



**CITY OF KETCHUM, IDAHO**  
REGULAR CITY COUNCIL MEETING  
Monday, October 4, 2021, 4:00 PM  
480 East Avenue, North, Ketchum, Idaho

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**Amended Agenda**

*This agenda is subject to revisions. All revisions will be underlined.*

**PUBLIC PARTICIPATION INFORMATION**

*Public information on this meeting is posted outside City Hall.*

*If you require special accommodations to participate in this meeting, please contact the City Clerk.*

*Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (by noon the day of the meeting).*

**If you would like to testify on a public hearing agenda item, please dial-in to the meeting by phone to address the Council, when called upon** *(please mute your device until called upon).*

**Dial-in Instructions:**

Phone: 253-215-8782

Meeting ID: 873 1660 1763

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**CALL TO ORDER:** By Mayor Neil Bradshaw

**ROLL CALL:**

**COMMUNICATIONS FROM MAYOR AND COUNCILORS:**

- Neil Bradshaw – Proclamation Trailing of the Sheep

**CONSENT AGENDA:**

HYPERLINK "[appIS26659f62dab643c7af3d10c45aeb4ab9](#)" *Note re: ALL ACTION ITEMS - The Council is asked to approve the following listed items by a single vote, except for any items that a Councilmember asks to be removed from the Consent Agenda and considered separately.*

1. [ACTION ITEM: Approve minutes of September 20, 2021.](#)
2. [ACTION ITEM: Authorization and approval of the payroll register, as submitted by Shellie Rubel, Treasurer.](#)
3. [ACTION ITEM: Authorization and approval of the disbursement of funds from the City's treasury for the payment of bills in a total sum of \\$1,150,148.85 as submitted by Shellie Rubel, Treasurer.](#)
4. [ACTION ITEM: Recommendation to approve P.O. #20722 for Dozer Rental, as submitted by Brian Christiansen, Streets and Facilities Director.-\(Moving to October 18\).](#)
5. [ACTION ITEM: Recommendation to approve Contracts for Snow Removal #20717, #20716, #20720, #20721, #20718, #20719, as submitted by Brian Christiansen, Streets and Facilities Director.-\(Moving to October 18\).](#)
6. [ACTION ITEM: Recommendation to approve P.O. #22002 for Thatcher Company, as submitted by Mick Mummert, Wastewater Supervisor.](#)

7. [ACTION ITEM: Recommendation to adopt the Findings of Fact for Maeda Lot Line Shift, as submitted by Suzanne Frick, Director Planning and Building.](#)
8. [ACTION ITEM: Recommendation to approve Contract #20724 for Sun Valley Economic Development, as submitted by Jade Riley, City Administrator.](#)
9. [ACTION ITEM: Recommendation to approve Contract #20726 for Mountain Rides, as submitted by Jade Riley, City Administrator.](#)
10. [ACTION ITEM: Recommendation to Authorize Short-term Extension of the Solid Waste Franchise Agreement with Clear Creek Disposal, as submitted by Jade Riley, City Administrator.](#)

**NEW BUSINESS: (no public comment required)**

11. [ACTION ITEM: Receive Update and Provide Direction to Staff Regarding Scramble Pedestrian Crossing at Main Street and Sun Valley Road, as submitted by Jade Riley, City Administrator.](#)

**PUBLIC HEARING:**

12. [ACTION ITEM: Recommendation to conduct a public hearing and conduct second reading on Ordinance 1218 amending the City Alcohol License Expiration Date, as submitted by Deputy Treasurer, Genoa Beiser.](#)
13. [ACTION ITEM: Recommendation to conduct a public hearing and conduct the third and final reading on Ordinance 1224 amending KMC Title 17 Section 17.140.090 B and C and amending the Official District Zoning Map for Block 1 of the Warm Springs Large Block Plat, as submitted by Suzanne Frick, Director Planning and Building.](#)
14. [ACTION ITEM: ACTION ITEM: Recommendation to Hold a Public Hearing and Affirm the Planning and Zoning Commission's Approval for the Bluebird Community Housing Project Design, Maximum Building Height and Fourth Floor, as submitted by Suzanne Frick, Director Planning and Building.](#)
15. [ACTION ITEM: Recommendation to Conduct Public Hearing and Approve for First Reading Ordinance 1226 Amending KMC Section 17.12.040. Dimensional Standards, CC District Matrix to Modify the Fourth-floor Setback for Projects Where 100% of the Residential Units are Community or Workforce Housing, as submitted by Suzanne Frick, Director Planning and Building.](#)

**EXECUTIVE SESSION:**

16. [Enter Executive Session pursuant to 74-206\(1\)\(b\).](#)

**ADJOURNMENT:**

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**PUBLIC CALL-IN INFORMATION**

[You may listen to the meeting through your phone or watch by live streaming. If you would like to provide public comment on a public hearing item on the agenda, please follow these instructions:](#)

1. [Dial the number below and provide the meeting ID. You may only provide comment by phone.](#)
2. [Mute your phone until the last four digits of your phone number are called out by staff.](#)
3. [When your phone number is called to testify, mute the sound on your computer or other device that is live streaming the meeting. Press \\*6 to unmute your phone to speak.](#)



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4. Provide your testimony and respond to any questions on your phone. You can hear the meeting through your phone.

5. When your testimony is complete, hang up the phone. You can continue watching the meeting through the live steam.

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**PLEASE NOTE: You will be muted until you are called upon to testify, please do not unmute your phone until you are asked to testify. You will have 3 minutes to provide testimony to the Planning and Zoning Commission. Please keep your comments to 3 minutes.**

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**Monday, October 4, 2021**  
**Phone: 253-215-8782**  
**Meeting ID: 873 1660 1763**

**We welcome you to watch Council Meetings via live stream.**  
**You will find this option on our website at [www.ketchumidaho.org/meetings](http://www.ketchumidaho.org/meetings).**

**Like us on Facebook and follow us on Twitter.**  
**Thank you for your participation.**



City of Ketchum

## Proclamation

- Whereas,** it is said that the first sheep were brought into the Wood River Valley in the late 1960s, with Idaho recording a sheep population of 14,000, and by 1890 there were a reported 614,000 sheep in Idaho; and
- Whereas,** in 1918, the sheep population reached 2.65 million, almost six times Idaho's human population; and
- Whereas,** Idaho's sheep families have been trailing sheep from summer mountain ranges north of the Valley through Ketchum's Main Street and South to winter desert country for over 150 years; and
- Whereas,** in the fall of 1996, John and Diane Josephy Peavey walked with the sheep and others through the Valley to learn about the historic tradition of trailing the sheep in an effort to minimize conflicts between users of the bike path and the sheep; and
- Whereas,** in 1997, the Peaveys, along with help from the Sun Valley/Ketchum Chamber & Visitor Bureau created a unique, fall multi-day event to celebrate this cultural heritage and to attract visitors; and
- Whereas,** the Trailing of the Sheep Festival celebrates its 25<sup>th</sup> year and while it has expanded from its humble beginnings, the goals and objectives of the Festival remain the same – preserving the stories and history of sheep ranchers and herders, celebrating the rich cultures of the past and present, and entertaining and educating children and adults about the production of local food and fiber.

**NOW THEREFORE,** I, Neil Bradshaw, Mayor of the City of Ketchum, do hereby proclaim October 6 to 10, 2021 as

## 25<sup>th</sup> Anniversary Year Trailing of the Sheep Festival Days



**CITY OF KETCHUM, IDAHO**  
**REGULAR CITY COUNCIL MEETING**  
Monday, September 20, 2021, 4:00 PM  
480 East Avenue, North, Ketchum, Idaho

**CALL TO ORDER:**

The meeting was called to order by Mayor Bradshaw at 4:00 PM.

**ROLL CALL:** *(Time stamp 00:22:50).*

**PRESENT**

- Mayor Neil Bradshaw
- Council President Courtney Hamilton
- Councilor Amanda Breen
- Councilor Michael David
- Councilor Jim Slanetz

**COMMUNICATIONS FROM MAYOR AND COUNCILORS:** *(Time Stamp 00:23:17).*

Councilor Amanda Breen complimented the CSOs on disseminating information to the public on mask protocol.

**CONSENT AGENDA:** *Note: (ALL ACTION ITEMS) The Council is asked to approve the following listed items by a single vote, except for any items that a Council member asks to be removed from the Consent Agenda and considered separately. (Time Stamp 0:24:30).*

1. ACTION ITEM: Approve minutes of September 7, 2021.
2. ACTION ITEM: Authorization and approval of the payroll register, as submitted by Shellie Rubel, Treasurer.
3. ACTION ITEM: Authorization and approval of the Treasurer's Report, as submitted by Shellie Rubel, Treasurer.
4. ACTION ITEM: Authorization and approval of the disbursement of funds from the City's treasury for the payment of bills in a total sum of \$ 413,914.11, as submitted by Shellie Rubel, Treasurer.
5. ACTION ITEM: Recommendation to approve P.O. #20710 for ICRMP Insurance Renewal for the Annual Policy Period – 10/1/21 to 9/30/22, as submitted by Tara Fenwick, City Clerk.
6. ACTION ITEM: Recommendation to approve P.O. #20712 to Dr. Pipeline, LLC. for sewer main CIPP lining, as submitted by Mick Mummert, Utilities Supervisor.
7. ACTION ITEM: Recommendation to Approve Purchase Order #20715 With Xylem Water Solutions USA, Inc-WEDECO for UV Lamps, as submitted by Mick Mummert, Utilities Supervisor.
8. ACTION ITEM: Recommendation to approve Right-of-Way Encroachment Agreement #20646 for placement of snowmelt and gravel porous paver in the City Right-of-Way at 751 North Walnut Ave., as submitted by Sherri Newland, City Engineer.

9. ACTION ITEM: Recommendation to approve Right-of-Way Encroachment Agreement #20709 with Intermountain Gas Company for underground gas distribution lines within the City Rights-of-Way, as submitted by Sherri Newland, City Engineer.
10. ACTION ITEM: Recommendation to approve Agreement #20697 with Galena Engineering for survey of Sun Valley Road, as submitted by Sherri Newland, City Engineer.
11. ACTION ITEM: Recommendation to approve Agreement #20698 with American Geotechnics Inc. for geotechnical investigation of Sun Valley Road, as submitted by Sherri Newland, City Engineer.
12. ACTION ITEM: Extension Amendment to Warm Springs Option Agreement #20610, as submitted by Jade Riley, City Administrator.

**Motion to approve the Consent Agenda, items 1-11.**

*Motion made by Councilor Breen, Seconded by Council President Hamilton.*

*Voting Yea: Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.*

Mayor Bradshaw went over the current fund-raising efforts for Phase One and thanked the SPUR Foundation for helping with the fund raising for Warm Springs Ranch Preserve. Of the \$4,000,00 goal, \$1,300,000 has been committed and another \$2,000,00 has been pledged.

**Motion to approve the Consent Agenda, item 12.**

*Motion made by Council President Hamilton, Seconded by Councilor Slanetz.*

*Voting Yea: Council President Hamilton, Councilor David, Councilor Slanetz.*

*Voting Recuse: Councilor Breen.*

**NEW BUSINESS:** *(no public comment required).*

13. ACTION ITEM: Recommendation to approve Agreement #20714 with HDR for City of Ketchum Main Street (SH-75) Signal Timing as submitted by Sherri Newland, City Engineer and Jade Riley, City Administrator. *(Time stamp 00:32:38).*

Council President Hamilton asked about when the traffic study was to be taken. City Administrator Jade Riley related the traffic pattern data was taken over a 4-week period prior to Labor Day. Data from the last several years was also considered.

**Motion to approve Agreement #20714 with HDR for City of Ketchum Main Street Signal Timing.**

*Motion made by Councilor David, Seconded by Council President Hamilton.*

*Voting Yea: Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.*

14. ACTION ITEM: Direction to staff on preferred location for the relocation of glass and cardboard recycling, as submitted by Sherri Newland, City Engineer and Jade Riley, City Administrator. *(Time stamp 00:37:40).*

City Administrator introduced the changes to the city recycling program. A cardboard compactor and glass recycle center have been relocated to the YMCA south lot. The pros and cons of each site were discussed.

The Council declared a preference for location A at the south parking lot of the YMCA.

**PUBLIC HEARING:**

15. ACTION ITEM: Recommendation to conduct a public hearing and conduct first reading on Ordinance 1218 amending the City Alcohol License Expiration Date, as submitted by Deputy Treasurer, Genoa Beiser. *(Time stamp 00:53:31).*

Mayor Bradshaw open the floor to Public Comment.

Being for No Public Comment, the floor was closed.

**Motion to approve the first reading of Ordinance 1218 by title only.**

*Motion made by Councilor Slanetz, Seconded by Councilor Breen.*

*Voting Yea: Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.*

Ordinance 1218 was read into the record by City Administrator Jade Riley.

16. ACTION ITEM: Recommendation to conduct a public hearing and conduct second reading on Ordinance 1224 amending KMC Title 17 Section 17.140.090 B and C and amending the Official District Zoning Map for Block 1 of the Warm Springs Large Block Plat, as submitted by Suzanne Frick, Director Planning and Building. *(Time stamp 00:57:43).*

Councilor Breen recused herself from this item for conflict of interest.

Mayor Bradshaw open the floor to Public Comment.

Being for No Public Comment, the floor was closed.

**Motion to approve the second reading of Ordinance 1224 by title only.**

*Motion made by Council President Hamilton, Seconded by Councilor Slanetz.*

*Voting Yea: Council President Hamilton, Councilor David, Councilor Slanetz.*

*Voting Abstaining: Councilor Breen.*

Ordinance 1224 was read by City Administrator Jade Riley.

17. ACTION ITEM: Recommendation to Hold a Public Hearing and Approve the Maeda Final Plat for the Readjustment of Lot Lines, as submitted by Suzanne Frick, Director Planning and Building. *(Time stamp 01:00:07).*

Senior Planner Morgan Landers noted this was to incorporate a vacated alley from 1958 to the adjacent parcel.

Mayor Bradshaw open the floor to Public Comment.

Being for No Public Comment, the floor was closed.

**Motion to approve the Maeda Final Plat Application, as Conditioned, as it conforms to all applicable subdivision regulations for a Final Plat and readjustment of lot lines and direct Staff to return with Findings of Fact and Conditions of Approval at the next City Council Meeting.**

*Motion made by Council President Hamilton, Seconded by Councilor David.*

*Voting Yea: Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.*

18. ACTION ITEM: Recommendation to Hold a Public Hearing and Approve a Lot Line Shift to Amend the Boundary of Unit 2 Within the Winter Sun Condominiums located at 420 Sage Road, as submitted by Suzanne Frick, Director Planning and Building. *(Time stamp 01:05:11).*

Senior Planner Abby Rivin gave an overview of the project.

Mayor Bradshaw opened the floor to Public Comment.

Being for No Public Comment, the floor was closed.

**Motion to approve the Winter Sun Condominiums Unit 2A Lot Line Shift Application subject to Conditions of Approval 1-6.**

*Motion made by Council President Hamilton, Seconded by Councilor Slanetz.*

*Voting Yea: Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.*

**ADJOURNMENT:** *(Time stamp 01:09:30).*

**Motion to adjourn.**

Motion made by Councilor Breen, Seconded by Councilor Slanetz.

Voting Yea: Mayor Bradshaw, Council President Hamilton, Councilor Breen, Councilor David, Councilor Slanetz.

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Mayor, Neil Bradshaw

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Clerk, Maureen Puddicombe

Report Criteria:

Invoices with totals above \$0 included.  
Paid and unpaid invoices included.  
[Report].GL Account Number = "0110000000"- "9648008200", "9910000000"- "9911810000"  
Invoice Detail.Voided = No,Yes

Vendor Name	Invoice Number	Description	Net Invoice Amount
<b>GENERAL FUND</b>			
<b>01-3700-3600 REFUNDS &amp; REIMBURSEMENTS</b>			
SUNDALI, BILL	091521	CHECK REQUEST: Return Fees, Project Cancelled	1,100.00
RECYCLE AWAY	00033079	KSAC Donated Bins	2,498.04
WINDEMERE REAL ESTATE	091721	REFUND: Park Cancellation due to COVID Outbreak	80.00
Total :			3,678.04
<b>ADMINISTRATIVE SERVICES</b>			
<b>01-4150-3100 OFFICE SUPPLIES &amp; POSTAGE</b>			
CHATEAU DRUG CENTER	2448326	Batteries	4.74
GEM STATE PAPER & SUPPLY	1058663	Hand Sanitizer, Trash Bags	114.08
<b>01-4150-4200 PROFESSIONAL SERVICES</b>			
COPY & PRINT, L.L.C.	109717	Scanning Architectural Plans for fire sprinklers and alarms	2,219.99
RAY J. GADD PHOTOGRAPHY	090921	Image Rights: Dark Sky Photo	75.00
TREASURE VALLEY COFFEE INC	2160 07868764	Water	15.90
US BANK	6235 092721	Dispalays 2 Go: Acrylic Brochure Wall Rack	144.84
US BANK	6235 092721	USPS	23.20
BLUE PINE CREATIVE	93576-001690	Graphic Design Work For Warm Springs Preserve	375.00
VALLEY TEMP SERVICES INC	5379.2	ELIZABETH INSINGER	286.00
VALLEY TEMP SERVICES INC	5379.3	ELIZABETH INSINGER	104.00
LANDWORK STUDIO LLC	2739	Warm Springs Ranch Preserve - Blue Printing, Concept Plan	168.50
<b>01-4150-4400 ADVERTISING &amp; LEGAL PUBLICATIO</b>			
EXPRESS PUBLISHING, INC.	10002196 0831	10002196 083121	3,684.00
<b>01-4150-4800 DUES, SUBSCRIPTIONS &amp; MEMBERSH</b>			
US BANK	1556 092721	Zoom	199.90
<b>01-4150-4900 PERSONNEL TRAINING/TRAVEL/MTG</b>			
RIVERSIDE HOTEL	263891	Accommodations: Tara Fenewick ICCTOFA Conference	411.00
FENWICK, TARA	092421	REIMBURSEMENT Mileage, Tara Fenwick	183.28
FENWICK, TARA	092421	REIMBURSEMENT Meals, Tara Fenwick	89.70
<b>01-4150-5100 TELEPHONE &amp; COMMUNICATIONS</b>			
CENTURY LINK	2087264135 09	2087264135 091321	991.22
CENTURY LINK	2087265574 09	2087265574 091321	58.11
SYRINGA NETWORKS, LLC	21SEP0356	21SEP0356	3,000.00
US BANK	2745 092721	Vast Conferencing	170.10
VERIZON WIRELESS	9888248770	965494438 091021	46.67
VERIZON WIRELESS	9888248770	965494438 091021	40.01
VERIZON WIRELESS	9888248770	965494438 091021	40.01
<b>01-4150-5110 COMPUTER NETWORK</b>			
US BANK	9749 092721	8x8 Phones	2,474.01
US BANK	9749 092721	8x8 Phones	2,474.01
US BANK	9749 092721	Microsoft Yearly Renewal	420.00
US BANK	9749 092721	Cox	580.17

Vendor Name	Invoice Number	Description	Net Invoice Amount
US BANK	9749 092721	Microsoft Yearly Renewal	576.00
US BANK	9749 092721	Go Daddy	94.99
<b>01-4150-5150 COMMUNICATIONS</b>			
US BANK	2745 092721	Paperless Post	20.00
US BANK	6235 092721	Facebook	75.00
US BANK	6235 092721	Constant Contact	9.50
US BANK	6235 092721	USPS	8.66
US BANK	6235 092721	Shuttershock	30.74
US BANK	6235 092721	Mailchimp	87.99
US BANK	6235 092721	Stuttershock	30.74
US BANK	6235 092721	WIX	30.00
US BANK	6235 092721	Facebook	39.98
<b>01-4150-5200 UTILITIES</b>			
CLEAR CREEK DISPOSAL	0001452756	480 East Ave - New City Hall	46.20
IDAHO POWER	2200749261 09	2200749261 092421	1,461.09
IDAHO POWER	2203990334 09	2203990334 091321	49.47
IDAHO POWER	2206570869 09	2206570869 091321	7.80
IDAHO POWER	2224128120 09	2224128120 092221	224.11
IDAHO POWER	2224128153 09	2224128153 092221	180.25
<b>01-4150-5900 REPAIR &amp; MAINTENANCE-BUILDINGS</b>			
CLEAR CREEK DISPOSAL	0001452761	191 5th Street	141.47
JEFF MINTZ WINDOW CLEANIN	7732	Orr Wagon Museum: Interior and Exterior Window Cleaning	400.00
SENTINEL FIRE & SECURITY, IN	69021	2296 - 191 Fifth Street West (New City Hall)	882.00
Total ADMINISTRATIVE SERVICES:			22,789.43
<b>LEGAL</b>			
<b>01-4160-4200 PROFESSIONAL SERVICES</b>			
WHITE PETERSON	24892R 083121	General Services 24892R 083121	15,500.00
Total LEGAL:			15,500.00
<b>PLANNING &amp; BUILDING</b>			
<b>01-4170-4400 ADVERTISING &amp; LEGAL PUBLICATIO</b>			
EXPRESS PUBLISHING, INC.	10002196 0831	10002196 083121	1,003.77
<b>01-4170-4900 PERSONNEL TRAINING/TRAVEL/MTG</b>			
US BANK	0568 092721	Code Council	615.94
US BANK	0568 092721	Dues/Fees for Employees	75.00
US BANK	0568 092721	Adobe	299.00
Total PLANNING & BUILDING:			1,993.71
<b>NON-DEPARTMENTAL</b>			
<b>01-4193-4200 PROFESSIONAL SERVICE</b>			
US BANK	6235 092721	Uprinting: Bumperstickers	213.38
Total NON-DEPARTMENTAL:			213.38
<b>FACILITY MAINTENANCE</b>			



Vendor Name	Invoice Number	Description	Net Invoice Amount
<b>01-4194-3100 OFFICE SUPPLIES &amp; POSTAGE</b>			
US BANK	9988 092721	Amazon: Webcam	109.98
<b>01-4194-3500 MOTOR FUELS &amp; LUBRICANTS</b>			
UNITED OIL	975424	38950 091521	474.10
<b>01-4194-4200 PROFESSIONAL SERVICES</b>			
MAXWELL STRUCTURAL DESIG	1833	Architectural Engineering Services Ketchum Streets Roof Repair	356.25
<b>01-4194-5200 UTILITIES</b>			
CLEAR CREEK DISPOSAL	0001452755	1178 Warm Springs - Skate Park	293.50
CLEAR CREEK DISPOSAL	0001452758	8th St & 2nd Ave - Pump Park	282.82
CLEAR CREEK DISPOSAL	0001452759	1177 Warm Springs - Rotary Park	156.32
IDAHO POWER	2201272487 09	2201272487 092221	24.50
IDAHO POWER	2203538992 09	2203538992 092221	75.09
<b>01-4194-6000 REPAIR &amp; MAINT-AUTOMOTIVE EQUI</b>			
NAPA AUTO PARTS	073723	actuators for 1999 Chevy	132.73
RIVER RUN AUTO PARTS	6538-170395	Oil Filters, Lube, Air Filters, Motor Oil, Wiper Baldes	499.65
<b>01-4194-6100 REPAIR &amp; MAINT--MACHINERY &amp; EQ</b>			
A.C. HOUSTON LUMBER CO.	2109-831391	Antifreeze	104.28
<b>01-4194-6950 MAINTENANCE</b>			
A.C. HOUSTON LUMBER CO.	2109-826876	cylinder door hardware	40.69
A.C. HOUSTON LUMBER CO.	2109-829787	Sign Boards for City Hall	294.97
A.C. HOUSTON LUMBER CO.	2109-831673	quart of stain, lag bolts & hex bolts & nuts	35.07
CHATEAU DRUG CENTER	2449457	Water Filter	7.59
PIPECO, INC.	S4354967.001	sprinkler lines for new city hall	188.85
RIVER RUN AUTO PARTS	6538-170250	Hex Socket	7.79
US BANK	9988 092721	Amazon: Lockable Toilet Paper Dispenser	123.98
US BANK	9988 092721	Blade Fan, Tire & Wheel Assembly, Misc. Parts	485.00
US BANK	9988 092721	Amazon: Rubber Cable Protectors	209.98
Total FACILITY MAINTENANCE:			3,903.14
<b>POLICE</b>			
<b>01-4210-3100 OFFICE SUPPLIES &amp; POSTAGE</b>			
TIFFIN METAL PRODUCTS	0024751	Lockers	3,419.00
<b>01-4210-3200 OPERATING SUPPLIES</b>			
DAVIS EMBROIDERY INC.	38532	CSO Winter Jackets	130.55
KETCHUM AUTOMOTIVE INC.	92686	Oil Change	60.97
KETCHUM AUTOMOTIVE INC.	93026	Power Adapter	357.36
US BANK	1556 092721	Safety Flags	342.96
<b>01-4210-3620 PARKING OPS EQUIPMENT FEES</b>			
UNITED OIL	975434	39060 091521	92.92
VERIZON WIRELESS	9888248770	965494438 091021	41.67
VERIZON WIRELESS	9888248770	965494438 091021	41.67
VERIZON WIRELESS	9888248770	965494438 091021	41.93
Total POLICE:			4,529.03
<b>FIRE &amp; RESCUE</b>			

Vendor Name	Invoice Number	Description	Net Invoice Amount
<b>01-4230-3200 OPERATING SUPPLIES FIRE</b>			
A.C. HOUSTON LUMBER CO.	2109-827374	1/4 x 50' Flexilla Air Hose, Hose Splicer, 1/4 Hose BARb	53.20
A.C. HOUSTON LUMBER CO.	2109-828922	HAnd Broom with Dust Pan, 3 x 3 Caster Cup Rubber	14.78
A.C. HOUSTON LUMBER CO.	2109-829994	plywood	37.22
A.C. HOUSTON LUMBER CO.	2109-830883	1/4 S Lag Shield, 1/4 x 1-1/2 Lag Bolt	5.65
A.C. HOUSTON LUMBER CO.	2109-830919	32 Gal Trash Can, Wastebasket Step-On 11 Gal	39.39
CHATEAU DRUG CENTER	2445577	Batteries for new station	24.21
CHATEAU DRUG CENTER	2445838	Packing Tape	15.18
CHATEAU DRUG CENTER	2445877	Batteries for new station	22.78
CHATEAU DRUG CENTER	2446758	Cleaning Supplies	23.24
CHATEAU DRUG CENTER	2447496	Floor Heater, Batteries, Can Opener	35.61
GEM STATE PAPER & SUPPLY	1057771	Cleaaning supplies for new station	113.17
GRAINGER, INC., W.W.	9066032013	Lock for Window in Terri's office	8.36
KETCHUM KITCHENS	220000207855	Cuisinart Supreme Grind Mill	32.50
US BANK	4977 092721	GoToMeeting	9.50
US BANK	4977 092721	At-A-Glance Caldndar 2022	25.48
SUE N' STICHES	1A	Patches for Shirts	454.00
<b>01-4230-3210 OPERATING SUPPLIES EMS</b>			
A.C. HOUSTON LUMBER CO.	2109-827374	1/4 x 50' Flexilla Air Hose, Hose Splicer, 1/4 Hose Barb	53.21
A.C. HOUSTON LUMBER CO.	2109-828922	Hand Broom with Dust Pan, 3 x 3 Caster Cup Rubber	14.77
A.C. HOUSTON LUMBER CO.	2109-829994	plywood	37.21
A.C. HOUSTON LUMBER CO.	2109-830883	1/4 S Lag Shield, 1/4 x 1-1/2 Lag Bolt	5.64
A.C. HOUSTON LUMBER CO.	2109-830919	32 Gal Trash Can, Wastebasket Step On 11 Gal	39.38
ALSCO - AMERICAN LINEN DIVI	LBOI1929411	5109 092721	10.84
CHATEAU DRUG CENTER	2445577	Batteries for new station	24.21
CHATEAU DRUG CENTER	2445838	Packing Tape	15.18
CHATEAU DRUG CENTER	2445877	Batteries for new station	22.78
CHATEAU DRUG CENTER	2446758	Cleaning Supplies	23.24
CHATEAU DRUG CENTER	2447496	Floor Heater, Batteries, Can Opener	35.60
GEM STATE PAPER & SUPPLY	1057771	Paper Supplies	113.17
GRAINGER, INC., W.W.	9066032013	Lock for window in Terri's office	8.36
KETCHUM KITCHENS	220000207855	Cuisinart Supreme Grind Mill	32.49
PRAXAIR DISTRIBUTION INC.	66103838	Cylinder Rental	59.30
US BANK	4977 092721	GoToMeeting	9.50
US BANK	4977 092721	At-A-Glance Calendar 2022	25.47
<b>01-4230-3500 MOTOR FUELS &amp; LUBRICANTS FIRE</b>			
UNITED OIL	975307	37267 091521	223.49
<b>01-4230-3510 MOTOR FUELS &amp; LUBRICANTS EMS</b>			
UNITED OIL	975307	37267 091521	288.61
<b>01-4230-4910 TRAINING EMS</b>			
US BANK	4977 092721	AIARE Provider Dues	257.50
<b>01-4230-4920 TRAINING-FACILITY</b>			
CLEAR CREEK DISPOSAL	0001453182	1848 0892521	57.46
<b>01-4230-5100 TELEPHONE &amp; COMMUNICATION FIRE</b>			
US BANK	4977 092721	Cox Business Invoice Acct#049446101 Sept Bill	123.58
<b>01-4230-5110 TELEPHONE &amp; COMMUNICATION EMS</b>			
US BANK	4977 092721	Cox Business Invoice Acct#049446101 Sept 2021	123.58
<b>01-4230-6000 REPAIR &amp; MAINT-AUTO EQUIP FIRE</b>			
A.C. HOUSTON LUMBER CO.	2109-829060	14" Cable Tie Black 100/pk	9.85
A.C. HOUSTON LUMBER CO.	2109-830887	1/2 x 6" Masonry Drill Bit	9.69

Vendor Name	Invoice Number	Description	Net Invoice Amount
A.C. HOUSTON LUMBER CO.	2109-832111	Zircon Stud Center Finder and Fasteners	52.64
ALSCO - AMERICAN LINEN DIVI	LBO11929411	5109 092721	10.84
CHATEAU DRUG CENTER	2448838	Epoxy	5.60
CHATEAU DRUG CENTER	2449814	Blue Masking Tape	9.49
RIVER RUN AUTO PARTS	6538-170438	Advanced Engine Air Filtration for C11	17.79
RIVER RUN AUTO PARTS	6538-170471	Battery for C12	159.95
RIVER RUN AUTO PARTS	6538-170473	Hardware Reducer and clamp for E1	39.55
<b>01-4230-6010 REPAIR &amp; MAINT-AUTO EQUIP EMS</b>			
A.C. HOUSTON LUMBER CO.	2109-829060	14" Cable Tie Black 100/pk	9.84
CHATEAU DRUG CENTER	2449343	Teflon Tape	1.42
CHATEAU DRUG CENTER	2449814	Blue Masking Tape	9.49
RIVER RUN AUTO PARTS	6538-170421	Exhaust Adapters for Ambulance 21	26.66
Total FIRE & RESCUE:			2,881.65
<b>STREET</b>			
<b>01-4310-3200 OPERATING SUPPLIES</b>			
A.C. HOUSTON LUMBER CO.	2109-827145	pistol spray nozzle for shop	8.29
D & B SUPPLY INC.	47261	Mark's work pants, shirts & winter work boots	299.94
FASTENAL COMPANY	IDJER99115	Batteries for winter safety equipment	36.85
FASTENAL COMPANY	IDJER99297	Safety headlamps	41.80
FASTENAL COMPANY	IDJER99371	Vision HD Safety Headlamp	62.70
FASTENAL COMPANY	IDJER99412	welding supplies	17.45
GEM STATE PAPER & SUPPLY	1058715	Paper Supplies	283.65
RIVER RUN AUTO PARTS	6538-170193	penetrating oil for shop use	15.98
SUMMIT SAFETY LLC	353175B	Safety vests with city logo	208.92
US BANK	2022 092721	2022 Daily Planner	77.38
<b>01-4310-3400 MINOR EQUIPMENT</b>			
A.C. HOUSTON LUMBER CO.	2109-827750	parts to repair sawsall	16.27
FASTENAL COMPANY	IDJER99372	4 1/2" angle grinder welding	108.90
PLATT ELECTRIC SUPPLY	1X31431	shop tool repair	88.94
<b>01-4310-3500 MOTOR FUELS &amp; LUBRICANTS</b>			
UNITED OIL	202670	Bulk Motor Oil & ISO 32 Hydraulic Oil	3,377.38
UNITED OIL	975308	37269 091521	1,112.74
<b>01-4310-4200 PROFESSIONAL SERVICES</b>			
EXPRESS PUBLISHING, INC.	10002196 0831	10002196 083121	370.98
<b>01-4310-4900 PERSONNEL TRAINING/TRAVEL/MTG</b>			
US BANK	2022 092721	AmericInn: Ron Domke	240.80
SWIDRISKI, MARK	092721	Reimbursement for Travel to pickup ore wagons	42.46
<b>01-4310-5200 UTILITIES</b>			
CLEAR CREEK DISPOSAL	0001452754	200 10th St - Streets Department	86.68
IDAHO POWER	22048882910 0	2204882910 091421	10.34
IDAHO POWER	22048882910 0	2204882910 091421	251.30
IDAHO POWER	22048882910 0	2204882910 091421	90.83
IDAHO POWER	22048882910 0	2204882910 091421	30.45
<b>01-4310-6100 REPAIR &amp; MAINT--MACHINERY &amp; EQ</b>			
A.C. HOUSTON LUMBER CO.	2109-832227	Drill bits for #6 sander truck	57.86
FASTENAL COMPANY	IDJER99370	Bolts for #6 sander	27.54
LES SCHWAB	11700713291	Tires for #6 truck qty 8	4,078.48
NAPA AUTO PARTS	073711	anti-freeze for outside blowout line	35.94

Vendor Name	Invoice Number	Description	Net Invoice Amount
NAPA AUTO PARTS	074756	Mirror for #19 Geovac	40.10
NAPA AUTO PARTS	074838	Mirror for #19 Geovac	11.39
NAPA AUTO PARTS	74860	socket for dump trucks	28.34
<b>01-4310-6910 OTHER PURCHASED SERVICES</b>			
ALSCO - AMERICAN LINEN DIVI	LBO11927124	5295 091721	38.87
ALSCO - AMERICAN LINEN DIVI	LBO11928944	5831 092421	38.87
CINTAS FIRST AID & SAFETY	5076587637	First Aid Supplies	247.49
<b>01-4310-6930 STREET LIGHTING</b>			
IDAHO POWER	2201013857 09	2201013857 092221	15.12
IDAHO POWER	2203027632 09	2203027632 091521	5.31
IDAHO POWER	2203855230 09	2203855230 092221	43.54
IDAHO POWER	2204535385 09	2204535385 092221	41.33
IDAHO POWER	22048882910 0	2204882910 091421	501.40
IDAHO POWER	22048882910 0	2204882910 091421	115.86
IDAHO POWER	22048882910 0	2204882910 091421	56.38
IDAHO POWER	2206773224 09	2206773224 09221	9.01
IDAHO POWER	2207487501 09	2207487501 092221	7.57
IDAHO POWER	2224304721 09	2224304721 091321	5.31
<b>01-4310-6950 MAINTENANCE &amp; IMPROVEMENTS</b>			
COLOR HAUS, INC.	251406	Red paint for curb & gutter	656.00
COLOR HAUS, INC.	251756	Red traffic paint for curbs qty 32	1,312.00
D & B SUPPLY INC.	53722	Tarps for winter salt	1,299.95
IDAHO HYDROJETTING, INC.	8934	Pump Drywells qty 300 in the city	9,000.00
OHIO GULCH TRANSFER STATIO	196762	Dump old pallets	5.10
SUNSEAL, LTD	1368	Striping & painting red curbs qty 23	1,104.00
WALKER SAND AND GRAVEL	943280	3/8" Crushed Fines	1,046.26
WALKER SAND AND GRAVEL	943946	3/8" Crushed Fines	1,010.05
SUN VALLEY SERVICES	15223	Striping qty 77	3,619.00
SALTWORX INC	1135	High Performace Road Salt	21,360.00
Total STREET:			52,699.10
<b>RECREATION</b>			
<b>01-4510-3100 OFFICE SUPPLIES &amp; POSTAGE</b>			
US BANK	9642 092721	PARKS Amazon: Legal Pads	11.89
<b>01-4510-3200 OPERATING SUPPLIES</b>			
US BANK	9642 092721	PARKS Amazon: Kids Masks	14.99
<b>01-4510-3250 RECREATION SUPPLIES</b>			
US BANK	7926 092721	Soccer.com: Pop-up Goals	89.01
US BANK	7926 092721	Amazon: Fiberglass Tape	38.75
US BANK	7926 092721	Gopher Sports: Mesh Bags	212.28
US BANK	9642 092721	PARKS Amazon: Pickleballs	89.97
PIONEER ATHLETICS	Q386728	Quick Stripe Pink	160.00
<b>01-4510-3300 RESALE ITEMS-CONCESSION SUPPLY</b>			
ATKINSONS' MARKET	0101411904	Pretzels	6.25
ATKINSONS' MARKET	0202058290	Salsa, Goldfish, Yogurt, Cheese	39.64
ATKINSONS' MARKET	0505463491	Berries, Eggs, Pumpkin, Sour Cream	60.30
ATKINSONS' MARKET	0808345361	Pita Bread	5.30
CHATEAU DRUG CENTER	2450210	Folders, Sharpies, Freezer Bags	32.70
KETCHUM KITCHENS	220000208825	Waffle Maker	35.01
US BANK	7926 092721	Webstaurant: Misc. Kitchen Items	299.44

Vendor Name	Invoice Number	Description	Net Invoice Amount
US BANK	7926 092721	Amazon: Plastic Toddler Utensils, Sugar Saver	49.95
US BANK	7926 092721	Amazon: Storage Container Set	60.96
US BANK	7926 092721	Webstaurant Tax REFUND	15.05-
<b>01-4510-4200 PROFESSIONAL SERVICE</b>			
US BANK	7926 092721	Amazon Prime membership	119.00
WILRO PLUMBERS LLC	17626	Atkinsons Park: Plumbing Service	230.00
<b>01-4510-5200 UTILITIES</b>			
IDAHO POWER	2206452274 09	2206452274 092221	566.61
Total RECREATION:			2,107.00
Total GENERAL FUND:			110,294.48
<b>WAGON DAYS FUND</b>			
<b>WAGON DAYS EXPENDITURES</b>			
<b>02-4530-3100 OFFICE SUPPLIES &amp; POSTAGE</b>			
US BANK	6235 092721	4imprint: Ribbon	252.06
<b>02-4530-3200 OPERATING SUPPLIES</b>			
SUN VALLEY EVENTS	091421	Various Event Supplies	733.46
SUN VALLEY EVENTS	091421	Various Event Supplies	129.30
VERT, JEFF	092321	Wagon Days Lunch	37.00
<b>02-4530-3250 SOUVENIRS SUPPLIES</b>			
CHAPTER ONE BOOKSTORE	1	Wagon Days: Idaho Books	1,310.10
<b>02-4530-4200 PROFESSIONAL SERVICES</b>			
LIVE AUDIO PRODUCTION LLC	WDP 036	WAGON DAYS - Sound and Backline, multiple locations	3,275.00
SUN VALLEY EVENTS	091421	MUSEUM STAFFING 9/1-9/7	1,245.00
<b>02-4530-4220 GRAND MARSHAL DINNER</b>			
ATKINSONS' MARKET	0202057216	Wagon Days: Wine and Beer	1,238.66
SUN VALLEY EVENTS	091421	Grand Marshall Reception Staffing	540.00
SUN VALLEY EVENTS	091421	Grand Marshall Reception Staffing	160.00
Total WAGON DAYS EXPENDITURES:			8,920.58
Total WAGON DAYS FUND:			8,920.58
<b>GENERAL CAPITAL IMPROVEMENT FD</b>			
<b>GENERAL CIP EXPENDITURES</b>			
<b>03-4193-7194 ZONING CODE UPDATE</b>			
LOGAN SIMPSON DESIGN INC	28373	Historic Preservation Plan Update	5,400.00
Total GENERAL CIP EXPENDITURES:			5,400.00
Total GENERAL CAPITAL IMPROVEMENT FD:			5,400.00
<b>STREET CAPITAL IMPROVEMENT FND</b>			
<b>STREET CIP EXPENDITURES</b>			
<b>05-4310-7600 STREET EQUIPMENT</b>			
SEMI SERVICE	2-10663	13' trailer bed	23,560.55
SEMI SERVICE	2-10666	12' trailer bed	22,847.13

Vendor Name	Invoice Number	Description	Net Invoice Amount
SEMI SERVICE	2-10667	15' trailer bed	29,973.54
SEMI SERVICE	2-10668	15' trailer bed	29,973.54
SEMI SERVICE	2-10669	15' trailer bed	29,973.54
<b>05-4310-7601 FACILITIES MAINT. EQUIPMENT</b>			
CLEARWATER POWER EQUIPME	6471	Riding Lawn Mower Exmark Lazer Z	35,879.00
Total STREET CIP EXPENDITURES:			172,207.30
Total STREET CAPITAL IMPROVEMENT FND:			172,207.30
<b>FIRE &amp; RESCUE CAPITAL IMPR.FND</b>			
<b>FIRE/RESC CAPITAL EXPENDITURES</b>			
<b>11-4230-7600 OTHER MACH &amp; EQUIP</b>			
CURTIS TOOLS FOR HEROES	INV526886	PPE's	4,191.88
Total FIRE/RESC CAPITAL EXPENDITURES:			4,191.88
Total FIRE & RESCUE CAPITAL IMPR.FND:			4,191.88
<b>ORIGINAL LOT FUND</b>			
<b>ORIGINAL LOT TAX</b>			
<b>22-4910-6060 EVENTS/PROMOTIONS</b>			
JOY SPENCER	081821	Ketchum Alive 7/27	400.00
<b>22-4910-6090 CONSOLIDATED DISPATCH</b>			
BLAINE COUNTY EMERGENCY	28	Remainder for FY 2020-2021	1,979.48
Total ORIGINAL LOT TAX:			2,379.48
Total ORIGINAL LOT FUND:			2,379.48
<b>FIRE CONSTRUCTION FUND</b>			
<b>FIRE FUND EXP/TRNFRS</b>			
<b>42-4800-4200 PROFESSIONAL SERVICES</b>			
APEX	00032995	Ketchum Fire Station Security	6,332.96
<b>42-4800-4205 PROF SERVICES ENGINEERING</b>			
COLE ARCHITECTS PLLC	1760	PO#20299 Fire Station Design	27,839.43
<b>42-4800-7400 OFFICE FURNITURE</b>			
BUSINESS INTERIORS OF IDAHO	8822-38396-0A	Deposit for furniture for new station (2nd half)	7,354.38
US BANK	9939 092721	Various pieces of furniture for new station ( Recliners, dishwasher, kitchen items)	7,240.76
<b>42-4800-7450 EQUIPMENT</b>			
GRAINGER, INC., W.W.	9066988867	Air Hose	95.31
US BANK	4977 092721	Storage bins for EMS room	436.80
US BANK	9939 092721	Various pieces of equipment for new station (TVs and monitors, TV mounts, Hose rack and adapter)	2,456.58
MUNICIPAL EMERGENCY SERIC	IN1622489	Hose Washer and Drying Rack	25,295.00
MCLAUGHLIN, BILL	92821	Reimbursement for new stations purchases	4,133.94
SCHOOLLOCKERS.COM	SI68186	Lockers	2,822.00
<b>42-4800-7800 CONSTRUCTION</b>			
APEX	00033377	Smart Key Fobs for new station	715.00

Vendor Name	Invoice Number	Description	Net Invoice Amount
US BANK	9939 092721	Various construction items for new station	308.86
DENNIS POTTS PROJECT MGMT,	1341	Construction Mngement Services 08/21	19,224.80
CORE CONSTRUCTION SERVICES	201-01-006 JV	20-01-006 JV90 APP 15	155,519.00
MCLAUGHLIN, BILL	92821	Reimbursement for new station purchases	339.16
Total FIRE FUND EXP/TRNFRS:			260,113.98
Total FIRE CONSTRUCTION FUND:			260,113.98

**WATER FUND  
WATER EXPENDITURES**

**63-4340-3200 OPERATING SUPPLIES**

ALSCO - AMERICAN LINEN DIVI	LBO11928951	5192 092421	27.18
ALSCO - AMERICAN LINEN DIVI	LBO11928953	5493 092421	53.98
SHERWIN-WILLIAMS CO.	0860-6	Flat Black Paint	26.76

**63-4340-3500 MOTOR FUELS & LUBRICANTS**

UNITED OIL	975310	37271 091521	342.70
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**63-4340-3600 COMPUTER SOFTWARE**

WIN-911 SOFTWARE	72191	Upgrade	2,100.00
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**63-4340-4900 PERSONNEL TRAINING/TRAVEL/MTG**

US BANK	9642 092721	IRWA: Kellen Chatterton Class	120.00
US BANK	9642 092721	IRWA: Kellen Chatterton Certification	120.00
US BANK	9642 092721	Idaho Rural Water Association	120.00

**63-4340-5100 TELEPHONE & COMMUNICATIONS**

VERIZON WIRELESS	365516521 091	365516521 091321	123.35
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**63-4340-5200 UTILITIES**

IDAHO POWER	2202458903 09	2202458903 092121	285.08
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Total WATER EXPENDITURES:

3,319.05

Total WATER FUND:

3,319.05

**WATER CAPITAL IMPROVEMENT FUND**

**WATER CIP EXPENDITURES**

**64-4340-7650 WATER METERS**

FERGUSON ENTERPRISES, LLC	0795357-1	Meter Flag Kit, Insulated Pads, Meter Box Lids w/ Lock	540.74
FERGUSON ENTERPRISES, LLC	0795897	Water Meter	3,529.80
FERGUSON ENTERPRISES, LLC	0796225	Meter Box w/ Valve	2,685.75

**64-4340-7800 CONSTRUCTION**

LUNCEFORD EXCAVATION, INC.	12445	Leak Backfill Clean Up: Parts and Labor	3,270.37
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Total WATER CIP EXPENDITURES:

10,026.66

Total WATER CAPITAL IMPROVEMENT FUND:

10,026.66

**WASTEWATER FUND**

**WASTEWATER EXPENDITURES**

**65-4350-3200 OPERATING SUPPLIES**

ALSCO - AMERICAN LINEN DIVI	LBO11928951	5192 092421	27.18
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Vendor Name	Invoice Number	Description	Net Invoice Amount
ALSCO - AMERICAN LINEN DIVI	LBO11928952	5292 092421	120.56
US BANK	9642 092721	Rawhide Fire Hose	492.00
<b>65-4350-3400 MINOR EQUIPMENT</b>			
US BANK	9642 092721	Supply Cache: Adapter	63.51
<b>65-4350-3500 MOTOR FUELS &amp; LUBRICANTS</b>			
UNITED OIL	975309	37270 091521	43.07
<b>65-4350-4900 PERSONNEL TRAINING/TRAVEL/MTG</b>			
US BANK	9642 092721	IRWA: License Registration	30.00
US BANK	9642 092721	IRWA: License Registration	30.00
US BANK	9642 092721	IRWA: License Registration	30.00
US BANK	9642 092721	IRWA: License Registration	30.00
<b>65-4350-5100 TELEPHONE &amp; COMMUNICATIONS</b>			
CENTURY LINK	2087268953 09	2087268953 091321	60.84
VERIZON WIRELESS	9888248770	965494438 091021	41.67
VERIZON WIRELESS	9888248770	965494438 091021	24.56
<b>65-4350-5200 UTILITIES</b>			
IDAHO POWER	2202158701 09	2202158701 091421	12,520.08
IDAHO POWER	2202703357 09	2202703357 092121	65.54
IDAHO POWER	2206786259 09	2206786259 092121	43.45
<b>65-4350-6000 REPAIR &amp; MAINT-AUTO EQUIP</b>			
JACK'S TIRE & OIL, INC.	A63139-36	Tires, Balance, Axle work, Valve Stem, Labor	1,470.30
NAPA AUTO PARTS	074697	Connector	5.38
NORTHWEST EQUIP SALES MAC	176449TP	Crank	20.63
NORTHWEST EQUIP SALES MAC	176494TP	Trailer Pin Connector	6.35
RIVER RUN AUTO PARTS	6538-170300	Halogen Headlight	3.69
<b>65-4350-6100 REPAIR &amp; MAINT-MACH &amp; EQUIP</b>			
CHATEAU DRUG CENTER	2448302	Toilet Flush Lever	4.74
STANDARD PLUMBING SUPPLY	NFZK57	CREDIT MEMO: Bronze Y-Strainer & Galvanized Nipple	200.88-
XYLEM WATER SOLUTIONS U.S.	805181	Lamp, Shipping	15,823.00
MACHINING BROKERS & ASSOC	MB210914	Submersible Pump Adapter	11,398.92
<b>65-4350-6900 COLLECTION SYSTEM SERVICES/CHA</b>			
UNITED OIL	975309	37270 091521	87.53
USA BLUEBOOK	729912.2	Flex Coupling and Pressure Washer Hose	80.26
VERIZON WIRELESS	9888248770	965494438 091021	41.67
ONE.7, INC.	2007062755	Tire Assembly (x2)	269.77
Total WASTEWATER EXPENDITURES:			42,633.82
Total WASTEWATER FUND:			42,633.82
<b>WASTEWATER CAPITAL IMPROVE FND</b>			
<b>WASTEWATER CIP EXPENDITURES</b>			
<b>67-4350-7811 CAPITAL FACILITY PLAN</b>			
HDR ENGINEERING, INC.	1200375704	20576 - Wastewater Facility Planning Study	2,003.25
Total WASTEWATER CIP EXPENDITURES:			2,003.25
Total WASTEWATER CAPITAL IMPROVE FND:			2,003.25



Vendor Name	Invoice Number	Description	Net Invoice Amount
<b>PARKS/REC DEV TRUST FUND</b>			
<b>PARKS/REC TRUST EXPENDITURES</b>			
<b>93-4900-6800 KETCHUM ARTS COMMISSION</b>			
WINDYCITY ARTS, INC.	1102	Electrical Box Wrap Print and Install	1,129.00
GEIGER, JENNIFER	092321	Utility Box Cover Art	1,000.00
Total PARKS/REC TRUST EXPENDITURES:			2,129.00
Total PARKS/REC DEV TRUST FUND:			2,129.00
<b>DEVELOPMENT TRUST FUND</b>			
<b>DEVELOPMENT TRUST EXPENDITURES</b>			
<b>94-4900-8009 HENNESSEY-109 BELMONT #1254</b>			
HENNESSEY COMPANY	091621	Return Performance Bond for 109 Belmont	5,000.00
Total DEVELOPMENT TRUST EXPENDITURES:			5,000.00
Total DEVELOPMENT TRUST FUND:			5,000.00
<b>ESSENTIAL SERVICES FAC. TRUST</b>			
<b>ESF TRUST EXPENDITURES</b>			
<b>95-4193-7201 FUTURE ESF CITY HALL</b>			
APEX	0003381	Mileston VMS Change Order 1 & 2	345.06
RILEY, JADE	JR REIMBS	Reimburse JR for Paint Samples - New City Hall 0885-3	26.44
RILEY, JADE	JR REIMBS	Reimburse JR for Paint Samples - New City Hall 0874-7	52.89
RILEY, JADE	JR REIMBS	Reimburse JR for Paint Samples - New City Hall 1009-9	28.25
US BANK	1556 092721	Access Point FlexHD: New City Hall Technical Req.	179.00
US BANK	6235 092721	Locking Security Box	401.99
US BANK	6235 092721	Whiteboard	519.40
US BANK	6235 092721	Whiteboard	323.34
CORE CONSTRUCTION SERVICES	21-01-002 APP	21-01-002 APP 4 New City Hall	506,981.00
CSHQA	35551	New City Hall/Police station	10,701.93
ELECTRICAL WHOLESAL SUPP	S5158629	ARC LED Lights	1,970.07
Total ESF TRUST EXPENDITURES:			521,529.37
Total ESSENTIAL SERVICES FAC. TRUST:			521,529.37
Grand Totals:			1,150,148.85

Report Criteria:

Invoices with totals above \$0 included.  
 Paid and unpaid invoices included.  
 [Report].GL Account Number = "0110000000"- "9648008200", "9910000000"- "9911810000"  
 Invoice Detail.Voided = No,Yes



City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

**Recommendation to Approve Purchase Order 22002 With Thatcher Company, Inc  
for Aluminum Sulfate**

Recommendation and Summary

Staff is recommending the council approve Purchase Order 22002 and adopt the following motion:

**"I move to approve Purchase Order 22002 with Thatcher Company, Inc for the purchase of Aluminum Sulfate to be used at the wastewater treatment plant in the approximate amount of \$36,500.00.**

The reasons for the recommendation are as follows:

- Aluminum Sulfate is used in the wastewater treatment process to promote coagulation and phosphorous removal.
- Addition of Aluminum Sulfate in the treatment process is necessary to comply with the phosphorous discharge limit required in our discharge permit.

Introduction and History

Phosphorous is one of the constituents in wastewater that needs to be removed for the protection of the environment. Aluminum Sulfate added during the treatment process reacts with phosphorous to create particles which bind together. The particles precipitate out of the wastewater and are removed as a solid. Without the addition of Aluminum Sulfate, the unbound phosphorous would remain suspended in the water and be discharged into the river causing water quality problems.

Sustainability

This purchase is not applicable to the 2020 Ketchum Sustainability Action Plan.

Financial Impact

This is a budgeted expense with funds coming from the Chemicals line item of Wastewater Expenditures. Aluminum Sulfate is delivered by tanker trucks carrying approximately 4,000 gallons per delivery. Each delivery costs about \$6,080.00. This purchase order will be for the next six deliveries and should be sufficient for this fiscal year.

Attachments:

Purchase Order #22002



City of Ketchum

## Purchase Order

Number: 22002

Date: October 4, 2021

Vendor: Thatcher Company, Inc.  
1908 Fortune Road  
Salt Lake City, UT 84104

Quote Ref: Julian Barlow, email 6/1/2021

Quantity	Item # / SKU	Description	Item Cost	Total Cost
1	Lot	Aluminum Sulfate		\$36,500.00
		This is a blanket PO. Product will be ordered and delivered as needed.		
		(GL Code 65-4350-3800)		
			<b>Total</b>	<b>\$36,500.00</b>

The City of Ketchum is a tax-exempt political subdivision of the State of Idaho.

Please confirm this City of Ketchum Purchase Order with expected delivery to Mick Mummert, Wastewater Dept. Supervisor, at [mmummert@ketchumidaho.org](mailto:mmummert@ketchumidaho.org) or (208) 726-7825.

Please Ship Above Listed Items to:

City of Ketchum WWTP  
Attn: Mick Mummert  
110 River Ranch Rd  
Ketchum, ID 83340

Billing Address:

City of Ketchum  
P.O. Box 2315  
Ketchum, ID 83340

Order Submitted By:

\_\_\_\_\_  
Mick Mummert, Wastewater Div. Supervisor



**City of Ketchum  
Planning & Building**

IN RE:	)	
	)	
Maeda Residence – 671 E 5 <sup>th</sup> Ave	)	KETCHUM CITY COUNCIL
Lot Line Shift (Readjustment of Lot Lines)	)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: October 4, 2021	)	DECISION
	)	
File Number: P21-054	)	

**Findings Regarding Application Filed**

**PROJECT:** Maeda LLS (Lot Line Shift)

**APPLICATION TYPE:** Lot Line Shift (Readjustment of Lot Lines)

**FILE NUMBER:** P21-054

**ASSOCIATED APPLICATIONS:** None

**OWNER:** Akiko Maeda Revocable Trust

**REPRESENTATIVE:** Sean Flynn, Galena Engineering

**REQUEST:** Consolidate the west 90 feet of Lot 6, Block 90 within the Ketchum Townsite with two adjacent parcels, formerly city right-of-way, all under the same ownership.

**LOCATION:** 671 E 5<sup>th</sup> Street (west 90 feet of Lot 6, Block 90 Ketchum Townsite)

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on September 21, 2021. The public hearing notice was published in the Idaho Mountain Express the on September 1, 2021. A notice was posted on the project site and the city’s website on September 13, 2021.

**ZONING:** Limited Residential (LR)

**OVERLAY:** None

**Findings Regarding Application Filed**

This Lot Line Shift application, submitted by Galena Engineering on behalf of Akiko Maeda, trustee of the Akiko Maeda Revocable Trust, proposes to consolidate the west 90 feet of Lot 6 with two adjacent parcels within Block 90 of the Ketchum Townsite located at 671 E 5<sup>th</sup> Street within the city’s Limited Residential (GR-L) zone district.

Lot 6 was created with the original Ketchum Townsite in 1948. Lot 6 is a landlocked parcel in the block between 5th Street and 6th Street and Spruce Street and Walnut Street. Access to the parcel is from a vacated alley off N 5th Street. The subject property was created by warranty deed in 1952. In 1959, City of Ketchum Ordinance 46 vacated the 30-foot-wide alley between N Spruce Ave and N Walnut Ave from E 5th St and E 6th St. Vacation of

an alley results in an even split down the middle with each adjacent property owner receiving a 15-foot-wide section of land commensurate with the length of the property for each property adjacent to the alley.

**Findings Regarding Readjustment of Lot Lines (KMC §16.04.060)**

Consistent with Ketchum Municipal Code (KMC) §16.04.020, an application for readjustment of lot lines must meet the definition of Readjustment of Lot Lines as follows:

*Readjustment of Lot Lines: A change or modification of the boundary lines between existing lots or parcels of land or between dwelling units which does not reduce the area, frontage, width, depth or building setback lines of each lot below the minimum zoning requirements and which does not create additional lots or dwelling units. "Readjustment of Lot Lines" includes other minor changes to a subdivision, condominium, or townhouse plat such as, but not limited to, notation changes, boundary shifts and removal of lot line(s), each of which do not reduce the area, frontage, width, depth or building setback lines of each lot below the minimum zoning requirements nor create additional lots or dwelling units (KMC §16.04.020).*

The application meets the definition as outlined above because: (1) the project does not reduce the area, frontage, width, or depth of Lot 6, (2) the existing residence complies with all requirements of the LR zone district except for minimum lot size, and (3) the proposal does not create additional lots or dwelling units. Pursuant to KMC 17.128.010, properties platted in a recorded subdivision prior to April 21, 1966, are permitted to be occupied according to the permitted uses in the zone district provided that all other dimensional standards and parking requirements are met. As the west 90 feet of Lot 6 was created on July 19, 1952, and all other dimensional standards and parking standards are met, the final plat meets the definition for readjustment of lot lines.

Consistent with KMC §16.04.060.B, the Readjustment of Lot Lines application was transmitted to City Departments including the City Engineer, Fire, Utilities, and Streets departments for review.

All land, condominium, and townhouse subdivisions within the City of Ketchum are subject to the standards contained in Ketchum Municipal Code, Title 16, Subdivision Regulations. Pursuant to Ketchum Municipal Code §16.04.010.D, the change or modification of boundary lines, whether or not any additional lot is created, shall comply with these regulations. Many subdivision standards are related to the design and construction of multiple new lots that will form new blocks and infrastructure, such as streets that will be dedicated and maintained by the City. The standards for certain improvements (KMC §16.04.040), including street, sanitary sewage disposal, and planting strip improvements, are not applicable as the project proposes to consolidate existing lots and parcels of land, but no new development is proposed and no upgrades to existing utility infrastructure or right-of-way improvements are required. As conditioned, the proposed Maeda LLS final plat meets the standards for Readjustment of Lot Lines under Title 16 of Ketchum Municipal Code.

**Table 1: Findings Regarding Contents of Final Plat and Subdivision Design & Development Requirements**

Findings Regarding Contents of Final Plat and Subdivision Design & Development Requirements				
Compliant			Standards and Council Findings	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K	Contents Of Final Plat: The final plat shall be drawn at such a scale and contain such lettering as to enable same to be placed upon sheets of eighteen inch by twenty four inch (18" x 24") Mylar paper with no part of the drawing nearer to the edge than one-half inch (1/2"), and shall be in conformance with the provisions of title 50, chapter 13, Idaho Code. The reverse side of such sheet shall not be used for any portion of the drawing, but may contain written matter as to dedications, certificates, signatures, and other information. The contents of the final plat shall

				include all items required under title 50, chapter 13, Idaho Code, and also shall include the following:
			<i>Council Findings</i>	<i>The final plat mylar paper will be prepared according to these standards following approval by Ketchum City Council.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.1	Point of beginning of subdivision description tied to at least two (2) governmental survey corners, or in lieu of government survey corners, to monuments recognized by the city engineer.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.2	Location and description of monuments.
				<i>This standard is met as shown on Sheet 1 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.3	Tract boundary lines, property lines, lot lines, street right of way lines and centerlines, other rights of way and easement lines, building envelopes as required on the preliminary plat, lot area of each lot, boundaries of floodplain and floodway and avalanche district, all with bearings, accurate dimensions in feet and decimals, in degrees and minutes and radii, arcs, central angles, tangents and chord lengths of all curves to the above accuracy.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. The property is not within a floodplain or floodway, avalanche district, or mountain overlay district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.4	Names and locations of all adjoining subdivisions.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. The property is located within the Ketchum Townsite and all surrounding lots are noted on Sheet 1 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.5	Name and right of way width of each street and other public rights of way.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. The final plat indicates rights of way and dimensions for Spruce Ave, Walnut Ave, 5<sup>th</sup> Street, and 6<sup>th</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.6	Location, dimension and purpose of all easements, public or private.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. The plat shows a 7.5 foot water and utility easement in the alley as previously dedicated under Instrument #197661.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.7	The blocks numbered consecutively throughout each block.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. No additional lots or blocks are being created. All lots are part of Block 90 of the Ketchum Townsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.8	The outline of any property, other than a street, alley or easement, which is offered for dedication to public use, fully dimensioned by distances and bearings with the area marked "Dedicated to the City of Ketchum for Public Use", together with any other descriptive language with regard to the precise nature of the use of the land so dedicated.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. All previous dedications of right of way are noted on the plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.9	The title, which shall include the name of the subdivision, the name of the city, if appropriate, county and state, and the location and description of the subdivision referenced to section, township, range.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.10	Scale, north arrow and date.

				<i>This standard is met as shown on Sheet 1 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.11	Location, width, and names of all existing or dedicated streets and other public ways within or adjacent to the proposed subdivision
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 1 of the final plat. All previous dedications of right of way are noted on the plat.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.K.12	A provision in the owner's certificate referencing the county recorder's instrument number where the condominium declaration(s) and/or articles of incorporation of homeowners' association governing the subdivision are recorded.
			<i>Council Findings</i>	<i>N/A. There is no homeowner's association governing the subdivision, therefore no declarations or articles of incorporation are recorded.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.13	Certificate by registered engineer or surveyor preparing the map certifying to the accuracy of surveying plat.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 2 of the final plat as "Surveyor's Certificate".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.14	A current title report of all property contained within the plat.
			<i>Council Findings</i>	<i>This standard is met. A title report and warranty deed were submitted with the final plat application. Owners of record and encumbrances identified in the documents are consistent with Sheets 1 and 2 of the final plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.15	Certification of owner(s) of record and all holders of security interest(s) of record with regard to such property.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 2 of the final plat as "Certificate of Ownership".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.16	Certification and signature of engineer (surveyor) verifying that the subdivision and design standards meet all city requirements.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 2 of the final plat as "Surveyor's Certificate".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.17	Certification and signature of the city engineer verifying that the subdivision and design standards meet all city requirements.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 2 of the final plat as "Ketchum City Engineer's Approval".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.K.18	Certification and signature of the city clerk of the city of Ketchum verifying that the subdivision has been approved by the council.
			<i>Council Findings</i>	<i>This standard is met as shown on Sheet 2 of the final plat as "Ketchum City Council's Approval".</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.K.19	Notation of any additional restrictions imposed by the council on the development of such subdivision to provide for the public health, safety and welfare.
			<i>Council Findings</i>	<i>N/A. This standard is not applicable as no additional restrictions are necessary to provide for the public health, safety, and welfare.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.L	Final Plat Copies: Both a hard copy and a digital copy of the final plat shall be filed with the administrator prior to being placed upon the Council's agenda. A digital copy of the final plat as approved by the council and signed by the city clerk shall be filed with the administrator and retained by the city. The Applicant shall also provide the city with a digital copy of the recorded document with its assigned legal instrument number.
			<i>Council Findings</i>	<i>As outlined in condition #2, the applicant shall provide a copy of the recorded Final Plat to the Planning and Building Department for the official file on the application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such

				improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city.
			<i>Council Findings</i>	<i>This standard is not applicable as no additional improvements are required or proposed for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the Council, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
			<i>Council Findings</i>	<i>This standard is not applicable as no additional improvements are required or proposed for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.C	Performance Bond: Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather, factors beyond the control of the subdivider, or other conditions as determined acceptable at the sole discretion of the city, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be two years or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.
			<i>Council Findings</i>	<i>This standard is not applicable as no additional improvements are required or proposed for the lot consolidation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.
			<i>Council Findings</i>	<i>This standard is not applicable as no additional improvements are required or proposed for the lot consolidation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:  1. All angle points in the exterior boundary of the plat.



				<p>2. All street intersections, points within and adjacent to the final plat.</p> <p>3. All street corner lines ending at boundary line of final plat.</p> <p>4. All angle points and points of curves on all streets.</p> <p>5. The point of beginning of the subdivision plat description.</p>
			<i>Council Findings</i>	<i>All monuments will be verified prior to recording of the final plat.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <p>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</p> <p>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <p style="padding-left: 40px;">a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</p> <p style="padding-left: 40px;">b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat. Minimum lot sizes in all cases shall be reversed frontage lot(s).</p>
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:

				<ol style="list-style-type: none"> <li>1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>2. Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</li> <li>4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</li> </ol>
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> <li>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</li> <li>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</li> <li>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</li> <li>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</li> <li>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</li> <li>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</li> <li>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</li> <li>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</li> <li>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</li> </ol>

				<p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and</p> <p>24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone.</p>
			<i>Council Findings</i>	<i>This standard is not applicable as no new streets are being created.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.I	<p>Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead-end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>
			<i>Council Findings</i>	<i>This standard is not applicable as no new alleys are being created.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.J	<p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <ol style="list-style-type: none"> <li>1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.</li> <li>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</li> <li>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</li> <li>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</li> <li>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</li> <li>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.</li> </ol>
			<i>Council Findings</i>	<i>All required easements have been recorded and are noted on Sheet 1 of the final plat. The project does not create a new private street. The property is not adjacent to Warm Springs or located within the floodplain or riparian area.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.K	Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created. The existing residence is served by the City of Ketchum for sewer service.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created. The existing residence is served by the City of Ketchum for water service.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created. The lot is not adjoining to any incompatible uses or features.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following: 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.

				<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <ul style="list-style-type: none"> <li>a. Proposed contours at a maximum of five foot (5') contour intervals.</li> <li>b. Cut and fill banks in pad elevations.</li> <li>c. Drainage patterns.</li> <li>d. Areas where trees and/or natural vegetation will be preserved.</li> <li>e. Location of all street and utility improvements including driveways to building envelopes.</li> <li>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</li> </ul> <p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p> <p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p> <p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> <li>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li> <li>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</li> <li>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</li> <li>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</li> <li>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</li> </ul>
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created and no grading is proposed or required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.O	Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm

				drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created. No changes are proposed or required to the drainage of the existing lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.P	Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			<i>Council Findings</i>	<i>This standard is not applicable as no new lots are being created. All necessary utilities serve the existing residence with no changes proposed or required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			<i>Council Findings</i>	<i>This standard is not applicable as no off-site improvements are required for the application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			<i>Council Findings</i>	<i>This standard is not applicable as the subject property is not within the Avalanche Zone District or Mountain Overlay Zone District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			<i>Council Findings</i>	<i>This standard is not applicable as no changes to existing features on the property are proposed.</i>

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum City Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which city ordinances govern the applicant’s application for the development and use of the project site.

2. The Council has authority to hear the applicant's Readjustment of Lot Lines Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
4. The Lot Line Shift (Readjustment of Lot Lines) application is governed under Sections 16.04.010, 16.04.020, 16.04.030, 16.04.040, and 16.04.060 of Ketchum Municipal Code Chapter 16.04.
5. As conditioned, the proposed Lot Line Shift meets the standards for approval under Title 16 of Ketchum Municipal Code.

#### DECISION

**THEREFORE**, the Ketchum City Council **approves** the Maeda Lot Line Shift this Monday, October 4, 2021, subject to the following conditions:

#### CONDITIONS OF APPROVAL

1. An address monument must be placed at the end of the driveway displaying the address in four-inch numbers, four feet off the ground level. An inspection by the City of Ketchum Fire Marshall, verifying placement, is required prior to recording of the Final Plat.
2. The applicant shall provide a copy of the recorded Final Plat to the Planning and Building Department for the official file on the application.

Findings of Fact **adopted** this 4<sup>th</sup> day of October 2021.

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Neil Bradshaw, Mayor

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Tara Fenwick, City Clerk





## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Recommendation To Enter into Contract 20724 with Sun Valley Economic Development.**

#### Recommendation and Summary

Staff is recommending the council approve the annual contract with Sun Valley Economic Development (SVED) and adopt the following motion:

**"I move to authorize the Mayor to sign Contract 20724 with Sun Valley Economic Development."**

The reasons for the recommendation are as follows:

- The City contracts with SVED for specific services as identified in the contract.
- The funding was approved in the FY22 adopted budget.

#### Introduction and History

The proposed contract is consistent with the last several years as it relates to the scope of associated services.

#### Analysis

SVED provides the City with specific support and analysis for the attraction, retention, and support of businesses within the community.

#### Sustainability

Approval of contract will assist with the economic sustainability of our community.

#### Financial Impact

The cost for services is \$10,000 for the year and funding will be allocated from the Local Option Tax Account within the approved FY22 budget.

#### Attachments

Attachment A: Proposed Contract 20724.

## CONTRACT FOR SERVICES 20724

THIS CONTRACT FOR SERVICES (“Agreement”) is made and entered into this 4<sup>th</sup> day of October, 2021, by and between the CITY OF KETCHUM, an Idaho municipal corporation (hereinafter referred to as “Ketchum”) and Sun Valley Economic Development, an Idaho non-profit corporation (hereinafter referred to as “SVED”).

### RECITALS

A. Ketchum is a resort city, as defined by Idaho Code § 50-1044, deriving the major portion of its economic well-being from businesses catering to recreational needs and the needs of people traveling to Ketchum for an extended period of time;

B. Ketchum has the authority to enter into contracts and to take such steps as are reasonably necessary to maintain the health, safety and welfare of the City which includes the promotion of its trade, commerce, and industry;

E. SVED is experienced in providing economic development support for the advancement of the trade, commerce, and industry of the tourism-based economy of Ketchum;

F. SVED desires to create a strong economic climate for the City of Ketchum and the surrounding community and region;

G. It is in the best interest of the public health, safety, welfare, and prosperity of the City to promote the region and attract new businesses through targeted, economic development efforts. These activities, and any costs associated therein, are determined to be ordinary and necessary expenses for the economic well-being of Ketchum and its residents and guests;

H. Ketchum desires to contract with SVED for professional services to provide economic development services that will increase the number of businesses hiring permanent, full-time jobs within the City of Ketchum;

I. The parties acknowledge and agree that all funds paid to SVED under this Agreement shall be used to provide services for Ketchum for the purpose of job creation, which is a direct quantifiable and measurable result of investing public funds for a public purpose; and

J. Subject to the terms and conditions of this Agreement, the parties wish to enter into this agreement to provide the services described herein.

### AGREEMENT

NOW THEREFORE, Ketchum and SVED, for and in consideration of the preceding recitals, mutual promises and covenants hereinafter set forth, do hereby agree as follows:

1. Consideration. In consideration for providing the services provided herein, Ketchum agrees to pay SVED the maximum sum of ten thousand dollars (\$10,000) for the term set forth in section 2 herein. Subject to the terms and conditions set forth herein, Ketchum shall make payments in four quarterly installments.
2. Term. Unless terminated pursuant to Section 7(B) of this Agreement and notwithstanding the date of execution hereof, this Agreement shall be in effect from October 1, 2021, until September 30, 2022.
3. Scope of Services. SVED shall provide the services presented in attachment A to this contract.
4. Budget, IRS Filings, Annual Work Plan, Monthly Record Keeping and Availability of Records.
  - a. Budget. Within thirty (30) days after the execution of this Agreement, SVED shall submit a 2021 Year-to-Date P&L and Balance Sheet for SVED, which is satisfactory to Ketchum showing income, expenses and particular fund balances. SVED shall submit its 2021/22 Operating Budget to Ketchum when such budget has been approved by the SVED Board. This operating budget shall contain sufficient information and detail to permit meaningful review by the public.
  - b. IRS Filings. Within fifteen days (15) days after execution of this Agreement, SVED shall submit to Ketchum IRS Form 990 and all associated documents for the previous two (2) years of operation.
  - c. Financial Accounting and Reporting Requirements. SVED shall submit to Ketchum a year-end financial statement which shall be prepared in a format that details the expenditure of Ketchum funds paid to SVED under the terms of this Agreement. The City may request additional financial information it deems necessary or appropriate to assist the City in verifying the accuracy of SVED's financial records. Any duly authorized agents of the City shall be entitled to inspect and audit all books and records of SVED only for compliance with the terms of this Agreement. In the event the financial report indicates that funds were used for purposes not permitted by this Agreement, SVED shall remit the disallowed amount to Ketchum within thirty (30) days of notification by Ketchum of such improper expenditures.
  - d. General Requests. Upon request, and within a reasonable time period, SVED shall submit any other information or reports relating to its activities under this Agreement to Ketchum in such form and at such time as Ketchum may reasonably require.
  - e. Retention of Records. SVED agrees to retain all financial records, supporting documents, statistical reports, client or membership records and contracts,

property records, minutes, correspondence, and all other accounting records or written materials pertaining to this Agreement for three (3) years following the expiration or termination of this Agreement. Ketchum, at its own expense, may review or audit the financial transactions undertaken by SVED under this Agreement to ensure compliance with the terms and conditions herein with reasonable prior notice and during the normal business hours of SVED.

5. Payments. To receive payments for the services described in Section 3 of this Agreement, SVED shall submit the quarterly reports described in paragraph 3(a) of this Agreement. The quarterly sum to be paid to SVED shall not exceed one quarter (1/4) of the total amount approved by this agreement for fiscal year 2022.
6. Record of Funds. In order to insure proper financial accountability, SVED shall maintain accurate records and accounts of all funds received from Ketchum, keeping such accounts and records separate and identifiable from all other accounts, and making such accounts and records available to the City during normal business hours, on request of the City. Compliance with this provision does not require a separate bank account for the funds. The funds paid to SVED by Ketchum shall be expended solely for operations and activities in conformance with this Agreement. Further, no such funds shall be transferred, spent, loaned or encumbered for other SVED activities or purposes other than for operations and activities in conformance with this Agreement.
7. Miscellaneous Provisions.

a. Notices. All notices to be served pursuant to this Agreement or which are served with regard to this Agreement shall be sent by certified mail, return receipt, to the parties at the following addresses:

City of Ketchum  
PO Box 2315.  
Ketchum, Idaho 83340

Sun Valley Economic Development  
PO Box 3893  
Ketchum, ID 83340

All notices of changes of addresses shall be sent in the same manner.

- b. Termination. The parties hereto covenant and agree that in the event Ketchum, in its sole and absolute discretion, lacks sufficient funds to continue paying for SVED's services under this Agreement, Ketchum may terminate this Agreement without penalty upon thirty (30) days written notice. Upon receipt of such notice neither party shall have any further obligation to the other. In the event of early termination of this Agreement, SVED shall submit to Ketchum a report of expenditures authorized by this Agreement as of the effective date of

termination. Any Ketchum funds not encumbered for authorized expenditures at the date of termination shall be refunded to Ketchum within twenty (20) days.

- c. Independent Contractor. Ketchum and SVED hereby agree that the SVED shall perform the Services exclusively as an independent contractor and not as employee or agent of Ketchum. The Parties do not intend to create through this Agreement any partnership, corporation, employer/employee relationship, joint venture or other business entity or relationship other than that of independent contractor. SVED, its agents and employees shall not receive nor be entitled to any employment-related benefits from Ketchum including without limitation, workers compensation insurance, unemployment insurance, health insurance, retirement benefits or any benefit that Ketchum offers to its employees. SVED shall be solely responsible for the payment of all payroll and withholding taxes for amounts paid to SVED under this Agreement and for SVED's payments for work performed in performance of this Agreement by SVED, its agents and employees; and SVED hereby releases, holds harmless and agrees to indemnify Ketchum from and against any and all claims or penalties, including without limitation the 100% penalty, which in any manner relate to or arise from any failure to pay such payroll or withholding taxes.
- d. Compliance With Laws/Public Records. SVED acknowledges that Ketchum is a public agency subject to the Idaho Public Records Act. SVED will communicate with and cooperate with Ketchum upon request by Ketchum so as to identify, address, potentially disclose, and evaluate exemptions as necessary for records that may be subject to Idaho public records law.
- e. Non-assignment. This Agreement may not be assigned by or transferred by SVED, in whole or in part, without the prior written consent of Ketchum.
- f. Hold Harmless Agreement. SVED shall indemnify, defend and save and hold harmless Ketchum, its officers, agents, and employees, from and against any and all claims, loss, damages, injury or liability, including but not limited to, the misapplication of Ketchum funds, state or federal anti-trust violations, personal injury or death, damages to property, liability arising out of the use of materials, concepts, or processes protected by intellectual property rights and liens of workmen and material men, howsoever caused, resulting directly or indirectly from the performance of the Agreement by SVED.
- g. Entire Contract. This Agreement contains the entire contract between the parties hereto and shall not be modified or changed in any manner, except by prior written contract executed by both parties hereto.
- h. Succession. This Agreement shall be binding upon all successors in interest of either party hereto.

- i. No Third Party Beneficiaries. This Agreement shall not create any rights or interest in any third parties.
- j. Law of Idaho. This Agreement shall be construed in accordance with the laws of the State of Idaho.
- k. Severability. If any clause, sentence, or paragraph of this Agreement is held by a court of competent jurisdiction to be invalid for any reason, such decision shall not affect the remaining portions, and the parties do now declare their intention that each such clause, sentence, or paragraph of this Agreement is a separate part hereof.
- l. Preparation of Contract. No presumption shall exist in favor of or against any party to this Agreement as a result of the drafting and preparation of the document.
- m. No Waiver. No waiver of any breach by either party of the terms of this Agreement shall be deemed a waiver of any subsequent breach of the Agreement.
- n. Attorney's Fees. In the event either party hereto is required to retain counsel to enforce a provision of this Agreement, to recover damages resulting from a breach hereof or if either party defaults in the performance of this Agreement, the prevailing party shall be entitled to recover from the other party all reasonable attorney's fees incurred herein or on appeal.
- o. Conflict of Interest. No officer or director of SVED who has decision making authority either by them self or by vote, and no immediate family member of such individual, shall have a direct pecuniary interest in any contract or subcontract for work to be performed in connection with this Agreement. SVED shall incorporate or cause to be incorporated in all such contracts, a provision prohibiting such interest pursuant to this provision.

IN WITNESS WHEREOF, the parties hereto have caused this Contract for Services to be executed on the day and year first written above.

**CITY OF KETCHUM**

**Sun Valley Economic Development**

\_\_\_\_\_  
Neil Bradshaw, Mayor

\_\_\_\_\_  
Harry Griffith, Director

ATTEST:

\_\_\_\_\_  
Tara Fenwick, City Clerk

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**CITY OF KETCHUM**

**Sun Valley Economic Development**

\_\_\_\_\_  
Neil Bradshaw, Mayor

  
\_\_\_\_\_  
Harry Griffith, Director

ATTEST:

\_\_\_\_\_  
Tara Fenwick, City Clerk

Sun Valley Economic Development - Team Bonus Program

ANNUAL PERFORMANCE CRITERIA						
Performance Objective Number	Action Plan Category	Performance Criteria/Assessment	Responsibility	Target Date for Delivery	Weight (1=lo, 3=hi)	%
1	Business Attraction, Expansion, Retention and/or Creation	Deliver improved annual economic profiles	DP	15-Sep-21	2	6%
2		Activate Housing Ready Team 3+ times/or project implementation	Shared	30-Dec-21	3	9%
3		Participate in 5 tourism/hospitality-related expansion activities/programs	Shared	30-Dec-21	2	6%
4		Introduce/propose/support 5 Federal/State/Local incentive programs to help local businesses	HEG	30-Dec-21	3	9%
5		Provide leadership in economic recovery from COVID	HEG	30-Dec-21	3	9%
6		Prepare and implement social media program	DP	30-Dec-21	2	6%
7		Start 1-Yr professional program at culinary institute	HEG	1-Oct-21	3	9%
8	Place Making	Provide strategic and/or analytical support for 3 community events	Shared	30-Dec-21	1	3%
9		Conduct a minimum of 3 annual conversations with each City government/representative	Shared	30-Dec-21	2	6%
10	Training	Attend 2 Southern Idaho Economic Development and 2 Idaho Economic Development Association events	Shared	30-Dec-21	1	3%
11		Participate in 5 Virtual Roundtables or other Commerce training activities	Shared	30-Dec-21	1	3%
12	Other	Visit <del>40</del> 5 existing or new member businesses per month	DP	30-Dec-21	3	9%
13		Secure <del>15</del> 7 new or re-joining members for year	DP	30-Dec-21	3	9%
14		Maintain YE membership at minimum of 85	DP	30-Dec-21	2	6%
15		Deliver positive YE operating income, along with revised Summit outcome	Shared	30-Dec-21	3	9%
					34	100%

Dave		Harry	
%	Option 1	%	Option 1
7%	\$ 640		
11%	\$ 959	16%	\$ 1,227
7%	\$ 640	11%	\$ 818
		16%	\$ 1,227
		16%	\$ 1,227
7%	\$ 640		
		16%	\$ 1,227
4%	\$ 320	5%	\$ 409
7%	\$ 640	11%	\$ 818
4%	\$ 320	5%	\$ 409
4%	\$ 320	5%	\$ 409
11%	\$ 959		
11%	\$ 959		
7%	\$ 640		
11%	\$ 966	16%	\$ 1,229
28	\$ 8,000	19	\$ 9,000

2021 PROPOSAL

Bonus Award Calculations	Annual Base (less PPP2.0)	Bonus Budget	Commission Potential	Total Budget	Proposed Incremental Bonus	Revised Total Comp	Revised Total Bonus
Harry Griffith	\$ 70,000	\$ 7,000	\$ -	\$ 77,000	\$ 2,000	\$ 79,000	\$ 9,000
Dave Patrie	\$ 33,600	\$ -	\$ 22,500	\$ 56,100	\$ 8,000	\$ 64,100	\$ 8,000
				\$ 133,100		\$ 143,100	

Notes: Mid year assessment with potential early award based on early achievement  
Awards approved contingent on cash availability



Sun Valley Economic Development - Team Bonus Program

ANNUAL PERFORMANCE CRITERIA (REVISED & APPROVED 8/12/21)						
Performance Objective Number	Action Plan Category	Performance Criteria/Assessment	Responsibility	Target Date for Delivery	Weight (1=lo, 3=hi)	%
1		Activate Housing Ready Team 3+ times/or project implementation	Shared	30-Dec-21	3	10%
2		Participate in 5 tourism/hospitality-related expansion activities/programs	Shared	30-Dec-21	2	7%
3		Introduce/propose/support 5 Federal/State/Local incentive programs to help local businesses	HEG	30-Dec-21	3	10%
4		Provide leadership in economic recovery from COVID	HEG	30-Dec-21	3	10%
5		Start 1-Yr professional program at culinary institute	HEG	1-Oct-21	3	10%
6	Place Making	Provide strategic and/or analytical support for 3 community events	Shared	30-Dec-21	1	3%
7		Conduct a minimum of 3 annual conversations with each City government/representative	Shared	30-Dec-21	2	7%
8	Training	Attend 2 Southern Idaho Economic Development and 2 Idaho Economic Development Association events	Shared	30-Dec-21	1	3%
9		Participate in 5 Virtual Roundtables or other Commerce training activities	Shared	30-Dec-21	1	3%
10	Other	Visit 5 existing or new member businesses per month	DP	30-Dec-21	3	10%
11		Secure 7 new or re-joining members for year	DP	30-Dec-21	3	10%
12		Maintain YE membership at minimum of 85	DP	30-Dec-21	2	7%
13		Deliver positive YE operating income, along with revised Summit outcome	Shared	30-Dec-21	3	10%
					30	100%

Harry	Award Potential
	\$ 900
	\$ 600
	\$ 900
	\$ 900
	\$ 900
	\$ 300
	\$ 600
	\$ 300
	\$ 300
	\$ 900
	\$ 900
	\$ 600
	\$ 900
	\$ 9,000

2021 PROPOSAL

Bonus Award Calculations	Annual Base (less PPP2.0)	Bonus Budget	Commission Potential	Total Budget	Proposed Incremental Bonus	Revised Total Comp	Revised Total Bonus
Harry Griffith	\$ 70,000	\$ 7,000	\$ -	\$ 77,000	\$ 2,000	\$ 79,000	\$ 9,000

Notes: Mid year assessment with *potential early award* based on early achievement  
Awards approved contingent on cash availability



## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Recommendation To Enter into Contract 20726 with Mountain Rides Transportation Authority**

#### Recommendation and Summary

Staff is recommending the council approve the annual contract with Mountain Rides Transportation Authority (MRTA) and adopt the following motion:

**"I move to authorize the Mayor to sign Contract 20726 with Mountain Rides Transportation Authority."**

The reasons for the recommendation are as follows:

- The City contracts with MRTA for public transportation services as identified in the contract.
- The funding was approved in the FY22 adopted budget

#### Introduction and History

The MRTA provides the City with public transportation services as part of a joint powers authority established with the Cities of Bellevue, Hailey, and Sun Valley as well as Blaine County.

#### Analysis

The FY 22 contract for services provides for a level of service consistent with the FY 21 adopted service plan.

#### Sustainability

Approval of contract will assist with the economic sustainability of our community.

#### Financial Impact

The total budget is \$687,000 - \$527,000 for operations/services and a one-time \$160,000 capital improvements local match. Funding will be allocated from Local Option Taxes within the approved FY21 budget.

#### Attachments

Attachment A: Proposed Contract 20726

**CONTRACT FOR SERVICES 20726**  
**MOUNTAIN RIDES TRANSPORTATION AUTHORITY**

**THIS CONTRACT FOR SERVICES** (hereinafter the “Contract”) is made and entered this 4<sup>th</sup> day of October, 2021, by and between the **CITY OF KETCHUM, IDAHO**, a municipal corporation (hereinafter referred to as “the City”) and the **MOUNTAIN RIDES TRANSPORTATION AUTHORITY** (hereinafter referred to as “Mountain Rides”), an Idaho Transportation Authority, formed and existing pursuant to a Joint Powers Agreement duly executed, extended, and recorded as Instrument #663052 in Blaine County, Idaho (recorded 9/10/19). This Contract is hereby entered into in contemplation of the following findings:

**FINDINGS**

1. The City is a municipal corporation duly organized and existing under the law of the State of Idaho §50-101 et seq.
2. Mountain Rides is an Idaho Transportation Authority formed and existing pursuant to a Joint Powers Agreement duly executed and recorded as Instrument #663052 in Blaine County, Idaho.
3. The City is a destination resort city as defined by Idaho Code § 50-1044, as it derives a major portion of its economic well-being from businesses catering to the recreational needs and meeting the needs of people traveling to the City for an extended period of time. The City, as a resort city, is eligible to collect a local option non-property tax.
4. Pursuant to Idaho Code §50-301 and §50-302, the City is empowered to enter into contracts and take such steps as are reasonably necessary to maintain the peace, good government and welfare of the City and its trade, commerce, and industry. Accordingly, the City has the power as conferred by the State of Idaho to provide directly for certain promotional activities to enhance the trade, commerce, industry, and economic wellbeing of the City.
5. Mountain Rides provides an efficient and responsive public transportation system which is easily identifiable, is coordinated in a manner to encourage the ease of ridership, is charged with planning and implementing multi-modal transportation technologies, when feasible, and will seek to reduce the congestion and pollution of individual vehicular trips within Blaine County.
6. Mountain Rides’ mission is to establish, implement, maintain, fund, and operate a comprehensive public transportation system by motor buses, vans or other appropriate means, including but not limited to multi-modal transportation systems, on a scheduled or unscheduled and charter basis throughout Blaine County for the benefit of the inhabitants and visitors in Blaine County. Mountain Rides strives to provide services that are safe, user oriented, environmentally friendly, economically stable, and supportive of a strong local economy.
7. The organizational purpose and goals of Mountain Rides are complementary to those of the City.
8. Mountain Rides has faithfully and diligently carried out its mission to provide services that promote and enhance the trade, commerce, and industry of the City. It is in the best interests of the public health, welfare, and prosperity of the City to provide regional transportation services.

9. The City intends to contract with Mountain Rides to provide such services for consideration as hereinafter provided.
10. Mountain Rides desires to enter into a contract with the City to provide transportation services all as hereinafter provided.

**NOW, THEREFORE,** on the basis of the foregoing Findings the Parties agree as follows:

1. Services to be Provided by Mountain Rides. Mountain Rides hereby agrees to provide transportation services for the City and to provide public transportation services to residents and visitors to the City and the Mountain Rides service area, within the confines of the Mountain Rides budget. Services to be provided are set forth in Exhibit A of this Contract. Mountain Rides agrees that it shall provide, at its sole expense, all costs of labor, materials, supplies, business overhead and financial expenses, insurance, fidelity bonds, and all necessary equipment and facilities required to provide the transportation services as set forth in this Contract.
2. Term. The Term of this Contract shall commence October 1, 2021 and terminate September 30, 2022.
3. Consideration.
  - a. In consideration for providing the services herein described, the City agrees to pay to Mountain Rides the total sum of SIX HUNDRED EIGHTY SEVEN THOUSAND DOLLARS (\$687,000), payable in equal monthly installments throughout the Term of this Contract. Mountain Rides will provide the City with an invoice prior to each due date setting forth the amount of the installment due. The City shall pay Mountain Rides the amount set forth in each such invoice no later than thirty (30) days after the date of each such invoice.
  - b. The City's contribution to Mountain Rides is part of Mountain Rides FY2022 Operating Budget adopted by the Mountain Rides Board on September 15, 2021. Mountain Rides' FY2022 Operating Budget is summarized in Exhibit B of this Contract.
  - c. In consideration and as part of this Contract, Mountain Rides agrees to provide a mid-year report to the Ketchum City Council, including activities, ridership, financial conditions, and other pertinent information helpful to assessing the current condition of the transportation system. This report will be delivered as a presentation at an April 2022 City Council meeting. In addition, Mountain Rides will provide a report and budget request coincident with the City's budget deliberations for fiscal year 2023.
  - d. In the event that budgeted revenue from any of Mountain Rides' funding partners (local government, federal government, fares, or private business funding) identified in Mountain Rides' FY2022 Operating Budget is not collected as expected, Mountain Rides may need to adjust its adopted FY2022 Service Plan in order to balance revenue with expenses. In this event, Mountain Rides will give notice to the City as to the adjustments that impact transit service within the City. Mountain Rides and the City will work to come to a mutually acceptable adjusted service plan. If a mutually acceptable adjusted service plan cannot be reached, the City may terminate this Contract upon thirty (30) day written notice to Mountain Rides.

4. Termination. The City may, at its sole discretion, terminate, with or without cause, this Contract immediately upon one hundred twenty (120) days prior written notice to Mountain Rides. In the event of such termination, the City shall make all payments due to Mountain Rides through the end of the 120-day notice period and thereafter shall have no further responsibility to make any payment to Mountain Rides under this Contract. Mountain Rides, in its sole discretion, shall adjust services as may be necessitated as a result of any termination of this Contract.
5. Equal Employment Opportunity. Mountain Rides covenants that it shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, or national origin.
6. Default. In the event either Party fails to perform its responsibilities, as set forth in this Contract during the contract term, this Contract may, at the option of the non-defaulting Party, be terminated. Upon termination under this paragraph, Mountain Rides, in the event it intentionally breaches its responsibilities, shall not be entitled to receive any unpaid installments of the consideration called for in paragraph 3 of the Contract.
7. Independent Contractor Status. The Parties acknowledge and agree that Mountain Rides shall provide its services for the fee specified herein in the status of independent contractor, and not as an employee of the City. Mountain Rides and its agents, employees, and volunteers shall not accrue leave, retirement, insurance, bonding, or any other benefit afforded to employees of the City. The sole interest and responsibility of the City under this Contract is to assure itself that the services covered by this Contract shall be performed and rendered by Mountain Rides in a competent, efficient, and satisfactory manner.
8. Hold Harmless. Any contractual obligation entered into or assumed by Mountain Rides, or any liability incurred by reason of personal injury and/or property damage in connection with or arising out of Mountain Rides' obligations pursuant to this Contract shall be the sole responsibility of Mountain Rides, and Mountain Rides covenants and agrees to indemnify and hold the City harmless from any and all claims or causes of action arising out of Mountain Rides' activities and obligations as set forth hereinabove, including, but not limited to, personal injury, property damage, and employee complaints.
9. Non-Assignment. This Contract may not be assigned or transferred by either Party, in whole or in part, without the prior written consent of the other Party.
10. Miscellaneous Provisions.
  - a. Paragraph Headings. The headings in this Contract are inserted for convenience and identification only and are in no way intended to describe, interpret, define, or limit the scope, extent, or intent of this Contract or any of the provisions of the Contract.
  - b. Provision Severable. Every provision of this Contract is intended to be severable. If any term or provision hereof is illegal or invalid for any reason whatsoever, such illegality or invalidity shall not affect the validity of the remainder of the Contract.
  - c. Rights and Remedies are Cumulative. The rights and remedies provided by this Contract are cumulative and the use of any one right or remedy by any Party shall not preclude nor waive its rights to use any or all other remedies. Any rights provided to the Parties under this Contract are given in addition to any other rights the Parties may have by law, statute, ordinance or otherwise.
  - d. Successor and Assigns. This Contract and the terms and provision hereof shall inure to the benefit of and be binding upon the heirs, personal representatives, successors

and assigns of the Parties hereto.


- e. Entire Contract. This Contract contains the entire agreement between the Parties respecting the matters herein set forth and supersedes all prior agreements between the Parties hereto respecting such matters.
- f. Governing Law. This Contract shall be construed in accordance with the laws of the State of Idaho.
- g. Preparation of Contract. No presumption shall exist in favor of or against any Party to this Contract as a result of the drafting and preparation of the document.
- h. No Waiver. No waiver of any breach by either Party of the terms of this Contract shall be deemed a waiver of any subsequent breach of the Contract.
- i. Amendment. No amendment of this Contract shall be effective unless the amendment is in writing, signed by each of the Parties.
- j. Notices. Notices hereunder shall be by personal delivery or US Mail Certified/Return Receipt and shall be deemed effective upon such personal delivery or two (2) business days after mailing, whichever is later. Notices shall be provided as follows:

- i. The City:
  - City Administrator
  - City of Ketchum
  - PO Box 2315
  - Ketchum, ID 83340-2315

- ii. Mountain Rides:
  - Executive Director
  - Mountain Rides Transportation Authority
  - PO Box 3091
  - Ketchum, ID 83340-3091

IN WITNESS WHEREOF, the Parties have executed this Contract on the day and year first written above.

MOUNTAIN RIDES TRANSPORTATION AUTHORITY    CITY OF KETCHUM

  
 \_\_\_\_\_  
 Wallace E. Morgus, Executive Director

\_\_\_\_\_  
 Neil Bradshaw, Mayor

ATTEST:

\_\_\_\_\_  
 Tara Fenwick, City Clerk

## EXHIBIT A FY2022 Service Plan



Service	Service Hours	Notes
<b>Blue</b>	<b>11,652.5 hours</b>	<b>Fall/Spring: 7:00am - 10:30pm daily; Summer/Winter: 7:00am - 2:30am daily</b>
Blue 1	5,475.0 hours	Fall/Spring: 7:00am - 10:30pm daily; Summer/Winter: 7:00am - 12:00am daily
Blue 2	6,177.5 hours	Fall/Spring: 7:30am - 7:00pm daily; Summer/Winter: 7:30am - 2:30am daily
<b>Valley</b>	<b>14,429.5 hours</b>	<b>Mon - Sun: 6:00am - 12:00am</b>
<b>Hailey</b>	<b>2,313.0 hours</b>	<b>Mon - Fri: 8:00am - 5:00pm</b>
<b>Magic</b>	<b>2,119.5 hours</b>	<b>Mon, Wed, Fri: 6:00am - 7:00pm</b>
<b>Red</b>	<b>1,666.0 hours</b>	<b>Nov 25, 2021 - Apr 10, 2022: 8:30am - 5:00pm daily; Summer Music Festival (21 days): 4:00pm - 8:00pm</b>
Red 1	1,238.0 hours	Nov 25, 2021 - Apr 10, 2022: 8:30am - 5:00pm daily; Summer Music Festival (21 days): 4:00pm - 7:30pm
Red 2	428.0 hours	Dec 11, 2021 - Mar 27, 2022: 8:30am - 12:30pm daily
<b>Bronze</b>	<b>968.0 hours</b>	<b>Dec 11, 2021 - Apr 10, 2022: 8:30am - 4:30pm daily</b>
<b>Silver</b>	<b>1,438.5 hours</b>	<b>Nov 25, 2021 - Apr 10, 2022: 8:00am - 6:30pm daily</b>
<b>Gold</b>	<b>963.0 hours</b>	<b>Dec 11, 2021 - Mar 27, 2022: 8:00am - 5:00pm daily</b>
<b>Resort</b>	<b>3,369.5 hours</b>	<b>Bronze, Silver, Gold: Nov 25, 2021 - Apr 10, 2022</b>
<b>Galena</b>	<b>273.0 hours</b>	<b>Nov 25, 2021 - Feb 28, 2022 (39 service days): 9:00am - 4:00pm each service day</b>
<b>Total</b>	<b>35,823.0 hours</b>	

**EXHIBIT B**  
**Mountain Rides FY2022 Operating Budget**

<b>Income</b>	
Total 41000 · Federal Funding	\$ 2,549,097
Total 43000 · Local Funding	765,660
Total 44000 · Fares	130,000
Total 45000 · Other Revenue	79,650
Total 47000 · Private Donations	9,750
48000 - Transfer from Housing Fund	19,200
49000 · Interest Income	3,000
50000 · Excess Operating Funds	80,000
<b>Total Income</b>	<b>\$ 3,636,357</b>
<b>Expenses</b>	
Total 51000 · Payroll Expenses	\$ 2,651,540
Total 52000 · Insurance Expense	148,047
Total 53000 · Professional Fees	46,800
Total 54000 · Equipment/Tools	10,000
Total 55000 · Rent and Utilities	25,000
Total 56000 · Supplies	38,000
Total 57000 · Repairs and Maint.	41,000
Total 58000 · Communications Exp.	25,300
Total 59000 · Travel and Training	30,090
Total 60000 · Business Expenses	11,700
Total 61000 · Advertising	30,880
Total 62000 · Mrktg and Promotion	29,000
Total 63000 · Printing and Repr.	13,000
64000 · Fuel Expense	350,000
Total 65000 · Vehicle Maintenance	186,000
69500 · Contribution to Fund Balance	-
<b>Total Expense</b>	<b>\$ 3,636,357</b>
<b>Net Surplus (Deficit)</b>	<b>\$ -</b>





## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Recommendation To Authorize Short-term Extension of the Solid Waste Franchise Agreement with Clear Creek Disposal**

#### Recommendation and Summary

Staff is recommending a short-term extension of the Solid Waste Franchise Agreement in order to complete due diligence activities associated with the next (10-year) franchise agreement.

**"I move to approve the third short-term extension agreement with Clear Creek Disposal."**

The reasons for the recommendation are as follows:

- A public hearing is scheduled on October 18<sup>th</sup> for the ten-year franchise agreement with updated costing. Following the hearing, the city must notice for a 30-day period before the new franchise agreement becomes final.
- This short-term agreement will ensure the continued collection of solid waste and recyclable materials.
- This approach will avoid the potential of multiple customer rate adjustments during the same year.

#### Introduction

The Council approved an initial short-term extension during the April 5<sup>th</sup> meeting. Staff requested this short-term extension in order to complete due diligence associated with the new cardboard compacter located near the YMCA. Staff has recently received the updated information and is scheduling the public hearing on October 18<sup>th</sup>. Following the public hearing, there is a required 30-day notice requirement before final adoption of the franchise agreement.

#### History and Analysis

Staff did complete community outreach (attachment) with approximately 273 participants. There was strong support (71.1%) to move to a cardboard compacter.

Staff has been working with Clear Creek Disposal to evaluate service enhancements associated with a new Franchise Agreement. This evaluation has been in partnership with the City of Hailey, Blaine County, Southern Idaho Solid Waste District and interested non-profit partners such as the Environmental Resource Center, Sun Valley Institute for Resilience and Ketchum Sustainability Advisory Committee.

A waste audit for Blaine County conducted by Warm Springs Consulting concluded there were two major opportunity areas to explore:

- 23.5% of waste stream consisted of organic materials.
- 18.1% included recyclable materials such as cardboard, paper and plastic.

In addition to those opportunities, two other related topics were explored:

- How to reduce the contamination and other negative impacts associated with the community drop off recycling sites.
- How to reduce the occurrence of bears and other animals being attracted to trash containers, which in many instances results in euthanizing those animals.

The group evaluated multiple service scenarios and **initially** recommended the following new services:

- Curbside co-mingled recycling versus the current approach where residents must sort their recyclables. National evidence and experience in other western communities have demonstrated that with this change it can result in 65%-100% increase of recyclable material. The new service would also allow for the collection of cardboard at the curbside. Customers would receive a new container on wheels. It would be collected every other week.
- Curbside collection of organic materials (food/yard waste). Customers would receive a cart and pickup would occur every other week (off-set with comingled recycling).
- Collection of glass would still occur at drop-off sites.

These recommendations carry logistical/role changes between Blaine County and the Southern Idaho Waste District at the Ohio Gulch Facility. The details were discussed at the recent joint meeting. For Clear Creek Disposal there would be operational changes ranging from the need to purchase and distribute additional carts as well as new trucks. All of this would result in an increase in monthly costs for customers.

Based on feedback from the Blaine County Commissioners and the City of Hailey, staff is recommending the following **REVISED** course of action:

#### **Short-term**

- Transition current cardboard drop off location from numerous open dumpsters to one compacter system.
- Evaluate new and consistent downtown trash/recycling containers.
- Offer the ability for customers to purchase wildlife proof containers, but do not mandate.
- Conduct community outreach to gain feedback on (1) potential composting program, (2) potential new cardboard curbside service, and (3) interest in more significant changes to recycling such as co-mingled collection from both current recycling households and non-recycling.
- Return to the Council with findings from community input.
- Return to the Council with an updated 10-year franchise agreement that calls for an annual evaluation/implementation to any future recycling service changes and associated customer charges.

#### **Mid-term (next 1-2 years)**

- Based on community feedback, implement future service changes such as composting, curbside cardboard or co-mingled recycling.

#### Sustainability Impact

The Ketchum Sustainability Action Plan lists these potential service improvements as items to explore to reduce the amount of solid waste going to the regional landfill.

#### Financial Impact

Clear Creek has proposed an initial (14%) rate adjustment to address inflation in costs associated with existing service as there has not been a rate adjustment in several years. Clear Creek has developed an initial cost estimate for each associated service enhancement. However, verification with Idaho Power is necessary to finalize.

#### Attachments:

1. Third Extension Agreement

**THIRD EXTENSION AGREEMENT  
TO PERFORM SOLID WASTE COLLECTION AND DISPOSAL SERVICES**

**PARTIES:**

City of Ketchum	CITY	PO Box 2315 Ketchum, ID 83340
Obras, LLC dba Clear Creek Disposal	CLEAR CREEK or FRANCHISEE	PO Box 130 Ketchum, ID 83340

THIS THIRD EXTENSION AGREEMENT (“3rd Extension”), is made and entered into between the City of Ketchum, a municipal corporation of the State of Idaho (“City”), and Obras, LLC dba Clear Creek Disposal, an Idaho limited liability company (“Clear Creek” or “Franchisee”), for the purpose of extending the existing solid waste collection and disposal services within the City of Ketchum.

1. The City of Ketchum (City) and Obras, LLC, dba as Clear Creek Disposal (Clear Creek) are parties to a *Waste Collection Services Agreement*, an agreement for solid waste collection and disposal services, dated May 2, 2011 (Agreement).
2. The Agreement has a term ending at midnight on May 1, 2021, with an extension ending at midnight on August 1, 2021. The parties entered into a second short-term extension of the services and terms of that Agreement while a new long-term Franchise Agreement is negotiated and prepared, which expired on midnight on October 1, 2021.
3. The Parties hereby agree to a third short-term extension to ensure continuation of services provided for under the Agreement, under the same and existing terms and conditions, until midnight on December 6<sup>th</sup>, 2021.
4. Effective Date: this Extension shall be effective retroactive to October 1<sup>st</sup>, 2021.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

City of Ketchum

\_\_\_\_\_  
Neil Bradshaw, Mayor

ATTEST:

\_\_\_\_\_  
Tara Fenwick, City Clerk

Obras, LLC dba Clear Creek Disposal

\_\_\_\_\_  
Mike Goitiandia, Managing Member



## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Receive Update and Provide Direction to Staff Regarding Scramble Pedestrian Crossing at Main Street and Sun Valley Road**

#### Recommendation and Summary

City staff is coordinating with HDR to complete a re-timing of all intersections on Main Street. The contract assumes “as-is operations” of the scramble pedestrian crosswalk at Main Street and Sun Valley Road. Should City Council wish to revert to the previous configuration, it is most efficient to make that determination now before the timing plan is completed.

The reasons for the recommendation are as follows:

- Signal operation at Sun Valley Road and Main Street has recently been changed from a traditional pedestrian cross walk to a Scramble which is coordinated with the HAWK pedestrian crosswalk at 4<sup>th</sup> street.
- The City Council recently approved funding for HDR to complete a new signal timing plan that will determine the optimum cycle length for each light within the Main Street corridor.
- Should the Council wish to alter the pedestrian cross walk at Sun Valley Road and Main Street, it would be most financially efficient to do so now. HDR plans to complete the work within 4 weeks, therefore, time is of the essence.

#### Introduction and History

Timing plans are developed by analyzing traffic volume and traffic direction on a given street or corridor during a given time of the day. A typical traffic signal uses timing plans based on the time of day; AM peak period, PM peak period and off-peak period. A five-step process is used when creating a timing plan. These steps include data collection, optimization/modeling, implementation, evaluation and refinement.

With the addition of the pedestrian scramble at Sun Valley Road and the HAWK on 4<sup>th</sup> Street, the existing Main Street corridor timing plan is out-of-date. The signals within the corridor are no longer sequenced with current traffic patterns. The signal timing plan will utilize recently collected traffic data to develop a timing plan based on the existing traffic patterns of the corridor, and optimize the signal sequencing and cycle length for AM and PM peak times.

During the September 20<sup>th</sup> meeting, the City Council approved HDR to complete the timing plan. HDR has completed the as-is traffic counts and is prepared to begin the analysis to complete the plan. City staff wanted to check-in with the Council to make sure there is support to continue with the scramble pedestrian crosswalk for the mid-term. There would be added costs should the city wish to revert to the previous traditional pedestrian crosswalk as HDR is assuming current scramble configuration with regard to the new timing plan.

### ***Sun Valley Road/Main Street Signal Before Scramble***

- Pedestrian crossing permitted east-west during same traffic movement, with north-south movements following turn movements (i.e. 2x's per signal cycle but opposite directions).
- Pedestrian walk time was 25 seconds during parallel movement. The entire cycle time was 100 seconds. There was no timing plan as signal ran on detection alone.

### ***SV and Main Signal with HAWK @ Main/4th***

- Pedestrian crossing permitted only 1x during cycle length, but all movement occurs at once.
- Pedestrian walk time is 31 seconds (due to diagonal). Entire cycle length varies as there are five different plans developed.
  - (1) 8:00 am to 9:00 am – 130 second cycle – NB movement favored
  - (2) 9:00 am to 1:30 pm – 118 second cycle – more balanced, any extra time is dumped/added to the NB movement based on detection
  - (3) 1:30 pm to 3:45 pm – 118 second cycle – more balanced, any extra time is dumped/added to SB movement based on detection
  - (4) 3:45 pm to 8:00 pm – 130 second cycle – SB movement favored
  - (5) 8:00 pm to 8:00 am – 66 second maximum cycle – running free using detection only

### ***HAWK (4<sup>th</sup> Street/Main Street)***

- Radar detection is not working properly by allowing two crossings per signal cycle at Main and Sun Valley Road. It is currently only happening once per cycle.
- The pedestrian movement of the HAWK currently occurs ahead of the Scramble at the same time as the EB left turn movement onto SH-75 (because this is the lightest movement) to prevent a large que between 4th and SV Road. It is not occurring at the same time as the Scramble.

### **Sustainability Impact**

Improved signal timing reduces wait time and idling at intersections.

### **Financial Impact**

Current timing plan is fully funded. Should the city request changing back to traditional pedestrian crossing at Sun Valley Road, additional funds would be required to re-time Main Street intersections.



## City of Ketchum

September 14, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Recommendation to Alter the City Alcohol License Expiration Date**

#### Recommendation and Summary

Staff is recommending the council alter the current alcohol license expiration date by adopting the following motion:

***“I move to approve the second reading of Ordinance No. 1218.”***

The reason for the recommendation is as follows:

- To relieve the burden on business owners during the yearly liquor licensing.
- Many cities stagger the expiration date of the city alcohol license to give business owners ample opportunity to receive their state and county licenses.

#### Introduction and History

As per Ordinance 882, city liquor licenses expire on the same day as state and county licenses. To apply and receive a city license the applicant must present a renewed state and county liquor license. Excessive time was spent tracking down state and county liquor licenses so applications could come before council without the city license lapsing. The changes to Ordinance 882 are underlined as follows:

- AN ORDINANCE OF THE CITY OF KETCHUM, IDAHO, AMENDING CHAPTER 5.04 OF THE KETCHUM CITY CODE PERTAINING TO THE DATE OF RENEWING CITY RETAIL ALCOHOLIC BEVERAGE LICENSE TO COINCIDE WITH FALL ONE (1) MONTH AFTER THE STATE AND COUNTY RENEWAL DATES; REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT THEREWITH; AND, PROVIDING AN EFFECTIVE DATE.
- Each license shall be issued for a year beginning at one minute past twelve a.m. on ~~August 1~~ September 1 through ~~July 31~~ August 31, provided, however, should a license be issued for less than a full year, the license fee shall be prorated in accordance with the actual months of issuance. There shall be no refunds on any license issued.

#### Sustainability Impact

There is no sustainability impact arising from this reporting.

Financial Impact

Liquor licensing fees will primarily be reported in August, instead of July.

Attachments

Original Ordinance 882 and New Ordinance 1218

ORDINANCE NO. 882

AN ORDINANCE OF THE CITY OF KETCHUM, IDAHO, AMENDING CHAPTER 5.04 OF THE KETCHUM CITY CODE PERTAINING TO THE DATE OF RENEWING CITY RETAIL ALCOHOLIC BEVERAGE LICENSE TO COINCIDE WITH THE STATE RENEWAL DATES; REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT THEREWITH; AND, PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO:

**SECTION 1.** Section 5.04.50 is amended as follows:

**5.04.050 License Fee**

The license fee imposed and collected for each license required under this Ordinance shall be as follows:

<b>License Classification</b>	<b>Annual License Fee</b>
<b>Beer</b>	
1. Retail sale of draft beer, or bottled or canned beer to be consumed on premises	\$200.00
2. Retail sale of bottled or canned beer to not be consumed on premises	\$50.00
<b>Wine</b>	
1. Retail sale of wine by the bottle or glass to be consumed on premises	\$200.00
2. Retail sale of wine by the bottle not to be consumed on the premises	\$200.00
<b>Liquor License</b>	
Retail sale of liquor by-the-drink	\$560.00

Each license shall be issued for a ~~calendar~~ year beginning at one minute past twelve a.m. on ~~January 15 through January 14~~ August 1 through July 31, provided, however, should a license be issued for less than a full ~~calendar~~ year, the license fee shall be prorated in accordance with the actual months of issuance. There shall be no refunds on any license issued.

**SECTION 2. REPEALER CLAUSE.** All ordinances and parts of ordinances in conflict with this Ordinance are hereby repealed.

**SECTION 2. EFFECTIVE DATE.** This Ordinance shall be in full force from and after its passage and approval and publication.



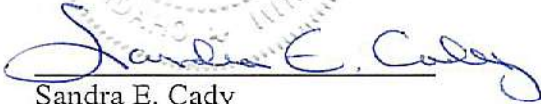
PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR OF KETCHUM,  
IDAHO on this 17th day of September, 2001.



David C. Hutchinson  
Mayor



ATTEST:



Sandra E. Cady  
City Clerk

Publish: Idaho Mountain Express  
September 26, 2001



ORDINANCE NO. 1218

AN ORDINANCE OF THE CITY OF KETCHUM, IDAHO, AMENDING CHAPTER 5.04 OF THE KETCHUM CITY CODE PERTAINING TO THE DATE OF RENEWING CITY RETAIL ALCOHOLIC BEVERAGE LICENSE TO FALL ONE (1) MONTH AFTER THE STATE AND COUNTY RENEWAL DATES; REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT THEREWITH; AND, PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF KETCHUM, IDAHO:

**SECTION 1.** Section 5.04.50 is amended as follows:

**5.04.050 License Fee**

The license fee imposed and collected for each license required under this Ordinance shall be as follows:

<b>License Classification</b>	<b>Annual License Fee</b>
<b>Beer</b>	
1. Retail sale of draft beer, or bottled or canned beer to be consumed on premises	\$200.00
2. Retail sale of bottled or canned beer to not be consumed on premises	\$50.00
<b>Wine</b>	
1. Retail sale of wine by the bottle or glass to be consumed on premises	\$200.00
2. Retail sale of wine by the bottle not to be consumed on the premises	\$200.00
<b>Liquor License</b>	
Retail sale of liquor by-the-drink	\$560.00

Each license shall be issued for a year beginning at one minute past twelve a.m. on September 1 through August 31, provided, however, should a license be issued for less than a full year, the license fee shall be prorated in accordance with the actual months of issuance. There shall be no refunds on any license issued.

**SECTION 2. REPEALER CLAUSE.** All ordinances and parts of ordinances in conflict with this Ordinance are hereby repealed.

**SECTION 2. EFFECTIVE DATE.** This Ordinance shall be in full force from and after its passage and approval and publication.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR OF KETCHUM,  
IDAHO on this 20th day of September 2021.

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Neil Bradshaw  
Mayor

ATTEST:

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Tara Fenwick  
City Clerk



## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

**Recommendation To Approve the Third and Final Reading of Ordinance 1224 Amending KMC Section 17.140.090 B and C Exempt Communication Facilities, to Exempt Public Safety Antennas and Any Wireless Communication Facility Located on a Public Use Building and Amend the City of Ketchum Official Zoning District Map to Change the Zoning of Block 1 of the Warm Springs Ranch Large Block Plat from T, Tourist Designation to GR-L, General Residential Low Density.**

### Recommendation and Summary

Staff is recommending the Council conduct a public hearing and approve the third and final reading of Ordinance 1224 and adopt the following motion:

**“I move to approve the third and final reading of Ordinance 1224 and read by title only by the City Clerk”**

The reasons for the recommendation are as follows:

- On August 10, 2021, the Planning and Zoning Commission recommended approval of the proposed text amendment with modifications and approval of the District Zoning Map amendment.
- The proposed text amendment facilitates the installation of emergency communication equipment on the new fire station.
- The proposed amendment to the District Zoning Map implements the rezoning previously approved by the City Council for Warm Springs Ranch Block 1.

### PROPOSED AMENDMENTS

Two amendments are proposed by staff for City Council approval. One amendment is to the Zoning Ordinance and one amendment is to the District Zoning Map that identifies zoning for properties in Ketchum. The following outlines the proposed amendments.

#### Amendment to KMC 17.140.090 to exempt wireless communication facilities for public safety purposes

Currently, under KMC 17.140, Wireless Communication Facilities, the installation of emergency communication equipment for public safety facilities (Police and Fire) is subject to an extensive permitting process. Unlike commercial communication devices where the location of the device is discretionary, the placement and location of public safety communication equipment is fixed and installed at a fire station or other public facility.

With the construction of the new Ketchum fire station, emergency communications equipment will be installed. Without this text amendment, installation of the emergency communications equipment would

necessitate a detailed study, analysis, and conditional use permit. This level of review is typically required to determine if the proposed location of a commercial communication device is appropriate and necessary. There is no question that emergency communication equipment is necessary and must be installed at a public safety facility. There is no need for an extensive review process to determine if emergency communication equipment at a public safety facility is necessary.

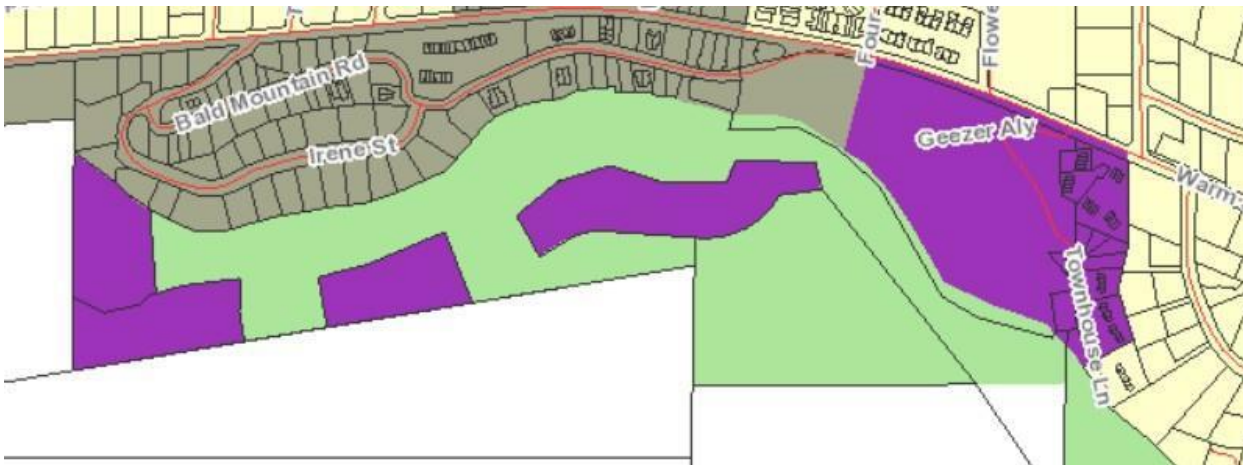
Planning and Zoning Commission Action

On August 10, 2021, the Planning and Zoning Commission conducted a public hearing on the proposed amendment. The Commission recommended City Council approve the amendment provided new language is added that requires Planning and Zoning Commission review for any equipment that exceeds 10 feet in height above the roof of a building. This provision has been added to the proposed amendment. This will not impact installation of equipment for the fire station since that equipment is under 3 feet in height.

Amendment to the District Zoning Map

This proposed amendment is a procedural action to reflect the rezoning approved by the City Council and Planning and Zoning Commission for the Warm Springs Ranch Block 1. Block 1 of Warm Springs Ranch was rezoned from (T) Tourist Zone to (GR-L) General Low Density Residential as part of the approved Development and Rezoning Agreement. This proposed action officially changes the Zoning District Map to reflect the rezoning. The Official Zoning District Map would be changed as follows:

Existing (T) Tourist Zoning Designation



Proposed (GR-L) General Residential Low Density Zoning Designation



### PROCESS

Consistent with KMC 17.152, the Commission conducted a public hearing on the proposed amendment to the Zoning Ordinance and District Zoning Map and recommended approval to the City Council. Notice of the City Council public hearing was published in the Mountain Express on August 18, 2021, and notice was sent in accordance with KMC Chapter 17.152. The Council can approve, amend or reject the proposed amendments.

### PUBLIC INPUT

No written public comment was received prior to publication of this staff report for the September 7, 2021, hearing. Any written public comment received prior to the public hearing will be distributed to the Council and included in the public record.

### FINANCIAL IMPACT

There is no financial impact because of the proposed recommendation.

### Attachments:

- A. Proposed Ordinance 1224
- B. Proposed Publication Summary of Ordinance 1224

**ORDINANCE NO 1224**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17 THE ZONING ORDINANCE OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.140.090 B AND C, EXEMPT COMMUNICATION FACILITIES, AND AMENDING THE CITY OF KETCHUM DISTRICT ZONING MAP TO CHANGE THE ZONING OF BLOCK 1 OF THE WARM SPRINGS LARGE BLOCK PLAT FROM T-TOURST ZONING TO GR-L-GENERAL RESIDENTIAL LOW DENISTY, PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance and the District Zoning Map pursuant to Idaho Code § 67-6511; and

WHEREAS, Title 17, the Zoning Code, establishes standards to regulate the installation of wireless communication facilities in Ketchum; and

WHEREAS, a code amendment is necessary to ensure public safety communication equipment is installed in appropriate locations to support emergency operations; and

WHEREAS, on April 28, 2021, the City entered into Development and Rezoning Agreement 20609 that rezoned Block 1 of the Warm Springs Ranch Large Block Plat from T-Tourist Zoning to GR-L- General Residential Low Density; and

WHEREAS, the change to the District Zoning Map implements the rezoning approved in Development and Rezoning Agreement 20609 previously approved by both the Planning and Zoning Commission and City Council; and

WHEREAS, the Planning and Zoning Commission conducted a public hearing on the proposed text amendment and amendment to the District Zoning Map on August 10, 2021; and

WHEREAS, the City Council, having considered the recommendation of the Planning and Zoning Commission and any comments from the public at a public hearing on September 7, 2021, having determined that it is in the best interests of the public to adopt the proposed amendments to Title 17 and the District Zoning Map:

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM:**

**Section 1: AMENDMENT TO SECTION 17.140.090 B and C: EXEMPT COMMUNICATION FACILITIES:**

A. The requirements imposed by this title shall not apply to antennas designed to receive video programming signals from direct broadcast satellite (DBS) services, multichannel multipoint



distribution providers (MMDS), or television broadcast stations (TVBS); provided, that all of the following conditions are met:

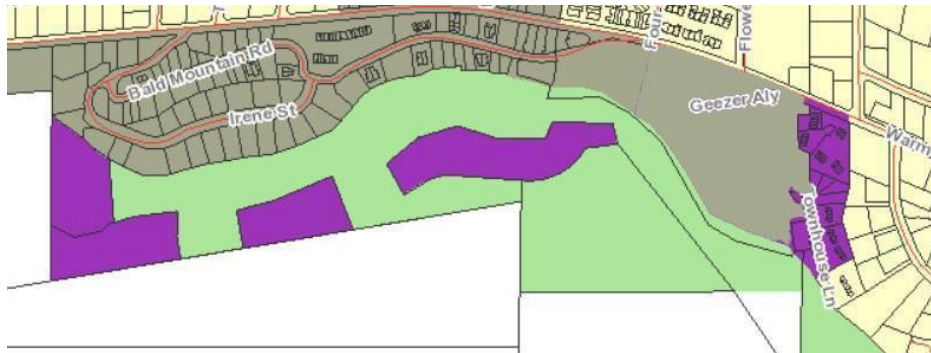
1. The antenna measures thirty-nine inches (39") (1 meter) or less in diameter.
2. The antenna, if attached to a building, shall comply with subsections 17.140.040B1 and B2 of this chapter.
3. The antenna is attached to a freestanding tower measuring less than twelve feet (12') in height.

B. **Additionally** The requirements of this title shall not apply to wi-fi facilities serving an individual building or development or a wireless communications facility that measures less than four (4) cubic feet in size.

**C. Antennas and any wireless communication facility used for public safety located on a public use building shall be exempt from the requirements of Chapter 17.140 provided such facility does not exceed 10 feet in height above the building roof. Facilities over 10 feet in height shall require design review approval pursuant to KMC Chapter 17.96-Design Review.**

**Section 2. AMENDMENT TO DISTRICT ZONING MAP:**

Block 1 of the Warm Spring Large Block Plat shall be changed from T-Tourist Zoning District to GR-L-General Residential Low Density and the following map amendment shall be made to the District Zoning Map:



<b>Zoning</b>	LR Limited Residential
<b>Zoning Districts</b>	LR-1 Limited Residential 1 Ac.
AF Agricultural & Forestry	LR-2 Limited Residential 2 Ac.
CC Community Core (See Inset)	RU Recreation Use
GR-H General Residential High Density	STO-1 Short Term Occupancy 1 Ac
GR-L General Residential Low Density	STO-4 Short Term Occupancy .4 Ac
LI-1 Light Industrial 1	STO-H Short Term Occupancy High Density
LI-2 Light Industrial 2	T Tourist
LI-3 Light Industrial 3	T-3000 Tourist 3000
	T-4000 Tourist 4000

**Section 3. REPEALER CLAUSE.** All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

**Section 4. SAVINGS AND SEVERABILITY CLAUSE.** It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be invalid for any reason by a Court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

**Section 5. PUBLICATION.** This Ordinance, or a summary thereof in compliance with Section 50-901A, Idaho Code, substantially in the form attached hereto as Exhibit A, shall be published once in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

**Section 6. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED by the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho on this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

APPROVED:

\_\_\_\_\_  
Neil Bradshaw, Mayor

ATTEST:

\_\_\_\_\_  
Tara Fenwick, City Clerk

**ORDINANCE NO. 1224**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17 THE ZONING ORDINANCE, OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.140.090 B AND C, EXEMPT COMMUNICATION FACILITIES, AND AMENDING THE CITY OF KETCHUM DISTRICT ZONING MAP TO CHANGE THE ZONING OF BLOCK 1 OF THE WARM SPRINGS LARGE BLOCK PLAT FROM T-TOURST ZONING TO GR-L-GENERAL RESIDENTIAL LOW DENISTY, PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

A summary of the principal provisions of Ordinance No. 1224 of the City of Ketchum, Blaine County, Idaho, adopted on \_\_\_\_\_ 2021, is as follows:

- SECTION 1.** Amends Section 17.140.090 A and B, Exempt Communications Facilities, to exempt antennas and any wireless communication facility used for public safety located on a public use building shall be exempt from the requirements of Chapter 17.140 provided such facility does not exceed 10 feet in height above the building roof. Facilities over 10 feet in height shall require design review approval pursuant to 17.
  
- SECTION 2.** Amends the Ketchum District Zoning Map Amends the Ketchum District Zoning Map District, to change Block 1 of the Warm Spring Large Block Plat T-Tourist Zoning District to GR-L-General Residential Low Density.
  
- SECTION 3.** Provides a repealer clause
  
- SECTION 4.** Provides a savings and severability clause.
  
- SECTION 5.** Provides for publication of this Ordinance by Summary.
  
- SECTION 6.** Establishes an effective date.

The full text of this Ordinance is available at the City Clerk’s Office, Ketchum City Hall, 480 East Avenue North, Ketchum, Idaho 83340 and will be provided to any citizen upon personal request during normal office hours.

ATTEST:

APPROVED:

\_\_\_\_\_  
Tara Fenwick, City Clerk

\_\_\_\_\_  
Neil Bradshaw, Mayor



October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

**Recommendation to Hold a Public Hearing and Affirm the Planning & Zoning Commission’s Approval for the Bluebird Village Community Housing Project Design, Maximum Building Height and Fourth Floor**

Recommendation and Summary

After considering the project plans, Staff’s analysis, the applicant’s presentation, and public comment, Staff recommends the Ketchum City Council move to: (1) affirm the Planning & Zoning Commission’s approval of the Bluebird Village Community Housing Project Design and (2) approve the development’s building height and fourth floor.

**Recommended Motion: “I move to affirm the Planning & Zoning Commission’s approval of the Bluebird Village Community Housing Project Design and approve the development’s building height and fourth floor and direct staff to return with findings of fact”**

The reasons for the recommendation are as follows:

- Footnote No. 2 of Ketchum Municipal Code §17.12.040 requires that all buildings greater than 48 feet or that contain a fourth floor receive final review and approval from the City Council.
- The Bluebird Village Community Housing Project contains a fourth floor and both buildings within the development exceed 48 feet in height.
- On August 10<sup>th</sup>, 2021, Planning & Zoning Commission approved the Bluebird Village Community Housing Project Design Review (Application File No. P21-063) conditioned upon the City Council’s approval of the development’s building height and fourth floor.

Introduction and History

**Bluebird Village Community Housing Project**

**51 New Affordable Rental Housing Units in Downtown Ketchum**

The applicant, GMD Development in partnership with the Ketchum Community Development Corporation, is proposing to develop a community housing project with 51 deed-restricted community housing units. The project site consists of two City-owned parcels—Lot 3A (City Hall) and the west 75 feet of Lots 7 and 8 (rear parking lot). The development site is located within the Retail Core Subdistrict of the Community Core (CC-1). The community housing project consists of two buildings, Building A on the City Hall parcel and Building B on the parking lot, connected by a walkway across the Block 45 alley.

Bluebird Village project balances two key community objectives—preserving downtown’s vibrancy and increasing Ketchum’s supply of affordable housing units. This project will provide the social infrastructure that Ketchum so desperately needs in a high-quality, inclusive development downtown that is easily accessible by foot, bike, or transit. Bluebird Village will enhance downtown’s vibrancy, support local businesses, and help maintain Ketchum’s community by providing 51 affordable, rental units for locals who live and work in town.

### **Community Housing Options for Ketchum Locals Living and Working in Town**

*We value a strong sense of community. Furthermore, we wish to be a place with a strong economy, vibrant downtown, diverse options for housing, and a varied demographic of people who live, work, and visit here.*

--Community Vision, City of Ketchum 2014 Comprehensive Plan

For 52 years, Ketchum has acknowledged the need to diversify its housing options within town to retain its permanent population and labor force. The City's first policy statement emphasizing the community's critical need for affordable housing was adopted in 1969 in a resolution stating, "employment in the Ketchum area has drastically increased, to the end that a severe housing shortage exists for low-income families."

By the time Ketchum had adopted its first Comprehensive Plan in 1983, the community had experienced the consequences that resulted from extreme housing pressure created by second homes and speculative development. The private sector had done little to develop affordable housing units for residents with lower or moderate incomes. The 1983 Comprehensive Plan stated that the city should institute incentives to encourage the construction of more employee and affordable housing units.

The housing crisis escalated in Ketchum without arrest for twenty years. Focusing on housing's importance in a healthy community, the 2001 Comprehensive Plan stated that, "The City of Ketchum recognizes the need for a balanced and sustainable housing supply for residents, employees and visitors. An adequate and diverse housing supply in Ketchum is needed to ensure the viability of town life and businesses." Healthy communities depend on adequate housing options to provide permanent living units for a diverse group of people making it possible to live and work within town year-round.

The 2014 Comprehensive Plan identified housing as one of the ten core values important to the community's future emphasizing that housing should be integrated into the downtown core. The community wanted people who worked in Ketchum to have housing options to live in town. The 2014 Comprehensive Plan recognized community housing's critical role in supporting a vibrant downtown, strong economy, and a year-round population.

### **Community Housing Development Incentives**

Throughout the years, the zoning code was amended to encourage the development of affordable community housing downtown. These amendments to Ketchum's zoning code reflect a willingness to consider trade-offs of mass and scale impacts if other community objectives like increasing the supply of community housing units are met.

Since 1994, deed-restricted community housing has been encouraged through development incentives for projects in downtown Ketchum. The first regulations to incentivize development of deed-restricted housing for Ketchum's local, full-time, working population were enacted in 1994. Those incentives allowed additional height and floor area for community housing projects. Between 1994 and 2019, additional development incentives were incorporated into the zoning code to promote and develop community housing projects within the Community Core. Ketchum has long considered community housing projects and units to be a valuable and encouraged use within downtown developments.

The zoning code provides the following development incentives to encourage community housing projects downtown:

- No parking is required for community housing units.
- Community housing projects are eligible for 10 more feet of building height than market-rate developments. 52 feet is the maximum permitted building height for 100% community housing projects. Market-rate developments have a maximum permitted building height of 42 feet.

- Community housing projects may exceed the maximum permitted 2.25 gross FAR subject to Design Review approval.

## Analysis

### **Entitlement Process: Roles and Decisions**

Design Review is required for the development of new mixed-use buildings in all zoning districts within the city (KMC §17.96.010.A4). The Planning & Zoning Commission has the authority to review and approve Design Review applications pursuant to Ketchum Municipal Code §17.96.030.B. The Planning & Zoning Commission approved the Bluebird Village Community Housing Project Design Review (Application File No. P21-063) during their regular meeting on August 10<sup>th</sup>, 2021, and adopted the associated Findings of Fact, Conclusions of Law, and Decision during a special meeting on August 24<sup>th</sup>, 2021. These findings are included as Attachment B to the Staff Report. The Commission's Design Review approval for the community housing project is conditioned upon the City Council's approval of the development's building height and fourth floor. Footnote No. 2 of Ketchum Municipal Code §17.12.040 requires that all buildings greater than 48 feet or that contain a fourth floor receive final review and approval from the City Council.

The project complies with all zoning and dimensional standards for community housing developments in the Community Core (KMC §17.12.040) except for the 10-foot fourth floor setback. The city has proposed a zoning code text amendment for projects that dedicate all residential use to community housing. The Commission's Design Review approval is contingent upon the City Council's approval of the zoning code text amendment proposing to modify the fourth-floor setback requirement for community housing project.

The project also requires a Right-of-Way (ROW) Encroachment Permit for the snowmelt system proposed to be installed for the sidewalks along East Avenue and 5th Street, the walkway connecting the two buildings over the alleyway, the metal awnings framing the retail units projecting over the property line along East Avenue, and window shades that pop out slightly from the west façade. The City Council reviews and approves all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The City Council must review and approve an encroachment agreement for the proposed encroachments prior to issuance of a building permit for the project.

The approval process for a project consists of several steps. The first step is to obtain planning permits. This process is comprised of the Planning & Zoning Commission's and City Council's quasi-judicial review of all planning and zoning applications required for a certain project. Once a project has received all required land use approvals, the project moves to the second step, building permit review and approval. The plans submitted for the planning process are not the same as those submitted for building permit. The plans for the planning process focus on compliance with sections of the Ketchum Municipal Code that relate to planning permit applications. While the plans may address building code compliance, the planning process does not verify compliance with building and fire codes. After planning approvals, an applicant submits a separate application and set of plans for a building permit. Those plans are detailed and focus on compliance with all building, fire and right of way requirements. A separate review is performed by Idaho Department of Building and Safety and the City. These final project plans are submitted with the building permit application to ensure compliance with all applicable building, ADA, zoning, and fire codes. A building permit cannot be issued unless the project complies with all the codes.

### **Zoning Code History**

When the City of Ketchum first enacted a comprehensive zoning code through its adoption Ordinance No. 85 in 1965, the maximum permitted building height in the Community Core, then called the Business District, was 35 feet. It wasn't until 2000 through the City's adoption of Ordinance No. 849 that increases in maximum building height were permitted for certain roofing forms—38'-6" for flat roofs including parapet walls and 40' for pitched roofs with gable ends. The City's adoption of Ordinance 994 in 2006 established a form-based code for new developments downtown. Buildings were permitted a maximum of three floors under the form-based

code. A fourth floor was permitted if all uses above the ground floor were exclusively affordable residential units. The consolidation of the City's zoning code in 2015 through its adoption of Ordinance No. 1135 eliminated downtown's form-based code. Buildings of three stories or less were permitted a maximum building height of 42 feet. The maximum height for community housing projects eligible for a fourth floor was 50 feet. Ordinance No. 1162 adopted in 2016 eliminated regulations related to the number of permitted floors but maintained the same maximum permitted building heights for market-rate and community housing development projects. These ordinances both included the same footnote requiring that buildings exceeding 48 feet in height or containing a fourth floor receive final approval from the City Council. This footnote was added to ensure that the additional building height would meaningfully contribute to the character of Ketchum's built environment or meet key community objectives like the provision of community housing units. Ordinance No. 1202 adopted in 2019 increased the allowable building height permitted for community housing projects to a maximum of 52 feet.

### **Zoning & Dimensional Standards: Uses and Building Height/4<sup>th</sup> Floor**

#### *Permitted and Conditional Uses (Ketchum Municipal Code §17.12.020)*

Only pedestrian activated commercial uses like retail shops and restaurants are permitted on the ground-floor along the street frontage within developments in the Retail Core (CC-1) Zone (Ketchum Municipal Code §17.12.020). The Bluebird Village development includes ground-level retail units fronting East Avenue and 5<sup>th</sup> Street as well as a property management office on the first floor. The Planning and Zoning Commission approved Conditional Use Permit Application File No. P21-064 for the 304-square-foot property management office as required by Footnote No. 10 of Ketchum Municipal Code §17.12.020 on August 10<sup>th</sup>, 2021.

The upper levels of the Bluebird Village project will include 51 deed-restricted community housing units as well as amenities for the residents, including a rooftop deck, fitness center, and community room. Multi-family dwelling units are permitted within the Retail Core above the ground floor (KMC §17.12.020: Footnote 26). Developments in the CC-1 Zone that deed restrict all residential units above the first floor as community housing are qualified as 100% community housing projects (KMC §17.12.040: Footnote 1).

#### *Community Core Dimensional Standards (Ketchum Municipal Code §17.12.040)*

The project plans for the Bluebird Village Community Housing Project are included in the Staff Report as Attachment A. Sheet A2.04 of the project plans shows the maximum heights of the two buildings.

The maximum permitted building height for community housing projects in the Community Core is 52 feet (KMC §17.12.040). The Bluebird Village project contains a fourth floor and both buildings within the development exceed 48 feet in height—Building A is 50'-10" and Building B is 48'-3".

### **Planning & Zoning Commission's Design Review Approval**

During their deliberations on the Bluebird Village Community Housing Project, Commissioner Tim Carter stated, "One thing that's unavoidable about this project is that its big. This is a big change for town... The [affordable housing] problem that [this project] is meant to address is also big."

The zoning code allows community housing projects to exceed the maximum floor area and height permitted for market-rate projects. These development incentives were incorporated into zoning code to promote the development of community housing projects within downtown Ketchum. These increases in building size and mass are permitted at the Commission's discretion through Design Review.

The Commission found that the project's design and architectural features visually reduce the appearance of building bulk and mass to complement the scale and character of the surrounding built environment. The design utilizes both vertical wall and horizontal floor setbacks that move the building mass in and out from the property lines. Exterior materials change simultaneously with these setbacks to visually break up the building into distinct one-, two-, and three-story masses with visually distinguished façade designs. Upper-level

balconies are placed at the corners to reduce the development's rectangular bulk and soften its transition to neighboring buildings. Unlike existing downtown developments that cover the length of an entire Ketchum Townsite block, Bluebird incorporates an elevated walkway over the alley connecting the two main buildings. This approach accommodates space for light and air to move through building mass enhancing the development's transparency and creating a unique urban spatial experience that will visually engage pedestrians and activate the streetscape.

#### Sustainability Impact

Integrating affordable housing within the downtown commercial core in walking distance to jobs, stores, restaurants, and entertainment activities should decrease daily trips in and out of town currently made by commuters who work downtown but can't afford to live in Ketchum. Residential density within downtown near public transit services promotes walkable environments where people can connect to nearby neighborhoods by walking, biking, or commuting on the bus. Infill and redevelopment projects downtown decrease the need for costly infrastructure improvements, including new utility and transportation services. The Bluebird Village Community Housing Project incorporates sustainable building systems, including a roof-mounted solar panel system that will provide electricity for the development's common areas and heated sidewalks.

#### Public Comment

Two public comments related to this hearing have been received since the hearing notice was published on September 15, 2021. The comments are included on Attachment C.

#### Financial Impact

There is no financial requirement from the City related to this action.

#### Attachments:

- A. Bluebird Village Community Housing Development Project Plans
- B. Design Review Application File No. P21-063: Findings of Fact, Conclusions of Law, and Decision
- C. Public Comment
- D. Link to Planning and Zoning Commission Staff Report and Meeting Materials for the August 10, 2021, Meeting



Attachment A:  
Bluebird Village  
Community Housing  
Development  
Project Plans



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G0.00	PROJECT COVER
G1.00	VICINITY MAP
G2.00	VICINITY PHOTOS
G2.01	VICINITY PHOTOS
C0.00	CIVIL COVER
C0.01	CONTEXTUAL HEIGHTS EXHIBIT
C0.02	CONTEXTUAL HEIGHTS EXHIBIT - BLOCK 45
C0.03	SITE SURVEY
C0.20	DETAILS
C0.30	DETAILS
C1.00	PROPOSED GRADING, DRAINAGE, & UTILITIES PLAN
L1.0	STREETScape OVERVIEW
L2.0	SECOND FLOOR
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L4.0	STANDARD SPECIFICATIONS
A1.00	PROPOSED ARCHITECTURAL SITE PLAN
A1.01	PROPOSED ARCHITECTURAL SITE PLAN - GROUND LEVEL
A1.02	PROPOSED SECOND FLOOR PLAN
A1.03	PROPOSED THIRD FLOOR PLAN
A1.04	PROPOSED FOURTH FLOOR PLAN
A1.05	PROPOSED ROOF PLAN
A2.01	PROPOSED BUILDING ELEVATIONS - WEST & NORTH
A2.02	PROPOSED BUILDING ELEVATIONS - EAST & SOUTH
A2.03	PROPOSED BUILDING ELEVATIONS - ALLEY
A2.04	BUILDING HEIGHTS
A3.01	PROPOSED BUILDING SECTION
A6.00	FLOOR AREA + FLOOR AREA RATIO
A6.01	PROPOSED MASTER SIGNAGE PLAN
A6.02	FOURTH FLOOR SETBACK
A6.03	RIGHT OF WAY ENCROACHMENT + CONDITIONAL USE PLAN
A6.04	RIGHT OF WAY ENCROACHMENT + CONDITIONAL USE ELEVATIONS
A6.05	FRESH AIR (AC PORT) VENT PLAN
A6.12	PROPOSED SECOND FLOOR PLAN
A6.13	PROPOSED THIRD FLOOR PLAN
A6.14	PROPOSED FOURTH FLOOR PLAN
A9.00	PROPOSED EXTERIOR FINISHES
A9.01	PROPOSED SW CORNER VIEW
A9.02	PROPOSED EAST AVENUE FACADE
A9.03	PROPOSED NW CORNER VIEW
A9.04	PROPOSED FIFTH STREET FACADE
A9.05	PROPOSED NE CORNER VIEW
A9.06	PROPOSED SE CORNER VIEW
E0.00	LEGENDS, KEYS, NOTES
E1.00	PROPOSED ELECTRICAL SITE PLAN
E1.01	PROPOSED ELECTRICAL SITE PHOTOMETRIC PLAN
E1.04	PROPOSED 4TH FLOOR EXTERIOR LIGHTING PLAN
E2.00	PROPOSED SITE LIGHTING FIXTURE SCHEDULE + SPEC SHEETS
K1.00	PROPOSED CONSTRUCTION MANAGEMENT PLAN
K1.01	PROPOSED CONSTRUCTION MANAGEMENT PLAN

## MATERIAL SYMBOLS

PLAN AND SECTION	ELEVATION
EARTH / TOP SOIL	PLYWOOD
WASHED ROCK	FINISH WOOD
ASPHALT PAVING / ROADBED MATL.	SAND, PLASTER, GYPSUM BOARD
CONCRETE	BATT INSULATION
BRICK	BIBS INSULATION
CONCRETE MASONRY UNIT	RIGID INSULATION
CUT STONE	SPRAY FOAM INSULATION
STEEL	WALL - NEW CONSTRUCTION
ALUMINUM	WALL - EXISTING TO REMAIN
	WALL - TO BE DEMOLISHED
	SIDING - WOOD
	SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
	BRICK
	CONCRETE
	STUCCO
	GLASS
	CONCRETE MASONRY UNIT

## PROJECT TEAM

<b>OWNER:</b>	GMD Development Greg Dunfield 520 Pike Street, Suite 1010 Seattle, Washington 98101 greg@gmddevelopment.com	<b>LANDSCAPE ARCHITECT:</b>	BYLA Landscape Architects Chase Gouley PO Box 594 323 North Lewis Street, Suite N Ketchum, Idaho 83340 (208) 726-5907 chase@byla.us
<b>ARCHITECT:</b>	Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	<b>CIVIL ENGINEER:</b>	Galena Engineering, Inc. Sean Flynn 317 North River Street Hailey, Idaho 83333 (208) 788-1705 sflynn@galena-engineering.com
<b>GENERAL CONTRACTOR:</b>	Conrad Brothers Construction Paul Conrad PO Box 3432 1320 Heroic Road Hailey, ID 83333 (208) 726-3830 paul@conradbrothersconstruction.com		
<b>STRUCTURAL ENGINEER:</b>	Frost Structural Engineering Markell Bateman 1020 Lincoln Road Idaho Falls, ID 83401 (208) 227-8404 x 201 markellb@froststructural.com		

## PROJECT DATA

<b>LEGAL DESCRIPTION:</b>	LOT 3A, WEST 75 FEET OF LOT 7 & LOT 8, BLOCK 45, KETCHUM TOWNSITE, KETCHUM, IDAHO
<b>ZONING:</b>	CC-1 COMMUNITY CORE, RETAIL
<b>CONSTRUCTION TYPE:</b>	1ST GROUND FLOOR: TYPE I-A 2ND, 3RD & 4TH FLOOR: TYPE V-B
<b>OCCUPANCY:</b>	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
<b>BUILDING AREA (GROSS):</b>	GROUND FLOOR BLDG A: 14696 SF GROUND FLOOR BLDG B: 6745 SF 2ND FLOOR BLDG A: 12516 SF 2ND FLOOR BLDG B: 5311 SF 3RD FLOOR BLDG A: 12626 SF 3RD FLOOR BLDG B: 5422 SF 4TH FLOOR BLDG A: 8349 SF 4TH FLOOR BLDG B: 2742 SF TOTAL: 68407 SF
<b>FIRE SPRINKLER SYSTEM:</b>	NFPA 13 THROUGHOUT
<b>SITE AREA:</b>	LOT 3A: 16814 SF (.39 ACRE) WEST 75' OF LOTS 7 & 8: 8268 SF (.19 ACRE)
<b>CODES:</b>	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
<b>JURISDICTIONS:</b>	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

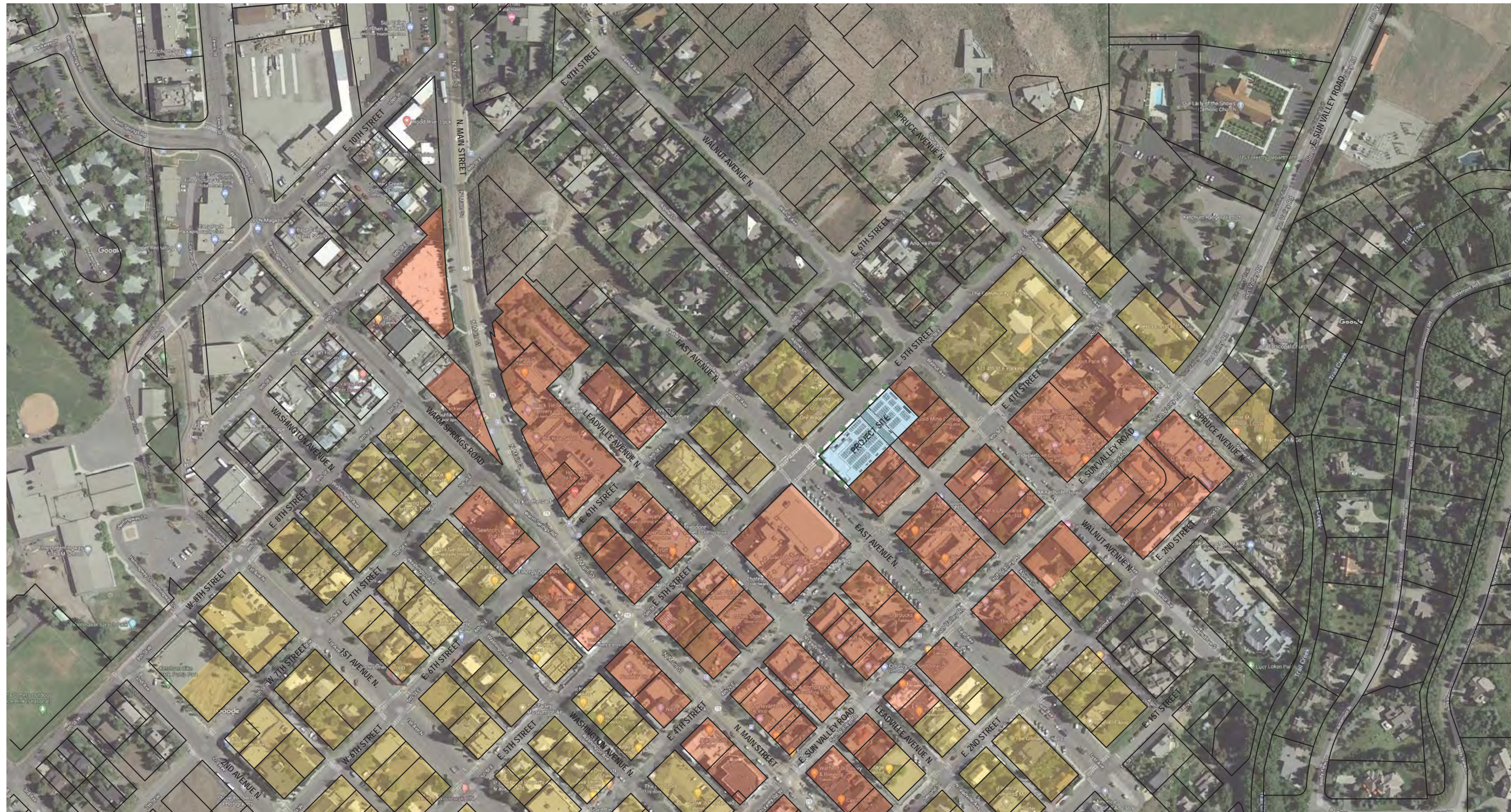
# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021







PROJECT NORTH TRUE NORTH

VICINITY MAP

- PROJECT SITE
- COMMUNITY CORE SUBDISTRICT 1 - RETAIL CORE
- COMMUNITY CORE SUBDISTRICT 2 - MIXED USE

SCALE: 1" = 100'-0"

# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW  
07/072021



Michael Dohy Associates, Architects PC





NW CORNER, EAST AVE. & FIFTH ST.



NE CORNER, FIFTH ST.



SW CORNER, EAST AVE. & 4TH ST.



SE VIEW, 4TH ST. & ALLEY

VICINITY PHOTOS

# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021







VIEW LOOKING WEST FROM ALLEY ALONG PROPERTY LINE



VIEW LOOKING SOUTHEAST ALONG PROPERTY LINE

VICINITY PHOTOS

# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

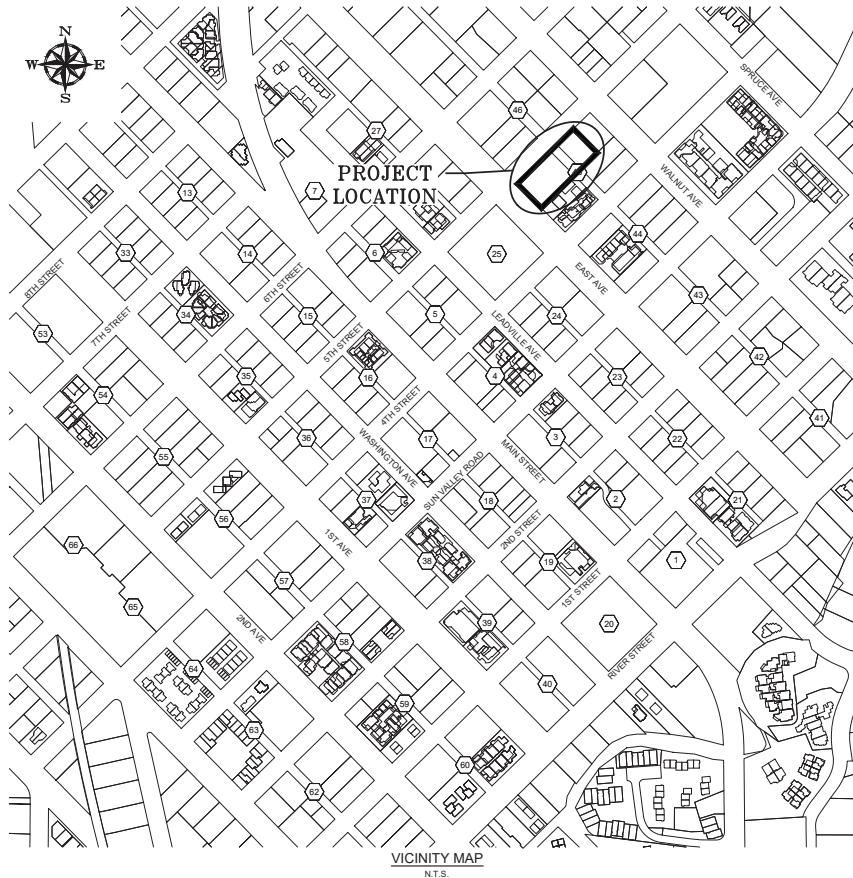
DESIGN REVIEW  
07/07/2021



# BLUEBIRD VILLAGE CITY OF KETCHUM, BLAINE COUNTY, IDAHO AUGUST 2021

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
  - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
  - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).



## SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C1.0	GRADING, DRAINAGE, AND UTILITY PLAN

## LEGEND

### EXISTING ITEMS

	Property Line		PB = Buried Power Line		AP = Angle Point
	Adjoiner's Lot Line		Overhead Power Line		BEG = Beginning
	Centerline		Light		CC = Curb Cut
	Idaho Power Easement		PBOX = Power Box		CL = Centerline
	FD5/8 = Found 5/8" Rebar		PP = Power Pole		COR = Corner
	FD1/2 = Found 1/2" Rebar		EVAULT = Power Vault		EOA = Edge of Asphalt
	CNTRL = Survey Control		OUT = Power Outlet		EOC = Edge of Concrete
	SET5/8 = Set 5/8" Rebar		SS = Sewer Main		EOP = Edge of Pavers
	SET MAG = Set Mag Nail		SMH = Sewer Manhole		FFE = Finished Floor @ Entry
	5' Contour Interval		Roof Drain		GFF = Garage Finished Floor
	1' Contour Interval		Storm Drain		IC = Illegible Cap
	Curb & Gutter		DWELL = Dry Well		LIP = Lip of Gutter
	FNC = Fence Line		KWCW = 8" Ketchum City Line (8")		NC = No Cap
	Building		KSW = 10" Ketchum Spring Line (10")		NG = Natural Ground
	Asphalt		KSW = 4" Ketchum Spring Line (4")		PC = Point of Curvature
	Bollard		WS = Water Service		PT = Point of Tangent
	Sign		WMTR = Water Meter		TA = Top of Asphalt
	Gas Main		FH = Fire Hydrant		TBC = Top Back of Curb
	Cable TV Buried		WV = Water Valve		TP = Top of Pavers
	Cable TV Riser				
	Buried Telephone Line				
	Telephone Riser				
	Syringa Manhole				

### PROPOSED ITEMS

	NEW ASPHALT		DRYWELL
	CONCRETE SIDEWALK		STORM DRAIN
	CONCRETE 6" VERTICAL CURB		CATCH BASIN
	TYPE II CONCRETE ROLLED CURB		SAWCUT LINE
	CURB TRANSITION		APPROXIMATE LIMITS OF DISTURBANCE
	ZERO REVEAL CURB & GUTTER		ROAD PAINT
	RETAINING WALL		GRADE
	ADA ACCESS TRUNCATED DOME		SPOT ELEVATION
	SIGN		STREET LIGHT
	FIRE HYDRANT		6" WATER SERVICE
	WATER VALVE		HAND RAIL
	5' CONTOUR INTERVAL		WATER METER
	1' CONTOUR INTERVAL		WATER MAIN FITTINGS W/ THRUST BLOCKS
	PAVERS		WATER VALVE
			4" PVC SEWER SERVICE
			UTILITY SCREEN

COVER AND DETAIL SHEET  
BLUEBIRD VILLAGE  
(480 N EAST AVE)

LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., BM., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GND DEVELOPMENT, LLC



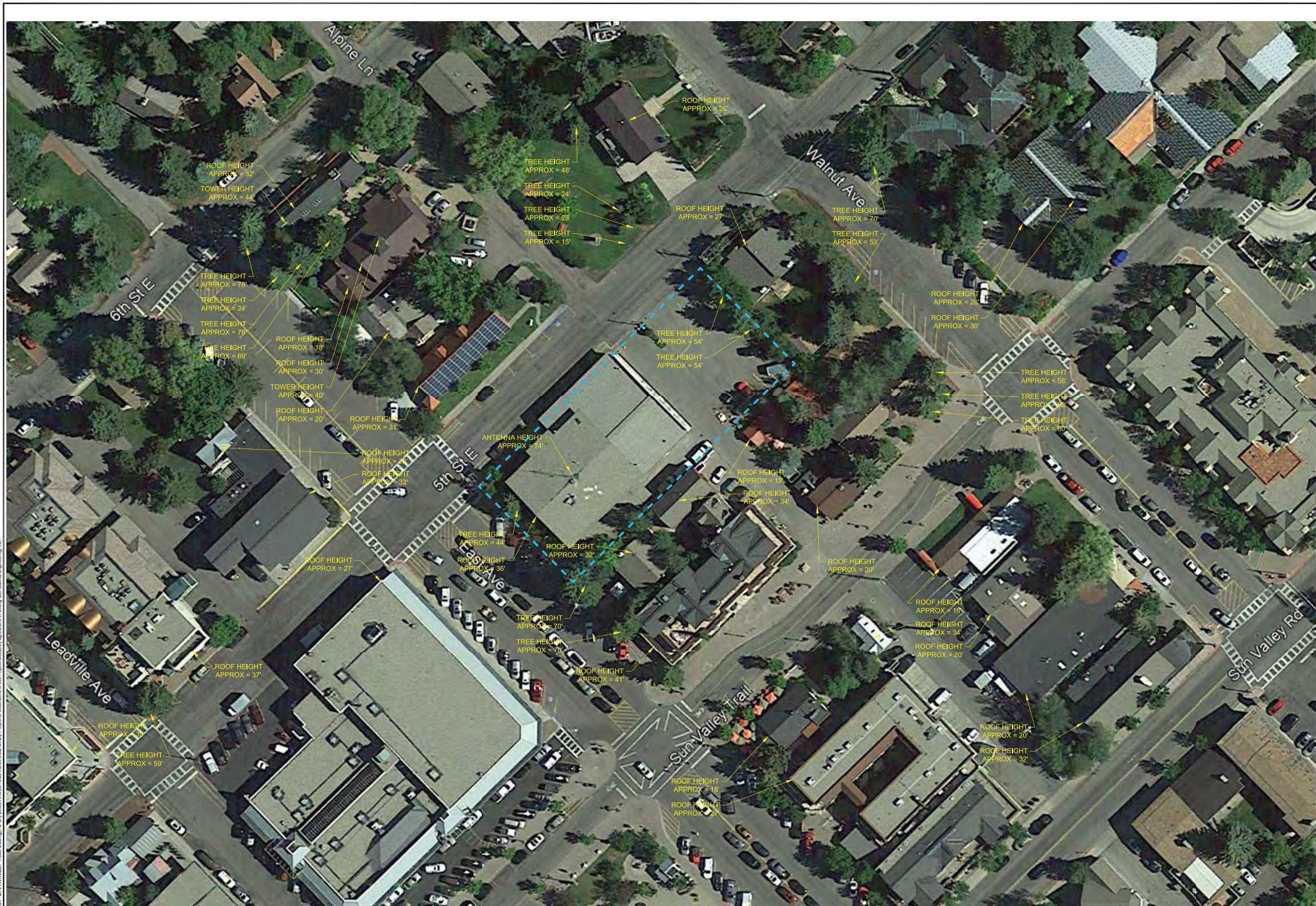
DESIGNED BY  
CT  
DRAWN BY  
SMF  
CHECKED BY

GALENA  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Ketchum, Idaho 83333  
(208) 788-1705  
email galena@galena-engineering.com

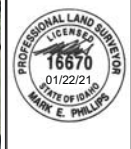
PURPOSE: ISSUE FOR INTERNAL REVIEW  
NO. DATE BY REVISIONS



REUSE OF DRAWINGS: These drawings or any portion thereof shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



**A MAP SHOWING BUILDING & TREE HEIGHTS AROUND LOT 3A AND THE WEST 75' OF LOTS 7 & 8, BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)**  
 LOCATED WITHIN SECTION 16, T4N, R10E, BLAINE COUNTY, IDAHO  
 PREPARED FOR: ERM DEVELOPMENT, LLC  
 PROJECT INFORMATION



DESIGNED BY: CT  
 DRAWN BY: SMF  
 CHECKED BY:  
**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 1145 N. Hwy 10, Idaho 83303  
 (208) 788-1705  
 email: galena@galenaengineering.com

NO.	DATE	BY	REVISIONS

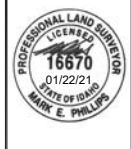
C0.01



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extension of this Project without the written consent of Galena Engineering, Inc.



**A MAP SHOWING BUILDING & TREE HEIGHTS AROUND LOT 3A AND THE WEST 75' OF LOTS 7 & 8 BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)**  
 LOCATED WITHIN SECTION 10, T4N, R20E, BLAINE COUNTY, IDAHO  
 PREPARED FOR: EMB DEVELOPMENT, LLC  
 PROJECT INFORMATION



DESIGNED BY: CT  
 DRAWN BY: SMF  
 CHECKED BY:

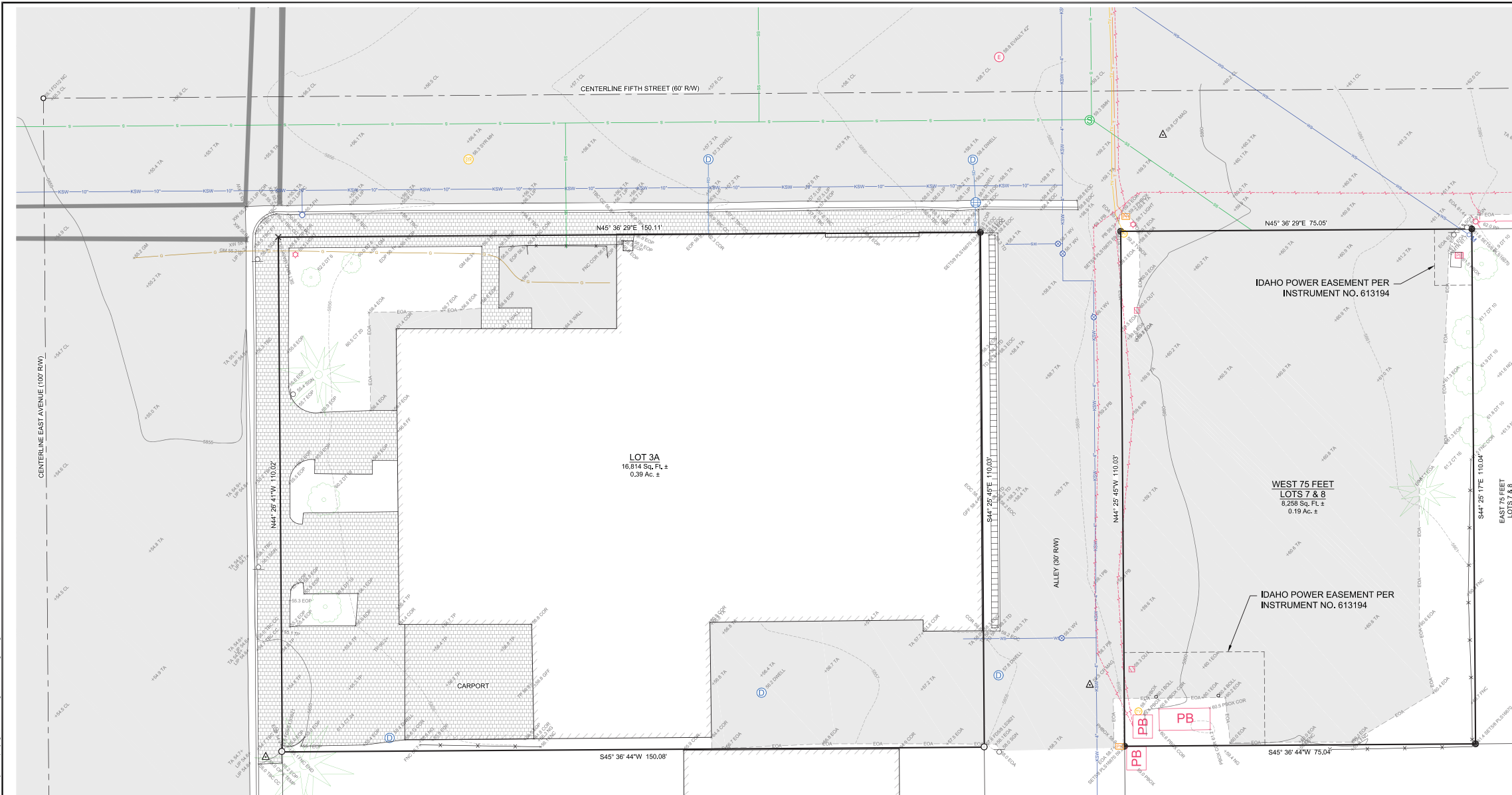
**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 1145 N. Main St., Suite 100  
 Mars, Idaho 83303  
 (208) 788-7705  
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

C0.02



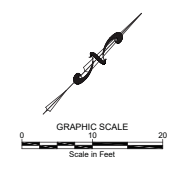
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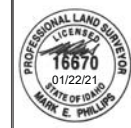
**LEGEND**

Property Line	○	SGN = Sign	AP = Angle Point
Adjacent Lot Line	○	GM = Gas Main	BEG = Beginning
Centerline	—	TVB = Cable TV Buried	CC = Curb Cut
Idaho Power Easement	—	TVBOX = Cable TV Riser	CL = Centerline
FD58 = Found 5/8" Rebar	○	PHB = Buried Telephone Line	CDK = Corner
FD12 = Found 1/2" Rebar	○	STR MH = Springs Manhole	EQK = Edge of Asphalt
CNTRL = Survey Control	○	PB = Buried Power Line	EOC = Edge of Concrete
SET58 = Set 5/8" Rebar	○	OP = Overhead Power Line	FF = Finished Floor
SET MAG = Set Mag Nail	○	Light	GFF = Garage Finished Floor
1" Contour Interval	—	IC = Ingle Cap	LIP = Lip of Gutter
Curb & Gutter	—	PBX = Power Box	NC = No Cap
TD = Trench Drain	—	PP = Power Pole	NG = Natural Ground
FNC = Fence Line	—	EVAULT = Power Vault	PC = Point of Curvature
Building	—	OUT = Power Outlet	PT = Point of Tangent
Asphalt	—	Sewer Main	TA = Top of Asphalt
Concrete	—	SS = Sewer Service	TBC = Top Back of Curb
Pavers	—	SMH = Sewer Manhole	TP = Top of Pavers
CT = Conifer Tree	○	Road Drain	
DT = Deciduous Tree	○	Storm Drain	
Roll = Rollard	○	CB = Catch Basin	
XW = Crosswalk	—	DWELL = Dry Well	
		KSL = Ketchum Spring Line (10')	
		KSL = Ketchum Spring Line (4')	
		WS = Water Service	
		WMTR = Water Meter	
		FM = Fire Hydrant	
		WV = Water Valve	

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/22/2021).
  - Boundary information is based on Found Monumentation. Please refer to the recorded map of the Official Map of the Village of Ketchum, Instr. # 302967, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
  - Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and City Maps. Utilities should be located prior to any excavation.
  - Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
  - Benchmark is top of 1/2" rebar marking the intersection of Fifth Street and East Avenue, elevation = 5855.13. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



**A TOPOGRAPHIC MAP SHOWING  
LOT 3A AND THE WEST 75' OF LOTS 7 & 8  
BLOCK 45, KETCHUM TOWNSHIP (480 N EAST AVE)**  
LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GMD DEVELOPMENT, LLC

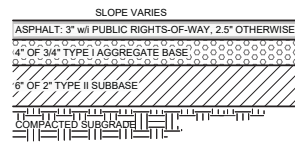


DESIGNED BY  
CT  
DRAWN BY  
SMF  
CHECKED BY

**GALENA  
ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. River Street  
Ketchum, Idaho 83333  
208.758.1700  
email: galena@galena-engineering.com

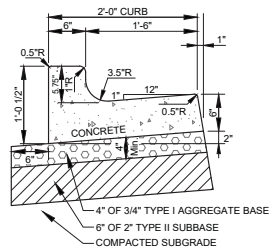
NO.	DATE	BY	REVISIONS

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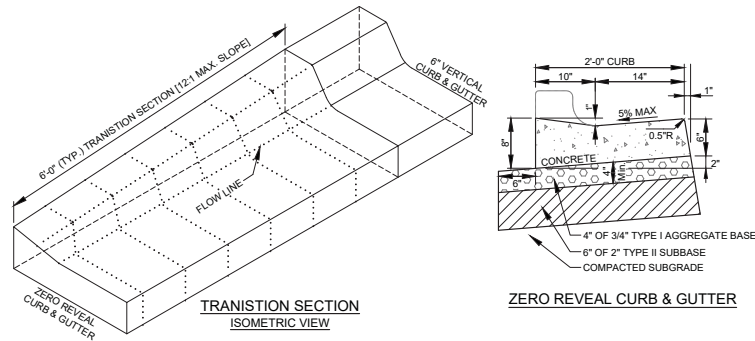
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**1**  
C0.2 **TYPICAL STREET ASPHALT SECTION**  
N.T.S.



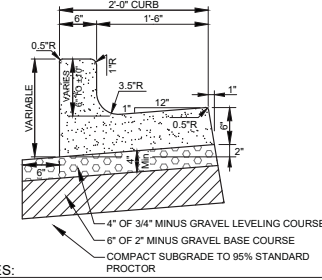
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  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

**2a**  
C0.2 **6" CONCRETE VERTICAL CURB & GUTTER**  
N.T.S.



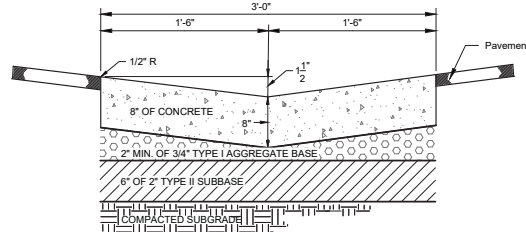
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- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

**2b**  
C0.2 **TYPICAL CURB TRANSITION DETAIL**  
N.T.S.



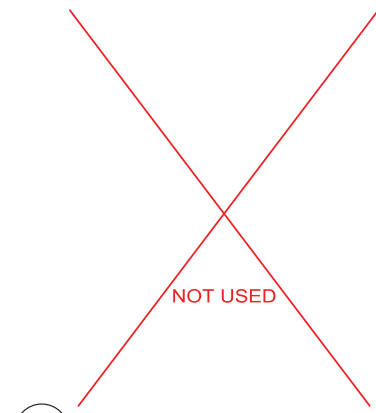
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**2c**  
C0.2 **CONCRETE VERTICAL CURB & GUTTER WITH VARIABLE REVEAL**  
N.T.S.

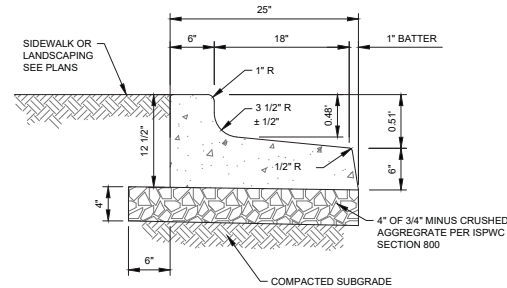


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

**2d**  
C0.2 **36" CONCRETE VALLEY GUTTER**  
N.T.S.

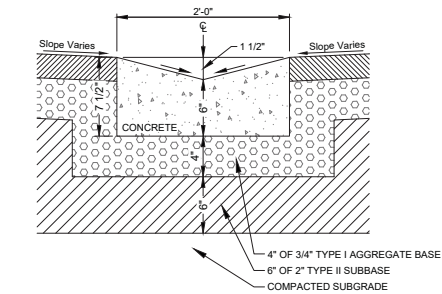


~~C0.2~~ **CONCRETE VERTICAL CURB**  
N.T.S.



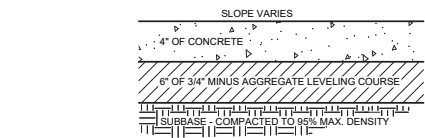
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

**2f**  
C0.2 **VERTICAL CURB W/ REVERSE GUTTER PAN**  
N.T.S.



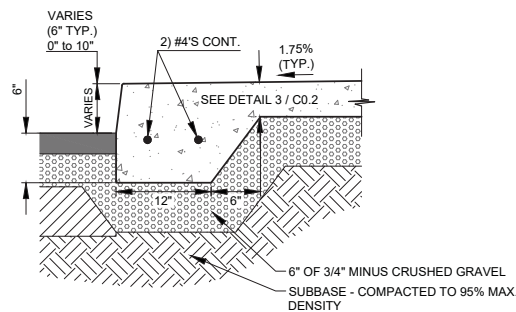
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

**2g**  
C0.2 **24" WIDE CONCRETE VALLEY GUTTER**  
N.T.S.



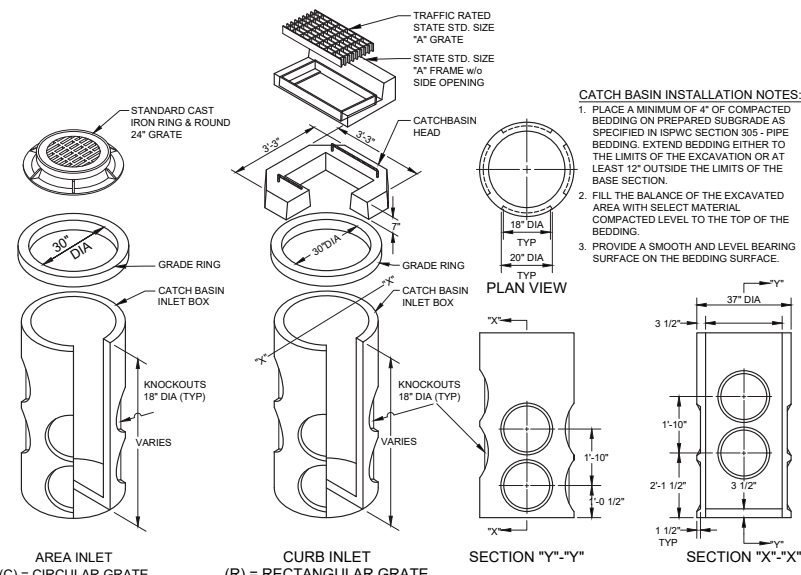
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
  - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.

**3**  
C0.2 **TYPICAL CONCRETE SIDEWALK SECTION**  
N.T.S.



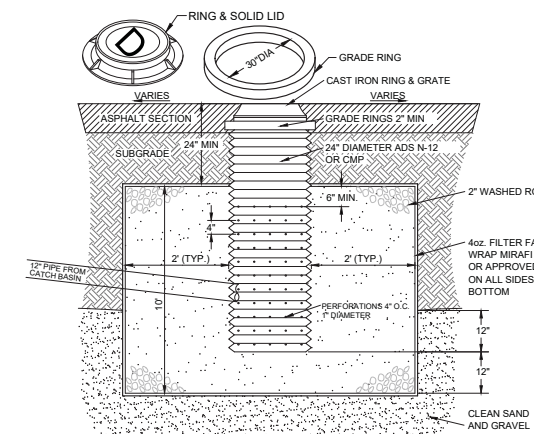
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
  - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.

**4**  
C0.2 **THICKENED SIDEWALK EDGE**  
N.T.S.



- CATCH BASIN INSTALLATION NOTES:
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
  - FILL THE BALANCE OF THE EXCAVATED AREA WITH SLEOT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**5**  
C0.2 **30" DIAMETER CATCH BASIN**  
N.T.S.



- NOTES:
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

**6**  
C0.2 **DRYWELL DETAIL (6" Ø)**  
N.T.S.

**DETAIL SHEET**  
**BLUEBIRD VILLAGE**  
**(480 N EAST AVE)**

LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., BM., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GMD DEVELOPMENT, LLC

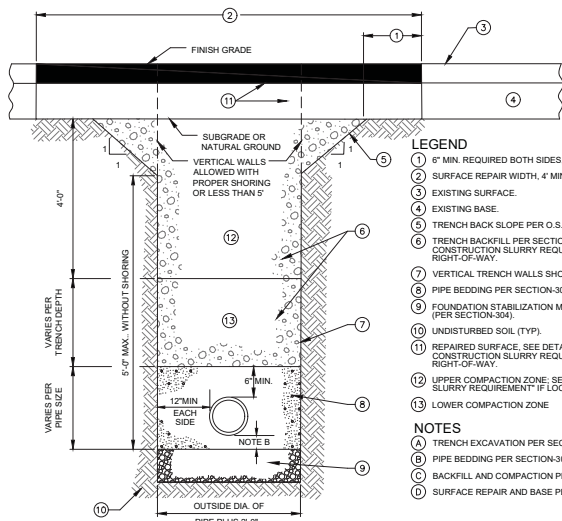


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SMF  
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email galena@galena-engineering.com

NO.	DATE	BY	REVISIONS





- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - SURFACE REPAIR WIDTH, 4" MINIMUM.
  - EXISTING SURFACE.
  - EXISTING BASE.
  - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - TRENCH BACKFILL PER SECTION 305, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION 305 (SEE SD-302).
  - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
  - UNDISTURBED SOIL (TYP).
  - REPAIRED SURFACE, SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - UPPER COMPACTION ZONE, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION 301.
  - PIPE BEDDING PER SECTION 305.
  - BACKFILL AND COMPACTION PER SECTION 306.
  - SURFACE REPAIR AND BASE PER DETAIL 3/C20.

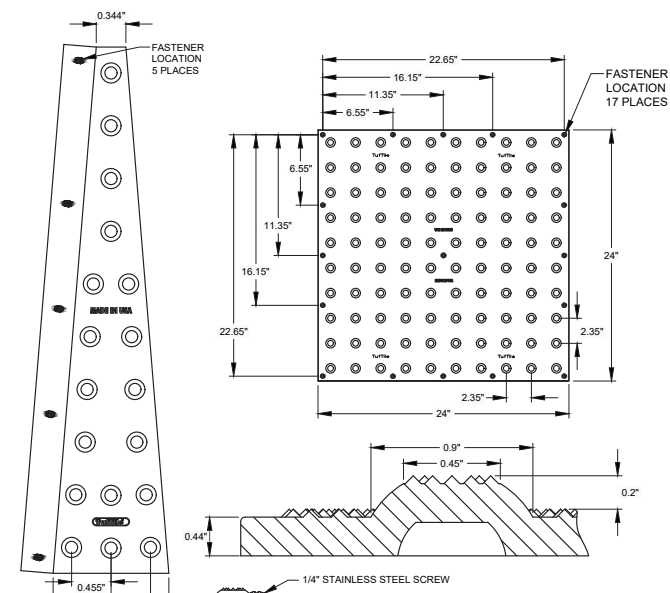
**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**  
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS)	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

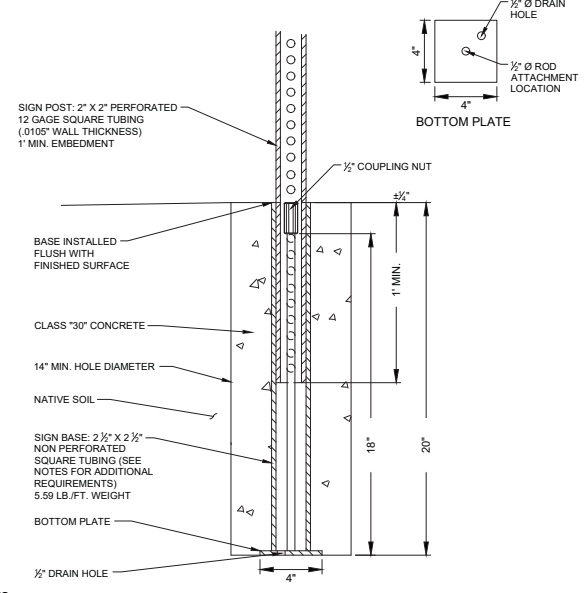
NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

**1 C0.3 TYPICAL TRENCH SECTION**  
N.T.S.



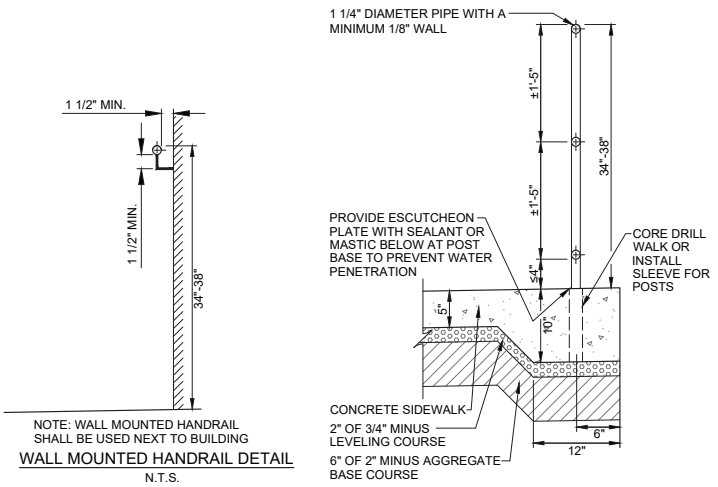
- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
  - REFER TO DETAIL 8.
  - COLOR TO BE PATINA (NO FINISH).

**2 C0.3 DETECTABLE WARNING PLATE**  
N.T.S.



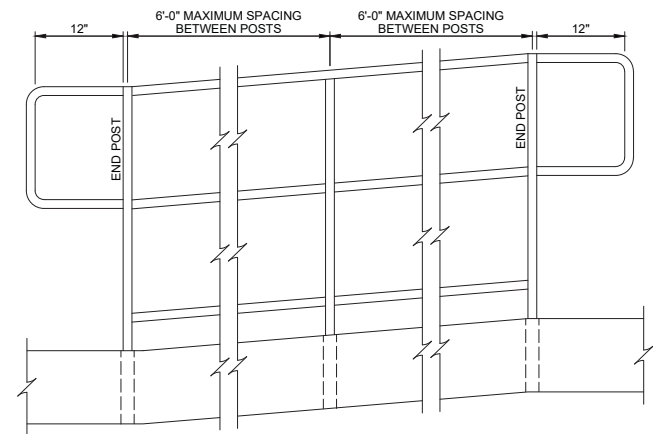
- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUDED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.
- SIGN BASE MATERIAL & DIMENSION REQUIREMENTS**  
 2 1/2" OUTSIDE TUBE STEEL (20' LENGTH)  
 2 1/2" INSIDE TUBE STEEL  
 3/4" THICK  
**INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS**  
 1/2" COLD ROLLED ROD (18' LENGTH)  
 1/2" COUPLING NUTS  
**BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS**  
 4" X 4" X 1/2" STEEL STRAP

**3 C0.3 TYPICAL SIGN BASE**  
N.T.S.



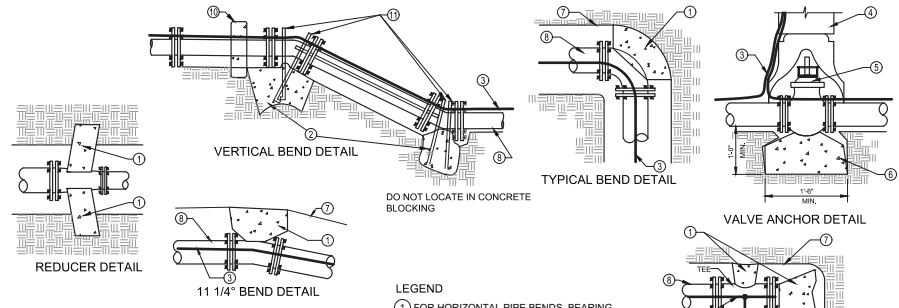
NOTE: WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING

**WALL MOUNTED HANDRAIL DETAIL**  
N.T.S.



- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
  - CLEAR WIDTH: THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5)

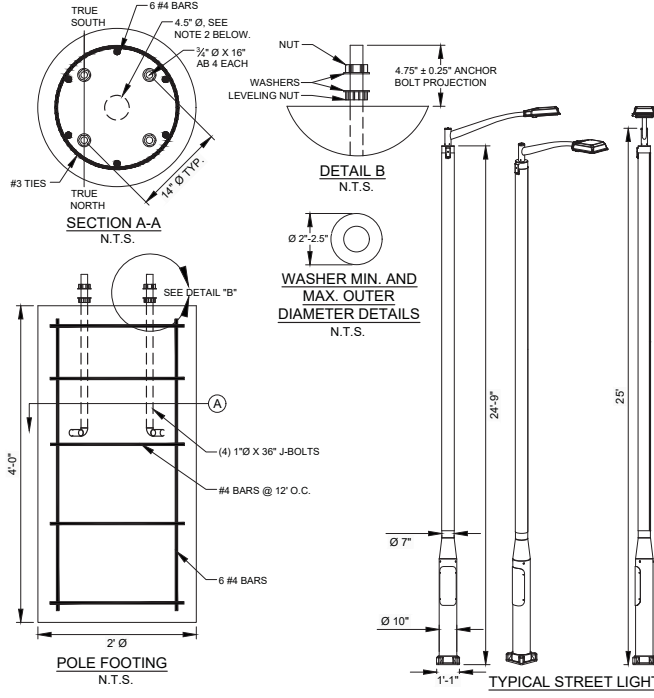
**4 C0.3 TYPICAL HANDRAIL DETAIL**  
N.T.S.



- LEGEND**
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
  - FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
  - NO. 12 COPPER FINDER WIRE, SEE SD-514 FOR SPLICING.
  - C.I. VALVE BOX WITH COVER.
  - C.I. GATE VALVE (M.J.).
  - PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" Ø MIN REBAR.
  - TRENCH SIDE.
  - PIPE.
  - PLUG.
  - HAMMERHEAD THRUST BLOCKING.
  - ANCHOR BARS (1/2" Ø MIN)

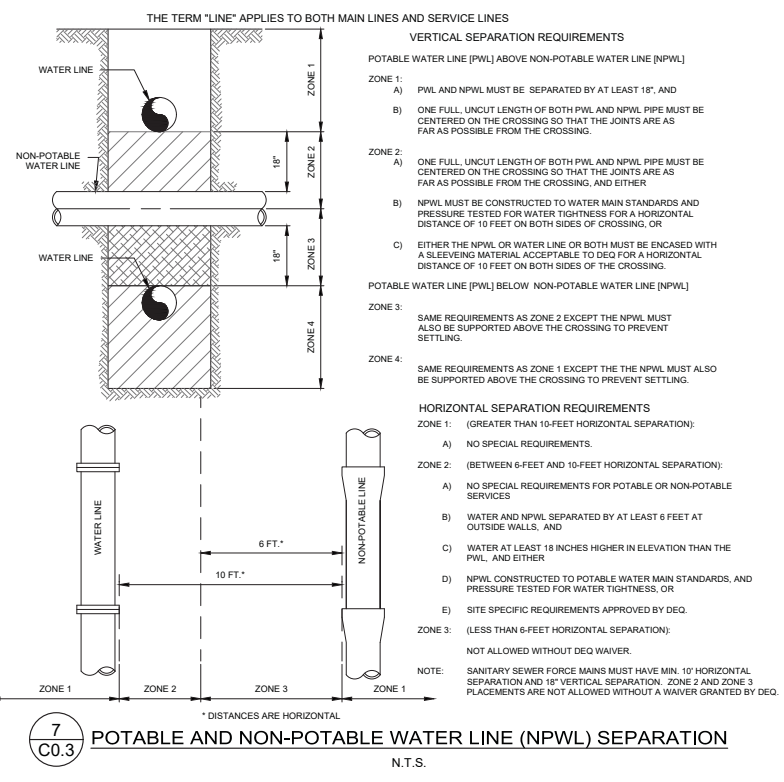
**TEE AND PLUG DETAIL**

- NOTES:**
- ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.
  - COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.
  - SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
  - ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.
  - PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
  - NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
  - ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
  - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
  - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
  - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
  - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

**6 C0.3 TYPICAL STREET LIGHT**  
N.T.S.



**7 C0.3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**  
N.T.S.

**TABLE 1**  
THRUST AREA FOR HORIZONTAL BENDS\*\*\*

PIPE SIZE	SOIL BEARING PRESSURE = 2000 PSF WORKING PRESSURE RATING = 150 PSI SAFETY FACTOR = 1.5			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	19.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

\*\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).  
 \*\*\* OR TEE ACTING AS A 90° BEND  
 \*\*\*\* THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

**5 C0.3 THRUST BLOCK AND ANCHOR DETAILS**  
N.T.S.

**COVER AND DETAIL SHEET**  
**BLUEBIRD VILLAGE**  
**(480 N EAST AVE)**

LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., BM., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR GND DEVELOPMENT, LLC  
 PROJECT INFORMATION  
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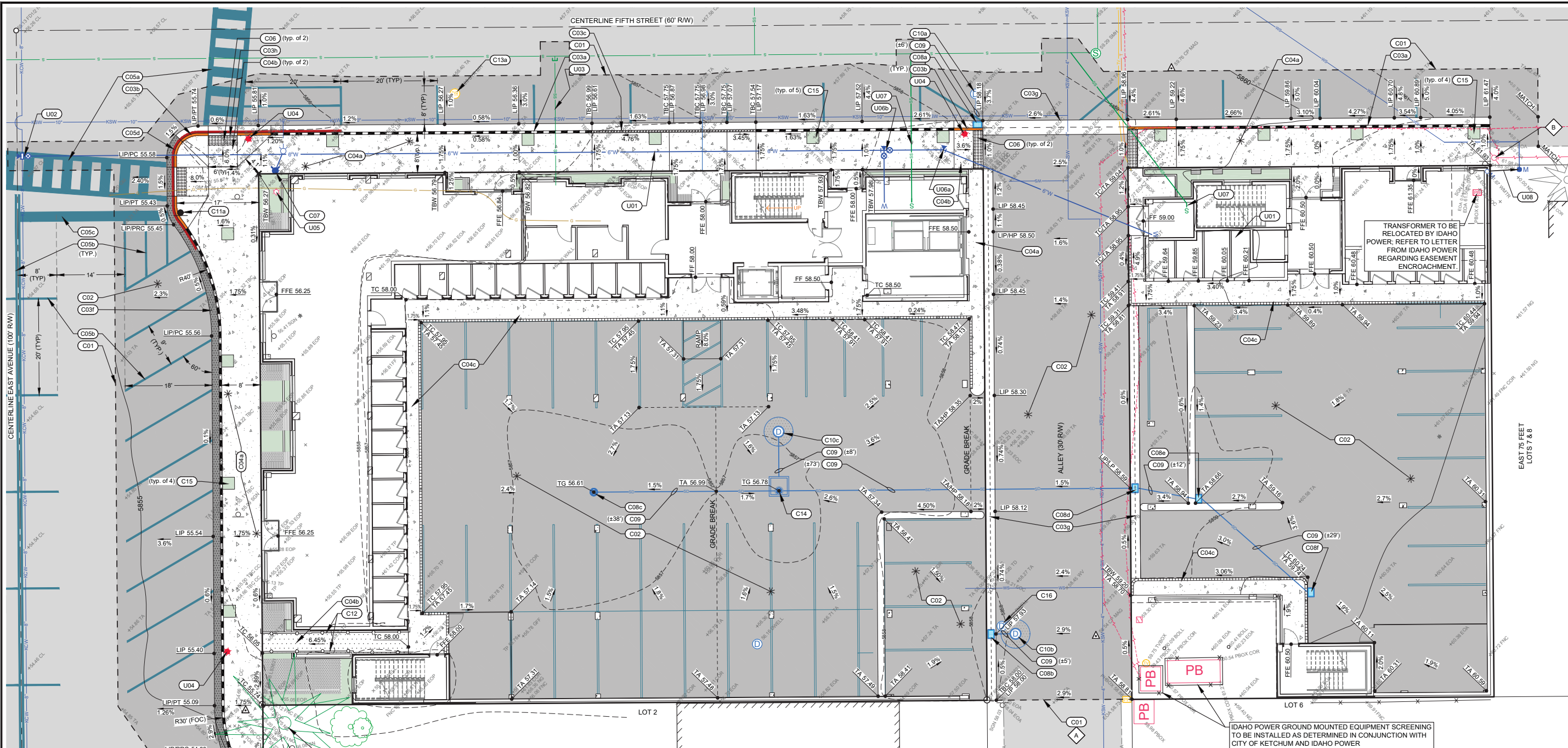
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**PURPOSE: ISSUE FOR INTERNAL REVIEW**

NO.	DATE	BY	REVISIONS



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



**GRADING, DRAINAGE AND UTILITY PLAN SHOWING BLUEBIRD VILLAGE (480 N EAST AVE)**

LOCATED WITHIN SECTION 18, T. 4 N., R. 18 E., BM. CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT INFORMATION  
 Prepared for GMD Development, LLC  
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DESIGNED BY  
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 SMF

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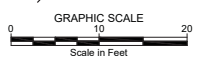
**CONSTRUCTION (SITE, GRADING, & DRAINAGE) KEY NOTES**

- C01** SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- C02** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.2.
- C03** CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" VERTICAL C&G PER DETAIL 2a / C0.2.
  - b. CURB TRANSITION PER DETAIL 2b / C0.2.
  - c. VARIABLE REVEAL C&G PER DETAIL 2c / C0.2.
  - d. 36" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2d / C0.2.
  - e. -NOT USED-
  - f. 6" VERTICAL CURB WITH REVERSE GUTTER PAN PER DETAIL 2f / C0.2.
  - g. 24" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2g / C0.2.
  - h. ZERO REVEAL CURB AND GUTTER PER DETAIL 2h / C0.2.
- C04** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON.
  - a. FLAT WORK. SEE DETAIL 3 / C0.2.
  - b. ADA COMPLIANT RAMPS, SEE DETAIL 3 / C0.2.
  - c. THICKENED EDGE SIDEWALK, SEE DETAIL 4 / C0.2.
  - d. NOTE: ALL CONCRETE SIDEWALK WITHIN RIGHT-OF-WAY IS HEATED.
- C05** INSTALL ROAD STRIPING / PAINT
  - a. WHITE CROSSWALK STRIPING (12" WIDE STRIPES AND 24" CROSS BARS).
  - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
  - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
  - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
  - e. BLUE ADA PARKING STRIPING AND/OR PARKING SYMBOL (44" WIDE).
- C06** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 2 / C0.3.
- C07** RELOCATE FIRE HYDRANT ASSEMBLY TO BACK OF SIDEWALK.
  - a. ± 4 LF OF 6" C-900 PVC WATER MAIN 22.5" D.I. BEND W/ THRUST BLOCK CITY TO PROVIDE MOUNTAIN EXTENSION. CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS. SEE DETAIL 1 / C0.3 FOR TYPICAL TRENCH SECTION.
- C08** INSTALL CATCH BASIN. SEE DETAIL 5 / C0.2.
  - a. CONNECT TO EXISTING DRYWELL
    - b. RIM (R) = 5857.73
    - c. RIM (C) = 5856.5
    - d. RIM (R) = 5858.0
    - e. RIM (R) = 5858.35
    - f. RIM (R) = 5855.22
    - g. RIM (R) = 5855.12
    - h. RIM (R) = 5858.56
    - i. RIM (R) = 5855.56
    - j. RIM (R) = 5854.46
    - k. RIM (R) = 5859.7
    - l. RIM (R) = 5856.7
- C09** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 1 / C0.3 FOR TRENCHING SECTION.
- C10** DRYWELL. SEE DETAIL 6 / C0.2.
  - a. CLEAN / RECONSTRUCT EXISTING
    - i.e. (IN) = 5854.8
    - i.e. (IN) = 5857.95
    - i.e. (IN) = 5854.6
  - b. CONSTRUCT NEW DRYWELL
    - i.e. (IN) = 5854.6
  - c. CONSTRUCT NEW DRYWELL
    - \*ALL ROOF DRAINS TO BE CONNECTED TO THIS DRYWELL DIRECTLY OR INDIRECTLY
    - RIM = 5856.9
    - i.e. (IN) = 5853.4
- C11** SIGNS: SEE DETAIL 3 / C0.3 FOR SIGN BASE DETAIL.
  - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
  - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
- C12** INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECT'S SPECIFICATIONS. SEE DETAIL 4 / C0.3.
- C13** RESET UTILITY BOX LID ELEVATION.
  - a. SYRINGA MANHOLE
    - ORIGINAL RIM = 5856.28
    - NEW RIM = 5856.36
- C14** INSTALL CONCRETE 350 GALLON SAND TRAP WITH EXIT SNOOT AND STANDARD CAST IRON RING & ROUND 24" Ø GRATE
  - a.
    - i.e. (IN, C08c) = 5852.7
    - i.e. (IN, C08d) = 5853.66
    - i.e. (OUT) = 5853.56
- C15** INSTALL KETCHUM STANDARD TREE WELL.
- C16** ABANDON DRYWELL IN PLACE.

- U01** INSTALL 6" C-900 PVC WATER LINE. SEE DETAIL 1 / C0.3 FOR TRENCHING STANDARDS
- U02** INSTALL 6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE W/ THRUST BLOCKS SEE DETAIL 5 / C0.3.
- U03** EXISTING SEWER SERVICE TO BE EXPOSED TO SEWER MAIN CUT AND PLUGGED.
- U04** INSTALL KETCHUM STANDARD STREET LIGHT: SOLAR (OFF-GRID). SEE DETAIL 6 / C0.3.
- U05** REMOVE STREET LIGHT AND BASE. RETURN LIGHT TO OWNER AND DISPOSE OF BASE.
- U06** INSTALL 6" D.I. FITTING WITH THRUST BLOCKS.
  - a. 22 1/2" BEND
  - b. 6" D.I. TEE W/ 2ea. - 6" GATE VALVES
- U07** INSTALL 4" PVC SEWER SERVICE.
- U08** RELOCATE WATER SERVICE AND METER.

**UTILITY IMPROVEMENT KEY NOTES**

- MATCH EXISTING LINES AND GRADES**
- RETAIN AND PROTECT UTILITY POLE**

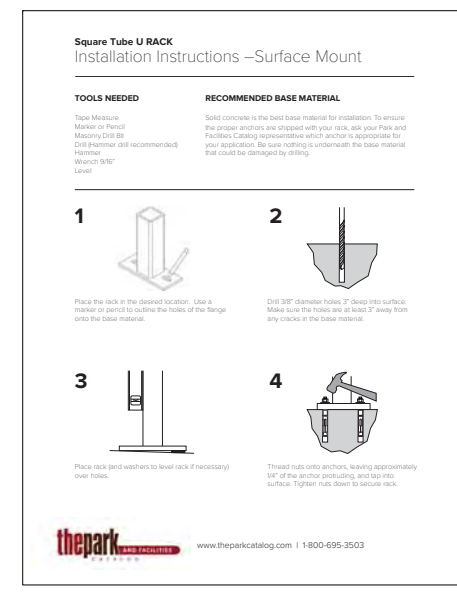
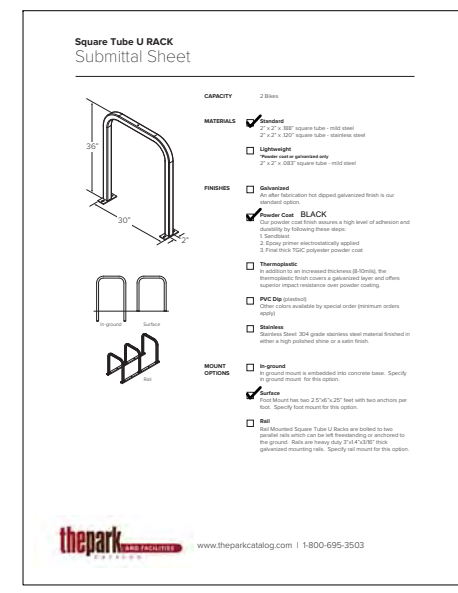
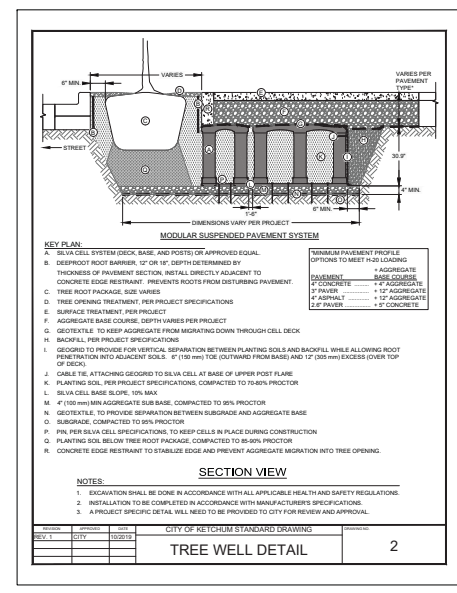
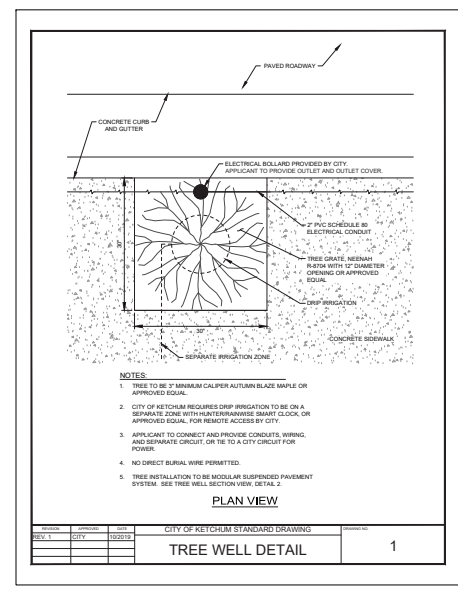


SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	2" Irrigation Sleeve
	Concrete Walkway
	Planters - See Architect Drawings
	U-Frame Bike Rack (5)
	Tree Grate (11)
	Street Trees in Tree Grate (per City of Ketchum code)

- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
  2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

IRRIGATION SCHEDULE			
AREA DESCRIPTION	IRRIGATION TYPE	ZONE	
On-Site Planters	Buried Drip Irrigation	1	
Street Trees	Buried Drip Irrigation	2	

PLANT SCHEDULE   STREETScape					
TREES					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
	13	3" CAL.	Acer freemanii	Red Maple	PER PLAN
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
	428 SQ FT	1 GAL.	VARIOUS		18" O.C.



1 CITY OF KETCHUM TREE WELL  
Scale: NTS

2 CITY OF KETCHUM TREE WELL  
Scale: NTS

3 BIKE RACK  
Scale: NTS

BIKE RACK  
Installation Instructions - Surface Mount

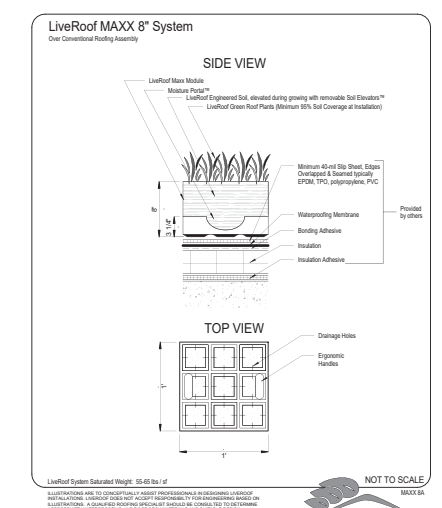
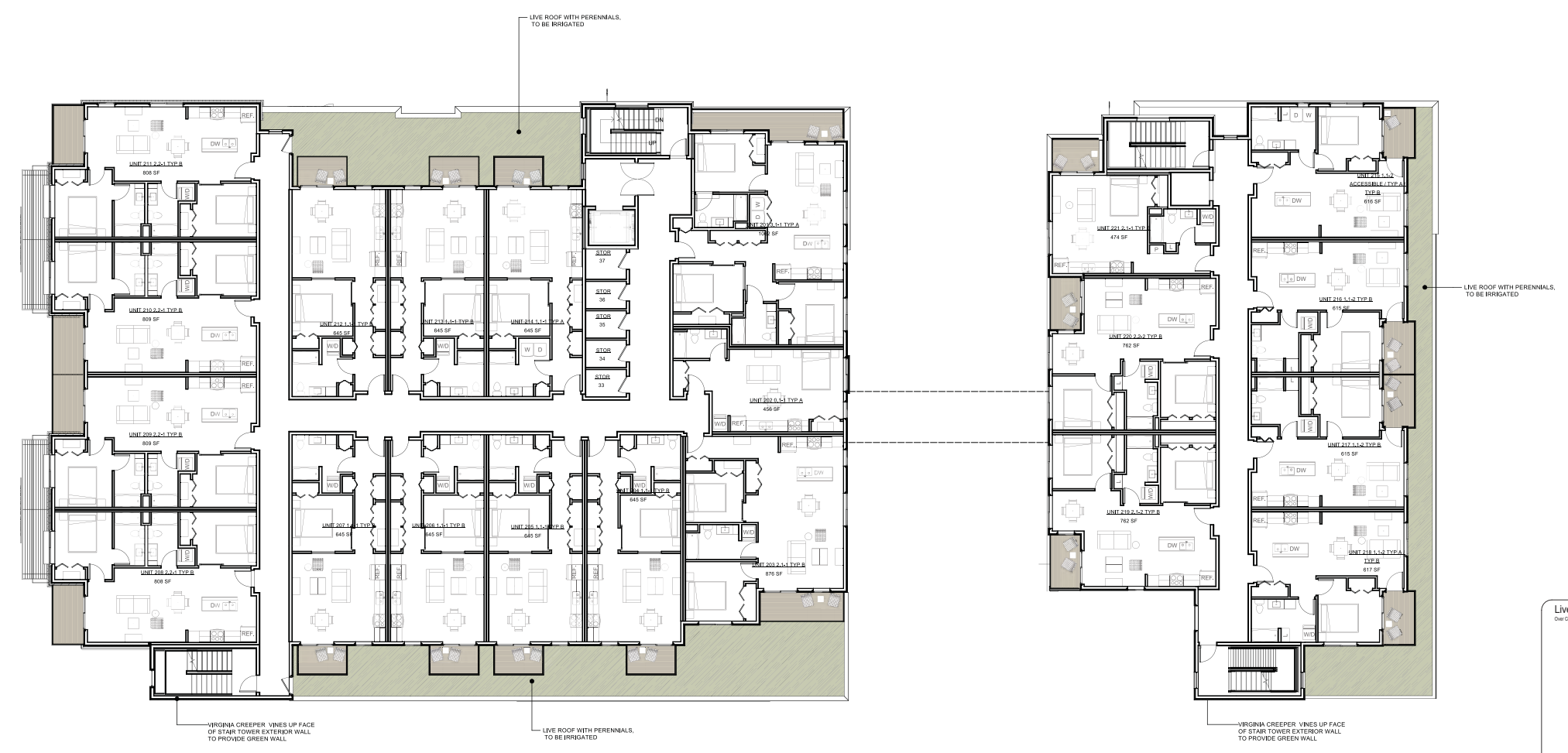


SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
■	Planters - See Architect Drawings

- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
  2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

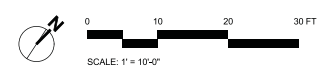
IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
Live Roof Planters	Buried Drip Irrigation	1

PLANT SCHEDULE   SECOND LEVEL				
PERENNIALS	QTY.	SIZE	BOTANICAL NAME	SPACING
PERENNIALS	2,870	30" x 30"	VARIOUS	30" O.C.



LiveRoof LLC  
P.O. Box 333  
Spring Lake, MI 49682  
800.875.1332  
www.liveroof.com

**1 LIVE ROOF SYSTEM**  
Scale: NTS



**LANDSCAPE DESIGN REVIEW**  
**BLUEBIRD VILLAGE**  
480 N. EAST AVE. | KETCHUM, ID 83340

**DRAFT**  
NOT FOR CONSTRUCTION

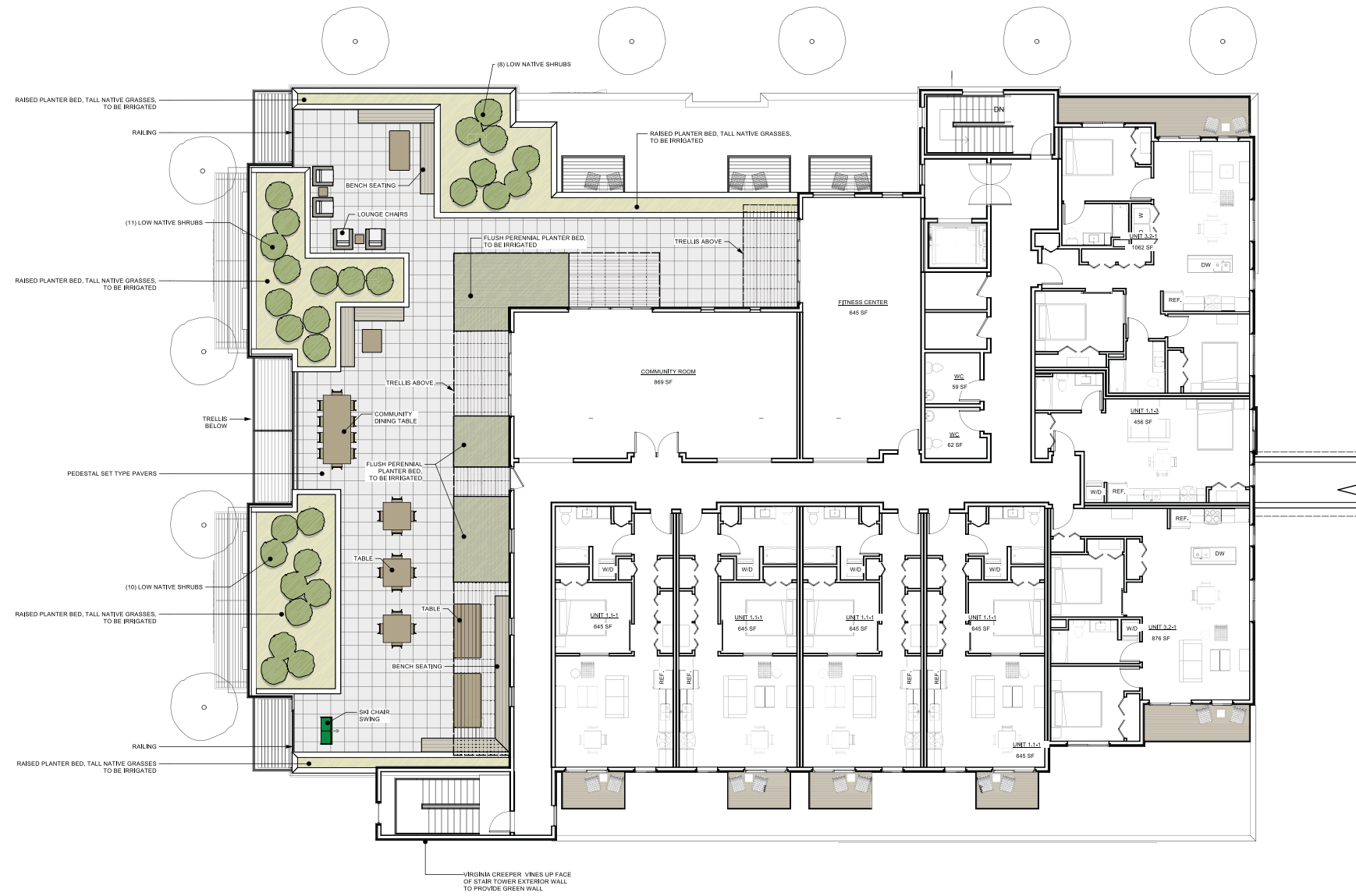
FILENAME: Bluebird Village.vwx  
PROJECT MANAGER: CG  
DRAWN BY: TP  
ISSUE DATE: 07.01.2021  
PLOT DATE: 7/1/21 6:07:46

**SECOND FLOOR**

SHEET NO.

**L2.0**

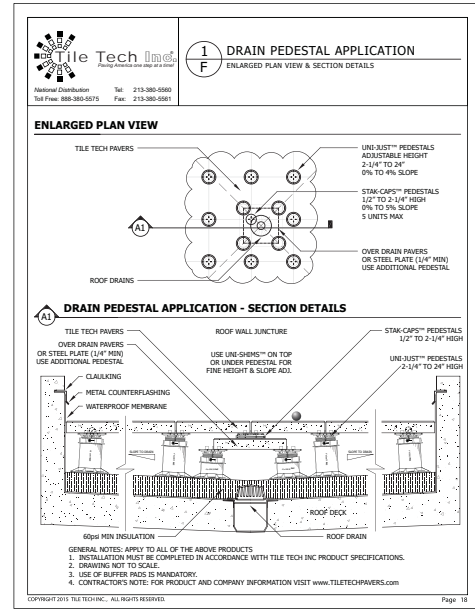
88



SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Pedestal Pavers
	Planters - See Architect Drawings
	Landscape - Tree

**GENERAL NOTES:**  
 1. GRADING PER CIVIL ENGINEER  
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
Raised Planters	Buried Drip Irrigation	1



1 TILE TECH - DRAIN PEDESTAL APPLICATION  
 Scale: NTS

**LANDSCAPE DESIGN REVIEW**  
**BLUEBIRD VILLAGE**  
 480 N. EAST AVE. | KETCHUM, ID 83340

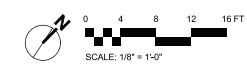
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 DRAWN BY: CG  
 TP  
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 PLOT DATE: 7/1/21 6:07:56

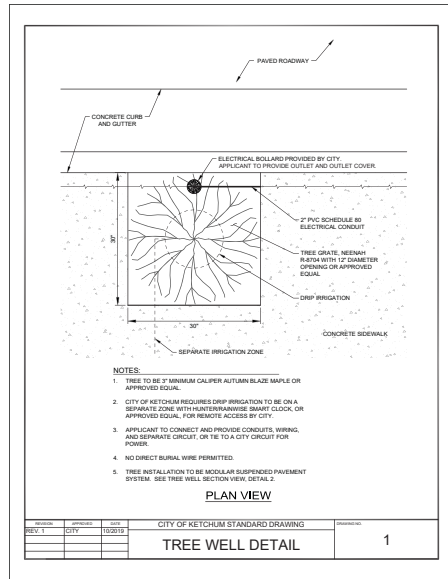
**FOURTH FLOOR PATIO OVERVIEW**

SHEET NO.

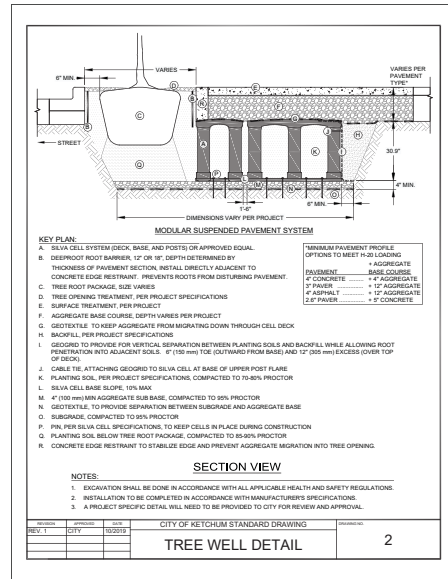
**L3.0**

89

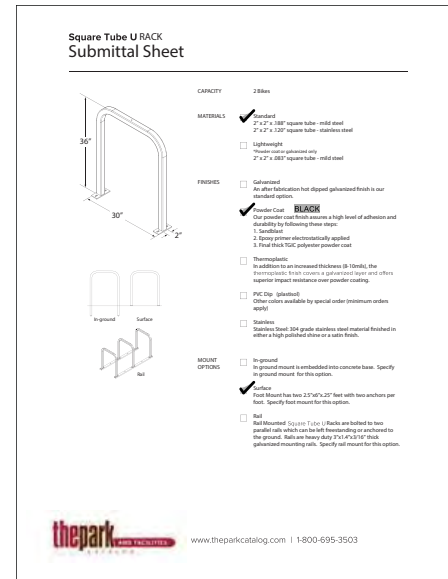




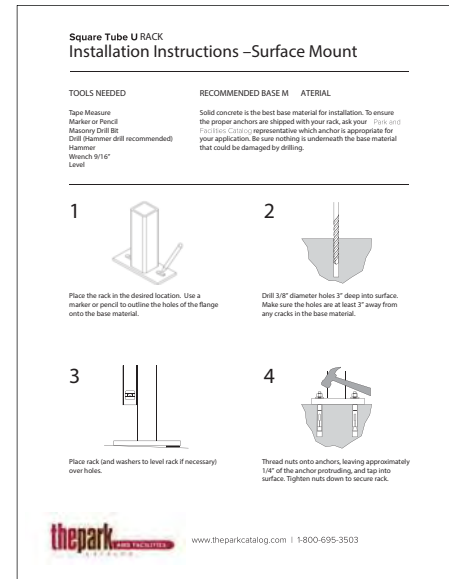
1 CITY OF KETCHUM TREE WELL  
Scale: NTS



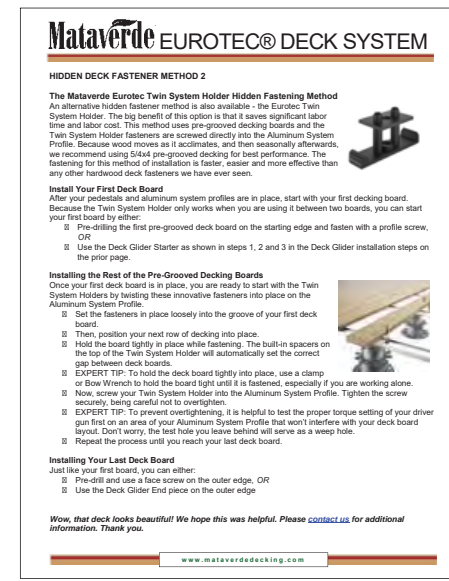
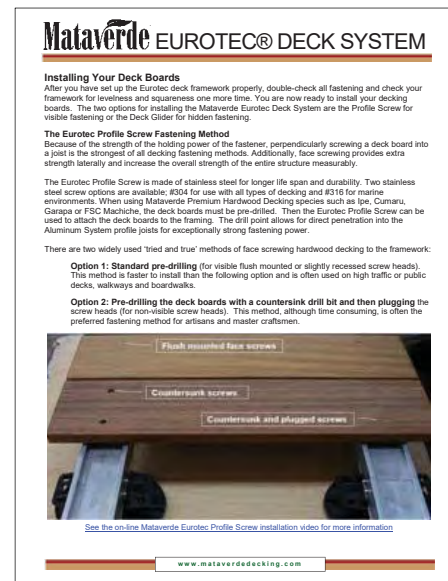
2 CITY OF KETCHUM TREE WELL  
Scale: NTS



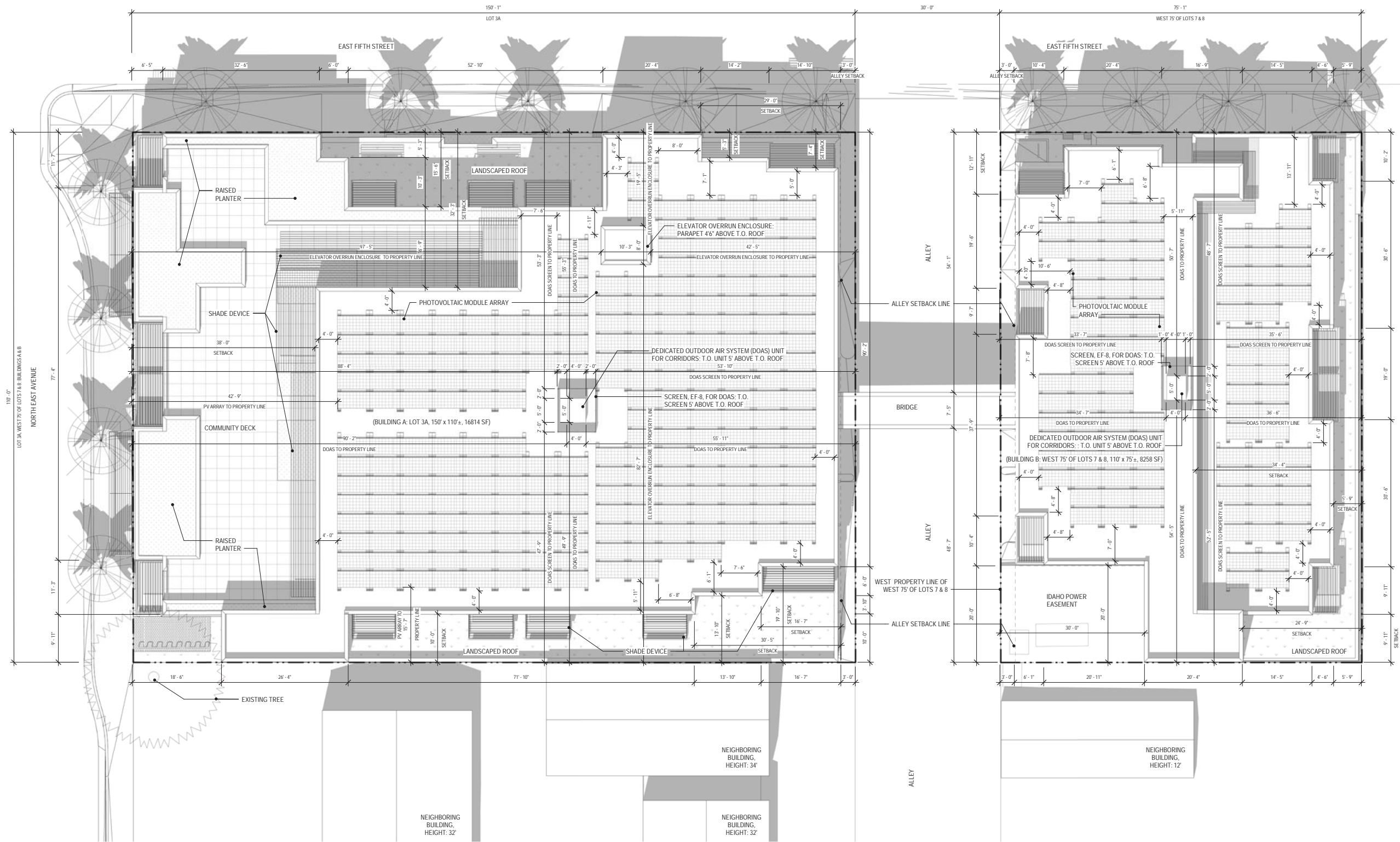
3 BIKE RACK  
Scale: NTS



5 MATAVERDE EUROTEC DECK SYSTEM  
Scale: NTS







**PROPOSED ARCHITECTURAL SITE PLAN**

12:45 PM, JUNE 21, 2021

**SITE DIMENSIONS & AREAS**

LOT 3A: 110' x 150' ± = 16814 SF  
 LOTS 7 & 8: 110' x 75' ± = 8258 SF  
 TOTAL: 25072 SF

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
 BUSINESS GROUP B  
 STORAGE GROUP S-2  
 ASSEMBLY GROUP A-3

**SNOW STORAGE CALCULATION**

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

**ZONING**

ZONING: CC-1 COMMUNITY CORE, RETAIL

**CONSTRUCTION TYPE**

CONSTRUCTION TYPE: 1ST/GROUND FLOOR: TYPE I-A  
 2ND, 3RD, & 4TH FLOOR: TYPE V-B

**BUILDING AREA**

BUILDING AREA (GROSS): 60038 SF

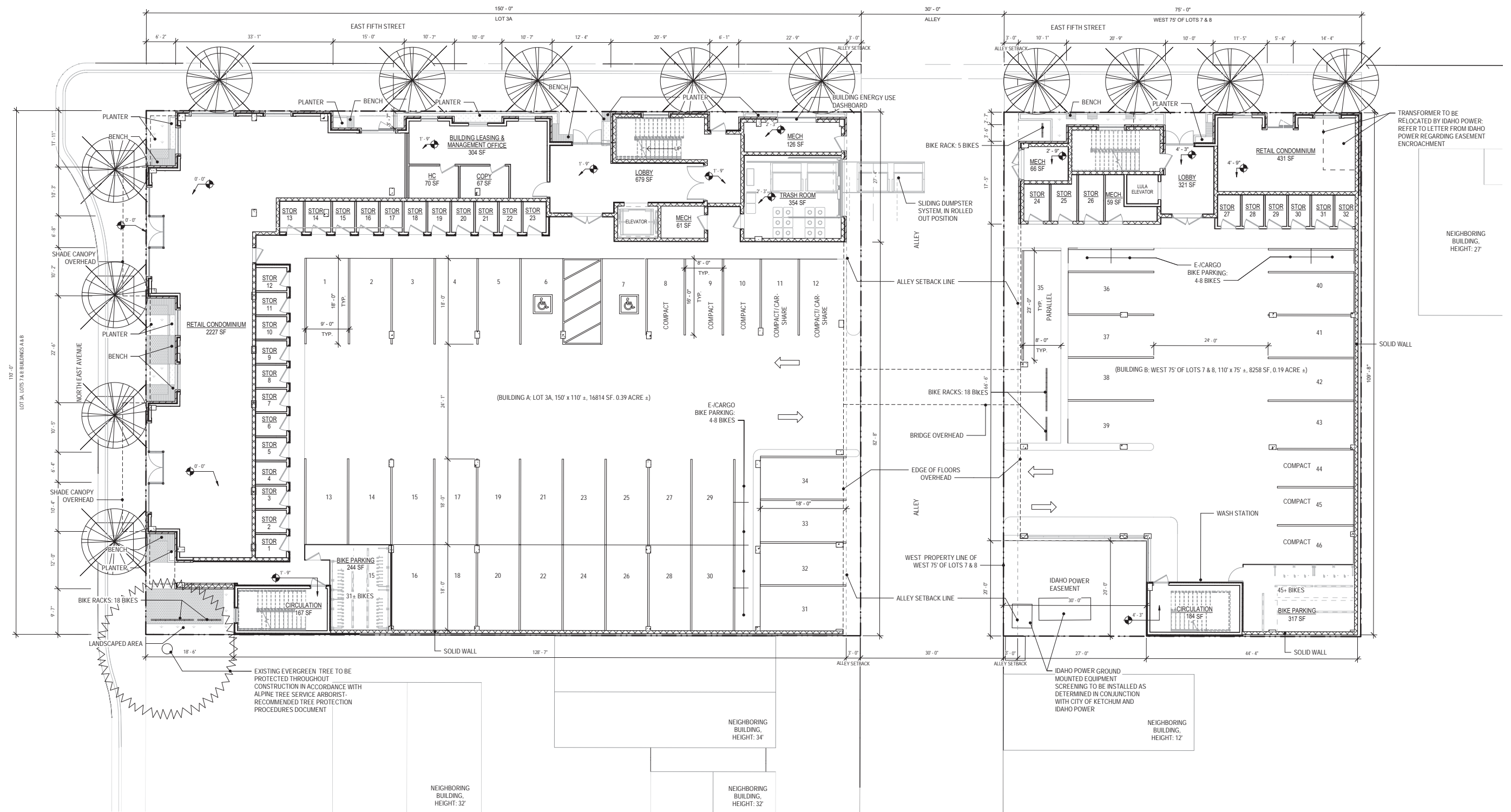
SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
 KETCHUM, ID 83340

DESIGN REVIEW  
 07/07/2021





**PROPOSED ARCHITECTURAL SITE PLAN - GROUND LEVEL**

**SITE DIMENSIONS & AREAS**

LOT 3A: 110' x 150' ± = 16814 SF  
 LOTS 7 & 8: 110' x 75' ± = 8258 SF  
 TOTAL: 25072 SF

**CONSTRUCTION TYPE**

CONSTRUCTION TYPE: 1ST/GROUND FLOOR: TYPE I-A  
 2ND, 3RD, & 4TH FLOOR: TYPE V-B

**USE & OCCUPANCY CLASSIFICATION**

BUSINESS GROUP B  
 STORAGE GROUP S-2

**SNOW STORAGE CALCULATION**

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

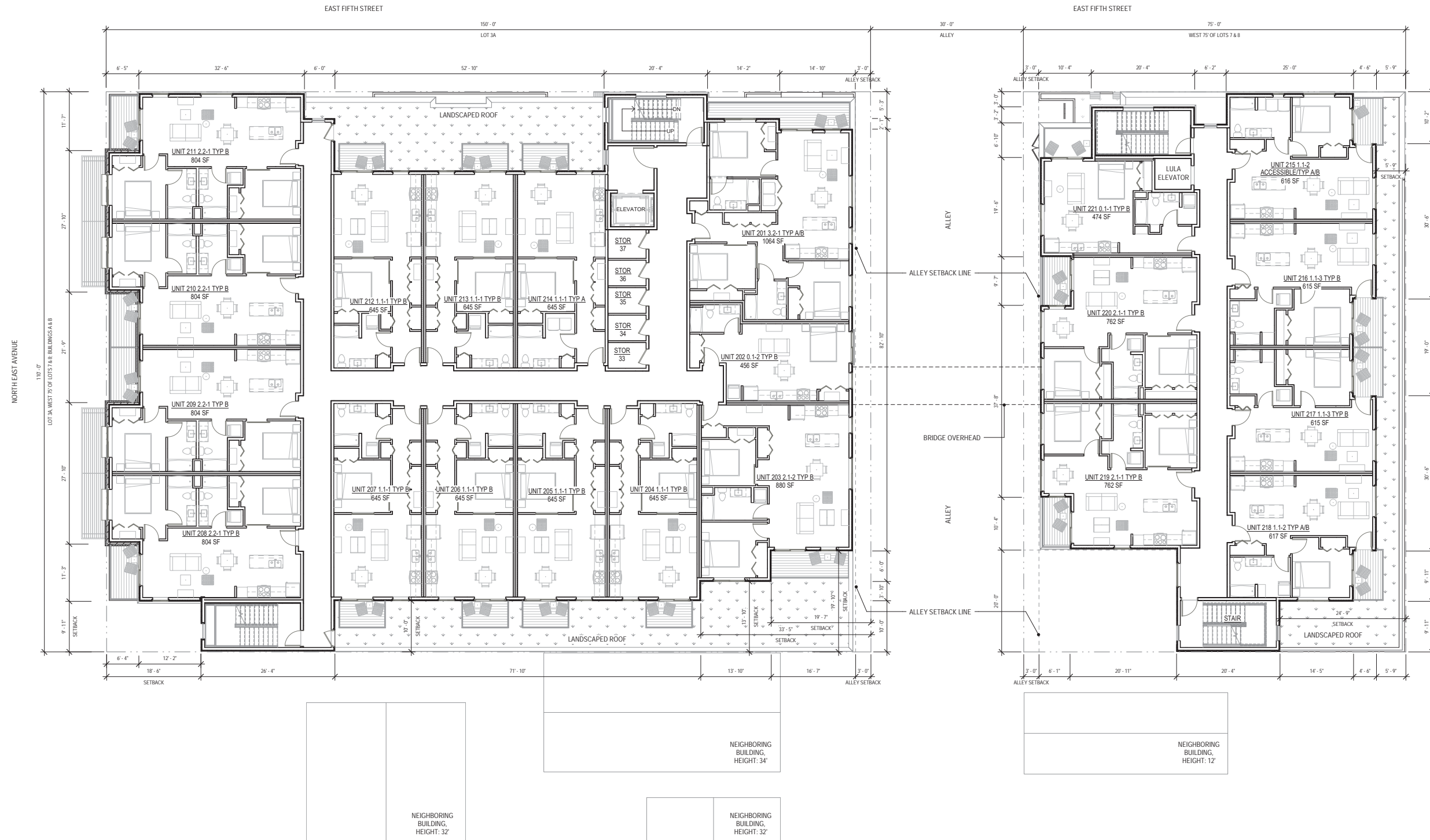
SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
 KETCHUM, ID 83340

DESIGN REVIEW  
 08/04/2021





**PROPOSED SECOND FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
STORAGE GROUP S-2

**CONSTRUCTION TYPE**

CONSTRUCTION TYPE: 1ST/GROUND FLOOR: TYPE I-A  
2ND, 3RD, & 4TH FLOOR: TYPE V-B

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE) 1-1-1  
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*  
\*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE. 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

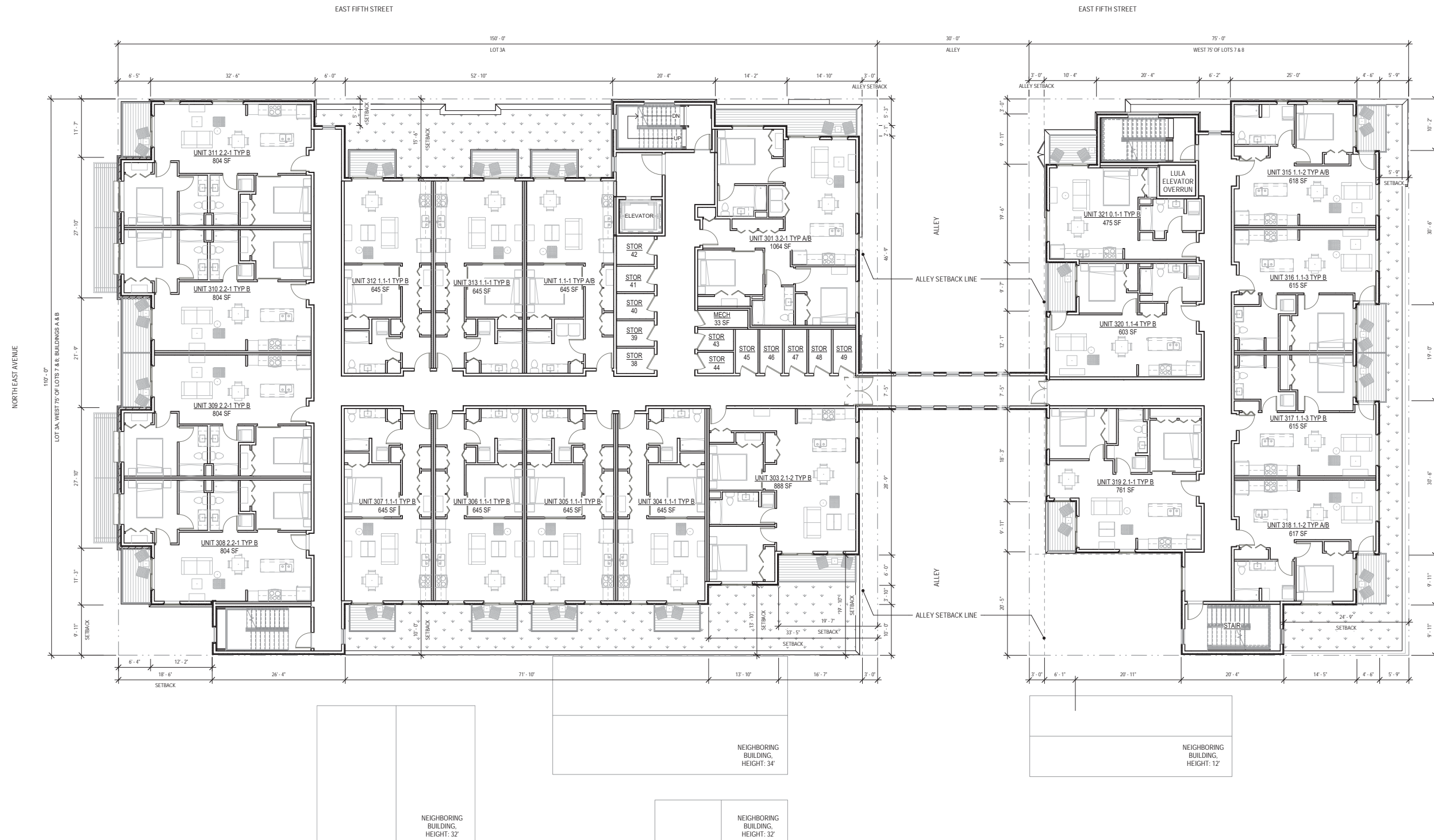
**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021







**PROPOSED THIRD FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
STORAGE GROUP S-2

**CONSTRUCTION TYPE**

CONSTRUCTION TYPE: 1ST/GROUND FLOOR: TYPE I-A  
2ND, 3RD, & 4TH FLOOR: TYPE V-B

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE) 1-1-1  
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*  
\*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE. 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

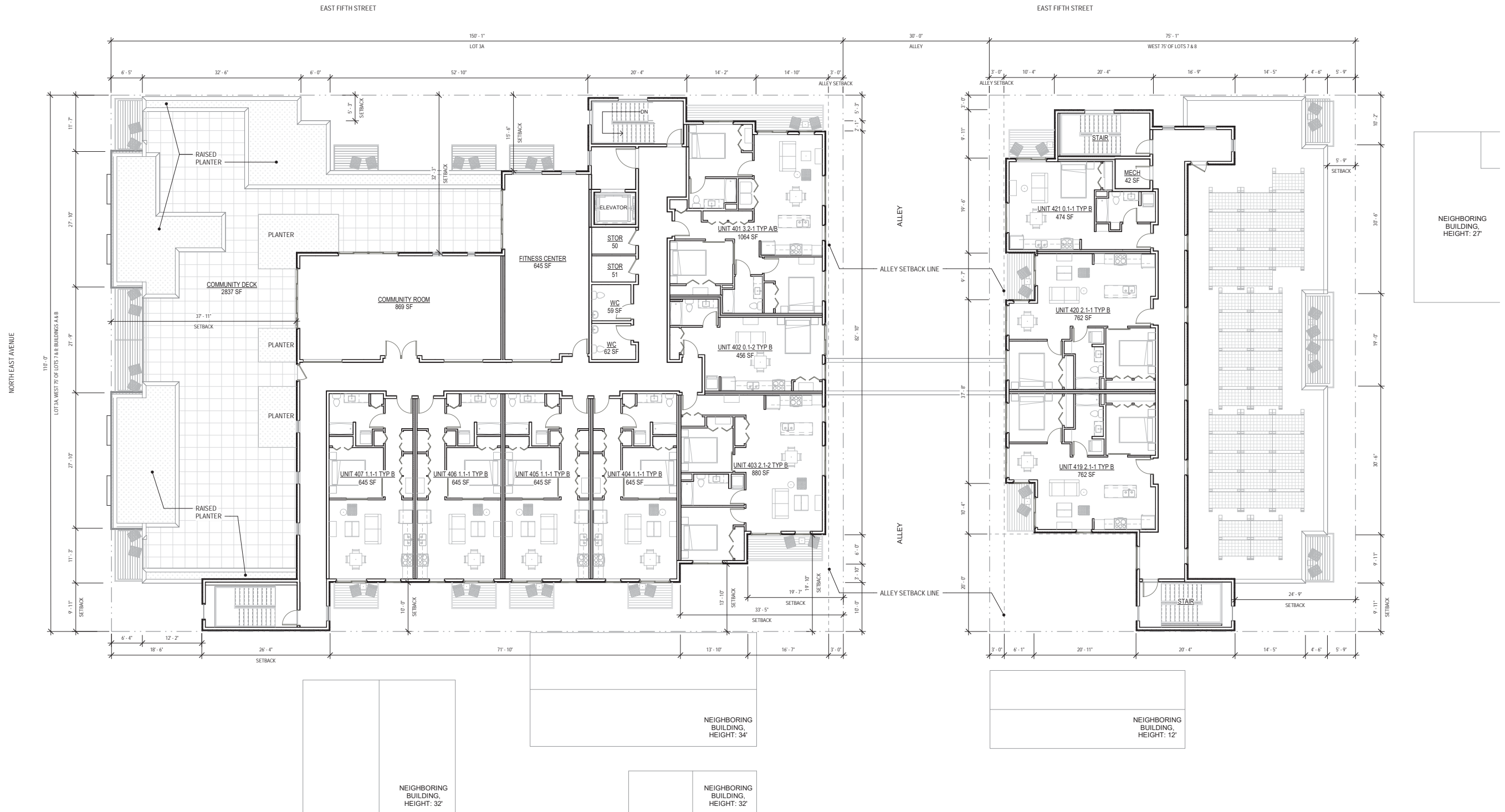
SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021





**PROPOSED FOURTH FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
STORAGE GROUP S-2  
ASSEMBLY GROUP A-3

**CONSTRUCTION TYPE**

CONSTRUCTION TYPE: 1ST/GROUND FLOOR: TYPE I-A  
2ND, 3RD, & 4TH FLOOR: TYPE V-B

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE) 1-1-1  
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*  
\*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE. 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

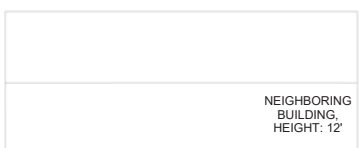
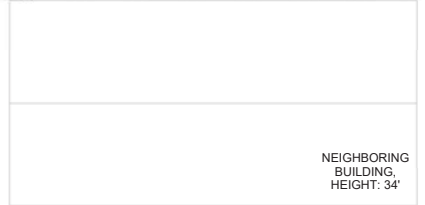
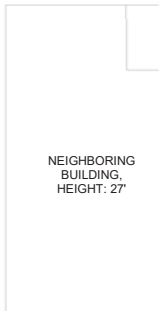
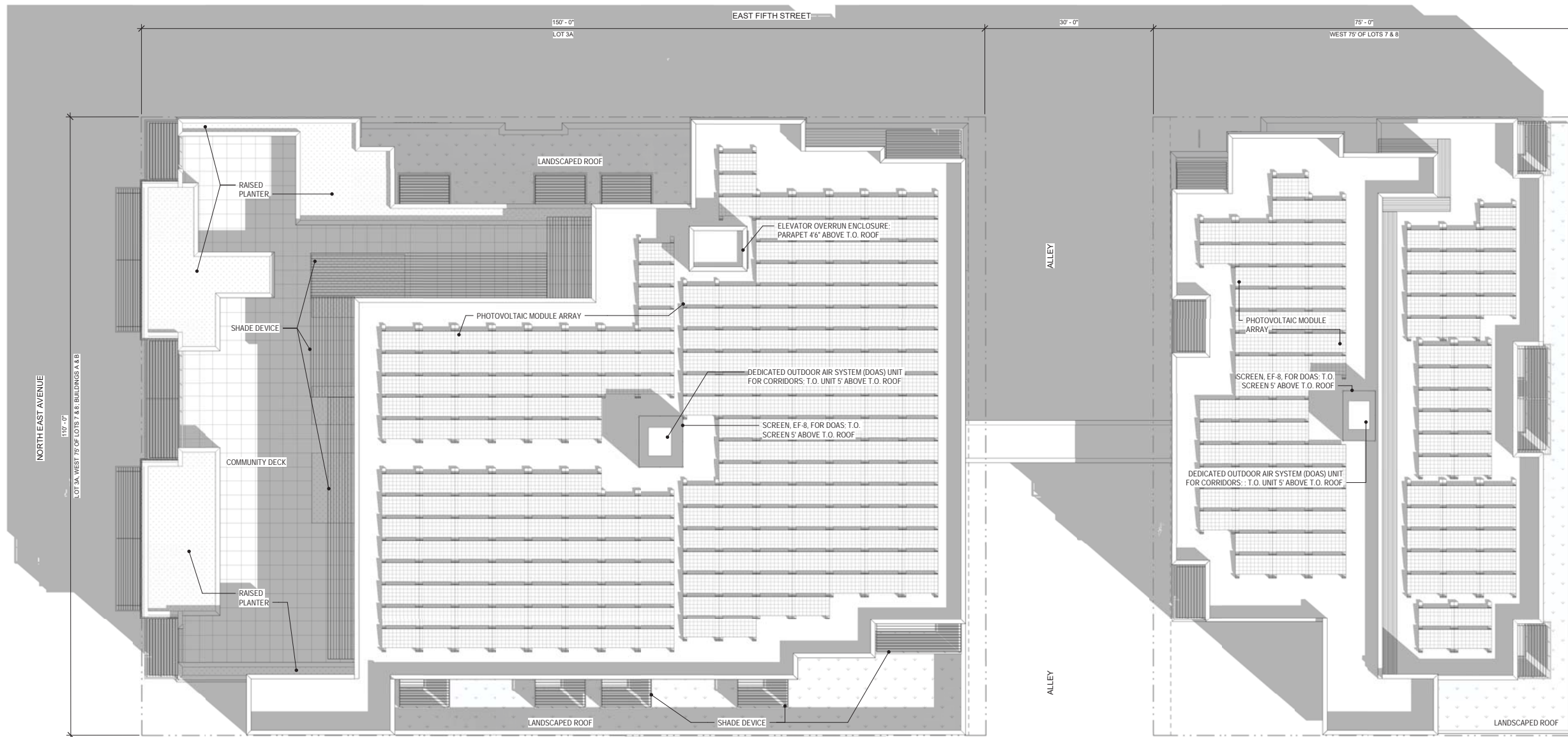
SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021





PROPOSED ROOF PLAN 9:00 AM, JUNE 21, 2021

SCALE: 1/8" = 1'-0"

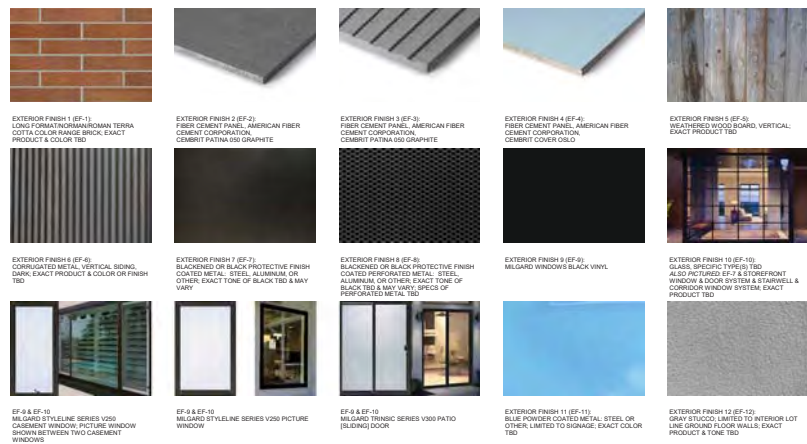
# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

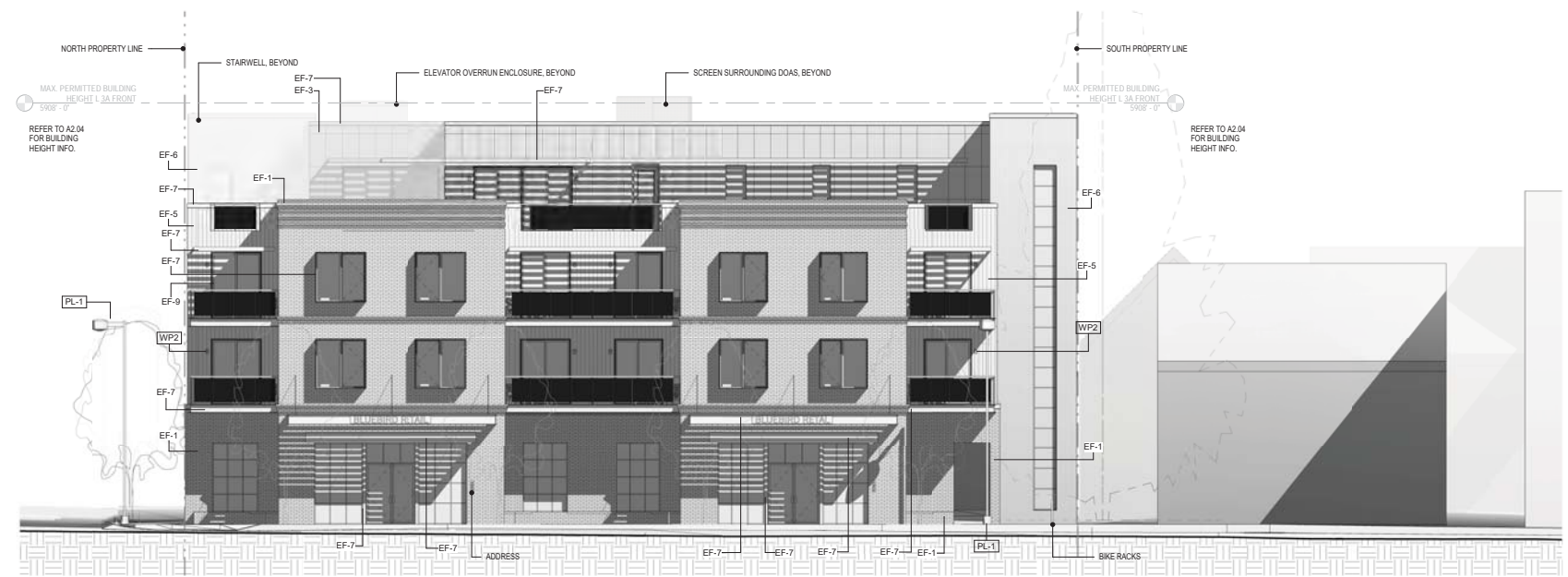
DESIGN REVIEW  
07/07/2021



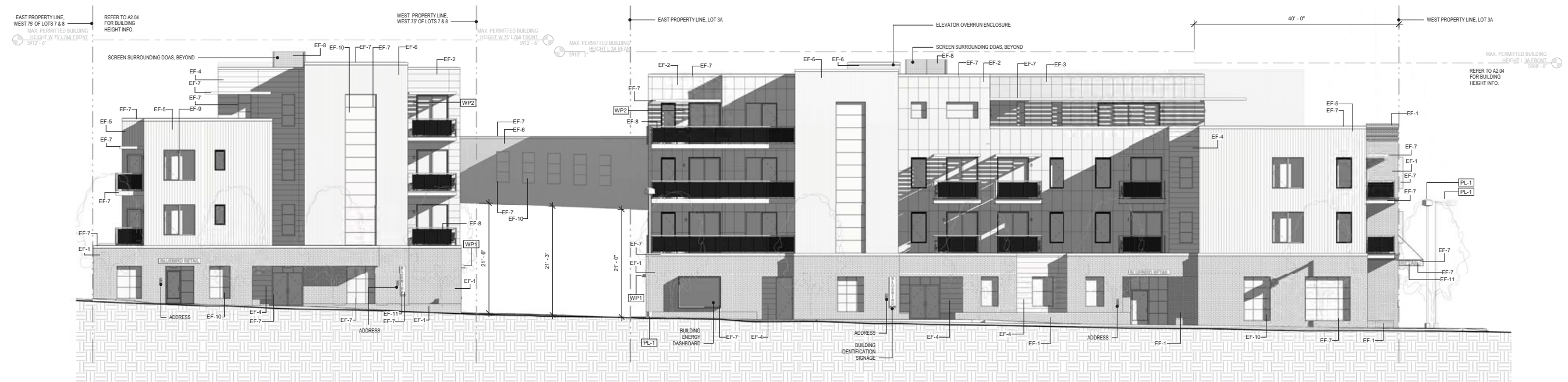




PROPOSED EXTERIOR FINISHES



WEST ELEVATION - NORTH EAST AVENUE 13:00, SEPTEMBER 22, 2021  
1/8" = 1'-0"



NORTH ELEVATION - EAST FIFTH STREET 17:00, SEPTEMBER 22, 2021  
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - WEST & NORTH

PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
  - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
  - EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
  - EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
  - A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
  - SEE EXAMPLES AT RIGHT
- IT IS POSSIBLE THAT NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG; HOWEVER, ALL THE PRINCIPLE MATERIALS & FINISHES ARE TAGGED.

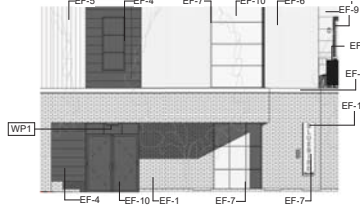


EXTERIOR FINISH 1 (EF-1):  
LONG FORMAT/NORMAN/ROMAN TERRA  
COTTA COLOR RANGE BRICK

PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
  - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.



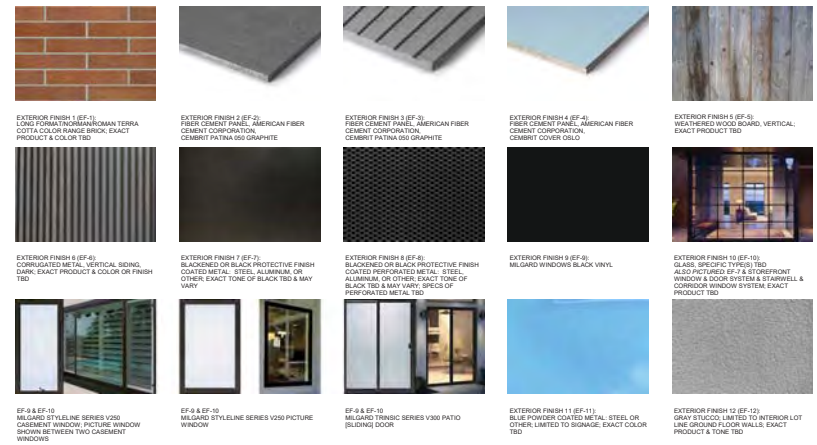
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

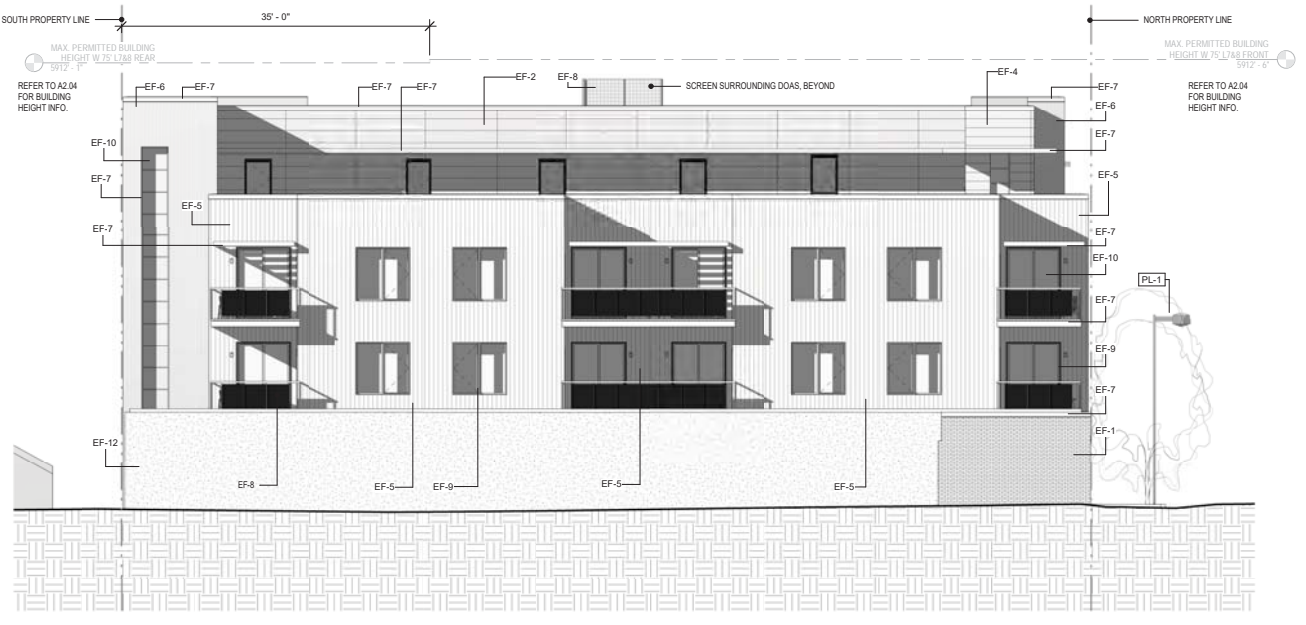
480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021





PROPOSED EXTERIOR FINISHES



EAST ELEVATION - BUILDING B 10:00, SEPTEMBER 22, 2021  
1/8" = 1'-0"



SOUTH ELEVATION 13:15, SEPTEMBER 22, 2021  
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - EAST & SOUTH

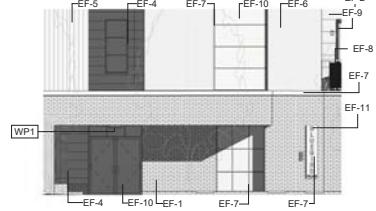
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
  - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
  - EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
  - EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
  - A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
  - SEE EXAMPLES AT RIGHT
- IT IS POSSIBLE THAT NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG; HOWEVER, ALL THE PRINCIPLE MATERIALS & FINISHES ARE TAGGED.



EXTERIOR FINISH 1 (EF-1): LONG FORMAT/NORMAN/ROMAN TERRA COTTA COLOR RANGE BRICK



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
  - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.

SCALE: 1/8" = 1'-0"

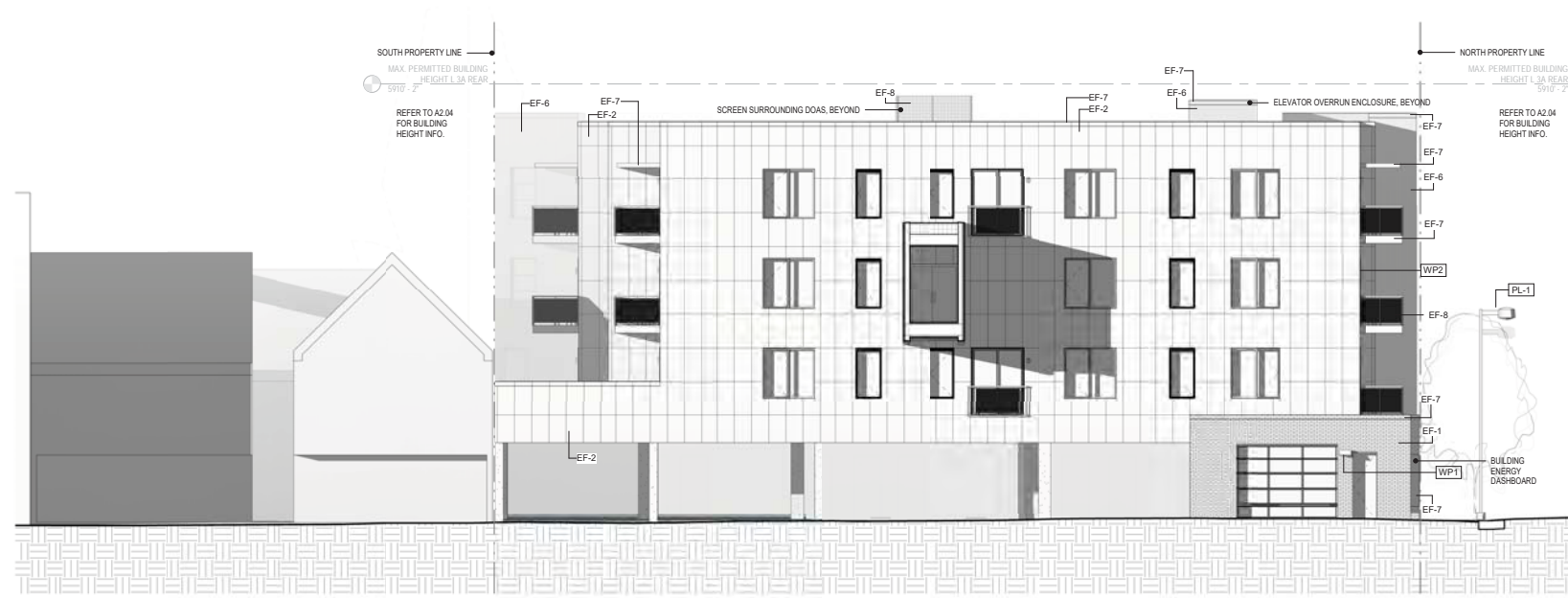
BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021



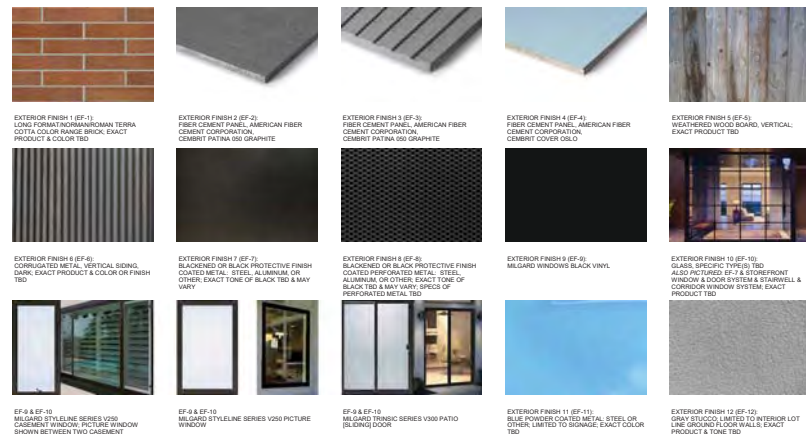




EAST ELEVATION - BUILDING A (ALLEY) 8:30, SEPTEMBER 22, 2021  
1/8" = 1'-0"



WEST ELEVATION - BUILDING B (ALLEY) 17:00, SEPTEMBER 22, 2021  
1/8" = 1'-0"



PROPOSED EXTERIOR FINISHES

PROPOSED BUILDING ELEVATIONS - ALLEY

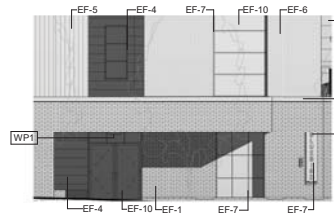
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
- EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
- EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
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EXTERIOR FINISH 1 (EF-1):  
LONG FORMAT/NORMAN/Roman TERRA  
COTTA COLOR RANGE BRICK



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.

SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021





4 BUILDING B HEIGHT, REAR LOT LINE  
1/8" = 1'-0"



3 BUILDING B HEIGHT, FRONT LOT LINE  
1/8" = 1'-0"



2 BUILDING A HEIGHT, REAR LOT LINE  
1/8" = 1'-0"



1 BUILDING A HEIGHT, FRONT LOT LINE  
1/8" = 1'-0"

**BUILDING HEIGHTS**

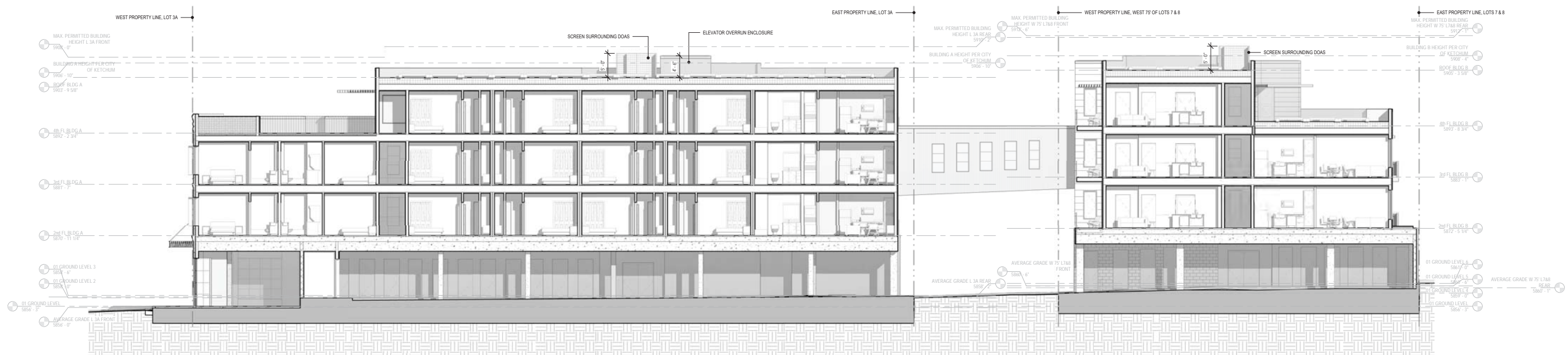
SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021





PROPOSED LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"

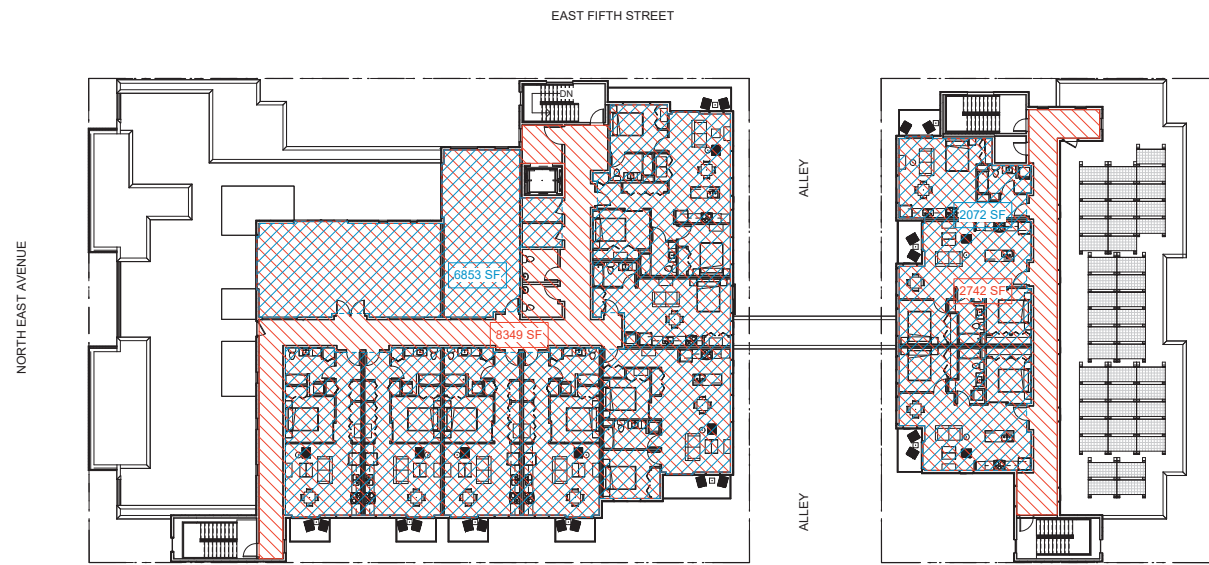
# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

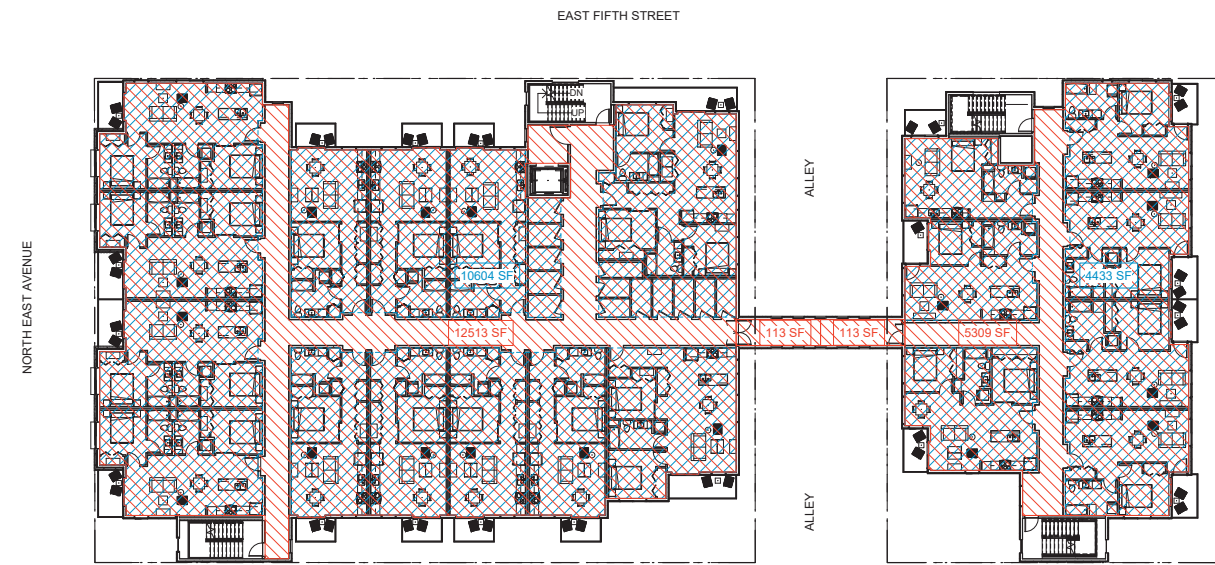
DESIGN REVIEW  
07/07/2021



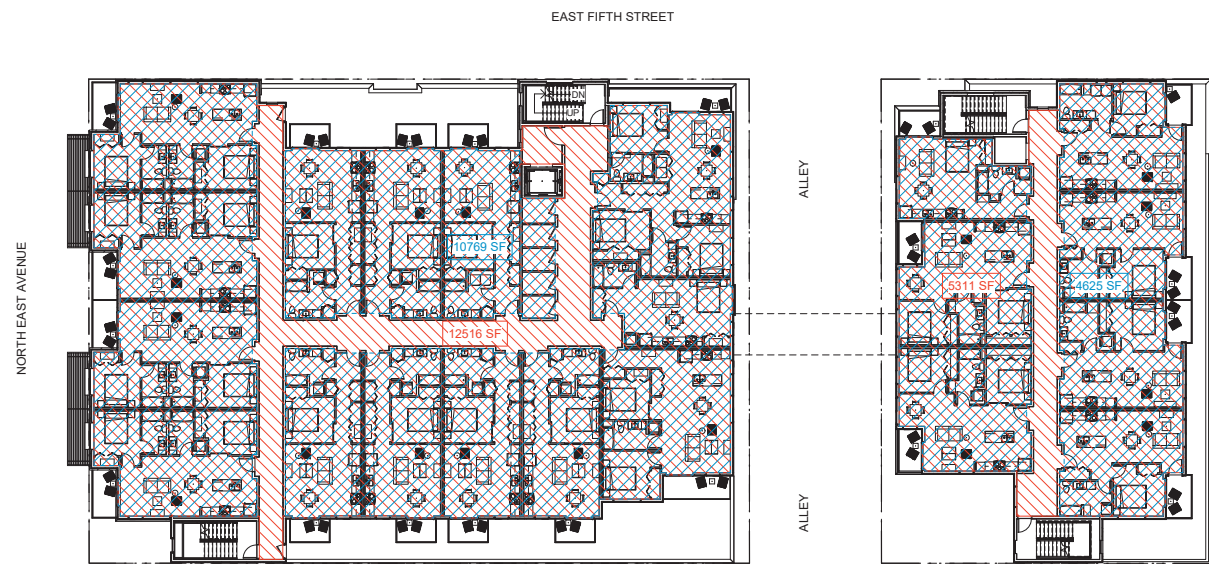




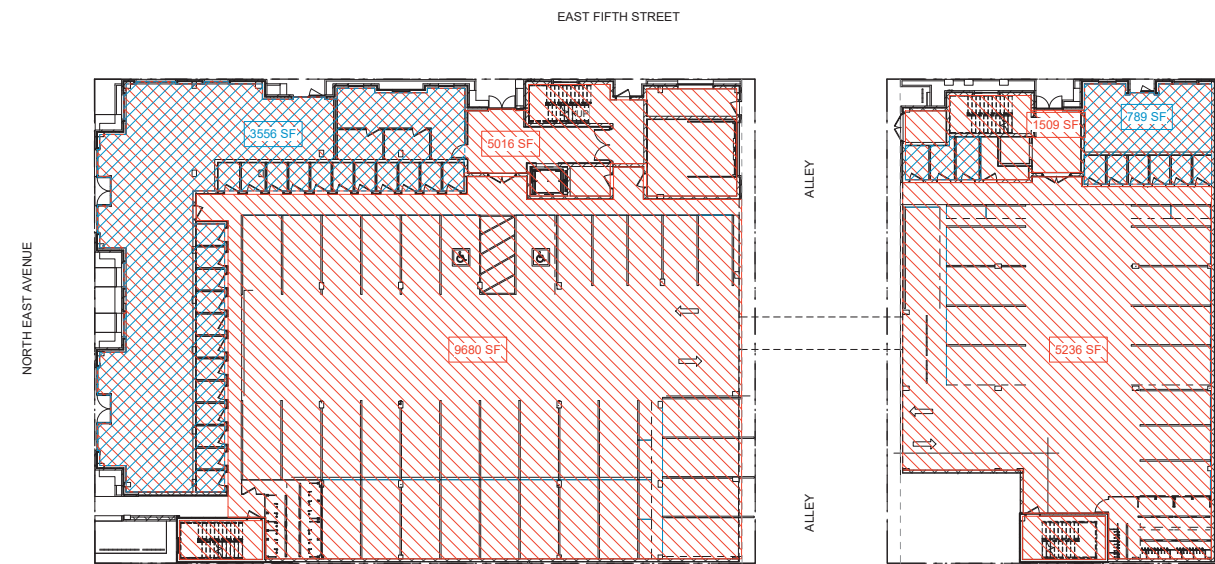
**4TH FLOOR**  
 1/16" = 1'-0"  
 BUILDING A, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 8388 SF  
 BUILDING B, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 2716 SF  
 BUILDING A, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 6853 SF  
 BUILDING B, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 2072 SF



**3RD FLOOR**  
 1/16" = 1'-0"  
 BUILDING A, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 12513 SF + 113 SF = 12626 SF  
 BUILDING B, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 5309 SF + 113 SF = 5422 SF  
 BUILDING A, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 10604 SF  
 BUILDING B, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 4433 SF



**2ND FLOOR**  
 1/16" = 1'-0"  
 BUILDING A, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 12516 SF  
 BUILDING B, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 5311 SF  
 BUILDING A, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 10769 SF  
 BUILDING B, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 4625 SF



**GROUND FLOOR**  
 1/16" = 1'-0"  
 BUILDING A, PARKING INCLUDED, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 5016 SF + 9680 SF = 14721 SF  
 BUILDING B, PARKING INCLUDED, TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 1509 SF + 5236 SF = 6745 SF  
 BUILDING A, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 3556 SF  
 BUILDING B, TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 789 SF

**FLOOR AREA + FLOOR AREA RATIO**

**FLOOR AREA RATIO, GROSS**

**BUILDING A**

**SITE AREA**  
 LOT 3A: 110' x 150' ± = 16814 SF

**BUILDING A GROSS AREA, PARKING INCLUDED**

GROUND FLOOR: 14696 SF  
 2ND FLOOR: 12516 SF  
 3RD FLOOR: 12626 SF  
 4TH FLOOR: 8349 SF  
 TOTAL: 48187 SF

48187 SF + 16814 SF = 2.87 F.A.R.

**BUILDING B**

**SITE AREA**  
 WEST 75' OF LOTS 7 & 8: 110' x 75' ± = 8258 SF

**BUILDING B GROSS AREA, PARKING INCLUDED**

GROUND FLOOR: 6745 SF  
 2ND FLOOR: 5311 SF  
 3RD FLOOR: 5422 SF  
 4TH FLOOR: 2742 SF  
 TOTAL: 20220 SF

20220 SF + 8258 SF = 2.45 F.A.R.

**FLOOR AREA RATIO, NET**

**BUILDING A**

**SITE AREA**  
 LOT 3A: 110' x 150' ± = 16814 SF

**BUILDING A NET AREA**

GROUND FLOOR: 3556 SF  
 2ND FLOOR: 10769 SF  
 3RD FLOOR: 10604 SF  
 4TH FLOOR: 6853 SF  
 TOTAL: 31782 SF

31782 SF + 16814 SF = 1.89 F.A.R.

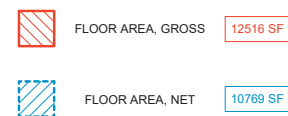
**BUILDING B**

**SITE AREA**  
 WEST 75' OF LOTS 7 & 8: 110' x 75' ± = 8258 SF

**BUILDING B NET AREA**

GROUND FLOOR: 789 SF  
 2ND FLOOR: 4625 SF  
 3RD FLOOR: 4433 SF  
 4TH FLOOR: 2072 SF  
 TOTAL: 11919 SF

11919 SF + 8258 SF = 1.44 F.A.R.



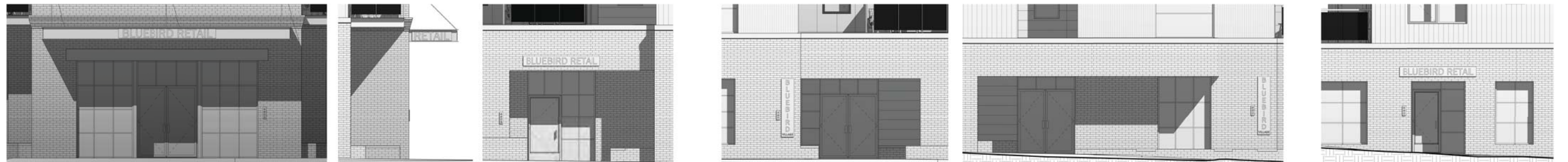
SCALE: 1/16" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
 KETCHUM, ID 83340

DESIGN REVIEW  
 07/07/2021



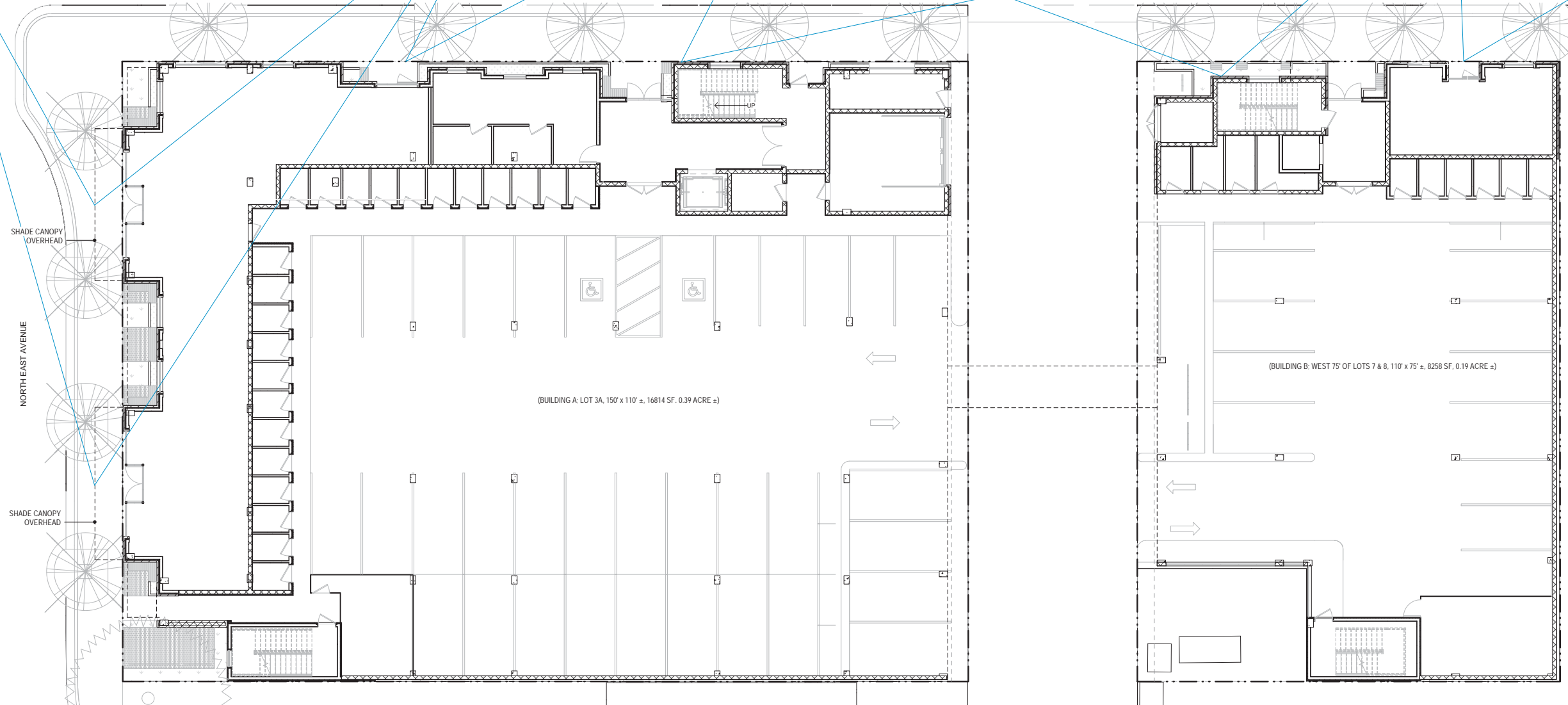


RETAIL SIGNAGE - AWNING  
1/4" = 1'-0"

RETAIL SIGNAGE - WALL  
1/4" = 1'-0"

BUILDING IDENTIFICATION SIGNAGE - WALL  
1/4" = 1'-0"

RETAIL SIGNAGE - WALL  
1/4" = 1'-0"



**PROPOSED MASTER SIGNAGE PLAN**

**EXTERIOR SIGNAGE INFORMATION, FACTORS, & CALCULATIONS**

**SIGNAGE MATERIALS AND COLORS**  
 CARBON STEEL, BLACKENED, OXIDIZED and/or PATINATED BLUE or POWDER COATED BLUE w/ or w/o CLEAR PROTECTIVE COAT FASTENERS AS REQUIRED  
**SIGNAGE FONT**  
 TBD (FRANKLIN GOTHIC, AS SHOWN)



**BUILDING A, LOT 3A STREET FRONTAGE EAST AVENUE N.**  
 110' (+/-)  
 SIGN TYPES  
 AWNING, RETAIL  
 AREA/SIZE/HEIGHT LIMITATIONS of AWNING SIGNAGE  
 1SqFt/3LnFt Street Frontage, ≤ 60SqFt;  
 Height ≤ 1' or 80% of Height of Face or Valance, Whichever is Less;  
 Lowest Portion ≥ 8' Above Grade  
 AREA/SIZE/HEIGHT PROPOSED for AWNING SIGNAGE  
 X SqFt = 110 Ln Ft + 3 Ln Ft = 36.67 Sq Ft  
 6 SIGNS, 1' Ft HIGH EACH, on 2 AWNINGS of 3 FACES EACH  
 4 SIGNS, EACH 4' x 1' = 4 SqFt x 4 = 16 SqFt  
 2 SIGNS, EACH 10' x 1' = 10 SqFt x 2 = 20 SqFt  
 TOTAL SIGNAGE AREA = 36 SqFt  
 SIGNAGE AREA per AWNING = 18 SqFt

**BUILDING A, LOT 3A STREET FRONTAGE FIFTH STREET E.**  
 150' (+/-)  
 SIGN TYPES  
 WALL, RETAIL  
 WALL, BUILDING IDENTIFICATION  
 AREA/SIZE/HEIGHT LIMITATIONS of WALL SIGNAGE  
 1SqFt/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area  
 2 Signs Per Permitted Use  
 AREA/SIZE/HEIGHT/NUMBER PROPOSED for WALL SIGNAGE  
 X SqFt = 150 Ln Ft + 3 Ln Ft = 50 SqFt  
 1 SIGN, 8' x 1' = 8 SqFt  
 1 SIGN, 6' x 1' 3" = 7.5 SqFt  
 TOTAL SIGNAGE AREA, WALL SIGNAGE, RETAIL & BUILDING ID.  
 8 SqFt + 7.5 SqFt = 15.5 SqFt, or more, but ≤ 50 SqFt

**BUILDING B, LOTS 7&8 STREET FRONTAGE FIFTH STREET E.**  
 85' (+/-)  
 SIGN TYPES  
 WALL, RETAIL  
 WALL, BUILDING IDENTIFICATION  
 AREA/SIZE/HEIGHT LIMITATIONS of WALL SIGNAGE  
 1SqFt/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area  
 2 Signs Per Permitted Use  
 AREA/SIZE/HEIGHT/NUMBER PROPOSED for WALL SIGNAGE  
 X SqFt = 85 Ln Ft + 3 Ln Ft = 28.33 SqFt  
 1 SIGN, 8' x 1' = 8 SqFt  
 1 SIGN, 6' x 1' 3" = 7.5 SqFt  
 TOTAL SIGNAGE AREA, WALL & PROJECTING SIGNAGE  
 8 SqFt + 7.5 SqFt = 15.5 SqFt, or more, but ≤ 28.33 Sq Ft

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
 KETCHUM, ID 83340

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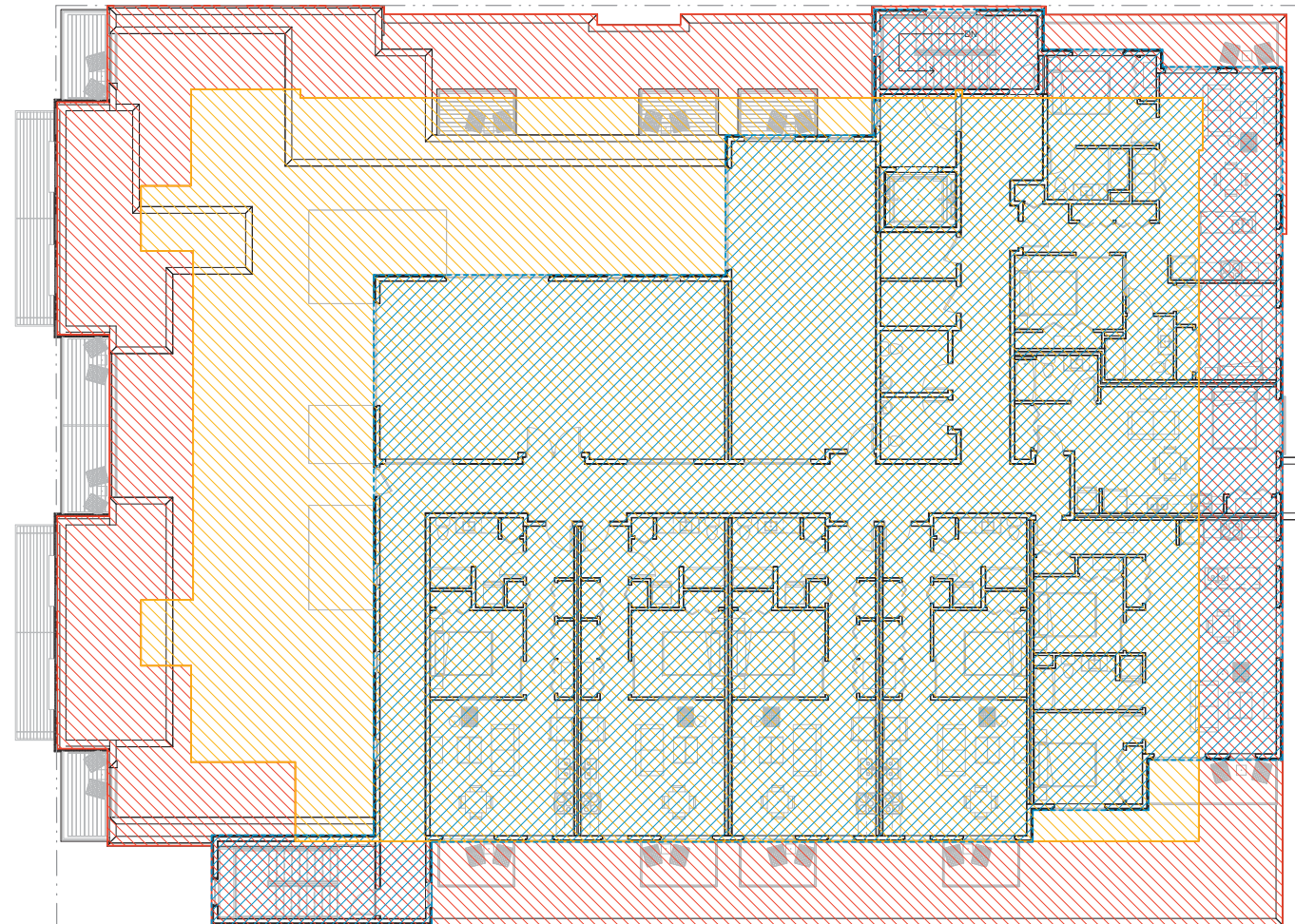


EAST FIFTH STREET

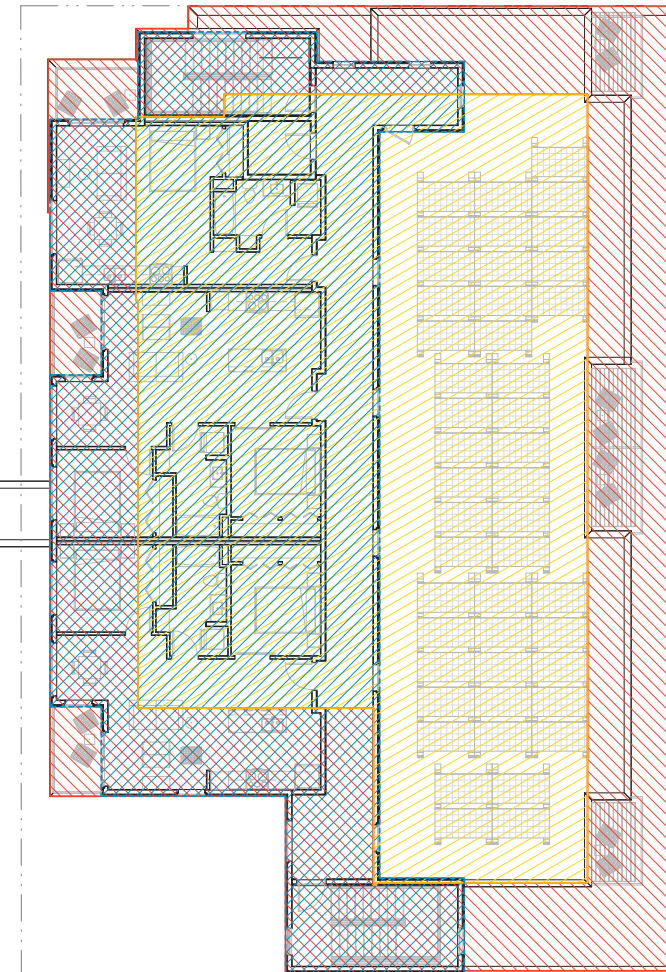
NORTH EAST AVENUE

ALLEY

ALLEY



- 10' SETBACK FROM GROUND FLOOR BUILDING EDGE, AREA = 4863 SF
- AREA WITHIN 10' SETBACK FROM GROUND FLOOR BUILDING EDGE = 10685 SF
- PROPOSED 4th FLOOR AREA = 9110 SF  
PROPOSED 4th FLOOR AREA UNDER PERMITTED = 10685 SF - 9110 SF = 1575 SF



- 10' SETBACK FROM GROUND FLOOR BUILDING EDGE, AREA = 3176 SF
- AREA WITHIN 10' SETBACK FROM GROUND FLOOR BUILDING EDGE = 4026 SF
- PROPOSED 4th FLOOR AREA = 3409 SF  
PROPOSED 4th FLOOR AREA UNDER PERMITTED = 4026 SF - 3409 SF = 617 SF

FOURTH FLOOR SETBACK FROM GROUND FLOOR BUILDING EDGE, PER PROPOSED CODE TEXT AMENDMENT

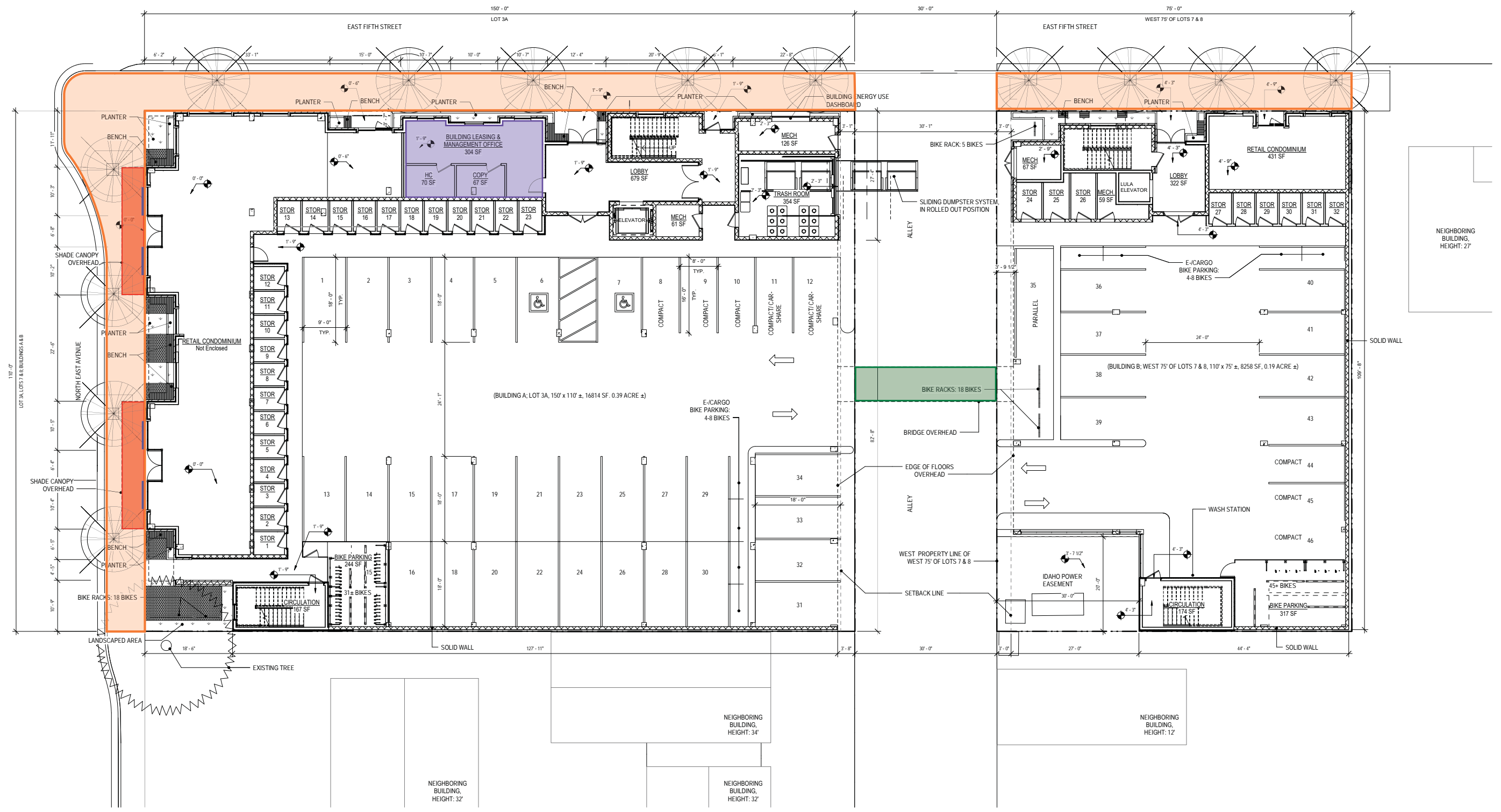
SCALE: 1/8" = 1'-0"

# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021





**RIGHT OF WAY ENCROACHMENT + CONDITIONAL USE PLAN**

**RIGHT OF WAY ENCROACHMENT**

- METAL SOLAR SHADES - 5-FOOT ENCROACHMENT AT EAST AVENUE
- 3/8" x 6" STEEL WINDOW SURROUND/SHADE BOX - 6-INCH ENCROACHMENT AT EAST AVENUE
- HYDRONIC SNOWMELT IN SIDEWALKS AT EAST AVENUE AND 5TH STREET
- PEDESTRIAN BRIDGE - 21-FEET ABOVE ALLEY

**CONDITIONAL USE**

- OFFICE SPACE AT GROUND LEVEL - 441 SF

SCALE: 1/8" = 10'

# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021







WEST ELEVATION - NORTH EAST AVENUE 12:45 PM, SEPTEMBER 22, 2021  
1/8" = 1'-0"



NORTH ELEVATION - EAST FIFTH STREET 4:00 PM, SEPTEMBER 22, 2021  
1/8" = 1'-0"

RIGHT OF WAY ENCROACHMENT + CONDITIONAL USE ELEVATIONS

RIGHT OF WAY ENCROACHMENT

- METAL SOLAR SHADES - 5-FOOT ENCROACHMENT AT EAST AVENUE
- 3/8" x 6" STEEL WINDOW SURROUND/SHADE BOX - 6-INCH ENCROACHMENT AT EAST AVENUE
- HYDRONIC SNOWMELT IN SIDEWALKS AT EAST AVENUE AND 5TH STREET
- PEDESTRIAN BRIDGE - 21-FEET ABOVE ALLEY

CONDITIONAL USE

- OFFICE SPACE AT GROUND LEVEL - 441 SF

SCALE: 1/8" = 1'-0"

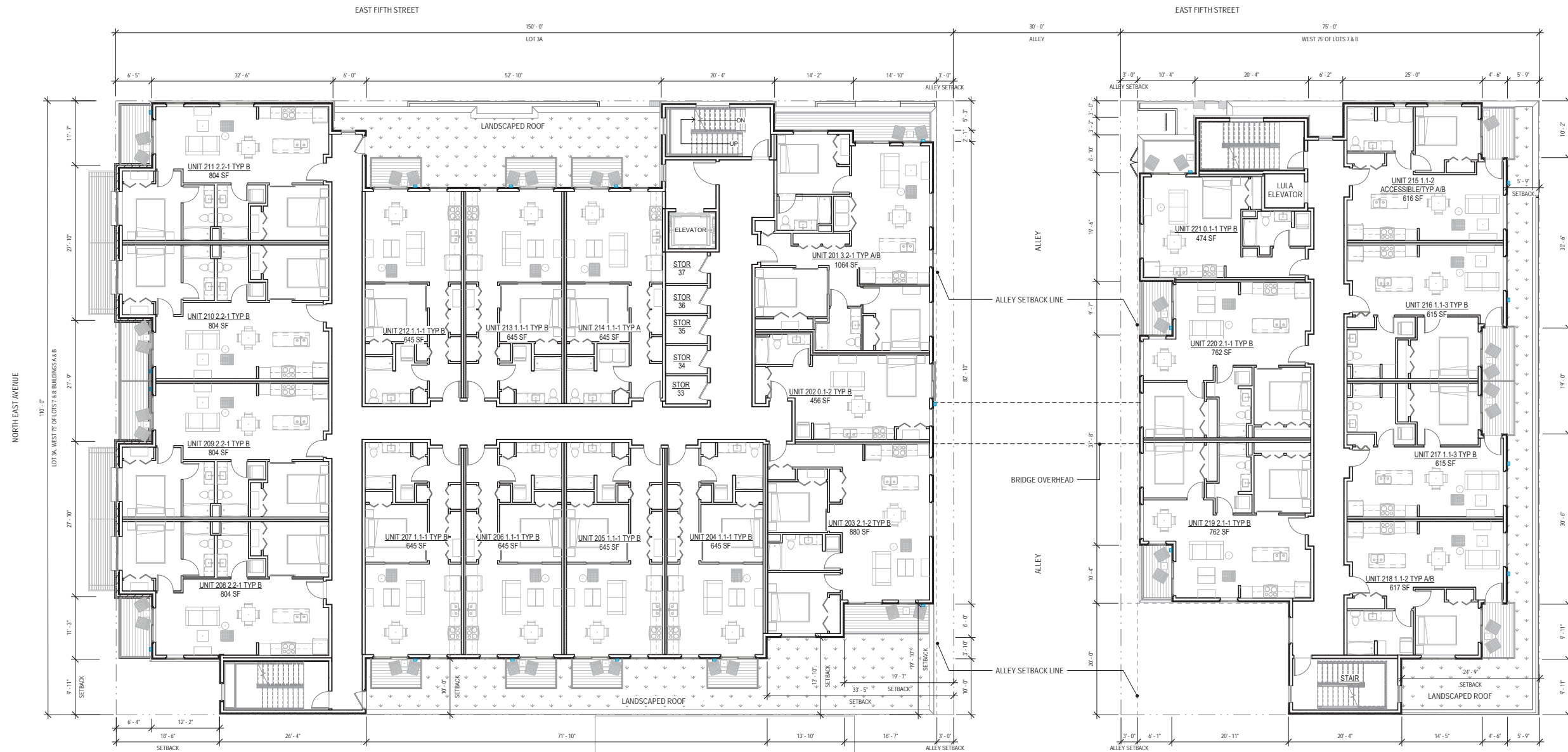
# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

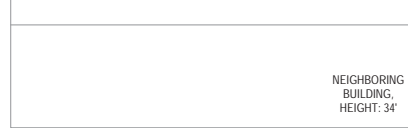
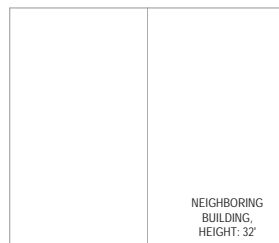
DESIGN REVIEW  
08/04/2021



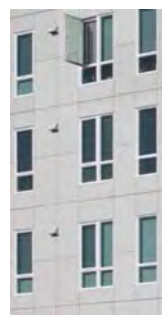




PROPOSED APPROXIMATE AIR CONDITIONING VENT LOCATION



FRESH AIR (AC PORT) VENT PLAN, TYPICAL FLOOR



FRESH AIR (AC PORT) VENT



PORTABLE AIR CONDITIONER, EXHAUST HOSE, AND EXHAUST PORT

BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
08/04/2021



EAST FIFTH STREET

EAST FIFTH STREET

NORTH EAST AVENUE



**PROPOSED SECOND FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
STORAGE GROUP S-2

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)  
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*

\*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE. 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

**RESIDENTIAL UNIT TYPE COLOR CODE KEY**

- 1 BEDROOM UNITS
- 2 BEDROOM UNITS
- 3 BEDROOM UNITS
- STUDIO UNITS

SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

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EAST FIFTH STREET

EAST FIFTH STREET

NORTH EAST AVENUE



**PROPOSED THIRD FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

RESIDENTIAL GROUP R-2  
STORAGE GROUP S-2

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)  
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*

\*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE. 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

**RESIDENTIAL UNIT TYPE COLOR CODE KEY**

- 1 BEDROOM UNITS
- 2 BEDROOM UNITS
- 3 BEDROOM UNITS
- STUDIO UNITS

SCALE: 1/8" = 1'-0"

**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
KETCHUM, ID 83340

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EAST FIFTH STREET

EAST FIFTH STREET

NORTHEAST AVENUE



**PROPOSED FOURTH FLOOR PLAN**

**USE & OCCUPANCY CLASSIFICATION**

- RESIDENTIAL GROUP R-2
- STORAGE GROUP S-2
- ASSEMBLY GROUP A-3

**RESIDENTIAL UNIT TYPE KEY**

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)  
 NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)  
 FLOOR PLAN TYPE & PREVALENCE IN PROJECT\*  
 \*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

**RESIDENTIAL UNIT TYPE COLOR CODE KEY**

- 1 BEDROOM UNITS
- 2 BEDROOM UNITS
- 3 BEDROOM UNITS
- STUDIO UNITS

SCALE: 1/8" = 1'-0"

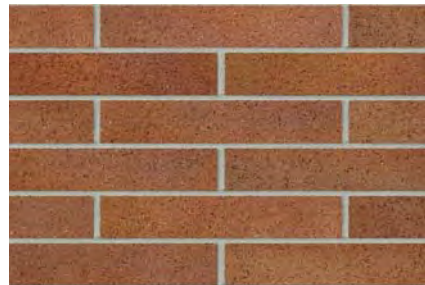
**BLUEBIRD VILLAGE**

480 N. EAST AVE.  
 KETCHUM, ID 83340

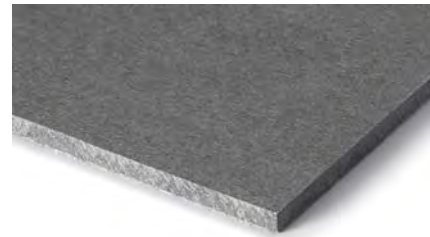
DESIGN REVIEW  
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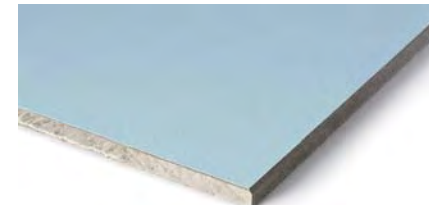
EXTERIOR FINISH 1 (EF-1):  
LONG FORMAT/NORMAN/ROMAN TERRA  
COTTA COLOR RANGE BRICK; EXACT  
PRODUCT & COLOR TBD



EXTERIOR FINISH 2 (EF-2):  
FIBER CEMENT PANEL, AMERICAN FIBER  
CEMENT CORPORATION,  
CEMBRIT PATINA 050 GRAPHITE



EXTERIOR FINISH 3 (EF-3):  
FIBER CEMENT PANEL, AMERICAN FIBER  
CEMENT CORPORATION,  
CEMBRIT PATINA 050 GRAPHITE



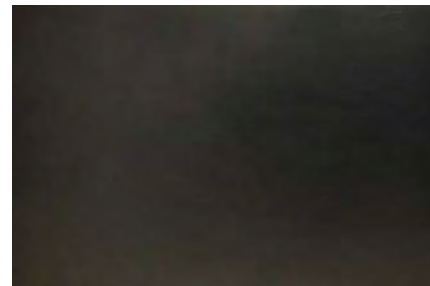
EXTERIOR FINISH 4 (EF-4):  
FIBER CEMENT PANEL, AMERICAN FIBER  
CEMENT CORPORATION,  
CEMBRIT COVER OSLO



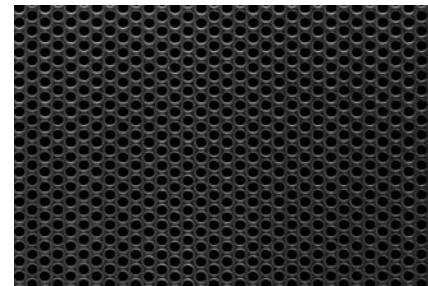
EXTERIOR FINISH 5 (EF-5):  
WEATHERED WOOD BOARD, VERTICAL;  
EXACT PRODUCT TBD



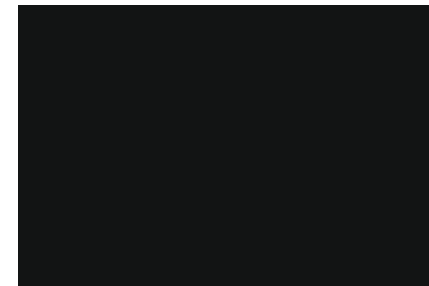
EXTERIOR FINISH 6 (EF-6):  
CORRUGATED METAL, VERTICAL SIDING,  
DARK; EXACT PRODUCT & COLOR OR FINISH  
TBD



EXTERIOR FINISH 7 (EF-7):  
BLACKENED OR BLACK PROTECTIVE FINISH  
COATED METAL: STEEL, ALUMINUM, OR  
OTHER; EXACT TONE OF BLACK TBD & MAY  
VARY



EXTERIOR FINISH 8 (EF-8):  
BLACKENED OR BLACK PROTECTIVE FINISH  
COATED PERFORATED METAL: STEEL,  
ALUMINUM, OR OTHER; EXACT TONE OF  
BLACK TBD & MAY VARY; SPECS OF  
PERFORATED METAL TBD



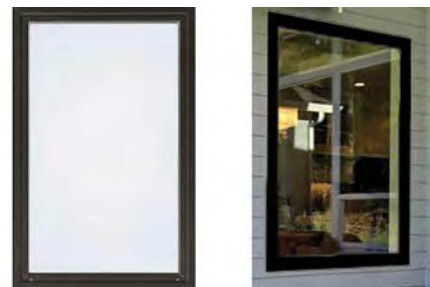
EXTERIOR FINISH 9 (EF-9):  
MILGARD WINDOWS BLACK VINYL



EXTERIOR FINISH 10 (EF-10):  
GLASS, SPECIFIC TYPE(S) TBD  
ALSO PICTURED: EF-7 & STOREFRONT  
WINDOW & DOOR SYSTEM & STAIRWELL &  
CORRIDOR WINDOW SYSTEM; EXACT  
PRODUCT TBD



EF-9 & EF-10  
MILGARD STYLELINE SERIES V250  
CASEMENT WINDOW; PICTURE WINDOW  
SHOWN BETWEEN TWO CASEMENT  
WINDOWS



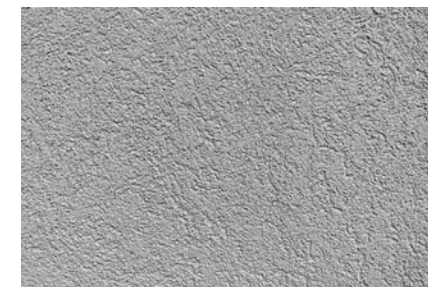
EF-9 & EF-10  
MILGARD STYLELINE SERIES V250 PICTURE  
WINDOW



EF-9 & EF-10  
MILGARD TRINSIC SERIES V300 PATIO  
[SLIDING] DOOR



EXTERIOR FINISH 11 (EF-11):  
BLUE POWDER COATED METAL: STEEL OR  
OTHER; LIMITED TO SIGNAGE; EXACT COLOR  
TBD



EXTERIOR FINISH 12 (EF-12):  
GRAY STUCCO; LIMITED TO INTERIOR LOT  
LINE GROUND FLOOR WALLS; EXACT  
PRODUCT & TONE TBD

## PROPOSED EXTERIOR FINISHES

# BLUEBIRD VILLAGE

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KETCHUM, ID 83340

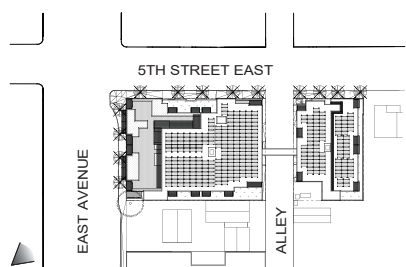
DESIGN REVIEW  
07/07/2021







PROPOSED SW CORNER VIEW



# BLUEBIRD VILLAGE

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KETCHUM, ID 83340

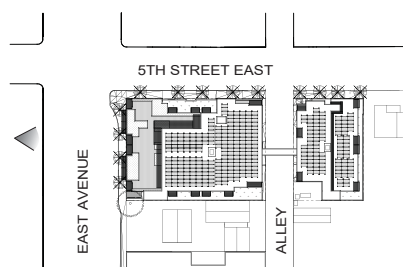
DESIGN REVIEW  
07/07/2021







PROPOSED EAST AVENUE FACADE



# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

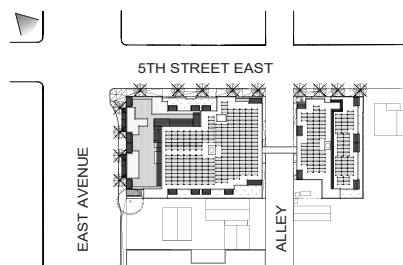
DESIGN REVIEW  
07/07/2021







PROPOSED NW CORNER VIEW



# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

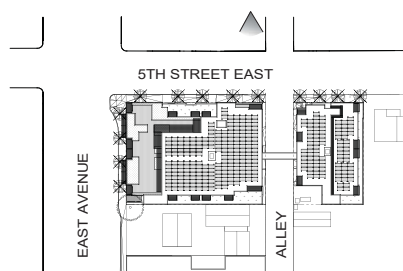
DESIGN REVIEW  
07/07/2021







PROPOSED FIFTH STREET FACADE



# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

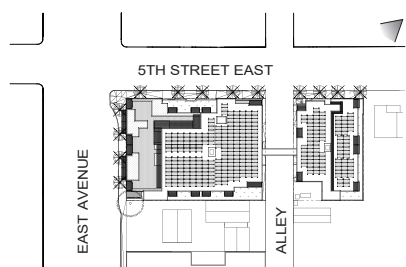
DESIGN REVIEW  
07/07/2021







PROPOSED NE CORNER VIEW



# BLUEBIRD VILLAGE

480 N. EAST AVE.  
KETCHUM, ID 83340

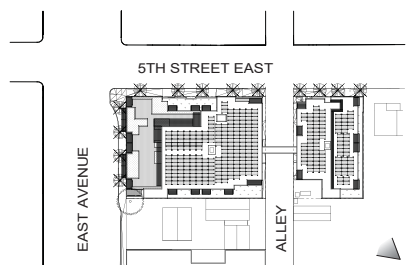
DESIGN REVIEW  
07/07/2021







PROPOSED SE CORNER VIEW



# BLUEBIRD VILLAGE

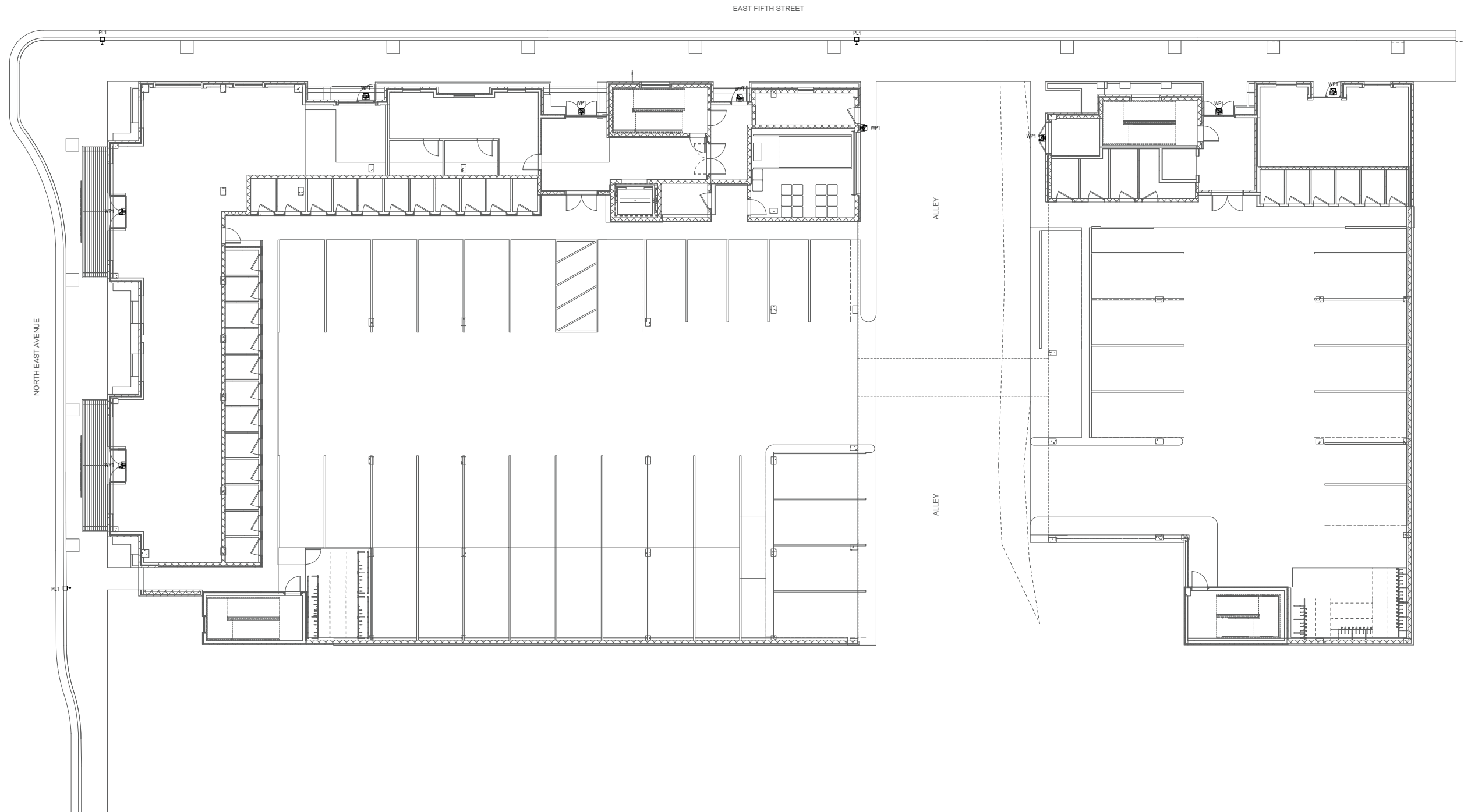
480 N. EAST AVE.  
KETCHUM, ID 83340

DESIGN REVIEW  
07/07/2021









ELECTRICAL SITE PLAN

SCALE: 1/8"=1'-0"

NO.	REVISIONS	DATE

**MUSGROVE**  
ENGINEERING, P.A.  
234 S. Willperwood Way  
Boise, Idaho 83709  
208.384.0885

645 W. 25TH ST.  
Idaho Falls, Idaho 83402  
208.523.2862

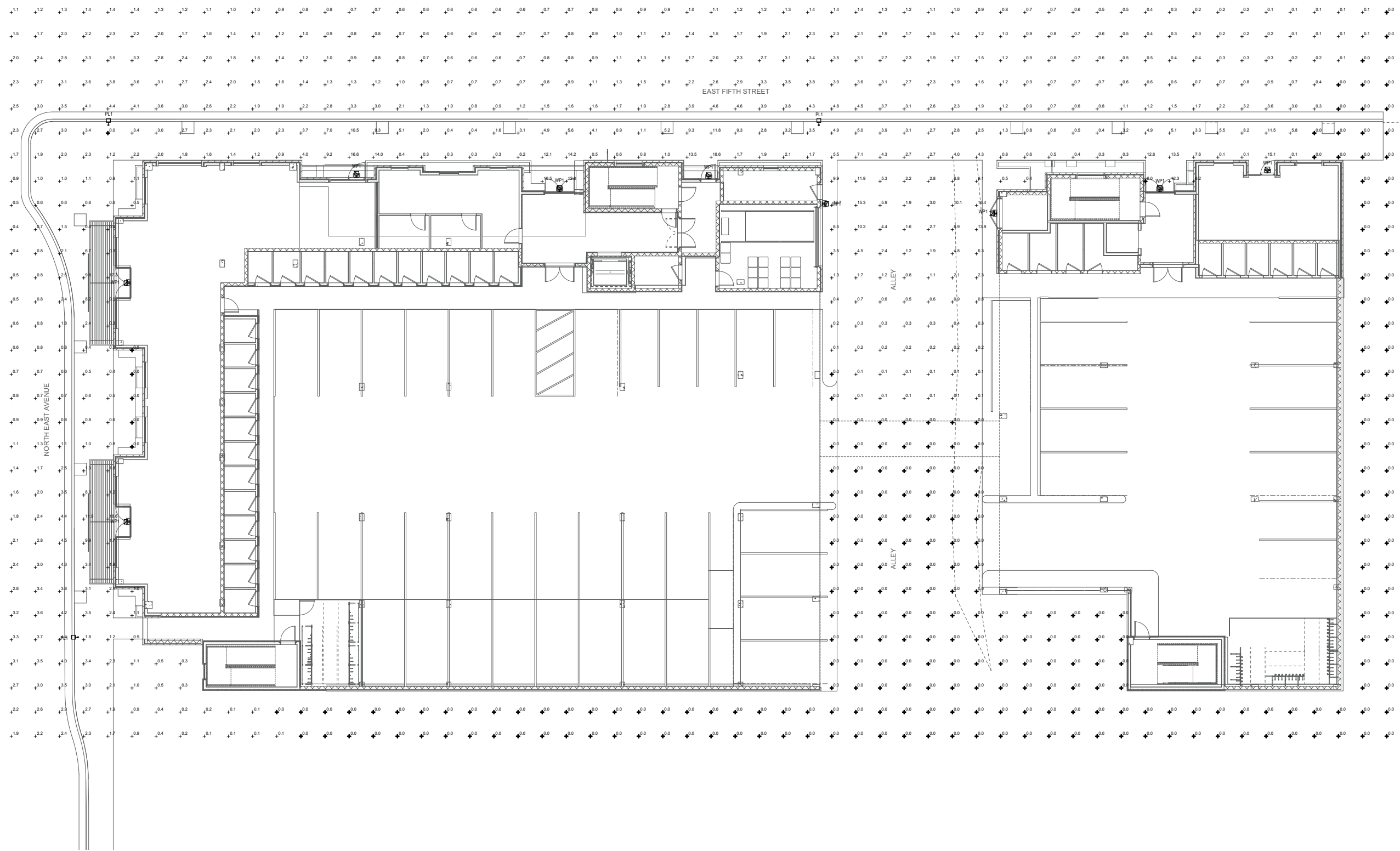
OVER 40 YEARS OF EXCELLENCE



**BLUEBIRD VILLAGE**  
480 N. EAST AVE.  
KETCHUM, ID 83340

PROJECT	20-523
DRAWN	RM
CHECKED	TM
DATE	07/01/22
SCALE	NOTED ON PLANS
SHEET	

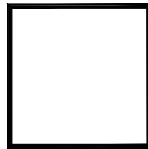
**E1.00**



ELECTRICAL SITE PHOTOMETRIC PLAN

SCALE: 1/8"=1'-0"

NO.	REVISIONS	DATE



**MUSGROVE**  
ENGINEERING, P.A.  
234 S. Willperwood Way  
Boise, Idaho 83709  
208.334.0885  
645 W. 25TH ST.  
Idaho Falls, Idaho 83402  
208.323.2862  
OVER 40 YEARS OF EXCELLENCE



**BLUEBIRD VILLAGE**  
480 N. EAST AVE.  
KETCHUM, ID 83340

PROJECT	20-523
DRAWN	RM
CHECKED	TM
DATE	07/01/22
SCALE	NOTED ON PLANS
SHEET	

**E1.01**





4TH FLOOR EXTERIOR LIGHTING PLAN

SCALE: 1/8"=1'-0"

NO.	REVISIONS	DATE

**MUSGROVE**  
**ENGINEERING, P.A.**  
 234 S. Willperwood Way    645 W. 25TH ST.  
 Boise, Idaho 83709    Idaho Falls, Idaho 83402  
 208.384.0885    208.323.2862  
MEMBER OF THE MCGRAW-HILL CONSTRUCTION INFORMATION GROUP  
**OVER 40 YEARS OF EXCELLENCE**



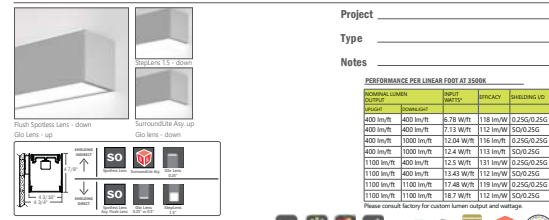
**BLUEBIRD VILLAGE**  
**480 N. EAST AVE.**  
**KETCHUM, ID 83340**

PROJECT	20-523
DRAWN	RM
CHECKED	TM
DATE	07/01/21
SCALE	NOTED ON PLANS
SHEET	

E1.10

## PROPOSED STAIRWELL LIGHT

Beam 4 | Wall mount - Direct / Indirect



THROW/LED	PRODUCT ID	NOM. LUMEN UP	NOM. LUMEN DOWN	CR	COLOR TEMP (choose one)	SHIELDING INDIRECT
THROW/LED	3000K	400 lm	400 lm	90	27 2700 K	SO
	4000K	400 lm	400 lm	90	30 3000 K	SLA
	5000K	400 lm	400 lm	90	35 3500 K	SLA
	6000K	400 lm	400 lm	90	40 4000 K	SLA
	7000K	400 lm	400 lm	90	45 4500 K	SLA
	8000K	400 lm	400 lm	90	50 5000 K	SLA
	9000K	400 lm	400 lm	90	55 5500 K	SLA
	10000K	400 lm	400 lm	90	60 6000 K	SLA

PL1 NXT SERIES

SL1 LED recessed wall luminaires - asymmetrical

WP1 WST LED Architectural Wall Sconce

TYPE	DESCRIPTION	MTG.	LAMPS	WATTS	MFG. & CATALOG NUMBER	OR EQUAL BY	NOTES
PL1	STREET LIGHT, INOVUS DESIGN SERIES ON GRID 25 FT POLE, MAST ARM, LED TYPE II FIXTURE	POLE MOUNTED +25'-0" AFF	80W	9430 LUMENS	POLE-GSP-01-208-PX MAST ARM MA-06-S-12-BK FIXTURE-NXT-48M-0-2ES-525-BK-4-UL-X-2H-1"		1
SL1	STEP LIGHT, RECESSED IN CONCRETE	RECESSED IN WALL	5.9W	340 LUMENS	BEGA 33054-K27-BLK		1
WP1	WALL MOUNTED, PROVIDE WITH OPTION E20WC WHERE EMERGENCY IS INDICATED	WALL MOUNTED	25W	3200 LUMENS	LITHONIA NO. WST LED P2-27K-VV-MVOLT-E20WC-DOBND		1
WP2	PATIO WALL SCONCE, DOWNLIGHT ONLY	WALL MOUNTED	10W	746 LUMENS	EATON 9002-W1-RW-LED-2700-F-1-L1-UNV-WRS		1

1. SUBSTITUTIONS WILL BE ALLOWED IF SUBMITTED PRIOR TO BID DATE BY THE GREATER OF: 7 BUSINESS DAYS OR THE TIME PERIOD SPECIFIED BY DIVISION 1 SPECIFICATIONS, AND IF DEEMED EQUAL BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING SUBSTITUTED FIXTURES MEET OR EXCEED THE SPECIFICATIONS OF THE FIXTURES SPECIFIED.



254 S. Whisperwood Way  
Boise, Idaho 83709  
(208) 384-0585

645 West 25th Street  
Idaho Falls, Idaho 83402  
(208) 543-2862

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### MEMORANDUM

Date: 7/30/21  
Job Number: 20-043  
Prepared By: Thad Mason  
Sheet: 1 of 1

To: Michael Dohy Associates, Architects PC  
375 Westington Avenue North  
Ketchum, Idaho 83345  
Attention: Michael Dohy

Project: Bluebird Village

### RE: Stair Lighting Strategy

It is understood that the exterior walls of the stair(s) has some level of glass and there is concern to limit the amount of light that is transmitted outside the building for lighting in the stair(s).

It should be noted that the stairs are part of the path of egress from the building and a certain level of lighting required for the path of egress to meet the requirements of the life safety code.

Since the lighting in the stairs is part of the life safety requirements, they are typically not controlled in a dimming or color method.

The intent will be to utilize wall mounted LED fixtures that produce light in primarily a downward direction with some level of up-light. These fixtures would not be intended to cast light in an upward direction and put the light on the floor and stair treads.

The amount of glass on the exterior has been reduced from the original amount of glass in this area.

Prepared by: Thad Mason  
Checked by: Michael Dohy

PL1 NXT SERIES

NXT-C SPECIFICATIONS

Housing: Single piece, die-cast A360 premium aluminum alloy with <math>0.05\%</math> copper content

Operating Temperature:  $-40^{\circ}\text{C}$  to  $+40^{\circ}\text{C}$  ( $-40^{\circ}\text{F}$  to  $+104^{\circ}\text{F}$ )

Mounting: 1.625" - 2.375" (42 - 60 mm) O.D. Tenons

Mounting Methods: Horizontal Entry or Post-Top Mount

Weight: 1.2 lbs (5.4 kg)

EPA Rating: <math>0.34\text{ ft}^2</math> ( $<math>0.032\text{ m}^2</math>)$

Lens Material: 8K99 Rated Glass

Ingress Protection: Power Supply and optical module are located inside chamber rated IP66 per IEC 60529/ANSI C136.25. Luminaires are rated for wet locations.

Finish: Durable polyester powdercoat topcoat

Available Colors: **SLT (RAL 7035)** **SLM (RAL 7032)** **SLK (RAL 9005)**

ELECTRICAL	
Drive Currents (mA)	525 750 850 1050 1200 1250*
Power Consumption (W)	22 27 34 42 48 50
Input Voltage (V)	120 - 277V (Standard)
Surge Protection	Meets the requirements of ANSI C136.25
Power Factor	>0.90

OPTICS & PERFORMANCE	
Photometry (Distribution)	265, 444H
Color Temperature (CCT)	4000K (Standard) 3000K & 5000K (Optional)
Color Rendering Index (CRI)	>90
3000K Fixture Efficacy (lm/W)	101 99 96 88 84 81
4000K Fixture Efficacy (lm/W)	105 104 99 94 90 88
3000K Fixture Output (lm)	2,620 2,760 3,250 3,700 4,000 4,130
4000K Fixture Output (lm)	2,300 2,400 3,368 3,930 4,300 4,460
LED L70 (Hours)	> 100,000 hours (at maximum drive current)
Shielding	Optional shields available upon request

PHOTOCALL & CONTROLS	
Photocall Options	20 year life photocall available.
Control & Monitoring	Dimming power supply (1-10V) is standard equipment. We offer a complete range of control and monitoring solutions.

WP1 WST LED Architectural Wall Sconce

Capable Luminaire

This item is an A+ Capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL equipped luminaires meet the A+ specification for luminaire to photometric interoperability!
- This luminaire is part of an A+ Certified solution, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit [www.acuitybrands.com/a+](http://www.acuitybrands.com/a+).

See ordering tree for details.

A+ Certified Solutions for ROAM. Solid Separately. [Link to Roam](http://Link to Roam) [Link to DTL](http://Link to DTL).

DRIVER	THROW	FEED	FINISH	LIGHT LEVEL	VOLTAGE	SHIELDING	APPROX.
3000K	120	120	SL	1000	120V	SO	1
4000K	120	120	SL	1000	120V	SLA	1
5000K	120	120	SL	1000	120V	SLA	1
6000K	120	120	SL	1000	120V	SLA	1
7000K	120	120	SL	1000	120V	SLA	1
8000K	120	120	SL	1000	120V	SLA	1
9000K	120	120	SL	1000	120V	SLA	1
10000K	120	120	SL	1000	120V	SLA	1

WP2 Lanterna 9002

Lanterna 9002

Interior / Exterior Cylinder Flood Light Certification Data

Wet Location Listed - IP66

LM79/LM80 Compliant

10W LED, L70/90, 9000° 20' Calsius

DRIVER	THROW	FEED	FINISH	LIGHT LEVEL	VOLTAGE	SHIELDING	APPROX.
3000K	120	120	SL	1000	120V	SO	1
4000K	120	120	SL	1000	120V	SLA	1
5000K	120	120	SL	1000	120V	SLA	1
6000K	120	120	SL	1000	120V	SLA	1
7000K	120	120	SL	1000	120V	SLA	1
8000K	120	120	SL	1000	120V	SLA	1
9000K	120	120	SL	1000	120V	SLA	1
10000K	120	120	SL	1000	120V	SLA	1

ORDERING INFORMATION

DRIVER	THROW	FEED	FINISH	LIGHT LEVEL	VOLTAGE	SHIELDING	APPROX.
3000K	120	120	SL	1000	120V	SO	1
4000K	120	120	SL	1000	120V	SLA	1
5000K	120	120	SL	1000	120V	SLA	1
6000K	120	120	SL	1000	120V	SLA	1
7000K	120	120	SL	1000	120V	SLA	1
8000K	120	120	SL	1000	120V	SLA	1
9000K	120	120	SL	1000	120V	SLA	1
10000K	120	120	SL	1000	120V	SLA	1

NO.	REVISIONS	DATE

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254 S. Whisperwood Way  
Boise, Idaho 83709  
208.384.0585  
www.musgrove.com

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(208) 543-2862

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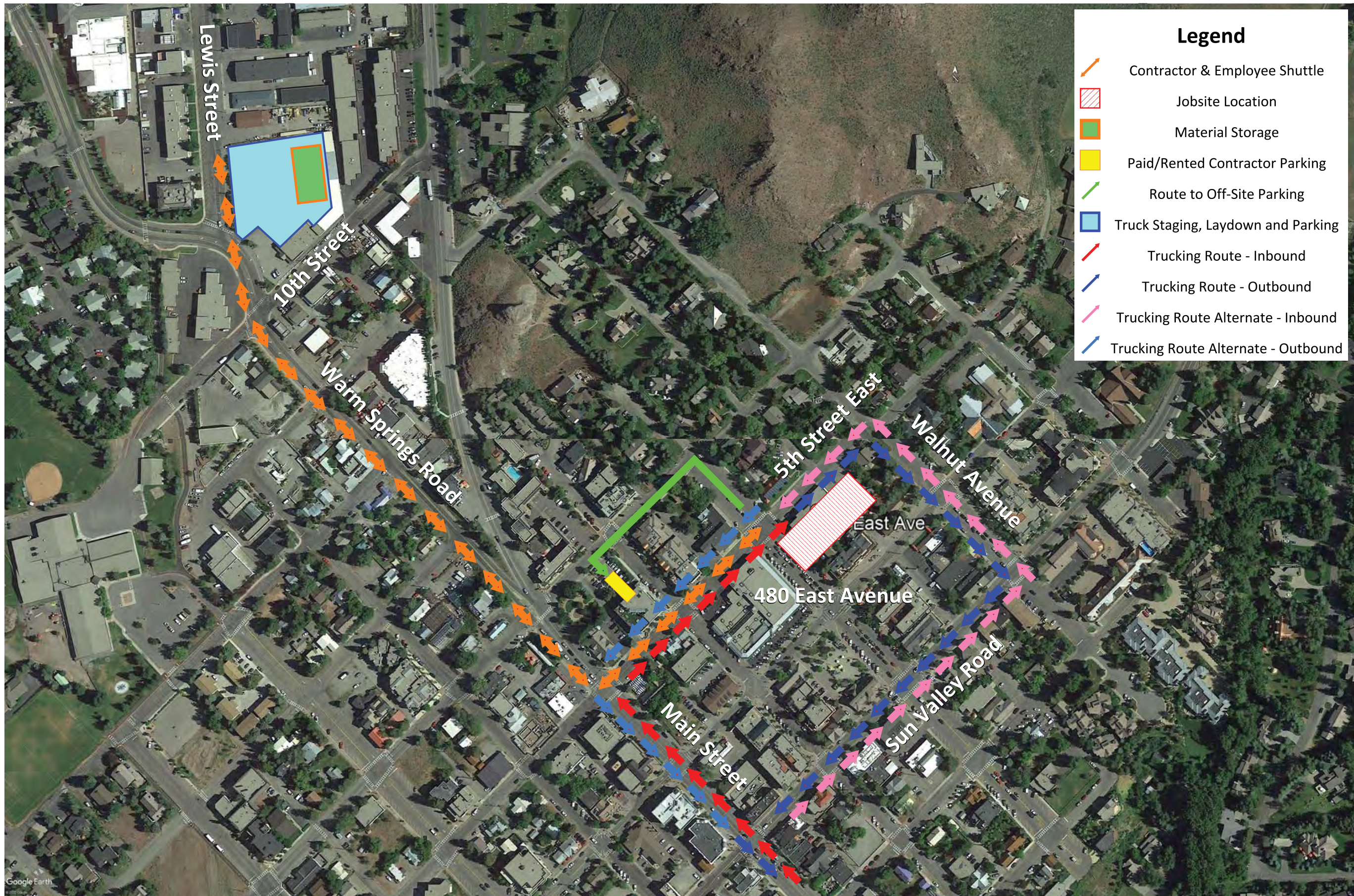


BLUEBIRD VILLAGE  
480 N. EAST AVE.  
KETCHUM, ID 83340

PROJECT: 20-023  
DRAWN: RM  
CHECKED: TM  
DATE: 07/01/21  
SCALE: NOTED ON PLANS  
SHEET:

E2.00





### Legend

- Contractor & Employee Shuttle
- Jobsite Location
- Material Storage
- Paid/Rented Contractor Parking
- Route to Off-Site Parking
- Truck Staging, Laydown and Parking
- Trucking Route - Inbound
- Trucking Route - Outbound
- Trucking Route Alternate - Inbound
- Trucking Route Alternate - Outbound

PROJECT NO.  
SET NO.

BLUEBIRD VILLAGE  
GMD KCDC APPLICATION

PRINT RECORD

PURPOSE	DATE
PRELIM. BUDGET	6/12/2020

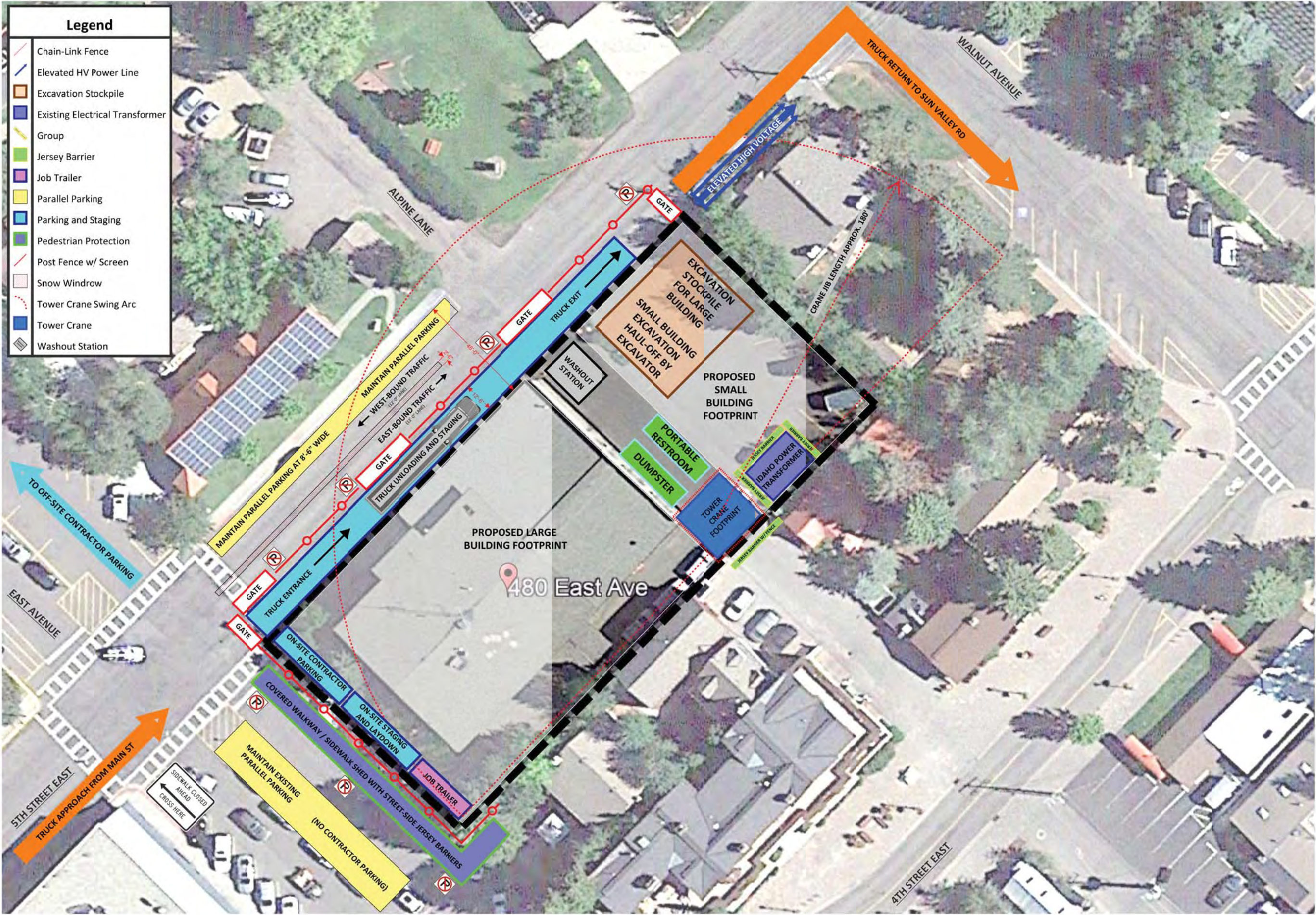
REVISION RECORD

NO.	DESCRIPTION	DATE

DRAWN:  
CHECKED:  
DATE: 12/14/2020  
SHEET TITLE:  
CONSTRUCTION MANAGEMENT PLAN



Legend	
	Chain-Link Fence
	Elevated HV Power Line
	Excavation Stockpile
	Existing Electrical Transformer
	Group
	Jersey Barrier
	Job Trailer
	Parallel Parking
	Parking and Staging
	Pedestrian Protection
	Post Fence w/ Screen
	Snow Windrow
	Tower Crane Swing Arc
	Tower Crane
	Washout Station



PROJECT NO.  
SET NO.

**BLUEBIRD VILLAGE**

GMD KCDC APPLICATION

PRINT RECORD	
PURPOSE	DATE
KETCHUM P&E	

REVISION RECORD	
#	DATE

DRAWN  
CHECKED  
DATE: 02/16/2021  
SHEET TITLE:  
**CONSTRUCTION MANAGEMENT PLAN**



# Attachment B:

Design Review Application

File No. P21-063

Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum  
Planning & Building**

IN RE:	)	
	)	
Bluebird Village Community Housing Project	)	<b>KETCHUM PLANNING &amp; ZONING COMMISSION</b>
Design Review	)	<b>FINDINGS OF FACT, CONCLUSIONS OF LAW, AND</b>
Date: August 24, 2021	)	<b>DECISION</b>
	)	
Application File Number: P21-063	)	

**PROJECT:** Bluebird Village Community Housing Project

**APPLICATION TYPE:** Design Review

**FILE NUMBER:** P21-063

**ASSOCIATED APPLICATIONS:** Conditional Use Permit P21-064 & Pre-Application Design Review P21-027

**ARCHITECT:** Michael Doty, Michael Doty Associates

**DEVELOPER:** Greg Dunfield, GMD Development & Ketchum Community Development Corporation

**PROPERTY OWNER:** City of Ketchum

**PROJECT LOCATION:** 480 N East Avenue (Ketchum Townsite: Block 45: Lot 3A) & Parking Lot at Southeast Corner of 5th Street & Alley (Ketchum Townsite: Block 45: W 75' Lots 7 & 8)

**ZONING:** Retail Core of the Community Core (CC-1)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The Planning & Zoning Commission considered the Bluebird Village Community Housing Project Design Review (Application File No. P21-063) during their regular meeting on August 10<sup>th</sup>, 2021. After considering Staff's analysis, the applicant's presentation, and public comment, the Planning & Zoning Commission unanimously approved the Bluebird Village Community Housing Project Design Review (Application File No. P21-063).

The Planning & Zoning Commission considered the Pre-Application Design Review for this project during their meeting on May 11<sup>th</sup>, 2021. The Commission recognized that the development's proposed mass and scale will accommodate more housing units and address the community's critical need for affordable housing and advanced the project to final Design Review.

In addition to public comment received during the Planning & Zoning Commission's review of the Pre-Application at the May 11<sup>th</sup> meeting, the applicant conducted 4 virtual meetings to illicit feedback from the community regarding the proposed development prior to submitting the Pre-Application Design Review to the City. The public was invited by the applicant to provide input on different design options that were posted to the developer's project website.

The Staff Report prepared for the Planning & Zoning Commission's review of the project at their August 10<sup>th</sup>, 2021 meeting provided an analysis of evaluation standards, including zoning code and dimensional requirements (Ketchum Municipal Code §17.12.040), Design Review standards (Ketchum Municipal Code §17.96.060), Community Core Design Review standards (Ketchum Municipal Code §17.96.070), Conditional Use Permit criteria (Ketchum Municipal Code §17.116.030), and applicable development regulations. The applicant's project plans were attached as Exhibit A to the August 10<sup>th</sup> Staff Report. Supplemental materials submitted by the applicant for the Design Review and Conditional Use Permit applications were attached as Exhibits B and C to the August 10<sup>th</sup> Staff Report. The applicant's parking study for the project was attached as Exhibit D to the August 10<sup>th</sup> Staff Report. The City's parking study was attached as Exhibit E to the August 10<sup>th</sup> Staff Report.

In accordance with Ketchum Municipal Code §17.96.040.C2j, the applicant installed story poles at the maximum roof peaks, staked building corners, and flagged trees to be removed one week prior to the Planning & Zoning Commission's review of the project on Tuesday, August 3<sup>rd</sup>, 2021.

#### Public Hearing Notice & Public Comment

The public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on July 21<sup>st</sup>, 2021. The public hearing notice was published in the Idaho Mountain Express on July 21<sup>st</sup>, 2021. A notice was posted on the project site and to the City's website on July 27<sup>th</sup>, 2021.

Public comment received prior to the Planning & Zoning Commission's review of the Pre-Application was included as Attachment G to the May 11<sup>th</sup>, 2021 Staff Report. Public comment was attached as Exhibit G to the August 10<sup>th</sup> Staff Report. Public comment received following the Staff Report's publication was incorporated into the project record and forwarded to the Commission for their consideration. All public comment received following May 11<sup>th</sup> and up until the Commission's review of the final Design Review and Conditional Use Permit applications on August 10<sup>th</sup> has been posted to the Bluebird Village Project page on the City's website at <https://www.ketchumidaho.org/planning-building/project/bluebird-village-project>.



## FINDINGS OF FACT

The Planning & Zoning Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

### ***FINDINGS REGARDING BLUEBIRD VILLAGE COMMUNITY HOUSING PROJECT***

#### ***51 New Affordable Rental Housing Units in Downtown Ketchum***

The applicant, GMD Development in partnership with the Ketchum Community Development Corporation, is proposing to develop a community housing project with 51 deed-restricted community housing units. The development will include retail units along East Avenue and 5th Street, a property management office, 46 on-site parking spaces, and bike storage areas. Amenities for residents within the development include a rooftop deck, balconies, storage lockers, a fitness center, and community room. The project site consists of two parcels—Lot 3A (City Hall) and the west 75 feet of Lots 7 and 8 (rear parking lot). The development consists of two buildings connected by a walkway across the Block 45 alley. Site improvements include new heated sidewalks along East Avenue and 5<sup>th</sup> Street with street trees. Landscaped seating areas along East Avenue and 5th Street create an inviting environment that will engage pedestrians and activate the streetscape.

This project will provide the social infrastructure that Ketchum so desperately needs in a high-quality, inclusive development downtown easily accessible by foot, bike, or transit. This area of downtown Ketchum is vibrant with opportunities for people to connect with each other and the built environment. The neighborhood includes local stores and restaurants for the community to shop and eat. Nearby Town Square has outdoor seating areas where people can listen to live music or participate in other social, cultural, and political events. Downtown is Ketchum's gathering place connecting locals, second homeowners, and tourists. These connections create community, and our community defines Ketchum's small-town character and sense of place. Bluebird Village will help Ketchum maintain its community by supplying 51 affordable rental units to house local residents who live and work in town.

### ***FINDINGS REGARDING COMPLIANCE WITH COMPREHENSIVE PLAN VISION, VALUES, AND POLICIES***

#### ***Community Housing Options for Ketchum Locals Living and Working in Town***

*We aspire to be an authentic mountain community with world-class character, yet small-town feel. We see our community as one with a high quality of life for a local year-round population and a visiting population. We will be successful by creating, marketing, and delivering distinctive choices for jobs, learning, health, outdoor adventure and arts and culture. We value a strong sense of community. Furthermore, we wish to be a place with a strong economy, vibrant downtown, diverse options for housing, and a varied demographic of people who live, work, and visit here. We will be responsible stewards of our environment, work for a dynamic economy, and maintain our special way of life for generations to come.*

--Community Vision, City of Ketchum 2014 Comprehensive Plan

For 52 years, the Ketchum community has acknowledged the need to diversify housing options within town to retain its permanent population and labor force. The City's first policy statement emphasizing the community's critical need for affordable housing was adopted in 1969 in a resolution stating, "employment in the Ketchum area has drastically increased, to the end that a severe housing shortage exists for low-income families."

Bluebird Village Community Housing Project Design Review (Application File No. P21-063)  
Findings of Fact, Conclusions of Law, and Decision  
Planning & Zoning Commission Meeting of August 24, 2021  
City of Ketchum Planning & Building Department

By the time Ketchum had adopted its first Comprehensive Plan in 1983, the community understood the consequences that result from extreme housing pressure created by second homes and speculative development. The private sector had done little to develop affordable housing units for residents with lower or moderate incomes. The 1983 Comprehensive Plan stated that the City should institute incentives to encourage the construction of more employee and affordable housing units.

The housing crisis escalated in Ketchum without arrest for twenty years. Focusing on housing's importance in a healthy community, the 2001 Comprehensive Plan stated that, "The City of Ketchum recognizes the need for a balanced and sustainable housing supply for residents, employees, and visitors. An adequate and diverse housing supply in Ketchum is needed to ensure the viability of town life and businesses." Healthy communities depend on adequate housing options to provide permanent living units for a diverse group of people making it possible to live and work within town year-round.

The 2014 Comprehensive Plan identified housing as one of the ten core values important to the community's future and stated that housing should be integrated into the downtown core. The 2014 plan was a community-driven effort with significant input from residents and various stakeholders. The community wanted people who worked in Ketchum to have housing options to live in town. The 2014 Comprehensive Plan recognized community housing's critical role in supporting a strong economy and a year-round population.

The Bluebird Village project balances two community key community objectives—preserving downtown's vibrancy and increasing Ketchum's supply of affordable housing units. This development is consistent with the community's vision and goals for downtown as detailed in the 2014 Comprehensive Plan. Bluebird Village will enhance downtown's vibrancy, support local businesses, and help maintain Ketchum's community by providing 51 affordable, rental units for locals who live and work in town.

Throughout the years, the zoning code was amended to encourage the development of affordable community housing in the downtown. These amendments to Ketchum's zoning code reflect a willingness to consider trade-offs of mass and scale impacts if other community objectives like increasing the supply of community housing units are met.

#### ***FINDINGS REGARDING KETCHUM'S COMMUNITY HOUSING DEVELOPMENT INCENTIVES***

Since 1994, deed-restricted community housing has been encouraged through development incentives for projects in downtown Ketchum. The first regulations to incentivize development of deed-restricted housing for Ketchum's local, full-time, working population were enacted in 1994. Those incentives allowed additional height and floor area for community housing projects. Between 1994 and 2019, additional development incentives were incorporated into the zoning code to promote and develop community housing projects within the Community Core. Ketchum has long considered community housing projects and units to be a valuable and encouraged use within downtown developments.

The zoning code provides the following development incentives to encourage community housing projects downtown:

- No parking is required for community housing units.

- Community housing projects are eligible for 10 more feet of building height than market-rate developments. 52 feet is the maximum permitted building height for 100% community housing project. Market-rate developments have a maximum permitted building height of 42 feet.
- Community housing projects may exceed the maximum permitted 2.25 gross FAR subject to Design Review approval.

**FINDINGS REGARDING PROJECT’S ASSOCIATED APPLICATIONS & ENTITLEMENT REVIEW PROCESS**

The Bluebird Village project is subject to Design Review pursuant to Ketchum Municipal Code (KMC) §17.96.010.A4 for the development of the new mixed-use building. The Planning & Zoning Commission has the authority to review and approve the applicant’s Design Review application pursuant to Ketchum Municipal Code §17.96.030.B. Table 1 provides an overview of the project’s entitlement process describing roles and decisions for the associated development applications.

<b>Table 1 Entitlement Process: Roles and Decisions</b>			
<b>Application Type</b>	<b>Staff Role</b>	<b>P&amp;Z Commission Role</b>	<b>City Council Role</b>
Design Review	Advisory	Final Decision	Affirm Planning and Zoning Commission’s Decision (for final approval of building height and fourth floor)
Conditional Use Permit	Advisory	Final Decision	Appellate Body (if an appeal is filed)
Right-of-Way (ROW) Encroachment	Advisory	Recommendations through Design Review	Final Decision
Master Signage Plan (submitted with Design Review)	Advisory	Final Decision through Design Review	Appellate Body (if an appeal is filed)
Sign Permits (required for individual tenants prior to installation)	Final Decision	Appellate Body (if an appeal filed against staff determination)	Appellate Body (if an appeal is filed against the P&Z Commission decision)

Master Signage Plan

The project’s master signage plan is indicated on Sheet AA6.01 of the project plans attached as Exhibit A to the August 10<sup>th</sup> Staff Report. The development’s signage includes both awning and wall signs. The face of all signs will be black, oxidized-carbon steel. The copy on the signs is powder-coated blue. The blue animates the signage echoing the blue panels on the 5<sup>th</sup> Street facade. Separate sign permits will be required for all new signs prior to installation (Ketchum Municipal Code §17.127.030.B).

**FINDINGS REGARDING COMPLIANCE WITH ZONING CODE & DIMENSIONAL STANDARDS**

The Commission’s comprehensive findings regarding the development’s compliance with zoning code and dimensional standards are provided in Table 3. The project is in conformance with the development standards require for development in the Community Core District except for the setback required for the fourth floor.



### Fourth-Floor Setback

The City has proposed a zoning code text amendment to modify the fourth-floor setback requirement for projects that dedicate all residential use to community housing. This proposed modification would require that the fourth floor be setback an average of 10 feet from the ground-floor building façade for community housing projects.

Sheet A6.02 of the project plans illustrates the project’s proposed application of the 10-foot average setback from the ground-level façade for the fourth floor. The applicant noted that locating the stairwells at the perimeter of the building enhances its structural efficiency and streamlines interior circulation allowing for repeating floor plans. The applicant explained that the proposed fourth floor plan allows the developer to supply more affordable housing units within the development. Table 2 shows the proposed fourth-floor setbacks, including the setback ranges provided for the habitable fourth-floor area and the stairwells’ setback from the nearest property line. The averaging proposed with the zoning code amendment allows the habitable fourth-floor area to move closer to and further from the property lines. This undulation reduces the visual appearance of building mass.

<b>Table 2: Bluebird Village Proposed Fourth-Floor Setbacks</b>		
<b><i>Building A Fourth-Floor Setbacks</i></b>		
<b>Property Line</b>	<b>Habitable Floor Setback Range</b>	<b>Stairwell Setback</b>
Front (East Avenue)	7’-4” to 15’-6”	18’-6”
Rear (Alley)	3’ to 30’-5”	29’
5 <sup>th</sup> Street Side	7’-4” to 15’-6”	0’
Interior (South) Side	10’ to 19’-10”	0’
<b><i>Building B Fourth-Floor Setbacks</i></b>		
<b>Property Line</b>	<b>Habitable Floor Setback Range</b>	<b>Stairwell Setback</b>
Front (5 <sup>th</sup> Street)	6’-1’ to 12’-11”	2’-7”
Alley Side	3’ to 30”	10’-4”
Rear (South) Side	9’-11’ to 20’	0’
Interior (East) Side	5’-9” to 10’	24’-9”

### Floor Area Ratio (FAR) & Building Height

The permitted FAR in the Community Core Zone is 1.0. Community housing projects may exceed this 2.25 maximum FAR at the Commission’s discretion through Design Review. To receive more floor area, new buildings must complement the scale and character of the surrounding neighborhood.

Bluebird Village’s total gross FAR is 2.73. The 2.73 FAR includes the total gross floor area of Buildings A and B on the 25,072-square-foot, two-parcel development site. Building A is 48,187 gross square feet and has an FAR of 2.87 on Lot 3A (City Hall lot). Building B is 20,220 gross square feet and has an FAR of 2.45 on the parking lot parcel (Ketchum Townsite: Block 45: W 75’ Lots 7 & 8).

The maximum permitted building height for community housing projects in the Community Core is 52 feet (Ketchum Municipal Code §17.12.040). The maximum height of Building A is 50’-10”. The maximum height of Building B is 48’-3”. The Bluebird Village project exceeds 48 feet in height and has a fourth

floor. All building greater than 48 feet or that contain a fourth floor require final review and approval from the City Council (Ketchum Municipal Code §17.12.040: Footnote 2)

### Parking

Deed-restricted community housing units within developments in the downtown have been exempt from off-street parking requirements since 2006. Affordable housing units that ensure Ketchum continues to be a diverse community with a mixture of housing types and affordability outweigh the need to provide on-site parking—this has been the priority in Ketchum for 15 years.

### *Proposed Project Parking*

While no parking is required for this community housing project, the development includes 46 on-site parking spaces. The applicant is also providing additional amenities to offset parking demand, including a car share program with two vehicles for residents, secure bike parking, and electric bike charging stations. The parking proposed on site consists of 46 spaces. 16 of the parking spaces are arranged in a tandem configuration. The Planning & Zoning Commission has approved tandem configurations to satisfy off-street parking demand for several market-rate, multi-family residential projects downtown. While off-street parking is not required to be provided on site for community housing units, the development's proposed tandem configuration is consistent with other projects approved by the Commission. 8 of the parking spaces provided on site are compact. 2 of the compact parking spaces will be reserved for car-share vehicles.

### *Project Parking Demand*

The traffic engineering firm AECOM prepared a parking analysis for the Bluebird Village project, which was attached as Exhibit D to the August 10<sup>th</sup> Staff Report. AECOM's study included an analysis of parking demand based on the number of residential units as well as the number of bedrooms within the Bluebird Development. The report's conclusions indicate the project will generate a need between 0 to 13 off-site parking spaces.

City Hall's existing peak parking demand during the day for employees and public visitors is approximately 23 vehicles. All employees and public visitors use on-street parking spaces as no on-site employee or visitor parking is provided on site. The existing parking lot is reserved for emergency service operations only. The Bluebird Village project will decrease daytime on-street parking demand from the existing demand generated by City Hall traffic. Additionally, increasing the supply of affordable housing units in walking distance to jobs should decrease daily trips in and out of town currently made by commuters who work downtown but can't afford to live in Ketchum. The AECOM study concluded that Bluebird Village is anticipated to alleviate parking demand during peak periods.

City Hall closes at night and does not currently generate on-street parking demand during evening hours. The Bluebird Village project will increase the number of cars parked on the street at night. Satisfying the project's nighttime on-street parking demand will be challenged during winter when the City prohibits on-street parking from 2:00 AM to 7:00 AM during November 1<sup>st</sup> through May 1<sup>st</sup> for snow removal operations and maintenance.

### *Downtown On-Street Parking Demand*

At their May 11<sup>th</sup>, 2021 meeting, the Planning and Zoning Commission requested the City provide a parking demand and utilization analysis related to on-street parking within the downtown. The City collected data generated through license plate recognition to study on-street parking downtown. This data indicates block-by-block space availability, parking duration, and turnover rates. The reports from the first data collection period are attached as Exhibit E to the August 10<sup>th</sup> Staff Report. This data will be collected quarterly to account for seasonal fluctuations. The report from the first data collection period show certain blocks downtown have plenty of on-street parking available during the day. Areas east of 1<sup>st</sup> Avenue and west of East Avenue see higher levels of parking congestion between 11am and 5pm on weekdays and between 1pm and 4pm on Saturday. Most parked vehicles stay less than 3 hours. The most common length of stay is 1 to 2 hours.

The results of the quarterly data collection reports will be analyzed to update the City’s parking management plan downtown. This update will adjust parking regulations, including time restrictions, based on the block-by-block data. Additionally, the City will institute a winter residential parking permit program to control nighttime on-street parking by designating overnight spaces in certain areas downtown and establishing odd/even parking regulations.

Condition of Approval No. 10 requires that all residents without an assigned parking space designated on-site obtain a residential parking permit from the City and that all residents will comply with the City’s winter parking program.

Stairwell Lighting

The applicant reduced window glazing by 50% to minimize the amount of light emanating from the stairwells. The stairwell will direct lighting internally to provide safety for the vertical circulation within the building and minimize external illuminance. The applicant’s cover letter (Exhibit B attached to August 10<sup>th</sup> Staff Report) states that, “the design team will continue to work with the lighting consultant to develop a lighting design that provides safety, is externally unobtrusive and consistent.”

The Commission discussed the stairwell lighting during their deliberations regarding the project. They stated that the project should minimize light trespass emanating from the stairwells to comply with the intent of the City’s Dark Skies Ordinance (Chapter 17.132 of Ketchum Municipal Code). The Commission commented that imposing a restrictive requirement for the stairwell lighting may impede safety within this circulation corridor critical for egress. Condition of Approval No. 12 requires that the applicant to reduce light trespass from the stairwells to the maximum extent practicable.

Table 3 Commission Findings Regarding Compliance with Zoning Code and Dimensional Standards				
Compliant			Standards and Commission Findings	
Yes	No	N/A	Guideline	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.040</b>	<b>Minimum Lot Area</b>
			<b>Commission Findings</b>	<b>Required:</b> 5,500 square feet minimum  <b>Site Dimensions &amp; Areas</b> Lot 3A: 16,814 square feet West 75 feet of Lots 7 & 8: 8,258 square feet Block 45 Alley: 1,092 square feet



				Total Site Area: 26,164 square feet
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.124.040</b>	<b>Floor Area Ratios and Community Housing</b>
			<b>Commission Findings</b>	<p><b>Permitted</b>  Gross FAR in Community Core Subdistrict 1(CC-1 Zone): 1.0  Gross FAR with for deed-restricted community housing projects may exceed 2.25 subject to design review approval.</p> <p>KMC §17.124.040.B3: In the CC Zone, the maximum floor area incentive applies to buildings up to 3 stories in height. Buildings above 3 stories may exceed the 2.25 FAR maximum only in accordance with the pertinent code provisions allowing for a fourth floor (for example, hotels, PUDs and 100 percent community housing project, etc).</p> <p><b>Proposed</b>  <u>Total Bluebird Village Community Housing Project (Buildings A &amp; B)</u>  The gross floor area calculations are indicated on Sheet A6.00 of the project plans.  Total Gross Floor Area: 68,407 gross square feet  Site Area: 25,072 square feet  Total FAR Proposed: 2.73 (60,038 gross sq ft/26,164 sq ft site area)</p> <p><u>Building A on Lot 3A (City Hall)</u>  Total Gross Floor Area: 48,187 gross square feet  Lot 3A Area: 16,814 square feet  Building A FAR Proposed: 2.87 (48,187 gross sq ft/25,072 sq ft Lot 3A area)</p> <p><u>Building B on Ketchum Townsite: Block 45: W 75' Lots 7 &amp; 8 (Parking Lot)</u>  Total Gross Floor Area: 20,220 gross square feet  Ketchum Townsite: Block 45: W 75' Lots 7 &amp; 8 Area: 8,258 square feet  Building A FAR Proposed: 2.45 (20,220 gross sq ft/ 8,258 sq ft Lot 3A area)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.040</b>	<b>Minimum Building Setbacks</b>
			<b>Commission Findings</b>	<p><b>Required</b>  Front &amp; Street Side: 0'  Rear Side Adjacent to an Alleyway: 3'  Interior Side: 0'  Cantilevered decks and overhangs: 0'  Setbacks for 4th floor: 10'  Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: 10'</p> <p><b>Proposed</b>  The applicant has indicated the proposed setbacks on the Architectural Site Plan (Sheet A1.00) attached as Exhibit A to the Staff Report.</p> <p><i>Building A</i>  Front (East Avenue/west): 0'  Rear Adjacent to Alley: 3'  Interior Side (south): 0'  Street Side (north): 0'</p>

			<p><i>Building B</i>  Front (5<sup>th</sup> Street/north): 0'  Alley Side (west): 3'  Rear (interior/south): 0'  Interior Side (west): 0'</p> <p><i>Roof Setbacks</i>  Elevator Overrun: 19'-5" minimum to 97'-5" feet maximum  Air System: 47'-9" minimum to 90'-2" maximum  Solar Panels: The solar panels are flush-mounted and not subject to setbacks</p> <p><u>Fourth-Floor Setback</u>  The City has proposed a zoning code text amendment for projects that dedicate all residential use to community housing to modify the fourth-floor setback requirement. This proposed modification is to require that the fourth floor be setback an average of 10 feet from the ground-floor building façade for community housing projects. As specified in Condition of Approval No. 3, the project's Design Review approval is contingent upon City Council's review and approval of the zoning code amendment to modify the fourth-floor setback requirement for community housing projects.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.12.040</b>  <b>Maximum Building Heights</b></p> <p><b>Commission Findings</b>  <b>Permitted</b>  100% Community Housing Building Height: 52 feet</p> <p>Footnote 1: For the purposes of this section, a project in the Retail Core (CC-1) that provides 100% community housing above the first floor and complies with the ground floor street frontage uses of the Retail Core, shall be considered a 100% community housing project.</p> <p>Footnote 2: All buildings greater than 48 feet in height or that contain a 4th or 5th floor shall require final approval from the City Council.</p> <p>Non-Habitable Structures Located on Building Rooftops: 10 feet</p> <p><i>KMC §17.08.020: HEIGHT OF BUILDING/CC DISTRICT: The greatest vertical distance of a building in the Community Core District measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade.</i></p> <p><u>Average Elevations at Property Lines</u>  <i>Building A</i>  Average Elevation at Front Property Line (East Avenue): 5856'  Average Elevation at Rear Property Line (Alley): 5858'-2"</p>

				<p><i>Building B</i> Average Elevation at Front Property Line (5<sup>th</sup> Street): 5860'-6" Average Elevation at Rear Property Line (south/interior): 5860'-1"</p> <p><b>Proposed</b> <i>Building A</i> Proposed Building Height at Front Elevation: 50'-10" Proposed Building Height at Rear Elevation (Alley): 48'-8"</p> <p><i>Building B</i> Proposed Building Height at Front Elevation (5<sup>th</sup> Street): 47'-10" Proposed Building Height at Rear Elevation (south/interior): 48'-3"</p> <p>Height of Elevator Overrun: The elevator overrun enclosure is 4.5 feet above the top of Building A's roof.</p> <p>The Bluebird Village project exceeds 48 feet in height and has a fourth floor. Pursuant to Ketchum Municipal Code §17.12.040 Footnote 2, all building greater than 48 feet or that contain a fourth floor require final review and approval from the City Council.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.125.030H</b>	<p><b>Curb Cut</b></p> <p><b>Required</b> KMC §17.125.030.H Street Frontage: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p>KMC §17.125.030.I Alley Access:</p> <ol style="list-style-type: none"> <li>1. Off-street parking spaces may be located directly off the alley if the width of the alley can adequately accommodate ingress and egress to the parking spaces.</li> <li>2. No parking space shall project into an alley, sidewalk, or street.</li> <li>3. All alleys used as access to loading areas and/or to an off-street parking space or spaces shall be surfaced with asphalt or cement concrete.</li> </ol> <p><b>Proposed</b> The parking spaces are accessed from the Block 45 alleyway. No curb cuts or driveway accesses along East Avenue or 5<sup>th</sup> Street are proposed with this project. The proposed width of the Block 45 alleyway is 30 feet. The Block 45 alleyway will be surfaced with asphalt.</p>
			<b>17.125.040</b>	<b>Parking Spaces</b>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Commission Findings</b></p>	<p><b>Required</b>  KMC §17.125.040.A Computation Rules: The following rules apply when computing off street parking and loading requirements:</p> <ol style="list-style-type: none"> <li>1. Multiple Uses: Lots containing more than one use shall provide parking and loading in an amount equal to the total of the requirements for all uses, unless a use is exempted by this chapter or a reduction is approved through a shared parking plan or Parking Demand Analysis in compliance with this chapter.</li> <li>2. Fractions: When measurements of the number of required spaces result in fractions, any fraction of 0.49 or less shall be disregarded and any fraction of 0.50 or more shall be rounded upward to the next highest whole number.</li> </ol> <p>KMC §17.125.040.A3b Non-Residential: Unless otherwise specifically noted, non-residential parking requirements for all square footage based parking and loading standards are to be computed on the basis of gross floor area.</p> <p>KMC §17.125.040.B Off-Street Parking Calculations  Non-Residential: 1 parking space per 1,000 gross square feet</p> <p>KMC §17.125.040.C Exemptions in CC Zone:</p> <ul style="list-style-type: none"> <li>• Community Housing</li> <li>• The first 5,500 gross square feet of retail trade</li> </ul> <p><b>Project Parking Demand</b>  51 Total Community Housing Units: Exempt  Retail (2,658 square feet): Exempt  Property Management Office (304 square feet/1,000 square feet = 0.31): 0</p> <p><b>Proposed</b>  46 total parking spaces are provided on the project site.  16 of the parking spaces are arranged in a tandem configuration.  8 of the parking spaces are compact.  2 of the compact spaces will be designated for car share.</p>
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**FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS**

Design Review helps our community achieve a more sustainable, vibrant, connected, and beautiful Ketchum. Comprehensive findings regarding all Design Review standards are provided in Tables 4 and 5. The Commission’s findings demonstrate that the project meets the two criteria required for Design Review approval specified in Ketchum Municipal Code §17.96.050A—the Bluebird Village Community Housing Project (1) does not jeopardize public health, safety, or welfare of the public and (2) conforms to all Design Review standards and zoning regulations.

**Compatibility of Design**

*The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures (Ketchum Municipal Code §17.96.060.E1).*

Downtown’s Retail Core borders the development site extending to the south, west, and northwest. The Retail Core transitions to the Knob Hill residential neighborhood to the northeast. The surrounding Bluebird Village Community Housing Project Design Review (Application File No. P21-063)

neighborhood has an eclectic mix of diverse building types and uses reflecting Ketchum's incremental growth through time. The surrounding area is developed with historic buildings that are smaller in size as well as larger-scale developments like Atkinson's Market and the mixed-use building at the corner of 4<sup>th</sup> Street and East Avenue. The development site is adjacent to: (a) the Ore Wagon Museum, Bonning Cabin, and Little Park to the north across 5<sup>th</sup> Street, (b) Atkinson's Market to the west across East Avenue, (c) Girl Friday to the south along East Avenue, (d) the George Castle Cabin located across the Block 45 alley to the south, and (e) an existing, non-conforming single-family residence that is used as a vacation rental to the east.

The buildings' exterior materials and colors are specified on Sheet A9.00 of the project plans (Exhibit A attached to the August 10<sup>th</sup> Staff Report). The proposed exterior materials and finishes include red brick veneer, gray fiber cement panels, weathered-wood vertical siding, dark gray corrugated metal vertical siding, block metal panels, storefront windows and doors, patio sliding doors, and beige gray stucco. Light blue fiber cement panes introduce a fun pop of color animating the 5<sup>th</sup> Street façade. The exterior elevations on Sheets A2.01, A2.02, A2.03 of the project plans (Exhibit A attached to the August 10<sup>th</sup> Staff Report) indicate each façade's exterior materials.

The exterior materials are fabricated to resemble natural and traditional materials with earth tones and textures. Building A's red brick along the East Avenue façade wraps around the corner along the first level of the 5<sup>th</sup> Street. The red brick will complement the color of the adjacent Ore Wagon Museum to the north and nods to traditional material utilized in repurposed historic buildings in downtown Ketchum like the Lane Mercantile. The weathered-wood siding matches the color and texture of the Bonning Cabin.

### **Architectural**

*Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).*

Bluebird Village is proportional in size and scale to other large-scale downtown developments like the Argyros Theater, the Colonnade, and the new mixed-use development currently under construction at the corner of 4<sup>th</sup> Street and Walnut Avenue. The design combines exterior material changes with wall setbacks that move the building in and out from the property lines. Exterior materials change concurrently with shifts in building mass. This design divides the building into defined components that visually break up the mass of the building. The composition and proportion of exterior materials provides visual interest to the facades facing East Avenue and 5<sup>th</sup> Street.

The fourth floor is setback 37 feet 11 inches from the property line along East Avenue. This setback not only accommodates the rooftop deck but also reduces the appearance of building mass along East Avenue. The placement of red brick forms two, prominent three-story columns along the East Avenue façade that ground and integrate the three levels of the building to the project site. The brick detailing at the top of the third level as well as the projecting awnings and pop-out picture windows animate the East Avenue façade.

The applicant has reduced the Building B's mass and scale by eliminating four community housing units. Both buildings comply with the 3-foot setback from alley property lines required in the Community Core Zone (Ketchum Municipal Code §17.12.040). The external balconies have been

relocated to the building corners. This subtraction of mass at the corners reduces the building's rectangular bulk softening the development as it transitions to neighboring buildings.

The applicant has setback Building A's stairwell 12 feet further than setback shown on the project's Pre-Application plans. The project plans submitted with the final Design Review application (Exhibit A attached to the August 10<sup>th</sup> Staff Report) show the stairwell is setback 18 feet 6 inches from the property line along East Avenue. This extended setback and the existing, mature trees to the south will reduce and screen the perceived building mass at the street level. As indicated on the south elevation on Sheet A2.02 of the project plans (Exhibit A attached to the August 10<sup>th</sup> Staff Report), the applicant has incorporated a trellis to support vines along the stairwell's south wall. The rendering on Sheet A9.06 demonstrates how this living, green wall will help soften the four-level rectangular mass by adding texture and color to the stairwell's south elevation.

Unlike existing developments that cover the length of an entire Ketchum Townsite block, Bluebird incorporates an elevated walkway over the alley to connect the two main buildings. This subtractive massing accommodates space for light and air to move through building mass enhancing the development's transparency. The walkway creates a unique urban spatial experience that will visually engage pedestrians and activate the streetscape.

*The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).*

The two buildings within the Bluebird Village development are characterized by modern design elements like rectangular building forms and flat roofs. Building bulk is broken up into distinct one-, two-, and three- story masses that are distinguished through exterior material variation, fenestration, vertical wall setbacks, and horizontal floor setbacks. These masses are softened through the incorporation of landscaping. Live roofs planted with perennials soften the horizontal floor setbacks on the second level. Landscaped planters frame the rooftop deck within the fourth-level setback area. Exterior material differentiation defines the ground-level façades along 5<sup>th</sup> Street and East Avenue visually separating the first-floor retail areas and the residential units on the upper level.

The stairwell design has been refined. Window glazing has been reduced by 50% to minimize the amount of light emanating from the stairwells. The remaining windows are framed by corrugated-metal vertical siding at the upper levels. This forms a vertical, 3-story element that integrating the residential floor levels within the development.

The retail storefronts' glass doors and windows as well as landscaped seating areas along East Avenue and 5<sup>th</sup> Street will engage pedestrians welcoming residents and tourists into these spaces. These features create an activated, pedestrian-friendly streetscape that will enliven Ketchum's dynamic downtown by facilitating social connections that build community.

### **Replacement Trees**

*When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site (Ketchum Municipal Code §17.96.070.D1).*

Ketchum Municipal Code §17.96.070.D1 requires that all healthy and mature trees removed from a project site be replaced. 11 total trees will be removed from the development site. The 13 street trees proposed along East Avenue and 5<sup>th</sup> Street satisfy the requirement to replace all healthy and mature trees removed from a project site. 4 street trees are proposed along East Avenue and 9 street trees are proposed along 5<sup>th</sup> Street.

Sheet L1.0 shows 4 existing deciduous trees straddling the interior east side property line are proposed to be removed to accommodate the proposed development. The removal of these trees requires the applicant and adjacent property owner to come to an agreement on the tree removal. The applicant submitted a letter from the developer to the adjacent property into the project record that was distributed at the August 10<sup>th</sup>, 2021 Planning & Zoning Commission Meeting. In the letter, the developer offers to replace the trees being removed with new trees or other landscaping features on the adjacent neighbor’s property. Condition of Approval No. 6 states that the applicant shall provide documentation this issue is resolved prior to issuance of a building permit for the project. If no resolution is forthcoming from the adjacent neighbor, documentation showing that the neighboring owner will not permit access to their property to remove those trees thereon will be considered a resolution.

The landscape plan shows an existing tree located to the south of Building A along 5<sup>th</sup> Street on the adjacent property located at 440 N East Avenue proposed to be preserved throughout the duration of construction. Condition of Approval No. 7 specifies that the applicant shall comply with the tree preservation plan prepared by Alpine Tree Services dated July 16<sup>th</sup>, 2021 and requires that all recommendations described in the tree preservation plan be incorporated into the construction management plan submitted with the Building Permit application for the project.

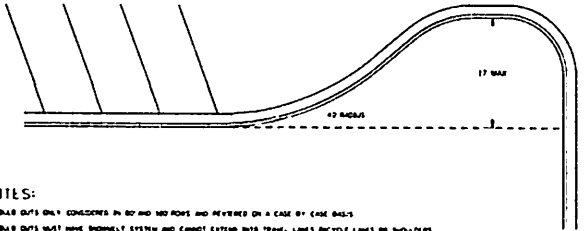
**Transformer Relocation & Screening**

*Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design (Ketchum Municipal Code §17.96.070.C2).*

Ketchum Municipal Code §17.96.070.C2 requires all roof- and ground-mounted mechanical equipment to be fully screened from public view. The project plans show an existing transformer located within the Idaho Power easement located at the southwest corner of the parking lot parcel that is proposed to remain in its existing location. Building B is proposed to encroach over the Idaho Power easement (Instrument No. 613194) located at the northeast corner of the parking lot parcel. This easement contains an existing transformer that will need to be removed and relocated. The applicant will coordinate with the City and Idaho Power to determine the appropriate location for the relocated transformer and sufficient screening that complies with both Design Review standards and Idaho Power’s clearance requirements for the development’s electrical infrastructure. The applicant will be required to provide the City with written confirmation that Idaho Power consents to Building B’s encroachment over the easement area at the northeast corner of the parking lot parcel prior to issuance of a Building Permit for the project.

Table 4				
Commission Findings Regarding Compliance with Design Review Improvements and Standards				
Yes	No	N/A	City Code	City Standards and Commission Findings



☒	☐	☐	<b>17.96.060.A1 Streets</b>	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<b>Commission Findings</b>	<p>The project site has street frontage along East Avenue and 5<sup>th</sup> Street. The off-street parking will be accessed from the Block 45 alley.</p> <p>Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the project’s circulation design.</p>
☒	☐	☐	<b>17.96.060.A2 Streets</b>	<b>All street designs shall be approved by the City Engineer.</b>
			<b>Commission Findings</b>	<p>No changes to the lanes of travel or the street design are proposed with this project.</p> <p>The project’s circulation design is indicated on Sheet C1.0 of the project plans.</p> <p>Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the project’s circulation design. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>
☒	☐	☐	<b>17.96.060.B1 Sidewalks</b>	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<b>Commission Findings</b>	<p>The project qualifies as a substantial improvement project. The project’s sidewalk design is indicated on Sheet PDR C1.02 of the project plans. 8-foot-wide sidewalks are provided along East Avenue and 5<sup>th</sup> Street. As part of the public improvements, a bulb out will be required at the SE corner of East Avenue and 5<sup>th</sup> Street.</p> <p>The proposed bulb out shall meet City ROW standards as shown below.</p>  <p>NOTES:</p> <ul style="list-style-type: none"> <li>① BULB OUTS ONLY CONSIDERED ON 80 AND 90 DEGREE AND REVERSED IN A CASE OF CHISE BULBS</li> <li>② BULB OUTS MUST HAVE SHOWNLY SYSTEM AND CANNOT EXTEND INTO TRAVEL LANE, BICYCLE LANE, OR SHOULDER</li> <li>③ BULB OUTS NOT PERMITTED ON CORNERS WITH FREQUENT RIGHT TURNS BY TRUCKS AND BUSES</li> <li>④ STEPS MAY NOT BE PLACED IN BULB OUT THAT IMPAIR DRIVERS FIELD OF VISION</li> <li>⑤ PAVING PER CITY ROW STANDARDS</li> <li>⑥ MUST MEET ADA STANDARDS</li> </ul> <p>DESIGNED BY: [REDACTED] CITY OF KETCHUM STANDARD DRAWING   STANDARD DRAWING</p>
				Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved

				by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B2 Sidewalks</b>	<b>Sidewalk width shall conform to the City's right-of-way standards; however, the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<b>Commission Findings</b>	<p>The applicant will improve the sidewalks to City ROW standards along both East Avenue and 5<sup>th</sup> Street. Sheet C1.0 indicates 8-foot-wide concrete sidewalks, which is the required width for 100-foot-wide (East Avenue) and 60-foot-wide (5<sup>th</sup> Street) rights-of-way. The sidewalks will include a snowmelt system.</p> <p>The project requires a Right-of-Way (ROW) Encroachment Permit for the snowmelt system proposed to be installed for the sidewalks along East Avenue and 5th Street, the walkway connecting the two buildings over the alleyway, the metal awnings framing the retail units along East Avenue, and window shades slightly projecting from the west façade along East Avenue. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The City Council must review and approve the proposed encroachments and an associated ROW Encroachment Agreement prior to issuance of a building permit for the project.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B3 Sidewalks</b>	<p><b>Sidewalks may be waived if one of the following criteria is met:</b></p> <ol style="list-style-type: none"> <li>a. <b>The project comprises an addition of less than 250 square feet of conditioned space.</b></li> <li>b. <b>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</b></li> </ol>
			<b>Commission Findings</b>	N/A. The project qualifies as a substantial improvement and sidewalks are required to be provided.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B4 Sidewalks</b>	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Commission Findings</b>	<p>The proposed sidewalk improvements are equal to the length of property's frontage along East Avenue and 5<sup>th</sup> Street.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<b>Commission Findings</b>	The proposed sidewalk design connects with existing sidewalks. The project's circulation design indicated on Sheet C1.0 includes crosswalks to connect to the sidewalks along East Avenue and 5 <sup>th</sup> Street. The sidewalk along 5 <sup>th</sup> Street is designed to connect to future sidewalks to the east along 5 <sup>th</sup> Street.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<b>Commission Findings</b>	N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<b>All storm water shall be retained on site.</b>
			<b>Commission Findings</b>	All storm water is proposed to be retained on site, including storm water from roof drains. Roof drain locations and specifications must be indicated the project plans submitted with the Building Permit application for review and approval by the City Engineer. Drainage improvements shall be equal to the length of the subject property lines adjacent to any public street or private street.  Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state for review and approval by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C2 Drainage</b>	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<b>Commission Findings</b>	Drainage improvements shall be equal to the length of the property lines along East Avenue and 5 <sup>th</sup> Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.  The existing drywell on 5th will need to be reconstructed to meet current standards (hdpe line due to proximity to KSW water line).  Final civil drawings for all drainage improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C3 Drainage</b>	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<b>Commission Findings</b>	The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the Building Permit application. The City Engineer may require additional drainage improvements if necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C.4 Drainage</b>	<b>Drainage facilities shall be constructed per City standards.</b>
			<b>Commission Findings</b>	All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D1 Utilities</b>	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<b>Commission Findings</b>	All utilities necessary for the project shall be improved and installed at the sole expense of the applicant.  Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D2 Utilities</b>	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<b>Commission Findings</b>	The project plans show an existing transformer located within the Idaho Power easement located at the southwest corner of the parking lot parcel that is proposed to remain in its existing location. Building B is proposed to encroach over the Idaho Power easement (Instrument No. 613194) located at the northeast corner of the parking lot parcel. This easement contains an existing transformer that will need to be removed and relocated. The applicant will coordinate with the City and Idaho Power to determine the appropriate location for the relocated transformer and sufficient screening that complies with both Design Review standards and Idaho Power's clearance requirements for the development's electrical infrastructure. The applicant will be required to provide the City with written confirmation that Idaho Power consents to Building B's encroachment over the easement area at the northeast corner of the parking lot parcel prior to issuance of a building permit for the project.  Details for the proposed elevator overrun and air system on top of the roof are specified on the project plans. The solar panels are flush-mounted and do not require screening.  All roof and ground mounted mechanical, electrical, and plumbing equipment must be screened from public view.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.D3 Utilities</b>	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<b>Commission Findings</b>	The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E1 Compatibility of Design</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<b>Commission Findings</b>	Downtown's Retail Core borders the development site extending to the south, west, and northwest. The Retail Core transitions to the Knob Hill residential neighborhood to the northeast. The surrounding neighborhood has an eclectic mix of diverse building types and uses reflecting Ketchum's incremental growth through time. The surrounding area is developed with historic buildings that are smaller in size as well as larger-scale developments like Atkinson's Market and the mixed-use building at the corner of 4th Street and East Avenue. The development site is adjacent to: (a) the Ore Wagon Museum, Bonning Cabin, and Little Park to the north across 5th Street, (b)



				<p>Atkinson’s Market to the west across East Avenue, (c) Girl Friday to the south along East Avenue, (d) the George Castle Cabin located across the Block 45 alley to the south, and (e) an existing, non-conforming single-family residence that is used as a vacation rental to the east.</p> <p>The buildings’ exterior materials and colors are specified on Sheet A9.00 of the project plans. The proposed exterior materials and finishes include red brick veneer, gray fiber cement panels, weathered-wood vertical siding, dark gray corrugated metal vertical siding, block metal panels, storefront windows and doors, patio sliding doors, and beige gray stucco. Light blue fiber cement panes introduce a fun pop of color animating the 5th Street façade. The exterior elevations on Sheets A2.01, A2.02, A2.03 of the project plans indicate each façade’s exterior materials.</p> <p>The exterior materials are fabricated to resemble natural and traditional materials with earth tones and textures. Building A’s red brick along the East Avenue façade wraps around the corner along the first level of the 5th Street. The red brick will complement the color of the adjacent Ore Wagon Museum to the north and nods to traditional material utilized in repurposed historic buildings in downtown Ketchum like the Lane Mercantile. The weathered-wood siding matches the color and texture of the Bonning Cabin.</p> <p>The project’s master signage plan is indicated on Sheet AA6.01 of the project plans. The development’s signage includes both awning and wall signs. The face of all signs will be black, oxidized-carbon steel. The copy on the signs is patinated or powder-coated blue. The blue animates the signage echoing the blue panels on the 5th Street facade. Following approval of the project’s master signage plan, separate sign permits will be required for all new signs prior to installation (KMC §17.127.030.B).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.96.060.E2</b> <b>Compatibility of Design</b></p> <p><b>Commission Findings</b></p>	<p><b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b></p> <p>N/A. No significant landmarks of historical or cultural importance have been identified on the property.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.96.060.E3</b> <b>Compatibility of Design</b></p> <p><b>Commission Findings</b></p>	<p><b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b></p> <p>N/A This standard does not apply because the existing City Hall building will be demolished.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.F1</b> <b>Architectural</b></p> <p><b>Commission Findings</b></p>	<p><b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b></p> <p>Entrances to Building B’s retail unit and residential lobby area are provided along 5<sup>th</sup> Street. Entrances to Building’s A residential lobby is provided along 5<sup>th</sup> Street. An additional entrance to Building A’s interior circulation to access the residential units is provided at the southwest corner of the property along East Avenue. The retail spaces within Building A include storefront window, glass doors, awnings, and signage that define the entrances.</p> <p>The building entrances provided unobstructed pedestrian access to the sidewalks along 5<sup>th</sup> Street and East Avenue.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<b>Commission Findings</b>	<p>The two buildings within the Bluebird Village development area characterized by modern design elements like rectangular building forms and flat roofs. Building bulk is broken up into distinct one-, two-, and three- story masses that are distinguished through exterior material variation, fenestration, vertical wall setbacks, and horizontal floor setbacks. These masses are softened through the incorporation of landscaping. Live roofs planted with perennials soften the horizontal floor setbacks on the second level. Landscaped planters frame the rooftop deck within the fourth level setback area. Exterior material differentiation defines the ground-level façades along 5th Street and East Avenue visually separating the first-floor retail areas and the residential units on the upper level.</p> <p>The stairwell design has been refined. Window glazing has been reduced by 50% to reduce the amount of light emanating from the stairwells. The remaining windows are framed by corrugated-metal vertical siding at the upper levels. This forms a vertical, 3-story element that integrating the residential floor levels within the development.</p> <p>The retail storefronts' glass doors and windows as well as landscaped seating areas along East Avenue and 5th will engage pedestrians welcoming residents and tourists into these spaces. These features create an activated, pedestrian-friendly streetscape that will enliven Ketchum's dynamic downtown by facilitating social connections that build community.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<b>Commission Findings</b>	<p>The buildings' exterior materials and colors are specified on Sheet A9.00 of the project plans. The proposed exterior materials and finishes include red brick veneer, gray fiber cement panels, weathered-wood vertical siding, dark gray corrugated metal vertical siding, block metal panels, storefront windows and doors, patio sliding doors, and beige gray stucco. Light blue fiber cement panes introduce a fun pop of color animating the 5th Street façade. The exterior elevations on Sheets A2.01, A2.02, A2.03 of the project plans indicate each façade's exterior materials.</p> <p>The exterior materials are fabricated to resemble natural and traditional materials with earth tones and textures. Building A's red brick along the East Avenue façade wraps around the corner along the first level of the 5th Street. The red brick will complement the color of the adjacent Ore Wagon Museum to the north and nods to traditional material utilized in repurposed historic buildings in downtown Ketchum like the Lane Mercantile. The weathered-wood siding matches the color and texture of the Bonning Cabin.</p> <p>The project's master signage plan is indicated on Sheet AA6.01 of the project plans. The development's signage includes both awning and wall signs. The face of all signs will be black, oxidized-carbon steel. The copy on the signs is powder-coated blue. The blue animates the signage echoing the blue panels on the 5th Street facade. Following approval of the project's master signage</p>

				<p>plan, separate sign permits will be required for all new signs prior to installation (KMC §17.127.030.B).</p> <p>The same materials and colors are proposed to be used on all four facades of the two buildings. The consistent use of the same materials across all elevations ties the horizontal and vertical patterns arranged in one-, two-, three-, and four-story elements into one cohesive project design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.F4 Architectural</b></p> <p><b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b></p>	<p>The project does not propose any fences or accessory structures.</p> <p>The development's landscaping is indicated on Sheets L1, L2, L3, and L4 of the project plans.</p> <p>Landscape features soften the mass of building and provide visual relief to the vertical wall planes. 4 street trees are proposed along East Avenue and 7 street trees are proposed along 5<sup>th</sup> Street. The trees soften the mass of the building and enhance the streetscape to create a walkable environment. At-grade planters along East Avenue and 5<sup>th</sup> Street define the building entrances.</p> <p>As indicated on the south elevation on Sheet A2.02 of the project plans, the applicant has incorporated a trellis to support vines along the stairwell's south wall. The rendering on Sheet A9.06 demonstrates how this living, green wall will help soften the four-level rectangular mass by adding texture and color to the stairwell's south elevation.</p> <p>The floor setbacks at levels 2 and 4 are proposed to be living roof vegetated with perennials. Trees and native shrubs will screen the rooftop deck.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.96.060.F5 Architectural</b></p> <p><b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b></p>	<p>Bluebird Village is proportional in size and scale to other large-scale downtown developments like the Argyros Theater, the Colonnade, and the new mixed-use development currently under construction at the corner of 4th Street and Walnut Avenue. The design combines exterior material changes with wall setbacks that move the building in and out from the property lines. Exterior materials change concurrently with shifts in building mass. This design breaks up the building into defined components that visually break up the mass of the building. The composition and proportion of exterior materials provides visual interest to the facades facing East Avenue and 5th Street.</p> <p>The fourth floor is setback 37 feet 11 inches from the property line along East Avenue. This setback not only accommodates the rooftop deck, but also reduces the appearance of building mass along East Avenue. The placement of red brick forms two, prominent three-story columns along the East Avenue façade that ground and integrate the three levels of the building to the project site. The brick detailing at the top of the third level as well as the projecting awnings and pop-out picture windows animate the East Avenue façade.</p>

				<p>The applicant has reduced the Building B's mass and scale by eliminating four community housing units. Both buildings comply with the 3-foot setback from alley property lines required in the Community Core Zone (KMC §17.12.040). The external balconies have been relocated to the building corners. This subtraction of mass at the corners reduces the building's rectangular bulk softening the development as it transitions to neighboring buildings.</p> <p>The applicant has setback Building A's stairwell 12 feet further than setback shown on the project's Pre-Application plans. The project plans submitted with the final Design Review application show the stairwell is setback 18 feet 6 inches from the property line along East Avenue. This extended setback and the existing, mature trees to the south will reduce and screen the perceived building mass at the street level. As indicated on the south elevation on Sheet A2.02 of the project plans, the applicant has incorporated a trellis to support vines along the stairwell's south wall. The rendering on Sheet A9.06 demonstrates how this living, green wall will help soften the four-level rectangular mass by adding texture and color to the stairwell's south elevation.</p> <p>Unlike existing developments that cover the length of an entire Ketchum Townsite block, Bluebird incorporates an elevated walkway over the alley to connect the two main buildings. This subtractive massing accommodates space for light and air to move through building mass enhancing the development's transparency. The walkway creates a unique urban spatial experience that will visually engage pedestrians and activate the streetscape.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<b>Building(s) shall orient towards their primary street frontage.</b>
			<b>Commission Findings</b>	The two buildings orient toward their primary street frontages along 5 <sup>th</sup> Street and East Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F7 Architectural</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<b>Commission Findings</b>	The garbage storage area is proposed to be located within Building A and will be accessed from the alley. The applicant has submitted letter from Clear Creek Disposal confirming their approval of the proposed garbage disposal configuration.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F8 Architectural</b>	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<b>Commission Findings</b>	The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. The recession created by the wall setbacks at the building entrances will provide weather protection. The flat roof design will include internal drains providing weather protection to prevent water from dripping or snow from sliding onto circulation areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G1 Circulation Design</b>	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<b>Commission Findings</b>	This standard has been met by the proposed sidewalk improvements. The sidewalks will connect to the existing sidewalks downtown.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G2	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			Circulation Design	Metal canopies at the building entrances along East Avenue overhang 5 feet into the right-of-way past the property line. These canopies will final review and approval from the City Engineer as well as a Right-of-Way Encroachment Agreement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			Circulation Design	
			Commission Findings	Vehicle access to the project's off-street parking is provided from the Block 45 alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 5 <sup>th</sup> Street or East Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists.  Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G4	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			Circulation Design	
			Commission Findings	N/A as no curb cuts or driveway entrances are proposed along 5 <sup>th</sup> Street or East Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			Circulation Design	
			Commission Findings	Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 45 alley, 5 <sup>th</sup> Street, and East Avenue. The height of walkway's soffit is 21 feet above the asphalt. This complies with Fire Department standards for access and the Federal Highway Administration's standards for vertical clearance under overhead structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			Snow Storage	
			Commission Findings	The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.  The sidewalks along East Avenue And 5 <sup>th</sup> Street include a snowmelt system.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2	<b>Snow storage areas shall be provided on-site.</b>
			Snow Storage	
			Commission Findings	The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4. The sidewalks along East Avenue And 5 <sup>th</sup> Street include a snowmelt system.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</b>
			Snow Storage	

			<b>Commission Findings</b>	The applicant has proposed snowmelt and snow hauling in lieu of providing any snow storage areas on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H4 Snow Storage</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<b>Commission Findings</b>	The sidewalks along East Avenue And 5th Street include a snowmelt system. The applicant is required to obtain a ROW Encroachment Permit for the snowmelt system within the public right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I1 Landscaping</b>	<b>Landscaping is required for all projects.</b>
			<b>Commission Findings</b>	The development's landscaping is indicated on Sheets L1, L2, L3, and L4 of the project plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I2 Landscaping</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<b>Commission Findings</b>	The proposed landscaping is complementary to the buildings and surrounding downtown area. Landscape features soften the mass of building and provide visual relief to the vertical wall planes. 4 street trees are proposed along East Avenue and 7 street trees are proposed along 5th Street. The trees soften the mass of the building and enhance the streetscape to create a walkable environment. Landscaped seating areas along East Avenue and 5th Street define the building entrances. The landscape plan has been prepared by a professional landscape architect and is understood to meet requirements for microclimate, soil conditions, orientation and aspect.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I3 Landscaping</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<b>Commission Findings</b>	All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended. The landscape plan indicates that all vegetation will be drip irrigated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I4 Landscaping</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<b>Commission Findings</b>	As indicated on the south elevation on Sheet A2.02 of the project plans, the applicant has incorporated a trellis to support vines along the stairwell's south wall. The rendering on Sheet A9.06 demonstrates how this living, green wall will help soften the four-level rectangular mass by adding texture and color to the stairwell's south elevation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.J1 Public Amenities</b>	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<b>Commission Findings</b>	The applicant has provided bicycle racks at the southwest corner of the site and landscaped seating areas along 5 <sup>th</sup> Street and East Avenue.

**Table 5**

**Commission Findings Regarding Compliance with Community Core Design Review Standards**

Yes	N o	N/ A	Ketchum Municipal Code Section	City Standards and Commission Findings
☒	☐	☐	17.96.070A(1)	<b>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</b>
			<b>Commission Findings</b>	The project's street improvements are indicated on Sheet C1.0 and L1. Street improvements include new 8-foot-wide heated, concrete sidewalks along 5 <sup>th</sup> Street and East Avenue, street trees, landscaped seating areas, and streetlights.  Final civil drawings for all associated right-of-way and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.
☒	☐	☐	17.96.070(A)(2) <b>Streets</b>	<b>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</b>
			<b>Commission Findings</b>	Specifications for the proposed street trees are included on Sheet PDR L1 of the project plans. The notes indicate that trees will be a minimum caliper size of 3 inches and will be placed tree wells.  Streetscape improvements must be indicated on civil plans with the Building Permit application for final review and approval by the City Engineer and Streets Department.
☒	☐	☐	17.96.070(A)(3)	<b>Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.</b>
			<b>Commission Findings</b>	Modification to the requirements of KMC §17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the building permit application. Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. The final civil drawings including the streetscape, sidewalk, utilities, and drainage plans shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.
☒	☐	☐	17.96.070(B)(1)	<b>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</b>
			<b>Commission Findings</b>	The buildings' exterior materials and colors are specified on Sheet A9.00 of the project plans. The proposed exterior materials and finishes include red brick veneer, gray fiber cement panels, weathered-wood vertical siding, dark gray corrugated metal vertical siding, block metal panels, storefront windows and doors, patio sliding doors, and beige gray stucco. Light blue fiber cement panes introduce a fun pop of color animating the 5th Street façade. The exterior elevations on Sheets A2.01, A2.02, A2.03 of the project plans indicate each façade's exterior materials.

				<p>The design combines exterior material changes with wall setbacks that move the building in and out from the property lines. Exterior materials change concurrently with shifts in building mass. This design breaks up the building into defined components that visually break up the mass of the building. The composition and proportion of exterior materials provides visual interest to the facades facing East Avenue and 5th Street.</p> <p>The fourth floor is setback 37 feet 11inches from the property line along East Avenue. This setback not only accommodates the rooftop deck, but also reduces the appearance of building mass along East Avenue. The placement of red brick forms two, prominent three-story columns along the East Avenue façade that ground and integrate the three levels of the building to the project site. The brick detailing at the top of the third level as well as the projecting awnings and pop-out picture windows animate the East Avenue façade.</p> <p>As indicated on the south elevation on Sheet A2.02 of the project plans, the applicant has incorporated a trellis to support vines along the stairwell's south wall. The rendering on Sheet A9.06 demonstrates how this living, green wall will help soften the four-level rectangular mass by adding texture and color to the stairwell's south elevation.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(2)	<p><b>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</b></p> <p><b>Commission Findings</b> The ground-floor street frontage on East Avenue is defined through brick façade broken up by large storefront windows and glass doors. Revisions to the 5<sup>th</sup> Street frontage should be considered.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(3)	<p><b>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</b></p> <p><b>Commission Findings</b> The retail storefronts' glass doors and windows as well as landscaped seating areas along East Avenue and 5th will engage pedestrians welcoming residents and tourists into these spaces. These features create an activated, pedestrian-friendly streetscape that will enliven Ketchum's dynamic downtown by facilitating social connections that build community.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	<p><b>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</b></p> <p><b>Commission Findings</b> Flat roofs at varying height and projecting canopy elements define the building. The two buildings within the Bluebird Village development area characterized by modern design elements like rectangular building forms and flat roofs. Building bulk is broken up into distinct one-, two-, and three- story masses that are distinguished through exterior material variation, fenestration, vertical wall setbacks, and horizontal floor setbacks. These masses are softened through the incorporation of landscaping. Live roofs planted with perennials soften the horizontal floor setbacks on the second level.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(5)	<p><b>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</b></p> <p><b>Commission Findings</b> N/A as no pitched roofs are proposed for the project.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			Commission Findings	Metal canopies at the building entrances along East Avenue overhang 5 feet into the right-of-way past the property line. These canopies will final review and approval from the City Engineer as well as a Right-of-Way Encroachment Agreement.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			Commission Findings	No front porches or stoops are proposed with the Bluebird Village project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Commission Findings	The garbage storage area is proposed to be located within Building A and will be accessed from the alley. The applicant has submitted letter from Clear Creek Disposal confirming their approval of the proposed garbage disposal configuration.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Commission Findings	<p>The project plans show an existing transformer located within the Idaho Power easement located at the southwest corner of the parking lot parcel that is proposed to remain in its existing location. Building B is proposed to encroach over the Idaho Power easement (Instrument No. 613194) located at the northeast corner of the parking lot parcel. This easement contains an existing transformer that will need to be removed and relocated. The applicant will coordinate with the City and Idaho Power to determine the appropriate location for the relocated transformer and sufficient screening that complies with both Design Review standards and Idaho Power's clearance requirements for the development's electrical infrastructure. The applicant will be required to provide the City with written confirmation that Idaho Power consents to Building B's encroachment over the easement area at the northeast corner of the parking lot parcel prior to issuance of a building permit for the project.</p> <p>Details for the proposed elevator overrun and air system on top of the roof are specified on the project plans. The solar panels are flush-mounted and do not require screening.</p> <p>All roof and ground mounted mechanical, electrical, and plumbing equipment must be screened from public view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			Commission Findings	Ketchum Municipal Code §17.96.070.D1 requires that all healthy and mature trees removed from a project site be replaced. 11 total trees will be removed from the development site. The 13 street trees proposed along East Avenue and 5 <sup>th</sup> Street satisfy the requirement to replace all healthy and mature trees

				<p>removed from a project site. 4 street trees are proposed along East Avenue and 9 street trees are proposed along 5<sup>th</sup> Street.</p> <p>Sheet L1.0 shows 4 existing deciduous trees along the interior east side property line; the 2 on the project site are proposed to be removed to accommodate the proposed development and the 2 on the adjoining property will be removed and replaced if the adjoining landowner agrees. The removal of these trees requires the applicant and adjacent property owner to come to an agreement on the tree removal. The applicant submitted a letter from the developer to the adjacent property into the project record that was distributed at the August 10<sup>th</sup>, 2021 Planning &amp; Zoning Commission Meeting. In the letter, the developer offers to replace the trees being removed with new trees or other landscaping features on the adjacent neighbor's property. Condition of Approval No. 6 states that the applicant shall provide documentation this issue is resolved prior to issuance of a building permit for the project. If no resolution is forthcoming from the adjacent neighbor, documentation showing that the neighboring owner will not permit access to their property to remove those trees thereon will be considered a resolution.</p> <p>The landscape plan shows an existing tree located to the south of Building A along 5<sup>th</sup> Street on the adjacent property located at 440 N East Avenue proposed to be preserved throughout the duration of construction. Condition of Approval No. 7 specifies that the applicant shall comply with the tree preservation plan prepared by Alpine Tree Services dated July 16<sup>th</sup>, 2021 and requires that all recommendations described in the tree preservation plan be incorporated into the construction management plan submitted with the Building Permit application for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(D)(2)</b>	<b>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</b>
			<b>Commission Findings</b>	<p>Specifications for the proposed street trees are included on Sheet L1.0 of the project plans. The notes indicate that trees will be a minimum caliper size of 3 inches and will be placed tree wells.</p> <p>Streetscape improvements must be indicated on civil plans with the Building Permit application for final review and approval by the City Engineer and Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.070(D)(3)</b>	<b>The city arborist shall approve all parking lot and replacement trees.</b>
			<b>Commission Findings</b>	<p>Sheet L1.0 shows that 10 total trees will be removed from the project site. The street trees proposed along East Avenue and 5th Street satisfy the requirement to replace all healthy and mature trees removed from a project site. 4 street trees are proposed along East Avenue and 9 street trees are proposed along 5th Street. The City Engineer and City Arborists shall review and approval trees proposed to be installed along the sidewalks within the public right-of-way.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.070(E)(1)</b>	<b>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</b>
			<b>Commission Findings</b>	N/A. No surface parking lot is proposed with the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.070(E)(2)</b>	<b>Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in</b>

				landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Commission Findings	N/A. The project does not include a surface parking lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Commission Findings	Landscaped seating areas along East Avenue and 5th Street create an inviting environment that will engage pedestrians and activate the streetscape. This seating areas are landscaped with perennial planter beds. Street trees will be installed to City right-of-way standards and include street trees.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Commission Findings	N/A as no parking is required for the development per Ketchum Municipal Code §17.125.040.  Bike racks accommodating parking for 18 bikes are provided at the southwest corner of the project site along East Avenue. Bike storage areas are also provided within the garages of both buildings. Building A's bike storage area accommodates 31 bikes. Building B's bike storage area accommodates 45 bikes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
			Commission Findings	N/A as no parking is required for the development per Ketchum Municipal Code §17.125.040.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			Commission Findings	N/A as no parking is required for the development per Ketchum Municipal Code §17.125.040.  Bike racks accommodating parking for 18 bikes are provided at the southwest corner of the project site along East Avenue.

**Table 6  
Findings Regarding City Department Comments**

*Note: City Department comments are preliminary. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.*

**Fire Department:**

- It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to all City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1217 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved Class I Standpipe system is required to be installed in every stairwell at every floor level above and below grade, including roofs and rooftop gardens. Fire hose connections shall be located in an intermediate floor level landing between floors. Fire hose connections to the standpipe system in the stairwells shall be gated 2 ½ inch NHT male couplings. The standpipe system shall be installed by the same contractor that installs the fire sprinkler system and shall meet the requirements of the latest edition of NFPA Standard 14.
- An approved fire detection system shall be installed per City of Ketchum Ordinance #1217 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1217 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, have a minimum ½”



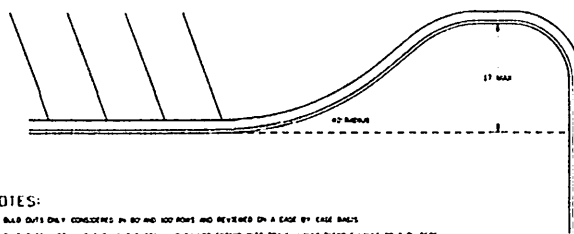
brush stroke, contrast with their background, and be positioned a minimum of forty-eight (48) inches above final grade.

- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved access roadway per 2018 International Fire Code Appendix D ([www.ketchumfire.org](http://www.ketchumfire.org)) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75' travel distance to any combustibles on site, 30' to any hot work. Upon completion of project every single-family residence shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10' separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project. Where possible a Master Key system will be used.
- This project shall comply with the City of Ketchum Fire Protection and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, or have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12" vertical of finished grade shall be 1 hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12" horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations. All vegetation in rooftop gardens will be fire resistive and free of landscape bark, peatmoss, or other combustible ground covers.
- Roof-top mounted solar photovoltaic arrays shall comply with the 2018 International Solar Energy Provisions (ISEP) as well as 2018 IFC, chapter 12, and shall provide for approved pathways through and around the installed array.

- Per 2018 IFC, §510.1, new buildings shall have approved radio coverage for emergency responders within the building based on the existing coverage levels of the public safety communication systems utilized by the jurisdiction, measured at the exterior of the building.
- Rooftop gardens and landscaped roofs shall be installed and maintained in accordance with 2018 IFC, §317. Portable outdoor fireplaces shall not be operated within 15 feet of a structure or combustible material.
- Roof access shall be provided in accordance with 2018 IFC Chapter 10, §1011.
- Fire emergency guides shall be provided for Group R-2 occupancies. A fire emergency guide shall describe the location, function and use of fire protection equipment and appliances available for use by residents, including fire alarm systems, smoke alarms and portable fire extinguishers. Guides shall include an emergency evacuation plan for each dwelling unit. Emergency guides shall be reviewed and approved by the fire code official. A copy of the emergency guide shall be given to each tenant prior to initial occupancy. Separate plans shall be established for assembly occupancies within the project.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Note: Additional requirements may be added upon final plan review.

**City Engineer & Streets Department:**

- Pursuant to KMC §17.96.060.C1, all storm water drainage shall be retained on site, including water from any roof drains. All roof drain locations will need to be shown on the project plans submitted with the Building Permit application.
- Drainage improvements shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060.C).
- Existing drywell on 5th will need to be reconstructed to meet current standards (hdpe liner due to proximity to KSW water line).
- The project qualifies as a substantial improvement and the applicant is required to install 8-foot-wide sidewalks along 5<sup>th</sup> Street and East Avenue to City Standards. The curbs should 6-inch rolled curb. The civil drawings indicate a reverse curb along East Avenue. Where will the water drain? The curb should be consistent 6-inch rolled curb along 5<sup>th</sup> Street.
- The bulb out shall meet City ROW standards as shown below.



**NOTES:**

- ① BULB OUTS ONLY CONSIDERED IN 80 AND 100 FOOT AND REVERSED ON A CASE BY CASE BASIS
- ② BULB OUTS MUST HAVE SHOULDER, 1' MINIMUM AND CANNOT EXTEND INTO TRAVEL LINES OR BIKE LINES OF SHOULDER
- ③ BULB OUTS NOT PERMITTED ON CORNERS WITH FREQUENT TRAFFIC TURNING BY TRUCKS AND BUSES
- ④ STEPS MAY NOT BE PLACED IN BULB OUT THAT IMPAIRS FIELD OF VISION
- ⑤ PARKING PER CITY ROW STANDARDS
- ⑥ MUST MEET ADA STANDARDS

REVISION: CITY OF KETCHUM STANDARD DRAWING STANDARD DRAWING

- All lighting within the ROW shall meet City ROW standards. (see Right-of-Way Standards, Commercial Category) on both East Avenue and 5<sup>th</sup> Street. Per City ROW standards a lighting study will need to be provided to ensure project meets city illumination standards for sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc. Streetlights shall be hardwired and placed at the back of the sidewalk and are not permitted within the sidewalk ramp transitions. The applicant shall submit an illumination plan for the ROW adjacent to the project to confirm light locations and quantities prior to issuance of a building permit for the project.
- The project requires a Right-of-Way (ROW) Encroachment Permit for the snowmelt system proposed to be installed for the sidewalks along East Avenue and 5th Street, the walkway connecting the two buildings over the alleyway, the metal awnings framing the retail units along East Avenue, and window shades slightly projecting from the west façade along East Avenue. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The City Council must review and approve the proposed encroachments and an associated ROW Encroachment Agreement prior to issuance of a building permit for the project.
- Street trees cannot be located within ramp transitions. The proposed street tree within the bulb out will need to meet all ADA clearances. Dimensions shall be shown on the civil drawings to demonstrate that the placement of the proposed street tree complies with ADA requirements.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved by the Building Department prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site. The construction management plan should address: (a) how materials will be off loaded at the project site, (b) the plan for coordinating with neighbors on temporary closures, (c) temporary traffic control, and (d) construction fence with screening.
- The building design and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**Utilities:**

- The applicant will be responsible for installing connections to the water and sewer system.
- The utilities plan shows that Building B connecting to an existing sewer service line that connects to the public sewer main line within the centerline of 5<sup>th</sup> Street. After conducting extensive dye testing, the Utilities Department has confirmed that this sewer line doesn’t exist in the location shown on the sewer system maps. The appropriate connection point for Building B’s sewer service line will need to be confirmed by the Wastewater Division Supervisor.
- The fire hydrant noted as Sheet C07 on the civil drawings is connected the Ketchum Springs Line which will be abandoned this Fall. The applicant shall replace the existing hydrant with a new WB67-250 mountain-style

hydrant. The fire line will require its own 6-inch line and connect to the municipal water main at East Avenue. An additional 6-inch domestic line, separate from the fire line, will be required for the project.

- The private fire and domestic water lines should be relocated from underneath the buildings for long term maintenance and repair.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

**Building:**

- The building must meet the 2018 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

**Planning and Zoning:**

Comments are denoted throughout the August 10<sup>th</sup> Staff Report.

**CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Bluebird Village Community Housing Project Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code and complies with the community’s vision and values identified in the 2014 Comprehensive Plan.

**DECISION**

**THEREFORE**, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P21-063 this Tuesday, August 10<sup>th</sup>, 2021 subject to the following conditions of approval.



## CONDITIONS OF APPROVAL

### *Project-Specific Conditions of Approval*

1. This Design Review approval is subject to all comments and conditions provided in Table 3 (Commission Findings Regarding Compliance with Zoning Code and Dimensional Standards), Table 4 (Commission Findings Regarding Compliance with Design Review Standards, Table 5 (Commission Findings Regarding Compliance with Community Core Design Review Standards), and Table 6 (Commission Findings Regarding City Department Comments).
2. The Bluebird Village Community Housing Project Design Review (Application File No. P21-063) approval is subject to the Conditional Use Permit (Application File No. P21-064) for the development's property management office. All associated conditions of approval shall apply to the project.
3. This Design Review approval is contingent upon City Council's approval of the zoning code text amendment proposing to modify the fourth-floor setback requirement for community housing projects.
4. This Design Review approval is contingent upon City Council's approval of the Bluebird Village project's building height as Ketchum Municipal Code §17.12.040 Footnote 2 requires that all buildings greater than 48 feet in height or than contain a fourth floor receive final approval from the City Council.
5. Following approval of the project's master signage plan, separate sign permits shall be required for all new signs prior to installation (KMC §17.127.030.B).
6. Sheet L1.0 shows 4 existing deciduous trees along the interior east side property line; the 2 on the project site are proposed to be removed to accommodate the proposed development and the 2 on the adjoining property will be removed and replaced if the adjoining landowner agrees. The applicant shall provide documentation the tree removal issue is resolved prior to issuance of a Building Permit for the project. If no resolution is forthcoming from the adjacent neighbor, documentation showing that the neighboring owner will not permit access to their property to remove those trees thereon will be considered a resolution.
7. The landscape plan shows an existing tree located to the south of Building A along 5th Street on the adjacent property located at 440 N East Avenue proposed to be preserved throughout the duration of construction. The applicant shall comply with the tree preservation plan prepared by Alpine Tree Services dated July 16<sup>th</sup>, 2021. All recommendations described in the tree preservation plan shall be incorporated into the construction management plan submitted with the Building Permit application for the project.
8. The project requires a Right-of-Way (ROW) Encroachment Permit for the snowmelt system proposed to be installed for the sidewalks along East Avenue and 5th Street, the walkway connecting the two buildings over the alleyway, the metal awnings framing the retail units along East Avenue, and window shades slightly projecting from the west façade along East Avenue. The City Council has the authority to review and approval all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The City Council must review and approve the proposed encroachments and an associated ROW Encroachment Agreement prior to issuance of a Building Permit for the project.
9. The applicant will coordinate with the City and Idaho Power to determine the appropriate location for the relocated transformer and sufficient screening that complies with both Design Review standards and Idaho Power's clearance requirements for the development's electrical infrastructure.

10. The applicant shall provide the City with written confirmation that Idaho Power consents to Building B's encroachment over their easement area at the northeast corner of the parking lot parcel prior to issuance of a Building Permit for the project.
11. All residents with a car without an assigned parking space designated on site shall be required to obtain a winter residential parking permit from the City to satisfy the project's on-street parking demand and comply with the Winter Residential Parking Program that may include designating overnight spaces in certain areas downtown and establishing odd/even parking standards during the winter. The applicant shall include this parking requirement in the lease agreement for each community housing unit to inform tenants.
12. The applicant shall reduce light trespass from the stairwells to the maximum extent practicable.

*Standard Conditions of Approval*

13. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning & Zoning Commission or the Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
14. The project shall comply with all governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer.
15. The applicant shall submit civil drawings prepared by an engineer licensed in the State of Idaho that include specifications for the project's right-of-way improvements, circulation design, utilities, and drainage improvements for final review and approval by the City Engineer, Streets Department, and Utilities Department prior to issuance of a Building Permit for the project.
16. Pursuant to Ketchum Municipal Code §17.96.090A, the term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations. Any extensions of Design Review approval shall comply with Ketchum Municipal Code §17.96.090b.
17. Prior to issuance of a Certificate of Occupancy for project, all Design Review elements, including landscaping and right-of-way improvements, shall be installed and completed to the satisfaction of City Departments.
18. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the development.
19. The project shall comply with the development standards specified in Ketchum Municipal Code §17.124.040 as adopted on the date a Building Permit application is submitted for the project.
20. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan that addresses each of the construction activity standards specified in Chapter 15.06 of Ketchum Municipal Code for review and approval by the Building, Planning, Streets, Utilities, and Fire departments and the City Engineer.
21. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 24<sup>th</sup> day of August 2021.



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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission

# Attachment C: Public Comment



From: Nowel Pawliw <[nowel@crowunion.com](mailto:nowel@crowunion.com)>  
Sent: Wednesday, September 29, 2021 4:42 PM  
To: Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>  
Subject: Support of Bluebird Village

As a small business owner in the Valley, housing has become the single greatest hurdle in my operation. I fully support Bluebird Village, and I strongly urge the Ketchum City Council to do the same.

Thank you,


Nowel

From: Paige Lethbridge <[paigelethbridge@me.com](mailto:paigelethbridge@me.com)>  
Sent: Wednesday, September 29, 2021 3:32 PM  
To: Participate <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>  
Subject: Blue bird village support

To whom it may concern.

The Cellar Pub and all of its owners and employees support Blue Bird Village. If we don't get any employee housing in the pipeline we won't be open at all. We support all and any employee housing, in any location of any size.

Thanks.

Paige Lethbridge  
208-720-4990  
Sent from my 

# Attachment D:

Link to Staff Report:

Planning and Zoning Commission

Regular Meeting of August 10, 2021

<https://mccmeetingspublic.blob.core.usgovcloudapi.net/ketchid-meet-216179d03cdd4fcb876076f799c2b0c9/ITEM-Attachment-001-e5e88ddfd4fb419e8ece617733b4587d.pdf>

&

Compiled Exhibits

<https://mccmeetingspublic.blob.core.usgovcloudapi.net/ketchid-meet-216179d03cdd4fcb876076f799c2b0c9/ITEM-Attachment-001-7aaa1bf0fd934bf4a718ac58529d6c72.pdf>



## City of Ketchum

October 4, 2021

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

**Recommendation To Conduct Public Hearing and Approve for First Reading Ordinance 1226 Amending KMC Section 17.12.040. Dimensional Standards, CC District Matrix to Modify the Fourth-floor Setback for Projects Where 100% of the Residential Units are Community or Workforce Housing,**

Recommendation and Summary

Staff is recommending the Council conduct a public hearing and approve first reading of Ordinance 1226 and adopt the following motion:

I move to approve the first reading of Ordinance 1226 and read by title only by the City Clerk

The reasons for the recommendation are as follows:

- On August 10, 2021, the Planning and Zoning Commission recommended approval of the proposed text amendment.
- The proposed amendment provides greater design flexibility for configuring the fourth floor of community housing projects. By averaging the 10-foot setback, some portions of the building will be setback greater than 10 feet and some portions may be closer than 10 feet.

PROPOSED AMENDMENT

Amend KMC Section 17.12.040, Fourth Floor Setback for Community Housing Projects

Section 17.12.040, Dimensional Standards, CC District Matrix, establishes the development standards for projects within the Community Core District (CC). Currently, projects with a fourth floor are required to set the fourth floor back 10 feet on all sides. Uninhabitable structures and equipment are required to be setback 10 feet from the building façade.

Staff is recommending the Council conduct a first reading of Ordinance 1226 to amend the fourth-floor setback requirement in the Community Core District for projects where 100% of the residential units are community or workforce housing (Attachment A). The reason for this change:

- The proposed change provides for greater design flexibility. By averaging the 10-foot setback, some portions of the building will be setback greater than 10 feet and some portions may be closer than 10 feet.
- Community housing projects typically provide more outdoor space for residents than market rate development. By averaging the setback, a project can aggregate open space to benefit the residents.
- Averaging allows greater flexibility in the placement of stairwells and elevator shafts.



As proposed, the fourth-floor setback for community housing projects would be an average 10-foot setback instead of a uniform 10-foot setback. This approach provides greater design flexibility in the placement of features such as elevator shafts and stairwells, facilitates a reduction in the perceived building mass, and provides for larger open space areas.

The Planning and Zoning Commission and City Council retain the authority to review and determine if the fourth-floor design and placement is appropriate. In addition to Planning and Zoning Commission design review, projects with fourth floors are subject to City Council review and approval. While the proposed amendment allows design flexibility for the fourth floor, the project design is still subject to review and approval by both the Planning and Zoning Commission and City Council.

#### Planning and Zoning Commission Action

On August 10, 2021, the Planning and Zoning Commission conducted a public hearing on the proposed amendment. The Planning and Zoning Commission unanimously recommended approval of the proposed amendment to the City Council.

#### PROCESS

Consistent with KMC 17.152, the Commission conducted a public hearing on the proposed amendment to the Zoning Ordinance and recommended approval to the City Council. Notice of the City Council public hearing was published in the Mountain Express on September 15, 2021, and notice was sent in accordance with KMC Chapter 17.152. The Council can approve, amend or reject the proposed amendment.

#### PUBLIC INPUT

No written public comment was received between the date the hearing notice was published and publication of this staff report for the October 4, 2021, hearing. Any written public comment received prior to the public hearing will be distributed to the Council and included in the public record.

#### FINANCIAL IMPACT

There is no financial impact as a result of the proposed recommendation.

#### Attachments:

- A. Proposed Ordinance 1226
- B. Proposed Publication Summary of Ordinance 1226

**ORDINANCE NO 1226**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17 THE ZONING ORDINANCE OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.12.040, DIMENSIONAL STANDARDS, CC DISTRICT USE MATRIX TO MODIFY THE FOURTH-FLOOR SETBACK FOR PROJECTS WHERE 100% OF THE RESIDENTIAL UNITS ARE COMMUNITY OR WORKFORCE HOUSING, PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City of Ketchum is authorized to amend the city zoning ordinance and the District Zoning Map pursuant to Idaho Code § 67-6511; and

WHEREAS, Title 17, the Zoning Code, establishes development standards for projects in the Community Core (CC) Zoning District; and

WHEREAS, the proposed code amendment will provide design flexibility for projects that provide 100% of the units are workforce or community housing units; and

WHEREAS, the Planning and Zoning Commission conducted a public hearing on the proposed text amendment on August 10, 2021 and recommended approval to the City Council; and

WHEREAS, the City Council, having considered the recommendation of the Planning and Zoning Commission and any comments from the public at a public hearing on October 4, 2021, having determined that it is in the best interests of the public to adopt the proposed amendment to Title 17:

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM:**

**Section 1: AMENDMENT TO SECTION 17.12.040: DIMENSIONAL STANDARDS, CC DISTRICT MATRIX:**

A. Development in the Community Core District shall comply with the standards set forth in the dimensional standards, CC District matrix. Dimensional standards for all other districts, unless otherwise specified, shall be found in section 17.12.030 of this chapter.

B. In addition to the requirements of the dimensional standards, CC District matrix, the regulations of chapter 17.128, "Supplementary Location And Bulk Regulations", of this title apply.

COMMUNITY CORE DIMENSIONAL STANDARDS

Dimensional Standards	Subdistrict 1: Retail Core	Subdistrict 2: Mixed Use
Lot/FAR miscellaneous:		
Minimum lot size	5,500 sq. ft.	
Minimum lot width	Average of 55'	
FAR requirements	See FAR requirements in section 17.124.040 of this title	
Minimum building setbacks:		
Front and street side	0'	5' average
Adjacent to alleyway	3'	
Rear side not adjacent to an alleyway	0'	
Interior side		
Cantilevered decks and overhangs		
Setback for 5th floors	20' from street sides and frontage and 10' on all other sides	
Setback for 4th floors <b>for all projects except for projects where 100% of the residential units are community or workforce housing</b>	10'	
Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof from all building facades <b>for all projects except for projects where 100% of the residential units are community or workforce housing</b>		
<b>Setback for 4<sup>th</sup> floor habitable and uninhabitable portions of the building, fixed amenities, solar and mechanical equipment for projects where 100% of the residential units are community or workforce housing</b>	<b>An average 10' setback from the ground floor building facade.</b>	
Maximum building heights:		
Cantilevered decks and overhangs	8' above grade and/or walking surface	
Building height	42', unless otherwise allowed in this title	
Height of buildings devoted 100% towards community housing <sup>1</sup>	52 <sup>2</sup>	
Hotel building height (for hotel development standards see subsection 17.124.050B6 of this title)	68 <sup>2</sup>	
Non-habitable structures located on building roof tops	10'	
Perimeter walls enclosing roof top deck and structures	4' above roof surface height. Perimeter roof top walls are required to be at least 75% transparent	
Roof top solar and mechanical equipment above roof surface	5'	

Note:

1. For purposes of this section, a project in the Community Core Subdistrict 1 that provides 100% community housing above the first floor and complies with the ground floor street frontage uses of the subdistrict, shall be considered a 100% community housing project.

2. All buildings greater than 48 feet in height or that contain a 4th or 5th floor shall require final approval from the City Council. For hotel height standards, see subsection 17.124.050B6 of this title.

**Section 2. REPEALER CLAUSE.** All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

**Section 3. SAVINGS AND SEVERABILITY CLAUSE.** It is hereby declared to be the legislative intent that the provisions and parts of this Ordinance shall be severable. If any paragraph, part, section, subsection, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid for any reason by a Court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance.

**Section 4. PUBLICATION.** This Ordinance, or a summary thereof in compliance with Section 50-901A, Idaho Code, substantially in the form attached hereto as Exhibit A, shall be published once in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

**Section 5. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED by the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho on this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

APPROVED:

\_\_\_\_\_  
Neil Bradshaw, Mayor

ATTEST:

\_\_\_\_\_  
Tara Fenwick, City Clerk



**ORDINANCE NO. 1226**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING TITLE 17 THE ZONING ORDINANCE OF THE KETCHUM MUNICIPAL CODE BY AMENDING SECTION 17.12.040, DIMENSIONAL STANDARDS, CC DISTRICT USE MATRIX TO MODIFY THE FOURTH-FLOOR SETBACK FOR PROJECTS WHERE 100% OF THE RESIDENTIAL UNITS ARE COMMUNITY OR WORKFORCE HOUSING, PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

A summary of the principal provisions of Ordinance No. 1226 of the City of Ketchum, Blaine County, Idaho, adopted on \_\_\_\_\_ 2021, is as follows:

- SECTION 1.** Amends Section 17.12.040 DIMENSIONAL STANDARDS, CC DISTRICT MATRIX to modify the fourth-floor setback for projects where 100% of the residential units are community or workforce housing. The following amendment is proposed:
- SECTION 2.** Provides a repealer clause
- SECTION 3.** Provides a savings and severability clause.
- SECTION 4.** Provides for publication of this Ordinance by Summary.
- SECTION 5.** Establishes an effective date.

The full text of this Ordinance is available at the City Clerk’s Office, Ketchum City Hall, 480 East Avenue North, Ketchum, Idaho 83340 and will be provided to any citizen upon personal request during normal office hours.

ATTEST:

APPROVED:

\_\_\_\_\_  
Tara Fenwick, City Clerk

\_\_\_\_\_  
Neil Bradshaw, Mayor