



**CITY OF KETCHUM, IDAHO**  
PLANNING AND ZONING COMMISSION  
Tuesday, May 27, 2025, 4:30 PM  
191 5th Street West, Ketchum, Idaho 83340

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## AGENDA

### PUBLIC PARTICIPATION INFORMATION

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1. Join us via Zoom (*please mute your device until called upon*).  
**Join the Webinar:** <https://ketchumidaho-org.zoom.us/j/84051646270>  
Webinar ID: 840 5164 6270
2. Address the Commission in person at City Hall.
3. Submit your comments in writing at [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org) (*by noon the day of the meeting*)

*This agenda is subject to revisions. All revisions will be underlined.*

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**CALL TO ORDER:** By Chairman Neil Morrow

**ROLL CALL:** Pursuant to Idaho Code 74-204(4), all agenda items are action items, and a vote may be taken on these items.

**COMMUNICATIONS FROM COMMISSIONERS:**

**CONSENT AGENDA:**

*ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.*

1. CONSENT: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the 120 N East Ave Addition Design Review. (Abby Rivin - Senior Planner)
2. CONSENT: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the Limelight Hotel Planned Unit Development Conditional Use Permit and Development Agreement Amendment Applications. (Abby Rivin - Senior Planner)



**PUBLIC HEARING:**

3. PUBLIC HEARING: Recommendation to conduct a public hearing on the consolidated DRAFT Ketchum Land Development Code and continue the hearing to June 10, 2025. (Morgan Landers - Director of Planning and Building)

**ADJOURNMENT:**





City of Ketchum  
Planning & Building

IN RE: )  
 )  
120 N East Avenue Addition ) KETCHUM PLANNING AND ZONING COMMISSION  
Design Review ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
Application File Number: P24-074 ) DECISION  
 )  
 )  
Date: May 27, 2025 )

PROJECT: 120 N East Ave Addition

APPLICATION TYPE: Design Review

FILE NUMBER: P24-074

PROPERTY OWNER: 120 East LLC

REPRESENTATIVE: Mike Brunelle, Brunelle Architects

LOCATION: 120 N East Avenue (Ketchum Townsite: Block 42: Lot 2)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2 Zone)

OVERLAY: None

**RECORD OF PROCEEDINGS**

The Planning and Zoning Commission (the “Commission”) considered the 120 N East Avenue Addition Design Review Application File No. P24-074 during their special meeting on May 7, 2025. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on April 16, 2025. The public hearing notice was published in the Idaho Mountain Express on April 16, 2025. A notice was posted on the project site on April 30, 2025 and on the city’s website on April 22, 2025. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission approved Design Review Application File No. P24-074 subject to conditions.

**FINDINGS OF FACT**

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing a 2,279-square-foot addition to the existing commercial building located at 120 N East Avenue (the “subject property”) in the Mixed-Use Subdistrict of the Community Core (“CC-



2 Zone”). The proposed 2,279 square-foot addition will accommodate a remodel of the existing commercial area, a new attached garage, and two new multi-family dwelling units. The proposed mixed-use building has a total FAR is 0.99 and with a maximum height of 39’-7”. The project plans are included as Exhibit A.

The proposed addition is subject to Design Review pursuant to Ketchum Municipal Code (“KMC”) §17.96.010.A4, which requires Design Review for substantially altering the exterior of commercial and mixed-use buildings. The Planning and Zoning Commission (the “Commission”) has the authority to review and approve the applicant’s Design Review request pursuant to KMC §17.96.030.B. As conditioned, the Commission finds that the project complies with all zoning code requirements and Design Review standards.

### **Findings Regarding Conformance with Zoning and Design Review Standards**

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

### Criteria 1 & Criteria 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance

#### *Future Land Use*

The subject property is designated as Mixed-Use Commercial on the future land use map of the 2104 Comprehensive Plan (“2014 Plan”). The Mixed-Use Commercial promotes a wide range of commercial and residential uses and mixed-use development. The 2014 Plan supports redevelopment and the intensification of land uses downtown. Goal LU-1 promotes, “a functional, compact, and mixed-use pattern that integrates and balances residential and non-residential land uses.” Goal LU-2 supports, “infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation” (page 71). As noted in the 2014 Plan, redevelopment, “means the more intensive use of existing or underused buildings and sites or the replacement of buildings with larger buildings” (page 71). Policy LU-2.1 supports the intensification of land uses on appropriate redevelopment sites downtown (page 71).

The project will expand the existing commercial space in the 120 N East Ave building and add two new housing units. By intensifying the existing commercial use and adding residential use, the project meets the 2014 Plan policies supporting a mixture of uses and the intensification of land uses through redevelopment downtown.

#### *Housing*

The 2014 Plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that, “housing should be integrated into the downtown core” (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). The project will provide



two new housing units located within the downtown core within walking distance to the Mountain Rides bus stop Visitor Center on Sun Valley Road, which provides access to all major transit routes connecting riders to other areas of Ketchum and the Wood River Valley.

#### *Compatibility with Surrounding Neighborhood*

The 2014 Plan provides the following policies regarding design and compatibility with the surrounding neighborhood:

- Policy CD-1.3: “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26).
- Policy CD-1.4: “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

While infill and redevelopment has intensified downtown, this area has not experienced the same degree of change. The proposed three-story mixed-use building has maximum height of 38’-5”, is 8,134 gross square feet, and has a total Floor Area Ratio (FAR) of 0.99. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. Staff believes the project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.

#### Criteria 3: Conformance with Applicable Standards and Criteria

The 120 N East Ave Addition Design Review project complies with all zoning code regulations, dimensional standards required for buildings in the CC-2 Zone, Design Review standards, and Community Core project requirements.

#### **FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS**

<b>17.12.020 – District Use Matrix</b>	<b>Conformance</b>
<i>Zone District: Mixed-Use Subdistrict of the Community Core (CC-2)</i>	YES
<b>Staff Analysis:</b> The mixed-use development includes commercial offices and two multi-family dwelling units, which are permitted in the CC-2 Zone pursuant to KMC §17.12.020.	

<b>17.12.040 – Dimensional Standards. CC District Matrix</b>	<b>Conformance</b>
<i>Minimum Lot Size</i>	YES
<b>Staff Analysis:</b> <u>Required:</u> 5,500 square feet  <u>Lot 2 Area:</u> 8,250 square feet	

<b>17.12.040 – Dimensional Standards. CC District Matrix</b>	<b>Conformance</b>
<i>Minimum Lot Width</i>	YES
<b>Staff Analysis:</b> <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district.  <u>Existing Nonconforming Lot Width:</u> 55 feet	



17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p><b>Staff Analysis:</b></p> <p><u>Required:</u></p> <p>Front (East Avenue/west): 5' average</p> <p>Side (interior/north): 0'</p> <p>Side (interior/south): 0'</p> <p>Rear (alley/east): 3'</p> <p>Non-habitable structures, permanently affixed deck amenities, solar panels visible above roof ridge or parapet, and mechanical equipment and screening affixed to a roof from all building facades: 10 feet</p> <p><u>Proposed:</u></p> <p><i>Setbacks for Mixed-Use Building</i></p> <p>Front (East Avenue/west): 11'-1" average</p> <p>Side (interior/north): 10"</p> <p>Side (interior/south): 7"</p> <p>Rear (alley/east): 68'-6"</p> <p><i>Rooftop Structures</i></p> <p>N/A—no rooftop solar or mechanical units are proposed to be installed on the roof.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p><b>Permitted:</b> 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p><b>Proposed:</b></p> <p>Maximum Height of Front Façade: 38'-7"</p> <p>Maximum Height of Rear Façade: 33'-6"</p>	

17.124.040 – Floor Area Ratios and Community Housing	Conformance
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<i>All new buildings and alterations to existing buildings in the GR-H, T, T-3000 and CC zoning districts, unless otherwise specified in this title, shall be subject to the maximum floor area ratio (FAR) described below.</i>	YES
<b>Required</b> Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25  <u>Proposed:</u> The FAR calculation is provided on Sheet A-002 of the project plans. Total Gross Floor Area: 8,134 square feet Lot Area: 8,250 square feet FAR: 0.99	

<b>17.125.030 - Off Street Parking and Loading</b> <b>17.125.040 – Off Street Parking and Loading Calculations</b> <b>17.125.050 – Community Core District Off Street Parking and Loading Calculations</b>	<b>Conformance</b>
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<b>Permitted:</b> <u>Required (KMC §17.125.040)</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces  Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)  <u>Exemptions in CC Zone</u> <ul style="list-style-type: none"> <li>• Community housing</li> <li>• Food service</li> <li>• The first 5,500 gross square feet of retail trade</li> <li>• The first 5,500 gross square feet of assembly uses</li> <li>• The first 5,500 square feet of office and personal service uses</li> </ul> <u>Project Parking Demand</u> Office (4,139 gross sq ft): Exempt  Multi-Family Dwelling Units: <ul style="list-style-type: none"> <li>• Second-Floor Dwelling Unit Net Floor Area: 574 square feet—0 parking required</li> <li>• Third-Floor Dwelling Unit Net Floor Area: 2,185 square feet—2 parking spaces required</li> </ul> <u>Total Parking Demand:</u> 2 Parking Spaces	



Proposed

The applicant has provided 7 parking spaces—2 parking spaces are proposed within the attached garage and 5 parking spaces are proposed for the surface parking area.

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES
<b>Finding:</b> <u>Required:</u> 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.  <u>Proposed:</u> 1 bike rack accommodating two bicycles is provided on site.	

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES
<b>Finding:</b> The master signage plan is specified on sheet L-100.	

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
<b>Finding:</b> The exterior lighting plan is provided on sheets A-003 and A-004. The proposed exterior lighting complies with the Dark Skies Ordinance.	

**FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS**

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #4
<b>Finding:</b> The City Engineer has conducted a review of the project plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #4
<b>Finding:</b> No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #4.	



17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<b>Finding:</b> Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new 8-foot-wide sidewalk along 2 <sup>nd</sup> Street.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Condition #4
<b>Finding:</b> The applicant has proposed installing a new 8-foot-wide, concrete sidewalk along East Avenue. The City Engineer, Streets Department, and City Arborist have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards.  The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.B.3 - Sidewalks	Conformance
<i>Sidewalks may be waived if one of the following criteria is met:</i> <ul style="list-style-type: none"> <li>a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i></li> <li>b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></li> </ul>	N/A
<b>Finding:</b> N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
<b>Finding:</b> The proposed sidewalk improvements are equal to the length of the subject property's frontage along East Avenue.	



17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
<b>Finding:</b> The new sidewalk will connect to the existing sidewalk to the north and south along East Avenue.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
<b>Finding:</b> N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #4
<p><b>Finding:</b> On-site stormwater drainage will be directed through internal roof drains to on-site drywells. The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer.</p> <p>Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #4
<p><b>Finding:</b> The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along East Avenue. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	



17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #4
<b>Finding:</b> The City Engineer will determine if the drainage improvements for the public right-of-way and surface parking area are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
<b>Finding:</b> The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<b>Finding:</b> All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<b>Finding:</b> Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of the proposed transformer. The gas meters will be located within an alcove along the south interior façade.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and</i>	N/A



<i>construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	
<b>Finding:</b> N/A. The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<b>Finding:</b> The proposed exterior materials include unpainted sealed steel panels, metal cladding, bonderized metal paneling, board-formed concrete, stucco painted dark brown (Benjamin Moore Deep River 1582), wood siding and soffit material in a natural light brown color (Resawn Abodo Vulcan Cladding “Straw”), and wood siding in a dark brown color (Resawn Abodo Vulcan Cladding “Nero”). The proposed sign is comprised of steel beams and plates with colors that match the metal and steel panels proposed for the building. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<b>Finding:</b> The subject property is not listed as a historical or cultural landmark on the city of Ketchum’s Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<b>Finding:</b> N/A. The existing commercial building was constructed in 1985.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<b>Finding:</b> The primary building entrance is along East Avenue. The existing building entrance borders the south side property line. The existing building entrance connects to the East Avenue sidewalk through an uncovered pathway and uncovered steps. The project proposes to improve the existing building entrance. The entrance will remain in the same location but is proposed to be further defined by a flat roof projection that covers a portion of the pathway. The flat roof covering will provide weather protection for pedestrians accessing the building. The proposed building entrance is well defined and provide unobstructed access to the sidewalk.	



17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p><b>Finding:</b> The building character is defined by architectural features, including horizontal bands at the top of each floor level. These horizontal bands provide a distinct base, middle, and top along the front façade. The third-floor is setback from the lower levels, which softens the visual presence of the addition along East Avenue and helps to distinguish the building’s interior program externally. The project includes different roof styles, including the flat roof covering proposed for the building entrance along East Avenue as well as flat and sloped roof elements at different heights on the third floor addition. The different roof styles and heights help break up the building’s bulk and mass and provide visual interest. The front facade includes large windows that break up the solid surfaces. The horizontal bands capping the top of each floor level is comprised of light brown wood siding that is placed vertically. The third floor is comprised of darker brown wood siding that is placed horizontally. The placement and pattern of the light and dark brown wood siding provide visual interest that helps animate the façade. The open space on the subject property along East Avenue includes a bench and provides a space for pedestrian gathering. The proposed signage is pedestrian oriented, complements the design of the building, and integrates with the streetscape.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p><b>Finding:</b> The project uses an integrated palette of high-quality exterior materials. The proposed exterior materials include unpainted sealed steel panels, metal cladding, bonderized metal paneling, board-formed concrete, stucco painted dark brown (Benjamin Moore Deep River 1582), wood siding and soffit material in a natural light brown color (Resawn Abodo Vulcan Cladding “Straw”), and wood siding in a dark brown color (Resawn Abodo Vulcan Cladding “Nero”). The proposed sign is comprised of steel beams and plates with colors that match the metal and steel panels proposed for the building. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p><b>Finding:</b> The existing site includes shrubs planted along the East Avenue street frontage and aspen trees that border the south interior property line. New board-formed concrete walls are proposed to border the pathway to the building entrance. The existing landscape features and board-formed concrete walls match and complement the principal building.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES



**Finding:** All building walls provide either undulation through projections/recessions in building mass or visual relief through exterior material differentiation. The horizontal bands that cap the top of each floor level define the character of the building and provide a distinct base, middle, and top along the front façade. The third-floor is setback from the lower levels, which softens the visual presence of the addition along East Avenue and helps to distinguish the building's interior program externally. The project includes different roof styles, including the flat roof covering proposed for the building entrance along East Avenue as well as flat and sloped roof elements at different heights on the third floor addition. The different roof styles and heights help break up the building's bulk and mass and provide visual interest. The front facade includes large windows that break up the solid surfaces. The East Avenue and alley façades are designed with both solid surfaces and window openings and employ consistent architectural elements, exterior materials, and colors.

The majority of the north interior side façade and a portion of the south interior side facade are setback less than 1 foot from the side property line. Windows have been incorporated into portions of the south interior façade that are setback more than 5 feet from the interior lot line. The north side façade and the portion of south façade setback less than 1 foot from the side property line are characterized by exterior materials differentiation. The first two floors are comprised of stucco painted brown, the horizontal bands that cap the top of each floor level are comprised of light brown wood siding, the third floor is comprised of dark brown wood siding. The light brown siding is placed vertically and the dark brown siding is placed horizontally. The exterior material differentiation as well as the pattern and placement of the light and dark brown wood siding provide visual interest that helps animate the side façades..

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<b>Finding:</b> The building orients towards East Avenue. The primary building entrance is along East Avenue. The existing building entrance borders the south side property line. The existing building entrance connects to the East Avenue sidewalk through an uncovered pathway and uncovered steps. The project proposes to improve the existing building entrance. The entrance will remain in the same location but is proposed to be further defined by a flat roof projection that covers a portion of the pathway. The flat roof covering will provide weather protection for pedestrians accessing the building. The proposed building entrance is well defined and provide unobstructed access to the sidewalk.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<b>Finding:</b> The dumpster is located at the rear of the lot by the alley and screened by an enclosure. No satellite receivers are proposed.	



17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<b>Finding:</b> The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer. The proposed flat roof covering the pathway that connects the East Avenue sidewalk to the building entrance will provide weather protection for pedestrians.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<b>Finding:</b> The new sidewalk will connect to the existing concrete sidewalks along East Avenue. The proposed sidewalk connects to pathways on the project site providing safe pedestrian access to and around the building.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
<b>Finding:</b> N/A. All projecting flat roof elements terminate at the property line and no awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
<b>Finding:</b> Access to the project is provided along East Avenue and the alley. Access to the surface parking area and garage are accessed off the block 42 alleyway. The proposed alley access allows traffic to flow safely within the project. The new sidewalk will connect to walkways on the subject property providing safe pedestrian access to and around the building.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
<b>Finding:</b> N/A. No curb cuts or driveway entrances are proposed along East Avenue. Access to the surface parking area and garage are accessed off the block 42 alleyway.	



17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
<b>Finding:</b> Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from East Avenue and the alley.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #2
<b>Finding:</b> Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES Condition #2
<b>Finding:</b> Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES Condition #2
<b>Finding:</b> The proposed snow storage area is 471 square feet with a minimum dimension of 5 feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #2
<b>Finding:</b> The applicant has indicated that the owners have an existing agreement with the adjacent property owner to the south to store snow but intend to utilize Joe's Backhoe Service to haul snow off-site once the surface parking area improvements are complete. Pursuant to condition #2, prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with a contractor who provides snow hauling services to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES



**Finding:** Existing landscaping is proposed to be retained on site. Existing landscaping includes aspen trees and shrubs along East Avenue.

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<b>Finding:</b> The existing aspen trees and shrubs are proposed to be retained and complement the neighborhood.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
<b>Finding:</b> The existing landscaping is proposed to be retained on site.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<b>Finding:</b> The existing landscaping is proposed to be retained. The existing shrubs along East Avenue help beautify the street frontage.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
<b>Finding:</b> The applicant will provide a bench and two bike racks on the subject property by the East Avenue sidewalk.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
<b>Finding:</b> N/A. The basement does not encroach into required setback areas.	



17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
<b>Finding:</b> N/A. The basement does not encroach into required setbacks.	

#### FINDINGS REGARDING CONFORMANCE WITH COMMUNITY CORE PROJECT REQUIREMENTS

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Condition #4
<b>Finding:</b> The project will construct right-of-way improvements, including a new sidewalk along East Avenue, drainage facilities, and streetlights in accordance with city standards. No street trees are proposed. A bench and two bike racks are proposed to be sited on the subject property along the East Avenue frontage. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	N/A
<b>Finding:</b> N/A. No street trees are proposed or required to be installed for the project.	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
<b>Finding:</b> N/A. The subject property is not characterized by site constraints that warrant modification to the requirements of KMC §17.96.060.A. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
<b>Finding:</b> The East Avenue and alley façades are designed with both solid surfaces and window openings and employ consistent architectural elements, exterior materials, and colors. The majority of the north interior side façade and a portion of the south interior side facade are setback less than 1 foot from the side property line. Windows have been incorporated into portions of the south interior façade that are setback more than 5 feet from the interior lot	



line. The north side façade and the portion of south façade setback less than 1 foot from the side property line are characterized by exterior materials differentiation. The first two floors are comprised of stucco painted brown, the horizontal bands that cap the top of each floor level are comprised of light brown wood siding, the third floor is comprised of dark brown wood siding. The light brown siding is placed vertically and the dark brown siding is placed horizontally. The exterior material differentiation as well as the pattern and placement of the light and dark brown wood siding provide visual interest that helps animate the side façades.

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
<b>Finding:</b> The placement of windows on the first two floors of the front façade matches the existing window configuration. The window configuration of the existing office building includes a significant amount of glazing. The existing shrubs that front the East Avenue sidewalk are proposed to be retained. Sheet L-100 shows that new steel planter is proposed to be installed along the front façade by the East Avenue sidewalk.	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
<b>Finding:</b> The design of the existing and proposed front façade is designed so that views into windows are not obscured. The existing shrubs along East Avenue that are proposed to be retained do not impede views into the first-floor windows.	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
<b>Finding:</b> The new angled roof and flat roof proposed for the third-floor addition are compatible with the overall style and character of the remodeled structure. Reflective roofing material is not proposed.	

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	YES Condition #4
<b>Finding:</b> The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, including roof drainage, for review and approval by the City Engineer prior to issuance of a building permit for the project pursuant to condition of approval #4.	



17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
<b>Finding:</b> N/A. All roof overhangs and projections are contained on the subject property and do not extend over the property lines.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
<b>Finding:</b> N/A. The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
<b>Finding:</b> The dumpster is located at the rear of the property along the alley and is proposed to be screened within an enclosure.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
<b>Finding:</b> Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of the proposed transformer. The gas meters are located in an alcove along the south side façade. The project does not propose to install any roof-mounted mechanical or electrical equipment.	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	N/A
<b>Finding:</b> N/A. All existing healthy and mature trees are proposed to be retained on the subject property.	



17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	N/A
<b>Finding:</b> N/A. No trees are proposed in courtyard plazas or within pedestrian walkways.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	N/A
<b>Finding:</b> N/A. All existing healthy and mature trees are proposed to be retained on the subject property, so no replacement trees are required per KMC §17.96.070.D1.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	YES
<b>Finding:</b> The surface parking area is located at the rear of the lot and accessed from the alley. The surface parking lot is fully screened from East Avenue by the mixed-use building.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
<b>Finding:</b> The existing 6 aspen trees located along the south side of the parking lot are proposed to be retained. The surface parking area is comprised of only one row of parking with 5 parking spaces oriented towards the north side property line. The remainder of the parking area is the aisle providing access to these parking spaces from the alley. Since the surface parking area contains less than 10 parking spaces (5 total parking spaces are proposed), this requirement is not applicable.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
<b>Finding:</b> N/A as no new ground cover, low lying shrubs, or trees are proposed to be installed in the surface parking area.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES



**Finding:** The project has a total parking of two spaces. One bike rack is required for the development. The project proposes to install two bike racks, accommodating two bicycles, on the subject property adjacent to the entrance to the building along East Avenue.

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
<b>Finding:</b> One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
<b>Finding:</b> The project proposes to install one bike rack, accommodating two bicycles, adjacent to the entrance to the building along the alley.	

#### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 120 N East Ave Addition Design Review Application File No. P24-074 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

#### DECISION

**THEREFORE,** the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P24-074 this Tuesday, May 27, 2025 subject to the following conditions of approval.



### CONDITIONS OF APPROVAL

1. This Design Review approval is based on the plans dated February 6, 2025 and the information presented and approved at the May 7, 2025 Planning and Zoning Commission Special Meeting included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with a contractor who provides snow hauling services to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.
3. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
4. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations. Any extension shall comply with KMC §17.96.090.
6. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 27<sup>th</sup> day of May 2025.

---

Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



# Exhibit A



## Project Team

### Owner

120 N East LLC  
120 N East Avenue  
Ketchum, ID 83340

### Contractor

Peak Venture Group, LLC  
Cody Colombo  
120 N. Leadville  
Ketchum, ID 83340  
208/481-1189  
cody@peakvg.com

### Architect

Brunelle Architects  
Mike Brunelle  
190 Cranbrook Rd  
P.O. Box 3204  
Hailey, ID 83333  
208/589-0771  
mike@brunellearchitects.com

### Civil Engineering

Galena-Benchmark Engineering  
Contact - David Patrie  
P.O. Box 733  
Ketchum, ID 83340  
208/726-9512  
208/481-8287  
dave@galena-benchmark.com

### Structural Engineer

Maxwell Structural Design Studio  
Craig Maxwell P.E.  
105 Lewis Street, Unit 205  
Ketchum, ID 83340  
P.O. Box 1911  
Sun Valley, ID 83353  
208/721-2171  
craig@maxwellsds.com

### Index of Drawings

CS	cover sheet
TOPO	Survey
C1.00	Site Improvement Plan
L-100	Site Plan
A-000	as-builts images
A-000a	site panoramas
A-001	as-builts
A-002	project/FAR information
A-003	photometric study - building
A-004	photometric study - roadway
A-100a	floor plan - basement
A-101a	floor plan - 1st floor
A-102a	floor plan - 2nd floor
A-103a	floor plan - 3rd floor
A-104	roof plan
A-201	elevations
A-202	elevations
A-203	elevations
A-204	elevations
E-100	electrical

120 Cranbrook Rd  
P.O. Box 3204  
Hailey, Idaho  
83333-0204  
p. 208.589.0771

12/2020

PROJECT:  
**120 N East LLC**

120 N East Ave  
Ketchum, Idaho  
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



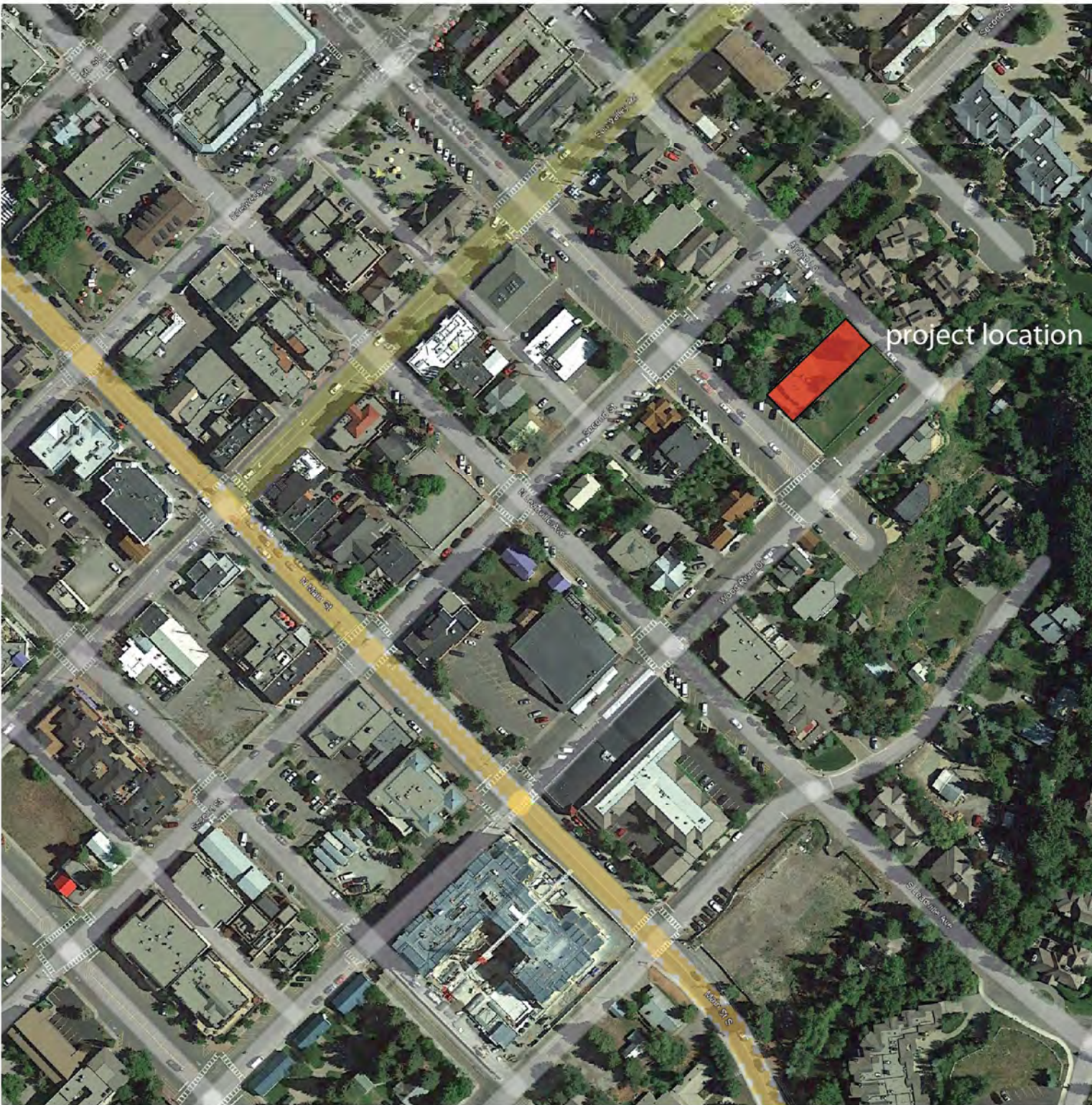
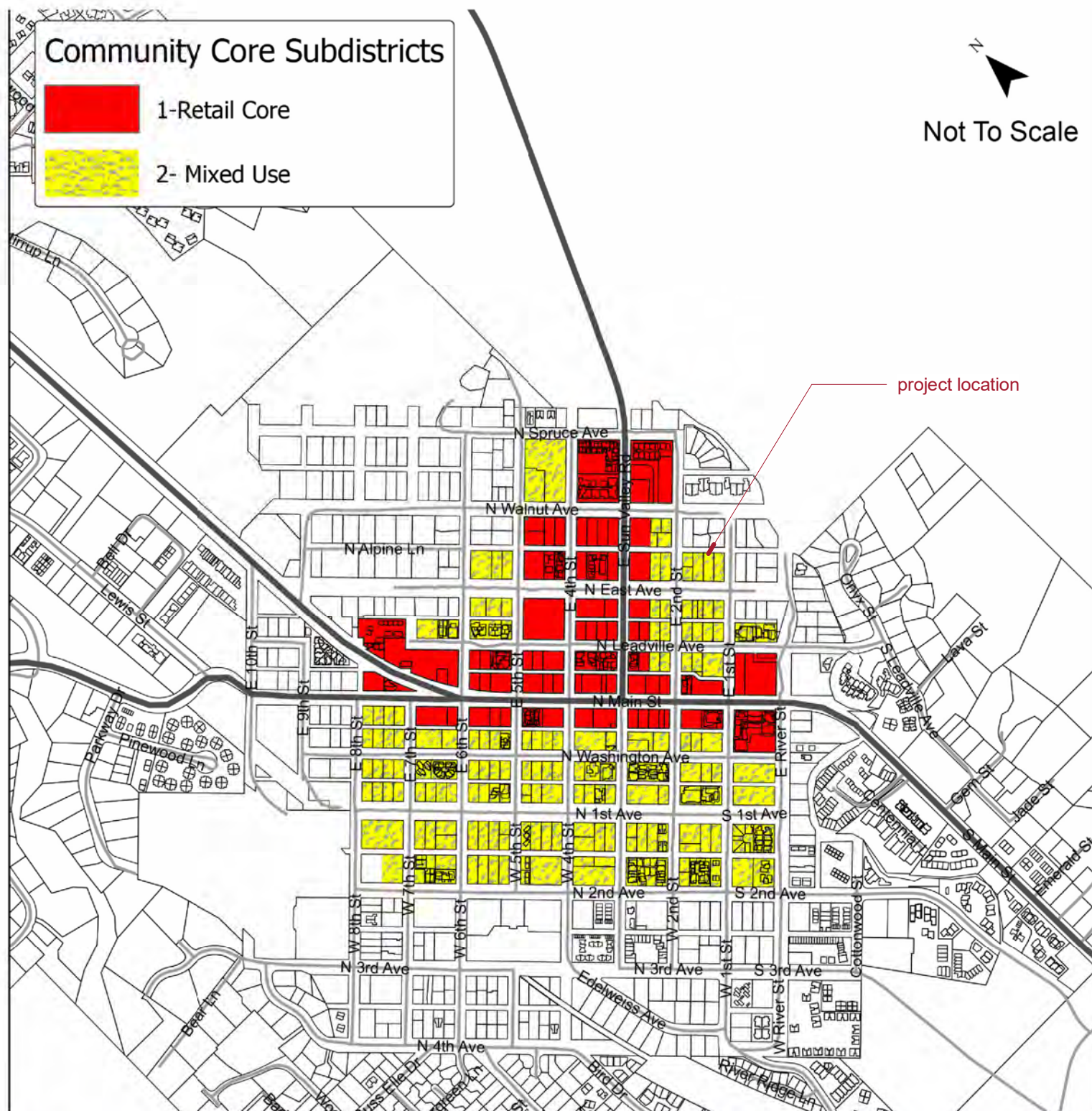
cover sheet

SCALE: As indicated

CS

DRAWN BY: Author

PLOT DATE: 2/6/2025 3:58:29 PM

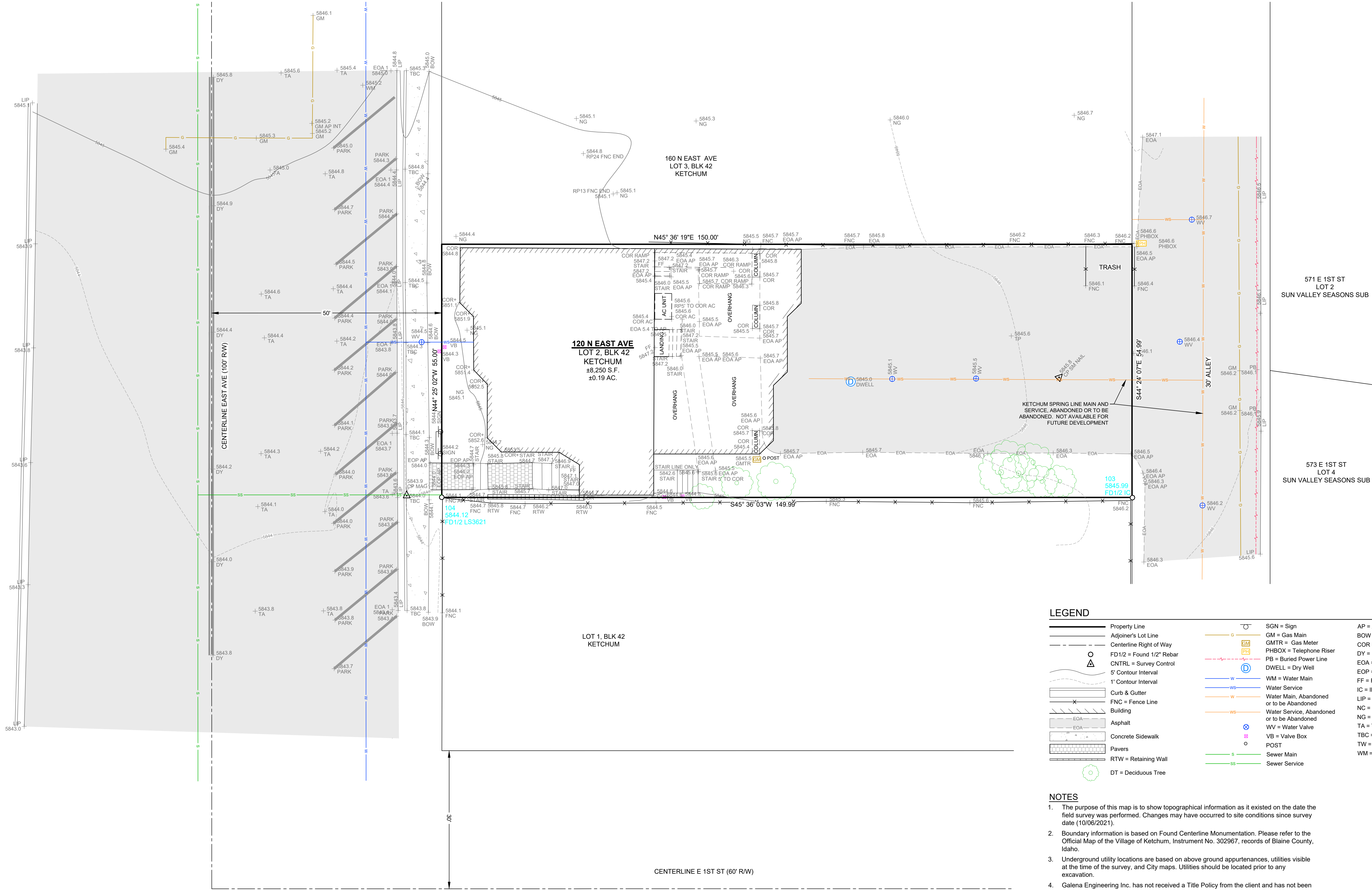


120 N East LLC  
120 N East Ave  
Ketchum, Idaho  
83340

**BRUNELLE ARCHITECTS, INC**  
MIKE BRUNELLE  
190 CRANBROOK RD  
PO BOX 3204  
HAILEY, IDAHO  
83333  
P. 208.589.0771  
MIKE@BRUNELLEARCHITECTS.COM



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

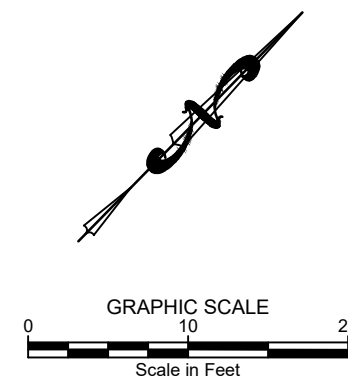


#### LEGEND

Property Line	SGN = Sign	AP = Angle Point
Adjoiner's Lot Line	GM = Gas Main	BOW = Back of Walk
Centerline Right of Way	GMTR = Gas Meter	COR = Corner
FD1/2 = Found 1/2" Rebar	PHBOX = Telephone Riser	DY = Double Yellow Paint Line
CNTRL = Survey Control	PB = Buried Power Line	EOA = Edge of Asphalt
5' Contour Interval	DWELL = Dry Well	EOP = Edge of Pavers
1' Contour Interval	WM = Water Main	FF = Finished Floor
Curb & Gutter	Water Service	IC = Illegible Cap
FNC = Fence Line	Water Main, Abandoned or to be Abandoned	LIP = Lip of Gutter
Building	Water Service, Abandoned or to be Abandoned	NC = No Cap
Asphalt	WV = Water Valve	NG = Natural Ground
Concrete Sidewalk	VB = Valve Box	TA = Top of Asphalt
Pavers	POST	TBC = Top Back of Curb
RTW = Retaining Wall	Sewer Main	TW = Top of Wall
DT = Deciduous Tree	Sewer Service	WM = Watermain

#### NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/06/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the southwest corner of lot elevation = 5844.12. Vertical Datum is NAVD 1988.



## A TOPOGRAPHIC MAP SHOWING 120 N EAST AVE, LOT 2, BLK 42 KETCHUM TOWNSITE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GEORGE & CRISTINA BOURKIS

PROJECT INFORMATION  
P:\ssk\proj\57121\16670\Topo\151201-16670.dwg 10/24/21 10:49:55 AM



DESIGNED BY  
IDV  
DRAWN BY  
SMF/MEP  
CHECKED BY

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83333  
(208) 788-1705  
email: galena@galena-engineering.com

PURPOSE:		REVISIONS	
NO.	DATE	BY	

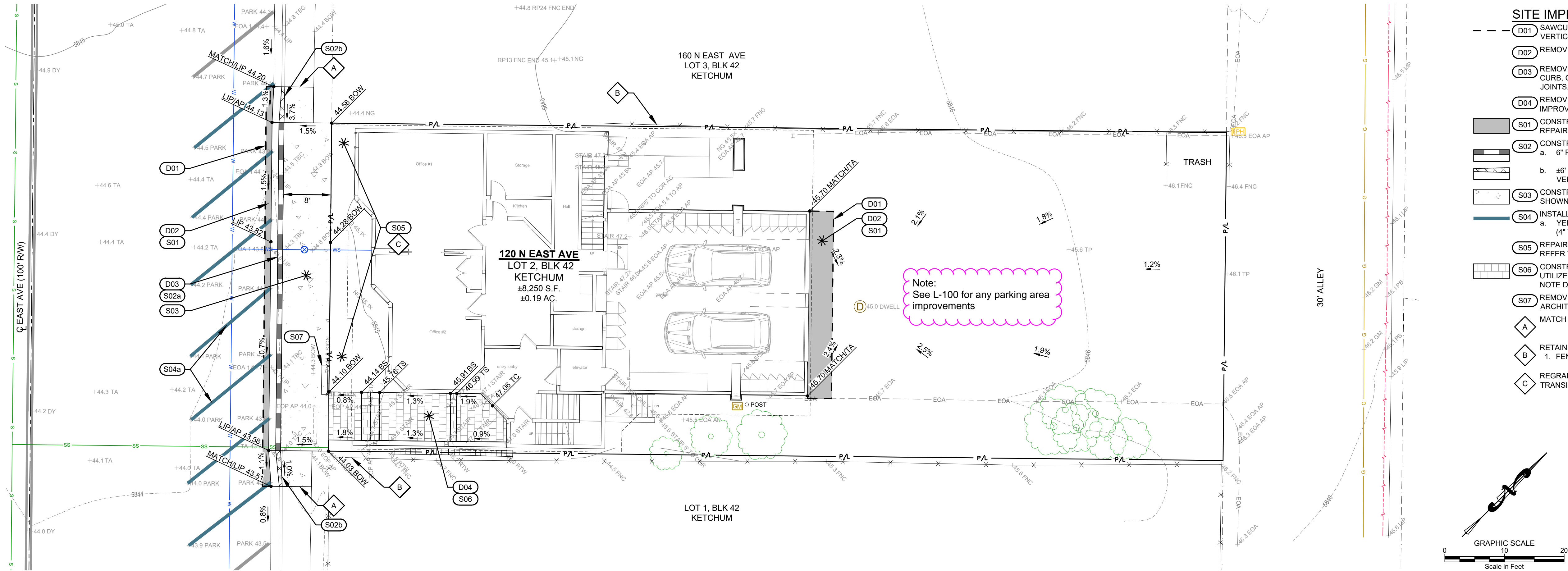
TOPO



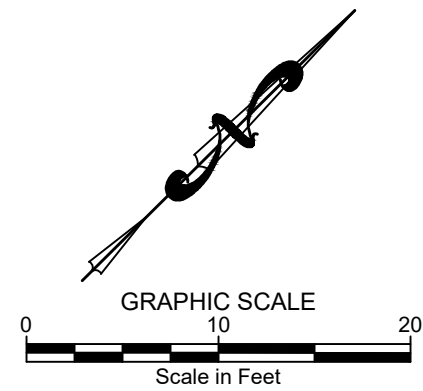
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE CITY OF KETCHUM PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
- NO SNOWMELT INSTALLATIONS ARE TO OCCUR WITHIN CITY OF KETCHUM ROW.
- BOUNDARY INFORMATION AND TOPOGRAPHIC DATA SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING 10/06/2021. SITE CONDITIONS MAY HAVE CHANGED SINCE THE DATE OF SURVEY. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES THAT AFFECT THE SCOPE OF WORK.



- SITE IMPROVEMENT KEY NOTES**
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
  - D02 REMOVE AND DISPOSE OF EXISTING ASPHALT.
  - D03 REMOVE AND DISPOSE OF EXISTING CONCRETE CURB, GUTTER, AND SIDEWALK. UTILIZE EXISTING JOINTS.
  - D04 REMOVE AND RETAIN PAVERS. REFER TO SITE IMPROVEMENT KEY NOTE S06.
  - S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1, THIS SHEET.
  - S02 CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" ROLLED C&G PER DETAIL 2, THIS SHEET.
    - b. ±6" OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
  - S03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3, THIS SHEET.
  - S04 INSTALL ROAD STRIPING / PAINT
    - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - S05 REPAIR IRRIGATION SYSTEM AND LANDSCAPING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
  - S06 CONSTRUCT PAVEMENT SIDEWALK AND STEPS. UTILIZE PAVERS FROM SITE IMPROVEMENT KEY NOTE D04. REFER TO DETAIL 4, THIS SHEET.
  - S07 REMOVE, RETAIN, AND RELOCATE SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - A MATCH EXISTING LINES AND GRADES
  - B RETAIN AND PROTECT
    - 1. FENCE
  - C REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.



LEGEND

- |   |                           |
|---|---------------------------|
| — P/L — Property Line                               | — G — Gas Main            |
| — Adj. Lot Line — Adj. Lot Line                     | — GMTR — Gas Meter        |
| — Centerline Right of Way — Centerline Right of Way | — PHBOX — Telephone Riser |
| — 5' Contour Interval — 5' Contour Interval         | — PB — Buried Power Line  |
| — 1' Contour Interval — 1' Contour Interval         | — DWELL — Dry Well        |
| — Curb & Gutter — Curb & Gutter                     | — W — Water Main          |
| — FNC = Fence Line — FNC = Fence Line               | — WS — Water Service      |
| — Asphalt — Asphalt                                 | — WV — Water Valve        |
| — EOA — EOA   | — POST — POST             |
| — Concrete Sidewalk — Concrete Sidewalk             | — S — Sewer Main          |
| — RTW = Retaining Wall — RTW = Retaining Wall       | — SS — Sewer Service      |
| — Deciduous Tree — Deciduous Tree                   |                           |
| — Building Overhead Line — Building Overhead Line   |                           |

ABBREVIATIONS

- |                               |                        |
|-------------------------------|------------------------|
| AP = Angle Point              | NC = No Cap            |
| BOW = Back of Walk            | NG = Natural Ground    |
| BS = Bottom of Step           | TA = Top of Asphalt    |
| COR = Corner                  | TBC = Top Back of Curb |
| DY = Double Yellow Paint Line | TC = Top of Concrete   |
| EOA = Edge of Asphalt         | TS = Top of Step       |
| EOP = Edge of Pavers          | TW = Top of Wall       |
| FF = Finished Floor           | WM = Watermain         |
| IC = Illegible Cap            |                        |
| LIP = Lip of Gutter           |                        |

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 TYPICAL ASPHALT SECTION  
N.T.S.

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
- CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

2 6" CONCRETE ROLLED CURB & GUTTER  
N.T.S.

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
- CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

3 TYPICAL CONCRETE SIDEWALK SECTION  
N.T.S.

4 PAVER DETAIL  
N.T.S.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

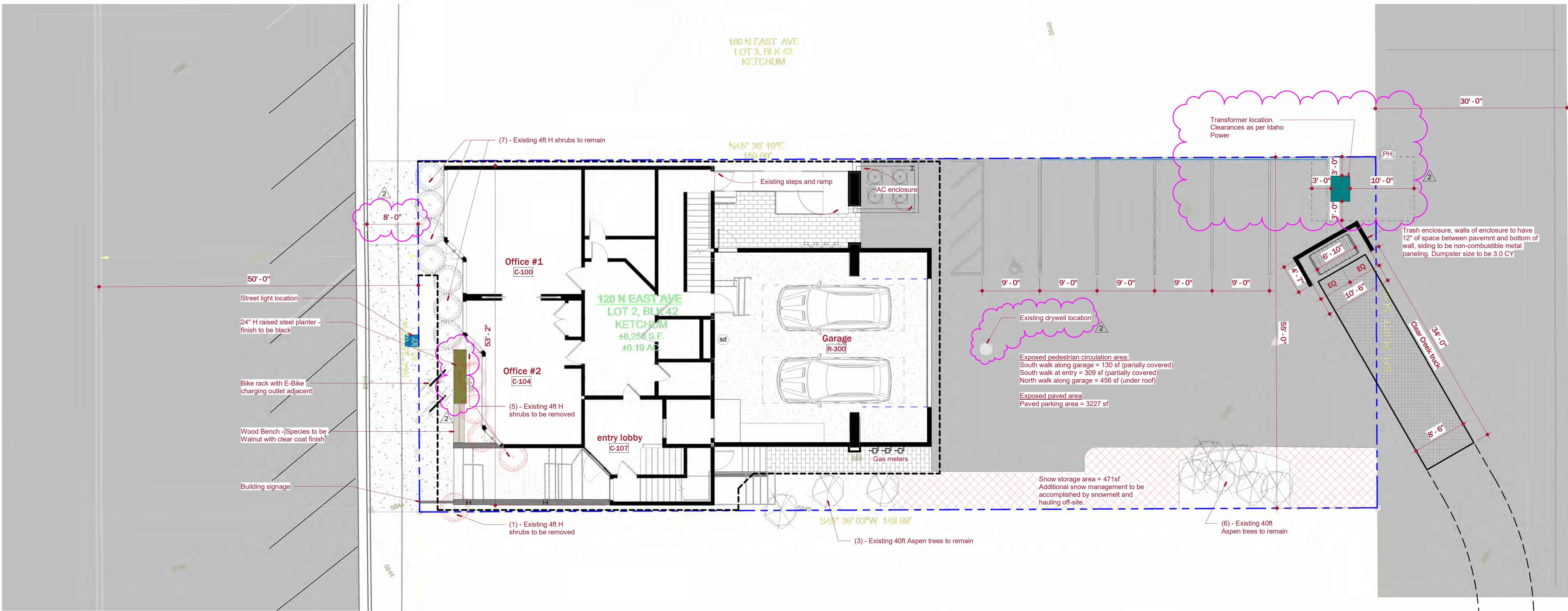
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
SURVEY DATE:

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchum, ID 83340  
(208) 726-9512  
www.benchmark-associates.com

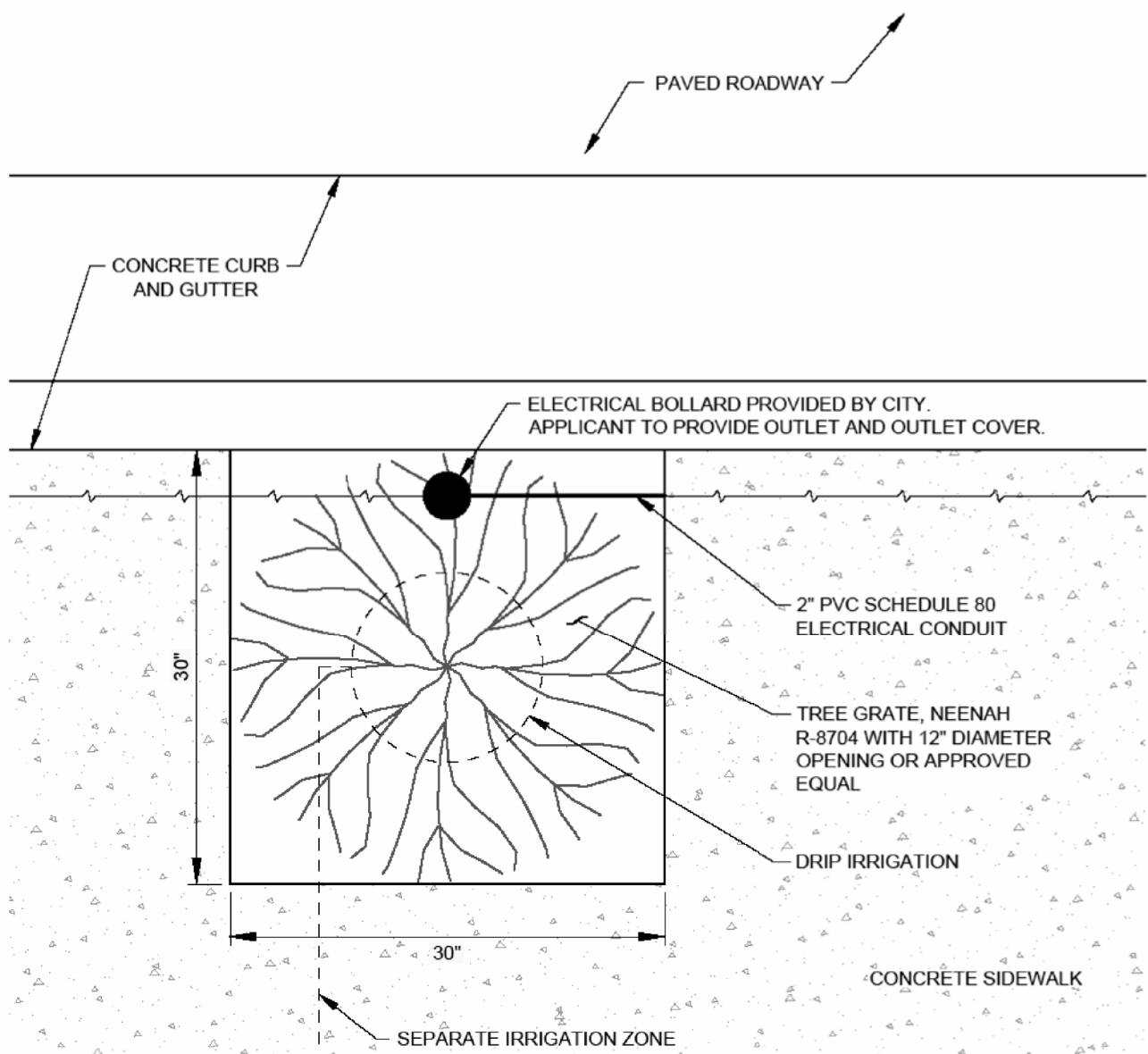
**GALENA-BENCHMARK ENGINEERING PLANS**  
ELEVATION ABOVE SEA LEVEL  
IN FEET

PURPOSE: ISSUE FOR REVIEW		REVISIONS	
NO.	DATE	BY	





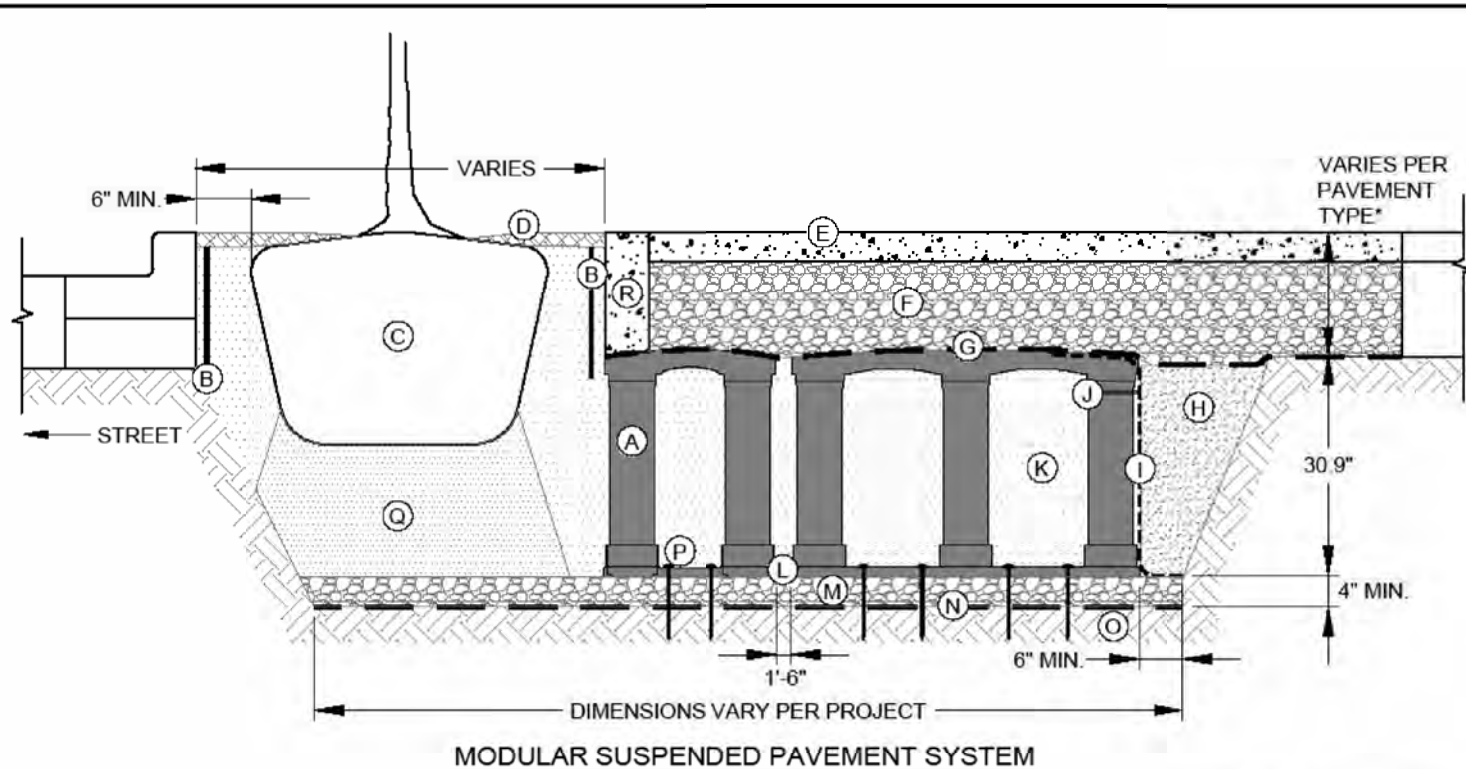
1 Site Plan  
1/8" = 1'-0"



- NOTES:
- TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
  - CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER-RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY. IF AVAILABLE TIE INTO AN EXISTING CITY IRRIGATION LINE.
  - APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
  - NO DIRECT BURIAL WIRE PERMITTED.
  - TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

PLAN VIEW

REVISION	APPROVED	DATE	CITY OF KETCHUM STANDARD DRAWING	DRAWING NO.
REV. 1	CITY	10/2019		
REV. 2	CITY	11/2022		
			TREE WELL DETAIL	1



KEY PLAN:

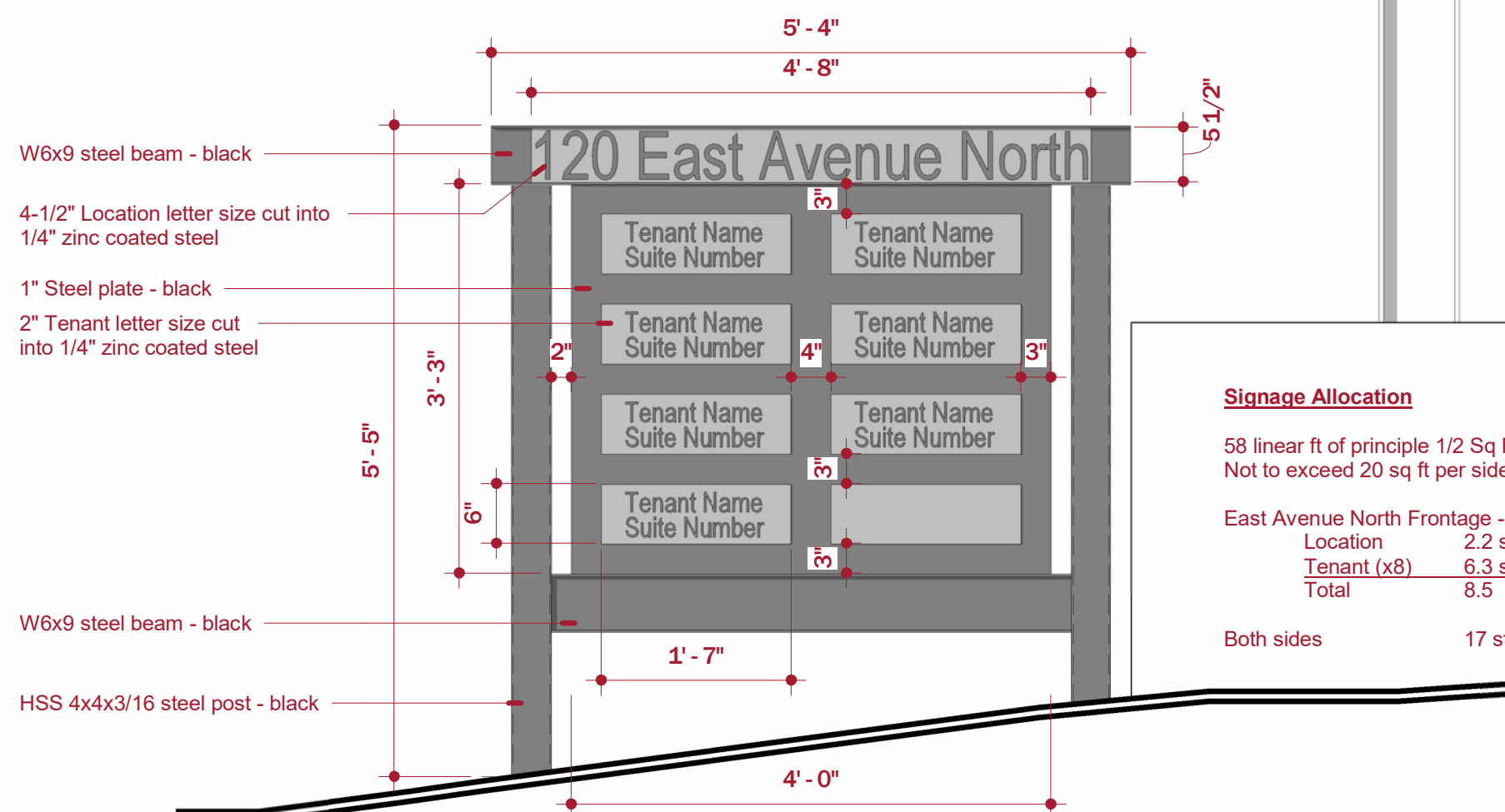
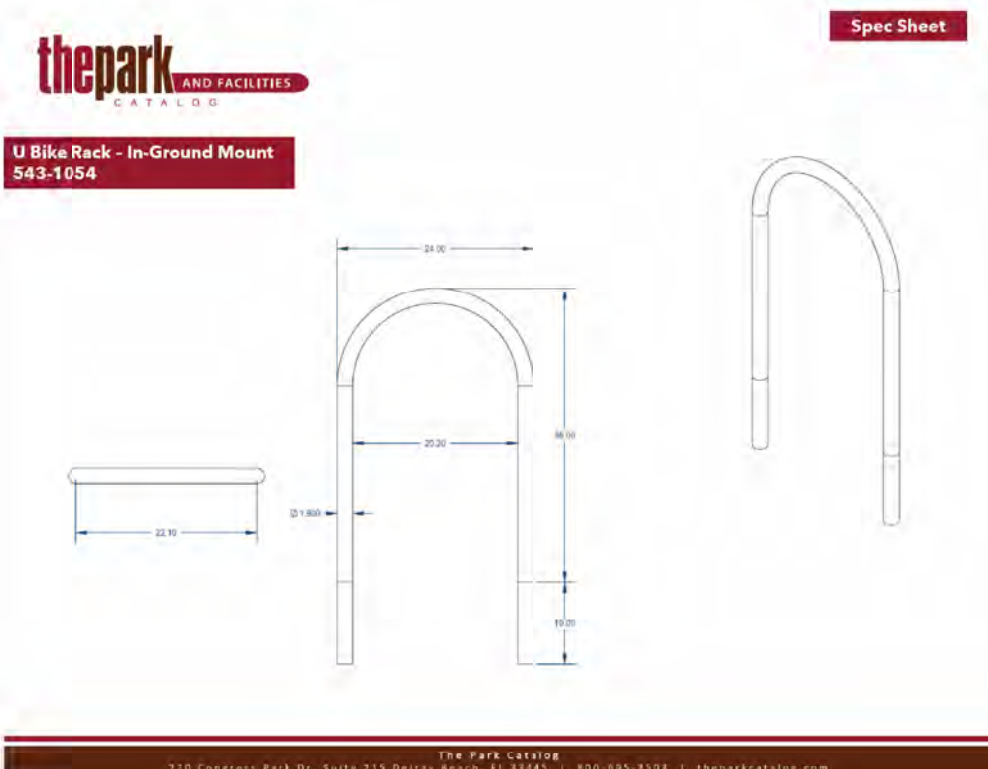
- SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
- DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
- TREE ROOT PACKAGE, SIZE VARIES
- TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
- SURFACE TREATMENT, PER PROJECT
- AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
- GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK
- BACKFILL, PER PROJECT SPECIFICATIONS
- GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
- CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE
- PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR
- SILVA CELL BASE SLOPE, 10% MAX
- 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
- GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
- SUBGRADE, COMPACTED TO 95% PROCTOR
- PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
- PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR
- CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING	
PAVEMENT	+ AGGREGATE
BASE COURSE	
4" CONCRETE	+ 4" AGGREGATE
3" PAVEMENT	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.6" PAVEMENT	+ 9" CONCRETE

SECTION VIEW

- NOTES:
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.

REVISION	APPROVED	DATE	CITY OF KETCHUM STANDARD DRAWING	DRAWING NO.
REV. 1	CITY	10/2019		
			TREE WELL DETAIL	2



Signage Allocation

58 linear ft of principle 1/2 Sq Ft = 29 sf  
Not to exceed 20 sq ft per side

East Avenue North Frontage - 29 sf allowed	
Location	2.2 sf
Tenant (x8)	6.3 sf
Total	8.5

Both sides 17 sf

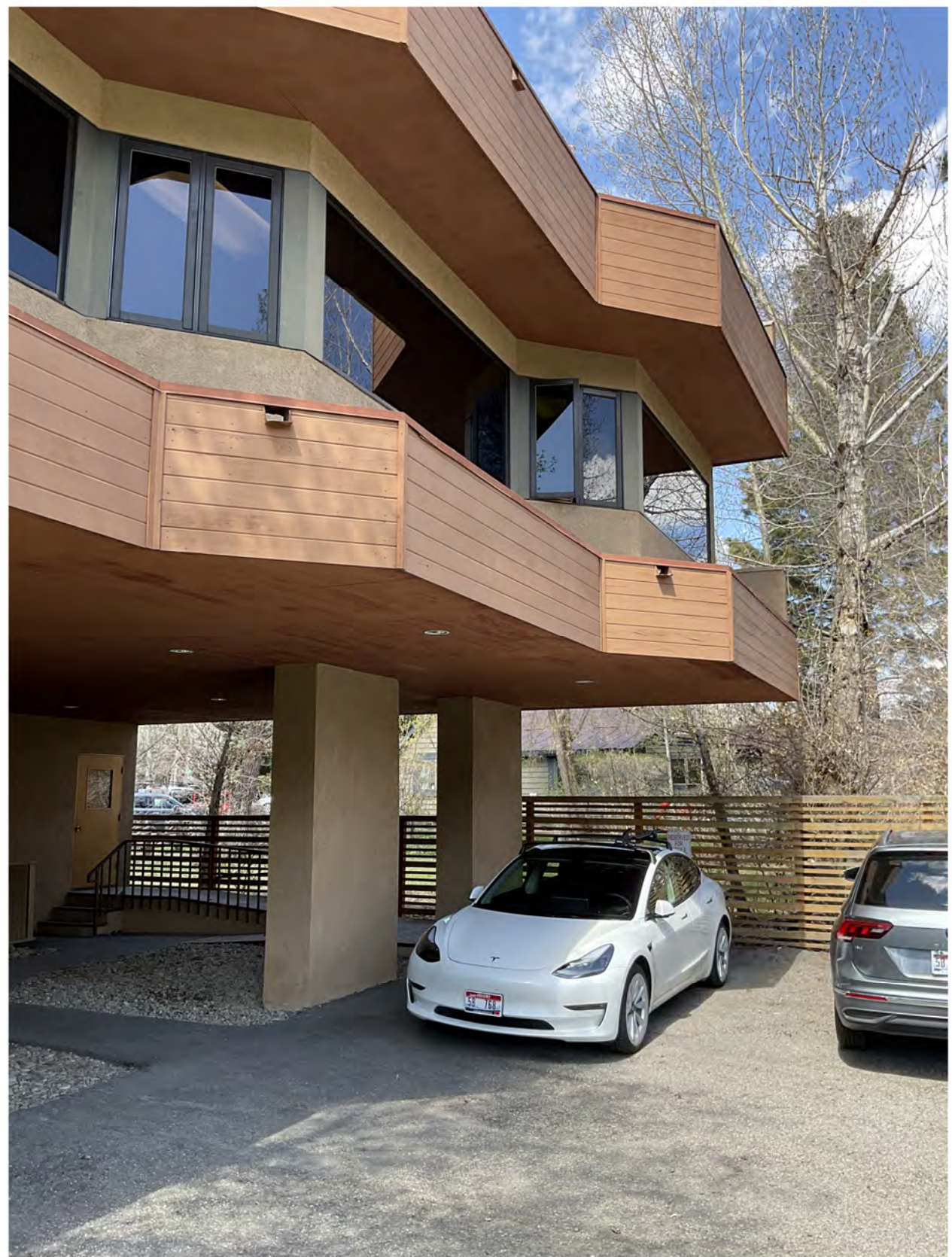
2 Elevation - Signage  
3/4" = 1'-0"

Site Plan

SCALE: As indicated

L-100





PROJECT:  
**120 N East LLC**

120 N East Ave  
Ketchum, Idaho  
83340

Permit Set: 02/06/2025  
Construction Set: xx/xx/xx  
REVISION DATE

NOTES:



as-builts  
images

SCALE:

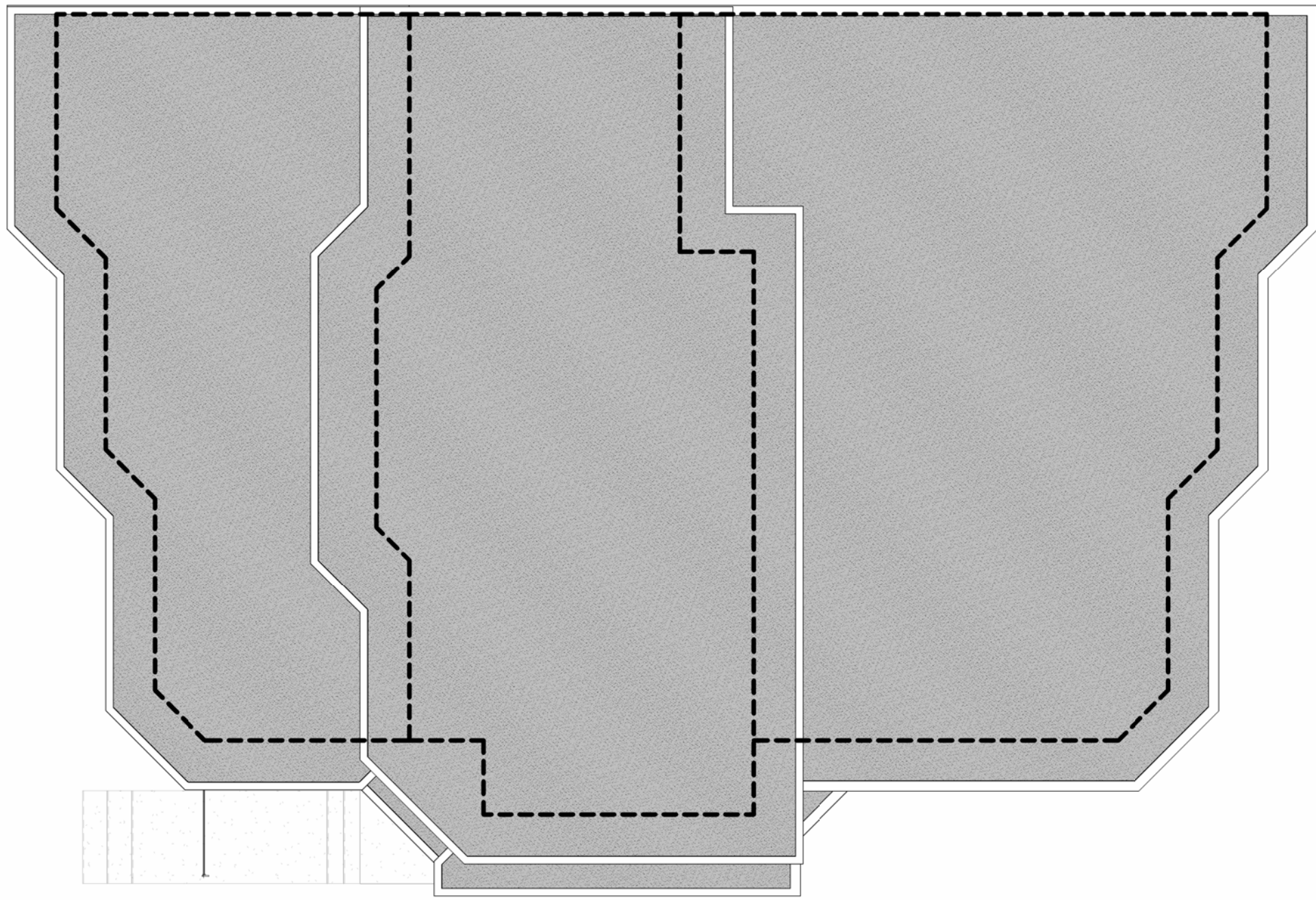
**A-000**

DRAWN BY: Author  
Plot Date: 2/6/2025 3:59:37 PM

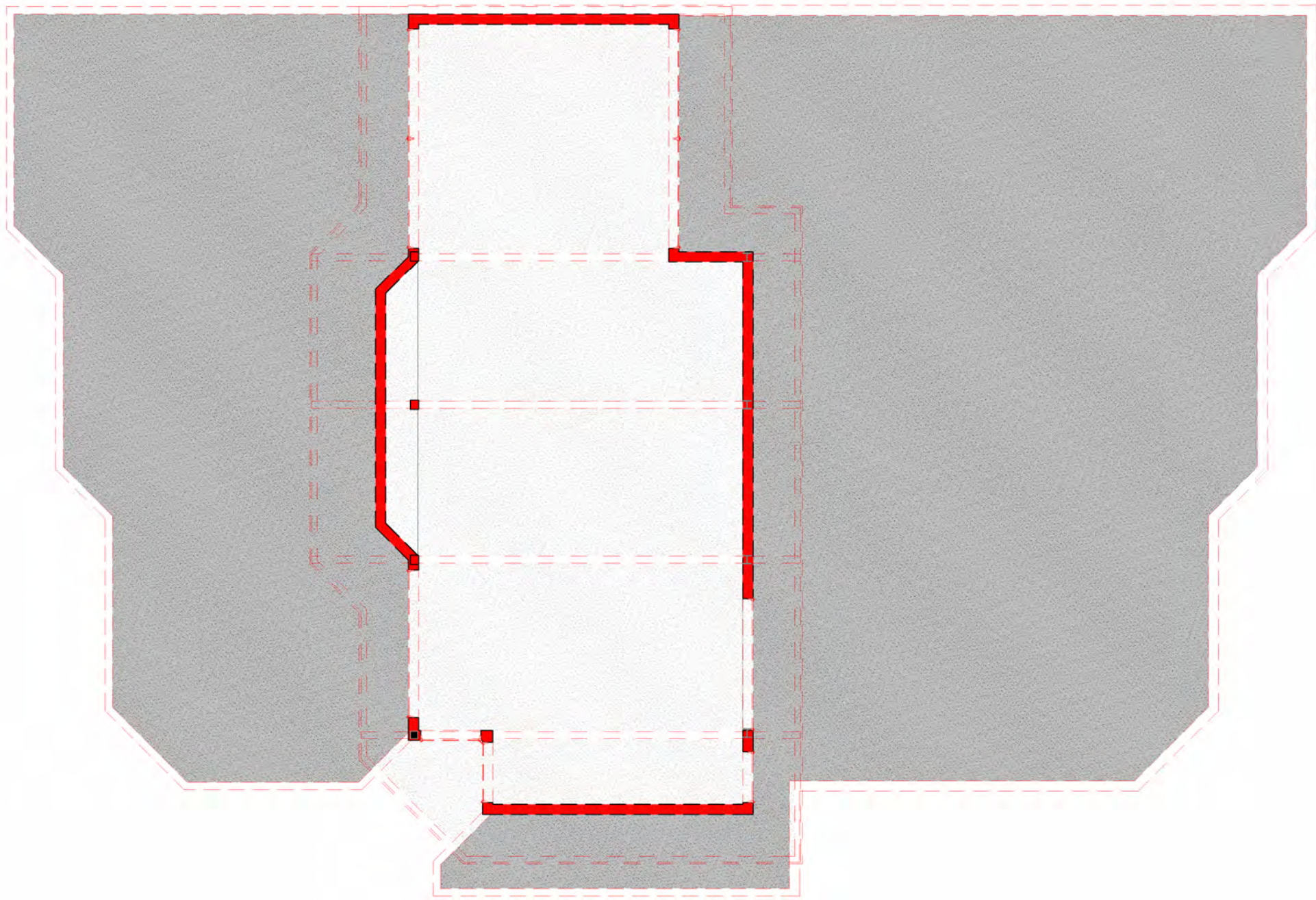








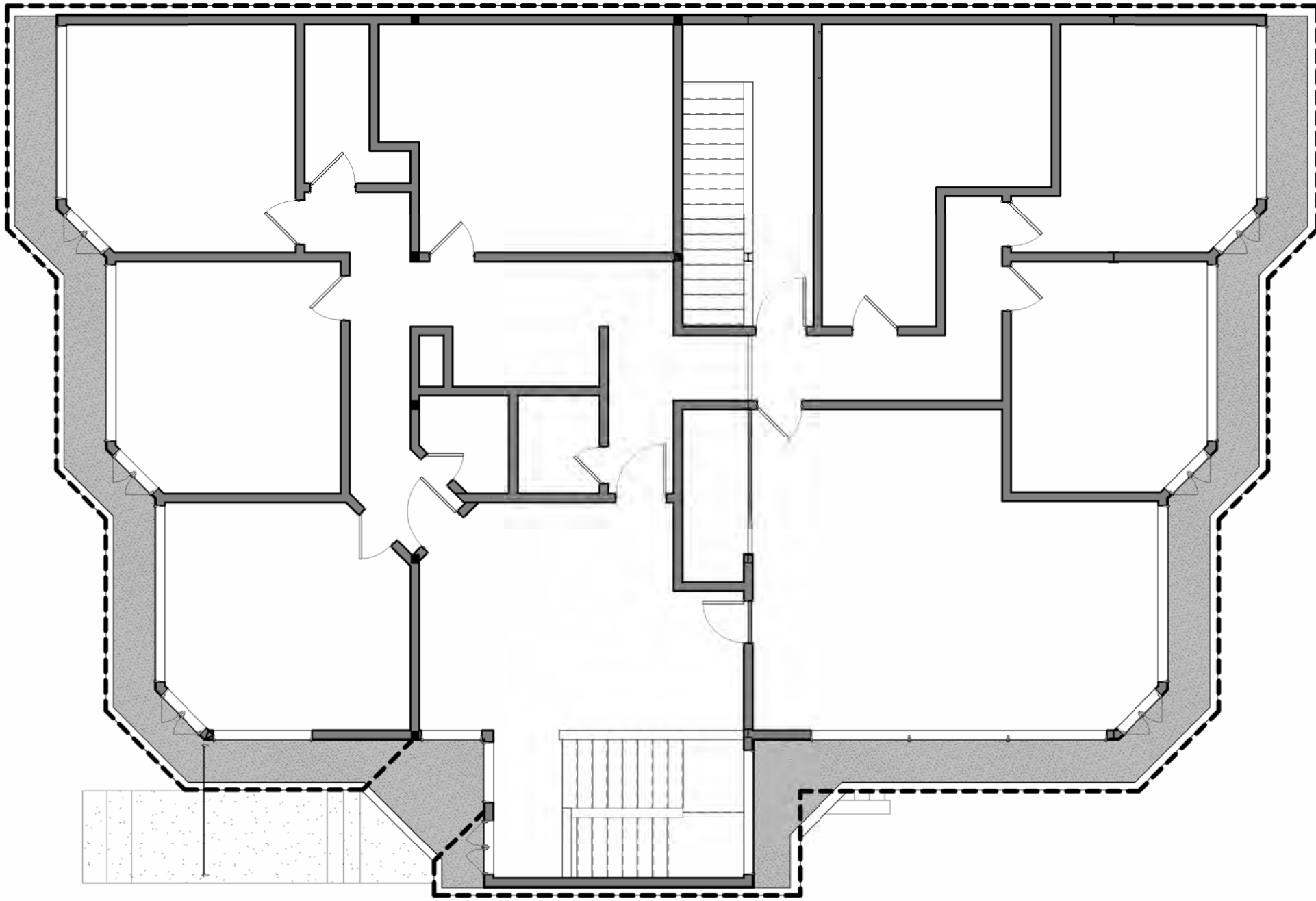
1 | roof plan - as-builts  
A-001 | 1/8" = 1'-0"



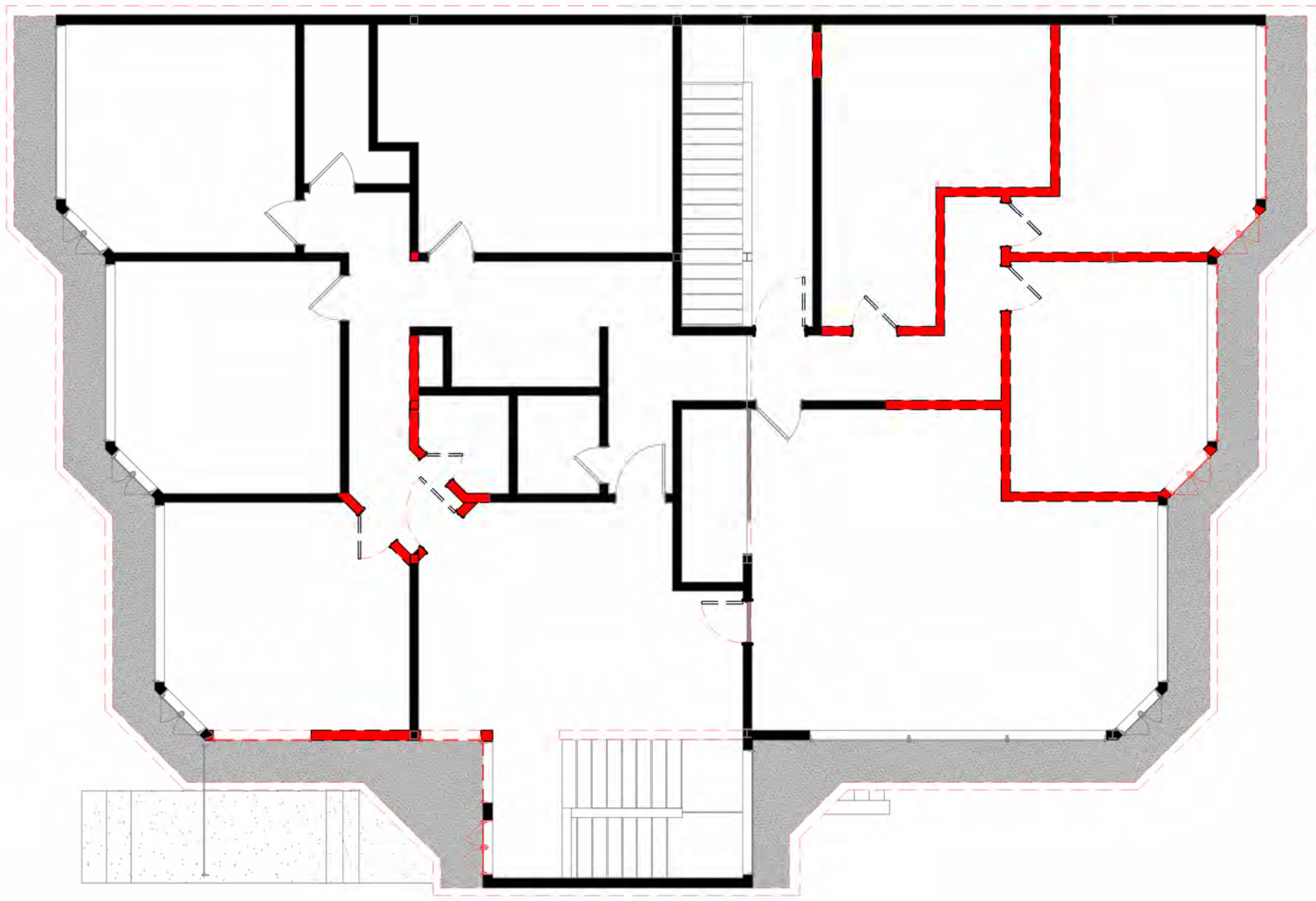
2 | demolition plan - 3rd level  
A-001 | 1/8" = 1'-0"



3 | floor plan - 3rd floor - remodel  
A-001 | 1/8" = 1'-0"



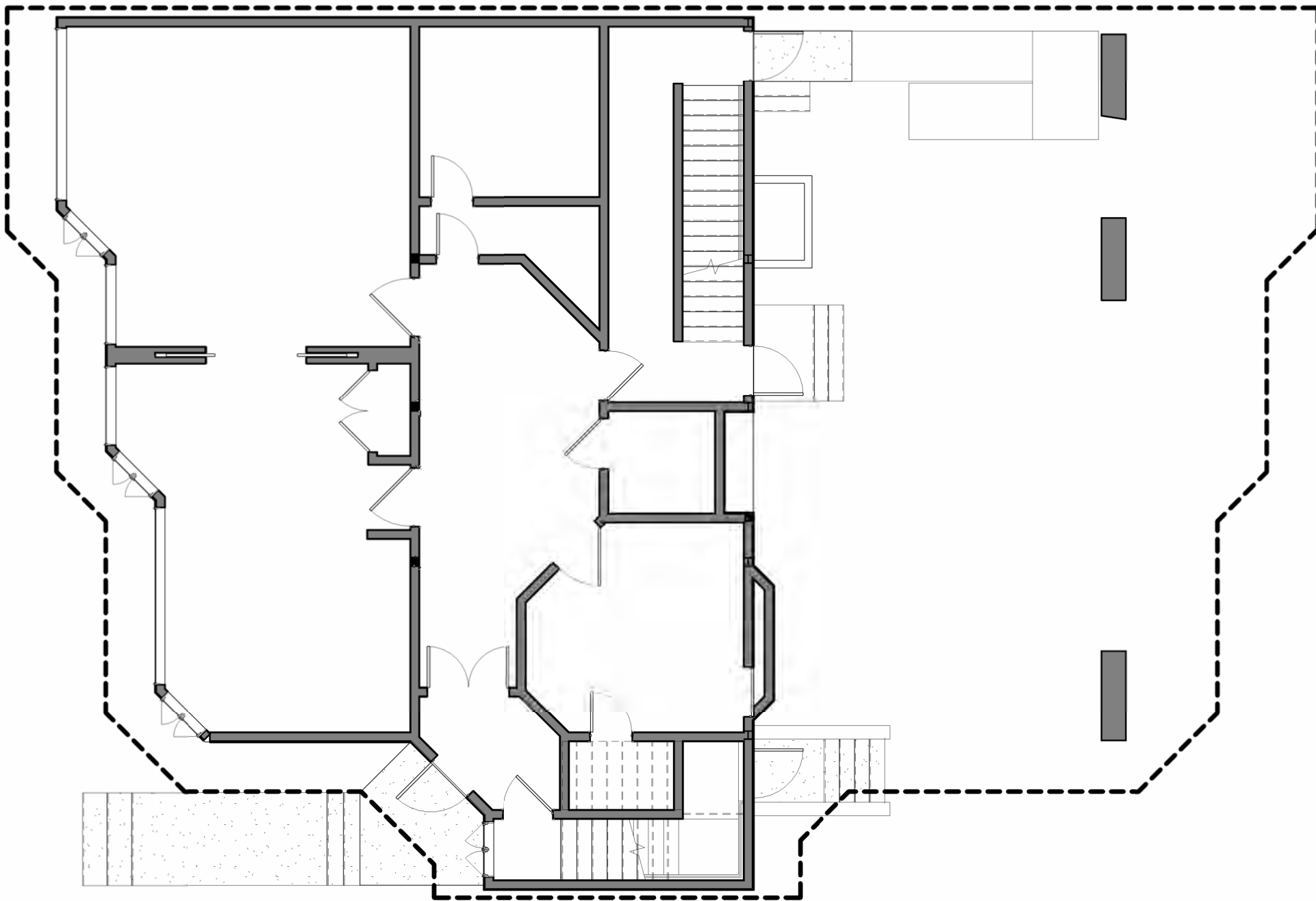
4 | floor plan - 2nd level - as-builts  
A-001 | 1/8" = 1'-0"



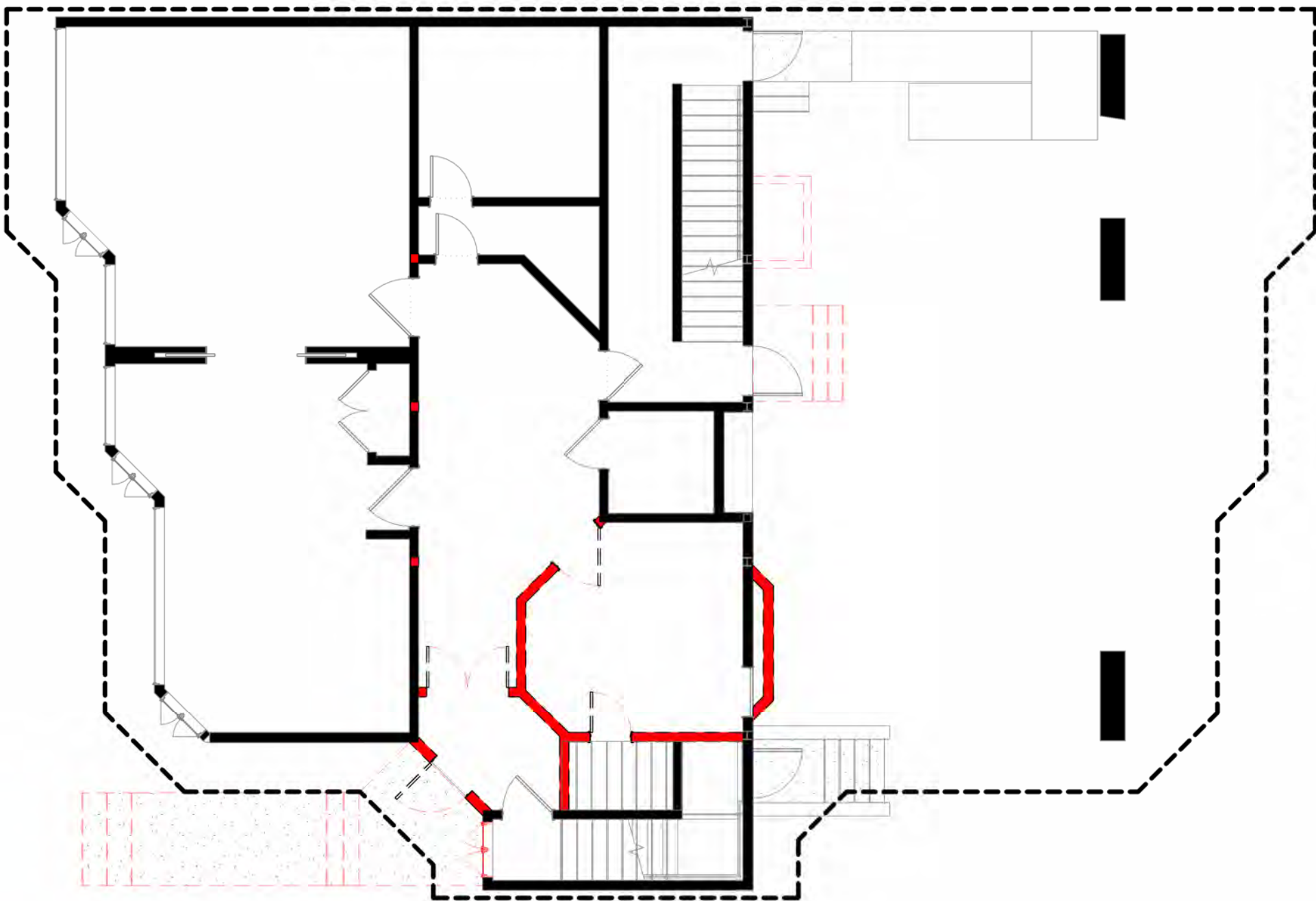
5 | demolition plan - 2nd floor  
A-001 | 1/8" = 1'-0"



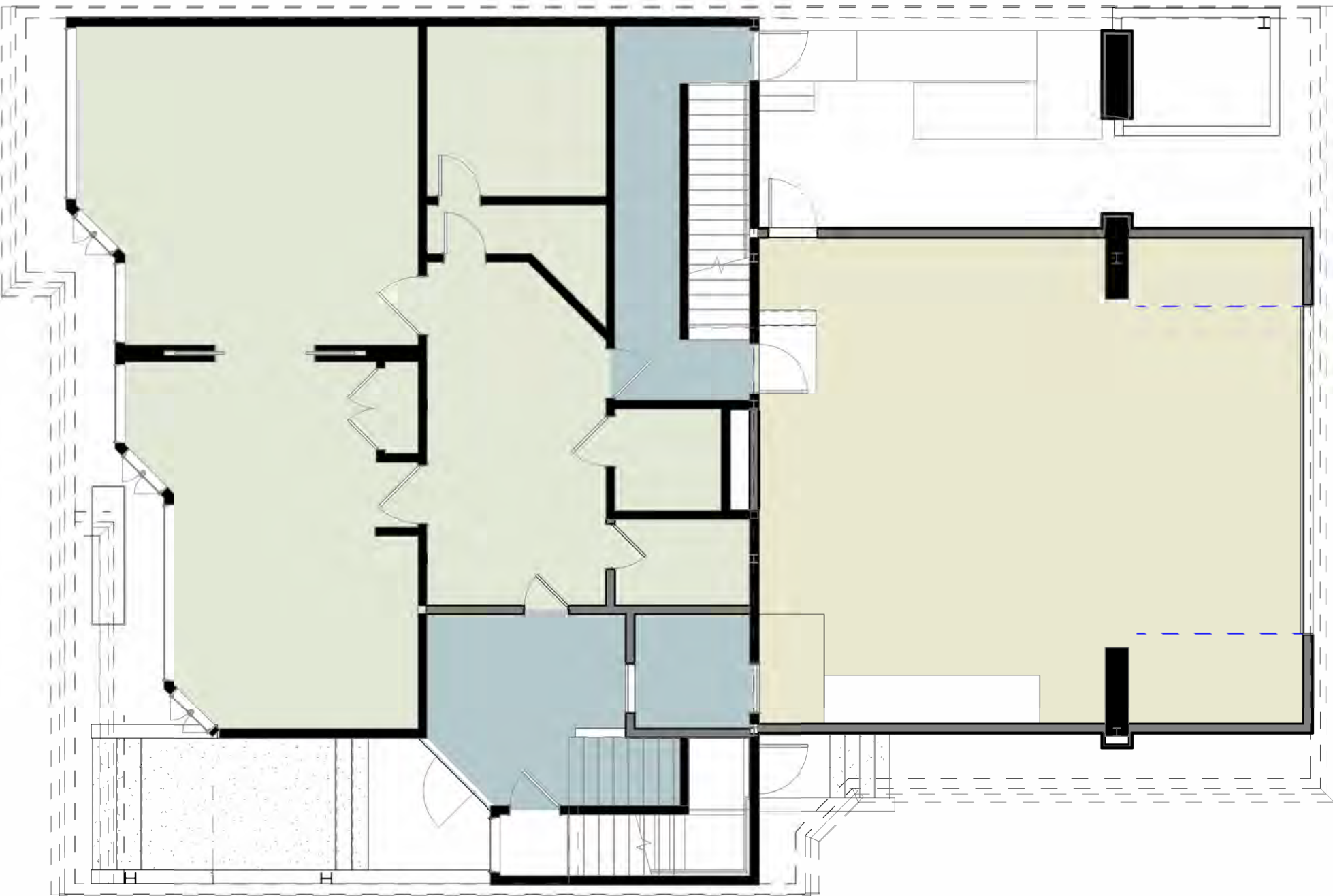
6 | floor plan - 2nd floor - remodel  
A-001 | 1/8" = 1'-0"



7 | floor plan - 1st level - as-builts  
A-001 | 1/8" = 1'-0"



8 | demolition plan - 1st level  
A-001 | 1/8" = 1'-0"



9 | floor plan - 1st floor - remodel  
A-001 | 1/8" = 1'-0"



PROJECT:  
120 N East LLC120 N East Ave  
Ketchum, Idaho  
83340Permit Set: 02/06/2025  
Construction Set: xx/xx/xx

REVISION	DATE
1	12/5/24
2	2/6/25

NOTES:

project/FAR  
information

SCALE: As indicated

A-002

DRAWN BY: Author

Plot Date: 2/6/2025 3:59:53 PM

## Project Information

Address: 120 N East Ave, Ketchum, Idaho 83340  
Parcel Number: RPK00000420020  
Legal Description: Ketchum Lot 2, Block 42  
Lot Size: 8250 sf

Building Department: City of Ketchum  
County: Blaine

Building Code (per City Code 15.04.010)

- International Building Code (IBC) 2018 edition, as amended by the Idaho Building Code Board and including new Appendix O
- International Residential Code (IRC), 2018 edition, as amended by the Idaho Building Code Board, parts I—III and IX, including appendix F, radon control methods
- International Energy Conservation Code (IECC) 2018 edition, as amended by the Idaho Building Code Board
- International Existing Building Code (IEBC), 2018 edition, as amended by the Idaho Building Code Board
- International Property Maintenance Code (IPMC), 2018 edition
- International Building Code (IBC), Water conservation provisions of Appendix M
- Ketchum Municipal Code, Chapter 15.08

Property Zoning (per official zoning district map)  
Community Core (CC) - Subdistrict 2 (Mixed Use)

Permitted Use (per City Code 17.12.020, Table):  
Residential: Dwelling, multi-family  
Commercial: Office, business

Setbacks / Height (per City Code 17.12.040, Table, Subdistrict 2: Mixed Use):  
Front and street side = 5'-0" average  
Side (Interior side) = 0'  
Rear = 3'  
Setback for 4th floor = 10'  
Cantilevered decks/overhangs = 0'

Maximum Building heights  
Cantilevered decks and overhangs = 8'-0" above grade and/or walking surface  
Building Height = 42'-0"  
Non-habitable structures on roof top = 10'-0"  
Perimeter walls enclosing roof top deck = 4'-0" abv roof surface ht.(min. 75% transparent)  
Roof top solar and mechanical equipment = 5'-0"

## Planning Code Compliance

**Floor Area, Gross:** The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included.

**Floor Area, Net:** The sum of the horizontal areas of all floors in a building including basements but not including open unclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

**Parking Calculations**  
Residential multiple-family dwelling within the Community Core (CC) District :  
Units 750 square feet or less 0 parking spaces  
Units 751 square feet to 2,000 square feet 1 space  
Units 2,001 square feet and above 2 parking spaces  
Nonresidential 1 parking space per 1,000 gross sf  
17,125.040 C.1.f - Exemption: The first 5,500 sf of office and personal service uses.

Office, business 5 parking spaces  
Residential 2 parking spaces

Net floor area 2nd floor residence = 574sf  
Net floor area 3rd floor residence = 2185sf

## 7 parking spaces provided

**Floor Area Ratio (F.A.R.) (17.124.040)**

FLOOR AREA RATIO: The product of the floor area divided by the lot area.

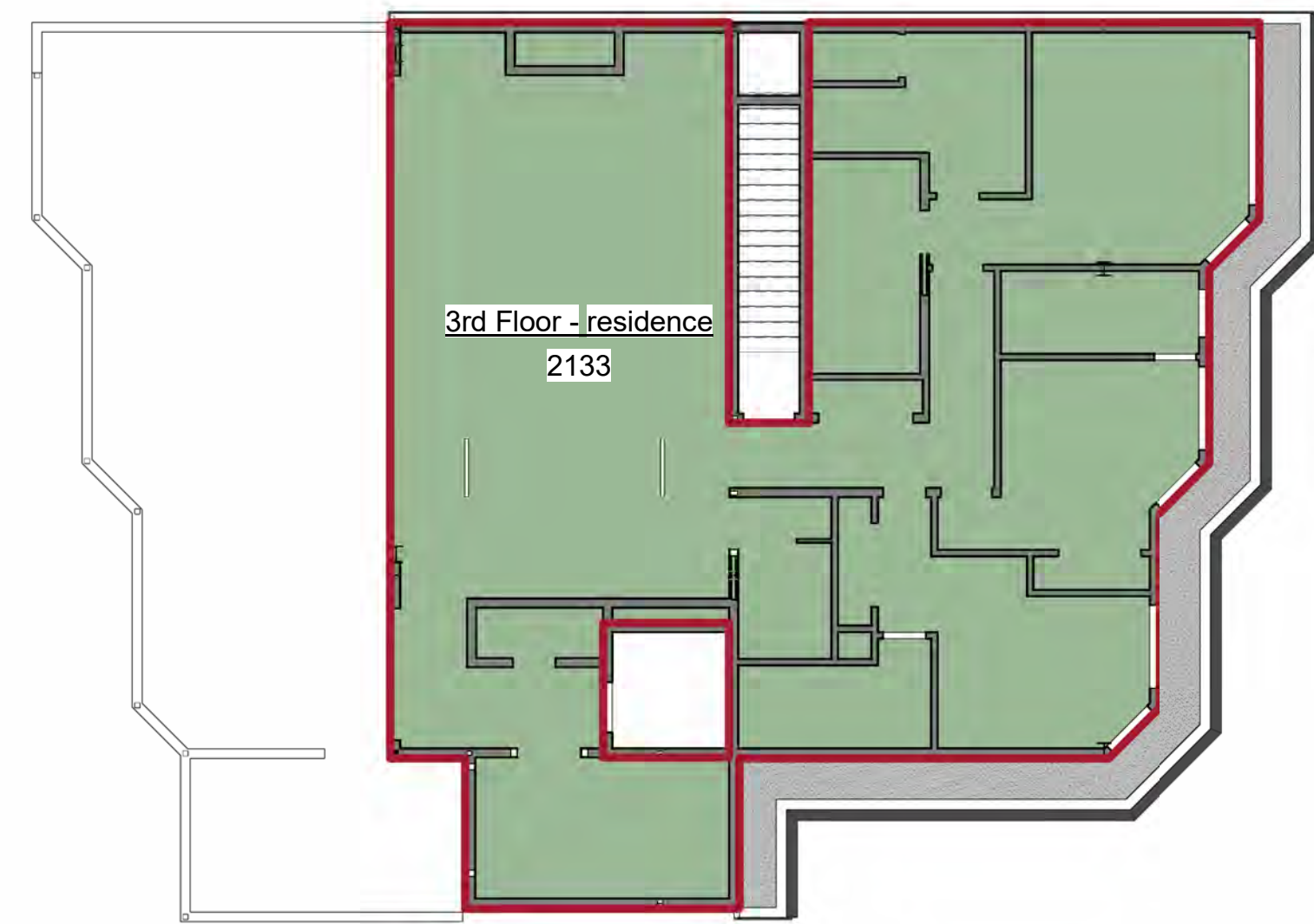
Property 150' x 55' = 8250 sf (per sheet C0.2, Permitted by right, 1.0)

Basic FAR allowance 1.0 (8,250 gsf)  
Proposed FAR .98 (8,134 gsf / 8,250 gsf)

- Drip Lines / Drainage - No drop lines or snow shedding occur on public sidewalks. Roof and canopy drainage collected and directed by internal gutters into drywell located on property.
- Site Lighting Plan - All lighting and illumination to conform to dark sky ordinance.
- Mechanical Screening - Mechanical units located on roof to be screened as per elevations.
- Green Building - Project to be constructed to USGBC standards.
- Public Open Space - Trash receptacles, benches and gathering spaces are provided along public streets.
- Snow Storage Calculation - All snow management will be accomplished by snowmelt and hauling snow off-site.
- Storm Water - On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.
- Drainage improvements will be made equal to the length of the subject property lines adjacent to public streets.
- All utility improvements necessary for the development will be provided and made to meet City of Ketchum standards.
- Garbage will be collected in rolling carts and stored in a closed garbage closet adjacent to the alley. No satellite receivers are proposed.
- Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. Two bicycle racks for (4) bicycles will be provided adjacent to the entry with direct access to the sidewalk.

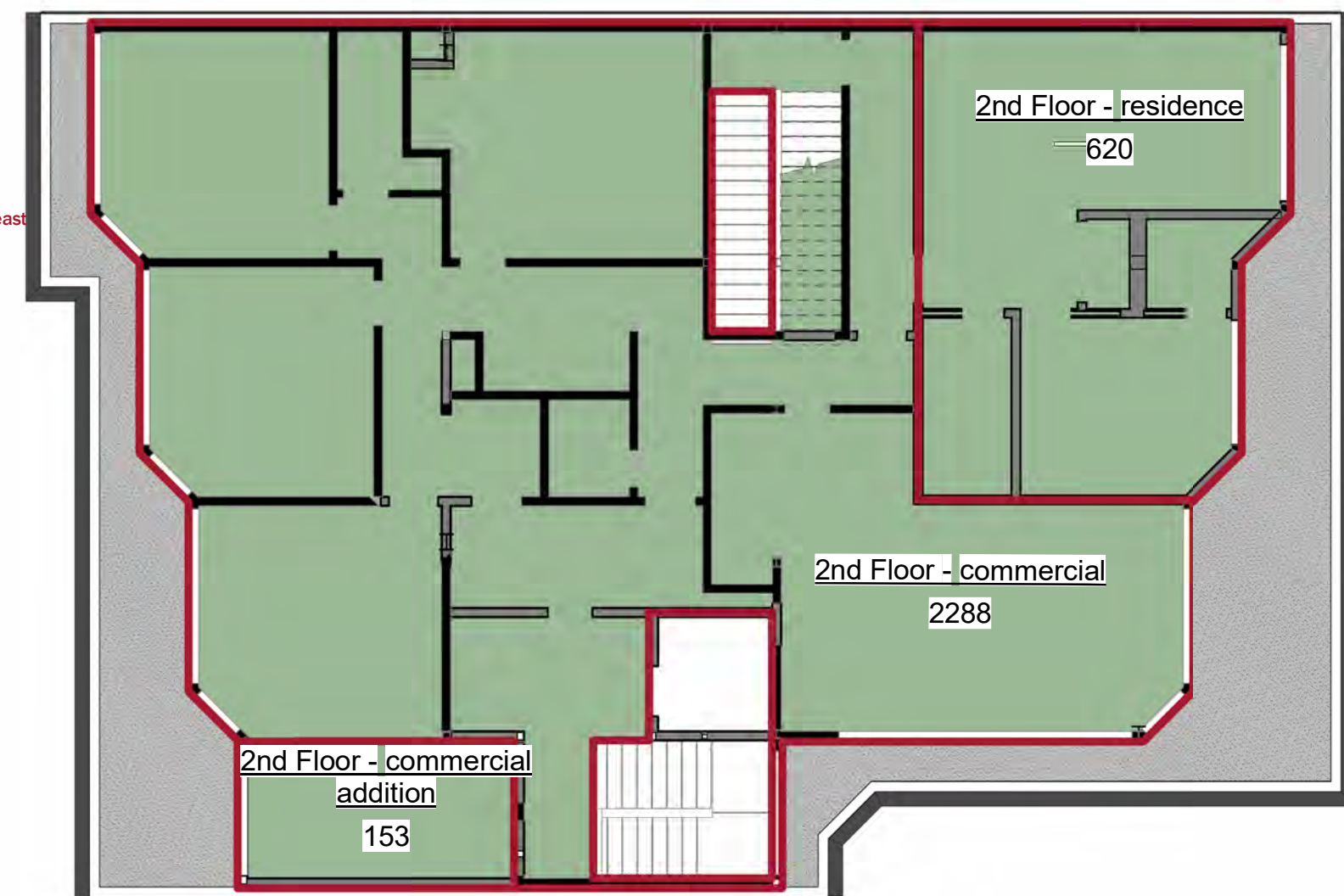
## Floor Area, Gross

Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF



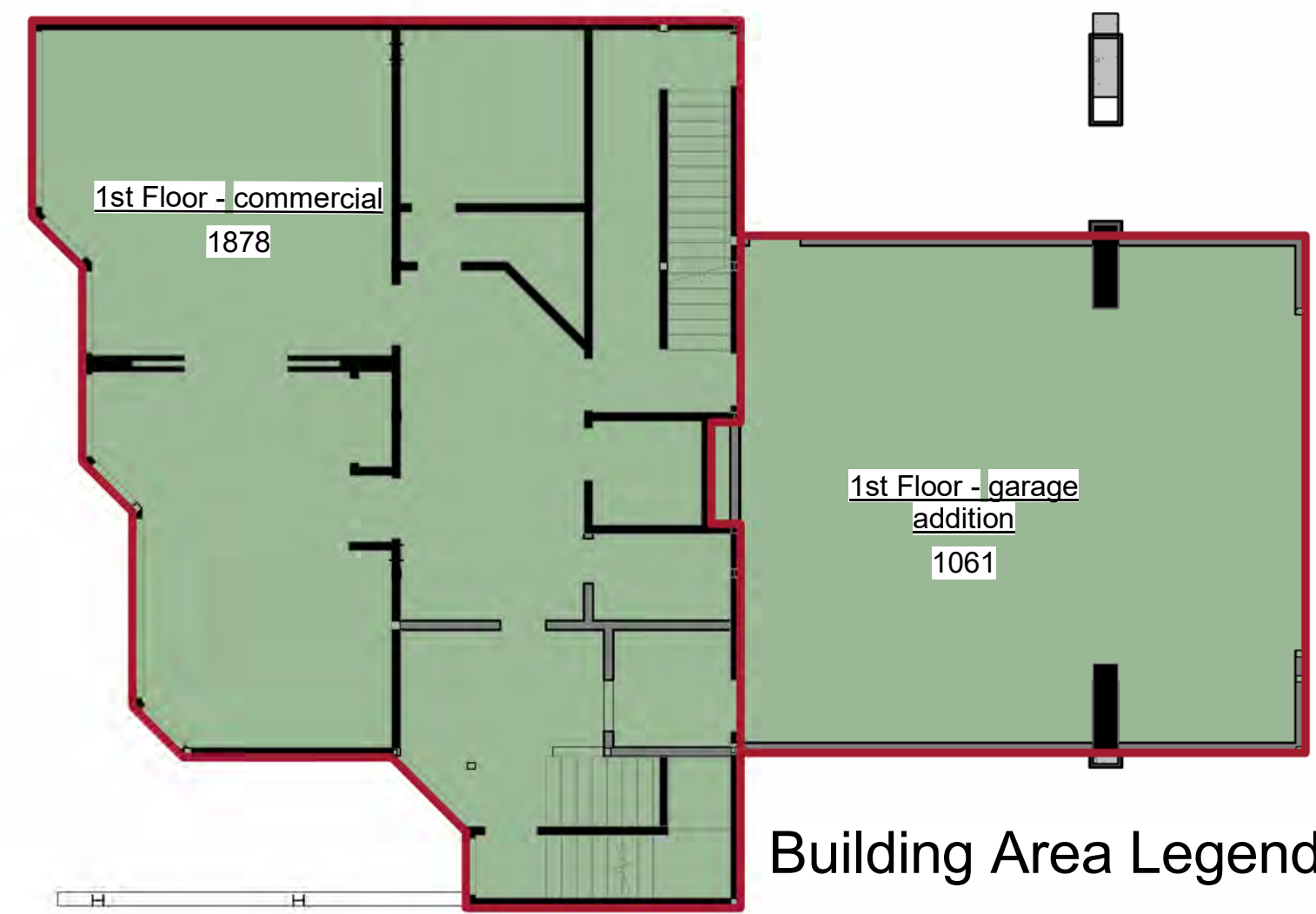
## Building Area Legend

Gross Building Area

6 area - 3rd floor - remodel  
A-002 1" = 10'-0"

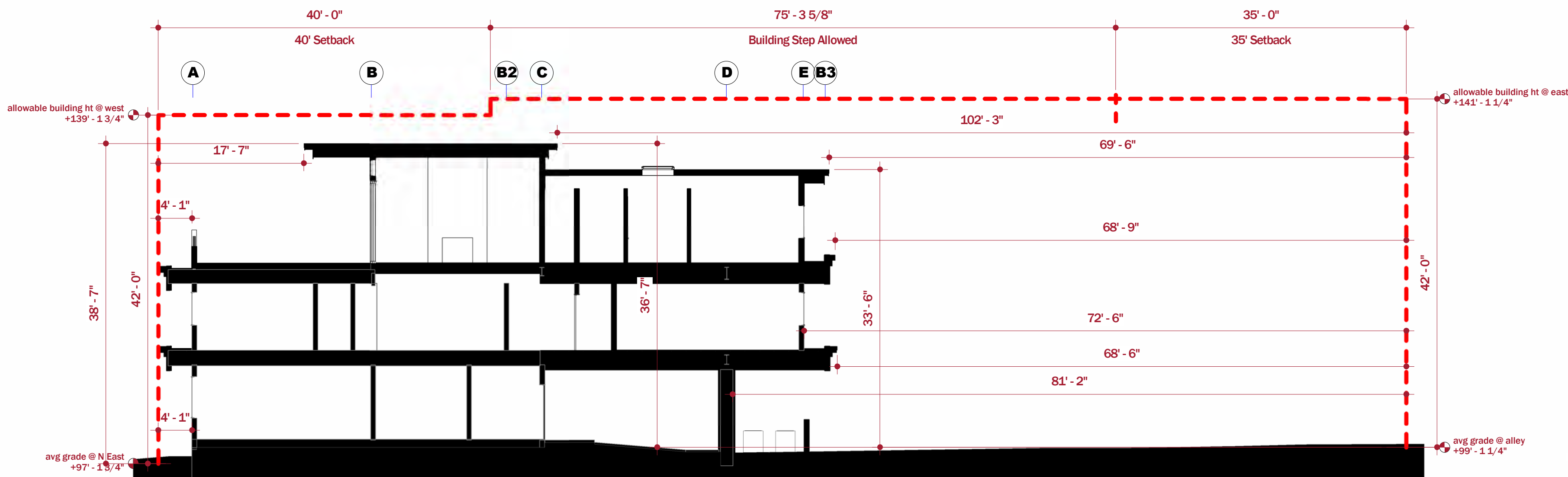
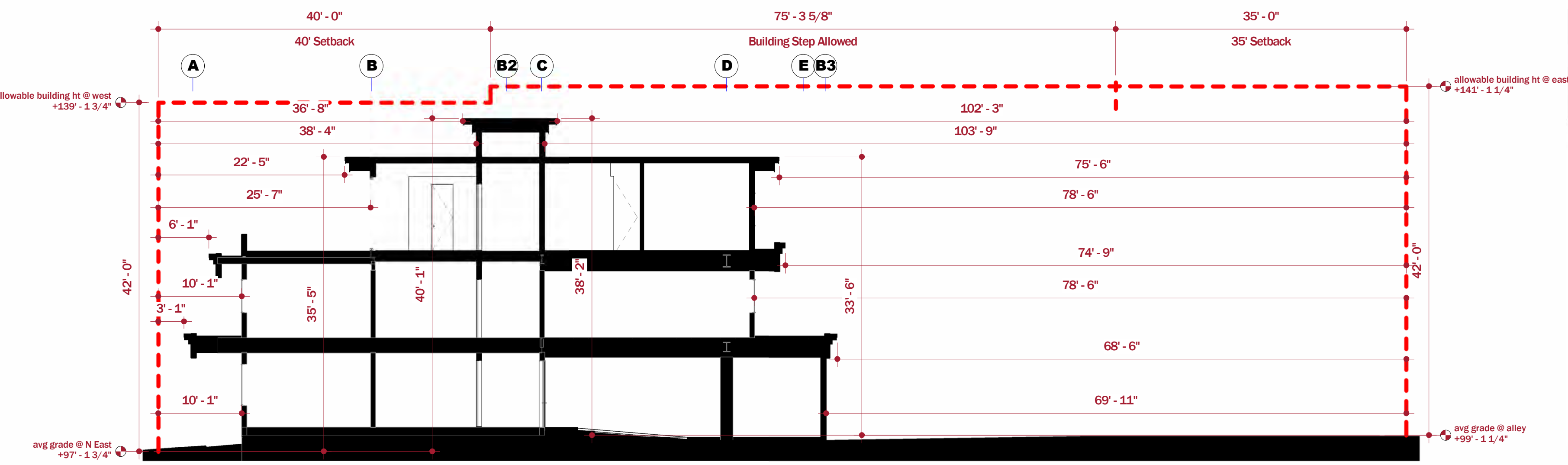
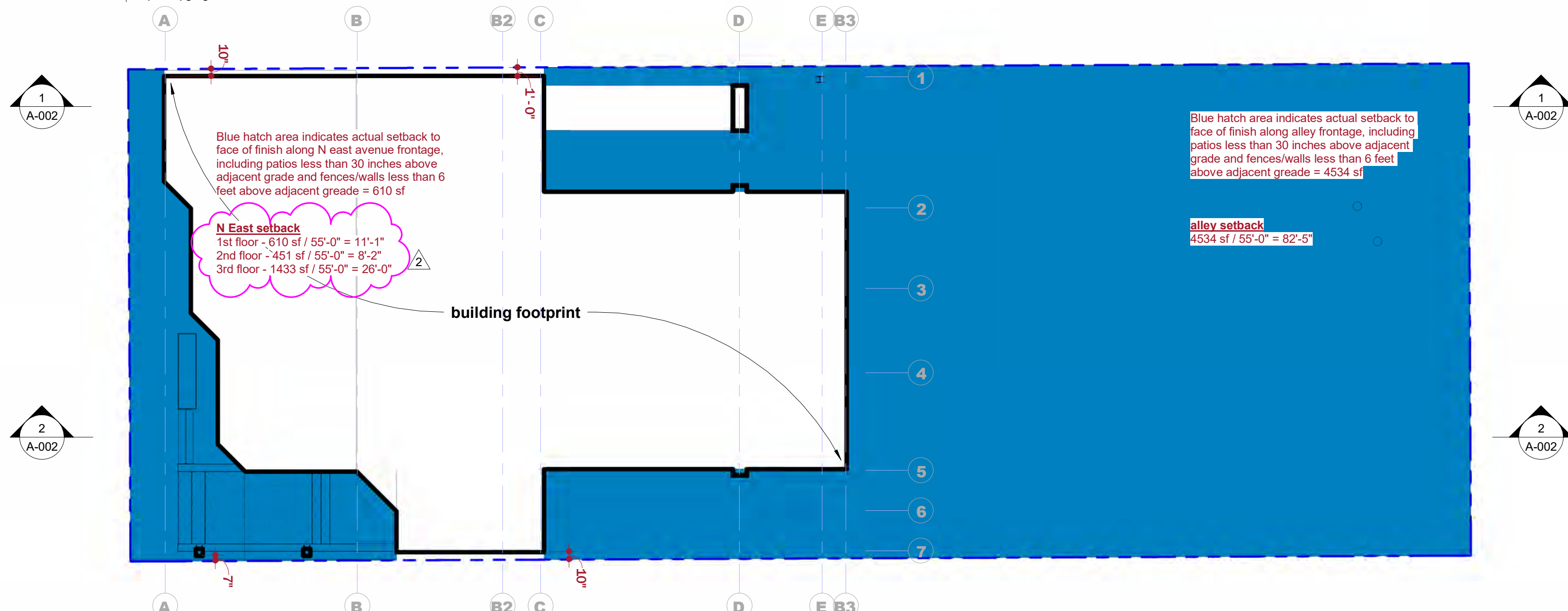
## Building Area Legend

Gross Building Area

5 area - 2nd floor - remodel  
A-002 1" = 10'-0"

## Building Area Legend

Gross Building Area

4 area - 1st floor - remodel  
A-002 1" = 10'-0"1 Section - Setback Section - North  
A-002 1" = 10'-0"2 Section - Setback Section - South  
A-002 1" = 10'-0"3 Setback Diagram  
A-002 1" = 10'-0"

DRAWN BY: Author

Plot Date: 2/6/2025 3:59:53 PM

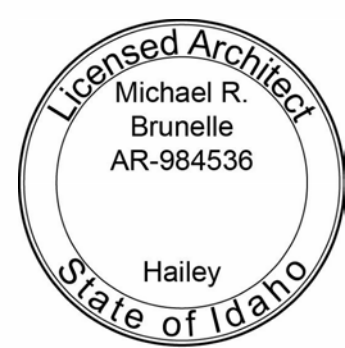


PROJECT:  
120 N East LLC

120 N East Ave  
Ketchum, Idaho  
83340

Permit Set: 02/06/2025  
Construction Set: xx/xx/xx  
REVISION DATE

NOTES:



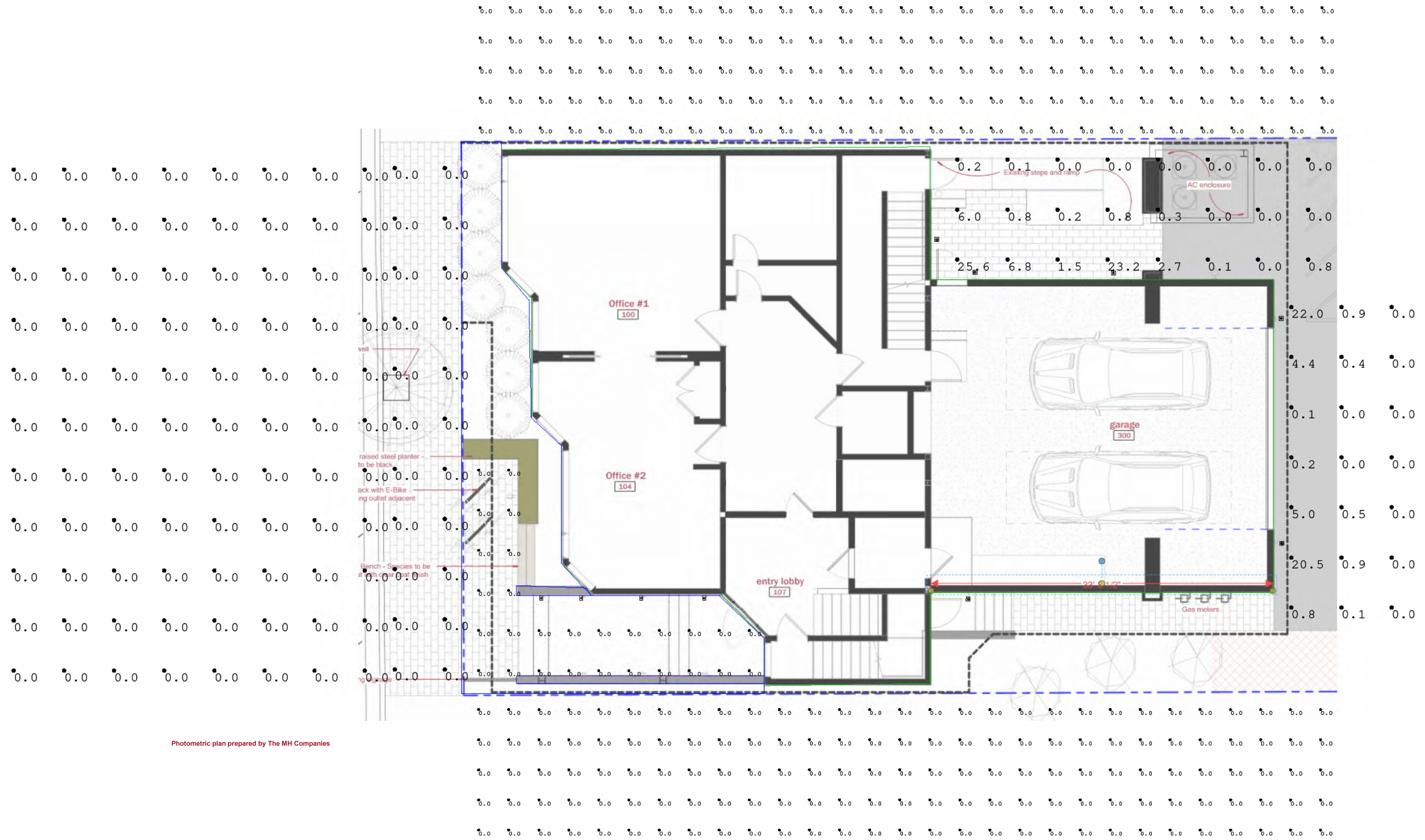
photometric  
study -  
building

SCALE: 1/4" = 1'-0"

A-003

DRAWN BY: Author

Plot Date: 2/6/2025 3:59:55 PM



Photometric plan prepared by The MH Companies

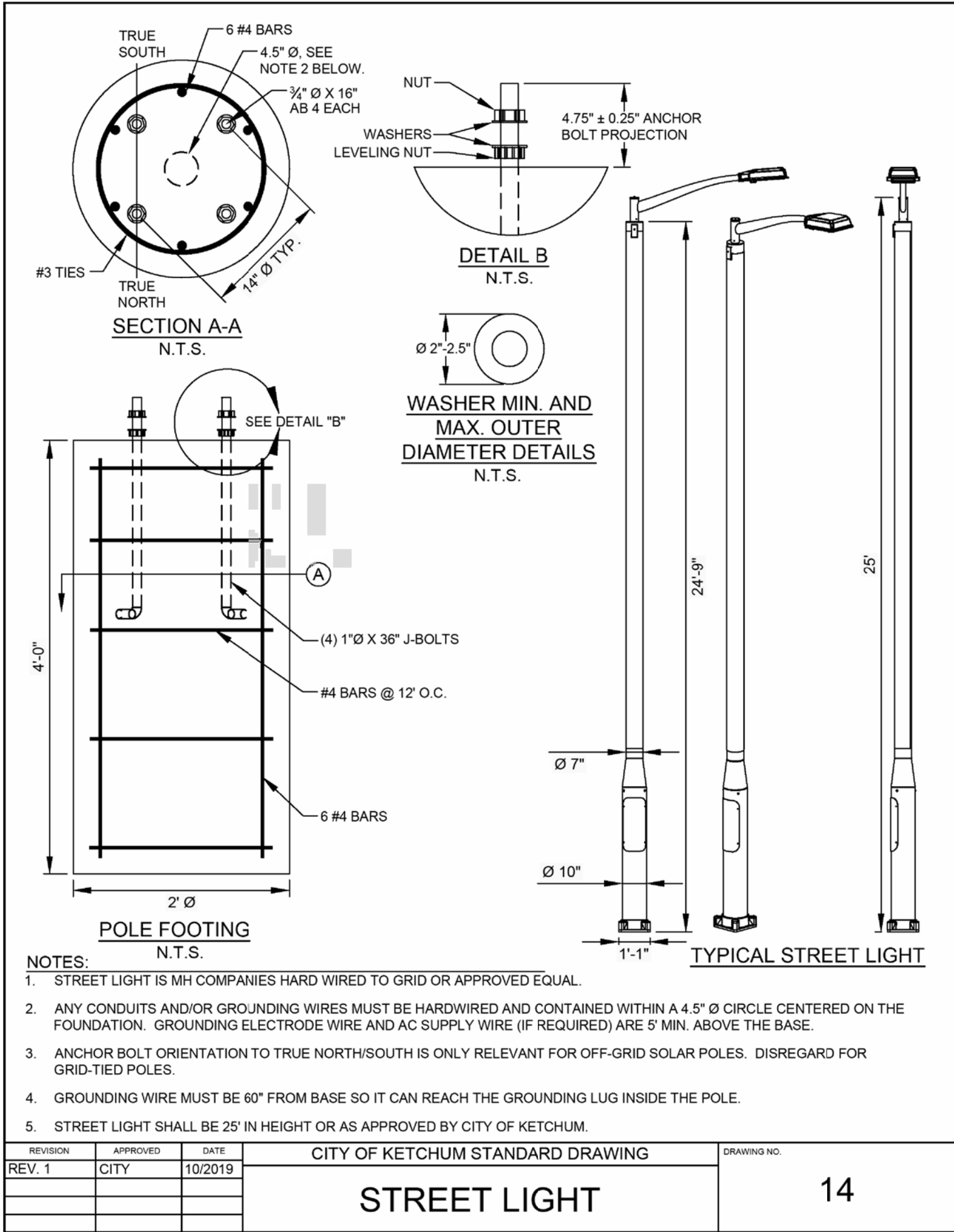
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	4	B Ferona	Single	1	B	0.900	70	2	8
⊞	6	WCED3D-13W-830-W	Single	CCT_ 2986K, CRI_ 82_0Ra		1.000	844	13.2	79.2

1 photometric study  
A-003 1/4" = 1'-0"



1 photometric study - roadway  
A-004 1/4" = 1'-0"

DATE	BY	REVISION	DESCRIPTION	DATE	BY	REVISION	DESCRIPTION
10/20/2019	MB	1	ISSUED FOR PERMIT	10/20/2019	MB	1	ISSUED FOR PERMIT
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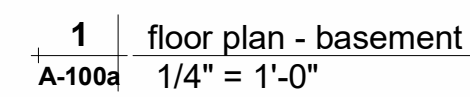






120 N East Ave  
Ketchum, Idaho  
83340

NOTES:



Michael R.  
Brunelle  
AR-984536

Hailey  
State of Idaho

SCALE: 1/4" = 1'-0"

DRAWN BY: Author

Plot Date: 2/6/2025 4:00:00 PM

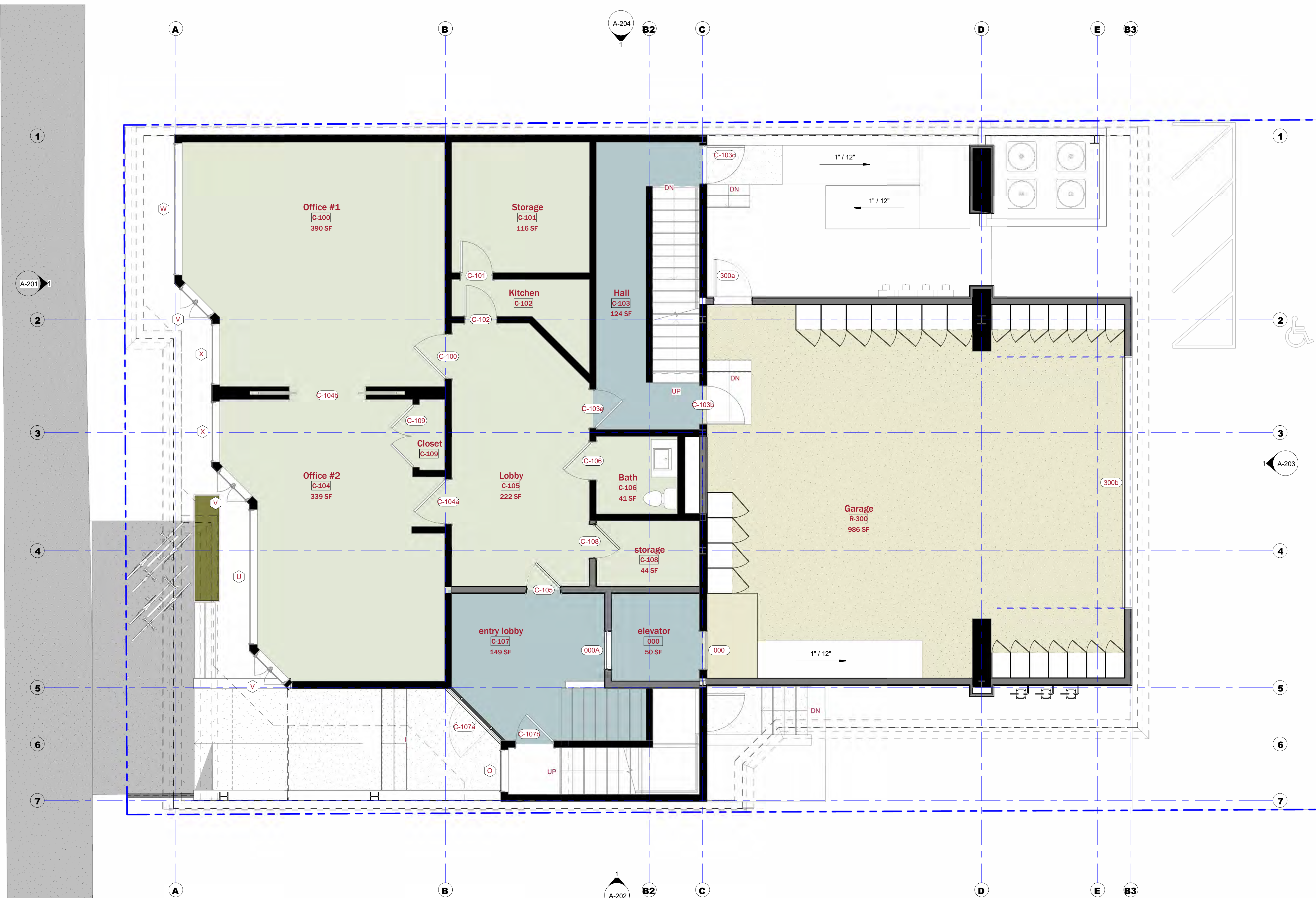


### Use Legend

- Commercial - existing
- Common
- Residential - 3rd floor

1 floor plan - 1st floor  
A-101a 1/4" = 1'-0"

Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF









PROJECT:  
**120 N East LLC**

120 N East Ave  
Ketchum, Idaho  
83340

Permit Set: 02/06/2025  
Construction Set: xx/xx/xx  
REVISION DATE

NOTES:



floor plan - 3rd  
floor

SCALE: 1/4" = 1'-0"

A-103a

DRAWN BY: Author  
Plot Date: 2/6/2025 4:00:19 PM



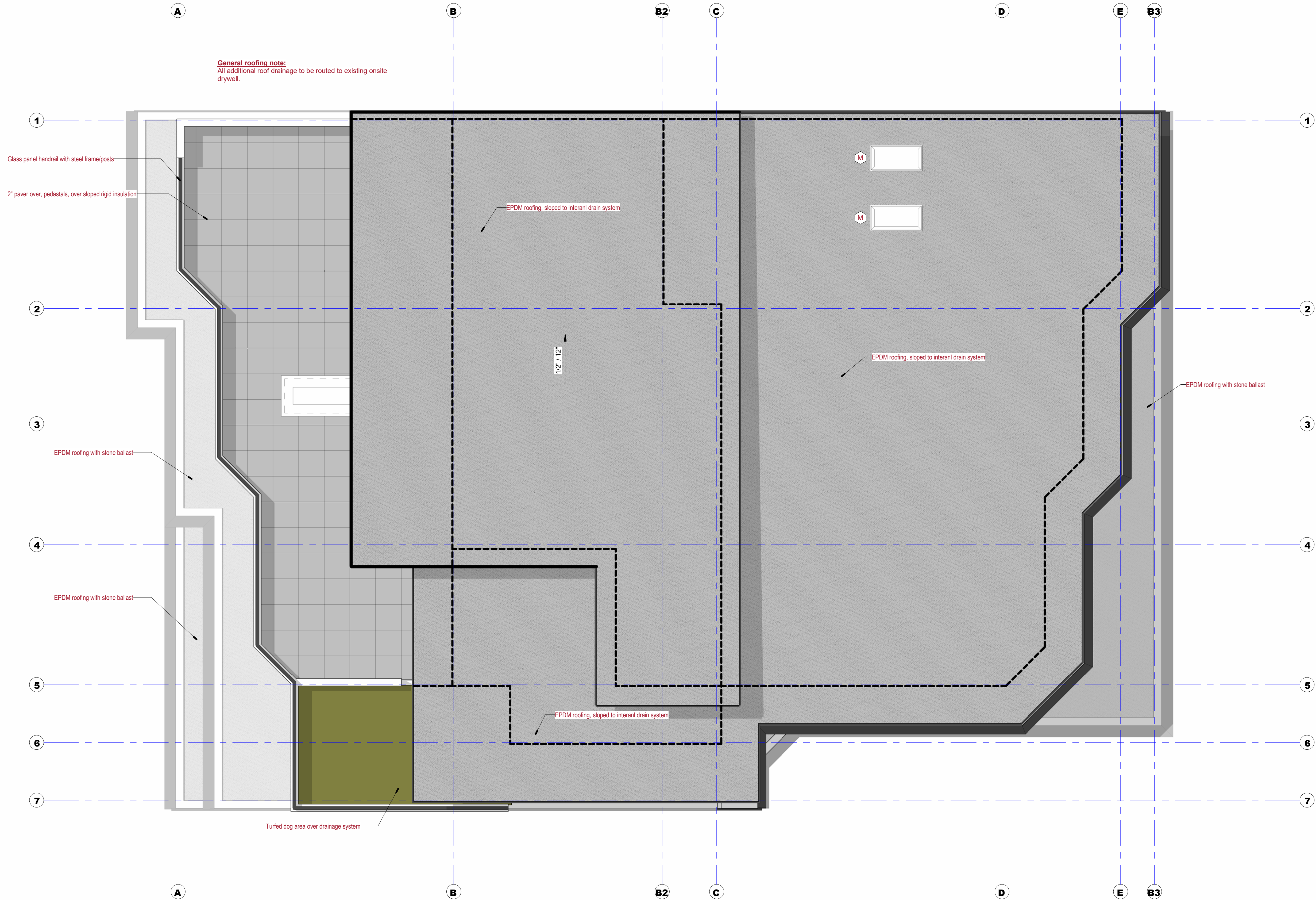
Use Legend

- Common
- Residential - 3rd floor
- Residential - exterior

1 floor plan - 3rd floor  
A-103a 1/4" = 1'-0"

Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF





1 roof plan  
A-104 1/4" = 1'-0"

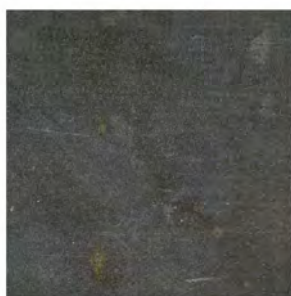




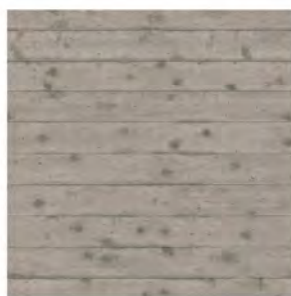
3 West Perspective  
A-201 12" = 1'-0"



4 SW Perspective  
A-201 12" = 1'-0"



MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Board formed concrete



MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



MAT 4 - Wood siding/sffit, reSawn Abodo Vulcan Cladding - "Straw"



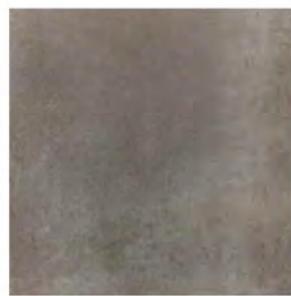
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"



MAT 6 - Roofing - stone ballasted



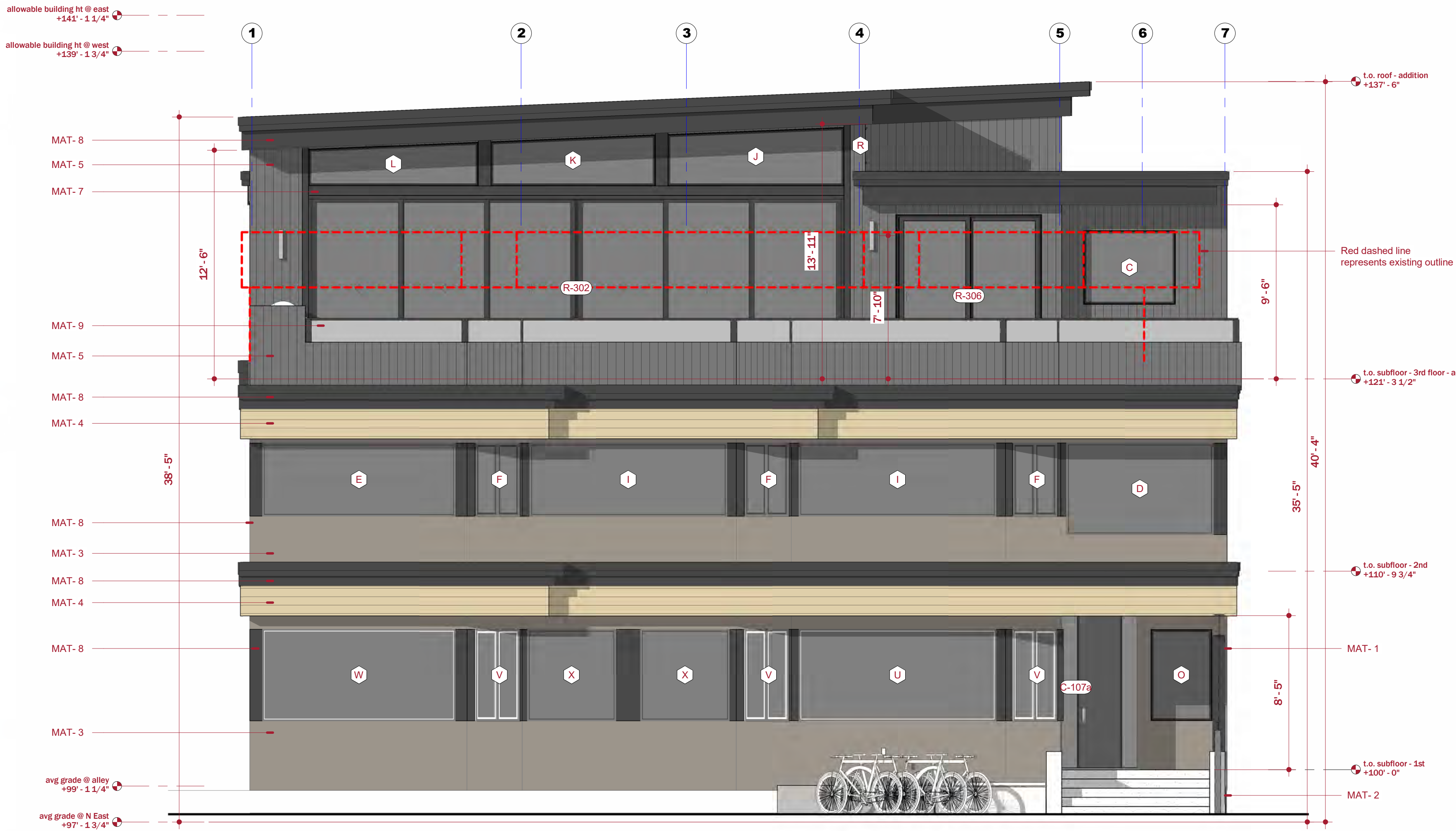
MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



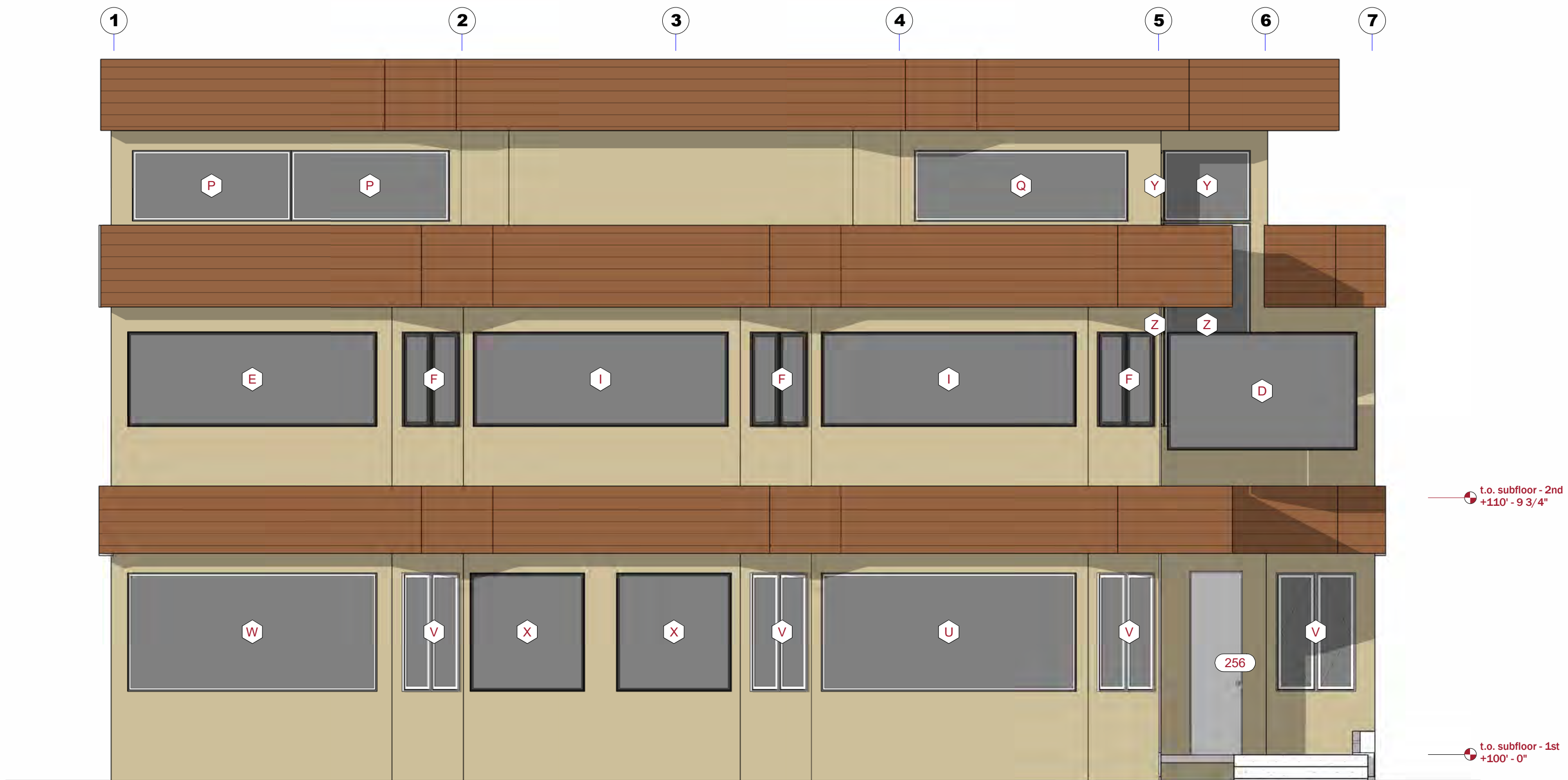
MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



MAT 9 - Glass handrail with steel posts

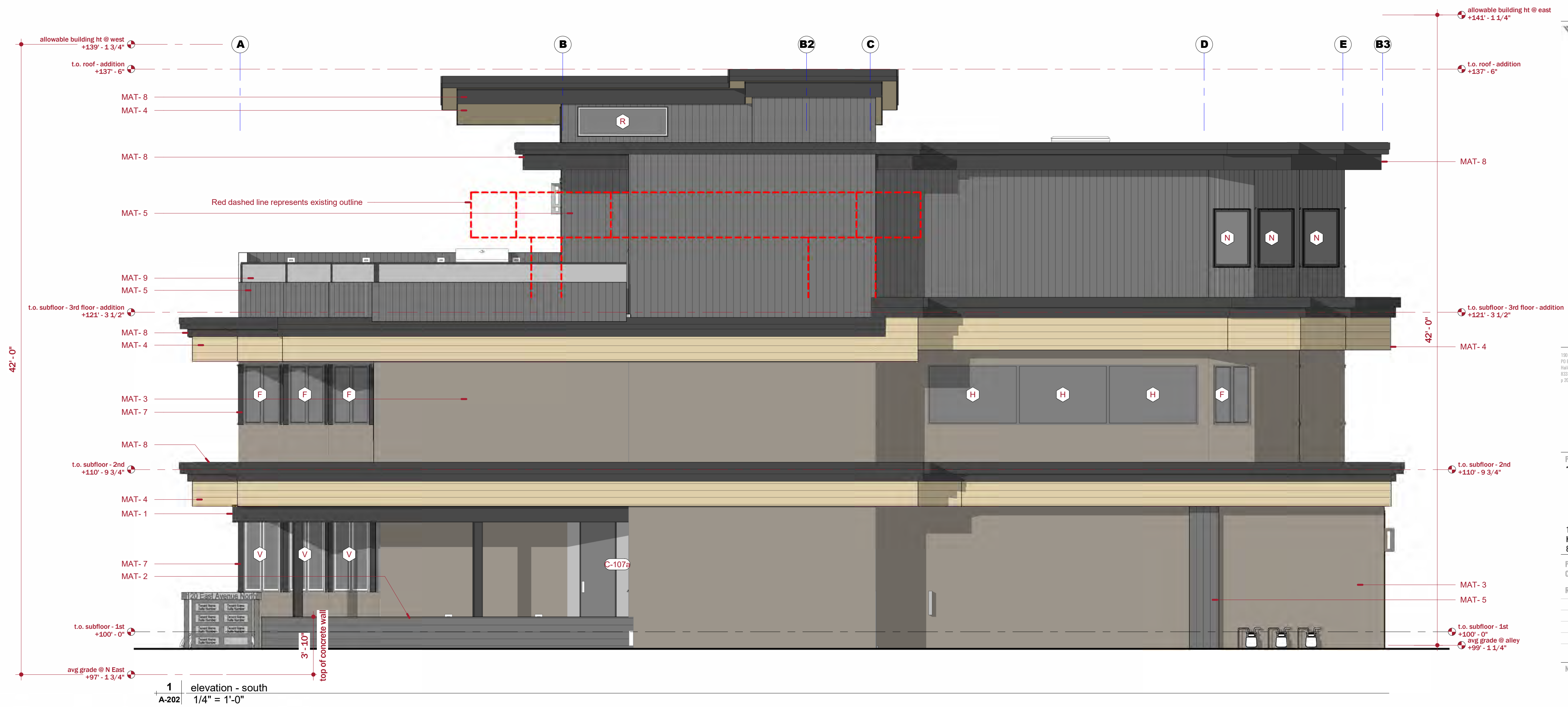


1 elevation - west  
A-201 1/4" = 1'-0"








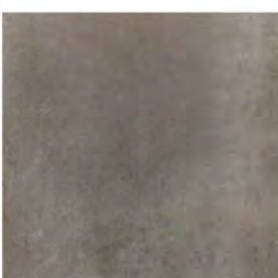



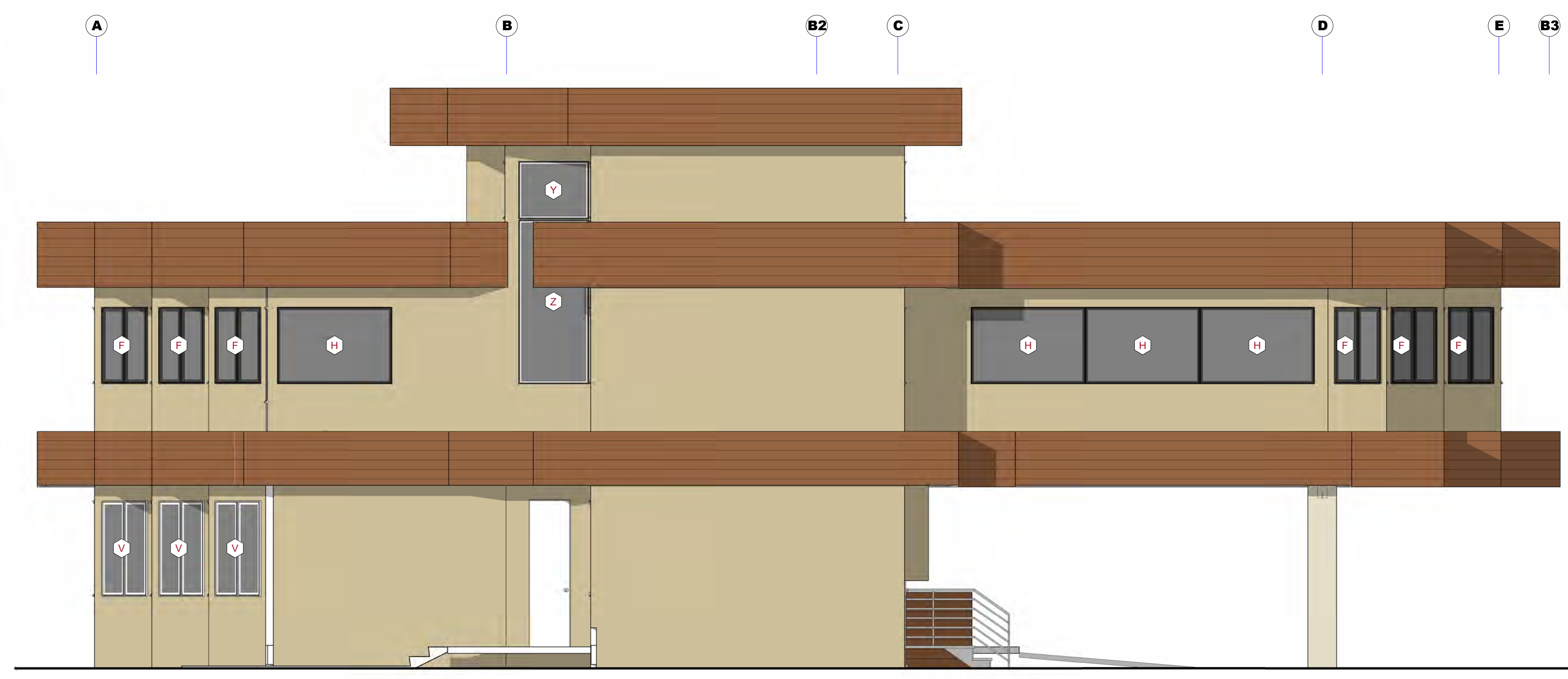
2 elevation - west - existing  
A-201 1/4" = 1'-0"





**3** SE Perspective  
**A-202** 12" = 1'-0"

- |   |   |   |   |
|---|---|---|---|
|  |  |  |  |
| <b>MAT 1</b> - Metal - unpainted, sealed steel                                      | <b>MAT 2</b> - Board formed concrete  | <b>MAT 3</b> - Stucco - Benjamin Moore paint - Deep River 1582                      | <b>MAT 4</b> - Wood siding/soffit, reSawn Abodo Vulcan Cladding - "Straw"           |
|  |  |  |  |
| <b>MAT 5</b> - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"                   | <b>MAT 6</b> - Roofing - stone ballasted  | <b>MAT 7</b> - Metal cladding, match existing (windows and doors), Handrail posts   | <b>MAT 8</b> - Metal paneling, Bonderized Metal - Fascia / Flashing                 |
|  |   |   |   |
| <b>MAT 9</b> - Glass handrail with steel posts                                      |   |   |   |



**2** elevation - south - existing  
**A-202** 1/4" = 1'-0"





3 SE Perspective  
A-203 12" = 1'-0"



4 NE Perspective  
A-203 12" = 1'-0"



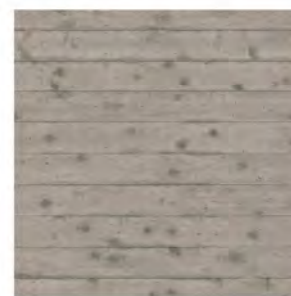
Existing tree conditions, South Elevation



Existing tree conditions, South Elevation



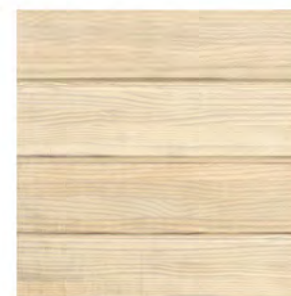
MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Board formed concrete



MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



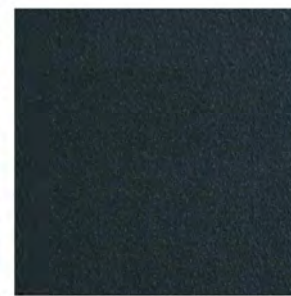
MAT 4 - Wood siding/soffit, reSawn Abodo Vulcan Cladding - "Straw"



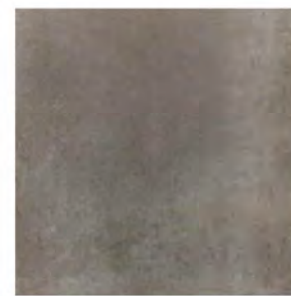
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"



MAT 6 - Roofing - stone ballasted



MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



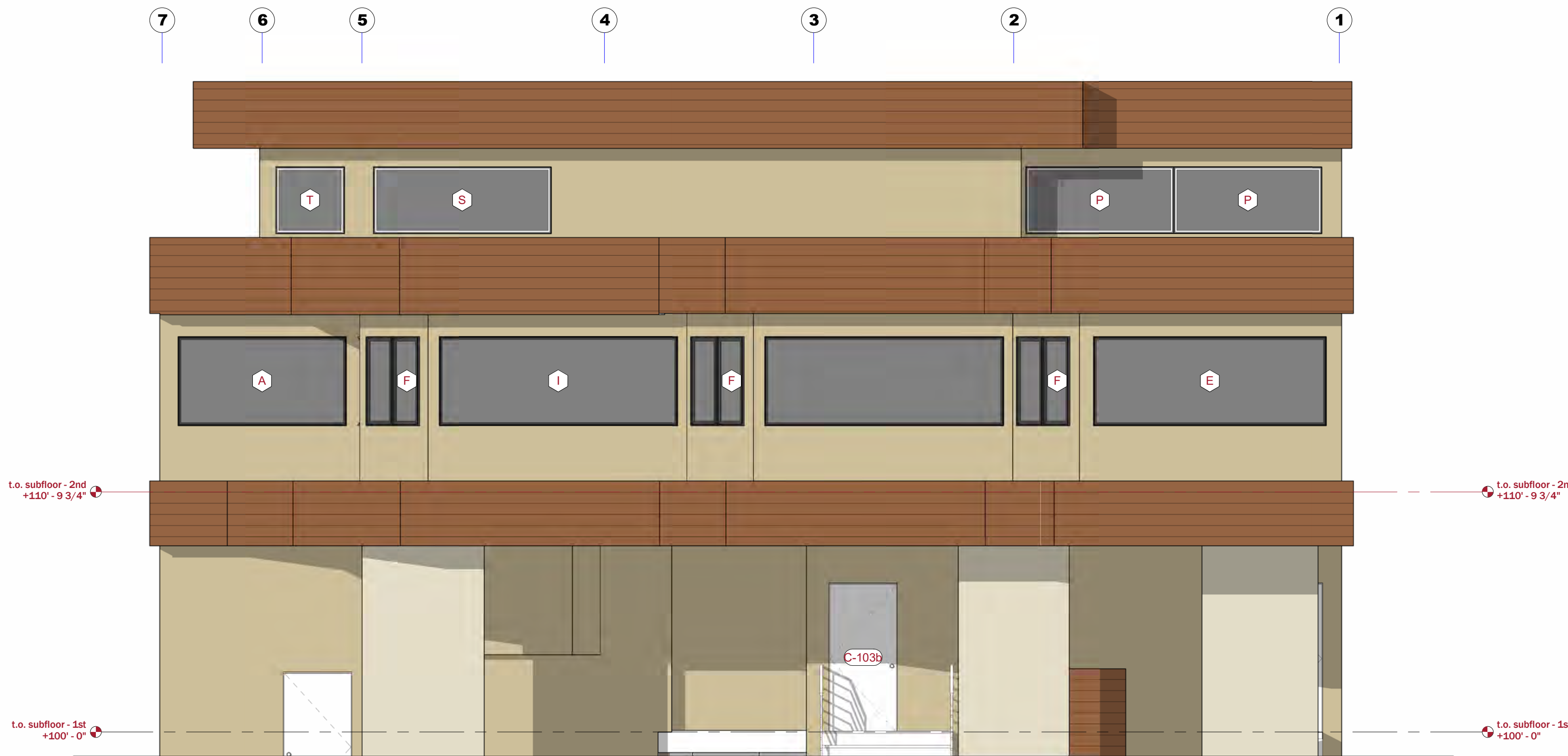
MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



MAT 9 - Glass handrail with steel posts



1 elevation - east  
A-203 1/4" = 1'-0"



2 elevation - east - existing  
A-203 1/4" = 1'-0"





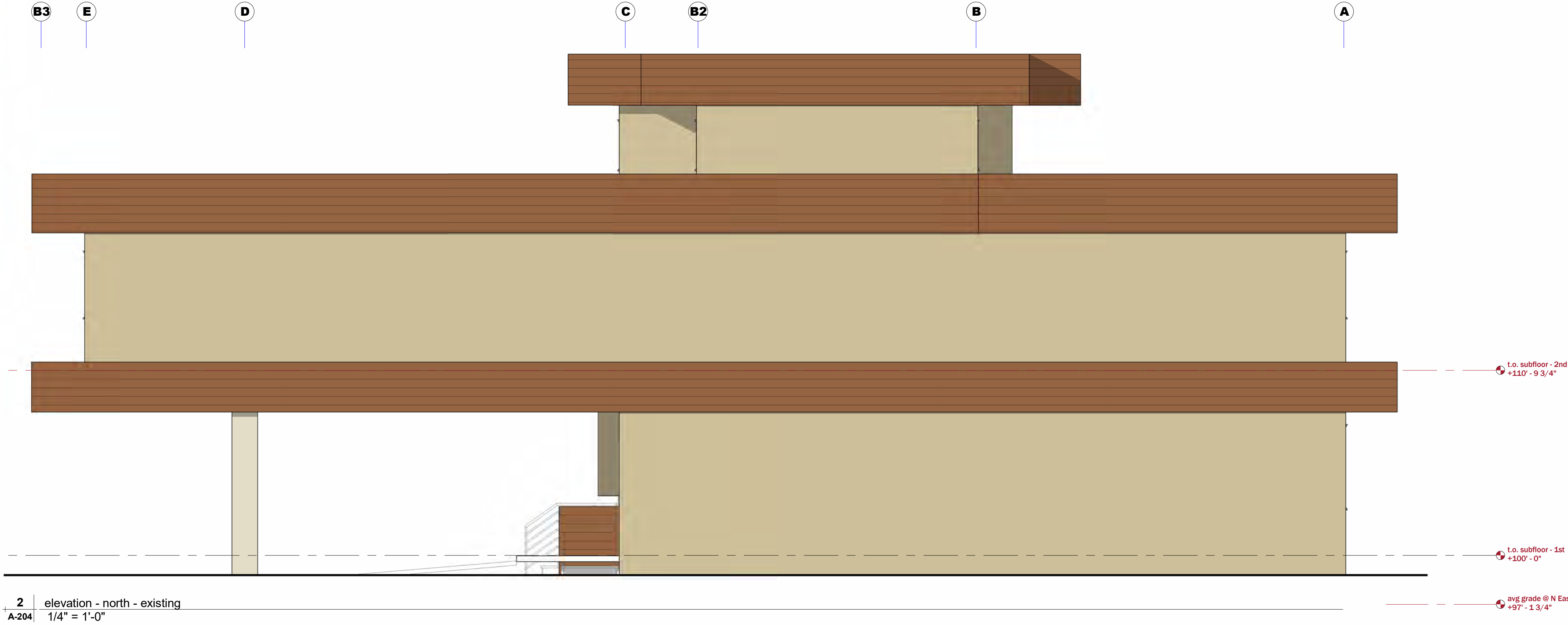
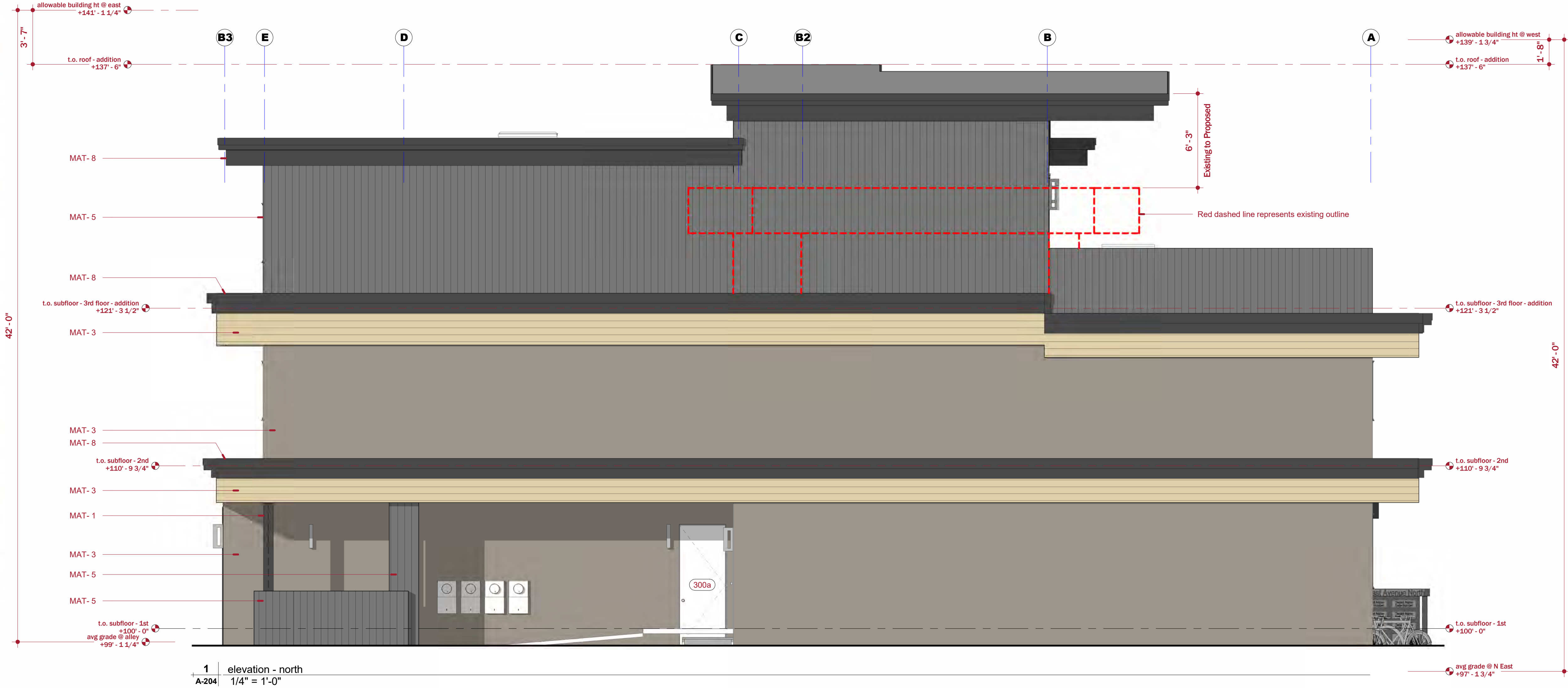
Existing tree conditions, North Elevation



Existing tree conditions, North Elevation



3 North Perspective  
A-204 12" = 1'-0"





## M Series + DRD2

Cutsheet for exterior location



### 4" Round Downlight

**Modular System** Flexibility during and after installation with interchangeable modules, optics and trims

**Quick Install** Integrated driver and plug-and-play connection require no wiring

**High Performance** Precise lighting control without sacrificing stellar efficiency

**Enhanced Dimming** Smooth, Flicker-free dimming options down to 0.1%

#### INSTALLATION

**Ceiling Thickness**  
New construction: 1/2" up to 1 1/4"  
Remodel: 1/2" up to 1 1/2"

**Ceiling Material**  
Drywall, Millwork

#### TRIMS

**Aperture**  
4"

**Shape**  
Round

**Style**  
Beveled, Hyperbolic, Pinhole, Flangeless, Wall Wash, Decorative

**Finish**  
White, Black, Bronze, Clear Diffused, Warm Diffused, Custom

#### LIGHT OUTPUT & DISTRIBUTION

**Module**  
Fixed

**Lumens (Power)**  
750 lm (9.5W), 1000 lm (12.5W), 1250 lm (14.5W), 1500 lm (16.5W)

**Color Quality**  
93+ CRI, 2-step SDCM

**Color Temperature**  
2700K, 3000K, 3500K, 4000K, Warm Dim (3000K-1800K), Tunable White (4000K-1800K), Tunable White (6500K-2700K)

**Beam Spread**  
Narrow Spot (15°), Wide Flood (60°), Spot (25°), General (90°), Flood (40°), Linear Spread, Soft Focus

#### POWER & CONTROLS

**Input Voltage**  
120/277V

**Dimming**  
0-10V (1%), TRIAC/ELV (1%), EcoSystem (1%), DALI 2 (0.1%)

**RATINGS & CERTIFICATIONS**

**Housing**  
IC (Insulation Contact) Rated, ASTM E283 Certified Air Tight, Code compliant for use in fire-rated assemblies up to a maximum of 2-hours

**STC/IC Sound Rated**  
Chicago Plenum

**RoHS Compliant**

**Module and Trim**  
UL Listed for Wet Location (Flangeless Trim Only), NSF Listed (White and Black Finish Only)

**Warranty**  
5 year limited warranty; 50,000 hours

DMF LIGHTING 1118 E. 223rd St. Carson, CA 90745 323.934.7779 info@dmflighting.com dmflighting.com  
© 2025 DMF Lighting. All Rights Reserved. Specifications subject to change without notice. See website for U.S. and international patent information.



Fixture not used for exterior use

- A - Recessed Ceiling Can - Dark sky compliant
- 2700K
- 0 fixtures
- Located in roof soffits

## TUBE ARCHITECTURAL DS-WD08

LED Wall Mounts



#### PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

#### FEATURES

- High performance exterior rated LED wall mount light
- ~~Can be used to install up, down or both light distribution~~
- Solid aluminum construction
- 5 year warranty

#### SPECIFICATIONS

**Input:** Universal voltage 120V - 277V AC, 50/60Hz  
**Dimming:** Electronic low voltage (ELV) 100% - 5% 0-10V 100% - 1%  
**Light Source:** High output 3 Step Mac Adam Ellipse COB Rated life of 60,000 hours at L70  
**Finish:** Electrostatically powder coated, white, black, bronze and graphite  
**Standards:** IP65 rated, ETL & cETL wet location listed Title 24 JAB 2016 Compliant  
**Operating Temp:** -13°F to 122°F (-25°C to 50°C)

#### ORDERING NUMBER

Diameter	Watt	Beam Angle	Color Temp.	CRI	Reference Output*	Efficacy (lm/w)	Light Distribution	Finish
S Straight down	18"	18°	9275	2700K	90	8080 x 2	51.87	57 x 2
			275	2700K	85	2885 x 2	16.84	57 x 2
			305	3000K	85	3355 x 2	18.97	86 x 2
			355	3500K	85	4030 x 2	18.97	86 x 2
			405	4000K	85	4095 x 2	20.15	89 x 2
N Straight up and down	25"	25°	9275	2700K	90	3185 x 2	105.56	68 x 2
			275	2700K	85	8080 x 2	14.26	82 x 2
			305	3000K	85	3180 x 2	17.89	82 x 2
			355	3500K	85	4070 x 2	13.60	88 x 2
			405	4000K	85	4240 x 2	14.00	92 x 2
F Straight up and down	35"	35°	9275	2700K	90	3015 x 2	54.75	66 x 2
			275	2700K	85	3785 x 2	22.11	82 x 2
			305	3000K	85	3210 x 2	61.11	70 x 2
			355	3500K	85	3850 x 2	73.34	84 x 2
			405	4000K	85	3945 x 2	75.17	85 x 2
DS-WD08 8" 34W v2	8"	N/A	927A	2700K	90	3020 x 2	66 x 2	
			27A	2700K	85	3790 x 2	82 x 2	
			30A	3000K	85	3210 x 2	70 x 2	
			35A	3500K	85	3850 x 2	84 x 2	
			40A	4000K	85	4015 x 2	87 x 2	
DS-WD0869 8" 34W v2	8"	N/A	927B	2700K	90	3020 x 2	66 x 2	
			27B	2700K	85	3790 x 2	82 x 2	
			30B	3000K	85	3210 x 2	70 x 2	
			35B	3500K	85	3850 x 2	84 x 2	
			40B	4000K	85	4015 x 2	87 x 2	
F Towards the wall	N/A	N/A	927C	2700K	85	3270 x 2	82 x 2	
			27C	2700K	85	3790 x 2	70 x 2	
			30C	3000K	85	3210 x 2	70 x 2	
			35C	3500K	85	3850 x 2	84 x 2	
			40C	4000K	85	4015 x 2	87 x 2	
F One side each	N/A	N/A	927C	2700K	85	3270 x 2	82 x 2	
			27C	2700K	85	3790 x 2	70 x 2	
			30C	3000K	85	3210 x 2	70 x 2	
			35C	3500K	85	3850 x 2	84 x 2	
			40C	4000K	85	4015 x 2	87 x 2	

Example: DS-WD08-F930A-WT Reference output shows 40W output. Multiply by 0.8 to determine output for 34W combinations

wacighting.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center  
Phone (800) 526-2588 44 Harbor Park Drive 1600 Distribution Ct 1750 Archibald Avenue  
Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. SEPT 2019

#### C - Wall sconce -

- Dark sky compliant
- CRI 2700K
- 8 fixtures
- Garage/Entry - 8ft high
- Upper Level Patio - 8ft high

## RECTANGLE STEP LIGHTS 12V

4011

## WAC

LANDSCAPE LIGHTING

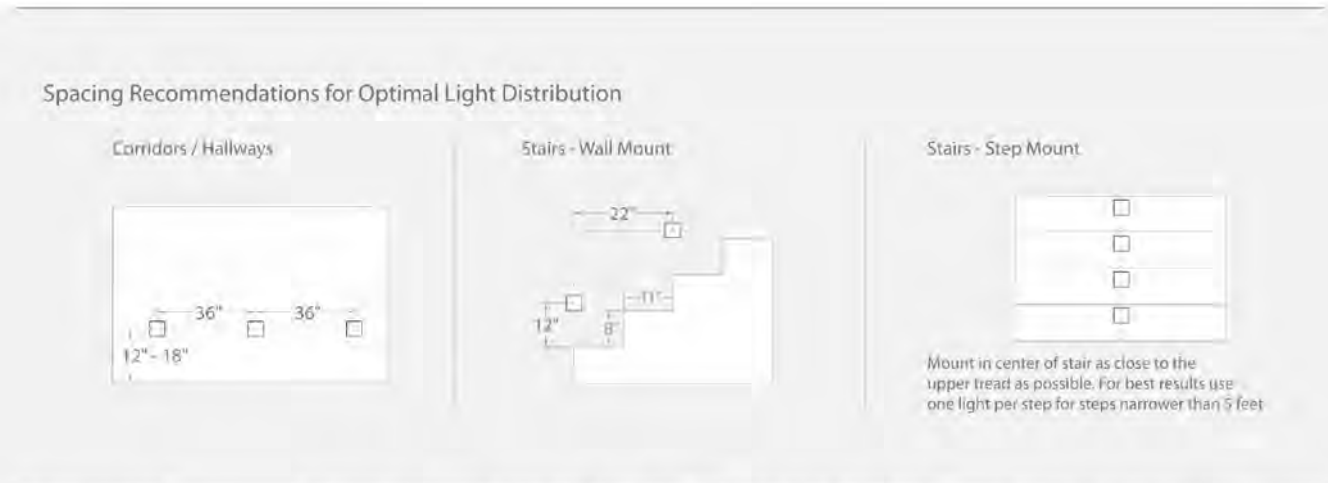


#### TESTED MAGNETIC LOW VOLTAGE (MLV) DIMMERS

Luminaire	Manufacturer	Family	Model	Power Rating	Range*	Note
4011	LUDON	11100K	SLV-600P	600W	12% - 100%	Best performance
		11100K	S-10P	1100W		Not recommended

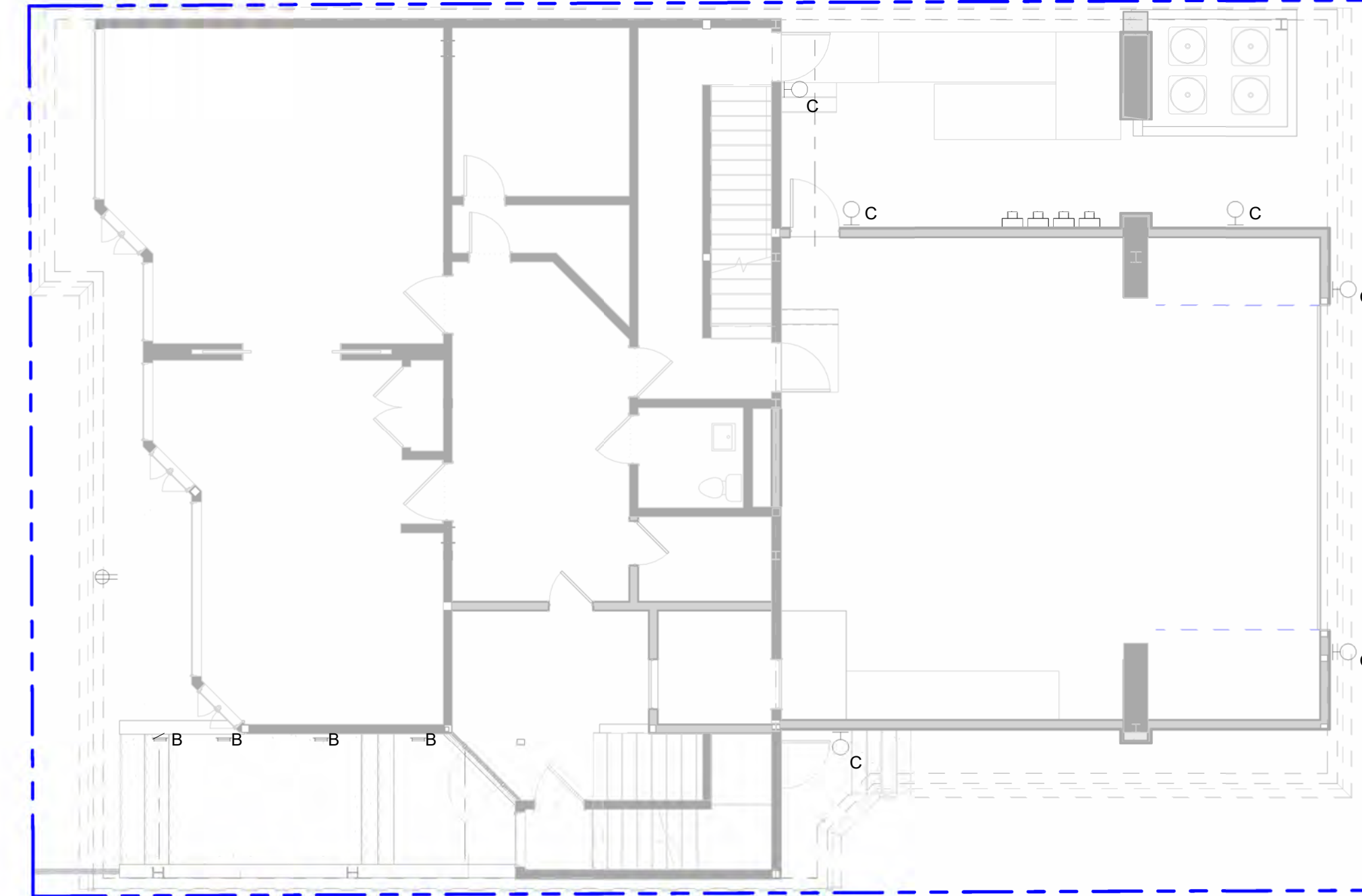
\*Low end of this range is determined by output current which may not directly translate to the perceived light output

WAC Lighting fixtures are compatible with a variety of dimmers. For your convenience we have included a compatibility chart showing dimmers which have been tested with our products. The recommended list below is based upon testing conducted in a lab, and the results can vary in certain field applications due to a number of factors. Exclusion from the list does not imply incompatibility, just that it has not been tested by WAC Lighting. Please reference the dimmer manufacturer's instructions for installation, or contact a WAC Lighting professional at 800-526-2588.



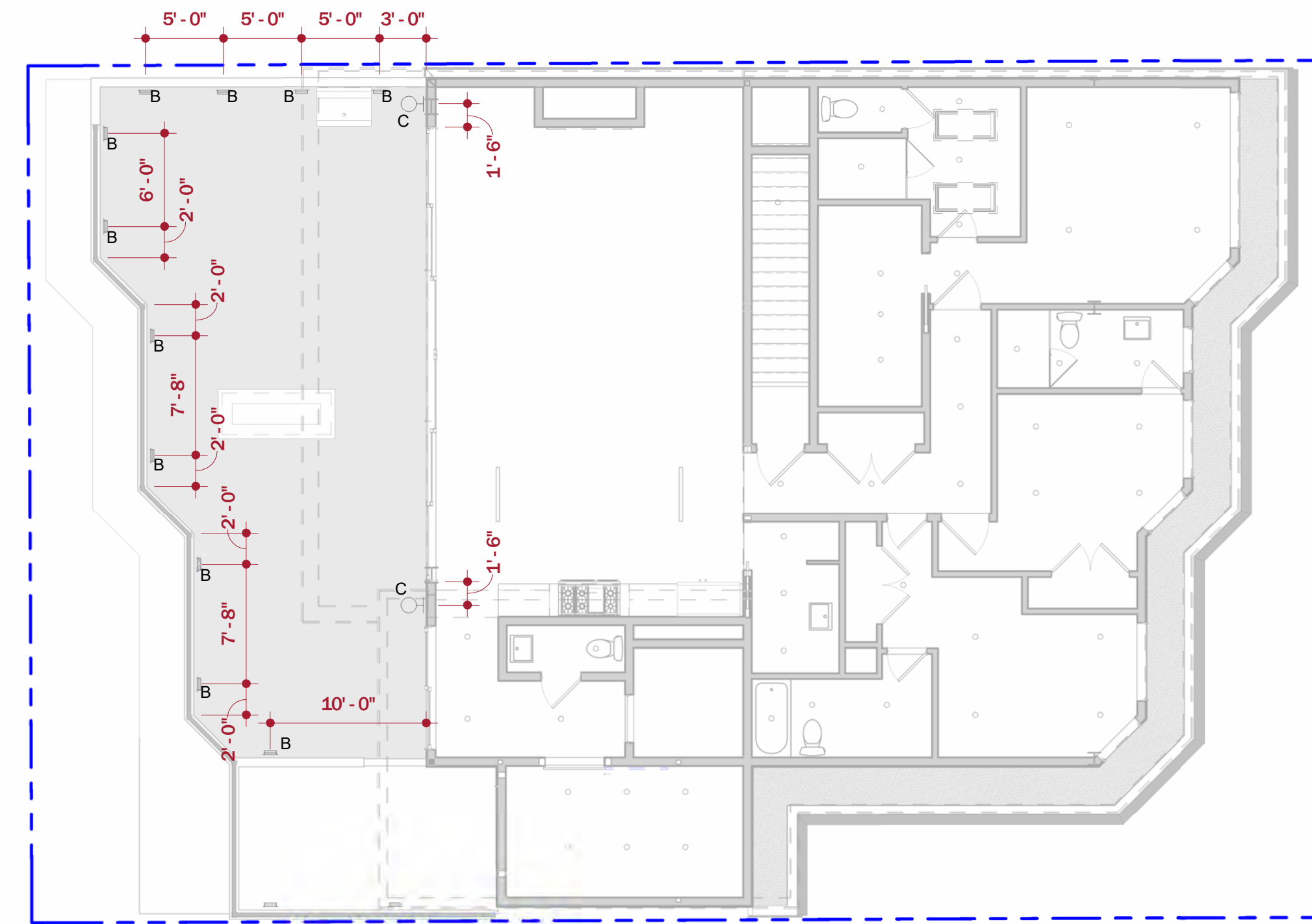
wacighting.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center  
Phone (800) 526-2588 44 Harbor Park Drive 1600 Distribution Ct 1750 Archibald Avenue  
Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016



1 exterior lighting plan - 1st floor

E-100 1/8" = 1'-0"



2 exterior lighting plan - 3rd floor

E-100 1/8" = 1'-0"



BRUNELLE ARCHITECTS  
INC

120 Chestnut Rd  
PO Box 3294  
Hailey, Idaho  
83433-0294  
p 208.989.0171

PROJECT:  
120 N East LLC

120 N East Ave  
Ketchum, Idaho  
83340

Permit Set: 02/06/2025  
Construction Set: xx/xx/xx

REVISION DATE

NOTES:



electrical

SCALE: As indicated

E-100

DRAWN BY: Author

Plot Date: 2/6/2025 4:01:50 PM

44





**City of Ketchum  
Planning & Building**

IN RE: )  
 )  
Limelight Hotel ) **KETCHUM PLANNING & ZONING COMMISSION**  
PUD CUP & DA Amendment Applications ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
Date: May 27, 2025 ) **RECOMMENDATION**  
 )  
File Numbers: P25-001 & P25-001A )

**PROJECT:** Limelight Hotel PUD CUP & DA Amendment

**APPLICATION TYPES:** Planned Unit Development Conditional Use Permit Amendment &  
Development Agreement Amendment

**FILE NUMBERS:** P25-001 & P25-001A

**OWNER:** Limelight Ketchum 2 LLC

**REPRESENTATIVE:** Jim Garrison

**LOCATION:** 151 S Main Street (151 South Main Hotel & Residences)

**ZONING:** Retail Core of the Community Core (CC-1 Zone)

**OVERLAY:** None

**RECORD OF PROCEEDINGS**

A public hearing notice for the Limelight Hotel Planned Unit Development (“PUD”) Conditional Use Permit (“CUP”) Amendment and Development Agreement (“DA”) Amendment Applications was mailed to all owners of property within 300 feet of the project site and all political subdivisions on April 16, 2025. The public hearing notice was published in the Idaho Mountain Express on April 16, 2025. A public hearing notice was posted on the project site and the city’s website on April 22, 2025. The amendment applications were considered by the Planning and Zoning Commission (“Commission”) during their special meeting on May 7, 2025. After considering Commission Findings, the applicant’s presentation, and public comment, the Commission recommended approval of the Limelight Hotel PUD CUP & DA Amendment Applications to the City Council subject to conditions with a vote of 4-1.

**HOTEL PUD CUP & DA AMENDMENT PROCEDURES**

Hotels may exceed maximum floor area, height, and minimum open site area requirement through a PUD (KMC §17.124.050.A). PUDs are considered conditional uses within all zoning districts (KMC



§16.08.060) and are required to obtain conditional use permits pursuant to KMC §16.08.050. The procedures for evaluating PUD CUPs are outlined in KMC §16.08.110 and KMC §16.08.120. The first step in the PUD CUP review process is a public hearing with the Commission. Pursuant to KMC §16.08.110:

*The commission shall make findings, together with recommendations, including but not limited to, approval with appropriate conditions or denial of the application. Thereafter, the conditional use permit application together with the record and recommendations of the commission, shall be forwarded to the City Council for final action.*

KMC 16.08.130 provides a non-exhaustive list of conditions that the City Council may impose as part of the PUD CUP process. Conditions may include:

- Minimizing adverse impact on surrounding properties, developments and/or public services, facilities or utilities.
- Designating the exact location and nature of development.
- Requiring more restrictive development standards than those generally required in applicable ordinances.
- Restrictions on the future use of the proposed development. This includes appropriate mechanisms to guarantee the affordability of community housing units (for example, deed restrictions).
- Require provision of adequate employee housing.
- Such other reasonable conditions as the City Council may deem appropriate with regard to the proposed PUD.

Conditions are not limited to those listed in the PUD Ordinance.

Hotels must enter into a DA with the city as part of the approval process. Pursuant to KMC §17.124.050.B5, the DA may address, “community housing, hotel room uses and restrictions, public access on the property, alternatives and remedies if the hotel use ceases, and any other issues the Commission or City Council deems appropriate.” Hotel DAs follow the process outlined for PUDs.

## **BACKGROUND**

The applicant, Limelight Ketchum 2 LLC, represented by Jim Garrison, has applied for amendments to the Planned Unit Development (PUD) Conditional Use Permit (CUP) and the Development Agreement (DA) for the Limelight Hotel located at 151 S Main Street in the Retail Core of the Community Core (CC-1 Zone). The applicant proposes converting 11 hotel rooms on the fourth floor into two market-rate residential condominium units. This request requires amendments to the Limelight Hotel PUD CUP & DA.

Pursuant to the definition of hotel specified in Ketchum Municipal Code (KMC) §17.08.020, hotels are permitted to include residential uses provided that the total gross square footage of hotel uses comprise 75% or more of the project’s total gross square footage. As approved through the original 2010 PUD, the 2013 PUD amendment, and the 2015 Design Review Modification, the Limelight Hotel currently provides 99 hotel 109 hotel rooms (including 10 lock-off units) and 14 residential units. 78.3% of the total building area is currently dedicated to hotel use.

The conversion proposed with the amendment request would result in 98 total hotel rooms (including 10 lock-off units) and 16 residential units. The total building area dedicated to hotel uses would be reduced to 75.1%, which complies with the hotel definition specified in KMC §17.08.020. The proposal



requires an amendment to the Limelight Hotel PUD CUP to reflect the program changes. In addition, the proposed conversion requires an amendment to the Limelight Hotel DA.

The Commission recommends approval of the proposed conversion provided the applicant fulfills the community housing contribution required for the new residential through one of the outright options specified in KMC §17.124.040.B.2f.

#### Limelight Hotel Approvals & Agreements

The City Council approved the original PUD CUP for the Limelight Hotel on June 7, 2010. At the time of the original PUD approval, the hotel was named Bald Mountain Lodge. Following the original PUD approval in 2010, the Limelight Hotel received numerous approvals for design and programming changes and entered into multiple agreements with the city.

The hotel program approved through the original 2010 PUD included 82 hotel rooms, 9 lock-off units on the fourth floor, and 26 residential condominium units on the fourth and fifth floors. The hotel program resulted in: (1) an employee housing requirement of 23 employee housing units and (2) a community housing requirement of 7,444 square feet or approximately \$2.36 million in-lieu fee payment. The employee and community housing requirements were waived in their entirety through the PUD process as an incentive to commence construction of the hotel project.

The PUD Ordinance gives City Council the authority to grant waivers from zoning and subdivision standards on a case-by-case basis provided the waiver is not detrimental to the public welfare, health, and safety or injurious to property owners in the surrounding area. The PUD Ordinance states:

*Modification or waiver from certain standard and subdivision requirements may be permitted subject to conditions, limitations and/or additional development standards, pursuant to section 16.08.130 of this chapter, as the City Council may prescribe to mitigate adverse impact at the proposed planned unit development, or to further the land use policies of the City, or to ensure that benefits derived from the development justify a departure from such regulations (KMC §16.08.080).*

The Limelight Hotel was granted multiple waivers through the PUD CUP. A summary of these waivers is provided in Table 5 of the 2013 PUD CUP Amendment approval. Waivers were granted for multiple zoning code requirements, including use, site, mass, and height specifications required for developments in the Community Core. The employee and community housing waivers were used as incentives to commence construction quickly and expedite the issuance of a Certificate of Occupancy for the hotel portion of the project in order to derive the economic benefits that would result from increasing tourist accommodations.

The Limelight Hotel (formerly Bald Mountain Lodge) DAs and amended DAs provided different incentives related to the employee housing and community housing waivers for three different construction timelines. If the first construction timeline was met, then the employee and community housing requirements were waived in their entirety. If the second construction timeline was met, then: (1) the community housing requirement was waived in its entirety and (2) 50% of the employee housing requirement was waived. Waivers did not apply under the third construction timeline, and the employee and community housing requirements had to be fulfilled in their entirety. The original Bald Mountain Lodge DA was amended three times to extend the construction timelines before the current Limelight Hotel DA became effective.



On November 5, 2012, the City Council considered a request from Bald Mountain Lodge LLC for a second extension to the construction timelines specified in the DA. In exchange for extending the timelines, the developer agreed to modify the original fourth-floor program from residential condominium units to hotel guest rooms. The PUD CUP Amendment to reflect this change was approved on May 6, 2013. The conversion of the fourth-floor residential units to hotel rooms resulted in a total of 119 hotel rooms and 8 residential units on the fifth floor. 86.7% of the total building area was dedicated to hotel uses.

On November 24, 2014, Aspen Skiing Company and Bald Mountain Lodge LLC conducted a workshop with the Planning and Zoning Commission on proposed modifications to the design of the approved hotel project. The Commission determined that the proposed programming changes would not necessitate a PUD amendment but that the proposed exterior changes required the Commission's review and approval of a Design Review Modification. Aspen Skiing Company, the current owner, purchased the Bald Mountain Lodge project in December of 2014. The Commission approved the Limelight Hotel Community Core Design Review Modification on April 2, 2015. The modifications included changes to the hotel program that resulted in 98 total hotel rooms, 10 lock-off units, and 14 residential units. 78.3% of the total building area was dedicated to hotel uses.

On April 20, 2015, the city entered into a DA with Limelight Hotel LLC. This DA superseded and replaced the original DA with Bald Mountain Lodge LLC. Building Permit No. 15-038 was issued for the construction of the Limelight Hotel on October 1, 2015, and the Certificate of Occupancy for the hotel portion of the project was issued on December 22, 2016.

### FINDINGS OF FACT

The Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Recommendation as follows:

Pursuant to KMC §17.124.050.A, hotels may exceed maximum floor area, height, and minimum open site area requirement through a PUD. KMC §16.08.080 sets forth the standards the apply to the review of all PUD CUP applications. Pursuant to KMC §16.08.080:

*The standards shall be used to review and evaluate the proposal in comparison to the manner of development and effects of permitted uses and standard development allowed on the property in question. Modification or waiver from certain standard zoning and subdivision requirements may be permitted subject to such conditions, limitations and/or additional development standards, pursuant to section 16.08.130 of this chapter, as the City Council may prescribe to mitigate adverse impact at the proposed planned unit development, or to further the land use policies of the City, or to ensure that the benefits derived from the development justify a departure from such regulations. Where the City Council determines that conditions cannot be devised to achieve the objectives, and/or the standards contained in this chapter are not met, applications for conditional use permits shall be denied. The City Council shall make findings that each of the following evaluation standards have been met.*

The following Commission findings evaluates the Limelight PUD CUP & DA Amendment Applications requesting to convert 11 hotel rooms on the fourth floor into two residential units for conformance with the PUD evaluation standards specified in KMC §16.08.080. Many of the standards are not



applicable to the Limelight Hotel PUD CUP & DA Amendment Applications as no changes are proposed to the siting, design, height, bulk, or mass of the existing Limelight Hotel.

### **Findings Regarding Hotel PUD CUP Standards of Evaluation (KMC §16.08.080)**

*A: Minimum lot size of three acres. All land within the development shall be contiguous except for intervening waterways. Parcels that are not contiguous due to intervening streets are discouraged. However, the commission and the council may consider lands that include intervening streets on a case by case basis. The commission may recommend waiver or deferral of the minimum lot size, and the council may grant such waiver or deferral only for projects which:*

- 1. Include a minimum of 30 percent of community or employee housing, as defined in section 16.08.030 of this chapter;*
- 2. Guarantee the use, rental prices or maximum resale prices based upon a method proposed by the applicant and approved by the Blaine County Housing Authority and/or the Ketchum City Council; and*
- 3. Are on parcels that are no less than one and one-half acres (65,340 square feet). Application for waiver or deferral of this criteria shall include a description of the proposed community or employee housing and the proposed guarantee for the use, rental cost or resale cost.*
- 4. For a hotel which meets the definition of "hotel" in section 17.08.020, "Terms defined", of this Code, and conforms to all other requirements of section 17.18.130, "Community Core District (CC)", or section 17.18.100, "Tourist District (T)", of this Code. Waivers from the provisions of section 17.18.130 of this Code may be granted for hotel uses only as outlined in section 17.124.040 of this Code. Waivers from the provisions of section 17.18.100 of this Code may be granted for hotel uses only as outlined in section 17.124.040 of this Code.*

Commission Findings: N/A. A waiver to the minimum three acre parcel size was granted to the Limelight Hotel with the original 2010 PUD. The subject property is 1.12 acres. The PUD CUP & DA Amendment applications requests to convert 11 hotel rooms on the fourth floor into two residential units. The amendment results in 88 total hotel rooms, 10 lock-off units, and 16 residential units on the fourth and fifth floors. 75.1% of the total building area is dedicated to hotel use. The proposed amendment complies with the hotel definition.

*B: The proposed project will not be detrimental to the present and permitted uses of surrounding areas.*

Commission Findings: N/A. No changes are proposed to the exterior design, height, bulk, or mass of the existing Limelight Hotel. Improvements will be limited to an interior remodel of the fourth floor to convert the 11 hotel rooms into two residential units. The Commission does not believe the proposed amendment will impact present and permitted uses in the surrounding area. For the original 2010 DA, the City Council found that this standard had been met. The City Council findings stated that:

The proposed development will not be detrimental to the current and permitted uses in the area. The proposed hotel is a permitted used within the CC zoning district and comparable in bulk and mass with the previously approved Hotel Ketchum on the southeast corner of Main and River Streets, although the proposed hotel is substantially larger.

*C: The proposed project will have a beneficial effect not normally achieved by standard subdivision development.*



Commission Findings: N/A. This standard is not applicable because the proposed development is a hotel and not a new land subdivision. The City Council findings for the 2010 PUD stated that:

This standard is not applicable because the proposed development is not a subdivision.

However, potential benefits include economic development, significant contribution toward the undergrounding of overhead power lines along the Main Street corridor at this gateway area, and an increase in the overall number of “hotbeds” in the City.

*D: The development shall be in harmony with the surrounding area.*

Commission Findings: The Commission believes the proposal complies with this standard. The amendment proposal will convert 11 hotel rooms into two residential units. Multi-family residential units are permitted in the Retail Core (CC-1 Zone) except for on the ground floor with street frontage. The surrounding neighborhood includes a mix of residential, commercial, and mixed-use developments. The fifth floor of the Limelight Hotel contains 14 residential units. The proposal will increase the total number of residential units in the Limelight Hotel to 16.

The City Council findings for the 2010 PUD stated that:

The City Council has considered this standard and found that it has been met. The surrounding area consists of a mix of commercial uses including a hotel across Main Street. Although the proposed Hotel Ketchum will provide comparable size and scale, the project will be substantially larger than other buildings in the area, but perceived impacts result from height and bulk have been limited through the required design review. The proposed design is sensitive to the adjacent Forest Service Park, and incorporating a connection along Washington Street which includes a new streetscape design, angled parking, redefined park entrance would further enhance this heritage site. The Commission approved the 4<sup>th</sup> and 5<sup>th</sup> setback waiver with a 4-1 vote and the City Council unanimously approved the 4<sup>th</sup> and 5<sup>th</sup> setback waiver.

*E: Densities*

1. *Densities and uses may be transferred between zoning districts within a PUD as permitted under this chapter, provided, the aggregate overall allowable density of units and uses shall be no greater than that allowed in the zoning district or districts in which the development is located. Notwithstanding the above, the commission may recommend waiver or deferral of the maximum density and the council may grant additional density above the aggregate overall allowable density only for projects which construct community or employee housing and which:*
  - a. *Include a minimum of 30 percent of community or employee housing, as defined in section 16.08.030 of this chapter; and*
  - b. *Guarantee the use, rental prices or maximum resale prices thereof based upon a method proposed by the applicant and approved by the Blaine County Housing Authority and/or the Ketchum City Council.*
2. *Application for waiver or deferral of this criteria shall include a description of the proposed community or employee housing and the proposed guarantee for the use, rental cost or resale cost.*

Commission Findings: N/A. This standard does not apply as the PUD is contained within the Retail Core and does not contain multiple zone districts to transfer densities between.

*F: The proposed vehicular and nonmotorized transportation system:*



1. *Is adequate to carry anticipated traffic consistent with existing and future development of surrounding properties.*
2. *Will not generate vehicular traffic to cause undue congestion of the public street network within or outside the PUD.*
3. *Is designed to provide automotive and pedestrian safety and convenience.*
4. *Is designed to provide adequate removal, storage and deposition of snow.*
5. *Is designed so that traffic ingress and egress will have the least impact possible on adjacent residential uses. This includes design of roadways and access to connect to arterial streets wherever possible, and design of ingress, egress and parking areas to have the least impact on surrounding uses.*
6. *Includes the use of buffers or other physical separations to buffer vehicular movement from adjacent uses.*
7. *Is designed so that roads are placed so that disturbance of natural features and existing vegetation is minimized.*
8. *Includes trails and sidewalks that create an internal circulation system and connect to surrounding trails and walkways.*

Commission Findings: The conversion of 11 hotel rooms on the fourth floor into two residential units will not noticeably change the project's traffic impacts. No changes are proposed to the existing vehicular or pedestrian circulation or snow storage. The proposed PUD amendment decreases the total amount of parking required for the project from 123 spaces to 120 parking spaces.

*G: The plan is in conformance with and promotes the purposes and goals of the comprehensive plan, zoning ordinance, and other applicable ordinances of the City, and not in conflict with the public interest.*

Commission Findings: The 2014 Comprehensive Plan ("2014 Plan") highlights the tourism industry as an essential component of Ketchum's economy and encourages growing the lodging industry, increasing visitor numbers through marketing, and enhancing tourism services and attractions downtown. Goal E-3 of the 2014 Plan states, "Ketchum depends heavily on tourism to support the local economy and will continue to support this industry" (page 17). Policy E-3(B) states that the city will, "Continue to support tourism-related land uses and businesses including lodging development and venues" (page 17).

Emphasizing Ketchum's need for housing that is attainable to the workforce, the 2014 Plan states that, "The Ketchum community wants the majority of people who work in Ketchum to have an opportunity to reside here," and that, "a diversity of housing is critically linked to a strong economy and year-round population" (page 19). Policy H-1.2 encourages "locally-developed solutions" to provide more attainable housing (page 20). Policy H-3.1 states that, "The City should encourage the private sector, through land-use regulations and incentive programs, to provide a mixture of housing types with varied price ranges and densities that meet a variety of needs." Policy H-1.2 acknowledges that Ketchum's attainable housing needs will "likely will not be met solely through private development" and emphasizes that the city will play active role in facilitating affordable housing opportunities (page 20).

The 2014 Plan places the responsibility for providing more attainable housing on both private developers and the city. This issue is central to the Limelight Hotel PUD CUP & DA Amendment request. The Limelight Hotel is the only hotel project in Ketchum that received waivers for 100% of the required employee and community housing. The waivers were granted as an incentive to start



construction quickly. The Limelight Hotel received a Certificate of Occupancy on December 22, 2016. The incentive to quickly commence construction is no longer applicable. The Commission believes the conversion request complies with this standard provided the applicant fulfills the community housing contribution for the new residential use through one of the outright options specified in Ketchum Municipal Code §17.124.040.B.2f.

1. *Pursuant to subsection 16.08.070.D of this chapter, all of the design review standards in chapter 17.96 of this Code shall be carefully analyzed and considered. This includes detailed analysis of building bulk, undulation and other design elements. The site plan should be sensitive to the architecture and scale of the surrounding neighborhood.*

Commission Findings: N/A. No changes are proposed to the existing design, height, bulk, or mass of the existing Limelight Hotel.

2. *The influence of the site design on the surrounding neighborhood, including relationship of the site plan with existing structures, streets, traffic flow and adjacent open spaces, shall be considered.*

Commission Findings: N/A. No changes are proposed to the existing site design.

3. *The site design should cluster units on the most developable and least visually sensitive portion of the site.*

Commission Findings: N/A. No changes are proposed to the existing site design.

*H: The development plan incorporates the site's significant natural features.*

Commission Findings: N/A. No changes are proposed to the existing site design.

*I: Substantial buffer planting strips or other barriers are provided where no natural buffers exist.*

Commission Findings: N/A. No changes are proposed to the existing site design or landscaping.

*J: Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner.*

Commission Findings: N/A. The Limelight Hotel was issued a Certificate of Occupancy on December 22, 2016. Improvements associated with the request will be limited to an interior remodel of the fourth floor to convert the 11 hotel rooms into two residential units.

*K: Adequate and usable open space shall be provided. The applicant shall dedicate to the common use of the homeowners or to the public adequate open space in a configuration usable and convenient to the residents of the project. The amount of usable open space provided shall be greater than that which would be provided under the applicable aggregate lot coverage requirements for the zoning district or districts within the proposed project. Provision shall be made for adequate and continuing management of all open spaces and common facilities to ensure proper maintenance.*

Commission Findings: N/A as no changes are proposed to the existing site design or usable open space area.

*L: Location of buildings, parking areas and common areas shall maximize privacy within the project and in relationship to adjacent properties and protect solar access to adjacent properties.*

Commission Findings: N/A. No changes are proposed to the site design, height, bulk, and mass of the existing Limelight Hotel.



*M: Adequate recreational facilities and/or daycare shall be provided. Provision of adequate on site recreational facilities may not be required if it is found that the project is of insufficient size or density to warrant same and the occupant's needs for recreational facilities will be adequately provided by payment of a recreation fee in lieu of such facilities to the City for development of additional active park facilities. On site daycare may be considered to satisfy the adequate recreational facility requirement or may be required in addition to the recreational facilities requirement.*

Commission Findings: N/A as no change is proposed to the existing recreational facilities in the Limelight Hotel.

*N: There shall be special development objectives and special characteristics of the site or physical conditions that justify the granting of the PUD conditional use permit.*

Commission Findings

When the PUD was approved in 2010, the City Council found that, “The City has established that increasing tourist accommodations by encouraging hotel development is a priority,” and, “the economic benefits of such a development have been recognized by the City Council as an important factor in approving the project. The City Council findings for the 2013 PUD amendment (see Attachment G) state:

*The current PUD amendment proposes to convert the entire fourth floor from residential to hotel use. This results in an economic benefit of an addition thirty seven (37) hotel rooms in the Community Core. The employee housing requirement has changed from a requirement of twenty-three (23) employee housing units to thirty (30) employee housing units. These are special development objectives that continue to justify the granting of a PUD. The City has established the need for hotels and hotbeds as a priority. The economic benefits of such a project are substantial.*

Figure 1 shows the special development objectives that were summarized in the City Council findings for the original 2013 PUD Amendment. When both the original 2010 PUD and 2013 PUD amendment were approved, The City Council found that the economic benefits of the 4-star hotel justified granting approval of the PUD and associated waivers.

The Limelight Hotel continues to provide economic benefits to the city through the Local Option Tax (LOT) collected from hotel room, liquor-by-the drink, and retail sales. The LOT money remains in Ketchum and is invested in a wide range of City services and economic development initiatives that benefit local residents and businesses in accordance with the allowable uses approved by voters. Those uses include: municipal transportation, open space acquisition and recreation, capital improvements, emergency services, city promotion, visitor information, and special events.

**TABLE 10: SPECIAL DEVELOPMENT OBJECTIVES**

<b>Special Development Objective, special Characteristics of the Site or Physical Conditions</b>	<b>Type of Objective</b>
4-Star Hotel	Economic (see fiscal impact analysis by Randy Young dated January 31, 2010)
Conference Space (seating for 250-275 persons)	Economic
Employee Housing for 23 employees (waived if construction commences by 2012; partial waiver if construction commences by 2013)	Social and Economic
Proposed contribution towards the undergrounding of overhead power lines (amount to be determined)	Aesthetic; Economic
Pedestrian improvements to public right-of-way to create enhance pedestrian experience,	Aesthetic; Economic

*Figure 1: 2013 PUD Amendment Special Development Objectives*



*O: The development will be completed within a reasonable time.*

Commission Findings: N/A. The Limelight Hotel was issued a Certificate of Occupancy on December 22, 2016. Improvements associated with the request will be limited to an interior remodel of the fourth floor to convert the 11 hotel rooms into two residential units.

*P: Public services, facilities and utilities are adequate to serve the proposed project and anticipated development within the appropriate service areas.*

Commission Findings: Public services, facilities, and utilities are adequate to serve the request to convert 11 hotel rooms into two residential units. The PUD CUP & DA Amendment applications were reviewed by city departments, including Fire, Streets, Utilities, and the City Engineer. City departments had no comments or concerns about the amendment request.

*Q: The project complies with all applicable ordinances, rules and regulations of the City of Ketchum, Idaho, except as modified or waived pursuant to this section.*

Commission Findings: The proposed development meets the standards of the zoning ordinance with the exception of the waivers that were granted by the city through the original 2010 PUD and 2013 PUD amendment processes provided that the applicant fulfills the community housing contribution required for the new residential use.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s PUD CUP & DA Amendment Applications for the development and use of the project site.
2. The Limelight Hotel PUD CUP & DA Amendment Applications are governed under Chapter 16.08—Planned Unit Developments and §17.124.050—Hotels of Ketchum Municipal Code.
3. The Commission has authority to hear the Limelight Hotel PUD CUP & DA Amendment Applications pursuant to Ketchum Municipal Code §16.08.110 and §17.124.050.B5.
4. The City of Ketchum Planning Department provided notice for the Planning and Zoning Commission public hearing on these applications in accordance with Ketchum Municipal Code §16.08.110.
5. As conditioned, the Limelight Hotel PUD CUP & DA Amendment Applications meet all applicable standards specified for hotel developments and hotel PUDs specified in Chapter 16.08—Subdivisions and Title 17—Zoning Regulations of the Ketchum Municipal Code.



## DECISION

**THEREFORE**, the Ketchum Planning and Zoning Commission **recommends approval** of the Limelight Hotel PUD CUP & DA Amendment applications to the City Council this Tuesday, May 27, 2025, subject to the following condition of approval.

## CONDITION OF APPROVAL

The Limelight Hotel PUD CUP & DA Amendment Applications propose 4,573 square feet of new residential use. The associated community housing contribution for the new residential use based on the calculation specified in Ketchum Municipal Code §17.124.040 is 777 net livable square feet of community housing or a community housing in-lieu fee (\$600 per square foot) of \$466,200. The applicant shall fulfill the community housing contribution for the proposed new residential use through one of the following outright options specified in Ketchum Municipal Code §17.124.040.B.2f:

- a. Deed restricting community housing constructed by the applicant on or off site within the City of Ketchum.
- b. Payment of the community housing in-lieu fee.
- c. Acquiring and deed restricting existing housing as community housing.

Findings of Fact **adopted** this 27<sup>th</sup> day of May 2025.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



# PLANING AND ZONING COMMISSION

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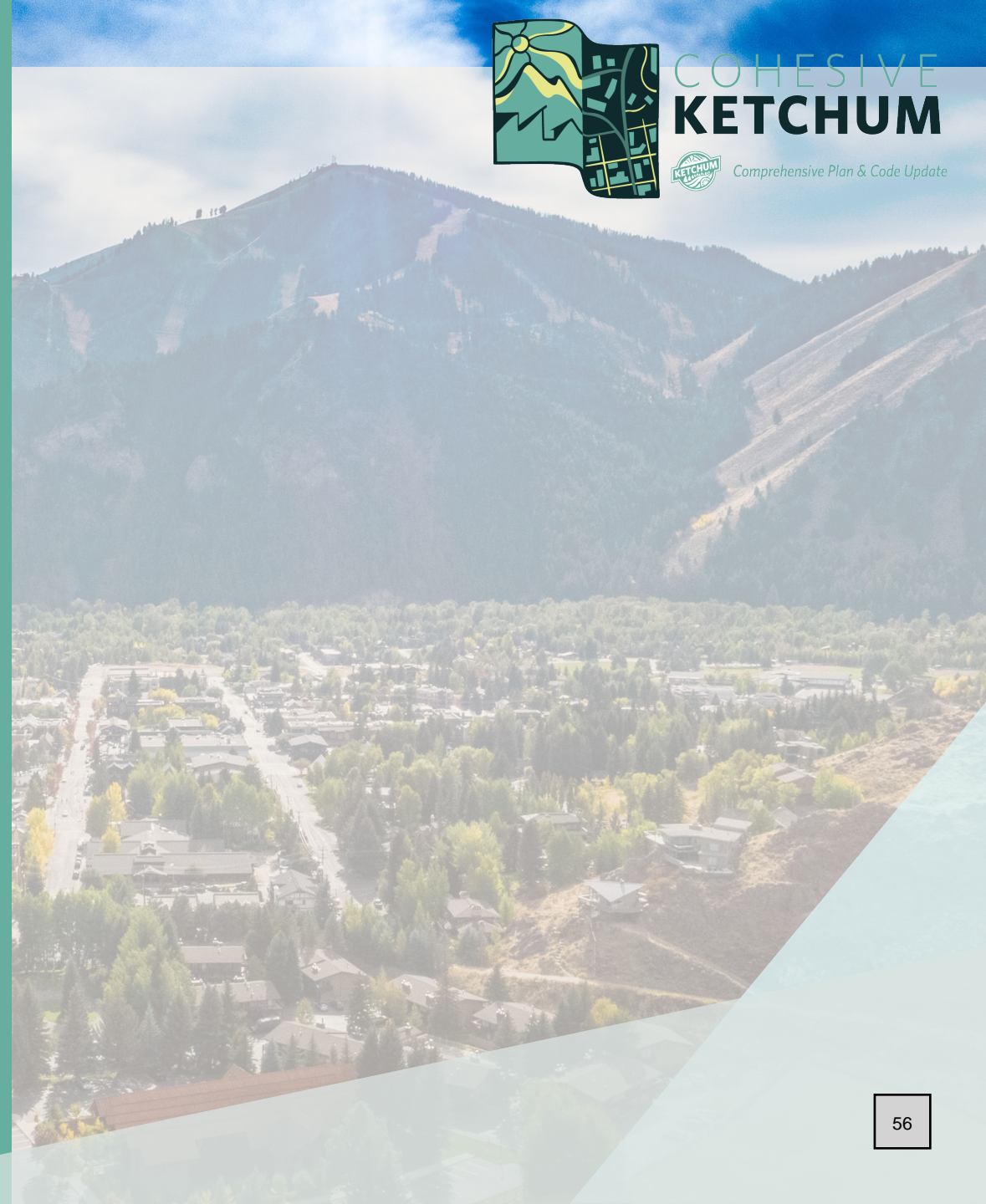
**May 13, 2025**



**COHESIVE  
KETCHUM**



*Comprehensive Plan & Code Update*





# GOAL OF THE MEETING

- Review the consolidated land development code
- No decision or discussion is expected today
- Continue to May 27<sup>th</sup> meeting



# PROCESS

- Staff Presentation
- Q&A
- Public Comment
- Discussion



# OVERVIEW

- **Consolidation of Titles 16, 17, and portions of 12**
- **General**
  - Improved page layout with dynamic headers that show chapter, section, and subsection on each page.
  - Consistent formatting and location of tables and graphics.
  - Clear and prominent hierarchy of heading titles (using color and/or bold fonts).
  - Consistent indentation and nested text.
  - Consistent use of Oxford comma (the current code is inconsistent here; we have begun making this correction but will need to continue this edit in subsequent drafts).
- **Annotated Outline** – where things came from and where we put them?





# CHANGES

- **Use Matrix (pages 78-82)**

- Procedure for new or unlisted uses
- Addition of “Bar/Lounge”, “Recreation Facility, semi-public”, and “Community Housing”
  - Bar/Lounge: permitted in the same zones under the same rules as “food service”
    - *Discussion: Is there support for Bar/Lounge in the LI currently?*
  - *Discussion: Community Housing is permitted use in all zone districts, however, the use table designations are specific to zones that have the FAR Density Bonus Program (needs clarification)*
- Live/Work – Permitted use in LI (previously CUP)
- Removal of “dwelling, one family” from T, T-3000, and T-4000
  - Initial change to reflect comprehensive plan discussions
  - *Discussion/Recommendation: Hold on removal until Phase 3 code updates*





# CHANGES

- **Multi-Family Requirements (page 83)**

- Moved requirements for storage, maintenance, and open space from subdivisions to general requirements
  - *Correction from draft: these requirements should apply to all multi-family, not just condominium developments*

- **Waivers/Variances/Exceptions (page 183)**

- Streamlined terminology to reference “exceptions” rather than “waivers” when there are opportunities to vary from the standards





# CHANGES

- **Nonconforming Uses/Buildings/Lots (pages 3-5)**
  - Simplified language to be more user friendly
  - Reorganized sections to group content more intuitively
  - Clarified “enlargements and expansions”, “alterations”, and “nonmaterial changes”
  - Removal of 10-year clause and “designed purpose” clause
  - Addition of non-conforming buildings within public rights-of-way provisions
  - Clarify prohibition of removal and reconstruction of non-conforming portions of buildings
  - Addition of nonconforming lots created by adoption of code.





# CHANGES

- **Floodplain Development Permits (pages 261-274)**
  - Reorganized to make information easier to find
  - Moved procedural and enforcement items to master sections addressing enforcement and procedures (pages 6-7)
- **Avalanche Overlay (pages 57-59)**
  - Require site specific for all lots (rather than defaulting to old studies)
  - Clarified what regulations apply to pre-existing non-engineered single-family residences



# CHANGES

- **Historic Preservation Standards (pages 278-280)**
  - Separate standards for Demolitions than Alterations/Additions
- **Off Street Parking and Loading Standards (pages 144-155)**
  - Clarification needed regarding parking reductions for shared parking and alternative parking arrangements
    - Current:
      - Administrator approval for parking demand reductions (up to 50%)
      - Administrator approval for transportation demand management reductions (up to 25%)
      - CUP required for shared parking arrangement reductions (varies)
    - *Discussion: Administrator authority seems inconsistent with magnitude of potential reduction, should this be adjusted?*





# CHANGES

- **Procedures**

- Added “Summary Table of Review Procedures” (pages 199-201)
- Organized procedures into two sections:
  - Common Review Procedures (pages 202-219)
  - Application Specific Requirements (pages 220-306)
- Development Review (pages 202-204)
  - Preapplication Meeting Requirement (staff only)
  - Neighborhood Meeting Requirement
  - *Discussion: Is there support for required staff meetings prior to project submittals? Is there support for required neighborhood meetings?*





# CHANGES

- **Procedures**

- ROW Encroachment Permits (page 242)
  - Administrative w/ discretion to take to Council
- Subdivisions (pages 289-306)
  - Minor and Major Subdivisions
  - Addition of “amendments” – Lot Line Shifts used to be the catch-all for any amendment
  - Final Plats administrative
- Performance Bonds and Development Agreements
  - Consolidated multiple references for consistency





# CHANGES

- **Procedures**

- Design Review (pages 231-237)
  - Addition of substantial landscaping projects now require design review
- *Correction from draft: The design review requirement for buildings greater than 48ft in height with a fourth or fifth floor should be deleted as it is covered under the other categories*
- *Discussion: Further clarification needed on City Council evaluation criteria for buildings with four or five floors*





An aerial photograph of a town nestled at the base of a large, forested mountain. The town features a grid-like street pattern with numerous houses and buildings. The mountain in the background has some cleared areas, possibly for skiing or development. The sky is blue with scattered white clouds. The word "QUESTIONS?" is overlaid in large, bold, black capital letters on the left side of the image.

# QUESTIONS?