



KETCHUM URBAN RENEWAL AGENCY
Monday, March 21, 2022 at 2:00 PM
191 5th Street West, Ketchum, Idaho 83340

AMENDED AGENDA

PUBLIC PARTICIPATION INFORMATION

Public information on this meeting is posted outside City Hall.

We welcome you to watch Council Meetings via live stream.

You will find this option on our website at <https://www.ketchumura.org/kura/meetings>.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom (*please mute your device until called upon*).
Join the Webinar: <https://ketchumidaho-org.zoom.us/j/89587263276>
Webinar ID: 895 8726 3276
2. Join us at City Hall.
3. Submit your comments in writing at info@ketchumura.org (*by noon the day of the meeting*).

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER:

ROLL CALL:

COMMUNICATIONS FROM THE BOARD OF COMMISSIONERS:

WRITTEN COMMUNICATIONS FROM THE PUBLIC:

CONSENT CALENDAR: (ALL ACTION ITEMS)

1. ACTION: Approval of Bills.
2. ACTION: Approval of Meeting Minutes – February 22 and March 4.

ACTION ITEMS:

3. ACTION: Status update, discussion and direction to staff on outreach and project parameters for development of 1st Street and Washington Avenue property.
4. ACTION: Discussion and direction to staff on City of Ketchum request for funding pedestrian and bike improvements on Sun Valley Road



Report Criteria:

Invoices with totals above \$0 included.
 Paid and unpaid invoices included.
 [Report].GL Account Number = "961000000"- "9848009999"

Vendor Name	Invoice Number	Description	Net Invoice Amount
URBAN RENEWAL AGENCY			
URBAN RENEWAL EXPENDITURES			
98-4410-4200 PROFESSIONAL SERVICES			
ELAM & BURKE	194974	General Representation February 2022	4,597.50
AGNEW BECK CONSULTING INC	10159	COMMUNITY STAKEHOLDERS	1,053.75
98-4410-4900 PERSONNEL TRAINING/TRAVEL/MTG			
ATKINSONS' MARKET	519728	SPECIAL MEETING WORKSHOP KURA	18.69
PERRY'S	220303-07-59	SPECIAL MEETING WORKSHOP KURA	238.09
98-4410-5000 ADMINISTRATIVE EXPNS-CITY GEN			
CITY OF KETCHUM	5518	Jan, Feb, March City Staff Reimbursement	6,958.02
98-4410-7100 INFRASTRUCTURE PROJECTS			
S & C ASSOCIATES LLC	2333	22-1010 Sidewalk Infill	509.50
ELECTRIC 1 WEST, INC	02154	HAWK	10,447.40
Total URBAN RENEWAL EXPENDITURES:			23,822.95
URA DEBT SERVICE EXPENDITURES			
98-4800-8450 DEBT SRVC ACCT INTRST-2021			
ZIONS BANK CC	LN#000101000	KURA BOND SERIES 2021 INTEREST	38,511.02
Total URA DEBT SERVICE EXPENDITURES:			38,511.02
Total URBAN RENEWAL AGENCY:			62,333.97
Grand Totals:			62,333.97



Meeting Minutes

Regular Meeting

Tuesday, February 22, 2022

2:00 PM

Ketchum City Hall

CALL TO ORDER:

Chairwoman, Susan Scovell called the meeting to order at 2:03 p.m. (*Video 00:14:35*).

ROLL CALL:

Present

Chairwoman, Susan Scovell

Vice-Chair, Casey Dove

Commissioner, Amanda Breen

Commissioner, Gary Lipton

Commissioner, Casey Burke (Absent)

Commissioner, Jim Slanetz (Absent)

Other Attendees:

Executive Director, Suzanne Frick

Treasurer, Shellie Gallagher Rubel

Secretary, Tara Fenwick

Agnew-Beck, Ellen Campfield-Nelson

Agnew-Beck, Aaron Mondada

Executive Director, Sun Valley Economic Development, Harry Griffith

KURA Counsel, Ryan Armbruster (*via Zoom*)

KURA Counsel, (*via Zoom*)

COMMUNICATIONS FROM THE BOARD OF COMMISSIONERS:

Chairwoman, Susan Scovell recommended the Board have a workshop to further discuss the development of the Washington Street lot.

COMMUNICATION FROM THE PUBLIC:

Chair opened the meeting to the Public.

No public comment.



CONSENT CALENDAR: *(Video 00:20:33)*

Motion to approve bills. Commissioner, Amanda Breen presented the motion, Commissioner, Casey Dove seconded the motion. The motion passed. All in favor.

Motion to approve meeting minutes Commissioner, Amanda Breen presented the motion, Commissioner, Casey Dove seconded the motion. The motion passed. All in favor.

ACTION ITEMS: *(Video 00:22:00)*

Ellen Campfield-Nelson reviewed the amended scope of work for Agnew-Beck and engaged the Board in a discussion to obtain direction on next steps for outreach and information *(Video 00:22:15 to 01:47:30)*.

Motion to approve the scope of work for Agnew-Beck. Vice-Chair, Casey Dove, presented the motion, Commissioner, Gary Lipton, seconded the motion. The motion passed. All in favor.

Motion to adopt Resolution 22-URA03 – rescinding expired owner participation agreements. Vice-Chair, Casey Dove, presented the motion, Commissioner, Gary Lipton, seconded the motion. The motion passed. All in favor.

DISCUSSION ITEMS: *(Video 01:49:45)*

Harry Griffith, Executive Director, Sun Valley Economic Development accepted feedback by the Board.

ADJOURNMENT:

Motion to adjourn. Chair, Susan Scovell, presented the motion, Commissioner, Amanda Breen seconded the motion. The motion passed. All in favor.

Susan Scovell, Chair

ATTEST:

Tara Fenwick, Secretary



Special Meeting Minutes

Friday, March 4, 2022

2:00 PM

Ketchum City Hall

CALL TO ORDER:

Chairman, Susan Scovell called the meeting to order at 2:04 p.m. (video 00:19:30)

ROLL CALL:

Present

Chair, Susan Scovell

Vice-Chair, Casey Dove

Commissioner, Gary Lipton

Commissioner, Amanda Breen

Commissioner, Jim Slanetz

Commissioner, Casey Burke

Other Attendees:

Executive Director, Suzanne Frick

KURA Counsel, Ryan Armbruster (via Zoom)

KURA Counsel, Abbey Germaine (via Zoom)

Secretary, Tara Fenwick

BOARD COMMUNICATIONS:

- Gary Lipton expressed appreciation to city Planning Staff for meeting materials.

ACTION ITEMS:

Motion to approve Resolution 22-URA04 approving Agreement #50077 between the KURA and City of Ketchum. Chair, Amanda Breen presented the motion, Commissioner, Gary Lipton seconded the motion. The motion passed. All in favor.

Motion to approve Resolution 22-URA05 approving Amended Bylaws. Chair, Casey Dove presented the motion, Commissioner, Gary Lipton seconded the motion. The motion passed. All in favor.

DISCUSSION ITEMS:

- Abbey Germaine provided the Board an update on Legislative topics.
- Suzanne Frick provided the Board an update on various projects.

ADJOURNMENT:

Motion to adjourn. Chair, Susan Scovell presented the motion, Commissioner, Gary Lipton seconded the motion. The motion passed. All in favor.



Susan Scovell, Chair

ATTEST:

Tara Fenwick, Secretary



Ketchum Urban Renewal Agency

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

March 21, 2022

Chair and Commissioners
Ketchum Urban Renewal Agency
Ketchum, Idaho

RECOMMENDATION TO REVIEW, DISCUSS AND PROVIDE DIRECTION ON PUBLIC WORKSHOP AND SITE DEVELOPMENT FOR 1ST STREET AND WASHINGTON AVENUE PROPERTY

Introduction/History

The KURA is working towards issuing a request for proposal to develop the 1st Street and Washington Avenue property (1st/Washington). As part of the process the KURA is encouraging public input at the regular KURA meetings and will be conducting a public workshop on Wednesday April 13th at the site.

The purpose of the March 21, KURA discussion is to obtain direction on the following:

- The project goal statement (Section E of packet)
- The type of housing to be within the project (Section E of packet)
- The development scenarios to be presented at the workshop (Section E of the packet)
- Format of the community workshop (workshop design in packet)

Staff is requesting the Board review the materials and provide direction on any proposed changes.

Recommendation and Motion

Agnew-Beck and staff are requesting KURA review the materials and identify any changes the Board would like to make.

KURA 1st and Washington Stakeholder Engagement

Board Meeting – AGENDA + MEETING PACKET

Ketchum Urban Renewal Agency Commission Board

March 21, 2022 | 2:00pm | Community Meeting Room, Ketchum City Hall and virtually by Zoom

AGENDA ITEMS

1. Today

- Quick update of schedule and tasks
- Public comment to date

Packet section A
Pages 2-3

2. Rapid Recap

- Website and public comment form – *in development*
- Update on key informant interviews – *contact list developed, and interviews are being scheduled*
- Site profile snapshot – *in development*
- RFP outline/elements – *in development*

Packet Sections B, C, D
Pages 4-6

3. Development Scenarios

- Project goal statements – *does this capture the project priorities?*
- Housing development targets – *how many and what kind of units are we requiring? What does it mean to be local, workforce and affordable?*
- Development scenarios – *Review site conceptual “bubble” diagrams – does this capture the uses KURA is looking for, what we want to ask the community about?*

Packet Section E
Pages 7-9

4. Community Workshop – April 13, 2022 from 4-6:30pm

- Proposed community workshop design
 - Objectives
 - Promotion
 - Format

see separate DRAFT
Workshop Design
document

5. Recap and Public Comment

- Next steps
- Public comment and feedback

A. KURA Schedule and Work Sessions

Project Schedule

JAN	FEB	MAR	APR	MAY/JUNE
“Kick-Off”	“Project Profile”	“Site Context”	“Community Input”	“Key Findings/ Next Steps”
<ul style="list-style-type: none"> Initial Project Kick-Off with KURA Commissioners 	<ul style="list-style-type: none"> Housing Subcommittee Meeting Updated schedule and work plan KURA Commissioners Work Session #1 and Public Comment Site Conditions Outline and Research RFP Examples 	<ul style="list-style-type: none"> Housing Subcommittee Meeting Webpage launch and updates Key Informant Interviews Site Conditions Profile Community Workshop Planning KURA Commissioners Work Session #2 and Public Comment 	<ul style="list-style-type: none"> Housing Subcommittee Meeting Community Workshop Community Workshop Feedback Pro Forma Basics Draft RFP Background language KURA Commissioners Work Session #3 and Public Comment 	<ul style="list-style-type: none"> Housing Subcommittee Meeting <i>(if needed, conducted by KURA staff)</i> Draft and Final Key Findings Summary and RFP Background language KURA Commissioners Work Session #4 and Public Comment <i>(conducted by KURA staff)</i>

Work Sessions with KURA Board

**Work Session #1:
Project Profile**
FEBRUARY

Review revised scope and schedule, based on Subcommittee feedback

Stakeholder Identification

Project "Must Haves" and "Nice to Haves"

Site Conditions Outline

**Work Session #2:
Site Context**
MARCH

Public Comment and Key Informant Interview Updates

Site Conditions Review

Community Outreach Workshop Plan

RFP Elements and Related Research

**Work Session #3:
Community Input**
APRIL

Public Comment and Community Workshop Feedback

Basics of Pro Forma Development and Funding Decisions

Review DRAFT RFP language

Next steps in process

B. Project Webpage and Submitted Public Comment



<https://storymaps.arcgis.com/stories/e00b1604a5d349e6b5c139551ac5df6b>

Public Comments to Date

As of March 16, no public comments have been received.

C. Stakeholder Engagement Updates

Key Informant Interviews List

Organization/Interest Category
Neighbors and Adjacent Property Owners
Copper Ridge Home Owners Association
Evergreen Condo Home Owners Association
Main Street Building Association
US Bank Building
Limelight Hotel
ThunderPaws Pet Shoppe
Nourish Me
Sushi on Second
Property Owner of Thunderpaws and Nourish Me
Property Owner behind Sawtooth Club (GOPAWA)
Housing/Development Orgs
Sun Valley Board of Realtors
Sun Valley Economic Development
Blaine County Housing Authority
ARCH Community Housing Trust
Spur Foundation
Ketchum Community Development Corporation KCDC
Employers
St. Lukes
City of Ketchum
School District
Developers
Conrad Brothers
GMD Development
Others to be identified

Initial 6-8 “neighbor” interviews are being scheduled for the weeks of March 21 and March 28.

Guiding Questions:

1. Here is a quick overview of the project purpose and hoped-for outcomes – what reactions do you have to the basic project concept?
2. How do you feel your property might benefit and/or be impacted from the project?
3. How do you see this project benefitting the overall community and downtown Ketchum?
4. Do you have any thoughts about what uses should be on the first/ground floor?
5. Who else should the Board consult with during this process and why/what would we ask them about?
6. Anything else you want the KURA Board to keep in mind as the project proceeds?

D. DRAFT RFP Outline and Elements

1. Introduction and Project Summary

- a. **Project announcement and invitation for bids** – welcome language and submission deadline
- b. **Very short site description** – site acreage, address, ownership, current use, and relevant zoning
- c. **Intended project use** – two sentences or so on the final project use
- d. **Development timeline**

2. Project Context and Background

- a. **Site history and existing use**
- b. **Project goals and aspirations**
- c. **Relevant plans and language** – from the Ketchum Housing Action Plan, the KURA Plan, and the City of Ketchum Comprehensive Plan

3. Project Priorities

- a. **Project must-haves and nice-to-have items** – *see final bubble diagrams and priorities list*
- b. **Development requirements** – as proscribed in all applicable zoning and land use regulations for the City of Ketchum

4. Proposed Schedule

- a. **RFP process**
- b. **Evaluation**
- c. **Contracting, agreements, and disposition**
- d. **Project initiation**

5. Submission Requirements

- a. **Technical information regarding submission materials**
- b. **Proposal section descriptions**
 - i. **Qualifications and experience**
 - ii. **Narrative**
 - iii. **Timeline**
 - iv. **Viability** – preliminary pro forma
- c. **Project deadlines and instructions**
- d. **Developer portfolio and references, project examples**

6. Evaluation Criteria and Selection Process

- a. **Detail how submissions will be evaluated** – can be a points table or narrative description
- b. **Evaluation timeline** – details for when the submissions will be reviewed and potential next steps including interviews and requests for additional information
- c. **Legal descriptions, agreements, and negotiations**

7. Attachments

- a. **Legal site description**
- b. **Site map**
- c. **Adjacent uses map**
- d. **Technical site drawings** – utilities, roads, and infrastructure
- e. **Site photos**

E. Development Scenarios

DRAFT Project Goal Statements

Based on prior Board discussions, and known community needs, the following goal statements are proposed to capture the project’s priorities. These will be presented to public for feedback at the workshop and online on the project website.


Goal 1. Provide local, affordable workforce housing downtown, particularly for professionals and those essential to a strong, diverse downtown economy.

Goal 2. Provide structured public parking in anticipation of long-term downtown growth and development.

Goal 3. Provide active ground floor opportunities to maintain vibrancy of downtown.

Housing Need Overview

Ketchum Housing Action Plan has identified the need to create an average of approximately 65-99 units of local, workforce, affordable housing each year, in the 0-120% Area Median Income (AMI) range, over the next 10 years in order to address our housing crisis.


HOUSING MATTERS
Ketchum Action Plan

Projected Housing Need for Next 10 Years

Total Projected Demand

	DESCRIPTION	HISTORIC GROWTH (1% per year)	HIGH GROWTH (3% average)
New Households	New households based on projected population growth by 2030	+224	+546
Current Households	Households in need of stabilization, at risk of displacement, such as: <ul style="list-style-type: none"> • cost burdened • people experiencing homelessness • substandard housing • overcrowding 	436	436
TOTAL UNITS	Total projected units needed by 2030: <ul style="list-style-type: none"> • Stabilizing households in their current unit 	660	982
Units per Year	<ul style="list-style-type: none"> • Transitioning vacant/seasonal/STR to owner- or LTR-occupied • New construction 	66 annually	98 annually

- Build new, convert or stabilize about 65-100 households annually.
- Does not include the 335 “lost” renter households from 2010 to 2019.

- **Context Setting: Bluebird**
- **\$1.5m + land = 52 units**
- **~\$30k + land = 1 unit**

Housing Development Targets

As a local partner in this effort, KURA aspires to contribute between 35 to 70 local, workforce, affordable housing rental units to Ketchum’s 10-year “housing pipeline” through the 1st & Washington Street project. Our project aims to address the need for households currently making between \$50,000 and \$130,000 annually (80-210% Area Median Income)¹, which will allow community members doing essential work in Ketchum - such as doctors, firefighters, nurses, ski patrollers, teachers, restaurant workers and more - to have a home in our community.

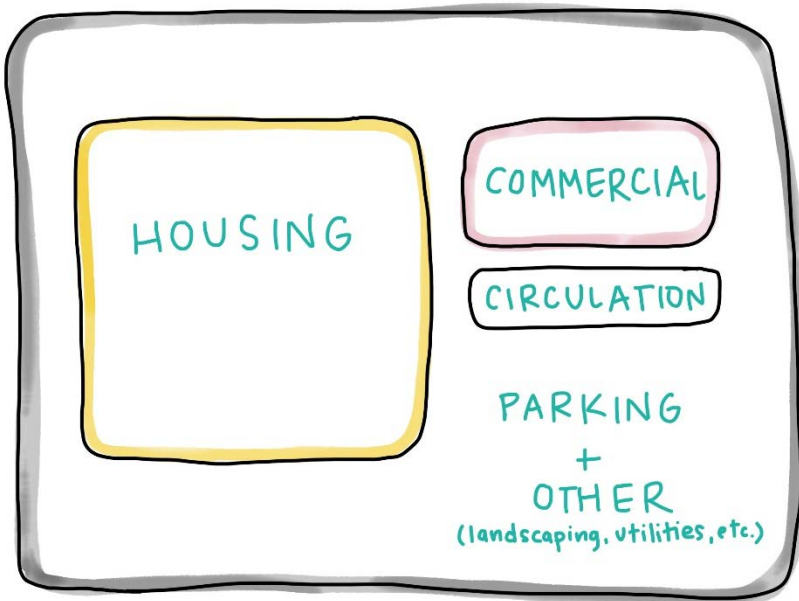
This project is intended to create local, workforce, affordable rental housing. Some or all of the housing units created by this project will be deed restricted in order to ensure the project meets the goal of housing local community members who would otherwise struggle to find housing in Ketchum. The table below further defines what we mean by “local workforce housing” that maintains affordability for Ketchum households.

When we say...	We mean...	And we can ensure this by...
LOCAL	<ul style="list-style-type: none"> • Housing is for Ketchum and/or Blaine County employees <ul style="list-style-type: none"> ○ Priority 1: Working in Ketchum ○ Priority 2: Working in Blaine County • It’s lived in by the owner or renter and their household members year-round 	<ul style="list-style-type: none"> • Requiring proof of local employment for renting and owning housing units, e.g., local employment of at least 30 hours/week • Deed restrictions specifying that the owner or renter occupy the home a minimum number of days or months each year, e.g., 12 months/year • Requiring minimum term on rentals, e.g., 1 year • No or limited short-term rentals or subleases • Local employers may dedicate funding to and master lease units for their employees
WORKFORCE	Housing is affordable to people who earn a bit above, a bit below or right around the local “median” (literally “the middle”) income of our area	<ul style="list-style-type: none"> • Deed restrictions on the cost of some or all units to ensure they are affordable to households with an income range near the Area Median Income (AMI). • Workforce housing for the 0%-80% AMI is being provided by other projects such as Blaine Manor and Bluebird Village
AFFORDABLE	People are paying up to about a third (30%) of their income for housing costs, but not more than that	<ul style="list-style-type: none"> • Deed restrictions limiting housing eligibility to specific household incomes and requiring proof of household income on a regular basis to maintain residence • Appreciation cap, e.g., 3%/year • Deed restrictions limiting price appreciation if the housing unit is leased to a new tenant

¹ Based on the most current (2019 ACS) figures. Salary figures adjust annually according to U.S. Census and U.S. Housing and Urban Development estimates and 5-year averages.

Development Scenarios

SCENARIO A: MIXED-USE



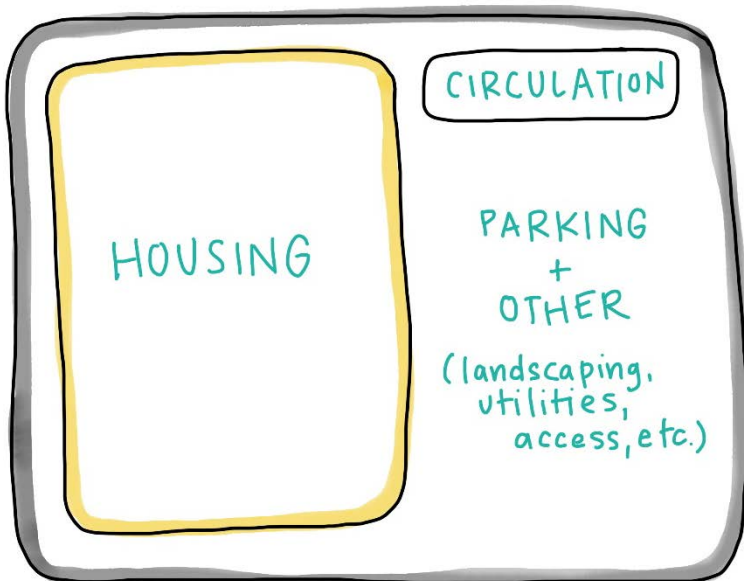
Target Housing Unit Ranges

Development Scenarios	Estimated # of Units
Scenario A: Mixed-Use	35-55
Scenario B: Community Housing	50-70

Unit Affordability Split Requirements

AMI Range	Percent of Units
80-100%	30% minimum
100-120%	30% minimum
120-210%	10% minimum
210%+	Optional

SCENARIO B: COMMUNITY HOUSING



KURA Ist & Washington Street

Community Outreach for Housing Project Concept

DRAFT April Community Workshop Design

At-a-Glance Workshop Overview

- Location: 1st & Washington Street lot
- Date: April 13, 2022
- Time: 4-6:30pm
- Audience/Invitees:
 - Open to all, general public workshop
 - KURA Board members and staff participation requested/required
 - Special invitation to nearby neighbors, project partners

Workshop Objectives

The purpose of the workshop is to invite the entire Ketchum community to (1) review information and ask questions about the 1st & Washington site, (2) provide feedback on the basic project concept, and (3) identify any additional information or questions they would ideally have answered. Feedback from the workshop will be used to further refine or modify the project concept and process prior to issuing a formal request for professional services for parcel development.

Specifically, the workshop will ask for feedback on the following project features:

- Proposed site uses (and relative proportion of those uses)
- Basic site design features – *sidewalks, landscaping, building height*
- Additional information the community would like to know that has not been gathered already
- Any other ideas for the site

Workshop Promotion

The workshop will be promoted in the following ways:

- KURA website
- Direct mailer to property owners and mailing addresses within a designated distance to the property
- Public notice at KURA meetings
- Public notice in local publications
- Email notification to KURA and partner contact list of community members
- Other, as identified by KURA Board and staff

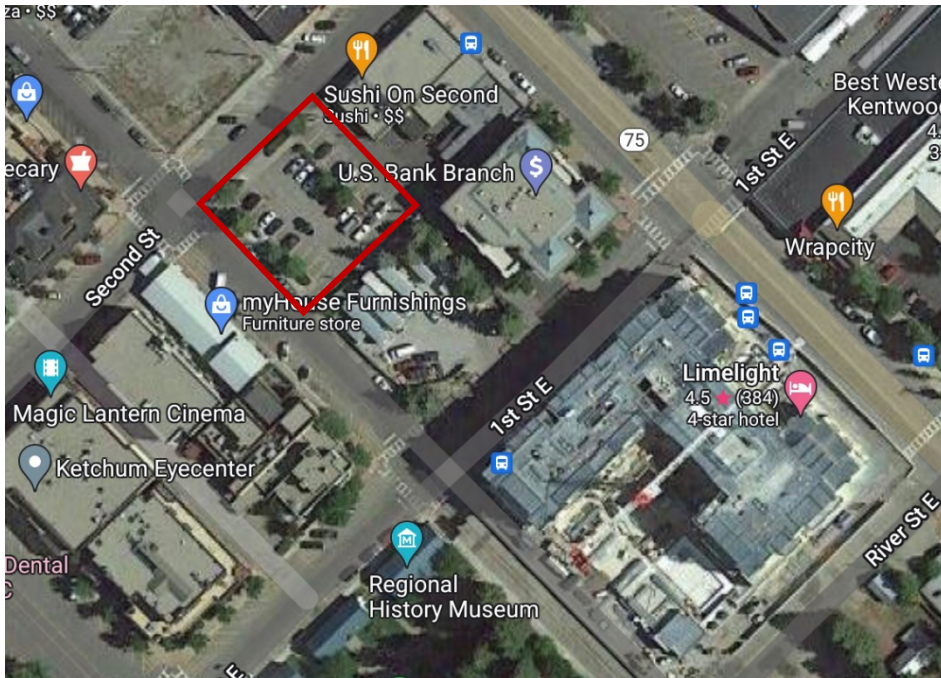
Workshop Format and Elements

The workshop is designed to accommodate both participants who want to quickly provide comments and those who want to spend a larger amount of time commenting and conversing with the project team. Individuals will be able to either walk through the stations on their own or participate in a “guided tour” with a small group of participants with opportunities for more discussion. The below diagram shows the general flow of the workshop and identifies what information each station will be focused on presenting and/or collecting.

1st & WASHINGTON COMMUNITY WORKSHOP



Workshop Location



KURA 1st and Washington – Proposed Workshop Design

INTEROFFICE MEMORANDUM

TO: SUZANNE FRICK, KURA EXECUTIVE DIRECTOR

FROM: JADE RILEY, CITY ADMINISTRATOR

SUBJECT: KURA FUNDING REQUEST FOR SUN VALLEY ROAD

DATE: 3-16-22

CC: SHERRI NEWLAND, CITY ENGINEER

On March 15th one qualified bid was received for the Sun Valley Road rehabilitation project which is being jointly managed between the cities of Ketchum and Sun Valley. Staff has reviewed the bid and is investigating targeted areas for potential value engineering to reduce overall costs.

The city is respectfully requesting the KURA board consider funding fifty percent (\$332,173) of the total pedestrian improvements costs (attachment #1) adjacent to the roadway from Main Street to Spruce Street. The city also requested a bid alternate (\$86,495) in the event it was able to gain an easement with the LDS Church for a curved bike path from SV road connecting to 4th Street. These pedestrian improvements will greatly enhance the safety of one of our busiest streets in town.

Sherrri or I are happy to attend Monday's KURA meeting to answer any questions regarding the design scope (attachment #2) or estimated costs.

Thank you for the continued partnership

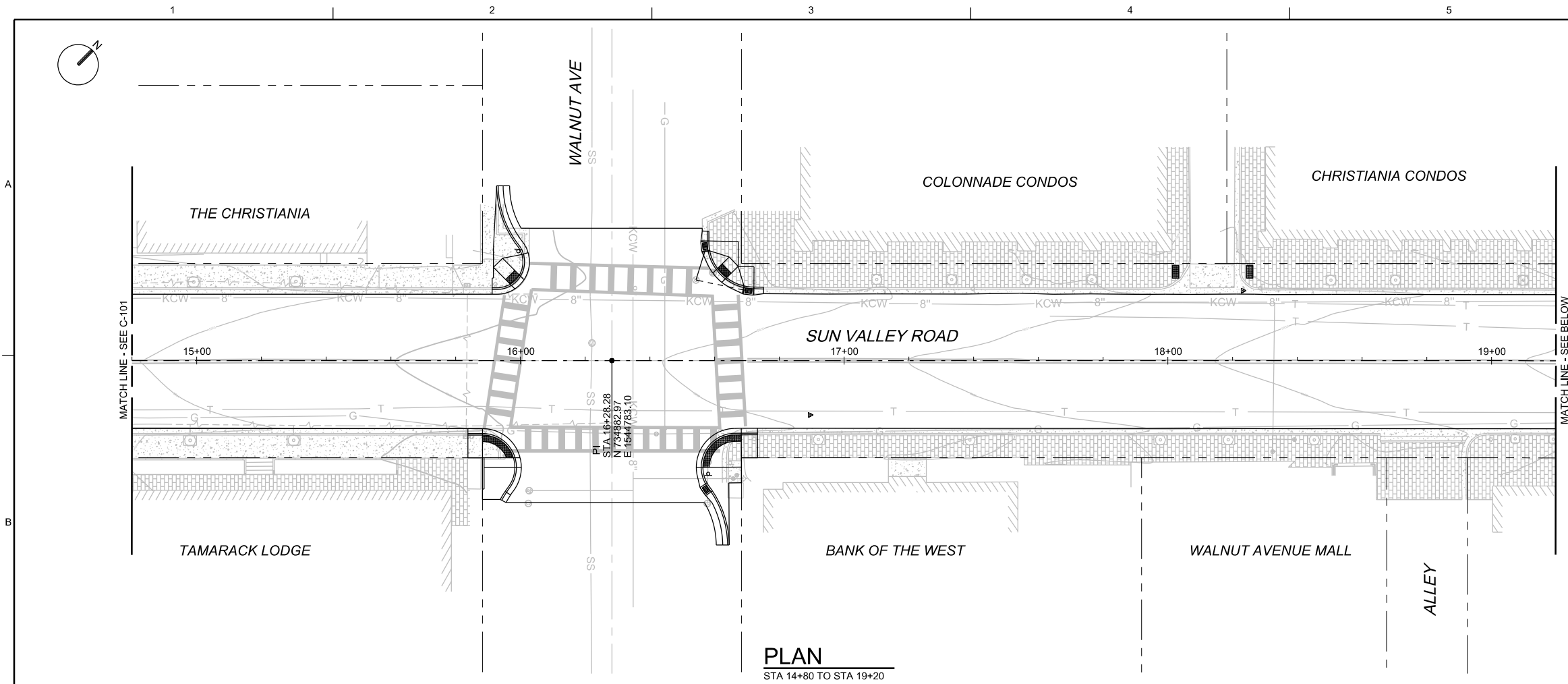
**2022 SUN VALLEY ROAD REHABILITATION
CITY OF SUN VALLEY AND CITY OF KETCHUM**

SCHEDULE 2 - MAIN STREET TO SPRUCE AVENUE – PEDESTRIAN IMPROVEMENTS (CITY OF KETCHUM)					
Item No.	Description	Estimated Quantity	Unit	Unit Price	Extended Unit Price
TEMPORARY					
1	Mobilization (≤10% of schedule bid total)	1	LS	\$ 56,500.00	\$ 56,500.00
2	Construction Survey	1	LS	\$ 15,500.00	\$ 15,500.00
3A	Traffic Signs	50	EA	\$ 250.00	\$ 12,500.00
3B	Portable Tubular Markers	180	EA	\$ 12.50	\$ 2,250.00
3C	Type II Barricades	10	EA	\$ 34.50	\$ 345.00
3D	Type III Barricades	0	EA	\$ 105.00	\$ 0.00
3E	PCMS	154	Day	\$ 115.00	\$ 17,710.00
3F	Pilot Car	0	HR	\$ 90.00	\$ 0.00
3G	Traffic Control Supervisor	220	HR	\$ 53.50	\$ 11,770.00
3H	Flagging	220	HR	\$ 49.00	\$ 10,780.00
4	Temporary Erosion & Sediment Control	1	LS	\$ 6,150.00	\$ 6,150.00
5	Dust Control	1	LS	\$ 8,000.00	\$ 8,000.00
DEMOLITION					
6	Excavation	702	CY	\$ 54.50	\$ 38,259.00
7	Removal of Curb & Gutter	587	LF	\$ 48.50	\$ 28,469.50
8	Removal of Asphaltic Concrete - Roadway	1,376	SY	\$ 20.50	\$ 28,208.00
9	Removal of Concrete Sidewalk	78	SY	\$ 365.00	\$ 28,470.00
10	Remove and Retain Pavers	140	SY	\$ 545.00	\$ 76,300.00
11	Remove Tree	1	EA	\$ 1,800.00	\$ 1,800.00
ROADWAY/PATHWAY MATERIALS					
12	3/4" minus Aggregate Base Course	221	CY	\$ 100.00	\$ 22,100.00
13	Aggregate Subbase Course	330	CY	\$ 85.00	\$ 28,050.00
14	AC Pavement, SuperPave SP-3, PG64-28, 3/4" (Roadways)	298	TN	\$ 210.00	\$ 62,580.00
15	Concrete Sidewalk/ADA Ramps	3,407	SF	\$ 30.00	\$ 102,210.00
16	Curb Transition	217	LF	\$ 54.50	\$ 11,826.50
17	Zero-Reveal Curb	129	LF	\$ 54.50	\$ 7,030.50
18	6" Vertical Curb	289	LF	\$ 54.50	\$ 15,750.50
19	Valley Gutter	23	LF	\$ 90.50	\$ 2,081.50
20	Pavement Markings	6,608	LF	\$ 0.80	\$ 5,286.40
WARNING SYSTEMS					
36	TUFTILE Truncated Domes	107	EA	\$ 600.00	\$ 64,200.00
37	New Sign (Stop Sign and Post)	2	EA	\$ 360.00	\$ 720.00
38	Install Sign Post Base	5	EA	\$ 300.00	\$ 1,500.00
SCHEDULE 2 - Total of Extended Unit Prices					\$ 664,348.90

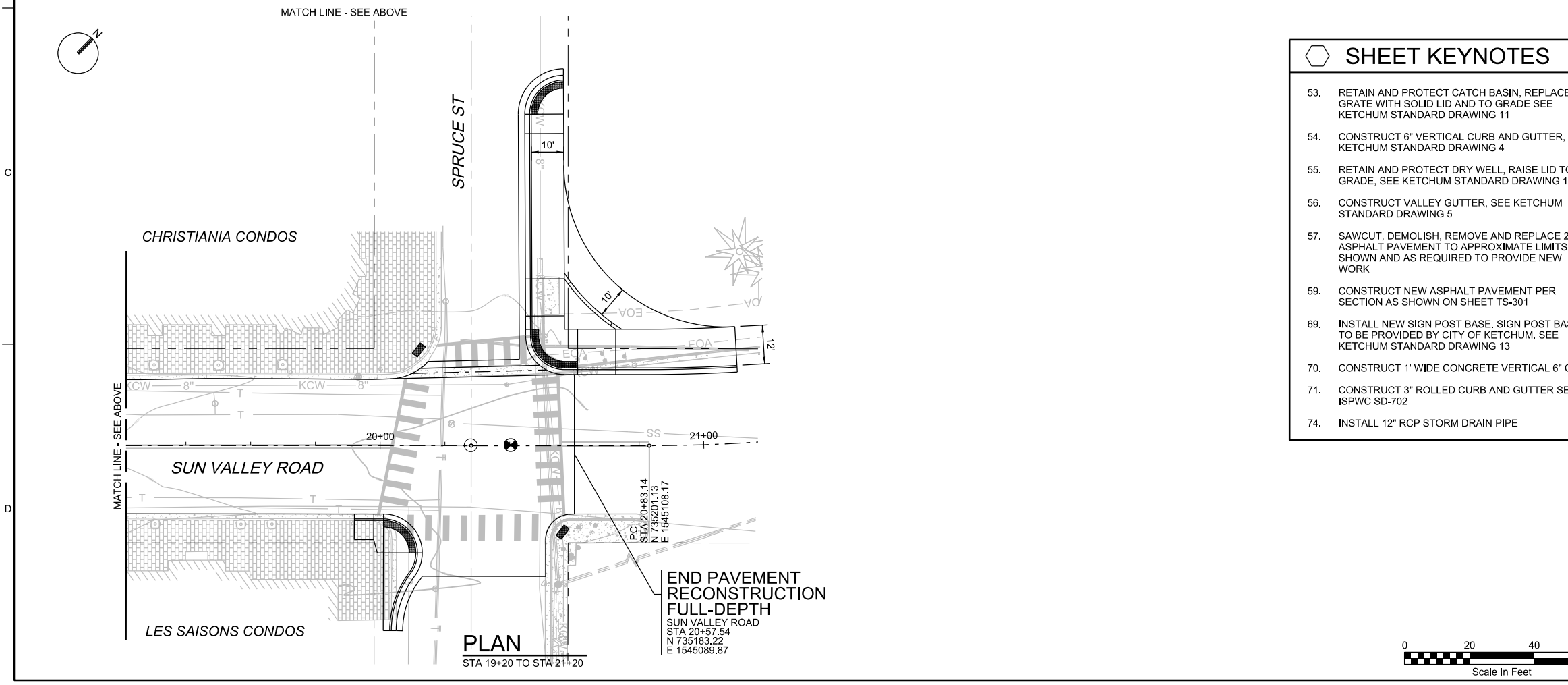
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2022 SUN VALLEY ROAD REHABILITATION
CITY OF SUN VALLEY AND CITY OF KETCHUM

ADDITIVE ALTERNATE - PATHWAY AT SPRUCE AVENUE (CITY OF KETCHUM)					
Item No.	Description	Estimated Quantity	Unit	Unit Price	Extended Unit Price
6	Excavation	20	CY	\$ 100.00	\$ 2,000.00
7	Removal of Curb & Gutter	64	LF	\$ 48.50	\$ 3,104.00
8	Removal of Asphaltic Concrete - Roadway	41	SY	\$ 26.00	\$1,066.00
9	Removal of Concrete Sidewalk	31	SY	\$ 365.00	\$ 11,315.00
10	Remove, Retain and Replace Signage	1	EA	\$ 500.00	\$ 500.00
	ROADWAY/PATHWAY MATERIALS				
11	3/4" minus Aggregate Base Course	28	CY	\$ 105.00	\$ 2,940.00
12	Aggregate Subbase Course	6	CY	\$ 185.00	\$ 1,110.00
13	AC Pavement, SuperPave SP-3, PG584-28, 1/2" (Pathways)	16	TN	\$ 225.00	\$ 3,600.00
14	AC Pavement, SuperPave SP-3, PG64-28, 3/4" (Roadways)	4	TN	\$ 345.00	\$ 1,380.00
15	Concrete Sidewalk/ADA Ramps	150	SF	\$ 42.00	\$ 6,300.00
16	Curb Transition	6	LF	\$ 54.50	\$ 327.00
17	Zero-Reveal Curb	22	LF	\$ 54.50	\$ 1,199.00
18	3" Rolled Curb	45	LF	\$ 54.50	\$ 2,452.50
19	1' Wide 6" Vertical Curb	25	LF	\$ 54.50	\$ 1,362.50
20	Pavement Markings	66	LF	\$ 11.00	\$ 726.00
	WARNING SYSTEMS				
21	TUFTILE Truncated Domes	9	EA	\$ 600.00	\$ 5,400.00
ADDITIVE ALTERNATE - Total of Extended Unit Prices					\$ 86,495.00



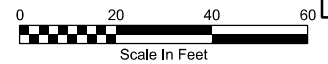
PLAN
STA 14+80 TO STA 19+20



PLAN
STA 19+20 TO STA 21+20

END PAVEMENT RECONSTRUCTION FULL-DEPTH
SUN VALLEY ROAD
STA 20+57.54
N 735183.22
E 1545089.87

- SHEET KEYNOTES**
- 53. RETAIN AND PROTECT CATCH BASIN, REPLACE GRATE WITH SOLID LID AND TO GRADE SEE KETCHUM STANDARD DRAWING 11
 - 54. CONSTRUCT 6" VERTICAL CURB AND GUTTER, SEE KETCHUM STANDARD DRAWING 4
 - 55. RETAIN AND PROTECT DRY WELL, RAISE LID TO GRADE, SEE KETCHUM STANDARD DRAWING 10
 - 56. CONSTRUCT VALLEY GUTTER, SEE KETCHUM STANDARD DRAWING 5
 - 57. SAWCUT, DEMOLISH, REMOVE AND REPLACE 2' ASPHALT PAVEMENT TO APPROXIMATE LIMITS SHOWN AND AS REQUIRED TO PROVIDE NEW WORK
 - 59. CONSTRUCT NEW ASPHALT PAVEMENT PER SECTION AS SHOWN ON SHEET TS-301
 - 69. INSTALL NEW SIGN POST BASE. SIGN POST BASE TO BE PROVIDED BY CITY OF KETCHUM. SEE KETCHUM STANDARD DRAWING 13
 - 70. CONSTRUCT 1' WIDE CONCRETE VERTICAL 6" CURB
 - 71. CONSTRUCT 3" ROLLED CURB AND GUTTER SEE ISPWC SD-702
 - 74. INSTALL 12" RCP STORM DRAIN PIPE



GENERAL NOTES

1. CONTRACTOR WORK LIMITS SHALL BE WITHIN PUBLIC RIGHT-OF-WAY OR TEMPORARY CONSTRUCTION EASEMENTS.
2. CONTRACTOR SHALL LOCATE AND FIELD VERIFY ALL UTILITIES AND SNOWMELT SYSTEMS PRIOR TO BEGINNING WORK AND ADJUST ALL UTILITY STRUCTURES AND SNOWMELT SYSTEMS TO MATCH PROPOSED GRADES.
3. EXISTING SITE FEATURES SHOWN WERE OBTAINED FROM SURVEYS COMPLETED BY GALENA ENGINEERING INC. IN OCTOBER 2021. CONTRACTOR SHALL VERIFY INFORMATION PRIOR TO BEGINNING WORK. SURVEY CONTROL INFORMATION IS SHOWN ON G-003. RETAIN AND PROTECT ALL UTILITIES NOT SCHEDULED FOR DEMOLITION.
4. SEE G-2 FOR GENERAL NOTES, LEGEND, AND ABBREVIATIONS.
5. SEE TS-301 FOR TYPICAL ROADWAY SECTION INFORMATION.
6. SEE C-400 SHEETS FOR RAMP AND SIDEWALK GRADING INFORMATION.
7. PROVIDE PERMANENT PAVEMENT MARKINGS ON ENTIRE NEW ROADWAY SURFACE TO MATCH PAVEMENT MARKINGS ON EXISTING PORTION OF SUN VALLEY ROAD, SEE DRAWING SN102.
8. CONTRACTOR SHALL LOCATE AND FIELD VERIFY ALL STORM DRAIN SYSTEMS PRIOR TO BEGINNING WORK AND SHALL COORDINATE WITH ENGINEER ANY DIFFERENCES IN THE PLANS AND WHAT IS DISCOVERED IN THE FIELD.

SHEET KEYNOTES

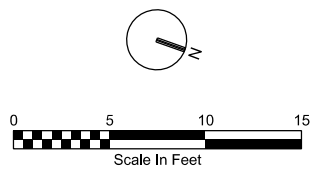
1. RETAIN AND PROTECT
4. SAWCUT, DEMOLISH AND REMOVE CONCRETE CURB AND GUTTER
5. SALVAGE SIGN AND POST, FOR REINSTALLATION, DEMOLISH FOUNDATION
6. REINSTALL SIGN AND POST WITH NEW FOUNDATION, SEE KETCHUM STANDARD DRAWING 13
7. SALVAGE RRFB FOR REINSTALLATION, PROTECT CONDUIT AND DEMOLISH FOUNDATION
8. REINSTALL RRFB WITH NEW FOUNDATION, SEE KETCHUM STANDARD DRAWING 14
9. SALVAGE PPB FOR REINSTALLATION, PROTECT CONDUIT AND DEMOLISH FOUNDATION
10. REINSTALL PPB WITHIN 10" OF NEW ADA RAMP LANDING, WITH NEW FOUNDATION, SEE SEE ITD STANDARD DRAWING 614-3, AND EXTENDING EXISTING CONDUIT AND CABLE FROM EXISTING PPB LOCATION
11. SALVAGE STREET LIGHT FOR REINSTALLATION, PROTECT CONDUIT AND DEMOLISH FOUNDATION
12. REINSTALL STREET LIGHT WITH NEW FOUNDATION, SEE KETCHUM STANDARD DRAWING 14
13. REMOVE EXISTING CATCH BASIN
- 14A. RETAIN AND PROTECT VALVE; RAISE TO GRADE SEE 1/TD-1, WITHOUT CONCRETE COLLAR
15. RETAIN AND PROTECT EXISTING PULLBOX, ADJUST TO GRADE AFTER PAVING
22. CONSTRUCT CONCRETE SIDEWALK WITHOUT CURB AND GUTTER, SEE KETCHUM STANDARD DRAWING 7
27. MATCH GRADE AND WIDTH
28. REMOVE PAVERS TO APPROXIMATE LIMITS SHOWN AND AS REQUIRED TO PROVIDE NEW WORK
38. SAWCUT, DEMOLISH, AND REMOVE CONCRETE TO APPROXIMATE LIMITS SHOWN AND AS REQUIRED TO PROVIDE NEW WORK
45. CONSTRUCT MODIFIED PEDESTRIAN RAMP SEE 400 SHEETS
46. CONSTRUCT ADA RAMP, SEE KETCHUM STANDARD DRAWING 8
48. CONSTRUCT CURB RAMP, SEE ITD STANDARD DRAWING 614-3
49. INSTALL DETECTABLE WARNING PLATE SEE 4/TD-1
- 50A. RETAIN AND PROTECT MANHOLE; RAISE LID TO GRADE SEE DETAIL 2/TD-1, WITHOUT CONCRETE COLLAR
51. INSTALL CATCH BASIN AT FLOWLINE LOW POINT, SEE KETCHUM STANDARD DRAWING 11

JACOBS		2022 SUN VALLEY ROAD REHABILITATION SUN VALLEY ROAD PLAN AND PROFILE STA 14+80 TO STA 21+20	
	2022 SUN VALLEY ROAD REHABILITATION KETCHUM AND SUN VALLEY, IDAHO		
VERIFY SCALE	BAR IS ONE INCH ON ORIGINAL DRAWING.		
DATE	FEBRUARY 2022	DR	A. THOMPSON
PROJ		CHK	J. JOYE
DWG	24	REVISION	
SHEET	5	BY	B. ROBERTS

BID DOCUMENTS



- ### GENERAL NOTES
1. CONTRACTOR WORK LIMITS SHALL BE WITHIN PUBLIC RIGHT-OF-WAY OR TEMPORARY CONSTRUCTION EASEMENTS.
 2. CONTRACTOR SHALL LOCATE AND FIELD VERIFY ALL UTILITIES PRIOR TO BEGINNING WORK AND ADJUST ALL UTILITY STRUCTURES TO MATCH PROPOSED GRADES.
 3. EXISTING SITE FEATURES SHOWN WERE OBTAINED FROM SURVEYS COMPLETED BY GALENA ENGINEERING INC. OCTOBER 2021. CONTRACTOR SHALL VERIFY INFORMATION PRIOR TO BEGINNING WORK. SURVEY CONTROL INFORMATION IS SHOWN ON G-3.
 4. SEE G-2 FOR GENERAL NOTES, LEGEND, AND ABBREVIATIONS.
 5. SEE TS-301 FOR TYPICAL ROADWAY SECTION INFORMATION.
 6. DETECTABLE WARNING TILES SHALL FOLLOW KETCHUM STANDARD DRAWING 9. INSTALL DETECTABLE WARNING PLATE PER MANUFACTURER'S INSTRUCTIONS.
 7. PROVIDE NEAT SAWCUT LINES AT LIMITS OF REMOVAL. CONTRACTOR SHALL PATCH OR REPAIR DAMAGED ASPHALT OR CONCRETE RESULTING FROM SAWCUT.



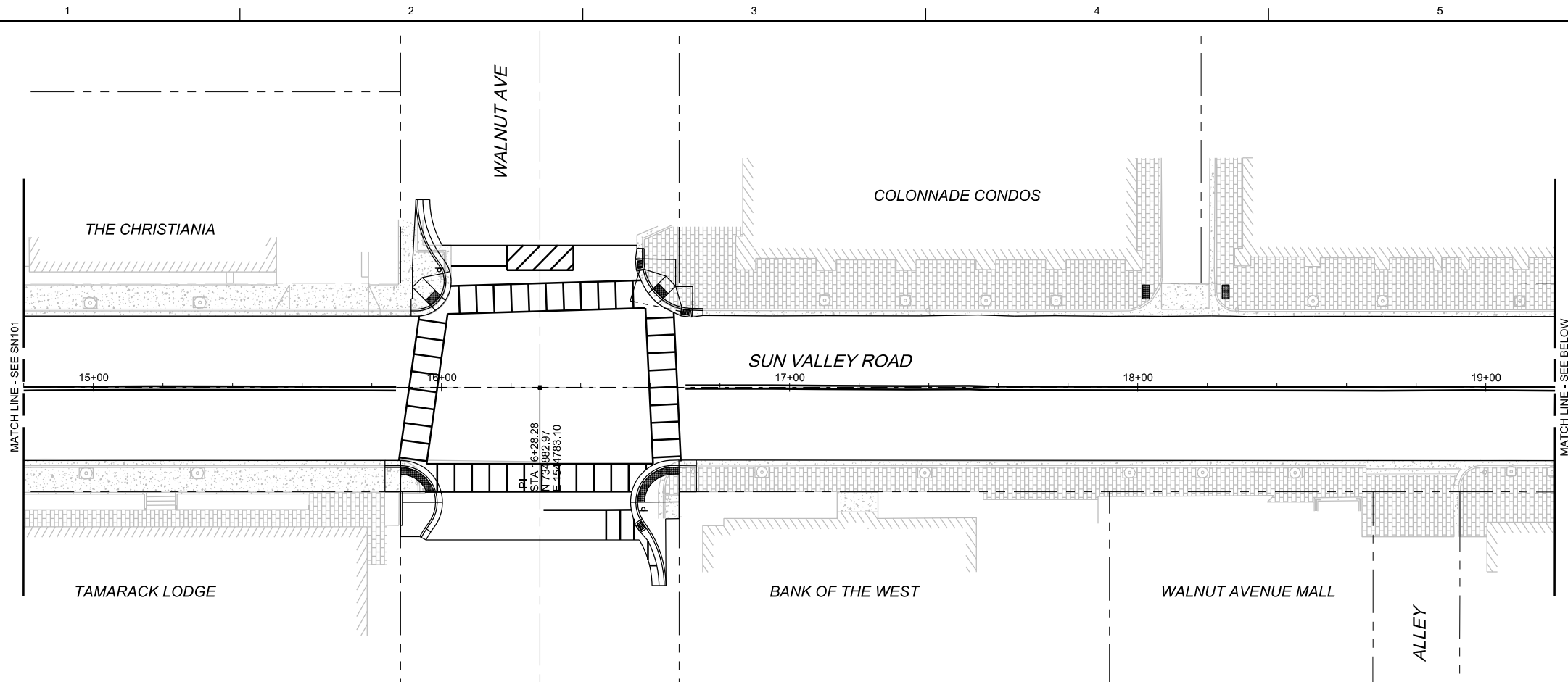
JACOBS		2022 SUN VALLEY ROAD REHABILITATION SUN VALLEY RD/SPRUCE AVE ENLARGED VIEW	
2022 SUN VALLEY ROAD REHABILITATION KETCHUM AND SUN VALLEY, IDAHO		NO. DATE	
REVISION		CHK	
BY		APVD	
APVD		B ROBERTS	
DR		M FRANZOIA	
CHK		J OYE	
APVD		A THOMPSON	

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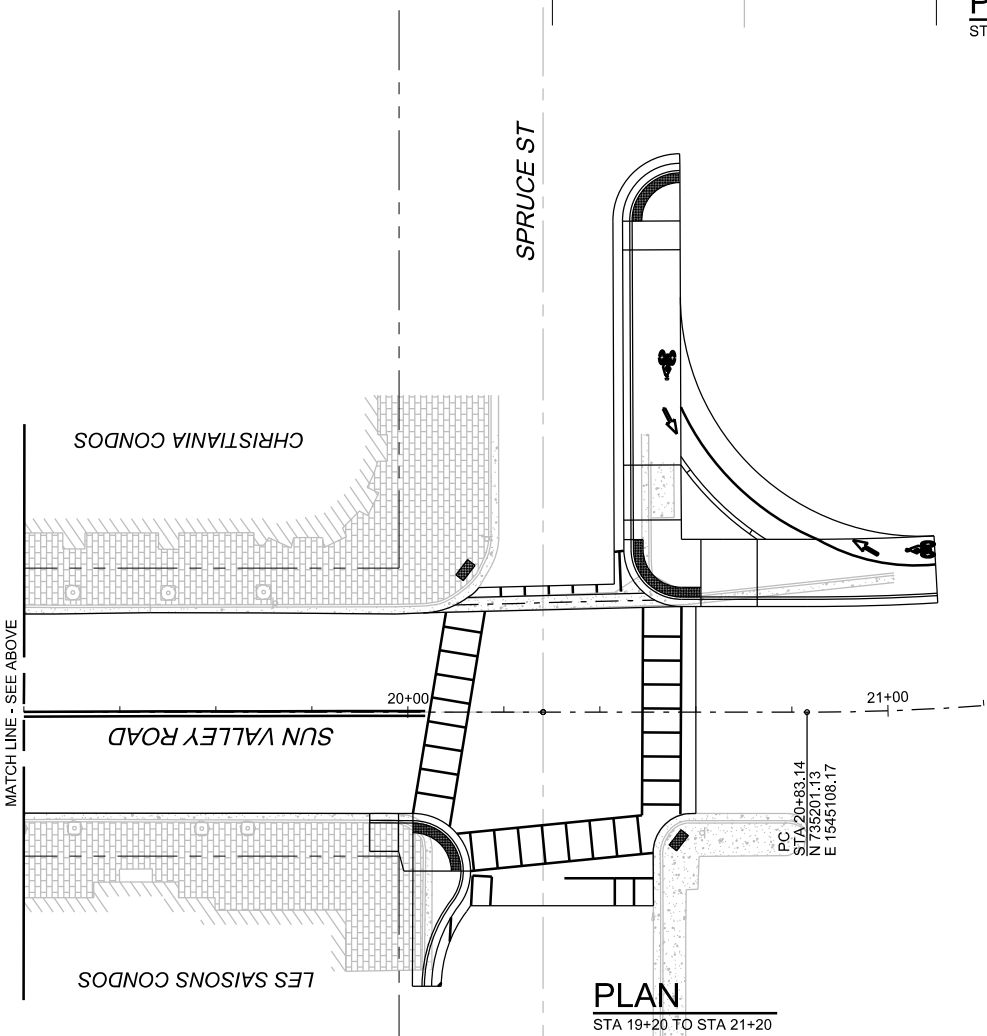
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VERIFY SCALE	
BAR IS ONE INCH ON ORIGINAL DRAWING.	
DATE	FEBRUARY 2022
PROJ	29
DWG	9
SHEET	9

BID DOCUMENTS



PLAN
STA 14+80 TO STA 19+20



PLAN
STA 19+20 TO STA 21+20

GENERAL NOTES

1. STRIPING PLAN USED FOR QUANTIFYING BID ITEMS ONLY.
2. VERIFY AND MATCH EXISTING STRIPING WIDTHS AND LOCATION FOR CENTER LINES, PARKING STALLS, NO PARKING ZONES, AND WHERE TYING INTO EXISTING.
3. PROVIDE NEW CROSSWALK STRIPING TO ALIGN WITH NEW ADA RAMPS.
4. SEE SN201 FOR SUN VALLEY RD STRIPING NORTH OF SPRUCE AVE.

SHEET KEYNOTES

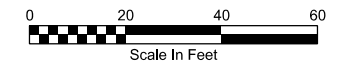
80. 4" WIDE DOUBLE YELLOW
81. 6" WIDE YELLOW
82. 4" WIDE WHITE
83. 12" WIDE WHITE
84. 24" WIDE WHITE
85. 24" WIDE STOP BAR
86. 4" WIDE YELLOW DASHED
87. BICYCLE WITH ARROW MARKING
88. GREEN PAVEMENT
89. 4" YELLOW CENTERLINE STRIPING (LENGTH OF PATHWAY)

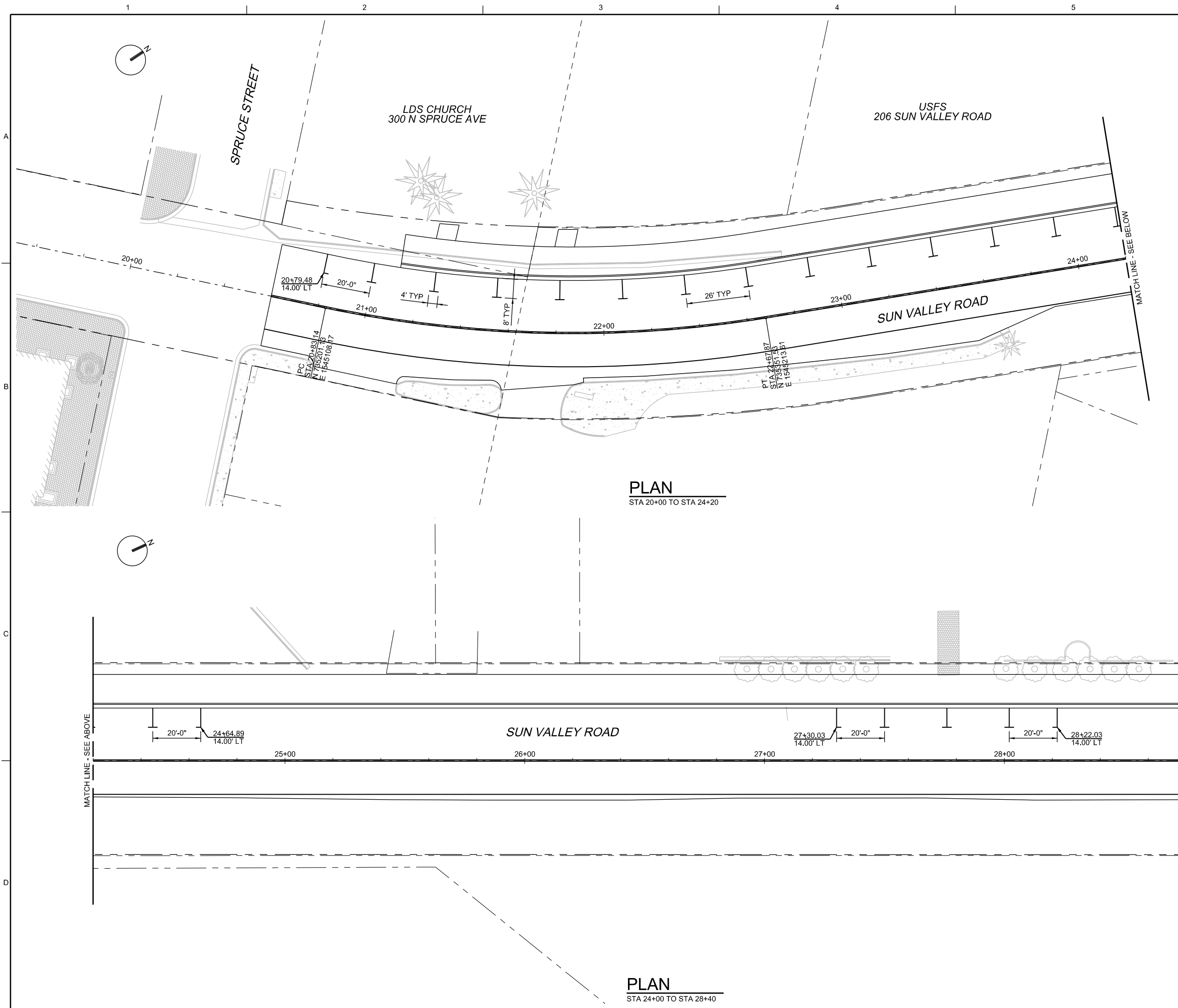
NO.	DATE	DR	CHK	REVISION	BY	APVD
		M FRANZOIA	J OYE			B ROBERTS
			A THOMPSON			

2022 SUN VALLEY ROAD REHABILITATION
KETCHUM AND SUN VALLEY, IDAHO

JACOBS
2022 SUN VALLEY ROAD REHABILITATION
SUN VALLEY ROAD
STRIPING PLAN
STA 14+80 TO STA 21+20

VERIFY SCALE	
BAR IS ONE INCH ON ORIGINAL DRAWING.	
DATE	FEBRUARY 2022
PROJ	
DWG	31
SHEET	11





PLAN
STA 20+00 TO STA 24+20

PLAN
STA 24+00 TO STA 28+40

GENERAL NOTES

1. PROVIDE CENTER AND FOG LINE STRIPING ALONG THE LENGTH OF SUN VALLEY ROAD. SEE TYPICAL SECTIONS ON TS301 FOR STRIPING LOCATION.
2. CROSS WALK AND PATH STRIPING TO BE COMPLETED BY OTHERS.

SHEET KEYNOTES

- 80. 4" WIDE DOUBLE YELLOW
- 82. 4" WIDE WHITE
- 90. 4" WIDE YELLOW

NO.	DATE	DR	CHK	REVISION	BY	APVD

2022 SUN VALLEY ROAD REHABILITATION
KETCHUM AND SUN VALLEY, IDAHO

JACOBS

2022 SUN VALLEY ROAD REHABILITATION
SUN VALLEY ROAD STRIPING PLAN
STA 20+00 TO STA 28+40

DATE	FEBRUARY 2022
PROJ	
DWG	32
SHEET	33

