



AGENDA

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Webinar ID: 871 8655 3333
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM COMMISSIONERS:

CONSENT AGENDA:

Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. ACTION ITEM: Approval of the February 14, 2023 Minutes from the Special Joint City Council and Planning & Zoning Commission Meeting
2. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 4th & Main Mixed-Use Development Design Review Application File No. P22-043.

- [3.](#) ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 4th & Main Mixed-Use Development Lot Consolidation Preliminary Plat Application File No. P22-043A.
- [4.](#) ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 4th & Main Mixed-Use Development Condominium Subdivision Preliminary Plat Application File No. P22-043B.

PUBLIC HEARING:

- [5.](#) ACTION ITEM: Recommendation to hold a public hearing, review, and provide feedback on the Design Review and Condominium Preliminary Plat applications for the proposed mixed-use development at 200 N Leadville Ave. (P22-035 and P22-035A)
- [6.](#) ACTION ITEM: Recommendation to hold a public hearing, review, and approve the Mountain Overlay Design Review and Lot Consolidation Preliminary Plat with Waiver Request applications for the 691 N Spruce Avenue Residence.
- [7.](#) ACTION ITEM: Recommendation to hold a public hearing, review, and provide feedback on the Mountain Overlay Design Review application for the proposed single family residence at 307 Garnet Street (P22-048A).

NEW BUSINESS:

ADJOURNMENT:



CITY OF KETCHUM
MEETING MINUTES OF THE
SPECIAL JOINT MEETING
CITY COUNCIL & PLANNING AND ZONING COMMISSION
Tuesday February 14, 2023

CALL TO ORDER: (00:00:30 in video #1)

Mayor Neil Bradshaw called to order at 4:30 p.m.

ROLL CALL: (00:01:00 in video #1)

Neil Bradshaw
Courtney Hamilton
Amanda Breen
Michael David-via zoom, arrived during presentation.
Jim Slanetz
Neil Morrow
Susan Passovoy
Brenda Moczygemba
Tim Carter
Spencer Cordovano

ALSO PRESENT:

Morgan Landers – Director of Planning and Zoning
Abby Rivin – Senior Planner
Adam Crutcher – Associate Planner
Paige Nied – Associate Planner
Jade Riley – City Administrator
Lisa Enourato - Public Affairs & Administrative Services Manager
Aly Swindley - Management and Communications Analyst
Trent Donat – City Clerk
Heather Nicolai – Planning Technician

COMMUNICATIONS FROM COUNCIL AND PLANNING & ZONING COMMISSION: (00:01:20 in video #1)

1. Public comments submitted.

NEW BUSINESS

2. Presentation by Superbloom and Rio ASE regarding updated concept design and summary of public open house results. Presenters: Stacy Passmore-Superbloom, Diane Lipovsky-Superbloom, Rob Richardson-Rio ASE & Ryan Santo-Wood River Land Trust (00:03:20 in video #1)

3. February 13th public open house results (01:00:40 in video #1)
4. Public Comment (01:06:30 in video #1)
 - Ryan Santo - Wood River Land Trust (01:07:58 in video #1)
 - Bob Brennan (01:08:42 in video #1)
 - Virginia Johnson (01:15:01 in video #1)
 - Bob Burkheimer (01:15:01 in video #1)
 - Nick Maricich (01:20:23 in video #1)
 - Clare Swanger (01:22:53 in video #1)
 - Ritchey Craig-via zoom (01:25:14 in video #1)
 - Michael Conger-also representing neighbors Tom & Amy Hall (01:27:10 in video #1)
 - Mayor Neil Bradshaw- Closed Public Comment (01:33:15 in video #1)
5. Questions & Comments from City Council and Planning & Zoning Commission (01:33:20 in video #1)

City Council excused (02:15:40 in video #1), short break, Planning & Zoning Commission resumed (02:16:00 in video #1)

CONSENT AGENDA PLANNING & ZONING: (02:16:05 in video #1)

6. **ACTION ITEM:** Approval of the January 31, 2023 Minutes
Motion: Motion made by Susan Passovoy to approve the January 31, 2023 Minutes; Seconded by Tim Carter. (02:17:05 in video #1)
Ayes: Neil Morrow, Susan Passovoy, Brenda Moczygemba, Tim Carter, Spencer Cordovano
Nays: None

7. **ACTION ITEM:** Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the Appellation Hotel Design Review Amendment for the hotel project located at 300 E River Street (02:17:08 in video #1)
 - Commission questions & recommendations**Motion:** Motion made by Tim Carter to approve the Findings of Fact, Conclusions of Law, and Decision for the Appellation Hotel Design Review Amendment for the hotel project located at 300 E River Street with the amendments we just discussed; Seconded by Susan Passovoy. (02:21:10 in video #1)
Ayes: Neil Morrow, Susan Passovoy, Brenda Moczygemba, Tim Carter, Spencer Cordovano
Nays: None

8. **ACTION ITEM:** Recommendation to review and recommend approval of the 2nd Amendment to the Amended and Restated Development Agreement for the Appellation Hotel project located at 300 E River Street (02:21:30 in video #1)
 - Commission questions & recommendations**Motion:** Motion made by Tim Carter to approve the 2nd Amendment to the Amended and

Restated Development Agreement for the Appellation Hotel project located at 300 E River Street with the requested clarification we just discussed regarding timing of issuance of building permit; Seconded by Brenda Moczygemba (02:31:21 in video #1)

Ayes: Neil Morrow, Susan Passovoy, Brenda Moczygemba, Tim Carter, Spencer Cordovano

Nays: None

PUBLIC HEARING: (02:31:55 in video #1)

9. **ACTION ITEM:** Recommendation to Hold a Public Hearing, Review, and Approve the Design Review, Lot Consolidation Preliminary Plat, and Condominium Subdivision Preliminary Plat applications for the 4th & Main Mixed-Use Development located at the northeast corner of Main and 5th streets (02:31:58 in video #1)

- Staff Report: Abby Rivin – Senior Planner (02:32:10 in video #1)
- Commission Question for Staff: (02:43:10 in video #1)
- Architect: Peter Paulos, AIA with P H Architects LLC (02:44:00 in video #1)
- Commission Questions/Comments for Applicant & Staff (02:56:10 in video #1)
- Applicant – Chris Ensign, principal, Solstice Homes (03:28:30 in video #1)
- Commission Questions/Comments for Applicant & Staff (03:28:55 in video #1)
- Public Comment (03:32:02 in video #1)
 - None
- Commission Deliberations and Staff Recaps Commission’s conditions of approval (03:32:20 in video #1)

Motion: Motion made by Tim Carter, “I move to approve Design Review Application File No. P22-043 for the 4th & Main Mixed-Use Development subject to conditions 1-11 plus two additional conditions and direct staff to return with findings of fact.” Second by Brenda Moczygemba (00:03:30 in video #2)

Ayes: Neil Morrow, Tim Carter, Brenda Moczygemba, Susan Passovoy

Nays: Spencer Cordovano

Motion: Motion made by Tim Carter, “I move to recommend approval of Lot Consolidation Preliminary Plat Application File No. P22-043A to combine lots 1 and 2 within block 5 of Ketchum Townsite to the City Council subject to conditions 1 and 2 and direct staff to return with findings of fact.” .” Second by Brenda Moczygemba (00:04:05 in video #2)

Ayes: Neil Morrow, Tim Carter, Brenda Moczygemba, Susan Passovoy

Nays: Spencer Cordovano

Motion: Motion made by Tim Carter, “I move to recommend approval of the Condominium Subdivision Preliminary Plat Application File No. P22-043B to the City Council subject to conditions 1-4 and direct staff to return with findings of fact.” .” Second by Brenda Moczygemba (00:04:18 in video #2)

Ayes: Neil Morrow, Tim Carter, Brenda Moczygemba, Susan Passovoy

Nays: Spencer Cordovano

ADJOURNMENT:

Motion to adjourn at 8:27 pm (00:04:46 in video #2)

Motion made by Neil Morrow to adjourn the meeting; Seconded by Susan Passovoy.

Ayes: Neil Morrow, Susan Passovoy, Tim Carter, Spencer Cordovano, Brenda Moczygemba

Nays: None

Commissioner Neil Morrow

Morgan Landers – Director of Planning & Building

Mayor, Neil Bradshaw

Trent Donat, City Clerk



**City of Ketchum
Planning & Building**

IN RE:)
)
4th & Main Mixed-Use Development) KETCHUM PLANNING AND ZONING COMMISSION
Design Review) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
File Number: P22-043) DECISION
)
Date: February 28, 2023)
)

PROJECT: 4th & Main Mixed-Use Development
APPLICATION TYPE: Design Review
FILE NUMBER: P22-043
ASSOCIATED APPLICATIONS: Lot Consolidation Preliminary Plat (File No. P22-043A)
Condominium Subdivision Preliminary Plat (File No. P22-043B)
PROPERTY OWNER: Chris Ensign, Managing Member, 4th & Main Ketchum LLC
REPRESENTATIVE: Peter Paulos, PH Architects (Architect)
LOCATION: Northeast Corner of Main & 4th Street (Ketchum Townsite: Block 5:
Lots 1 & 2) RPK00000050020 & RPK00000050010
ZONING: Retail Core of the Community Core (CC-1)
OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 4th & Main Mixed-Use Development Design Review Application File No. P22-043 during their special meeting on February 14, 2023. The application was considered concurrently with Lot Consolidation Preliminary Plat Application File No. P22-043A and Condominium Subdivision Preliminary Plat Application File No. P22-043B and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice & Public Comment

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 25, 2023. The public hearing notice was published in the Idaho Mountain Express on January 25, 2023. A notice was posted on the project site and the

city’s website on January 30, 2023. The building corners were staked and the story pole was installed on the project site on February 7, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission recommended approval of the Lot Consolidation Subdivision Preliminary Plat application to the City Council subject to conditions.

FINDINGS OF FACT

The Planning and Zoning Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 24,003 square-foot, four-story mixed-use building, called the 4th & Main Mixed-Use Development (the “project”), at the northeast corner of Main and 4th streets (the “subject property”) located within the Retail Core Subdistrict of the Community Core. As proposed, the project includes 3,446 square feet of retail space on the ground-level with frontage along both Main and 4th Streets and 7 multi-family dwelling units as follows:

- One 458-square-foot community housing unit on the ground level,
- One 518-square-foot community housing unit on the ground level,
- One 1,505-square-foot dwelling unit on the second floor,
- One 1,725-square-foot dwelling unit on the second floor,
- One 2,277-square-foot dwelling unit on the third floor,
- One 3,485-square-foot dwelling on the third floor, and
- One 3,039-square-foot dwelling on the fourth floor.

The two community housing units and retail space are exempt from providing parking pursuant to Ketchum Municipal Code §17.125.040.C. Based on the floor areas of each dwelling unit, eight off-street parking spaces are required to be provided on site pursuant to Ketchum Municipal Code §17.125.040.B. Nine parking spaces are provided on site within five private garages that are accessed from the alley. Four of the garages contain two parking spaces arranged in the tandem configuration.

The project is proposing to take advantage of the Floor Area Ratio (FAR) bonus for community housing, mitigating the additional floor area by dedicating two community housing units as deed-restricted rentals and making a community housing in-lieu fee payment of \$556,200. The proposed FAR for the project is 2.19, which is less than the maximum 2.25 FAR for density bonuses in the Community Core.

The project proposes to construct improvements to the public rights-of-way adjacent to the subject property, including: (a) resurfacing the alley with asphalt, (b) installing a new heated, paver 8-foot-wide sidewalk along Main Street, (c) installing a new heated, paver 12-foot-wide sidewalk along 4th Street, (d) constructing new curb and gutter with drainage facilities, and (e) providing new streetlights. The snowmelt system proposed for the new sidewalks will require a right-of-way encroachment permit approved by the Ketchum City Council. All right-of-way improvements will be

reviewed and approved by the City Engineer and Streets Department to ensure compliance with City standards prior to issuance of a building permit for the project.

The Planning and Building Department received the Pre-Application Design Review for the project on December 30, 2021. The City of Ketchum Planning and Zoning Commission (the "Commission") reviewed the Pre-Application on May 10, 2022 and unanimously advanced the project to final Design Review. During their review of the Pre-Application, the Commission discussed: (a) the proposed FAR increase and community housing mitigation, (b) exterior materials, (c) the design of the building corner at the intersection of Main and 4th streets, (d) the design of the interior, north-side building wall, and (e) sustainable design elements. Section III of the staff report provides an overview of the comments and feedback provided by the Commission during their review of the Pre-Application.

The Planning and Building Department received the final Design Review, Lot Consolidation Preliminary Plat, and Condominium Subdivision Preliminary Plat applications on July 20, 2022. The applications were reviewed concurrently by planning staff and city departments. Staff review comments were provided to the applicant on August 30, 2022. The applications were deemed complete on November 30, 2022.

Design Review is required for the development of new mixed-use buildings pursuant to Ketchum Municipal Code §17.96.010.A4. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A).

FINDINGS REGARDING CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan (the "comprehensive plan") contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land use decisions. The community values:

- Enhancing downtown vibrancy.
- Maintaining a healthy and resilient economy that supports local and independent businesses.
- Providing a variety of housing options to support a thriving population of people who live and work in town year-round.
- Maintaining Ketchum's authentic mountain-town character.

A glossary of terms is provided in Appendix C of the comprehensive plan. The glossary states that the term *community*, "refers to the built environment as well as the people who live, work, and have a stake in the future of Ketchum" (2014 Comprehensive Plan. Appendix C: page C-1). Buildings and the people who live, work, eat, drink, shop, and socialize within them create community. Downtown is Ketchum's gathering place connecting locals, second homeowners, and tourists. These connections

create community, and our community defines Ketchum’s small-town character and sense of place. The project creates an inviting and engaging streetscape with retail storefronts and new sidewalks along Main and 4th streets that will provide new places for social interaction.

Policy H-1.4 of the comprehensive plan states that “housing should be integrated into the downtown core” (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). The project will provide seven new housing units—future residents will live in walking distance to retail shops, grocery stores, and restaurants in downtown Ketchum. Additionally, the project is located adjacent to Mountain Rides bus stops that can connect residents to the ski bases and other areas of Ketchum.

The comprehensive plan's future land use map designates the future land use for the subject property as retail core. The comprehensive plan states:

The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining are served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).

The project provides ground-level retail storefronts that create an inviting, engaging, and pedestrian-friendly environment at the corner of Main and 4th streets.

FAR Increase

Policy CD-1.3 of the comprehensive plan states, “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur” (page 26). The project’s total FAR is 2.19. The proposed floor area increase above the 1.0 FAR permitted by right is 13,014 square feet. The project is larger in scale and mass than the surrounding built environment but similar in size to newer developments downtown.

The project is similar in scale to the adjacent mixed-use development currently under construction at the southeast corner of Main and 5th streets. The elevation on Sheet A2.2 and the rendering on Sheet A5.1 show the project in the context of the neighboring mixed-use development currently under construction at 460 N Main Street. Both parcels along this block have slopes that rise uphill from Main Street to the alley, but the adjacent lot is approximately 5 feet lower than the subject property. The subject property slopes uphill 8.5 from Main Street to the alley. While their site designs differ, both developments reflect the existing topography by orienting the ground floors towards Main Street and stepping the upper levels uphill towards the alley. The adjacent development has excavated into the site’s sloping grade to provide parking-garage access from 5th Street. Instead of excavating into the slope, the 4th & Main Mixed-Use Development utilizes the natural grade to provide a retail unit that is accessible from the 4th Street sidewalk.

Criteria 2: Applicable Standards and Criteria

Conformance with Zoning Regulations

Planning staff and the Commission reviewed the project for conformance with all applicable zoning code requirements including permitted uses, dimensional limitations, signage, parking, development standards, and dark skies. As conditioned, the project complies with all zoning regulations and dimensional standards required in the Retail Core Subdistrict.

FAR Increase & Community Housing Mitigation

The permitted FAR in the Community Core Zone is 1.0. New developments may be permitted an increased FAR up to a maximum of 2.25 at the Commission's discretion through Design Review by providing a community housing contribution (KMC §17.124.040.B). The project proposed with the Pre-Application proposed mitigating the additional floor area by paying the community housing in-lieu fee. During their review of the Pre-Application, the Commission discussed: (1) the project's mass and scale and the proposed FAR increase and (2) the in-lieu-fee payment proposed to satisfy the community housing contribution. The Commission recommended the applicant provide community housing units on-site to mitigate the proposed FAR increase. The applicant revised the project plans to include two community housing units on the ground level accessed from a pedestrian pathway that will connect to the new sidewalk along Main Street.

Height dimensions are specified on the building elevations provided on Sheets A2.0 and A2.1 of the project plans. The height of the front façade is 36 feet as measured from the average grade of the front property line along Main Street. The maximum height of the rear façade is 41 feet as measured from the average grade of the rear property line to the top of the fourth-floor roof parapet. The fourth floor is setback 40 feet from the front property line along Main Street, 12 feet from the 4th Street building façade, and 11 feet from the north-side and alley-facing facades. The proposed fourth floor must be reviewed and approved by City Council pursuant to Ketchum Municipal Code §17.12.040 Footnote 2.

In addition to the fourth-floor setbacks, projections and recessions of building mass reduce the visual appearance of bulk and flatness. These façade-plane modulations add a human scale to create a more pedestrian-friendly experience. The primary building entrance at the ground-level along Main Street is recessed and setback 8.5 feet from the front property line. The upper levels above the recessed entrance are each setback from the façades below. Most of the building is setback approximately 5 feet from the side property line along 4th Street. As the retail unit's glazed façade transitions to the brick-clad entrance to the residential-lobby entrance, the facade steps back an additional 3 feet. A majority of third floor is setback from the second-level façade along 4th Street. The 4th Street façade includes only one three-story volume that is approximately 22 feet long and 32 feet tall.

Conformance with Design Review Improvements and Standards

Planning staff and the Commission reviewed the project for conformance with all design review standards and required improvements specified in Ketchum Municipal Code §17.96.060 and requirements for developments within the Community Core specified in Ketchum Municipal Code §17.96.070. Additionally, staff and the Commission reviewed the project for conformance with all city code requirements for right-of-way improvements, including but not limited to sidewalks, streetlights, and drainage. As conditioned, the project complies with all design review improvements and standards.

FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Community Core Subdistrict 1 – Retail Core (CC-1)</i>	YES
<p>Finding: Only pedestrian activated commercial uses like retail shops and restaurants are permitted on the ground-floor along the street frontage within developments in the Retail Core (CC-1) Zone (KMC §17.12.020). The proposed development includes ground-level retail units fronting Main and 4th Streets. The upper levels of the mixed-use building contain five market-rate residential units. Two community housing units are provided on the ground-floor and accessed from a pathway that will connect to the new sidewalk installed along Main Street. Retail and multi-family dwelling units are permitted in the CC-1 Zone pursuant to Ketchum Municipal Code §17.12.020.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
<p>Finding: <u>Required:</u> 5,500 square feet <u>Proposed:</u> 11,000 square feet</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
<p>Finding: <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district. <u>Proposed:</u> Lot 1A is 110 feet wide.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES

Finding:

Required:

Front (Main Street/west): 0 feet

Side (4th Street/south): 0 feet

Side (interior/north): 0 feet

Rear (alley/east): 3 feet

Setback for 4th Floor: 10 feet

Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be setback 10 feet from all building facades.

Proposed:

Setbacks are indicated on Sheet CD1.0 of the project plans.

Setbacks for Mixed-Use Building

Front (Main Street/west): 0'

Side (4th Street/south): 4'-10"

Side (interior/north): 0'

Rear (alley/east): 5'-2"

Fourth-Floor Setbacks

Front (Main Street/west): 40'-3"

Side (4th Street/south): 11'-11" from façade and 16'-11" from property line.

Side (interior/north): 11'

Rear (alley/east): 11' from façade and 15'-6" from property line.

Rooftop Structures

The roof plan on Sheet A1.2 of the project plans shows that all roof-mounted electrical and mechanical equipment is setback 10 feet from the fourth-floor building façade.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p>Permitted: 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest</p>	

elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).

Proposed:

Average Grade Elevation at Front Property Line: 5837.53'

Top of Front Façade Elevation: 5873.5'

Height of Front Façade: 36 feet

Average Grade Elevation at Rear Property Line: 5846.95'

Top of Rear Façade Elevation: 5885'

Height of Parapet Walls Screening Rooftop Mechanical & Electrical Equipment: 2'-7"

Height of Rear Façade: 41 feet

The north-side and 4th Street side elevations on Sheet A2.0 and A2.1 of the project plans show that the side façade steps up to the maximum height permitted at the rear elevation 40'-4" back from the front property line.

The proposed fourth floor requires must be reviewed and approved by City Council pursuant to Ketchum Municipal Code §17.12.040 Footnote 2.

17.124.040 – Floor Area Ratios and Community Housing	Conformance
<i>An increased FAR may be permitted subject to design review approval, and provided, that all conditions in KMC 17.124.040.B.2 are met.</i>	YES Condition #1
<p>Finding:</p> <p><u>Permitted:</u> Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25</p> <p><u>Proposed:</u> The FAR calculation is provided on Sheet CD1.1 of the project plans. Total Gross Floor Area: 24,003 square feet Lot Area: 10,989 square feet FAR: 2.19</p> <p>Community Housing Mitigation Calculation: Permitted Gross Floor Area (1.0 FAR): 10,989 square feet Proposed Gross Floor Area: 24,003 square feet Increase Above Permitted FAR: 13,014 square feet</p>	

20% of Increase: 2,603 square feet
 Net Livable (15% Reduction): 2,212 square feet
 Community Housing Unit 1 Net Livable Floor Area: 458 square feet
 Community Housing Unit 2 Net Livable Floor Area: 518 square feet
 Total On-Site Community Housing: 976 square feet
 Remaining Community Housing: 1,236 square feet
 Community Housing In-Lieu Fee Payment: \$556,200

The applicant has proposed providing two community housing units on the ground-level of the mixed-use building. The remainder of the community housing contribution will be satisfied by paying the fee in lieu. Pursuant to condition #1, a FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.

17.125.030 - Off Street Parking and Loading 17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<p>Permitted: <u>Required (KMC §17.125.040)</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><u>Exemptions in CC Zone</u></p> <ul style="list-style-type: none"> • Community housing • Food service • The first 5,500 gross square feet of retail trade • The first 5,500 gross square feet of assembly uses <p><u>Project Parking Demand</u> Main Street Ground Floor Retail (2,784 gross square feet): first 5,500 square feet retail trade exempt Community Housing Unit 101 (458 square feet): exempt</p>	

Community Housing Unit 102 (518 square feet): exempt

Alley Level Floor

Retail (662 square feet): first 5,500 square feet of retail trade exempt

Residential Unit 201 (1,505 square feet): 1 parking space required

Residential Unit 202 (1,725 square feet): 1 parking space required

Third Floor

Residential Unit 301 (2,277 square feet): 2 parking spaces required

Residential Unit 302 (3,485 square feet): 2 parking spaces required

Fourth Floor

Residential Unit 401 (3,039 square feet): 2 parking spaces required

Total Parking Demand: 8 Parking Spaces

Proposed

The applicant has provided 9 total parking spaces within five private residential garages accessed from the alley. Four of the garages contain two parking spaces arranged in the tandem configuration. One garage provides one parking space.

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES
<p>Finding: <u>Required:</u> 1 bicycle rack, accommodating at least two bicycles, for every four parking spaces required. 2 bike racks accommodating at least two bicycles are required based on the project parking demand.</p> <p><u>Proposed:</u> Note 1 on Sheet C1.1 specifies that bike racks accommodating six bicycles have been provided on-site by the building entrance along Main Street.</p>	

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES Condition #6
<p>Finding: The master signage plan for the project is provided on Sheet A3.0. Two signs (approximately 7 square feet each) for the retail units fronting Main Street are proposed to</p>	

be mounted on the canopy eaves. One “4th & Main” sign for the building (approximately 13 square feet) is proposed to be mounted on the canopy eave in front of the main recessed entrance along Main Street. One retail sign (approximately 7 square feet) for the retail unit fronting 4th Street is proposed to be mounted on the canopy eave. An additional “4th & Main” building sign (approximately 13 square feet) is proposed along the 4th Street façade. Pursuant to condition #6, separate sign permits shall be required for all new signs prior to installation.

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES Condition #7
<p>Finding: The proposed exterior lighting fixtures are full cutoff fixtures and comply with Ketchum Municipal Code §17.132.030.H1. The light sources are fully shielded with a maximum color temperature of 2700K and comply with Ketchum Municipal Code §17.132.030.A. The proposed exterior lighting complies with the city’s Dark Skies Ordinance.</p> <p>The project’s exterior lighting plan proposes to install recessed downlights within the canopy that will extend 4’-7” over the new sidewalk along Main Street. Pursuant to Ketchum Municipal Code §17.132.030.I, canopy lighting must be fully shielded and meet light trespass standards. The Light Trespass and Overlighting Matrix (KMC §17.132.030.B1) sets maximum footcandle limits for the acceptable amount of light trespass from the zone of the light source to the impacted zones. The matrix does not set maximum footcandle limits for light trespass emanating from a CC-Zoned property and impacting a CC-Zoned property. Ketchum Municipal Code §17.132.030.I states that, “All canopy lighting shall be recessed sufficiently as to ensure that no light source is visible from or causes glare on public rights-of-way or adjacent property.” Condition #7 states that the Applicant shall submit a photometric study that shows the footcandles illuminating the sidewalk from both the proposed canopy lights and streetlights for review and approval by the City Engineer to ensure compliance with the city’s standards for lighting within the public right-of-way prior to issuance of a building permit for the project.</p>	

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #2
<p>Finding: All improvements to the right-of-way and walkways to the right-of-way improvements are at the expense of the applicant.</p>	

The project is located at the northeast corner of Main and 4th streets. As shown on Sheet C1.0, the applicant proposes to improve the asphalt roadway adjacent to the property along Main and 4th Street. The private residential garages area accessed from the alley. The applicant will improve the full width of the 20-foot-wide alleyway. The alley apron is proposed to be improved with heated pavers.

Final civil drawings for all associated right-of-way and alley improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and the Streets Department. Final review of all right-of-way improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #2.

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #2
<p>Finding: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #2.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-1 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new heated, paver sidewalks along Main and 4th Streets.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Conditions #2 & #4
<p>Finding: The project plans provided the details of the sidewalks for review by the City Engineer. Preliminary review of the project plans indicates that all city right-of-way standards for width</p>	

and construction are met. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project per condition of approval #2.

The applicant has proposed to install a new: (1) 8-foot wide, heated, paver sidewalks within the right-of-way along Main Street and (2) 12-foot wide, heated, paver sidewalk along 4th Street . The applicant has also proposed to construct a new heated paver bulb-out at the intersection of Main and 4th Streets. Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project pursuant to condition of approval #2.

The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 5th Streets as well as the snowmelt system required to be installed within the Block 5 alleyway. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. Pursuant to condition #4, the applicant shall submit the ROW Encroachment Application prior to issuance of a building permit for the project for review and approval by the City Council.

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	YES
<p>Finding: As shown on Sheet C1.1 of the project plans, the proposed sidewalk improvements are equal to the length of the property’s street frontages along Main and 4th streets.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES Condition #5
<p>Finding: Sidewalks exist to the north and south of the subject property. The new heated, paver sidewalk along Main Street will connect to the new sidewalk to the north that will be installed for the adjacent development located at 460 N Main Street. A heated, paver alley apron has been proposed that will connect the new sidewalk along 4th Street to the existing sidewalk to the east. Pursuant to condition #5, the existing utility risers located at the northeast corner of the subject property by the alley shall be relocated so that the full unobstructed width of the proposed paver pathway bordering the alley will connect to the new pathway that will be installed for the adjacent mixed-use development currently under construction to the north.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
<p>Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.</p>	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #2
<p>Finding: The drainage improvements are shown on Sheet C1.0 and C0.2. The project proposes to install a drywell that connects to the roof and foundation drainage system. New curbs and gutters will be provided along the length of the pathway bordering the alley as well as the new sidewalks along Main and 4th streets. All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer</p> <p>Pursuant to condition #2, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by</p>	

the City Engineer and Streets Department. The final project plans submitted with the building permit application must specify the location of all roof drains.

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #2
<p>Finding: See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards. As shown on Sheet C1.0, all stormwater is retained on-site. The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Main Street, 4th Street, and the alley. Pursuant to condition #2, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #2
<p>Finding: The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition #2, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #2
<p>Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the City Engineer prior to issuance of a building permit per condition #2.</p>	

17.96.060.D.1 - Utilities	Conformance
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<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
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Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Conditions #2 & #3

Finding: Sheet C1.0 shows that existing gas, electricity, and cable infrastructure is located underground within the alley. Pursuant to condition #2, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer, Streets Department, and Utilities Department.

Idaho Power has provided a letter dated September 30th, 2022 stating that: "This project can be served from the planned installation of a three phase 120/208 transformer to be installed 70' north in the public right-of-way and to be shared by the 5th and Main Street project currently under construction."

Pursuant to condition #3, the electric and gas service line connections and meters must be specified on the utility plan submitted with the building permit application. The electric and gas meters shall be fully screened from public view. The proposed screening must be compatible with the overall building design and specified on the project plans to be reviewed and approved by planning staff to ensure compliance with Ketchum Municipal Code §17.96.070.C2.

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A

Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: This contextual infill development embraces Ketchum’s history to inform its design. The project utilizes exterior materials that are consistent with Ketchum’s local vernacular architecture, including brick, wood, glass, and steel. The transparent glass windows and doors are balanced with solid brick, steel, and wood. The ground-level canopies and upper-level roof projections are comprised dark-bronze-painted metal. Dark-bronze metal cladding and dividers add decorative details to the glass windows and doors. The use of brick on the first two floors provides a visually solid base anchoring the building to the project site. Brick detailing forms a cap at the top of the first and second levels to visually distinguishing the floors of the building. As noted in the project narrative, the applicant studied existing building downtown to inform the project design. The arched windows and brick detailing characterize historic buildings downtown, including the Cornerstone and Rocky Mountain Hardware buildings.</p> <p>The project’s proposed materials are compatible with neighboring buildings and the surrounding downtown area. The Wells Fargo Bank building to the west across Main Street is comprised of brick and wood panels and a gable-roof with pre-finished bronze colored steel. The exterior materials on the Jones Building located at southwest corner of Main and 4th streets include brick, precast concrete and concrete banding, synthetic stucco, and fabric awnings. Sturtevant’s across 4th Street to the south of the subject property includes brick and cedar siding.</p> <p>The project’s exterior materials complement neighboring buildings and are compatible with the surrounding built environment in downtown Ketchum.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<p>Finding: The vacant parcel was the home of Irving’s Red Hots and is commonly referred to as Hot Dog Hill. The subject property is not listed as a historical or cultural landmark on the City of Ketchum’s Historical Building/Site List, therefore this standard does not apply.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<p>Finding: This standard does not apply as the subject property is vacant and undeveloped.</p>	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<p>Finding: The primary building entrance along is recessed 8.5 feet from the front property line along Main Street. The entrance is further defined by the projecting metal canopy that extends 4'-7" over the sidewalk along Main Street. The erosion of mass at the street corner softens the edge the building and helps define the entrance to the retail unit. The entrances to the residential lobby and retail unit along 4th Street are defined by projecting metal canopies. The floor-to-ceiling height of the ground-level commercial space along Main Street is 12.5 feet. The floor-to-ceiling height of the 4th Street retail unit is 18.5 feet. These predominant ground-level ceiling heights further emphasize the building entrances. The landscape planters frame the entrances, which soften the building and create a welcoming environment for pedestrians.</p>	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: Features of the proposed design, including the brick detailing and arched windows, celebrate the character-defining elements of Ketchum's historic buildings. Brick detailing provided at the cornices and the arched- and rectangular- window casings provide texture and visual interest that animate the façade. The heaviness and length of the metal canopies provide a strong horizontal element that both helps to distinguish the ground-level commercial space and provides relief from the height of the building. The steel arms supporting flat roof projections add detail that further defines the metal canopies at the ground-level. Horizontal dark-bronze metal banding define the second-level roof termination at the building corner and the recessed building entrance along Main Street. The use of the solid and durable brick material at the lower levels grounds the building. The lighter horizontal wood siding material at the upper levels helps relieve the visual appearance of building height.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses brick veneer, bronze-painted metal, wood, and glass along all facades of the building. The different shapes, sizes, and placement as well as the detailing of these exterior materials add variety and animates each facade. The building and retail signage is integrated into the project design. The signs further define the retail storefronts.</p>	

17.96.060.F.4 – Architectural	Conformance
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<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: No accessory structures are proposed; however, the project contains landscape planters along Main and 4th streets. While buildings may be built to front and street-side property lines in the CC-1 Zone, the applicant has setback the building approximately 5 feet along 4th Street. Concrete landscape planters have been provided within the setback area creating a buffer from the building and the sidewalk. The integration of landscape planters enhance the quality of the pedestrian experience along 4th Street.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: The building mass modulates through recessions, projections, and other changes in the façade plane to reduce the appearance of building bulk and flatness. The erosion of mass at the corner softens the building edge and adds a human scale to provide a more pedestrian-friendly experience. The applicant has sculpted the building mass to form one-, two-, and three- story elements along Main and 4th Streets. The primary building entrance at the ground-level along Main Street is recessed and setback 8.5 feet from the front property line. The upper levels above this recessed entrance area are each setback from the façade below—the second floor is setback approximately 8 feet from the ground-level façade and the third floor is setback approximately 8 feet from the second-level façade. The walls on either side of the recessed entrance are built to the property line along Main Street. The length of these facades built to the front property line are each approximately 27 feet. The building mass has been sculpted on both sides of the recessed entrance along Main Street through horizontal floor setbacks to form one- and two-story elements. The mass to north of the recessed entrance is setback 10 feet at the third level creating a two-story element that is approximately 25 feet tall. The mass to the south of the recessed entrance is setback 8.5 feet at the second level creating a one-story element that is approximately 12.5 feet tall. A majority of third floor is setback from the lower-level façade along 4th Street. This change in the façade plane forms two-story elements at the 4th Street frontage that add a human scale and enhance the pedestrian experience. The 4th Street frontage includes only one three-story element that is approximately 22 feet long and 30 feet tall.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The project will consolidate two lots that were created by Ketchum’s original Townsite plat and are part of the downtown grid system. Ketchum Townsite lots orient towards avenues</p>	

that run north to south. The project continues the traditional lot and block pattern by orienting the building towards the primary street frontage along Main Street.

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p>Finding: As shown on Sheet A1.0 of the project plans, the garbage disposal room within the rear of building by the alley and fully screened from public view. Clear Creek Disposal has provided a letter dated March 10th, 2022 stating that they can adequately serve the development. The dumpster within the garbage disposal room will be installed on a glider system. Clear Creek Disposal will access the dumpster glider from the alley.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: The metal canopies provided at the ground-level provide weather protection at the building entrances along Main and 4th streets. The ground-floor setback at the street corner is covered by the second-level terrace above, which will provide weather protection for pedestrians gathering and circulating in this area.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES Condition #5
<p>Finding: As indicated on Sheet C1.1, the new 8-foot-wide sidewalk along Main Street has been designed to connect to the new sidewalks that will be installed for the 460 N Main mixed-use development currently under construction to the north. A heated paver apron has been provided at end of the alley to connect to the new 12-foot-sidewalks installed along 4th Street to the existing paver sidewalks to the east.</p> <p>Pursuant to condition #5, the existing utility risers located at the northeast corner of the subject property by the alley shall be relocated so that the full unobstructed width of the proposed paver pathway bordering the alley will connect to the new pathway that will be installed for the adjacent mixed-use development currently under construction to the north.</p>	

17.96.060.G.2 – Circulation Design	Conformance
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<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	YES Condition #4
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Finding: The metal canopy extends 4'-7" over the sidewalk along Main Street. The canopy overhang is setback over 3.5 feet from the parking and travel lanes along Main Street. Pursuant to condition #4, a Right-of-Way Encroachment Agreement must be review and approved by the City Council, signed, and recorded prior to issuance of a building permit for the project.

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES Condition #5

Finding: Vehicle access to the project is provided along Main Street, 4th Street, and the alley. The off-street surface parking area is accessed from the alley. The proposed alley access will allow traffic to flow safely within the project and onto 4th Street. Bicycle and pedestrian traffic is provided at multiple building entrances along Main and 4th streets.

Pursuant to condition #5, the existing utility risers located at the northeast corner of the subject property by the alley shall be relocated so that the full unobstructed width of the proposed paver pathway bordering the alley will connect to the new pathway that will be installed for the adjacent mixed-use development currently under construction to the north.

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A

Finding: The subject property is a corner lot with street frontage along both Main and 4th streets. No curb cuts or driveway entrances are proposed along Main Street or 4th Street. The parking garages are accessed from the alley.

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES

Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Main Street, 4th Street, and the alley.

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
<p>Finding: Sheet C1.1 indicates that the new sidewalks, curb, and gutter along Main and 4th streets will include a snowmelt system. Note C03 specifies that the paver pathway bordering the alley as well as the paver apron in the alley right-of-way will be heated. All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
<p>Finding: The applicant has proposed to snowmelt all parking and pedestrian circulation areas, which is permitted as an alternative to providing on-site snow storage area by Ketchum Municipal Code §17.96.060.H4.</p>	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
<p>Finding: N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site.</p>	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #4
<p>Finding: All improved hardscape areas are proposed to be heated with a snowmelt system instead of providing snow storage areas on site.</p> <p>The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 5th Streets as well as the snowmelt system required to be installed within the Block 5 alleyway. Pursuant to condition #4, the applicant shall submit the ROW Encroachment Application prior to issuance of a building permit for the project for review and approval by the City Council.</p>	

17.96.060.I.1 – Landscaping	Conformance
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<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on the sheets titled Landscape Plan Level 01 & 02 and Landscape Plan Level 04.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<p>Finding: The landscape plan vegetation types include Autumn Blaze Maple street trees, Tor Birchleaf Spirea, Goldflame Spirea, and Blue Oat Grass. Similar vegetation types will be installed for the adjacent mixed-use development currently under construction to the north. The landscaping will complement the surrounding neighborhood and beautify the streetscape.</p> <p>Concrete landscape planters have been provided within the setback areas at the ground level creating a buffer from the building and the sidewalk. The integration of landscape planters enhance the quality of the pedestrian experience along 4th Street. The landscape planters frame the building entrances.</p> <p>The landscape plan shall be readily adaptable to the site’s microclimate, soil conditions, orientation, and aspect.</p>	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<p>Finding: The autumn blaze maple tree is often used as a street tree as it provides visual interest in the fall. Although not native to the region, the maple tree and tall grasses proposed are considered to have a high drought tolerance. All trees, shrubs, grasses, and perennials shall be drought tolerant. Native species are recommended.</p>	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p>Finding: The subject property is surrounded by compatible uses within the Community Core Zone. The vegetation will enhance the pedestrian-friendly streetscape.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<p><i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i></p>	<p>YES</p>
<p>Finding: The project’s pedestrian amenities including retaining and protecting the City’s existing art pedestal and street tree planters along the 4th Street sidewalk and a bicycle rack for public use. In the project narrative, the applicant states: “With over 3,100 square feet of activated sidewalk, this project will provide the only safe, uninterrupted, and fully ADA compliant access to Main Street on the block as it stretches up the hill. The heated sidewalk wraps the corner with covered awnings, five trees for natural screening and shade, planter boxes with native plantings, multiple sitting space for up to 16 seats, 8 bicycle parking stalls, and a designated art pedestal.”</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<p><i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i></p>	<p>N/A</p>
<p>Finding: N/A</p>	

17.96.060.K.2 – Underground Encroachments	Conformance
<p><i>No below grade structure shall be permitted to encroach into the riparian setback.</i></p>	<p>N/A</p>
<p>Finding: N/A</p>	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<p><i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i></p>	<p>YES Conditions #2 & #4</p>
<p>Finding: The placement of all street trees and streetlights require final review and approval by the City Engineer and Streets Department. Adequate clearance must be provided around all</p>	

obstacles within the right-of-way, including street trees, grates, and lights. Final drawings prepared by an Idaho-licensed engineer for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department pursuant to condition #2. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.

The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 4th Streets as well as the heated paver apron within the alley right-of-way. Pursuant to condition #4, the applicant shall submit the ROW Encroachment Application prior to issuance of a building permit for the project for review and approval by the City Council.

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES
<p>Finding: The landscape plan, Sheet C1.1, and Sheet C0.2 show that the new street tree installed along the Main Street sidewalk will have a minimum caliper size of 3 inches and will be placed in a tree grate per City right-of-way standards.</p>	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
<p>Finding: Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Final drawings prepared by an Idaho-licensed engineer for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department pursuant to condition #2. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project. Modification to the requirements of Ketchum Municipal Code §17.96.070.A may be recommended by the City Engineer and Streets Department following review of the civil final drawings submitted with the building permit application. No modifications to these requirements have been recommended by the City Engineer or Streets Department at this time.</p>	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES

Finding: All four facades facing Main Street, 4th Street, the alley, interior side are design with both solid surfaces and window openings to avoid the creation of blank walls. The project uses brick veneer, bronze-painted metal, wood, and glass along all facades of the building.

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	N/A

Finding: The ground-level building facades fronting Main and 4th streets include large storefront windows and glass doors. This ground-floor transparency creates an active, inviting, and pedestrian-friendly streetscape. transparent streetscape. While buildings may be built to front and street-side property lines in the CC-1 Zone, the applicant has setback the building approximately 5 feet along 4th Street. Concrete landscape planters have been provided within the setback area creating a buffer from the building and the sidewalk. The integration of landscape planters enhance the quality of the pedestrian experience along 4th Street.

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	N/A

Finding: See above analysis for Ketchum Municipal Code §17.96.070.B2. The front and street side facades include significant fenestration and do not obscure views into the windows of the retail units. The floor-to-ceiling height of the ground-level commercial space along Main Street is 12.5 feet. The floor-to-ceiling height of the 4th Street retail unit is 17 feet. While landscape planters border the setback areas along Main and 4th Streets, the predominant ground-level ceiling heights ensure that views into the storefront windows will not be obscured as the vegetation grows to maturity.

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES

Finding: The roof form and material is compatible with the overall style of the building. The roof form is flat and complement the project’s horizontal elements, including the ground-level metal canopies and the wood siding. No reflective materials are proposed.

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A

Finding: The project does not include pitched roofs.

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	YES Condition #4
<p>Finding: The ground-level canopy extends 4’-7” over the front property line along Main Street. Pursuant to condition of approval #4, the ROW Encroachment Agreement for all encroachments in the right-of-way, including the sidewalk pavers and snowmelt system and canopy overhang, must be approved by City Council prior to issuance of a building permit for the project.</p>	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
<p>Finding: The project does not include front porches or stoops on the front façade of the building.</p>	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
<p>Finding: As shown on Sheet A1.0 of the project plans, the garbage disposal room within the rear of building by the alley and fully screened from public view. Clear Creek Disposal has provided a letter dated March 10th, 2022 stating that they can adequately serve the development. The dumpster within the garbage disposal room will be installed on a glider system. Clear Creek Disposal will access the dumpster glider from the alley.</p>	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES Condition #3

Finding: The new transformer to serve the project will be installed at the north end of the alley and screened from public view by existing retaining walls. Idaho Power has provided a letter dated September 30th, 2022 stating that: "This project can be served from the planned installation of a three phase 120/208 transformer to be installed 70' north in the public right-of-way and to be shared by the 5th and Main Street project currently under construction."

Pursuant to condition #3, the electric and gas service line connections and meters must be specified on the utility plan submitted with the building permit application. The electric and gas meters shall be fully screened from public view. The proposed screening must be compatible with the overall building design and specified on the project plans to be reviewed and approved by planning staff to ensure compliance with Ketchum Municipal Code §17.96.070.C2.

The roof-mounted electrical equipment will be screened from public view with parapet walls.

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
<p>Finding: The landscape plan indicates 2 existing deciduous trees are proposed to be removed from the site. These trees will be replaced with an Autumn Blaze Maple street tree installed along the Main Street sidewalk and a flowering crabapple tree installed within a planter along 4th Street.</p>	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
<p>Finding: The landscape plan, Sheet C1.1, and Sheet C0.2 show that the new street tree installed along the Main Street sidewalk will have a minimum caliper size of 3 inches and will be placed in a tree grate per City right-of-way standards.</p>	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES
<p>Finding: The City Arborist has approved the replacement trees.</p>	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A
<p>Finding: N/A. No surface parking lot is proposed.</p>	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: N/A. The project does not include a surface parking lot. On-site parking is provided within the enclosed garages accessed from alley.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no surface parking lots are proposed for the project.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: Two bike racks accommodating at least two bicycles are required to be provided for the project. Sheet C1.1 indicates that a bike rack accommodating 6 bicycles is provided by the primary building entrance along Main Street.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: 8 parking spaces are required to be provided on-site to satisfy the project’s parking demand and 2 bike racks are required.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to</i>	YES

<i>achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	
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Finding: Sheet C1.1 indicates that a bike rack that can accommodate 6 bicycles is provided on site by the primary building entrance along Main Street.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 4th & Main Mixed-Use Development Design Review Application File No. P22-043 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Design Review Application File No. P22-043 this Tuesday, February 14, 2023 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 2,212 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project. Payment-in-lieu contributions for community housing are required prior to issuance of a building permit for the project.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specifications for the right-of-way, circulation design, utilities, and

drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.

3. The electric service line connection to the new transformer at the north end of the alley must be specified on the utility plan submitted with the building permit application. The project plans submitted with the building permit application must specify: (1) the electric service line connection to the new transformer at the north end of the alley, and (2) the location of the electric and gas meters and associated screening. Prior to issuance of a building permit, planning staff will review the proposed siting and screening of the electric and gas meters to ensure compliance with Ketchum Municipal Code §17.96.070.C2
4. The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the new sidewalks along Main and 4th streets as well as the canopy extending over the sidewalk along Main Street. The ROW Encroachment Permit shall be review and approved by the Ketchum City Council prior to issuance of a building permit for the project.
5. The existing utility risers located at the northeast corner of the subject property by the alley shall be relocated so that the full unobstructed width of the proposed paver pathway bordering the alley will connect to the new pathway that will be installed for the adjacent mixed-use development currently under construction to the north.
6. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
7. The applicant shall submit a photometric study that shows the footcandles illuminating the sidewalk from both the proposed canopy lights and streetlights for review and approval by the City Engineer to ensure compliance with the city's standards for lighting within the public right-of-way prior to issuance of a building permit for the project.
8. The applicant shall submit final specifications for the exterior materials electronically as well as physical samples for the Commission's final review and approval prior to issuance of a building permit for the project.
9. The applicant shall be responsible for repairing and/or reconstructing any damage to the existing planters and art pedestal along the 4th Street sidewalk that may occur through the duration of the construction project. The applicant shall preserve the existing vegetation and street trees installed within the planters. If the existing street trees are unable to be preserved, then the applicant shall install new street trees with a large caliper size reflecting the size of the existing mature street trees.
10. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
11. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of

Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to issuance of a Certificate of Occupancy for the project.

12. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC 17.96.090.
13. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 28th day of February 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



**City of Ketchum
Planning & Building**

IN RE:)
)
4th & Main Mixed-Use Development) KETCHUM PLANNING AND ZONING COMMISSION
Lot Consolidation Preliminary Plat) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
File Number: P22-043A) DECISION
)
Date: February 28, 2023)
)

PROJECT: 4th & Main Mixed-Use Development
APPLICATION TYPE: Lot Consolidation Subdivision Preliminary Plat
FILE NUMBER: P22-043A
ASSOCIATED APPLICATIONS: Design Review (File No. P22-043)
Condominium Subdivision Preliminary Plat (File No. P22-043B)
PROPERTY OWNER: Chris Ensign, Managing Member, 4th & Main Ketchum LLC
REPRESENTATIVE: Peter Paulos, PH Architects (Architect)
LOCATION: Northeast Corner of Main & 4th Street (Ketchum Townsite: Block 5:
Lots 1 & 2) RPK00000050020 & RPK00000050010
ZONING: Retail Core of the Community Core (CC-1)
OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 4th & Main Mixed-Use Development Lot Consolidation Subdivision Preliminary Plat Application File No. P22-043A during their special meeting on February 14, 2023. The application was considered concurrently with Design Review Application File No. P22-043 and Condominium Subdivision Preliminary Plat Application File No. P22-043B and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice & Public Comment

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 25, 2023. The public hearing notice was published in the Idaho Mountain Express on January 25, 2023. A notice was posted on the project site and the

city’s website on January 30, 2023. The building corners were staked and the story pole was installed on the project site on February 7, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission recommended approval of the Lot Consolidation Subdivision Preliminary Plat application to the City Council subject to conditions.

FINDINGS OF FACT

The Planning and Zoning Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 24,003 square-foot, four-story mixed-use building, called the 4th & Main Mixed-Use Development (the “project”), at the northeast corner of Main and 4th streets (the “subject property”) located within the Retail Core Subdistrict of the Community Core (See Figure 1 for project location map).

The lot consolidation preliminary plat application will combine lots 1 and 2 within block 5 of Ketchum Townsite to create the development parcel. The request to combine two Ketchum Townsite lots downtown meets all applicable standards outlined in the City’s subdivision regulations. Combined lot 1A will have 110 feet of frontage along Main Street and 100 feet of frontage along 4th Street. The total area of the combined lots is 11,000 square feet. Many Ketchum Townsite lots have been consolidated downtown to support new development. Proposed Lot 1A is the same size and shape as the Idaho Independent Bank and Wells Fargo Bank properties across Main Street and the adjacent property to the north located at 460 N Main Street.

FINDINGS REGARDING COMPLIANCE WITH PRELIMINARY PLAT REQUIREMENTS

Preliminary Plat Requirements (Ketchum Municipal Code §16.04.030)				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			<i>Findings</i>	<i>The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on July 20, 2022.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.
			<i>Findings</i>	<i>The subdivision application was deemed complete on November 30, 2022.</i>

☒	☐	☐	16.04.030.J.1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following: The scale, north point and date.
			<i>Findings</i>	<i>This standard is met as shown on Sheet 1 of the preliminary plat.</i>
☒	☐	☐	16.04.030.J.2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.
			<i>Findings</i>	<i>As shown on Sheet 1 of the preliminary plat, the plat is titled "Lot 1A, Block 5, Ketchum Townsite" which is not the same as any other subdivision in Blaine County, Idaho.</i>
☒	☐	☐	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			<i>Findings</i>	<i>The name of the owner and surveyor is shown on Sheet 1 of the plat. The plat was prepared by Mark E. Phillips of Galena Engineering.</i>
☒	☐	☐	16.04.030.J.4	Legal description of the area platted.
			<i>Findings</i>	<i>The legal description of the area platted is shown on page 1 of the preliminary plat.</i>
☒	☐	☐	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			<i>Findings</i>	<i>The preliminary plat shows adjacent lots 3 and 4 located within block 5 of the Ketchum Townsite.</i>
☒	☐	☐	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			<i>Findings</i>	<i>Existing site conditions, including topography, are included on the project plans submitted with Design Review Application File No. P22-043.</i>
☒	☐	☐	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat shows the location of the adjacent streets and block 5 alley. The property does not contain any public or private easements. The property is currently vacant.</i>
☒	☐	☐	16.04.030.J.8	Boundary description and the area of the tract.
			<i>Findings</i>	<i>Sheet 1 provides the boundary description of the area. The total area of Lot 1A is 10,989 as noted on the preliminary plat map.</i>
☒	☐	☐	16.04.030.J.9	Existing zoning of the tract.
			<i>Findings</i>	<i>Plat note #2 on Sheet 1 of the preliminary plat specifies the existing zoning of the subject property.</i>
☒	☐	☐	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.

			<i>Findings</i>	<i>The preliminary plat shows the location and property lines for consolidated Lot 1A. No new streets or blocks are being proposed with this application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			<i>Findings</i>	<i>This standard is not applicable as there is no requirement or proposal for land dedicated to public use. The condominium subdivision preliminary plat for the project shows the land that will be dedicated for common use of all future property owners.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			<i>Findings</i>	<i>This standard does not apply as this preliminary plat proposes to consolidate two existing lots within the original Ketchum Townsite. No utility, drainage, or right-of-way improvements are proposed or required for the lot consolidation preliminary plat application. Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility, drainage, or right-of-way improvements proposed for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			<i>Findings</i>	<i>This standard does not apply as no new streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			<i>Findings</i>	<i>This standard does not apply as no new drainage canals or structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.15	All percolation tests and/or exploratory pit excavations required by state health authorities.
			<i>Findings</i>	<i>This standard does not apply as no additional tests are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.16	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			<i>Findings</i>	<i>This standard does not apply to the subdivision application for the lot consolidation. The applicant has provided a draft copy of the articles of incorporation, bylaws, and declarations with the condominium subdivision preliminary plat application submittal.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.17	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat includes a vicinity map.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.18	The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.
			<i>Findings</i>	<i>The subject property is not within a floodplain, floodway, or avalanche zone district.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.19	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			<i>Findings</i>	<i>A building envelope is not required as the subject property is not within the floodway, floodplain, or avalanche zone. The subject property is not adjacent to the Big Wood River, Trail Creek or Warm Springs. The subject property does not contain slopes greater than 25% and is not adjacent to an intersection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	Lot area of each lot.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat shows the area of Lot 1A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.21	Existing mature trees and established shrub masses.
			<i>Findings</i>	<i>The project plans submitted with Design Review Application File No. P22-043 specify that two existing deciduous trees on the property will be removed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			<i>Findings</i>	<i>The applicant submitted a title commitment issued by Stewart Title Guarantee Company, and a warranty deed recorded at Instrument Number 692375 with the preliminary plat application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	Three (3) copies of the preliminary plat shall be filed with the administrator.
			<i>Findings</i>	<i>The City of Ketchum received digital copies of the preliminary plat at the time of application.</i>

FINDINGS REGARDING COMPLIANCE WITH SUBDIVISION DEVELOPMENT & DESIGN STANDARDS

Subdivision Development & Design Standards (Ketchum Municipal Code §16.04.040)				
Compliant			City Code	City Standards
Yes	No	N/A		

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	<p>Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>

			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			<i>Findings</i>	<i>The applicant shall meet the required monumentation standards prior to recordation of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building

			<p>envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <ol style="list-style-type: none"> a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section. <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
		<p><i>Findings</i></p>	<p><i>Standard #1 has been met as the size, width, depth, shape, and orientation of Lot 1A comply with the dimensional standards required in the Community Core Zone. Pursuant to Ketchum Municipal Code §17.12.040, lots in the Community Core Zone must have a minimum size of 5,500 square feet and minimum width of 55 feet average. Lot 1A is 10,989 square feet and is 110 feet wide, which exceed the minimum dimensional requirements for lots located in the Community Core. Standard #2 is not applicable is not located in the floodplain and does not contain land with slopes of 25%. Standard #3 through #6 are not</i></p>

				<i>applicable as the preliminary plat consolidates two existing lots and no new lots will be created.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features. 4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.
			<i>Findings</i>	<i>N/A. This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. This application does not create a new block.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land; 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified; 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features; 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods; 5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic

			<p>and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</p> <p>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p> <p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</p> <p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p>
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			<p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
			<p><i>Findings</i></p> <p><i>This standard is not applicable as this application proposes to combine two existing lots within the Ketchum Townsite. This proposal does not create a new street, private road, or bridge.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.I</p> <p>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be</p>

				prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the Ketchum Townsite. The applicant has proposed improving the existing block 5 alleyway to City standards. These improvements are shown on the project plans submitted with Design Review Application File No. P22-043.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</p> <p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p> <p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p>

				<p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p>
			<i>Findings</i>	<i>This standard is not applicable as no easements are proposed or required for this project. The project does not create a new private street. This property is not adjacent to Warm Springs Road. The property does not border a watercourse, drainageway, channel, or stream.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.K	<p>Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Sewer system improvements are not required for this lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	<p>Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.</p>

			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Water system improvements are not required for this lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the Ketchum Townsite. Planting strip improvements are not required for this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	<p>Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <ol style="list-style-type: none"> 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application. 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> a. Proposed contours at a maximum of five foot (5') contour intervals. b. Cut and fill banks in pad elevations. c. Drainage patterns. d. Areas where trees and/or natural vegetation will be preserved. e. Location of all street and utility improvements including driveways to building envelopes. f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements. 3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. 4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or

			<p>hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p> <p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods). c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability. d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope. e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.
			<p><i>Findings</i></p> <p><i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No grading improvements are proposed or required for the lot consolidation. The grading improvements are shown the project plans submitted with Design Review Application File No. P22-043.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.O</p> <p>Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement</p>

				<p>common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			<i>Findings</i>	<p><i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No drainage improvements are proposed or required for the lot consolidation. The drainage improvements are shown on the project plans approved with Design Review Application File No. P22-043.</i></p>
			16.04.040.P	<p>Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.</p>
			<i>Findings</i>	<p><i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No utility improvements are proposed or required for the lot consolidation. The drainage improvements are shown on the project plans approved with Design Review Application File No. P22-043.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	<p>Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.</p>
			<i>Findings</i>	<p><i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Off-site improvements are not required or proposed with this project.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	<p>Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.</p>

			<i>Findings</i>	<i>N/A as this property is not located within the Avalanche Zone or Mountain Overlay.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Findings</i>	This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. The project plans submitted with Design Review Application File No. P22-043 indicate that two existing deciduous trees will be removed from the site.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Lot Consolidation Subdivision Preliminary Plat application for the development and use of the project site.
2. The Commission has authority to review and approve the applicant’s Lot Consolidation Subdivision Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §16.04.030.
4. The Lot Consolidation Subdivision Preliminary Plat application is governed under Chapter 16.04 of Ketchum Municipal Code.
5. The 4th & Main Mixed-Use Development Lot Consolidation Subdivision Preliminary Plat application meets all applicable standards specified in Title 16 of Ketchum Municipal Code.

DECISION

THEREFORE, the Commission **approves** this Lot Consolidation Preliminary Plat Application File No. P22-043A this Tuesday, February 14, 2023 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. The lot consolidation preliminary plat is subject to all conditions of approval associated with Design Review Application File No. P22-043.
2. Failure to record a Final Plat within two (2) years of Council’s approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.

Findings of Fact **adopted** this 28th day of February 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



**City of Ketchum
Planning & Building**

IN RE:)
)
4th & Main Mixed-Use Development) KETCHUM PLANNING AND ZONING COMMISSION
Condominium Subdivision Preliminary Plat) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
File Number: P22-043B) DECISION
)
Date: February 28, 2023)
)

PROJECT: 4th & Main Mixed-Use Development
APPLICATION TYPE: Condominium Subdivision Preliminary Plat
FILE NUMBER: P22-043B
ASSOCIATED APPLICATIONS: Design Review (File No. P22-043)
Lot Consolidation Preliminary Plat (File No. P22-043A)
PROPERTY OWNER: Chris Ensign, Managing Member, 4th & Main Ketchum LLC
REPRESENTATIVE: Peter Paulos, PH Architects (Architect)
LOCATION: Northeast Corner of Main & 4th Street (Ketchum Townsite: Block 5:
Lots 1 & 2) RPK00000050020 & RPK00000050010
ZONING: Retail Core of the Community Core (CC-1)
OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 4th & Main Mixed-Use Development Condominium Subdivision Preliminary Plat Application File No. P22-043B during their special meeting on February 14, 2023. The application was considered concurrently with Design Review Application File No. P22-043 and Lot Consolidation Preliminary Plat Application File No. P22-043A and the public hearings were combined in accordance with Idaho Code §67-6522.

Public Hearing Notice & Public Comment

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 25, 2023. The public hearing notice was published in the Idaho Mountain Express on January 25, 2023. A notice was posted on the project site and the

city’s website on January 30, 2023. The building corners were staked and the story pole was installed on the project site on February 7, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission recommended approval of the Condominium Subdivision Preliminary Plat application to the City Council subject to conditions.

FINDINGS OF FACT

The Planning and Zoning Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 24,003 square-foot, four-story mixed-use building, called the 4th & Main Mixed-Use Development (the “project”), at the northeast corner of Main and 4th streets (the “subject property”) located within the Retail Core Subdistrict of the Community Core.

The condominium subdivision preliminary plat application will subdivide the building into three commercial condominium units, two community housing condominium units, five multi-family dwelling condominium units, common area, and limited common area. The condominium preliminary plat application complies with all applicable subdivision requirements and standards.

FINDINGS REGARDING COMPLIANCE WITH PRELIMINARY PLAT REQUIREMENTS

Preliminary Plat Requirements (Ketchum Municipal Code §16.04.030)				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			<i>Findings</i>	<i>The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on July 20, 2022.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.
			<i>Findings</i>	<i>The subdivision application was deemed complete on November 30, 2022.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following: The scale, north point and date.
			<i>Findings</i>	<i>This standard is met as shown on Sheet 1 of the preliminary plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.

			<i>Findings</i>	As shown on Sheet 1 of the preliminary plat, the plat is titled "Solstice Condominiums" which is not the same as any other subdivision in Blaine County, Idaho.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			<i>Findings</i>	The name of the owner and surveyor is shown on Sheet 1 of the plat. The plat was prepared by Mark E. Phillips of Galena Engineering.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.4	Legal description of the area platted.
			<i>Findings</i>	The legal description of the area platted is shown on page 1 of the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			<i>Findings</i>	The preliminary plat shows adjacent lots 3 and 4 located within block 5 of the Ketchum Townsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the contour lines for the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the location of the adjacent streets and block 5 alley. The property does not contain any public or private easements. The property is currently vacant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.8	Boundary description and the area of the tract.
			<i>Findings</i>	Sheet 1 provides the boundary description of the area. The total area of parent Lot 1A is 10,989 as noted on the preliminary plat map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			<i>Findings</i>	Plat note #9 on Sheet 1 of the preliminary plat specifies the existing zoning of the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			<i>Findings</i>	The preliminary plat shows the locations and lot lines for the master lot and lot lines of condominium units. No new streets or blocks are being proposed with this application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.

			<i>Findings</i>	<i>The plat shows all common area elements within the condominium subdivision. Plat note #6 states, "All areas outside of units that is not designated as limited common is common area."</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat shows all existing and proposed water mains, sanitary sewer mains. Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility, drainage, or right-of-way improvements proposed for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			<i>Findings</i>	<i>This standard does not apply as no new streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			<i>Findings</i>	<i>This standard does not apply as no new drainage canals or structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.15	All percolation tests and/or exploratory pit excavations required by state health authorities.
			<i>Findings</i>	<i>This standard does not apply as no additional tests are required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.16	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			<i>Findings</i>	<i>The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.17	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat includes a vicinity map.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.18	The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.
			<i>Findings</i>	<i>The subject property is not within a floodplain, floodway, or avalanche zone district.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.19	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			<i>Findings</i>	<i>A building envelope is not required as the subject property is not within the floodway, floodplain, or avalanche zone. The subject property is not adjacent to the Big Wood River, Trail Creek or Warm Springs. The subject property does not contain slopes greater than 25% and is not adjacent to an intersection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	Lot area of each lot.
			<i>Findings</i>	<i>The preliminary plat shows the area of the overall lot and the area of each condominium unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.21	Existing mature trees and established shrub masses.
			<i>Findings</i>	<i>The project plans submitted with Design Review Application File No. P22-043 specify that two existing deciduous trees on the property will be removed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			<i>Findings</i>	<i>The applicant submitted a title commitment issued by Stewart Title Guarantee Company, and a warranty deed recorded at Instrument Number 692375 with the preliminary plat application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	Three (3) copies of the preliminary plat shall be filed with the administrator.
			<i>Findings</i>	<i>The City of Ketchum received digital copies of the preliminary plat at the time of application.</i>

FINDINGS REGARDING COMPLIANCE WITH SUBDIVISION DEVELOPMENT & DESIGN STANDARDS

Subdivision Development & Design Standards (Ketchum Municipal Code §16.04.040)				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features

				which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Findings</i>	<i>Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility, drainage, or right-of-way improvements proposed for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
			<i>Findings</i>	<i>This standard is not applicable to the preliminary plat application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.C	Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.
			<i>Findings</i>	<i>This standard is not applicable to the preliminary plat application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of

				improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.
			<i>Findings</i>	<i>This standard is not applicable to the preliminary plat application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			<i>Findings</i>	<i>The applicant shall meet the required monumentation standards prior to recordation of the final plat.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the

				<p>definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <p>a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</p> <p>b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
			<i>Findings</i>	<i>This standard is not applicable as no new lots are created with the condominium subdivision. The development parcel, Lot 1A, is created by Lot Consolidation Subdivision Preliminary Plat Application File No. P22-043A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.

				<p>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</p>
			<i>Findings</i>	<i>This standard is not applicable as no new lots or blocks are proposed with the condominium subdivision preliminary plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land; 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified; 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features; 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods; 5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing; 6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated; 7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;

			<p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p>
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				<p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
			<i>Findings</i>	<i>Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed right-of-way improvements proposed for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	<p>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>
			<i>Findings</i>	<i>Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed right-of-way improvements proposed for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p>

			<p>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</p> <p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p> <p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p> <p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p>
			<p><i>Findings</i></p> <p><i>This standard is not applicable as no easements are proposed or required for this project. The project does not create a new private street. This property is not adjacent to Warm Springs Road. The property does not border a watercourse, drainage way, channel, or stream.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>16.04.040.K</p> <p>Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider.</p>

				<p>Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			<i>Findings</i>	<p><i>Sheets CO.1, CO.2, CO.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility improvements for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	<p>Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.</p>
			<i>Findings</i>	<p><i>Sheets CO.1, CO.2, CO.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility improvements for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	<p>Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways,</p>

				<p>railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.</p>
			<i>Findings</i>	<i>This standard does not apply as this application does not create a new subdivision. There are no incompatible uses adjacent to the proposed condominium subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	<p>Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <ol style="list-style-type: none"> 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application. 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> a. Proposed contours at a maximum of five foot (5') contour intervals. b. Cut and fill banks in pad elevations. c. Drainage patterns. d. Areas where trees and/or natural vegetation will be preserved. e. Location of all street and utility improvements including driveways to building envelopes. f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements. 3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. 4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision. 5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such

			<p>revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods). c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability. d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope. e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.
			<p><i>Findings</i></p> <p><i>This standard does not apply as this application does not create a new subdivision. There are no incompatible uses adjacent to the proposed condominium subdivision.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>16.04.040.O</p> <p>Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets,</p>

				driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
			<i>Findings</i>	<i>Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed drainage improvements for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			<i>Findings</i>	<i>Sheets C0.1, C0.2, C0.9, and C1.0 of the project plans submitted with Design Review Application File No. P22-043 show the proposed utility improvements for the project. The construction design plans will be submitted with the building permit application for the mixed-use development for review and approval by City Departments, including the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			<i>Findings</i>	<i>The proposed condominium development does not create substantial additional traffic; therefore, no off-site improvements are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			<i>Findings</i>	<i>N/A as this property is not located within the Avalanche Zone or Mountain Overlay.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.

			<i>Findings</i>	<i>The project plans submitted with Design Review Application File No. P22-043 indicate that two existing deciduous trees will be removed from the site.</i>
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FINDINGS REGARDING COMPLIANCE WITH CONDOMINIUM PLAT REQUIREMENTS

Condominium Plat Requirements (Ketchum Municipal Code §16.04.070)

Compliant			City Code	Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.B	The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space.
			<i>Findings</i>	<i>The applicant provided a draft copy of the articles of incorporation, bylaws, and declarations with the application submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.D	All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.
			<i>Findings</i>	<i>As shown on Sheet 2 of the preliminary plat, the garage units are designated as limited common elements and specifically referenced to a unit number.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.E	Adequate storage areas shall be provided for boats, campers and trailers, as well as adequate interior storage space for personal property of the resident of each condominium unit.
			<i>Findings</i>	<i>As shown on Sheet 2 of the preliminary plat, the unit sizes facilitate the storage of personal property within the units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.F	A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.
			<i>Findings</i>	<i>The storage of maintenance equipment and supplies is accommodated in the common area shown on the second floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.G	The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.
			<i>Findings</i>	<i>Condominium units 201, 202, 301, 302, and 401 have access to private balconies and decks. The building also provides common area along the street frontage for use by building residents and the public.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.H	All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions.
			<i>Findings</i>	<i>The project has been reviewed for compliance with all other section of the subdivision standards. The project is in compliance as discussed above.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s CondominiumSubdivision Preliminary Plat application for the development and use of the project site.
2. The Commission has authority to review and approve the applicant’s Condominium Subdivision Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §16.04.030.
4. The Condominium Subdivision Preliminary Plat application is governed under Chapter 16.04 of Ketchum Municipal Code.
5. The 4th & Main Mixed-Use Development Condominium Subdivision Preliminary Plat application meets all applicable standards specified in Title 16 of Ketchum Municipal Code.

DECISION

THEREFORE, the Commission **approves** this Condominium Subdivision Preliminary Plat Application File No. P22-043B this Tuesday, February 14, 2023 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. The condominium subdivision preliminary plat is subject to all conditions of approval associated with Design Review Application File No. P22-043.
2. Failure to record a Final Plat within two (2) years of Council's approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.
3. Prior to forwarding the preliminary plat application to Ketchum City Council for final review and approval, the Applicant shall designate Units 101 and 102 as community housing units on the preliminary plat and add a plat note to reference the instrument numbers for the deed restriction and FAR Exceedance Agreement on the preliminary plat.

Findings of Fact **adopted** this 28th day of February 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 28, 2023

PROJECT: The 208 Condos

FILE NUMBER: P22-035 and P22-035A

APPLICATION TYPE: Final Design Review and Subdivision – Condominium Preliminary Plat

APPLICANT: Nicole Ramey, Medici Architects (Architect)

PROPERTY OWNER: 755 S Broadway, LLC

REQUEST: Final Design Review and Condominium Preliminary Plat application for the development of a new, 10,856 square foot, three-story mixed-use building

LOCATION: 200 N Leadville Avenue - Ketchum Townsite: Block 23: Lot 1

ZONING: Community Core – Subdistrict 2 – Mixed Use (CC-2)

REVIEWER: Morgan R. Landers, AICP – Senior Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on November 7, 2022. The public hearing notice was published in the Idaho Mountain Express on November 9, 2022. A notice was posted on the project site and the city’s website on November 7, 2022. Story poles were verified on the subject property on November 22, 2022. The project was heard at the November 29, 2022 meeting of the Planning and Zoning Commission (the “Commission”) and continued to a special meeting on December 20, 2022. The project was heard again on December 20, 2023, and continued to the January 10, 2023 meeting of the Commission. The applicant, citing the need for additional time to respond to Commission’s comments, requested the January 10, 2023 hearing be continued to the February 28, 2023 meeting of the Commission. No information was presented or reviewed at the January 10, 2023 meeting and no public comment was taken.

I. EXECUTIVE SUMMARY:

As noted above, the Commission has reviewed the proposed application two previous times. Once at their November 29, 2022 hearing and again on December 20, 2022. Staff and Commission comments at the November 29, 2022 hearing were addressed by the applicant at the December 20, 2022 hearing with the exception of the north façade wall. The Commission discussed design review criteria related to the bulk and flatness of the building and commented that the bulk and flatness of the north façade wall was significant and that additional articulation should be considered. The Commission requested the applicant evaluate stepping back the third floor and applying varied materials and architectural detailing to achieve a reduced bulk and

flatness. The Commission also requested a 3D model/rendering of what the building will look like in context with the surrounding neighborhood.

The applicant has provided a revised development proposal included as (Attachment A). The applicant has indicated that the 3D model/rendering will be provided during the applicant presentation portion of the meeting. The following changes are proposed:

- The third floor is stepped back on the Leadville Ave side approximately 4 feet from the ground floor façade wall for a total of 6 feet 10 inches from the property line on Leadville Ave.
- The third-floor deck has been extended to the north end of the building
- The building has been pulled away from the north property line 7 inches to allow for additional brick detailing and architectural treatments on the north façade including a wrap of the dark wood paneling on the ground floor and bricked in windows on the upper floors
- The parapet wall on the rear portion of the building has been raised 1 foot 4 inches to accommodate an elevator tower on the alley side of the building
- A metal railing has been added to the east end of the façade along 2nd Street
- A wall trellis on the north façade has been added to facilitate climbing vines from the ground floor to the rooftop deck

Staff recommends the Commission review the proposed changes to determine if the Commission's concerns and requests have been addressed satisfactorily.

II. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Per Ketchum Municipal Code (KMC) §17.96.010.A – *Applicability*, design review is required for all new mixed-use buildings. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Criteria #1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city's vision. The 2014 Comprehensive Plan designates the future land use for the subject property as "mixed-use commercial" where, according to the plan, "New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street." Primary uses include offices, medical facilities, health/wellness-related services, recreation, government, residential, and services.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style." The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

Staff believes the project meets many of the goals and policies of the plan. The project proposes a variety of sizes of residential units and provides desirable retail square footage on the ground floor. The project is set back from the property line on both the Leadville Ave and 2nd Street sides, with awnings that invite and protect pedestrians. Benches at the corner and thoughtful landscape elements create common public space that engages with the uses in the building and the adjacent sidewalk. The Commission has expressed concerns related to the project's context with the neighborhood and adjacent development. As further discussed below, the bulk and flatness of the north façade is the most concerning aspect of the development. If the Commission

determines that the revisions to the building effectively reduce the bulk and flatness of the building, the project could be found to conform to Policy CD-1.3 of the comprehensive plan.

Criteria #2: Applicable Standards and Criteria

Conformance with Zoning Regulations

The proposed changes do not impact the project’s conformance with the zoning regulations, including dimensional standards, applicable to the project. The project remains in conformance with all zoning requirements.

Conformance with Design Review Improvements and Standards

Staff believes that most design review criteria are met with the proposed project, particularly as it relates to the changes made between the November 29th and December 20th hearings. Based on discussions at the December 20th hearing, the remaining concern for the Commission is design review criteria 17.96.060.F.5, which outlines that “Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness”. Staff believes that many of the changes proposed are a positive improvement from what was proposed at the December 20th hearing. The applicant has revised the plan set to show the existing adjacent trees for context. The applicant has not provided the 3D model/rendering of the surrounding buildings as requested by the Commission as part of the plan set, however, the model will be presented at the hearing for consideration. Sheet A4.4 shows the north façade elevation with the trellis, more articulated brick detailing, bricked in windows, and wood treatment that wraps the corner at the ground floor. It also shows the step back of the third floor from the front façade. No step backs of the third floor have been made on the sides or the rear of the building. Sheet A4.3 shows the same elevation but with the existing vegetation.

The renderings on Sheet A4.5 show how the step back of the third floor changes the appearance of the building. For comparison, Figures 1 and 2 below show comparison renderings between the December 20th proposal and what is proposed today.

Figure 1: Corner Rendering of 2nd and Leadville Comparison (December 20th on Left)



Figure 2: Corner Rendering of Leadville Ave Comparison (December 20th on Left)



The revised renderings depict what exists today with vegetation on adjacent properties. For reference, Sheet A4.4 shows what the elevation would look like if the vegetation did not exist.

III. STAFF RECOMMENDATION

Staff requests the Commission review the Design Review application and provided feedback to the applicant on the proposed revisions.

ATTACHMENTS:

- A. Application Materials – Revised Design Review Plan Set



City of Ketchum

ATTACHMENT A:

Application Materials – Revised Design Review Plan Set

THE 208



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

ZONING REQUIREMENTS

JURISDICTION: CITY OF KETCHUM, ID

ZONING: CC COMMUNITY CORE, SUBDISTRICT 2-MIXED USE

PARCEL ASSESSOR'S #: RPK00000230010

LOT SIZE: 5,504 SF = 0.13 ACRE

LEGAL DESCRIPTION:

LOT 1, BLOCK 23 OF THE VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 302967, RECORDS OF BLAINE COUNTY, IDAHO.

MAXIMUMS:

MAX. FAR: 2.25 WITH INCLUSIONARY HOUSING INCENTIVE
REFER TO SHEET A0.3
MAX. BUILDING COVERAGE: 75% (SF)
MAX. HEIGHT: 42' ABOVE ABE

SETBACKS:

-FRONT AND STREET SIDE 5' AVERAGE
-ADJACENT TO ALLEYWAY 3'
-NON-HABITABLE STRUCTURES LOCATED ON BUILDING ROOF-TOPS 10'

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF KETCHUM.

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL FIRE CODE
- INCLUDING AMENDMENTS PER KETCHUM ORDINANCE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- INCLUDING AMENDMENTS BY THE IDAHO BUILDING CODE BOARD
- 2018 INTERNATIONAL FIRE CODE (IFC)
- INCLUDING ADMENDMENTS PER KETCHUM ORDINANCE
- 2018 CITY OF KETCHUM MUNICIPAL CODE
- INCLUDING KETCHUM GREEN BUILDING CODE
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 NATIONAL ELECTRIC CODE (NEC)
- 2018 IDAHO STATE PLUMBING CODE (ISPC)

ACCESSIBLE UNITS

PROJECT CONTAINS (4) UNITS TOTAL:
(3)TYPE B UNITS PROVIDED, PER IBC CHAPTER 11

PARKING:

RETAIL: EXEMPT LESS THAN 5,500 SF 0 SPACES
RESIDENTIAL: 4 SPACES

DESIGN REVIEW APPLICATION REQUIREMENTS

TITLE 17 - CHAPTER 17.96 DESIGN REVIEW:

17.96.040.C.2.f. FLOOR PLAN. LIST GROSS AND NET SQUARE FOOTAGE FOR EACH FLOOR. LIST OCCUPANCY CLASSIFICATION AND TYPE OF CONSTRUCTION.

OCCUPANCY CLASSIFICATION:

M- MERCANTILE (RETAIL AREAS)
R-2 RESIDENTIAL
S-2 PARKING AREAS

TYPE OF CONSTRUCTION:

V-B

NOTE: METHOD FOR MEASURING FLOOR AREA (GROSS) PER CHAPTER 17.08 DEFINITIONS:
THE SUM OF HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SF IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

NOTE: METHOD FOR MEASURING FLOOR AREA (NET) PER CHAPTER 17.08 DEFINITIONS:
THE SUM OF HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

PROJECT DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION OF MIXED USE AND COMMERCIAL BUILDING

OWNER: MICHAEL CARR
2667 SOUTH TACOMA WAY
TACOMA, WA 98409
P: 206.423.3121
E: MIKEC@PERFORMANCERADIATOR.COM

ARCHITECT: MEDICI ARCHITECTS
200 WEST RIVER STREET #301
KETCHUM, ID 83340
P: 208.726.0194
E: EMILY@MEDICIARCHITECTS.COM

DESIGNER: EXECUTIVE DESIGN SERVICES
SHERMAN, JONATHAN
FRIDAY HARBOR, WA 98250
P: 206.383.4526
E: JONATHANDESIGN007@GMAIL.COM

CIVIL ENGINEER: GALENA ENGINEERING, INC
317 N. RIVER STREET
HAILEY, IDAHO 83333
P: 208.788.1705
E: GALENA@GALENA-ENGINEERING.COM

LANDSCAPE ARCHITECT: LYON LANDSCAPE ARCHITECTS
126 SOUTH MAIN STREET, SUITE B1
HAILEY, IDAHO 83333
P: 253.209.4053
E: MOGHAN@LYONLA.COM

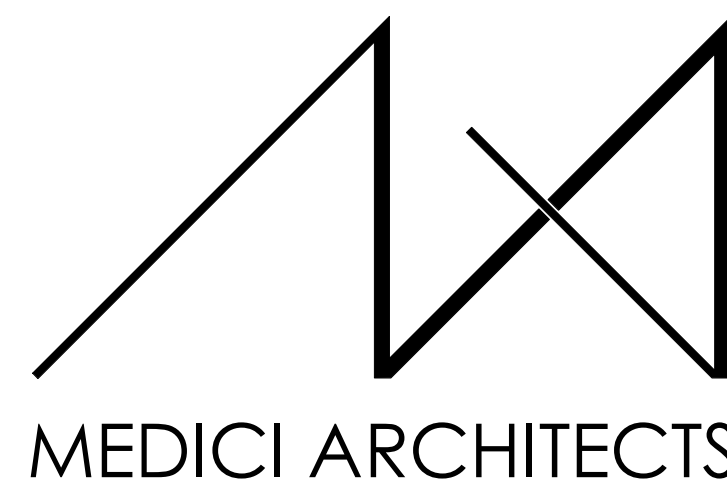
GENERAL CONTRACTOR: CONRAD BROTHERS
105 LEWIS ST SUITE 101
KETCHUM, IDAHO 83340
P: 208.309.1200
E: PAUL@CONRADBROTHERSCONSTRUCTION.COM

ELECTRICAL ENGINEER: ABOSSEIN ENGINEERING
18465 NE 68TH STREET #22
REDMOND, WA 98052
P: 425.462.9441
E: CSERVICE@ABOSSEIN.COM

CITY OF KETCHUM LIGHTING CONSULTANT: THE MH COMPANIES
2995 N COLE RD SUITE 115
BOISE, IDAHO 83704
P: 208.609.3722
E: CARSON@MHLIGHTING.COM



VICINITY MAP
1/4" = 1'-0"



11661 SE 1ST STREET, SUITE 200
BELLEVUE, WASHINGTON 98005
TEL: (425) 453-9298
FAX: (425) 452-8448

REGISTRATION:

LICENSED ARCHITECT
AR 985993
PRELIMINARY
NICOLE C. RAMEY
(STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK00000230010

SYMBOL LEGEND

(A)	GRID LINES	EXISTING WALL
(1)	PROJECT BASE POINT	EXISTING WALL TO DEMO
(2)	REFERENCE ELEVATION POINT	2X WALLS
(3)	PROPERTY CORNER	FOUNDATION WALL
(4)	PROPERTY LINE	CONCRETE SURFACE
(5)	CENTER LINE	CAST IN PLACE CONCRETE
(6)	TOP OF WALL ELEVATION	STRUCTURAL POST - SIZE AND TYPE PER STRUCTURAL PLAN
(7)	PROPERTY LINE TAG	GAS OUTLET
(8)	SECTIONS FOUND ON SHEET A101	GAS METER
(9)	DETAIL SECTION FOUND ON SHEET A101	HOSE BIB
(10)	INTERIOR ELEVATION FOUND ON SHEET A1.0	DOWNSPOUT
(11)	EXIT DIRECTION	METER
(12)	SMOKE DETECTOR	ELECTRICAL METER
(13)	SMOKE & CARBON MONOXIDE DETECTOR	ELECTRICAL PANEL
(14)	DOOR TAG NUMBER	UNDISTURBED EARTH
(15)	DOOR SIZE	COMPACTED FILL
(16)	WINDOWS TAG NUMBER	GRAVEL
(17)	WHOLE HOUSE FAN CONTROL	RIGID OR SPRAY INSULATION
(18)		BIBS BLOW-IN INSULATION
(19)		STONE
(20)		BATT INSULATION
(21)		EXHAUST FAN
(22)		VENT TO OUTSIDE
(23)		WATER METER
(24)		STEP DOWN / ELEVATION CHANGE
(25)		KEY NOTES

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	PICT	PICTURE
A/C	AIR CONDITIONING	PLAM	PLASTIC LAMINATE
AHU	AIR HANDLING UNIT	PSF	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	PL	PROPERTY LINE
ANOD	ANODIZED	PNA	PROTECTED NATURAL AREA
BSMT	BASEMENT	QTY	QUANTITY
BLK	BLOCK	REF	REFRIGERATOR
BS	BOTH SIDES	REQD	REQUIRED
BLDG	BUILDING	REV	REVISION
CAB	CABINET	R	RISER
CB	CATCH BASIN	RM	ROOM
CLG	CEILING	RO	ROUGH OPENING
CLR	CLEAR	SG	SAFETY GLASS
CL	CLOSET	SM	SMILAR
CONC	CONCRETE	SH	SINGLE HUNG
CMU	CONCRETE MASONRY UNIT	SOG	SLAB ON GRADE
CONT	CONTINUOUS	SPEC	SPECIFICATION
CJ	CONTROL JOINT	SF	SQUARE FOOT
CPT	CARPET	SS	STAINLESS STEEL
CSMT	CASSEMENT	STD	STANDARD
CF	CUBIC FOOT	STL	STEEL
DIA	DIAMETER	STOR	STORAGE
DBH	DIAMETER BREST HEIGHT	S2	STORM DRAIN
DIM	DIMENSION	SUP	SUPPLEMENTAL
DW	DISHWASHER	TV	TELEVISION
DH	DOUBLE HUNG	TEMP	TEMPORARY
DN	DOWN	TP	TOILET PAPER DISPENSER
DS	DOWNSPOUT	T&G	TONGUE & GROOVE
D	DRYER	TO	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TB	TOWEL BAR
EP	ELECTRICAL PANEL	T	TREAD
ELEV	ELEVATOR	TPZ	TREE PROTECTION ZONE
EQ	EQUAL	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
EXIST	EXISTING	VB	VAPOR BARRIER
FFE	FINISH FLOOR ELEVATION	VTOS	VENT TO OUTSIDE
FRD	FIRE RATE DOOR	VF	VERIFY IN FIELD
FRW	FIRE RATE WINDOW	VERT	VERTICAL
FXD	FIXED	VC	VERTICAL GRAIN
FXT	FIXTURE	WC	WATER CLOSET
FAR	FLOOR AREA RATIO	WH	WATER HEATER
FTG	FOOTING	WRB	WATER RESISTANT BARRIER
FAU	FORCED AIR UNIT	W	WASHER
FDN	FOUNDATION	WHF	WHOLE HOUSE FAN
FURN	FURNACE	W	WINDOW
GFA	GROSS FLOOR AREA	WI	WITH
HDWD	HARDWOOD	W/O	WITHOUT
HOR	HEADER	WP	WATER PROOFING
HVAC	HEATING, VENTILATION & A/C	YD	YARD
HT	HEIGHT		
HRZ	HORIZONTAL		
HR	HOUR		
INCL	INCLUDE (ED/ING)		
INT	INTERIOR		
LED	LIGHT EMITTING DIODE		
LOD	LIMIT OF DISTURBANCE		
LF	LINEAR FEET		
MANUF	MANUFACTURER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
PERF	PERFORATED		

DRAWING NAME:

TITLE SHEET

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A0.0

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

SITE PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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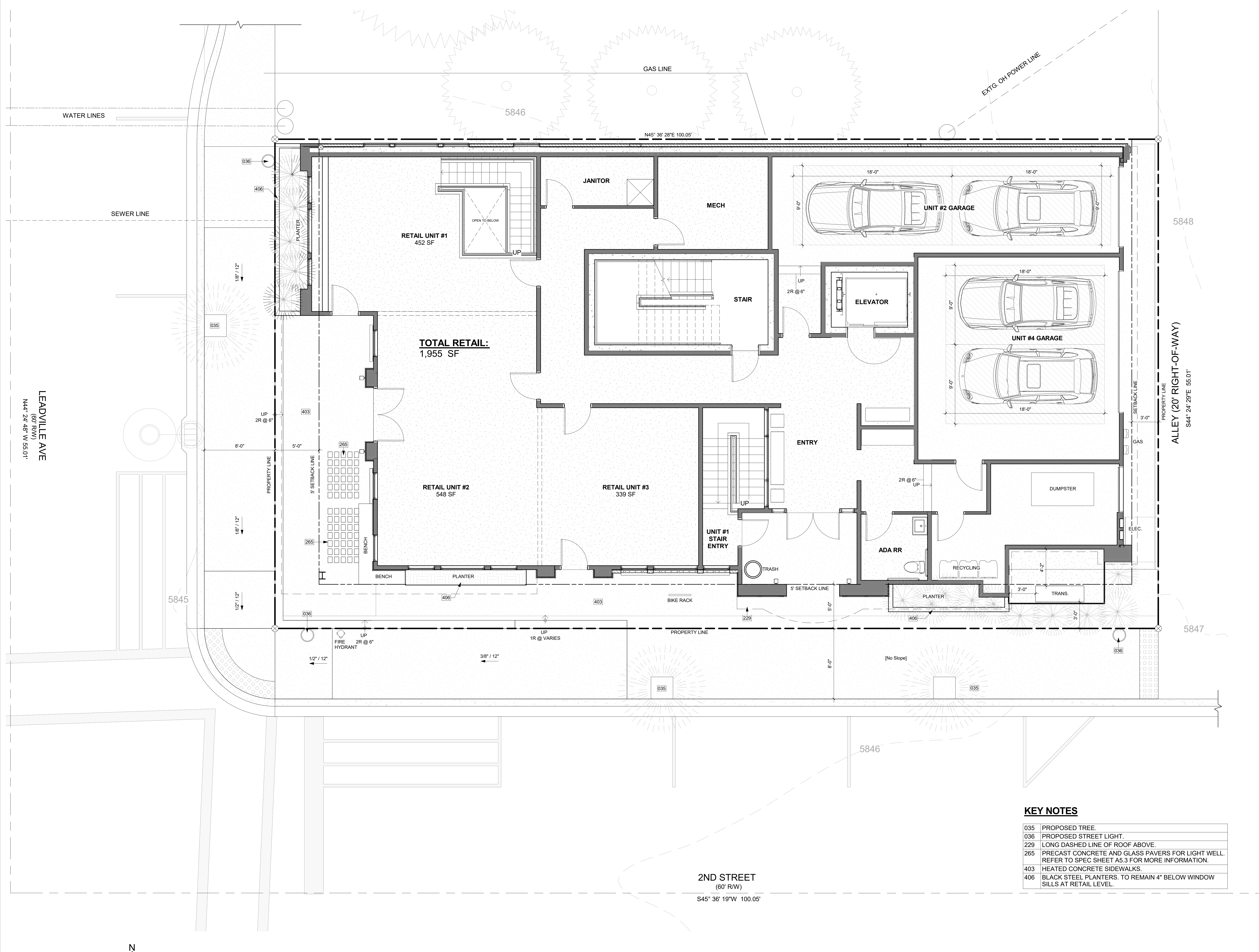
PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

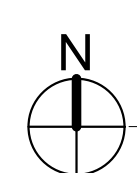
A0.1

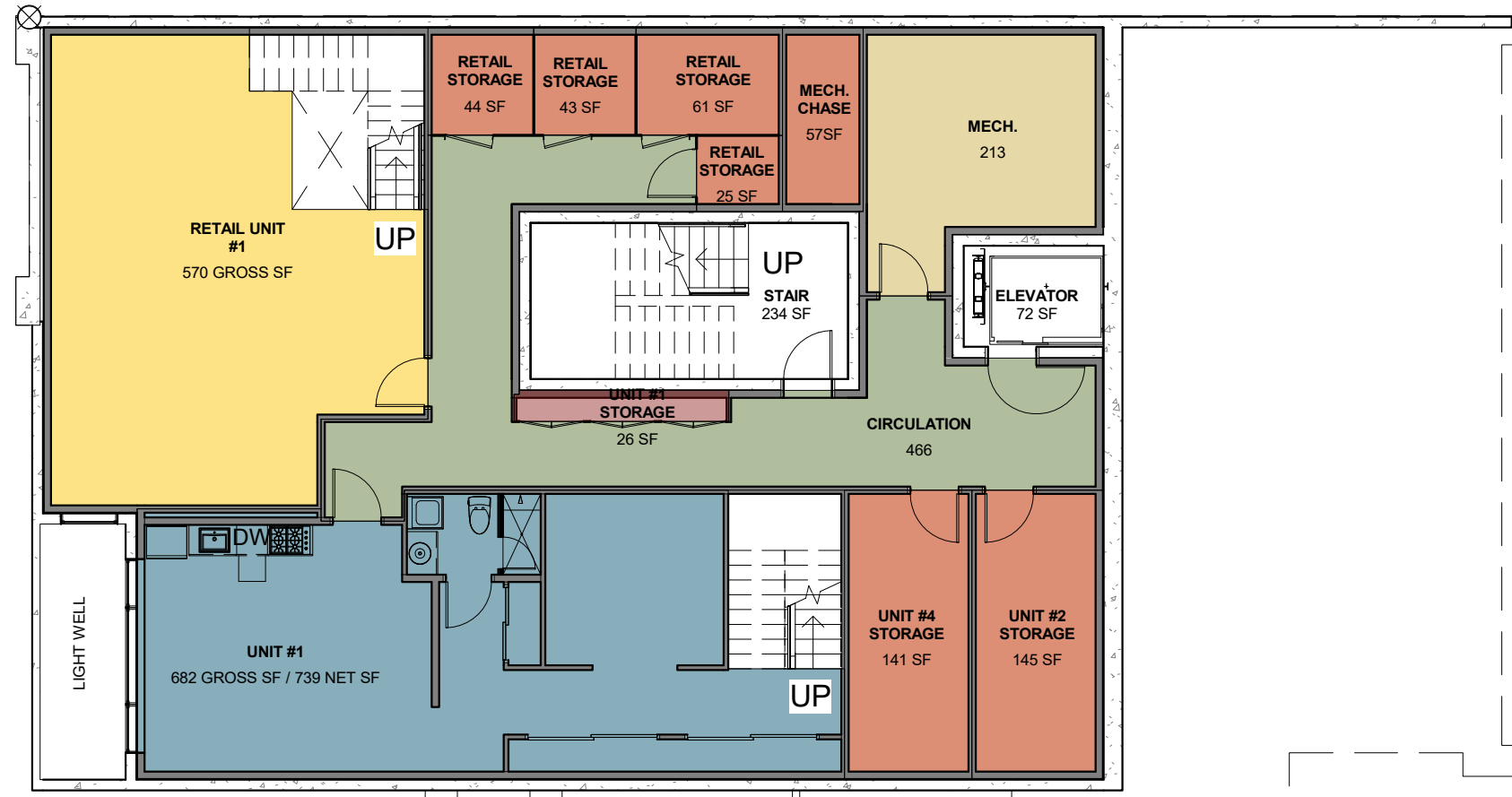
SITE PLAN 1
 1/4" = 1'-0"



KEY NOTES

- 035 PROPOSED TREE.
- 036 PROPOSED STREET LIGHT.
- 229 LONG DASHED LINE OF ROOF ABOVE.
- 265 PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
- 403 HEATED CONCRETE SIDEWALKS.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

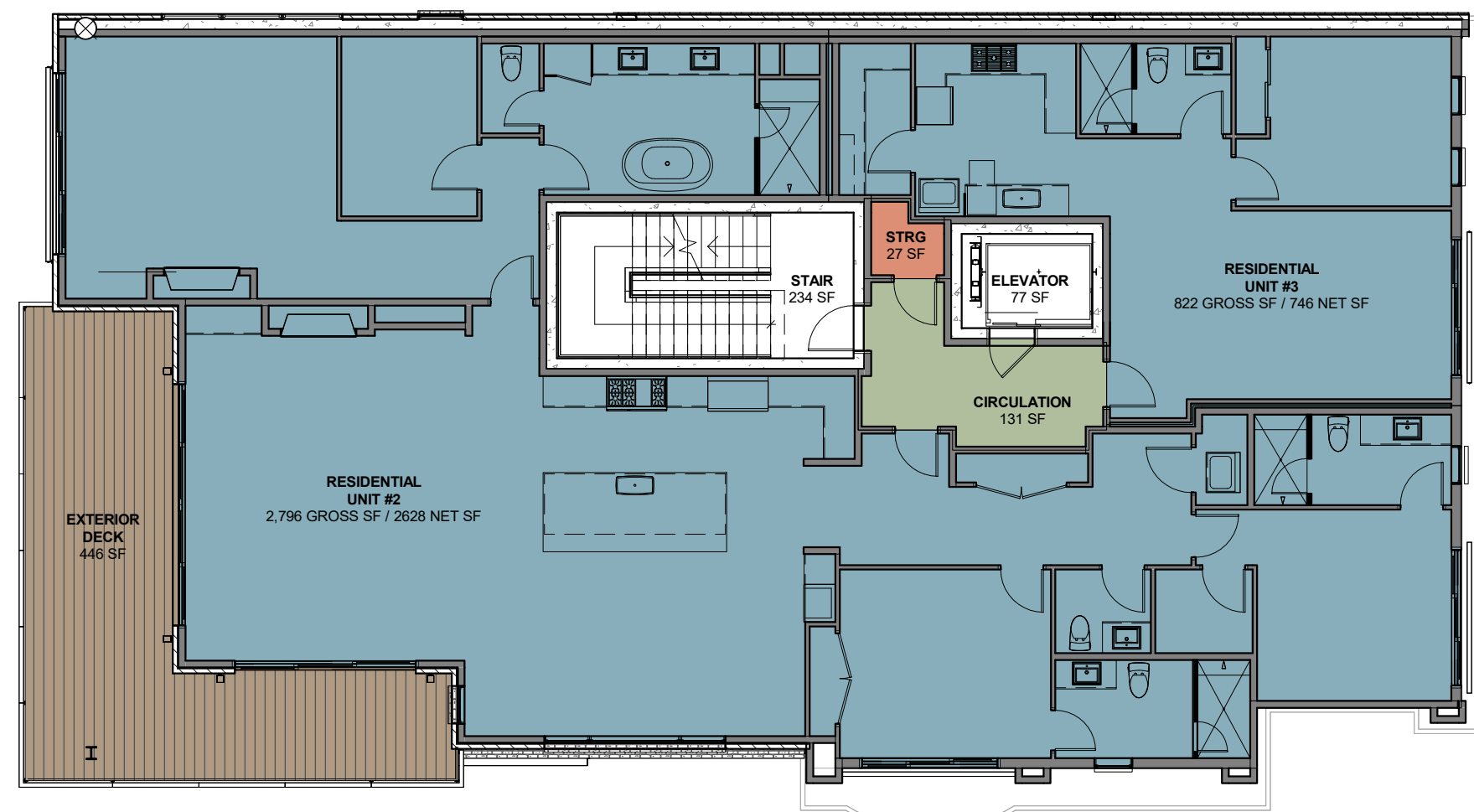




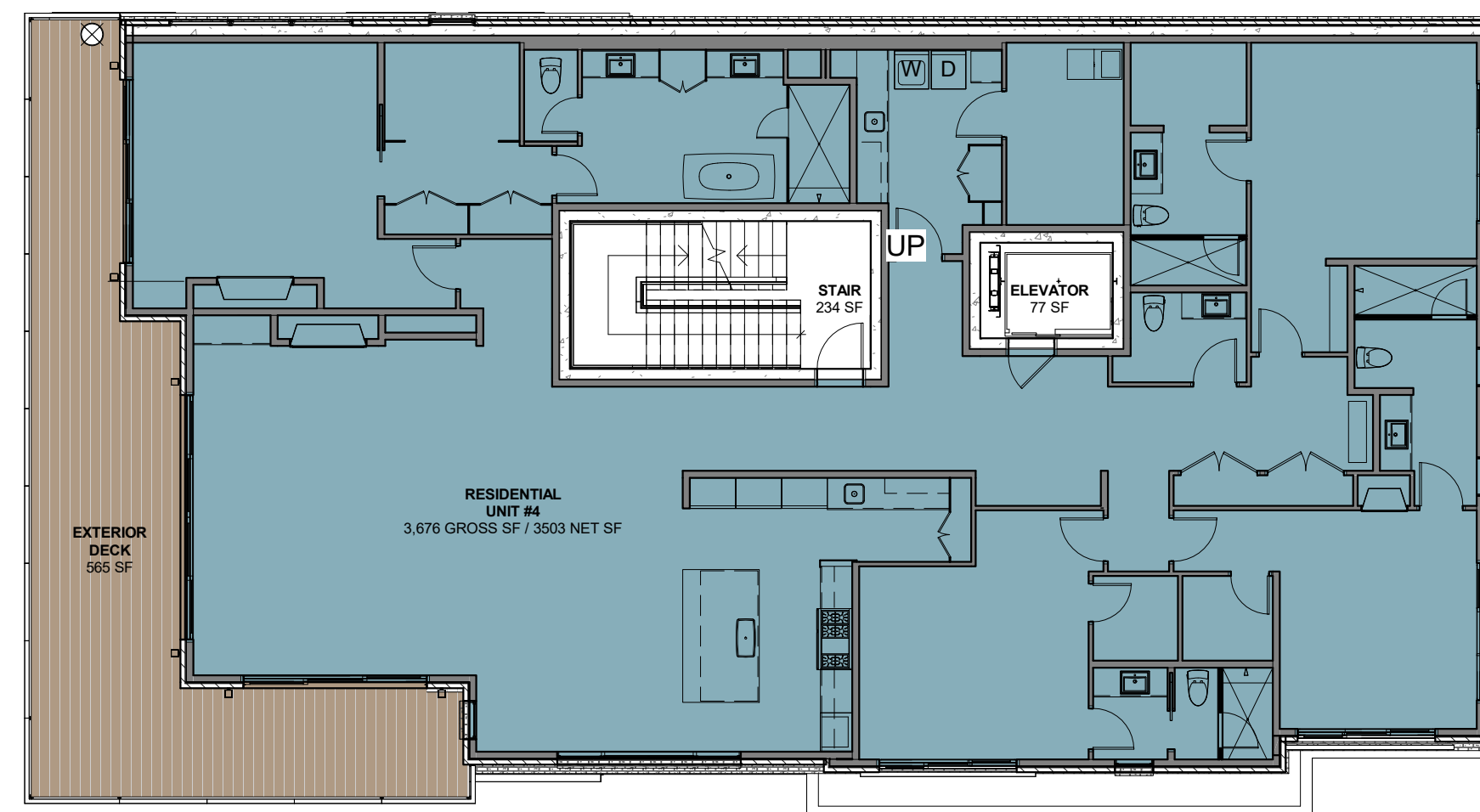
LOWER LEVEL PLAN
3/32" = 1'-0"



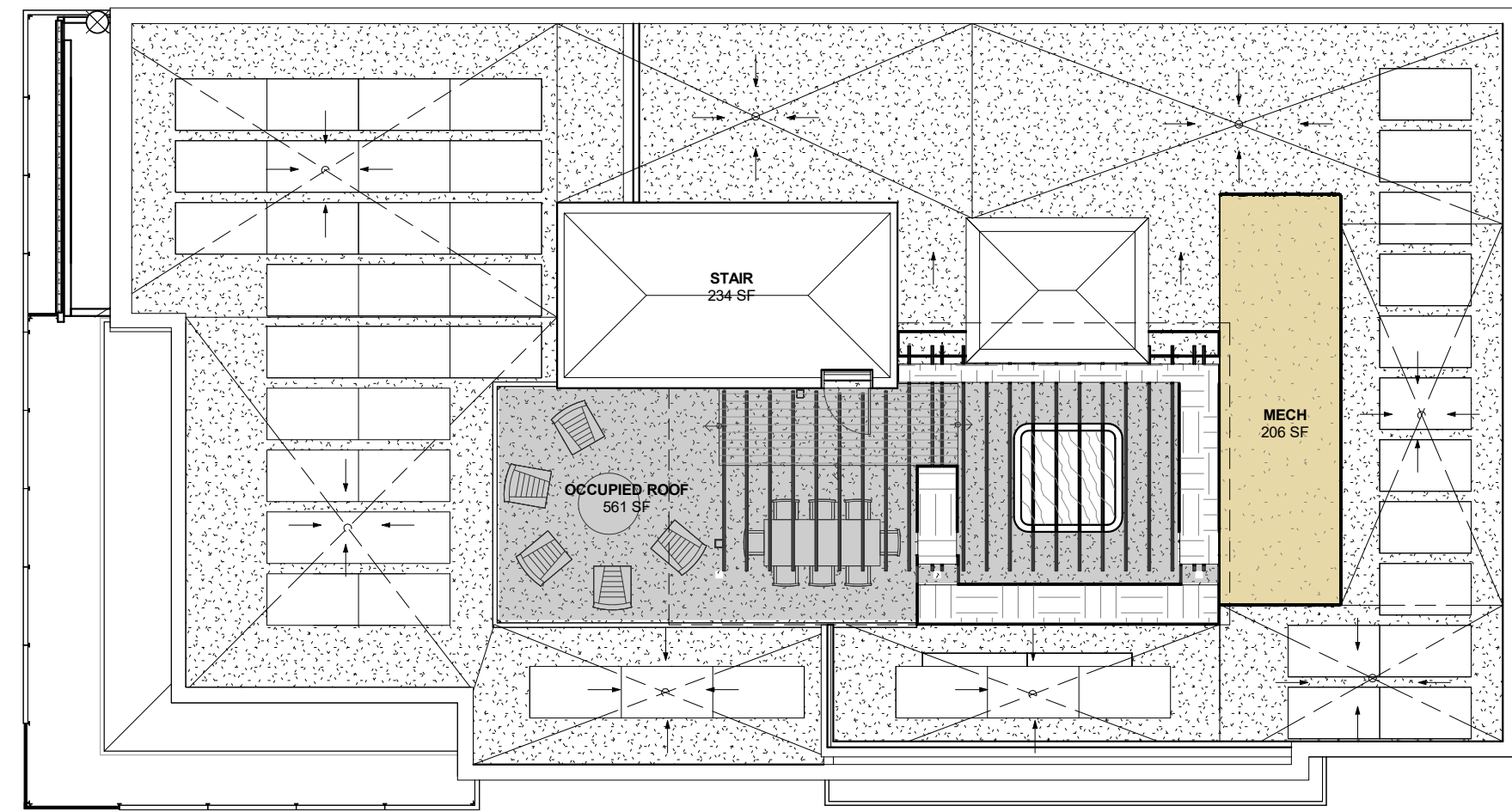
1ST FLOOR PLAN
3/32" = 1'-0"



2ND FLOOR PLAN
3/32" = 1'-0"



3RD FLOOR PLAN
3/32" = 1'-0"



ROOF PLAN
3/32" = 1'-0"

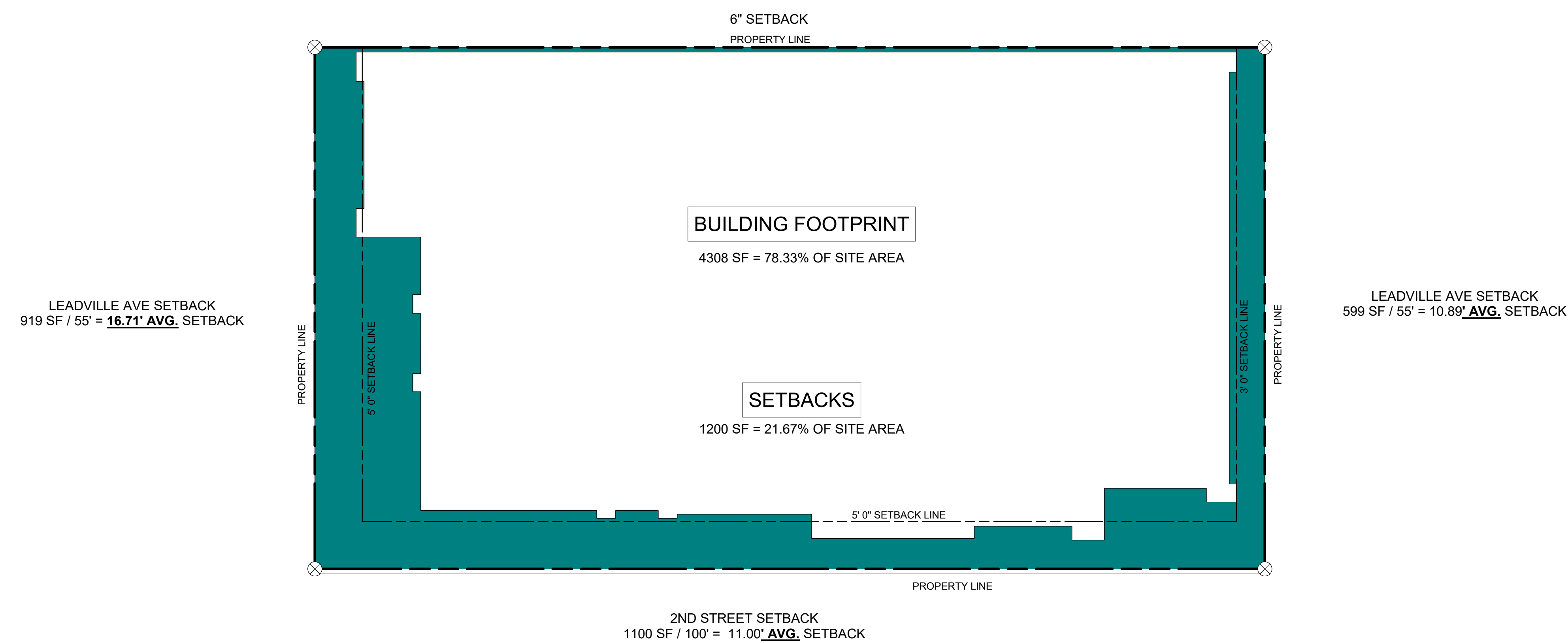
FLOOR AREA LEGEND	
	STORAGE AREA
	RESIDENTIAL PARKING
	RESIDENTIAL AREA
	EXTERIOR AMENITY AREA
	MECHANICAL / FIRE
	COMMERCIAL AREA
	CIRCULATION
	VERTICAL CIRCULATION

DESIGN REVIEW APPLICATION REQUIREMENTS

BUILDING AREA SQUARE FOOTAGES				
FLOOR PLAN	AREA USE	GROSS AREA SF	NET AREA SF	EXCLUDED AREA SF
LOWER LEVEL	RESIDENTIAL UNIT #1	682 SF	639 SF	682 SF
	STORAGE UNIT #4	141 SF		141 SF
	STORAGE UNIT #1	26 SF		26 SF
	STORAGE UNIT #2	145 SF		145 SF
	RETAIL UNIT #1	570 SF		570 SF
	MECH / FIRE RISER ROOM	213 SF		213 SF
	CIRCULATION	466 SF		466 SF
	STAIR	234 SF		234 SF
TOTALS:		2549 SF	639 SF	2549 SF
1ST FLOOR	RETAIL UNIT #1	380 SF	0 SF	665 SF
	RETAIL UNIT #1 STAIR	121 SF		
	ATRIUM (50% over 18')	34 SF		
	RETAIL UNIT #2	544 SF		
	RETAIL UNIT #3	341 SF		
	RESTROOM	67 SF		
	RESIDENTIAL UNIT#1 STAIR	33 SF		
	RESIDENTIAL PARKING	530 SF		
	RESIDENTIAL PARKING	552 SF		
	JANITOR	74 SF		
	MECHANICAL	148 SF		
	CIRCULATION	682 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
TRASH ROOM	220 SF			
TOTALS:	4069 SF	0 SF	665 SF	
2ND FLOOR	RESIDENTIAL UNIT #2	2796 SF	3374 SF	757 SF
	RESIDENTIAL UNIT #3	822 SF		
	STORAGE	27 SF		
	EXTERIOR DECK	446 SF		
	CIRCULATION	131 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
TOTALS:	4533 SF	3374 SF	757 SF	
3RD FLOOR	RESIDENTIAL UNIT #4	3676 SF	3503 SF	876 SF
	EXTERIOR DECK	565 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
TOTALS:	4552 SF	3503 SF	876 SF	
ROOF DECK	OCCUPIED ROOF	561 SF	0 SF	1001 SF
	MECHANICAL	206 SF		
	STAIR	234 SF		
TOTALS:	1001 SF	0 SF	1001 SF	
TOTAL BUILDING:		16,704 SF	7516 SF	5,848 SF

	GROSS AREA SF	NET AREA SF	EXCLUDED AREA SF
TOTAL BUILDING:	16,704 SF	7516 SF	5,848 SF

	GROSS AREA SF	SITE AREA SF	FAR
FAR:	10,856 SF	5504 SF	1.97



FIRST FLOOR AVERAGE SETBACK DIAGRAM
1/8" = 1'-0"



11661 SE 1ST STREET, SUITE 200
BELLEVUE, WASHINGTON 98005
TEL: (425) 453-9298
FAX: (425) 452-8448

REGISTRATION:

LICENSED ARCHITECT
AR 985993
PRELIMINARY
NICOLE C. RAMEY
(STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

NO.	DESCRIPTION	DATE

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK0000230010

DRAWING NAME:

DESIGN REVIEW FLOOR
AREA DIAGRAM

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A0.3

PLOT SCALE: 1:1

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

LOWER LEVEL PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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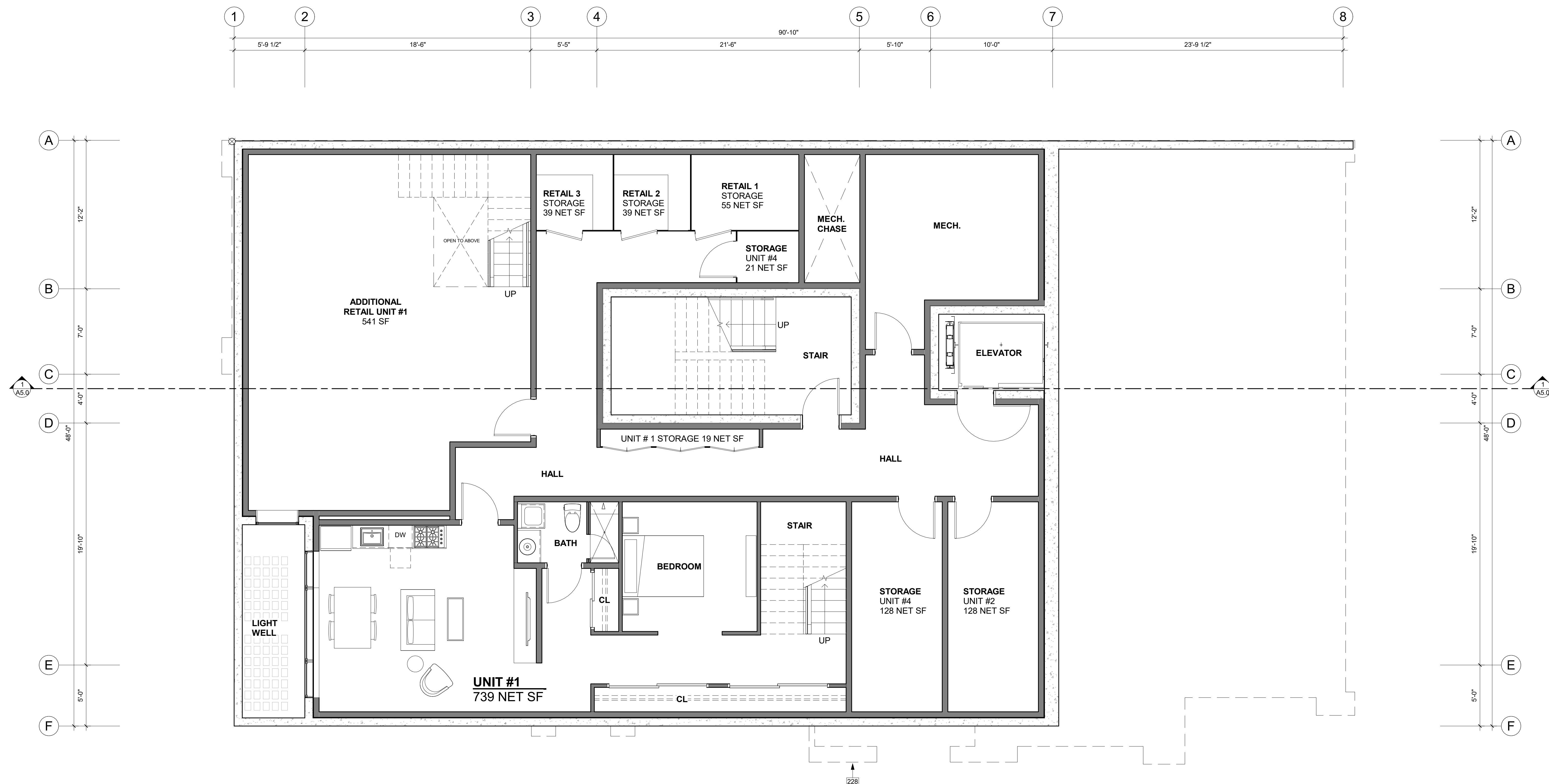
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PROJECT No.: A21-198

DATE: 2/22/2023

A2.0

PLOT SCALE: 1:1



LOWER LEVEL PLAN
 1/4" = 1'-0" 1

KEY NOTES

228 DASHED LINE OF BUILDING ABOVE.

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

1ST FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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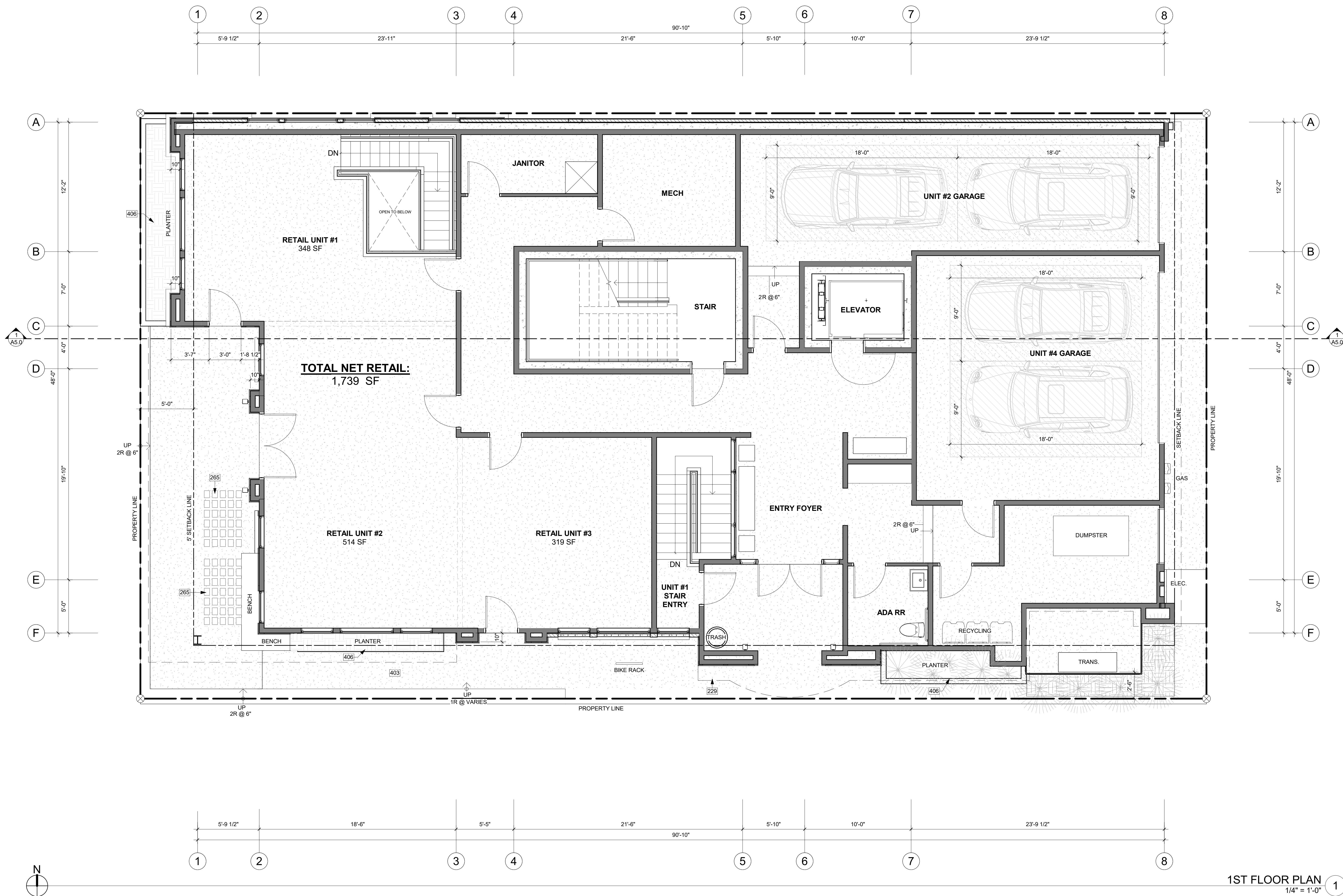
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.1

PLOT SCALE: 1:1



KEY NOTES

- 229 LONG DASHED LINE OF ROOF ABOVE.
- 265 PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
- 403 HEATED CONCRETE SIDEWALKS.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

REGISTRATION:

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PRELIMINARY
 NICOLE C. RAMEY
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INTAKE DATE: 02/22/23

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

2ND FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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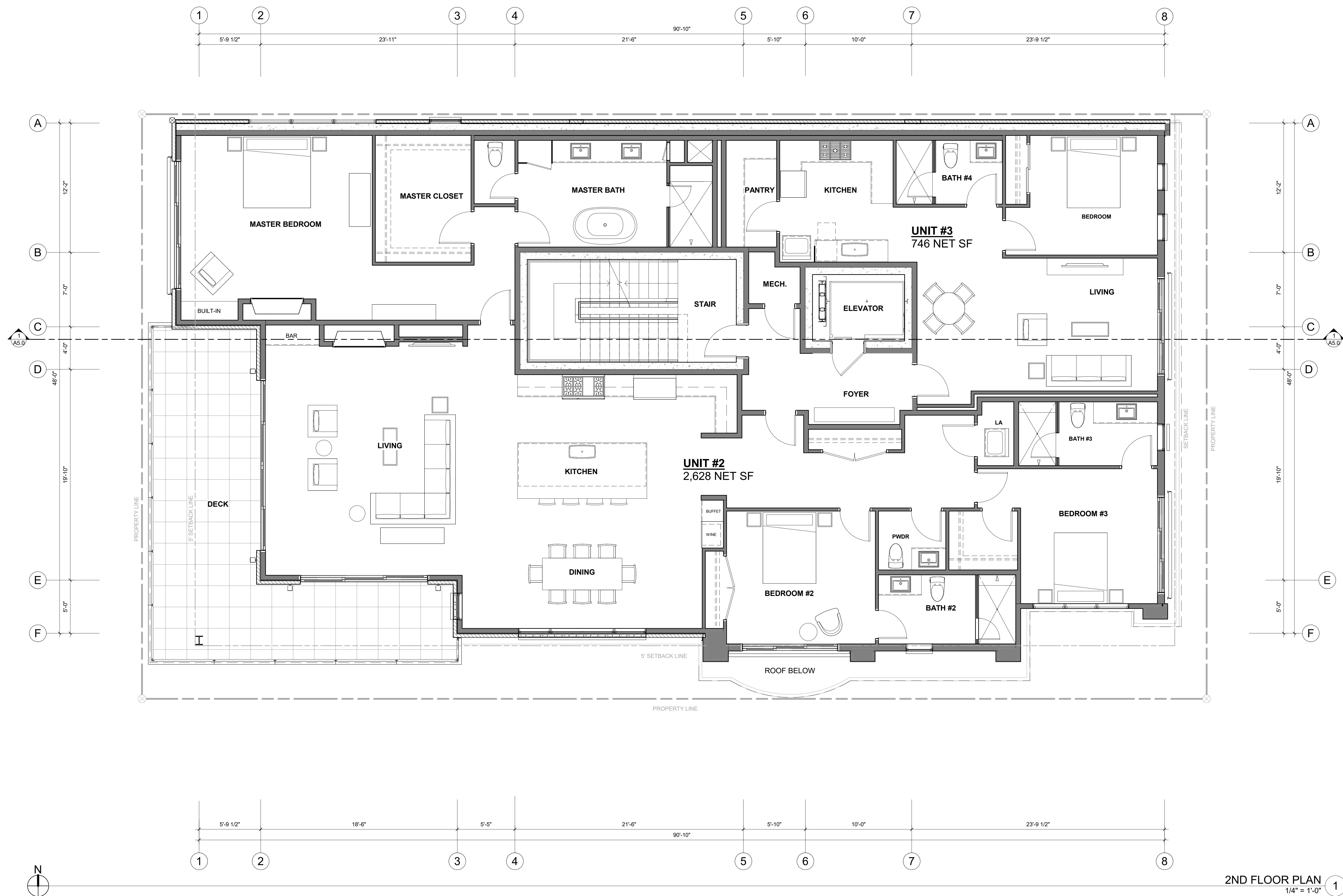
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.2

PLOT SCALE: 1:1



2ND FLOOR PLAN
 1/4" = 1'-0" 1

REGISTRATION:

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 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

3RD FLOOR PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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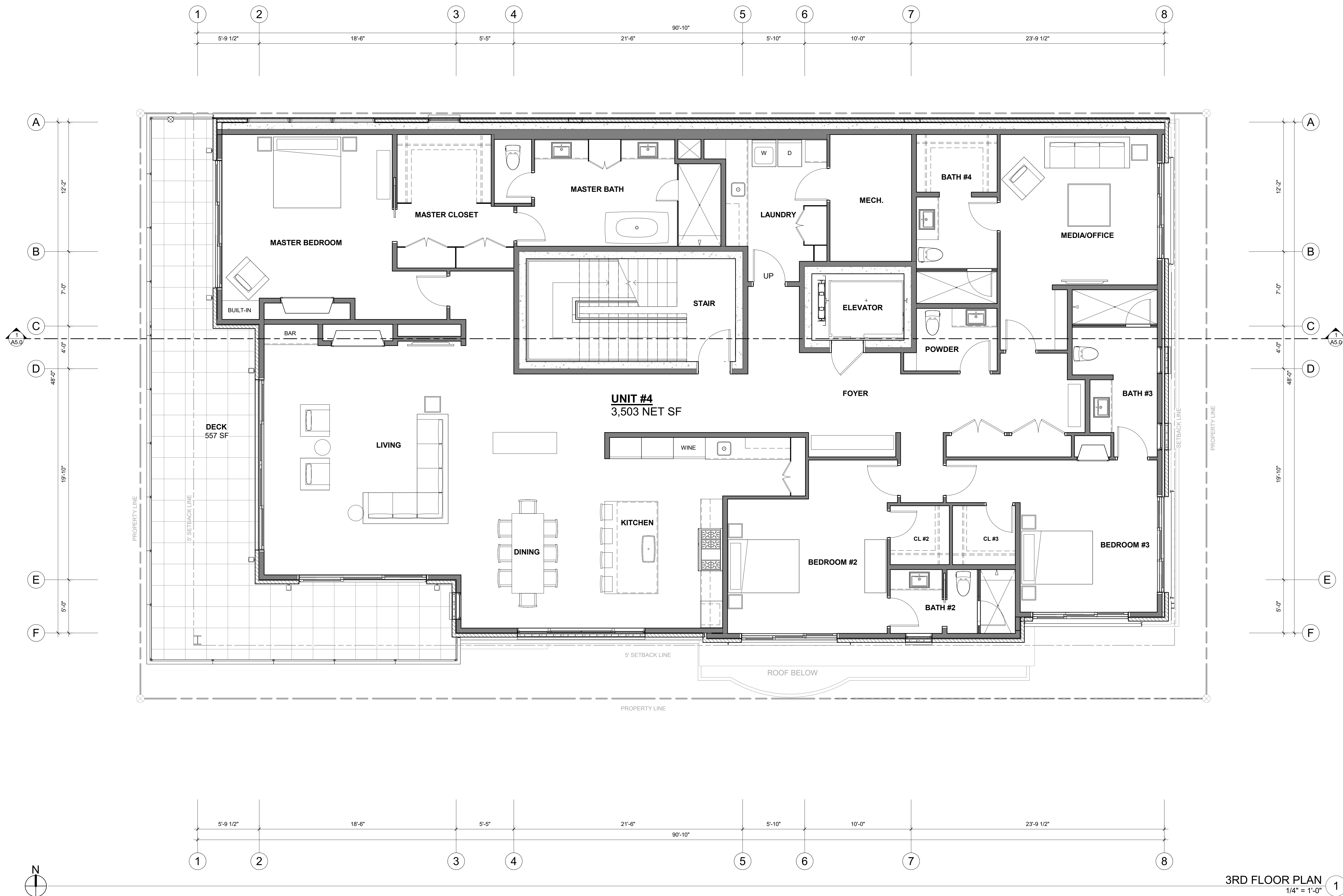
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A2.3

PLOT SCALE: 1:1



REGISTRATION:

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 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ROOF PLAN

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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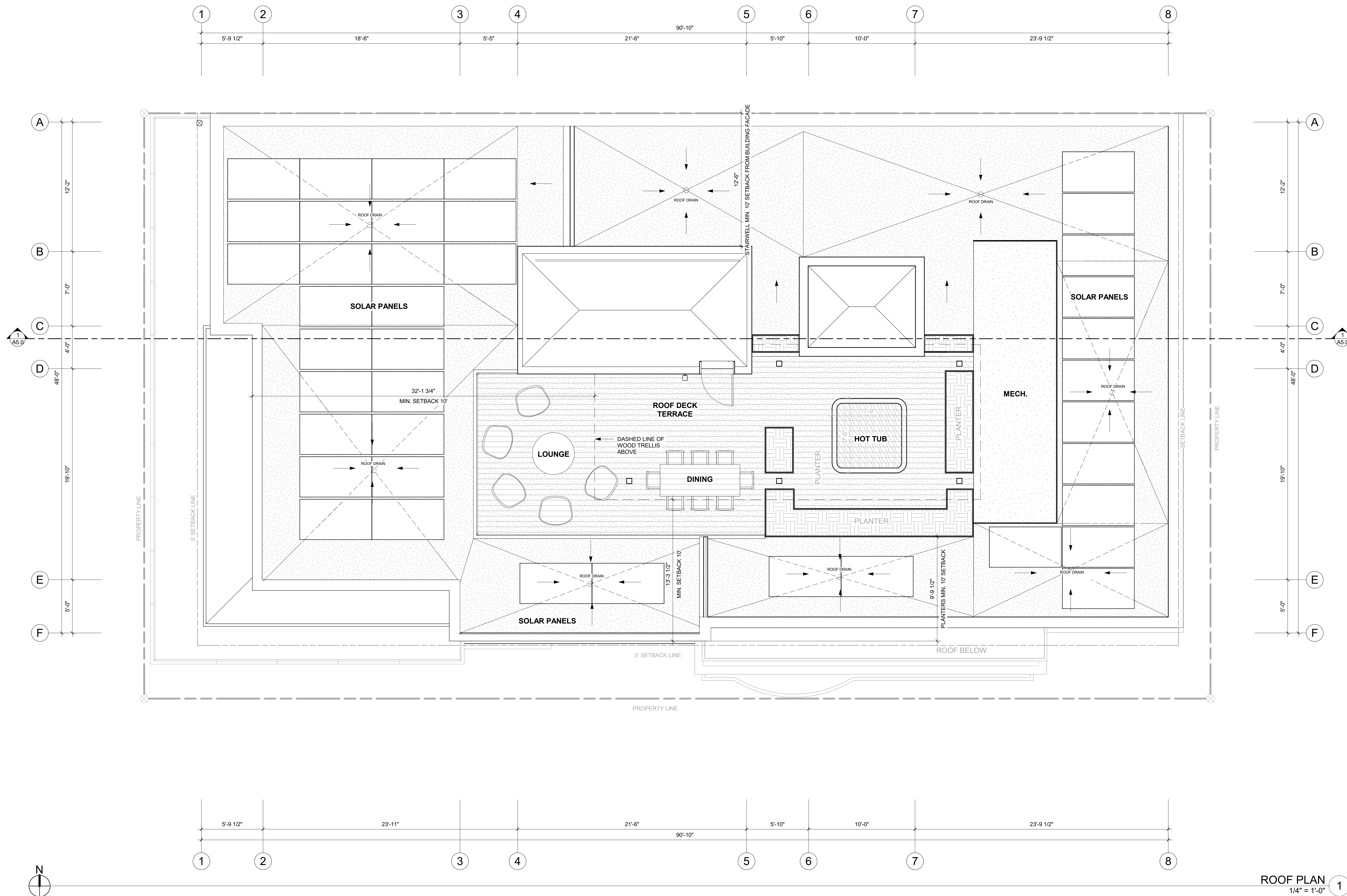
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A3.0

PLOT SCALE: 1:1



REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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PROJECT No.: A21-198

DATE: 2/22/2023

A4.0

PLOT SCALE: 1:1



SOUTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

- 400 NATURAL STONE VENEER.
- 401 BRICK VENEER.
- 404 WOOD SIDING.
- 405 BLACK STEEL C-CHANNEL.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
- 407 METAL MESH SCREEN.
- 408 BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
- 409 BLACK METAL COPING OVER PARAPET WALL.
- 410 METAL CLAD WOOD WINDOWS AND DOORS.
- 411 PRE CAST CONCRETE LINTEL.

REGISTRATION:

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 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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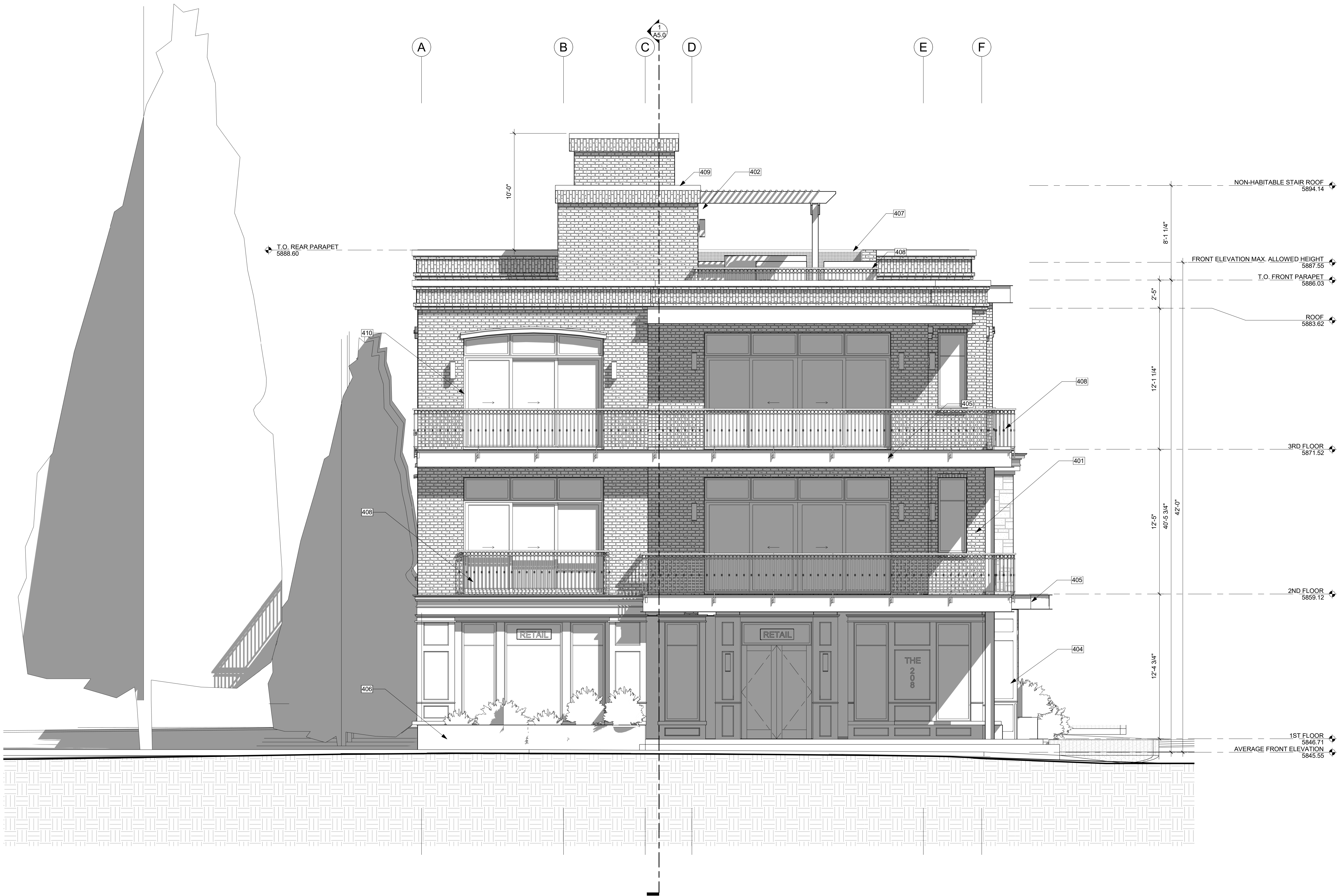
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A4.1

PLOT SCALE: 1:1



WEST ELEVATION 2
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
402	LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER, TYP. REFER TO SHEET A5.2 FOR LIGHTING SPECS. ALL LIGHTS SHALL COMPLY WITH CITY OF KETCHUM MUNICIPAL CODE 17.132.
404	WOOD SIDING.
405	BLACK STEEL C-CHANNEL.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
410	METAL CLAD WOOD WINDOWS AND DOORS.

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

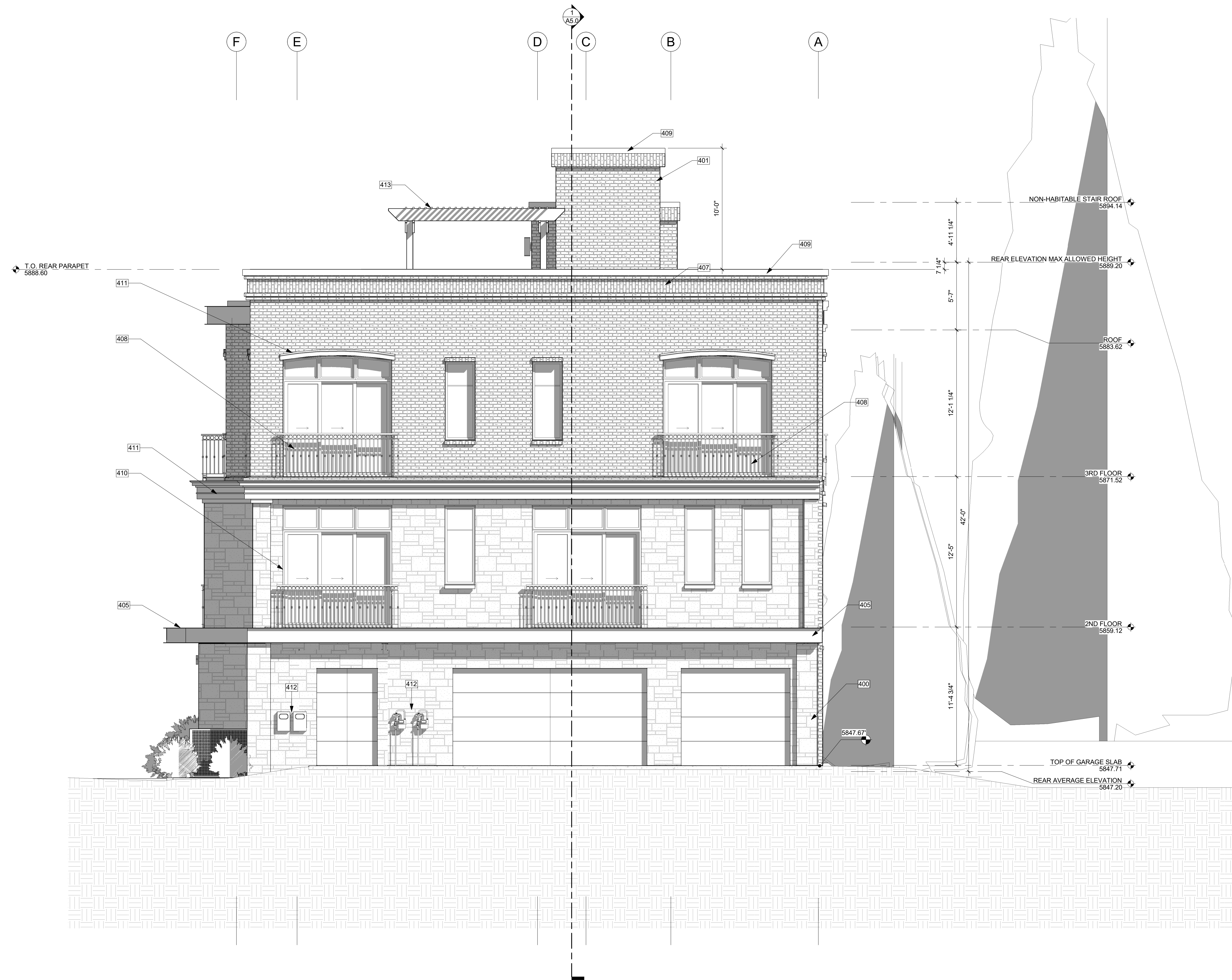
PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010



EAST ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

- 400 NATURAL STONE VENEER.
- 401 BRICK VENEER.
- 405 BLACK STEEL C-CHANNEL.
- 407 METAL MESH SCREEN.
- 408 BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
- 409 BLACK METAL COPING OVER PARAPET WALL.
- 410 METAL CLAD WOOD WINDOWS AND DOORS.
- 411 PRE CAST CONCRETE LINTEL.
- 412 ELECTRICAL/ GAS METERS.
- 413 BLACK STEEL FRAMED TRELLIS W/ BLACK STAINED WOOD CANOPY.

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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PROJECT No.: A21-198

DATE: 2/22/2023

A4.2

PLOT SCALE: 1:1

REGISTRATION:

LICENSED ARCHITECT
 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

ELEVATIONS

Drawn By: MS

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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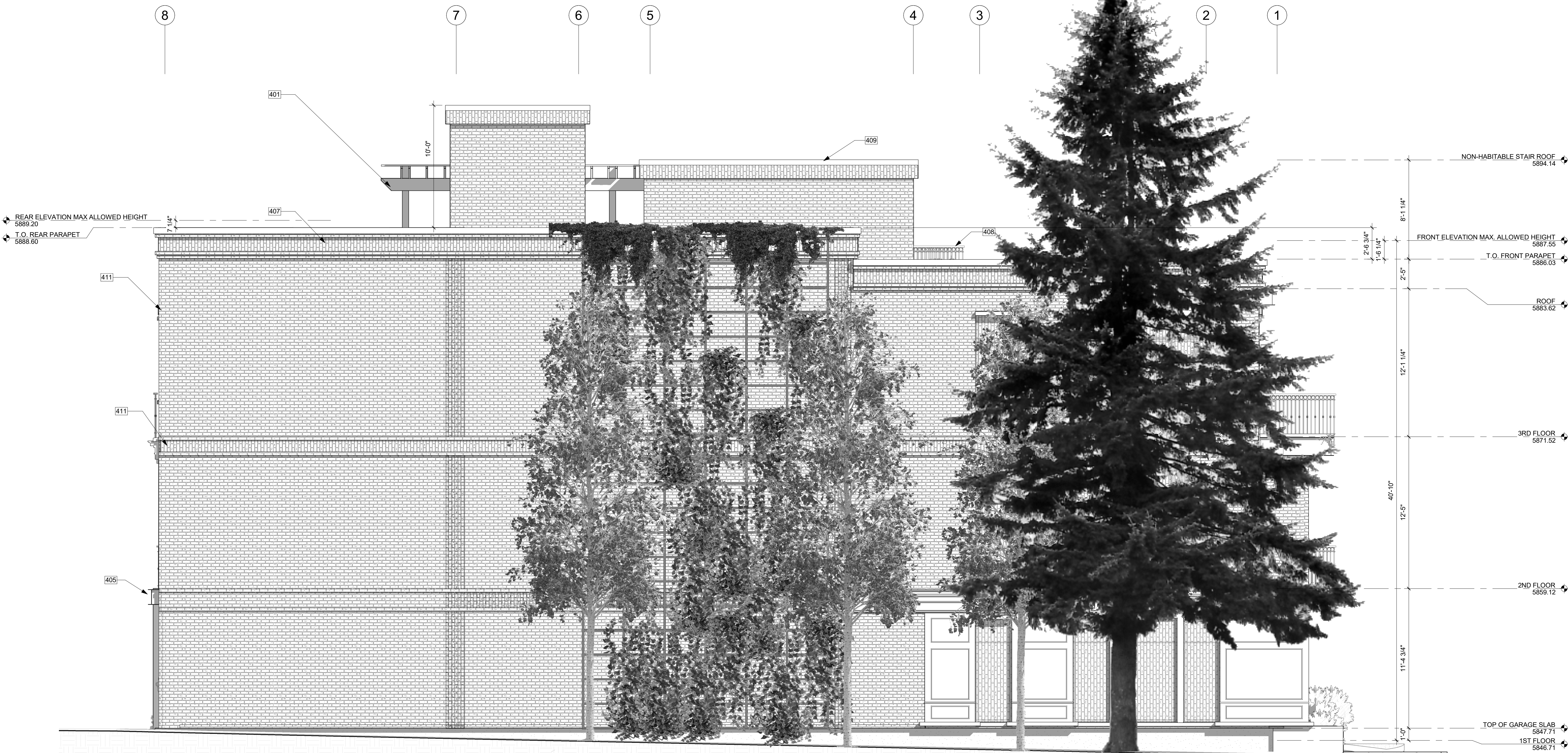
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A4.3

PLOT SCALE: 1:1



NORTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
411	PRE CAST CONCRETE LINTEL.

REGISTRATION:

LICENSED ARCHITECT
 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

ELEVATIONS

Drawn By: Author

Checked By: Checker

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A4.4

PLOT SCALE: 1:1



NORTH ELEVATION 1
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
411	PRE CAST CONCRETE LINTEL.

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.



SOUTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE



SOUTH WEST PERSPECTIVE

REGISTRATION:

LICENSED ARCHITECT
 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

PERSPECTIVES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A4.5

REGISTRATION:

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 AR 985993
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

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REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

SECTIONS

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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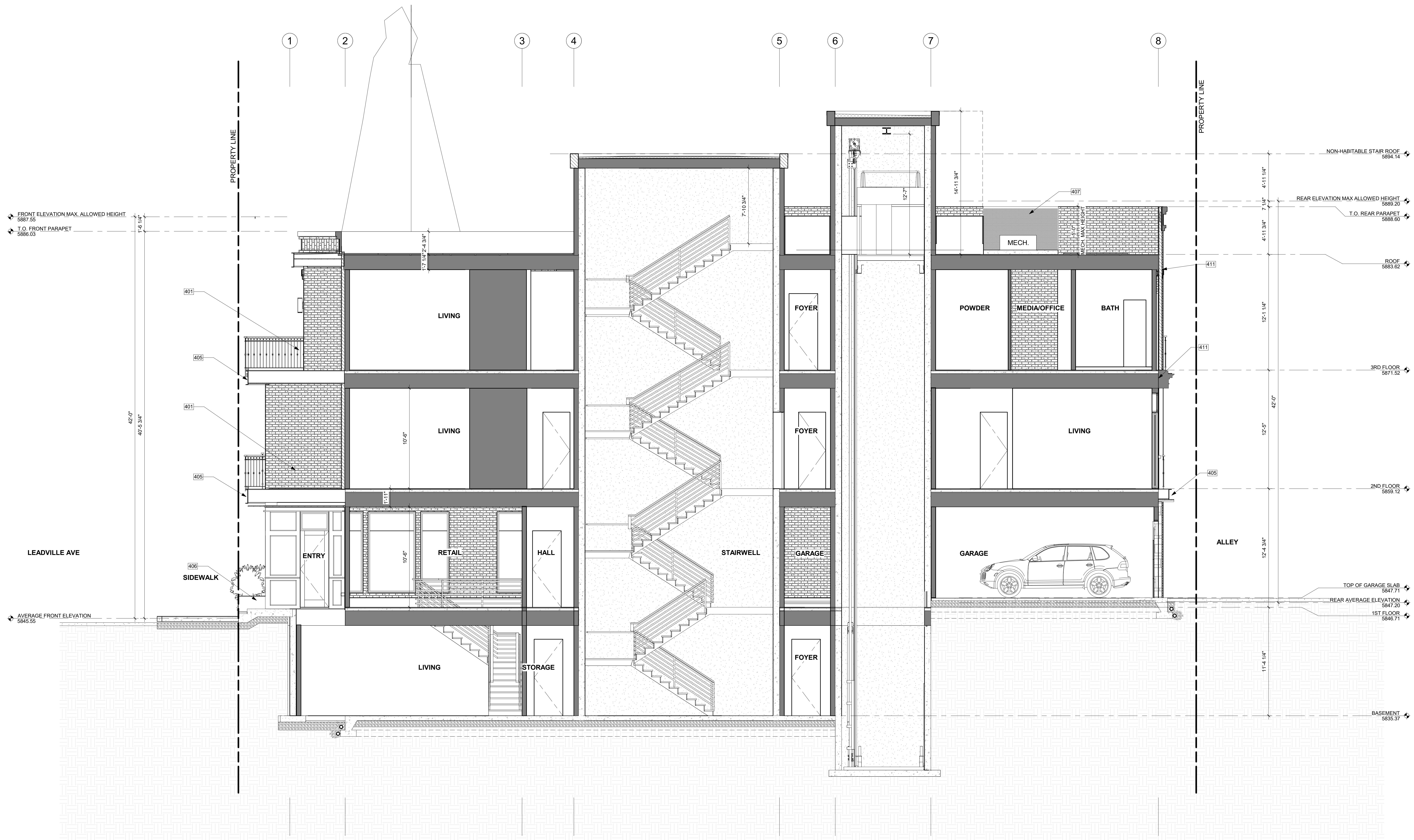
APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A5.0

PLOT SCALE: 1:1



SECTION 1
 1/4" = 1'-0" 1

KEY NOTES

- 401 BRICK VENEER.
- 405 BLACK STEEL C-CHANNEL.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
- 407 METAL MESH SCREEN.
- 411 PRE CAST CONCRETE LINTEL.



11661 SE 1ST STREET, SUITE 200
 BELLEVUE, WASHINGTON 98005
 TEL: (425) 453-9298
 FAX: (425) 452-8448

REGISTRATION:

LICENSED ARCHITECT
 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010

DRAWING NAME:

EXTERIOR MATERIALS

Drawn By: MS

Checked By: NR

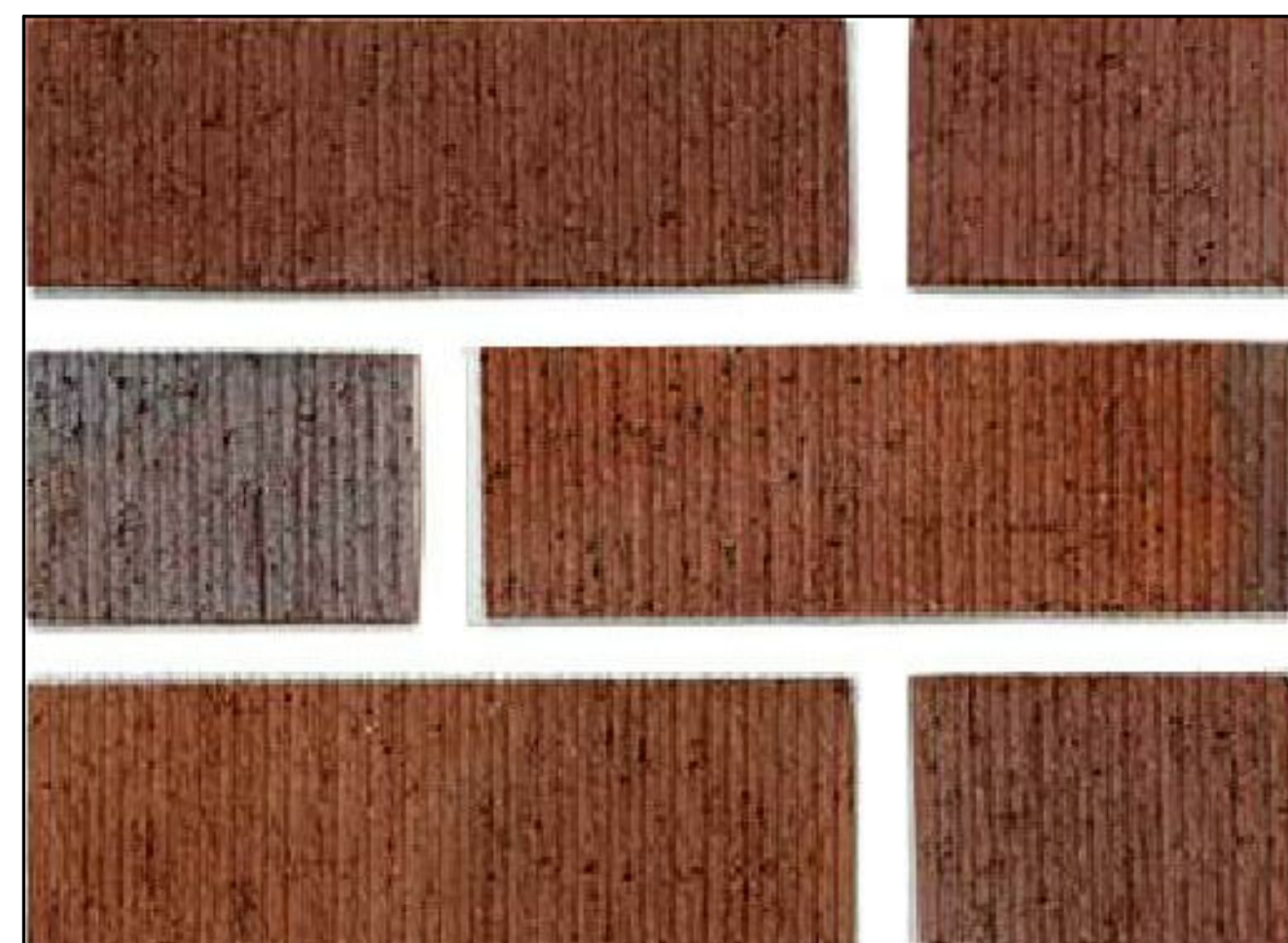
Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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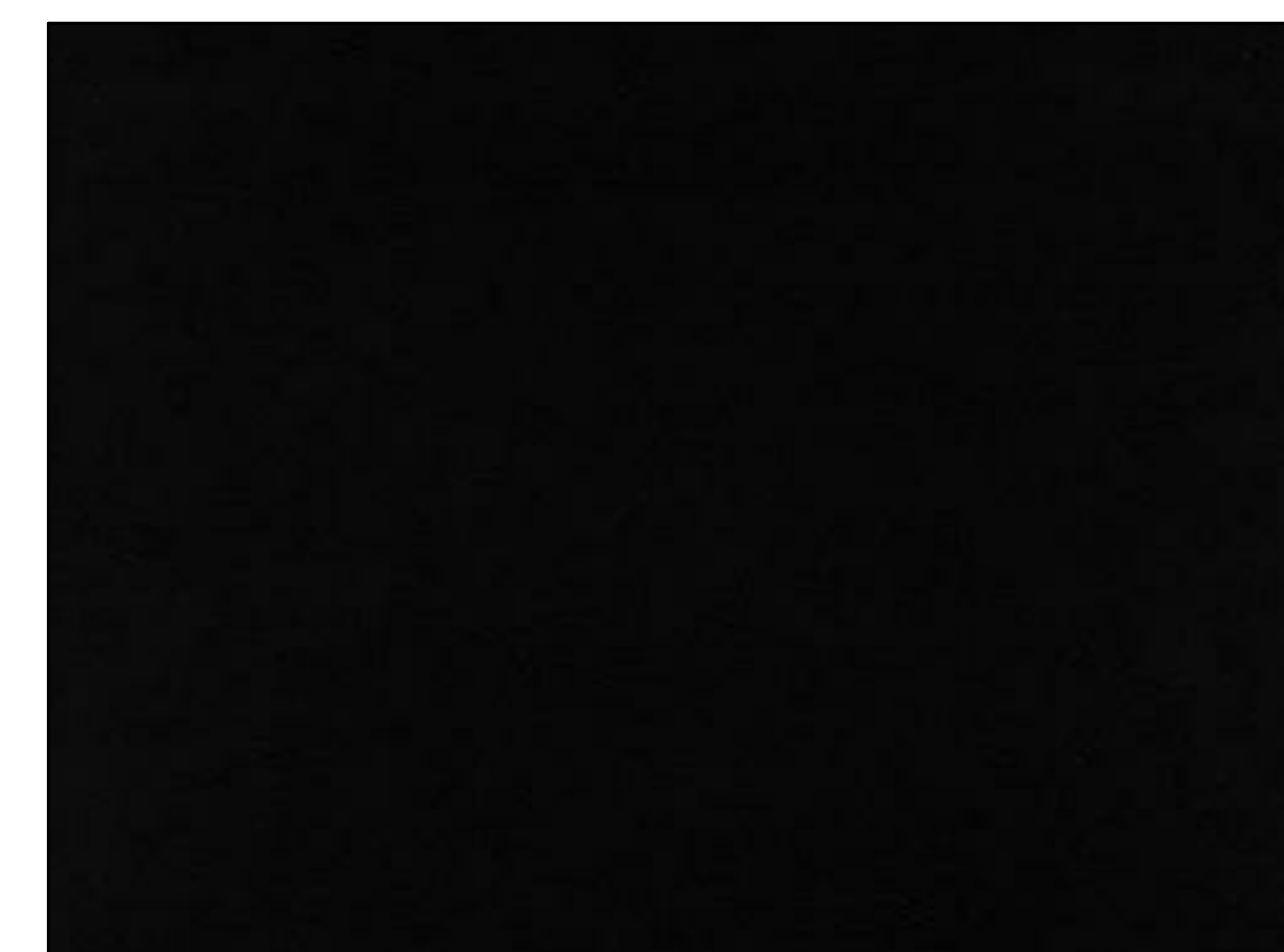
BRICK VENEER
 MOUNTAIN BLEND WITH RUG TEXTURE



STONE VENEER
 SILVERTIP STACK



WOOD SOFFIT
 ALASKAN YELLOW CEDAR VG



STEEL
 BLACK STEEL

PROJECT No.: A21-198
 DATE: 2/22/2023

PLOT SCALE: 1:1

A5.1

A

TEGEL 18 WALL SCENCE

TECH LIGHTING

Understated modern design characterizes Tegel outdoor LED wall sconces. Providing well-controlled up and down lighting, or down light only, these wall sconces provide accent and ambient illumination. The option of three finish choices and two sizes ensures this design profile successfully blends with all architectural aesthetics.

Outstanding protection against the elements:

- Powder coat finishes
- Impact-resistant, UV stabilized frosted acrylic lensing
- Up light and down light options, with 10° and 36° beam spread options

SPECIFICATIONS

DELIVERED LUMENS	2419 Up/Downlight, 1212 Downlight
WATTS	21.9 Up/Downlight, 11.5 Downlight
VOLTAGE	Universal 120-277V, with integral transformer 2.5KV surge protection (driver)
DIMMING	0-10, 0-1V
LIGHT DISTRIBUTION	Symmetric Up/Down Lighting, or Down Only
MOUNTING OPTIONS	Wall
OPTICS	10° and 36°
PERFORMANCE OPTIONS	Photocontrol / Surge Protector
CCT	2700K, 3000K or 4000K
CRI	80+
COLOR BINNING	3 Step
BUS RATING	Up-Downlight 81-105-010, Downlight 81-105-010
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	38°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70: >60,000 Hours
WARRANTY*	5 Years
WEIGHT	8 lbs.

*Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

PRODUCT	CIRCUIT	LENGTH	BEAM SPREAD*	LENS	FINISH	FUNCTION	VOLTAGE	OPTIONS
DOWNLIGHT	81-105-010	12" or 18"	10° or 36°	Clear	Black	Downlight	120V/277V	None
UP/DOWNLIGHT	81-105-010	12" or 18"	10° or 36°	Clear	Black	Up/Downlight	120V/277V	None
DOWNLIGHT	81-105-010	12" or 18"	10° or 36°	Clear	Black	Downlight	120V/277V	None
UP/DOWNLIGHT	81-105-010	12" or 18"	10° or 36°	Clear	Black	Up/Downlight	120V/277V	None

*10°/36° DOWNLIGHT ONLY (DOL), WALL MOUNT UP AND DOWNLIGHT ONLY (UD)

techlighting.com



TEGEL 18 shown in Charcoal



TEGEL 18 shown in Bronze

TEGEL 18 shown in Black

B

LITECONTROL making light work™

2L-R-D MOD* 2 LED RECESSED DIRECT

MOD X

Product Details

General	Aperture: 2 in
Color Rendering Index (CRI)	• 80 CRI • 90 CRI
Color Temperature	• 2700 K • 3000 K • 3500 K • 4000 K • 5000 K • SpectraSync

FEATURES

- Variable Intensity technology provides a range of specifiable outputs and resulting fixture wattages
- 2 SDCM color consistency
- End cap design eliminates visible diffuser seams/gaps

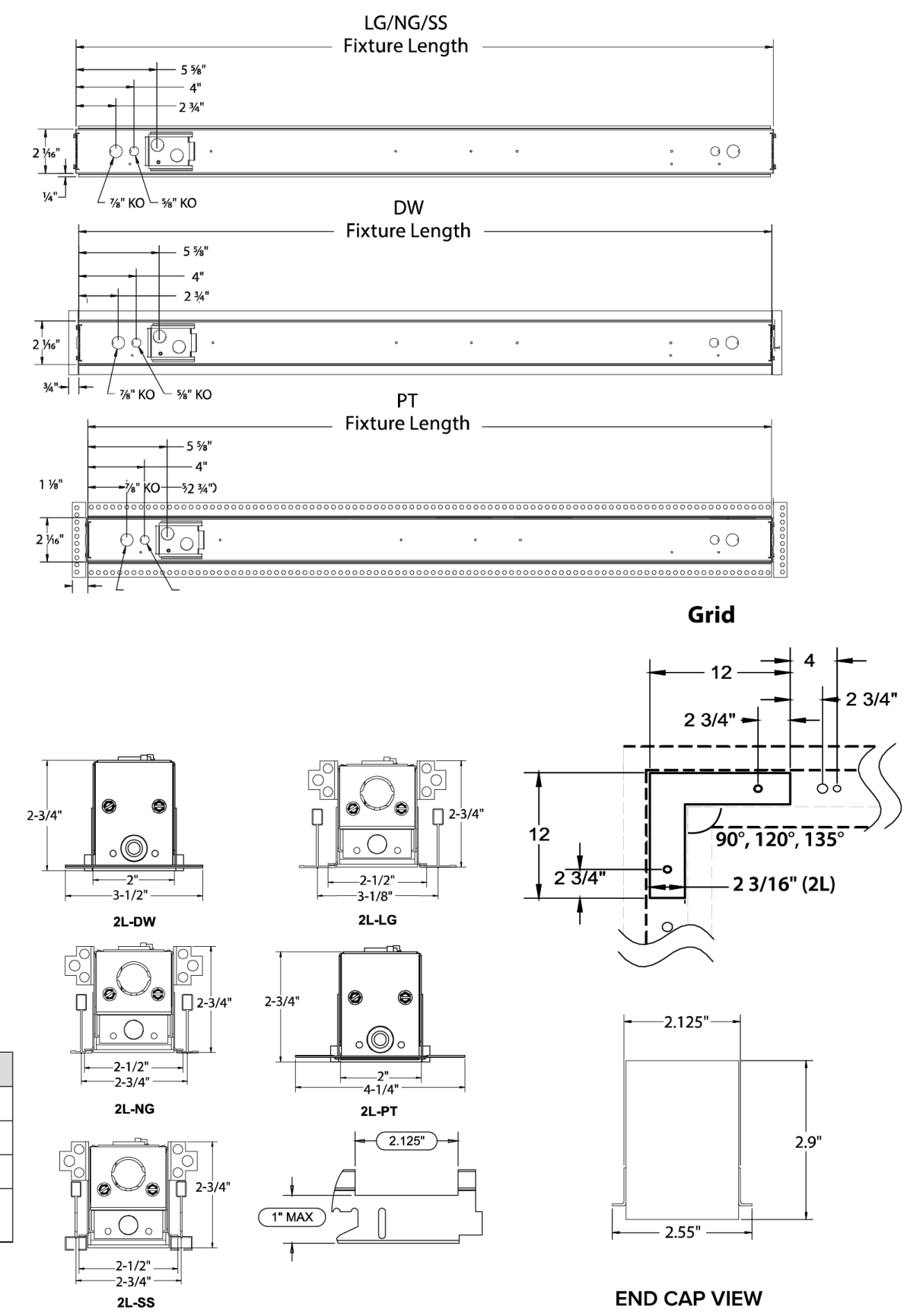
INSTALLATION

- PT Mounting: Continuous spackles trim with beaded edge welded to housing. Spackles trim allows plaster coat up to fixture edge for clean ceiling appearance
- LG/NG/SS Mounting: Side rails provide continuous mounting, lateral spacing between T-bars and allows clearance for T-bar supporting wire. For Tegel grid mount, fixture will sit level with the T-bar
- DW Mounting: Side rails allow installation into drywall slot. Visible flange is located on all 4 sides of fixture

- Illuminated corners available in 90°, 120°, 135°. One piece construction, ready to install with diffusers that match adjoining fixtures. Corner system connectors must be used to form patterns. The length of each outside or inside illuminated corner is 12"
- Fixture weight: 3lbs/ft
- ELECTRICAL
 - Variable Intensity (VI) technology allows precise specification of fixture output/wattage. Fixture will be programmed and labeled to specification. Indirect and direct hemispheres can be independently specified
 - LED boards and drivers can be accessed and removed from fixture, while installed
 - Entire LED module can be removed and replaced
 - IC (i Circuit) Fixture wired for a single circuit
 - Emergency Battery: 10W battery powered driver. Provides a minimum of 90 minutes of emergency lighting. Inverter-Compatible. Provided by others. Available in: 6- EF, L or R, D030 through D065, 8- EF, Full, D030 through D055, 8- EF, L or R, D030 through D075. Available with SCF, ASYM, BAT downlight diffusers. Test switch located in lens. For rows where the battery fixture is in the middle of a row, the test switch will be located in that section

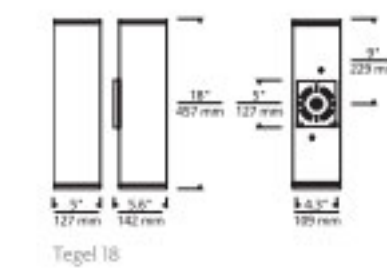
KEY DATA	
Lumen Range Per Foot	D: 300-850
Wattage Range Per Foot	2.9-8.6
Efficacy Range (LPW)	99-102
Rated Life (Hours)	L70: >61,000 L90: >61,000

DIMENSIONS



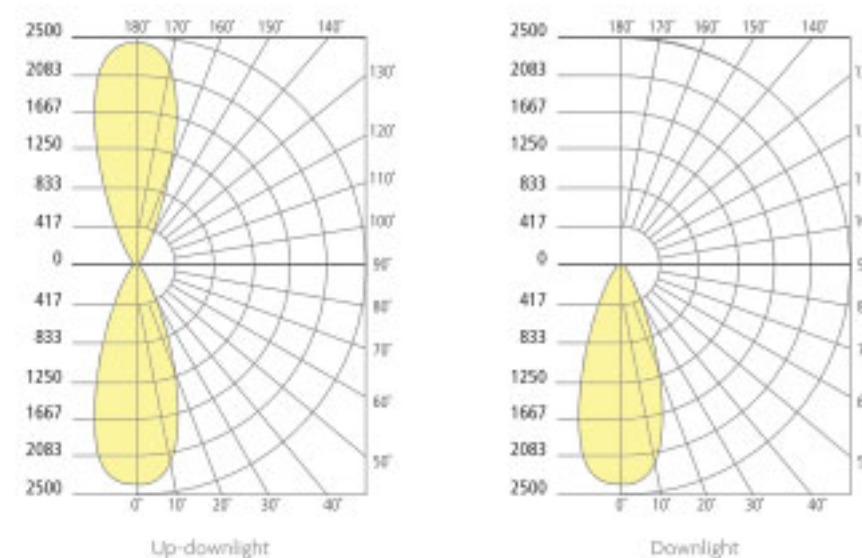
TEGEL 18 WALL SCENCE

TECH LIGHTING



PHOTOMETRICS*

TEGEL 18 UP/DOWN		TEGEL 18 DOWN	
Total Lumen Output:	2419	Total Lumen Output:	1212
Total Power:	21.9	Total Power:	11.5
Luminaire Efficacy:	80.6	Luminaire Efficacy:	77.7
Color Temp:	3000K	Color Temp:	3000K
CRI:	80+	CRI:	80+
BUG Rating:	81-105-G0	BUG Rating:	81-105-G0



PROJECT INFO

DESIGN TYPE & QUANTITY	JOB NAME & INFO	NOTES

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TECH LIGHTING
VISUAL COMFORT & CO.
7885 Linden Avenue, Skokie, Illinois 60077
781.418.4448

D

KIMLIGHTING®

UR20 ARCHITECTURAL AREA/SITE

Ouro

FEATURES

- 20" size in single/dual arm post top, pole and wall mount
- High performance optics up to 16,874 delivered lumens
- Elegant form factor
- Diffusion lens option
- SiteSync™ wireless control options
- UL/CUL, IP66 and 4G/1.5G vibration rated

INSTALLATION

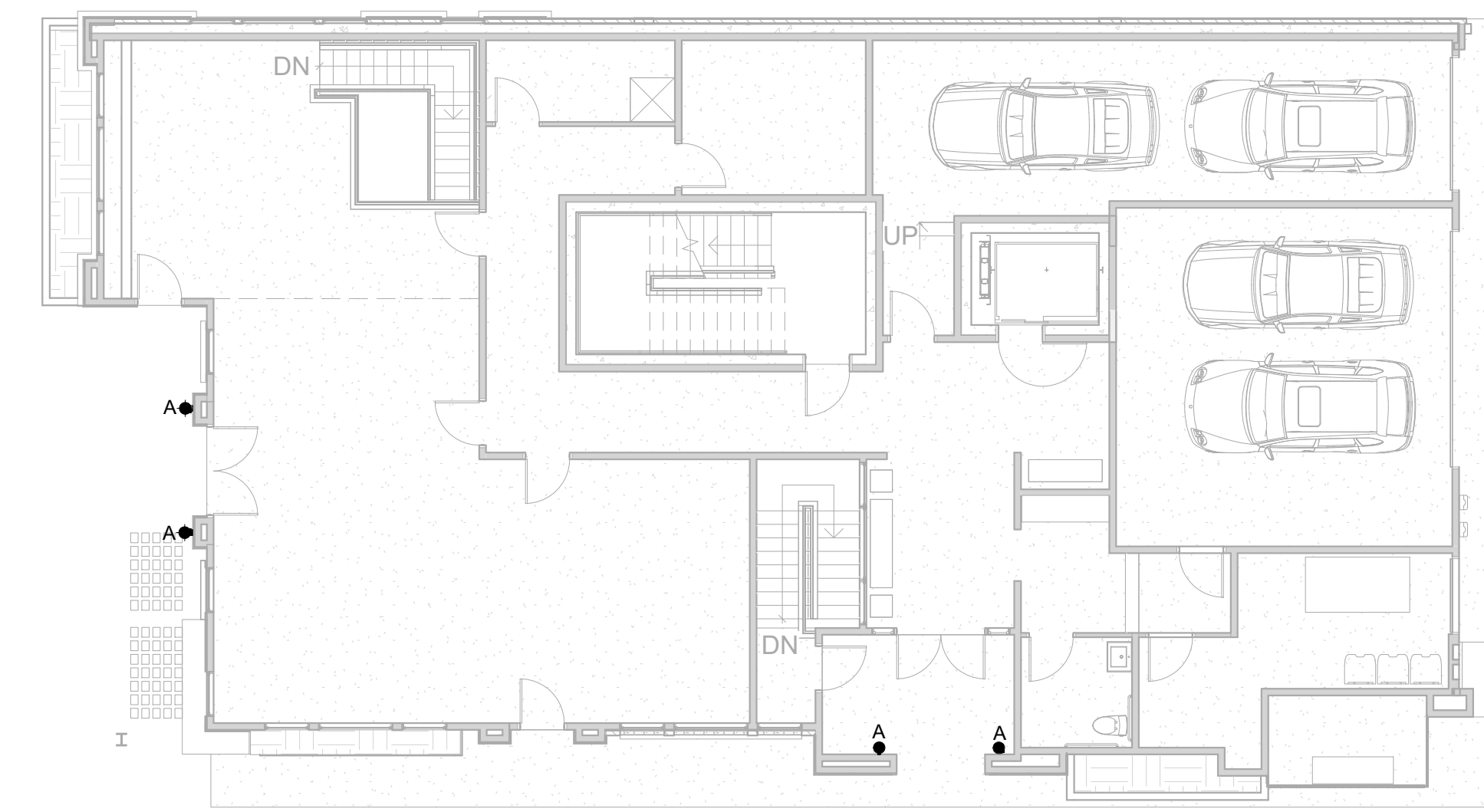
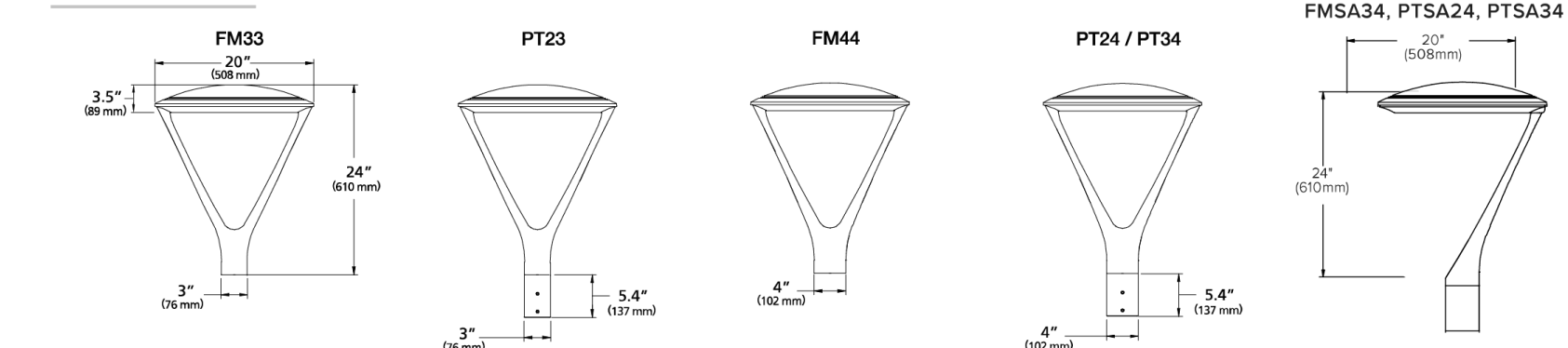
- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

ELECTRICAL

- Universal voltage, 120 through 277V with ±10% tolerance. Driver is Underwriters Laboratories listed.
- High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
- Thermal Shield™, secondary side, thermistor provides protection for the sustainable life of LED module and electronic components
- Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments.
- Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
- Surge protection: 10,000k in parallel, 20,000k in series
- Wiring: No. 18AWG rated 105°C, wet rating.

KEY DATA	
Lumen Range	2694 - 16874
Wattage Range	25 - 150
Efficacy Range (LPW)	95 - 133
Reported Life (Hours)	L70>60,000
Weight	35 lbs - 15.8 kg
EPA	0.608

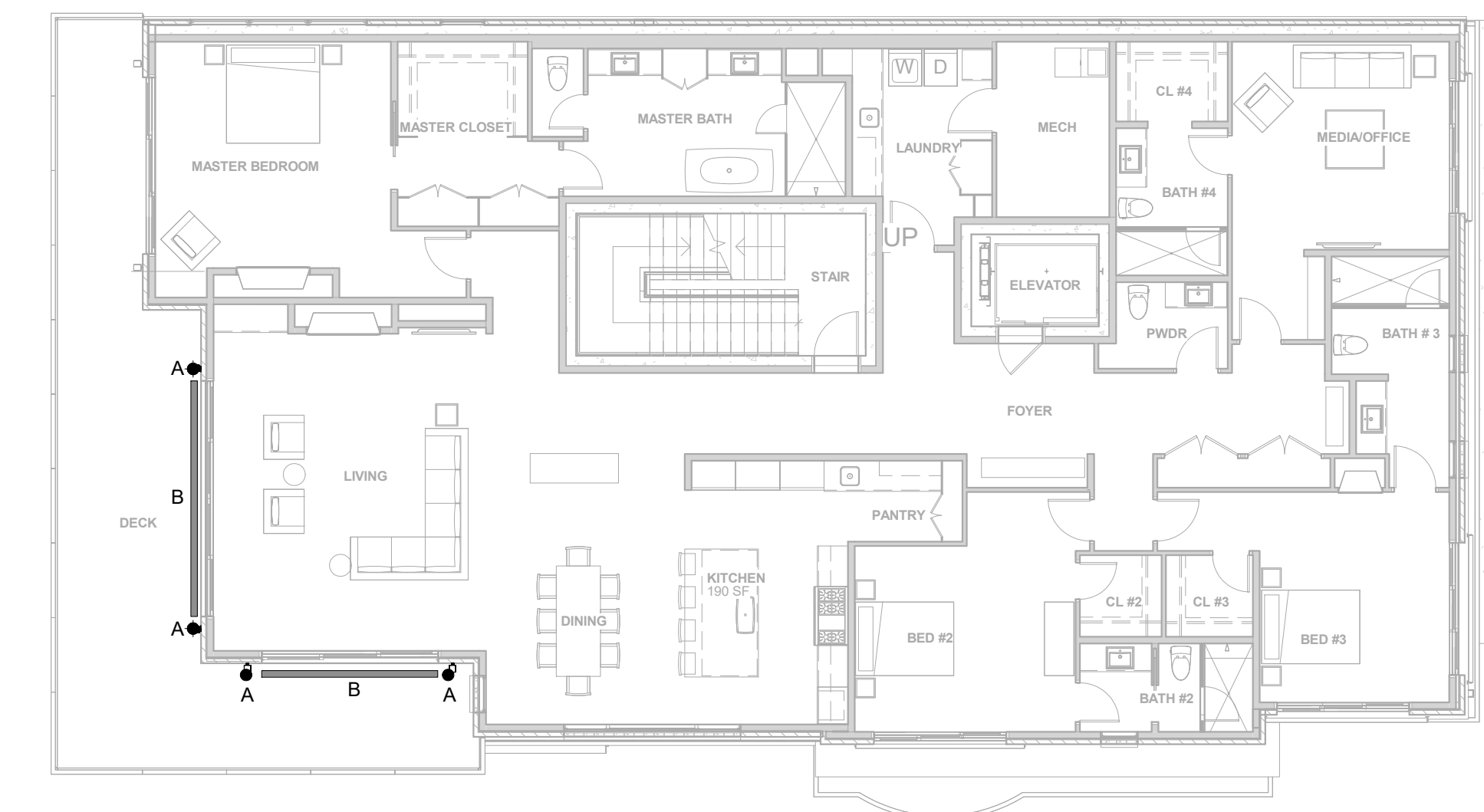
DIMENSIONS



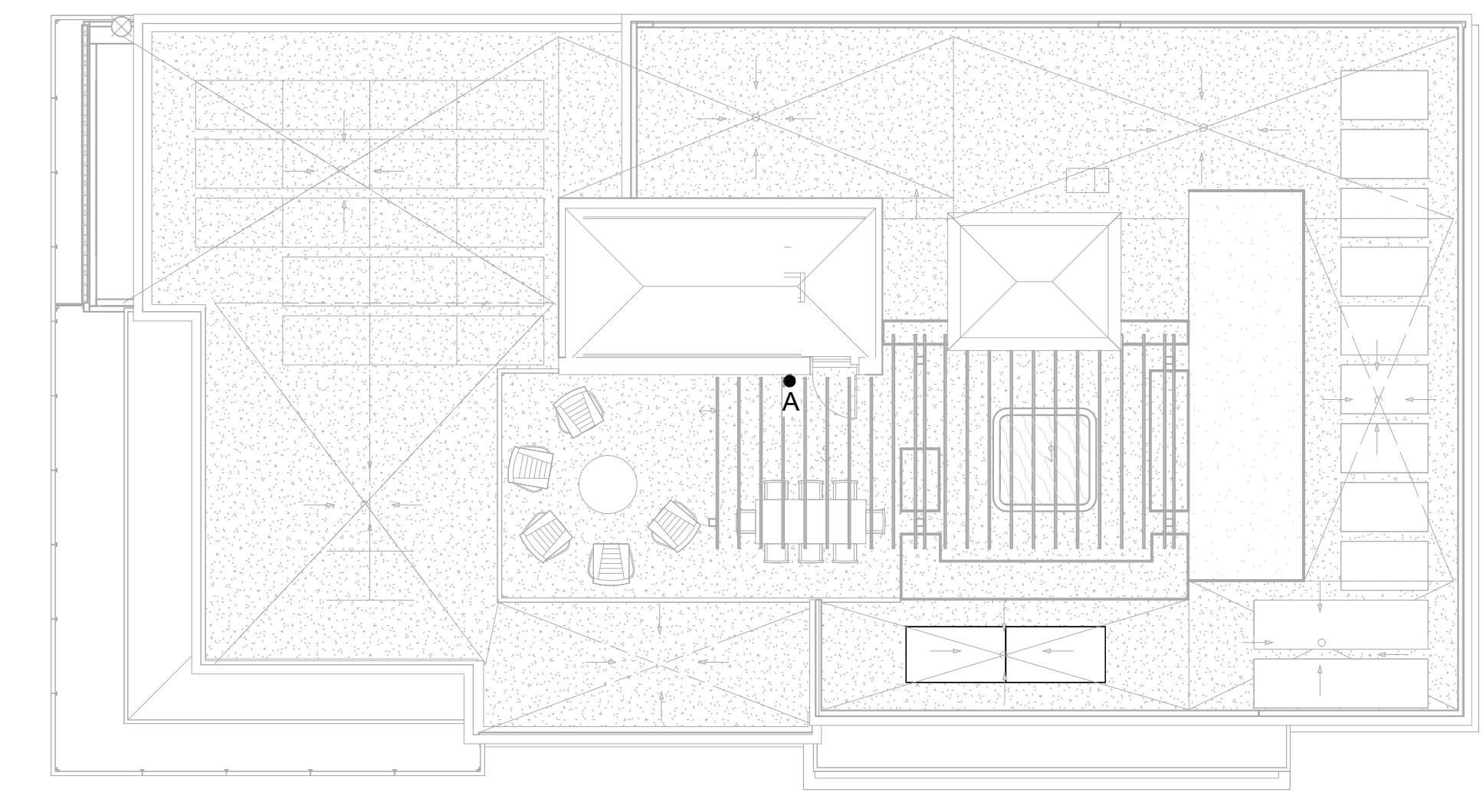
1ST FLOOR PLAN
1" = 10'-0"



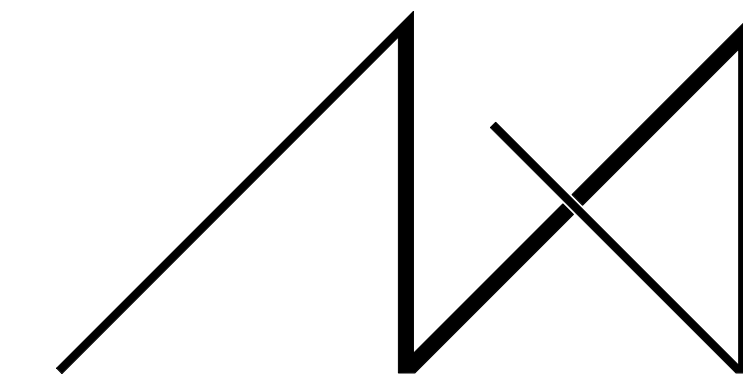
2ND FLOOR PLAN
1" = 10'-0"



3RD FLOOR PLAN
1" = 10'-0"



ROOF PLAN
1" = 10'-0"



MEDICI ARCHITECTS

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LICENSED ARCHITECT
AR 985993
PRELIMINARY
NICOLE C. RAMEY
(STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
IDAHO, 83340
PARCEL #RPK0000230010

DRAWING NAME:

EXTERIOR LIGHTING PLANS AND FIXTURES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A5.2

PLOT SCALE: 1:1

EXTERIOR BUILDING SIGN

BUILDING SIGN
 TYPE FACE: SWIS721 BLK BT
 SIZE OF NUMBERS: 4.25" x 6"
 SIZE OF LETTERS: 3" x 3"

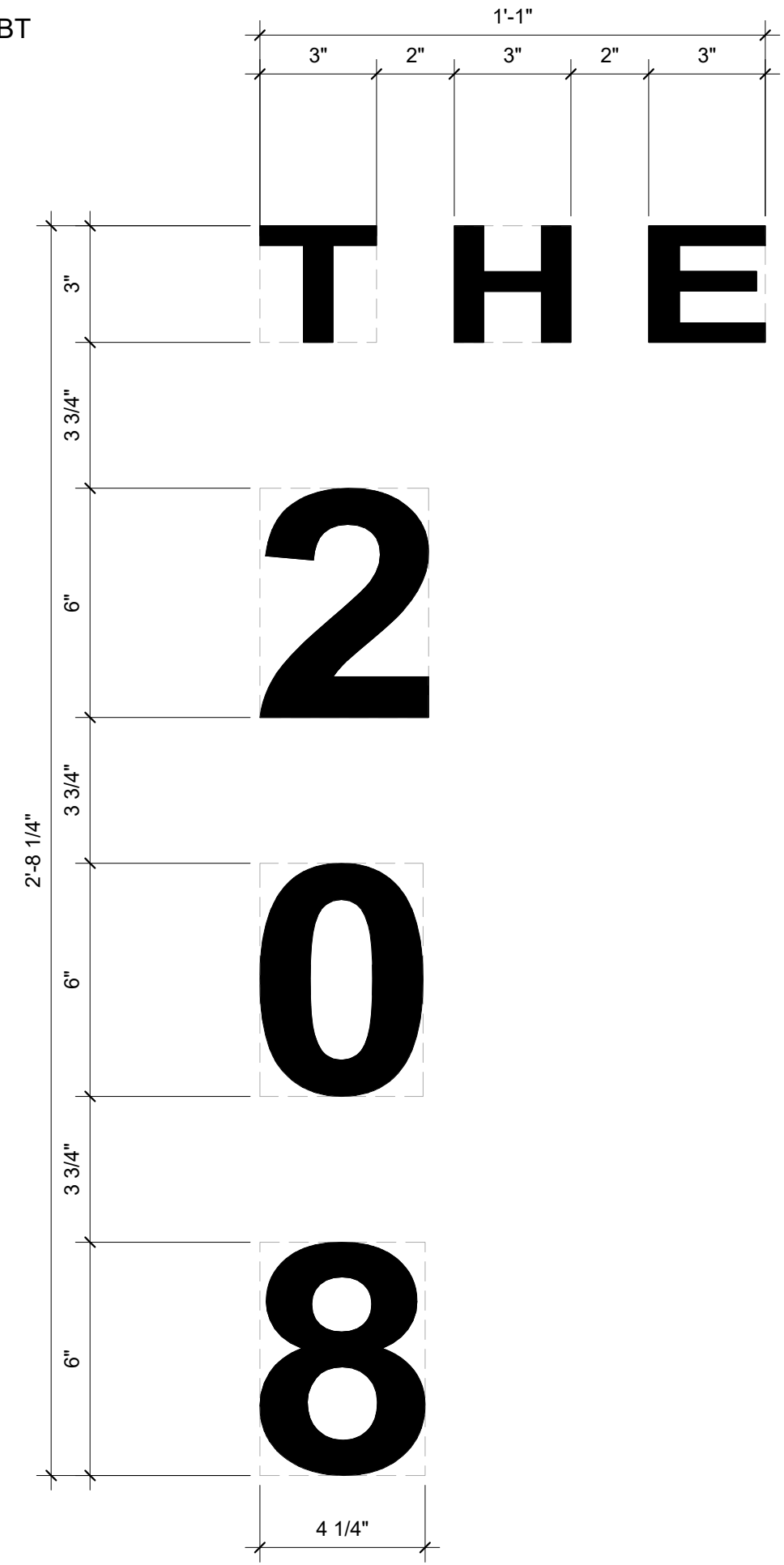
DISCRIPTION:
 BLACK ANODIZED ALUMINUM
 HOLLOW CORE CAST LETTER PIN
 MOUNTED WITH HALF INCH OFFSET
 FROM BUILDING SURFACE

4 SQ FEET MAX
 TO COMPLY WITH KETCHUM
 SIGN ORDINANCE
 17.127.00

LEADVILLE AVE SIGNAGE CALC
 55/3 L.F. = 18.3 SQ. FT.
 OF SIGNAGE ALLOWED

-SIGN TO COMPLY WITH 17.127
 KETCHUM SIGN ORDINANCE

PROPOSED:
 BUILDING ADDRESS 8,625 SQ. FT



- CONSTRUCTION NOTES**
- ROOF PITCH: 5° (AR-01) AND 36° (AR-02)
 - ROOF CLADDING: FLAT TPO MEMBRANE (AR-01) AND STANDING SEAM METAL ROOF (AR-02)
 - ROOF STRUCTURE: ENGINEERED RAFTER SYSTEM (AR-01) AND 2"X6" TRUSSES AT 24" O.C. (AR-02)
 - MOUNTS ARE ON GRID SPACING, OCCURRING AT RAFTERS.
 - VERIFY RAFTER LOCATIONS IN FIELD.
 - MAX SPAN BETWEEN MOUNTS: 20' O.C.
 - APPROX G21 MOUNTS TOTAL
 - REFER TO MODULE AND RACKING MFR'S INSTALL MANUALS.
 - PLUMBING AND MECHANICAL VENTS SHALL NOT BE COVERED BY SOLAR MODULES.
 - ALL FASTENERS STAINLESS STEEL U.O.N.

DIRECT CURRENT PHOTOVOLTAIC POWER SOURCE

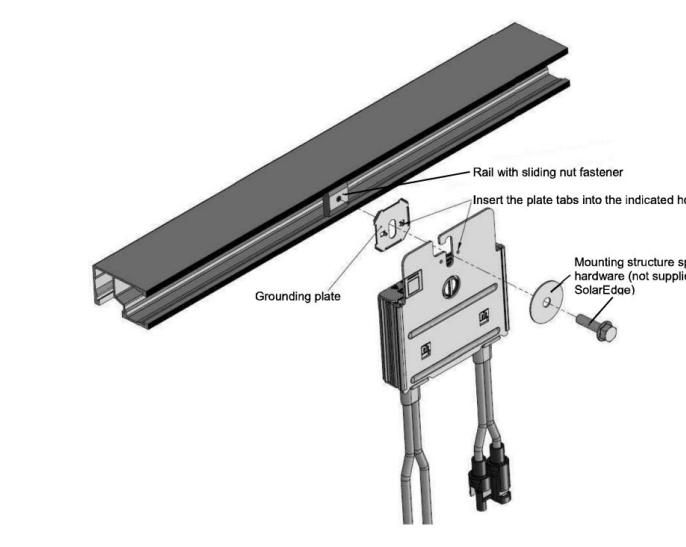
MAXIMUM VOLTAGE	480.0 V
MAXIMUM CIRCUIT CURRENT	20.0 A
MAXIMUM RATED OUTPUT CURRENT OF DC TO DC CONVERTER	15.0 A

LABEL PLACEMENT: INVERTER 1

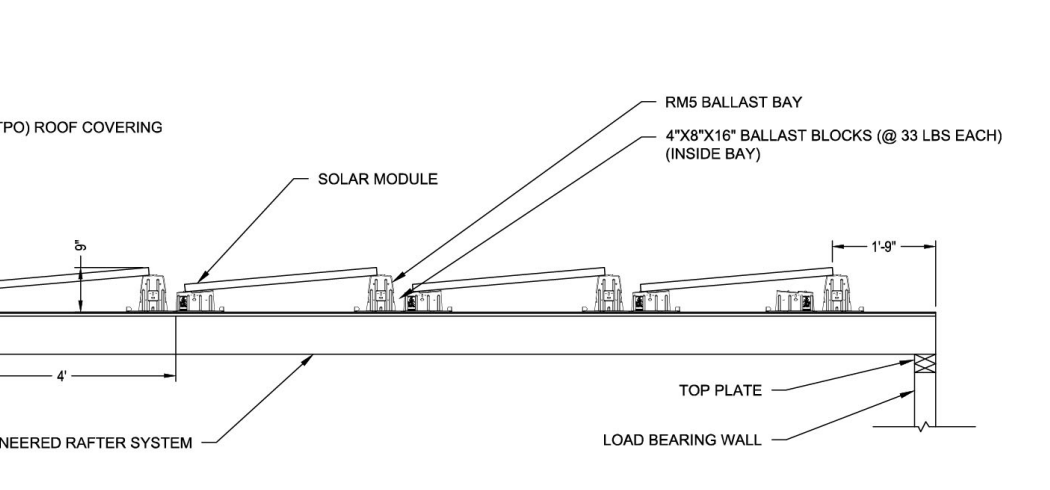
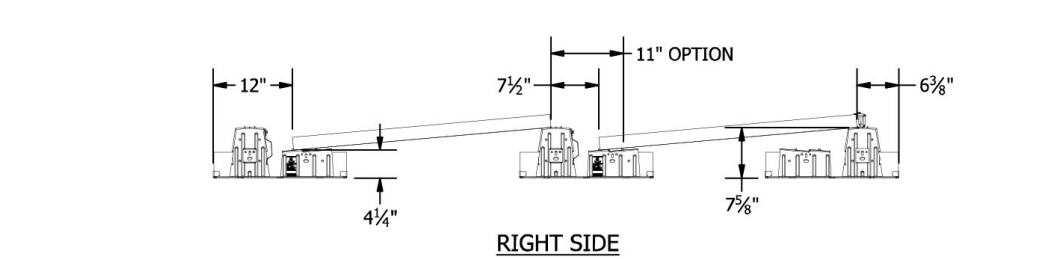
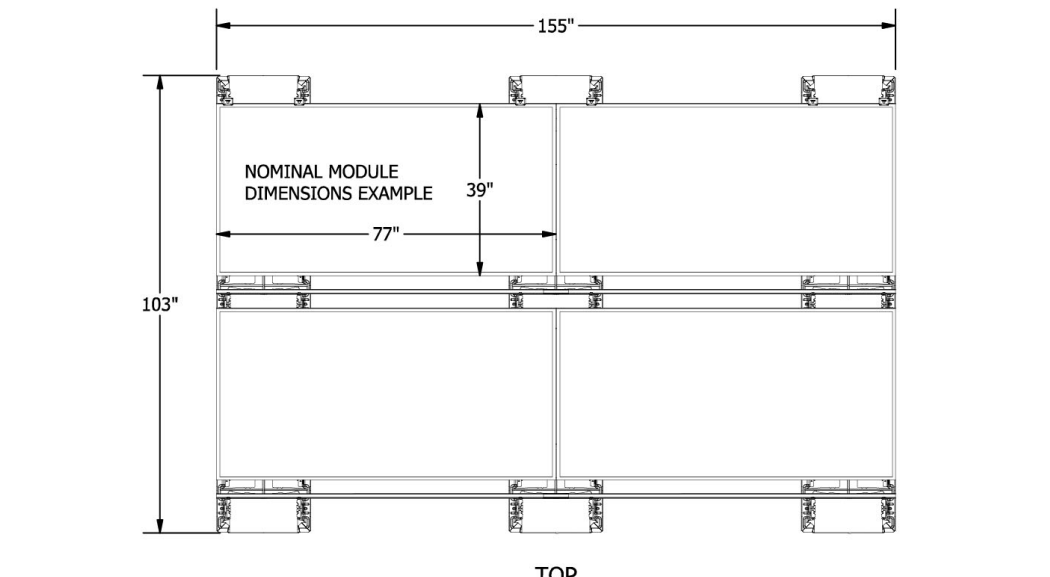
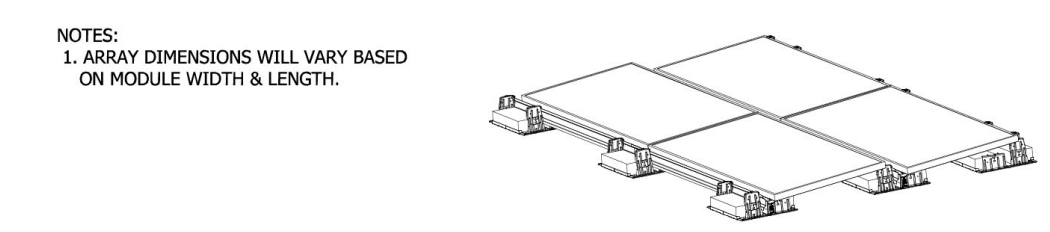
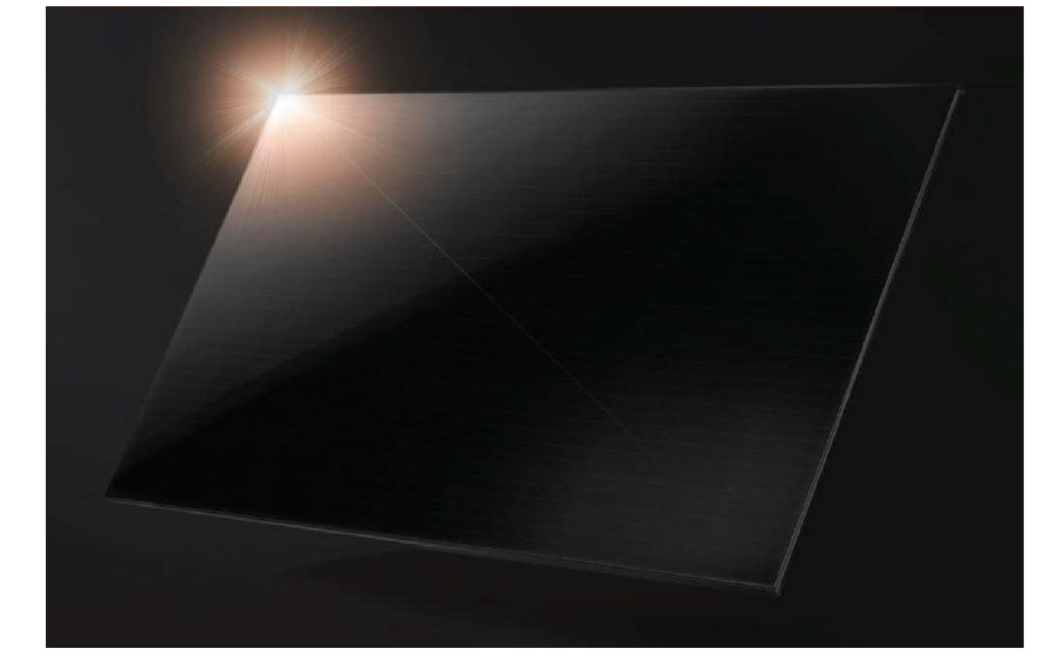
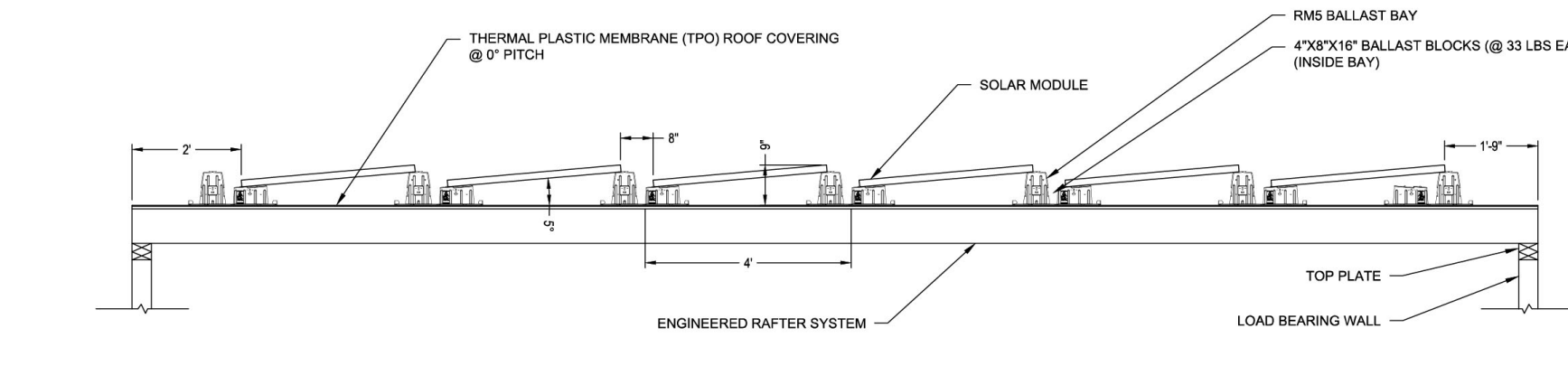
SOLAR PV SYSTEM AC POINT OF CONNECTION

AC OUTPUT CURRENT	64.0 A
NOMINAL AC VOLTAGE	240 V

THIS PANEL FED BY MULTIPLE SOURCES (UTILITY AND SOLAR)
 LABEL PLACEMENT: MAIN SERVICE PANEL



1 ROOF ELEVATION (AR-01)
 SCALE: 1/2" = 1'



PRECAST CONCRETE AND GLASS PAVERS



Design Features + Options:

Glass paver and precast concrete panel systems allow light to travel through the floor to brighten any space below or create a decorative feature at night as the light shines up from underfoot. Solid or hollow floor glass blocks are manufactured to have a thicker face and are annealed for a longer period of time, increasing the strength of the precast concrete and glass paver sidewalk panels. Our panels can also be recessed to accept field-applied finishes (ex. wood) to seamlessly transition into adjoining materials.

Glass Pavers & Panel Sizes

- Glass pavers are available in:
 - 2.75" and 3.5" square (historic pavers)
 - 4.5" and 7.5" round
 - 6" and 8" square

Panels come in a variety of common sizes. Custom shapes, sizes, and configurations are possible to fit any project's design.

Glazing

- Glazing options available:
 - Clear or sandblasted top for an anti-slip walking surface

Sandblasting the glass will allow for overall more slip resistance when walking across the top surface of the glass pavers. Custom faux finishes may also be available.

Concrete Finishes

- Six (6) standard colors
- Custom colors available to match any project's design
- Sand Blast, Acid Etched, or Light Broom finish on the top surface of the concrete
- Fully engineered and tested
- Stamped engineered drawings are available for all 50 States and Canada

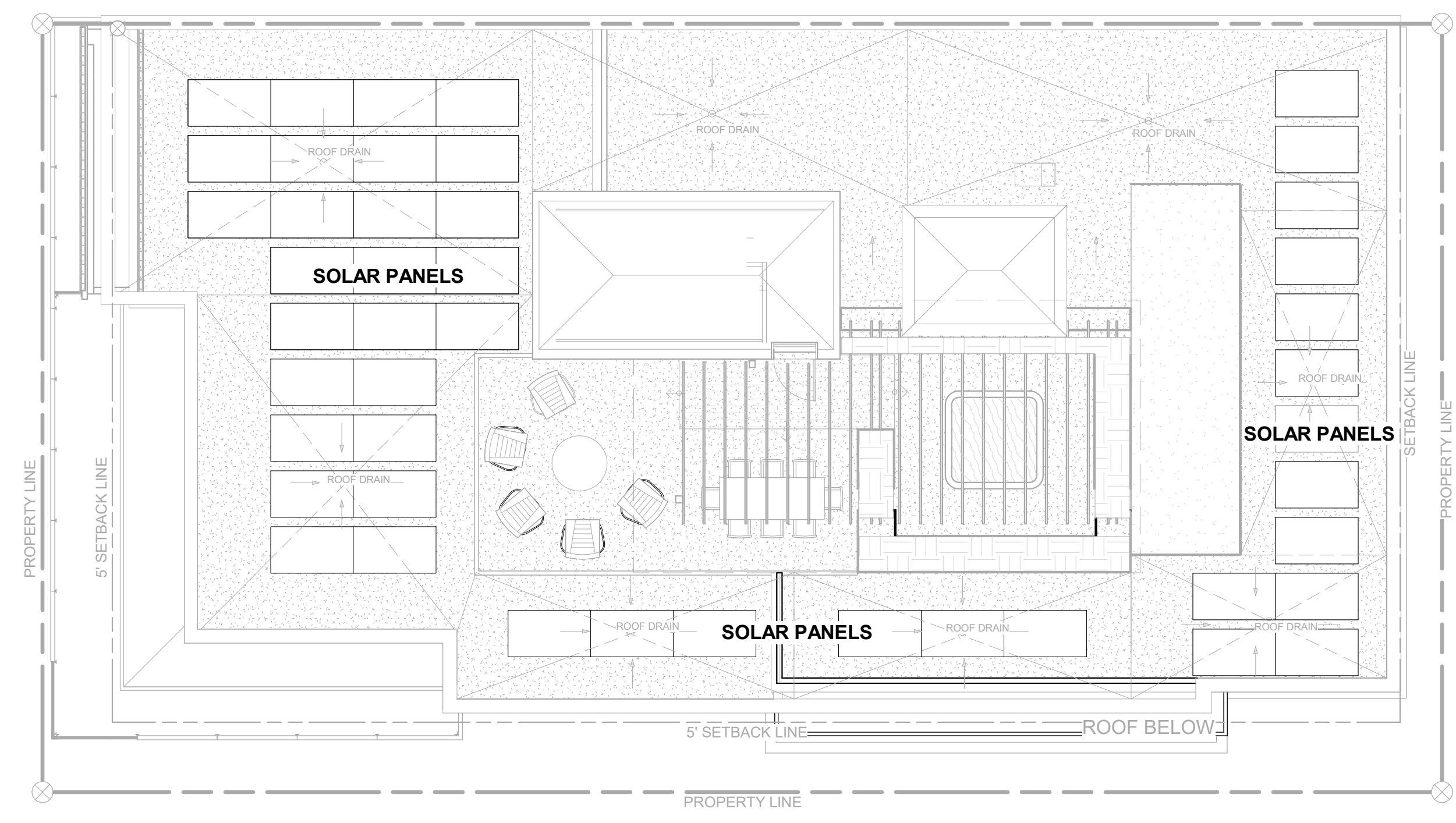
Common Applications:

Glass paver and precast concrete panels are extremely versatile and appropriate for use in all market sectors ranging from commercial offices, cultural centers, government building renovations, mass transit, and more. Below is a list of applications in which our precast concrete and pavers system has been installed. Prefabricated panels allow for a quick and easy installation, with low maintenance in the future. If you don't see your application below, give one of our design experts a call to start working on the design of your dreams.

Balconies	Flooring	Stair Treads
Barrel Vaults	Lobby Floors	Pavios
Bridges	Roadways	Walls
Canopies	Sidewalks	Windows
Deck Lights	Skylights	Vault Lights

Load Capabilities:

Precast concrete panels are engineered to carry 150 pounds per square foot live load over the course of a 5-foot span. Pre-glazed glass paver and precast concrete panels are engineered to handle high load capabilities. Incredibly strong, these precast concrete panels can even be engineered to withstand vehicular traffic and vehicular traffic loads as high as ASHTO H20-44.

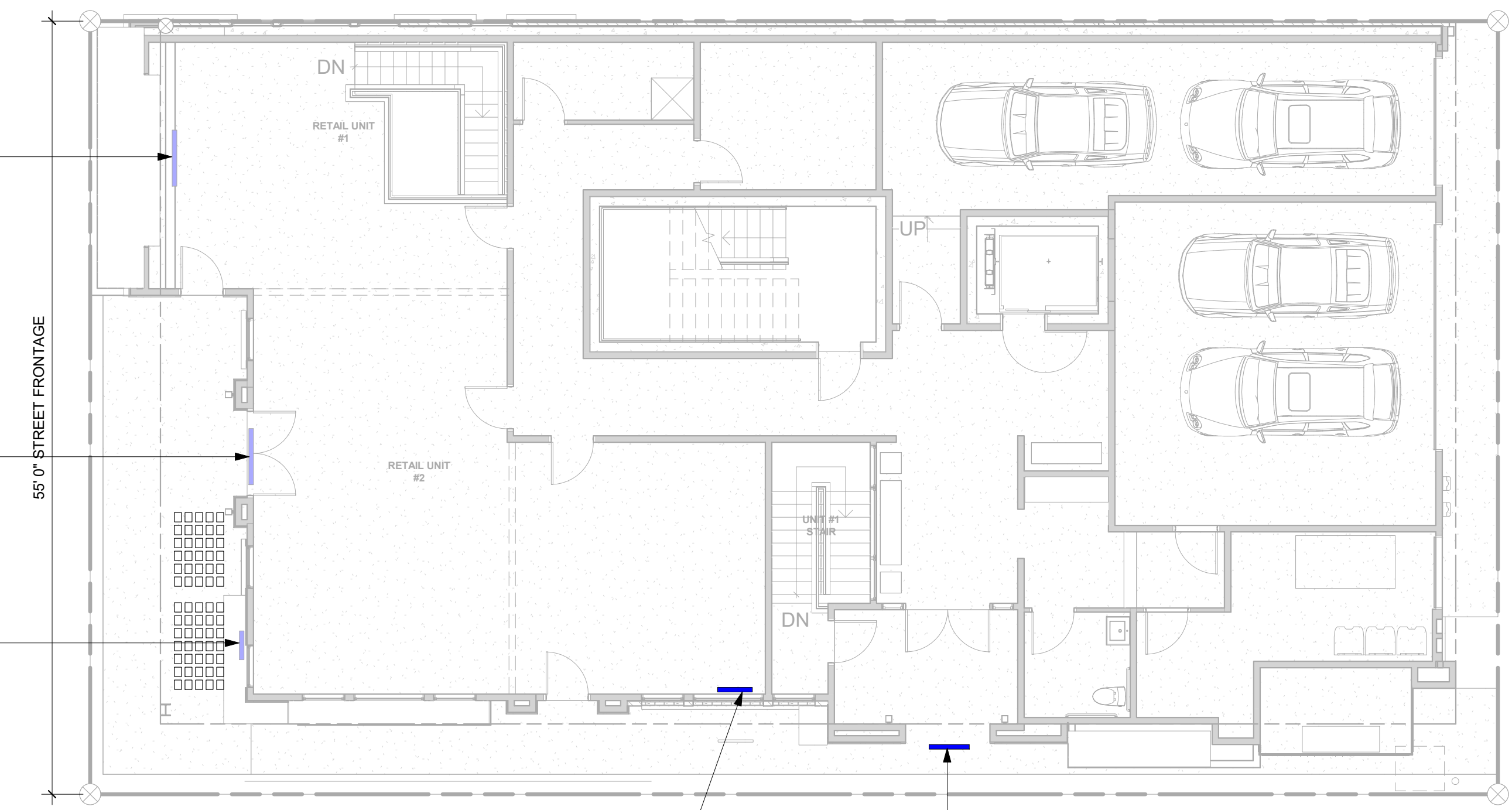


ROOF SOLAR PANEL LAYOUT
 1/8" = 1'-0" 1

INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

EXTERIOR SIGN
 -PROPOSED 8,625 SF
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127



INTERIOR RETAIL SIGN
 -4SQ FT MAX
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

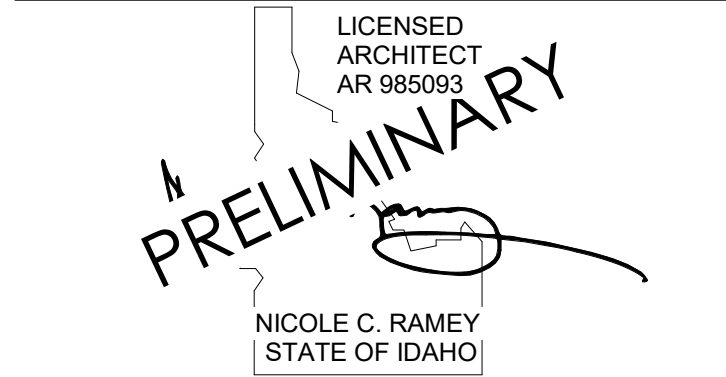
EXTERIOR SIGN
 -PROPOSED SIGN 3 SF
 -TO COMPLY WITH KETCHUM
 SIGN ORDINANCE 17.127.020

SIGNAGE PLAN
 1/8" = 1'-0" 3



11 661 SE 1ST STREET, SUITE 200
 BELLEVUE, WASHINGTON 98005
 TEL: (425) 453-9298
 FAX: (425) 452-8448

REGISTRATION:



INTAKE DATE: 02/22/23

REVISIONS:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK0000230010

DRAWING NAME:

SPEC SHEET

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

A5.3

PLOT SCALE: 1:1

REGISTRATION:

LICENSED ARCHITECT
 AR 985593
PRELIMINARY
 NICOLE C. RAMEY
 (STATE OF IDAHO)

INTAKE DATE: 02/22/23

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM
 IDAHO, 83340
 PARCEL #RPK00000230010



NORTHWEST PERSPECTIVE 4



SOUTHWEST PERSPECTIVE 1



SOUTH PERSPECTIVE 3



SOUTHEAST PERSPECTIVE 2

DRAWING NAME:

PERSPECTIVES

Drawn By: MS

Checked By: NR

Owner Approval:

PHASE:

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 2/22/2023

PLOT SCALE: 1:1

A6.8

From: [Participate](#)
To: [Heather Nicolai](#)
Subject: FW: Proposed mixed-use development at 200 N Leadville Ave. (P22-035 and P22-035A)
Date: Tuesday, February 28, 2023 9:58:16 AM

Public comment.

LISA ENOURATO | CITY OF KETCHUM

Public Affairs & Administrative Services Manager

P.O. Box 2315 | 191 Fifth St. W. | Ketchum, ID 83340

o: 208.726.7803 | f: 208.726.7812

lenourato@ketchumidaho.org | www.ketchumidaho.org

From: LES BOUDWIN <LESBOUDWIN@msn.com>
Sent: Tuesday, February 28, 2023 9:18 AM
To: Participate <participate@ketchumidaho.org>
Subject: Proposed mixed-use development at 200 N Leadville Ave. (P22-035 and P22-035A)

Good morning.

My name is Les Boudwin.

I live at 113 Howard Drive, #3, Ketchum, ID.

I've known Mr. Carr professionally and socially for years.

I have studied renderings of his proposed project at 200 N Leadville.

I think his design and concept look great with the articulation and mix of finishes on the exterior.

I support approval of his design.

Thank you,

Les Boudwin

Sent from [Outlook](#)



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 28, 2023

- PROJECT:** 691 N Spruce Avenue Residence
- APPLICATION TYPE:** Mountain Overlay Design Review (Application File No. P22-042B)
Lot Consolidation Preliminary Plat & Waiver (Application File No. P22-042A)
- PROPERTY OWNER:** Spruce and 6th LLC
- REPRESENTATIVE:** Jake Watkins, Roger Ferris + Partners (Architect)
- REQUEST:** Final Mountain Overlay Design Review and Lot Consolidation Preliminary Plat with Waiver Request for the development of a new 4,534-gross-square-foot one-family dwelling
- LOCATION:** 691 N Spruce Avenue (Ketchum Townsite: Block 91: Lots 7 & 8)
- ZONING:** Limited Residential (LR) & Mountain Overlay (MO)
- REVIEWER:** Abby Rivin – Senior Planner
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on February 8, 2023. The public hearing notice was published in the Idaho Mountain Express on February 8, 2023. A notice was posted on the project site and the city’s website on February 13, 2023. The story pole was installed on the project site on February 21, 2023.

I. EXECUTIVE SUMMARY

The applicant is proposing to develop a new one-family dwelling (the “project”) located at 691 N Spruce Avenue (the “subject property”) within the Limited Residential Zoning District (the “LR Zone”) and Mountain Overlay. The proposed residence is 4,534 gross square feet and contains five bedrooms and a two-car garage with storage space. The project proposes site improvements, including re-grading the existing driveway to comply with Fire Department requirements. The rear- and side-yard setback areas will be restored and revegetated with native grasses and sage brush. New aspen trees will be installed to enhance the existing grove on the property and new native chokecherries will be installed to screen utilities. The project plans are included as Attachment B to the staff report.

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, design review is required for the “construction or placement of new buildings or structures, including additions to any such structures or buildings existing at the effective date hereof, upon real property within the Mountain Overlay Zoning District.” The project is subject to all Mountain Overlay design review criteria and standards specified in KMC §17.104.070 as well as all applicable design review standards specified in KMC §17.96.060

The subject property (See Figure 1) is comprised of two separate lots as shown in Figure 2 located on Knob Hill. These lots are part of the original Ketchum Townsite that was created in 1948. Topography was not considered when the townsite was established, and Knob Hill contains platted blocks with multiple unimproved lots and unimproved public rights-of-way located high on the hillside.

The subject property is developed with an existing single-family residence that was constructed in 1977 and is proposed to be demolished. While the existing home is more than 50 years old, the building is not designated on the city’s adopted Historic Building/Site List. Review by the Historic Preservation Commission is not required; however, a demolition permit cannot be issued for the existing residence until a 60-day waiting period has concluded (KMC §15.16.040.B3) and a complete building permit application for a replacement project on the property has been accepted by the city and required fees have been paid (KMC §17.20.010.B).

The existing home was developed prior to the city’s establishment of the Mountain Overlay in 1989 and does not comply with current hillside development standards. Current code requires new buildings to be constructed in areas with less than 25% slope (KMC §16.04.020). The contours of the site and the adjacent undisturbed hillside show that the natural slope of the



Figure 1: Project Location Map (Sheet EX002)

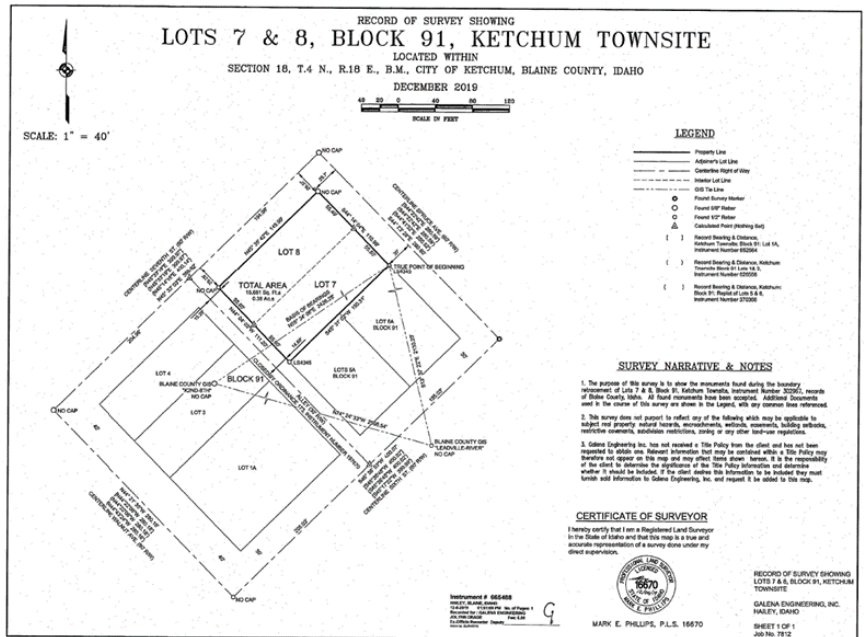


Figure 2: Survey Showing Lots 7 & 8

development parcel exceeded 25% prior to the construction of the existing nonconforming home in 1977.

Additionally, the existing home and structures, including retaining walls, encroach within the front, rear, and side yard setback areas and are nonconforming with the dimensional standards required in the LR Zone. The existing nonconforming home is proposed to be demolished. Since the existing nonconforming home is proposed to be demolished, the new development, including all existing and proposed site improvements, must comply with all current code standards.

The applicant has proposed consolidating the two lots so that the new single-family residence will comply with the setbacks required in the LR Zone. The lot consolidation preliminary plat must comply with all subdivision design and development standards specified in KMC §16.04.040. Building envelopes are required to be established on lots that contain areas of 25% or greater slope based on natural contours. These building envelopes must be established outside of hillsides with 25% and greater slopes (KMC §16.04.040.F2) unless the request qualifies for one of two waivers outlined in the subdivision code. Staff believes the application qualifies for the first waiver outlined, which states a waiver may be considered, “for lot line shifts of parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met.” The applicant has requested a waiver to create a reasonable building envelope on the consolidated development parcel.

Zoning Code Interpretation 22-001

The City of Ketchum Planning and Zoning Commission (the “Commission”) considered the question of whether nonconforming properties on hillsides of 25% and greater slope would be permitted to be redeveloped if the existing non-conforming home were to be demolished during their special meeting on February 15, 2022. Zoning Code Interpretation 22-001 is provided in Attachment I.

The Commission determined that existing nonconforming properties may be redeveloped under the following conditions:

- A. If the property configuration is proposed to be modified (lot line adjustment, lot consolidation etc.), then the new property configuration must establish a building envelope on the lowest portion of the property. Existing non-conforming building footprints are not permitted to be redeveloped outright. If a more compliant alternative at a lower elevation on the hillside property exists, then the new home must be sited in the more suitable area for redevelopment.
- B. If the property configuration is not being altered or changed, then a new home may be constructed at the Commission’s discretion through Mountain Overlay Design Review provided that the project does not exceed the height or limits of disturbance of the existing nonconforming home. The building footprint shall conform as close as possible to the existing building.

As mentioned above, the property configuration is proposed to be modified by combining lots 7 and 8, therefore the evaluation of the redevelopment falls under scenario A. The proposed building envelope has been established at the lower elevation of the consolidated parcel and complies with the minimum setbacks required in the LR Zone. KMC §17.104.070.A10 directs the Commission to consider if there are other sites on the property more suitable for the proposed development in order to carry out the

purposes of the Mountain Overlay. The new home is sited within the most suitable area for redevelopment at the lower elevation of the parcel.

The project also conforms to the requirements outlined for scenario B as well. The maximum height of the proposed home is 33 feet, which is 1.22 feet less than the maximum height of the existing home. The proposed residence's building footprint conforms to the building footprint of the existing home as shown on Sheet C1.1 of the project plans (Attachment B). The existing development's total building coverage is 4,084 square feet. The proposed redevelopment's building coverage is 2,478 square feet, which is 1,606 square feet less than existing.



Figure 3: Rear-Yard Existing Disturbance (Sheet EX004)

The site survey on Sheet C1.0 of the project plans shows the existing development's limits of disturbance. The total area of existing site disturbance is 8,469 square feet. The site photos on Sheets EX003 and EX004 of the project plans show the existing disturbed areas on the subject property. Existing disturbance within the front-yard setback area includes the driveway and retaining walls. Existing disturbance within the rear-yard setback area includes drystack retaining walls, landscape steps, a paver patio, and a drainage swale (See Figure 3).

Existing disturbance within the south-side-yard setback area includes railroad tie retainage and a tall concrete retaining wall (See Figure 4). Sheet C1.1 shows that the new single-family residence and all associated site improvements are contained within the existing limits of disturbance on the subject property.



Figure 4: Side-Yard Existing Disturbance (Sheet EX004)

Staff believes the project complies with Interpretation 22-001, zoning code requirements, design review standards, and subdivision regulations and recommends the Commission approve the project subject to conditions as outlined below.

II. BACKGROUND

The Planning and Building Department received the Pre-Application Design Review for the project on July 1, 2022 and received the Lot Consolidation Preliminary Plat application and waiver request on September 1, 2022. The preliminary plat was reviewed by planning staff and city departments concurrently with the Pre-Application, and the applications were deemed complete on October 13, 2022. The Commission reviewed the Pre-Application on November 8, 2022 and unanimously advanced the project to final Mountain Overlay Design Review. During their review of the Pre-Application, the Commission commented that the proposed home was thoughtfully designed and met the requirements outlined in Zoning Code Interpretation 22-001.

The Planning and Building Department received the final Mountain Overlay Design Review application on November 22, 2022. The application was reviewed by planning staff and city departments, and review comments were provided to the applicant on January 6, 2023. The application was deemed complete on February 3, 2023.

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A).

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land uses decisions. The community's core values include protecting the character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. The comprehensive plan states:

Community Character: You know when you have entered Ketchum; this is a place centered on the "town" and identifiable from the "country" by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority (page 9).

Environmental Quality and Scenic Beauty: Ketchum's citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum's wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future (page 10).

The comprehensive plan sets policies to guide land-use decisions and identifies the following goals regarding hillside development:

- Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space.
- Protect and enhance views of the surrounding mountains and natural features.
- Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.
- Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

The Mountain Overlay ensures the preservation of Ketchum's surrounding hillsides and ridgelines and minimizes impacts on natural topography, geology, soils, drainage, wildlife, and native vegetation. The Mountain Overlay design review standards reduce visual impact by directing building sites away from higher elevations and keeping hillsides open and unobstructed. Additionally, Mountain Overlay standards protect public health, safety, and welfare by ensuring the adequate provision of emergency services, fire protection, and utilities.

The comprehensive plan's future land use map designates the future land use for the subject property as low-density residential. Desired primary uses within this future land use category include single-family and duplex residences as well as accessory units. Open space is identified as an appropriate secondary use that complements the low-density residential units.

The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. The project protects the natural hillside by: (1) conforming to the existing home's building footprint and (2) containing all construction activity within the existing limits of disturbance on the subject property. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within rear- and side-yard setback areas. The project meets the desired future land-use type, locational characteristics, and character of development specified in the comprehensive plan.

Light Trespass

During their review of the Pre-Application, the Commission expressed concerns with light trespass due to the significant amount of glazing proposed for the new home and its associated disturbance to wildlife. One of the purposes of the Mountain Overlay is to protect wildlife habitat. Artificial light negatively affects wildlife by disrupting the nocturnal environment, interfering with reproduction, and disturbing migratory patterns. Mountain Overlay standards do not address light trespass or glazing and the City's Dark Skies Ordinance addresses exterior lighting only, however, staff did request the applicant address the Commission's comment in their final application submittal. Pursuant to KMC §17.96.050.B, "the Commission may impose any conditions deemed necessary to ensure the health, safety, or welfare of the public is not jeopardized." The Commission may attach conditions that require more restrictive standards than those generally found in the zoning code pursuant to KMC §17.96.050.B6.

The applicant summarized their response to the Commission’s feedback in a letter dated November 18, 2022 (Attachment A). The letter states:

We have done the following to address the Commission’s concerns:

- 1) *We have reduced the amount of glazing on the northern and eastern facing facades.*
- 2) *We have introduced wood louvers on the eastern façade. These will reduce the light trespass of the glazed surfaces behind them by approximately 50%.*
- 3) *We will install a film on all glazed surfaces which will reduce the light transmittance of the glazing.*

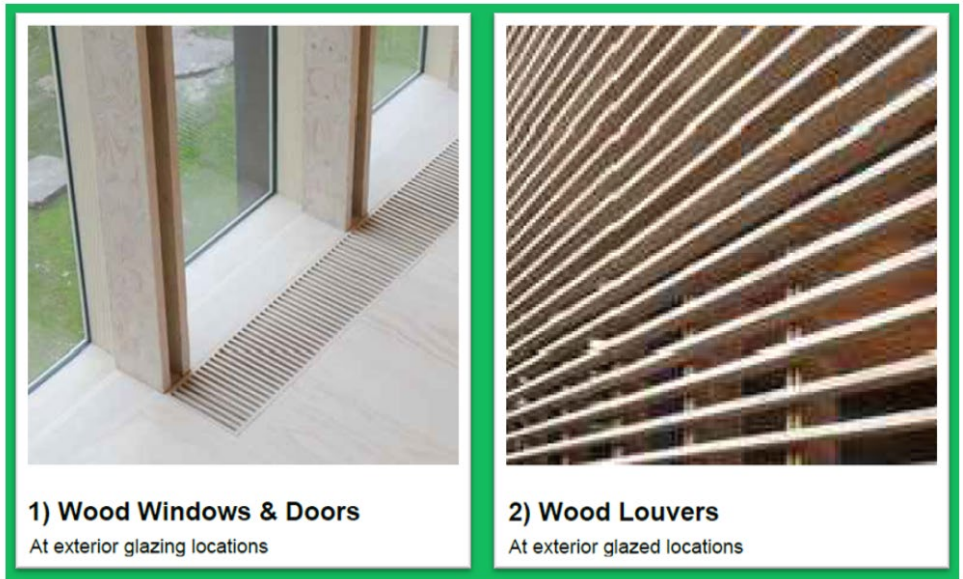
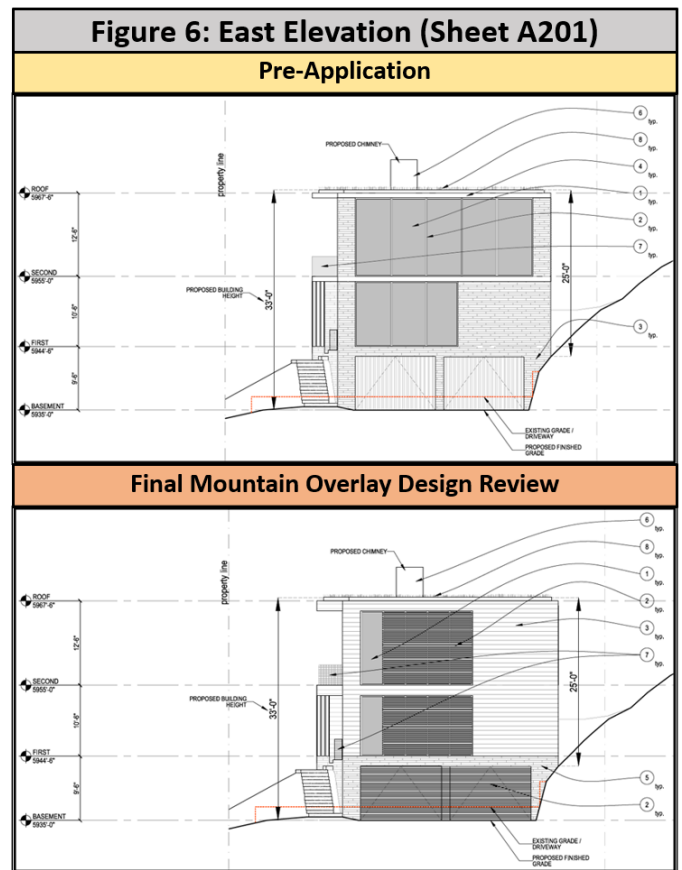
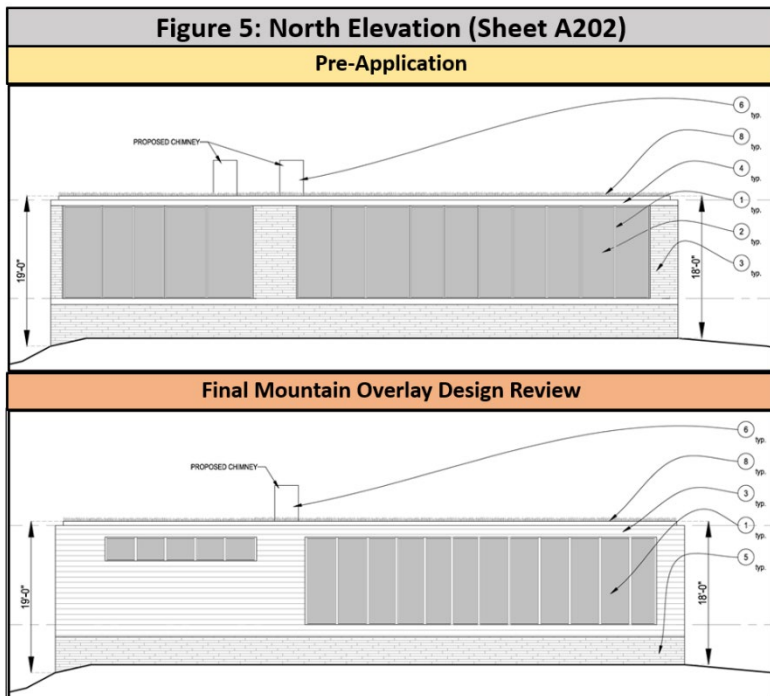


Figure 5: Glass Windows and Doors & Wood Louvers (Sheet G002)

- 4) *We will install a lighting control system which has the ability to set different lighting scenes, including the ability to dim the lights and place them on timers.*
- 5) *We have included minimal exterior downlighting. More information on this can be found on sheet G001 prepared by Apex Lighting and Roger + Ferris Partners.*

Figures 5 and 6 provide a comparison showing the north and east elevations as proposed with the Pre-Application and with the design changes proposed with the final Mountain Overlay Design Review.



During department review, planning staff requested the applicant provide more information on the proposed film, including the percent reduction in light trespass that will be achieved through this treatment. Staff also recommended the design team consider reducing glazing at the south-facing wall to further minimize light trespass as most of this façade is comprised of glass windows and doors. The applicant did not provide additional information on the film or change the design of the south façade.

Staff recommends the Commission consider the applicant's proposed changes and current project design to determine if their response has sufficiently addressed the Commission's concerns about light trespass emanating from the home and associated disturbance to wildlife.

Criteria 2: Applicable Standards and Criteria

Conformance with Zoning Regulations

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements including permitted uses, dimensional limitations, parking, development standards, and dark skies. Staff believes the project complies with all zoning code regulations and dimensional standards required in the LR Zone. Comprehensive analysis of the project's conformance with zoning code requirements and dimensional standards is provided in Attachment E.

Conformance with Design Review Improvements and Standards

During department review, city staff reviewed the project for conformance with all design review standards and required improvements specified in KMC §17.96.060 and Mountain Overlay design review criteria and standards specified in KMC §17.104.070. Additionally, staff reviewed the project for conformance with all city code requirements for right-of-way improvements, utilities, and drainage. Staff believes that these requirements are either: (a) met, (b) not applicable, or (c) have been addressed by conditions of approval. Please see Attachment F and Attachment G for staff's comprehensive design review standards analysis.

Unobstructed Access

Pursuant to Ketchum Municipal Code §17.96.060.G5, "unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks, and similar service vehicles to all necessary locations within the proposed project." The portion of Spruce Avenue north from 6th Street is not, and cannot be, maintained by the city due to its steep grade. During department review, planning staff requested the applicant provide more information on how this portion of Spruce Avenue is currently maintained, including who is responsible for snow removal. The applicant responded that there is a shared verbal agreement between all property owners on north Spruce Avenue to remove snow whenever necessary. Staff recommends the following condition of approval to ensure that unobstructed access to the project will be maintained:

Recommended Condition of Approval No. 2: A roadway maintenance agreement with between the impacted properties on north Spruce Avenue and the city, or at a minimum between the subject property owner and the city, to memorialize that the property owners are responsible for providing unobstructed access by removing snow, maintaining, and repairing the portion of Spruce Avenue north from 6th Street is required. The roadway maintenance agreement must be approved by the City Council and recorded with the office of the Blaine County Clerk and Recorder executed prior to or concurrent with final plat approval. The final plat shall include a

note that references the instrument number for the recorded roadway maintenance agreement.

IV. CONFORMANCE WITH SUBDIVISION STANDARDS

During department review, staff reviewed the lot consolidation preliminary plat application and waiver request for conformance with the procedures for subdivision approval (KMC §16.04.030) and subdivision development and design standards (KMC §16.04.040). Certain standards are not applicable for one of the following reasons:

- The standard applies to the establishment of new subdivisions creating multiple new lots that will form blocks around new streets, and not the subject property, which is comprised of two existing platted lots within the original Ketchum Townsite.
- The standard applies to an action that will be taken at the final plat stage of the process.
- The City Engineer has determined that the standard does not apply.

Staff believes the proposed lot consolidation preliminary plat and waiver request comply with all applicable subdivision requirements and standards.

V. STAFF RECOMMENDATION

Staff believes the project, as conditioned, complies with Interpretation 22-001, zoning code requirements, design review standards, and subdivision regulations. Staff recommends approval of the applications with the following recommended conditions of approval:

Design Review: Recommended Conditions of Approval

1. The project is subject to all conditions of approval associated with Lot Consolidation Application File No. P22-042A.
2. A roadway maintenance agreement with between the impacted properties on north Spruce Avenue and the city, or at a minimum between the subject property owner and the city, to memorialize that the property owners are responsible for providing unobstructed access by removing snow, maintaining, and repairing the portion of Spruce Avenue north from 6th Street is required. The roadway maintenance agreement must be approved by the City Council and recorded with the office of the Blaine County Clerk and Recorder executed prior to or concurrent with final plat approval. The final plat shall include a note that references the instrument number for the recorded roadway maintenance agreement.
3. This Design Review approval is based on the project plans dated January 13, 2023 and information presented and approved at the February 28, 2023 Planning and Zoning Commission Meeting. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specifications for the right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
5. The limits of disturbance shall be established on the construction management plan submitted with the building permit application and protected by fencing for the duration of construction.

6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC 17.96.090.
7. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Lot Consolidation Preliminary Plat: Recommended Conditions of Approval

1. The lot consolidation preliminary plat is subject to all conditions of approval associated with MO Design Review Application File No. P22-042B.
2. A certificate of occupancy shall not be issued until the final plat is review and approved by the City Council and recorded with the office of the Blaine County Clerk and Recorder.
3. Failure to record a final plat within two (2) years of Council’s approval of a preliminary plat shall cause the Preliminary Plat to be null and void.

Recommended Motions

1. “I move to approve the 691 N Spruce Avenue Residence Mountain Overlay Design Review application subject to conditions 1 through 8 and direct staff to return with findings of fact.”
2. “I move to recommend approval of the lot consolidation preliminary plat and waiver request for the 691 N Spruce Avenue Residence project to the City Council subject to conditions 1 through 3 and direct staff to return with findings of fact.”

VI. ATTACHMENTS:

- A. Application Materials: MO Design Review Application & Supplemental Materials
- B. Application Materials: MO Design Review Plan Set
- C. Application Materials: Lot Consolidation Preliminary Plat Application with Waiver Request & Supplemental Materials
- D. Application Materials: Lot Consolidation Preliminary Plat Plan Set
- E. Zoning and Dimensional Standards Evaluation
- F. Mountain Overlay Design Review Standards Evaluation
- G. Design Review Standards Evaluation
- H. Lot Consolidation Preliminary Plat: Subdivision Standards Analysis
- I. Planning and Zoning Commission Zoning Code Interpretation 22-001

Attachment A
Application Materials:
MO Design Review
Application &
Supplemental Materials



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P22-042B
Date Received:	11/22/22
By:	HN
Fee Paid:	\$1400
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name:	RESIDENCE - 691 NORTH SPRUCE AVENUE		
Owner Name:	SPRUCE AND 6TH LLC		
Mailing Address:	ATTN: INEZ D'ARCANGELO 611 NORTH ST, GREENWICH, CT 06830		
Phone:	SEE REPRESENTATIVE		
Email:	SEE REPRESENTATIVE		
PROJECT INFORMATION			
Architect/Representative:	ROGER FERRIS + PARTNERS		
Phone:	203.222.4848		
Mailing Address:	11 WILTON ROAD, WESTPORT, CT 06880		
Email:	WATKINS@FERRISARCH.COM (JAKE WATKINS) & DARIN@FERRISARCH.COM (NICK DARIN)		
Engineer of Record:	GALENA ENGINEERING		
Engineer Email:	MATT@GALENA-ENGINEERING.COM (MATT SMITHMAN) & JZARUBICA@GALENA-ENGINEERING.COM (JAMES ZARUBICA)		
Legal Land Description:	LOTS 7 & 8 OF BLOCK 91 - CITY OF KETCHUM, BLAINE COUNTY, IDAHO - RPK0000091007A		
Project Address:	691 NORTH SPRUCE AVENUE		
Lot Area:	16,681 SF		
Zoning District:	LR - LIMITED RESIDENTIAL		
Anticipated Use:	SINGLE FAMILY DWELLING		
Number of Residential Units:	1		
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
	Proposed	Existing	
Basement:	232 SF	1,020 SF	
1 st Floor:	2,139 SF	1,508 SF	
2 nd Floor:	2,163 SF	2,324 SF	
3 rd Floor:	-	-	
Decks:	633 SF - DECK	783 SF - TERRACE	394 SF - DECK
Mezzanine:	-	-	
Total:	4,534 SF	4,852 SF	
Building Coverage:	2,748 SF 16.5%	Curb Cut: N/A - Existing driveway width along R.O.W. = 24.25' (no change proposed)	
PROPOSED SETBACKS			
Front: 41.57'	Side: 16.75'	Side: 58.73'	Rear: 28.29'
ADDITIONAL INFORMATION			
Building Height: 33'		Parking Spaces Provided: 2	
Will Fill or Excavation Be Required?	Yes X	No	
If Yes, Amount in Cubic Yards	Fill: -	Excavation: 460	
Will Existing Trees or Vegetation Be Removed?	Yesx	No	

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

NOVEMBER 18, 2022

Date

November 18, 2022

Abby Rivin, AICP
Senior Planner
City of Ketchum Department of Planning and Building

Re: 691 N Spruce Ave Residence: Follow Up

Dear Abby,

We have prepared this document in response to your email sent on Wednesday, November 9, 2022 following our presentation to the Planning and Zoning commission. Our responses are indicated with red, italicized font.

- You'll need to submit structural drawings for the proposed home prepared and stamped by an Idaho-licensed engineer with the final Mountain Overlay Design Review application.

See enclosed letter from Eckersley O'Callaghan dated November 17, 2022, named 'Foundation Design – 691 N Spruce Ave, Ketchum, ID'.

- The revised project plans propose stairs within the south interior side setback area. The railroad tie steps are less than 12 inches above finished grade and approximately 2.5 feet below existing grade. Verification from an Idaho-licensed engineer confirming that these steps do not require structural engineering or retainage within the required setback area will be required to be submitted with the final Mountain Overlay Design Review application.

See enclosed letter from Eckersley O'Callaghan dated November 17, 2022, named 'Confirmation of Non-Structural Nature of Entrance Stairs – 691 N Spruce Ave, Ketchum, ID'.

- You'll need to submit verification that no handrails or guards for the proposed stairs within the south side yard setback area and that the design of these stairs complies with all requirements of the 2018 International Residential Code with the final Mountain Overlay Design Review application.

These stairs include 6" tall risers. This is less than the maximum riser height permitted by the 2018 Idaho IRC. Section R311.7.5.1 of the 2018 Idaho IRC indicates that the maximum permissible riser height is 7-3/4". These stairs include 18" deep treads. This is greater than the minimum tread depth permitted by the 2018 Idaho IRC. Section R311.7.5.2 of the 2018 Idaho IRC indicates that the minimum permissible tread depth is 10". A code compliant handrail will be designed to accompany these steps. This handrail will not encroach into the south side yard setback area.

- The landscape plan must be revised to comply with Fire Department requirements for clearance around the home.

The landscape plans have been revised to comply with Fire Department requirements for clearance around the home. Please see updated sheet L2.0 prepared by BYLA.

- Please resolve the discrepancy between the limits of disturbance line shown on the civil site survey and the existing landscaping conditions.

The landscape drawings no longer show any limit of disturbance lines. The existing and proposed limit of disturbance lines can be seen on sheets C1.0 & C1.1 prepared by Galena Engineering.

- The Commission expressed concerns with light trespass due to the amount of glazing proposed for the new home and the associated disturbance to wildlife. Staff recommends reducing the amount of proposed glazing to respond to the Commission's feedback and meet the purpose of the Mountain Overlay to protect wildlife habitat.

We have done the following to address the commission's concerns:

- 1) We have reduced the amount of glazing on the northern and eastern facing facades.*
- 2) We have introduced wood louvers on the eastern façade. These will reduce the light trespass of the glazed surfaces behind them by approximately 50%.*
- 3) We will install a film on all glazed surfaces which will reduce the light transmittance of the glazing.*
- 4) We will install a lighting control system which has the ability to set different lighting scenes, including the ability to dim the lights and place them on timers.*
- 5) We have included minimal exterior downlighting. More information on this can be found on sheet G001 prepared by Apex Lighting and Roger Ferris + Partners.*

Please do not hesitate to contact us with any questions.

Best,

Jake Watkins, AIA

January 13, 2023

Abby Rivin, AICP
Senior Planner
City of Ketchum Department of Planning and Building

Re: 691 N Spruce Ave Residence: Completeness Review

Dear Abby,

We have prepared this document in response to the Completeness Review we received on January 6th regarding our MODR Application. Our responses are indicated with red, italicized font.

1. Comment: The portion of the Spruce Avenue north from 6th Street is not maintained by the City. Pursuant to Ketchum Municipal Code §17.96.060.G5, unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks, and similar service vehicles to all necessary locations within the proposed project.

- Required Action: Please provide information on how this portion of Spruce Avenue is currently maintained, including who is responsible for snow removal. Staff requests you provide this information to ensure that unobstructed access to the project will be maintained and document compliance with Ketchum Municipal Code §17.96.060.G5.

There is a shared verbal agreement between all property owners on North Spruce Avenue to remove snow whenever necessary.

2. Comment: The site grading and drainage plan on Sheet C1.1 doesn't specify the proposed contour intervals for the driveway-grading improvements.

- Required Action: Please specify the proposed contour intervals for the driveway-grading improvements shown on Sheet C1.1 of the project plans.

The proposed contours are shown on the driveway. We clarified this with Abby Rivin (P&Z staff) and Robyn Mattison (City Engineer) on a conference call held on Friday, Jan. 13th. See sheet C1.1 by Galena Engineering.

3. Comment: The site grading and drainage plan on Sheet C1.1 shows that a new infiltration gallery (Note S06) is proposed to be installed along the full length of the south side-yard setback area. The civil notes and details on Sheet C1.2 do not provide specifications for the proposed infiltration gallery.

- Required Action: Please provide more details on the proposed infiltration gallery.

Details have been added. We reviewed this with Abby Rivin (P&Z staff) and Robyn Mattison (City Engineer) on a conference call held on Friday, Jan. 13th. See sheets C1.1 & C1.2 by Galena Engineering.

4. Comment: The landscape plan on Sheet L2.0 specifies that the driveway will include a snowmelt system. In addition, Sheet L2.0 shows that two snow storage areas will be provided on site and includes a note stating that snow will be hauled off site if needed. The engineered plans on Sheets C1.1 and C1.2 show that a new asphalt driveway will be constructed. The civil drawings do not specify that the driveway will include a snowmelt system. Per our phone conversation on January 5th, 2023, the driveway will include a snowmelt system. Pursuant to Ketchum Municipal Code §17.96.060.H4, snowmelt is permitted in lieu of providing snow storage areas on site. The on-site snow storage areas and snow hauling are not required as the driveway is proposed to include a snowmelt system.

- Required Action: Please resolve the discrepancy between the civil and landscape drawings and revise the civil plans to specify the location and dimensions of the heated driveway area and snowmelt system. As on-site snow storage areas and snow hauling are not required per Ketchum Municipal Code §17.96.060.H4, Staff recommends that you remove these from the snow storage plan indicated on Sheet L2.0.

We clarified this with Abby Rivin (P&Z staff) and Robyn Mattison (City Engineer) on a conference call held on Friday, Jan. 13th.

The snow storage areas and snowmelt system indicated on the landscape plan have been removed. See sheet L2.0 by BYLA.

The snowmelt system location and area have been indicated on the plans. See sheet C1.1 by Galena Engineering.

5. Comment: The grading and drainage plan on Sheet C1.1 indicates that in addition to removing the existing nonconforming retaining walls on the subject property, the portion of the retaining wall that extends into the Spruce Avenue public right-of-way will also be removed. During our phone conversation on January 5th, 2023, you clarified that the entirety of the existing retaining wall that borders the dead end of Spruce Avenue is proposed to be removed.

- Required Action: Since the retaining wall bordering the dead end of Spruce Avenue is proposed to be removed, the proposed grading and drainage plan on Sheet C1.1 must be revised to specify how the finished grade proposed for the driveway access will tie into the existing grade of the hillside above the street.

We discussed this with Abby Rivin (P&Z staff) and Robyn Mattison (City Engineer) on a conference call held on Friday, Jan. 13th. We will specify how the driveway will tie into the existing grade during the building permit application process.

6. Comment: The application form notes that 460 cubic yards of excavation and no fill is proposed for the project. Pursuant to Ketchum Municipal Code §17.104.070.B, a grading plan prepared by Idaho-licensed engineer that specifies the amount of cut and fill in cubic yards is required.

- **Required Action:** Please add the proposed amount of cut and fill in cubic yards to the site grading and drainage plan on Sheet C1.1.

The cut and fill figures have been added to the plans. See sheet C1.1 by Galena Engineering.

7. **Comment:** The preliminary plat map includes a note stating: natural slope disturbed presently under 25%--determined by Staff to be over 25%.

- **Required Action:** Please remove the portion of the note stating determined by Staff to be over 25% to minimize any confusion for the public and the Planning and Zoning Commission.

The notes have been revised. See preliminary plat map by Galena Engineering.

8. **Comment:** The landscape plan on Sheet L2.0 includes a picture illustrating the design concept proposed for the entry stairs. The picture shows stone treads separated by grass. The entry stairs proposed for the project are comprised of railroad ties that form risers along a gravel pathway.

- **Staff Recommendation:** Staff recommends that you add a note to Sheet L2.0 clarifying that the picture is an illustrative example of the design concept to minimize confusion for the public and Planning and Zoning Commission.

A note has been added indicating that the image is for design intent only. See sheet L2.0 by BYLA.

9. **Comment:** Pursuant to Ketchum Municipal Code §17.104.070.B, a description of proposed drilling or blasting must be submitted with the MO Design Review application.

- **Required Action:** Please provide a narrative description of any anticipated drilling and blasting of bedrock that may be required for the construction of the new home.

We do not anticipate drilling or blasting as we will be rebuilding in place, in a location that has already been disturbed.

10. **Comment:** During their review of the Pre-Application on November 8th, 2022, the Planning and Zoning Commission expressed concerns with light trespass and associated disturbance to wildlife due to the significant amount of glazing proposed for the new home. You've responded to the Commission's feedback by reducing the amount of glazing on the north and east elevations. The material proposed for the guardrails along the south elevation has been changed from glass to cable railings. While this guardrail-material change slightly reduces the amount of glass, overall glazing at the south elevation has not been significantly reduced. Your narrative notes that a film will be added to the glazing to minimize the amount of light emanating from the home.

- **Staff Recommendation:** Staff recommends that the design team consider reducing

glazing at the south elevation to further minimize light trespass as most of this façade is comprised of glass windows and doors. Staff recommends that you provide more information on the film that will be added to the glazing, including the percent reduction in light trespass that will be achieved through this treatment.

We have reduced the glazing in response to the commission's concerns.

11. Comment: The design of the home has been modified to incorporate more material differentiation across all facades. The Pre-Application proposed stone cladding along all facades from the partially exposed basement to the second floor of the home. The exterior material proposed for the upper levels has been modified from stone to wood cladding. Staff believes that this exterior material modification differentiates the partially exposed basement from the upper levels of the home providing visual relief that enhances the overall design of the project.

• Required Action: During the Commission's review of the Pre-Application on November 8th, 2022, you presented a rendering of the home that showed the stone cladding across all floors. Staff recommends that you provide updated renderings of the home that show the wood cladding to further illustrate this design change.

The renderings that were presented during the hearing did show wood cladding on the upper levels and stone cladding on the lowest level. These will be shared again at the next hearing.

12. Comment: Pursuant to Ketchum Municipal Code §17.104.070.A.13, the limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction. You've submitted a construction management plan that indicates the limits of disturbance will be protected by fencing to document compliance with this standard. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be required to be submitted with the building permit application. City Departments will conduct a comprehensive review of the proposed construction management plan during plan review for the building permit.

• No Action Required at this Time.

13. Comment: Pursuant to Ketchum Municipal Code §17.96.040.C2j, building corners shall be staked on the site, all trees proposed to be removed shall be flagged, and story poles must be installed at the maximum roof peaks at least one week prior to the Commission meeting.

• Staff Recommendation: Staff recommends that the story pole illustrating the maximum roof peak be installed at the southeast corner of the home that faces 6th Street and Walnut Avenue. No action is required at this time—this requirement must be met at least one week prior to the Commission meeting. If the installation of a story pole causes concerns due to existing building, then you may propose an alternative method for Staff consideration.

A storypole will be installed on the existing home. The final location will be reviewed with P&Z staff before erection.

Roger Ferris + Partners

Please do not hesitate to contact us with any questions.

Best,

Jake Watkins, AIA

Attachment B
Application Materials:
MO Design Review Plan
Set

Residence

691 North Spruce Ave.
Ketchum, ID 83340

Mountain Overlay Design Review January 13, 2023



Residence - 691 North Spruce Ave		RF+P Project #21-002									
Ketchum, ID											
Drawing Number	Drawing Name	Consultant	Scale	Date of Issue							
				10	16	26	06	11	18	13	
				05	06	08	10	10	11	01	
				2022	2022	2022	2022	2022	2022	2023	
				Issued for Pre-App - MODR	Issued for Pre-App - MODR Revision #1	Issued for Pre-App - MODR Revision #2	Issued for Pre-App - MODR Revision #3	Issued for Pre-App - MODR Revision #4	Issued for MODR	Issued for MODR Revision #1	
Cover											
A000	Cover Sheet and Drawing Index	RF+P	N/A								
Existing Conditions											
EX001	Vicinity Map	RF+P	N/A								
EX002	Vantage Points	RF+P	N/A								
EX003	Existing Site Photos	RF+P	N/A								
EX004	Existing Site Photos	RF+P	N/A								
EX005	Existing Site Photos	RF+P	N/A								
Civil											
-	Subdivision Plat Lots 7_8_Block 91	GE	1" = 40'								
-	Subdivision Plat Lot 7a_Block 91	GE	1" = 30'								
-	Existing Site Conditions	GE	1" = 10'								
C1.1	Proposed Site Grading and Drainage Plan	GE	1" = 10'								
C1.2	Notes & Details	GE	Varies								
Landscape											
L1.0	Landscape Existing Conditions	BYLA	1/8" = 1'-0"								
L1.1	Landscape Grading Plan	BYLA	1/8" = 1'-0"								
L2.0	Landscape Plan	BYLA	1/8" = 1'-0"								
Architectural											
A101	Basement Plan	RF+P	1/8" = 1'-0"								
A102	First Level Plan	RF+P	1/8" = 1'-0"								
A103	Second Level Plan	RF+P	1/8" = 1'-0"								
A104	Roof Plan	RF+P	1/8" = 1'-0"								
A112	First Level Reflected Ceiling Plan	RF+P	1/8" = 1'-0"								
A201	Building Elevations	RF+P	1/8" = 1'-0"								
A202	Building Elevations	RF+P	1/8" = 1'-0"								
A301	Site/Building Sections	RF+P	1/8" = 1'-0"								
Miscellaneous											
G001	Proposed Lighting Fixtures	RF+P	N/A								
G002	Proposed Material Palette	RF+P	N/A								
G003	3D Comparison	RF+P	N/A								
-	Construction Staging Plans	RF+P	N/A								

Residence

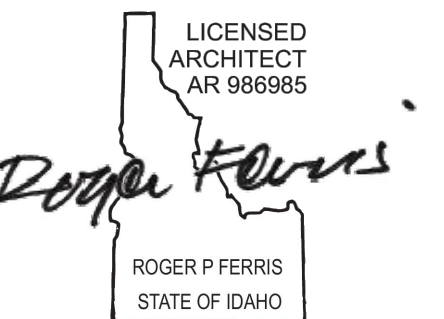
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
2	MODR - REV #1	JUNE 16, 2022	CITY
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6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

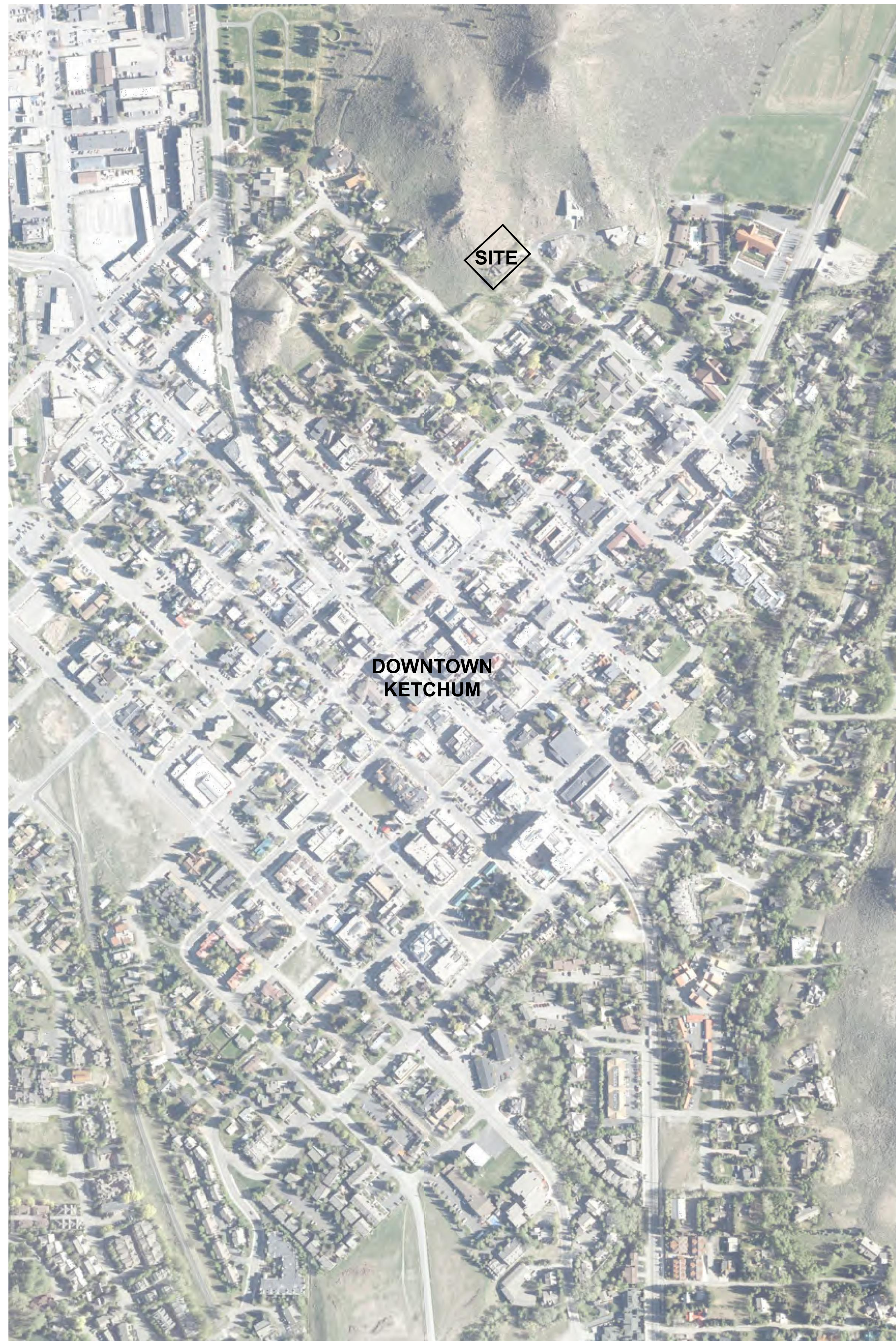
SHEET NAME

COVER SHEET

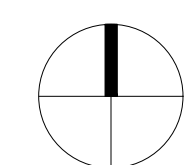
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

A000

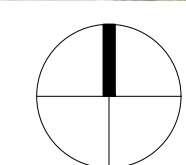
Vicinity Map



City Aerial



Neighborhood Aerial



Residence

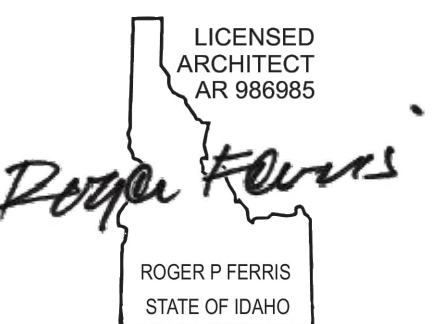
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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

VICINITY MAP

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX001

Vantage Points



1) View from North Spruce Ave



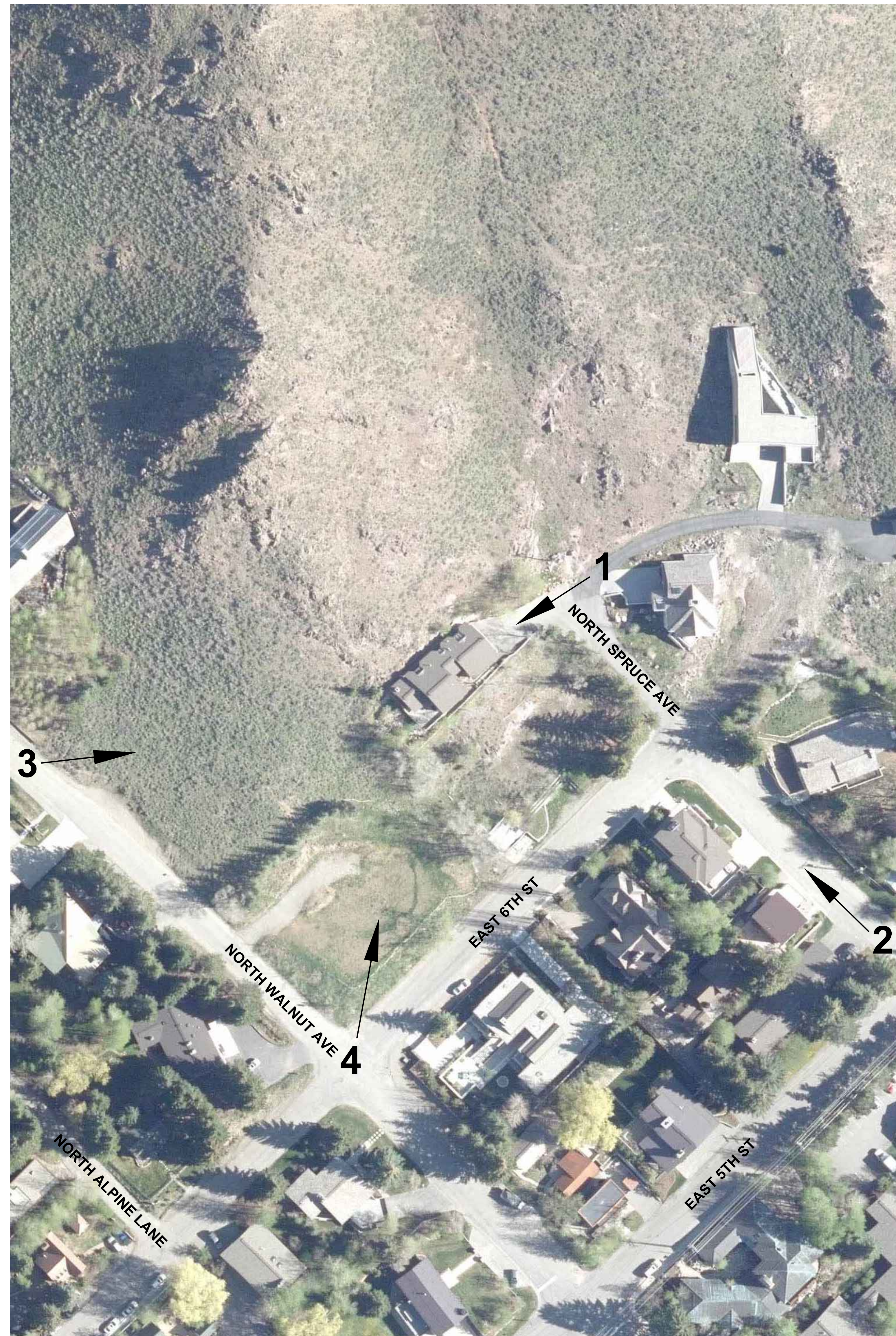
2) View from Intersection of North Spruce Ave & East 5th St



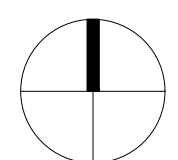
3) View from North Walnut Ave



4) View from intersection of North Walnut Ave & East 6th St



Neighborhood Aerial



Residence

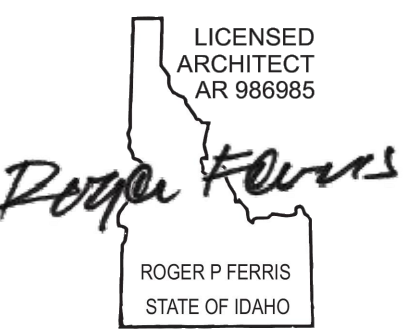
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SHEET NAME

VANTAGE POINTS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX002

Existing Site Photos



1) View at back of existing house



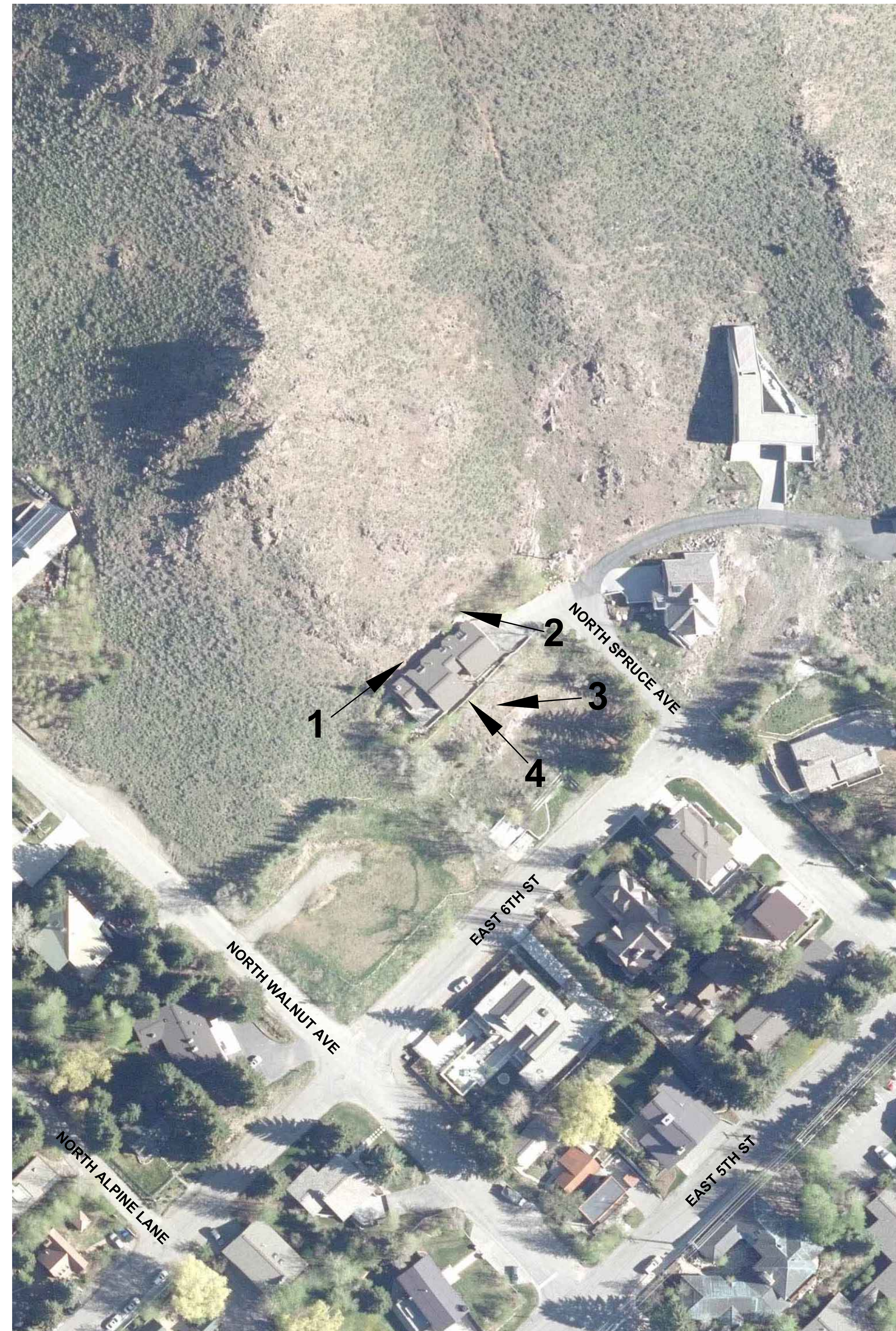
2) View from driveway



3) View from 671 East 6th St



4) View from 671 East 6th St



Neighborhood Aerial

Residence

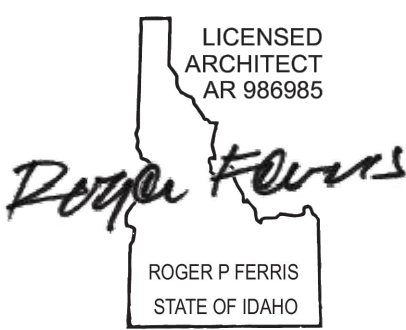
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SHEET NAME

EXISTING SITE PHOTOS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX003

Existing Site Photos



Residence

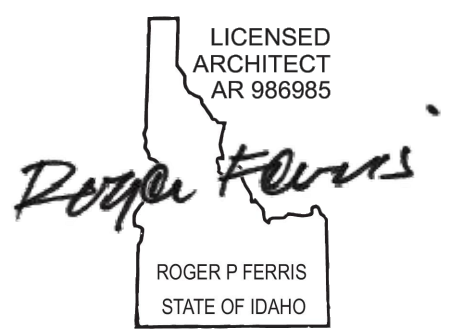
691 North Spruce Ave.
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ARCHITECT'S SEAL



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6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

EXISTING SITE PHOTOS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX004

Existing Site Photos



Residence

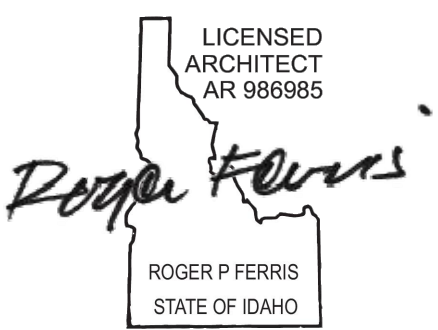
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

EXISTING SITE PHOTOS

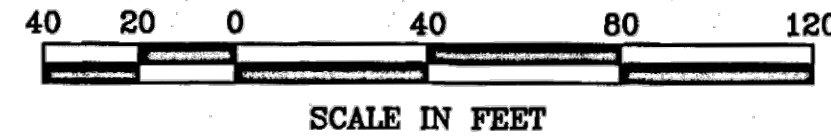
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX005

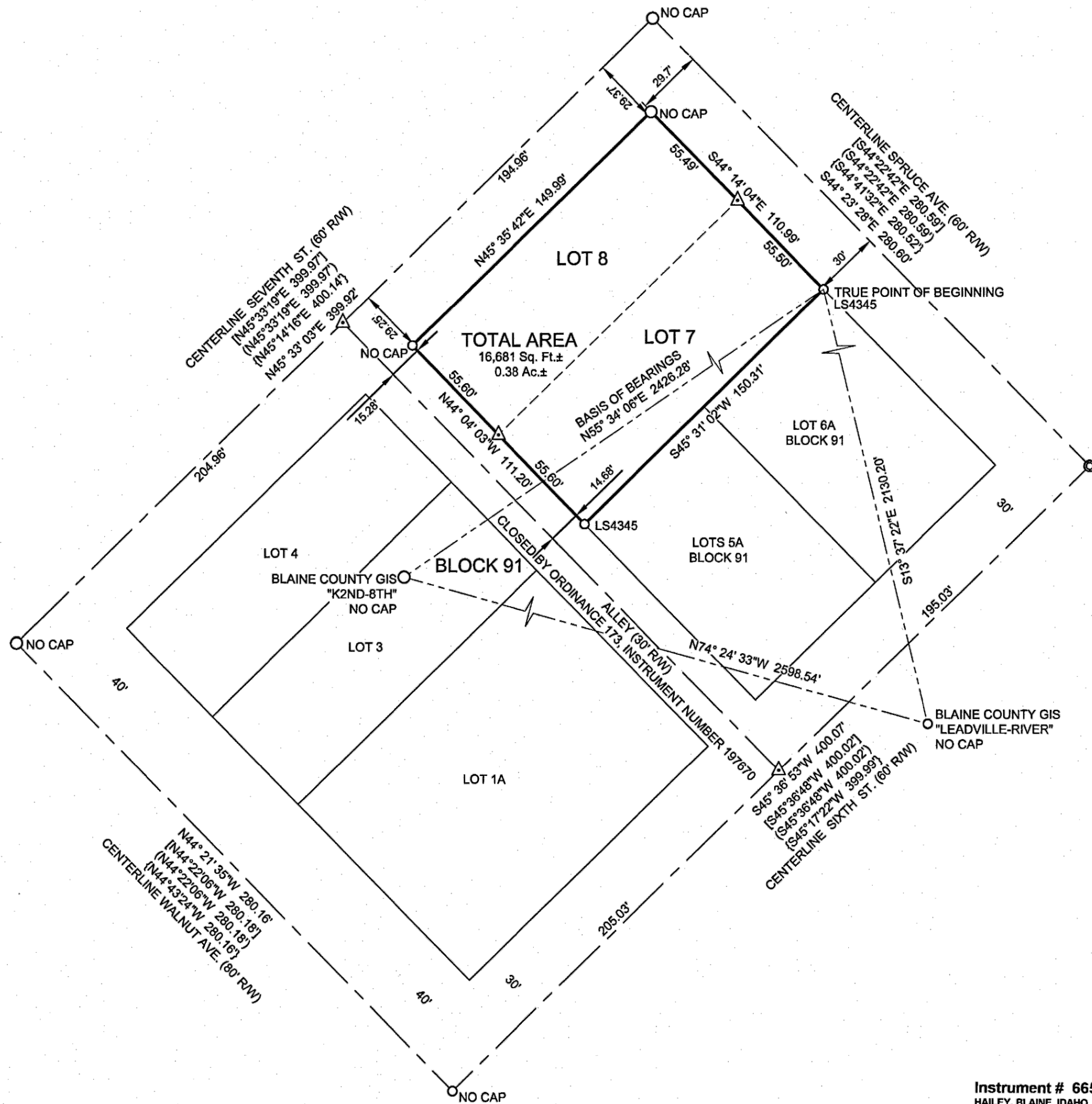
RECORD OF SURVEY SHOWING LOTS 7 & 8, BLOCK 91, KETCHUM TOWNSITE

LOCATED WITHIN
SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

DECEMBER 2019



SCALE: 1" = 40'



LEGEND

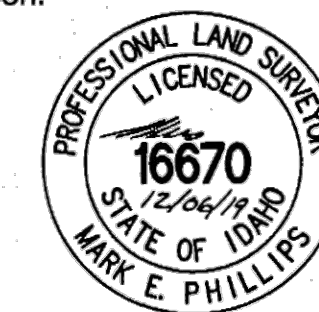
- Property Line
- Adjoiner's Lot Line
- - - Centerline Right of Way
- - - Interior Lot Line
- - - GIS Tie Line
- Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- △ Calculated Point (Nothing Set)
- [] Record Bearing & Distance, Ketchum Townsite: Block 91: Lot 1A, Instrument Number 652564
- () Record Bearing & Distance, Ketchum Townsite Block 91 Lots 1 & 2, Instrument Number 626556
- { } Record Bearing & Distance, Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366

SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite, instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional Documents used in the course of this survey are shown in the Legend, with any common lines referenced.
2. This survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
3. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires this information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

CERTIFICATE OF SURVEYOR

I hereby certify that I am a Registered Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

Instrument # 665488
HAILEY, BLAINE, IDAHO
12-6-2019 01:51:09 PM No. of Pages: 1
Recorded for: GALENA ENGINEERING
JOLYNN DRAGE Fee: 5.00
Ex-Officio Recorder Deputy
Index to: SURVEYS

RECORD OF SURVEY SHOWING
LOTS 7 & 8, BLOCK 91, KETCHUM
TOWNSITE

GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 1 OF 1
Job No. 7812

A PLAT SHOWING
LOT 7A, BLOCK 91, KETCHUM TOWNSITE
 WHEREIN THE LOT LINE BETWEEN LOTS 7 & 8, BLOCK 91 IS VACATED AS SHOWN HEREON
 LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JANUARY 2023



SCALE: 1" = 30'

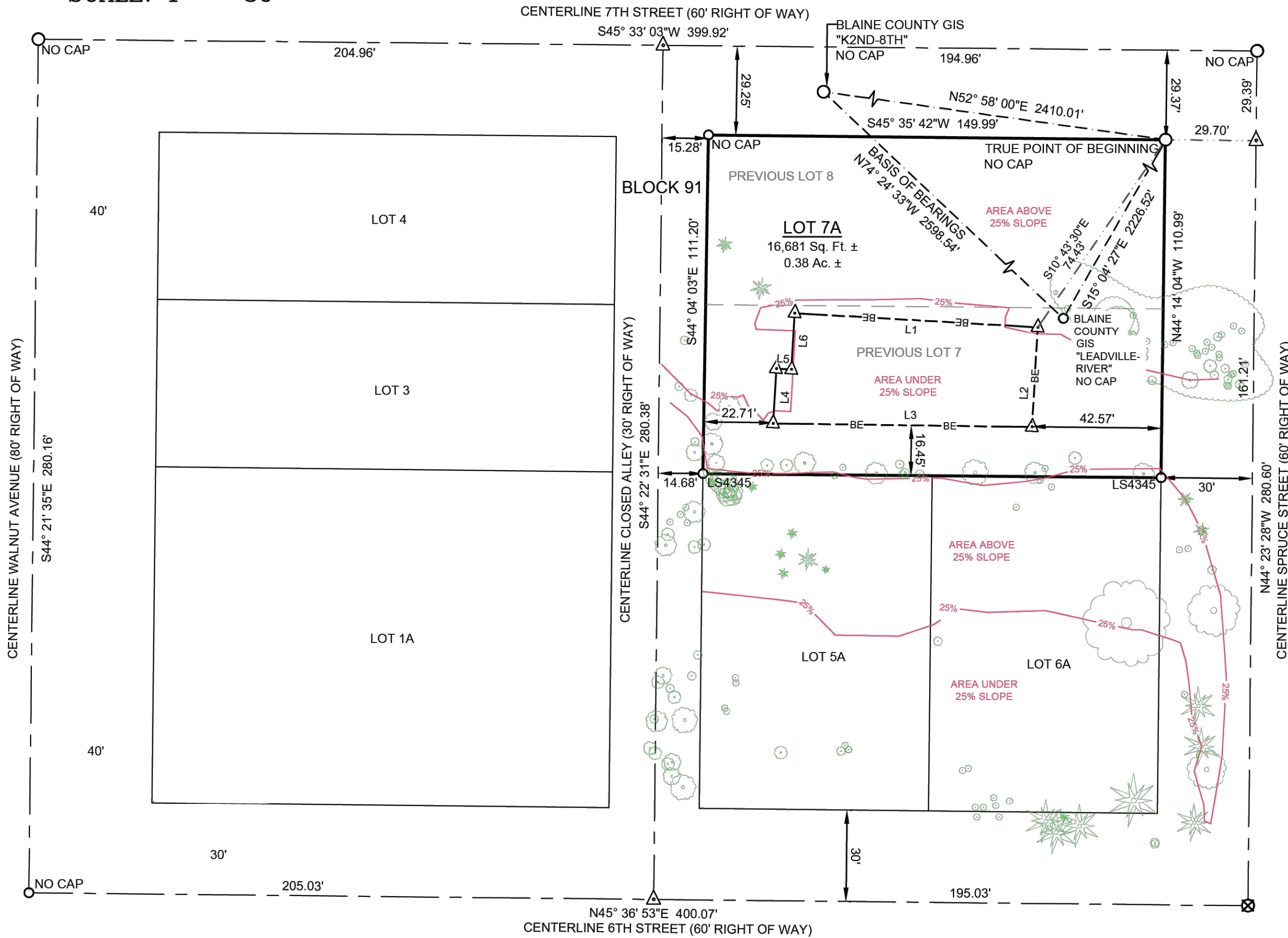


LEGEND

- Property Line
- Lot Line Vacated Hereon
- Adjoiner's Lot Line
- Centerline of Right of Way
- GIS Tie Line
- Survey Tie Line
- Building Envelope
- 25% Slope Boundary
- Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- Calculated Point, Nothing Set
- Aspen Grove
- Conifer Tree
- Deciduous Tree

SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found and set during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite and vacate the interior line creating Lot 7A, Block 91, Ketchum Townsite. The boundary shown is based on found lot corner monuments and the Official Map of the Village of Ketchum, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional documents used during the course of this survey include the Plat of Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366 and the Record of Survey showing Lots 7 & 8, Block 91, Ketchum Townsite, Instrument Number 665488, both records of Blaine County, Idaho.
2. The distances shown are measured. Refer to the above referenced documents for previous record data.
3. See Ketchum Ordinance 173, recorded as Instrument Number 197670, records of Blaine County, Idaho for conditions/restrictions regarding Block 91 Alley.
4. A Title Commitment for Lots 7 & 8, Block 91, Village of Ketchum, Blaine County, Idaho, has been issued by Sun Valley Title Guaranty Company, File Number 19349503, with a Date of Guarantee of May 29, 2020. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. All plottable encumbrances and easements listed in the title report are shown hereon. Review of specific documents is required, if further information is desired.
5. Zoning is LR, Limited Residential Use Zone. Refer to City of Ketchum Zoning Ordinance for more specific information about this zone.
6. The owner/subdivider is Spruce and the 6th. L.L.C., c/o Jake Watkins at Roger Ferris Partners, 11 Wilton Road, Westport, CT 06880. The surveyor/representative is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.



VICINITY MAP
NOT TO SCALE

LOT 7A, BLOCK 91,
KETCHUM TOWNSITE
 GALENA ENGINEERING, INC.
 HAILEY, IDAHO
 SHEET 1 OF 2
 Job No. 7932-01

Line Table		
Line #	Length	Direction
L1	79.90'	S48°20'34"W
L2	32.89'	N41°39'27"W
L3	84.98'	N45°46'41"E
L4	18.00'	S41°39'27"E
L5	5.00'	S48°20'33"W
L6	18.69'	S41°39'27"E



MARK E. PHILLIPS, P.L.S. 16670

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central Public Health District

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement with Galena Engineering, Inc.

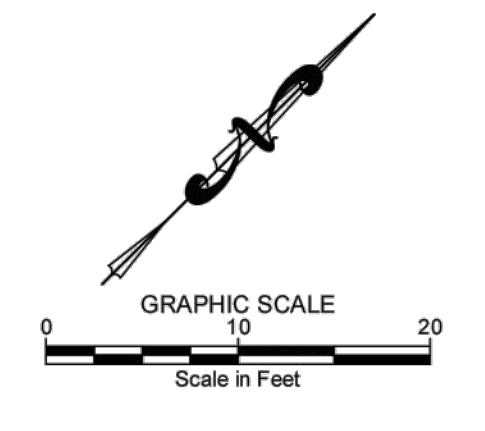
LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- FNDGEAR = Found Gear Survey Marker
- FD5/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- CP / CNTRL = Survey Control
- 5' Contour Interval
- 1' Contour Interval
- FL = Flow Line
- Limits of Disturbance
- Building
- Above Ground Deck
- Roof Outline
- Edge of Asphalt
- Flat Stone Pavers
- Pavers
- RTW = Concrete Retaining Wall
- Drystack or Railroad Tie Retaining Wall
- Rock Face
- Aspen Grove
- CT = Conifer Tree
- DT = Deciduous Tree
- Landscape Steps
- GMTR = Gas Meter
- Overhead Power Line
- Buried Power Line
- FP = Power Pole
- GLY = GUYE
- Approximate Gas Service
- SS = Sewer Service
- CB = Catch Basin
- Culvert
- WS = Water Service
- AP = Angle Point
- BEG = Beginning
- BOW = Back of Walk
- CMP = Corrugated Metal Pipe
- ECA = Edge of Asphalt
- ECC = Edge of Concrete
- EOP = Edge of Pavers
- EOST = Edge of Flat Stone
- FF = Finished Floor
- GB = Grade Break
- GFF = Garage Finished Floor
- INT = Intersection
- NC = No Cap
- NG = Natural Ground
- PVC = Polyvinyl Chloride Pipe
- RP = Reference Point
- RR TIE = Railroad Tie
- TA = Top of Asphalt
- THRESH = Threshold of Door
- TOE = Toe of Slope
- TOP = Top of Slope
- TW = Top of Wall
- WTR TOP = Top of Water Fall



- NOTES**
1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (11/20/2019).
 2. Boundary information is based on Found Monumentation.
 3. Underground utilities were not located. Water and sewer services shown herein are per the City of Ketchum utility maps. Utilities should be located prior to any excavation.
 4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 5. Benchmark is top of found 1/2" rebar located at the common property corner of 691 N. Spruce Ave. and 671 E. 6th St. along Spruce Ave., elevation = 5934.10. Vertical Datum is NAVD 1988.
 6. This Lot is within the Mountain Overlay Zoning District. Please Refer to Ketchum Zoning Ordinance 17.104 for use conditions and restrictions.

Height Calculations	
5969.47	High point of Roof
5935.25	Lowest Adjacent Grade
34.22	Height of Existing House



EXISTING SITE CONDITIONS
691 NORTH SPRUCE
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC

ORIGINAL SIGNED BY
 MARK E. PHILLIPS
 DATE ORIGINAL SIGNED:
 12/03/2019

PROFESSIONAL LAND SURVEYOR
 LICENSED
16670
 STATE OF IDAHO
 MARK E. PHILLIPS

ORIGINAL ON FILE AT
 OFFICE OF GALENA
 ENGINEERING
 (HAILEY, ID)

DESIGNED BY
 CT
 DRAWN BY
 SMF/MEP
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galena@galena-engineering.com

PURPOSE:	NOTE
NO	DATE
BY	REVISIONS

C1.0

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

LEGEND

EXISTING ITEMS

- Property Line
- Adjoiner's Lot Line
- Centerline of Right of Way
- Existing House Footprint
- Existing Deck Footprint
- 5' Contour Interval
- 1' Contour Interval
- Flow Line
- Asphalt
- Aspen Grove
- Conifer Tree
- Deciduous Tree
- Gas Meter
- Gas Marker
- Telephone Riser
- Overhead Power Line
- Power Box
- Power Pole
- Guywire
- Sewer Main
- Sewer Service
- Sewer Manhole
- Catch Basin
- Culvert
- Water Main
- Water Service
- 4.4%
- Existing Grade

PROPOSED ITEMS

- 1' Contour Interval
- Building Setback
- Interior Lot Line to be Abandoned
- Asphalt
- Heated Driveway Extents
- Landscape Drywell
- Trench Drain
- 6" Storm Drain
- French Drain
- Spot Elevations
- Proposed Grade
- 25% Slope Line
- New Building Envelope



- SITE IMPROVEMENT KEY NOTES**
- S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - S02 CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1 / C1.2.
 - HEATED PAVEMENT LIMITED TO ONSITE AREAS ONLY.
 - S03 INSTALL LANDSCAPE DRYWELL. SEE DETAIL 3 / C1.2. a. RIM = 5934.5 +/- (8" under driveway)
 - S04 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C1.2.
 - S05 INSTALL 6" Ø D3034 PVC PIPE @ S=2.0% MIN. 3.0' MINIMUM COVER. SEE DETAIL 5 / C1.2.
 - S06 INSTALL FRENCH DRAIN. SEE DETAIL 4 / C1.2.

- GRADING AND DRAINAGE NOTES**
1. ALL DRAINAGE IS TO BE RETAINED ONSITE.
 2. GRADE AWAY FROM FOUNDATION AT 5%.

Calculations

Existing Site Disturbance	8,469 SF
Proposed Site Disturbance	no change
Existing Bldg. Coverage	4,084 SF
House	2,711 SF
Deck 1	254 SF
Deck 2	140 SF
Front Stair	783 SF
Front Wall	157 SF
Back Wall	39 SF
Proposed Building Coverage	2,748 SF
House	2,683 SF
AC Pads	85 SF
Cut/Fill Quantities	
Net Cut	460 CY

PROPOSED SITE GRADING AND DRAINAGE PLAN
691 NORTH SPRUCE

LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC



DESIGNED BY
MS

DRAWN BY
JBJ

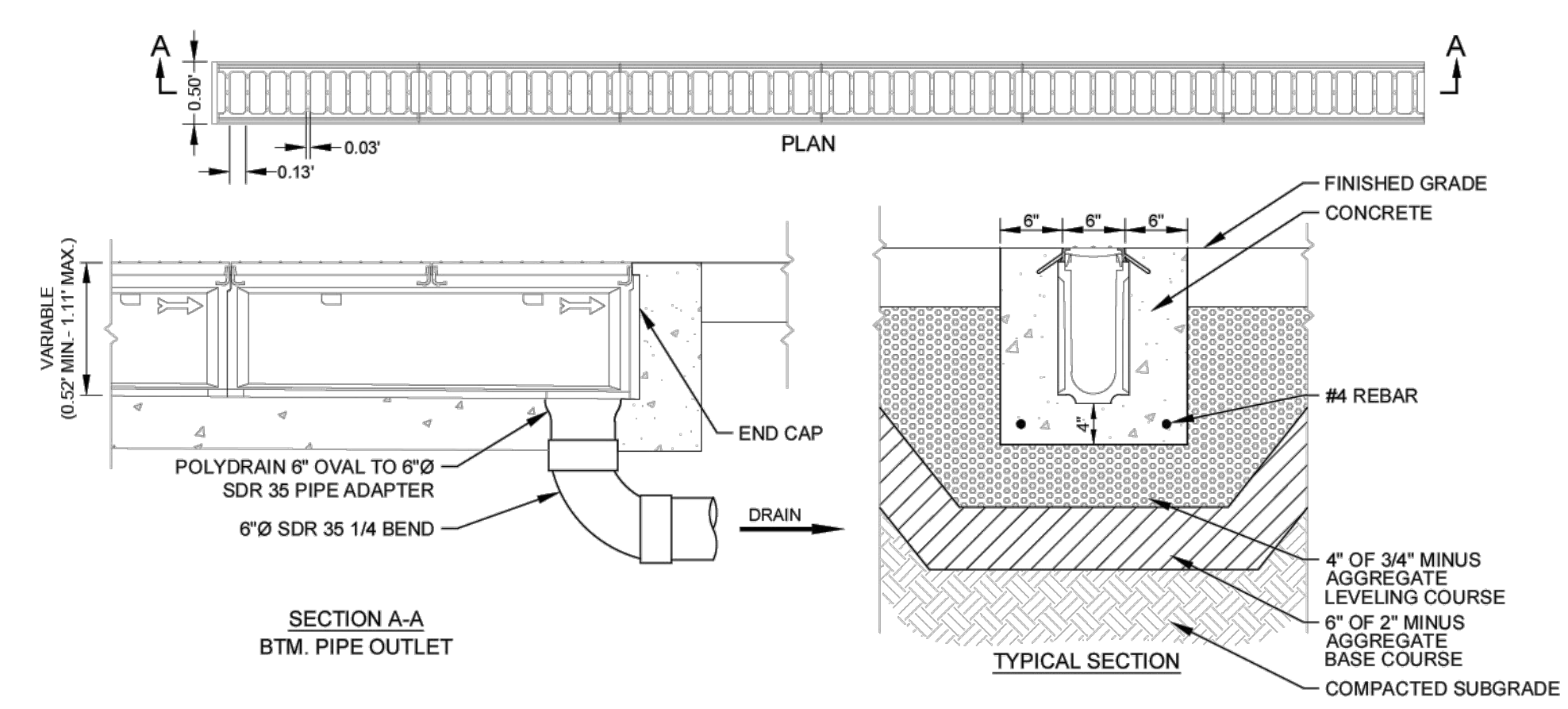
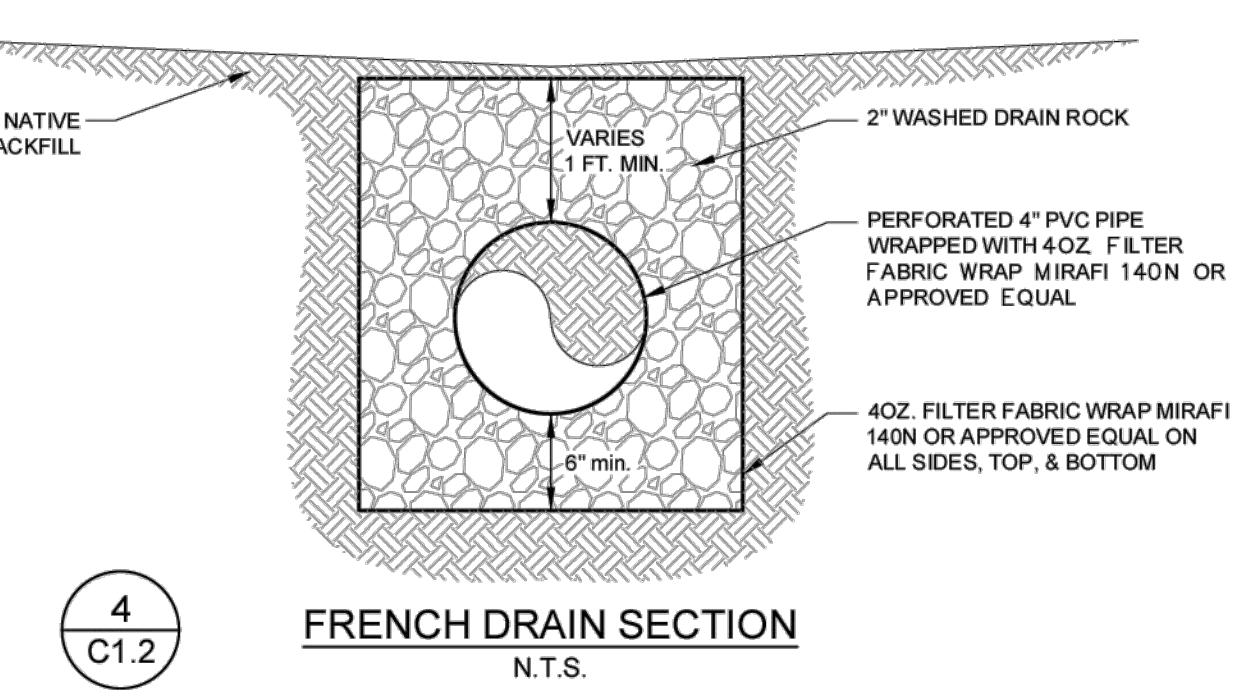
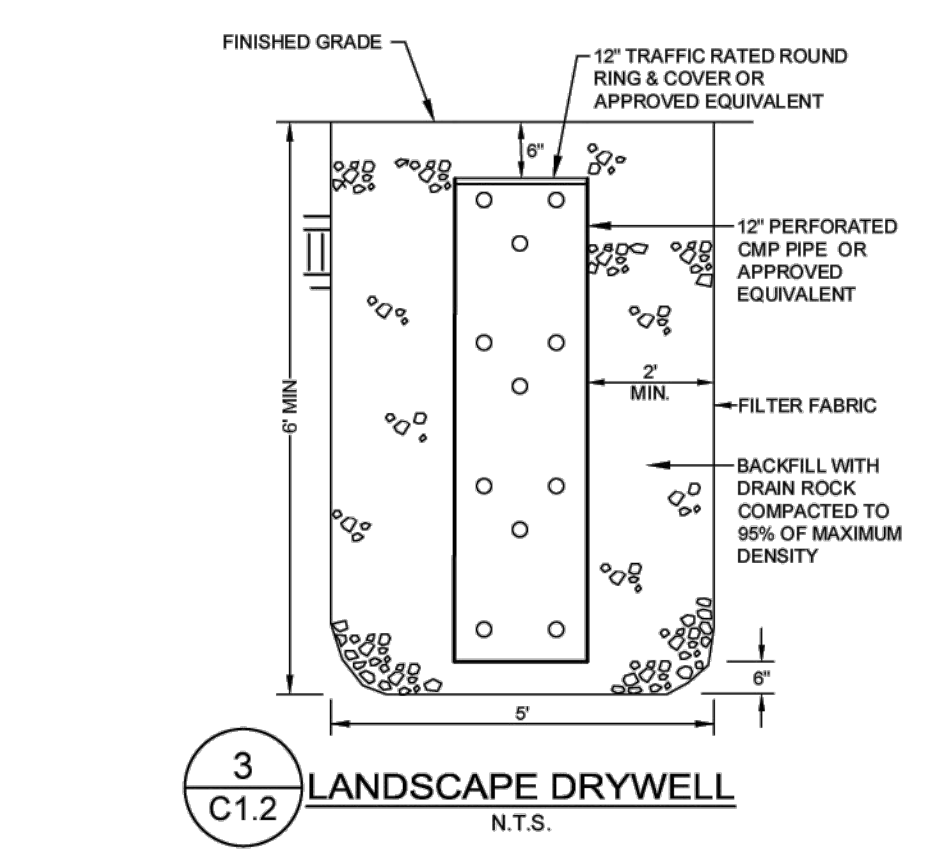
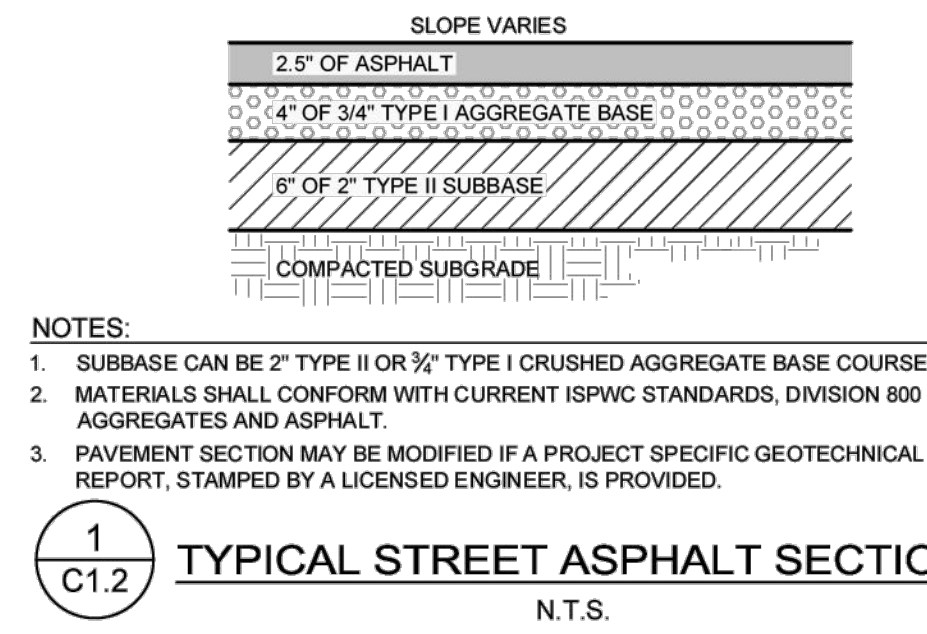
CHECKED BY

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83333
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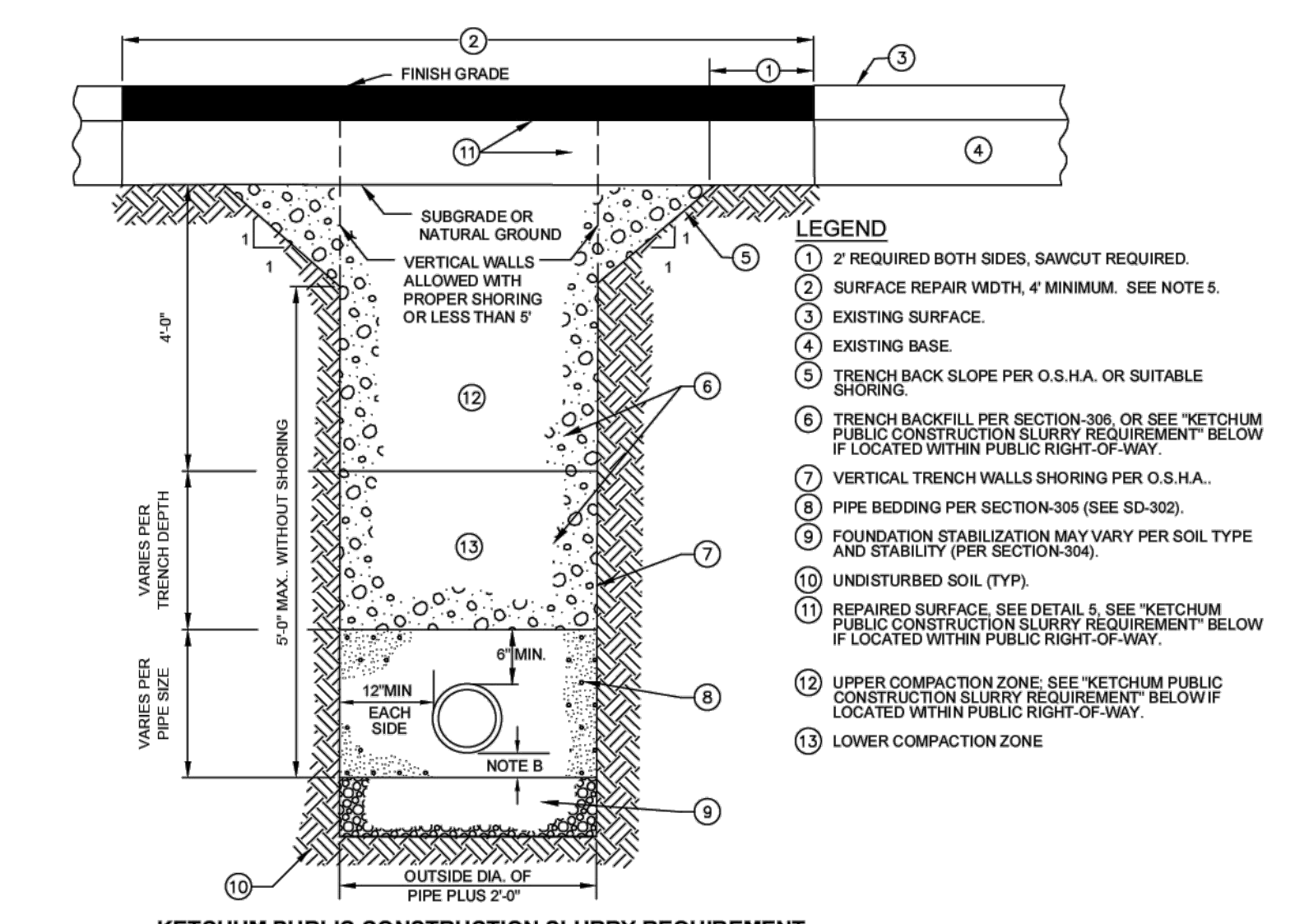
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2	10/11/22	JBJ	REVISE PER NEW ARCHITECTURAL LAYOUT
3	01/12/23	JBJ	REVISE PER CITY COMMENTS

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



- NOTES**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS)	2 800 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 308.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A.1 IN ISPC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

5 C1.2 TYPICAL TRENCH
N.T.S.

NOTES AND DETAIL SHEET
691 NORTH SPRUCE
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M. CITY OF HALLEY, BLAINE COUNTY, IDAHO
PREPARED FOR ROGER FERRIS & PARTNERS
PROJECT INFORMATION
P:\2023\691 North Spruce\691 North Spruce.dwg 01/11/23 11:34:49 AM



DESIGNED BY
MS
DRAWN BY
JBJ
CHECKED BY

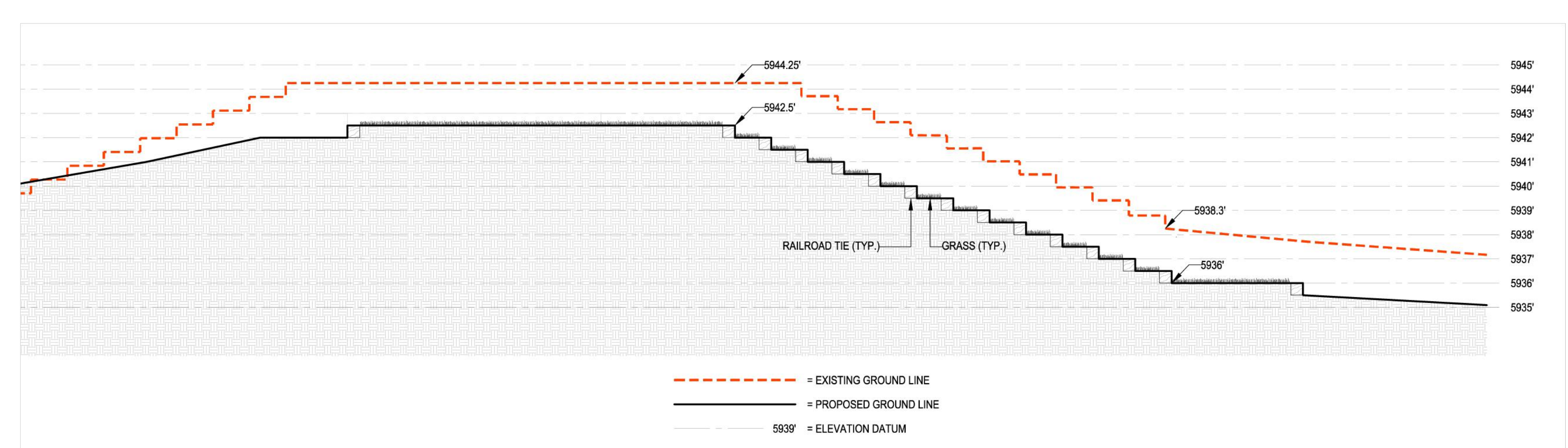
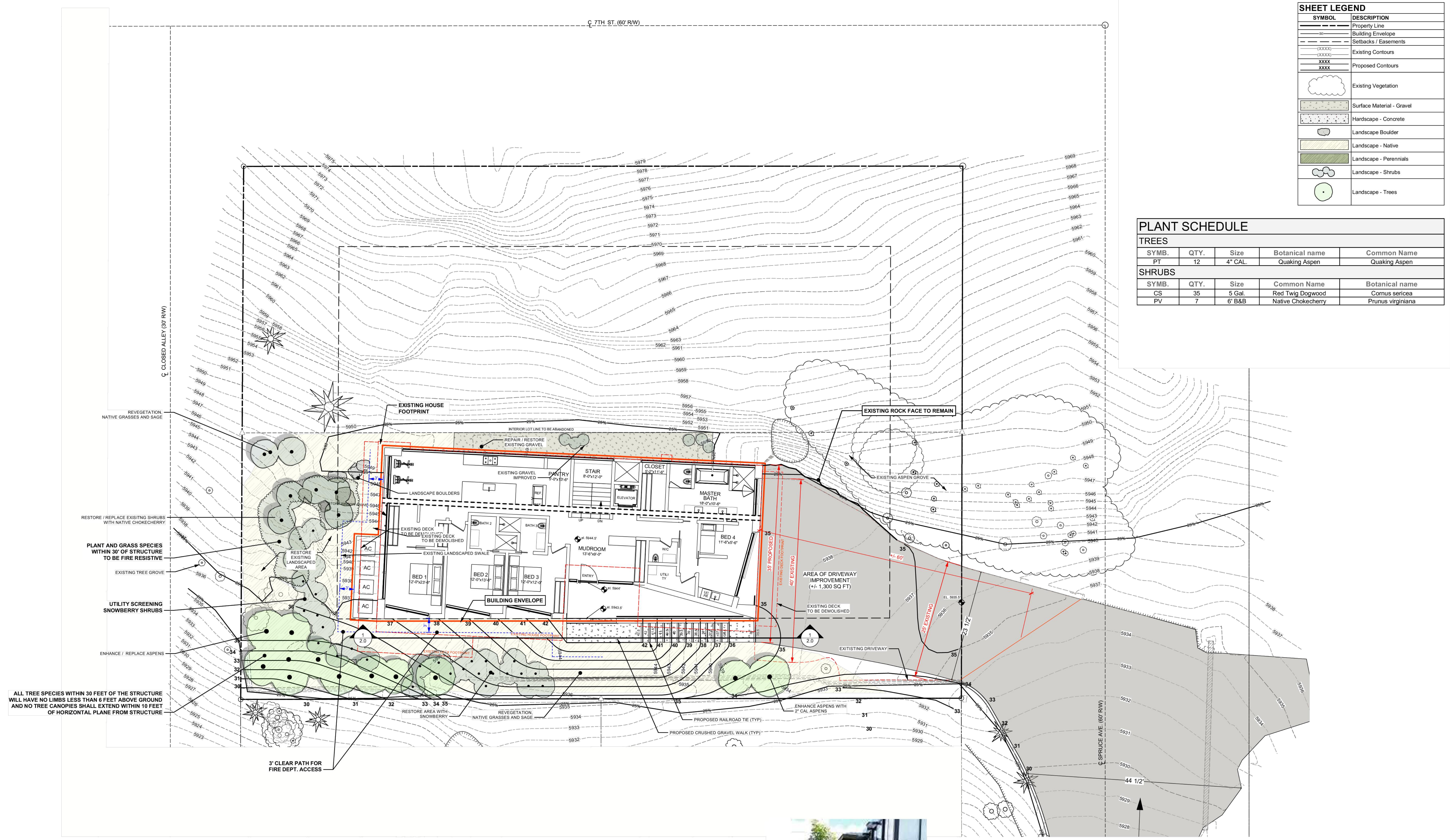
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	08/25/22	JBJ	REVISE PER NEW ARCHITECTURAL LAYOUT
2	10/11/22	JBJ	REVISE PER NEW ARCHITECTURAL LAYOUT
3	01/11/23	JBJ	REVISE PER CITY COMMENTS

C1.2

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Building Envelope
	Setbacks / Easements
	Existing Contours
	Proposed Contours
	Existing Vegetation
	Surface Material - Gravel
	Hardscape - Concrete
	Landscape Boulder
	Landscape - Native
	Landscape - Perennials
	Landscape - Shrubs
	Landscape - Trees

PLANT SCHEDULE				
TREES				
SYMB.	QTY.	Size	Botanical name	Common Name
PT	12	4" CAL.	Quaking Aspen	Quaking Aspen
SHRUBS				
SYMB.	QTY.	Size	Common Name	Botanical name
CS	35	5 Gal.	Red Twig Dogwood	Cornus sericea
PV	7	6" B&B	Native Chokecherry	Prunus virginiana



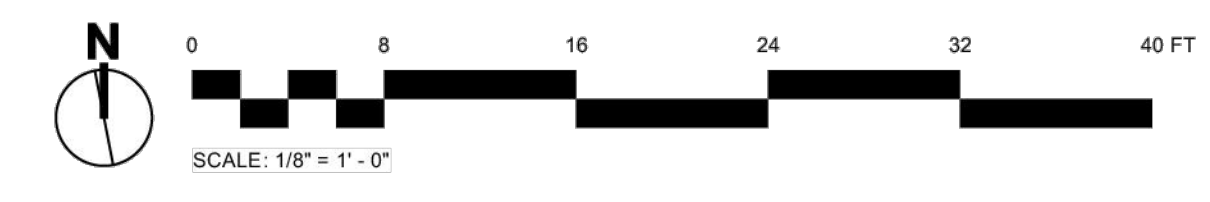
LANDSCAPE PLAN
RESIDENCE
691 N. SPRUCE AVE, KETCHUM, IDAHO

FILENAME: 691 N SPRUCE.vwx
PROJECT MANAGER: XX
DRAWN BY: XX
ISSUE DATE: 1/11/2023
PLOT DATE: 1/11/23 2:46:37 PM

LANDSCAPE PLAN

SHEET NO.

L2.0



General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

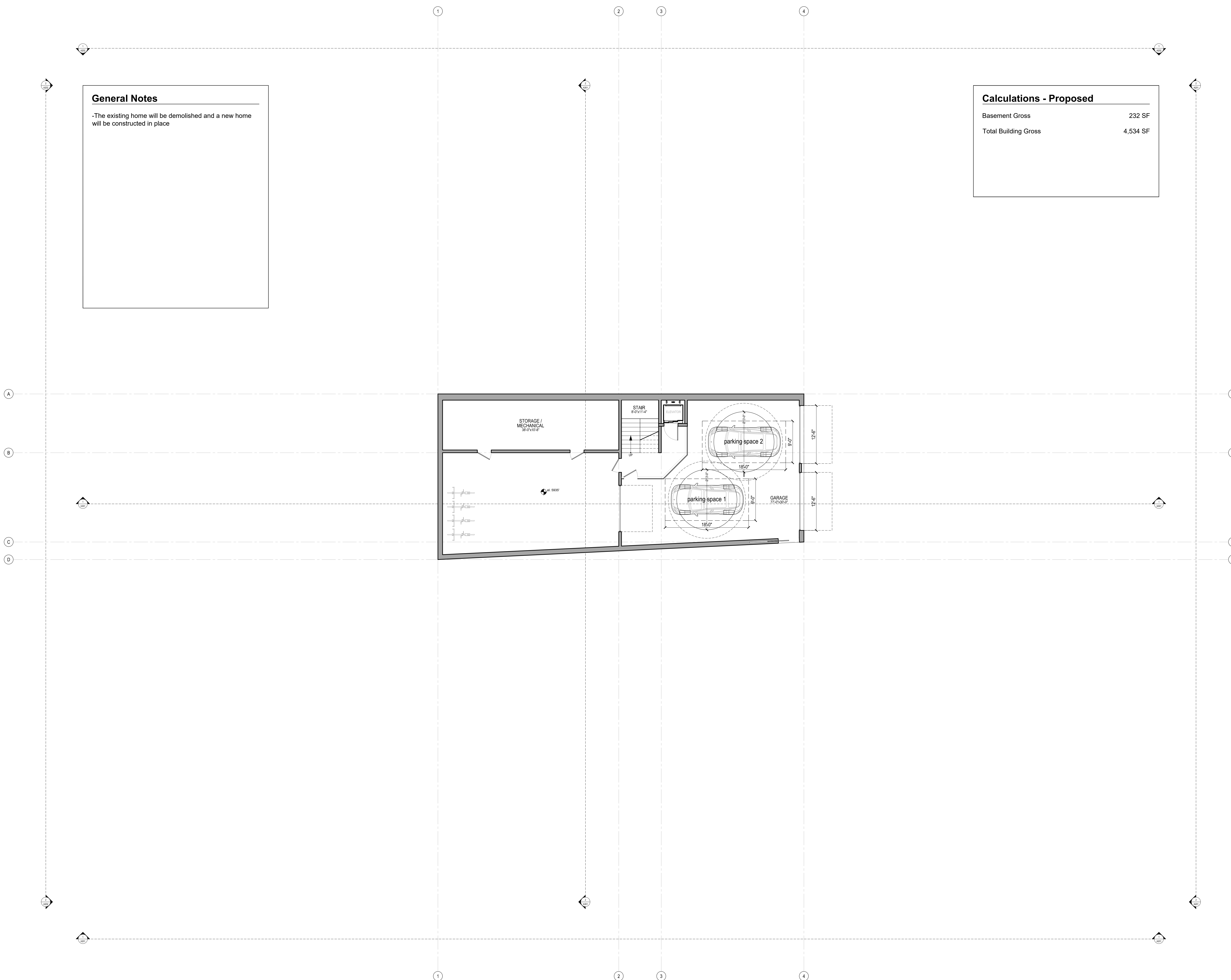
Basement Gross	232 SF
Total Building Gross	4,534 SF

Residence
 691 North Spruce Ave.
 Ketchum, ID 83340

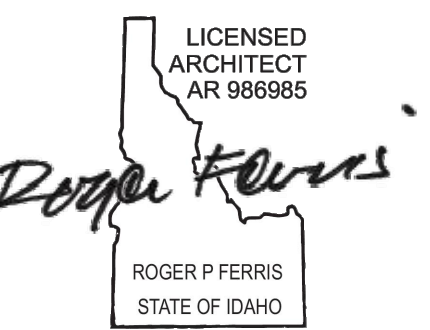
Architect
Roger Ferris + Partners
 11 Wilton Road • Westport, Connecticut 06880
 tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
 317 N. River Street • Hailey, ID 83333
 tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
 323 Lewis Street, Suite N • Ketchum, ID 83340
 tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

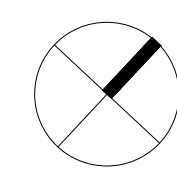
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3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV #4	OCTOBER 11, 2022	CITY
6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

BASEMENT PLAN

PROJECT NUMBER: 21-002
 DATE: JUNE 30, 2021
 SCALE: AS NOTED

1 Basement Plan
 1/8"=1'-0"



A101

General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

First Level Gross	2,139 SF
Total Building Gross	4,534 SF

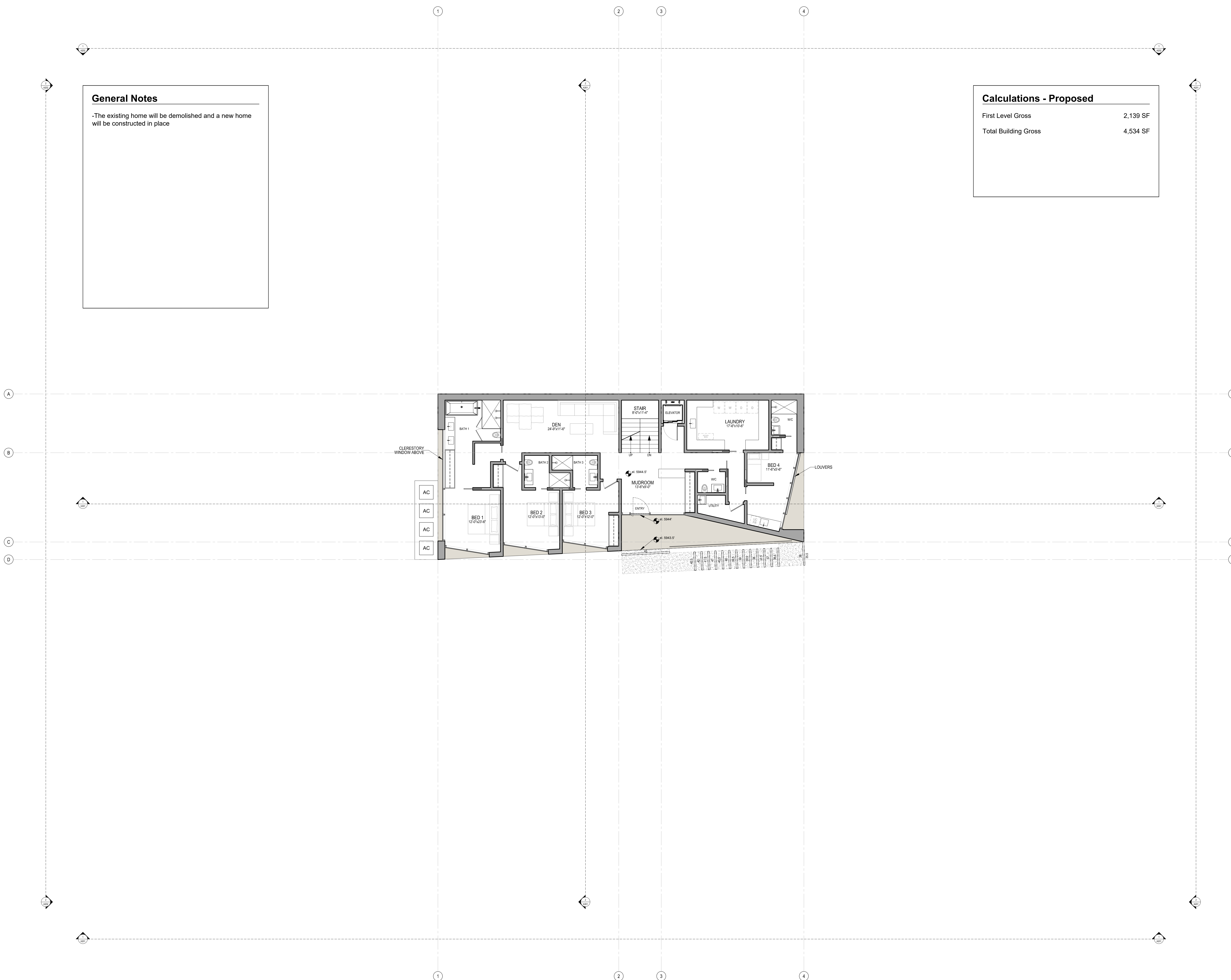
Residence

691 North Spruce Ave.
Ketchum, ID 83340

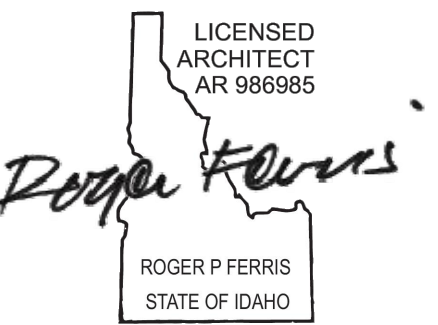
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tel. 203.222.4848 • www.ferrisarch.com

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Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

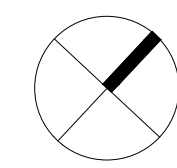
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6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

FIRST LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 First Level Plan
1/8"=1'-0"



A102

General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

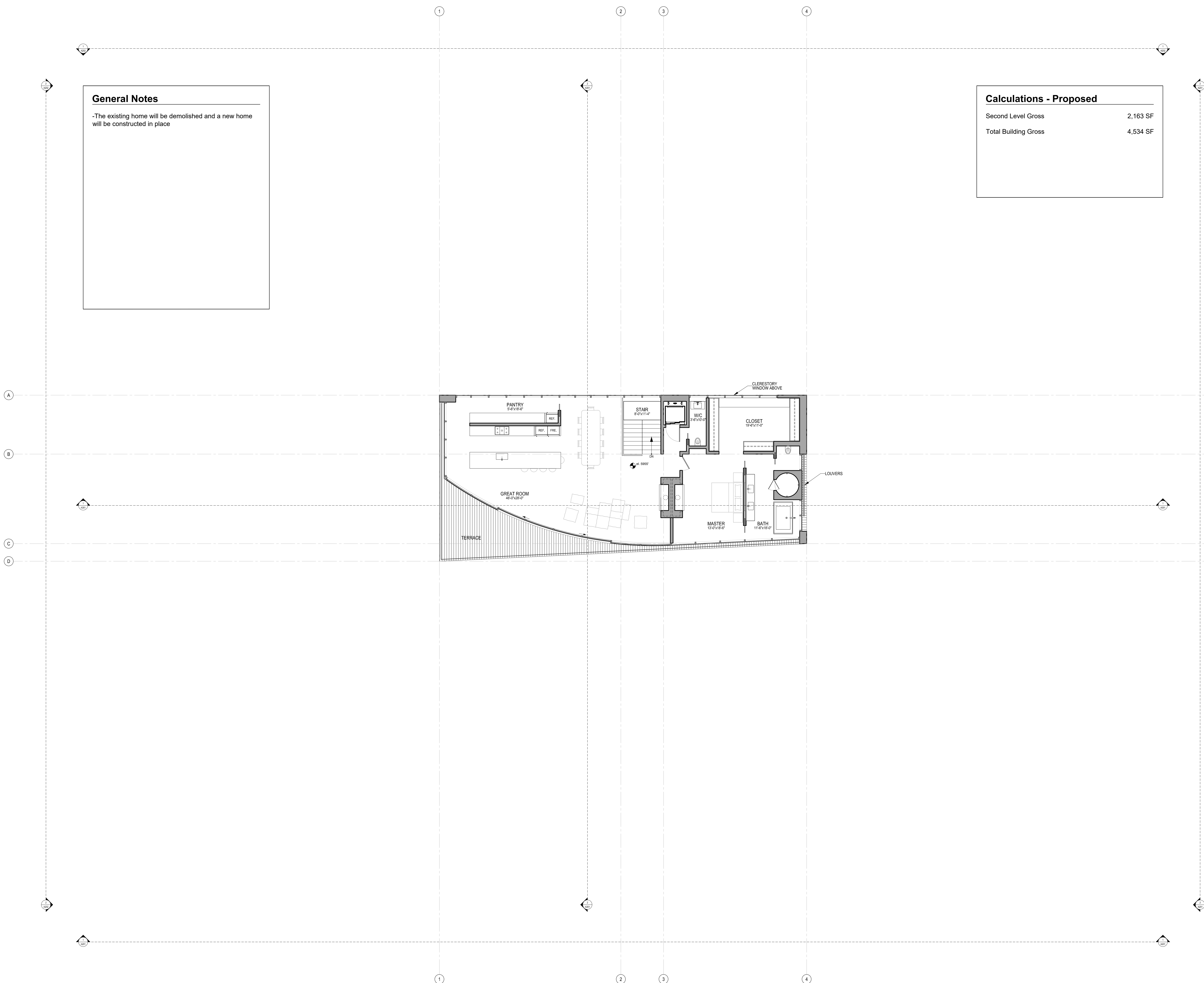
Second Level Gross	2,163 SF
Total Building Gross	4,534 SF

Residence
 691 North Spruce Ave.
 Ketchum, ID 83340

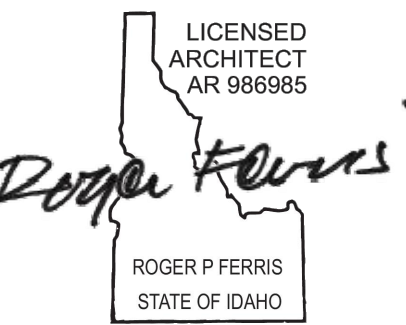
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Landscape Architect
BYLA Landscape Architects
 323 Lewis Street, Suite N • Ketchum, ID 83340
 tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

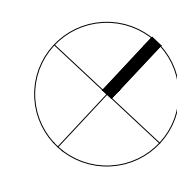
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5	MODR - REV #4	OCTOBER 11, 2022	CITY
6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

SECOND LEVEL PLAN

PROJECT NUMBER: 21-002
 DATE: JUNE 30, 2021
 SCALE: AS NOTED

1 Second Level Plan
 1/8"=1'-0"



A103

Residence
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
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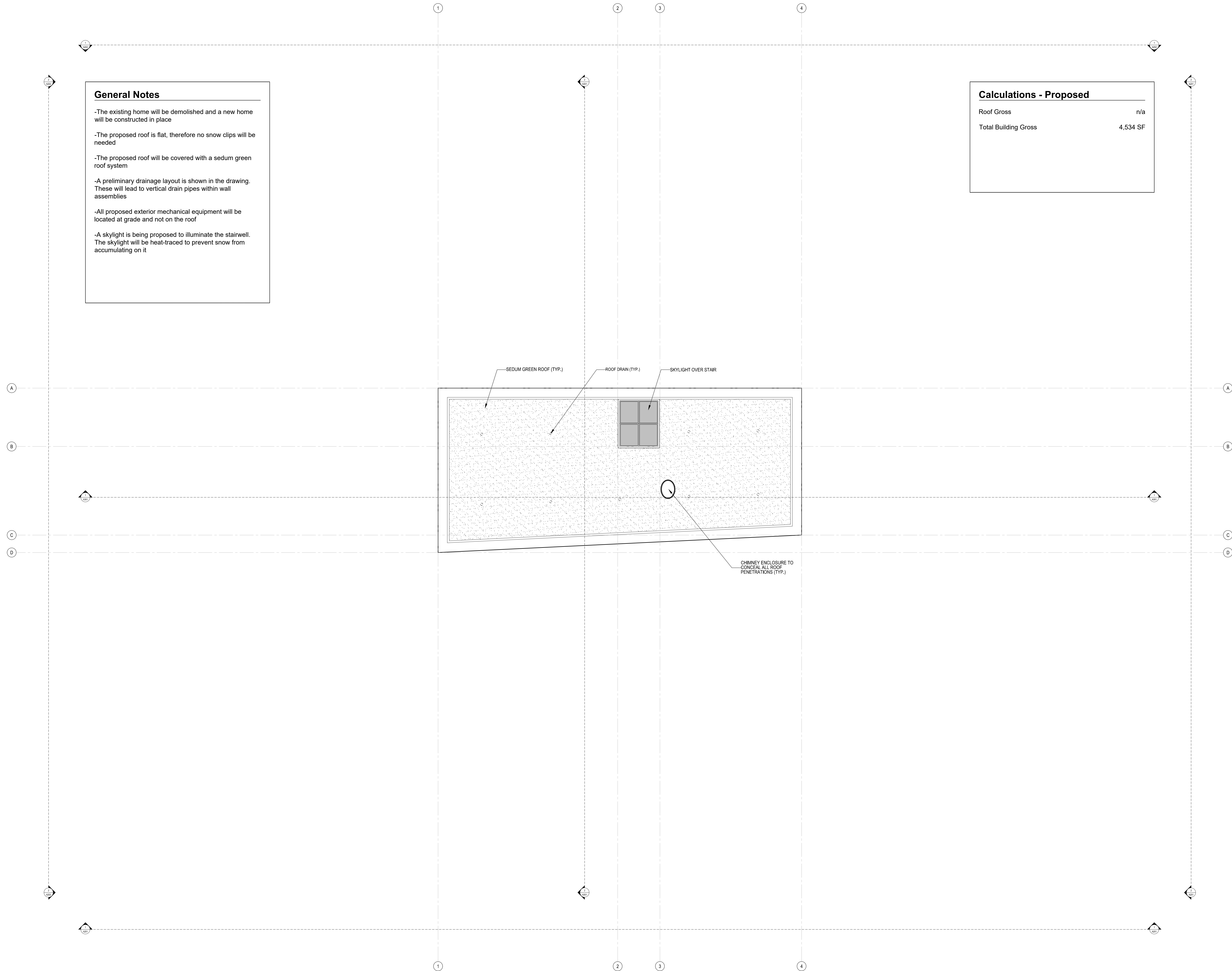
Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

General Notes

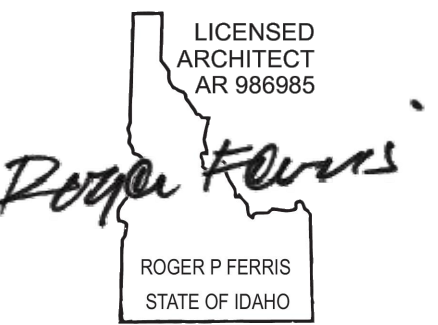
- The existing home will be demolished and a new home will be constructed in place
- The proposed roof is flat, therefore no snow clips will be needed
- The proposed roof will be covered with a sedum green roof system
- A preliminary drainage layout is shown in the drawing. These will lead to vertical drain pipes within wall assemblies
- All proposed exterior mechanical equipment will be located at grade and not on the roof
- A skylight is being proposed to illuminate the stairwell. The skylight will be heat-traced to prevent snow from accumulating on it

Calculations - Proposed

Roof Gross	n/a
Total Building Gross	4,534 SF



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

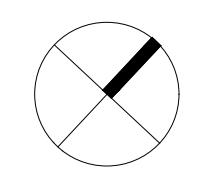
NO.	DESCRIPTION	DATE	ISSUED TO
1	MODR - REV #1	JUNE 16, 2022	CITY
2	MODR - REV #2	AUGUST 26, 2022	CITY
3	MODR - REV #3	OCTOBER 6, 2022	CITY
4	MODR - REV #4	OCTOBER 11, 2022	CITY
5	MODR - APP	NOVEMBER 18, 2022	CITY
6	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

ROOF PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Roof Plan
1/8"=1'-0"



A104

Residence

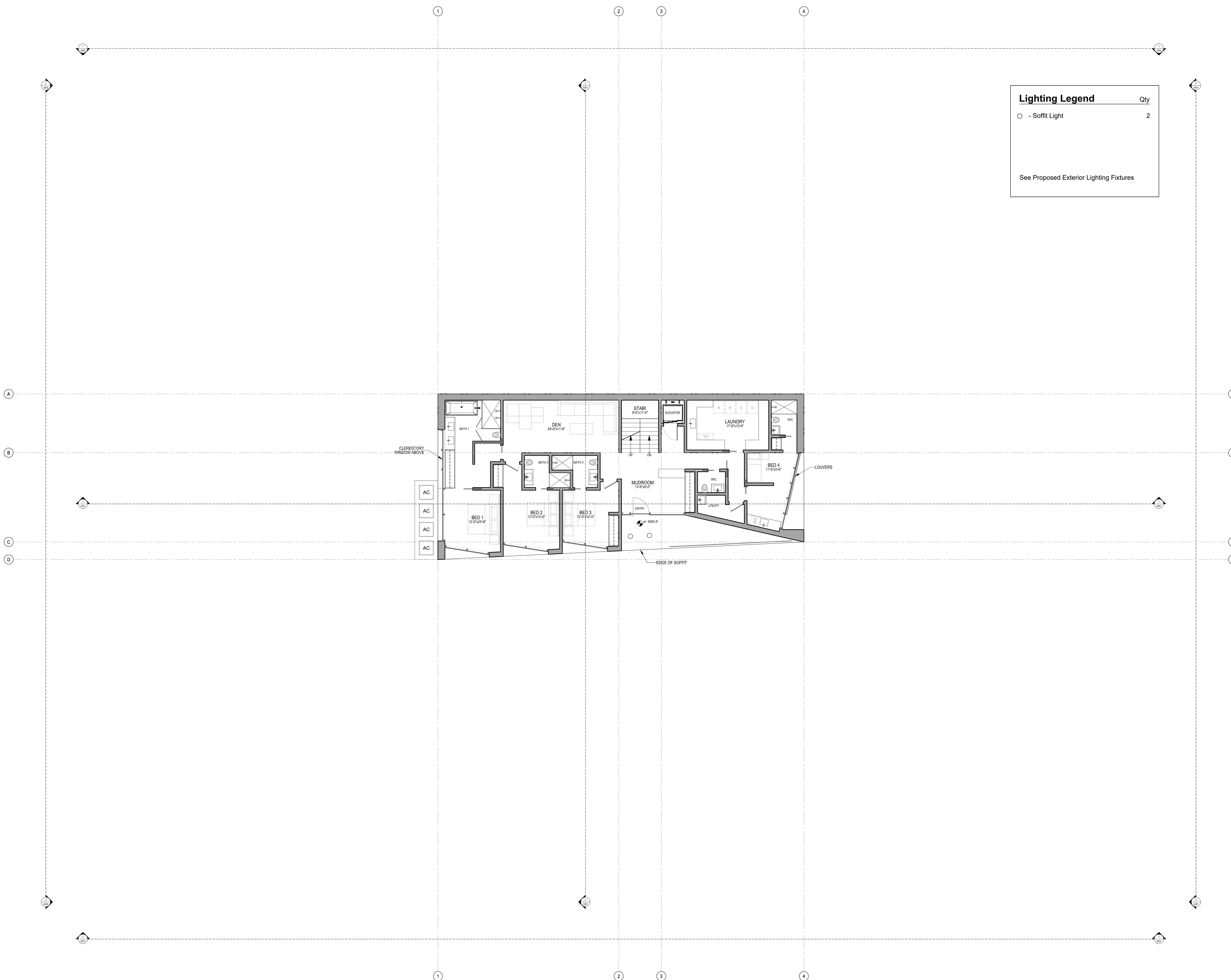
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

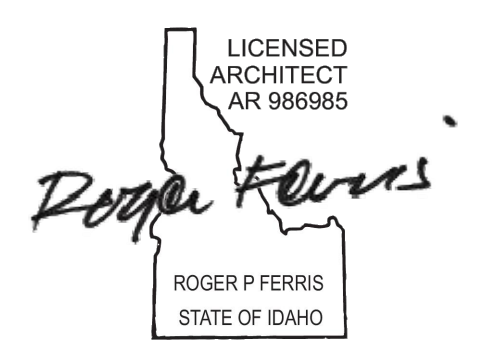
Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

Lighting Legend		Qty
○	- Soffit Light	2
See Proposed Exterior Lighting Fixtures		



ARCHITECT'S SEAL



KEY PLAN

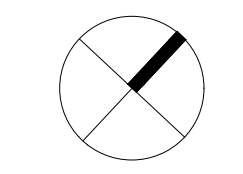
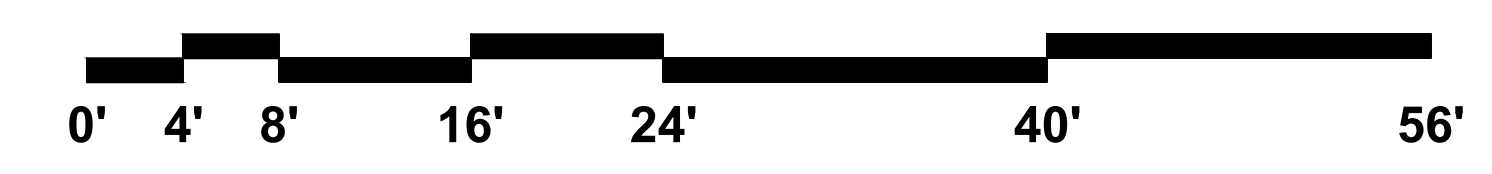
PROJECT PHASE - PERMITTING

REVISIONS			
NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
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6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME
FIRST LEVEL REFLECTED CEILING PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 First Level Reflected Ceiling Plan
1/8"=1'-0"



A112

Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Wood Cladding
- 4) Wood Soffits
- 5) Stone Cladding
- 6) Zinc
- 7) Cable Guardrail
- 8) Green Roof

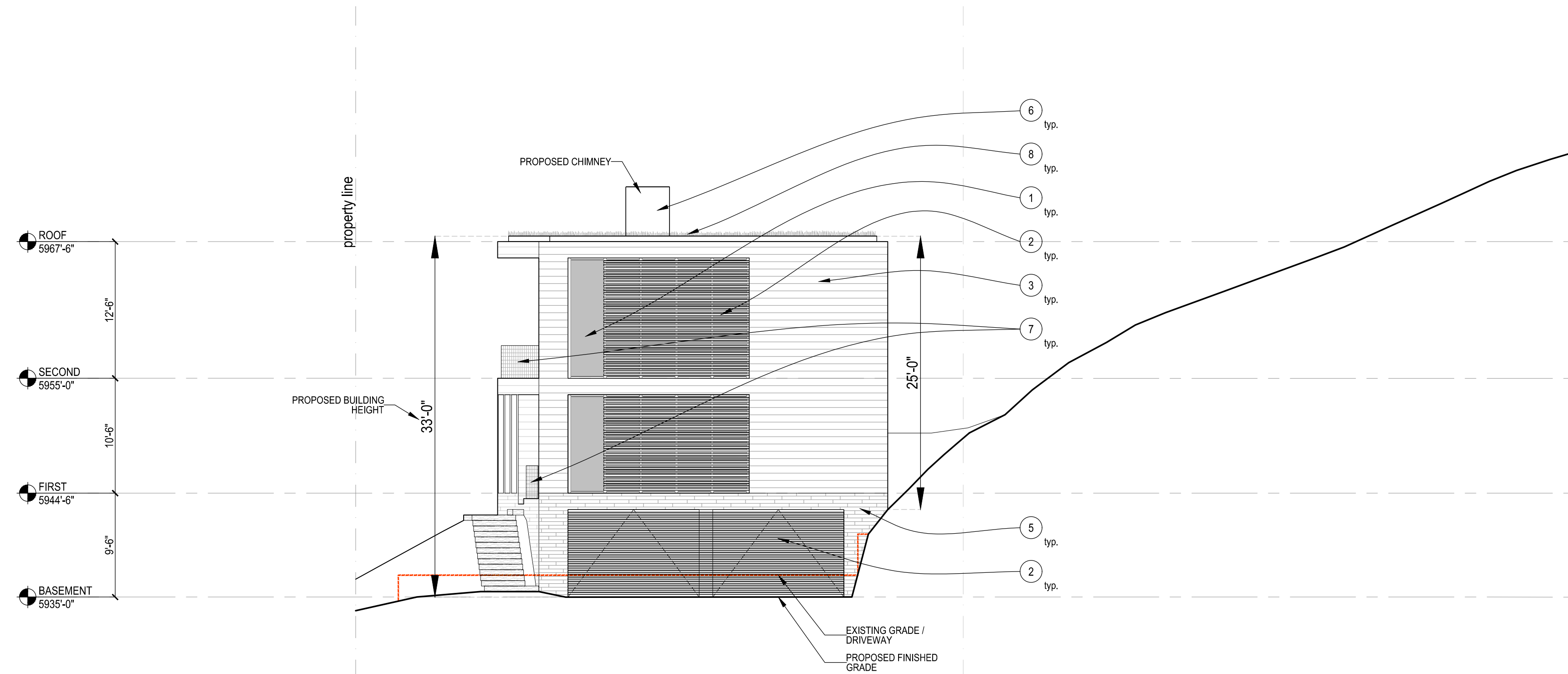
See Proposed Material Palette

Residence
 691 North Spruce Ave.
 Ketchum, ID 83340

Architect
Roger Ferris + Partners
 11 Wilton Road • Westport, Connecticut 06880
 tel. 203.222.4848 • www.ferrisarch.com

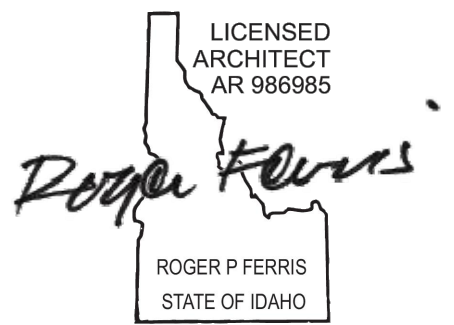
Civil Engineer/Surveyor
Galena Engineering
 317 N. River Street • Hailey, ID 83333
 tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
 323 Lewis Street, Suite N • Ketchum, ID 83340
 tel. 208.726.5907 • www.byla.us

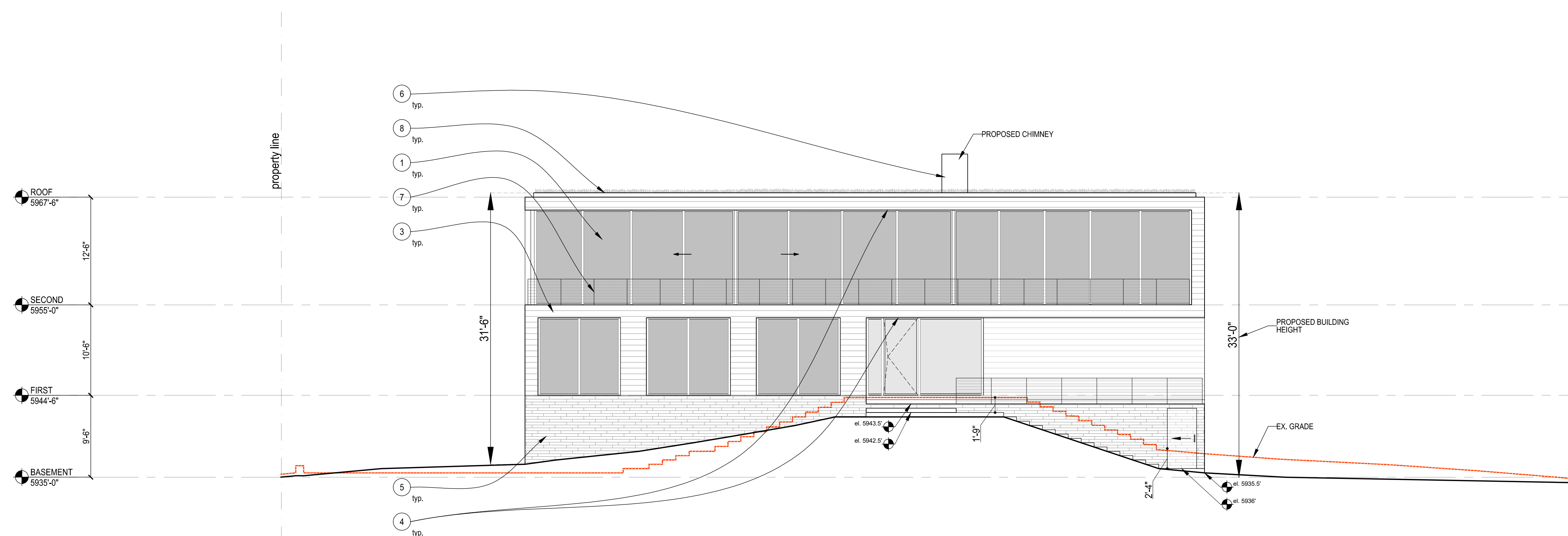


2 East Elevation - Proposed
 1/8"=1'-0"

ARCHITECT'S SEAL



KEY PLAN



1 South Elevation - Proposed
 1/8"=1'-0"



PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
2	MODR - REV #1	JUNE 16, 2022	CITY
3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV #4	OCTOBER 11, 2022	CITY
6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

ELEVATIONS

PROJECT NUMBER: 21-002
 DATE: JULY 06, 2021
 SCALE: AS NOTED

A201

Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Wood Cladding
- 4) Wood Soffits
- 5) Stone Cladding
- 6) Zinc
- 7) Cable Guardrail
- 8) Green Roof

See Proposed Material Palette

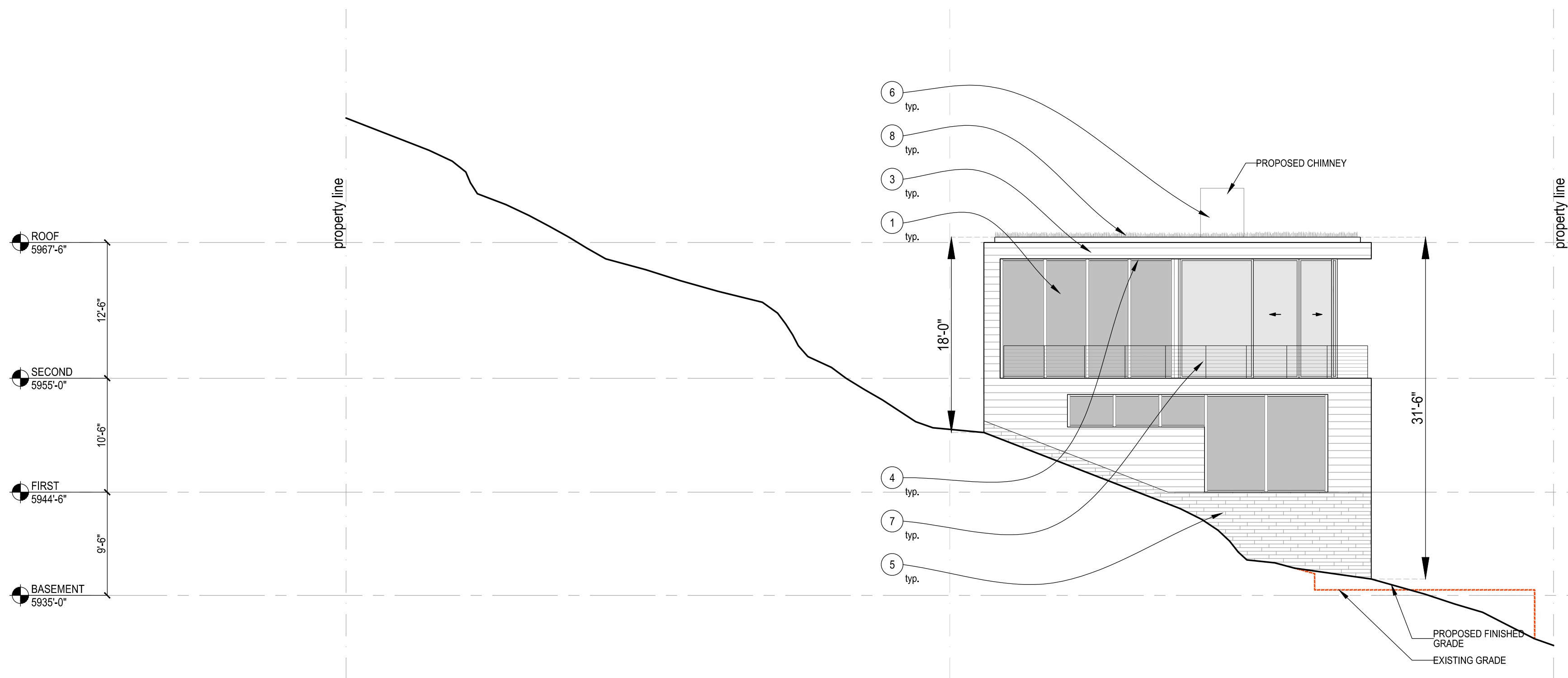
Residence

691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

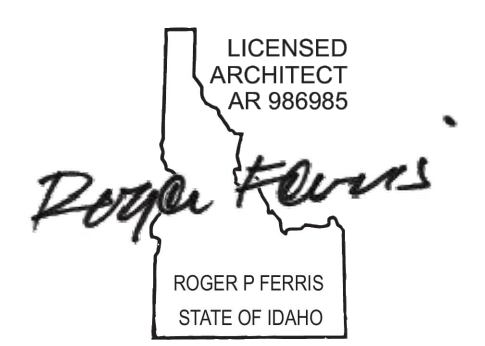
Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Halley, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
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tel. 208.726.5907 • www.byla.us

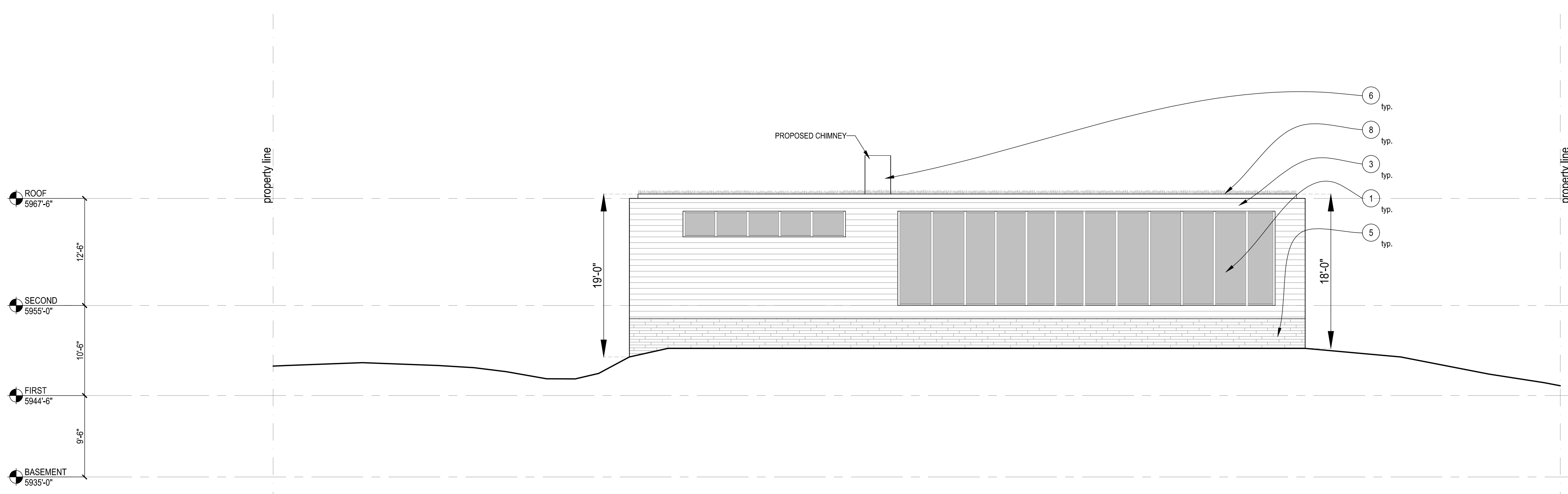


2 West Elevation - Proposed
1/8"=1'-0"

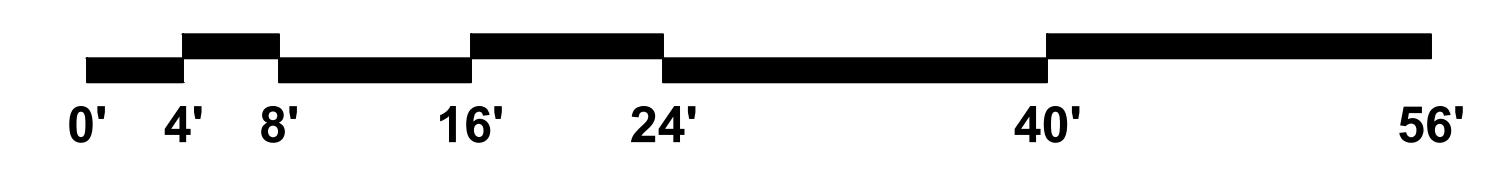
ARCHITECT'S SEAL



KEY PLAN



1 North Elevation - Proposed
1/8"=1'-0"



PROJECT PHASE - PERMITTING

REVISIONS

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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME
ELEVATIONS

PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED

A202

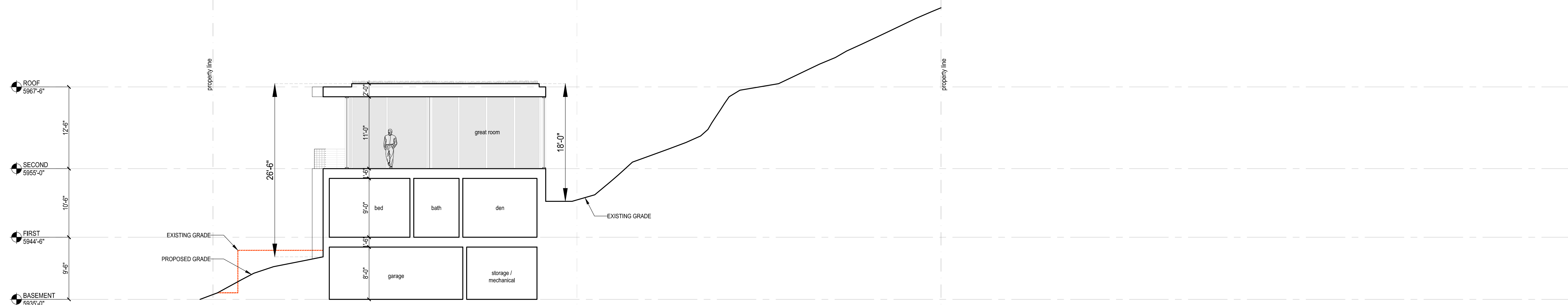
Residence

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Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

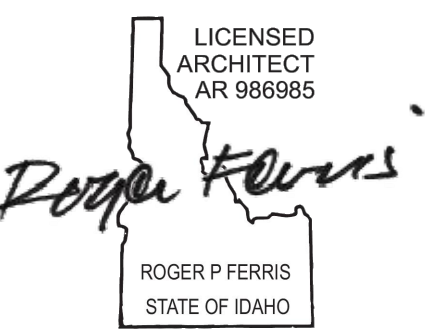
Civil Engineer/Surveyor
Galena Engineering
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Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
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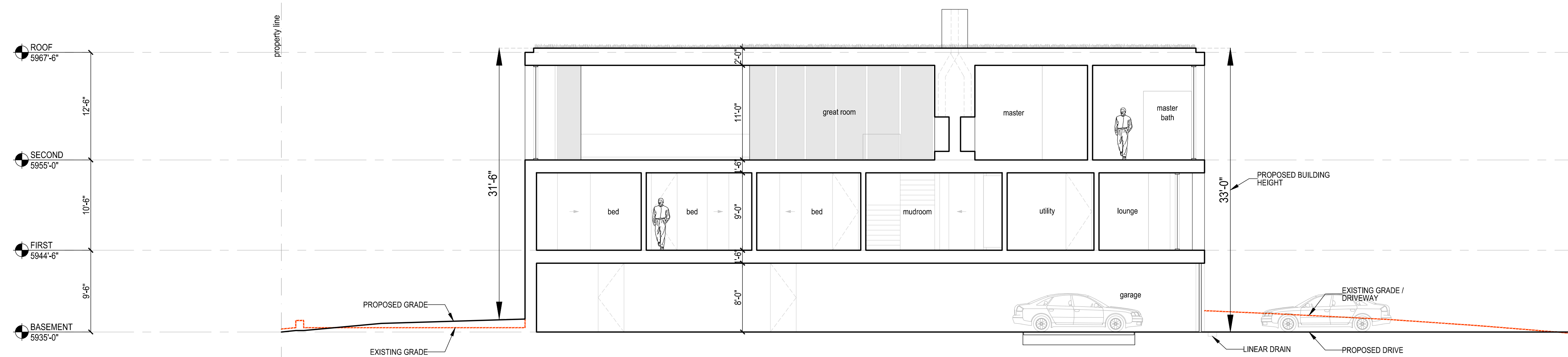


2 Site/Building Section - Cross
1/8"=1'-0"

ARCHITECT'S SEAL



KEY PLAN



1 Site/Building Section - Longitudinal
1/8"=1'-0"

PROJECT PHASE - PERMITTING

REVISIONS

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6	MODR - APP	NOVEMBER 18, 2022	CITY
7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

SITE/BUILDING SECTION

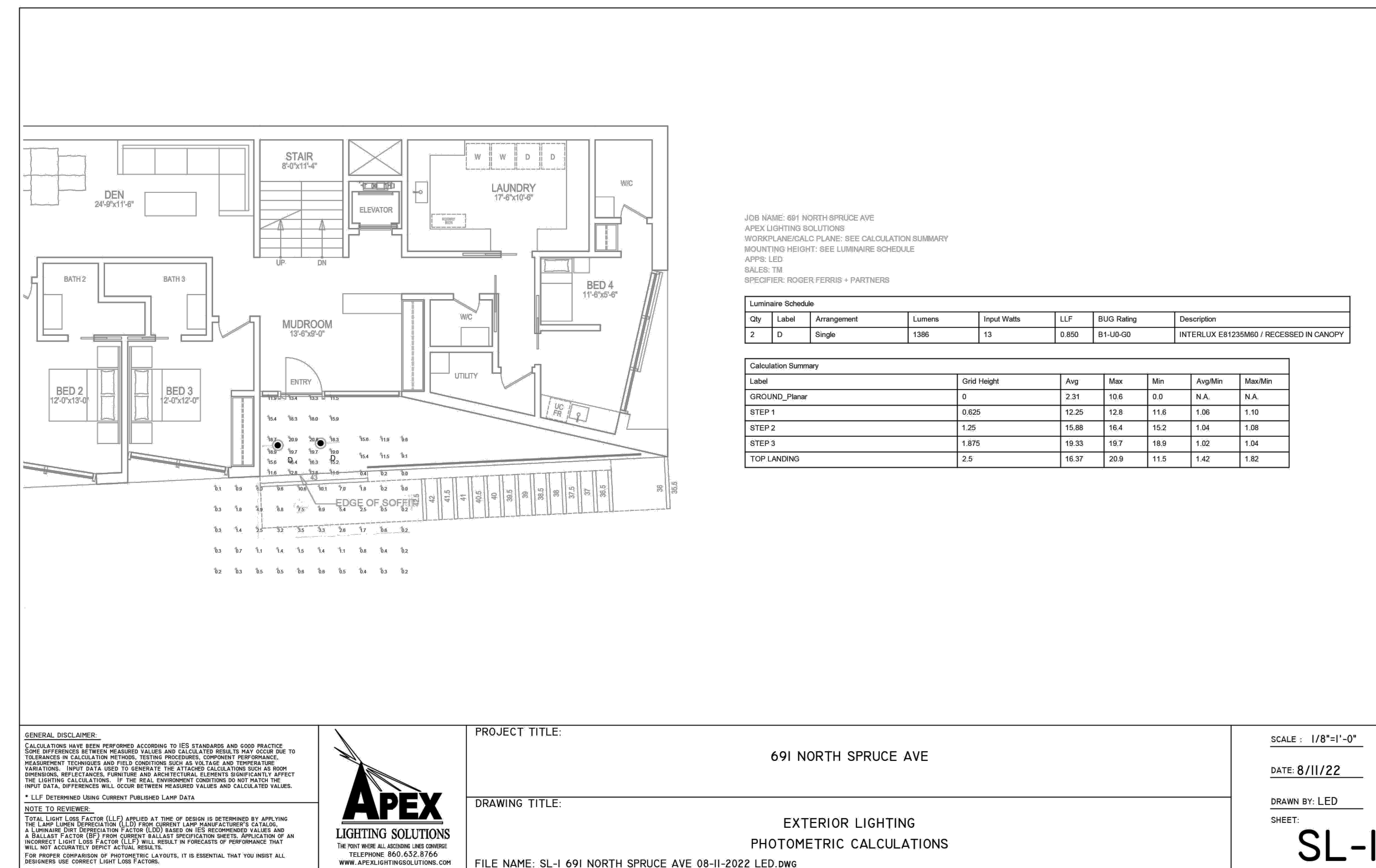
PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED



A301

Proposed Exterior Lighting Fixtures & Photometric Plan

All fixtures to comply with City of Ketchum Dark Sky Ordinance - Chapter 17.132



Note: Source lumens shown

Model	Beam Angle	Beam Diameter (ft)	Beam Diameter (m)	Spot/Beam	Spot/Beam	Spot/Beam
EB1225	36.4	2.70	1.72	M	Spot	15
EB1226	36.4	3.00	1.92	M	Medium Flood	30
EB1227	36.4	4.00	1.85	N	Flood	60

Power supply options (remote only)

Model	Power	Beam Diameter (ft)	Beam Diameter (m)	Spot/Beam	Spot/Beam	Spot/Beam
ECO09W-310	9W	2.70	1.72	M	Spot	15
SOL09W-310	9W	3.00	1.92	M	Medium Flood	30
SOL018W-310	18W	4.00	1.85	N	Flood	60

Lighting Fixture - Soffit Light

Recessed
2700K Color Temperature

Residence

691 North Spruce Ave.
Ketchum, ID 83340

Architect

Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

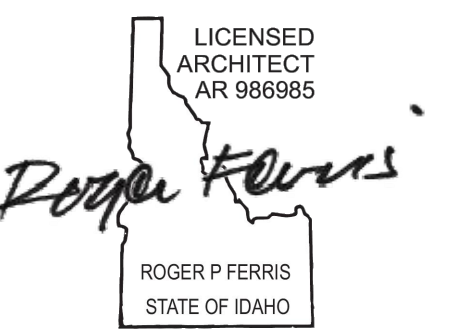
Civil Engineer/Surveyor

Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect

BYLA Landscape Architects
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tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

PROPOSED EXTERIOR LIGHTING FIXTURES

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G001

Proposed Material Palette



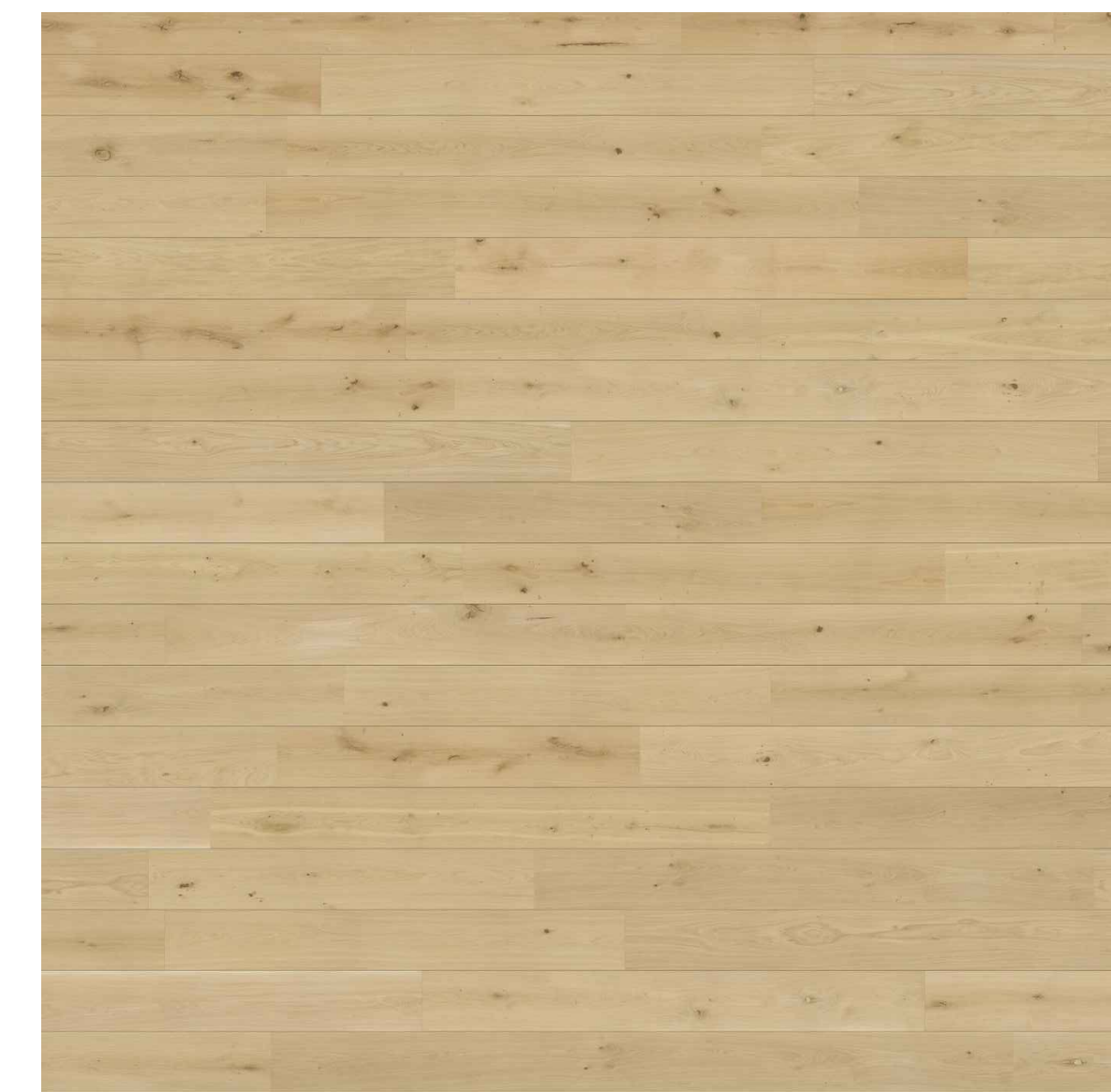
1) Wood Windows & Doors
At exterior glazed locations



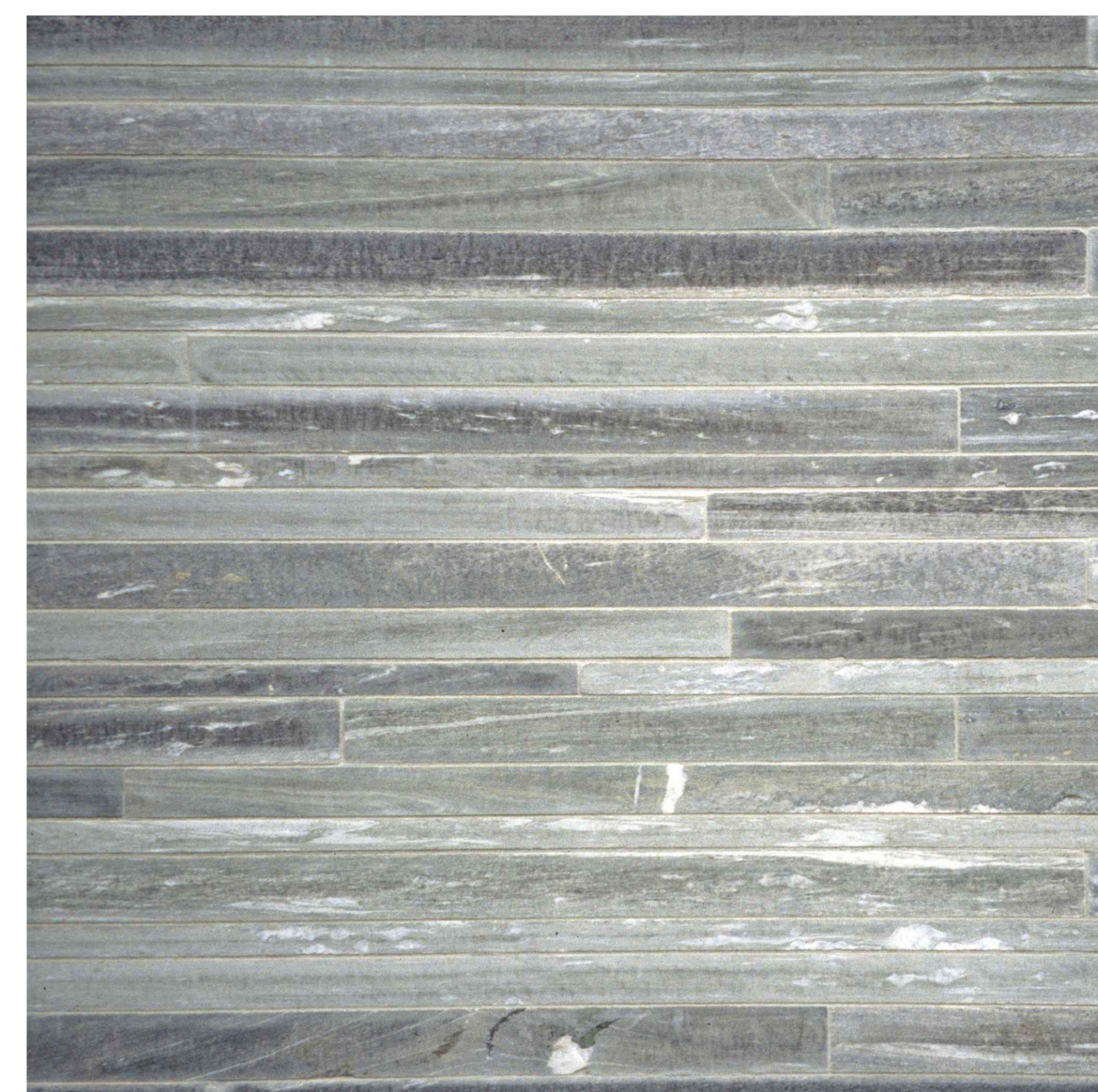
2) Wood Louvers
At exterior glazed locations



3) Wood Cladding
At exterior walls



4) Wood Soffits
At exterior soffit locations



5) Stone Cladding
At exterior walls



6) Zinc
At chimneys & parapet caps



7) Cable Guardrail
At exterior terraces



8) Green Roof
Sedum green roof w/native vegetation
(TBD by Landscape Architect)

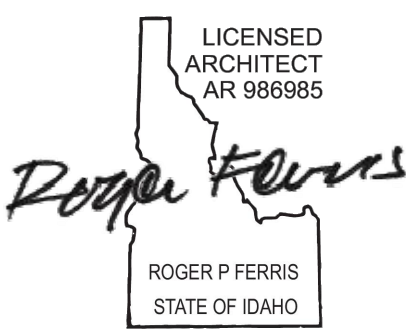
Residence
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

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Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

PROPOSED MATERIAL PALETTE

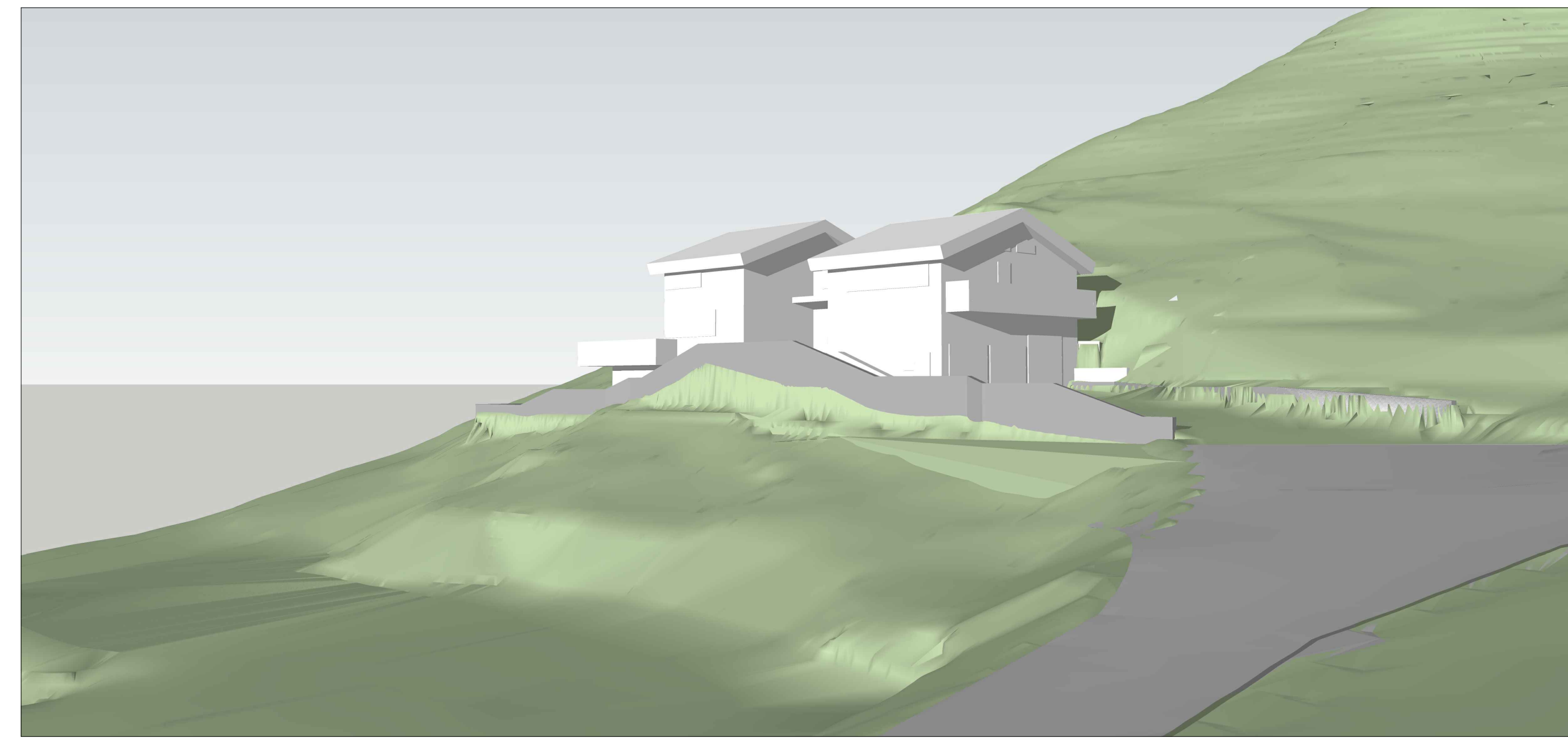
PROJECT NUMBER: **21-002**
DATE: **JULY 14, 2021**
SCALE: **N/A**

G002

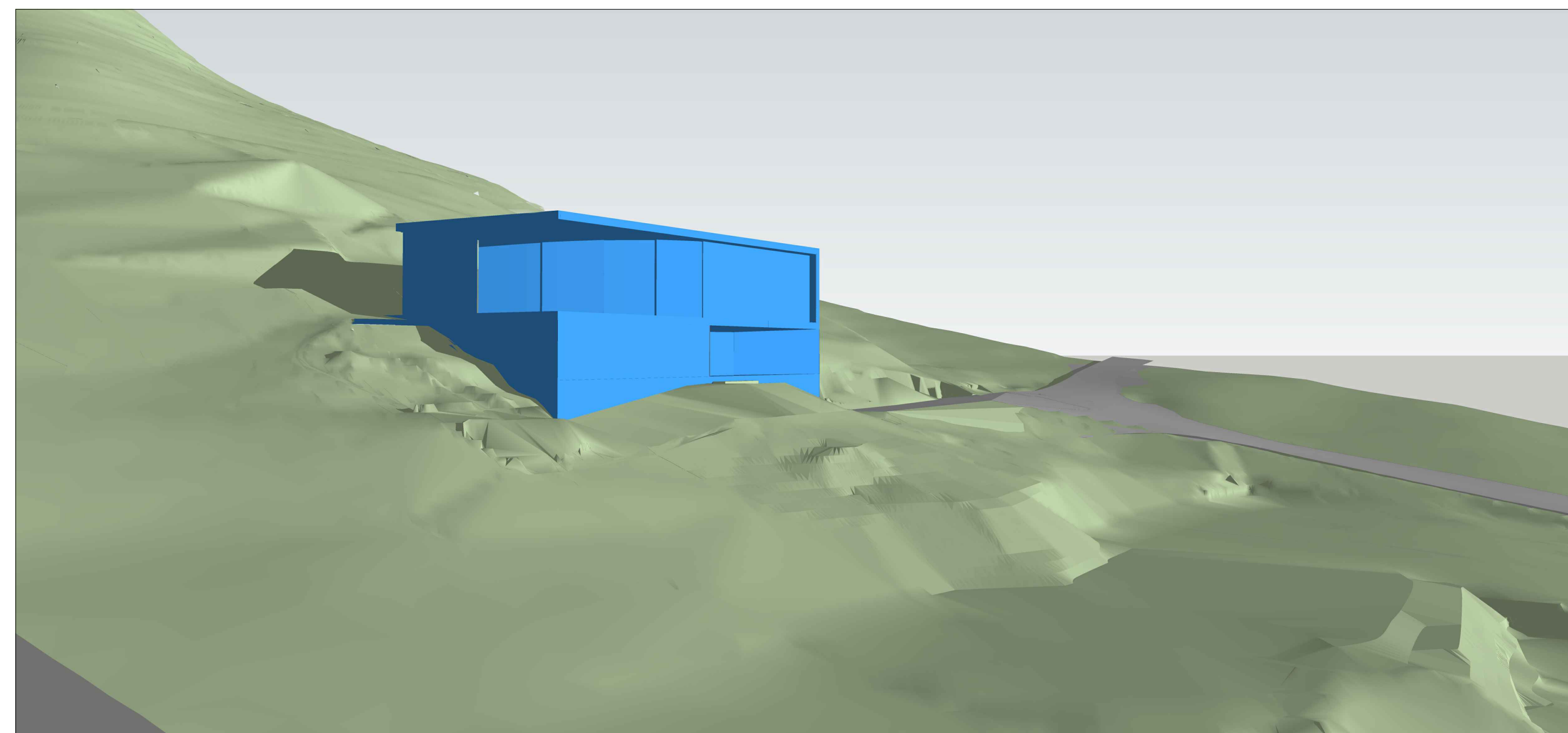
3D Comparison



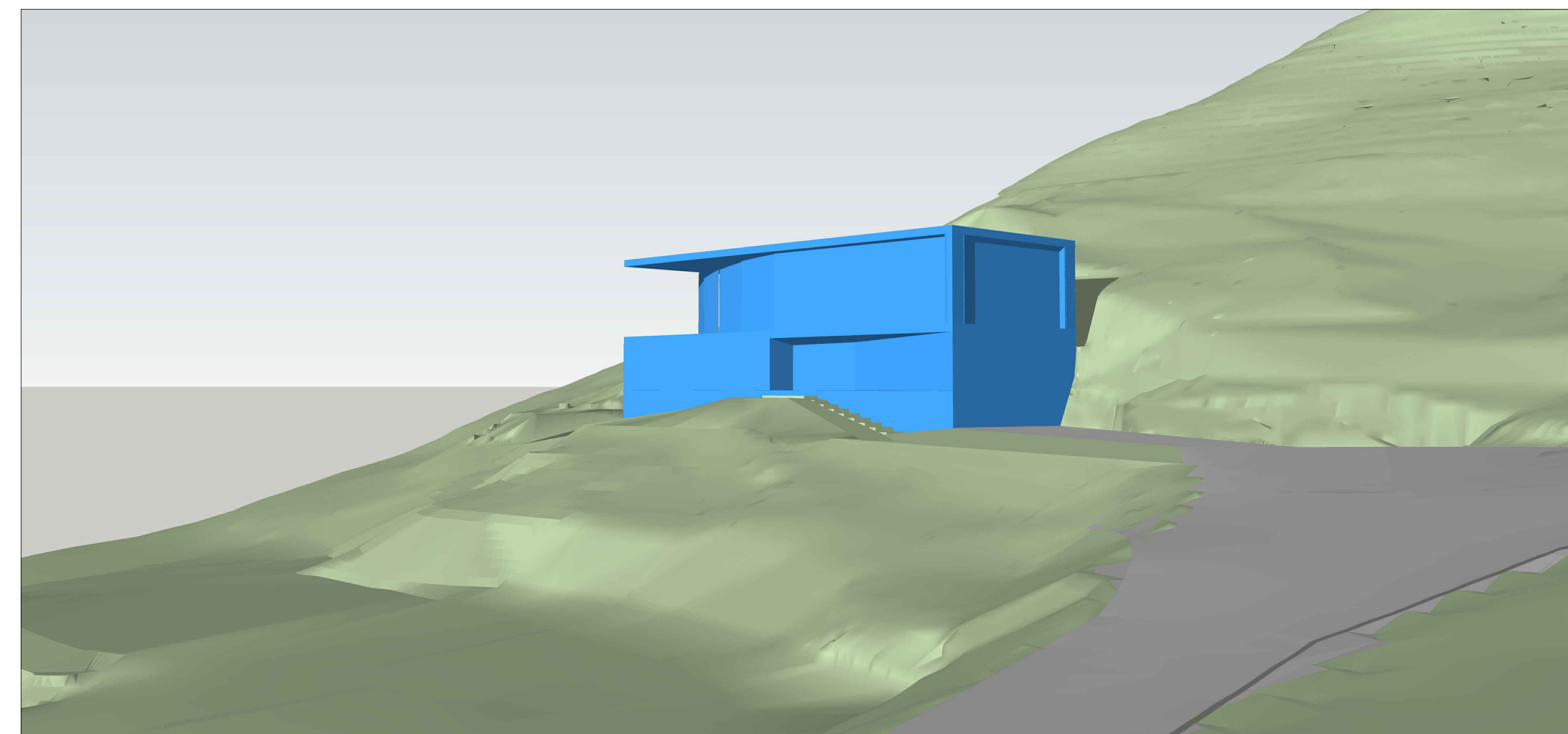
EXISTING RESIDENCE MASSING - VIEW 1



EXISTING RESIDENCE MASSING - VIEW 2



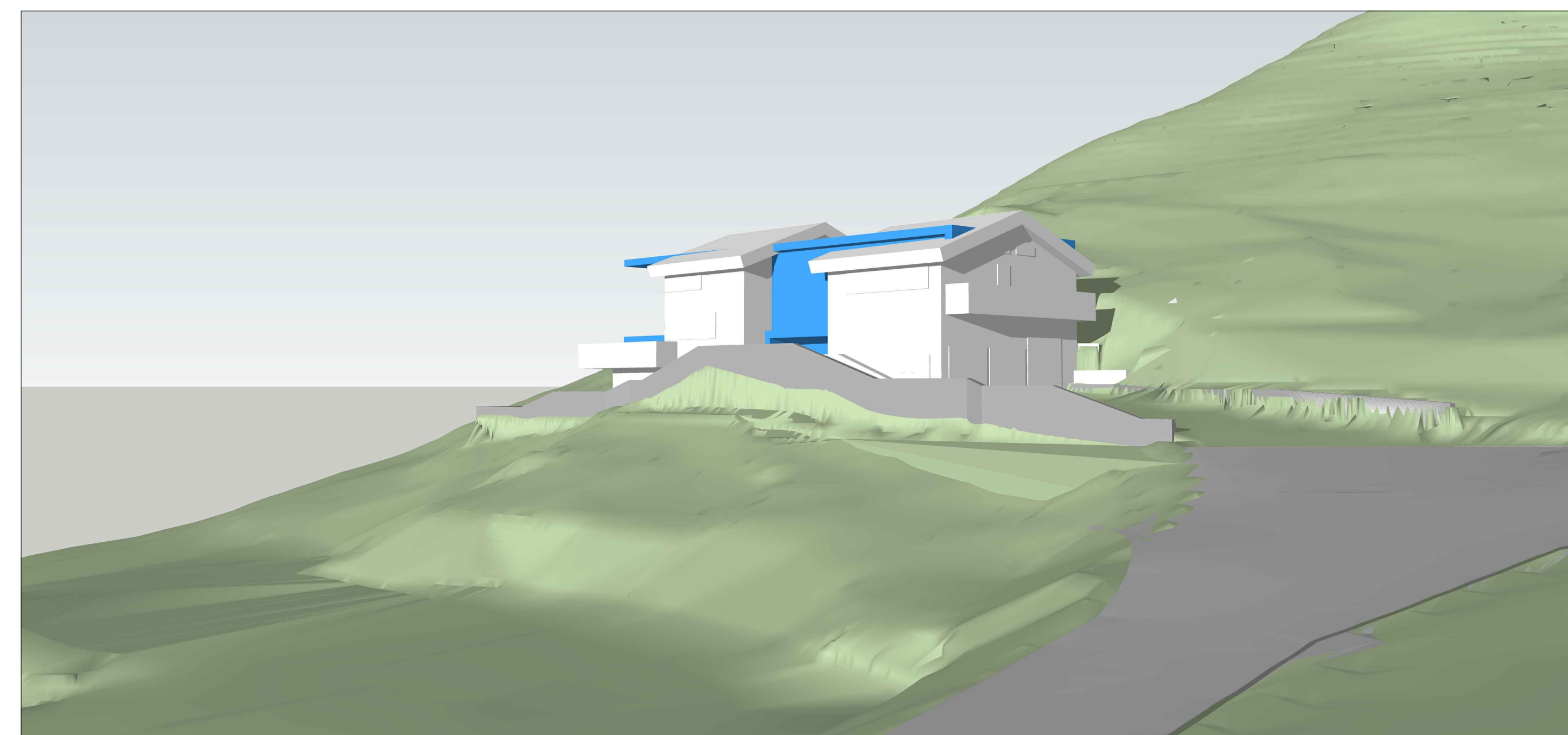
PROPOSED RESIDENCE MASSING - VIEW 1



PROPOSED RESIDENCE MASSING - VIEW 2



PROPOSED RESIDENCE MASSING OVERLAYED ON EXISTING MASSING - VIEW 1



PROPOSED RESIDENCE MASSING OVERLAYED ON EXISTING MASSING - VIEW 2

Residence

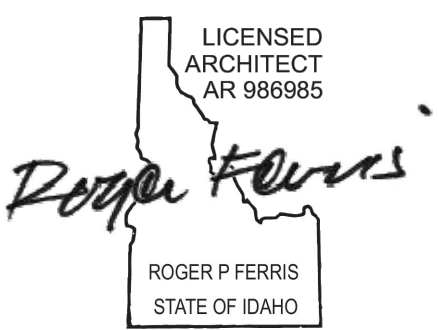
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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

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7	MODR - APP - REV #1	JANUARY 13, 2023	CITY

SHEET NAME

3D Comparison

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G003

CONSTRUCTION STAGING PLAN

7TH ST. (60' RW)

- LEGEND**
- Property Line
 - Adjoiner's Lot Line
 - Centerline
 - FNDGEAR = Found Gear Survey
 - FD5/8 = Found 5/8" Rebar
 - FD1/2 = Found 1/2" Rebar
 - CP / CNTRL = Survey Control
 - 5' Contour Interval
 - 1' Contour Interval
 - FL = Flow Line
 - Building
 - Above Ground Deck
 - Edge of Asphalt
 - Edge of Concrete
 - Edge of Pavers
 - Flat Stone Pavers
 - Pavers
 - RTW = Concrete Retaining Wall
 - Drystack or Railroad Tie Retaining Wall
 - Rock Face
 - Aspen Grove
 - CT = Conifer Tree
 - DT = Deciduous Tree
 - Landscape Steps
 - GMTR = Gas Meter
 - Overhead Power Line
 - PP = Power Pole
 - GUY = Guywire
 - SS = Sewer Service
 - CB = Catch Basin
 - Culvert
 - WS = Water Service
 - AP = Angle Point
 - BEG = Beginning
 - BOW = Back of Walk
 - CMP = Corrugated Metal Pipe
 - EOA = Edge of Asphalt
 - EOC = Edge of Concrete
 - EOP = Edge of Pavers
 - EOFT = Edge of Flat Stone
 - FF = Finished Floor
 - GB = Grade Break
 - GFF = Garage Finished Floor
 - INT = Intersection
 - NC = No Cap
 - NG = Natural Ground
 - PVC = Polyvinyl Chloride Pipe
 - RP = Reference Point
 - RR TIE = Railroad Tie
 - TA = Top of Asphalt
 - THRESH = Threshold of Door
 - TOE = Toe of Slope
 - TOP = Top of Slope
 - TW = Top of Wall
 - WTR TOP = Top of Water Fall

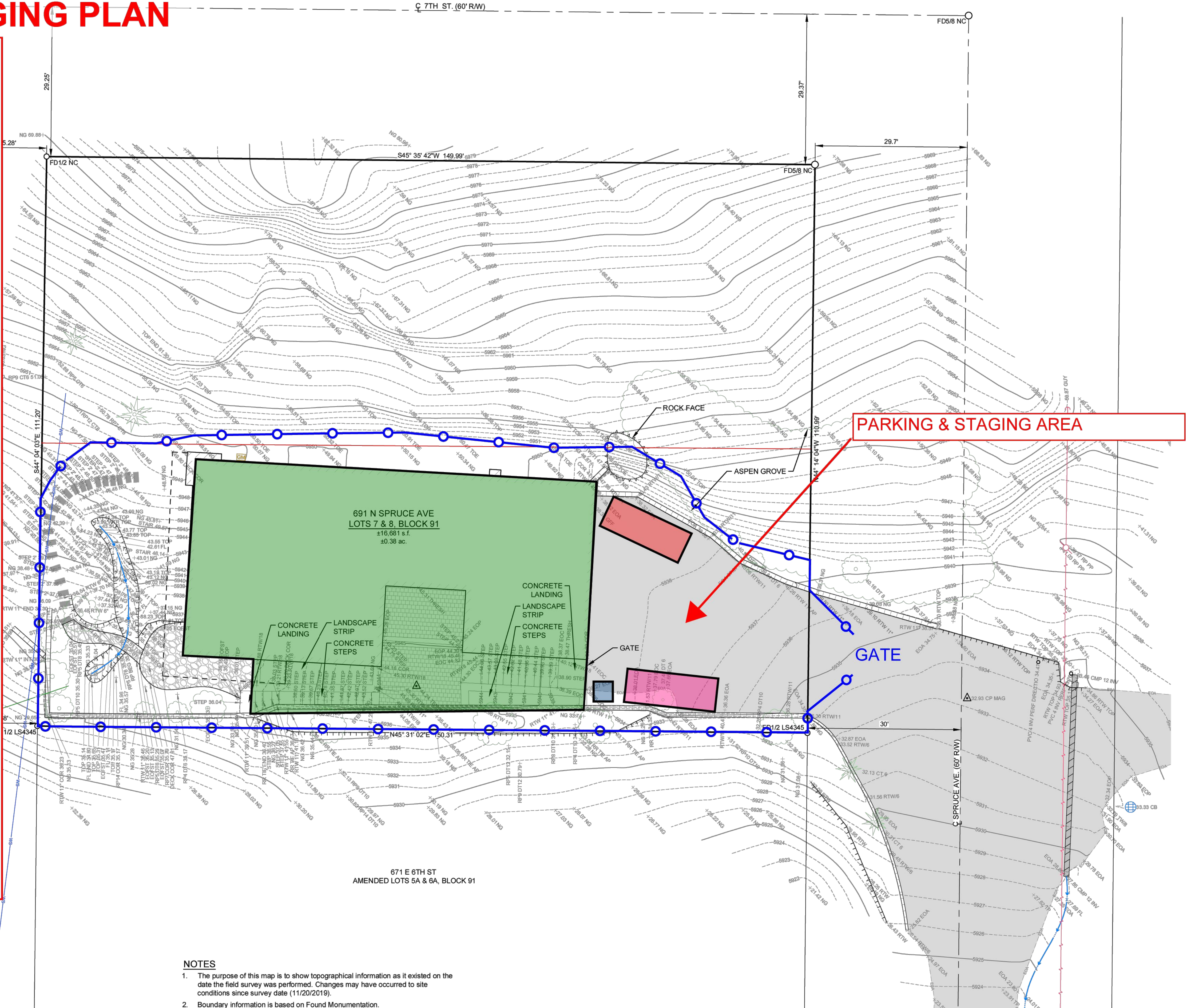
CONSTRUCTION FENCE

DUMPSTER

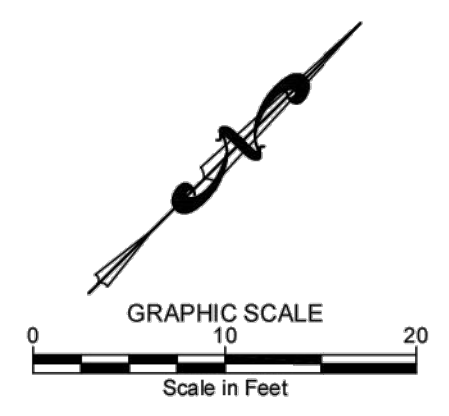
PORTABLE RESTROOM

AREA OF DEMOLITION & CONSTRUCTION

JOB TRAILER



- NOTES**
1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (11/20/2019).
 2. Boundary information is based on Found Monumentation.
 3. Underground utilities were not located. Water and sewer services shown hereon are per the City of Ketchum utility maps. Utilities should be located prior to any excavation.
 4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 5. Benchmark is top of found 1/2" rebar located at the common property corner of 691 N. Spruce Ave. and 671 E. 6th St. along Spruce Ave., elevation = 5934.10. Vertical Datum is NAVD 1988.
 6. This Lot is within the Mountain Overlay Zoning District. Please Refer to Ketchum Zoning Ordinance 17.104 for use conditions and restrictions.



A TOPOGRAPHIC MAP SHOWING
691 NORTH SPRUCE
 LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR 691 NORTH SPRUCE LLC

ORIGINAL SIGNED BY
 MARK E. PHILLIPS
 DATE ORIGINAL SIGNED:
 12/03/2019

PROFESSIONAL LAND SURVEYOR
16670
 STATE OF IDAHO
 MARK E. PHILLIPS

ORIGINAL ON FILE AT
 OFFICE OF GALENA
 ENGINEERING
 (HAILEY, ID)

DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE: TOPOGRAPHIC MAP

NO.	DATE	BY	REVISIONS

TOPO

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

Attachment C
Application Materials:
Lot Consolidation
Preliminary Plat
Application
with
Waiver Request
&
Supplemental Materials



**City of Ketchum
Planning & Building**

OFFICIAL USE ONLY	
App No:	P22-042A
Date Received:	9/1/22
By:	SMC
Fee Paid:	2600.00
Approved Date:	
By:	

Subdivision Application

Submit completed application to the Planning and Building Department electronically to planningandzoning@ketchumidaho.org. Once your application has been received, we will review it and contact you with the next steps. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the city website at: www.ketchumidaho.org and click on Municipal Code.

APPLICANT INFORMATION			
Name of Proposed Subdivision: Lot 7A, Block 91, Ketchum Townsite			
Owner of Record: Spruce and 6th LLC			
Address of Owner: 11 Wilton Road, Westport, CT 06880			
Representative of Owner: Mark Phillips / Roger Ferris + Partners c/o Jake Watkins			
Legal Description: Lots 7 & 8, Block 91, Ketchum Townsite RPK000091007A			
Street Address: 691 N Spruce Ave., Ketchum ID			
SUBDIVISION INFORMATION			
Number of Lots/Parcels: 2			
Total Land Area: ±16,681 Sq. Ft., ±0.38 A.c.			
Current Zoning District: Limited Residential			
Proposed Zoning District: Limited Residential			
Overlay District: Mountain			
TYPE OF SUBDIVISION			
Condominium <input type="checkbox"/>	Land <input checked="" type="checkbox"/>	PUD <input type="checkbox"/>	Townhouse <input type="checkbox"/>
Adjacent land in same ownership in acres or square feet: None			
Easements to be dedicated on the final plat: None			
Briefly describe the improvements to be installed prior to final plat approval: Any City requirements			
ADDITIONAL INFORMATION			
All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance			
One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations			
One (1) copy of current title report and owner's recorded deed to the subject property			
One (1) copy of the preliminary plat			
All files should be submitted in an electronic format to planningandzoning@ketchumidaho.org			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortious conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Mark Phillips, Representative

08 / 31 / 2022

Applicant Signature

Date



Date: October 6, 2022

File Number: _____

APPLICATION FOR A WAIVER OF REQUIREMENTS

Name: Residence - 691 North Spruce Ave Owner: Spruce and 6th LLC c/o Jake Watkins

Phone No. (business): 203.222.4848 (home): email: watkins@ferrisarch.com

Mailing Address: 11 Wilton Road, Westport, CT 06880

Project Address: 691 North Spruce Ave, Ketchum, ID 83340

Legal Description: Lots 7 & 8, Block 91, Ketchum Townsite

Zoning Designation: LR

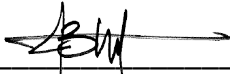
Overlay District: Flood Avalanche Pedestrian Mountain

Please state with particularity the matters the applicant seeks waiver or deferral:

The city has determined that the entire property contains slopes over 25%. We are seeking a waiver to establish a building envelope on the property.

Please state how the waiver or deferral would not be detrimental to the public welfare, health and safety nor injurious to property owners in the immediate area.

Zoning Code Interpretation 22-001 permits the development of a project on a hillside with 25% and greater slopes provided the project does not exceed the height or the limits of disturbance of the existing nonconforming home and the proposed building footprint conforms as close as possible to the existing building. The proposed building envelope will allow for a smaller home that is conforming with all City regulations

Applicant's Signature: 

Date: October 6, 2022

**Once your application has been received, we will review it and contact you with next steps.
No further action is required at this time.**

QUITCLAIM DEED

This quitclaim deed is made on the 10 day of November, 2020, by and between -

691 NORTH SPRUCE, LLC, an Idaho limited liability company, with mailing address of 611 North Street, Greenwich, Connecticut, 06830, referred to herein as Transferor; and

SPRUCE AND 6TH, LLC, an Idaho limited liability company, with mailing address of ATTN: Inez D'Arcangelo, 611 North Street, Greenwich, Connecticut, 06830, collectively referred to herein as Transferee:

Transferor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, by these presents remises, releases, and forever quitclaims to Transferee, as his sole and separate property, and to Transferee's heirs and assigns, all that parcel of land situate, lying, and being in Blaine County, Idaho, more accurately and legally described at **Exhibit A** hereto;

Together with all and singular the tenements, hereditaments, and appurtenances belonging to or in any manner appertaining to the property, the reversion and reversions, remainder and remainders, rents, issues, and profits of the property;

To have and to hold, all and singular, the described property together with the appurtenances to Transferee and to Transferee's heirs and assigns forever.

In witness of the above, Transferor has set Transferor's hand on the date first written above.

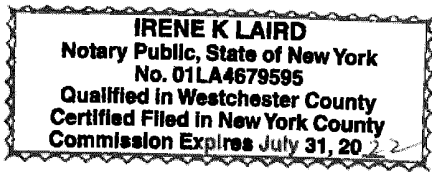


691 NORTH SPRUCE, LLC
by Charles P. Stevenson, Jr., its member

ACKNOWLEDGMENT

STATE OF NEW YORK)
) ss.
COUNTY OF New York)

On this 10th day of November, 2020, before me, a notary public for the above-named state, personally appeared before me Charles P. Stevenson, Jr., as member of 691 North Spruce, LLC, who is (or are) personally known to me to be the person(s) named as Transferor(s), or proven to me on the basis of satisfactory evidence to be the person(s) named as Transferor(s), whose name(s) is (or are) subscribed to the within instrument, and acknowledged to me that he/she (or they) executed the same.



Irene K Laird
Notary Public for the State of New York
Residing in 115 HARWOOD AVE, SLEEPY HOLLOW, N.Y.
My Commission Expires: 7/31/22 10591

EXHIBIT A

LEGAL DESCRIPTION

Street Address: 691 North Spruce Avenue, Ketchum, Idaho

Parcel No.: RPK0000091007A (Blaine County, Idaho)

Legal Description:

Lots 7 and 8, Block 91 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.



Sun Valley Title
Authorized Agent for:
Westcor Land Title Insurance Company

SCHEDULE A

Name and Address of Title Insurance Company: Westcor Land Title Insurance Company
2000 Colorado Blvd., Suite 1-3100
Denver, CO 80222

File Number: 19349503

Policy Number: 9285624

Date of Policy: May 29, 2020 at 10:35AM

Amount of Insurance: \$3,500,000.00

Premium: \$7,780.00

Property Address Reference: 691 N Spruce Ave, Ketchum, ID 83340

1. **Name of Insured:**
691 North Spruce, LLC
2. **The estate or interest in the land that is insured by this policy is:**
Fee Simple
3. **Title is vested in:**
691 North Spruce, LLC, an Idaho limited liability company
4. **The Land referred to in this policy is described as follows:**
See Attached Schedule C

Sun Valley Title
By:

Nick Busdon, Authorized Signatory

SCHEDULE B
Exceptions from Coverage

File Number: 19349503
Policy Number: 9285624

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. Rights or claims of parties in possession not shown by the public records.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land, and that is not shown by the Public Records.
3. Easements, or claims of easements, not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims to title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices to such proceedings whether or not shown by the records of such agency, or by the public records.
7. Taxes, including any assessments collected therewith, for the year 2020 which are a lien not yet due and payable.
8. Water and sewer charges, if any, for the City of Ketchum. Paid Current.
9. Easements, reservations, restrictions, and dedications as shown on the official plat of Ketchum Townsite.
10. Reservations and exceptions in a United States Patent, and in the act authorizing the issuance thereof, recorded May 13, 1942 as Instrument No. [84202](#).
11. Right of way for ditches, tunnels, telephone, and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code.
12. All matters, and any rights, easements, interests or claims as disclosed by a Record of Survey showing Lots 7 & 8, Block 91, Ketchum Townsite recorded December 6, 2019 as Instrument No. [665488](#).

SCHEDULE C
Legal Description

Lots 7 and 8, Block 91 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

Attachment D
Application Materials:
Lot Consolidation
Preliminary Plat Plan
Set

A PLAT SHOWING
LOT 7A, BLOCK 91, KETCHUM TOWNSITE
 WHEREIN THE LOT LINE BETWEEN LOTS 7 & 8, BLOCK 91 IS VACATED AS SHOWN HEREON
 LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JANUARY 2023



SCALE: 1" = 30'

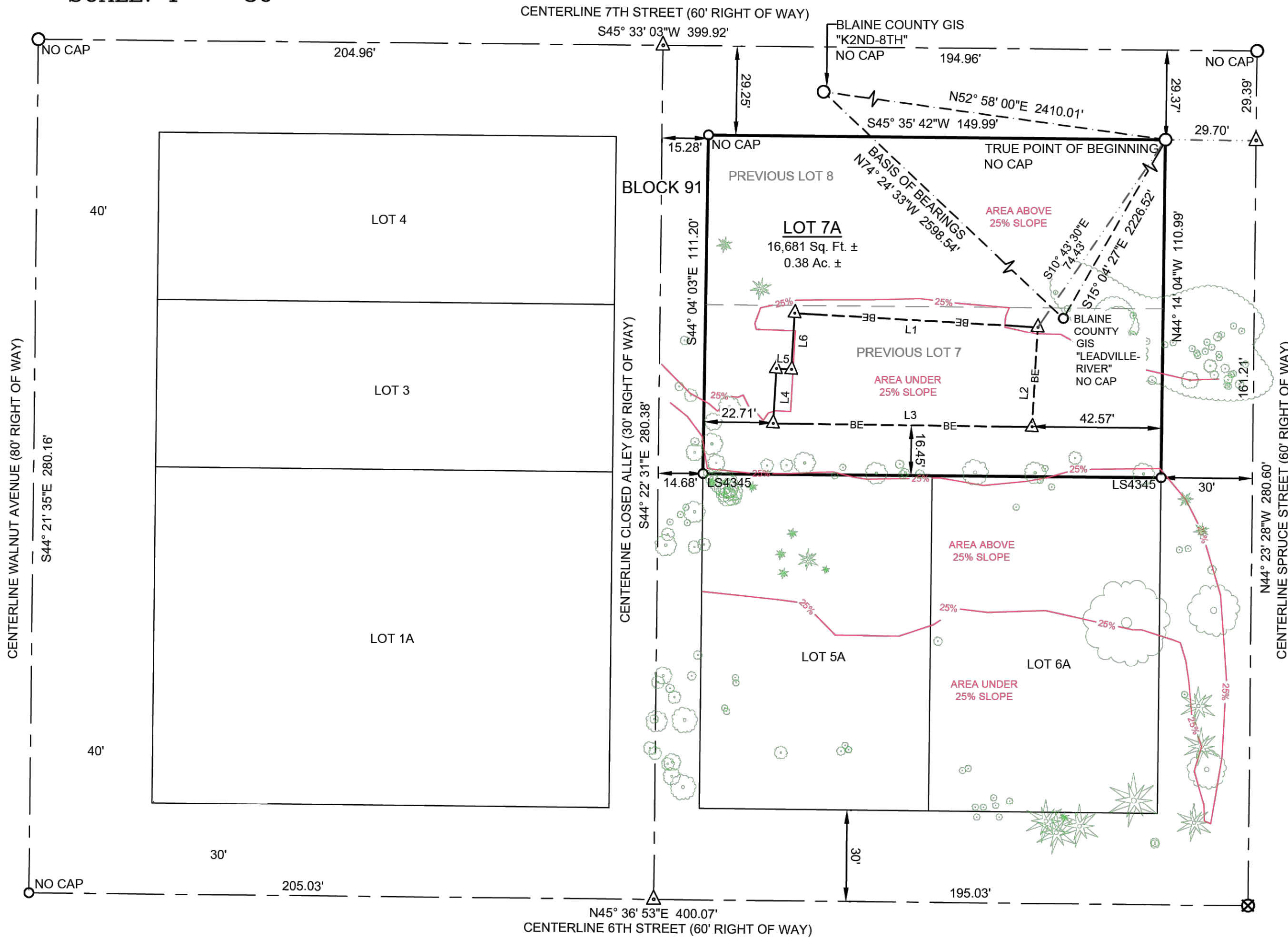


LEGEND

- Property Line
- Lot Line Vacated Hereon
- Adjoiner's Lot Line
- Centerline of Right of Way
- GIS Tie Line
- Survey Tie Line
- Building Envelope
- 25% Slope Boundary
- Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- Calculated Point, Nothing Set
- Aspen Grove
- Conifer Tree
- Deciduous Tree

SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found and set during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite and vacate the interior line creating Lot 7A, Block 91, Ketchum Townsite. The boundary shown is based on found lot corner monuments and the Official Map of the Village of Ketchum, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional documents used during the course of this survey include the Plat of Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366 and the Record of Survey showing Lots 7 & 8, Block 91, Ketchum Townsite, Instrument Number 665488, both records of Blaine County, Idaho.
2. The distances shown are measured. Refer to the above referenced documents for previous record data.
3. See Ketchum Ordinance 173, recorded as Instrument Number 197670, records of Blaine County, Idaho for conditions/restrictions regarding Block 91 Alley.
4. A Title Commitment for Lots 7 & 8, Block 91, Village of Ketchum, Blaine County, Idaho, has been issued by Sun Valley Title Guaranty Company, File Number 19349503, with a Date of Guarantee of May 29, 2020. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. All plottable encumbrances and easements listed in the title report are shown hereon. Review of specific documents is required, if further information is desired.
5. Zoning is LR, Limited Residential Use Zone. Refer to City of Ketchum Zoning Ordinance for more specific information about this zone.
6. The owner/subdivider is Spruce and the 6th. L.L.C., c/o Jake Watkins at Roger Ferris Partners, 11 Wilton Road, Westport, CT 06880. The surveyor/representative is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.



Line Table		
Line #	Length	Direction
L1	79.90'	S48°20'34"W
L2	32.89'	N41°39'27"W
L3	84.98'	N45°46'41"E
L4	18.00'	S41°39'27"E
L5	5.00'	S48°20'33"W
L6	18.69'	S41°39'27"E



MARK E. PHILLIPS, P.L.S. 16670

VICINITY MAP
NOT TO SCALE

LOT 7A, BLOCK 91,
KETCHUM TOWNSITE
GALENA ENGINEERING, INC.
HAILEY, IDAHO
SHEET 1 OF 2
Job No. 7932-01

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central Public Health District

Attachment E
Zoning
and
Dimensional Standards
Evaluation



691 N SPRUCE AVENUE RESIDENCE
COMPLIANCE WITH ZONING REGULATIONS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N / A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Finding	Required: 9,000 square feet minimum Existing: 16,681 square feet (0.38 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Finding	Permitted: 35% Proposed: 15% (2,478 square feet / 16,681 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' (15'-7" required) Rear: 20' Proposed: Front (Spruce Avenue): 41.57' Side (north): 58.73' Side (south): 16.75' Rear (west): 28.29'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Finding	Maximum Permitted: 35' Proposed: 33'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 21% (23-foot-wide driveway/110 feet of frontage along Spruce Ave)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces
			Finding	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: One-Family Dwelling Units in all Zoning Districts: 2 parking spaces per dwelling unit. Proposed: The applicant is proposing two parking spaces within the enclosed garage.

Attachment F
Mountain Overlay
Design Review
Standards Evaluation



691 N SPRUCE AVENUE RESIDENCE
MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS ANALYSIS

Mountain Overlay Design Review Standards (KMC §17.107.070.A)				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. The project protects the natural hillside by: (1) conforming to the existing home's building footprint and (2) containing all construction activity within the existing limits of disturbance on the subject property. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within rear- and side-yard setback areas. The maximum height of the proposed home is 33 feet, which is 1.22 feet less than the maximum height of the existing home further reducing its visibility on the hillside.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	The project minimizes building, excavating, filling, and vegetation disturbance by containing all construction activity within the existing disturbed area on the subject property. The existing development's total building coverage is 4,084 square feet. The proposed redevelopment's building coverage is 2,478 square feet, which is 1,606 square feet less than existing. The site survey on Sheet C1.0 of the project plans shows the existing development's limits of disturbance. The total area of existing site disturbance is 8,469 square feet. The site photos on Sheets EX003 and EX004 of the project plans show the existing disturbed areas on the subject property. Existing disturbance within the front-yard setback area includes the driveway and retaining walls. Existing disturbance within the rear-yard setback area includes dry-stack retaining walls, landscape steps, a paver patio, and a drainage swale.

				<p>Existing disturbance within the south-side-yard setback area includes railroad tie retainage and a tall concrete retaining wall. Sheet C1.1 shows that the new single-family residence and all associated site improvements are contained within the existing limits of disturbance on the subject property. The proposed cut and fill quantities are specified on Sheet C1.1. The total volume of the proposed cut is 460 cubic yards. No new fill is proposed to be added to the subject property.</p> <p>The minimal building, excavating, filling, and vegetation will not have a material visual impact visible from a public vantage point entering or within the city. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within rear- and side-yard setback areas. The maximum height of the proposed home is 33 feet, which is 1.22 feet less than the maximum height of the existing home further reducing its visibility on the hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Findings	<p>The applicant has proposed improving the existing driveway by re-grading to comply with Fire Department requirements, installing a snowmelt system that terminates at the front property line, and resurfacing with new asphalt. The existing grade of the existing driveway slopes uphill 14.5% towards the garage from its access along Spruce Avenue, exceeding the 7% maximum grade permitted by the Fire Department. The applicant has proposed grading improvements that flatten the existing driveway. The proposed driveway grade slopes down 1.4% towards the garage from its access along Spruce Avenue and complies with Fire Department requirements.</p> <p>The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L.</p> <p>Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.

			Findings	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. The Fire Department has reviewed the project plans and has found that all access requirements for emergency vehicles have been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Findings	Sheet C1.1 of the project plans shows that the disturbance proposed for the new home does not extend beyond the existing limits of disturbance on the site. The project protects the natural hillside area by concentrating redevelopment within the existing disturbed area on the subject property. The proposed home is sited at the lower elevation of the parcel conserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbance within rear- and side-yard setback areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Findings	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Findings	As shown on C1.1 of the project plans, the redevelopment project will utilize the existing sewer service. The existing water service will be abandoned and replaced with a new water service connection. The Utilities Department reviewed the project plans and the new water service connection complies with city requirements. Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Findings	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.1 of the project plans. The drainage improvements include the installation of a French drain bordering the length of the south-side property line. A landscape drywell will be installed to collect stormwater from the driveway. A detail of the French drain and drywell has been provided on Sheet C1.2. The City Engineer has reviewed the proposed drainage plan

				<p>and believes the French drain and drywell improvements are sufficient to maintain all storm water drainage on-site.</p> <p>Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed drainage improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.9	<p>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</p> <p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustibile irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
			Findings	<p>No new roadways or driveways are proposed with this redevelopment project. The project proposes to improve the existing driveway that accesses the property along Spruce Avenue. The applicant has proposed improving the existing driveway by re-grading to comply with Fire Department requirements, installing a snowmelt system that terminates at the front property line, and resurfacing with new asphalt.</p> <p>The project minimizes building, excavating, filling, and vegetation disturbance by containing all construction activity within the existing disturbed area on the subject property. The proposed cut and fill quantities are specified on Sheet C1.1. The total volume of the proposed cut is 460 cubic yards. No new fill is proposed to be added to the subject property. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within rear- and side-yard setback areas. The rear- and side-yard setback areas will be restored and revegetated with native grasses and sage brush. New aspen trees will be installed to enhance the existing grove on the property and new native chokecherries will be installed to screen utilities. The Fire Department has reviewed the project plans and has not recommended a 30-foot-clear-zone for the project. Fire Protection Ordinance No. 1217 (KMC §15.08.080) requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be</p>

				kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The project complies with the fire protection and defensible space standards specified in KMC §15.08.080.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Findings	The new home is sited within the most suitable area for redevelopment at the lower elevation of the parcel. Sheet C1.1 shows that the new single-family residence and all associated site improvements are contained within the existing limits of disturbance on the subject property. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. The project protects the natural hillside by: (1) conforming to the existing home's building footprint and (2) containing all construction activity within the existing limits of disturbance on the subject property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Findings	The applicant has proposed improving the existing driveway by re-grading to comply with Fire Department requirements, installing a snowmelt system that terminates at the front property line, and resurfacing with new asphalt. The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L. Drainage improvements are specified on Sheet C1.1 of the project plans. The drainage improvements include the installation of a French drain bordering the length of the south-side property line. A landscape drywell will be installed to collect stormwater from the driveway. A detail of the French drain and drywell has been provided on Sheet C1.2. The City Engineer has reviewed the proposed drainage plan and believes the French drain and drywell improvements are sufficient to maintain all storm water drainage on-site. The proposed driveway improvements will not have adverse impacts on drainage, snow, earth-slide potential, or erosion. Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.12	Utilities shall be underground.
			Findings	The utility improvements are indicated on Sheet C1.1 of the project plans. The redevelopment project will utilize the existing sewer, gas, and

				<p>electrical service. The existing water service will be abandoned and replaced with a new water service connection. The Utilities Department reviewed the project plans and the new water service connection complies with city requirements. Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project. Four above-grade AC condensers are proposed to be installed within the rear-yard setback area bordering the proposed residence. The landscape plan on Sheet L2.0 shows that new native chokecherries will be installed to screen the AC condensers. In accordance with KMC §17.96.060.D2, the proposed landscaping improvements within the rear yard will sufficiently screen the AC condensers from public view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.13	<p>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</p>
			Findings	<p>Sheet C1.1 shows that the new single-family residence and all associated site improvements are contained within the existing limits of disturbance on the subject property. The applicant has submitted a preliminary construction management plan that indicates the limits of disturbance will be protected by fencing during construction. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be required to be submitted with the building permit application. City Departments will conduct a comprehensive review of the proposed construction management plan during plan review for the building permit. Pursuant to condition no. 5, the limits of disturbance shall be established on the construction management plan submitted with the building permit application and protected by fencing for the duration of construction.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.14	<p>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</p>
			Findings	<p>The project minimizes building, excavating, filling, and vegetation disturbance by containing all construction activity within the existing disturbed area on the subject property. The proposed cut and fill quantities are specified on Sheet C1.1. The total volume of the proposed cut is 460 cubic yards. No new fill is proposed to be added to the subject property. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within rear- and side-yard setback areas.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Findings	<p>Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries by designating the Knob Hill area as a significant landmark. The subject property is comprised of two separate lots located on Knob Hill. These lots are part of the original Ketchum Townsite that was created in 1948. Topography was not considered when the townsite was established, and Knob Hill contains platted blocks with multiple unimproved lots and unimproved public rights-of-way located high on the hillside.</p> <p>The project protects the natural hillside area by concentrating the redevelopment within the existing disturbed area on the property. The proposed home is sited at the lower elevation of the parcel conserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbance within rear- and side-yard setback areas.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070.A.16	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
			Findings	This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.

Attachment G
Design Review
Standards Evaluation



691 N SPRUCE AVENUE RESIDENCE
DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	N/A

Finding: This standard is not applicable as no new roadways or driveways are proposed with this redevelopment project. The project proposes to improve the existing driveway that accesses the property along Spruce Avenue. The applicant has proposed improving the existing driveway by re-grading to comply with Fire Department requirements, installing a snowmelt system that terminates at the front property line, and resurfacing with new asphalt.

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	N/A

Finding: No new streets or changes to the design of Spruce Avenue are proposed with this project.

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	N/A

Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable.

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	N/A

Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i>	N/A

b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i>	
Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #4
Finding: Pursuant to KMC §17.104.070.A.8, drainage must be controlled and maintained to not adversely affect other property. Drainage improvements are specified on Sheet C1.1 of the	

project plans. The drainage improvements include the installation of a French drain bordering the length of the south-side property line. A landscape drywell will be installed to collect stormwater from the driveway. A detail of the French drain and drywell has been provided on Sheet C1.2. The City Engineer has reviewed the proposed drainage plan and believes the French drain and drywell improvements are sufficient to maintain all storm water drainage on-site. Pursuant to condition #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed drainage improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #4
<p>Finding: Drainage improvements are specified on Sheet C1.1 of the project plans. The drainage improvements include the installation of a French drain bordering the length of the south-side property line. A landscape drywell will be installed to collect stormwater from the driveway. A detail of the French drain and drywell has been provided on Sheet C1.2. The City Engineer has reviewed the proposed drainage plan and believes the French drain and drywell improvements are sufficient to maintain all storm water drainage on-site.</p> <p>Pursuant to condition #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed drainage improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #4
<p>Finding: The City Engineer has reviewed the proposed drainage plan and believes the French drain and drywell improvements are sufficient to maintain all storm water drainage on-site. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition #4, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
<p>Finding: Drainage improvements are specified on Sheet C1.1 of the project plans. The drainage improvements include the installation of a French drain bordering the length of the south-side property line. A landscape drywell will be installed to collect stormwater from the driveway. A detail of the French drain and drywell has been provided on Sheet C1.2. Pursuant to condition</p>	

#4, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES Condition #4
<p>Finding: The utility improvements are indicated on Sheet C1.1 of the project plans. The redevelopment project will utilize the existing sewer, gas, and electrical service. The existing water service will be abandoned and replaced with a new water service connection. The Utilities Department reviewed the project plans and the new water service connection complies with city requirements. Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project. Four above-grade AC condensers are proposed to be installed within the rear-yard setback area bordering the proposed residence. The landscape plan on Sheet L2.0 shows that new native chokecherries will be installed to screen the AC condensers. In accordance with KMC §17.96.060.D2, the proposed landscaping improvements within the rear yard will sufficiently screen the AC condensers from public view.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: No new signage is proposed for the new single-family home. The exterior materials are specified on Sheet G002 of the project plans and include wood windows and doors, wood louvers, wood cladding, wood soffits, stone cladding, zing, cable guardrails, and a green roof. The natural materials and colors are compatible with the existing homes in the Knob Hill neighborhood and complement the surrounding hillside.</p>	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	YES
<p>Finding: Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries by designating the Knob Hill area as a significant landmark. The subject property is comprised of two separate lots located on Knob Hill. These lots are part of the original Ketchum Townsite that was created in 1948. Topography was not considered when the townsite was established, and Knob Hill contains platted blocks with multiple unimproved lots and unimproved public rights-of-way located high on the hillside.</p> <p>The project protects the natural hillside area by concentrating the redevelopment within the existing disturbed area on the property. The proposed home is sited at the lower elevation of the parcel conserving the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbance within rear- and side-yard setback areas.</p>	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<p>Finding: The subject property is developed with an existing nonconforming single-family residence that was constructed in 1977 and is proposed to be demolished. While the existing home is more than 50 years old, the building is not designated on the city's adopted Historic Building/Site List. Review by the Historic Preservation Commission is not required; however, a demolition permit cannot be issued for the existing residence until a 60-day waiting period has concluded (KMC §15.16.040.B3) and a complete building permit application for a replacement project on the property has been accepted by the city and required fees have been paid (KMC §17.20.010.B).</p>	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	N/A
<p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable.</p>	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: Elevations for the proposed home are included on Sheet A201 and A202 of the project plans. The home’s character is defined by the curved wall of second-level great room that connects to this terrace. These features create an eye-catching building form that provides visual interest. The project design is mountain modern combining more rustic and natural materials with large windows, clean lines, hard edges, and a flat green roof.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses wood, stone, and glass along all facades of the building. The different shapes, sizes, and placement of these exterior materials add variety and animates each facade.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: No accessory structures or fences are proposed. The project proposes landscaping improvements that restore disturbed hillside areas. These landscaping improvements complement and soften the visual appearance of the single-family residence. The rear- and side-yard setback areas will be restored and revegetated with native grasses and sage brush. New aspen trees will be installed to enhance the existing grove on the property and new native chokecherries will be installed to screen utilities.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: The design incorporates variation in architectural features and materials across all facades. The elevations included on Sheets A201 and A202 of the project plans show that the building walls provide visual relief through exterior material differentiation and slight modulations in building mass to reduce the appearance of bulk and flatness.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The project will improve the existing driveway access along Spruce Avenue. A new gravel path is proposed connecting the driveway to the home’s main entrance at the south elevation fronting 6th Street.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<p>Finding: No satellite receivers are proposed for the project. As shown on Sheet A101, the garage contains storage space to accommodate garbage bins. The garbage storage area will be contained with the enclosed garage and fully screened from public view.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: The roof plan provided on Sheet A104 shows that roof drains will be installed on the sedum-green roof system. These roof drains will lead to vertical drainpipes within wall assemblies. The entry patio at the south elevation is partially covered providing weather protection for residents.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	N/A
<p>Finding: N/A. This redevelopment project is located within the Knob Hill area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways.</p>	

17.96.060.G.2 – Circulation Design	Conformance
<p><i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i></p>	<p>N/A</p>
<p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project.</p>	

17.96.060.G.3 – Circulation Design	Conformance
<p><i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i></p>	<p>YES Condition #4</p>
<p>Finding: The applicant has proposed improving the existing driveway by re-grading to comply with Fire Department requirements, installing a snowmelt system that terminates at the front property line, and resurfacing with new asphalt. The existing grade of the existing driveway slopes uphill 14.5% towards the garage from its access along Spruce Avenue, exceeding the 7% maximum grade permitted by the Fire Department. The applicant has proposed grading improvements that flatten the existing driveway. The proposed driveway grade slopes down 1.4% towards the garage from its access along Spruce Avenue and complies with Fire Department requirements.</p> <p>The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L.</p> <p>Pursuant to condition no. 4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.G.4 – Circulation Design	Conformance
<p><i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i></p>	<p>YES</p>
<p>Finding: The existing driveway is located over 150 feet away from the nearest intersection of Spruce Avenue and 6th Street.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES Condition #2
<p>Finding: The portion of Spruce Avenue north from 6th Street is not, and cannot be, maintained by the city due to its steep grade. During department review, planning staff requested the applicant provide more information on how this portion of Spruce Avenue is currently maintained, including who is responsible for snow removal. The applicant responded that there is a shared verbal agreement between all property owners on north Spruce Avenue to remove snow whenever necessary. Condition #2 will ensure that unobstructed access to the project will be maintained:</p> <p style="padding-left: 40px;"><i>Condition of Approval No. 2: A roadway maintenance agreement with between the impacted properties on north Spruce Avenue and the city, or at a minimum between the subject property owner and the city, to memorialize that the property owners are responsible for providing unobstructed access by removing snow, maintaining, and repairing the portion of Spruce Avenue north from 6th Street is required. The roadway maintenance agreement must be approved by the City Council and recorded with the office of the Blaine County Clerk and Recorder executed prior to or concurrent with final plat approval. The final plat shall include a note that references the instrument number for the recorded roadway maintenance agreement.</i></p>	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
<p>Finding: The site grading and drainage plan on Sheet C1.1 has been revised to show the location and dimensions of the heated driveway area and snowmelt system. The entirety of the driveway on the subject property will be heated. The proposed snowmelt system terminates at the property line and does not encroach into the Spruce Avenue public right-of-way. All improved parking and pedestrian circulation areas on the subject property are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	N/A
<p>Finding: The applicant has proposed to snowmelt all parking and pedestrian circulation areas, which is permitted as an alternative to providing on-site snow storage area by Ketchum Municipal Code §17.96.060.H4.</p>	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	N/A
Finding: N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
Finding: The site grading and drainage plan on Sheet C1.1 has been revised to show the location and dimensions of the heated driveway area and snowmelt system. The entirety of the driveway on the subject property will be heated. The proposed snowmelt system terminates at the property line and does not encroach into the Spruce Avenue public right-of-way.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheet L2.0 of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The rear- and side-yard setback areas will be restored and revegetated with native grasses and sage brush. New aspen trees will be installed to enhance the existing grove on the property and new native chokecherries will be installed to screen utilities. The proposed vegetation is readily adaptable to the site's microclimate, soil conditions, orientation, and aspect and will restore disturbed hillside areas on the subject property.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan proposes drought-tolerant and native materials, including native grasses and sage brush, chokecherries, dogwoods, and aspen trees.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The subject property is surrounded by compatible low-density residential uses within the Knob Hill neighborhood. The proposed landscaping will soften the hard edges of the mountain-modern home and restore the surrounding hillside.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
Finding: The project’s pedestrian amenities including retaining and protecting the City’s existing art pedestal and street tree planters along the 4 th Street sidewalk and a bicycle rack for public use. In the project narrative, the applicant states: “With over 3,100 square feet of activated sidewalk, this project will provide the only safe, uninterrupted, and fully ADA compliant access to Main Street on the block as it stretches up the hill. The heated sidewalk wraps the corner with covered awnings, five trees for natural screening and shade, planter boxes with native plantings, multiple sitting space for up to 16 seats, 8 bicycle parking stalls, and a designated art pedestal.”	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Conditions #2 & #4
<p>Finding: The placement of all street trees and streetlights require final review and approval by the City Engineer and Streets Department. Adequate clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. Final drawings prepared by an Idaho-licensed engineer for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department pursuant to condition #2. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.</p> <p>The project requires a ROW Encroachment Permit for the pavers and snowmelt system proposed to be installed for the sidewalks along Main and 4th Streets as well as the heated paver apron within the alley right-of-way. Pursuant to condition #4, the applicant shall submit the ROW Encroachment Application prior to issuance of a building permit for the project for review and approval by the City Council.</p>	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	YES
<p>Finding: The landscape plan, Sheet C1.1, and Sheet C0.2 show that the new street tree installed along the Main Street sidewalk will have a minimum caliper size of 3 inches and will be placed in a tree grate per City right-of-way standards.</p>	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
<p>Finding: Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. Final drawings prepared by an Idaho-licensed engineer for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department pursuant to condition #2. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project. Modification to the requirements of Ketchum Municipal Code §17.96.070.A may be recommended by the City Engineer and Streets Department following review of the civil final drawings submitted with the building permit application. No modifications to these requirements have been recommended by the City Engineer or Streets Department at this time.</p>	

17.96.070.B.1 - Architectural	Conformance
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<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
Finding: All four facades facing Main Street, 4 th Street, the alley, interior side are design with both solid surfaces and window openings to avoid the creation of blank walls. The project uses brick veneer, bronze-painted metal, wood, and glass along all facades of the building.	

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	N/A
Finding: The ground-level building facades fronting Main and 4 th streets include large storefront windows and glass doors. This ground-floor transparency creates an active, inviting, and pedestrian-friendly streetscape. transparent streetscape. While buildings may be built to front and street-side property lines in the CC-1 Zone, the applicant has setback the building approximately 5 feet along 4th Street. Concrete landscape planters have been provided within the setback area creating a buffer from the building and the sidewalk. The integration of landscape planters enhance the quality of the pedestrian experience along 4th Street.	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	N/A
Finding: See above analysis for Ketchum Municipal Code §17.96.070.B2. The front and street side facades include significant fenestration and do not obscure views into the windows of the retail units. The floor-to-ceiling height of the ground-level commercial space along Main Street is 12.5 feet. The floor-to-ceiling height of the 4th Street retail unit is 17 feet. While landscape planters border the setback areas along Main and 4 th Streets, the predominant ground-level ceiling heights ensure that views into the storefront windows will not be obscured as the vegetation grows to maturity.	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
Finding: The roof form and material is compatible with the overall style of the building. The roof form is flat and complement the project’s horizontal elements, including the ground-level metal canopies and the wood siding. No reflective materials are proposed.	

17.96.070.B.5 - Architectural	Conformance
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<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A
Finding: The project does not include pitched roofs.	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	YES Condition #4
Finding: The ground-level canopy extends 4'-7" over the front property line along Main Street. Pursuant to condition of approval #4, the ROW Encroachment Agreement for all encroachments in the right-of-way, including the sidewalk pavers and snowmelt system and canopy overhang, must be approved by City Council prior to issuance of a building permit for the project.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
Finding: As shown on Sheet A1.0 of the project plans, the garbage disposal room within the rear of building by the alley and fully screened from public view. Clear Creek Disposal has provided a letter dated March 10th, 2022 stating that they can adequately serve the development. The dumpster within the garbage disposal room will be installed on a glider system. Clear Creek Disposal will access the dumpster glider from the alley.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
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<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES Condition #3
<p>Finding: The new transformer to serve the project will be installed at the north end of the alley and screened from public view by existing retaining walls. Idaho Power has provided a letter dated September 30th, 2022 stating that: "This project can be served from the planned installation of a three phase 120/208 transformer to be installed 70' north in the public right-of-way and to be shared by the 5th and Main Street project currently under construction."</p> <p>Pursuant to condition #3, the electric and gas service line connections and meters must be specified on the utility plan submitted with the building permit application. The electric and gas meters shall be fully screened from public view. The proposed screening must be compatible with the overall building design and specified on the project plans to be reviewed and approved by planning staff to ensure compliance with Ketchum Municipal Code §17.96.070.C2.</p> <p>The roof-mounted electrical equipment will be screened from public view with parapet walls.</p>	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES
<p>Finding: The landscape plan indicates 2 existing deciduous trees are proposed to be removed from the site. These trees will be replaced with an Autumn Blaze Maple street tree installed along the Main Street sidewalk and a flowering crabapple tree installed within a planter along 4th Street.</p>	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	YES
<p>Finding: The landscape plan, Sheet C1.1, and Sheet C0.2 show that the new street tree installed along the Main Street sidewalk will have a minimum caliper size of 3 inches and will be placed in a tree grate per City right-of-way standards.</p>	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES
<p>Finding: The City Arborist has approved the replacement trees.</p>	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A

Finding: N/A. No surface parking lot is proposed.

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: N/A. The project does not include a surface parking lot. On-site parking is provided within the enclosed garages accessed from alley.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no surface parking lots are proposed for the project.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: Two bike racks accommodating at least two bicycles are required to be provided for the project. Sheet C1.1 indicates that a bike rack accommodating 6 bicycles is provided by the primary building entrance along Main Street.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: 8 parking spaces are required to be provided on-site to satisfy the project’s parking demand and 2 bike racks are required.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to</i>	YES

<i>achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project.	

Attachment H
Lot Consolidation
Preliminary Plat:
Subdivision Standards
Analysis



691 N SPRUCE AVENUE RESIDENCE
LOT CONSOLIDATION PRELIMINARY PLAT STANDARDS ANALYSIS

Preliminary Plat Requirements (Ketchum Municipal Code §16.04.030)				
Compliant				
Yes	No	N/A	City Code	City Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			<i>Findings</i>	<i>The City of Ketchum Planning and Building Department received the subdivision application and all applicable application materials on September 1, 2022.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.
			<i>Findings</i>	<i>The subdivision application was deemed complete on October 13, 2022.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following: The scale, north point and date.
			<i>Findings</i>	<i>This standard is met as shown on Sheet 1 of the preliminary plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.
			<i>Findings</i>	<i>As shown on Sheet 1 of the preliminary plat, the plat is titled "Lot 7A, Block 91, Ketchum Townsite" which is not the same as any other subdivision in Blaine County, Idaho.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			<i>Findings</i>	<i>The name of the owner and surveyor is shown on Sheet 1 of the plat. The plat was prepared by Mark E. Phillips of Galena Engineering.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.4	Legal description of the area platted.
			<i>Findings</i>	<i>The legal description of the area platted is shown on page 1 of the preliminary plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			<i>Findings</i>	<i>The preliminary plat shows adjacent lots 1A, 3, 4, 5A, and 6A located within block 91 of the original Ketchum Townsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.

			<i>Findings</i>	Existing site conditions, including topography, are included on the project plans submitted with Mountain Overlay Design Review Application File No. P22-042B.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			<i>Findings</i>	Sheet 1 of the preliminary plat shows the location of Walnut Avenue, Spruce Avenue, 6 th Street, unimproved 7 th Street, and the unimproved block 91 alleyway. The property does not contain any public or private easements. The property is currently vacant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.8	Boundary description and the area of the tract.
			<i>Findings</i>	Sheet 1 provides the boundary description of the area. The total area of Lot 1A is 10,989 as noted on the preliminary plat map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			<i>Findings</i>	Plat note #5 on Sheet 1 of the preliminary plat specifies that the subject property is located within the City's Limited Residential Zoning District.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			<i>Findings</i>	The preliminary plat shows the location and property lines for consolidated Lot 7A. No new streets or blocks are being proposed with this application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			<i>Findings</i>	This standard is not applicable as there is no requirement or proposal for land dedicated to public use.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			<i>Findings</i>	This standard does not apply as this preliminary plat proposes to consolidate two existing lots within the original Ketchum Townsite. No utility, drainage, or right-of-way improvements are proposed or required for the lot consolidation preliminary plat application. Sheets C1.1 and C1.2 of the project plans submitted with Mountain Overlay Design Review Application File No. P22-042B show the utility, drainage, and right-of-way improvements proposed for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			<i>Findings</i>	This standard does not apply as no new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage

				easements, whether they are located within or outside of the proposed plat.
			<i>Findings</i>	<i>This standard does not apply as no new drainage canals or structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.15	All percolation tests and/or exploratory pit excavations required by state health authorities.
			<i>Findings</i>	<i>This standard does not apply as no additional tests are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.16	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			<i>Findings</i>	<i>This standard does not apply to the subdivision application for the lot consolidation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.17	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat includes a vicinity map.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.18	The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.
			<i>Findings</i>	<i>The subject property is not within a floodplain, floodway, or avalanche zone district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.19	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			<i>Findings</i>	<i>The subject property is comprised of two separate lots located within the block 91 of the original Ketchum Townsite. The subject property is developed with an existing, nonconforming single-family residence that was constructed in 1977 prior to the city's adoption of the Mountain Overlay in 1989. The contours of the subject property and the adjacent undisturbed hillside show that the natural slope of the development parcel exceeded 25% prior to the construction of the existing home in 1977. The applicant has proposed consolidating the two lots so that the new single-family residence will comply with the setbacks required in the LR Zone. The lot consolidation preliminary plat must comply with all subdivision design and development standards specified in KMC §16.04.040. Building envelopes are required to be established on lots that contain areas of 25% or greater slope based on natural contours. These building envelopes must be established outside of hillsides with 25% and greater slopes (KMC §16.04.040.F2) unless the request qualifies for one of two waivers outlined in the subdivision code. The application qualifies for the first waiver outlined, which states a waiver may be considered, "for lot line shifts of</i>

				<i>parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met.” The applicant has requested a waiver to create a reasonable building envelope on the consolidated development parcel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	Lot area of each lot.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat shows that the area of consolidated Lot 7A is 16,681 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.21	Existing mature trees and established shrub masses.
			<i>Findings</i>	<i>Sheet 1 of the preliminary plat shows existing conifer and deciduous trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			<i>Findings</i>	<i>The applicant submitted a title commitment issued by Sun Valley Title Company, and a quitclaim deed recorded at Instrument Number 675673 with the preliminary plat application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	Three (3) copies of the preliminary plat shall be filed with the administrator.
			<i>Findings</i>	<i>The City of Ketchum received digital copies of the preliminary plat at the time of application.</i>

Subdivision Development & Design Standards (Ketchum Municipal Code §16.04.040)				
Compliant			City Code	City Standards
Yes	No	N/A		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.

			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the</p>

				<p>subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			<i>Findings</i>	<i>The applicant shall meet the required monumentation standards prior to recordation of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: <ol style="list-style-type: none"> a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section. 3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.

				<p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
			<i>Findings</i>	<p><i>Standard #3 through #6 are not applicable as the preliminary plat consolidates two existing lots and no new lots will be created.</i></p> <p><i>The lot consolidation preliminary plat complies with standard #1. The applicant has proposed consolidating the two lots so that the new single-family residence will comply with the dimensional standards and setbacks required in the LR Zone.</i></p> <p><i>The contours of the site and the adjacent undisturbed hillside show that the natural slope of the development parcel exceeded 25% prior to the construction of the existing nonconforming home in 1977. The applicant has requested a waiver to create a reasonable building envelope on the consolidated development parcel. The application qualifies for the first waiver outlined, which states a waiver may be considered, "for lot line shifts of parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met." The proposed building envelope has been established at the lower elevation of the consolidated parcel. The proposed home is sited at the lower elevation of the parcel preserving the natural topography of the hillside above. The project protects the natural hillside by: (1) conforming to the existing home's building footprint and (2) containing all construction activity within the existing limits of disturbance on the subject property.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and

				<p>minimize adverse impact on environment, watercourses and topographical features.</p> <p>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</p>
			<i>Findings</i>	<i>N/A. This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. This application does not create a new block.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <p>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</p> <p>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</p> <p>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</p> <p>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</p> <p>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</p> <p>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p> <p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</p>

			<p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and</p>
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				<p>shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
			<i>Findings</i>	<i>This standard is not applicable as this application proposes to combine two existing lots within the Ketchum Townsite. This proposal does not create a new street, private road, or bridge.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.I	<p>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>
			<i>Findings</i>	<i>This standard is not applicable as this project combines two lots within the Ketchum Townsite and no alley improvements are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</p> <p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p> <p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in</p>

			<p>appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p> <p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p>
			<p><i>Findings</i></p> <p><i>This standard is not applicable as no easements are proposed or required for this project. The project does not create a new private street. This property is not adjacent to Warm Springs Road. The property does not border a watercourse, drainageway, channel, or stream.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.K</p> <p>Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.</p>
			<p><i>Findings</i></p> <p><i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Sewer system improvements are not required for this lot consolidation.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Water system improvements are not required for this lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the Ketchum Townsite. Planting strip improvements are not required for this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following: <ol style="list-style-type: none"> 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application. 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> a. Proposed contours at a maximum of five foot (5') contour intervals. b. Cut and fill banks in pad elevations. c. Drainage patterns. d. Areas where trees and/or natural vegetation will be preserved.

			<p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.</p> <p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p> <p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p> <p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).</p> <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
		<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No grading</i>

				<i>improvements are proposed or required for the lot consolidation. The grading improvements are shown the project plans submitted with Mountain Overlay Design Review Application File No. P22-042B.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.O	Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No drainage improvements are proposed or required for the lot consolidation. The drainage improvements are shown on the project plans approved with Mountain Overlay Design Review Application File No. P22-042B.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.P	Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. No utility improvements are proposed or required for the lot consolidation. The drainage improvements are shown on the project plans approved with Mountain Overlay Design Review Application File No. P22-042B.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. Off-site improvements are not required or proposed with this project.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.R	Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			<i>Findings</i>	<i>The project complies with all Mountain Overlay Zoning District requirements and the Mountain Overlay design review criteria and standards specified in KMC §17.104.070.A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Findings</i>	<i>This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. The project plans submitted with Mountain Overlay Design Review Application File No. P22-042B specify the existing mature vegetation that is proposed to remain on the subject property.</i>

Attachment I
Planning and Zoning
Commission
Zoning Code
Interpretation 22-001



**KETCHUM PLANNING AND ZONING COMMISSION
ZONING CODE INTERPRETATION 22-001
NONCONFORMING BUILDING FOOTPRINTS IN MOUNTAIN OVERLAY**

INTERPRETATION QUESTION

This zoning code interpretation addresses redeveloping nonconforming properties within the Mountain Overlay. Current code requires new buildings to be constructed in areas that have less than 25% slope (Ketchum Municipal Code §16.04.020) and building envelopes on new parcels to be located outside of a 25% slope. Existing homes on hillsides that were developed prior to the City's establishment of the Mountain Overlay Zoning District in 1989 may not comply with current development standards. These homes are considered non-conforming buildings and may be maintained in their current condition. Nonconforming buildings and uses are governed under Chapter 17.136 of Ketchum Municipal Code. If a non-conforming structure is demolished, or a new parcel is created, then the new building and parcel must comply with all current development standards. Certain non-conforming building footprints and properties can not be brought into compliance with code. The fundamental question before the Commission was whether these non-conforming properties may be developed with a new home or if these non-conforming properties would not be permitted to be redeveloped if the existing non-conforming home were to be demolished. If redevelopment was prohibited, property owners would only be able to repair, maintain, and enlarge their existing nonconforming homes in accordance with the standards specified in Chapter 17.136 of Ketchum Municipal Code.

MOUNTAIN OVERLAY PURPOSE

Hillside development standards protect the community character and health and safety by ensuring the adequate provision of public services and facilities, including fire protection. The Mountain Overlay standards prohibit the detrimental alteration of hillside that would adversely impact existing soils, drainage, and vegetation. The undeveloped hillsides surrounding Ketchum are one of Ketchum's character-defining features. The Mountain Overlay Zoning District ensures the preservation of these hills, ridgelines, and natural features. The standards minimize the visual impact of development by directing building sites away from higher elevations and keeping hillsides open and unobstructed.

ZONING NONCONFORMITIES

Nonconformities are existing uses, buildings, lots, or site features that were legally established at the time they were created but no longer comply with current zoning code regulations. When land use regulations change, existing developments may not comply with the amended zoning code standards. Requiring owners to immediately bring their non-conforming buildings and uses into compliance following land use regulation changes would be a hardship. To mitigate this hardship, zoning codes set specific standards to address nonconformities. These standards generally allow owners to maintain nonconformities in their current condition but prohibit or limit substantial modifications and expansions. This approach assumes all nonconformities will

be phased out over time. Standards regulating zoning nonconformities balance the community's interests in new land use objectives with private property interests in existing development.

ZONING CODE INTERPRETATION IMPLICATIONS: HILLSIDE DISTURBANCE

Redeveloping nonconforming building footprints may result in even more disturbance to the hillside. New single-family homes in Ketchum have trended towards replacing existing, smaller buildings with larger structures, which would have a greater impact on the hillside. Redeveloping these nonconforming properties to comply with current City building, fire, zoning, and streets standards could result in more hillside disturbance. For example, widening an existing street that accesses a nonconforming property would result in significantly more disturbance to the hillside.

ZONING CODE INTERPRETATION IMPLICATIONS: VISIBILITY ON HILLSIDES

Many non-conforming buildings in the Mountain Overlay are sited on prominent ridgelines and hilltops and are highly visible. Allowing these non-conforming building footprints to be redeveloped with new homes would perpetuate a condition that is no longer allowed.

PLANNING AND ZONING COMMISSION INTERPRETATION

The Commission determined that the redevelopment of existing non-conforming properties may be redeveloped under the following conditions:

- A. If the property configuration is proposed to be modified (lot line adjustment, lot consolidation etc.), then the new property configuration must establish a building envelope on the lowest portion of the property. Existing non-conforming building footprints are not permitted to be redeveloped outright. If a more compliant alternative at a lower elevation on the hillside property exists, the new home must be sited in the more suitable area for redevelopment.
- B. If the property configuration is not being altered or changed, then a new home may be constructed at the Commission's discretion through Mountain Overlay Design Review provided that the project does not exceed the height or limits of disturbance of the existing non-conforming home. The building footprint shall conform as close as possible to the existing building.

This determination will apply to all existing non-conforming properties in hillside areas.

Zoning Code Interpretation adopted this 8th day of March 2022.



Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING ON FEBRUARY 28, 2023

- PROJECT: McGavick Residence
- FILE NUMBER: P22-048A
- APPLICATION: Mountain Overlay Design Review (Final)
- PROPERTY OWNER: The Dirty Foot Gang LLC
- REPRESENTATIVE: Jim McLaughlin, McLaughlin and Associates (Architect)
- LOCATION: 307 Garnet Street (ESMERALDA SOUTH SUBD LOT 2 BLK 1)
- ZONING: Limited Residential (LR)
- OVERLAY: Mountain Overlay
- REVIEWER: Morgan Landers, AICP - Senior Planner
- NOTICE: A public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on February 8, 2023. The notice was published in the Idaho Mountain Express on February 8, 2023. A notice was posted on the project site and the city’s website on February 21, 2023. The city waived the story pole requirement for the application as story poles were evaluated during the preapplication design review with no significant changes to building height proposed.

Introduction and Background

The City of Ketchum received a final Mountain Overlay Design Review application for the development of a new single family dwelling unit on November 7, 2022, referred to as the McGavick Residence. The proposed project is on a 6-acre vacant lot zoned Limited Residential (LR) located at 307 Garnet St on the south end of Ketchum in the Gem Streets Neighborhood (the “subject property”) as shown in Figure 1. The proposed residence has 13,362 square feet of living space which includes five bedrooms, 6 baths, three car garage, and attached pool house. Surrounding the dwelling unit is a landscaping program that includes multiple hardscape patios and circulation paths, landscaped areas with

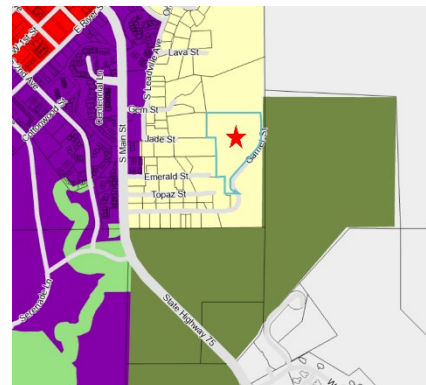


Figure 1: Subject Property Location Map

trees and shrubs, open landscaped areas with low lying plants and flowers, and a play lawn. The project plans, including architectural plans, site plan, landscape plans, and preliminary grading and drainage plans, are in Attachment B to this staff report. Prior to publication of the packet, staff was informed that the applicant decided to remove the pool from the proposed plans. Attachment C includes revised exhibits outlining the scope of the project, limits of disturbance, and site selection analysis conducted by the applicant with the removal of the pool. The landscape plans, grading and drainage plan, and civil plan sets have not been updated with the removal of the pool.

The Commission reviewed a Preapplication Mountain Overlay Design Review for the project at a meeting on September 27, 2022. The Commission provided the following feedback to the applicant before advancing the application to final design review:

- The proposed overall limits of disturbance to accommodate project did not meet the intent of the mountain overlay design review criteria and should be reduced.
- The size of the pool and associated hardscape areas extends the disturbance past the extent of disturbance for building construction and should be reconsidered.
- The size of the structure created a significant amount of excavation and should be reconsidered.
- The play lawn extends the limits of disturbance and is not consistent with surrounding hillsides and should be reconsidered.
- The addition of trees to the landscape are appropriate and would assist in screening the structure and outdoor spaces from surrounding properties. Remaining landscaping should mimic the surrounding hillsides as much as possible.

Following the preapplication meeting, the applicants have made the following revisions to the project:

- Reduction of the total size of the structure from 18,756 SF to 13,362 SF.
- Reduction of the lower floor footprint from 9,110 SF to 5,225 SF.
- Reduction of the upper floor footprint from 9,646 SF to 7,836 SF
- Reduction of the pool building from approximately 1,200 SF to 300 SF.
- Removal of the pool and associated hardscape.
- Removal of the garden, no-mow lawn, and surrounding landscape improvements.
- Reduction of the size of the play lawn.
- Reduction in the amount of formal landscaping on the downhill side of the project and slight reduction in amount of disturbance on the uphill side of the project.
- Reduction in grading outside of the building envelope along the existing private driveway.
- Revised planting plan to outline two types of revegetation of the site to better match the surrounding hillsides.

Staff has conducted a review of the proposed project for conformance with the city's zoning regulations including dimensional standards, dark skies, parking, and snow storage. Staff has also reviewed the project for conformance with the city's design review criteria and mountain overlay design review criteria. In general, staff believes the proposed project meets the requirements of the zoning regulations but does have concerns related to one of the mountain overlay design review criteria as further discussed in the report below. For a full review of the dimensional standards, design review criteria, and mountain overlay design review criteria please see Attachments D, E, and F respectively.

ANALYSIS

Per KMC 17.96.050.A. - *Criteria*. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 City of Ketchum Comprehensive plan outlines core values of the community and a policy framework that assists the city in strengthening those values as the community grows over time.

“Community Character” is one of the ten values outlined in the plan that speaks directly to development on the hillsides stating, “Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority.” The plan also states that “Unobstructed views exist in every direction in large part due to Ketchum’s wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum.”

Policy CD-2.2 Mountain Overlay Zone outlines the city should “Continue to protect hillsides within the City and Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County by using a variety of techniques such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.” Many of these goals and policies were considered when the subdivision of land occurred with the Esmeralda subdivision. The plat notes included in the approved subdivision restrict building heights more than the baseline zoning ordinance to limit visual impacts and limit disturbance outside the building envelope to preserve the hillside. Staff conducted a thorough review during the preapplication stage to ensure that the assumptions of building height and siting of development will not be visible from common public vantage points such as the bike path and Hwy 75.

The comprehensive plan also prioritizes the protection of natural features, open space, and rural character at community edges. The future land use designation for the property is “Low Density Residential” which notes single family residential, duplex residences, and accessory units as primary uses with open space as a noted secondary use. The plat memorialized pedestrian access easements to neighboring open spaces preserved by the Idaho Foundation for Parks and Lands. By siting the building toward the north side of the property, the proposed project preserves the existing trees on the property and does not impede or impact any of the pedestrian access easements that exist.

Staff believes that the goals and policies of the comprehensive plan related to hillside development are met with the proposed project as the project will not jeopardize the visual character of the community and open space/recreation access points are maintained.

Criteria 2: Applicable Standards and Criteria

Conformance with Zoning, Dimensional Standards, and Plat Notes

Staff has conducted a thorough review of the project’s conformance with the dimensional standards, dark skies, parking, and snow storage requirements of the city’s municipal code. Additionally, staff has reviewed the application for compliance with all applicable plat notes related to site disturbance,

building height, and construction practices. A full review of the requirements can be found in Attachment D.

Conformance with Design Review and Mountain Overlay Design Review Criteria

Staff has conducted a thorough review of the project's conformance with KMC Section 17.96.060 – *Improvements and Standards*, and 17.104.070.A – *Criteria and Standards*. In general, staff believes the design review criteria outlined in 17.96.060 is met, however, there are mountain overlay design review criteria that may warrant additional revisions to the proposed project. For the preapplication design review meeting, staff highlighted concerns related to the site's drainage, amount of disturbance including the pool and play lawn, and the type and extent of landscaping. As noted above, the applicant has made significant changes to the project in response to feedback from the Commission. Below is an overview of each of these items and whether further revisions are recommended by staff.

Drainage

At the preapplication review of the project, staff raised concerns about the drainage proposed and associated disturbance necessary to accommodate the drainage along the existing private driveway. KMC §17.96.060.C1 and 17.124.170.A.1, requires that all stormwater must be retained on site. The initial project plans included proposed drainage that funneled all stormwater along a newly created drainage swale along the private drive, south and off the property. The applicant has worked with the City Engineer to revise the grading and drainage plan to manage the stormwater on-site as required. Attachment XX includes an analysis conducted by the applicant team that demonstrates how the stormwater on-site will be managed adequately. Additionally, the revised grading and drainage plan reduces the amount of grading and disturbance outside the building envelope as required by plat note 4. Staff believes the drainage concerns raised during the preapplication meeting have been resolved.

Amount of Disturbance

KMC Section 17.104.070.A states "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." The total area of the building envelope is approximately 77,050 SF (1.77 acres) with a proposed area of disturbance of 51,868 SF (1.19 acres). Page one of Attachment C is an exhibit that shows the initial limits of disturbance proposed at preapplication design review compared with what is currently proposed. Overall, the revisions to the project have reduced the limits of disturbance by approximately 29%. As noted above, the pool has been removed from the scope of the project and therefore the additional pool criteria does not apply.

Sheets A1 and A2 of Attachment B show the building footprints of the residence proposed at preapplication in blue and the current footprints proposed in black, with summary tables for each to illustrate proposed changes. The most significant change of note is the reduction in size of the garage wing and the reduction of habitable square footage on the lower level under the main wing and the master wing. Overall, the building coverage for the project, as demonstrated by the upper-level footprint, has been reduced by approximately 1,800 SF.

The preapplication included a play lawn and no-mow lawn that staff expressed concerns about as the creation of this space necessitated a significant amount of clearing/grubbing and regrading of the hillside not related to building construction. As shown on page 2 of Attachment C, the no-mow lawn and garden have been removed and the area of the play lawn and formal areas of landscaping has been reduced to approximately 5,700 SF. Although this is a positive change, staff still has concerns regarding the proposed play lawn even with the reduced size. The excavation and grading required to create the lawn is not

associated with building construction and staff also has concerns about the incompatibility with surrounding hillside vegetation as further discussed below.

Extent and Type of Vegetation

KMC Section 17.104.070A.9 states that “Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30’) around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.” This standard is primarily focused on prevention of structure damage in the event of a wildfire; however, the last sentence is of specific note related to the type of vegetation that should be outside the clear zone. As shown on Sheet L4.01, the proposed project is meeting minimum fire code requirements of a 10-foot clear zone. The fire department has reviewed the proposed planting plan and does not believe an additional 20 feet of clear zone should be required for the project.

Related to revegetation of the property outside the clear zone, the preapplication included significant landscaping that was of a formal nature and did not blend with the surrounding hillsides, which is primarily sage brush, tall grasses and other drought tolerant species. The applicant has revised the landscape plan to better match the surrounding hillsides as shown on page 2 of Attachment C and Sheets L-101 and L-4.00 of Attachment B. Staff believes the changes to the landscape plan are very positive but has concerns about the play lawn. The lawn is proposed to be a fescue turf grass that is drought tolerant. Other than landscaping down the hill in the more developed area of Garnet Street, turf grasses are not found within the surrounding hillsides.

Staff Recommendation

Staff recommends the Commission review the application materials, staff and applicant presentation, and public comment and provide feedback on the items outlined by staff in the above report.

Attachments:

- A. Application and Applicant Narrative
- B. Design Review Plan Set
- C. Supplemental Exhibits
- D. Zoning and Dimensional Standards Analysis
- E. Mountain Overlay Design Review Standards Analysis
- F. Design Review Standards Analysis



City of Ketchum

ATTACHMENT A: Application Materials – Application and Applicant Narrative



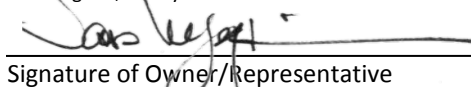
City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P22-048A
Date Received:	10/28/22
By:	SM
Fee Paid:	\$1400 on 11/7/22
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: McGavick Residence			
Owner Name: Gaelynn and Mike McGavick			
Mailing Address: 276 Greenley Road, New Canaan, 06840			
Phone: (239) 315-5835			
Email: mikemcgavick@me.com; gaelynn@me.com			
PROJECT INFORMATION			
Architect/Representative: McLaughlin & Associates			
Phone: 208-726-9392			
Mailing Address: PO Box 479, Sun Valley, ID 83353			
Email: jim@mclaughlinarchitects.com			
Engineer of Record: Benchmark Associates			
Engineer Email:			
Legal Land Description: Lot 2, Esmerelda South Subdivision			
Project Address: City of Ketchum, Blaine County, Idaho			
Lot Area:			
Zoning District: LR Limited Residential - Mountain Overlay			
Anticipated Use: Private Residence			
Number of Residential Units: One			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:		LOT 2 CALCULATIONS	
1 st Floor: Lower - 5,225.9 square feet		LOT COVERAGE	
2 nd Floor: Upper - 7,835.9 square feet		LOT 2 SIZE = +/- 259,330 (6.0 ACRES) COVERAGE BY PRIMARY RESIDENCE = 9,320 SF	
Total 13,061.8 square feet		COVERAGE BY POOL BUILDING = 1,187 SF	
Pool Building: 300.6 square feet		COVERAGE BY PARKING AND DRIVEWAY = 3,500 SF	
Mezzanine:		COVERAGE BY POOL + HOT TUB + DECK = 1,815 SF	
Grand Total: 13,362.4 square feet		TOTAL = 15,822 SF	
Building Coverage: 9646.00 SF %		PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS (15,822 / 259,330) = +/- 6%	
		SNOW STORAGE	
		DRIVEWAY + MOTORCOURT: 3,555 SF X .3 = 1,067 SF (REQUIRED PER CODE)	
		SNOW STORAGE PER PLAN 1,210 SF	
PROPOSED SETBACKS			
Front: Per Envelope	Side: Per Envelope	Side: Per Envelope	Rear: Per Envelope
ADDITIONAL INFORMATION			
Building Height: Not to exceed 28' per plot		Parking Spaces Provided:	
Will Fill or Excavation Be Required? Yes No			
If Yes, Amount in Cubic Yards Fill: 1,500 cy		Excavation: 10,700 cy	
Will Existing Trees or Vegetation Be Removed? Yes No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

October 21, 2022

Date

22 09-06 BYLA COMMENT FOR TEAM REVIEW

2. Comment: As mentioned above, the location of the pool, turf areas, and siting of the home within the BE directly relates to the amount of disturbance proposed. KMC Section 17.104.070.A.10 states that “No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.” Based on the information provided, staff is unclear whether siting the building in a different location, i.e. further south on the site, would lessen the amount of disturbance on the property based on existing grades.

a. Required Action: Please provide a narrative response that describes the methodology and approach to siting the building in its current location and also describe whether alternative sites within the building envelope were contemplated.

RESPONSE:

The building envelopes created at time of platting the subdivision address the primary concern of this question; it creates a building site- as mentioned in KMC 17.104.070.A.10” in order to carry out the purpose of the section”. Were there no building envelopes or building sites established, the location of the development could perhaps be questioned more. As such, the building envelope is appropriate to carry out the provisions and intent of the code of this section. It is located at the lower portion of the lot and includes by its nature areas suitable for construction. All grading and development is to take place within the building envelope.

Other Considerations: The house location on the upper part of the building envelope removes the house horizontally and vertically from any of the neighbors. The location of the house and site improvements also allows the project to keep all cut on the property with minimal import/ export of materials.

3. Comment: During the pre-submittal meeting, staff indicated that the Planning Commission was evaluating the appropriateness of pools within the Mtn Overlay district. On July 15th, staff provided preliminary criteria for the applicant to be aware of, however, the final verbiage of the criteria had not been adopted. On July 26th, the Planning and Zoning Commission adopted the following criteria for pools within the Mtn Overlay district. Proposed pools in the Mtn Overlay district shall demonstrate the following: 1) Adding the footprint of the pool to the building coverage of the lot does not take the building coverage of the project over the permitted building coverage requirement. 2) The project site must be disturbed from previous development therefore the pool causes minimal disruption to the project site. 3) Prior to issuance of the building permit, the applicant must demonstrate that the pool cover is sufficient to withstand the weight of wildlife and the pool does not endanger wildlife. 4) Pools construction shall not excavate into a hillside and shall not have a visual impact on the hillside. 5) Pool size shall be minimal in size and not cause disruption to the hillside.

a. Required Action: Please provide a narrative response to how the proposed pool meets all the criteria listed above. Additionally, staff understands the pool to be 53x20 feet. Please also provide the total depth of the pool at its lowest point.

Given that the Criteria are not a part of the adopted building code(Or are they – has this been approved by council) we are unsure of the need to provide adherence to this criteria. That said 1. – the pool footprint does not put the SF coverage over. 2. This wording is awkward. What does this mean ? The pool will not be visible and will meet this standard for the district.

3. *The pool cover will not endanger wildlife and will support the weight of wildlife.*
4. *Pool does not excavate into the hillside and will not be visible.*
5. *The pool could certainly be larger and it could be smaller. The pool size is not unreasonable. The pool will not cause disruption to the hillside outside of the Building Envelope.*
6. *The pool will be 7' deep at its deep end. What is the rationale for knowing the pool depth from the city?*

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

October 26, 2022

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 307 Garnet St.

To Whom It May Concern,

Please let this letter serve as to the following:

Regular residential garbage/recycling service will apply to the project. Owner(s) of the property(s) will transport items to be collected from their residence to the street. Clear Creek Disposal will serve the properties at the edge of their respective Street for collection.

If you have any concerns, please call at your earliest convenience.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.307 Garnet St



Benchmark Associates, P.A.

ENGINEERING, PLANNING, SURVEYING & MAPPING
PO Box 733: 100 Bell Drive
Ketchum, Idaho 83340
208-726-9512

TECHNICAL MEMORANDUM

DATE: December 29, 2022

TO: Robyn Mattison
City Engineer
City of Ketchum

CC: Morgan Landers, Planning & Building Director

FROM: Phoebe Johannessen, P.E.
Benchmark Associates

RE: Esmeralda South, Lot 2 Drainage Design

Robyn,

This memo provides documentation of the proposed drainage system for Esmeralda South Sub, Lot 2, Block 1 (307 Garnet Street). This is a 6 acre lot that will develop approximately 1 acre for residential use. The remainder of the lot will remain undeveloped. Due to the size of the lot it is not practicable to meet the City of Ketchum drainage code 17.124.170.A requiring that all stormwater to be retained on site. In lieu of this, the developed project will reduce the stormwater runoff below existing conditions through a series of drywells and will therefore not introduce any new adverse effects downstream of the project.

Existing Conditions

The existing 6-acre lot is undeveloped and on the side of a steep hill. The lot was divided into 3 basins (see attached Existing Land Use Map). Basin A is the main basin that drains south through the middle of the site and will contain all of the developed area plus some area that will remain undeveloped. Basin B drains westward towards S. Leadville Ave. Basin C will remain undeveloped and drains southeast to the access drive and then down to Garnet Street. There is also approximately 0.4 acre of off-site area above the lot that currently drains through the site. The off-site area has been divided into the on-site basin that it drains to. Since Basins B and C will remain undeveloped, this drainage documentation will focus on Basin A. Refer to attached spreadsheet for complete land use and runoff calculations.

Basin A Existing Stormwater Runoff (25-year runoff event)

On-site Area	3.69 ac	0.30 cfs
Off-site Area	0.14 ac	0.01 cfs
Total	3.86 ac	0.31 cfs

Developed Conditions

Under developed conditions, approximately 0.47 acre of impervious surfaces consisting of the house, patios, and driveway will be added to the site. In addition, approximately 0.68 acre will be converted into lawn and landscaping and 2.54 acres will remain undeveloped. The estimated runoff from the developed

Basin A is 0.44 cfs. This is an increase of 0.13 cfs over existing conditions. This increase will be mitigated using four on-site drywells as described below.

Stormwater Mitigation Plan

The soils on-site are silty clay and/or weathered andesite bedrock and have low permeability. The project Geotech report recommends an infiltration rate of 0.1 inch per minute (6 inches per hour). The typical drywell (10' deep and 10 feet in diameter with a 2' diameter perforated standpipe) have an estimated infiltration rate of 0.05 cfs each. **Thus, the four proposed drywells will reduce the developed runoff rate of 0.44 cfs down to 0.24 cfs, which is a reduction from the existing runoff rate of 0.31 cfs.**

Drywells #1 and #2 receive runoff from the roof drains, footing drains, and cut-off trench around the house, the patio areas around the house, the landscaped area above the house, and the undeveloped Basin A area above the house.

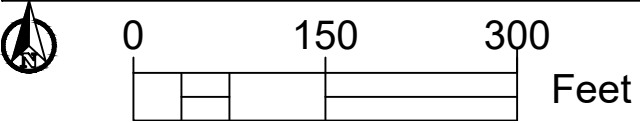
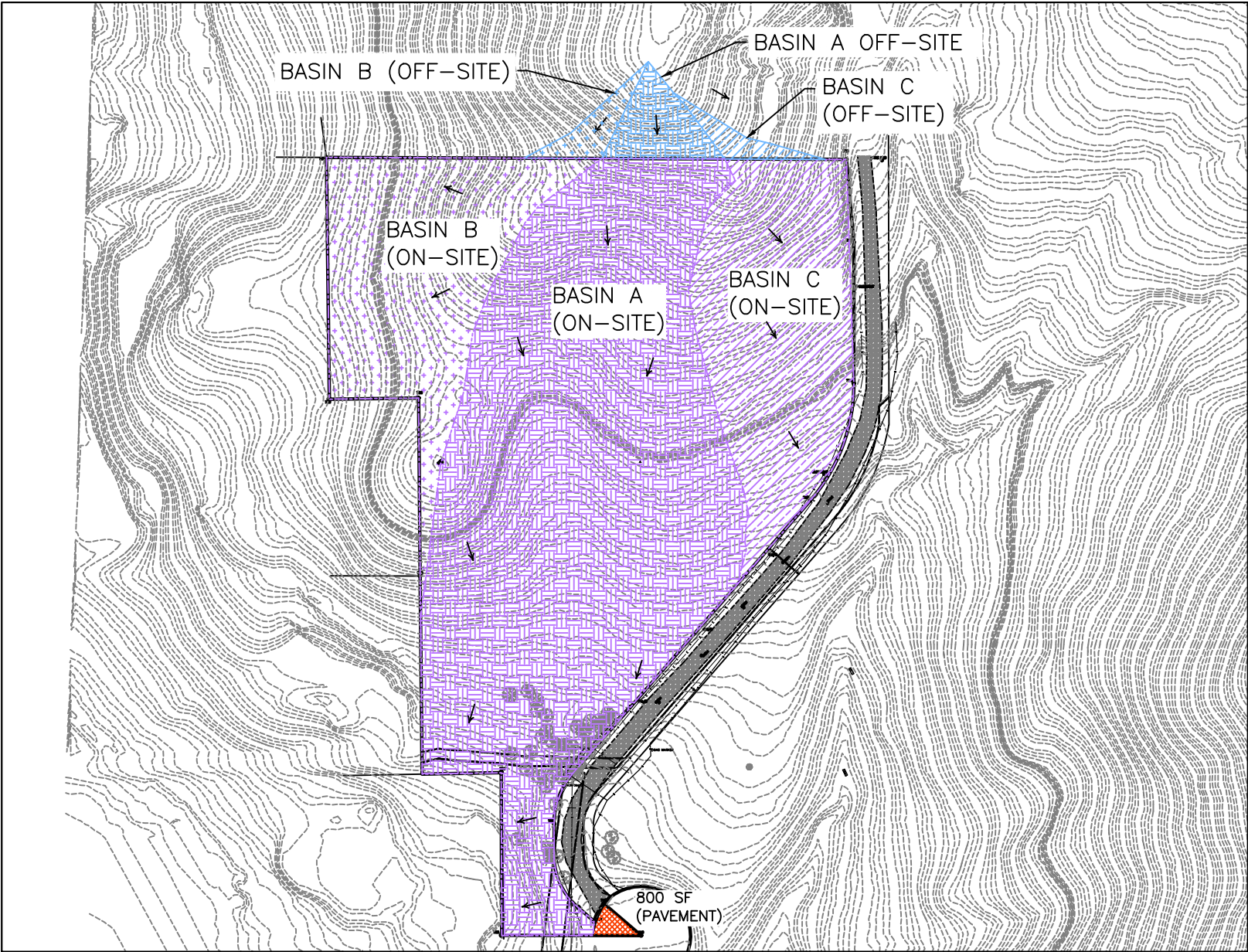
Drywell #4 is primarily an overflow drywell for Drywell #2 and will also receive runoff from the patio on the uphill side of the pool. Drywell #3 will receive runoff from the driveway and landscaping and undeveloped areas on the northeast side of the house. Figures depicting the tributary areas to the drywells, and the runoff calculations and drywell calculations are all attached.

Please contact me if you have any questions.

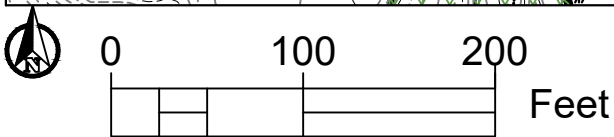
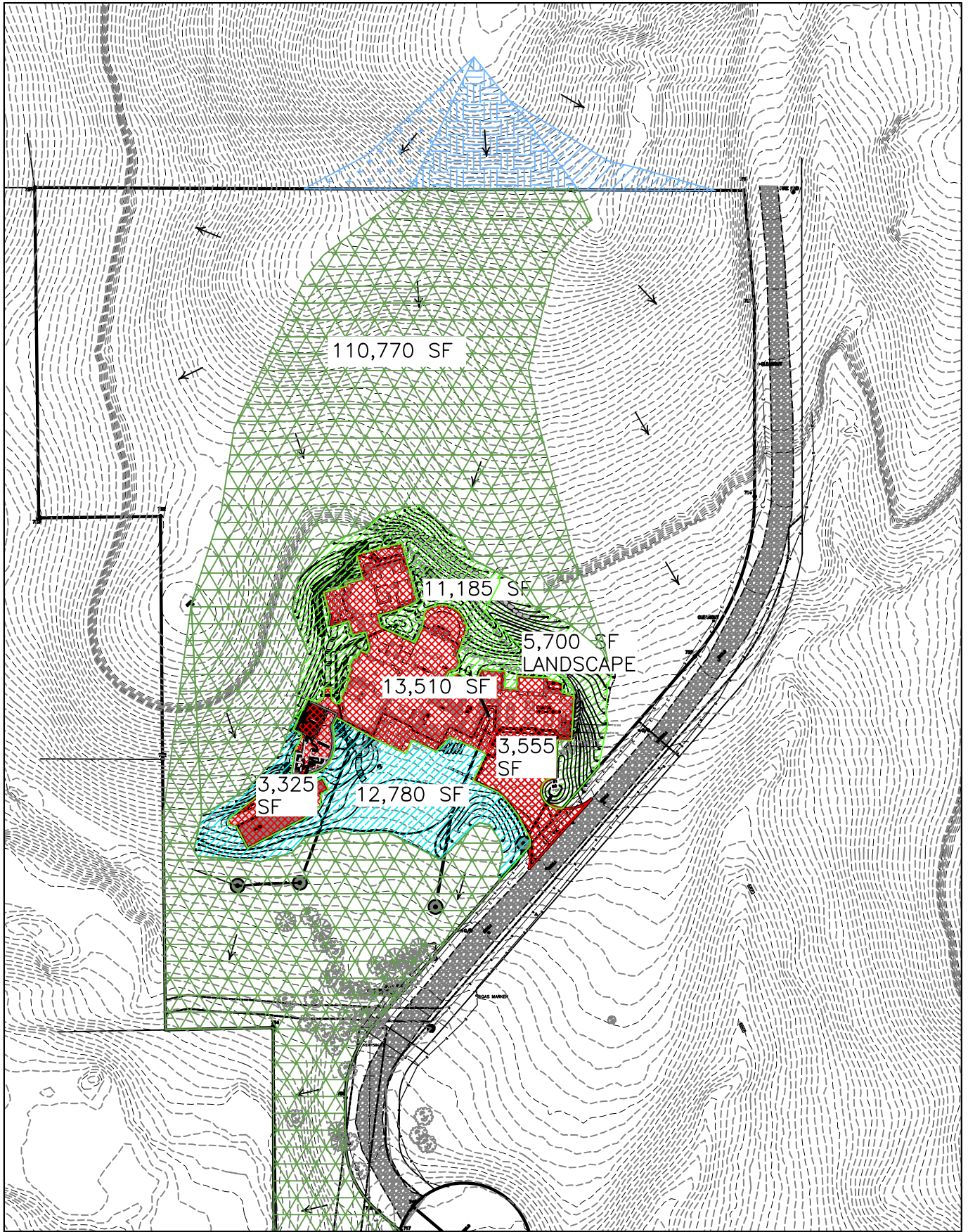
Sincerely,

Phoebe Johannessen

Phoebe Johannessen, P.E.
Benchmark Associates



ESMERALDA SOUTH LOT 2
EXISTING LAND USE MAP



ESMERALDA SOUTH LOT 2
DEVELOPED LAND USE MAP

Esmeralda South Lot 2

BY: P. Johannessen
 DATE: 12/29/2022

Storm Intensity:	0.4 in/hr		
Runoff Coefficients	C:	0.2	Landscape Area
	C:	0.9	(Pavement)
	C:	0.2	Sage (unimproved)

EXISTING ON-SITE 25-YEAR RUNOFF

LAND USE	AREA (SF)	AREA (AC)	FLOW RATE (cfs) Q=CIA
Sage	258493	5.93	0.47
Pavement	800	0.02	0.01
TOTAL EXISTING RUNOFF (25-YEAR)			0.48

BASIN A - Drains through center of site

BASIN B - Drains to west side of ridge.

Basin C - Drains to gravel road.

Basin A	Area (SF)	Area (ac)	FLOW (cfs)
ON-SITE	160,650	3.69	0.30
OFF-SITE	6190	0.14	0.01
TOTAL =		3.83	0.31

Basin B	Area (SF)	Area (ac)
ON-SITE	47,710	1.10
OFF-SITE	3150	0.20
TOTAL =		1.29

Basin C	Area (SF)	Area (ac)
ON-SITE	49,540	1.14
OFF-SITE	2340	0.05
TOTAL =		1.19

TOTAL OFF-SITE TRIBUTARY AREA = 0.39 acres

Esmeralda South Lot 2

BY: P. Johannessen
 DATE: 12/29/2022

Storm Intensity:	0.4 in/hr		
Runoff Coefficients	C:	0.2	Landscape Area
	C:	0.9	(Pavement)
	C:	0.2	Sage (unimproved)

BASIN A DEVELOPED 25-YEAR RUNOFF

LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
DRIVEWAY	3,555	0.08	0.03
HOUSE & PATIOS	16,835	0.39	0.14
LANDSCAPE (below house)	12,780	0.29	0.02
LANDSCAPE (above house)	16,885	0.39	0.03
Basin A Undeveloped (on-site)	110,770	2.54	0.20
Basin A Undeveloped (off-site)	6,190	0.14	0.01
BASIN A DEVELOPED RUNOFF (25-YEAR)		3.83	0.44

DRYWELL TRIBUTARY AREAS

DRYWELLS #1, 2, & 4 TRIBUTARY AREAS

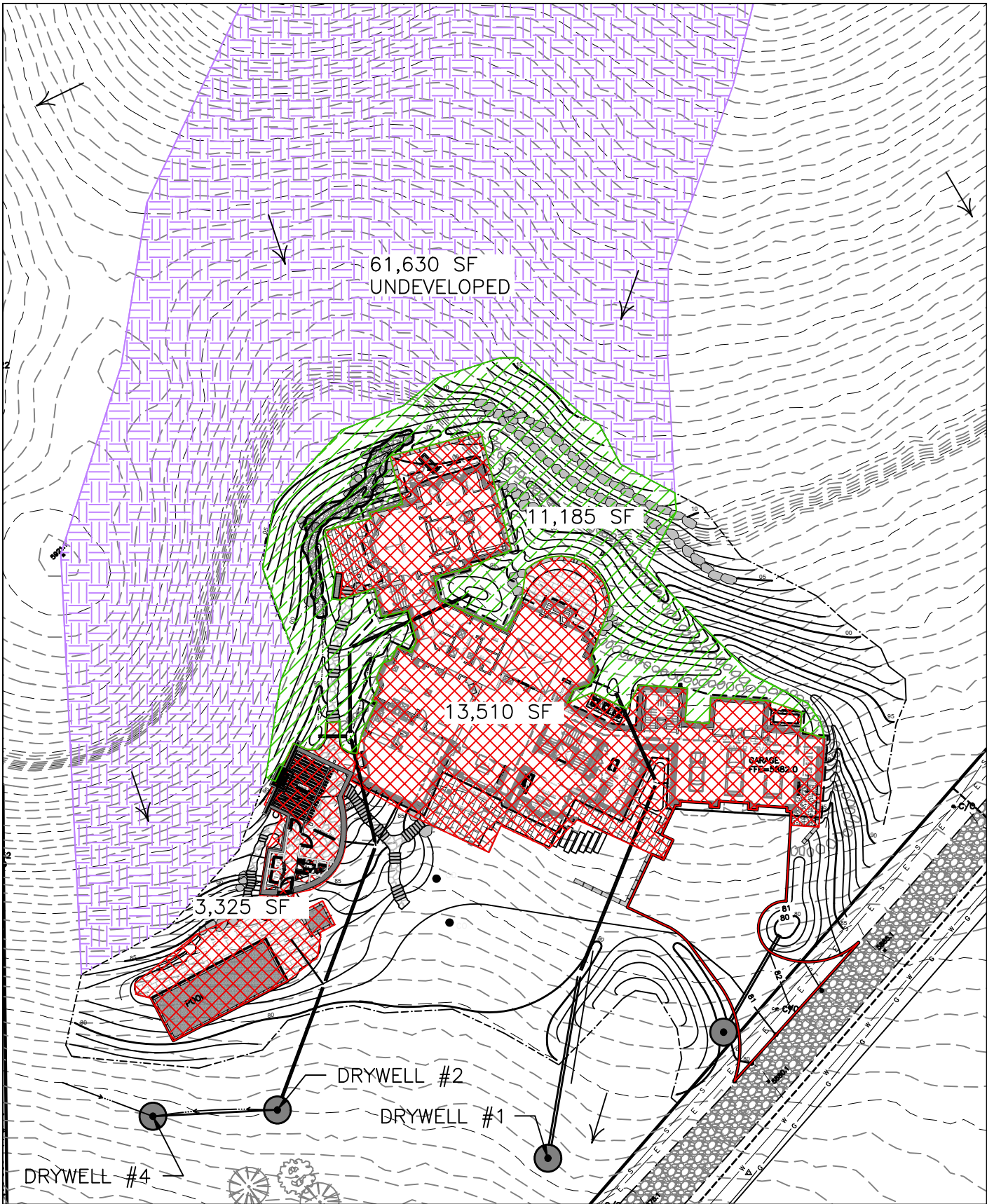
LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
House and Patios	16835	0.39	0.14
Landscape above house	11,185	0.26	0.02
Basin A (above house on-site)	61630	1.41	0.11
Basin A (off-site)	6190	0.14	0.01
TOTAL =			0.28
Drywell infiltration rate =			0.15
Overflow =			0.13

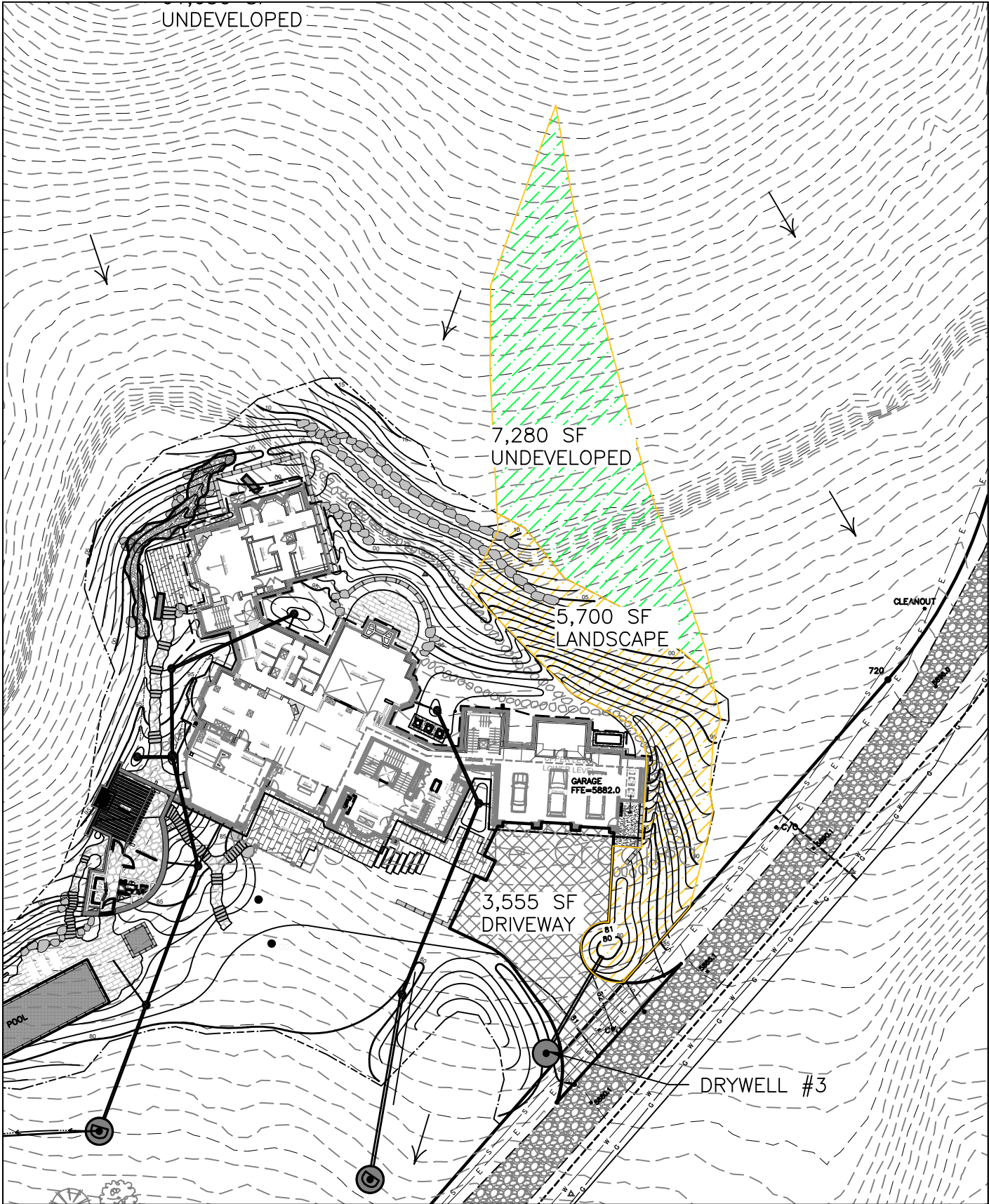
DRYWELL #3 TRIBUTARY AREA

LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
Landscape	5700	0.13	0.01
Undeveloped	7280	0.17	0.01
Driveway	3555	0.08	0.03
TOTAL =			0.05

BASIN A - RUNOFF BALANCE FOR PRE-DEVELOPED TO DEVELOPED

	FLOW (cfs)
DEVELOPED RUNOFF	0.44
PRE-DEVELOPED RUNOFF	0.31
UNMITIGATED INCREASE IN RUNOFF	0.13
DRYWELL #1	-0.05
DRYWELL #2	-0.05
OVERFLOW DRYWELL #4	-0.05
DRYWELL #3	-0.05
MITIGATED RUNOFF (25-YEAR)	0.24





DRYWELL #3 TRIBUTARY AREA

Infiltration System Sizing Worksheet

The proposed infiltration system design below allows for infiltration of stormwater collected from the house and patios. The below calculation shows required drywell dimensions to infiltrate the 25- year storm.

Onsite Native Soil Infiltration

Infiltration Rate:	6 in/hr	Assumed T _c :	10 min
Factor of Safety:	1	Intensity (25-yr, 10-min):	0.4 in/hr
Design Infiltration Rate:	6 in/hr		

Site Infiltration Sizing

Impervious Area:	ac
Runoff Coefficient (Imp.):	0.9
25-Year Design Runoff:	0.16 cfs

Drywell Structure Dimensions

Drywell Manhole Diameter:	24 in	
Drain Rock Thickness:	48 in	
Drain Rock Void Ratio:	0.4	
Drywell Rim Elevation:	100.00	
Max Storage Elevation:	99.00	Max water surface will be top of pipe.
Depth to Bottom of Drywell:	10.0 ft	
Bottom Elevation:	90.0	

Drywell Stage-Storage-Discharge

Drywell Stage	Water Surface Depth	Elevation	Storage in MH	Storage in Drain Rock	Total Storage	Bottom Wetted Area	Side Wetted Area	Total Wetted Area	Drywell Infiltration Flow Rate
(ft)	(ft)		(cf)	(cf)	(cf)	(sf)	(sf)	(sf)	(cfs)
0.00	10.00	90.00	0.0	0.0	0.0	78.5	0.0	78.5	0.011
0.90	9.10	90.90	2.8	27.1	30.0	78.5	28.3	106.8	0.015
1.80	8.20	91.80	5.7	54.3	59.9	78.5	56.5	135.1	0.019
2.70	7.30	92.70	8.5	81.4	89.9	78.5	84.8	163.4	0.023
3.60	6.40	93.60	11.3	108.6	119.9	78.5	113.1	191.6	0.027
4.50	5.50	94.50	14.1	135.7	149.9	78.5	141.4	219.9	0.031
5.40	4.60	95.40	17.0	162.9	179.8	78.5	169.6	248.2	0.034
6.30	3.70	96.30	19.8	190.0	209.8	78.5	197.9	276.5	0.038
7.20	2.80	97.20	22.6	217.1	239.8	78.5	226.2	304.7	0.042
8.10	1.90	98.10	25.4	244.3	269.7	78.5	254.5	333.0	0.046
9.00	1.00	99.00	28.3	271.4	299.7	78.5	282.7	361.3	0.050

Typical Drywell Design

Esmeralda South Lot 2

T4N, R17E, SEC 13, B.M., Blaine County, ID
 BY: PLJ DATE: 12/22/22





City of Ketchum

ATTACHMENT B: Design Review Plan Set

McGavick Residence

Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho



Project Team

Architect: McLaughlin & Assoc. Architects
100 South Leadville Ave., 3rd Flr.
Ketchum, ID.
(208) 726-9392
www.mclaughlinarchitects.com
Bernie Johnson - bernie@mclaughlinarchitects.com

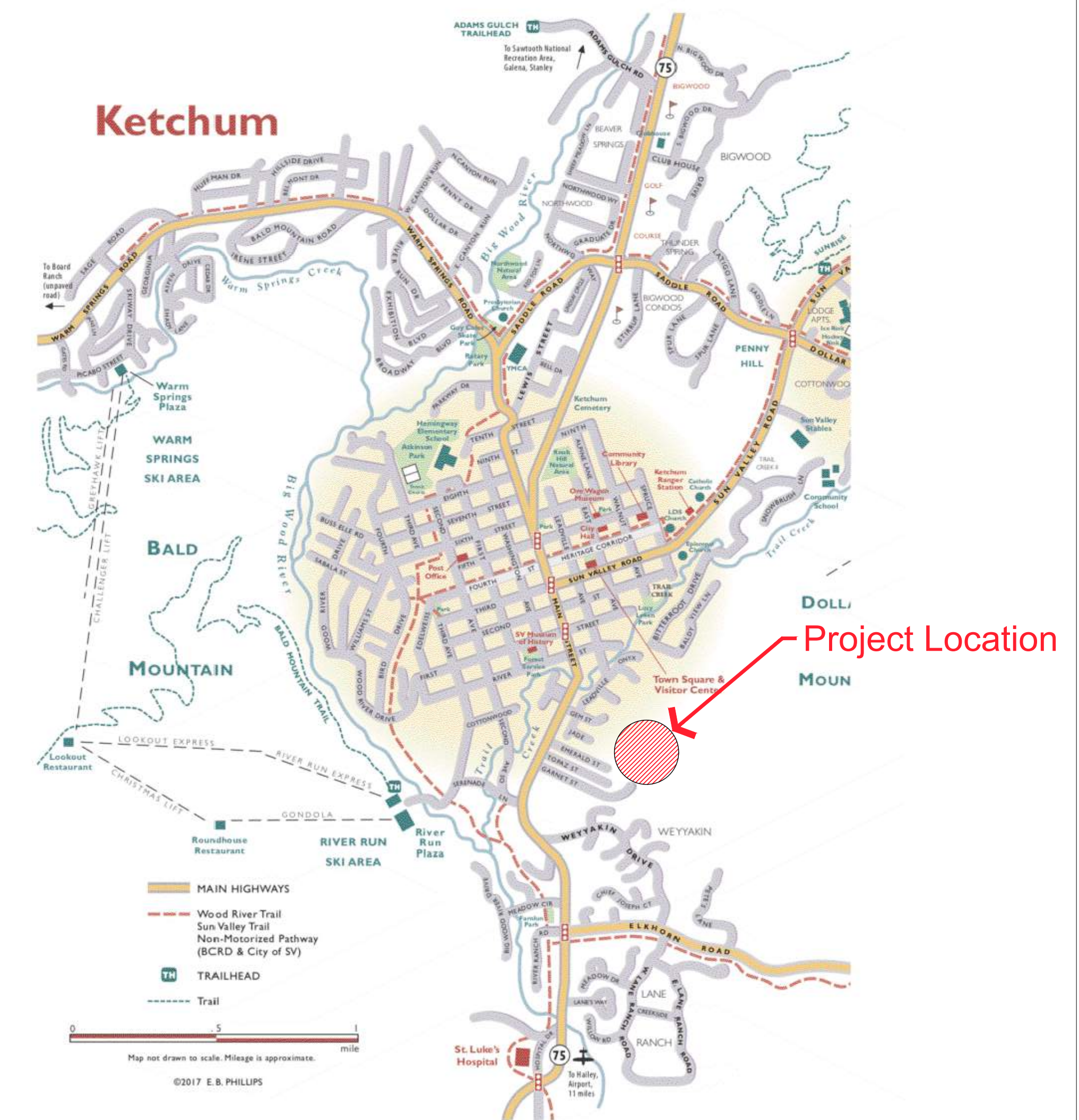
Landscape Architect: BYLA Landscape Architects
323 Lewis,
Ketchum, ID.
(208) 726-5907
www.byla.us
Eric Meadows - eric@byla.us

Civil Engineer: Benchmark Associates
100 Bell Dr.
Ketchum, ID.
(208) 726-9512
Phoebe Johannessen - phoebe@bma5b.com

Contents

- C Cover Sheet
- P Plat
- L-1.0 Overall Site Plan
- L-1.1 Site Disturbance Revegetation Plan
- L-1.2 Site Construction Management Plan
- L-2.0 Site Grading and Drainage Plan
- L-3.0 Site Materials and Layout Plan
- L-4.0 Site Planting Notes and Schedule
- L-4.1 Site Planting Plan
- A0 Renderings
- A1 Lower Level Plan / Exterior Lighting Plan
- A2 Upper Level Plan / Exterior Lighting Plan
- A3 Roof Plan
- A4 Exterior Elevations / Material Samples
- A5 Exterior Elevations
- A6 Exterior Elevations
- A7 Property and Building Sections
- C1 Civil Grading / Drainage Plan
- C2 Civil Utility Plan
- C3 Civil Drainage Details

Vicinity Map



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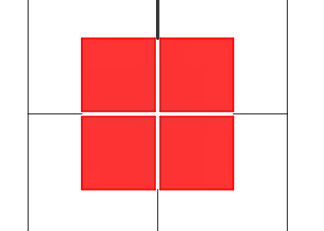
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REVISIONS:		
#	Description	Date

McGavick Residence

Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
mailing: 208.726.9392
Sun Valley, ID 83353
www.mclaughlinarchitects.com
Ketchum, ID 83340
shipping: 100 South Leadville Ave. 3rd floor



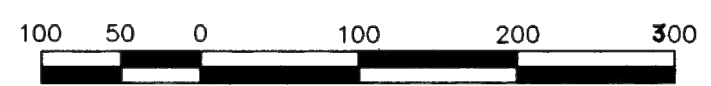
Project Issue Date:
10-21-2022
MOD Final Submittal

Cover

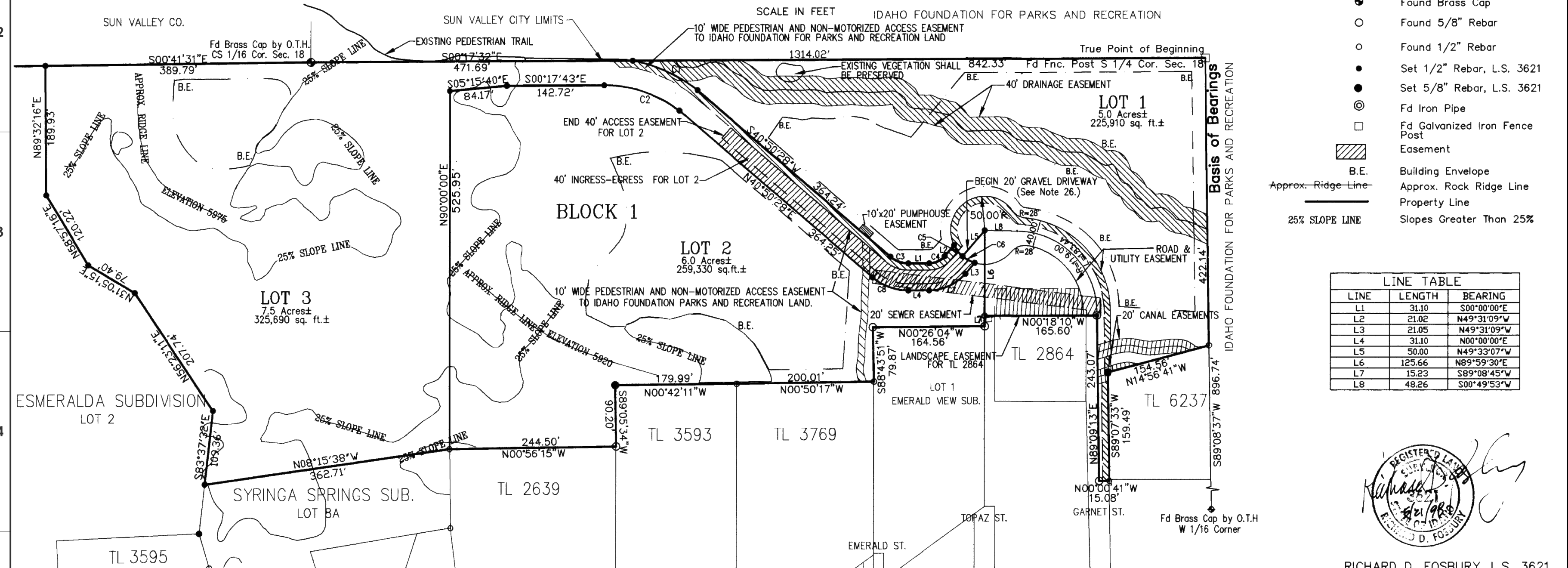
ESMERALDA SOUTH SUBDIVISION

WHEREIN LOT 1A, BLOCK 1, ESMERALDA SUBDIVISION IS SUBDIVIDED INTO LOTS 1, 2, & 3
LOCATED WITHIN
SECTION 18 T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JUNE 1998



SCALE IN FEET DAHO FOUNDATION FOR PARKS AND RECREATION



- LEGEND**
- Found Brass Cap
 - Found 5/8" Rebar
 - Found 1/2" Rebar
 - Set 1/2" Rebar, L.S. 3621
 - Set 5/8" Rebar, L.S. 3621
 - Fd Iron Pipe
 - Fd Galvanized Iron Fence Post
 - Easement
 - Building Envelope
 - Approx. Rock Ridge Line
 - Property Line
 - Slopes Greater Than 25%

LINE TABLE

LINE	LENGTH	BEARING
L1	31.00	S89°00'00"W
L2	21.00	N49°31'09"W
L3	21.00	N49°31'09"W
L4	31.00	N00°00'00"E
L5	50.00	N49°33'07"W
L6	123.66	N89°28'45"W
L7	15.23	S89°28'45"W
L8	48.26	S00°45'35"W



RICHARD D. FOSBURY, L.S. 3621

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	115.92	200.00	301°27'27"	114.99	N2°44'45"E
C2	174.21	100.00	41°03'47"	174.44	N2°16'22"E
C3	88.51	40.00	49°52'28"	87.91	S20°05'14"W
C4	28.51	40.00	49°52'28"	27.91	S20°05'14"W
C5	25.92	30.00	49°31'29"	25.11	S24°45'24"E
C6	20.57	50.00	23°34'31"	20.43	S58°14'08"W
C7	20.58	50.00	23°34'31"	20.43	S58°22'28"W
C8	62.90	70.00	49°31'29"	58.63	S24°45'24"E
C9	37.82	80.00	49°52'28"	35.83	S20°05'14"W

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

City of Ketchum, and Garnet Street neighbors, Instrument No. 403847 dated February 2, 1998, recorded July 15, 1997.

24. The paved portion of Garnet Street in this subdivision is considered a private road and shall be maintained by Lot 1 with all the costs shared equally between Lots 1, 2, and 3.

25. A 40 foot access easement for Lot 2 overlaps the Lot 3 Flag Lot for approximately 450 feet.

26. If Lot 3 gravel driveway is oiled it shall be chiseled with earth tone gravel.

27. Front lot lines for Lots 1 & 2 shall be those lot lines adjacent to the Lot 3 flaglot.

NOTES:

- This entire subdivision is zoned Limited Residential and Mountain Overlay.
- All building envelopes have been established by Ketchum Ordinance No. 316 and Ketchum Zoning Ordinance 208, Section 19, Ketchum Mountain Overlay Zoning District. Any changes to building envelopes shall require the applicant to go through the Subdivision procedure and obtain Ketchum Mountain Overlay Design Review approval.
- All grading and construction activity and all fencing shall be subject to Ketchum Mountain Overlay Design Review (KMOR).
- All natural existing vegetation outside of building envelopes shall be preserved (with exception of driveway connections from the access road and livestock grazing as pursuant to Note 5).
- Livestock grazing shall be limited to 15% of the lot area.
- Each lot is restricted to no more than one horse per acre.
- This development recognizes Section 22-4503 of the Idaho Code, The Right to Farm, which states "Agricultural operation or an appearance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided that the provisions of this section shall not apply whenever a nuisance results from the improper or negligent operation of any agricultural operation or appearance to it".
- Maximum building height is restricted to 28 feet on Lots 1, 2 & 3.
- No portion of a structure on Lot 2 shall exceed elevation 5820 feet and/or be visible above the ridge line, as determined by KMOR.
- No portion of a structure on Lot 3 shall exceed elevation 5975 feet and/or be visible above the ridge line, as determined by KMOR.
- All lots shall provide adequate access for Fire Suppression Services as approved by Ketchum Fire Chief.
- All residential structures shall install automatic fire sprinklers approved by the Ketchum Fire Chief and be of Type V-1 hour construction.
- Sewer utilities to the manhole in Lot 2 and Water utilities up to the pump house easement in Lot 1 shall be dedicated to the City of Ketchum.
- A pump house easement is reserved, as illustrated on plot, for Lot 3 on Lot 1.
- A 40 foot drainage easement is reserved as illustrated on the plot to preserve existing vegetation and natural runoff. No fill, excavation or disturbance of vegetation shall occur within this easement.
- A 20 foot maintenance easement for the benefit of the Weyakkin Homeowners Association and the Idaho Foundation for Parks and Recreation Land is reserved for the existing Weyakkin/Reinheimer Canal. Existing vegetation shall be preserved within a 40 easement centered on the canal.
- The 40 foot landscape easement on Lot 1 for the benefit of TL 2864 shall be improved with landscaping and maintained by Lot 1.
- A 10 foot pedestrian & non-motorized easement is reserved, as illustrated on the plot, for access through said subdivision from Garnet Street to the Idaho Foundation For Parks and Recreation Lands.
- A 10 foot pedestrian & non-motorized easement is reserved as illustrated on the plot, for access through Lot 2 from the property at the end of Emerald Street to the Garnet Street pedestrian easement.
- The lot owner doing construction shall be responsible for the installation of speed bumps, the posting of the speed limit to be determined by the City, and construction cleanup and dust abatement on an assigned basis, on Garnet Street as determined by the City.
- A 20 foot sewer easement on Lot 1 and Lot 2 is reserved, as illustrated on the plot, for maintenance for the City of Ketchum.
- The 40 foot road and utility easement over the paved portion of Garnet Street within said subdivision shall be for maintenance and access for the City of Ketchum for the purpose of snowplowing.
- The gravel portion of Garnet Street shall remain unimproved per recorded agreement dated February 8, 1998 between Carl Curtis, City of Ketchum, and Garnet Street neighbors, Instrument No. 403847 dated February 2, 1998, recorded July 15, 1997.
- The paved portion of Garnet Street in this subdivision is considered a private road and shall be maintained by Lot 1 with all the costs shared equally between Lots 1, 2, and 3.
- A 40 foot access easement for Lot 2 overlaps the Lot 3 Flag Lot for approximately 450 feet.
- If Lot 3 gravel driveway is oiled it shall be chiseled with earth tone gravel.
- Front lot lines for Lots 1 & 2 shall be those lot lines adjacent to the Lot 3 flaglot.

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described parcel of land: A parcel of land located within Section 18, T.4N., R.17., B.M., Ketchum, Blaine County, Idaho; more particularly described as follows:

Esmeralda South Subdivision

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. We do hereby certify that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.

It is the intent of the owners to hereby include said land in this plat.

STATE OF Idaho } ss
COUNTY OF Blaine

On this 20th day of May, 1998, before me, a Notary Public in and for said State, personally appeared Carl Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Carl Curtis
Carl Curtis

Sandy Hall
Sandy Hall

Scott Curtis
Scott Curtis

ACKNOWLEDGMENT

STATE OF Idaho } ss
COUNTY OF Blaine

On this 20th day of May, 1998, before me, a Notary Public in and for said State, personally appeared Carl Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Nancy A. Waldberg
Notary Public in and for said State
Residing at Richfield
My Commission Expires 9-7-99

ACKNOWLEDGMENT

STATE OF Idaho } ss
COUNTY OF Blaine

On this 20th day of May, 1998, before me, a Notary Public in and for said State, personally appeared Sandy Hall, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Nancy A. Waldberg
Notary Public in and for said State
Residing at Richfield
My Commission Expires 9-7-99

ACKNOWLEDGMENT

STATE OF Idaho } ss
COUNTY OF Blaine

On this 20th day of May, 1998, before me, a Notary Public in and for said State, personally appeared Cindy Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Masha G. Meink
Notary Public in and for said State
Residing at Bozeman, MT
My Commission Expires 12/01/2000

ACKNOWLEDGMENT

STATE OF Idaho } ss
COUNTY OF Blaine

On this 1st day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Justin Davis
Notary Public in and for said State
Residing at Ketchum
My Commission Expires 2-10-2001

SURVEYOR'S CERTIFICATE

I, Richard D. Fosbury, a duly licensed land surveyor in the State of Idaho, do hereby certify that the foregoing plat is a true and accurate copy of the land surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to plats and surveys.



ACKNOWLEDGMENT

STATE OF IDAHO } ss
COUNTY OF BLAINE

On this 2nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Richard D. Fosbury, known to me to be the person whose name is subscribed to the above Surveyor's Certificate and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Richard D. Fosbury
Notary Public in and for the State of Idaho
Residing in Hailey
My Commission Expires 3/5/2004

KETCHUM CITY ENGINEER'S APPROVAL

The foregoing plat was approved by Keith A. Conell, City Engineer for the City of Ketchum on this day of June, 1998.

Keith A. Conell
City Engineer

COUNTY TREASURER'S APPROVAL

The taxes on the foregoing parcel of land have been paid to this date and this plat is hereby approved this 2nd day of June, 1998.

Dickie R. Heck
Blaine County Treasurer

COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO } ss
COUNTY OF BLAINE

This is to certify that the foregoing plat was filed in the office of the Recorder of Blaine County, Idaho, on this 16th day of June, 1998, at 1:21 PM, and duly recorded in Plat Book at page .

Jim W. Koonce
Ex-officio Recorder

COUNTY SURVEYOR'S APPROVAL

I, Jim W. Koonce, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

Jim W. Koonce
5/29/98

KETCHUM CITY COUNCIL'S APPROVAL

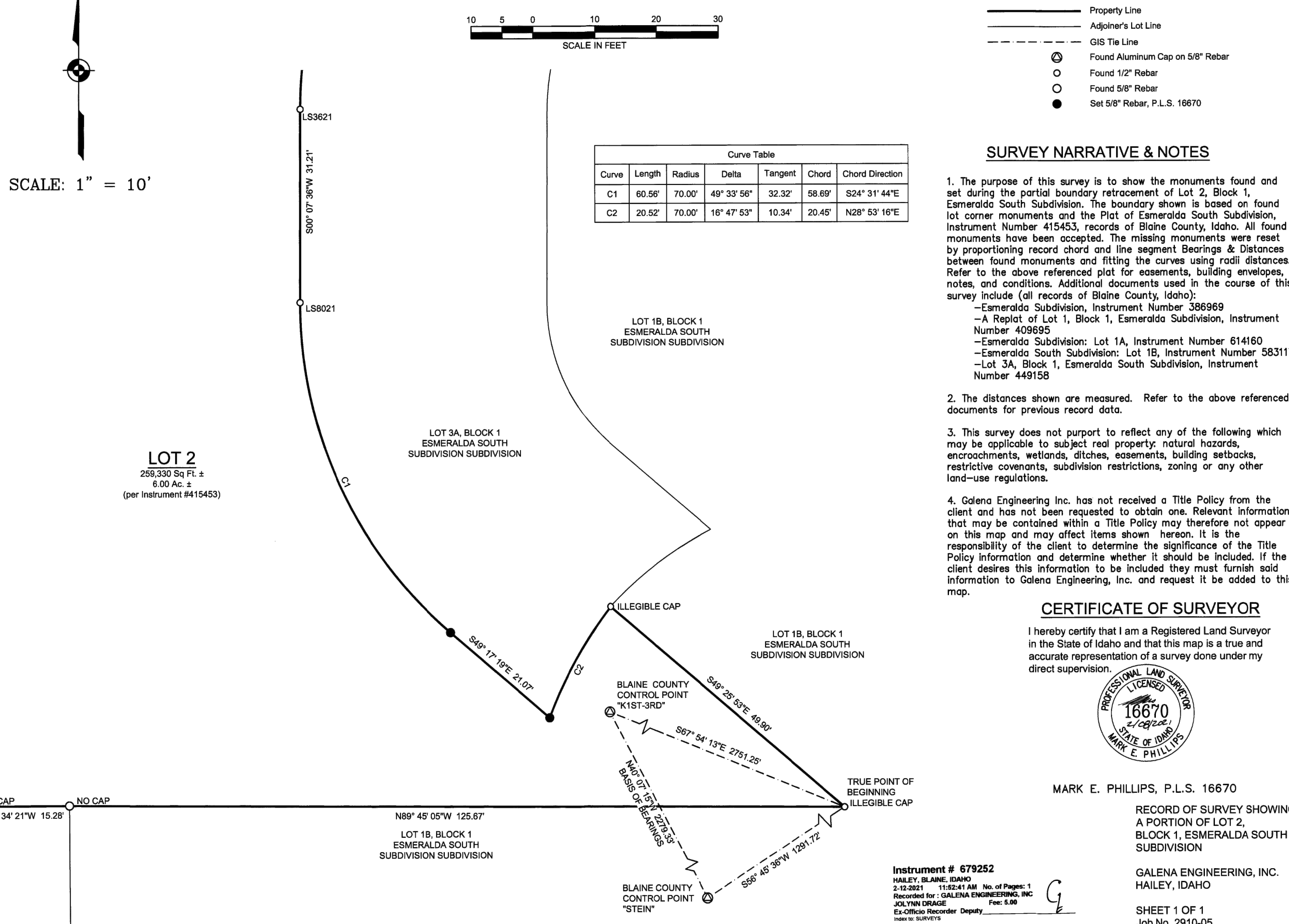
The foregoing plat was approved by the City Council of Ketchum on this day of , 1998.

City Clerk

A PORTION OF LOT 2, BLOCK 1, ESMERALDA SOUTH SUBDIVISION

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

FEBRUARY 2021



LEGEND

- Property Line
- Adjoiner's Lot Line
- GIS Tie Line
- Found Aluminum Cap on 5/8" Rebar
- Found 1/2" Rebar
- Found 5/8" Rebar
- Set 5/8" Rebar, P.L.S. 18670

Curve Table

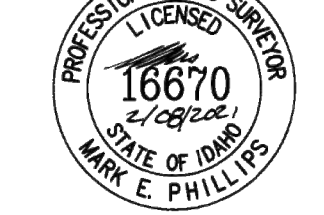
Curve	Length	Radius	Delta	Tangent	Chord	Chord Direction
C1	60.56	70.00	49°33'56"	32.32	58.69	S24°31'44"E
C2	20.52	70.00	16°47'53"	10.34	20.45	N28°53'16"E

SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found and set during the partial boundary retracement of Lot 2, Block 1, Esmeralda South Subdivision. The boundary shown is based on found lot corner monuments and the Plat of Esmeralda South Subdivision, Instrument Number 415453, records of Blaine County, Idaho. All found monuments have been occupied. The missing monuments were reset by proportioning record chord and line segment Bearings & Distances between found monuments and fitting the curves using radii distances. Refer to the above referenced plat for easements, building envelopes, notes, and conditions. Additional documents used in the course of this survey include (all records of Blaine County, Idaho):
 -Esmeralda Subdivision, Instrument Number 389699
 -A Replat of Lot 1, Block 1, Esmeralda Subdivision, Instrument Number 409695
 -Esmeralda Subdivision, Instrument Number 389699
 -Esmeralda South Subdivision: Lot 1B, Instrument Number 583117
 -Lot 3A, Block 1, Esmeralda South Subdivision, Instrument Number 449155
- The distances shown are measured. Refer to the above referenced documents for previous record data.
- This survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, ditches, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires this information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

CERTIFICATE OF SURVEYOR

I hereby certify that I am a Registered Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 18670

RECORD OF SURVEY SHOWING
A PORTION OF LOT 2,
BLOCK 1, ESMERALDA SOUTH
SUBDIVISION

GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 1 OF 1
JOB No. 2910-05

Instrument # 679252
HAILEY, IDAHO, IDAHO
2-12-2021 11:52:41 AM No. of Pages: 1
Recorded by: GALENA ENGINEERING, INC.
JULY 17th 2021 Fee: 5.00
E-COPY Recorder Deputy
See Notes

10/21/2022 10:25 AM Z:\Dropbox\McGavick 2021\Drawings\AutoCAD\Current Working Set\Plats Sheet.dwg

PLOTTED: 10/21/2022 10:25:08 AM

REVISIONS:

No.	Description	Date

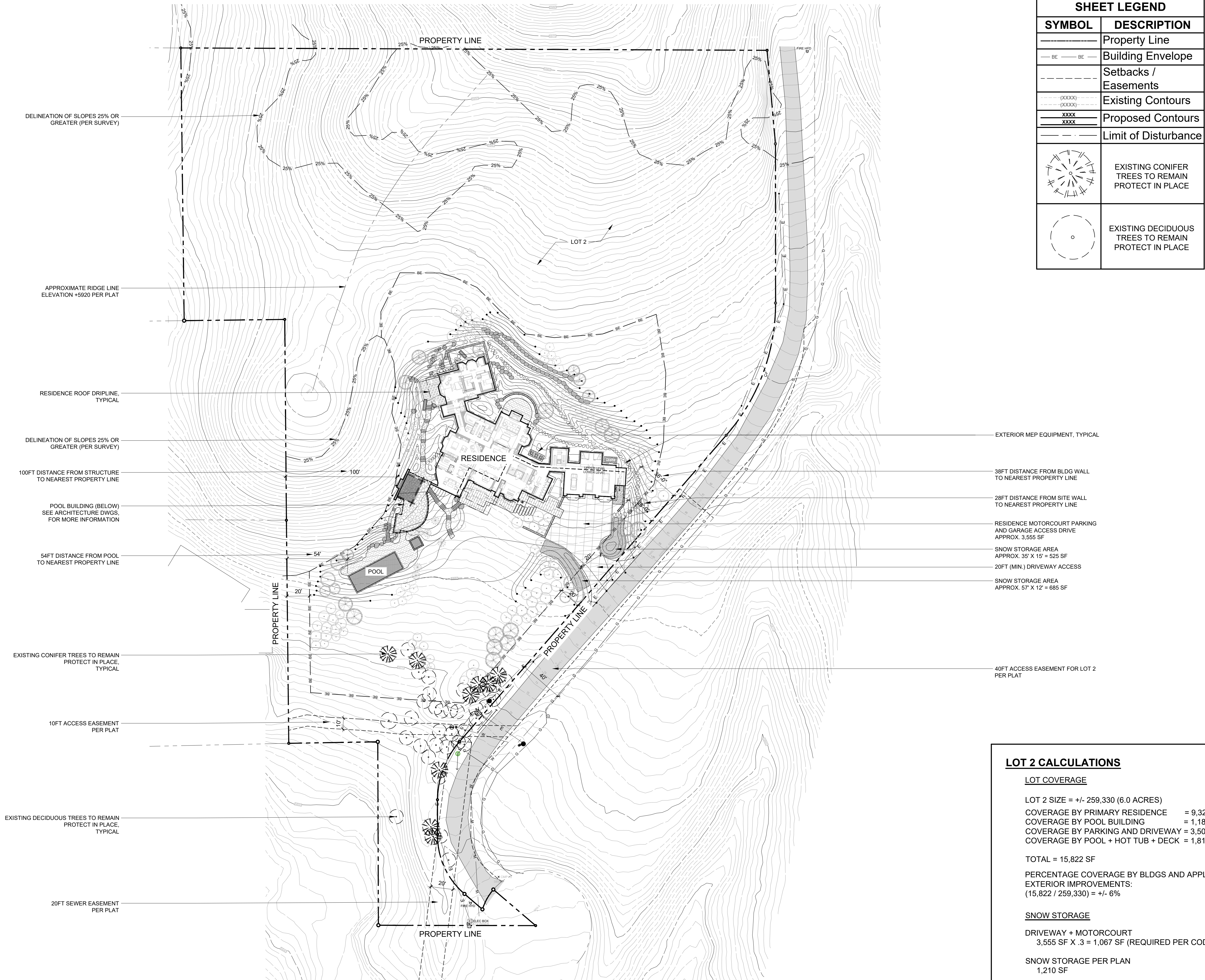
McGavick Residence
Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #: 0406.19
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
Telephone: 208.226.9372
Fax: 208.226.9373
Sun Valley, Idaho 83353
www.mclaughlinarchitects.com
ketchum: ID 83360
blaine: ID 83340

Project Issue Date: 10-21-2022
MOD Final Submittal

Cover

P



DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

APPROXIMATE RIDGE LINE ELEVATION +5920 PER PLAT

RESIDENCE ROOF DRIPLINE, TYPICAL

DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

100FT DISTANCE FROM STRUCTURE TO NEAREST PROPERTY LINE

POOL BUILDING (BELOW) SEE ARCHITECTURE DWGS. FOR MORE INFORMATION

54FT DISTANCE FROM POOL TO NEAREST PROPERTY LINE

EXISTING CONIFER TREES TO REMAIN PROTECT IN PLACE, TYPICAL

10FT ACCESS EASEMENT PER PLAT

EXISTING DECIDUOUS TREES TO REMAIN PROTECT IN PLACE, TYPICAL

20FT SEWER EASEMENT PER PLAT

SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance
	EXISTING CONIFER TREES TO REMAIN PROTECT IN PLACE
	EXISTING DECIDUOUS TREES TO REMAIN PROTECT IN PLACE

EXTERIOR MEP EQUIPMENT, TYPICAL

38FT DISTANCE FROM BLDG WALL TO NEAREST PROPERTY LINE

28FT DISTANCE FROM SITE WALL TO NEAREST PROPERTY LINE

RESIDENCE MOTORCOURT PARKING AND GARAGE ACCESS DRIVE APPROX. 3,555 SF

SNOW STORAGE AREA APPROX. 35' X 15' = 525 SF

20FT (MIN.) DRIVEWAY ACCESS

SNOW STORAGE AREA APPROX. 57' X 12' = 685 SF

40FT ACCESS EASEMENT FOR LOT 2 PER PLAT

LOT 2 CALCULATIONS

LOT COVERAGE

LOT 2 SIZE = +/- 259,330 (6.0 ACRES)
 COVERAGE BY PRIMARY RESIDENCE = 9,320 SF
 COVERAGE BY POOL BUILDING = 1,187 SF
 COVERAGE BY PARKING AND DRIVEWAY = 3,500 SF
 COVERAGE BY POOL + HOT TUB + DECK = 1,815 SF

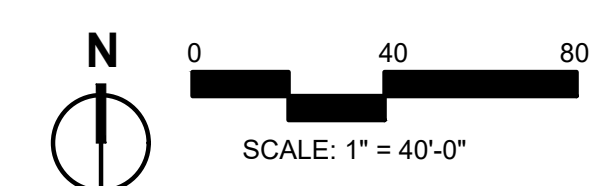
TOTAL = 15,822 SF

PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS:
 (15,822 / 259,330) = +/- 6%

SNOW STORAGE

DRIVEWAY + MOTORCOURT
 3,555 SF X .3 = 1,067 SF (REQUIRED PER CODE)

SNOW STORAGE PER PLAN
 1,210 SF



LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: -
 PROJECT MANAGER: **EM**
 DRAWN BY:
 ISSUE DATE: 10/20/2022

OVERALL SITE PLAN

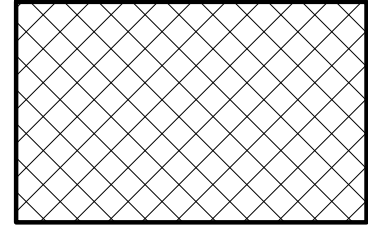
SHEET NO.

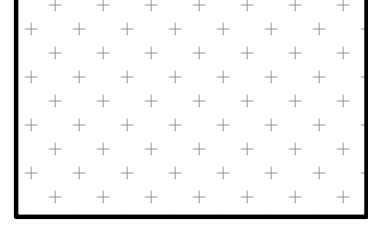
L-1.00



LOT 2 CALCULATIONS

LOT 2 BUILDING ENVELOPE SIZE = +/- 77,050

 DISTURBANCE TYPE 1
PERMANENT BUILT ELEMENTS
OR NON-NATIVE PLANTINGS
= +/- 23,350 SF

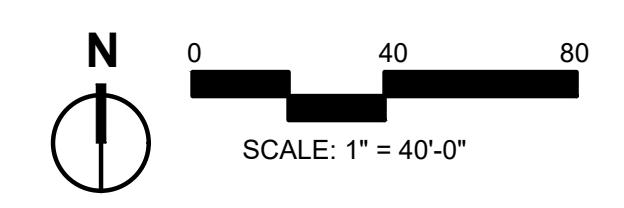
 DISTURBANCE TYPE 2
AREAS TO BE REVEGETATED
WITH NATIVE PLANTINGS
= +/- 26,575 SF

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION



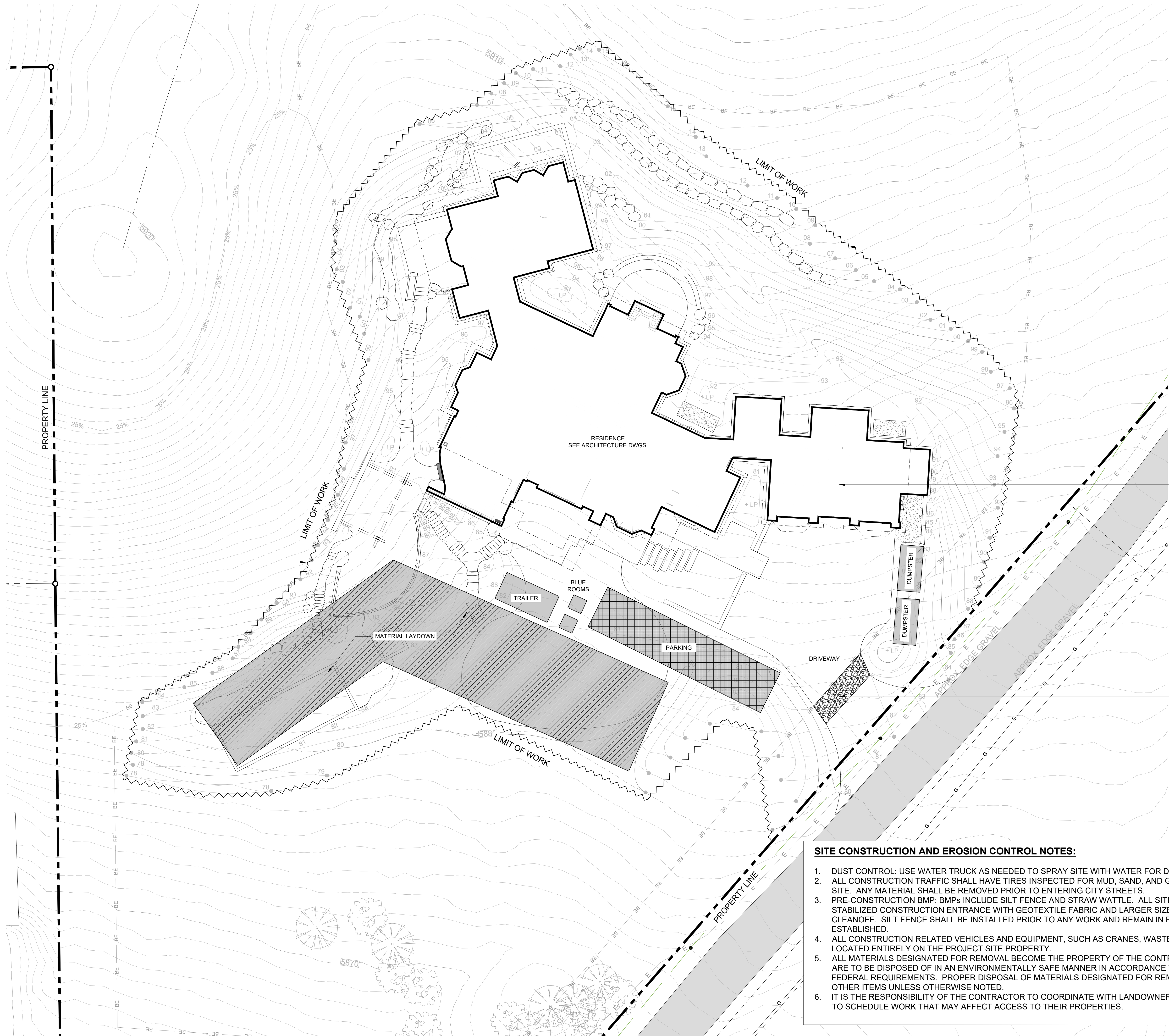
LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: .
PROJECT MANAGER: **EM**
DRAWN BY:
ISSUE DATE: 10/20/2022

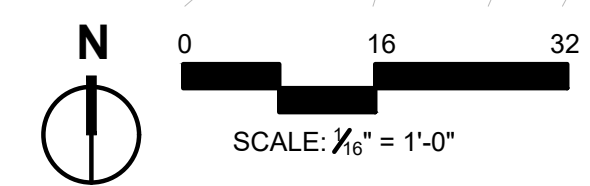
**OVERALL SITE
DISTURBANCE
AND
REVEGETATION
PLAN**

SHEET NO.

L-1.01



- SITE CONSTRUCTION AND EROSION CONTROL NOTES:**
1. DUST CONTROL: USE WATER TRUCK AS NEEDED TO SPRAY SITE WITH WATER FOR DUST CONTROL.
 2. ALL CONSTRUCTION TRAFFIC SHALL HAVE TIRES INSPECTED FOR MUD, SAND, AND GRAVEL PRIOR TO LEAVING SITE. ANY MATERIAL SHALL BE REMOVED PRIOR TO ENTERING CITY STREETS.
 3. PRE-CONSTRUCTION BMP: BMPs INCLUDE SILT FENCE AND STRAW WATTLE. ALL SITE ACCESS POINTS SHALL HAVE STABILIZED CONSTRUCTION ENTRANCE WITH GEOTEXTILE FABRIC AND LARGER SIZE AGGREGATE FOR TIRE CLEANOFF. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY WORK AND REMAIN IN PLACE UNTIL SEED IS ESTABLISHED.
 4. ALL CONSTRUCTION RELATED VEHICLES AND EQUIPMENT, SUCH AS CRANES, WASTE DUMPSTERS, ETC. SHALL BE LOCATED ENTIRELY ON THE PROJECT SITE PROPERTY.
 5. ALL MATERIALS DESIGNATED FOR REMOVAL BECOME THE PROPERTY OF THE CONTRACTOR UPON REMOVAL AND ARE TO BE DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. PROPER DISPOSAL OF MATERIALS DESIGNATED FOR REMOVAL ARE INCIDENTAL TO OTHER ITEMS UNLESS OTHERWISE NOTED.
 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH LANDOWNERS ADJACENT TO THE PROJECT TO SCHEDULE WORK THAT MAY AFFECT ACCESS TO THEIR PROPERTIES.



ISSUE:

1	07/12/22	MTN OVERLAY DESIGN REVIEW
2	09/09/22	MOD PRE-APP REVISED DWGS
3	10/20/22	MTN OVERLAY DISTRICT SUBMITTAL

REVISIONS:

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LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: L-1.02
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

SITE CONSTRUCTION MANAGEMENT PLAN

SHEET NO.

L-1.02



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	Catch Basin
●	Dry Well
X.X%	Grade Pitch
→	Drainage Swale
+H.P.S	High Point of Swale
FFE	Finish Floor Elevation
10.5000	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TC	Top of Coping
TB	Top of Boulder
LP	Low Point
HP	High Point

- NOTES**
- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
 - REFER TO ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).
 - GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSED ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR.
 - CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
 - CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
 - ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR - HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
 - EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
 - ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.

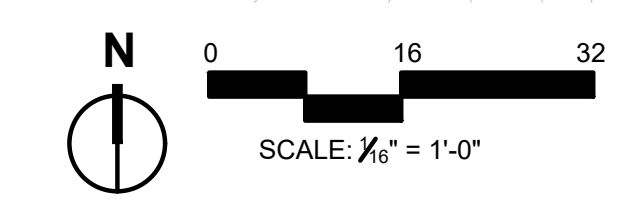
LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: 1
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

SITE GRADING + DRAINAGE PLAN

SHEET NO.

L-2.00



ISSUE:
1 07/12/22 MTN OVERLAY DESIGN REVIEW
2 09/09/22 MOD PRE-APP REVISED DWGS
3 10/20/22 MTN OVERLAY DISTRICT SUBMITTAL

REVISIONS:

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LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: L-3.00
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

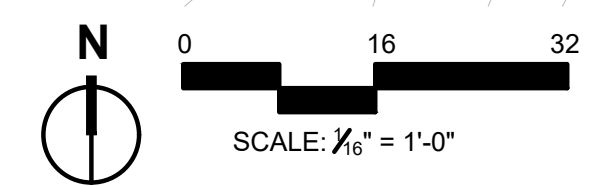
**SITE MATERIALS
+ LAYOUT PLAN**

SHEET NO.

L-3.00

- MASTER BATH GARDEN SITE RETAINING WALL HEIGHT VARIES - MAX. 72" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- MASTER BATHROOM GARDEN WATER FEATURE TROUGH
- STONE BOULDER IN LANDSCAPE STONE TYPE: TBD
- GARDEN PATHWAY STONE SLAB STEPPERS STONE TYPE: TBD
- MASTER BEDROOM TERRACE STONE PAVING
- WATER FEATURE TROUGH
- STONE SLAB STEPS STONE TYPE: TBD
- TERRACE CONNECTION PATHWAY STONE PAVING
- FIRE DEPT. STANDPIPE LOCATION ON BUILDING
- LOUNGE TERRACE SITE RETAINING WALL HEIGHT VARIES - MAX. 96" FULL DEPTH STONE VENEER STONE TYPE: TBD
- LOUNGE TERRACE OVERHEAD SHADE STRUCTURE
- STONE SLAB STEPS STONE TYPE: TBD
- TERRACE GUARDRAIL 42" HT MIN.
- STONE SLAB STEPS STONE TYPE: TBD
- LOUNGE TERRACE STONE PAVING
- POOL BUILDING WALL SEE ARCHITECTURE DRAWINGS FOR MORE INFORMATION
- POOL EQUIPMENT ROOM ACCESS DOOR
- CUSTOM HOT TUB (8' X 8')
- POOL DECK STONE PAVING
- POOL TO HAVE SAFETY COVER THAT MEETS ASTM F1346-91 STANDARDS AS RELATES TO WEIGHT BEARING CAPACITY / PERFORMANCE.

- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 36" HT. STONE TYPE: TBD
- GAME ROOM TERRACE SITE RETAINING WALL HEIGHT VARIES - MAX. 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 48" HT. STONE TYPE: TBD
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 48" HT. STONE TYPE: TBD
- GAME ROOM TERRACE STONE PAVING
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 36" HT. STONE TYPE: TBD
- FIRE DEPT. STANDPIPE LOCATION ON BUILDING
- ACCESS PATHWAY STONE SLAB STEPPERS
- EAST GARAGE SITE RETAINING WALL HEIGHT VARIES - 72" HT. MAX FULL DEPTH STONE VENEER STONE TYPE: TBD
- ENTRY GARDEN SITE WALL 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- ENTRY WALK STONE PAVING
- ENTRY GARDEN SITE WALL 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- RESIDENCE VEHICLE MOTORCOURT PAVING TYPE: UNIT PAVERS
- SNOW STORAGE AREA
- SOUTH TERRACE STONE PAVING
- DRIVEWAY APRON / ENTRY
- EXISTING GRAVEL ACCESS DRIVE



PLANTING NOTES:

1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET, AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
2. MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
3. FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE, PRIOR TO LANDSCAPE INSTALLATION.
4. PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
5. PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
6. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
PLANTING DETAILS: REFER TO PLANTING DETAILS AND OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
8. PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
9. INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
10. STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
11. WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
12. WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

SOIL PREPARATION NOTES:

1. BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL.
2. DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.
LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOIL'S:
COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
4. THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
5. SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
6. TURF/SOD PREPARATION: PREPARE SOILS IN SEED AND SOD AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 4" BELOW FINISHED SOIL SURFACE

IRRIGATION NOTES:

1. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
2. SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
3. LAWN AREAS: SHALL BE IRRIGATED BY SUBSURFACE DRIP TUBING WITH A PERMANENT AUTOMATIC SYSTEM.
4. SHRUB, TREE, AND GROUND COVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM.
5. DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
6. SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK - CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
7. SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
8. UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

PLANTING SCHEDULE

TREES				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	AG	ROCKY MOUNTAIN MAPLE <i>ACER GLABRUM</i>	8 TOTAL AT 10' HT.	PER PLAN
	CD	BLACK HAWTHORN <i>CRATAEGUS DOUGLASII</i>	5 TOTAL AT 10' HT.	PER PLAN
	JS	ROCKY MOUNTAIN JUNIPER <i>JUNIPEROUS SCOPULORUM</i>	7 TOTAL AT 10' HT.	PER PLAN
	PL	LODGEPOLE PINE <i>PINUS CONTORTA LATIFOLIA</i>	5 TOTAL AT 14' HT.	PER PLAN
	PT	QUAKING ASPEN <i>POPULUS TREMULOIDES</i>	25 TOTAL AT 4" CAL. 30 TOTAL AT 2" CAL. 30 TOTAL AT 1" CAL.	PER PLAN
	PM	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12 TOTAL AT 14' HT. 3 TOTAL AT 12' HT. 5 TOTAL AT 10' HT. 3 TOTAL AT 8' HT.	PER PLAN
	PV	CHOCKECHERRY <i>PRUNUS VIRGINIANA</i>	24 TOTAL AT 8' - 10' HT.	PER PLAN
SHRUBS				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	AR	REGENT SERVICEBERRY <i>AMELANCHIER ALNIFOLIA 'REGENT'</i>	147 TOTAL 5 GAL.	PER PLAN
	CR	RUBBER RABBITBRUSH <i>CHRYSOTHAMNUS NAUSEOSUS</i>	50 TOTAL 5 GAL.	PER PLAN
	JM	MONTANA COMMON JUNIPER <i>JUNIPEROUS COMMUNIS 'MONTANA'</i>	113 TOTAL 2 GAL.	PER PLAN
	PA	ABBOTTSWOOD BUSH CINQUEFOIL <i>POTENTILLA FRUTICOSA 'ABBOTTSWOOD'</i>	114 TOTAL 2 GAL.	PER PLAN
	RA	ALPINE CURRANT <i>RIBES ALPINUM</i>	100 TOTAL 5 GAL.	PER PLAN
	RC	GOLDEN CURRANT <i>RIBES AUREUM</i>	51 TOTAL 5 GAL.	PER PLAN

GROUND COVER				
SYMBOL	ZONE	SEED MIX / RATE		AREA
		COMMON NAME	RATE (LBS OF PLS / ACRE)	
	NATIVE REVEGETATION TYPE 1 (PLUGS)	SHEEP FESCUE IDAHO FESCUE BLUEBUNCH WHEATGRASS BLUE FLAX SAGEBRUSH SILVER LUPINE BASIN WILDRYE		4,800 SF
	NATIVE REVEGETATION TYPE 2 (SEEDED)	SHEEP FESCUE IDAHO FESCUE BLUEBUNCH WHEATGRASS BLUE FLAX ARROWLEAF BALSAMROOT		15,400 SF
	PLAY LAWN	FESCUE TURF GRASS (SOD - DROUGHT TOLERANT)		3,350 SF



QUAKING ASPEN
(*POPULUS TREMULOIDES*)
1 OF 85 TOTAL

NATIVE REVEGETATION AREA - TYPE 2
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

NATIVE REVEGETATION AREA - TYPE 1
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

ROCKY MOUNTAIN MAPLE
(*ACER GLABRUM*)
1 OF 10 TOTAL

18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND

ABBOTSWOOD BUSH CINQUEFOIL
POTENTILLA FRUTICOSA 'ABBOTSWOOD'

REGENT SERVICEBERRY
(*AMELANCHIER ALNIFOLIA* 'REGENT')

ROCKY MTN JUNIPER
(*JUNIPERUS SCOPULORUM*)
1 OF 7 TOTAL

MONTANA COMMON JUNIPER
(*JUNIPERUS COMMUNIS* 'MONTANA')

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)

LODGEPOLE PINE
(*PINUS CONTORTA LATIFOLIA*)
1 OF 5 TOTAL

CHOKECHERRY
(*PRUNUS VIRGINIANA*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

CHOKECHERRY
(*PRUNUS VIRGINIANA*)
1 OF 24 TOTAL

GOLDEN CURRANT
RIBES AUREUM

BLACK HAWTHORN
(*CRATAEGUS DOUGLASII*)
1 OF 5 TOTAL

RUBBER RABBITBRUSH
CHRYSOTHAMNUS NAUSEOSUS

NATIVE REVEGETATION AREA - TYPE 2
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

LINE INDICATING 10FT OFFSET FROM
RESIDENCE ROOFLINE OR STRUCTURE;
NO TREE CANOPIES TO EXTEND INTO THIS
ZONE

18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

NATIVE REVEGETATION AREA - TYPE 1
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)
1 OF 23 TOTAL

ALPINE CURRANT
RIBES ALPINUM

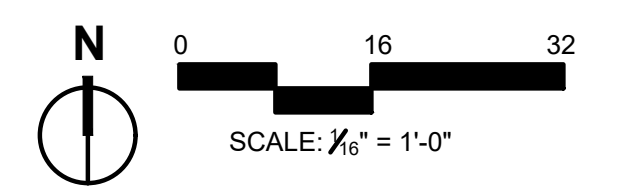
LODGEPOLE PINE
(*PINUS CONTORTA LATIFOLIA*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)

EXISTING DECIDUOUS TREE TO REMAIN
TYPICAL

EXISTING CONIFER TREE TO REMAIN
TYPICAL



LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: L4.01
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

SITE PLANTING PLAN

SHEET NO.

L-4.01

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○ West Perspective Rendering - Master and Main Wings



○ East Perspective Rendering - Garage and Main Wings



○ Southwest Perspective Rendering



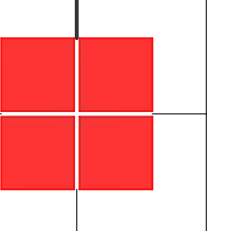
○ South (Front) Perspective Rendering - All Wings

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10/21/2022 10:25:26 AM

REVISIONS:		
#	Description	Date

McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Kelchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

McLaughlin & Associates Architects
 Chartered, AIA
 Telephone: 208.226.9392
 Fax: 208.226.4779
 www.mclaughlinarchitects.com
 Kelchum, ID 83340
 Shipping: 100 South Leadville Ave. 3rd floor




Project Issue Date:
10-21-2022
MOD Final Submittal

Renderings

Juno Submittal Spec Sheet
Date: 10/18/2022
Dynamically Generated
Series: MD1LG2

MD1LG2 RD 300LM WL Housing
LED 12V Wet Location Round Mini Housing

Product Submittal Description:
Mini LED Housing, 12V, Round, 300 lumens LM, 2700K, 80+ CRI, Foot, Black



The product images shown are for illustrative purposes only and may not be an exact representation of the product.

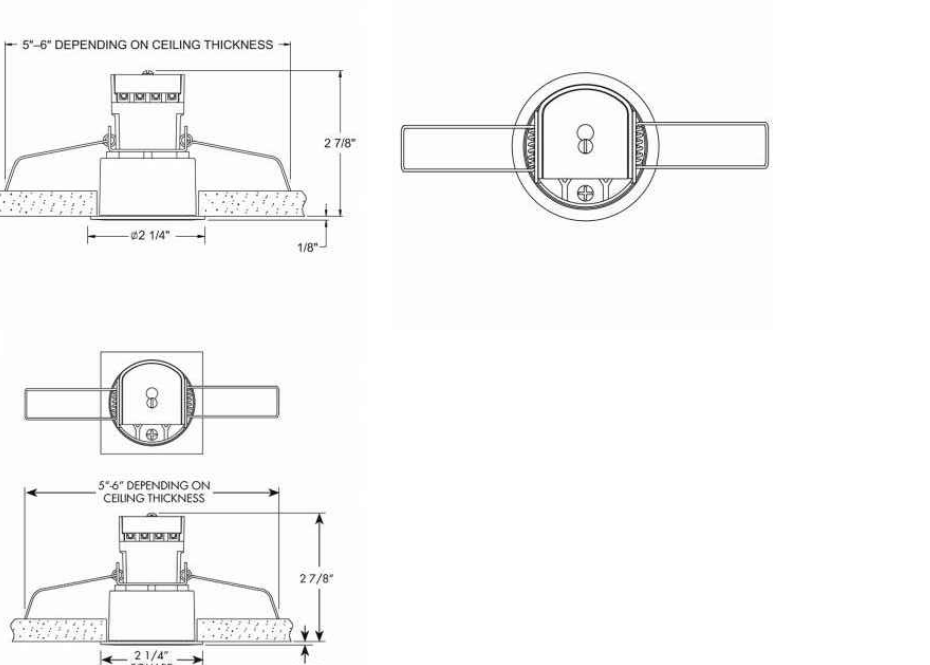
Order	Part Number	Part Description	Quantity	Unit	Notes
1	MD1LG2 RD 300LM WL Housing	LED 12V Wet Location Round Mini Housing	1	EA	

Juno Submittal Spec Sheet
Date: 10/18/2022
Dynamically Generated
Series: MD1LG2

MD1LG2 RD 300LM WL Housing
LED 12V Wet Location Round Mini Housing

Product Submittal Description:
Mini LED Housing, 12V, Round, 300 lumens LM, 2700K, 80+ CRI, Foot, Black

The product images shown are for illustrative purposes only and may not be an exact representation of the product.



DL DestinationLighting
Customer Service: 1-800-633-6363 or calldestinationlighting.com
Mail: 7 Zamora & Sonny - Fremont #9751

8-inch Black LED Tube Architectural Flush Mount Z700K 395LM



Product Number: F1807975
Manufacturer: DL Lighting
Model Number: DL-C108-F22-8K
Collection: DL-Architectural

Energizer Compliant: Yes
Shade Material: Metal Glass
Material: Aluminum
Shipping: UPS Regular
Certification Agencies: ETL
Canopy Dimension: 7 7/8"
Weight: 1.14 lbs
Voltage Type: Low Voltage
Voltage Output: 120/277V
Average Rated Life: 60,000 hrs
Dimmable: With Electronic Dimmer
Weight: 11.25 lbs
Width: 7.28 in.
Voltage: 5A
Beam Type: Integrated LED
Number of Bulbs: 1
Bulb Included: Yes
Beam Spread: Spot
Beam Spread Degree: 40

RECTANGLE STEP LIGHTS 12V
4031

WAC LANDSCAPE LIGHTING

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Rectangular step light designed for safety and style on walkways, patios, decks, factory entry, walkways and building perimeters.
Features an architectural design. Energy efficient for long lasting outdoor lighting solutions. Creative and attractive, versatile, translucent of light.

FEATURES

- Contemporary aluminum design
- Available in multiple finishes and colors
- Fits into 2" x 2" junction box with maximum inside dimensions of 1 1/2" x 1 1/2" x 1 1/2"
- Integrated design for easy installation and maintenance
- Available in multiple finishes and colors
- 100% LED lighting
- Landscape luminaire required (not included)

Ordering Number	Color Temp	CR	Beam	Lumen
4031	2700K	80+	Spot	395

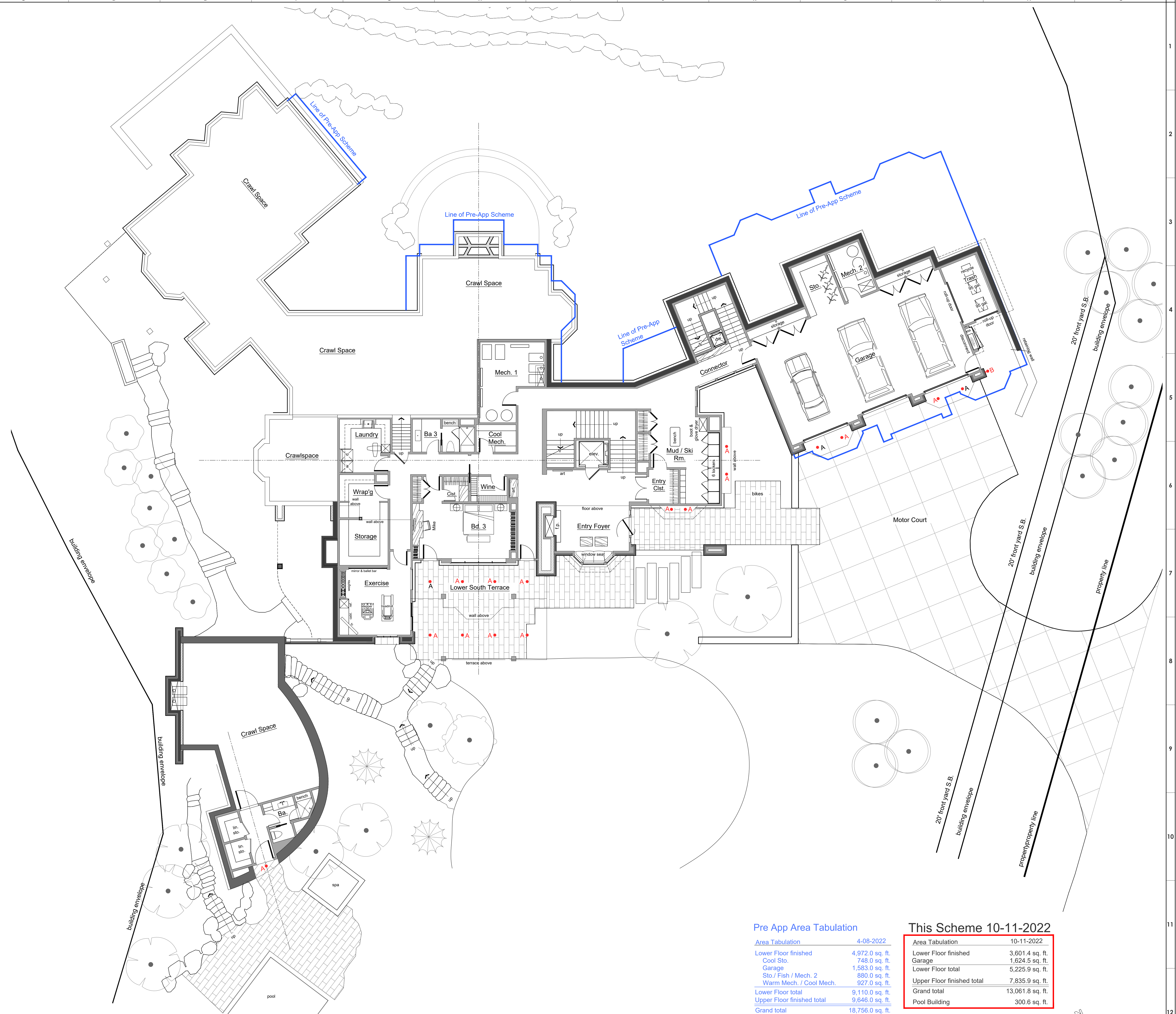
4031
4031-0000-0000

Headquarters/Systems Distribution Center
1000 Park Drive
Fremont, CA 94538

Central Distribution Center
1715 Alameda Avenue
Oakland, CA 94612

Western Distribution Center
1715 Alameda Avenue
Oakland, CA 94612

Light Fixture 'C'

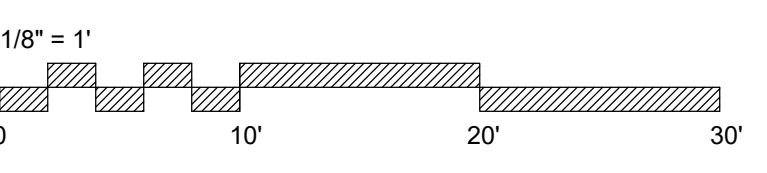


Pre App Area Tabulation

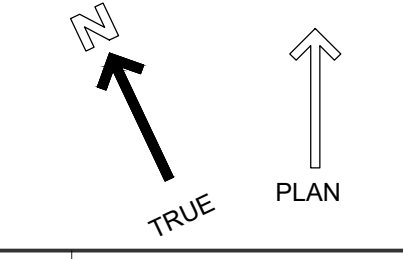
Area Tabulation	4-08-2022
Lower Floor finished	4,972.0 sq. ft.
Cool Sto.	748.0 sq. ft.
Garage	1,583.0 sq. ft.
Sto./ Fish / Mech. 2	380.0 sq. ft.
Warm Mech. / Cool Mech.	927.0 sq. ft.
Lower Floor total	9,110.0 sq. ft.
Upper Floor finished total	9,646.0 sq. ft.
Grand total	18,756.0 sq. ft.
Pool Building	1,187.0 sq. ft.

This Scheme 10-11-2022

Area Tabulation	10-11-2022
Lower Floor finished	3,601.4 sq. ft.
Garage	1,624.5 sq. ft.
Lower Floor total	5,225.9 sq. ft.
Upper Floor finished total	7,835.9 sq. ft.
Grand total	13,061.8 sq. ft.
Pool Building	300.6 sq. ft.



Lower Level Floor Plan / Exterior Lighting Plan
1/8" = 1'-0"



Z:\Dropbox\McGavick 2021\Drawings\Autocad\Current\Working Set\A1 Lower Level Plan.dwg

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PLOTTED: 10/21/2022 10:25:27 AM

REVISIONS:

#	Description	Date

McGavick Residence
Location: Lot 2, Emerald South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
100 South Leadville Ave., 3rd floor
Ketchum, ID 83340
Telephone: 208.268.9392
Fax: 208.268.9393
www.mclaughlinarchitects.com


Project Issue Date: 10-21-2022
MOD Final Submittal

A1

Juno Submittal Spec Sheet
Dynamically Generated
Series: MD1LG2
Date: 10/18/2022

MD1LG2 RD 300LM WL Housing
LED 12V Wet Location Round Mini Housing

Product Submittal Description:
Mini LED Housing, 12V, Round, 300 lumens, 2700K, 60° CR, Flood Beam



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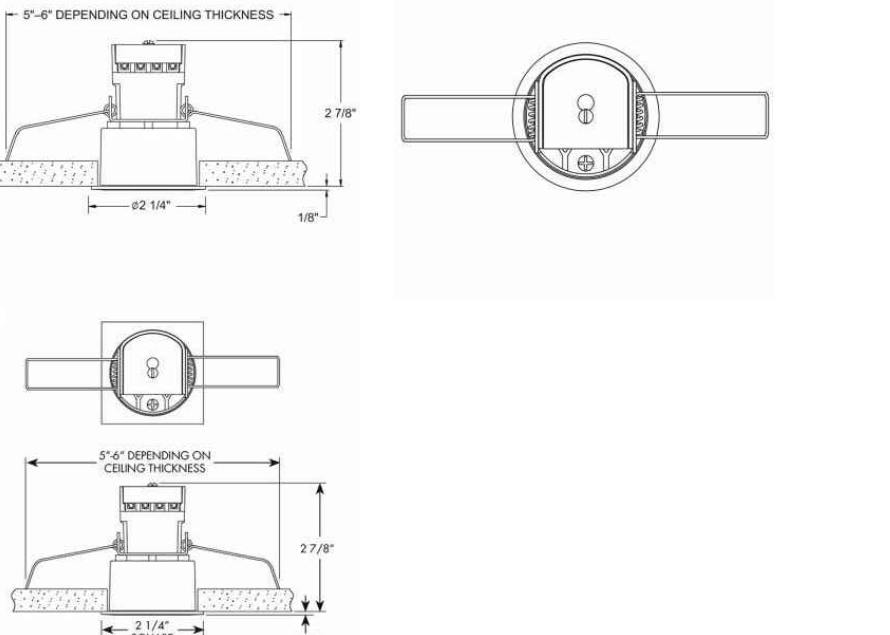
Item	Description	Quantity	Unit	Notes
1	MD1LG2 RD 300LM WL Housing	1	ea	

Juno Submittal Spec Sheet
Dynamically Generated
Series: MD1LG2
Date: 10/18/2022

MD1LG2 RD 300LM WL Housing
LED 12V Wet Location Round Mini Housing

Product Submittal Description:
Mini LED Housing, 12V, Round, 300 lumens, 2700K, 60° CR, Flood Beam

The drawing is for illustrative purposes only and may not be an exact representation of the product. See the full specification sheet to confirm the configured construction dimensions.



2" Ø CIRCULAR CUTOUT

Light Fixture 'A'

DL Destination Lighting
Customer Service: 1-800-653-6534 or customer@destinationlighting.com
M-F: 7am-5pm & Sunday: 11am-5pm (PST)
8-inch Black LED Tube Architectural Flush Mount 2700K 3395LM



Product Number: F1307973
Manufacturer: DL Lighting
Model Number: DL-C08-F13-8x
Collection: Tube Architectural

Manufacturer Finish: R28
Material: Aluminum
Shipping: UPS Regular

Manufacturer Shade Color: R28
Certification Agencies: ETL
Category Dimensions: 7.38

Manufacturer Wattage: 5.4w
Wet Location: Yes
Voltage Type: Low Voltage
Voltage Range: 120-277 V
Average Rated Life: 60,000 hrs
Dimmable: With Electronic Driver
Height: 11.75 in.
Color Rendering Index: 90
Made in America: No
Beam Spread: Flood
Beam Spread Degree: 40

Base Type: LED
Number Of Bulbs: 1
Bulb Included: No
Beam Spread: Flood
Beam Spread Degree: 40

EnergStar Compliant: Yes
Shade Material: Metal Glass
Material: Aluminum
Shipping: UPS Regular

Certification Agencies: ETL
Category Dimensions: 7.38
Wet Location: Yes
Voltage Type: Low Voltage
Voltage Range: 120-277 V
Average Rated Life: 60,000 hrs
Dimmable: With Electronic Driver
Height: 11.75 in.
Color Rendering Index: 90
Made in America: No
Beam Spread: Flood
Beam Spread Degree: 40

Light Fixture 'B'

RECTANGLE STEP LIGHTS 12V
4031

WAC LANDSCAPE LIGHTING

Feature Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION
Historical landscape lighting designed for safety and style on terraces, patios, decks, and walkways. Available in multiple finishes and mounting options.
Features an architectural design. Energy efficient for long lasting outdoor lighting solutions. Creates an attractive, seamless impression at night.

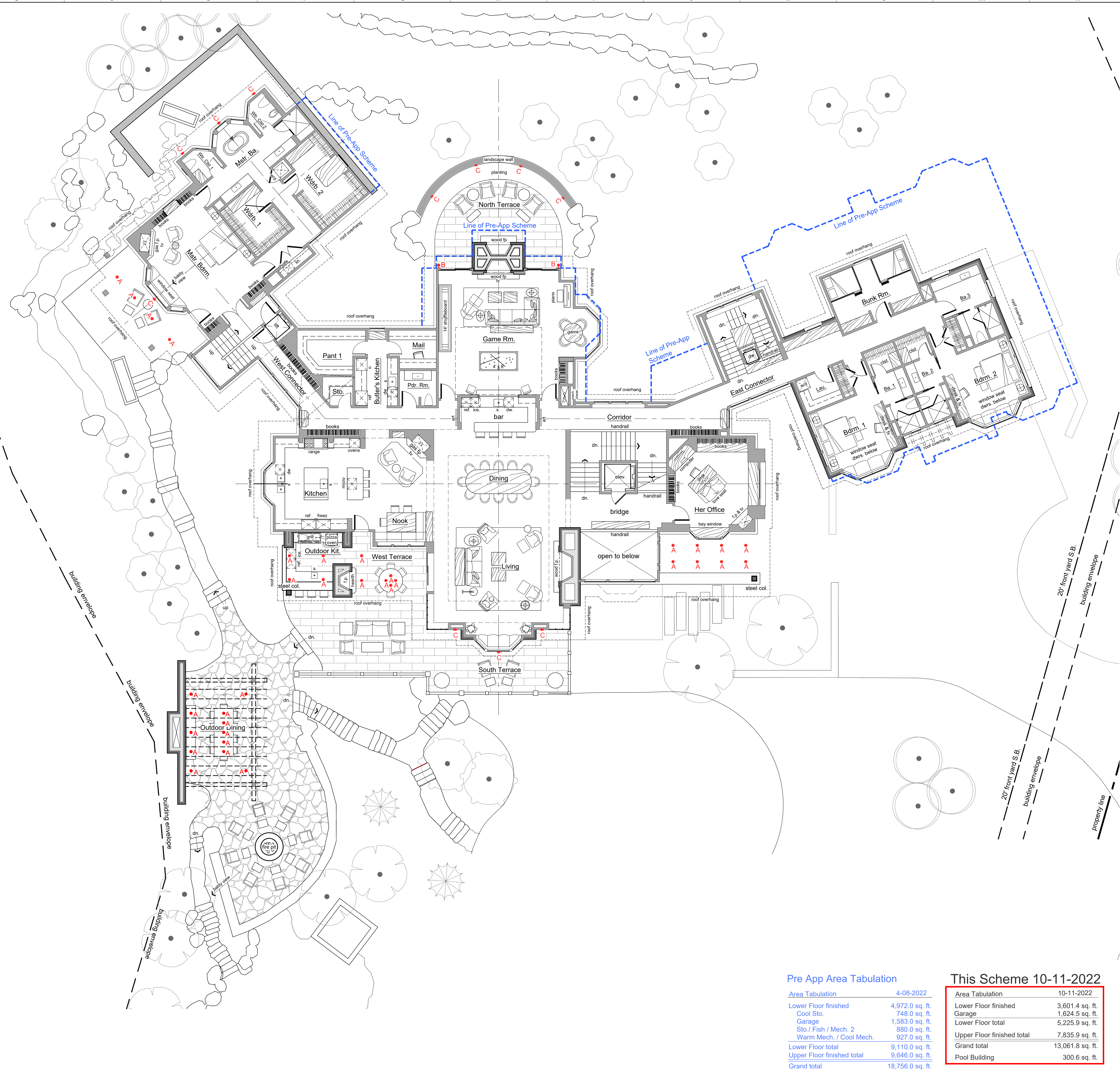
FEATURES

- Modern, minimalist design
- Full decorative profile with full cut-off illumination
- 100% of light directed downwards for safety and security
- 2700K, 2.7W, 2.75" H
- Available in multiple finishes and mounting options
- Protected against high pressure water jets
- 100% recyclable
- Landscape transformer required (sold separately)

ORDERING NUMBER

Item	Description	Quantity	Unit	Notes
4031	Rectangle Step Light 12V	1	ea	

Light Fixture 'C'



Pre App Area Tabulation

Area Tabulation	4-08-2022
Lower Floor finished	4,972.0 sq. ft.
Cool Sto.	748.0 sq. ft.
Garage	1,583.0 sq. ft.
Sto./ Fish / Mech. 2	880.0 sq. ft.
Warm Mech. / Cool Mech.	927.0 sq. ft.
Lower Floor total	9,110.0 sq. ft.
Upper Floor finished total	9,646.0 sq. ft.
Grand total	18,756.0 sq. ft.
Pool Building	1,187.0 sq. ft.

This Scheme 10-11-2022

Area Tabulation	10-11-2022
Lower Floor finished	3,601.4 sq. ft.
Garage	1,624.5 sq. ft.
Lower Floor total	5,225.9 sq. ft.
Upper Floor finished total	7,835.9 sq. ft.
Grand total	13,061.8 sq. ft.
Pool Building	300.6 sq. ft.

Upper Level Floor Plan / Exterior Lighting Plan
1/8" = 1'-0"

Z:\Dropbox\McGavick 2021\Drawings\AutoCAD\Current Working Set\A2 Upper Level Plan.dwg

10/21/2022 10:25 AM

PLOTTED: 10/21/2022 10:25:30 AM

REVISIONS:

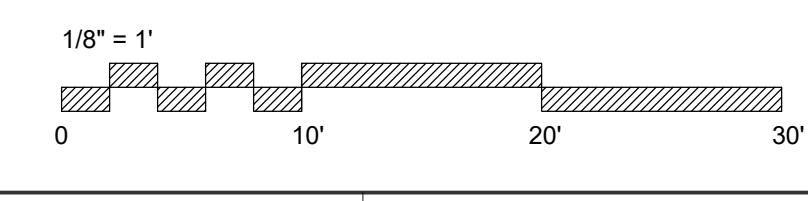
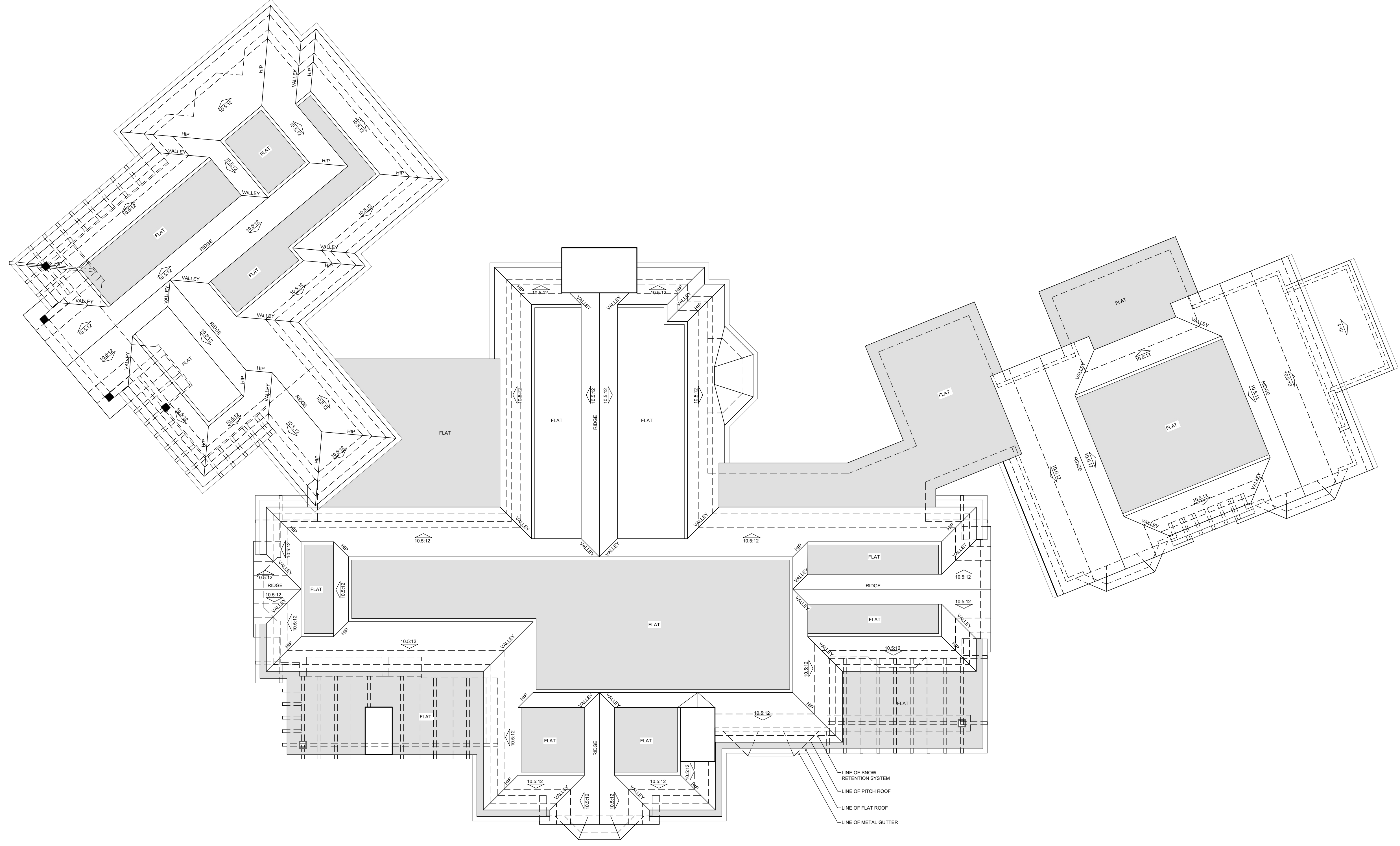
#	Description	Date

McGavick Residence
Location: Lot 2, Esmeralda South Subdivision
City of Kelchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

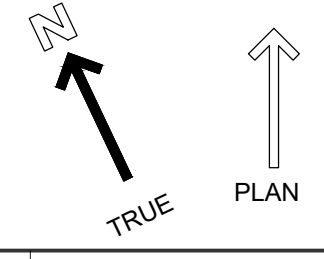
McLaughlin & Associates Architects
Chartered, AIA
100 South Leadville Ave, 3rd floor
Kelchum, ID 83346
Telephone: 208.269.9392
Fax: 208.269.4779
www.mclaughlinarchitects.com

Project Issue Date: 10-21-2022
MOD Final Submittal

10/21/2022 10:25 AM Z:\Dropbox\McGavick 2021\Drawings\AutoCAD\Current\Working\Set\A3 Roof Plan.dwg



Roof Plan
1/8" = 1'-0"



10/21/2022 10:25:33 AM

REVISIONS:		
#	Description	Date

McLaughlin & Associates Architects
Chartered, AIA
 Project Issue Date:
10-21-2022
 MOD Final Submittal

Roof Plan
A3

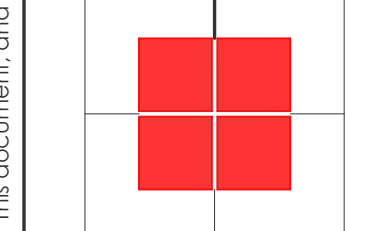
McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

236

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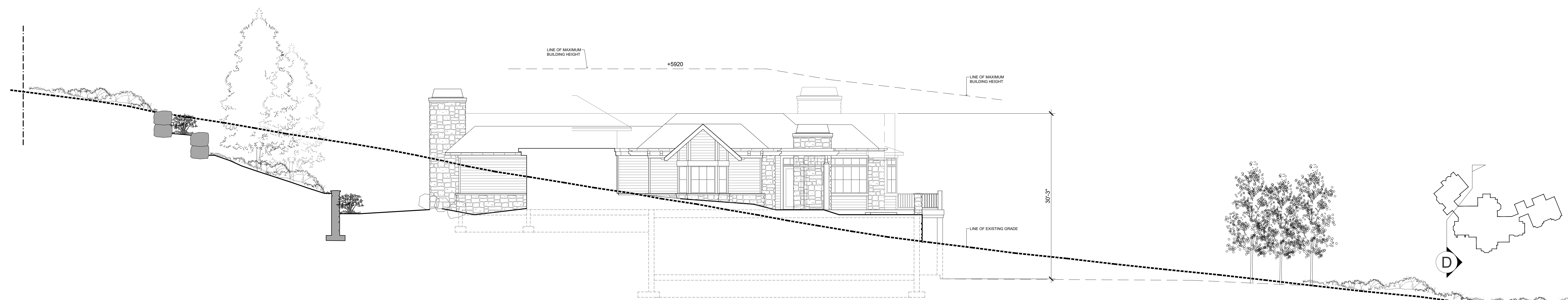
McGavick Residence
Location: Lot 2, Emerald South Subdivision
City of Kelchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
Telephone: 208.226.9392
Fax: 208.226.4779
www.mclaughlinarchitects.com
Kelchum, ID 83346

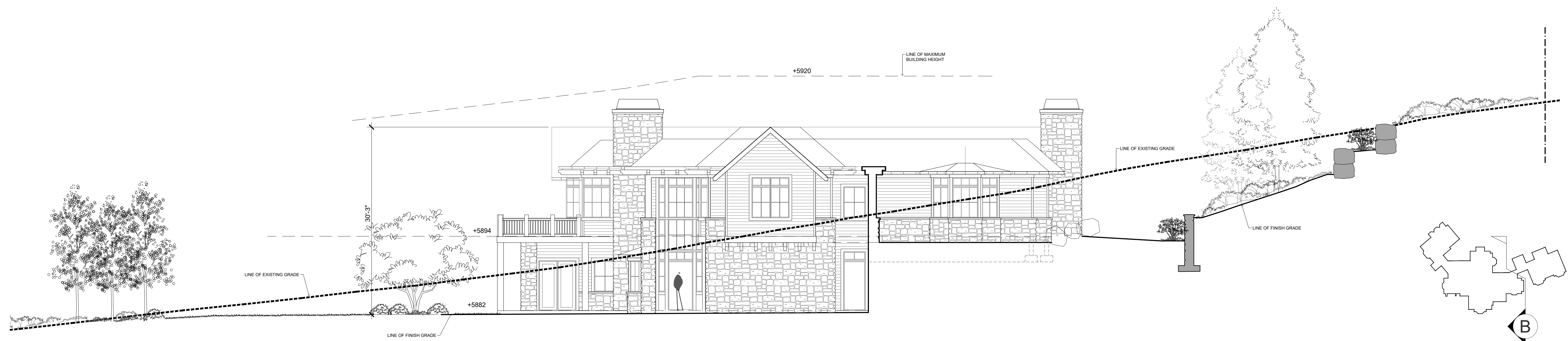


Project Issue Date:
10-21-2022
MOD Final Submittal

Exterior Elevations



D Main Wing Left Elevation
1/8" = 1'-0"



B Main Wing Right Elevation
1/8" = 1'-0"



C Main Wing Rear Elevation
1/8" = 1'-0"



A Main Wing Front Elevation
1/8" = 1'-0"



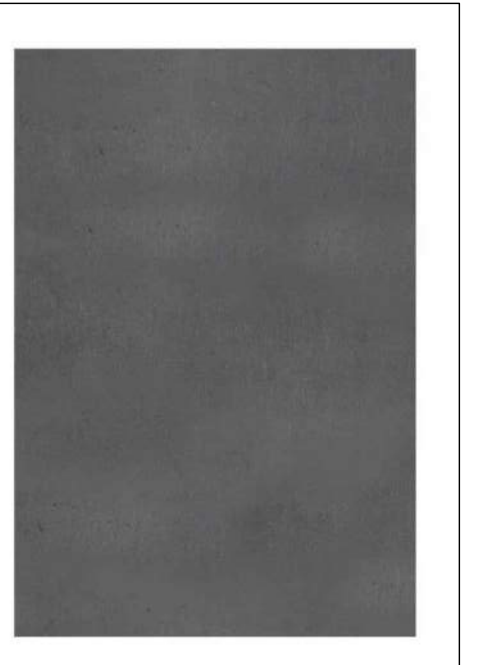
Typical Roofing
DaVinci select composite shake roofing



Typical Wood Siding
Rustic reclaimed fir siding



Typical Stone Veneer
Light limestone, wide grout joints



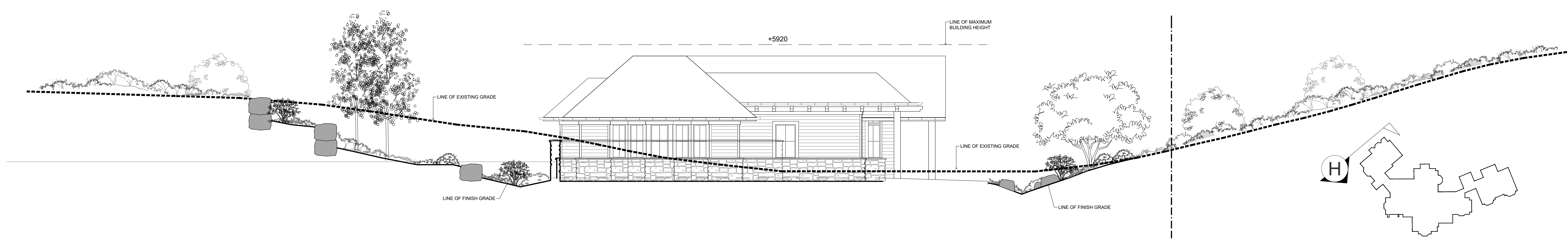
Typical Metal Accent
Chimney shrouds, misc. roof flashing



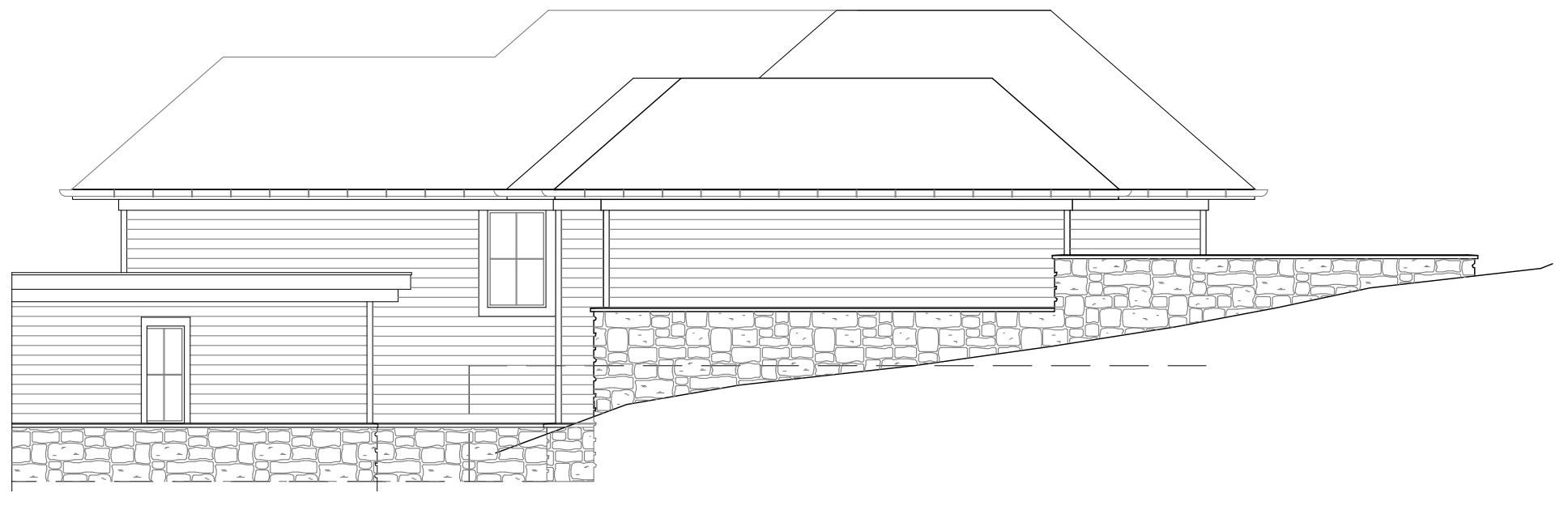
Typical Trim Accents
White painted roof fascia, misc. painted trims

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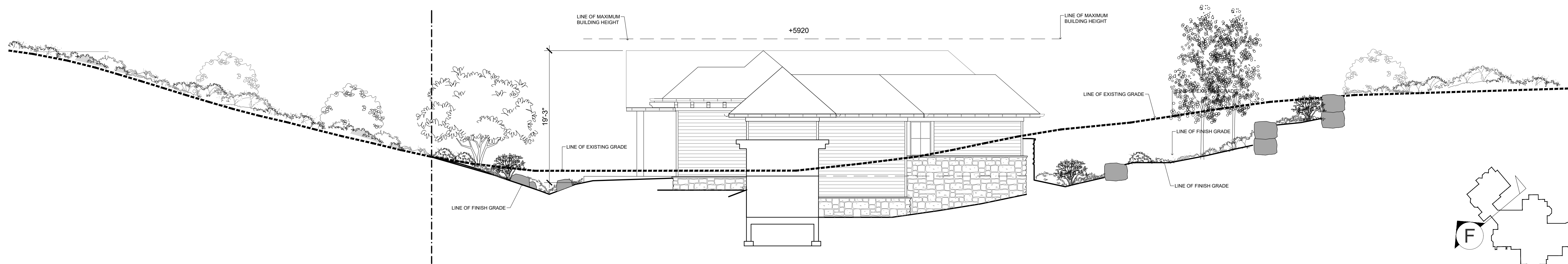
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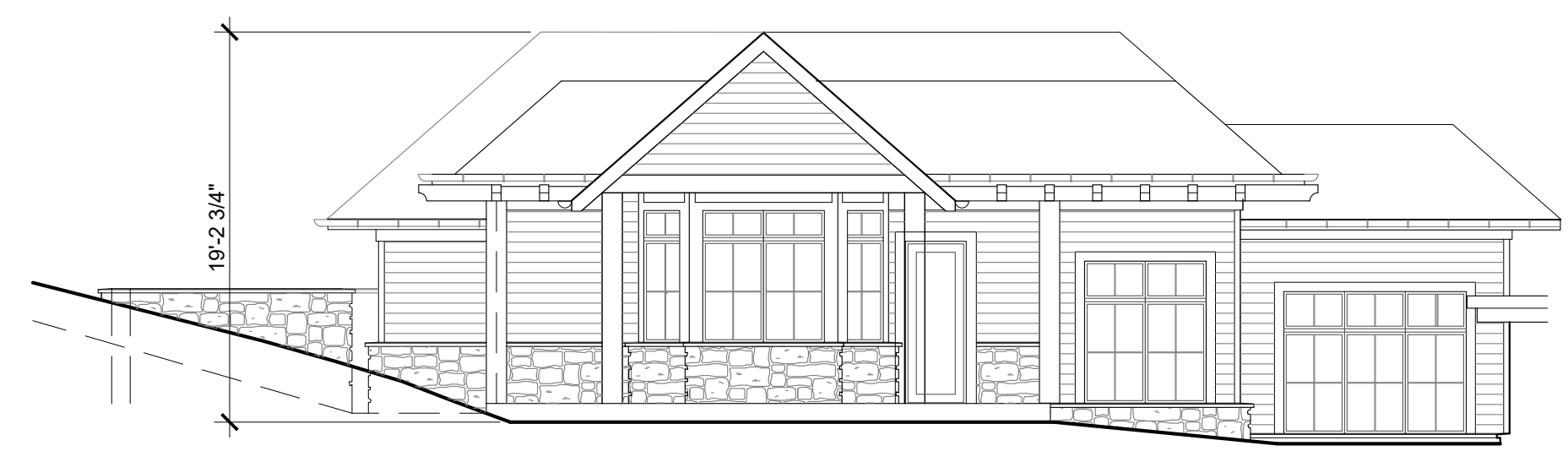
H Master Wing Left Elevation
1/8" = 1'-0"



G Master Wing Rear Elevation
1/8" = 1'-0"



F Master Wing Right Elevation
1/8" = 1'-0"



E Master Wing Front Elevation
1/8" = 1'-0"

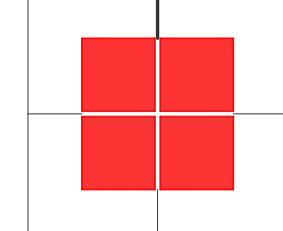
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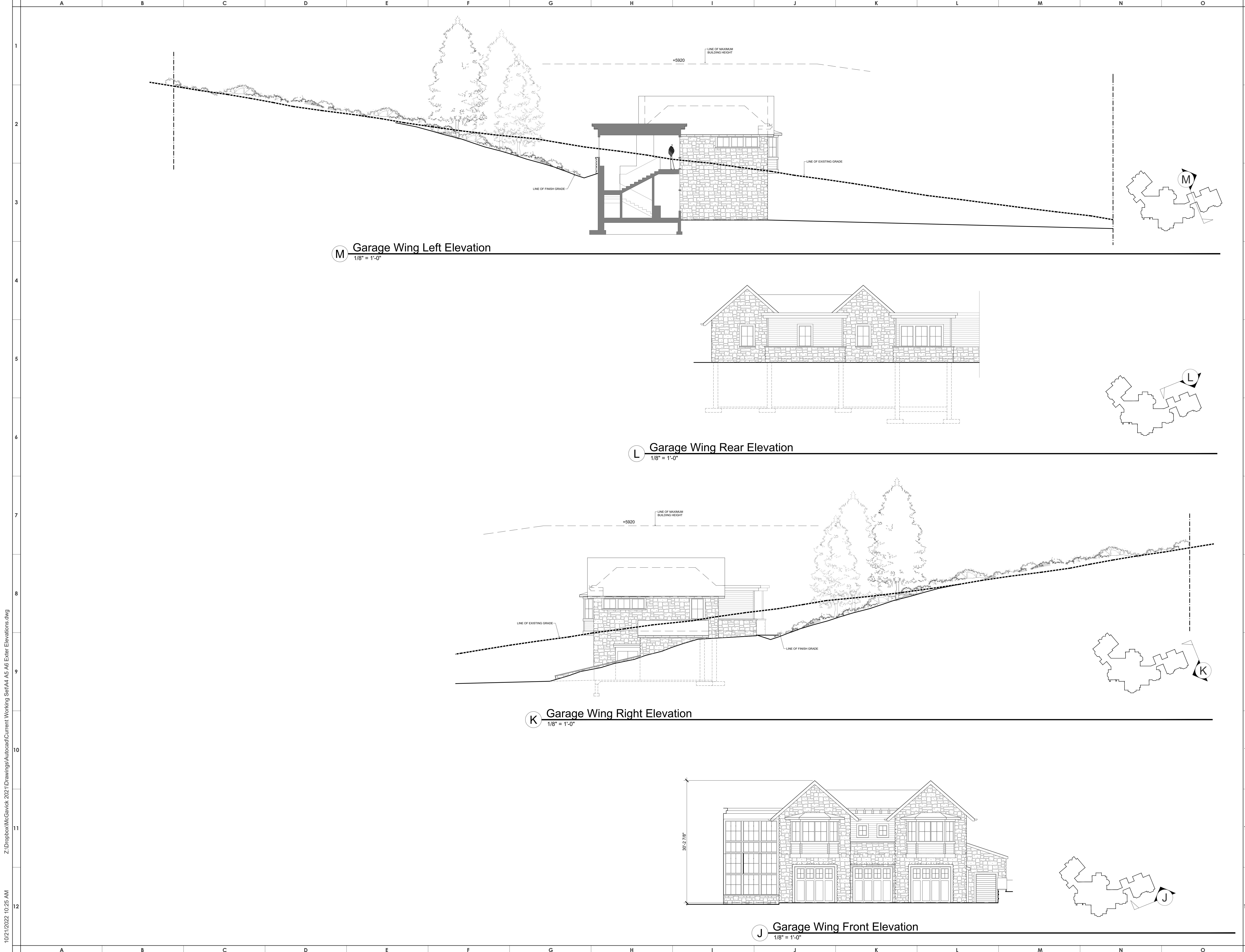
McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

McLaughlin & Associates Architects
 Chartered, AIA
 Building: 208 2nd 9392
 Suite: 479
 Sun Valley, ID 83353
 www.mclaughlinarchitects.com
 Ketchum, ID 83340



Project Issue Date:
10-21-2022
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Exterior Elevations



M Garage Wing Left Elevation
1/8" = 1'-0"

L Garage Wing Rear Elevation
1/8" = 1'-0"

K Garage Wing Right Elevation
1/8" = 1'-0"

J Garage Wing Front Elevation
1/8" = 1'-0"

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10/21/2022 10:25:41 AM

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 Chartered, AIA
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 Fax: 208.269.9392
 Sun Valley, ID 83353
 www.mclaughlinarchitects.com
 Ketchum, ID 83340

McGavick Residence
 Location: Lot 2, Emeraldia South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

Project Issue Date:
 10-21-2022
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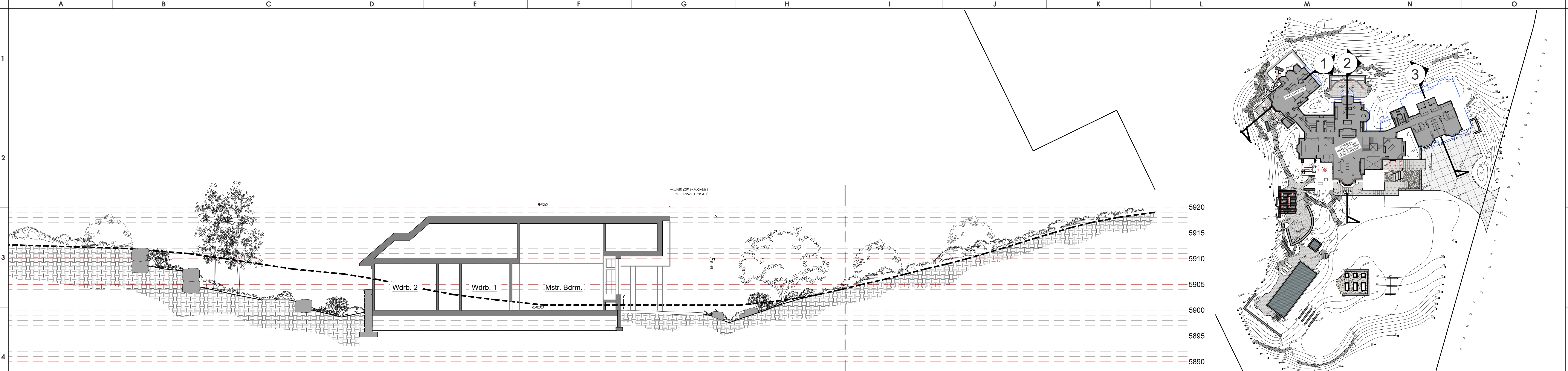
Exterior Elevations

C:\Users\bernie\Dropbox\McGavick 2021\Drawings\Autocad\Current Working Set\A7 Sections Site.dwg 2/2/2023 10:38 AM

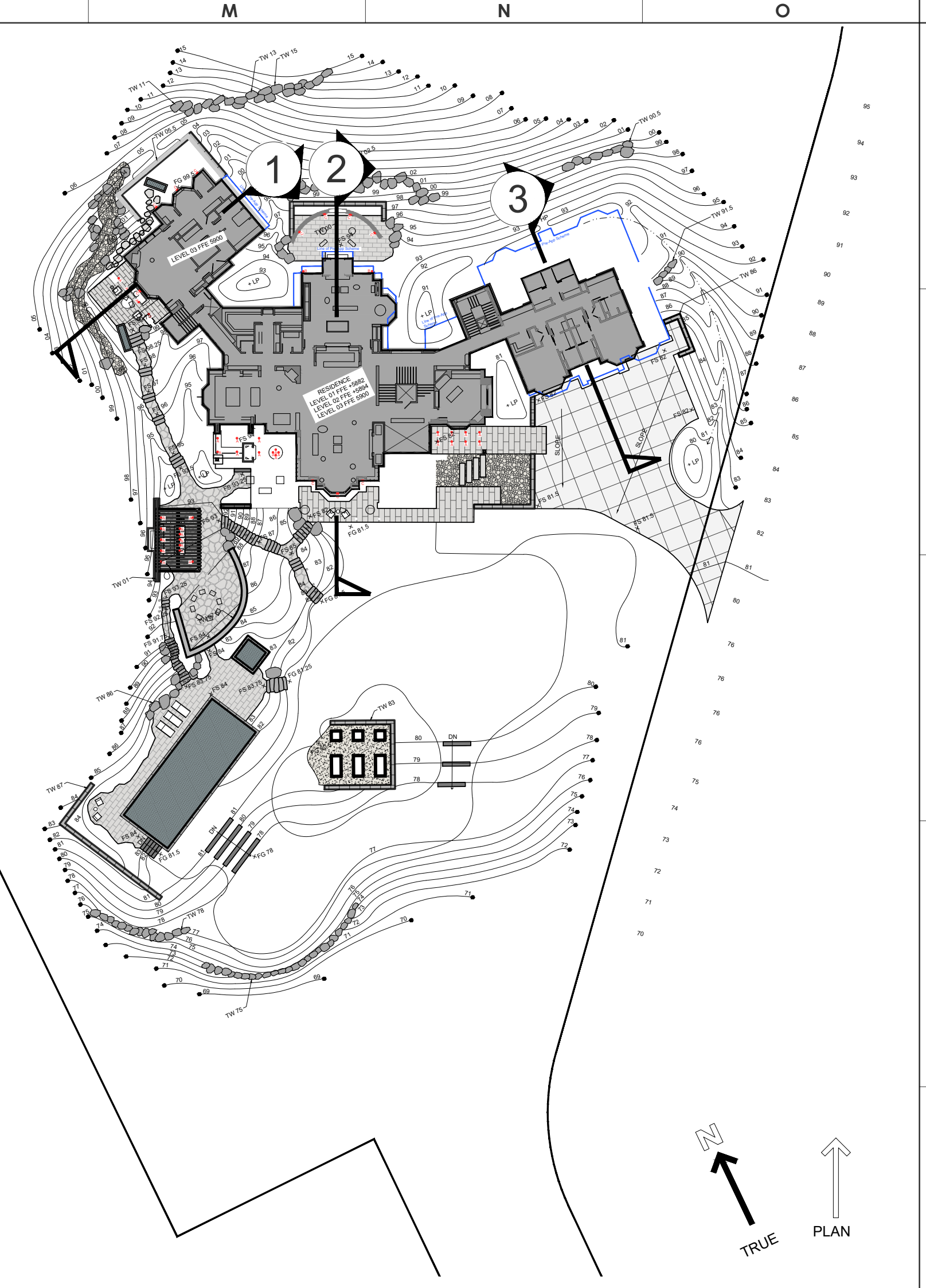
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REVISIONS:

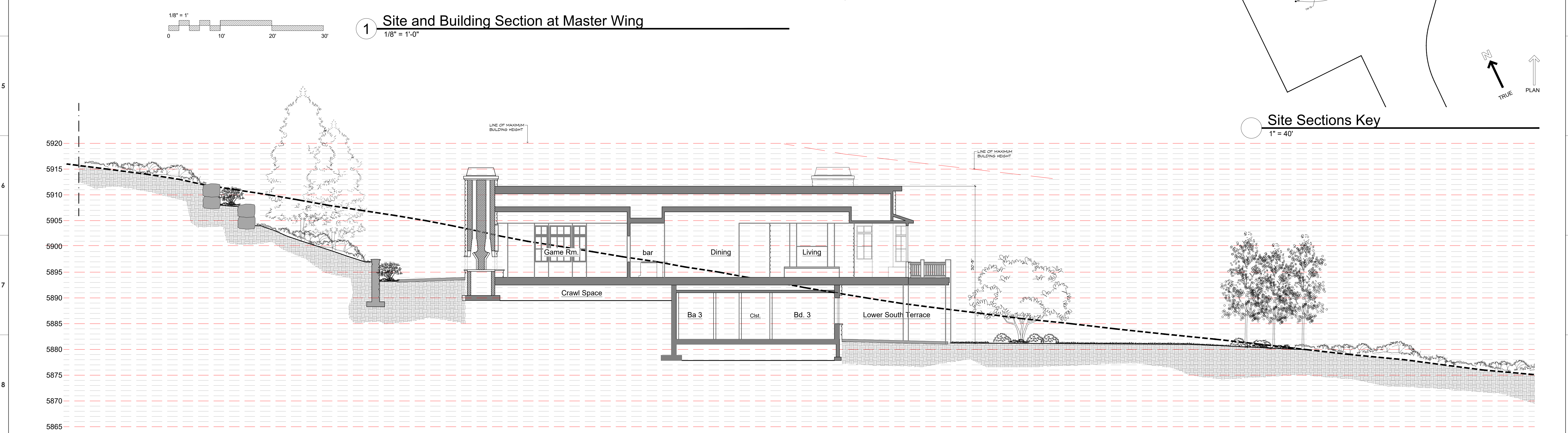
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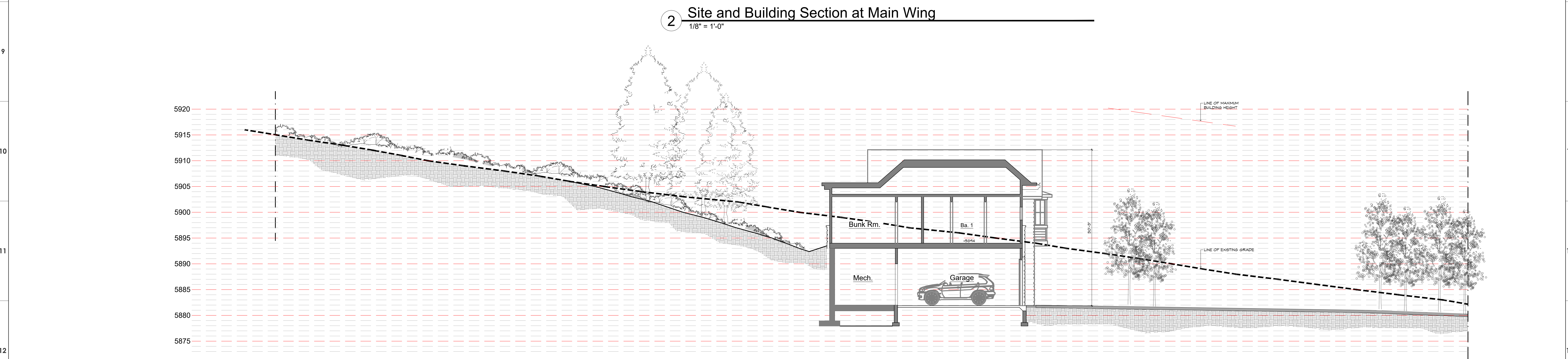
1 Site and Building Section at Master Wing
1/8" = 1'-0"



Site Sections Key
1" = 40'



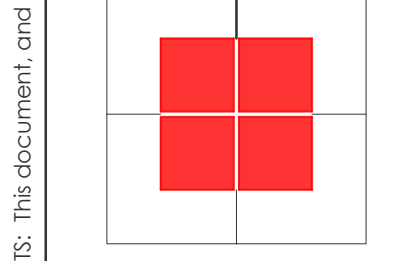
2 Site and Building Section at Main Wing
1/8" = 1'-0"



3 Site and Building Section at Main Wing
1/8" = 1'-0"

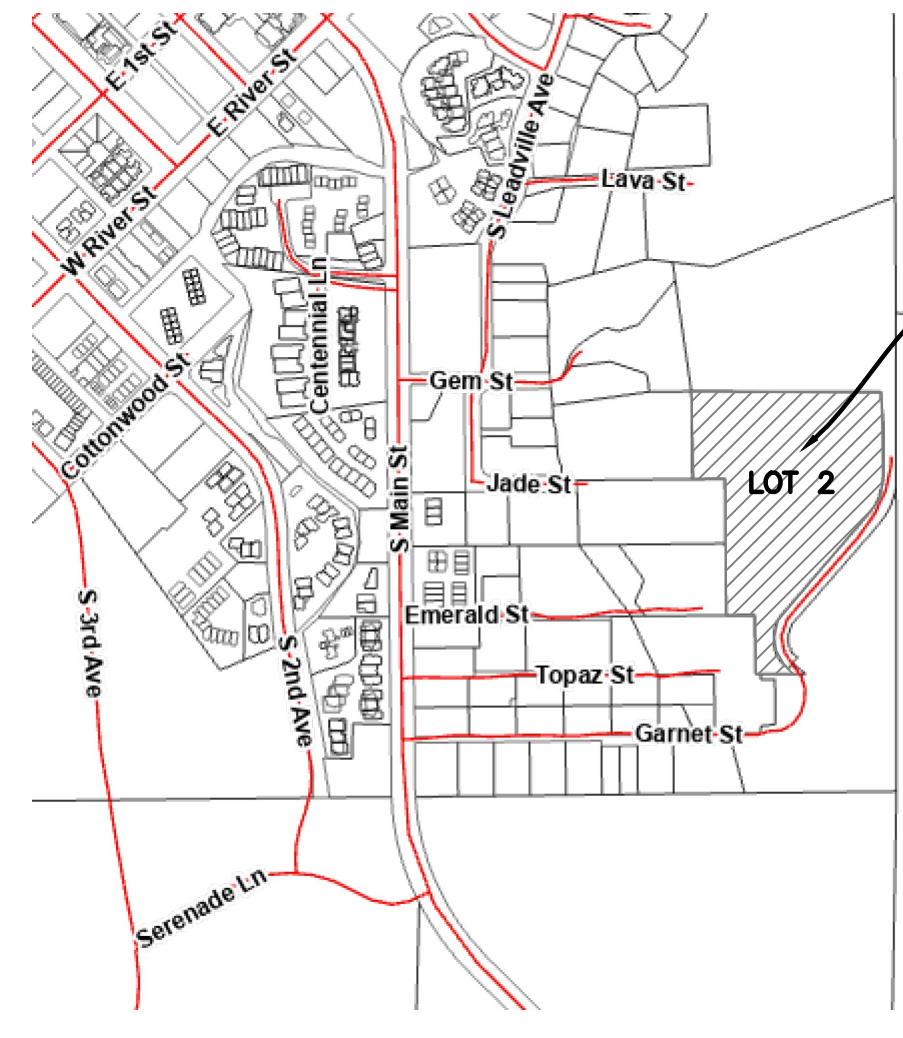
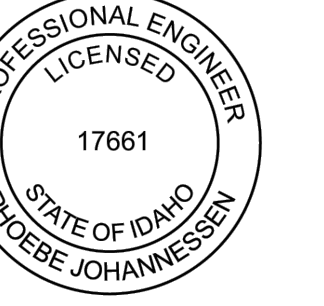
McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
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McLaughlin & Associates Architects
 Chartered, AIA
 Telephone: 208.266.9392
 Fax: 208.266.4779
 www.mclaughlinarchitects.com
 100 South Leadville Ave., 3rd floor
 Ketchum, ID 83340



Project Issue Date:
10-21-2022
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Site and Bldg. Sections

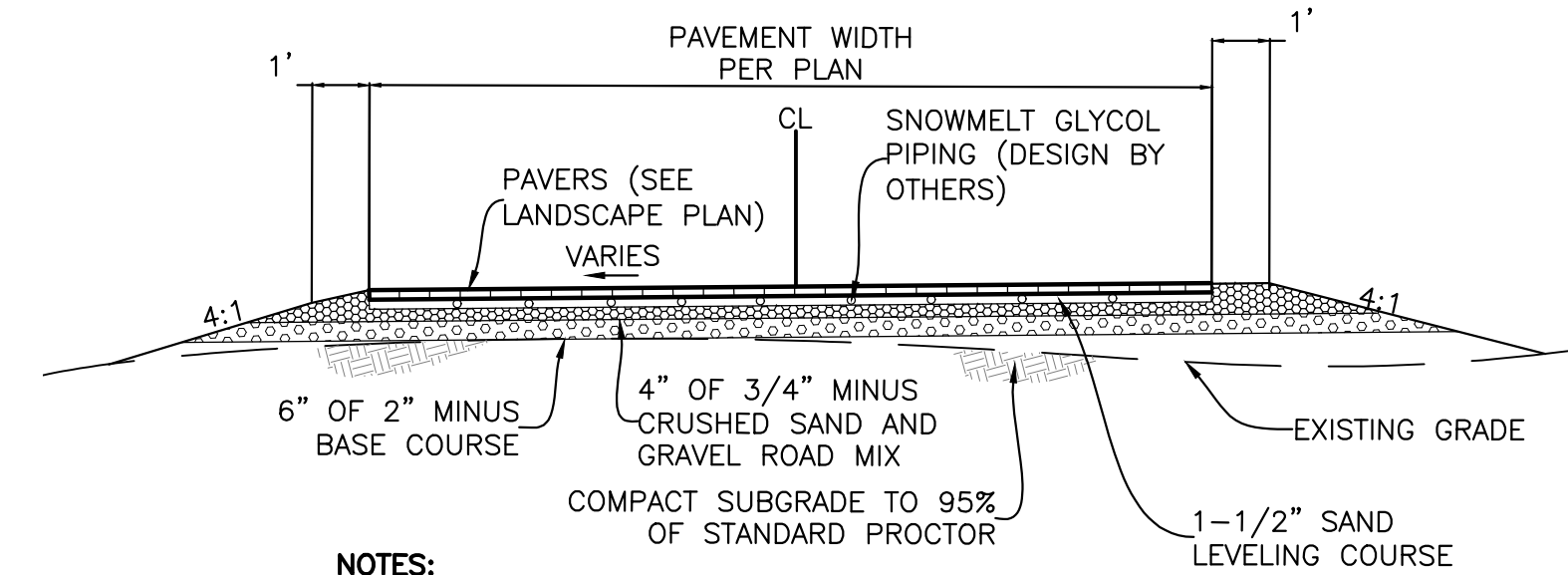


PROJECT LOCATION

VICINITY MAP

LEGEND

PROPERTY LINE	---	
ADJOINING PROPERTY LINE	---	
EASEMENT	---	
SEWER	S	
SEWER MANHOLE	⊙	
SEWER CLEANOUT	●	
WATER	W	
GAS	G	
POWER	---	
TELEPHONE	---	
CABLE TV LINE	TV	
ELEVATION CONTOUR	---	NOT TO SCALE
FLOW LINE	→	
DRYWELL	⊙	
CATCH BASIN	⊙	NOT TO SCALE
STORM DRAIN PIPE	6"SD	
DOWN SPOUT	DS	
CONCRETE PAVERS	▨	
GRAVEL	▨	
FG	---	FINISHED GRADE
EG	---	EXISTING GROUND
GB	---	GRADE BREAK
ME	---	MATCH EXISTING

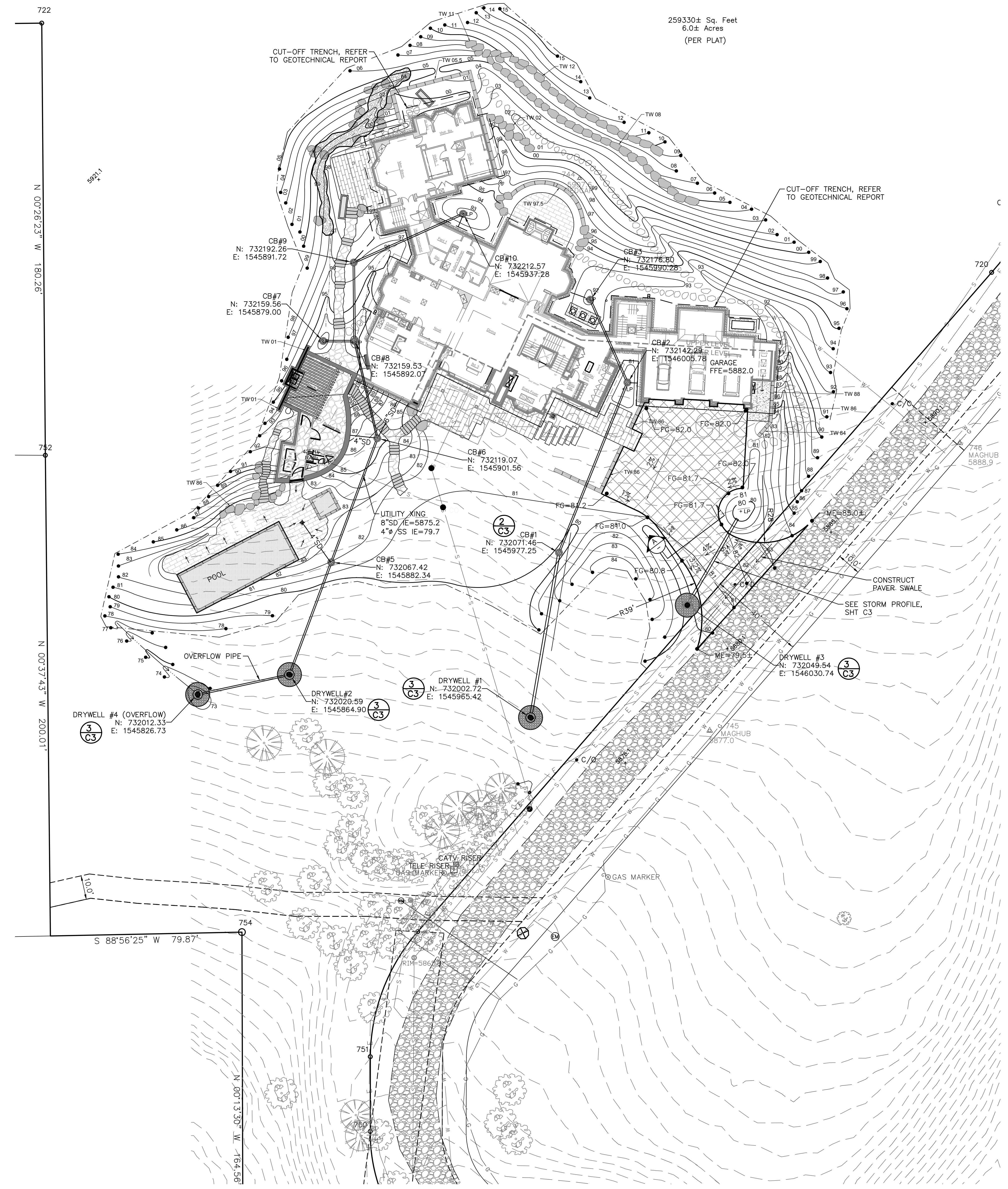


- NOTES:
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

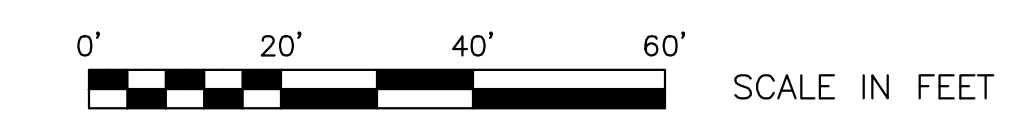
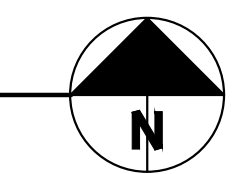
A DRIVEWAY SECTION
SCALE: NONE

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PROGRAM AT ALL TIMES UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
5. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
6. REFER TO SHEET C3 FOR STORM DRAIN PROFILES.



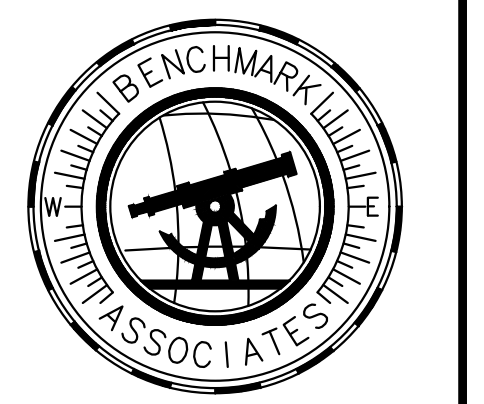
PLAN



SCALE IN FEET

REVISIONS

NO.	DESCRIPTION	DATE	BY
1			



BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
(FAX) 726-9514
WEB: www.benchmark-associates.com
MAIL: mail@bma5b.com

GRADING AND DRAINAGE PLAN

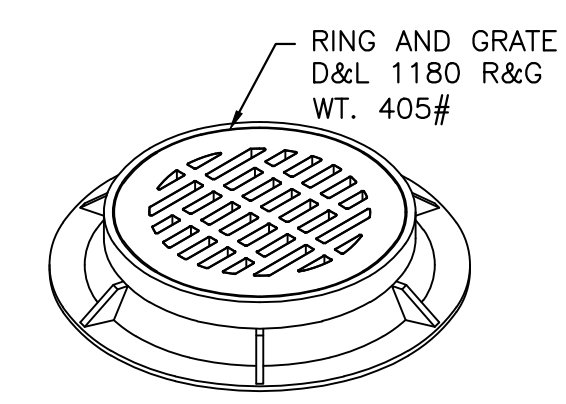
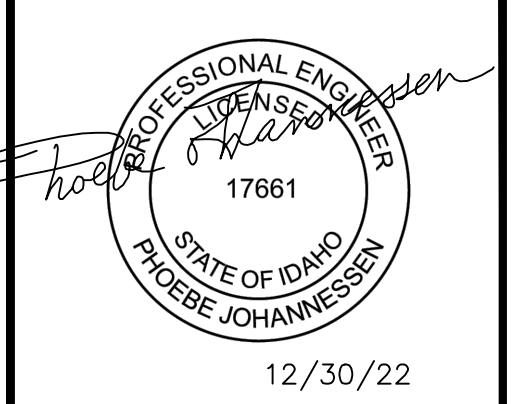
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO

PREPARED FOR: BYLA

DRAWN BY:	Plw
DESIGNED BY:	Plw
CHECKED:	-
DATE:	12/30/22
PROJECT NO.:	22029

SHEET NUMBER

C1

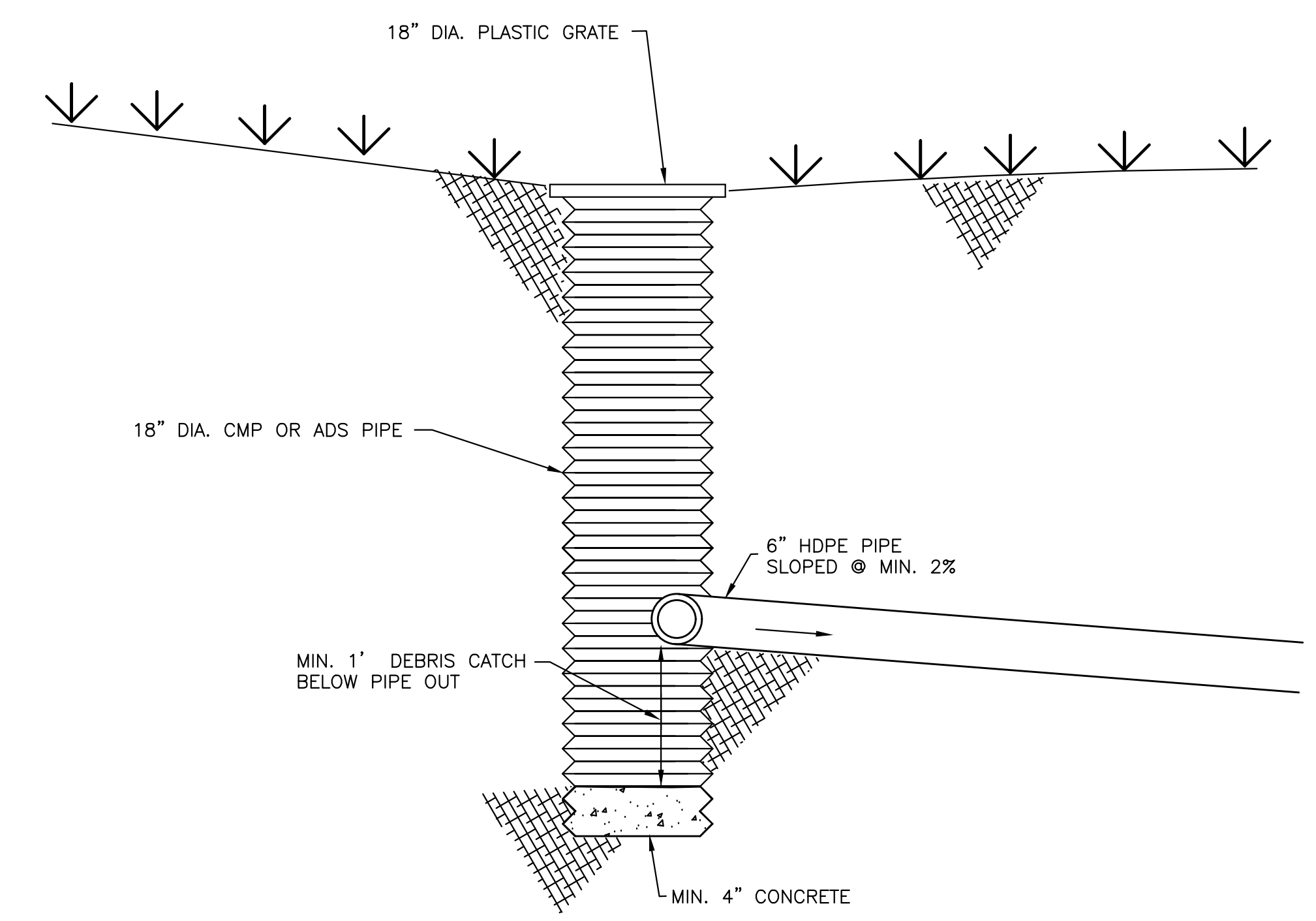


HEIGHT	CODE	WEIGHT
2"	GR302	1,924#
4"	GR304	3,200#
6"	GR306	4,476#

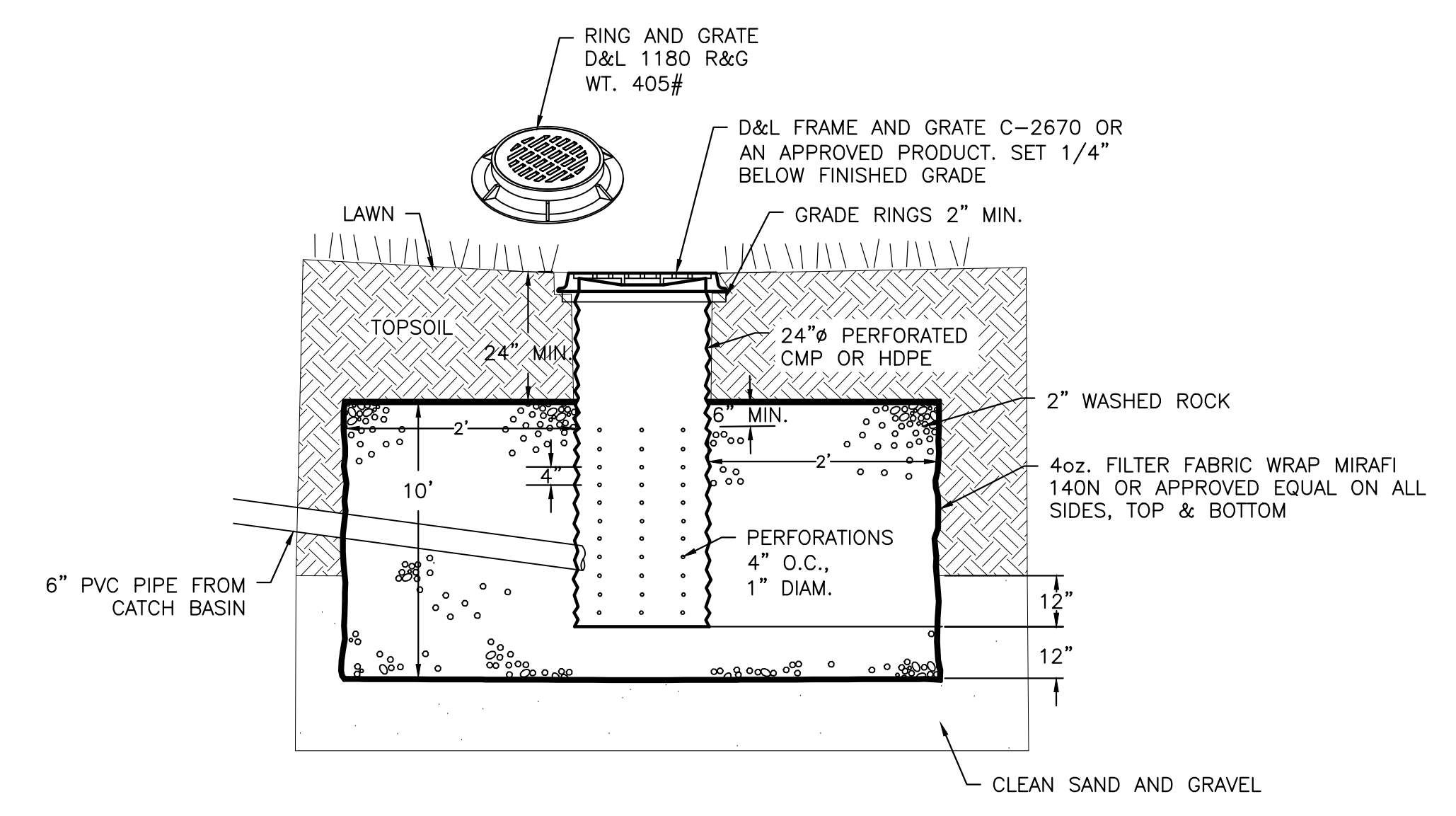
"A"	HEIGHT	CODE	WEIGHT
2'	2"	CB302	1,924#
3'	3"	CB303	2,400#
4'	4"	CB304	3,172#
5'	5"	CB305	4,110#
6'	6"	CB306	5,282#

"A"	NO. OF KNOCKOUTS
2'	4
3'	4
4'	4
5'	4
6'	4

1 30" CATCH BASIN (FOR USE IN PAVED AREAS)
C1 SCALE: N.T.S.



2 18-INCH ADS CATCH BASIN (FOR USE IN LANDSCAPE AREAS)
C1 SCALE: NONE



- NOTES:
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

3 TYPICAL DRYWELL DETAIL
C1 SCALE: NONE

NO.	REVISIONS	DESCRIPTION	DATE	BY
1				



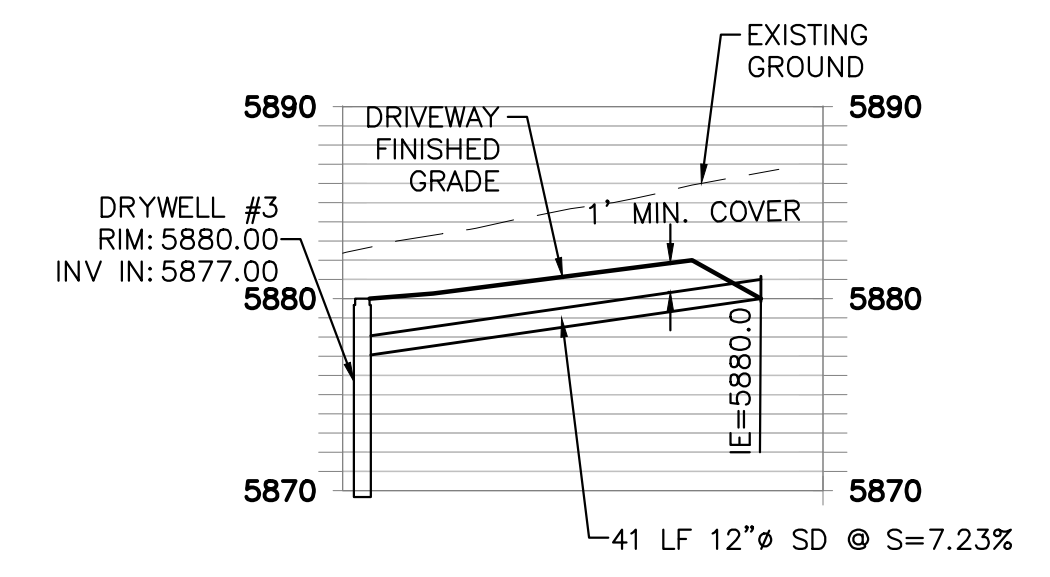
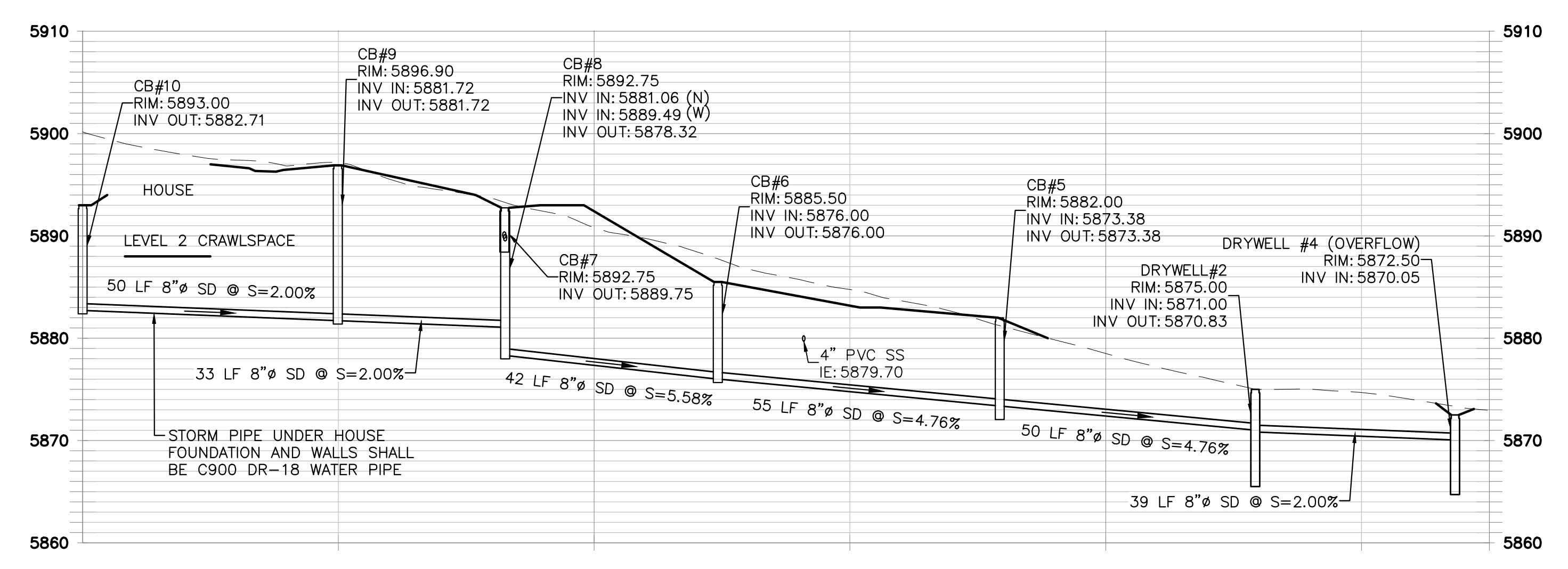
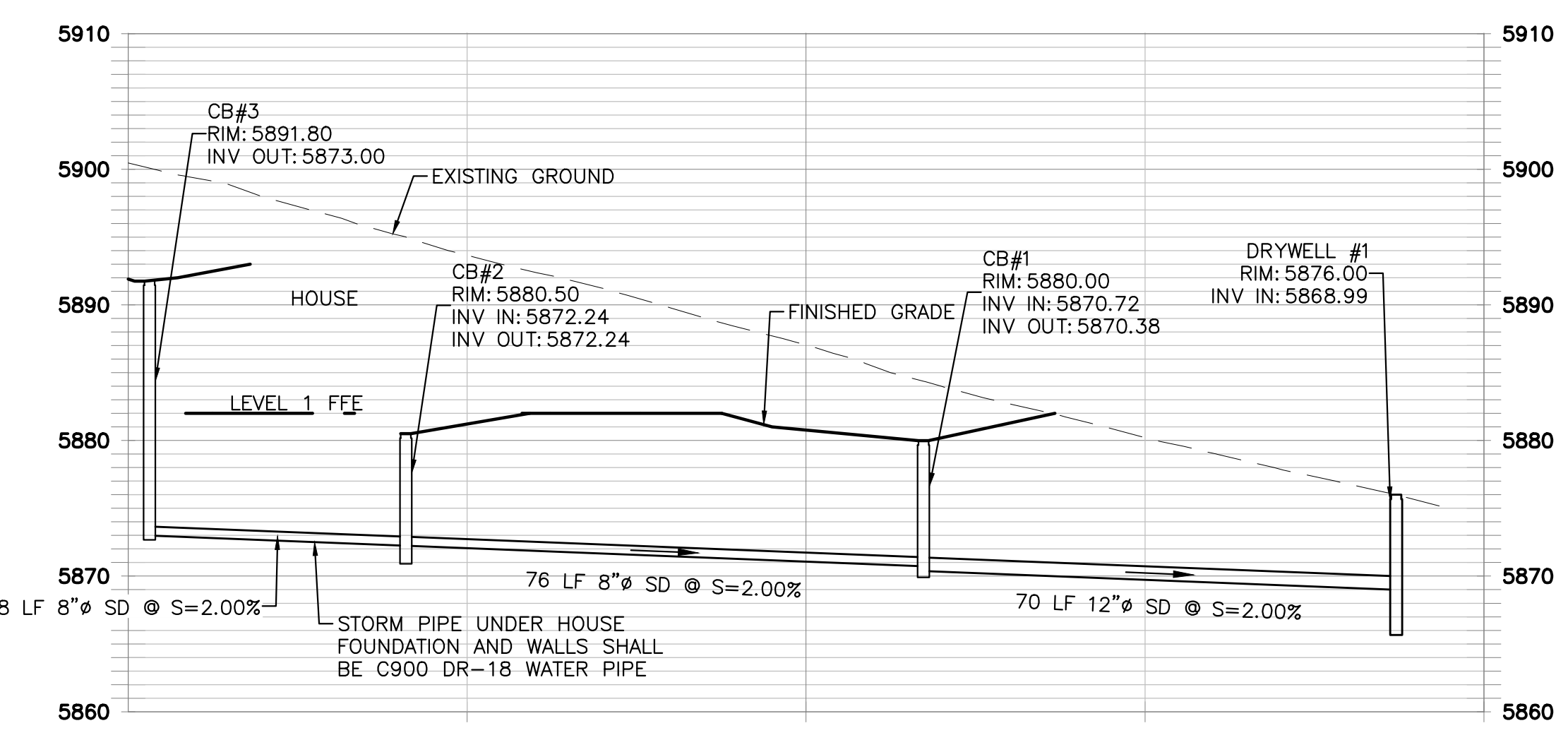
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733, 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
(FAX) 726-9514
WEB: www.benchmark-associates.com
MAIL: mail@bma5b.com

DRAINAGE DETAILS
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO
PREPARED FOR: BYLA

DRAWN BY: PLJ
DESIGNED BY: PLJ
CHECKED: -
DATE: 12/30/22
PROJECT NO.: 22029

SHEET NUMBER

C3





City of Ketchum

ATTACHMENT C: Supplemental Exhibits





LOT 2 BUILDING ENVELOPE SIZE = +/- 77,050
 TOTAL DISTURBED= +/- 49,900

- AREAS TO BE REVEGETATED WITH NATIVE PLANTINGS = +/- 24,187 SF
- OTHER IMPROVEMENTS = +/- 5,726 SF

NOTE:
 + THIS GRAPHIC SHOWS THAT OF THE AREAS TO BE DISTURBED (64% IN THE BUILDING ENVELOPE) THE MAJORITY OF THOSE AREAS ARE TO BE REVEGETATED WITH NATIVE PLANTINGS THAT INTEGRATE BACK INTO THE ADJACENT HILLSIDE

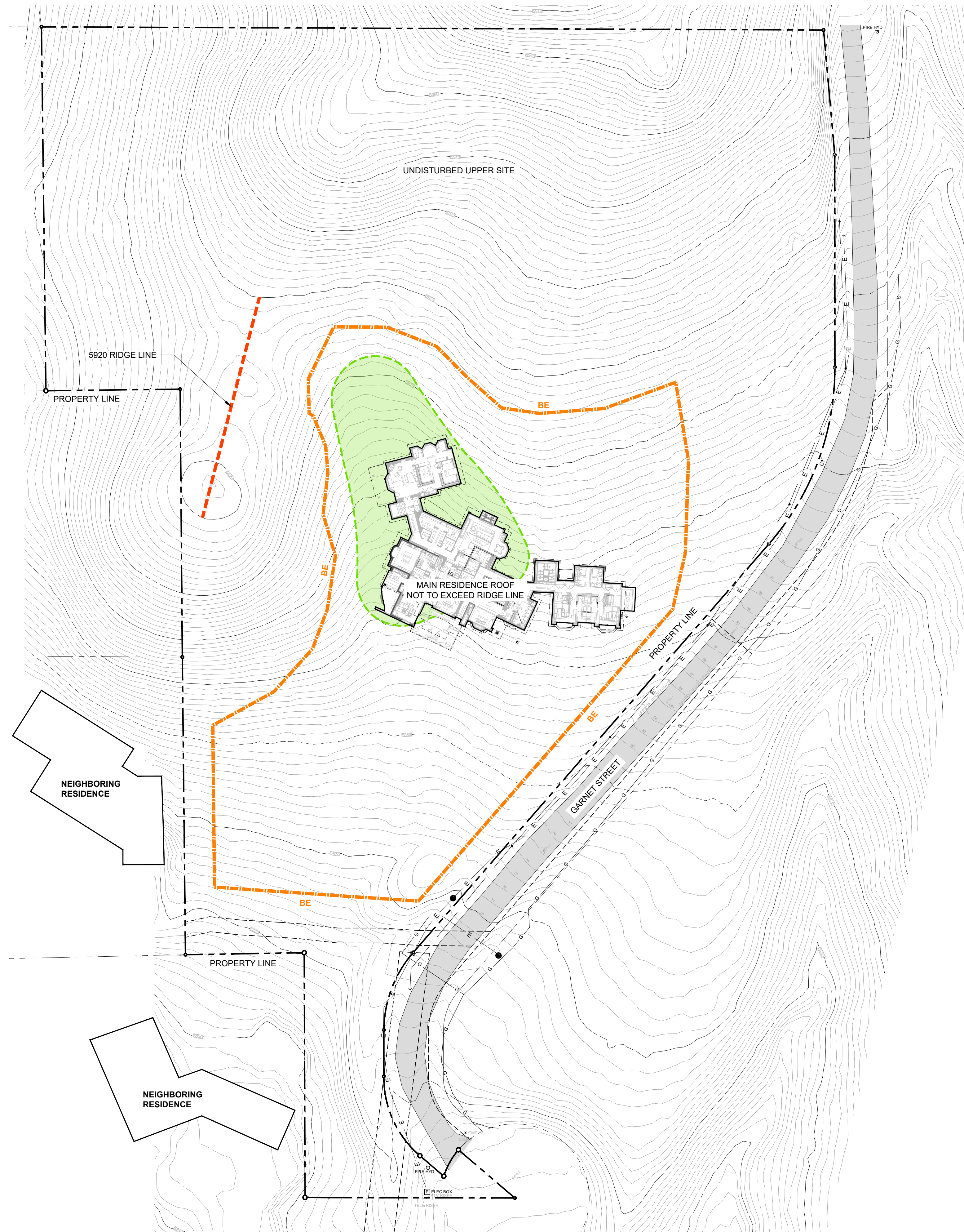
NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED (OUTSIDE OF SITE IMPROVEMENTS)

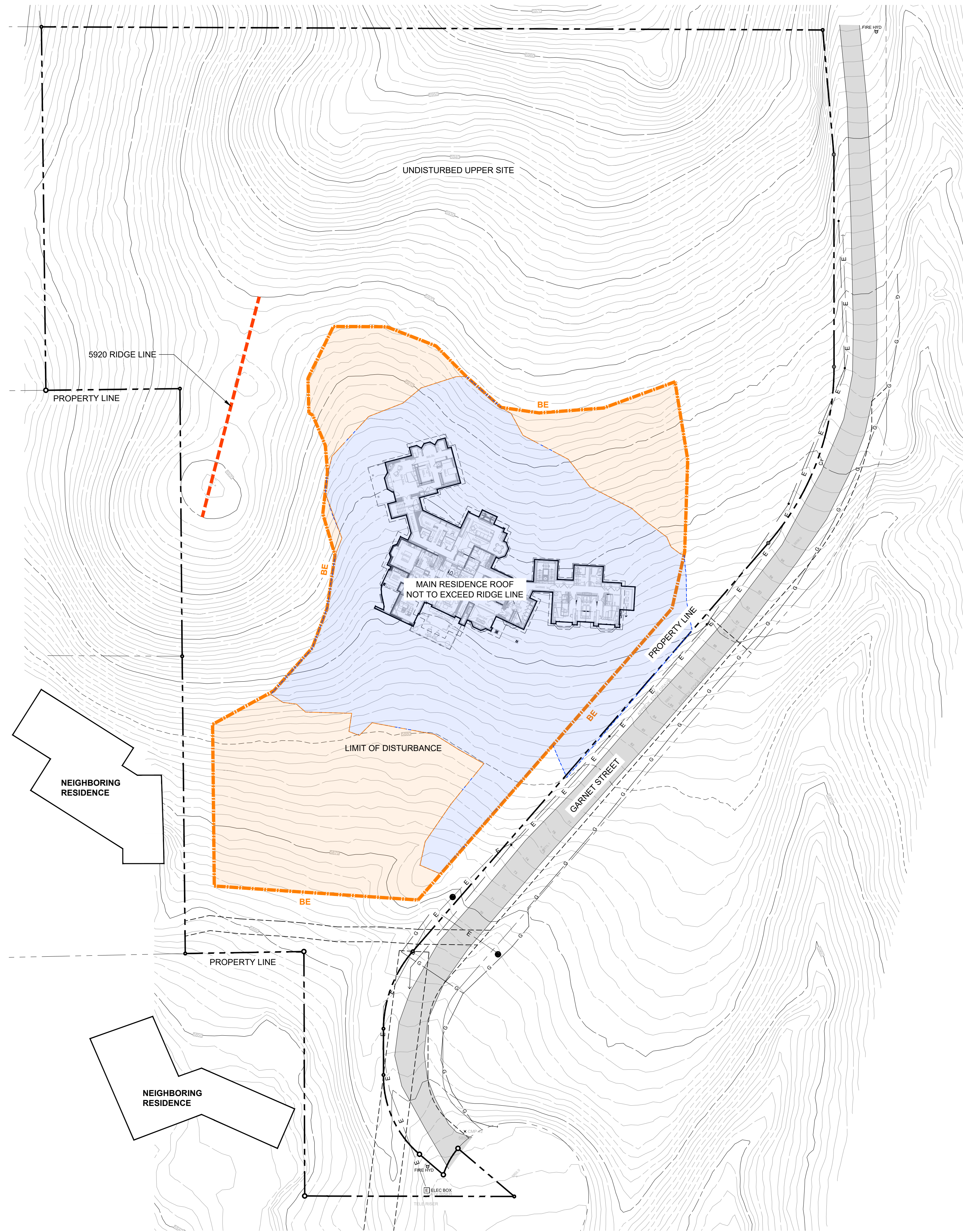
NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION



- - - - BUILDING ENVELOPE
- VALLEY WITHIN HILLSIDE

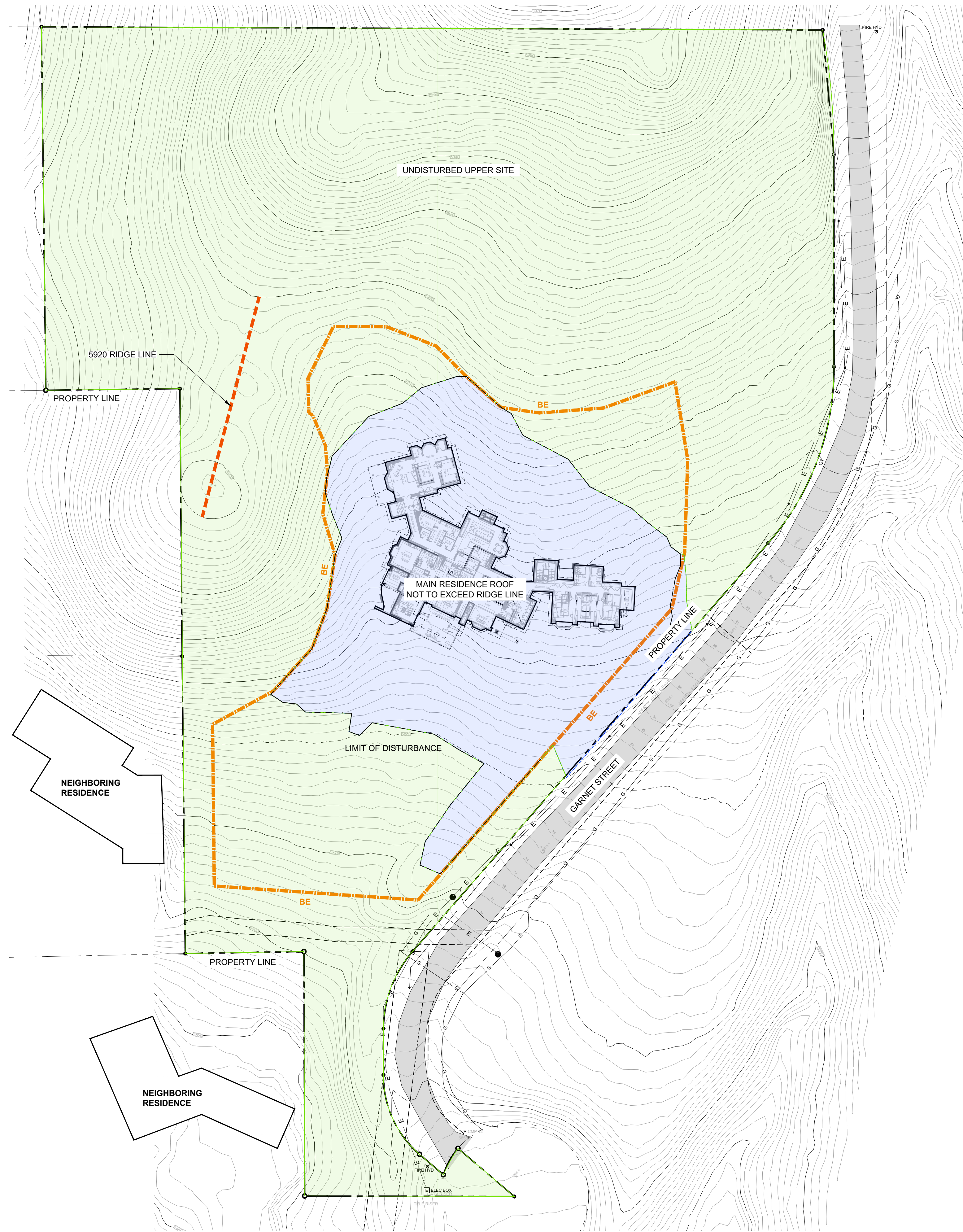
NOTE:

- + THIS GRAPHIC DEMONSTRATES THE LOCATION OF THE MAIN RESIDENCE WITHIN THE CONFINES OF THE NATURAL FEATURES ON SITE
- + THE RESIDENCE LOCATION IS TO HELP REDUCE THE IMPACT ON NEIGHBORING HOMES AND, TO SITE THE HOME WE INTERSECTED THE IDEAL LANDFORM LOCATION (IN THE GULLY) WITH A LOCATION MORE REMOVED FROM ADJACENT HOMES. THE RESULTANT PLACEMENT LOCATES THE HOME IN A WAY THAT MINIMIZES SITE EXPOSURE BOTH WITH RESPECT TO THE HILLSIDE AND FOR THE NEIGHBORS.
- + A SIZEABLE AMOUNT OF THE HOME IS LOCATED WITHIN THE NATURAL GULLY AND BEHIND THE WESTERN RIDGE LINE TO HELP CONCEAL THE NEW IMPROVEMENTS
- + THE ENTIRE UPPER PROPERTY IS LEFT UNDISTURBED. THIS AREA IS THE MOST VISIBLE TO THE PUBLIC



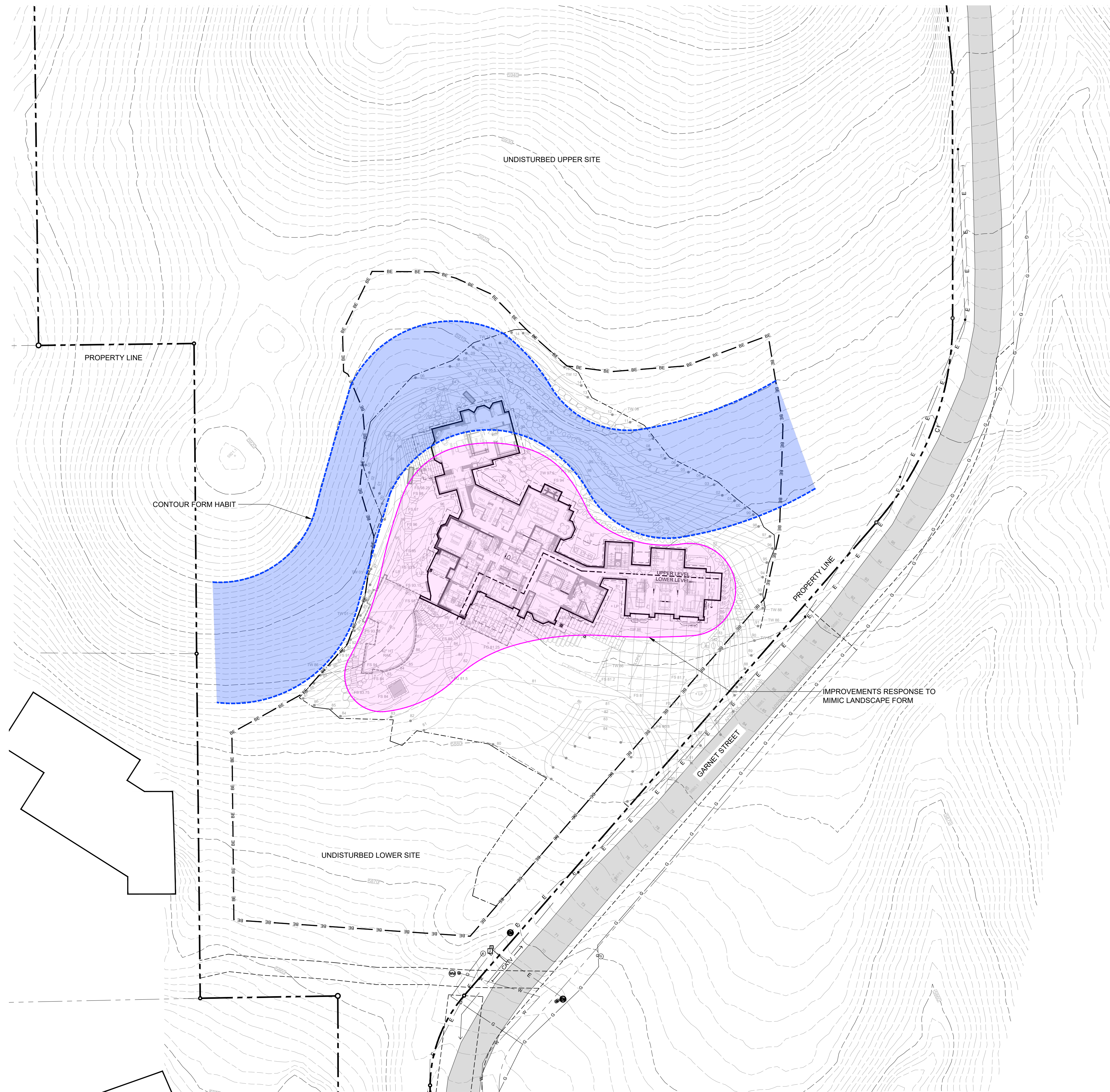
- BUILDING ENVELOPE AREA (77,030 sf)
- UNDISTURBED BUILDING ENVELOPE 39.1% (30,078 sf)
- DISTURBED BUILDING ENVELOPE 60.9% (46,952 sf)

NOTE:
 + THIS GRAPHIC DEMONSTRATES DISTURBANCE THE SITE IMPROVEMENTS WILL CAUSE WITHIN THE BUILDING ENVELOPE
 + INCLUDED ARE AREAS AND PERCENTAGES OF THE DIFFERENT ZONES OF DISTURBANCE RELATIVE TO THE CURRENT BUILDING ENVELOPE AND SITE PLAN



- - - BUILDING ENVELOPE
- UNDISTURBED SITE AREA (209,824 sf)
- DISTURBED SITE AREA 23.6% (49,584 sf)

NOTE:
 + THIS GRAPHIC DEMONSTRATES THE SITE DISTURBANCE OF THE CURRENT PROPOSED SITE PLAN AND IMPROVEMENTS WITHIN THE BOUNDS OF THE PROPERTY LINE AND IN RELATION TO SURROUNDING HOMES AND ROADS



- CONTOUR FOLD HABIT
- SITE IMPROVEMENT AREA

NOTE:
 + THIS GRAPHIC ILLUSTRATES WHERE ON SITE THE NEW IMPROVEMENTS ARE LOCATED AND THEIR ORIENTATION IN RELATION TO THE CONTOURS
 + ALL SITE IMPROVEMENTS- POOL, PATIO, AND BUILT STRUCTURE ARE ORIENTED IN PARALLEL TO THE LANDFORM. THIS MINIMIZES SITE DISTURBANCE AND ALSO MINIMIZES THE VISUAL IMPACT OF THE IMPROVEMENTS. LOWER AND UPPER AREAS IF THE SITE REMAIN UNDISTURBED.



City of Ketchum

ATTACHMENT D: Zoning and Dimensional Standards Analysis



**307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS**

Compliance with Zoning Standards				
Compliant			Standards	
Yes	No	N/A	Guideline	City Standards – Limited Residential Zone District
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Minimum Lot Area</p> <p>Required: 9,000 square feet minimum. Existing: 6 acres per site survey dated 3/31/22</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Building Coverage</p> <p>Permitted: 35% Proposed: Per Sheet L1.00 – total coverage by buildings is 15,822 SF for a total of 6% of lot area. Areas covered by parking and driveways is not included in the building coverage calculation, therefore the actual building coverage is 12,267 for a total building coverage of 5%.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Minimum Building Setbacks</p> <p>Minimum Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' (19' required) Rear: 20'</p> <p>The plat for the subject property also includes a building envelope that restricts the placement of structures to within the platted building envelope. Per the definition of building envelope in Section 16.04.020, building envelopes must conform to all minimum zoning requirements.</p> <p>Proposed as shown on Sheet L-1.00: Front (along private drive and fronting the pedestrian easement): 28 ft from property line to retaining wall, 38 feet from property line to building Side (eastern property boundary): 38 feet from property line to building at the transition point from front lot line to side lot line Side (western property boundary): 54 feet from property line to edge of pool Rear (northern property boundary): Greater than 100 feet</p> <p>No retaining walls or below grade structures are proposed within the setbacks for the property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Building Height</p> <p>Maximum Permitted: 35' Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall</p>

				<p>apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>The plat for the subject property also stipulates that the maximum height of the building shall be 28 feet from existing grade and that no portion of the building shall project above an elevation of 5,920 feet.</p> <p>Proposed: As shown on Sheets A4-A7, no portion of the building projects above an elevation of 5,920 feet. The maximum height above the existing grade is 24.5 feet as shown on Section 2 on Sheet A7. The total height of the building from the lowest finished grade (main building) to the highest roof (master suite wing) is approximately 38ft which is less than 5 feet above the maximum height. This additional height is permitted by code when the a building steps up a hillside. The lower façade wall is approximately 30.5 feet. The portion of the building that steps up is set back more than the required 15 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	<p>Street Frontage</p> <p>Permitted: 35% or street frontage</p> <p>Proposed: Per the plat recorded under instrument #415453, the front lot line is the the portion of the lot that fronts the flag portion of Lot 3. There is over 364 feet of street frontage on the subject property. Per Sheet L-1.00, the width of the driveway accessing off-street parking is 20 feet, which is 6% of the street frontage.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	<p>Parking Spaces</p> <p>Required: Residential one family dwelling units: 2 parking spaces per dwelling unit required</p> <p>Proposed: Per Sheet A1, a 3 car garage on the lower level of the dwelling unit is proposed</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Fences, Hedges, and Walls</p> <p>Permitted: A. In the LR, LR-2, GR-L and GR-H Districts, fences, hedges and walls shall not exceed four feet in height when located less than 30 feet from the front lot line; B. In the LR, LR-2, GR-L and GR-H Districts, fences, hedges and walls shall not exceed six feet in height when located more than 30 feet from the front lot line;</p> <p>Proposed: All proposed walls on the property are greater than 30 feet from the front property line except for the retaining wall along the driveway on the east side of the garage. The portion of the wall visible from the driveway is 2 feet and does not reach a height of 6 feet within the first 30 feet of the front property line.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.170.C	<p>Snow Storage</p> <p>Requirement:</p> <ol style="list-style-type: none"> 1. Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas. 2. Snow storage areas shall be provided on site. 3. A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet. 4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed. <p>Proposed: As shown on Sheet L-1.00, there is 3,555 square feet of driveway/motorcourt areas which requires 1,067 square feet of snow storage. As shown on Sheet L-1.00, 1,210 square feet is proposed.</p>



City of Ketchum

ATTACHMENT E:

Mountain Overlay Design Review Standards Analysis



**307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS**

IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review: The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<p>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</p> <p><i>Finding</i> The subject property was platted in 1998. The plat, recorded under Instrument #415453 includes a set of plat notes that restricts building height for any development on the property. The plat also includes a building envelope that dictates where development can happen on the subject property. The proposed project does not propose development outside the building envelope with the exception of the driveway entrance, which is permitted by the plat. Additionally, the proposed project meets all the building height restrictions as noted on the plat and will not be visible from any public vantage points.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	<p>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</p> <p><i>Finding</i> The proposed project does not propose development outside the building envelope except for the driveway entrance, which is permitted by the plat. The proposed project meets all the building height restrictions as noted on the plat and will not be visible from any public vantage points.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (3)	<p>Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.</p> <p><i>Finding</i> The proposed project has been reviewed by the City Engineer and Fire Marshall for compliance with the city's driveway standards and the preliminary plans are believed to be in conformance. Final civil plans will be reviewed and approved by the City Engineer prior to issuance of a building permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	<p>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</p> <p><i>Finding</i> The proposed project has been reviewed and preliminarily approved by the City of Ketchum Fire Marshall for compliance with all fire code requirements. Due to the size of the structure, access by emergency vehicles within 150 feet of the furthest wall is not feasible. Per the Fire Code, an alternative can be approved. The proposed project includes a fire sprinkler system and must contain an approved Class 1 standpipe system with a minimum of two locations.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	<p>Significant rock outcroppings shall not be disturbed.</p> <p><i>Finding</i> There are no significant rock outcroppings within the property boundary of the subject property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	<p>International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.</p> <p><i>Finding</i> The project must comply with the International Building Code 2018 and the Ketchum Fire Department requirements. All IBC, IFC, and Ketchum Fire Department</p>

				<i>requirements will be verified and met prior to the issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	Public water and sewer service shall comply with the requirements of the city.
			<i>Finding</i>	<i>The project will be serviced by City of Ketchum water and sewer as shown on Sheet C1. Both water and sewer mains are located within the private driveway adjacent to the property. The City of Ketchum water and sewer departments reviewed the proposed connections, and the proposed plans meet the city's requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	Drainage shall be controlled and maintained to not adversely affect other properties.
			<i>Finding</i>	<i>The city engineer reviewed the proposed grading and drainage plans for the project. During the first round of review, concerns were raised that the project was not adequately controlling the drainage resulting from development of the site. The applicant provided a technical memorandum on December 29, 2022 outlining the existing drainage conditions from the undeveloped site and developed conditions with the proposed project. The applicant revised the drainage plan to effectively manage any additional drainage needs resulting from development of the property. The city engineer concluded that the proposed drainage plan shows a decrease in stormwater flow from existing conditions and the plan controls the drainage to not adversely affect other properties.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustibile irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.
			<i>Finding</i>	<i>The proposed project includes one curb cut from the existing private driveway that serves all three lots. The location of the garage is on the east side of the structure, closest to the private driveway. The structure is setback 28 feet which tucks the building into the hillside and allows for adequate distance and area for vehicle turning movements in a forward direction which is preferred due to the grades of the existing private driveway. The distance to the structure is minimal due to the location of the garage.</i> <i>The project proposes a 10-foot clear zone around the structure, which is the minimum requirement per the fire code. The Fire Marshall has reviewed the proposed landscape plan and believes the plan supports adequate fire mitigation without additional clear zone areas.</i> <i>Staff has concerns about the proposed play lawn for the project as lawn areas are not "harmonious with the surrounding hillsides" as noted in the design review criteria. See the staff report for additional analysis.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.
			<i>Finding</i>	<i>The applicant provided a set of exhibits demonstrating how the design team selected the location for the development. As noted above, the subject property has a platted building envelope which limits the areas of development on the property. The applicants selected the location of the project within the building envelope to mimic the curvature of the existing topography on the site and nestle the building into the hillside rather than locate the structure further down the slope. Locating the building further down the slope would place the structure closer to adjacent property owners and perch the structure further atop of the existing topography. The siting of the</i>

				<i>structure is within a "gully" feature on the property and behind the western ridgeline which assists in limiting visibility of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.
			<i>Finding</i>	<i>The proposed driveway access will not traverse slopes greater than 25%.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (12)	Utilities shall be underground.
			<i>Finding</i>	<i>As shown on Sheet C1, all utilities are underground. Electric and gas services are available from the existing private driveway that services the three lots within the subdivision.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			<i>Finding</i>	<i>See staff report.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			<i>Finding</i>	<i>See staff report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (15)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Finding</i>	<i>No significant landmarks have been identified on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (16)	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
			<i>Finding</i>	<i>No encroachments of below grade structures into setbacks are proposed.</i>



City of Ketchum

ATTACHMENT F: Design Review Standards Analysis



307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Finding</i>	<i>The existing private driveway adjacent to the subject property connects directly with Garnet Street on the far east end. Garnet Street is a public right-of-way which provides access from the subject property to the city's transportation network.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Finding</i>	<i>N/A. No new street is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Finding</i>	<i>The city engineer reviewed the proposed grading and drainage plans for the project. During the first round of review, concerns were raised that the project was not adequately controlling the drainage resulting from development of the site. The applicant provided a technical memorandum on December 29, 2022 outlining the</i>

				existing drainage conditions from the undeveloped site and developed conditions with the proposed project. The applicant revised the drainage plan to effectively manage any additional drainage needs resulting from development of the property. The city engineer concluded that the proposed drainage plan shows a decrease in stormwater flow from existing conditions. Therefore all stormwater resulting from the development of the site will be retained on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Finding</i>	As shown on Sheet C1 and drainage improvements are placed in a way that manages all stormwater from the development of the site. The existing private driveway that serves all three lots contains drainage swales on either side that run the length of the driveway and manage stormwater from the driveway specifically.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Finding</i>	N/A. The city engineer has reviewed and approved the proposed drainage for the project. Final approval of the grading and drainage plan will occur during the review and approval of the building permit application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Finding</i>	The specifications for the drywells and catch basins are included on Sheet C3 as preliminarily approved by the City Engineer. The final drainage plan and associated specifications shall be reviewed and approved by the City Engineer prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Finding</i>	All project costs associated with the development, including installation of utilities are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Finding</i>	All utilities are proposed to be located underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Finding</i>	N/A. No extension of utilities is required for the proposed project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Finding</i>	Per the renderings on Sheet A0, the project consists of mostly stone with accents of wood siding on the facades. The color palette is of a warm light stone that blends into the surrounding hillsides as the majority of the hillside vegetation are browns and yellow and light green/sage. The roof material is also a lighter brown/grey shingle that complements the façade color of stone and wood. The windows, balconies, and pergolas are white which provides contrast between the architectural features and the main structure. No signage is proposed for the project. The adjacent neighborhood is an eclectic mix of new and old with some structures more than 50 years old that have a cottage feel with light colored stucco and dark wood accents or wood siding as the primary material. Some of the more recent residential units contain stone and wood siding as the primary material. The majority of residential dwelling units on Garnet Street have a lighter color palette such as the one proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

			<i>Finding</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Finding</i>	<i>N/A. The proposal is for new construction on a vacant lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in the LR zone district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Finding</i>	<i>The building character is defined by the use of gabled and hip rooflines, bay windows, pergola type overhangs above decks, and columns that accent key areas of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Finding</i>	<i>No signage is proposed for the project. As noted above, the materials and colors are consistent throughout the structure that provides for a cohesive design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Finding</i>	<i>The project contains a variety of walls, landscape features and accessory structures primarily associated with the pool house, trellises above decks and patio spaces, and flagstone patio areas around the pool and private patios on the north side of the residence. The trellis materials are consistent with the window trim and deck railing materials proposed for the primary structure. The stone proposed for the patios and landscape walls is of a similar color palette of the stone on the façade walls of the primary structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Finding</i>	<i>The building is designed to have one main structure and two wings, one on each side of the main structure. Each wing is setback and rotated at an angle to mimic the curvature of the topography and reduce the perceived bulk of the structure. The two story structure also contains decks and bay windows that also assist in breaking up the facades of each portion of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Finding</i>	<i>The primary street is the existing private driveway that serves the three lots within the subdivision. The residence is sited on the property to mimic the curvature of the topography which minimizes disturbance of the hillside. The front of the residence faces southwest which is in alignment with the direction of the driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Finding</i>	<i>The garbage storage areas are contained within the proposed garage as shown on Sheet A1. Per the letter from Clear Creek Disposal, the garbage will be moved to the street during trash service times. Any future installation of satellite receivers are required to be screened from public view. The project is not adjacent to an alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Finding</i>	<i>Per the city of Ketchum building code requirements, snow retention devices are required. Review and approval of snow retention devices will be conducted prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Finding</i>	<i>The subject property contains a 10 foot pedestrian access easement on the southern end of the property to allow pedestrians access to the Idaho Foundation Parks and Recreation Land on the west side of Dollar Mountain. The proposed plans maintain the</i>

				<i>access easement and no improvements are proposed that would obstruct use of the access easement. No additional easements are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Finding</i>	<i>N/A. No public sidewalks are within the vicinity of the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Finding</i>	<i>The proposed project does not request or require changes to the existing street network. Traffic from the project will enter the private driveway and access the city's street network from Garnet Street. The city engineer has reviewed and approved the proposed access onto the private driveway and no issues have been identified with the proposed improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curbs cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Finding</i>	<i>The nearest intersection is the intersection of Garnet Street and Hwy 75. The driveway is not proposed within 20 feet of the intersection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Finding</i>	<i>The proposed project provides for access from all necessary emergency and maintenance vehicles. The Fire Marshall has reviewed the proposed project and believes fire code requirements to be met with additional conditions as outlined below. The letter from Clear Creek Disposal indicated the property can be served adequate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, there is 3,555 square feet of driveway/motorcourt areas which requires 1,067 square feet of snow storage (30%). As shown on Sheet L-1.00, 1,210 square feet is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, all snow storage is proposed on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, there are two snow storage areas. One is 35x15 square feet and the other is 57x12 square feet. Both are more than 25 square feet in size.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Finding</i>	<i>N/A. Snow storage areas are provided on site and therefore snow melt and hauling of snow is not required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Finding</i>	<i>A landscape plan with all applicable information is provided as Sheets L-1.00 through L-4.01.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Finding</i>	<i>Sheet L-4.00 outlines the proposed planting schedule for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.

			<i>Finding</i>	<i>The proposed planting schedule includes plants that are noted as somewhat to extremely drought tolerant as defined by the University of Idaho Extension office. Two types of native revegetation are proposed for the project that includes a variety of grasses and shrubs found on the surrounding hillsides. The project does propose a turf grass play lawn that is also drought resistant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Finding</i>	<i>No public courtyards are proposed for the project. The project does include additional tree planting to the north and south of the project to buffer the development from the surrounding residential neighborhoods.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Finding</i>	<i>N/A. No sidewalks are required in the LR zone district.</i>