



AGENDA

PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

We welcome you to watch Commission Meetings via live stream.

You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/85946015678>
Webinar ID: 859 4601 5678
2. Address the Commission in person at City Hall.
3. • Submit your comments in writing at participate@ketchumidaho.org (*by noon the day of the meeting*)

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER: By Neil Morrow

ROLL CALL: Pursuant to Idaho Code 74-204(4), all agenda items are action items, and a vote may be taken on these items.

COMMUNICATIONS FROM COMMISSIONERS:

1. Public Comment.

CONSENT AGENDA:

ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

2. Approval of the March 11, 2025 minutes from the Planning and Zoning Commission.

PUBLIC HEARING:

3. Recommendation to hold a public hearing on the Draft Cohesive Ketchum 2025 Comprehensive Plan and continue the hearing to April 8th.

4. Recommendation to review and approve the 140 West 2nd Design Review Application P24-092.
ADJOURNMENT:

Public Comment

March 13,2025

Dear Planning and Zoning,

We are writing today on behalf of long-time local business owners and Ketchum family Bill and Michelle Griffin and their three children.

The Griffins are very active and engaged members of our community. Bill has served the community in many ways, as Vice Chair and Governance Chair of The Community School Board and by Co-Founding and Co-Chairing *Our Lady of the Snows Foundation* to support the local Church, In addition, the Griffin family support many local nonprofits.

In 2011 the Griffin's acquired 140 West Second in Ketchum to operate a small contemporary art gallery called Wood River Art and now wishes to make improvements to the site that will enhance their current business in a new, upgraded gallery space along with residences for long term leasing above the gallery, The property will be held by the Griffin family.

In addition to representing local and internationally acclaimed artists, Wood River Art supports many local framers, installers, crate builders, bookkeepers, intern programs for local kids, connects with local galleries, The Sun Valley Museum and the community.

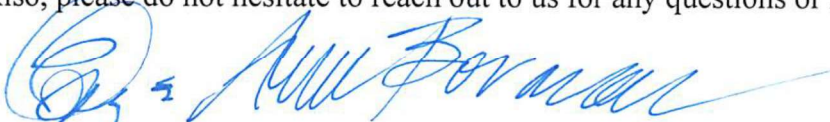
Building Design

The exterior finishes seek to establish a connection with the immediate surrounding neighborhood and the overall aesthetic of downtown Ketchum using natural materials such as regionally sourced stone, durable wood siding, and exterior plaster to compliment and draw out the earthtone colors found in the stone and wood. The three-story front façade scale softens as it rises using building undulation and material changes, starting with stone at the ground floor level, and transitioning to wood siding and plaster at the upper floor levels.

In addition to the fine art space, the building will include a one-bedroom unit on the first floor, a two-bedroom unit for lease on the second and a three-bedroom unit for lease on the third floor. The design harmonizes with the immediate neighborhood and Ketchum using a similar color palette, material composition, and scale of the surrounding buildings. The building is designed to be something of high quality that intends to enrich downtown Ketchum as well as provide a first class Fine Art showroom.

Please consider approving this plan. It is fully funded and eager to move forward.

Also, please do not hesitate to reach out to us for any questions or further references.



Gary and Anne Borman (also long time Ketchum residents)
gebmusic@me.com

Cyndy King

From: Frank Dulcich <FDulcich@pacificseafood.com>
Sent: Thursday, March 13, 2025 3:43 PM
To: Participate
Subject: Letter of Support for Bill Griffin's Project

Ketchum P & Z and City Council,

I am sending this letter to represent my absolute support of Bill and Michelle Griffin and their proposed building application.

As a fellow Ketchum resident of over a decade, I got to know Bill and Missi through our mutual involvement on The Community School Board and Our Lady of the Snows. I have nothing but respect for them, their integrity, and commitment to our community. Their business, Wood River Art, provides support to the local artist community and helps foster the culture of Ketchum as a vibrant and creative community.

Bill has shared with me that his family looks to be the long-term stewards of this property, creating a high-quality project. A project that will not only provide more creative and cultural access for the community through his fine arts space and mixed use in the core of downtown. All around it is a win for our community.

If you have any questions do not hesitate in contacting me.

Sincerely,

Frank and Jill Dulcich

140 West Second Street Project, Bill and Missi Griffin

March 13, 2025

Dear Members of the Ketchum P&Z Council--

This letter fully endorses Bill and Missi Griffin's application to build a handsome, in-scale three-story downtown Ketchum building.

The first story will house a gallery space that will display not only the work of world-renowned artists, such as James Turrell, David Hockney, and Mary Corse amongst others, but also local promising artists.

The second floor will include a one-bedroom and two-bedroom condominium units. The third floor will house a larger three-bedroom unit.

Importantly, there will be four off-street parking spaces.

The Griffin's been Valley residents since 2007. They are well-known and highly respected. During their time here, they have become community leaders by helping to actively guide and support the operations of many important non-profit institutions.

We believe that this will be a high-quality project that will continue to support many local businesses and will make Ketchum even more of a well-regarded creative arts community.

We hope that the Council Members will approve its construction.

Sincerely, Jay Hagenbuch and Kim Steel

Cyndy King

From: Frederic Boloix <frederic@boloix.com>
Sent: Friday, March 14, 2025 1:43 AM
To: Participate
Subject: RE: Support for Bill Griffin and his 140 West 2nd Street Project

March 14, 2025

To: City of Ketchum Planning and Zoning Commission

From: Frederic Boloix, Frederic Boloix Fine Arts

Dear members of the Planning and Zoning Commission,

My name is Frederic Boloix. I'm a 30-year resident and business owner in the Wood River Valley. I write to express my enthusiastic support for Bill and Michelle Griffin's proposed building project at 140 West 2nd Street in Ketchum, which includes an art space that will house Wood River Arts, a fine arts gallery featuring internationally renowned artists, as well as local artist Lisa Woods.

Since 1994, I have owned and operated Frederic Boloix Fine Arts, a business that included a gallery in Ketchum from 2002 through 2022. During those two decades, I served as president of the Sun Valley Gallery Association, sat on the board of the Sun Valley Center for the Arts, and performed as trombonist with the Sun Valley Summer Symphony (from 1995 to 2004). My commitment to the arts spans both visual and performing disciplines, and today I continue working through my private art consultancy based in Hailey, and through volunteer work in the realm of programming for the Argyros Center for Performing Arts, which my wife and I proudly support. Beyond Idaho, I've cultivated my artistic pursuits in cities including Miami, San Francisco, Vienna, and Munich—experiences that inform my appreciation for vibrant cultural communities.

I have known Bill and Michelle (Missy) Griffin for many years and hold them in the highest regard. Since relocating to Ketchum in 2007, they have become pillars of our community. Their dedication shines through their involvement with the Community School, where Bill has served as Vice Chair and Governance Chair. He also co-founded and co-chaired the Our Lady of the Snows Catholic Church Foundation. Bill and Missy have consistently supported local businesses, nonprofits, and initiatives that elevate the Valley's quality of life. Professionally, Bill's expertise in the art world commands respect. His co-ownership and leadership of a premier Los Angeles based contemporary fine art gallery, and his discerning curation at his current Ketchum space, speak volumes. The proposed building, with its thoughtfully designed gallery, promises to amplify Ketchum's arts scene by showcasing internationally renowned artists—a testament to Bill's vision, experience and connections in the world of art. I endorse this building and art space wholeheartedly.

Thank you for your consideration.

Sincerely,

Frederic Boloix

FB

Frederic Boloix Fine Arts

1550 N. 2nd Ave.

Hailey, ID 83333

mobile: +1 (208) 720 6036

<http://boloix.com/>

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Griffin as a local working family and contribution within the Ketchum community

This application is presented by long-time local business owner and Ketchum residents, Bill and Michelle Griffin. Bill, Missi and their three kids have been active Valley residents since 2007. The Griffin's acquired the property in 2011 to operate Wood River Art, a small contemporary art gallery. All three children attended local schools and Bill served as Vice Chair and Governance Chair of The Community School Board. In addition, Bill Co-Founded and Co-Chaired Our Lady of the Snows Foundation to support the local Church and have supported many local nonprofits. Having raised their family in Ketchum The Griffin family is well known and respected around our Valley. Bill and Missi are happy to be on a first names basis with most local business owners. This project represents a continuation of his current business in a new, upgraded gallery space, with residence plans above.

Positive impact of Art business within Ketchum

Bill and Missi Griffin via Wood River Art has had a proven long-term commitment in Ketchum for almost a decade and a half (since 2011). It works with both international artists (James Turrell and Mary Corse) to local Ketchum artists (Lisa Woods). It supports many local framers, installers, crate builders, bookkeepers, intern programs for local kids, connects with local galleries, The Sun Valley Museum and the community at large to make Ketchum a vibrant, creative and positive culture.

Building Design

This project has striven to create a high-quality project that will enrich the community while serving Bill's needs for a fine art showroom space for his Ketchum art business, as well as his long-term vision as a property to be held by his family.

Exterior finishes seek to establish a connection with the immediate surrounding neighborhood and the overall context of downtown Ketchum using natural materials such as regionally sourced stone, durable wood siding, and exterior plaster to compliment and draw out the earthtone colors found in the stone and wood. The three-story front façade scale is broken down using building undulation and material changes, starting with stone at the ground floor level, and transitioning to wood siding and plaster at the upper floor levels.

The Ketchum comprehensive plan seeks a vibrant downtown feel and a variety of housing options while maintaining the historic small-town feel Ketchum is known for. Nearly every chapter notes the need for increased variety, quantity, and specifically in the downtown core, density of housing. Multiple housing types are provided, with a one-bedroom unit and a two-bedroom on the second floor, and a larger three-bedroom unit on the third floor. The small-town feel is maintained, harmonizing with the context of the immediate neighborhood and Ketchum using a similar color palette, material composition, and scale of the surrounding buildings.

Cyndy King

From: Peter Smith <petesmithsv@gmail.com>
Sent: Friday, March 14, 2025 1:56 PM
To: Participate
Subject: Plan: 140 West 2nd Street

We have reviewed the plans/renderings of the above described project. We find it architecturally attractive in design as a gallery/residence. Proposed finishes and position of the building compliment the surrounding neighborhood in this downtown core area.

Bill and Missi are long time friends as well as residents here in the Wood River Valley. They are contributing/active members of our community. Their business, WOOD RIVER ART, is highly respected and significantly contributes to the vibrancy of our town.

We believe approval of this project will assure a continuing presence of both this business and the Griffin family here in Ketchum.

Respectfully,

Pete and Becky Smith
PO Box 67
Sun Valley, ID 83353

Cyndy King

From: Lincoln McNulty <lincolnmcnulty@hotmail.com>
Sent: Saturday, March 15, 2025 4:04 PM
To: Participate
Subject: Support for 140 West 2nd Street Building

Dear P& Z Commissioners,

My name is Lincoln McNulty and I have been a long term Ketchum resident. I have a successful art crating, shipping, technology and installation business and work with many collectors, artists, galleries and businesses in the valley. **And Wood River Art and Bill Griffin are on the top of that list.**

The quality that WRA LL has operated and supported localvenders like me herein Ketchum is unmatched. Beyond the everyday local impact, Bill Griffin handles additional international business in a quiet manner that helps create global awareness for Ketchum as a vibrant cultural center. It is the type of homegrown Ketchum business that we all value. Its quality ripples through our art scene, town and community at large. It makes our town interesting and ultimately better for all of us.

In my view, the new building proposed is stunning and fully enhances the Ketchum spirit. The use of natural materials (local rock and wood) and the architecture all come together for a project that we can all be proud of. This project is one that brings many positive points to Ketchum and for me it starts with people committed to a bright future for our town (and actively working to see it realized) and ends with protecting our small-town character. By combining these two we secure what's best for Ketchum today and ensure its bright future tomorrow.

Because of the above I ask that you support this building and allow this to continue to improve local businesses (like mine) while bringing vibrancy, creativity and relevancy to our beautiful Ketchum town! What a win.

Faithfully submitted,
Lincoln McNulty

Cyndy King

From: City of Ketchum Idaho <participate@ketchumidaho.org>
Sent: Monday, March 17, 2025 9:49 AM
To: Participate
Subject: Form submission from: Contact Us

Submitted on Monday, March 17, 2025 - 9:48am

Submitted by anonymous user: 184.183.114.195

Submitted values are:

First Name Kirk

Last Name Ebertz

Email kpebertz@cox.net

Phone number

Email/text notifications

Question/Comment

The Ketchum P&Z meeting on March 25 should be cancelled and rescheduled on a later date to avoid the conflict with the World Cup races. Would you ever schedule a meeting between Christmas and New Years? It is not right to exclude resort business owners and workers from being able to attend.

The results of this submission may be viewed at:

<https://www.ketchumidaho.org/node/7/submission/12680>

Cyndy King

From: Mark Maykranz <mmaykranz@hotmail.com>
Sent: Tuesday, March 18, 2025 7:18 AM
To: Participate
Subject: Comprehensive Plan update

I do not believe any building in Ketchum should be taller than 3 stories regardless of its use. The buildings that are taller than 3 stories stick out like white elephants and destroy the mountain character of Ketchum.

I disagree with the upzoning of density in Ketchum. The result will be more condominiums for second homeowners. With the present cost of construction at \$ 1,100 per square foot and rising (not including land costs and soft costs), it is ridiculous to think that these condos will go to locals. The Town should pursue a deed-restricted program for Ketchum residents. Any and all housing initiatives should benefit Ketchum residents only.

Go back to the 2014 map; nothing has changed.

Nonconforming homes should be allowed up to 1200 of add-on construction (as Morgan Landers stated) providing the properties have the appropriate set backs. Single family homes are where families live in Ketchum. If homes are not allowed, families will keep moving to Hailey. Since the high school is located in Hailey, the school related activities will always be a driving force for housing decisions. Affluent families who choose the Community School will stay in Ketchum if they are satisfied with single-family housing choices in Ketchum. Don't chase these families out of Ketchum. Nonconforming homes in higher density zones also provide density relief.

This town needs to have design guidelines just like every other resort mountain town. The way design review is treated in this town exposes the town to litigation for capricious and arbitrary design review decisions. The appearance of the new structures shows that our design review process is a failure.

I am disappointed that the March 25 meeting was not rescheduled. This is another example that erodes public trust. Hundreds of people are volunteering for the World Cup to help make sure it is a success, and we will not be able to attend the meeting.

Thank you.
Mark Maykranz

Sent from my iPhone

Cyndy King

From: Kim Maykranz <stoefflerdesigns@hotmail.com>
Sent: Tuesday, March 18, 2025 7:52 PM
To: Participate
Subject: Comprehensive plan update

Unfortunately I will not be able to attend the March 25 meeting due to a prior commitment I made with the World Cup organizers. The date you chose for your meeting will minimize attendance (perhaps that was your intention) as the people of Ketchum are highly engaged with this monumental world class event. I am sorry your interests do not align.

I would like to make my position know re: upzoning and density changes proposed in Ketchum. I believe no building, for any reason, should be higher than three stories. In order to assure that added housing initiatives benefit Ketchum residents (and not just add to the second home owner market), the dwellings should be deed restricted. We need to try and restore the character of Ketchum. We have made multiple miss steps with very loose design guidelines (nonexistentant) recently approving many oversized structures that are destroying the charm of our historic small ski town. We are not Vail, London or Johannesburg. Remember: small town, big life.

Kim Stoeffler
Ketchum resident

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Cyndy King

From: Jody Beckwith <jodybeckwith@gmail.com>
Sent: Wednesday, March 19, 2025 9:51 AM
To: Neil Bradshaw; Amanda Breen; thutchinson@kektchumidaho.org; Courtney Hamilton; sscordovano@ketchumidaho.org; Neil Morrow; Brenda Moczygemba; Tim Carter; mmcraw@kektchumidaho.org; spassavoy@ketchumidaho.org; Participate
Subject: Comprehensive Plan Feedback- Rocking Horse Ranch Subdivision

As long-term residents of West Ketchum, we have invested considerable time in reviewing the 2025 Proposed Comprehensive Plan, attending meetings, and engaging with our neighbors regarding the proposed changes. We write to convey our concerns about the negative impact that the Proposed Comprehensive Plan may have on our neighborhood.

While the designation of "Medium Density Residential" (MDR) for the West Ketchum neighborhood has remained unchanged, there have been significant revisions to its definition. The 2014 Comprehensive Plan emphasized single-family homes and duplexes as the primary housing types. Contrarily, the Proposed Comprehensive Plan now categorizes "small" single-family homes and duplexes as secondary uses, prioritizing townhomes and multi-family (apartment) residences. City officials have informed us of the intention to incentivize developers to construct higher-density projects in our neighborhood under Primary Uses. (It is worth noting that the initial version of the Proposed Comprehensive Plan did not include single-family homes in the MDR definition.)

We are concerned about the pace of the Comprehensive Planning process, especially with the meeting scheduled for March 25—the day of the largest ski race ever held in our community. The March 25 and April 9 meetings are only two weeks apart, which is too short a time frame. During the March 11 Planning and Zoning meeting, there were comments suggesting that the city was considering accelerating rezoning efforts. Given the work still to be done on the Comprehensive Plan, we are concerned that any rezoning efforts could be rushed and premature.

The 2014 Comprehensive Plan accurately represented the character of our neighborhood by prioritizing single-family homes and duplexes, while allowing increased density where contextually appropriate. This approach garnered support from the majority of neighborhood residents. Unfortunately, the Proposed Comprehensive Plan threatens to undermine the value of our homes and the character of our neighborhood.

In light of these concerns, we respectfully request that the AA zoning for our neighborhood be changed to the "Low Density Residential" (LDR) designation, as outlined in the Proposed Comprehensive Plan. We believe this adjustment more accurately reflects both the current character and future vision for our community. We also support similar changes requested by other West Ketchum neighborhoods. We hope to work with you on resolving these issues without the need for legal counsel.

We appreciate your hard work in supporting our town and look forward to your response.

Thank you for your attention to this matter.

Sincerely,

Tom and Jody Beckwith
931 Rocking Horse Road

Hope Hayward and Walter Eisank
971 Rocking Horse Road

Ernie and Joyce Patricelli
920-B Rocking Horse

Steve and Cindy Dondero
991 Rocking Horse Road

Richard and JoAnna Frohman
920-A Rocking Horse Road

John and Janice Bell
831 Rocking Horse Road

Jack and Kristi Kohl
911 Rocking Horse Road

Karin Davies
901 Rocking Horse Road

*Signatures available upon request

--
Jody Beckwith

19 March 2025

Dear: Mr. Mayor, City Council Members, and Planning and Zoning Commissioners of Ketchum

Via Email:

Re: 31 January 2025 Joint Petition on Behalf of the Bordeaux/Sabala St. Neighbors:

We appreciate the hard work and dedication you’ve brought to the task of putting together a new Comprehensive Plan. We thank the staff at the City of Ketchum Planning & Zoning Department as well.

Our request was submitted prior to the release of the second Draft Comprehensive Plan, and after the new Draft was made available to the public, we welcome some of the changes made. However, we remain committed to protecting the character of our unique neighborhood. Therefore, having LDR designation, as it represents what we currently retain: primarily single-family homes and duplexes.

Our petition was created through multiple in person meetings in residents’ homes, through many emails and phone calls. The testimonials we heard from neighbors were extraordinary in our shared love of our special place in West Ketchum. It took time, effort, neighborhood cohesion, and was signed by 57 property owners.

*We, the undersigned, respectively re-submit this petition requesting that our neighborhood - those properties with **Sabala St., Bordeaux St. addresses and 511 Wood River Dr.** - be included in the proposed **Low Density Residential (LDR)** land use designation for the 2025 comprehensive plan Future Land Use Map, to keep our density and underlying zoning generally the same as it currently is. Our neighborhood is made up of single-family and duplex buildings and has a majority occupancy of long-term and workforce housing. To change our land use designation to allow higher density buildings will threaten the existing characteristics of our neighborhood, increase traffic, and will have the opposite effect that the community is hoping to achieve - that of providing community housing and keeping the small town feel and*

character. This neighborhood is long-term housing and should be included in the Low Density Residential Land Use designation as proposed in the second draft Comprehensive Plan.

Signed by:

- | | | |
|----|--|---------------------|
| 1 | Sarah and Stu Ryan | 301 Sabala St. |
| 2 | Anne Winton and John Marsh | 311 Sabala St. |
| 3 | Tiffany and Reid Black | 209A Sabala St. |
| 4 | Susan Crist | 209B Sabala St. |
| 5 | Shell and Alex Margolin | 141 Bordeaux St. |
| 6 | Gina and Robert Poole
Catherine Carley and Marshall | 161 Bordeaux St. |
| 7 | Rawlings | 120 Bordeaux St. |
| 8 | Natalie Shuttleworth | 130 Bordeaux St. |
| 9 | Amy Weyler and Andy Ross | 511 Wood River Dr. |
| 10 | Brooke and Randy Cooley | 151 Bordeaux St. |
| 11 | Margaret and Steve Matecki | 203B Sabala St. |
| 12 | Eliza and Jason Buck | 172 Bordeaux St. |
| 13 | Mark Pattison and Darci Hanson | 203A Sabala St. |
| 14 | Kelly and Bruce Martin | 211 Sabala St. |
| 15 | Carol L. and Anthony J. Frank | 300 Sabala St. |
| 16 | Hannah and Sam Young | 160 Bordeaux St. |
| 17 | Marjie Mickelson | 176 Bordeaux St. |
| 18 | Duncan Morton | 174 Bordeaux St. |
| 19 | Michelle Stennett | 220 Sabala St. |
| 20 | Laurel M. Leman | 162 Bordeaux St. |
| 21 | Emily and Andrew Stoddard | 166 Bordeaux St. |
| 22 | Jeani and John Ferrari | 309 Sabala St. |
| 23 | Crisane and Willie Cook | 171 Bordeaux St. #1 |
| 24 | Geraldine Carter and John Senf | 171 Bordeaux St. #2 |
| 25 | Duncan Morton, Jr. | 171 Bordeaux St. #3 |
| 26 | Caroline Persohn | 171 Bordeaux St. #4 |
| 27 | Tim Bailey | 171 Bordeaux St. #5 |
| 28 | Heather and Sean Kovich | 171 Bordeaux St. #6 |
| 29 | Tory and Miles Canfield | 178 Bordeaux St. |
| 30 | Mike Hatstrup | 106 Williams St. |
| 31 | Heather and John Ballas | 380 Sabala St. |
| 32 | Jerry Ann and John Heaney | 131 Bordeaux St. |
| 33 | Pat Fuller | 210 Sabala St. |
| 34 | Pamela and William Shearer | 360 Sabala St. |

57 Signers, with signatures validated upon request.

Cyndy King

From: Luanne Mandeville <luanne@luannemandeville.com>
Sent: Wednesday, March 19, 2025 12:15 PM
To: Participate; Ric Flores; alison.burpee@gmail.com; Olin Glenne; tom@bigbypllc.com
Subject: Comments on Revised Comp Plan--Mid Warm Springs

Behind the Pines and Four Seasons condos in mid-Warm Springs are eight single family homes in the Sunshine Subdivision, originally platted in the early 1970s. I own one of them (200 Four Seasons Way). I am extremely disturbed that the Version 2 Comprehensive Plan shows these eight homes as high density. Surely this is a mistake.

Though I would prefer that our eight houses remain in Low Density, I would not oppose being in Medium-Density Residential, allowing a variety of residential types, including single family residences, duplexes and other attached-unit types.

My concern is denial of rebuilding as a single family residence if a natural disaster destroys my home. Quality of life would be destroyed. Once the Comprehensive Plan is adopted, it appears that it is only a matter of time before zoning districts and design standards to address desired mix of uses will be adopted, including “height, massing, and scale; housing types; character-defining features; and transitions to adjacent development and historic resources, as outlined in land use category descriptions” (Action BNE-1.a.).

Idaho Code Section 67-6502(a), states that one purpose of a comprehensive plan is to “protect property rights and enhance property values.” Changes in density of my property are not protecting my property rights. This is clearly a matter that could head to the Idaho Supreme Court. Private property rights include the right to hold and enjoy property. Please respect my private property rights and do not designate my property as high density.

Behind the Pines and Four Seasons condos are eight single family homes in the Sunshine Subdivision, originally platted in the early 1970s. I own one of them (200 Four Seasons Way in mid-Warm Springs). I am extremely disturbed that the Version 2 Comprehensive Plan shows these eight homes as high density. Surely this is a mistake.

Though I would prefer that our eight houses remain in Low Density, I would not oppose being in Medium-Density Residential, allowing variety of residential types, including single family residences, duplexes and other attached-unit types.

My concern is denial of rebuilding as a single family residence if a natural disaster destroyed my home. Quality of life would be destroyed. Once the Comprehensive Plan is adopted, it appears that it is only a matter of time before zoning districts and design standards to address desired mix of uses will be adopted, including “height, massing, and scale; housing types; character-defining features; and transitions to adjacent development and historic resources, as outlined in land use category descriptions” (Action BNE-1.a.).

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hold and enjoy property. Please respect my private property rights and do not designate my property as high density.

Luanne Mandeville

200 Four Seasons Way, Ketchum

Luanne@LuanneMandeville.com

208-720-4484

Cyndy King

From: Jennifer <jenniferwellsgreen@gmail.com>
Sent: Tuesday, March 18, 2025 6:56 AM
To: Participate
Subject: support for Griffin family

To: The Ketchum Planning & Zoning Commission

I have known Bill and Missi Griffin for more than two decades, first in Los Angeles and now in Sun Valley, and I enthusiastically support their proposal to renovate the current building at 140 W. Second Street, Ketchum, ID.

As the Executive Director of the Sun Valley Museum of Art, I recognize the significant cultural value Bill's expanded footprint in Ketchum would bring to our community. His work through Wood River Art has consistently attracted world-class artists to our area, directly advancing the Museum's mission of connecting contemporary art and artists with our community.

The Griffins have established themselves as active, generous, and engaged residents who contribute to many facets of our community life. Wood River Art has created meaningful employment for local workers, including many in our creative economy - a contribution that will likely grow with this project's approval.

The housing options included in this proposal align with Ketchum's comprehensive plan, and their decision to work with a local architect further demonstrates their commitment to our community.

I wholeheartedly endorse Bill's vision for creating a more vibrant and creative community in Ketchum and support this project.

Sincerely,

Jennifer Wells Green

PO Box 5460 , Ketchum ID 83340

Public Comment

Cyndy King

From: Teri Ottens <tottens@amsidaho.com>
Sent: Thursday, March 20, 2025 12:37 PM
To: Participate
Subject: Comp Plan Comments
Attachments: ketchum comments mar 25.docx

March 20, 2025

To: City of Ketchum City Council and Planning and Zoning
Fr: Idaho Manufactured Housing Association
Ginger Bidegaray, Executive Director
Teri Ottens, Planner
Re: Comments concerning Comprehensive Plan Amendments

The Idaho Manufactured Housing Association (IMHA) noticed that the City of Ketchum is currently updating zoning issues in your comprehensive Plan. The Idaho Manufactured Housing Association would like to provide some input on some possible suggestions to address accessory dwelling units (ADU's) and other alternatives to traditional housing that could be incorporated in your Comp Plan and/or zoning ordinance.

IMHA is a non-profit association formed to encourage all forms of affordable housing, including manufactured homes. Over the past decade manufactured homes have been recognized by housing organizations, states and the federal government as the only truly **unsubsidized** affordable housing on the market. The manufactured housing industry is seen nationally as a key solution to successfully addressing the affordable and workforce housing crisis every city and county is currently facing.

We believe that looking at some housing options that have been overlooked in the past due to negative views on factory built housing might assist in meeting your housing goals:

- 1. Allowing for single sectional manufactured homes as ADU's**– These are not like the old mobile homes of the past. Manufactured homes of today can have eaves, pitched roofs and look like a site-built home. And they are much more affordable and less expensive to transport. We would like to suggest that smaller manufactured homes could be allowed as both a housing option to the site-built home (see #2 below) and as ADU's in your comp plan language and subsequent zoning ordinances. Currently one can order a manufactured home built to HUD standards at 320 square feet or larger which can be easily and affordably transported and placed on existing property in far less time and less expense than a site-built home. As you know, housing built to HUD standards are allowed under federal and state law and do not bring into question building and occupancy safety issues that recreational vehicles or tiny homes do when suggested for ADU's.

The city could apply many of the same conditions under state law to the placement of such homes as ADU's including having a pitched roof, exterior appearances similar to site built homes in the area, etc, to fit in with the neighborhood aesthetics.

- 2. Considerations for single section manufactured homes as an option the site-built homes** - To go even further we would like to suggest that the city might consider that single sectional

manufactured homes be allowed outright or under a special use in areas where lot sizes are potentially non-conforming due to their size, similar to a “skinny homes” exception. Traditionally these were not allowed in the past, based on the appearances and safety issues with the older mobile homes, but those issues are moot when addressing the manufactured home standards (units built after 1976). It would require an allowance in your ordinance to look at these smaller lots as a housing opportunity and for infill, if it is not already addressed.

We note that the City of Boise last year adopted a change to their ordinance allowing single sectional manufactured homes without a special permit in **all** residential zones to address their affordable housing needs. Several other counties and cities in Idaho are now currently considering such a change to their Comp Plans and ordinances for the same reasons.

3. Multi-Family Housing - The industry is now starting to construct manufactured homes built to the HUD code as duplexes. These Energy Star units feature one bedroom/one bath units with an open plan living area in a 70 by 15.5 feet, suitable for narrow lots. It can assist communities looking to utilize smaller lots and provide more attainable housing units. A visual example can be found below.

Could there be verbiage that allows manufactured home duplexes as HUD now does allow multi family construction of manufactured homes? Again, this provides another more affordable housing option to site-built.

Thank you for your consideration of our suggestions. We are available to discuss these with you, or answer any questions you might have. We have sample language we can share addressing all of these issues if you would like it. In addition, we have put together a guide for planning departments on housing options and sample language. If you would like one emailed or mailed to you, just let us know.

Please contact Teri Ottens at 208-869-6832 or at tottens@amsidaho.com or Ginger Bidegaray at the IMHA Association at info@idahohousingassociation.org with any questions, comments or needs.



dd17 March 2025

Comments on the second draft of the City of Ketchum's Comprehensive Land Use Plan ("Plan").

There are two good reasons to delay the process of updating the Plan until after the City's November elections.

- 1 There's a high likelihood that there won't be enough time to complete both the update to the Plan and the corresponding updates to the city's zoning regulations prior to the November 2025 elections. Because the Plan and zoning changes go hand in hand, they should be completed as close together in time as possible and be done while the same City Council is in place.
- 2 Many of the pandemic driven changes to Ketchum's real estate market are just now beginning to unwind. The pandemic significantly increased many of the community housing challenges and prompted many of the Plan changes that are being discussed now. It would be better to evaluate changes to the Plan after most of the transitory effects of the pandemic have worked their way through Ketchum's real estate market.

There are two provisions that are unfair to existing single-family homeowners that should be changed in the Plan's MIX OF USES for MDR properties.

- 1 Single-family homes should not be Secondary Uses, but rather, Primary Uses.
- 2 Single-family homes should not be limited to "small" homes.

These provisions have the potential to cause hundreds of Ketchum homeowners overnight to become owners of non-conforming homes. We can't think of all the potential unintended consequences of creating hundreds of non-conforming homes, but it's certain that mortgages and property insurance for those homes won't get easier or cheaper.

Thanks for your consideration,

Sarah & Stu

Sarah W. and J. Stuart Ryan

301 Sabala St.

Ketchum, ID

Cyndy King

From: Kelly Bird <kelly@bird-and-co.com>
Sent: Saturday, March 22, 2025 12:02 PM
To: Participate
Subject: 140 West Second Street

Hello!

I am sending this letter of support on behalf of Bill and Missi Griffin regarding their proposed project at 140 West Second Street. As a Ketchum resident and business owner for 40+ years I have seen a lot of architectural changes in our downtown core. While some of the newer developments have too much of a “box” feel for my taste, I am very impressed with the Griffins’ thoughtful design. I appreciate the varied exterior elevations as well as the attractive "earth tone" integration of stone, wood and stucco. In my opinion, this project aligns perfectly with the City of Ketchum’s downtown “core” vision. There is no question that this building and new gallery space for Wood River Art will be a HUGE improvement over the existing structure.

On a personal note, I have known Bill and Missi for many years and have had the pleasure of working professionally with Bill since 2011. While Bill is known for representing many international artists worldwide he has also shown great support for our community. As the owner of Wood River Art, Bill has served as a mentor for many emerging artists as well as “keeping it local” when it comes to fine art services needed for his collection. He has also served on the Community School board, and has committed his time to many local nonprofits over the years.

In conclusion, I wholeheartedly support this project and look forward to this beautiful building/gallery space coming to fruition!

Best,

Kelly Bird

Kelly Bird
Bird and Company
kelly@bird-and-co.com
p. 208-726-6096
f. 208-726-3010
c. 208-720-4154

Cyndy King

From: Ric Flores <ricmflores@gmail.com>
Sent: Saturday, March 22, 2025 11:13 AM
To: Participate
Subject: Comments on Revised Comp Plan-- Warm Springs

City of Ketchum Planning-

I am writing to express my strong opposition to the proposed zoning change in the Sunshine Subdivision in mid-Warm Springs, which would reclassify our current Low-Density designation to High-Density Residential. As a homeowner and full-time resident of this neighborhood, I find this proposed change deeply troubling — both personally and on behalf of the broader character and long-term sustainability of our community.

When I chose to purchase my home, I did so after careful consideration of many factors, one of the most important being the neighborhood’s zoning. The existing low-density designation gave me confidence that I was investing in a peaceful, nature-adjacent, and thoughtfully planned residential area. Had high-density development been allowed or imminent at that time, I may not have made the life-altering decision to buy here. This is not just a matter of personal preference — it is a matter of investment security and the legitimate expectation that zoning plans will be upheld to preserve neighborhood integrity.

Warm Springs is a uniquely beautiful area, and it should not be the default location for cramming additional apartment and condo development. The proposed shift toward high-density zoning threatens to degrade our natural landscape, obscure our views, and strain local infrastructure and environmental resources. Aesthetically and ecologically, it risks introducing long-term, irreversible consequences to the very things that make Warm Springs special.

A high-density designation is simply incompatible with our community’s character and values.

Furthermore, Idaho Code § 67-6502(a) states that one of the key purposes of the comprehensive plan is to “*protect property rights and enhance property values.*” The proposed zoning reclassification undermines our property rights and has the strong potential to reduce — not enhance — our property values.

This is a matter that touches on fundamental questions of fairness, responsibility, and the stewardship of community resources. I urge you to reconsider this zoning proposal, respect the integrity of Warm Springs, and preserve our ability to enjoy and protect our homes, as originally intended.

Sincerely,

Ric Flores220
Four Seasons Way
310.993.6229

Cyndy King

From: Beth Chiodo <bajabethy@gmail.com>
Sent: Monday, March 24, 2025 10:31 AM
To: Participate
Subject: comp plan and housing

Dear City Council and Mayor, PnZ

Please Do Not upzone West ketchum and Warm Springs!

I urge you to consider a housing project for essential workers at the St Luke's WR Upper parking lot.

Thank you
Beth Chiodo
Ketchum



208.788.6102 | INFO@BCOHA.ORG | WWW.BCOHA.ORG
111 N 1ST AVE STE 2J, HAILEY, ID 83333 | PO BOX 4045, KETCHUM, ID, 83340

Subject: Support of Ketchum’s Draft Comprehensive Plan

March 24, 2025

Dear Chair Morrow and Ketchum Planning and Zoning Commission:

On behalf of the Blaine County Housing Authority (BCHA), I write to express our strong support for the proposed updates to the Ketchum Comprehensive Plan. We believe the proposed updates make meaningful policy strides and lay the groundwork for zoning code updates to improve community housing production in Ketchum.

BCHA’s mission is to be a central source for innovative solutions, advocacy, and knowledge for **community housing** in Blaine County. Toward that end, we partner with local governments and non-profit organizations to engage and collaborate on efforts concerning community housing and advocate for sensible policies at the local, state, and federal levels to support community housing in Blaine County.

Community housing is housing that is legally restricted, typically via deed restriction, for long-term local use and occupancy, and includes both income-restricted and more flexible, “local” units. Community housing requires full-time occupancy and cannot be used for short-term rentals. Deed restrictions provide BCHA and other housing program administrators with enforcement mechanisms to ensure compliance with terms and requirements. BCHA conducts annual compliance monitoring for all units in our portfolio to ensure that community homeowners, tenants, and landlords are complying with our policies.

BCHA is supportive of the proposed comprehensive plan update, particularly as it amplifies policies for expanding and preserving community housing and expanding and leveraging housing resources and capacity in Ketchum. We are pleased to see “Chapter 3: Housing” in the current comprehensive plan remade to focus entirely on community housing with goals and policies that align with and support the implementation of Ketchum’s Housing Action Plan.

BCHA wants to specifically recognize the importance of Policy H-1.6: Alignment of Policies and Regulations, in achieving the community housing goals and vision identified in the Comprehensive Plan. Aligning the Future Land Use Map (FLUM) and zoning regulations in support of community housing production is essential.

Policy H-1.6: Alignment of Policies and Regulations

Ensure the Future Land Use Map and zoning regulations are aligned to foster the integration of community housing options throughout Ketchum and facilitate the efficient processing of development applications and building permits for community housing units.

With limited options available in Idaho to support production of, or funding for, community housing, strategic zoning incentives and regulations are some of Ketchum’s strongest tools.

Importantly, the increased density envisioned for some of Ketchum’s neighborhoods in the FLUM alone will not address Ketchum’s community housing needs. BCHA is not in support of increased residential density

for density's sake; in fact, increased density without significant community housing contributions will only exacerbate the community's housing challenges. BCHA's 2024 [Nexus Study of the Impacts of New Development on Community Housing Demand](#) (presentation recording [here](#)) shows that new market rate housing development throughout Blaine County generates further housing demand and adds to existing need at rate of about 1 new community housing unit for every 10 market rate units developed. The proposed future land uses in the comprehensive plan allow for greater density than currently exists in some neighborhoods, but the plan stresses that these additional levels of density should only be permitted if it is primarily producing community housing. The Nexus Study's findings are one resource to contextualize and inform future zoning development to implement this comprehensive plan. It is important to ensure that the zoning tools developed provide meaningful benefits to community housing production and preservation while balancing existing community character and context.

We commend Ketchum's Planning Department for their extensive and in-depth engagement efforts, with public meetings commencing over a year and a half ago in August 2023. A couple of our team members participated in neighborhood walks, open houses, and workshops and consistently heard from community members that residents are open to greater density – so long as new homes are occupied by locals and not seasonally used or short-term rented. The only way to ensure local occupancy of new units is by incentivizing the creation of community housing that is legally restricted and subject to ongoing program enforcement.



Figure 1 Examples of "Gentle Density"

Lastly, we wish to emphasize that multifamily residential “density” can take many building forms and configurations and is not limited to large apartment buildings. Multifamily buildings can include rentals or ownership units as well as a variety of unit sizes. The additional, community housing-driven residential density identified in the Medium-Density Residential and High-Density Residential districts of the Future Land Use Map can be accommodated with “missing middle”/“gentle density”/ “incremental density”

housing types that fit with the context and character of existing residential neighborhoods. We wish to reiterate that this form of housing can be as simple as a single-family home that is rehabilitated into multiple apartments and duplexes that are the same size and scale as a single-family home but house two families instead of one.

We look forward to adoption of Ketchum's updated Comprehensive Plan and development of the zoning tools to implement its community housing vision.

Sincerely,



Keith Perry
Blaine County Housing Authority Board of Commissioners, Chair



Carissa Connelly
Housing Director



Cyndy King

From: Carol Klick <carolklick@gmail.com>
Sent: Monday, March 24, 2025 2:06 PM
To: Participate
Subject: Comprehensive Plan

Greetings,

Thank you for reading and considering my point of view. I am a taxpayer on a commercial condominium. Therefore, I can not vote, but I must pay the taxes imposed by the city.

1. I am definitely against all of you up zone ideas. The current zoning is the best plan moving forward. Increasing density will only cause more problems with parking and travel plans, additionally, the current water and sewer systems are already maxed out. Repair and maintenance of the roads and sidewalks should take priority as well as the utility repairs.
2. Ketchum approved a snow melt system in the alley behind the Bluebird. Why was that approved? I attended the meeting which presented and approved it. Who is paying for the snowmelt power? I recall that when the pavers were first installed on 4th street years ago, a snowmelt system was installed which NEVER was used. It was pricey to put down. Now when the new pavers are installed the snowmelt lines are being removed. I understand that it's difficult to get everything right the first time, however, an in depth review should be required.
3. Parking is a problem now and will be more of a problem as time goes on. Traffic and people here will increase. Onsite parking must be required for any future building, both residential and commercial.

Finally, please hold any changes before the current projects are completed. This is very important!

Thank you,
Carol Klick

Cyndy King

From: Broschofsky Galleries <art@brogallery.com>
Sent: Monday, March 24, 2025 5:18 PM
To: Participate
Subject: For public comment -agenda -3/25 P& Z meeting

Since 1987 we have owned a home in the Warm Springs area. Over the decades we have watched a development of family dwellings and neighborhoods resulting in a cohesive community. The area, adjacent to our home is currently under review for an extreme upgrade from low density to high density zoning.

Warm Springs is a tight canyon with mountains jutting down to the valley from the north and south sides. It is prone to avalanches and forest fires and has been evacuated for both impending disasters on several occasions.

With climate change exacerbating conditions we saw those brown hillsides going into winter 2025 and declarations “extreme drought” followed a couple weeks later by heavy snow covered hills with cornices and avalanches.

The area designated for high density off Flower Drive to Wanderer’s Canyon is an animal corridor linking Warm Springs to the vast mountain system north & northwest. The abundant animal tracks along the hillsides and frequent sightings of deer and elk give proof to this habitat. Other mammals, -moose, bear, cougar, coyote and fox are other animals I have observed this winter coming from this corridor and into the neighborhoods. Unfortunately this has created some problems which has resulted in the deemed necessity to eradicate an animal or trap

and relocate it. Imagine what such a proposed increase in population, pets, & vehicles would bring!

The proposed high density is a bad idea for these reasons.

1.The already built up neighborhoods and infrastructure of Warm Springs Road which already supports a massive number of cars and service vehicles to the Warm Springs ski lift and lodge access does not support this increase.

2.The resulting noise, light pollution and vehicle danger from such an increased population would affect the existing neighborhoods that we homeowners have invested in and enjoy as community.

3.The utter devastation of a very much used and important animal corridor habitat for multiple species and impending animal/human/pet/ vehicle conflicts.

(Above was my public comment at the 3/11 planning &zoning meeting).

..Today I would like to add to this statement I gave at the Planning & Zoning, March 11 meeting, and focus just on the wildlife impacts here.

It seems like there has been very little attention put to wildlife and the impact of high density from Flower Drive into Wanderer's Canyon.

Under "Responsible Stewardship of Natural Resources", habitat is finally given a little nod in the last sentence of Development Impacts. "Wildlife considerations are primarily addressed through these regular tools in conjunction with site, specific data and information provided by the Idaho Department of Fish and Game (provided on an as needed basis). Well, wouldn't you think this would be an important time to address that? -through

fish & game - the impact of a high density zoning in wildlife habitat corridor?

Please read your stated GOALS AND POLICIES -Land, Water and Habitat Conservation,
NR-1-1 PRESERVE AND ENHANCE THE NATURAL HABITAT FOR FISH, WILDLIFE, PLANTS, AND OTHER CREATURES IN OUR ECOSYSTEMS.

Policy NR-1.1 : Big Game Habitat and Use Areas

Policy NR -1.2: Wildlife -Friendly Development.

It is unfathomable that these are stated goals in the document which are in direct opposition to what maximum density's impact would be to this habitat corridor.

Minette Broschofsky

Cyndy King

From: Alison Burpee <alison.burpee@gmail.com>
Sent: Monday, March 24, 2025 9:55 PM
To: Participate
Subject: Request to postpone public hearing on the Ketchum Comprehensive Plan

My name is Alison Burpee and I live off Warm Springs Road in Ketchum. I am PLEADING with the planning and zoning commission to vote to postpone the public hearing on the Ketchum Comprehensive Plan until April. I have been involved in the process of following/learning about the Comp Plan as a citizen of this community and would like to be able to be present, informed, and able to contribute my opinion regarding such an important decision for our community. With the community hosting the World Cup (volunteering, attending community events, all the things we are actively doing to help our town to support this race) and with my two kiddos on spring break from Hemingway, I would be so disappointed if this commission (established and chosen to represent the community) did not approve to delay and created a situation where the public could not be adequately heard. Please vote to delay and let us lean into and celebrate the once in a lifetime event happening AT THE VERY TIME you all chose to schedule a public comment meeting about this vital issue!

Thank you so much for your consideration,

Alison Burpee

Cyndy King

From: Kathryn Hulbert <kathrynhulbert123@gmail.com>
Sent: Tuesday, March 25, 2025 8:17 AM
To: Participate
Subject: No to rezoning

Please add my voice to the huge list of local residents again rezoning. I am a voter and also live close to the impacted area.

Why is the council so insistent on taking action that the electorate disagrees with?

Cyndy King

From: Wesley R. Fleuchaus <wfleuchaus@gmail.com>
Sent: Tuesday, March 25, 2025 8:25 AM
To: Participate
Subject: I oppose the future land use map

Hi,
I'm writing to express my opposition to the upzoning in the future land use map. Please don't turn our town into Park City. Thanks!
Wes Fleuchaus
Ketchum resident

Cyndy King

From: Kathryn Hulbert <kathrynhulbert123@gmail.com>
Sent: Tuesday, March 25, 2025 8:17 AM
To: Participate
Subject: No to rezoning

Please add my voice to the huge list of local residents again rezoning. I am a voter and also live close to the impacted area.

Why is the council so insistent on taking action that the electorate disagrees with?

Cyndy King

From: David Kistler <kistlerd@mac.com>
Sent: Tuesday, March 25, 2025 8:29 AM
To: Participate
Subject: Proposed Comp Plan Update

We purchased our West Ketchum home in 2010 in large part because of it was located in a family-oriented, low density neighborhood. We are strongly opposed to any upzoning which effectively requires property owners to build bigger. Moreover, we are also strongly opposed to any new taxes to pay for any new infrastructure to support upzoning. Stop already!

David and Wendy Kistler

Cyndy King

From: Harry Griffith <harry@sunvalleyeconomy.org>
Sent: Tuesday, March 25, 2025 8:34 AM
To: Participate
Subject: SVED Support for 140 West 2nd SAve

I am writing to you on behalf of the mixed use project planned by Bill Griffin on 140 West 2nd Ave Ketchum.

The arts community has become an increasingly important part of the economy. Local purchases by homeowners and out of state purchases by second homeowners and art aficionados continue to increase. Out of county purchases taxed by the state are an increasingly important factor

Griffiin's gallery has demonstrated increased sales and attention year on year by both buyer groups. The city benefits from the LOT component of such sales for helping improve city infrastructure and public safety services.

In addition more middle income market rate rentals are welcome to help people live and work in Ketchum.

I would encourage you to support this project which will increase the economic vitality and diversity of the Ketchum business community.

Harry Griffith

Executive Director, Sun Valley Economic Development

www.SunValleyEconomy.org

Cyndy King

From: Anna (Schimelpfenig) Rothgeb <schimelpfeniga@gmail.com>
Sent: Tuesday, March 25, 2025 8:43 AM
To: Participate
Subject: NO to UPZONING!!

Ketchum City Council and Ketchum P&Z -

First and foremost, the timing of this meeting is extremely disappointing. Holding it during the World Cup is inconsiderate of our community. Hundreds of Ketchum residents are volunteering their time, and thousands are attending the events — this is not the time to schedule such an important meeting.

As a resident of West Ketchum, I strongly oppose the proposed upzoning. Preserving the character of our town and neighborhoods is essential, and this proposal, along with the Comprehensive Plan, threatens that. Increasing the density in West Ketchum will lead to more traffic, change the character of the neighborhood, and push out families and long-time residents.

With so much public opposition, I have to ask: why is this plan still being pushed forward? It's incredibly frustrating to attend meetings where community input is requested, only to feel as though that input is ultimately ignored.

Please remember your own slogan as you consider the long-term consequences of these changes: "*Small Town, Big Life.*" Let's protect the qualities that make Ketchum such a special place to live.

Sincerely,
Anna Rothgeb
Resident, West Ketchum

Cyndy King

From: JORI POTIKER <jorip123@mac.com>
Sent: Tuesday, March 25, 2025 8:45 AM
To: Participate
Subject: No Upzoning

I wish to register my disapproval to up zone density in Ketchum. Our community character is already declining with all the new condos and big box buildings being built all through town. Regretably we already have several hotels coming also. It appears that no thought is being given to what residents actually want their community to be because they have never been asked. No one knows if anyone actually wants to live in those dense neighborhoods other than as tourist rentals. Stop!

Jori Potiker
530 Northwood Way

Cyndy King

From: gwen raney <gwenraney@yahoo.com>
Sent: Tuesday, March 25, 2025 8:47 AM
To: Participate
Subject: Upzoning

As a resident of Ketchum for close to 20 years my concerns for its future are more paramount than ever given the direction the City Council and Planning and Zoning are going with the proposed rewrite of Ketchum's Comprehensive Plan. I join the voices opposing the idea of changing the zoning in any part of Ketchum that restricts single family housing and requires density to replace it. To my knowledge there is nothing to support this idea and Ketchum's elected and appointed so called leaders are considering decisions that do not reflect the interests of Ketchum and will destroy the character of Ketchum forever.

Gwen Raney, Ketchum

Cyndy King

From: Dan Gorham <daniel.j.gorham@gmail.com>
Sent: Tuesday, March 25, 2025 8:55 AM
To: Participate
Subject: No to upzoning

KCC and K P&Z , Please vote against any upzoning in West Ketchum and Warm Springs.

Sincerely,
Dan Gorham

Sent from my iPhone

Cyndy King

From: Stephanie Osborne <stephanieosborne6@gmail.com>
Sent: Tuesday, March 25, 2025 9:00 AM
To: Participate
Subject: Upzoning Opposition

P&Z Commissioners,

I am writing to you to respectfully request that the AA zoning for our adjoining neighborhood be changed to the "Low Density Residential" (LDR) designation, as outlined in the Proposed Comprehensive Plan. We believe this adjustment more accurately reflects both the current character and future vision for our community. We also support similar changes requested by other West Ketchum neighborhoods.

As homeowners in West Ketchum we are deeply worried that the character, property values and way of life of our neighborhood will be ruined once surrounded by this new higher density zoning. We walk our dog, say hello to our neighbors and host the few "Ketchum cabins" still in existence in town. If they are torn down and higher density buildings are planned, we will have delivered our neighborhood to VRBO and other short term rental companies.

Please change the zoning of our surrounding neighborhood to LDR.

Thank you for your consideration.

Stephanie and Nick Osborne
105 Wood River Dr North

Cyndy King

From: Simon Wenet <simonwenet@gmail.com>
Sent: Tuesday, March 25, 2025 9:11 AM
To: Participate
Cc: Sara Super
Subject: Opposition to West Ketchum Upzoning

Hello, my wife and I are community members and owners of 307 Main St S in Ketchum. I am reaching out to express our opposition to upzoning of West Ketchum.

--

Best,
Simon Wenet

Cyndy King

From: Timothy Mott <tim@mottventures.com>
Sent: Tuesday, March 25, 2025 9:14 AM
To: Participate
Subject: There are serious flaws in the Ketchum Comp Plan Research and Process

Attention: Ketchum City Council and Ketchum Planning & Zoning

Put the brakes on the proposed Comprehensive Plan and Zoning Restrictions

Show the community the research that justifies this Plan before proceeding.

The public deserves to fully understand zoning implications.

Our neighborhoods cannot handle the dramatic density increases on our:

- Water
- Streets
- Emergency Accesses (Public safety) • Uninsurable Flood, Fire, and Avalanche Risks

The proposed Comprehensive Plan and Zoning:

- Will not guarantee affordable workforce housing
- Medium density will restrict the rights of property owners
- Does not control lot sizes or property set backs • Taxpayers will pay for infrastructure, not developers

Cyndy King

From: Gretchen Flint <gretchenflint@gmail.com>
Sent: Tuesday, March 25, 2025 9:31 AM
To: Participate
Subject: Future Land Use Map

I am **NOT** in favour of the current upzoning of Warm Springs or West Ketchum. Please stop.

Gretchen Flint

Cyndy King

From: John Melin <johntmelin@gmail.com>
Sent: Tuesday, March 25, 2025 10:22 AM
To: Participate
Subject: No to Upzoing

Hello,

My message is above. I believe high-density housing belongs down valley or on the Simplot property in 2 store buildings.

John Melin
30 year resident of Ketchum

Cyndy King

From: Marilyn Hoffman <mer.hoffman208@gmail.com>
Sent: Tuesday, March 25, 2025 10:26 AM
To: Participate
Subject: Upzoning

I totally disagree. I say NO to upzoning. What are you all thinking?

Marilyn Hoffman
Ketchum Resident

Cyndy King

From: Jeff Parks <Jeff@rwcm.com>
Sent: Tuesday, March 25, 2025 10:42 AM
To: Participate
Subject: No Upzoning

We need to keep Ketchum special.

Jeff
Resident
711 Walnut

NOTICE: This message (including any attachments) may contain confidential, proprietary, privileged and/or private information. The information is intended to be for the use of the individual or entity designated above. If you are not the intended recipient of this message, please notify the sender immediately, and delete the message and any attachments. Any disclosure, reproduction, distribution or other use of this message or any attachments by an individual or entity other than the intended recipient is prohibited. This message should not be relied on in any manner as investment, legal, tax, accounting or any other form of advice. Please refer to <https://www.riverwoodcapital.com/privacy-policy/> for Riverwood's privacy notice describing how Riverwood gathers and uses personal information. By communicating with Riverwood or its affiliates through e-mail you consent to the foregoing.

Cyndy King

From: Juanita Young <belespritskin@gmail.com>
Sent: Monday, March 24, 2025 2:15 PM
To: Participate
Subject: up zoning

Dear P & Z members, City Council Members and Mayor:

Stop Up zoning (FLUP) Warm Spring and West Ketchum. Do not disturb existing zoning. We want more single family houses, not more garbage like Bluebird. That is the most appalling building. I have spoken to many people who said most the residents don't even work Ketchum.

Upzoning will not make housing more affordable, just the opposite. I sure haven't noticed prices in Ketchum coming down.

Please, please stop comparing Ketchum to Aspen and Vail. I don't care if we have more parking slots than Aspen. We want more parking spots for customers to come and shop and dine. That is why people come to Ketchum the..the ease of getting to and from where they want to consume.

Stop trying to provide housing for worker in Ketchum, obviously Bluebird is not doing that.

Cyndy King

From: Tom Monge <tom@mongeinvestments.com>
Sent: Tuesday, March 25, 2025 10:51 AM
To: Participate
Cc: Cindy Monge; Alex Monge
Subject: Ketchum UPZONE Proposal

To the City of Ketchum Planning and Zoning Commission and City Council and Mayor:

Both my wife Cindy Monge and myself Thomas Monge would like to go on record to **OPPOSE** the current proposed UPZONE of the entire City Of Ketchum. This proposal will NOT provide the intended purpose of providing “workforce” housing within of City limits .. it will only add to the complete destruction of our limited single-family neighborhoods and push out locals like my wife and I who have been residents in the City of Ketchum for over the last 47 years. We have watch for many years City Staff and City Governments try to change this City’s land uses and the only results that we have seen is more and more complicated zoning ordinances which have NEVER this provided City with any better design or planning... STOP this insanity and leave our Zoning Ordinance alone...it is fine the way it is and if anything it should be more simplified !!!

PUT THE BRAKES ON THIS UPZONE IMMEDIATELY!!!

Very are very, very Concerned about this proposal.

Thomas R. Monge
Monge Family Trust
Monge Investments
P.O. Box 307
700 Sun Valley Road
Sun Valley, ID. 83353
Mobile – 208-720-0490
Office – 208-622-4100
Email: tom@mongeinvestments.com

Cyndy King

From: Jeff Jensen <jeff@jensenconsult.com>
Sent: Tuesday, March 25, 2025 11:28 AM
To: Participate
Subject: 2025 Comprehensive Plan Comments

P&Z,
I am writing to oppose this plan.
We will be directly affected by these changes to our neighborhood and am not in favor.
The increased density will forever change the character of the neighborhood and create a serious safety hazard with more traffic and Avalanche risks.
Please do not approve this plan.

Jeff Jensen
216 Sage Road Unit B
Ketchum, ID 83340

Cyndy King

From: Mark Maykranz <mmaykranz@hotmail.com>
Sent: Tuesday, March 25, 2025 11:32 AM
To: Participate
Subject: No upzoning

Do not up zone Ketchum. I was just contacted by a small (well-funded) business group that intends to hire a lobbyist to cut off federal funding for institutionally- sized housing in Ketchum. You are shooting yourselves in the foot, as usual. The fact that Bradshaw was not even born in this country, and he wants to make many of our homes non conforming is ugly bold! Fire Breen and Bradshaw. They can go back to their cities and trash them instead of small town Ketchum. I support Michele Stenett's proposal.



**CITY OF KETCHUM
MEETING MINUTES OF THE
PLANNING & ZONING COMMISSION
Tuesday, March 11, 2025**

CALL TO ORDER: *(00:00:10 in video)*

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30 p.m.

ROLL CALL:

Neil Morrow
Susan Passovoy
Brenda Moczygemba
Matthew McGraw

ALSO PRESENT:

Abby Rivin – Senior Planner
Paige Nied – Associate Planner
Carissa Connelly – Director of Housing

COMMUNICATIONS FROM COMMISSIONERS: *(00:00:35 in video)*

- None

CONSENT AGENDA: *(00:00:40 in video)*

1. Approval of the February 25, 2025 minutes from the Planning and Zoning Commission.
2. Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for the Stanek Remodel Variance application.

Motion to approve the consent agenda.

MOVER: Susan Passovoy

SECONDER: Brenda Moczygemba

AYES: Susan Passovoy, Matthew McGraw, Brenda Moczygemba, & Neil Morrow

NAYS:

RESULT: UNANIMOUSLY ADOPTED

PUBLIC HEARING: *(00:03:07 in video)*

3. Presentation from the Ketchum Housing Department on housing initiatives past, present, and future – Carissa Connelly, Housing Director and Rian Rooney, Housing Policy & Program Strategist
 - Staff Presentation on Ketchum Housing Department and Blaine County Housing

- Authority, community housing needs by 2032, households at risk of displacement, etc; Carissa Connelly, (00:03:25 in video)
- Staff Presentation on Housing Action Plan Goals, updating policy to promote Community Housing, programs created, detailed description of Bluebird Preference Policy; Carissa Connelly (00:10:45 in video)
 - Commission questions and Staff responses on the Federal Fair Housing Act, housing data and its origins, census data, effects of wage growth on individuals living in community housing; Susan Passovoy, Carissa Connelly, Matthew McGraw, Rian Rooney (00:16:15 in video)
 - Staff Presentation on existing and future community housing projects (Bluebird, south YMCA lot, Lift Tower Lodge, Hyperborean Condos), parking availability, total units required for community housing, and how many are addressed by existing and future projects, discussion of specific household size requirements and availability; Carissa Connelly (00:24:55 in video)
 - Commission questions and Staff responses on existing tenants once City development occurs at owned locations, discussion of appreciation caps, ; Susan Passovoy, Carissa Connelly, Brenda Moczygemba (00:30:10 in video)
 - Staff Presentation on the Ownership + Preservation Program, Lease to Locals Program, ; Rian Rooney, Carissa Connelly (00:33:30 in video)
 - Staff Presentation, Commission questions, and Staff responses on Housing Action Plan Goals, updating policy to promote community housing goals, summary of past and future research studies on community housing needs and development in Blaine County, and work with staff on larger code changes for the upcoming Comp Plan and Zoning Code updates; Rian Rooney, Susan Passovoy, Carissa Connelly (00:39:45 in video)
 - Commission questions and Staff responses on transparency and clear communication regarding community housing and the split between Ketchum Housing Department and Blaine County Housing Authority, discussion of Housing newsletter and staff turnover, the difficulties of sharing information without sharing private personal details, clarification on Bluebird housing, difficulties of employee housing, entry level positions for the job market, ; Brenda Moczygemba, Susan Passovoy, Carissa Connelly, Neil Morrow, Matthew McGraw, Neil Morrow, (00:53:40 in video)

PUBLIC COMMENT: (01:06:30 in video)

4. Public comments

- Public Comment from Amy Weiler of West Ketchum (online), regarding county-wide housing, how to see information from a county-wide perspective, and Staff responses; Amy Weiler, Carrissa Connelly (01:07:10 in video)
- Public Comment from Perry Boyle of Ketchum(online), regarding other municipalities participating in the Blaine County Housing Authority and the distinction between Ketchum Housing Department and Blaine County Housing Authority, and Staff responses; Perry Boyle, Carrissa Connelly (01:08:20 in video)
- Public Comment from Julie Johnson (online), regarding zoning code changes, particularly for large buildings, and Staff responses; Julie Johnson, Abby Rivin, Matthew McGraw (01:12:15 in video)
- Public Comment from Scott Curtis, regarding zoning and comprehensive plan timing,

potential issues and solutions, need for parking , and Staff responses; Scott Curtis, Neil Morrow, Matthew McGraw, (01:16:30 in video)

- Public Comment from Peter Prekeges, regarding future housing projections and rescheduling Comp Plan meeting; Peter Prekeges, Neil Morrow, Carissa Connelly, Susan Passovoy, Abby Rivin (01:21:50 in video)

PUBLIC HEARING (CONT.): (01:33:15 in video)

5. Cohesive Ketchum Comprehensive Plan Overview – overview of second draft of the updated comprehensive plan and discussion of FAQs – Abby Rivin, Senior Planner
 - Staff Presentation on the revised Comprehensive Plan, outline of the presentation, discussion of the two total public hearings regarding the Comp Plan on March 25, and April 8, discussion of adding additional public meetings for public demand, discussion of canceling March 25th meeting, discussion of how the public can participate if they are unable to make the March 25th meeting, discussion of legal notice deadlines is March; Abby Rivin, Neil Morrow, Susan Passovoy, Matthew McGraw (01:34:35 in video)
 - Staff Presentation on the summary of changes that were made in the Comp Plan revision, including grammar, formatting, image cleanup, as well as adding frequently asked questions, role of advisory groups and their involvement with the Comp Plan, difference between Comp Plan and Zoning, discussion of FAQ's, explanation of the process of Comp Plan public hearings and adoptions; Abby Rivin, (01:48:10 in video)
 - Commission questions and Staff responses on revisions to Comp Plan; Brenda Moczygemba, Abby Rivin (02:08:45 in video)

PUBLIC COMMENT: (02:14:45 in video)

6. Public comments
 - Public Comment from Ned Burns, regarding Comp Plan and Zoning interactions (02:15:10 in video)
 - Public Comment from Minette Brozowski (spelling?), regarding impact of development on wild life (02:17:10 in video)
 - Public Comment from Bob Poole (spelling?), regarding rezoning of Wood River Dr / Bordeaux Street (02:20:15 in video)
 - Public Comment from Perry Boyle (online), regarding rezoning, (02:21:50 in video)
 - Public Comment from Tim Mott, regarding future growth demand, (02:24:40 in video)

PUBLIC HEARING (CONT.): (02:26:50 in video)

7. Continuation of previous Action
 - Staff responses to public comments; Abby Rivin (02:26:50 in video)
 - Commission discussion and responses to public comments, community housing, ; Neil Morrow, Susan Passovoy, (02:30:10 in video)

ADJOURNMENT:

Motion to adjourn at 5:38 p.m. (02:34:30 in video)

MOVER: Neil Morrow

SECONDER: Susan Passovoy

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, & Neil Morrow

NAYS:

RESULT: UNANIMOUSLY ADOPTED

Neil Morrow – P & Z Commissioner

Morgan Landers – Director of Planning & Building



COHESIVE
KETCHUM

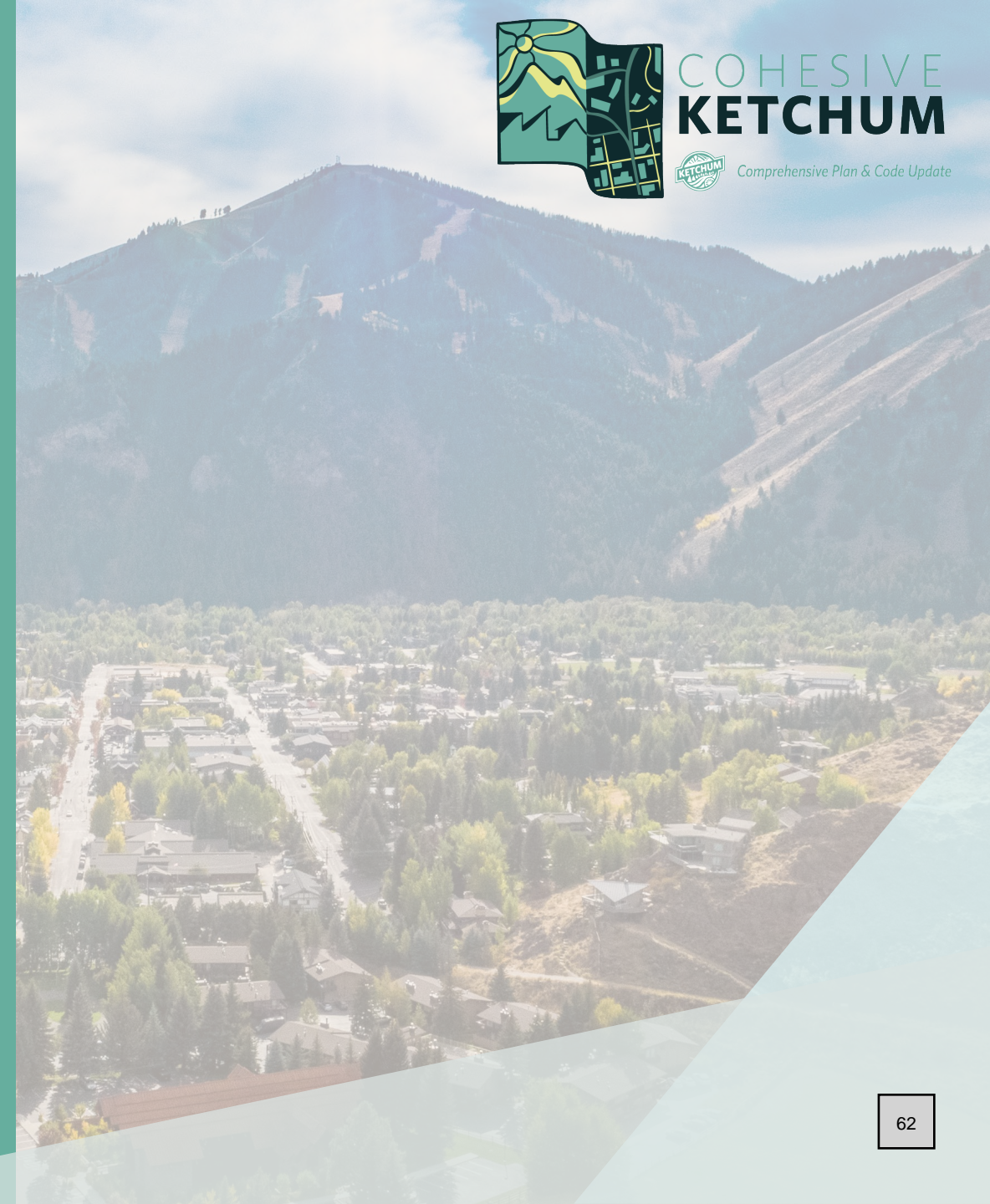


Comprehensive Plan & Code Update

Comprehensive Plan Draft Version 2

Planning and Zoning Commission Review (Meeting 1)

March 25, 2025



AGENDA

- Introduction and Process to Date
- What We've Heard
- Summary of Changes
- Next Steps



GOAL OF THE MEETING

- Review changes to the Draft Plan based on input received
- Provide *first of at least two* opportunities for P&Z and the public to weigh in on V2 of Draft Plan
- Provide direction to staff on the sections of the Draft Plan the Commission would like to focus on during the April 8 Meeting
- Identify potential changes to the Draft Plan for consideration by City Council



PROCESS TO DATE



WAYS TO PROVIDE FEEDBACK

Submit comments online at projectketchum.org/cohesive-ketchum

Send email to participate@ketchumidaho.org

Join us at one of the upcoming Planning and Zoning Commission Meetings

UPCOMING MEETINGS

MARCH 11

Information Session

MARCH 25

Public Hearing
NO DECISION/ACTION

WE ARE
HERE

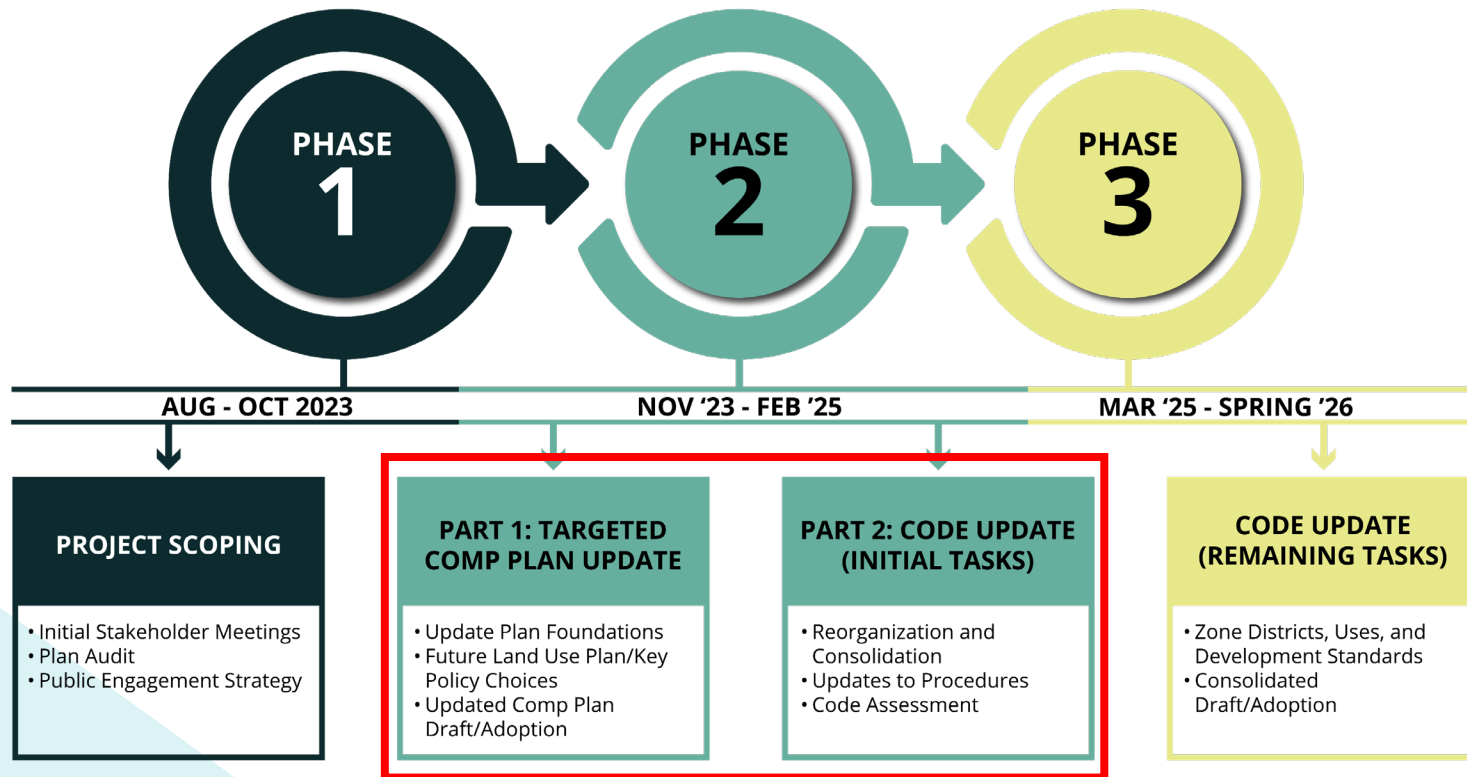
APRIL 8

Public Hearing

Additional public hearings may be held by the Planning and Zoning Commission as needed.



PROJECT



WE ARE HERE

- +3 months:
- Additional Engagement
 - Staffing



DECEMBER DRAFT: REVIEW OPPORTUNITIES

- November 20th and 21st: Review Initial Draft with committees
- Initial Draft Plan available online for comment: December 2, 2024 – January 17, 2025
- Open House – January 15, 2025
- Joint Meetings with P&Z and City Council:
 - December 10th – introduction to the draft; overview of initial feedback from committees
 - February 3rd – review of input on Future Land Use Map/request for policy guidance on how to address



DECEMBER DRAFT: COMMENTS RECEIVED

1,650
total comments

On Draft Comprehensive Plan and Future Land Use Map

- General Public
1,279 comments | 73 participants
- Project Committees
279 comments | 15 participants
- FLUM Web Portal
52 comments | 31 participants
- Open House (written comments)
40 comments | 23 participants



DRAFT COMPREHENSIVE PLAN - V2

The revised draft of Ketchum’s updated Comprehensive Plan is now available for review on the project website.

- Clean Version: Revised Draft Plan Version 2
- Comparison Version: Draft Plan Version 1 & Version 2
- Public Comments & Project Team Responses*

**project team will continue to review and refine*



projectketchum.org/cohesive-ketchum

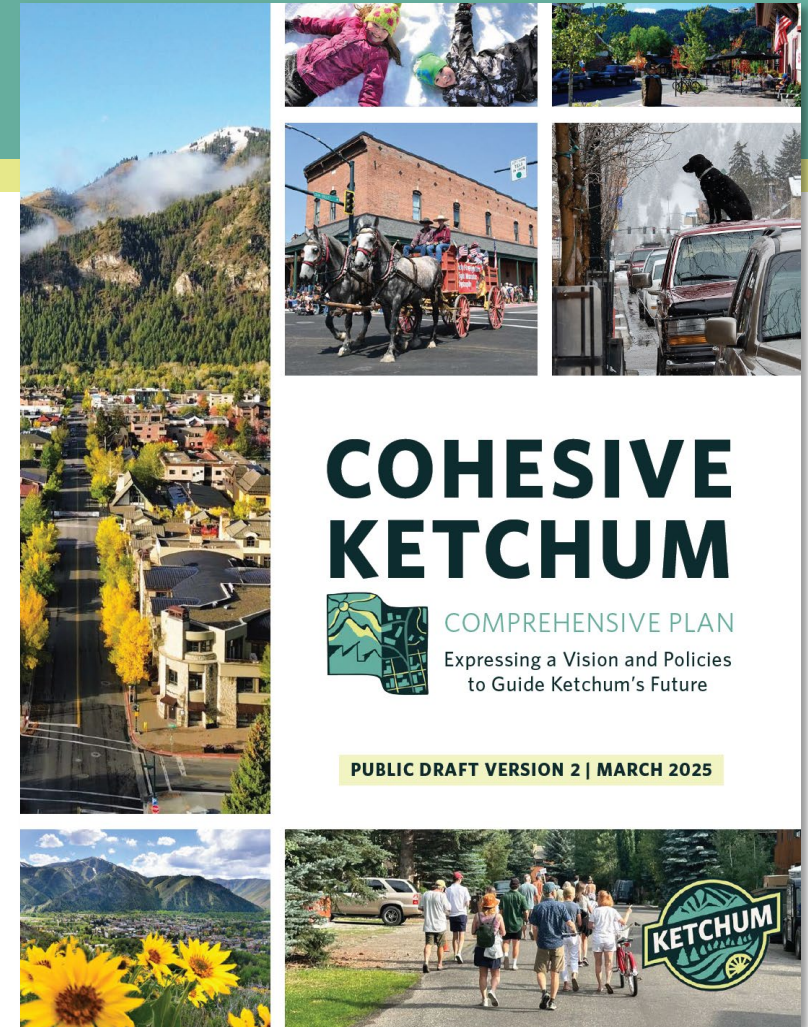
SUMMARY OF CHANGES



General Changes

- Performed overall scrub to address formatting issues, grammatical errors, photo selection, hyperlinks to external documents*
- Reviewed action words and updated where needed to clarify intent (e.g., support/promote vs. incentivize)
- Made updates and clarifications throughout to respond to community feedback
- Expanded use of cross-references

**Editorial edits will be ongoing until Plan is adopted*



General Changes

Expanded discussion of trends in the Plan to provide more context in...

- Introduction
- Relevant ‘Where we are today’ sections that accompany goals and policies



PLAN ASSESSMENT

An in-depth review of the 2014 Plan policies and implementation progress was conducted in the fall of 2023 to help identify gaps and opportunities for improvement in the updated Plan. This assessment stage included an initial round of meetings with City departments, boards and commissions, regional partners, and other stakeholders. Key themes that emerged from the assessment include:

- Preserving community character, as defined by the locals who live and work in Ketchum and contribute to the City's distinctive sense of place;
- Addressing community housing needs;
- Diversifying Ketchum's economy;
- Incorporating sustainability and community resilience priorities throughout the Plan;
- Expanding the Plan's focus on historic preservation in the context of economic development;
- Clarifying the role of the Future Land Use Plan in shaping how Ketchum grows;
- Strengthening regional partnerships;
- Aligning the updated Plan with recent plans and studies; and
- Defining the roles and responsibilities of the City departments and partner agencies working to implement the Plan.

MAJOR TRENDS

In early 2024, an analysis of trends was conducted to establish an understanding of how Ketchum has changed since the adoption of the 2014 Plan, and to guide policy discussions held as part of the Cohesive Ketchum process.

Major trends that were foundational to the Plan update process include:

- **Population growth and forecast.** Ketchum's population increased at a rate of 2.4 percent from 2010 to 2022, which is 1.6 percentage points higher than the City's growth rate from 2000 to 2022, bringing the community to a total population of around 3,550 people in 2022. Ketchum is forecast to add between 780 to 2,860 new residents by the year 2040.
- **Demographic change.** The median age of Ketchum residents has increased since 2010, jumping from 41.4 years old to 51.3 years old. The number of children (ages 0-15) and parents (ages 25-44) decreased in the same time period.
- **Housing costs.** Housing prices increased 74 percent in the past five years, outpacing 47 percent and 33 percent growth in income and pay, respectively.
- **Employment trends.** As of 2023, roughly 34 percent of all jobs in Blaine County were located in Ketchum, though Ketchum only makes up around 14 percent of the county's population. Additionally, only around 9 percent of the people who work in Ketchum also live in Ketchum.

These trends, paired with the key themes noted above, informed the goals and policies provided in Chapter III and the Growth Framework provided in Chapter IV. Additional detail regarding current conditions, trends, key issues, and opportunities is provided in Chapter III as they pertain to specific topics.

| See also, Appendix A: Major Trends and Existing Conditions and Appendix B: Land Demand and Capacity.

Distinctive Built and Natural Environment

- Reworked Goal BNE-1 and associated policies to align with Growth Framework and feedback regarding the importance of ‘managing’ vs. ‘encouraging’ growth
- Expanded discussion on historic preservation and associated policies
- Added maps:
 - Neighborhoods
 - Historic and Cultural Resources

GOALS AND POLICIES

LAND USE AND COMMUNITY CHARACTER



GOAL BNE-1: MANAGE GROWTH TO PROTECT AND ENHANCE KETCHUM'S ECLECTIC CHARACTER, DISTINCT NEIGHBORHOODS, AND QUALITY OF LIFE.

Policy BNE-1.1: Growth Management

Support the efficient use of Ketchum's limited land area by accommodating context-sensitive infill and redevelopment where supported by the Future Land Use Plan and necessary utilities and services. Continue to collaborate with Blaine County and other partners on the potential for future annexation of portions of the ACL to expand Ketchum's development capacity and reduce pressure on established neighborhoods.

| See also, Chapter IV. Growth Framework.

Policy BNE-1.2: Neighborhood Characteristics

Reinforce the distinct characteristics of Ketchum's neighborhoods, encouraging creativity and innovation over uniformity.

| See Neighborhoods Map, page 31, and Land Use Category descriptions, pages 92-109.

Policy BNE-1.3: Context-Sensitive Development

Require infill and redevelopment projects to be tailored to the surrounding neighborhood context and applicable future land use categories. Neighborhood-specific considerations include, are not limited to:

- The overall mix of uses, including housing types (where applicable);
- Building massing and scale in relation to adjacent sites and the building heights and densities permitted in the underlying zoning district;
- Building materials;
- Transitions between uses and adjacent properties; and
- The relationship of the building(s) and other site features to the street, adjacent historic properties, views of the surrounding mountains, and/or natural features.

Context refers to the natural and man-made features adjoining a development site; it does not imply a certain style.

Policy BNE-1.4: Downtown Core

Reinforce downtown's role as Ketchum's primary activity center and the heart of the community through the ongoing implementation of the goals, policies, and supporting plans and studies referenced on pages 76-81 of this Plan, and associated land use categories.

Policy BNE-1.5: Emerging Activity Centers

Provide opportunities for a mix of higher-density development and neighborhood-serving uses in the Warm Springs Base Area, River Run Base Area, and St. Luke's/McHanville/Cold Springs Canyon Area to complement and expand access to community housing, jobs, and localized services and amenities outside of downtown.

| See also, Growth Principles for a Sustainable and Resilient Ketchum, pages 86-87.



Diverse Community Housing Options

- Expanded discussion of short-term rentals
- Consolidated former Goal H-1 and H-3 and associated policies to reduce overlap/confusion.
- Added new Policy H-2.8 Legislative Advocacy
- Maintained most relevant housing terminology definitions

HOUSING RESOURCES AND CAPACITY

GOAL H-2: EXPAND AND LEVERAGE HOUSING RESOURCES AND CAPACITY.

Policy H-2.1: Community Housing Programs

Maintain and expand (where appropriate) housing programs that have been demonstrated to be successful in helping to achieve housing goals.

Policy H-2.2: Funding

Leverage local housing programs and resources to draw upon federal, state, private, and other funding sources.

Policy H-2.3: Local and Regional Partnerships

Continue to partner with local and regional organization to promote, plan, develop, manage, and preserve the long-term supply of community housing options in Ketchum.

Policy H-2.4: Public-private Partnerships

Collaborate with local and regional housing organizations, non-profits, and the private sector on the development of community housing on City-owned or other publicly-owned properties, or through other opportunities as they arise.

Policy H-2.5: Metrics and Monitoring

Increase the City's capacity to make informed decisions about and execute on housing policies by tracking housing trends, monitoring key metrics, and investing in staff

training programs. Support regional partnerships and on-going communications to increase coordination and housing impacts.

Policy H-2.6: Land Banking

Maintain an inventory of City-owned or other publicly-owned properties and leverage the land for community housing development. Compile and annually update information regarding each site's development feasibility and potential unit yield to inform the prioritization of resources. Evaluate the feasibility of purchasing land for community housing projects as opportunities arise.

Policy H-2.7: Community Housing Planning

Annually review, adapt, and update strategies in the Housing Action Plan to reflect changing dynamics.

Policy H-2.8: Legislative Advocacy

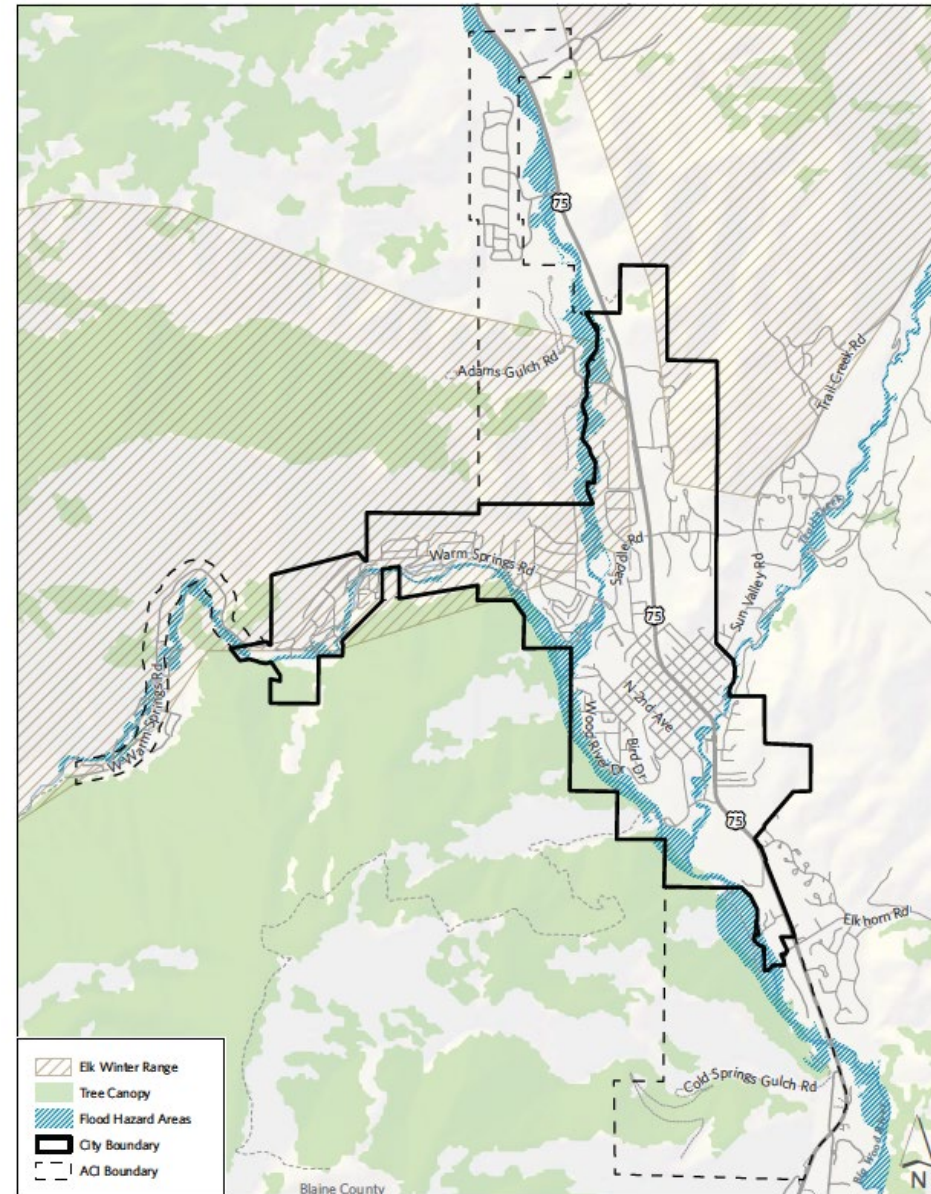
Advocate for legislative changes at the state level that would expand the authority of local governments to regulate short-term rentals and expand the range of tools that are available to local governments to support the implementation of housing goals (such as inclusionary housing).

Responsible Stewardship of Natural Resources

- Substantial rewrite of **‘Where we are today’** section to address community feedback and better reflect current conditions/ongoing initiatives:
 - Development Impacts
 - Water Quantity and Quality
 - Clean Energy Goals
 - Green Building Standards
 - Solid Waste and Recycling
- Added map of Environmentally Sensitive Areas

ENVIRONMENTALLY SENSITIVE AREAS MAP

Responsible Stewardship of Natural Resources



Public Draft Version 2 | March 2025 53



Responsible Stewardship of Natural Resources

Reworked policies associated with Goal NR-1 to more directly address:

- Big Game Habitat and Use Areas
- Wildlife-Friendly Development
- Education and Outreach
- Noxious Weeds

GOALS AND POLICIES

LAND, WATER, AND HABITAT CONSERVATION

GOAL NR-1: PRESERVE AND ENHANCE THE NATURAL HABITAT FOR FISH, WILDLIFE, PLANTS, AND OTHER CREATURES IN OUR ECOSYSTEMS.

Policy NR-1.1: Big Game Habitat and Use Areas

Work with the Idaho Fish and Game Department, Blaine County, and other partners to identify and protect migration corridors and other areas of importance to the most prevalent big game species in and around Ketchum.

Policy NR-1.2: Wildlife-Friendly Development

Promote the use of no or wildlife-friendly fencing, clustering, conservation subdivision design, or other strategies that limit the intensity and impacts of land uses and human activities in big game habitat use areas, and protect access to essential food and water sources.

Policy NR-1.3: Education and Outreach

Increase public awareness of potential wildlife conflict situations, and discourage activities that may attract wildlife to areas with high potential for human-wildlife conflicts.

Policy NR-1.4: Ecosystem Connections and Buffers

Work with the County and managers of surrounding private and public lands to preserve, enhance, and restore habitat connectivity. Ensure that development in areas that serve as habitat for wildlife is designed and built so that it does not impede wildlife movement.

Policy NR-1.5: Natural Lands Preservation

Support the protection of lands with the highest scenic and habitat values through acquisition, regulations, and collaboration with private, non-profit, and public entities.

Policy NR-1.6: River System Quality

Protect riparian vegetation, natural habitat, and water quality of Ketchum's rivers using regulatory tools while bolstering the flood attenuation capacity and providing appropriate public access to the river system.

Policy NR-1.7: Urban Forest Preservation

Manage and retain the community's urban forest by prioritizing the preservation of healthy, mature trees when properties are developed or redeveloped. Implement the recommendations of the Community Forest Management Plan.

Policy NR-1.8: Soil Quality

Partner with local organizations to expand knowledge of regenerative resource management practices in urban settings.

Policy NR-1.9: Noxious Weeds

Work with Blaine County and other land managers to manage noxious weeds on public lands and enforce the management of noxious weeds on private property.



Responsible Stewardship of Natural Resources

Reworked Goals NR-3 and NR-4 and associated policies to more directly align with 5B CAN and status of 2015 Green Building Standards

CLEAN ENERGY AND GREEN BUILDING



GOAL NR-3: LEAD BY EXAMPLE THROUGH THE USE OF CLEAN ENERGY AND GREEN BUILDING PRACTICES IN CITY OPERATIONS AND MAINTENANCE.

Policy NR-3.1: Energy Efficiency in City Operations

Continue to improve energy efficiency and greenhouse gas reductions in City buildings, vehicles, and operations. Compile and share information about techniques to conserve energy with the public.

Policy NR-3.2: Energy Alternatives

Implement policies and programs that enhance opportunities to generate or purchase energy from renewable sources for City facilities and infrastructure.

Policy NR-3.3: Resilient Energy Sources

Identify options for primary and back-up electrical generation and service options serving Ketchum. Evaluate the use of renewable energy options to diversify energy sources, reduce greenhouse gases, and preserve visual aesthetics.

Policy NR-3.4: Geothermal Hot Water

Utilize geothermal hot water as a public resource. Monitor the geothermal aquifer and manage development to ensure current and future usage does not diminish the long-term capabilities of the resource.

GOAL NR-4: PROMOTE AND SUPPORT CLEAN ENERGY AND GREEN BUILDING PRACTICES IN PRIVATE DEVELOPMENT.

Policy NR-4.1: Green Building Practices

Incentivize the use of water and energy conservation features in new development, including but not limited to the use of high-efficiency plumbing and light fixtures, recycled building materials, and clean energy systems.

Policy NR-4.2: Retrofit Incentives

Establish programs providing financial assistance for residential and commercial retrofits that reduce energy use and water consumption.

Policy NR-4.3: Geothermal Resources

Encourage the use of geothermal hot water systems and geothermal heat pumps in new development and the retrofit of existing development where feasible.

Policy NR-4.4: Solar Resources

Continue to support local solar energy growth by streamlining the solar permit process, making information on solar easily accessible to the community, and reviewing zoning requirements that could pose obstacles to solar development.

Policy NR-4.5: Site Planning

Encourage the use of energy conservation and greenhouse gas reductions through regulations governing placement, orientation, design, and clustering of development.



Responsible Stewardship of Natural Resources

Added new Policy NR-5.4 to reflect ongoing efforts and collaboration to expand local and regional access to recycling and composting services

SOLID WASTE AND RECYCLING



GOAL NR-5: REDUCE THE AMOUNT OF SOLID WASTE GENERATED IN KETCHUM.

Policy NR-5.1: Waste Stream Reduction

Pursue and support programs and activities that reduce the amount of waste which must go to the landfill through source reduction, reuse, composting, recycling, and the use of materials with recycled content.

Policy NR-5.2: City Operations

Lead by example by reducing waste in the City's day-to-day operations.

Policy NR-5.3: Construction Waste

Incentivize on-site separation of construction waste for recycling.

Policy NR-5.4: Regional Collaboration

Continue to work with Blaine County and other public and private partners to expand local and regional access to recycling and composting services.



Strong and Diverse Economy

- Updates to ‘**Where we are today**’ narrative and policies to reinforce balance between tourism reliance and economic diversification



Safe and Healthy Community

Substantial rewrite of **'Where we are today'** section to:

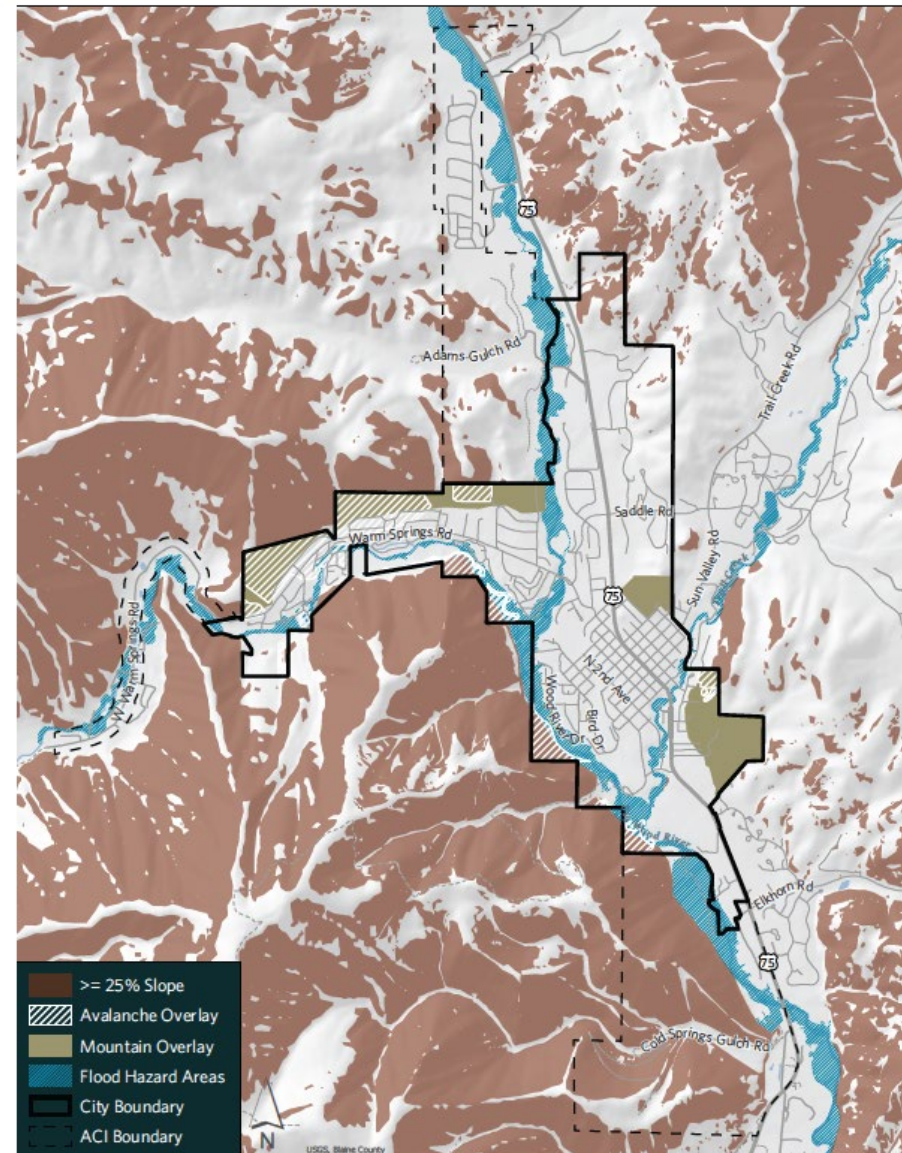
- Address community feedback
- Better reflect current conditions and ongoing initiatives related to:
 - Emergency service capacity
 - Hazard mitigation
 - Access to health services
 - Education
 - Access to healthy local food



Safe and Healthy Community

- Added explanation of Wildland Urban Interface as it pertains to Ketchum
- Added map of Natural Hazards

NATURAL HAZARDS MAP



Future Land Use Categories

- Substantial rewrite of future land use category descriptions:
 - Added descriptions for existing context and conditions
 - Clarified intent of density ranges for residential land use categories (intended to serve as an incentive to expand community housing)
 - Added future vision and desired characteristics
- Removed limitation on creation of new single-family detached homes in Medium Density Residential areas





MEDIUM-DENSITY RESIDENTIAL (MDR)

EXISTING CONTEXT & CONDITIONS

The Medium-Density Residential (MDR) areas in Ketchum feature a range of housing types, including single-family homes, duplexes, and smaller multi-family residential buildings. These areas include portions of the Warm Springs Base Area, mid and lower Warm Springs neighborhoods, West Ketchum, and areas west of the light industrial area. No two areas are alike, each with a variety of buildings of different ages, sizes, and architectural styles. The public realm generally features tree-lined streets with no curb and gutter, sidewalks, or formal on-street parking. While the street widths vary, many rights-of-way are narrow and further constrained by steep slopes, existing trees, and winter snow storage. Pedestrians, cyclists, and vehicles share the road as traffic is generally low in volume and speed. Current lot sizes vary from 8,000 square feet to one acre. Existing residential densities permitted range from five to 11 dwelling units per acre.

Added Existing Context & Conditions

FUTURE VISION

Intent. The diversification of housing options is encouraged through residential infill and redevelopment that is compatible with the surrounding neighborhood and expands community housing. Naturally-occurring affordable rental and owner-occupied housing units should be preserved. Density should be generally six dwelling units per acre. Density up to 18 dwelling units per acre may be permitted if community housing is the primary use and the proposed development is contextually compatible with the surrounding neighborhood. Minimum/maximum unit sizes will be required moving forward.

Clarified Density Ranges

MIX OF USES

Primary Uses. Townhomes and smaller multi-family residential.

Secondary Uses. Duplexes, small single-family homes, accessory dwelling units, as well as other supporting and complementary uses.

LOT SIZES

Flexibility in lot sizes should be provided moving forward to accommodate desired housing types. The subdivision of large lots is encouraged to expand community housing and preserve existing housing units.

HEIGHT

Up to three stories pursuant to design standards/guidelines.

PARKING AND TRANSPORTATION

Parking should be on consolidated off-street surface parking areas, attached/detached garages, private driveways. On-street parking should be provided where street widths can accommodate it. On-street parking is not available during the winter.

DESIRED CHARACTER

See desired common characteristics of Residential Neighborhoods, page 95

Building Orientation and Site Design. Residential infill and redevelopment should be compatible with the size, scale, pattern, and character of the neighborhood. Mature trees and vegetation provide screening from the street and adjacent buildings. Residential buildings are oriented toward the street. Adequate building separation and setbacks from the street are provided to reinforce neighborhood scale.

Public Amenities/Gathering Spaces. These areas are primarily served by public neighborhood parks, trails, and river access points. Multi-family developments should provide adequate gathering space to serve the residents of the development

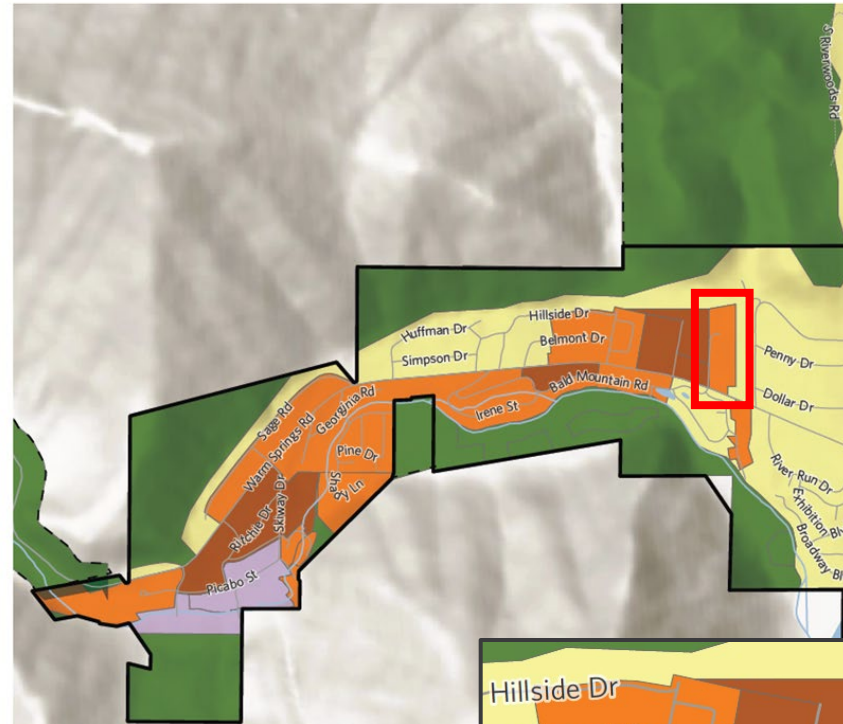
Public Realm. Physical qualities and characteristics of the streetscape that give each neighborhood its own authentic character should be retained and enhanced. Large existing trees within public rights-of-way that do not impede safety, maintenance operations, or increase the vulnerability of the neighborhood s to wildfire should be preserved. The public views of surrounding mountains should be enhanced by undergrounding utility lines.

Desired Characteristics

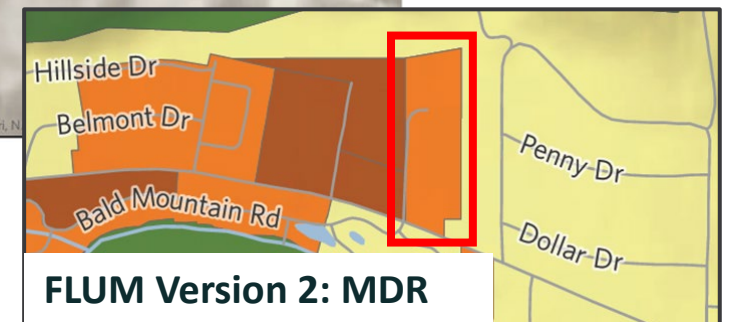
Future Land Use Map: Mid-Warm Springs

Incorporated a Medium-Density Residential transition area between Low-Density Residential and High Density Residential in Mid-Warm Springs Neighborhood

FUTURE LAND USE MAP - WARM SPRINGS



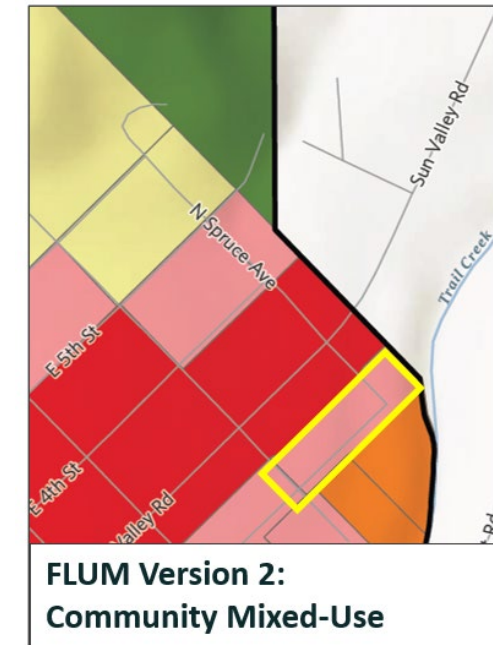
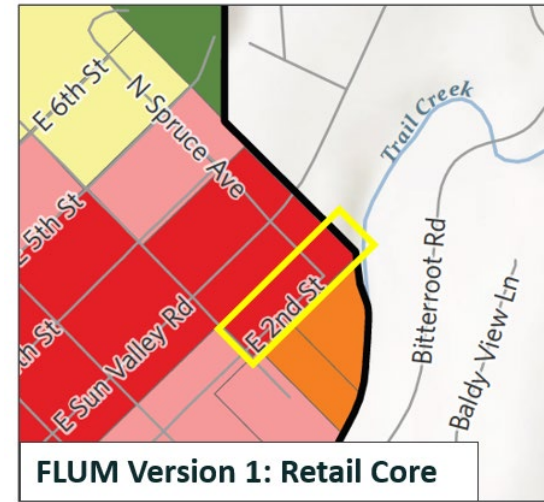
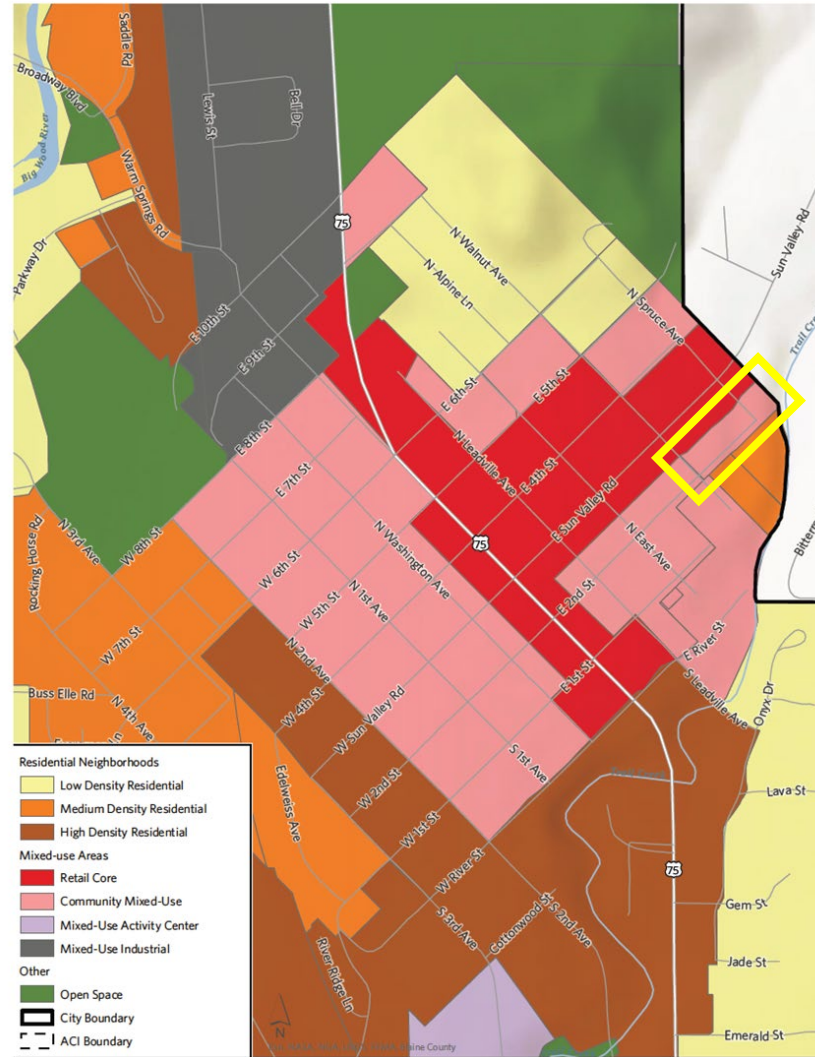
- Residential Neighborhoods
 - Low Density Residential
 - Medium Density Residential
 - High Density Residential
- Mixed-use Areas
 - Retail Core
 - Community Mixed-Use
 - Mixed-Use Activity Center
 - Mixed-Use Industrial
- Other
 - Open Space
 - City Boundary
 - ACI Boundary



Future Land Use Map: Downtown

Small tweak to Retail Core boundary on eastern edge of downtown


FUTURE LAND USE MAP - DOWNTOWN



Implementation

- Clarified roles and responsibilities for action items
- Maintained approach of not providing a comprehensive list of community partners (to accommodate changes over time)

TABLE 5-1: IMPLEMENTATION MATRIX

ACTION	RESPONSIBILITY	PRIORITY
<i>GOAL T-3: IMPROVE THE EFFICIENCY OF THE LOCAL AND REGIONAL TRANSPORTATION SYSTEM WHILE SUPPORTING THE REDUCTION OF GREENHOUSE GAS EMISSIONS, SINGLE-OCCUPANT VEHICLE USE, AND VEHICLE MILES TRAVELED.</i> 		
Action T-3.a. Update and adopt the Downtown Parking Management Plan and support its ongoing implementation. (See also, Action DT-1c.)	Lead: CA - PW Support: MR, KTA, CC	S (Annual)
Action T-3.b. Provide incentives for shared parking agreements to maximize the use of existing surface lots, where appropriate.	Lead: CA - PW Support: MR	S
Action T-3.c. Collaborate with Mountain Rides and the airport to develop a streamlined service to and from Ketchum and the airport.	Lead: CA - Comm Support: MR, FMA	S
Action T-3.d. Promote use of existing airport transportation services.	Lead: CA - PW Support: MR, FMA	S
Action T-3.e. Collaborate with Mountain Rides to weatherize high volume transit stops in City limits.	Lead: CA - C Support: MR, KTA	M
Action T-3.f. Develop and implement a Transportation Management Association or Organization to establish, promote, and administer an incentive program for City employees and local businesses that commute via carpool and active transportation (to reduce single occupancy vehicle trips, free-up more parking spaces in the Community Core zone, and promote public health).	Lead: CA - C Support: MR	M
Action T-3.g. Identify highly trafficked areas within the City for the installation of EV chargers.	Lead: CA - PW Support: PBD, KSAC	S
Action T-3.h. Seek out grant opportunities to secure funding for Level 3 EV chargers.	Lead: CA - PW Support: PBD, KSAC	S
Action T-3.i. Collaborate with businesses and owners of mixed-use buildings with parking structures to establish reserved parking spaces for EVs.	Lead: CA - PW and C Support: PBD, KSAC, KTA	M
Action T-3.j. Evaluate other City vehicles that could shift to EVs and consider retrofitting City buildings to accommodate EV charging.	Lead: CA - PW and C Support: SFD, KSAC	M



NEXT STEPS



PROCESS

- The Planning and Zoning Commission's role in the comprehensive plan update process is to review the draft plan and make a recommendation to the City Council.
 - That recommendation may include recommended revisions.
- Public hearings with the City Council will follow hearings with the Planning and Zoning Commission.
- The City Council is the final decision-making body on the adoption of the updated Plan.

WAYS TO PROVIDE FEEDBACK

- Submit comments online at projectketchum.org/cohesive-ketchum
- Send email to participate@ketchumidaho.org
- Join us at one of the upcoming Planning and Zoning Commission Meetings

UPCOMING MEETINGS

MARCH 11

Information Session

MARCH 25

Public Hearing
NO DECISION/ACTION

WE ARE
HERE

APRIL 8

Public Hearing

Additional public hearings may be held by the Planning and Zoning Commission as needed.





STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 25, 2025

PROJECT: 140 West 2nd

APPLICATION TYPE: Design Review (Application File No. P24-092)

ASSOCIATED APPLICATIONS: Pre-Application Design Review File No. P24-070

PROPERTY OWNER: 140 W 2nd Street LLC

REPRESENTATIVE: Michael Doty Associates, Architects

REQUEST: Final Design Review for the development of a new 9,363-gross-square-foot mixed-use building

LOCATION: 140 W 2nd Street (Ketchum Townsite: Block 59: Amended Lot 1A)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2 Zone)

REVIEWER: Abby Rivin – Senior Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on March 5, 2025. The public hearing notice was published in the Idaho Mountain Express on March 5, 2025. A notice was posted on the project site and the city’s website on March 19, 2025. The building corners were staked and the story pole was installed on the project site on March 17, 2025.

I. EXECUTIVE SUMMARY

The applicant is proposing to develop a new 9,363-gross-square-foot mixed-use building located at 140 W 2nd Street (the “subject property”) in the Mixed-Use Subdistrict of the Community Core (“CC-2 Zone”). The project includes an art gallery and showroom space on the ground level, two multi-family dwelling units on the second floor, and a residential penthouse on the third floor (see Figure 1). Four

off-street parking spaces are provided on site and accessed off the block 59 alleyway. The project plans are included as Attachment B.



Figure 1: 140 West 2nd (Exterior Rendering, Sheet A-601)

The subject property is an existing nonconforming lot with substandard width and size. The lot is 45 feet wide and has a total area of 4,946 square feet. Blocks within Ketchum’s original townsite were historically platted into 55-foot-wide lots oriented towards avenue rights-of-way that run north to south with rear property lines along alleyways. Unlike these historically platted townsite lots, the nonconforming subject property orients towards the corner of 2nd Street and the Block 59 alleyway (see Figure 2). The subject property is improved with an existing residential building that was developed in 1960 that is proposed to be demolished to accommodate the proposed mixed-use development.



Figure 2: Project Location Aerial Map

The project is proposing to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing. The total FAR for the mixed-use development is 1.89, and the project exceeds the 1.0 FAR permitted by-right in the CC-2 Zone by 4,417 square feet. The applicant proposes to mitigate the additional floor area by either making a community housing in-lieu fee payment of \$450,600 or dedicating one of the second-floor apartments as a deed-restricted community housing unit. Both the construction of deed-restricted community housing on site and payment of the community housing in-lieu fee are options to fulfill the community housing contribution pursuant to KMC §17.124.040.B2c.

Pursuant to recommended condition of approval no. 2, “A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.”

While not required for the project as the lot area is less than 11,000 square feet, the applicant voluntarily decided to go through the Pre-Application process. The Commission reviewed the Pre-Application Design Review for the project on November 12, 2024. The Pre-Application materials, staff report, and meeting recording is published on the city’s website and may be viewed by clicking the link [here](#).

The Commission provided feedback to the applicant on the initial design of the interior, east side wall adjacent to the Galena Building. The Commission expressed concern about the bulk and flatness of the east side wall and impacts to the existing residential units on the ground-level of the Galena Building. The Commission appreciated how the third-floor deck carved away building mass at the third floor to provide a light corridor. The Commission recommended the applicant consider design treatments to soften the visual impact of the east side wall and add visual interest through exterior material differentiation.

Following the applicant’s submittal of the final Design Review Application, planning staff and city departments conducted another review of the project for conformance with Design Review standards, zoning and dimensional standards, right-of-way standards, and other city requirements. Staff believes the project complies with all applicable Design Review standards and zoning code requirements and recommends the Commission approve the 140 West 2nd Design Review Application subject to conditions.

II. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & Criteria 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance Future Land Use

As shown in Figure 3, the subject property is designated as Mixed-Use Commercial on the future land map of the 2104 Comprehensive Plan (“2014 Plan”). The Mixed-Use Commercial future land use designation is intended to promote a wide range of land uses, including commercial and residential uses, within mixed-use buildings. The 2014 Plan states, “New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use developments should contain common public space features that provide relief to the density and contribute to the quality of the street” (page 69).

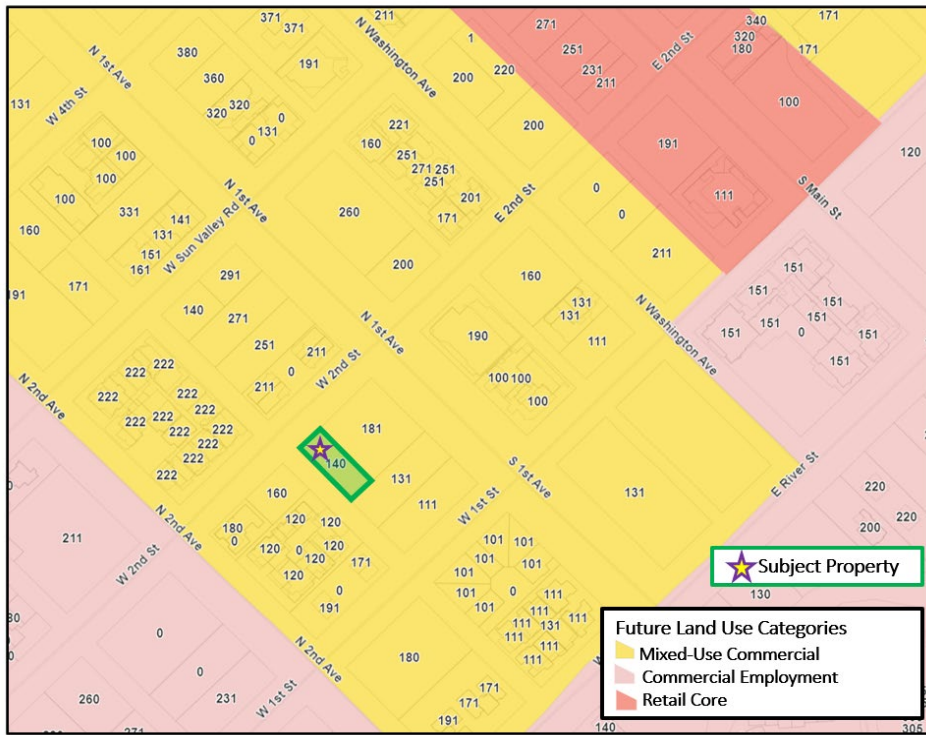


Figure 3: 2014 Plan Future Land Use Map

140 West 2nd is an infill, mixed-use development with an art gallery and showroom space on the ground-level that orients towards 2nd Street and the block 59 alleyway. The project incorporates a landscaped area and benches in the front setback area by the gallery entrance. Staff believes the public open space features, pedestrian amenities, and art gallery use will help create an active streetscape and add vibrancy to this area of downtown.

The 2014 Plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-

1.4 of the comprehensive plan states that, “infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26). Policy CD-1.3: “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26). Policy CD-1.4: “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

Compatibility with the Surrounding Neighborhood

The 2014 Plan provides the following policies regarding design and compatibility with the surrounding neighborhood:

- Policy CD-1.3: “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26).
- Policy CD-1.4: “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

As shown in Figure 6, non-conforming, single-family residence, the Mindbender Condominiums, and the 120 Building are located to the west of the project across the alley. The adjacent non-conforming single-family residence is the smallest-scaled building on the block with a total floor area 1,323 square feet. The Mindbender Condominiums is a multi-family residential building clad in dark brown cedar siding that was constructed in 2019. The 42-foot-tall Mindbender Building has a total FAR of 1.94. The 120 Building was constructed in 2000 and is a brick mixed-use building with green awnings that front 2nd Avenue. The 120 Building has a maximum height of 40 feet and a total FAR of 1.82.

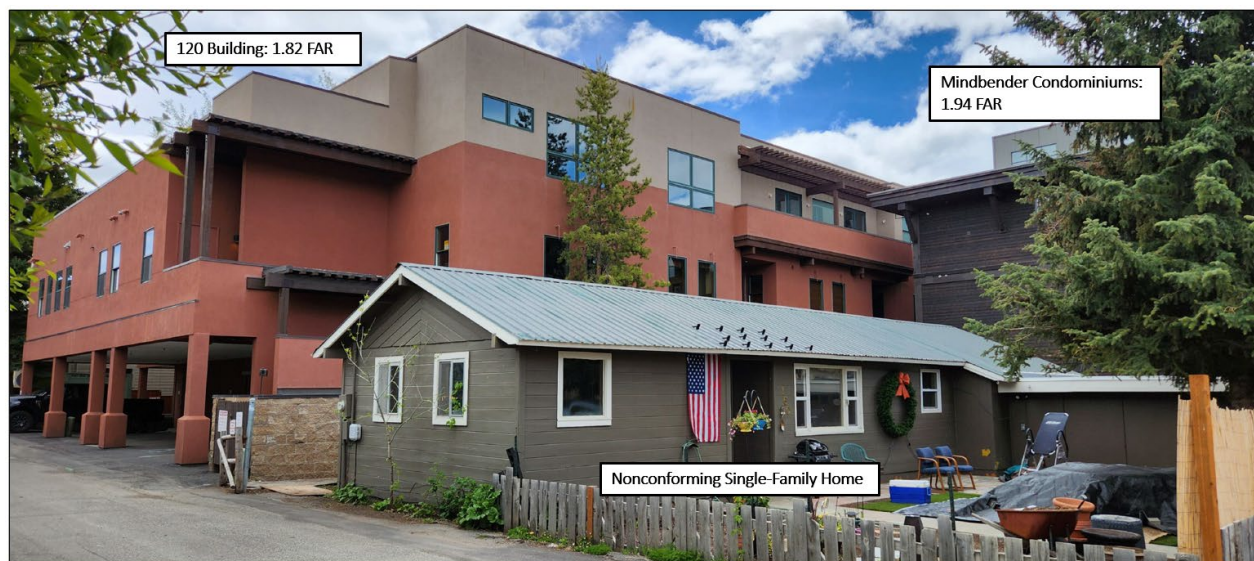


Figure 6: Neighboring Developments to the West Across Alley

The Pines multi-family residential buildings and the Chilali Condominiums are the project's direct neighbors to the north across 2nd Street. The Pines/Jenkins Condominiums is comprised of two, two-story multi-family residential buildings that were constructed in 1971. The Chilali Condominiums, which was constructed in 2007, is a 25-unit multi-family residential building that fronts 2nd Avenue and extends from Sun Valley Road to 2nd Street on the west half of block 58. The 71,355-square-foot Chilali Building is three stories with a total FAR of 1.75. The Chilali Building's exterior materials include stone veneer, light-brown painted board and batten siding, and stained cedar shingle siding.

The project has a total FAR is 1.89 and contains three floors that extend to a maximum height of 42'-8". The project is larger in scale than older buildings in the surrounding neighborhood, like the Galena Building, but comparable in size to newer developments like the Mindbender Condominiums, 120 Building, and the Chilali Condominiums. The proposed exterior materials include a regionally-sourced Oakley stone, Accoya resawn timber wood-siding with light brown and gray color tones, dark brown stucco, natural wood-toned soffits. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. Staff believes the project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.

Conformance with Zoning Regulations and Design Review Standards

Conformance with Zoning Regulations

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements, including permitted uses, dimensional standards, signage, parking, and dark

skies. Staff believes the project complies with all zoning and dimensional standards required in the CC-2 Zone. Please see further staff analysis in the Zoning and Dimensional Standards Evaluation included as Attachment C.

Conformance with Design Review Standards

During city department review, planning staff reviewed the project for conformance with all design review standards and required improvements (KMC §17.96.060) and requirements for developments within the Community Core specified (KMC §17.96.070). Additionally, staff reviewed the project for conformance with all city code requirements for right-of-way improvements, including but not limited to sidewalks, streetlights, and drainage. Staff believes that these requirements are either: (a) met, (b) not applicable, or (c) have been addressed by conditions of approval. Please see Attachment D for staff's comprehensive analysis of all design review standards. The following analysis addresses changes the applicant has made to the project design in response to Commission feedback on the east side wall.

East Side Wall

The proposed development is setback 2.5 inches from the east side property line and the three-story east side wall is directly adjacent to residential units on the ground floor of the Galena Building. The three-story east side wall is directly adjacent to decks attached to the rear of the Galena Building. During their review of the Pre-Application, the Commission provided recommended the applicant consider design treatments to soften the impact of the east side wall and add visual interest. As shown in Figure 7, the applicant has modified the design of the east side wall by adding recessed strip windows, steel lattice screens with vines, and decorative perforated metal panels. In addition, the applicant modified the design of the roof soffit to wrap around the building corner and extend along the top of the east side wall. Staff believes the applicant's design modifications softens and adds visual interest to the east side wall.



Figure 7: East Side Wall Modifications

STAFF RECOMMENDATION

Staff believes the project, as conditioned, all zoning code requirements and Design Review standards. Staff recommends approval of the applications with the following recommended conditions of approval:

Recommended Conditions of Approval

1. This Design Review approval is based on the plans dated January 31, 2025 and information presented and approved at the March 25, 2025 Planning and Zoning Commission Meeting included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 751 square feet or payment of the associated \$450,600 in-lieu fee is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project
3. The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-201 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal's special services are discontinued in the future, the owner must provide evidence of similar transport services.
4. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
5. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
7. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Motion

"I move to approve the 140 West 2nd Design Review Application subject to conditions 1-7 and direct staff to return with findings of fact."

III. ATTACHMENTS:

- A. Application Materials: Design Review Application & Supplemental Materials
- B. Application Materials: Design Review Plan Set
- C. Zoning and Dimensional Standards Evaluation
- D. Design Review Standards Evaluation

Attachment A

Application Materials: Design Review Application & Supplemental Materials



**City of Ketchum
Planning & Building**

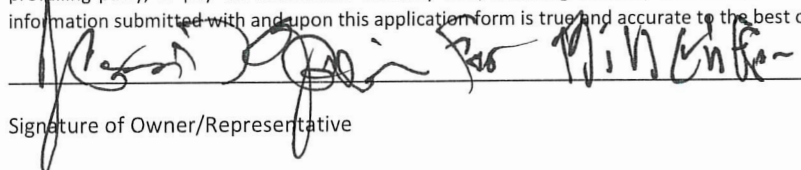
Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
By:

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: 140 West 2nd		Phone: (310) 990-8602	
Owner: 140 West 2nd Street LLC		Mailing Address:	
Email: billgriffinsv@gmail.com		PO Box 9000, Ketchum, Id 83340	
Architect/Representative: Michael Doty Associates		Phone: (208) 726-4228	
Email: mike@mda-arc.com		Mailing Address:	
Architect License Number: AR-1612		PO Box 2792, Ketchum, ID 83340	
Engineer of Record: Opal Engineering		Phone: (208) 720-9608	
Email: sam@opal-engineering.com		Mailing Address:	
Engineer License Number: 17618		PO Box 2530, Hailey, ID 83333	
Primary Contact Name and Phone Number: Mike Allaire; (208)726-4228			
PROJECT INFORMATION			
Legal Land Description: KETCHUM AM LOT 1A BLK 59		Street Address: 140 West 2nd Street	
Lot Area (Square Feet): 4,946 SF	Zoning District: CC-2	RPK #: RPK0000059001B	
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None
Type of Construction:	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Retail Trade / Residential		Number of Residential Units: 3	
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	1,244 sf (not included in FAR) Sq. Ft.		Sq. Ft.
1 st Floor	3,985 sf (3,337 sf for FAR) Sq. Ft.		Sq. Ft.
2 nd Floor	3,051 sf Sq. Ft.		Sq. Ft.
3 rd Floor	2,975 sf Sq. Ft.		Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	11,256 sf (9,363 sf for FAR) Sq. Ft.		Sq. Ft.
FLOOR AREA RATIO			
Community Core: 1.89		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 91%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 9'-6"	Side: 3'-1"	Side: 2 1/2"	Rear: 7"
Building Height: 41'-7 1/2" front; 41'-5" rear			
OFF STREET PARKING			
Parking Spaces Provided: 4	Curb Cut: n/a	Sq. Ft.	%
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


11/22/24
 Signature of Owner/Representative Date



Michael Doty Associates

■ ARCHITECT'S MEMO

To: City of Ketchum Planning and Building

From: Mike Allaire, AIA

Date: 11/20/2024

Re: 140 West 2nd Street; Design Review Revisions

West (Alley) Elevation Revisions

- Added simulated divided lights (SDLs) to select windows, increasing texture and reducing perceived scale of building elements.
- Revised caps on stone walls from steel to stone to add warmth, texture, and a more traditional feel.
- Revised steel awnings over doors to extend past the wall opening, increasing articulation of building elements.

North (2nd Street) Elevation Revisions

- Added simulated divided lights (SDLs) to select windows, increasing texture and reducing perceived scale of building elements.
- Revised caps on stone walls from steel to stone to add warmth, texture, and a more traditional feel.
- Revised steel awnings over doors to extend past the wall opening, increasing articulation of building elements.

South (Property Line) Elevation Revisions

- Continued roof soffit element around the corner to complete and unify the visible portion of the elevation.

East (Property Line) Elevation Revisions

- Added recessed strip windows, bringing light into the central areas of the residential units while adding texture and interest to the east wall façade.
- Extended the roof soffit return an additional 30-feet to integrate with the wood siding vertical element.
- Added steel lattice screens to encourage vine growth from the third-floor deck planter, bringing a green element and added texture onto the east wall façade.
- Added decorative perforated metal panels to the north side of the façade to add texture and interest to the most street-visible portion of the east façade.

General Summary:

- In response to the commission's constructive comments, the above revisions focus mostly on the east wall façade to liven the exterior elevation from both the residential units on the ground floor and the from the 2nd floor office spaces. Revisions to the other facades add texture and traditional detailing to capture the context of Ketchum.

IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS: 17.96.060

City Code	City Standards and <i>Applicant Comments</i>
17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
<i>Comments</i>	<i>Applicant will provide and be responsible for all costs associated with providing connections from the existing city street to the development. If KURA funds become available, the applicant may request the organization grant funds to cover a portion of the cost of the work.</i>
17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
<i>Comments</i>	<i>The proposed street design has been prepared by Opal Engineering to meet the city's right-of-way standards. The applicant team will work and coordinate with the City Engineer and Streets Department to confirm compliance with applicable standards prior to building permit submittal.</i>
17.96.060(B)(1) Sidewalks	All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.
<i>Comments</i>	<i>The applicant will demolish the existing 5-foot wide sidewalk and replace with an 8-foot wide sidewalk at West Second Street as required by the Public Works Department. Applicant may request a portion of funds from KURA if they become available.</i>
17.96.060(B)(2) Sidewalks	Sidewalk width shall conform to the City's right-of-way standards; however, the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
<i>Comments</i>	<i>Opal Engineering has designed the sidewalk to conform to the City's right-of-way standard 8'-0" width and other requirements established by the City Engineer. Applicant will coordinate with the City Engineer to meet with their discretion and confirm compliance with applicable right-of-way standards prior to building permit submittal.</i>
17.96.060(B)(3) Sidewalks	Sidewalks may be waived if one of the following criteria is met:
17.96.060(B)(3)(a) Sidewalks	The project comprises an addition of less than 250 square feet of conditioned space.
17.96.060(B)(3)(b) Sidewalks	The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
<i>Comments</i>	<i>N/A. The applicant is not considering any options to waive requirements for sidewalk construction.</i>
17.96.060 (B)(4) Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
<i>Comments</i>	<i>The sidewalk improvements will equal the length of the property lines adjacent to the West Second Street frontage. Applicant may request a portion of funding from KRUA if they become available.</i>
17.96.060 (B)(5) Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
<i>Comments</i>	<i>Opal Engineering has designed the sidewalks to provide pedestrian connections to the existing sidewalk adjacent to 181 North First Avenue and to the existing alley to the west of the proposed building. Additionally, an on-property walkway has been designed to connect the West Second Street sidewalk to the residential entry fronting the alley. Sidewalk improvements extend beyond the property only as much as required to transition to the neighboring sidewalk and alley. Applicant will</i>

	<i>coordinate with the City Engineer to confirm compliance with applicable right-of-way standards prior to building permit submittal.</i>
17.96.060 (B)(6) Sidewalks	The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.
Comments	<i>N/A. The applicant will not pursue an in-lieu contribution to avoid sidewalk improvements. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(C)(1) Drainage	All storm water shall be retained on site.
Comments	<i>Storm water will be retained on site. Storm water falling on the building's roofs/terraces, awnings, and overhangs will be directed via internal roof drains and drain leaders to on-site drywells designed to meet calculated runoff volume needs by Opal Engineering.</i>
17.96.060(C)(2) Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
Comments	<i>Drainage improvements will be constructed equal to the length of the subject property lines adjacent to West Second Street and the alley. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(C)(3) Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
Comments	<i>Proposed drainage improvements have been designed by Opal Engineering and will include any additional improvements deemed necessary due to unique site characteristics by the City Engineer.</i>
17.96.060(C)(4) Drainage	Drainage facilities shall be constructed per City standards
Comments	<i>Drainage facilities have been designed to conform with City of Ketchum Municipal Code standards by Opal Engineering and will be constructed accordingly.</i>
17.96.060(D)(1) Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
Comments	<i>Applicant will coordinate with utility companies and provide funds for improvement and installation of all utilities necessary for completion of the development. If KURA funds become available, the applicant may request funds be granted to cover a portion of the cost of the work.</i>
17.96.060(D)(2) Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
Comments	<i>Applicant will work and coordinate with utility companies to provide and install all utility improvements necessary for completion of the development to meet City standards.</i>
17.96.060(D)(3) Utilities	When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.
Comments	<i>N/A. Project needs are met without the need to extend utilities.</i>
17.96.060(E)(1) Compatibility of design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
Comments	<i>The project's proposed durable low, or no, maintenance exterior finish materials, colors, and signing will complement the townscape, surrounding neighborhoods,</i>

	<i>and adjoining structures. See below 17.96.060(F)(2). A digital exterior finish materials board is included with the design review submission.</i>
17.96.060(E)(2) Compatibility of design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
Comments	<i>N/A.</i>
17.96.060(E)(3) Compatibility of design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
Comments	<i>N/A.</i>
17.96.060(F)(1) Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
Comments	<i>The building's main entry on West Second Street has direct access to the sidewalk and is clearly defined by a two-story stone wall and the extending steel awning. The secondary commercial entry and the residential entry are located along the alley frontage and have unobstructed pedestrian access via an on-site concrete walkway connecting to the West Second Street sidewalk. The secondary commercial entry features a twin of the two-story stone wall of the main entry but its reduced steel awning and location at the alley cement its status as subordinate to that of the main entry. The residential entry is clearly defined and distinguished as it is located at the end of the walkway, just past the stone wall, and framed by an open glass corner, inviting pedestrians inside.</i>
17.96.060(F)(2) Architectural	The building character shall be clearly defined by use of architectural features.
Comments	<i>The building character is rustic, yet refined, its pallet drawn from regionally sourced Oakley stone, distinctly "Idaho" and part of Ketchum's design fabric. Twin stone walls frame the commercial entries and tie the West Second Street and alley facades together. Exterior plaster and durable wood siding pull their color from the varying brown and tan earth tones found in the Oakley stone, while dark bronze steel accents provide a modern touch. Planters found along the 2nd and 3rd floor decks raise greenery and landscape above the ground plane, which in turn grounds the upper floors, reducing perceived mass. A sense of lightness and transparency is achieved through open corner glazing and viewshed through the building at corners.</i>
17.96.060(F)(3) Architectural	There shall be continuity of materials, colors and signing within the project.
Comments	<i>See above, 17.96.060(F)(2). Signage, though minimal, takes cues from the base building materials, cutting recessed dark bronze steel voids out of the stone walls with light bronze lettering, again pulling earth tones from the surrounding Oakley stone.</i>
17.96.060(F)(4) Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
Comments	<i>Landscape features complement the building: Raised dark bronze steel planters and outdoor built-in seating areas of wood and steel create visual interest on all levels.</i>
17.96.060(F)(5) Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
Comments	<i>The building steps in and out, in both the vertical and horizontal planes, providing undulation and relief. In addition to shifts in the main massing, targeted pop-outs and steel accents allow for added shadow lines and opportunities to change materials, increasing texture and visual interest on all facades. Specific to the east façade, cut-outs, three feet deep, allow slit windows the opportunity to liven a zero lot line wall, bringing light into the building's central areas and providing relief to the exterior façade. Second floor cantilevered decks provide a horizontal break at a single-story level, creating a human scale to the three-story building. Together, these gestures reduce any sense of bulk or flatness on the building.</i>

17.96.060(F)(6) Architectural	Building(s) shall orient towards their primary street frontage.
Comments	<i>The unique features of this site, including a narrow 45-foot street frontage, a long 110-foot alley frontage, and a 30-foot-wide alley, suggest a creative and inspired solution to defining the “front” of the building. From a design perspective, the “front” of the building can be defined as the Second Street frontage and the first fifty feet of the alley frontage. This includes the main gallery entry on Second Street, and the secondary gallery and residential entries facing the alley.</i>
17.96.060(F)(7) Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
Comments	<i>A trash room with four rolling trash/recycling bins with direct access to the alley is provided to serve the commercial space and three residential units. As discussed, and provided for in Clear Creek’s will-serve letter, these bins will not remain in the alley, but will be immediately returned to the room as part of the special services provided by Clear Creek Disposal, if available, or by property management if Clear Creek Disposal special services are not available. No satellite receivers are contemplated at this time. Should they be included as the design progresses, they will be screened.</i>
17.96.060(F)(8) Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
Comments	<i>All proposed roof elements are flat roofs, which will be drained internally, the rain water collected in on-site dry wells. Pedestrians will be able to shelter at entrances, which are recessed, by the building itself and by awnings or overhangs.</i>
17.96.060(G)(1) Circulation design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
Comments	<i>Existing sidewalks will be replaced with new 8-foot-wide sidewalks per city standards. Refer to 17.96.060(B)(2), (4), & (5). One bicycle parking rack for two (2) bicycles will be provided off the alley, adjacent to the residential entry.</i>
17.96.060(G)(2) Circulation design	Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.
Comments	<i>N/A, all awnings stop short of the property line.</i>
17.96.060(G)(3) Circulation design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
Comments	<i>Traffic flow to and from the site will be on the adjacent streets, alley, and sidewalks. Improvements to these have been designed by Opal Engineering to conform to city standards. See above.</i>
17.96.060(G)(4) Circulation design	Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
Comments	<i>N/A. No new curb cuts or driveways are being proposed.</i>
17.96.060(G)(5) Circulation design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
Comments	<i>Garbage trucks, emergency vehicles, snowplows, and service vehicles will have access to the site from the rights-of-way.</i>
17.96.060(H)(1) Snow storage	Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.
Comments	<i>The proposed snow storage area is 149 SF or 31.6% of the uncovered parking and pedestrian circulation areas.</i>
17.96.060(H)(2)	Snow storage areas shall be provided on site.

Snow storage	
Comments	<i>The proposed snow storage area is a landscape area on the northern side of the property adjacent to the West Second Street right-of way.</i>
17.96.060(H)(3) Snow storage	A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.
Comments	<i>The proposed snow storage area is 149 SF with a minimum dimension of five-feet.</i>
17.96.060(H)(4) Snow storage	In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.
Comments	<i>Hauling of snow will be done on the rare occasions the snow to be removed exceeds the capacity of the proposed snow storage area.</i>
17.96.060(I)(1) Landscaping	Landscaping is required for all projects.
Comments	<i>Landscaping is provided on all levels. At the ground level, along the West Second Street frontage, landscaping is to be simple yet refined through the use of ground cover, uniformly spaced drought tolerant ornamental grasses, and weeping Norway spruce trees as a playful nod to Ketchum's large spruce population. On the upper floors, planters are provided along various deck guardrails to be planted with various grasses and annual and perennial flowers.</i>
17.96.060(I)(2) Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(I)(3) Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(I)(4) Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
Comments	<i>Refer to 17.96.060(I)(1), above.</i>
17.96.060(J)(1) Public amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
Comments	<i>Benches complimenting the architecture in form and material are provided at both property corners along West Second Street.</i>
17.96.060(K)(1) Underground encroachments	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
Comments	<i>Below grade concrete footings encroach into the 3-foot alley setback.</i>
17.96.060(K)(2) Underground encroachments	No below grade structure shall be permitted to encroach into the riparian setback.
Comments	<i>N/A.</i>
IMPROVEMENTS AND STANDARDS: COMMUNITY CORE (CC) PROJECTS	
In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.	
17.96.070 A(1) Streets	Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.

Comments	<i>The landscape designer and general contractor will coordinate with the Public Works Department during construction to ensure the approved design will be installed and constructed in compliance with applicable Ketchum Municipal Code standards as determined by the Public Works Director.</i>
17.96.070 A(2) Streets	Street trees with a minimum caliper size of three inches, shall be placed in tree grates.
Comments	<i>N/A. No street trees are proposed.</i>
17.96.070 A(3) Streets	Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.
17.96.070 B(1) Architectural	Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.
Comments	<i>As noted in section 17.96.060 F(6) above, the unique features of the site led the design to include the first 50-feet of the alley façade as the “front” of the building, along with the West Second Street façade. The materials and detailing used on this front corner extend the length of the alley and around the corner to the visible portion of the south façade, and onto the east façade. Additionally, the east façade, though a zero lot line wall, has been designed to include stepped-back strip window openings along with the extension and articulation of front-façade materials to help avoid the look and feel of a typical blank property line wall.</i>
17.96.070 B(2) Architectural	[At] nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
Comments	<i>Nearly 40% of the length of the West Second Street façade at the ground level is comprised of clear glass extending from the floor to a height of 11 or 12-feet. A landscape zone is provided in the setback area between the sidewalk and building comprised of native and drought tolerant ground cover, ornamental grasses, and weeping Norway spruce trees.</i>
17.96.070 B(3) Architectural	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
Comments	<i>Refer to 17.96.070(B)(2) above. The nearly floor-to-ceiling glass is unobstructed by building elements and landscaping, preserving views into the building.</i>
17.96.070 B(4) Architectural	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
Comments	<i>All proposed roofs are flat, with non-reflective membranes covered with stone ballast. The overhang and soffits are of similar size and scale to other buildings found in and around Ketchum’s downtown core. The natural, clear-stained wood soffit pulls its earth-tone colors from the Oakley stone, while the dark bronze fascia is the same material and color found on steel accents elsewhere on the building.</i>
17.96.070 B(5) Architectural	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
Comments	<i>N/A.</i>
17.96.070 B(6) Architectural	Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
Comments	<i>N/A.</i>
17.96.070 B(7) Architectural	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
Comments	<i>N/A. No front porches or stoops are included in this project.</i>

17.96.070 C(1) Service areas and mechanical/electrical equipment	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
Comments	<i>Refer to 17.96.060(F)(7).</i>
17.96.070 C(2) Service areas and mechanical/electrical equipment	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
Comments	<i>Roof mounted mechanical equipment, consisting of HVAC systems for the residential and commercial spaces, will be fully screened by blackened perforated steel in keeping with other steel elements. All ground floor level or ground mounted electrical and mechanical equipment is located along the alley. The gas meters are located under cover in a niche located between the secondary commercial entry and residential entry. The electrical switchgear is located at the back of the single car covered parking space. As noted in IPCO's will-serve letter, a new on-site transformer will not be required.</i>
17.96.070 D(1) Landscaping	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
Comments	<i>The applicant and landscape designer will work with the city arborist to determine if any of the existing trees removed as part of the construction of this project will be replaced, and if so, where they will be located.</i>
17.96.070 D(2) Landscaping	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
Comments	<i>N/A. No trees are proposed in courtyard plazas or pedestrian walkways.</i>
17.96.070 D(3) Landscaping	The city arborist shall approve all parking lot and replacement trees.
Comments	<i>The applicant and landscape designer will work with the city arborist on the selection of replacement trees should they be required.</i>
17.96.070 E(1) Surface parking lots	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
Comments	<i>One covered surface parking space is proposed off the alley and not visible from the West Second Street right-of-way.</i>
17.96.070 E(2) Surface parking lots	Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
Comments	<i>N/A.</i>
17.96.070 E(3) Surface parking lots	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
Comments	<i>See 17.96.060 I(1) above. Tree wells are not proposed within pedestrian walkways.</i>
17.96.070 F(1) Bicycle parking	One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.
Comments	<i>Four parking spaces are required for the residential portions of the development. All other uses fall below the threshold requiring parking spaces. Accordingly, one (1) bicycle rack, providing two (2) bicycle spaces will be provided near the residential entry.</i>
17.96.070 F(2) Bicycle parking	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.
Comments	<i>N/A.</i>

<p>17.96.070 F(3) Bicycle parking</p>	<p>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</p>
<p>Comments</p>	<p><i>The bicycle rack is located directly adjacent to the residential entry that it serves. Its location is also directly adjacent to the pedestrian walkway that connects the residential entry to the sidewalk at the West Second Street right-of-way.</i></p>







NO PARKING
EXCEPT FOR
EMERGENCY VEHICLES
AND SERVICE VEHICLES

NO PARKING
EXCEPT FOR
EMERGENCY VEHICLES
AND SERVICE VEHICLES

WELCOME
TO THE
MOUNTAIN
VIEW
HOTEL



NO
PARKING

KETCHUM
NOTICE OF PUBLIC HEARING



5B B1353

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

November 21, 2024

Planning & Building
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 140 2nd St W

To Whom It May Concern,

I have engaged in conversation with Michael Allaire, Project Architect regarding the above address; a new construction of three single family homes & one commercial space. Please let this letter serve as to the following:

There will be a designated garbage room located near the center of the project of ample size to accommodate at least one 95-gallon cart per residence and the commercial space. Provisions for these services will be at the alley and the project owner is aware that carts will need to be transported to the designated area in the alley on the day(s) of collection. Transportation of the carts may be obtained by Clear Creek Disposal or a property management company, if available, or on-site management. All parties involved understand that the carts may not remain in the public right of way for any reason longer than normal servicing requires.

If you have any concerns, please call me at your earliest convenience.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.140 2nd St W - 1





451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342
www.intgas.com

Michael Doty Associates, Architects PC
Mike Allaire AIA
PO Box 2792
371 Washington Avenue North
Ketchum Idaho 83340

November 20, 2024

RE: 140 2nd St. W. Ketchum Idaho 83340. Mixed use commercial and residential suites located at the intersection of 2nd St W and 2nd St N Ketchum Idaho, Blaine County

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

From: Bennett, Cheryl <CBennett2@idahopower.com>

Sent: Monday, November 18, 2024 4:11 PM

To: Jim Garrison <jim.d.garrison@outlook.com>

Subject: Will Serve Letter

Hi Jim,

I have reviewed the project slated for 140 2nd St West. At this point, I don't believe we will need any Idaho Power device on your project property to serve the load. There is a single phase and three phase transformer across the alley to the SW. As you are aware, I'll need the final electrical load to finalize any design to serve the project, but at this point, I believe it will only be underground service wire to the new building.

As you are also aware, the underground service to the building to the east of your project currently runs between the buildings and will have to be relocated in order for you to excavate and build a zero lot line structure. I will have to design new power line to serve the building to the east of the project at 181 N 1st Ave. Due to the meter locations, the transformer for their building will have to go in the front SE corner. I have not talked to the owner of the property to go over a location – the transformer would only serve that building and would not serve any of the surrounding buildings, just 181 N 1st St – this relocation will need to occur before you can excavate out the new building as the underground service will be in the way of the footing.

Let me know if you have any other questions.

CB

Cheryl Bennett

Senior Distribution Designer

Idaho Power | COBD

Office 208-788-8058 | Mobile 208-721-8822

11831 Highway 75 | Hailey, ID | 83333

Attachment B

Application Materials:
Design Review Plan Set



SHEET INDEX

MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION	
	EARTH / TOP SOIL		SIDING - WOOD
	PLYWOOD		SIDING - FIBER CEMENT PANEL/PHENOLIC CORE PANEL
	WASHED ROCK		BRICK
	ASPHALT PAVING / ROADBED MATL.		CONCRETE
	CONCRETE		STUCCO
	BRICK		GLASS
	CONCRETE MASONRY UNIT		CONCRETE MASONRY UNIT
	CUT STONE		WALL - NEW CONSTRUCTION
	STEEL		WALL - EXISTING TO REMAIN
	ALUMINUM		WALL - TO BE DEMOLISHED
	SAND, PLASTER, GYPSUM BOARD		
	BATT INSULATION		
	BIBS INSULATION		
	RIGID INSULATION		
	SPRAY FOAM INSULATION		

PROJECT TEAM

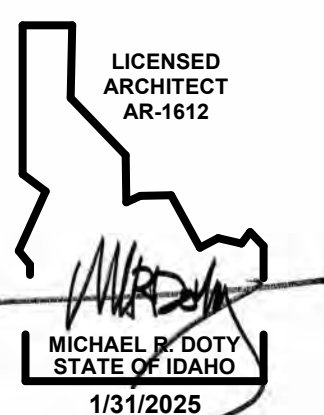
OWNER:	140 West 2nd Street, LLC PO Box 9000 Ketchum, Idaho 83340 billgriffinsv@gmail.com	CIVIL ENGINEER:	Opal Engineering, PLLC Samantha Stalhnacker, PE P.O. Box 2530 Hailey, Idaho 83333 (208) 720-9608 sam@opal-engineering.com
ARCHITECT:	Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	GEOTECHNICAL ENGINEER:	Butler & Associates, Inc. Steve Butler P.O. Box 1034 280 Spruce Avenue North Ketchum, Idaho 83340 (208) 720-6432 svgeotech@gmail.com
GENERAL CONTRACTOR:	Lee Gilman Builders, Inc. Matt Spence PO Box 5348 Ketchum, Idaho 83340 (208) 928-7810 matt@leegilman.com	STRUCTURAL ENGINEER:	Vector Structural Engineers Brendan Sines, PE 1478 West Ustick Road, Suite 110 Meridian, Idaho 83646 (208) 996-0303 brendan.sines@vectorse.com

PROJECT DATA

LEGAL DESCRIPTION:	PARCEL NUMBER: RPK0000059001B KETCHUM AM LOT 1A BLK 59 140 WEST 2ND STREET KETCHUM, IDAHO 83340
ZONING:	CC-2: COMMUNITY CORE, SUB-DISTRICT 2
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-2, B
BUILDING AREA (GROSS):	9,386 SF
FIRE SPRINKLER SYSTEM:	NFPA 13
SITE AREA:	±4,946 SQ. FT. (±0.11 ACRES)
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED AND AMMENDED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	KETCHUM PLANNING AND BUILDING DEPARTMENT KETCHUM FIRE DEPARTMENT

ARCHITECTURAL

A-001	DESIGN REVIEW COVER
A-002	VICINITY MAP
A-010	AREA PLANS AND CALCULATIONS
A-020	IMMEDIATE NEIGHBORHOOD CONTEXT
A-021	EXPANDED NEIGHBORHOOD CONTEXT
A-101	ARCHITECTURAL SITE PLAN
A-102	LANDSCAPE PLAN
A-200	BASEMENT FLOOR PLAN
A-201	GROUND FLOOR PLAN
A-202	SECOND FLOOR PLAN
A-203	THIRD FLOOR PLAN
A-204	ROOF PLAN
A-301	EXTERIOR FINISHES
A-311	WEST (ALLEY) ELEVATION
A-312	NORTH AND SOUTH ELEVATIONS
A-313	EAST ELEVATION - DESIGN REVIEW
A-321	PROPOSED BUILDING SIGNAGE
A-411	BUILDING SECTIONS
A-412	BUILDING SECTIONS
A-511	EXTERIOR LIGHTING PLANS AND SPECIFICATIONS
A-512	EXTERIOR LIGHTING PHOTOMETRIC CALCULATIONS
A-601	EXTERIOR RENDERINGS
A-602	EXTERIOR RENDERINGS
A-603	EXTERIOR RENDERINGS
A-604	EXTERIOR RENDERINGS
A-605	EXTERIOR RENDERINGS
A-606	EXTERIOR RENDERINGS
Total Sheets: 27	



140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

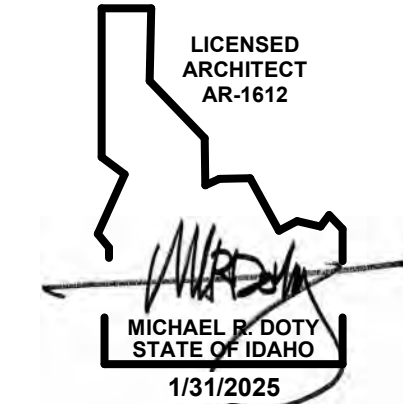
DESIGN REVIEW
1/31/2025





PROJECT SITE: 140 W. 2nd STREET, KETCHUM, IDAHO

VICINITY MAP

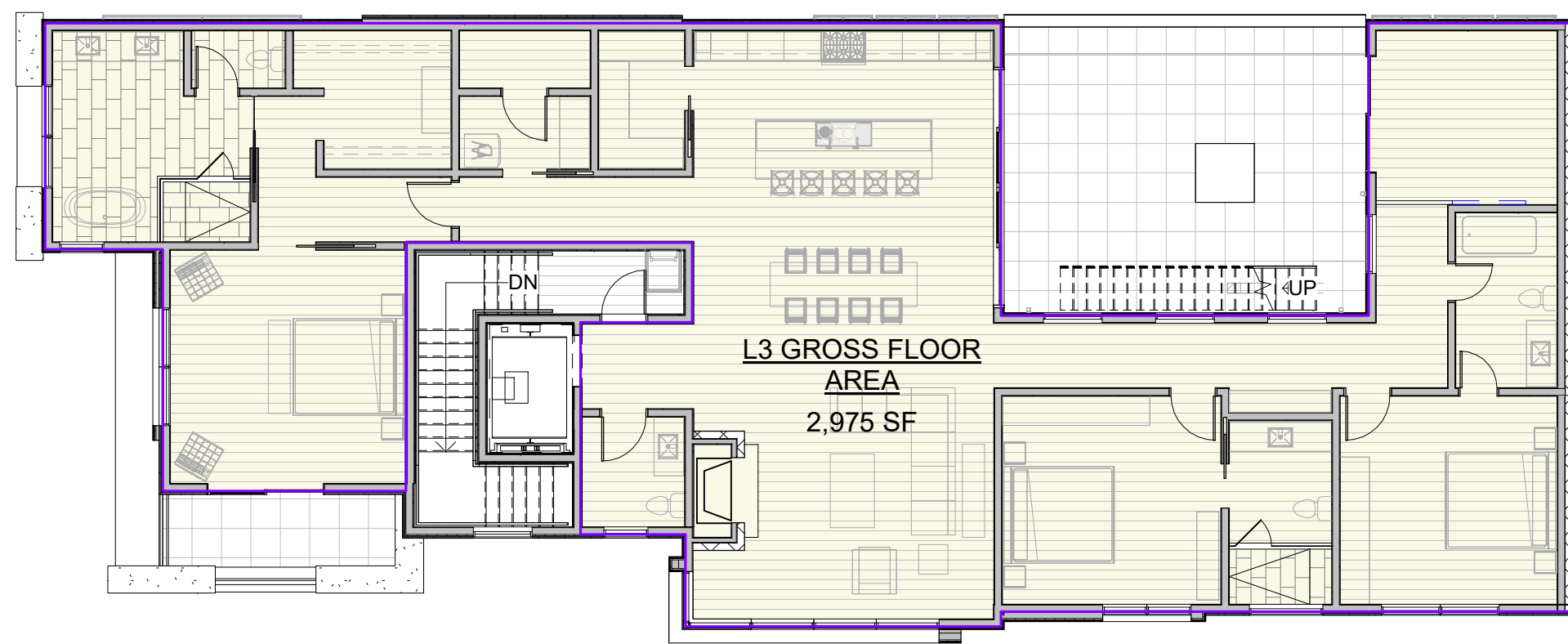


140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

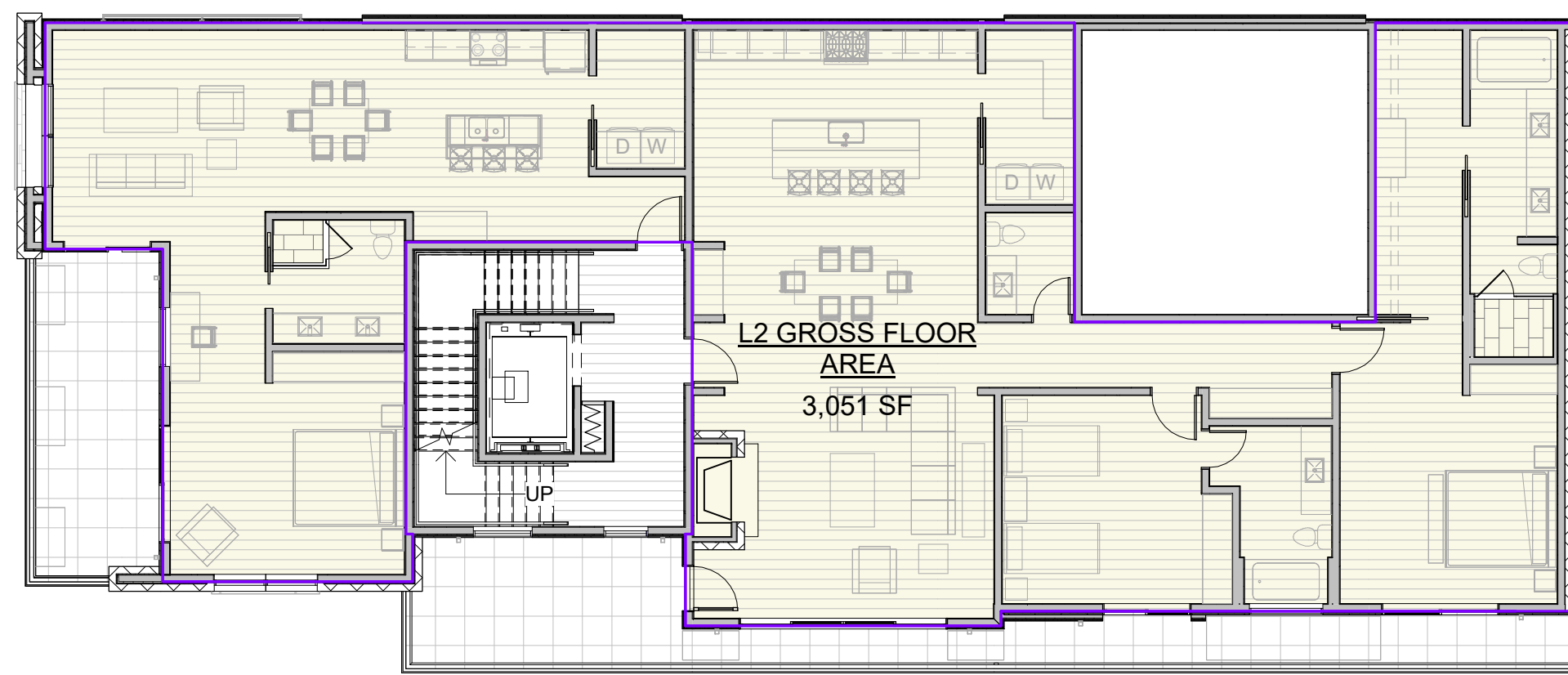
DESIGN REVIEW
1/31/2025





THIRD FLOOR - GROSS AREA

AREA SCHEDULE (GROSS)	
AREA NAME	SQUARE FEET
BASEMENT GROSS FLOOR AREA	1,244 SF
L1 GROSS FLOOR AREA	3,337 SF
PARKING 1	162 SF
PARKING 2	162 SF
PARKING 3	162 SF
PARKING 4	162 SF
L2 GROSS FLOOR AREA	3,051 SF
L3 GROSS FLOOR AREA	2,975 SF
TOTAL FLOOR AREA	11,255 SF



SECOND FLOOR - GROSS AREA

F.A.R. SCHEDULE	
AREA NAME	SQUARE FEET
L1 GROSS FLOOR AREA	3,337 SF
L2 GROSS FLOOR AREA	3,051 SF
L3 GROSS FLOOR AREA	2,975 SF
TOTAL GROSS FLOOR AREA*	9,363 SF

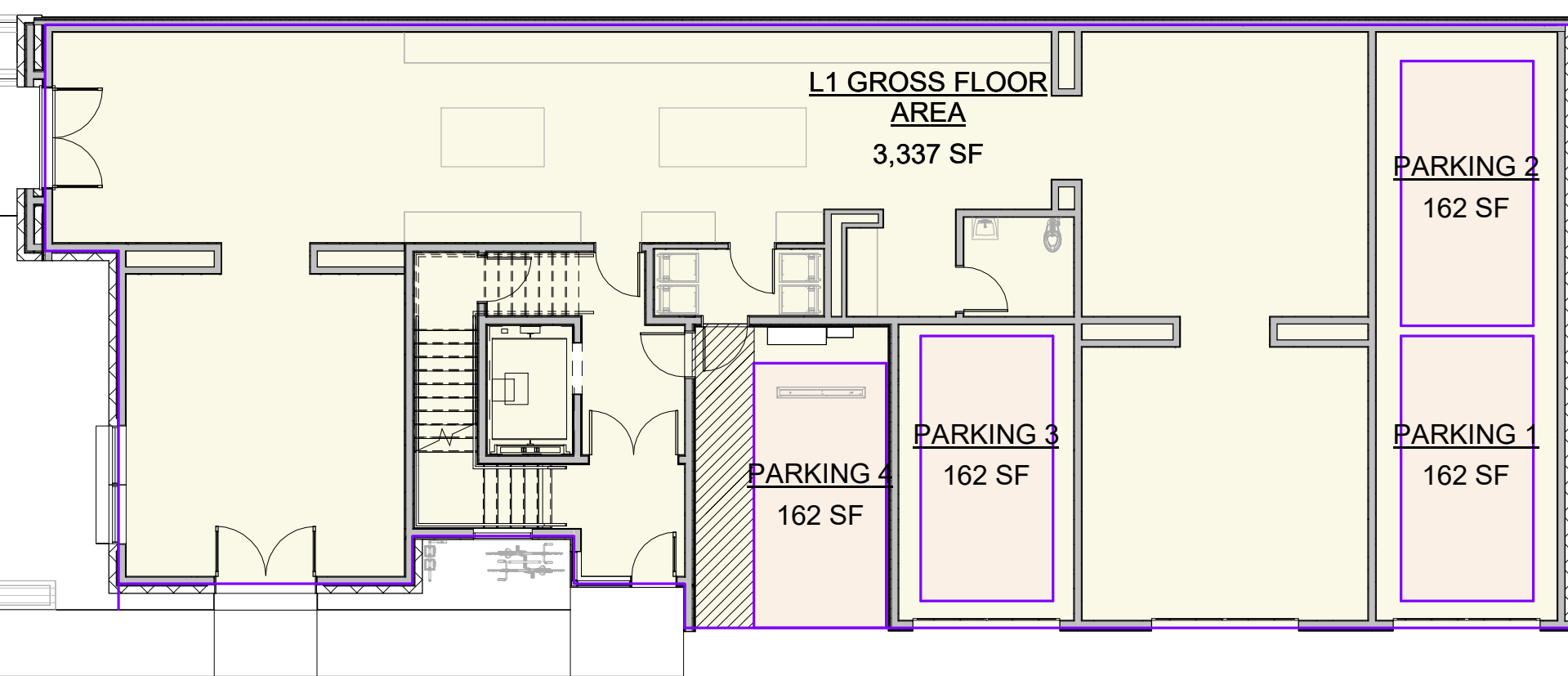
* PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS

LOT AREA: 4,946 SF
F.A.R. = 9,363 ÷ 4,946 = 1.89

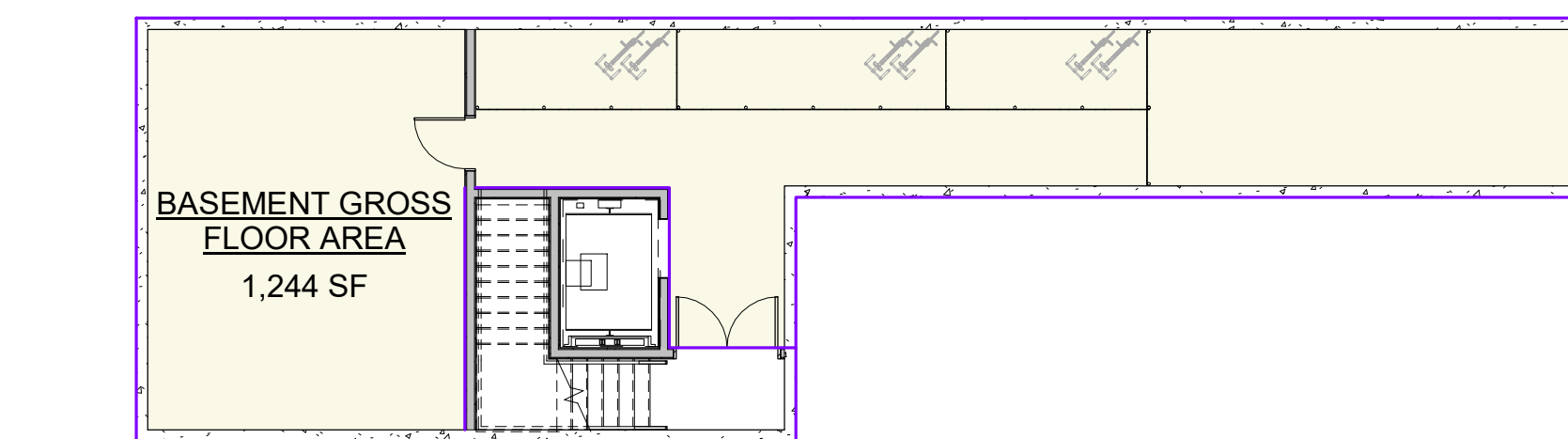
BUILDING GROSS AREA OVER 1.0 FAR: 4,417 SF

REQUIRED AREA OF DEED RESTRICTED HOUSING:
(4,399 SF X 20%) = 879 SF

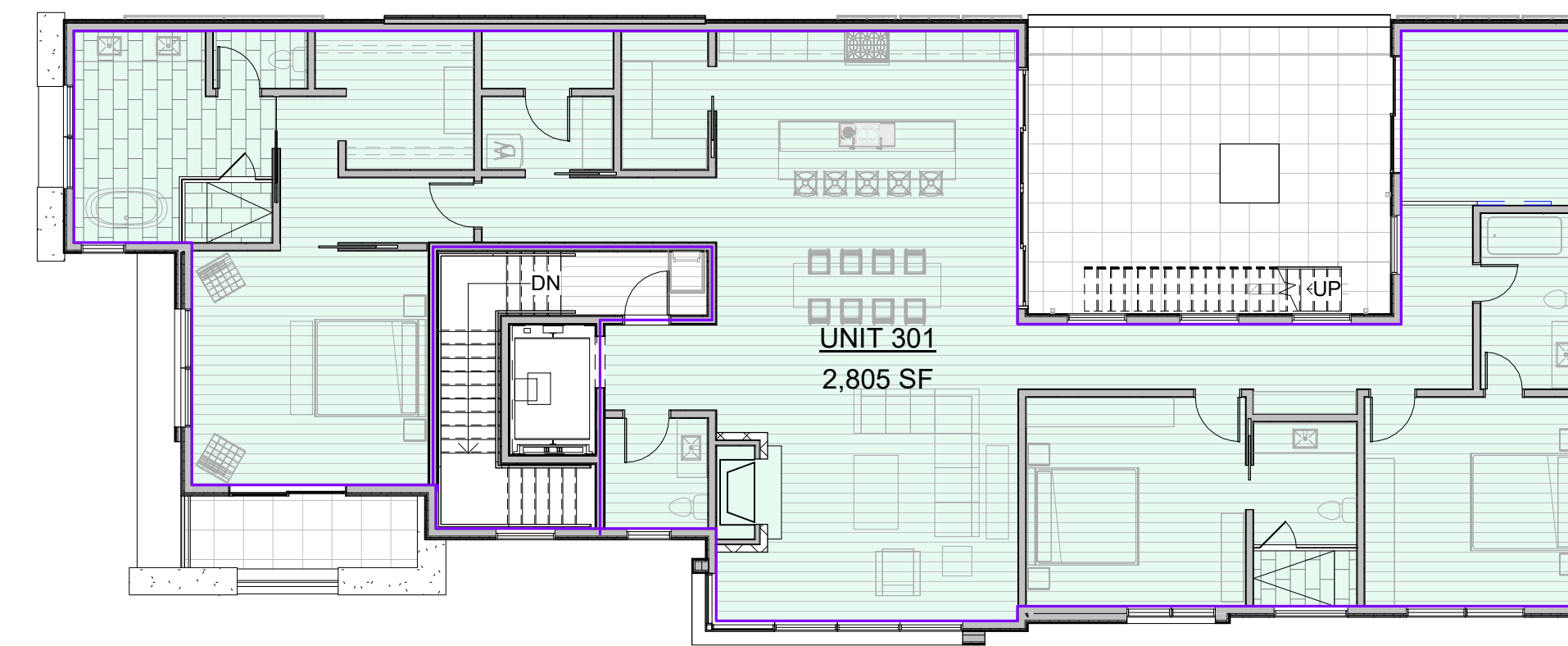
IN-LIEU FACE BASED ON 751 SF: 751 X \$600 = \$450,600



GROUND FLOOR - GROSS AREA



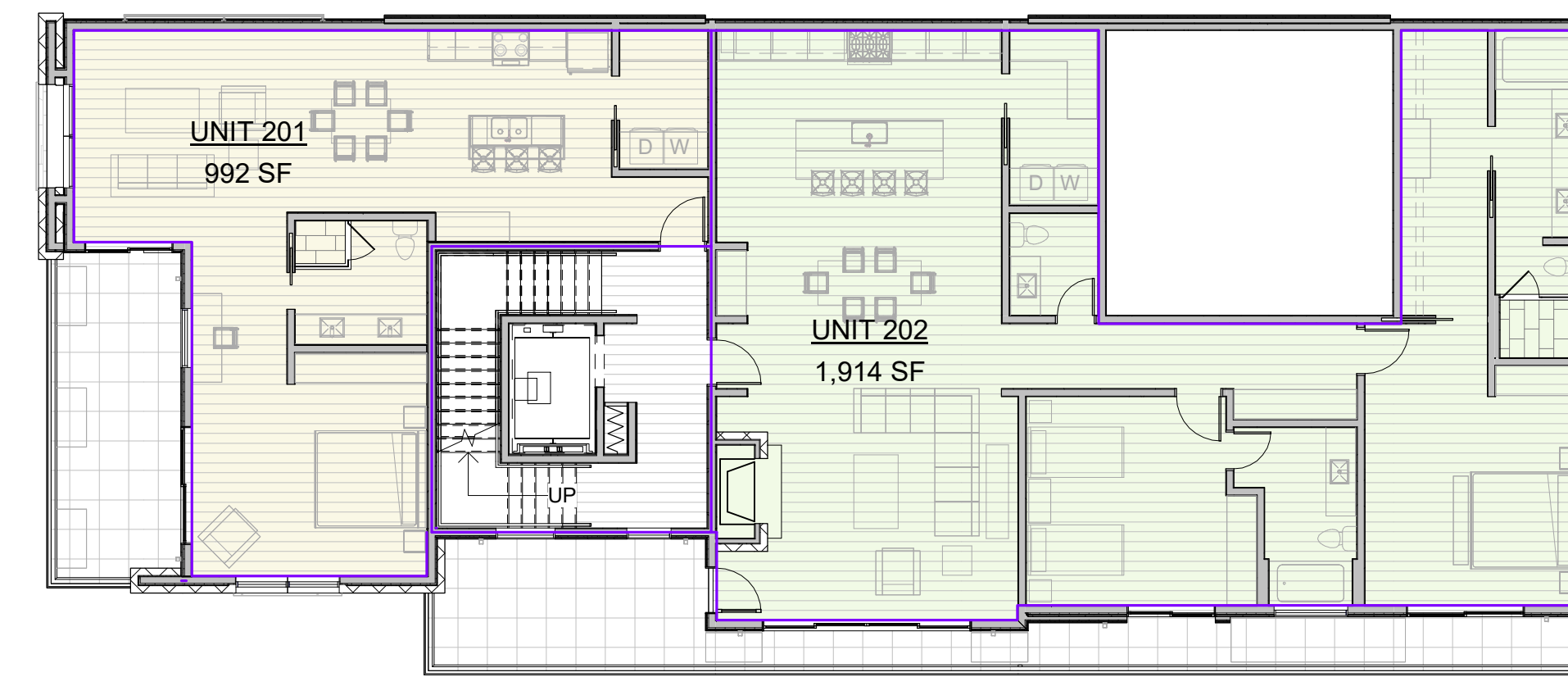
BASEMENT - GROSS AREA



THIRD FLOOR - NET AREA

AREA SCHEDULE (NET)	
AREA NAME	SQUARE FEET
TRASH	0 SF
COMMERCIAL B	452 SF
COMMERCIAL 1	2,270 SF
UNIT 201	992 SF
UNIT 202	1,914 SF
UNIT 301	2,805 SF
TOTAL NET FLOOR AREA*	8,433 SF

* PER CITY OF KETCHUM DEFINITION: FLOOR AREA, NET

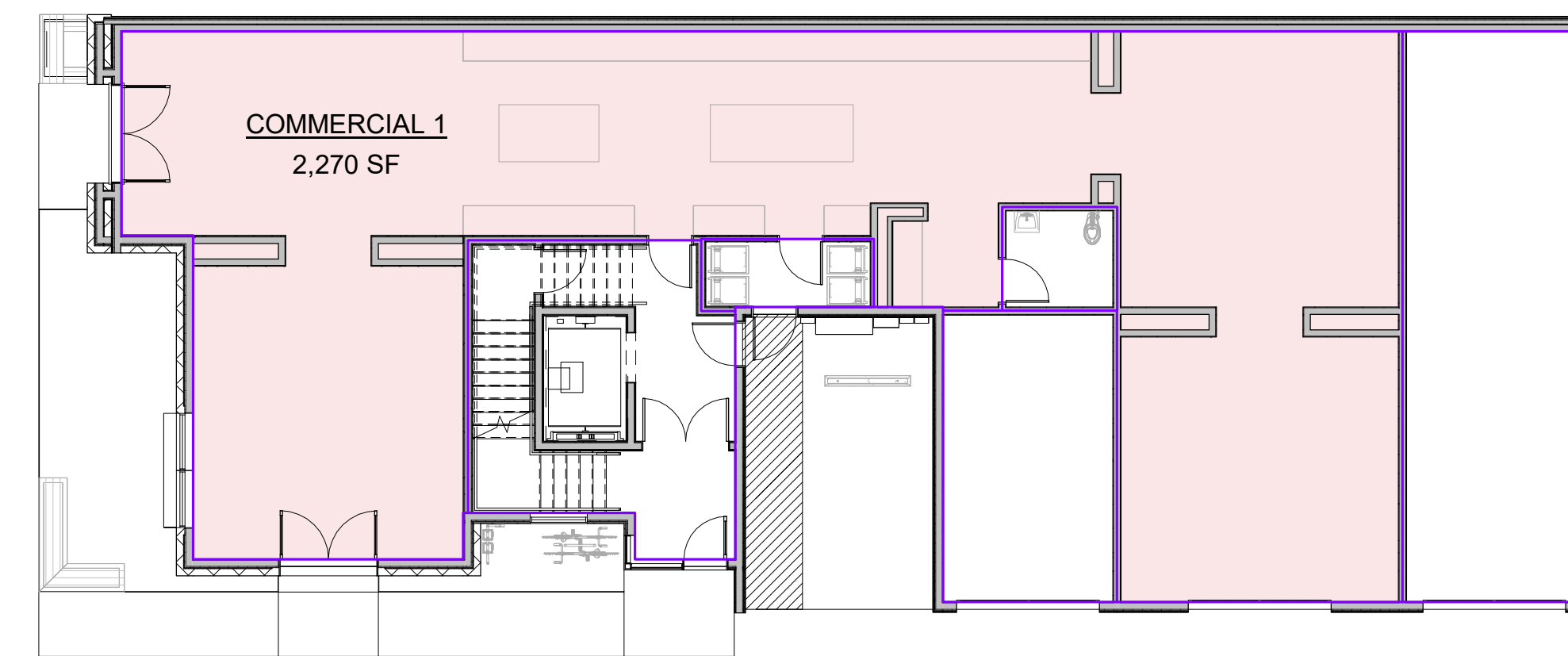


SECOND FLOOR - NET AREA

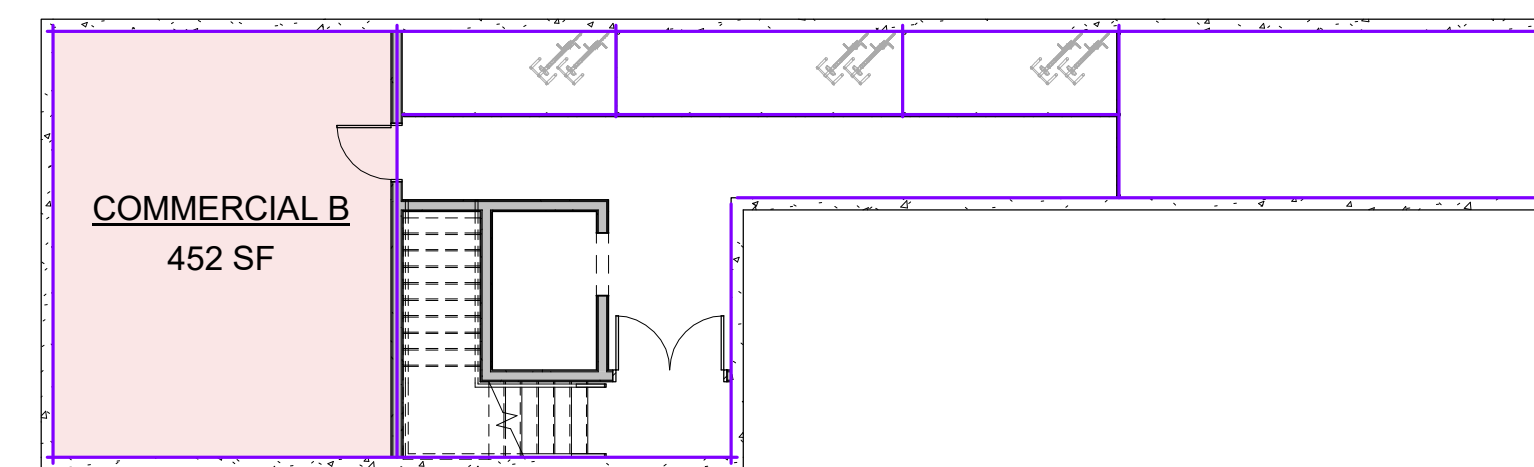
AREA SCHEDULE (COMMERCIAL)	
AREA NAME	SQUARE FEET
COMMERCIAL B	452 SF
COMMERCIAL 1	2,270 SF
TOTAL COMMERCIAL FLOOR AREA	2,722 SF

MINIMUM HOUSING DENSITY:
TOTAL COMMERCIAL AREA: 2,722 SF
TOTAL BUILDING NET FLOOR AREA: 8,433 SF
PERCENTAGE OF COMMERCIAL AREA: 32.2%
RESIDENTIAL UNITS REQUIRED: 3
RESIDENTIAL UNITS PROVIDED: 3

PARKING REQUIREMENTS:
COMMERCIAL SPACE:
RETAIL TRADE - ART SALES, 2,722 SF: 0 SPACES REQUIRED
RESIDENTIAL SPACES:
UNIT 201, 992 SF: 1 SPACE REQUIRED
UNIT 202, 1,914 SF: 1 SPACE REQUIRED
UNIT 301, 2,805 SF: 2 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED: 4
TOTAL PARKING SPACES PROVIDED: 4



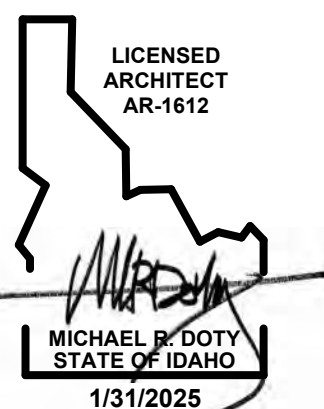
GROUND FLOOR - NET AREA



BASEMENT NET AREA

AREA PLANS AND CALCULATIONS

SCALE: 3/32" = 1'-0"



140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

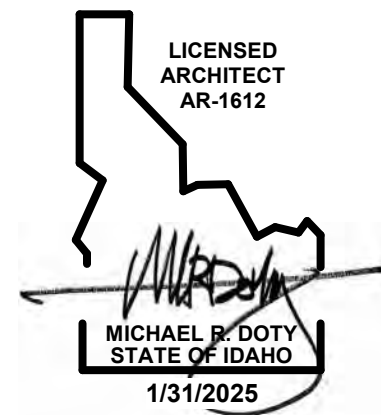
DESIGN REVIEW
1/31/2025



A-010



IMMEDIATE NEIGHBORHOOD CONTEXT



140 WEST 2nd

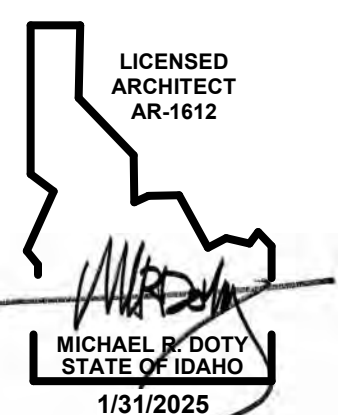
140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025





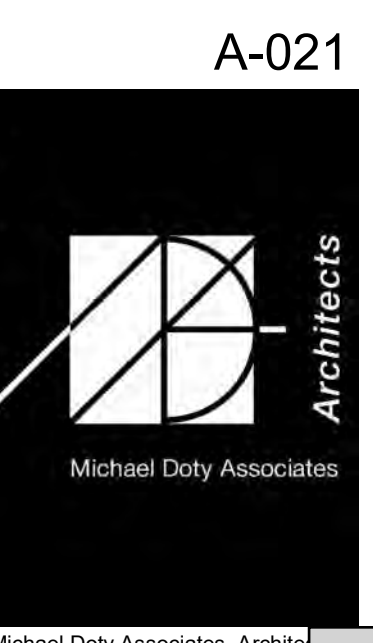
EXPANDED NEIGHBORHOOD CONTEXT



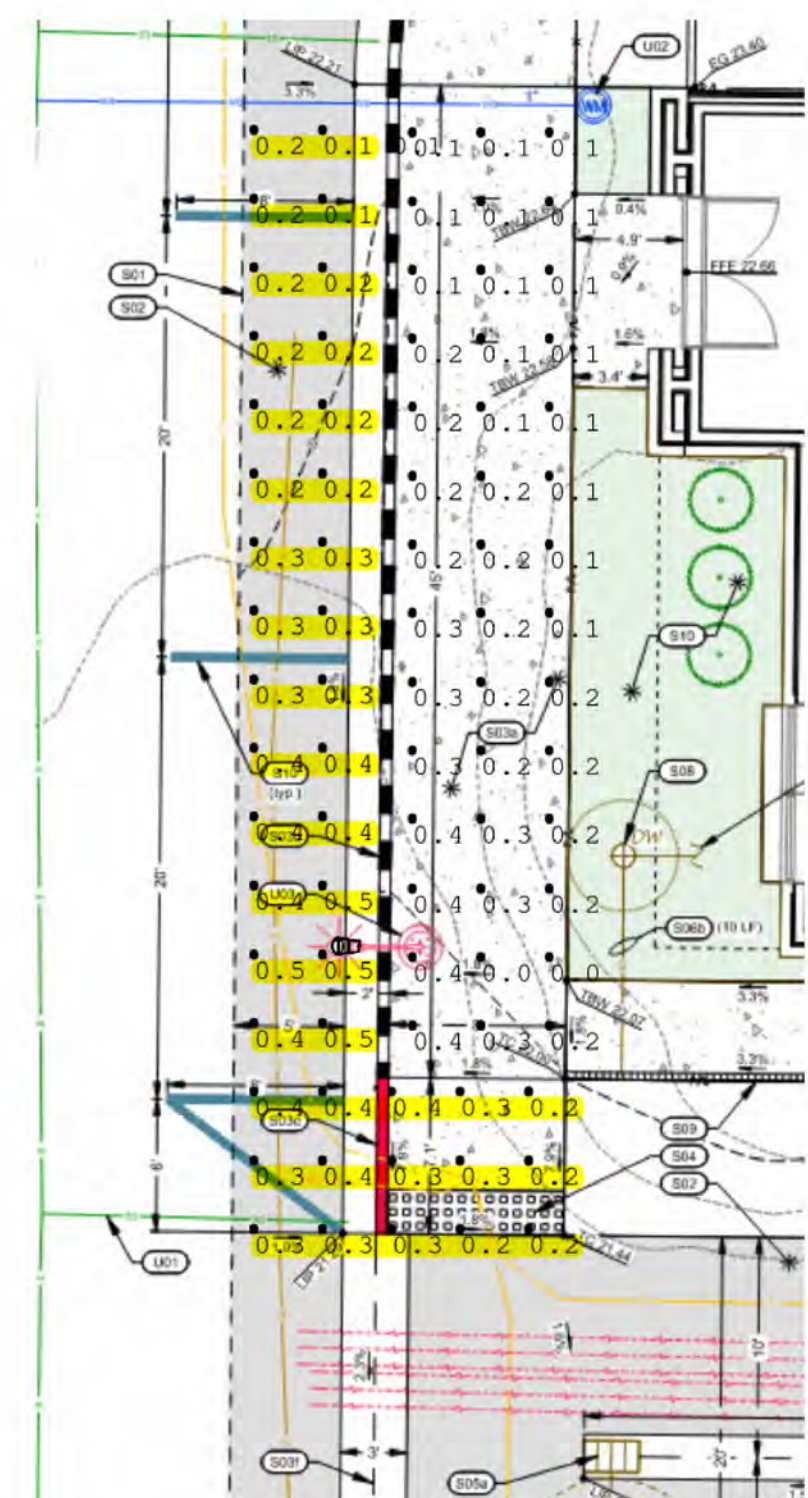
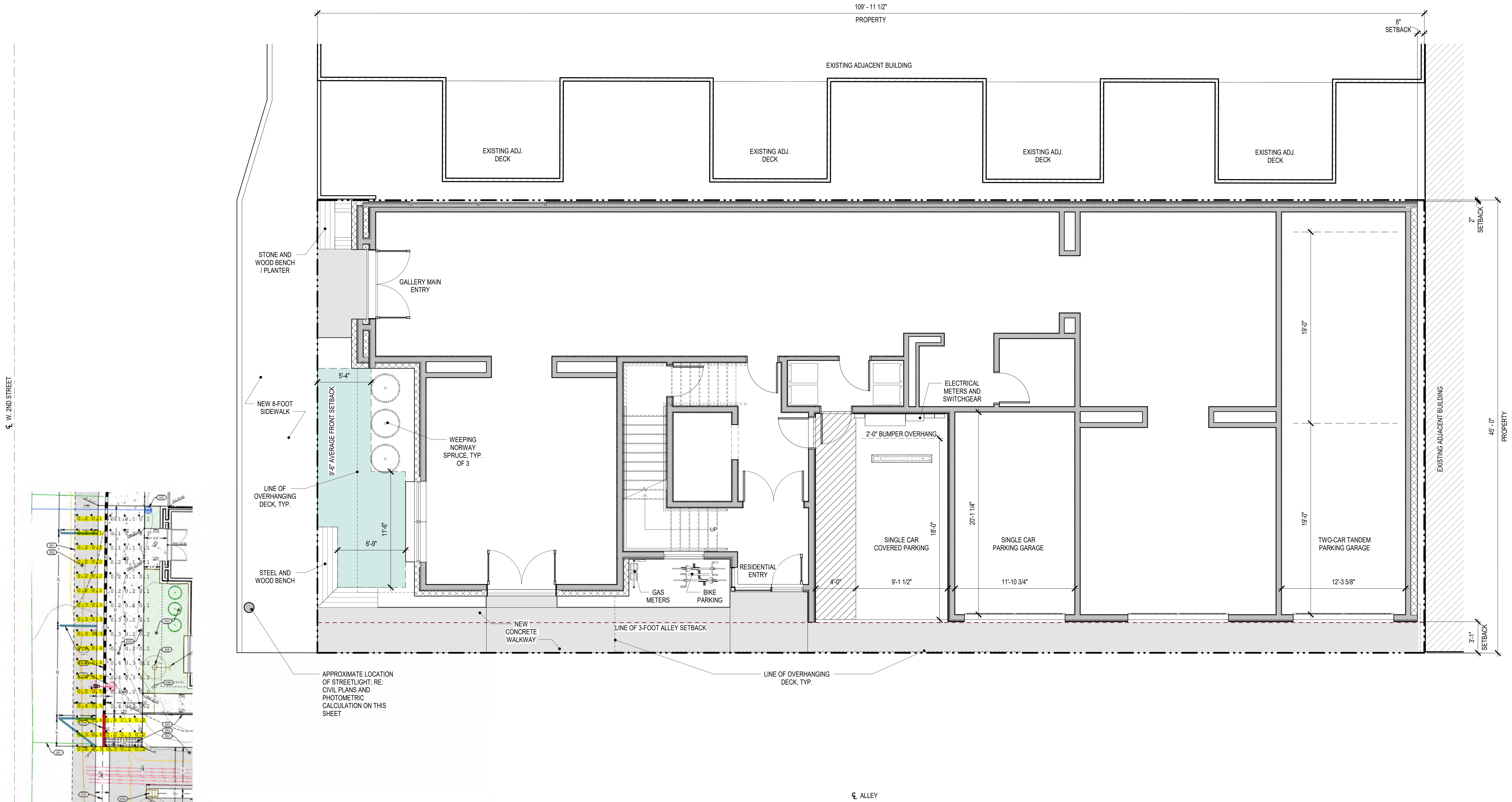
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

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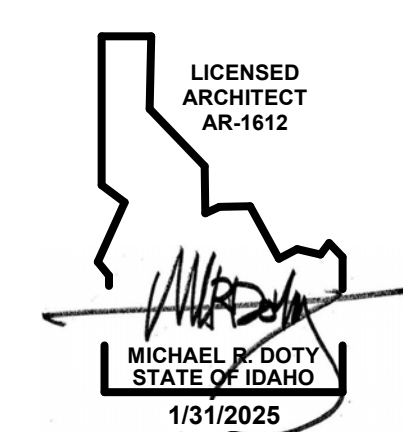
A-021



Symbol	Qty	Arrangement	Description	Foot	LF	Linear Foot	Linear Feet	Total
1	1	Basic	Basic	Basic	1.500	2410	22	22

STREETLIGHT PHOTOMETRIC CALCULATION
PREPARED BY MH COMPANIES

ARCHITECTURAL SITE PLAN
 SCALE: 1/4"=1'-0"
 1 2 4 8



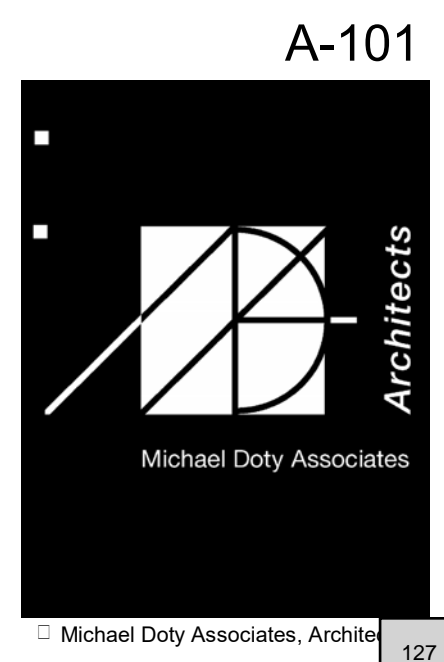
ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7' PROVIDED
 SIDE: 0 REQUIRED
 2 1/2' PROVIDED

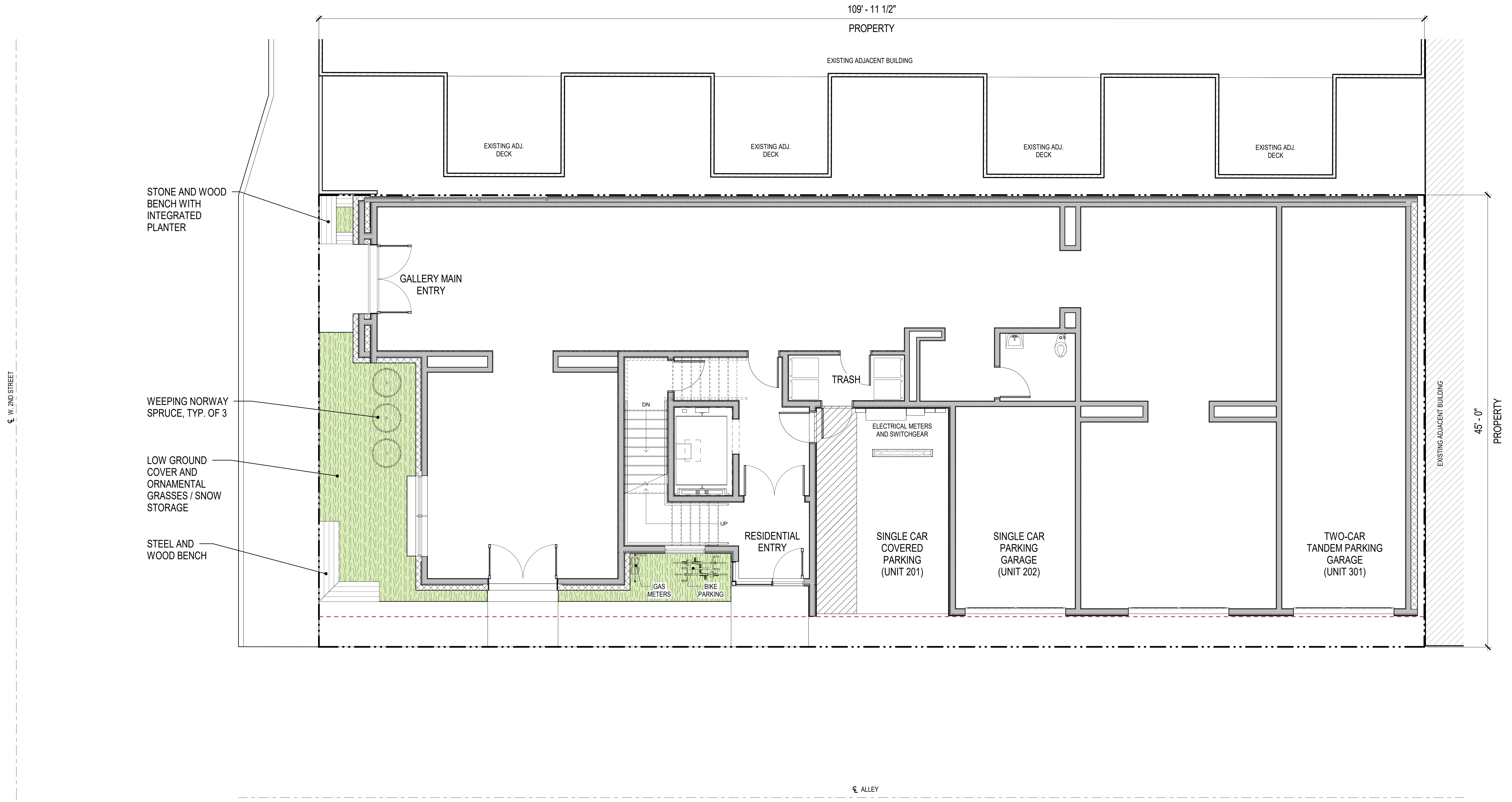
SNOW STORAGE CALCULATION
 PEDESTRIAN CIRCULATION AREA: 471 SF
 30% SNOW STORAGE REQUIREMENT: 141 SF
 SNOW STORAGE AREA PROVIDED: 144 SF

140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

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STONE AND WOOD BENCH WITH INTEGRATED PLANTER

WEeping NORWAY SPRUCE, TYP. OF 3

LOW GROUND COVER AND ORNAMENTAL GRASSES / SNOW STORAGE

STEEL AND WOOD BENCH

GALLERY MAIN ENTRY

RESIDENTIAL ENTRY

TRASH

ELECTRICAL METERS AND SWITCHGEAR

SINGLE CAR COVERED PARKING (UNIT 201)

SINGLE CAR PARKING GARAGE (UNIT 202)

TWO-CAR TANDEM PARKING GARAGE (UNIT 301)

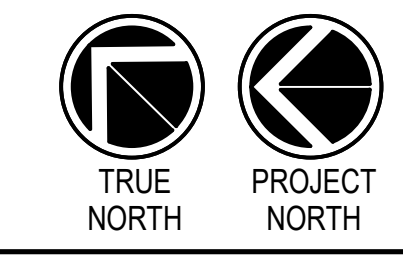
GAS METERS BIKE PARKING

DN

UP

W. 2ND STREET

ALLEY



LANDSCAPE PLAN

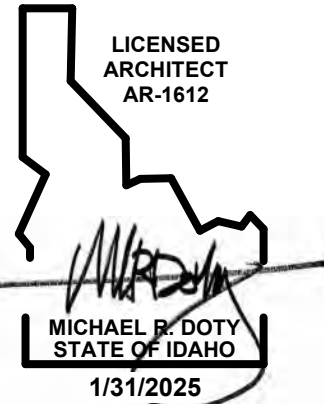


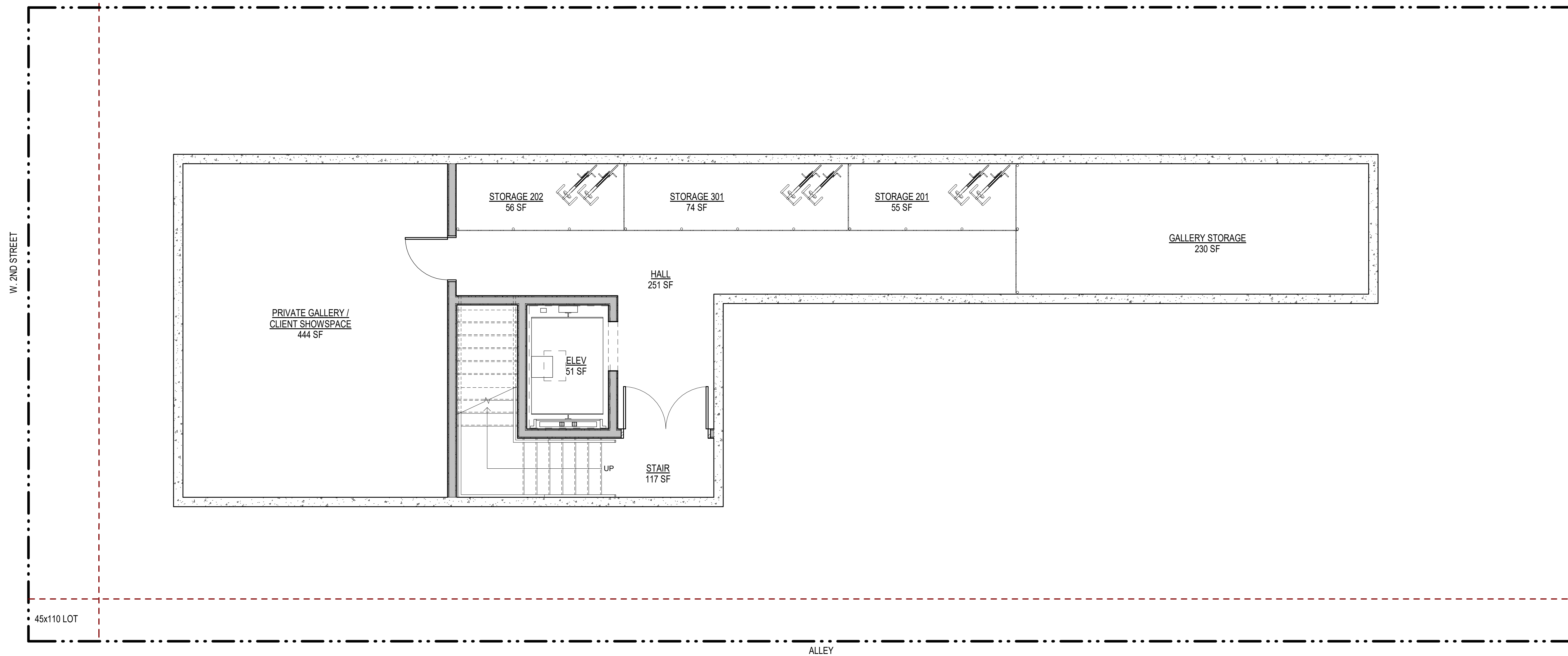
ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2' PROVIDED

140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

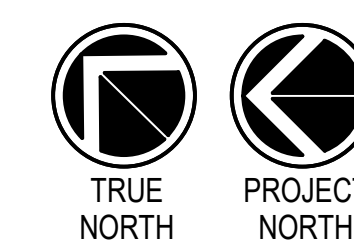
DESIGN REVIEW
 1/31/2025





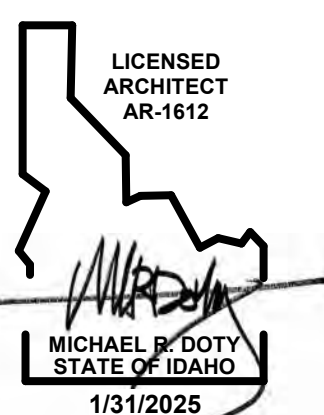
ZONING

ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2" PROVIDED



BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"

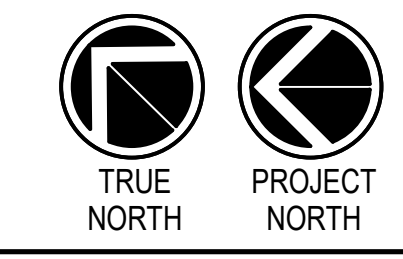
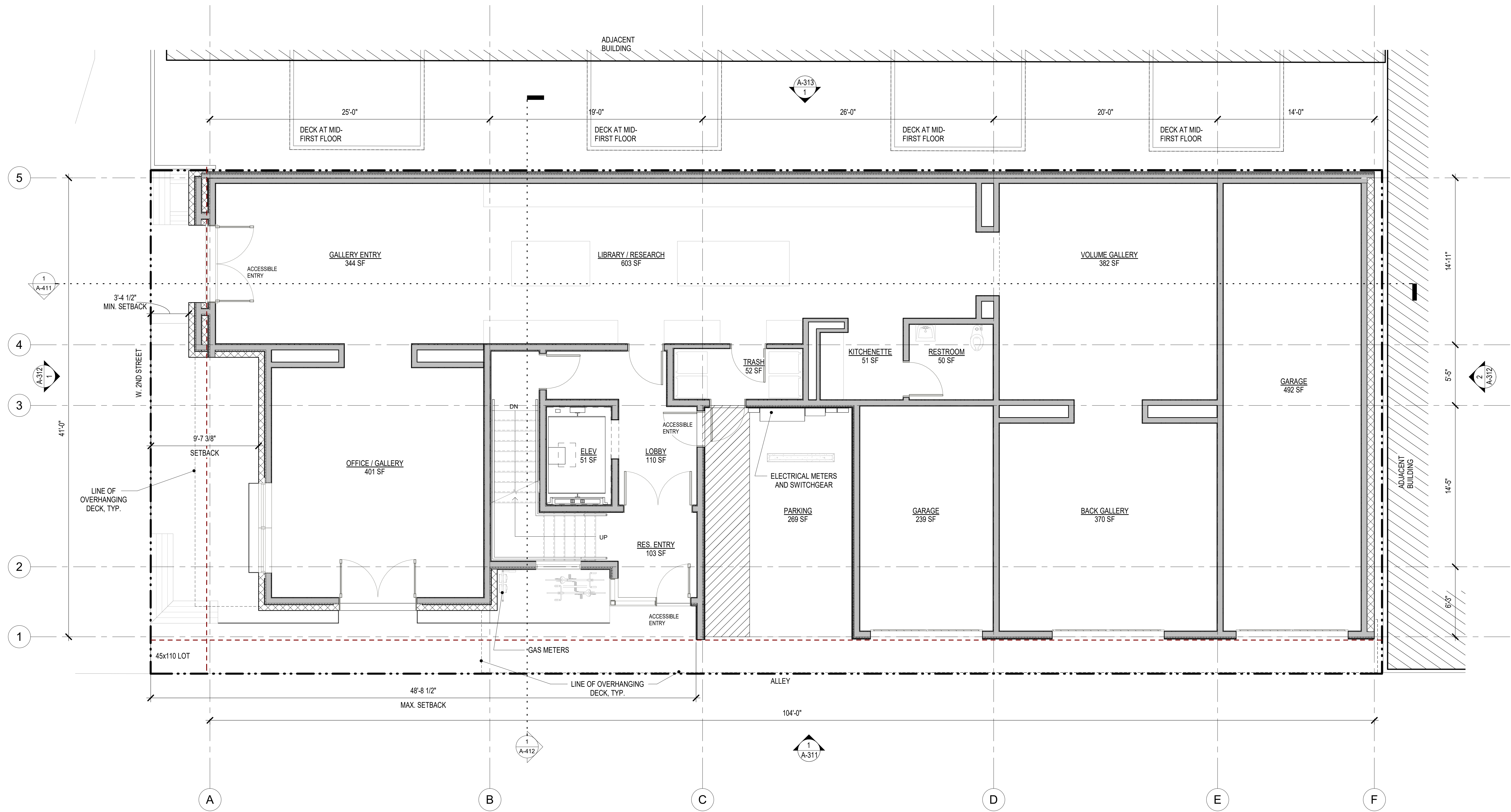


140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

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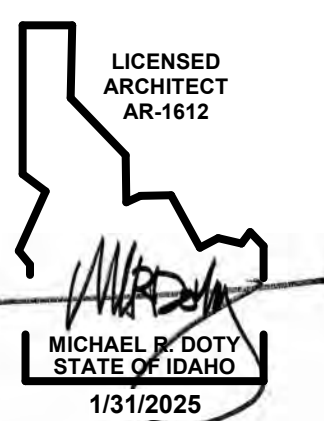




GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2" PROVIDED

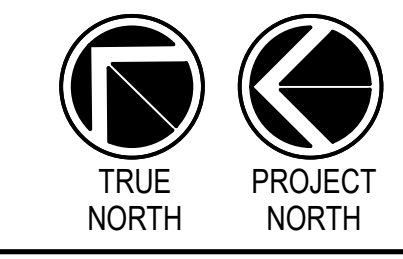
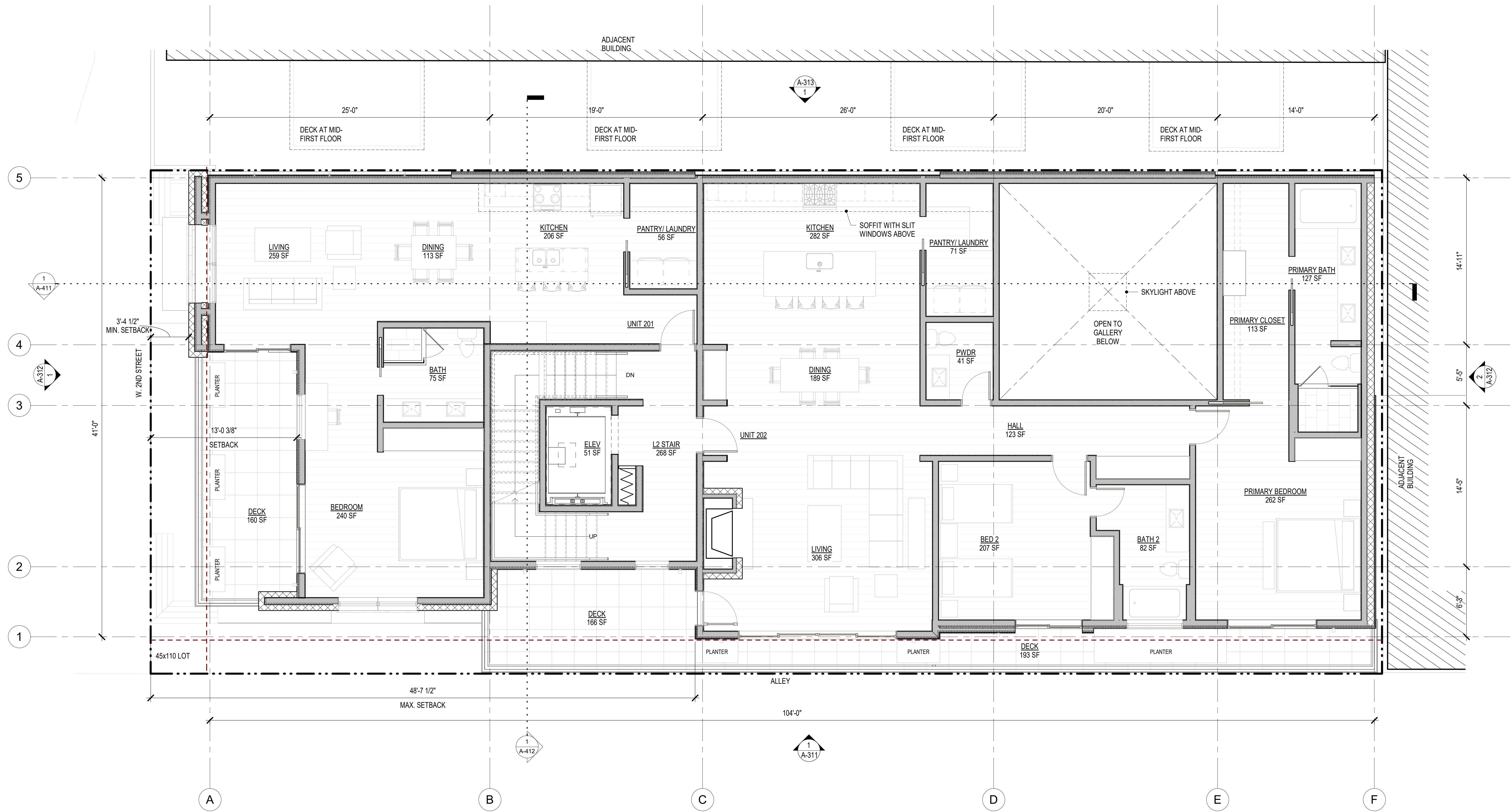


140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

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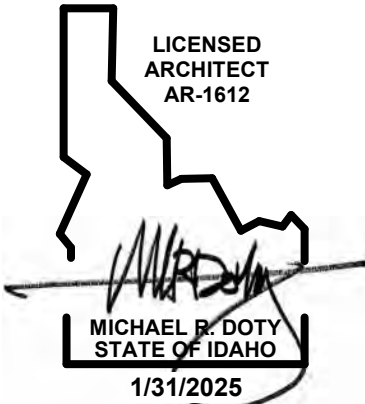




SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

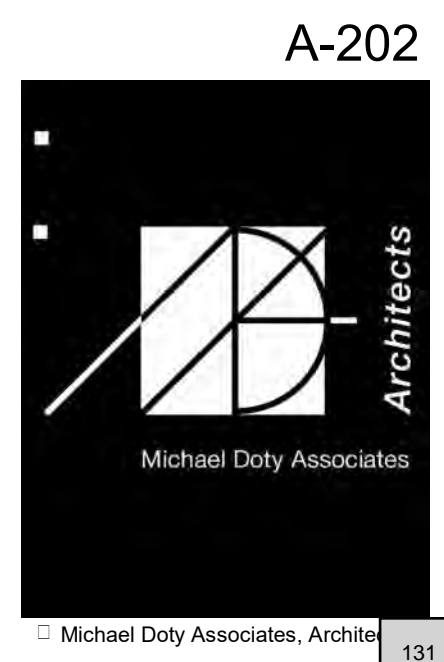
ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2" PROVIDED

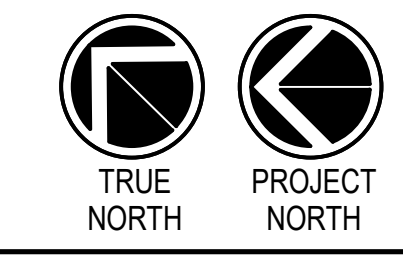
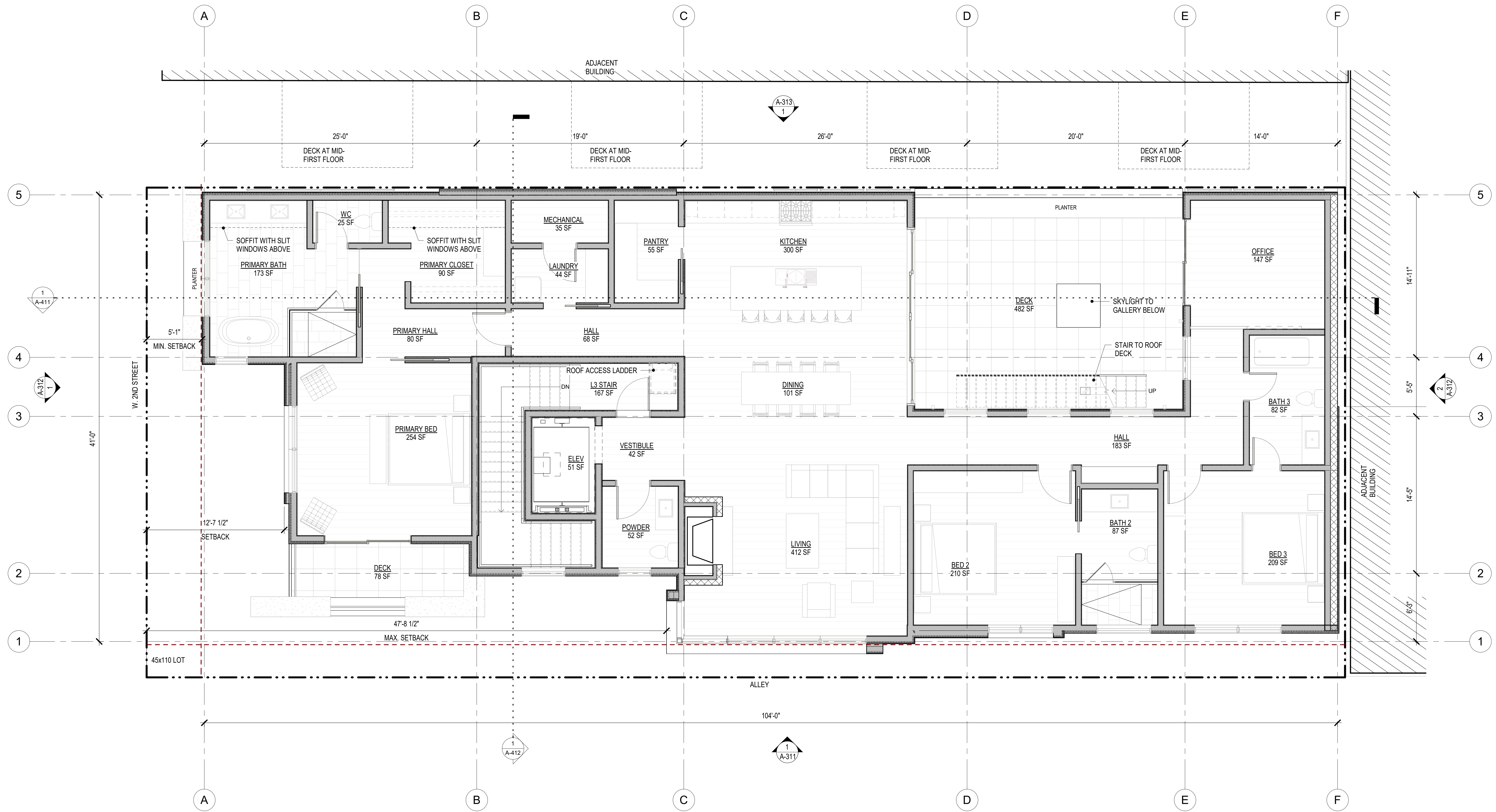


140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

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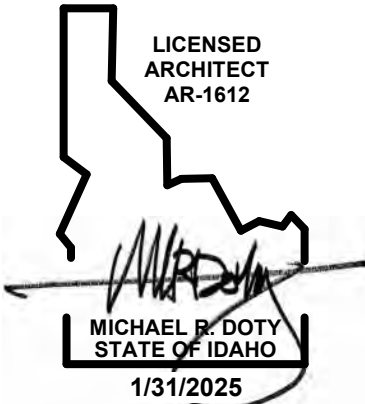




THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

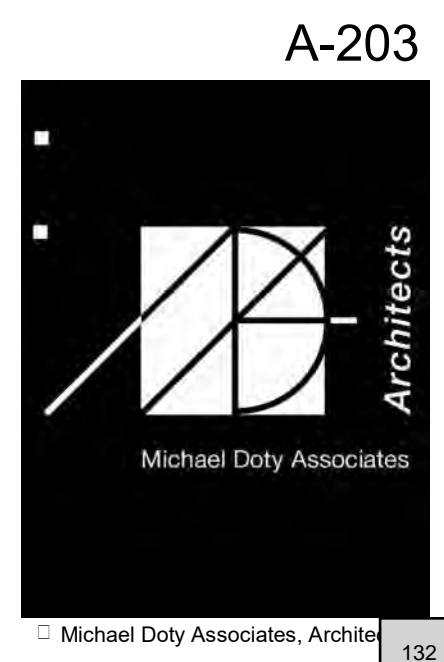
ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2" PROVIDED

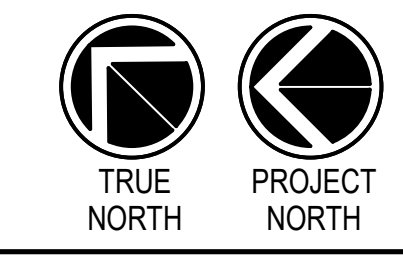
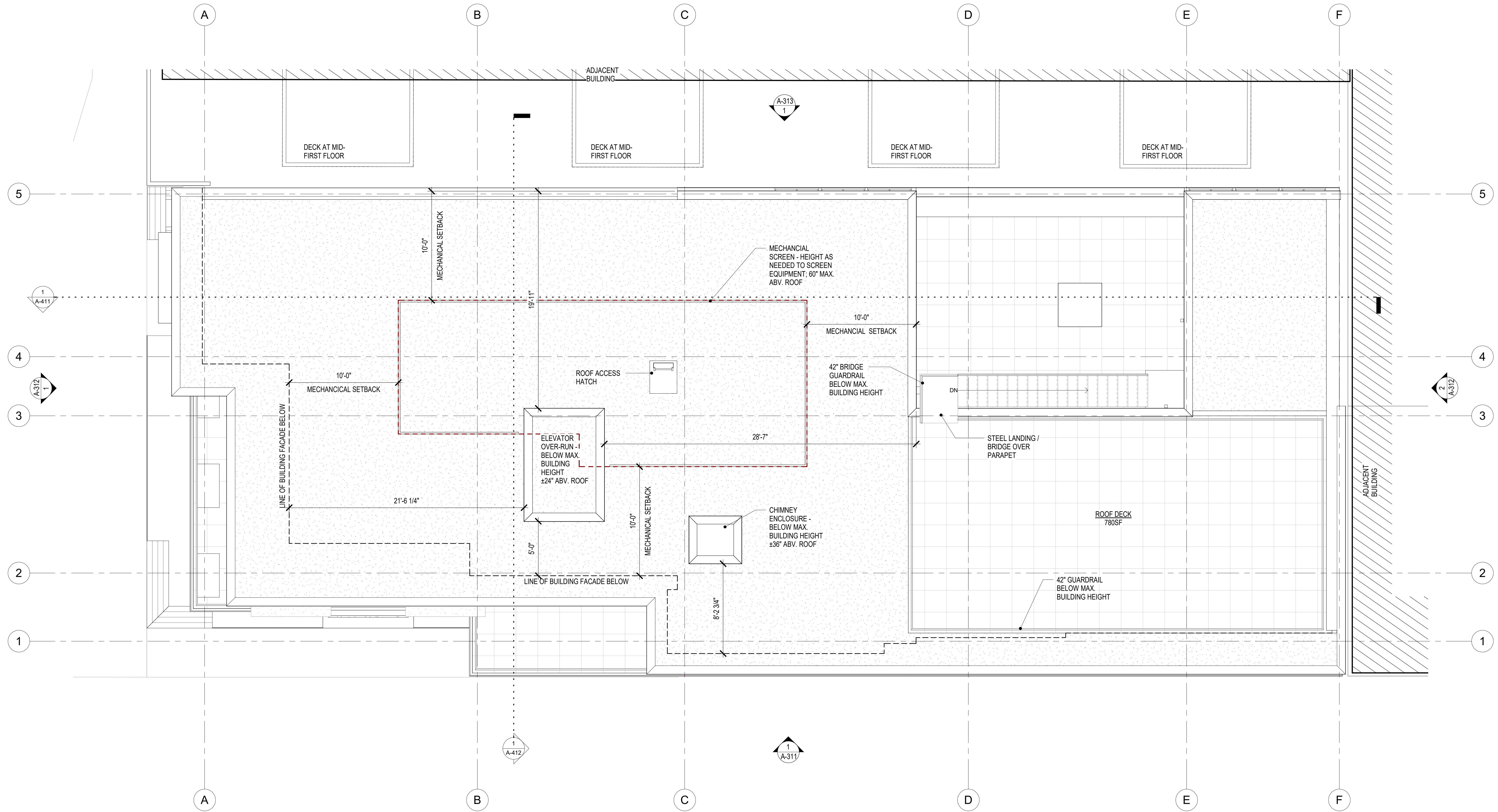


140 WEST 2nd

140 W 2nd STREET
 KETCHUM, IDAHO 83333

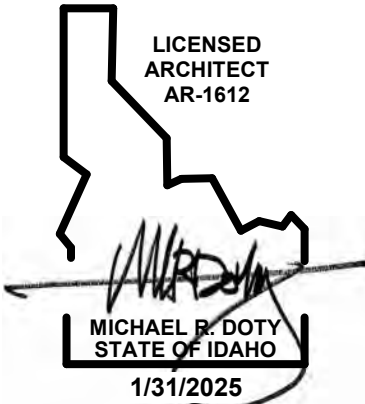
DESIGN REVIEW
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ROOF PLAN
SCALE: 1/4"=1'-0"

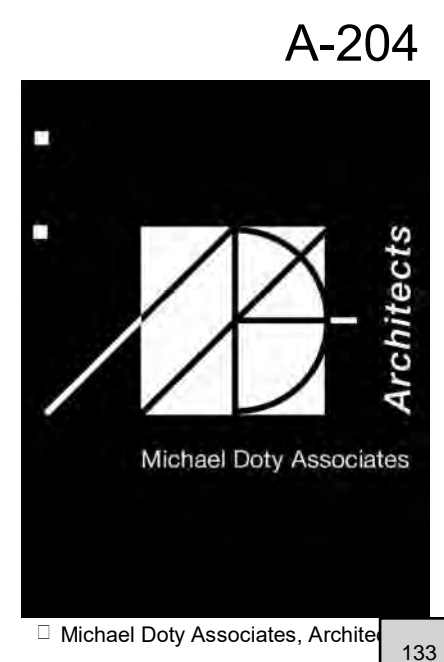
ZONING
 ZONING: CC-2 COMMUNITY CORE, MIXED USE
 SETBACKS:
 FRONT: 5-FOOT AVERAGE REQUIRED
 9'-0" AVERAGE PROVIDED @ 1st
 11'-3" AVERAGE PROVIDED @ 2nd
 16'-10" AVERAGE PROVIDED @ 3rd
 ALLEY: 3-FOOT REQUIRED
 3'-1" PROVIDED
 REAR: 0 REQUIRED
 7" PROVIDED
 SIDE: 0 REQUIRED
 2 1/2" PROVIDED



140 WEST 2nd

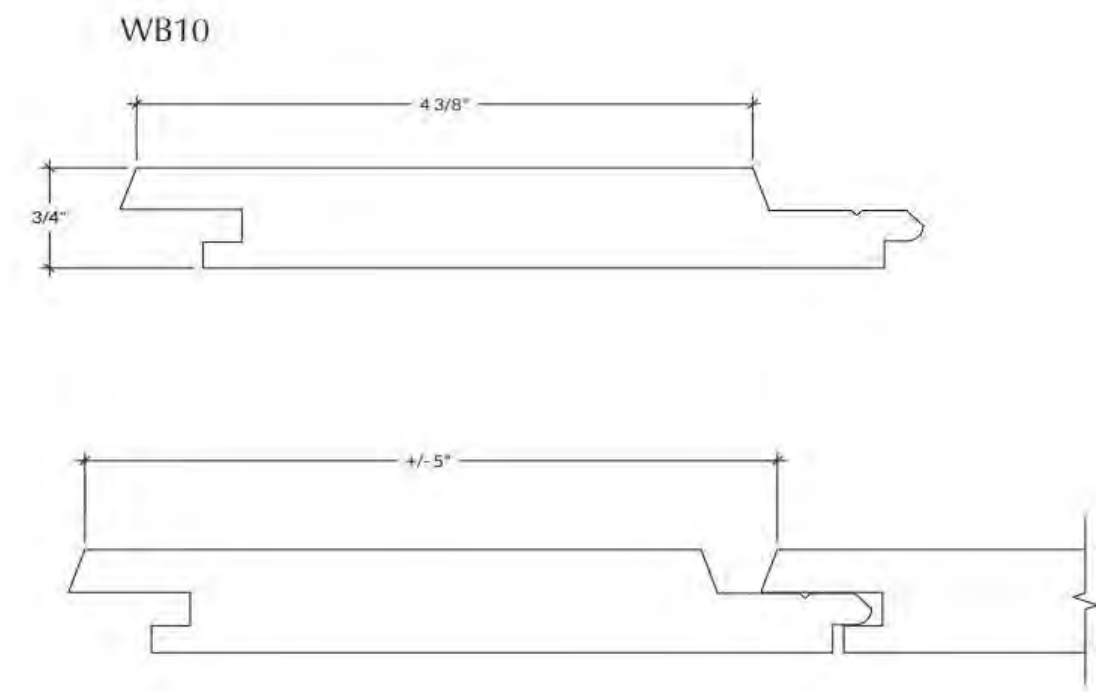
140 W 2nd STREET
 KETCHUM, IDAHO 83333

DESIGN REVIEW
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EXTERIOR FINISH 1 (EF-1):
WOOD SIDING.
RESAWN TIMBER CO.
ACCOYA BROADMOORE 1C, WB-10 PROFILE



EXTERIOR FINISH 1 SIDING PROFILE (EF-1):
WOOD SIDING.
RESAWN TIMBER CO.
ACCOYA PALAWAN 1C, WB-10 PROFILE



EXTERIOR FINISH 5 (EF-5):
EXTERIOR WOOD SOFFIT.
RESAWN TIMBER CO.
VERTICAL GRAIN WESTERN HEMLOCK



EXTERIOR FINISH 2 (EF-2):
SMOOTH TROWEL STUCCO.
BENJAMIN MOORE CC-512 - MARSHLANDS



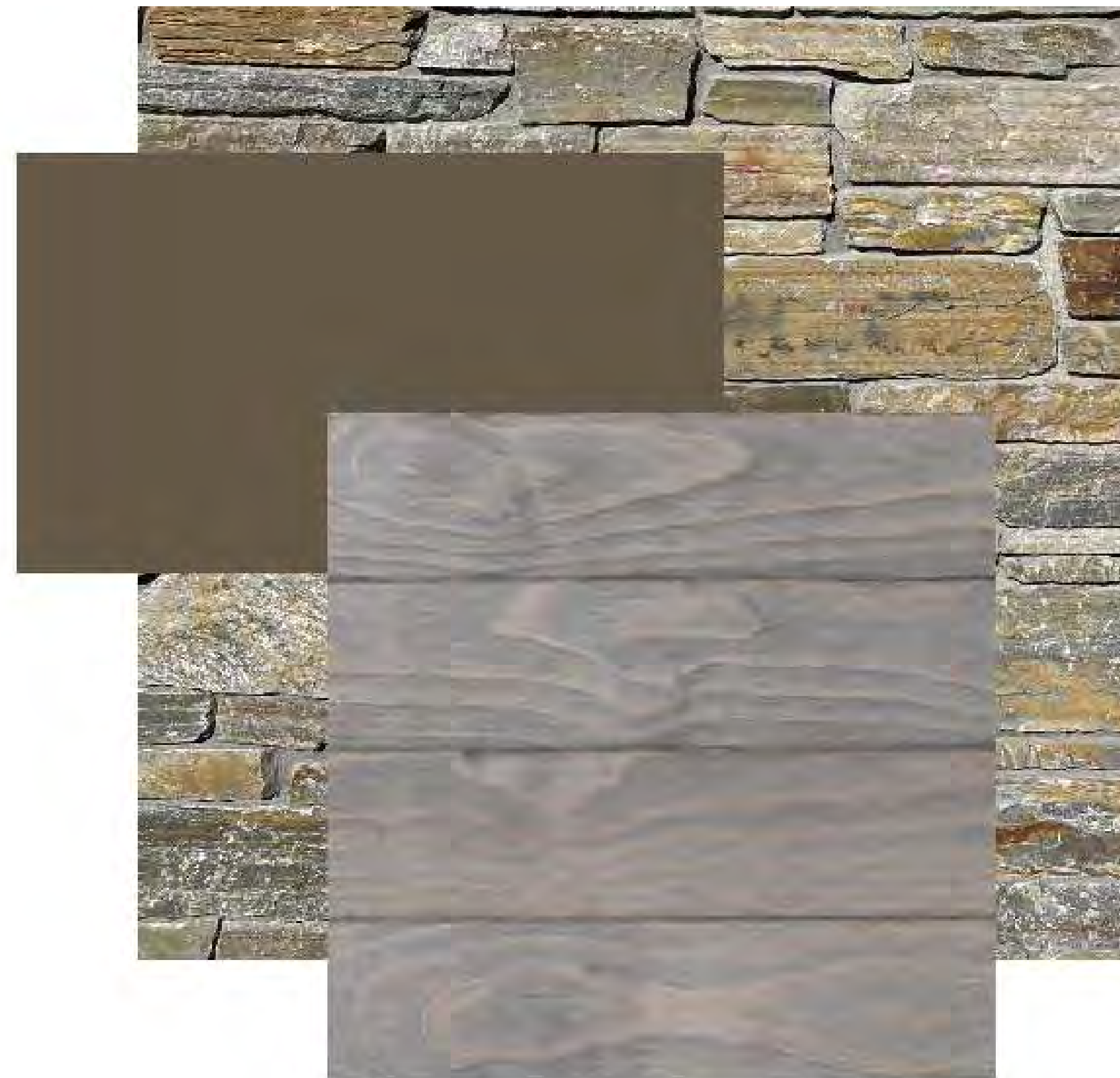
WINDOW AND DOOR SYSTEM:
THERMALLY BROKEN ALUMINUM.
WEATHERSHIELD ESPRESSO METALLIC



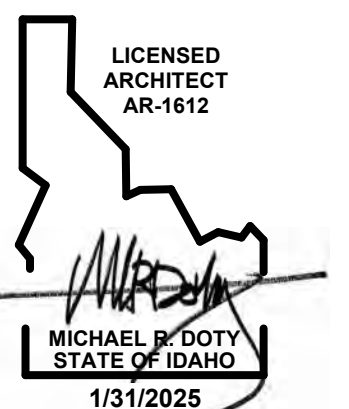
EXTERIOR FINISH 3 (EF-3):
NATURAL STACKED STONE VENEER.
OAKLEY STONE



EXTERIOR FINISH 4 (EF-4):
PAINTED STEEL ACCENTS, RAILINGS, AND
FLASHING.
COLOR MATCH WINDOW AND DOOR SYSTEM



EXTERIOR FINISHES



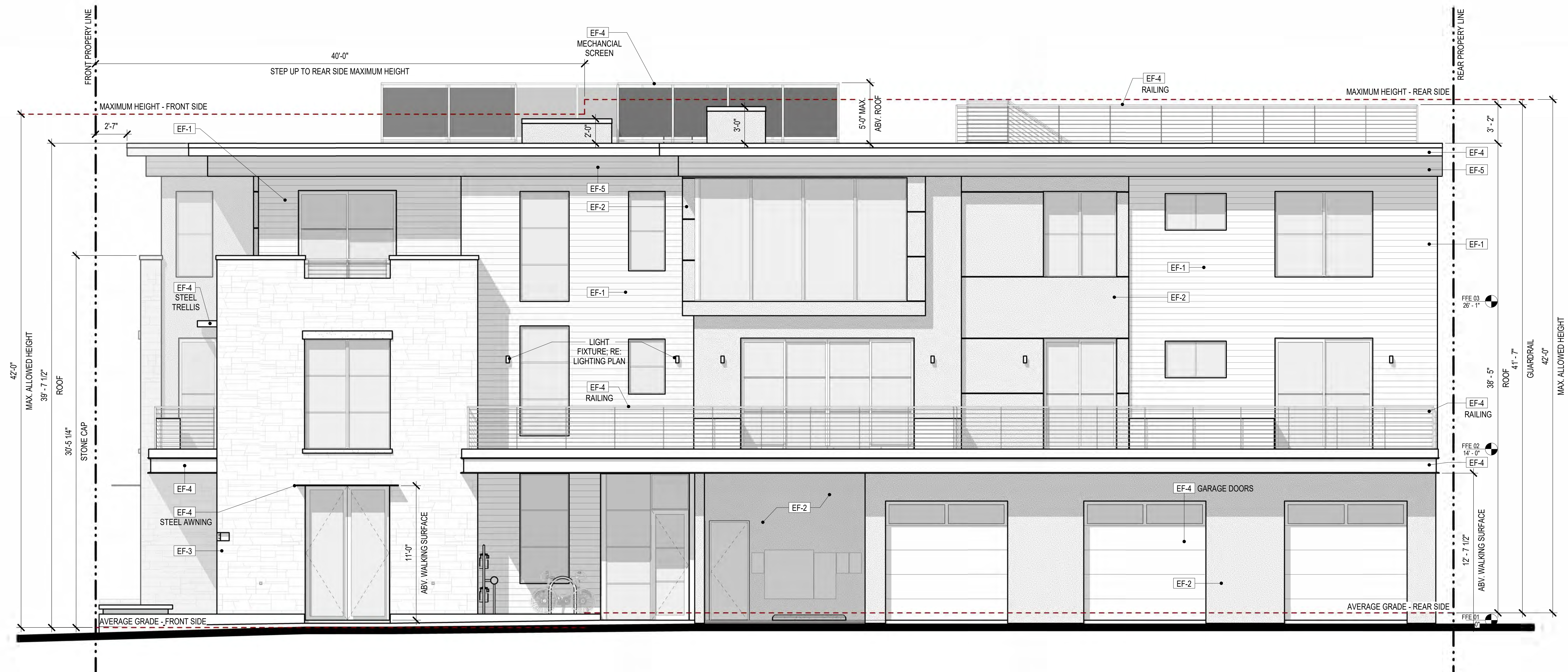
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

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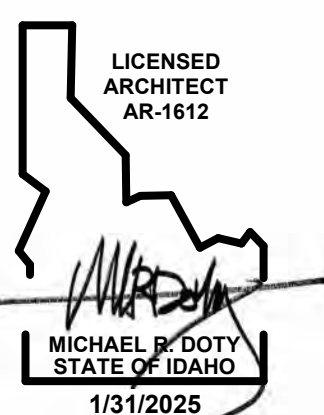


A-301



WEST (ALLEY) ELEVATION

SCALE: 1/4"=1'-0"

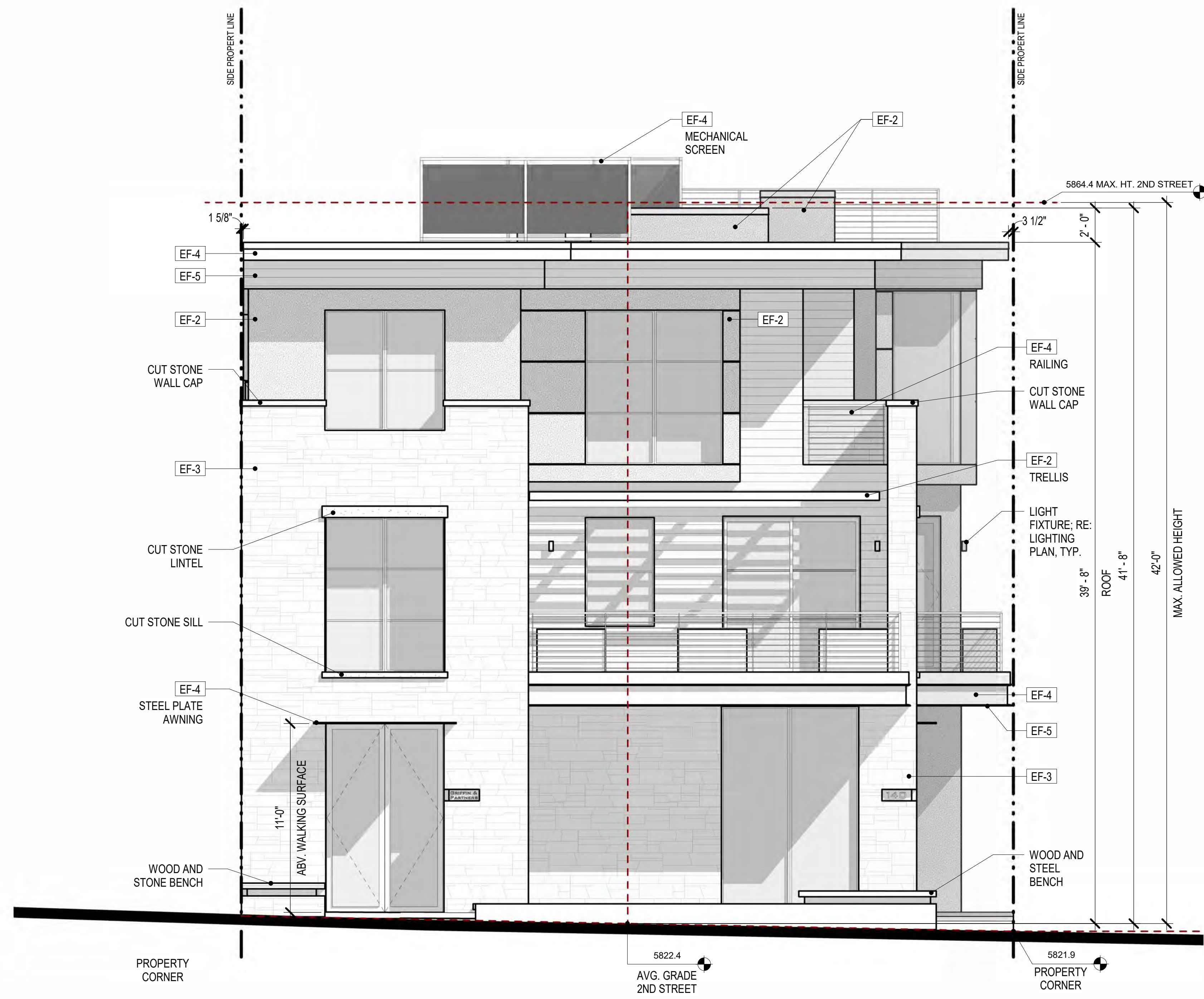


140 WEST 2nd

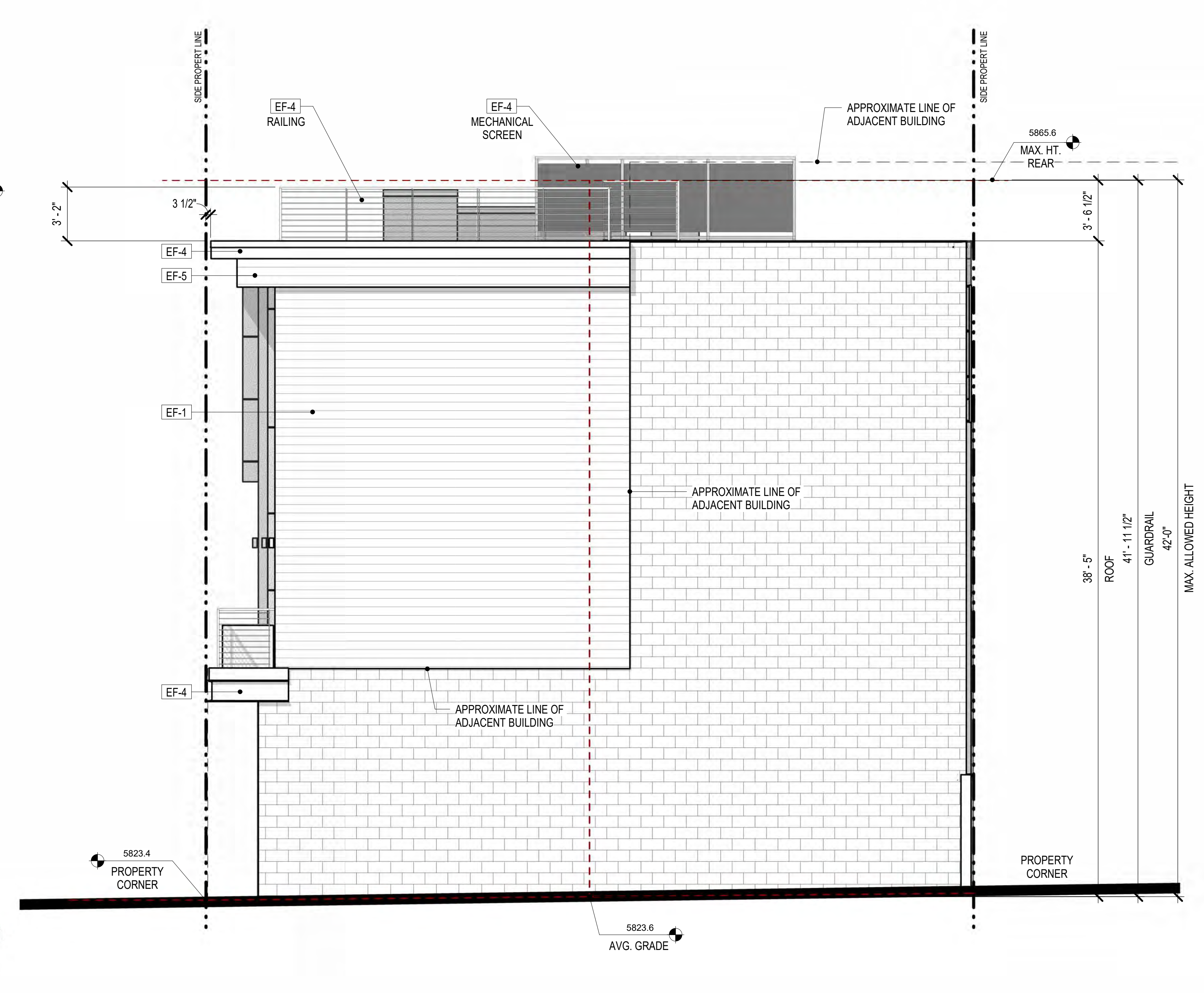
140 W 2nd STREET
KETCHUM, IDAHO 83333

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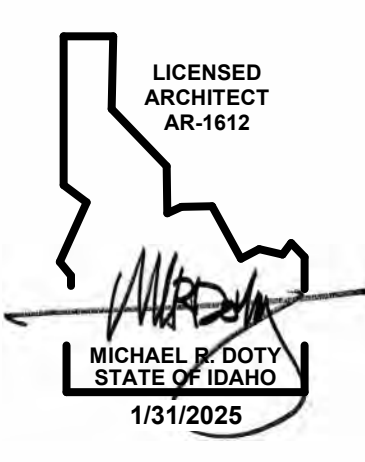


NORTH (2nd STREET) ELEVATION



SOUTH (PROPERTY LINE) ELEVATION

NORTH AND SOUTH ELEVATIONS



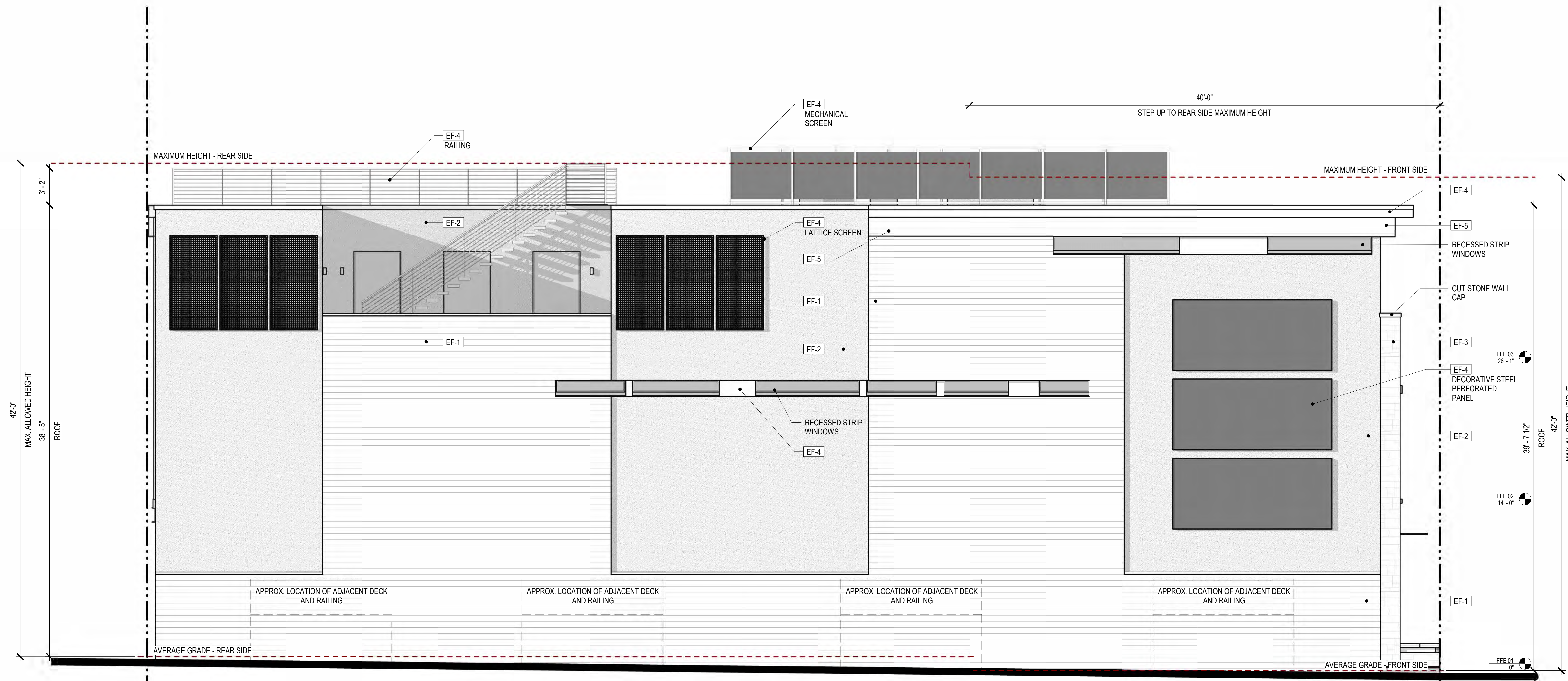
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

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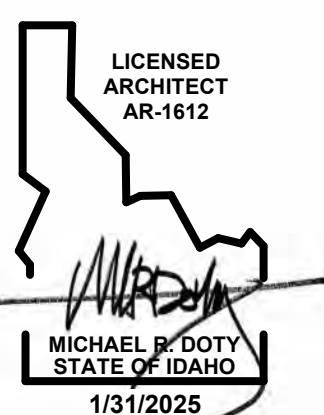


A-312



EAST ELEVATION - DESIGN REVIEW

SCALE: 1/4"=1'-0"

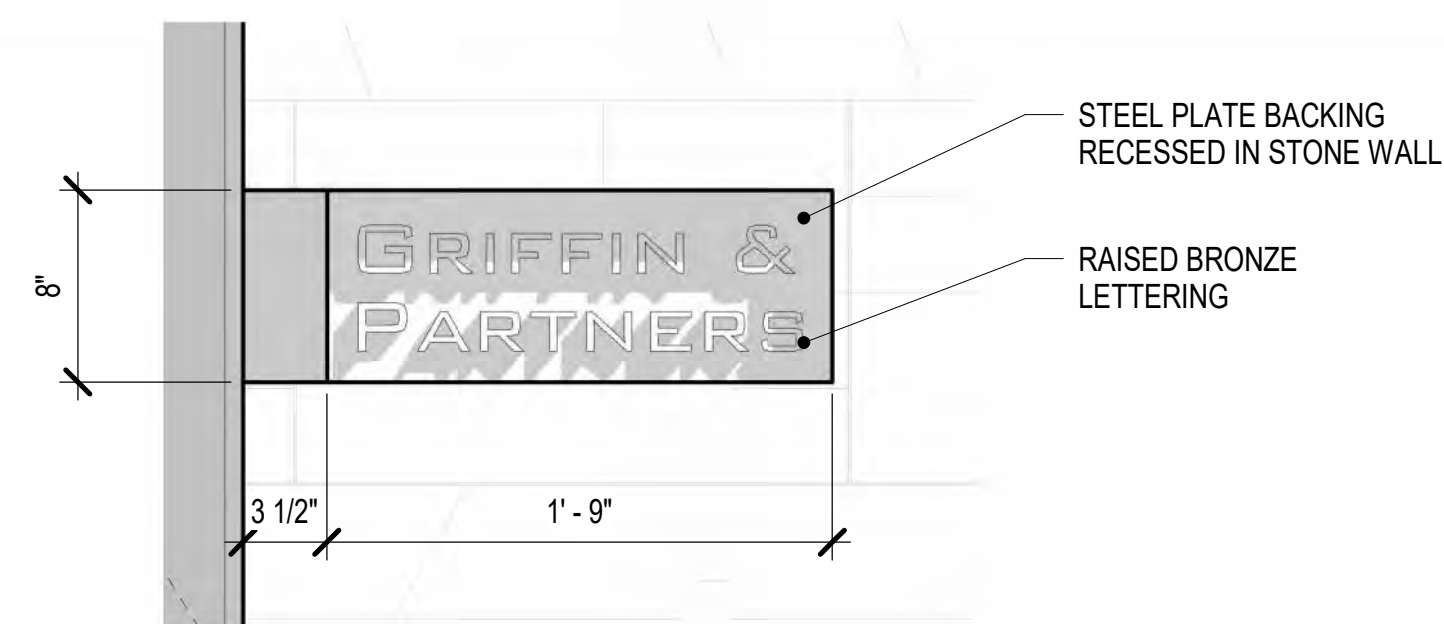


140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

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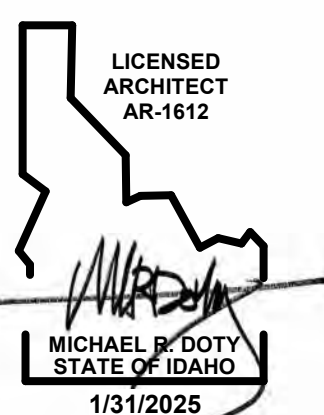
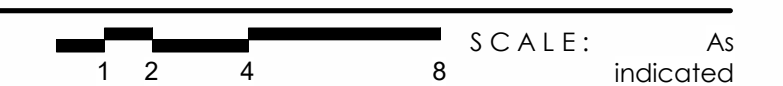


BUILDING SIGNAGE ②
1 1/2" = 1'-0"



NORTH (2ND STREET) ELEVATION - EXT. SIGNAGE ①
1/4" = 1'-0"

PROPOSED BUILDING SIGNAGE

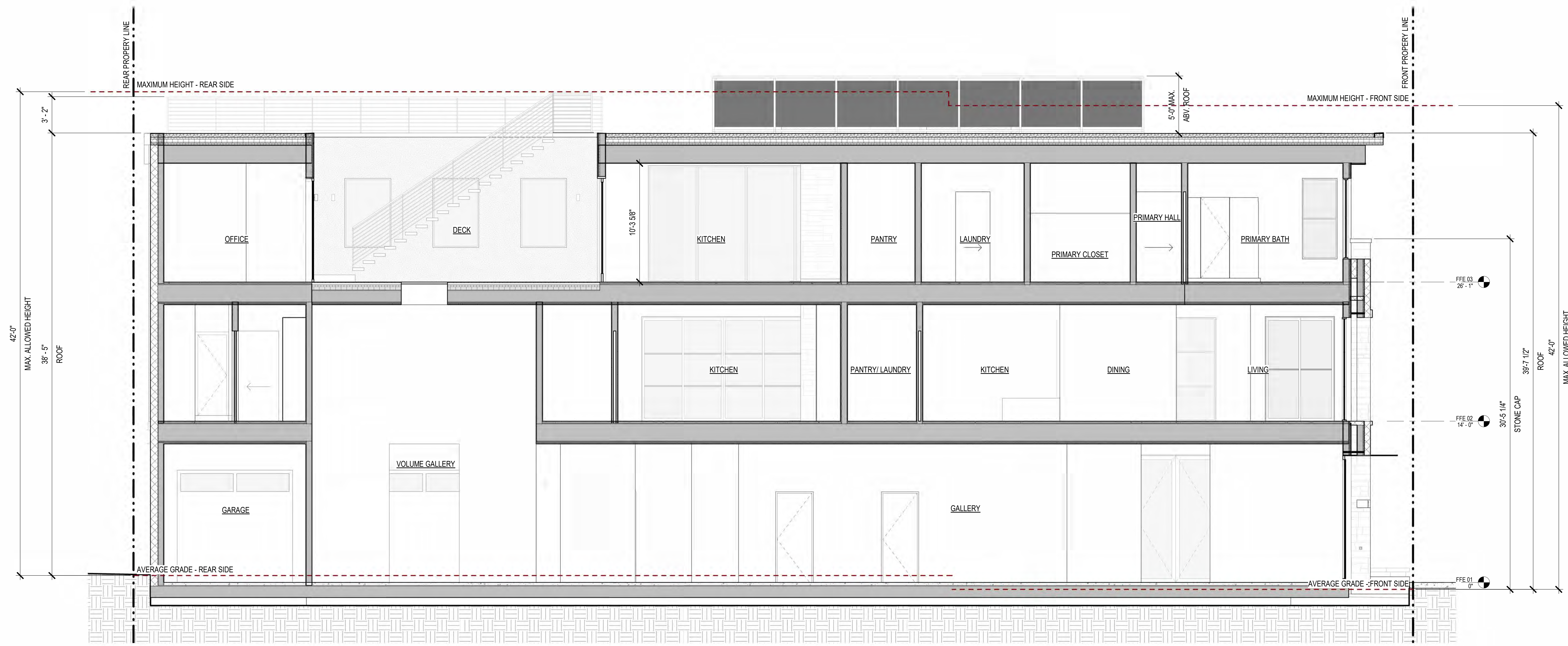


140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

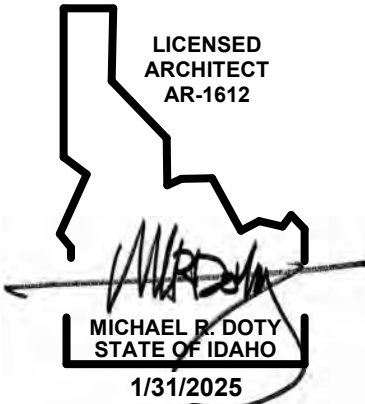
DESIGN REVIEW
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LONGITUDINAL SECTION 1
1/4" = 1'-0"

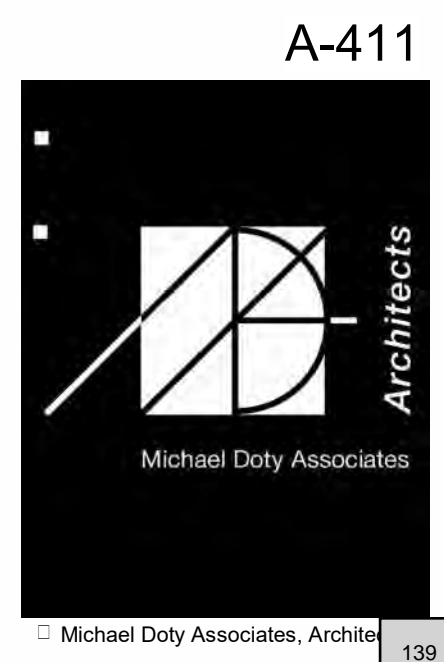
BUILDING SECTIONS



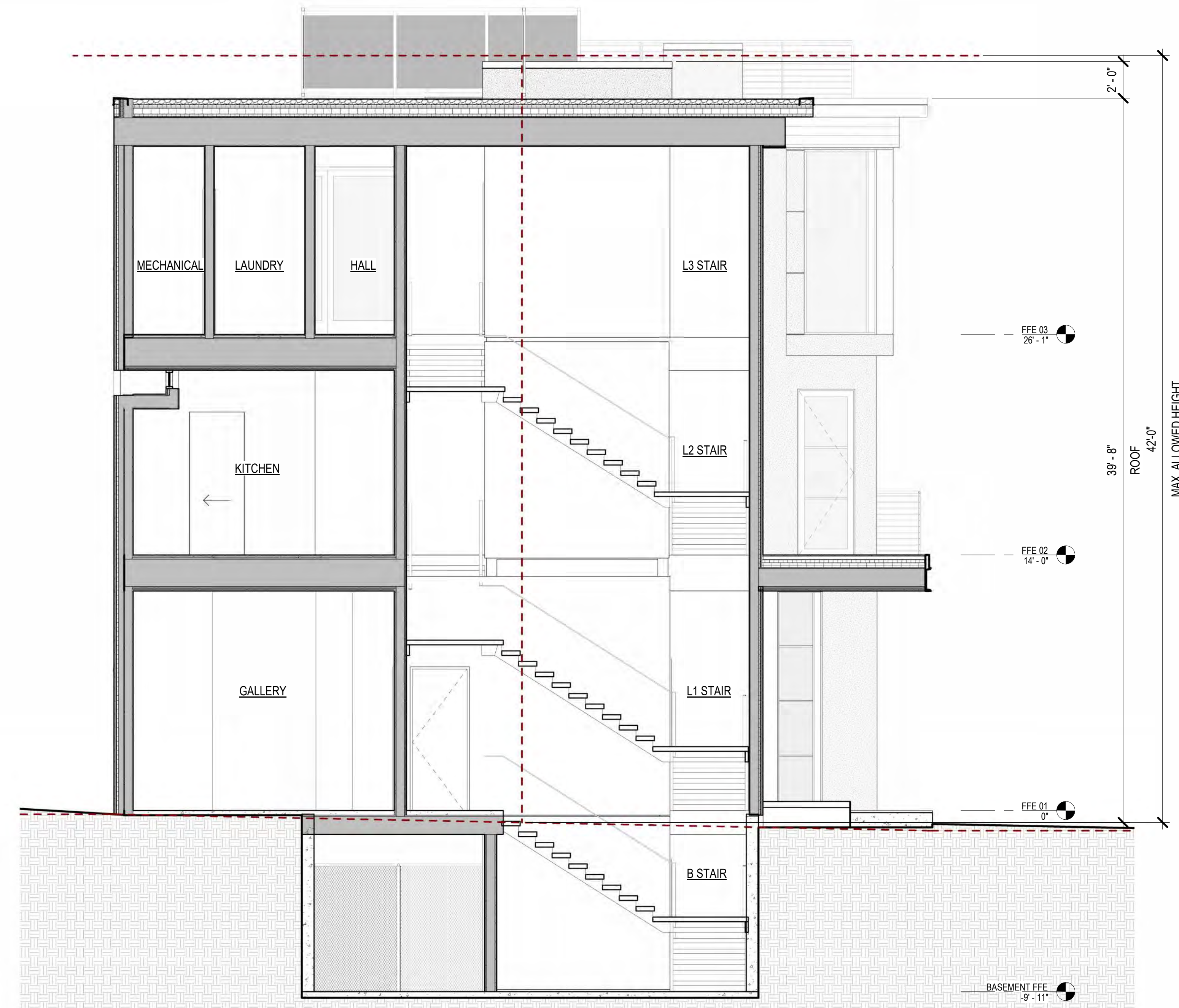
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025

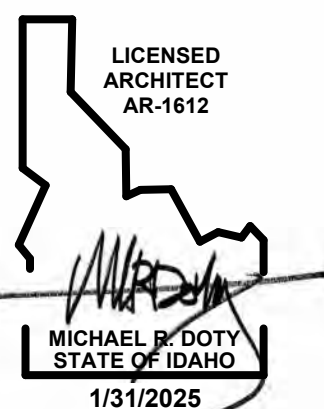


A-411



TRANSVERSE BUILDING SECTION 1
1/4" = 1'-0"

BUILDING SECTIONS



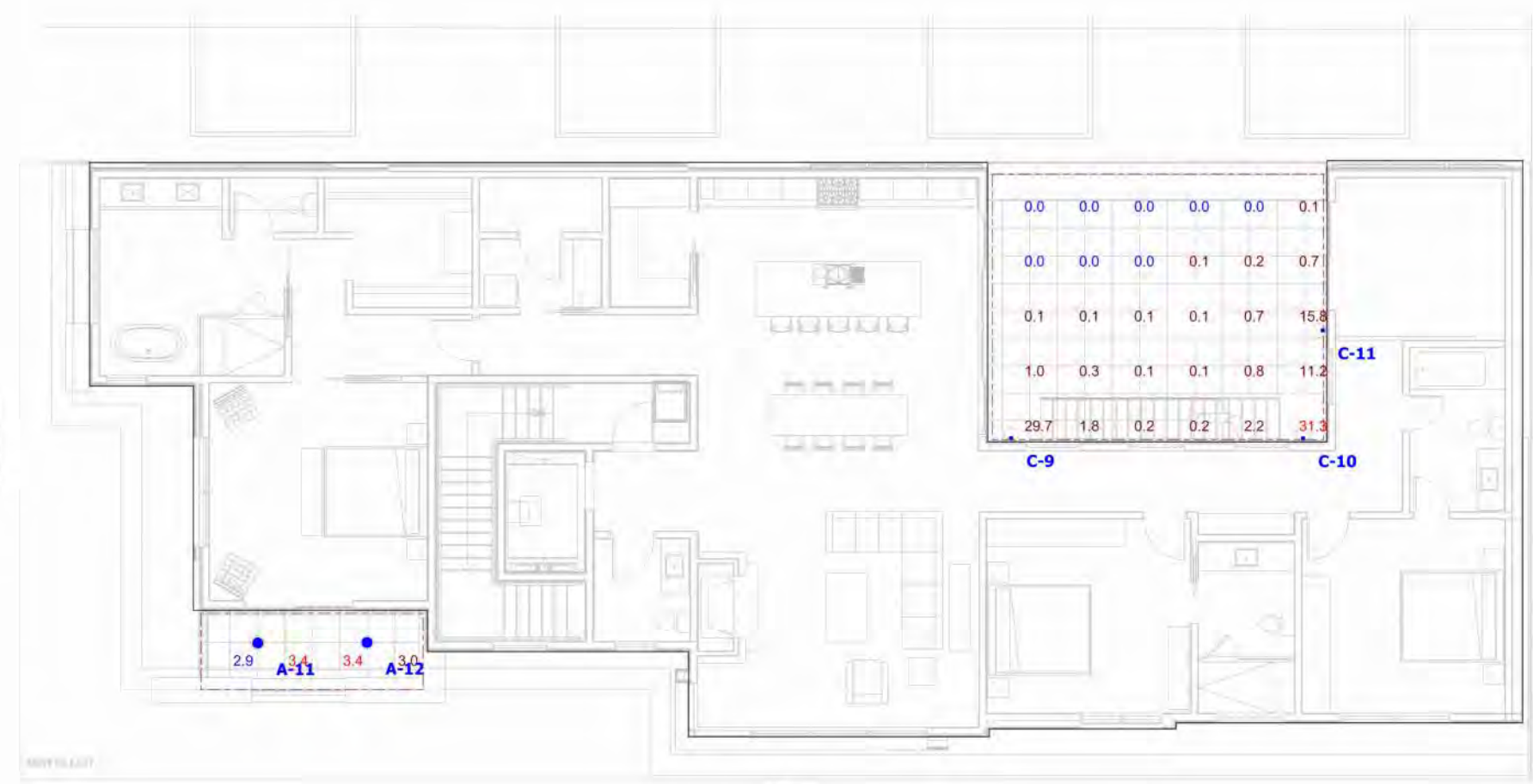
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



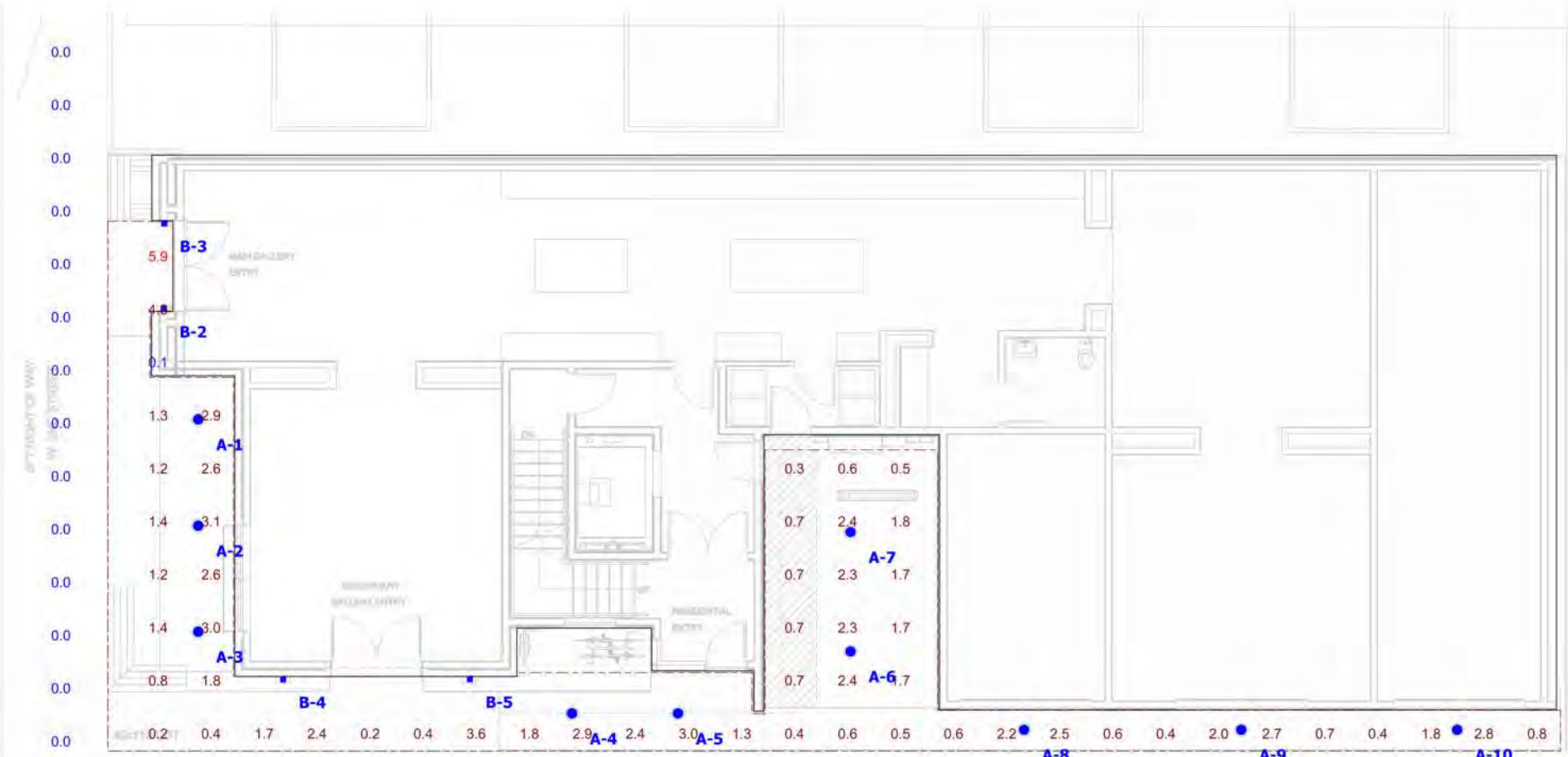
A-412



THIRD FLOOR PLAN - EXTERIOR LIGHTING



SECOND FLOOR PLAN - EXTERIOR LIGHTING



GROUND FLOOR PLAN - EXTERIOR LIGHTING

Plan View
Scale - 1" = 12'

Symbol	Label	Quantity	Description	Manufacturer	Catalog Number	Lamp	Lumens Per Lamp	Wattage
○	A	12	2" SQUARE SLIM DOWNLIGHT	LUCIFER LTG CO.	A2SS W 2 BB BF IC 9007D 27 35 4	2700K	455	15.74
□	B	4	PATHLIGHT	LUCIFER LTG CO.	ISL1 2 AB 90L04B 27	2700K	127	4.08
○	C	11	SQUILINDER DOWNLIGHT	LUCIFER LTG CO.	SW2 DF 2 BB BB 90S11A 27 40 4	2700K	1026	11

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GROUND FLOOR	+	1.6 fc	5.9 fc	0.1 fc	59.0:1	16.0:1
SECOND FLOOR	+	7.9 fc	42.1 fc	0.1 fc	421.0:1	79.0:1
THIRD FLOOR - BEDROOM DECK	+	3.2 fc	3.4 fc	2.9 fc	1.2:1	1.1:1
THIRD FLOOR - PATIO	+	3.2 fc	31.3 fc	0.0 fc	N/A	N/A
RIGHT-OF-WAY	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A



EXTERIOR BUILDING PHOTOMETRICS FOR:
140 WEST 2ND STREET
KETCHUM, IDAHO 83333

ATOMOS™2 UNIVERSAL AND SLIM

A minimum downlight size offering impressive performance in an extremely small profile with a 2" aperture. Available as flange overlay and trimless for both drywall and masonry applications.

ITEM	SYMBOL	QTY	DESCRIPTION	UNIT	PRICE	TOTAL
1	A	12	2" SQUARE SLIM DOWNLIGHT	EA	1.31	15.72
2	B	4	PATHLIGHT	EA	1.02	4.08
3	C	11	SQUILINDER DOWNLIGHT	EA	0.93	10.23

ORDERING INFORMATION - TRIM / HOUSING

FINISHES: White, Black, Bronze, Silver, Gold, Copper, Nickel, Gunmetal, Oil Rubbed Bronze, Champagne Bronze, Venetian Bronze, Venetian Nickel, Venetian Copper, Venetian Gold, Venetian Nickel, Venetian Copper, Venetian Gold.

DECLARE. LUCIFER LIGHTING COMPANY

RECESSED DOWNLIGHT (A)
MOUNTING HEIGHT 12'-0" A.F.F. U.O.N.

PATHLIGHTS STEALTH AND IMPACT®

Low glare path lights lead the way through the end of doors, as built-ins or from freestanding bollards.

ITEM	SYMBOL	QTY	DESCRIPTION	UNIT	PRICE	TOTAL
1	B	4	PATHLIGHT	EA	1.02	4.08

ORDERING INFORMATION AND DRAWINGS - FINISHES

FINISHES: White, Black, Bronze, Silver, Gold, Copper, Nickel, Gunmetal, Oil Rubbed Bronze, Champagne Bronze, Venetian Bronze, Venetian Nickel, Venetian Copper, Venetian Gold.

DECLARE. LUCIFER LIGHTING COMPANY

PATH LIGHT (B)
MOUNTING HEIGHT 3'-0" A.F.F. U.O.N.

WALL SCONCE CYLINDER & SQUILINDER®

Exceptional adaptability and performance in classic and modern silhouettes that mount seamlessly and invisibly to the wall.

ITEM	SYMBOL	QTY	DESCRIPTION	UNIT	PRICE	TOTAL
1	C	11	SQUILINDER DOWNLIGHT	EA	0.93	10.23

ORDERING INFORMATION

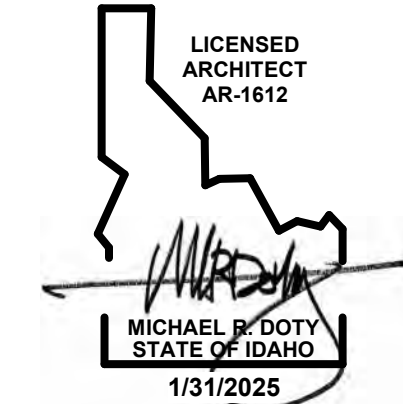
FINISHES: White, Black, Bronze, Silver, Gold, Copper, Nickel, Gunmetal, Oil Rubbed Bronze, Champagne Bronze, Venetian Bronze, Venetian Nickel, Venetian Copper, Venetian Gold.

DECLARE. LUCIFER LIGHTING COMPANY

SCONCE LIGHT (C)
MOUNTING HEIGHT 7'-6" A.F.F. U.O.N.

EXTERIOR LIGHTING PHOTOMETRIC CALCULATIONS

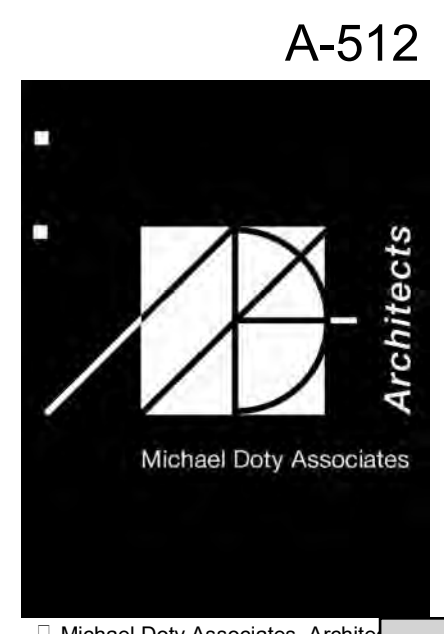
Designer
SAM
Date
11/20/2024
Scale
Not to Scale
Drawing No.
EPI.0
Summary



140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



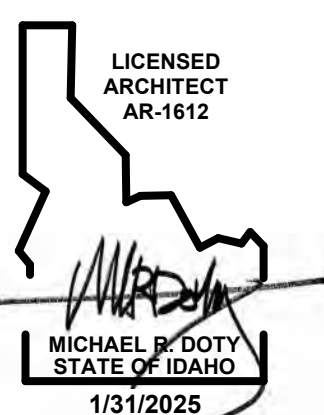


EXTERIOR RENDERINGS

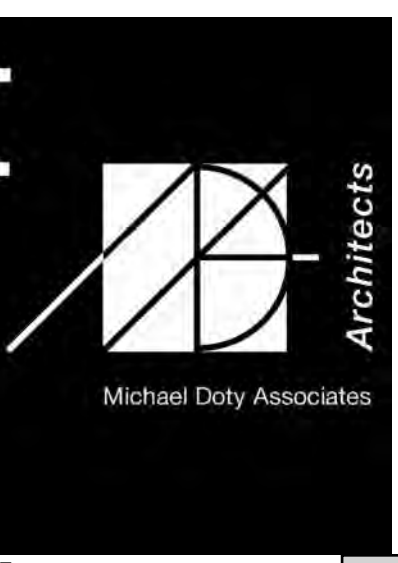
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-601



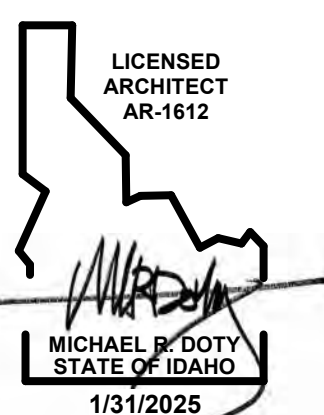


EXTERIOR RENDERINGS

140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-602



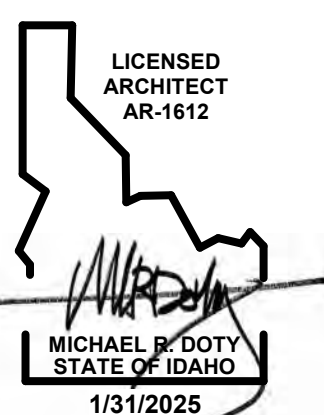


EXTERIOR RENDERINGS

140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-603



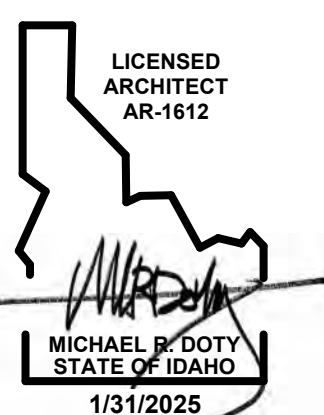


EXTERIOR RENDERINGS

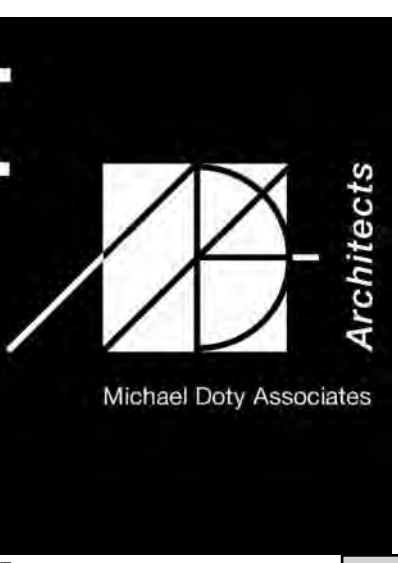
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-604



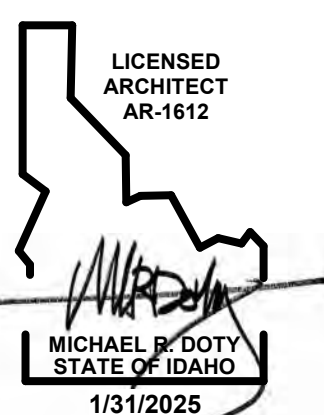


EXTERIOR RENDERINGS

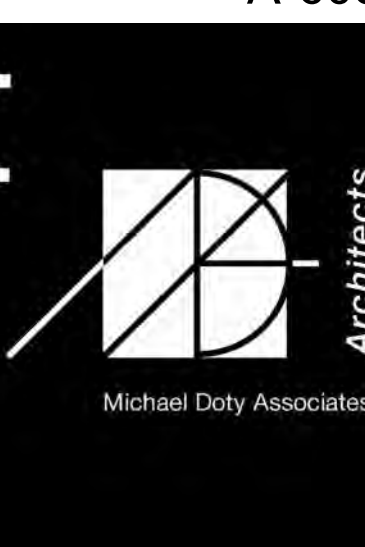
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-605



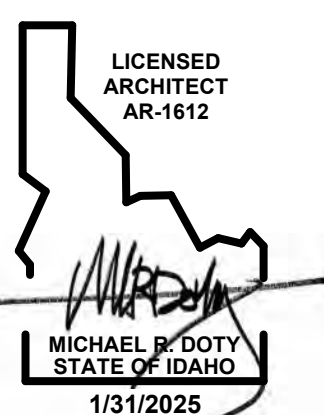


EXTERIOR RENDERINGS

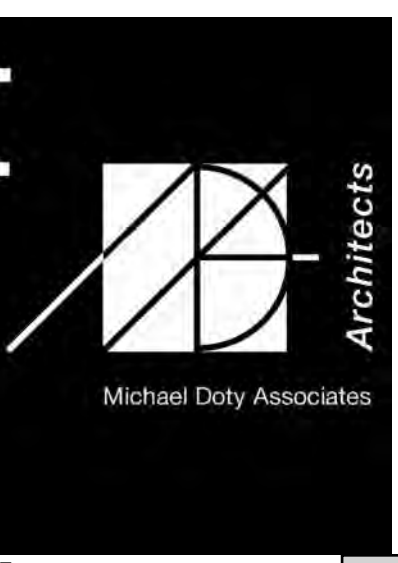
140 WEST 2nd

140 W 2nd STREET
KETCHUM, IDAHO 83333

DESIGN REVIEW
1/31/2025



A-606



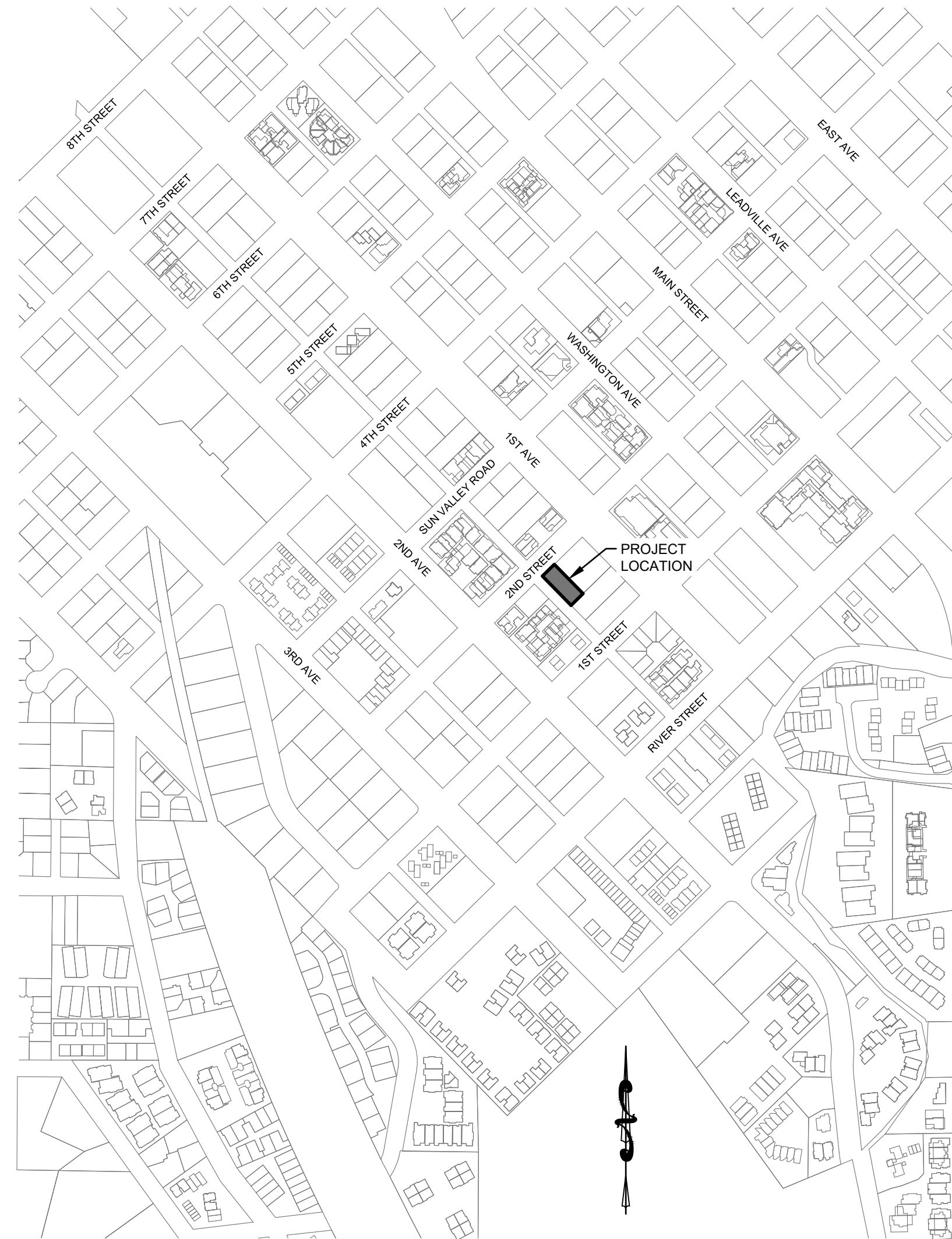
140 W 2ND STREET

KETCHUM, IDAHO

NOVEMBER 2024

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-81.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY ALPINE ENTERPRISES INC, 12/22/2010 AND 02/14/2024. REFER TO TOPOGRAPHIC MAP FOR NOTES. THESE SURVEYS WERE SUPPLEMENTED BY 2017 BLAINE COUNTY LIDAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY.

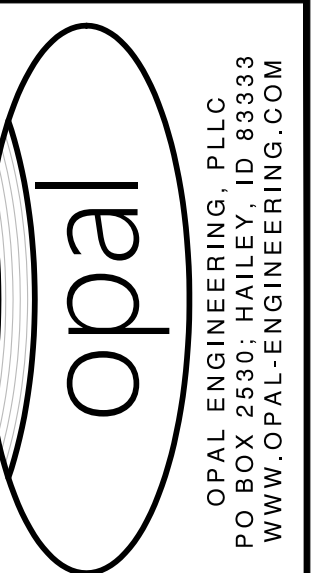


VICINITY MAP
N.T.S.

SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
1 OF 1	EXISTING SITE CONDITIONS by ALPINE ENTERPRISES
C0.90	DEMOLITION PLAN
C1.00	DETAIL SHEET
C1.01	STORM WATER / DRYWELL SIZING CALCULATIONS
C1.10	SITE IMPROVEMENT PLAN

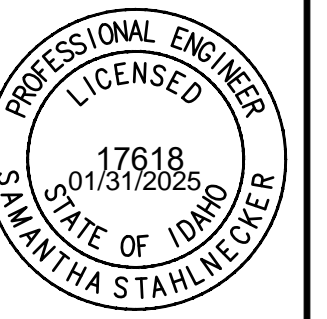
CIVIL ENGINEER
SAMANTHA STAHLNECKER, PE
OPAL ENGINEERING, PLLC
416 S. MAIN STREET SUITE 204
PO BOX 2530
HAILEY, IDAHO 83333



OPAL ENGINEERING, PLLC
PO BOX 2530 - HAILEY, ID 83333
WWW.OPAL-ENGINEERING.COM

PURPOSE: ISSUE FOR DESIGN REVIEW (11/20/2024)

REVISION NO.	DATE	DESCRIPTION
1	11/20/24	REVISIONS PER CITY COMMENTS
2	01/31/25	REVISIONS PER CITY COMMENTS



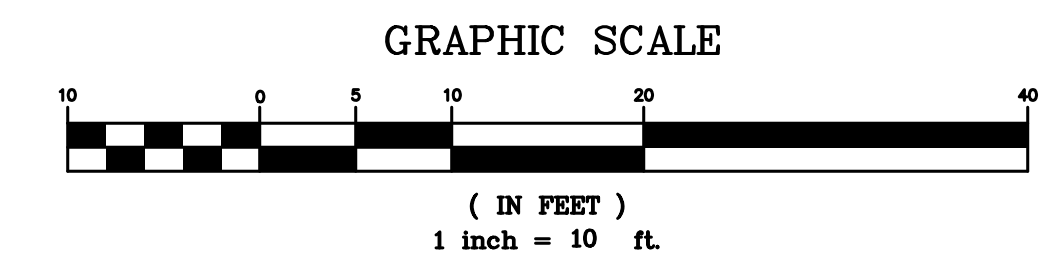
**PRELIMINARY
NOT FOR
CONSTRUCTION**

COVER SHEET

140 W 2ND STREET KETCHUM, ID
PREPARED FOR: BILL GRIFFIN

24022
PROJECT NUMBER

C0.10



LEGEND

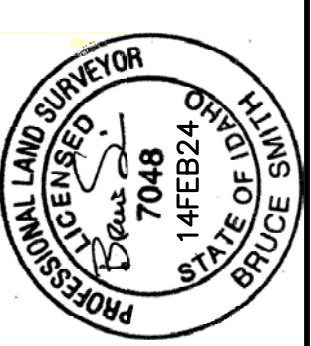
- Subject Boundary
- - - Centerline Right-of-Way
- - - Adjoiner Lot Lines
- - - EOA - Edge of Asphalt
- - - Existing Building/Structure
- - - RTW - Retaining Wall
- - - Rock Wall
- - - Existing Fence
- - - Underground Power Line
- - - TV - Underground Cable Line
- - - GS - Gas Service
- - - GAS - Gas Main
- - - SS - Sewer Service
- - - SWR - Sewer Main
- - - WS - Water Service Line
- - - WTR - Water Main
- - - PH - Underground Phone Line
- △ CNTRL - Survey Control
- FND - Found 1/2" Rebar as Shown
- Found 5/8" Rebar as Shown
- Found Aluminum Cap as Shown
- PBOX - Power Box
- PHBOX - Phone Box
- SCO - Sewer Cleanout
- SMH - Sewer Manhole
- AC Air Conditioning Unit
- TV TVBOX - Cable Box
- FH - Fire Hydrant
- WMTR - Water Meter
- WV - Water Valve
- GMTR - Gas Meter
- DT - Deciduous Tree
- CT - Coniferous Tree
- [] Record Bearing and Distance, Inst. No. 302967
- [[]] Record Bearing and Distance, Inst. No. 631906

NOTES

- 1) Basis of Bearings is Grid North per Idaho State Plane Coordinate System, Central Zone, NAD83, (1992), at Grid in US Survey Feet. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 1) Boundary Information used or considered includes:
 - Official Map of the Village of Ketchum, Instrument Number 302967;
 - A Replat showing the S.W. 1/4 of Lots 1 & 2, Block 59, Creating Lot 1A, Block 59, City of Ketchum, Instrument Number 330772;
 - 120 Building Condominiums, Instrument Number 460151;
 - Record of Survey showing the East Half and the West Half of Lot 5, Blk 59, Ketchum Townsite, Instrument Number 631906;
 - Mindbender Condominiums, Instrument Number 677311; all Records of Blaine County, Idaho.
- 2) Please refer to the Plat Notes, Easements, Reservations, Dedications, Conditions, Covenants, and Restrictions on the original plat, subsequent surveys, and other documents that may affect the Subject Property.
- 3) Utility Locations shown are based on visual surface evidence and previous surveys on the Subject Block. Utility Locations should always be verified by Digline Locate before any excavation may occur on the Subject Property.
- 4) The Subject Property appears to be within the City of Ketchum Community Core District, (CC). Please refer to City of Ketchum Code of Ordinances for more information about this zone including Building Setbacks.
- 5) Not all trees and vegetation are shown, some locations are approximate.
- 6) Aerial Imagery, if shown, is from Nearmap 2023.

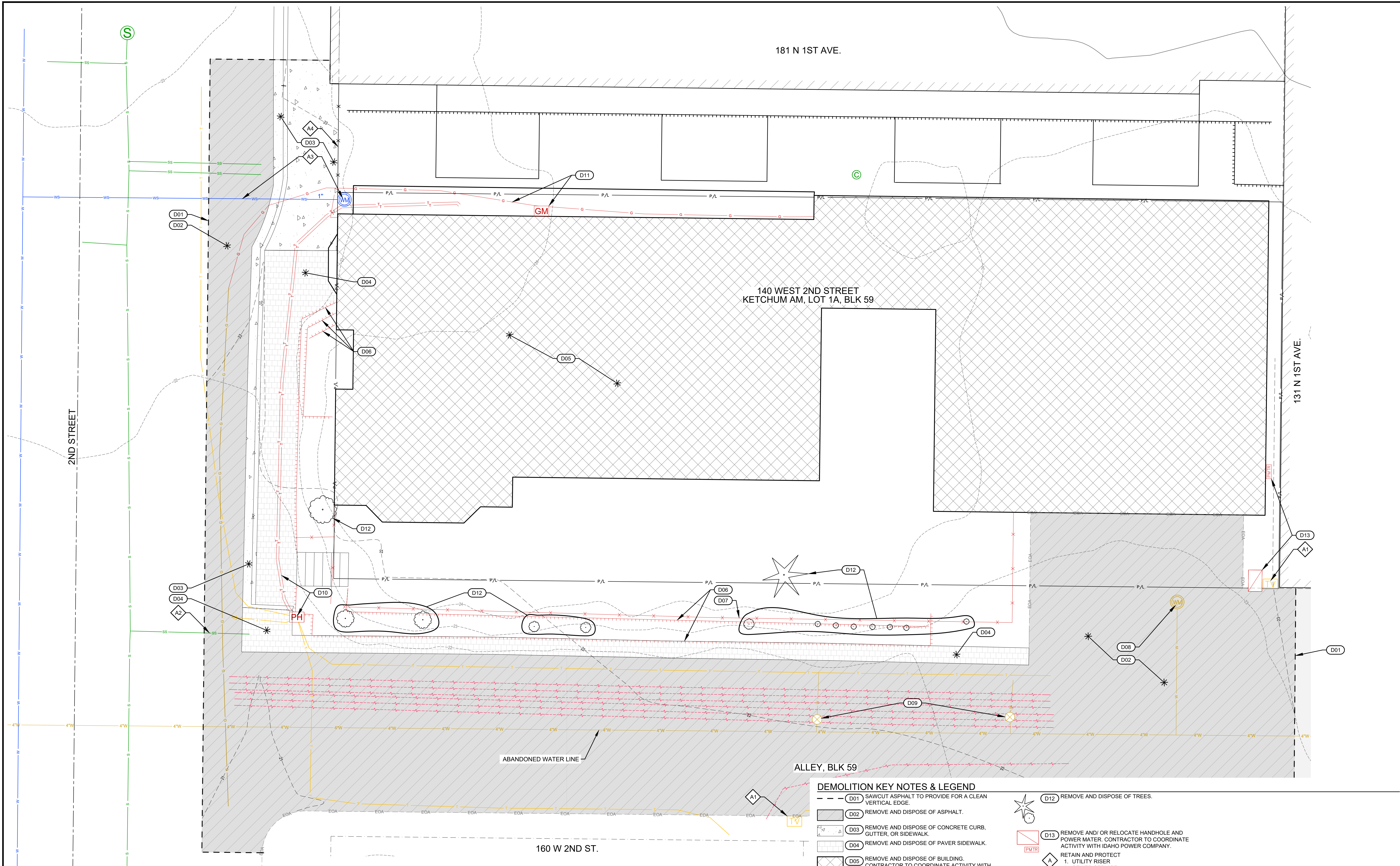
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Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988
 email: bsam@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY

A SITE PLAN SHOWING
 LOT 1A, BLOCK 59, KETCHUM TOWNSITE
 WITHIN S18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR BILL GRIFFIN

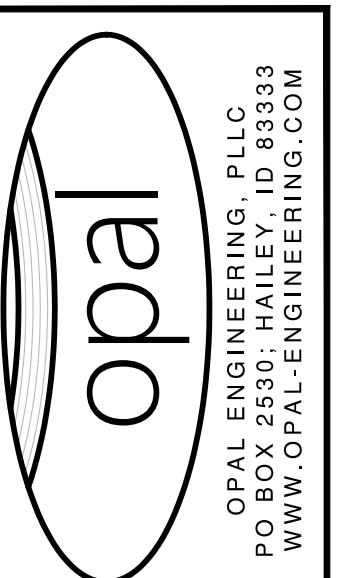


LEGEND

— P/L —	Subject Boundary	— S —	Sewer Main
— — —	Centerline Right-of-Way	— WS —	Water Service Line
— — —	Adjoiner Lot Lines	— 4\"/>	

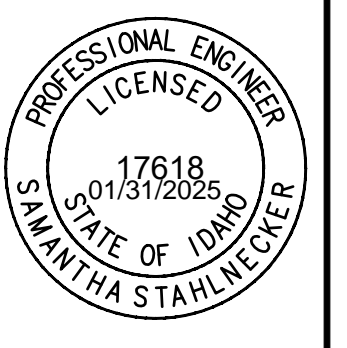
DEMOLITION KEY NOTES & LEGEND

— — —	D01	SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.	D12	REMOVE AND DISPOSE OF TREES.
■	D02	REMOVE AND DISPOSE OF ASPHALT.	D13	REMOVE AND/OR RELOCATE HANDHOLE AND POWER METER. CONTRACTOR TO COORDINATE ACTIVITY WITH IDAHO POWER COMPANY.
▤	D03	REMOVE AND DISPOSE OF CONCRETE CURB, GUTTER, OR SIDEWALK.	⬠	RETAIN AND PROTECT
▥	D04	REMOVE AND DISPOSE OF PAVER SIDEWALK.	1.	UTILITY RISER
▧	D05	REMOVE AND DISPOSE OF BUILDING. CONTRACTOR TO COORDINATE ACTIVITY WITH ARCHITECT.	2.	SEWER SERVICE
— — —	D06	REMOVE AND DISPOSE OF RETAINING WALL.	3.	WATER SERVICE AND METER VAULT
— x —	D07	REMOVE AND DISPOSE OF FENCE.	4.	FENCE
⊙	D08	REMOVE AND DISPOSE OF WATER VAULT.		
⊗	D09	REMOVE AND DISPOSE OF WATER VALVE BOXES.		
Ⓜ	D10	RELOCATE TELEPHONE RISER. CONTRACTOR TO COORDINATE ACTIVITY WITH COMMUNICATIONS COMPANY AND ARCHITECT.		
Ⓜ	D11	REMOVE GAS SERVICE AND METER. CONTRACTOR TO COORDINATE ACTIVITY WITH INTERMOUNTAIN GAS COMPANY.		



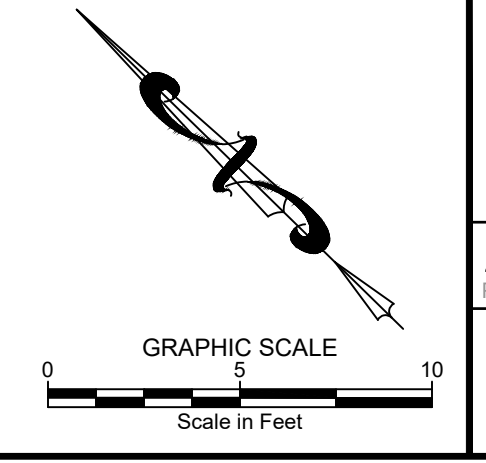
PURPOSE: ISSUE FOR DESIGN REVIEW (11/20/2024)

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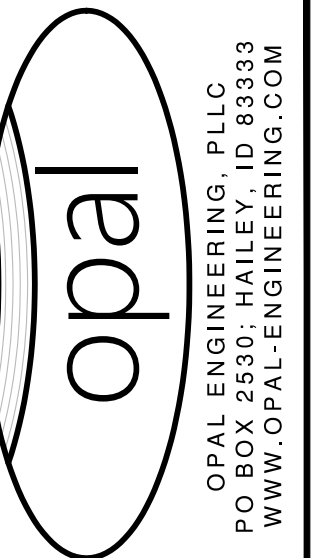
**PRELIMINARY
NOT FOR
CONSTRUCTION**

DEMOLITION PLAN
140 W 2ND STREET KETCHUM, ID
 PREPARED FOR: BILL GRIFFIN
 PROJECT NUMBER: 24022
 SCALE: C0.90



Drywell:	S07	Refer to Detail 8 / C1.00	
Storm Duration =	1 hr		
Intensity =	1 in/hr		
Hardscape Data (pavement, etc.)			
Runoff Area =	0.41 Acres		
Runoff Area =	17,750 ft ²		
Runoff Coefficient =	0.90		
Softscape Data (lawn, unimproved area)			
Runoff Area =	- Acres		
Runoff Area =	- ft ²		
Runoff Coefficient =	0.30		
Prorated Surface Coefficients		Drywell Dimensions:	
Runoff Area =	0.41 Acres	A =	9 ft
Runoff Area =	17,750 ft ²	Bottom Area (Ab) =	49.96 ft ²
Runoff Coefficient =	0.90	B =	2 ft
Drain Bed Voids =	35 %	Sidewall Area (As) =	244.27 ft ²
Infiltration Rate =	120 in/hr	C =	10 ft
		Volume Rock =	518.20 ft ²
		D =	11 ft
		Volume Pipe =	31.42 ft ²
Qpeak = C*I*A =		0.37 cfs	
Runoff Volume = Qpeak*Time =		1,331.25 ft ³	
Perc Area = Ab*x*As =		123.25 ft ²	
Perc Volume =		1,232.47 ft ³	
Storage Required = Runoff Volume- Perc Volume =		98.78 ft ³	
Storage Volume = (Vr*Void Ratio)+Vp =		212.79 ft ³	
Storage Required - Storage Volume =		-114.01 ft ³ must be less than zero	

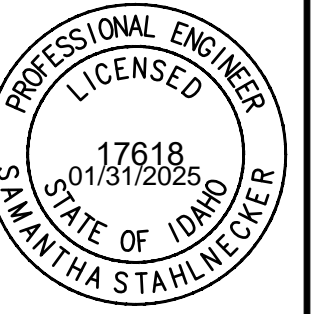
Drywell:	S08	Refer to Detail 10 / C1.00	
Storm Duration =	1 hr		
Intensity =	1 in/hr		
Hardscape Data (pavement, etc.)			
Runoff Area =	0.11 Acres		
Runoff Area =	4,945 ft ²		
Runoff Coefficient =	0.90		
Softscape Data (lawn, unimproved area)			
Runoff Area =	- Acres		
Runoff Area =	- ft ²		
Runoff Coefficient =	0.30		
Prorated Surface Coefficients		Drywell Dimensions:	
Runoff Area =	0.11 Acres	A =	5 ft
Runoff Area =	4,945 ft ²	Bottom Area (Ab) =	15.42 ft ²
Runoff Coefficient =	0.90	B =	1 ft
Drain Bed Voids =	35 %	Sidewall Area (As) =	74.02 ft ²
Infiltration Rate =	120 in/hr	C =	5.5 ft
		Volume Rock =	88.21 ft ²
		D =	6 ft
		Volume Pipe =	4.32 ft ²
Qpeak = C*I*A =		0.10 cfs	
Runoff Volume = Qpeak*Time =		370.91 ft ³	
Perc Area = Ab*x*As =		33.93 ft ²	
Perc Volume =		339.27 ft ³	
Storage Required = Runoff Volume- Perc Volume =		31.64 ft ³	
Storage Volume = (Vr*Void Ratio)+Vp =		35.19 ft ³	
Storage Required - Storage Volume =		-3.55 ft ³ must be less than zero	



OPAL ENGINEERING, PLLC
 P.O. BOX 2530 - HALEY, ID 83333
 WWW.OPAL-ENGINEERING.COM

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REVISION NO.	DATE	DESCRIPTION
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**PRELIMINARY
NOT FOR
CONSTRUCTION**

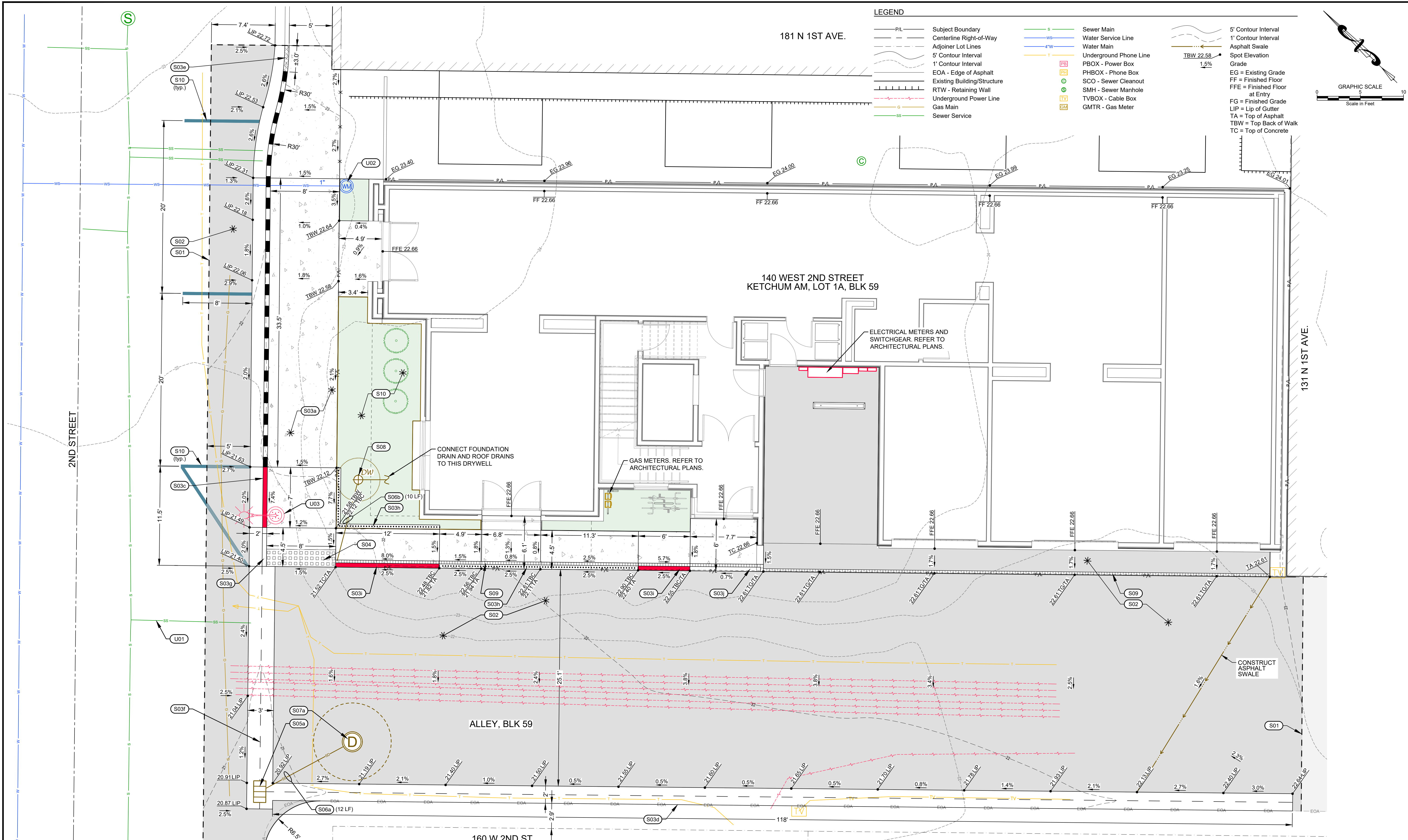
**STORM WATER / DRYWELL
SIZING CALCULATIONS**

140 W 2ND STREET KETCHUM, ID
 PREPARED FOR: BILL GRIFFIN

24022
PROJECT NUMBER

C1.01

USE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Opal Engineering, PLLC.



LEGEND

- P/L — Subject Boundary
- Centerline Right-of-Way
- Adjoiner Lot Lines
- 5' Contour Interval
- 1' Contour Interval
- EOA - Edge of Asphalt
- Existing Building/Structure
- RTW - Retaining Wall
- Underground Power Line
- Gas Main
- Sewer Service
- S — Sewer Main
- WS — Water Service Line
- W — Water Main
- U — Underground Phone Line
- PB — PBOX - Power Box
- PH — PHBOX - Phone Box
- SCO — Sewer Cleanout
- SMH — Sewer Manhole
- TV — TVBOX - Cable Box
- GM — GMTR - Gas Meter
- 5' Contour Interval
- 1' Contour Interval
- Asphalt Swale
- Spot Elevation
- Grade
- EG = Existing Grade
- FF = Finished Floor
- FFE = Finished Floor at Entry
- FG = Finished Grade
- LIP = Lip of Gutter
- TA = Top of Asphalt
- TBW = Top Back of Walk
- TC = Top of Concrete

opai

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PURPOSE: ISSUE FOR DESIGN REVIEW (11/20/2024)

REVISION NO.	DATE	DESCRIPTION
1	11/20/24	REVISIONS PER CITY COMMENTS
2	01/31/25	REVISIONS PER CITY COMMENTS

PROFESSIONAL ENGINEER
 LICENSED
 17618
 STATE OF IDAHO
 SMANTHA STAHLVEGER

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

SITE IMPROVEMENT PLAN

140 W 2ND STREET KETCHUM, ID

PREPARED FOR: BILL GRIFFIN

24022
 PROJECT NUMBER

C1.10

- SITE IMPROVEMENT KEY NOTES & LEGEND**
- S01 SAWCUT LINE. REFER TO ITEM D01, SHEET C0.90.
 - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. REFER TO KETCHUM STANDARD DRAWING #3 FOR TYPICAL STREET ASPHALT SECTION & TYPICAL ALLEY ASPHALT SECTION, AND KETCHUM STANDARD DRAWING #16 FOR RIGHT-OF-WAY TESTING REQUIREMENTS.
 - S03 CONSTRUCT CONCRETE SECTION.
 - a. CONCRETE SIDEWALK. REFER TO DETAIL 2 / C1.00.
 - b. 6" ROLLED CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
 - c. CURB TRANSITION (6" ROLLED C&G TO ZERO REVEAL). REFER TO DETAIL 4 / C1.00.
 - S03 CONTINUED. CONSTRUCT CONCRETE SECTION.
 - d. 2' WIDE CONCRETE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00.
 - e. CURB TRANSITION (6" VERTICAL C&G TO 6" ROLLED C&G).
 - f. 3' WIDE CONCRETE VALLEY GUTTER. REFER TO KETCHUM STANDARD DETAIL #5.
 - g. ZERO REVEAL ROLLED CURB AND GUTTER. REFER TO DETAIL 4 / C1.00.
 - h. VERTICAL CURB. REFER TO DETAIL 11 / C1.00.
 - S03 CONTINUED. CONSTRUCT CONCRETE SECTION.
 - i. VERTICAL CURB ZERO REVEAL. REFER TO DETAIL 11 / C1.00.
 - j. VERTICAL CURB ZERO REVEAL. REFER TO DETAIL 11 / C1.00.
 - S04 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 6 / C1.00.
 - S05 INSTALL CATCH BASIN. SEE DETAIL 9 / C1.00. I.E. (OUT) = 5817.60
 - S06 INSTALL ADS N-12 OR D3034 PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 7 / C1.00 FOR TRENCHING.
 - a. 12" Ø
 - b. 6" Ø
 - S07 INSTALL DRYWELL. REFER TO DETAIL 8 / C1.00.
 - a. RIM = 5820.60
 - I.E. (IN - S05a) = 5817.30
 - S08 INSTALL LANDSCAPE DRYWELL. CONNECT ROOF, FOUNDATION, AND SLOT DRAINS TO THIS STRUCTURE. REFER TO DETAIL 10 / C1.00.
 - a. RIM = 5822.00
 - S09 INSTALL 4" WIDE NDS TRENCH DRAIN OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - S10 INSTALL 4" WIDE PARKING STRIPES. MATCH CITY COLORS AND PATTERNS.
 - S10 INSTALL LANDSCAPE AREA. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - U01 UTILIZE EXISTING SEWER SERVICE.
 - U02 UTILIZE EXISTING WATER SERVICE. CONTRACTOR TO CONFIRM PIPE DIAMETER IS A MINIMUM OF 1" AND IS MADE OF ACCEPTABLE MATERIAL.
 - U03 INSTALL CITY OF KETCHUM APPROVED STREET LIGHT. SEE ILLUMINATION PLAN FOR FINAL LOCATION. KETCHUM STANDARD DETAIL #14 FOR POLE FOOTING AND LIGHT TYPE, AND ELECTRICAL PLAN FOR POWER SUPPLY.

GENERAL NOTE:

- REFER TO KETCHUM STANDARD DRAWING #16 FOR RIGHT-OF-WAY TESTING REQUIREMENTS.

Attachment C

Zoning and Dimensional Standards Evaluation



140 West 2nd
COMPLIANCE WITH ZONING REGULATIONS

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Mixed-Use Subdistrict of the Community Core (CC-2)</i>	YES
<p>Staff Analysis: The mixed-use development includes a ground-floor art gallery and showroom space. The basement includes a showroom space for private clients. The art gallery and showroom space are qualified as a retail trade establishment. KMC §17.08.020 defines retail trade as:</p> <p><i>An establishment which provides the final step in the retailing process for the distribution of goods and commodities to customers. Retailers are organized to sell or rent merchandise in small quantities to the general public and operate a fixed point of sale location designed to attract a high volume of walk-in customers. Typical uses include, but are not limited to, grocery stores, establishments selling office supplies and equipment, building materials, plumbing supply, antiques or consignment items, home improvement and garden supplies, books and educational material, clothing, sporting goods, pharmaceuticals, medical devices, health and fitness supplies, <u>art</u> and associated material and household pet supplies. Motor vehicle sales are not included in this definition.</i></p> <p>Retail trade establishments are permitted in the CC-2 Zone pursuant to KMC §17.12.020. The upper levels of the building contain three multi-family dwelling units—two on the second floor and one on the third floor. Multi-family dwelling units are permitted in the CC-2 Zone pursuant to KMC §17.12.020.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	NO—existing nonconforming lot
<p>Staff Analysis: <u>Required:</u> 5,500 square feet</p> <p>Pursuant to the supplementary lot area regulations specified in KMC §17.128.010.A, “Where an individual lot was held in separate ownership from adjoining properties or was platted in a recorded subdivision approved by the City Council prior to April 21, 1966, or was in such a condition at the time the lot was subsequently annexed to the City, or was of legal area and dimensions when held in separate ownership from adjoining properties or when platted in a recorded subdivision, such a lot may be occupied according to the permitted uses provided for the district in which the lot is located, provided the proposed uses, building construction and all other regulations in regard to setbacks, supplemental yard regulations and parking areas are strictly adhered to and complied with.”</p> <p><u>Existing Nonconforming Lot Area:</u> 4,946 square feet</p> <p>The subject property—lot 1A within block 59 of the original Ketchum townsite—was created in 1991 through Lot Line Shift Application File No. 91-01. This Lot Line Shift application combined two existing smaller, substandard lots to bring Lot 1A into closer conformance with city standards.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	NO—existing nonconforming lot
<p>Staff Analysis: <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district.</p> <p><u>Existing Nonconforming Lot Width:</u> 45 feet</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p>Staff Analysis: <u>Required:</u></p> <p>Front (West 2nd Street/north): 5' average Side (Block 59 Alleyway/west): 3' Side (interior/east): 0' Rear (interior/south): 0'</p> <p>Setback for Fourth Floor: 10 feet</p> <p>Non-habitable structures, permanently affixed deck amenities, solar panels visible above roof ridge or parapet, and mechanical equipment and screening affixed to a roof from all building facades: 10 feet</p> <p><u>Proposed:</u> <i>Setbacks for Mixed-Use Building</i></p> <p>Front (West 2nd Street/north): 9'-6" avg at first floor, 11'-3" avg at second floor, 16'-10" avg at third floor Side (Block 59 Alleyway/west): 3'-1" Side (interior/east): 2" Rear (interior/south): 8"</p> <p><i>Fourth-Floor Setbacks:</i> N/A. The project does not include a fourth floor.</p> <p><i>Rooftop Structures</i> As shown on sheet A-204 of the project plans, the mechanical area on the roof, including the roof access hatch, and associated screening comply with the 10-foot minimum required setback from all building facades. The elevator, chimney, and roof-deck guardrail are qualified as part of the mixed-use building for the purposes of calculating maximum building height.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p>Permitted: 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p><u>Non-habitable Structures Located on Building Rooftops:</u> 10 feet <u>Perimeter Walls Enclosing Rooftop Deck and Structures:</u> 4 feet above roof surface height. Perimeter roof top walls are required to be at least 75% transparent.</p> <p><u>Rooftop Solar & Mechanical Equipment Above Roof Surface:</u> 5 feet</p> <p>Proposed: Average Grade Elevation at Front Property Line (north/2nd Street): 5822.4' Top of Front Façade Elevation: 5862.07' Height of Front Façade—Top of Roof: 39'-8" Height of Front Façade—Top of Elevator Overrun: 42'-8"</p> <p>Average Grade Elevation at Rear Property Line: 5823.6' Top of Rear Façade Elevation: 5862' Height of Rear Façade—Top of Roof: 38'-5" Height of Rear Façade—Top of Roof Deck Guardrail: 41'-7"</p> <p><u>Non-habitable Structures Located on Building Rooftops</u> Elevator Overrun: 2 feet (included in height of front façade)</p> <p><u>Perimeter Walls Enclosing Rooftop Deck and Structures:</u> 3'-7" (included in height of rear façade)</p>	

17.124.040 – Floor Area Ratios and Community Housing	Conformance
<p><i>An increased FAR may be permitted subject to design review approval provided that all conditions in KMC 17.124.040.B.2 are met.</i></p>	<p>YES Condition #2</p>
<p>Required Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25</p> <p><u>Proposed:</u> The FAR calculation is provided on Sheet A-010 of the project plans. Total Gross Floor Area: 9,363 square feet Lot Area: 4,946 square feet FAR: 1.89</p> <p>Community Housing Mitigation Calculation: Permitted Gross Floor Area (1.0 FAR): 4,946 square feet Proposed Gross Floor Area: 9,363 square feet Increase Above Permitted FAR: 4,417 square feet 20% of Increase: 883 square feet Net Livable (15% Reduction): 751 square feet Community Housing In-Lieu Fee (FY 2025: \$600/square foot): \$450,600</p> <p>The applicant has proposed fulfilling the community housing contribution by either paying the community housing fee in-lieu or deed-restricting one of the apartments on the second floor as a community housing unit. Pursuant to condition of approval #2, as a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 751 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.</p>	

17.124.180 Minimum Residential Densities and Commercial Requirements	Conformance
<i>Ketchum Municipal Code 17.124.180.A. General requirements. New development projects or expansions of existing buildings that exceed a total floor area ratio (FAR) of 1.0 within Subdistrict 1 and Subdistrict 2 of the CC Zone District and 0.5 FAR in the T, T-3000, T-4000, and GR-H zone districts must provide a minimum number of residential units as follows:</i>	YES

Required:

Zone District	Minimum Residential Density Required			
CC Subdistricts 1 and 2	100% Residential Development 5 units per Ketchum Townsite lot as originally platted			
	Mixed Use Development			
	≤ 30% Commercial 4 units per Ketchum Townsite lot as originally platted	31—60% Commercial 3 units per Ketchum Townsite lot as originally platted	61—80% Commercial 2 units per Ketchum Townsite lot as originally platted	≥ 80% Commercial No Minimum except when residential units are provided, there shall be a minimum of 2 units

- B. *Commercial calculation.* For purposes of calculating commercial area for minimum residential densities, commercial square footage shall include all permitted and conditionally permitted uses identified in section 17.12.020, district use matrix, under the categories of "Commercial" or "Public and Institutional".
- Commercial area shall be calculated by dividing the net floor area of commercial square footage by the total net floor area for the project.
- C. *Minimum commercial.* Mixed-use developments in the CC-1 Zone and for properties located from the alley west of Main Street to N 2nd Avenue between 2nd and 5th Streets within the CC-2 Zone shall have a minimum of 35 percent of the gross floor area, as defined in section 17.08.020, of the ground floor be commercial use(s).
- D. *Restaurant incentive.* The minimum residential density requirements shall be reduced by one dwelling unit for new developments proposing restaurants that include necessary utility infrastructure for commercial kitchens, such as but not limited to commercial hood and grease traps.

Proposed

Commercial Calculation

Project net and gross floor area calculations are provided on sheet A-010 of the project plans.

Basement Commercial B Net Floor Area: 452 square feet

Ground-Floor Commercial 1 Net Floor Area: 2,270 square feet

Total Commercial Net Floor Area: 2,722 square feet

Project Net Floor Area: 8,433 square feet

Percent Commercial: 32%

Minimum Residential Density Required for 31-60% Commercial: 3 units

Proposed Residential Density: 3 units

Minimum Commercial

N/A as the subject property is on the west side of 2nd Street and outside the area in the CC-2 Zone where 35% of the gross floor area of the ground floor must be commercial use.

Restaurant Incentive

N/A as no restaurant is proposed within the mixed-use development.

17.04.030 – No Net Loss of Dwelling Units	Conformance
<p><i>Ketchum Municipal Code §17.04.030.D. Applications: no net loss of units: Development of property, in any zone district, may not result in the net loss of dwelling units. Total number of dwelling units shall be calculated including all listed or defined dwelling unit uses and terms in this Code such as, but not limited to, "dwelling, one-family", "dwelling, multi-family", "dwelling unit, accessory", and "work/live unit".</i></p>	YES
<p><u>Existing:</u> The property is developed with a single-family dwelling unit.</p> <p><u>Proposed:</u> The project proposes three multi-family dwelling units.</p>	

17.125.030 - Off Street Parking and Loading 17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<p><i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i></p>	YES
<p>Permitted:</p> <p><u>Required (KMC §17.125.040)</u></p> <p>Multi-Family Dwelling Units in CC Zone</p> <p>Units 750 square feet or less: 0 parking spaces</p> <p>Units 751 square feet to 2,000 square feet: 1 parking space</p> <p>Units 2,001 square feet and above: 2 parking spaces</p>	

Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)

Exemptions in CC Zone

- Community housing
- Food service
- The first 5,500 gross square feet of retail trade
- The first 5,500 gross square feet of assembly uses

Project Parking Demand

Art Galley—Retail Trade (3,337 gross sq ft): Exempt

Multi-Family Dwelling Units:

- Unit 201: 992 square feet—1 parking space
- Unit 202: 1,914 square feet—1 parking space
- Unit 301: 2,805 square feet—2 parking spaces

Total Parking Demand:

5 Parking Spaces

Proposed

The applicant has provided 4 parking spaces—1 covered parking space, a single-car parking garage, and a tandem-stall parking garage—accessed from the alley.

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES
<p>Finding: <u>Required:</u> 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.</p> <p><u>Proposed:</u> 1 bike rack accommodating two bicycles is provided on site in the alcove along the alleyway.</p>	

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES
<p>Finding: The master signage plan is specified on sheet A-321. The applicant has proposed one wall sign for the art gallery. The sign has steel plate backing with raise bronze lettering and is proposed to be recessed into the stone wall by the art gallery entrance along 2nd Street. Pursuant to KMC §17.127.050, 1 square foot of signage for every 3 linear feet of street frontage (not to exceed 60 feet) is permitted. Based on the 45-foot lot width of the</p>	

subject property, the maximum permitted wall sign area is 15 feet. The proposed wall sign has a total area of 1.36 square feet.

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
<p>Finding: The exterior lighting plan is provided on sheets A-511 & A-512. The exterior lighting fixtures include recessed downlights, path lights, and wall sconces. All exterior lighting is compliant with KMC §17.132.030.H1 as the three fixtures are full cutoff with the light source fully shielded. The light sources used for all three fixtures have a color temperature of 2700 Kelvin, which complies with KMC §17.132.030.A. The photometric study for the on-site exterior lighting shows minimal light trespass along the alley. The light trespass over the west property line along the alley ranges from 0.1 to a maximum of 0.5 footcandles. The light trespass along the alley is consistent with the city’s standards for right-of-way lighting, which requires that the footcandles illuminating the sidewalk shall not exceed an average of 0.2 footcandles and shall not exceed 5 footcandles.</p>	

Attachment D

Design Review Standards Evaluation



140 WEST 2nd DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #4
<p>Finding: The project is located at the southeast corner of 2nd Street and the block 59 alleyway. As shown on sheet C1.10 of the project plans, the alley is proposed to be graded and resurfaced with asphalt. Alley drainage improvements include the installation of a new drywell and catch basin. All improvements to the right-of-way will at the expense of the applicant.</p> <p>The City Engineer has conducted a preliminary review of the project plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #4
<p>Finding: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #4.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new 8-foot-wide sidewalk along 2nd Street</p>	

17.96.060.B.2 - Sidewalks	Conformance
<p><i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i></p>	<p>YES Condition #4</p>
<p>Finding: The applicant has proposed installing a new 8-foot-wide, concrete sidewalk along 2nd Street. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.</p> <p>The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	<p>N/A</p>
<p>Finding: Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	<p>YES</p>
<p>Finding: The proposed sidewalk improvements are equal to the length of the frontage along 2nd Street.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	<p>YES</p>
<p>Finding: The new sidewalk will connect to the existing sidewalk along 2nd Street and the pedestrian pathways on the subject private property that lead to the art gallery and residential entryways.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	<p>N/A</p>
<p>Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	<p>YES Condition #4</p>
<p>Finding: On-site stormwater drainage will be directed through internal roof drains to on-site drywells. The drainage improvements are specified on sheet C1.10 of the project plans. All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer.</p> <p>Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	<p>YES Condition #4</p>
<p>Finding: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along 2nd Street. The drainage improvements are shown on Sheet C1.10 of the project plans. All drainage improvements are required to be constructed City standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #4
<p>Finding: The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
<p>Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.</p> <p>Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: Sheet C1.10 shows the location of the gas and electrical meters. The gas meters are screened from public view in an alcove along the alleyway. The electrical meters are installed on the west side of wall of the building within the covered parking stall accessed along the alley. No new transformer is required to serve the project.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: The proposed exterior materials include a regionally-sourced Oakley stone, Accoya resawn timber wood-siding with light brown and gray color tones, dark brown stucco, natural wood-toned soffits. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is not listed as a historical or cultural landmark on the city of Ketchum’s Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is developed with an existing building that was originally is proposed to be demolished.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: The primary building entrances are well defined and provide unobstructed access to the sidewalk.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: The building character is defined by the twin stone walls that frame the entrances to the art gallery and orient towards the corner of 2nd Street and the alleyway. These walls are comprised of Oakley stone, which is regionally sourced. Planters are incorporated along the second- and third-floor decks, which soften the building malls. Glazing is incorporated at the building corner, which provides a sense of transparency and lightness.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses an integrated palette of high-quality exterior materials. The dark bronze steel sign with light bronze lettering matches the earthtone, natural colors of the stone and wood exterior materials.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: The project features raised dark bronze steel planters and outdoor built-in benches comprised of wood and steel. The landscaping and seating matches and complements the principal building.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p>Finding: The building modulates horizontally and vertically through steps in the vertical wall plane, the setback of the third floor, and the erosion of building mass at the corner of 2nd Street and the alley. The coupling of wall-plane variations with changes in exterior materials enhances the effectiveness of the building modulation and provides visual interest that animates the façades along 2nd Street and the alley.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p>Finding: The subject property is an existing nonconforming lot with substandard width and size. The lot is 45 feet wide and has a total area of 4,946 square feet. Blocks within Ketchum’s original townsite were historically platted into 55-foot-wide lots oriented towards avenue rights-of-way that run north to south with rear property lines along alleyways. Unlike these</p>	

historically platted townsite lots, the nonconforming subject property orients towards the corner of 2nd Street and the Block 59 alleyway.

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES Condition #3
<p>Finding: Sheet A-201 of the project plans shows the trash room serving the mixed-use development is accessed from the covered parking area and the art gallery. The garbage disposal area contains four trash bins. Garbage disposal areas in new downtown developments are encouraged to utilize a consolidated dumpster so that individual trash bins are not left lingering within the public right-of-way after Clear Creek Disposal service. Trash bins may be acceptable provided that the property owner maintains the special service provided by Clear Creek Disposal to transport the bins to and from the garbage disposal room. Pursuant to condition of approval no. 3, “The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-201 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the owner must provide evidence of similar transport services.”</p> <p>No satellite receivers are proposed to be installed for the project.</p>	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<p>Finding: All flat roof elements include internal drains routed to drywells. The recessed building entrances and flat roof elements provide weather protection to pedestrians entering/exiting the art gallery/residential units.</p>	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<p>Finding: The new sidewalk will connect to the existing concrete sidewalks along 2nd Street. The proposed sidewalk connects to pathways on the project site providing safe pedestrian access to and around the building.</p>	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. All projecting flat roof elements terminate at the property line and no awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Vehicle access to the project is provided along 2nd Street and the alley. All off-street parking is accessed along the alley. The proposed alley access will allow traffic to flow safely within the project and onto 2 nd Street. The new sidewalk will connect to walkways on the subject property providing safe pedestrian access to and around the building.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: No curb cuts or driveway entrances are proposed along 2nd Street. The off-street parking is accessed from the alley.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from 2 nd Street and the alley.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	N/A
Finding: All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES

Finding: The proposed snow storage area is 149 square feet or 32% of the uncovered parking and pedestrian circulation areas.

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES

Finding: The proposed snow storage area is 149 square feet with a minimum dimension of 5 feet.

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A

Finding: N/A—snow storage areas are provided on site.

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES

Finding: Landscaping is provided at each level of the mixed-use building. The ground-level landscape plan along the 2nd Street frontage includes drought-tolerant ornamental grasses and Weeping Norway spruce trees. The upper-level planters will be planted with grasses and flowers.

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES

Finding: The ground-level landscape plan along the 2nd Street frontage includes drought-tolerant ornamental grasses and Weeping Norway spruce trees. The upper-level planters will be planted with grasses and flowers. The landscaping will complement the surrounding neighborhood and beautify the streetscape.

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES

Finding: The ground-level landscape plan along the 2nd Street frontage includes drought-tolerant ornamental grasses and Weeping Norway spruce trees. The upper-level planters will be planted with grasses and flowers.

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES

Finding: Landscaping is provided at each level of the mixed-use building. The ground-level landscape plan along the 2nd Street frontage includes drought-tolerant ornamental grasses and Weeping Norway spruce trees. The upper-level planters will be planted with grasses and flowers. .

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES

Finding: Benches are provided within the on-site open public gathering space along 2nd Street.

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A

Finding: N/A

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A

Finding: N/A

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Condition #4

Finding: The project will construct right-of-way improvements, including a new sidewalk, alley asphalt, drainage facilities, streetlights, in accordance with city standards. The City Engineer, Streets Department, and Planning Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	N/A

Finding: N/A no street trees are proposed.

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	YES Condition #4

Finding: The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES

Finding: The materials and detailing along the front 2nd Street façade wrap around the building corners and extend the length of the alley frontage, a portion of the rear south façade, and the visible portion of the east side wall.

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront</i>	YES

<i>windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	
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Finding: As noted in the applicant’s narrative response to the Design Review standards, “Nearly 40% of the length of the West Second Street façade at the ground level is comprised of clear glass extending from the floor to a height of 11 or 12-feet. A landscape zone is provided in the setback area between the sidewalk and building comprised of native and drought tolerant ground cover, ornamental grasses, and weeping Norway spruce trees.”

17.96.070.B.3 - Architectural	Conformance
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<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
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Finding: As noted in the applicant’s narrative response to the Design Review standards, “Nearly 40% of the length of the West Second Street façade at the ground level is comprised of clear glass extending from the floor to a height of 11 or 12-feet. A landscape zone is provided in the setback area between the sidewalk and building comprised of native and drought tolerant ground cover, ornamental grasses, and weeping Norway spruce trees.”

17.96.070.B.4 - Architectural	Conformance
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<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
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Finding: The flat roofs, overhangs, and natural wood soffit are compatible with the overall style and character of the proposed mixed-use building. The roofs are comprised of non-reflective membranes covered with stone ballast.

17.96.070.B.5 - Architectural	Conformance
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<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	N/A
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Finding: The project does not include pitched roofs.

17.96.070.B.6 - Architectural	Conformance
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<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
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Finding: N/A all roof overhangs are contained on the subject property.

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES Condition #3
Finding: Sheet A-201 of the project plans shows the trash room serving the mixed-use development is accessed from the covered parking area and the art gallery. The garbage disposal area contains four trash bins. Garbage disposal areas in new downtown developments are encouraged to utilize a consolidated dumpster so that individual trash bins are not left lingering within the public right-of-way after Clear Creek Disposal service. Trash bins may be acceptable provided that the property owner maintains the special service provided by Clear Creek Disposal to transport the bins to and from the garbage disposal room. Pursuant to condition of approval no. 3, “The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-201 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal’s special services are discontinued in the future, the owner must provide evidence of similar transport services.”	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
Finding: Roof-mounted mechanical and electrical equipment will be fully screened by black perforated steel panels. The screening panels are compatible with the project’s steel elements. All ground-level electrical and mechanical equipment is screened from the public view along the alley.	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	YES

Finding: The demolition plan on sheet C0.90 shows one tree that is proposed to be removed from the subject property. All other trees proposed to be removed are within the adjacent public right-of-way along the alley. The Weeping Norway spruce trees shown on the landscape plan satisfy the replacement tree requirement.

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	N/A
Finding: N/A—no trees are proposed in courtyard plazas or within pedestrian walkways.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	YES
Finding: The City Arborist has approved the Weeping Norway spruce trees that satisfies the requirement to replace the one tree that is proposed to be removed from the project site.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	N/A
Finding: N/A. No surface parking lot is proposed.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: N/A. The project does not include a surface parking lot.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no surface parking lots are proposed for the project.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: One bike rack is required for the proposed development. The project’s parking demand is four spaces. One bike rack is required for the development. The project proposes to install one bike rack, accommodating two bicycles, adjacent to the entrance to the building along the alley.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The project proposes to install one bike rack, accommodating two bicycles, adjacent to the entrance to the building along the alley.	