



## AGENDA

### PUBLIC PARTICIPATION INFORMATION

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You will find this option on our website at [www.ketchumidaho.org/meetings](http://www.ketchumidaho.org/meetings).

**If you would like to comment on a public hearing agenda item, please select the best option for your participation:**

1. Join us via Zoom (*please mute your device until called upon*).  
**Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/87893718036>  
Webinar ID: 878 9371 8036
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (*by noon the day of the meeting*).

*This agenda is subject to revisions. All revisions will be underlined.*

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### CALL TO ORDER:

### ROLL CALL:

### COMMUNICATIONS FROM COMMISSIONERS:

### CONSENT AGENDA:

*Note re: ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.*

1. Recommendation to approve September 20, 2022 minutes.

### PUBLIC HEARING:

2. ACTION ITEM: Recommendation to conduct a public hearing and review a Historic Building Alteration Request for exterior modifications to the Gold Mine Thrift Store located at 331 North Walnut Avenue, H22-051

### NEW BUSINESS:

3. Introduction of Clear Mind Graphics and discussion on the Historic Preservation Handbook

4. Discussion of the draft map identifying historic structures in the community core  
**ADJOURNMENT:**



CITY OF KETCHUM  
MEETING MINUTES OF THE  
HISTORICAL PRESERVATION COMMISSION  
Tuesday, September 20, 2022

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**CALL TO ORDER:** *(00:00:30 in video)*

Vice-Chair Wendolyn Holland called the meeting to order at 4:30 p.m.

**Roll Call:**

Spencer Cordovano

Tom Curl

Jakub Galczynski

Wendolyn Holland

Rick Reynolds

**Also Present:**

Carissa Connelly – Housing Strategist

Adam Crutcher – Planner

Suzanne Frick – Director of Planning and Building

Lisa Enourato – Interim City Clerk & Administrative Business Manager

**COMMUNICATIONS FROM THE COMMISSIONERS:**

Chair Holland expressed thanks and gratitude to former Chair Mattie Mead for his chairing of the Commission. Seconded by Spencer Cordovano.

Commissioners introduced themselves for the benefit of new members Tom Curl and Spencer Cordovano.

**NEW BUSINESS:**

4. Update on Process for evaluating structures at Forest Service Park. *(00:07:22 in video)*

Carissa Connelly, Housing Strategist, presented the Investigative Report on Forest Service Park.

**CONSENT AGENDA:** *(00:20:18 in video)*

1. Minutes of June 7, 2022

2. Minutes of July 6, 2022

**Motion to approve the Consent Agenda.** *(00:20:04 in video)*

Motion made by Rick Reynolds; Seconded by Jakob Galczynski.

**Ayes:** Jakob Galczynski, Wendolyn Holland, Rick Reynolds

**Nays:** None

**Recused:** Tom Curl, Spencer Cordovano

The Commission discussed the Demolition of Historic Building application for the former Taste of Thai cabin. *(00:21:30 in video)*

**NEW BUSINESS:**

3. HPC Handbook Outline. *(00:23:23 in video)*

Director Frick gave an overview of the development of the Handbook to date. The Commission discussed the audience for the handbook, the structure and included information.

**ADJOURNMENT:**

**Motion to adjourn at 6:03 pm** *(01:32:15 in video)*

Motion made by Rick Reynolds; seconded by Jakub Galczynski.

All in Favor.

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Vice-Chair Wendolyn Holland

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Lisa Enourato, Interim City Clerk



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING OF OCTOBER 3<sup>rd</sup>, 2022**

**PROJECT:** Goldmine Thrift Store Historic Building Alteration Request

**FILE NUMBER:** H22-051

**APPLICATION TYPE:** Request to Alter a Historic Structure

**REPRESENTATIVE:** Morley Golden

**PROPERTY OWNER:** The Community Library Association

**REQUEST:** Proposal of a rear detached roof assembly, site improvements, and repainting of soffit

**LOCATION:** 331 North Walnut Ave (Ketchum Townsite: Block 44, Lot 6)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**NOTICE:** The public hearing notice was published in the Idaho Mountain Express on September 14<sup>th</sup>, 2022. A public hearing notice was mailed to adjacent properties within 300 feet of the project site on September 14<sup>th</sup>, 2022. A public hearing notice was posted on the project site on September 27<sup>th</sup>, 2022.

**REVIEWER:** Adam Crutcher, Associate Planner

**BACKGROUND**

The applicant, The Community Library Association, has submitted a Request to Alter a Historic Structure located at 331 N Walnut Ave (Ketchum Townsite: Block 44, Lot 6) within the Mixed-Use Subdistrict of the Community Core (CC-2) Zone. The request proposes to construct a detached roof assembly to the rear of the building, install site improvements including benches and site walls, and repaint the soffit color to more closely resemble what was present on the building in the 1950's. The Gold Mine Thrift Store building was constructed in 1957 and is one of the few examples of Mid-Century Modern architecture in downtown Ketchum. The primary period of Mid-Century Modern architecture was from 1945-1969 and was a by-product of post war optimism and innovation. The character defining features of Mid-Century Modern architecture include flat planes, clean lines and geometric shapes, little ornamentation, an emphasis of functionality over form, open floor plans and large windows for light and views. This building reflects the key characteristics of the architectural style.

The project is subject to Historic Preservation Commission (HPC) review pursuant to KMC 17.20.010.B. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List.

## ANALYSIS

The HPC may approve, approve with conditions, or deny a Request for Demolition or Alteration application based on the criteria specified in KMC 17.20.030.C. The following analysis evaluates the proposed additions to the Gold Mine Thrift Store in relation to the review criteria for requests to alter structures on the Historic Building List. The project plans are attached as Exhibit A.

### Review Criteria for Request for Demolition or Alteration Application

*Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?*

The Gold Mine Thrift Store is one of the 24 structures on the Historic Building List. The 2005 Walsworth Associates Windshield Survey identified the Gold Mine Thrift Store as a locally significant historical resource. The existing structure was built in 1957 for the purpose of housing the Community Library and the Gold Mine Thrift Store. The Community Library moved out of the location in 1977 and the building has since been solely used as the home for the Gold Mine.

Limited alterations have been made to the building over time. Staff found one building permit in City records from 1991 (Building Permit Application File No. 91-004). This building permit was for an addition to the rear of the building. The purpose of this addition was to add storage space for the Gold Mine. Staff was also able to find mention of one other addition to the building in the mid 1960's. Again, the purpose of this addition was to allow for greater space for the operation of the library and thrift store. Both additions to the building used the same materials and roof line as the original building.

The Gold Mine building has social and cultural value to the community and architectural significance within downtown Ketchum. The building has been used in the past as the home of the Community Library. The single-story building is architecturally significant as it is one of the few examples of mid-century modern architecture within the downtown. The building's slanted roof, frontside glazing, and minimal ornamentation are representative of this style of architecture.

*Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?*

Historic integrity measures how effectively a building's materials, design, feeling, location, association, workmanship, and setting convey the property's historic significance. The Gold Mine building has retained its historic and architectural integrity over the 65 years since it was originally constructed. The structure has remained in its same location and retained its original building form and materials. The

development's small scale contributes to downtown's mix of diverse building types that visually track Ketchum's incremental growth through time.

The proposed project includes a detached roof assembly to the rear of the building which would match the roof line of the existing building. The minimal architectural ornamentation to the roof assembly and the angled roof line is consistent with mid-century modern architectural principles. The roof assembly follows standard #9 of the Secretary of the Interior Standards for Rehabilitations which states,

*"New additions, exterior alteration, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment".*

The roof assembly is differentiated from the existing building due to the use of metal and it being a detached structure while still being compatible in terms of size, scale, and architectural features.

Other aspects of the project include site walls and benches at the front of the property. These features are small in scale and do not take attention away from the existing building. The site walls and benches are characterized with clean geometric shapes and don't have much architectural detail, keeping in line with mid-century modern architecture characteristics. The alterations to the existing building include repainting the soffit to match the coloration used in the 1950's and replacing the roof shingles with similar material.

*Does the structure retain the requisite integrity to convey its historic and/or architectural significance?*

The Gold Mine retains its historic integrity through the feeling and association conveyed through its original building form along with it being the original location of the Community Library. The building is in good condition and contains most of the same materials and color palette from the original construction. The two additions which have occurred after the original construction have used the same materials and design characteristics. The architectural features which make the building representative of mid-century modern architecture are still present and will not be affected by the proposed project.

*Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?*

The proposed alteration/addition does not adversely affect the historic significance or architectural distinction of the structure. The alterations/additions won't detract from the existing architectural qualities which make the existing building significant (angled roof line, large storefront windows, minimal architectural ornamentation). The historic significance of the Gold Mine building is it being the first location of the Community Library. This historic significance will not be negatively impacted due to the proposed additions/alterations.

## **STAFF RECOMMENDATION**

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Historic Preservation Commission deliberate and move to approve the Request to Alter a Historic Structure located at 331 N Walnut Avenue.

## **RECOMMENDED MOTION**

"I move to approve the Request to Alter a Historic Structure for the proposed demolition to the structure located at 331 N Walnut Avenue."

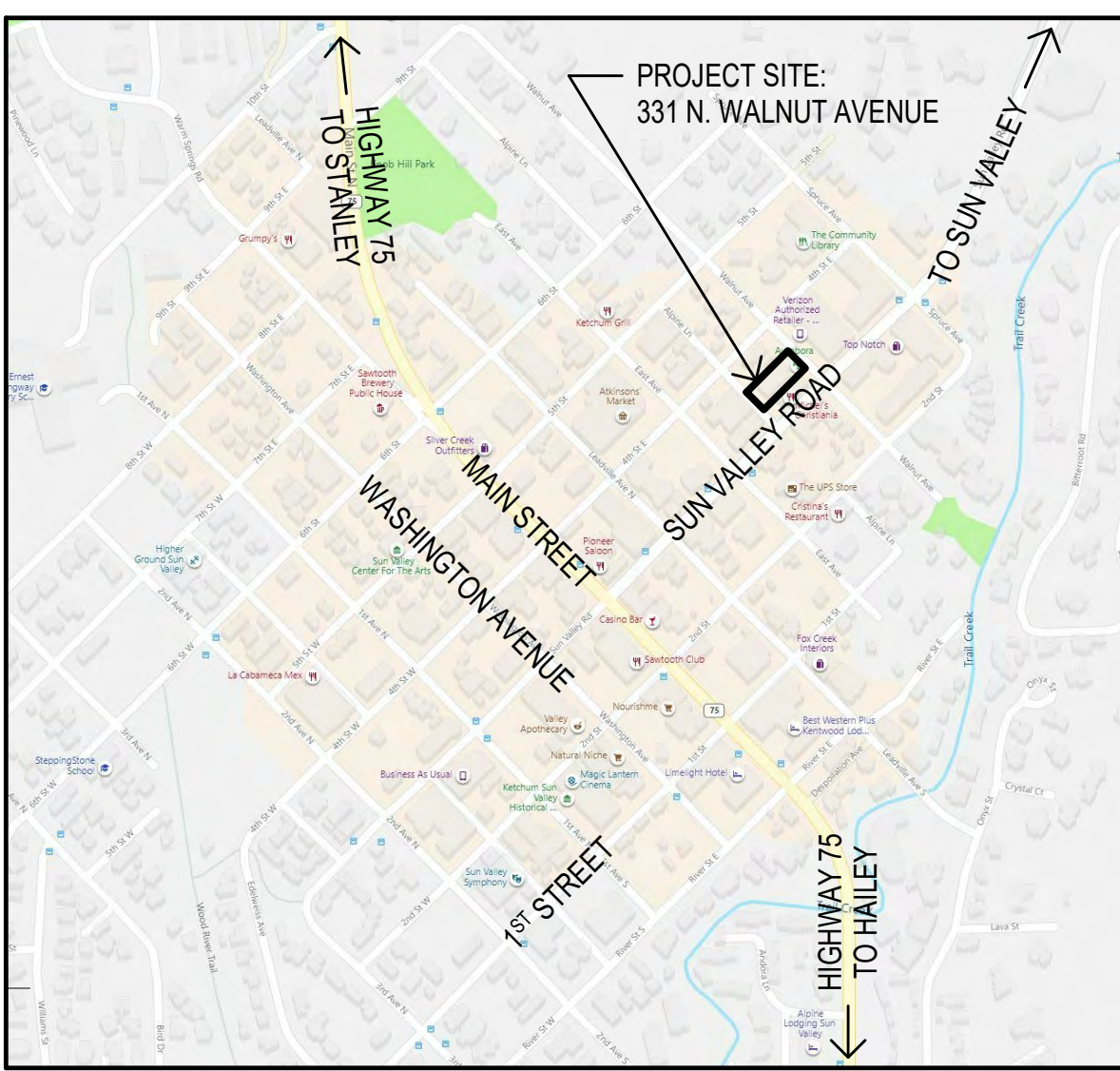
## **EXHIBITS:**

- A. 331 N Walnut Avenue Addition Plans



Attachment A:  
Gold Mine Addition Plans

# VICINITY MAP



# GOLD MINE ROOF ASSEMBLY ADDITION

# KETCHUM, IDAHO

## SITE PLAN SYMBOLS

EXISTING	FEATURE	PROPOSED	EXISTING	FEATURE	PROPOSED
100	CONTOUR	100	○	SPOT ELEVATION	○
—	PROPERTY LINE	—	○	FIRE HYDRANT	○
—	CENTER LINE	—	○	UTILITY POLE	○
—	EASEMENT/SETBACK	—	○	TRANSFORMER	○
—	RIGHT OF WAY	—	○	SIGN	○
—	FENCE	—	○	MONUMENT	○
—	STORM DRAIN	—	○	METER PIT	○
—	SANITARY SEWER	—	○	EXISTING TREE	○
—	WATER LINE	—	○	TREE TO BE REMOVED	○
—	ELECTRIC LINE	—	○	TRIANGULATION POINT	○
—	GAS LINE	—	○		
—	TELEPHONE LINE	—	○		
—	DRAINAGE LINE	—	○		
—	LIMIT OF WORK	—	○		
—	MATCH LINE	—	○		
—	SCALE	—	○		

## ARCHITECTURAL SYMBOLS

BUILDING SECTION (PLAN)	BUILDING SECTION NUMBER SHEET WHERE DRAWN	DOOR NUMBER
WALL SECTION	WALL SECTION NUMBER SHEET WHERE DRAWN	WINDOW NUMBER
DETAIL BLOWUP	DETAIL NUMBER SHEET WHERE DRAWN	REVISION INDICATION
DETAIL CUT AND SECTION	DETAIL NUMBER SHEET WHERE DRAWN	ELEVATION MARK
ELEVATIONS	ELEVATION NUMBER SHEET WHERE DRAWN	GRAPHIC SCALE
ROOM TAG	ROOM NAME ROOM NUMBER	NORTH ARROW

## PROJECT DATA

LEGAL DESCRIPTION: KETCHUM LOT 6, BLOCK 44 GOLD MINE THRIFT STORE

ZONING: CC-1 (COMMUNITY CORE; RETAIL CORE)

CONSTRUCTION TYPE: TYPE V WOOD FRAME

OCCUPANCY: M MERCANTILE

BUILDING AREA: 4,844 SQUARE FEET

SITE AREA: 8,250 SQ. FT. (0.189 ACRES)

CODES: 2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.

JURISDICTIONS: KETCHUM PLANNING & ZONING KETCHUM BUILDING DEPARTMENT KETCHUM FIRE DEPARTMENT

## ABBREVIATIONS

ABF	above	CAD	cadastre	CH	chase	CHS	chilled water coil	CHT	chilled water tank
AD	above	CAD	cadastre	CI	cast iron	CHS	chilled water coil	CHT	chilled water tank
ADP	above	CAD	cadastre	CL	center line	CHS	chilled water coil	CHT	chilled water tank
ADP	above	CAD	cadastre	CL	center line	CHS	chilled water coil	CHT	chilled water tank
ADP	above	CAD	cadastre	CL	center line	CHS	chilled water coil	CHT	chilled water tank

AC	acoustic	AC	acoustic	AC	acoustic
AC	acoustic	AC	acoustic	AC	acoustic
AC	acoustic	AC	acoustic	AC	acoustic
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AC	acoustic	AC	acoustic	AC	acoustic

## PROJECT TEAM

OWNER'S REPRESENTATIVE: Golden Edge Enterprises  
 Morley Golden  
 PO Box 286  
 Sun Valley, Idaho 83353  
 (208) 720-0956  
 mgolden@mgolden.com

STRUCTURAL ENGINEER: Frost Structural Engineering  
 Brigham Christensen  
 1020 E. Lincoln Road  
 Idaho Falls, ID 83401  
 (208) 227-8404  
 brighamc@froststructural.com

GENERAL CONTRACTOR: Elias Construction  
 Jess Deckard  
 PO Box 6272  
 Ketchum, Idaho 83340  
 (208) 788-5400  
 jdeckard@eliasconstruction.com

CIVIL ENGINEER: Galena Engineering  
 Sean Flynn  
 317 N. River Street  
 Hailey, ID 83333  
 (208) 788-1705  
 slynn@galena-engineering.com

## GENERAL REQUIREMENTS

- ALL WORK PERFORMED SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF THE FOLLOWING AND HAVE SAME FORCE AND EFFECT AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS.
  - 2018 INTERNATIONAL BUILDING CODE
  - ALL APPLICABLE LOCAL, CITY, COUNTY, STATE AND FEDERAL LAWS, CODES, ORDINANCES, COVENANTS, RULES AND REGULATIONS GOVERNING THE SITE OF WORK IN EFFECT AS OF THE DATE OF CONSTRUCTION DOCUMENTS.
- GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL ERRORS AND OR DISCREPANCIES IN THESE PLANS SHALL IMMEDIATELY BE REPORTED IN WRITING TO THE ARCHITECT AND SHALL BE RESOLVED AT THE ARCHITECT'S DISCRETION PRIOR TO THE COMMENCEMENT OF ANY WORK OR QUESTION.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUB CONTRACTORS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ON-SITE CONSTRUCTION SUPERVISION TO THE EXTENT NECESSARY TO ASSURE THAT ALL IMPROVEMENTS ARE BEING CONSTRUCTED IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND COMMON INDUSTRY TRADE PERFORMANCE STANDARDS. GENERAL CONTRACTOR SHALL INSPECT ALL STRUCTURAL, FRAMING MEMBERS, CONCRETE ANCHORS, TIE-DOWNS, FLASHING, ROOF MATERIALS, AND UNDERLAMENT. INSPECTION IS TO ASSURE THAT ALL MATERIALS AND APPLICATIONS MEET MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES OR ASTM REQUIREMENTS, WHICH EVER IS STRONGER, AND TO NOTIFY THE ARCHITECT AND OWNER IN SUFFICIENT TIME TO PREVENT DEFECTIVE AND OR SUBSTANDARD MATERIALS FROM BEING INCORPORATED INTO WORK.
- THE PROJECT ARCHITECT FOR MICHAEL DOTY ASSOCIATES, ARCHITECTS, P.C. SHALL IMMEDIATELY BE NOTIFIED IN WRITING BY THE GENERAL CONTRACTOR (CONSTRUCTION SUPERINTENDENT) SHOULD ANY DISCREPANCY, INCONSISTENCY, OR OTHER QUESTION ARISE PERTAINING TO THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BEAR SCALE LIABILITY FOR ALL DECISIONS MADE WITHOUT CONSULTING THE ARCHITECT FOR CLARIFICATION OF MATTER IN QUESTION.
- THE DESIGN ADEQUACY, AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF, AND FLOOR DIAPHRAGMS AND FINISH MATERIALS, AND SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFORESAID MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT IMPLY INSPECTION OF THE ABOVE ITEMS.
- REFER TO STRUCTURAL SPECIFICATIONS, PLANS, AND DETAILS FOR QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS, AND SHEAR REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION COORDINATION AND SUPERVISION. THE ARCHITECT WILL PERIODICALLY CHECK THE PROGRESS OF CONSTRUCTION, BUT WITHOUT UNDERTAKING TO PROVIDE CONSTRUCTION SUPERVISION. SOLELY FOR THE PURPOSE OF DETERMINING DESIGN CONSISTENCY.
- THE GENERAL CONTRACTOR IS TO COMPLY WITH MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT MANUFACTURERS' PRINTED INFORMATION IS MORE DETAILED AND OR STRONGER THAN REQUIREMENTS CONTAINED DIRECTLY IN THE CONSTRUCTION DOCUMENTS.
- IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT ALL WORK BE PERFORMED IN A SOUND MANNER PROVIDING A COMPLETED PRODUCT WITH MATERIALS, ASSEMBLIES, AND SYSTEMS CORRECTLY INSTALLED AND PERFORMING IN A MANNER CONSISTENT WITH THE COMMON STANDARDS ON THE INDUSTRY FOR THIS TYPE OF PROJECT.
- CONSTRUCTION DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, WORKING DRAWINGS, SPECIFICATIONS, STRUCTURAL CALCULATIONS, STATE MANDATED ENERGY CALCULATIONS AND NOTES, SOils REPORT, GEOLOGY REPORT, ACCIDENTAL ENGINEERS REPORT, ADDENDUMS AND CHANGE ORDERS, AND THESE GENERAL REQUIREMENTS UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- GENERAL CONTRACTOR AND SUBCONTRACTORS RECOGNIZE THAT THE ARCHITECT CANNOT PREPARE PLANS AND DRAWINGS THAT COVER ALL CONCEIVABLE CONSTRUCTION DETAILS OR SITE CONDITIONS.
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT IN WRITING OF ANY MISSING DETAILS AND OR CORRECTIONS WHICH ARE BELIEVED BY THEM TO BE NECESSARY AND OR APPROPRIATE FOR THE PROPER CONSTRUCTION OF THE PROJECT AND THAT WOULD NOT NORMALLY BE THEIR RESPONSIBILITY UNDER COMMON INDUSTRY PRACTICES AND TECHNIQUES.
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROGRESS OF CONSTRUCTION IN THE CONSTRUCTION INDUSTRY FOR THE PURPOSES INDICATED BY THE CONTEXT IN WHICH USED. IN THE EVENT THAT INDUSTRY PUBLICATIONS DO NOT ADEQUATELY DEFINE ANY GIVEN TERM, THE DEFINITIONS FOUNG IN WEBSITES (UNABRIDGED DICTIONARY OF THE AMERICAN LANGUAGE WILL GOVERN. REFER UNCERTAINTIES TO ARCHITECT BEFORE PROCEEDING.
- GENERAL CONTRACTOR SHALL ARRANGE FOR ALL TESTING AND INSPECTION REQUIRED BY THE CONSTRUCTION DOCUMENTS. LOCAL BUILDING DEPARTMENT, GRADING AND HEALTH DEPARTMENTS, AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- PRODUCTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS BY MANUFACTURER, MAKE, BRAND, MODEL, AND OR OTHER DESIGNATION ARE A PROJECT REQUIREMENT, UNLESS SPECIFICALLY NOTED OTHERWISE. SUBSTITUTIONS OF ACCEPTABLE EQUALS ARE PERMITTED ONLY WITH PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND OWNER. SELECTION OF PRODUCTS WHICH COMPLY WITH REQUIREMENTS INCLUDING APPLICABLE STANDARDS IS THE GENERAL CONTRACTOR'S OPTION UNLESS OTHERWISE SPECIFIED BY THE CONSTRUCTION DOCUMENTS, ARCHITECT, OR OWNER. THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR SHALL BEAR ALL RESPONSIBILITY FOR PRODUCTS WHICH HE SELECTS AND INSTALLS.
- WHERE CONSTRUCTION DOCUMENTS CONFLICT WITH CODES, THE MORE STRINGENT SHALL APPLY.
- NO CHANGES ARE TO BE MADE ON THESE CONSTRUCTION DOCUMENTS WITH OUT THE PRIOR KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER WHOSE SIGNATURE APPEARS HERE ON. APPROVAL BY CITY AND OR COUNTY BUILDING INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS AND SPECIFICATIONS.
- ALL REVISIONS TO AND OR CHANGES IN THE SCOPE OF WORK DESCRIBED BY THESE CONSTRUCTION DOCUMENTS SHALL BE BY WRITTEN CHANGE ORDER ONLY. GENERAL CONTRACTOR SHALL PROCURE THE BUILDING OFFICIAL'S APPROVAL FOR ANY SUCH CHANGES IN THE WORK.
- GENERAL CONTRACTOR SHALL PROCURE ALL REQUIRED BUILDING PERMITS AND APPROVALS THROUGHOUT CONSTRUCTION AND OCCUPANCY.
- ALL CLEAR DIMENSIONS ARE REQUIRED TO BE EXACT WITHIN 1/8" TOLERANCE ALONG THE FULL HEIGHT AND WIDTH OF WALLS. GENERAL CONTRACTOR AND OR SUBCONTRACTOR SHALL NOT ADJUST ANY GIVEN DIMENSION WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
- ALL SHOP DRAWINGS REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND ARCHITECT PRIOR TO FABRICATION FOR REVIEW OF COMPLIANCE WITH DESIGN INTENT.

GOLD MINE ROOF ASSEMBLY ADDITION  
 331 NORTH WALNUT AVENUE  
 KETCHUM, IDAHO 83340

### PRINT RECORD

PURPOSE	DATE

### REVISION RECORD

NO.	CHANGE	DATE

08/01/2022

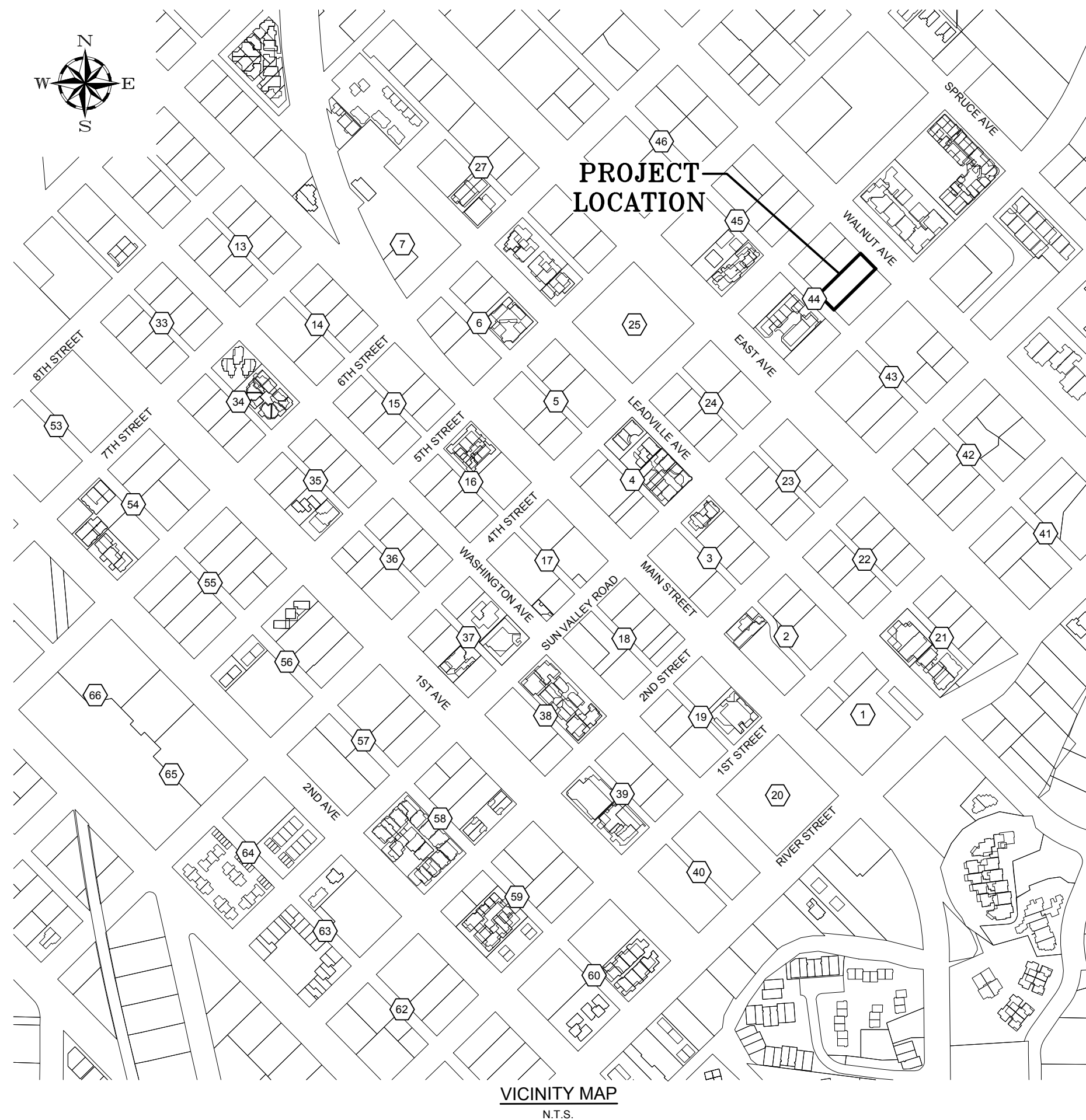
SHEET OF  
**A0.1** TOTAL



# 331 N. WALNUT AVENUE MAY 2022

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC SECTION 802, TYPE II (ITD STANDARD 703.04.2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC SECTION 802, TYPE I (ITD STANDARD 703.04.3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE RE-ESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



## SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	RIGHT-OF-WAY GRADING PLAN

**COVER SHEET**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THE GOLDMINE THRIFT STORE

PROJECT INFORMATION  
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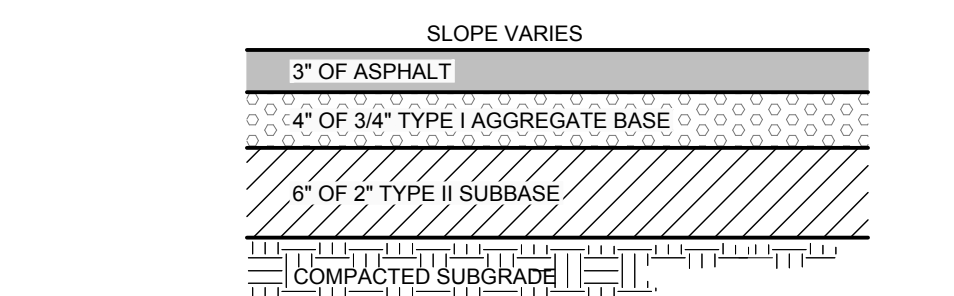


DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA**  
**ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83433  
 (208) 768-1705  
 email: galena@galena-engineering.com

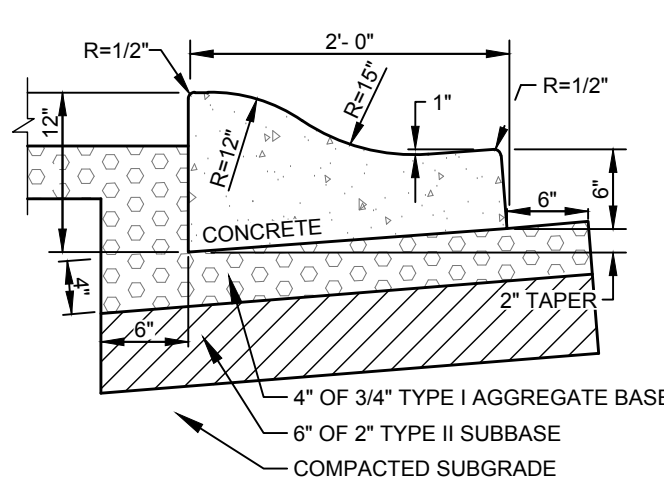
PURPOSE:	NO.	DATE	BY	REVISIONS

C0.1



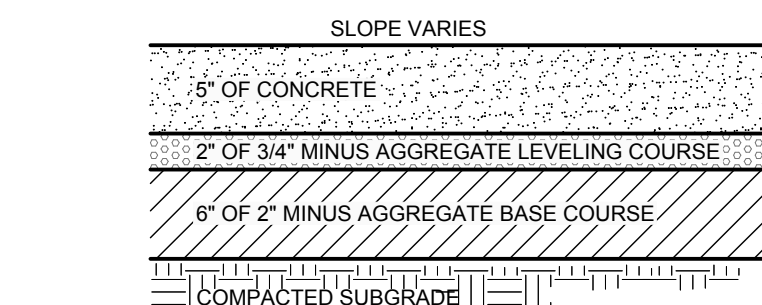
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1  
C0.1 TYPICAL STREET ASPHALT SECTION  
N.T.S.

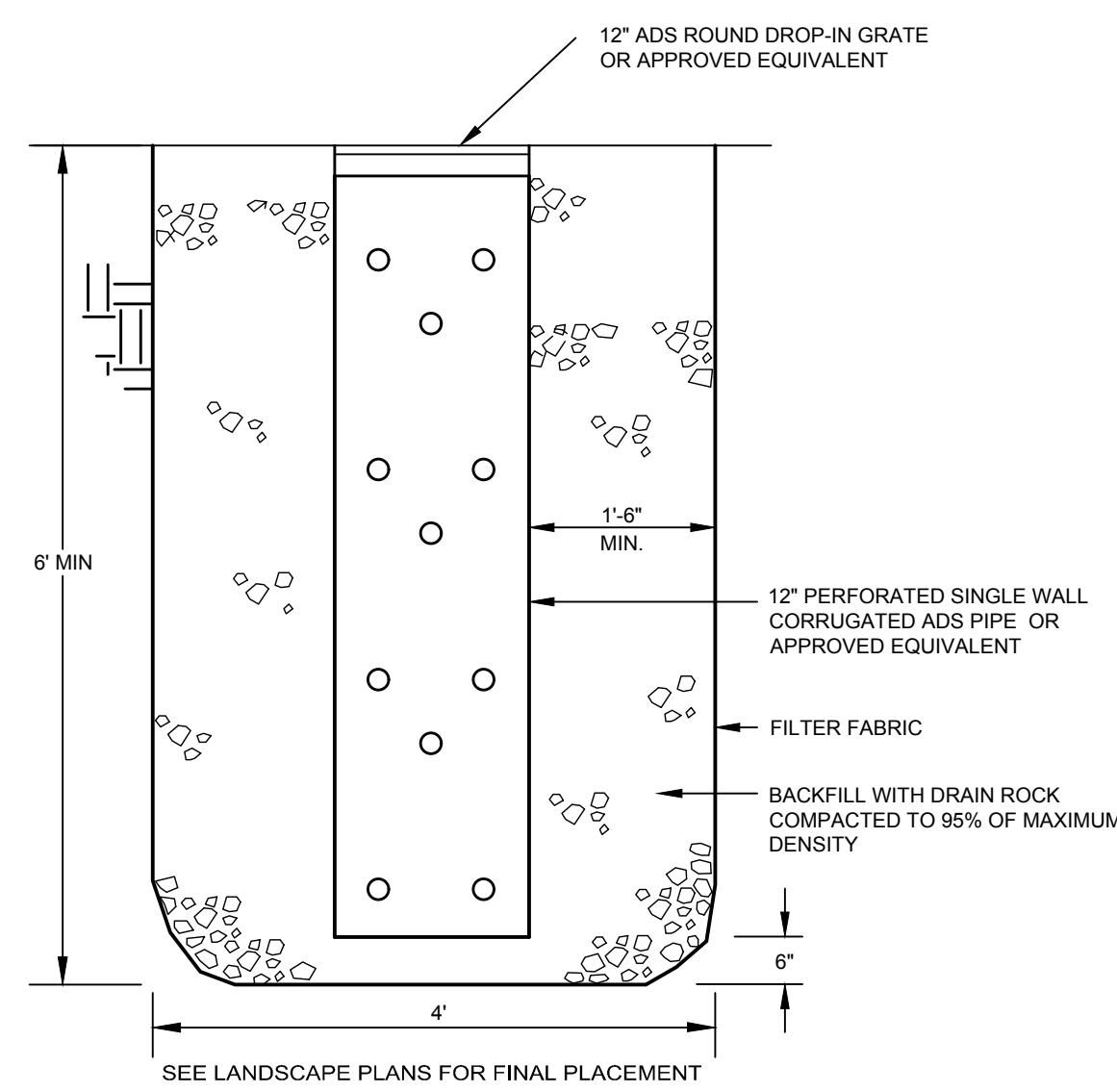


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

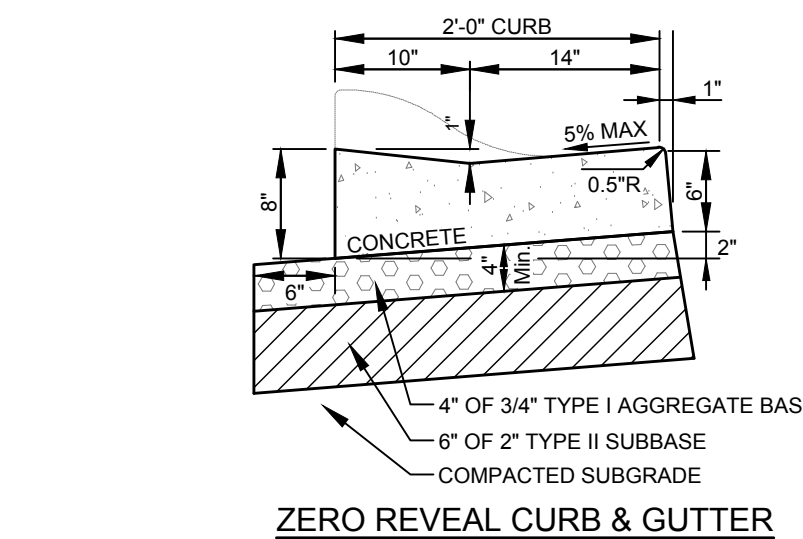
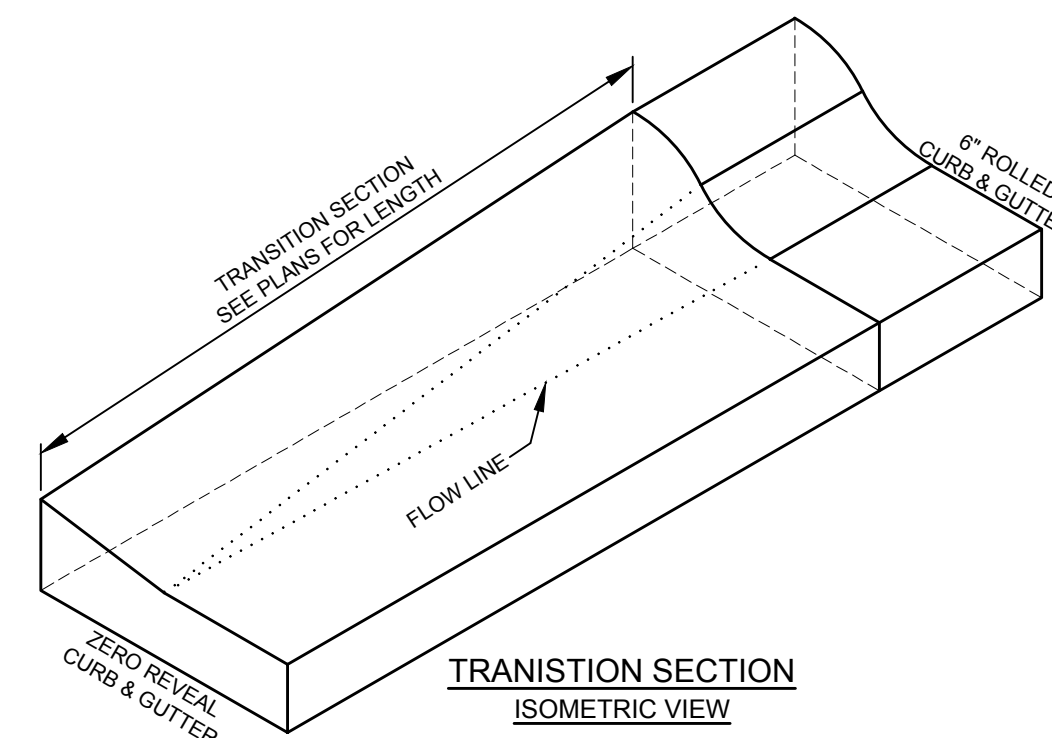
2  
C0.1 6" CONCRETE ROLLED CURB & GUTTER  
N.T.S.



3  
C0.1 TYPICAL CONCRETE SECTION  
N.T.S.

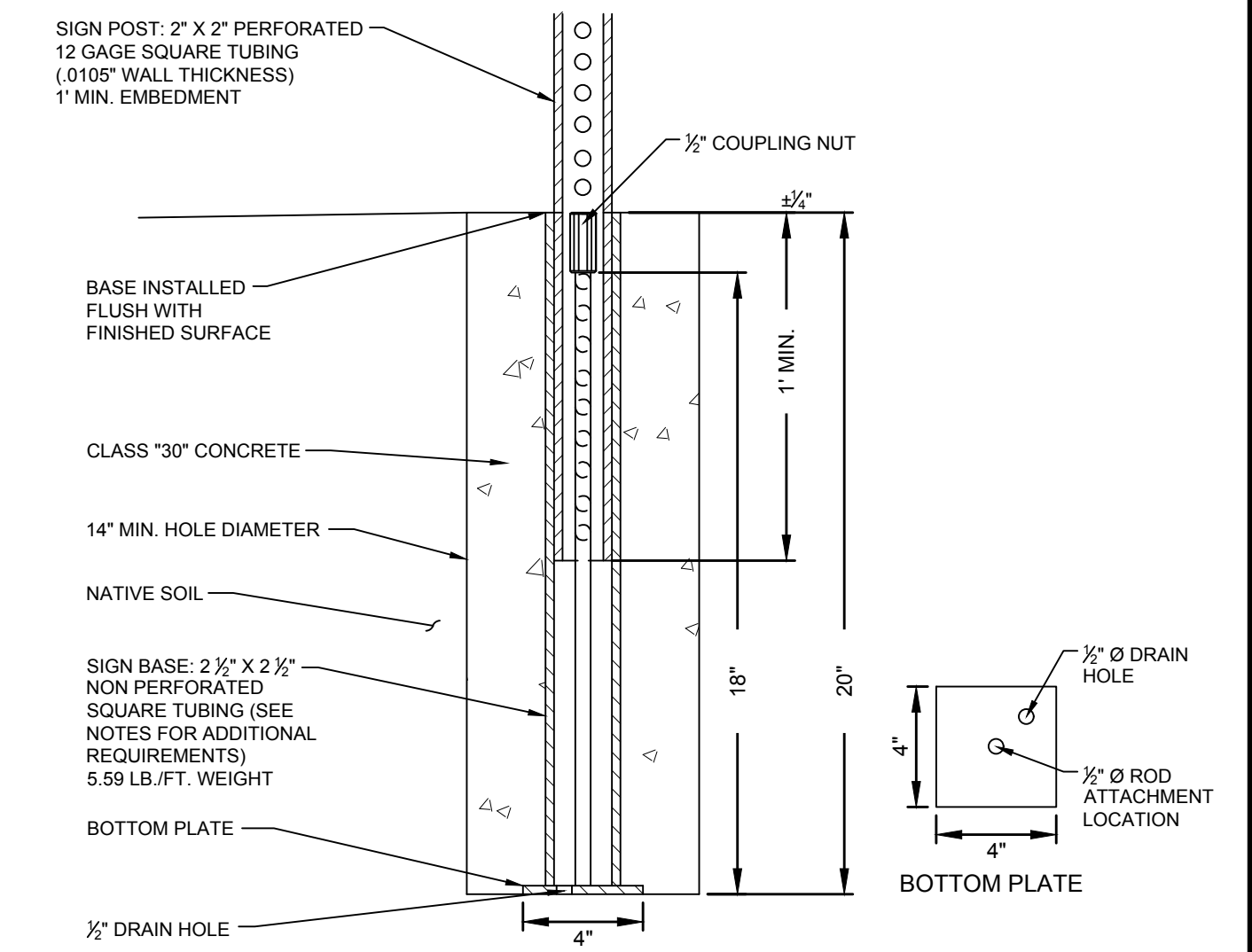


4  
C0.1 LANDSCAPE DRYWELL  
N.T.S.



- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

5  
C0.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.

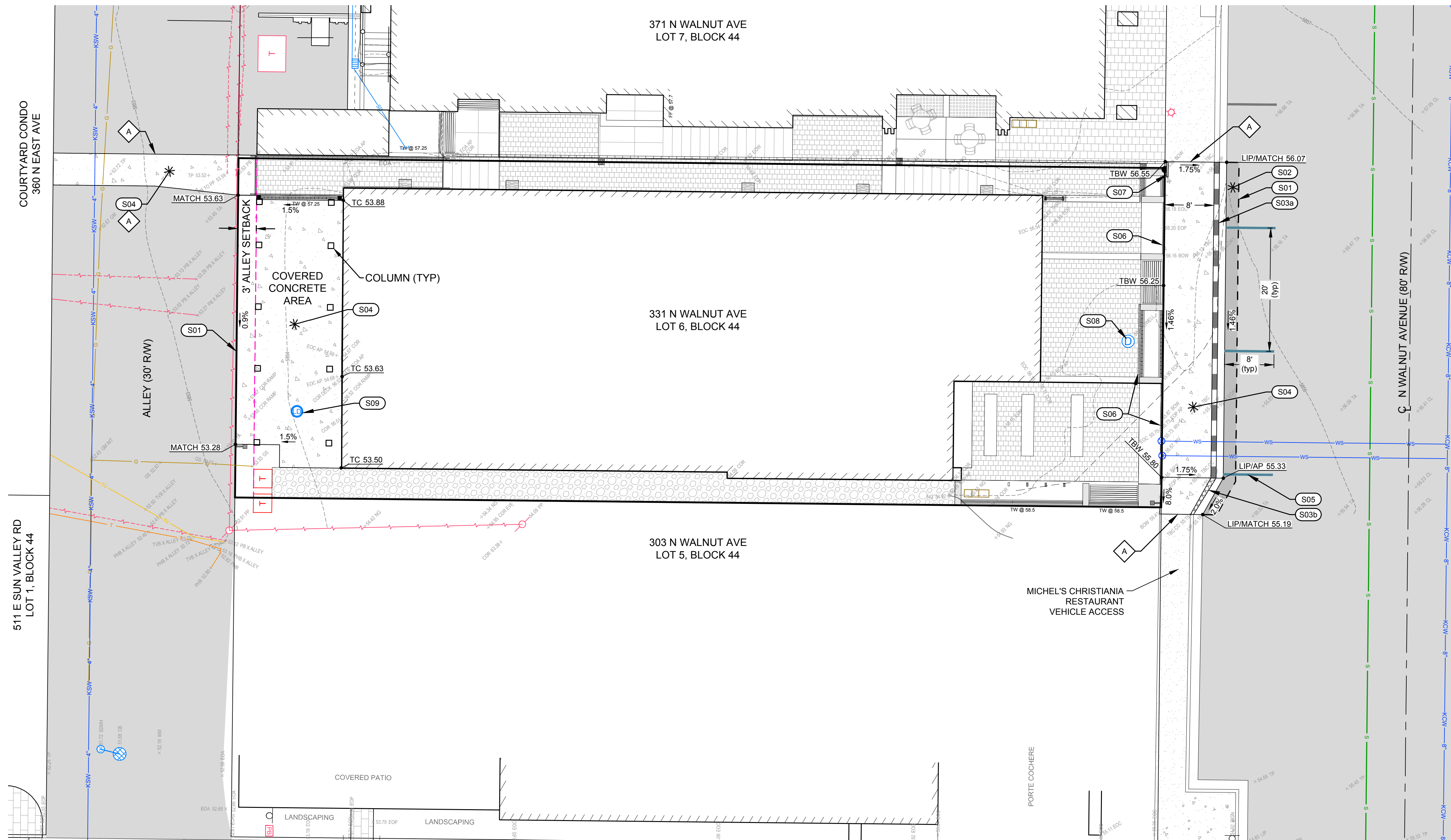


- NOTES:
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.

6  
C0.1 TYPICAL SIGN BASE  
N.T.S.

08/01/2022

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



**LEGEND**

<ul style="list-style-type: none"> <li>— Property Line</li> <li>- - - Adjoiner's Lot Line</li> <li>— Centerline</li> <li>- - - 3' Alley Setback</li> <li>- - - 5' Contour Interval</li> <li>- - - 1' Contour Interval</li> <li>▭ Curb &amp; Gutter</li> <li>▭ Building</li> <li>EOA Edge of Asphalt</li> <li>▭ Concrete Sidewalk</li> <li>▭ Pavers</li> <li>⊕ B-Rack = Bike Rack</li> <li>⊕ GM = Gas Main</li> <li>⊕ GMTR = Gas Meter</li> <li>⊕ T Proposed Transformer</li> </ul>	<ul style="list-style-type: none"> <li>TV Cable TV Buried</li> <li>TV Cable TV Riser</li> <li>PHB Buried Telephone Line</li> <li>PHB Telephone Riser</li> <li>PB Buried Power Line</li> <li>Overhead Power Line</li> <li>Light</li> <li>PP Power Pole</li> <li>S Sewer Main</li> <li>SS Sewer Service</li> <li>DWELL Dry Well</li> <li>WS Water Service</li> <li>WV Water Valve</li> <li>KCW Ketchum City Water Line (8")</li> <li>KSW Ketchum Spring Line (8")</li> <li>KSW Ketchum Spring Line (4")</li> </ul>	<ul style="list-style-type: none"> <li>AP Angle Point</li> <li>BEG Beginning</li> <li>BOW Back of Walk</li> <li>CC Curb Cut</li> <li>CL Centerline</li> <li>COR Corner</li> <li>EOA Edge of Asphalt</li> <li>EOC Edge of Concrete</li> <li>EOP Edge of Pavers</li> <li>EWL Edge of Walk</li> <li>FDSPIKE Survey Control</li> <li>FF Finished Floor</li> <li>GS Gas Service</li> <li>IC Illegible Cap</li> <li>INT Intersection</li> <li>LIP Lip of Gutter</li> <li>NC No Cap</li> <li>NG Natural Ground</li> <li>PC Point of Curvature</li> <li>PT Point of Tangent</li> <li>RTW Retaining Wall</li> <li>TA Top of Asphalt</li> <li>TBC Top Back of Curb</li> <li>TBW Top Back of Walk</li> <li>THRESH Threshold</li> <li>TP Top of Pavers</li> </ul>
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**SITE IMPROVEMENT KEY NOTES**

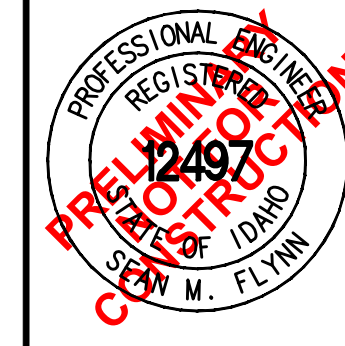
- S01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / CO.1.
- S03 CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" ROLLED C&G PER DETAIL 2 / CO.1.
  - b. ±7" OF CURB TRANSITION (BETWEEN 6" ROLLED C&G AND ZERO REVEAL C&G) PER DETAIL 5 / CO.1.
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- S05 INSTALL ROAD STRIPING / PAINT
  - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
- S06 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL. SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
- S07 INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / CO.1 FOR SIGN BASE DETAIL.
- S08 CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT TRENCH AND ROOF DRAIN SYSTEMS TO DRYWELL. RIM = 5856.2
- S09 INSTALL LANDSCAPE DRYWELL. CONNECT TO ROOF DRAIN SYSTEM. SEE DETAIL 4 / CO.1. RIM = ±5853.2

MATCH EXISTING LINES AND GRADES

**GENERAL NOTE:**

- 1. SEE LANDSCAPE PLANS FOR ONSITE GRADING.

**RIGHT-OF-WAY GRADING PLAN**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THE GOLDMINE THRIFT STORE



DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

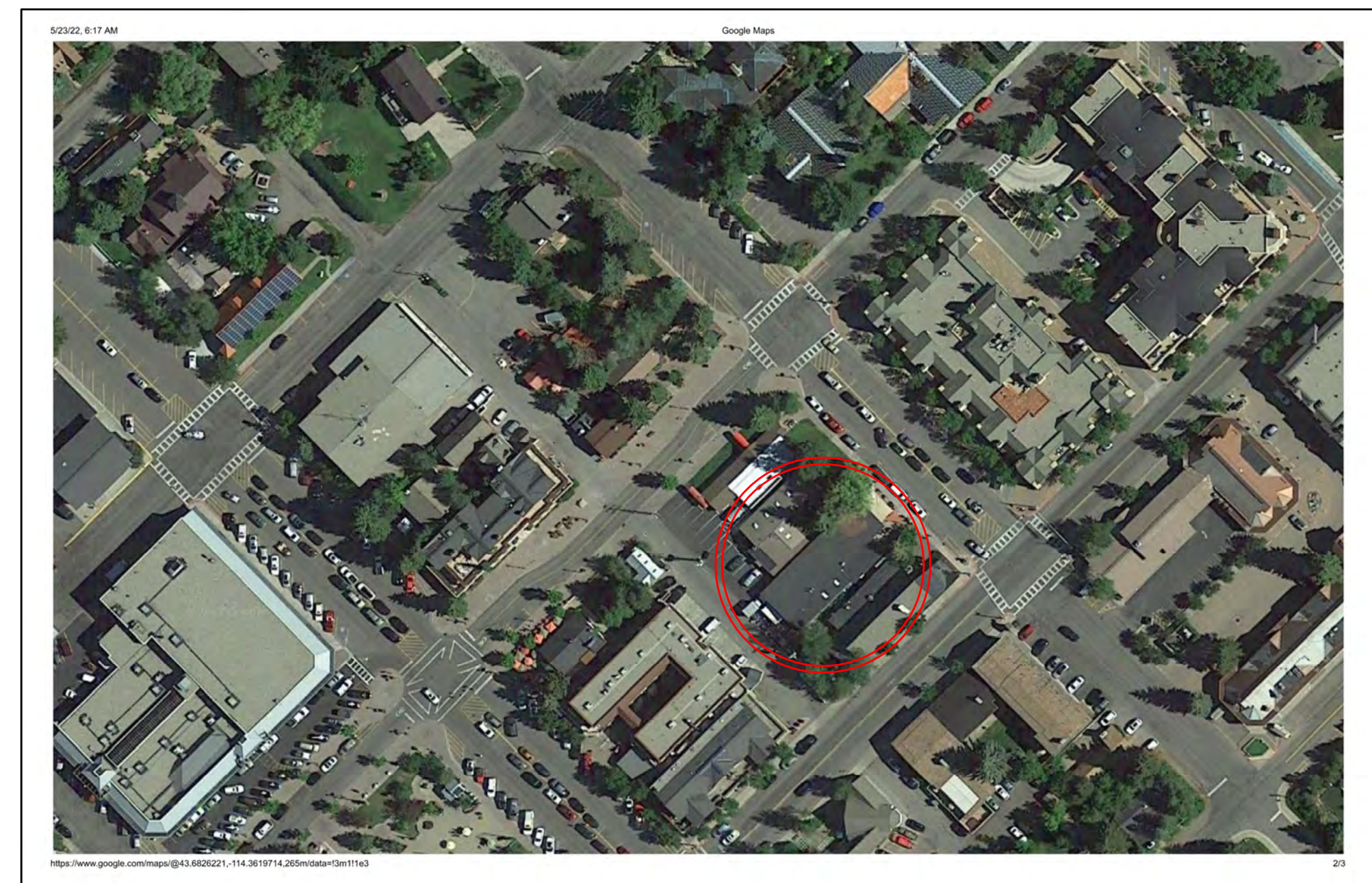
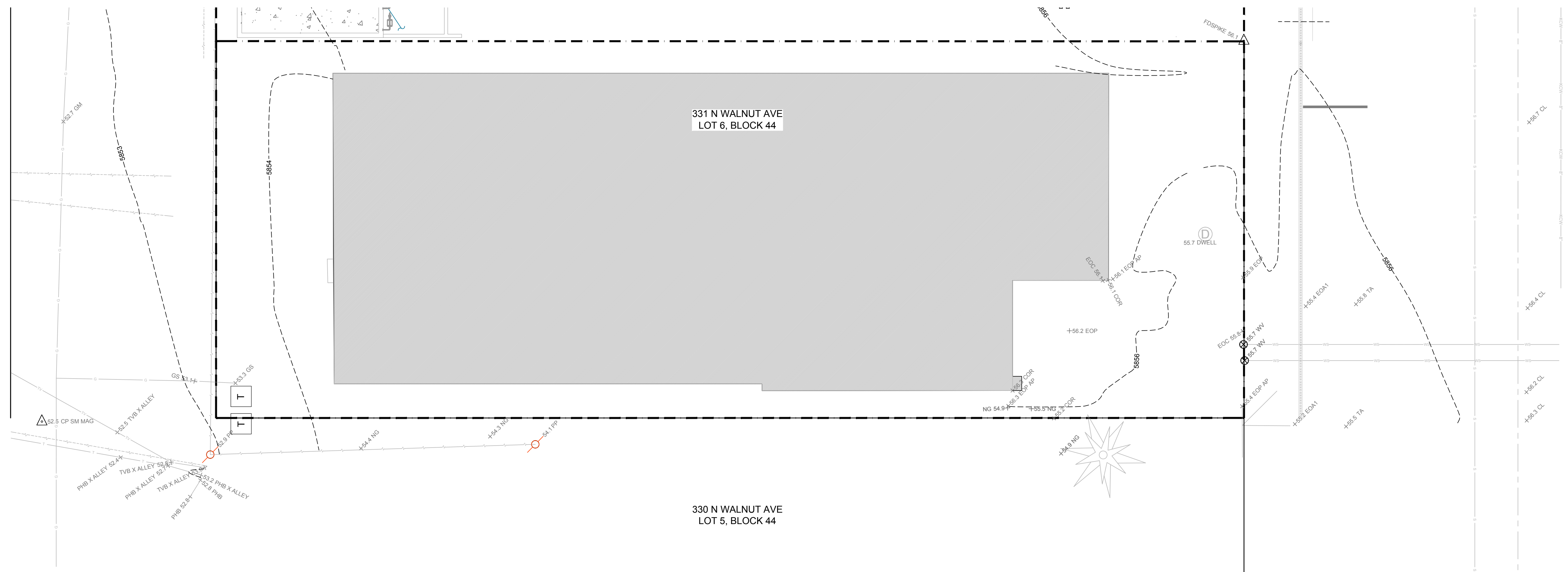
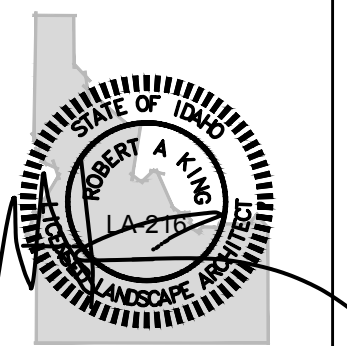
**GALENA**  
**ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 768-1705  
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

08/01/2022

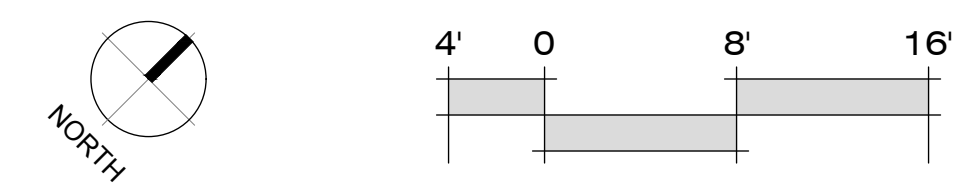
C1.0

PROJECT INFORMATION  
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- GENERAL NOTES**
- DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
  - REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
  - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
  - REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
  - ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY BLAINE COUNTY, IDAHO.

**SITE PLAN - EXISTING CONDITIONS**  
 SCALE: 1/8" = 1' -0"











**EAST ELEVATION - WALNUT AVENUE**



**NORTH EAST ELEVATION**



**NORTH ELEVATION**

**GOLD MINE ROOF ASSEMBLY ADDITION**

331 NORTH WALNUT AVENUE  
KETCHUM, IDAHO 83340

PRINT RECORD

PURPOSE	DATE

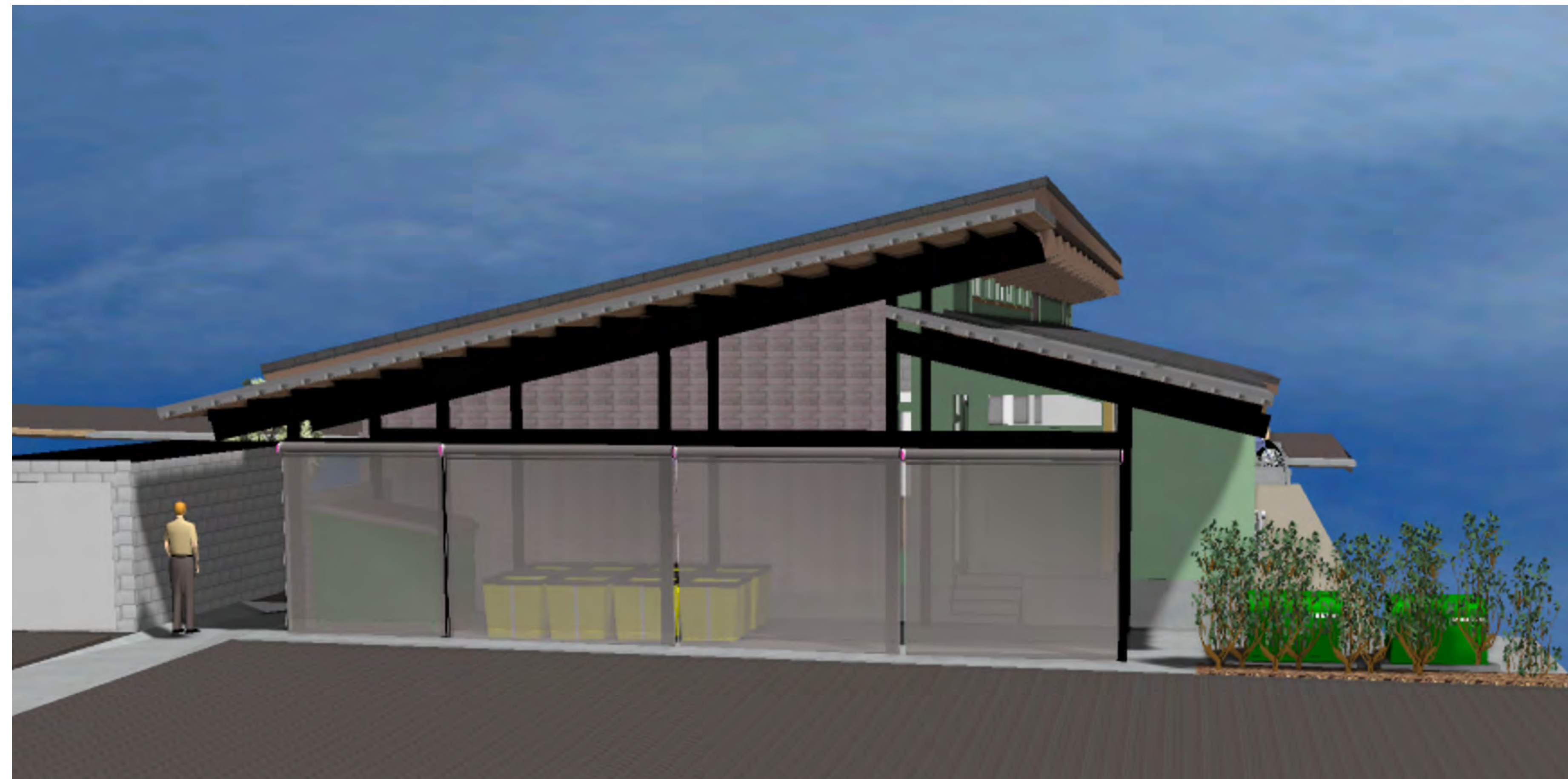
REVISION RECORD

NO.	CHANGE	DATE

SHEET	OF
A2.0	TOTAL



**WEST ELEVATION WITH SCREEN UP**



**WEST ELEVATION WITH SCREEN DOWN**



**ORIGINAL SIDING &  
WINDOW COLOR - SIMILAR  
TO BENJAMIN MOORE  
CLASSIC 635**



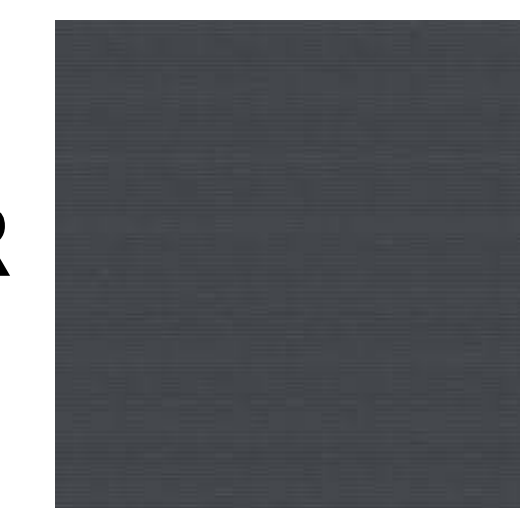
**ORIGINAL FASCIAA &  
SOFFIT COLOR - SIMILAR  
TO BENJAMIN MOORE  
2130-10**



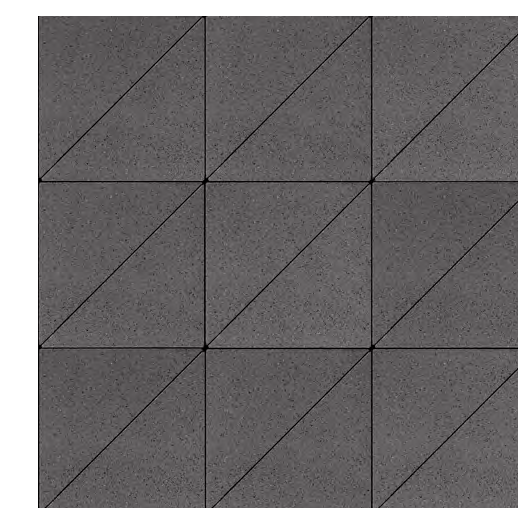
**METAL COLOR -  
DARK BRONZE**



**OR**



**SCREEN  
FABRIC  
COLOR**



**TECHNO BLOCK  
INDUSTRIA TRIANGLE  
POLISHED ONYX**



**ORIGINAL SPLIT FACE  
BLOCK**



**CERTAINTEED  
PRESIDENTIAL TL CLASSIC  
WEATHERED WOOD**

**GOLD MINE ROOF ASSEMBLY ADDITION**

331 NORTH WALNUT AVENUE  
KETCHUM, IDAHO 83340

**PRINT RECORD**

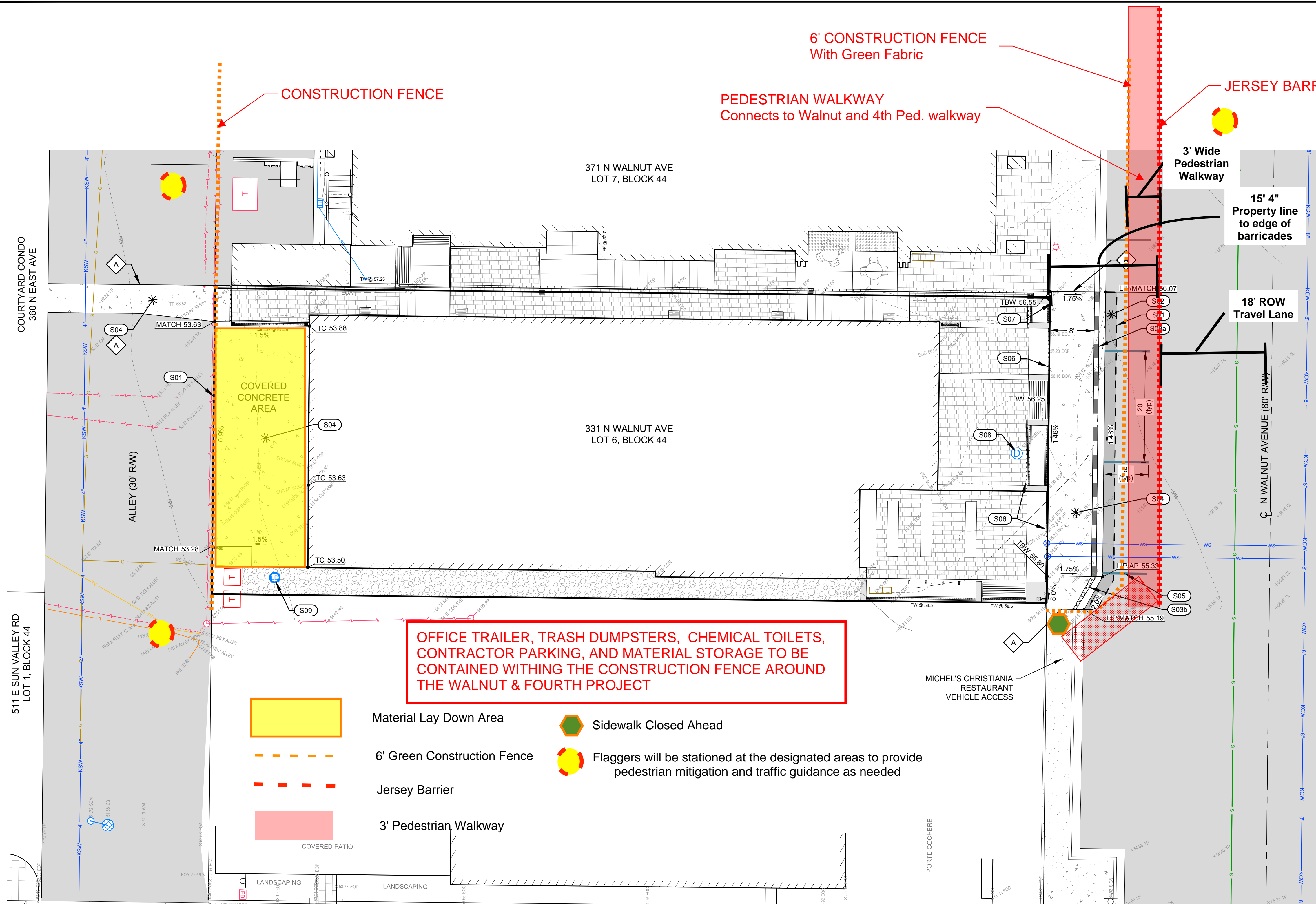
PURPOSE	DATE

**REVISION RECORD**

NO.	CHANGE	DATE

SHEET **A3.0** OF TOTAL

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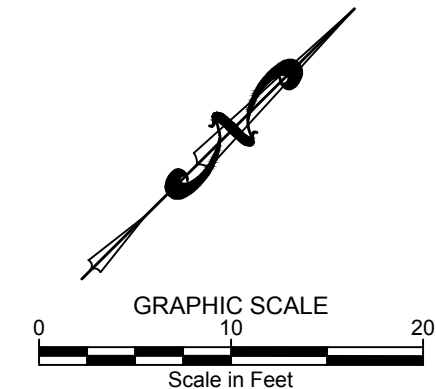
OFFICE TRAILER, TRASH DUMPSTERS, CHEMICAL TOILETS, CONTRACTOR PARKING, AND MATERIAL STORAGE TO BE CONTAINED WITHIN THE CONSTRUCTION FENCE AROUND THE WALNUT & FOURTH PROJECT

- Material Lay Down Area
- 6' Green Construction Fence
- Jersey Barrier
- 3' Pedestrian Walkway
- Sidewalk Closed Ahead
- Flaggers will be stationed at the designated areas to provide pedestrian mitigation and traffic guidance as needed

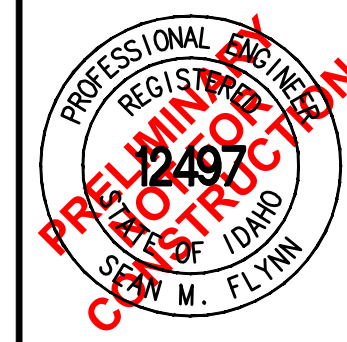
**LEGEND**

- |                     |                                    |                          |
|---------------------|------------------------------------|--------------------------|
| Property Line       | TVB = Cable TV Buried              | AP = Angle Point         |
| Adjoiner's Lot Line | TVBOX = Cable TV Riser             | BEG = Beginning          |
| Centerline          | PHB = Buried Telephone Line        | CC = Curb Cut            |
| 5' Contour Interval | PHBOX = Telephone Riser            | CL = Centerline          |
| 1' Contour Interval | PB = Buried Power Line             | COR = Corner             |
| Overhead Power Line | Light                              | EOA = Edge of Asphalt    |
| Curb & Gutter       | PP = Power Pole                    | EOC = Edge of Concrete   |
| Building            | S = Sewer Main                     | EOP = Edge of Pavers     |
| Edge of Asphalt     | SS = Sewer Service                 | EOW = Edge of Walk       |
| Edge of Asphalt     | DWELL = Dry Well                   | FDSPIKE = Survey Control |
| Concrete Sidewalk   | WS = Water Service                 | FF = Finished Floor      |
| Pavers              | WV = Water Valve                   | GS = Gas Service         |
| B-Rack = Bike Rack  | KSW = Ketchum City Water Line (8') | IC = Illegible Cap       |
| GM = Gas Main       | KSW = Ketchum Spring Line (8')     | INT = Intersection       |
| GMTR = Gas Meter    | KSW = Ketchum Spring Line (4')     | LIP = Lip of Gutter      |
|                     |                                    | NC = No Cap              |
|                     |                                    | NG = Natural Ground      |
|                     |                                    | PC = Point of Curvature  |
|                     |                                    | PT = Point of Tangent    |
|                     |                                    | RTW = Retaining Wall     |
|                     |                                    | TA = Top of Asphalt      |
|                     |                                    | TBC = Top Back of Curb   |
|                     |                                    | TBW = Top Back of Walk   |
|                     |                                    | THRESH = Threshold       |
|                     |                                    | TP = Top of Pavers       |

- SITE IMPROVEMENT KEY NOTES**
- S01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
  - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / CO.1.
  - S03 CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" ROLLED C&G PER DETAIL 2 / CO.1.
    - b. ±7" OF CURB TRANSITION (BETWEEN 6" ROLLED C&G AND ZERO REVEAL C&G) PER DETAIL 5 / CO.1.
  - S04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3 / CO.1.
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    - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - S06 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL. SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
  - S07 INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / CO.1 FOR SIGN BASE DETAIL.
  - S08 CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT TRENCH AND ROOF DRAIN SYSTEMS TO DRYWELL. RIM = 5856.2
  - S09 INSTALL LANDSCAPE DRYWELL. CONNECT TO ROOF DRAIN SYSTEM. SEE DETAIL 4 / CO.1. RIM = ±5853.2
- MATCH EXISTING LINES AND GRADES
- GENERAL NOTE:**
- SEE LANDSCAPE PLANS FOR ONSITE GRADING.



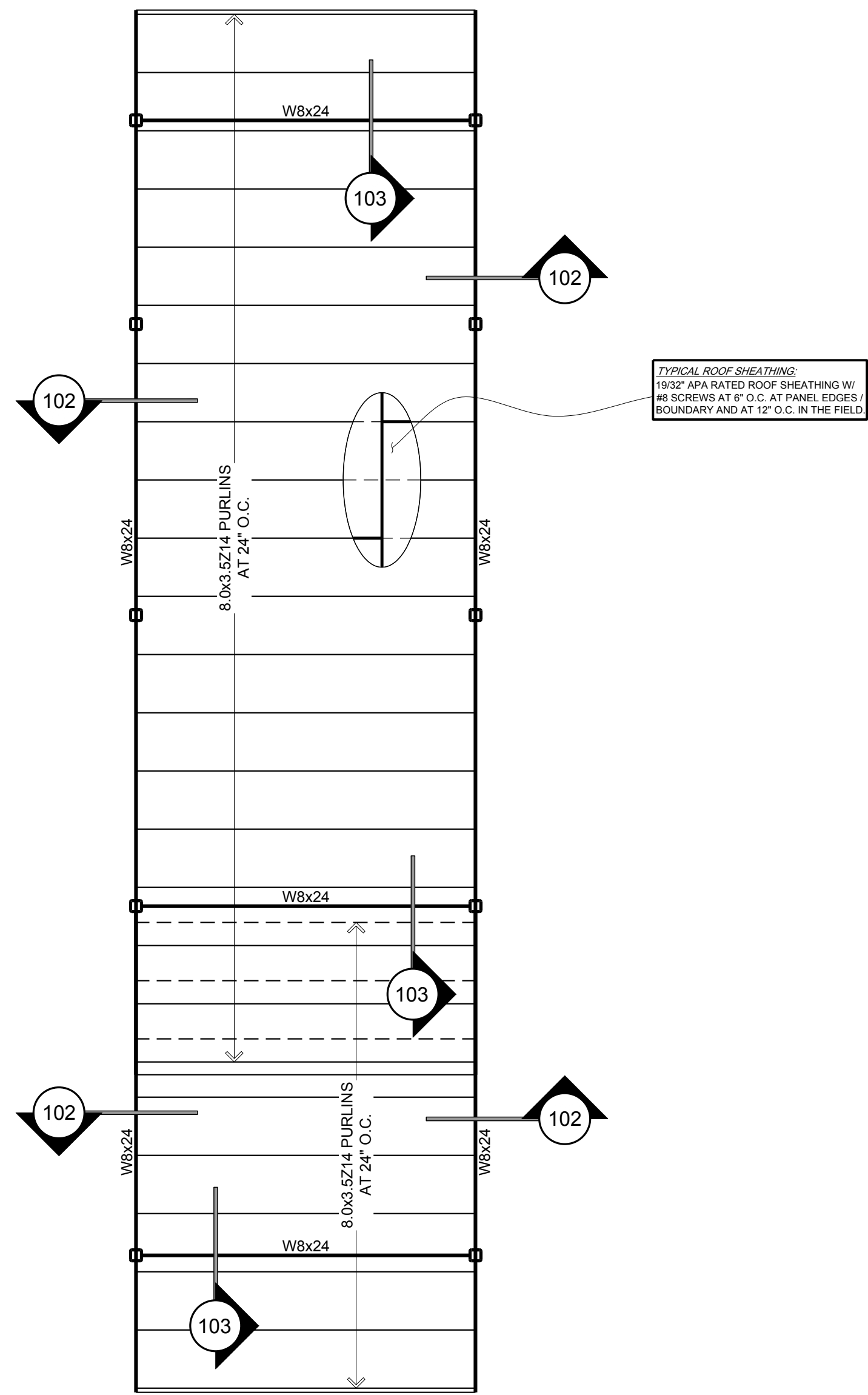
**RIGHT-OF-WAY GRADING PLAN**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THE GOLDMINE THRIFT STORE



DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 788-1705  
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

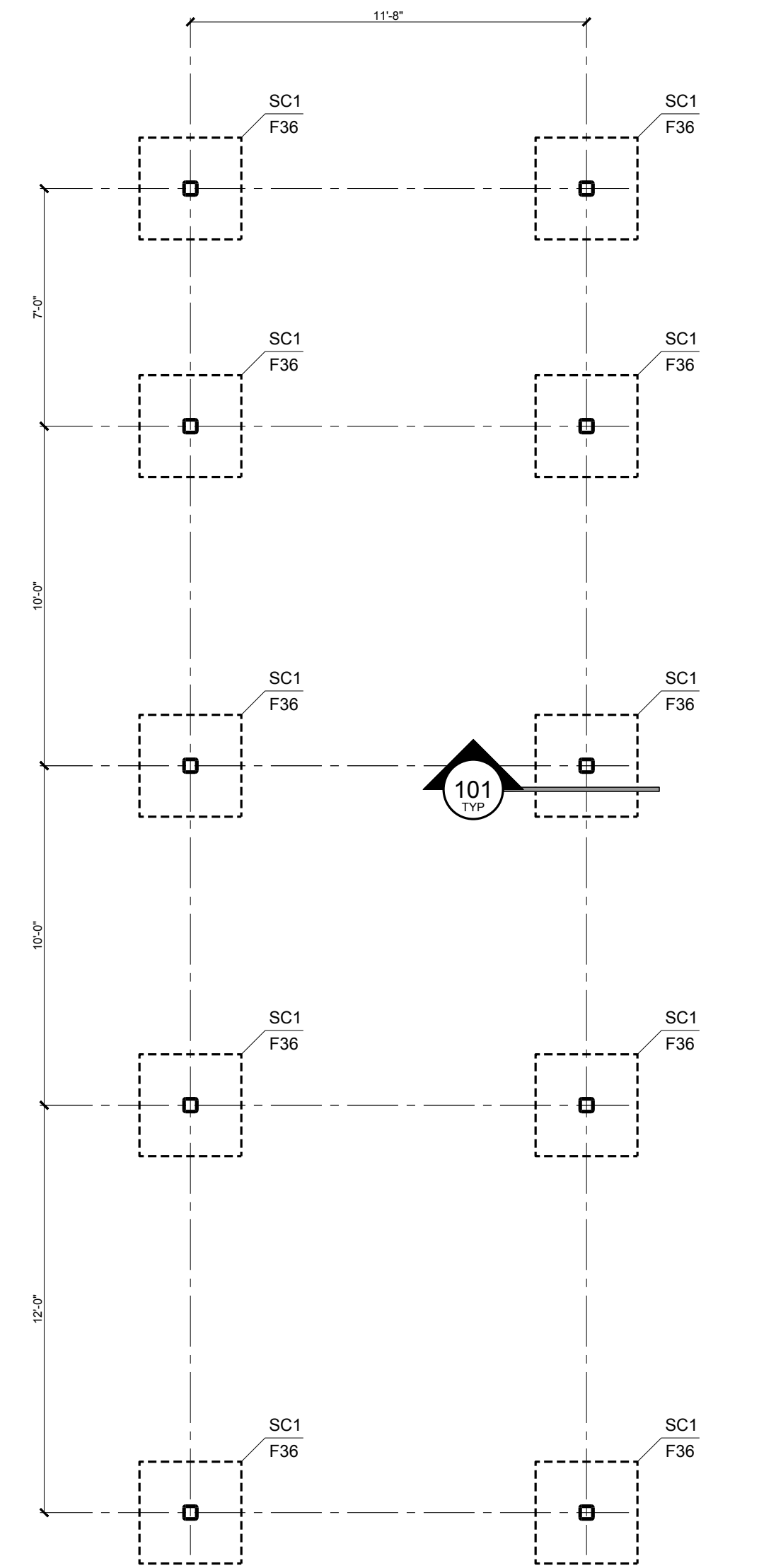


**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

**ROOF FRAMING PLAN NOTES**

- A. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
- B. ALL SCHEDULED MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND ON THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
- C. FOR CLARITY, DETAILS MAY SHOW ONLY ONE SIDE OF FRAMING CONDITION.



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**FOUNDATION PLAN NOTES**

- A. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
- B. ALL SCHEDULED MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND ON THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
- C. THE DEPTH OF FOOTING DIMENSION INDICATED IN THE G.S.N. IS A MINIMUM. FOUNDATION CONTRACTOR SHALL COORDINATE WITH THE SOILS REPORT AND OTHER TRADES TO INSURE THAT THESE MINIMUMS ARE SUFFICIENT FOR THE WORK. SEE TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.
- D. F36, F48, ETC. - AS SHOWN ON PLAN INDICATES A CONCRETE FOOTING. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.

**STEEL COLUMN (SC) SCHEDULE**

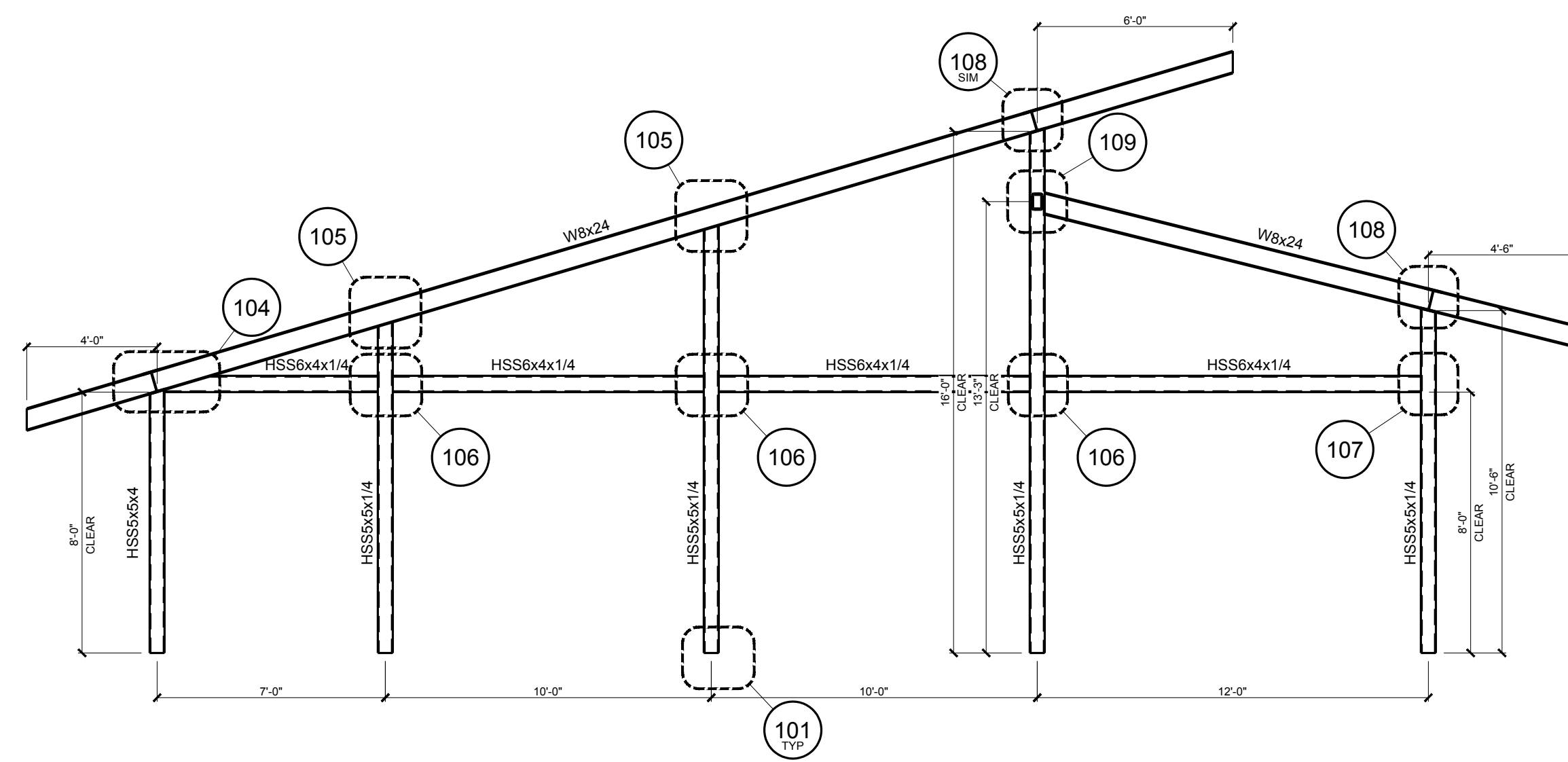
MARK	SIZE	BASE CONNECTION
SC1	HSS5x5x1/4	3/8"x11"x11" PLATE W/ (4) 3/4" ANCHOR BOLTS W/ 10" MINIMUM EMBEDMENT

**FOOTING SCHEDULE**

NOTES:  
 1. FOR CONSTRUCTION ABOVE FOOTING, SEE DETAILS.  
 2. FOR MINIMUM CLEARANCE (CLR) OF REINFORCING, SEE GENERAL STRUCTURAL NOTES (GSN).

MARK	LENGTH	WIDTH	THICKNESS	FOOTING REINFORCING	REMARKS
F36	36"	36"	10"	(4) #4 EACH WAY BOTTOM	---

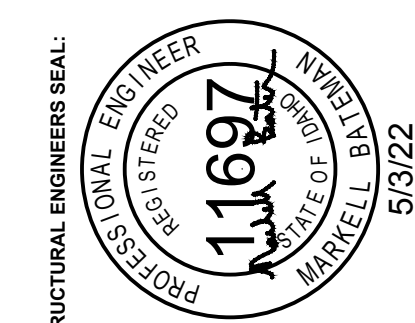
This drawing is the property of FROST Structural Engineering, Inc. Legally, this drawing can NOT be copied in whole or in part. It is to be used for the project and site specifically identified. If this drawing is used for any other project, the Contractor shall carefully review all dimensions, details, and conditions and report to once any error, inconsistency or deviation. The contractor assumes full liability for deviations from the intent of these plans.



**SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

PROJECT: **GOLDMINE ENTRY CANOPY**  
 331 WALNUT AVE  
 KETCHUM, ID 83340  
 CLIENT: GOLDMINE THRIFT STORE



FOUNDATION AND ROOF FRAMING PLAN  
 JOB NO.: FSD-157 PROJECT MANAGER: EBC CAD OPERATOR: DTC  
**FROST Structural Engineering**  
 1020 E. Lincoln Road phone: 208.227.8404  
 Idaho Falls, ID 83401 fax: 208.227.8405  
 contact@frost-structural.com

DATE: 5/3/22 CURRENT REV: **S2.0**



###

~Introductory Letter from Mayor~

Date

[Dear Ketchum Residents & Stakeholders,

Major points

- We are so pleased to present to you this Handbook...
- Framing on why it's needed "In response to..."
- We appointed a Commission, they identified the buildings, wrote this handbook
- Vision for the future: I am hopeful that this Handbook will inspire building owners to preserve their historic structures.

[signed,  
Mayor Neil Bradshaw]

**DRAFT**  
**KETCHUM**  
**HISTORIC PRESERVATION HANDBOOK**

Historic Preservation Commission  
in coordination with  
City of Ketchum

September 2022

# Ketchum Historic Preservation Handbook

## Contents

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| 1. Saving Ketchum's Early Buildings                         | problem  |
| 2. Historic Preservation Commission, Designation,           | solution |
| 3. Why we think this is a good idea & seeking your feedback | benefit  |
| 4. Q&A  |          |
| 5. Resources  |          |



**Why does historic preservation matter for Ketchum?  
or  
Saving Ketchum's early buildings**

This is the "problem statement."  
It should frame the issue before us: we are losing buildings & we saving them is important.

*Introduction*

Preserving Ketchum's early buildings has been a stated value of several City Administrations. We at the HPC contend that it also reflects the will of the people. Our City is rapidly losing historic structures, those fifty years or older. Ketchum's Historic Preservation Commission seeks to stem that tide, honor those buildings that remain, and support property owners in their efforts to save Ketchum's early buildings.

Older Ketchum buildings are a physical manifestation of our past. While Ketchum's origins in 1879 reflect the beginnings of other frontier mining towns, our buildings are unique to this place. These buildings reflect a rich history that began with mining in a land that had been occupied for countless centuries by the Shoshone, Bannock, Paiute, and Nez Perce Tribes. The railroad enabled a relatively smooth transition of the economic base from mining to sheep ranching. The railroad then brought an industry entirely new and American: the ski resort. As home to Sun Valley, the nation's first destination ski resort, Ketchum quickly became the town that reflected the growth of the global ski industry. Skiing thus separated Ketchum from every other mountain town with a similar history in mining and ranching.

Much of Ketchum's charm derives from these early buildings. Without them, Ketchum would resemble any other modern Western town. Tourism remains the primary driver of our economy in the Wood River Valley. Every business in the Wood River Valley derives economic value from the remaining historic structures.

Among the challenges our community faces is balancing the desire for historic preservation with the reality of personal property rights. Property owners hold the right to do what they please, of course within the confines of laws and zoning. Each of us as Ketchum residents and stakeholders gain value from the continued presence of old buildings, yet who should bear the cost?

Preserving historic structures can also be costly. How can we not only encourage property owners to maintain their historic structures, but also provide advice or financial support?

*This Handbook builds on previous efforts for historic preservation*

- In 2005, the City contracted with Walsworth & Associates to identify historic properties within Ketchum and its Area of Impact. [Here's a link to that survey.] The goal of the survey was to make field determinations on existing buildings with local or interpretive potential to qualify for the National Register of Historic Places list.

- The goal was to make field determinations on existing sites, buildings, structures, features, and objects with local or interpretive potential or qualify for the NRHP list
- In 2020, the City hired TAG Associates to determine eligible sites and pare down the list of historic assets recognized by the City.
  - The survey found that since 2005, fifteen of the 81 buildings recorded had been lost.
  - Quantify this further.
- As a community, collectively we must now confront whether preventing the loss of additional historic structures is important and what resources we are willing to put to bear / to dedicate to this effort.
  - The HPC seeks public input on creative and substantive aspects.

[Is there anything we can say about what the most recent Historic Preservation Commission (before us - the one that included Amanda Breen) did during their incarnation?]

In response to the loss of several historic structures that composed Trail Creek Village, Ketchum City Council passed an Emergency Ordinance in December 2020 barring the demolition or alteration of any structure of fifty years or older.

[insert language on the Ordinance]

The City formally called for feedback on the Emergency Ordinance and ran a survey to measure interest in the preservation of historic structures. [The results of the survey can be found here.] The Emergency Ordinance also called for the reconstitution of the Historic Preservation Commission.

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Historic preservation (\_\_\_planning or just preservation?\_\_\_) provides community and public benefits.

- These public benefits range from
  - providing local decision makers an avenue to establish preservation goals and prioritize preservation actions
  - to economic benefits of reinvigorating or stabilizing traditional neighborhoods
  - reducing environmental impacts through adaptive reuse of existing buildings.
- While the results of historic preservation (planning) provide many community benefits, there are also costs/trade-offs, including
  - Potential increases in rent
  - Potential increases in development costs in development costs for owners & neighbors of historic buildings
- We must also be aware of balancing equitable provision of preservation outcomes across diverse backgrounds.

## Ketchum Historic Preservation Handbook

The American Planning Association defines historic preservation planning as, "the process of creating and implementing a strategy to protect and enhance historic resources."

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### SOLUTION

The current Historic Preservation Commission formed as a result of the volunteers who submitted their names for consideration by the Mayor. A Commission of five was initially appointed: Jennifer Cosgrove, Jakub Galczynski, Wendolyn Holland, Mattie Mead, and Rick Reynolds. The Commissioners selected Mead as Chair and Holland as Vice Chair. Cosgrove and Mead later resigned their posts. The Commission now stands as:

Wendolyn Holland, Vice Chair and Acting Chair

Spencer Cordovano

Tom Curl, Commissioner

Jakub Galczynski

Rick Reynolds

This Handbook represents the next stage in the City's plans to fulfill its long-standing historic preservation goals.

Preventing the loss of additional historic structures is the primary goal of the Historic Preservation Commission.

### BENEFIT

## Q&As

*What does Ketchum's Historic Preservation Commission do?*

*What purpose does this Handbook serve?*

*How might I know if I own a historic property in Ketchum?*

*How might I list my historic property in Ketchum?*

*Will the Historic Preservation Commission take away my property rights?*

*How does owning a listed historic property in Ketchum benefit me?*

*How does listing an historic property benefit Ketchum as a whole?*

*What can I do with my Ketchum historic property? Should I preserve it or may I alter or demolish it?*

*How might I engage with the Historic Preservation Commission?*

1. Attend the meetings. They are typically held at 4:30p on the first Tuesday of each month. When a national holiday occurs early in a week (January, July, or September), the date can move to a Wednesday. Additional meetings may occur on the third Tuesday of the month, again typically at 4:30p. Please check the website for City updates: [www.ketchumidaho.org/bc-hpc](http://www.ketchumidaho.org/bc-hpc) or call **208.726.XXXX**.

2. Send an email to <[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)>

## Resources

National Register of Historic Places:

<https://www.nps.gov/subjects/nationalregister/index.htm>

Society of Architectural Historians:

<http://www.sah.org>

Idaho State Historical Society

<https://history.idaho.gov/>

2014 Ketchum Comprehensive Plan

[https://www.ketchumidaho.org/sites/default/files/fileattachments/planning\\_and\\_building/page/2131/2014\\_compplan\\_adopted\\_cc\\_2-18-14\\_final\\_201403281009599481.pdf](https://www.ketchumidaho.org/sites/default/files/fileattachments/planning_and_building/page/2131/2014_compplan_adopted_cc_2-18-14_final_201403281009599481.pdf)

2005 Walsworth Survey

Later TAG survey

Correction to earlier surveys (The Awkward Two)

Ketchum's Criteria for Historic Preservation, developed [date 2021]

List of 24 Historic Buildings in Ketchum's Community Core

Alter or demolish a Historic Structure Application

Demolition Permit Application

City updates

[www.ketchumidaho.org/bc-hpc](http://www.ketchumidaho.org/bc-hpc)

How to weigh in

[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)

###

~Introductory Letter from Mayor~

Dear Ketchum Residents & Stakeholders,

Date

Major points

- We are so pleased to present to you this Handbook...
- Framing on why it's needed "In response to..."
- We appointed a Commission, they identified the buildings, wrote this handbook
- Vision for the future: I am hopeful that this Handbook will inspire building owners to preserve their historic structures.

[signed,  
Mayor Neil Bradshaw]

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**KETCHUM**  
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October 2022

**Commented [WH1]:** How best to describe the authors?

**Contents**

- 1. Why does historic preservation matter for Ketchum [or] Saving Ketchum's Early Buildings [problem]
- 2. Historic Preservation Commission and Designated Buildings [solution]
- 3. Historic Preservation: Good for Ketchum and Good for Property Owners [benefit]
- 4. Q&A
- 5. Resources

**Commented [WH2]:**  
We should be able to “sort” each of the major points from the original draft into each of these Chapter buckets.



**Why does historic preservation matter for Ketchum?  
or  
Saving Ketchum's early buildings**

*Introduction*

Preserving Ketchum's early buildings has been a stated value of several previous city administrations. We at the Historic Preservation Commission (HPC) contend that efforts to save bygone buildings also reflects the will of the people. Our City is rapidly losing historic structures, those fifty years or older. Ketchum's Historic Preservation Commission seeks to stem that tide, honor the buildings that remain, and support property owners in their efforts to save Ketchum's early buildings.

Older Ketchum buildings are a physical manifestation of our past. While Ketchum's origins in 1879 parallel the beginnings of other frontier mining towns in the West, our buildings are unique to this place, initially a mining town carved out of a larger landscape that had been occupied for countless centuries by the Shoshone, Bannock, Paiute, and Nez Perce Tribes. The railroad, which played a big role, enabling a relatively smooth transition of the economic base from mining to sheep ranching, then delivered an industry entirely new and American: the ski resort. Anchoring Sun Valley, the nation's first destination ski resort, Ketchum quickly took on a patina of unpretentious glamor, and in doing so carved out a trajectory different from that of every other mountain town with a similar history in mining and ranching.

Much of Ketchum's charm derives from the architecture of the pioneering days. Without those specific buildings, Ketchum would resemble any other modern Western town. Every business in the Wood River Valley – whether directly or indirectly related to our tourism-based economy – derives financial value from the remaining historic structures.

Among the challenges our community faces now is balancing the desire for historic preservation with the reality of personal property rights. Property owners hold the right to do what they please, within the confines of laws and zoning. Each of us as Ketchum residents and stakeholders gain value from the continued presence of old buildings. Yet preserving historic structures can be costly.

How can we encourage property owners to maintain their historic structures, and also provide advice or financial support?

*This Handbook builds on previous efforts for historic preservation.*

- In 2005, the City contracted with Walsworth & Associates to identify historic properties within Ketchum and its Area of Impact. [Here's a link to that survey.] The goal of the survey was to make field determinations on existing buildings with local or interpretive potential to qualify for the National Register of Historic Places list.

**Commented [WH3]:** This is the "problem statement." It should frame the issue before us: we are losing buildings & saving them is important.

**Commented [WH4]:** Confirm their remit or delete. Do we want to walk readers thru the process of hiring Walsworth? Maybe that doesn't belong in the Handbook. Maybe instead it belongs on the website where folks can click on the Walsworth study? Please discuss.

**Commented [WH5]:** Is this true?

Ketchum Historic Preservation Handbook

- The goal was to make field determinations on existing sites, buildings, structures, features, and objects with local or interpretive potential or qualify for the NRHP list
  - Ketchum's 2014 Comprehensive Plan articulated a regulatory implementation timeline of three years for the creation of a historic preservation guidelines document and handbook. The Plan set out a vision "to protect and support our architectural heritage through appropriate historic preservation standards and guidelines."
  - In 2020, the City hired TAG Associates to determine eligible sites and pare down the list of historic assets recognized by the City.
  - The survey found that 15 of the 81 buildings identified as historic had been lost over the previous decade and a half..

In response to the loss of several historic structures that composed Trail Creek Village, Ketchum City Council passed an Emergency Ordinance in December 2020 that

- Barred the demolition or alteration of any structure of fifty years or older  
[insert language on the Ordinance]
- The City formally called for feedback on the Emergency Ordinance and ran a survey to measure interest in the preservation of historic structures. [The results of the survey can be found here.] The Emergency Ordinance also reconstituted the Historic Preservation Commission

**Commented [WH6]:** I think they only did buildings.

**Commented [WH7]:** Is this the official title?

**Commented [WH8R7]:**  
We need to cite this properly

**Commented [WH9]:** Who are TAG? Do they have a website? Why were they hired & not someone local?

**Commented [WH10R9]:** Let's find the initial SOWs for these engagements so we know exactly what their remits were.

**Commented [WH11]:** Let's get the data from Adam so we can ask our new graphics folks to depict: loss of buildings over time.

**Commented [WH12]:** Do we lose the reader if we include these statistics?

**Commented [WH13]:** I like the idea of calling these specific instances out. Is it too controversial?

**Commented [WH14]:** Adam - can you help here please?

### Historic Preservation Commission and Designated Buildings

This Handbook represents the next stage in the City's plans to fulfill its long-standing historic preservation goal of preventing the loss of additional historic structures.

In addition to this Handbook, we also bring to your attention several other key documents:

- Building Code
- ~~Design Guidelines~~ [we voted this down, right?]
- Historic Preservation Ordinance. [details - Adam]

**Commented [WH15]:** Which portions should we include in the Handbook? Or just direct readers to the website? Is the info easy enough to find on the website or will a mere link be obnoxious?

**Historic Preservation: Good for Ketchum and Good for Property Owners**

[This is the section where we discuss:

- Benefits to the Community
- Benefits to Individuals]

FLOWCHART

I own a building  
in Ketchum's  
Community Core

This property is  
fifty years old or  
older

This building is  
on the City's list  
of covered  
buildings

I seek to alter or  
demolish this  
property

## Q&As

*What does Ketchum's Historic Preservation Commission do?*

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*How can we preserve historic buildings?*

Without deliberate preservation, in time buildings are altered beyond recognition. These threats may include remodeling, natural deterioration, and demolition. Educating yourself about preservation best practice and the preservation design process is one of the best ways to start preserving historic buildings. *The Secretary of Interior's Standards for the Treatment of Historic Properties*, are national guidelines for Designers working with historic buildings. Significant historic buildings should consider proper documentation, in the format of a *Historic Structure Report*. For additional resources, don't hesitate to reach out to the Ketchum Historic Preservation Commission.

*What will it cost to preserve my building?*

Costs are on a per-project basis, considering non-typical historic building assemblies and detailing. A knowledgeable Builder can do an initial property assessment, to identify existing building threats and costs associated. A *Historic Building Assessment Checklist* can be considered. It is highly encouraged to only include rehabilitation and restoration changes, to

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preserve the historic integrity of the building. Prior to changes, properly photograph and document the building. Verifying the proposed alternations with an Architect or Designer specializing in historic architecture, to best consider the various aspects associated with historic building preservation.

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2014 Ketchum Comprehensive Plan

*The Secretary of Interior's Standards for the Treatment of Historic Properties*

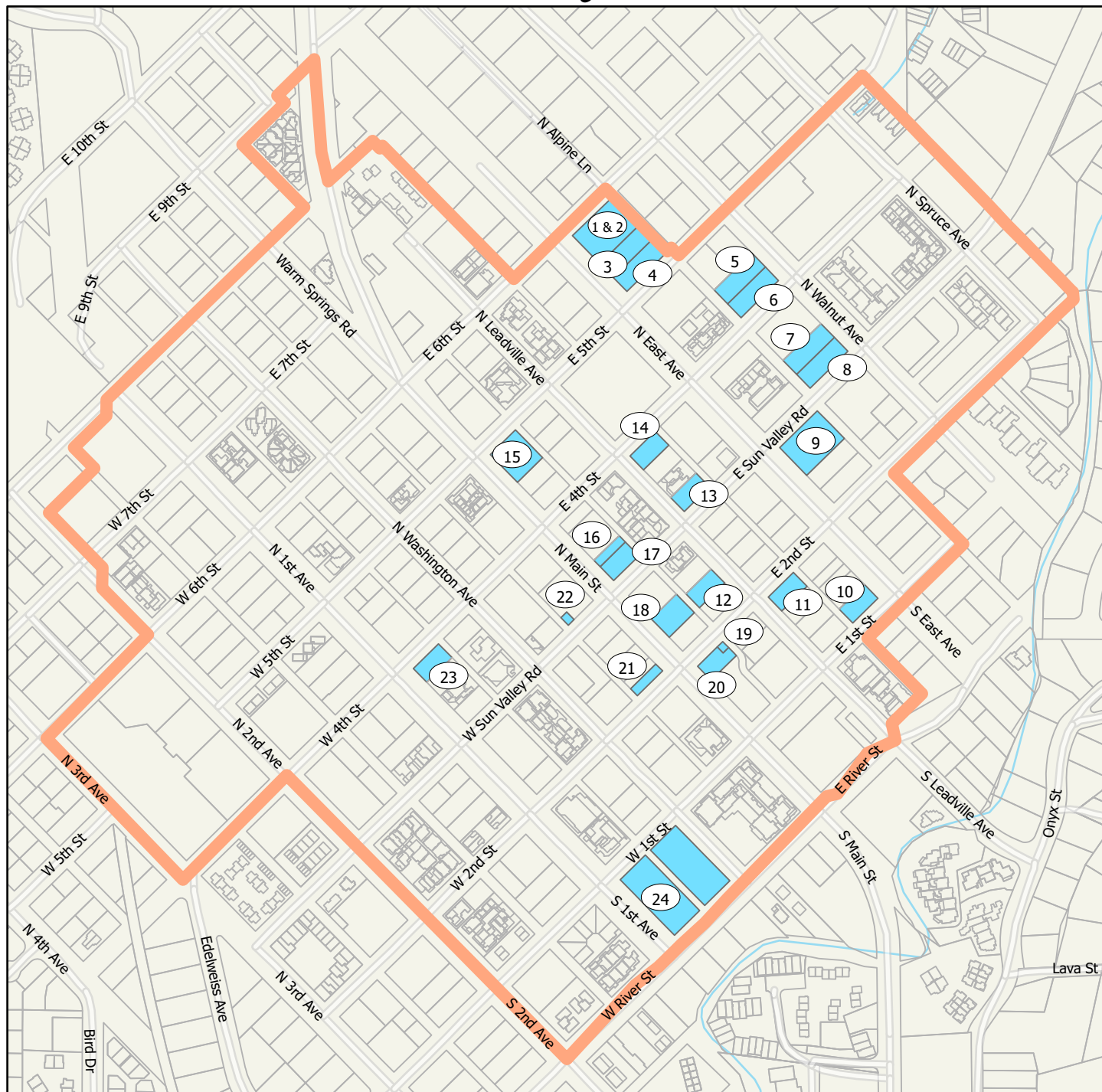
**Commented [WH16]:** Needs to be alphabetized

**Commented [WH17]:** On a web page, these would be hyperlinked. I suggest we retain the urls for now in this drafting stage.

**Commented [WH18]:** verify



# Community Core Historic Sites



1. Louie's/The Church (Picket Fence/Annex)
2. Thornton House (Picket Fence)
3. E.B Williams House (Ketchum Grill)
4. Bonning Cabin
5. George Castle Cabin
6. Jack Frost Motel (Gold Mine Consign Building)
7. Community Library/Gold Mine Thrift Store
8. Michel's Christiania Restaurant
9. Horace Lewis Home (Elephant's Perch)
10. McCoy/Gooding/Miller House (Residence)
11. Alonzo Price/Esther Fairman House
12. Bert Cross Cabin (Vintage Restaurant)
13. Fagan Property (Country Cousin Store)
14. St. Mary's Catholic Church (Mesh Gallery)
15. Former Post Office (Former Formula Sports)
16. Pioneer Saloon
17. Comstock & Clark Mercantile (Enoteca Restaurant)
18. Ketchum Kamp Hotel (Casino)
19. First Telephone Co. (Chapter One Bookstore)
20. Lewis Bank (Rocky Mountain Hardware)
21. Greenhow & Rumsey Store (Culinary Institute)
22. Dynamite Shed (TNT Taproom)
23. McAtee House (Former Taste of Thai)
24. Forest Service Park

- █ Neighborhood Boundary
- █ Historic Buildings/Sites

