



Planning & Zoning Commission Regular Meeting AGENDA

Monday, January 13, 2020
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

SITE VISITS

1. 4:00 PM - SITE VISIT - Swan Streambank Alteration: 401 Northwood Way
2. 4:15 PM - SITE VISIT - My Sun Valley Home Design Review and CUP: 120 Northwood Way
3. 4:30 PM - SITE VISIT – City of Ketchum Fire Station Pre-Application Design Review - Saddle Road (adjacent to the south of 101 E. Park Circle)
4. 4:45 PM - SITE VISIT - Dean LI Conditional Use Permit: 471 E 10th St., Unit B2
5. 5:00 PM - SITE VISIT - Duval LI Conditional Use Permit: 491 E 10th St., Unit A17
6. 5:15 PM - SITE VISIT - 4th & Main Mixed-Use Building Pre-Application Design Review: Fourth and Main Streets, Northeast corner

CALL TO ORDER

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

PUBLIC COMMENT - Communications from the public for items not on the agenda.

CONSENT CALENDAR—ACTION ITEMS

7. [**ACTION - Minutes of December 9, 2019**](#)
8. [**ACTION - Gyurkey - North Town Center Conditional Use Permit Findings of Fact and Conclusions of Law, and Decision**](#)
9. [**ACTION – 771 E 5th Street \(Bierbaum\) Accessory Building Mountain Overlay Design Review Findings of Fact, Conclusions of Law, and Decision.**](#)

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

10. [**ACTION - Dean LI Residential Conditional Use Permit: 471 E 10th St, Unit B2**](#) (Tenth St Light Industrial Complex Bldg B Unit 2) The Commission will consider and take action on a Conditional Use application for a work/live unit submitted by property owners Tina Dean and Ryan Dean proposing a work/live unit.
11. [**ACTION - Duval LI Residential Conditional Use Permit: 491 E 10th St, Unit A17**](#) (Tenth St Light Industrial Complex Bldg A Unit 17) The Commission will consider and take action on a Conditional Use application for a work/live unit submitted by property owner Jon-Kristian A. Duval proposing a work/live unit.
12. [**ACTION – City of Ketchum Fire Station Pre-Application Design Review: Saddle Road**](#) (adjacent to the south of 101 E. Park Circle) The Commission will consider and give feedback on the proposed design of the new fire station.
13. [**ACTION - 4th and Main Mixed-Use Building Pre-Application Design Review: Main and 4th Street**](#) (Lots 1, 2, 3, and 4, Block 5, Ketchum Townsite) The Commission will consider and give feedback on the proposed design of a new four-story, 59,130 gross sq ft mixed-use building, which will include an underground parking garage, retail space on the first floor, and community housing units and market rate condominium dwelling units on the second, third, and fourth levels.
14. [**ACTION - My Sun Valley Home Mixed-Use Building Design Review: 120 Northwood Way**](#) (Northwood Light Industrial Park, Lot 8) The Commission will consider and take action on a Design

Review Application submitted by Don Stamp on behalf of property owners Cory and Amber Black for a new three-story 9,822 square foot mixed-use building, which will include offices, a laundry facility, and storage for My Sun Valley Home Property Services as well as three employee housing studio units on the third level.

15. **ACTION - My Sun Valley Home Mixed-Use Building Conditional Use Permit: 120 Northwood Way** (Northwood Light Industrial Park, Lot 8) The Commission will consider and take action on a Conditional Use Permit Application submitted by property owners Cory and Amber Black for three (3) new employee housing units on the third floor of the new My Sun Valley Home Mixed-Use Building located in the Light Industrial Number 2 (LI-2) Zoning District.
16. **ACTION - Swan Residence Streambank Alteration: 401 Northwood Way** (Chateaux of Northwood, Lot 12) The Commissioner will consider and take action on a floodplain development application submitted by property owner Sandra Swan proposing subgrade installation of a geogrid to be located within the 1% annual chance floodplain (Special Flood Hazard Area) but outside of the 25' riparian zone. The subject property is zoned GR-L with floodplain, floodway, and waterways design review overlays.

STAFF AND COMMISSION COMMUNICATIONS (Planning & Zoning Commission Deliberation, Public Comment may be taken)—ACTION ITEMS

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning & Zoning Commission Regular Meeting MINUTES

Monday, December 09, 2019
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

SITE VISITS

1. **4:15 PM - SITE VISIT - My Sun Valley Home Mixed-Use Building Pre-Design Review: 120 Northwood Way** (Northwood Light Industrial Park, Lot 8)
2. **4:45 PM - SITE VISIT - Gyurkey - North Town Center Conditional Use Permit: 911 N Main St.** (Ketchum AM, Lot 5A, Block 30)
3. **5:00 PM - SITE VISIT - Parker - West Ketchum Townhomes Pre-Design Review: 150, 152, 156 Bird Dr.** (Bavarian Village Subdivision, Lots 5A through 8A)
4. **5:15 PM - SITE VISIT - Bierbaum ADU Mountain Overlay Design Review: 771 E. 5th Street** (Lot 4A, Kinderhorn Sub.)

CALL TO ORDER

5. **Call to Order** at 5:30 PM at City Hall, 480 N. East Ave., Ketchum, Idaho

The meeting was called to order at 5:30 PM by Chairman Neil Morrow after site visits at 120 Northwood Way; 911 N Main St; 150, 152, and 156 Bird Dr.; and 771 E 5th Street.

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

There were no ex parte disclosures.

PUBLIC COMMENT - Communications from the public for items not on the agenda.

There were no public comments for items not on the agenda.

CONSENT CALENDAR—ACTION ITEMS

6. **ACTION - Minutes of November 12, 2019**

Motion to approve the minutes of November 12, 2019.

Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter

Voting Abstaining: Commissioner Cosgrove

7. **ACTION - Scott Glenn Acting Studio CUP P19-120 Findings of Fact, Conclusions of Law, and Decision**

Staff confirmed that access to the ground from the egress window is not required. All other Fire Code requirements have been met.

Motion to approve the Findings of Fact and Conclusions of Law for the Scott Glenn Acting Studio and authorize the Chair to sign the Findings.

Motion made by Vice-Chairman Mead, Seconded by Commissioner Carter.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter

Voting Abstaining: Commissioner Cosgrove

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

- 8. **ACTION - Far and Away Adventures Conditional Use Permit Extension and Amendment: 145 Northwood Way** (Horn Industrial Condominium Unit 2, Ketchum, Idaho) The Commission will consider and take action on a Conditional Use Permit Extension and Amendment requested by the applicant.

Planner Abby Rivin gave the background for the amendment to the original Conditional Use Permit and the requested extension. With the change to the Zoning Code allowing larger dwelling units, the applicant asked to increase the size of the first unit to just over 1,000 square feet and the second unit to just under 800 square feet. A Building Permit application for the revised plans had been received by the Planning and Building Department. Commissioner Cosgrove asked if the extension would affect the CUP and Planner Rivin indicated it would not.

Chairman Morrow opened the floor to Public Comment. There was no comment and the comments were closed.

Vice-Chair Mead and Commissioner Carter were in favor. Commissioner Cosgrove agreed.

Motion to approve the Conditional Use Permit Extension and Amendment for Far and Away Adventures and authorize the Chair to sign the Findings of Fact.

*Motion made by Vice-Chairman Mead, Seconded by Commissioner Cosgrove.
 Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove*

- 9. **ACTION - Gyurkey - North Town Center Conditional Use Permit: 911 N Main St.** (Ketchum AM Lot 5A, Block 30) The Commission will consider and take action on a Conditional Use Permit submitted by Nick and Kathleen Gyurkey for a Work/Live space in the Light Industrial -1 Zone.

Director Gaeddert gave the background for the application. Vice-Chair Mead asked about the definition of *ground floor* when there are two sides at of a building on different street levels. Director Gaeddert discussed the contributing factors and stated it was up to the Commission's interpretation. Commissioner Cosgrove asked if there were any other units like this and was told there were not. Chair Morrow expressed that the entrance on the lower Highway 75 side was still a first floor. There was a discussion of access and egress between the lower and upper floors.

Kathy Gyurkey, applicant, stated the other units are entirely commercial spaces, but this unit has always been a residential unit.

Chair Morrow opened the floor to Public Comment. There was no comment and the comments were closed.

Commissioner Cosgrove felt since the current use was not compliant, the CUP could not be approved. Chair Morrow suggested if the main entrance was on 10th Street, it might be considered compliant, with the residence on the lower 10th Street side and the commercial space on the upper Highway 75 side. He suggested the applicant work with staff to find a solution.

Chair Morrow opened the floor to Public Comment. There was no comment and the comments were closed.

Vice-Chair Mead expressed this unit has a residence on the ground floor and therefore not compliant with the Zoning Code. Director Gaeddert suggested the applicant could return at the January Meeting with alternatives.

Motion to deny the Gyurkey / Town Center Conditional Use Permit for a residential unit in the LI on the ground floor.

*Motion made by Vice-Chairman Mead, Seconded by Commissioner Cosgrove.
Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove*

- 10. ACTION - My Sun Valley Home Mixed-Use Building Pre-Design Review: 120 Northwood Way (Northwood Light Industrial Park, Lot 8) The Commission will consider and take action on a Pre-Design Review Application submitted by Don Stamp on behalf of property owners Cory and Amber Black for a new three-story 9,822 square foot mixed-use building which will include three (3) employee housing units on the third floor.**

Planner Abby Rivin introduced the Pre-Design Review. The project was presented by Don Stamp, architect for the applicant. The project included offices, storage area, shop space, conference room, parking for 13-16 vehicles, screened trash, and three (3) residential units on the third floor.

Vice- Chair Mead asked about the exterior materials on the south side and expressed the desire to see some differentiation to the facade on that side. Commissioner Carter asked about the housing. Commissioner Cosgrove asked about employee vs housing parking spaces. Stamp indicated there are 13-16 parking spaces. Chair Morrow asked for the spaces to be labeled as to employee and housing uses. He liked the overall design.

Chair Morrow opened the floor to Public Comment. There was no comment and the comments were closed.

Vice-Chair Mead liked the design of the building and materials pallet. Commissioner Carter appreciated the building complying with the code and liked the overall design.

Motion to advance the My Sun Valley Home Pre-Design Review to full Design Review.

*Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead.
Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove*

- 11. ACTION - Parker - West KetchumTownhomes Pre-Design Review: 150, 152, 156 Bird Dr. (Bavarian Village Subdivision, Lots 5A, 6A, 7A, and 8A) The Commission will consider and take action on a Pre-Design Review Application submitted by Bliss Architecture on behalf of owners West Ketchum Residences, LLC. for a new townhome development comprised of five two-story buildings each with two townhome units accessed from a shared private roadway with associated common area and site improvements.**

Planner Rivin introduced the project. Errin Bliss, architect, gave the details of the project. There are 5 lots with two (2) duplexes per lot, with each duplex containing 2,700 square feet of living space.

Vice-Chair Mead asked about the undulation of the units. Bliss replied it was for views, natural light, and privacy. It has a private driveway which dead-ends but has turn-around for fire apparatus. Commissioner Cosgrove liked the project. Commissioner Carter liked the project and was in favor of moving forward.

Chair Morrow opened the floor to Public Comment.

Cheryl Concannon, neighbor, asked how adjoining lots would be developed (they would face Rember St.), thought it would be an asset to the area, but was concerned with the modern design of the duplexes.

There was no further comment and Public Comment was closed.

Motion to advance the Parker-West Ketchum Townhomes Pre-Design Review to full design review.

Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead. Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove

12. ACTION - Bierbaum ADU Mountain Overlay Design Review: 771 E. 5th St. (Lot 4A, Kinderhorn Sub.)

The Commission will consider and take action on an application for a Mountain Overlay Design Review submitted by Linda Haavik of Haavik Consulting on behalf of Benjamin and Annabelle Bierbaum for a 2,127 square foot Accessory Building that will serve as a private art studio.

Planner Abby Rivin gave the background for the project. Linda Haavik, consultant for the applicants, gave the details of the studio project which includes a bathroom and loft. It is not visible from any public roadway. There was an amendment to the snow-storage plan which was presented to the Commission and Staff. An excessive amount of snow storage had been proposed which was now reduced in size.

Chair Morrow opened the floor to Public Comment.

Ben Worst, lawyer for two of the neighbors, expressed objections to the project, including concern about drainage from the Bierbaums' lot to the adjoining property. The neighbors were asking for the dry well to be relocated and to close the notch in the wall above the neighbor's property. In addition, the size of the building at 2100 sq ft is oversized and an art studio is not an allowed use in the AF Zone. The neighbor also asked for the prohibition of any future gate across the easement to her property. There was a concern of egress through the property for the neighbor, during and after construction, and parking spaces indicated on the plans outside of the property lines. There was no Mountain Overlay Design Review for the wall and changes of contour to the lot.

Linda Haavik, rebutted that the wall does define the lot. She stated that the ADU is allowed within the AF Zone. There were no future plans for obstruction or gating of the access to the neighboring property. She did not think the Commission has the authority to prohibit a gate in the AF Zone.

Tom Dabney, architect for the applicants, addressed the dry well and wall.

Carter Ramsey indicated the location of the dry well and willingness to mitigate the drainage to the neighboring property.

Public Comments were closed.

Vice-Chair Mead asked for assurance that the art studio would not become a dwelling unit. Planner Rivin indicated the final inspection would verify the use. The plat note indicates it cannot be converted to a dwelling unit in the future. Commissioner Carter asked staff about the lot being in two zones and how it is evaluated. Rivin said it had to comply with both districts. Commissioner Cosgrove appreciated the applicant's team's willingness to co-operate. Ben Worst reiterated the wall could not be classified as a fence and needed Mountain Overlay Design Review since the contours have been changed.

Chair Morrow asked if the wall can be addressed with this Design Review. Director Gaeddert said this hearing is only on the studio. Linda Haavik reinforced this hearing was for approval of the studio, not the dry well and retaining wall. Chair Morrow would be willing to look at the project again. Commissioner Cosgrove was in favor of revisiting the project to consider the studio ADU and the retaining wall. Commissioner Carter asked Ben Worst if the retaining wall was the reason for his objections to the Mountain Overlay Design Review. Worst replied it was a matter of process being followed correctly and questioned why the project was broken down into parts and not presented as a whole.

Chair Morrow asked about the tree removal. Staff indicated new landscaping was included in the Design Review and could be a condition of approval of the Design Review. Commissioner Carter asked Worst for the concerns of his clients. He replied the concern was the use of the ADU, that an art studio was not an approved use; that the ADU is too large for the size of the property; and the process of a Design Review including the wall. Haavik reported the trees that were removed were unhealthy, unsightly, and needed to be replaced.

Director Gaeddert added that the City Engineer would be reviewing the site for drainage. Commissioner Carter wanted to be sure the drainage was addressed in the Conditions of Approval. Vice-Chair Mead also had no problem with the design as long as the drainage was addressed. He also wanted assurance that it could not become a dwelling unit in the future. Commissioner Carter asked about how to prevent the use of the structure as a dwelling unit. Rivin replied it could be a plat note. Chair Morrow asked about the trees and privacy screening. Carter Ramsey indicated the trees that were removed has been topped and were not healthy. New landscaping and trees will be installed.

Motion to approve the Bierbaum Mountain Overlay Design Review for a proposed Accessory Building located at 771 E. 5th St. subject to recommended conditions.

Motion made by Commissioner Cosgrove, Seconded by Vice-Chairman Mead. Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove

13. ACTION - Election of Chair and Vice-Chair for the year 2020**Motion to re-elect Mead as Vice-Chair for the year 2020.**

Motion made by Commissioner Carter, Seconded by Chairman Morrow.

Voting Yea: Chairman Morrow, Commissioner Carter, Commissioner Cosgrove

Voting Abstaining: Vice-Chairman Mead

Motion to re-elect Neil Morrow as Chairperson for the year 2020.

Motion made by Commissioner Carter, Seconded by Commissioner Cosgrove.

Voting Yea: Chairman Morrow, Commissioner Carter, Commissioner Cosgrove, Vice-Chairman Mead

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

The Gateway Hotel project had made changes to their design based on Council input and will be before the City Council again on January 21, 2020.

The January PZ meeting was scheduled to include:

Pre-Design Review for the Ketchum Fire Station

Pre-Design Review for the "Hot Dog Hill" mixed-use project

Two (2) CUP applications for dwelling units in the LI.

Director Gaeddert congratulated the Commission for the work done on the Hotel at the PZ level.

A potential special PZ meeting may be held on January 24th, 2020.

Bariteau Hotel project to restart construction this year and be completed by December 2021

New building at the corner of Walnut and 4th, (Carr Project) to be started this year.

Commissioner Carter will be unable to attend the January Meeting.

ADJOURNMENT**Motion to adjourn at 8:07 PM.**

Motion made by Chairman Morrow, Seconded by Vice-Chairman Mead.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove

Neil Morrow
Chairperson

IN RE:)
)
 North Town Center Residential) **KETCHUM PLANNING AND ZONING**
 Conditional Use Permit) **COMMISSION - FINDINGS OF FACT,**
) **CONCLUSIONS OF LAW AND DECISION**
)
 File Number: P19-121)

BACKGROUND FACTS

OWNER: Nick & Kathleen Gyurkey

REQUEST: Conditional Use Permit (CUP) for residential unit in the Light Industrial-Number One (LI-1) zoning district

LOCATION: Amended Lot 5A, Block 30, Ketchum Townsite (911 N. Main Street)

ZONING: Light Industrial-Number One (LI-1) zoning district

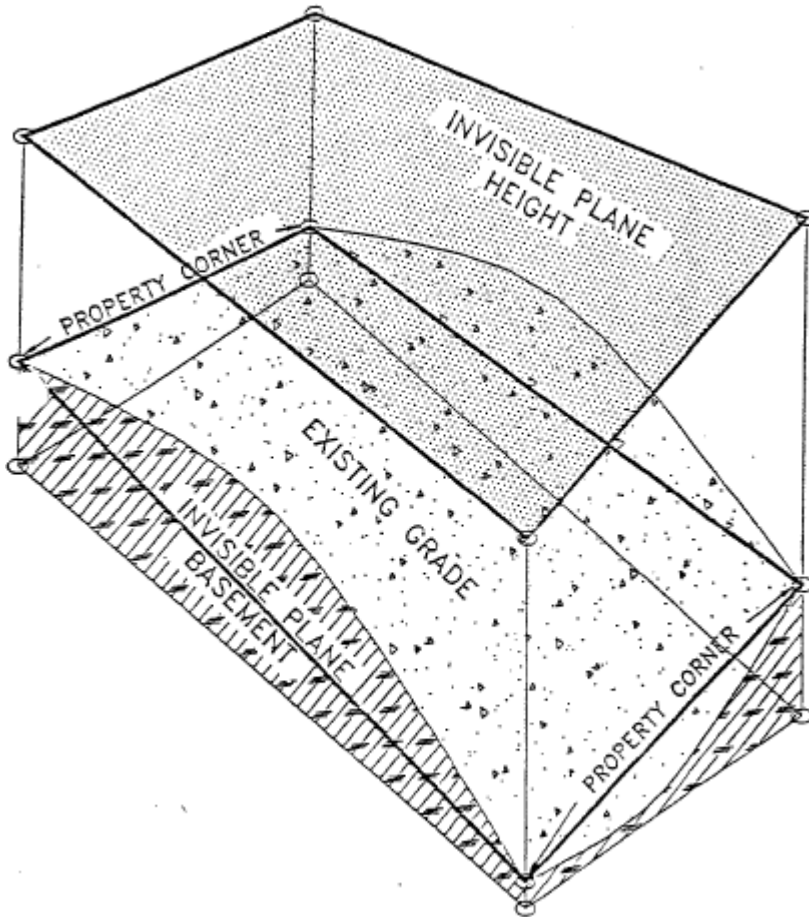
NOTICE: Notice of the Planning and Zoning Commission December 9, 2019 public hearing on subject application was mailed to property owners within a 300-foot radius and was published in the Idaho Mountain Express on November 20, 2019. Notice was posted at the subject location and on the city website on December 2, 2019. As of the publication of this Staff Report, the Planning & Building Department has received no public comment regarding this application.

GENERAL FINDINGS OF FACT

1. Applicant received a cease and desist order from the City Attorney on October 3, 2019 and has applied for a Conditional Use Permit to bring into compliance the existing non-permitted residential apartment of approximately 700 square feet within the LI-1 Zoning District.
2. Residential units are conditionally permitted in the light Industrial zoning districts subject to the standards of evaluation set forth in Ketchum Municipal Code (KMC) §17.124.090.A. as well as §17.116.030.
3. The proposed residential unit is accessed from Highway 75. A garage/light industrial unit below is accessed from 10th Street.
4. Residential units within the LI-1 are conditionally allowed on the second floor of buildings. Due to the slope of the lot, the Commission visited the property and reviewed the application submittals, photographs, and the staff report to determine if the proposed unit is a ground floor or second floor unit. Due to the age of the building, staff was unable to provide building plans. The applicant was not able to furnish building plans when requested by staff. At its public hearing of December 9, 2019, the Commission made the determination that the unit is a ground floor unit and unanimously denied the application.
5. The building in which subject unit is located consists of a first floor with basement spaces.
6. The Ketchum Zoning Code Title 17, Chapter 17.08 defines basement as follows:

BASEMENT: That portion of the lowest floor(s) of a building below the invisible plane. The basement invisible plane is created by measuring the finished grade elevation at four (4) corners of a lot and connecting each corner with a line around the perimeter of the lot. The city shall establish finished grade within the right of way of the alley and at the back of the sidewalk (see illustration A on file in the office of the city clerk).

Illustration A:



Consistent with Illustration A and city definitions, as set forth in KMC §17.08.020, the 10th Street garage/light industrial unit is a basement.

Consistent with Illustration A and city definitions, as set forth in KMC §17.08.020, the proposed residential unit accessed from Highway 75 is on the ground floor:

GROUND FLOOR: The floor of a building that is at or nearest to the level of the ground around the building; also referred to as first floor or ground level.

- 7. The Commission found that the proposed residential unit occupies the ground floor and, as such, does not comply with KMC §17.124.090.A (1).

EVALUATION STANDARDS

17.116.030 CONDITIONAL USE PERMIT CRITERIA:

1. A conditional use permit shall be granted by the Commission only if the applicant demonstrates that:

A. The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.

Findings: Unlike other residential units in the Light Industrial (LI) areas, this residential unit will have its main entrance on the same floor as adjacent light industrial uses. The majority of other residential units in the LI are on the floor above the LI uses, possibly sharing common walls or entrances with administrative offices. The other uses within this building include, among others, the Wood River Lock shop.

After reviewing the application materials, staff report, and conducting a duly noticed public hearing, the Commission found that the proposed CUP does not conform to the following zoning code provisions:

Section 17.124.090 (A) (1): Dwelling units shall not occupy the ground floor.
Section 17.124.090 (A) (5) (c3): Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property.

Conclusion: The Commission found that the application does not meet this standard.

B. The conditional use will not materially endanger the health, safety and welfare of the community.

Findings: The one bedroom residential unit does not appear to materially endanger the health, safety, and welfare of the community. The Commission cited concerns about potential conflicts between the residential use and the adjacent light industrial uses, but were generally supportive of residential use in the LI, when it meets code requirements.

Conclusion: The Commission found that if the unit met zoning code requirements, this standard could be met.

C. The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.

Findings: A wide curb cut currently exists on the property with parking spaces for the units. The Commission did not find that an additional traffic concern would be caused by the addition of this residential unit.

Conclusion: Standard is met.

D. The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.

Findings: Emergency and essential services are adequate to service the building and residential use.

Conclusion: Standard is met.

E. The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this Section.

Findings: As noted in the analysis pertaining to KMC Sections 17.116.030(A)(1) and (5), the conditional use conflicts with the basic purposes of the Light Industrial Residential Use section. The application is not in conformance with the City Comprehensive Plan because the Commission found that the unit is a ground floor unit, not a second floor unit and, as such, is in conflict with Comprehensive Plan Policy E-2(e), which states the live/work opportunities should be supported that adhere to related land use standards.

Conclusion: The Commission found the standard is not met due to the Commission finding that the proposed unit is a ground floor unit.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17.
3. The Planning and Zoning Commission has authority to hear the applicant’s Conditional Use Permit application pursuant to Idaho Code Section 67-6512 of the Local Land Use Planning Act and Chapters 17.116 and 17.72 of Ketchum Zoning Code Title 17.
4. The Commission’s December 9, 2019 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512.
5. The Commission found that the application does not comply with Ketchum Zoning Code Title

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission unanimously **denies** this Conditional Use Permit application this 9th day of December 2019. The project does not comply with either CUP standard of evaluation 17.116.030(A) or (E). Notably, the Commission finds the characteristics of the conditional use will be unreasonably incompatible with the types of uses permitted in the applicable zoning district and will conflict with the policies of the Comprehensive Plan and the basic purposes of this Section. The proposed CUP does not conform to KMC §17.124.090 (A)(1) as the dwelling unit, as proposed, would occupy the ground floor, which is prohibited. Further the means of access to the residential portion of the unit, in contradiction to KMC §17.124.090 (A)(5)(c3) is both prominent and not located to the side or rear of the property. For instance, unlike other residential units in the Light Industrial (LI) areas, this residential unit will have its main entrance on the same floor as adjacent light industrial uses. The information provided in the application and staff report proved that the unit was a ground floor unit proposed for residential use.

In order to receive approval for a conditional use permit for residential use in this specific unit, the applicant may choose to pursue one of the following options:

1. Apply to build a second story on the unit.
2. Apply for a zoning text amendment or rezone pursuant to a development agreement.

Findings of Fact **adopted** this 13th day of January 2020.

Neil Morrow, Chair
Planning and Zoning Commission



City of Ketchum
Planning & Building

IN RE:)
)
771 E 5th Street Accessory Building) **KETCHUM PLANNING AND ZONING COMMISSION**
Mountain Overlay Design Review) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**
Date: January 13, 2020) **DECISION**
)
File Number: 19-123)

PROJECT: 771 E 5th Street (Bierbaum) Accessory Building

APPLICATION TYPE: Mountain Overlay Design Review

FILE NUMBER: P19-123

ASSOCIATED DEVELOPMENT APPLICATIONS: Lot Line Shift Application 16-100 & Fence Permit P19-056

PROPERTY OWNER: Benjamin & Annabelle Bierbaum

REPRESENTATIVE: Haavik Consulting, LLC & TND Architects

REQUEST: Mountain Overlay Design Review for a new accessory building

LOCATION: 771 E 5th Street (Kinderhorn Subdivision: Block 1: Lot 4A)

ZONING: Limited Residential (LR) & Agricultural and Forestry (AF)
Zoning Districts

OVERLAY: Mountain Overlay

NOTICE: A public hearing notice was mailed to property owners adjacent to the development site on November 27th, 2019.

Findings Regarding Applications Filed

The subject Mountain Overlay (MO) Design Review is for the development of a new 2,127 sq ft accessory building located at 771 E 5th Street (Kinderhorn Subdivision: Block 1: Lot 4A) and associated site improvements. The proposed two-story accessory building will be utilized as an art studio by the property owners. Through review of the subject application, the Planning & Zoning Commission has found that the retaining wall system as reviewed and approved through Fence Permit Application P19-056 and installed in the summer of 2019 complies with the Mountain Overlay Design Review criteria as specified in Ketchum Municipal Code (KMC) §17.104.070.A. Fence Permit Application P19-056 was reviewed and approved administratively consistent with KMC §17.124.130 and §17.96.010.B6, which authorizes the Administrator to approve minor modifications including the installation the fences, hedges, and walls in overlay districts.

Lot 4A of Kinderhorn Subdivision has an area of 49,150 sq ft and is surrounded to the north by the Kinderhorn Subdivision, to the east by Val D'Sol Condominiums located in the City of Sun Valley, and to the west by the Sunalta Place and Sunnyside Condominiums. Amended Lot 4A consists of former Parcel BB, which is zoned

gricultural and Forestry (AF), and former Lot 4 within the Limited Residential (LR) Zoning District. In 2017, former Parcel BB and Lot 4 were combined in accordance with the Readjustment of Lot Lines Procedure (Lot Line Shift Application File #16-100) as outlined in the Subdivision Regulations (Title 16) of Ketchum Municipal Code (KMC) to form amended Lot 4A recorded as Instrument No. 645775. While the parcels were combined, the associated zoning designations remained the same with former Lot 4 within the LR Zone and former Parcel BB within the AF Zone.

Findings Regarding Kinderhorn Subdivision: Block 1: Lot 4A Subdivision Plat

Plat Note #6 of the amended Kinderhorn Subdivision: Block 1: Lot 4A subdivision states that, “a portion of Lot 4A is located in the Mountain Overlay (MO) District. City of Ketchum Design Review is required for any future development within Lot 4A, pursuant to applicable codes. No development within Lot 4A shall be located in 25% or greater slopes.” With the subject MO Design Review application, the applicant proposes to develop a new accessory building and associated site improvements. The improvements are proposed to be sited within the buildable portion of former Parcel BB to the south of the 25% slope area within the AF Zone. Below the adjacent hillside, the development site is not within a highly visible location from a public vantage point and former Parcel BB contains no rock outcroppings, ridges, or knolls. Former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point.

North of the development site, former Lot 4 contains areas of 25% slope as well as a significant rock outcropping. Irregularly shaped Lot 4A is encumbered by three easements—a 15 ft landscape easement adjacent to Tax Lot 3155, a triangular landscape easement (Instrument No. 499751) adjacent to Val D’Sol Subdivision, and a private driveway and public utility easement extending from 5th Street through the property.

Plat Note #4 of the Kinderhorn Subdivision: Block 1: Lot 4A subdivision states:

The area shown on the plat as “Former Kinderhorn Subdivision Parcel BB” shall have no dwelling unit density except that an accessory dwelling unit and other accessory buildings and uses shall be allowed and located thereon, pursuant to applicable codes; and is intended for the specified access, utility and landscape easements.

Former Lot 4 within the LR Zone is developed with an existing single-family residence, which was constructed in 2003. Existing development on former Lot BB includes a retaining wall system that was constructed in the summer of 2019 (Fence Permit File No. P19-056). The applicant has proposed the development of a new 2,127 sq ft art studio. The total enclosed floor area exceeds the maximum 1,200 sq ft net livable floor area permitted for an accessory dwelling unit pursuant to KMC §17.124.070.B. Containing only a bathroom on the first floor (Sheet A100), the accessory building is not classified as a dwelling unit pursuant to KMC §17.08.020, which requires that accessory dwelling units (ADU) contain a kitchen. While the floor plan does not include the necessary components to be qualified as a dwelling unit, the Planning & Zoning Commission expressed concerns during deliberations that a future remodel may convert the accessory building to a noncompliant ADU exceeding the maximum net livable floor area. Any future remodel proposed for the accessory building shall comply with all applicable standards as specified in Title 17 Zoning Regulations of Ketchum Municipal Code including the maximum unit size permitted for ADUs as specified within KMC §17.124.070.B.

Findings Regarding Accessory Buildings and Uses

Accessory buildings and uses as defined pursuant to KMC §17.08.020 are permitted within the AF Zone (KMC §17.124.020 & KMC §17.12.020).

ACCESSORY BUILDING AND USE: A subordinate use of a building, other structure or tract of land, or subordinate building or other structure:

A. Which is clearly incidental to the use of principal building, other structure or use of land;

- B. Which is customary in connection with the principal building, other structure or use of land; and*
- C. Which is ordinarily located on the same lot with the principal building, other structure or use of land (Ketchum Municipal Code §17.08.020).*

In addition to the accessory use types listed within the District Use Matrix, additional requirements for specific uses are included in Chapter 17.124 Development Standards of Ketchum Municipal Code. KMC §17.124.020 includes a non-exclusive list of buildings and uses that may be permitted as accessory to principal buildings and uses including garages and sheds. Many of the buildings and uses listed in KMC §17.124.020 are not specified within the District Use Matrix (KMC §17.12.020). For example, detached garages are not listed within the District Use Matrix but have been permitted as accessory uses to single-family residences in residential neighborhoods throughout Ketchum.

The Planning & Zoning Commission upon hearing a description of the uses proposed within the accessory building as represented by the applicant and upon reviewing the site drawings finds that the proposal meets the definitional and development standards for an accessory building and use as specified in KMC §17.12.020 and §17.124.020. The Planning & Zoning Commission has qualified the artist studio as a permitted accessory use to the existing single-family residence as the building is similar to the types of permitted buildings and uses as listed within KMC §17.124.020. Furthermore, an accessory building was contemplated as an approved use for Former Parcel BB as referenced in Plat Note #4 of the Kinderhorn Subdivision: Block1: Lot 4A amended subdivision plat. Additionally, the art studio may also be defined as a home occupation, which is permitted as an accessory use in the AF Zone as specified in the District Use Matrix. The art studio meets all applicable standards for home occupations as specified within KMC §17.124.030 as the use will be carried on only by the inhabitants living on the lot, is clearly incidental and secondary to the use of the dwelling, and does not negatively impact the surrounding neighborhood.

Findings Regarding the Mountain Overlay Zoning District

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, to protect natural land features and wildlife habitat, minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprints away from higher elevations.

The project fulfills the intent of the Mountain Overlay Zoning District to minimize the visual impact of building sites and to preserve hills and ridgelines by siting the accessory building at the lowest elevation of Lot 4A at the base of the hillside. The total building coverage for the proposed accessory building 3.44%. With the addition of the accessory building, total building coverage on Lot 4A will be 7.41% (3,644 sq ft building coverage/49,150 sq ft lot area), which is 13,539 sq ft less than the 35% maximum allowable building coverage permitted in the LR Zone and 1,251 sq ft less than the 10% maximum allowable building coverage permitted in the AF Zone. The maximum height of the proposed accessory building is 29', which is 6' less than the maximum height (35') permitted in the LR and AF Zones.

Findings Regarding Compliance with the 2014 Comprehensive Plan

The lots located in Kinderhorn Subdivision are designated within the Open Space, Parks & Recreation Future Land Use Categories as many of the properties are sited on the hillside and contain slopes greater than 25%. The proposed development site (Former Parcel BB of Amended Lot 4A) at the lowest portion of Kinderhorn Subdivision is relatively flat. The proposed accessory building located at 771 E 5th Street is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

Table 1: Findings Regarding Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Community Design and Neighborhoods	
Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.	Policy CD-2.2 - Mountain Overlay Zone Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.
Policy CD-2.4 Development Designed for Natural Feature Preservation	Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

Table 2: Findings Regarding City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • IF a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. • Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Gates, if installed, are required to be siren activated for emergency vehicle access. • Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. • Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from

burning embers.

- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code including design criteria for private driveways (KMC §12.04.030.L).
- The public right-of-way adjacent to the subject property shall be improved to the City’s right-of-way standards for local-residential street right-of-ways.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for any proposed construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing extending the existing connections to the municipal water and sewer system.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 3, 4, and 5.

Table 3: Findings Regarding Zoning and Dimensional Standards Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Planning & Zoning Commission Findings	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Planning & Zoning Commission Findings
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Planning & Zoning Commission	Required: LR Zone: 9,000 sq ft AF Zone: 10 acres

19			Findings	Existing: Former Lot 4 (LR Zone): 20,000 sq ft Former Parcel BB (AF Zone): 29,195 sq ft Subject Lot 4A is nonconforming to the minimum 10 acre lot area required in the AF Zone, but conforms to the minimum 9,000 sq ft required in the LR Zone. Pursuant to KMC §17.128.010, where an individual lot was held in separate ownership from adjoining properties or was platted in a recorded subdivision approved by the city council prior to April 21, 1966, or was in such a condition at the time the lot was subsequently annexed to the city, or was of legal area and dimensions when held in separate ownership from adjoining properties or when platted in a recorded subdivision, such a lot may be occupied according to the permitted uses provided for the district in which the lot is located, provided the proposed uses, building construction and all other regulations in regard to setbacks, supplemental yard regulations and parking areas are strictly adhered to and complied with.
☒	☐	☐	17.12.030 Planning & Zoning Commission Findings	Building Coverage Permitted: 10% LR Zone: 35% AF Zone: 10% Existing: Single-Family Residence on Former Lot 4 (LR Zone): 10% (1,949 sq ft building coverage/20,000 sq ft lot area) Proposed: Accessory Building on Former Parcel BB (AF Zone): 6% (1,695 sq ft building coverage/29,195 sq ft lot area) Total Single-Family Residence (LR Zone) & Accessory Building (AF Zone): 8% (3,644 sq ft building coverage/49,195 sq ft lot area)
☒	☐	☐	17.12.030 Planning & Zoning Commission Findings	Minimum Building Setbacks Minimum Required Setbacks (AF Zone): Front: 25' Side: 25' Rear: 25' Proposed Accessory Building: Side (W): 25'-2" Side (S): 27'-6"
☒	☐	☐	17.12.030 Planning & Zoning Commission Findings	Building Height Maximum Permitted (AF Zone): 35' Proposed Accessory Building : 29' from existing grade (Sheet A300)
☐	☐	☒	17.125. 030.H Planning & Zoning Commission	Curb Cut Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.

20			Findings	Existing: The proposed accessory building will be accessed from a paver landing area that connects to the existing private driveway and public utility easement (Sheet L100).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.040	Parking Spaces
			Planning & Zoning Commission Findings	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: One-Family Dwelling Units in all applicable zoning districts require 2 parking spaces per dwelling unit. KMC §17.125.050 specifies parking spaces required for primary uses, but not for accessory uses. The proposed studio does not generate additional parking demand. Proposed: The proposed studio is accessory to the primary use of the existing single-family residence. No additional parking spaces are required or proposed.

Table 4: Findings Regarding Mountain Overlay Design Review Standards Analysis

Mountain Overlay Design Review Standards				
EVALUATION STANDARDS: Ketchum Municipal Code § 17.107.070.A				
Compliant			Standards and Planning & Zoning Commission Findings	
Yes	No	N/A	Reference	City Standards and <i>Planning & Zoning Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Planning & Zoning Commission Findings	<i>No ridges or knolls are present on former Parcel BB— the 25% slope area is located to the north within former Lot 4 and the ridge line lies beyond the extent of the rear property line. Below the adjacent hillside, former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point.</i> <i>While the property neighbors the Sun Valley Road (Horsemen’s Center) gateway corridor, the accessory building will not be visible from any public vantage point entering or within the City. Existing development including the Val D’ Sol condominiums within the City of Sun Valley as well as the Sunnyside and Sunalta Place condominiums on Spruce Street will sufficiently screen the accessory building from the Sun Valley Road gateway corridor.</i> <i>Former Parcel BB is located at the southernmost and flattest portion of Kinderhorn Subdivision. Compared to the existing single-family residences to the north on the adjacent hillside, the accessory building has significantly less visual impact. In addition to the adjacent development, the existing and proposed landscaping as indicated on Sheet L102 will provide sufficient screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Planning &	<i>Building, excavation, filling, and vegetation disturbance will not have a</i>

21			Zoning Commission Findings	<i>material visual impact visible from a public vantage point entering into or within the City due to the siting of the building footprint at the lowest elevation of Lot 4A and the flattest portion of Kinderhorn Subdivision.</i>
☒	☐	☐	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Planning & Zoning Commission Findings	<i>No changes are proposed to the existing driveway access. Subject Lot 4A adjoins the east end of 5th Street. From the terminus of the 5th Street ROW, a private driveway and public utility easement bisects Lot 4A.</i> <i>See Table 2 for comment from the Streets and Fire departments. Fire and Streets department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Planning & Zoning Commission Findings	<i>Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Planning & Zoning Commission Findings	<i>No significant rock outcroppings have been identified on former Parcel BB. The rock outcropping indicated on the Kinderhorn Subdivision: Block 1: Lot 4A plat is located at the northernmost portion of the lot and will remain undisturbed.</i>
☒	☐	☐	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Planning & Zoning Commission Findings	<i>The project must comply with the 2012 International Building Code, the 2012 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, Building Department, and Fire Department requirements shall be verified and met prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Planning & Zoning Commission Findings	<i>See Table 2 for comment from the Utilities Department. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Planning & Zoning Commission Findings	<i>As indicated on Sheet L101, the applicant has proposed a combination drywells and catch basins to control drainage on site. Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. The applicant shall submit specifications and details for the drywells and catch basins with the Building Permit application for review and approval by the City Engineer and Streets Department. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
☒	☐	☐	17.104.070.A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.

22				<p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>No new roadway is proposed with the project and the driveway access is existing. Former Parcel BB is located at the southernmost portion of Lot 4A at the base of the adjacent hillside. Fill will be utilized to adjust the grade adjacent to the accessory building, which will be reseeded with native grasses following construction. The applicant has provided a grading plan on Sheet L101 and a landscape plan on Sheet L102 of the Mountain Overlay Design Review submittal included as Attachment B to the Staff Report.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.104.070. A.10</p>	<p>There are no other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>The proposed accessory building is sited within the buildable portion of former Parcel BB to the south of the 25% slope area. Below the adjacent hillside, former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point. The applicant has chosen the most suitable portion of Lot 4A to develop the proposed accessory building.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.104.070. A.11</p>	<p>Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>The existing driveway access remains unchanged with this proposal and does not traverse 25% or greater slopes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.104.070. A.12</p>	<p>Utilities shall be underground.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>All on-site utilities shall be located underground. Existing underground municipal water and sewer connections as well as gas and power will be extended to connect to the new accessory building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.104.070. A.13</p>	<p>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>The limits of disturbance must be established on the construction activity plan submitted with the Building Permit application to be reviewed and approved by the Planning & Building Department prior to issuance of a Building Permit for the project.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.104.070. A.14</p>	<p>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</p>
			<p>Planning & Zoning Commission Findings</p>	<p>N/A as former Parcel BB is located at the lowest elevation of Lot 4A at the base of the adjacent hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.104.070. A.15</p>	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p>
			<p>Planning & Zoning Commission</p>	<p>Pursuant to KMC §17.104.030.B, all properties within Kinderhorn Subdivision are designated as a significant landmark within the City of Ketchum. Staff has not identified any significant landmarks within former Parcel BB. The</p>

Findings

significant rock outcropping within Lot 4A at the northernmost portion of Lot 4A will remain undisturbed with this project.

Table 5: Findings Regarding Design Review Standards Analysis

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and <i>Planning & Zoning Commission Findings</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A as the driveway access is existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A as no changes to the 5th Street ROW contiguous to the property are proposed and the driveway access is existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A as sidewalks are not required or existing in the subject low density residential area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ol style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A</i>

24	<input type="checkbox"/>	<input type="checkbox"/>	<i>Findings</i>	
	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Planning & Zoning Commission Findings</i>	<p>All storm water shall be retained on site. Drainage is proposed to be maintained and controlled through a system of catch basins and drywells.</p> <p>The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Planning & Zoning Commission Findings</i>	<p>The drainage improvements shall span the length of the property line contiguous with the 5th Street ROW. The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project. See above analysis for KMC §17.96.060(C)(1).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Planning & Zoning Commission Findings</i>	<p>The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Planning & Zoning Commission Findings</i>	<p>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Planning & Zoning Commission Findings</i>	<p>The applicant is aware that any service connections to utilities are the sole responsibility of the applicant.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Planning & Zoning Commission Findings</i>	<p>All on-site utilities shall be located underground. Existing municipal water and sewer connections as well as gas and power shall be extended to connect to the new accessory building.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Planning & Zoning Commission Findings</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Planning & Zoning Commission Findings</i>	<p>As indicated on Sheet A-900 of the Design Review submittal, exterior materials include a stucco painted to match the existing residence, black metal fascia and chimney cap, cedar soffit painted black, and aluminum clad windows and doors. Adjacent residential development includes similar exterior materials including stucco, metal, and wood. Staff finds that the project's proposed materials and colors complement the existing single-family residence and the surrounding neighborhood.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Planning & Zoning Commission Findings</i>	<p>The significant rock outcropping is located at the northernmost portion of Lot 4A and will remain undisturbed with this project.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

25			<i>Planning & Zoning Commission Findings</i>	<i>N/A. The accessory building is detached from the adjacent single-family residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A. No sidewalks are located within Kinderhorn Subdivision. The entryway of the accessory building is clearly defined. Doors from the accessory building open to a paver landing, walkway, and patio.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Planning & Zoning Commission Findings</i>	<i>Building elevations are indicated on Sheets A200, A201, and A900 of the MO Design Review submittal and are included as Attachment B to the Staff Report. The façade design includes significant fenestration. The window and door openings as well as the balcony at the north elevation provide variation and relief from the portions of flat stucco façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Planning & Zoning Commission Findings</i>	<i>As noted on Sheet A900 of the MO Design Review submittal included as Attachment B to the Staff Report, the stucco will be painted to match the existing single-family residence on former Lot 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Planning & Zoning Commission Findings</i>	<i>As noted on Sheet A900, the stucco will be painted to match the existing single-family residence. The proposed design includes privacy fences that match the metal finishes of the accessory building including the black metal fascia, chimney cap, and balcony railing. The landscape plan indicated on Sheet L102 will enhance the design of the development and will serve to augment screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Planning & Zoning Commission Findings</i>	<i>The proposed design utilizes fenestration through multiple window and door openings to provide relief to the flat stucco of the front, side, and rear façades. The balcony railing serves as a horizontal element to provide relief to the vertical stucco wall at the north elevation. The contrast between the painted stucco and the black metal finishes enhances visual interest.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A as subject Lot 4A is contiguous to the terminus of the E 5th Street ROW. The building orients towards the existing private driveway access and utility easement, which is contiguous to the terminus of the E 5th Street ROW.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A. No satellite receivers are proposed. This is a residential project that will not have an exterior commercial garbage receptacle that requires screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Planning & Zoning Commission Findings</i>	<i>The applicant has proposed the installation of gutters and downspouts in order to enhance weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Planning & Zoning Commission Findings</i>	<i>The subject property is an infill site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access although there is a multi-use path adjacent to Sun Valley Road. No new pedestrian, equestrian, or bicycle accesses are anticipated or proposed for the subject property,</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A.</i>

26	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Planning & Zoning Commission Findings</i>	<i>The development site is located in a low-traffic residential neighborhood adjacent to the Community Core and traffic is anticipated to flow safely within the project and onto adjacent streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Planning & Zoning Commission Findings</i>	<i>The driveway access remains unchanged with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Planning & Zoning Commission Findings</i>	<i>Unobstructed access to the site is provided from the E 5th Street and the contiguous private driveway and public utility easement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Planning & Zoning Commission Findings</i>	<i>As indicated on the amended snow storage plan presented at the December 9th, 2019 Planning & Zoning Commission Meeting, the applicant has proposed two snow storage areas - 188 sf and 164 sf - outside the driveway and utility easement leaving that unobstructed. In addition, the snow storage area for the accessory building is only needed to clear the entrance to the building. No additional parking space are required or proposed as needing additional snow storage area. The private driveway easement can accommodate 20 feet of width without encroachment by snow storage. City of Ketchum Ordinance No.1146 prohibits the storage of snow or ice from private properties within public rights-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Planning & Zoning Commission Findings</i>	<i>As indicated on the amended snow storage plan presented at the December 9th, 2019 Planning & Zoning Commission Meeting, the applicant has proposed two snow storage areas - 188 sf and 164 sf - outside the driveway and utility easement leaving that unobstructed. In addition, the snow storage area for the accessory building is only needed to clear the entrance to the building. No additional parking space are required or proposed as needing additional snow storage area. The private driveway easement can accommodate 20 feet of width without encroachment by snow storage. City of Ketchum Ordinance No.1146 prohibits the storage of snow or ice from private properties within public rights-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Planning & Zoning Commission Findings</i>	<i>The proposed dimensions of the snow storage areas meet these minimum standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A as snow storage areas have been designated on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Planning & Zoning Commission Findings</i>	<i>The landscape plan is indicated on Sheet L102 of the MO Design Review submittal and included as Attachment B to the Staff Report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Planning & Zoning</i>	<i>The applicant has proposed retaining groupings of existing trees within Lot 4A and</i>

27			<i>Commission Findings</i>	<i>installing two new Colorado Spruce trees. The landscape plan includes a perimeter of shrubs and grasses that will enhance the newly installed retaining wall system. Techny Arborvitae is the common name of the proposed shrub and Foerester's Feather Reed Grass is the common name of the proposed grass. The yard adjacent to the paver patio will be reseeded with a native mix of grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Planning & Zoning Commission Findings</i>	<i>All trees, shrubs, grasses, and perennial shall be drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Planning & Zoning Commission Findings</i>	<i>The landscaping proposed will serve to screen the accessory buildings from the adjacent residential developments and enhance the appearance of the design of the new development by providing visual relief.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Planning & Zoning Commission Findings</i>	<i>N/A. Sidewalks are not required for the project.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the Ordinances and regulations, which Ordinances are codified in the Ketchum City Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Mountain Overlay Design Review Application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
2. The Mountain Overlay Design Review Application is governed under Ketchum Municipal Code Chapters 17.96, 17.104, 17.124, and 17.128.
3. The proposed Mountain Overlay Design Review for the development of a new accessory building meets the standards of approval under Title 17 of KMC subject to conditions of approval.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review application this Monday, December 9th, 2019 subject to the following conditions:

CONDITIONS OF APPROVAL

1. All City Department conditions as described in Table 2, 3, 4, and 5 shall be met. All City Departments shall verify comments, review, and approve the project prior to issuance of a Building Permit for the project.
2. This Mountain Overlay Design Review approval is based on the plans dated November 1, 2019, the amended snow storage plan presented at the December 9th, 2019 Planning & Zoning Commission Meeting, and the retaining wall system plan as indicated on Sheets L1.2, L1.3, and L1.4 associated with Fence Permit Application P19-056. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. Any future remodel proposed for the accessory building shall comply with all applicable standards as specified in Title 17 Zoning Regulations of Ketchum Municipal Code including the maximum unit size permitted for ADUs as specified within KMC §17.124.070.B.
4. The limits of disturbance must be established on the construction activity plan submitted with the Building Permit application to be reviewed and approved by the Planning & Building Department prior to issuance of a Building Permit for the project. Construction fencing at the limits of disturbance shall be installed on the site prior to any excavation or earthwork and remain in place throughout the duration of construction.
5. The Construction Management Plan as indicated on Sheet L103 is not approved with the subject Mountain Overlay Design Review application. Contractor parking and material storage is prohibited within the private driveway and public utility easement. The final Construction Management Plan shall be submitted to the Planning & Building Department for review and approval prior to issuance of a Building Permit for the project. All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
6. Final civil drawings including the drainage/grading plan for the proposed development shall be submitted to the Planning & Building Department for review and approval by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All stormwater drainage shall be contained on site and the applicant shall ensure adequate drainage is provided on site adjacent to Sunnyside Condominiums.
7. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to issuance of Certificate of Occupancy.
8. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").
9. Design Review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
10. All Design Review elements shall be completed prior to final inspection and issuance of a Certificate of Occupancy for the accessory building.

11. All exterior lighting shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy for the project.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 13th day of January, 2020.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2019

PROJECT: Dean Work/Live Conditional Use Permit

FILE NUMBER: P19-134

OWNER: Tina Dean and Ryan Dean

APPLICANT: Tina Dean

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 471 E. 10th Street Unit B2 (Tenth St Light Industrial Complex Bldg B Unit 2)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019, was mailed to property owners within 300' on December 30, 2019, and was posted on site on January 6, 2020.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. As built floor plan
- C. Business documentation
- D. draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

Tina Dean has applied for a Conditional Use Permit to bring into compliance the work/live unit she owns, lives in, and operates her business from in the LI-2 zoning district. The subject property is located at 471 E. 10th Street, Unit B2, in Building B of the 10th Street Light Industrial development. Tina Dean owns and operates Dean & Company, a property management and house cleaning business.

The business is categorized as a Maintenance Service Facility, defined by the zoning code as a “facility containing the necessary supplies and equipment to provide janitorial services and routine maintenance of buildings and property.”

Work/Live units are defined by Ketchum Municipal Code as follows:

Work/live units incorporate residential living space in a non-residential building. Work/live units are held jointly in common ownership and the work and live spaces cannot be sold or platted as separate condominiums, as documented with a City-approved restrictive covenant recorded against the property. are permitted in the LI-2 zone provided a Conditional Use Permit for the live component is approved by the Planning and Zoning Commission.

The existence of the work/live use was discovered during the city’s publicized efforts to locate and bring non-conforming and unpermitted residential living spaces in the LI zones into compliance with building, fire, and zoning codes.

The work/live unit has a 926 square foot upper-floor that consists of the living area and a 1566 square foot ground-floor that consists of workspace and storage for the business. The total square footage of the unit is 2,492 square feet.

Although the unit has a sprinkler system, additional sheet rock is required in order to provide additional fire separation between the lower and upper floors since the lower floor is at times used for vehicle storage and the upper floor is residential use. Because the building has a sprinkler system the city’s Building Inspector is fine with residential use continuing provided additional sheet rock is installed no later than 12/31/2020.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p> <p>The proposed use, a work/live unit with a property management/cleaning business being the work component, meets both the primary and secondary intention of the light industrial area.</p>

32 Policy E-2(e) Live-Work Opportunities and Home Businesses

Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.

The proposed use is work/live.

Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas

Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.

The proposal integrates housing into the light industrial area in a mixed-use building.

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and <i>City Department Comments</i>
Yes	No	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire: Living space on the second floor meets current fire code. There still needs to be a fire separation wall added between the garage and living space.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building: Building has sprinkler system, but fire separation (sheetrock) between motor vehicle and residential occupancy needs to occur. Building Inspector requires sheetrock be installed no later than 12/31/2020.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			<i>Staff Comments</i>	<i>The application is for a work/live unit with the living area located on the upper floor and work space/storage related to the cleaning and property management business located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			<i>Staff Comments</i>	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			<i>Staff Comments</i>	<i>The unit's square footage is 37% residential (926 square feet of the 2,492 total square feet).</i>

				<p><i>There are 13 units in Building B of the Tenth Street Light Industrial Complex consisting of 24,279 square feet (per Blaine County Assessor records).</i></p> <p><i>There are two Conditional Use Permits for work/live in the complex, consisting of (P19-045, Good Medicine Pottery and P19-094, Cerutti) 1,236 square feet.</i></p> <p><i>This work/live unit would add an additional 926 square feet of residential square footage for a total of 2,162 square feet or 8.9% of the 24,279 square foot building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to: <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.

			Staff Comments	<i>All standards have been met except 17.124.090A.5.b.2 (signing and posting of hours of operation), which has been included as a condition of approval.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.
			Staff Comments	<i>This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria: a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines; b. The area designated as light industrial shall be as follows: (1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings. (2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings. (3) Subject light industrial use shall not be for personal storage by dwelling occupants; c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	8. Anti-Nuisance And Notice Provisions: a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use. b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities. c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone. d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be

				<p>notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant currently works and lives within the unit, is aware of the nature of the light industrial zone, and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>The applicant is required one parking space for the residential unit and one parking spaces for the work square footage. There is interior parking space and exterior parking space available for the unit. No concerns have been expressed by adjacent property owners regarding the work/live unit interfering with snow removal operations or the operation of other nearby businesses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p>
			Staff Comments	<i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5)</i>

				<p>limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</p> <p>The “work” use of the work/live unit, property management and cleaning, complies with the purpose of the LI-2 zoning district and is a permitted use in this zone. The combination of residential living with a permitted use, with the unit being occupied by the owner of the business, results in a use that will not be unreasonably incompatible with the other types of uses permitted in the zone.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p>Staff Comments The building inspector and Fire Marshal have conducted a walk-through of this unit and identified one deficiency: lack of adequate fire separation between the work and live spaces. Because the unit has a sprinkler system, the Building Inspector is okay with deferring installation of additional fire separation provided it is installed by December 31, 2020. This requirement has been included as a condition of approval of the work/live Conditional Use Permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p>Staff Comments The conditional residential use, being one residential unit, is not anticipated to be hazardous or conflict with existing and anticipated traffic in the neighborhood or the development.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p>Staff Comments The existing building and this unit are adequately served by public facilities and services. Use of this unit for work/live will not adversely affect the delivery of public services to the surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p>Staff Comments As described in Table 2 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</p>

The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the residential use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (KMC §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;
- C. Controlling the duration of development;
- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

Additionally, KMC §17.124.090 pertaining to residential standards in light industrial districts states that the following conditions may be attached to the Conditional Use Permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of Occupancy required prior to occupancy of units;
- E. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

STAFF RECOMMENDATION

Staff recommends approval of the work/live application with conditions.

RECOMMENDED MOTION

"I MOVE to approve the Dean Work/Live Conditional Use Permit with conditions 1-11 and to authorize the Commission chair to sign the draft Findings of Fact, Conclusions of Law, and Decision."

RECOMMENDED CONDITIONS

- 1.** Adequate fire separation between the ground and upper floors shall be installed, as evidenced by receipt of a Building Permit and issuance of a Certificate of Completion, by December 31, 2020;
- 2.** The Conditional Use Permit is non-transferrable to another property or property owner and the validity of the permit is dependent upon Dean & Company, or another permitted use in the LI-2 zoning district, remaining in operation;
- 3.** Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090A.5.b.2;
- 4.** The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 5.** No residential use shall occur on the ground level (first floor);
- 6.** Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
- 7.** Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 8.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 9.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 10.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial

zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.

- 11.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

ATTACHMENTS

- A. Application
- B. As built floor plan
- C. Business documentation
- D. draft Findings of Fact, Conclusions of Law, and Decision

A. Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P119-134
Date Received:	11-25-19
By:	MP
Fee Paid:	1100-
Approved Date:	
Denied Date:	
By:	

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: Dean & Company CUP	
Name of Owner of Record: Tina Dean / Ryan Dean	
Physical Address: 471 East 10th Street Suite B2, Ketchum, Idaho 83340	
Property Legal Description: Tenth Street Light Industrial Building B Unit 2	
Property Zoning District: LI2 Parcel # RPK095300B0020	
Contact Phone: 208.720.3906/916.825.0707	Contact Email: tinamdean@gmail.com; robertbdwyer@gmail.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: LI Residential / Live work space	
Description of Proposed and Existing Exterior Lighting: Part of the existing association exterior lighting - N/A	
ADDITIONAL COMMENTS	
I own and operate Dean & Company, a house cleaning and property management company. I run my business out of the ground floor of unit B2 and I live on the second floor above the work area.	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> • Existing Site Plan • Proposed Site Plan • Landscape Plan • Grading and Drainage Plan • Exterior Lighting Plan and Specifications • Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

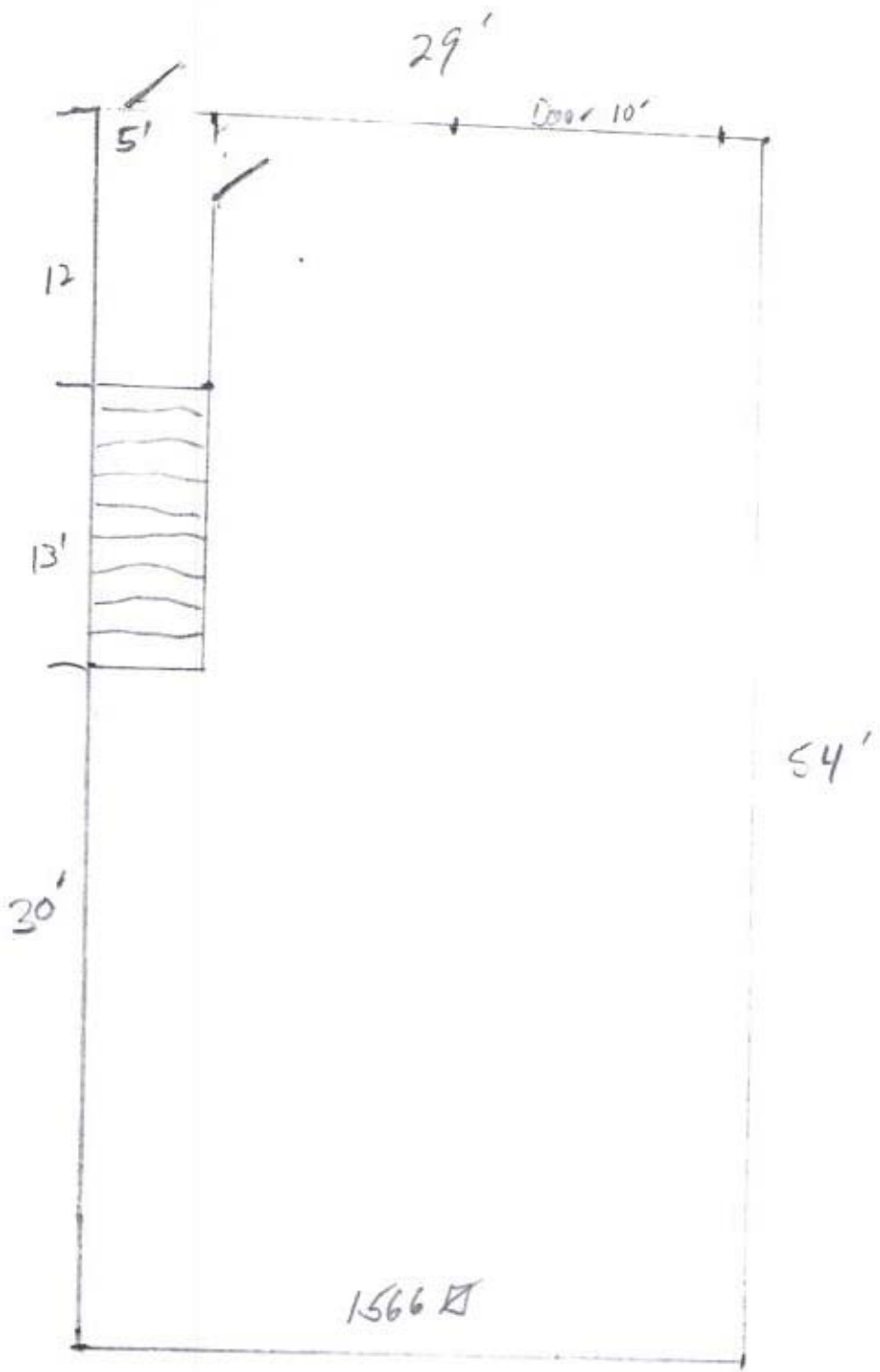
11-1-19

Applicant Signature

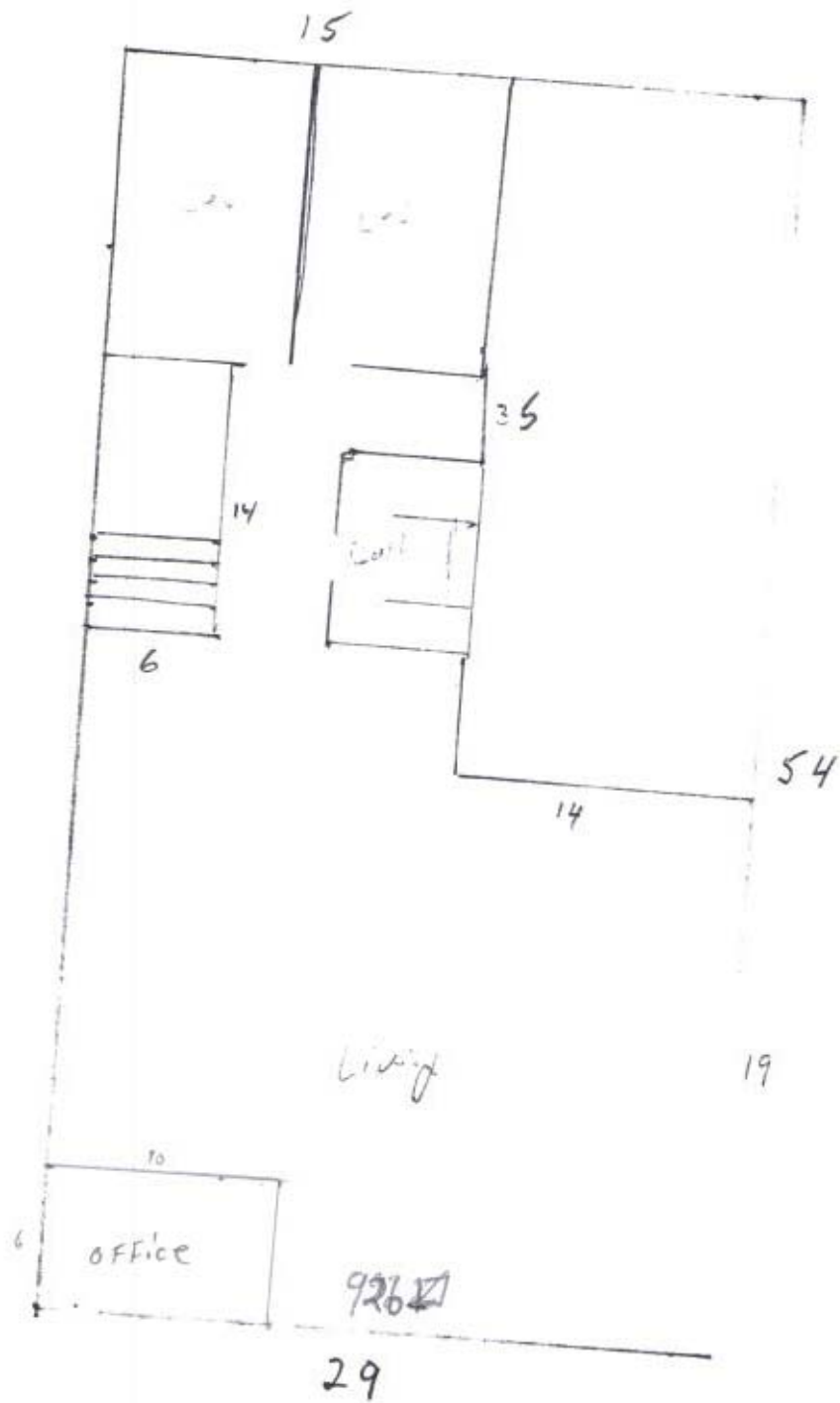
Date

B. As built floor plan

Down Stairs Industrial Area.



2nd floor Living Area



C. Business documentation



WELCOME TO DEAN & CO

(208) 720-3906

Dean & Co is the concierge service of choice for industry leaders, movers and shakers, and adventure seekers. Hand over your "to-do list", and we'll take care of everything, leaving you free to pursue life's true passions. At Dean & Co, we specialize in creating personalized concierge services, when and where you need them most. Explore our site to learn more.

[Read More](#)

[VRBO Listings](#)

SERVICES WE OFFER

[Let's Chat!](#)

At Dean & Co, we know that in this busy world, every minute counts. We therefore take a proactive approach, trying to anticipate our clients' needs. Our professionals go out of their way to ensure that your demands are not just met, but exceeded. Below is a list of our services. Call us today to set up an introductory meeting with a member of our team.



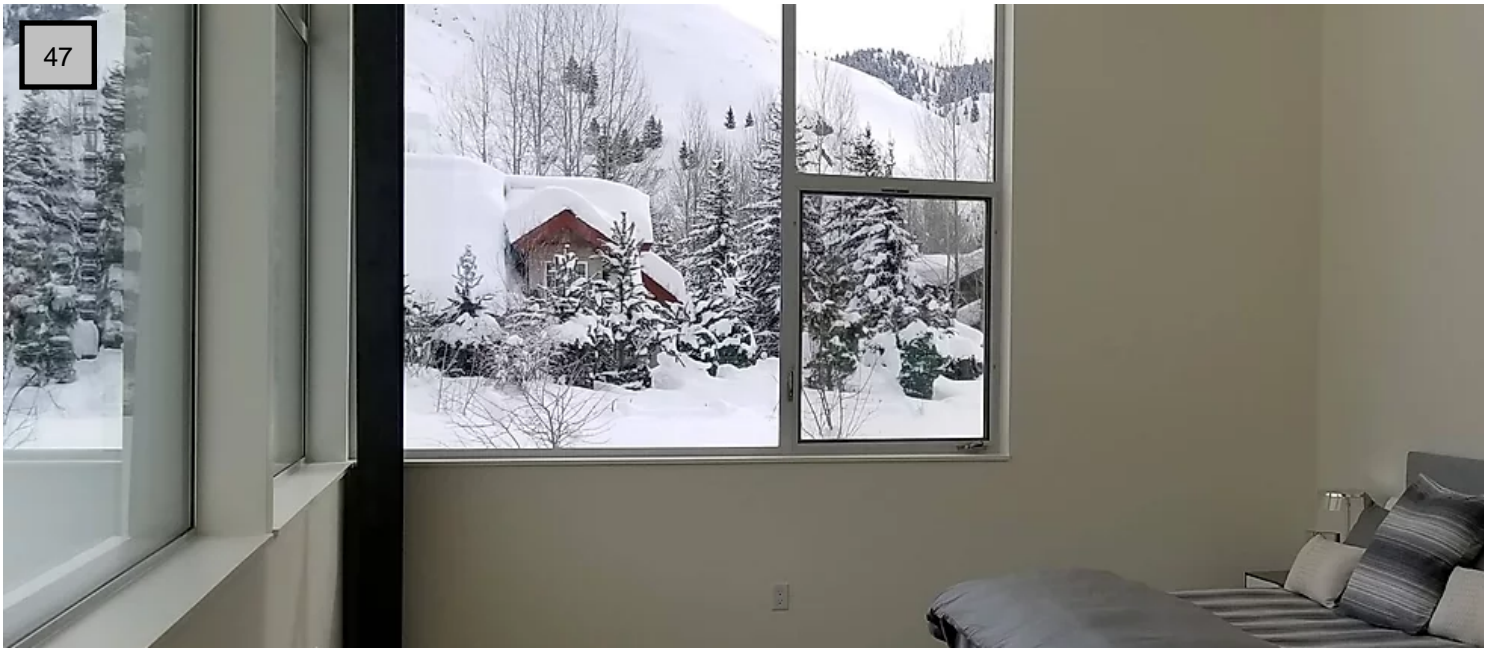
VRBO LISTING AND MANAGEMENT

Dean & Co is now offering our clients VRBO Management. When the temperatures drop and you are off to warmer locations. Let our dedicated team of specialists work hard to ensure your property is represented well on all platforms to showcase it for potential renters.

We will take the pictures, create the listing and manage all of the reservations. Everything to ease your mind.

Contact us today to schedule a site visit.

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SECURITY & PROPERTY CHECKS

- Inspect and ensure all systems are operational (heating and cooling; hydro; water and pipes)
 - Check for damages (broken windows; blocked drains)
- Customize a home check schedule for you, depending on insurance requirements
 - Provide reports and/or photos when and how you want them
 - Work with your alarm monitoring company

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CONSTRUCTION JOB SITE CLEAN UP SERVICES

When you are finishing up at one job site and are ready to get the next project. Call Dean & Co. Our construction job site clean up service can come in and handle the final site prep clean up for you. This will save man hours and keep your crew working on your next big project.

Interested in learning more about our construction job site clean up service? Get in touch with us now.



HOUSE KEEPING

We combine your needs and wants with our time-tested cleaning methods to create your very own cleaning plan and follow it every time. Unlike other cleaning companies, our team members undergo a unique training process that instructs them on what cleaning techniques and supplies to utilize in each room. We always use these to make sure no corner is left untouched.

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NIGHTLIFE & ENTERTAINMENT

During your stay let Dean & Co take the guesswork out of "What should we do tonight?" We know the trendy places as well as the local favorites. Let us know what you like and we can customize your evening plans.

Please contact us today to discuss what we have to offer.

There are plenty more services on offer - call us to learn more: (208) 720-3906

WHO WE ARE

Imagine coming home to a completely clean, fresh-smelling home after a long day. We'll clean your home, deep clean a surface, or plug

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all a wonderful feeling. Dean & Co is a trusted name in home cleaning services that has been cleaning and maintaining homes for 15 years.

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[Laundry Service](#)

[Construction Cleans](#)

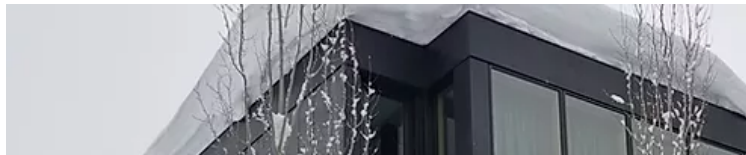
[Other Personal Services](#)

[Let's Chat!](#)

"A multitude of small delights constitute happiness"

Charles Baudelaire

Let's Chat!



GET IN TOUCH

(208) 720-3906

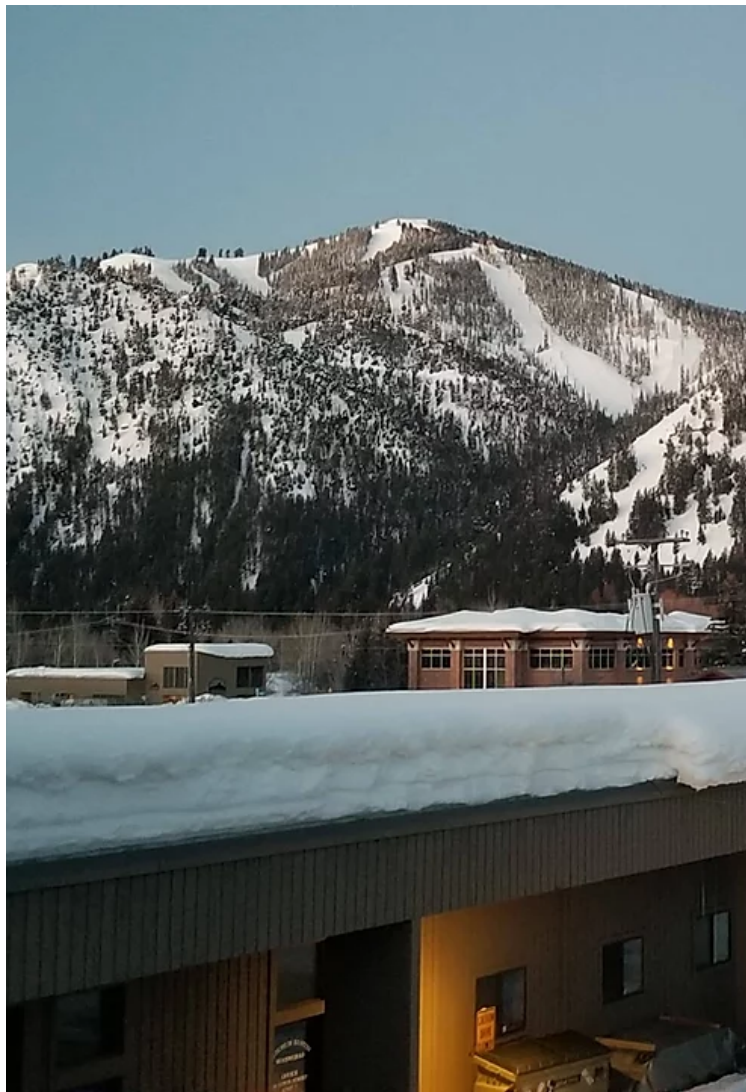
Name

Email

Subject

Type your message here...

Submit



(208) 720-3906

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Let's Chat!

D. draft Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Dean Work/Live)	KETCHUM PLANNING AND ZONING COMMISSION
Conditional Use Permit)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: January 13, 2020)	DECISION
)	
File Number: 19-134)	

PROJECT: Dean Work/Live Conditional Use Permit

FILE NUMBER: P19-134

OWNER: Tina Dean and Ryan Dean

APPLICANT: Tina Dean

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 471 E. 10th Street Unit B2 (Tenth St Light Industrial Complex Bldg B Unit 2)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019, was mailed to property owners within 300' on December 30, 2019, and was posted on site on January 6, 2020.

ATTACHMENT: As-built Floorplan

FINDINGS OF FACT

1. On January 13, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed work/live unit.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district.
4. The work/live unit consists of 926 square feet of residential dwelling use on the upper floor and 1,566 square feet on the ground-floor that consists of workspace and storage for the business. The total square footage of the unit is 2,492 square feet.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>The proposed use, a work/live unit with a property management/cleaning business being the work component, meets both the primary and secondary intention of the light industrial area.</p>
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
<p>The proposed use is work/live.</p>
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Fire: Living space on the second floor meets current fire code.</p> <p>There still needs to be a fire separation wall added between the garage and living space.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Utilities: This is an existing building that is not being substantially improved. N/A.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Building: Building has sprinkler system, but fire separation (sheetrock) between motor vehicle and residential occupancy needs to occur. Building Inspector requires sheetrock be installed no later than 12/31/2020.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Planning and Zoning: Comments are denoted throughout the Staff Report.</p>

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:

Residential units in the light industrial districts shall comply with the following minimum criteria:

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for a work/live unit with the living area located on the upper floor and work space/storage related to the cleaning and property management business located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>The unit's square footage is 37% residential (926 square feet of the 2,492 total square feet).</i> <i>There are 13 units in Building B of the Tenth Street Light Industrial Complex consisting of 24,279 square feet (per Blaine County Assessor records).</i> <i>There are two Conditional Use Permits for work/live in the complex, consisting of (P19-045, Good Medicine Pottery and P19-094, Cerutti) 1,236 square feet.</i> <i>This work/live unit would add an additional 926 square feet of residential square footage for a total of 2,162 square feet or 8.9% of the 24,279 square foot building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation;

				<p>(3) Served by the prominent means of access for the work/live unit; and,</p> <p>(4) Associated with a business license for a use allowed (either conditionally or permitted) in the district.</p> <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<i>All standards have been met except 17.124.090A.5.b.2 (signing and posting of hours of operation), which has been included as a condition of approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due</p>

				<p>to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant currently works and lives within the unit, is aware of the nature of the light industrial zone, and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>The applicant is required one parking space for the residential unit and one parking spaces for the work square footage. There is interior parking space and exterior parking space available for the unit. No concerns have been expressed by adjacent property owners regarding the work/live unit interfering with snow removal operations or the operation of other nearby businesses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <p>a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards;</p> <p>b. Separation of residential and light industrial parking on the site to minimize conflicts;</p> <p>c. Restrictions on exterior storage of personal property of tenants;</p> <p>d. Certificate of occupancy required prior to occupancy of units;</p> <p>e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;</p> <p>f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations;</p> <p>g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses;</p> <p>h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged;</p> <p>i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or,</p>

			j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
		Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The “work” use of the work/live unit, property management and cleaning, complies with the purpose of the LI-2 zoning district and is a permitted use in this zone. The combination of residential living with a permitted use, with the unit being occupied by the owner of the business, results in a use that will not be unreasonably incompatible with the other types of uses permitted in the zone.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>The building inspector and Fire Marshal have conducted a walk-through of this unit and identified one deficiency: lack of adequate fire separation between the work and live spaces. Because the unit has a sprinkler system, the Building Inspector is okay with deferring installation of additional fire separation provided it is installed by December 31, 2020. This requirement has been included as a condition of approval of the work/live Conditional Use Permit.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>The conditional residential use, being one residential unit, is not anticipated to be hazardous or conflict with existing and anticipated traffic in the neighborhood or the development.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for work/live will not adversely affect the delivery of public services to the surrounding area.</i></p>

60	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
			Staff Comments	<i>As described in Table 2 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
4. The Planning and Zoning Commission’s January 13th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a work/live unit on this 13th day of January 2020 subject to the following conditions 1 - 11:

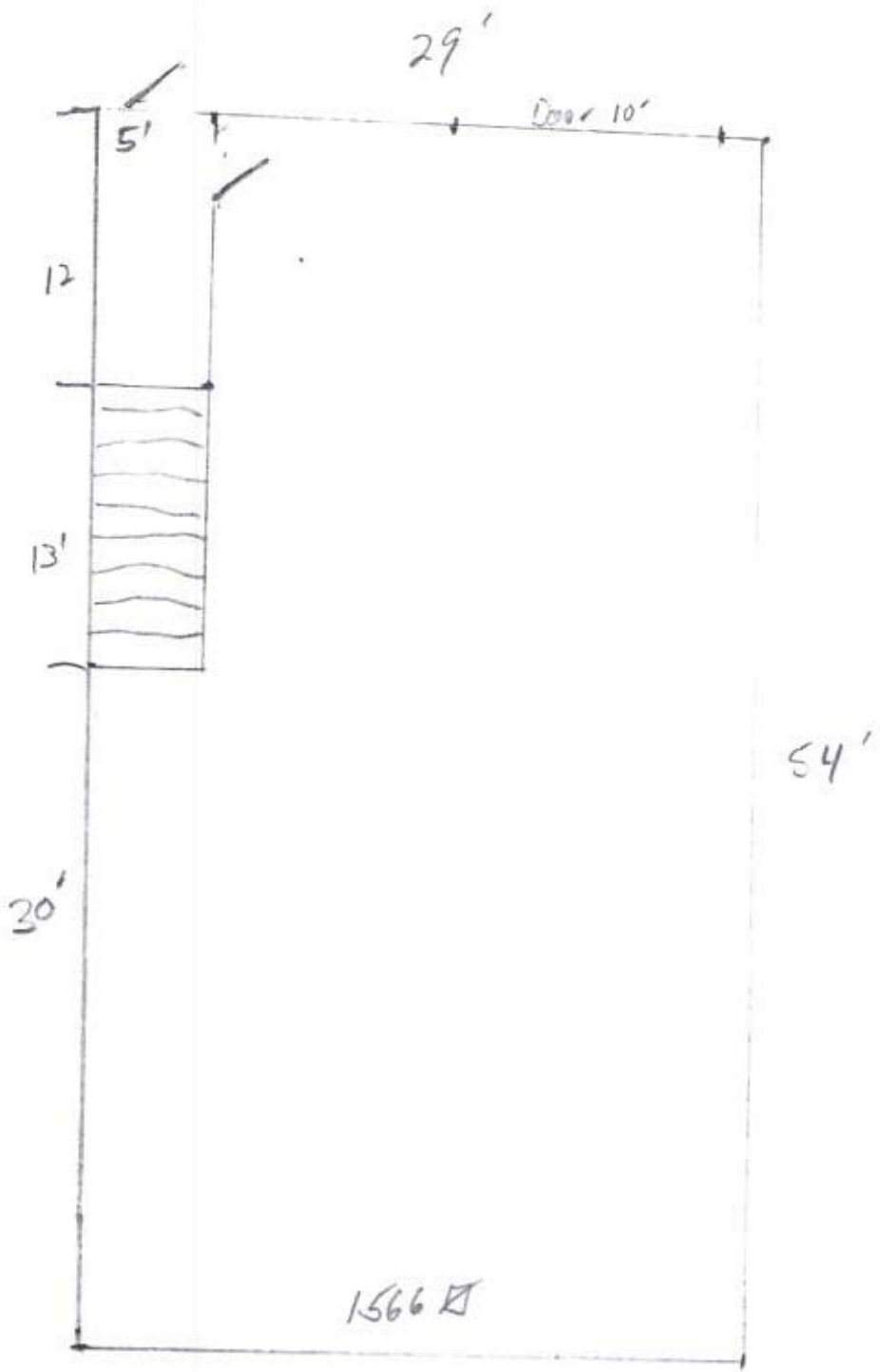
1. Adequate fire separation between the ground and upper floors shall be installed, as evidenced by receipt of a Building Permit and issuance of a Certificate of Completion, by December 31, 2020;
2. The Conditional Use Permit is non-transferrable to another property or property owner and the validity of the permit is dependent upon Dean & Company, or another permitted use in the LI-2 zoning district, remaining in operation;
3. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090A.5.b.2;
4. The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
5. No residential use shall occur on the ground level (first floor);
6. Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
7. Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
8. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.

9. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
10. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
11. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

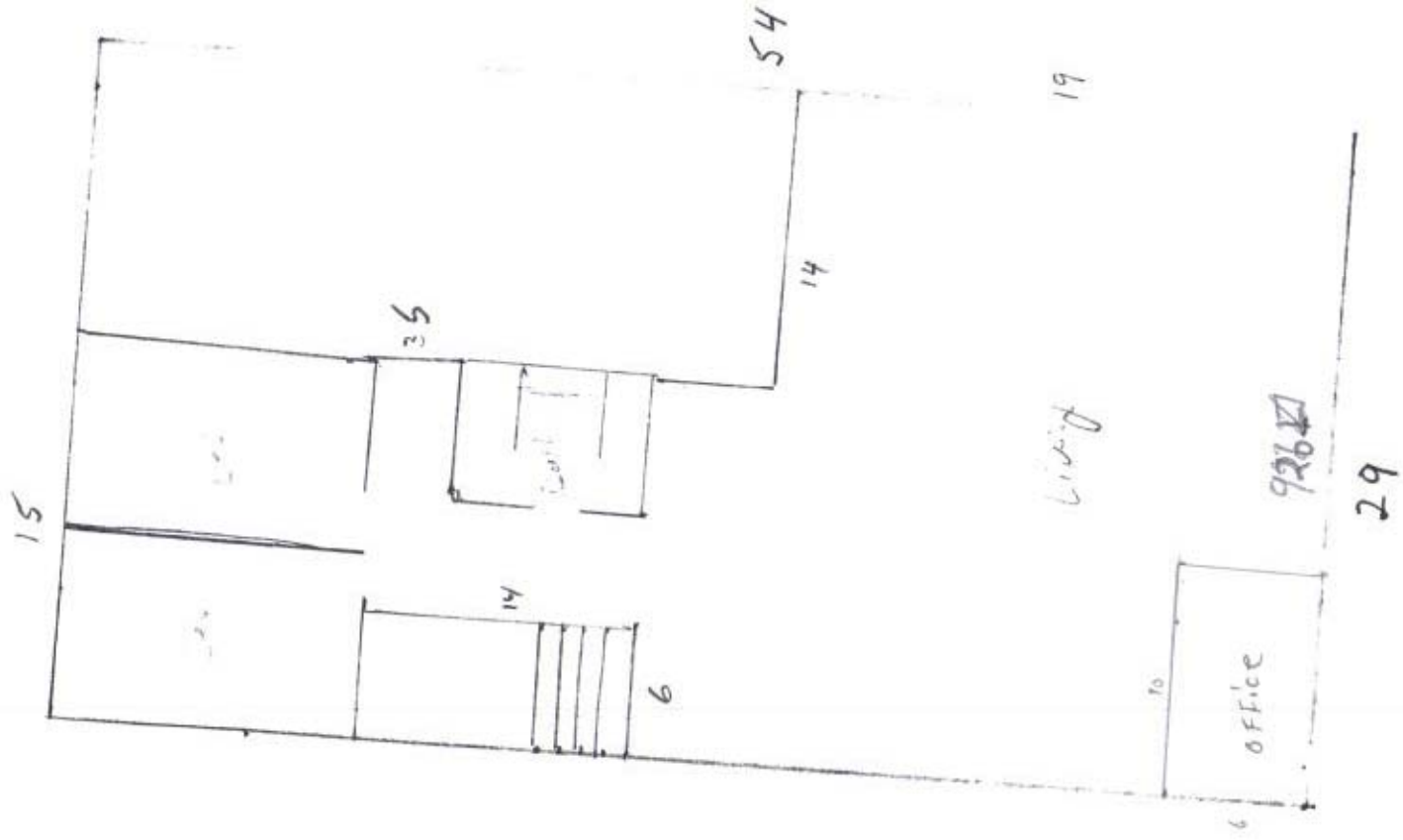
Findings of Fact **adopted** this 13th day of January 2020.

Neil Morrow
Chair
Planning and Zoning Commission

Down Stairs Industrial Area.



925' is living Area





City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2019

PROJECT: Duval Work/Live Conditional Use Permit

FILE NUMBER: P19-135

OWNER: Jon-Kristian A. Duval

APPLICANT: Jon Duval

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 491 E. 10th Street Unit A17 (Tenth St Light Industrial Complex Bldg A Unit A17)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019, was mailed to property owners within 300' on December 30, 2019 and was posted on site on January 6, 2020.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. As built floor plan
- C. Business documentation
- D. draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

Jon Duval, property owner, has applied for a Conditional Use Permit to bring into compliance the work/live unit he owns in the LI-2 zoning district. The subject property is located at 491 E. 10th Street, Unit A17, in Building A of the 10th Street Light Industrial development.

The unit is currently occupied by two tenants, who share the living space, and each operates a business. Both businesses fall under the land use category Commercial Studio, which is a permitted use in the LI-2 zoning district. One business, 5 Atmospheres, is an established art/graphic design/apparel business owned and operated by Patrick Boudin. The other business that will utilize the unit, Remy Road, will be a photography and art business, is in the start-up phase, and is owned and operated by Vanessa Root. Both businesses are art/design-based with product production (apparel/stickers), other than prototypes, occurring off-site. Both businesses are LLCs with State of Idaho business registrations and both businesses have applied for City of Ketchum business licenses. Further information on each business is included in **Attachment C**.

Work/Live units are defined by Ketchum Municipal Code as follows:

Work/live units incorporate residential living space in a non-residential building. Work/live units are held jointly in common ownership and the work and live spaces cannot be sold or platted as separate condominiums, as documented with a City-approved restrictive covenant recorded against the property. are permitted in the LI-2 zone provided a Conditional Use Permit for the live component is approved by the Planning and Zoning Commission.

The existence of the work/live use was discovered during the city’s publicized efforts to locate and bring non-conforming and unpermitted residential living spaces in the LI zones into compliance with building, fire, and zoning codes.

There are currently no outstanding fire or building code compliance issues within the unit.

The work/live unit has a 833 square foot upper-floor living space and a 950 square foot ground floor that consists of workspace and storage associated with 5 Atmospheres and Remy Road. The total square footage of the unit is 1,783 square feet.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p> <p>The proposed use, a work/live unit with commercial studio (art/graphic design) businesses being the work component, meets both the primary and secondary intention of the light industrial area.</p>

66 Policy E-2(e) Live-Work Opportunities and Home Businesses

Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.

The proposed use is work/live.

Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas

Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.

The proposal integrates housing into the light industrial area in a mixed-use building.

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire: No comment.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Unit is in compliance. No comment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			Staff Comments	<i>The application is for a work/live unit with the living area located on the upper floor and work space/storage located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>46% of the work/live unit's square footage is devoted to residential use (833 of the 1,783 square feet).</i> <i>Building A of the Tenth Street Light Industrial Complex is comprised of 29,996 square feet. There is one existing Conditional Use Permit for residential use (P17-001, Knudson) in the building for a 461 square foot residential unit. Approval of this work/live CUP would result in 1,294 square feet of residential use, equal to 4.3% of the total square footage in the building.</i>

67	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
Staff Comments				<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to: <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
Staff Comments				<p><i>Standards 17.124.090.A.5.a and c have been met. Standards 17.124.090.A.5.b.1 and 3 have been met.</i></p> <p><i>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as both businesses have applied for City of Ketchum business licenses.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall</p>

				<p>exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>

69	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>The proposal is required one parking space for the residential unit and one parking space for the work square footage. There is space to accommodate one vehicle within the ground-floor of the unit and there are additional parking spaces located in the common parking area for the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.

			Staff Comments	<p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The work component of the work/live unit is comprised of two businesses categorized as Commercial Studios and Commercial Studio is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with this permitted use, and with the proposed residents being the owners of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p>Staff Comments</p> <p><i>There are no outstanding life safety code violations within the unit.</i></p> <p><i>Residential use within the unit will not materially endanger the health, safety and welfare of the community.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p>Staff Comments</p> <p><i>The work/live use is not anticipated to generate a high volume of trips as both businesses are primarily design-based and on-site sales of products do not occur. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p>Staff Comments</p> <p><i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p>Staff Comments</p> <p><i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i></p>

The Planning and Zoning Commission may attach additional conditions to the application approval as it determines necessary in order to ensure the residential use is compatible with the vicinity and adjoining uses, mitigate adverse impacts, and enhance public health, safety, and welfare. Such conditions may include, but are not limited to (KMC §17.116.050):

- A. Minimizing adverse impact on other development;
- B. Controlling the sequence and timing of development;
- C. Controlling the duration of development;

- D. Assuring that development is maintained properly;
- E. Designating the exact location and nature of development;
- F. Requiring the provision for on site or off site public facilities or services;
- G. Requiring more restrictive standards than those generally required in an ordinance; and
- H. Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the city.

Additionally, KMC §17.124.090 pertaining to residential standards in light industrial districts states that the following conditions may be attached to the Conditional Use Permit:

- A. Access to the apartments relative to design and relationship to light industrial uses;
- B. Location of residential and light industrial parking on the site;
- C. Restrictions on exterior storage of personal property of tenants;
- D. Certificate of Occupancy required prior to occupancy of units;
- E. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy;
- F. Permit shall be reviewed when light industrial occupancies within the building change;
- G. Snow removal required to ensure utility of residential spaces;
- H. Such proof of long term occupancy as deemed appropriate;
- I. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; and/or
- J. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A9 of this section.

STAFF RECOMMENDATION

Staff recommends approval of the work/live application with conditions.

RECOMMENDED MOTION

"I MOVE to approve the Duval Work/Live Conditional Use Permit with conditions 1-10 and to approve the Commission Chair to sign the draft Findings of Fact, Conclusions of Law, and Decision."

RECOMMENDED CONDITIONS

- 1.** The Conditional Use Permit is non-transferrable to another property and the validity of the permit is dependent upon Remy Road and/or 5 Atmospheres operating as a commercial studio, or another permitted use in the LI-2 zoning district, remaining in operation;
- 2.** Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2;
- 3.** The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 4.** No residential use shall occur on the ground level (first floor);
- 5.** Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
- 6.** Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 7.** The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.

- 8.** All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 9.** Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 10.** All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

ATTACHMENTS

- A. Application
- B. As built floor plan
- C. Business documentation
- D. Draft Findings of Fact, Conclusions of Law, and Decision

A. Application



**City of Ketchum
Planning & Building**


OFFICIAL USE ONLY
File Number:
Date Received:
By:
Fee Paid:
Approved Date:
Denied Date:
By:

Conditional Use Permit Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

OWNER INFORMATION	
Project Name: Duval Work/Live LI CUP	
Name of Owner of Record: Jon Duval	
Physical Address: 491 10th St East, Unit A17	
Property Legal Description: TENTH ST LIGHT INDUST COMPLEX BLDG A UNIT 17 .023	
Property Zoning District: LI-2	
Contact Phone: 208-721-0808	Contact Email: jkduval6@yahoo.com
PROJECT INFORMATION	
Description of Proposed Conditional Use: Live/Work/Studio	
Description of Proposed and Existing Exterior Lighting:	
ADDITIONAL COMMENTS	
ACCOMPANYING SUPPORTING INFORMATION REQUIRED	
<ul style="list-style-type: none"> Existing Site Plan Proposed Site Plan Landscape Plan Grading and Drainage Plan Exterior Lighting Plan and Specifications Other plans and studies related to the social, economic, fiscal, environmental, traffic, and other effects of the proposed conditional use, as required by the Administrator 	

Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

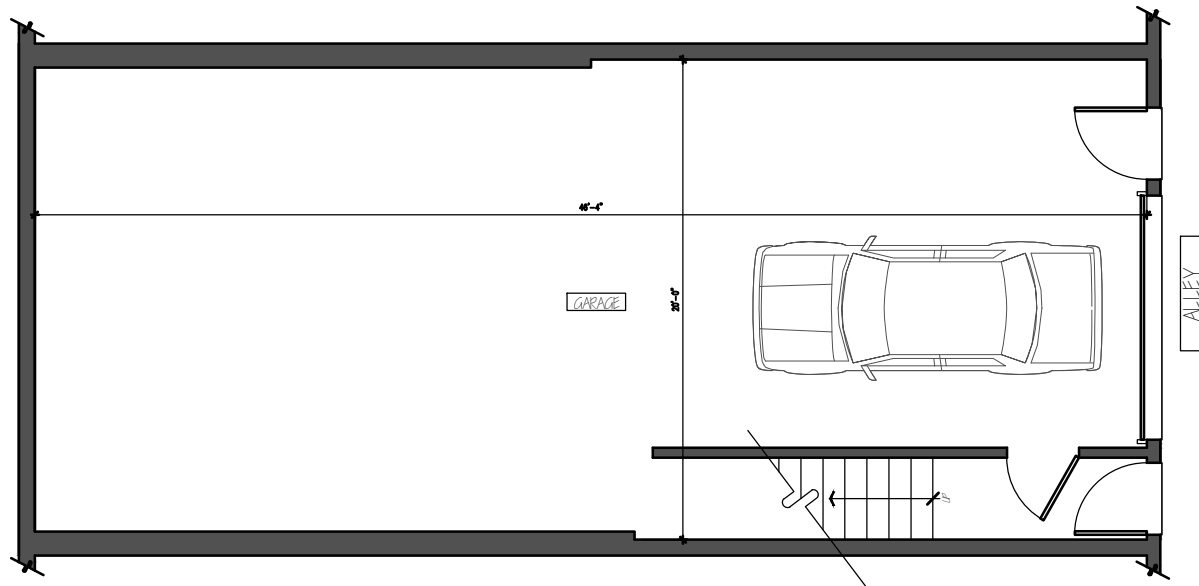
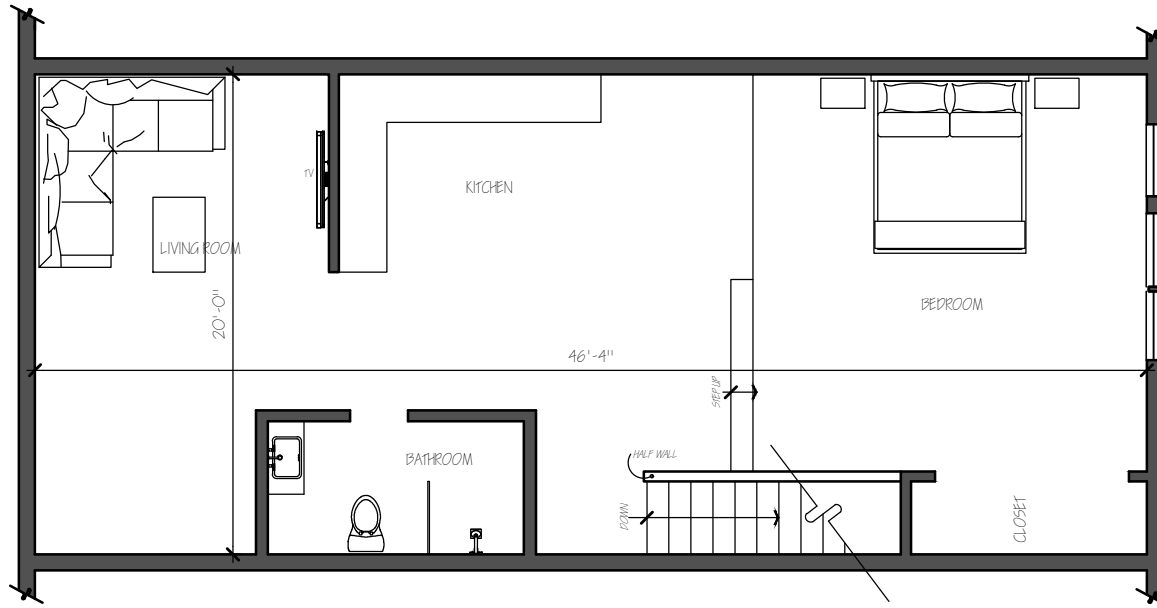

 Digitally signed by Jon Duval
 DN: cn=Jon Duval, o=Ketchum
 CDC, ou,
 email=jon.duval@ketchumcdc.org,
 c=US
 Date: 2019.11.12 08:13:40 -05'00'

Nov. 12, 2012

Applicant Signature

Date

B. As built floor plan



491 10TH ST. EAST UNIT A17
 KETCHUM, IDAHO

SHEET:
 A 1.0
 PRINT ON 8X11
 *Sight verify all dimintions.
 NOT FOR CONSTRUCTION

C. Business documentation

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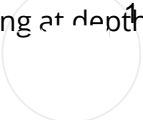
My Journey

Before I left for the military at age 20, I started my diving career in Seattle, Washington. As most people know, you need a dry suit. For me, it was an old ass Harveys 8mm that didn't do crap in the department of retaining body heat. I've done deep dives that much more difficult, though I shivered my way through them.



Once I left for the Navy, diving had to take a back seat as I made my way through the various schools associated with it. And it wouldn't be another 5 years from that enlistment date till I got back under the sea. Because of the flight schedule, it was extremely difficult to put together dive plans around work, thus I forwent breathing apparatus and spearing in my spare time.

Get 10% off!





Following my time in the Navy, I returned to my cold ass Puget Sound once again. But this time, I took it farther within the sport, I found myself working at Underwater Sports out of Bellevue, Washington where I pushed my qualification. Once completed, I knew diving was forever my thing, and began a journey past the limits of recreational diving. What was next? Yup, technical diving. And what an eye opener that was. From the math, to hitting all those in-water hooks. Yet, I knew that wasn't the end to my story. I wanted more. And I found that something more in the form of the top schools in world, DIT.



Throughout my 7.5 months at the Divers Institute of Technology, I learned a brain busting amount of information in the world of underwater work. And it was worth every penny. But, to be honest I **Get 10% off!** my journey was going to be a little different. And so, I took it upon myself to utilize not only my love for diving, but my skills as a diver to help bring forth this new company, 5 Atmospheres. My goal is to inspire, and keep alive the beauty of breath

I am nothing but stardust born 14 billion years ago- condensed.

Remy Road

Products

FILTER BY: All ▾

SORT BY: Alphabetically, A-Z ▾



"Remy Road is a collection of goods from the poet and photographer Vanessa Root. Ranging from apparel, stickers, photography, blank journals, and a self published poetry collection, Remy Road allows consumers who follow the artist to buy artistic products that inspire us to dig deeper into the soulful connection of our existence. "

D. Draft Findings of Fact, Conclusions of Law, and Decision



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Duval Work/Live Conditional Use Permit Date: January 13, 2020)	KETCHUM PLANNING AND ZONING COMMISSION
)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
)	DECISION
File Number: 19-135)	

PROJECT: Duval Work/Live Conditional Use Permit

FILE NUMBER: P19-135

OWNER: Jon-Kristian A. Duval

APPLICANT: Jon Duval

REQUEST: Conditional Use Permit (CUP) for a work/live unit

LOCATION: 491 E. 10th Street Unit A17 (Tenth St Light Industrial Complex Bldg A Unit A17)

ZONING: Light Industrial District No. 2 (LI-2)

OVERLAY: None

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019, was mailed to property owners within 300' on December 30, 2019 and was posted on site on January 6, 2020.

ATTACHMENT: As-built Floorplan

FINDINGS OF FACT

1. On January 13, 2020, the Planning and Zoning Commission considered a Conditional Use Permit (CUP) application for the proposed work/live unit.
2. The subject property is located in the Light Industrial District No. 2 (LI-2) zoning district.
3. Residential dwelling units, which include work/live units, require a Conditional Use Permit in the LI-2 zoning district.
4. The work/live unit has a 833 square foot upper-floor living space and a 950 square foot ground floor that consists of workspace and storage associated with the businesses. The total square footage of the unit is 1,783 square feet.

Table 1. Comprehensive Plan Analysis

<p>Land Use Category: Mixed-Use Industrial</p> <p>PRIMARY USES <i>Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</i></p> <p>SECONDARY USES <i>A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</i></p> <p>CHARACTERISTICS AND LOCATION <i>The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</i></p>
<p>The proposed use, a work/live unit with commercial studio (art/graphic design) businesses being the work component, meets both the primary and secondary intention of the light industrial area.</p>
<p>Policy E-2(e) Live-Work Opportunities and Home Businesses <i>Support small home-based businesses that allow people to live and work from their residences and evaluate existing home-occupation, live/work, and related land use standards.</i></p>
<p>The proposed use is work/live.</p>
<p>Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas <i>Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases, The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.</i></p>
<p>The proposal integrates housing into the light industrial area in a mixed-use building.</p>

Table 2. City Department Comments

City Department Comments			
Compliant			City Standards and City Department Comments
Yes	No	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire: No comment.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City Engineer and Streets Department: This is an existing building that is not being substantially improved. N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utilities: This is an existing building that is not being substantially improved. N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building: Unit is in compliance. No comment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: Comments are denoted throughout the Staff Report.

Table 3. Standards for Residential, Light Industrial Districts

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
			17.124.090 A (1)	Dwelling units shall not occupy the ground floor.

86	<input type="checkbox"/>	<input type="checkbox"/>	Staff Comments	<i>The application is for a work/live unit with the living area located on the upper floor and work space/storage located on the ground floor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			Staff Comments	<i>Design Review is not required as this application does not change the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			Staff Comments	<i>46% of the work/live unit's square footage is devoted to residential use (833 of the 1,783 square feet). Building A of the Tenth Street Light Industrial Complex is comprised of 29,996 square feet. There is one existing Conditional Use Permit for residential use (P17-001, Knudson) in the building for a 461 square foot residential unit. Approval of this work/live CUP would result in 1,294 square feet of residential use, equal to 4.3% of the total square footage in the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (4)	Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to: <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section; d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965; e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.
			Staff Comments	<i>This unit is eligible for individual ownership because it is a work/live unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (5)	5. Work/Live Units: In the approval of work/live units, the City shall also find that: <ul style="list-style-type: none"> a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant; b. The work unit is: <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:

				<p>(1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet;</p> <p>(2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and</p> <p>(3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.</p>
			Staff Comments	<p>Standards 17.124.090.A.5.a and c have been met.</p> <p>Standards 17.124.090.A.5.b.1 and 3 have been met.</p> <p>Standards 17.124.090.A.5.b.2 (signing and posting of business hours) is included as a condition of approval and compliance with 17.124.090.A.5.b.4 is pending as both businesses have applied for City of Ketchum business licenses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<p>This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<p>N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p>

				<p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The applicant is aware of these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<i>The proposal is required one parking space for the residential unit and one parking space for the work square footage. There is space to accommodate one vehicle within the ground-floor of the unit and there are additional parking spaces located in the common parking area for the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<i>Recommended conditions of approval are below.</i>

Table 4. Conditional Use Permit Requirements

Conditional Use Requirements
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code

Conditional use permit shall be granted by the commission only if the applicant demonstrates the following:

Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	<p>The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.</p> <p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is “established with the foremost purpose of providing suitable land and environs for uses that are not appropriate in other Commercial Zones due to their light industrial nature, but which provide an essential or unique service to support the local economy and permanent year-round employment base. Uses include: 1) light manufacturing; 2) wholesale trade and distribution; 3) research and development; 4) service industries; 5) limited bulk retail and; 6) offices related to building, maintenance and construction. A secondary purpose of the LI-2 is to provide multiple-family dwellings, constructed to be secondary and subordinate to the primary light industrial purpose of the LI-2. Uses in the LI-2 are intended to generate traffic primarily from the industrial trades and secondarily by other permitted uses that, due to the natures of the uses, are not reliant on pedestrian traffic or high visibility, and/or are not permitted in other zoning districts, and/or are characterized by sale, rental, or service of large, bulky equipment or materials, necessitating location of such use in a Light Industrial Zone.</i></p> <p><i>The work component of the work/live unit is comprised of two businesses categorized as Commercial Studios and Commercial Studio is a permitted use in the LI-2 zoning district.</i></p> <p><i>The combination of residential living with this permitted use, and with the proposed residents being the owners of the businesses, results in a use that is not unreasonably incompatible with other types of uses permitted in the zone.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	<p>The conditional use will not materially endanger the health, safety and welfare of the community.</p> <p><i>There are no outstanding life safety code violations within the unit.</i></p> <p><i>Residential use within the unit will not materially endanger the health, safety and welfare of the community.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	<p>The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.</p> <p><i>The work/live use is not anticipated to generate a high volume of trips as both businesses are primarily design-based and on-site sales of products do not occur. As such, hazards to pedestrian and vehicular traffic will not be generated by this proposal.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	<p>The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.</p> <p><i>The existing building and this unit are adequately served by public facilities and services. Use of this unit for the proposed live/work will not adversely affect the delivery of public services to the surrounding area.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	<p>The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.</p> <p><i>As described in Table 1 of this staff report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.</i></p>
			Staff Comments	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;

- 2. Under Chapter 65, Title 67 of the Idaho Code, the City has passed a land use and zoning ordinance, Title 17;
- 3. The Commission has the authority to hear the applicant’s Conditional Use Permit Application pursuant Ketchum Municipal Code Title 17;
- 4. The Planning and Zoning Commission’s January 13th, 2020 public hearing and consideration of the applicant’s Conditional Use Permit application was properly noticed pursuant to the Local Land Use Planning Act, Idaho Code Section 67-6512;
- 5. The application meets the standards of approval under Chapter 17.116, Conditional Uses of Ketchum Zoning Code Title 17 and the 2014 Comprehensive Plan;

DECISION

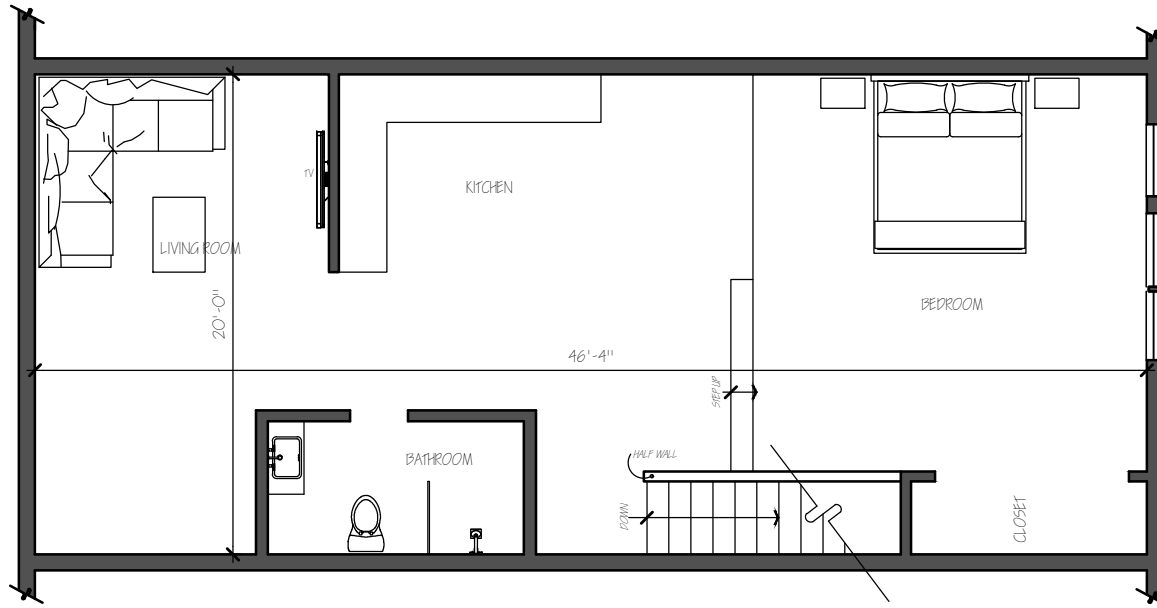
THEREFORE, the Ketchum Planning and Zoning Commission approves this Conditional Use Permit application allowing for a work/live unit on this 13th day of January 2020 subject to the following conditions 1 - 11:

- 1. The Conditional Use Permit is non-transferrable to another property and the validity of the permit is dependent upon Remy Road and/or 5 Atmospheres operating as a commercial studio, or another permitted use in the LI-2 zoning district, remaining in operation;
- 2. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090A.5.b.2;
- 3. The residential living area shall not exceed one thousand (1,000) square feet total and shall contain no more than two (2) bedrooms;
- 4. No residential use shall occur on the ground level (first floor);
- 5. Because of the mixed-use nature of this space, and in order to ensure compliance with the zoning code requirement that residential dwellings do not exceed 1,000 square feet in the LI-2 zoning district, the Fire Marshal shall conduct routine inspections of the work/live building;
- 6. Inspections by Planning staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of staff;
- 7. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
- 8. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
- 9. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
- 10. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

91

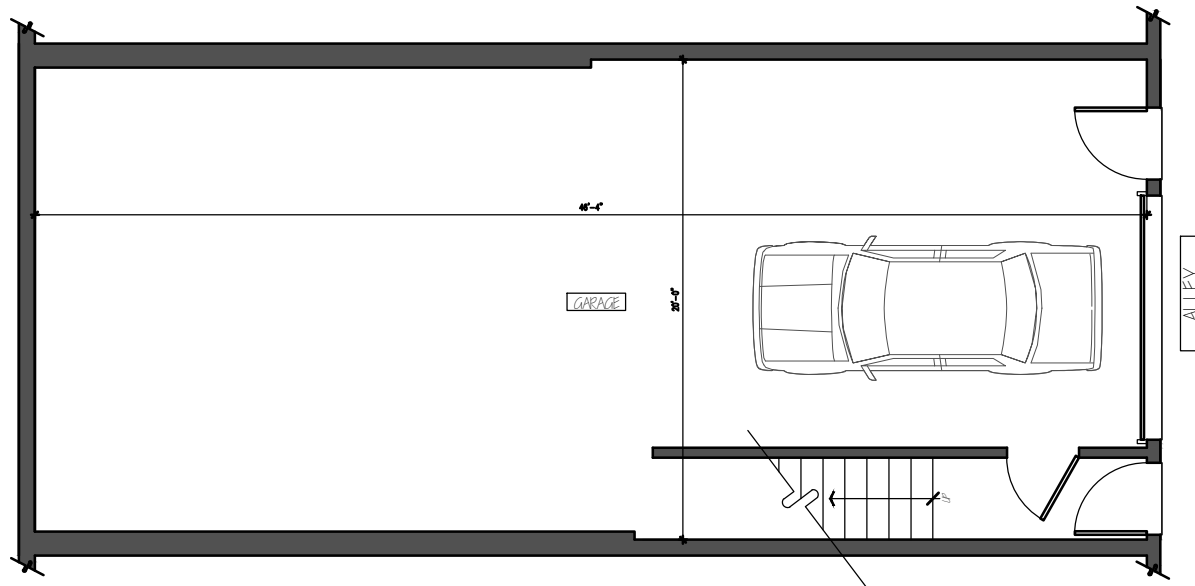
Findings of Fact **adopted** this 13th day of January 2020.

Neil Morrow
Chair
Planning and Zoning Commission



UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"



LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0"

491 10TH ST. EAST UNIT A17
 KETCHUM, IDAHO

SHEET:
 A 1.0
 PRINT ON 8X11
 *Sight verify all dimintions.
 NOT FOR CONSTRUCTION



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: Ketchum Fire Station

FILE NUMBER: P 20-005

APPLICATION TYPE: Pre-Application Design Review

REPRESENTATIVE: Stan Cole, Cole Architects

OWNER: City of Ketchum

REQUEST: Pre-Application Design Review

LOCATION: City-owned dirt lot north of the YMCA (Portion of Tax Lot 6689: Sec 12 & 13 4N 17E)

ZONING: Tourist (T)

OVERLAY: None

NOTICE: Notice is not required for Pre-Application Design Review. Notice will be mailed to all adjacent property owners a minimum of 10 days prior to the public hearing for the final Design Review application.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND & ANALYSIS

The subject Pre-Application Design Review is for the development of the new Ketchum Fire Station located on the City-owned dirt lot north of the YMCA within the Tourist (T) Zoning District. On November 5th, 2019, voters in the City of Ketchum approved the ballot question regarding the \$11.5 million bond for the construction of a new fire station. The Ketchum City Council reviewed the new fire station plans on January 6th, 2020 and authorized the submission of the Design Review application to the Planning & Zoning Commission.

Pursuant to Ketchum Municipal Code (KMC) §17.96.010.A.2, Design Review is required for the development of new public or semi-public use buildings. As the fire station is new nonresidential construction, the project is subject to Pre-Application Design Review per KMC §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the preliminary design concept in relation to all Design Review criteria and evaluation standards (KMC §17.96.060). A complete analysis of each evaluation standard will be included in the Staff Report for the final Design Review application.

The new 4-bay fire station is permitted as public use within the Tourist Zone (KMC §17.12.020). Fulfilling Fire Department operational needs, the two-story facility includes bays for fire apparatus including ambulance vehicles, a turnout locker-room, rescue and technical gear storage, decontamination facilities, a maintenance shop work area, and a SCBA fill station (Level 01 Floor Plan, Page 05). Administrative elements are

94 accommodated on the first floor and include offices for Fire Department staff as well as a public meeting room (Level 01 Plans, Page 05). Firefighter living quarters and work areas are located on the second floor and include six dorms, laundry facilities, and a common room with an open floor plan that accommodates the kitchen, dining area, sitting room, and lockers (Level 02 Floor Plan, Page 06).

Meeting the programmatic needs of the Fire Department, the dirt lot north of the YMCA provides enough area for drive-through apparatus bays, on-site housing, and adequate parking. In 2017, a committee including police and fire personnel, real estate and development professionals, and residents of Ketchum evaluated 22 potential sites including publicly and privately owned land. The City-owned 0.67 acre lot on Saddle Road was deemed the best available by the committee of community members and City staff due to its size, ideal location with direct access to main routes, and no cost to the taxpayers associated with purchasing land. Neighboring Highway 75, Saddle Road, and Warm Springs Road, the site is centrally located with easy access to main routes to all service delivery areas. In order to evaluate any potential impacts to vehicular, bike, and pedestrian traffic, the City has engaged AECOM, a leading traffic engineering firm, to prepare an analysis assessing potential impacts to circulation and recommend measures to mitigate any issues if necessary.

RECOMMENDATION

Staff recommends that the Commission consider the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, deliberate, provide feedback to the applicant, and advance the Ketchum Fire Station to final Design Review by adopting the following motion:

"I move to advance the Ketchum Fire Station to final Design Review."

EXHIBIT:

- A. Ketchum Fire Station Pre-Application Design Review Submittal

Exhibit A:
Ketchum Fire Station
Pre-Application
Design Review
Submittal

January 9, 2020 January 7, 2020

Abby Rivin
Planner
City of Ketchum
PO Box 2315
Ketchum, Idaho 83340

RE: Design Review Submittal for Ketchum Fire Station

Abby and Planning and Zoning Commission:

This letter is in support of our Design Review application for the new Ketchum Fire Station. The Ketchum fire station is a new building that will replace the existing antiquated fire station facility in Ketchum. The existing facility is outdated in its functional use, is not code compliant and does not provide fire station staff a safe and healthy environment to work in.

The new fire station facility will be located at Saddle Road south of the existing work force housing complex. The site location will provide visibility for pedestrians and vehicular traffic as first responders are exiting the facility. Our project will include traffic engineering studies to assess traffic issues and safety, and to provide signalization design if deemed necessary.

The program for the new approximately 16,000 square foot 2 story facility will include the following elements: support facilities for decontamination, shop and work space, turnout and lockers, fire riser room and storage. Administrative items will include offices, public meeting and community room, restrooms, mechanical/electrical, radio room and elevator. The vehicle storage bay area is located between the service and administrative areas and will house fire trucks, brush trucks and ambulance vehicles. Dorms, dayroom, kitchen and fire fighter work areas are located on the second floor above the administrative functions.

The overall design concept is modern with durable materials. Our concept is based on clean and simple geometric forms that respond to the building program. Exterior materials will be a dark masonry at the vehicle bay area, and warm colored metal siding at the service and administrative areas with accent metal siding representing wood at service and entrance areas. The building design will blend with the work force housing to the North and YMCA to the South.

The modern design will be enhanced with flat roofs with parapet walls that will screen mechanical units. Mechanical units will be carefully placed to take advantage of the parapet walls. metal shading devises will provide sun shade and add an additional design element.

Parking for staff will be provided on site within a car port structure at the Southeast corner of the site. Additional parking for guests will be provided in a shared parking arrangement at the adjacent parking area directly to the South of the site area (currently used as park and ride lot).

Landscaping will be provided at the perimeter of the building, parking areas and at green wall areas at specific locations around the building. An enclosed trash screen wall is located on the SE corner of the site and will be accessed from the adjacent site.

Exterior lighting will follow dark sky standards and will be directed downward. Lighting design will complement the overall building design.

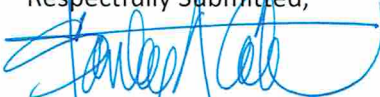
A 6'-0" fence will be constructed to screen the south parking area. The fence will be constructed as a landscape element to introduce additional landscaping. Adjacent to the parking area will be an outdoor patio that will be paved. The patio will provide an outdoor amenity for BBQ, seating, bike storage and dog walk.

The new fire station facility will be provided with a snow melt system to allow a safer site area for guests and vehicle ingress and egress.

In conclusion we feel that the new fire station 1 for Ketchum will provide a much needed public facility for the citizens of Ketchum, and that the building will provide an aesthetically pleasing design enhanced with durable materials

Thank you for the opportunity to submit our Design Review application. We are excited to assist the City of Ketchum with this project and to see the project move forward into construction. Please don't hesitate to contact us with any questions.

Respectfully Submitted,



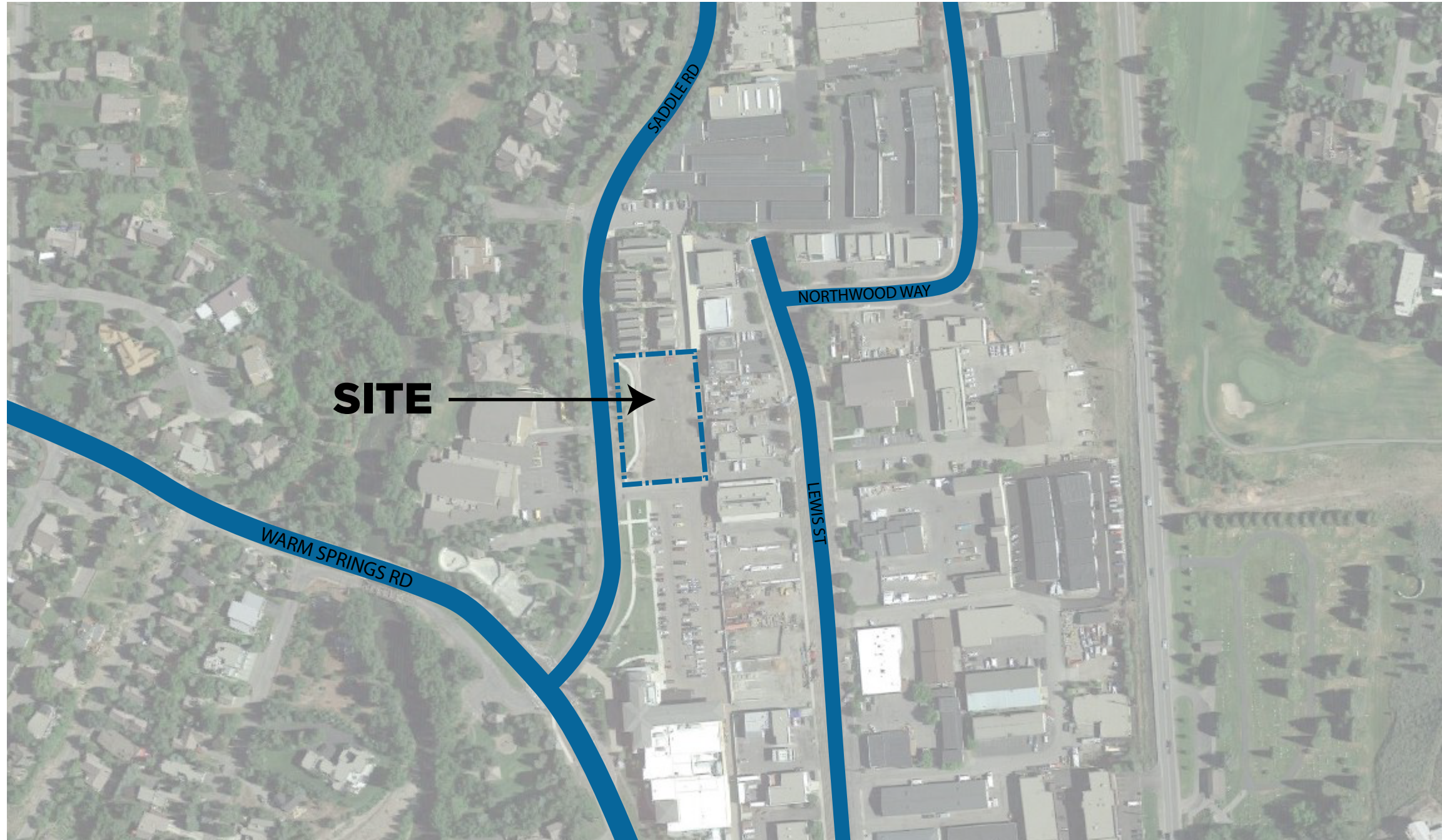
Stanley A Cole
Principal, Cole Architects

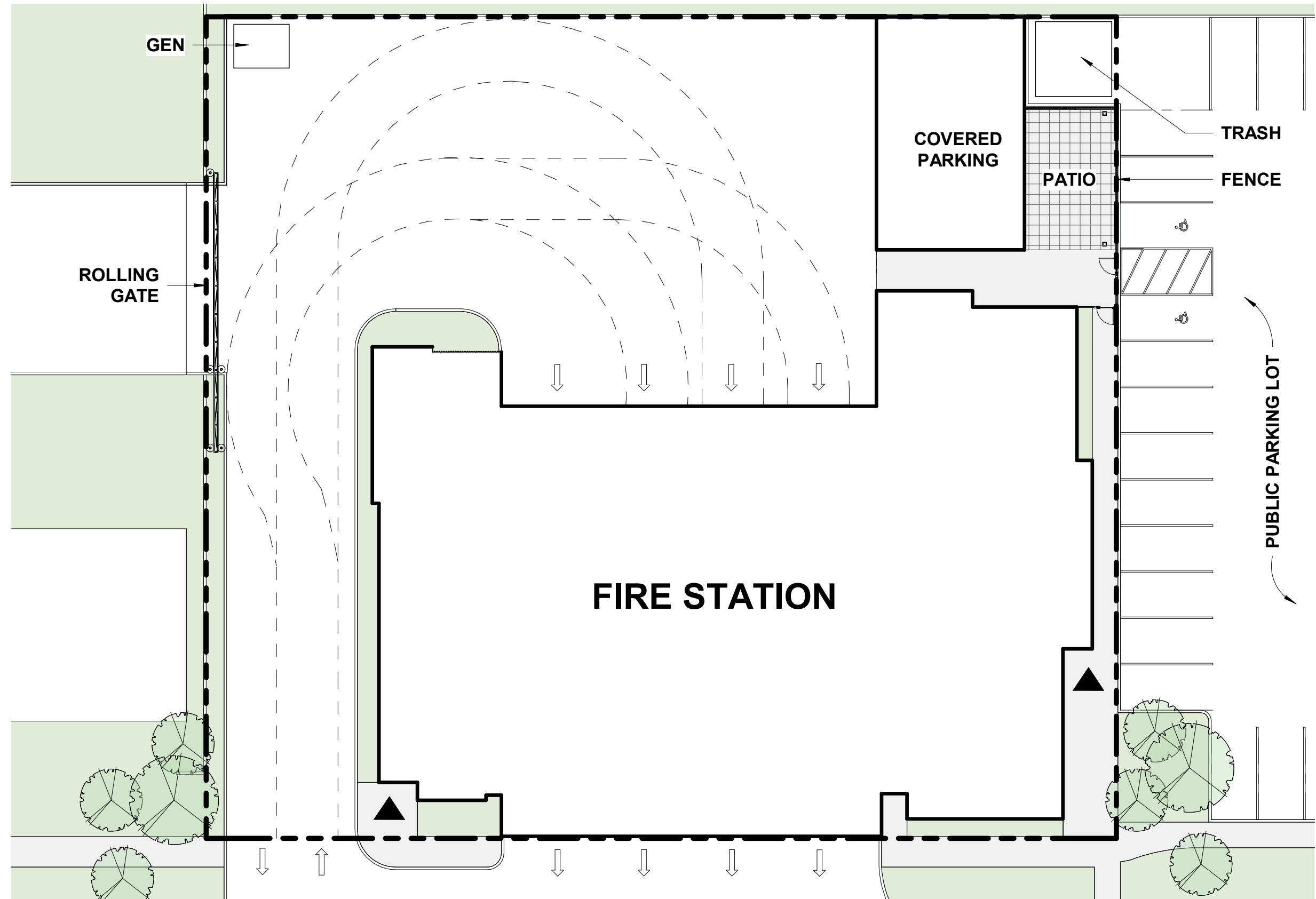
KETCHUM FIRE STATION

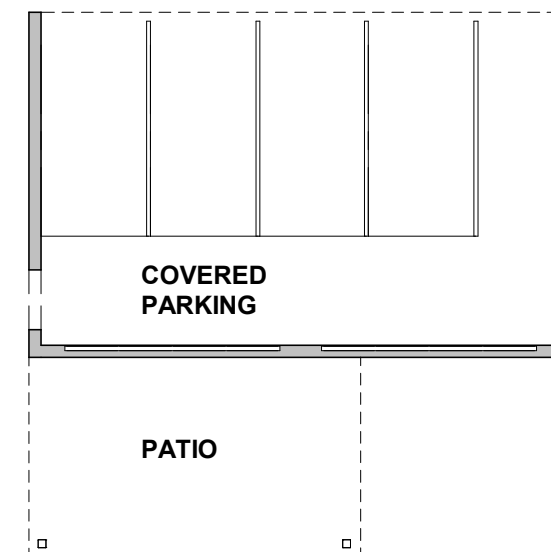
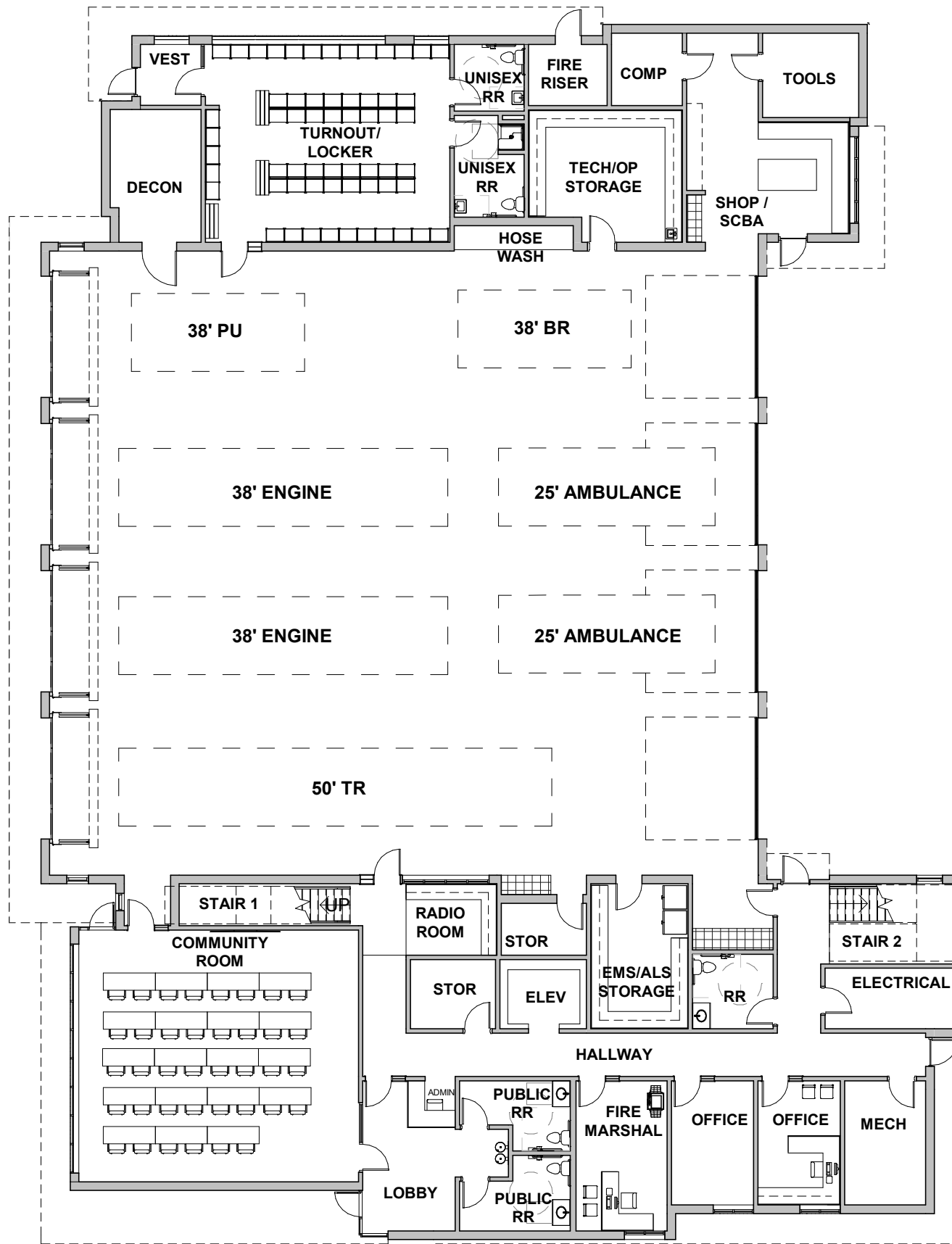
SADDLE ROAD, KETCHUM IDAHO

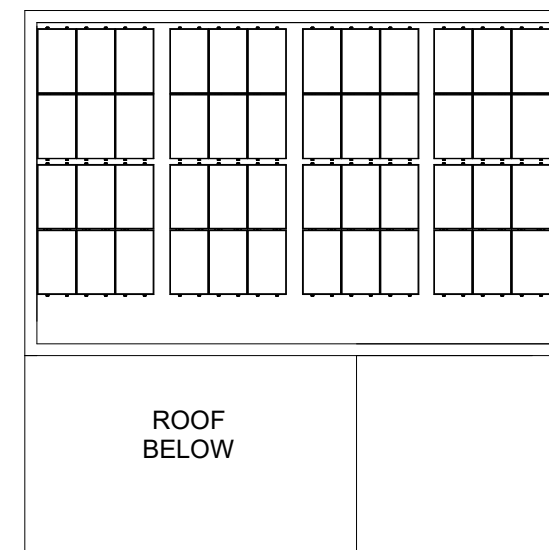
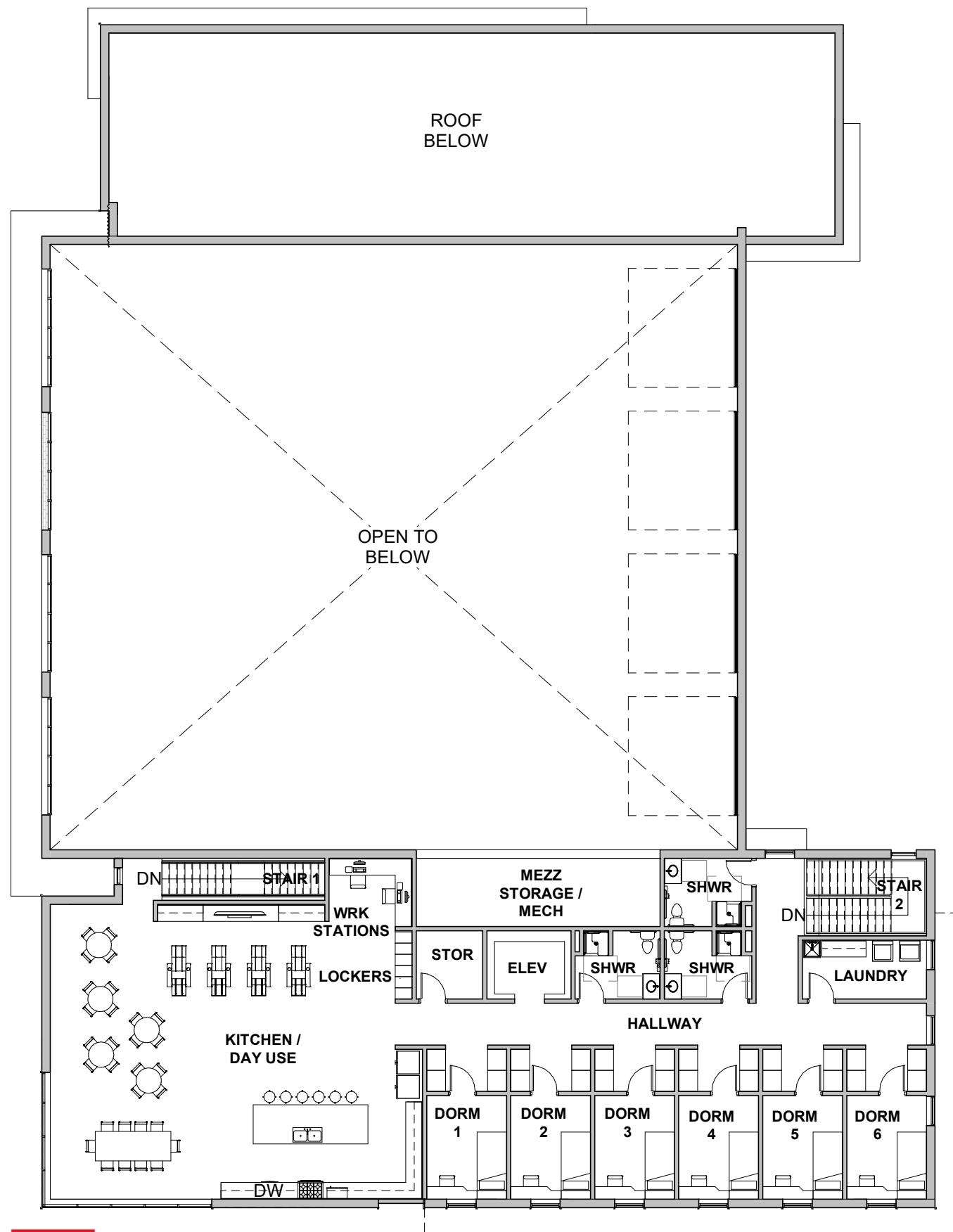
JANUARY 2, 2020

PLANS/





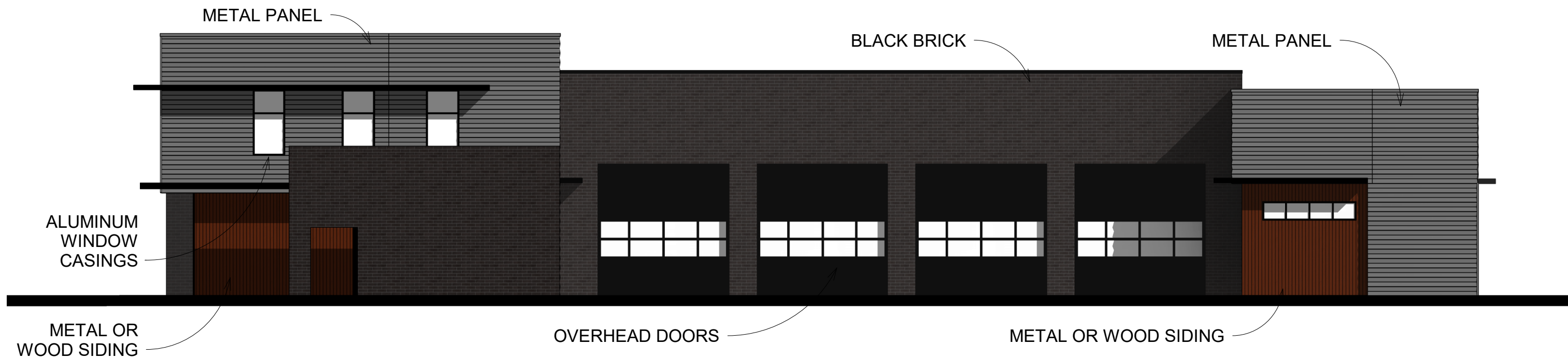




EXTERIOR ELEVATIONS/

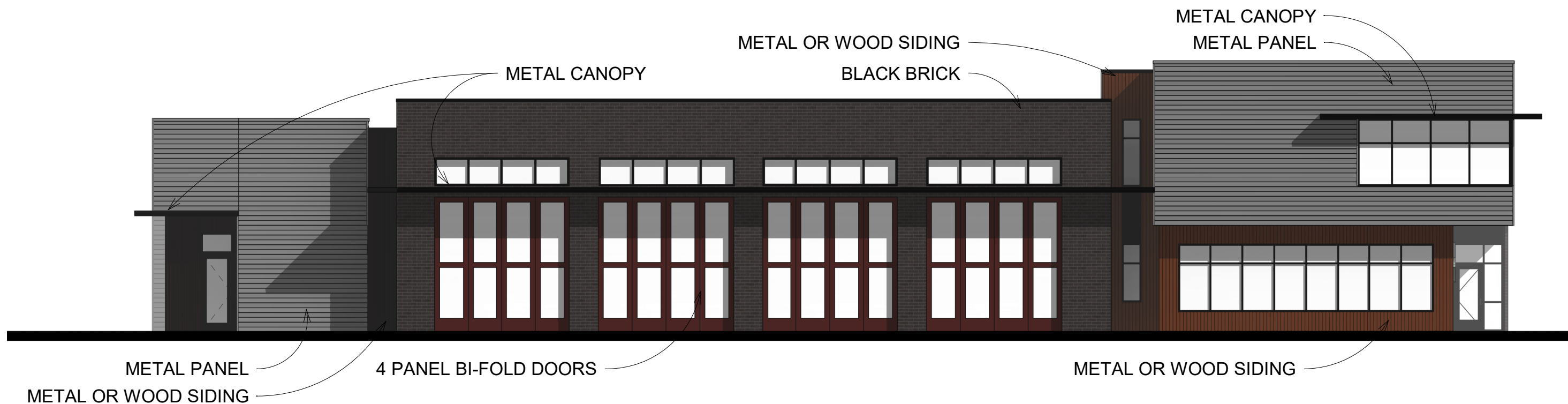
EXTERIOR ELEVATIONS/ EAST

SCALE: 3/32" = 1'-0"



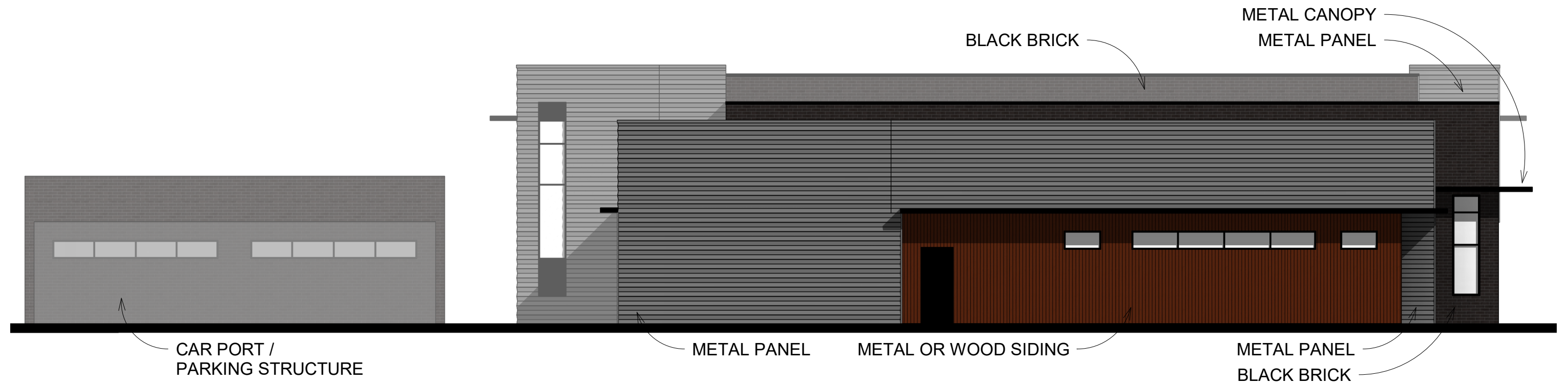
EXTERIOR ELEVATIONS/ WEST

SCALE: 3/32" = 1'-0"



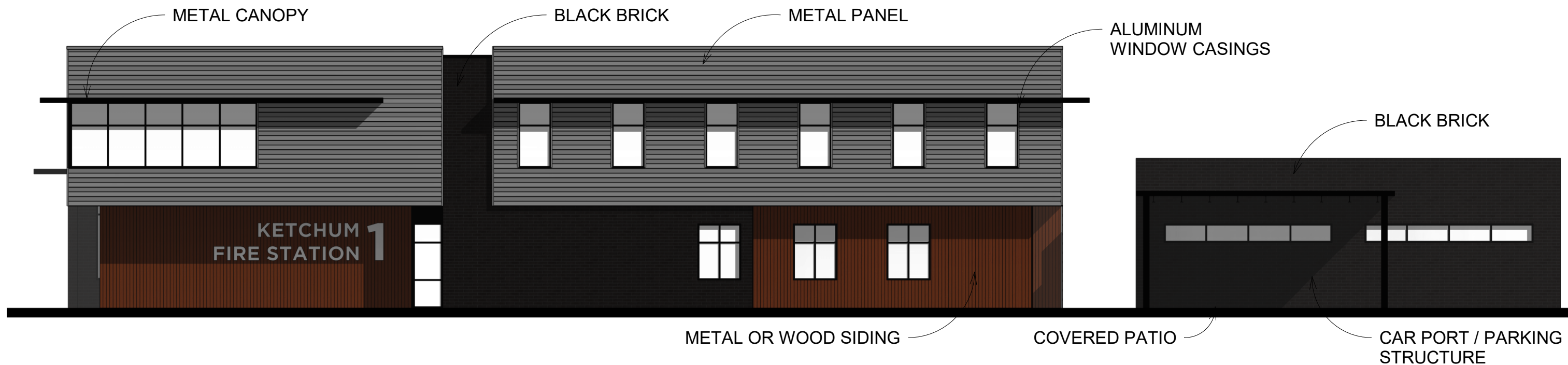
EXTERIOR ELEVATIONS/ NORTH

SCALE: 3/32" = 1'-0"



EXTERIOR ELEVATIONS/ SOUTH

SCALE: 3/32" = 1'-0"

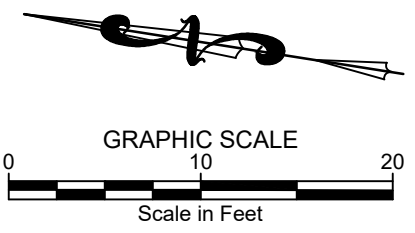
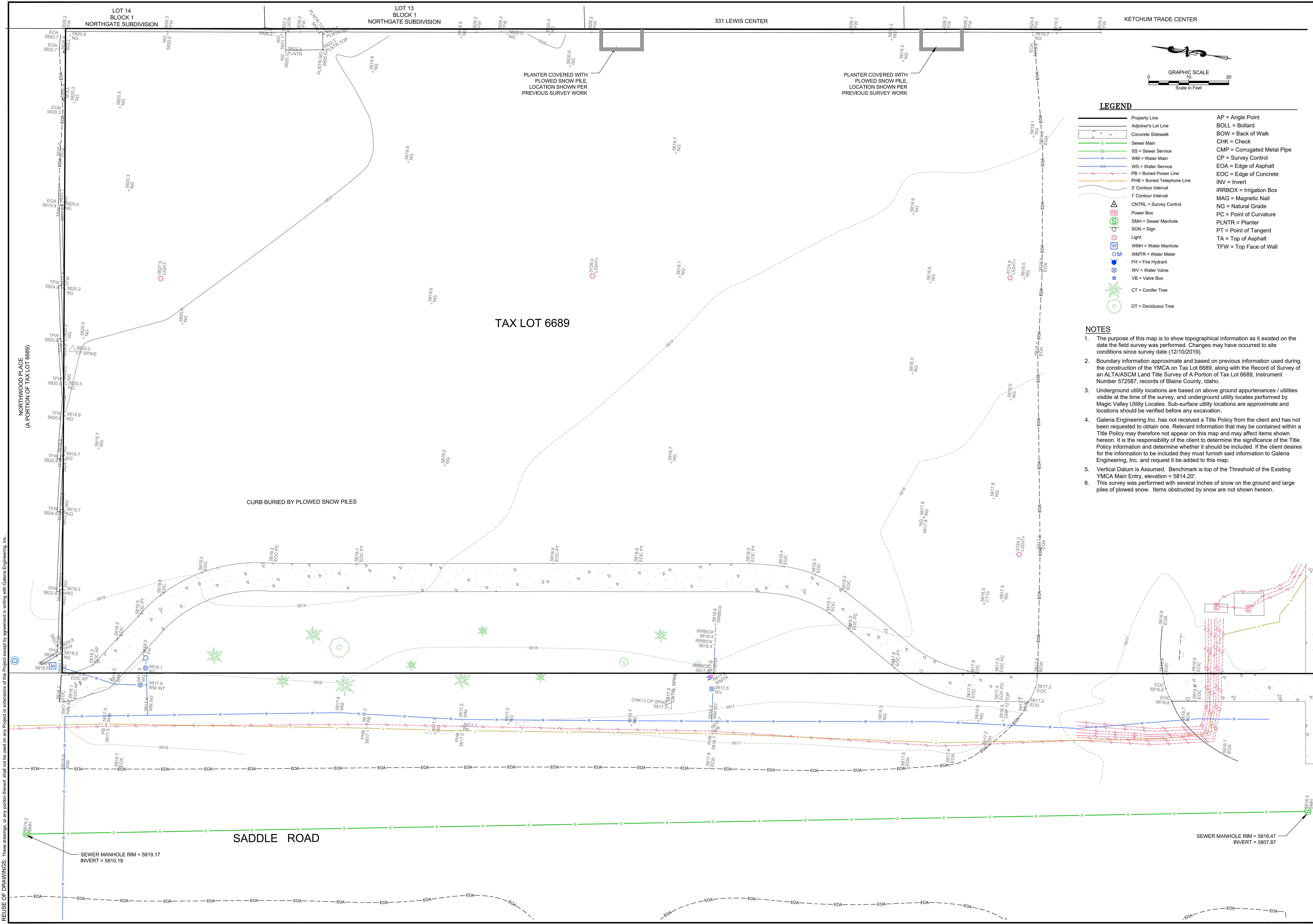


EXTERIOR PERSPECTIVES/



THANK YOU/





LEGEND

- | | | | |
|--|-----------------------------|--|-----------------------------|
| | Property Line | | AP = Angle Point |
| | Adjoiner's Lot Line | | BOLL = Bollard |
| | Concrete Sidewalk | | BOW = Back of Walk |
| | Sewer Main | | CHK = Check |
| | SS = Sewer Service | | CMP = Corrugated Metal Pipe |
| | WM = Water Main | | CP = Survey Control |
| | WS = Water Service | | EOA = Edge of Asphalt |
| | PB = Buried Power Line | | EOC = Edge of Concrete |
| | PHB = Buried Telephone Line | | INV = Invert |
| | 5' Contour Interval | | IRRBOX = Irrigation Box |
| | 1' Contour Interval | | MAG = Magnetic Nail |
| | Survey Control | | NG = Natural Grade |
| | Power Box | | PC = Point of Curvature |
| | SMH = Sewer Manhole | | PLNTR = Planter |
| | SGN = Sign | | PT = Point of Tangent |
| | Light | | TA = Top of Asphalt |
| | WMH = Water Manhole | | TFW = Top Face of Wall |
| | WMTR = Water Meter | | |
| | FH = Fire Hydrant | | |
| | WV = Water Valve | | |
| | VB = Valve Box | | |
| | CT = Conifer Tree | | |
| | DT = Deciduous Tree | | |

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/10/2019).
- Boundary information approximate and based on previous information used during the construction of the YMCA on Tax Lot 6689, along with the Record of Survey of an ALTA/ASCM Land Title Survey of A Portion of Tax Lot 6689, Instrument Number 572587, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and underground utility locations performed by Magic Valley Utility Locates. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Vertical Datum is Assumed. Benchmark is top of the Threshold of the Existing YMCA Main Entry, elevation = 5814.20'
- This survey was performed with several inches of snow on the ground and large piles of plowed snow. Items obstructed by snow are not shown hereon.

**A TOPOGRAPHIC MAP SHOWING
A PORTION OF TAX LOT 6689**

LOCATED WITHIN SECTION 12, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR THE CITY OF KETCHUM

PROJECT INFORMATION
C:\Users\1918-181\OneDrive\Topo\1315-1315topo-map.dwg 12/16/19 2:43:28 PM

MEP
DRAWN BY
SMF
CHECKED BY

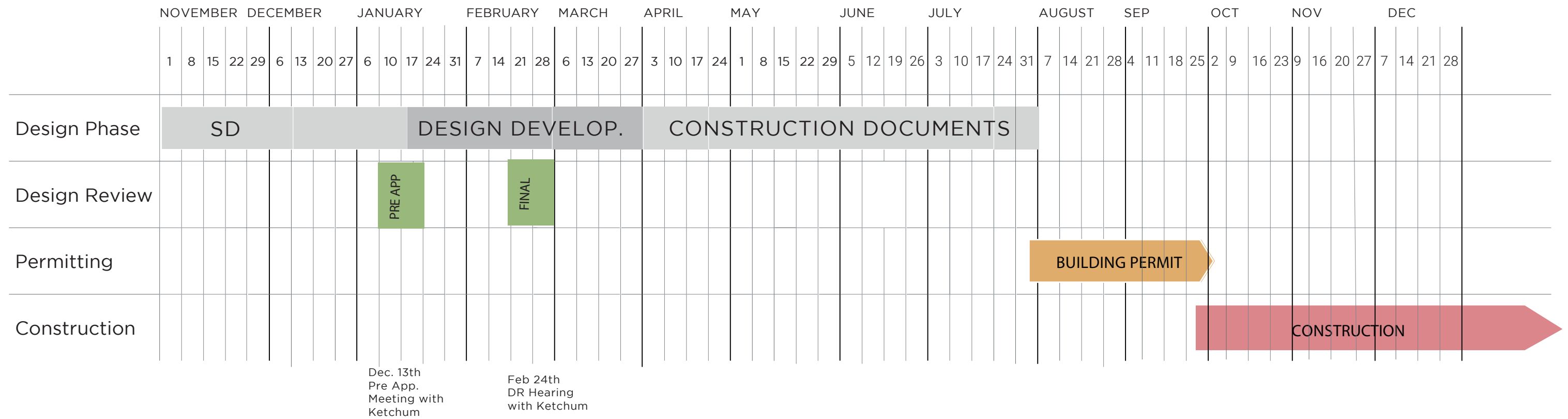
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR PERMIT		REVISIONS
NO.	DATE	BY

TOPO

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

2020





City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: 4th and Main Mixed-Use Building

FILE NUMBER: P 20-002

APPLICATION TYPE: Pre-Application Design Review

ARCHITECT: Peter Paulos, PH Architects

OWNER: Chris Ensign, Solstice Development (400 North Main LLC & Formula Investment LLC per Blaine County Assessor's Office Database)

REQUEST: Pre-Application Design Review for the development of a new four-story, 59,130 sq ft mixed-use building

LOCATION: West Half of Block 5 adjacent to Main Street between 4th & 5th Streets (Ketchum Townsite: Block 5: Lots 1, 2, 3, & 4)

ZONING: Retail Core of the Community Core (CC-1)

OVERLAY: None

NOTICE: Notice is not required for Pre-Application Design Review. Notice will be mailed to all adjacent property owners a minimum of 10 days prior to the public hearing for the final Design Review application.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND & ANALYSIS

The subject Pre-Application Design Review is for the development of a new mixed-use building located on four Ketchum Townsite lots along Main Street between 4th and 5th streets within the Retail Core of the Community Core (CC-1). The mixed-use building includes retail units fronting Main Street, an underground parking garage with 16 total parking spaces and a bike storage area, six community housing units with private entrances accessed from the alleyway, and 12 two- and three-bedroom condominium units with associated private balconies and rooftop terraces.

Pursuant to Ketchum Municipal Code (KMC) §17.96.010.A4, Design Review is required for the development of new mixed-use buildings. The project is subject to Pre-Application Design Review per Ketchum Municipal Code (KMC) §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the preliminary design concept in relation to all Design Review criteria and evaluation standards (KMC §17.96.060). A complete analysis of each evaluation standard will be included in the Staff Report for the final Design Review application.

Comprised of four Ketchum Townsite lots with a total area of 21,989 sq ft, the development site is characterized by topographical challenges including a falling slope to the west towards Main Street as well as a cross slope from north to south—the grade falls approximately 6 ft (~6%) from the alley to the front property line and slopes downhill approximately 5 ft (~2%) from 4th Street north. An existing retaining wall separates the existing development on lots 3 and 4 from the natural topography of lots 1 and 2. Within an iconic A-frame that was originally the Ketchum post office, Formula Sports is located on combined lots 3 and 4. While undeveloped, the southern half of the development site is the summer home of Irving’s Red Hots, an iconic hot dog stand serving Ketchum locals and tourists delicious dogs for over 30 years.

Maximizing the development permitted on the project site, the mixed-use building as proposed has a total Floor Area Ratio of 2.23. While the front façade extends to the property line at Main Street (the building is setback 6” from the front property line), the building footprint is setback just over 4.5 ft from the side property lines at 4th and 5th streets. Utilizing the site’s sloping grade, the building steps up the hillside towards the alleyway in accordance with the maximum building height standards for structures within the Community Core as specified in KMC 17.08.020.

HEIGHT OF BUILDING/CC DISTRICT: The greatest vertical distance of a building in the Community Core District measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within forty feet (40') of the front elevation or within thirty five feet (35') of the rear facade.

As indicated on Sheets A2.0 and A2.1 of the drawings, the maximum building height from the average front elevation is 35’-8” and the maximum building height from the average rear elevation is 41’-11”. The maximum building height from the front average elevation (5837.5’) to the fourth-floor roof (5885’) is 47.5’. The length of the front façade spans 210’-4” along Main Street. While the retail-space entryways are recessed (Sheet A1.0), the design of the front façade requires more articulation to reduce the flat mass of the vertical wall plane (Sheet A2.0).

At the north end of the Block 5 alleyway, an Idaho Power transformer with associated retaining and screening walls impede vehicular circulation. The applicant has proposed access to the underground parking garage from 5th Street. While Ketchum Municipal Code §17.96.070 and §17.125.030 require that surface parking lots be accessed from the alley and located in the rear of a building or lot, underground parking garages are not subject to the same standard. However, the Ketchum Traffic Authority recommends that no curb cuts should be permitted if there is alley access available to serve the development. The Ketchum Traffic Authority has provided the following policy recommendation pertaining to alley access versus street access:

In the downtown core and tourist zone, no curb cuts should be permitted if there is alley access. The reasons:

- Having multiple curb cuts creates safety and congestion issues. When a curb cut is off the street, people tend to stop traffic to make left turns into the driveway. Couple this with traffic accessing projects from the alley, it presents safety and congestion issues.
- Driveways intersecting sidewalks create a safety hazard for pedestrians and bicyclists. It was noted one of the highest rates of pedestrian and vehicle collisions take place at driveways. Cars making left turns into driveways typically speed up while entering a driveway because of the limited gaps in on-coming traffic. Cars turning right or left out of the driveway do not think to look for pedestrians and bicyclists.
- Mid-block driveways are counter to creating a safe and engaging pedestrian downtown.

- Driveways that traverse the sidewalk present ADA challenges. Because driveways typically have sloped aprons, this conflicts with the requirement of a maximum 2% slope for sidewalks. Driveways also break-up the elevation of the sidewalk presenting an uneven surface for people with disabilities.
- Driveways remove on-street parking that support local businesses.

Staff recommends the Planning & Zoning Commission consider the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development as well as the applicant's presentation of the site design and determine whether the proposed curb cut along 5th Street is appropriate for the proposed development.

RECOMMENDATION

Staff recommends that the Commission consider the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, deliberate, provide feedback to the applicant, and move to either:

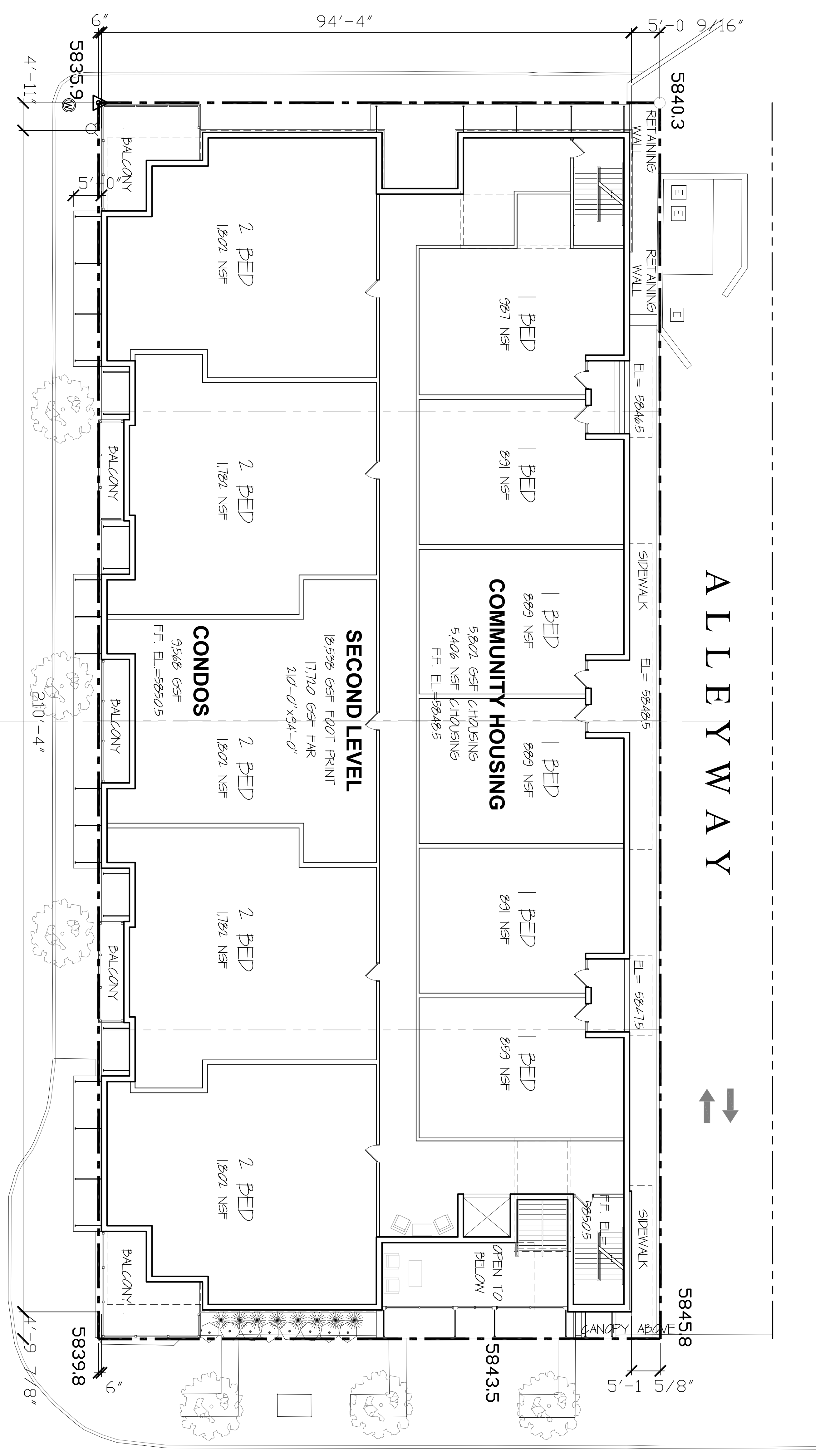
- (a) Continue the Pre-Application Design Review to a date certain and request that the applicant submit specific drawings, renderings, or information to assist in the Commission's understanding of the project and the design concept; or
- (b) Advance the 4th and Main Mixed-Use Building to final Design Review.

EXHIBITS:

- A. 4th and Main Mixed-Use Building Pre-Application Design Review Submittal

Exhibit A:
4th and Main
Mixed-Use Building
Pre-Application
Design Review
Submittal

EAST FIFTH STREET



⊕ SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

EAST FOURTH STREET

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF P H ARCHITECTS LLC, AND IS NOT TO BE USED, REPRODUCED, COPIED, OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF P H ARCHITECTS LLC.

WORK SHALL CONFORM TO APPLICABLE CODES AND REQUIREMENTS OF UTILITIES AND HAVING JURISDICTION.

DO NOT SCALE THE DRAWINGS.

VERIFY ALL DIMENSIONS IN THE FIELD REPORT DISCREPANCIES.

MIXED USE DEVELOPMENT

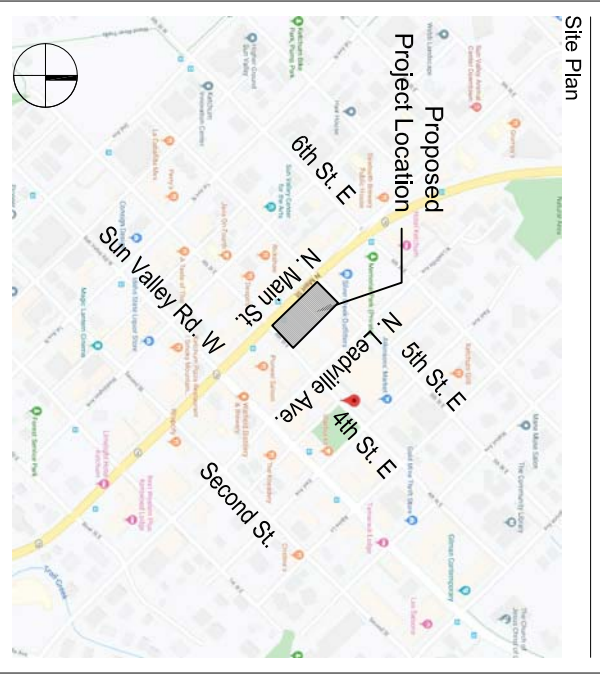
4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84417

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR 4224
MILLCREEK UT 84117



ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-425-6500 fax: 203-425-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 425-6500 fax
(203) 425-6503 fax

SECOND FLOOR PLAN

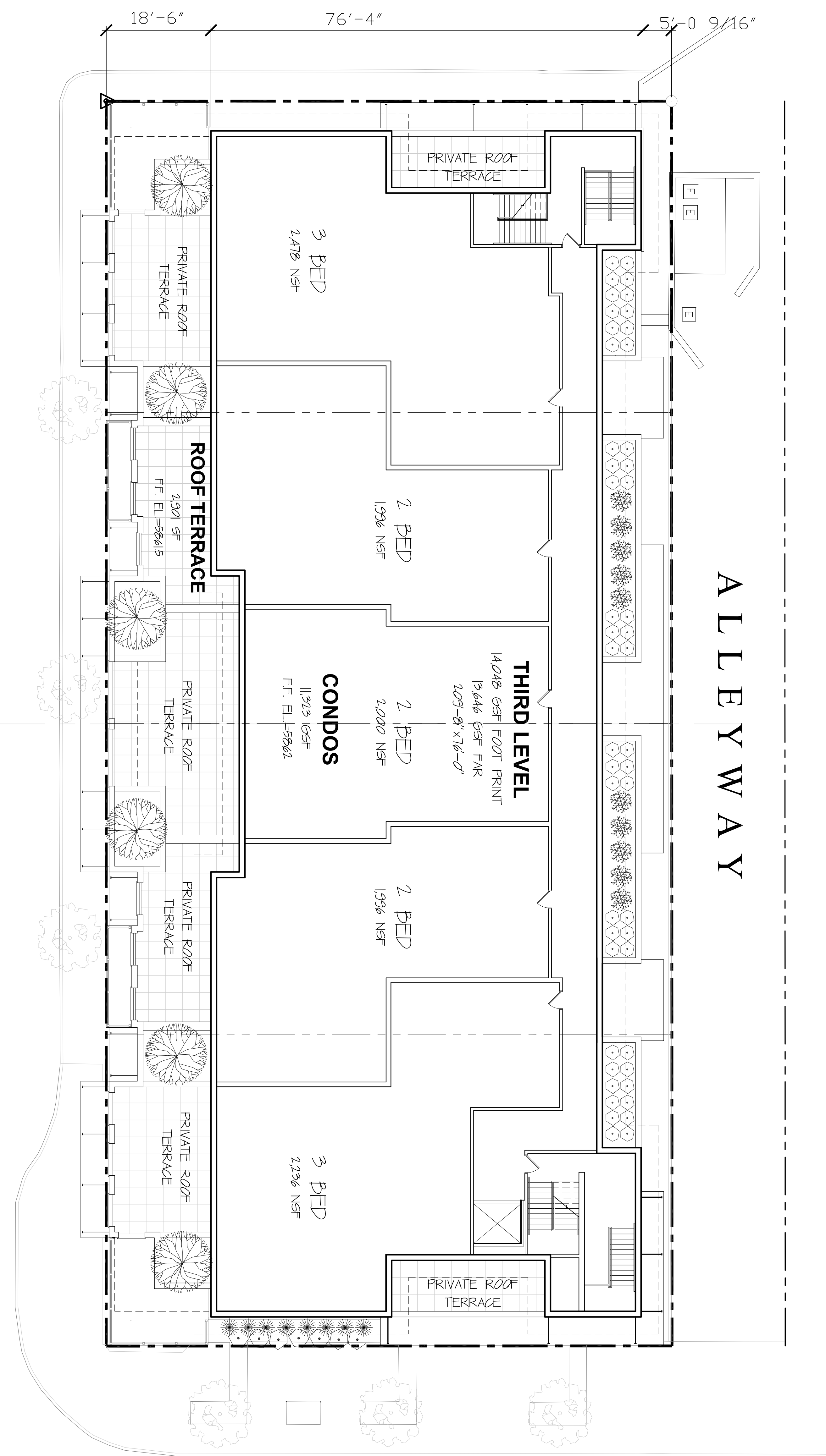
Revisions	No.	Date	Issue

Date: 10/10/19
Scale: 3/32" = 1'-0"
Sheet No.: SBZ

Project No.: 20-001
GASFLOW
base-1 floor plans
Checked:

A1.1

EAST FIFTH STREET



① THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

EAST FOURTH STREET

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF P H ARCHITECTS LLC, AND IS NOT TO BE USED, REPRODUCED, COPIED, OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF P H ARCHITECTS LLC.

WORK SHALL CONFORM TO APPLICABLE CODES AND REQUIREMENTS OF UTILITIES AND HAVING JURISDICTION. DO NOT SCALE THE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD REPORT DISCREPANCIES.

MIXED USE DEVELOPMENT

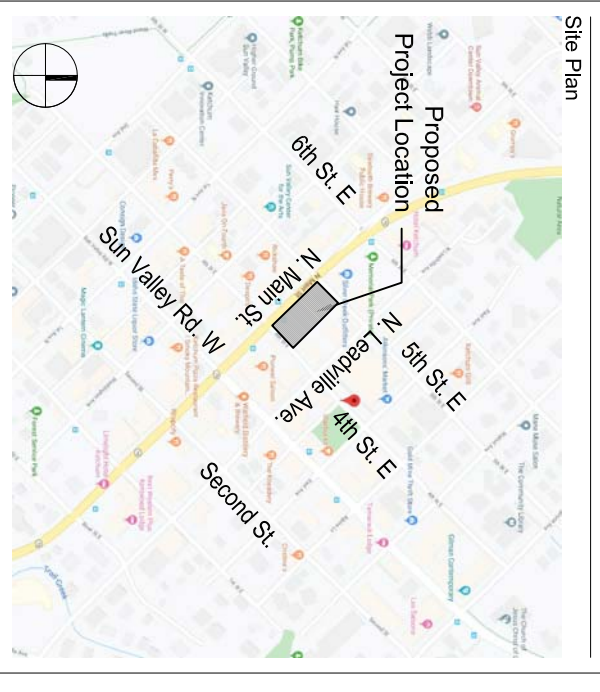
4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4886 HIGH AND DR 4224
MILLCREEK UT 84117



ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-0500 tel. 203-426-0503 fax
ph-archs.com



Project Team:
Architect and Planner:
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THIRD FLOOR PLAN

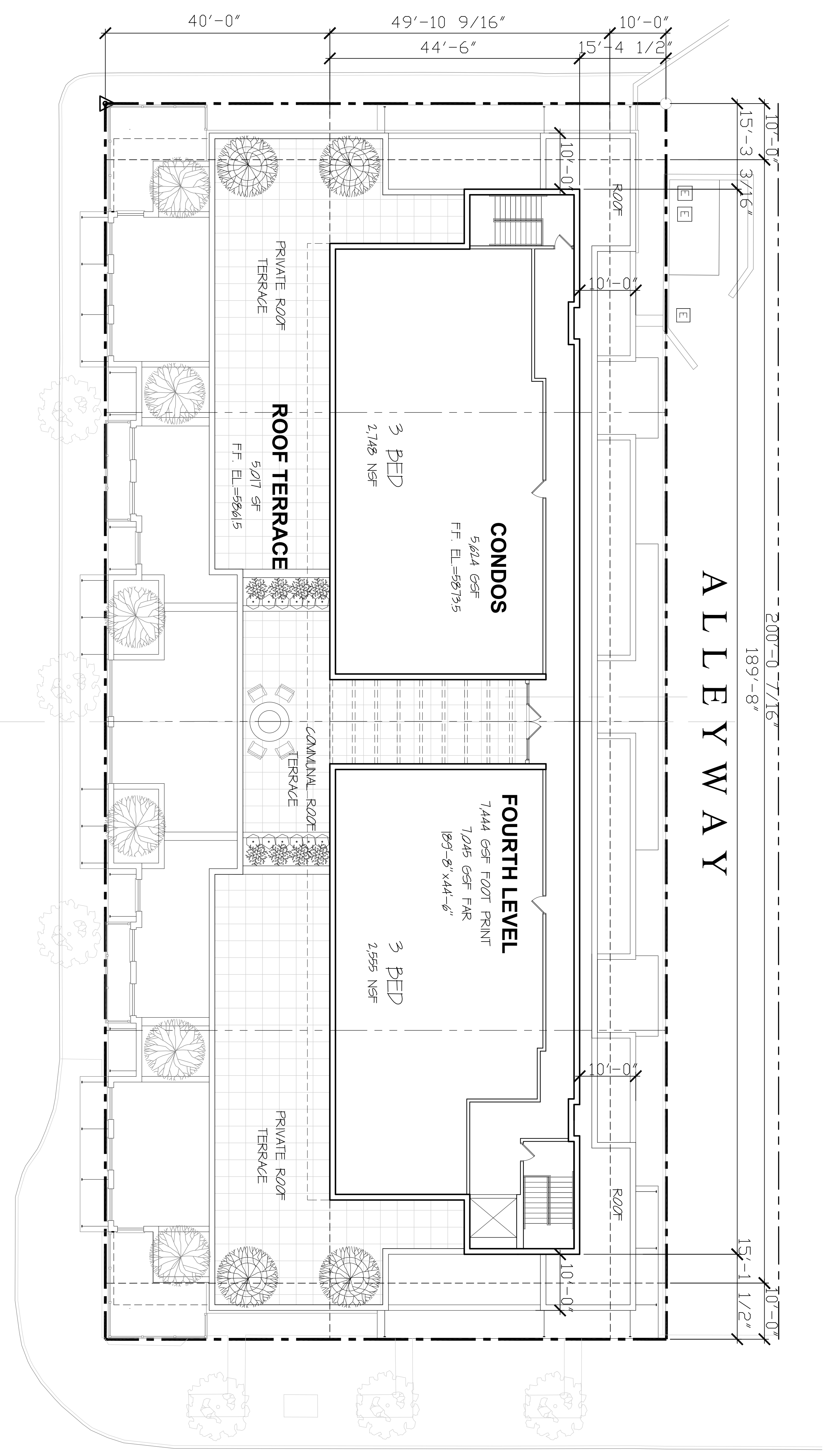
Revisions	No.	Date	Issue

Date: 10/10/19
Scale: 3/32" = 1'-0"
Sheet No.: SBZ

Project No.: 20-001
GASFLOW CONSULTANTS
base-1100r.plans
Checked:

A1.2

EAST FIFTH STREET



EAST FOURTH STREET

① FOURTH FLOOR PLAN
SCALE: 3/32"=1'-0"

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MIXED USE DEVELOPMENT

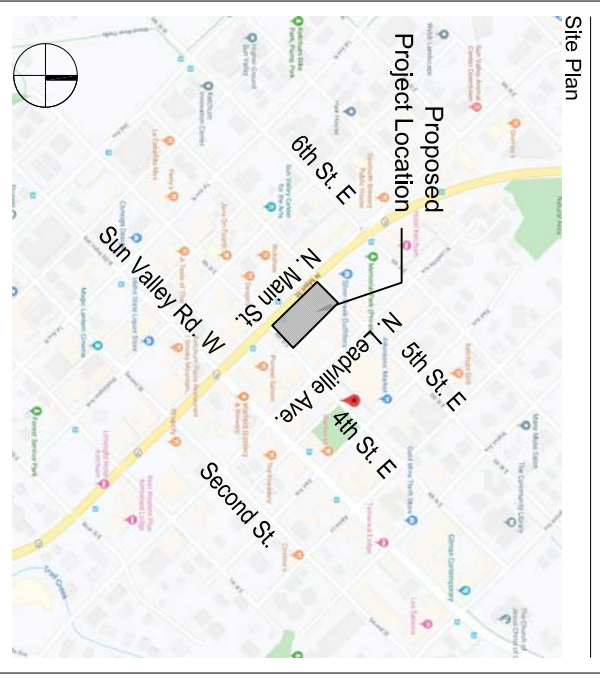
4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR. 4224
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FOURTH FLOOR PLAN

Revisions	No.	Date	Issue

Date: 10/10/19
Scale: 3/32"=1'-0"
Sheet No.: SBZ

Project No.: 20-001
GASFLOW
base-floor plans
Checked:

A1.3



EMERGENCY VEHICLE ACCESS

SCALE: 1/8"=1'-0"

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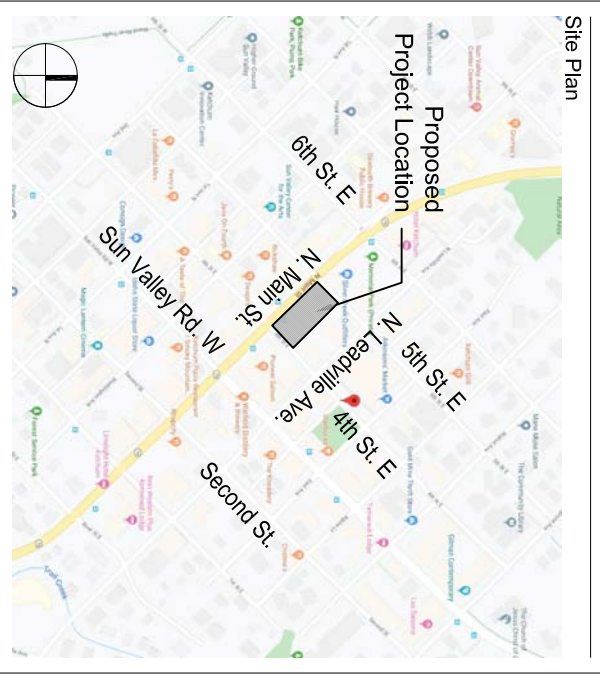
4TH & MAIN ST.
 KETCHUM, BLAINE COUNTY,
 IDAHO 84117

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 4886 HIGH AVE DR 2224
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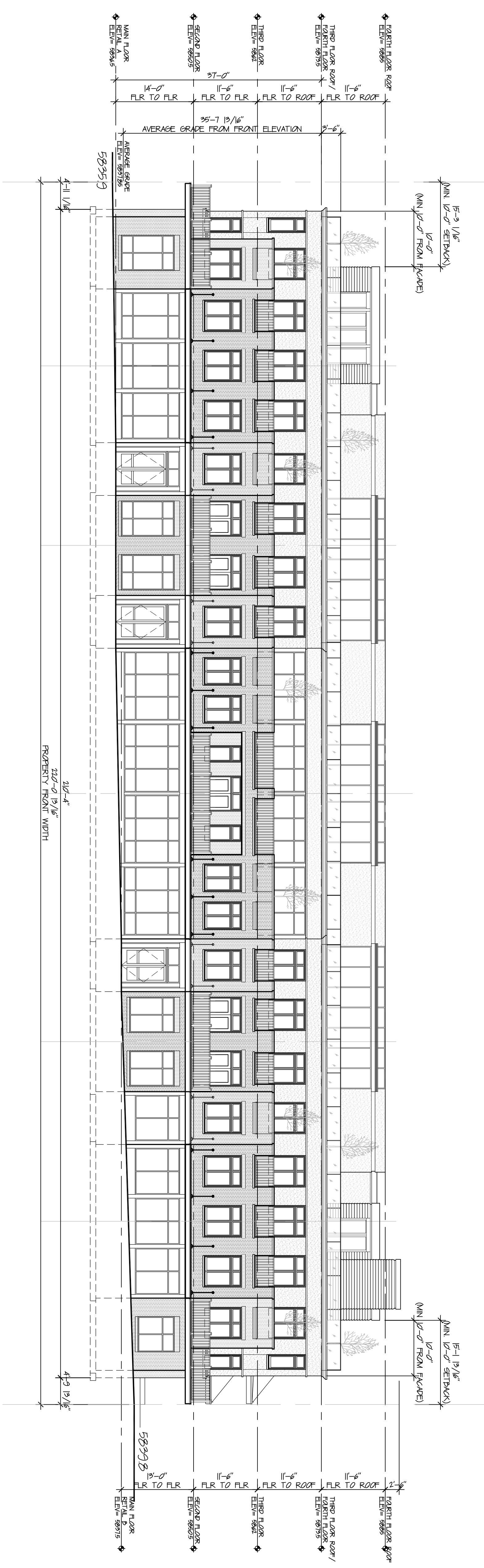
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Revisions	No.	Date	Issue

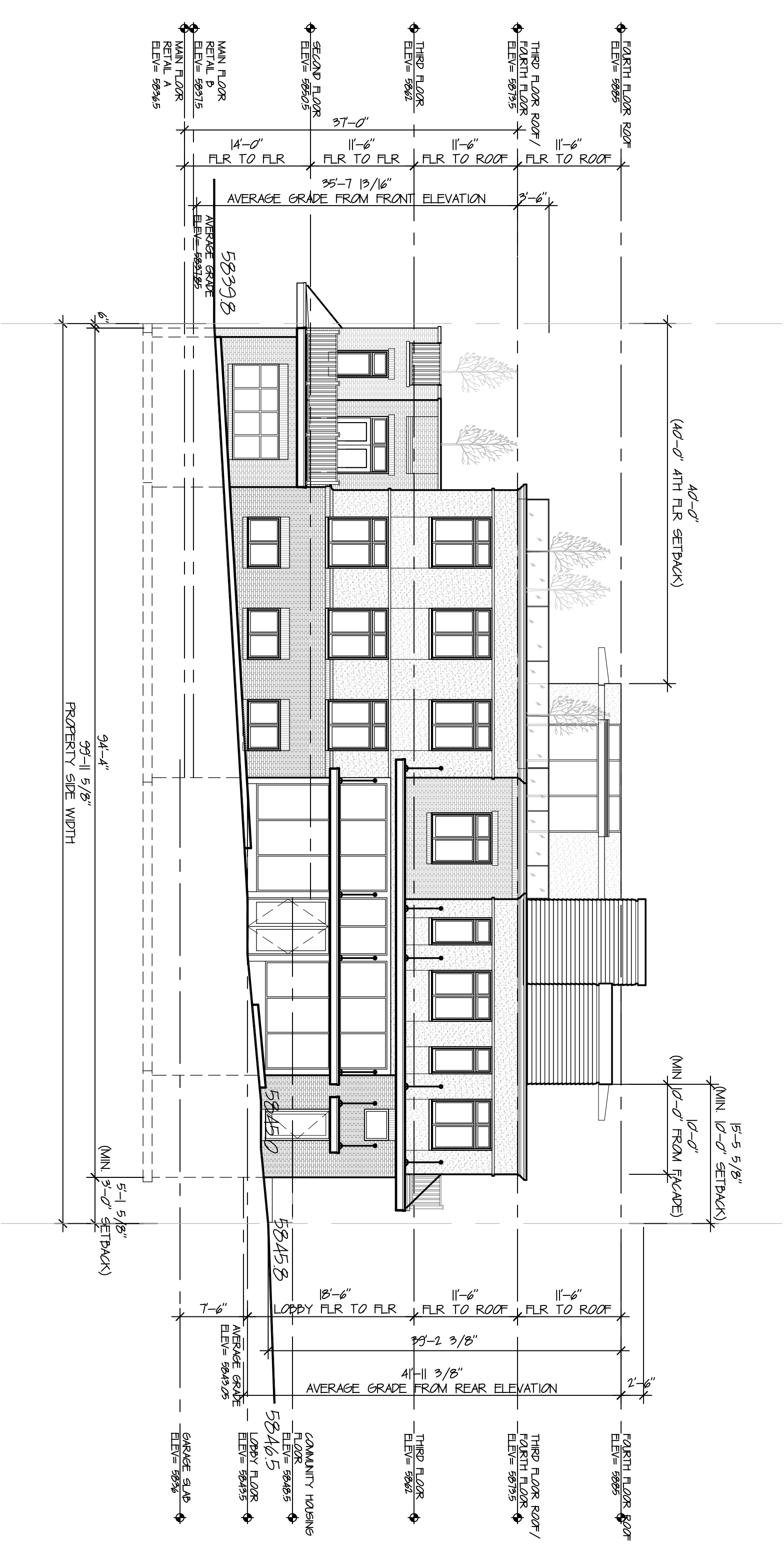
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Date: 2020/01/01
 Scale: 1/8"=1'-0"
 Designer: SBZ
 Sheet No.: A1.4

A1.4



1 FRONT EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (SOUTH)
SCALE: 3/32"=1'-0"

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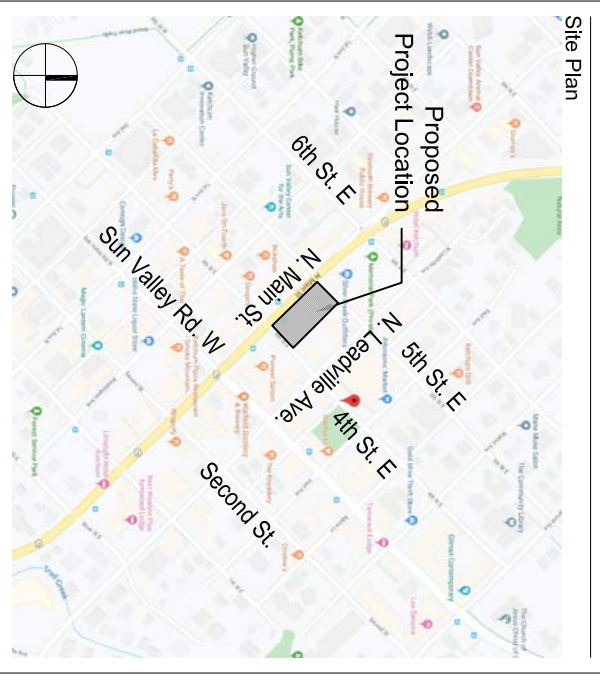
4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
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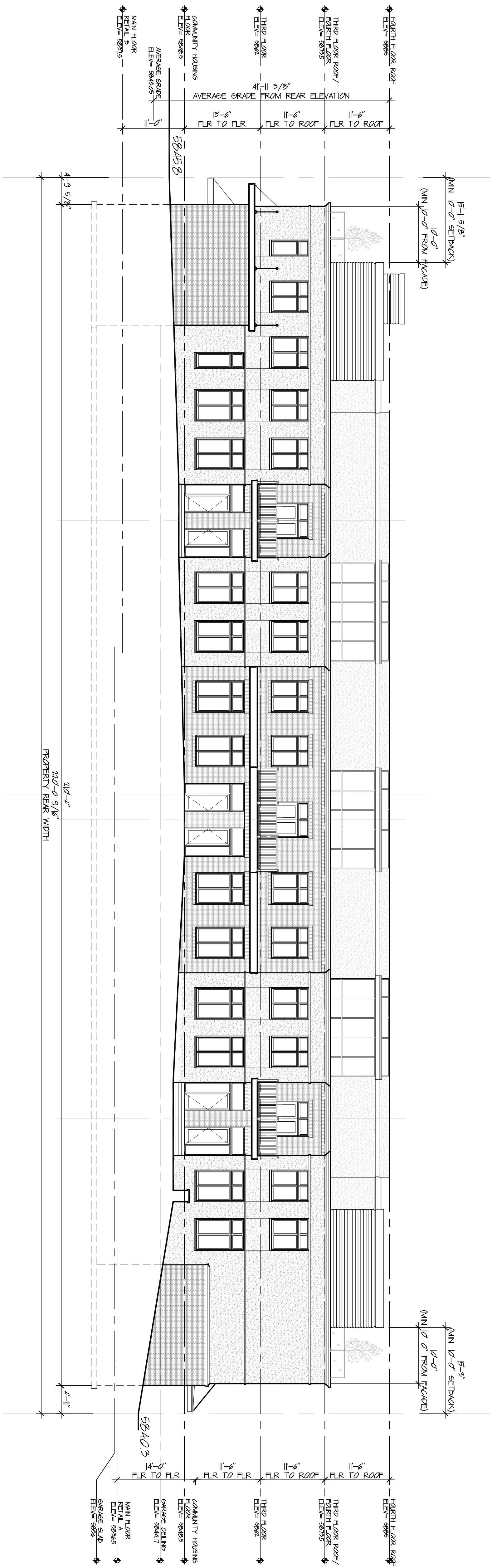
Revisions	No.	Date	Issue

FRONT & SIDE EXTERIOR ELEVATIONS

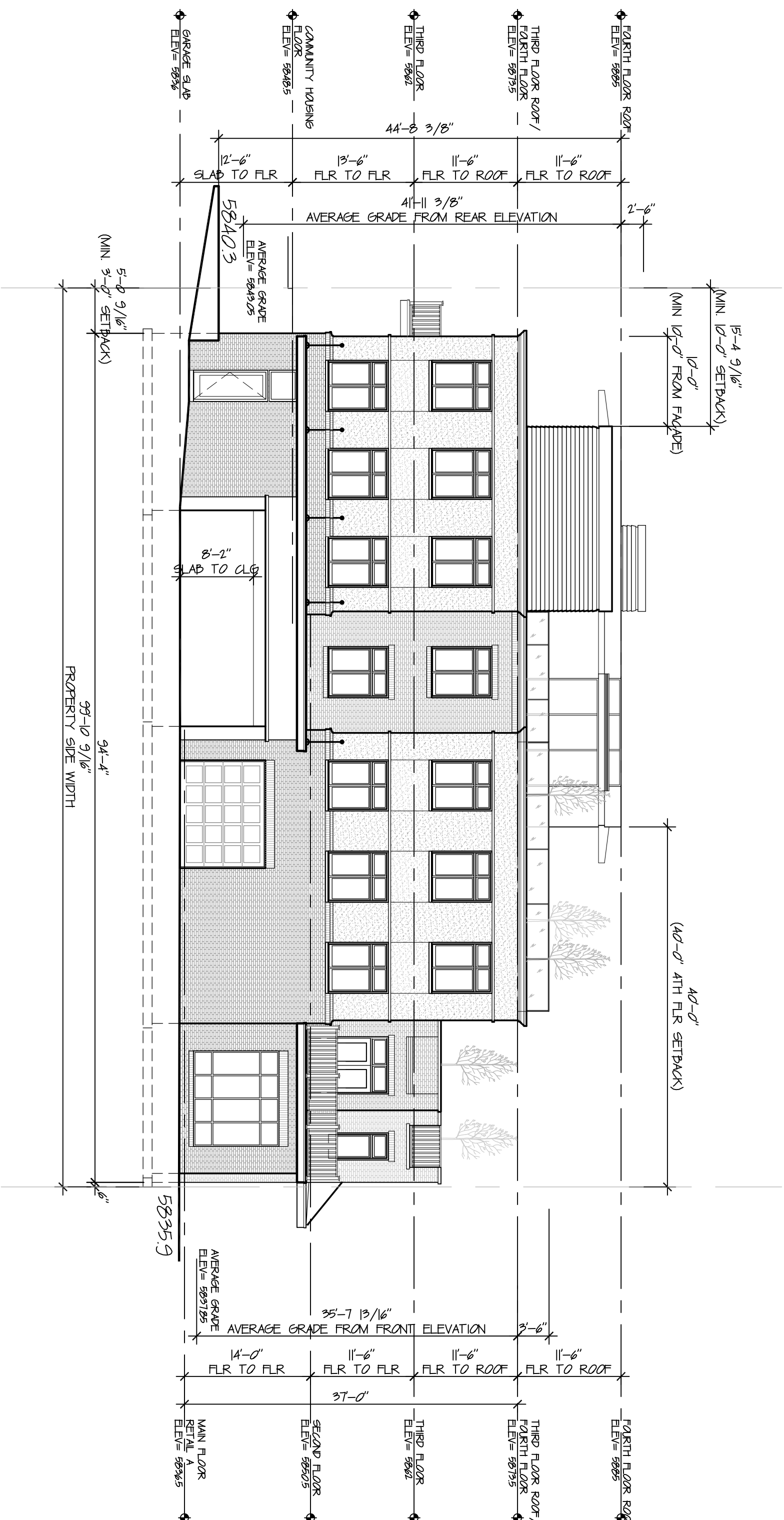
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Scale: 3/32"=1'-0"
Sheet: SBZ

Project No.: 10-001
Designer: GAG
Checker: ext elev.

A2.0



1 REAR EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (NORTH)
SCALE: 3/32"=1'-0"

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MIXED USE DEVELOPMENT

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KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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(203) 428-0303 fax

Revisions	No.	Date	Issue

REAR & SIDE EXTERIOR ELEVATIONS

Date: 10/10/17
Scale: 3/32"=1'-0"
Designer: SBZ
Sheet No.:

Project No.: 20-001
GAS RSL elev.
baser-extl elev.
Checklist:

A2.1

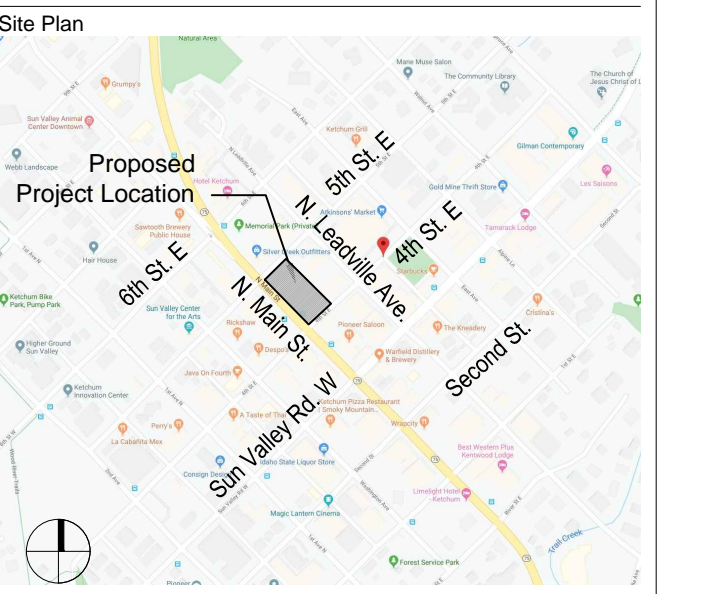
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4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

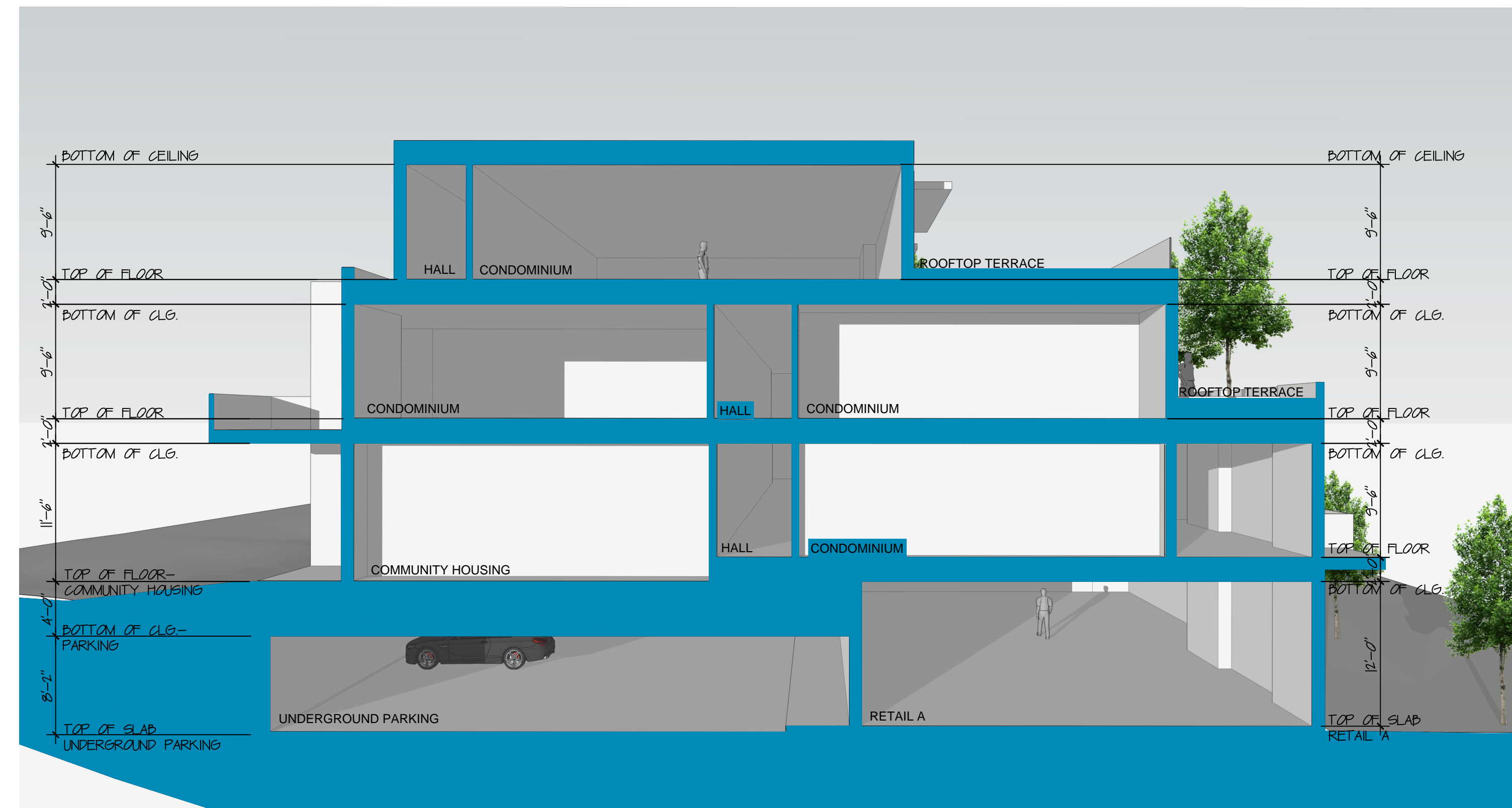
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

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ARCHITECTS

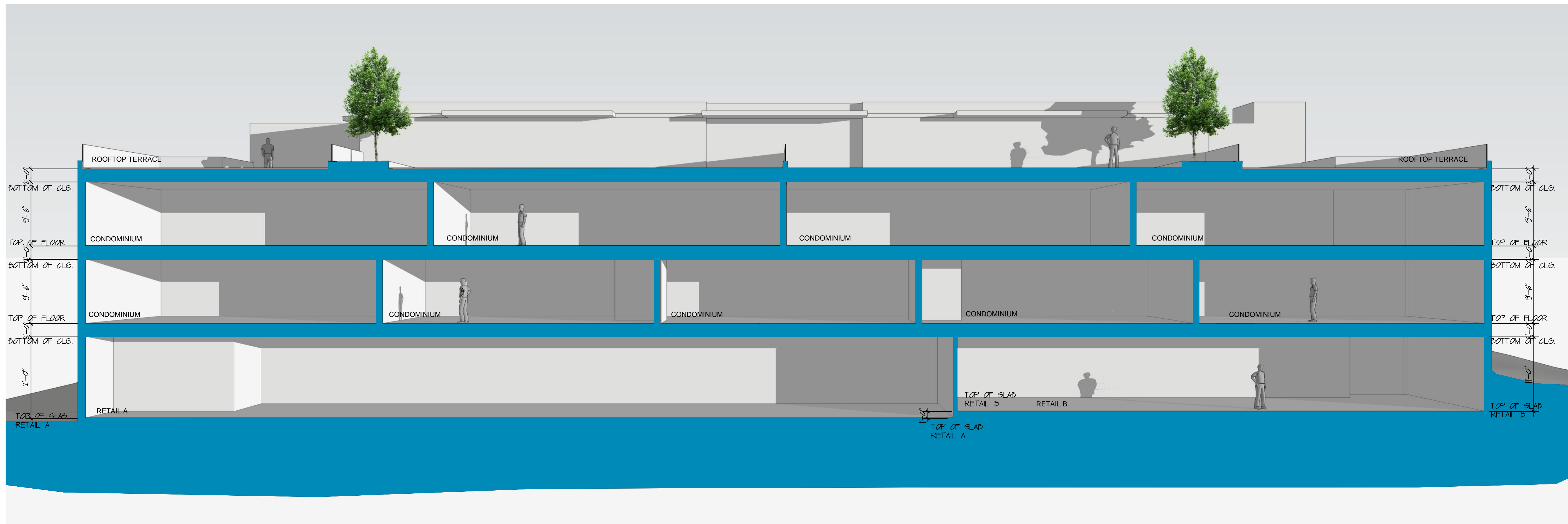
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2 BUILDING SECTION-RETAIL A
SCALE: 1/8"=1'-0"



1 LONGITUDINAL BUILDING SECTION
SCALE: 1/8"=1'-0"

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Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2010/1/17 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.: A3.0

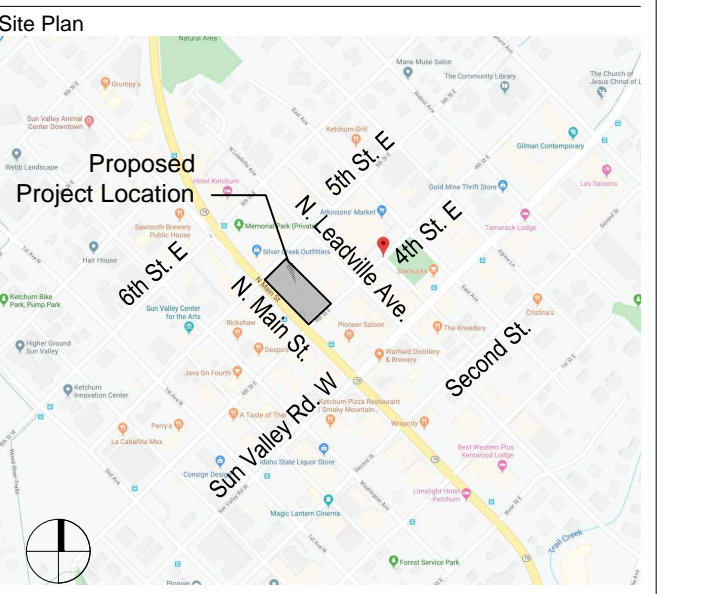
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IDAHO 84117

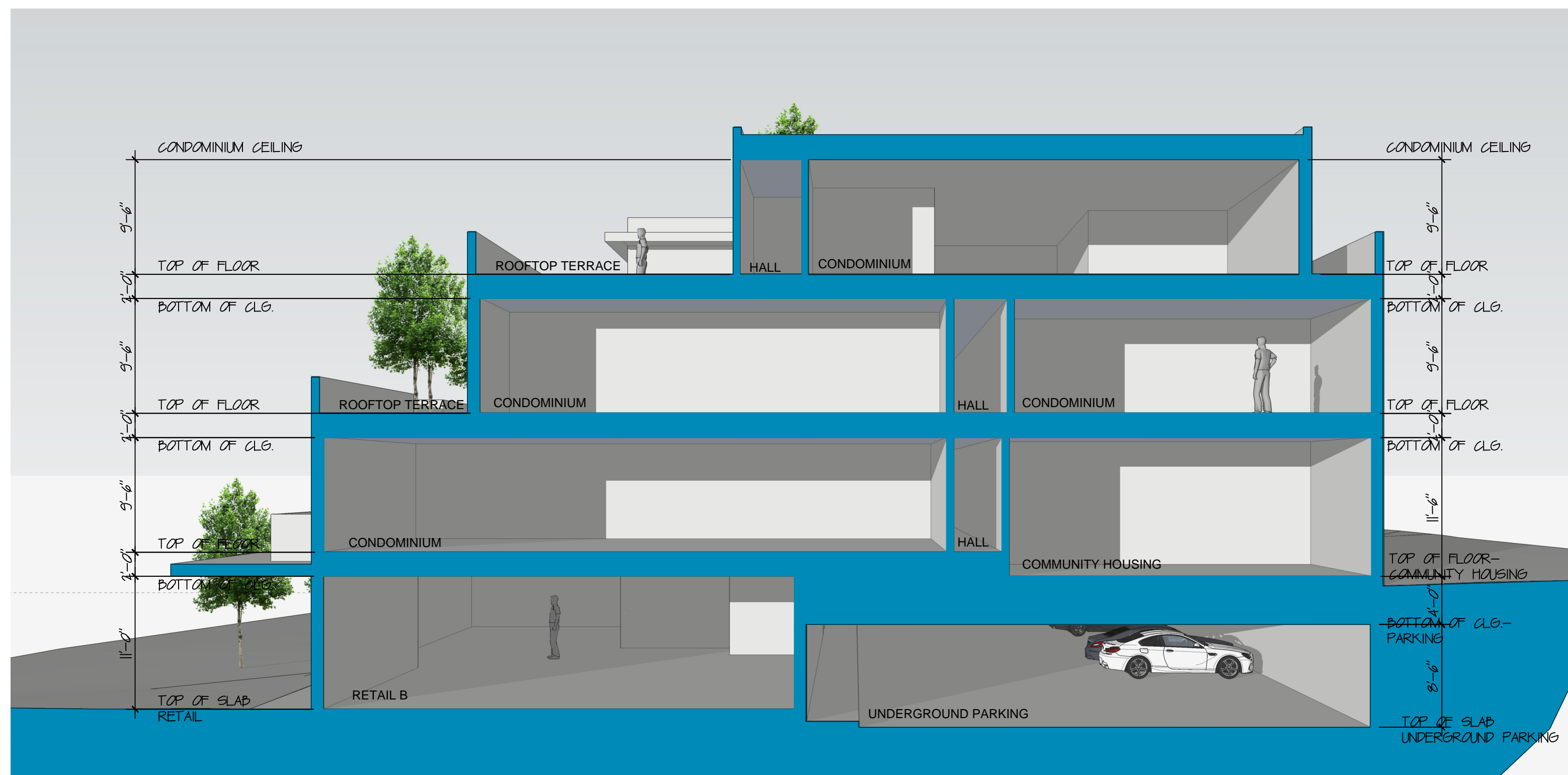
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BUILDING SECTION-RETAIL B
SCALE: 1/8"=1'-0"

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Seal

Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2019/12/20 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.:

A3.1

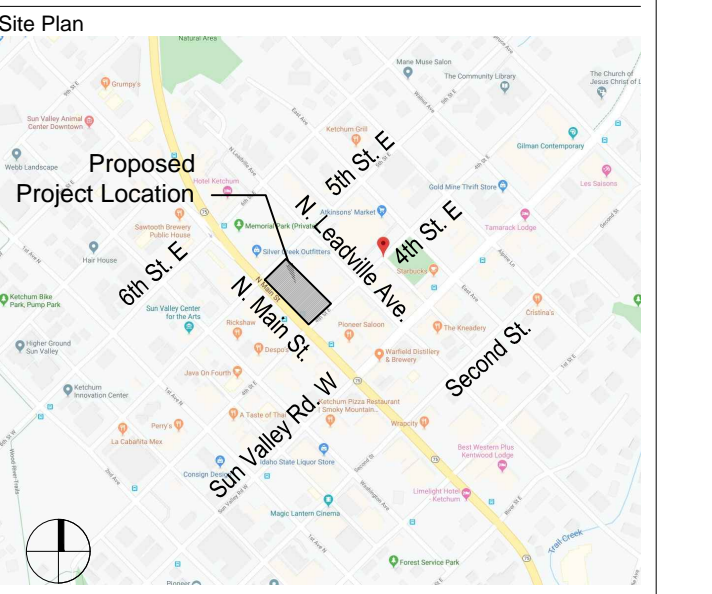
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KETCHUM, BLAINE COUNTY,
IDAHO 84117

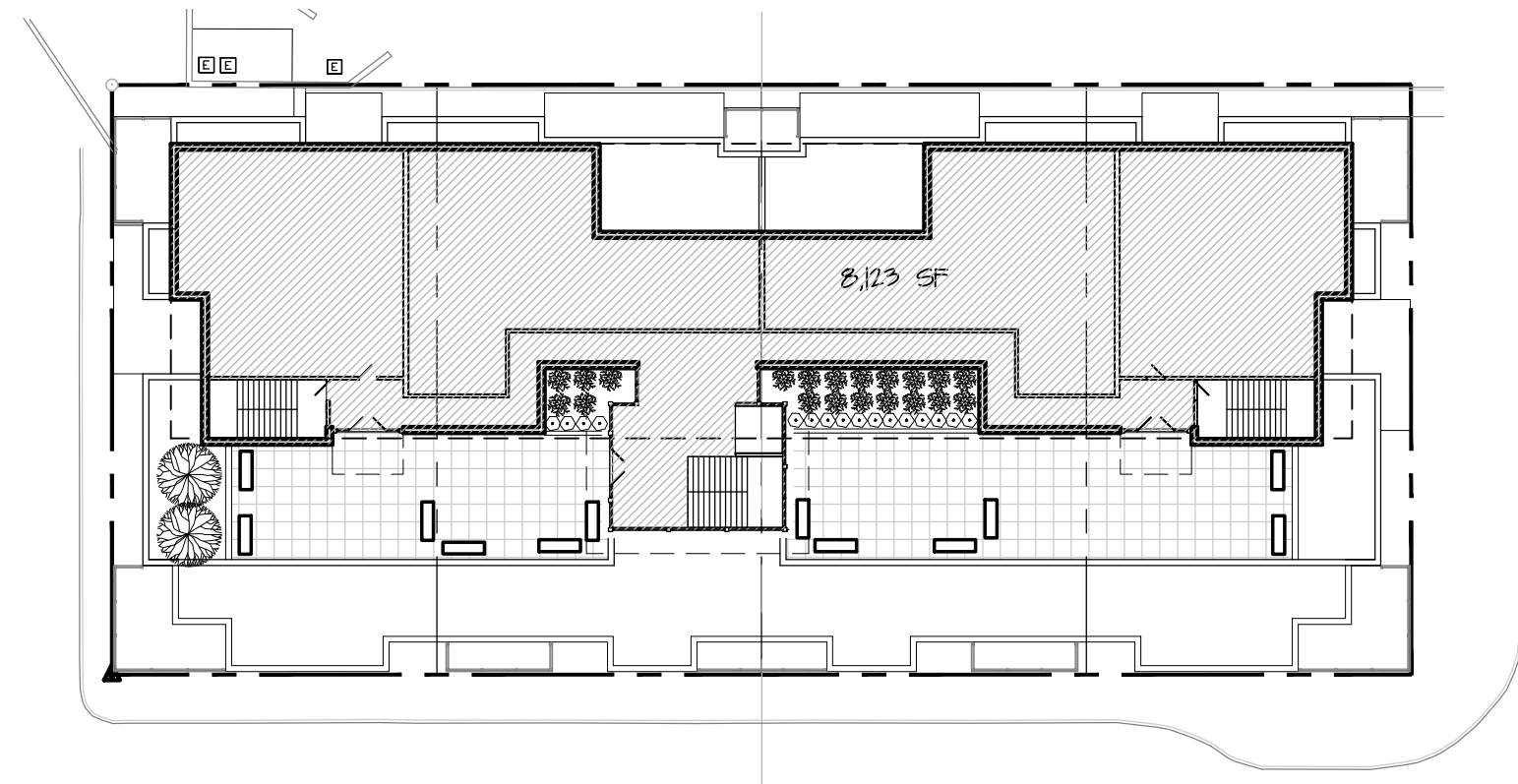
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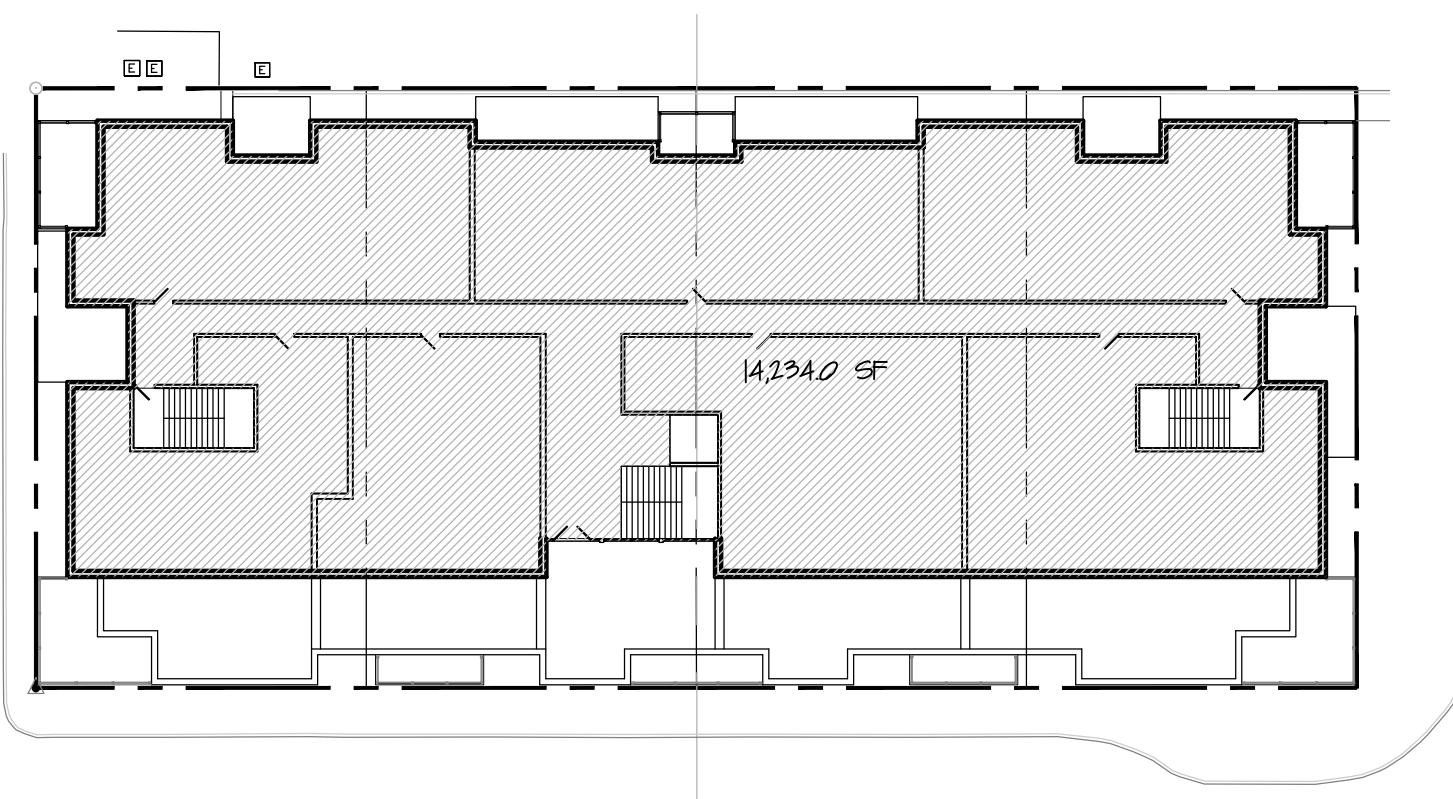
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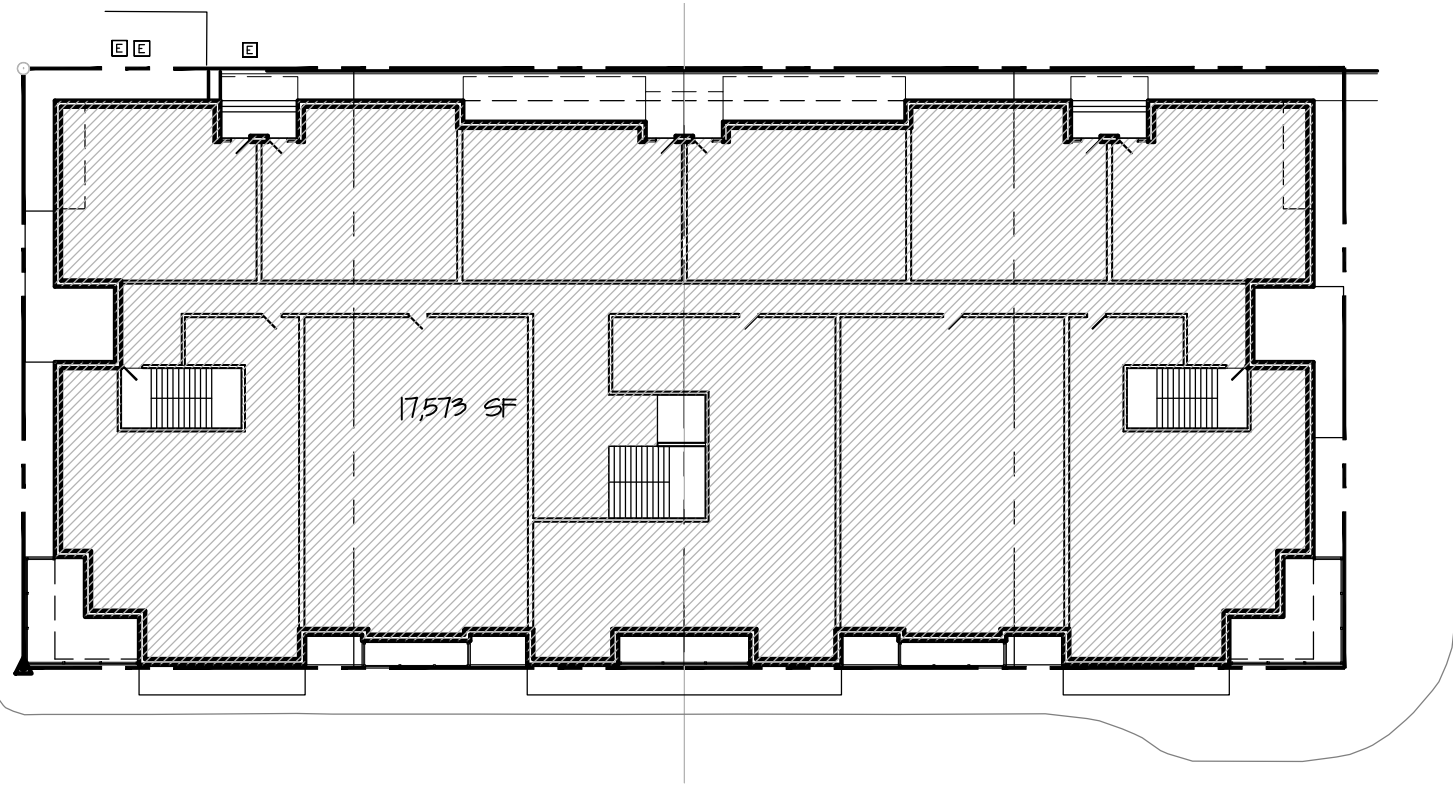
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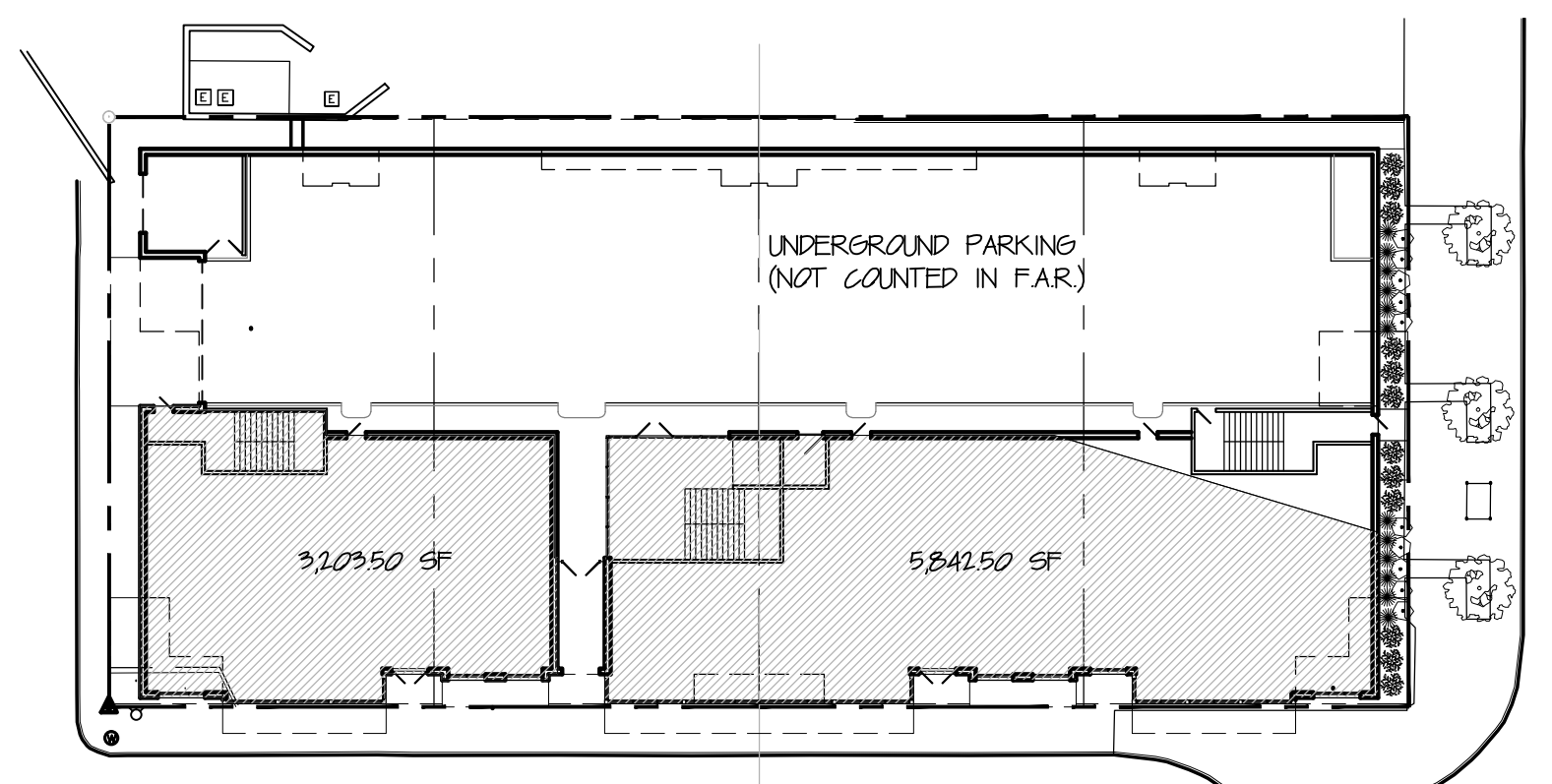
6 FOURTH FLOOR F.A.R.
SCALE: 1/32"=1'-0"



5 THIRD FLOOR F.A.R.
SCALE: 1/32"=1'-0"



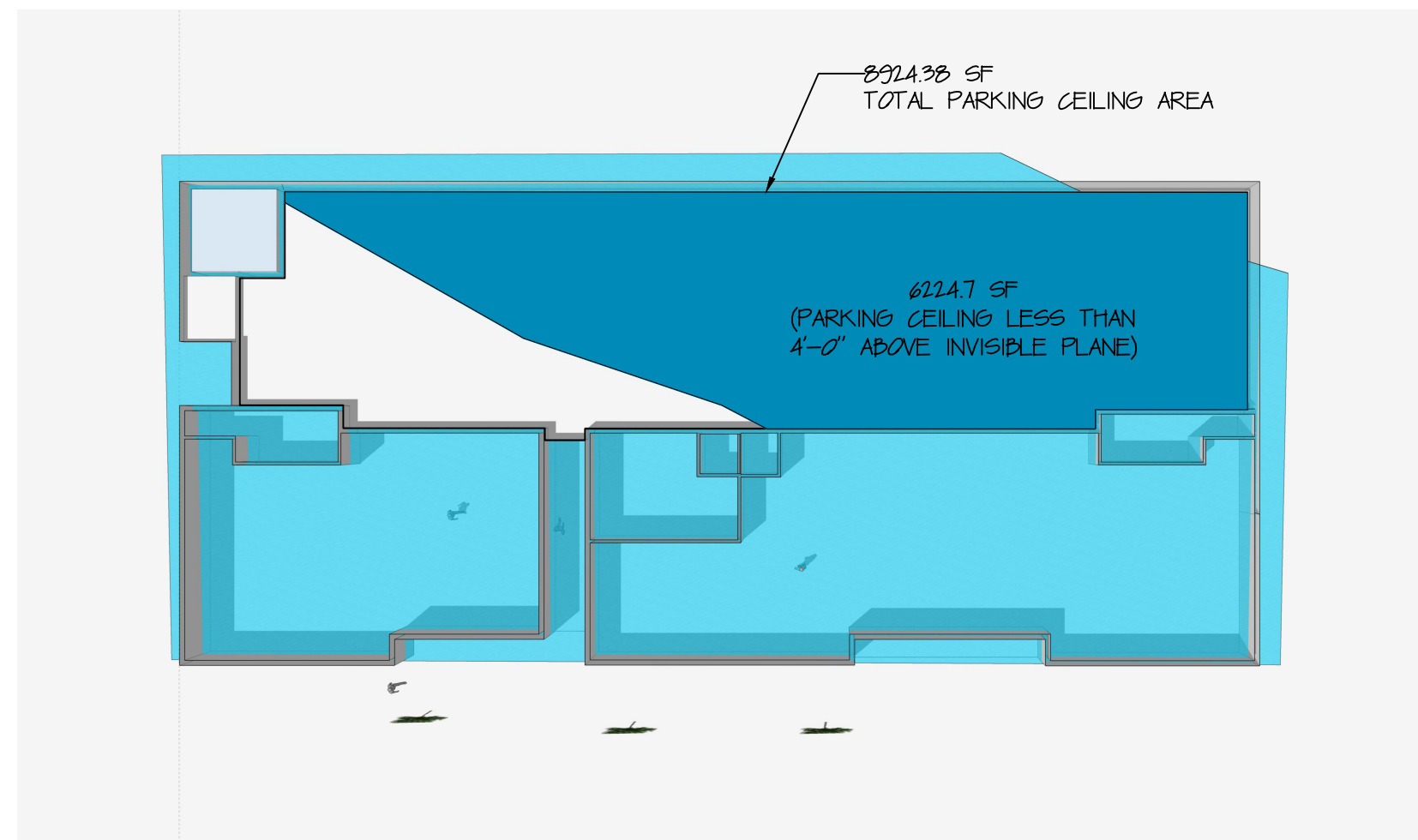
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SCALE: 1/32"=1'-0"



3 FIRST FLOOR F.A.R.
SCALE: 1/32"=1'-0"

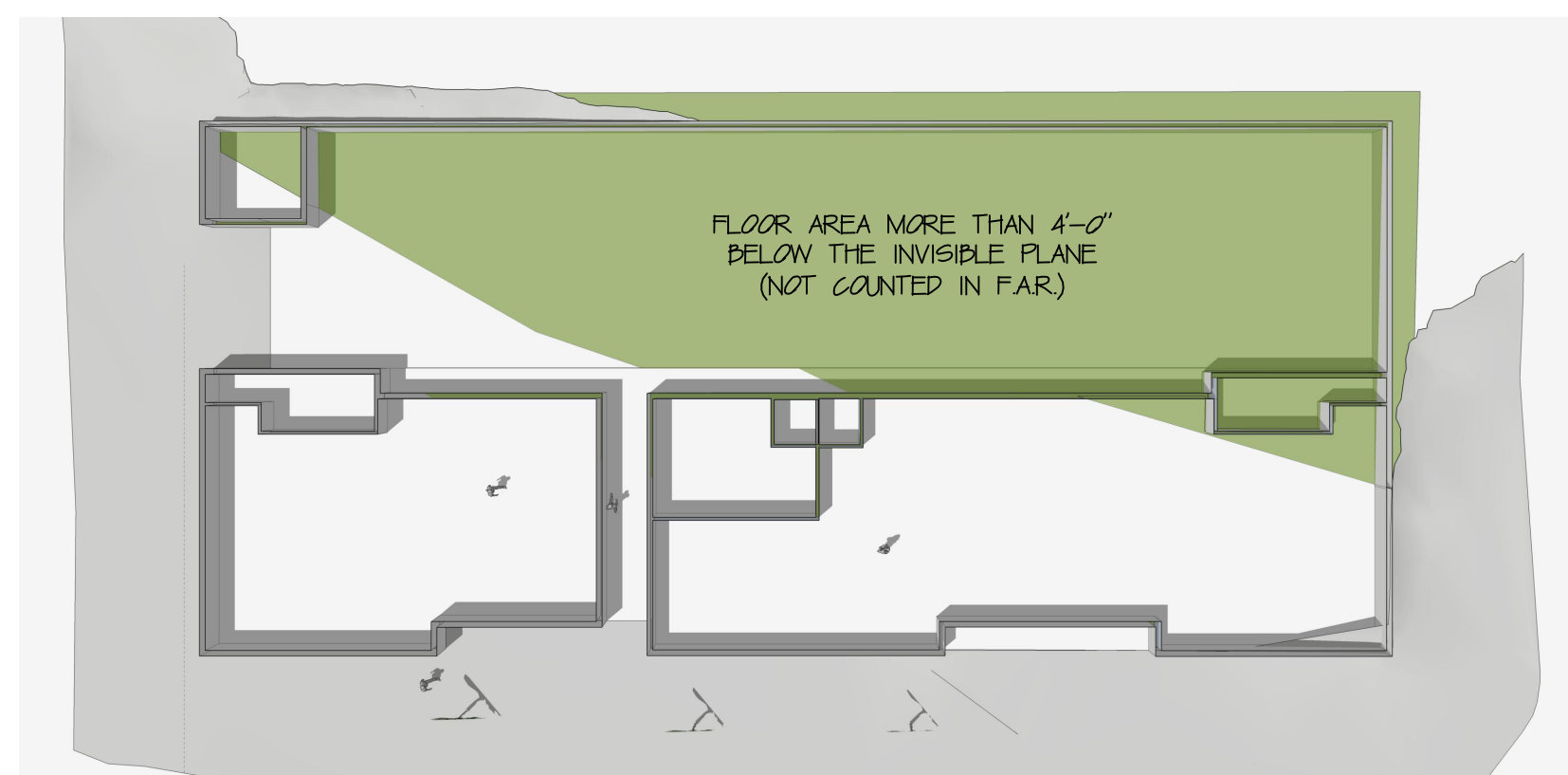
31,035 GSF RETAIL A
5,842.5 GSF RETAIL D
17,573 GSF SECOND FLOOR
14,234 GSF THIRD FLOOR
8,123 GSF FOURTH FLOOR
48,976 GSF TOTAL FLOOR AREA

48,976 GSF TOTAL FLOOR AREA = 2.23 F.A.R. < 2.5 ALLOWED
21,989 SF LOT AREA



$\frac{69,247 \text{ SF}}{89,143 \text{ SF}} = .7769 = 77.69\% \text{ LESS THAN } 4\text{'-}0\text{'}$
PARKING MEETS UNDERGROUND PARKING DEFINITION (NOT INCLUDED IN F.A.R. AREA)

2 UNDERGROUND PARKING DIAGRAM
SCALE: 1/32"=1'-0"



1 BASEMENT AREA DIAGRAM
SCALE: 1/32"=1'-0"

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Revisions		
No.	Date	Issue

F.A.R. CALCULATIONS

Date: 2019/12/20 Project No.:
Scale: 1/16"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.:

A4.0



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: My Sun Valley Home Property Services Mixed-Use Building

FILE NUMBERS: P20-003 & P20-004

APPLICATION TYPES: Design Review and Conditional Use Permit

REPRESENTATIVE: Don Stamp, Architect

OWNER: Corey & Amber Black/Black Properties, LLC

REQUEST: Design Review for the proposed development of a new three-story, 9,822 gross sq ft mixed-use building, which will include work spaces, offices, a laundry facility, and storage for My Sun Valley Home Property Services and a Conditional Use Permit for the three employee housing units on the third level.

LOCATION: 120 Northwood Way (Northwood Light Industrial Park Subdivision Phase 1: Block 1: Lot 8)

ZONING: Light Industrial District Number 2 (LI-2)

OVERLAY: 48 ft Height Overlay

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on December 30th, 2019. The public hearing notice was published in the Idaho Mountain Express on December 25th, 2019.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

Owners and operators of My Sun Valley Home, Corey and Amber Black have submitted a Design Review application concurrent with a Conditional Use Permit application for the development of a new three-story, 9,822 sq ft mixed-use building, which will contain three employee housing units on the third level, located at 120 Northwood Way (Northwood Light Industrial Subdivision: Lot 8) within the Light Industrial Number 2 (LI-2) Zoning District. The mixed-use building will be comprised of light industrial, office, and residential uses. The property management operation includes multiple permitted light industrial uses, such as a maintenance service facility, storage, industrial laundry, repair shop, and motor vehicle service. The second-level of the proposed mixed-use building is comprised of offices as well as a conference room for administrative functions associated with the property management service, which is permitted use in the LI-2 Zone as a contractor-related business as specified in Ketchum Municipal Code (KMC) §17.08.020.

OFFICE, CONTRACTOR-RELATED BUSINESS: An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction, landscaping, maintenance and property management (KMC §17.08.020).

As indicated on Sheet 5 of the applicant submittal (Exhibit A), the third level of the building is reserved for three one-bedroom employee housing units. The housing units are accessed from a common lobby. Each unit has its own separate storage area and designated parking space. The employee housing units are subject to the minimum criteria for residential units in light industrial districts as specified in KMC §17.124.090.

The subject property, Lot 8 of Northwood Light Industrial Park Subdivision Phase 1, is currently vacant and has a total area of 8,040 sq ft, which complies with the 8,000 sq ft minimum lot area required in the LI-2 Zone. To the east of the subject property at the corner of Northwood Way and Lewis Street, the 100 Northwood Way mixed-use building is currently under construction. A commercial building utilized by High County Resort Properties, sheet-metal fabrication, and auto detailing lies adjacent to the west of the subject property. The Glaske and Horn Industrial condominiums are across Northwood Way to the north of subject Lot 8.

At the December 9th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Design Review submittal as well as Staff analysis, the applicant’s presentation, and public comment. Following review of the Pre-Application and providing feedback to the applicant, the Commission unanimously moved to advance the project to final Design Review.

ANALYSIS

Staff analysis of the application is provided in Tables 1-6 including the project’s compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Light Industrial District Number 2 (LI-2) Zoning District requirements, Design Review standards, standards for residential units in light industrial districts, Conditional Use Permit criteria, and other provisions of Ketchum Municipal Code.

Table 1: Comprehensive Plan Analysis

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Well-Connected Community, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<p>Land Use Category: Mixed-Use Industrial</p>	<p>PRIMARY USES Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</p> <p>SECONDARY USES A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>CHARACTERISTICS AND LOCATION The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p>

	<i>My Sun Valley Home is a property management operation that combines many light industrial uses including routine maintenance of buildings, industrial laundry, repair shop, storage, and motor vehicle service. The proposed mixed-use building will also contain offices for the business's administrative functions, which is permitted in the LI-2 Zone as a contractor-related business. The commercial components of the mixed-use building meet the intention for primary uses in the mixed-use industrial area. The employee housing units provided on the third floor meet the intention for secondary uses in the mixed-use industrial land use category.</i>
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Policy H-1.2 Local Solutions to Attainable Housing	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions. <i>The proposal integrates housing into the light industrial area in a mixed-use building.</i>
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	<i>The housing stock in Ketchum predominately consists of single-family homes, attached and detached townhomes, large scale condominium developments, and condominiums within mixed use buildings in the Community Core. These three employee housing units represent a less common housing type (residential above a business in the LI), thus diversifying the mixture of housing available.</i>
A Strong and Diverse Economy	
Goal E-1	Ketchum will work to retain and help expand existing independent small local business and corporations.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
Future Land Use	
Goal LU-1: Promote a functional, compact, and	Policy LU-1.1 Integrated and Compatible Land Uses

<p>132 Mixed-use pattern that integrates land and balances residential and non-residential land uses.</p>	<p><i>The project seamlessly balances the light industrial functions associated with the property management with the residential employee housing units. The uses associated with the property management operations including storage and laundry are compatible with the adjacent land uses in the LI-2 Zone.</i></p>
<p>Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.</p>	<p>Policy LU-2.2 Compatible Residential Infill Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.</p> <p><i>The project includes new residential units on the third floor of the property services building.</i></p>

Table 2: City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An

approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The shall improve the adjacent Northwood Way right-of-way to comply with City ROW standards specified for a 60-foot wide right-of-way including: (a) sidewalk, parking, and drive lane width, (b) stop, street, and parking sign installation, (c) street lights, and (d) parking stall dimensions. Specifications for the ROW

improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an encroachment permit approved by the City will be required. Property owner will be responsible for all associated maintenance and repair.
- All lighting within the ROW will need to meet city ROW standards (see Right-of-Way Standards, Commercial Category). Per City ROW standards a lighting study will need to be provided to ensure proper lighting of sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc.
- Per ADA Standards sidewalks cross slopes are 1.75 +/- 0.25 percent.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system at Northwood Way.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 1, 3, 4, 5, and 6.

Table 3: Zoning and Dimensional Standard Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Lot Area
			<i>Staff Comment</i>	Required: 8,000 square feet minimum Existing: Lot 8 has a total area of 8,040 sq ft (Sheet 1)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Coverage
			<i>Staff Comment</i>	Permitted: 75% Proposed: 72%(5,757 sq ft building coverage/8,040 sq ft lot area)

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Building Setbacks
			<i>Staff Comment</i>	<p>Minimum Required Setbacks: Front: 20' Side: 0' for internal side yards Rear: 0'</p> <p>Proposed: Front (N): 20' (Sheet 4) Side (E): 2'' Side (W): 2'' Rear (S): 2''</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Height
			<i>Staff Comment</i>	<p>Maximum Building Height Permitted: 35' Non-habitable Structures Located on Building Rooftops: 6 ft above roof surface height Parapets and Rooftop Walls Screening/Enclosing Mechanical Equipment: 4 ft above roof surface height Rooftop Solar and Mechanical Equipment Above Roof Surface: 5 ft above roof surface height</p> <p>Proposed: Maximum Building Height Top of Roof Deck: 32'-6'' (Sheet 7) Maximum Building Height Top of Parapet: 35' (Sheet 7) Elevator (non-habitable structure): 3'-6'' above roof surface (Sheet 7)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	Curb Cut
			<i>Staff Comment</i>	<p>Maximum Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p>Proposed: As indicated on Sheet C1.0, the applicant has proposed a 31 ft curb cut, which is 35% of the property's total street frontage along Northwood Way.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A1 & 17.125.040.B	Parking Spaces
			<i>Staff Comment</i>	<p>Required In Light Industrial Districts:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 1 parking space per bedroom Office, Contractor-Related Business: 1 parking space per 250 gross sq ft LI Uses (Maintenance Service Facility): 1 parking space per 1,000 gross sq ft <p>Required with My Sun Valley Home Mixed-Use Building:</p> <ul style="list-style-type: none"> Residential (including multiple-family dwelling) : 3 parking space (3 one-bedroom employee housing units)

				<ul style="list-style-type: none"> Office, Contractor-Related Business: 3 parking spaces (845 sq ft office and conference room/ 250 gross sq ft) LI Uses (Maintenance Service Facility): 6 parking space (6,101 gross sq ft LI uses/1,000 gross sq ft) <p>12 total parking space are required for the proposed use.</p> <p>Proposed: <i>The applicant has provided 15 total off-street parking spaces. 12 parking spaces are provided within the enclosed garage and 3 surface parking spaces are provided underneath the second-level cantilever. As indicated on Sheet 3 of the submittal drawings, the 3 surface parking spaces will be designated and reserved for the three employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 040.D	Off Street Vehicle Loading Area
			<i>Staff Comment</i>	<p>Required: In the LI-1, LI-2, and LI-3 Districts, off street loading areas shall be required as an accessory use for new construction or additions involving an increase in gross floor area as follows: 1. Number Of Spaces: a. One off street loading space is required for gross floor area in excess of two thousand (2,000) square feet. b. No loading space shall occupy any part of a public street, alley, driveway, or sidewalk. Where practicable to do so, an alley may be used in lieu of the requirement for off street loading space(s) if permission is granted by the Administrator. 2. Dimensions: An off street loading space shall be a minimum of one hundred eighty (180) square feet with no length of the space being less than ten feet (10').</p> <p>Proposed: <i>The off-street loading space is provided within the surface parking area underneath the second-floor cantilever. Sufficient area has been provided on the site for vehicles to back in towards the rear of the property to the elevator on the first level, which leads to the second-level storage area.</i></p>

Table 4: Design Review Standards Analysis

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property has existing street frontage on Northwood Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.

			Staff Comments	No changes to the lanes of travel in the street are proposed at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	As the mixed-use building is new construction, the project qualifies as a substantial improvement and the developer shall install sidewalks, curb, and gutter adjacent to the front property line along Northwood Way to comply with City right-of-way standards specified for 60-foot wide ROW roads. See Table 2 for comments and conditions from the City Engineer & Streets Department. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060B2c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	All ROW improvements shall be constructed to City ROW standards including specifications for sidewalk width. See Table 2 for comments and conditions from the City Engineer & Streets Department. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	N/A as sidewalks are required to be installed with the My Sun Valley Home Mixed-Use Building development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	The length of sidewalk improvements constructed shall be equal to the length of the subject front property line) adjacent to Northwood Way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	As indicated on Sheet C1.0, the new 6 ft concrete sidewalk is designed to connect to the existing sidewalks along Northwood Way adjacent to Lots 7A and 9 of the Northwood Light Industrial Subdivision.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by

				<p>the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p>
			Staff Comments	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1	All storm water shall be retained on site.
			Staff Comments	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted a preliminary drainage plan on Sheets C1.0 and C2.0 of the submittal drawings. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped by an Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.3	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4	Drainage facilities shall be constructed per City standards.
			Staff Comments	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	<i>The applicant is aware of this requirement and the preliminary plans indicated on Sheets C1.0 and C2.0 show utility connections and locations. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Idaho Power. See Table 2 for Utilities Department comments and conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

			Staff Comments	<i>All utilities within the development site shall be underground and concealed from public view. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	<i>The applicant is aware of this requirement and will comply with these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	<i>As indicated on the Material Board and Sheet 7 of the drawings, the proposed exterior materials include: (1) "weathered zinc" vertical standing seam siding, (2) prefabricated, light-gray stucco panels, (3) "rubi" Parklex wood siding panels, (4) corrugated galvanized guardrail panels with dark gray steel supports, (5) "hemlock" clad wood windows and doors, (6) brown fiberglass windows, (7) dark-gray, exposed steel beams and columns, and (8) red/brown gridded steel screening panels. The roof system is comprised of (1) "weathered zinc" standing seam metal roofing, (2) a white TPA flat roof system, and (3) curved corrugated galvanized roofing.</i>
				<i>The proposed design including the exterior materials and colors of the mixed-use building is complementary to other structures within the neighborhood. The gray stucco and wood siding panels combined with the exposed steel beams and columns echo the light industrial area's interaction with Ketchum's mountain backdrop and natural surroundings. Disparate from the flat roof system, the low pitch roof (1.5/12) element is highlighted as a distinguished feature that resonates with the architectural vernacular of the new, more modern development within the City of Ketchum.</i>
				<i>The specification and rendering for the proposed sign is included on Sheet 9 of the submittal drawings. The proposed sign materials including the gridded steel panels and exposed tube steel as well as the dark brown and gray colors match the design of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	<i>N/A as the lot is vacant and the project will be new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	<i>The sidewalk within the public ROW will connect to an on-site concrete entry walkway, which leads to the front entrance of the mixed-use building and</i>

				<i>spans the length of the garage bay (Sheet L1.0). The main building entrance is defined through the use of architectural elements, including the low pitch roof and cantilever of the second-level balcony, which frame and highlight the entryway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2	The building character shall be clearly defined by use of architectural features.
			Staff Comments	<i>As indicated by the renderings on Sheets 2, 7, and 8, breaks are incorporated within the vertical wall planes through projecting elements, such as the balconies, and recessed building masses. The design of each façade is further articulated by varying roof heights. The material differentiation and fenestration provided across all façade further define the building. The design incorporates a rectangular rhythm with the unique patterns provided by the wood and gray stucco siding panels. The low pitch roof element enhances the prominence of the main entrance to the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3	There shall be continuity of materials, colors and signing within the project.
			Staff Comments	<i>The same materials and color schemes are used on all four facades of the building. The materials and color of the proposed sign complement the exterior design of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F4	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Staff Comments	<i>The gridded steel screening panels, roof overhang, and steel beams associated with the dumpster enclosure serve as a unique architectural element that complements the design of the mixed-use building. The landscape plantings combine Swedish aspens with grasses and shrubs that complement the mixed-use building and serve as a buffer from Northwood Way and the adjacent property to the west.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	<i>The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The façades combine horizontal and vertical elements through the variation of siding materials, the placement of balconies and associated railings, the garage doors, as well as the fenestration provided through multiple window and door openings. The main entrance is distinguished by the low pitch roof and the overhang of the second-level balcony. Breaks are incorporated into the vertical wall plane through recessed building masses and projecting elements, which articulate the each and reduce the appearance of flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6	Building(s) shall orient towards their primary street frontage.
			Staff Comments	<i>The front façade of the building orients towards Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	<i>While located at the front façade, the dumpster enclosure is fully screened from public view through gridded steel screening panels and exposed steel beams and columns. The curved roof overhanging the dumpster enclosure serves as a unique architectural element that complements the light industrial</i>

				<i>design aesthetic. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	<i>The majority of the roof system is flat with roof drains that prevent water from dripping or snow from sliding onto circulation areas. As noted on Sheet 5 of the drawings, the curved roof element overhanging the dumpster will include snow retention devices. The projected low pitch roof overhang and second-level balcony overhang serve as weather protection for the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	<i>The applicant as proposed an on-site concrete entry walkway, which will connect to the new concrete sidewalk along Northwood Way (Sheet L1.0). As indicated on Sheet C1.0, the proposed concrete sidewalk will connect to the existing sidewalk along Northwood Way. No new easements or pathways are expected in this vicinity of the Light Industrial zone. Equestrian access is not appropriate in this location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Staff Comments	<i>N/A as no awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	<i>Vehicular traffic will access the development from Northwood Way. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	<i>The subject property is located over 150 ft from the intersection of Northwood Way and Lewis Street. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	<i>Northwood Way provides unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles. The project poses no impediment to emergency or service vehicles.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. As indicated on Sheet 1, the applicant has proposed hauling snow from the site as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>As noted on Sheet 1 of the drawings, the applicant has proposed hauling the snow off-site in lieu of providing a snow storage area on-site. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheet L1.0 of the submittal drawings. The landscape plan includes Swedish aspens as well as planters comprised of ornamental grasses and perennial flowers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the mixed-use building and enhance the neighborhood. Bordering the front property line, the planters framing the driveway access create an inviting entryway to the mixed-use development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.I3	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The proposed landscaping will provide a buffer between the mixed-use building and Northwood Way. The line of Swedish Aspen trees bordering the interior property line will provide a buffer between the entryway to the mixed-use building from the adjacent mixed-use development to the west.</i>

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.96.060.J1	<p>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</p>
			Staff Comments	<p><i>The project is located in the Light Industrial area and the width of the existing sidewalks in the neighborhood as well as the proposed sidewalk along Northwood Way range from 5 to 6 ft. As a result, the width does not provide sufficient clearance to allow public amenities in the sidewalk while still maintaining a clear path of travel as required by ADA. Further, sight constraints limit available locations to install amenities as any obstruction would conflict with vehicle ingress and egress into the site. Given the associated site constraints, Staff finds this standard to be inapplicable to the project.</i></p>

Table 5: Dwelling Units in Light Industrial Districts Standards Analysis

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	<p>Dwelling units shall not occupy the ground floor.</p> <p>Staff Comments <i>The three employee housing units are located on the third level of the mixed-use building as specified on Sheet 5 of the submittal.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	<p>Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.</p> <p>Staff Comments <i>The applicant has concurrently submitted a Design Review application for the proposed mixed-use building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	<p>Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.</p> <p>Staff Comments <i>The total area of residential use including the employee housing dwelling units and associated storage areas is 2,543 sq ft, which is 26% of the mixed-use building.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section;

				<p>d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965;</p> <p>e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.</p>
			Staff Comments	<i>The applicant has not proposed separating the dwelling units for sale as individual units. The dwelling units are reserved for My Sun Valley Home employees.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <p>a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant;</p> <p>b. The work unit is:</p> <ul style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <ul style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			Staff Comments	<i>N/A as no work/live units have been proposed within the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>The three employee housing units have similar floor plans with an open kitchen and living area, a bathroom, and one bedroom. Each unit has its own designated storage area accessed from a lobby area as well as a designated parking space. Each employee housing unit contains one bedroom. Each unit and associated storage area is ~843 sq ft. The mean average of all of the employee housing units is ~845 sq ft, which is 155 sq ft less than the mean average permitted.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted</p>

				<p>community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A. The proposed mixed-use building is three stories.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The property owner is aware of the nature of the light industrial zone and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall</p>

146				<p>be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p> <p><i>Staff Comments</i> <i>The applicant has provided three more parking spaces than are required for the uses proposed within the building. The proposed light industrial, office, and residential uses generate a parking demand of 12 parking spaces and the applicant has provided 15 off-street parking space, which include three spaces specifically designated for the employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.124.090 A (10)</p>	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			<p><i>Staff Comments</i></p>	<p><i>Recommended conditions of approval for the subject Conditional Use Permit application are specified in the Staff Report below. The Planning & Zoning Commission may attach additional conditions of approval to the Conditional Use Permit as specified by KMC §17.124.090.A10.</i></p>

Table 6: Conditional Use Permit Criteria Analysis

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.

			Staff Comments	<p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is to, “provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public.”</i></p> <p><i>Many permitted light industrial uses, such as manufacturing, maintenance service facilities, repair shops, and motor vehicle service, may not occur elsewhere within the City of Ketchum, and these uses are largely permitted by-right in this district. In contrast, residential dwellings are permitted by Conditional Use Permit only – in order to both mitigate the impact of residential uses on light industrial operations and to ensure the proposed residential use will be located and constructed in such a manner that minimizes any negative externalities.</i></p> <p><i>The proposed mixed-use building is comprised of uses, which include storage, industrial laundry, maintenance service facility, and a repair shop. The property management operations align with permitted uses within the LI-2 Zone and existing uses within the Northwood Way area. Offices and a conference room are included within the building to serve the administrative functions of the property management business. The offices on the second level provide a buffer between the light industrial uses on the first level and the residential dwelling units on the third level.</i></p> <p><i>The light industrial, office, and residential uses are compatible with the types of uses permitted in the LI-2 Zone and existing within the Northwood Way area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Staff Comments	<i>The My Sun Valley Home Mixed-Use Building project is consistent with the types of uses in the neighborhood. The proposed residential use is not expected to materially endanger the health, safety, or welfare of the community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Staff Comments	<i>The proposed project is not anticipated to significantly increase pedestrian and vehicular traffic as the building will primarily serve My Sun Valley Home employees. Clients and customers will not frequent the mixed-use building. The applicant has provided three more off-street parking spaces than required for the proposed development. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances as well as safe vehicular and pedestrian circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<i>The three employee housing units will be adequately supported by public facilities and services. The addition of three new dwelling units on the third level of the mixed-use building will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.

**Staff
Comments**

As described in Table 1 of this Staff Report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the applicant’s submittal attached as Exhibit A, the applicant’s presentation, and any public comment received, deliberate, and approve the My Sun Valley Home Mixed-Use Building Design Review and Conditional Use Permit applications by adopting the following motions:

- (a) “I move to approve the My Sun Valley Home Mixed-Use Building Design Review application subject to conditions of approval 1-12,” and
- (b) “I move approve the My Sun Valley Home Conditional Use Permit application for three new dwelling units in the Li-2 zone subject to conditions of approval 1-13.”

DESIGN REVIEW RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. This Design Review approval is subject to Conditional Use Permit P20-004. All conditions of approval shall apply.
4. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.
5. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
9. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.

11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

CONDITIONAL USE PERMIT RECOMMENDED CONDITIONS OF APPROVAL

1. The Conditional Use Permit is non-transferable.
2. This Conditional Use Permit approval is subject to all comments and conditions as described in Tables 2, 5, and 6.
3. This Conditional Use Permit approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Conditional Use Permit plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. This Conditional Use Permit approval is subject to Design Review P20-003. All conditions of approval shall apply.
5. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2
6. No individual housing unit may exceed a maximum of 2,000 sq ft or contain more than two bedrooms and all units within a building shall not exceed a mean average of 1,000 sq ft.
7. No residential use shall occur on the ground level (first floor).
8. Due to both the mixed-use nature of this space and in order to ensure compliance with the zoning code requirement that the employee housing units do not exceed the residential unit size restriction in the LI-2 Zone, the Fire Marshal shall conduct routine inspections of the mixed-use building.
9. Inspections by Planning Staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of Staff.
10. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
11. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
12. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
13. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

EXHIBITS:

- A. My Sun Valley Home Mixed-Use Building Design Review & Conditional Use Permit Submittal Drawings

Exhibit A:
My Sun Valley Home
Mixed-Use Building
Design Review
&
Conditional Use Permit
Submittal Drawings

my sun valley home

Don Stamp
Principal
NCARB

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Carmen, ID 83462

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PROJECT TEAM

OWNER:

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310 SOUTH MAIN STREET
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CIVIL ENGINEER:

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LANDSCAPE ARCHITECT:

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CODE CONSULTANT:

CHARLIE ALLEN
1928 HIGH TOP LANE
REXBURG, IDAHO 83440
PH: 208-360-1302

BUILDING INFORMATION

PROJECT ADDRESS:	120 NORTHWOOD WAY KETCHUM, IDAHO 83340
LEGAL LAND DESCRIPTION:	LOT 8, NORTHWOOD LIGHT INDUSTRIAL
ZONING DISTRICT:	LI-2
OCCUPANCY:	MIXED-USE
TYPE OF CONSTRUCTION:	TYPE VB - SPRINKLERED
LOT AREA:	8,040 SF
LOT COVERAGE:	5,757 SF / 71.6%
BUILDING HEIGHT ALLOWED:	35'-0"
BUILDING HEIGHT PROPOSED:	35'-0"
ELEVATOR OVERHEAD PROPOSED:	38'-6"
SETBACKS:	NORTH: 20'-0" EAST: 0'-2" WEST: 0'-2" SOUTH: 0'-2"
BUILDING FLOOR AREA (GROSS):	FIRST LEVEL: 3,733 SF SECOND LEVEL: 3,546 THIRD LEVEL: 2,543 SF TOTAL: 9,822 SF
RESIDENTIAL AREA:	TOTAL: 2,543 SF
PARKING SPACES PROVIDED:	(10) - TOTAL, INCLUDING (3) - RESIDENTIAL
SNOW STORAGE AREA:	SNOW TO BE REMOVED FROM SITE



120 Northwood Way
Ketchum, Idaho

SHEET INDEX

- 1 • INTRODUCTION
- 2 • RENDERING IMAGE
- 3 • VICINITY
- 4 • FLOOR PLANS
 - FIRST LEVEL
 - SECOND LEVEL
- 5 • FLOOR PLAN
 - 3RD LEVEL
- 6 • ROOF PLAN
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- 9 • MATERIALS
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- 11 • LIGHTING / SIGNAGE
- 12 • CM PLAN
- L1 • LANDSCAPE PLAN
- C1 • GRADING / DRAINAGE
- C2 • DETAILS
- LS • LEGAL SURVEY

1/2/2020

KETCHUM DESIGN REVIEW

1



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120 Northwood Way
 Ketchum, Idaho

RENDERING IMAGE

Don Stamp
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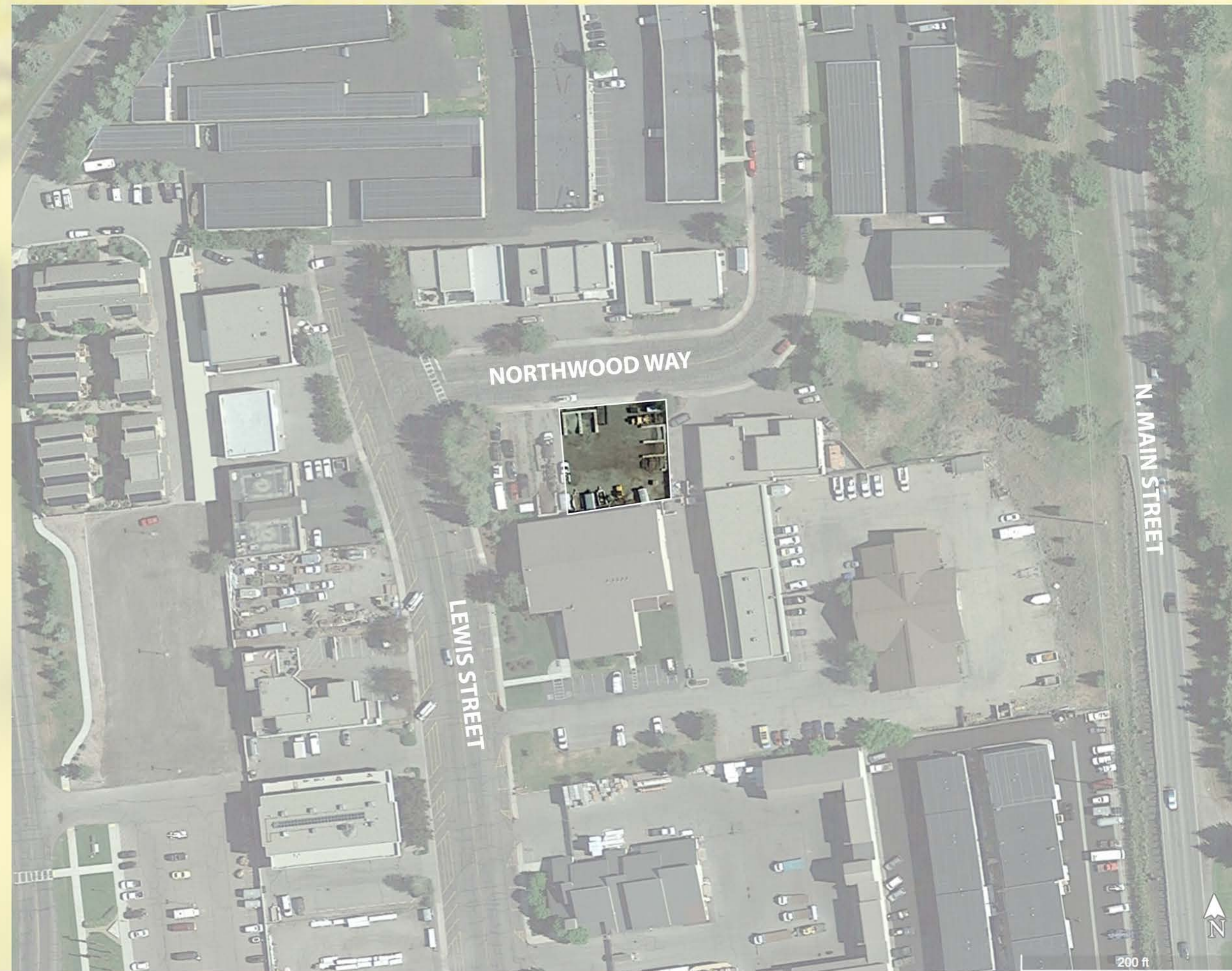
221 N. Tower Creek Road
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IDAHO

Ketchum Sun Valley

Fairfield

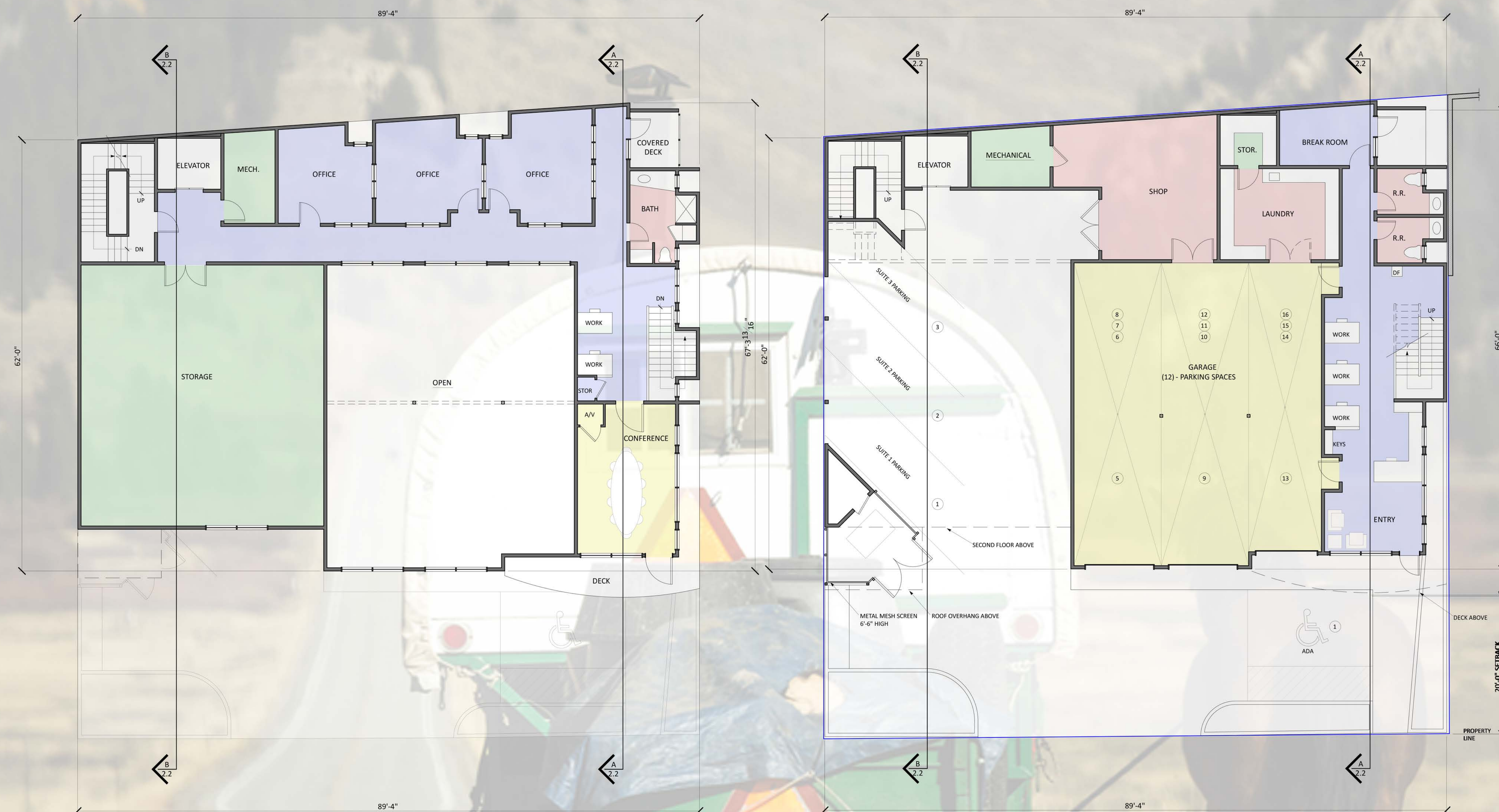



my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

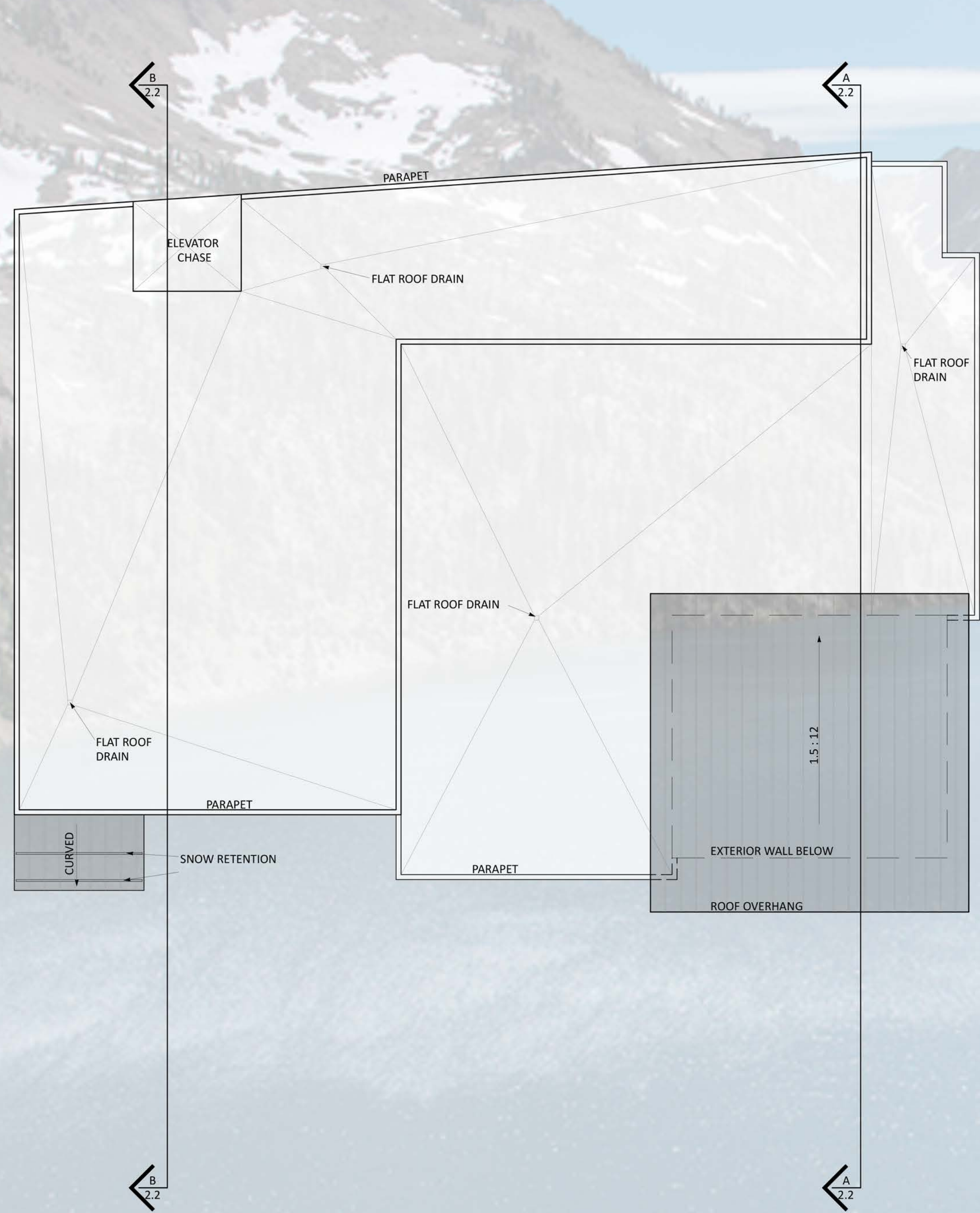
1/2/20

VICINITY MAP



120 Northwood Way
Ketchum, Idaho





120 Northwood Way
Ketchum, Idaho



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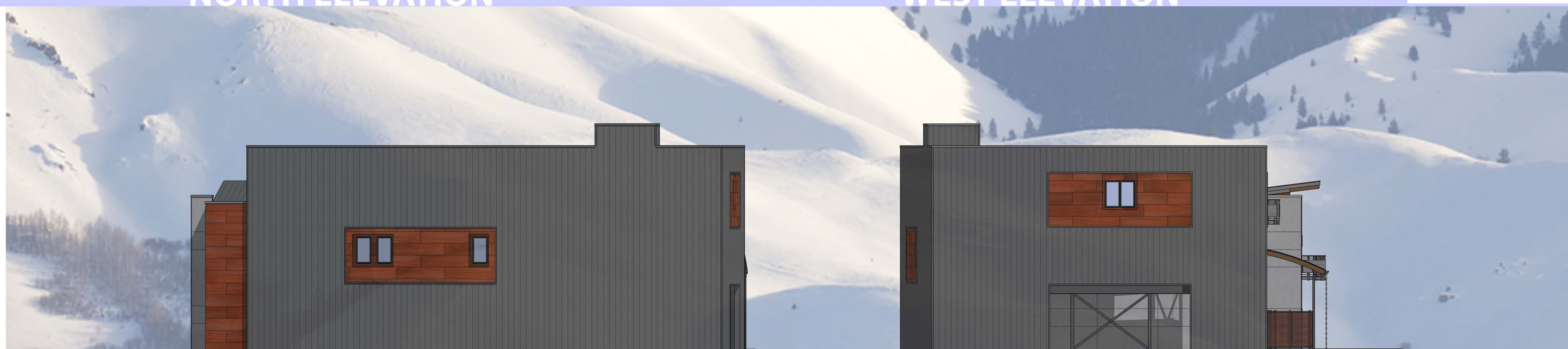


NORTH ELEVATION

WEST ELEVATION

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PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho



SOUTH ELEVATION

EAST ELEVATION

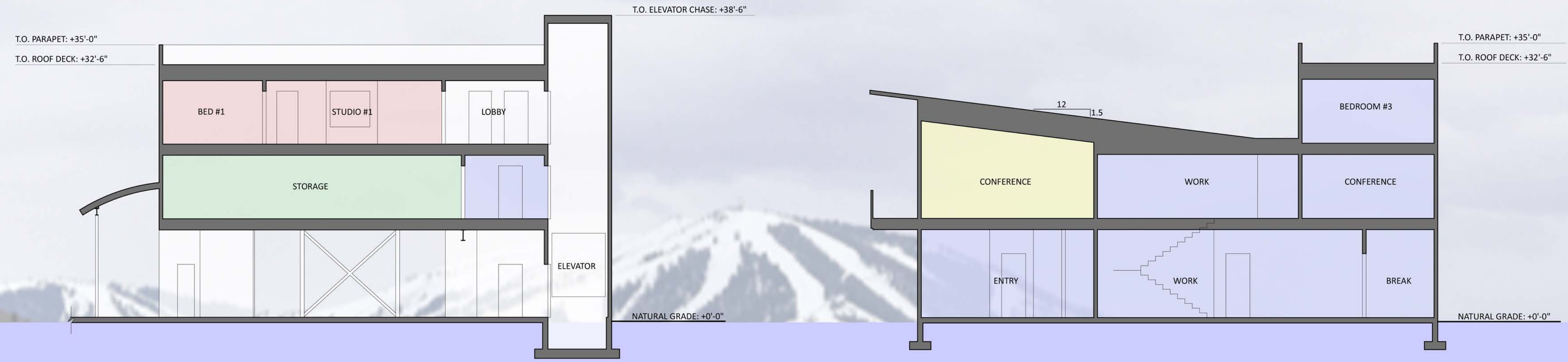
1/2/2020

SCALE: 1/8" = 1'-0"

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SECTION B

- 1 - VERTICAL STANDING SEAM SIDING - "WEATHERED ZINC"
- 2 - STUCCO PANELS - PRE FABRICATED - "LIGHT GRAY"
- 3 - PARKLEX WOOD SIDING PANELS - "RUBI"
- 4 - STANDING SEAM METAL ROOFING - "WEATHERED ZINC"
- 5 - TPA FLAT ROOF SYSTEM - "WHITE"
- 6 - CURVED CORRUGATED GALVANIZED ROOFING
- 7 - CORRUGATED GALVANIZED GUARDRAIL PANELS w/ DARK GRAY STEEL SUPPORTS
- 8 - CLAD WOOD WINDOWS & DOORS - "HEMLOCK"
- 9 - FIBERGALSS WINDOWS - "BROWN"
- 10 - CUSTOM GARAGE DOOR
- 11 - EXPOSED STEEL BEAM & COLUMNS - "DARK GRAY"
- 12 - GRIDDED STEEL DUMPSTER SCREENING PANELS - "RED/BROWN"

MATERIAL LEGEND

SECTION A



MATERIALS



120 Northwood Way
Ketchum, Idaho

1/2/2020

SCALE: 1/8" = 1'-0"

Don Stamp
Principal
NCARB

221 N. Tower Creek Road
Camen, ID 83462

TEL: 208-756-6570
FAX: 208-756-6576
E-MAIL: dgst@centurytel.net
WEB: www.dgstamparchitects.com



my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

1/2/2020

IMAGES IN CONTEXT

Sana Outdoor Wall Sconces

By Tech Lighting

Product Options

Size: Medium, Large

Details

- Finish: Black
- Material: Aluminum
- Shade Material: Concrete
- Dimmable When Used With a 0-10V Dimmer (Not Included)
- ADA compliant, Title 20 compliant
- UL Listed Wet
- Marine Grade
- Warranty: Limited 5 Year
- Made In China

Dimensions

Medium Option Backplate: Width 5.3", Height 16", Depth 2.9"
Medium Option Fixture: Width 5.3", Height 16", Depth 2.9", Weight 6Lbs
Medium Option Maximum Hanging: Length Adjustable From 16", Adjustable To 16"
Large Option Backplate: Width 5.3", Height 22", Depth 2.9"
Large Option Fixture: Width 5.3", Height 22", Depth 2.9", Weight 9Lbs
Large Option Maximum Hanging: Length Adjustable From 22", Adjustable To 22"

Lighting

- 7.5 Watt (137 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

4 inch Square Regressed Trim

By Lotus LED Lights

Product Options

Finish: Black, White
 Light Temperature: 2700K, 4100K

Details

- Sleek, modern regressed trim
- No housing required
- No additional hardware needed
- Approved for insulated ceilings and open plenum
- Oil based spray painted for scratch resistance
- 2" above ceiling clearance required
- Designed in 2017
- Material: Diecast Aluminum Alloy
- Title 24 compliant
- UL Listed Damp
- Warranty: 10 Year Residential / 5 Year Commercial
- Made In China

Dimensions

Cut-out: Length 4", Width 4"
Outer Shade: Length 5", Width 5"
Trim: Height 2"

Lighting

- 2700K Option: 14.5 Watt (850 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 2700K
- 4100K Option: 14.5 Watt (900 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 4100K



Shown in Black finish, Medium size

Notes:

5'-6" ABOVE GROUND SURFACE TO LIGHT SOURCE.

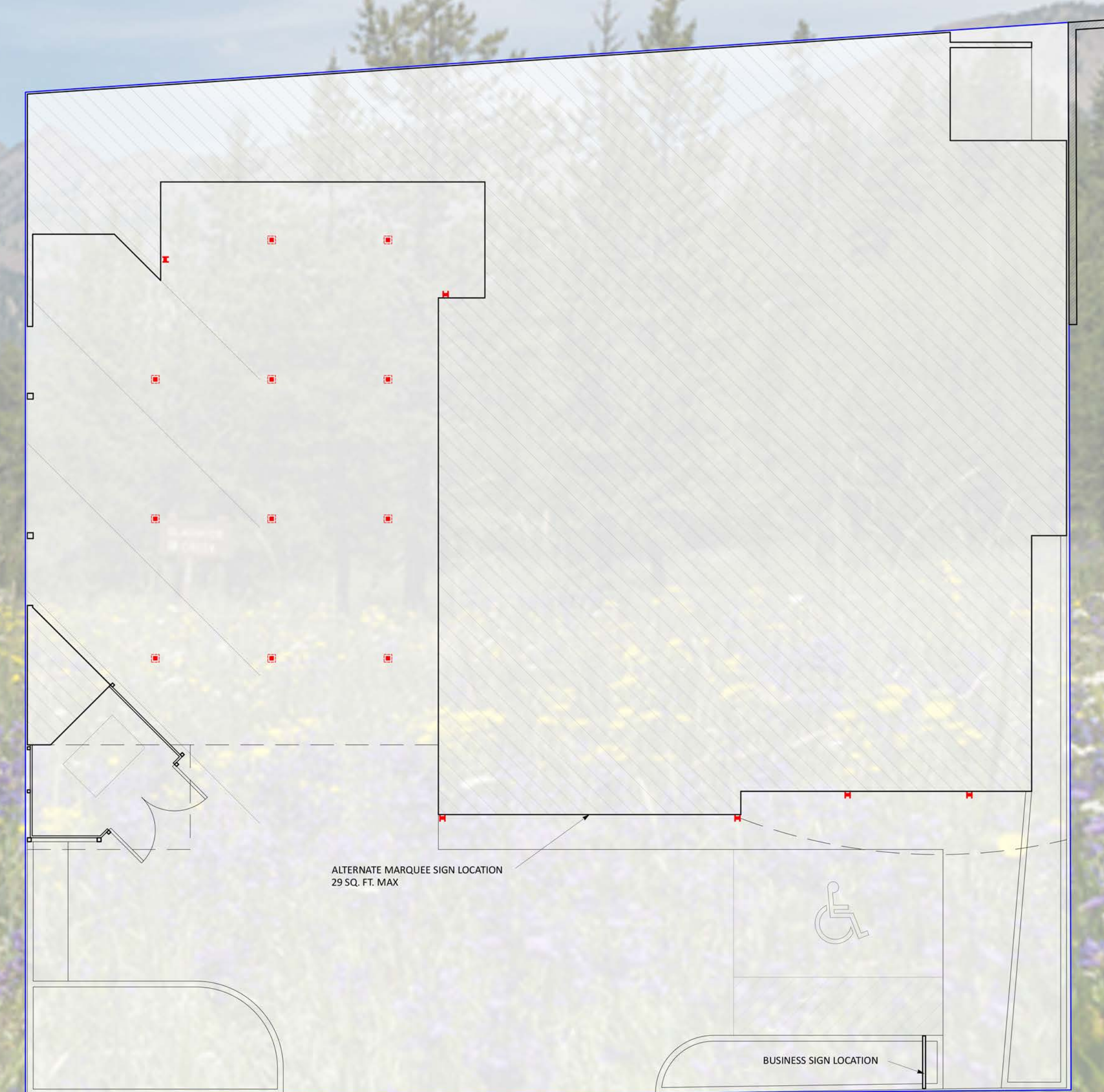
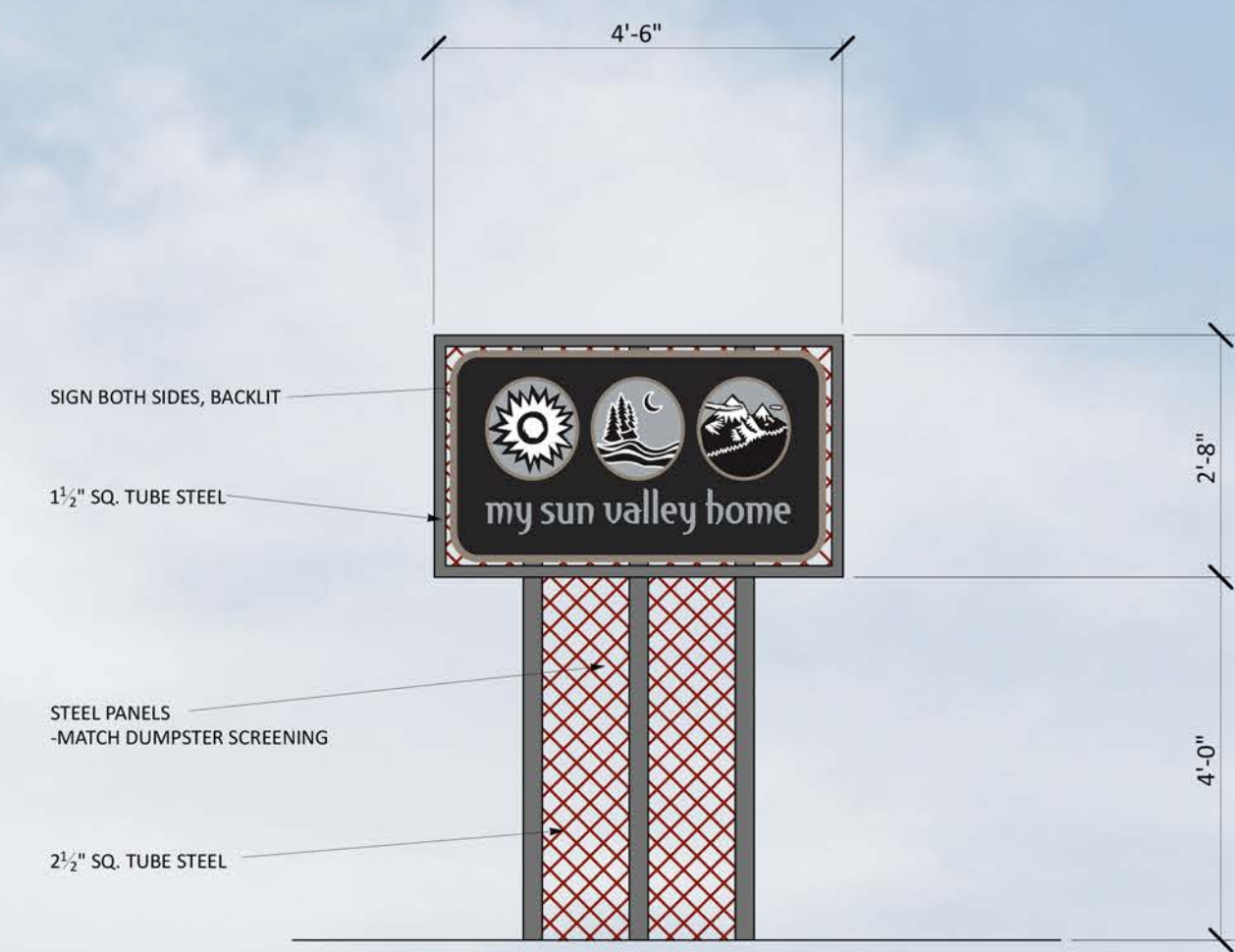


Notes:

10'-8" ABOVE GROUND SURFACE. RECESSED TO SOFFIT.



Shown in Black finish



120 Northwood Way
Ketchum, Idaho

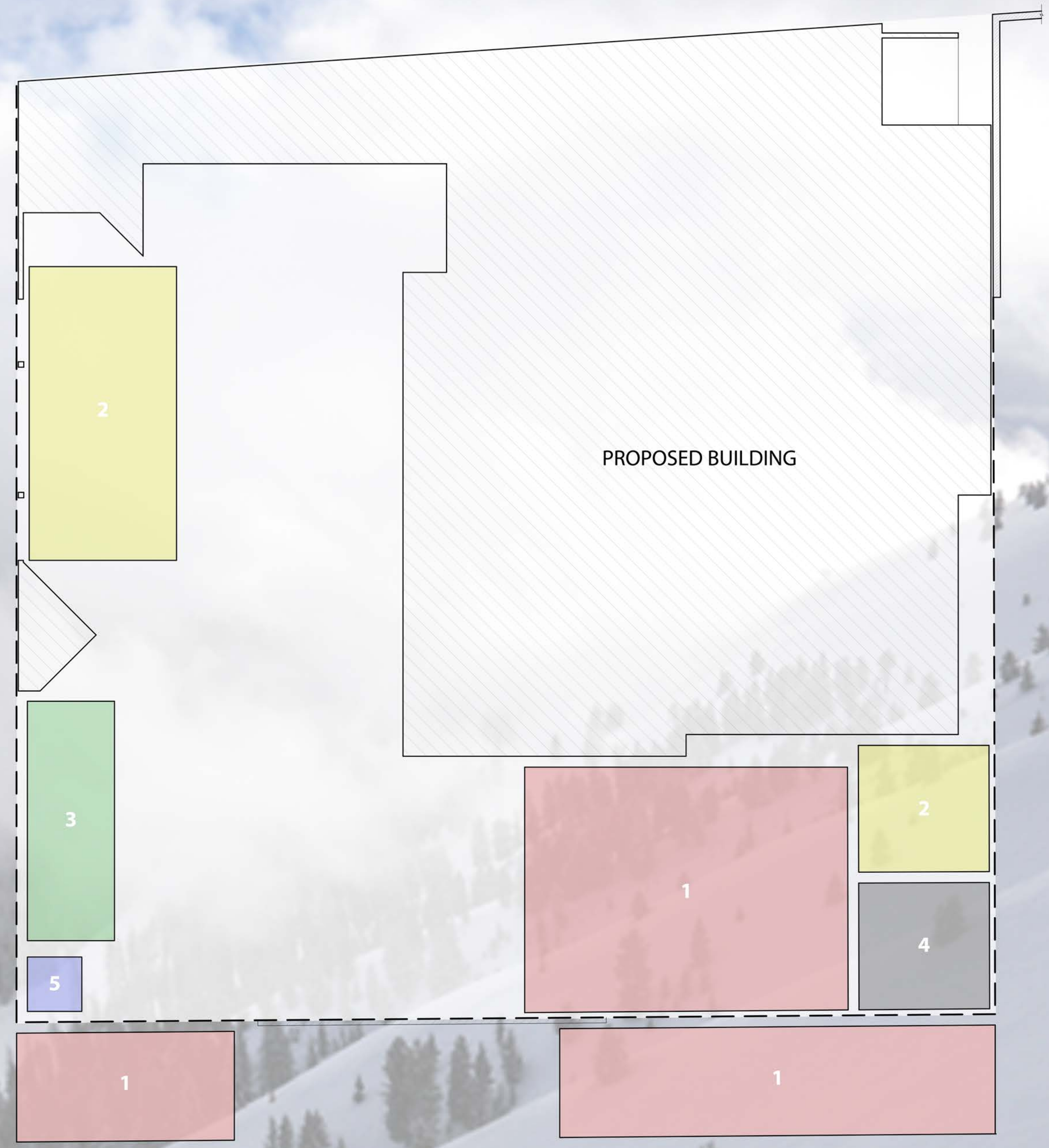
DGS TAMP
ARCHITECTS

Don Stamp
Principal
NCARB

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Camen, ID 83462

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FAX: 208-756-6576
E-MAIL: dgs@centurytel.net
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- 1 - PARKING
- 2 - MATERIAL STORAGE
- 3 - DUMPSTER
- 4 - FILL STOCKPILE STORAGE
- 5 - BATHROOM



120 Northwood Way
Ketchum, Idaho

• SEE WRITTEN DOCUMENT SUBMITTED WITH APPLICATION

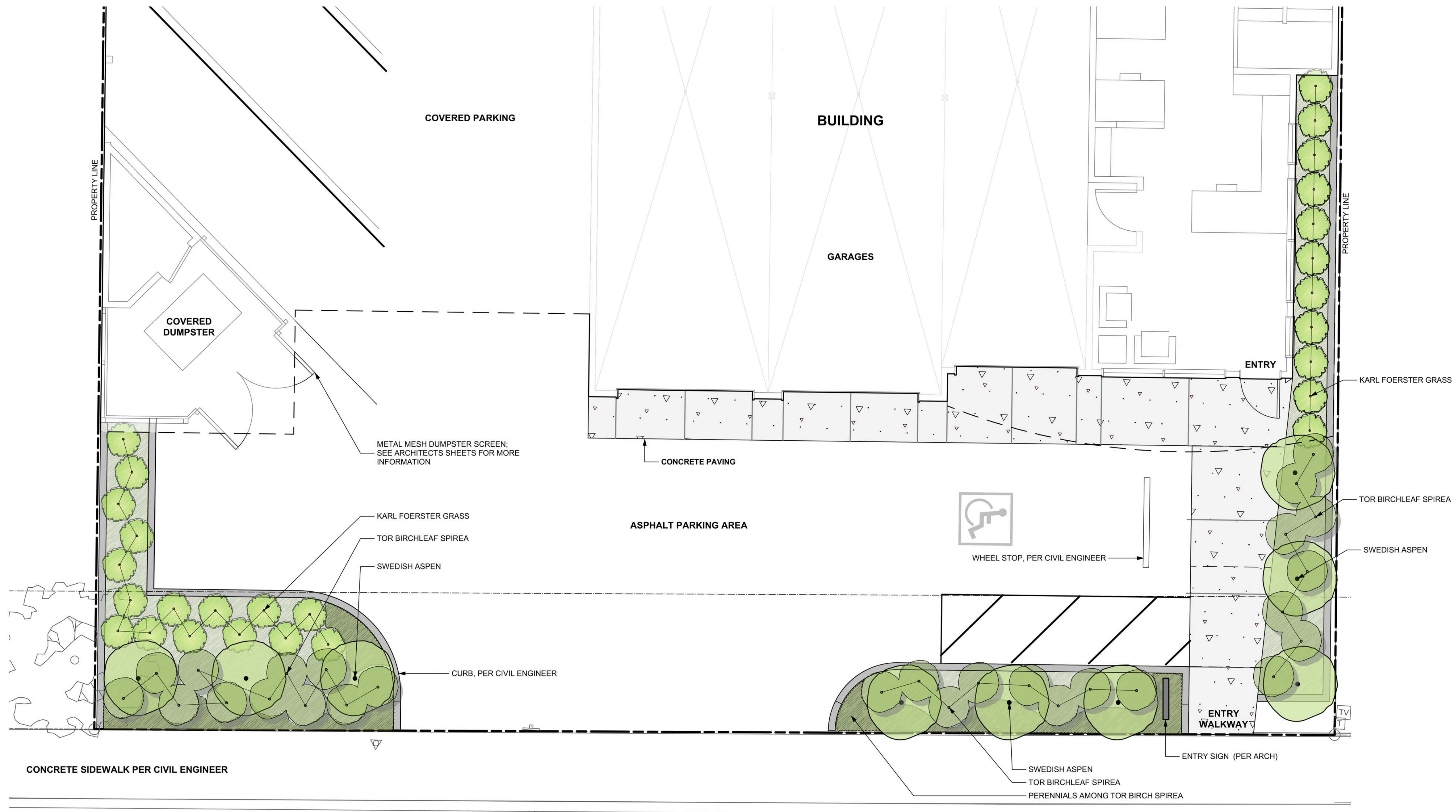
1/2/2020

LEGEND

CONSTRUCTION MANAGEMENT PLAN



SCALE: 1/8" = 1'-0"



GENERAL NOTES:

1. GRADING & DRAINAGE: PER CIVIL ENGINEERING
2. SNOW REMOVAL: SNOW TO BE REMOVED FROM SITE
3. SIDEWALK & CURB: CONCRETE WITH BROOM FINISH
4. IRRIGATION: TO BE DRIP IRRIGATED

PLANT PALETTE



TREE | SWEDISH ASPEN



SHRUB | TOR BIRCHLEAF SPIREA



PERENNIAL | KARL FOERSTER GRASS

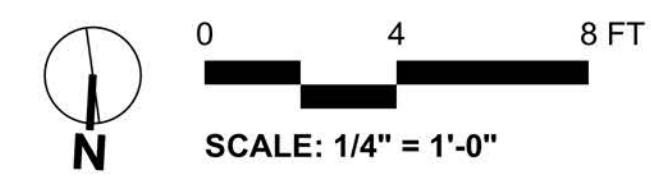


PERENNIAL | SALVIA 'MAY NIGHT'

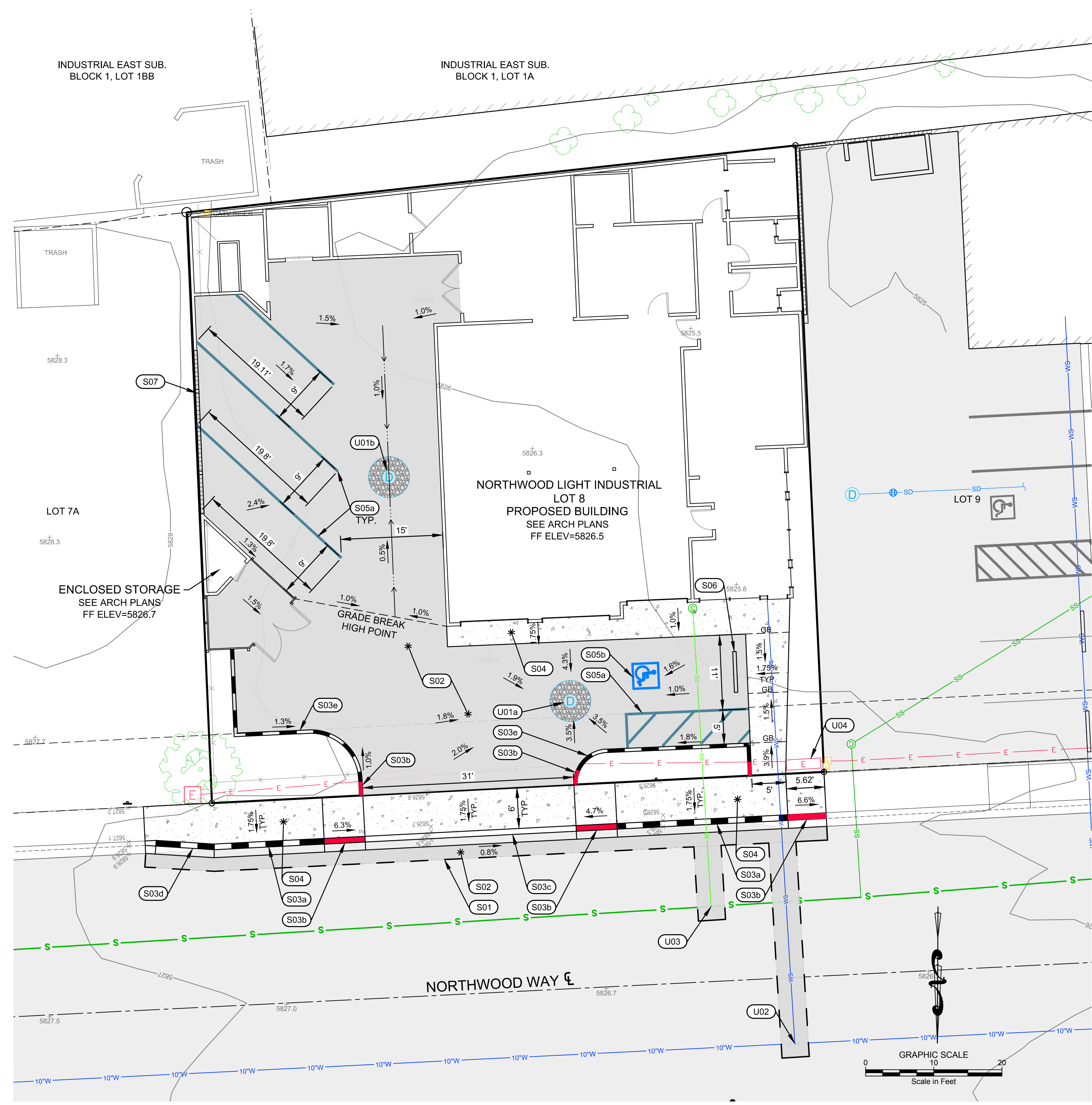


PERENNIAL | ACHILLEA 'MOONSHINE'

NORTHWOOD WAY



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND	
EXISTING ITEMS	PROPOSED ITEMS
PROPERTY LINE	NEW ASPHALT
ADJOINING PROPERTY LINE	CONCRETE SIDEWALK
ASPHALT PAVEMENT	CONCRETE VERTICAL CURB & GUTTER
CURB AND GUTTER	CONCRETE ROLLED CURB & GUTTER
EXTERIOR BUILDING FOOTPRINT	CURB TRANSITION
EASEMENT	ZERO REVEAL CURB & GUTTER
SEWER PAINT MARKS	RETAINING WALL
UNDERGROUND POWER PAINT MARKS	WATER SERVICE
FOUND 1/2" REBAR	4" SEWER SERVICE
FOUND 5/8" REBAR	DRYWELL
POWER BOX	FLOW LINE
TELEPHONE RISER	SAWCUT LINE
CABLE TV RISER	GRADE
DECIDUOUS TREE	

CONSTRUCTION KEYNOTES

SITE IMPROVEMENTS

- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
- (S02) CONSTRUCT/REPAIR ASPHALT. SEE DETAIL 1, SHEET C2.0
- (S03) CONSTRUCT CONCRETE CURB
 - a. 6" CONCRETE ROLLED CURB AND GUTTER PER DETAIL 3, SHEET C2.0
 - b. CURB TRANSITION PER DETAIL 4, SHEET C2.0 [], (typ.).
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4, SHEET C2.0
 - d. TRANSITION FROM 6" CONCRETE ROLLED CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER
 - e. 6" VERTICAL CURB PER DETAIL 5, SHEET C2.0
- (S04) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2, SHEET C2.0
- (S05) INSTALL PAVEMENT MARKINGS
 - a. 4" WIDE WHITE PARKING STRIPE
 - b. ADA COMPLIANT SYMBOL
- (S06) 6' LONG CONCRETE CURB STOP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- (S07) CONSTRUCT RETAINING WALL WITH 12" EXPOSURE PER ARCHITECT/STRUCTURAL ENGINEER

UTILITY IMPROVEMENTS

- (U01) INSTALL DRYWELL PER DETAIL 8, SHEET C2.0
 - a. RIM ELEV= 5826.07
 - b. RIM ELEV= 5826.32
- (U02) INSTALL WATER SERVICE PER CITY OF KETCHUM STANDARDS; SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 6, SHEET C2.0. SEE DETAIL 7, SHEET C2.0 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
- (U03) INSTALL 4" Ø SEWER SERVICE @ S=2.0% MIN; CONNECT TO EXISTING SERVICE STUB. TRENCH CONSTRUCTION PER DETAIL 9, SHEET C2.0
- (U04) RETAIN AND PROTECT EXISTING TRANSFORMER.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
13. ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.0. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 65-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR, REQUIREMENTS.
16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 98.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/ASTM STD. 61 COMPLIANT.
19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
20. THE CONTRACTOR SHALL USE ANSIS/ASTM STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
21. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK ASSOCIATES.

GRADING AND DRAINAGE PLAN
BLACK BUILDING - 120 NORTHWOOD WAY
 LOCATED WITHIN SECTION 12, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MY SUN VALLEY HOME

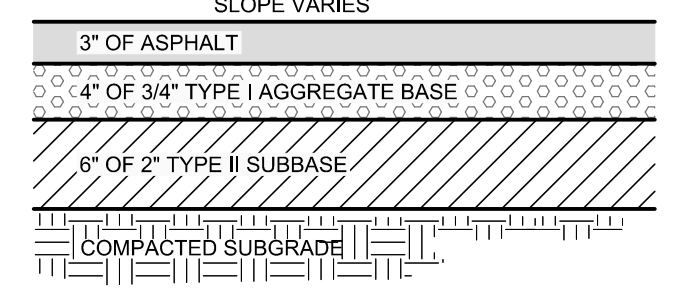
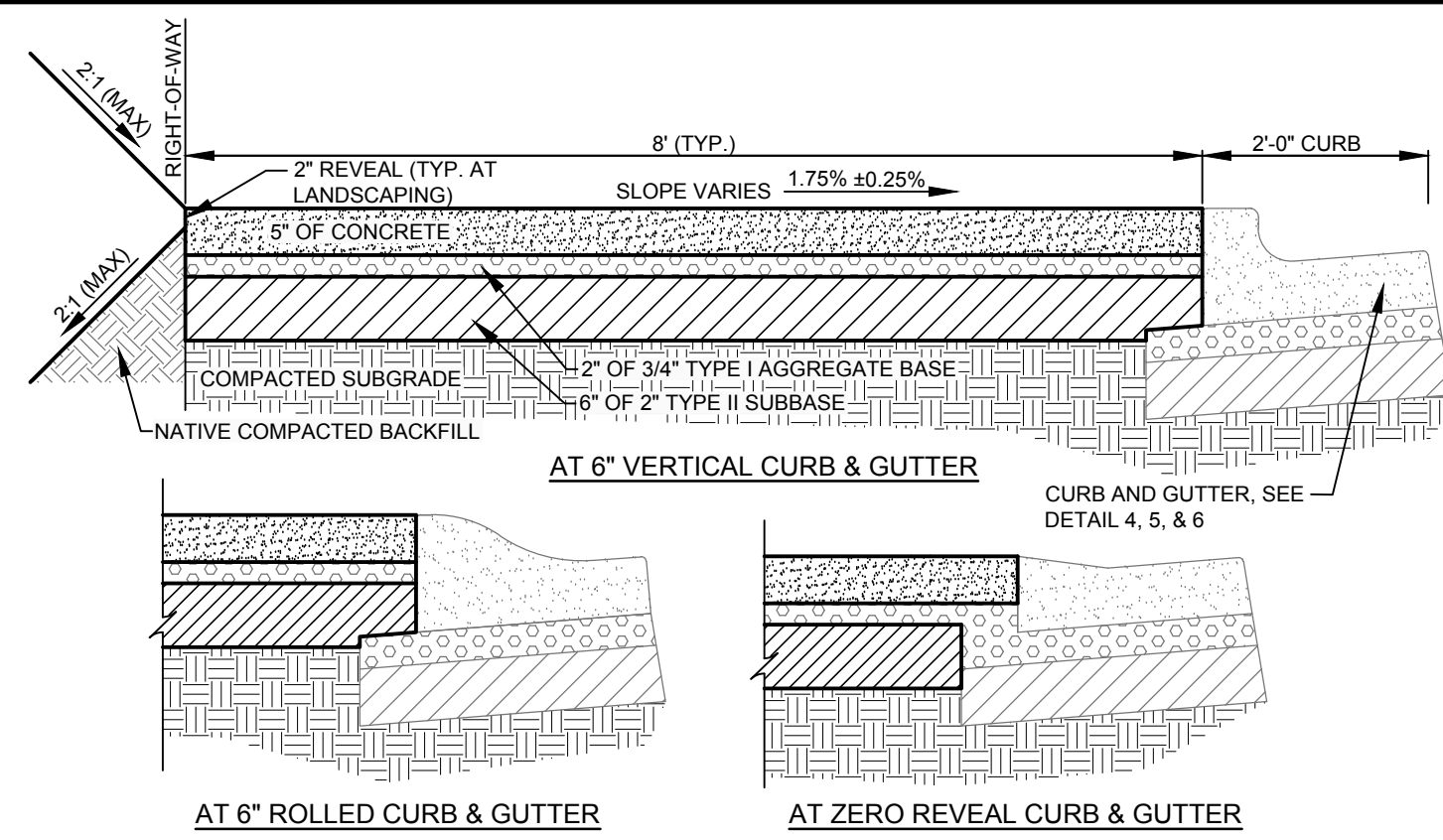


SKS DESIGNED BY _____
 SKS DRAWN BY _____
 SKS CHECKED BY _____

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (10/29/2019)			
NO.	DATE	BY	REVISIONS

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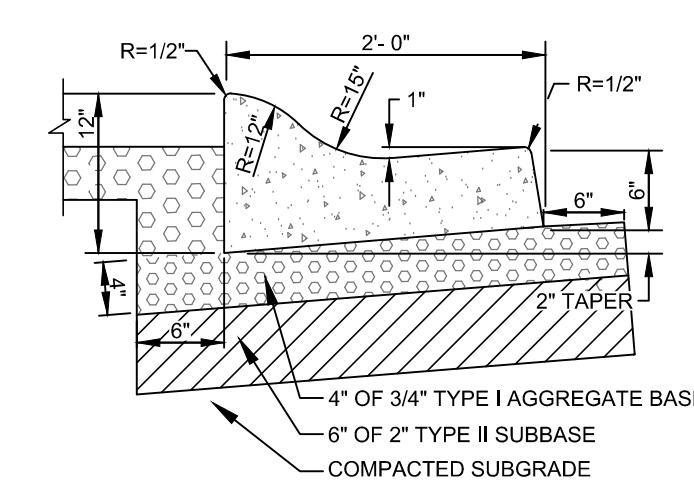


NOTES:

- SUBBASE CAN BE 2\"/>

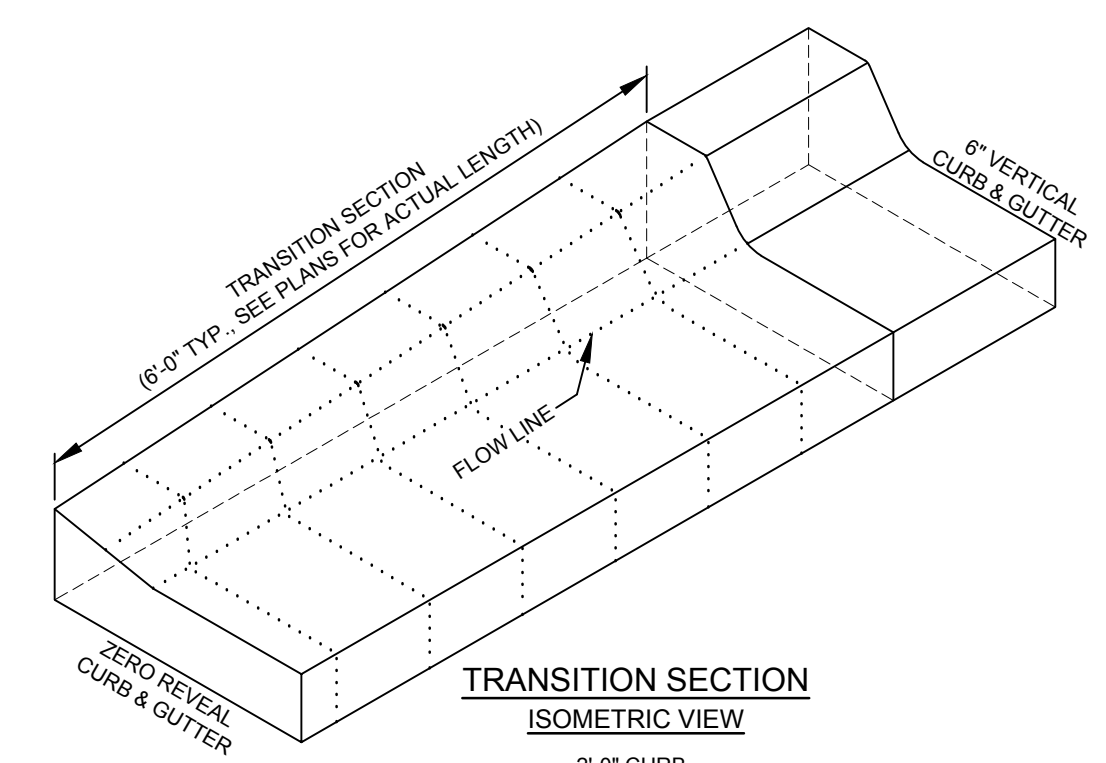
NOTES:

- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
- 1/2\"/>



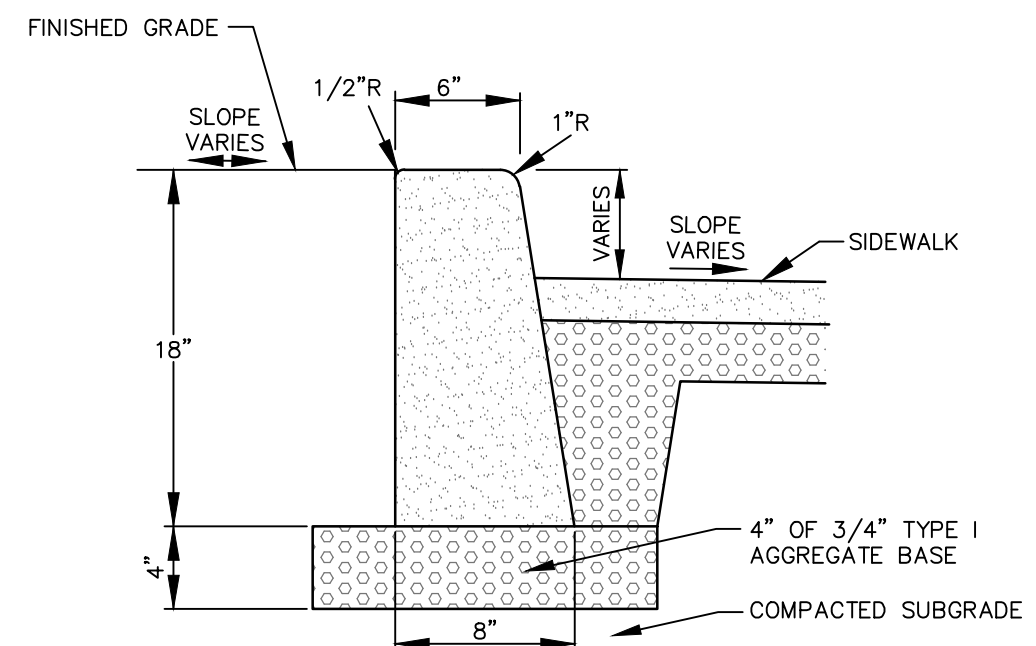
NOTES:

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NOTES:

- 1/2\"/>



NOTES:

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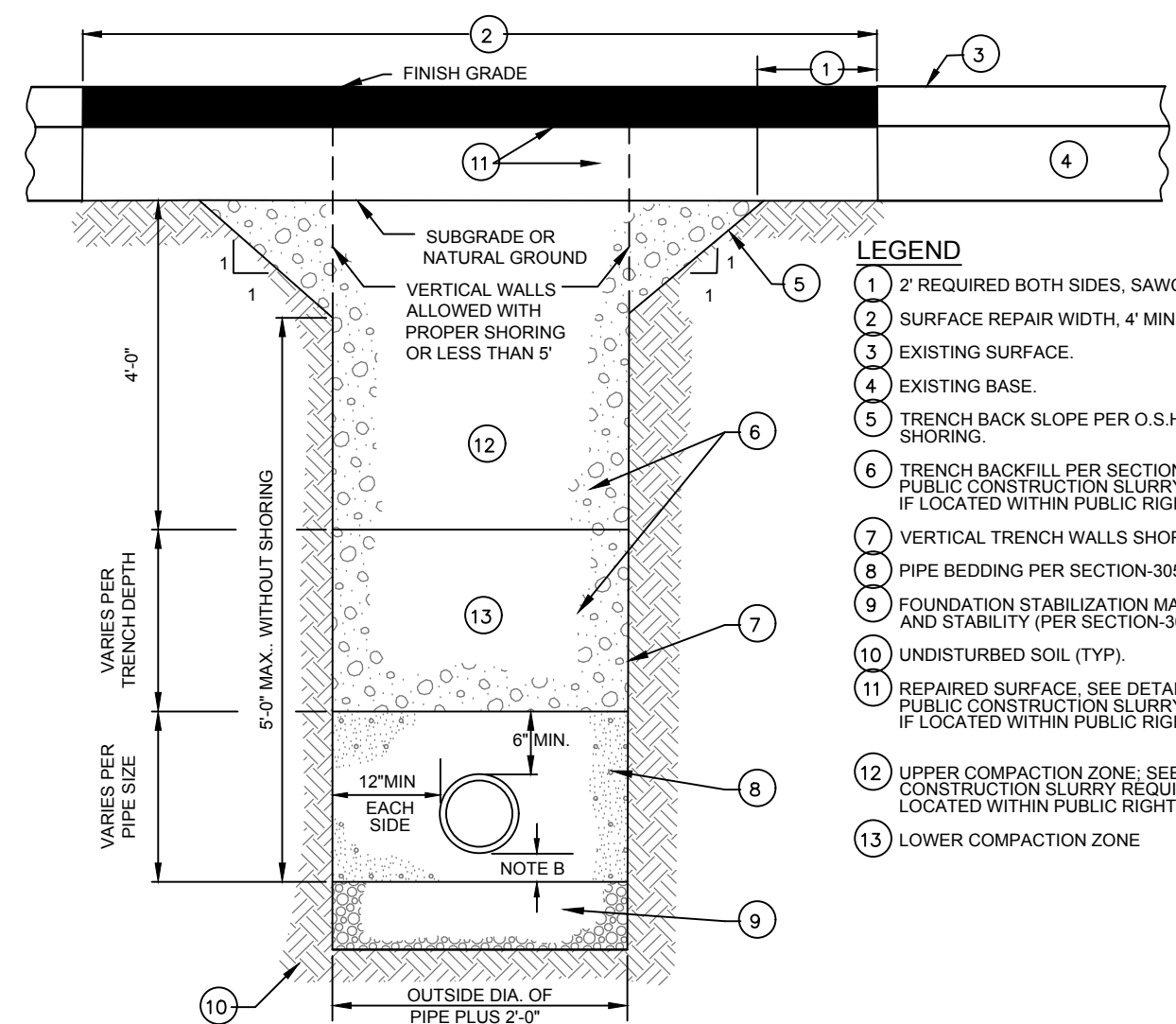
1 CITY OF KETCHUM TYPICAL ASPHALT SECTION (DETAIL 3) N.T.S.

2 CITY OF KETCHUM CONCRETE SIDEWALK WITH CURB AND GUTTER (DETAIL 7) N.T.S.

3 CITY OF KETCHUM 6\"/>

4 CITY OF KETCHUM TYPICAL CURB TRANSITION (DETAIL 6) N.T.S.

5 CITY OF KETCHUM 6\"/>



LEGEND

- 2\"/>

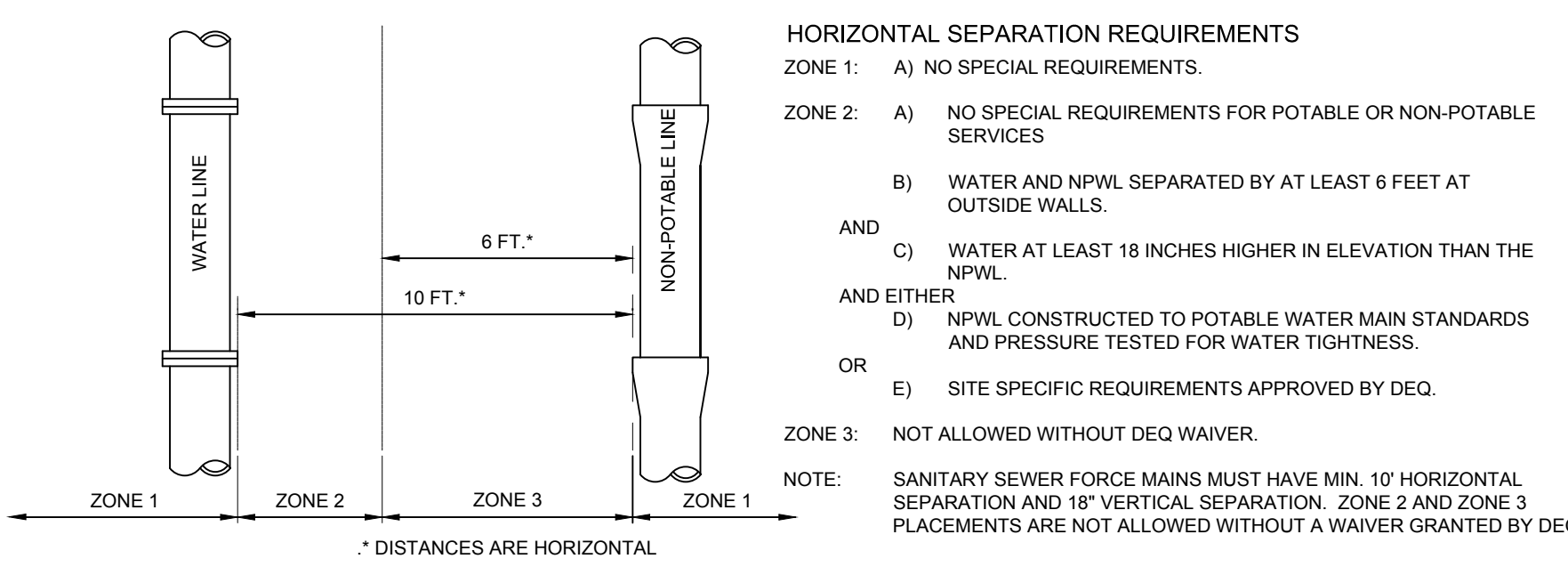
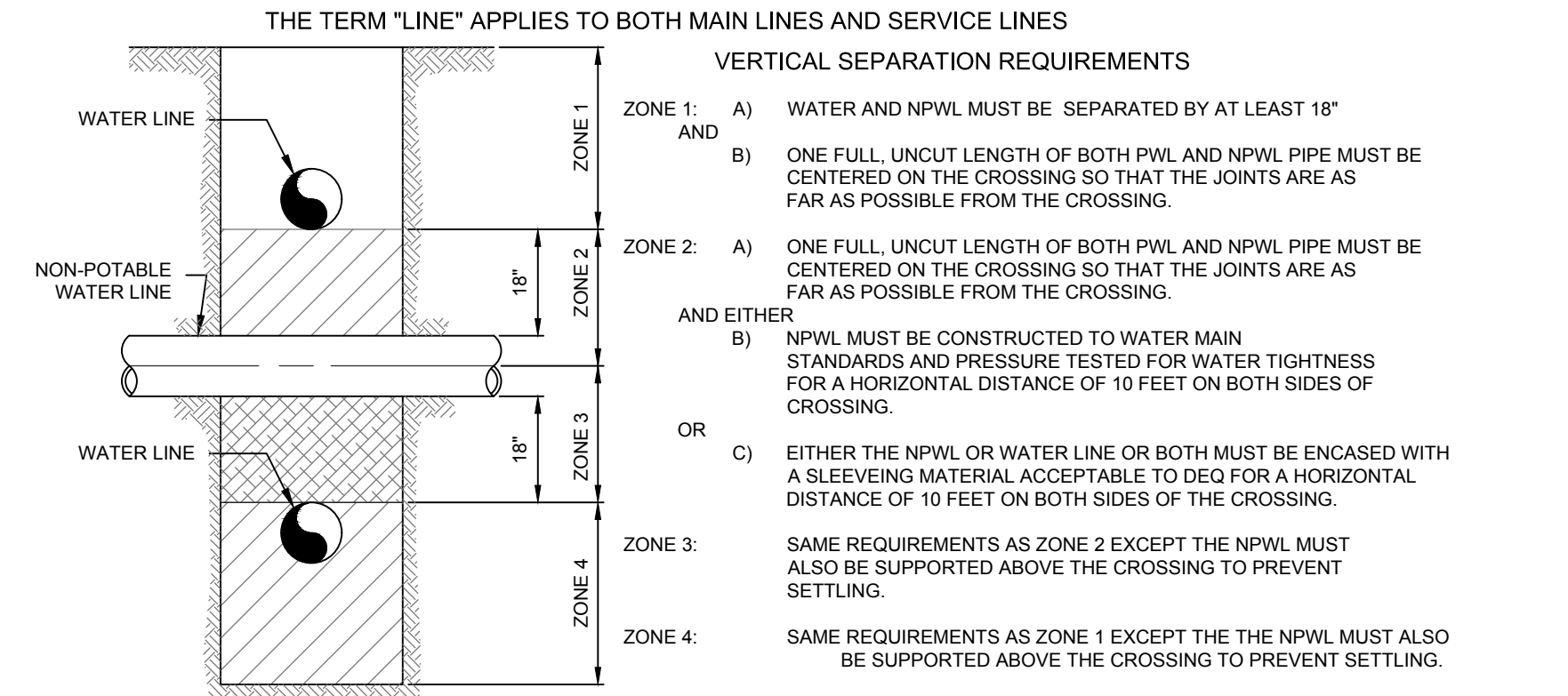
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

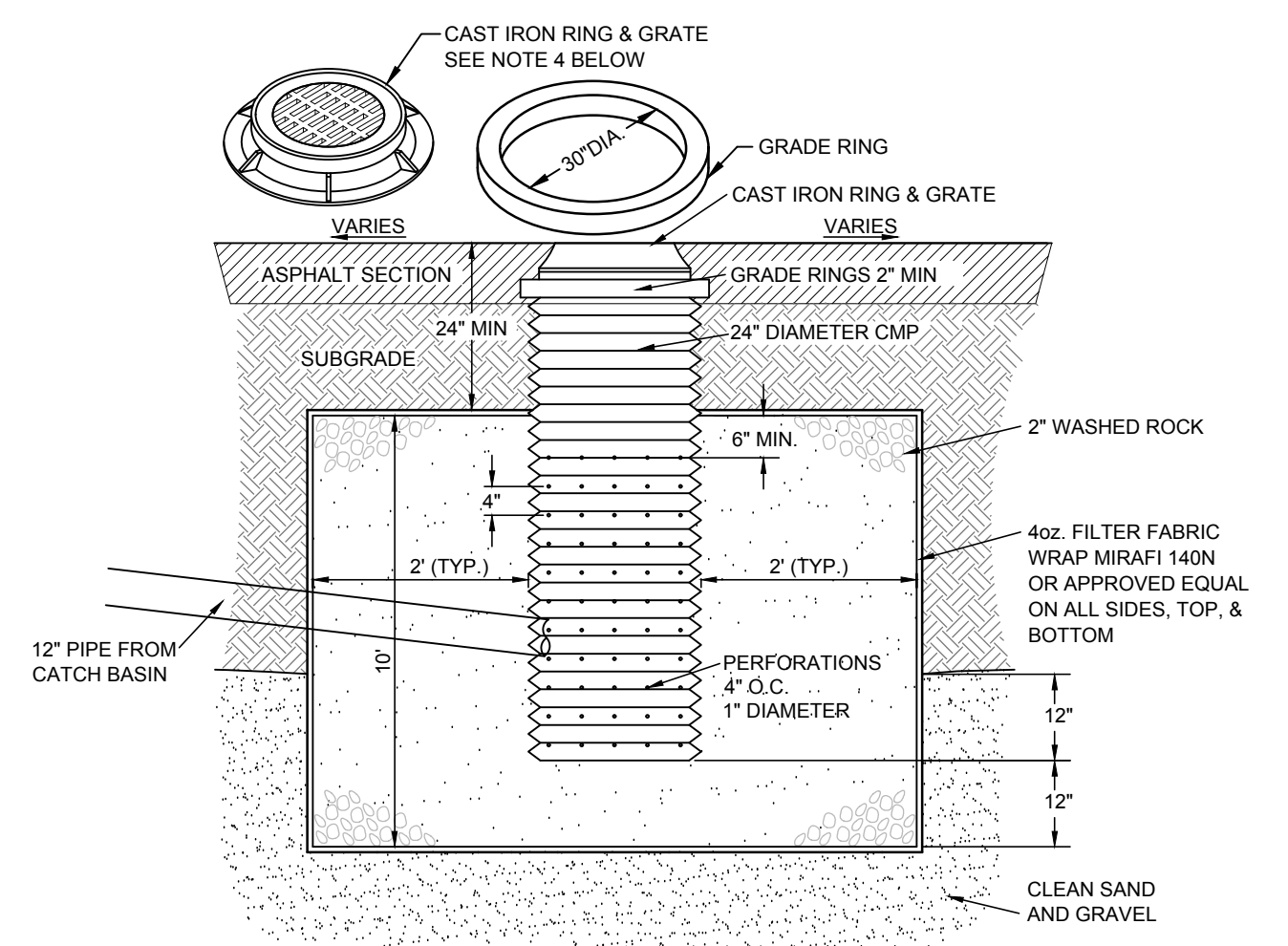
COARSE AGGREGATE (3/4\"/>	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX.)

NOTES:

- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE #1 (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.



7 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION N.T.S.



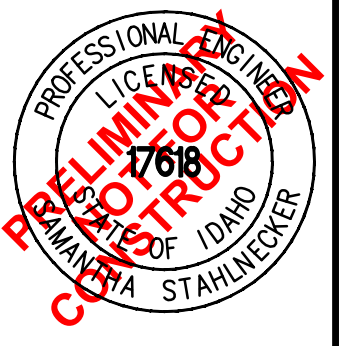
NOTE:

- THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

8 CITY OF KETCHUM DRYWELL (DETAIL 10) N.T.S.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

DETAILS
BLACK BUILDING - 120 NORTHWOOD WAY
 LOCATED WITHIN SECTION 12, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MY SUN VALLEY HOME
 PROJECT INFORMATION
 P:\cs\chp\120northwoodway\120northwoodway.dwg | User: jrg | Date: 10/29/2019 1:55:46 PM



SKS DESIGNED BY
 CT DRAWN BY
 SKS CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (10/29/2019)	REVISIONS
NO.	DATE BY

GLASKE INDUSTRIAL CONDOMINIUMS PHASE 2

GLASKE INDUSTRIAL CONDOMINIUMS PHASE 1

HORN INDUSTRIAL CONDOMINIUMS

NORTHWOOD WAY
60 FOOT RIGHT OF WAY

LOT 9

LOT 8
0.18 ACRES

LOT 7A

BUILDING

BUILDING

COX COMMUNICATIONS

INDUSTRIAL EAST SUB.
BLOCK 1, LOT 1BB

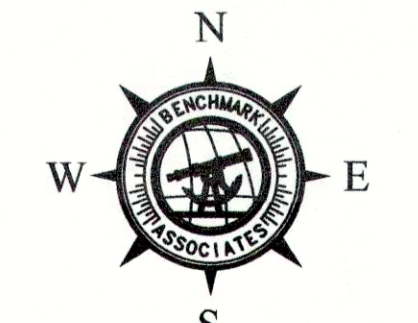
NOTES

- GENERAL RESTRICTIONS & TITLE INFORMATION:**
1. THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHIC/SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE.
 2. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 3. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 4. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 5. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
6. BUILDING AREA: BUILDING ENVELOPE AS SHOWN, IS PER PLAT, OR THE ORIGINAL PLAT DOES NOT SHOW BUILDING ENVELOPES. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 7. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE, ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
 8. WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
 9. STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.
 10. FLOOD PLAIN: THE 1% ANNUAL FLOOD LINE, IF DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, BENCHMARK ASSOCIATES DOES NOT REPRESENT, GUARANTEE, WARRANT NOR IMPLY THAT AREAS OUTSIDE OF THE DESIGNATED FLOOD PLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO, UNINCORPORATED AREAS) COMMUNITY NUMBER 165167 - PANEL NO. 0453 E - NOVEMBER 26, 2010.
 11. FLOOD PLAIN DESIGN ELEVATIONS: CURRENT FEMA FLOOD INSURANCE REGULATIONS SPECIFY THE BOTTOM FLOOR OF STRUCTURE AS EITHER THE BOTTOM OF FOUNDATION CRAWL SPACE OR TOP OF SLAB. THE BASE FLOOD ELEVATION ON THE UPSTREAM SIDE OF THE STRUCTURE DETERMINES THE FLOOD ELEVATION FOR THE ENTIRE STRUCTURE AND SHOULD BE CONSIDERED PRIOR TO DESIGN. REFER TO LOCAL BUILDING CODES FOR ADDITIONAL CONSTRAINTS AND REGULATIONS.

- SURVEY AND SITE FEATURES:**
12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83. CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT & R.O.S. REFER TO PLAT, R.O.S. (INST. # 655878) & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 13. ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM.
 14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: JUNE 2017.
 19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 21. FEATURES OBSCURED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:
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P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
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LEGEND

- | | |
|--|---------------------------------|
| | PROPERTY LINE |
| | ADJOINING PROPERTY LINE |
| | EDGE PAVEMENT |
| | EXTERIOR BUILDING FOOTPRINT |
| | EASEMENT |
| | FENCE |
| | FLOW LINE |
| | SEWER PAINT MARKS |
| | UNDERGROUND GAS PAINT MARKS |
| | UNDERGROUND POWER PAINT MARKS |
| | MEASURED BEARINGS AND DISTANCES |
| | FOUND 1/2" REBAR |
| | FOUND 5/8" REBAR |
| | SET 5/8" REBAR |
| | CONTROL POINT |
| | SEWER MANHOLE |
| | POWER BOX |
| | TELEPHONE RISER |
| | CABLE TV RISER |
| | WATER VALVE |
| | DECIDUOUS TREE |



NORTHWOOD LIGHT INDUSTRIAL PARK, LOT 8
LOCATED WITHIN
SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT NO. 18179	DWG BY: ROB	CRD: 18174.CRD	18174.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 6/5/2019	SHEET: 1 OF 1	



Standing Seam Metal Roofing - "Weathered Zinc"
Vertical Standing Seam Metal Siding - "Weathered Zinc"



Stucco Pre-Fabricated Wall Panels - "Light Gray"



Parklex Wood Siding Panels - "Rubi"



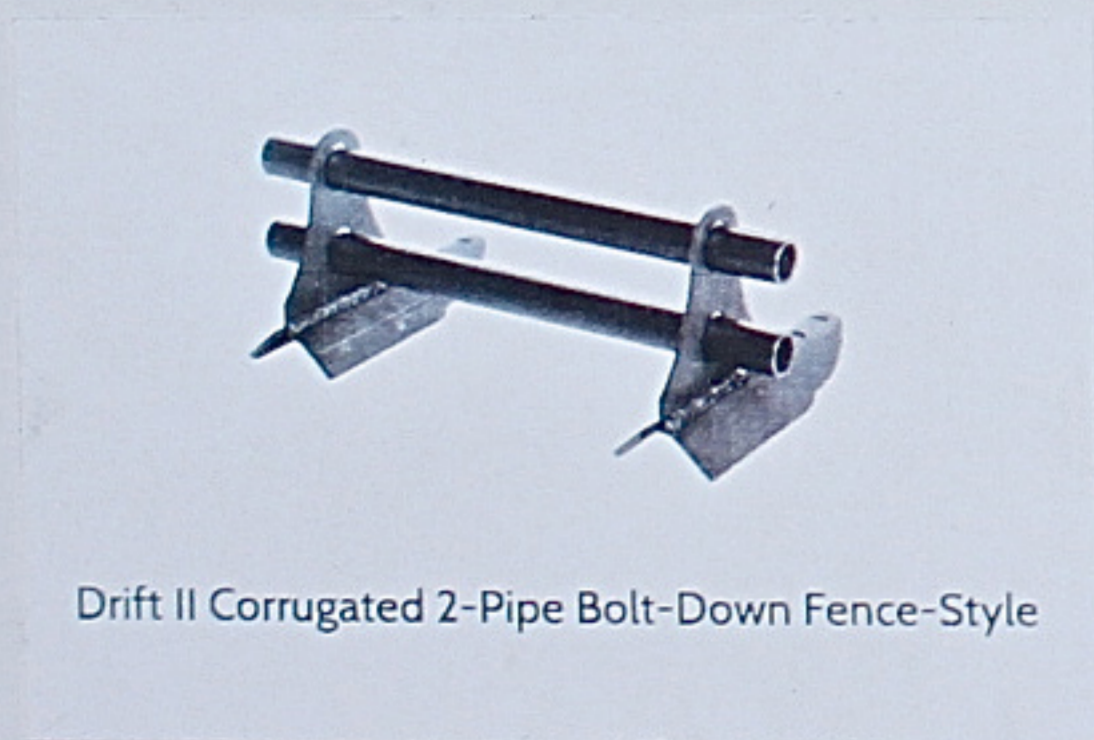
Curved Corrugated Galvanized Roofing / Guardrail Panels



Fiberglass Windows and Doors @ Metal / Stucco Siding - "Brown"

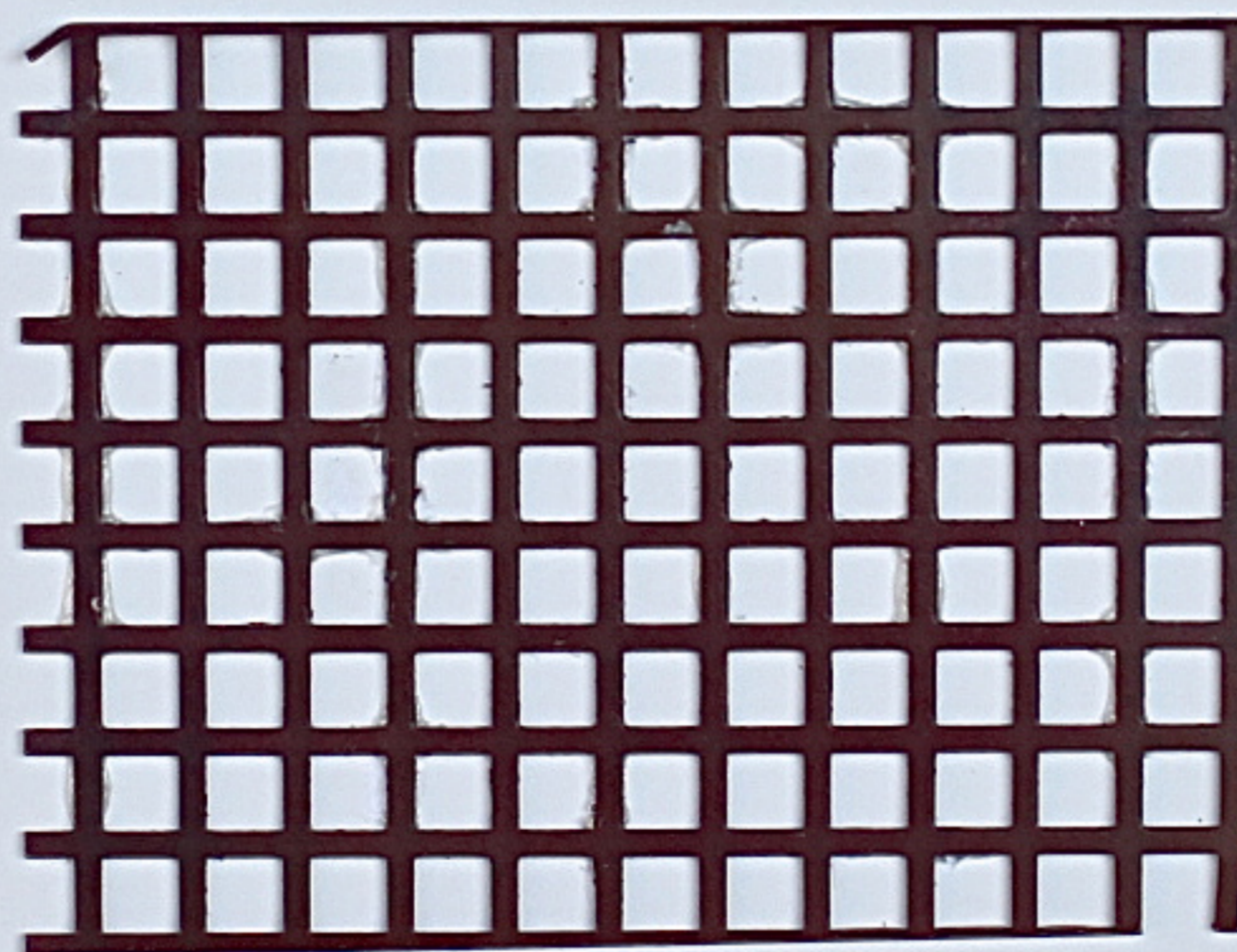


Clad Wood Windows and Doors @ Parklex Siding - "Hemlock"



Drift II Corrugated 2-Pipe Bolt-Down Fence-Style

Snow Retention



Grided Steel Dumpster Screening Panels - "Red-Brown"

DGS STAMP ARCHITECTS

Don Stamp
Principal
NCARB

221 Tower Creek Road
Carmen, ID 83462

TEL: 208-756-6570
FAX: 208-756-6576
E-MAIL: dgs@centurytel.net



MOUNTAINWOOD
CONSTRUCTION

My Sun Valley Home Office – CONSTRUCTION ACTIVITY PLAN
120 Northwood Way – Ketchum Idaho

We will be constructing a 9,822 sq. office space with optional living quarters above.

This project will start the end of March 2020 or after ground thaw and is scheduled to be completed in November 2020. Contractor and trailer parking will be kept onsite as well as using 3 street parking spaces on Northwood Way on a first come first serve basis. All materials storage will happen within the property, mainly in the covered parking area noted on the site plan. Material fill and stockpile will take place on the NE corner of property.

Onsite restrooms will be provided and situated in the NW corner of property next to dumpster. Job site will be maintained and walked for trash in the evenings before wrapping up. A temporary fence will be installed around property to assist with debris and bystander safety.

The curb and small section of asphalt will need to be redone during the project. At that time, we will extend our temporary fence to block bystanders and will involve traffic control throughout the project as needed.

Large delivery trucks will be able to pull in east to west using street parking on Northwood Way for load and unload allowing traffic to flow both ways.

There will be a jobsite representative from Mountainwood Construction present during construction hours to keep the site clean, safe and minimize the impact to the surrounding neighbors.

Mountainwood Construction
171 Stoney Cove
Hailey, Idaho 83333
208-721-7146

David Wood



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: My Sun Valley Home Property Services Mixed-Use Building

FILE NUMBERS: P20-003 & P20-004

APPLICATION TYPES: Design Review and Conditional Use Permit

REPRESENTATIVE: Don Stamp, Architect

OWNER: Corey & Amber Black/Black Properties, LLC

REQUEST: Design Review for the proposed development of a new three-story, 9,822 gross sq ft mixed-use building, which will include work spaces, offices, a laundry facility, and storage for My Sun Valley Home Property Services and a Conditional Use Permit for the three employee housing units on the third level.

LOCATION: 120 Northwood Way (Northwood Light Industrial Park Subdivision Phase 1: Block 1: Lot 8)

ZONING: Light Industrial District Number 2 (LI-2)

OVERLAY: 48 ft Height Overlay

NOTICE: A public hearing notice for the project was mailed to all property owners within 300 ft of the development site on December 30th, 2019. The public hearing notice was published in the Idaho Mountain Express on December 25th, 2019.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

Owners and operators of My Sun Valley Home, Corey and Amber Black have submitted a Design Review application concurrent with a Conditional Use Permit application for the development of a new three-story, 9,822 sq ft mixed-use building, which will contain three employee housing units on the third level, located at 120 Northwood Way (Northwood Light Industrial Subdivision: Lot 8) within the Light Industrial Number 2 (LI-2) Zoning District. The mixed-use building will be comprised of light industrial, office, and residential uses. The property management operation includes multiple permitted light industrial uses, such as a maintenance service facility, storage, industrial laundry, repair shop, and motor vehicle service. The second-level of the proposed mixed-use building is comprised of offices as well as a conference room for administrative functions associated with the property management service, which is permitted use in the LI-2 Zone as a contractor-related business as specified in Ketchum Municipal Code (KMC) §17.08.020.

OFFICE, CONTRACTOR-RELATED BUSINESS: An establishment wherein the primary use is the conduct of a business or profession specifically related to building contracting including, design services, engineering, construction, landscaping, maintenance and property management (KMC §17.08.020).

As indicated on Sheet 5 of the applicant submittal (Exhibit A), the third level of the building is reserved for three one-bedroom employee housing units. The housing units are accessed from a common lobby. Each unit has its own separate storage area and designated parking space. The employee housing units are subject to the minimum criteria for residential units in light industrial districts as specified in KMC §17.124.090.

The subject property, Lot 8 of Northwood Light Industrial Park Subdivision Phase 1, is currently vacant and has a total area of 8,040 sq ft, which complies with the 8,000 sq ft minimum lot area required in the LI-2 Zone. To the east of the subject property at the corner of Northwood Way and Lewis Street, the 100 Northwood Way mixed-use building is currently under construction. A commercial building utilized by High County Resort Properties, sheet-metal fabrication, and auto detailing lies adjacent to the west of the subject property. The Glaske and Horn Industrial condominiums are across Northwood Way to the north of subject Lot 8.

At the December 9th, 2019 meeting, the Planning & Zoning Commission held a site visit and considered the Pre-Application Design Review submittal as well as Staff analysis, the applicant’s presentation, and public comment. Following review of the Pre-Application and providing feedback to the applicant, the Commission unanimously moved to advance the project to final Design Review.

ANALYSIS

Staff analysis of the application is provided in Tables 1-6 including the project’s compliance with the City of Ketchum 2014 Comprehensive Plan, City Department comments, Light Industrial District Number 2 (LI-2) Zoning District requirements, Design Review standards, standards for residential units in light industrial districts, Conditional Use Permit criteria, and other provisions of Ketchum Municipal Code.

Table 1: Comprehensive Plan Analysis

The proposed mixed-use building project demonstrates three of the Core Community Values contained in the 2014 Comprehensive Plan—A Strong and Diverse Economy, Well-Connected Community, and a Variety of Housing Options. The project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<p>Land Use Category: Mixed-Use Industrial</p>	<p>PRIMARY USES Light manufacturing, wholesale, services, automotive, workshops, studios, research, storage, construction supply, distribution and offices make up the bulk of development within this district.</p> <p>SECONDARY USES A limited range of residential housing types, and supporting retail are provided for within this category. Uses should generate little traffic from tourists and the general public.</p> <p>CHARACTERISTICS AND LOCATION The Mixed-Use Industrial category is intended to provide critical lands for Ketchum’s economic growth and entrepreneurial opportunity within a vibrant business district where people can work and live in the same area.</p>

	<i>My Sun Valley Home is a property management operation that combines many light industrial uses including routine maintenance of buildings, industrial laundry, repair shop, storage, and motor vehicle service. The proposed mixed-use building will also contain offices for the business's administrative functions, which is permitted in the LI-2 Zone as a contractor-related business. The commercial components of the mixed-use building meet the intention for primary uses in the mixed-use industrial area. The employee housing units provided on the third floor meet the intention for secondary uses in the mixed-use industrial land use category.</i>
Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.
Policy CD-1.3 Compatible Infill and Redevelopment Projects	Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.
Housing	
Goal H-1	Ketchum will increase its supply of homes, including rental and special-needs housing for low-, moderate-, and median income households.
Policy H-1.2 Local Solutions to Attainable Housing	The City of Ketchum will place greater emphasis on locally-developed solutions to meet the housing needs of low-, moderate-, and median-income households. The City further recognizes that such needs likely will not be met solely through private development. To facilitate affordable housing opportunities, the City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.
Policy H-1.4 Integrated Housing in Business and Mixed-Use Areas	Housing should be integrated into the downtown core and light industrial areas, and close to the ski base. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions. <i>The proposal integrates housing into the light industrial area in a mixed-use building.</i>
Goal H-3	Ketchum will have a mix of housing types and styles.
Policy H-3.1 Mixture of Housing Types in New Development	<i>The housing stock in Ketchum predominately consists of single-family homes, attached and detached townhomes, large scale condominium developments, and condominiums within mixed use buildings in the Community Core. These three employee housing units represent a less common housing type (residential above a business in the LI), thus diversifying the mixture of housing available.</i>
A Strong and Diverse Economy	
Goal E-1	Ketchum will work to retain and help expand existing independent small local business and corporations.
Mobility	
Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers	Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle traps.
Future Land Use	
Goal LU-1: Promote a functional, compact, and	Policy LU-1.1 Integrated and Compatible Land Uses

<p>170 Mixed-use pattern that integrates land and balances residential and non-residential land uses.</p>	<p><i>The project seamlessly balances the light industrial functions associated with the property management with the residential employee housing units. The uses associated with the property management operations including storage and laundry are compatible with the adjacent land uses in the LI-2 Zone.</i></p>
<p>Goal LU-2 Support infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation.</p>	<p>Policy LU-2.2 Compatible Residential Infill Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.</p> <p><i>The project includes new residential units on the third floor of the property services building.</i></p>

Table 2: City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • Approved address and unit numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An

approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system. NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site including water from any roof drains (KMC §17.96.060.C.1).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The shall improve the adjacent Northwood Way right-of-way to comply with City ROW standards specified for a 60-foot wide right-of-way including: (a) sidewalk, parking, and drive lane width, (b) stop, street, and parking sign installation, (c) street lights, and (d) parking stall dimensions. Specifications for the ROW

improvements shall be indicated on the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an encroachment permit approved by the City will be required. Property owner will be responsible for all associated maintenance and repair.
- All lighting within the ROW will need to meet city ROW standards (see Right-of-Way Standards, Commercial Category). Per City ROW standards a lighting study will need to be provided to ensure proper lighting of sidewalks. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc.
- Per ADA Standards sidewalks cross slopes are 1.75 +/- 0.25 percent.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing connections to the water and sewer system at Northwood Way.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 1, 3, 4, 5, and 6.

Table 3: Zoning and Dimensional Standard Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Lot Area
			<i>Staff Comment</i>	Required: 8,000 square feet minimum Existing: Lot 8 has a total area of 8,040 sq ft (Sheet 1)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Coverage
			<i>Staff Comment</i>	Permitted: 75% Proposed: 72%(5,757 sq ft building coverage/8,040 sq ft lot area)

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Minimum Building Setbacks
			<i>Staff Comment</i>	<p>Minimum Required Setbacks: Front: 20' Side: 0' for internal side yards Rear: 0'</p> <p>Proposed: Front (N): 20' (Sheet 4) Side (E): 2" Side (W): 2" Rear (S): 2"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.050	Building Height
			<i>Staff Comment</i>	<p>Maximum Building Height Permitted: 35' Non-habitable Structures Located on Building Rooftops: 6 ft above roof surface height Parapets and Rooftop Walls Screening/Enclosing Mechanical Equipment: 4 ft above roof surface height Rooftop Solar and Mechanical Equipment Above Roof Surface: 5 ft above roof surface height</p> <p>Proposed: Maximum Building Height Top of Roof Deck: 32'-6" (Sheet 7) Maximum Building Height Top of Parapet: 35' (Sheet 7) Elevator (non-habitable structure): 3'-6" above roof surface (Sheet 7)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	Curb Cut
			<i>Staff Comment</i>	<p>Maximum Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p>Proposed: As indicated on Sheet C1.0, the applicant has proposed a 31 ft curb cut, which is 35% of the property's total street frontage along Northwood Way.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A1 & 17.125.040.B	Parking Spaces
			<i>Staff Comment</i>	<p>Required In Light Industrial Districts:</p> <ul style="list-style-type: none"> • Residential (including multiple-family dwelling) : 1 parking space per bedroom • Office, Contractor-Related Business: 1 parking space per 250 gross sq ft • LI Uses (Maintenance Service Facility): 1 parking space per 1,000 gross sq ft <p>Required with My Sun Valley Home Mixed-Use Building:</p> <ul style="list-style-type: none"> • Residential (including multiple-family dwelling) : 3 parking space (3 one-bedroom employee housing units)

				<ul style="list-style-type: none"> Office, Contractor-Related Business: 3 parking spaces (845 sq ft office and conference room/ 250 gross sq ft) LI Uses (Maintenance Service Facility): 6 parking space (6,101 gross sq ft LI uses/1,000 gross sq ft) <p>12 total parking space are required for the proposed use.</p> <p>Proposed: <i>The applicant has provided 15 total off-street parking spaces. 12 parking spaces are provided within the enclosed garage and 3 surface parking spaces are provided underneath the second-level cantilever. As indicated on Sheet 3 of the submittal drawings, the 3 surface parking spaces will be designated and reserved for the three employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 040.D	Off Street Vehicle Loading Area
			Staff Comment	<p>Required: In the LI-1, LI-2, and LI-3 Districts, off street loading areas shall be required as an accessory use for new construction or additions involving an increase in gross floor area as follows: 1. Number Of Spaces: a. One off street loading space is required for gross floor area in excess of two thousand (2,000) square feet. b. No loading space shall occupy any part of a public street, alley, driveway, or sidewalk. Where practicable to do so, an alley may be used in lieu of the requirement for off street loading space(s) if permission is granted by the Administrator. 2. Dimensions: An off street loading space shall be a minimum of one hundred eighty (180) square feet with no length of the space being less than ten feet (10').</p> <p>Proposed: <i>The off-street loading space is provided within the surface parking area underneath the second-floor cantilever. Sufficient area has been provided on the site for vehicles to back in towards the rear of the property to the elevator on the first level, which leads to the second-level storage area.</i></p>

Table 4: Design Review Standards Analysis

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	<i>The subject property has existing street frontage on Northwood Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.

			Staff Comments	<i>No changes to the lanes of travel in the street are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	<i>As the mixed-use building is new construction, the project qualifies as a substantial improvement and the developer shall install sidewalks, curb, and gutter adjacent to the front property line along Northwood Way to comply with City right-of-way standards specified for 60-foot wide ROW roads.</i> <i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i> <i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060B2c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	<i>All ROW improvements shall be constructed to City ROW standards including specifications for sidewalk width. See Table 2 for comments and conditions from the City Engineer & Streets Department. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	<i>N/A as sidewalks are required to be installed with the My Sun Valley Home Mixed-Use Building development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<i>The length of sidewalk improvements constructed shall be equal to the length of the subject front property line) adjacent to Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	<i>As indicated on Sheet C1.0, the new 6 ft concrete sidewalk is designed to connect to the existing sidewalks along Northwood Way adjacent to Lots 7A and 9 of the Northwood Light Industrial Subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by

				<p>the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p>
			Staff Comments	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1	All storm water shall be retained on site.
			Staff Comments	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted a preliminary drainage plan on Sheets C1.0 and C2.0 of the submittal drawings. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped by an Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.3	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4	Drainage facilities shall be constructed per City standards.
			Staff Comments	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	<i>The applicant is aware of this requirement and the preliminary plans indicated on Sheets C1.0 and C2.0 show utility connections and locations. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Idaho Power. See Table 2 for Utilities Department comments and conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

			Staff Comments	<i>All utilities within the development site shall be underground and concealed from public view. See above Staff comment for Ketchum Municipal Code §17.96.060(D)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	<i>The applicant is aware of this requirement and will comply with these standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	<i>As indicated on the Material Board and Sheet 7 of the drawings, the proposed exterior materials include: (1) "weathered zinc" vertical standing seam siding, (2) prefabricated, light-gray stucco panels, (3) "rubi" Parklex wood siding panels, (4) corrugated galvanized guardrail panels with dark gray steel supports, (5) "hemlock" clad wood windows and doors, (6) brown fiberglass windows, (7) dark-gray, exposed steel beams and columns, and (8) red/brown gridded steel screening panels. The roof system is comprised of (1) "weathered zinc" standing seam metal roofing, (2) a white TPA flat roof system, and (3) curved corrugated galvanized roofing.</i>
				<i>The proposed design including the exterior materials and colors of the mixed-use building is complementary to other structures within the neighborhood. The gray stucco and wood siding panels combined with the exposed steel beams and columns echo the light industrial area's interaction with Ketchum's mountain backdrop and natural surroundings. Disparate from the flat roof system, the low pitch roof (1.5/12) element is highlighted as a distinguished feature that resonates with the architectural vernacular of the new, more modern development within the City of Ketchum.</i>
				<i>The specification and rendering for the proposed sign is included on Sheet 9 of the submittal drawings. The proposed sign materials including the gridded steel panels and exposed tube steel as well as the dark brown and gray colors match the design of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	<i>N/A as the lot is vacant and the project will be new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	<i>The sidewalk within the public ROW will connect to an on-site concrete entry walkway, which leads to the front entrance of the mixed-use building and</i>

				<i>spans the length of the garage bay (Sheet L1.0). The main building entrance is defined through the use of architectural elements, including the low pitch roof and cantilever of the second-level balcony, which frame and highlight the entryway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2	The building character shall be clearly defined by use of architectural features.
			Staff Comments	<i>As indicated by the renderings on Sheets 2, 7, and 8, breaks are incorporated within the vertical wall planes through projecting elements, such as the balconies, and recessed building masses. The design of each façade is further articulated by varying roof heights. The material differentiation and fenestration provided across all façade further define the building. The design incorporates a rectangular rhythm with the unique patterns provided by the wood and gray stucco siding panels. The low pitch roof element enhances the prominence of the main entrance to the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3	There shall be continuity of materials, colors and signing within the project.
			Staff Comments	<i>The same materials and color schemes are used on all four facades of the building. The materials and color of the proposed sign complement the exterior design of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F4	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			Staff Comments	<i>The gridded steel screening panels, roof overhang, and steel beams associated with the dumpster enclosure serve as a unique architectural element that complements the design of the mixed-use building. The landscape plantings combine Swedish aspens with grasses and shrubs that complement the mixed-use building and serve as a buffer from Northwood Way and the adjacent property to the west.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			Staff Comments	<i>The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of bulk and flatness at all façades. The façades combine horizontal and vertical elements through the variation of siding materials, the placement of balconies and associated railings, the garage doors, as well as the fenestration provided through multiple window and door openings. The main entrance is distinguished by the low pitch roof and the overhang of the second-level balcony. Breaks are incorporated into the vertical wall plane through recessed building masses and projecting elements, which articulate the each and reduce the appearance of flatness.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6	Building(s) shall orient towards their primary street frontage.
			Staff Comments	<i>The front façade of the building orients towards Northwood Way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	<i>While located at the front façade, the dumpster enclosure is fully screened from public view through gridded steel screening panels and exposed steel beams and columns. The curved roof overhanging the dumpster enclosure serves as a unique architectural element that complements the light industrial</i>

				<i>design aesthetic. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The majority of the roof system is flat with roof drains that prevent water from dripping or snow from sliding onto circulation areas. As noted on Sheet 5 of the drawings, the curved roof element overhanging the dumpster will include snow retention devices. The projected low pitch roof overhang and second-level balcony overhang serve as weather protection for the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The applicant as proposed an on-site concrete entry walkway, which will connect to the new concrete sidewalk along Northwood Way (Sheet L1.0). As indicated on Sheet C1.0, the proposed concrete sidewalk will connect to the existing sidewalk along Northwood Way. No new easements or pathways are expected in this vicinity of the Light Industrial zone. Equestrian access is not appropriate in this location.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A as no awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Vehicular traffic will access the development from Northwood Way. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The subject property is located over 150 ft from the intersection of Northwood Way and Lewis Street. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Northwood Way provides unobstructed access for emergency vehicles, snowplows, garbage trucks and similar service vehicles. The project poses no impediment to emergency or service vehicles.</i>

	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. As indicated on Sheet 1, the applicant has proposed hauling snow from the site as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>As permitted pursuant to KMC §17.96.060.H4, the applicant has proposed hauling the snow off-site in lieu of providing a designated snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>As noted on Sheet 1 of the drawings, the applicant has proposed hauling the snow off-site in lieu of providing a snow storage area on-site. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheet L1.0 of the submittal drawings. The landscape plan includes Swedish aspens as well as planters comprised of ornamental grasses and perennial flowers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the mixed-use building and enhance the neighborhood. Bordering the front property line, the planters framing the driveway access create an inviting entryway to the mixed-use development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.I3	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The proposed landscaping will provide a buffer between the mixed-use building and Northwood Way. The line of Swedish Aspen trees bordering the interior property line will provide a buffer between the entryway to the mixed-use building from the adjacent mixed-use development to the west.</i>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1	<p>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</p>
		<i>Staff Comments</i>	<p><i>The project is located in the Light Industrial area and the width of the existing sidewalks in the neighborhood as well as the proposed sidewalk along Northwood Way range from 5 to 6 ft. As a result, the width does not provide sufficient clearance to allow public amenities in the sidewalk while still maintaining a clear path of travel as required by ADA. Further, sight constraints limit available locations to install amenities as any obstruction would conflict with vehicle ingress and egress into the site. Given the associated site constraints, Staff finds this standard to be inapplicable to the project.</i></p>

Table 5: Dwelling Units in Light Industrial Districts Standards Analysis

IMPROVEMENTS AND STANDARDS: 17.124.090 – RESIDENTIAL, LIGHT INDUSTRIAL DISTRICTS:				
Residential units in the light industrial districts shall comply with the following minimum criteria:				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (1)	Dwelling units shall not occupy the ground floor.
			<i>Staff Comments</i>	<i>The three employee housing units are located on the third level of the mixed-use building as specified on Sheet 5 of the submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (2)	Design review under chapter 17.96 of this title shall be required whether new building, addition to existing building or remodel of existing building.
			<i>Staff Comments</i>	<i>The applicant has concurrently submitted a Design Review application for the proposed mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (3)	Dwelling Units: Unless otherwise specified in this section, up to fifty percent (50%) of any light industrial building may be devoted to dwelling units and up to fifty percent (50%) of a work/live unit's gross floor area may be devoted to the residential portion of a work/live unit.
			<i>Staff Comments</i>	<i>The total area of residential use including the employee housing dwelling units and associated storage areas is 2,543 sq ft, which is 26% of the mixed-use building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (4)	<p>Individual Units: Except as set forth in the following instances noted herein below, dwelling units shall not be separated in any manner for sale as individual units and may only be leased or rented. The instances where dwelling units may be sold are limited to:</p> <ul style="list-style-type: none"> a. City approved work/live units, as defined in chapter 17.08 of this title and subsection A5 of this section; b. Three-story projects in the LI-3 where not less than one-third (1/3) of the total square footage of housing units includes deed restricted community housing that are for sale consistent with subsection B of this section; c. Four-story and five-story projects in LI-2 and LI-3 where not less than two-thirds (2/3) of the total square footage of housing units includes deed restricted community housing units that are for sale consistent with subsection A7 of this section;

				<p>d. Existing non-conforming single-family dwellings existing in the LI-1 prior to adoption of Ketchum City Ordinance #85, as enacted on May 27, 1965;</p> <p>e. Existing condominiums and work/live units with less than one thousand (1,000) square feet of residential gross floor area that have a valid residential conditional use permit prior to the adoption of this section as published.</p>
			Staff Comments	<i>The applicant has not proposed separating the dwelling units for sale as individual units. The dwelling units are reserved for My Sun Valley Home employees.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (5)	<p>5. Work/Live Units: In the approval of work/live units, the City shall also find that:</p> <p>a. The work portion of the unit meets the definition of work/live unit set forth in section 17.08.020 of this title, including that the project is subject to Council approval of a restrictive covenant;</p> <p>b. The work unit is:</p> <ol style="list-style-type: none"> (1) Suitable for on-site employees, foot traffic/customers, and meets applicable Building and Fire Codes; (2) Signed and posted with regular hours of operation; (3) Served by the prominent means of access for the work/live unit; and, (4) Associated with a business license for a use allowed (either conditionally or permitted) in the district. <p>c. The residential portion of the living space is secondary to the primary use as a place of work. A finding that the residential space is secondary to the work space shall be based on measurable findings, including but not limited to:</p> <ol style="list-style-type: none"> (1) The size of the live portion of the work/live unit is both smaller than the work portion of the unit and, further, the live portion of the work/live unit does not exceed one thousand (1,000) gross square feet; (2) Means of access to the residential portion of the unit is not prominent and, preferably, is located to the side or rear of the property; and (3) Suitable residential parking that does not interfere with snow removal or the operation of proximate LI uses and, further, is in accordance with the parking and loading requirements set forth in chapter 17.125 of this title.
			Staff Comments	<i>N/A as no work/live units have been proposed within the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (6)	<p>6. Size: Dwelling units in the Light Industrial District shall be a minimum of four hundred (400) square feet. In the LI-1 and LI-2 no individual dwelling unit shall exceed a maximum of two thousand (2,000) square feet, contain more than two (2) bedrooms, and all units shall not exceed a mean average of one thousand (1,000) square feet.</p>
			Staff Comments	<i>The three employee housing units have similar floor plans with an open kitchen and living area, a bathroom, and one bedroom. Each unit has its own designated storage area accessed from a lobby area as well as a designated parking space. Each employee housing unit contains one bedroom. Each unit and associated storage area is ~843 sq ft. The mean average of all of the employee housing units is ~845 sq ft, which is 155 sq ft less than the mean average permitted.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.124.090 A (7)	<p>7. Fourth Or Fifth Floor: Buildings proposing a fourth or fifth floor with a qualifying ground floor consistent with section 17.12.050 of this title shall comply with the following minimum criteria:</p> <p>a. If dwelling units are to be sold, a minimum of two-thirds (2/3) of the total square footage of housing units shall be for deed restricted</p>

				<p>community housing units that are for sale and the deed restricted community housing units shall be designed and administered in accordance with the Blaine-Ketchum housing authority guidelines;</p> <p>b. The area designated as light industrial shall be as follows:</p> <p>(1) The area designated as light industrial shall be a minimum of twenty five percent (25%) of the gross floor area in four story buildings.</p> <p>(2) The area designated as light industrial shall be a minimum of twenty percent (20%) of the gross floor area in five story buildings.</p> <p>(3) Subject light industrial use shall not be for personal storage by dwelling occupants;</p> <p>c. Up to seventy five percent (75%) of the gross square footage of any four-story building and up to eighty percent (80%) of the gross square footage of a five story building may be devoted to dwelling units; and</p> <p>d. Unless otherwise deemed appropriate by the Administrator, common area allocation shall be assessed at a LI to residential ratio of 1:1 for four story buildings and 2:3 for five story buildings.</p>
			Staff Comments	<i>N/A. The proposed mixed-use building is three stories.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (8)	<p>8. Anti-Nuisance And Notice Provisions:</p> <p>a. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the City will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.</p> <p>b. All persons who rent or sublet any residential living unit within the Light Industrial Zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the Light Industrial Zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.</p> <p>c. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such Light Industrial Zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such Light Industrial Zone.</p> <p>d. All brochures and other printed materials advertising rental or lease of a living unit within the Light Industrial Zones shall contain a provision designating that such unit or units are located within the Light Industrial Zone and are within a mixed use area. Lessees and tenants shall be notified that the residential uses within the Light Industrial Zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.</p>
			Staff Comments	<i>The property owner is aware of the nature of the light industrial zone and is aware of the other standards within this section.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (9)	<p>Compliance: Compliance with all applicable code sections, including among others, the City's parking and loading standards as set forth in chapter 17.125 of this title, except that if a parking reduction is requested through a Transportation Demand Management Plan per section 17.125.090 of this title, the reduction request shall</p>

				<p>be submitted to the Zoning Administrator and the Ketchum City Council will determine if such request shall be approved.</p>
			Staff Comments	<p><i>The applicant has provided three more parking spaces than are required for the uses proposed within the building. The proposed light industrial, office, and residential uses generate a parking demand of 12 parking spaces and the applicant has provided 15 off-street parking space, which include three spaces specifically designated for the employee housing units.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.090 A (10)	<p>10. Conditions: Conditions including, but not limited to, the following may be attached to the conditional use permit approval:</p> <ul style="list-style-type: none"> a. Access to the residential units relative to design and relationship to light industrial uses, including suitable access consistent with adopted City standards; b. Separation of residential and light industrial parking on the site to minimize conflicts; c. Restrictions on exterior storage of personal property of tenants; d. Certificate of occupancy required prior to occupancy of units; e. Ketchum Fire Department and Ketchum Building Department requirements shall be met prior to occupancy; f. Snow removal required to ensure utility of residential spaces and non-interference with continuous LI operations; g. Any portion or all waived fees become due and payable upon conversion of resident housing unit(s) to light industrial uses; h. Construction techniques that aid sound proofing and limit externalities of LI noise and use impacts on residences is encouraged; i. Provision for and reasonable extension of sidewalks to assure safe pedestrian access; and/or, j. Any other condition deemed to enhance the purposes under this use, or to establish or promote the criteria referenced in subsections A1 through A10 of this section.
			Staff Comments	<p><i>Recommended conditions of approval for the subject Conditional Use Permit application are specified in the Staff Report below. The Planning & Zoning Commission may attach additional conditions of approval to the Conditional Use Permit as specified by KMC §17.124.090.A10.</i></p>

Table 6: Conditional Use Permit Criteria Analysis

Conditional Use Requirements				
EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code				
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:				
Compliance and Analysis				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(A)	The characteristics of the conditional use will not be unreasonably incompatible with the types of uses permitted in the applicable zoning district.

			Staff Comments	<p><i>The Light Industrial Number Two (LI-2) District allows for a variety of permitted and conditionally permitted uses ranging from manufacturing to personal service to wholesaling to automotive uses. Per KMC §17.18.150, the purpose of the LI-2 Zone is to, “provide for a permanent year round employment base and the location of light manufacturing, wholesale trade and distribution, research and development, service industries, limited related, bulk retail and offices related to building, maintenance and construction and which generate little traffic from tourists and the general public.”</i></p> <p><i>Many permitted light industrial uses, such as manufacturing, maintenance service facilities, repair shops, and motor vehicle service, may not occur elsewhere within the City of Ketchum, and these uses are largely permitted by-right in this district. In contrast, residential dwellings are permitted by Conditional Use Permit only – in order to both mitigate the impact of residential uses on light industrial operations and to ensure the proposed residential use will be located and constructed in such a manner that minimizes any negative externalities.</i></p> <p><i>The proposed mixed-use building is comprised of uses, which include storage, industrial laundry, maintenance service facility, and a repair shop. The property management operations align with permitted uses within the LI-2 Zone and existing uses within the Northwood Way area. Offices and a conference room are included within the building to serve the administrative functions of the property management business. The offices on the second level provide a buffer between the light industrial uses on the first level and the residential dwelling units on the third level.</i></p> <p><i>The light industrial, office, and residential uses are compatible with the types of uses permitted in the LI-2 Zone and existing within the Northwood Way area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(B)	The conditional use will not materially endanger the health, safety and welfare of the community.
			Staff Comments	<i>The My Sun Valley Home Mixed-Use Building project is consistent with the types of uses in the neighborhood. The proposed residential use is not expected to materially endanger the health, safety, or welfare of the community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(C)	The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
			Staff Comments	<i>The proposed project is not anticipated to significantly increase pedestrian and vehicular traffic as the building will primarily serve My Sun Valley Home employees. Clients and customers will not frequent the mixed-use building. The applicant has provided three more off-street parking spaces than required for the proposed development. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances as well as safe vehicular and pedestrian circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(D)	The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
			Staff Comments	<i>The three employee housing units will be adequately supported by public facilities and services. The addition of three new dwelling units on the third level of the mixed-use building will not adversely affect the delivery of public services to the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.116.030(E)	The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.

**Staff
Comments**

As described in Table 1 of this Staff Report and 17.116.030(A) of this table, the conditional use aligns with, rather than conflicts with, the policies of the Comprehensive Plan and the basic purposes of this section.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the applicant’s submittal attached as Exhibit A, the applicant’s presentation, and any public comment received, deliberate, and approve the My Sun Valley Home Mixed-Use Building Design Review and Conditional Use Permit applications by adopting the following motions:

- (a) “I move to approve the My Sun Valley Home Mixed-Use Building Design Review application subject to conditions of approval 1-12,” and
- (b) “I move approve the My Sun Valley Home Conditional Use Permit application for three new dwelling units in the Li-2 zone subject to conditions of approval 1-13.”

DESIGN REVIEW RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. This Design Review approval is subject to Conditional Use Permit P20-004. All conditions of approval shall apply.
4. Prior to issuance of a Building Permit for the project, the applicant shall submit the Off-Site Snow Storage Permit application and associated fee to the Planning & Building Department for review and approval. The permit shall specify the address as well as the dimensions of the proposed off-site snow storage area.
5. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
9. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.

11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

CONDITIONAL USE PERMIT RECOMMENDED CONDITIONS OF APPROVAL

1. The Conditional Use Permit is non-transferable.
2. This Conditional Use Permit approval is subject to all comments and conditions as described in Tables 2, 5, and 6.
3. This Conditional Use Permit approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Conditional Use Permit plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. This Conditional Use Permit approval is subject to Design Review P20-003. All conditions of approval shall apply.
5. Hours of operation for the business shall be posted and remain posted in accordance with KMC 17.124.090.A.5.b.2
6. No individual housing unit may exceed a maximum of 2,000 sq ft or contain more than two bedrooms and all units within a building shall not exceed a mean average of 1,000 sq ft.
7. No residential use shall occur on the ground level (first floor).
8. Due to both the mixed-use nature of this space and in order to ensure compliance with the zoning code requirement that the employee housing units do not exceed the residential unit size restriction in the LI-2 Zone, the Fire Marshal shall conduct routine inspections of the mixed-use building.
9. Inspections by Planning Staff to ensure requirements with the Conditional Use Permit conditions may be scheduled at the discretion of Staff.
10. The applicant is aware the mixed use of the property can result in conflict, that the light industrial use may on occasion or in certain respects be incompatible with the quiet enjoyment of the dwelling units, that due to the subordinate and junior nature of the residential use to the light industrial use, the city will not condition, limit, restrict or otherwise interfere with any lawful light industrial use solely because it interferes with a residential use.
11. All persons who rent or sublet any residential living unit within the light industrial zones shall provide the tenant, lessee or subtenant with written notice that such unit is located within the light industrial zone and, as such, is junior and, therefore, subordinate in nature to all legal light industrial activities.
12. Each and every real estate agent, sales person and broker and each and every private party who offers for rent or shows a parcel of real property and/or structure for lease or rent within such light industrial zones shall, upon first inquiry, provide the prospective lessee or tenant, prior to viewing such real property, with written notice that such real property and/or structure is located within such light industrial zone.
13. All brochures and other printed materials advertising rental or lease of a living unit within the light industrial zones shall contain a provision designating that such unit or units are located within the light industrial zone and are within a mixed-use area. Lessees and tenants shall be notified that the residential uses within the light industrial zone are subordinate and, therefore, junior in nature to the legal light industrial activities within the zone.

EXHIBITS:

- A. My Sun Valley Home Mixed-Use Building Design Review & Conditional Use Permit Submittal Drawings

Exhibit A:
My Sun Valley Home
Mixed-Use Building
Design Review
&
Conditional Use Permit
Submittal Drawings

my sun valley home

Don Stamp
Principal
NCARB

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Carmen, ID 83462

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PROJECT TEAM

OWNER:
MY SUN VALLEY HOME LLC
COREY AND AMBER BLACK
310 SOUTH MAIN STREET
P.O. BOX 1441
KETCHUM, IDAHO 83340
PH: 208-721-7520 EMAIL: AMBERBLACKABC@YAHOO.COM

ARCHITECT:
DGSTAMP ARCHITECTS
221 NORTH TOWER CREEK ROAD
CARMEN, IDAHO 83462
PH: 208-756-6570 EMAIL: dgst@centurytel.net

CIVIL ENGINEER:
GALENA ENGINEERING
SAMANTHA STAHLNECKER, PE
317 N. RIVER STREET
HAILEY, IDAHO 83333
PH: 208-788-1705 EMAIL: SAM@GALENA-ENGINEERING.COM

LANDSCAPE ARCHITECT:
BYLA
BOB BIRKELAND
323 LEWIS STREET, SUITE N
KETCHUM, IDAHO 83340
PH: 510-502-1834 EMAIL: BOB@BYLA.US

CODE CONSULTANT:
CHARLIE ALLEN
1928 HIGH TOP LANE
REXBURG, IDAHO 83440
PH: 208-360-1302

BUILDING INFORMATION

PROJECT ADDRESS: 120 NORTHWOOD WAY
KETCHUM, IDAHO 83340

LEGAL LAND DESCRIPTION: LOT 8, NORTHWOOD LIGHT INDUSTRIAL

ZONING DISTRICT: LI-2

OCCUPANCY: MIXED-USE

TYPE OF CONSTRUCTION: TYPE VB - SPRINKLERED

LOT AREA: 8,040 SF

LOT COVERAGE: 5,757 SF / 71.6%

BUILDING HEIGHT ALLOWED: 35'-0"

BUILDING HEIGHT PROPOSED: 35'-0"

ELEVATOR OVERHEAD PROPOSED: 38'-6"

SETBACKS: NORTH: 20'-0"
EAST: 0'-2"
WEST: 0'-2"
SOUTH: 0'-2"

BUILDING FLOOR AREA (GROSS): FIRST LEVEL: 3,733 SF
SECOND LEVEL: 3,546
THIRD LEVEL: 2,543 SF
TOTAL: 9,822 SF

RESIDENTIAL AREA: TOTAL: 2,543 SF

PARKING SPACES PROVIDED: (10) - TOTAL, INCLUDING (3) - RESIDENTIAL

SNOW STORAGE AREA: SNOW TO BE REMOVED FROM SITE



120 Northwood Way
Ketchum, Idaho

SHEET INDEX

- 1 • INTRODUCTION
- 2 • RENDERING IMAGE
- 3 • VICINITY
- 4 • FLOOR PLANS
 - FIRST LEVEL
 - SECOND LEVEL
- 5 • FLOOR PLAN
 - 3RD LEVEL
- 6 • ROOF PLAN
- 7 • ELEVATIONS
- 8 • SECTIONS
- 9 • MATERIALS
- 10 • IMAGES w/ CONTEXT
- 11 • LIGHTING / SIGNAGE
- 12 • CM PLAN
- L1 • LANDSCAPE PLAN
- C1 • GRADING / DRAINAGE
- C2 • DETAILS
- LS • LEGAL SURVEY

1/2/2020

KETCHUM DESIGN REVIEW



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120 Northwood Way
Ketchum, Idaho



1/2/20

RENDERING IMAGE

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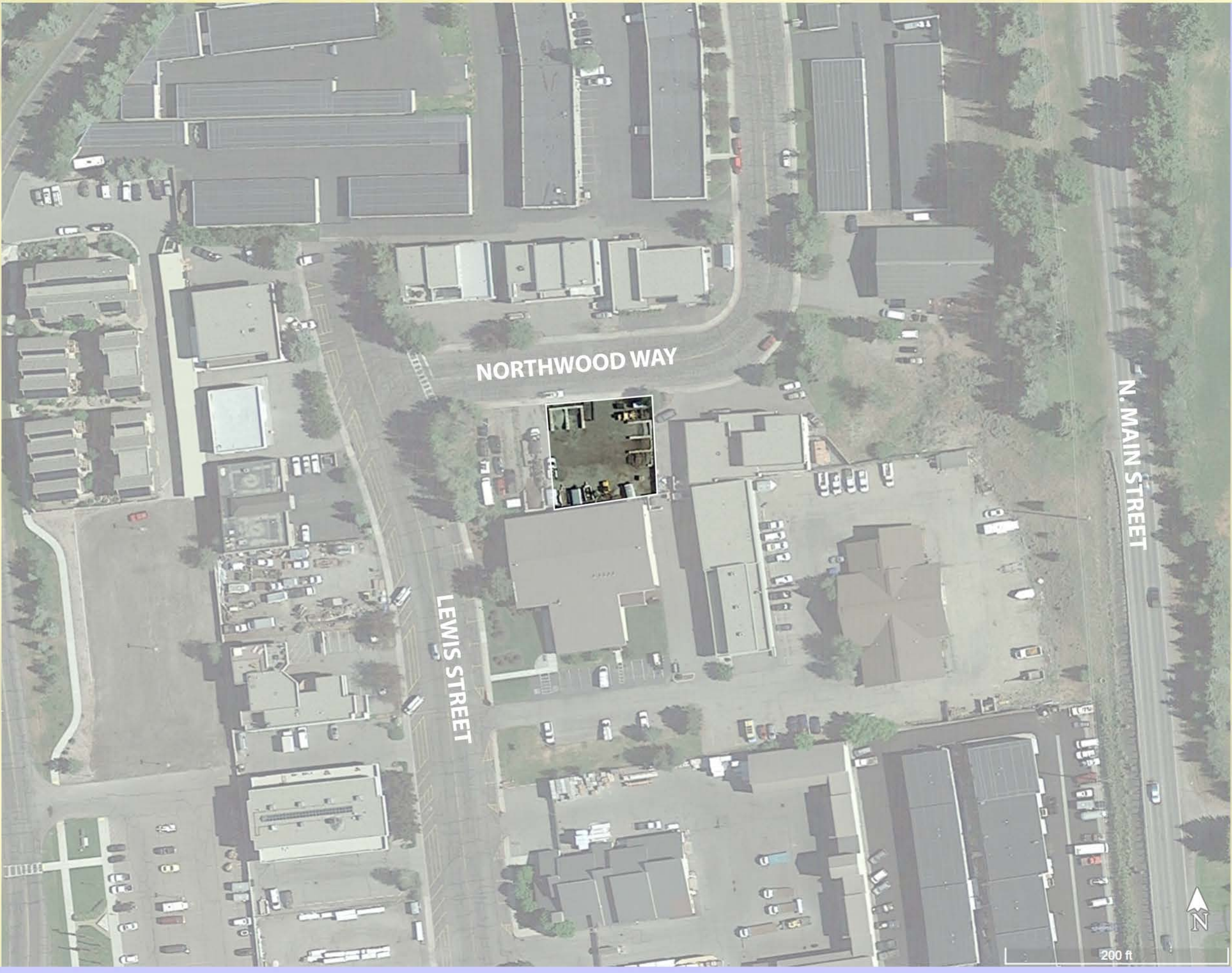
221 N. Tower Creek Road
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IDAHO

Ketchum Sun Valley

Fairfield

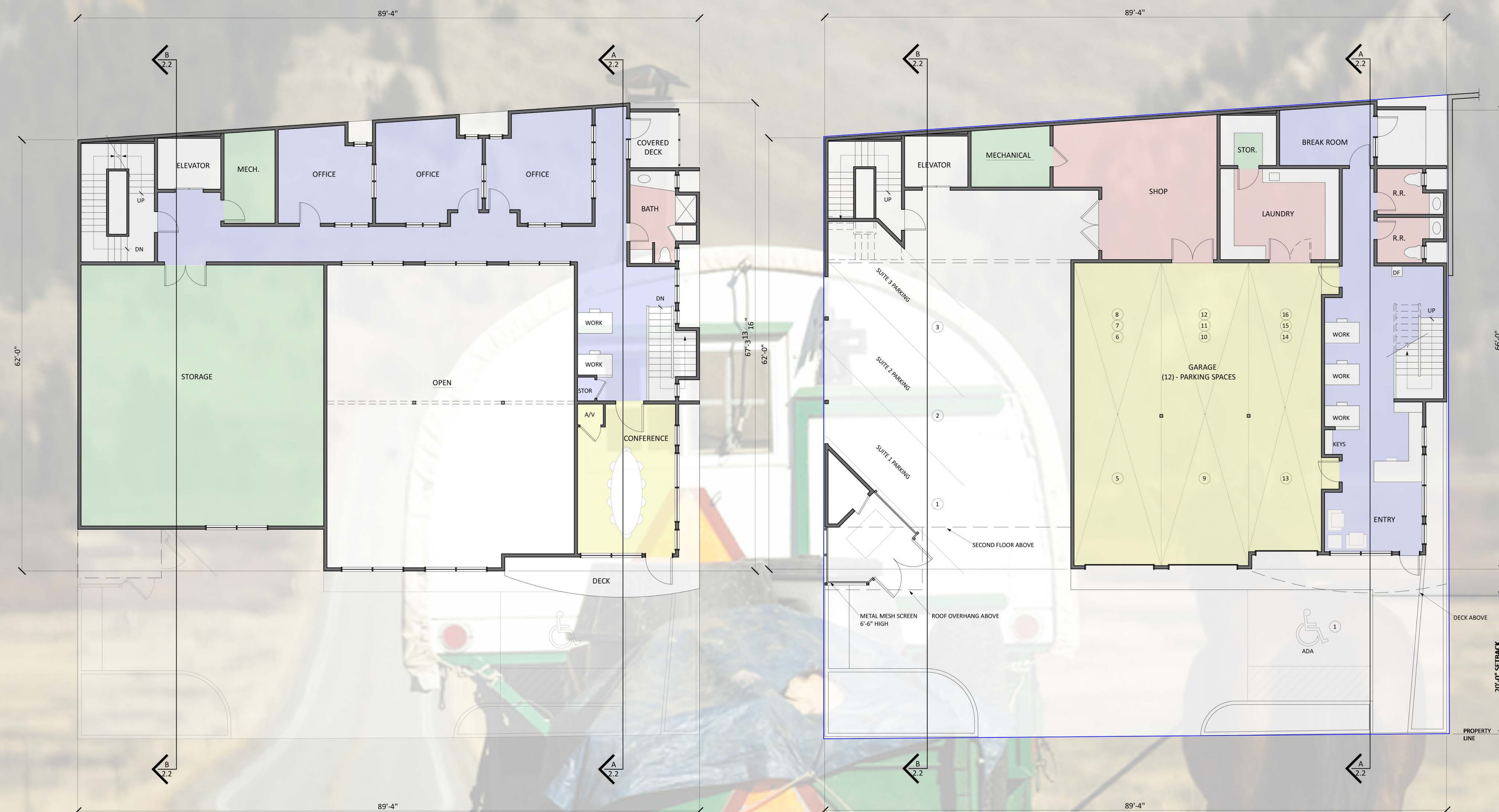



my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

1/2/20

VICINITY MAP



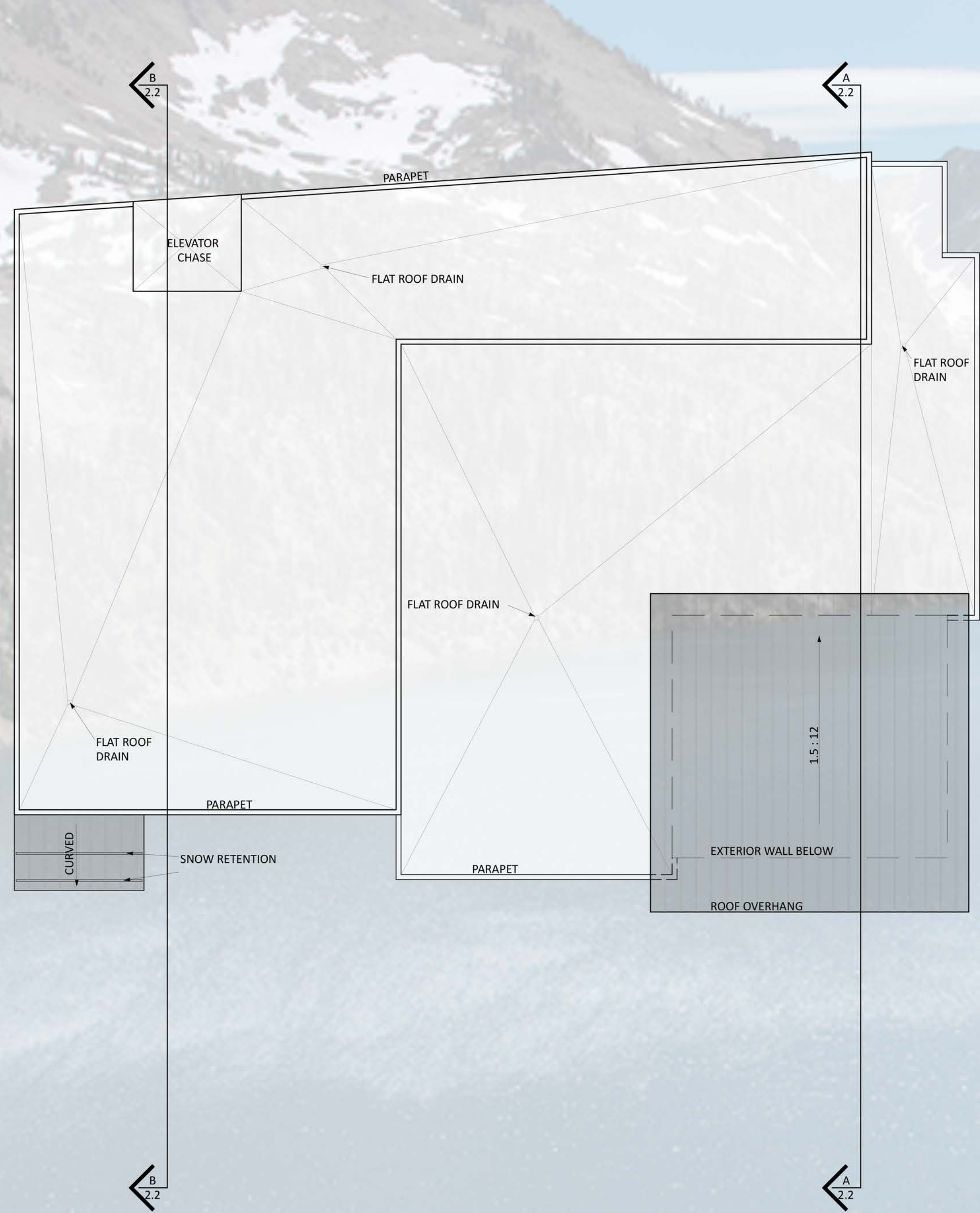
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120 Northwood Way
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1/2/2020

ROOF PLAN

FLOOR PLAN - THIRD LEVEL • 2,543 SF



SCALE: 1/8" = 1'-0"

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NORTH ELEVATION

WEST ELEVATION



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PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho



SOUTH ELEVATION

EAST ELEVATION

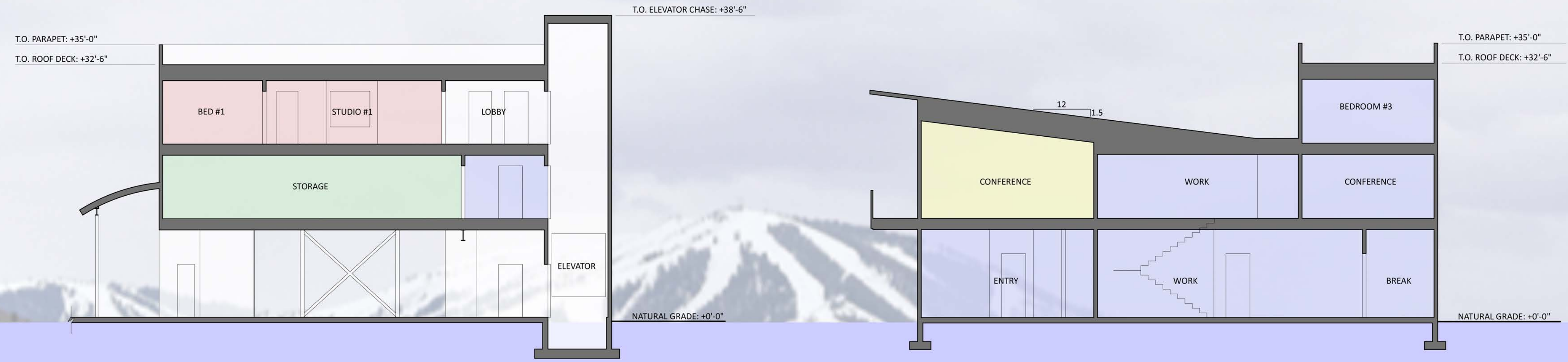
1/2/2020

SCALE: 1/8" = 1'-0"

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SECTION B

- 1 - VERTICAL STANDING SEAM SIDING - "WEATHERED ZINC"
- 2 - STUCCO PANELS - PRE FABRICATED - "LIGHT GRAY"
- 3 - PARKLEX WOOD SIDING PANELS - "RUBI"
- 4 - STANDING SEAM METAL ROOFING - "WEATHERED ZINC"
- 5 - TPA FLAT ROOF SYSTEM - "WHITE"
- 6 - CURVED CORRUGATED GALVANIZED ROOFING
- 7 - CORRUGATED GALVANIZED GUARDRAIL PANELS w/ DARK GRAY STEEL SUPPORTS
- 8 - CLAD WOOD WINDOWS & DOORS - "HEMLOCK"
- 9 - FIBERGLASS WINDOWS - "BROWN"
- 10 - CUSTOM GARAGE DOOR
- 11 - EXPOSED STEEL BEAM & COLUMNS - "DARK GRAY"
- 12 - GRIDDED STEEL DUMPSTER SCREENING PANELS - "RED/BROWN"

MATERIAL LEGEND

SECTION A



MATERIALS

120 Northwood Way
Ketchum, Idaho

1/2/2020

SCALE: 1/8" = 1'-0"

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my sun valley home
PROPERTY SERVICES

120 Northwood Way
Ketchum, Idaho

1/2/2020

IMAGES IN CONTEXT

Sana Outdoor Wall Sconces

By Tech Lighting

Product Options

Size: Medium, Large

Details

- Finish: Black
- Material: Aluminum
- Shade Material: Concrete
- Dimmable When Used With a 0-10V Dimmer (Not Included)
- ADA compliant, Title 20 compliant
- UL Listed Wet
- Marine Grade
- Warranty: Limited 5 Year
- Made In China

Dimensions

Medium Option Backplate: Width 5.3", Height 16", Depth 2.9"
Medium Option Fixture: Width 5.3", Height 16", Depth 2.9", Weight 6Lbs
Medium Option Maximum Hanging: Length Adjustable From 16", Adjustable To 16"
Large Option Backplate: Width 5.3", Height 22", Depth 2.9"
Large Option Fixture: Width 5.3", Height 22", Depth 2.9", Weight 9Lbs
Large Option Maximum Hanging: Length Adjustable From 22", Adjustable To 22"

Lighting

- 7.5 Watt (137 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

4 inch Square Regressed Trim

By Lotus LED Lights

Product Options

Finish: Black, White
 Light Temperature: 2700K, 4100K

Details

- Sleek, modern regressed trim
- No housing required
- No additional hardware needed
- Approved for insulated ceilings and open plenum
- Oil based spray painted for scratch resistance
- 2" above ceiling clearance required
- Designed in 2017
- Material: Diecast Aluminum Alloy
- Title 24 compliant
- UL Listed Damp
- Warranty: 10 Year Residential / 5 Year Commercial
- Made In China

Dimensions

Cut-out: Length 4", Width 4"
Outer Shade: Length 5", Width 5"
Trim: Height 2"

Lighting

- 2700K Option: 14.5 Watt (850 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 2700K
- 4100K Option: 14.5 Watt (900 Lumens) 120 Volt Integrated LED: CRI: 92 Color Temp: 4100K



Shown in Black finish, Medium size

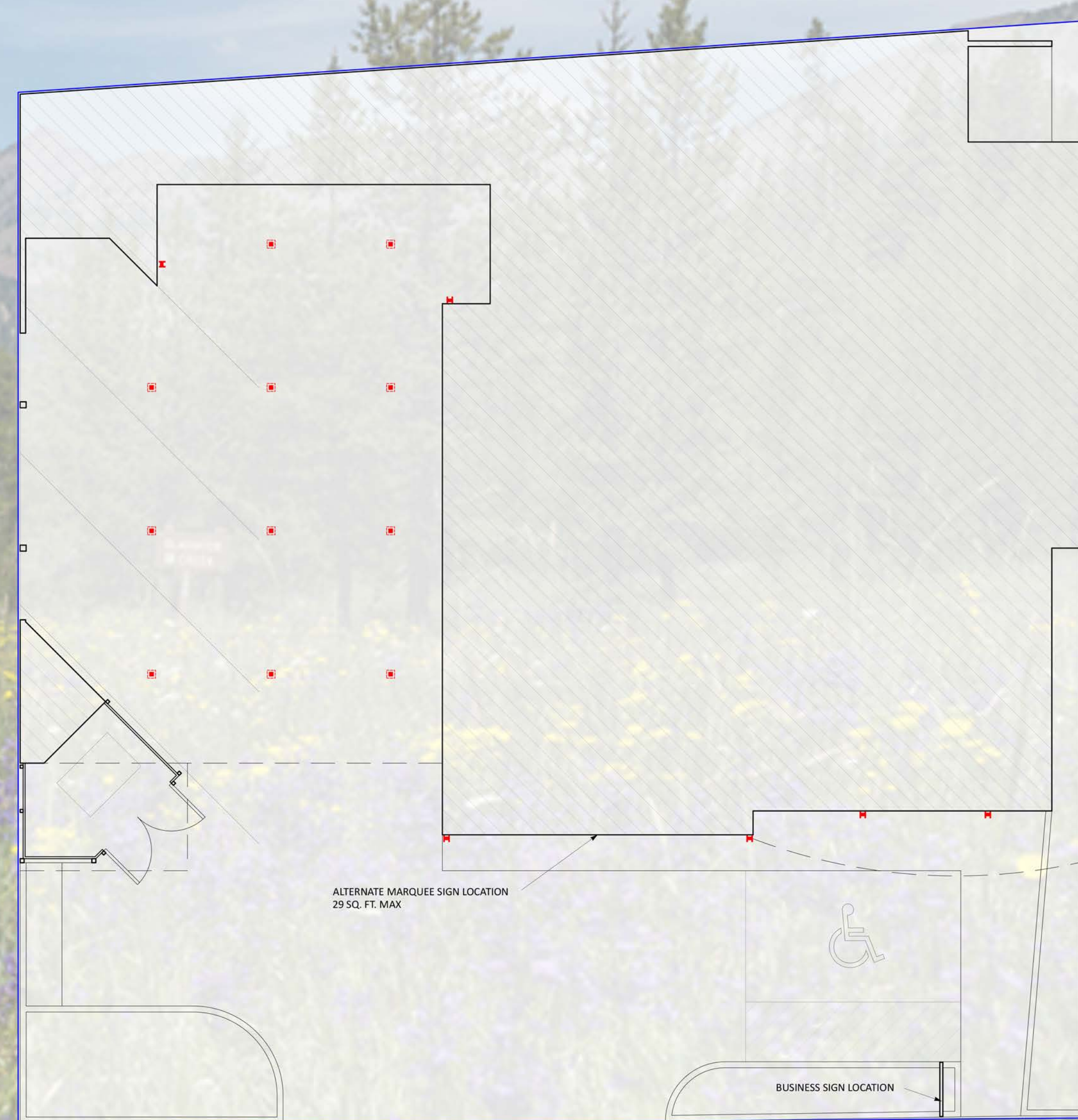
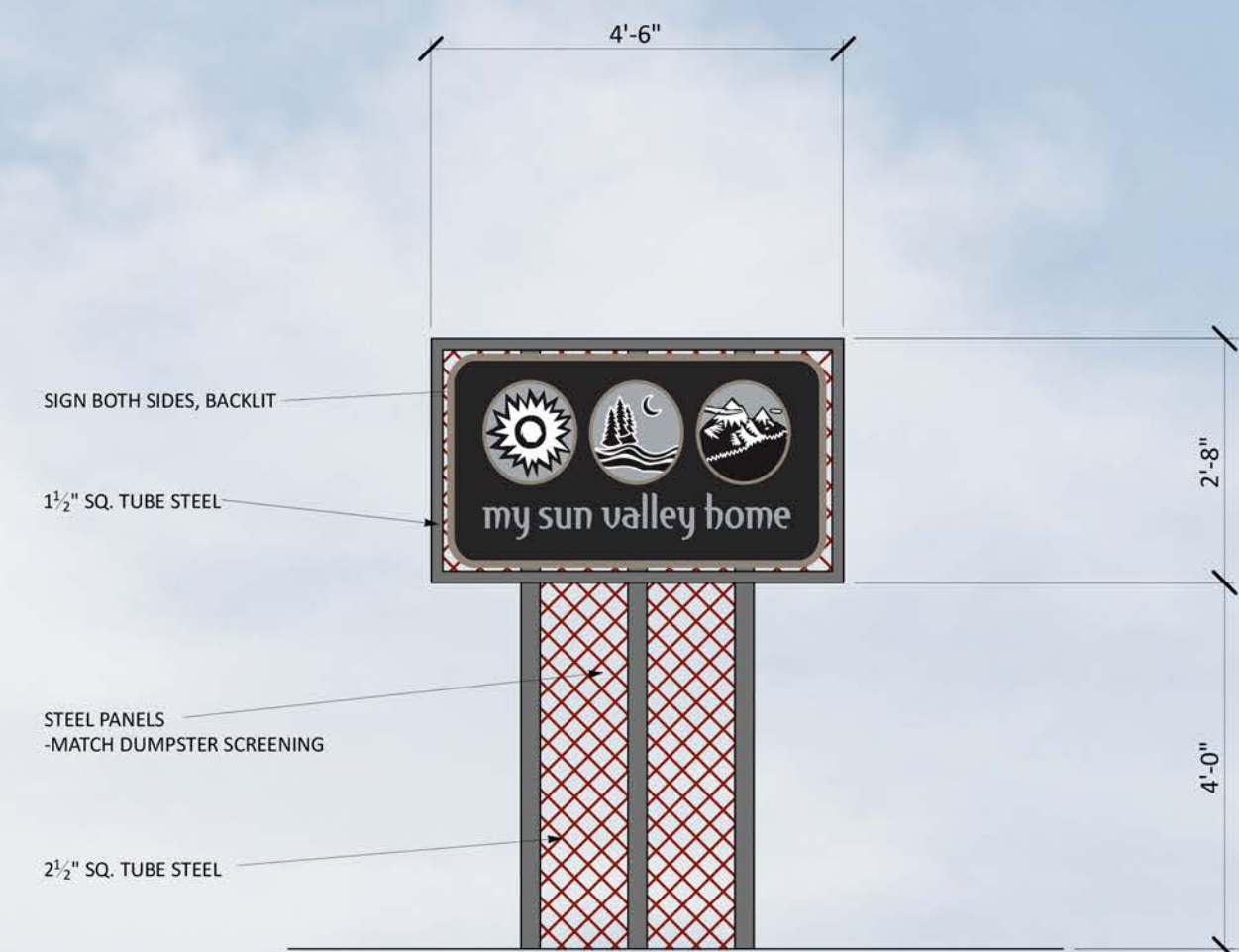
Notes:

5'-6" ABOVE GROUND SURFACE TO LIGHT SOURCE.



Notes:

10'-8" ABOVE GROUND SURFACE. RECESSED TO SOFFIT.



120 Northwood Way
 Ketchum, Idaho

DGS TAMP
 ARCHITECTS

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 NCARB

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 Cammen, ID 83462

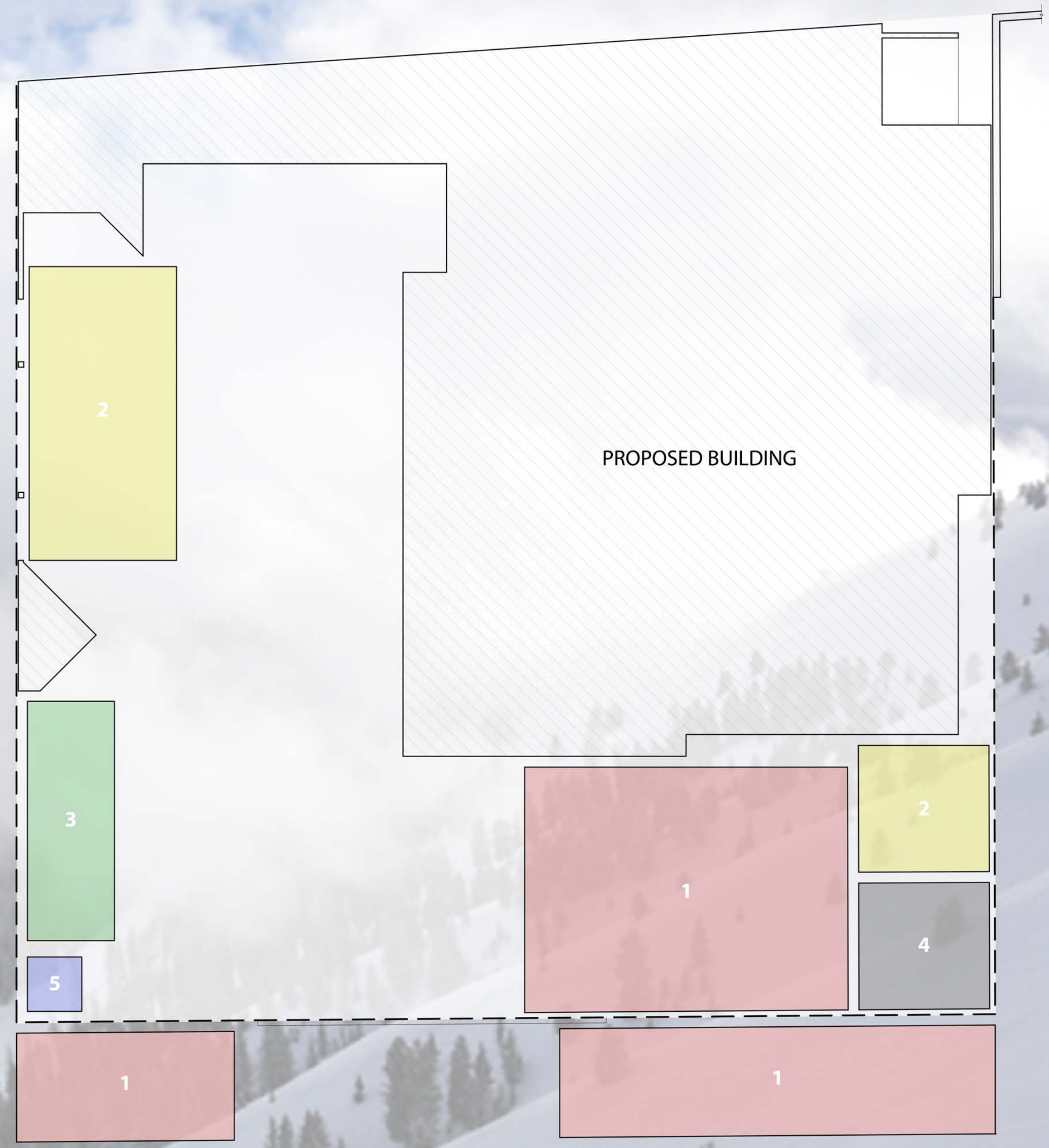
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- 1 - PARKING
- 2 - MATERIAL STORAGE
- 3 - DUMPSTER
- 4 - FILL STOCKPILE STORAGE
- 5 - BATHROOM



120 Northwood Way
Ketchum, Idaho

• SEE WRITTEN DOCUMENT SUBMITTED WITH APPLICATION

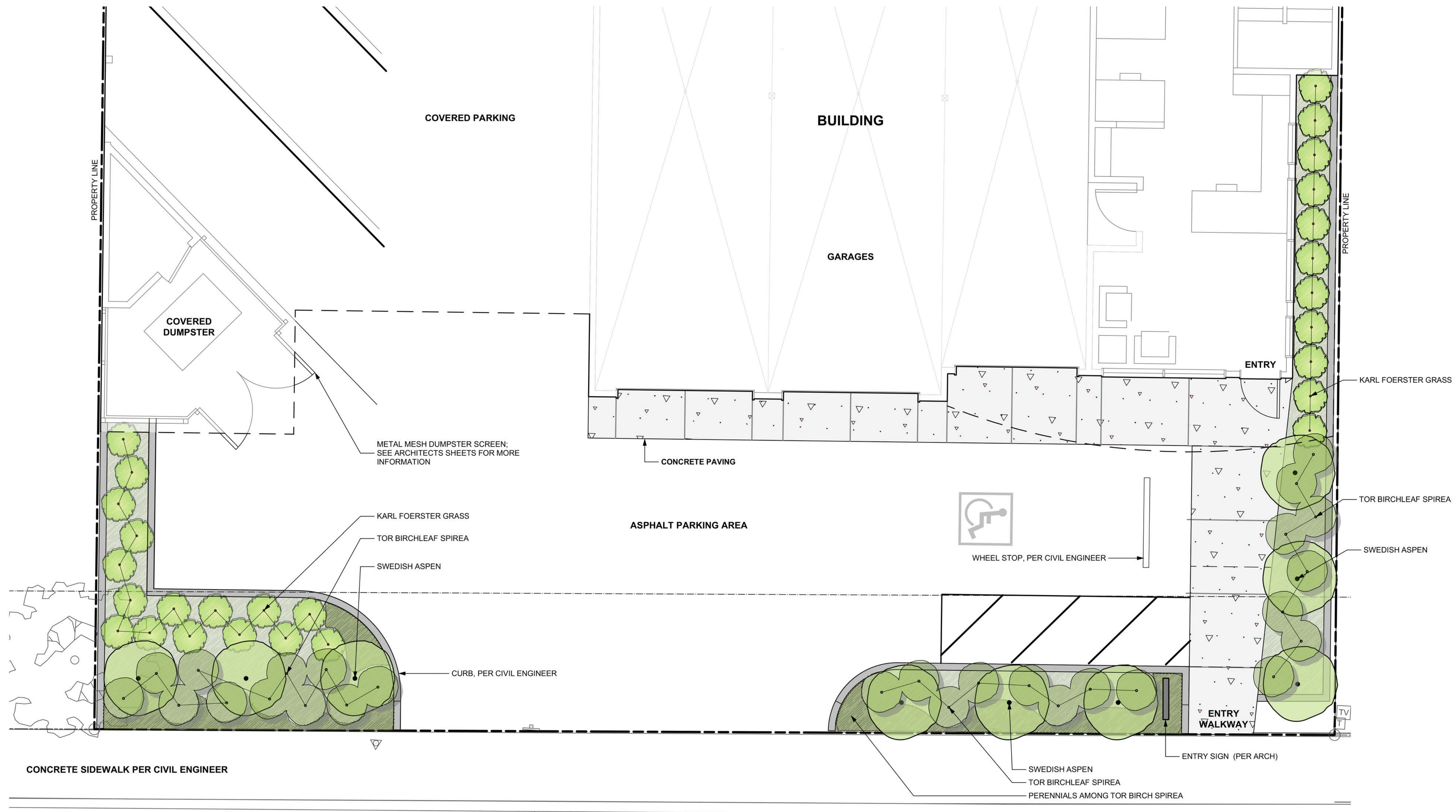
1/2/2020

LEGEND

CONSTRUCTION MANAGEMENT PLAN



SCALE: 1/8" = 1'-0"



GENERAL NOTES:

- 1. GRADING & DRAINAGE: PER CIVIL ENGINEERING
- 2. SNOW REMOVAL: SNOW TO BE REMOVED FROM SITE
- 3. SIDEWALK & CURB: CONCRETE WITH BROOM FINISH
- 4. IRRIGATION: TO BE DRIP IRRIGATED

PLANT PALETTE



TREE | SWEDISH ASPEN



SHRUB | TOR BIRCHLEAF SPIREA



PERENNIAL | KARL FOERSTER GRASS

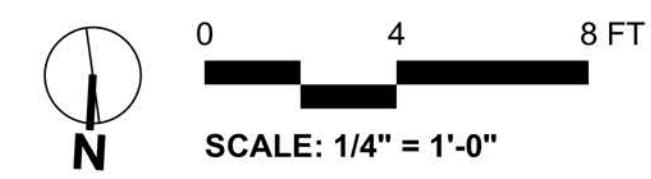


PERENNIAL | SALVIA 'MAY NIGHT'

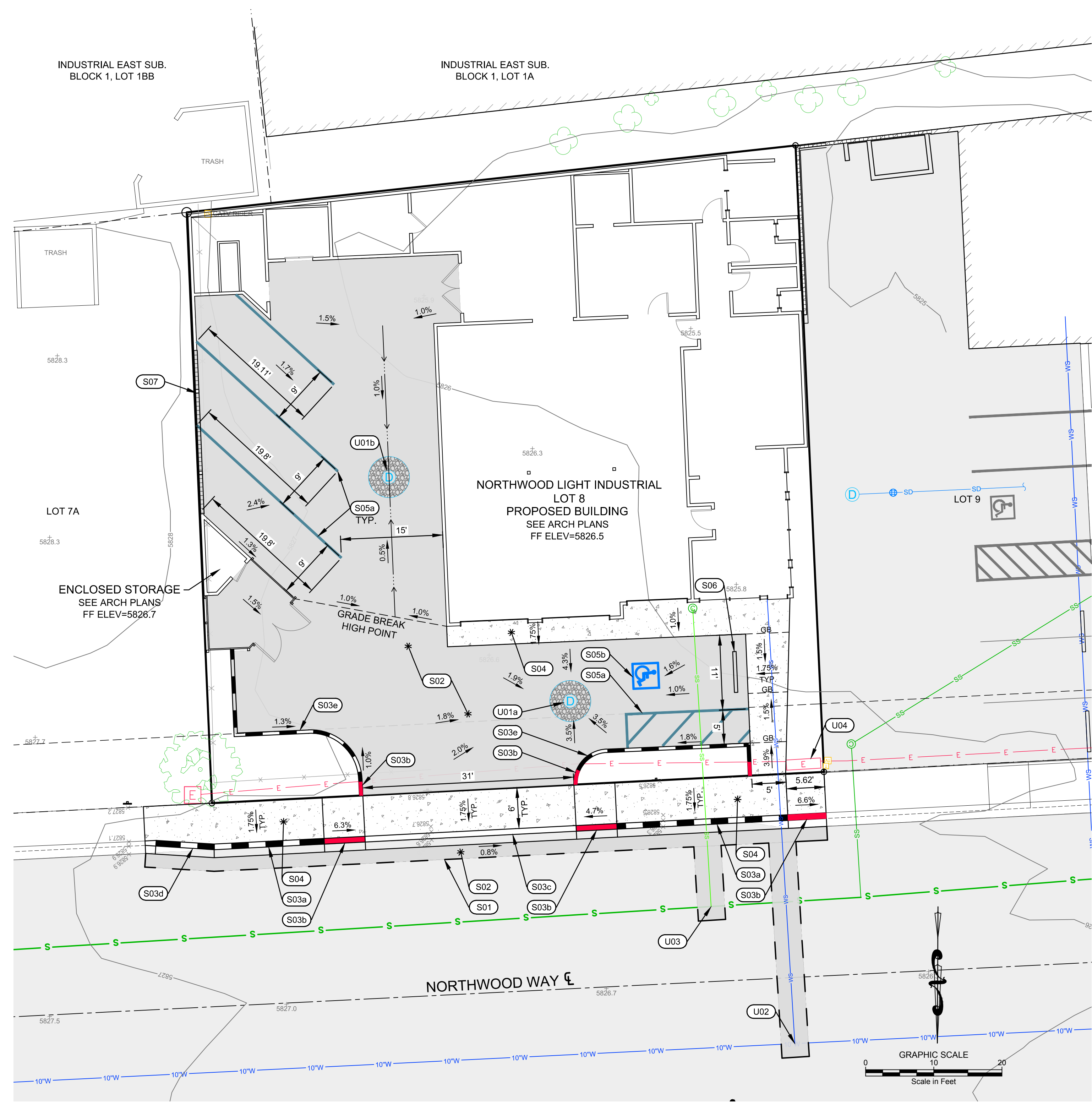


PERENNIAL | ACHILLEA 'MOONSHINE'

NORTHWOOD WAY



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND			
EXISTING ITEMS	PROPOSED ITEMS		
—	PROPERTY LINE	—	NEW ASPHALT
- - -	ADJOINING PROPERTY LINE	—	CONCRETE SIDEWALK
▨	ASPHALT PAVEMENT	—	CONCRETE VERTICAL CURB & GUTTER
—	CURB AND GUTTER	—	CONCRETE ROLLED CURB & GUTTER
▨	EXTERIOR BUILDING FOOTPRINT	—	CURB TRANSITION
—	EASEMENT	—	ZERO REVEAL CURB & GUTTER
—	SEWER PAINT MARKS	—	RETAINING WALL
—	UNDERGROUND POWER PAINT MARKS	—	WATER SERVICE
○	FOUND 1/2" REBAR	—	4" SEWER SERVICE
○	FOUND 5/8" REBAR	—	DRYWELL
⊠	POWER BOX	—	FLOW LINE
⊠	TELEPHONE RISER	—	SAWCUT LINE
⊠	CABLE TV RISER	—	GRADE
○	DECIDUOUS TREE		

CONSTRUCTION KEYNOTES

SITE IMPROVEMENTS

- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
- (S02) CONSTRUCT/REPAIR ASPHALT. SEE DETAIL 1, SHEET C2.0
- (S03) CONSTRUCT CONCRETE CURB
 - a. 6" CONCRETE ROLLED CURB AND GUTTER PER DETAIL 3, SHEET C2.0
 - b. CURB TRANSITION PER DETAIL 4, SHEET C2.0 [] (typ.)
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4, SHEET C2.0
 - d. TRANSITION FROM 6" CONCRETE ROLLED CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER
 - e. 6" VERTICAL CURB PER DETAIL 5, SHEET C2.0
- (S04) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2, SHEET C2.0
- (S05) INSTALL PAVEMENT MARKINGS
 - a. 4" WIDE WHITE PARKING STRIPE
 - b. ADA COMPLIANT SYMBOL
- (S06) 6' LONG CONCRETE CURB STOP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- (S07) CONSTRUCT RETAINING WALL WITH 12" EXPOSURE PER ARCHITECT/STRUCTURAL ENGINEER

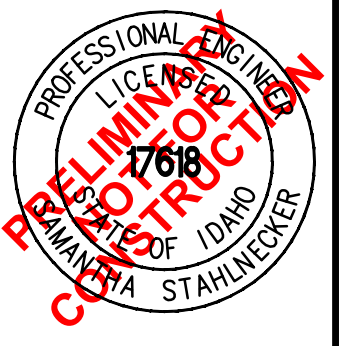
UTILITY IMPROVEMENTS

- (U01) INSTALL DRYWELL PER DETAIL 8, SHEET C2.0
 - a. RIM ELEV= 5826.07
 - b. RIM ELEV= 5826.32
- (U02) INSTALL WATER SERVICE PER CITY OF KETCHUM STANDARDS; SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 6, SHEET C2.0. SEE DETAIL 7, SHEET C2.0 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
- (U03) INSTALL 4" Ø SEWER SERVICE @ S=2.0% MIN; CONNECT TO EXISTING SERVICE STUB. TRENCH CONSTRUCTION PER DETAIL 9, SHEET C2.0
- (U04) RETAIN AND PROTECT EXISTING TRANSFORMER.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
13. ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.0. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 65-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 98.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/ASTM STD. 61 COMPLIANT.
19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
20. THE CONTRACTOR SHALL USE ANSIS/ASTM STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
21. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK ASSOCIATES.

GRADING AND DRAINAGE PLAN
BLACK BUILDING - 120 NORTHWOOD WAY
 LOCATED WITHIN SECTION 12, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MY SUN VALLEY HOME



SKS DESIGNED BY _____
 SKS DRAWN BY _____
 SKS CHECKED BY _____

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (10/29/2019)	
NO.	DATE BY REVISIONS

C1.0

GLASKE INDUSTRIAL CONDOMINIUMS PHASE 2

GLASKE INDUSTRIAL CONDOMINIUMS PHASE 1

HORN INDUSTRIAL CONDOMINIUMS

NORTHWOOD WAY
60 FOOT RIGHT OF WAY

LOT 9

LOT 8
0.18 ACRES

LOT 7A

BUILDING

BUILDING

COX COMMUNICATIONS

INDUSTRIAL EAST SUB.
BLOCK 1, LOT 1BB

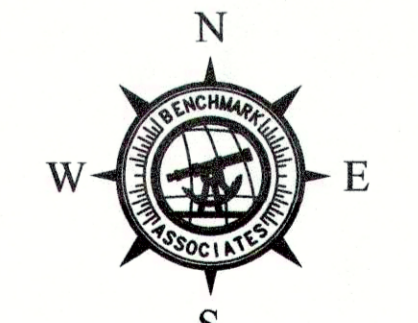
NOTES

- GENERAL RESTRICTIONS & TITLE INFORMATION:**
1. THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHIC/SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE.
 2. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 3. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 4. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 5. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
6. BUILDING AREA: BUILDING ENVELOPE AS SHOWN, IS PER PLAT, OR THE ORIGINAL PLAT DOES NOT SHOW BUILDING ENVELOPES. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 7. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE, ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
 8. WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
 9. STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.
 10. FLOOD PLAIN: THE 1% ANNUAL FLOOD LINE, IF DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, BENCHMARK ASSOCIATES DOES NOT REPRESENT, GUARANTEE, WARRANT NOR IMPLY THAT AREAS OUTSIDE OF THE DESIGNATED FLOOD PLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO, UNINCORPORATED AREAS) COMMUNITY NUMBER 165167 - PANEL NO. 0453 E - NOVEMBER 26, 2010.
 11. FLOOD PLAIN DESIGN ELEVATIONS: CURRENT FEMA FLOOD INSURANCE REGULATIONS SPECIFY THE BOTTOM FLOOR OF STRUCTURE AS EITHER THE BOTTOM OF FOUNDATION CRAWL SPACE OR TOP OF SLAB. THE BASE FLOOD ELEVATION ON THE UPSTREAM SIDE OF THE STRUCTURE DETERMINES THE FLOOD ELEVATION FOR THE ENTIRE STRUCTURE AND SHOULD BE CONSIDERED PRIOR TO DESIGN. REFER TO LOCAL BUILDING CODES FOR ADDITIONAL CONSTRAINTS AND REGULATIONS.

- SURVEY AND SITE FEATURES:**
12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83. CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT & R.O.S. REFER TO PLAT, R.O.S. (INST. # 655878) & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 13. ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM.
 14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: JUNE 2017
 19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 21. FEATURES OBSCURED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
WEB: <http://benchmark-associates.com/>
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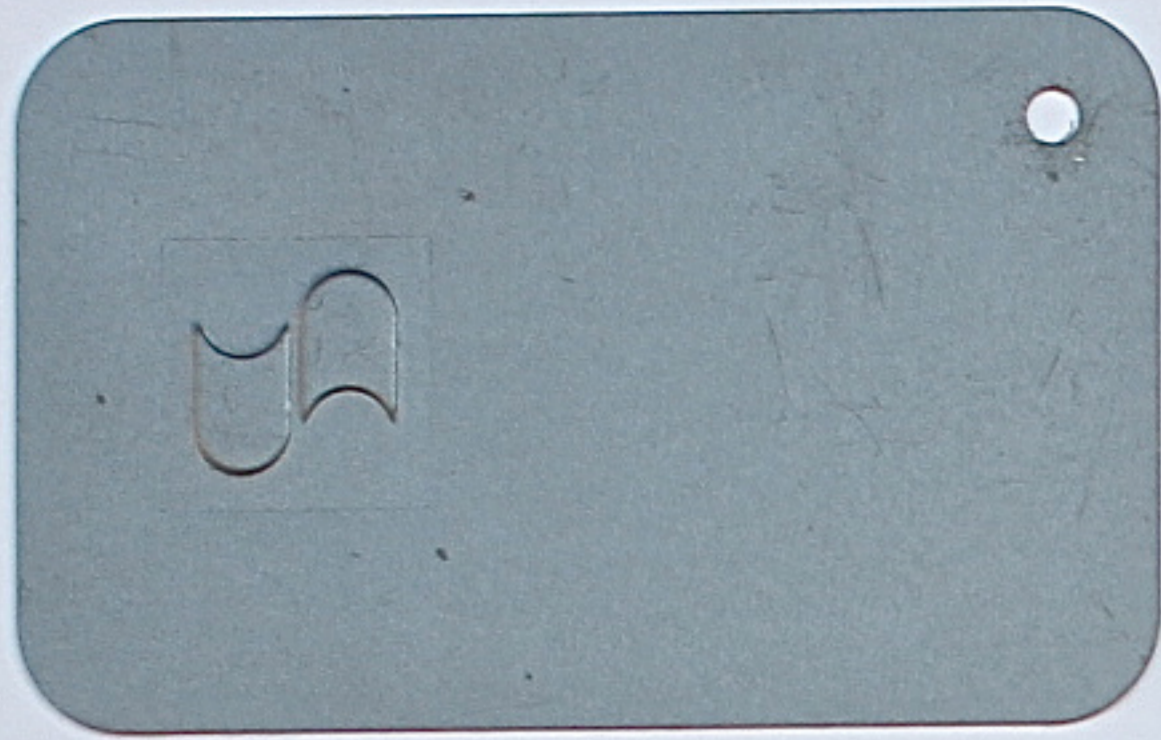
LEGEND

- | | |
|--|---------------------------------|
| | PROPERTY LINE |
| | ADJOINING PROPERTY LINE |
| | EDGE PAVEMENT |
| | EXTERIOR BUILDING FOOTPRINT |
| | EASEMENT |
| | FENCE |
| | FLOW LINE |
| | SEWER PAINT MARKS |
| | UNDERGROUND GAS PAINT MARKS |
| | UNDERGROUND POWER PAINT MARKS |
| | MEASURED BEARINGS AND DISTANCES |
| | FOUND 1/2" REBAR |
| | FOUND 5/8" REBAR |
| | SET 5/8" REBAR |
| | CONTROL POINT |
| | SEWER MANHOLE |
| | POWER BOX |
| | TELEPHONE RISER |
| | CABLE TV RISER |
| | WATER VALVE |
| | DECIDUOUS TREE |

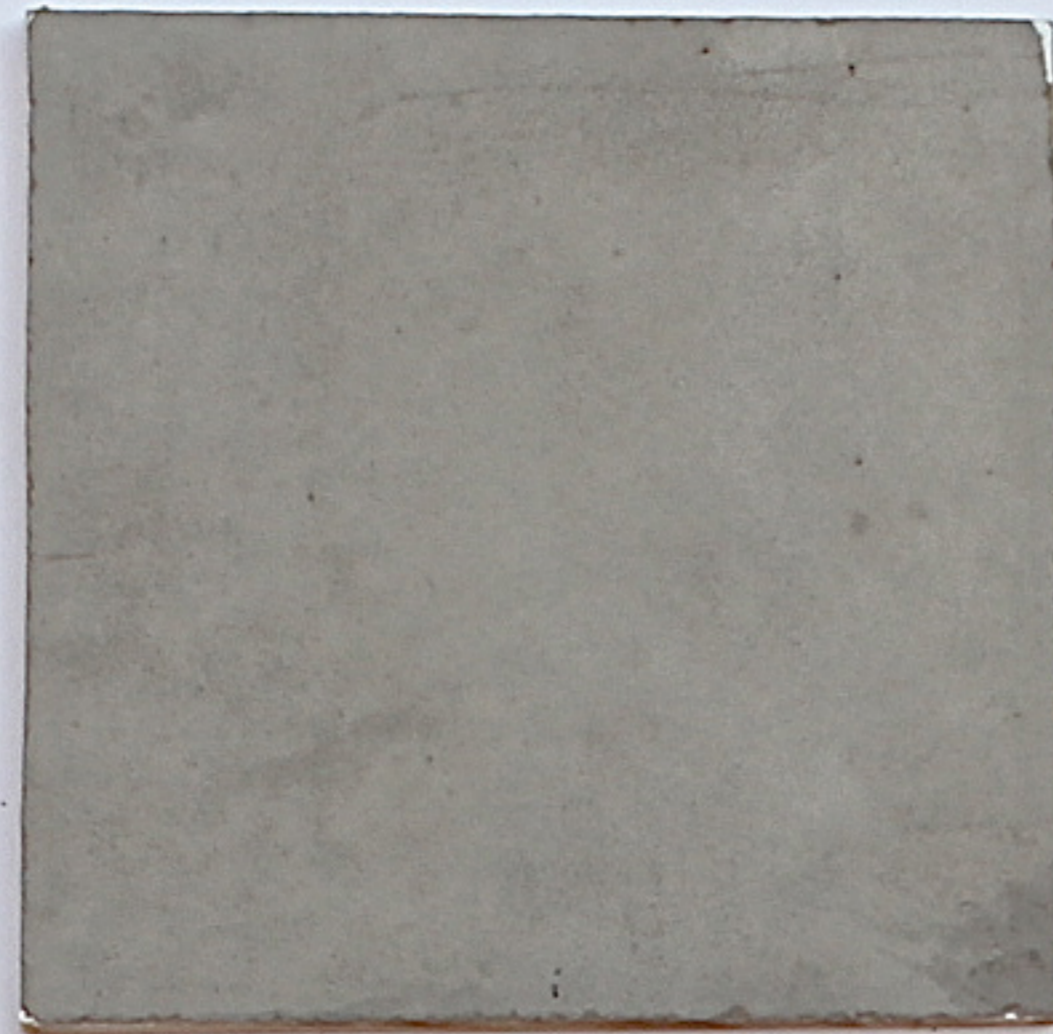


NORTHWOOD LIGHT INDUSTRIAL PARK, LOT 8
LOCATED WITHIN SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT NO. 18179	DWG BY: ROB	CRD: 18174.CRD	18174.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 6/5/2019	SHEET: 1 OF 1	



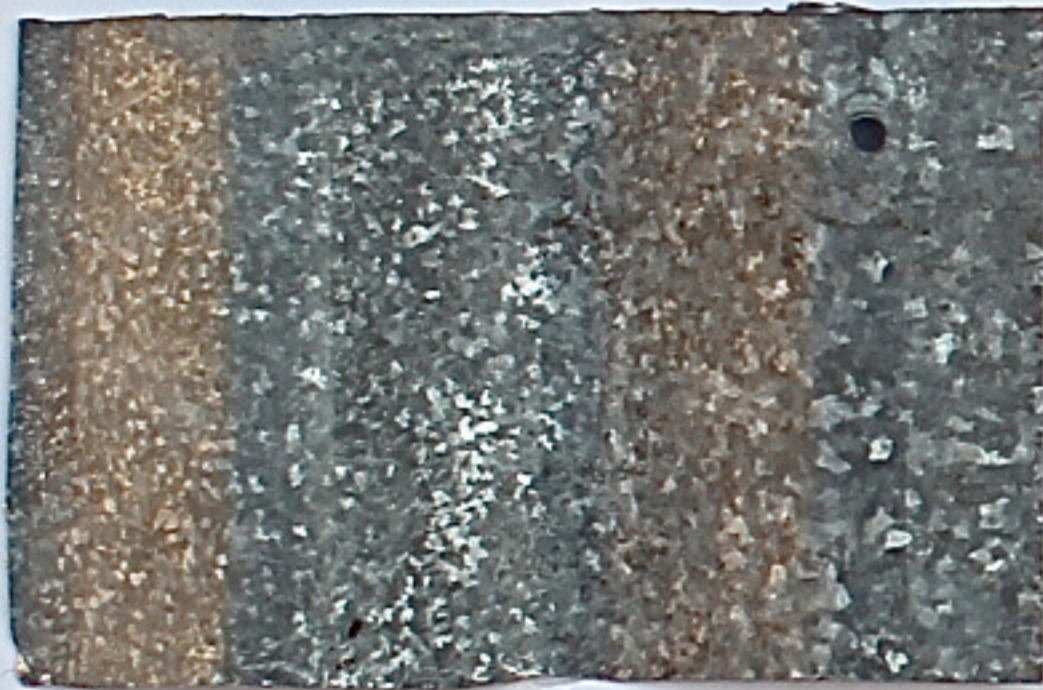
Standing Seam Metal Roofing - "Weathered Zinc"
Vertical Standing Seam Metal Siding - "Weathered Zinc"



Stucco Pre-Fabricated Wall Panels - "Light Gray"



Parklex Wood Siding Panels - "Rubi"



Curved Corrugated Galvanized Roofing / Guardrail Panels



Fiberglass Windows and Doors @ Metal / Stucco Siding - "Brown"

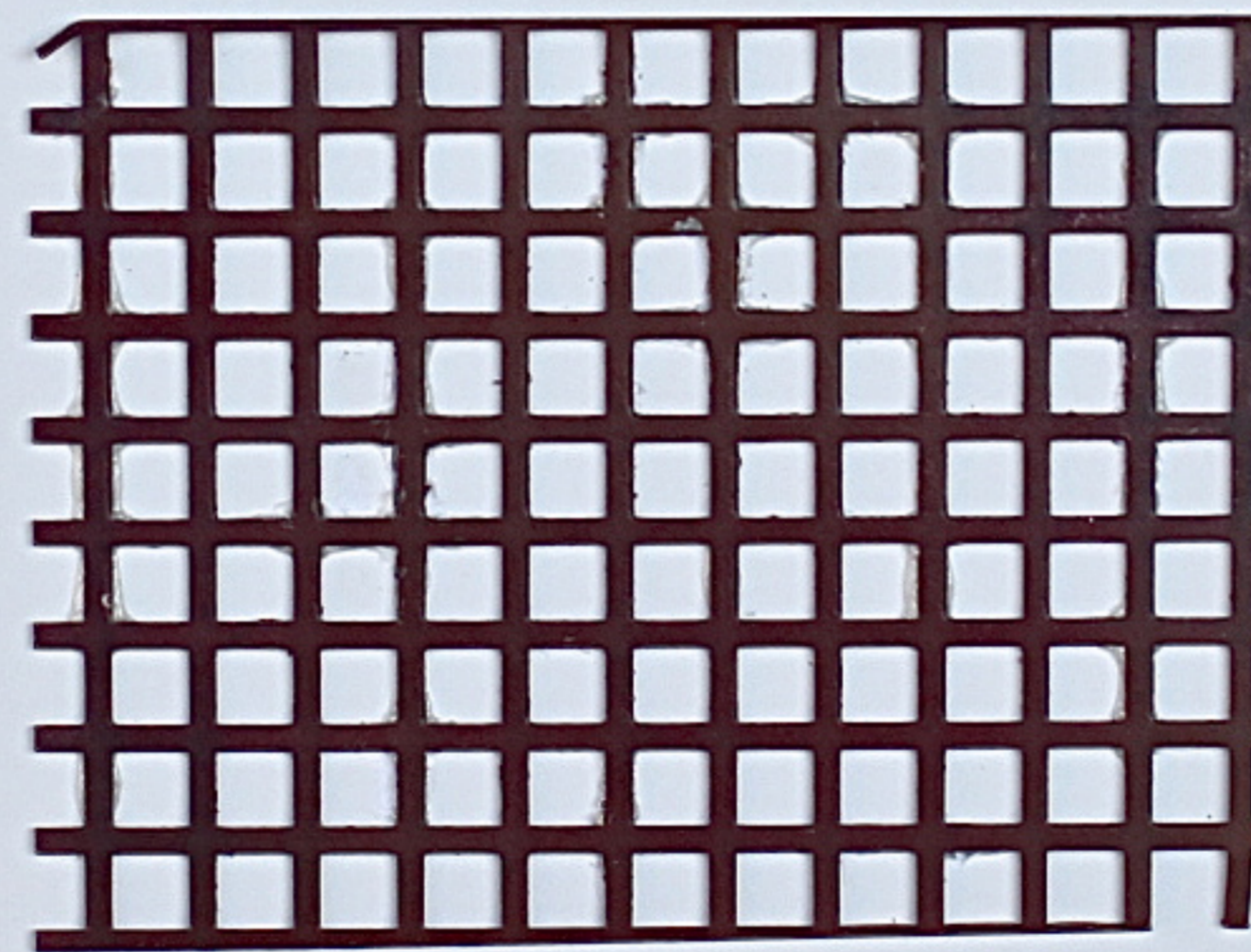


Clad Wood Windows and Doors @ Parklex Siding - "Hemlock"



Drift II Corrugated 2-Pipe Bolt-Down Fence-Style

Snow Retention



Grided Steel Dumpster Screening Panels - "Red-Brown"

DGS STAMP ARCHITECTS

Don Stamp Principal NCARB

221 Tower Creek Road Carmon, ID 83462

TEL: 208-756-6570 FAX: 208-756-6576 E-MAIL: dgs@centurytel.net



My Sun Valley Home Office – CONSTRUCTION ACTIVITY PLAN
120 Northwood Way – Ketchum Idaho

We will be constructing a 9,822 sq. office space with optional living quarters above.

This project will start the end of March 2020 or after ground thaw and is scheduled to be completed in November 2020. Contractor and trailer parking will be kept onsite as well as using 3 street parking spaces on Northwood Way on a first come first serve basis. All materials storage will happen within the property, mainly in the covered parking area noted on the site plan. Material fill and stockpile will take place on the NE corner of property.

Onsite restrooms will be provided and situated in the NW corner of property next to dumpster. Job site will be maintained and walked for trash in the evenings before wrapping up. A temporary fence will be installed around property to assist with debris and bystander safety.

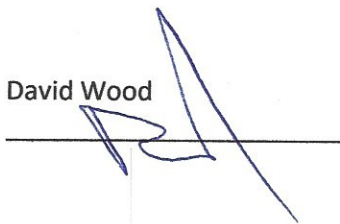
The curb and small section of asphalt will need to be redone during the project. At that time, we will extend our temporary fence to block bystanders and will involve traffic control throughout the project as needed.

Large delivery trucks will be able to pull in east to west using street parking on Northwood Way for load and unload allowing traffic to flow both ways.

There will be a jobsite representative from Mountainwood Construction present during construction hours to keep the site clean, safe and minimize the impact to the surrounding neighbors.

Mountainwood Construction
171 Stoney Cove
Hailey, Idaho 83333
208-721-7146

David Wood





City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF JANUARY 13, 2020

PROJECT: Swan Geogrid

FILE NUMBER: P19-138

PRIOR/ASSOCIATED: 15-144
P17-055
P17-134
P19-044

OWNER: Robert H. and Sandra Swan

APPLICANT: Sandra Swan

REQUEST: Floodplain development application for installation of a geogrid within the floodplain

LOCATION: 401 Northwood Way (Lot 12, Chateaux of Northwood)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: Floodplain with Waterways Design Review and Floodway subdistricts

NOTICE: Notice was published in the Idaho Mountain Express on December 25, 2019 and was mailed to property owners within a 300-foot radius on December 30, 2019.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS: A. Application
B. Narrative and plans
C. Public comment
D. P19-044
E. Criteria for Evaluation of Applications (KMC 17.88.050.E)
F. Manufacturers “Design and Installation Guidelines for Erosion Control” manual

BACKGROUND

Sandra and Robert Swan, property owners, have applied for a floodplain development application to install a honey-comb shaped synthetic grid within a portion of 1% annual chance floodplain in order to provide additional protection from erosion during flood events.

The Big Wood River traverses the western boundary of the subject property and a side channel of the river roughly bisects the property in half (south/north). The subject parcel is 188,167 square feet in size (4.3 acres) and contains 100-year floodplain (also known as the Special Flood Hazard Area or 1% annual chance floodplain), floodway, riparian area regulated by Ketchum Municipal Code.

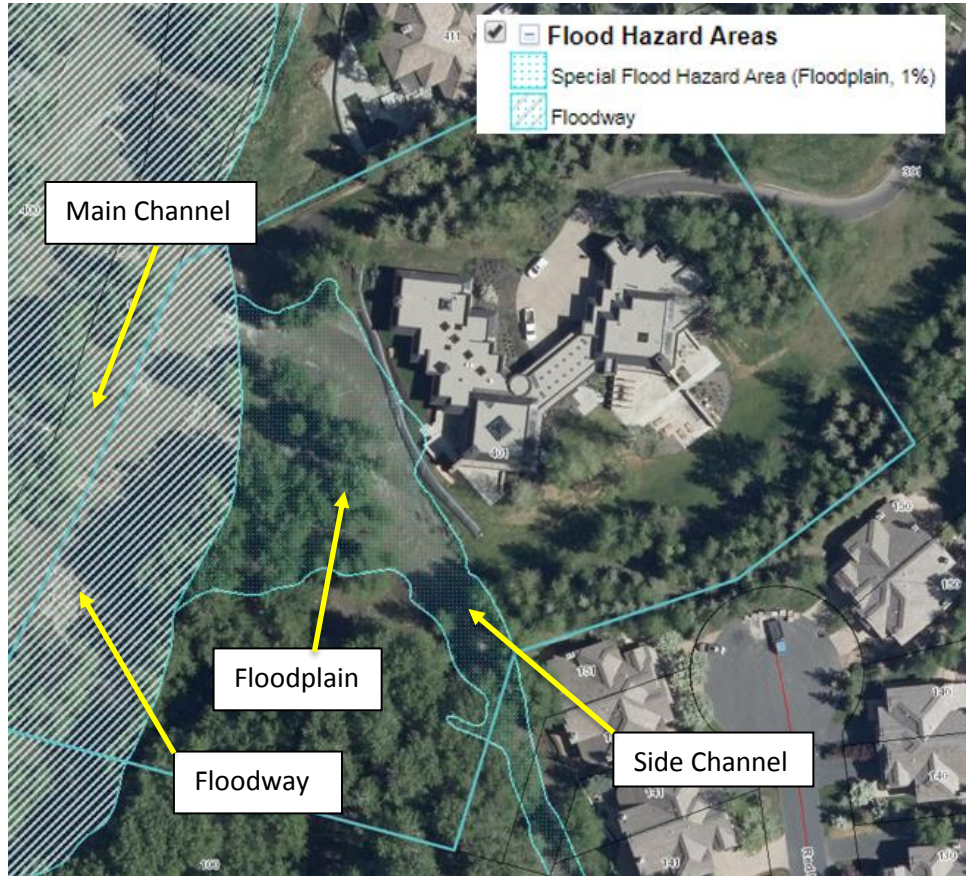


Figure 1.
Aerial photo taken June 2, 2017, during 2017 flood

“Floodway” is a technical term referring to the channel of a river and the adjacent land areas that must be left undeveloped so that a 100-year flood can flow through these areas and obstructions (buildings/structures) will not cumulatively increase the water surface elevation more than one foot (1'). No buildings/structures are permitted to be built in the floodway.

“Floodplain”, as used in this staff report, refers to the 100-year floodplain (also known as the 1% annual chance floodplain or Special Flood Hazard Area), and refers to the land area which has been or may be covered by water of a flood of 100-year frequency. Typically, new buildings are permitted to be built in the floodplain provided floodplain construction methodology is used.

“Riparian area/Riparian zone”, as used in this staff report and regulated by Ketchum’s floodplain ordinance, refers to area along the banks of any waterway twenty-five feet (25') in width measured horizontally from the mean high-water mark. Ketchum’s floodplain ordinance regulates the types of vegetation that must be planted

the 25' riparian zone and prohibits all types of development and land disturbance, other than permitted landscape restoration and streambank stabilization projects.

The Big Wood River's bank breached at the subject property during the 2017 flood. A debris dam also occurred downstream during the flood and the debris dam, accompanied by the deposition of a significant amount of gravel within the river channel, resulted in prolonged (several month) and severe overland flooding on the subject property. The riverbank adjacent to the main channel of the Big Wood partially collapsed upstream of the debris dam and erosion of land area previously characterized as residential lawn occurred during the flood.

The bank of the Big Wood River was also breached at the subject property in 2018 and 2019, despite neither year being a year of widespread or record flooding, and the property experienced overland flooding into the floodplain each year. Engineering surveys and engineering analysis demonstrate that flooding occurred during 2018 and 2019 because significant amounts of gravel were deposited in the channel of the river adjacent to the property. Essentially, the elevation of the bed of the river was raised and the distance between the typical surface height of the water and the surface elevation of the subject property at the streambank was decreased.

Staff has worked with the property owners and their representatives through a series of permits since the 2017, resulting in a 2019 approval (P18-131) for an extensive stream alteration project consisting of dredging/extracting gravel from the stream channel, rebuilding and stabilizing the streambank, rehabilitating the riparian zone, and reclaiming eroded land in the floodplain.

A point of divergence between city staff and the property owners and their consulting team in the P18-131 project proposal was the type and density of vegetation to be installed in the land area located outside of the 25' riparian zone but within the 1% annual chance floodplain. The city, as well as the Idaho Department of Water Resources (IDWR), strongly supported rehabilitating the 1% annual chance floodplain area with deeply-rooted grasses and shrubs, planted in sufficiently dense quantities, as a mechanism to mitigate or prevent erosion in future flood events. When the 2017 flood occurred the groundcover present at the subject property in the 25' riparian zone, as well as the remainder of the floodplain, was largely turfgrass lawn and the proposal was to restore the floodplain area to match pre-flood conditions as closely as possible.

Some of the articulated purposes of Ketchum's floodplain ordinance (KMC 17.88.010) are "to regulate uses in the floodplain for the purpose of preserving, protecting, and enhancing the abundance and diversity of fish, wildlife and riparian resources," "to allow the river and creeks and their adjacent lands to convey floodwaters to minimize property damage" "to restrict or prohibit uses which are injurious to health, safety or property in times of flood, which result in environmental damage, or that cause increased flood heights or velocities," and "to ensure that those who occupy the areas of special flood hazard assume the responsibility for their actions."

Methods for reducing flood losses provided by the floodplain ordinance (KMC 17.88.030) include "Restricting or prohibiting uses which are dangerous to health, safety, and property due to water or erosion hazards, or which result in damaging increases in erosion or flood heights or velocities" and "Controlling the alteration of natural floodplains, stream channels, and natural protective barriers, which help accommodate or channel floodwaters."

Specific evaluation criteria (attachment E) are found in 17.88.050.E with the most relevant being 17.88.050.E.1, "Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas."

The applicant's proposal in P18-131 had included the geogrid, covering an approximately 7,000 square foot area in the floodplain, turfgrass groundcover, a shrub planting density of 3 shrubs per 1,000 square feet, and the planting of 5 cottonwood seedlings, while staff had recommended a minimum shrub planting density of 30% in the floodplain (staff letter dated 12-10-2018). The USDA-NRCS Part 650 Engineering Field Handbook,

Chapter 13, Wetland Restoration, Enhancement, or Creation, p 13-92, recommends a planting density of shrubs on 5 to 8-foot centers in Pacific Northwest riparian woodland areas; IDWR previously estimated this vegetation density to translate to 25 shrubs per 1,000 square feet.

Permit P18-131 was approved with a planting density of 3 shrubs per 1,000 square feet and 5 cottonwood seedlings in the floodplain but without installation of the geogrid.

Because P18-131 was approved without the geogrid, yet the property and their engineer desire additional protection from erosion in the floodplain by a means other than vegetation, the geogrid is before the Commission as a stand-alone application. In accordance with 17.88.050.D.2, staff has forwarded the application to the Commission for a decision, rather than acting on the permit administratively. Staff elected to forward the application to the Commission since geogrids have not been contemplated by the ordinance previously, there are no precedent approvals, and in general the floodplain ordinance supports natural floodplain function.

The request before the Commission is for installation of the geogrid, as specified in the Brockway Engineering memo dated November 14, 2019 and the plan drawings dated November 14, 2019 (attachment B) in a land area approximately 7,023 square feet in size.

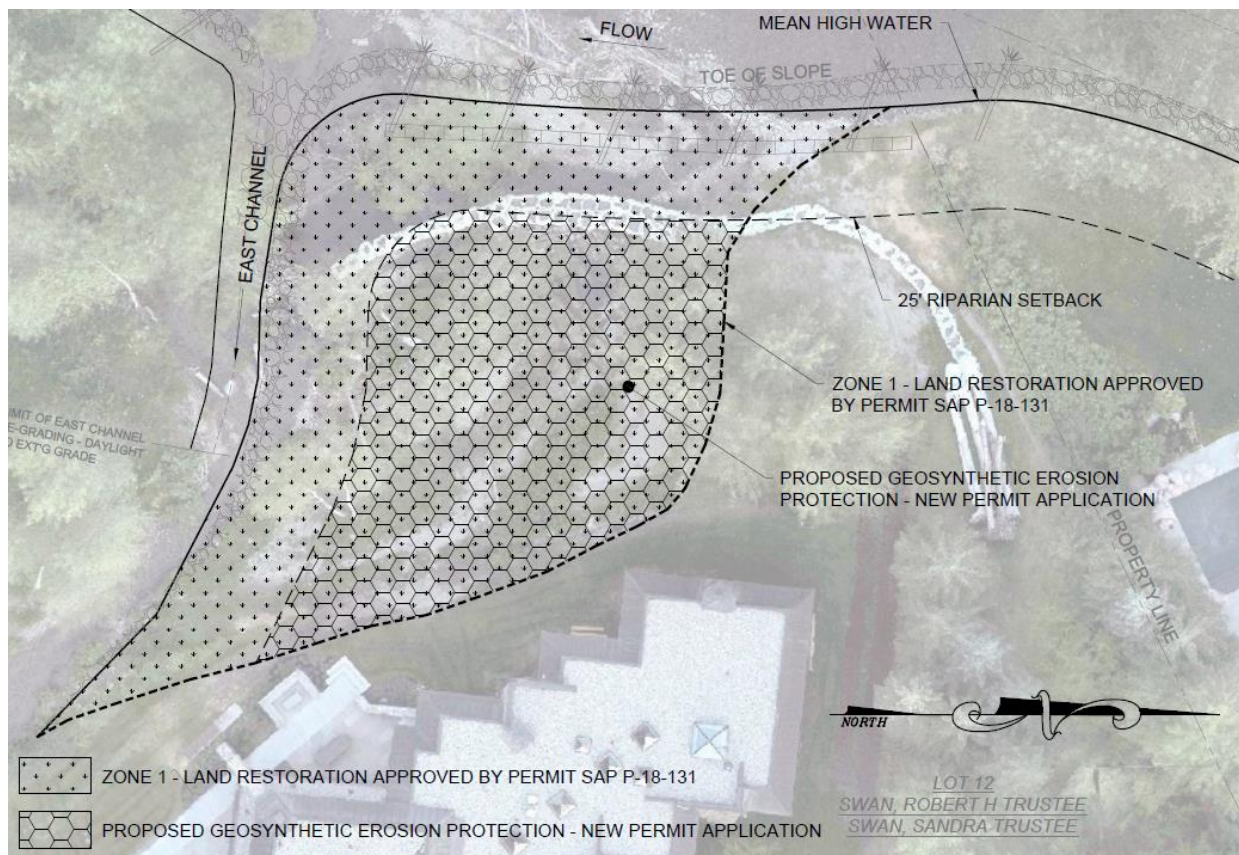


Figure 2. Area of proposed geogrid installation

The Commission may approve the application as submitted, with conditions, or may deny the application.

If the application is denied the approvals granted with P18-131 remain in effect. However, the applicant is not required to plant only the 3 shrubs per 1,000 square feet and the 5 cottonwood seedlings. Staff supports a modification to the proposal to change the groundcover (grass mix) to a riparian grass mix and to increase planting density in order to mitigate the risk of erosion during a future flood event.

STAFF RECOMMENDATION

Staff recommends denial of the application.

Staff recommends deliberation of the application and review of the Findings of Fact, Conclusions of Law, and Decision at the Commission's scheduled February 24, 2020 special meeting.

RECOMMENDED MOTION

"I MOVE to deny the Swan Geogrid Floodplain Development Application."

ATTACHMENTS

- A. Application
- B. Narrative and plans
- C. Public comment
- D. P19-044
- E. Criteria for Evaluation of Applications (KMC 17.88.050.E)
- F. Manufacturers "Design and Installation Guidelines for Erosion Control" manual

A. Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY

File Number:

Date Received:

By:

Fee Paid:

Approved Date:

Denied Date:

By:

Floodplain Management Overlay Application

OWNER INFORMATION

Project Name: Swan Bank Protection

Owner Name: Sandra Swan

Mailing Address: 8 Brittany Mdw Atherton, CA 94027

Phone:

Email:

PROJECT INFORMATION

Architect/Representative: Charles G. Brockway P.E.

Phone: 208-736-8543

Mailing Address: 2016 Washinton St. N Suite #4 Twin Falls, ID 83301

Email: charles.g.brockway@brockwayeng.com

Engineer of Record: Charles G. Brockway

Engineer Email: charles.g.brockway@brockwayeng.com

Legal Land Description: T.4N R.17E SEC.12 NW SE

Project Address: 401 Northwood Way Ketchum, ID

Lot Area: 4.3 Acres

Zoning District: General residential low density

Anticipated Use:

Value of Construction: \$

TYPE OF CONSTRUCTION

<input type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
<input type="checkbox"/> Waterways Design Review	<input checked="" type="checkbox"/> Floodplain Development	<input type="checkbox"/> Stream Alteration	

TOTAL FLOOR AREA

Proposed		Existing	
Basement:			
1 st Floor:			
2 nd Floor:			
3 rd Floor:			
Decks:			
Mezzanine:			
Total:			
Building Coverage:	SF	%	Curb Cut: SF %

PROPOSED SETBACKS

Front:	Side:	Side:	Rear:
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ADDITIONAL INFORMATION

Building Height: Parking Spaces Provided:

Will Fill or Excavation Be Required? Yes No

If Yes, Amount in Cubic Yards Fill: See attached narrative Excavation: See attached narrative

Will Existing Trees or Vegetation Be Removed? Yes No

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

Date

Nov 20, 2019

B. Narrative and plans

Narrative to Address Specific Evaluation Criteria Floodplain Development Permit Application – Swan Geosynthetic Erosion Protection

1. Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.

Proposed work will be subsurface and will not impair the natural characteristics of the floodplain areas.

2. Preservation of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty-five-foot (25') setback or riparian zone. No construction activities, encroachment or other disturbance (mowing, pruning, or any other landscape activity) into the twenty-five-foot (25') riparian zone, except for restoration, shall be allowed at any time without written city approval per the terms of this chapter.

No proposed work within the 25-foot riparian zone.

3. No development, other than development by the city of Ketchum or development required for emergency access, shall occur within the twenty-five foot (25') riparian zone with the exception of approved stream stabilization work. The planning and zoning commission may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the planning and zoning commission.

No proposed work within the 25-foot riparian zone.

4. A landscape plan and time frame shall be provided to restore any vegetation within the twenty-five foot (25') riparian zone that is degraded, not natural or which does not promote bank stability.

No proposed work within the 25-foot riparian zone.

5. New or replacement planting and vegetation shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Bebb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle.

Vegetation plan has been approved for restored land and riparian zone (SAP P18-131).

6. Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Floodwater carrying capacity is not diminished by the proposal. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.

Floodplain function will not be impaired. Proposed work will be subsurface.

7. Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.

Proposed work will be subsurface and will not impact aquatic life, recreation, or water quality.

8. Building setback in excess of the minimum required along waterways is encouraged. An additional ten foot (10') building setback is encouraged to provide for yards, decks and patios outside the twenty-five foot (25') riparian zone.

Not applicable.

9. The top of the lowest floor of a building located in the one percent (1%) annual chance floodplain shall be a minimum of twenty-four inches (24") above the base flood elevation of the subject property.

Not applicable.

10. The backfill used around the foundation in the floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. An LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.

Not applicable.

11. All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.

Not applicable.

12. Driveways shall comply with effective street standards; access for emergency vehicles has been adequately provided for.

Not applicable.

13. Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.

Not applicable.

14. (Stream Alteration Only.) The proposal is shown to be a permanent solution and creates a stable situation.

Not applicable.

15. (Stream Alteration Only.) No increase to the one percent (1%) annual chance floodplain upstream or downstream has been certified, with supporting calculations, by a registered Idaho hydraulic engineer.

Not applicable.

16. (Stream Alteration Only.) The recreational use of the stream, including access along any and all public pedestrian/fisher's easements, and the aesthetic beauty shall not be obstructed or interfered with by the proposed work.

Not applicable.

17. Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.

Not applicable.

18. (Stream Alteration Only.) Fish habitat shall be maintained or improved as a result of the work proposed.

Not applicable.

19. (Stream Alteration Only.) The proposed work shall not be in conflict with the local public interest, including but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.

Not applicable.

20. (Stream Alteration Only.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.

See attached narrative for additional details. This application seeks only to add the geosynthetic erosion control product to protect the restoration of eroded land. All other aspects of the project have been evaluated and approved in SAP P18-131.

Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Application for Erosion Protection of Restored Land

Charles G. Brockway, Ph.D., P.E.
Brockway Engineering, PLLC

November 14, 2019

A. Background

In the recently-approved City of Ketchum Stream Alteration Permit SAP P18-131, restoration and revegetation of eroded land on the floodplain was approved. However, erosion protection of the restored land using a geosynthetic material was removed from the application at the City of Ketchum's request so that it could be considered as a separate application. This change was necessary to obtain an administrative approval of SAP P18-131, and was not desired by the applicant nor recommended by the project engineer. The prior project approval now warrants a second SAP application for erosion control measures on the property.

Newly-placed soil associated with restoration of eroded land within Zone 1 under the approved SAP P18-131 must be protected from erosion so that it does not wash away during sheet flooding, as it did during 2017 and to a lesser extent during 2018 and 2019. This revised narrative and associated Floodplain Development Permit Application pertains to this activity only. This activity has already been approved by the U.S. Army Corps of Engineers (USACE) and the Idaho Department of Water Resources (IDWR).

Previously-issued permits include the following:

1. Removal of a large debris dam which had formed during the flood of 2017. The dam had raised water levels, caused major gravel deposition in the main river channel, and caused water to leave its banks and cut eastward through the applicant's yard. This dam was the primary source of the flooding problems on the subject property and its removal was the first step toward a long-term solution.
2. Emergency work in May 2018 to place 1-yard gravel bags across the breach area. Even though runoff magnitude in 2018 was moderate (a peak flow of only 836 cfs), water overtopped the bank and cut eastward and the bags were placed to prevent further property damage. At this flow, there would have been zero floodplain inundation but for the gravel deposition in the river channel.
3. Approval of City of Ketchum SAP P18-131 for a multi-faceted stream bank stabilization and land restoration effort, absent the geosynthetic erosion protection component (at the request of the City of Ketchum).

The proposed installation of geosynthetic erosion protection is described below and is illustrated on the accompanying drawings.

B. Proposed erosion protection on restored land

City permit SAP P18-131 allowed restore eroded turf and riparian areas to substantially pre-2017 extents and grade, i.e. prior to the discrete flood event of 2017. This area must still be allowed to function as a flood plain, and therefore it is important to ensure that the restored area can withstand shallow sheet flow without succumbing to the erosion seen in 2017 and 2018. Previous HEC-RAS modeling indicates that during the 100-year event as much as 232 cfs (8% of the total streamflow) will flow in the east floodplain at velocities from 1.4 to 2.0 ft/s. To accomplish the erosion protection, a subsurface honeycomb-type soil stabilization product is proposed within the restoration area, but not within the 25-foot riparian setback as per an IDWR requirement.

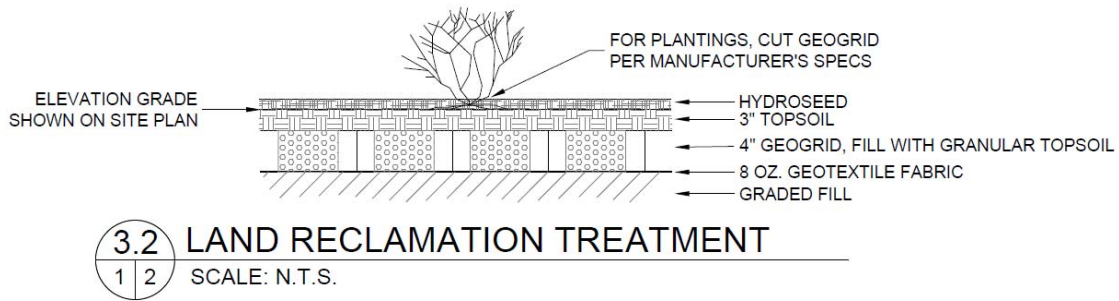
The term “geogrid” is a generic term applied to a wide variety of semi-rigid sheet goods utilized for stabilization of soils and protection against erosion. The product proposed for the Swan project is the Envirogrid EGA40. This product has a honeycomb configuration with a height of 4 inches and a cell size of 8 inches. The cells of the honeycomb are filled with granular soil and in this case the product will be topped with topsoil. Once installed it will not be invisible and is no different from an aesthetic standpoint than other permanent infrastructure routinely installed underground in the City.

This type of product is widely used for soil stabilization, slope erosion control, channel lining, retaining walls, or other protective functions. In the Swan application, the function is slope erosion control. The vegetative treatment approved in SAP P18-131 is the first line of defense and likely can handle most runoff occurrences, but in the event the erosive forces exceed the capacity of the vegetative treatment, the geogrid product will prevent down cutting from occurring below the top of the geogrid layer which, based on evidence from 2017 and 2018, would result in a large portion of the river being captured and directed eastward. Given the owner’s desire to implement very strong measures against this risk, some type of permanent erosion protection is warranted. If erosion does occur, it would be limited to the very top layer of soil and very easy to repair without significant disturbance to the flood plain.

The Envirogrid products are often used on slopes much steeper than the area proposed to be treated in the Swan case. The manufacturer of the product was consulted and recommended a medium-duty product that has proven to be effective in this environment, based on land slope and anticipated flow velocities. The photos below illustrate use of this type of product in a riparian setting and show a close up of the perforations in the grid that allow lateral migration of water and soil components. Note that the photos depict an 8” tall product, not the 4” tall product for the Swan project. Again, in the finished state the product will be buried below finished grade.



The schematic below shows the Envirogrid product installation. The product is placed on a graded sub-base and separated from the sub-base by a geotextile fabric. This fabric is similar to a weed mat, but thicker. Separation between the sub-base is needed to prevent mixing of the native material and granular fill material within the cells and potentially destabilizing the base. The Envirogrid is then filled with granular material comprised of sandy loam or gravelly sandy loam, followed by a layer of topsoil. Vegetative treatments within the Zone 1 restoration area have already been approved in SAP P18-131 and consist of grasses as well as riparian shrub plantings. Shrub plantings are made within each cell of the Envirogrid, or if necessary the cell walls can be cut to allow larger plant to be made.



Many alternatives to the geogrid product were considered and discussed with the owner. As with any design, many factors must be balanced. Factors to be considered include the observed potential for erosion and down-cutting of the overbank, the need to protect the residence (which was approved by the City of Ketchum), the need to prevent large-scale flows into the East Channel which would adversely affect numerous residents including the City of Ketchum, and the need to preserve and protect the open space which has been enjoyed by the owner and also approved by the City.

Vegetative treatments alone were deemed important and beneficial but insufficient given the river’s demonstrated propensity to forcefully migrate eastward. One other solution would be a buried blanket of rock, covered by topsoil and vegetated. This was deemed too intrusive and undesirable. The geogrid product was selected as the best compromise.

C. Concerns with the geogrid product

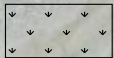
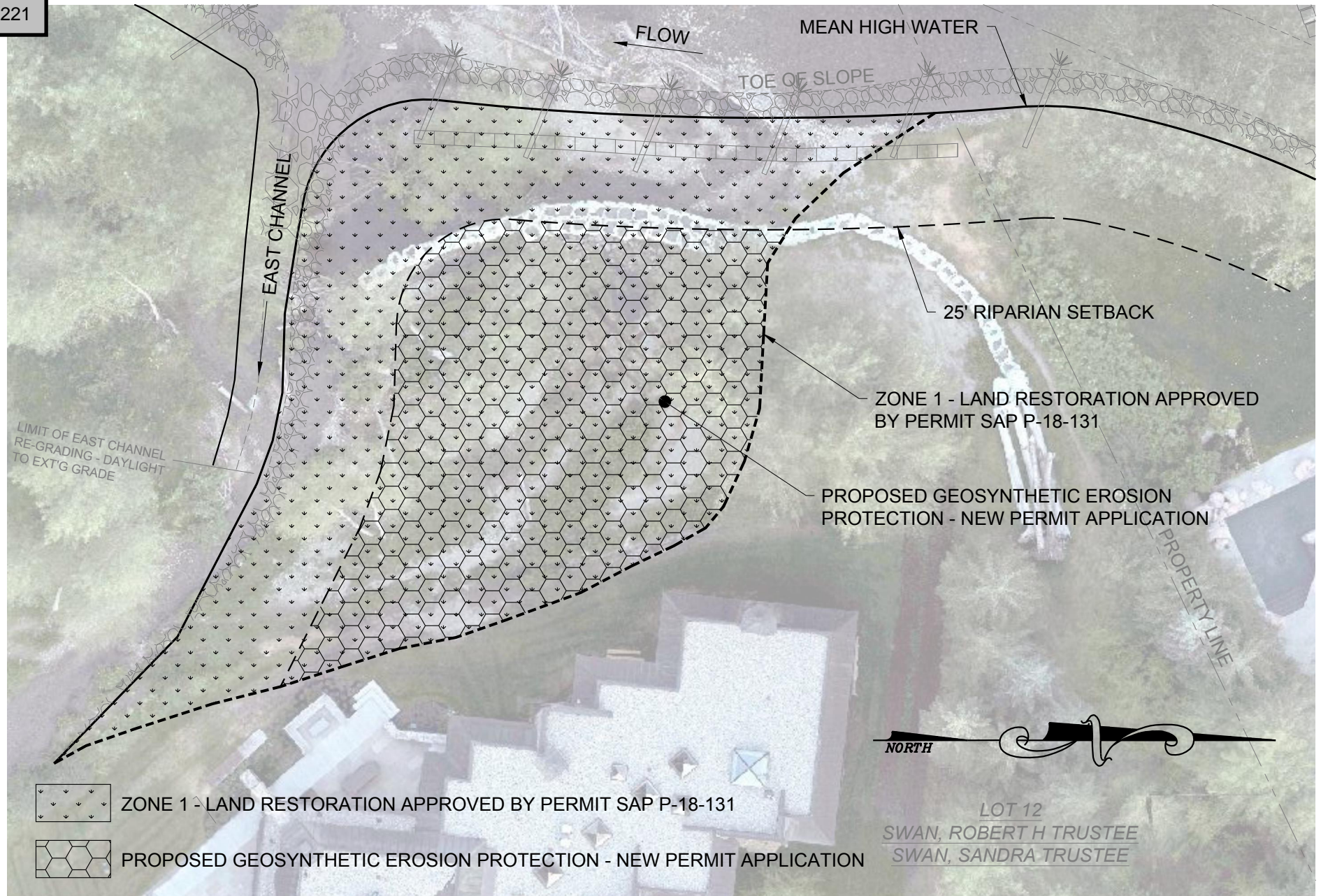
City staff has expressed some concerns regarding the efficacy of the geogrid, each of which is addressed as follows.

The geogrid may be an impediment to movement of water and/or biological organisms through the soil. The material comprising the honeycomb is perforated and does not prevent the movement of water, roots, or organisms.

The geogrid may dislodge and end up in the river. The product is a continuous blanket, filled with granular material and topped with soil. It is not possible for water to erode below the top of the geogrid. Installation of the product includes staking it into the ground. Vegetation will be planted in and amongst the cells, providing a root structure to act as a further anchor to the product. The product does not float. For the product to end up in the river, all of these structural measures would have to be overpowered, and the river would have to slide the entire layer of geogrid as a unit into the river. Even if such sliding were to occur, it would not be toward the river because there is no gradient in that direction, either topographically or hydraulically.

The product is artificial. This is true. However, any number of man-made items are routinely allowed in floodplains in the City of Ketchum and Blaine County. Examples include concrete foundations, utility vaults and equipment, bridges, driveways, highways, paths, fences, sewer outfalls, ponds, headgates, ski lifts, swimming pools, etc. The important thing is not that the feature is “artificial,” but that it is properly protected against flood damage.

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ZONE 1 - LAND RESTORATION APPROVED BY PERMIT SAP P-18-131



PROPOSED GEOSYNTHETIC EROSION PROTECTION - NEW PERMIT APPLICATION

1" = 30' (SCALES FOR 8.5 X11 DWGS ONLY)

THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC FOR A SPECIFIC PROJECT TAKING INTO ACCOUNT THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM BOTH BROCKWAY ENGINEERING & THE CLIENT IS GRANTED.

REV	DESCRIPTION	DATE	APPRO. BY
A	ISSUE FOR PERMIT	11/14/19	

DESIGNED BY
CGB

DRAFTED BY
ICB

BROCKWAY ENGINEERING, PLLC
HYDRAULICS - HYDROLOGY - WATER RESOURCES
2016 NORTH WASHINGTON, SUITE 4
TWIN FALLS, ID 83301
(208) 736-8543

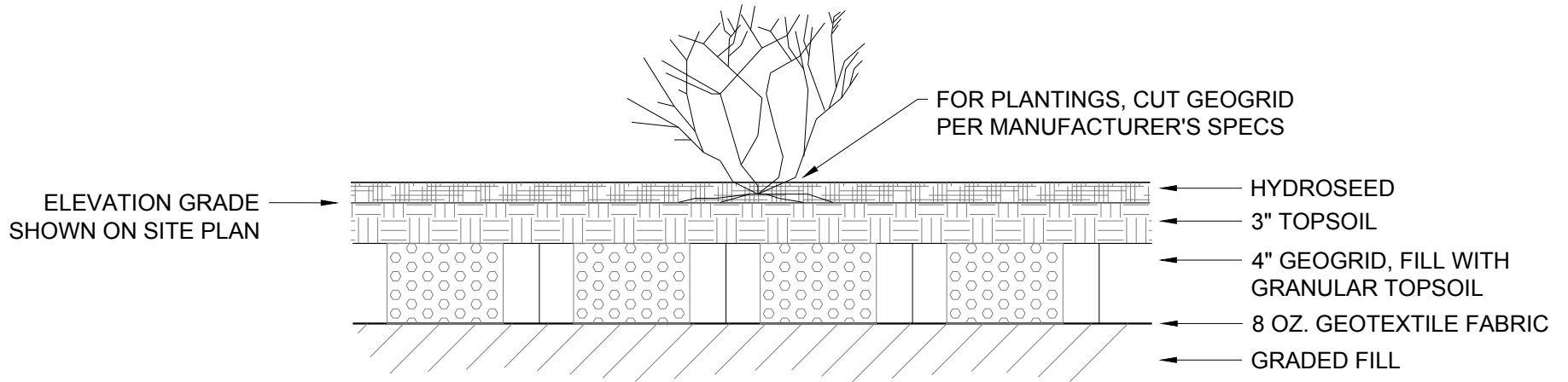
SWAN, SANDRA
EROSION PROTECTION PERMIT APPLICATION

PLAN

PROJECT #
1436-02-2018

DWG #
1
REV
A

222



2
- 2

LAND RESTORATION TREATMENT
 SCALE: N.T.S.

1" = 30' (SCALES FOR 8.5 X11 DWGS ONLY)

THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC FOR A SPECIFIC PROJECT TAKING INTO ACCOUNT THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM BOTH BROCKWAY ENGINEERING & THE CLIENT IS GRANTED.

DESIGNED BY	CGB		
DRAFTED BY	ICB		
REV	DESCRIPTION	DATE	APPRO. BY
A	ISSUE FOR PERMIT	11/14/19	

BROCKWAY ENGINEERING, PLLC
 HYDRAULICS - HYDROLOGY - WATER RESOURCES
 2016 NORTH WASHINGTON, SUITE 4
 TWIN FALLS, ID 83301
 (208) 736-8543

SWAN, SANDRA
EROSION PROTECTION PERMIT APPLICATION

LAND RESTORATION TREATMENT

PROJECT #	1436-02-2018
DWG #	2
REV	

C. Public comment

From: Participate
Sent: Friday, January 10, 2020 9:06 AM
To: AllPlanningAndZoning
Cc: Robin Crotty
Subject: FW: Swan Geogrid Floodplain Development

Please see public comment below.

LISA ENOURATO | CITY OF KETCHUM

Assistant City Administrator

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

o: 208.726.7803 | f: 208.726.7812

lenourato@ketchumidaho.org | www.ketchumidaho.org

From: Barbara Patton <1barbarapatton@gmail.com>
Sent: Thursday, January 09, 2020 7:31 PM
To: Participate <participate@ketchumidaho.org>
Subject: Swan Geogrid Floodplain Development

To whom it may concern:

We are writing in support of the Swan plan to ameliorate the encroachment of the Wood River on their property and also to protect those of us who own property downstream. The process has been exceedingly slow and laborious as well as unduly frustrating for all of us. The time has come for all concerned bureaucracies to realize that by procrastinating their stance on this issue is simply unreasonable and unjust.

Please swiftly conclude passage of their application.

Thank you,

Barbara and Scott Patton

Ketchum Planning and Zoning Commission
480 East Ave. N.
Ketchum, ID 83340

January 10, 2019

Dear Planning and Zoning Commission,

Regarding: Swan Floodplain Management Overlay Application

We appreciate the opportunity to review and comment on the Swan Floodplain Management Overlay project located at 401 Northwood Way. The Land Trust feels it's important to continue to work with landowners and consultants on projects to find a compromise of flood protection and enhancing natural river function within the Big Wood River.

Municipalities are in a tough position when reviewing these applications; allowing treatments that provide protection of infrastructure but also considering the impacts of those treatments on river health. Residents of the valley believe that protecting the health of the Big Wood River is important and should be preserved and enhance to greatest extent possible.

The applicant proposes to install Envirogrid EGA 40 to stabilize soils and protect against erosion. Reviewing this product I found no examples of this applied to stabilize soils within the floodplain and it's my understanding that this product has not been used in other floodplain management overlay applications. What we have seen work in the Big Wood River floodplain is having native riparian plants with low growing root systems. Establishing these plant communities benefit pollinators and wildlife while stabilizing soils and reduce erosion.

The Biota 2016 Geomorphic Assessment of the Big Wood River found that 52% of floodplain habitat is disconnected from the river. Approving products like the Envirogrid EGA 40 could set precedent for future application to use this product and decrease riparian and floodplain habitat which detrimentally affect wildlife. We would not recommend the use of the Envirogrid EGA 40 to replace what native riparian plants are known to do- stabilizing soils while providing wildlife habitat.

Thank you for your time and consideration.

Sincerely,



Ryan Santo
Wood River Land Trust
Project Coordinator



D. P18-131



City of Ketchum
Planning & Building

IN RE:)
)
Swan Stream Alteration/Bank Stabilization) KETCHUM PLANNING AND BUILDING DEPARTMENT
Floodplain Development and Waterways) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Design Review Permit) DECISION
Date: October 11, 2019)
)
File Number: P18-131)

PROJECT: Swan Stream Alteration/Bank Stabilization

ADFP#: P18-131

OWNER: Robert and Sandra Swan (401 Northwood Way)
Marsupial Properties LLC, Alison and Geoffrey Rusack (411 Northwood Way)
City of Ketchum (Ketchum FR NWSE TL 7801 SEC 12 4N 17E River Bed)

APPLICANT: Robert and Sandra Swan

REPRESENTATIVE: Chuck Brockway, Brockway Engineering PLLC and Evan Robertson, Robertson & Slette PLLC for Robert and Sandra Swan

LOCATION: 401 Northwood Way (Lot 12, Chateaux of Northwood)
411 Northwood Way (Lot 1, Resub of Northwood PUD Lot 2)
Adjacent riverbed (Ketchum FR NWSE TL 7801 SEC 12 4N 17E River Bed)

ZONING: General Residential – Low Density (GR-L) and Floodplain Management Overlay (FP), Waterways and Floodway subdistricts

REQUEST: Stream alteration, bank stabilization, land reclamation and restoration

PRIOR/ASSOCIATED: 401 Northwood Way

- 15-144
- P17-055
- P17-134
- P19-044

411 Northwood Way

- P19-047

BACKGROUND FACTS

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code. Under Chapter 65, Title 67 of the Idaho Code, the City is required to pass certain ordinances regarding land use, including a zoning ordinance.
2. Pursuant to Zoning Code Title 17, Section 17.88.050(D)1, the administrator shall have the authority to consider and approve, approve with conditions, or deny applications for floodplain development permits and for waterways design review.
3. The subject properties contain floodway, stream channel and bank, and riparian area. The proposed scope of work is to occur on three (3) separate parcels, held by three separate owners, with the bulk of the work occurring on 401 Northwood Way. The proposed scope of work is interrelated, with the overall project design dependent on completion of all components of the project. As such, the proposal is being reviewed and approved as a comprehensive, integrated project with the understanding all project components will be completed.
4. The applicant is put on notice that city review and approval of this application does not guarantee that flooding will not occur as the subject property is located in the Special Flood Hazard Area (1% annual chance floodplain, also known as the 100-year floodplain).
5. The scope of work approved by this permit involves excavation from the river channel, bank stabilization along the main channel and eastern side channel, land reclamation, and restoration.

FINDINGS OF FACT

Floodplain Design Review Requirements				
1. EVALUATION STANDARDS: 17.88.050(E)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 FLOODPLAIN DEVELOPMENT/ WATERWAYS DESIGN REVIEW	Preservation or restoration of the inherent natural characteristics of the river and creeks and floodplain areas. Development does not alter river channel.
			<i>Staff Comments</i>	<p><i>Prior to the 2017 flood event the area east of the eastern bank of the main channel of the Big Wood River now proposed for bank stabilization and land reclamation/restoration was largely in a manicured, non-native state. Groundcover was largely turfgrass with minimal shrubs and trees. Turfgrass extended to the bank of the river on the bank that abuts the main channel of the Big Wood River.</i></p> <p><i>The majority of work associated with this permit is proposed to occur on 401 Northwood Way and this parcel contains river channel, floodway (both within and landward to of the channel), and a significant amount of 1% annual chance floodplain. Minor, yet integral to the overall scope of the project, amounts of work are proposed on 411 Northwood Way (riverbed gravel removal, bank stabilization and associated willow plantings) and the parcel owned by the City of Ketchum (riverbed gravel removal, tree and woody debris removal).</i></p>

			<p><i>The project area at 411 Northwood Way contains river channel and a minor amount of floodway (largely aligning with the river channel). The project area on the City of Ketchum parcel contains river channel and is entirely within the floodway.</i></p> <p><i>As described in the narrative and plans submitted by Brockway Engineering, the 2017 flood event resulted in deposition of significant quantities of gravel within the main channel of the Big Wood River in the vicinity of the subject parcels and erosion/land loss due to bank erosion. Subsequent runoff occurred in the spring of 2018 and 2019 with overland flooding both years. Emergency permits were issued for 401 Northwood Way in 2018 and 2019, allowing placement of large grain-feed sacks filled with gravel (“supersack” sandbags), in order to prevent migration of the main channel of the Big Wood River further eastward onto 401 Northwood Way. A tree removal permit was approved for 411 Northwood Way for at-risk trees; the trees have not yet been removed.</i></p> <p><i>The scope of work approved by this permit involves excavation from the river channel, bank stabilization along the main channel and eastern side channel, land reclamation, and restoration.</i></p> <p><i>Alteration of the river channel is a permitted action through an approved streambank stabilization project (KMC 17.88.060(E)3).</i></p> <p><i>Both the 401 Northwood Way and 411 Northwood Way edge-of-banks (east banks of Big Wood River) and the north bank of the side channel on 401 Northwood Way will be stabilized with bank hardening techniques (riprap) and bioengineering techniques (installation of logs with root wads to function as bank barbs, installation of willows within the interspatial voids of the riprap). 401 Northwood Way’s land east of the eastern bank will be further protected with the installation of a buried rock sill and the mouth of the eastern side channel is to be protected from widening by installation of buried angular stones.</i></p> <p><i>In terms of restoration, post-2017 flooding and 2018 and 2019 runoff, land areas on 401 Northwood Way affected by sheet flow are being reclaimed by native, riparian vegetation. If left unaltered by human intervention, a healthy riparian area would likely reestablish naturally.</i></p> <p><i>However, because the scope of this project at 401 Northwood Way includes land reclamation, bank stabilization, a well as the burying of a rock wall, all existing vegetation will be removed, the land regraded to spot elevations shown in the plan set, and new grasses and shrubs will be installed. As such, the 25’ riparian zone on 401 Northwood Way will be restored to a state that is more characteristic of a native riparian zone than what existed prior to the 2017 flood; 401 Northwood Way was first developed with a residence after the city’s adoption of riparian standards and riparian zone requirements therefore apply.</i></p>
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				<p>411 Northwood Way will not have its riparian zone restored (although staff recommends restoration due to the bank-stabilizing and ecosystem health functions such vegetation provides) because the property was first developed with a residence prior to the city's adoption of riparian standards.</p> <p>On the city parcel several leaner trees and one discrete area of accumulated woody debris is proposed for removal. As actions on the city's parcel are subject to City Council approval through an Encroachment Agreement, this permit notes approval of trees and accumulated woody debris on the city's parcel is subject to a decision by Ketchum City Council.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)2	<p>Preservation or enhancement of riparian vegetation and wildlife habitat, if any, along the stream bank and within the required minimum twenty five foot (25') setback or riparian zone. No construction activities, encroachment or other disturbance into the twenty five foot (25') riparian zone, including encroachment of below grade structures, shall be allowed at any time without written City approval per the terms of this chapter.</p> <p><i>Staff Comments</i></p> <p>Disturbance to the 25' riparian zone is limited to the plans approved through this permit. Any amendment to the proposed scope of work shall be approved in writing as an amendment to this permit.</p> <p>See 17.88.060(E)1 for discussion of riparian vegetation.</p> <p>Accumulated woody debris and riparian plantings have benefits for aquatic life and the overall riparian ecosystem. Staff does not routinely recommend approval of removal of in-stream wood or woody debris accumulated adjacent to streambanks and in floodplain areas. However, the applicant proposes removal of some, but not all woody debris in order to accomplish the project goals; the applicant also states that much of the woody debris will be reused within the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.50(E)3	<p>No development, other than development by the City of Ketchum or development required for emergency access, shall occur within the twenty five foot (25') riparian zone with the exception of approved stream stabilization work. The Administrator may approve access to property where no other primary access is available. Private pathways and staircases shall not lead into or through the riparian zone unless deemed necessary by the Administrator.</p> <p><i>Staff Comments</i></p> <p>Currently, no pathways and staircases lead into or through the riparian zone. None are proposed.</p> <p>Development activity approved to occur within the riparian zone is described in the plan set attached hereto, as conditioned.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)4	<p>A landscape plan and time frame shall be provided to restore any vegetation within the twenty five foot (25') riparian zone that is degraded, not natural or which does not promote bank stability.</p> <p><i>Staff Comments</i></p> <p>A riparian vegetation restoration plan has been proposed with this project. See Brockway Engineering plan set and BYLA plan.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)5	<p>New or replacement planting and vegetation shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings include: red osier dogwood, common chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle.</p>

			<p><i>Staff Comments</i></p> <p><i>A riparian planting restoration plan has been proposed (BYLA) and includes golden currants, red-osier dogwoods, river alder and woods rose in the riparian zone.</i></p> <p><i>The proposed grasses are per the seed mix identified in the September 30, 2019 Brockway Engineering plan: Idaho fescue, streambank wheatgrass, creeping red fescue, bluebunch wheatgrass and silky lupine.</i></p>
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Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)6	<p>Landscaping and driveway plans to accommodate the function of the floodplain to allow for sheet flooding. Floodwater carrying capacity is not diminished by the proposal. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.</p> <p><i>Staff Comments</i></p> <p><i>The project has been designed (channel geometry design, stabilized bank elevations, and reclaimed land finished elevations) to allow sheet flooding.</i></p> <p><i>However, staff finds greater densities of plantings than what are proposed, within both the riparian zone and the remainder of the Special Flood Hazard Area at 401 Northwood Way, are recommended and would result in better control of surface drainage (sheet flow would be slowed down due to the roughness provided by dense vegetation) and would have the added benefits of erosion mitigation and habitat benefit.</i></p> <p><i>No culverts or berms are proposed.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)7	<p>Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.</p> <p><i>Staff Comments</i></p> <p><i>The proposal is designed to balance the goals of protecting land area from erosion, preventing migration of the main channel of the Big Wood River to the east (closer to structures), and protecting private property owners' (401 and 411 Northwood Way) views of the river and enjoyment of their outdoor properties with the characteristics of an unaltered floodplain and riparian area.</i></p> <p><i>The proposed riparian zone restoration will be an improvement compared to the riparian zone's state prior to the 2017 flood event, which will aid in water quality, thereby benefiting aquatic life.</i></p> <p><i>The public access easements that are located on 401 Northwood Way will remain in effect.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)8	<p>Building setback in excess of the minimum required along waterways is encouraged. An additional ten foot (10') building setback is encouraged to provide for yards, decks and patios outside the twenty five foot (25') riparian zone.</p> <p><i>Staff Comments</i></p> <p><i>N/A, no new building is proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)9	<p>The top of the lowest floor of a building located in the one percent (1%) annual chance floodplain shall be a minimum of twenty four inches (24") above the base flood elevation of the subject property. (See section 17.88.060, figures 1 and 2 of this chapter.)</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
			<i>Staff Comments</i>	<i>N/A, no new building is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)10	The backfill used around the foundation in the floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. An LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.
			<i>Staff Comments</i>	<i>N/A, no new building is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)11	All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.
			<i>Staff Comments</i>	<i>N/A, no new building is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)12	Driveways shall comply with effective street standards; access for emergency vehicles has been adequately provided for.
			<i>Staff Comments</i>	<i>N/A, no alteration of driveway is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)13	Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.
			<i>Staff Comments</i>	<i>N/A, no alteration of driveway is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)14	(Stream alteration.) The proposal is shown to be a permanent solution and creates a stable situation.
			<i>Staff Comments</i>	<i>The applicant's engineer has designed the stream channel to be a permanent and stable solution. Bank stabilization, protection of the mouth of the eastern side channel, and the buried rock sill are designed to further ensure stability.</i>
				<i>Monitoring and maintenance are addressed in Section G of the restoration plan dated September 30, 2019 and are approved as conditioned by this permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)15	(Stream alteration.) No increase to the one percent (1%) annual chance floodplain upstream or downstream has been certified, with supporting calculations, by a registered Idaho hydraulic engineer.
			<i>Staff Comments</i>	<i>The applicant's engineer has completed a no-rise analysis and submitted a no-rise certification.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)16	(Stream alteration.) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.
			<i>Staff Comments</i>	<i>401 Northwood Way contains a 10' wide Fisherman's Access Easement providing public access to the river and a 10' Fisherman's / Pedestrian Access / Nature Study easement, offset 10' landward from the eastern bank of the Big Wood River, that is dedicated to the public.</i>
				<i>Prior to the 2017 flood, neither access into the river channel via the pedestrian access easement nor access along the easement that parallels the bank were inhibited by physical barriers. The bank stabilization treatment proposed may introduce access challenges for persons with mobility impairments (climbing onto and over riprap). As such, staff includes as a condition of approval that the bank stabilization material placed in the most upland (least prone to bank overtopping during highwater) 5' section of the 10' wide Fisherman's Access Easement be arranged in an intentional, deliberate manner to mimic a 'stairstep' leading into the river channel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)17	(Stream alteration.) Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
				a comparable amount and/or quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	<i>N/A, the subject property does not contain wetlands.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)18	(Stream alteration.) Fish habitat shall be maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	<i>Use of woody treatments in the eastern side channel's stabilization will aid in maintaining fish habitat. Juvenile fish have been observed in this side channel. Incorporation of woody treatments into the stabilization of the bank of the main channel of the river will aid in maintaining fish habitat as well.</i>
				<i>Removal of the woody debris that has accumulated post-2017 flood will disrupt fish habitat. However, upon completion of this project, the willows and woody treatment incorporated into the stabilized bank should enhance the fish habitat above and beyond the habitat that existed adjacent to the eastern bank of the main channel prior to the 2017 flood. Prior to the 2017 flood the eastern bank of the river contained little to no riparian vegetation and showed signs of incision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)19	(Stream alteration.) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	<i>The proposed work is designed to strike a balance between private property values and the natural characteristics of the main and eastern side channel of the Big Wood River, the floodplain, and riparian area, as such natural characteristics of an unaltered landscape relate to fish and wildlife habitat, aquatic life, recreation, access to the river, aesthetic beauty of the river, and water quality.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060(E)20	(Stream alteration.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	<i>N/A.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67, of the Idaho Code the City has passed a zoning ordinance, Title 17;
3. The City of Ketchum Planning Department provided adequate notice of opportunity to comment on this application pursuant to Chapter 17.88 of the zoning ordinance, Title 17;
4. The Administrator has authority to hear the applicant's Preliminary Plat Application pursuant to Section 17.88.050.D.1 of Ketchum Municipal Code, Title 17;
5. The project **does** meet the standards of approval under Chapter 17.88 of Zoning Code Title 17.

DECISION

THEREFORE, the Administrative Floodplain Development Permit for the proposed project, Swan Stream Alteration/Bank Stabilization, is approved on this date, October 11th, 2019, with the following conditions:

1. This approval is subject to the scope of work described in the following documents:
 - a. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications: Final for City Approval, Brockway Engineering, PLLC, dated September 30, 2019
 - b. Swan, Sandra River Restoration Project sheets 0-3, Brockway Engineering, PLLC, dated September 16, 2019
 - c. Draft River Restoration, Swan Residence, BYLA, dated September 16, 2019 with the exception of Zone 2 riparian grasses, which shall be the seed mix specified in the September 30, 2019 Brockway Engineering plan.
2. Commencement of construction of any component of this project is subject to approval by the City Council of an Encroachment Agreement and any conditions of approval for the Encroachment Agreement imposed by Council.
3. Commencement of construction of any component of this project is subject to written approval from the adjacent upstream property owners, Marsupial Properties LLC (Alison and Geoffrey Rusack), and/or their attorneys, to the City of Ketchum, attention: Brittany Skelton, Planning and Building Department, because the scope of work includes alteration of the Rusack's private property 411 Northwood Way (Lot 1, Resub of Northwood PUD).
4. The owner's representative shall notify the City of Ketchum Senior Planner Brittany Skelton via e-mail 48 hours in advance of the day construction of the project is scheduled to begin and notify via e-mail on the day construction begins.
5. The owner's representative shall notify the City of Ketchum Senior Planner Brittany Skelton via e-mail within 48 hours of the next business day after the scope of work is complete.
6. The owner's representative shall facilitate a site visit with city staff to occur within five (5) business days of completion of the project.
7. Within 30 days of completion of the project the owner's representative shall submit a construction completion report certifying the project has been completed as proposed. This report shall at minimum include:
 - a. A letter prepared and stamped by Brockway Engineering confirming the project was completed in accordance with the plans dated September 16 and September 30, 2019.
 - i. Verify elevations of reclaimed areas and top of bank or riprapped portions of streambank do not exceed elevations specified in plans
 - ii. Survey cross sections to show channel graded as proposed
 - iii. Verify mouth to east side channel constructed as proposed
 - b. A letter prepared by Ben Young Landscape Architects confirming landscaping has been installed as indicated in the plan dated September 16, 2019, with the exception of the riparian seed mix, which shall be per the seed mix specified in the September 30, 2019 Brockway plan
8. Follow up reports Monitoring Reports due to the city by December 31, 2020, 2021, and 2022. Monitoring reports to reflect all maintenance performed during the given calendar year.
9. For the purpose of maintaining the public access to the river, bank stabilization material placed in the most upland (least prone to bank overtopping during highwater) 5' section of the 10' wide

Fisherman's Access Easement shall be arranged in an intentional, deliberate manner to mimic a 'stairstep' leading into the river channel.

10. Maintenance of barbs, riprap, and east sill shall be limited to reconfiguration of dislodged material used in original construction.
 - a. Replacement of any material that has been washed downstream may be approved administratively if quantity does not exceed 1 cubic yard per year.
11. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval;
12. No use of restricted use chemicals or soil sterilants will be allowed within one hundred feet (100') of the mean high-water mark on any property within the city limits at any time (KMC 17.88.040.C.3);
13. No use of pesticides, herbicides, or fertilizers will be allowed within twenty-five feet (25') of the mean high water mark on any property within the City limits unless approved by the City Arborist (KMC 17.88.040.C.4);
14. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates (KMC 17.88.040.C.4);
15. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the City Arborist (KMC 17.88.040.C.5);
16. The application of dormant oil sprays and insecticidal soap within the Riparian Zone may be used throughout the growing season as needed (KMC 17.88.040.C.6);
17. It shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water.

Decision: Approved, subject to conditions above.

DATED this 11th day of October, 2019



Brittany Skelton
Senior Planner, CFM

Attachments:

- A. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications: Final for City Approval, Brockway Engineering, PLLC, dated September 30, 2019
- B. Swan, Sandra River Restoration Project sheets 0-3, Brockway Engineering, PLLC, dated September 16, 2019
- C. Draft River Restoration, Swan Residence, BYLA, dated September 16, 2019

Public Comment:

1. Trout Unlimited, March 11, 2019
2. Wood River Land Trust, March 11, 2019
3. Katie Franklin, November 9, 2018
4. Trout Unlimited, October 29, 2018
5. Wood River Land Trust, October 29, 2018

6. Barbara Patton, October 29, 2018
7. John E. Philips, October 24, 2018
8. Donald White, October 23, 2018

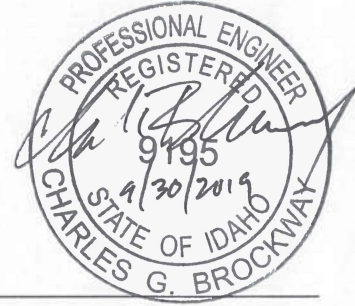
Included in the record:

- I. Floodplain Management Overlay Application coversheet, signed by Sandra Swan and dated August 23, 2018
- II. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications (including project drawings and HEC-RAS model results), Brockway Engineering, dated August 27, 2018
- III. Project drawings and exhibits, Brockway Engineering, dated September 28, 2018
- IV. Jennifer Zung, PE, Harmony Design & Engineering, memo dated October 11, 2018
- V. Response to Review by Harmony Engineering of Swan Phase 2 Stream Alteration Permit Application, C. G. Brockway, PhD, PE, dated October 17, 2018
- VI. Email, Charles G. Brockway to Brittany Skelton, dated October 17, 2018
- VII. Letter, Bob and Sandra Swan, to Mayor Neil Bradshaw, Brittany Skelton and John Gaeddert, received via email from Robert Swan October 28, 2018
- VIII. Email, Sandra Swan, dated November 6, 2018, with photo attachments
- IX. Email, Jennifer Zung, dated November 9, 2018
- X. Email, Charles G. Brockway, dated November 14, 2018, 3:40 p.m. with attachment, memo "Information Requested by Jennifer Zung Regarding Sandra Swan SAP Application", dated November 13, 2018
- XI. Email, Jennifer Zung, dated November 14, 2018, 5:21 p.m.
- XII. Email, Charles G. Brockway, dated November 14, 2018, 6:23 p.m.
- XIII. Emails, Charles G. Brockway, dated November 16, 2018
- XIV. Emails, Jennifer Zung, dated November 16, 2018
- XV. Email, Jennifer Zung, dated November 26, 2018, with attachments
- XVI. Revised stand alone revegetation plan, Brockway Engineering, dated December 7, 2018, including attachment, River Restoration landscape plan, BYLA, dated November 27, 2018
- XVII. Letter, Brittany Skelton to Evan Robertson, dated December 10, 2018
- XVIII. Swan, Sandra River Restoration Project plan set, Brockway Engineering, dated January 4, 2019
- XIX. "No Rise" Certificate, Charles G. Brockway, PE, dated January 4, 2019
- XX. HEC-RAS model files, Brockway Engineering
- XXI. Response to City of Ketchum Deficiency Letter for the Swan Phase 2 SAP Application, Charles G. Brockway, dated January 4, 2019
- XXII. Letter, Evan Robertson to Brittany Skelton, Aaron Golart (IDWR), John Gaeddert, and Tim Luke (IDWR) dated January 29, 2019
- XXIII. Jennifer Zung, PE, Harmony Design & Engineering, memo dated February 20, 2019
- XXIV. Swan, Sandra River Restoration Project plan set, Brockway Engineering, dated July 19, 2019
- XXV. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications: Final for City Approval, Brockway Engineering, dated August 14, 2019
- XXVI. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications: Final for City Approval, Brockway Engineering, dated September 16, 2019
- XXVII. Swan, Sandra River Restoration Project plan set, Brockway Engineering, dated September 16, 2019
- XXVIII. IDWR Amended Approval of Joint Application for Permit No. S37-20546, dated July 8, 2019
- XXIX. IDWR Approval, in Part, of Joint Application for Permit No. S37-20546, dated February 28, 2019
- XXX. USACE permit NWW-2017-639-I02 dated September 11, 2018

- XXXI. Email, Frank Edelmann, Idaho Fish and Game, September 19, 2018
- XXXII. Email, Kristine Hilt, Blaine County, September 20, 2018
- XXXIII. Email, Frank Edelmann, Idaho Fish and Game, September 24, 2018
- XXXIV. Public comment
- XXXV. Site photos dated September 27, 2010 (Ketchum Planning and Building Department)
- XXXVI. Site photos dated May 11, 2017 (Ketchum Planning and Building Department)
- XXXVII. Site photos dated May 24, 2017 (Ketchum Planning and Building Department)
- XXXVIII. Site photos dated April 6, 2018 (Ketchum Planning and Building Department)
- XXXIX. Site photos dated May 2, 2018 (Ketchum Planning and Building Department)
- XL. Site photos dated November 1, 2018 (Ketchum Planning and Building)
- XLI. Site photos dated November 2, 2018 (Ketchum Planning and Building)
- XLII. P15-144 Findings of Fact, Conclusions of Law, and Decision
- XLIII. P17-055 Findings of Fact, Conclusions of Law, and Decision
- XLIV. P17-134 Findings of Fact, Conclusions of Law, and Decision
- XLV. P19-044 Findings of Fact, Conclusions of Law, and Decision
- XLVI. P19-047 Approval
- XLVII. Chateaux of Northwood subdivision plat, 1995
- XLVIII. City Council meeting minutes, January 13, 1992
- XLIX. Planning and Zoning Commission meeting minutes, February 10, 1992
- L. Planning and Zoning Commission meeting minutes, March 23, 1992
- LI. Letter, Idaho Conservation League to Ketchum Planning and Zoning Commission, with attachment, dated March 23, 1992
- LII. Planning and Zoning Commission meeting minutes, May 8, 1995

**A. Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit
Applications: Final for City Approval, Brockway Engineering, PLLC, dated September 30, 2019**

Swan Property Restoration Plan: Stream Alteration and Floodplain Development Permit Applications: Final for City Approval



Charles G. Brockway, Ph.D., P.E.
Brockway Engineering, PLLC

September 30, 2019

The project scope and this narrative have been revised multiple times at the request of the City of Ketchum. In the previous version, the erosion protection of the reclaimed land on the floodplain was removed from the project. This change was necessary to obtain an administrative approval of the permit, and is not desired by the applicant nor recommended by the project engineer. Newly-placed soil must be protected from erosion so that it does not wash away during sheet flooding, which may lead to exactly the same situation that exists today; vegetation alone is insufficient. In the present version, the language has been clarified in a few locations as requested by the City. This revised narrative pertains to City of Ketchum permitting only.

A. Background

This project consists of a follow-up to previously-permitted work to address flooding on the applicants' property. Previously-issued permits include the following:

1. Removal of a large debris dam which had formed during the flood of 2017. The dam had raised water levels, caused major gravel deposition in the main river channel, and caused water to leave its banks and cut eastward through the applicant's yard. This dam was the primary source of the flooding problems on the subject property and its removal was the first step toward a long-term solution.
2. Emergency work in May 2018 to place 1-yard gravel bags across the breach area. Even though runoff magnitude in 2018 was moderate (a peak flow of only 836 cfs), water overtopped the bank and cut eastward and the bags were placed to prevent further property damage. At this flow, there would have been zero floodplain inundation but for the gravel deposition in the river channel.

The current proposal is intended to be a long-term solution to the ongoing threat to the applicant's property. Due to gravel deposition in the channel to depths of 2 to 3 feet in 2017, confirmed by topographic surveys, river water levels are now nearly the same as the elevation of the applicant's adjacent property even at base flows. In 2018, water overtopped the bank at very low flows of 150 to 200 cfs. The river continued to cut a channel eastward through the property, exacerbating the erosion that occurred in 2017. This erosion was finally halted by the emergency placement of the gravel bags, but not before major damage to land had occurred. The same effects were observed in 2019,

during which the peak flow was slightly above the median level. The flow in 2019 was not sufficient to mobilize gravel or cause channel changes to any significant degree. The river channels today are essentially in the same configuration as when the permit application was originally submitted in August 2018.

Topographic surveys were performed in November 2017 and July 2018. As noted above, no channel changes have occurred and no new surveying was or will be completed in 2019. Comparing the 2017 and 2018 datasets, it is evident that the runoff in 2018, even though it was very high, failed to mobilize the gravel deposition in any appreciable quantities. The data confirms what is evident by visual inspection –the gravel deposition must be removed in order to restore conveyance to this reach and prevent the river from cutting a new channel eastward through private property.

At the same time, the east floodplain should continue to function as it has historically, but without allowing the major erosion observed in 2017 and 2018. Sheet flow in this area is appropriate and consistent with historical occurrence; however, the river cutting a major new channel through private property is not. This objective will be accomplished by regrading and protecting the floodplain as described below.

The minor channel known as the “East Channel” has important riparian value and should be maintained and protected. This channel has historically flowed year-round and has contributed significantly to flood-carrying capacity of the river system. These values should be preserved, but the channel must be stabilized to prevent it from turning into a major river channel and impacting adjacent properties.

Finally, bank protection measures consisting of both rock and wood-based treatments are warranted along the excavated banks to prevent undercutting and potential bank failure.

The project consists of seven (7) components. The components are described below and are illustrated on the accompanying drawings.

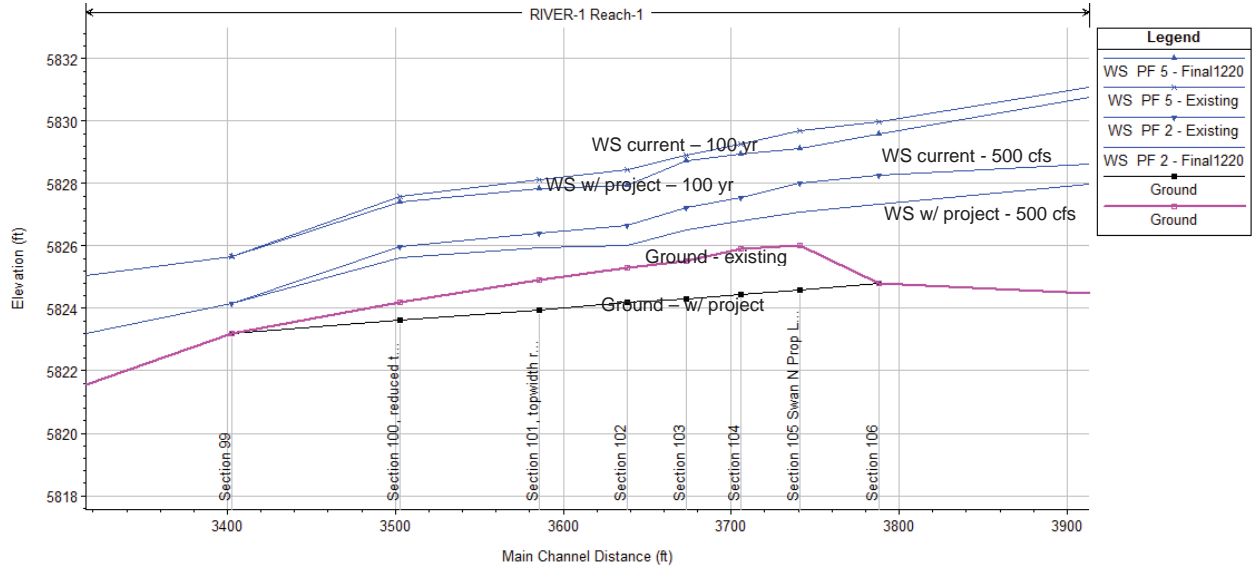
B. Project Components

1. Removal of gravel and sediment deposition

The accretion of gravel in 2017 did not adequately mobilize in 2018 and very little gravel was transported. Gravel must be removed and the channel re-graded to a stable section which can transport flows without overtopping the east bank except in very high flow conditions, as it has historically. The figure below shows the existing channel “hump” of gravel and the proposed grade. Also shown are computed values of the water surface at a flow of 500 cfs and the 100-year flow.

The grade of the channel was set by assuming a constant gradient from the northern to the southern cross-section (see plan drawing). This results in a slope of 1.1%. The excavated channel will be generally trapezoidal, with bottom width varying from 40 to 60

feet and side slope of 4:1. The exception is at section 106 north of the Swan property line, which must have a narrower section to match property with adjacent conditions. The hydraulic modeling performed for the project indicates that this geometry will result in a net decrease in water levels at all river flows (see Section E, below).



Excavated gravel will be utilized for the reclamation component, but most of the gravel will be excess and will be hauled off site.

The logistics of river channel construction dictate that some material stockpiling must occur in the dry channel for a very short time. A typical approach would involve one loader excavating the channel to grade, and a second loader picking up stockpiled material and transporting it out of the channel.

2. Reclamation of eroded land

This component will involve restoring eroded turf and riparian areas to substantially pre-2017 extents and grade, i.e. prior to the discrete flood event of 2017. This area must still be allowed to function as a flood plain, but must be adequately protected from erosion. Original grade was estimated from the topographic survey data collected in 2017 and 2018, in which the surveyor was directed to obtain shots from obvious pre-flood points such as bases of trees, undisturbed turf areas, etc. These data were used to estimate final grade elevations and a contour map for the landscaper to follow. Final grades were set approximately 0.5' higher than estimated pre-flood grades to account for soil settling and the overall higher flood elevations due to gravel deposition (see Section E).

It will be vitally important to ensure that the reclaimed area can withstand shallow sheet flow without succumbing to the erosion seen in 2017 and 2018. The modeling indicates that during the 100-year event as much as 232 cfs (8% of the total streamflow) will flow

in the east floodplain at velocities from 1.4 to 2.0 ft/s. To obtain an administrative approval, the City has prohibited the inclusion of a stabilization product and therefore it is not included in the plan.

The reclaimed area will be revegetated with same or similar vegetation that was in place prior to the 2017 flood, including turfgrass. However, appropriate riparian vegetation will be used in the 25-foot riparian zone, and riparian woody shrubs will be incorporated to increase surface roughness and provide habitat value. See the revegetation plan, Section F, and the attached revegetation map from BYLA.

3. Protection of southern boundary of reclaimed land

This component involves armoring the south boundary of reclaimed land. The reason for this action is twofold: 1) water flowing southeasterly over the reclaimed area during a flood will “fall” into the east channel, which is an erosion risk, and 2) the east channel flow itself could undercut and erode the southern boundary of the reclaimed area. The armoring treatment will include riprap with willow plantings.

4. Stabilization of East Channel entrance

Water should be allowed to flow into East Channel, but the channel is now at risk of down-cutting and allowing excessive flow to occur. The flood risk to owners of property along the channel has been elevated significantly. During the 2018 runoff, very large amounts of water entered the channel – much more than would ordinarily occur during such a modest runoff event. The objective is to reestablish the channel as a functioning minor channel that will both increase flood conveyance and provide water supply for riparian values during low river flows, as it has for many years. The intent is to put the channel back in essentially the same configuration as it was historically, but with sufficient protection at the entrance.

The work involves re-grading the unstable entrance section of the channel from the river to about 80 feet downstream, and placing erosion protection consisting of 1) a rock sill across the channel to prevent downcutting, and 2) a rip-rap bank upstream and downstream of the sill consisting of buried rock and embedded root wads. These measures are intended to prevent down-cutting and stabilize the flow into the channel.

5. Bank stabilization

This component includes log barbs embedded in the east bank of the river and projecting into water at the toe of the slope. Between the barbs, toe logs, rock, and additional wood will be placed. The benefits of this action include erosion protection, encouraging the high velocity flow to remain waterward of the bank, encouraging the river to curve westward, and improving habitat.

6. Buried rock sill

A line of rock will be buried along the top of the bank to provide a final backstop against downcutting or bank migration in the event of a severe, unforeseen occurrence. The top of the rock will be about 8” below finished grade and approximately 10 feet waterward of the ordinary high water mark.

7. Removal of debris and at-risk trees

Woody debris and unstable trees will be removed and the wood utilized in the bank protection measures wherever possible. Tree removal will be minimized to the extent possible, but it is vital that unstable trees which may fall into the river and restart the debris dam accretion process be removed. The removal areas are specifically designated on the plan drawing. Trees on city property as marked in the field will be removed, and deadwood on city property in the area of water bypass will likely need to be removed to accomplish the bypass. It appears likely that all woody material can be utilized in the project.

C. Quantities

Quantities of excavation and fill were calculated for components #1 through #5 and are shown in Table 1. OHW was assumed to be the line existing prior the 2017 discrete event. Component #6 involves work landward of the OHW and therefore no quantities are given. Component #7 involves removal of trees and debris and the volume is difficult to estimate.

As noted in Table 1, the total volume of gravel removal is 1,423 cubic yards. Of this amount, gravel removal proposed on City of Ketchum property, which would occur at Sections 104, 105, and 106 is estimated to be 215 cubic yards. Additional detailed information on the channel grading after gravel removal activity is provided in Table 2, including cross-sectional areas of removal and channel geometry.

D. Water Bypass

The project work area will be dewatered to reduce or eliminate turbidity impacts and to allow proper grade and geometric control on all features of the project. This will be accomplished by placing 1-yard gravel bags north of the work and diverting the flow into the western river channel at a location which is feasible and will provide the necessary flow path. To do this will likely require removal of the debris as shown on the plan drawing and may require creation of a shallow bypass channel across the gravel bar on City property, not on the Community Library’s property. It is possible that the gravel bags alone will be sufficient to bypass the flow, depending on the magnitude of the river flow. Material removed for the bypass channel will be temporarily placed on the gravel bar just adjacent to the channel and the gravel bar restored after the work is complete.

Table 1. Quantities.

Project Component	River Length (ft)	Plan Area (acres)	Total excavation (cu. yd.)	Excavation below OHW* (cu. yd.)	Total fill (cu. yd.)	Fill below OHW* (cu. yd.)
1. Gravel removal	405	0.54	1,423	1,423	0	0
2. Reclamation	n/a	0.27	0	0	447	0
3. Reclaimed land south boundary protection	165	0.03	0	0	77	65
4. East chan entrance stabilization	88	0.03	86	86	54	54
5. Bank stabilization	252	0.06	0	0	183	183
6. Gabions	Landward of OHW					
7. Wood removal	n/a	0.10	150	150	0	0
Temporary bypass and coffer	32	0.03	65	65	18	12
TOTALS		1.05	1,724	1,724	586	314
TOTALS (not including temporary work)		1.02	1,659	1,659	568	302

Notes:

Gravel removal: Length is total north-south length along Big Wood River from upper to lower limits of removal.

Reclamation: Fill volume is for reclamation of land within floodplain.

Reclaimed land south boundary protection: Length is west-east along north bank of East Channel.

East channel entrance stabilization: Length is the west-east length of the east channel entrance protection and re-grading; total excavation is for channel re-grading from entrance eastward; fill is rock at entrance.

Bank stabilization: Length is north-south along Big Wood River, fill is riprap and logs.

* OHW prior to 2017 discrete event.

Table 2. Post-project channel geometry.

Section	River Station (ft)	Bottom width (ft)	Side slope	Cut area (ft ²)
106	106085	20	2:1	25
105	106038	30	4:1	98
104	106003	40	4:1	114
103	105970	40	4:1	113
102	105935	50	4:1	154
101	105883	60	4:1	96
100	105800	60	4:1	116
99	105700	30	4:1	21

E. HEC-RAS Modeling

Hydraulic modeling using HEC-RAS 4.1 was performed for the project. The FEMA effective model for the Big Wood River was run, and found to reproduce the base flood elevations at Sections EN and EM. The project is located between these two sections.

Eight new cross-sections were developed using the survey data described above to reflect current conditions through the project reach. The same roughness coefficients used by FEMA were used for the new cross-sections.

A Corrected Effective model was developed by inserting the new cross-sections and adjusting reach lengths accordingly. A Post-Project model was developed which incorporates both the reclamation of land within the floodplain, the proposed gravel removal, and the bank stabilization actions.

The Corrected Effective model indicates that current 100-year flood heights are 1.1 to 1.3 feet greater than the published base flood elevations due to the gravel deposition described herein.

With the proposed project in place the Post-Project model indicates reductions in flood height compared to the Corrected Effective model during the 100-year event and all other flows in the river. The reduction in water level adjacent to the applicant’s property will be considerable as shown in Table 3. The model indicates that the project clearly meets the required “no-rise” criteria for work within a regulatory floodway, as it will result in a decrease in 100-year flood height compared to current conditions.

Table 3. Change in computed water level from existing (Corrected Effective) to Post-Project conditions.

Section	Streamflow (cfs)				
	100	500	1000	2000	2880 (100-yr)
106	-0.95	-0.98	-0.88	-0.66	-0.42
105	-1.21	-1.00	-0.84	-0.58	-0.63
104	-1.15	-0.88	-0.72	-0.55	-0.50
103	-1.05	-1.05	-0.78	-0.48	-0.38
102	-0.84	-0.79	-0.71	-0.82	-0.64
101	-0.78	-0.69	-0.54	-0.48	-0.46
100	-0.60	-0.56	-0.44	-0.38	-0.35

The model also indicates that the inundated area of the east 100-year floodplain on the applicant’s property will be essentially the same as delineated by FEMA, i.e. no loss of floodplain value will occur. The model predicts the floodplain will begin to be inundated

at a flow of 1,400 cfs or about a 7-year event, which is an appropriate level. The model predicts the overland flow in the east floodplain during the 100-year event ranges from 77 to 232 cfs through the study reach. In short, the floodplain conveyance is being adequately preserved.

F. Revegetation Plan

Revegetation of the all disturbed areas will be a vital component of the restoration plan. The project is divided in two three revegetation zones according to the treatment received: the reclaimed area outside of the riparian zone, the 25-foot riparian zone, and the bank stabilization zone. Each treatment is described below. Consultation was made with the owner’s landscape professional, Ben Young Landscape Architects (BYLA), to refine the plan from the original plan submitted with the application. The plan described below and depicted on the attached map from BYLA is consistent with the plan approved by IDWR and will supersede any previously-submitted plans.

Zone 1: Reclaimed land outside of the 25-foot riparian zone:

Grasses

Match original vegetation: Scottish Links Fine Fescue by Magic Valley Sod.

Shrubs (3 per 1000 ft²)

Golden currant	<i>Ribes aureum</i>
Red-osier dogwood	<i>Cornus sericea</i>
River alder shrub	<i>Alnus incana</i>
Woods rose	<i>Rosa woodsii</i>

Cottonwood seedlings (5)

Zone 2: Riparian zone within 25 feet of ordinary high water (prior to 2017 discrete event) of the Big Wood River and East Channel

Note: the riparian grass list has been modified slightly to reflect the requirements of the City in order to obtain administrative approval.

Riparian Grasses (approximately equal proportions)

Idaho fescue	<i>Festuca idahoensis</i>
Streambank wheatgrass	<i>Agropyron riparium</i>
Creeping red fescue	<i>Festuca rubra</i>
Bluebunch wheatgrass	<i>Pseudoroegneria spicata</i>
Silky lupine	<i>Lupinus sericeus</i>

Shrubs (12 per 1000 ft²)

Golden currant	<i>Ribes aureum</i>
Red-osier dogwood	<i>Cornus sericea</i>
River alder shrub	<i>Alnus incana</i>
Woods rose	<i>Rosa woodsii</i>

Zone 3: Bank stabilization

Booth willow	<i>Salix boothii</i>
Geyer willow	<i>Salix geyeria</i>
Pacific willow	<i>Salix lasiandra</i>

Planting Methods and Coverage

The owner’s landscape professional will be retained to oversee and/or perform the revegetation work in accordance with the specifications herein.

The reclaimed area will be topped with 6 inches of organic-rich topsoil and graded to provide an adequate seed bed. Grasses will be planted by the hydroseed method at 25 lb/acre or as recommended by the landscape professional. Broadcast application will only be used in areas unreachable by hydroseeding equipment.

Shrubs will typically be 1-gallon or 5-gallon containerized nursery stock, planted in accordance with accepted practices for containerized plantings. The shrub location and density will be selected to harmonize with existing vegetation, with target coverages described above. An exact number of shrubs cannot be specified.

Willow plantings within the bank stabilization will be made at a target spacing of 6 feet, with the willows placed deep enough to reach permanent water.

G. Monitoring and Maintenance

At the City’s request, the performance of the project will be monitored for a period of three (3) years from the date of completion. Monitoring is agreed to by the owner only if the permit from the City also allows maintenance to address damage found during the monitoring period under the existing permit and without a new permit process.

Monitoring will consist of a site inspection and qualitative assessment by a qualified professional incorporating the following items:

1. Riprap integrity
2. Barb integrity
3. East channel sill integrity

4. East channel flow rate magnitudes at different river levels
5. Gravel and debris accumulation
6. Vegetation establishment, target survival 80% after 3 years

It is understood that debris accumulation/felled trees located outside of the bank stabilization area included in the scope of this permit, both waterward of the ordinary high water mark and landward of the ordinary high water mark and within the boundaries of the special flood hazard area, are subject to a separate permit process. A report will be submitted to the City by December 31 of each year during the monitoring period.

H. Construction Drawings

The City has requested final plans for the project. In anticipation of permit approval and project construction, a set of construction drawings have been prepared on 18"x24" sheets. These drawings contain four sheets: a cover page with specifications, plan view, details, and sections. As noted above, these have been modified slightly from the originally-submitted 8-1/2" x 11" drawings in accordance with the above discussions. The cross-sections shown thereon are the basis of the HEC-RAS modeling. The City is being provided with these large-format plans, as they are easier to follow than smaller-scale sheets. These plans are noted as Revision F and reflect the exclusion of the erosion protection product on the reclaimed land for the City only.

B. Swan, Sandra River Restoration Project sheets 0-3, Brockway Engineering, PLLC, dated September 16, 2019

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SWAN, SANDRA RIVER RESTORATION PROJECT



ESRI WORLD IMAGERY

GENERAL NOTES:

- THE PROJECT CONSISTS OF THE COMPONENTS ILLUSTRATED AND DESCRIBED ON SHEET 1 OF THIS PLAN SET.
- ALL TECHNICAL QUESTIONS REGARDING ANY ASPECT OF THE PROJECT SHALL BE DIRECTED TO BROCKWAY ENGINEERING C/O CHARLES G. BROCKWAY, P.E., 2016 WASHINGTON ST. NORTH #4, TWIN FALLS, ID 83301, (208) 736-8543.
- CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS SHOWN OR IMPLIED ON THE DRAWINGS AND SPECIFICATIONS, AS WELL AS THE EXISTING WORK AND PHYSICAL DESCRIPTIONS AND CONDITIONS OF THE SITE, AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF THE WORK.
- ALL EQUIPMENT PROPOSED TO BE SUPPLIED BY THE CONTRACTOR MUST BE SUBMITTED FOR APPROVAL TO THE ENGINEER. ANY ITEM WHICH THE CONTRACTOR PROPOSES TO FURNISH AS "EQUAL" OR "EQUIVALENT" TO ITEM SPECIFIED SHALL BE SUBMITTED FOR APPROVAL TO THE ENGINEER WITH SUFFICIENT MANUFACTURER'S LITERATURE TO DETERMINE EQUIVALENCY.
- UNDERGROUND UTILITIES MAY BE PRESENT. LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CONTACT DIGLINE PRIOR TO CONSTRUCTION AND VERIFY LOCATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVES TO DETERMINE HOW NEW WATER PIPELINE WILL AVOID ALL UTILITIES.
- THIS PROJECT IS AUTHORIZED UNDER PERMITS FROM THE U. S. ARMY CORPS OF ENGINEERS, IDAHO DEPARTMENT OF WATER RESOURCES, AND THE CITY OF KETCHUM. CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL ADHERE TO ALL APPLICABLE CONDITIONS THEREIN.
- ACCESS: PROJECT SITE SHALL BE ACCESSED THROUGH OWNER'S PROPERTY. CONTRACTOR SHALL MAKE APPROPRIATE ARRANGEMENTS WITH THE OWNER TO ACCOMPLISH THE WORK DESCRIBED HEREIN. ALL DAMAGE TO OWNER'S LAND, IMPROVEMENTS, OR INFRASTRUCTURE SHALL BE PROMPTLY REPAIRED TO OWNER'S SATISFACTION.
- EARTHWORK: COMPLETE EXCAVATION TO GRADES AND DIMENSIONS SHOWN, TOLERANCE +/-0.2 FEET. EXCESS MATERIAL SHALL BE HAULED OFF SITE AND DEPOSITED IN UPLAND AREA.

- RIP-RAP: GRANITE OR SOLID NON-VESICULAR BASALT, SIZE AS SHOWN, SUBSTANTIALLY FREE FROM CRACKS AND SEAMS. WITH DRY UNIT WEIGHT 165 LB/FT3 OR GREATER. NO LIMESTONE OR OTHER ERODIBLE MATERIAL SHALL BE USED. STONE SHALL BE BLOCKY IN SHAPE WITH SHARP, ANGULAR EDGES, STREAM-ROUNDED STONE IS NOT ACCEPTABLE. MINIMUM THICKNESS SHALL BE 30" FOR TYPE 1 AND 20" FOR TYPE 2.
- BANK RIP-RAP GRADATION: STONE SIZE SHALL BE CHARACTERIZED BY W% AND D%, WHERE W IS STONE WEIGHT, D IS EQUIVALENT SPHERICAL STONE DIAMETER, AND % REPRESENTS THE PERCENTAGE OF THE TOTAL WEIGHT OF THE GRADED MATERIALS THAT CONTAINS STONES OF LESS DIAMETER OR WEIGHT. GRADATION OF THE STONE SHALL FALL WITHIN THE "MIN" AND "MAX" VALUES. THE UNIFORMITY COEFFICIENT, D85 / D15, SHALL BE NOT LESS THAN 1.4 AND NOT GREATER THAN 3.0

TYPE 1					
% FINER	WX (LB)		DX (INCHES)		
	MAX	MIN	MAX	MIN	
0	137	50	14	10	
15	255	109	17	13	
30	383	199	20	16	
50	511	345	22	19	
90	1117	605	28	23	
100	1723	689	33	24	

TYPE 2					
% FINER	WX (LB)		DX (INCHES)		
	MAX	MIN	MAX	MIN	
0	26	11	9	6	
15	80	33	12	9	
30	121	53	13	11	
50	162	109	15	13	
90	353	199	18	16	
100	545	219	22	16	

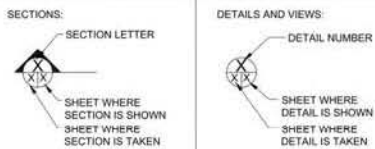
- SILL ROCK: SPECIFICATIONS FOR RIP-RAP SHALL APPLY, BUT SIZE SHALL BE 18" TO 36".
- GEOTEXTILE FABRIC: NON-WOVEN SYNTHETIC, CONTECH C-80NW OR EQUAL.
- TOPSOIL: SANDY SILT LOAM OR SILT LOAM MATERIAL WITH MINIMUM 3% ORGANIC MATERIAL.
- WOODY DEBRIS: RELOCATE DEBRIS CONSISTING OF TREES, ROOT BALLS, LIMBS, AND LIKE MATERIAL ONLY FROM THOSE AREAS DENOTED ON THE SITE PLAN. STOCKPILE MATERIAL OUTSIDE OF FLOODPLAIN, AND RETAIN ALL MATERIAL SUITABLE FOR INCORPORATION INTO BANK PROTECTION.
- LANDSCAPING AND VEGETATION: FINAL GRADING AND VEGETATIVE PLANTINGS SHALL BE PERFORMED BY A LANDSCAPING CONTRACTOR UNDER A SEPARATE CONTRACT WITH THE OWNER. THE LANDSCAPING CONTRACTOR SHALL HAVE AT LEAST 5 YEARS EXPERIENCE IN THE LOCAL AREA. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH A SEPARATE REVEGETATION PLAN DATED _____.
- GRADED GRAVEL FILTER: 3/4 MINUS MATERIAL LESS THAN 5% PASSING 200 SIEVE, ACTUAL PRODUCT TO BE DETERMINED.

VICINITY MAP

ABBREVIATION LIST

A & @	AND AT	N	N.T.S.	NOT TO SCALE
C	CENTER LINE	O	NO. OR #	NUMBER
CL	CONCRETE	O	O.D.	OUTSIDE DIAMETER
CONC.	CORRUGATED METAL PIPE	P	PVC.	POLYVINYL CHLORIDE
CMP.	CULVERT	R	R., RAD.	RADIUS
CULV.		S	S.S.	STAINLESS STEEL
D	DEPTH	STD.	STRU.	STANDARD STRUCTURE
DIA., Ø	DIAMETER	T	T.O.C.	TOP OF CONCRETE
D.I.	DUCTILE IRON	T.O.W.	TYP.	TOP OF WALL TYPICAL
E	ELEVATION	V	VLV	VALVE
EL. ELEV.	EXISTING	W	W.S.E.	WATER SURFACE ELEV.
EXT'G	EACH WAY	W	W	WITH
E.W.				
G	GALVANIZED			
GALV.				
I	INVERT ELEVATION			
IN. *	INCH			
M	MAXIMUM			
MAX MFG.	MANUFACTURE			
MJ.	MECHANICAL JOINT			
MIN.	MINIMUM			

DETAILING CONVENTIONS



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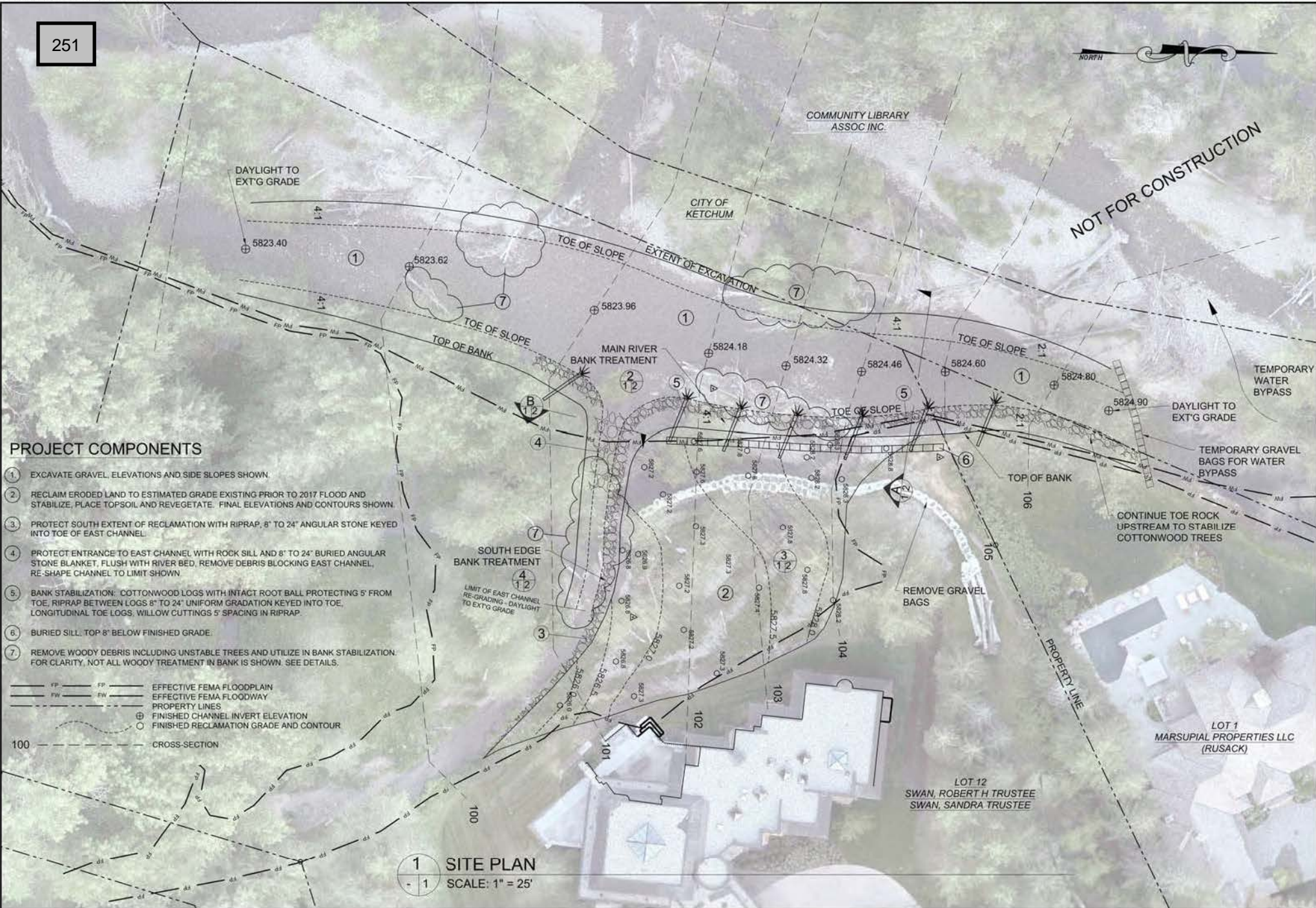


DRAWING INDEX

TITLE	DWG No.
COVER SHEET AND VICINITY MAP	0
SITE PLAN	1
SECTIONS AND DETAILS	2
CHANNEL CROSS-SECTIONS	3

THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC. FOR A SPECIFIC PROJECT TAKING INTO ACCOUNT THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM BOTH BROCKWAY ENGINEERING & THE CLIENT IS GRANTED.	F	GEOGRID REMOVAL FOR CITY	9/16/19				DESIGNED BY CGB	DRAFTED BY ICB	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS ID, 83301 (208) 736-8543	SWAN, SANDRA RIVER RESTORATION PROJECT	PROJECT #	1436-02-2018		
	E	FOR FINAL PERMIT	7/19/19								DWG #	0	REV	A
	D	MODIFICATIONS TO CHANNEL	1/4/19											
	C	ISSUE FOR CONSTRUCTION	10/18/18											
	B	ADDED PROPERTY NAMES	9/28/18											
A	ISSUE FOR PERMITTING	6/27/18												
REV	DESCRIPTION	DATE	APPD.	REFERENCE DRAWINGS	FIG 3.20.DWG ONLY									

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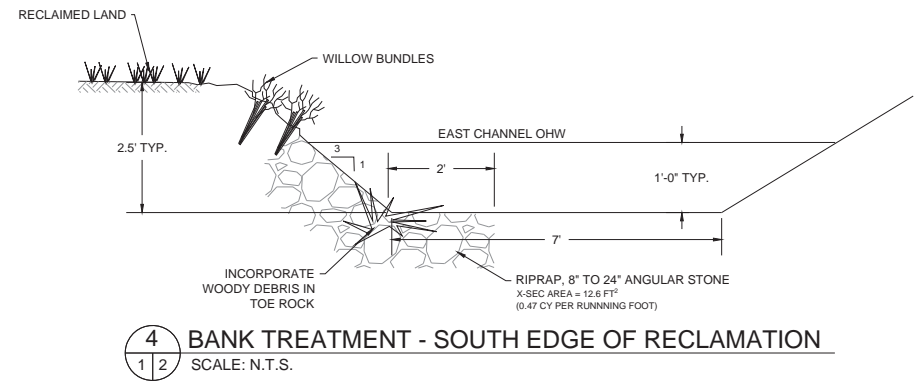
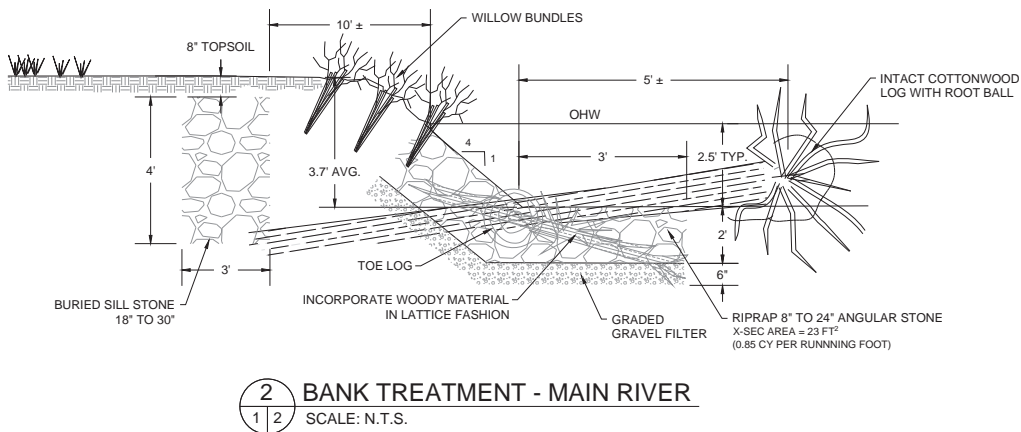
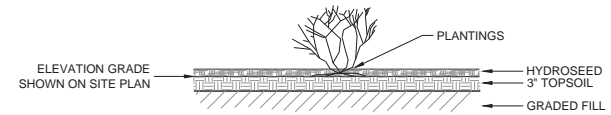
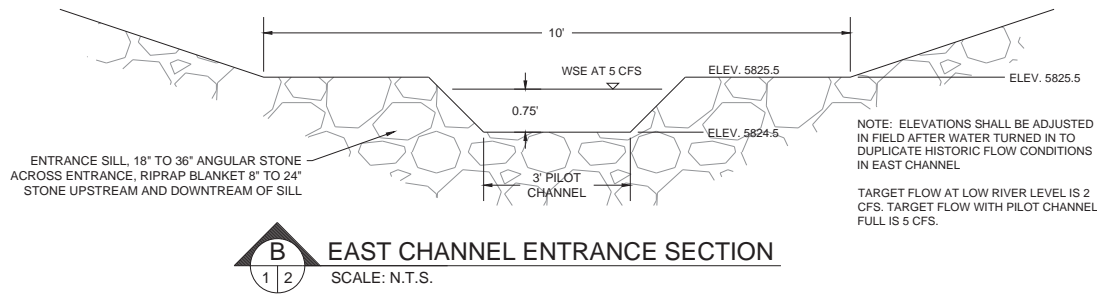
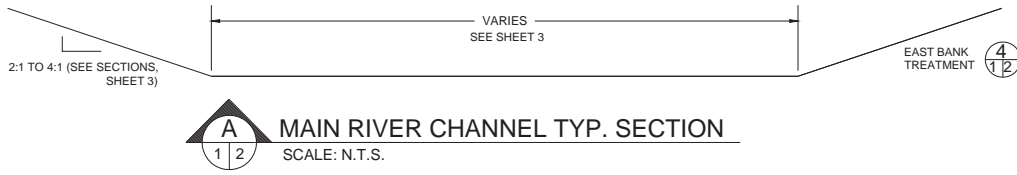
PROJECT COMPONENTS

1. EXCAVATE GRAVEL, ELEVATIONS AND SIDE SLOPES SHOWN.
2. RECLAIM ERODED LAND TO ESTIMATED GRADE EXISTING PRIOR TO 2017 FLOOD AND STABILIZE, PLACE TOPSOIL AND REVEGETATE. FINAL ELEVATIONS AND CONTOURS SHOWN.
3. PROTECT SOUTH EXTENT OF RECLAMATION WITH RIPRAP, 8" TO 24" ANGULAR STONE KEYED INTO TOE OF EAST CHANNEL.
4. PROTECT ENTRANCE TO EAST CHANNEL WITH ROCK SILL AND 8" TO 24" BURIED ANGULAR STONE BLANKET, FLUSH WITH RIVER BED, REMOVE DEBRIS BLOCKING EAST CHANNEL, RE-SHAPE CHANNEL TO LIMIT SHOWN.
5. BANK STABILIZATION: COTTONWOOD LOGS WITH INTACT ROOT BALL PROTECTING 5' FROM TOE, RIPRAP BETWEEN LOGS 5' TO 24" UNIFORM GRADATION KEYED INTO TOE, LONGITUDINAL TOE LOGS, WILLOW CUTTINGS 5' SPACING IN RIPRAP.
6. BURIED SILL, TOP 8" BELOW FINISHED GRADE.
7. REMOVE WOODY DEBRIS INCLUDING UNSTABLE TREES AND UTILIZE IN BANK STABILIZATION FOR CLARITY, NOT ALL WOODY TREATMENT IN BANK IS SHOWN. SEE DETAILS.

- FP EFFECTIVE FEMA FLOODPLAIN
 - FV EFFECTIVE FEMA FLOODWAY
 - FIV PROPERTY LINES
 - ⊕ FINISHED CHANNEL INVERT ELEVATION
 - FINISHED RECLAMATION GRADE AND CONTOUR
- CROSS-SECTION

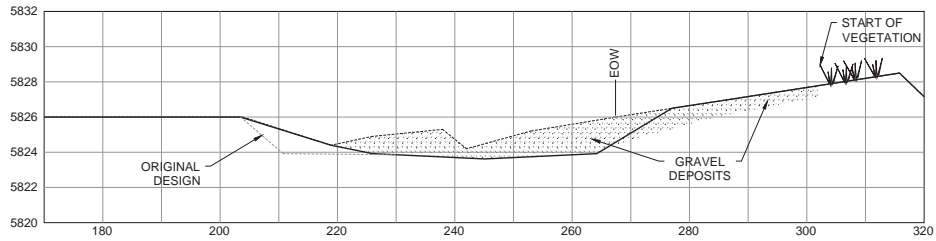
1 SITE PLAN
- 1 SCALE: 1" = 25'

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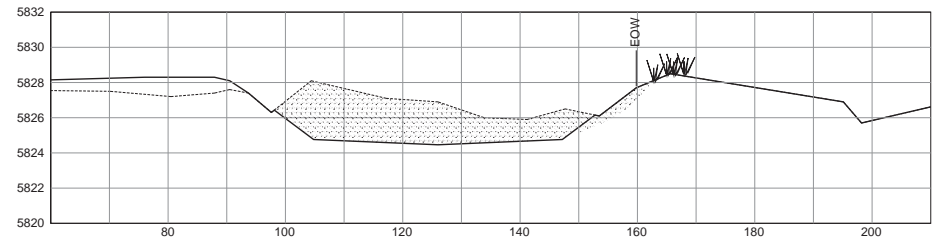


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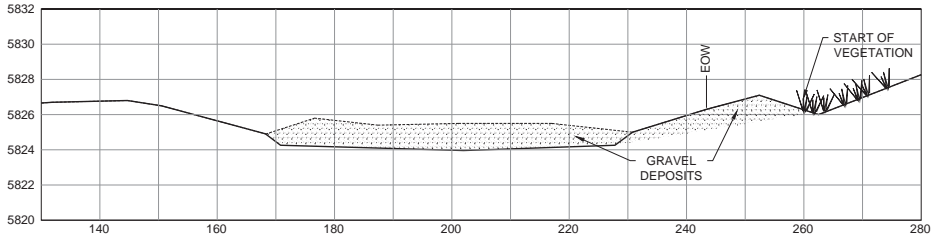
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	D	MODIFICATIONS TO CHANNEL	1/4/19								REV	A
	C	ISSUE FOR BIDDING	10/18/18									
	B	ADDED PROPERTY NAMES	9/28/18									
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REV	DESCRIPTION	DATE	APPD.	REFERENCE DRAWINGS	(18 X 24) DWG ONLY							



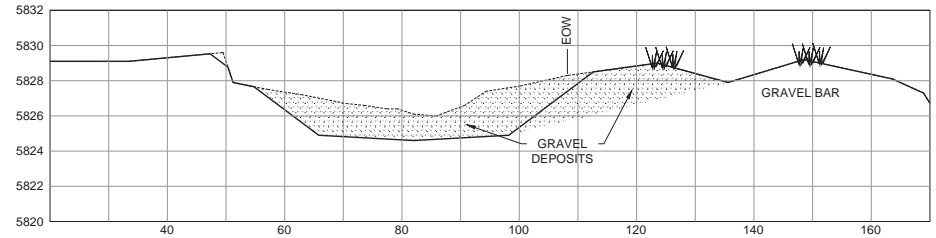
C.0
SECTION 100
HORIZONTAL SCALE: 1" = 15'
VERTICAL SCALE: 1" = 5'



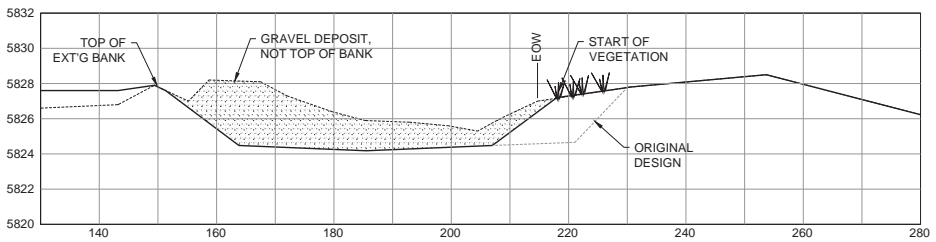
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SECTION 104
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VERTICAL SCALE: 1" = 5'



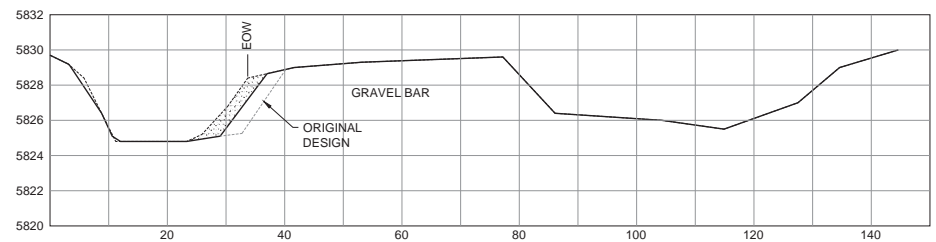
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SECTION 101
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VERTICAL SCALE: 1" = 5'



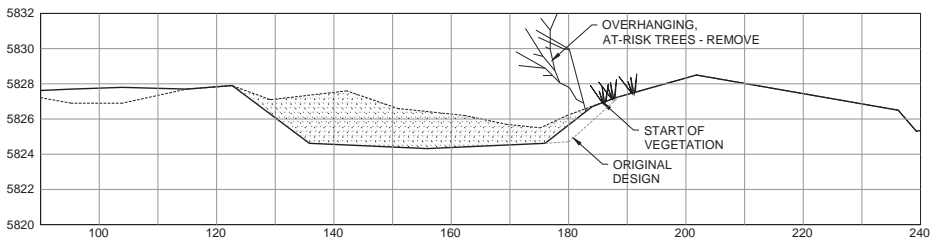
C.5
SECTION 105
HORIZONTAL SCALE: 1" = 15'
VERTICAL SCALE: 1" = 5'



C.2
SECTION 102
HORIZONTAL SCALE: 1" = 15'
VERTICAL SCALE: 1" = 5'



C.6
SECTION 106
HORIZONTAL SCALE: 1" = 15'
VERTICAL SCALE: 1" = 5'



C.3
SECTION 103
HORIZONTAL SCALE: 1" = 15'
VERTICAL SCALE: 1" = 5'

----- EXISTING CHANNEL - SURVEYED JULY 17, 2018
 _____ PROPOSED CHANNEL
 EOW EDGE OF WATER AT TIME OF SURVEY

NOT FOR CONSTRUCTION

THIS DRAWING HAS BEEN PREPARED BY BROCKWAY ENGINEERING, PLLC. FOR A SPECIFIC PROJECT TAKING INTO ACCOUNT THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM BOTH BROCKWAY ENGINEERING & THE CLIENT IS GRANTED.	F	GEOGRID REMOVAL FOR CITY	9/16/19				DESIGNED BY	DRAFTED BY	BROCKWAY ENGINEERING, PLLC HYDRAULICS - HYDROLOGY - WATER RESOURCES 2016 NORTH WASHINGTON, SUITE 4 TWIN FALLS ID, 83301 (208) 736-8543	SWAN, SANDRA RIVER RESTORATION PROJECT CHANNEL CROSS-SECTIONS	PROJECT #	538-17-2016		
	E	FOR FINAL PERMIT	7/19/19				CGB	ICB			DWG #	3	REV	A
	D	MODIFICATIONS TO CHANNEL	1/4/19											
	C	ISSUE FOR BIDDING	10/18/18											
	B	ADDED PROPERTY NAMES	9/28/18											
	A	ISSUE FOR PERMITTING	8/27/18											
	REV	DESCRIPTION	DATE	APPD.	REFERENCE DRAWINGS	(18 X 24) DWG ONLY								

C. Draft River Restoration, Swan Residence, BYLA, dated September 16, 2019



REVEGETATION PLAN LEGEND

Symbol	Description
---	Property Line
(Z1)	ZONE 1 - NON RIPARIAN RECLAIMED LAND & DISTURBED AREAS
(Z2)	ZONE 2 - 25' RIPARIAN ZONE
(Z3)	ZONE 3 - BANK STABILIZATION
.....	ORDINARY HIGH WATER (OHW)
---	25' RIPARIAN SETBACK

REVEGETATION PLAN - PLANTING SCHEDULE

ZONE 1 - Reclaimed Land Outside of 25' Riparian Zone
 SHRUBS: (3) Placed per every 1,000 Sq. Ft.

Botanical Name	Common Name
<i>Ribes aureum</i>	Golden Currant
<i>Cornus sericea</i>	Red-osier Dogwood
<i>Alnus incana</i>	River Alder
<i>Rosa woodsii</i>	Woods Rose

TREES: (6) Cottonwood Seedlings

GRASSES: Match original Fine Fescue

ZONE 2 - Riparian Zone w/ 25' of Big Wood River & East Channel
 SHRUBS: (12) Placed per every 1,000 Sq. Ft.

Botanical Name	Common Name
<i>Ribes aureum</i>	Golden Currant
<i>Cornus sericea</i>	Red-osier Dogwood
<i>Alnus incana</i>	River Alder
<i>Rosa woodsii</i>	Woods Rose

Riparian Grasses

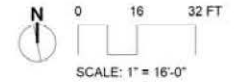
Botanical Name	Common Name
<i>Festuca idahoensis</i>	Idaho Fescue
<i>Agropyron riparium</i>	Streambank Wheatgrass
<i>Festuca rubra</i>	Cheeping Red Fescue
<i>Pseudoroegneria spicata</i>	Bluebunch Wheatgrass
<i>Lupinus senensis</i>	Silly Lupine

ZONE 3 - Bank Stabilization
 SHRUBS: Placed 5' apart maximum

Botanical Name	Common Name
<i>Salix boothii</i>	Booth Willow
<i>Salix geyeri</i>	Geyer Willow
<i>Salix lasioandra</i>	Pacific Willow

PLAN NOTES:

1. THIS PLAN IS A GRAPHIC REPRESENTATION OF THE PROPOSED RESTORATION PLAN BY BROCKWAY ENGINEERING DATED SEPT. 16, 2019. APPROXIMATE SHRUB LOCATIONS SHOWN.
2. ALL NATIVE WOODY VEGETATION SHALL BE PLANTED WITHIN BANK STABILIZATION (ZONE 3) AT INTERVALS NO GREATER THAN 5 FEET SPACING STARTING FROM THE TOE OF SLOPE AND EXTENDING UP SLOPE ALONG THE TOP OF BANK.



E. Criteria for Evaluation of Applications (KMC 17.88.050.E)

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
				flood elevation of the subject property. (See section 17.88.060, figures 1 and 2 of this chapter.)
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)10	The backfill used around the foundation in the floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. Compensatory storage shall be required for any fill placed within the floodplain. An LOMA-F shall be obtained prior to placement of any additional fill in the floodplain.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)11	All new buildings shall be constructed on foundations that are approved by a licensed professional engineer.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)12	Driveways shall comply with effective street standards; access for emergency vehicles has been adequately provided for.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)13	Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)14	(Stream alteration.) The proposal is shown to be a permanent solution and creates a stable situation.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)15	(Stream alteration.) No increase to the one percent (1%) annual chance floodplain upstream or downstream has been certified, with supporting calculations, by a registered Idaho hydraulic engineer.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)16	(Stream alteration.) The recreational use of the stream including access along any and all public pedestrian/fisherman's easements and the aesthetic beauty is not obstructed or interfered with by the proposed work.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)17	(Stream alteration.) Where development is proposed that impacts any wetland, first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with a comparable amount and/or quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)18	(Stream alteration.) Fish habitat shall be maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)19	(Stream alteration.) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060(E)20	(Stream alteration.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	

F. Manufacturers "Design and Installation Guidelines for Erosion Control" manual

Design and Installation Guidelines for Erosion Control



Geo Products, LLC
12626 North Houston Rosslyn Road
Houston, TX 77086
Phone: 281.820.5493
Fax: 281.820.5499
www.geoproducts.org

A tropical landscape featuring several palm trees in the foreground and middle ground. A white wall or fence runs across the middle of the scene. In the background, there's a building with a white umbrella. The foreground shows a body of water reflecting the sky and trees.

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Erosion Control Application Overview

Many variables affect the installation and performance of EnviroGrid® confinement systems, including slope grade, subsurface stability, infill material, rainfall and artificial watering conditions, hydraulic characteristics of ground water flow and sub base anchoring quality. Due to the large number of factors, it is difficult to apply exact parameters to individual applications without depending on engineering, design and environmental inputs of on-site professionals.

VARIOUS FILL FOR ENVIROGRID® EROSION CONTROL

1. Granular

- Reduces hydraulic energy, limiting forces within cells or under cells.
- Directs flow at the surface of the cell, eliminating flanking and undercutting.
- Controls individual particle movement caused by gravity and water flow.
- Results in a flexible and durable system.

2. Vegetation

- Reduces hydraulic energy, limiting forces within cells or under cells.
- Increases natural resistance and protects root system.
- Directs water flow over the top, rather than through the panel.
- Prevents gutting and rills.
- Helps reduce moisture loss.

3. Concrete

- Controls undercutting by allowing cells to conform to sub grade.
- Acts as a series of expansion joints, providing a flexible form.
- Allows for vent structures where needed.
- Provides stability for steep slopes and for continuous flow channels.



Infill Material Selection

- Topsoil and Vegetation: Steep slopes, berms, levees, chutes, aprons and spillways.
- Sand and Granular Fill: Suitable on gradual slopes.
- Aggregate: Channels, slopes, except for severe grades, moderate sheet flow.
- Structural/Growth Fill: Vegetated slopes that experience traffic loads (See below*).
- Concrete: Around bridges, severe slopes, high flow rate channels, spillways and chutes.

*The *EnviroGrid*® *Structural/Growth Infill* (Infill) material shall be composed of an aggregate and growing medium blend meeting the following requirements.

1. Aggregate

1. The aggregate shall be durable, with 95+% of its fascia split or broken
2. The aggregate shall meet the following gradation and void ratio requirements

	Cell Depth	Particle Range	D ₅₀	Void Ratio
EnviroGrid® EGA20	4"	0.5" – 1.25"	0.75" - 1.0"	≥ 30%
	6"	0.5" – 2"	0.75" – 1.25"	≥ 30%
	8"	0.5" – 2"	0.75" – 1.25"	≥ 30%
EnviroGrid® EGA30	6"	0.5" – 2"	0.75" – 1.25"	≥ 30%
	8"	0.5" – 2"	0.75" – 1.25"	≥ 30%

2. Growing Medium

1. The growing medium shall be suitable to support the specified vegetation.
2. The growing medium shall be well-drained, allowing infiltrating water to pass through to an underlying drainage layer/system or to a well-drained subgrade layer.

3. The growing medium shall be screened to remove sticks, soil clods and other deleterious materials which prevent proper blending with the aggregate and placement with the EnviroGrid® product.
3. Blended Aggregate and Growing Medium (Infill)
 1. The Aggregate and Growing Medium shall be pre-blended to achieve a homogenous mixture (Infill) prior to placement into the EnviroGrid®.
 2. The bulked (uncompacted) volume of Growing Medium shall be 95% - 100% of the void volume within the compacted aggregate.
4. The Infill material shall be placed into the EnviroGrid® material and compacted to a minimum of 95% Standard Proctor Density or per the Engineer's requirements.
 1. Placement of the bulked, blended Infill should result in an 'overfill' of the EnviroGrid® product. Typically, a 0.5" – 0.75" overfill is needed for 4" deep EnviroGrid® products. A 0.75" to 1.5" overfill is needed for the 6" and 8" material.
 2. Compaction shall result in the Infill being level with or slightly above the cell walls of the EnviroGrid® product.
 3. Operation of compaction equipment directly on the cell walls of the EnviroGrid® product is prohibited.

Applications

SLOPES

Design of EnviroGrid® cellular confinement systems for slopes requires analysis of several site characteristics. The length, height and angle of the slope and the failure angle of existing fill on the slope are important factors in determining the appropriate cell depth and anchoring design. Minor factors also include snow load and the weight of chosen fill material.

EnviroGrid® improves the performance of vegetated slopes by reinforcing root systems and directing hydraulic flows over the top of cells, with the cells acting as a series of check dams, thereby preventing formation of rills and gullies.

EnviroGrid® improves the performance of granular filled slopes by controlling the migration of fills that would otherwise be initiated by hydraulic and gravitational forces. This is accomplished by dissipating hydraulic energy throughout and underneath cells and by confinement of fill materials within cells.



CHANNELS

EnviroGrid® cellular confinement systems offer a large array of methods for solving difficult situations with channel bottoms and slopes where minimal to severe erosive forces are at work, with either intermittent or continuous flows.

Cellular confinement allows for the use of various types of infill, including soil with vegetation, aggregate, concrete or combination thereof, for unique and aesthetic applications.

Vegetative Soil Infilled Channel

Confined vegetative soil performs exceptionally well in applications with low to moderate flows. EnviroGrid® Cellular confinement enhances the performance of vegetation through reinforcing root zones and directing flows over the top cells; thereby increasing the shear resistance of the fill and providing a finished site that is aesthetically superior when compared to conventional methods.

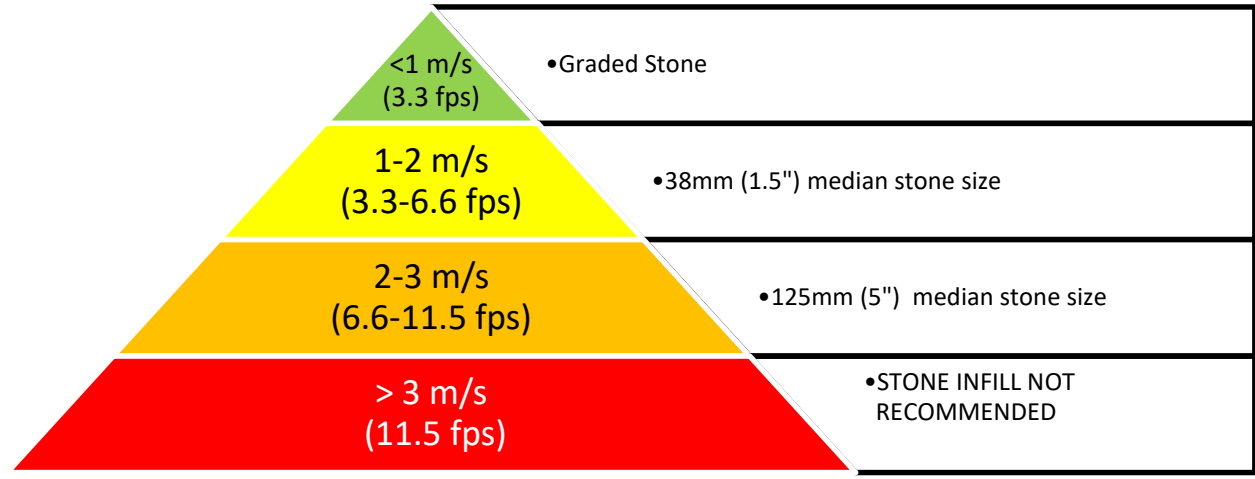
Soil infill with grass cover:

- Peak flow velocity less than 6 m/s (20 fps) and duration of peak flow less than 24 hours.
- Peak flow velocity less than 4.5 m/s (15 fps) and duration of peak flow less than 48 hours.
- Channel side slopes above high water level.

Aggregate Infilled Channel

Aggregate performs well, allowing the use of different sizes for variances in flow velocities encountered from site to site. This provides an aesthetically pleasing and cost effective alternative to large rip rap or hard armoring by confining and improving the performance of smaller diameter, less costly aggregate.

Peak Flow Velocities with Stone Infill and recommended sizes:



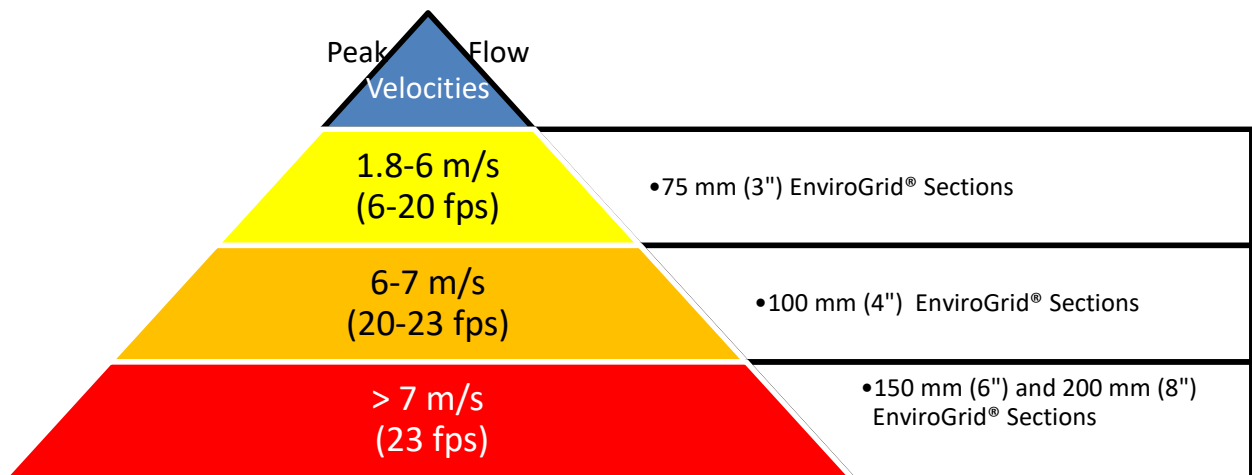


Concrete Infilled Channel

The concrete filled EnviroGrid® cellular confinement system is a cost effective alternative to traditional installed concrete lined channels. The flexible nature of the concrete filled cellular confinement system permits conformance with subgrade movement without the potential cracking and undermining associated with poured-in-place concrete slabs. Installation costs are dramatically reduced through elimination of costly forms and other construction techniques typically related to concrete channel lining.

In areas with limited easements, stacked EnviroGrid® cellular confinement panels along channels performs as a retaining wall. This allows the use of vegetative, granular or concrete fills in the outer cells in order to create steeper slopes and to increase resistance to higher flow rates.

Concrete Infill Peak Flow Velocities and recommended EnviroGrid® Section depths:



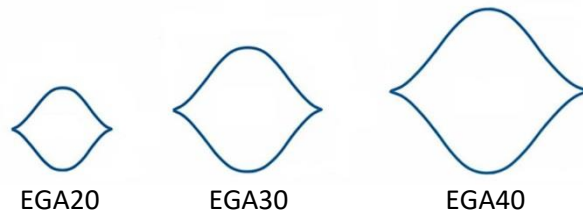
NOTE: Anchor requirements are a function of depth of peak flow, bed slope gradient and self-weight of the lining system. The Project Engineer should base the design on the project specific information.



SUITABLE CELL DEPTHS

In most erosion control applications, load bearing is not a major consideration. Therefore, the depth of the cell is generally determined by:

- Slope Grade
- Size and weight of infill
- Outside environmental factors
- Economics
- Required root zone for vegetation



RECOMMENDED CELL SIZE AND DEPTH FOR VARIOUS SLOPE CONDITIONS

Below is a table that you can utilize to determine the recommended cell depth and cell size for different slope scenarios. Please contact Geo Products for any final recommendations based on specific project parameters.

Slope Degree	0.5 to 1	60°	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	EGA20
	1 to 1.5	55°	6"	6"	6"	6"	6"	6"	6"	6"	4"	4"	4"	4"	4"	4"	
	1 to 1	45°	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	6"	4"	4"	4"	EGA30
	1.5 to 1	35°	6"	6"	6"	6"	6"	4"	4"	4"	4"	4"	4"	3"	3"	3"	
	2 to 1	25°	6"	4"	4"	4"	4"	4"	4"	3"	3"	3"	3"	3"	3"	3"	
	3 to 1	20°	4"	4"	4"	4"	4"	4"	3"	3"	3"	3"	3"	3"	3"	3"	EGA40
	4 to 1	15°	6"	6"	4"	4"	4"	4"	4"	4"	3"	3"	3"	3"	3"	3"	
	5 to 1	10°	6"	4"	4"	4"	4"	4"	4"	3"	3"	3"	3"	3"	3"	3"	
			14°	16°	18°	20°	22°	24°	26°	28°	30°	32°	34°	36°	38°	40°	
			<i>Wet Clay, Water-filled Sand</i>		<i>Silty Clay</i>		<i>Clay</i>	<i>Mixture of Inorganic Silt & Clay</i>			<i>Silty Sand</i>		<i>Crushed Stone, Dry Sand</i>		<i>Decomposed Granite, Limestone</i>		<i>Wet Sand</i>

Lowest Angle of Internal Friction ϕ for infill material

*Metric Conversions: 6" = 150mm, 4" = 100mm, 3" = 75mm

Geotextiles

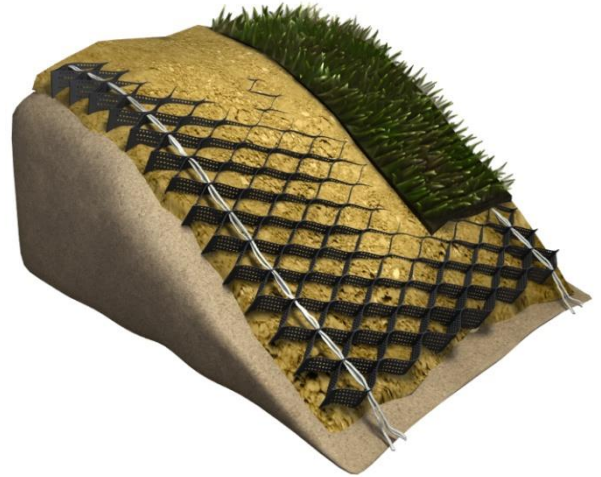
Whether to use a geotextile under the EnviroGrid® is dependent on the subgrade and fill material. When the infill and subgrade are different, or if the subgrade is very soft or wet, a geotextile can provide a useful separation function by keeping the infill from migrating out from under the geocells. A geotextile is also beneficial in protecting the subgrade under the EnviroGrid® system. However, using a geotextile can reduce significantly the friction along the plane at the bottom of the EnviroGrid® system, thus increasing the net sliding force. Thus the decision whether or not to use a geotextile should be made carefully, after evaluating the benefits and costs.



Anchoring

Proper anchoring of the EnviroGrid® to a slope is critical to how well the product performs. Anchors should be left in place after installation. The number and type of anchors is determined by the following:

- Subgrade density
- Weight and type of infill
- Length of slope
- Slope grade
- Environmental or external conditions, such as snow.
- Angle of internal friction (ϕ) of the fill material and of the slope soil (only the smaller of the two will be used)
- Height of EnviroGrid®
- Presence of geomembrane liner
- Presence of non-woven geotextile
- Factors of safety



Before selecting an anchoring method, it is first necessary to calculate the net sliding force (NSF) or the force which would have to be overcome to keep the EnviroGrid® from sliding down the slope. If the NSF is negative, then the friction force between the EnviroGrid® and the slope is sufficient to hold the system in place. The following table shows some examples of NSF calculation:

$$NSF = [(H \times L \times \gamma) + (L \times S)] \times [\sin W - (\cos W \times \tan \phi)]$$

NSF kN/m*	H mm	L m	γ kN/m ³	S kN/m ²	W SLOPE	ϕ DEGREES
0.8	100	6.1	19.6	1.9	1.75 to 1 (29.7°)	28° (silty sand)
5.5	150	33.0	19.6	1.9	1.75 to 1 (29.7°)	28° (silty sand)
-13.1**	100	30.5	19.6	1.9	2.00 to 1 (26.6°)	32°(crushed stone)

NSF- Net Sliding Force
 γ - Unit Weight of Fill

H- Height of Cell
 S- Snow Load

L- Length of Slope
 W- Slope Inclination (H to V)

ϕ - Lowest Angle of Internal Friction of Soil

* Pounds per foot measured parallel to top of slope

Indicates no special anchoring is required



ENVIROCLIPS TWIST ANCHORS

Staking or pinning EnviroGrid® to a slope is the common anchoring method used if there is no geomembrane liner present and if the soil has adequate strength to retain the anchor pins. The EnviroClips are the preferred type of pin.

Features and benefits of the EnviroClips

- Quick and easy to install with an electric drill and custom chuck - 5 times faster installation process compared to standard stakes
- Eliminates time, labor, and safety concerns from carrying and hammering heavy rebar on steepened slopes
- Clips into the perforated side walls of the EnviroGrid
- Superior performance when compared to traditional rebar J-hooks, up to 9 times the pull out force of J-hooks
- Can be installed to full depth without damaging or rising above the EnviroGrid wall
- Actively anchors EnviroGrid against natural and sliding forces eliminating the need for tendons and expensive dead man anchor trench and pipe

Typical detail drawings of pin locations are available. If no engineer recommendations are provided, use one EnviroClip per square meter/yard of EnviroGrid®.



ANCHORING METHOD

Given the resulting net sliding force (NSF) for two of the cases in the previous table the next step is to decide how to anchor the EnviroGrid®. For the situation where NSF = 0.8 kN/m, two common methods of anchoring of the EnviroGrid® are to toe it in or to stake it to the slope. For the situation where NSF = 5.1 kN/m, the EnviroGrid® could be supported by earth anchors with tendons.

Anchor Trench

Using the appropriate equation

$$L \times H = \frac{0.8 \times 2}{19.6 \times \tan 28^\circ} = 0.15 \text{ sq. m}$$

A practical combination would be to bury the top edge of the EnviroGrid® 0.3 m deep and 0.5 m back. Another practical combination would be to let L be 0.75 m and H be 0.2 m.

Stakes

0.8 kN/m is equivalent to $0.8 \times 2.56 = 2.0$ kN for the 2.56 m wide panel. Using a factor of safety of 2.0 and a stake pull-out capacity of 0.27 kN*:

$$\frac{2.0 \times 2.0}{0.27} = 14.8 \text{ "J" Hooks, use 15 stakes per 2.56 m wide width}$$

If the tendons are tied to earth anchors, using the same number of anchors as tendons, an additional factor safety of 1.25 to account for uncertainties in the subgrade soil:

- Stake pull-out capacity will depend upon several factors, including on-site soil conditions at their weakest, and the care with which the stakes are driven into the soil. Thus the local engineer must evaluate and make a judgment as to what value should be used.

Tendons

5.5 kN/m is equivalent to $5.5 \times 2.56 = 14.1$ kN for the 2.56 m wide panel. Using a factor safety of 3.0 and a tendon design strength of 13.0 kN:

$$\frac{14.1 \times 3.0}{13.0} = 3.25 \text{ tendons, use 4 tendons per 2.56 m panel width}$$

STAPLES

Adjacent sections of EnviroGrid® must be joined together with staples. Staples are normally attached using a pneumatic staple gun with industrial grade staples. The staples are attached through each set of adjoining cells. The number of recommended staples per various cell heights is listed in the table below.

<i>Number of Staples Required</i>	
Cell Height	# of Staples
3" (76 mm)	3
4" (102 mm)	3
6" (152 mm)	4
8" (203 mm)	5

TENDONS AND RESTRAINT PINS

Tendons and restraint pins are employed on steep slopes where additional support is needed, or where the use of J-Hooks is prohibited (rock base, geomembrane liner). They are also commonly used when more than one section of EnviroGrid® is needed to cover the slope from top to bottom.

The three important characteristics of tendons are strength, durability and resistance to creep. Tendons usually consist of high strength polyester webbing or cord. The design load and spacing of the tendons is determined by the force to be supported. At the lowest section of EnviroGrid®, the tendons can be tied to a J-Hook to avoid stress concentrations. The number of tendons required should be determined by the project engineer. Please contact Geo Products if assistance is required.

Installation Procedures

Prepare the site by removing all vegetative cover, debris and any unacceptable soils from the area where the EnviroGrid® cellular confinement system is to be placed. Replace any removed soils with acceptable materials and complete all earthwork, including going in trenches when required for slopes or channel lining applications, in accordance with the job specifications.

If geotextile is required by the job specifications, installation should be accomplished in accordance with the manufacturer’s recommendations.

EnviroGrid® should always be placed beyond the crest of the slope to prevent surface water from undermining the EnviroGrid®. A string or chalk line may be used to align staking locations and borders. **DO NOT EXPAND THE PANEL(S) DOWN THE SLOPE AT THIS TIME.**

For Projects over Geomembranes: Make sure that the geomembrane or other geosynthetic material has been installed per manufacturer’s instructions and that all earthwork has been prepared, including anchor trenches when required for slopes or channel lining applications, in accordance with the job specifications.

Measure the total length (down the slope) of the area to be covered. Calculate how many cells will be required to cover the entire length. The chart below will help in this calculation:

Expanded Cell and Panel Sizes				
All Standard Panels are 2.56 m(8.4') Wide and 29 Cells Long				
Product	Cells per Width	Cell Width	Cell Length	Panel Length
EGA20	10	0.26m (0.85')	0.22m (0.74')	6.52 m (21.4')
EGA30	8	0.32m (1.05')	0.29m (0.95')	8.35 m (27.4')
EGA40	5	0.51m (1.67')	0.48m (1.56')	13.72 m (45')

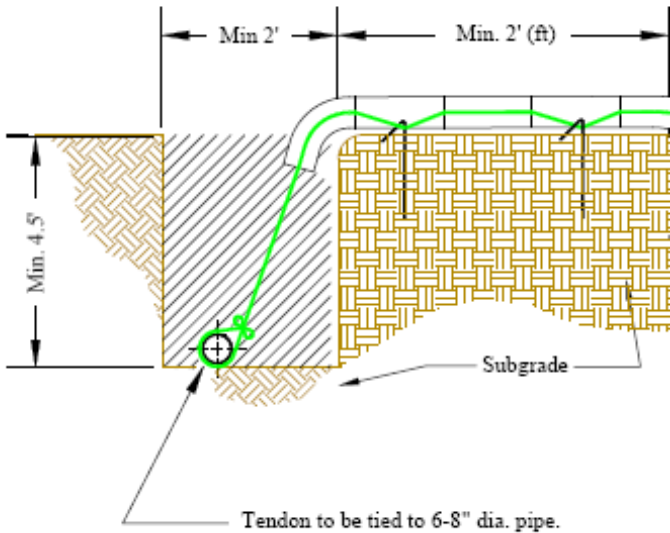
If the total length to be covered is less than one single standard Panel Length, you may cut off the extra cells or simply keep the additional cells collapsed.

If the length to be covered is more than one single standard Panel Length, multiple panels will need to be joined together using staples. For example: If the slope is 100' long, and you are using EGA30 Panels, you will need 3 full panels (3 x 27.4' = 82.2'), plus 19 cells of an additional panel ($\frac{(100' - 82.2')}{0.95'} = 18.7 \text{ cells}$ [round up to 19 cells]). Staple the panels together BEFORE expanding the panel down the slope. Please see the table on page 11 for recommended number of staples per cell.



Anchor Trench

The upper edge of the EnviroGrid® should be buried in an anchor trench to prevent flow underneath. This also serves to anchor the EnviroGrid® to the top of the slope. This method takes advantage of the weight of the soil on top of the buried cells. The following equation can be used to calculate the required length and height of the trench to resist the sliding force:

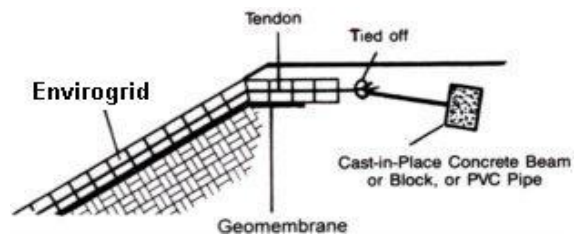
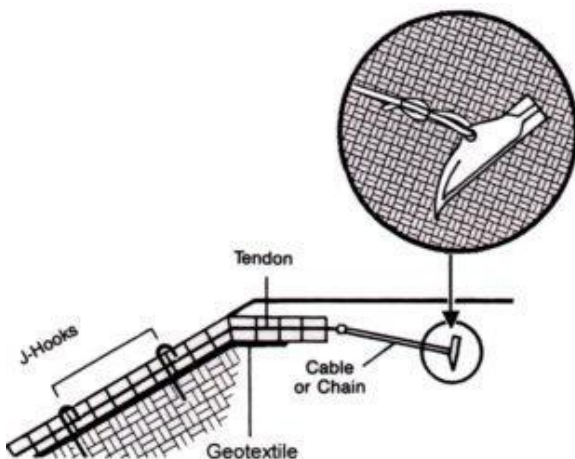


$$((d - a)a + \frac{(d - a)^2}{2}) * \gamma = NSF^a * FS$$

d = Depth of Trench
a = Diameter of Anchoring Pipe
 γ = Unit weight of the backfill material in the trench
NSF^a = Net Sliding force per m
FS = Factor of Safety with respect to Sliding

Installation Using Tendons

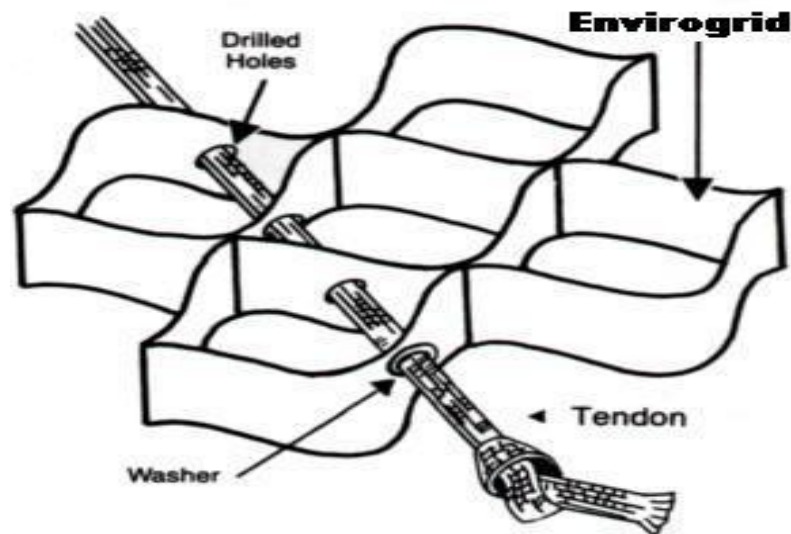
If the EnviroGrid® does not already have holes for tendons, drill a 16 mm to 25mm (5/8” to 1”) hole through all cell walls before expanding the EnviroGrid® sections. Measure and cut tendons to desired length (include slope length, horizontal component on top of slope, and depth of anchor trench) adding approximately 15% for tying around restraint pins and anchor pipe. Even if multiple panels of EnviroGrid® are required, a single tendon should run the entire length of the slope. Tie the tendons to a supporting structure beyond the crest of the slope. This supporting structure may be a length of high-strength PVC pipe, a concrete beam, or set of concrete blocks placed in an anchor trench. An alternative system may consist of harpoon like earth anchors.



At the top of the slope, thread tendons through the holes in the unexpanded EnviroGrid® sections.

Expand the panel(s) of EnviroGrid® down the slope taking care that the tendons do not come out of the holes. EnviroGrid® sections should be stretched past the designed length then allowed to settle back to the designed length.

Tie the tendons, in tension, to a J-Hook, restraint pin, or the cell wall on the downhill side of the last cell. The use of these restraining devices helps to transfer the load from the EnviroGrid® to the tendons. These devices should be made from corrosion resistant materials such as galvanized steel, high strength plastic, etc.



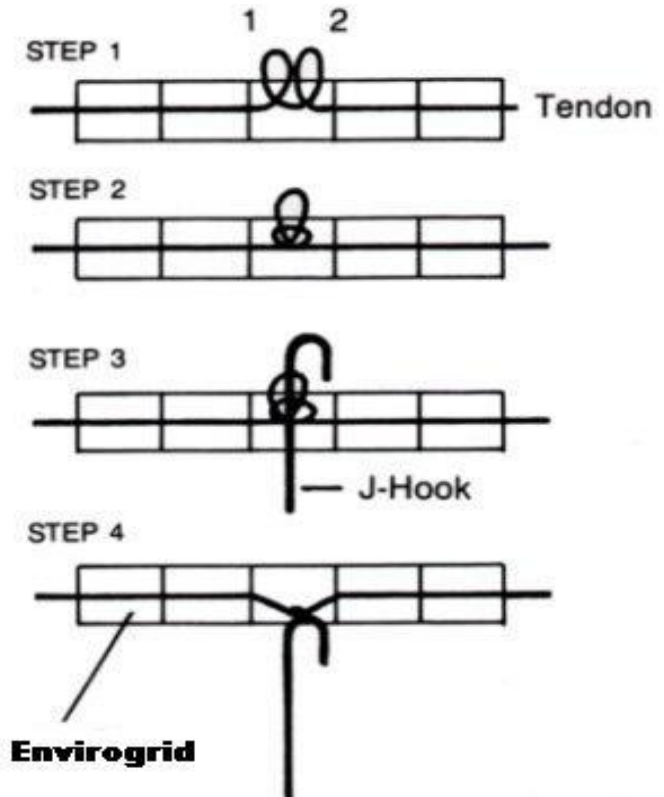
Place J-Hooks in cells where needed to hold appropriate shape for filling.

Adjoining EnviroGrid® sections must be level and flush with each other. Overlap the sides of the EnviroGrid® sections and butt the ends together. Secure adjoining sections to each other using a pneumatic stapler or other means as required by the job application.

Install the balance of the stakes or “J” hooks. The amount of anchoring required will vary by job site conditions and many other factors. Follow the project engineer’s job specifications for location and number of anchors (J-Hooks) required. See page 13 for a guideline concerning anchors and design. The drawings below provide a recommended procedure for installing anchor pins with tendons.

ANCHOR PIN INSTALLATION WITH TENDONS

- STEP 1:** Make 2 loops in the tendon.
- STEP 2:** Pull loop 1 partially through loop 2.
- STEP 3:** Insert the specified J-hook anchor through loop 1 and drive J-hook into the ground until the top of hook is level with the top of the EnviroGrid® section.
- STEP 4:** Pull both ends of tendon to close the loop and drive the J-hook until the top of it is flush with ground surface.



When the EnviroGrid® has been properly laid in place, the system should be filled using the materials specified in the job specifications.

To prevent possible damage to the system, limit the drop height of the infill to no more than 1m (40”).

Infill should be delivered to the EnviroGrid® from the top of the slope or channel to the base using a front-end loader, backhoe, bucket excavator or conveyor.

When using sand, granular or topsoil fills, overfill the EnviroGrid® sections by 25mm (1”) to 50 mm (2”) to allow for settling and compaction.

Sand and granular fills should then be blade compacted to the top of the cells. Topsoil fills should be compacted with the loader or backhoe bucket or with a tamper plate.

Concrete fills should be manually raked and machine finished.

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