



Planning and Zoning Commission AGENDA

Monday, March 09, 2020

Ketchum City Hall

480 East Avenue North, Ketchum, ID 83340

CALL TO ORDER

COMMISSION REPORTS AND DISCLOSURE

PUBLIC COMMENT - Communications from the public for items not on the agenda.

CONSENT CALENDAR—ACTION ITEMS

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

1. **[ACTION - Fourth and Walnut Mixed-Use Building Pre-Design Review:](#)** (Project Location: Ketchum Townsite: Block 44: Lots 7, and 8. 371 and 391 N Walnut Avenue) The Commission will consider and give direction on a [Pre-Application Design Review](#) submitted by [Graham Whipple of Resin Architecture](#) for a new 27,316 square-foot, two-story mixed-use building located on two lots at the southwest corner of the intersection of Walnut Avenue and 4th Street within the Retail Core of the Community Core (CC-1).
2. **[ACTION - West Ketchum Residences Preliminary Plat: Lot 5AA Bavarian Village Subdivision \(150 Bird Drive\)](#)** The Commission will consider and make recommendations regarding a [Townhouse Subdivision Preliminary Plat](#) application submitted by [Galena Engineering](#) on behalf of [West Ketchum Residences, LLC](#). The [Townhouse Subdivision Preliminary Plat](#) will create 10 townhouse sublots and associated common area on Lot 5AA of Bavarian Village Subdivision. The [West Ketchum Residences](#) is a 10-unit townhome development. The project is located within the [General Residential High Density \(GR-H\) Zoning District](#).
3. **[ACTION - Ketchum Boutique Hotel Design Review: 260 E River St. \(Lots 1, 2, 3, FR 21 and 22, Block 82\)](#)** The Commission will consider and take action on a [Design Review](#) application submitted by [PEG Ketchum Hotel LLC](#) (of 180 N. University Ave, Suite 200, Provo, UT 84601), represented by [Nick Blayden](#), for a proposed new hotel located on three parcels. The subject development site is approximately 47,249 square feet and is zoned [Tourist \(T\)](#). The proposed hotel consists of approximately 92 hotel rooms, on-site employee housing for 23 employees, a ground-floor restaurant, conference and meeting space, parking garage, roof top bar, and outdoor public plaza, among other features. The hotel is proposed at an overall project size of approximately 128,436 square feet with a maximum height of 72 feet. [Waivers to the city's minimum lot size, floor area ratio, height, and side setbacks requirements are proposed.](#) *(continued from February 24, 2020 Special Meeting)*
4. **[ACTION - 4th & Main St Mixed-Use Building Pre-Application Design Review:](#)** (Project Location: Ketchum Townsite: Block 5: Lots 1, 2, 3, and 4) The Commission will consider and give direction on a [Pre-Application Design Review](#) submitted by [Chris Ensign of Solstice Homes Development](#) for a new four-story, 47.5 foot tall, 59,130-square-foot mixed-use building located on four lots on Main Street between 4th and 5th Streets within the Retail core of the Community Core (CC-1).

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

ADJOURNMENT

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 9th, 2020

PROJECT:	4 th & Walnut Avenue Mixed-Use Building
FILE NUMBER:	P 20-024
APPLICATION TYPE:	Pre-Application Design Review
ARCHITECT:	Graham Whipple, Resin Architecture
PROPERTY OWNER:	Walnut & Fourth LLC (Representative: Ryan Kirkham)
REQUEST:	Pre-Application Design Review for the development of a new 27,316 square-foot, two-story mixed-use building
LOCATION:	371 & 391 N Walnut Avenue (Ketchum Townsite: Block 44: Lots 7 & 8)
ZONING:	Retail Core of the Community Core (CC-1)
REVIEWER:	Abby Rivin, Associate Planner

NEW MIXED-USE BUILDING ON WALNUT AVENUE

This Pre-Application Design Review is for the development a new 27,316 square-foot, two-story mixed-use building located on two lots at the southwest corner of the intersection of Walnut Avenue and 4th Street. The first floor of the mixed-use building will contain five retail units—two along 4th Street, two along the alley, and one that extends from Walnut Avenue to a loading dock at the back of the building. The corner of the building at Walnut Avenue & 4th Street will feature a coffee shop with a circular staircase that leads to a second-level mezzanine. This

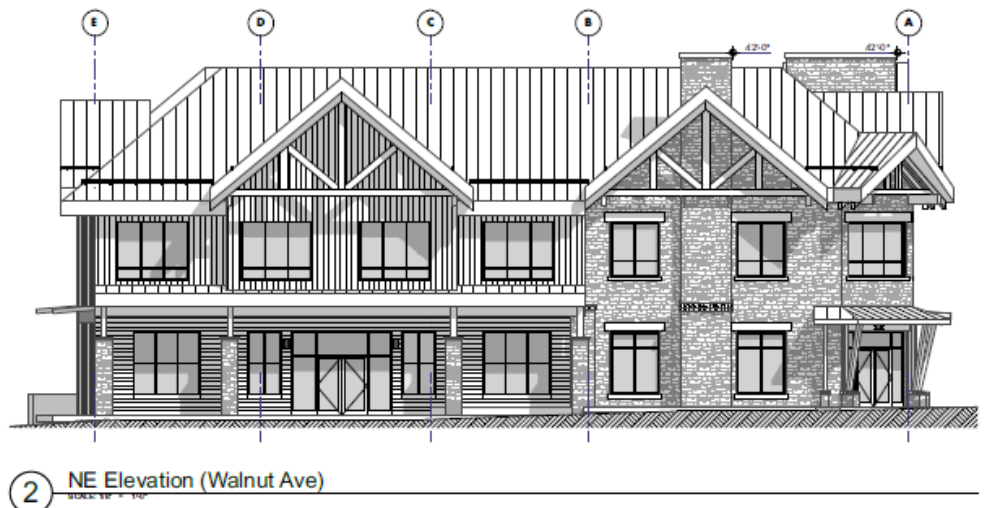


Figure 1: Project Plans, NE Elevation (Walnut Ave), Sheet A-201

4 mezzanine opens to an art gallery on the second floor. The second level also includes eight office spaces and two, 1,800 square-foot, two-bedroom penthouse residential units. The basement will contain two apartments that will be reserved for employees as community housing units. Four parking spaces, including one ADA space, are provided on-site and accessed from the alley.

DESIGN REVIEW MAINTAINS THE CHARACTER OF OUR MOUNTAIN COMMUNITY

The Pre-Application facilitates an iterative and collaborative process between the Planning & Zoning Commission, developers and their design teams, and the community. This preliminary review allows the Commission to identify design issues, offer constructive advice, and highlight opportunities to improve project. The Commission’s feedback helps developers produce high-quality buildings and projects that enhance the character of downtown Ketchum.

Before granting Design Review approval, the Planning & Zoning Commission must determine that applications meet two criteria: (1) the project doesn’t jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A). Design Review safeguards the well-being of our mountain community.

PROJECT LOCATION

The new mixed-use building will be located on two lots at the southwest corner of the intersection of Walnut Avenue and 4th Street within the Retail Core of the Community Core (CC-1). Prior to issuance of a Building Permit for the project, the applicant must receive approval of a Lot Line Shift application to remove the boundary separating the two lots. The total area of the two combined lots will be 16,371 square feet. The lots are developed with existing buildings, which the developer will demolish. These buildings are currently occupied by Maude’s Coffee Shop, Premier Cleaners Laundry Services, and business offices. The neighboring buildings are occupied by Gold Mine Thrift Store and Michel’s. The Colonnade building is across Walnut Avenue to the east.

HOW BIG IS THE BUILDING?

The 27,316-square-foot mixed-use building has a total Floor Area Ratio of 1.67. The building is 42-feet in height from the average elevation at Walnut Avenue to the top of chimneys. Buildings may extend all the way to the property line along streets in the CC-1 Zone, but the architect has set the building back on all sides. The mixed-use building is setback 5 feet along Walnut Avenue and 4th Street. The building will span ~100 feet along Walnut Avenue and ~138 feet along 4th Street.

PROJECT COMPLIES WITH DESIGN REVIEW STANDARDS

Architectural

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The building design creates one- and two-story visual elements through the placement and pattern of materials to define the building and reduce the appearance of bulk and flatness. The building is further defined through projected elements, including the pitched roof, cantilevered decks, and awning overhangs, as well as windows and doors. The façades fronting Walnut Avenue and 4th Street incorporate material patterns that visually separate the building into two unique masses—one half of the façade is defined by stone that extends vertically up and down both floors the building and the other half of the façade is characterized by one-story elements defined by the horizontal and vertical placement of siding.

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

The building character is defined by features that complement Ketchum’s vernacular architecture. The design includes aesthetic and functional elements that ground the building within our mountain town. These elements

5 include pitched roofing forms and bold structural columns to shed and withstand snow loads. The use of natural materials like the stone complements the surrounding mountain landscape.

Compatibility of Design

The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures (Ketchum Municipal Code §17.96.060.E1).

The project plans include perspective renderings showing the building within the context of this vibrant Walnut Avenue corridor in downtown Ketchum. While bigger than the neighboring buildings occupied by Gold Mine Thrift Store and Michel's, the mixed-use building is similar in size and scale to the Colonnade building across Walnut Avenue. The final Design Review application must include a materials and colors sample board showing all exterior materials used on the façade of the structure (KMC §17.96.040.C.2i).



Figure 2: Project Plans, 4th and Walnut Perspective, Sheet AS-102

RECOMMENDATION

After considering the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to advance the 4th and Walnut Mixed-Use Building to final Design Review.

EXHIBITS:

- A. 4th and Walnut Mixed-Use Building Pre-Application Design Review Submittal

Exhibit A:
4th and Walnut Mixed-Use
Building Pre-Application Design
Review Submittal

4th & Walnut Ave. Commercial Development

"TBD" Ketchum Idaho 83340



Cover Sheet	G-1 COVER SHEET
Civil	C-1 SITE PLAN
Architectural Site Plans	AS-101 ARCHITECTURAL SITE PLAN AS-102 ARCHITECTURAL VICINITY MAP AS-103 CONSTRUCTION MANAGEMENT PLAN
Floor Plans	A-101 BASEMENT FLOOR PLAN A-102 FIRST FLOOR PLAN A-103 SECOND FLOOR PLAN
Elevations	A-201 ELEVATIONS

COVER SHEET

3/4/20

4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020

G-1



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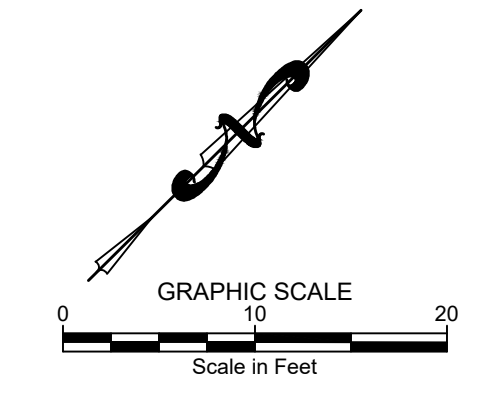
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



LEGEND

Property Line	TVB = Cable TV Buried	AP = Angle Point
Adjoiner's Lot Line	TVBOX = Cable TV Riser	BEG = Beginning
Centerline	PHB = Buried Telephone Line	BOW = Back of Walk
FDS/B = Found 5/8" Rebar	PHBOX = Telephone Riser	CC = Curb Cut
CP / CNTRL = Survey Control	PB = Buried Power Line	CL = Centerline
5' Contour Interval	Overhead Power Line	COR = Corner
1' Contour Interval	Light	EOA = Edge of Asphalt
Curb & Gutter	PMTR = Power Meter	EOC = Edge of Concrete
Valley Gutter	PP = Power Pole	EOV = Edge of Walk
FNC = Fence Line	AC = Air Conditioner	FDSPK = Survey Control
Building / Structure Overhang	S = Sewer Main	FF = Finished Floor
Edge of Asphalt	SS = Sewer Service	GS = Gas Service
Concrete Sidewalk	SMH = Sewer Manhole	IC = Irregular Cap
Boardwalk	SCD = Sewer Cleanout	INT = Intersection
Pavers	Sand & Gravel Trap	LIP = Lip of Gutter
RTW = Retaining Wall	CB = Catch Basin	NC = No Cap
Concrete Wheel Stop	DWELL = Dry Well	NG = Natural Ground
CT = Conifer Tree	WS = Water Service	PC = Point of Curvature
DT = Deciduous Tree	WMH = Water Manhole	PT = Point of Tangent
SGN = Sign	WV = Water Valve	RTW = Retaining Wall
B-Rack = Bike Rack	KCW = Ketchum City Water Line (8")	TA = Top of Asphalt
GM = Gas Main	KSW = Ketchum Spring Line (8")	TBC = Top Back of Curb
GMTR = Gas Meter	KSW = Ketchum Spring Line (4")	THRESH = Threshold
	CW = Crosswalk	TP = Top of Pavers

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/06/2019).
 - Boundary information is based on Found Monumentation.
 - Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, underground utility locates performed by Magic Valley Utility Locates, and Ketchum utility maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of 5/8" rebar at the intersection of 4th St. and Walnut Ave., elevation = 5860.08', Vertical Datum is NAVD 1988.



**A TOPOGRAPHIC MAP SHOWING
371 AND 391 N. WALNUT AVENUE
LOTS 7 AND 8, BLOCK 44, KETCHUM TOWNSITE**
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR RESIN ARCHITECTURE, LLC

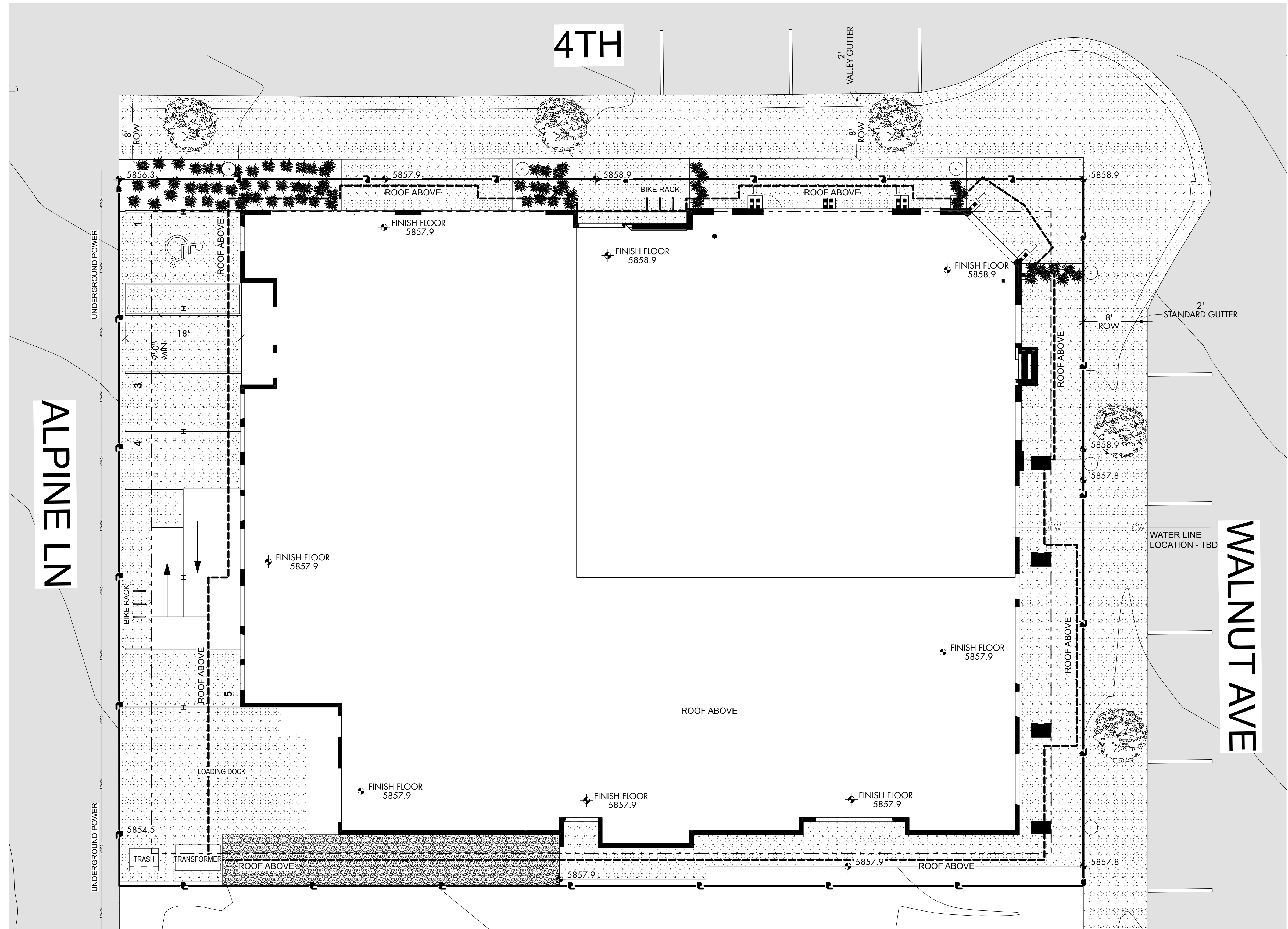
PRELIMINARY

DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

**GALENA
ENGINEERING, INC.**
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
TOPO				

TOPO



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ARCHITECTURAL SITE PLAN

3/4/20

4th & Walnut Ave.
 Commercial Development

Preliminary Design Review March 9 2020 AS-101



2 4th and Walnut Perspective

SCALE: 1/32" = 1'-0"



3 Walnut Perspective

SCALE: 1/32" = 1'-0"



4 4th Perspective

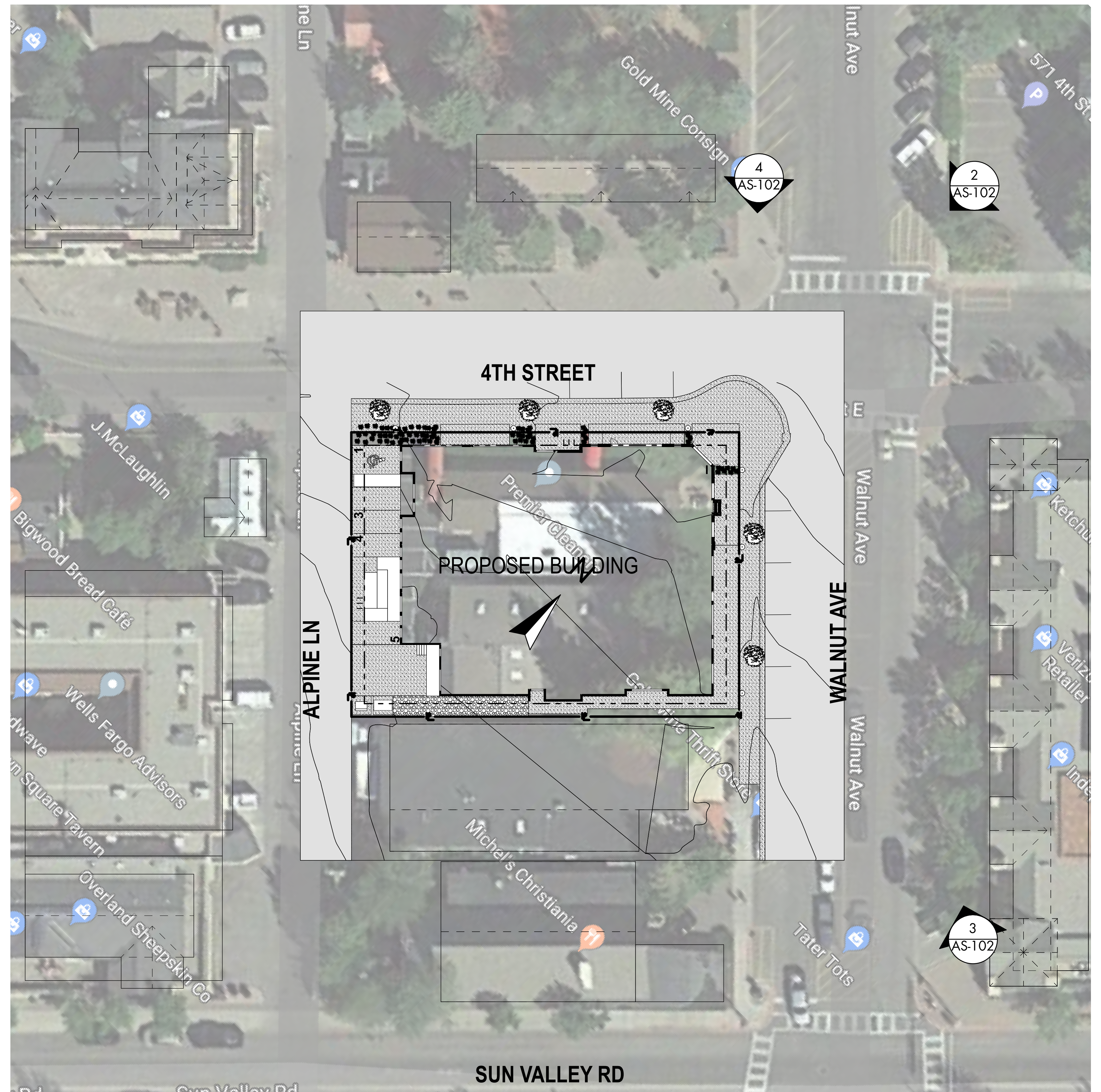
SCALE: 1/32" = 1'-0"



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1 ARCHITECTURAL SITE VICINITY

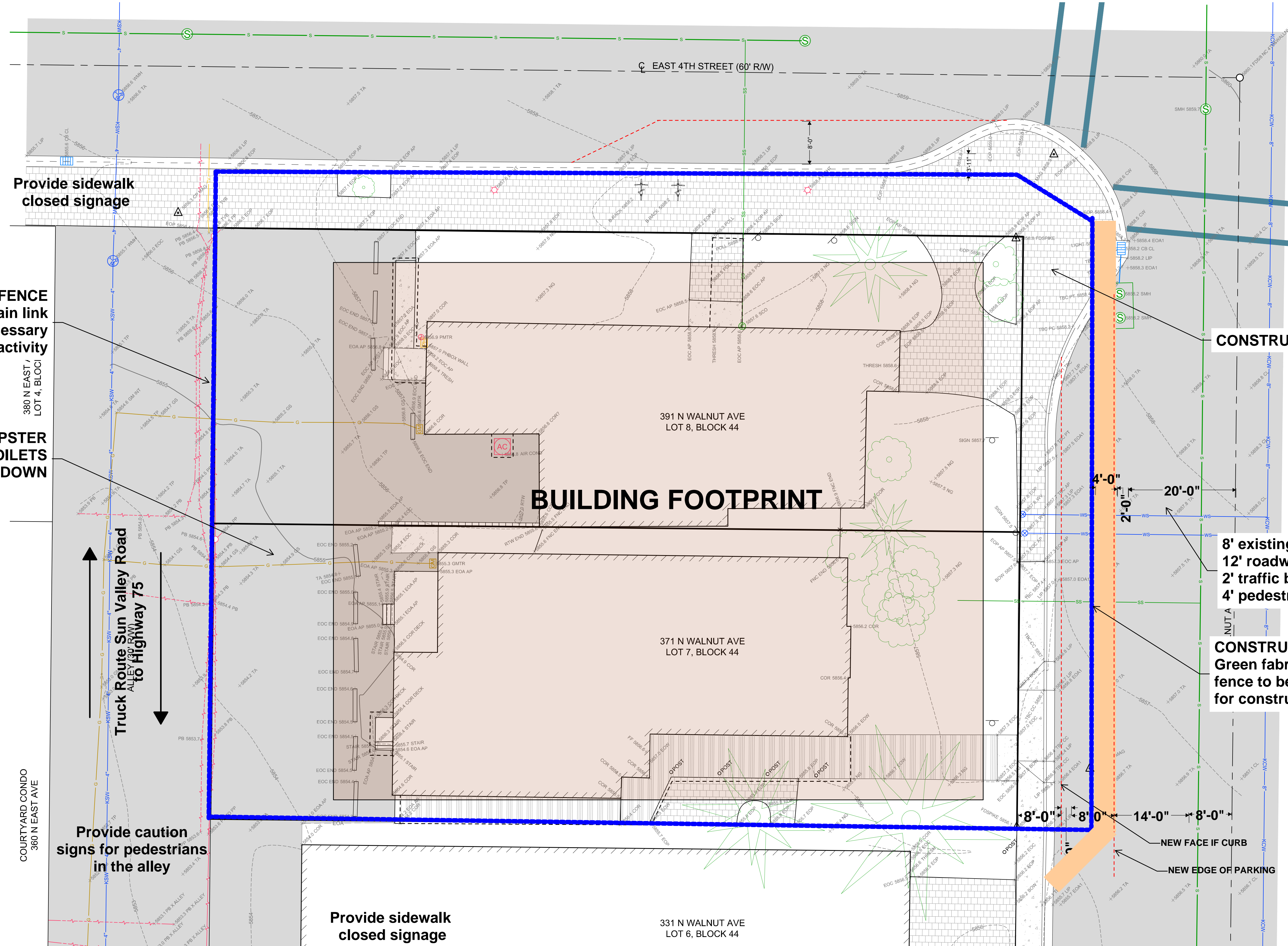
SCALE: 1:288

ARCHITECTURAL VICINITY MAP

3/4/20

4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020 AS-102



CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

DUMPSTER
CHEMICAL TOILETS
MATERIAL LAYDOWN

380 N EAST /
LOT 4, BLOCK 1

Provide caution signs for pedestrians in the alley

Provide sidewalk closed signage

BUILDING FOOTPRINT

391 N WALNUT AVE
LOT 8, BLOCK 44

371 N WALNUT AVE
LOT 7, BLOCK 44

331 N WALNUT AVE
LOT 6, BLOCK 44

CONSTRUCTION OFFICE

8' existing parking
12' roadway
2' traffic barrier
4' pedestrian walkway

CONSTRUCTION FENCE
Green fabric over 6' chain link fence to be located as necessary for construction activity

- Contractor Parking will be provided
1. Onsite
 2. Public parking lot at the east end of 4th Street
 3. Public parking lot on Washington Street with shuttle

CONSTRUCTION MANAGEMENT PLAN

3/4/20

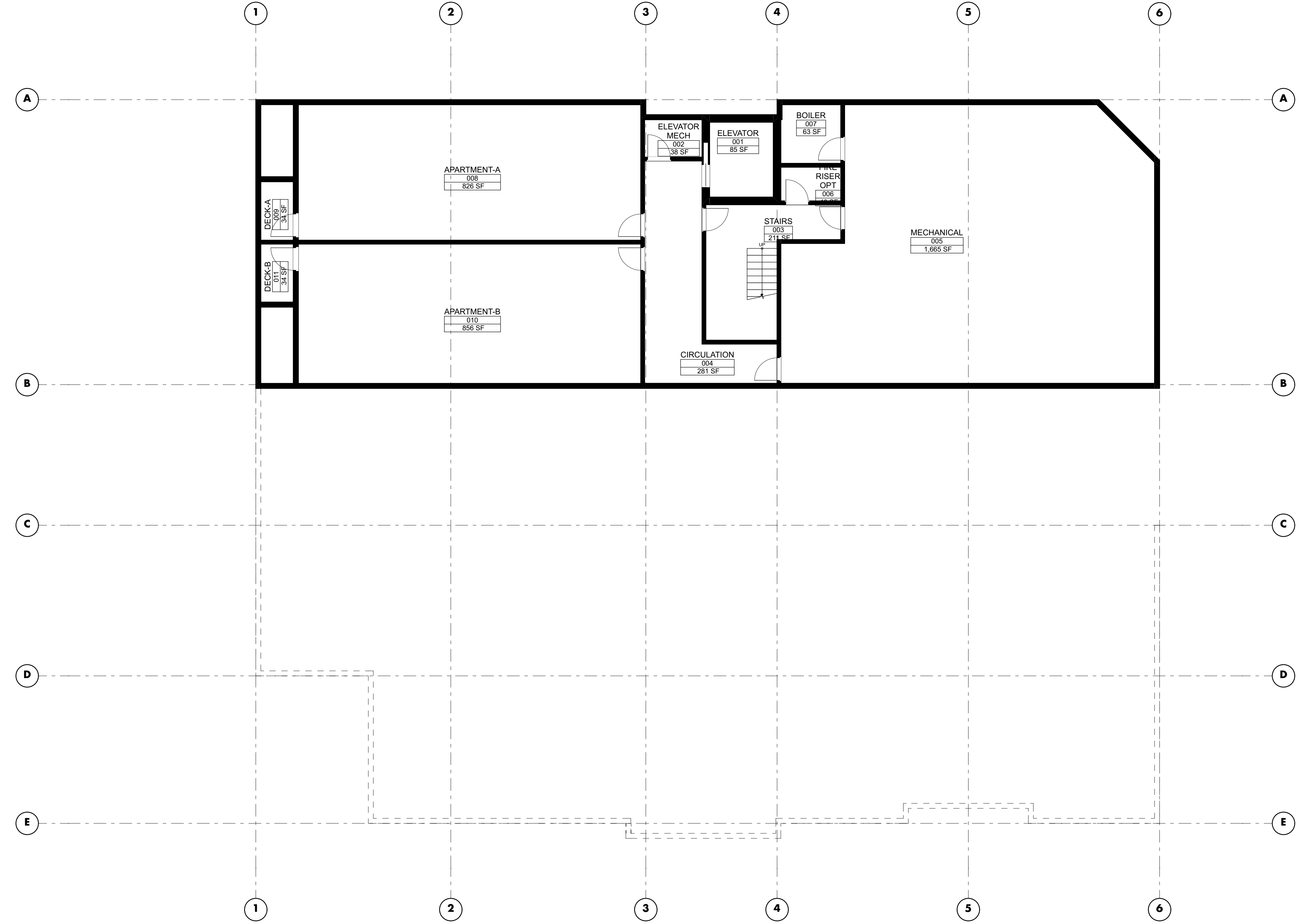
4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020 AS-103



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Net Square Footage			
Level	Zone Number	Name	Area
BASEMENT			
	001	ELEVATOR	85.00
	002	ELEVATOR MECH	38.33
	003	STAIRS	211.45
	004	CIRCULATION	281.25
	005	MECHANICAL	1,665.29
	006	FIRE RISER OPT	40.00
	007	BOILER	62.67
	008	APARTMENT-A	825.79
	009	DECK-A	33.85
	010	APARTMENT-B	856.24
	011	DECK-B	33.58
NET TOTAL			4,133.45 sq ft
Gross Square Footage			
Level	Zone Number	Name	Area
BASEMENT			
	001	ELEVATOR	115.50
	002	ELEVATOR MECH	46.06
	003	STAIRS	237.71
	004	CIRCULATION	320.48
	005	MECHANICAL	1,762.24
	006	FIRE RISER OPT	44.00
	007	BOILER	67.67
	008	APARTMENT-A	870.29
	009	DECK-A	42.40
	010	APARTMENT-B	915.09
	011	DECK-B	44.58
GROSS TOTAL			4,466.02 sq ft



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



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BASEMENT FLOOR PLAN

3/4/20

4th & Walnut Ave.
Commercial Development

Net Square Footage			
Level	Zone Number	Name	Area
FIRST FLOOR			
101		VESTIBULE	132.99
102		ELEVATOR	86.78
103		STAIRS	171.79
104		CIRCULATION	187.92
105		MENS	153.00
106		WOMENS	153.00
107		COFFEE SHOP	1,854.82
108		RETAIL	2,894.82
109		RR	68.74
110		JANITOR	74.35
111		RETAIL	128.47
112		RETAIL	830.16
113		STAIRS	162.50
114		FIRE RISER OPT	37.44
115		LOADING DOCK	180.00
116		RETAIL	900.43
117		RR	76.31
118		RETAIL	832.44
119		RR	76.31
120		RR	76.31
121		RR	76.31
122		RETAIL	814.44
123		RETAIL	822.11
NET TOTAL			10,791.44 sq ft

Gross Square Footage			
Level	Zone Number	Name	Area
FIRST FLOOR			
101		VESTIBULE	140.44
102		ELEVATOR	125.50
103		STAIRS	185.83
104		CIRCULATION	196.67
105		MENS	162.00
106		WOMENS	162.00
107		COFFEE SHOP	1,911.59
108		RETAIL	2,969.44
109		RR	77.28
110		JANITOR	83.22
111		RETAIL	152.22
112		RETAIL	876.38
113		STAIRS	179.33
114		FIRE RISER OPT	44.01
115		LOADING DOCK	180.00
116		RETAIL	967.43
117		RR	79.72
118		RETAIL	850.69
119		RR	76.31
120		RR	85.56
121		RR	81.89
122		RETAIL	876.94
123		RETAIL	877.30
GROSS TOTAL			11,341.75 sq ft



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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FIRST FLOOR PLAN

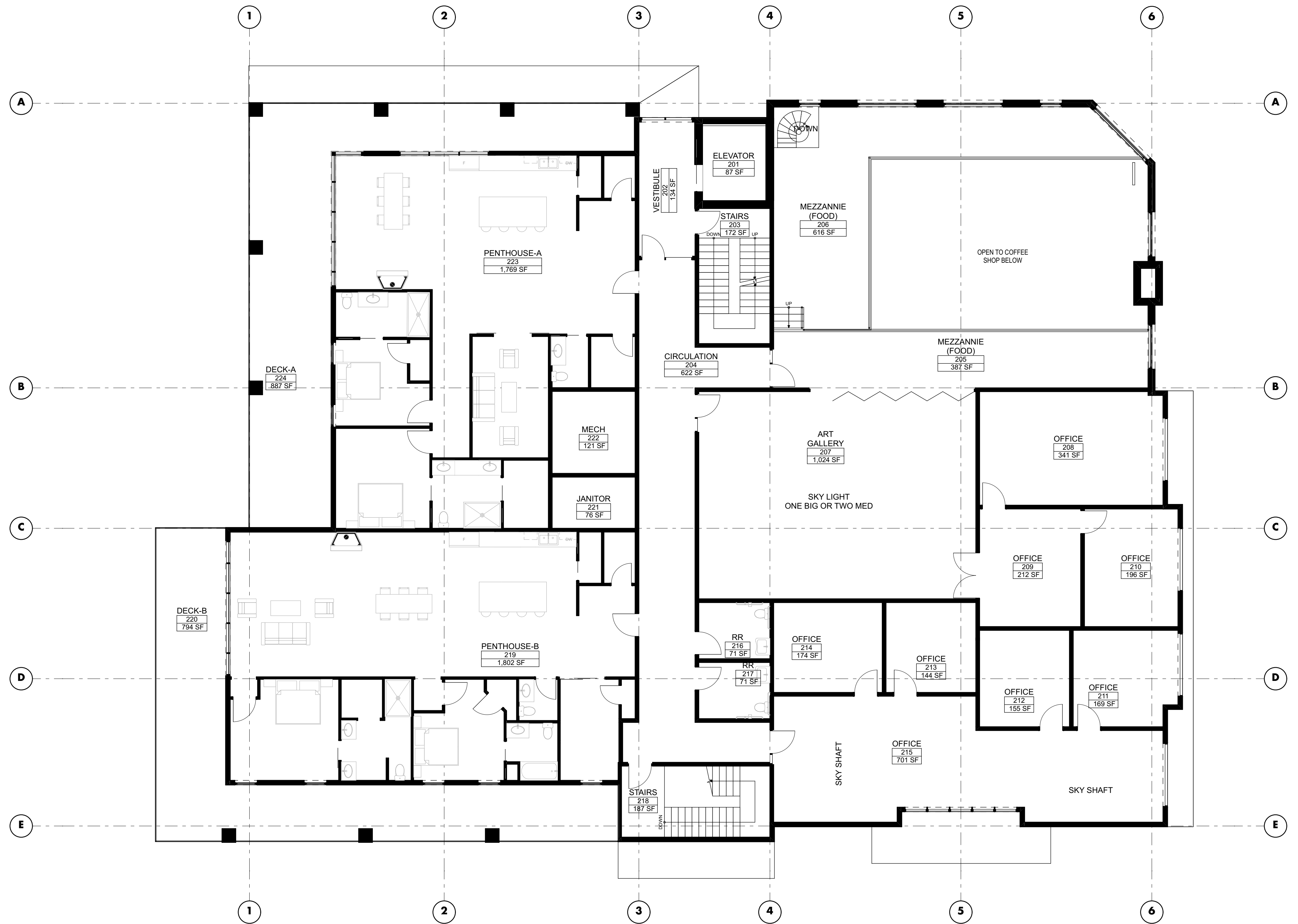
3/4/20

4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020

A-102

Net Square Footage			
Level	Zone Number	Name	Area
SECOND FLOOR			
201		ELEVATOR	87.48
202		VESTIBULE	134.38
203		STAIRS	171.79
204		CIRCULATION	622.17
205		MEZZANNIE (FOOD)	387.48
206		MEZZANNIE (FOOD)	615.82
207		ART GALLERY	1,023.68
208		OFFICE	341.26
209		OFFICE	212.06
210		OFFICE	196.35
211		OFFICE	168.58
212		OFFICE	154.50
213		OFFICE	144.00
214		OFFICE	174.00
215		OFFICE	700.82
216		RR	71.25
217		RR	71.25
218		STAIRS	186.84
219		PENTHOUSE-B	1,801.87
220		DECK-B	794.12
221		JANITOR	75.74
222		MECH	121.31
223		PENTHOUSE-A	1,769.20
224		DECK-A	887.49
NET TOTAL			10,913.44 sq ft
Gross Square Footage			
Level	Zone Number	Name	Area
SECOND FLOOR			
201		ELEVATOR	126.00
202		VESTIBULE	151.34
203		STAIRS	185.83
204		CIRCULATION	673.71
205		MEZZANNIE (FOOD)	420.73
206		MEZZANNIE (FOOD)	651.23
207		ART GALLERY	1,070.35
208		OFFICE	379.16
209		OFFICE	233.92
210		OFFICE	217.21
211		OFFICE	181.85
212		OFFICE	160.94
213		OFFICE	156.25
214		OFFICE	187.50
215		OFFICE	775.89
216		RR	84.00
217		RR	84.00
218		STAIRS	206.67
219		PENTHOUSE-B	1,845.68
220		DECK-B	794.12
221		JANITOR	84.95
222		MECH	132.57
223		PENTHOUSE-A	1,816.81
224		DECK-A	887.49
GROSS TOTAL			11,508.20 sq ft



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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SECOND FLOOR PLAN

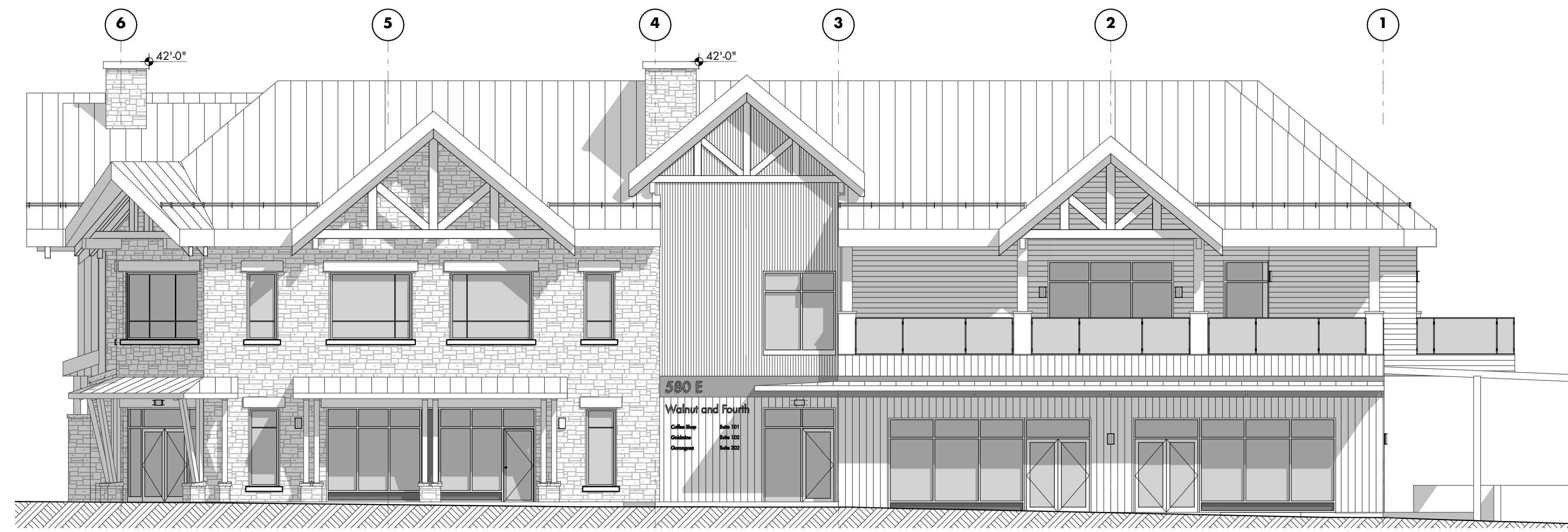
3/4/20

4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020 **A-103**



2 NE Elevation (Walnut Ave)
SCALE: 1/8" = 1'-0"



1 NW Elevation (4th St)
SCALE: 1/8" = 1'-0"



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ELEVATIONS

3/4/20

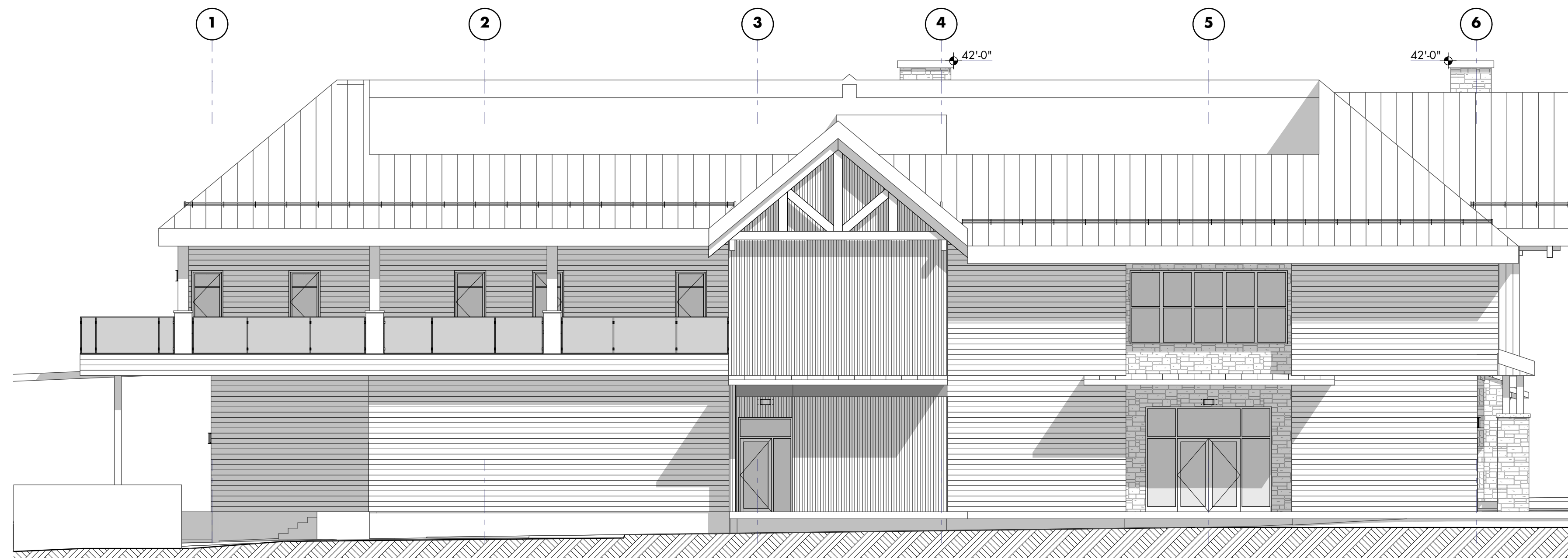
4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020

A-201



2 SW Elevation (Alley)
SCALE: 1/8" = 1'-0"



1 SE Elevation
SCALE: 1/8" = 1'-0"



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ELEVATIONS

3/4/20

4th & Walnut Ave.
Commercial Development

Preliminary Design Review March 9 2020

A-202



City of Ketchum
Planning & Building

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 9TH, 2020**

PROJECT: West Ketchum Residences Preliminary Plat

FILE NUMBER: P19-141

REPRESENTATIVE: Robert Parker, VP Companies

OWNER: West Ketchum Residences, LLC c/o Robert Parker, VP Companies

REQUEST: Preliminary Plat approval to subdivide a 47,338 square foot lot into ten (10) townhouse sublots

ASSOCIATED PERMITS: P19-140 – Design Review for the 10-unit development
P19-142 – Lot Line Shift to combine four exiting lots into one lot so parcel can be re-subdivided into townhouse sublots

LOCATION: 150 Bird Drive (Lot 5AA, Block 1, Bavarian Village Subdivision)

ZONING: General Residential High Density (GR-H)

OVERLAY: None

NOTICE: Notice was mailed to properties within a 300 ft radius of the subject property and all political subdivisions on February 19th, 2020. Notice was published in the February 19th, 2020 edition of the Idaho Mountain Express.

REVIEWER: Brittany Skelton, Senior Planner

ATTACHMENTS:

- A. Application
- B. Preliminary Plat
- C. Design Review plans
 - a. Preliminary Civil
 - b. Grading
 - c. Landscaping
 - d. Architectural Site Plans
- D. Draft Findings of Fact, Conclusions of Law, and Decision

BACKGROUND

On February 10th, 2020 the Planning and Zoning Commission approved a Design Review application for a 10-unit residential development to be located on the subject property. The approved proposal is comprised of five (5) duplexes arranged around a common driveway. The residential density is permitted in the zoning district, General Residential – High Density (GR-H) where the subject property is located, and the project meets all zoning dimensional, design, and development standards.

The intent of the property owner is to plat and subdivide each residential unit into a townhouse unit. As such, the property owner has submitted a Preliminary Plat for Townhosue Subdivision for review for compliance with the subdivision and townhouse subdivisions standards.

This subject property is unique in that it used to consist of four (4) separate lots. In order to prepare the property for re-platting into townhouse sublots, the property owner first submitted an application (P19-142) to use the Lot Line Shift procedure to combine the four (4) lots into one large lot and to vacate a prior cul-de-sac. The Lot Line Shift application has been approved by City Council and the property owner has now started the process to re-subdivide the property into ten (10) townhouse sublots.

The first step in the townhouse platting process is for the Commission to review the proposal and provide a recommendation to City Council. City Council would then review and approve the Preliminary Plat.



Figure 1. West Ketchum Townhomes Concept Rendering

After each townhouse unit receives a Certificate of Occupancy it is eligible for the Final Plat procedure. If the Final Plat substantially conforms to the Preliminary Plat the City Council will approve the Final Plat. Upon recording the Final Plat the townhouse units may be sold.

All city departments reviewed the Preliminary Plat concurrent with the Design Review submittal package and re-reviewed the Preliminary Plat in preparation for this staff report. Additional plat notes requested by the Utilities Department have been included as conditions of approval.

Additionally, the Commission reviewed many site development details, such as grading, drainage, landscaping, and so forth with the Design Review application. The proposed Preliminary Plat is consistent with the site plan and townhouse unit footprints depicted in the Design Review submittal package.

This application was properly noticed for the required public hearing. No written comments have been received to date.

Table 1: City Department Comments

City Department Comments				
Compliant			City Code	City Standards and City Department Comments
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department: No new comment. Design Review comments remain applicable.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Engineering/Streets Department: The same comments included with the Design Review approval apply:</p> <ol style="list-style-type: none"> All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C). All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site. The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code. The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020. The adjacent ROW along Bird Drive must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred. Utility locations (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas. All utilities need to be shown on the plans including the location and size of water and sewer mains and services, gas, electric, TV and phone. The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”). Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Utilities: 1. All existing water services on the property will be cut and capped at the main.</p>	

			<p>2. Any abandoned sewer service lines will be cut and capped at the property line.</p> <p>3. All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association.</p> <p>4. All townhomes will have separate service lines, individual meters, vaults, and own irrigation systems to be confined to the specific sub lot.</p> <p>5. A separate meter and tap will be needed for the common area for irrigation and billed through the association.</p> <p>6. Each subplot and common area will be assessed connection fees for both water and sewer. The exception is the common area will only pay a water connection fee.</p> <p>7. The sewer main will be public, placed in a utility easement no less than 10ft wide.</p> <p>8. Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system.</p> <p>9. Plat notes depicting a public sewer main shall be shown on the final plat with the description listed in note 8.</p> <p>10. A description of the private water main shall be shown on the final plat as described in note 3.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: <i>Comments are denoted throughout the Staff Report.</i>

Table 2: Preliminary Plat Requirements

Preliminary Plat Requirements				
Compliant			Standards and City Council Findings	
Yes	No	N/A	City Code	City Standards and <i>City Council Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Findings	The application has been reviewed and determined to be complete.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Findings	All required materials for the Preliminary Plat application have been submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The scale, north point and date.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .2	The name of the proposed subdivision.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.

			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.4	Legal description of the area platted.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			Findings	Contours were indicated in the civil plans reviewed with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .8	Boundary description and the area of the tract.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Findings	This standard has been met. Existing zoning is GR-H and is noted in plat note #9.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Findings	As conditioned by the utilities department, the following plat notes shall be added to the Final Plat: <ul style="list-style-type: none"> • All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association. • Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system. All other standards have been met.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Findings	Common areas are indicated on the plat – Parcel B, common lawn area, and Parcel A – road and public utility parcel.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Findings	A complementary civil drawing package has been submitted with the Design Review application that was previously reviewed and approved by the Commission. This drawing set is attached for reference.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J .13	The direction of drainage, flow and approximate grade of all streets.
			Findings	Not applicable, the project abuts the existing street Bird Drive. The internal private drive and its drainage and grade was reviewed with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Findings	A complementary civil drawing package has been submitted with the Design Review application that was previously reviewed and approved by the Commission. This drawing set is attached for reference.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials
			Findings	This application replats an existing lot within Bavarian Village Subdivision. The platted and recorded Bavarian Village Subdivision serves as the vicinity map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or
			Findings	N/A the property is not currently mapped to be in the floodplain/floodway. The property is not within the avalanche overlay.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030. J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Findings	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .18	Lot area of each lot.
			Findings	Sublot sizes are indicated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .19	Existing mature trees and established shrub masses.

			Findings	Existing trees and a landscaping plan indicating improvements to the site were included with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .20	To be provided to Administrator: 20. Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Findings	This standard has been met. The proposed West Ketchum Residences subdivision name has not been used by another project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030. J .21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Findings	N/A this project will connect to municipal services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .22	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .24	A digital copy of the preliminary plat shall be filed with the administrator.
			Findings	This standard has been met.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			Findings	This standard has been met. Some existing trees are being removed but a landscaping plan for the development, which includes installation of new trees, was approved with the Design Review application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
			Findings	N/A at this time.

			16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Findings	N/A at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			Findings	N/A at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Findings	N/A at this time.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <p>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</p> <p>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for</p>
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Table 3: Townhouse Preliminary Plat Requirements

Townhouse Preliminary Plat Requirements				
Compliant			Standards and City Council Findings	
Yes	No	N/A	City Code	City Standards and <i>City Council Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.B	<p>Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.</p>
			Findings	The applicant has submitted the HOA articles of incorporation and proposed association bylaws.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.1	<p>Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection.</p> <p>1. All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.</p>
			Findings	This project is being reviewed for compliance with all applicable standards and is following the procedure for townhome platting.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.2	<p>The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.</p>

			Findings	This Preliminary Plat application follows Design Review approval of the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.3	The preliminary plat, other data, and the commission's findings may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.
			Findings	The Preliminary Plat is intended to be forwarded to Council prior to construction commencing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.4	In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.
			Findings	N/A at this time.

STAFF RECOMMENDATION

Staff recommends that the Planning and Zoning Commission hold a public hearing, consider public comment, and recommend approval of the West Ketchum Residences Townhouse Subdivision Preliminary Plat to City Council.

RECOMMENDED MOTION

“I MOVE TO RECOMMEND APPROVAL OF THE WEST KETCHUM RESIDENCES TOWNHOUSE SUBDIVISION PRELIMINARY PLAT TO CITY COUNCIL, SUBJECT TO CONDITIONS 1-7.”

RECOMMENDED CONDITIONS

1. The following notes shall be added to the Final Plat:
 - a. All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association.
 - b. Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system.
2. The Covenants, Conditions, and Restrictions (CC&R’s) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R’s.
3. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void.

- 4. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map.
- 5. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder’s office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as “parcel”;
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as “road”; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as “control”; and,
 - d. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a “.dwg”, “.dgn” or “.shp” format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
- 6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
- 7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met. The applicant shall comply with all City Department conditions as described in Tables 1 & 2.

Attachments:

- A. **Application**
- B. **Preliminary Plat**
- C. **Design Review plans**
 - a. **Preliminary Civil**
 - b. **Grading**
 - c. **Landscaping**
 - d. **Architectural Site Plans**
- D. **Draft Findings of Fact, Conclusions of Law, and Decision**

A. Application



**City of Ketchum
Planning & Building**

Preliminary Plat
Subdivision Application

OFFICIAL USE ONLY	
Application Number:	<i>P19-141</i>
Date Received:	<i>12-31-19</i>
By:	<i>MP</i>
Fee Paid:	<i>5250⁰⁰</i>
Approved Date:	
By:	

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

APPLICANT INFORMATION			
Name of Proposed Subdivision: West Ketchum Residences			
Owner of Record: West Ketchum Residences, LLC c/o Robert Parker, VP Companies			
Address of Owner: PO Box 284, Sun Valley, ID 83353			
Representative of Owner: Galena Engineering			
Legal Description: Bavarian Village Subdivision Lots 5A, 6A, 7A, & 8A (Proposed Lot 5AA)			
Street Address: 150, 152, 154, 156 Bird Drive			
SUBDIVISION INFORMATION			
Number of Lots/Parcels: Existing: 1; Proposed 10 townhouse sublots			
Total Land Area: 47,338 sf			
Current Zoning District: GR-H			
Proposed Zoning District: GR-H			
Overlay District: N/A			
TYPE OF SUBDIVISION			
Condominium <input type="checkbox"/>	Land <input type="checkbox"/>	PUD <input type="checkbox"/>	Townhouse <input checked="" type="checkbox"/>
Adjacent land in same ownership in acres or square feet: N/A			
Easements to be dedicated on the final plat:			
Briefly describe the improvements to be installed prior to final plat approval: Water, sewer, and driveway improvements; each unit will be constructed and obtain c/o prior to final plat approval.			
ADDITIONAL INFORMATION			
All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance			
One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations			
One (1) copy of current title report and owner's recorded deed to the subject property			
One (1) copy of the preliminary plat			
All files should be submitted in an electronic format.			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortious conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Applicant Signature

12-27-19
Date

B. Preliminary Plat

A PLAT SHOWING WEST KETCHUM RESIDENCES

WHEREIN LOT 5AA, BLOCK 1, BAVARIAN VILLAGE SUBDIVISION IS REPLATTD INTO TOWNHOMES AS SHOWN LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

DECEMBER 2019



SCALE: 1" = 30'

BLAINE COUNTY GIS
"W" TO
NO CAP
BASIS OF BEARINGS
S89° 53' 33"E 237.33'
N00° 32' 23"E 72.26'
S88° 24' 11"E 68.04'
S89° 24' 11"E 82.81'
S89° 24' 11"E 82.81'
S89° 24' 11"E 82.81'

Curve	Length	Delta	Tangent	Chord	Chord Direction
C1	18.35'	28.00'	37° 32' 57"	9.52'	N71° 48' 20"E
C2	25.83'	28.00'	52° 27' 03"	13.79'	N65° 48' 20"E
C3	25.44'	28.00'	52° 03' 15"	13.67'	S25° 26' 49"E
C4	18.54'	28.00'	37° 56' 45"	9.63'	S70° 26' 49"E
C5	26.85'	28.00'	54° 59' 31"	14.56'	N63° 06' 33"E
C6	14.24'	28.00'	29° 08' 17"	7.26'	N74° 51' 03"W

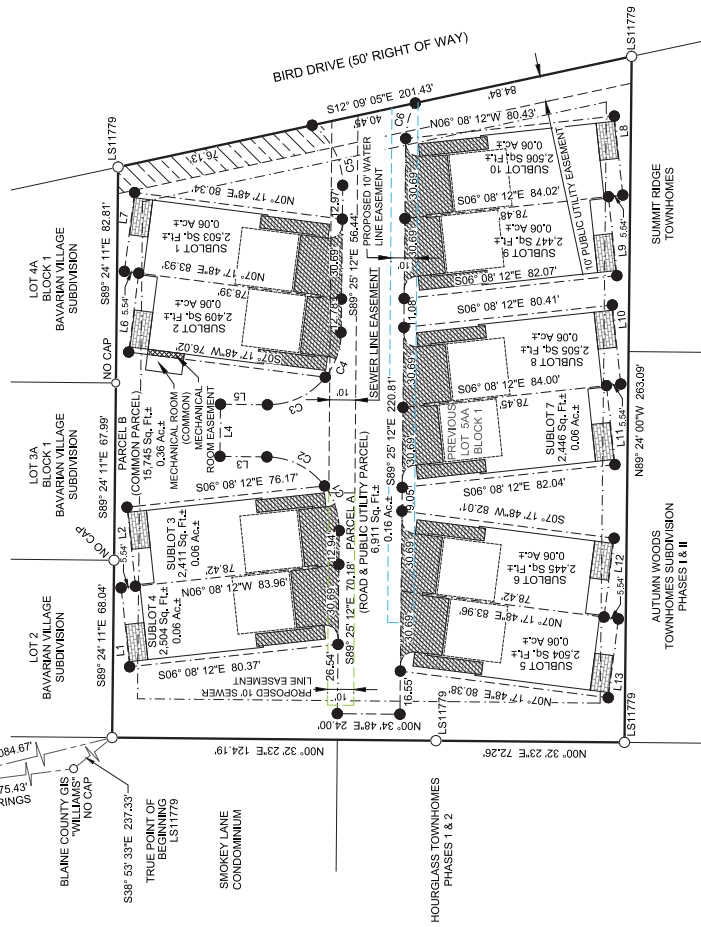
Line #	Length	Direction
L1	30.48	N83° 51' 48"E
L2	30.48	N83° 51' 48"E
L3	18.00	N00° 34' 48"W
L4	20.00	S89° 25' 12"E
L5	18.00	S00° 34' 48"W
L6	30.48	N82° 42' 12"W
L7	30.48	S82° 42' 12"E
L8	30.48	N83° 51' 48"E
L9	30.48	S83° 51' 48"W
L10	30.48	N83° 51' 48"E
L11	30.48	S83° 51' 48"W
L12	30.48	S82° 42' 12"E
L13	30.48	N82° 42' 12"W

LEGEND

- Property Line
- - - Proposed Sublot & Parcel Lines
- Adjoiner's Lot Line
- Esasements per Instrument Numbers 66064, 66117, & 66176 (See Note 4)
- Proposed Paver & Hydraulic Heating Maintenance Easement (See Note 5)
- - - Easement, type & width as shown
- - - Proposed 10' Water Line Easement (See Note 16)
- - - Proposed 10' Sewer Line Easement (See Note 16)
- Mechanical Room Easement
- - - Building Setback per Site Plan, AS102
- Building Footprint
- Garage Footprint
- Proposed Pavement
- Proposed Pavers
- CIS Tie Line
- Found 1/2" Rebar
- Found 5/8" Rebar
- Set 3/8" Rebar

SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to replat Lot 5AA, Block 1, Bavarian Village Subdivision, into townhomes as shown. The boundary shown is based on found monuments and the recorded plat of Lot 5AA, Block 1, Bavarian Village Subdivision, Instrument Number 66064, 66117, & 66176, records of Blaine County, Idaho. All found monuments have been accepted. Additional Documents used in the course of this survey include: Bavarian Village Subdivision: Lots 3A, 4A, 5A, 6A, 7A & 8A, Instrument Number 631181; and Bavarian Village Subdivision, Instrument Number 138821, both records of Blaine County, Idaho.
2. Except as specifically stated or depicted on this map, this survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations. An independent title search has not been performed by the surveyor for this project.
3. An ALTA Commitment for Title Insurance for Lots 5A, 6A, 7A, & 8A, Bavarian Village Subdivision, has been issued by Stewart Title Guaranty Company. File No. 1721420. The responsibility of the owner or agent to review said title policy, is the responsibility of the owner or agent to review said title policy. Some of the items shown hereon, including encroachments and easements listed in the report are NOT plotted hereon. Review of specific documents is required, if further information is desired.
4. The 10' Public Utility Easement, extending from the Northeast Corner of the subject property, along Bird Drive, to the Southeast Corner of the subject property will encompass Utility Easements per Instrument Numbers 66064, 66080, 66117, & 66176, records of Blaine County, Idaho.
5. A Paver & Hydraulic Heating Maintenance Easement shall be created as shown hereon on all sublots, being the paver areas for garage accesses and front entry walkways. The HOA will maintain this system.
6. A Landscape Easement shall be created hereon between all sublot lines and the exterior footprints of each structure on said sublots.
7. The West Ketchum Residences Declaration of Covenants, Conditions and Restrictions and Party Wall Agreement are recorded under Instrument Number 66064, records of Blaine County, Idaho.
8. The owner/subdivider is West Ketchum Residences, LLC c/o Robert Parker, PO Box 294, Sun Valley, ID 83353. The surveyor/representative is Mark Phillips, Galena Engineering Inc., 317 N River Street, Hallett, ID 83333.
9. The Current Zoning is GR-H. Refer to the City of Ketchum Zoning Code for more information about this zone.
10. Refer to the Engineering Base Drawing, prepared by Galena Engineering, Inc., for existing conditions and proposed improvements.
11. The Private Access Parcel (Parcel A) is designated as a fire lane. A clear zone of 20' shall be maintained at all times.
12. Parcel A is reserved for Common Access, Public Utilities and Snow Storage to benefit and be maintained by Lots within this subdivision. This area is unbuildable except for ingress/egress or utilities. Costs for utilities, snow removal, onsite street maintenance, and maintenance of Parcel A shall be shared on a pro rata basis between the lots.
13. Garage space shall not be converted to living space or uses other than parking of vehicles and household storage.
14. All Townhome unit owners shall have mutual reciprocal easements for existing and future water, cable tv, sewage, telephone, natural gas and electrical lines over, under, and across their townhouses and sublots for the repair, maintenance, and replacement thereof.
15. All Townhome unit owners shall have mutual reciprocal easements for existing and future water, cable tv, sewage, telephone, natural gas and electrical lines over, under, and across their townhouses and sublots for the repair, maintenance, and replacement thereof.
16. The proposed 10' Water Line Easement and proposed 10' Sewer Line Easement shown hereon are intended to be centered on the to be constructed piping, with as-constructed location of piping controlling the centerline of said easements.



MARK E. PHILLIPS, P.L.S. 16670

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central Public Health District

WEST KETCHUM RESIDENCES
GALENA ENGINEERING, INC.
SHEET 1 OF 2
Job No. 7818

- C. Design Review plans
 - a. Preliminary Civil
 - b. Grading
 - c. Landscaping
 - d. Architectural Site Plans

NO.	DATE	BY	REVISIONS

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Peoria, Illinois 61603
 email: galena@galena-engineering.com
 (309) 786-1705

PROJECT INFORMATION
 PROJECT: DRIVEWAY GRADING, DRAINAGE AND UTILITY PLAN
 LOCATION: WITHIN SECTION 13, T4 N, R17 E, B.M. CITY OF KETCHUM, AND CITY OF IDAHO
 PREPARED FOR: MABLEY CONSTRUCTION



GENERAL NOTE
 SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.

CONSTRUCTION KEYNOTES

DEMOLITION

- (D10) DEMOLISH AND REMOVE EXISTING ASPHALT
- (D20) BRIDGE OR ABANDON EXISTING UTILITY IN PLACE. COORDINATE WITH BANO POWER OR INTERMOUNTAIN GAS
- (D30) REMOVE EXISTING DRYWELL
- (D40) REMOVE EXISTING CATCH BASIN

SITE AND DRAINAGE IMPROVEMENTS

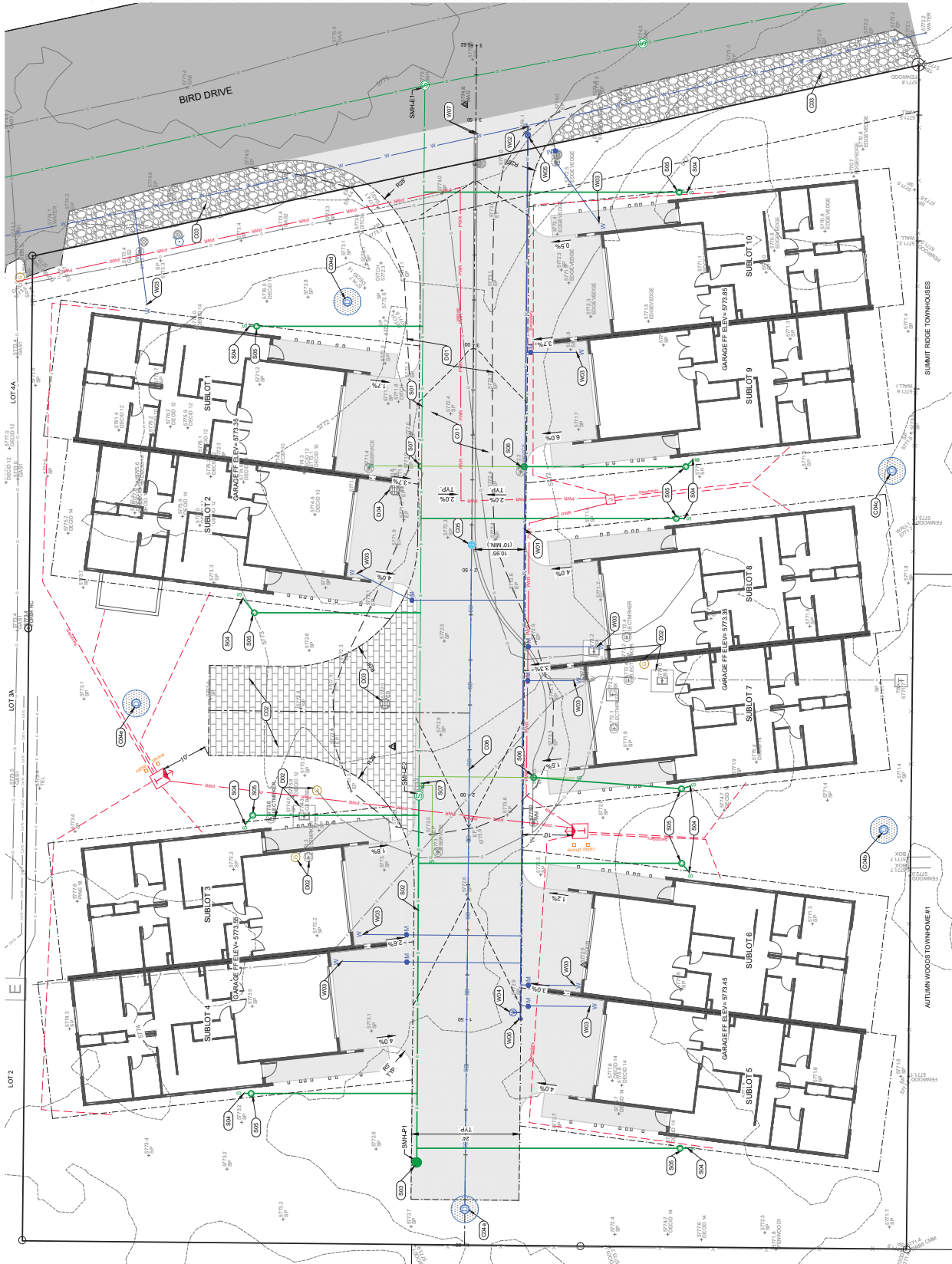
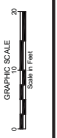
- (S10) CONSTRUCT HEATED PAVEMENT DRIVEWAY PER ARCHITECT
- (S20) INSTALL TUBE CELL PRODUCT WITH PAVEMENT EDGE DELINEATION PER LANDSCAPE ARCHITECT IN THE TRUCK TURN AROUND
- (S30) INSTALL CATCH BASIN PER DETAIL 7, SHEET C2.0
- (S40) INSTALL DRYWELL PER DETAIL 7, SHEET C2.0
 - a. RM ELEV = 5771.0
 - b. RM ELEV = 5771.5
 - c. RM ELEV = 5772.0
 - d. RM ELEV = 5772.5
 - e. RM ELEV = 5773.0
- (S50) INSTALL CATCH BASIN PER DETAIL 2, SHEET C2.0
 - a. RM ELEV = 5772.46
 - b. RM ELEV = 5772.48
 - c. RM ELEV = 5772.50
 - d. RM ELEV = 5772.52
 - e. RM ELEV = 5772.54
- (S60) INSTALL 14" x 14" x 20" CONCRETE PIPES @ 3% SLOPE

SEWER KEY NOTES

- (S10) RETAIN AND PROTECT EXISTING SEWER MAIN
- (S20) INSTALL SEWER MAIN. SEE PROFILE SHEET C1.1
- (S30) INSTALL 6" SEWER SERVICE
- (S40) INSTALL CLEAN-OUT PER IBCWC 30-60A
- (S50) SERVICE TO PROPOSED BUILDINGS & SEWER SERVICE TO EXISTING BUILDINGS
- (S60) LOCATE CUT CAP AND ABANDON EXISTING SEWER SERVICE

WATER KEY NOTES

- (W10) POTABLE NON-POTABLE CROSSING. SEE SHEET C0.1 FOR DETAILS
- (W20) POINT OF WATER CONNECTION. COORDINATE WITH MABLEY CONSTRUCTION
- (W30) TAP AND INSTALLATION OF TAPPING VALVE PER CITY STANDARDS
- (W40) INSTALL 1" WATER SERVICE PER CITY OF KETCHUM STANDARDS
- (W50) STANDARD DRAWING 20-405
- (W60) INSTALL 1" GATE VALVE
- (W70) INSTALL 1" CAP
- (W80) WATER SERVICE AT THE MAIN IN BIRD DRIVE





The drawings and information shown on this plan are the property of NS Consulting. The drawings may not be used except in connection with the project shown on this plan without the written consent of NS Consulting, P.L.L.C.

PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019
DRAWN BY
Nathan Schutte

REVISION
No. 12/31/19
Date
Remark
Design Review

DESIGN REVIEW SET

GRADING & DRAINAGE PLAN

L1

PLAN LEGEND

- Property Boundary (Per Survey)
- Adjacent Lot Line
- Compacted Gravel (8' Wide x 6" Thick)
- Heated Paver Approach & Walkway (Colored Tones To Match Architecture)
- Heated Paver Driveway (Colored Tones To Match Architecture)
- Paver Edging
- Reinforced Gravel
- Fire Truck Turn Around (Turf Coat)

GRADING LEGEND

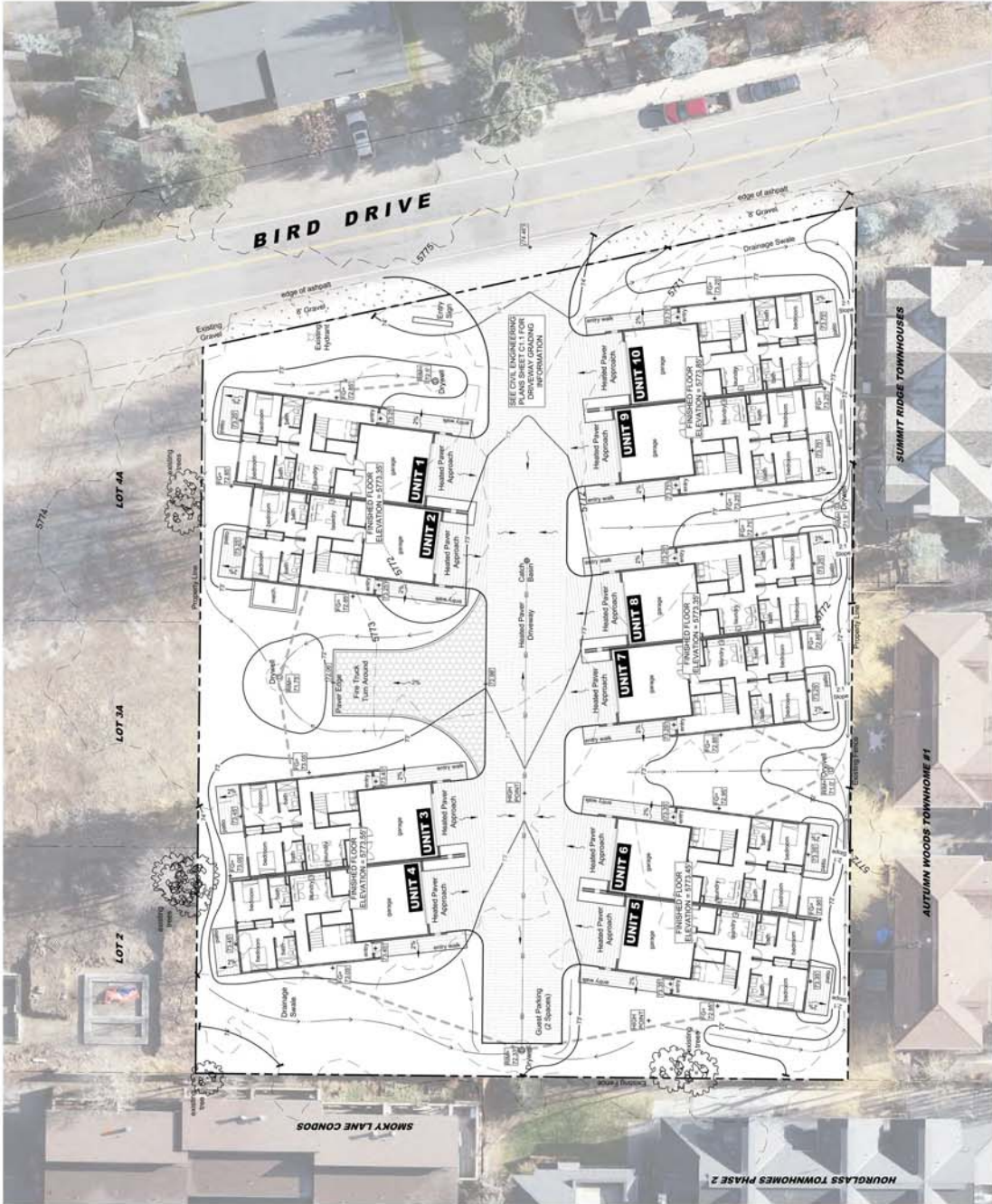
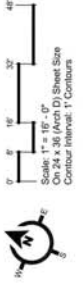
- Existing 1' Contour (Per LIDAR 2015 Survey)
- Proposed 1' Contour
- Proposed Driveway Contour (See Civil Plans For More Information)
- Proposed Drainage Swale
- Proposed Engineered Drywell (See Civil Plans For More Information)
- Proposed Building Drainage (Connection To Drainage System)
- Proposed Drainage (Slope Percentage And Direction)
- Existing Spot Elevation
- Proposed Spot Elevation

GRADING ABBREVIATIONS

- FFS FINISHED FLOOR ELEVATION
- GBS GRADE BREAK
- FG FINISHED GRADE

GRADING NOTES

1. Driveway grading & drainage by Galena Engineering, Inc.
2. Landscape architect shall review grading on site prior to completion.
3. Topsoil shall be imported for all grass and planting areas.
4. Best Management Practices (BMP) shall be followed. An NOI and SWPPP plan will be submitted to the EPA and implemented on site during construction.





The drawings and reports herein are the sole property of NS Consulting. The drawings may not be used except in connection with the project shown on the title block of the drawing without the consent of NS Consulting, P.L.L.C.

WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019
DRAWN BY
Nathan Schulte
REVISION
No. Date Remark
12/31/19 Design Review

DESIGN REVIEW SET
LANDSCAPE PLAN

LANDSCAPE LEGEND

Property Boundary (Per Survey)

Adjacent Lot Line

Existing 1" Contour

Proposed 1" Contour (See Grading Plan For More Information)

Proposed Drywells (See Grading Plan For More Information)

Steel Edging

Compacted Gravel (8" Wide x 0" Thick)

Heated Paver Approach & Walkway (Cobble Tones To Match Architecture)

Heated Paver Driveway (Cobble Tones To Match Architecture)

Paver Edging

Reinforced Grass (Turf Cell)

Reinforced Turf Around (Turf Cell)

Snow Storage Areas (50% Provided)

Existing Tree To Remain

Existing Tree To Be Removed

Existing Shrubs To Be Removed



steel edging example



turf cell photo example

NOTE: NO SITE LIGHTING IS PROPOSED

PLANT LEGEND

symbol	quan	description	size
	16	Ecological Trees Black Hills Spruce - Picea glauca White Pine - Pinus strobus Yellow Pine - Pinus ponderosa Douglas Fir - Pseudotsuga douglasii	10'-14"
	18	Ecological Shrubs Blue Chokeberry - Viburnum cuneatum Black Chokeberry - Viburnum coccineum Red Chokeberry - Viburnum coccineum American Cranberrybush - Viburnum cuneatum	10'-14"
	3	Deciduous Shade Trees American Beech - Fagus americana Red Maple - Acer rubrum	3" Cal.
	18	Deciduous Trees Black Hills Spruce - Picea glauca White Pine - Pinus strobus Yellow Pine - Pinus ponderosa Douglas Fir - Pseudotsuga douglasii	2'-3" Cal.
	150	Ornamental Grasses Blue Fescue - Festuca ovina Hard Fescue - Festuca duriuscula Blue Oat Grass - Anthoxanthum odoratum Sheep Fescue - Festuca ovina	5 Gal.
	234	Native Perennials & Grasses Black Eyed Susan - Rudbeckia hirta Lupinus - Lupinus Sedum - Sedum	5 Gal.
	30	Mulch Forest Mulch	1 Gal.
	4,500	Low Maintenance Grass	5 Gal.
	1478	Sod	5 Gal.
	5,300	Hydroseed	5 Gal.
	1478	Screened Lumber Board	5 Gal.



photo examples



soil examples



LANDSCAPE NOTES

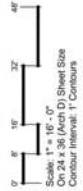
- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Plantings adjacent to buildings to have 3" of decorative rock.
- All other planting areas and tree rings to have 3" cover of bark or mulch.
- Aerial image from drone flight dated 11/16/2019.

FIREWISE NOTES

- Plants to be carefully spaced, low-growing and free of resins, oils, and waxes that burn easily.
- Plants to be spaced to allow for irrigation, mowed, and maintained regularly to eliminate ladder fuel configurations.
- Irrigation shall be used regularly to prevent landscape from drying and dying out.
- Use of grass and coniferous trees to be used.
- Create "fuel breaks", like driveways, gravel walkways and lawns.

IRRIGATION NOTES

- Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and a drip irrigation system.
- Drip irrigation shall be installed adjacent to buildings and around tree plantings in natural areas.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- Backflow prevention shall be installed on the irrigation system. The point of connection will include an approved backflow prevention device and water meter.





PROJECT VISUALIZATION 1



EXISTING CONDITION 1

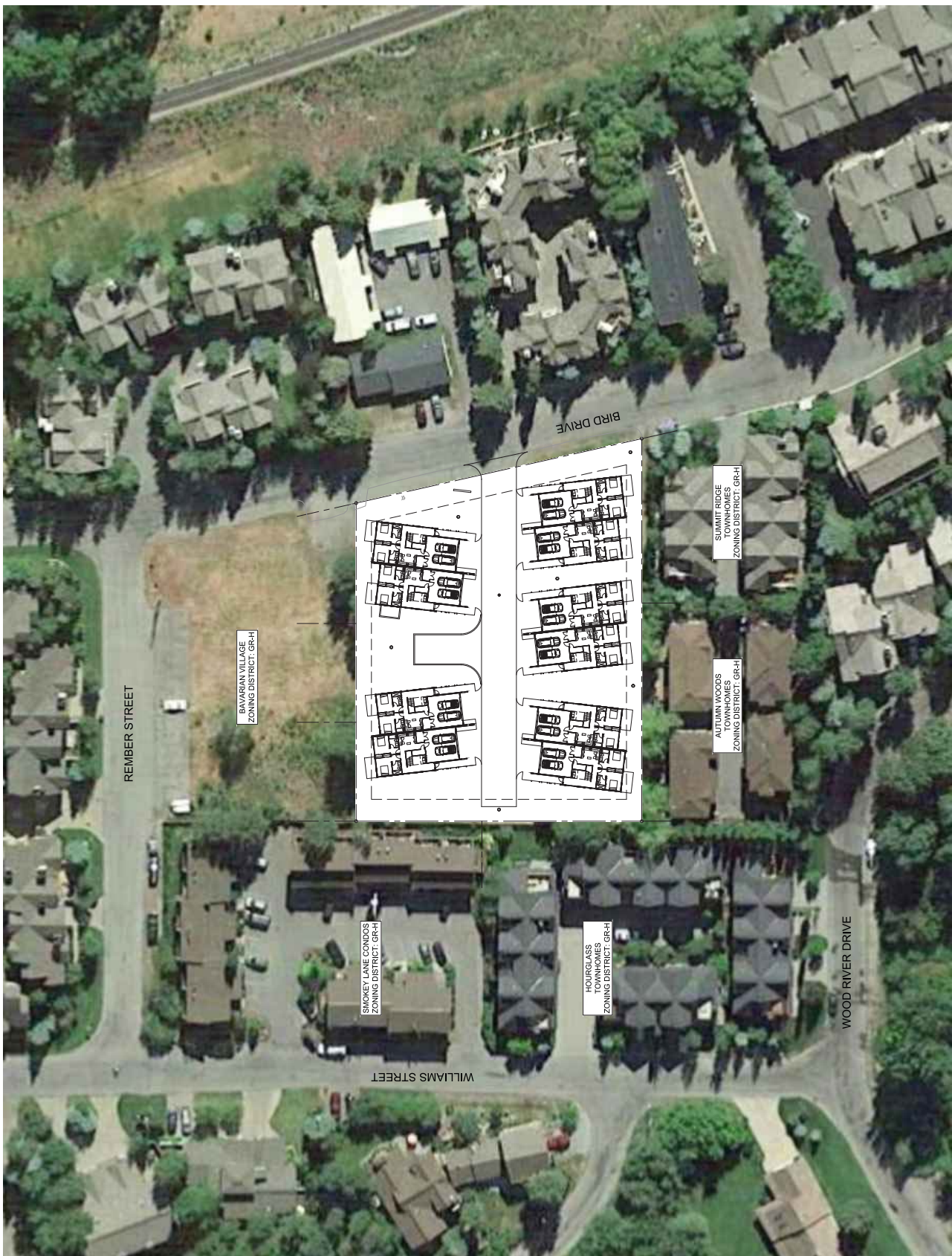


PLAN VIEW



Scale: 1" = 30'-0"
On 24" x 36" (Arch D) Sheet Size







WEST KETCHUM RESIDENCES 150 BIRD DRIVE | KETCHUM | IDAHO

BLISS ARCHITECTURE
P | 208.721.7424 | W | BLISSARCHITECTURE.COM
O | 126 SOUTH MAIN STREET | SUITE B1 | HALEY IDAHO 83333

PROJECT NO. | 201914
DRAWN BY | JEMB
CHECKED BY | JEMS
CITY OF KETCHUM
DESIGN REVIEW
DATE | 12.31.2019
SITE
PLAN
AS102

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL EXTERIOR ROOFS, GARDENS, SHOWS AND PATIOS TO BE RESTRAINED AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, CUTTERS, & DOWNSPOUTS LUNG.

LEGEND

- OFF-SITE GRAVEL PARKING - SEE CIVIL
- CONC. PAVERS - FIELD COLOR WITH SNOWMELT SYSTEM - SEE CIVIL & LANDSCAPE
- CONC. PAVERS - ACCENT COLOR WITH SNOWMELT SYSTEM WITH SNOWMELT AT PATIOS - SEE CIVIL & LANDSCAPE
- TURF CELL FIRE APPARATUS HAMMERHEAD - SEE LANDSCAPE

SITE DATA

SITE ADDRESS:
150 BIRD DRIVE
KETCHUM, IDAHO

LEGAL DESCRIPTION:
BAVARIAN VILLAGE SUBDIVISION LOTS SA 6A, 7A, & 8A

ZONING DISTRICT:
GENERAL RESIDENTIAL HIGH DENSITY GRM4

LOT AREA:
LOT 6A: 10,480 S.F. (0.24 ACRES)
LOT 7A: 13,807 S.F. (0.32 ACRES)
LOT 8A: 10,176 S.F. (0.23 ACRES)
LOT 9A: 10,826 S.F. (0.25 ACRES)
TOTAL: 47,289 S.F.

BUILDING GROSS AREA:
EACH UNIT:
FIRST FLOOR: 1,563 S.F.
SECOND FLOOR: 1,488 S.F.
TOTAL: 3,051 S.F. x 10 UNITS = 30,510 S.F.

BUILDING NET AREA:
EACH UNIT:
FIRST FLOOR: 621 S.F.
SECOND FLOOR: 567 S.F.
TOTAL: 1,188 S.F. x 10 UNITS = 11,880 S.F.

FLOOR TO AREA RATIOS:
ALLOWED: 0.3 ALLOWED 1.4 ALLOWED WITH IN LEU FEE
PROVIDED: 30,078 S.F. AT 356 S.F. x 85
NOTE: AN IN LEU FEE WILL BE PROVIDED

MIN. OPEN SPACES:
PROVIDED: 25%

MIN. FRONT SETBACK:
PROVIDED: 15'-0"

MIN. REAR SETBACK:
PROVIDED: 15'-0"

MIN. NORTH SIDE SETBACK:
PROVIDED: 31'-5" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
REQUIRED: 5'-0" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/5'-0" x 10'-5" IS GREATEST

MIN. SOUTH SIDE SETBACK:
PROVIDED: 31'-5" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
REQUIRED: 5'-0" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/5'-0" x 10'-5" IS GREATEST

MAX. BUILDING HEIGHT:
ALLOWED: 35'-0" ABOVE LOWER EXISTING GRADE
PROVIDED: 31'-5" - SEE BUILDING ELEVATIONS

ON-SITE PARKING:
PROVIDED: 2 SPACES FOR UNITS 2, 6, 8 & 10 ABOVE
PROVIDED: 2 GARAGE SPACES & 2 DRIVEWAY SPACES PER UNIT

TOTAL PARKING:
REQUIRED: 20 SPACES
PROVIDED: 20 SPACES & 2 DRIVEWAY SPACES PER UNIT = 40 SPACES TOTAL

SNOW STORAGE:
SEE LANDSCAPE



1
SITE PLAN
SCALE: 1/16" = 1'-0"

D. Draft Findings of Fact, Conclusions of Law, and Decision



City of Ketchum
Planning & Building

IN RE:)	
)	
West Ketchum Residences)	KETCHUM PLANNING AND ZONING COMMISSION
Townhouse Subdivision Preliminary Plat)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: March 9, 2020)	DECISION
)	
File Number: 19-141)	

PROJECT: West Ketchum Residences Preliminary Plat

FILE NUMBER: P19-141

REPRESENTATIVE: Robert Parker, VP Companies

OWNER: West Ketchum Residences, LLC c/o Robert Parker, VP Companies

REQUEST: Preliminary Plat approval to subdivide a 47,338 square foot lot into ten (10) townhouse sublots

ASSOCIATED PERMITS: P19-140 – Design Review for the 10-unit development
P19-142 – Lot Line Shift to combine four exiting lots into one lot so parcel can be re-subdivided into townhouse sublots

LOCATION: 150 Bird Drive (Lot 5AA, Block 1, Bavarian Village Subdivision)

ZONING: General Residential High Density (GR-H)

OVERLAY: None

NOTICE: Notice was mailed to properties within a 300 ft radius of the subject property and all political subdivisions on February 19th, 2020. Notice was published in the February 19th, 2020 edition of the Idaho Mountain Express.

FINDINGS OF FACT

1. On March 9th, 2020, the Planning and Zoning Commission considered a Townhouse Subdivision Preliminary Plat application for a 10-unit townhouse development to be located on the subject parcel.
2. The subject property is located in the General Residential – High Density (GR-H) zoning district.
3. Townhouse subdivisions are a permitted use in the zoning district.
4. The townhouse subdivision preliminary plat application is consistent with the Design Review application approved by the Planning and Zoning Commission on February 10th, 2020.

Table 1: City Department Comments

City Department Comments				
Compliant			City Code	City Standards and City Department Comments
Yes	No	N/A	City Code	City Standards and City Department Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fire Department: No new comment. Design Review comments remain applicable.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Engineering/Streets Department: The same comments included with the Design Review approval apply:</p> <ol style="list-style-type: none"> All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C). All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site. The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code. The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020. The adjacent ROW along Bird Drive must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred. Utility locations (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas. All utilities need to be shown on the plans including the location and size of water and sewer mains and services, gas, electric, TV and phone. The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”). Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Utilities:</p> <ol style="list-style-type: none"> All existing water services on the property will be cut and capped at the main. Any abandoned sewer service lines will be cut and capped at the property line. 	

45			<p>3. All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association.</p> <p>4. All townhomes will have separate service lines, individual meters, vaults, and own irrigation systems to be confined to the specific sub lot.</p> <p>5. A separate meter and tap will be needed for the common area for irrigation and billed through the association.</p> <p>6. Each subplot and common area will be assessed connection fees for both water and sewer. The exception is the common area will only pay a water connection fee.</p> <p>7. The sewer main will be public, placed in a utility easement no less than 10ft wide.</p> <p>8. Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system.</p> <p>9. Plat notes depicting a public sewer main shall be shown on the final plat with the description listed in note 8.</p> <p>10. A description of the private water main shall be shown on the final plat as described in note 3.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Planning and Zoning: <i>Comments are denoted throughout the Staff Report.</i>

Table 2: Preliminary Plat Requirements

Preliminary Plat Requirements				
Compliant			Standards and City Council Findings	
Yes	No	N/A	City Code	City Standards and <i>City Council Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	<p>The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.</p> <p>Findings The application has been reviewed and determined to be complete.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	<p>Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:</p> <p>Findings All required materials for the Preliminary Plat application have been submitted.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	<p>The scale, north point and date.</p> <p>Findings This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .2	<p>The name of the proposed subdivision.</p> <p>Findings This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.3	<p>The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.</p> <p>Findings This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.4	<p>Legal description of the area platted.</p>

46			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			Findings	Contours were indicated in the civil plans reviewed with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .8	Boundary description and the area of the tract.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Findings	This standard has been met. Existing zoning is GR-H and is noted in plat note #9.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Findings	As conditioned by the utilities department, the following plat notes shall be added to the Final Plat: <ul style="list-style-type: none"> • All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association. • Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system. All other standards have been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Findings	Common areas are indicated on the plat – Parcel B, common lawn area, and Parcel A – road and public utility parcel.

47	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Findings	A complementary civil drawing package has been submitted with the Design Review application that was previously reviewed and approved by the Commission. This drawing set is attached for reference.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J .13	The direction of drainage, flow and approximate grade of all streets.
			Findings	Not applicable, the project abuts the existing street Bird Drive. The internal private drive and its drainage and grade was reviewed with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Findings	A complementary civil drawing package has been submitted with the Design Review application that was previously reviewed and approved by the Commission. This drawing set is attached for reference.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials
			Findings	This application replats an existing lot within Bavarian Village Subdivision. The platted and recorded Bavarian Village Subdivision serves as the vicinity map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or
			Findings	N/A the property is not currently mapped to be in the floodplain/floodway. The property is not within the avalanche overlay.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030. J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Findings	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .18	Lot area of each lot.
			Findings	Sublot sizes are indicated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .19	Existing mature trees and established shrub masses.
			Findings	Existing trees and a landscaping plan indicating improvements to the site were included with the Design Review application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .20	To be provided to Administrator: 20. Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.

48			Findings	This standard has been met. The proposed West Ketchum Residences subdivision name has not been used by another project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030. J .21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Findings	N/A this project will connect to municipal services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .22	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Findings	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030. J .24	A digital copy of the preliminary plat shall be filed with the administrator.
			Findings	This standard has been met.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			Findings	This standard has been met. Some existing trees are being removed but a landscaping plan for the development, which includes installation of new trees, was approved with the Design Review application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
			Findings	N/A at this time.

			16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Findings	N/A at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			Findings	N/A at this time.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Findings	N/A at this time.

50	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <p>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</p> <p>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for</p>
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Table 3: Townhouse Preliminary Plat Requirements

Townhouse Preliminary Plat Requirements				
Compliant			Standards and City Council Findings	
Yes	No	N/A	City Code	City Standards and <i>City Council Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.B	<p>Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.</p>
			Findings	The applicant has submitted the HOA articles of incorporation and proposed association bylaws.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.1	<p>Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection.</p> <p>1. All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.</p>
			Findings	This project is being reviewed for compliance with all applicable standards and is following the procedure for townhome platting.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.2	<p>The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.</p>
			Findings	This Preliminary Plat application follows Design Review approval of the project.

51	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.3	The preliminary plat, other data, and the commission's findings may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.
			Findings	The Preliminary Plat is intended to be forwarded to Council prior to construction commencing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.4	In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.
			Findings	N/A at this time.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code.
2. Under Chapter 65, Title 67, of the Idaho Code the City has passed a subdivision ordinance, Title 16.
3. The City of Ketchum Planning Department provided adequate notice of the time, place, and summary of the applicant's proposal to be heard by the Commission for review of this application during a public hearing.
4. The Commission has authority to hear the applicant's Preliminary Plat Application pursuant to Chapter 16.04 of Ketchum Code Title 16.
5. The project **does** meet the standards of approval under Chapter 16.04 of Subdivision Code Title 16.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **recommends approval to City Council** of this Preliminary Plat application this Monday, March 9th, 2020 subject to the following conditions:

1. The following notes shall be added to the Final Plat:
 - a. All water mains and services are private. Maintenance and repairs are the responsibility of the property owner or association.
 - b. Should repairs be required on any part of the public sewer main the City of Ketchum will not be responsible for repair or replacement of pavers, landscaping, or heating system.
2. The Covenants, Conditions, and Restrictions (CC&R's) shall be simultaneously recorded with the final plat, and the City will not now, nor in the future, determine the validity of the CC&R's.
3. The failure to obtain Final Plat approval by the Council, of an approved preliminary plat, within two (2) years after approval by the Council shall cause all approvals of said preliminary plat to be null and void.

4. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map.
5. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
 - d. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Planning and Building Department for the official file on the application.
7. All requirements of the Fire, Utility, Building, Planning, and Public Works departments of the City of Ketchum shall be met. The applicant shall comply with all City Department conditions as described in Tables 1 & 2.

Findings of Fact **adopted** this 9th day of March, 2020.

Neil Morrow
Chair
Planning and Zoning Commission



City of Ketchum

March 9, 2020

Ketchum Planning & Zoning Commission:

Recommendation to review the additional materials requested of and submitted by the applicant, hold a public hearing and review any new testimony, and approve with conditions the PEG Ketchum Hotel Design Review

Recommendation and Summary

Staff is recommending the Ketchum Planning and Zoning Commission (PZ or Commission) make the following motion:

Move to approve PEG Ketchum Hotel, LLC's Design Review application with conditions as set forth in the Findings of Fact, Conclusions of Law and Order of Decision provided in Attachment 1.

The reasons for the recommendation are as follows:

- The applicant has provided the additional clarification on landscaping, the two larger retaining walls along State Highway 75, and west-side electrical and mechanical details as requested by the PZ (see **Attachment 2**).
- The Commission has reviewed the record, including public comment (see **Attachment 3**), Version No. 4 of the Project Master Plan, and the Findings of Fact, Conclusions of Law and Order of Decision prepared by the Staff and City Attorney consistent with the Commission's direction on February 24, 2020.
- As conditioned, the Project complies with the Ketchum Municipal Code as set forth in the Findings of Fact, Conclusions of Law and Order of Decision provided in **Attachment 1**.

Background & Analysis

Refer to 2/24/20 Staff Report for Details.

Attachment

1. PEG Ketchum Hotel, LLC's Design Review Findings of Fact, Conclusions of Law and Order of Decision, including Project Design Review Submittal Drawings (Exhibit 1) – **click on following link:**
https://ketchumidaho.org/sites/default/files/fileattachments/planning_amp_building/project/37921/200304_-_ketchum_hotel_-_design_review_application_update.pdf
(Includes 2/24/20 submittal drawings, plus additional landscaping materials drawing and renderings)
2. Additional Applicant Submittal Item: Spectrum Engineering March 2, 2020 Mechanical Narrative & Drawings; Spectrum Engineering March 2, 2020 Electrical Narrative & Drawings (Exhibit 3E)
3. Slette February 27, 2020 and Gigray February 28, 2020 Memorandum (Exhibit 3D)

Attachment 1



City of Ketchum
Planning & Building

**BEFORE THE PLANNING & ZONING COMMISSION
OF THE
CITY OF KETCHUM**

IN RE:

PEG Ketchum Hotel, LLC)	FILE No. P20-019
Applicant)	FINDINGS OF FACT, CONCLUSIONS OF LAW AND
Design Review)	DECISION
)	

THE ABOVE ENTITLED MATTER coming before the Planning and Zoning Commission of the City of Ketchum (the “PZ” or “Commission”) pursuant to the PEG Ketchum Hotel, LLC Application for Design Review and does hereby make and set forth the Record of Proceedings, Findings of Fact, Conclusions of Law, and Order of Decision as follows:

SECTION 1

SUBJECT APPLICATION and RECORD OF PROCEEDINGS

PROJECT: PEG Ketchum Hotel, LLC or Ketchum Tribute Hotel or Ketchum Gateway Hotel

FILE NUMBER: P20-019

APPLICATION TYPE: Design Review

REPRESENTATIVE: AJC Architects, Eggers Associates Landscape Architecture, Galena Engineering

OWNER/APPLICANT: PEG Ketchum Hotel, LLC (the “Applicant”)

REQUEST: Design Review

LOCATION: 251 S. Main Street – Ketchum Townsite Lots 3, 21, FR 22 Blk 82 N 10’ x 110’ of alley S 20’ x 230’ of alley, 260 E. River Street – Ketchum Townsite Lot 2 Block 82 10’ x 110’ of alley, and 280 E. River Street – Ketchum Townsite Lot 1 Block 82 (Gateway site)

ZONING: Tourist (T) Zoning District

OVERLAY: Floodplain & Waterways Design Review Subdistricts

NOTICE and HEARINGS:

PRIOR PROCEEDINGS:

1. Notice of Hearing on the Application were originally published for the original public hearing on this Application by the Planning and Zoning Commission (the “PZ” or “Commission” or “Commissioners”) July 29, 2019 public hearing in the Idaho Mountain Express, the official newspaper, on July 10, 2019. On July 10, 2019 notice of the hearing was mailed to the property owners within 300 feet of the subject real property and affected agencies. The July 29, 2019 hearing was convened including staff report, presentation by the Applicant and public comment. The Commissioners continued the public hearing to July 30, 2019 and again on August 12, 2019. These hearings were centered upon the Commissions review and consideration of the Applicant’s project plans for a new hotel at the Gateway site consisting of five inter-related applications.
2. On August 12, 2019 the Commission issued its Findings of Fact, Conclusions of Law, Order of Decision and Recommendation (PZ Findings) inclusive of the approval to advance the developer’s Pre-Application Design Review (P19-061) to full Design Review (P20-019). In the PZ Pre-Application Design Review Findings, the Commission provided a Reasoned Statement moving the hotel project from pre-Application Design Review to full Design Review provided that the Applicant specifically address the following with the full Design Review submittal: (a) The Landscape Plan shall provide a comprehensive strategy for the riparian area including public access to Trail Creek, provide a substantial buffer between land uses and particularly between the adjacent office buildings to the west, provide relief and soften the design of the building façade, and mitigate noise pollution; (b) The submittal shall specifically address traffic, circulation, and pedestrian safety as well as associated mitigation measures and remedies; (c) In order to soften the hotel’s impact to the adjacent property located at 220 E River Street, the Applicant shall incorporate more undulation, relief, and material differentiation at the west façade; (d) A detailed plan addressing lighting, noise, and signage shall be submitted for review with the final Design Review submittal; (e) The submittal shall address sustainability measures related to building design and hotel operations as well as incorporate above code green standards; and (f) The Applicant shall meaningfully address all feedback provided by the Planning & Zoning Commission, including critiques related to the bulk and mass of the building, the tiered outdoor terrace architectural feature at the northeast corner, and solar access with the final Design Review submittal package. (the “ PZ August 12th Recommendation”)
3. In October 2019 the Ketchum City Council (KCC or Council) received the PZ August 12th Recommendation on the inter-related applications of the hotel project. After a series of public hearings held by the City Council between October 7, 2019 and February 3, 2020 the following actions were taken by the Council on each of PEG’s project applications: (a) The Council conditionally approved the Lot Line Adjustment and Planned Unit Development Conditional Use Permit (PUD) for the Project; and (b) The Council continued its review of the Project Development Agreement.
4. Notice was published for the February 24, 2020 PZ public hearing in the Idaho Mountain Express, the official newspaper, on Wednesday February 5, 2020. On February 5th notice of the hearing was mailed to the property owners within 300 feet of the subject real property and affected agencies. The Public Hearing was conducted by the Commissioners on February 24, 2020 as noticed. At the hearing the

Commissioners conducted a site visit and then reconvened the hearing at City Hall Council Chambers and received the staff report by John Gaeddert Director of Planning and Building; and the presentations from the Applicant Nick Blayden, Ryan McMullen (AJC Architects on behalf of the applicant) and Nicole Carey (Eggers & Associates landscape architect on behalf of the applicant), and public comment. The Commissioners then began preliminary deliberations and continued the hearing, by approved motion to March 9, 2020 to commence at 5:30 p.m., for the purposes of: Receiving an updated landscaping plan, including retaining wall details, and receiving and considering draft Findings of Fact, Conclusions of Law and Order of Decision to be prepared and presented by Staff and City Attorney in accordance with the Commissioners’ preliminary deliberations. The Public Hearing was reconvened on March 9, 2020 by the Commissioners and they received the staff report by John Gaeddert Director of Planning and Building who presented the draft Findings of Fact, Conclusions of Law and Order of Decision; and the presentations from the Applicant on the updated submittal materials. The Commissioners then continued their deliberations and by motion approved these Findings of Fact, Conclusions of Law and Order of Decision.

Exhibits and documents included in this proceeding:

<u>Exhibit Identifier</u>	<u>DESCRIPTION OF EXHIBITS AND DOCUMENTS</u>
<u>1</u>	PEG Ketchum Hotel, LLC’s Design Review Findings of Fact, Conclusions of Law and Order of Decision, inclusive of 2/24/20 Design Review Submittal Drawings and 3/9/20 Updated Drawings RE Updated Landscape Plan and Renderings – click on following link: https://ketchumidaho.org/sites/default/files/fileattachments/planning_amp_building/project/37921/200304_-_ketchum_hotel_-_design_review_application_update.pdf
<u>2</u>	Ketchum City departmental comments and conditions
<u>3A</u>	Application for Design Review
<u>3B</u>	Notice and Affidavit of July 29, 2019 Planning & Zoning Hearing
<u>3C</u>	Notice and Affidavit of February 24, 2020 Planning & Zoning Hearing
<u>3D</u>	Slette February 27, 2020 Letter and Gigray February 28, 2020 Memorandum
<u>3E</u>	Spectrum Engineering March 2, 2020 Mechanical Narrative & Drawings; Spectrum Engineering March 2, 2020 Electrical Narrative & Drawings

The Commission having reviewed the entire record consistent with Ketchum Municipal Code (KMC) does hereby make the following Findings of Fact, Conclusions of Law, and Order of Decision:

**SECTION II
FINDINGS OF FACT**

The City has reviewed a total of four designs for the hotel project. The February 24, 2020 Design Review drawings is referenced as Version No. 4 of the Project Master Plan. The drawings set forth in Version No. 4 of the Project Master Plan are the direct result of the KCC-approved PUD Findings, dated 2/3/20, which as noted in Condition No.1 of that decision required an increased west side yard setback totaling 16'.

2. For the purpose of tracking, the February 24, 2020 drawing set referenced and approved herein by the Commission with this Design Review approval is referenced as Version No. 4 of the Project Master Plan (**Exhibit 1**).
3. The Commission finds that the Applicant's Design Review (DR) application address each of the issues noted by the Commission in its reasoned statement from 2019, as well as further direction the Applicant has received from the Council as a result of its deliberations.
4. The Commission has reviewed the Attachment E.4.A PUD Findings for the PEG Ketchum Hotel, dated 2/3/20, as approved by the Council. The PZ finds that a number of provisions from KCC's approval of the Applicant's PUD application are material to the Commission's review of this DR application. Of particular note is the three-dimensional (3-D) building envelope granted with the project waivers for the PUD, including that the Project: (a) have a Floor Area Ratio (FAR) less than 1.6; (b) a maximum height of not greater than 72'; (c) a front yard setback of not less than 15'; (d) a rear yard / Trail Creek setback of not less than 35' (25' riparian and 10' sewer easement); (e) an east-side / State Highway 75 setback of not less than 20' with an average side setback along the highway of $\geq 31.3'$; and, (f) a west-side setback of not less than 16'.
5. The Commission finds that the February 24, 2020 Design Review drawings (Version No. 4 of the Project Master Plan) comply with the above 3-D building envelope metrics adopted by Council. The project complies with the setbacks specified by Council in the adopted PUD Findings, among other features, as set forth in Attachment E.4.A.
6. The Commission recognizes that Version No. 4 of the Project Master Plan includes the removal of all the vacated buildings on site and construction of a new approximately 130,000 gross square foot building comprised, among other features, of the following: 92 "keys" for hotel rooms; 23 beds of employee housing; a rooftop bar with terrace and patio space; a public outdoor plaza; restaurant, lounge; conference rooms; fitness room; and an outdoor guest space with hot tubs. The project also includes 84 underground parking spaces (53 spaces are dedicated to hotel operations, 18 spaces are dedicated to employee housing, and 13 spaces are devoted to public use), as set forth in the KCC-approved PUD Findings.
7. The Commission concurs with the Council's determination that direct project ingress/egress to State Highway 75 (SH75) for anything other than fire emergency staging is not advisable. Based on 3rd party review by the city's traffic consultant (AECOM), the Commission concurs with Council that River Street is the preferred solution for project access in terms of acceptable level of service, traffic flow, circulation, deliveries, parking, snow removal, and pedestrian access. Conditions of approval, such as a north bound left turn lane, are required to be constructed by the applicant as a condition of certificate of occupancy for the project.
8. A full copy of the applicant's DR submittal drawings, also referenced as Version No. 4 of the Project Master Plan, is attached as **Exhibit 1**.
9. Pursuant to KMC §17.96.020, the purpose of Design Review is to maintain and enhance the appearance, character, beauty, and function of the City, to ensure that new development is complementary to the

design of existing City neighborhoods, and to protect and enhance the economic base of the City of Ketchum. As further identified in the 2014 Ketchum Comprehensive Plan, Design Review criteria and standards are intended to encourage new development to align with the community’s vision for Ketchum as an authentic mountain community with a world-class character, yet small town feel (p. 7). The Commission finds the Project to comply with the purpose and intent of KMC §17.96.020 and the 2014 Ketchum Comprehensive Plan, respectively.

- 10. The Commission finds the Project complies with the City’s Design Review Improvements and Standards Analysis and Considerations. Specifically, Table 1 herein below sets forth how the Version No. 4 Project Master Plan complies with the City’s Design Review Improvements and Standards Analysis and Considerations.

Table 1: Design Review Improvements and Standards Analysis and Considerations

Design Review Improvements and Standards Analysis and Considerations KMC § 16.08.080 G 1 IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	Ketchum Municipal Code §	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.050.A.1 Criteria	The project does not jeopardize the health, safety or welfare of the public.
			Commission Finding	<i>As conditioned herein with controls on design, inclusion of employee housing, pedestrian circulation and improvements within public rights-of-way, among other provisions set forth in the PUD Findings adopted by Council, the Commission finds the project will not jeopardize the health, safety or welfare of the public.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080 G 1 & 17.96.050.A.2, Criteria	The plan is in conformance with and promotes the purposes and goals of the comprehensive plan, zoning ordinance, and other applicable ordinances of the city, and not in conflict with the public interest: Pursuant to subsection 16.08.070D of this chapter, all of the design review standards in chapter 17.96 of this code shall be carefully analyzed and considered. This includes detailed analysis of building bulk, undulation and other design elements. The site plan should be sensitive to the architecture and scale of the surrounding neighborhood. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.
			Commission Finding	<i>The Commission carefully analyzed and considered the standards of these sections and finds the project site plan to be sensitive to the architecture and scale of the surrounding neighborhood and is in harmony with the surrounding area. The Commission also finds that the Project conforms with applicable standards and criteria as set forth in KMC Chapter 96 and Title 17, as are applicable and not in conflict with the provisions of KMC Chapter 08 of Title 16 [the Planned Unit Development Ordinance].</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Commission Finding	<i>The property is located at 260-280 E. River Street with approximately 334 linear feet (LF) of frontage along State Highway 75 (SH75) and approximately 170 feet of linear frontage adjacent along River Street. As stipulated by the Ketchum City Council approval of the associated Planned Unit Development application for the</i>

				<p>property, the project will not have direct access onto SH75 for anything other than emergency access staging. The applicant is responsible for all costs associated with connecting the project to River Street, including access to the parking garage, pick-up/drop-off, hybrid delivery/public parking, and various sidewalk and plaza improvement. The project is designed consistent with the recommendation of the city's 3rd party traffic consultant (AECOM) and subject to an encroachment permit by the city. As conditioned, the Project complies with this standard.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			Commission Finding	<i>The final street design, including snowmelt, delivery parking, pick-up/drop off areas, plaza amenities, sidewalk width/locations, ADA ramps, and bulb out are subject to city engineer approval, as well as an encroachment permit by Council. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			Commission Finding	<i>The project qualifies as a substantial improvement and 8' sidewalks along River Street and SH75 are required, totaling approximately 504 LF. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Commission Finding	<i>The project qualifies as a substantial improvement and 8' sidewalks along River Street and SH75 are required. The city ROW standards also require on-street parking, which is being mitigated with 13 public parking spaces within the Applicant's parking garage. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Commission Finding	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Commission Finding	<i>The applicant proposes to install a new 8' wide sidewalk along the north and east perimeter of the property. The new sidewalk will be approximately 504 total linear feet (LF) as follows: 170 LF along River Street and 334 LF along SH75. The River Street sidewalk will be snow melted by the applicant. The exact location of the sidewalk will be noted within the ITD and River Street Encroachment Permits. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Commission Finding	<i>The new sidewalk along the applicant's property connects to existing and future city sidewalk infrastructure. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as

				approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Commission Finding	<i>N/A. The project does not propose making a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			Commission Finding	<i>All storm water shall be retained on site including water from roof drains. The applicant has submitted Storm Water Pollution Plan (Civil Drawing Sheet C2.0 from Galena Engineering), as well as a preliminary utility plan with drainage details on Civil Drawing Sheet C3.0 of the Design Review submittal. The proposed drainage plan includes a system of drywells. Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Attachment for City Department comments including City Engineer and Streets Department conditions. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Commission Finding	<i>See above Commission Finding for Ketchum Municipal Code §17.96.060(C)(1). All drainage improvements are required to meet City standards. All drainage improvements shall be indicated on civil plans stamped and Idaho licensed engineer and require review approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Commission Finding	<i>A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer. The City Engineer may require additional drainage improvements as necessary. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			Commission Finding	<i>All drainage facilities on both private property and the City owned right-of-way shall meet City standards. Final drainage specifications shall be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Commission Finding	<i>The applicant is aware of this requirement and the preliminary plans indicated in the Galena Engineering set of Civil Drawings show utility connections and locations. Also, will serve letters have been received from all the major utility service providers for the project, including IMG, Idaho Power, City Water and Sewer, Cox, and Clear Creek. See Attached Public Works Department comments and other will serve letters. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Commission Finding	<i>All utilities within the development site shall be underground and/or concealed from public view. The transformer for the Project is proposed in the Northwest Portion of the site with landscape screening. See above Commission Findings for Ketchum Municipal Code §17.96.060(D)(1). As conditioned, the Project complies with this standard.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060(D)(3)</p>	<p>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</p>
			<p>Commission Finding</p>	<p><i>The applicant is aware of this requirement and will comply with these standards. As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060(E)(1)</p>	<p>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p>
			<p>Commission Finding</p>	<p><i>The Applicant notes the following about how the materials and colors selected for the project complement Ketchum's townscape, surrounding neighborhood, and adjoining structures:</i></p> <p><i>STONE – Located primarily along the base volume of the restaurant and lobby along River Street. Our stone selection is a dry-stack stone with natural buff / light gray tones and horizontal directionality. Natural stone tones intended to reflect the prevalent stone formations around Wood River Valley, and rustic residential architecture of the area.</i></p> <p><i>BOARD FORMED CONCRETE – The grounding base element of this building, as the site drops, the board formed concrete foundation walls and site terraces with the landscape. Horizontal board formed texture gives a more natural textured finish vs. a traditional smooth face concrete. This material is seen throughout the valley on residential and commercial projects.</i></p> <p><i>STOREFRONT GLAZING – All windows, doors, and storefront glazing will be a simple dark bronze / black frame with high performance clear glazing. Dark frames tend to visually disappear from the architecture as other textures pop. Dark frames historically relate to old steel framed windows found though-out Western vernacular architecture, and are seen on most commercial and residential buildings in Ketchum.</i></p> <p><i>CHARWOOD VERTICAL SIDING – This highly sustainable material is a low maintenance, fire resistant, textured gray wood to contrast / compliment the clear cedar siding throughout the project. Historically grey wood is achieved through staining or natural aging (see adjacent Korb property), but requires regular maintenance and sealing. Charred wood produces a natural gray wood aesthetic that doesn't require future staining or sealing. Gray finished wood is seen throughout Wood River Valley on historic structures, commercial structures, and all grades of residential projects.</i></p> <p><i>STEEL GUARDRAIL / STEEL PLATE FASCIA – Similar to the dark bronze storefront, clean horizontal steel railings and perimeter roof detailing provides a subtle contemporary touch that ideally disappears from the overall project to let other elements pop. The black flat bar railings are visually lighter than a heavy wood railing or panel railing, and require less maintenance / upkeep than a clear glass railing would. Exposed steel details are common on much of the local architecture, and relates back to historic mining and ski tower structure.</i></p>

				<p>CEDAR WOOD HORIZONTAL SIDING – Wood siding is probably the most commonly seen exterior material in the Wood River Valley and Ketchum. It’s natural texture provides visual connection to surroundings as opposed to more commercial materials like flat metal panel or stucco. ‘Clear’ wood defines the grade of wood to have minimal knots or variation in the grain, so just denotes a higher finish grade of wood. This material will be sealed to maintain a more consistent finish, but color will change over time with exposure to the elements.</p> <p>VERTICAL WOOD SLAT W/ METAL PANEL BEHIND – The wood slat siding will use the same clear cedar material as the building siding, but in a lighter slatted application to provide a more vertical structural appearance on a few select locations of the building. The intent of this material is to act as a lighter accent to the mass of the building itself. Dark bronze or black metal panel behind will contrast the clear cedar and make the wood stand out from it’s background. Again, wood is one of the most common building materials in the area, and this is a creative use of a common material.</p> <p>Furthermore, the applicant has provided details of materials to be used on each elevation of the building.</p> <p>The Applicant has also submitted a Master Signage Plan consistent with KMC §17.127.030.B. Because a name for the restaurant and hotel has not been determined, generic names (restaurant and hotel) are provided in the submittal package. Locations for four signs have been noted, as depicted in the submitted drawing set.</p> <p>The site is eligible for 56 square feet of wall signage on River Street and 60 square feet along its SH75 frontage. The proposed signs are less than the aforementioned allowable square footage areas available for signage on the property. As such, the signs are eligible for administrative approval.</p> <p>As conditioned, the Project complies with this standard. The project materials, colors and signing are found to be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p> <p>Commission Finding N/A. There are no identified landmarks on the property.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<p>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</p> <p>Commission Finding N/A as the existing buildings on site will be demolished and the project will be new construction.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	<p>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</p> <p>Commission Finding The proposed sidewalks will connect as required. The subject property is a corner lot with street frontage along River Street and State Highway 75/Main Street. As a substantial improvement, the hotel project is required to install sidewalks equal to the length of the subject property lines adjacent to River and Main Streets. All sidewalks shall be constructed to City standards contained in KMC §12.04.030.M as well as all applicable City right-of-way standards. The main entryway to the hotel lobby is from River Street. The pedestrian ways along River Street will include a snowmelt system,</p>

				<p><i>which serves to further activate the corner of River and Main Streets by enhancing the pedestrian streetscape. The proposed front façade has been designed with ground floor windows and glass doors, which invites the public and hotel guests into the hotel. As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060(F)(2)</p> <p>Commission Finding</p>	<p>The building character shall be clearly defined by use of architectural features.</p> <p><i>Congruous with the natural topography of the development parcel, the mass of the building steps up the sloping grade from the south corner of the parcel adjacent to Trail Creek to the front property line at River Street. The vertical mass at the east elevation fronting Main Street is broken up by variation in roof heights, material differentiation, and a combination of horizontal and vertical elements. Projecting balconies and canopy elements serve to articulate breaks within the vertical plane. The circulation corridor design at the center of building serves as a prominent architectural feature anchoring the hotel to the site. Characterized with window openings at the east elevation fronting Main Street, the fenestration proposed with the circulation corridor serves as a visual invitation welcoming the public inside the hotel in order to enjoy the rooftop bar, restaurant, and lounge. The rooftop bar overhang element echoes the overhangs proposed at the entry and the corner of Main & River Streets linking the public amenities proposed with the project including the restaurant, dining area, and lounge.</i></p> <p><i>With its reasoned statement at pre-application Design Review in 2019, the Commission requested the “Applicant meaningfully address ... critiques related to the bulk and mass of the building [including] the tiered outdoor terrace architectural feature at the northeast corner” of SH75 and River Street. This element of the hotel design now integrates with a public plaza, as recommended in the Gateway Study, at the corner of River Street and SH75. This public space adjoins the hotel entry as well as a canopy covered bar patio on Level 01 that is retained by a board formed concrete adjacent a new 8’ wide sidewalk along SH75 and landscape screened from SH75 (toward southeast). The architecture in this corner is tiered from the SH75 street level by a retaining wall, the top of first floor plate level roof overhang canopy above the public outdoor dining, and then three floors of patios that provide terraced outdoor living areas for certain suites. The Commission requested what was previously viewed as imposing and tower-like feature in the design be softened. The new pedestrian interface at this intersection and use of vertical wood slat with sheet metal behind, steel guardrail, and use of thermally broken windows have been specified to address the Commission’s previous concerns.</i></p> <p><i>During the Commission’s pre-application design review hearing, concern was expressed regarding the rooftop bar in relation to noise and light pollution. KMC §17.132.030.H requires all exterior lighting be full cutoff fixtures with the light source fully shielded. Fixtures shielded underneath canopies must be flush mounted or side shielded. KMC §9.08.040.8 enumerates standards for noise levels permitted in the nighttime, daytime, and evening. The Commission encouraged the applicant to consider treatments to mitigate the impact of noise and light emanating for the proposed rooftop bar. The applicant has addressed the previous concerns raised by moving subject rooftop bar one story lower in the overall design of the building (now at Level 03, versus previously at Level 04), by extending the roof canopy over the bar patio space, complying with city lighting specifications, and adding green roof landscaping to the Level 02 terrace that is one story below and accessible by an outdoor stairway from the rooftop bar/patio.</i></p>

				<p><i>The building character is clearly defined by the combined use of vertical elements, such as char wood vertical siding and wood slats with sheet metal behind panels, and horizontal elements, such as cedar wood horizontal siding. Also characterizing the building is its transparency, including thermally broken windows and accessible balconies with steel guardrails for the hotel rooms, as well as canopies and steel plate knife edge fascia to offset architectural elements.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<p>There shall be continuity of materials, colors and signing within the project.</p> <p><i>Applicant has provided a materials board consisting of Clear Cedar Screen, Clear Cedar T&G, Shou-sugi Ban Wood, Board-formed Concrete, Dry-stacked Stone, Black Steel Trim, Sand-Blasted Concrete and Flat-Bar Railing. Subject material board is characterized by natural materials including stone, steel, and wood with fenestration to celebrate the outside environment within interior common areas and living space. Notably, each of the 92 hotel rooms has access to outdoors with either a Juliet or full walk-out balcony. The materials are carried around the periphery of the building to create design continuity. Additionally, a sign master plan has been submitted by the applicant and will be subject to future administrative approval. As conditioned, the Project complies with this standard.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p><i>The applicant has proposed a landscape buffer southward of the front plaza bar patio characterized by a mix of landscaping, planter beds, and board-formed concrete and/or stone retaining walls. These improvements create a tiered, low to high, stepped back design complementary of the principal building. The Applicant has provided a more detailed landscape plan that softens the building façade, mitigates SH75 noise, and gives vitality to the 45% project open space. As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Commission Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p> <p><i>As the building form terraces down towards Trail Creek following the contours of the development parcel, the façade is distinguished by a combination of horizontal and vertical elements, such as the balcony railing and window openings, providing additional relief to the staggered facade. Horizontal elements terminate at the southernmost portion of the building, which is characterized by ample transparency and windows providing views of adjacent Trail Creek. The proposed staggered façade design at all elevations incorporates fenestration through window and door openings, varying roof heights, and material differentiation to provide relief the bulk and mass of the hotel.</i></p> <p><i>With the original project master plan in 2019, the Commission expressed concern about the proposed bulk and mass of the building and the associated impact to view corridors, appropriateness of the proposed scale of the hotel and compatibly with the surrounding neighborhoods. In order to mitigate these impacts, the Commission encouraged the Applicant to step back the building in order to improve solar access and view corridors.</i></p> <p><i>The Council agreed with the Commission’s bulk assessment and the proposed project FAR has decreased significantly to less than 1.6 as represented in the attached Design Review Drawings. Additional steps to reduce the appearance of</i></p>
			Commission Finding	

				<p><i>bulk and flatness from River Street and along the highway are noted in the Commission finding of subsection (E)(1) above. Notably, the façades now combine horizontal and vertical elements through the variation of natural siding materials, the placement of balconies and associated railings, the steel panels, as well as the fenestration. Further, the Commission complemented the Project Architect on “using open corners at the highest elevations of the building.” The entryway and circulation corridor are distinguished through the use of steel siding and the roofing forms at varying elevations. The front elevation is defined by thermally broken storefront glazing and cladding feature integrated with the proposed planters at the ground level and various green roof elements.</i></p> <p><i>Additionally, the Commission requested increased setbacks, landscaping and design considerations at the northwest corner of the building due to the reduced side yard setback. The Commission requested the Applicant provide more undulation and relief to the façade design including more steps and terraced elements. The Commission critiqued the design along this elevation for its lack of modulation and monolithic appearance and encouraged more undulation, stepping of the facades, and material differentiation.</i></p> <p><i>The Council agreed with the aforementioned west setback concern of the Commission and increased the 3-D building envelope as previously noted. Notably, Version No. 4 of the Master Plan is setback 16’ from the west property line. The building steps back at its upper floor and significant landscaping has been added.</i></p> <p><i>Two large retaining walls / terrace features are proposed adjacent SH75 using two different sets of material: black plate steel retainage and board formed concrete. To break up the mass of this design element a number of ideas were discussed, which as conditioned herein may require future Commission review.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	<p>Building(s) shall orient towards their primary street frontage.</p> <p><i>River Street has been analyzed by the design team, AECOM, city staff and the Council and determined to be the preferred solution for project access in terms of level of service, traffic flow, circulation, deliveries, parking, snow removal, and pedestrian access. Additionally, as determined by Council, direct access to the project from SH75 shall be limited to fire emergency staging only. The hotel is oriented towards River Street as the primary street frontage. As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	<p>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</p> <p><i>The project has no access to any public alleyway and, as such, this portion of the DR standard (F)(7) is not applicable. However, garbage storage for the project will be screened from public view. As set forth on the Level 01 Floor Plan, a trash / loading area is located just inside the parking garage off the garage vestibule. The applicant has obtained a will serve letter from Clear Creek Disposal for the project. Furthermore, any satellite receivers for the project or on the property shall be screened from public view. As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<p>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</p>

			Commission Finding	<i>The building design includes at the entrance to the hotel lobby a cantilevered canopy that terminates at the applicant's property line along River Street. The restaurant bar patio also is covered. Both features will prevent water from dripping or snow from sliding on areas where pedestrians gather and circulate. Furthermore, the applicant proposes to snow melt the front drop off, plaza, public sidewalk areas as part of its River Street Encroachment Permit with the City. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Commission Finding	<i>Approximately 500 linear feet of new sidewalk will be built within the River Street and SH75 public ROW abutting the property. The sidewalks will be 8' in width to comply with city standards. The sidewalk along the north-side of the hotel is proposed to be snow melted. Additional pathways are proposed on the applicant's property that wrap the southwest, southern and southeast parts of the building. These are internal walkways that connect to hotel ingress/egress points, various public entries, the dedicated fisherman's easement noted on the subdivision plat for Trail Creek, required hotel emergency evacuation routes, and the aforementioned public ROW sidewalks. Bike racks are also proposed consistent with hotel requirements. As conditioned, the Project complies with this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Commission Finding	<i>N/A as the applicant has not proposed any awnings that project over a public sidewalk. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Commission Finding	<i>As noted in the City Council-adopted PUD Findings set forth in Attachment E.4.A, including in part §17.116.030(C), the City finds the Project will be adequately served by necessary vehicular and nonmotorized transportation systems. This finding was made after reviewing the detailed traffic impact study (TIS) prepared by Hales Engineering, which AECOM (on behalf of the city) provided a peer analysis. As conditioned herein, the Commission finds that traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. In making this finding, consideration was given to assuring adequate sight distances and proper signage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Commission Finding	<i>No curb cuts or driveway entrances are proposed that are closer than twenty (20') feet to an intersection of two or more streets, as measured along the property line adjacent to the right of way. Improvements to River Street are subject to a city encroachment permit. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Commission Finding	<i>Significant attention has been given to the project by the city engineer, fire, streets and planning departments to assure that unobstructed emergency access, snow plowing needs, and other city design considerations are properly addressed with the</i>

				<i>project. See department comments in Table 2. Furthermore, the applicant has received a will serve letter from Clear Creek Disposal for the project. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Commission Finding	<i>This standard applies to on-site parking and circulation areas, not pedestrian and parking circulation areas within the public right-of-way. All on-site parking is located within the parking garage and the entrance to the parking garage is within the boundary the applicant plans to snowmelt. An extensive sidewalk network is proposed on-site for the public and guests. Portions of this sidewalk network need to remain free of snow for hotel evacuation purposes. As a result, the applicant walkways along the southwest and south portions of the project that are associated with hotel ingress/egress points will be snow melted. With 45% open space on-site and a network of snowmelt sidewalks, the applicant’s pedestrian circulation area is greater than 30%. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			Commission Finding	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			Commission Finding	<i>See above Staff comment for Ketchum City Code §17.96.060(H)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Commission Finding	<i>The applicant proposes a snowmelt system for the project. As conditioned, the Project complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			Commission Finding	<i>Pursuant to KMC §17.96.060.I, landscaping shall serve to enhance and complement the neighborhood and townscape as well as provide a buffer between land uses. The landscape plan incorporates a landscape buffer separating the hotel from Main Street. The landscape plan is comprised of a mixture of trees, bushes, grasses and flowers appropriate to the environment. Street trees are proposed to be incorporated into the streetscape design adjacent to River Street. All proposed street trees will require electrical outlets and irrigation and must maintain a minimum of 6 ft of clearance within the public sidewalk. Materials and vegetation types are required to be readily adaptable to the site’s microclimate, soil conditions, and orientation. All trees, grasses, and perennials must be drought tolerant and native species are recommended.</i> <i>Due to the requested waiver to reduce the west side setback, the Commission requested the applicant enhance the landscape design in order to provide a buffer between the hotel and the adjacent office buildings located at 220 E River Streets. A 16’ building setback and landscape buffer have been provided.</i> <i>The Commission called for the proposed landscape design to include a comprehensive strategy for the riparian area including a point of access for the public to access Trail Creek. This has been provided, inclusive of public access. Consistent with the Trail Creek Access – Landscape Plan or related amendments thereto, the Floodplain Development/Waterways Design Review approval previously approved by the Commission can be amended administratively to reflect the final Design Review landscape plan.</i>

				<p><i>The Commission noted the landscape plan should provide details for the proposed rooftop garden.</i></p> <p><i>The final landscape plan submitted with the final Design Review application shall be reviewed and approved by the City Arborist.</i></p> <p><i>Two landscape plans are included in the Design Review submittal. The landscape plan includes Aspen Trees, understory shrubs and wildflowers, native trees, shrubs, and grasses, as well as planters comprised of ornamental grasses and perennial flowers.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(2)	<p>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</p> <p><i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the mass of the building and complement the neighborhood and entry into town. The planters integrated within the front façade enhance the building design and facilitate the creation of inviting outdoor gathering areas. As proposed, the plantings along Main Street will complement the building and Gateway entrance into the City. As conditioned, the Project complies with this standard.</i></p>
			Commission Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(3)	<p>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</p> <p><i>The landscaping plan indicates native trees, shrubs, and grasses to conserve water will be installed. Proposed species are: (1) conifers, including lodgepole pine and subalpine firs; (2) specialty trees including flowering crabs; (3) deciduous trees including Swedish and quaking aspen; and (4) deciduous shrubs (spirea), groundcover/flowers and native grasses (blue oat). Quantities and locations are shown on Sheet L1. As conditioned, the Project complies with this standard.</i></p>
			Commission Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(1)(4)	<p>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</p> <p><i>The proposed landscaping will provide a buffer between office building to the west and SH75 to the east. The natural riparian landscaping along Trail Creek is retained. As conditioned, the Project complies with this standard.</i></p>
			Commission Finding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(J)(1)	<p>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</p> <p><i>Public amenities are required to be provided wherever sidewalks are installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, or art. The applicant proposes these amenities along River Street. All public amenities proposed to be installed shall meet all applicable City right-of-way standards and receive approval from the City Engineer and Streets Department. The addition of benches and other related public amenities where the applicant proposes public access from SH75 toward the south portion of the hotel site</i></p>
			Commission Finding	

are not specified but encouraged at time of certificate of occupancy. As conditioned, the Project complies with this standard.

11. The Commission finds the Project complies with the City’s PUD Project Waiver Consideration and Analysis / Tourist Zoning District Dimensional Standards. Details of this compliance are set forth within Table 2 herein below as follows. Table 2 sets forth how the Version No. 4 Project Master Plan complies with the City’s PUD Project Waiver Consideration and Analysis / Tourist Zoning District Dimensional Standards.

**Table 2: PUD Project Waiver Consideration and Analysis/
Tourist Zoning District Dimensional Standards.**

The Commission has reviewed the standards set forth in Table 2 (herein below), as well as Attachment E.4.A Section 2.5, as approved by KCC on February 3, 2020 and finds the Project in compliance with the Tourist Zoning District findings as follows.

Tourist Zoning Standards				
Compliant			City Standard & Commission Commission Findings	
Yes	No	N/A	KMC Section	City Standard & Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area: 9,000 square feet minimum.
			Commission Finding	<i>The property is 47,249 square feet in size and has a lot width with the one-lot subdivision application that exceeds the minimum lot size and widths required in the Tourist Zone. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Commission Finding	<i>Approximately 21,362 square feet of the property will remain open space, which is approximately 45% of the 47,249 square foot site. The Project has greater than the required thirty-five percent (35%) minimum open space set forth in the KMC for the Tourist Zoning District. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Setbacks Front: 15’ Riparian: 25’ SH75: 25’ / 32’ Side: the greater of 1’ for every 3’ in building height, or 5’
			Commission Finding	<i>Front & Riparian Setbacks: The project as set forth in the attached Design Review Drawings complies with the city’s 25’ riparian and 15’ front setback requirements. In accordance with KMC 17.88.050.E.3 the proposed pathway through the riparian zone and providing access to Trail Creek is approvable. Side Yard Setbacks: The Design Review drawings comply with the waivers conditionally approved as part of the PUD process by the City. Notably, the DR drawings show that the average setback of the proposed hotel along SH75 is greater than thirty-one feet (31’) and only one section of the building near River Street, as stipulated in the Council approval of the side setback PUD waiver, is within the 25’ setback. In this instance, the minimum east side setback of twenty feet (20’) is maintained. The project drawings also show that the building sixteen (16’) from the west side property line consistent with KCC approval of the PUD. The City finds that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Permitted Gross Floor Area Ratio: 0.5 or greater for hotels
			Commission Finding	<i>Floor Area Ratio (FAR): The Design Review drawings comply with the FAR waiver conditionally approved as part of the PUD process by the City. The Project has a FAR of less than 1.6. The City finds that this standard has been met.</i>

71	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Building Height Maximum Permitted: 35' or greater for hotels
				Commission Finding	<p><i>The Project proposes a maximum height of 72', which is permissible consistent with the City's PUD approval. Evidence in support of the Project's conditionally permitted allowance has been included in the 2/3/20 PUD approval of the Council. The City finds that this standard has been met, further noting that: (A) The Project site has a large slope from Trail Creek at the south end of the lot to the north end along River Street. The hotel is proposed as a four-story structure on River Street, and step / terrace down to three and then two stories nearest Trail Creek. (B) The KMC does not specify the maximum height of a four-story building. Historic references in the KMC, as well as the top floor plate of the adjoining Limelight Hotel show the hotel fourth floor to equal approximately forty-eight feet (48') while the top of the Limelight hotel penthouse parapet is 73.5' (C) Maximum height of the building shall not exceed 48' when the building is measured from the highest elevation of the property (along River Street) or 72' when building height is measured from the lowest elevation of the property (along Trail Creek). (D) During the transition where the four-story building along River Street steps down approximately thirty feet (30') toward Trail Creek, the forty-eight foot (48') high 4-story building reads like 6-stories at seventy-two feet (72') high. This is permissible consistent with KMC §16.08.020.B and desirable as follows: first, the height of the building at subject central location is below the forty-eight (48') 4-story horizontal plane established by precedent and with the top of the fourth floor at the adjacent Limelight; second, the City recognizes that in this central location of the structure, that the 4-stories of hotel use are sandwiched between two public amenities (employee housing and a roof top bar for the public). The unique characteristics of the site at this location, where the existing grade drops quickly in the center of the site, result in a portion of the building having a taller element of seventy-two feet (72') as measured from existing grade. The City finds this consistent with KMC §16.08.020.B, "[i]n the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control." (E) In comparison to both the Limelight and approved Bariteau hotels on opposing corners, the height of the proposed Hotel is lower and more closely aligned to the fourth floor of each building. (F) The Gateway Study and Subarea Analysis indicate that the proposed hotel is both by design and use consistent with envisioned plans for the corner of SH75 and River Street. and, (G) Further, the proposed hotel project is consistent with current Tourist Zoning District zoning allowances for hotels. Each of the attendant uses, including restaurant/bar, meeting rooms, and employee housing are also permitted in the Tourist Zoning District.</i></p> <p><i>As conditioned, the Project complies with this standard.</i></p>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut Permitted: <i>A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</i>
				Commission Finding	<i>There are no curb cuts proposed along State Highway 75. The new configuration results in less than thirty-five percent (< 35%) of the linear footage of street frontage devoted to access the off street parking within the parking garage. The City finds that this standard has been met.</i>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.050	Parking Spaces <i>Off-street parking standards of this chapter apply to any new development and to any new established uses.</i>
				Commission Finding	<i>As analyzed by staff and consistent with KMC §17.125, the Project has adequate parking for the proposed uses on the property. The project is parked with 84 on-site garage parking spaces. Of the 84 spaces provided for the Project not less than 13</i>

spaces are reserved for public use, 18 spaces are reserved for employee housing use, and the remaining 53 spaces are needed for hotel operations. As conditioned, the Project complies with this standard.

**SECTION III
CONCLUSIONS OF LAW**

- 3.1 The City is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code; and
- 3.2 The City pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code has the authority to enact the Ordinances and regulations which the City has exercised and approved Ordinances codified in the Ketchum City Code (“KMC”), and which are identified in Section II of these Findings of Fact, and which are herein restated as Conclusions of Law by this reference, and which City Ordinances govern the Applicant’s Project Application design review.
- 3.3 The City has the authority pursuant to Idaho Code Section 67-6518 to establish standards for building design and related development design which standards may be provided as part of zoning, subdivision, planned unit development, or separate ordinance adopted, amended, or repealed in accordance with the notice and hearing procedures provided in section 67-6509, Idaho Code, which the City has exercised by ordinance, codified at Chapter .96 of Title 17 of the KMC, for the processing of applications for design review of building development within the City of Ketchum.

ORDER OF DECISION

Based upon the above and foregoing Findings of Fact/Conclusions of Law and good cause appearing from the record, IT IS HEREBY ORDERED AND THIS DOES ORDER THAT:

ORDER NO. 1: Applicant’s Design Review application, as referenced herein inclusive of the drawings set forth in **Exhibit 1**, is approved subject to the following seventeen (17) conditions:

- 1. This Design Review approval is subject to the PUD Findings adopted by the KCC on 2/3/20 for the PEG Ketchum Hotel (also referenced as Attachment E.4.A).
- 2. This Design Review approval is subject to the conditions as set forth in Tables 1 and 2.
- 3. This Design Review approval is subject to all Ketchum City departmental comments and conditions as set forth in Table 1 of **Exhibit 2**.
- 4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho including the utilities and drainage plans to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
- 5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.

6. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
9. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. Any satellite receivers located on the hotel property shall be screened from public view.
11. The hotel project is required to install 8' wide sidewalks equal to the length of the subject property lines adjacent to River and Main Streets or 504 linear feet, whichever is greatest. All sidewalks shall be constructed to City standards
12. Lighting and noise related to the rooftop bar shall be in compliance with the following city code requirements: KMC §17.132.030.H requires all exterior lighting be full cutoff fixtures with the light source fully shielded. Fixtures shielded underneath canopies must be flush mounted or side shielded. KMC §9.08.040.8 enumerates standards for noise levels permitted in the nighttime, daytime, and evening.
13. Any modification to the existing Floodplain Waterways Design Review permit is subject to administrative approval.
14. Any modification to the proposed Sign Plan is subject to administrative approval.
15. Sidewalks that are required for the hotel evacuation plan shall be part of the hotel snowmelt system and kept free of snow. A snow melt diagram shall be incorporated into the drawing set approved at the time of building permit issuance to assure areas proposed for snowmelt are constructed as such and found operational as a condition of certificate of occupancy.
16. Construction of the two tallest terrace walls adjacent to SH75 with proposed materials of board formed concrete and block plate steel retainage may be subject to future design review at the time the application is filed for approval at the discretion of the Administrator.
17. The Commission encourages the Council as part of any Encroachment Permit approval for River Street improvements to establish guidelines for the use of natural gas within the proposed fire pit. The goal of such guidelines would be to limit emissions and to avoid continuous (Olympic Torch) type of operation.

Order No. 2: Final Action: These Findings of Fact, Conclusions of Law and Order of Decision are a final action of the Planning and Zoning Commission on this Design Review application unless the Applicant and or an Affected Property Owner files within Fifteen (15) days of this Order an Appeal to the City Council pursuant to Chapter 17.144 of Title 17 Ketchum Municipal Code.

Order No. 3: Direction to City Clerk: The City Clerk shall forthwith provide and serve a copy of these Findings of Fact, Conclusions of Law, and Order of Decision upon the Applicant, and to anyone who has been provided notice of the proceedings, and retain the original in the official records of the City.

74 These Findings of Fact are adopted this 9th day March, 2020.

Neil Morrow, Chairman

Notice to Applicant

The subject Design Review Application concerns a site-specific land use request and therefore this notice is provided to the Applicant pursuant to I.C. § 67-6535 (3) of the Applicant's right to request a regulatory taking analysis pursuant to I.C. § 67-8003.

Exhibit 1. PEG Ketchum Hotel, LLC's Design Review Submittal Drawings – **click on following link:**
https://ketchumidaho.org/sites/default/files/fileattachments/planning_amp_building/project/37921/200304_-_ketchum_hotel_-_design_review_application_update.pdf

Exhibit 2. Ketchum City departmental comments and conditions

Exhibit 1. PEG Ketchum Hotel, LLC's Design Review Submittal Drawings - [click on following link:](#)

https://ketchumidaho.org/sites/default/files/fileattachments/planning_amp_building/project/37921/200304_-_ketchum_hotel_-_design_review_application_update.pdf

Exhibit 2. Ketchum City Department Comments & Conditions

Table 1: City Department Comments

Design Review standards include criteria regarding street design (KMC §17.96.060.A), sidewalks (KMC §17.96.060.B), circulation design (KMC §17.96.060.G), drainage (KMC §17.96.060.C), and utilities (KMC §17.96.060.C). City Department comments, which include analyses of standards pertaining to public right of way (ROW) improvements, such as the installation of sidewalk, drainage, and utilities, are noted in this Table 1 as follows.

City Department Comments
<p><i>City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • The buildings address numbers shall be placed in such a position to be plainly visible and legible from River Street. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • The following doors shall be permanently signed: All room containing an R-Occupancy, Fire Sprinkler Riser Room, Alarm Panel Room, Electrical and Mechanical closets, Elevator Mechanical, Pool Equipment with Hazardous Material Placards for Pool Chemicals, room containing emergency radio repeater. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times around the entire building as noted on the Construction Management Plan. Once construction begins on the second floor and above, 26-foot aerial ladder truck access is required along one entire side of the building for evacuation of injured persons from upper floors. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • A written onsite emergency notification plan is required to be developed by the contractor’s onsite Safety Officer to notify emergency services of an incident and to direct responders to the actual incident location on the site. The plan shall be reviewed and approved by the fire department prior to commencing work on the site. • An approved NFPA 13 Fire Sprinkler system is required throughout the entire building per 2012 IFC Section 903.3.1.1. and City of Ketchum Ordinance #1125 (www.ketchumfire.org). Fire sprinkler systems shall be annually tested and maintained per NFPA 25 with a report of the inspection forwarded to the fire department annually. • Fire sprinkler floor control valves shall be installed on each level. They shall contain Check Valves, Main Drain Valves, flow switch isolation, control and annunciation of water flow on each individual floor. • Inspections of fire department permit required installations shall be scheduled at least 48 hours in advance.

- NOTE: One electronic set of fire sprinkler system plans, and two full size sets of fire sprinkler construction drawings shall be submitted to the Ketchum Fire Department in addition to the Idaho State Fire Marshals fire sprinkler plan submittal requirements. A separate Ketchum Fire Department Permit shall be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved Class I Standpipe system is required to be installed in all stairways. Fire hose connections shall be located on the intermediate landing of each floor including the basement level and roof levels. Fire hose connections to the standpipe system in the stairwells shall be gated 2 ½ inch NHT male couplings. The standpipe system shall be installed by the same contractor that installs the fire sprinkler system and shall meet the requirements of the most current Edition of NFPA Standard 14.
- The fire department connection to the fire sprinkler system and the standpipe system shall be located on the River Street side of the building. The fire department connections to the fire sprinkler system and the standpipe systems shall be 2 ½ inch female (NHT) couplings.
- An approved automatic smoke alarm system is required to be installed per IFC Section 907.2.8 and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a Ketchum Fire Department permit is required prior to installation of alarm systems. In addition, all fire sprinkler flow switches and tamper switches shall be interconnected to the buildings alarm system. Inspections and testing of fire detection and notification systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. Note: smoke detection is not required on the first floor in the lobby or restaurant areas.
- A Type I hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease vapors.
- The hotel shall prepare and Safety Evacuation Plan following the guidelines of Section 408.8 through 408.8.3 of the 2012 International Fire Code prior to the final inspection on the building.
- Stairways shall provide for roof access on all roof levels per Section 504.3 of the 2012 International Fire Code.
- An approved Emergency Responder Radio system shall be installed throughout the building per 2012 IFC Section 510. The Emergency Responder Radio System shall provide acceptable radio coverage for all emergency responders in all locations within the building and around the building. Testing and approval of the system by the fire department is required prior to any occupation of the premises.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 and NFPA Standard 10 both during construction and upon occupancy of the building.
- Approved key boxes shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key boxes shall be a Knox box brand and sized to accommodate keys to every door of the project. Note: Up to four (4) key boxes may be required.
- An approved fire access roadway shall be provided on the South side (River Side) of the building and be installed per 2012 International Fire Code Appendix D. The Fire access road shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times.
- An additional Fire hydrant shall be required on the corner of River Street and Main Street to meet the necessary for flow for the building.
- All fire doors shall in emergency stairwells have signage “Do Not Block Open” per Section 703.2.1 of the 2012 International Fire Code.
- Emergency Lighting Exit and Low-Level Exit signs shall be provided following Sections 1006 and 1011.2 of the 2012 International Fire Code.
- Note: Additional requirements may be added upon final plan review.

- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org or by contacting Lieutenant Greg Martin at the Ketchum Fire Department.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- Pursuant to KMC §12.04.020.C, building/construction plans shall be prepared by a professional engineer registered in the state and shall include the following information: (a) alignment and profile of all streets, (b) location of all underground utilities including alignment and depths, (c) location, size and type of all drainage structures, (d) connections to existing streets, drainage facilities, and all utilities, (e) adequate dimensions and details for accurate construction of all roadway features, and (f) adequate specifications to assure proper materials and workmanship to attain construction with design criteria, standard specifications and standard drawings.
- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- A detailed construction management plan is required. All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching ("DIG") Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").
- Soil nail walls are not permitted within the City of Ketchum.
- Street trees will require electrical outlets and irrigation.
- Applicant shall coordinate with the Streets Department regarding sign locations and associated bases if proposed for the project.
- The applicant shall submit will serves from Idaho Power and Clear Creek Disposal prior to issuance of a Building Permit for the project.
- Lighting within the public right-of-way is required and will need to meet city lighting standards along River Street and SH-75.
- Sidewalk snow removal will be the responsibility of the owner. A Right-of-Way Encroachment Permit is required for the proposed snowmelt system within the public ROW.
- The proposed encroachments within the River Street right-of-way are not approved with this Design Review application and require review and approval by the City Engineer and Streets Department. A ROW

Encroachment Permit approved by the Ketchum City Council will be required prior to issuance of a Building Permit for the hotel project. Final execution of the encroachment permit is required for C of O.

- If the project disturbs over 1 acre applicant must submit for coverage under the CGP and develop a project specific SWPPP prior to starting ground disturbing activities.
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities:

- DEQ approval may be required for all water and sewer lines serving the properties.
- Water service and main lines are private to all properties from the point of connection with city water.
- Water infrastructure maintenance and repair will be the responsibility of the property owners.
- All drywells and non-potable water lines must maintain legal separation from potable water lines.
- Water service must be taken off of the fire system in the mechanical/riser room prior to the point of diversion to the fire backflow device.
- A licensed plumber or mechanical engineer must determine the appropriate size for the meter.
- The proposed plans for the fire riser room, which is where the water meter shall be located, must be reviewed and approved by the Utilities Department.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

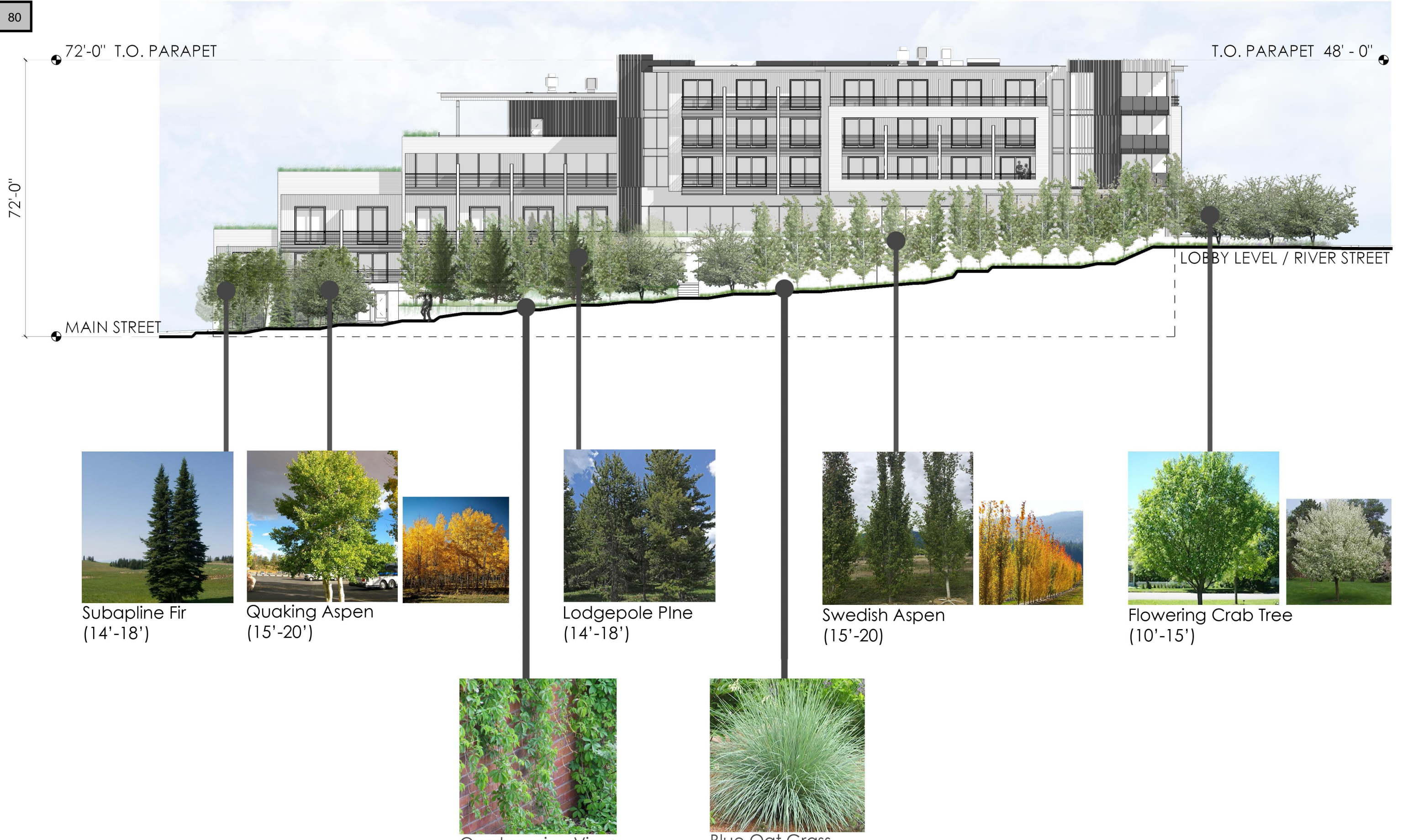
Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project's compliance with the Comprehensive Plan, zoning and dimensional standards, and Design Review evaluation standards.

W:\Work\K\Ketchum, City of 24892\Gateway Hotel Development Proposal .015\Design Review Process and Docs\Draft PEG DR Findings for 3-9-20 (wfg Edits).docx



Subapline Fir
(14'-18')



Quaking Aspen
(15'-20')



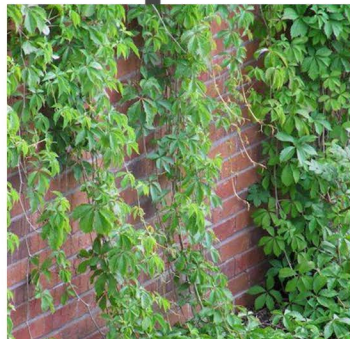
Lodgepole Pine
(14'-18')



Swedish Aspen
(15'-20')



Flowering Crab Tree
(10'-15')



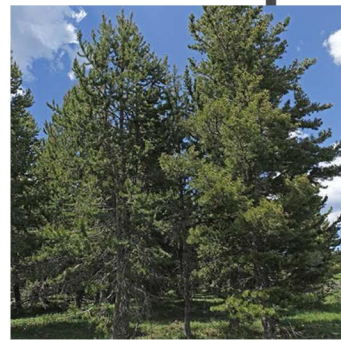
Overhanging Vines



Blue Oat Grass

EAST ELEVATION | HWY 75 | MAIN STREET

Note: Tree Size Shown at Time of Planting



Lodgepole Pine



Quaking Aspen



Spirea



Subalpine Fir

NOTE: Trees Size Shown at Time of Planting

WEST ELEVATION | TRAIL CREEK

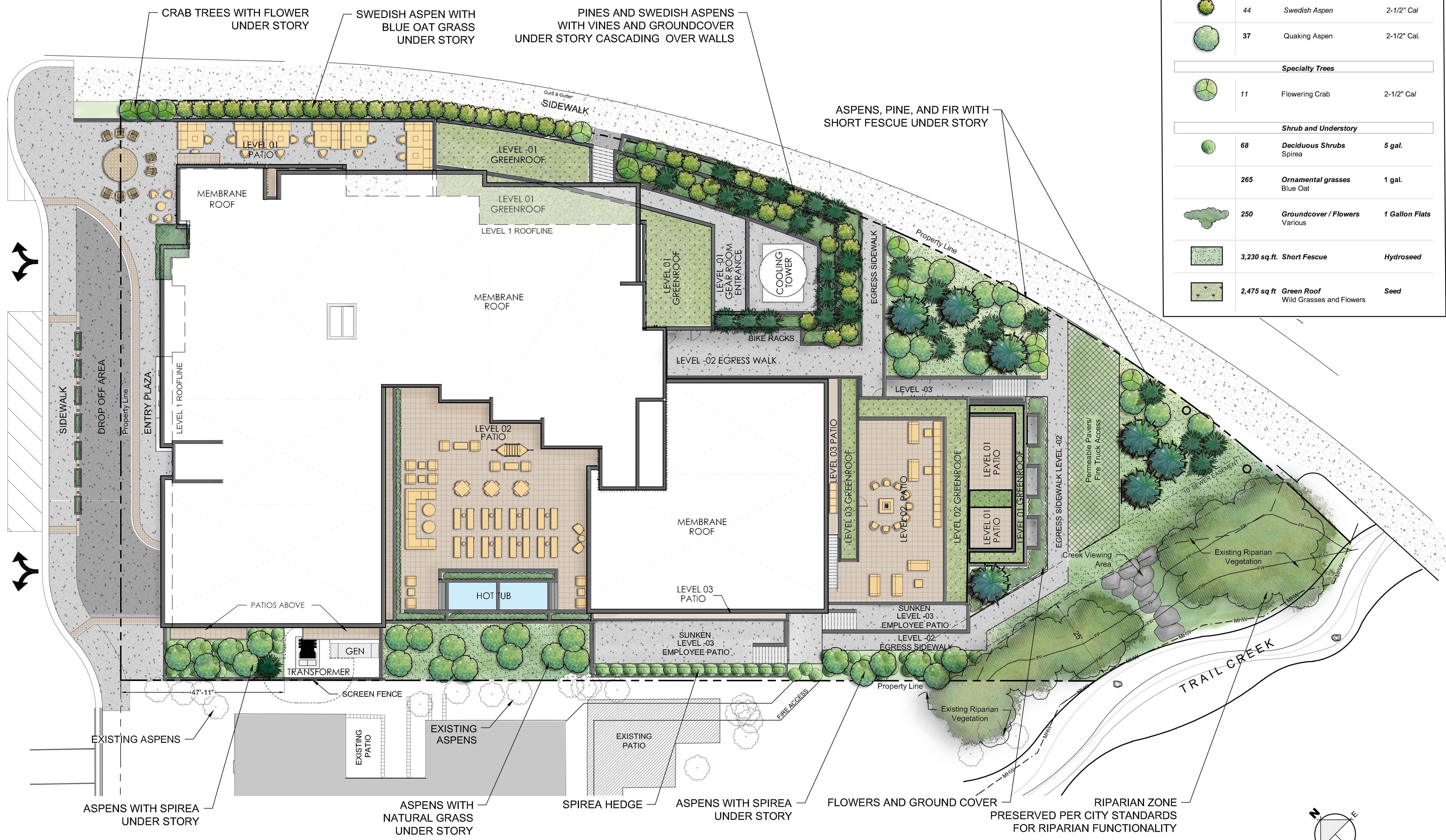
TRIBUTE PORTFOLIO | KETCHUM, IDAHO

D

C

B

A



Plant Legend			
Sym	Qty	Species	Size
Conifer Trees			
	28	Lodgepole Pine	14' - 18'
	7	Subalpine Fir	14' - 18'
Deciduous Trees			
	44	Swedish Aspen	2-1/2" Cal
	37	Quaking Aspen	2-1/2" Cal.
Specialty Trees			
	11	Flowering Crab	2-1/2" Cal
Shrub and Understory			
	68	Deciduous Shrubs Spirea	5 gal.
	265	Ornamental grasses Blue Oat	1 gal.
	250	Groundcover / Flowers Various	1 Gallon Flats
	3,230 sq.ft.	Short Fescue	Hydroseed
	2,475 sq ft	Green Roof Wild Grasses and Flowers	Seed

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ARCHITECT / CONSULTANT

EGGERS ASSOCIATES, PA
landscape architecture

P.O. Box 953
Ketchum, ID 83340

T: (208) 725-0988
F: (208) 725-0972

AUTHORITY HAVING JURISDICTION

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PROJECT DESCRIPTION
KETCHUM BOUTIQUE HOTEL

River & Main
 Ketchum, ID 83353

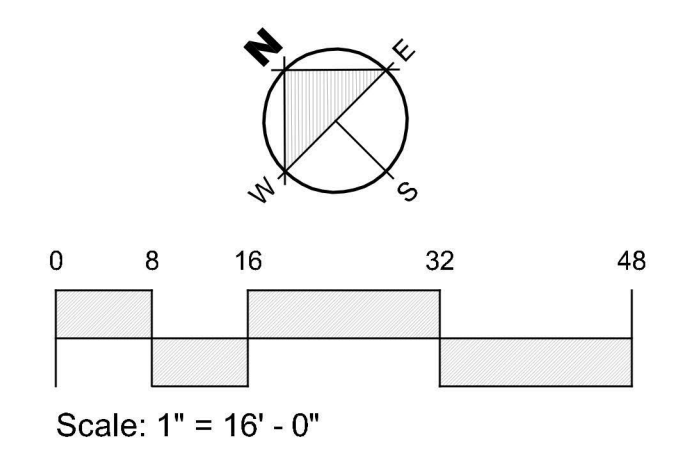
SHEET NAME:
PLANTING PLAN

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 02/24/20
 ISSUE TYPE: DESIGN REVIEW
 DRAWN BY: Author
 CHECKED BY: Checker
 PROJECT#: 1912.01

SHEET NUMBER:

L1.1



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Attachment 2



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Electrical Engineering
Technology Engineering
Acoustical Engineering
Lighting Design
Theatre Design
Fire Protection Engineering
Building Commissioning

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Ketchum Hotel – Mechanical West Property Items

Job: Ketchum Tribute Hotel
Re: Ketchum Design Meeting
From: Ryan Boogaard, PE, LEED AP **phone:** (801) 401-8420
Date: March 2nd, 2020 **email:** rhb@spectrum-engineers.com

The following is a description of the mechanical items located on the west wall of the hotel. Please refer to the document, ‘2020-03-02 Mechanical West Property Coordination’. The following description will reference tags and other items from the coordination document.

The level -2 portion of the West wall has a louver tagged as L-3. This louver is to provide intake air for the commercial clothes driers. Nearby, there are three 10” dia. ducts penetrating this west wall. These ducts are to provide exhaust for the commercial clothes dryers. They will produce minimal smells and noise. These ducts will produce steam in times of cold weather.

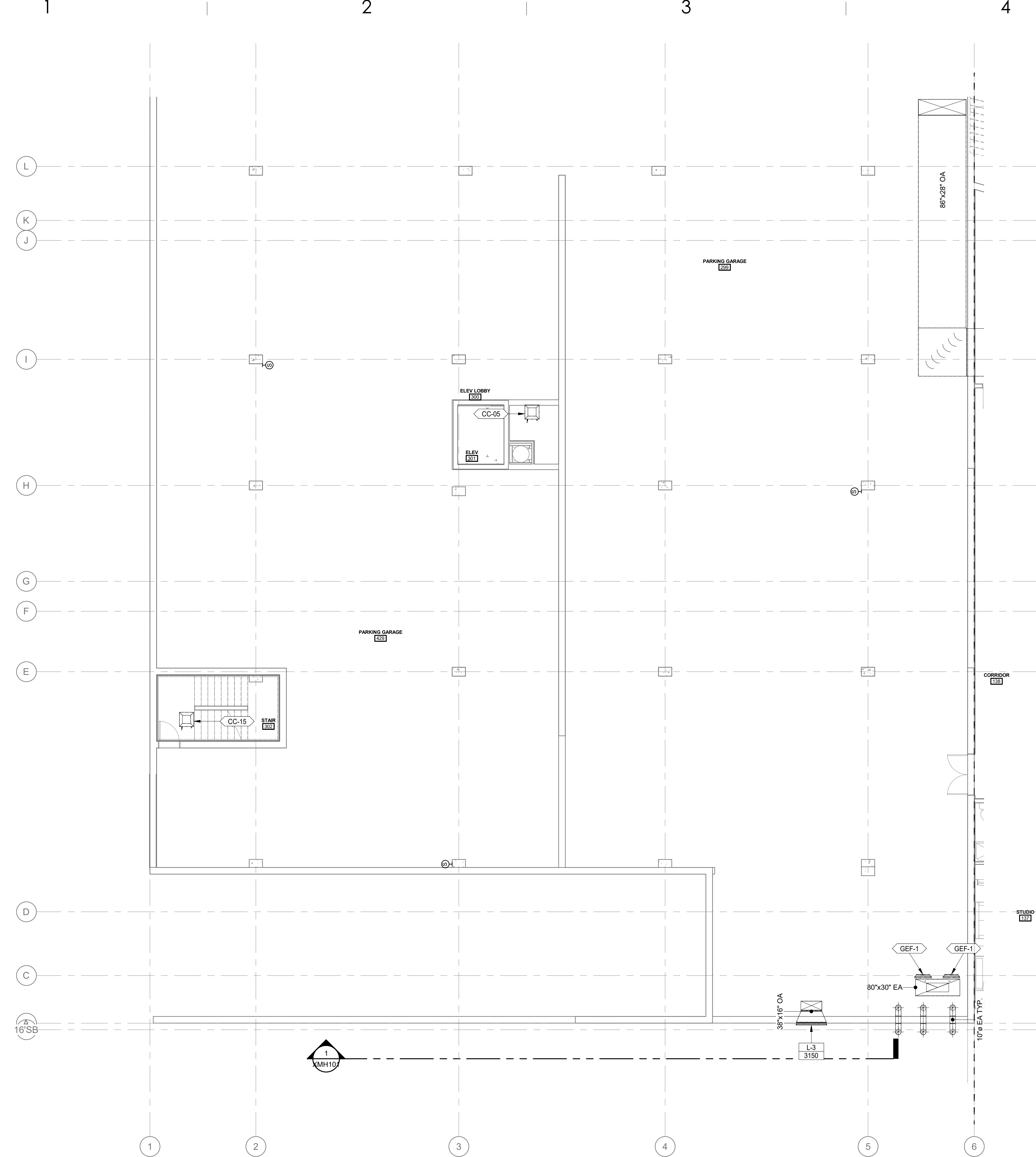
The level -1 portion of the West wall has a large louver tagged as L-1 serving the parking garage exhaust. This louver will not have any noticeable smells, but will create some noise. The noise levels will vary depending on vehicle operation rates in the parking garage. Typically the noise will be very minimal, but the noise will increase upon the call for the garage exhaust. We anticipate the louver to remain under 70 dB.

The level 1 portion of the West wall has the large ventilation ducts and louvers serving the building ventilation system. These louvers are tagged as L-2. These louvers will not have any smells, but will produce some noise. We anticipate these louvers to remain under 70 dB. Near louvers L-2, there are some round ducts penetrating the West wall of the building. These ducts are to serve the pool equipment and pool equipment room. These ducts will produce minimal to no smell and minimal noise. During times of cold weather, some of these ducts may produce steam.

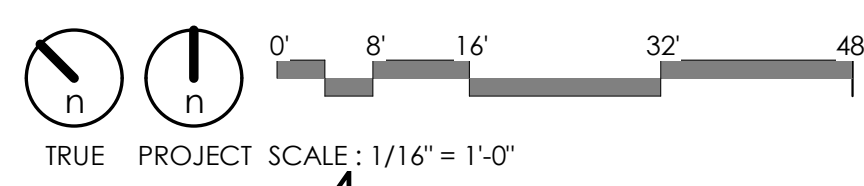
Respectfully,

Ryan Boogaard, PE, LEED AP BD+C

3/2/2020 1:52:38 PM BIM 340://Ketchum Hotel/Mech Central_Ketchum Hotel.rvt
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1 LEVEL -2 MECHANICAL PLAN - A
1/8" = 1'-0"



5 GENERAL SHEET NOTES

GENERAL SHEET NOTES

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salt lake city, ut 84105
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800-678-7077
801-328-5151
fax: 801-328-5155
www.spectrum-engineers.com

PROJECT DESCRIPTION
KETCHUM BOUTIQUE HOTEL
River & Main
Ketchum, ID 83353

SHEET NAME:
LEVEL -2 MECHANICAL PLAN - A

SHEET KEYNOTES

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 12/09/19
ISSUE TYPE: CONCEPT
DRAWN BY: CLD
CHECKED BY: RHB
PROJECT#: 1912.01

SHEET NUMBER:

MH102A

3/2/2020 1:52:43 PM BIM 360://Ketchum Hotel/Mech Central_Ketchum Hotel.rvt

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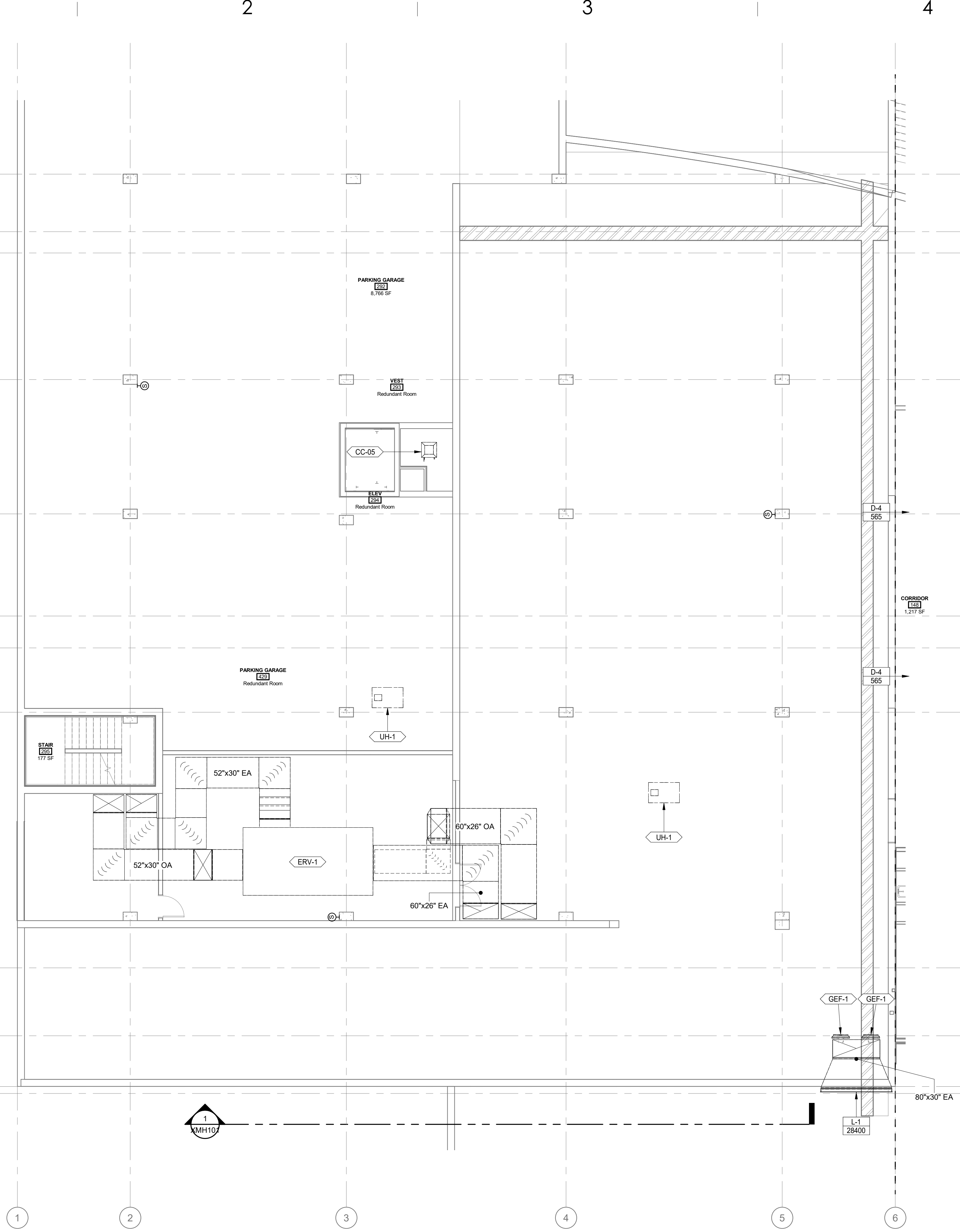
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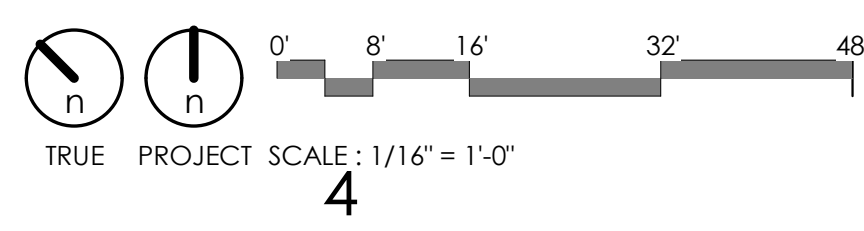
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1 LEVEL -1 MECHANICAL PLAN - A
1/8" = 1'-0"



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PROJECT DESCRIPTION
KETCHUM BOUTIQUE HOTEL

River & Main
Ketchum, ID 83353

SHEET NAME:
LEVEL -1 MECHANICAL PLAN - A

SHEET KEYNOTES

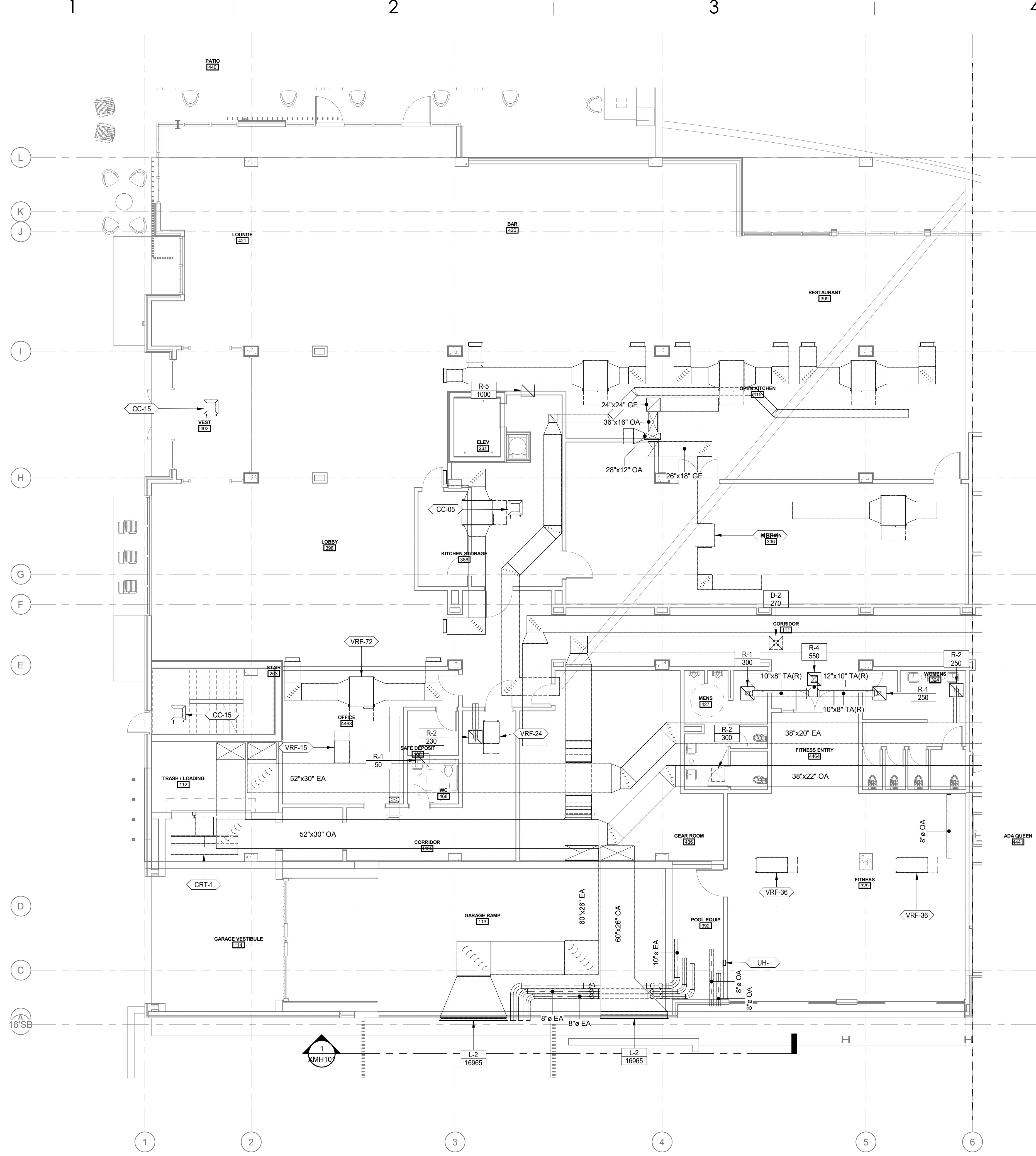
REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 12/09/19
ISSUE TYPE: CONCEPT
DRAWN BY: CLD
CHECKED BY: RHB
PROJECT#: 1912.01

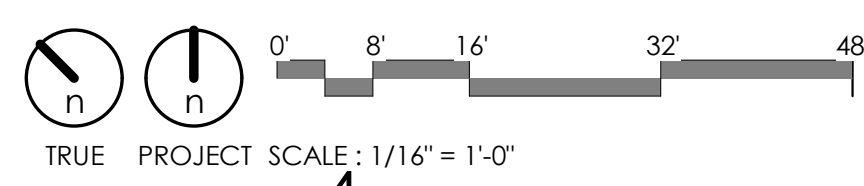
SHEET NUMBER:

MH103A

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1 LEVEL 1 MECHANICAL PLAN - A
1/8" = 1'-0"



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PROJECT DESCRIPTION
**KETCHUM BOUTIQUE
HOTEL**

River & Main
Ketchum, ID 83353

SHEET NAME:
**LEVEL 1 MECHANICAL
PLAN - A**

SHEET KEYNOTES

REVISIONS
MARK DATE DESCRIPTION

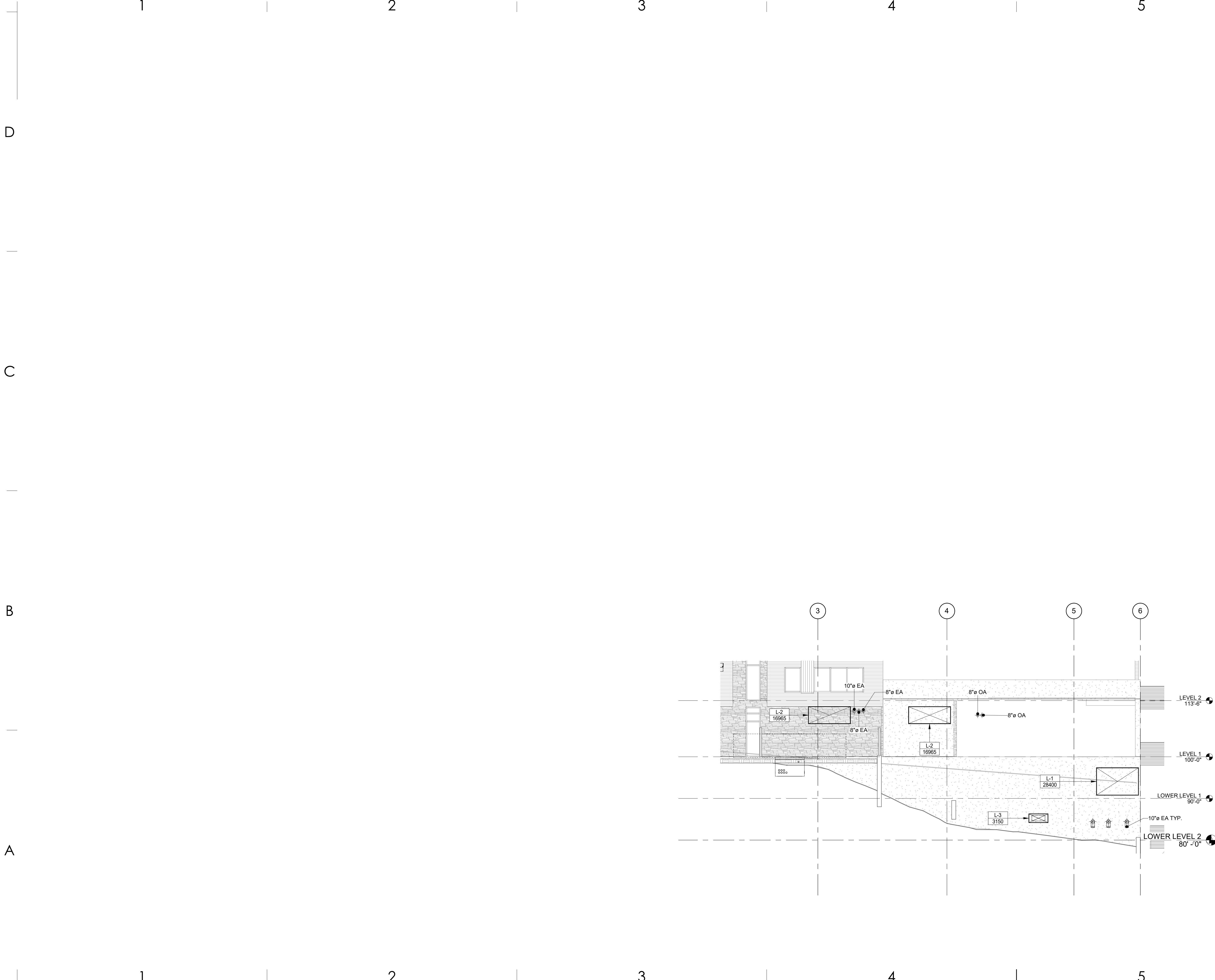
ISSUE DATE: 12/09/19
ISSUE TYPE: CONCEPT
DRAWN BY: CLD
CHECKED BY: RHB
PROJECT#: 1912.01

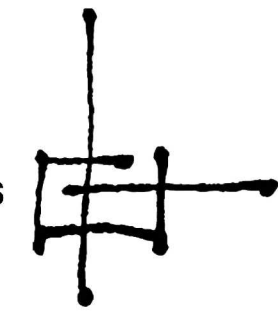
SHEET NUMBER:

MH104A

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PROJECT DESCRIPTION
KETCHUM BOUTIQUE HOTEL

River & Main
Ketchum, ID 83353

SHEET NAME:
MECH REFERENCE

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 03/02/20
ISSUE TYPE: CONCEPT
DRAWN BY: Author
CHECKED BY: Checker
PROJECT#: 1912.01

SHEET NUMBER:

XMH101



Mechanical Engineering
 Electrical Engineering
 Technology Engineering
 Acoustical Engineering
 Lighting Design
 Theatre Design
 Fire Protection Engineering
 Building Commissioning

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Ketchum Electrical – Exterior Electrical Gear

To: Ryan McMullen
Company: AJC Architects
Job: Ketchum Hotel
Job No.: 20109578
Re: Exterior Electrical Gear Narrative

From: Spencer Little, PE
Date: 03.02.2020
Distributed Via: Email

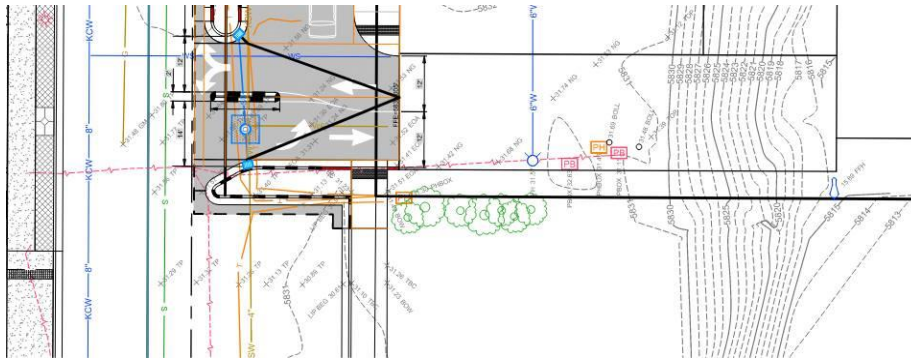
Cc:
email: rmcmullen@ajcarchitects.com

phone: (801) 401-8495
email: scl@spectrum-engineers.com
page: 1 of 2

Ryan,

Existing Pole Boxes

There are existing power pull boxes and telecommunication boxes that need to be relocated into the 10' easement and the new grading on this side of the building.



Transformer

The building transformer will be located outside on grade near the parking garage entrance on the back side of the building with the clearance and working space for the transformer being part of the 10' utility easement. The intent is for primary utility power to run from one of the existing pull boxes to the new transformer.



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Generator

The emergency/standby diesel generator will be located outside near the parking garage entrance on the back side of the building. The generator will be a self-contained unit with a sound attenuated weather proof enclosure and a base mounted fuel tank. The generator will be mounted at a minimum of 3 feet from the property line. The basis of design sound emittance is 72dBA at 7meter away (approx. 89dBA) at the generator.

Switch Gear

The main building switchgear for the building service will be mounted outside near the parking garage entrance on the back side of the building. The gear will be NEMA 3R (exterior weather proof rated). The electrical service will be 208Y/120V electrical service. The ampacity is anticipated to be 3000amp. There will be a main breaker in the electrical service gear. This will feed a main distribution panelboard located in the parking garage.

Respectfully,

By:

A handwritten signature in blue ink, appearing to read "Spencer Little", is written over a horizontal line.

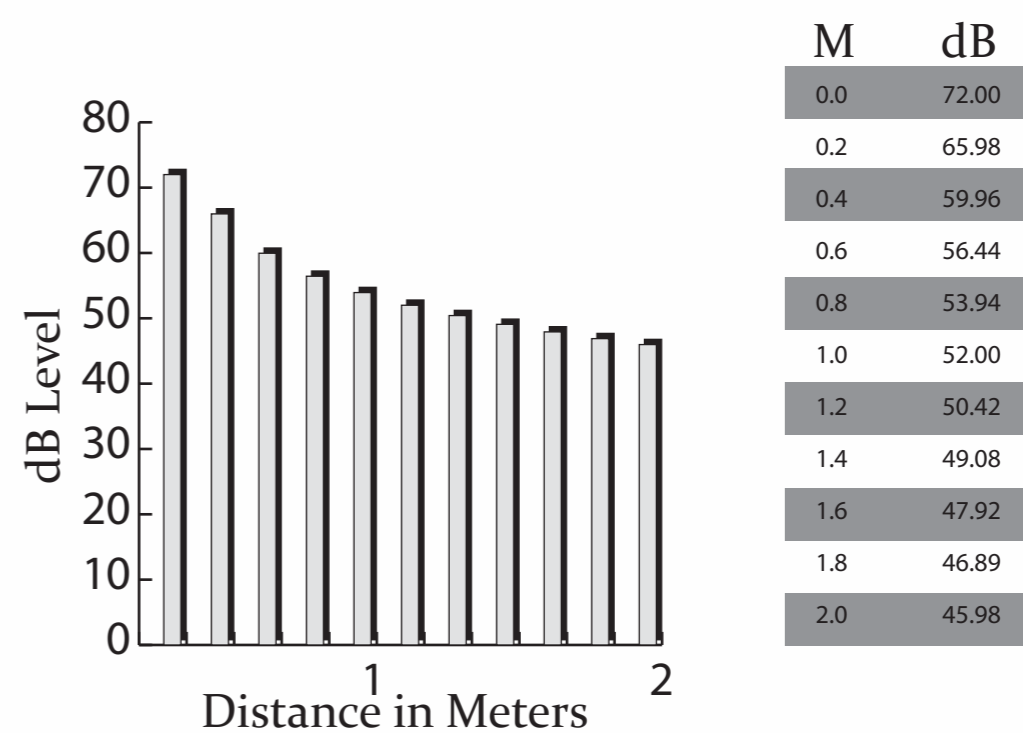
Spencer C. Little, P.E. Principal Electrical Engineer

Ketchum hotel: generator sound study

Sound pollution means unwanted sounds or noise. Diesel engine generators can, in some instances, cause loud sounds. Therefore it is vital in the design and implementation of generators to ensure that there are appropriate steps taken to mitigate the noise pollution. A silencer or sound dampening enclosure is a great solution to mitigating the sound. For the Ketchum Hotel, we are using a level 2 sound attenuation enclosure. This enclosure will ensure that no more than 46dB will be heard from the generator within 2 meters of the property line.

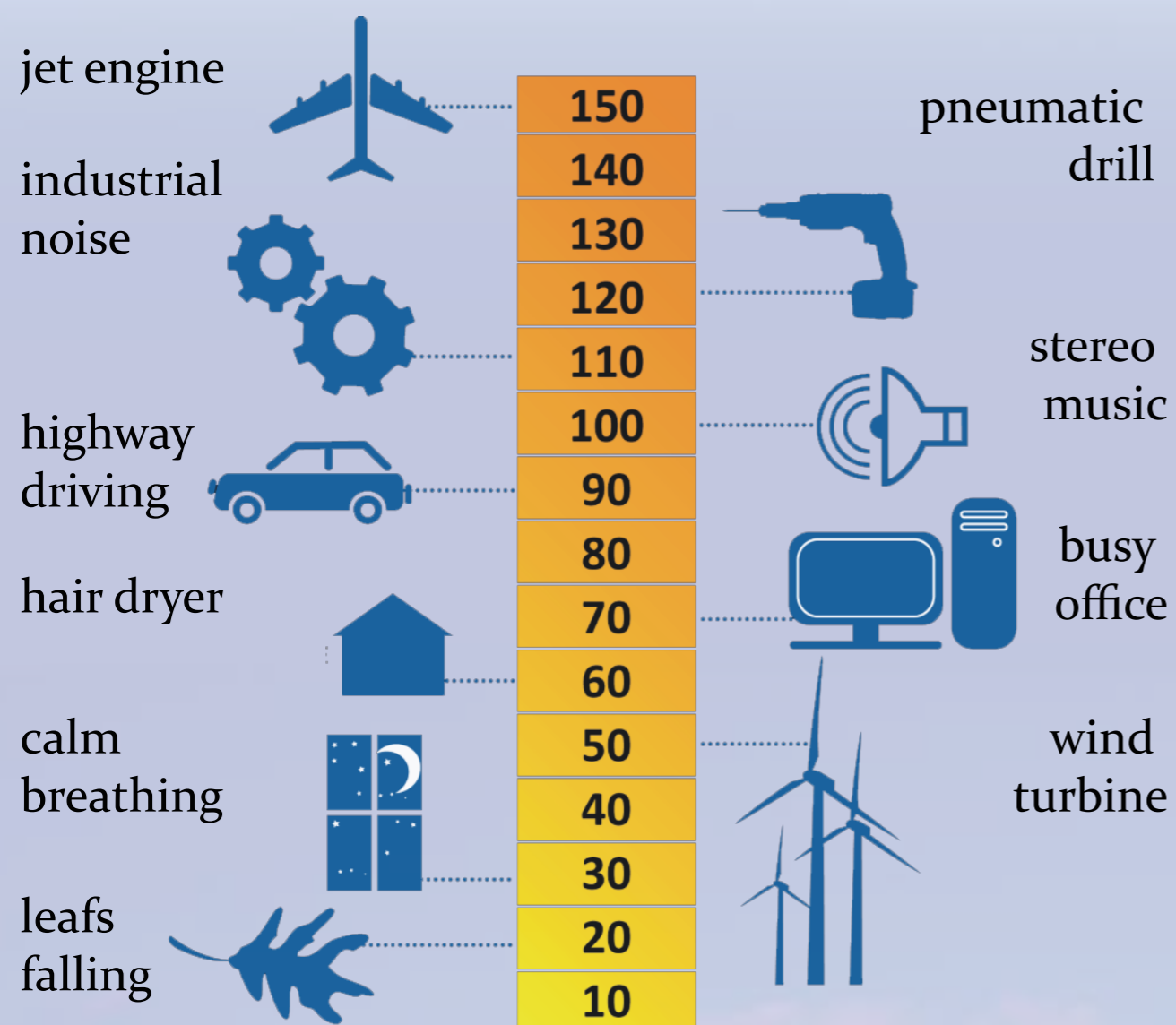
Ketchum City requires that during operating hours no sound shall be greater than 90dBA from any property. Spectrum understands this concern, which is why we recommended the level 2 sound attenuating enclosure. At the generator, the sound production is only 72dB. This is well within the required threshold set forth by Ketchum City's ordinance (9.08.040: Loud or Unnecessary Noises).

The intent of the generator is only to operate and run in an emergency situation - so hopefully never. The generator does need to run a recommended maintained cycle bi-weekly for a 30-minute period. This shall only be done during normal business hours, to ensure that the sound ordinances are maintained.



All sound levels in the graph above are estimates using a typical sound intensity calculation. The methodology used to test the sound production of the 175kW Generac generator was based off of sound data provided by Generac.

normal decibel levels

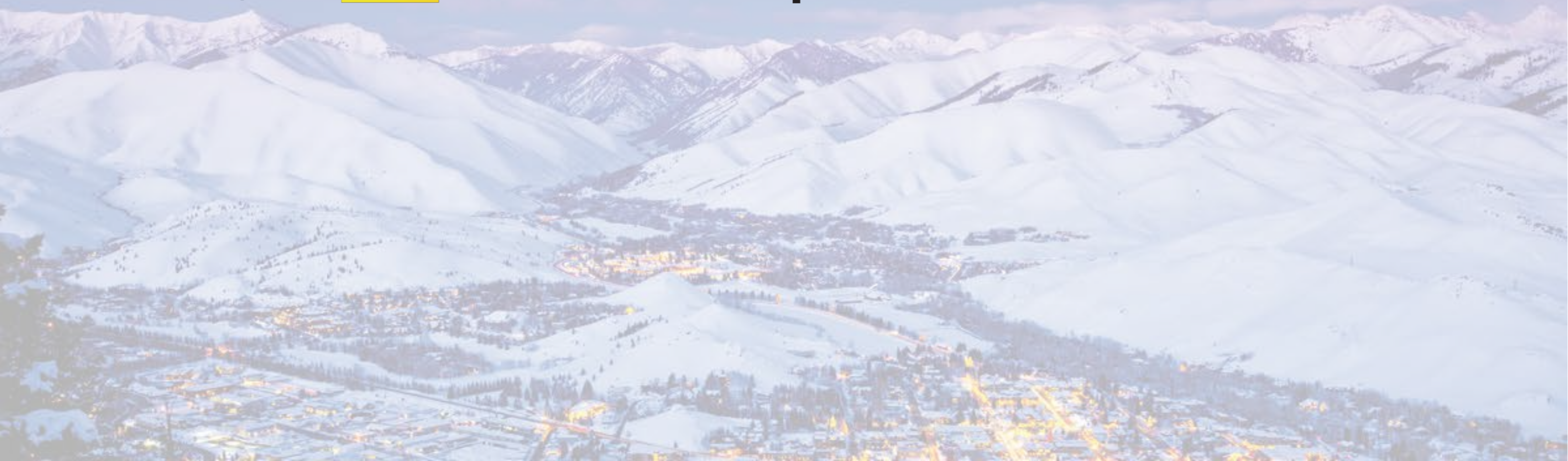


175kW diesel generator

Max. decibel output: 72dB

Enclosures Available:

- Level 1 Sound Attenuation
- Level 2 Sound Attenuation
- Steel Enclosure
- Aluminum Enclosure



Attachment 3

Robertson & Slette, p.l.l.c.

ATTORNEYS AT LAW



J. EVAN ROBERTSON
GARY D. SLETTE

134 Third Avenue East
P.O. BOX 1906
TWIN FALLS, IDAHO 83303-1906
TELEPHONE (208) 933-0700
FAX (208) 933-0701

GARY D. SLETTE
gslette@rsidaholaw.com

February 27, 2020

VIA-EMAIL: jgaeddert@ketchumidaho.org

City of Ketchum
Ketchum Planning & Zoning
Attn: John Gaeddert
P.O. Box 2315
Ketchum, ID 83340

RE: PEG Hotel in Ketchum

Dear John,

Following the Planning & Zoning Commission meeting Monday evening, I found myself confused about the City’s interpretation of certain portions of its zoning and subdivision ordinances. When I raised the issue of the required standards under KCC § 16.08.080(A), it sounded to me like the City considered the numbered subsections of that code provision to be disjunctive rather than in the conjunctive. As a consequence, I was led to understand that the council did not consider subsections 1 through 3 of KCC § 16.08.080(A) to be applicable. Instead, it sounded like subsection (4) was the only section the council applied, and as a result, there is absolutely no minimum lot size for a hotel PUD in the Tourist zone other than the 8,000 square foot minimum lot area prescribed in KCC § 17.120.030. Is that truly how the City of Ketchum interprets its zoning code regarding a waiver of the 3 acre minimum lot size? Is the minimum 1.5 acre lot size which can be allowed by a waiver inapplicable to the PEG Project?

Although I would not necessarily agree that the ordinance can properly be interpreted in that manner, I have undertaken a thorough review of subsection 4 of KCC § 16.08.080(A). Although the code section numbers in that provision make its analysis a bit confusing, I identified the referenced code sections, and have inserted the name of each code section in brackets and bold letters in a restatement of that provision for purpose of providing clarity. Using those tools, the section would read as follows:

- 4. For a hotel which meets the definition of “hotel” in [TERMS DEFINED], of this code, and conforms to all other requirements of [COMMUNITY CORE DISTRICT “CC”], or [THE PURPOSE SECTION OF THE TOURIST DISTRICT], of this code. Waivers from the provisions of [THE COMMUNITY CORE DISTRICT]

of this code may be granted for hotel uses only as outlined in [FLOOR AREA RATIOS AND COMMUNITY HOUSING] of this code. Waivers from the provisions of [THE PURPOSE SECTION OF THE TOURIST DISTRICT] of this code may be granted for hotel uses only as outlined in [FLOOR AREA RATIOS AND COMMUNITY HOUSING] of this code.

Assuming, without conceding, that subsection (4) would be the only provision of KCC § 16.08.080(A) applicable to waiver for the PEG Hotel project, that provision states that the only waivers that can be granted for a hotel in the Tourist Zone are waivers for floor area ratios in addition to the lot size for a PUD. As indicated, I was confused by what I understood the City Council's interpretation to be in that regard. I would request that you review that code provision to determine if you concur that the word "only" means that the City cannot grant any waiver other than the floor area ratio provided in KCC § 17.124.040 in addition to the waiver of the 3 acre PUD minimum. If that is the case, then there can be no height or setback waivers for a hotel. Additionally, I don't see any standards established in KCC § 17.18.100 (Purpose section of the Tourist District) that could be construed to be a "provision" that can be waived. If nothing else, these hotel applications have certainly caused me to become a student of the Ketchum Zoning and Subdivision Ordinances, but I am perplexed by the City's stated interpretations, and hope you can help me with an explanation.

During the meeting on Monday evening, I referenced KCC § 17.124.050(B)(6) which expressly limits hotels in the Tourist district to four (4) floors. I don't understand how the PEG application meets that code requirement when there are three (3) floors with a "negative" or "minus sign" in front of them and four (4) floors above those three (3) "negative" floors. I may be missing something in that regard, but I know that the terms "basement" and "lowest floor" are defined in the ordinance. Since there can only be one "lowest floor", how does the current hotel plan with seven (7) floors comport with the code in that regard? I recall Commissioner Tim Carter asking for a response to all the legal issues I had raised, but I don't recall that the number of allowable floors was ever addressed. If you can shed some light on the City's interpretation of that issue for me, I would certainly be appreciative.

I look forward to receiving an explanation of these issues at your earliest convenience.

Yours truly,



GARY D. SLETTE

cc: Dick Clotfelter
Kevin Livingston – klivingston@yahoo.com
Scott Hanson – scott.hanson@seamark.com

White Peterson

Attorneys at Law
5700 E. Franklin Road, Suite 200
Nampa, Idaho 83687
Telephone: (208) 466-9272

Memorandum

Attorney/Client Privileged Information

To: John Gaeddert
City of Ketchum

From: Wm. F. Gigray, III – City Attorney
WHITE PETERSON

Date: February 28, 2020

Re: Letter posted by Gary D. Slette dated February 27, 2020

**PEG KETCHUM HOTEL, LLC Applicant
for
Planned Unit Development Conditional Use Permit FILE NO. P19-063**

Mr. Slette’s letter of February 27, 2020 argues for the following interpretation of the provisions of KMC § 16-08.080:

1st Issue: Mr. Slette disagrees with the interpretation of the City Council that:

- Subsection 4 of KMC § 16-08.080A alone applies to Hotels in regards to the criteria for granting a waiver of the PUD Ordinance 3-acre PUD minimum lot size and therefore does not, as does Subsection 3, require 1.5 acre minimum lot size for a hotel.
- *The answer to his question is:* Hotel projects, which are the subject of a PUD CUP application, may qualify for PUD waivers of the minimum lots size and are not absolutely required to include 1.5 acres as is required by Subsection 3.
- I see nothing new about Mr. Slette’s statement or question regarding the 1st Issue.

2nd Issue: Mr. Slette proposes to substitute language which is not in Subsection 4 by the insertion of the descriptive words to infer that the Subsection 4 requires compliance with the Zoning Ordinance.

- The analysis the City Council made was to consider the exact language of Subsection 4 and of KMC § 17.18.100A. This 2nd Issue was addressed by the Council when it interpreted KMC § 17.18.100A in detail at the hearing. The plain language of KMC § 16.08.080 A 4, as is relevant to this 2nd Issue, is as follows: KMC § 16.08.080A 4 “and

conforms to all other requirements of ... section 17.18.100, "Tourist District (T)", The City Council's analysis concerned whether or not the express language of KMC § 17.18.100A established any specific zoning ordinance development requirements, other than a statement of purpose of the intended uses within and the purpose of the Tourist Zone.

- The City Council found that there is no express wording in KMC § 17.18.100A that mandates any particular standards or requirements of the zoning ordinance to this Hotel Development PUD application. KMC § 17.18.100A language "Dimensional requirements" is just a reference to those standards and what those standards are intended to accomplish in the context of a statement of purpose. What is lacking in this Code section, as opposed to the language of the PUD Ordinance, is the mandatory language of KMC § 16.08.080 which governs the Hotel PUD application and provides for modification or waiver of standard zoning and subdivision requirements. KMC § 16.08.080 provisions relevant to this 2nd Issue:

The standards set forth in this section shall apply to review of all PUD conditional use permit applications. The standards shall be used to review and evaluate the proposal in comparison to the manner of development and effects of permitted uses and standard development allowed on the property in question. Modification or waiver from certain standard zoning and subdivision requirements may be permitted subject to such conditions, limitations and/or additional development standards, pursuant to section 16.08.130 of this chapter, as the city council may prescribe to mitigate adverse impact at the proposed planned unit development, or to further the land use policies of the city, or to ensure that the benefits derived from the development justify a departure from such regulations.

- The provisions of KMC § 17.124.050A 1 expressly provide that floor area and height etc. requirements of the Zoning Ordinance may be exceeded in planned unit development applications. In response, I suggest that another argument can be made that the provisions of KMC § 17.124.050A 1 Hotels provides that the height and bulk issues presented by a PUD CUP hotel application which are governed under the PUD Ordinance provisions. Subsection B refers to additional hotel requirements of this Title which is the Zoning Ordinance Title not the PUD Ordinance Title. In addition, there is no language in the provisions of KMC § 17.124.050 B 6 that prohibit a waiver of the Four-story provision which reads: *6. Number Of Floors: Hotels may build a fourth floor. If a site meets the criteria for five-story hotel site designation, a fifth floor may be built. Five-story hotels may only be approved via a planned unit development (PUD) as outlined in title 16, chapter 16.08 of this code.* This section restricts the number of floors if the zoning ordinance governs but in the event of a PUDCUP application the waivers of the height and bulk are governed under the standards and requirements of the PUD Ordinance.

- The PUD Ordinance as provided in KMC § 16.08.020 B provides: *In the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control.*
- I see nothing new about Mr. Slette’s statement or question regarding the 2nd Issue.

I am quoting below relevant ordinance provisions for ease of reference:

KMC § 16.08.020 Authority and Purpose: ...

B. The provisions for planned unit developments contained in this chapter are intended to encourage the total planning of developments. In order to provide the flexibility necessary to achieve the purposes of this chapter, specified uses may be permitted subject to the granting of a conditional use permit. Because of their unusual or special characteristics, PUD conditional uses require review and evaluation so that they may be located properly with respect to the purposes of this chapter, the comprehensive plan, and all other applicable ordinances, and with respect to their effects on surrounding properties and the community at large. In the event of conflict between this PUD chapter and any other ordinance of the city, this PUD chapter shall control. The review process prescribed in this chapter is intended to assure compatibility and harmonious development between conditional uses and surrounding properties and the city at large. (Ord. 723 § 2, 1998; Ord. 382 § 2, 1983)

17.18.100: TOURIST DISTRICT (T):

A. Purpose: The purpose of the T tourist district is to provide the opportunity for high density residential and tourist use, land ownership and development including certain restricted business and personal service establishments in conjunction with such use, which can be justified on the basis of the primary use within the district. Tourist district classifications are intended to be carefully placed in the neighborhood structure to assure the closest possible compatibility with the surrounding uses and development. Dimensional requirements in this zone are designed to complement and enhance the neighborhoods in this zone, and to encourage articulation and quality design in new buildings. The tourist zone contains several distinct areas, including the

Entrance Corridor, Second Avenue, River Run, Warm Springs Base Area and Saddle Road. (Ord. 1135, 2015)

16.08.080: STANDARDS:

The standards set forth in this section shall apply to review of all PUD conditional use permit applications. The standards shall be used to review and evaluate the proposal in comparison to the manner of development and effects of permitted uses and standard development allowed on the property in question. Modification or waiver from certain standard zoning and subdivision requirements may be permitted subject to such conditions, limitations and/or additional development standards, pursuant to section 16.08.130 of this chapter, as the city council may prescribe to mitigate adverse impact at the proposed planned unit development, or to further the land use policies of the city, or to ensure that the benefits derived from the development justify a departure from such regulations. Where the city council determines that conditions cannot be devised to achieve the objectives, and/or the standards contained in this chapter are not met, applications for conditional use permits shall be denied. The city council shall make findings that each of the following evaluation standards have been met. The evaluation standards are as follows:....

KMC § 16-08.080

- A. Minimum lot size of three (3) acres. All land within the development shall be contiguous except for intervening waterways. Parcels that are not contiguous due to intervening streets are discouraged. However, the commission and the council may consider lands that include intervening streets on a case by case basis. The commission may recommend waiver or deferral of the minimum lot size, and the council may grant such waiver or deferral only for projects which:
 - A4. For a hotel which meets the definition of "hotel" in section 17.08.020, "Terms Defined", of this code, and conforms to all other requirements of section 17.18.130, "Community Core District (CC)", or section 17.18.100, "Tourist District (T)", of this code. Waivers from the provisions of section 17.18.130 of this code may be granted for hotel uses only as outlined in section 17.124.040 of this code. Waivers from the provisions of section 17.18.100 of this code may be granted for hotel uses only as outlined in section 17.124.040 of this code.

17.124.050: HOTELS:

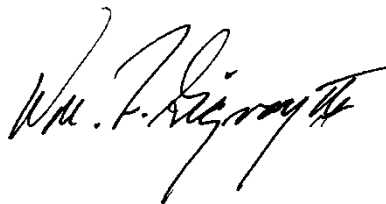
- A. Hotels may exceed the maximum floor area, height or minimum open site area requirements of this title subject to the following review process:

1. *Planned Unit Development: A planned unit development shall be prepared for the proposal and approved by the city which specifically outlines the waivers to bulk regulations requested.*
 2. *Subarea Analysis: A subarea analysis shall be prepared which addresses the comprehensive plan designation for the subarea; impacts of the proposed hotel on the character and scale of the surrounding neighborhood; impacts on proposed height and mass relative to the city's design review standards and the PUD standards; and the appropriateness of the subarea for a hotel which exceeds the dimensional standards requirements of sections 17.12.030 and 17.12.040 of this title.*
- B. *In addition to all other hotel requirements of this title, the following standards apply to hotels in the T and CC districts:*
1. *Hotel Developments: For hotel developments, community housing calculations apply to all residential units. However, one hundred percent (100%) of the community housing requirement will be waived only for the residential portion of hotel projects that meet the hotel definition adopted by the Ketchum city council.*
 2. *Employee Housing: Hotel developments are required to mitigate employee housing impacts at a ratio of twenty five percent (25%) of the total number of employees calculated by the following formula: one employee per hotel room or bedroom.*
 3. *Employee Housing Plan: The applicant shall provide an employee housing plan which outlines the number of employees, income categories and other pertinent data. The employee housing plan shall be the basis of the applicant's proposal for a mix of employee housing which addresses the range of employees needed to serve the hotel.*
 4. *Alternate Means For Housing: The city council may consider a request by the hotel developer to satisfy any required employee or community housing square footage by alternate means. Off site mitigation, payment of in lieu fees, land in lieu of units, voluntary real estate transfer fees or other considerations may be proposed by the hotel developer. Larger sites are encouraged to include workforce housing on site. The city council has full discretionary power to deny said request.*
 5. *Zoning Development Agreement: Hotels shall enter into a zoning development agreement with the city as part of the approval process. Said zoning development agreement may address the following subjects: community housing, hotel room uses and restrictions, public access on the property, alternatives and remedies if the hotel use ceases, and any other issues the commission or city council deems appropriate. Said zoning development agreement shall follow the public hearing process as outlined in title 16, chapter 16.08, "Planned*

Unit Developments", of this code. Said zoning development agreement shall be subject to sections 17.154.050, "Enforcement", and 17.154.060, "Modification And Termination", of this title.

6. *Number Of Floors: Hotels may build a fourth floor. If a site meets the criteria for five-story hotel site designation, a fifth floor may be built. Five-story hotels may only be approved via a planned unit development (PUD) as outlined in title 16, chapter 16.08 of this code.*
 - a. *Five-Story Hotel Site Designation Criteria: A property shall meet all of the following criteria to be designated as a five-story hotel site:*
 - (1) *Is located in subdistrict A, retail core of the community core district.*
 - (2) *Has a minimum lot area of thirty three thousand (33,000) square feet. (Ord. 1135, 2015)*

WHITE PETERSON



Wm. F. Gigray, III



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MARCH 9th, 2020

PROJECT: 4th & Main St Mixed-Use Building

FILE NUMBER: P 20-002

APPLICATION TYPE: Pre-Application Design Review

ARCHITECT: Peter Paulos, PH Architects

DEVELOPER: Chris Ensign, Solstice Homes Development

PROPERTY OWNER: 400 North Main LLC & Formula Investment LLC (Blaine County Assessor's Office Database as of 3/6/20)

REQUEST: Pre-Application Design Review for the development of a new four-story, 47.5-foot tall, 59,130 sq ft mixed-use building

LOCATION: West Half of Block 5 adjacent to Main Street between 4th & 5th Streets (Ketchum Townsite: Block 5: Lots 1, 2, 3, & 4)

ZONING: Retail Core of the Community Core (CC-1)

REVIEWER: Abby Rivin, Associate Planner

NEW MIXED-USE BUILDING ON MAIN STREET

Chris Ensign of Solstice Homes, a Utah-based developer, has proposed a new four-story, 47.5-foot tall, 59,130-square-foot mixed-use building located on Main Street between 4th and 5th streets. The ground level features 7,523 square feet of retail space and an underground parking garage with 16 spaces. The upper floors contain 12 two- and three-bedroom condominium and penthouse units with private balconies and rooftop terraces. The developer has proposed five community housing units within the building in exchange for an increase in total floor area.



Figure 1: Rendered Elevation, Project Plans: Sheet A5.1

SIGN REVIEW MAINTAINS THE CHARACTER OF OUR MOUNTAIN COMMUNITY

The Pre-Application facilitates an iterative and collaborative process between the Planning & Zoning Commission, developers and their design teams, and the community. This preliminary review allows the Commission to identify design issues, offer constructive advice, and highlight opportunities to improve project. The Commission's feedback helps developers produce high-quality buildings and projects that enhance the character of downtown Ketchum.

PROJECT LOCATION

The new mixed-use building will be located on four lots along Main Street between 4th and 5th streets within the Retail Core of downtown Ketchum. The 21,989-square-foot site has topographical challenges including multiple slopes. An existing retaining wall divides the block separating the natural topography of lots 1 and 2 from existing development on lots 3 and 4. The developer will demolish the historic A-frame that was Ketchum's first post office and is currently occupied by Formula Sports. While undeveloped, the southern half of the site is the summer home of Irving's Red Hots, an iconic hot dog stand.



Figure 2: Formula Sports within Historic A-frame at Southeast Corner of Main & 5th Streets

HOW BIG IS THE BUILDING?

The project plans maximize the size of the building to the greatest extent permitted by Ketchum's Zoning Regulations. The 59,130-square-foot mixed-use building has a total Floor Area Ratio of 2.23. The building reaches 47.5-feet in height from Main Street to the fourth-floor roof. Covering the length of the entire block, the building's front façade will span 210 feet along Main Street.

DESIGN CHANGES ARE NEEDED TO IMPROVE QUALITY OF PROJECT

Before granting Design Review approval, the Planning & Zoning Commission must determine that applications meet two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A). Design Review safeguards the well-being of our mountain community. This project needs significant changes to improve design and meet the high-quality standards of the surrounding built environment in downtown Ketchum. Design Review helps us achieve a more sustainable, vibrant, connected, and beautiful Ketchum. The Staff Analysis highlights areas of concern in relation to Design Review standards and other provisions of Ketchum Municipal Code.

Architectural

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The proposed design exacerbates the building’s bulk and flatness. Lacking continuity, the design layers monotonous one-story elements on top of each other through uniform steps. The building moves to the same degree at the same locations in just one direction—in and out. The projections and recessions of building mass along Main Street fail to meaningfully undulate the front façade. The 210-foot building wall along Main Street appears entirely flat with no relief. The uniform steps to the third and fourth floors exacerbate the building’s bulk and mass. The walls of windows with glass-railing borders aggravate the appearance of flatness. With any roof-line variation or two-story elements, the design is devoid of any vertical elements to undulate the facade up and down.

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

The design is monotonous—three materials, two colors, and rectangular shapes repeat the same pattern. Walls of windows are separated by horizontal bands of red brick and black steel. The building lacks continuity because these horizontal layers fail to provide any connection between floor levels. Horizontal borders of black fascia and red brick separate each floor level. Without any vertical elements to connect floor levels, nothing grounds the building. The building looks like a layered-wedding-cake due to the lack of vertical integration.

Compatibility of Design

The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures (Ketchum Municipal Code §17.96.060.E1).

The mass and height of the building is overbearing and out of scale with downtown Ketchum. The design incorporates limited materials, colors, and shapes in repetitive patterns. The red brick on such a big building may overpower the material palette of nearby structures. The final Design Review application must include a materials and colors sample board showing all exterior materials used on the façade of the structure (KMC §17.96.040.C.2i). All specifications for the proposed materials must be included with the project plans. For example, the specification for the brick must include the proposed dimension of the veneer’s thickness.

The rendering submitted with the Pre-Application (Sheet A5.0) is an unrealistic bird’s-eye view of the building. In order to ensure the proposed development maintains Ketchum’s mountain town character, the project plans must show the mixed-use building within the context of downtown Ketchum. The final Design Review application must include building renderings within the context of neighboring buildings and from multiple key vantage points throughout town. The renderings should represent realistic points-of-view to show the building’s relationship to Main Street and with the existing development in downtown Ketchum.



Figure 3: Perspective Rendering, Project Plans: Sheet A5.0

Walls of Windows

The walls of windows make the building look like an industrial warehouse that is out of context in our mountain town. The extensive use of glass used for the window treatments raises several concerns:

- How will the project look at night with light emanating from the inside of the building? How will the project appear at night when no one is home and the retail spaces have closed?
- With Ketchum's high-altitude UV levels, what solar control or building elements will be incorporated to help shade the west- and south-facing facades? With the astronomical heat gain, how will the commercial and residential units be cooled? Where will the A/C units be located? Will the mixed-use building be capable of meeting Ketchum's Green Building Code standards? What are the mixed-use building's energy demands?
- Is the project feasible with local conditions in our mountain town including seismic zone and snow loads? With the extensive use of glass, will the building be able to structurally withstand seismic conditions and snow loads? The project plans submitted with the Design Review application must be prepared and stamped by an Idaho licensed architect or engineer (KMC §17.96.040.B)

The floor plans on Sheets A1.0, A1.1, A1.2, and A1.3 don't show the location of window or door openings. The elevations indicate residential units with walls comprised entirely of windows. The building's outsides don't match its insides—the exterior of the building doesn't match the residential use proposed within the building. This discrepancy raises a concern that of the preliminary design drawings unrealistically depict the building's appearance.

Circulation Design

Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage (Ketchum Municipal Code §17.96.060.G3).

The site plan (Sheet C1.0) indicates three parking spaces, including the ADA space, that appear to require backing out onto 5th Street. The Design Review application should include a diagram illustrating circulation within the underground parking garage and vehicles exiting onto 5th Street.

Service Areas and Mechanical Equipment

Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views (Ketchum Municipal Code §17.96.070.C1).

The refuse building is located within the building adjacent to the parking garage access along 5th Street (Sheet C1.). The trash disposal area must be adequately sized for both trash and recycling for the entire building, including the commercial retail spaces. The developer must submit a will-serve letter from Clear Creek Disposal with the final Design Review application.

Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design (Ketchum Municipal Code §17.96.070.C2).

All roof and ground mounted mechanical and electrical equipment and associated screening must be shown on the project plans and elevation drawings. The developer must submit a will-serve letter from Idaho Power with the final Design Review application.

RECOMMENDATION

After considering the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to either:

- (a) Continue the Pre-Application Design Review to a date certain and direct the developer to submit drawings, renderings, or information to assist in the Commission's review of the project plans and the design concept, or
- (b) Advance the 4th and Main Mixed-Use Building to final Design Review with the condition that significant changes to the project plans will require Commission review of an additional Pre-Application.

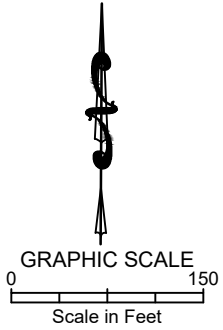
EXHIBITS:

- A. 4th and Main Mixed-Use Building Pre-Application Design Review Submittal

Exhibit A:
4th and Main
Mixed-Use Building
Pre-Application
Design Review
Submittal

NOTES

1. **109** IMAGERY SHOWN HEREON PER GOOGLE EARTH.
2. PROPERTY LINES SHOWN HEREON PER BLAINE COUNTY GIS.



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

Galena Engineering Inc.

Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

A VICINITY MAP
KETCHUM TOWNSITE, LOTS 1-4, BLOCK 5
WITHIN S 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLSTICE DEVELOPMENT

PROJECT INFORMATION
P:\sdsproj\7821\dwg\Construction\7821_Vicinity Map.dwg 02/13/20 2:42:29 PM

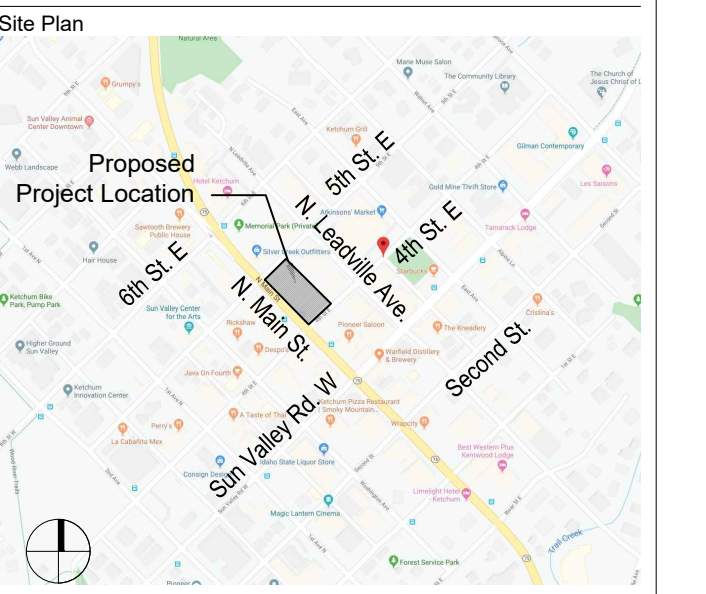
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

PH ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

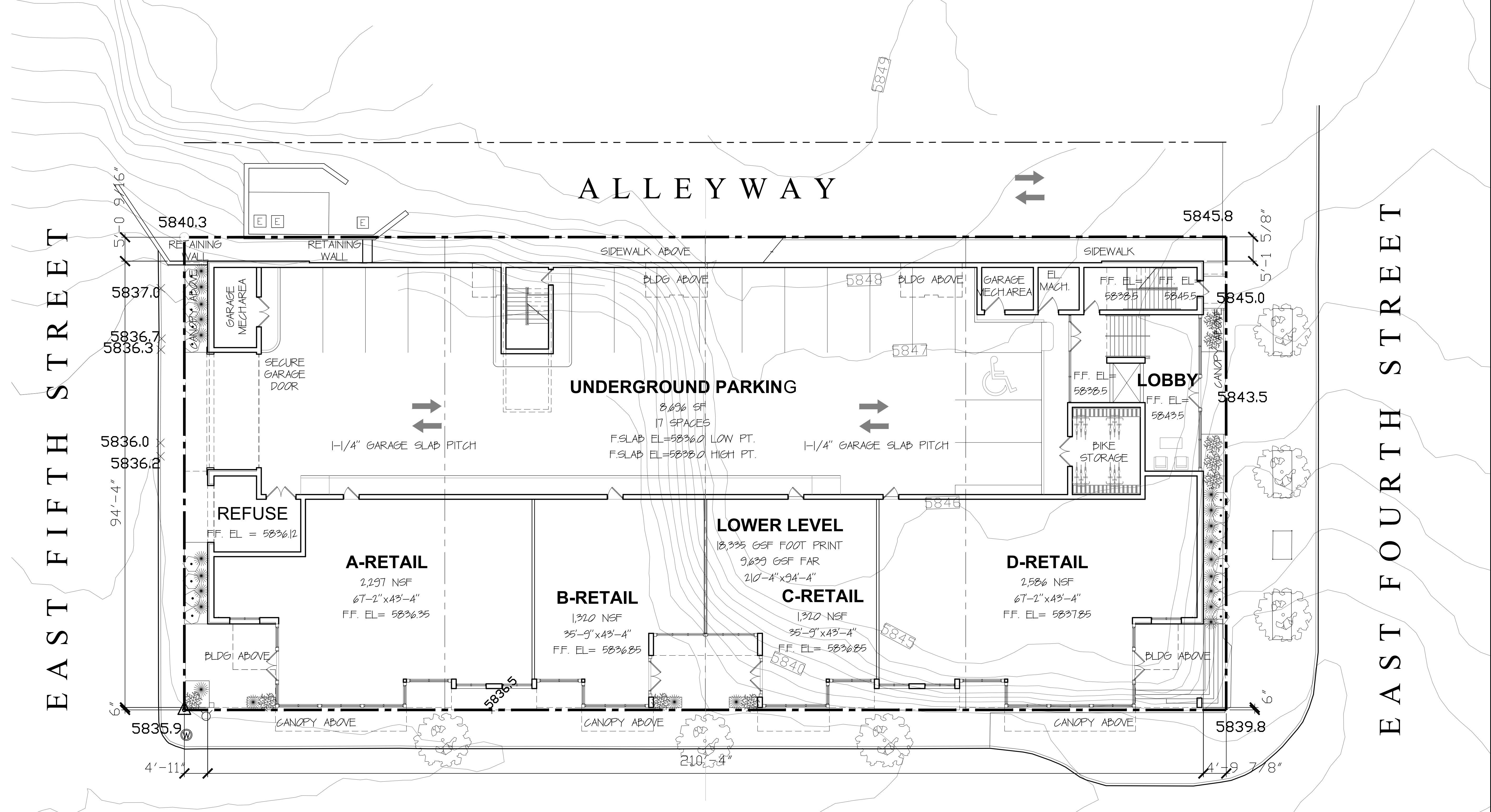


Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

EAST FIFTH STREET

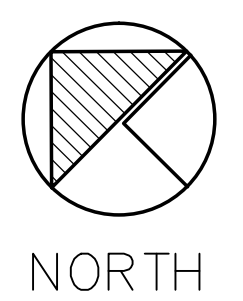
EAST FOURTH STREET

ALLEYWAY



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

SUMMARY					
GENERAL BUILDING INFORMATION	FLOOR	GROSS SQUARE FOOTAGE PER AREA	GROSS SQUARE FOOTAGE PER FAR	UNITS/ BEDROOM COUNT	REMARKS
OCCUPANCY CLASS - MERCANTILE USE (M) - RESIDENTIAL USE (R-2) - UNDERGROUND PARKING - LOW-HAZARD STORAGE USE (S-2)	MAIN LEVEL	8,436 SQ FT UNDERGROUND PARKING 7,994 SQ FT RETAIL SPACE 954 SQ FT ALLOTTED 502 SQ FT CIRCULATION	9,499 SQ FT (INCLUDING MAIN LEVEL CIRCULATION, ELEVATOR MACHINE ROOM & REFUSE)	N/A	LOT SIZE: 23,999 SQ FT. MAXIMUM FAR: 235 X 21,999 = 49,475 SQ FT.
	SECOND LEVEL	5,208 SQ FT ALIVING (COMMUNITY HOUSING) 2,299 SQ FT ALIVING (COMMUNITY HOUSING) 484 SQ FT CIRCULATION 141 SQ FT CORRIDOR	17,471 SQ FT (INCLUDING 2ND FLOOR STAIRWELLS & ELEVATOR)	(9)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (3)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (9)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	COMMUNITY HOUSING REQUIRES 5,475 SQ FT MIN GROSS AREA (FOR AREA INCREASED) WITH PER CIRCULATION REDUCTION= 4,875 SQ FT MIN NET SQ FT COMMUNITY HOUSING REQUIRED.
	THIRD LEVEL	1,844 SQ FT ALIVING (COMMUNITY HOUSING) 993 SQ FT CIRCULATION 1,099 SQ FT CORRIDOR 2,586 SQ FT PRIVATE ROOF TERRACE	14,731 SQ FT (INCLUDING 3RD FLOOR STAIRWELLS FROM 2ND FLOOR & ELEVATOR)	(9)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (1)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	
	FOURTH LEVEL	4,280 SQ FT ALIVING (COMMUNITY HOUSING) 987 SQ FT CIRCULATION 869 SQ FT CORRIDOR 4,449 SQ FT ROOF TERRACE	12,714 SQ FT (INCLUDING 4TH FLOOR STAIRWELLS & ELEVATOR)	(1)- 3 BEDROOM UNITS (COMMUNITY HOUSING)	
BUILDING CONSTRUCTION PROTECTED WOOD CONSTRUCTION (TYPE V-III)	TOTAL	8,436 SQ FT UNDERGROUND PARKING 7,994 SQ FT RETAIL SPACE 954 SQ FT ALLOTTED 2,299 SQ FT CIRCULATION 5,208 SQ FT ALIVING (COMMUNITY HOUSING) 2,299 SQ FT ALIVING (COMMUNITY HOUSING) 1,320 SQ FT CORRIDOR 776 SQ FT ROOF TERRACE	TOTAL PROVIDED PER FAR: 49,507 SQ FT FAR: 134 (TOTAL GROSS SQ FT: 99,499 SQ FT)	(9)- 1 BEDROOM UNITS (COMMUNITY HOUSING) (1)- 2 BEDROOM UNITS (COMMUNITY HOUSING) (6)- 3 BEDROOM UNITS (COMMUNITY HOUSING) 28 TOTAL UNITS	
	BUILDING VOLUME FOUR STORIES MAX 17,471 SF PER FLOOR PLATE				
PARKING COUNT					
	1 BEDROOM UNITS (COMMUNITY HOUSING)	(9)- 1 BEDROOM UNITS	0 PARKING/UNIT	0 PARKING NEEDED	0 PARKING NEEDED PER COMMUNITY HOUSING EXEMPTION
	2 BEDROOM UNITS (COMMUNITY HOUSING)	(3)- UNITS UNDER 500 SF (4)- UNITS OVER 500 SF	1 PARKING/UNIT	3 PARKING NEEDED	
	3 BEDROOM UNITS (COMMUNITY HOUSING)	(9)- UNITS OVER 500 SF	2 PARKING/UNIT	18 PARKING NEEDED	
	RETAIL	7,994 NSF FT. RETAIL	1 PARKING/500 SQ FT (INITIAL REDUCTION OF 500 SQ FT)	3 PARKING NEEDED	3 ON STREET PARKING PROVIDED ***EXACT ON STREET PARKING TBD***
	TOTAL			21 TOTAL PARKING NEEDED	TOTAL 17 PARKING PROVIDED- UNDERGROUND PARKING (4 OF WHICH IS HANDICAP) 3 ON STREET PARKING PROVIDED ***EXACT ON STREET PARKING TBD***



THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF P. H. ARCHITECTS L.L.C. AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF P. H. ARCHITECTS L.L.C.

WORK SHALL CONFORM TO APPLICABLE CODES AND REQUIREMENTS OF UTILITIES AND AUTHORITIES HAVING JURISDICTION. DO NOT SCALE THE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES.

Revisions		
No.	Date	Issue
1.	10/10/21	CLIENT REVISIONS

FIRST FLOOR PLAN

Date: 10/10/21
Scale: 3/32" = 1'-0"
Design: sbz
Sheet No.:

Project No.: 20-00
CAD File Name: base-floor plans
Checked:

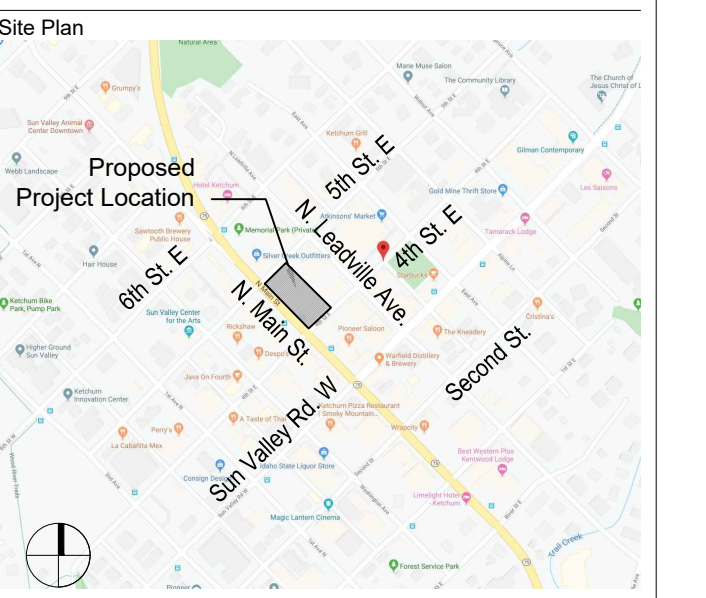
MIXED USE DEVELOPMENT

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PIH
ARCHITECTS

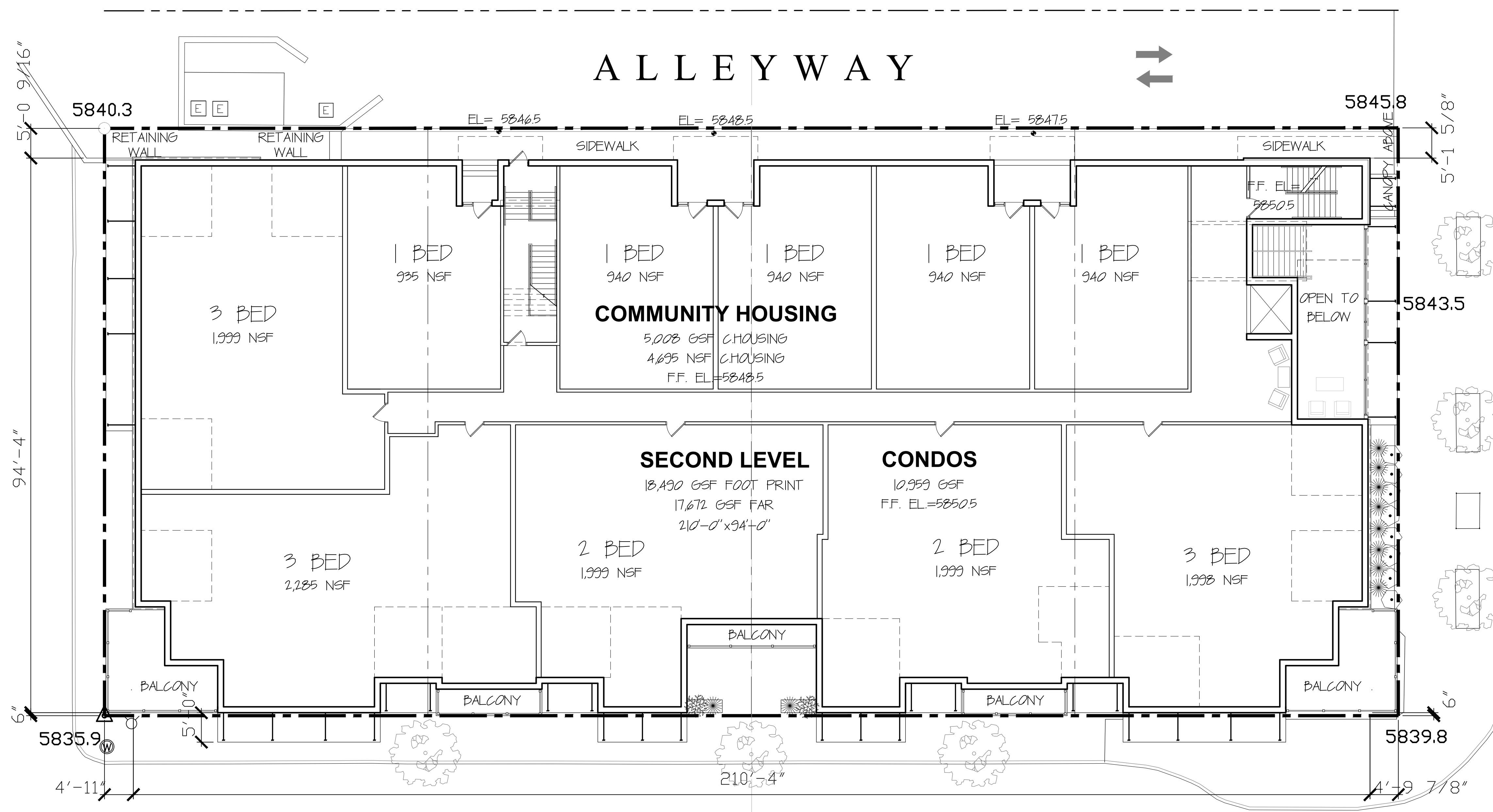
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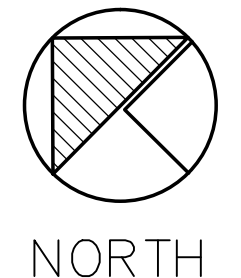
Project Team:
Architect and Planner:
P H Architects, LLC
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Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

EAST FIFTH STREET

EAST FOURTH STREET



1 SECOND FLOOR PLAN
All SCALE: 3/32"=1'-0"



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VERIFY ALL DIMENSIONS IN THE FIELD. REPORT DISCREPANCIES.

Seal

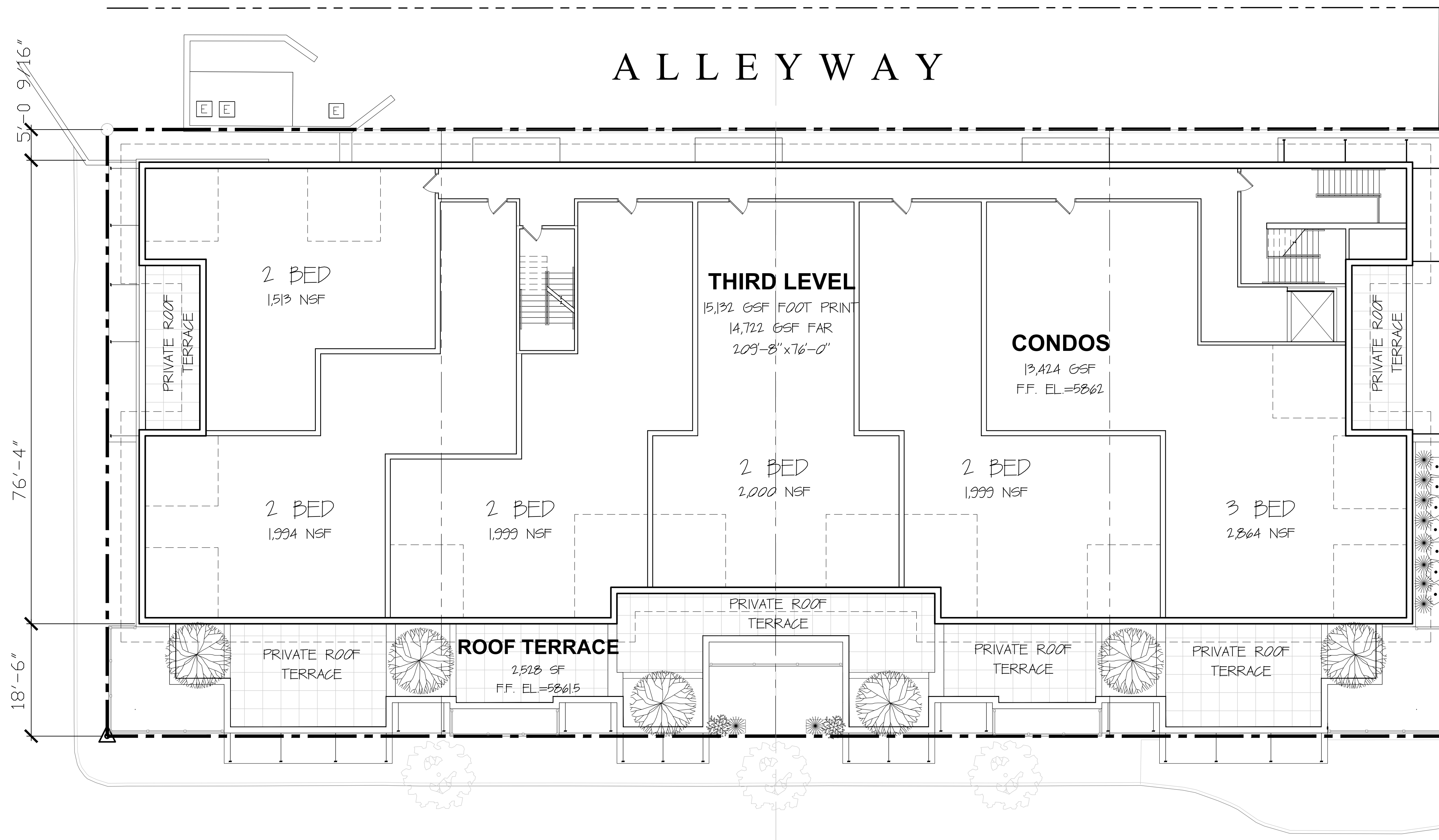
Revisions	No.	Date	Issue
	1.	10/10/05	CLIENT REVISIONS

SECOND FLOOR PLAN

Date: 10/10/17 Project No.: 10-00
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

A1.1

EAST FIFTH STREET



1 THIRD FLOOR PLAN
 A1.2 SCALE: 3/32"=1'-0"

EAST FOURTH STREET

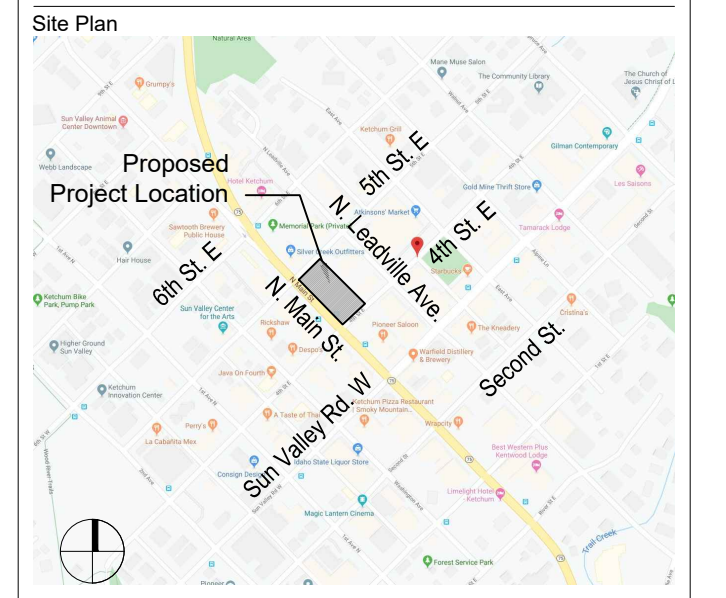
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117



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Revisions	No.	Date	Issue
	1.	2010/01/08	CLIENT REVISIONS

THIRD FLOOR PLAN

Date: 2010/01/27 Project No.: 10-00
 Scale: 3/32"=1'-0" CAD File Name: base-floor plans
 Design: sbz Checked:
 Sheet No.:

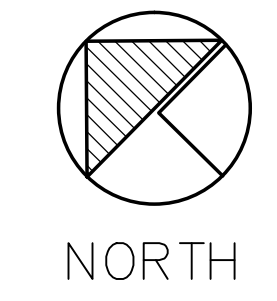
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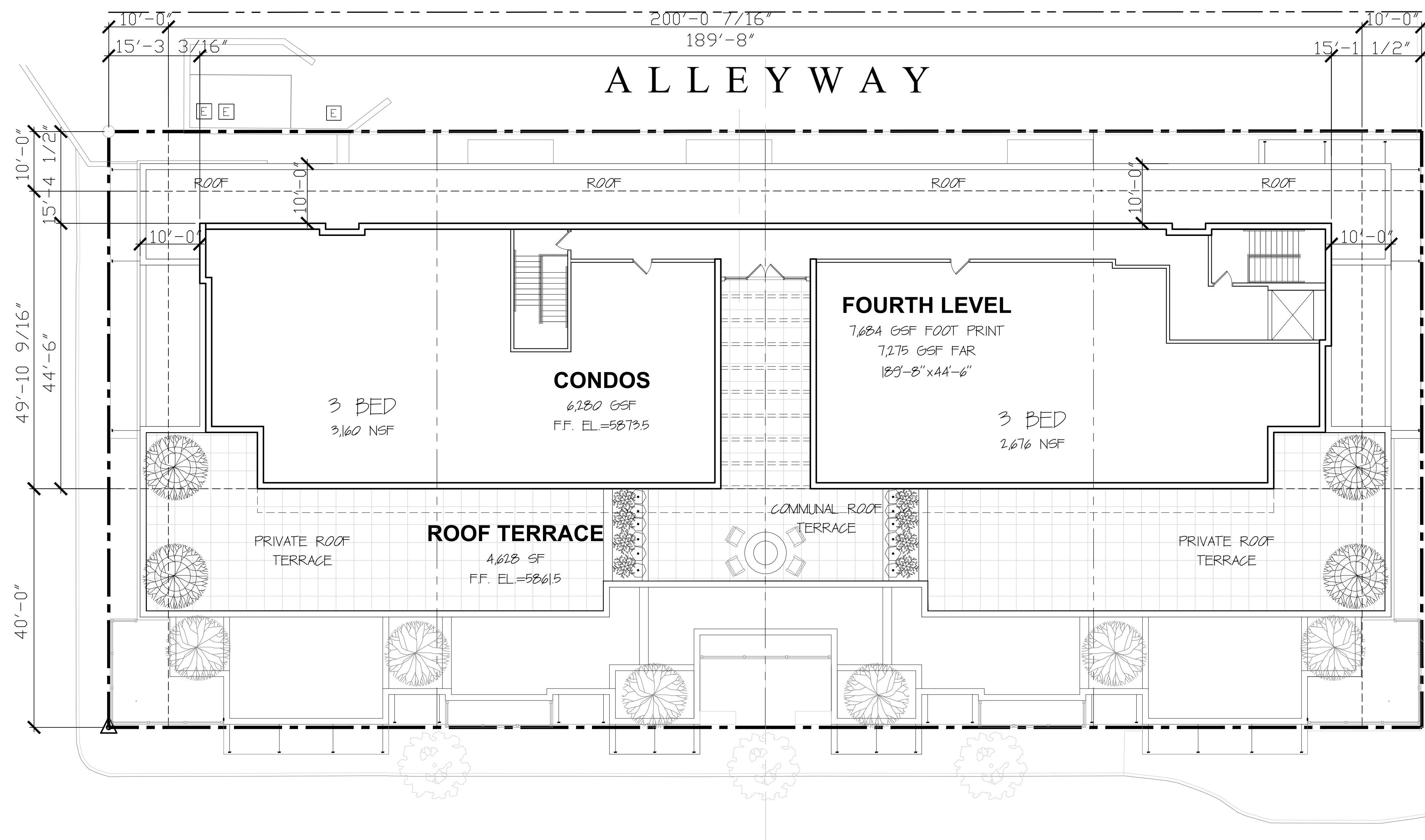
DO NOT SCALE THE DRAWINGS.

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EAST FIFTH STREET

EAST FOURTH STREET



① FOURTH FLOOR PLAN
A1.3 SCALE: 3/32" = 1'-0"

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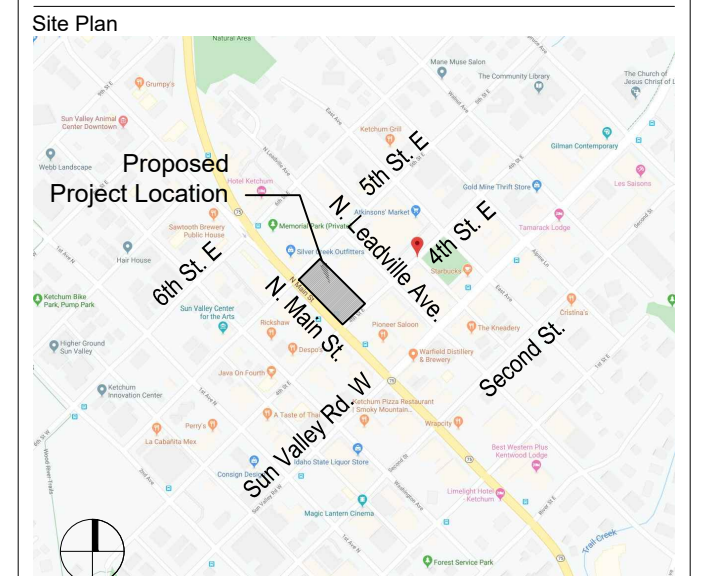
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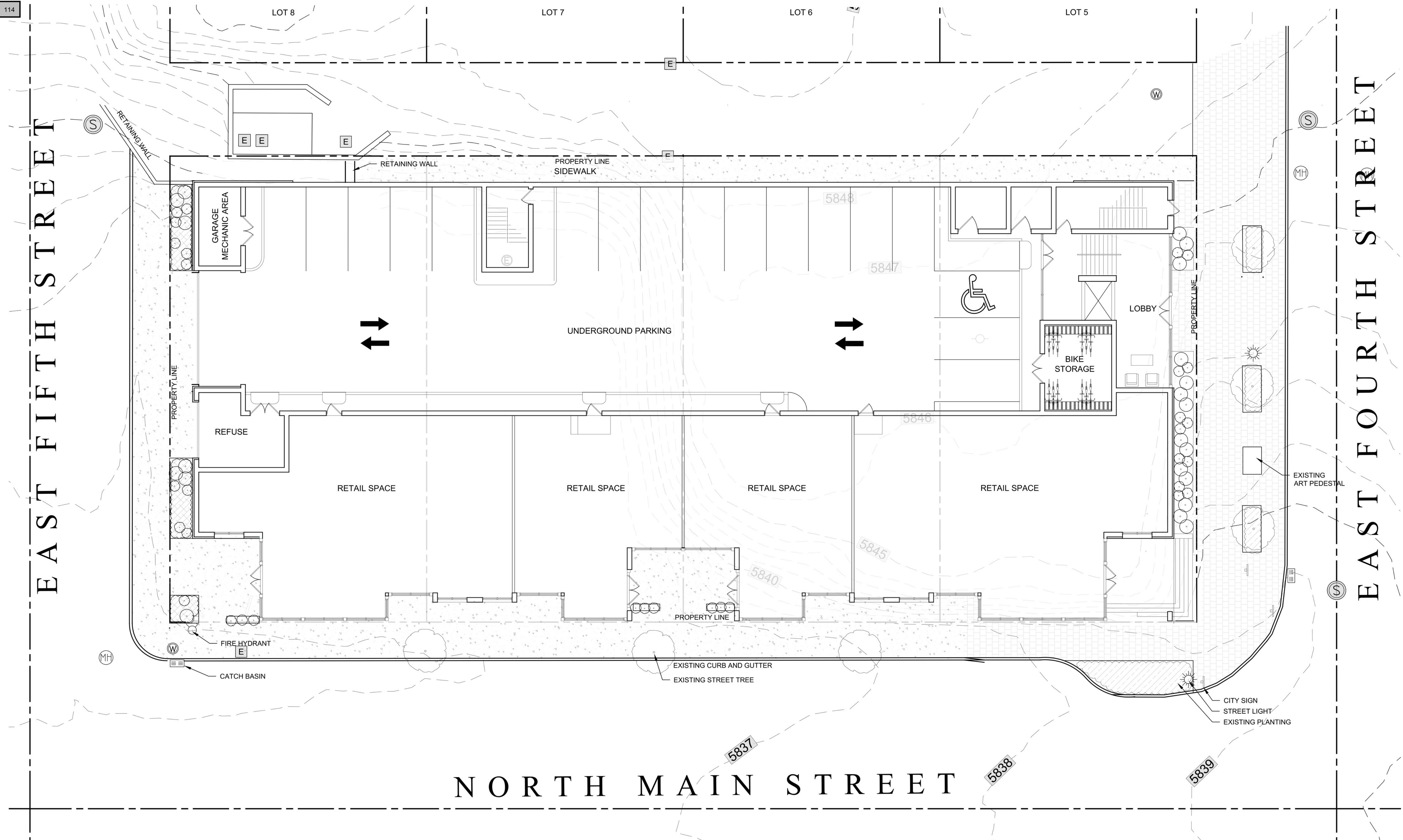
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Revisions		
No.	Date	Issue
1.	2020/01/05	CLIENT REVISIONS

FOURTH FLOOR PLAN

Date: 2020/01/27 Project No.: 20-00
 Scale: 3/32" = 1'-0" CAD File Name: base-floor plans
 Design: sbz Checked:
 Sheet No.:

A1.3

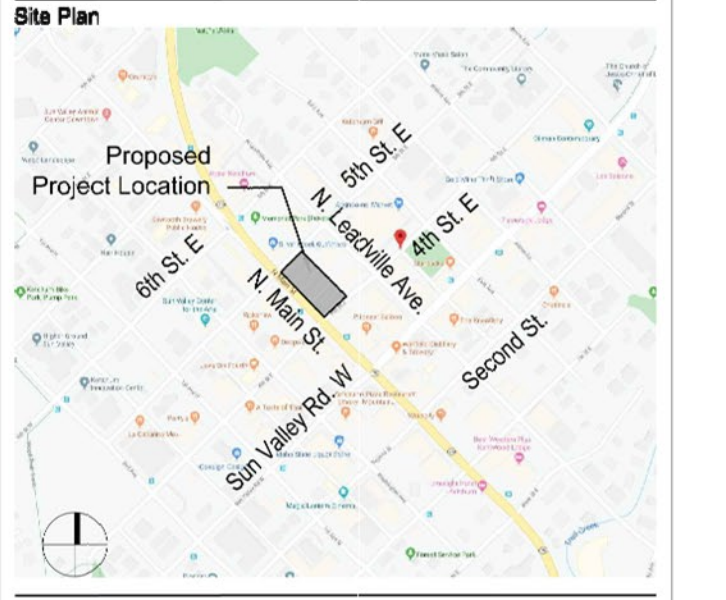


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Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

LANDSCAPE PLAN

Date: 2020/1/11 Project No.:
 Scale: 1"=10'0" CAD File Name:
 Design: sbz Checked:
 Sheet No.:

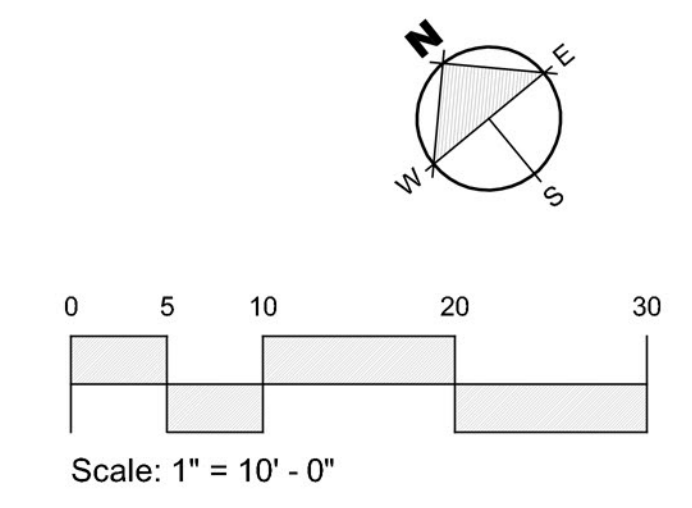
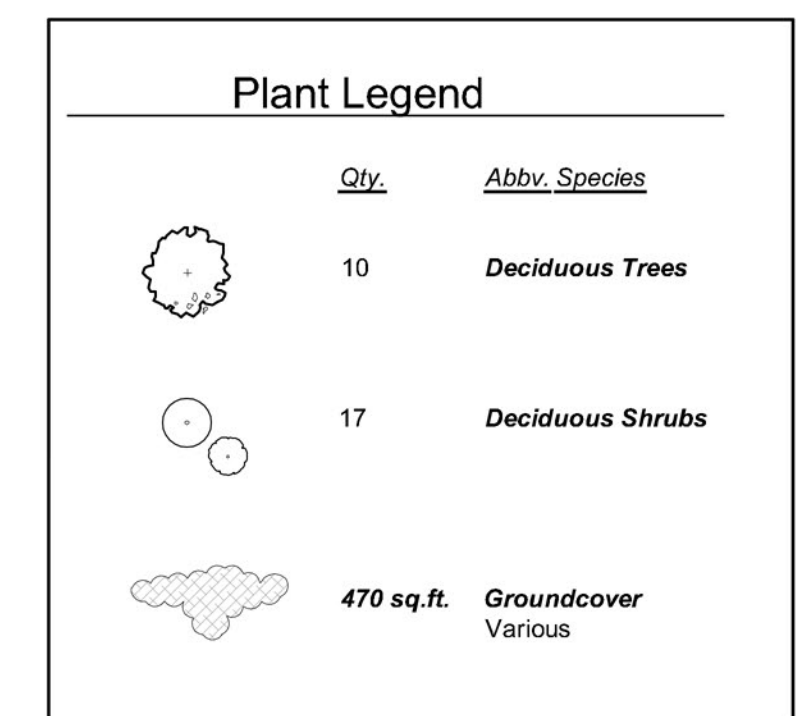
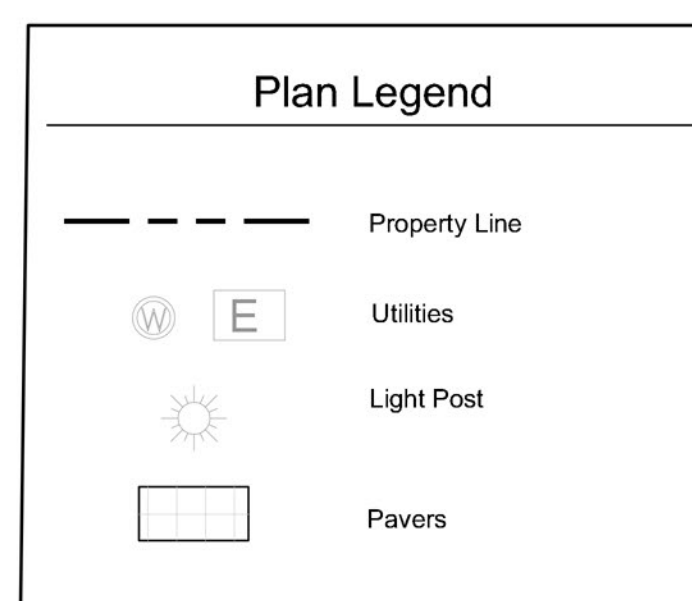
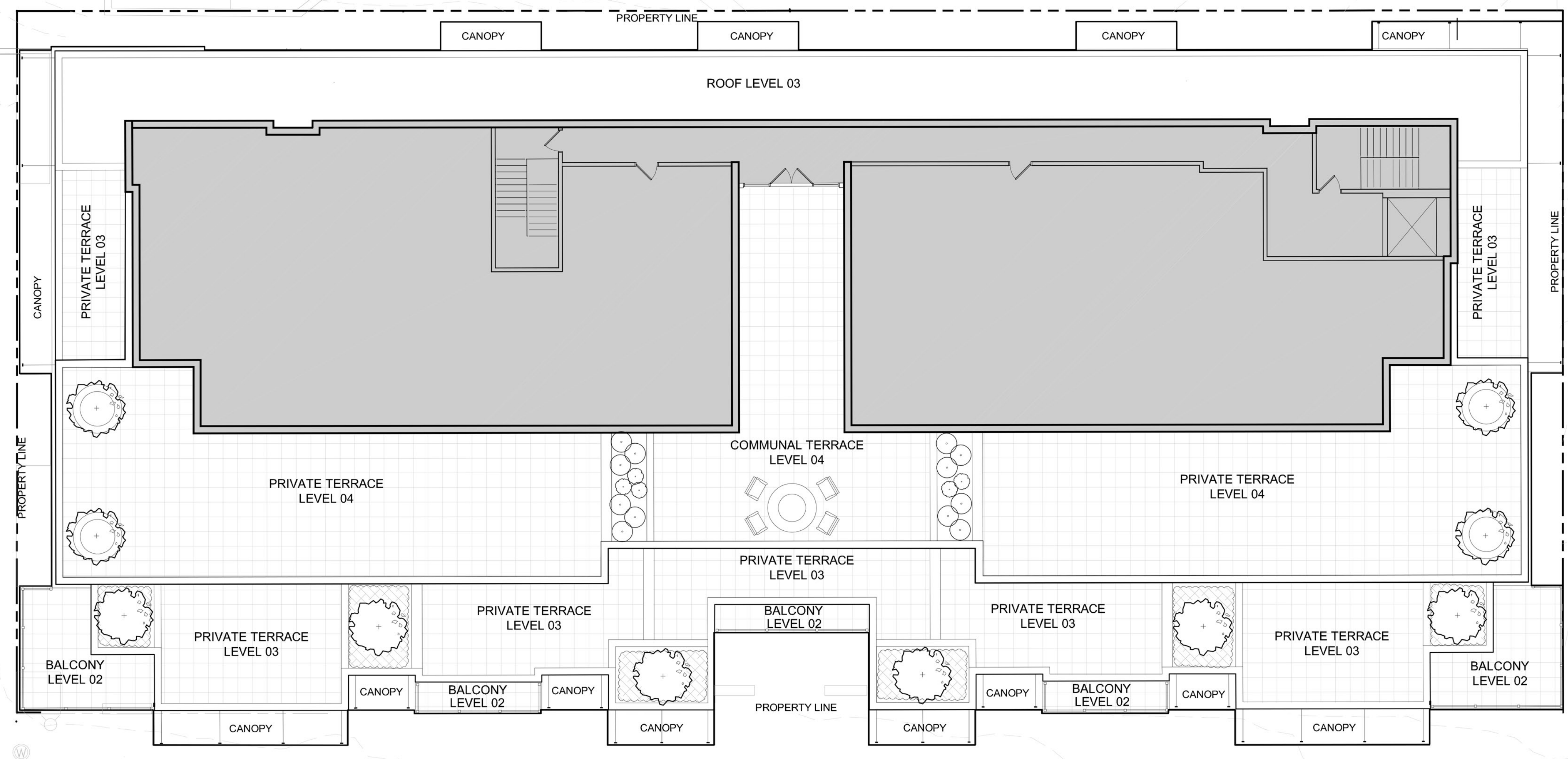
L 1.0
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EAST FIFTH STREET

EAST FOURTH STREET

NORTH MAIN STREET



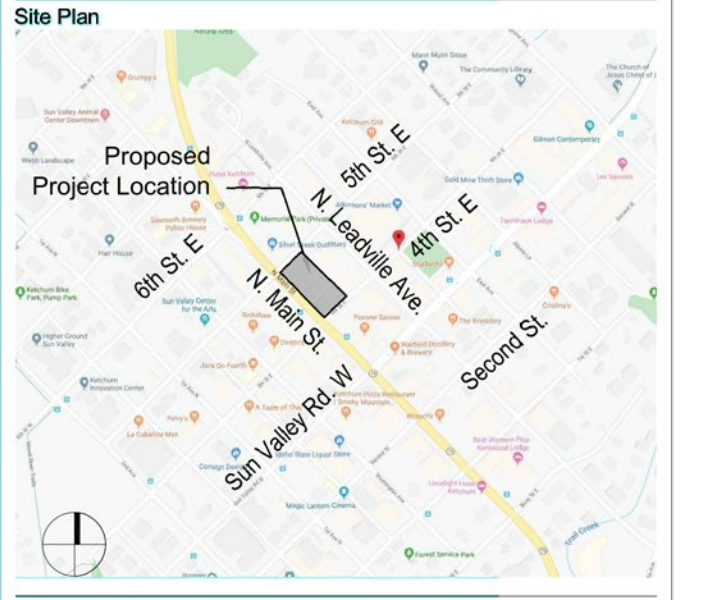
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Revisions

No.	Date	Issue
1	2020/01/05	CLIENT REVISIONS

LANDSCAPE PLAN

Date: 2020/1/7 Project No.:
 Scale: 1"=10'-0" CAD File Name:
 Design: sbz Checked:
 Sheet No.:

L 1.4



1 EMERGENCY VEHICLE ACCESS
 SCALE: 1/8" = 1'-0"

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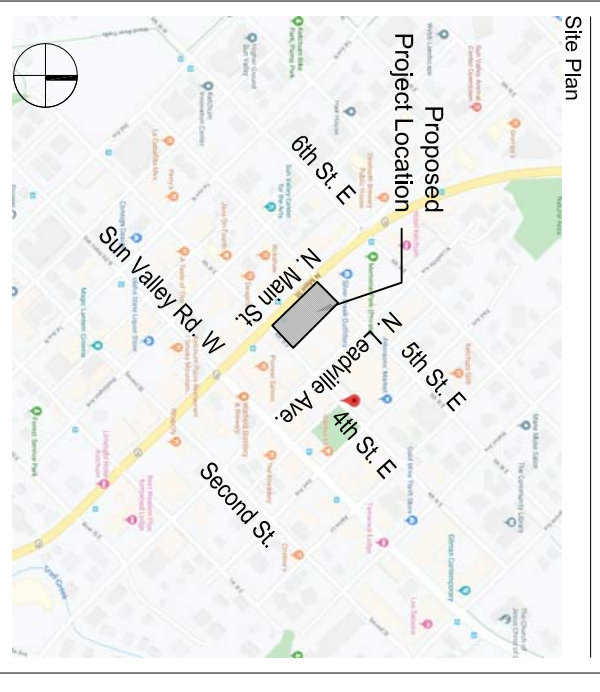
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Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

EMERGENCY VEHICLE ACCESS

Date:	2020/01/07	Project No.:	20-001
Scale:	1/8" = 1'-0"	GAO FILE:	base-1 floor plans
Drawn:	SBZ	Checked:	
Sheet No.:	A1.4		

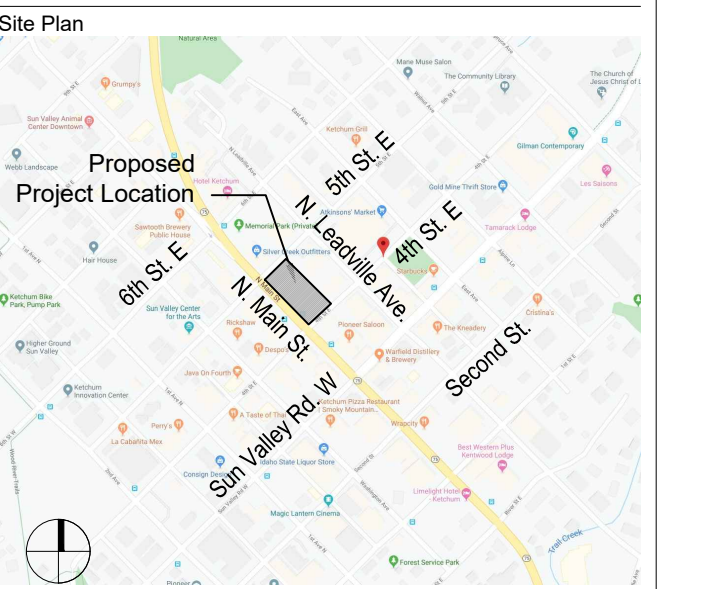
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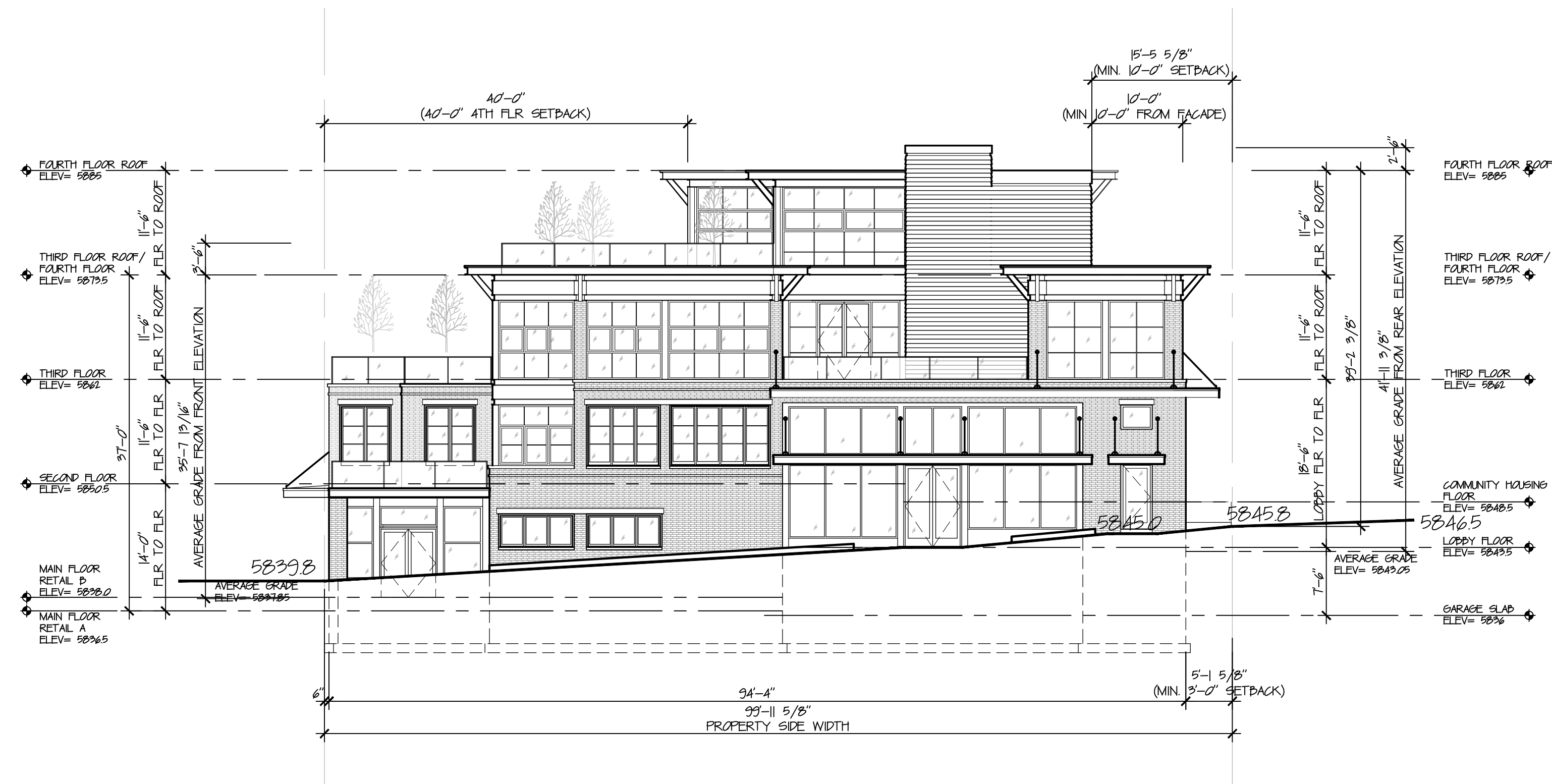
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1 FRONT EXTERIOR ELEVATION
A2.0 SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (SOUTH)
A2.0 SCALE: 3/32"=1'-0"

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Revisions	No.	Date	Issue
	1.	2010/01/05	CLIENT REVISIONS

FRONT & SIDE EXTERIOR ELEVATIONS

Date: 2010/01/07 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.0

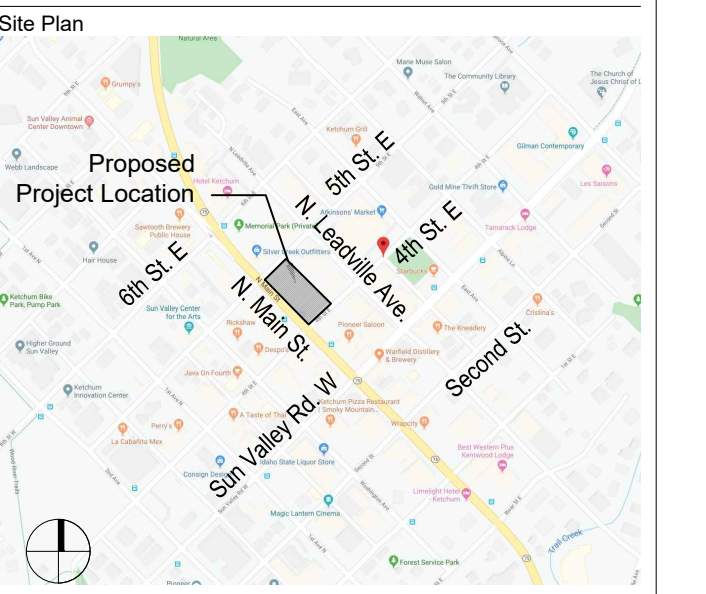
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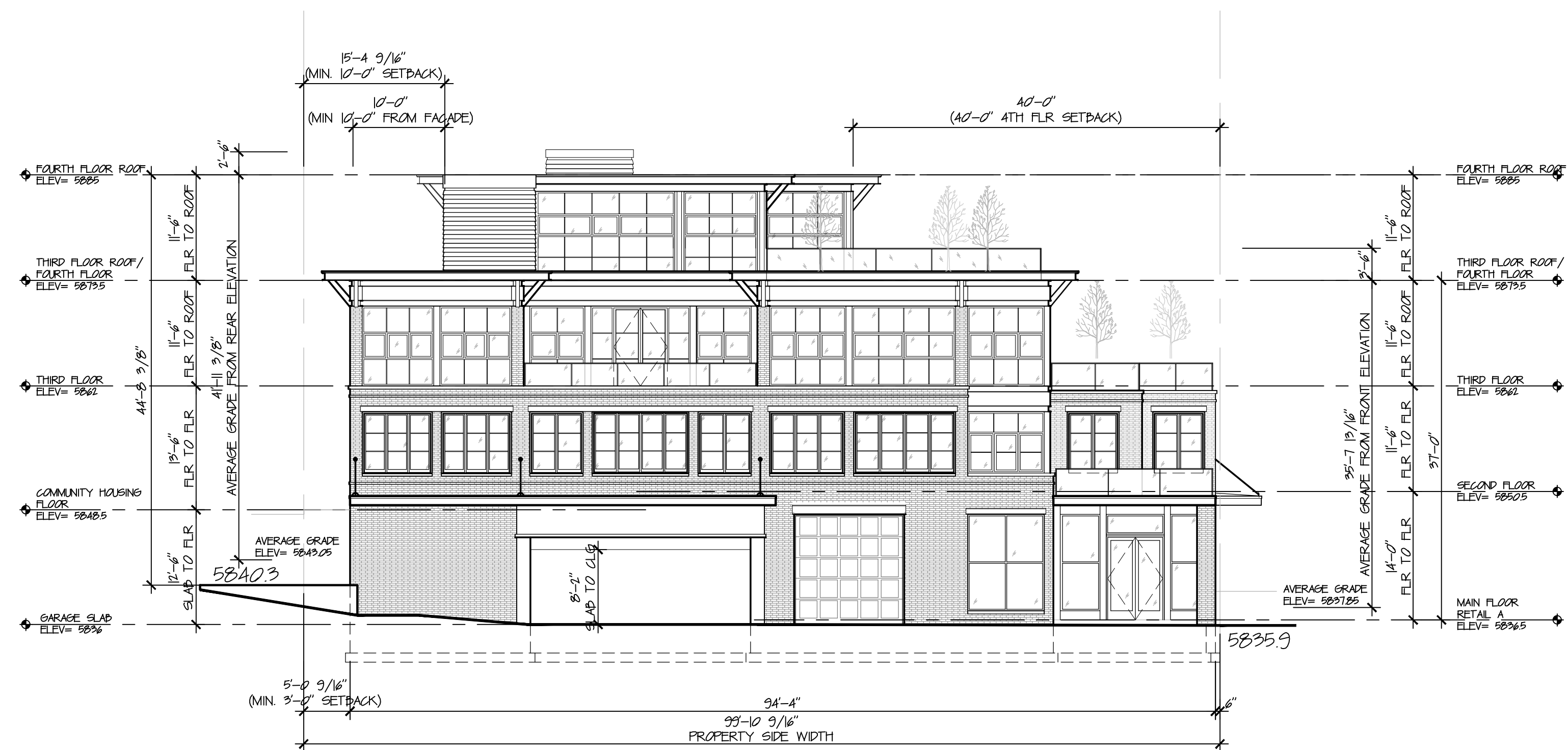
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1 REAR EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (NORTH)
SCALE: 3/32"=1'-0"

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Revisions		
No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS

REAR & SIDE EXTERIOR ELEVATIONS

Date: 2010/01/07 Project No.: 20-00
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.1

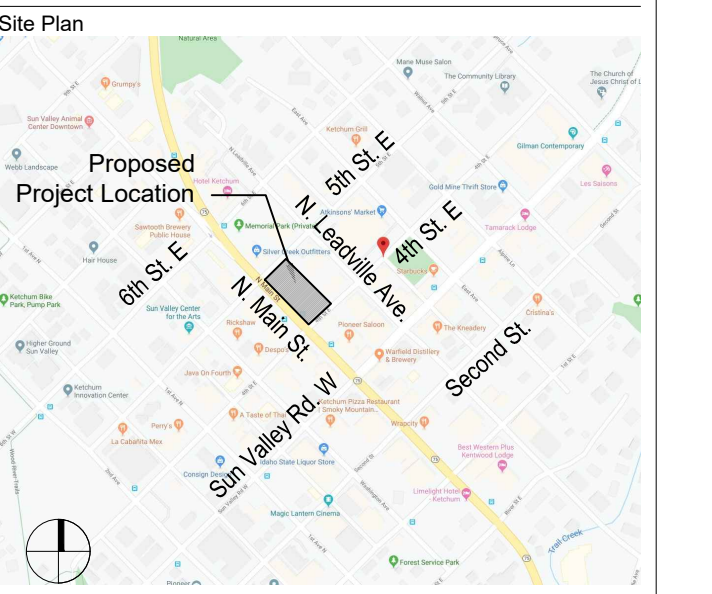
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KETCHUM, BLAINE COUNTY,
IDAHO 84117

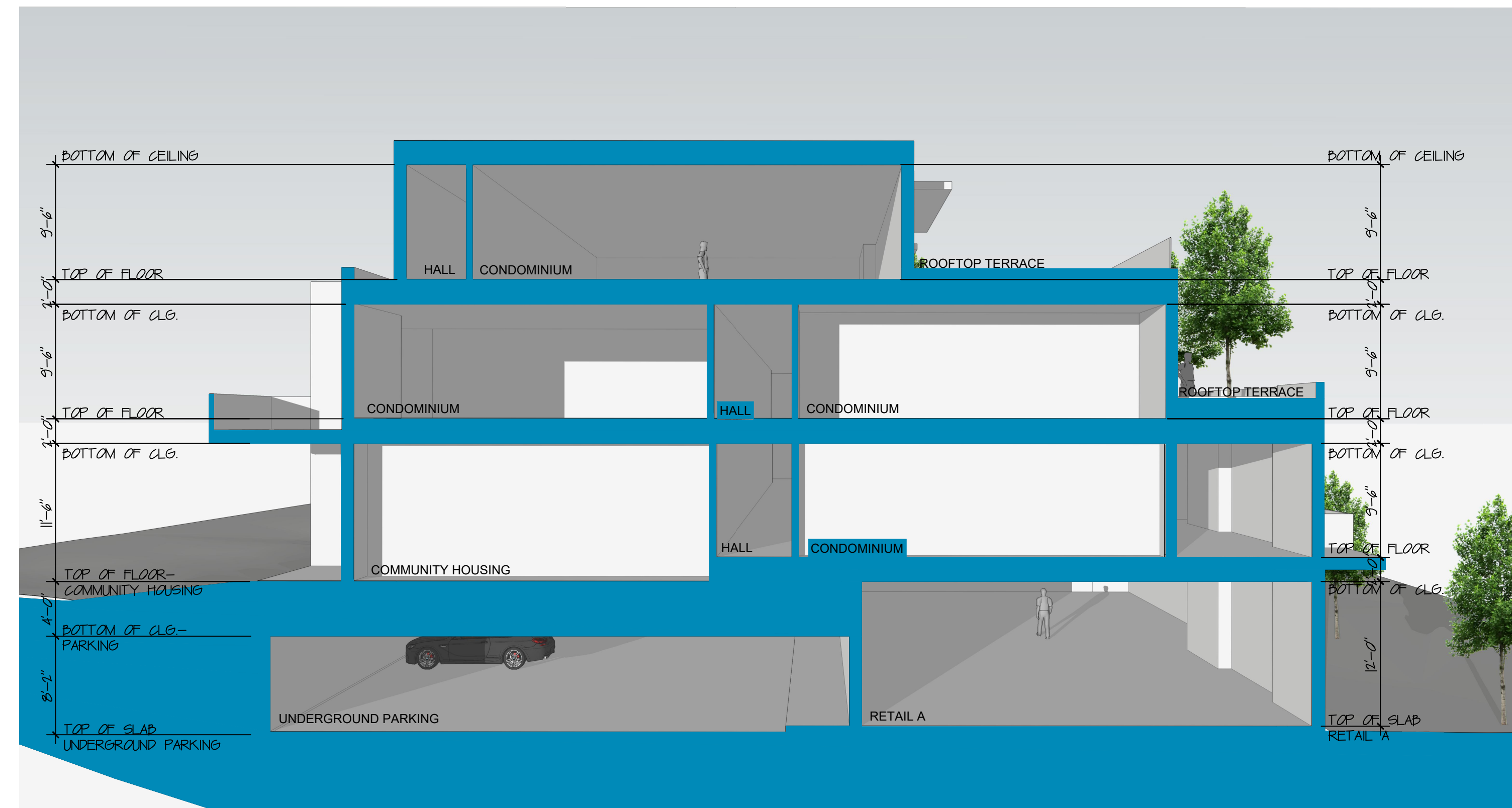
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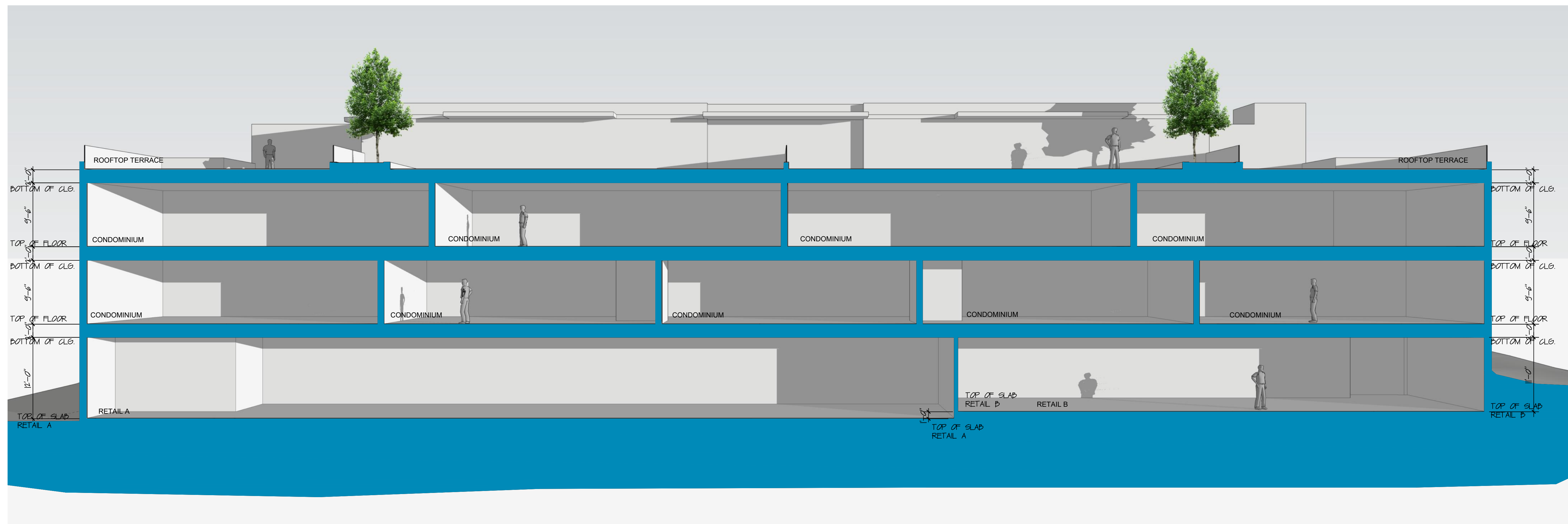
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2 BUILDING SECTION-RETAIL A
SCALE: 1/8"=1'-0"



1 LONGITUDINAL BUILDING SECTION
SCALE: 1/8"=1'-0"

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Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2010/1/17 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.: A3.0

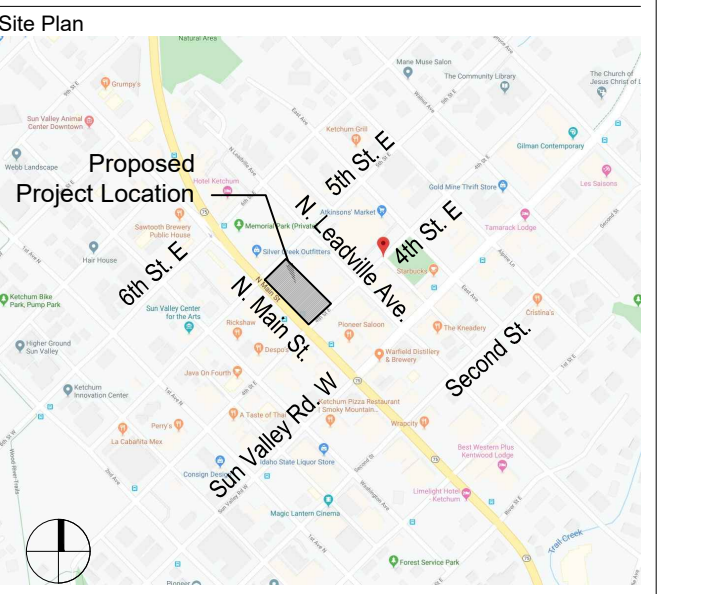
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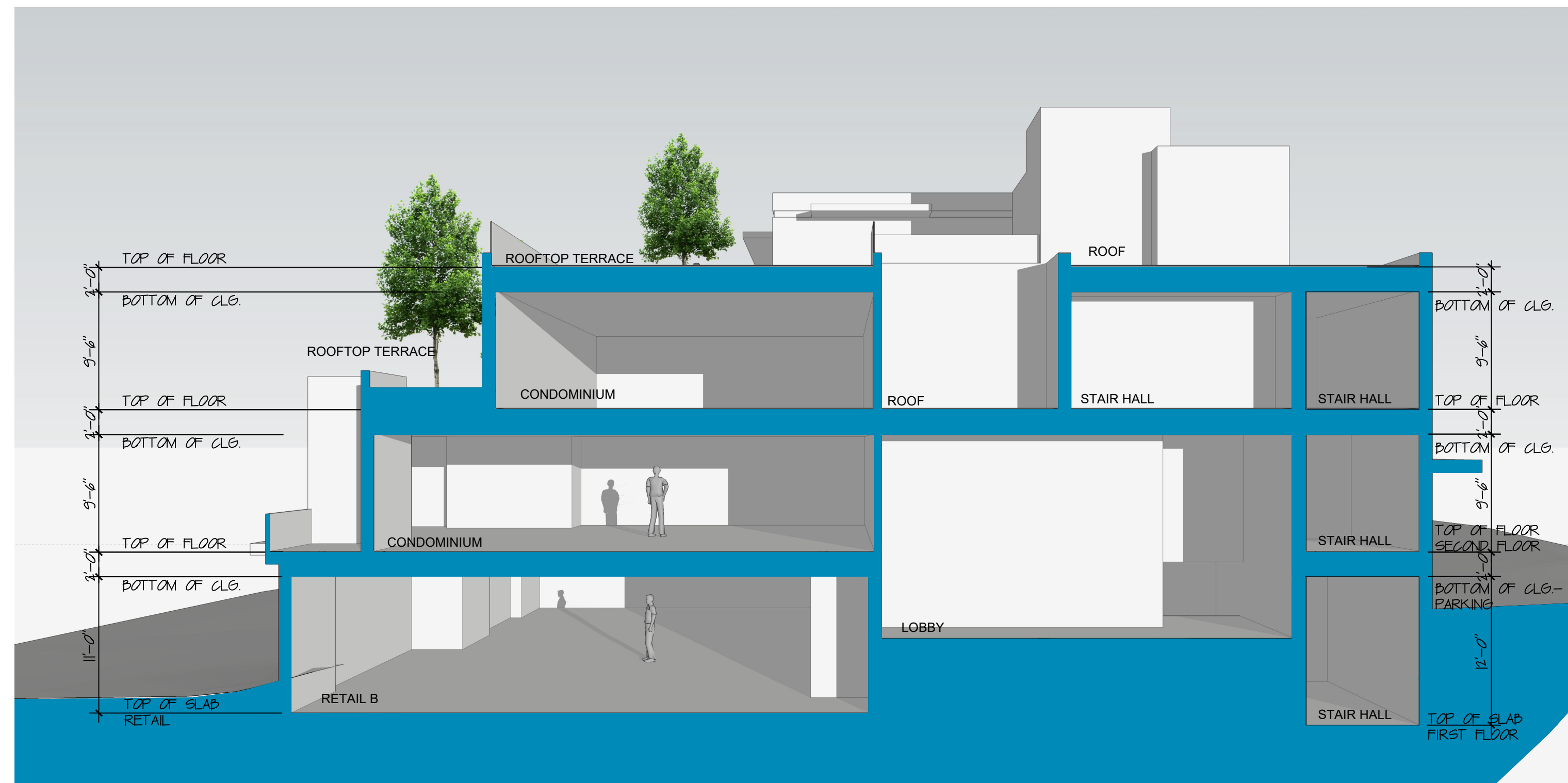
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BUILDING SECTION-RETAIL B
SCALE: 1/8"=1'-0"

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Revisions		
No.	Date	Issue

BUILDING SECTIONS

Date: 2010/1/17 Project No.:
Scale: 1/8"=1'-0" CAD File Name:
Design: sbz Checked:
Sheet No.:

A3.1

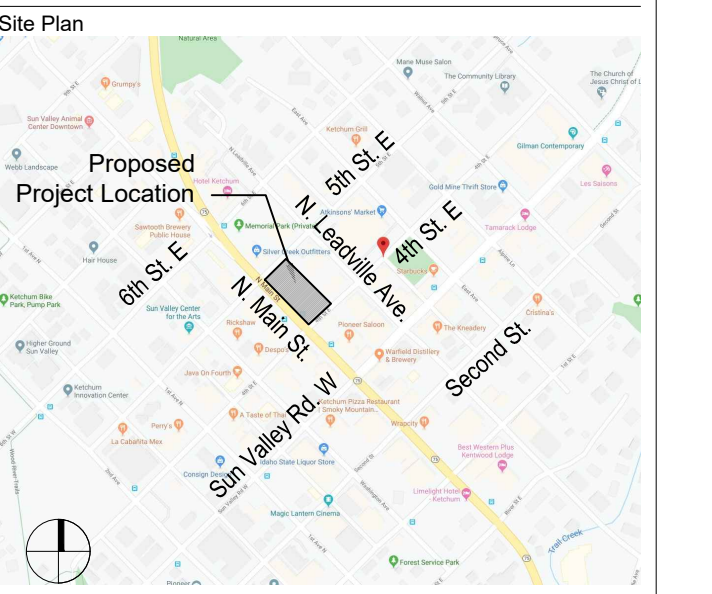
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IDAHO 84117

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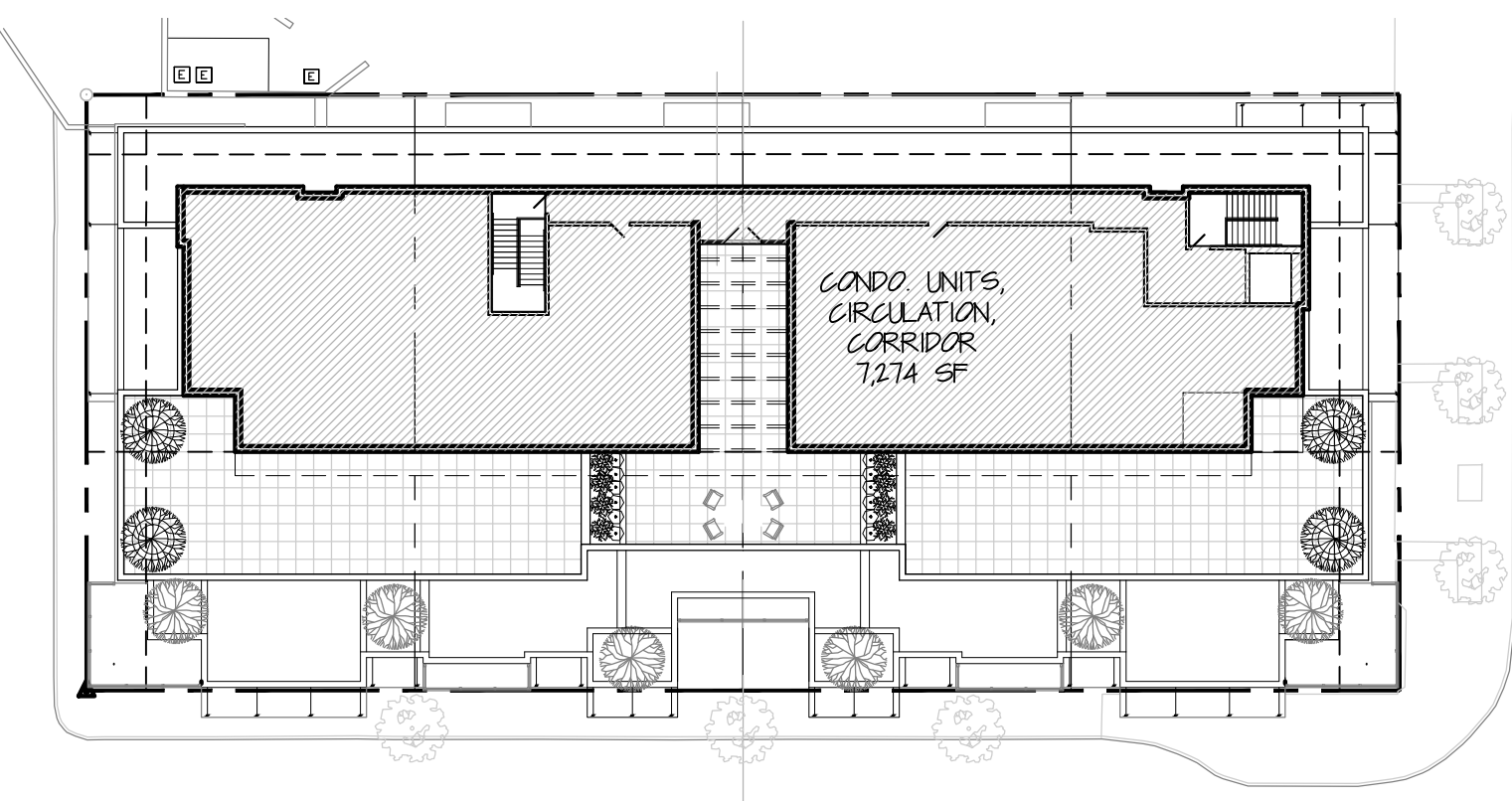
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Revisions No.	Date	Issue
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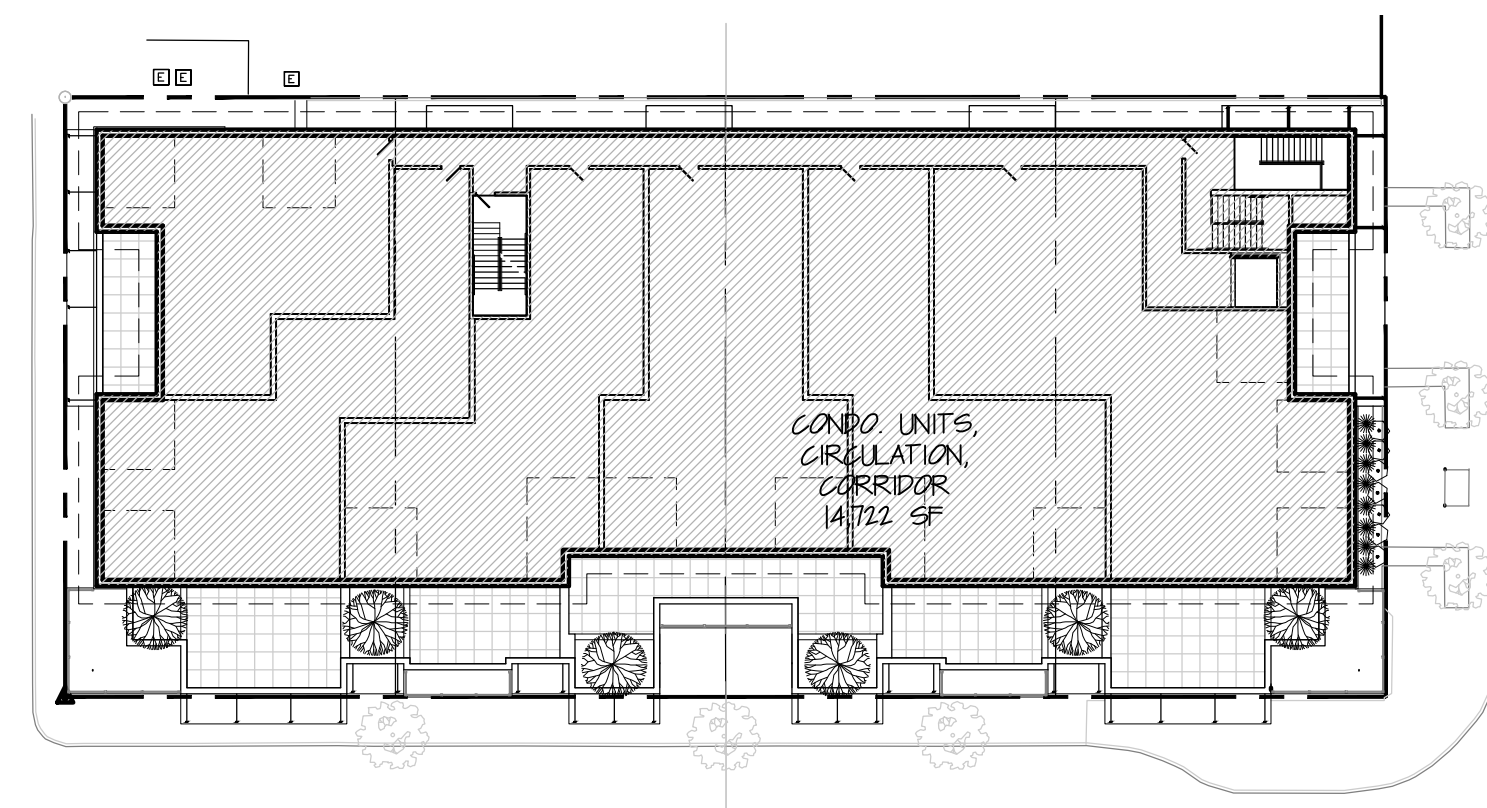
F.A.R. CALCULATIONS

Date: 2010/1/7
Scale: 1/32"=1'-0"
Design: sbz
Sheet No.:
Project No.:
CAD File Name:
Checked:

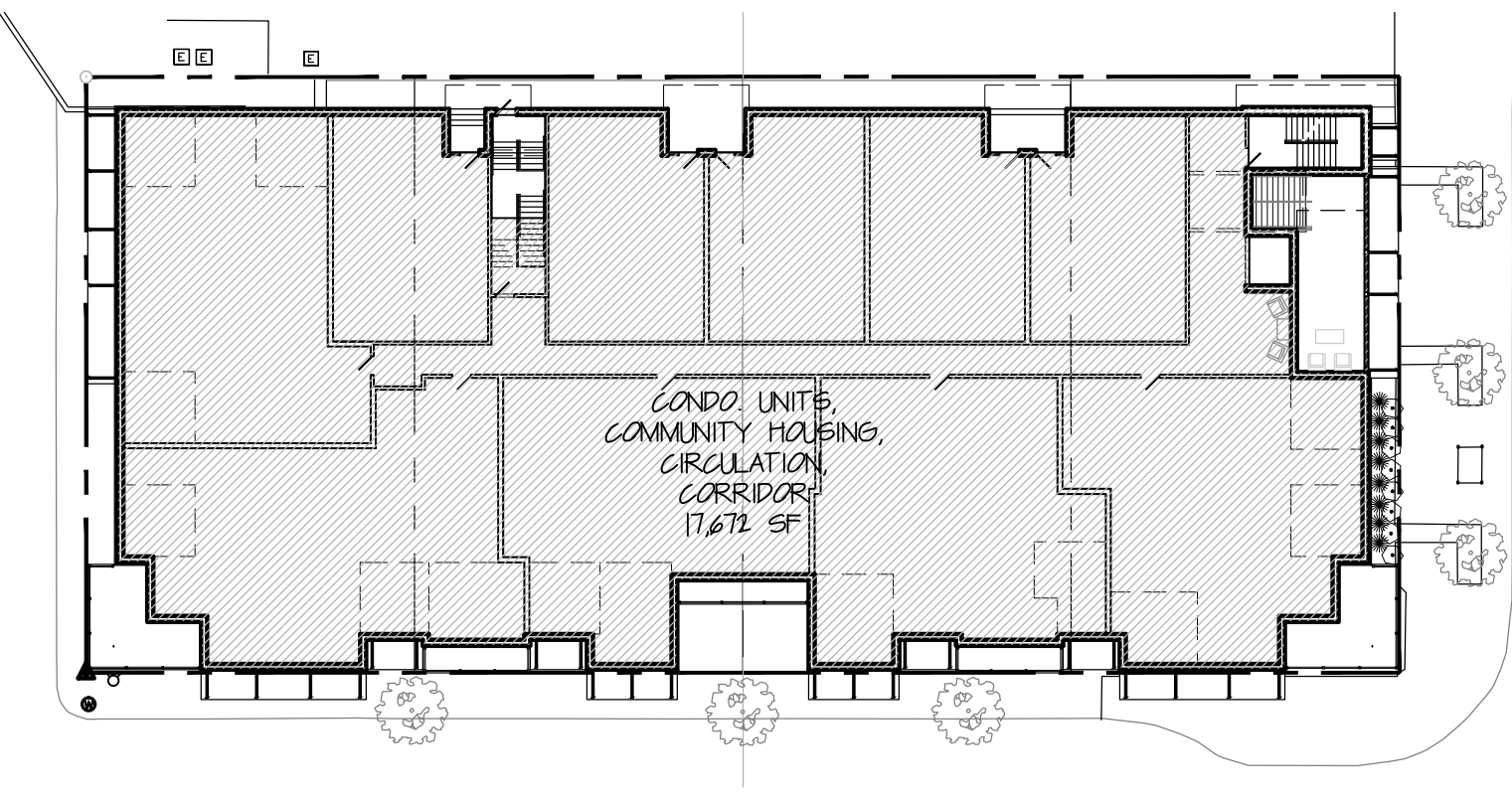
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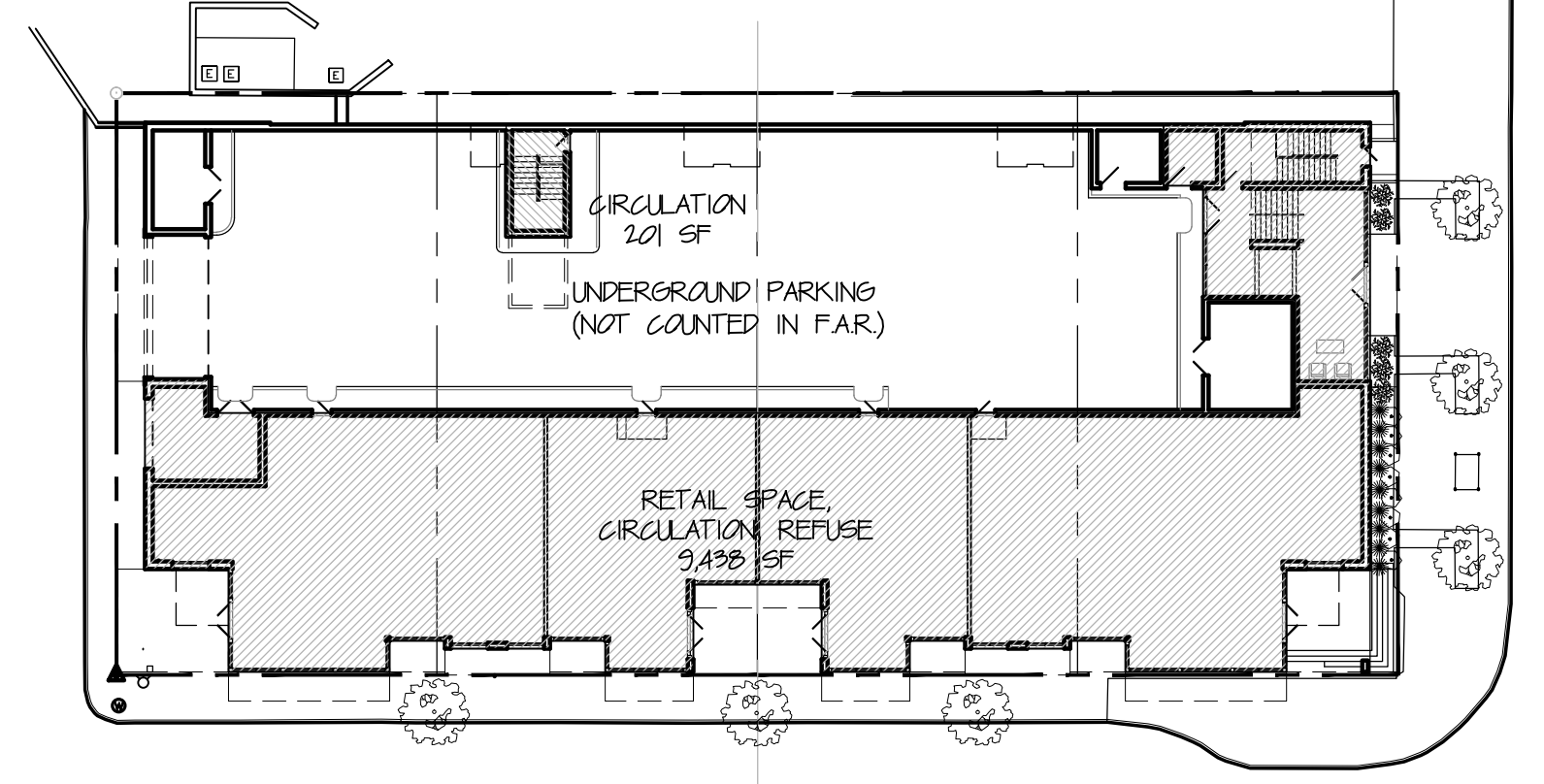
5 FOURTH FLOOR F.A.R.
SCALE: 1/32"=1'-0"



4 THIRD FLOOR F.A.R.
SCALE: 1/32"=1'-0"



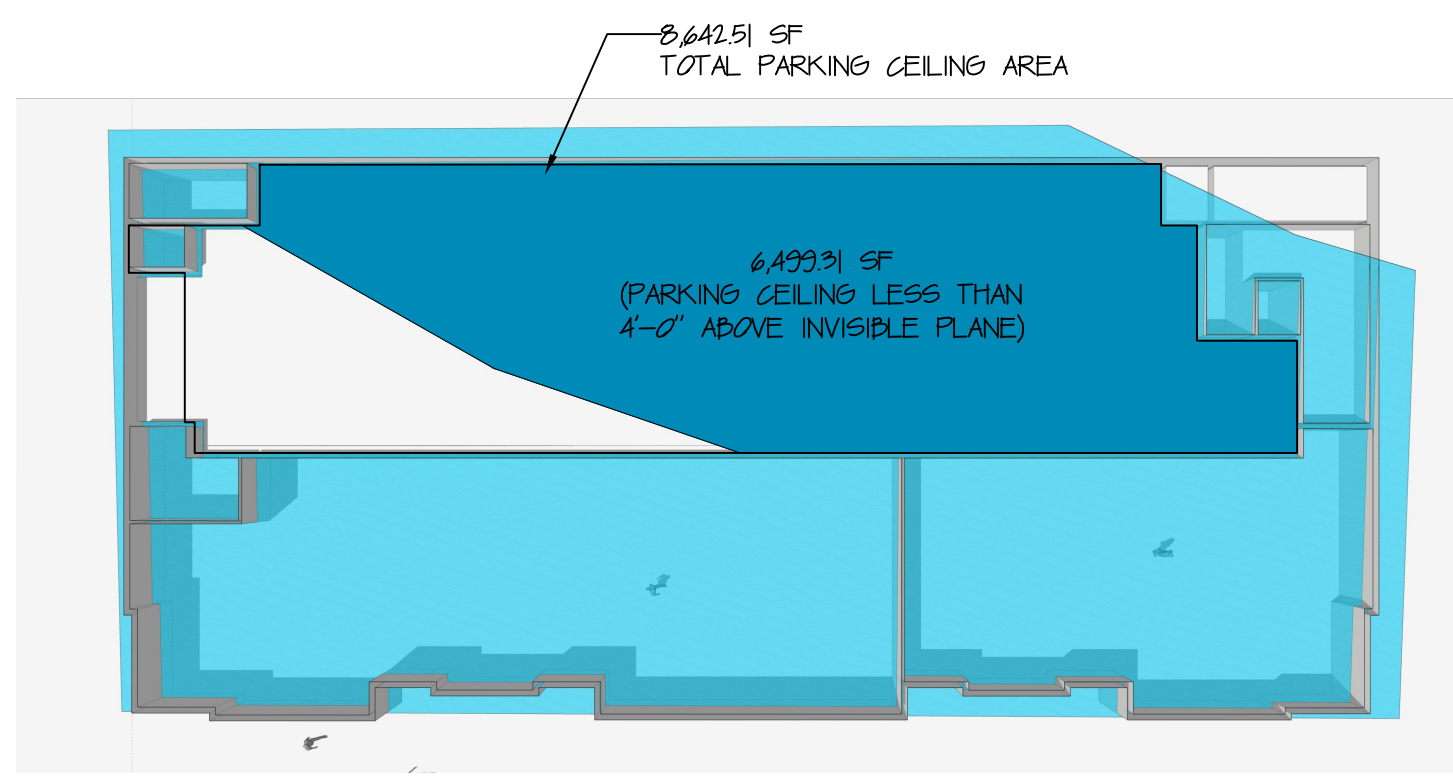
3 SECOND FLOOR F.A.R.
SCALE: 1/32"=1'-0"



2 FIRST FLOOR F.A.R.
SCALE: 1/32"=1'-0"

9,699 GSF FIRST FLOOR
17,672 GSF SECOND FLOOR
14,722 GSF THIRD FLOOR
1,274 GSF FOURTH FLOOR
49,307 GSF TOTAL FLOOR AREA

49,307 GSF TOTAL FLOOR AREA = 2.24 F.A.R. □ 2.25 ALLOWED
21,989 SF LOT AREA



1 UNDERGROUND PARKING DIAGRAM
SCALE: 1/32"=1'-0"

6,499.21 SF = 75% LESS THAN 8,642.51 SF
4'-0" ABOVE INVISIBLE PLANE
PARKING MEETS UNDERGROUND PARKING DEFINITION (NOT INCLUDED IN F.A.R. AREA)

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1 PERSPECTIVE RENDERING
 A5.0 SCALE: NTS

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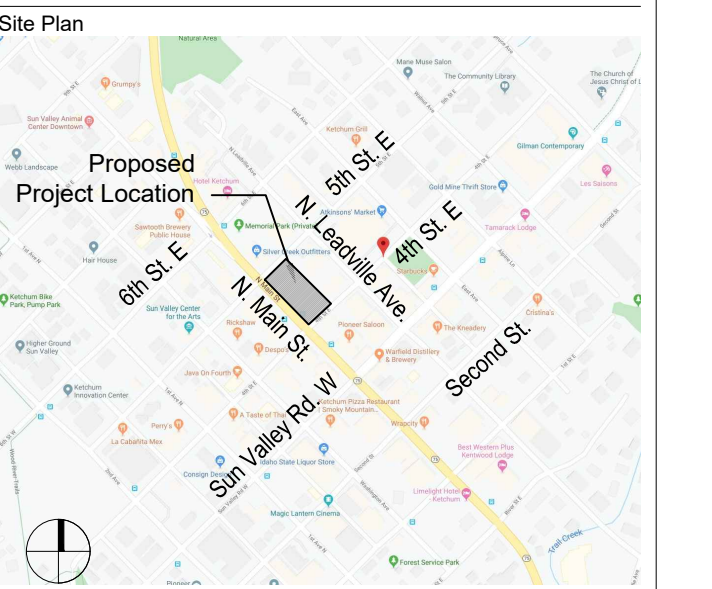
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Revisions		
No.	Date	Issue
1.	2010/01/05	CLIENT REVISIONS

PERSPECTIVE RENDERING

Date: 2010/01/05 Project No.: 10-00
 Scale: NTS CAD File Name:
 Design: sbz Checked:
 Sheet No.:

A5.0



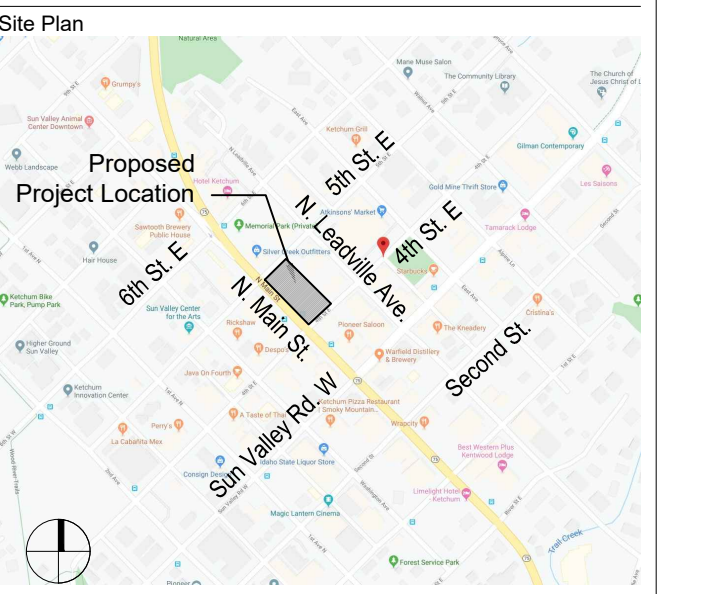
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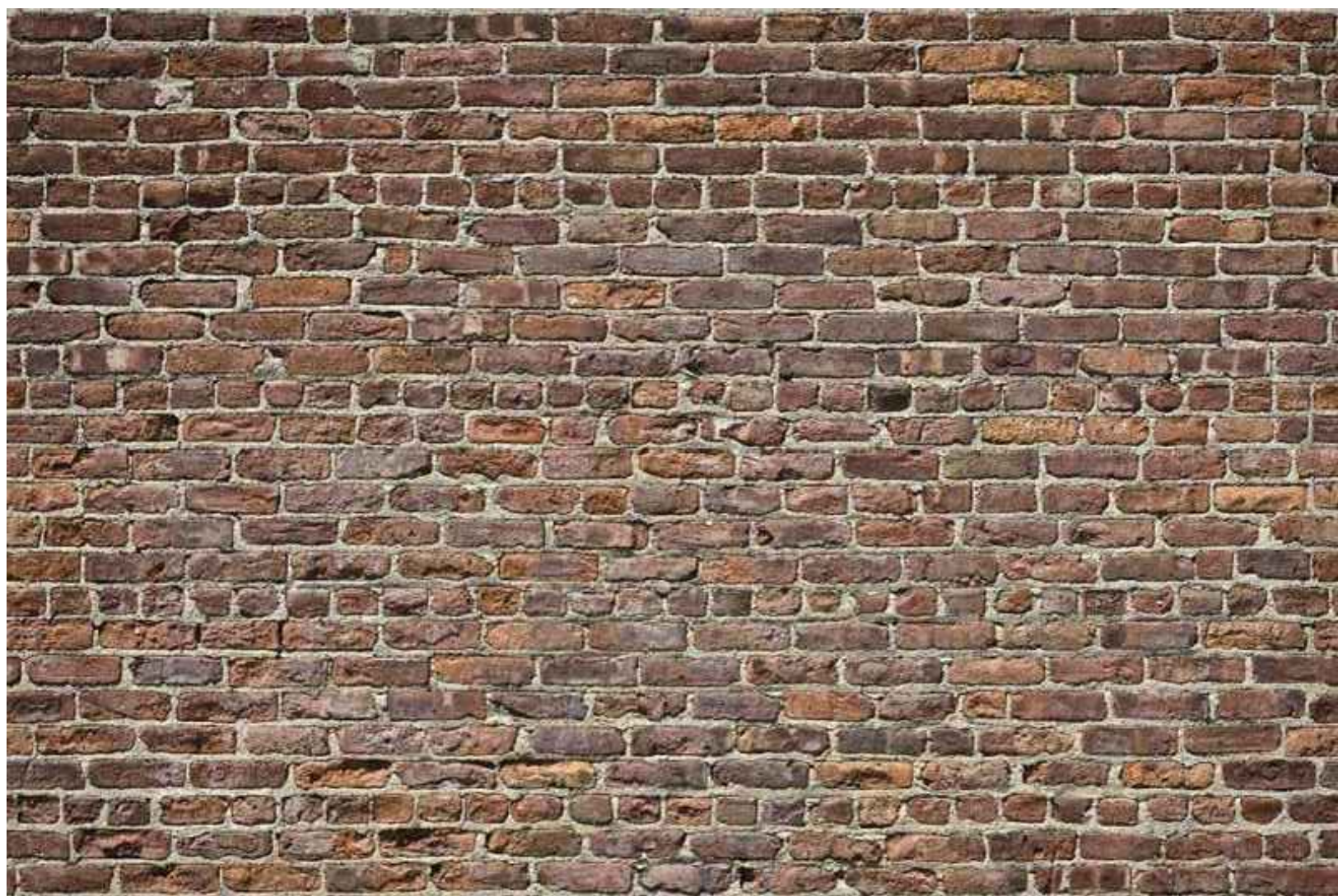
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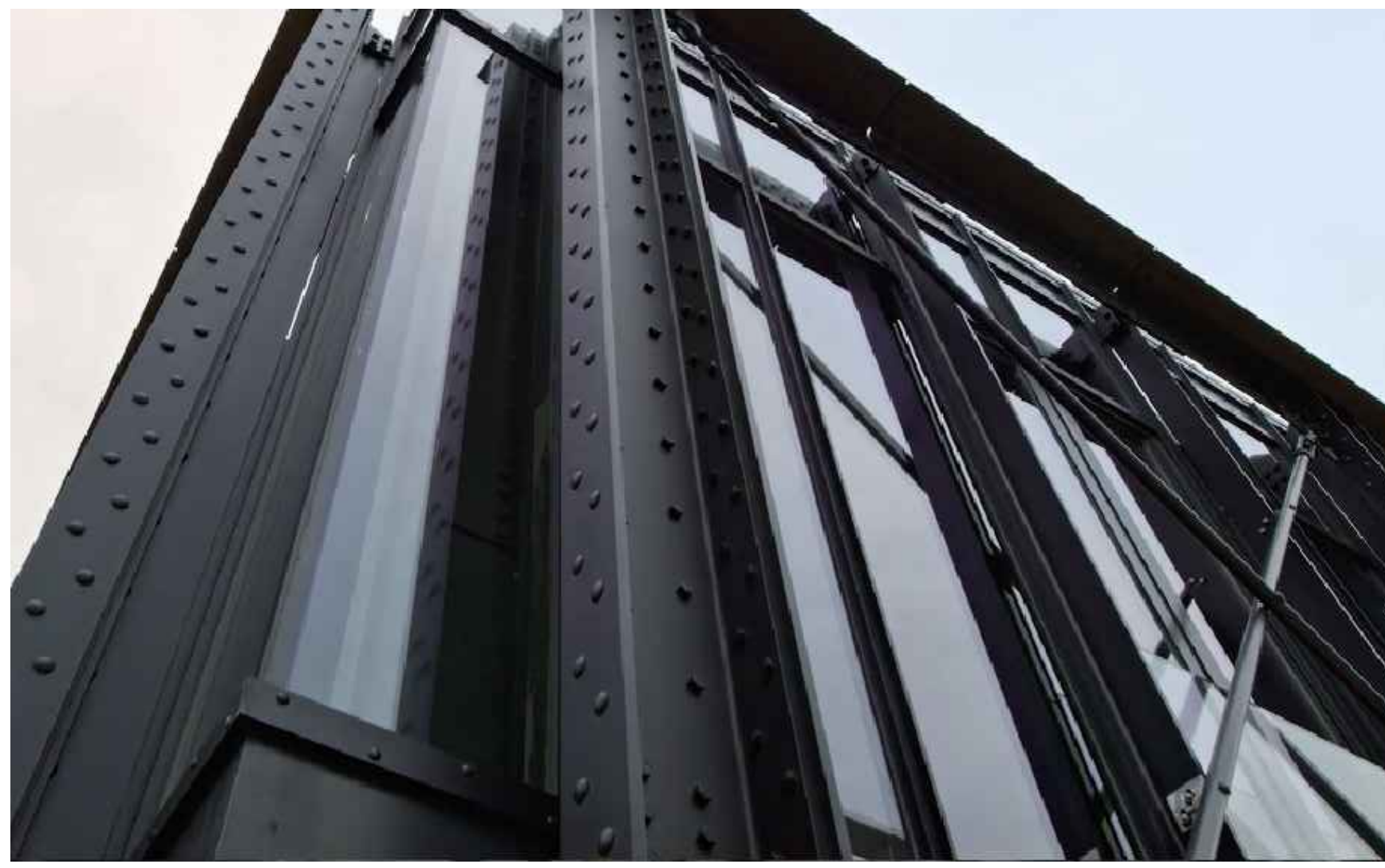


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1 RENDERED ELEVATION
SCALE: NTS



2 BRICK VENEER EXAMPLE
SCALE: NTS



3 METAL FACADE EXAMPLE
SCALE: NTS



4 METAL CANOPY IMAGE
SCALE: NTS

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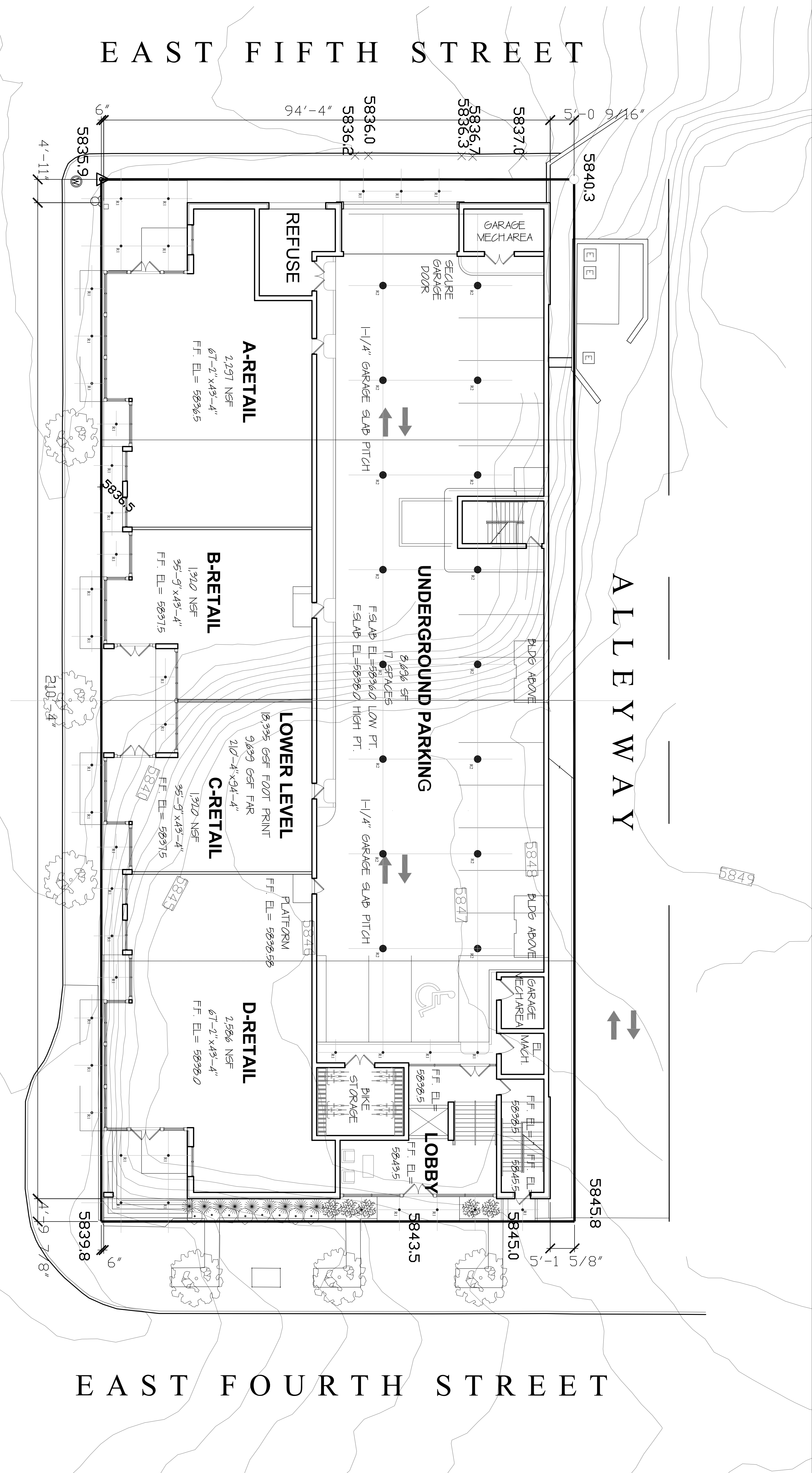
Seal

Revisions		
No.	Date	Issue

RENDERED ELEVATION

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Scale: NTS CAD File Name:
Design: sbz Checked:
Sheet No.:

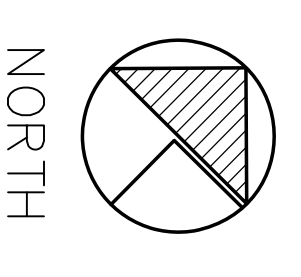
A5.1



① FIRST FLOOR LIGHTING PLAN
SCALE: 3/32"=1'-0"

LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	MOUNTING	LAMPS-OUTPUT	DESCRIPTION
● R1	LF ILLUMINATION, INC.	RECESSED	LED-3000 LUMENS	OUTDOOR RECESSED FIXED DOWNLIGHT WITH DIE-CAST ALUMINUM TRIM
● R2	KENDALL MANUFACTURING COMPANY	SURFACE MOUNTED	LED-21,000 LUMENS	OUTDOOR SURFACE MOUNTED PARKING GARAGE LIGHT FIXTURE
— W1	PEGA LIGHTING PRODUCTS	RECESSED WALL - SHIELDED	LED-600 LUMENS	RECESSED WALL LIGHT FIXTURE - SHIELDED



NORTH

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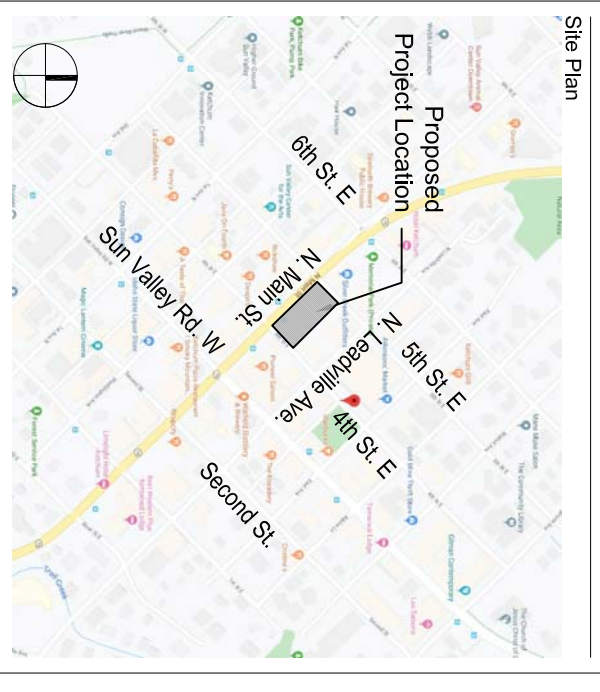
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR 4224
MILLCREEK UT 84117

Z:\General\Autocad Reference\PLLogo_Rev.jpg

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203-426-6500 fax: 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects LLC
38 Taunton Hill Road
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(203) 426-6503 fax

Revisions

No.	Date	Issue
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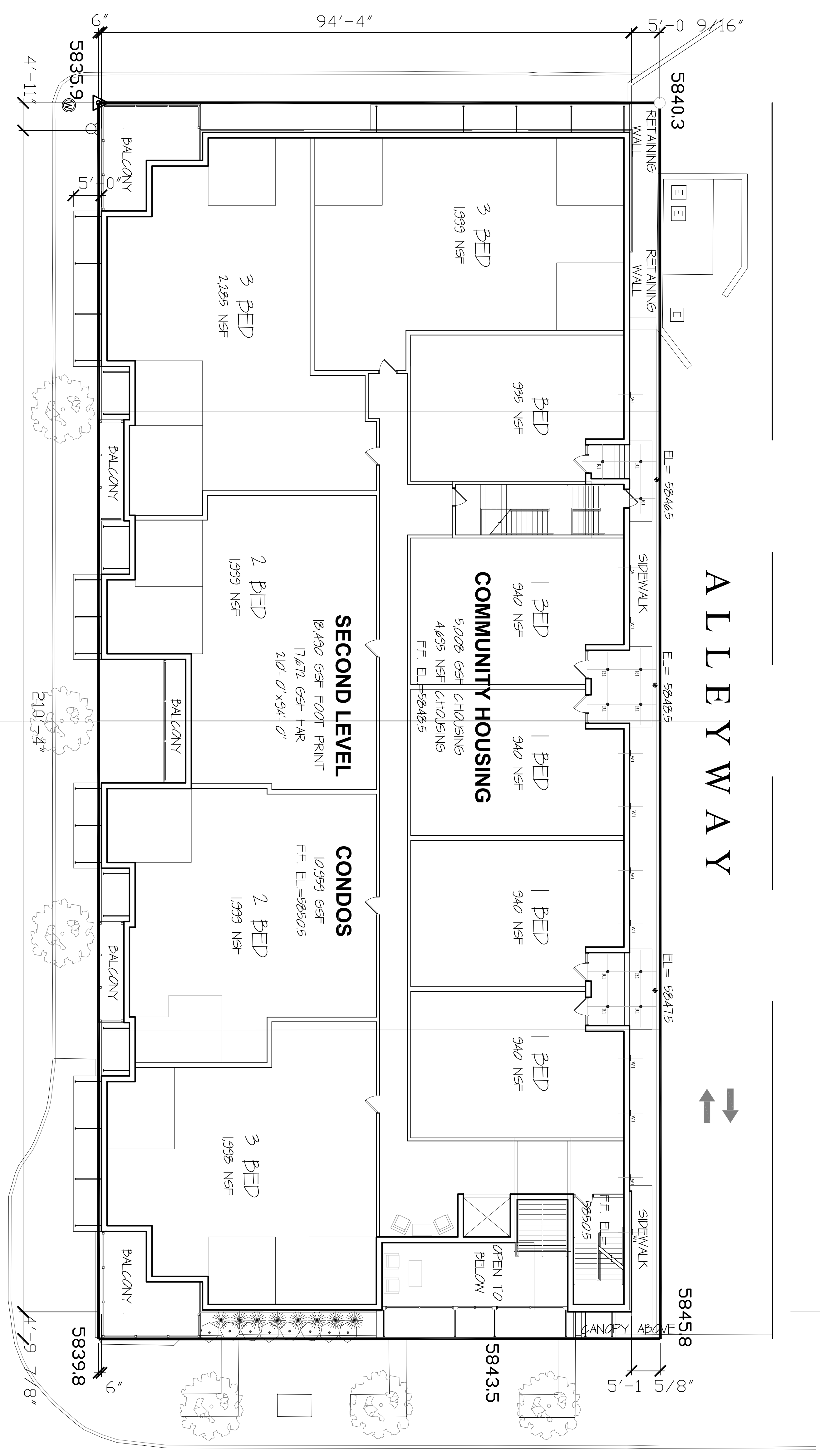
FIRST FLOOR LIGHTING PLAN

Date: 2020/01/17
Scale: 3/32"=1'-0"
Sheet No.: SBZ

Project No.: 20-001
GAS PERM
base-1 floor plans
Checked:

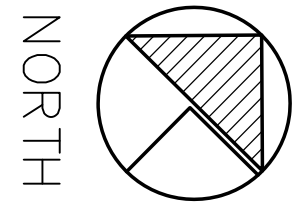
AG.0

EAST FIFTH STREET



SECOND FLOOR LIGHTING PLAN
SCALE: 3/32"=1'-0"

EAST FOURTH STREET



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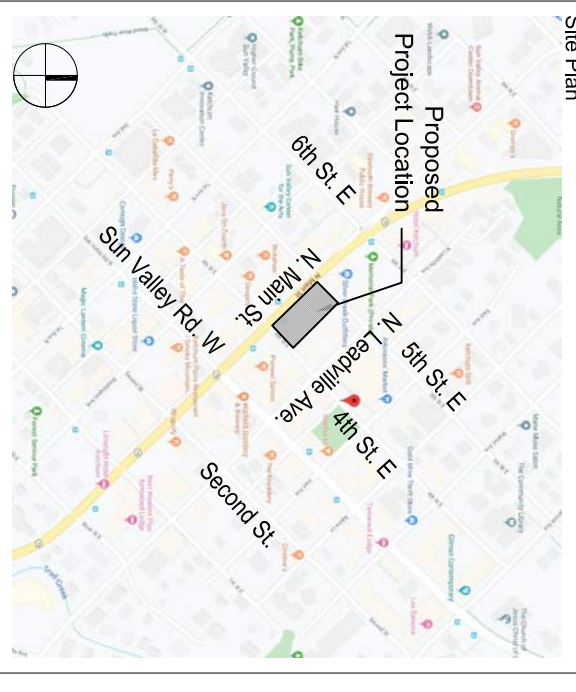
MIXED USE DEVELOPMENT

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IDAHO 84417

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MILLCREEK UT 84117

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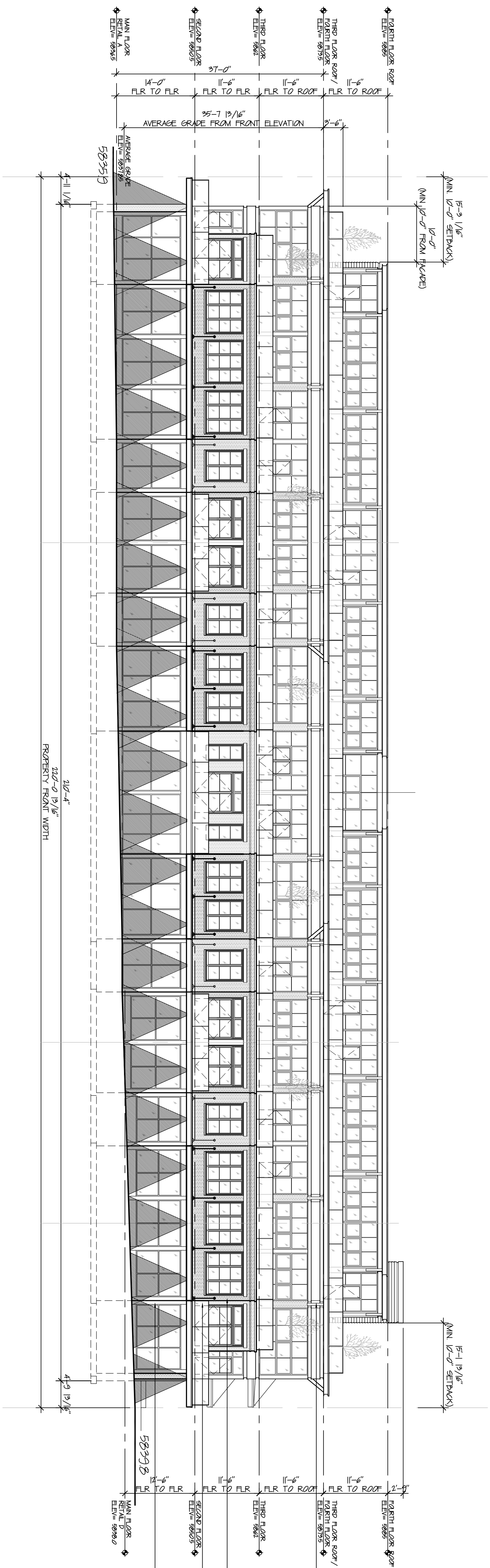
Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

SECOND FLOOR LIGHTING PLAN

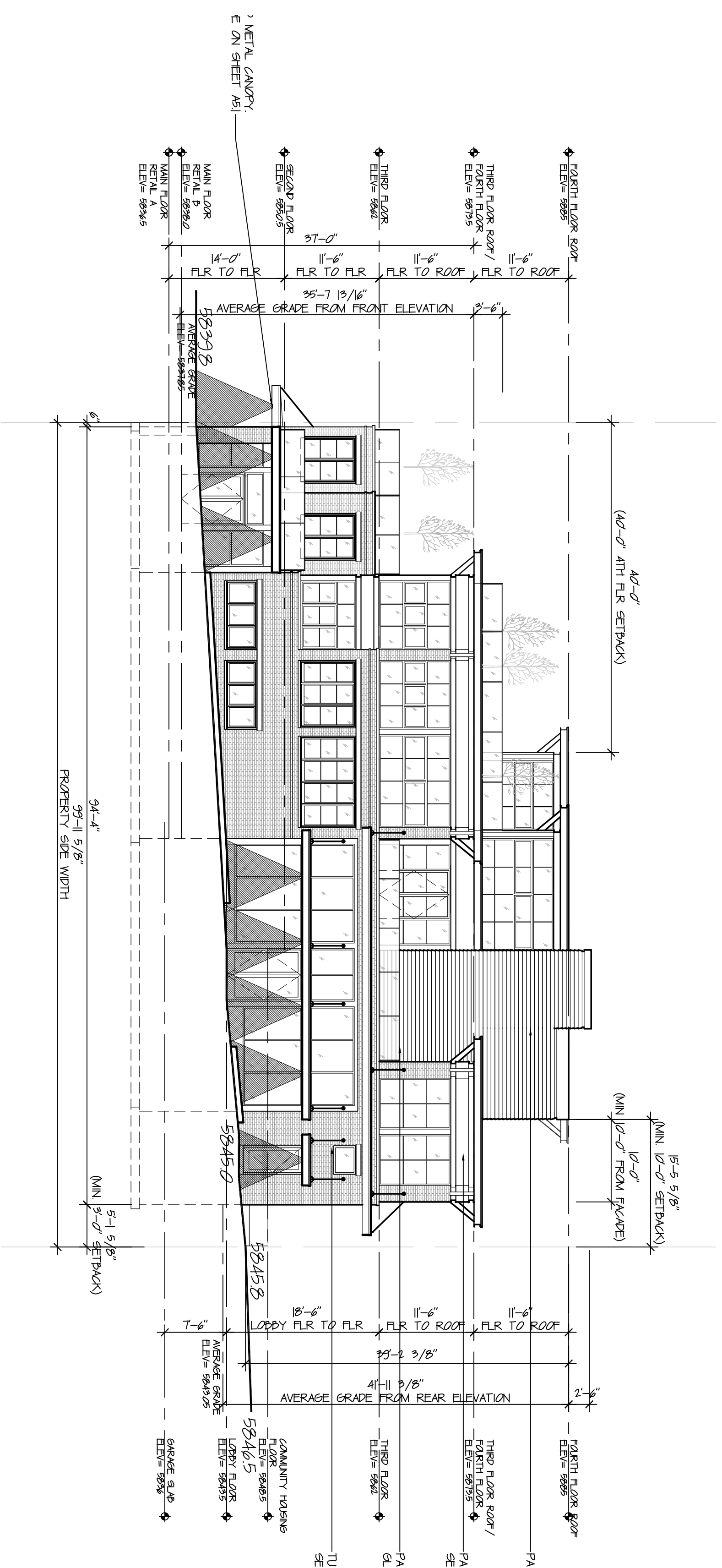
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Sheet No.: SBZ

Project No.: 20-001
GASFLOW
base-floor plans
Checked:

A6.1



1 FRONT ELEVATION - LIGHTING
SCALE: 3/32"=1'-0"



2 SIDE ELEVATION (SOUTH) - LIGHTING
SCALE: 3/32"=1'-0"

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MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGH AND DR 4224
MILLCREEK UT 84117

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(203) 426-0503 fax

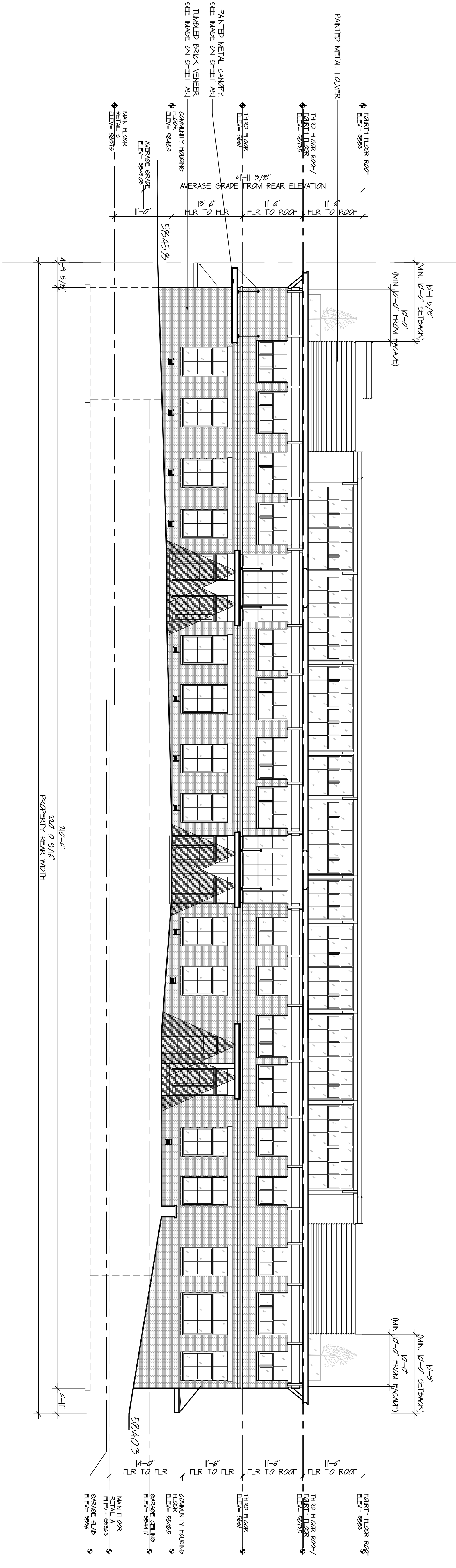
Revisions	No.	Date	Issue
	1	2020/01/05	CLIENT REVISIONS

FRONT & SIDE ELEVATIONS - LIGHTING

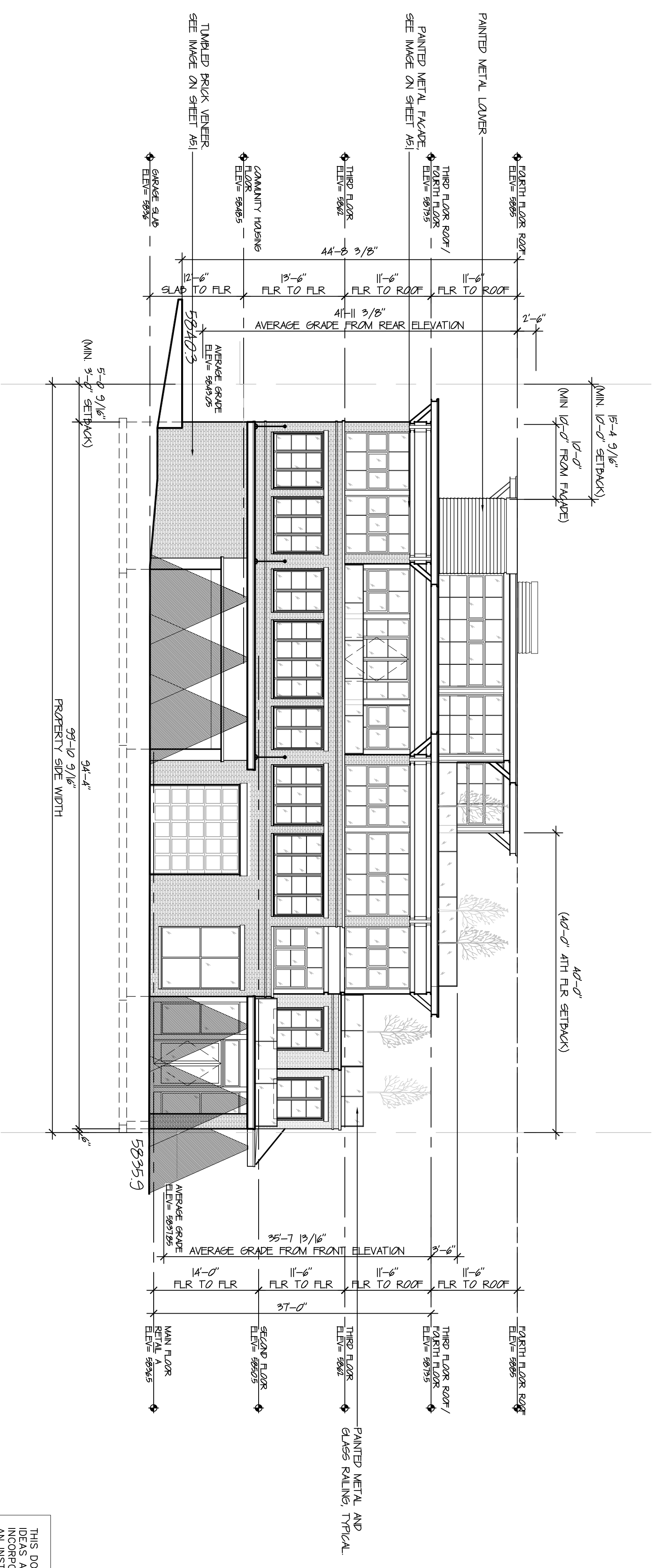
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Project No.: 20-001
GAS: GSI
base-ext elev.
Check: elev.

AG.2



1 REAR ELEVATION - LIGHTING
SCALE: 3/32"=1'-0"



2 SIDE ELEVATION (NORTH) - LIGHTING
SCALE: 3/32"=1'-0"

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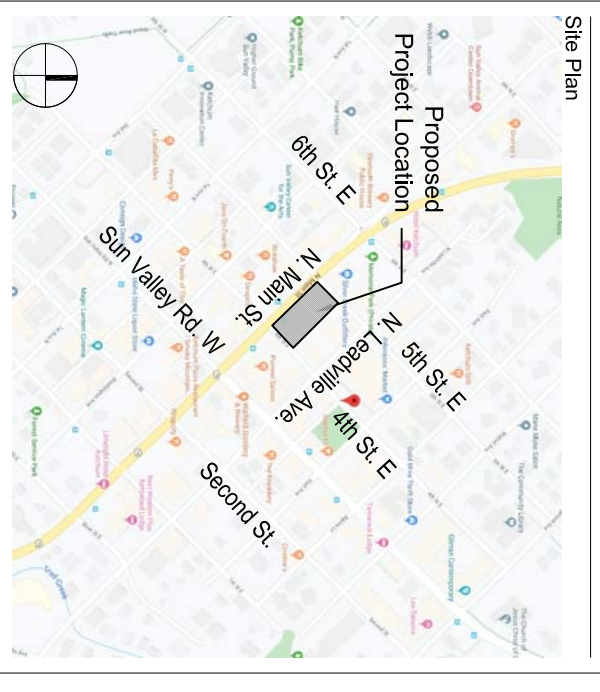
MIXED USE DEVELOPMENT

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IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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ph-archs.com



Project Team:
Architect and Planner:
P H Architects LLC
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Newtown, Connecticut 06470
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Revisions

No.	Date	Issue
1	2020/01/05	CLIENT REVISIONS

REAR & SIDE ELEVATIONS - LIGHTING

Date: 2020/01/07
Scale: 3/32"=1'-0"
Sheet No.: SBZ

Project No.: 20-001
Client: G&S
Designer: G&S
Check: G&S

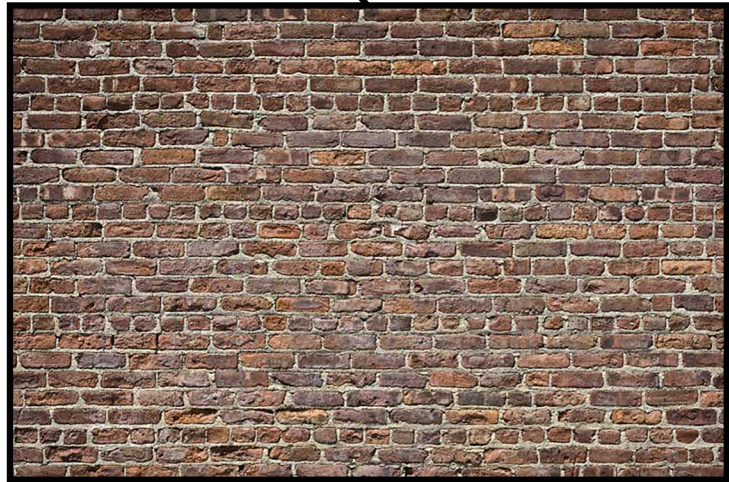
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PAINTED METAL CANOPY



PAINTED METAL FACADE



BRICK VENEER

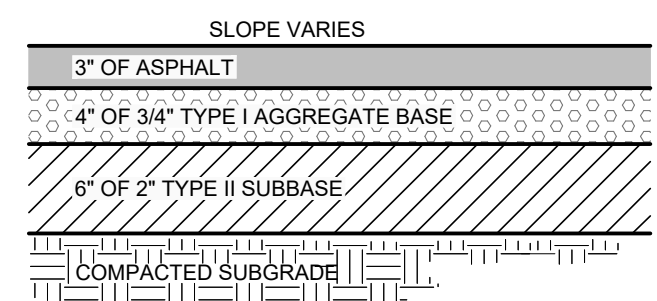
MATERIAL SAMPLE BOARD
 SCALE: NOT TO SCALE
 February 11, 2020

PH
 ARCHITECTS
 38 TAUNTON HILL ROAD NEWTOWN, CT 06470
 PH-ARCHS.COM

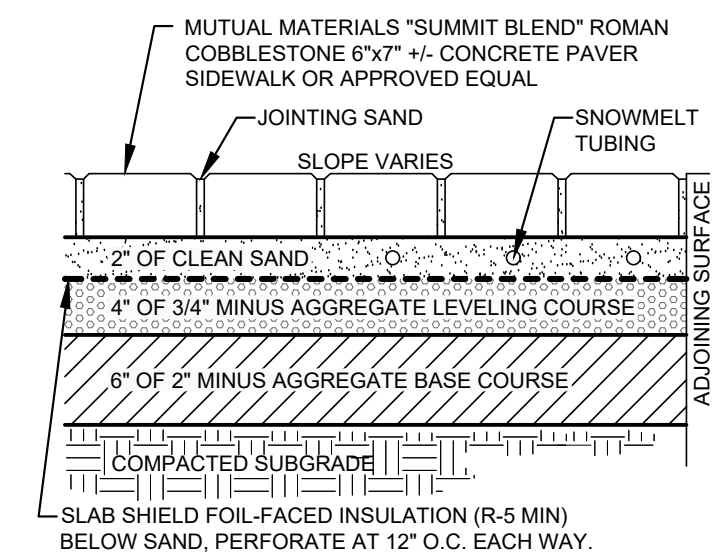
MIXED USE DEVELOPMENT
 4TH & MAIN ST.
 KETCHUM, IDAHO

CONSTRUCTION NOTES

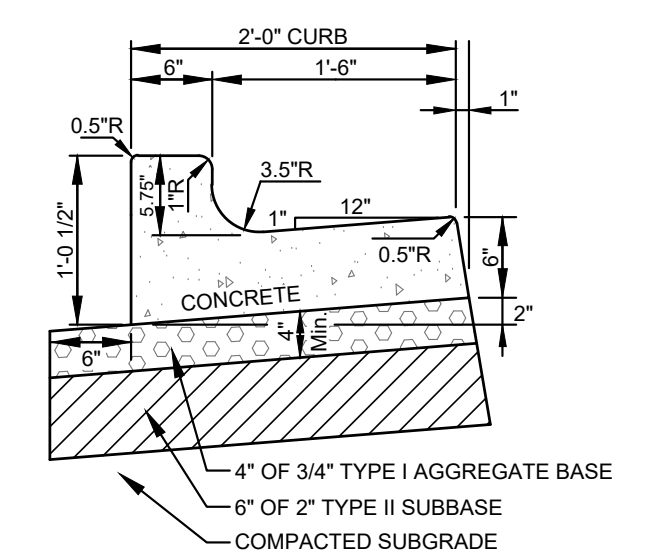
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A., 11/6/2019. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



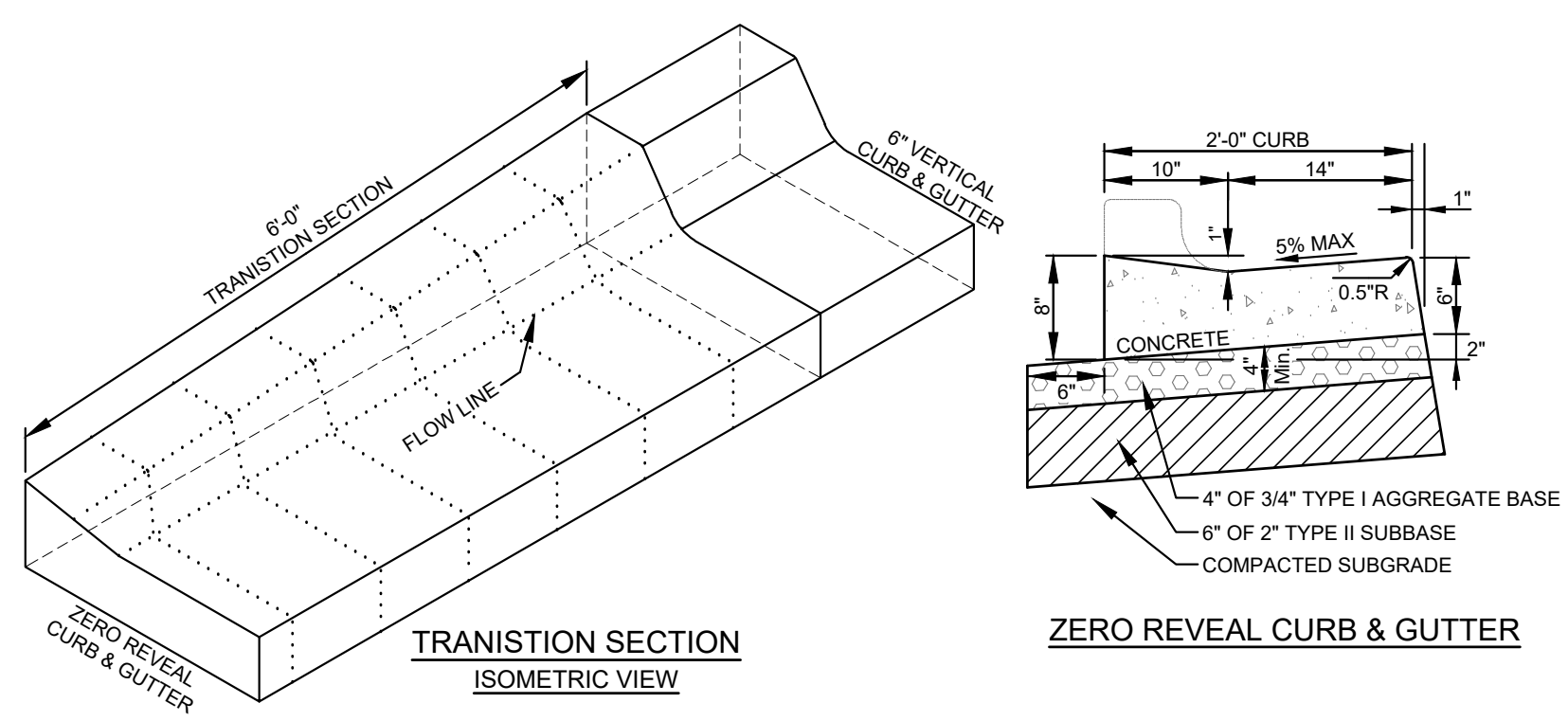
1 C0.1 **TYPICAL STREET ASPHALT SECTION**
N.T.S.



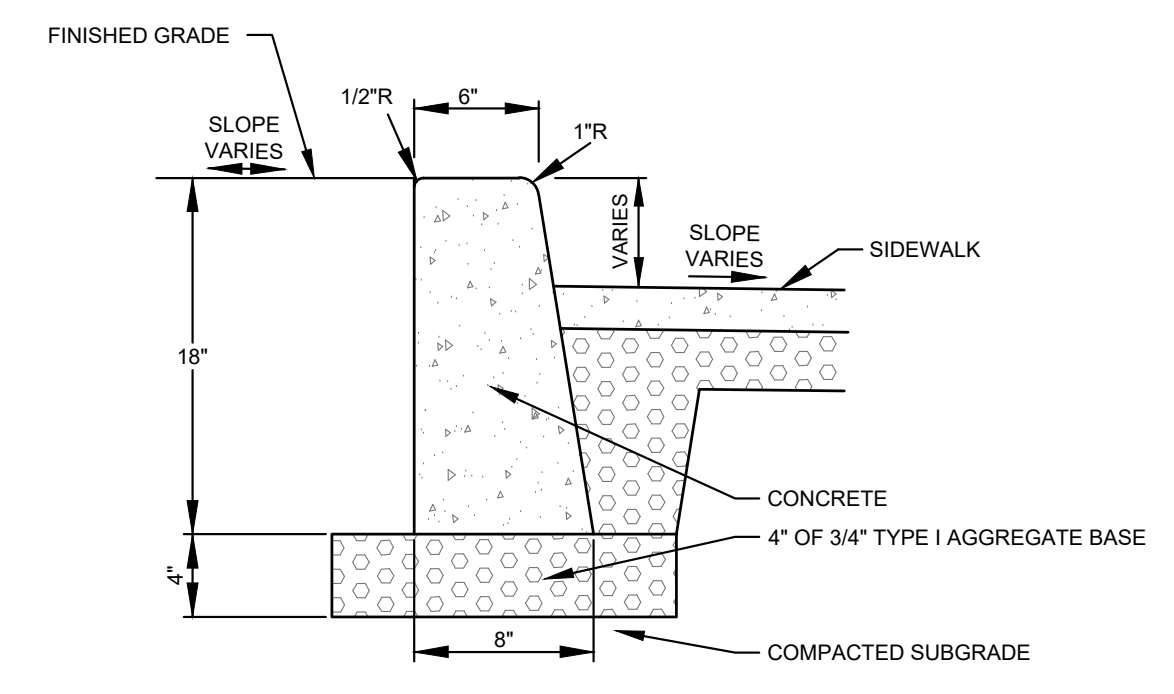
2 C0.1 **PAVER DETAIL**
N.T.S.



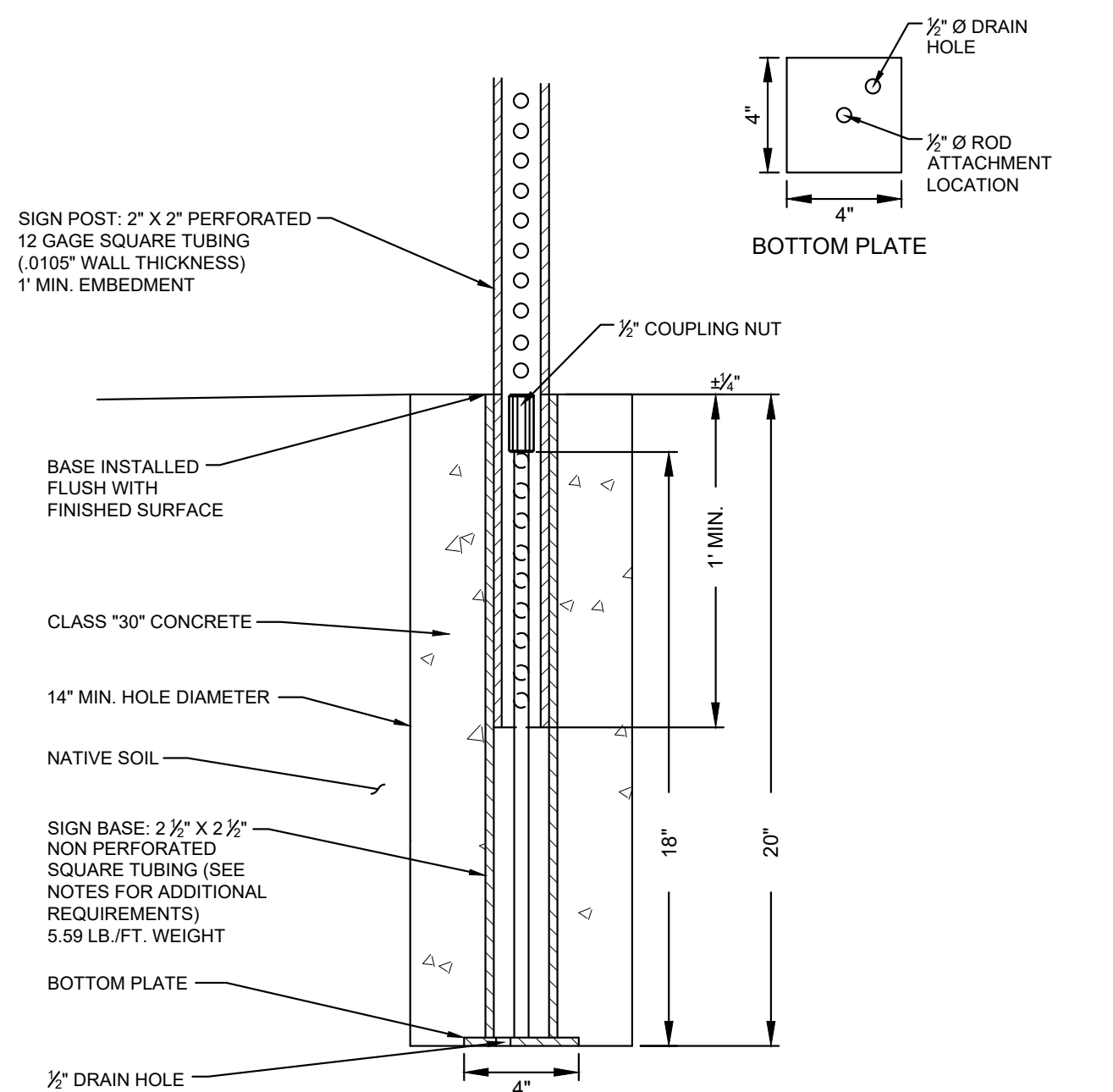
3 C0.1 **6\"/>**



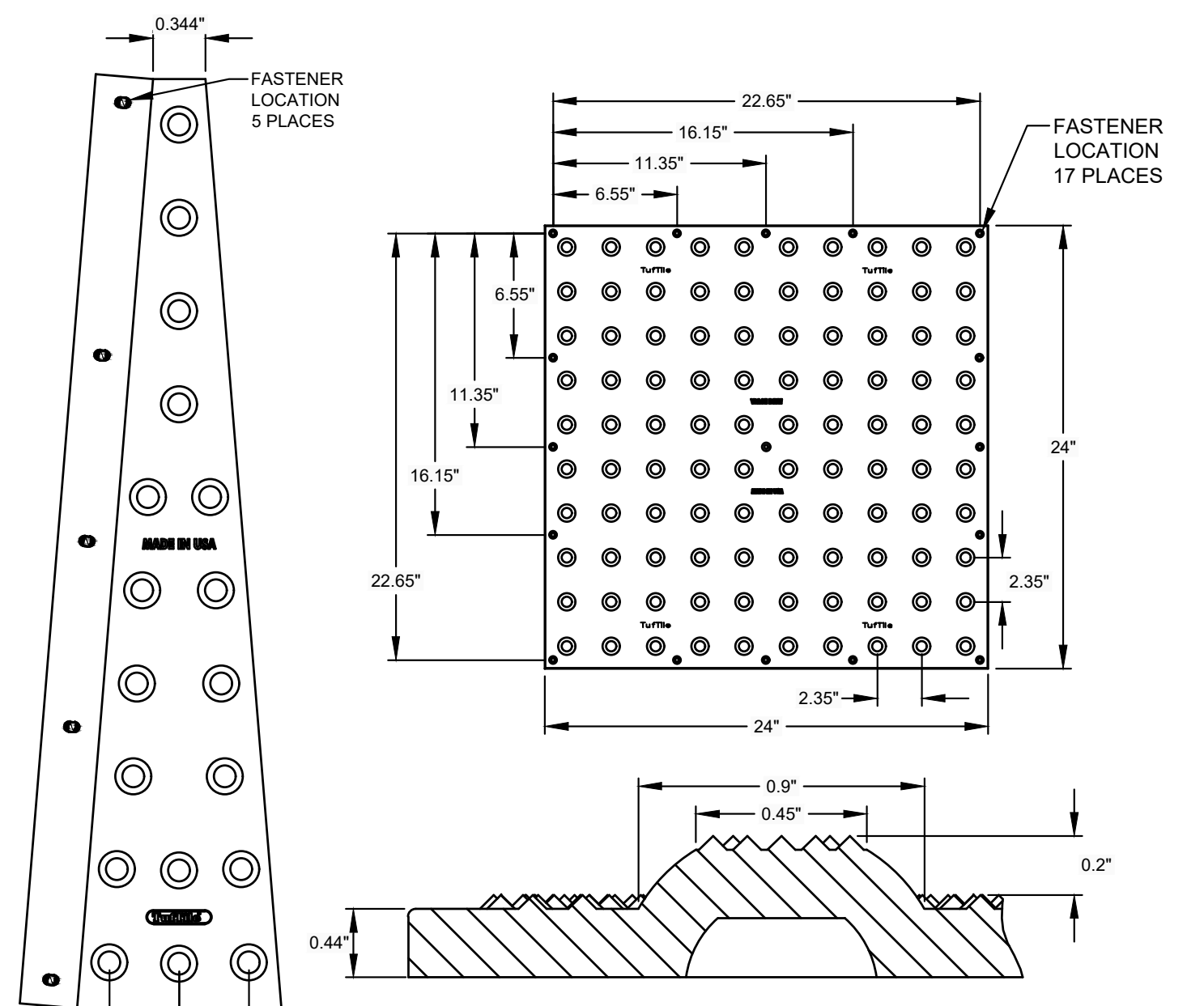
4 C0.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.



5 C0.1 **CONCRETE VERTICAL CURB**
N.T.S.



6 C0.1 **TYPICAL SIGN BASE**
N.T.S.



7 C0.1 **DETECTABLE WARNING PLATE**
N.T.S.

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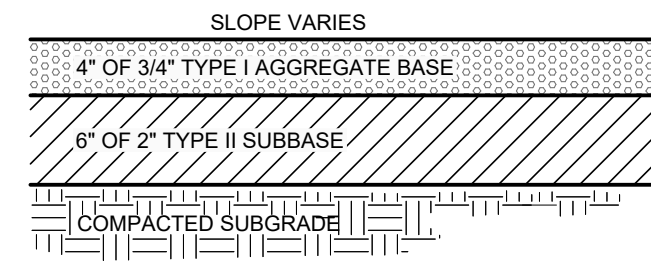
NOTES AND DETAIL SHEET
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
LOCATED WITHIN SEC 13, T4N, R17E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLISTICE DEVELOPMENT

PRELIMINARY
NOT FOR CONSTRUCTION

DESIGNED BY _____
DRAWN BY _____
SMF
CHECKED BY _____

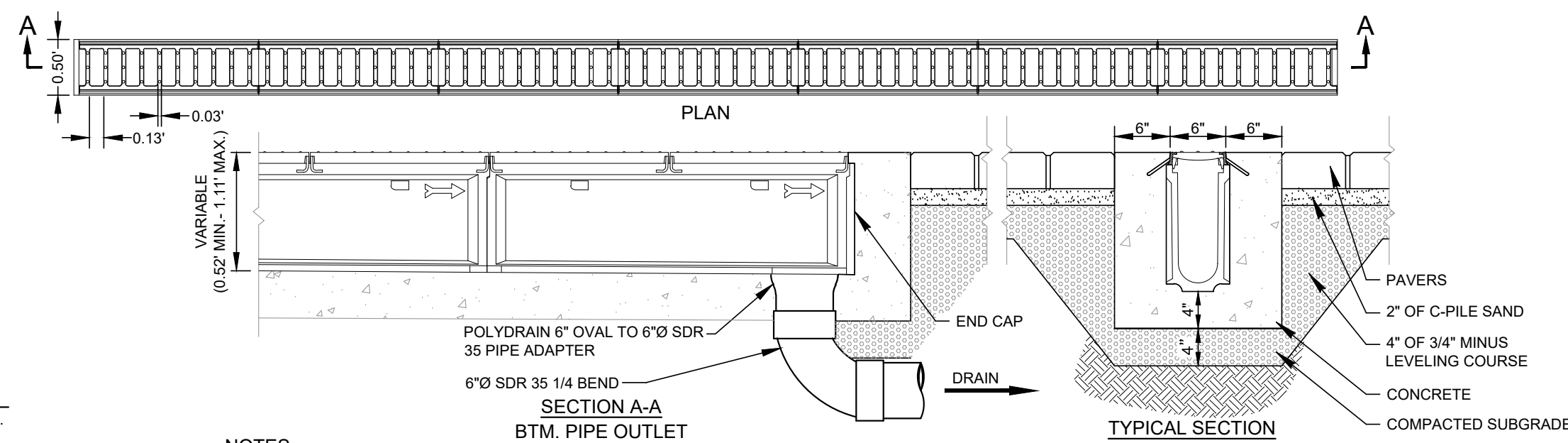
GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS



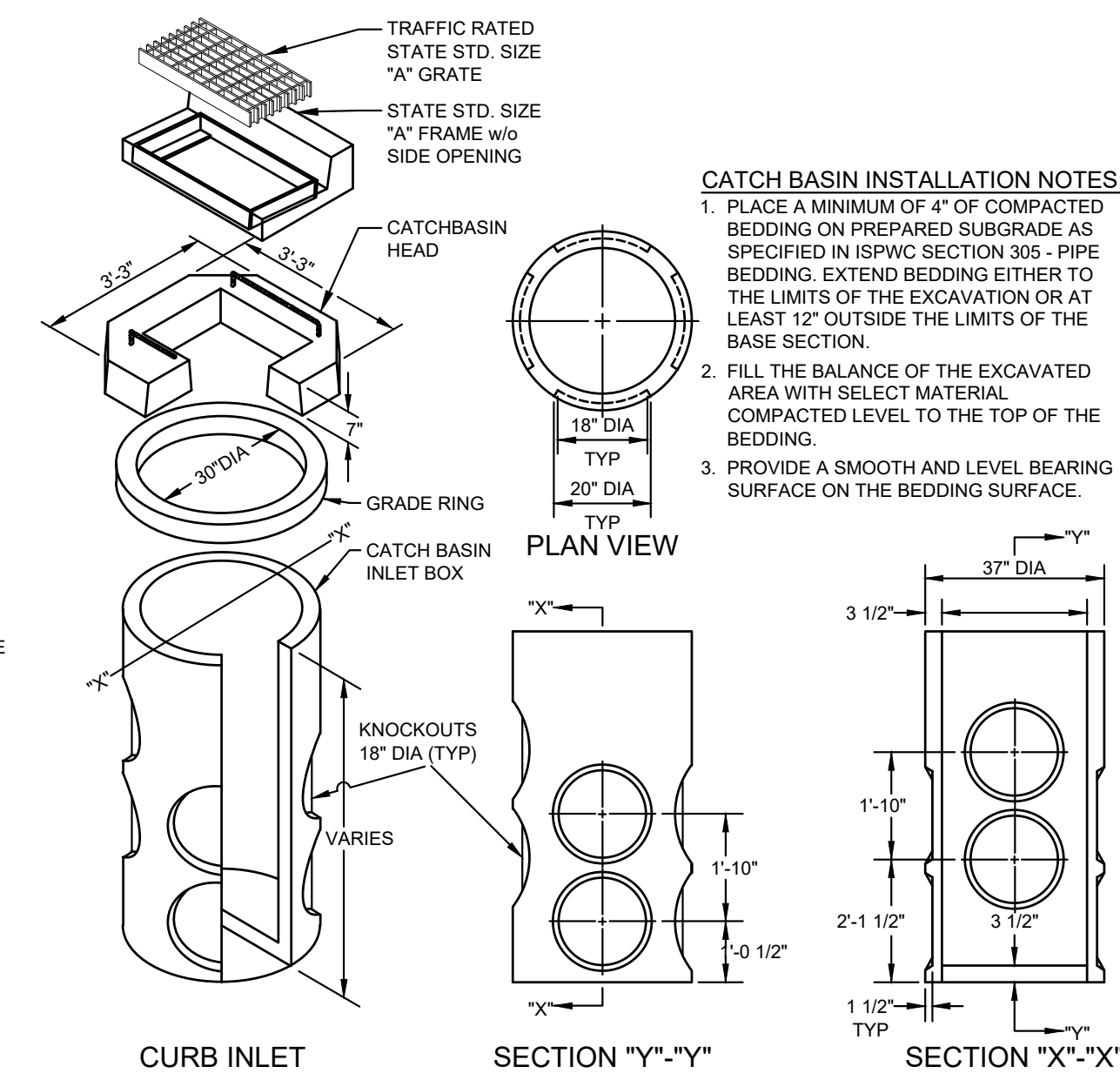
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY LICENSED ENGINEER, IS PROVIDED.

1
C0.2 **TYPICAL GRAVEL SECTION**
N.T.S.



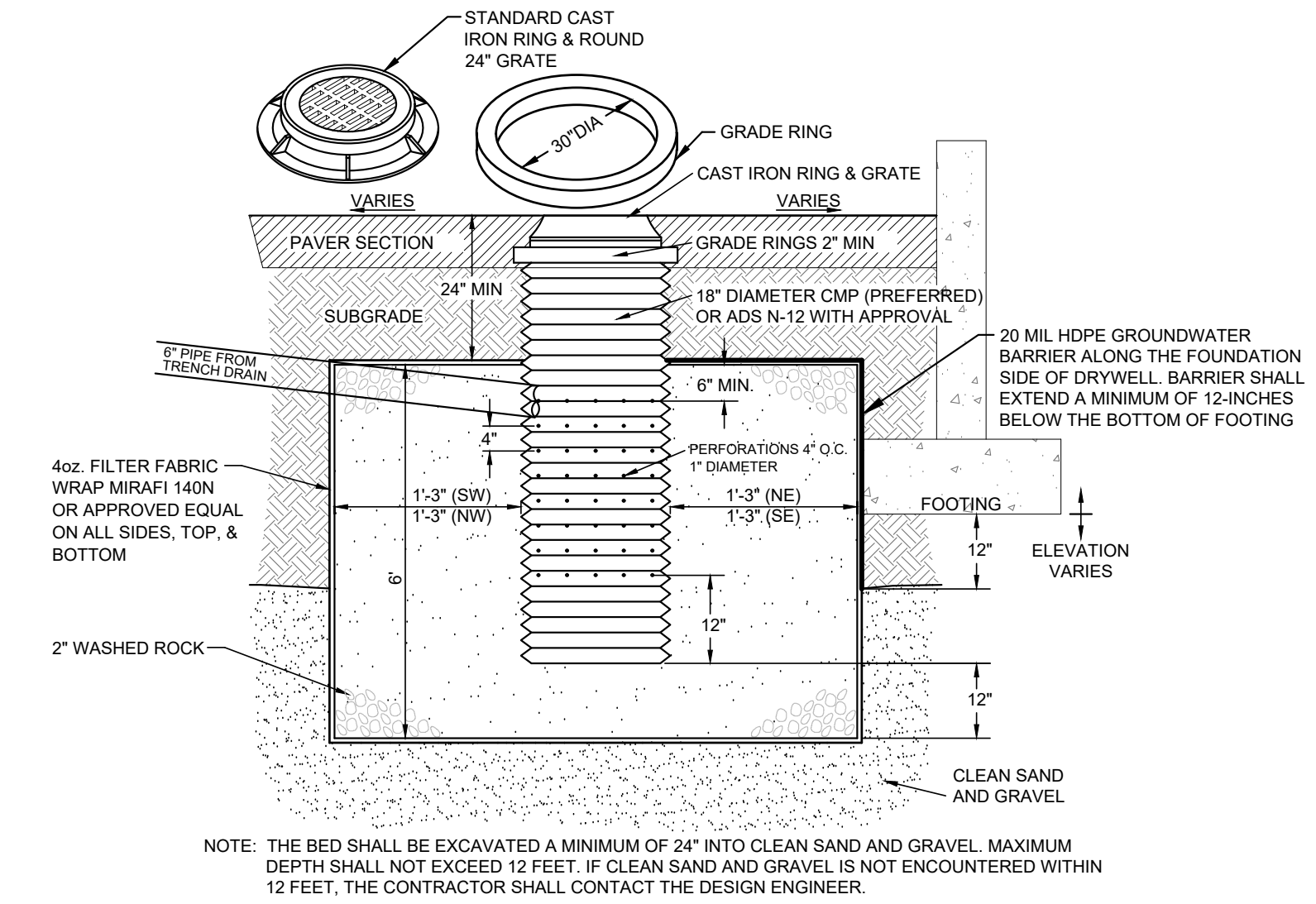
- NOTES:**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

2
C0.2 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



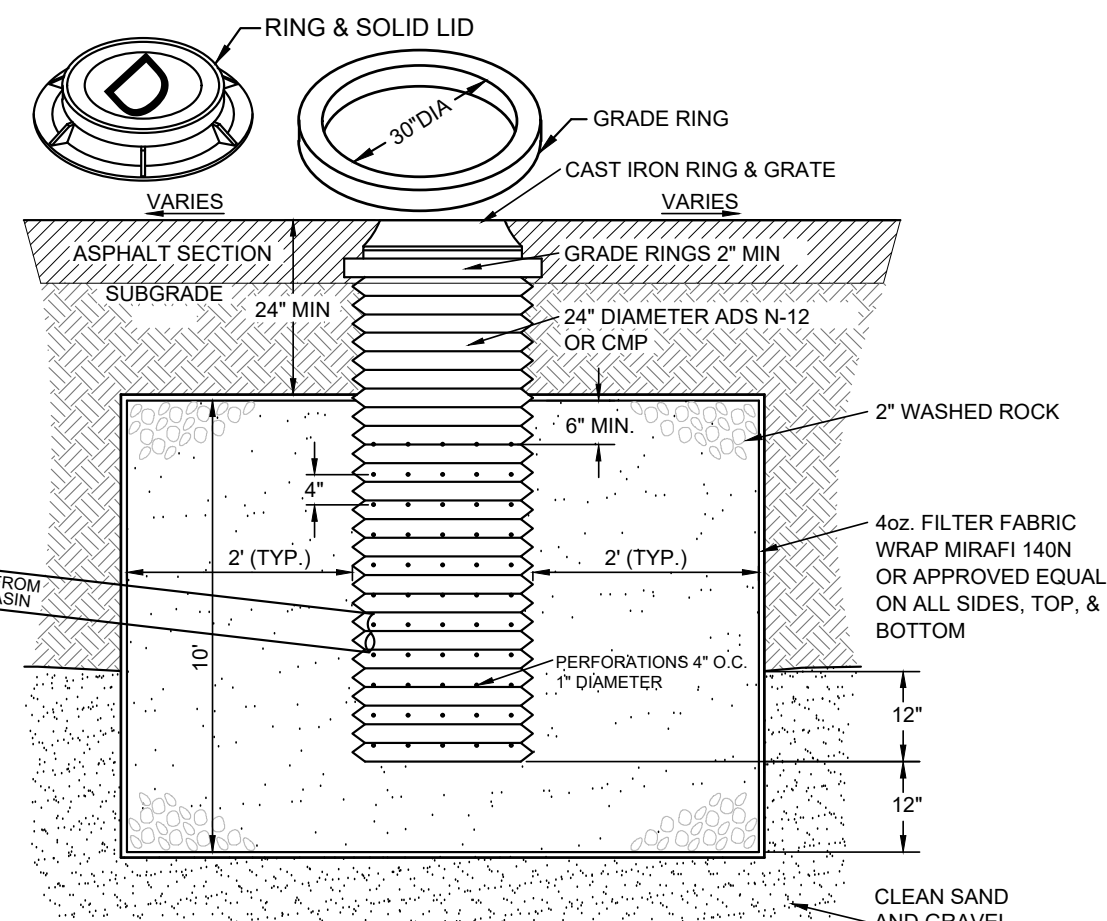
- CATCH BASIN INSTALLATION NOTES:**
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISWPC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL. COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

3
C0.2 **30\"/>**



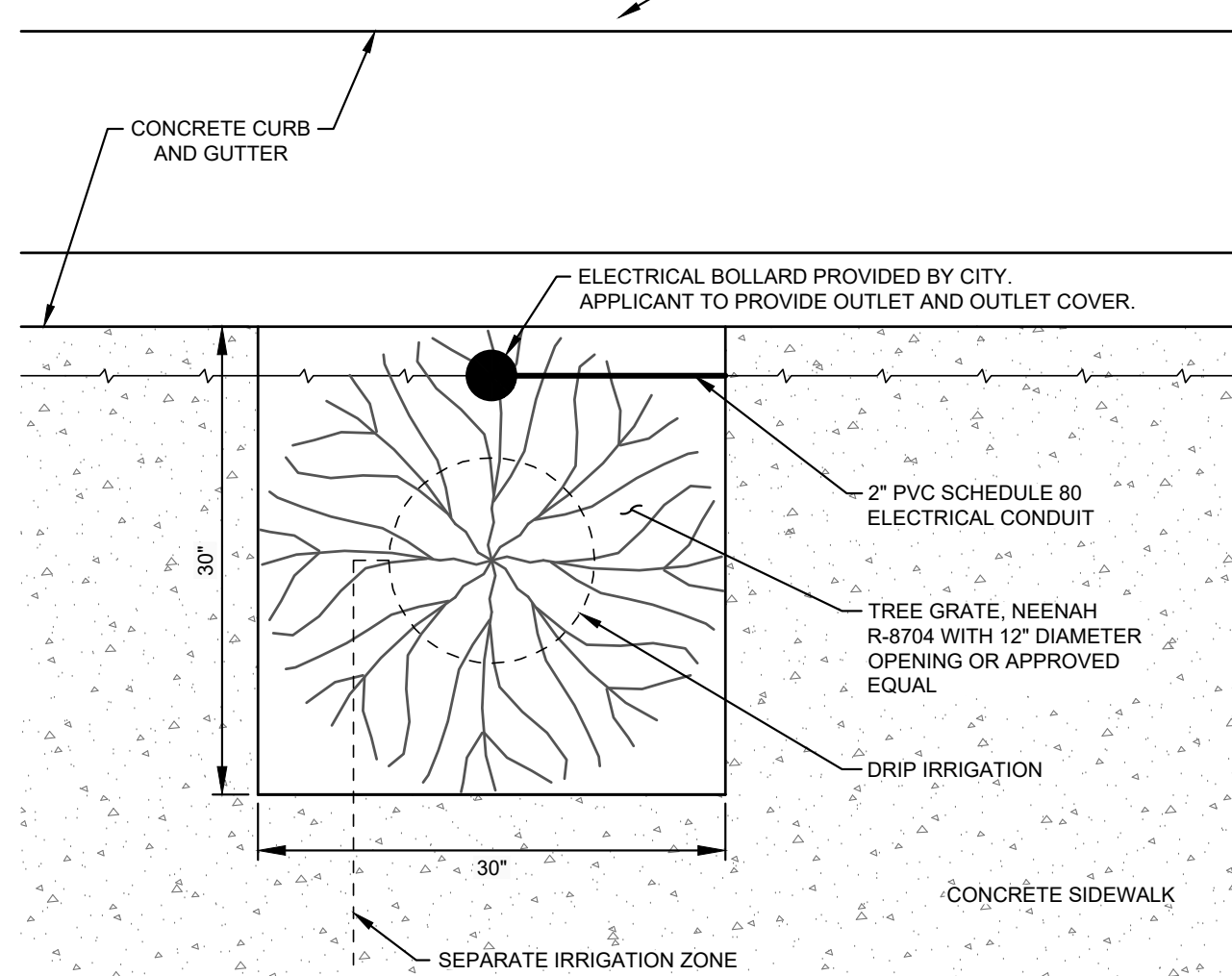
- NOTE:** THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

4
C4.0 **LANDSCAPE DRYWELL DETAIL**
N.T.S.



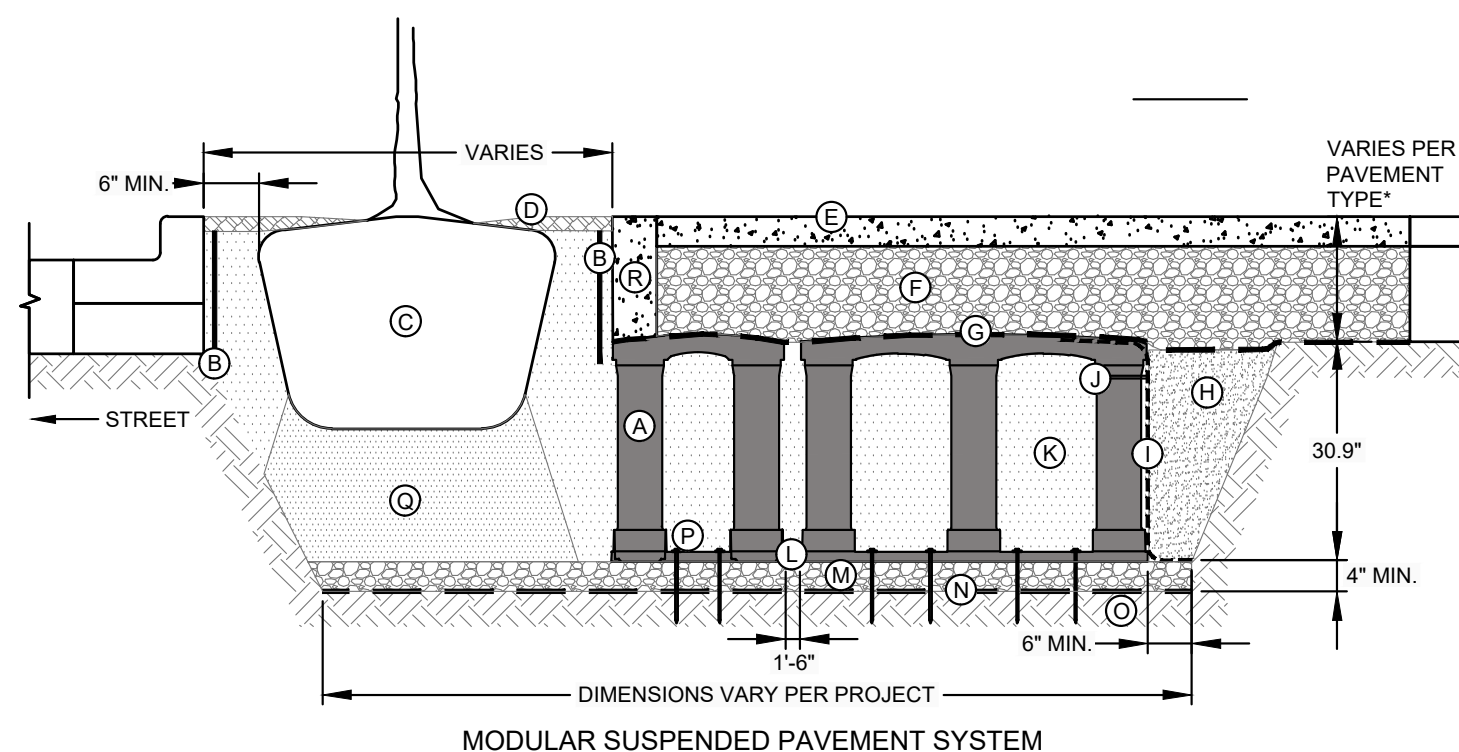
- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

5
C0.2 **DRYWELL DETAIL (6\"/>**



- NOTES:**
- TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
 - CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
 - APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
 - NO DIRECT BURIAL WIRE PERMITTED.
 - TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

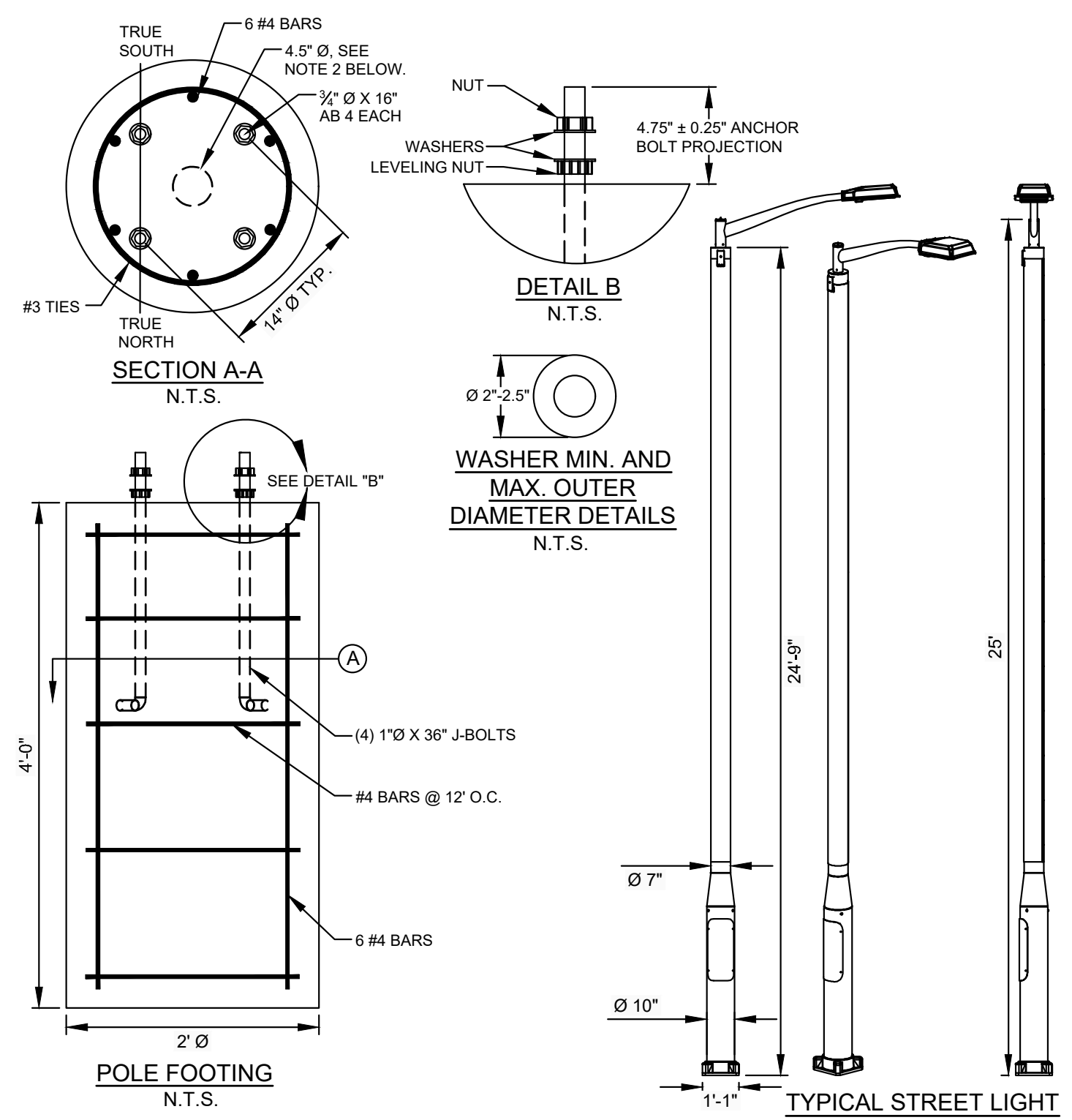
PLAN VIEW



- KEY PLAN:**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - B. DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 - C. TREE ROOT PACKAGE, SIZE VARIES.
 - D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS.
 - E. SURFACE TREATMENT, PER PROJECT.
 - F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT.
 - G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK.
 - H. BACKFILL, PER PROJECT SPECIFICATIONS.
 - I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 - J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
 - K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR.
 - L. SILVA CELL BASE SLOPE, 10% MAX.
 - M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR.
 - N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE.
 - O. SUBGRADE, COMPACTED TO 95% PROCTOR.
 - P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
 - Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR.
 - R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

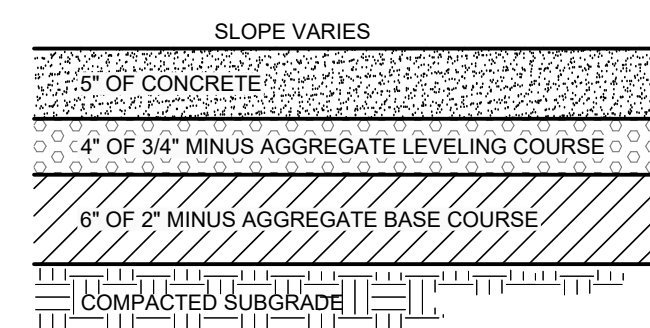
- NOTES:**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.

SECTION VIEW



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
 - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

7
C0.2 **TYPICAL STREET LIGHT**
N.T.S.



- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 12" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 3/4" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C0.2 **TYPICAL CONCRETE SECTION**
N.T.S.

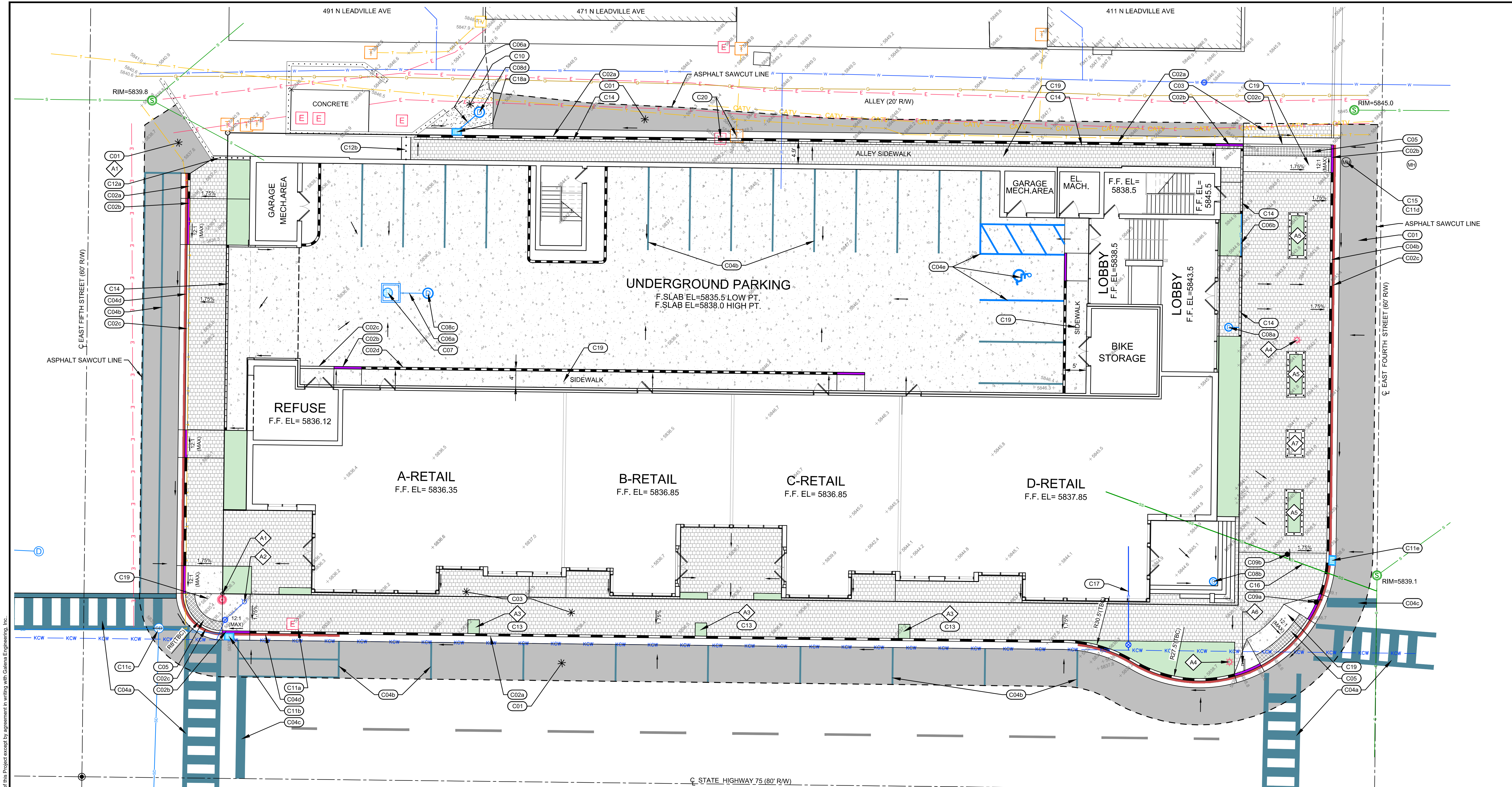
**PRELIMINARY
NOT FOR
CONSTRUCTION**

DESIGNED BY _____
 CT DRAWN BY _____
 SMF CHECKED BY _____
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

C0.2

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



LEGEND

EXISTING ITEMS

- Property Line
- Adjainer's Lot Line
- Centerline
- Edge of Pavement
- 5' Contour Interval
- 1' Contour Interval
- Cable TV Line
- Gas Line
- Telephone Line
- Sewer Line
- Spring Water Line
- Ketchum City Water
- Storm Drain Manhole
- Fire Hydrant
- Water Valve
- Traffic Signal Light Base
- Street Light
- Water Manhole
- Telephone Riser
- Electrical Box

PROPOSED ITEMS

- Asphalt
- Paver Sidewalk
- 6" Vertical Curb & Gutter
- Zero Reveal Curb & Gutter
- Concrete Block Wall
- Curb Transition
- 6" Vertical Curb (no gutter)
- No Parking Zone
- ADA Access Truncated Dome
- Street Light
- Sign
- Drywell
- Sand & Grease Trap
- Storm Drain
- Catch Basin
- Sawcut Line
- Road Paint
- Grade
- Spot Elevation
- Trench Drain
- Retaining/Landscape Wall
- Gravel
- Concrete

SYMBOLS

- Cable TV Riser
- Found Monument Wall
- Found 5/8" Rebar
- Concrete Block Wall
- Sign
- Sewer Manhole
- Retaining/Landscape Wall
- Storm Drain Manhole
- Fire Hydrant
- Water Valve
- Traffic Signal Light Base
- Street Light
- Water Manhole
- Telephone Riser
- Electrical Box

CONSTRUCTION KEY NOTES

C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.

C02 CONSTRUCT CONCRETE CURB AND GUTTER

- 6" VERTICAL C&G PER DETAIL 3 / C0.1.
- CURB TRANSITION PER DETAIL 4 / C0.1.
- ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C0.1.
- CONCRETE VERTICAL CURB PER DETAIL 5 / C0.1.

C03 CONSTRUCT HEATED PAVER SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C0.1.

C04 INSTALL ROAD STRIPING / PAINT

- WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
- YELLOW ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
- WHITE STOP BAR STRIPING (24" WIDE).
- RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- BLUE ADA PARKING STRIPING AND SYMBOL.

C05 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 7 / C0.1.

C06 STORM DRAIN.

- INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.3 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C0.3 FOR TRENCHING.
- INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%.

C07 INSTALL CONCRETE 350 GALLON SAND AND GREASE TRAP WITH 24" GRATE

RIM = 5835.68
INV. OUT = 5832.6

C08 DRYWELL:

- CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
RIM = 58
INV. IN = 58
- CONSTRUCT NEW LANDSCAPE DRYWELL. SEE DETAIL 4 / C0.2
RIM = 5837.63
INV. IN = 5832.4
- CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
RIM = 5835.73
INV. IN = 5832.4
- CONSTRUCT NEW DRYWELL. SEE DETAIL 5 / C0.2
RIM = 58
INV. IN = 58

C09 SIGNS:

- INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
- INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.

C10 CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS. REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION. SEE DETAIL 1 / C0.2.

C11 RESET UTILITY BOX LID/GRATE ELEVATION.

- POWER HANDHOLE/TRAFFIC SIGNAL CONTROL.
ORIGINAL RIM = 5836.0
NEW RIM = 5835.95
- CATCH BASIN GRATE
ORIGINAL RIM = 5835.42
NEW RIM = 5835.26
- STORM DRAIN MANHOLE LID
ORIGINAL RIM = 5835.75
NEW RIM = 5835.7
- PAVER HYDRONIC HEATING MANHOLE LID
ORIGINAL RIM = 58_____
NEW RIM = 58____
- CATCH BASIN GRATE
ORIGINAL RIM = 5838.62
NEW RIM = 5838.66

C12 CONSTRUCT RETAINING WALL:

- USE PREVIOUSLY REMOVED KEystone BLOCKS.
- TYPE TO BE DETERMINED BY STRUCTURAL ENGINEER.

C13 INSTALL TREE WELL BOLLARDS AND MODULAR SUSPENDED PAVEMENT SYSTEM. SEE DETAIL 6 / 4.0.

C14 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C0.2

C15 DISCONNECT EXISTING PAVER HYDRONIC HEATING SYSTEM. CAP EXISTING TUBES FOR FUTURE CITY USE. COORDINATE WORK WITH CITY.

C16 INSTALL 6" PVC SEWER SERVICE.

C17 INSTALL 6" PVC WATER SERVICE.

C18 INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2.

- RIM = 58
- INV. OUT = 58

C19 CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 8 / C0.2.

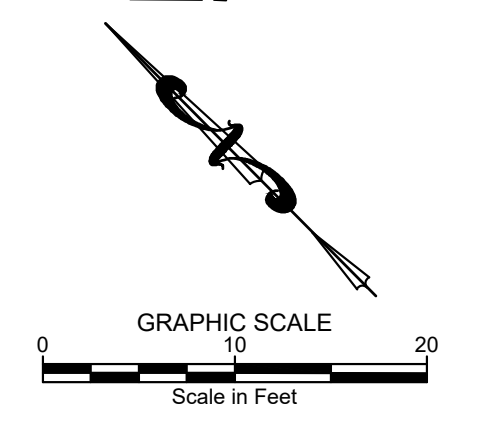
C20 RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.

RETAIN AND PROTECT

- TRAFFIC SIGNAL.
- FIRE HYDRANT.
- TREE.
- STREET LIGHT.
- LANDSCAPE WALL / LANDSCAPING.
- PEDESTRIAN CROSSING SIGN.
- ART PEDESTAL.

MATCH EXISTING LINES AND GRADES

REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.



GRADING AND DRAINAGE PLAN

MIXED USE DEVELOPMENT, 4TH AND MAIN ST.

LOCATED WITHIN SEC 13, T4N, R17E & SEC 18, T4N, R17E & SEC 18, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT INFORMATION
 Prepared for: SOLISTICE DEVELOPMENT
 Date: 02/13/2025 2:59:00 PM

PRELIMINARY NOT FOR CONSTRUCTION

DESIGNED BY _____
 DRAWN BY _____
 SMF
 CHECKED BY _____

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 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW

NO.	DATE	BY	REVISIONS

C1.0