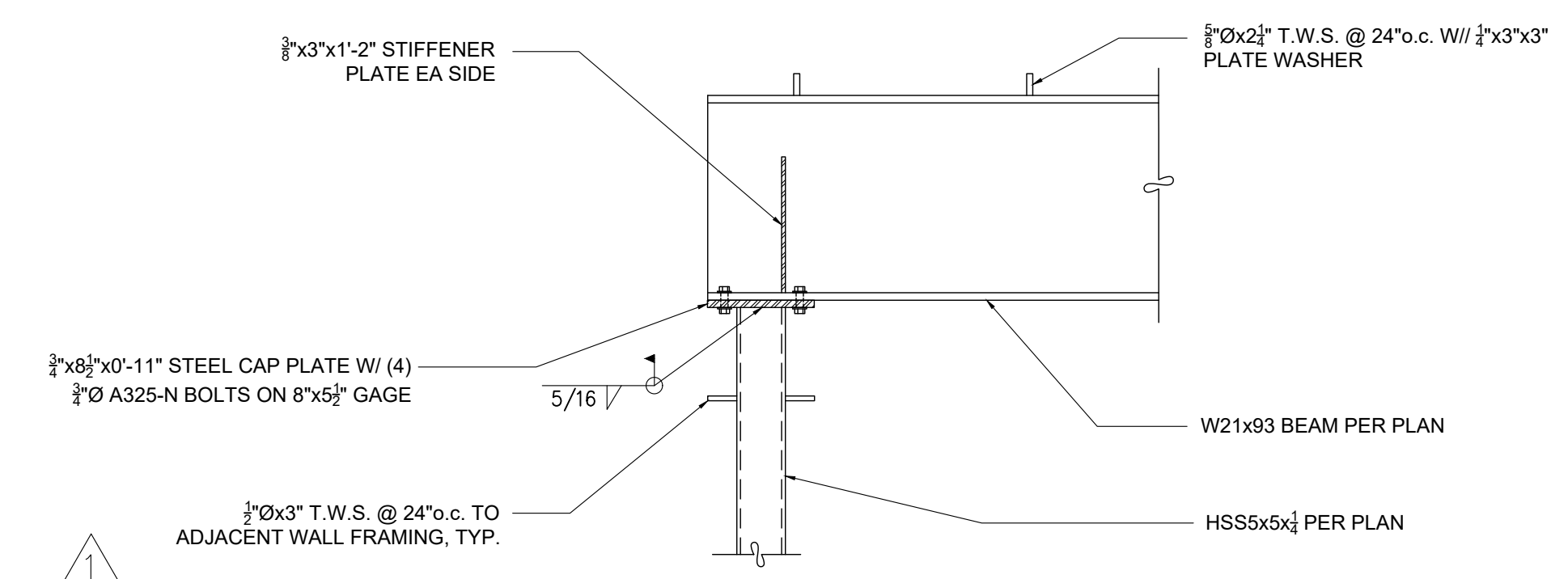
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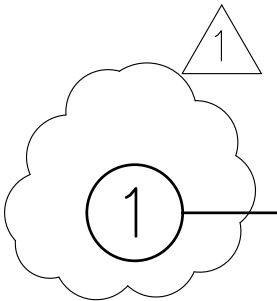
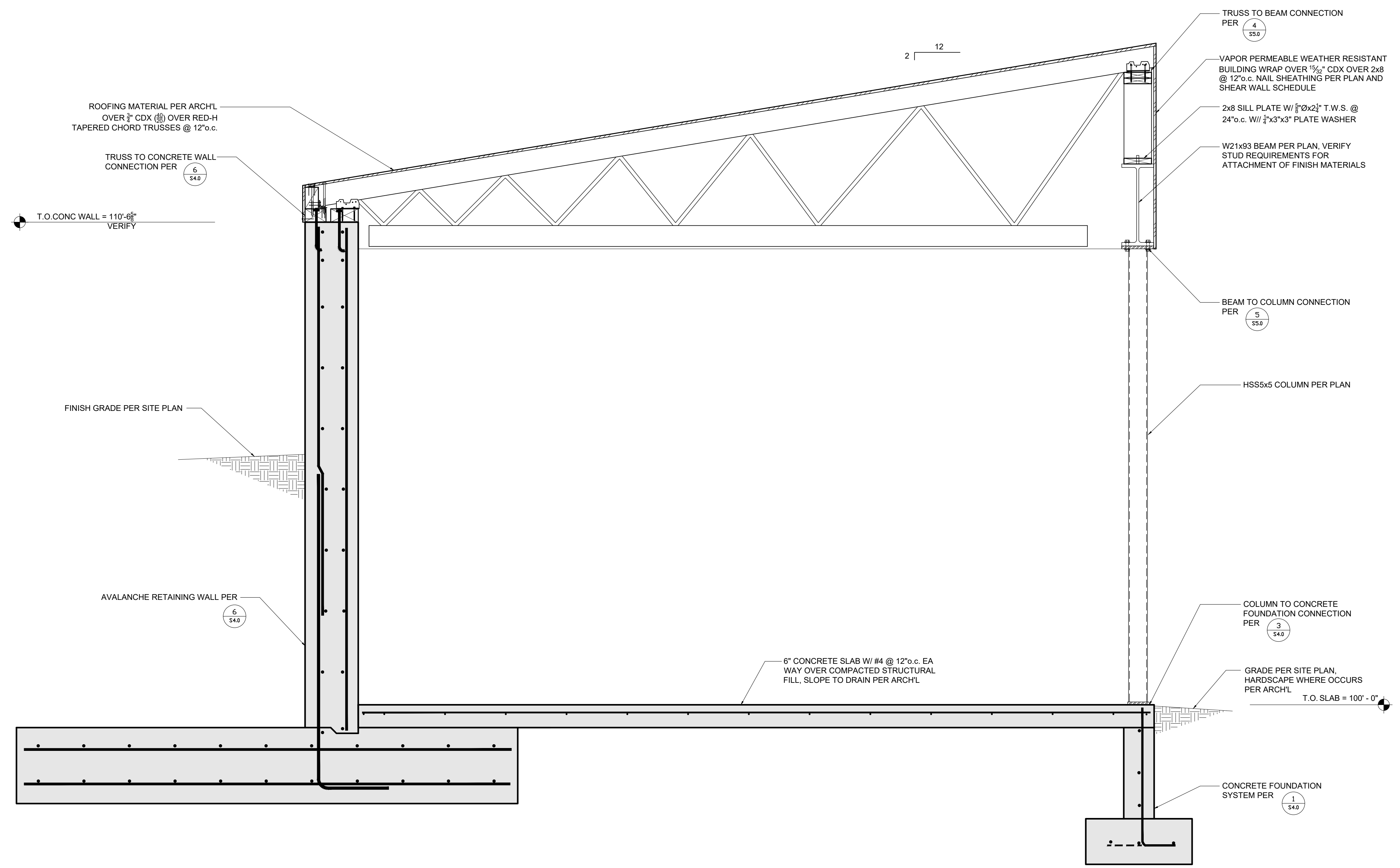


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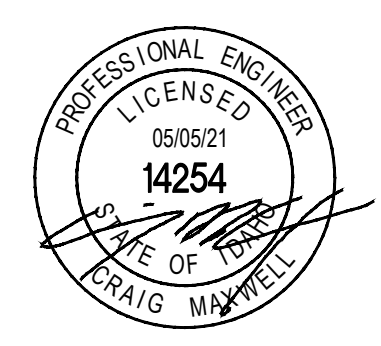
SCALE: 3/4" = 1'-0" U.N.O.

ISSUE DATE
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**S5.1**



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF NOVEMBER 9, 2021**

**PROJECT:** 380 N 1<sup>st</sup> Ave Mixed-Use Building

**FILE NUMBERS:** P21-085

**APPLICATION:** Design Review

**REPRESENTATIVE:** Williams Partners Architects

**OWNER:** Corey Street Mass LLC

**LOCATION:** 380 N 1st Avenue (Ketchum Townsite: Block 37: Lot 5)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**OVERLAY:** None

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on October 20<sup>th</sup>, 2021. The public hearing notice was published in the Idaho Mountain Express the on October 20<sup>th</sup>, 2021. A notice was posted on the City’s website on October 20<sup>th</sup>, 2021. The public hearing notice was posted on the project site on November 2<sup>nd</sup>, 2021.

**380 N 1<sup>ST</sup> AVE MIXED-USE BUILDING**

The 380 N 1<sup>st</sup> Ave Mixed-Use Building project is a 5,095-square-foot addition to the McAtee House — a historic log cabin that was constructed in the 1930s. The McAtee House was most recently occupied by the Taste of Thai restaurant. The historic cabin will be repurposed as commercial office space and the new addition will accommodate two residential units, common area, and parking garages. The project is subject to Design Review pursuant to Ketchum Municipal Code 17.96.010 for the development of the mixed-use addition.

The McAtee House is one of the 24 structures on the City’s Historic Building List. The project is subject to Historic Preservation Commission (HPC) review pursuant to Section 1.C.1 of Interim Historic Preservation Ordinance No. 1216. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List. The HPC reviewed the McAtee House Addition project on July 7<sup>th</sup>, 2021 and unanimously approved the applicant’s request to alter the historic building. The HPC’s Findings of Fact, Conclusions of Law, and Decision for the historic building addition is attached to the Staff Report as Exhibit C.



The McAtee House is a 744-square-foot log cabin that was constructed in the 1930s. The single-story rectangular building is approximately 17 feet in height and includes a gable roof. The original log cabin is representative of traditional residential architecture associated with Ketchum's early settlement period. The design characteristics of these early homes reflected their natural alpine surroundings. Many of the residences built during this time were one- and two-story rectangular structures constructed with logs cut from the surrounding forest or milled lumber from local sawmills. Common architectural features included gable roofs, overhanging eaves, and low horizontal massing.

The proposed exterior alterations to the historic building include re-finishing and staining the logs, installing new windows, and replacing the existing wood-shingles with a standing seam metal roof to comply with Fire Department requirements. These improvements will not only restore the historic integrity of the original log cabin but also help maintain the historic structure over time, improve the development's energy-efficiency, and upgrade the building to comply with current code standards.

The original log cabin will be relocated approximately 4 feet west and 4 feet north towards the corner of 1st Avenue and 4th Street. Structures are required to be setback an average of 5 feet from front and street side property lines in the CC-2 Zone (Ketchum Municipal Code §17.12.040). The relocated McAtee House will be setback approximately 10 feet from 1st Avenue and approximately 9 feet from 4th Street. Echoing traditional single-family yard areas, these proposed setbacks accommodate light and air creating a feeling of openness at the street corner.

The proposed 5,095-square-foot addition is sited at the rear of the property stepping up from the historic structure. The portion of the addition that directly borders the historic log cabin is only one-story with a maximum height of 12'-6", which is approximately 4 feet lower than the original McAtee House. This portion of the addition maintains an ample setback area along 4th Street. The addition then steps up to two-stories towards the rear of the lot by the alley and has a maximum height of 35 feet, which is 7 feet less than the maximum height permitted in the CC-2 Zone (Ketchum Municipal Code §17.12.040). This portion of the addition spans the width of the lot. The rectangular mass of the addition echoes the original log cabin's building form. The addition has flat roofing forms with projecting canopy elements. The flat roof elements highlight the preserved gable roof of the McAtee House. This project achieves compatibility without mimicry. The addition complements the historic cabin and sensitively responds to its context while maintaining its own unique design style. The project successfully distinguishes between the old and the new balancing their distinctive characteristics into one cohesive design.

Both relocating the original log cabin towards the street corner as well as concentrating the bulk of the addition towards the rear of the lot highlight the historical significance of the McAtee House. The project's scale, proportion, and site orientation complement the surrounding built environment within this downtown neighborhood. The mixed-use building will help retain Ketchum's community character by protecting the historic integrity of the McAtee House and enhancing downtown's pedestrian-oriented streetscape.

**STAFF RECOMMENDATION**

After considering the project plans, Staff’s analysis, the applicant’s presentation, and public comment, Staff recommends the Planning & Zoning Commission move to approve the 380 N 1<sup>st</sup> Ave Mixed-Use Building Design Review application. Should the Planning & Zoning Commission support the approval, Staff would return with findings and conditions reflecting the Commission’s decision. The following analysis explains Staff’s recommendation by summarizing the project’s compliance with zoning code and design review standards.

**ANALYSIS**

Staff’s comprehensive analysis is provided in Tables 1 through 3 including: (1) compliance with zoning and dimensional standards, (2) evaluation of Design Review criteria, and (3) Community Core Design Review standards analysis.

**TABLE 1: ZONING AND DIMENSIONAL STANDARDS ANALYSIS**

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			Staff Comments	Required: 5,500 square feet minimum Ketchum Townsite Block 37 Lot 5: 5,505 square feet
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<b>Floor Area Ratios and Community Housing</b>
			Staff Comments	<p><b>Permitted</b> Gross FAR in Community Core Subdistrict 2 (CC-2): 1.0 Gross FAR with Inclusionary Housing Incentive: 2.25</p> <p><b>Proposed</b> Gross Floor Area: 5,845 gross square feet</p> <p>Pursuant to the definition of gross floor area (KMC §17.08.020), four parking stalls for developments on single Ketchum Townsite lots of 5,600 sq ft or less are not included in the gross floor area calculation. The applicant has provided six parking spaces on-site. Staff has discounted 3 parking stalls [3 x parking stall dimension pursuant to KMC §17.125.030(9 x 18)= 486 square feet] from the gross floor area calculation for the 3 parking spaces provided on site.</p> <p>Gross Floor Area with Parking Discount: 5,359 square feet Lot Area: 5,505 square feet Proposed FAR: 0.97 (5,359 gross sq ft/5,505 sq ft lot area)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			Staff Comments	<p><b>Required</b> Front &amp; Street Side: 5’ average Rear Side Adjacent to an Alleyway: 3’ Interior Side: 0’</p>



				<p>Cantilevered decks and overhangs: 0'</p> <p>Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: 10'</p> <p><b>Proposed Building Setbacks</b></p> <p>The applicant has indicated the proposed setbacks on Sheet A2.1 of the project plans.</p> <p>Front (First Avenue): 10'-6" to 72'-3"</p> <p>Street Side: (4<sup>th</sup> Street): 0' to 55'</p> <p>Rear Side (adjacent to alleyway): 3'-3"</p> <p>Interior Side: 0'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.040</b>	<b>Maximum Building Heights</b>
			<b>Staff Comments</b>	<p><b>Maximum Permitted Building Height:</b> 42 feet</p> <p><b>Proposed Maximum Building Height:</b> 35 feet</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.125.030H</b>	<b>Curb Cut</b>
			<b>Staff Comments</b>	<p><b>Permitted</b></p> <p>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p><b>Proposed</b></p> <p>The parking area is located off the Block 37 alley. No curb cuts along 4<sup>th</sup> Street or 1<sup>st</sup> Avenue are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<b>Parking Spaces</b>
			<b>Staff Comments</b>	<p><b>Required (KMC §17.125.040)</b></p> <p>Multi-Family Dwelling Units in CC Zone</p> <p>Units 750 square feet or less: 0 parking spaces</p> <p>Units 751 square feet to 2,000 square feet: 1 parking space</p> <p>Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><b>Project Parking Demand</b></p> <p>Residential Unit 1 (750 square feet): 0 parking spaces</p> <p>Residential Unit 2 (2,164 square feet): 2 parking spaces</p> <p>Office (848 square feet): 1 parking space</p> <p>Total Parking Demand: 3 Parking Spaces (2 residential &amp; 1 commercial)</p> <p><b>Proposed Off-Street Parking</b></p> <p>3 parking spaces, including 1 ADA van accessible, spaces are provided on-site within enclosed garages accessed from the alley.</p>

TABLE 2: DESIGN REVIEW STANDARDS ANALYSIS

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	The subject property has existing street frontage along 4 <sup>th</sup> Street and 1 <sup>st</sup> Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	No changes to the lanes of travel or the streets design are proposed with this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	The applicant has proposed to install new heated, paver sidewalks along 4 <sup>th</sup> Street and 1 <sup>st</sup> Avenue (Project Plans: Sheets C1.1 and C.12).  Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	The applicant will install new heated, paver sidewalks along both 1 <sup>st</sup> Avenue and 4 <sup>th</sup> Street.  Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.  <u>Applicant’s Design Review Standards Evaluation Comments</u> <i>The sidewalk along Fourth Street is proposed to be 12’ wide to meet the Fourth Street Pedestrian Corridor Standards, which match the project under construction at the southwest corner of 1st and 4th. The sidewalk along First Avenue is proposed to be 8’ wide to meet City Street Standards. A bulb-out at First Avenue also mimics the bulb-out designed for the project under construction to the west.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul>



			<b>Staff Comments</b>	N/A as sidewalks are required for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B4 Sidewalks</b>	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Staff Comments</b>	The proposed sidewalk improvements are equal to the length of property's street frontages along 1 <sup>st</sup> Avenue and 4 <sup>th</sup> Street.  <u>Applicant's Design Review Standards Evaluation Comments</u> <i>The length of sidewalk improvements is equal to the length of the subject property lines. The 12' sidewalk width at Fourth Street tapers down to meet the adjacent curb line at the alley and in front of Board Bin within the length of the subject property line. The 8' sidewalk width at First Street tapers down to meet the adjacent curb line in front of The Open Room beyond the length of the subject property line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<b>Staff Comments</b>	The proposed sidewalk design connects with existing sidewalks along 1 <sup>st</sup> Avenue and 4 <sup>th</sup> Street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<b>Staff Comments</b>	N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<b>All storm water shall be retained on site.</b>
			<b>Staff Comments</b>	All storm water shall be retained on site. Sheets C1.1 and L-2.0 of the project plans indicate the proposed drainage improvements. The drainage plan is comprised of a system of catch basins and drywells.  <u>Applicant's Design Review Standards Evaluation Comments</u> <i>All drainage at the roofs and upper floor terraces will be collected via roof drains and gutters and hard piped to the two drywells shown on site. Channel drains at the alley apron and paver areas will also hard pipe to the on-site drywells. Landscaped areas slope to three on-site catch basins.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			Staff Comments	Drainage improvements shall be equal to the length of the property lines along 1 <sup>st</sup> Avenue and 4 <sup>th</sup> Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.  Final civil drawings for all drainage improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			Staff Comments	The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	<b>Drainage facilities shall be constructed per City standards.</b>
			Staff Comments	All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			Staff Comments	All utilities necessary for the project shall be improved and installed at the sole expense of the applicant.  The applicant has provided letters from Intermountain Gas Company and Idaho Power verifying the availability of existing infrastructure to serve the development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			Staff Comments	All utilities within the development site shall be underground and concealed from public view. Sheet A4.2 shows that the electric and gas meters are located at the rear façade within an alcove.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			Staff Comments	The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E1 Compatibility of Design</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<b>Staff Comments</b>	<p>The materials board is included on Sheet A5.2 of the project plans.</p> <p>The proposed exterior materials include:</p> <ul style="list-style-type: none"> <li>• natural/warm beige stucco</li> <li>• board-formed concrete site walls</li> <li>• black aluminum clad windows</li> <li>• tan/grey EPDM flat roof</li> <li>• grey standing seam metal sloped roof</li> <li>• natural wood soffit</li> <li>• light tan wood rainscreen siding</li> <li>• tan/grey stone veneer walls</li> <li>• black steel</li> </ul> <p>The proposed exterior alterations to the historic building include re-finishing and staining the logs, installing new windows, and replacing the existing wood-shingles with a standing seam metal roof to comply with Fire Department requirements. These improvements will not only restore the historic integrity of the original log cabin but also help maintain the historic structure over time, improve the development's energy-efficiency, and upgrade the building to comply with current code standards.</p> <p>The addition's exterior materials complement the historic log cabin and are compatible with the surrounding built environment.</p> <p><u>Applicant's Design Review Standards Evaluation Comments</u>  <i>The project's materials and colors are complementary with the townscape, surrounding neighborhoods, and adjoining structures. The existing cabin will be refinished from a painted finish to a natural stain, which is likely the original finish of the cabin. The roof will be replaced with a medium grey standing seam metal roof. The addition contains four primary materials, which include a horizontal wood rainscreen siding with a natural wood finish, stone veneer, black steel accents, and a portion of medium grey standing seam roof. The proposed palette at the addition seeks to mimic the tones and character of the horizontal logs, utilizing traditional materials such as wood and stone. Signing on site will be minimal, limited to building addressing and vinyl window signs at each of the two entries. The surrounding neighborhood is primarily 1- to 3-story stucco or wood-sided buildings of tan colors. The adjacent Open Room building is wood lap siding currently painted blue. The adjacent Board Bin building is board and batten siding also currently painted blue.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E2 Compatibility of Design</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives</b>

				<b>historical and/or cultural importance to the neighborhood and/or community.</b>
			<b>Staff Comments</b>	The McAtee House is one of the 24 structures on the City’s Historic Building List. The project is subject to Historic Preservation Commission (HPC) review pursuant to Section 1.C.1 of Interim Historic Preservation Ordinance No. 1216. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List. The Historic Preservation Commission reviewed the McAtee House Addition project on July 7 <sup>th</sup> , 2021 and unanimously approved the applicant’s request to alter the historic building. The addition project will restore and repurpose the McAtee House.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E3 Compatibility of Design</b>	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<b>Staff Comments</b>	This project achieves compatibility without mimicry. The addition complements the historic cabin and sensitively responds to its context while maintaining its own unique design style. The project successfully distinguishes between the old and the new balancing their distinctive characteristics into one cohesive design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F1 Architectural</b>	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<b>Staff Comments</b>	The main entrance to the office is located at the front façade of the McAtee House. The entrance leads to a heated, paver pathway connecting to the sidewalk along 4 <sup>th</sup> Street. The entrance to the repurposed historic cabin is defined by a gable roof element. An additional entrance to the mixed-use building is provided along 1 <sup>st</sup> Avenue. This entrance leads to a common area corridor with entrances to the office and the first-floor residential unit. The entrance along 1 <sup>st</sup> Avenue is defined by a flat, projecting roof.  <u>Applicant’s Design Review Standards Evaluation Comments</u> <i>The building has two pedestrian entrances, which are each flanked by two 6- foot long board-formed site walls. The main entry to the office space in the existing McAtee cabin will be off of First Avenue. The entry door is defined by a small gable form. The common area entry is located off of Fourth Street, which will access both of the residential units and the office space. The entry door is defined and protected by a flat, projecting roof.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<b>Staff Comments</b>	The McAtee House is a 744-square-foot log cabin that was constructed in the 1930s. The single-story rectangular building is approximately 17 feet in height and includes a gable roof. The original log cabin is representative of traditional residential architecture associated with Ketchum’s early settlement period. The design characteristics of these early homes reflected their natural alpine



				<p>surroundings. Many of the residences built during this time were one- and two-story rectangular structures constructed with logs cut from the surrounding forest or milled lumber from local sawmills. Common architectural features included gable roofs, overhanging eaves, and low horizontal massing.</p> <p>The rectangular mass of the addition echoes the original log cabin's building form. The addition has flat roofing forms with projecting canopy elements. The flat roof elements highlight the preserved gable roof of the McAtee House. This project achieves compatibility without mimicry. The addition complements the historic cabin and sensitively responds to its context while maintaining its own unique design style. The project successfully distinguishes between the old and the new balancing their distinctive characteristics into one cohesive design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<b>Staff Comments</b>	This project achieves compatibility without mimicry. The addition complements the historic cabin and sensitively responds to its context while maintaining its own unique design style. The project successfully distinguishes between the old and the new balancing their distinctive characteristics into one cohesive design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F4 Architectural</b>	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<b>Staff Comments</b>	<p>The iron fence panels and concrete site walls provide a sense of privacy while still cultivating an inviting streetscape.</p> <p><u>Applicant's Design Review Standards Evaluation Comments</u>  <i>A fence around the west and north sides of the property line will be similar to the existing wrought iron fence panels along the First Avenue property line. Board-formed concrete site walls define the two entries, melding the traditional nature of the fence with a more contemporary site wall. Both styles complement the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F5 Architectural</b>	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<b>Staff Comments</b>	<p>The original log cabin will be relocated approximately 4 feet west and 4 feet north towards the corner of 1st Avenue and 4th Street. Structures are required to be setback an average of 5 feet from front and street side property lines in the CC-2 Zone (Ketchum Municipal Code §17.12.040). The relocated McAtee House will be setback approximately 10 feet from 1st Avenue and approximately 9 feet from 4th Street. Echoing traditional single-family yard areas, these proposed setbacks accommodate light and air creating a feeling of openness at the street corner.</p> <p>The proposed 5,095-square-foot addition is sited at the rear of the property stepping up from the historic structure. The portion of the addition that directly borders the historic log cabin is only one-story</p>

				with a maximum height of 12'-6", which is approximately 4 feet lower than the original McAtee House. This portion of the addition maintains an ample setback area along 4th Street. The addition then steps up to two-stories towards the rear of the lot by the alley and has a maximum height of 35 feet, which is 7 feet less than the maximum height permitted in the CC-2 Zone (Ketchum Municipal Code §17.12.040). This portion of the addition spans the width of the lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<b>Building(s) shall orient towards their primary street frontage.</b>
			<b>Staff Comments</b>	<p>The original log cabin will be relocated approximately 4 feet west and 4 feet north towards the corner of 1st Avenue and 4th Street. Structures are required to be setback an average of 5 feet from front and street side property lines in the CC-2 Zone (Ketchum Municipal Code §17.12.040). The relocated McAtee House will be setback approximately 10 feet from 1st Avenue and approximately 9 feet from 4th Street. Echoing traditional single-family yard areas, these proposed setbacks accommodate light and air creating a feeling of openness at the street corner.</p> <p>Both relocating the original log cabin towards the street corner as well as concentrating the bulk of the addition towards the rear of the lot highlight the historical significance of the McAtee House. The project's scale, proportion, and site orientation complement the surrounding built environment within this downtown neighborhood. The mixed-use building will help retain Ketchum's community character by protecting the historic integrity of the McAtee House and enhancing downtown's pedestrian-oriented streetscape.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F7 Architectural</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<b>Staff Comments</b>	The garbage and recycling area is proposed to be located at the rear of the building and will be accessed from the alley. The applicant has provided a letter from Clear Creek Disposal approving the proposed garbage disposal configuration.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F8 Architectural</b>	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<b>Staff Comments</b>	<p>The historic cabin's gable roofs include snow retention devices and gutters. The flat, projecting roof provides weather protection at the building's 1<sup>st</sup> Avenue entrance.</p> <p><u>Applicant's Design Review Standards Evaluation Comments</u>  <i>The gable roof of the cabin will include the addition of snow retention bars and gutters at the eaves. The flat roofs of the addition will not shed snow or drip water outside of the building perimeter. The drainage of these flat roofs will happen internally via roof drains hard-piped to on-site drywells. The low-slope roof above the second floor</i></p>



				<i>residential unit's terrace will also have snow retention bars and gutters at the eaves.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G1 Circulation Design</b>	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<b>Staff Comments</b>	This standard has been met by the proposed sidewalk improvements. The new sidewalks will connect to existing sidewalks along 4 <sup>th</sup> Street and 1 <sup>st</sup> Avenue, which extend to the downtown pedestrian network.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.G2</b>	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<b>Circulation Design</b>	N/A. No awnings extending over public sidewalks are proposed with the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G3 Circulation Design</b>	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<b>Staff Comments</b>	Vehicle access to the enclosed garages is provided from the alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 4 <sup>th</sup> Street or 1 <sup>st</sup> Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists.  Pedestrian and bicycle access to the building is provided from an internal circulation system of concrete pathways that connect to the public sidewalks along 4 <sup>th</sup> Street and 1 <sup>st</sup> Avenue.  Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.G4 Circulation Design</b>	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<b>Staff Comments</b>	N/A as no curb cuts or driveway entrances are proposed along 4 <sup>th</sup> Street or 1 <sup>st</sup> Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G5 Circulation Design</b>	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<b>Staff Comments</b>	Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 37 alley, 4 <sup>th</sup> Street, and 1 <sup>st</sup> Avenue. The applicant has submitted a letter from Clear Creek Disposal approving the garbage disposal configuration.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H1 Snow Storage</b>	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<b>Staff Comments</b>	All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing a snow storage areas on site by KMC §17.96.060.H4.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H2 Snow Storage</b>	<b>Snow storage areas shall be provided on-site.</b>
			<b>Staff Comments</b>	The applicant has proposed to snowmelt all hardscape areas, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H3 Snow Storage</b>	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</b>
			<b>Staff Comments</b>	N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H4 Snow Storage</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<b>Staff Comments</b>	All improved hardscape areas are proposed to be heated with a snowmelt system instead of providing snow storage areas on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I1 Landscaping</b>	<b>Landscaping is required for all projects.</b>
			<b>Staff Comments</b>	The landscape plan is indicated on Sheet L-3.0 of the project plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I2 Landscaping</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<b>Staff Comments</b>	<p>Landscape vegetation types include:</p> <ul style="list-style-type: none"> <li>• evergreen trees (Subalpine Fir and Tannenbaum Pine)</li> <li>• Russian Hawthorns</li> <li>• Shrubs</li> <li>• Perennials</li> <li>• Ornamental grasses</li> <li>• Fescue lawn</li> <li>• Red Rocket Maple street trees</li> </ul> <p>The proposed landscaping will beautify the open space within the project site and complement the surrounding neighborhood.</p> <p>The landscape plan shall meet requirements for microclimate, soil conditions, orientation, and aspect.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I3 Landscaping</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<b>Staff Comments</b>	All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The subject property is surrounded by compatible uses within the Community Core Zone. The vegetation will enhance the pedestrian-friendly streetscape.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	Benches are provided within the sidewalks along 1 <sup>st</sup> Avenue and 4 <sup>th</sup> Street.  All amenities proposed within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.  Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.

Table 3: Community Core Design Review Standards Analysis

Community Core Design Review Improvements and Standards (KMC 17.96.070)				
Yes	No	N /A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			Staff Comments	The placement of all street trees, streetlights, and street furnishings requires review and approval by the City Engineer.  6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the public right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.  Final civil drawings for all associated ROW and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.

			<b>Staff Comments</b>	Sheet L-3.0 specifies that the proposed Red Rocket Maple street trees will be 4-inches caliper and installed within tree grates.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(A)(3)</b>	<b>Due to site constraints, the requirements of this subsection 17.96.070(A) may be modified by the Public Works Department.</b>
			<b>Staff Comments</b>	Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Modification to the requirements of KMC §17. 96.070.A may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the building permit application. The final civil drawings, including the streetscape, sidewalk, utilities, and drainage plans, shall be reviewed and approved by the City Engineer, Streets Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(B)(1)</b>	<b>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</b>
			<b>Staff Comments</b>	<u>Applicant's Design Review Standards Evaluation Comments</u> <i>All three facades facing the street and alley are designed with both solid surfaces and window openings to avoid the creation of blank walls. Protruding steel accents frame some of the windows and doors and add depth to the facades. Horizontal wood rainscreen siding is meant to complement the horizontal logs of the existing McAtee cabin in both orientation and color tone. A medium grey standing seam metal roof is proposed to be installed at both the existing cabin and the second floor terrace overhang at the addition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(B)(2)</b>	<b>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</b>
			<b>Staff Comments</b>	<u>Applicant's Design Review Standards Evaluation Comments</u> <i>The office use that will take place in the McAtee cabin will not incorporate storefront windows in order to maintain the integrity of the historic structure. The existing windows and doors will be replaced with a like style.</i>  <i>The new common area entry accessed from Fourth Street will employ a 9' tall x 15'-3" wide section of glazing, consisting of a fully glazed door and two windows at each side of the door. Muntin bars are proposed in the windows to match the style of the double-hung windows at the cabin. Both entries incorporate ground-level planting beds.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(B)(3)</b>	<b>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</b>
			<b>Staff Comments</b>	<u>Applicant's Design Review Standards Evaluation Comments</u>



				<i>The office use that will take place in the McAtee cabin will not incorporate storefront windows in order to maintain the integrity of the historic structure. The existing windows and doors will be replaced with a like style. The existing design of the front façade of the cabin does not obscure views into the windows.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(B)(4)</b>	<b>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</b>
			<b>Staff Comments</b>	The addition has flat roofing forms with projecting canopy elements. The flat roof elements highlight the preserved gable roof of the McAtee House. This project achieves compatibility without mimicry. The addition complements the historic cabin and sensitively responds to its context while maintaining its own unique design style. The project successfully distinguishes between the old and the new balancing their distinctive characteristics into one cohesive design.  <u>Applicant’s Design Review Standards Evaluation Comments</u> <i>A medium grey standing seam metal roof will replace the existing wood shake roof at the McAtee cabin. The metal roof will be a class ‘A’ roof to meet Ketchum Fire requirements and to create a more fire-wise structure. The gabled roofing form will remain. Flat roofs cover a majority of the addition, which will be covered in rock ballast. A low-slope roof form will cover a portion of the terrace at the second floor residential unit. This roof will incorporate the same medium grey standing seam metal roof material of the cabin. A material sample will be provided. While this material is metal, I do not believe it to be especially reflective.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(B)(5)</b>	<b>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</b>
			<b>Staff Comments</b>	The historic cabin’s gable roofs include snow retention devices with gutters and downspouts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.070(B)(6)</b>	<b>Roof overhangs shall not extend more than three (3’) feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</b>
			<b>Staff Comments</b>	N/A as no overhangs are proposed to encroach over the property line into the adjacent ROW.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.070(B)(7)</b>	<b>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</b>
			<b>Staff Comments</b>	N/A as no front porches or stoops are proposed on the ground level.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(C)(1)</b>	<b>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.</b>
			<b>Staff Comments</b>	The trash disposal area is located at the rear of the building and accessed from the alley. The trash and recycling area will be located

				within an alcove that screens the garbage disposal area from public view.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	<b>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</b>
			Staff Comments	<u>Applicant's Design Review Standards Evaluation Comments</u> <i>Electrical and gas meters are located within alcoves off the alley. Any roof-mounted equipment will be screened from public view with a screen compatible with the overall building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	<b>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</b>
			Staff Comments	<u>Applicant's Design Review Standards Evaluation Comments</u> <i>See sheet L-1.0 and L-3.0. A crabapple and chokecherry tree will be removed along the First Avenue property line. Two spruce and a grouping of (2) aspen will be removed along the Fourth Street property line. They are proposed to be replaced with four Red Rocket Maple street trees and (8) trees on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	<b>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</b>
			Staff Comments	The applicant has proposed 3 street trees within the ROW along 4 <sup>th</sup> Street and 1 street tree within the ROW along First Avenue. The street trees are proposed to be installed in tree wells with Silva Cells and covered by tree grates. Streetscape improvements must be indicated on civil plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(3)	<b>The city arborist shall approve all parking lot and replacement trees.</b>
			Staff Comments	No surface parking lot is proposed with this project.  The applicant shall coordinate with the City Arborist regarding the placement of the replacement trees.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	<b>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</b>
			Staff Comments	N/A. No surface parking lot is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	<b>Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</b>
			Staff Comments	N/A. The project does not include a surface parking lot. On-site parking is provided within enclosed garages accessed from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	<b>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</b>



			<b>Staff Comments</b>	The landscape plan includes planting beds with perennials and ornamental grasses. The 4 street trees are proposed to be installed in tree wells and covered by grates.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(F)(1)</b>	<b>One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.</b>
			<b>Staff Comments</b>	The development generates a parking demand of 3 spaces. 1 bike rack accommodating 2 bikes is required for the project. Two inverted U bike racks are located adjacent to the site walls along 1 <sup>st</sup> Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.070(F)(2)</b>	<b>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.</b>
			<b>Staff Comments</b>	1 bike rack is required. The fraction of the calculation is not equal to or greater than one-half.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(F)(3)</b>	<b>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</b>
			<b>Staff Comments</b>	The 2 bike racks are visible from 1 <sup>st</sup> Avenue and have unobstructed access from the public right-of-way.

### STAFF RECOMMENDATION

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Planning & Zoning Commission move to approve the 380 N 1<sup>st</sup> Ave Mixed-Use Building Design Review application. Should the Planning & Zoning Commission support the approval, Staff would return with findings and conditions reflecting the Commission's decision.

### RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 1, 2, and 3.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.

4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, circulation design, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
5. Prior to issuance of a Certificate of Occupancy for the project, the applicant shall secure a Right-of-Way Encroachment Permit from the City for the proposed pavers and snowmelt system within the public right-of-way. The ROW Encroachment Permit requires review by the Streets Department and City Engineer and final approval by the Ketchum City Council.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
7. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the mixed-use development.
8. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
9. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards for review and approval by the Building, Planning, Streets, Utilities, and Fire departments.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**EXHIBITS:**

- A. 380 N 1<sup>st</sup> Ave Mixed-Use Building Project Plans
- B. Design Review Application & Supplemental Materials (Idaho Power, Clear Creek Disposal, and Intermountain Gas Letters & Applicant's Design Review Standards Evaluation Comments)
- C. HPC Findings of Fact, Conclusions of Law, and Decision
- D. Public Comment



Exhibit A  
380 N 1st Ave  
Mixed-Use Building  
Project Plans



# 380 N. 1ST AVE. MIXED-USE BUILDING

**Owner:**  
Corey Streey Mass, LLC  
11361 Farlin Street  
Los Angeles, California 90049

**Architect:**  
Williams | Partners Architects  
Jeff Williams: jeff@williams-partners.com  
P.O. Box 4373  
Ketchum, ID 83340  
Ph. 208.726.0020  
Fax 208.726.0019

**Landscape Architect:**  
Landwork Studio LLC  
Rob King: rob@landworkstudio.com  
P.O. Box 300  
Ketchum, ID 83340  
Ph. 208.726.5331

**Civil Engineer:**  
Galena Engineering, Inc  
Sean Flynn: sflynn@galena-engineering.com  
317 N. River Street  
Hailey, ID 83333  
Ph. 208.788.1705

**Electrical Consultant:**  
Systems West  
Ross Williams: ross@syswest.com  
1157 Shoreline Drive  
San Mateo, CA 94404

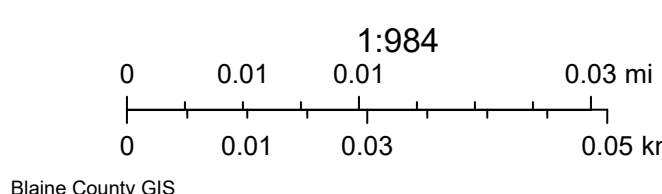
**General Contractor:**  
Grabher Construction  
P.O. Box 507  
Sun Valley, ID 83353  
Ph. 208.726.3916  
Fax 208.726.9081



March 18, 2021

## Satellite View

380 North First Avenue, Ketchum, Idaho



Blaine County GIS

Made by: Blaine County GIS

## Land Use Information Map

## PROJECT INFORMATION

<b>LEGAL DESCRIPTION:</b>	LOT 5, BLOCK 37 KETCHUM
<b>ADDRESS:</b>	380 NORTH FIRST AVENUE KETCHUM, ID 83340
<b>ZONING:</b>	CC, SD 2 (COMMUNITY CORE, SUBDISTRICT 2: MIXED USE)
<b>SETBACKS:</b>	FRONT AND STREET SIDE: 5' AVERAGE INTERIOR SIDE: 0' ADJACENT TO ALLEYWAY: 3'
<b>MAX BUILDING HEIGHT:</b>	42' [AVERAGE FRONT PROPERTY LINE ELEVATION = 5827.2' AVERAGE REAR PROPERTY LINE ELEVATION = 5827.05' MAX HEIGHT = 42' + 5827.05' = 5869.05']
<b>CONSTRUCTION TYPE:</b>	V-B (IBC SECTION 602.5)
<b>OCCUPANCY:</b>	OFFICE: BUSINESS GROUP B (IBC 304.1), (2) RESIDENTIAL UNITS (APARTMENTS): RESIDENTIAL GROUP R-3 (IBC 310.4), GARAGES: UTILITY AND MISCELLANEOUS GROUP U (IBC 312) *BUILDING WILL NOT BE CONDOMINIUMIZED.

## PROJECT INFORMATION

<b>BUILDING AREA:</b>	<b>FIRST FLOOR</b>	
	EXISTING (OFFICE):	742 S.F.
	NEW (OFFICE):	106 S.F.
	NEW COMMON SPACE:	442 S.F.
	NEW COMMON PARKING:	774 S.F.
	NEW UNIT 1 LIVING:	750 S.F.
	NEW UNIT 2 GARAGE:	490 S.F.
	NEW UNIT 2 LIVING:	175 S.F.
	<b>SUB-TOTAL:</b>	<b>3,479 S.F.</b>
	<b>SUB-TOTAL TOWARDS F.A.R.:</b>	
	THREE PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 S.F. IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION [3,479 S.F. - (3 x (9 x 18)) = 2,993 S.F.]	
	<b>SECOND FLOOR</b>	
	UNIT 2 LIVING:	1,951 S.F.
	TERRACE:	710 S.F.
	<b>THIRD FLOOR</b>	
	UNIT 2 LIVING:	38 S.F.
	COMMON MECHANICAL:	377 S.F.
	TERRACE:	792 S.F.

<b>TOTAL REMODEL (EXISTING CABIN):</b>	742 S.F.
<b>TOTAL NEW:</b>	5,103 S.F.
<b>TOTAL G.S.F. (INCLUDING GARAGES):</b>	5,845 S.F.
<b>TOTAL TOWARDS F.A.R.:</b>	5,359 S.F.
	[5,359 / 5,505 = 0.97 F.A.R.]

<b>SITE AREA:</b>	0.126 ACRES (5,505 S.F.)
<b>PARKING ROOMS:</b>	UNIT 1 (750 S.F. OR LESS): 0 SPACES UNIT 2 (2,001 S.F. AND ABOVE): 2 SPACES OFFICE (1 SPACE PER 1,000 G.S.F.): 1 SPACE
<b>CODES:</b>	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
<b>JURISDICTIONS:</b>	CITY OF KETCHUM PLANNING & BUILDING DEPARTMENTS CITY OF KETCHUM FIRE DEPARTMENT

## DRAWING INDEX

<b>COVER SHEET</b>	C.S. COVER SHEET
<b>SURVEY</b>	TOPO CIVIL SURVEY C.0.1 COVER & CONSTRUCTION NOTES C.1.0 SITE GEOMETRY PLAN C.1.1 GRADING & DRAINAGE PLAN C.1.2 DETAIL SHEET

<b>LANDSCAPE</b>	L-1.0 SITE PLAN L-2.0 GRADING PLAN L-3.0 LANDSCAPE PLAN L-3.1 LANDSCAPE MATERIALS PLAN L-4.0 CONSTRUCTION MANAGEMENT PLAN
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<b>EXISTING CONDITIONS PHOTOS</b>	A.1.0a EXISTING CONDITIONS PHOTOS A.1.0b EXISTING CONDITIONS PHOTOS
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<b>PLANS</b>	A.2.1 FLOOR PLANS A.2.2 FLOOR PLANS A.2.3 FLOOR PLANS A.2.4 FLOOR PLANS A.2.5 AREA CALCS A.2.6 PROPOSED MASTER SIGNAGE PLAN
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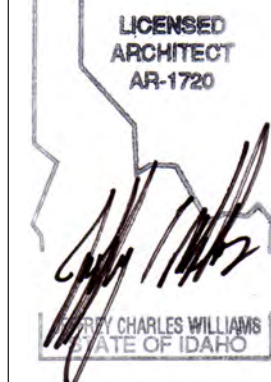
<b>BUILDING SECTIONS</b>	A.3.1 BUILDING SECTIONS
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<b>EXTERIOR ELEVATIONS</b>	A.4.1 EXTERIOR ELEVATIONS - EXISTING A.4.2 EXTERIOR ELEVATIONS - PROPOSED
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<b>3D VIEWS</b>	A.5.1 3D VIEWS A.5.2 MATERIALS BOARD
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<b>ELECTRICAL</b>	E.1.1 FIRST FLOOR EXTERIOR LIGHTING E.1.2 SECOND FLOOR EXTERIOR LIGHTING E.1.3 THIRD FLOOR EXTERIOR LIGHTING E.1.4 SITE LIGHTING PHOTOMETRIC STUDY E.2.0 EXTERIOR LIGHTING FIXTURE SPECIFICATIONS
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**OWNERSHIP OF DOCUMENTS:**  
THE INSTRUMENTS OF SERVICE HEREIN ARE SOLELY FOR USE WITH RESPECT TO THIS PROJECT. WILLIAMS | PARTNERS ARCHITECTS, P.C. AND THE ARCHITECTS' CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.



380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS | PARTNERS**

## ARCHITECTS

MAIL: P.O. B. 4373  
KETCHUM, IDAHO  
83340  
PHONE: 208.726.0020  
FAX: 208.726.0019  
WWW: WILLIAMS-PARTNERS.COM

**DRAWINGS**  
DATE: 05/12/2021  
ISSUED: CON SCHEMATIC PRESENTATION  
06/10/2021 CON HPC REVIEW  
09/30/2021 DESIGN REVIEW

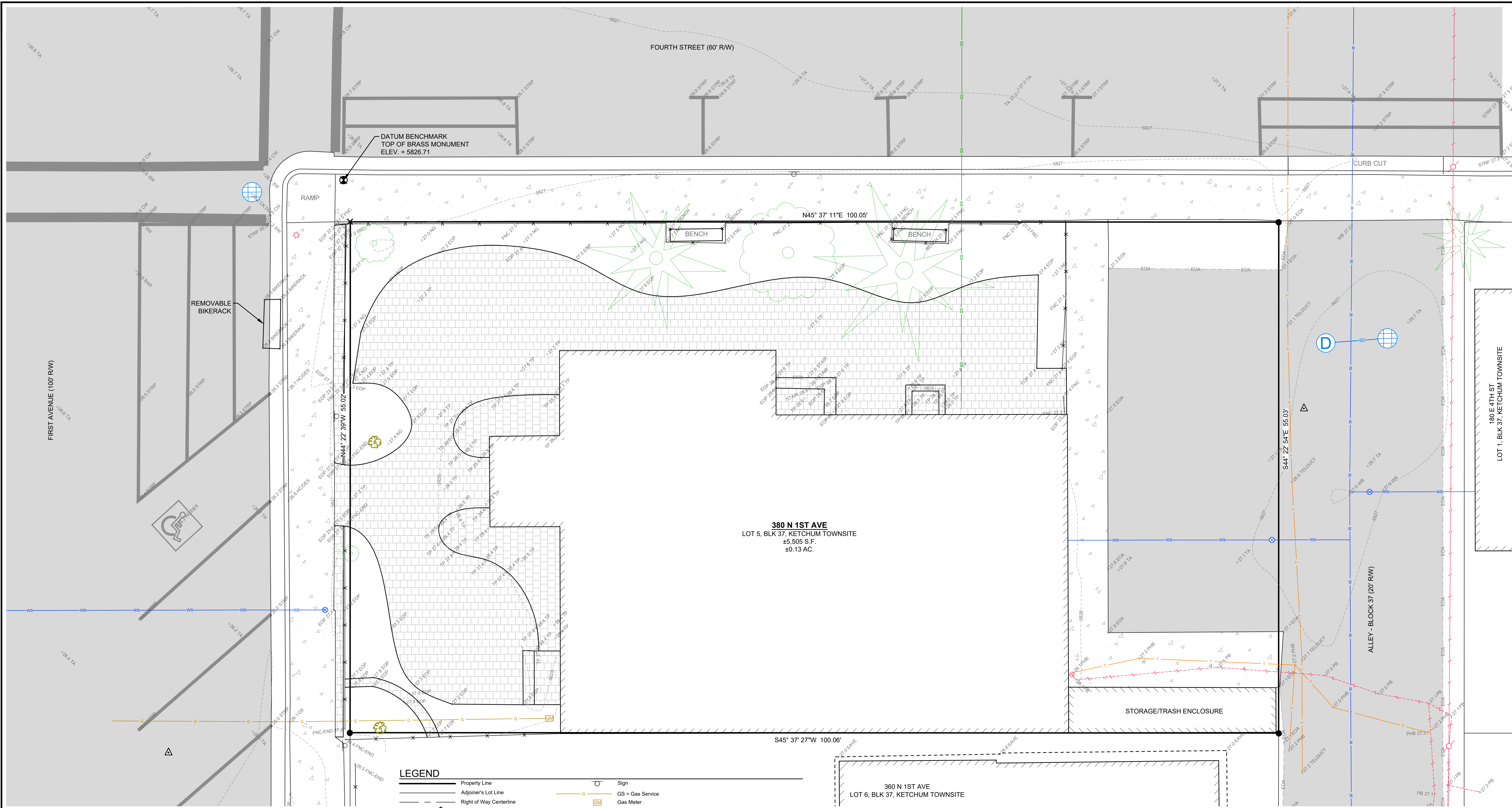
**REVISIONS**  
NUMBER: DATE:

**CS**

COVER SHEET



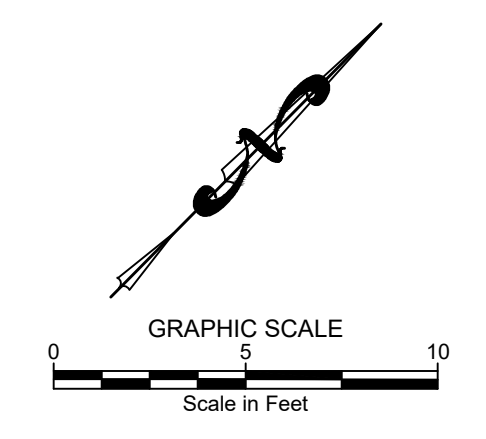
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND	
	Property Line
	Adjoiner's Lot Line
	Right of Way Centerline
	Found Brass Monument in Concrete
	Found 5/8" Rebar
	Nail & Tack
	Survey Control
	Set 5/8" Rebar
	5' Contour Interval
	1' Contour Interval
	Curb & Gutter
	FNC = Fence Line
	Building Eave
	Building
	Asphalt
	Concrete Sidewalk
	Pavers
	Conifer Tree
	Deciduous Tree
	Stump
	Handicap Decal / Paint
	Parking Stripe
	Sign
	GS = Gas Service
	Gas Meter
	PHB = Buried Telephone Line
	Telephone Riser
	PB = Buried Power Line
	Overhead Power Line
	Light
	Power Meter
	Power Pole
	Sewer Main
	Storm Drain
	Catch Basin
	Dry Well
	WB = Water Main
	Water Service
	Water Valve
	CW = Crosswalk
	HC = Handicap
	EOA = Edge of Asphalt
	EOP = Edge of Pavers
	STRP = Stripe
	TA = Top of Asphalt
	TP = Top of Pavers

**NOTES**

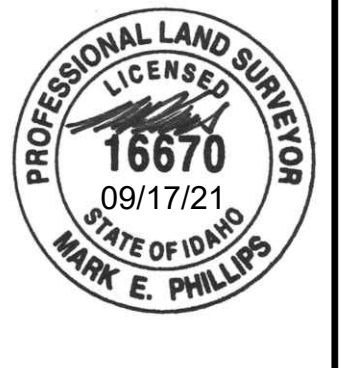
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/01/2020).
- Boundary information is based on Found Monumentation. Please refer to the Official Map of the Village of Ketchum, Instr# 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, underground utility locates, and City Maps. Utilities should be located prior to any excavation.
- Benchmark is top of brass monument in the sidewalk near the intersection of 1st Avenue North and 4th Street East, elevation = 5826.71. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



**A TOPOGRAPHIC MAP SHOWING  
LOT 5, BLOCK 37, KETCHUM TOWNSITE  
380 N 1ST AVE**

LOCATED WITHIN SECTION 13, T.4N., R.1E., & SECTION 18, T.4N., R.1E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR WILLIAM J. MACGREGOR

PROJECT INFORMATION  
P:\sd\proj\5157-01\map\Topo5157-01.dwg 08/17/21 9:27:59 AM



MEP  
DRAWN BY  
SMF  
CHECKED BY

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 768-1705  
email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
TOPO				



# 380 N. 1ST AVE. MIXED-USE BUILDING SEPTEMBER 2021

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
  - **PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
  - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 56.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
- EXISTING SITE CONDITIONS SHOWN HEREON ARE PER A FIELD SURVEY BY GALENA ENGINEERING DATED 12/04/20.



VICINITY MAP  
N.T.S.

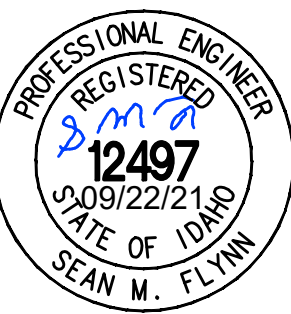
## SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	SITE GEOMETRY PLAN
C1.1	GRADING AND DRAINAGE PLAN
C1.2	DETAIL SHEET

## LEGEND

EXISTING ITEMS	PROPOSED ITEMS
Property Line	Asphalt
Adjoiner's Lot Line	Concrete Sidewalk
Right of Way Centerline	Road/Parking Striping
Curb & Gutter	No Parking Striping
Fence Line	ADA Parking Striping
Building	ADA Parking Symbol
EOA	ADA Parking Sign
EOA	Typical Sign
Concrete Sidewalk	Tree Well, See Landscape Plan
Parking Stripe	Street Light
Sign	6" Vertical Curb And Gutter
Spot Elevation	Typical Curb Transition (6"cf To 0"cf)
Fiber Optic Line	Zero Reveal Curb And Gutter (0"cf)
Gas Service	High Reveal Vertical Curb & Gutter
Buried Telephone Line	High Reveal Curb Transition (6"cf To 7"cf)
Telephone Riser	Detectable Warning Plate
Buried Power Line	Spot Elevation
Overhead Power Line	Grade
Light	
Power Pole	
Sewer Main	
Sewer Service	
Sewer Manhole	
Storm Drain	
Catch Basin	
Dry Well	
KCW 12" Ketchum City Water Line (12")	
KSW 4" Ketchum Spring Line (4")	
WS Water Service	
Water Valve	

380 N. 1ST AVE. MIXED-USE BUILDING  
COVER AND CONSTRUCTION NOTES  
LOCATED WITHIN SECTION 13, T.4N., R.17E., & SECTION 18, T.4N., R.18E.B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR WILLIAMS PARTNERS



DESIGNED BY  
DRAWN BY  
SMF  
CHECKED BY

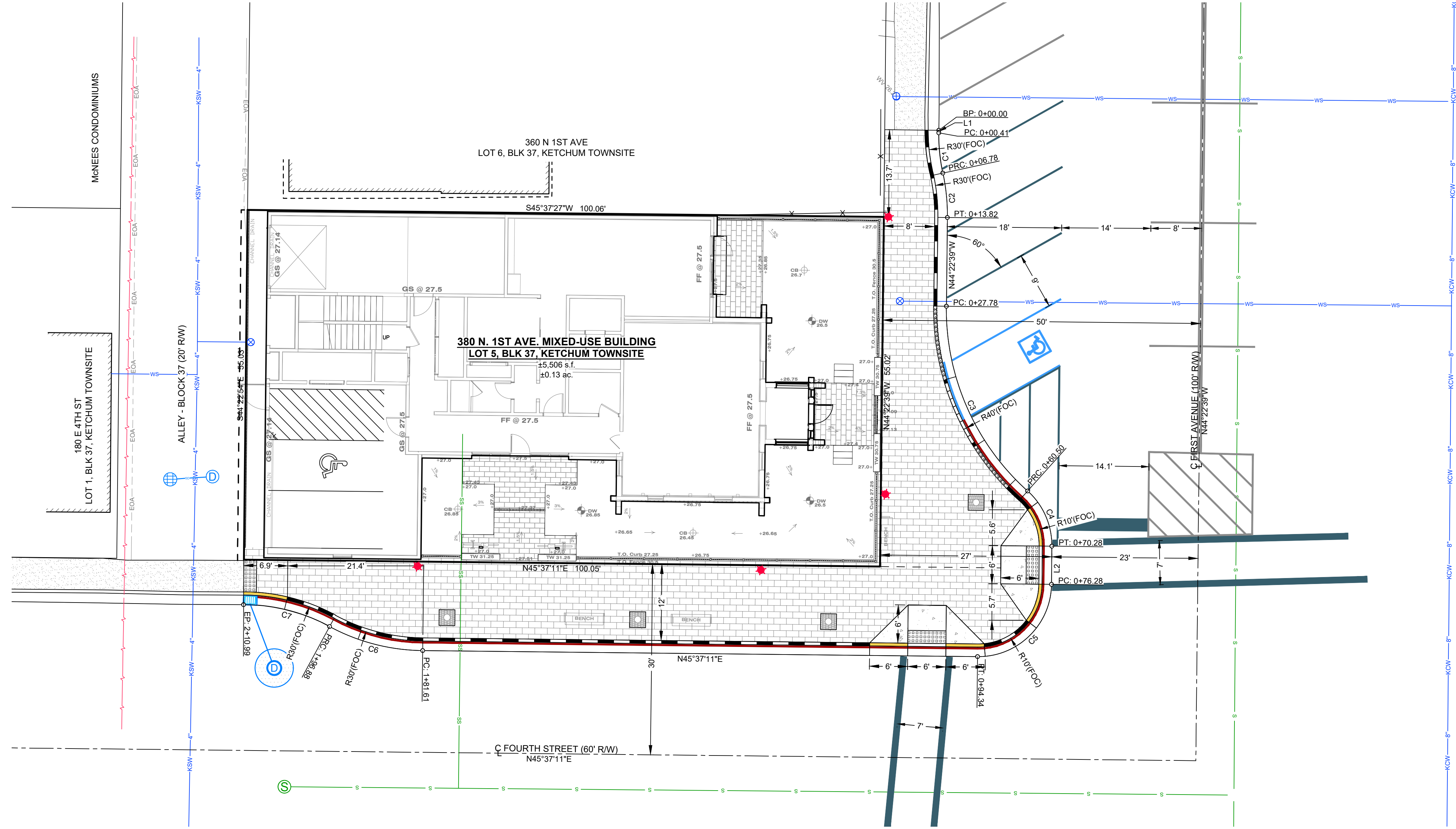
GALENA  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 768-1705  
email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

C0.1



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

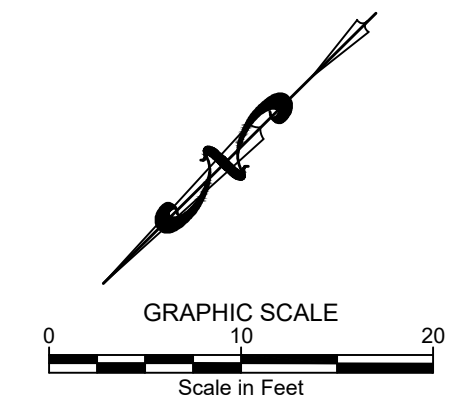


**Line Table**

Line	Direction	Length
L1	N44° 22' 22\"/>	

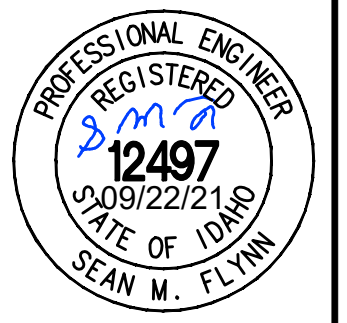
**Curve Table**

Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.50'	6.37'	12° 48' 16\"/>		



**380 N. 1ST AVE. MIXED-USE BUILDING  
SITE GEOMETRY PLAN**

LOCATED WITHIN SECTION 13, T.4N., R.17E., & SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PROJECT INFORMATION  
P:\ask\proj\5157-02\proj\5157-02\_ENG\_2021-08-17.dwg 08/22/21 8:17:15 AM  
PREPARED FOR WILLIAMS PARTNERS



DESIGNED BY  
CT  
DRAWN BY  
SMF  
CHECKED BY

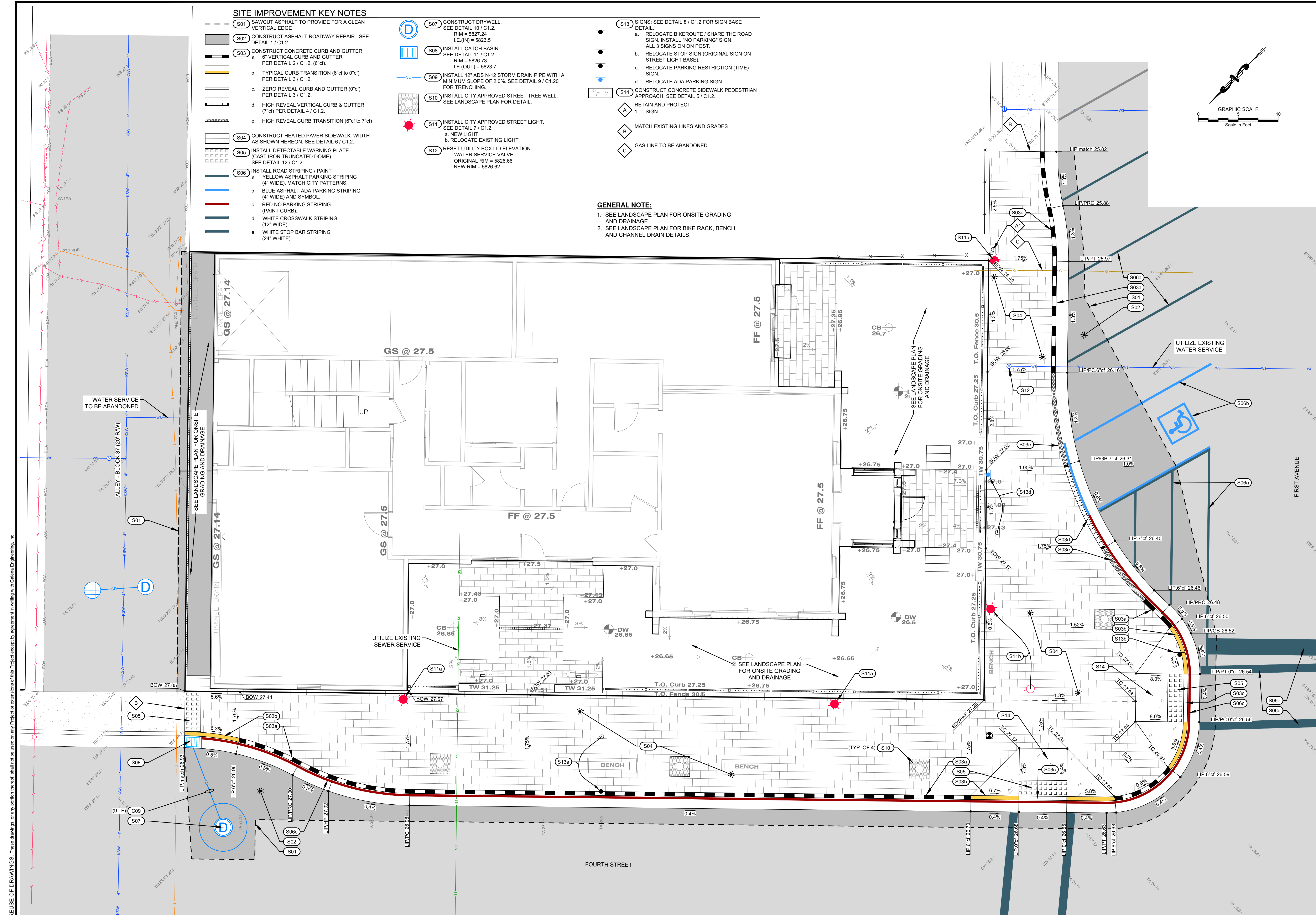
**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 768-1705  
email: galena@galena-engineering.com

PURPOSE: \_\_\_\_\_

NO.	DATE	BY	REVISIONS



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**SITE IMPROVEMENT KEY NOTES**

- (S01) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
- (S02) CONSTRUCT ASPHALT ROADWAY REPAIR. SEE DETAIL 1 / C1.2
- (S03) CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" VERTICAL CURB AND GUTTER PER DETAIL 2 / C1.2. (6"cf)
  - b. TYPICAL CURB TRANSITION (6"cf to 0"cf) PER DETAIL 3 / C1.2
  - c. ZERO REVEAL CURB AND GUTTER (0"cf) PER DETAIL 3 / C1.2
  - d. HIGH REVEAL VERTICAL CURB & GUTTER (7"cf) PER DETAIL 4 / C1.2
  - e. HIGH REVEAL CURB TRANSITION (6"cf to 7"cf)
- (S04) CONSTRUCT HEATED PAVER SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 6 / C1.2
- (S05) INSTALL DETECTABLE WARNING PLATE (CAST IRON TRUNCATED DOME) SEE DETAIL 12 / C1.2
- (S06) INSTALL ROAD STRIPING / PAINT
  - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - b. BLUE ASPHALT ADA PARKING STRIPING (4" WIDE) AND SYMBOL.
  - c. RED NO PARKING STRIPING (PAINT CURB).
  - d. WHITE CROSSWALK STRIPING (12" WIDE).
  - e. WHITE STOP BAR STRIPING (24" WHITE).
- (S07) CONSTRUCT DRYWELL. SEE DETAIL 10 / C1.2. RIM = 5827.24 I.E.(IN) = 5823.5
- (S08) INSTALL CATCH BASIN. SEE DETAIL 11 / C1.2. RIM = 5826.73 I.E.(OUT) = 5823.7
- (S09) INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 9 / C1.20 FOR TRENCHING.
- (S10) INSTALL CITY APPROVED STREET TREE WELL. SEE LANDSCAPE PLAN FOR DETAIL.
- (S11) INSTALL CITY APPROVED STREET LIGHT. SEE DETAIL 7 / C1.2.
  - a. NEW LIGHT
  - b. RELOCATE EXISTING LIGHT
- (S12) RESET UTILITY BOX LID ELEVATION. WATER SERVICE VALVE ORIGINAL RIM = 5826.66 NEW RIM = 5826.62

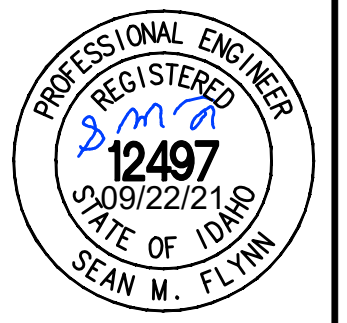
- (S13) SIGNS: SEE DETAIL 8 / C1.2 FOR SIGN BASE DETAIL.
  - a. RELOCATE BIKEROUTE / SHARE THE ROAD SIGN. INSTALL "NO PARKING" SIGN. ALL 3 SIGNS ON ON POST.
  - b. RELOCATE STOP SIGN (ORIGINAL SIGN ON STREET LIGHT BASE).
  - c. RELOCATE PARKING RESTRICTION (TIME) SIGN.
  - d. RELOCATE ADA PARKING SIGN.
- (S14) CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACH. SEE DETAIL 5 / C1.2.
  - 1. SIGN
  - 2. MATCH EXISTING LINES AND GRADES
  - 3. GAS LINE TO BE ABANDONED.

**GENERAL NOTE:**

1. SEE LANDSCAPE PLAN FOR ONSITE GRADING AND DRAINAGE.
2. SEE LANDSCAPE PLAN FOR BIKE RACK, BENCH, AND CHANNEL DRAIN DETAILS.

**380 N. 1ST AVE. MIXED-USE BUILDING GRADING AND DRAINAGE PLAN**

LOCATED WITHIN SECTION 13, T.4N., R.17E., & SECTION 18, T.4N., R.18E.B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PROJECT INFORMATION  
 Prepared for: WILLIAMS PARTNERS  
 09/22/21 8:17:15 AM

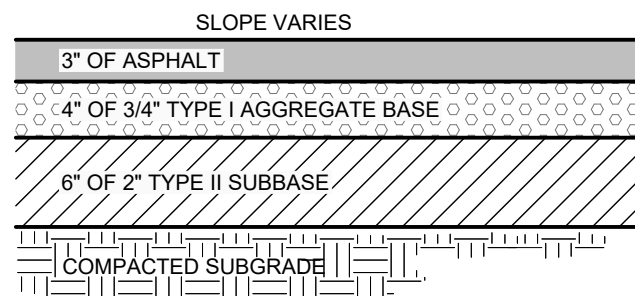


DESIGNED BY  
 CT  
 DRAWN BY  
 SMF  
 CHECKED BY

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 768-1705  
 email: galena@galena-engineering.com

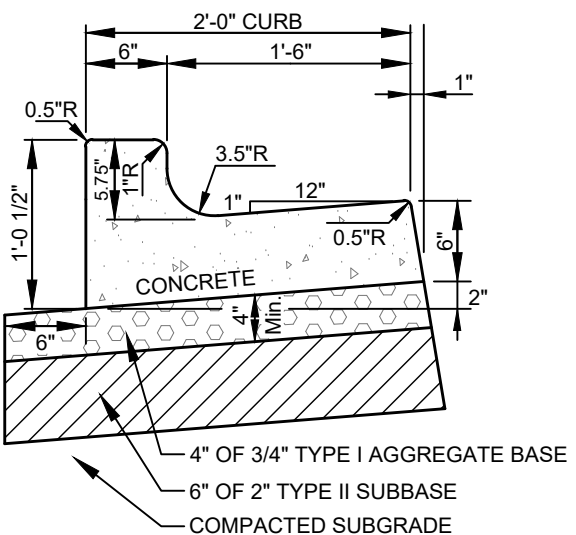
PURPOSE:	NO.	DATE	BY	REVISIONS
C1.1				





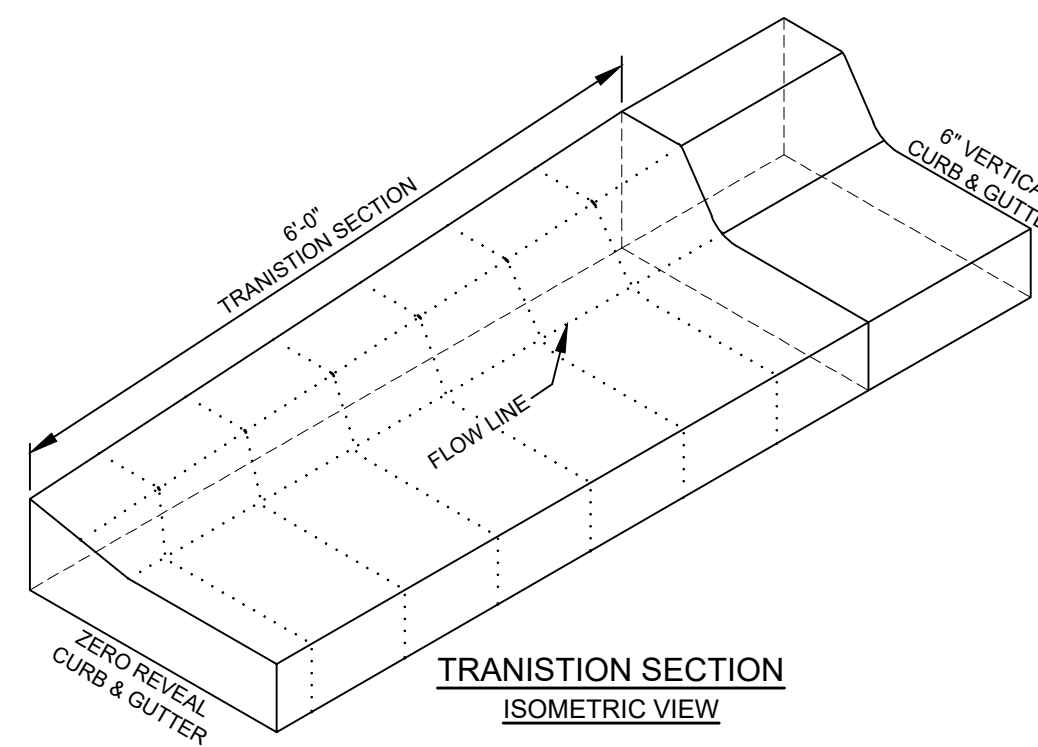
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**1**  
C1.2 **TYPICAL STREET ASPHALT SECTION**  
N.T.S.



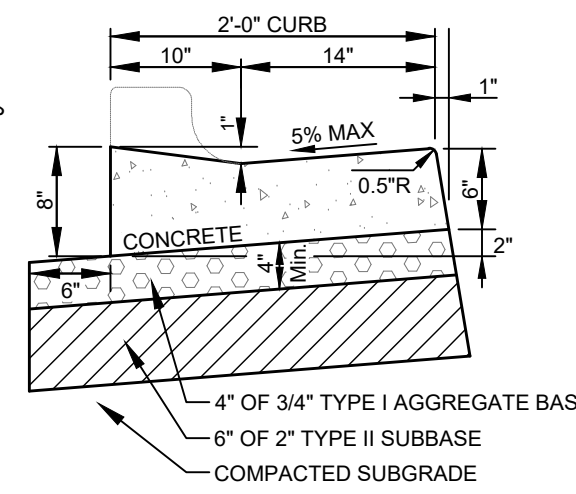
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISDEWALK).

**2**  
C1.2 **6" CONCRETE VERTICAL CURB & GUTTER**  
N.T.S.



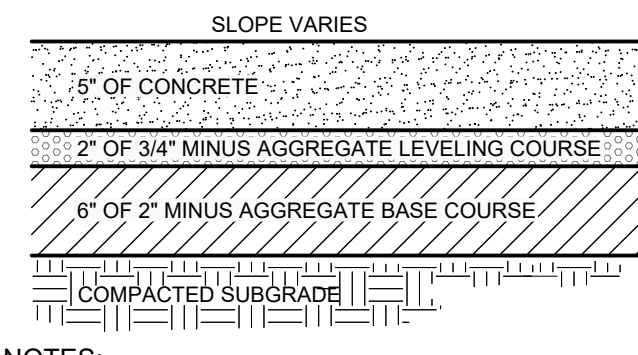
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISDEWALK).

**3**  
C1.2 **TYPICAL CURB TRANSITION DETAIL**  
N.T.S.



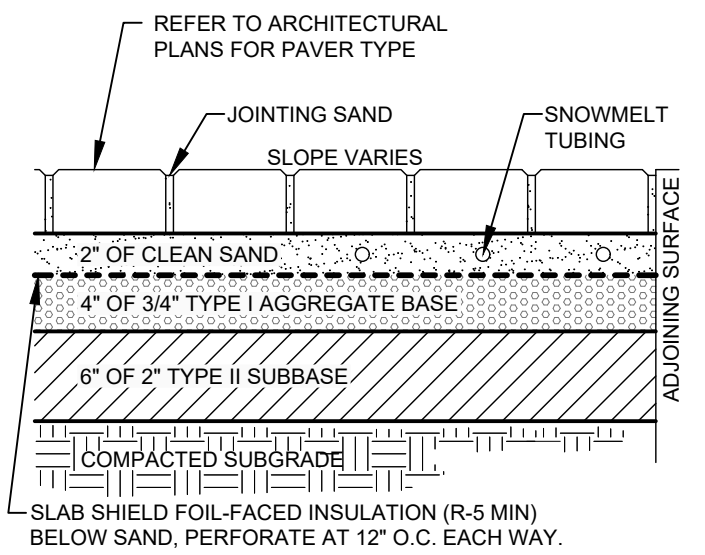
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**4**  
C1.2 **HIGH REVEAL CURB FACE CONCRETE CURB AND GUTTER (6"CF TO 7"CF)**  
N.T.S.



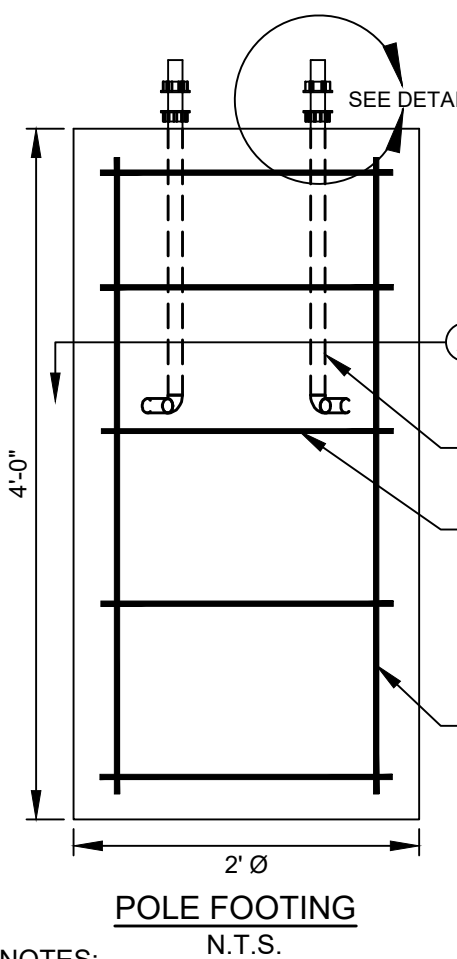
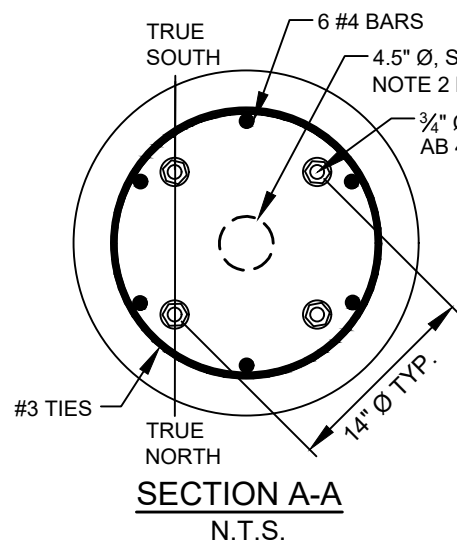
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**5**  
C1.2 **TYPICAL CONCRETE SECTION**  
N.T.S.



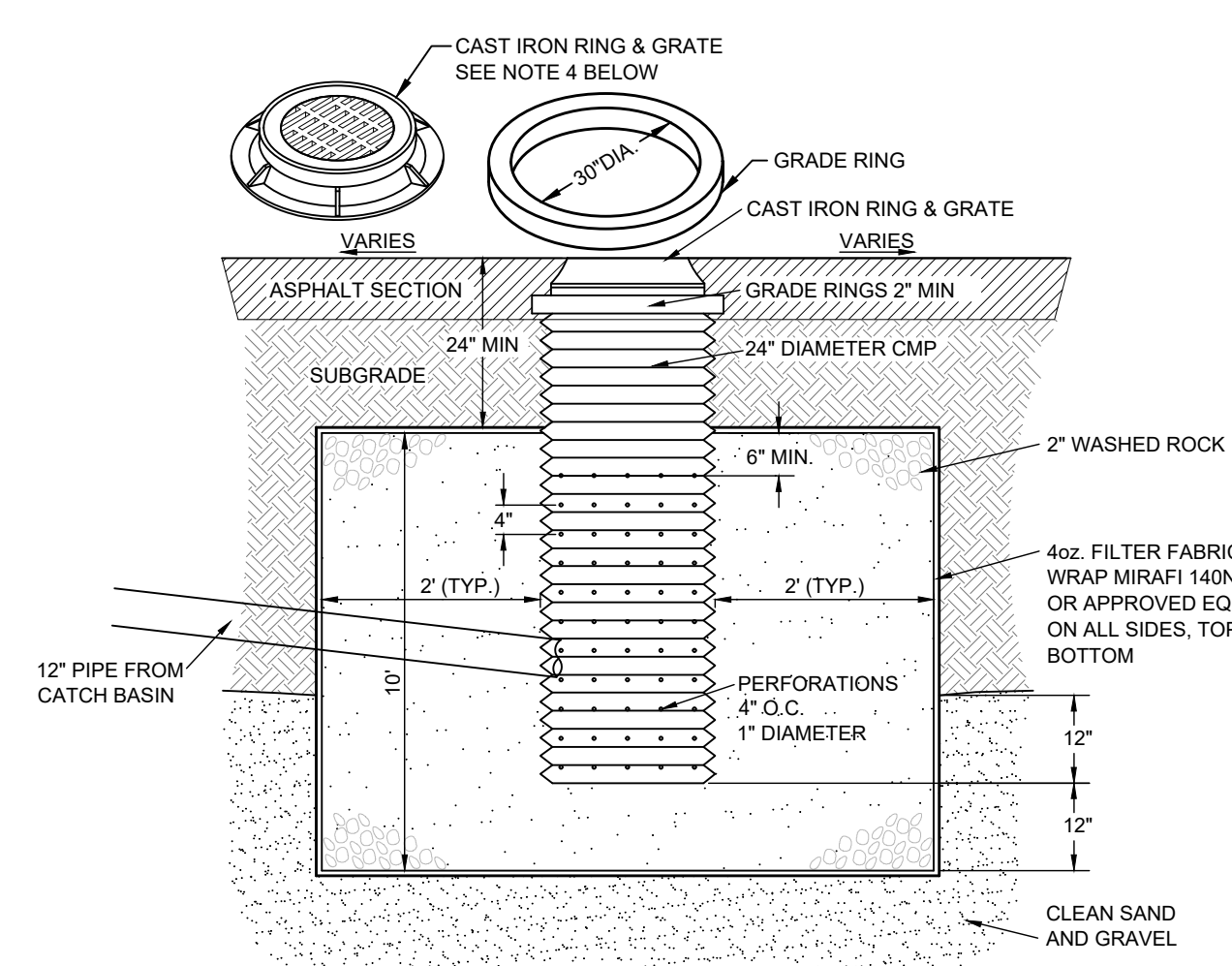
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**6**  
C1.2 **PAVER DETAIL**  
N.T.S.



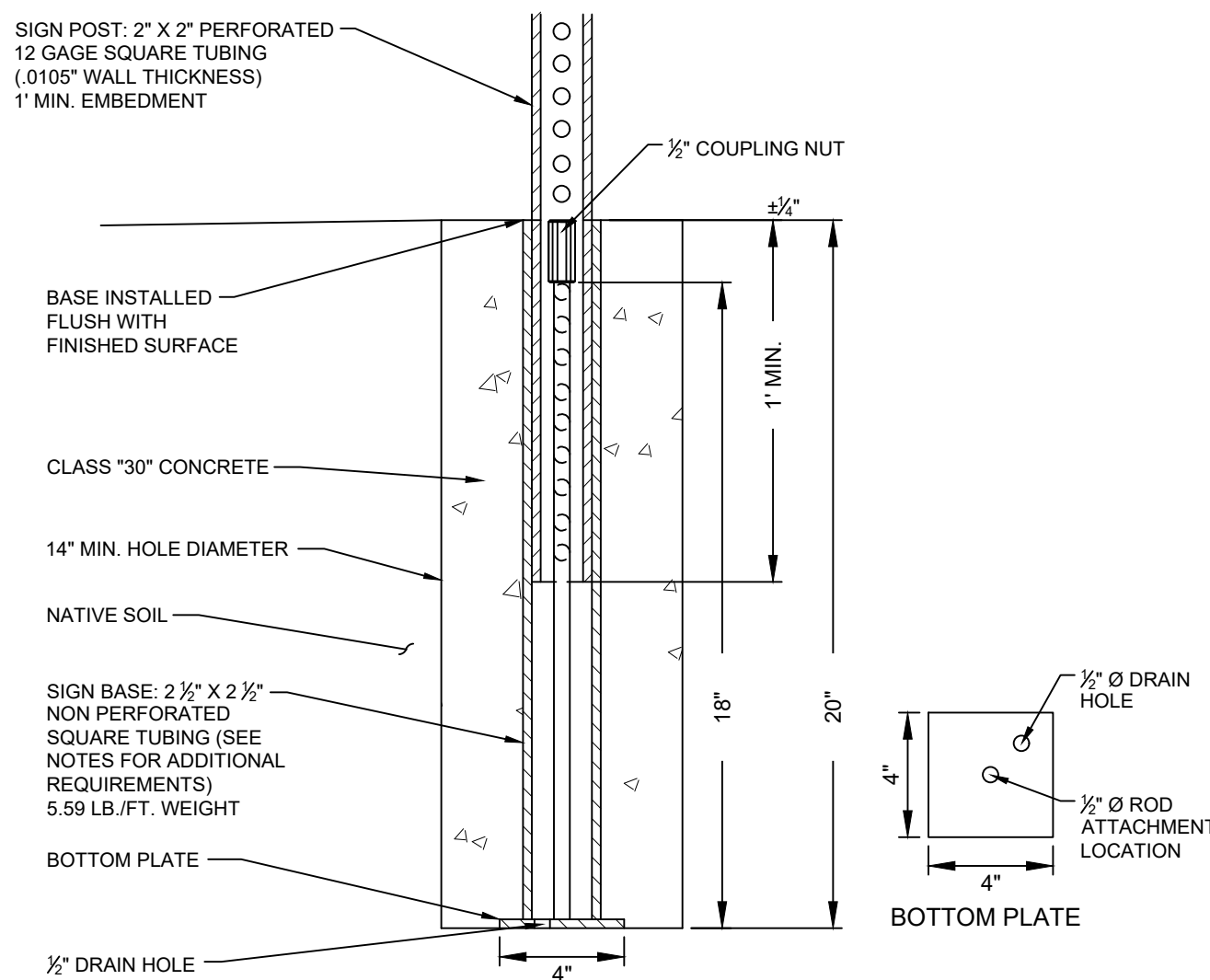
- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
  - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
  - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
  - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
  - STREET LIGHT SHALL BE 25" IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

**7**  
C1.2 **TYPICAL STREET LIGHT DETAIL**  
N.T.S.



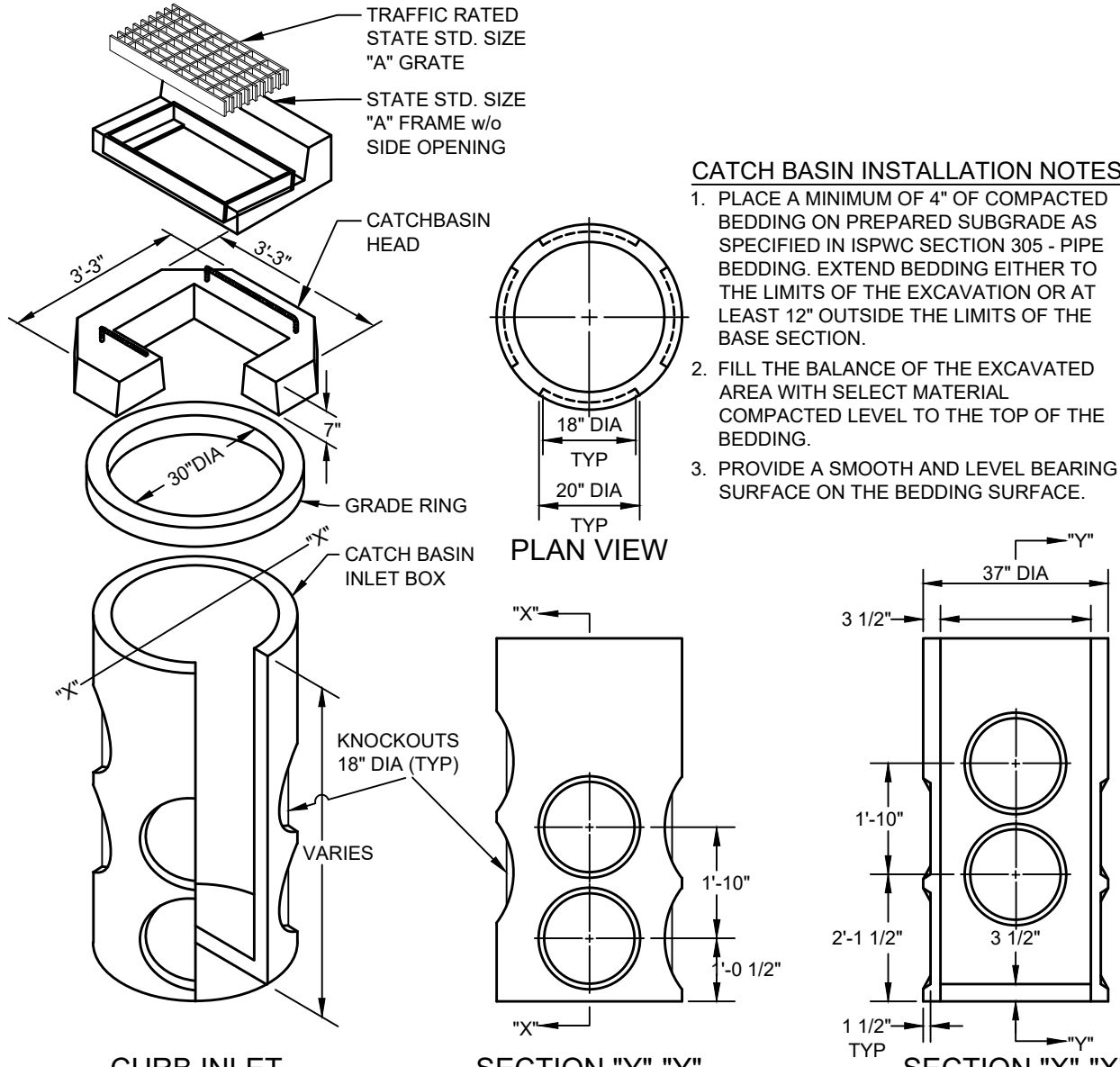
- NOTE:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

**10**  
C1.2 **DRYWELL DETAIL**  
N.T.S.



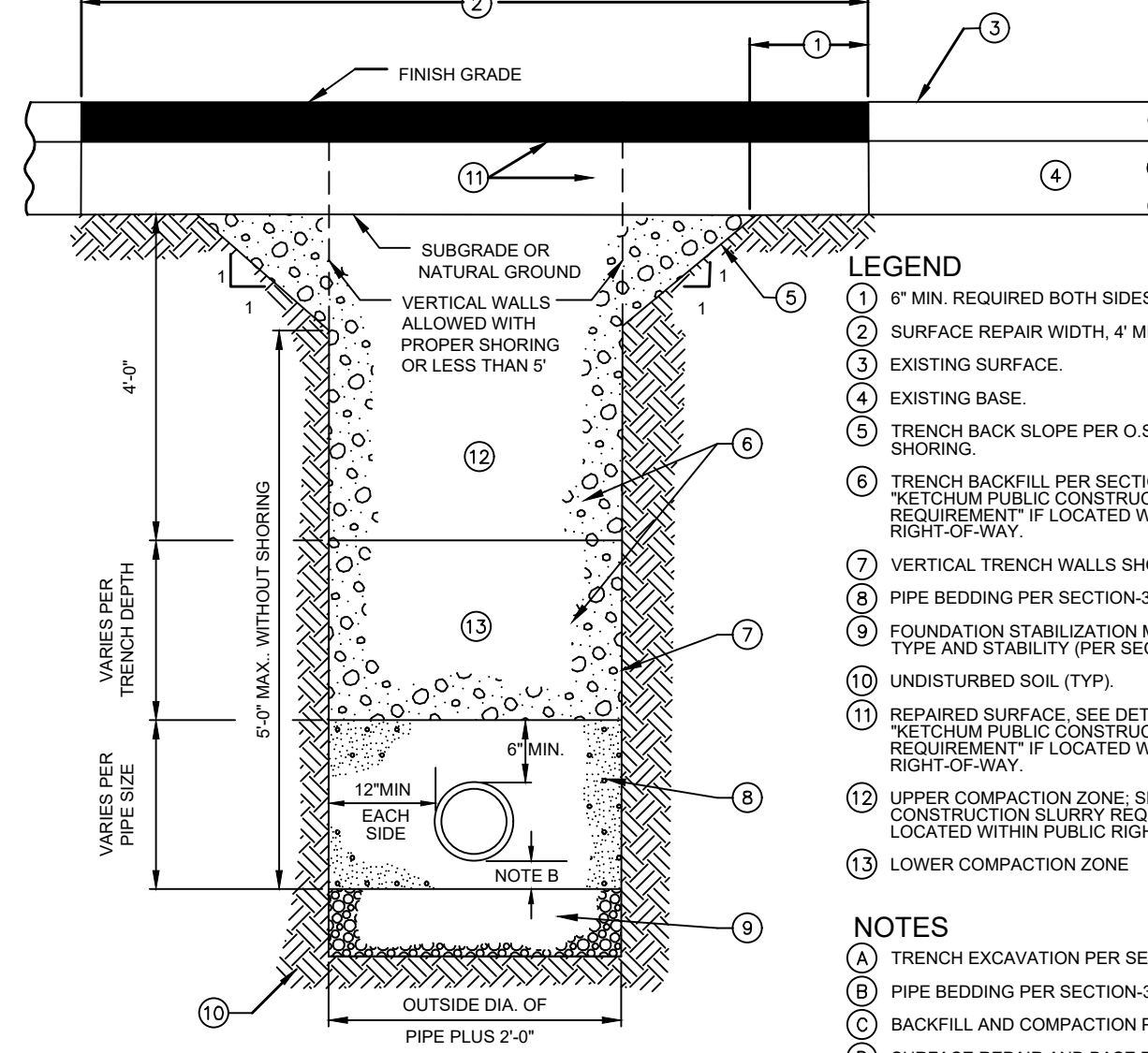
- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.

**8**  
C1.2 **TYPICAL SIGN BASE**  
N.T.S.



- CATCH BASIN INSTALLATION NOTES:**
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SURGRADE AS SPECIFIED IN ISWPC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
  - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**11**  
C1.2 **30" DIAMETER CONCRETE CATCH BASIN**  
N.T.S.



- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - SURFACE REPAIR WIDTH, 4" MINIMUM.
  - EXISTING SURFACE.
  - EXISTING BASE.
  - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - TRENCH BACKFILL PER SECTION-306 OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION-305 (SEE SD-302).
  - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
  - UNDISTURBED SOIL (TYP).
  - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
  - PIPE BEDDING PER SECTION-305.
  - BACKFILL AND COMPACTION PER SECTION-306.
  - SURFACE REPAIR AND BASE PER DETAIL 3/C20.

**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**

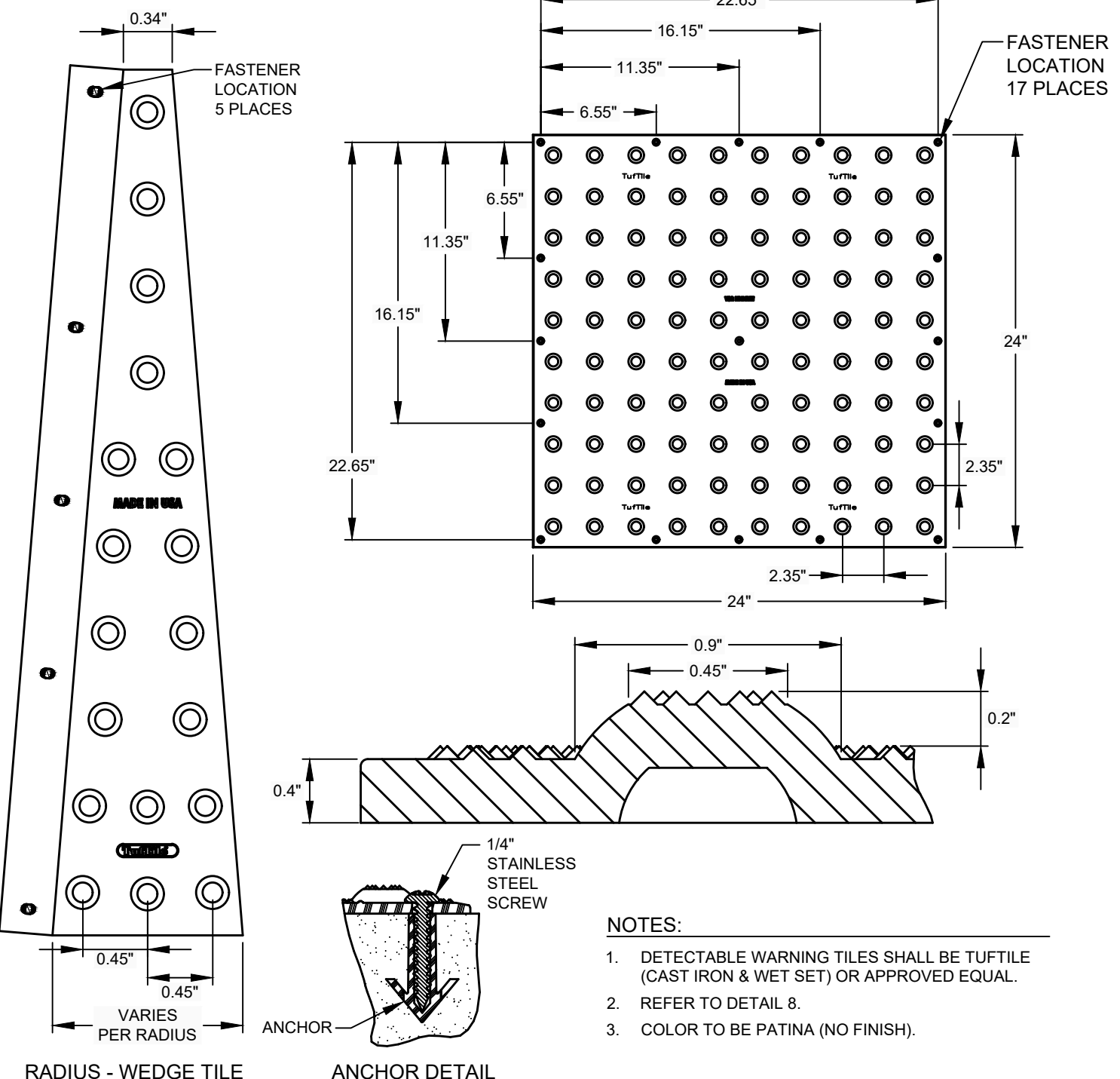
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS) : 2.800 LBS  
SAND : 800 LBS  
PORTLAND CEMENT : 94 LBS  
WATER : 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

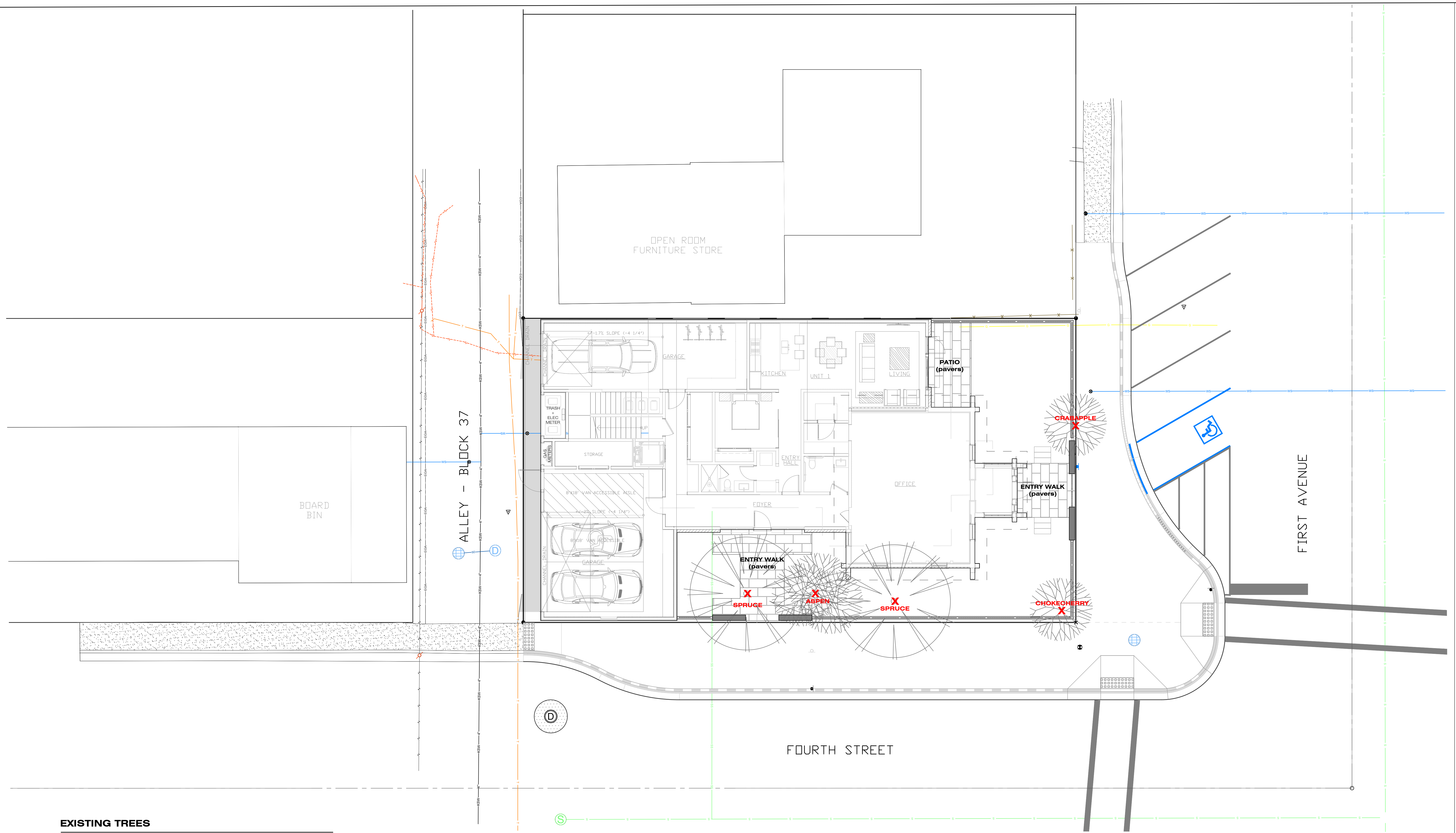
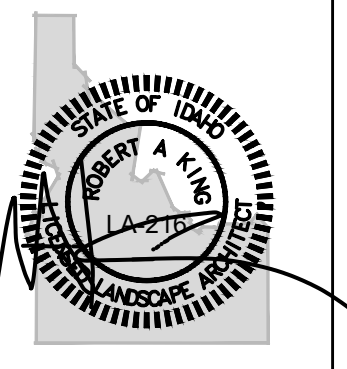
**9**  
C1.2 **TYPICAL TRENCH SECTION**  
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
  - REFER TO DETAIL 8.
  - COLOR TO BE PATINA (NO FINISH).

**12**  
C1.2 **DETECTABLE WARNING PLATE DETAIL**  
N.T.S.



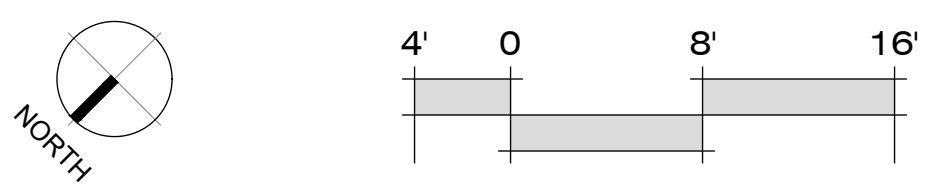


**EXISTING TREES**

	<b>5</b> EXISTING TREES TO BE REMOVED
	<b>1</b> QUAKING ASPEN, <i>Populus tremuloides</i> (*Multi-stem - 3 trunks)
	<b>1</b> CHOKECHERRY, <i>Prunus sp.</i>
	<b>1</b> CRABAPPLE, <i>Malus sp.</i>
	<b>2</b> COLORADO SPRUCE, <i>Picea pungens</i>

- GENERAL NOTES**
- DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
  - REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
  - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
  - REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
  - ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM, IDAHO.

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"



**380 N FIRST AVE**  
 380 N FIRST AVE  
 LOT 5 BLOCK 37  
 CITY OF KETCHUM

DATE: 09/30/2021  
 DESIGN REVIEW SET

SITE PLAN  
**L-1.0**



**GRADING + DRAINAGE LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- LIMIT OF DISTURBANCE
- CONSTRUCTION SILT FENCE
- DIRECTION OF DRAINAGE
- FF 00.00** FINISH FLOOR ELEVATION
- GS 00.00** GARAGE SLAB ELEVATION
- +00.00** SPOT ELEVATION - FINISH GRADE
- TW 00.00** TOP OF WALL ELEVATION
- BW 00.00** BOTTOM OF WALL ELEVATION
- DRYWELL - 2 @ 24"**  
Refer to Geotech/Civil plans and specifications
- DRYWELL - 3 @ 12"**  
Refer to Geotech/Civil plans and specifications
- CATCHBASIN - 3 @ 12"**  
Tie into drywells or foundation drainage system  
Refer to Geotech/Civil plans and specifications
- DOWNSPOUT**  
Tie into drywells or foundation drainage system
- 4" ADS DRAINLINES**  
Connect to catch basins/drywells or foundation drainage system.
- CHANNEL DRAIN**  
ALLEY: Vehicular Rated - TBD.  
PEDESTRIAN IN PAVERS:  
NDS MINI CHANNEL TRENCH DRAIN  
IRON AGE DESIGNS DECORATIVE GRATE  
FRAM 31" x 12"  
OIL RUBBED FINISH

**GRADING + DRAINAGE NOTES:**

1. ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
2. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
3. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
4. SILT FENCE TO BE INSTALLED ALONG MHW AND RIPARIAN SETBACK PRIOR TO EXCAVATION WORK.
5. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
6. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
7. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
8. ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.

**HARDSCAPES**

- SITE WALL/SEAT WALL**  
BOARD FORM CONCRETE
- CONCRETE CURB/RETAINING**  
BOARD FORM CONCRETE
- IRON FENCE**  
MATERIALS AND DETAILS TBD
- BIKE RACK**  
TBD
- PAVERS - ENTRIES AND PATIO**  
CASTORN - OLYMPIC PAVER  
12" x 36", Charcoal
- PAVERS - UPPER TERRACES**  
MUTUAL MATERIALS - VANCOUVER BAY SERIES  
12" x 24" / Gray
- ALLEY DRIVEWAY - ASPHALT**

**LEGEND - R.O.W.**

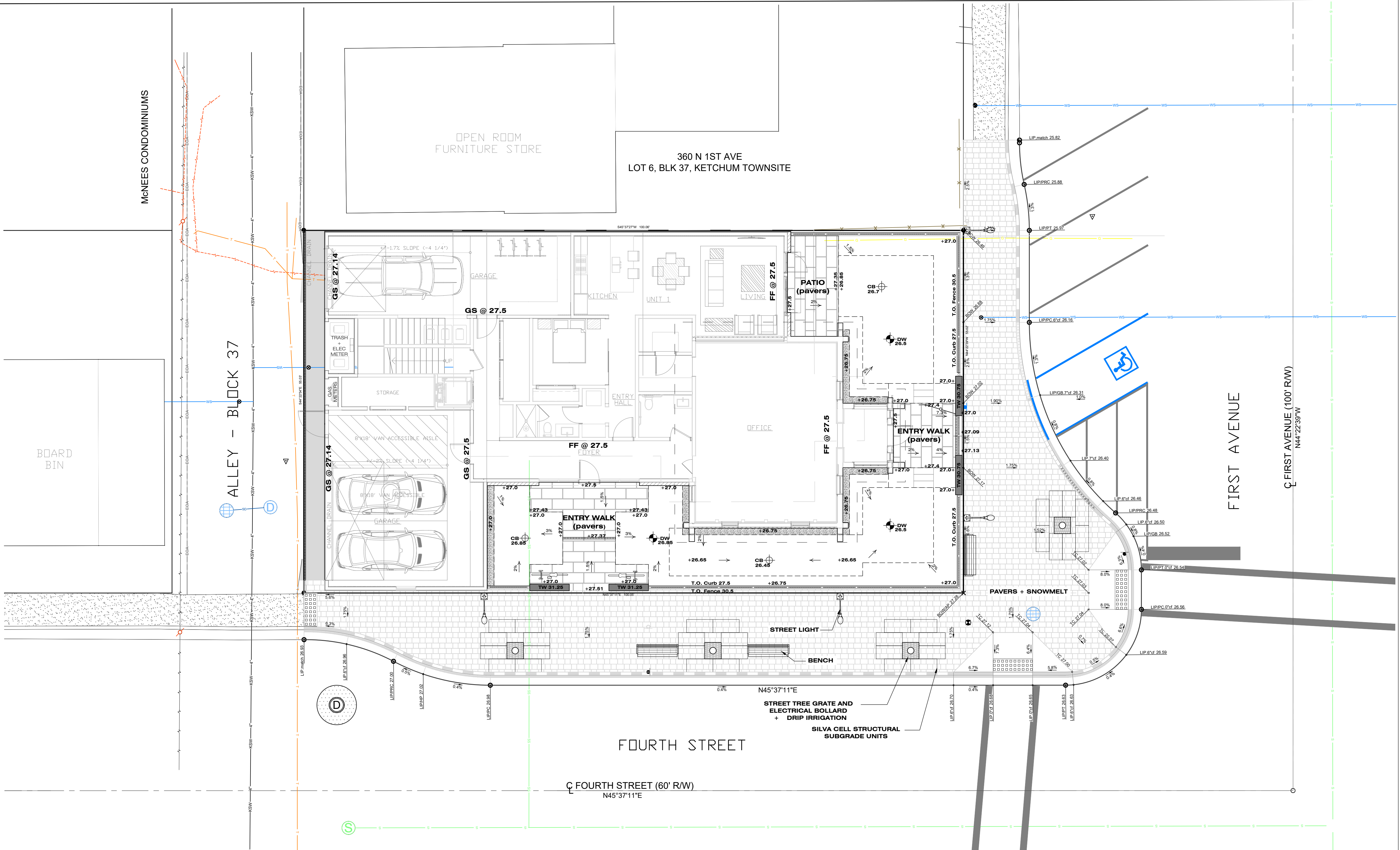
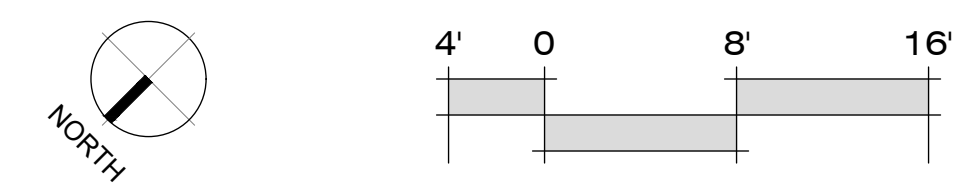
- 4**  
30" x 30"  
**STREET TREE GRATE, ELECTRICAL OUTLET BOLLARD, AND IRRIGATION**  
PER CITY STANDARD - TREE WELL DETAIL 1:  
NEENAH R-8704 with 12" diameter opening (Or Approved Equal)
- 4**  
**STREET LIGHT**  
PER CITY STANDARD - STREET LIGHT 14:  
SOLARONE RFS DESIGN 158 LFP (Or Approved Equal)
- 2125 sf**  
**CONCRETE PAVERS + SNOWMELT**  
PER CITY STANDARD:  
ABBOTSFORD - CALIFORNIA 6x12, Natural  
(Or Approved Equal)
- 3**  
**BENCH**  
PER CITY STANDARD:  
TBD
- DECORATIVE GRAVEL**  
MATERIAL - TO BE DETERMINED  
1" DEPTH OVER 4" COMPACTED ROADMIX BASE
- STEEL EDGING/RETAINING**  
3/4" x 4" - 3/8" x 8" PLATE STEEL  
24" REBAR - VERTICAL @ 30" O.C.
- LANDSCAPE LIGHTING**  
Refer to Architectural plans and specs.
- 32**  
**DEEPROOT - SILVA CELL STRUCTURAL SUBGRADE UNITS**  
PER CITY STANDARD - TREE WELL DETAIL 2:  
2X UNITS: 24" x 48 x 30.9"  
8 Units per Street Tree  
Final layout per manufacturer design engineer specifications.

**SNOW REMOVAL/STORAGE**

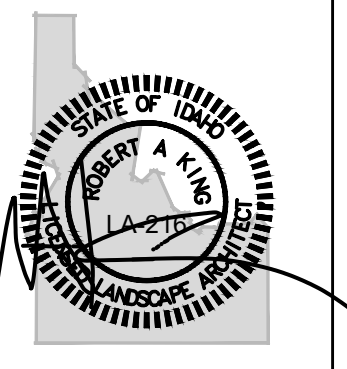
1. SIDEWALKS, STEPS, RAMPS, TERRACES, AND ALLEY TO BE SNOWMELTED.

**GRADING PLAN**

SCALE: 1/8" = 1' - 0"



LANDWORK STUDIO LLC  
LANDSCAPE ARCHITECTURE + DESIGN  
110 5TH STREET SUITE 103  
PO BOX 755 KETCHUM IDAHO 83840  
208.726.5511 WWW.LANDWORKSTUDIO.COM



**380 N FIRST AVE**  
380 N FIRST AVE  
LOT 5 BLOCK 37  
CITY OF KETCHUM

DATE: 09/30/2021  
DESIGN REVIEW SET

GRADING PLAN  
**L-2.0**



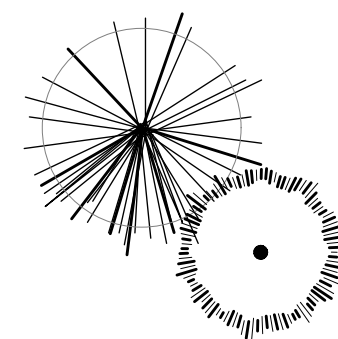
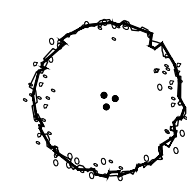
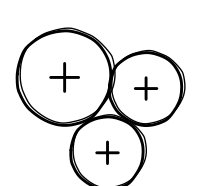
**LANDSCAPE + PLANTING NOTES**

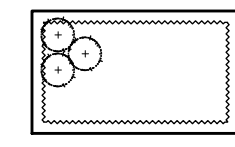



1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION..
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
7. REFER TO CITY STANDARDS FOR ALL PLANTING AND IRRIGATION SPECS FOR IMPROVEMENTS WITHIN THE R.O.W.

**IRRIGATION NOTES**

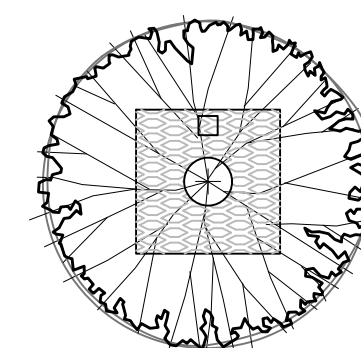
- 1) ALL PLANTING BEDS TO BE IRRIGATED BY SUBSURFACE DRIPLINES.
- 2) TOTAL AREA OF LANDSCAPING AND PERMANENT IRRIGATION = 1,150 sf

**PLANTING LEGEND**

	<b>6</b> EVERGREEN TREES 3 @ 14'-18" 3 @ 10'-12"	SUBALPINE FIR, <i>Abies lasiocarpa</i> TANNENBAUM PINE, <i>Pinus mugo</i> 'Tannenbaum'
	<b>2</b> DECIDUOUS TREES 2 @ B+B	RUSSIAN HAWTHORN, <i>Crataegus ambigua</i>
	<b>25</b> SHRUBS VARIETIES AND SIZES TBD	

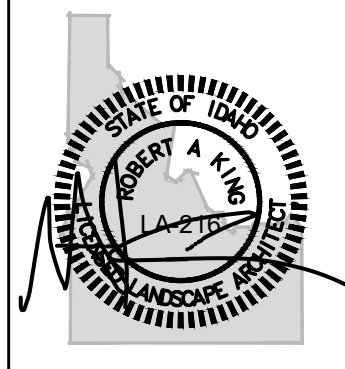
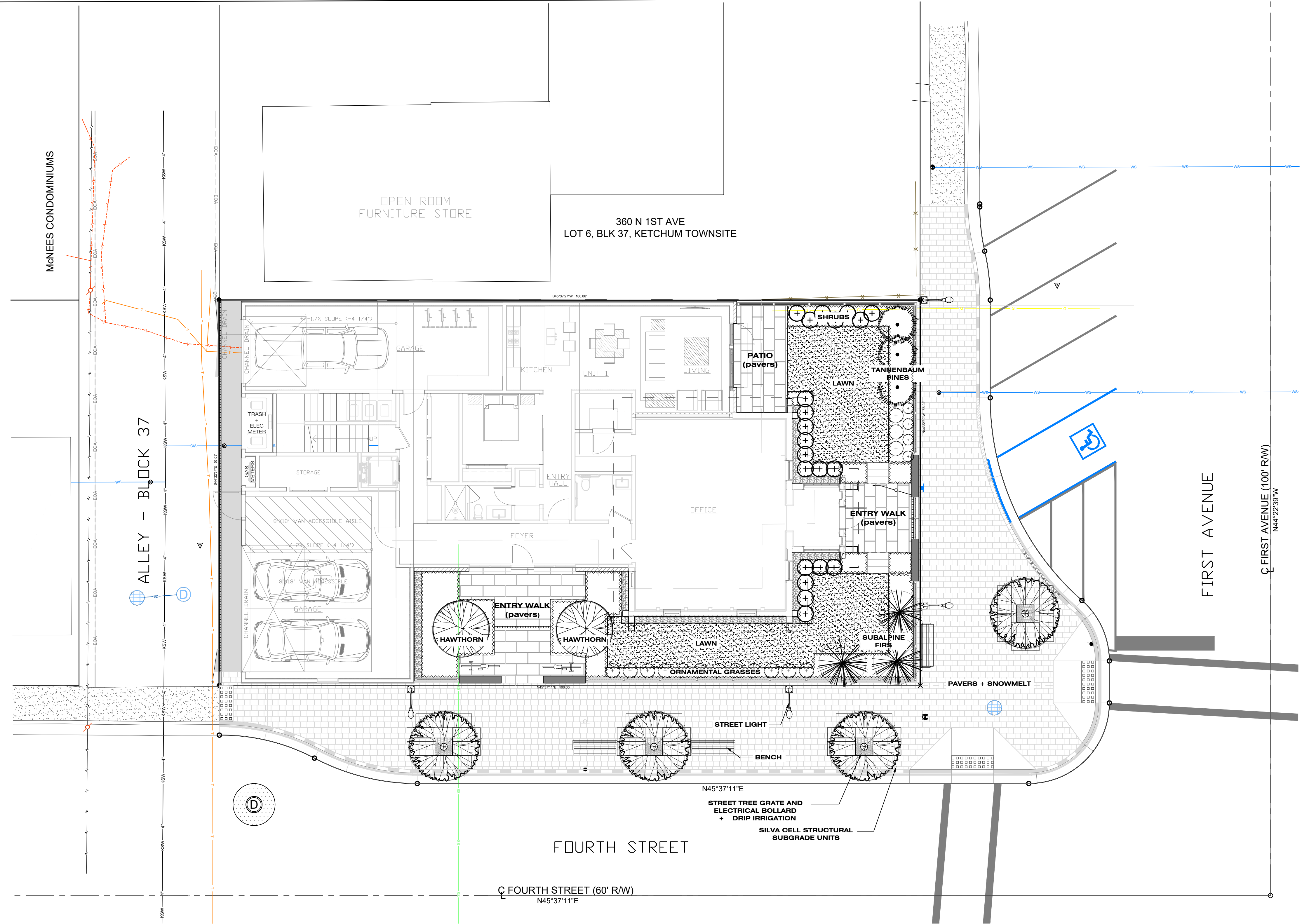
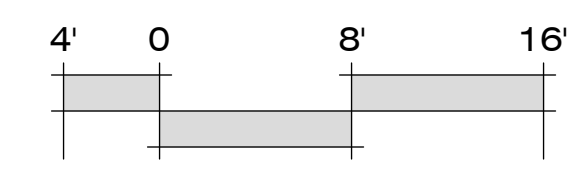
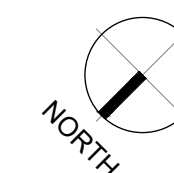
	<b>600 SF</b> PLANTING BEDS Beds Prepared with Planting Mix Consisting of 50% Compost/50% Top-Soil
	<b>250 SF</b> PERENNIALS + GROUNDCOVERS 1 gal @ 18" O.C.
	<b>100 SF</b> ORNAMENTAL GRASSES 1 gal @ 18" O.C.
	<b>550 SF</b> FESCUE LAWN - SOD SCOTTISH LINKS FINE FESCUE MIX

**PLANTING LEGEND - ROW**

	<b>4</b> STREET TREES 4' cal. RED ROCKET MAPLE, <i>Acer rubrum</i> 'Red Rocket'
---	---

**LANDSCAPE PLAN**

SCALE: 1/8" = 1'-0"



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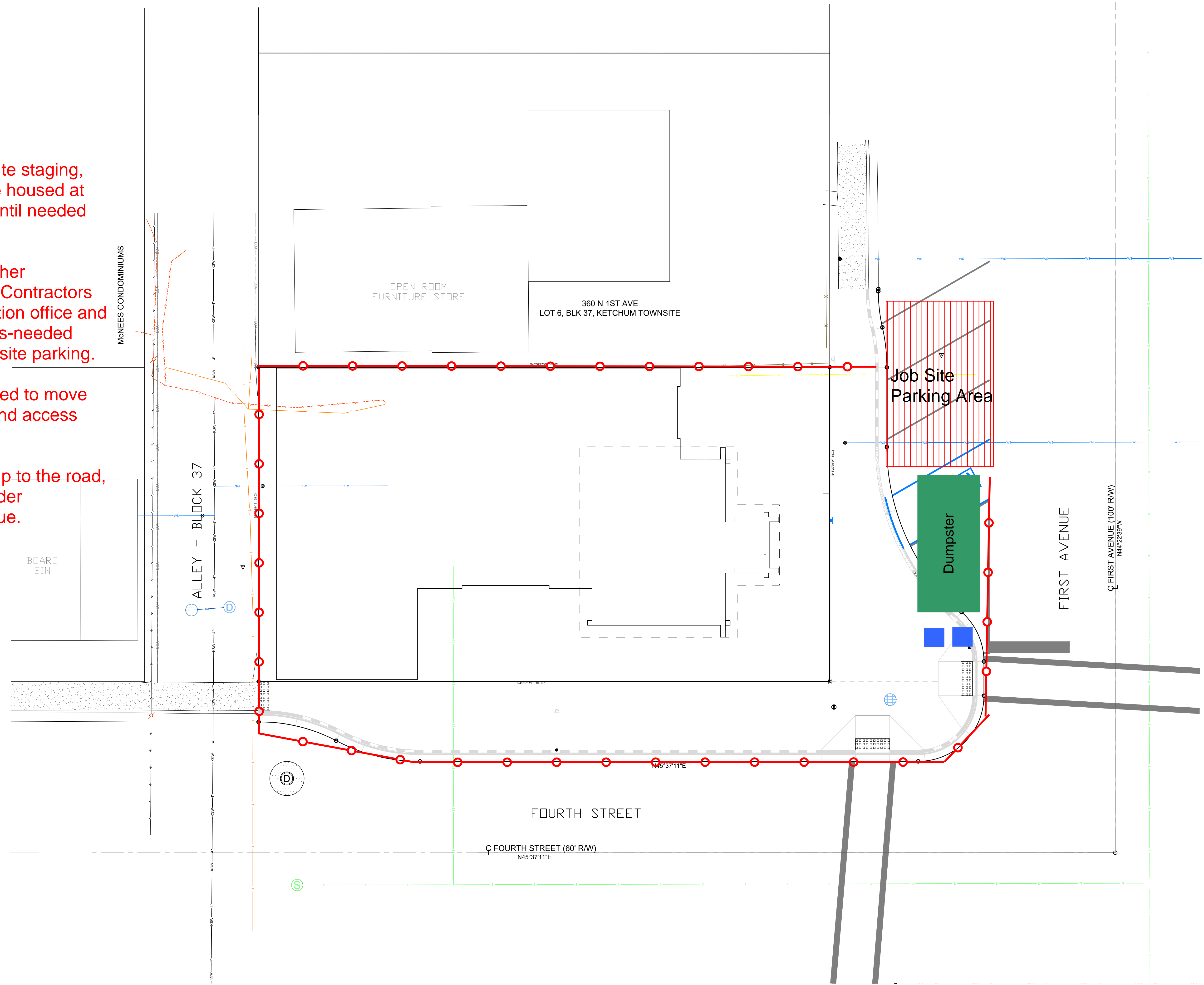
**Notes:**

Due to limited space, all job site staging, materials and stockpile will be housed at 1310 Citation Way in Hailey until needed on site.

Limited on site parking - Grabher Construction Employees/Sub Contractors will park at Grabher Construction office and be shuttled to job site on an as-needed basis to limit unnecessary on site parking.

Dumpster/Blue Rooms will need to move around as site is developed and access changes.

Entire job site will be fenced up to the road, similar to job site currently under construction across first avenue.

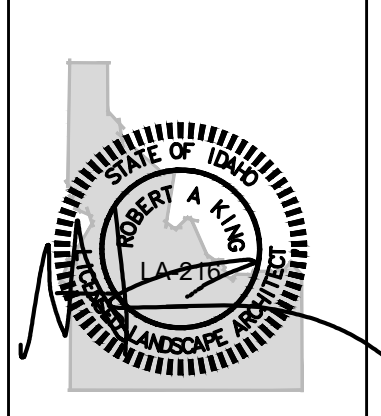


**KEY**

- Site Fence -
- Dumpster -
- Blue Rooms -
- Job Site Parking -

**CONSTRUCTION ACTIVITY PLAN**

SCALE: 1/8" = 1'-0"



DATE: 09/21/2021  
 PRELIMINARY

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VIEW LOOKING SOUTHEAST

3



VIEW LOOKING NORTHEAST

1



VIEW LOOKING EAST

2

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAIL P.O.B. 4373  
KETCHUM, IDAHO  
83340  
PHONE 208.726.0020  
FAX 208.726.0019  
WWW WILLIAMS-PARTNERS.COM

DRAWINGS  
DATE: 05/12/2021  
ISSUED: COX SCHEMATIC PRESENTATION  
06/10/2021 COX HPC REVIEW  
09/30/2021 DESIGN REVIEW

REVISIONS  
NUMBER: DATE:

**A 1.0a**

EXISTING CONDITIONS PHOTOS

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VIEW LOOKING SOUTH 4



VIEW LOOKING EAST 2



VIEW LOOKING SOUTHEAST 3



VIEW LOOKING NORTHEAST 1

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**REVISIONS**  
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# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

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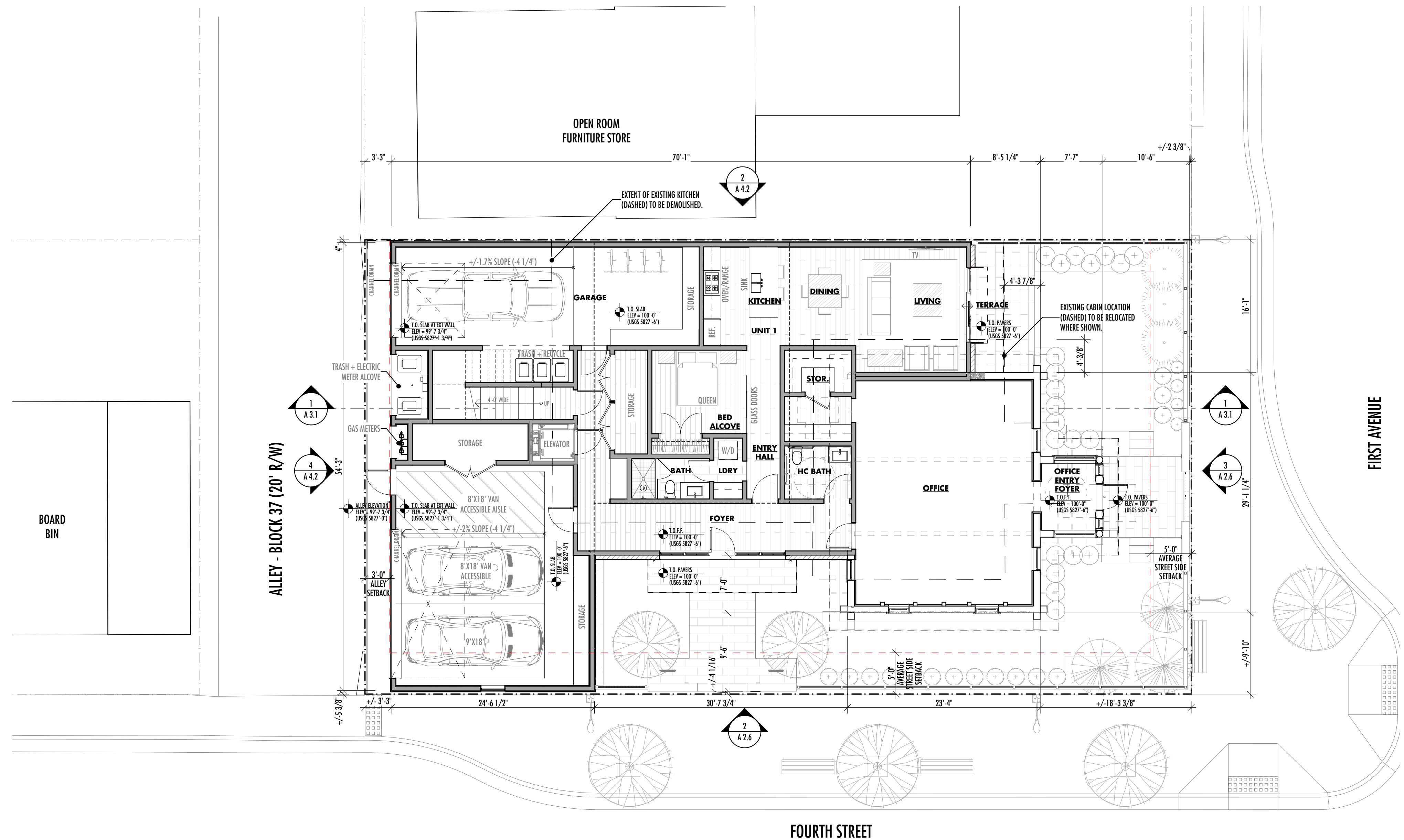
DRAWINGS  
DATE: 05/12/2021  
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09/30/2021 DESIGN REVIEW

REVISIONS  
NUMBER: DATE:

# A 2.1

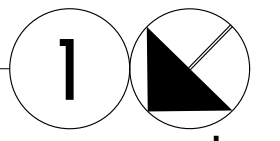
PLANS

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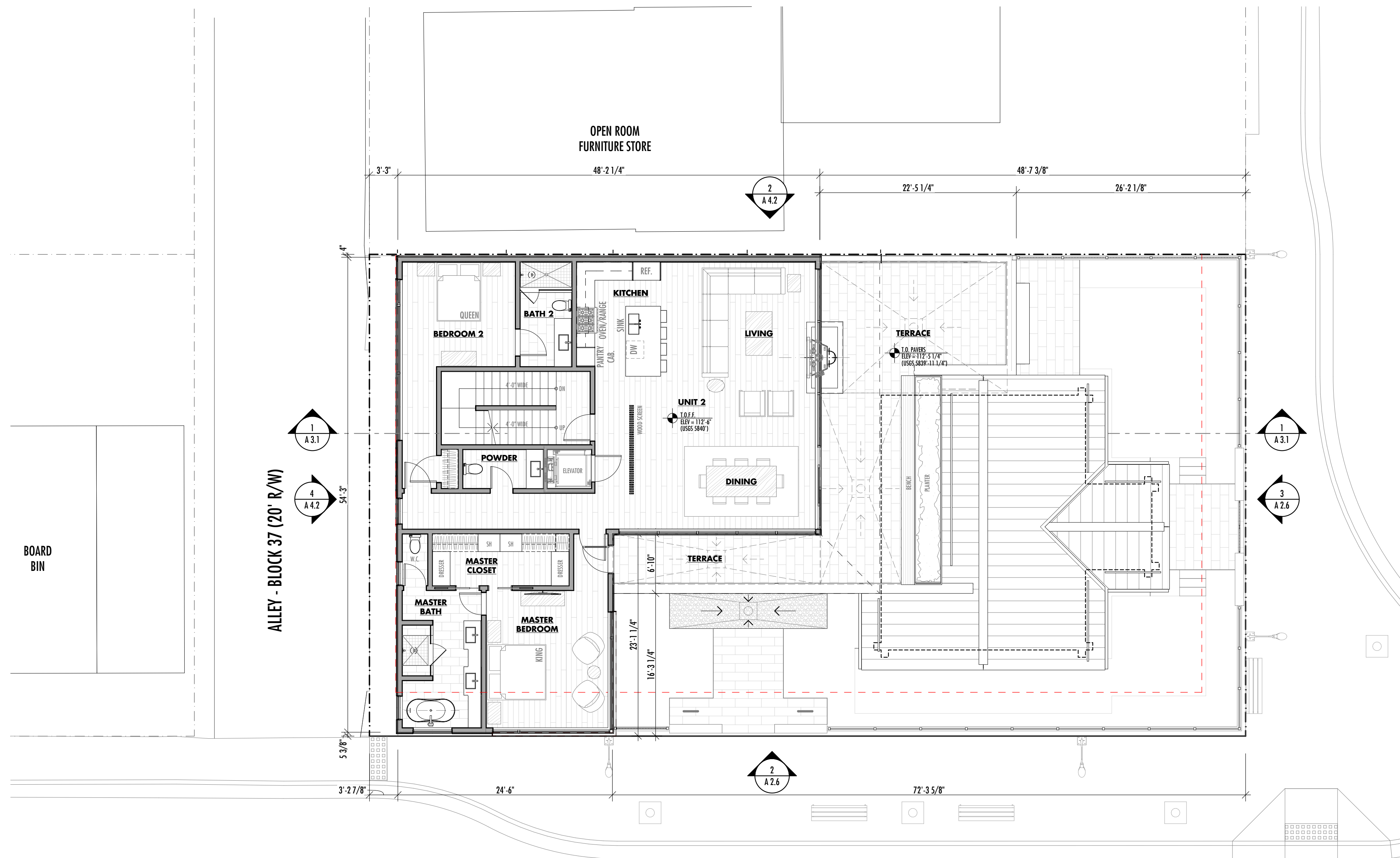
FIRST FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

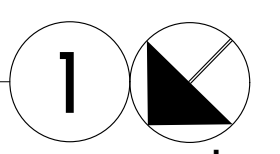


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SECOND FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

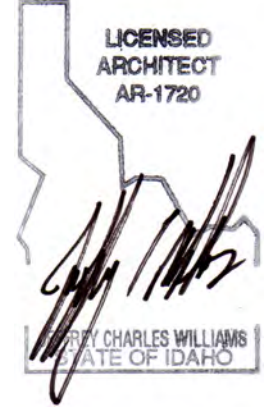
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83340  
PHONE 208.726.0020  
FAX 208.726.0019  
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09/30/2021 DESIGN REVIEW

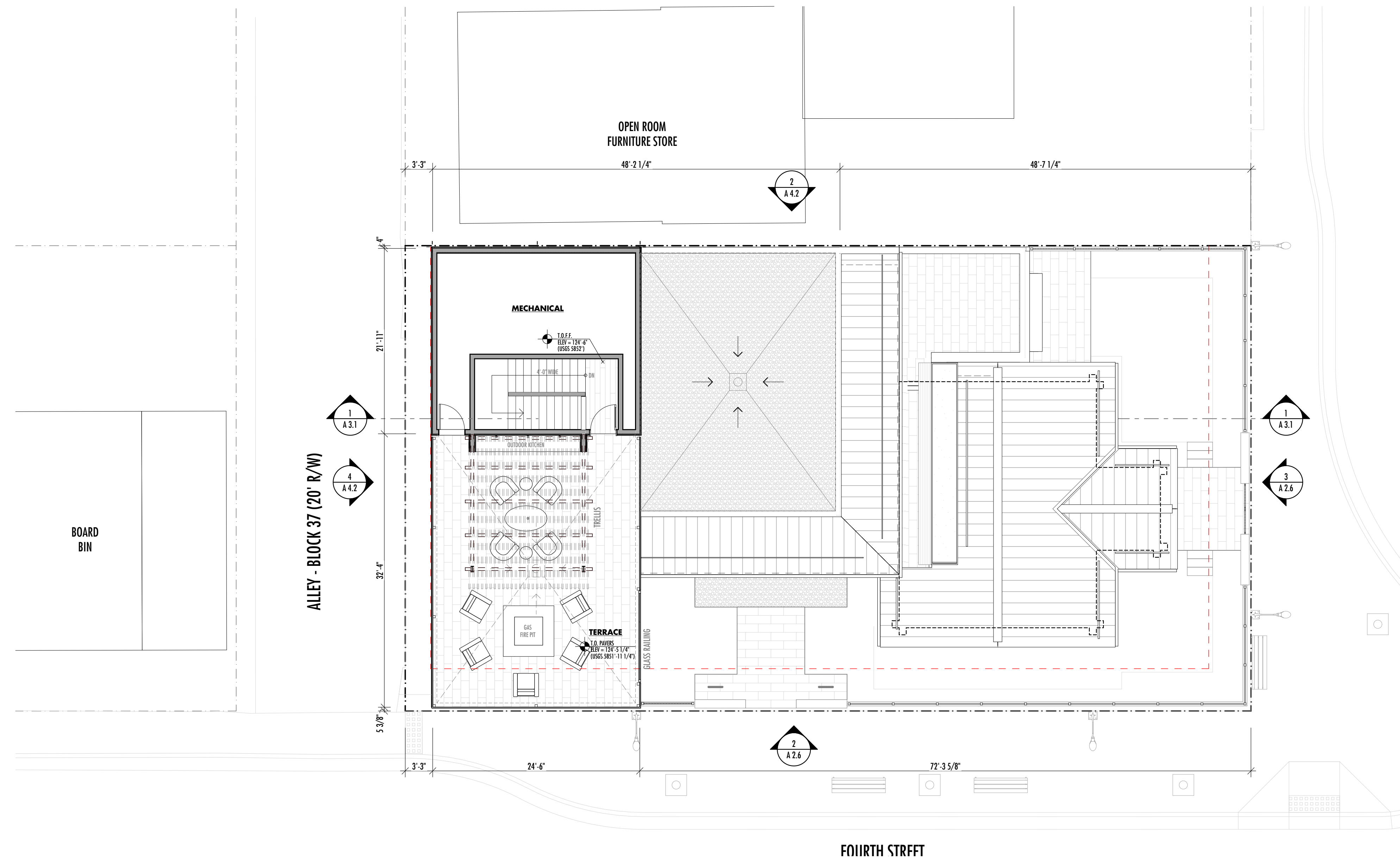
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NUMBER: DATE:

## A 2.2

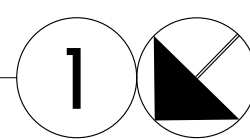
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THIRD FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



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# 380 N. 1st Ave. Mixed-Use Building

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09/30/2021 DESIGN REVIEW

REVISIONS  
NUMBER: DATE:

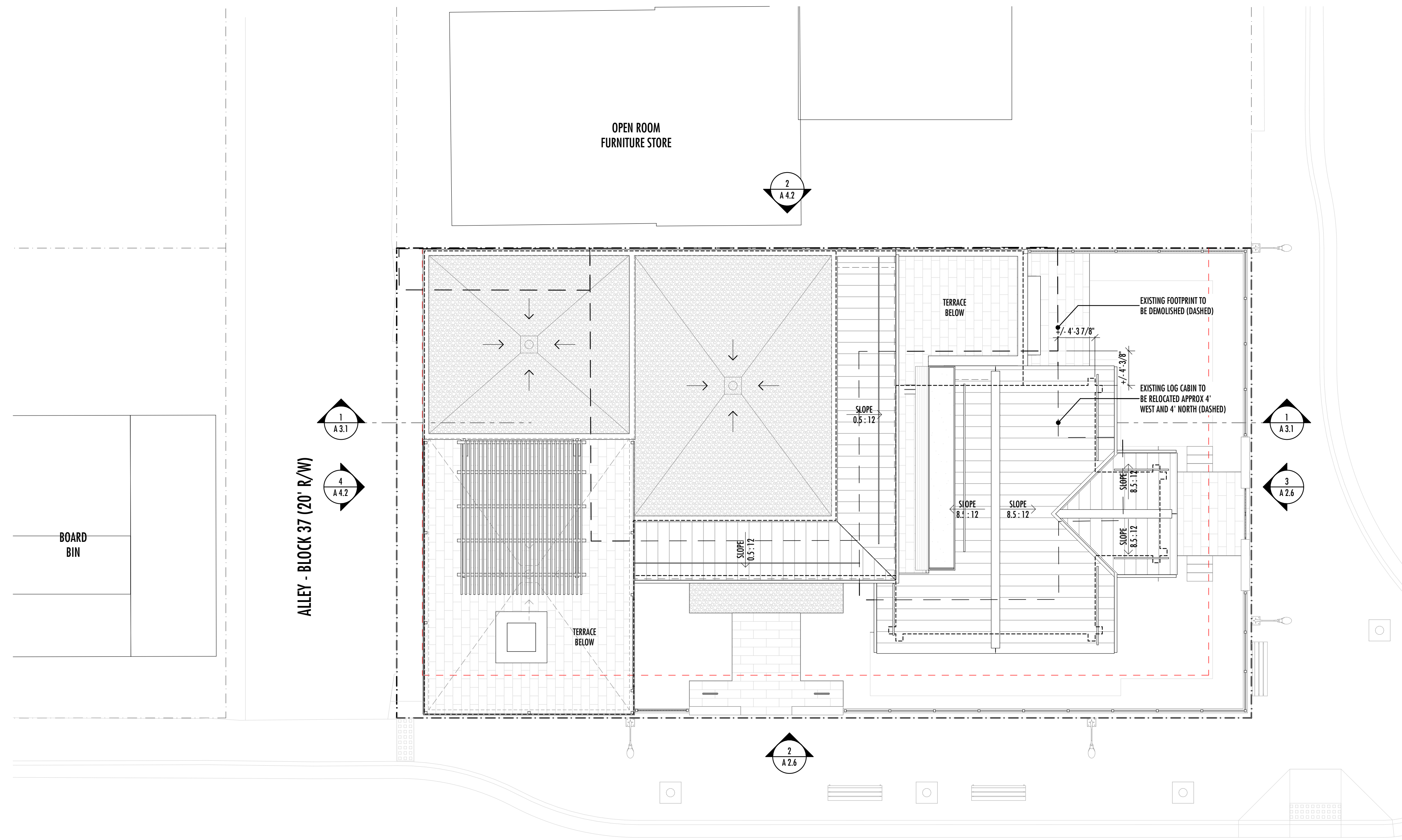
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PLANS

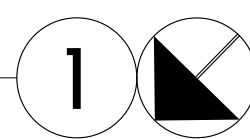
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ROOF PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



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PLANS

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**NET SQUARE FOOTAGE**

FIRST FLOOR:	1,678 S.F.
SECOND FLOOR:	1,465 S.F.
THIRD FLOOR:	0 N.S.F.
<b>TOTAL N.S.F.:</b>	<b>3,143 S.F.</b>

[FLOOR AREA, NET: THE SUM OF THE HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.]

**GROSS SQUARE FOOTAGE**

FIRST FLOOR	
EXISTING (OFFICE):	742 S.F.
NEW (OFFICE)	106 S.F.
NEW COMMON SPACE:	442 S.F.
NEW COMMON PARKING/TRASH/METERS:	774 S.F.
NEW UNIT 1 LIVING:	750 S.F.
NEW UNIT 2 GARAGE:	490 S.F.
NEW UNIT 2 LIVING:	175 S.F.
<b>FIRST FLOOR SUB-TOTAL:</b>	<b>3,479 S.F.</b>

FIRST FLOOR SUB-TOTAL TOWARDS F.A.R.:  
THREE PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 S.F. IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION  
[3,479 S.F. - (3 x (9 x 18)) = 2,993 S.F.]

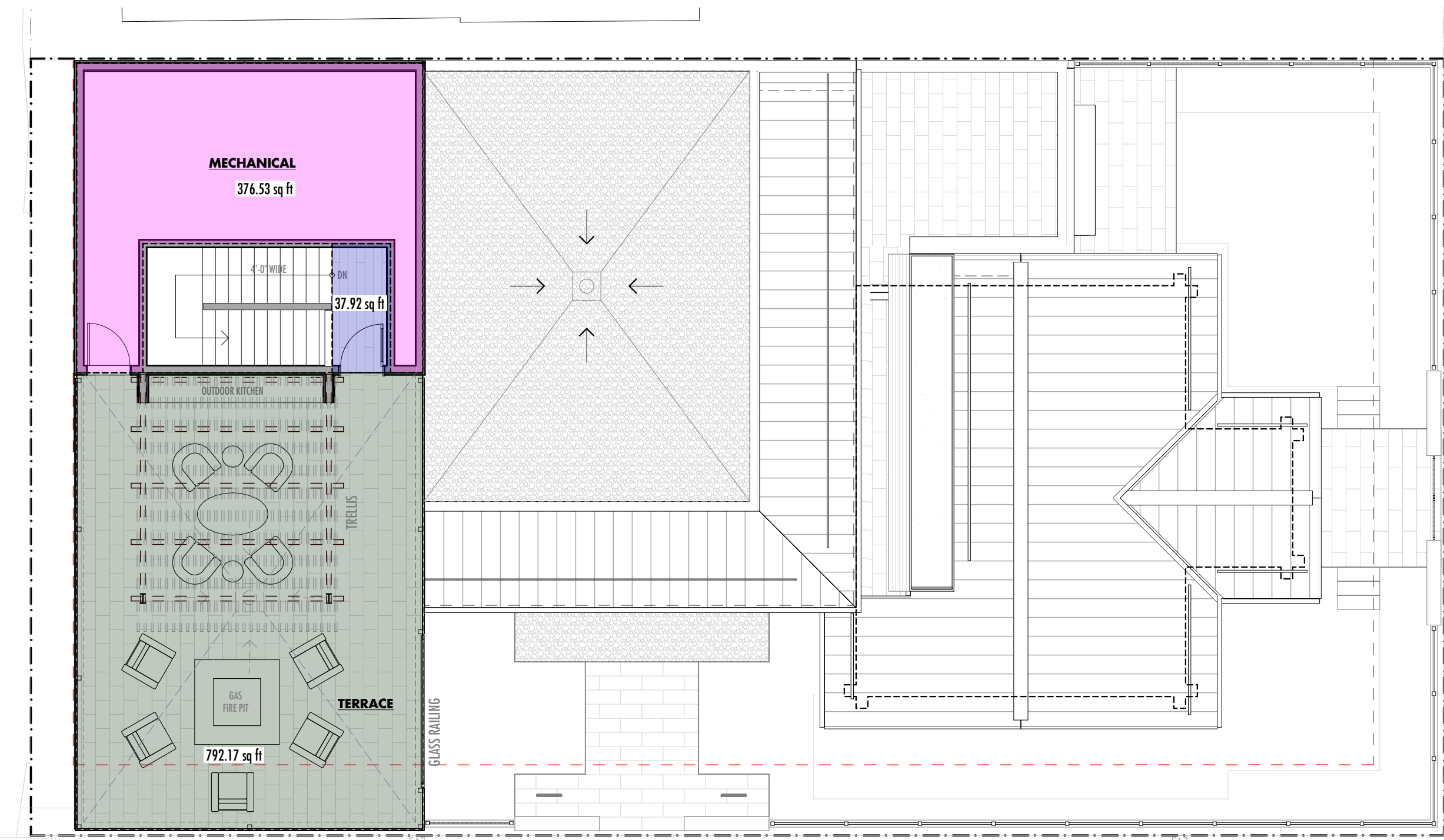
SECOND FLOOR	
UNIT 2 LIVING:	1,952 S.F.
TERRACE:	710 S.F.
THIRD FLOOR	
UNIT 2 LIVING:	38 S.F.
COMMON MECHANICAL:	377 S.F.
TERRACE:	792 S.F.

TOTAL REMODEL (EXISTING CABIN): 742 S.F.  
TOTAL NEW: 5,103 S.F.

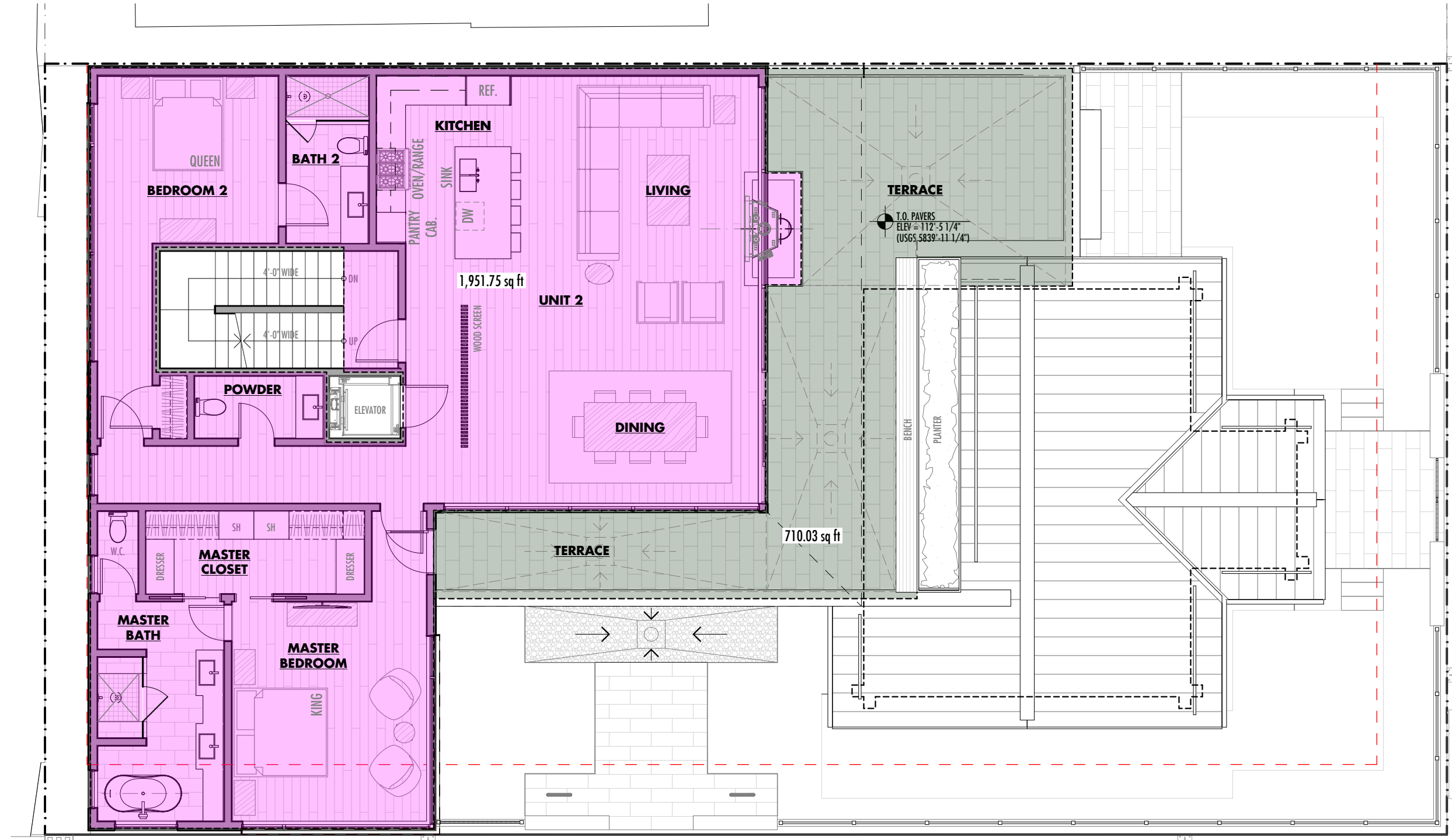
TOTAL G.S.F. (INCLUDING GARAGES): 5,845 S.F.

TOTAL TOWARDS F.A.R.: 5,359 S.F.  
[5,359 / 5,505 = 0.97 F.A.R.]

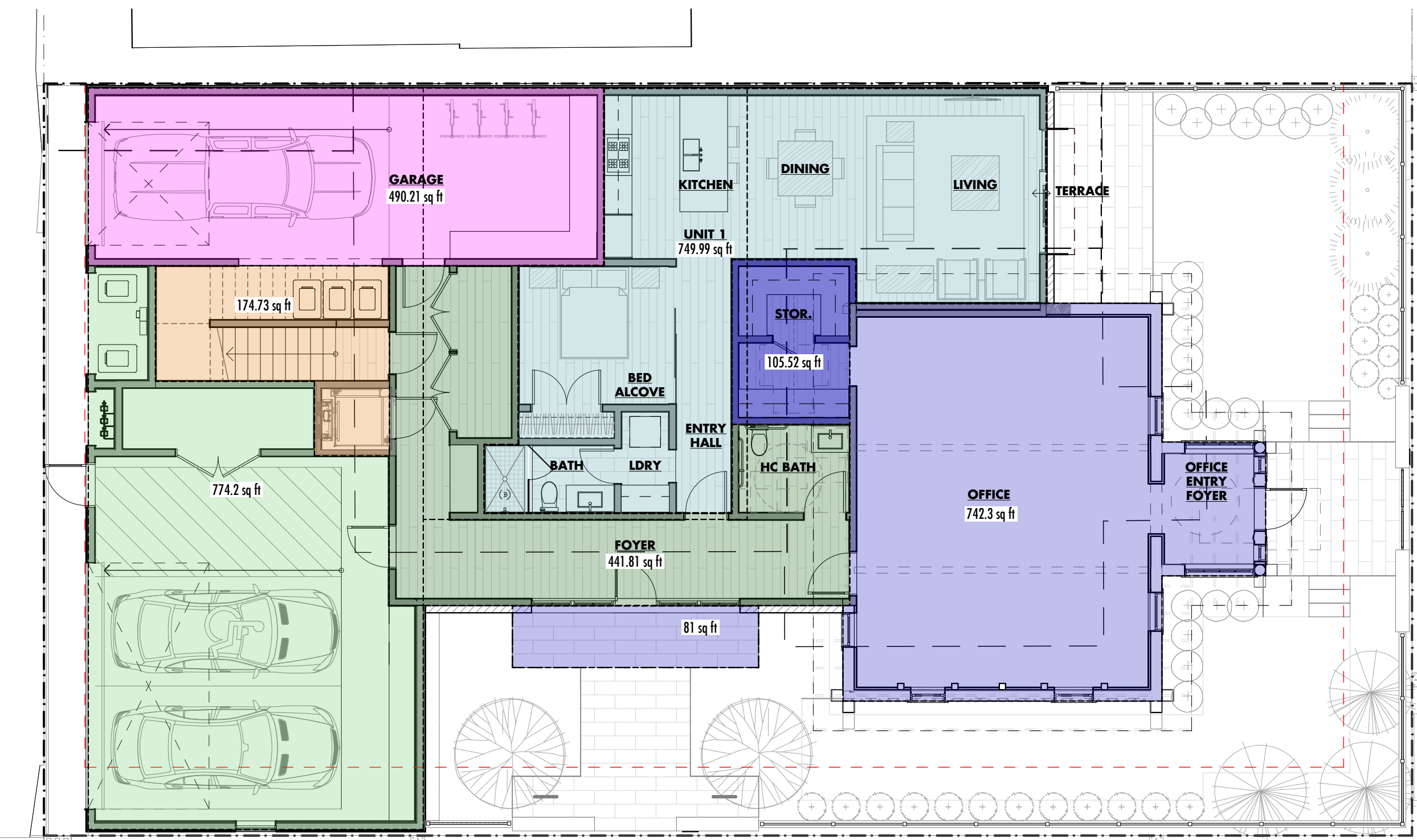
[FLOOR AREA, GROSS: THE SUB OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND FIFTY PERCENT OF ATRIUMS OVER EIGHTEEN FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SHITE LOTS OF 5,600 SF IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.]



THIRD FLOOR AREA CALCS (GROSS SF) 3



SECOND FLOOR AREA CALCS (GROSS SF) 2



FIRST FLOOR AREA CALCS (GROSS SF)

**380 N. 1st Ave. Mixed-Use Building**

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

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DRAWINGS  
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ISSUED: 06/10/2021  
COX HPC REVIEW  
09/30/2021  
DESIGN REVIEW

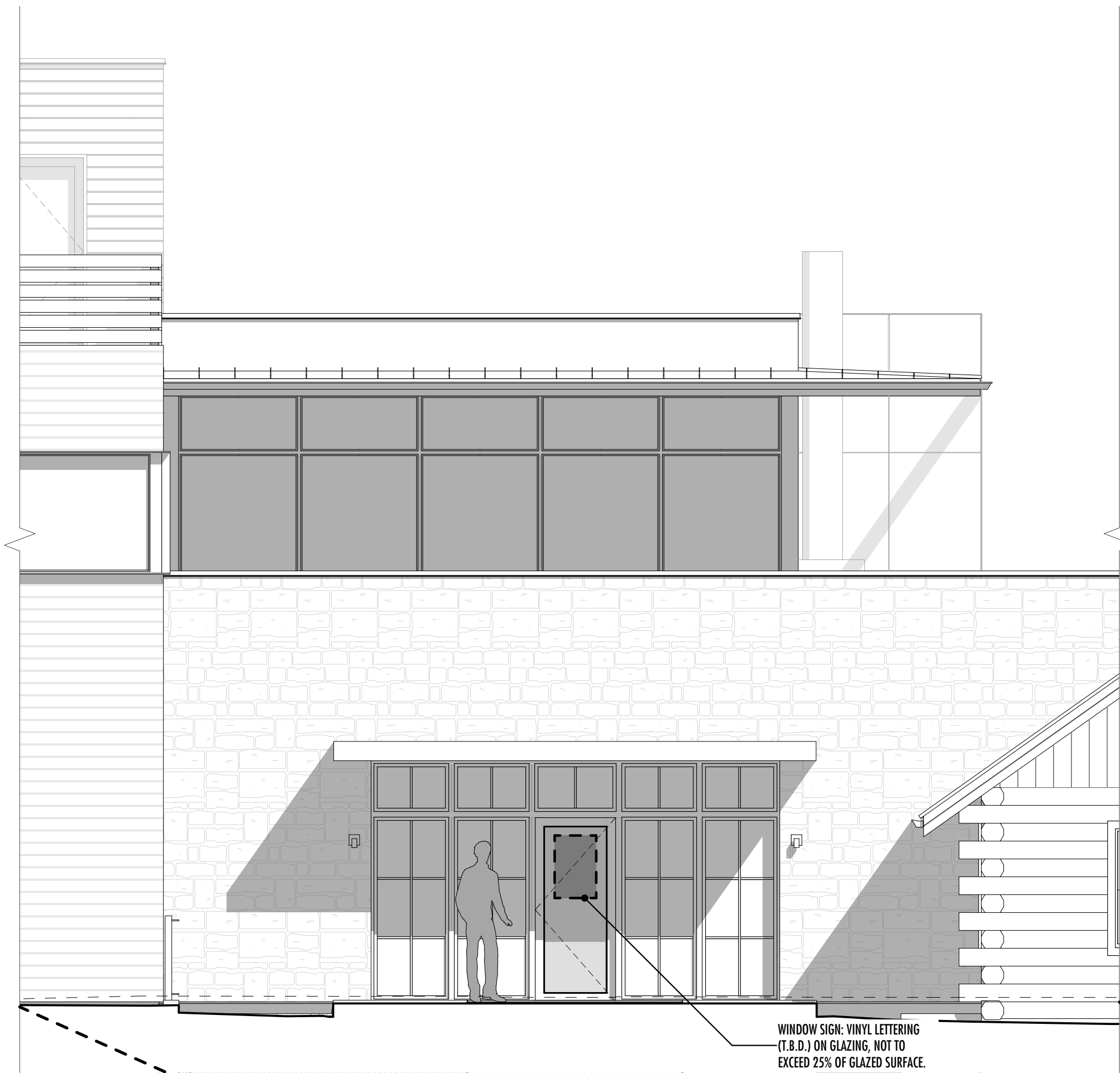
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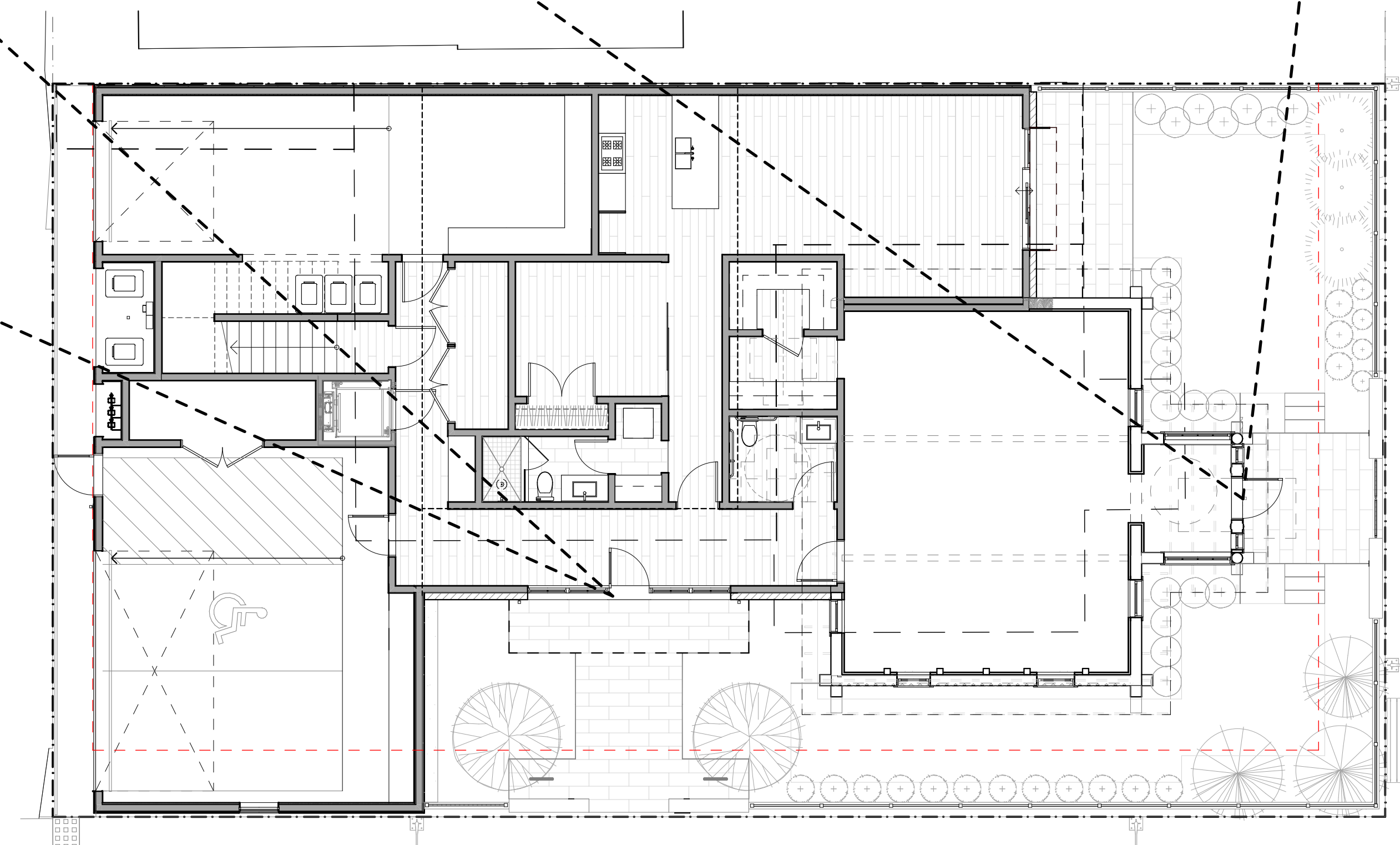
NORTH ELEVATION - PROPOSED SIGNAGE 2

WINDOW SIGN: VINYL LETTERING (T & D.) ON GLAZING, NOT TO EXCEED 25% OF GLAZED SURFACE.



WEST ELEVATION - PROPOSED SIGNAGE 3

WINDOW SIGN: VINYL LETTERING (T & D.) ON GLAZING, NOT TO EXCEED 25% OF GLAZED SURFACE.



PROPOSED MASTER SIGNAGE PLAN 1

SCALE: 1/8" = 1'-0"



Y:\McMorrow\04 - BIM Project Files\MCMORROW MIXED USE v24.pln

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

**ARCHITECTS**

MAIL: P.O. B. 4373  
KETCHUM, IDAHO  
83340  
PHONE: 208.726.0020  
FAX: 208.726.0019  
WWW: WILLIAMS-PARTNERS.COM

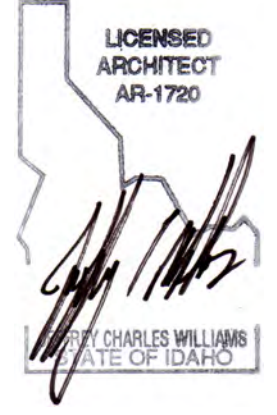
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**A 2.6**

PLANS

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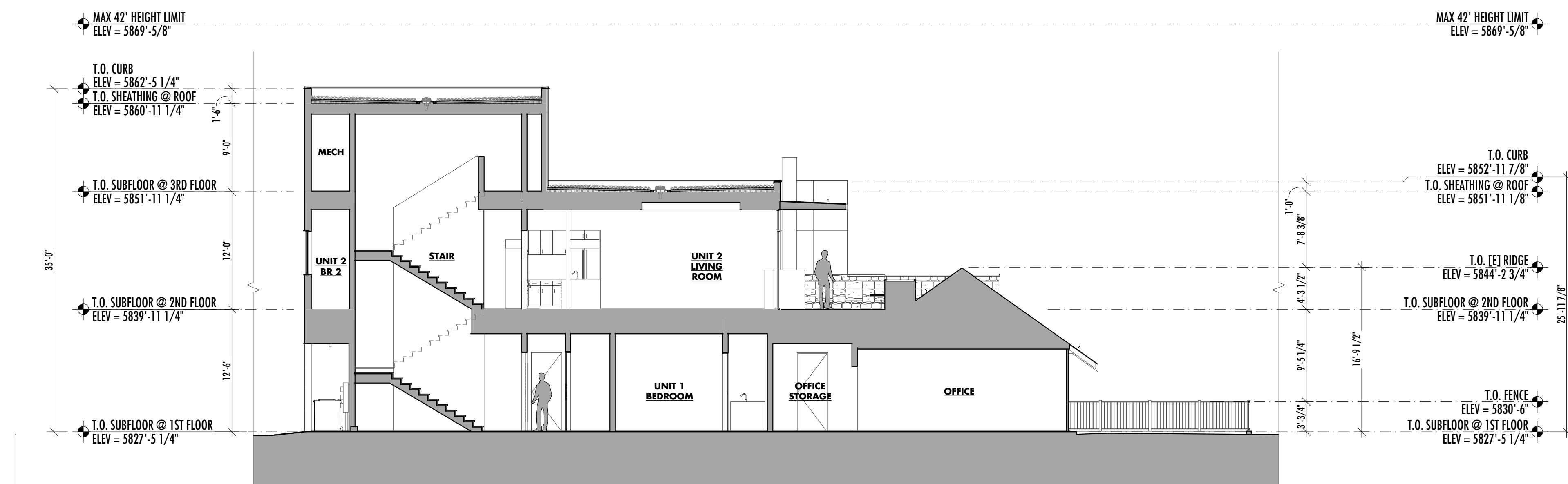
REVISIONS  
NUMBER: DATE:

# A 3.1

BUILDING SECTIONS

97

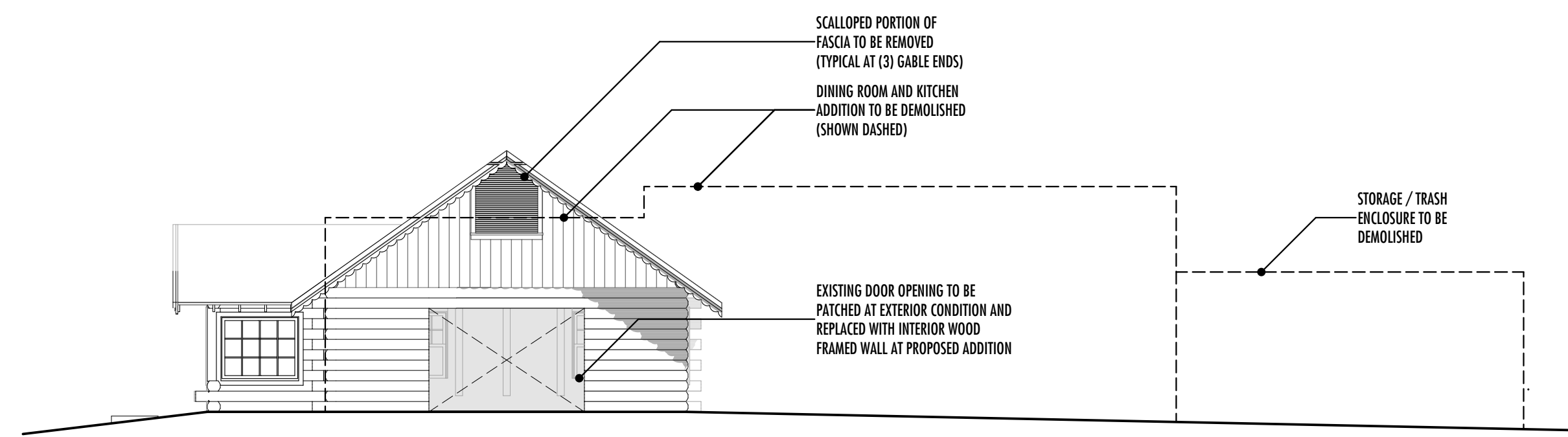
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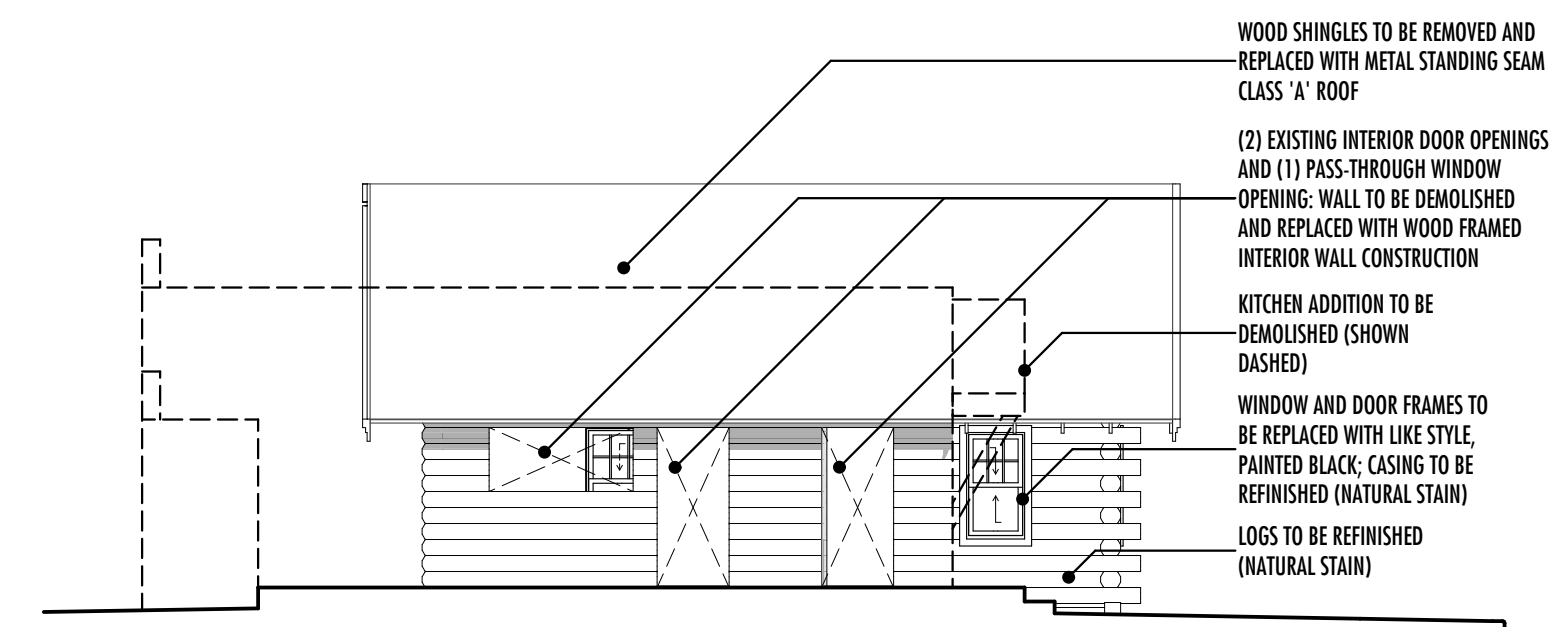
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SCALE: 1/8" = 1'-0"

1

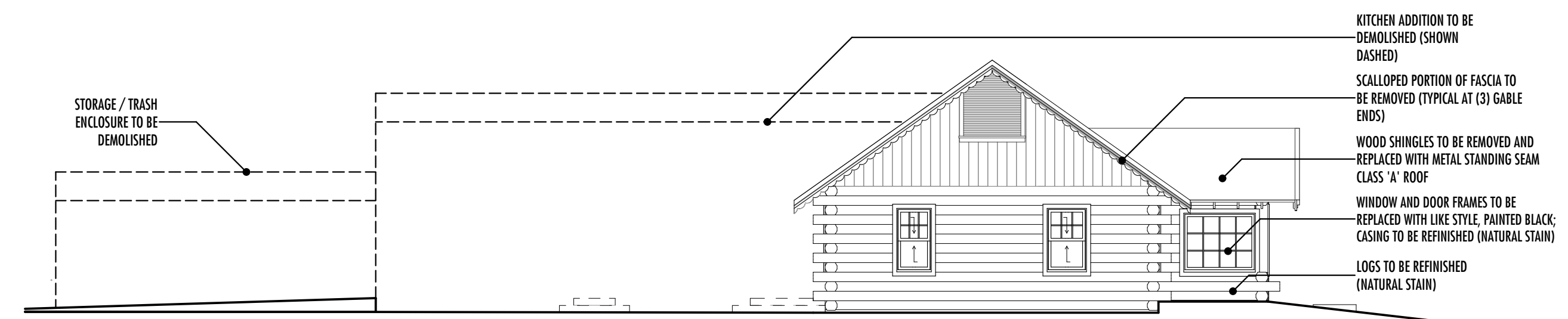




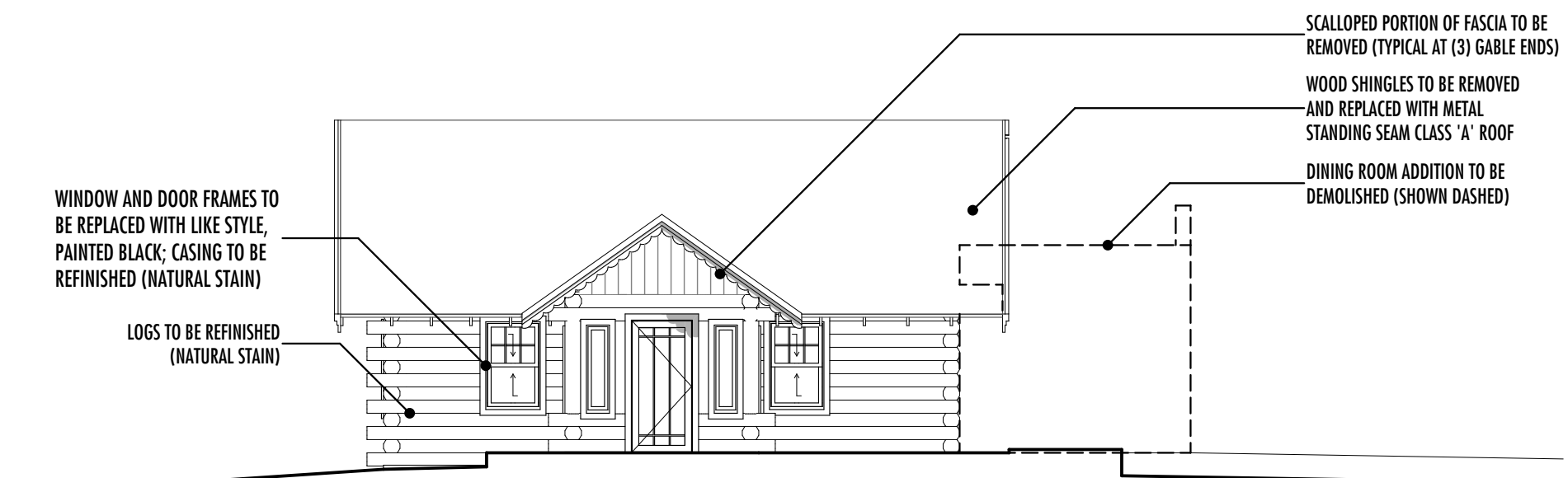
SOUTH ELEVATION - EXISTING 4



EAST ELEVATION - EXISTING 2



NORTH ELEVATION - EXISTING 3



WEST ELEVATION - EXISTING 1

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340



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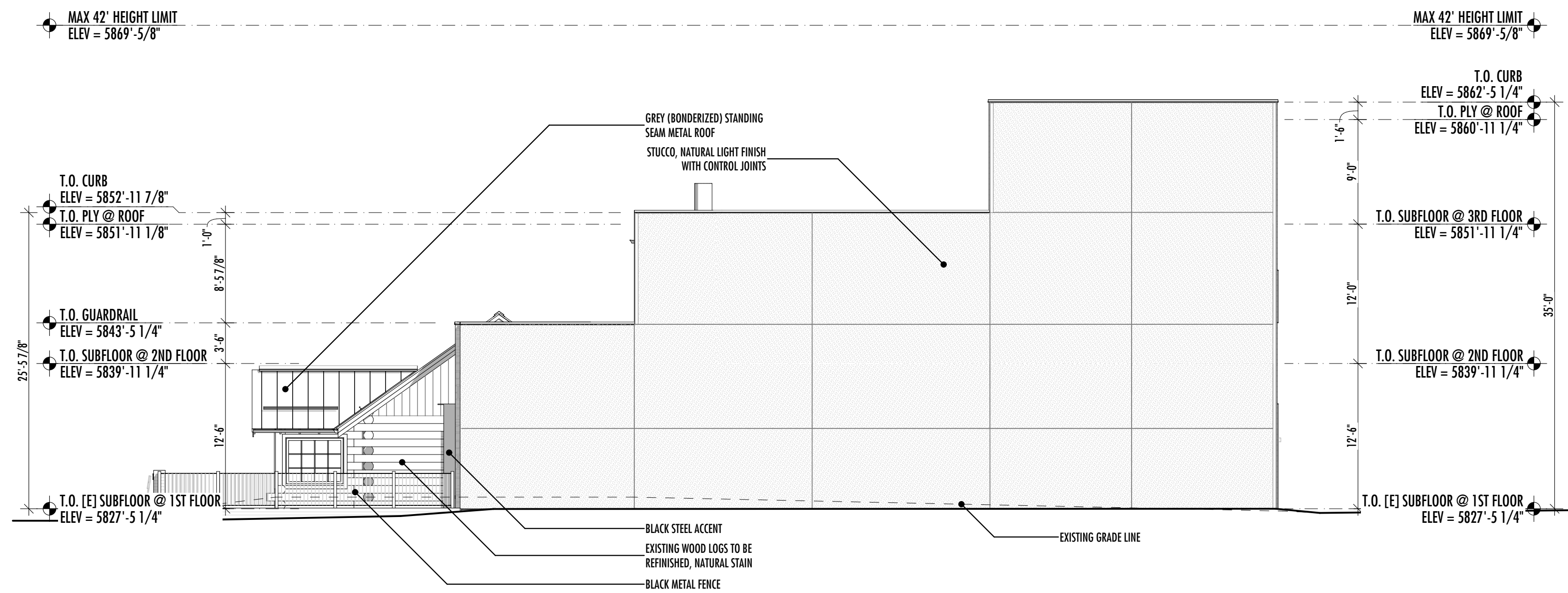
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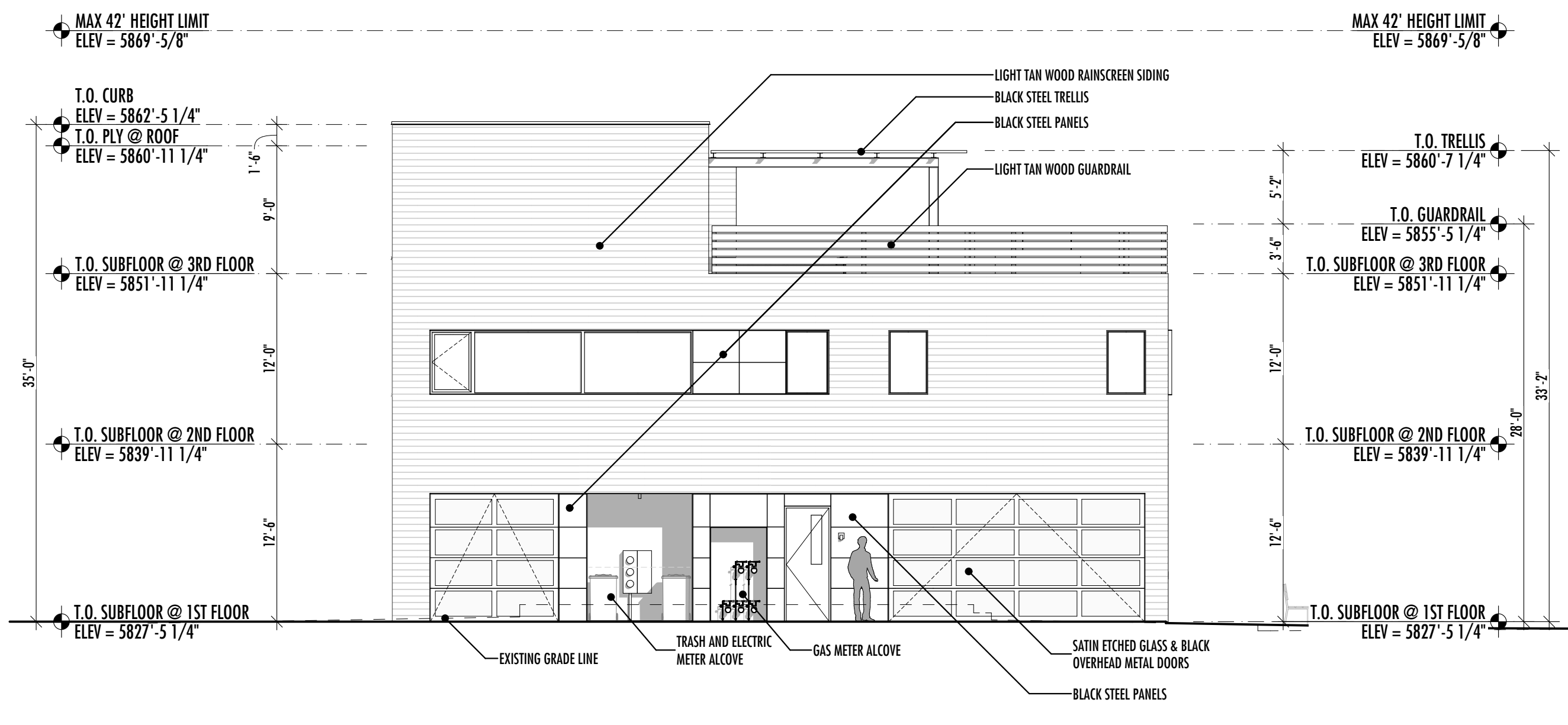
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NUMBER: DATE:

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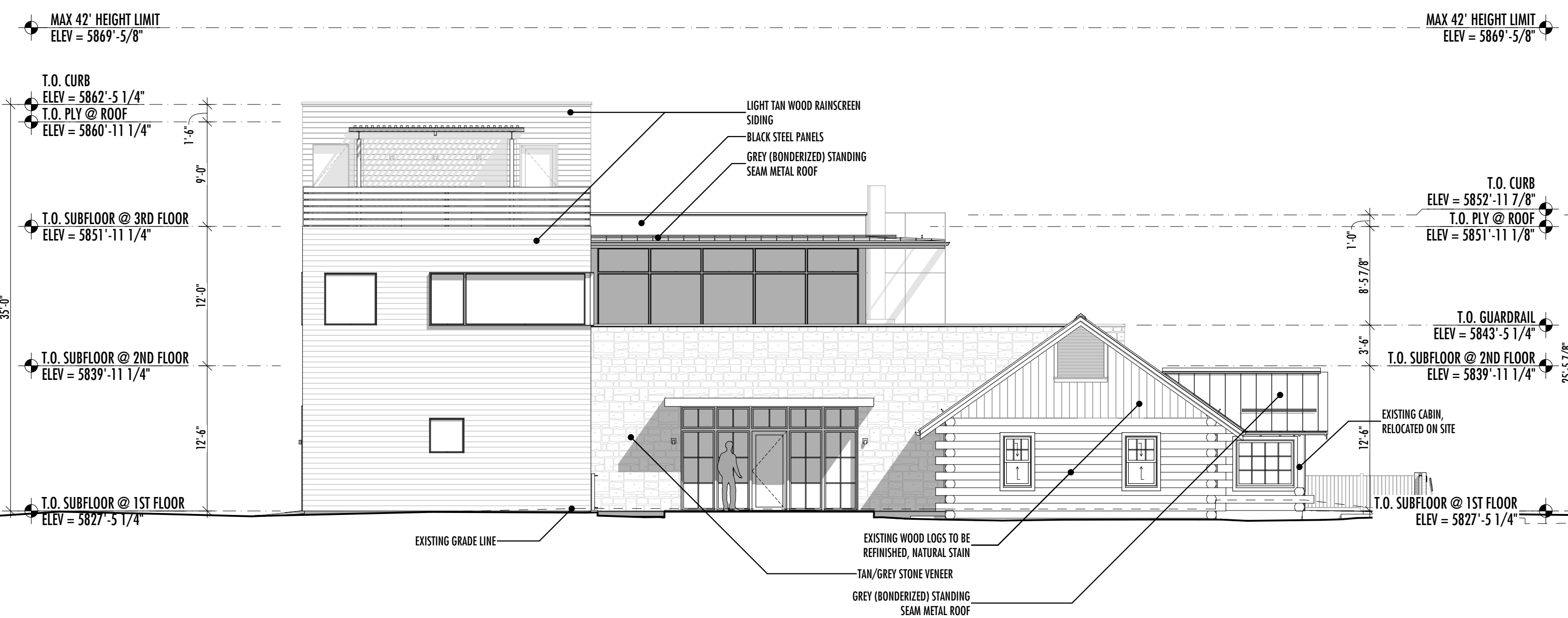




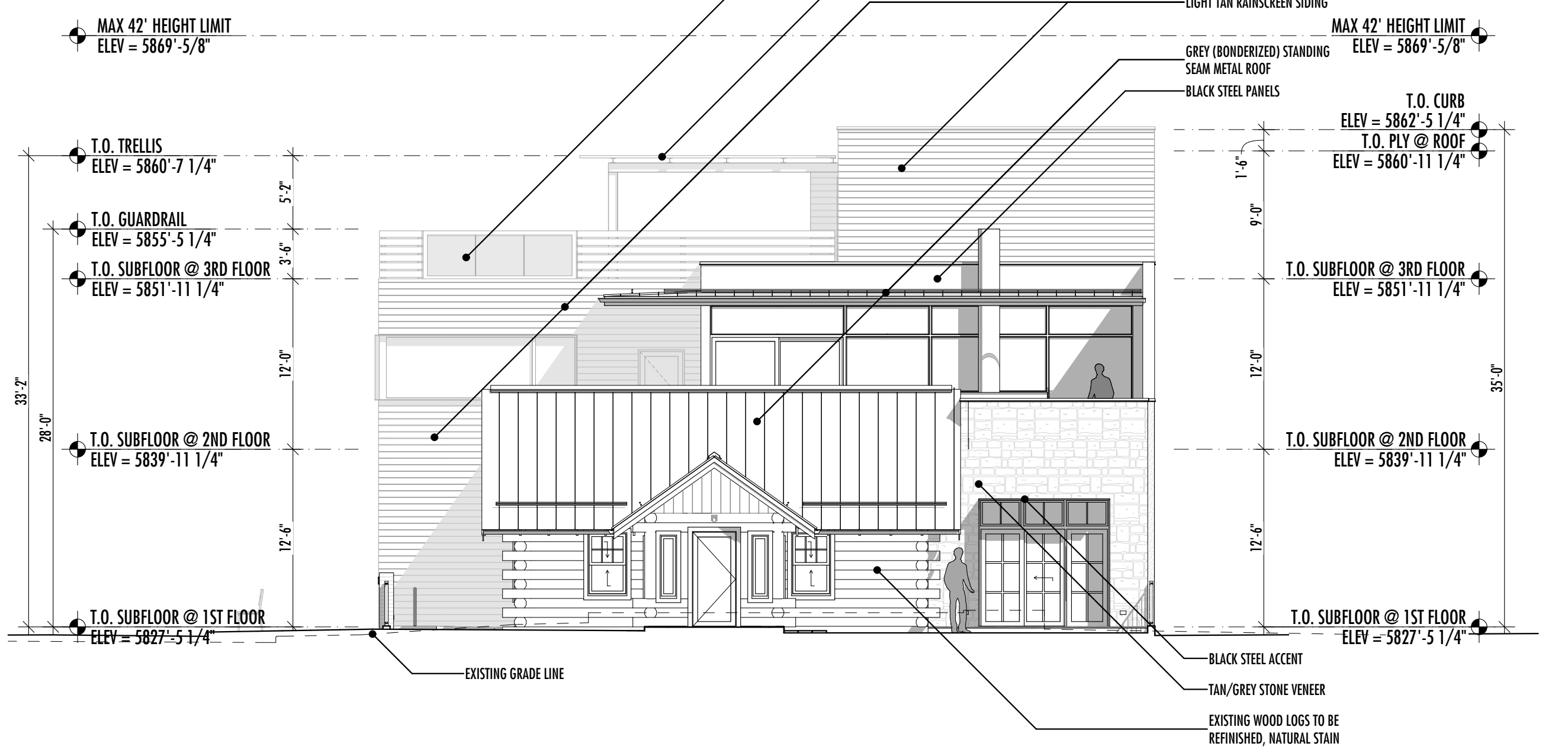
**SOUTH ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0" **2**



**EAST ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0" **4**



**NORTH ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0" **3**



**WEST ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0" **1**

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340



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09/30/2021  
DESIGN REVIEW

**REVISIONS**  
NUMBER: DATE:

**A 4.2**

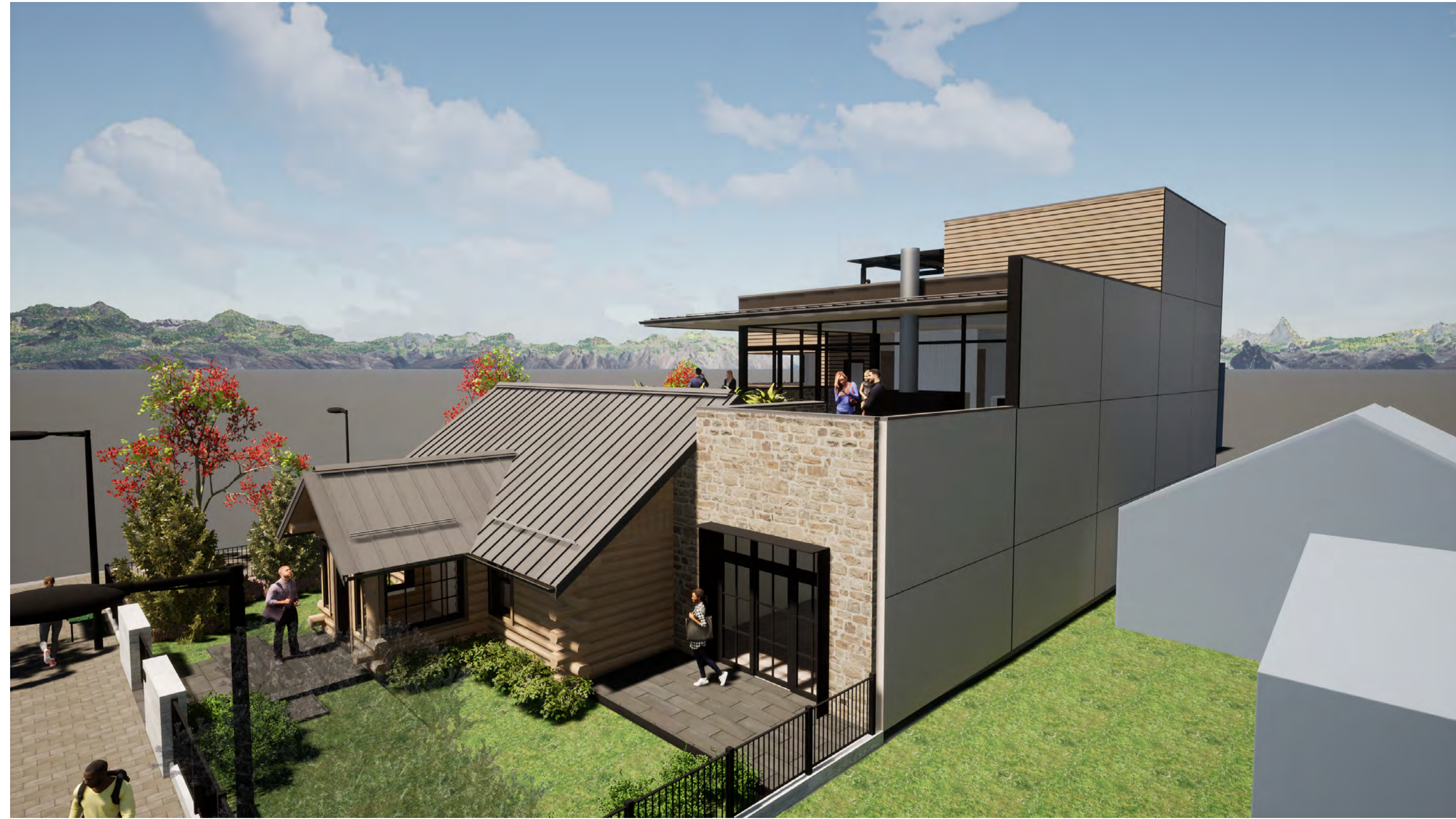
EXTERIOR ELEVATIONS

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VIEW LOOKING SOUTH 1



VIEW LOOKING NORTH 2



VIEW LOOKING SOUTHEAST 3



VIEW LOOKING NORTHEAST 4

# 380 N. 1st Ave. Mixed-Use Building

Lot 5, Block 37, Ketchum, Idaho 83340

**WILLIAMS PARTNERS**

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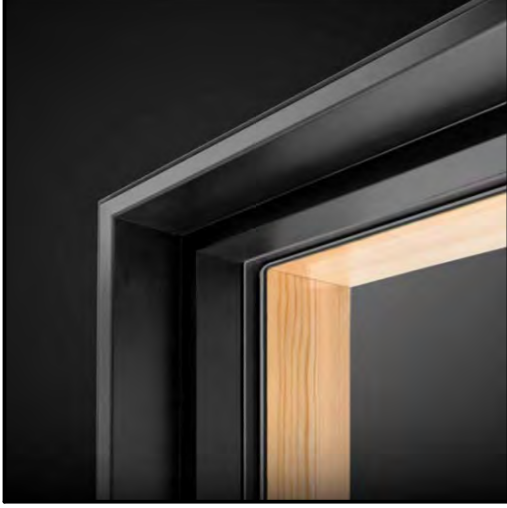
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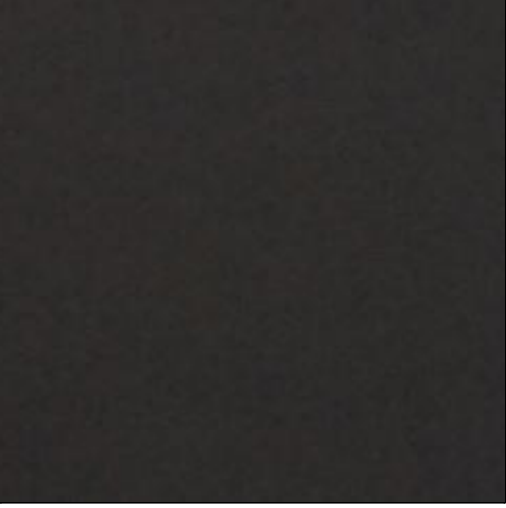
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# MATERIALS BOARD

HARDSCAPE		<b>PAVERS</b> ELEMENT Terraces	<u>MATERIAL</u> Concrete Pavers	<u>COLOR / FINISH</u> Grey	<u>NOTES</u> Mutual Pavers - Vancouver Bay Series
		<b>PAVERS</b> ELEMENT Entries/ Patio /	<u>MATERIAL</u> Concrete Pavers	<u>COLOR / FINISH</u> Grey	<u>NOTES</u> Castohn - Olympic Paver
		<b>STUCCO</b> ELEMENT Stucco South Wall	<u>MATERIAL</u> Stucco	<u>COLOR / FINISH</u> Natural/Warm Beige	<u>NOTES</u>
		<b>CONCRETE SITE WALLS</b> ELEMENT Site walls	<u>MATERIAL</u> Concrete	<u>COLOR / FINISH</u> Grey	<u>NOTES</u> Board formed
		<b>WINDOWS</b> ELEMENT Window	<u>MATERIAL</u> Aluminum Clad Wood	<u>COLOR / FINISH</u> Black cladding	<u>NOTES</u> Loewen (or similar); at cabin: style to match existing window style

ADDITION ONLY		<b>ROOF</b> ELEMENT Flat Roof	<u>MATERIAL</u> EPDM Membrane (Ballasted Roof)	<u>COLOR / FINISH</u> Tan/Grey	<u>NOTES</u>
		<b>ROOF / FASCIA / FLASHING</b> ELEMENT Sloped Roofs Fascia / flashing / parapet caps	<u>MATERIAL</u> Standing seam metal Metal (24 Gauge)	<u>COLOR / FINISH</u> Grey (Bonderized) Grey (Bonderized)	<u>NOTES</u>
		<b>SOFFIT</b> ELEMENT Soffit	<u>MATERIAL</u> Wood	<u>COLOR / FINISH</u> Natural	<u>NOTES</u>
		<b>LOGS</b> ELEMENT Logs at cabin	<u>MATERIAL</u> Wood	<u>COLOR / FINISH</u> Natural	<u>NOTES</u>
		<b>SIDING</b> ELEMENT Rainscreen Siding	<u>MATERIAL</u> Wood	<u>COLOR / FINISH</u> Light Tan	<u>NOTES</u> Light wire-brush, T&G with 1/8" reveal
ADDITION ONLY		<b>STONE VENEER</b> ELEMENT Stone veneer walls	<u>MATERIAL</u> Stone	<u>COLOR / FINISH</u> Tan / Grey	<u>NOTES</u>
		<b>METAL ACCENTS</b> ELEMENT Steel, steel accents	<u>MATERIAL</u> Steel	<u>COLOR / FINISH</u> Black	<u>NOTES</u> Painted

## 380 N. 1st Ave. Mixed-Use Building

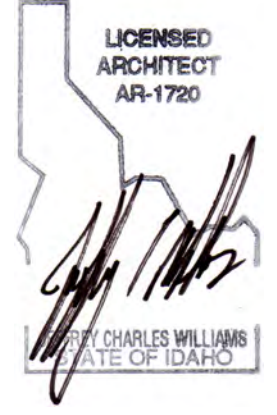
Lot 5, Block 37, Ketchum, Idaho 83340

### WILLIAMS PARTNERS

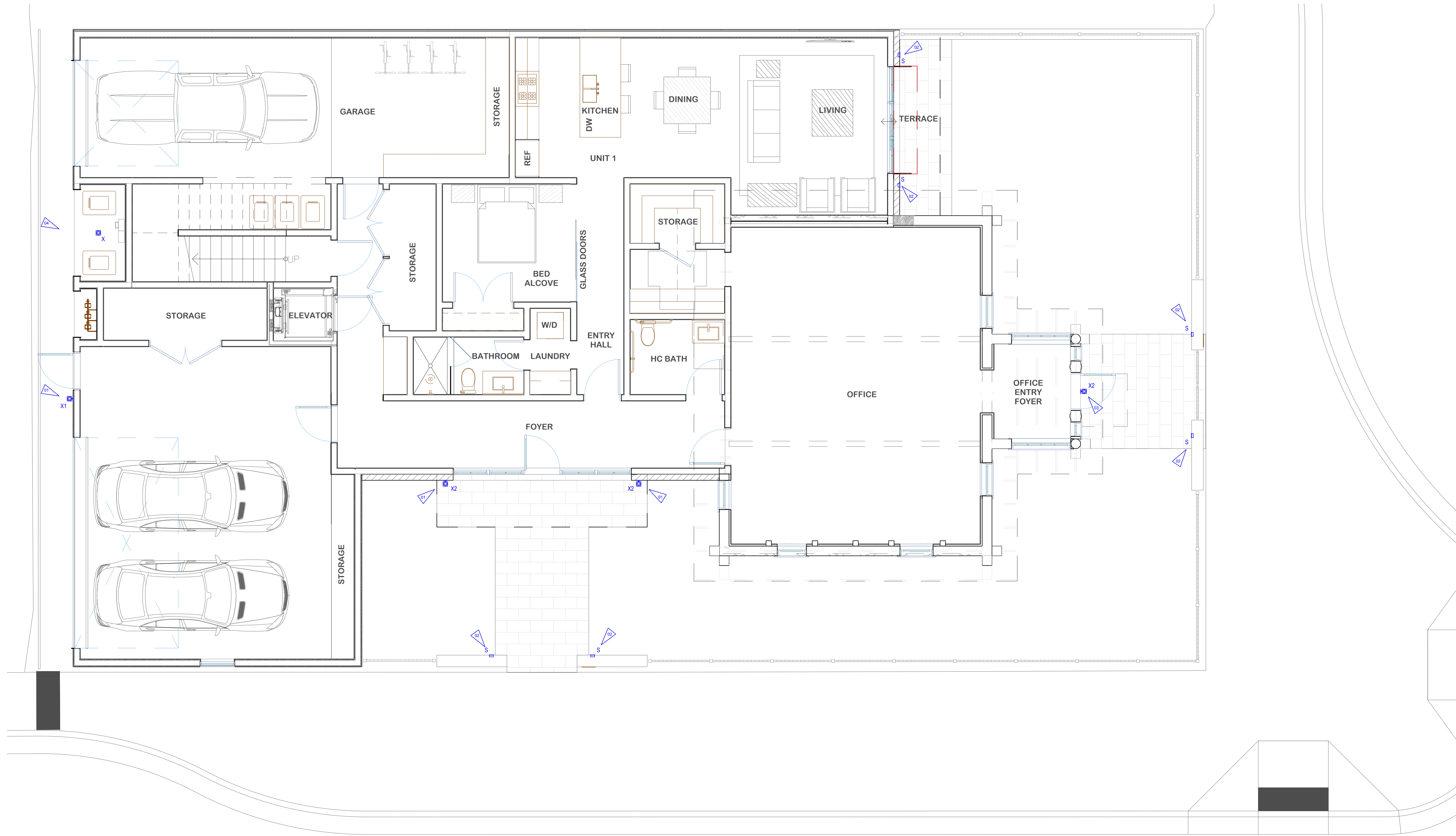
**ARCHITECTS**  
 MAIL P.O.B. 4373  
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 FAX 208.726.0019  
 WWW WILLIAMS-PARTNERS.COM  
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SYMBOL LEGENDS					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ELECTRIC METER		JUNCTION BOX		PUSH BUTTON
	ELECTRICAL PANEL		SMOKE DETECTOR		THERMOSTAT
	TELECOM WIRING CABINET		CARBON MONOXIDE DETECTOR		DOORBELL CHIME
	DUPLEX RECEPTACLE		COMBO SMOKE/CARBON MONOXIDE		LINEAR FIXTURE
	DUPLEX RECEPTACLE, HALF SWITCHED		MOTOR OR FAN CONNECTION		SURFACE FIXTURE - CEILING
	DOUBLE DUPLEX RECEPTACLE		SINGLE POLE SWITCH		SURFACE FIXTURE - WALL ROUND
	FLUSH FLOOR OUTLET		DOUBLE POLE SWITCH		SURFACE FIXTURE - WALL SQUARE
	SINGLE RECEPTACLE		THREE WAY SWITCH		RECESSED FIXTURE - ROUND
	SPECIAL PURPOSE OUTLET/POWER POINT		FOUR WAY SWITCH		RECESSED FIXTURE - ADJUSTABLE
	TELEPHONE OUTLET (WALL)		DIMMER		RECESSED SMALL FIXTURE - ROUND
	TELEPHONE OUTLET (FLOOR)		DIMMER, THREE OR 4 WAY		RECESSED FIXTURE - SQUARE
	DATA OUTLET (WALL)		SWITCH WITH BUILT IN ON/OFF TIMER		RECESSED FIXTURE - ADJUSTABLE
	DATA OUTLET (FLOOR)		SWITCH WITH BUILT IN OFF DELAY TIMER		RECESSED MINI FIXTURE - SQUARE
	COAX TELEVISION OUTLET		MOTION SENSOR (OCCUPANCY) SWITCH		RECESSED STEP LIGHT FIXTURE
					ARC FAULT CIRCUIT INTERRUPTER
					GFCI FAULT CIRCUIT INTERRUPTER
					WEATHER PROOF
					INSTALL UNDER COUNTER LEVEL
					INSTALL ABOVE COUNTER LEVEL
					POP UP RECEPTACLE IN COUNTER
					MOUNT RECEPTACLE HORIZONTALLY
					INSTALL RECEPTACLE UNDER BENCH
					INSTALL RECEPTACLE IN CUBBIE/CABINET
					SWITCH WITH PILOT INDICATOR
					RECEPTACLE WITH NIGHT LIGHT
					RECEPTACLE WITH USB CHARGER
					FED BY SOLAR/BATTERY INVERTER
					FED BY GENERATOR/BATTERY PANEL

**1 FIRST FLOOR EXTERIOR LIGHTING**  
 SCALE: 1/4" = 1'0"  
  
 NORTH  
 See Sheet E1.2 For Fixture Schedule  
 See Sheet E1.2 For Flag Notes

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 ARCHITECTS: P. C. AND ARCHITECTS CONSULTANTS  
 WILLIAMS-PARTNERS.COM  
 16031 North Shore Dr  
 Leavenworth, WA 98826  
 509.835.9200  
 509.835.9201  
 Lighting & Electrical Systems

**380 N. 1st Avenue**  
 380 North First Avenue, Ketchum, Idaho 83340

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 PHONE: 208.726.0020  
 FAX: 208.726.0019  
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 August 8, 2021 Project Start

REVISIONS  
 NUMBER: DATE:  
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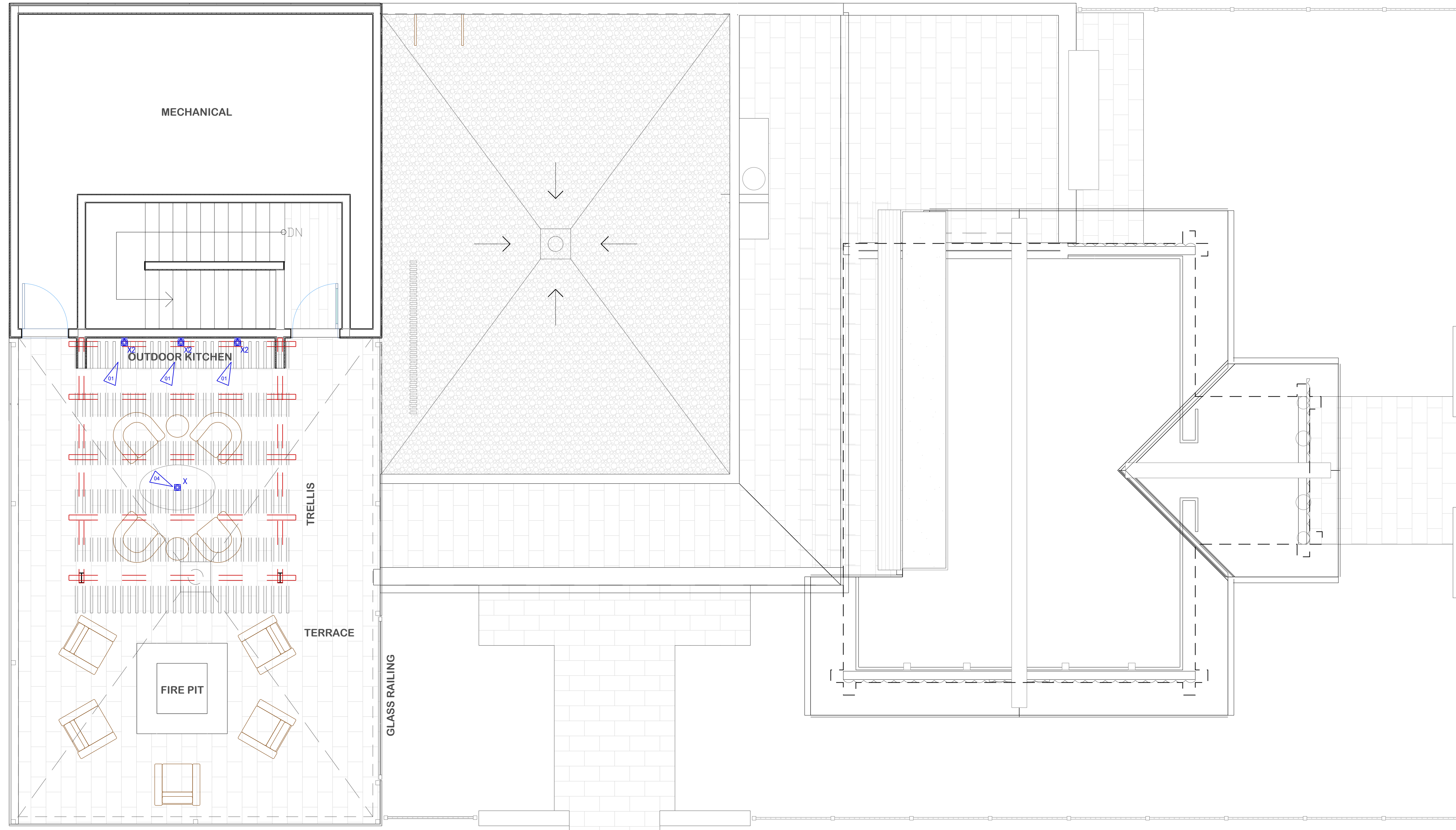
**E 1.1**  
 Electrical

PDF of:  
 McMoran Electrical 083021B.dwg









SYMBOL LEGENDS							
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	ABBREVIATIONS
	ELECTRIC METER		JUNCTION BOX		PUSH BUTTON		ARC FAULT CIRCUIT INTERRUPTER
	ELECTRICAL PANEL		SMOKE DETECTOR		THERMOSTAT		GFCI FAULT CIRCUIT INTERRUPTER
	TELECOM WIRING CABINET		CARBON MONOXIDE DETECTOR		DOORBELL CHIME		WEATHER PROOF
	DUPLEX RECEPTACLE		COMBO SMOKE/CARBON MONOXIDE		LINEAR FIXTURE		INSTALL UNDER COUNTER LEVEL
	DUPLEX RECEPTACLE, HALF SWITCHED		MOTOR OR FAN CONNECTION		SURFACE FIXTURE - CEILING		INSTALL ABOVE COUNTER LEVEL
	DOUBLE DUPLEX RECEPTACLE		SINGLE POLE SWITCH		SURFACE FIXTURE - WALL ROUND		POP UP RECEPTACLE IN COUNTER
	FLUSH FLOOR OUTLET		DOUBLE POLE SWITCH		SURFACE FIXTURE - WALL SQUARE		MOUNT RECEPTACLE HORIZONTALLY
	SINGLE RECEPTACLE		THREE WAY SWITCH		RECESSED FIXTURE - ROUND		INSTALL RECEPTACLE UNDER BENCH
	SPECIAL PURPOSE OUTLET/POWER POINT		FOUR WAY SWITCH		RECESSED FIXTURE - ADJUSTABLE		INSTALL RECEPTACLE IN CUBBIE/CABINET
	TELEPHONE OUTLET (WALL)		DIMMER		RECESSED SMALL FIXTURE - ROUND		SWITCH WITH PILOT INDICATOR
	TELEPHONE OUTLET (FLOOR)		DIMMER, THREE OR 4 WAY		RECESSED FIXTURE - SQUARE		RECEPTACLE WITH NIGHT LIGHT
	DATA OUTLET (WALL)		SWITCH WITH BUILT IN ON/OFF TIMER		RECESSED FIXTURE - ADJUSTABLE		RECEPTACLE WITH USB CHARGER
	DATA OUTLET (FLOOR)		SWITCH WITH BUILT IN OFF DELAY TIMER		RECESSED MINI FIXTURE - SQUARE		FED BY SOLAR/BATTERY INVERTER
	COAX TELEVISION OUTLET		MOTION SENSOR (OCCUPANCY) SWITCH		RECESSED STEP LIGHT FIXTURE		FED BY GENERATOR/BATTERY PANEL

**1 THIRD FLOOR EXTERIOR LIGHTING**  
SCALE: 1/4" = 1'0"



See Sheet E1.2 For Fixture Schedule

See Sheet E1.2 For Flag Notes

**380 N. 1st Avenue**  
380 North First Avenue, Ketchum, Idaho 83340

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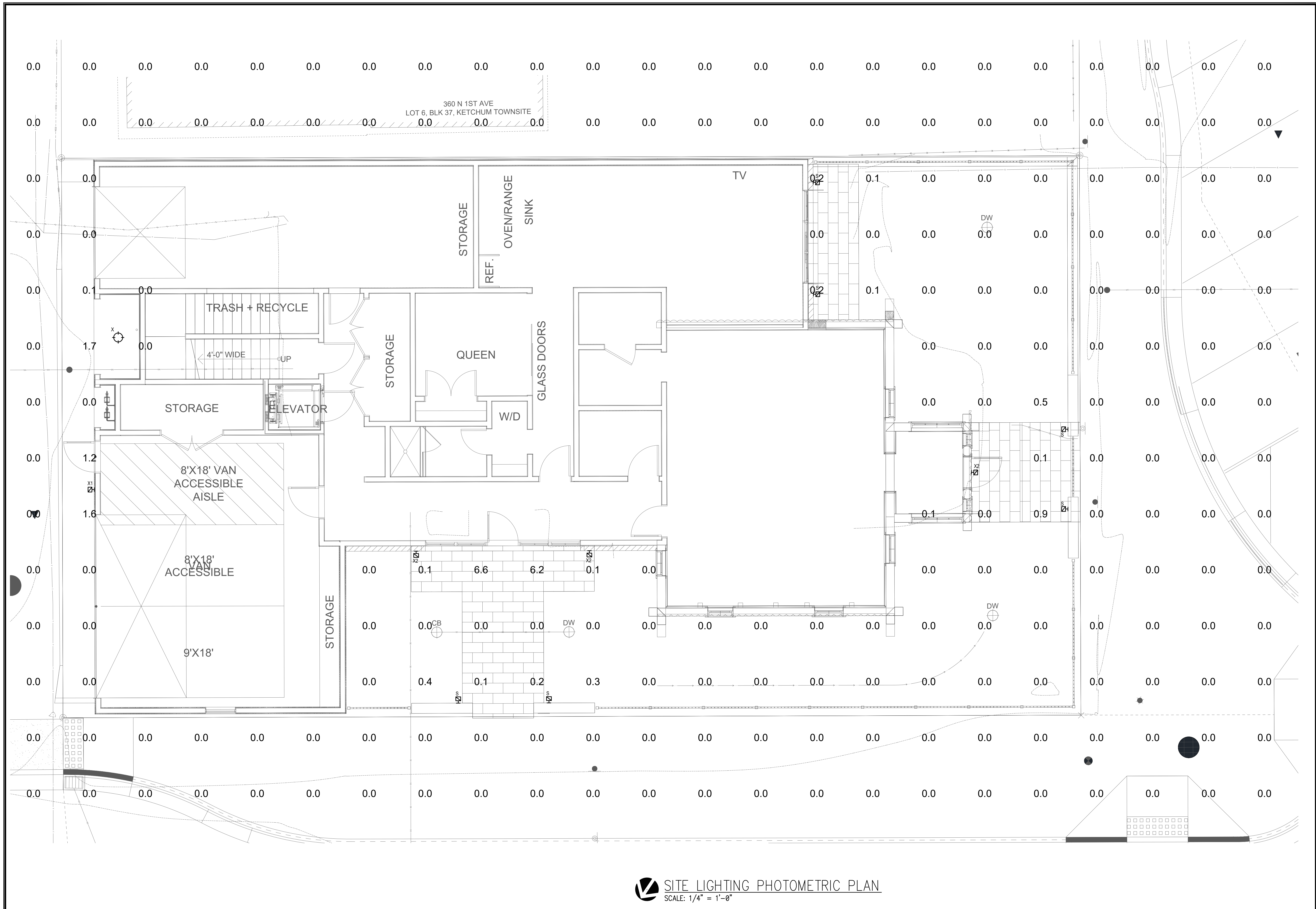
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R01 08.30.21

**E 1.3**  
Electrical

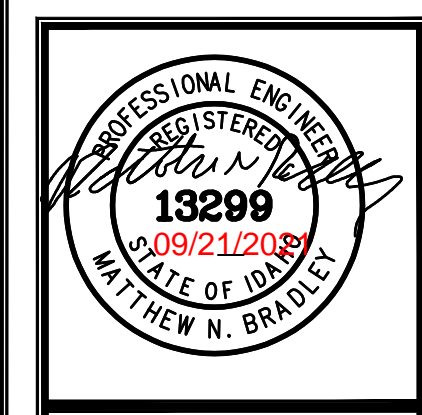
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**SysWest**  
16031 North Shore Dr  
Leavenworth, WA 98826  
ross@syswest.net  
Lighting & Electrical Systems





NO.	REVISIONS	DATE



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 Boise, ID 83725  
 208.384.1855  
 645 West 2nd Street  
 Idaho Falls, ID 83402  
 www.musgrovepa.com

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PROJECT	21-414
DRAWN	CCJ
CHECKED	MNB
DATE	09-21-2021
SCALE	PER PAGE
SHEET	

**E1.4**

**SITE LIGHTING PHOTOMETRIC PLAN**  
 SCALE: 1/4" = 1'-0"



McMorrow Project      Fixture Type X      Exterior Square Surface Downlight, 180 Lumens

### SPECIFICATIONS

**DESCRIPTION:**  
Compact square surface mount MR16 accent fixture with a machined mounting plate. Suitable for wet/damp/dry location installations.

**MATERIAL:**  
Standard overall material is 6061 aluminum.  
**HL-330S** - Machined Aluminum

**FINISH:**  
AA - Anodized Satin Aluminum  
AP - Powder Coat Aluminum  
BK - Powder Coat Black  
BZ - Powder Coat Bronze  
WT - Powder Coat White

**HALOGEN LAMPING OPTION:**  
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

**LED OPTIONS**  
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.  
**3LED - 3W LED - 180 lumens**  
**3LED - 5W LED - 300 lumens**  
**8LED-E - 8.4W LED - 565 lumens**


**OPTICS**  
3LED and 8LED:  
SP - Spot, 12°  
NF - Narrow Flood, 24°  
**FL - Flood, 36°**  
8LED-E:  
SP - Spot 14°  
NF - Narrow Flood, 25°  
MF - Medium Flood, 30°  
FL - Flood, 40°

**VOLTAGE:**  
**12** - 12 VAC output transformer required, not included.

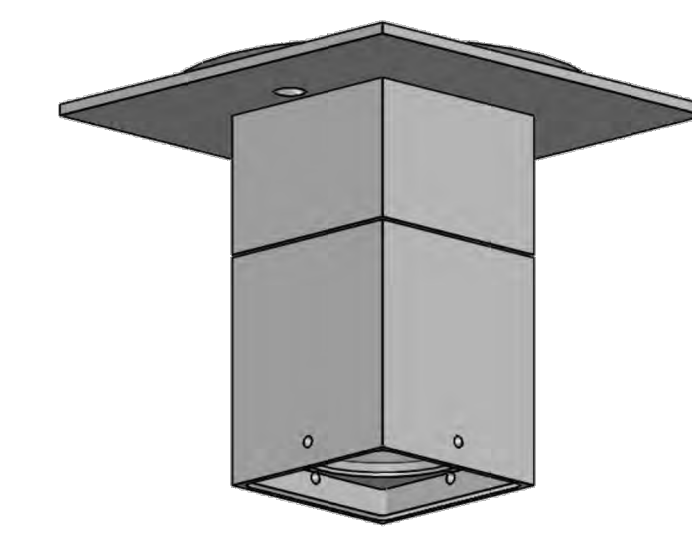
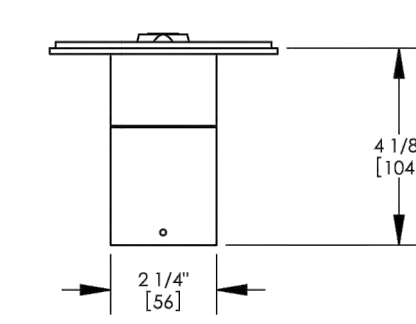
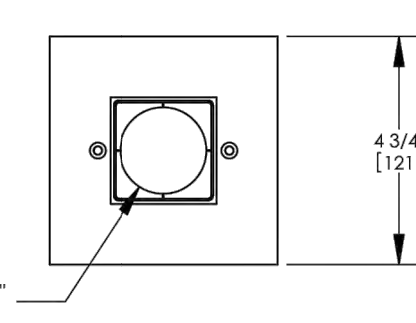
**MOUNTING:**  
Fixture is equipped with a 4.75" square mounting plate and (2) mounting screws.

**OPTIONS:**  
Lenses/Louvers/Color Filters  
LA-1 - Hexcell Louver (Black)  
LA-2 - Prismatic lens  
LA-3 - Linear spread lens  
LA-4 - Soft focus lens (diffused)  
LA-5 - Moonlight lens  
LA-6 - Blue lens  
See fixture accessories for more information.

**RATING:**  
Wet/damp/dry location.



**MADE IN THE USA**

ORDER SPECIFICATION: HL-330S - BK - 3LED-FL - 12 - LA-4

PROJECT: McMorrow Project      **HEVI LITE, INC.**  
9714 Variel Ave, Chatsworth, CA 91311  
Tel. (818) 341-8091 - Fax (818) 998-1986  
Web Site http://www.hevilitelighting.com

APPROVED: \_\_\_\_\_

NOTE: With Remote Power Supply

TYPE: Fixture Type X

CATALOG NUMBER: **HL-330S**

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McMorrow Project      Fixture Type X2      Exterior LED Wall Fixture

### SPECIFICATIONS

**DESCRIPTION:**  
Wall mount square MR16 accent fixture. Suitable for wet/damp/dry location installations.

**MATERIAL:**  
Standard overall material is 6061 aluminum.  
**HL-340S** - Machined Aluminum (Standard)

**FINISH:**  
AA - Anodized Satin Aluminum  
AP - Powder Coat Aluminum  
BK - Powder Coat Black  
BZ - Powder Coat Bronze  
WT - Powder Coat White

**HALOGEN LAMPING OPTION:**  
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

**LED OPTIONS**  
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.  
**3LED - 3W LED - 180 lumens**  
**3LED - 5W LED - 300 lumens**  
**8LED-E - 8.4W LED - 565 lumens**

**OPTICS**  
3LED and 8LED:  
SP - Spot, 12°  
NF - Narrow Flood, 24°  
**FL - Flood, 36°**  
8LED-E:  
SP - Spot 14°  
NF - Narrow Flood, 25°  
MF - Medium Flood, 30°  
FL - Flood, 40°


**VOLTAGE:**  
**12** - 12 VAC output transformer required, not included.

**MOUNTING:**  
Fixture is equipped with a 4.75" mounting plate and (2) mounting screws.

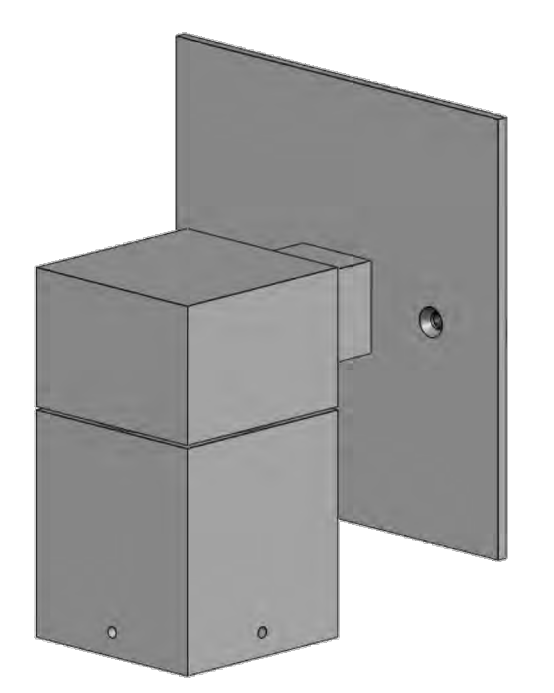
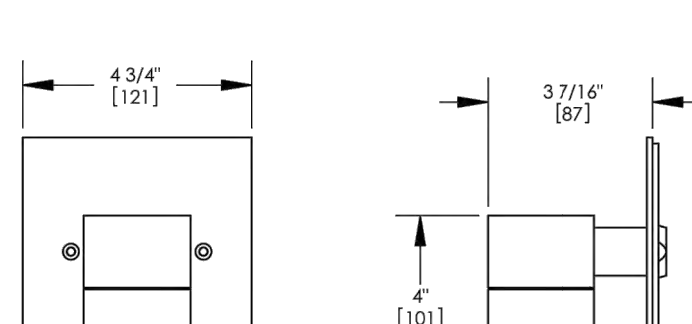
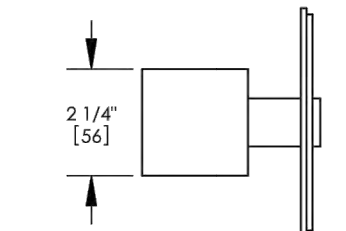
**OPTIONS:**  
Lenses/Louvers/Color Filters  
LA-1 - Hexcell Louver (Black)  
LA-2 - Prismatic lens  
LA-3 - Linear spread lens  
LA-4 - Soft focus lens (diffused)  
LA-5 - Moonlight lens  
LA-6 - Blue lens  
See fixture accessories for more information.

**SAMPLE ORDER SPECIFICATION:**  
HL-340S-AA-12-LA-6

**RATING:**  
Wet/damp/dry location.



**MADE IN THE USA**

ORDER SPECIFICATION: HL-340S - BK - 8LED-FL - 12 - LA-4

PROJECT: McMorrow Project      **HEVI LITE, INC.**  
9714 Variel Ave, Chatsworth, CA 91311  
Tel. (818) 341-8091 - Fax (818) 998-1986  
Web Site http://www.hevilitelighting.com

APPROVED: \_\_\_\_\_

NOTE: With Remote Power Supply

TYPE: Type X2

CATALOG NUMBER: **HL-340S**

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McMorrow Project      Fixture Type X1      Exterior LED Wall Fixture

### SPECIFICATIONS

**DESCRIPTION:**  
Wall mount square MR16 accent fixture. Suitable for wet/damp/dry location installations.

**MATERIAL:**  
Standard overall material is 6061 aluminum.  
**HL-340S** - Machined Aluminum (Standard)

**FINISH:**  
AA - Anodized Satin Aluminum  
AP - Powder Coat Aluminum  
BK - Powder Coat Black  
BZ - Powder Coat Bronze  
WT - Powder Coat White

**HALOGEN LAMPING OPTION:**  
Lamp Type - 12V halogen MR16 lamp, bi-pin GX5.3 base, 50W max, not included (standard).

**LED OPTIONS**  
Integral high output LED, warm white 85 CRI (3000K CCT) standard, others available.  
**3LED - 3W LED - 180 lumens**  
**3LED - 5W LED - 300 lumens**  
**8LED-E - 8.4W LED - 565 lumens**

**OPTICS**  
3LED and 8LED:  
SP - Spot, 12°  
NF - Narrow Flood, 24°  
**FL - Flood, 36°**  
8LED-E:  
SP - Spot 14°  
NF - Narrow Flood, 25°  
MF - Medium Flood, 30°  
FL - Flood, 40°


**VOLTAGE:**  
**12** - 12 VAC output transformer required, not included.

**MOUNTING:**  
Fixture is equipped with a 4.75" mounting plate and (2) mounting screws.

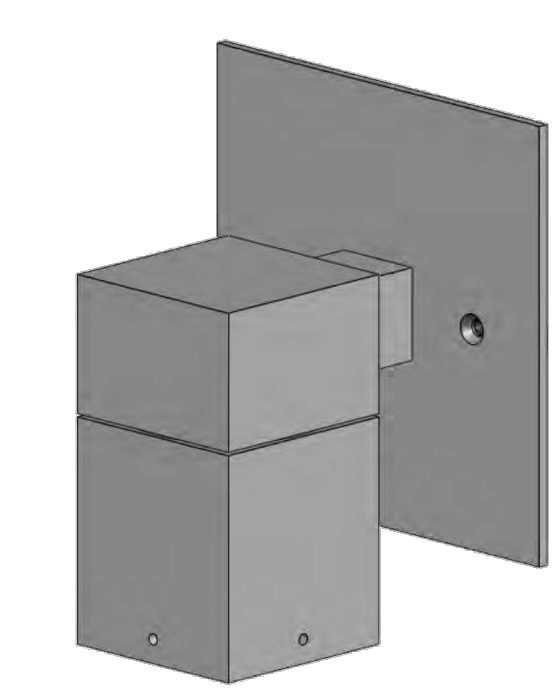
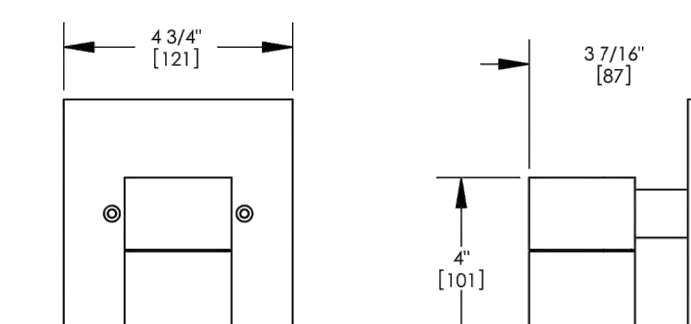
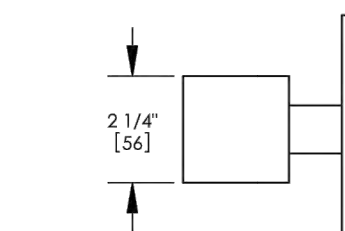
**OPTIONS:**  
Lenses/Louvers/Color Filters  
LA-1 - Hexcell Louver (Black)  
LA-2 - Prismatic lens  
LA-3 - Linear spread lens  
LA-4 - Soft focus lens (diffused)  
LA-5 - Moonlight lens  
LA-6 - Blue lens  
See fixture accessories for more information.

**SAMPLE ORDER SPECIFICATION:**  
HL-340S-AA-12-LA-6

**RATING:**  
Wet/damp/dry location.



**MADE IN THE USA**

ORDER SPECIFICATION: HL-340S - BK - 3LED-FL - 12 - LA-4

PROJECT: McMorrow Project      **HEVI LITE, INC.**  
9714 Variel Ave, Chatsworth, CA 91311  
Tel. (818) 341-8091 - Fax (818) 998-1986  
Web Site http://www.hevilitelighting.com

APPROVED: \_\_\_\_\_

NOTE: With Remote Power Supply

TYPE: Type X1

CATALOG NUMBER: **HL-340S**

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McMorrow Project      Fixture Type S      Exterior Steplight

### Model: WL-LED100

LEDme® Step Light


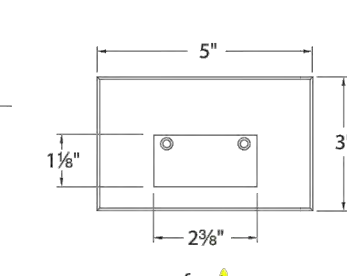
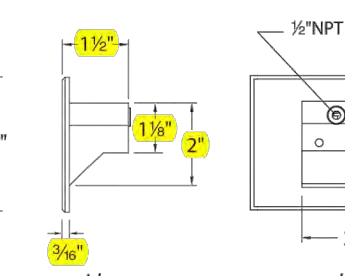
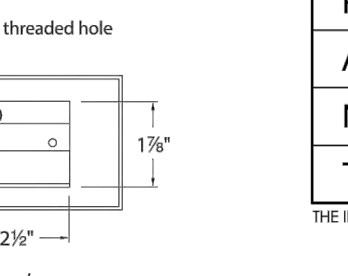
**WAC LIGHTING**  
Responsible Lighting®

Fixture Type: **Type S**

Catalog Number: **WL-LED100 C BK**

Project: McMorrow Project

Location: Exterior

**PRODUCT DESCRIPTION**  
Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

**FEATURES**

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 34,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated. Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

**SPECIFICATIONS**

**Construction:** Die-cast aluminum or 316 marine grade cast stainless steel

**Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

**Light Source:** 3000K CCT Samsung HV-AC High Power LED, CRI 90  
Optional color lenses. Total power consumption of 3.5W

**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3" x 2 7/8" x 2 1/4"  
Includes bracket for J-Box mount.

**Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer  
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Metri-VTELV-600, Lutron Dva DVELV-300P, Lutron Skylark-SELV-300P, Lutron Maestro MAELV-600

**Standards:** IP66, UL & cUL Listed for wet locations, Title 24 JAB-2016 Compliant.

**ORDER NUMBER**

Model #	Light Color	Finish
WL-LED100	120V White 3000K	BR Black on Aluminum
WL-LED100F	277V Amber 610nm	BN* Brushed Nickel on Aluminum
	Red 640nm	BZ Bronze on Aluminum
	Blue 450nm	GH Graphite on Aluminum
		SS Stainless Steel
		WT White on Aluminum
WL-LED100	120V White 3000K	BBR Bronze on brass
	Amber 610nm	

\*Brushed Nickel Finish is for interior use only

WL-LED-100 - C - BK

Example: WL-LED100F-BL-SS

wacighting.com      Headquarters/Eastern Distribution Center      Central Distribution Center      Western Distribution Center  
Phone (800) 526-2588      44 Harbor Park Drive      1600 Distribution Ct      1750 Archibald Avenue  
Fax (800) 526-2585      Port Washington, NY 11050      Lithia Springs, GA 30122      Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. OCT 2018

MCMORROW ELECTRICAL FIXTURE SCHEDULE - AUGUST 2021							
Symbol	Lamp	Fixture Description	Manufacturer	Catalog Number	Voltage	Finish/Color	Notes
X	3 WATT LED, 85 CRI 2700K 180 LUMENS	2.25" SQUARE EXTERIOR CEILING MOUNT LED DOWNLIGHT - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-330S-BK-3LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
X1	3 WATT LED, 85 CRI 2700K 180 LUMENS	2.25" SQUARE EXTERIOR WALL MOUNT LED DOWNLIGHTS - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-340S-BK-3LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
X2	8 WATT LED, 85 CRI 2700K 300 LUMENS	2.25" SQUARE EXTERIOR WALL MOUNT LED DOWNLIGHTS - 36 DEGREE FLOOD OPTICS WITH SOFT FOCUS LENS	HEVI LITE, INC. hevilitelighting.com	*HL-340S-BK-8LED-FL-12-LA-4	12	BLACK	ORDER WITH 2700 DEGREE COLOR TEMPERATURE - SURFACE MOUNT, SQUARE PLATE
S	3.9 WATT LED, 3000K 68 LUMENS	EXTERIOR DIE-CAST STEP LIGHT FOR MASONRY INSTALLATION - BLACK PAINT FINISH	WAC LIGHTING wacighting.com	*WL-LED100 C BK	120	BLACK	Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H

FIXTURE CATALOG NUMBERS THAT ARE PRECEDED WITH A \* ARE ENERGY STAR COMPLIANT

McMorrow Project      Fixture Type X, X1 & X2      Power Supply

### SPECIFICATIONS

**DESCRIPTION:**  
Magnetic class 2 transformers in Nema 3R enclosures for use with low voltage lighting fixtures and dimmable LEDs. Fully compatible with low voltage dimmers. In contrast to voltage mode drivers that balance the voltage in the system and prevent the dimmer from working. For Commercial or residential use. Suitable for wet location installations.

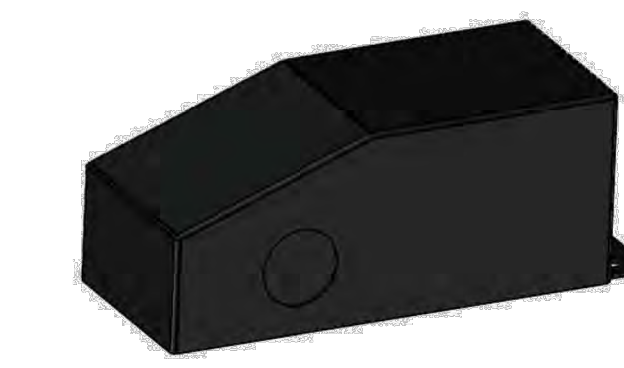
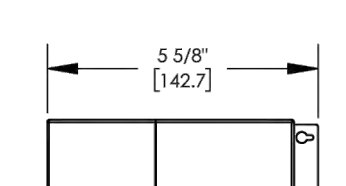
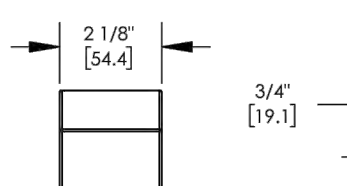
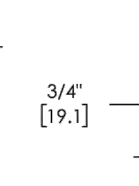
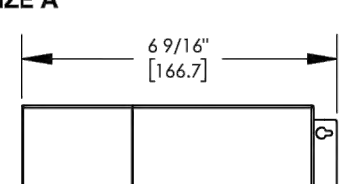
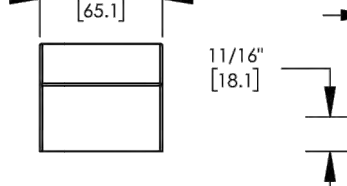
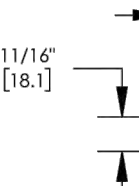
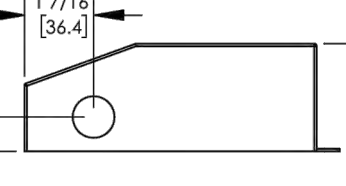
**MODELS AVAILABLE:**  
HLT-20M - 20W Size A  
HLT-40M - 40W Size A  
HLT-50M - 50W Size A  
HLT-60M - 60W Size B  
HLT-100M - 100W, Size B, 277v = 9.8"x3"x3".

**VOLTAGE:**  
All transformers include auto-reset breakers, one on the input and one on the output.  
**120 - 120 VAC input/12 VAC output**  
**277 - 277 VAC input/12 VAC output**

**MOUNTING:**  
Nema 3R rated metal housing equipped with mounting holes and (2) 1/2" knock-outs.

**SAMPLE ORDER SPECIFICATION:**  
HLT-40M-120

**RATING:**  
ETL listed and certified to CSA standard.

ORDER SPECIFICATION: \_\_\_\_\_

PROJECT: McMorrow Project      **HEVI LITE, INC.**  
9714 Variel Ave, Chatsworth, CA 91311  
Tel. (818) 341-8091 - Fax (818) 998-1986  
Web Site http://www.hevilitelighting.com

APPROVED: \_\_\_\_\_

NOTE: Size Power Supply For Load + 20%

TYPE: HLT-xxM

CATALOG NUMBER: **HLT-XXM**

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NO.	DATE	REVISIONS

**PROFESSIONAL ENGINEER**  
REGISTERED STATE OF IDAHO  
13299  
09/21/2021  
MATT HEW N. BRADLEY

**MUSGROVE ENGINEERING, P.A.**  
2349 N. Valley Way  
Boise, ID 83709  
208.384.0355  
645 West 23rd Street  
Idaho Falls, ID 83402  
www.musgrovepa.com

**OVER 40 YEARS OF EXCELLENCE**

380 N. 1ST AVE  
KETCHUM, IDAHO 83340

PROJECT	21-414
DRAWN	CCJ
CHECKED	MNB
DATE	09-21-2021
SCALE	PER PAGE
SHEET	

**E2.0**



Exhibit B

Design Review Application  
&  
Supplemental Materials





City of Ketchum  
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
Approved Date:
Denied Date:
By:
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>

APPLICANT INFORMATION			
Project Name:380 North First Avenue	Phone:		
Owner:Corey Street Mass, LLC	Mailing Address: 11361 Farlin Street, Los Angeles, CA 90049		
Email:WMcMorrow@kennedywilson.com			
Architect/Representative:William Partners Architects, Jeff Williams	Phone:208.726.0020		
Email:jeff@williams-partners.com	Mailing Address: P.O. Box 4373. Ketchum, ID 83340		
Architect License Number:AR-1720			
Engineer of Record:	Phone:		
Email:	Mailing Address:		
Engineer License Number:			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description:Lot 5, Block 37, Ketchum Townsite			
Street Address:380 N. First Avenue			
Lot Area (Square Feet):5,505 S.F. (0.13 Acres)			
Zoning District:CC, SD 2			
Overlay District:	<input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain		
Type of Construction:	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Other		
Anticipated Use:841 SF Office Space, (2) residential apartments	Number of Residential Units:(2): one @ 750 S.F., one @ 2,654 S.F.		
TOTAL FLOOR AREA			
	<b>Proposed</b>	<b>Existing</b>	
Basements	0 Sq. Ft.	656 (to be removed) Sq. Ft.	
1 <sup>st</sup> Floor	2,731 Sq. Ft.	2,034 (744 to remain, 1,290 to be demo'd) Sq. Ft.	
2 <sup>nd</sup> Floor	1,952 Sq. Ft.	-- Sq. Ft.	
3 <sup>rd</sup> Floor	413 Sq. Ft.	-- Sq. Ft.	
Mezzanine	-- Sq. Ft.	-- Sq. Ft.	
Total	5,096 Sq. Ft.	2,690 (744 to be remodeled / remain) Sq. Ft.	
FLOOR AREA RATIO			
Community Core:0.97	Tourist:	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage:63.3% (3,486.24 S.F. / 5,505 S.F.)			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front:5' Average	Side:5' Average @ 4th St.	Side:0' @ int. P.L.	Rear:3'
Building Height:35'			
OFF STREET PARKING			
Parking Spaces Provided:3			
Curb Cut:0 Sq. Ft.	0 %		
WATER SYSTEM			
<input type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water		



Improvements and Standards				
Compliant				
Yes	No	N/A	City Code	City Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. <i>Applicant will be responsible for the costs associated with providing the necessary connections and improvements. Applicant may request URA funds for improvements, especially at the Fourth Street Pedestrian corridor.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer. <i>Applicant will work with the City Engineer to meet City Street Standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department. <i>Applicant will install snowmelted, paver sidewalks along Fourth Street and First Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. <i>The sidewalk along Fourth Street is proposed to be 12’ wide to meet the Fourth Street Pedestrian Corridor Standards, which match the project under construction at the southwest corner of 1<sup>st</sup> and 4<sup>th</sup>. The sidewalk along First Avenue is proposed to be 8’ wide to meet City Street Standards. A bulb-out at First Avenue also mimics the bulb-out designed for the project under construction to the west.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. <i>The length of sidewalk improvements is equal to the length of the subject property lines. The 12’ sidewalk width at Fourth Street tapers down to meet the adjacent curb line at the alley and in front of Board Bin within the length of the subject property line. The 8’ sidewalk width at First Street tapers down to meet the adjacent curb line in front of The Open Room beyond the length of the subject property line.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<p>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</p> <p>See above. In addition, two pedestrian curb ramps will be installed at the corner of First and Fourth to access the striped pedestrian street crossing. A pedestrian curb ramp will also be installed at the end of the sidewalk to cross the alley.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<p>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<p>All storm water shall be retained on site.</p> <p>All drainage at the roofs and upper floor terraces will be collected via roof drains and gutters and hard piped to the two drywells shown on site. Channel drains at the alley apron and paver areas will also hard pipe to the on-site drywells. Landscaped areas slope to three on-site catch basins.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C2 Drainage</b>	<p>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</p> <p>Drainage improvements are equal to the length of subject property lines. A new catch basin at the curb gutter and drywell within the street is proposed at the west property line, adjacent to the alley.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C3 Drainage</b>	<p>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C.4 Drainage</b>	<p>Drainage facilities shall be constructed per City standards.</p> <p>See sheet C1.1 and C1.2. Drainage is designed and detailed to meet City standards.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D1 Utilities</b>	<p>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</p> <p>Utilities for the development shall be improved and installed at the expense of the applicant.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D2 Utilities</b>	<p>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</p> <p>Utilities shall be located underground and screened from public view. Power will come from the existing power line pole with existing pole-mounted transformer located in the alley.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D3 Utilities</b>	<p>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The</p>



				<p>placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</p> <p>Applicant will work with the City to determine the current location of fiber conduit. Applicant will pay for installation of conduit in accordance with City of Ketchum standards if none currently exists.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.E1 Compatibility of Design</b></p>	<p><b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b></p> <p>The project's materials and colors are complementary with the townscape, surrounding neighborhoods, and adjoining structures. The existing cabin will be refinished from a painted finish to a natural stain, which is likely the original finish of the cabin. The roof will be replaced with a medium grey standing seam metal roof. The addition contains four primary materials, which include a horizontal wood rainscreen siding with a natural wood finish, stone veneer, black steel accents, and a portion of medium grey standing seam roof. The proposed palette at the addition seeks to mimic the tones and character of the horizontal logs, utilizing traditional materials such as wood and stone. Signing on site will be minimal, limited to building addressing and vinyl window signs at each of the two entries. The surrounding neighborhood is primarily 1- to 3-story stucco or wood-sided buildings of tan colors. The adjacent Open Room building is wood lap siding currently painted blue. The adjacent Board Bin building is board and batten siding also currently painted blue.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.E2 Compatibility of Design</b></p>	<p><b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b></p> <p>See memo submitted for the June 15 HPC meeting. The original McAtee cabin will be preserved, with proposed modifications and improvements. The applicant proposes relocating the cabin approximately 4 feet towards First Avenue and 4 feet towards Fourth Avenue, in addition to the proposed finish modifications outlined in the memo and on sheet A4.1.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.E3 Compatibility of Design</b></p>	<p><b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b></p> <p>The addition to the existing cabin contains four primary materials, which include a horizontal wood rainscreen siding, stone veneer, black steel accents, and a portion of medium grey standing seam roof. The proposed palette at the addition seeks to mimic the tones and character of the horizontal logs, utilizing traditional materials such as wood and stone.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F1 Architectural</b>	<p><b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b></p> <p>The building has two pedestrian entrances, which are each flanked by two 6-foot long board-formed site walls. The main entry to the office space in the existing McAtee cabin will be off of First Avenue. The entry door is defined by a small gable form. The common area entry is located off of Fourth Street, which will access both of the residential units and the office space. The entry door is defined and protected by a flat, projecting roof.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<p><b>The building character shall be clearly defined by use of architectural features.</b></p> <p>The building is broken into three main parts to moderate scale and integrate the existing cabin with the addition. The form of the cabin is maintained by offsetting it from the wall planes of the addition. The center element along the Fourth Street property line -- as well as the west façade of the first floor residential unit -- is defined by stone veneer from the ground plane up to the railing height of the second floor terrace. The east-most element is a taller mass, defined by a horizontal wood open-joint rainscreen siding of a finish to closely match the log finish at the McAtee cabin.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<p><b>There shall be continuity of materials, colors and signing within the project.</b></p> <p>See above. The finish of the wood rainscreen siding proposed on the addition will closely match the finish of the logs at the McAtee cabin. The stone veneer seeks to break up the cabin at the west of the site and the main mass of the addition at the east end of the site. Overall, traditional materials such as the wood and stone offer continuity of materials and color. Steel accents seek to break up continuous planes along the facades of the addition.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F4 Architectural</b>	<p><b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b></p> <p>A fence around the west and north sides of the property line will be similar to the existing wrought iron fence panels along the First Avenue property line. Board-formed concrete site walls define the two entries, melding the traditional nature of the fence with a more contemporary site wall. Both styles complement the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F5 Architectural</b>	<p><b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b></p> <p>See above #2. The McAtee cabin is offset from the wall planes of the addition, allowing it to address the street corner with prominence. The stone veneer of the common entry area on Fourth Street and the façade of the first floor residential unit steps back from the street-side facades of the McAtee cabin to create this prominence. The east-most volume seeks to ground to the building, yet is set back from the street at the second and third floor terrace areas. Protruding steel accents frame some of the windows and doors and add depth to the facades.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<p><b>Building(s) shall orient towards their primary street frontage.</b></p> <p>The McAtee cabin orients towards First Avenue. A secondary common</p>



				entrance is accessed off of Fourth Street, but is less prominent than the First Avenue entrance, which is defined by the gable form of the cabin.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	<p><b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b></p> <p>An alcove for storage of trash carts is located off of the alley to conceal it from public view from the street. Other garbage carts will be located within the garages and rolled out to the alley on the pick-up day. No satellite receiver is being contemplated for this project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	<p><b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b></p> <p>The gable roof of the cabin will include the addition of snow retention bars and gutters at the eaves. The flat roofs of the addition will not shed snow or drip water outside of the building perimeter. The drainage of these flat roofs will happen internally via roof drains hard-piped to on-site drywells. The low-slope roof above the second floor residential unit's terrace will also have snow retention bars and gutters at the eaves.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	<p><b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b></p> <p>Pedestrian access to the building is located off of both the Fourth Street and First Avenue sidewalks. Two bike racks are located behind the site walls marking the Fourth Street entry. New pedestrian curb ramps are located at the corner of First and Fourth to connect to adjacent street corners via pedestrian crosswalk striping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G2	<p><b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b></p> <p>No awnings or projections extend over the property line, sidewalks, or travel lanes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	<p><b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b></p> <p>See sheet C1.1 for the Civil right-of-way design. The project team will work with the City Engineer to ensure safe traffic flow, adequate sight distances, and proper signage.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	<p><b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b></p> <p>No new curb cuts are proposed. Parking is located off of the existing alley.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. <i>See sheet C1.1 for the Civil right-of-way design. Unobstructed access is provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. <i>All hardscape areas are proposed to be snowmelted in lieu of providing snow storage areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects. <i>See landscaping shown on sheet L-3.0.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. <i>See landscaping shown on sheet L-3.0. Plantings shown are readily adaptable to the local climate, soil conditions, orientation, and aspect and enhance and complement the neighborhood and townscape.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required. <i>See landscaping shown on sheet L-3.0. Plantings shown are drought tolerance and native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. <i>The landscaping along the north and west sides of the property provides a substantial buffer to the sidewalk with the inclusion of trees, shrubs, and perennial beds. Four street trees further buffer the site from the street and create shading.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.



				Applicant will work with the Public Works Department to finalize pedestrian amenities within the sidewalk. Two benches are shown along Fourth Street and one bench is shown along First Avenue. Four street trees and street lights are also shown within the right-of-way. Public art could also be installed at the 12-foot wide sidewalk of the Fourth Street pedestrian corridor. Public works may also want to locate a trash receptacle at the bulb-out adjacent to the bench facing First Avenue.
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**IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects**

Yes	No	N/A	Ketchum Municipal Code Section	City Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A.1	<p><b>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</b></p> <p>Applicant will work with the Public Works Department to finalize placement and installation of street trees, street lights, street furnishings and other street improvements to meet City Standards.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070.A.2 Streets	<p><b>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</b></p> <p>See sheet L-3.0. Four 4" caliper Red Rocket Maples are proposed to be installed in tree grates within the sidewalk within the City's right-of-way.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(A)(3)	<p><b>Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(1)	<p><b>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</b></p> <p>All three facades facing the street and alley are designed with both solid surfaces and window openings to avoid the creation of blank walls. Protruding steel accents frame some of the windows and doors and add depth to the facades. Horizontal wood rainscreen siding is meant to complement the horizontal logs of the existing McAtee cabin in both orientation and color tone. A medium grey standing seam metal roof is proposed to be installed at both the existing cabin and the second floor terrace overhang at the addition.</p>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(2)	<p><b>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</b></p> <p>The office use that will take place in the McAtee cabin will not incorporate storefront windows in order to maintain the integrity of the historic structure. The existing windows and doors will be replaced with a like style.</p>



				The new common area entry accessed from Fourth Street will employ a 9' tall x 15'-3" wide section of glazing, consisting of a fully glazed door and two windows at each side of the door. Muntin bars are proposed in the windows to match the style of the double-hung windows at the cabin. Both entries incorporate ground-level planting beds.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(3)	<b>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</b> The office use that will take place in the McAtee cabin will not incorporate storefront windows in order to maintain the integrity of the historic structure. The existing windows and doors will be replaced with a like style. The existing design of the front façade of the cabin does not obscure views into the windows.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	<b>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</b> A medium grey standing seam metal roof will replace the existing wood shake roof at the McAtee cabin. The metal roof will be a class 'A' roof to meet Ketchum Fire requirements and to create a more fire-wise structure. The gabled roofing form will remain. Flat roofs cover a majority of the addition, which will be covered in rock ballast. A low-slope roof form will cover a portion of the terrace at the second floor residential unit. This roof will incorporate the same medium grey standing seam metal roof material of the cabin. A material sample will be provided. While this material is metal, I do not believe it to be especially reflective.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(5)	<b>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</b> All pitched roofs will incorporate snow retention, with gutters and downspouts hard-piped to on-site drywells.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(6)	<b>Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</b> Roof overhangs do not extend over public sidewalks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(7)	<b>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</b> Front porches and stoops are not enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	<b>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.</b> An alcove for storage of trash carts is located off of the alley to conceal it from public view from the street. Other garbage carts will be located within the garages and rolled out to the alley on the pick-up day.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	<p>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</p> <p>Electrical and gas meters are located within alcoves off the alley. Any roof-mounted equipment will be screened from public view with a screen compatible with the overall building design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	<p>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. See sheet L-1.0 and L-3.0. A crabapple and chokecherry tree will be removed along the First Avenue property line. Two spruce and a grouping of (2) aspen will be removed along the Fourth Street property line. They are proposed to be replaced with four Red Rocket Maple street trees and (8) trees on site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	<p>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</p> <p>The four street trees are proposed to be placed within tree wells with Silva Cells and covered with tree grates.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(3)	<p>The city arborist shall approve all parking lot and replacement trees. Applicant will work with the City Arborist to finalize the replacement trees.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	<p>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</p> <p>No surface parking is proposed. All parking will be within two garages access off of the alley.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	<p>Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(3)	<p>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	<p>One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.</p> <p>The proposed project has a parking load of three parking spaces (see Cover Sheet CS for parking calcs), so one bike rack is required. Two inverted "U" bike racks are located just inside the site walls denoting the Fourth Street common area entry.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(2)	<p>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	<p>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or</p>



				<p>as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</p> <p>Bike racks are visible from the common area entry, as well as from the First Avenue entry. Bike racks can be accessed without obstructions, stairways, or other major obstacles.</p>
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To: City of Ketchum Historic Preservation Commission

Date: June 10, 2021

Re: 380 First Avenue North, McAtee House

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The applicant is proposing to alter the historic structure located at 380 North First Avenue, known as the McAtee House. The original 744 square foot cabin was previously altered to become Felix's Restaurant in the year 2000. The cabin became a dining space, while an addition created added dining space, a ground floor kitchen, and basement storage. The applicant proposes to remove the addition and to re-use the original cabin structure as a commercial office space. Two residential units, associated common area, and parking will be added at the rear of the original cabin. In order to improve the efficiency of the lot and to offset the original cabin from the new addition, the applicant proposes to relocate the cabin approximately 4 feet towards First Avenue and 4 feet towards Fourth Street.

The original McAtee House log structure will be maintained; however, the applicant proposes modifications and improvements to the existing structure that will ensure the longevity of the building and help it blend with the proposed addition. The green, painted logs are proposed to be re-finished to a natural stain that will match the wood siding of the proposed addition. It is unclear what the original finish of the McAtee Cabin was. The windows will be replaced with energy-efficient windows that will match the style of the windows that exist to-date; however, the color is proposed to be revised from brick red to black. The red shutters and scalloped fascia on the gable ends are proposed to be removed. The existing wood shingle roof material will be replaced with a standing seam metal roof and improved to be a class 'A' roof as required by the Fire Department for new construction.

The siting of the proposed addition at the rear of the McAtee House preserves the integrity of the open space at the front of the lot and helps to differentiate between the new and existing structures. The proposed alteration of the McAtee House retains its integrity to convey its historic and architectural significance of the property within the Community Core while the addition seeks to balance the scale and language of the historic cabin.







451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342  
[www.intgas.com](http://www.intgas.com)

Williams Partners Architects, P.C.  
Brenda Moczygamba  
P.O. Box 4373  
Ketchum Idaho 834340  
208-726-0020

Date: August 8<sup>th</sup>, 2021

RE: 380 N 1<sup>ST</sup> Ave. Ketchum Idaho 83340. Lot 5 Block 37. Commercial/ Residential

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs in order to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

*Lance D. McBride*

Lance D. McBride  
Energy Services Representative Sr.  
[lance.mcbride@intgas.com](mailto:lance.mcbride@intgas.com)  
208-737-6314





September 1, 2021

To whom it may concern,

Thank you for your inquiry about electrical service at 380 N 1St Ave  
Ketchum, Id 83340

This property is located within Idaho Power's service area in the state of Idaho .

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

To start new service or obtain more information about new service, visit our website:  
<https://www.idahopower.com/service-and-billing/> . You may also contact Idaho Power's Customer Care Team at 208-388-2323, or 1-800-488-6151 (outside the Treasure Valley).

Sincerely,

Cyndi Bradshaw  
Distribution Designer  
Cbradshaw@Idahopower.Com  
208-788-8002



# C L E A R   C R E E K   D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • Fax: 208.726.8041

August 24, 2021

Planning & Zoning  
City of Ketchum  
P O Box 2315  
Ketchum, ID 83340-2315

Re: 380 1<sup>st</sup> Ave N

To whom it may concern,

Please allow this letter to serve that Brenda Moczygamba AIA of Williams Partners Architects has engaged in conversations with me, regarding the new building mentioned above.

This building will house two single family homes and one commercial unit and will utilize carts for garbage service. *There is room for some carts, however given the nature of commercial space there may be a need for multiple service days to accommodate adequate service needs.* Service will be provided at the alley or the street and should the future owners/HOA choose to not place the carts at the alley or street for service, they will need contract for moving carts to the alley or street for pickup and return to the enclosure as an additional special service. Clear Creek Disposal will not accept responsibility for any damage to building and/or vehicles from the movement of carts.

If you have any questions regarding this project, please don't hesitate to call.

Sincerely,



Mike Goitiandia  
Clear Creek Disposal

.380 1<sup>st</sup> Ave N





# Exhibit C

## HPC

### Findings of Fact, Conclusions of Law, and Decision





**City of Ketchum  
Planning & Building**

IN RE: )  
 )  
**380 N 1st Ave. Mixed-Use Building** ) **KETCHUM HISTORIC PRESERVATION COMMISSION**  
**McAtee House** ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
**Request to Alter a Historic Structure** ) **DECISION**  
 )  
**Date: August 3, 2021** )  
 )  
**File Numbers: P21-050** )

**PROJECT:** 380 N 1st Ave. Mixed-Use Building

**FILE NUMBER:** H21-050

**APPLICATION TYPE:** Request to Alter a Historic Structure

**ARCHITECT:** Williams Partners Architects

**PROPERTY OWNER:** Corey Street Mass LLC

**REQUEST:** Exterior alterations and an addition to the McAtee House

**LOCATION:** 380 N 1st Avenue (Ketchum Townsite: Block 37: Lot 5)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**RECORD OF PROCEEDINGS**

The Historic Preservation Commission considered the Request to Alter a Historic Structure for proposed alterations and an addition to the McAtee House to accommodate the 380 N 1st Avenue Mixed-Use Building project during their meeting on July 7<sup>th</sup>, 2021. After considering the project plans, staff’s analysis, and the applicant’s presentation and holding the required public hearing, the Historic Preservation Commission unanimously approved the request.

Public Hearing Notice

The public hearing notice was published in the Idaho Mountain Express on June 16<sup>th</sup>, 2021. A public hearing notice was mailed to adjacent properties within 300 feet of the project site on June 16<sup>th</sup>, 2021. A public hearing notice was posted on the project site and the City’s website on June 30<sup>th</sup>, 2021.



## FINDINGS OF FACT

The Historic Preservation Commission having reviewed the project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

### Findings Regarding Project Background

The applicant, Williams Partners Architects on behalf of property owner Corey Street Mass LLC, submitted a Request to Alter a Historic Structure located at 380 N 1st Avenue (Ketchum Townsite: Block 37: Lot 5) within the Mixed-Use Subdistrict of the Community Core (CC-2) Zone. The request proposes exterior alterations and an addition to the McAtee House—a historic log cabin that was constructed in the 1930s. The historic cabin will be repurposed as commercial office space and the new addition will accommodate two residential units, common area, and parking.

The project is subject to Historic Preservation Commission (HPC) review pursuant to Section 1.C.1 of Interim Historic Preservation Ordinance No. 1216. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List. The review criteria for requests to alter or demolish a historic building is specified in Section 3.A of Interim Historic Preservation Ordinance No. 1216.

### Findings Regarding Review Criteria for Request to Alter a Historic Structure

*Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?*

The McAtee House is one of the 26 structures on the Historic Building List. The 2005 Walsworth Associates Windshield Survey identified the McAtee House as a locally significant historical resource. Additionally, this historic building was recommended for designation as a heritage site in 2006. The McAtee House is a 744-square-foot log cabin that was constructed in the 1930s. The single-story rectangular building is approximately 17 feet in height and includes a gable roof. The original log cabin is representative of traditional residential architecture associated with Ketchum's early settlement period. The design characteristics of these early homes reflected their natural alpine surroundings. Many of the residences built during this time were one- and two-story rectangular structures constructed with logs cut from the surrounding forest or milled lumber from local sawmills. Common architectural features included gable roofs, overhanging eaves, and low horizontal massing.

*Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?*

The proposed exterior alterations to the historic building include re-finishing and staining the logs, installing new windows, and replacing the existing wood-shingles with a standing seam metal roof to comply with Fire Department requirements. These improvements will not only restore the historic integrity of the original log cabin but also help maintain the historic structure over time, improve the development's energy-efficiency, and upgrade the building to comply with current code standards.



The original log cabin will be relocated approximately 4 feet west and 4 feet north towards the corner of 1st Avenue and 4th Street. Structures are required to be setback an average of 5 feet from front and street side property lines in the CC-2 Zone (Ketchum Municipal Code §17.12.040). The relocated McAtee House will be setback approximately 10 feet from 1st Avenue and approximately 9 feet from 4th Street. Echoing traditional single-family yard areas, these proposed setbacks accommodate light and air creating a feeling of openness at the street corner.

The proposed 5,095-square-foot addition is sited at the rear of the property stepping up from the historic structure. The portion of the addition that directly borders the historic log cabin is only one-story with a maximum height of 12'-6", which is approximately 4 feet lower than the original McAtee House. This portion of the addition maintains an ample setback area along 4th Street. The addition then steps up to two-stories towards the rear of the lot by the alley and has a maximum height of 35 feet, which is 7 feet less than the maximum height permitted in the CC-2 Zone (Ketchum Municipal Code §17.12.040). This portion of the addition spans the width of the lot. The rectangular mass of the addition mimics the original log cabin. The addition has flat roofing forms with projecting canopy elements. The flat roof elements highlight the preserved gable roof of the McAtee House.

Both relocating the original log cabin towards the street corner as well as concentrating the bulk of the addition towards the rear of the lot highlight the historical significance of the McAtee House. The project's scale, proportion, and site orientation complement the surrounding built environment within this downtown neighborhood. The mixed-use building will help retain Ketchum's community character by protecting the historic integrity of the McAtee House and enhancing downtown's pedestrian-oriented streetscape.

*Does the structure retain the requisite integrity to convey its historic and/or architectural significance?*

The historic structure retains sufficient historic integrity with respect to design, materials, and workmanship. A 1,946-square-foot addition to the McAtee House was constructed in 2000 to accommodate Felix's Restaurant (Design Review CR00-012 and Building Permit 00-110). This project proposes to remove this addition and restore the original historic log structure. The 2000 addition project included painting the building olive brown and adding pomegranate red fascia and trim. This project will re-finish the logs with a natural stain restoring the historic integrity of the original log cabin.

*Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?*

The project enhances the historical significance and architectural distinction of the McAtee House as the improvements restore the original log cabin and relocate the structure to a more prominent location at the corner of 1<sup>st</sup> Avenue and 4<sup>th</sup> Street. The addition's scale and site orientation respect the historic significance of the McAtee House. The project's exterior materials and natural colors complement Ketchum's mountain-town character. The development's human-scale design will enhance vibrancy at this downtown street corner.



### Findings Regarding Commissioner Deliberations

The Commission appreciated the distinction between the new addition and the existing historic building. The Commission stated that removing the paint and re-staining the logs will restore the cabin and enhance its historic integrity. The Commission discussed the relocation of the cabin closer to the street corner and commented that this enhanced the presence of the historic building. The Historic Preservation Commission discussed the roof lines where the addition meets the existing historic building. Commissioner Cosgrove stated this connection may be more elegant as a one-story element at the ground level. Commissioner Reynolds recommended that asphalt roofing be utilized as this material is more like shingles. The Historic Preservation Commission unanimously approved the request.

### **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and has exercised its authority pursuant to Chapter 46 of Title 67 of Idaho Code to establish a historic preservation program and enact ordinances, special conditions, or restrictions for the protection and preservation of historic properties. The regulations adopted through Interim Historic Preservation Ordinance No. 1216 are identified in the Findings of Fact and are herein restated as Conclusions of Law by reference.
2. The Historic Preservation Commission has the authority to hear the applicant's Request to Alter a Historic Structure application pursuant to Section 1.C.1 of Interim Historic Preservation Ordinance No. 1216. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Section 2.B of Interim Historic Preservation Ordinance No. 1216 and Ketchum Municipal Code § 17.96.080.
4. This Request to Alter a Historic Structure application is governed under the regulations and review criteria specified in Interim Historic Preservation Ordinance No. 1216.
5. The alterations and addition to the McAtee House proposed with the 380 N 1<sup>st</sup> Avenue Mixed-Use Building project comply with the review criteria specified in Section 3.A of Interim Historic Preservation Ordinance No. 1216 as: (1) the McAtee House has historic value and significance within the Community Core, (2) the proposed alterations and addition to the McAtee House do not adversely impact the structure's historic integrity, significance within the Community Core, or architectural and aesthetic relationship to adjacent properties and the project does not conflict with the Comprehensive Plan, (3) the McAtee House will retain the requisite integrity to convey its historic significance, and (4) the proposed alterations and addition do not adversely affect the structure's historic significance.



**DECISION**

**THEREFORE**, the Ketchum Historic Preservation Commission **approves** the Request to Alter a Historic Structure (Application File No. H21-050) proposing alterations and an addition to the McAtee House for the 380 N 1<sup>st</sup> Avenue Mixed-Use Building project.

Findings of Fact **adopted** this 3<sup>rd</sup> day of August 2021.



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Mattie Mead, Chair  
City of Ketchum  
Historic Preservation Commission



# Exhibit D

## Public Comment

-----Original Message-----

From: John Shetron <[johnshetron@yahoo.com](mailto:johnshetron@yahoo.com)>

Sent: Thursday, October 28, 2021 4:13 PM

To: Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>

Subject: Design Review, Ketchum Planning and Zoning, 380 N 1st Ave, Ketchum

To whom it may concern,

I am writing in support of the proposed addition and alterations to the historic building located at 380 N 1st Ave, Ketchum.

I own the property next door at 360 N 1st Ave. I have spoke with Williams Partners Architects regarding the size and scope of the project and have seen all of the elevation drawings from all directions, and am very impressed with the proposed development.

They have retained the historic charm of the original building and blended the rear addition beautifully - a great improvement to both the property as well as the neighborhood.

I strongly support this development and encourage the Ketchum Planning and Zoning to approve this project.

Feel free to contact me if you have any questions.

Thank you.

Sincerely,

John Shetron  
360 N 1st Ave,  
Ketchum, ID 83340  
208/450-9332

Sent from my iPad