

#### **CITY OF KETCHUM, IDAHO**

PLANNING AND ZONING COMMISSION Tuesday, March 12, 2024, 4:30 PM 191 5th Street West, Ketchum, Idaho 83340

#### **AGENDA**

#### PUBLIC PARTICIPATION INFORMATION

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You will find this option on our website at www.ketchumidaho.org/meetings.

If you would like to comment on a public hearing agenda item, please select the best option for your participation:

- Join us via Zoom (please mute your device until called upon).
   Join the Webinar: https://ketchumidaho-org.zoom.us/j/87127351386
   Webinar ID: 871 2735 1386
- 2. Address the Commission in person at City Hall.
- 3. Submit your comments in writing at <a href="mailto:participate@ketchumidaho.org">participate@ketchumidaho.org</a> (by noon the day of the meeting)

This agenda is subject to revisions. All revisions will be underlined.

#### **CALL TO ORDER:**

## **ROLL CALL:**

## **COMMUNICATIONS FROM COMMISSIONERS:**

#### **CONSENT AGENDA:**

ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

- 1. ACTION ITEM: Approval of the February 13, 2024 minutes
- 2. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for 200 North Main Design Review Application File No. P23-049
- 3. ACTION ITEM: Recommendation to review and approve the Findings of Fact, Conclusions of Law, and Decision for 200 North Main Conditional Use Permit Application File No. P23-049A

## **PUBLIC HEARING:**

# **NEW BUSINESS:**

4. Project Update: Cohesive Ketchum - Joint Meeting Debrief & Code User Survey Results **ADJOURNMENT:** 



# `CITY OF KETCHUM MEETING MINUTES OF THE PLANNING & ZONING COMISSION

Tuesday, February 13, 2024

CALL TO ORDER: (00:00:07 in video)

Neil Morrow called the meeting of the Ketchum Planning and Zoning Commission to order at 4:30 p.m.

## **ROLL CALL:**

Neil Morrow Susan Passovoy Brenda Moczygemba Tim Carter Matthew McGraw

## **ALSO PRESENT:**

Morgan Landers—Director of Planning and Building Adam Crutcher – Associate Planner Abby Rivin – Senior Planner Paige Nied – Associate Planner Heather Nicolai – Office Administrator

## **COMMUNICATIONS FROM COMMISSIONERS:** (00:00:35 in video)

None

CONSENT AGENDA: (00:00:45 in video)

1. ACTION ITEM: Approval of the January 23, 2024 minutes

Motion to approve the January 23, 2024 minutes. Motion made by Brenda Moczygemba

seconded by Matthew McGraw (00:01:29 in video)

**MOVER:** Brenda Moczygemba **SECONDER:** Matthew McGraw

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, Tim Carter & Neil Morrow

NAYS:

**RESULT: UNANIMOUSLY ADOPTED** 

**PUBLIC HEARING:** (00:01:40 in video)

2. ACTION ITEM: Recommend commission review and approve the 200 North Main design

review application subject to conditions 1-10, the conditional use permit application subject to conditions 1-4, and direct staff to return with findings of fact. (00:01:42 in video)

- Staff Presentation Abby Rivin, Senior Planner (00:02:00 in video)
- Applicant Presentation Jim Garrison (00:17:57 in video)
- Applicant Presentation Kenny Dudunakis (00:19:12 in video)
- Applicant Presentation Michael Doty, Michael Doty Associates (00:21:54 in video)

## **Public Comment Opened:** (00:56:40 in video)

- Keith Perry (00:56:51 in video)
- Richard F Albright (00:59:20 in video)
- Donna Shahbaz (01:01:34 in video)
- Jim Laski (01:03:17 in video)
- Scott Hanson (01:04:10 in video)
- Charlie Conner (01:06:04 in video)
- Justin Williams (01:07:38 in video)
- Caleb Spangenberger (01:08:35 in video)
- Scott Rogel (01:13:12 in video)
- Lucas Winter (01:14:05 in video)
- Harry Griffith (01:15:37 in video)
- Tressie Ham (01:17:00 in video)

## Public Comment Closed: (01:19:10 in video)

- Applicant response to public comment Jim Garrison (01:19:33 in video)
- Staff response to public comment Morgan Landers (01:24:55 in video)
- Commission questions for staff and applicant and staff and applicant response & deliberations (01:25:48 in video)

Motion to approve the 200 North Main design review application subject to conditions 1-10 + the additional condition regarding the artwork on the north side of the building, the conditional use permit application subject to conditions 1-5, and direct staff to return with findings of fact." Motion made by Matthew McGraw, seconded by Brenda Moczygemba (02:12:30 in video)

**MOVER:** Matthew McGraw

**SECONDER:** Brenda Moczygemba

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw & Neil Morrow

NAYS: Tim Carter

**RESULT: MOTION ADOPTED 4-AYES, 1-NAYS** 

**NEW BUSINESS:** (02:15:27 in video)

## None

# **ADJOURNMENT:**

Motion to adjourn at 6:45pm (02:15:34 in video)

**MOVER:** Susan Passovoy **SECONDER:** Neil Morrow

AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, Tim Carter & Neil Morrow

NAYS:

**RESULT: UNANIMOUSLY ADOPTED** 

Neil Morrow – P & Z Commissioner

Morgan Landers – Director of Planning & Building



N RE:	)
	)
200 North Main	) KETCHUM PLANNING AND ZONING COMMISSION
Design Review	) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Application File Number: P23-049	) DECISION
	)
	)
Date: March 12, 2024	)

PROJECT: 200 North Main

**APPLICATION TYPE:** Design Review

FILE NUMBER: P23-049

ASSOCIATED APPLICATIONS: Conditional Use Permit (Application File No. P23-049A)

**PROPERTY OWNER:** 200 North Main LLC, Kenneth & Ann Dudunakis, Managing Members

**REPRESENTATIVE:** Michael Doty Associates, Architects

**LOCATION:** 200 North Main Street

(Ketchum Townsite: Block 3: Lots 1))

**ZONING:** Community Core – Subdistrict 1 – Retail Core (CC-1)

OVERLAY: None

#### **RECORD OF PROCEEDINGS**

The Planning and Zoning Commission (the "Commission") considered the 200 North Main Design Review Application File No. P23-049 during their meetings on December 12, 2023 and February 13, 2024. The application was considered concurrently with Conditional Use Permit Application File No. P23-049, and the public hearings were combined in accordance with Idaho Code §67-6522.

## Public Hearing Notice & Public Comment

The public hearing for this project was continued to a date uncertain from the Planning and Zoning Commission Meeting on December 12, 2023. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on January 24, 2024. The public hearing notice was published in the Idaho Mountain Express on January 24, 2024. A notice was posted on the project site and the city's website on January 29, 2024. The building corners were staked and the story pole was installed on the project site on February 6, 2024. After considering Staff's analysis, the applicant's

presentation, and public comment, the Commission approved Design Review Application File No. P23-049 subject to conditions.

#### FINDINGS OF FACT

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 12,405-gross-square-foot mixed-use building, called 200 North Main (the "project"), at the northeast corner of Main and 2<sup>nd</sup> Streets (the "subject property") located within the Retail Core of the Community Core ("CC-1 Zone"). As proposed, the project includes 2,979 square feet of restaurant space on the ground-level with frontage along both Main and 2<sup>nd</sup> Streets, six one-bedroom apartments ranging in size from 505 to 642 square feet on the second floor, and a penthouse on the third floor. Two of the apartments on the second floor will be deed-restricted community housing units for rent. The project plans are attached as Exhibit A.

The project site is adjacent to: (a) the Casino to the north along Main Street, (b) the Rocky Mountain Hardware building to the south along Main Street, (c) the Leadville Trading building currently under construction to the east across the alley, and (d) the Sun Valley Culinary Institute and Sawtooth Club buildings to the west across Main Street. The subject property is comprised of one lot within the original Ketchum townsite that was created in 1948. The corner lot is developed with an existing building that was originally constructed in 1959 and is proposed to be demolished.

The project is subject to the standards of Interim Ordinance 1234 ("interim ordinance") as the applications were deemed complete after the effective date of the interim ordinance and prior to the adoption of permanent Ordinance 1249. The development of the proposed mixed-use building is subject to Design Review pursuant to Ketchum Municipal Code ("KMC") §17.96.010.A4. The Conditional Use Permit application requests an adjustment to the interim ordinance standard requiring that individual residential units not exceed a total floor area of 3,000 square feet. The proposed third-floor penthouse has a total floor area of 3,400 square feet. The Planning and Zoning Commission (the "Commission") has the authority to review and approve the applicant's Design Review and Conditional Use Permit requests pursuant to KMC §17.96.030.B and §17.116.040.

The six one-bedroom apartments on the second floor are less than 750 square feet in size and do not require parking pursuant to KMC §17.125.040.C1b. In addition, two of these apartments are proposed to be deed-restricted community housing units, which are exempt from providing parking pursuant to KMC §17.125.040.C.1a. All six apartments have 50-square-foot storage areas on the second floor designated to each unit. The restaurant is exempt from providing parking pursuant to KMC §17.125.040.C.1b. The third-floor penthouse requires two parking spaces. Parking and storage for the penthouse is provided within a private garage on the ground floor accessed from the alley.

The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change

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depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

The project is proposing to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing. The applicant has proposed mitigating the additional floor area by dedicating two on-site community housing units as deed-restricted rentals targeted for Blaine County Housing Authority Income Category 4. The mixed-use building is 12,405 gross square feet and the proposed FAR is 2.25.

## Findings Regarding Conformance with Zoning and Design Review Standards

Pursuant to KMC §17.96.050.A, the Commission must determine that a project meets the following criteria before granting Design Review approval:

- 1. The project doesn't jeopardize the health, safety, or welfare of the public.
- 2. The project conforms to all Design Review standards and zoning regulations.

Section 13 of the interim ordinance requires that all development subject to Design Review must meet an additional criterion that, "The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan."

## Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan ("comprehensive plan") is the foundational guiding document for land use decisions within the city. The comprehensive plan provides the strategy to achieve the community's vision for the future of Ketchum. This strategy establishes goals and policies for long-term growth and future development within the city.

The comprehensive plan describes ten core values that shape the community's vision for the desired future of Ketchum. The ten core values include a vibrant downtown, community character, a variety of housing options, and a strong and diverse economy. Downtown's built environment plays a key role in realizing the community's vision for the future of Ketchum.

The comprehensive plan designates the future land use of the subject property as Retail Core—the city's key gathering place for residents and visitors for shopping, dining, and entertainment. The future land use plan states:

The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that have ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).

200 North Main aligns with the future land use plan for the Retail Core. The project provides a restaurant on the ground-floor that fronts Main and 2<sup>nd</sup> Streets. The design includes an outdoor dining area at the street corner with custom-built tables, bar top, and seating. The outdoor dining area facilitates an activated, pedestrian-friendly environment by bringing people to the street corner. The

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six apartment units on the second floor will give life to this building 24 hours a day. The project will enliven downtown by encouraging the social connections that build community.

The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that "housing should be integrated into the downtown core" (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance's minimum residential density requirements, the project is required to include at least three dwelling units. 200 North Main exceeds the minimum density requirements by providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th Streets, providing access to all the major transit routes that can connect future residents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, "Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households." The project provides six apartments on the second floor, two of which will be deed-restricted community housing units.

## Compatibility with Surrounding Neighborhood

Policy CD-1.3 of the comprehensive plan states that, "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26). The subject property is located within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments like Argyros Performing Arts Center and the Leadville Trading project, which is currently under construction across the alley to the east of the subject property. The project site neighbors multiple buildings that are designated as historic within the city, including the Casino building (Historic Name: Ketchum Kamp Hotel) to the north on Main Street, the Rocky Mountain Hardware building (Historic Name: Lewis Bank) to the south across 2nd Street, the Culinary Institute (Historic Name: Greenhow & Rumsey Store) to the west across Main Street, and Vintage Restaurant (Historic Name: Bert Cross Cabin) to the east across the alley.

200 North Main celebrates Ketchum's historic architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum's early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are the only three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts.

The projecting awning supported by columns at the street corner is also a nod to downtown's historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building's colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street.

The design celebrates character-defining features of Ketchum's historic architecture without mimicry or replication. The project blends character-defining features that honor Ketchum's historic architecture with more contemporary design elements like black metal accents to create a high-quality design that appears as a product of its own time. The project respects local context successfully integrating within the surrounding neighborhood and enhances downtown's textured urban fabric with its unique and authentic design.

## Criteria 2: Applicable Standards and Criteria

The 200 North Main project complies with all zoning code requirements, Interim Ordinance 1234, Design Review standards, and Conditional Use Permit criteria.

## Findings Regarding Compliance with Zoning Regulations

1.

17.12.020 – District Use Matrix	Conformance
Zone District: Community Core Subdistrict 1 – Retail Core (CC-1)	YES

**Finding:** Only pedestrian activated commercial uses like retail shops and restaurants are permitted on the ground-floor along the street frontage within developments in the Retail Core (CC-1) Zone (KMC §17.12.020). The proposed development includes a ground-level restaurant fronting Main and 2<sup>nd</sup> Streets. The second floor contains six one-bedroom apartments ranging in size from 505 to 642 square feet. Two of the apartments on the second floor will be deed-restricted community housing units for rent. The third-floor contains a residential penthouse. Food service establishments like restaurants and multi-family dwelling units are permitted in the CC-1 Zone pursuant to Ketchum Municipal Code §17.12.020.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
Minimum Lot Size	YES
Finding:	
Required: 5,500 square feet	
Proposed: Existing. 5,503 square feet	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance				
Minimum Lot Width	YES				
Finding:					
Required: Minimum lot width of an average of 55 feet is required in the CC-2 zone district.					
Proposed: Existing. Lot 1 is 55 feet wide.					

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
Minimum Building Setbacks	YES
Finding:	
Required:	
Front (Main Street/west): 0 feet	

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Side (2<sup>nd</sup> Street/south): 0 feet Side (interior/north): 0 feet Rear (alley/east): 3 feet

Setback for 4th Floor: 10 feet

Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be setback 10 feet from all building facades.

## Proposed:

Setbacks are indicated on sheet A-103 of the project plans.

Setbacks for Mixed-Use Building
Front (Main Street/west): 0'
Side (2<sup>nd</sup> Street/south): 0'
Side (interior/north): 0'
Rear (alley/east): 3'

Fourth-Floor Setbacks: N/A. The project does not include a fourth floor.

#### Rooftop Structures

The roof plan on sheet A-241 of the project plans shows the 10-foot setback line from the lower façade in a blue dashed line. All roof-mounted electrical and mechanical equipment is setback 10 feet from the fourth-floor building façade.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance	
Maximum Building Heights	YES	

#### Permitted:

Maximum Building Height: 42 feet

Non-habitable Structures Located on Building Roof Tops: 10 feet above roof ridge or parapet

Roof Top Solar and Mechanical Equipment above Roof Surface: 5 feet

#### Proposed:

Maximum Building Height

Average Grade Elevation at Front Property Line: 5842.79'

Top of Front Façade Elevation: 5882.63'

Height of Front Façade: 39'-10"

Average Grade Elevation at Rear Property Line: 5843.65'

Top of Rear Façade Elevation: 5880.65

Height of Rear Façade: 37'

Non-habitable Structures Located on Building Roof Tops Height of Elevator Overrun above Roof Surface: 3'-9"

Roof Top Solar and Mechanical Equipment above Roof Surface

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The solar panels are flush-mounted and do not extend above the roof surface.

17.124.040 – Floor Area Ratios and Community Housing	Conformance
An increased FAR may be permitted subject to design review approval, and	YES
provided, that all conditions in KMC 17.124.040.B.2 are met.	Condition #3

# Finding:

## Permitted:

Permitted FAR: 1.0

Permitted FAR with Community Housing: 2.25

#### Proposed:

The FAR calculation is provided on Sheet A-201 of the project plans.

Total Gross Floor Area: 12,405 square feet

Lot Area: 5,503 square feet

FAR: 2.25

Community Housing Mitigation Calculation:

Permitted Gross Floor Area (1.0 FAR): 5,503 square feet

Proposed Gross Floor Area: 12,405 square feet Increase Above Permitted FAR: 6,902 square feet

20% of Increase: 1,380 square feet

Net Livable (15% Reduction): 1,173 square feet

Community Housing Unit 205 Net Livable Floor Area: 539 square feet

Community Housing Unit 205 Storage: 61 square feet

Community Housing Unit 206 Net Livable Floor Area: 642 square feet

Community Housing Unit 206 Storage: 50 square feet Total Community Housing Contribution: 1,292 square feet

The applicant has proposed providing two deed-restricted community housing rentals targeted for Blaine County Housing Authority Income Category 4 on the second floor of the mixed-use building. Pursuant to condition of approval #3, as a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.

17.125.030 - Off Street Parking and Loading	Conformance
17.125.040 – Off Street Parking and Loading Calculations	
17.125.050 – Community Core District Off Street Parking and Loading Calculations	
Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must	YES
comply with the off street vehicle parking requirements.	
Permitted:	
Required (KMC §17.125.040)	

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Multi-Family Dwelling Units in CC Zone

Units 750 square feet or less: 0 parking spaces

Units 751 square feet to 2,000 square feet: 1 parking space

Units 2,001 square feet and above: 2 parking spaces

Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)

## Exemptions in CC Zone

Community housing

Food service

The first 5,500 gross square feet of retail trade

The first 5,500 gross square feet of assembly uses

## Project Parking Demand

**Ground Floor** 

Restaurant: Exempt

#### Second Floor:

6 one-bedroom apartments (size range from 505-642 sq ft) on the second floor: 0 spaces required 2 of the apartments are proposed to be deed-restricted community housing units: exempt

## Third Floor Residential

Residential Penthouse Size: 3,400 square feet

2 parking spaces required

## Total Parking Demand:

2 Parking Spaces

## Proposed

The applicant has provided 2 parking spaces and storage for the penthouse is provided within a garage on the ground floor accessed from the alley.

17.125.060 – Bicycle Parking	Conformance
Ketchum Municipal Code §17.125.060.B: All uses, other than one family	YES
dwellings, are required to provide one bicycle rack, able to accommodate at	
least two bicycles, for every four parking spaces required by the proposed	
use.	

## Finding:

<u>Required:</u> 1 bicycle rack, accommodating at least two bicycles, for every four parking spaces required. 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.

<u>Proposed:</u> 1 bike rack accommodating two bicycles is provided by the outdoor dining are next to the sidewalk along 2<sup>nd</sup> Street.

17.127 – Signage	Conformance
Master Signage Plan for New Construction	YES
	Condition #9

Finding: The signage plan is provided on sheet A-315 of the project plans. The signage plan proposes two signs for the restaurant along the Main Street frontage and one sign along the 2nd Street frontage. The Main Street frontage includes a wall sign and projecting sign. The 2nd Street frontage includes a wall sign for the restaurant. The wall signs along Main and 2nd Streets are integrated into the design of the bars for the outdoor dining area. The projecting sign along Main Street is comprised of black steel and painted wood. The black steel and wood of the projecting sign matches the design of the building awning that wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building. Pursuant to condition #9, separate sign permits shall be required for all new signs prior to installation.

17.132 – Dark Skies	Conformance
Compliance with Section 17.132 – Dark Skies.	YES

Finding: The proposed exterior lighting fixtures are full cutoff fixtures and comply with Ketchum Municipal Code §17.132.030.H1. The light sources are fully shielded with a maximum color temperature of 2700K and comply with Ketchum Municipal Code §17.132.030.A. The proposed exterior lighting fixtures comply with the city's Dark Skies Ordinance.

The December 12, 2023 staff report flagged a concern regarding light trespass from the outdoor dining area. Staff recommended a condition of approval requiring that the applicant revise the outdoor dining area lighting plan and submit an updated photometric study that shows an average of 0.2 footcandles outside of the awning onto the uncovered areas of the sidewalk along Main and 2<sup>nd</sup> Streets. On the revised project plans submitted for the second public hearing, the applicant reduced light trespass by dimming the light emanating from the fixtures in the outdoor dining area and removing the recessed canopy fixtures along 2<sup>nd</sup> Street. As shown on sheet LSK-01 of the updated project plans (See Exhibit A), these changes have reduced light trespass to achieve an average of 0.2 footcandles outside of the awning.

# Findings Regarding Compliance with Interim Ordinance 1234

## **INTERIM ORDINANCE 1234 STANDARDS ANALYSIS**

Interim Ordinance 1234 ("interim ordinance) was approved by the Ketchum City Council on October 17, 2022 and published in the paper on October 19, 2022 (the effective date). The 200 North Main redevelopment project is subject to the standards of the interim ordinance as the Design Review and Conditional Use Permit applications were deemed complete on June 1, 2023 after the effective date of the interim ordinance and prior to the adoption of Permanent Ordinance 1249.

#### Interim Ordinance Standards and Commission Finding

Yes	No	N/A	Interim Ordinance	City Standards and Commission Finding						
$\boxtimes$			Section Section 4:	There	shall now be	minimum	residentia	l densities	for new	
		Ш	Minimum	development projects or expansions of existing buildings that						
			Residential	exceed a total floor area ratio (FAR) of 1.0 within Subdistrict 1 and						
			Densities	Subdi	strict 2 of the	CC zone c	listrict and	0.5 FAR ir	n the T, T-3000	),
				T-400	0, and GR-H z	one distri	cts as follo	ws:		
					Zone District	M	inimum Residen	fial Density Requits/SF)	ired	
					CC Subdistricts 1 and 2		100% Resident	tial Development 5,500		
					Subulstries 1 and 2	-		Development	-	
					0.00	≤ 30%	31-60%	61-80%	≥ 80%	
						Commercial	Commercial	Commercial	Commercial	
						4/5,500	3 / 5,500	2/5,500	No Minimum except when residential units are provided, there shall be a minimum of 2 units	
					T			tial Development 10,000		
						≤ 30%	31-60%	61-80%	≥ 80%	
						Commercial	Commercial	Commercial	Commercial	
						4 / 10,000	3 / 10,000	2 / 10,000	No Minimum except when residential units are provided, there shall be a minimum of 2 units	
					T-3000			0,000	14	
					T-4000 GR-H			0,000		
					A. For purposes of calculating commercial area for minimum residential densities, commercial square footage shall include all permitted and conditionally permitted uses identified in KMC Section 17.12.020 – District Use Matrix under the categories of "Commercial" or "Public and Institutional".  B. Peterent commercial shall be calculated by dividing the total commercial square footage by the Gross Floor Area for the project.  C. Total commercial square footage shall be calculated using the total area of commercial uses on all floors in a building or portion of a building measured from the interior walls, excluding:  a. Common areas  b. Mechanical and maintenance equipment rooms.  c. Parking areas and/or garages  d. Public areas					
	l	I	Commission	The n	roject has a gr	oss floor	area of 12	105 sauar	e feet with 1 ^	1/12
				The project has a gross floor area of 12,405 square feet with 4,148 square feet of commercial space for the restaurant. 33% of the						
			Finding	mixed restau to provice provice the in	-use developr grant. Based of wide three restles seven mul- ct exceeds the ding four more terim ordinan	ment is de n the com sidential u ti-family d minimum e dwelling ce.	edicated to nmercial ar nits. The n lwelling un n residenti units than	commerc rea, the pr nixed-use nits. The 20 al density required	ial space for the oject is required evelopment of North Main requirement by section 3 o	he ed
		$\boxtimes$	Section 5: Lot Consolidations	Additi and a	shall now be onally, there s dditional stand lidation of lot	shall be a dards for t	specific ap	plication t	ype, process,	

			Commission	This standard is not applicable as this project is proposed on one
				single lot that was created by Ketchum's original townsite plat
			Finding	, , , , , , , , , , , , , , , , , , , ,
			Saction C. No.	map in 1948.
$\boxtimes$			Section 6: No	No demolition permit shall be issued pursuant to Chapter 15.16 of
			Net Loss of	the KMC that results in the net loss in the total number of
			Dwelling Units	residential units currently existing on a property as of the effective
				date of this ordinance.
			Commission	The corner lot is developed with an existing building that was
			Finding	originally constructed as a gas station in 1959 and is currently
				occupied by Café Serva restaurant. No residential units historically
				or currently occupied the existing building. The proposed
				demolition of the existing building will not result in a loss of
				residential units. The project will provide seven new multi-family
				dwelling units.
		$\boxtimes$	Section 7:	There shall be no parking required for individual retail spaces of
			Retail Parking	5,500 square feet or less within the Community Core (CC) and
			Exemption	Tourist (T) zoning districts.
			Commission	This standard is not applicable as the project does not include any
			Finding	retail uses.
		$\boxtimes$	Section 8:	There shall be no parking required for the first 5,500 square feet
			Office Parking	of office space of a project within the Community Core and Tourist
			Exemption	zone districts.
			Commission	This standard is not applicable as the project does not include any
			Finding	office uses.
		$\boxtimes$	Section 9:	New developments on properties within the Tourist zone district
			Commercial in	that include frontage along River Street from S Leadville Ave to S
			the Downtown	2nd Ave, as shown in Exhibit A, shall be subject to the uses
			Area—River	permitted and conditionally permitted and associated footnotes
			Street	for the Community Core – Mixed Use subdistrict (CC-2) as outlined
				in KMC 17.12.020 – District Use Matrix.
			Commission	N/A
			Finding	
		$\boxtimes$	Section 10:	Properties within the Community Core – Mixed Use subdistrict
			Commercial in	(CC-2), as shown on Exhibit B, shall be subject to the following:
			the	A. Ground floor residential with street frontage is not
			Downtown—	permitted.
			CC-2 Zone	···
			Commission	N/A
			Finding	
Section	on 11:		, , , , , , , , , , , , , , , , , , ,	<u>I</u>
		nts wit	hin the CC Subdist	rict 1 and 2, T (Leadville to 2nd Ave fronting River Street) not
	•			ject to the following standards:
×			Section 11A:	For mixed-use developments, a minimum of 55% of the gross floor
			Jection IIA.	area, as defined in KMC 17.08.020, of the ground floor must be
				commercial use(s).
	1	I	1	Commercial use(s).

	1	Camanaiaaian	The array floor array of the array of the 4.400 array foot The total
		Commission Finding	The gross floor area of the ground is 4,403 square feet. The total floor area for the restaurant on the ground floor is 2,979 square feet. 68% of the gross floor area of the ground floor is dedicated to the commercial restaurant use.
$\boxtimes$		Section 11B:	Community housing units are not permitted within basements.
		Commission Finding	The two community housing units are located on the second floor the building.
		Section 11C:	Individual residential dwelling units cannot exceed a total square footage of 3,000 square feet. Total square footage shall be calculated as the total area of residential space within a single residential unit measured from the interior walls. For residential units with multiple floors, staircases and elevators shall be included in the calculation on the first level of the residential unit only.
		Commission Finding	Section 12 of the interim ordinance allows applicants to request relief from this requirement by applying for a conditional use permit. The applicant has requested a conditional use permit to allow for the third-floor penthouse with a total floor area of 3,400 square feet.
		Section 11D:	Developments shall not provide a total number of parking spaces above the minimum parking requirements per KMC 17.125.040 – Off Street Parking and Loading Calculations, unless the additional parking spaces are designated for public parking use only or for deed restricted community housing units.
		Commission Finding	The project parking demand is two spaces for the residential penthouse. Two off-street parking spaces for the penthouse are provided within the private garage accessed from the alley.
$\boxtimes$		Section 13:	All development subject to Design Review pursuant to KMC Section 17.96.010, shall meet the following additional criteria:  A. The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan.
		Commission Finding	The comprehensive plan designates the future land use of the subject property as Retail Core—the city's key gathering place for residents and visitors for shopping, dining, and entertainment. The future land use plan states:  The community's primary shopping district is the Retail
			Core. The Retail Core provides a variety of mixed-use buildings that ground-floor storefronts. Specialty shops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment.  Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).

200 North Main aligns with the future land use plan for the Retail Core. The project provides a restaurant on the ground-floor that fronts Main and 2<sup>nd</sup> Streets. The design includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2<sup>nd</sup> Streets with an outdoor dining area with custom-built tables, bar top, and seating. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum's dynamic downtown by facilities the social connections that build community.

The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that "housing should be integrated into the downtown core" (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance's minimum residential density requirements, the project is required to include at least three dwelling units. 200 North Main exceeds the minimum density requirements providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th Streets, providing access to all the major transit routes that can connect future residents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, "Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households. The project provides six one-bedroom apartments on the second floor, two of which will be deed-restricted community housing units.

## Compatibility with Surrounding Neighborhood

Policy CD-1.3 of the comprehensive plan states that, "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26). The subject property is within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments like the Leadville Trading project currently under construction across the alley to the east of the subject property.

The project site neighbors multiple buildings that are designated as historic within the city, including the Casino building (Historic Name: Ketchum Kamp Hotel) to the north on Main Street, the Rocky Mountain Hardware building (Historic Name: Lewis Bank) to the south across 2<sup>nd</sup> Street, the Culinary Institute (Historic Name: Greenhow & Rumsey Store) to the west across Main Street, and Vintage Restaurant (Historic Name: Bert Cross Cabin) to the east across the alley.

200 North Main celebrates Ketchum's historic and vernacular architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum's early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts. The projecting awning supported by columns at the street corner is another characterdefining feature that nods to downtown's historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building's colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street. The design celebrates character-defining features of Ketchum's historic architecture without mimicry or replication. The project includes more contemporary design elements like black metal accents that make the building appear as a product of its own time.

# Findings Regarding Compliance with Design Review Standards

17.96.060.A.1 - Streets	Conformance
The applicant shall be responsible for all costs associated with providing a	YES
connection from an existing City street to their development.	Condition #7

**Finding:** All improvements to the right-of-way are at the expense of the applicant.

The project is located at the northeast corner of Main and  $2^{nd}$  Streets. As shown on sheet C1.20 of the project plans, the alley is proposed to be graded and resurfaced with asphalt. New portions of asphalt and asphalt repair are proposed along Main and  $2^{nd}$  Streets directly adjacent to the sidewalk. No changes are proposed to the street design or travel-land widths along Main and  $2^{nd}$  Streets.

The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project.

The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #7.

17.96.060.A.2 - Streets	Conformance
All street designs shall be approved by the City Engineer.	YES
	Condition #7

**Finding**: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #7.

17.96.060.B.1 - Sidewalks	Conformance
All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.	YES

**Finding**: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-1 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new heated, paver sidewalks along Main and 2<sup>nd</sup> Streets.

17.96.060.B.2 - Sidewalks	Conformance
Sidewalk width shall conform to the City's right-of-way standards, however the	YES
City Engineer may reduce or increase the sidewalk width and design standard	Conditions
requirements at their discretion.	#7 & #8

**Finding**: The applicant has proposed installing new 8-foot-wide heated paver sidewalks along Main and 2nd Streets. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project.

The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer,

Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #7.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application pursuant to condition of approval #8.

	17.96.060.B.3 - Sidewalks	Conformance
idewalk	s may be waived if one of the following criteria is met:	N/A
,	The project comprises an addition of less than 250 square feet of conditioned space.	
v	The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not example varrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.	
<i>v</i> 9	varrant a sidewalk, or if a sidewalk would not be beneficial to the	

**Finding**: Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.

17.96.060.B.4 - Sidewalks	Conformance
The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	YES
Finding: The proposed sidewalk improvements are equal to the length of the property's street frontages	

**Finding**: The proposed sidewalk improvements are equal to the length of the property's street frontages along Main and 2<sup>nd</sup> Streets.

17.96.060.B.5 – Sidewalks	Conformance
New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.	YES

**Finding**: The new heated, paver sidewalks are planned to connect to the existing sidewalks along Main and 2<sup>nd</sup> Streets. The proposed sidewalks connect to heated pathways on the project site providing safe pedestrian access to and around the building.

17.96.060.B.6 - Sidewalks	Conformance
The City may approve and accept voluntary cash contributions in lieu of the	N/A
above described improvements, which contributions must be segregated by the	
City and not used for any purpose other than the provision of these	
improvements. The contribution amount shall be 110 percent of the estimated	
costs of concrete sidewalk and drainage improvements provided by a qualified	
contractor, plus associated engineering costs, as approved by the City Engineer.	

Any approved in lieu contribution shall be paid before the City issues a certificate	
of occupancy.	

**Finding**: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.

17.96.060.C.1 - Drainage	Conformance
All stormwater shall be retained on site.	YES
	Condition #7

# Finding:

On-site stormwater drainage will be directed through internal roof drains and roof drain leaders to on-site drywells. The drainage improvements on sheet C1.0 of the project plans shows drywells adjacent to the front property line along Main Street and the rear property line along the alley. Note S13 specifies that roof drains and/or slot drains will be connected to these drywells.

All storm water shall be retained on site, including water from roof drains. All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer.

Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.2 - Drainage	Conformance
Drainage improvements constructed shall be equal to the length of the subject	YES
property lines adjacent to any public street or private street.	Condition #7

Finding: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Main Street, 2<sup>nd</sup> Street, and the alley. The drainage improvements are shown on Sheet C1.20 of the project plans. The drainage system is comprised of catch basins, drywells, and storm drain pipes. New valley gutters are proposed to be installed with alley right-of-way. All drainage improvements are required to be constructed City standards. Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.3 - Drainage	Conformance
The City Engineer may require additional drainage improvements as	YES
necessary, depending on the unique characteristics of a site.	Condition #7

**Finding**: The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide

specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.4 - Drainage	Conformance
Drainage facilities shall be constructed per City standards.	YES
	Condition #7

## Finding:

Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.

Pursuant to condition of approval #7, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.D.1 - Utilities	Conformance
All utilities necessary for the development shall be improved and installed at the	YES
sole expense of the applicant.	

**Finding**: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.

17.96.060.D.2 - Utilities	Conformance
Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.	YES

**Finding**: The site plan on sheet A-103 of the project plans shows that the new transformer is proposed to be installed at the rear of the building in the southeast corner of the project site along 2<sup>nd</sup> Street and the alley. The site plan on sheet A-103 also shows the location of the electrical and gas meters located within alcoves along the rear façade along the alley. The rear (east) elevation on sheet A-313 of the project plans shows the electric and gas meters within the alcoves. The transformer screening is shown on the rear (east) building elevation on sheet A-313 and the 2<sup>nd</sup> Street (south) elevation on sheet A-312. The transformer will be screened with perforated steel panels in a custom finish to match the window and door system (Exterior Finish 5, Sheet A-301).

17.96.060.D.3 - Utilities	Conformance
When extension of utilities is necessary all developers will be required to pay	N/A
for and install two-inch SDR11 fiber optical conduit. The placement and	

construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.

**Finding**: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.

17.96.060.E.1 – Compatibility of Design	Conformance
The project's materials, colors and signing shall be complementary with the	YES
townscape, surrounding neighborhoods and adjoining structures.	

## Finding:

The exterior materials and color sample board is provided on sheet A-301 of the project plans. The proposed building elevations on sheets A-311, A-312, A-313, and A-314 specify the following exterior materials:

- Exterior Finish 1 (EF-1): Full Size Brick, Sanmold Texture, Red Color, Sand Coating, Belden Brick Company
- Exterior Finish 2 (EF-2): Precast Stone, Warm Grey
- Exterior Finish 3 (EF-3): Exterior Steel Accents, Custom Finish to Match Window & Door System
- Exterior Finish 4 (EF-4): Delta Millworks, Hemlock Soffit Wood
- Exterior Finish 5 (EF-5): Exterior Perforated Steel Accents, Custom Finish to Match Window & Door System
- Exterior Finish 6 (EF-6): Neolith Sintered Stone Siding Panels, Iron Corten Color
- Window and Door Systems, Black Metal Finish

The first two floors of the mixed-use building are comprised of brick. Brick coursing provides detail at the top of the first and second floors. Warm gray precast stone caps the top of the windows and connects the windows at the second floor providing more detail to further animate the façade. Black metal accents, including the window and door system finishes, the awning and tie rods, and the columns supporting the awning at the street corner, the awnings framing the third-floor windows, and the third-floor terraces railing, are incorporated through all three floors of the building. The exposed underside of the awning is comprised of Delta Millworks Hemlock Soffit Wood. The light, natural wood color contrasts with the black metal accents providing visual interest at the street corner. The natural materials, including the brick, stone, and wood, and muted colors with more matte finishes will complement the surrounding built environment, including the neighboring historic buildings.

During their deliberations at the December 12 meeting, the Commission commented that the light color of the Oko Skin exterior finish proposed for the third-floor penthouse with the initial submittal appeared eye-catchingly bright due to its juxtaposition with the darker brick below. The applicant changed the exterior finish of the third-floor penthouse to Neolith Sintered Stone Siding Panels. These stone siding panels have an Iron Corten color with red and brown tones that complement the brick veneer of the first two floors.

The signage plan is provided on sheet A-315 of the project plans. The signage plan proposes two signs for the restaurant along the Main Street frontage and one sign along the 2<sup>nd</sup> Street frontage. The Main Street frontage includes a wall sign and projecting sign. The 2<sup>nd</sup> Street frontage includes a wall sign for the restaurant. The wall signs along Main and 2<sup>nd</sup> Streets are integrated into the design of the bars for the outdoor dining area. The projecting sign along Main Street is comprised of black steel and painted wood. The black steel and wood of the projecting sign matches the design of the building awning that

wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building.

17.96.060.E.2 – Compatibility of Design	Conformance
Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	N/A

**Finding**: The subject property is not listed as a historical or cultural landmark on the city of Ketchum's Historical Building/Site List, therefore this standard does not apply.

17.96.060.E.3 – Compatibility of Design	Conformance
Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.	N/A
design and use similar material and finishes of the building being added to.	

**Finding**: The corner lot is developed with an existing building that was originally constructed in 1959 and is proposed to be demolished. The public entrance to the restaurant is located along Main Street. This entrance is clearly defined through the awning that projects from the building and extends 5 feet over the sidewalk. The residential entrance is located along Main Street at the northwest corner of the building. The residential entrance is clearly defined by an awning the extends 3 feet over the Main Street sidewalk.

17.96.060.F.1 – Architectural	Conformance
Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.	YES
Finding: The primary building entrances are well defined and provide unobstructed	l access to the

**Finding**: The primary building entrances are well defined and provide unobstructed access to the sidewalk.

17.96.060.F.2 – Architectural	Conformance
The building character shall be clearly defined by use of architectural features.	YES

Finding: 200 North Main celebrates Ketchum's historic and vernacular architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum's early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts. The projecting awning supported by columns at the street corner is another character-defining feature that nods to downtown's historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building's colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street. The design celebrates character-defining features of Ketchum's historic architecture without mimicry or replication. The project includes more contemporary design elements like black metal accents that make the building appear as a product of its own time.

17.96.060.F.3 – Architectural	Conformance
There shall be continuity of materials, colors and signing within the project.	YES

**Finding**: The project uses an integrated palette of high-quality exterior materials, including brick, stone, and slat wall panels. The black steel and wood of the projecting sign matches the design of the building awning that wraps around the street corner. The signage is pedestrian-oriented and integrated into the design of the mixed-use building.

17.96.060.F.4 – Architectural	Conformance
Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.	YES
and material of the principal standing.	

**Finding**: No accessory structures are proposed; however, the project includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2<sup>nd</sup> Streets with an outdoor dining area with custom-built tables, bar top, and seating. Raised steel planters painted black to match the columns supporting the awning are incorporated between the outdoor dining areas tables and bars. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum's dynamic downtown by facilities the social connections that build community.

17.96.060.F.5 – Architectural	Conformance
Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.	YES

**Finding**: Pursuant to KMC §17.96.060.F5, "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." The third-floor setback diagram on sheet A-251 of the project plans (Attachment B) provides average setbacks from the front, side, and rear property lines. The third floor is setback an average of:

- 17'-9" from the front property line along Main Street,
- 5'-11" from the side property line along 2<sup>nd</sup> Street,
- 9'-9" from the rear property line along the alley, and
- 6'-10" from the interior south side property line.

The third floor is setback 20'-3" at southwest corner, 16'-10" at the northwest corner, and 28'-7" at the northeast corner. These third-floor setbacks provide relief from the visual appearance building bulk and mass.

200 North Main neighbors the Casino—a designated historic building listed on the city's historic building/site list. The elevation on sheet A-311 shows the project and the Casino along Main Street. The north elevation on sheet A-314 shows the project's interior side wall with an outline of the Casino building. The ground level and second floor of the building are built to the interior side property forming an uninterrupted brick mass. A majority of this blank, brick wall is covered by the Casino. A mural is proposed on the exposed portion this side wall to add visual interest.

17.96.060.F.6 – Architectural	Conformance
Building(s) shall orient toward their primary street frontage.	YES

**Finding**: Unlike many recent redevelopment projects that consolidate multiple lots downtown, the project is proposed on one single lot that was created by Ketchum's original townsite plat map in 1948. The building orients to the street corner.

17.96.060.F.7 – Architectural	Conformance
Garbage storage areas and satellite receivers shall be screened from public view	YES
and located off alleys.	Condition #6

**Finding**: The site plan on sheet A-103 shows that two different garbage disposal areas are provided on the ground floor of the mixed-use development—one for the residences and another for the restaurant. Providing a separate commercial trash room is necessary for the restaurant operations within the mixed-use building. The restaurant garbage disposal area is accessed off the alleyway and is comprised of two dumpsters and recycling bins. The residential trash and recycling area is located within the rear, northeast corner of the building and is comprised of individual bins.

Garbage disposal in new construction projects within the Community Core are encouraged to utilize a consolidated dumpster so that individual waste bins are not left lingering within the alley right-of-way after service by Clear Creek Disposal. The applicant has submitted a letter from Clear Creek Disposal dated May 11, 2023, which states that, "Special services are available to transport the carts to and from the residential garbage room."

Pursuant to condition of approval #6, the property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must be stored within the residential garbage room at all times except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal's special services are discontinued in the future, the HOA must provide evidence of similar transport services.

No satellite receivers are proposed to be installed for the project.

17.96.060.F.8 – Architectural	Conformance
Building design shall include weather protection which prevents water to drip or	YES
snow to slide on areas where pedestrians gather and circulate or onto adjacent	
properties.	

**Finding**: The second-floor cantilevers above the outdoor dining space at the street corner covering this area and providing weather protection for people dining at the outdoor tables and bars. The awning at the street corner extends 5 feet over the public sidewalk along Main and 2<sup>nd</sup> Streets. The residential entrance is covered by an awning that extends 3 feet over the Main Street sidewalk. These awnings provide weather protection to prevent water from dripping and snow from sliding on areas where pedestrians gather and circulate.

Finding: The new heated, paver sidewalks will connect to the existing concrete sidewalks along Main and 2<sup>nd</sup> streets. The proposed sidewalks connect to heated pathways on the project site providing safe pedestrian access to and around the building.

17.96.060.G.2 – Circulation Design	Conformance
Awnings extending over public sidewalks shall extend five feet or more across	YES
the public sidewalk but shall not extend within two feet of parking or travel	Conditions #7 & #8
lanes within the right-of-way.	

Finding: Dimensions for the awnings are provided on sheet A-321 of the project plans. The awning at the street corner extends 5 feet over the sidewalk along Main and 2<sup>nd</sup> Streets. The awning covering the residential entrance extend 3 feet over the Main Street sidewalk. The awnings do not extend within two feet of parking or travel lanes within the right-of-way.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk payer and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.060.G.3 – Circulation Design	Conformance
Traffic shall flow safely within the project and onto adjacent streets. Traffic	YES
includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall	Condition #7
be given to adequate sight distances and proper signage.	

Finding: Vehicle access to the project is provided along Main Street, 2<sup>nd</sup> Street, and the alley. The parking garage for the penthouse is accessed from the alley. The proposed alley access will allow traffic to flow safely within the project and onto 2<sup>nd</sup> Street. The new sidewalks will connect to walkways on the subject property providing safe pedestrian access to and around the building. As shown on sheet L1.0 of the project plans, a bike rack is provided adjacent to the outdoor dining area along 2<sup>nd</sup> Street.

17.96.060.G.4 – Circulation Design	Conformance
Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest	N/A
intersection of two or more streets, as measured along the property line	
adjacent to the right-of-way. Due to site conditions or current/projected traffic	
levels or speed, the City Engineer may increase the minimum distance	
requirements.	

**Finding**: The subject property is a corner lot with street frontage along Main and 2<sup>nd</sup> Streets. No curb cuts or driveway entrances are proposed along 1<sup>st</sup> Avenue or 4<sup>th</sup> Street. The penthouse's parking garage is accessed from the alley.

17.96.060.G.5 – Circulation Design	Conformance
Unobstructed access shall be provided for emergency vehicles, snowplows,	YES
garbage trucks and similar service vehicles to all necessary locations within the	
proposed project.	

Design Review Application File No. P23-049: 200 North Main Findings of Fact, Conclusions of Law, and Decision Planning and Zoning Commission Meeting of March 12, 2024 **Finding**: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Main Street, 2<sup>nd</sup> Street, and the alley.

17.96.060.H.1 – Snow Storage	Conformance
Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.	N/A

**Finding**: All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.

17.96.060.H.2 – Snow Storage	Conformance
Snow storage areas shall be provided on site.	N/A

**Finding**: The applicant has proposed to snowmelt all parking and pedestrian circulation areas, which is permitted as an alternative to providing on-site snow storage area by Ketchum Municipal Code §17.96.060.H4.

17.96.060.H.3 – Snow Storage	Conformance
A designated snow storage area shall not have any dimension less than five	N/A
feet and shall be a minimum of 25 square feet.	

**Finding**: N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site.

17.96.060.H.4 – Snow Storage	Conformance
In lieu of providing snow storage areas, snowmelt and hauling of snow may be	YES
allowed.	Condition #8

**Finding**: Most of the improved pedestrian circulation areas are covered by the second-floor cantilever and the awnings. The new sidewalks along Main and 2<sup>nd</sup> Street are proposed to include a snowmelt. In addition, the paver pathway along the alley is proposed to be heated. Pursuant to condition of approval #8, the project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.060.I.1 – Landscaping	Conformance
Landscaping is required for all projects.	YES

**Finding**: As shown on sheet L1.1, the applicant has provided landscaping on the ground level and on the third-floor terraces. The ground-level landscaping includes street trees and landscaped steel planters. The proposed landscaping for the third-floor terraces is shown on sheet L5.0 of the project plans.

17.96.060.I.2 – Landscaping	Conformance
Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.	YES

## Finding:

The landscaping will complement the surrounding neighborhood and beautify the streetscape. Raised steel Landscaped planters comprised of steel painted black to match the columns supporting the awning are incorporated between the outdoor dining areas tables and bars. The street trees and integration of landscape planters within the outdoor dining area enhance the quality of the pedestrian experience. The landscape plan shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect.

17.96.060.I.3 – Landscaping	Conformance
All trees, shrubs, grasses and perennials shall be drought tolerant. Native	YES
species are recommended but not required.	

**Finding**: All trees, shrubs, grasses, and perennials shall be drought tolerant. Native species are recommended. The vegetation proposed for the landscaped planters within the outdoor dining area is specified on sheet L1.1 of the project plans. The proposed vegetation includes Terracotta Yarrow, Blanca Peak White Penstemon, and Little Bluestem.

17.96.060.I.4 — Landscaping	Conformance
Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.	YES

**Finding**: The subject property is surrounded by compatible uses within the Community Core Zone. The vegetation will enhance the pedestrian-friendly streetscape.

17.96.060.J.1 – Public Amenities	Conformance
Where sidewalks are required, pedestrian amenities shall be installed.	YES
Amenities may include, but are not limited to, benches and other seating,	Conditions #7 & #8
kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public	
amenities shall receive approval from the Public Works Department prior to	
design review approval from the Commission.	

**Finding**: The design includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2<sup>nd</sup> Streets with an outdoor dining area with custom-built tables, bar top, and seating. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum's dynamic downtown by facilities the social connections that build community.

The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe

Design Review Application File No. P23-049: 200 North Main Findings of Fact, Conclusions of Law, and Decision Planning and Zoning Commission Meeting of March 12, 2024

the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

17.96.060.K.1 – Underground Encroachments	Conformance
Encroachments of below grade structures into required setbacks are subject to	N/A
subsection 17.128.020.K of this title and shall not conflict with any applicable	
easements, existing underground structures, sensitive ecological areas, soil	
stability, drainage, other sections of this Code or other regulating codes such as	
adopted International Code Council Codes, or other site features concerning	
health, safety, and welfare.	
Finding: N/A	

17.96.060.K.2 – Underground Encroachments	Conformance
No below grade structure shall be permitted to encroach into the riparian	N/A
setback.	
Finding: N/A	

## FINDINGS REGARDING DESIGN REVIEW STANDARDS - COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
Street trees, streetlights, street furnishings, and all other street improvements	YES
shall be installed or constructed as determined by the Public Works	Conditions
Department.	#7 & #8

Finding: The placement of all street trees and streetlights requires final review and approval by the City Engineer, the Streets Department, and the City Arborist. The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

17.96.070.A.2 – Streets	Conformance
Street trees with a minimum caliper size of three inches, shall be placed in tree	YES
grates.	Condition #7

**Finding**: The project proposes to provide three street trees along 2<sup>nd</sup> Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city's standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.

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Finding: The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

17.96.070.B.1 - Architectural	Conformance
Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window	YES
openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.	

**Finding**: The front and side facades facing Main and 2<sup>nd</sup> Streets and the rear façade are designed with both solid surfaces and window and door openings. The brick, stone panels, and black steel accents are used across all facades of the building. A

17.96.070.B.2 - Architectural	Conformance
For nonresidential portions of buildings, front building facades and facades	YES
fronting a pedestrian walkway shall be designed with ground floor storefront	
windows and doors with clear transparent glass. Landscaping planters shall be	
incorporated into facades fronting pedestrian walkways.	

**Finding**: The ground-level design at the street corner includes walls of windows that provide views into the restaurant from the sidewalk to create an engaging pedestrian environment. Sheet A-211 of the project plans specifies that 67% of the ground-level wall along Main Street is a window wall and 50% of the ground-level along 2<sup>nd</sup> Street is a window wall. Landscaped planters are incorporated in the design of the outdoor dining area.

Conformance
N/A

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**Finding**: See above analysis for Ketchum Municipal Code §17.96.070.B2. The project provides large windows at the street corner providing view into the restaurant that maximize pedestrian interaction with the building.

17.96.070.B.4 - Architectural	Conformance
Roofing forms and materials shall be compatible with the overall style and	YES
character of the structure. Reflective materials are prohibited.	

**Finding**: In their narrative response to the Design Review criteria, the applicant states, "All proposed roofs, including the awning along Main and Second and the overhang at the Main Street residential entry, are flat. The membrane is non-reflective and, on the roof, will be covered by stone ballast. Blackened steel c-channels or wide-flange fasciae of the awning and overhang contribute substantially to the overall style and character of the building."

17.96.070.B.5 - Architectural	Conformance
All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.	N/A
Finding: The project does not include pitched roofs.	

17.96.070.B.6 - Architectural	Conformance
Roof overhangs shall not extend more than three feet over a public sidewalk.	YES
Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.	Conditions #7 & #8

**Finding**: Dimensions for the awnings are provided on sheet A-321 of the project plans. The awning at the street corner extends 5 feet over the sidewalk along Main and 2<sup>nd</sup> Streets. The awning covering the residential entrance extend 3 feet over the Main Street sidewalk. The awnings do not extend within two feet of parking or travel lanes within the right-of-way.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.

17.96.070.B.7 - Architectural	Conformance
Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.	N/A
Finding: The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
Trash disposal areas and shipping and receiving areas shall be located within	YES
parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.	Condition #6

**Finding**: The site plan on sheet A-103 shows that two different garbage disposal areas are provided on the ground floor of the mixed-use development—one for the residences and another for the restaurant. Providing a separate commercial trash room is necessary for the restaurant operations within the mixed-use building. The restaurant garbage disposal area is accessed off the alleyway and is comprised of two dumpsters and recycling bins. The residential trash and recycling area is located within the rear, northeast corner of the building and is comprised of individual bins.

Garbage disposal in new construction projects within the Community Core are encouraged to utilize a consolidated dumpster so that individual waste bins are not left lingering within the alley right-of-way after service by Clear Creek Disposal. The applicant has submitted a letter from Clear Creek Disposal dated May 11, 2023, which states that, "Special services are available to transport the carts to and from the residential garbage room."

Pursuant to condition of approval #6, the property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must be stored within the residential garbage room at all times except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal's special services are discontinued in the future, the HOA must provide evidence of similar transport services.

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
Roof and ground mounted mechanical and electrical equipment shall be fully	YES
screened from public view. Screening shall be compatible with the overall	
building design.	

Finding: The site plan on sheet A-103 of the project plans shows that the new transformer is proposed to be installed at the rear of the building in the southeast corner of the project site along 2<sup>nd</sup> Street and the alley. The site plan on sheet A-103 also shows the location of the electrical and gas meters located within alcoves along the rear façade along the alley. The rear (east) elevation on sheet A-313 of the project plans shows the electric and gas meters within the alcoves. The transformer screening is shown on the rear (east) building elevation on sheet A-313 and the 2<sup>nd</sup> Street (south) elevation on sheet A-312. The transformer will be screened with perforated steel panels in a custom finish to match the window and door system (Exterior Finish 5, Sheet A-301).

The roof mounted mechanical equipment consists of ventilation systems for the restaurant and air-conditioning systems for the third floor. The roof-mounted mechanical equipment will be fully screened by black perforated steel. The black steel matches the black accents and window/door systems of the mixed-use building.

Conformance
YES

**Finding**: The existing site survey on sheet C1.10 shows four existing trees bordering the north interior side property line that are proposed to be removed. These trees will be replaced with three street trees along  $2^{nd}$  Street and one street tree along Main Street.

17.96.070.D.2 - Landscaping	Conformance
Trees that are placed within a courtyard, plaza, or pedestrian walkway shall	YES
be placed within tree wells that are covered by tree grates.	Condition #7

**Finding**: The project proposes to provide three street trees along 2<sup>nd</sup> Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city's standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.

17.96.070.D.3 - Landscaping	Conformance
The City arborist shall approve all parking lot and replacement trees.	YES
	Condition #7

**Finding**: The project proposes to provide three street trees along 2<sup>nd</sup> Street and one street tree along Main Street. The site plan on sheet L1.0 notes that the street trees will be installed in tree wells and grates per the city's standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements, including the street trees, prior to issuance of a building permit for the project.

17.96.070.E.1 – Surface Parking Lots	Conformance
Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.	N/A
Finding: N/A. No surface parking lot is proposed.	

17.96.070.E.2 – Surface Parking Lots	Conformance
Surface parking lots shall incorporate at least one tree and one additional tree	N/A
per ten on site parking spaces. Trees shall be planted in landscaped planters,	
tree wells and/or diamond shaped planter boxes located between parking rows.	

Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.

**Finding**: N/A. The project does not include a surface parking lot. On-site parking is provided within the enclosed garage accessed from alley.

17.96.070.E.3 – Surface Parking Lots	Conformance
Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.	N/A
Finding: N/A as no surface parking lots are proposed for the project.	

17.96.070.F.1 – Bicycle Parking	Conformance
One bicycle rack, able to accommodate at least two bicycles, shall be provided	YES
for every four parking spaces as required by the proposed use. At a minimum,	
one bicycle rack shall be required per development.	
<b>Finding:</b> One hike rack is required for the proposed development. The project's parking demand is two	

**Finding**: One bike rack is required for the proposed development. The project's parking demand is two off-street parking spaces for the penthouse. One bike rack is required for the development. The project proposes to install one bike rack, accommodating two bicycles, adjacent to the outdoor dining area next to the sidewalk along 2<sup>nd</sup> Street.

17.96.070.F.2 – Bicycle Parking	Conformance
When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.	YES
Finding: One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
Bicycle racks shall be clearly visible from the building entrance they serve and not	YES
mounted less than 50 feet from said entrance or as close as the nearest non-ADA	
parking space, whichever is closest. Bicycle racks shall be located to achieve	
unobstructed access from the public right-of-way and not in areas requiring	
access via stairways or other major obstacles.	
Finding: The project proposes to install one bike rack, accommodating two bicycles, adjacent to the	
outdoor dining area next to the sidewalk along 2 <sup>nd</sup> Street.	

## **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and

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regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.

- 2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
- 3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
- 4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
- 5. The 200 North Main Design Review Application File No. P22-049 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

#### **DECISION**

**THEREFORE,** the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P23-049 this Tuesday, February 13, 2024 subject to the following conditions of approval.

#### **CONDITIONS OF APPROVAL**

- 1. The Design Review approval is subject to Conditional Use Permit Application File No. P23-049A. All associated conditions of approval shall apply to the project.
- 2. This Design Review approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
- 3. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.
- 4. The applicant shall submit a proposal for the mural proposed on the exposed portion of the north side wall for review and approval by the Planning & Building Department prior to building permit issuance. The design of the mural shall add visual interest to the north side wall and enhance the public outdoor gathering space adjacent to the Casino building.
- 5. Each individual apartment shall have a dedicated detached storage unit as shown on sheet A-221 of Exhibit A.
- 6. The property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal's special services are discontinued in the future, the HOA must provide evidence of similar transport services.

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- 7. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project.
- 8. The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.
- 9. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
- 10. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
- 11. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

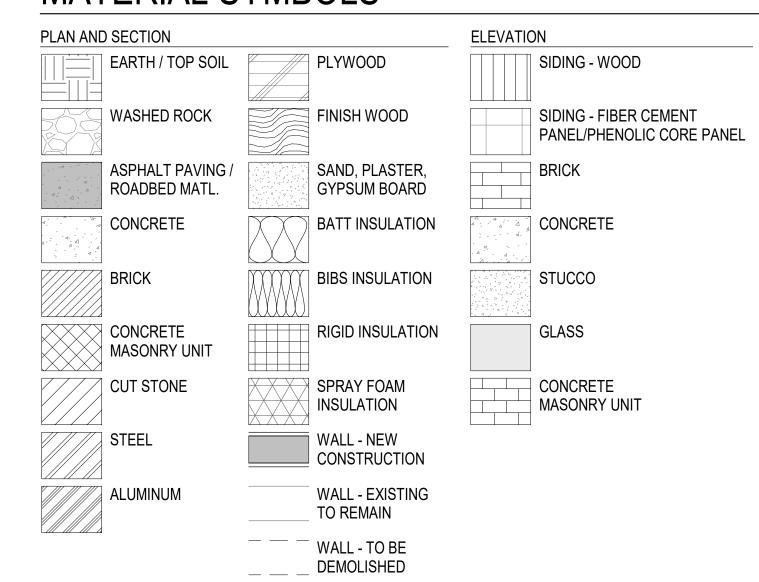
Findings of Fact adopted this 12 day of March 2024.

Neil Morrow, Chair City of Ketchum Planning and Zoning Commission

# Exhibit A: 200 North Main Project Plans



# MATERIAL SYMBOLS



# PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 720-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smithman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 48 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judsen Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judsen.williams@kpff.com		

# PROJECT DATA

STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.

JURISDICTIONS:

CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

# INDEX OF DRAWINGS

SHEET NUMBER SHEET NAME

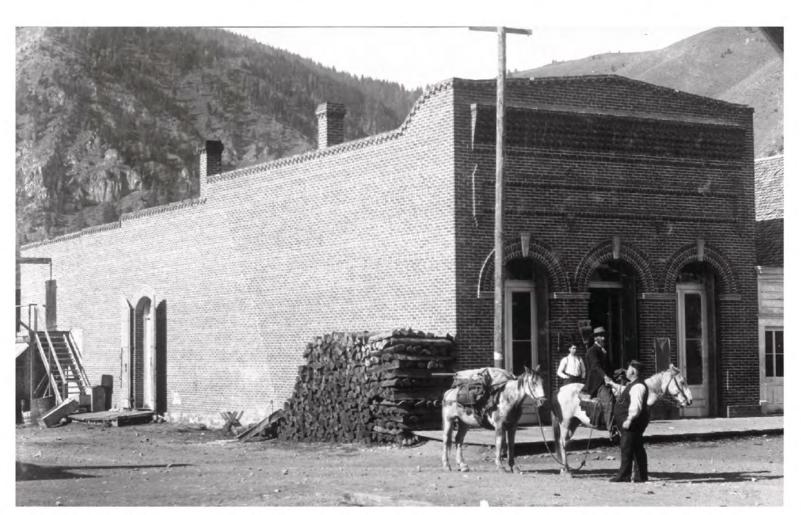
	SHEET NAME
DR-1	DESIGN REVIEW COVER
DR-2	KETCHUM HISTORICAL PHOTOS
DR-3	VICINITY MAP
C0.10	CIVIL ENGINEERING COVER
C0.20	EXISTING SITE CONDITIONS
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.02	DETAIL SHEET
C1.10	DEMOLITION AND SITE GEOMETRY PLAN
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN
L1.0	SITE PLAN
L1.1	OUTDOOR DINING
L2.0	OUTDOOR DINING DESIGN FEATURE HEIGHTS
L3.0	OUTDOOR DINING MATERIALS + ELEVATIONS
L4.0	SPECIFICATIONS AND CUT SHEETS
L5.0	THIRD FLOOR TERRACES
L5.1	WEST TERRACE TURD FLOOD TERRACES MATERIALS LELEVATIONS
L6.0	THIRD FLOOR TERRACES - MATERIALS + ELEVATIONS
L7.0	SPECIFICATIONS AND CUT SHEETS
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A-201	PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATION
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A-313	PROPOSED BUILDING ELEVATIONS - EAST
A-314	PROPOSED BUILDING ELEVATIONS - NORTH
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A-352	ORIGINAL DESIGN WEST PERSPECTIVE
A-353	PROPOSED REVISION WEST PERSPECTIVE
A-354	EXISTING WEST PERSPECTIVE
A-355	PROPOSED REVISION WEST PERSPECTIVE
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A-358	PROPOSED REVISION SOUTH PERSPECTIVE
A-359	EXISTING SOUTH PERSPECTIVE
A-360	PROPOSED REVISION SOUTH PERSPECTIVE
A-361	EXISTING NORTH PERSPECTIVE
A-362	PROPOSED REVISION NORTH PERSPECTIVE
A-363	PROPOSED REVISION NORTH PERSPECTIVE
A-364	EXISTING EAST PERSPECTIVE
A-365	PROPOSED REVISION EAST PERSPECTIVE
A-366	EXISTING MAIN STREET PERSPECTIVE
A-367	ORIGINAL DESIGN MAIN STREET PERSPECTIVE
A-368	PROPOSED REVISION MAIN STREET PERSPECTIVE
DESIGN REVIEW	SHEET TOTAL: 60

# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340



# PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM

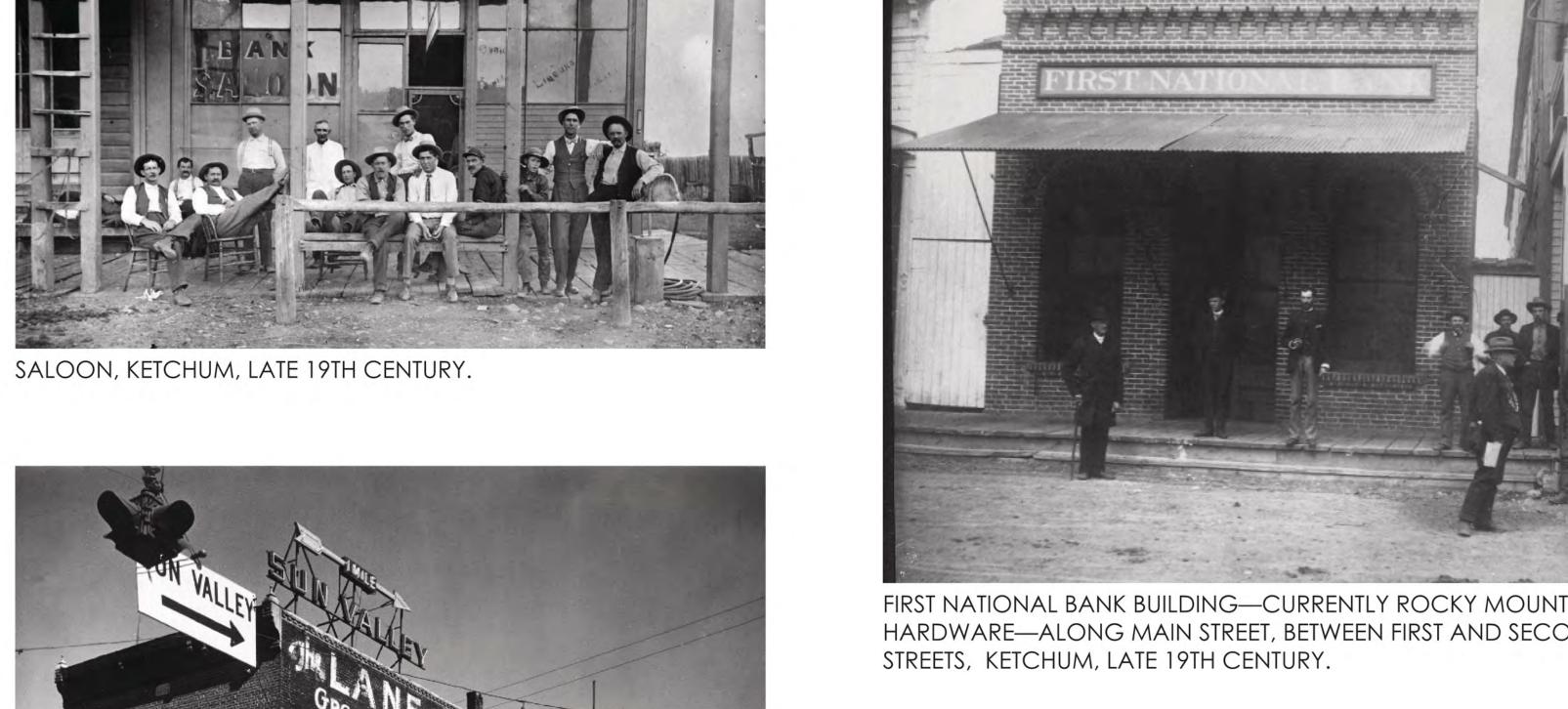


LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING— CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SEC-OND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.





FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND



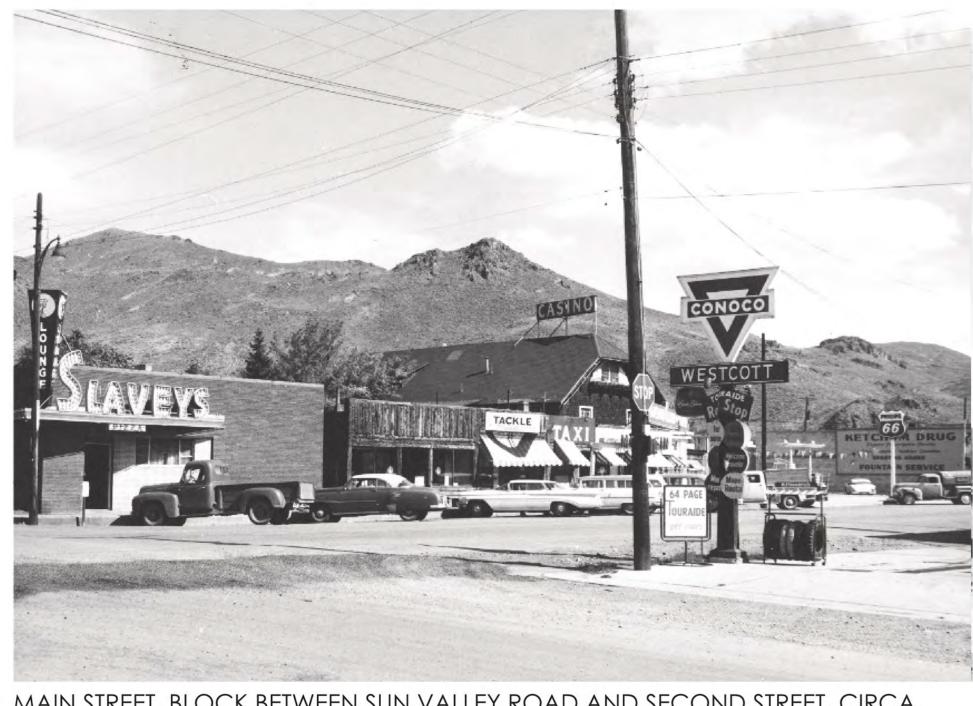
VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



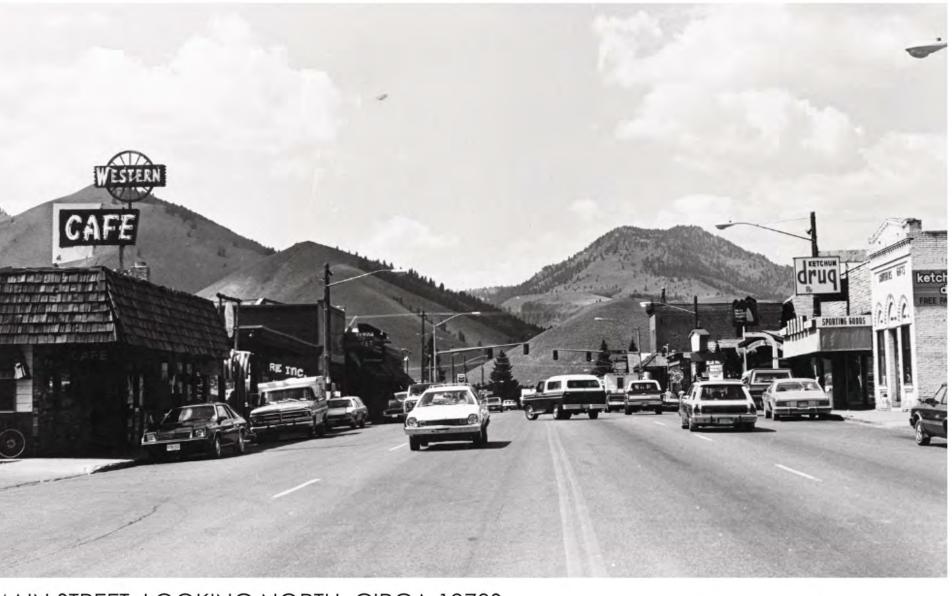
MAIN STREET, LOOKING NORTH, MID-1930S.



VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.



200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.



VICINITY MAP

S C A L E: 1" = 100'-0

# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

> DESIGN REVIEW 2 1/17/2024

# 200 N. MAIN STREET

# KETCHUM, IDAHO

MAY 2023

#### **CONSTRUCTION NOTES**

- 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC ON SITE DURING CONSTRUCTION.
- 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- 3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT
- 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- 5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- 6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- 7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- 8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAT 0.25%.
- 9. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- 10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- 11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.

MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1.C.

- 12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD
- 13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- 14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91
- 15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- 16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 18. ALL CONCRETE FORM WORK SHALL SHALL CONFORM TO ISPWC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI
- 19. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED
- TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- 20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- 21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



# SHEET INDEX

SHEET# DESCRIPTION
CO.10 COVER SHEET

C0.20 EXISTING SITE CONDITIONS

C1.00 C1.02 DETAIL SHEETS

C1.00-C1.02 DETAIL SHEETS

C1.10 DEMOLITION AND SITE GEOMETRY
C1.20 SITE GRADING, DRAINAGE, AND UTILITY PLAN

CHESSIONAL CARRIED CHILLIANS OF JOHN SMITHMAN

- BENCHMARK HOUSE ENGINEERING HOUSE HOUSE

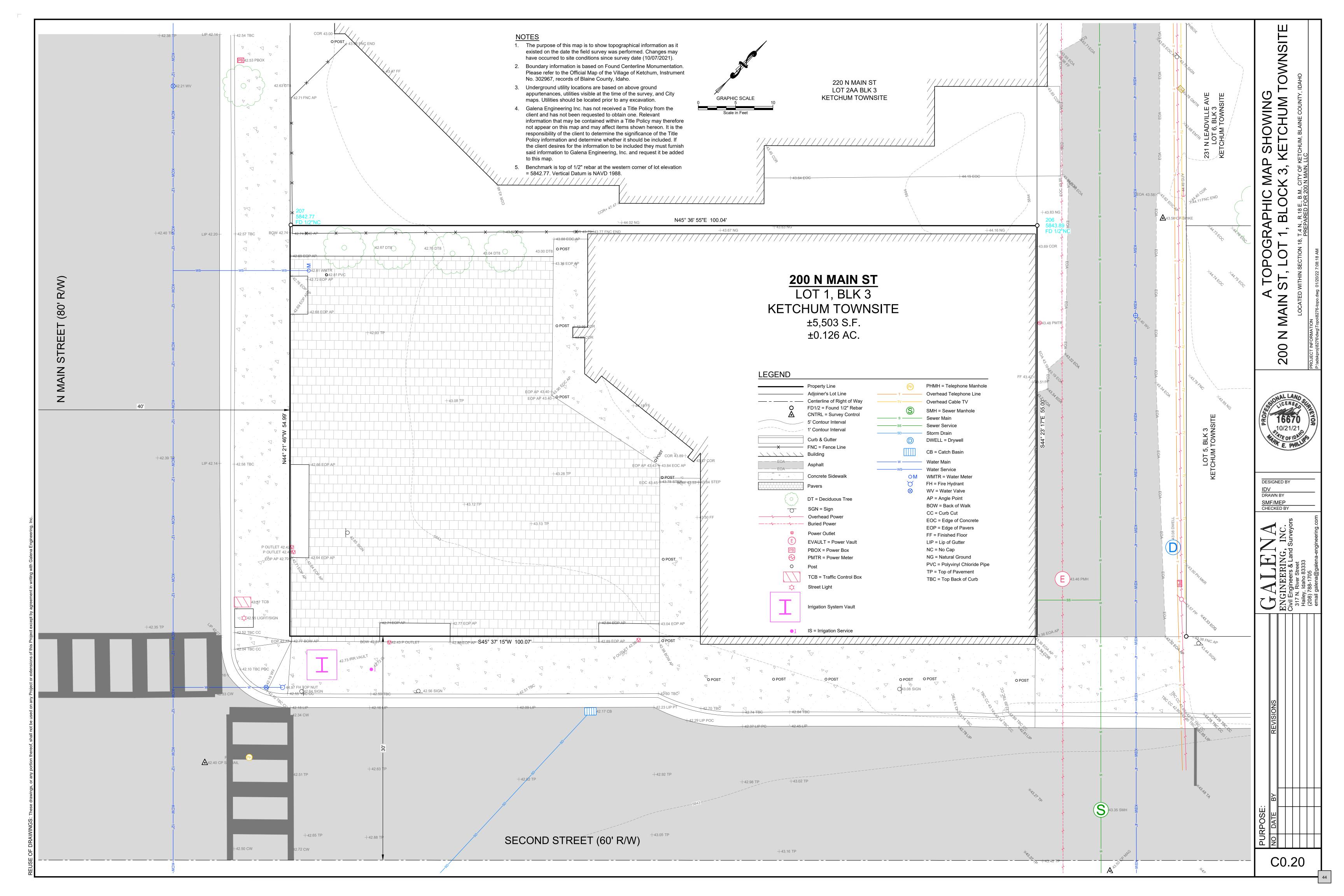
23-09-19) GA

POSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

DATE BY REVISIONS

A COMMENT OF THE PROPERTY (2023-09-19)

C0.10

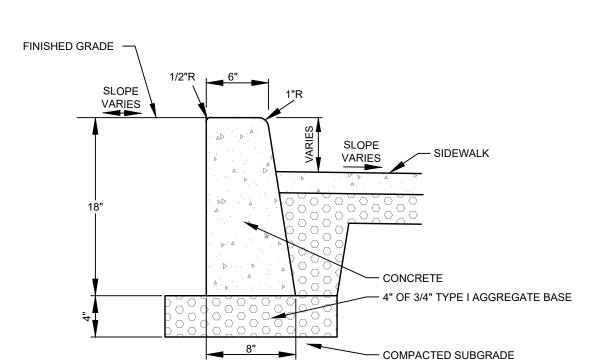


AGGREGATE BASE COURSE. 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC

STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

TYPICAL ASPHALT SECTION



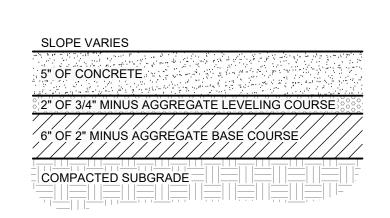
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE. 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800

- AGGREGATES AND ASPHALT. 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT,
- STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS
- 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).



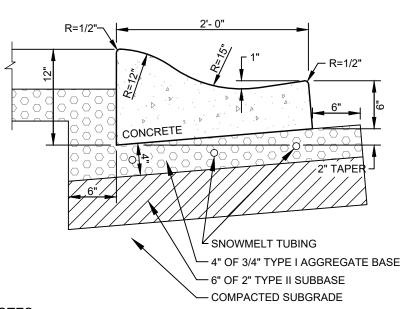
C1.00 CONCRETE VERTICAL CURB

N.T.S.



- 1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
- 2. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE  $\frac{1}{2}$ " EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
- 3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY  $\frac{1}{8}$ " WIDE,  $\frac{3}{4}$ " IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
- 4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
- 5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB. 6. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- 7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

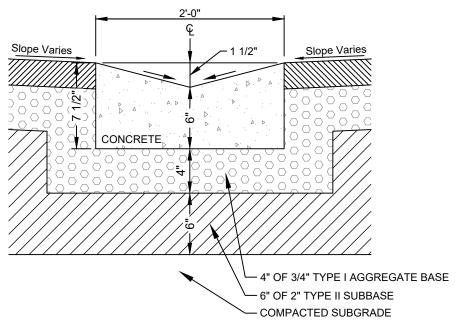




1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.

- 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
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- 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS
- 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING
- (8-FEET W/SIDEWALK). SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.



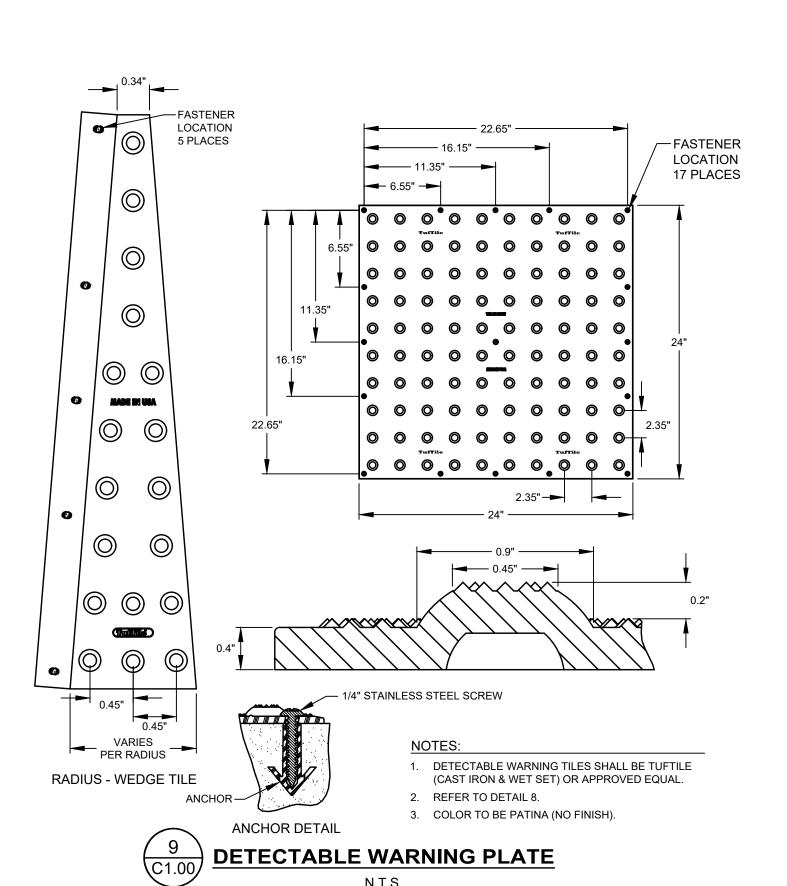


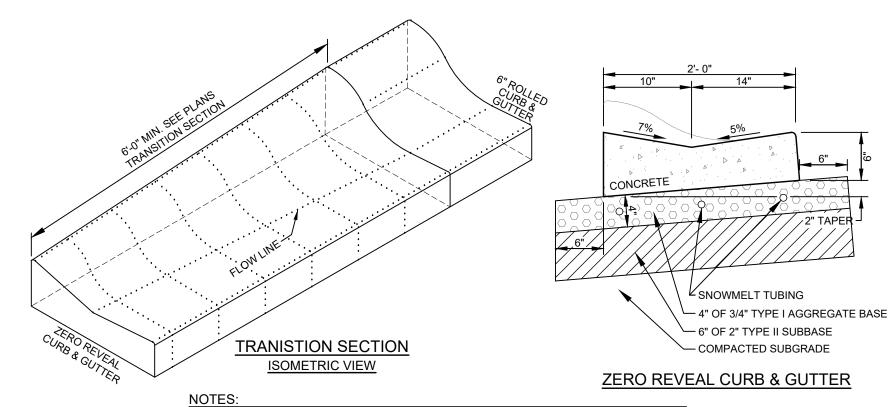
1. SUBBASE CAN BE 2" TYPE II OR  $\frac{3}{4}$ " TYPE I CRUSHED AGGREGATE BASE COURSE.

- 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS
- 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING
- (8-FEET W/SIDEWALK).



5 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.





- 1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
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- 6. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

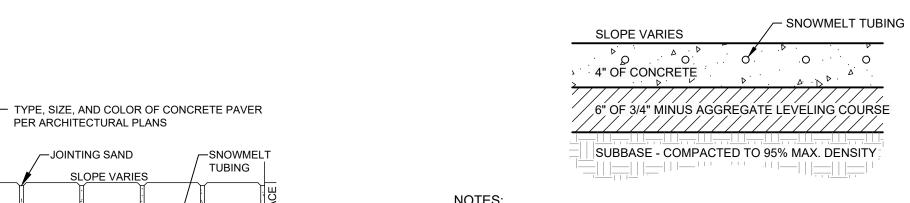
TYPICAL HEATED ROLLED CURB TRANSITION DETAIL

2" OF CLEAN SAND

8 4" OF 3/4" MINUS AGGREGATE LEVELING COURSE

**HEATED PAVER DETAIL** 

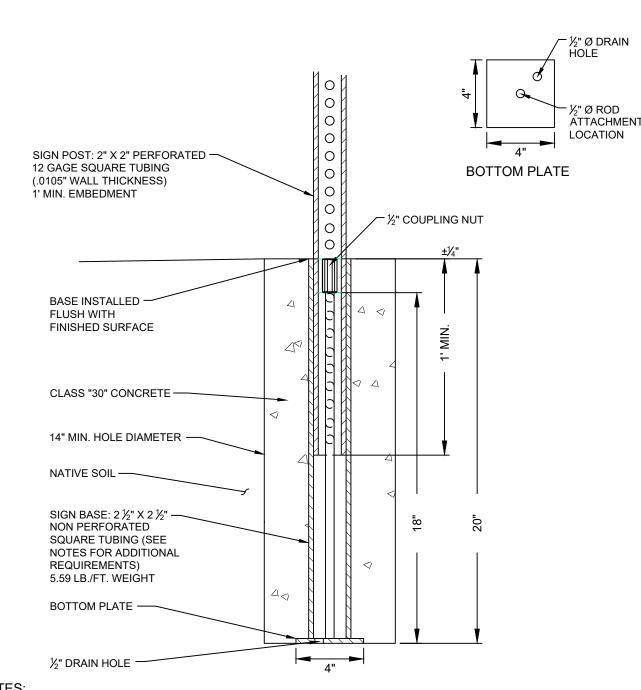
COMPACTED SUBGRADE



1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.

- CONTINUOUS PLACEMENT PREFERRED. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
- 3. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
- 4. MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPWC SPECIFICATIONS.
- 5. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.





1. BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.

2. ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION

- OR GROUTED INTO SOLID ROCK. 3. ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
- 4. SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.

5. CITY TO PROVIDE BASES.

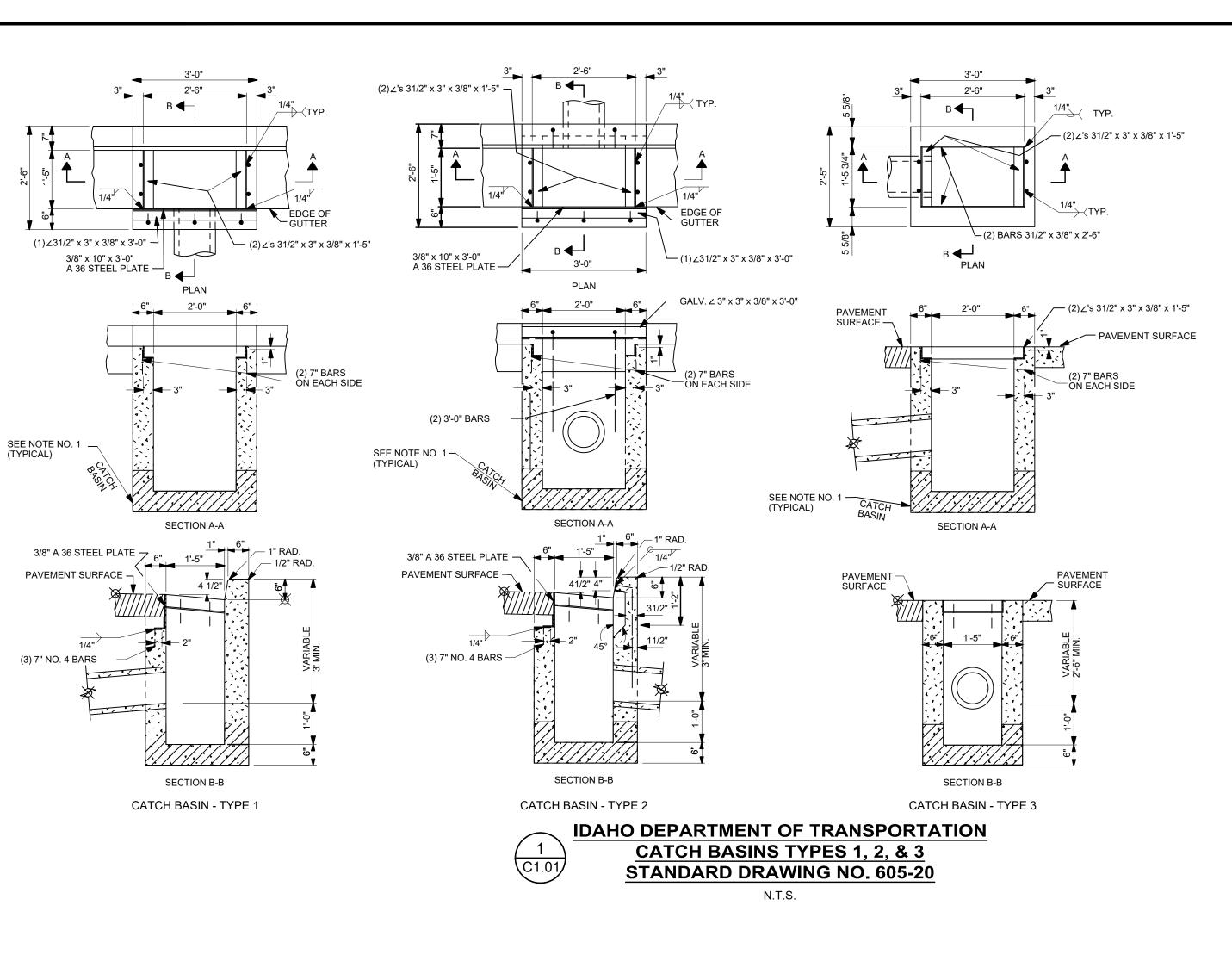
SIGN BASE MATERIAL & DIMENSION REQUIREMENTS 2 ½" OUTSIDE TUBE STEEL (20" LENGTH) 2 1/8" INSIDE TUBE STEEL INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS ½" COLD ROLLED ROD (18" LENGTH) 2" COUPLING NUTS BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS 4" X 4" X ¼" STEEL STRAP

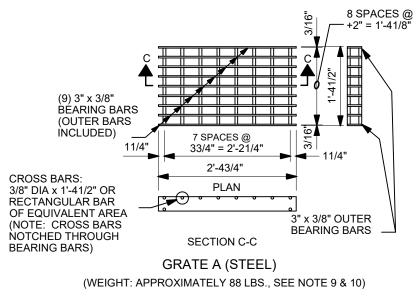


DESIGNED BY: RAWN BY:

CHECKED BY: MS

C1.00





NOTES

1. PATTERNS USED IN DRAWING: INLET SECTIONS: CATCH BASIN BOTTOMS: PAVEMENT:

12. NOT TO SCALE.

2. INLETS AND CATCH BASINS MAY BE EITHER PRECAST OR CAST-IN-PLACE. PRECAST UNITS SHALL MEET THE REQUIREMENTS OF ASTM C 913. (PRIOR APPROVAL OF SHOP DRAWINGS WILL BE REQUIRED ON MODIFIED UNITS.) 3. A 1" SIDE DRAFT IS ALLOWED FOR FORM REMOVAL. 4. CAST-IN-PLACE INLETS AND CATCH BASINS SHALL CONFORM TO SECTION

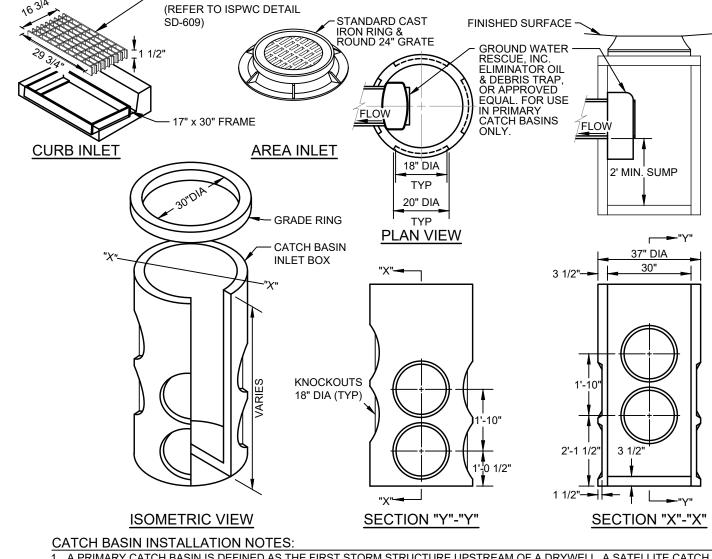
609 - MINOR STRUCTURES OF THE CURRENT ITD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. 5. THE GRADE LINE OF THE TOP INSIDE OF ANY PIPE SHALL ENTER AT A POINT NO LOWER THAN THE TOP INSIDE OF THE OUTLET PIPE. 6. PIPES CAN ENTER OR LEAVE THE BOX IN ANY DIRECTION. ALL CONNEC-

7. STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OF PREFAB-RICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLE/GRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIRE-

TIONS AND BROKEN AREAS SHALL BE GROUTED SMOOTH.

MENTS OF ASTM A 36. 8. ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES. 9. GRAY IRON CAST TO THE DIMENSIONS GIVEN FOR THE STEEL GRATES MAY BE USED. THE CASTINGS SHALL CONFORM TO AASHTO M306 CLASS 35B GRAY IRON CASTINGS.

10. INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE THE GRATE SHALL BE TRUE AND FLUSH. 11. GRATE B WILL BE USED ONLY WHEN SPECIFIED.

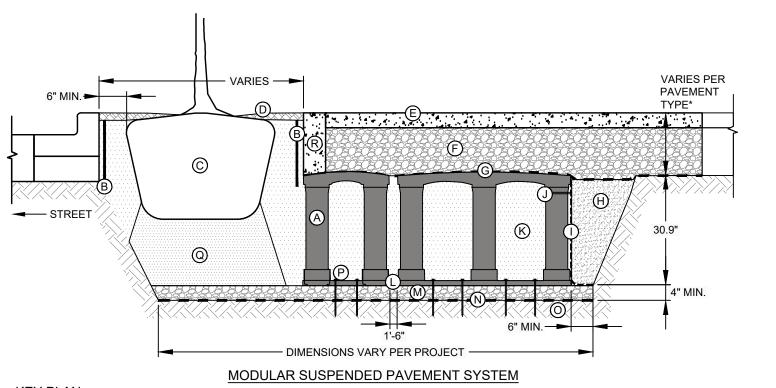


- TRAFFIC RATED GRATE STD.

. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.

- 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS
- 3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE
- 4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- 5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**∖30" DIAMETER CATCH BASIN** N.T.S.



\*MINIMUM PAVEMENT PROFILE

4" CONCRETE

3" PAVER .

2.6" PAVER .

OPTIONS TO MEET H-20 LOADING

+ AGGREGATE

BASE COURSE

. + 4" AGGREGATE

+ 12" AGGREGATE

+ 12" AGGREGATE

. + 5" CONCRETE

A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL. B. DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY

THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT. C. TREE ROOT PACKAGE, SIZE VARIES

E. SURFACE TREATMENT, PER PROJECT F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT

D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS

G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK H. BACKFILL, PER PROJECT SPECIFICATIONS

PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE

K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR L. SILVA CELL BASE SLOPE, 10% MAX

M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE

O. SUBGRADE, COMPACTED TO 95% PROCTOR P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION

Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR

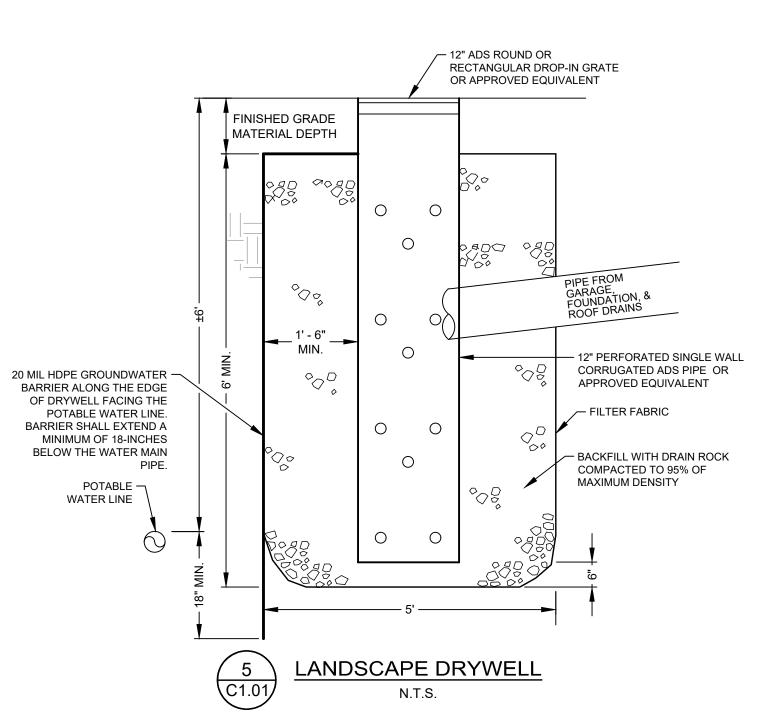
R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

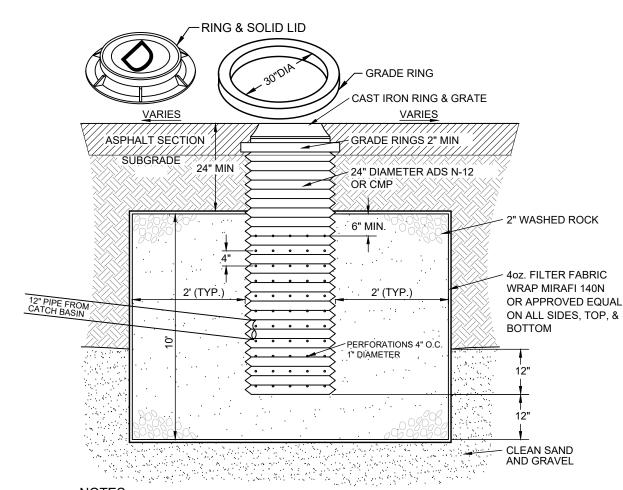
GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT

### **SECTION VIEW**

1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.

2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



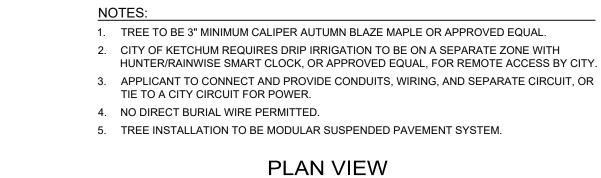


1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.

2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.

3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM. DRYWELL DETAIL (6'Ø)



- CONCRETE CURB -

AND GUTTER

PAVED ROADWAY

- ELECTRICAL BOLLARD PROVIDED BY CITY.

APPLICANT TO PROVIDE OUTLET AND OUTLET COVER.

- 2" PVC SCHEDULE 80

ELECTRICAL CONDUIT

- TREE GRATE, NEENAH

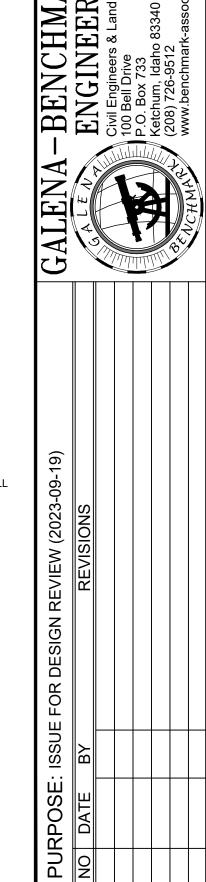
R-8704 WITH 12" DIAMETER

<sup>2</sup>CONCRÊTE SIDEWALK

OPENING OR APPROVED

- DRIP IRRIGATION

TREE WELL DETAILS



DESIGNED BY: RAWN BY: CHECKED BY: MS

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WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE

SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE

THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY

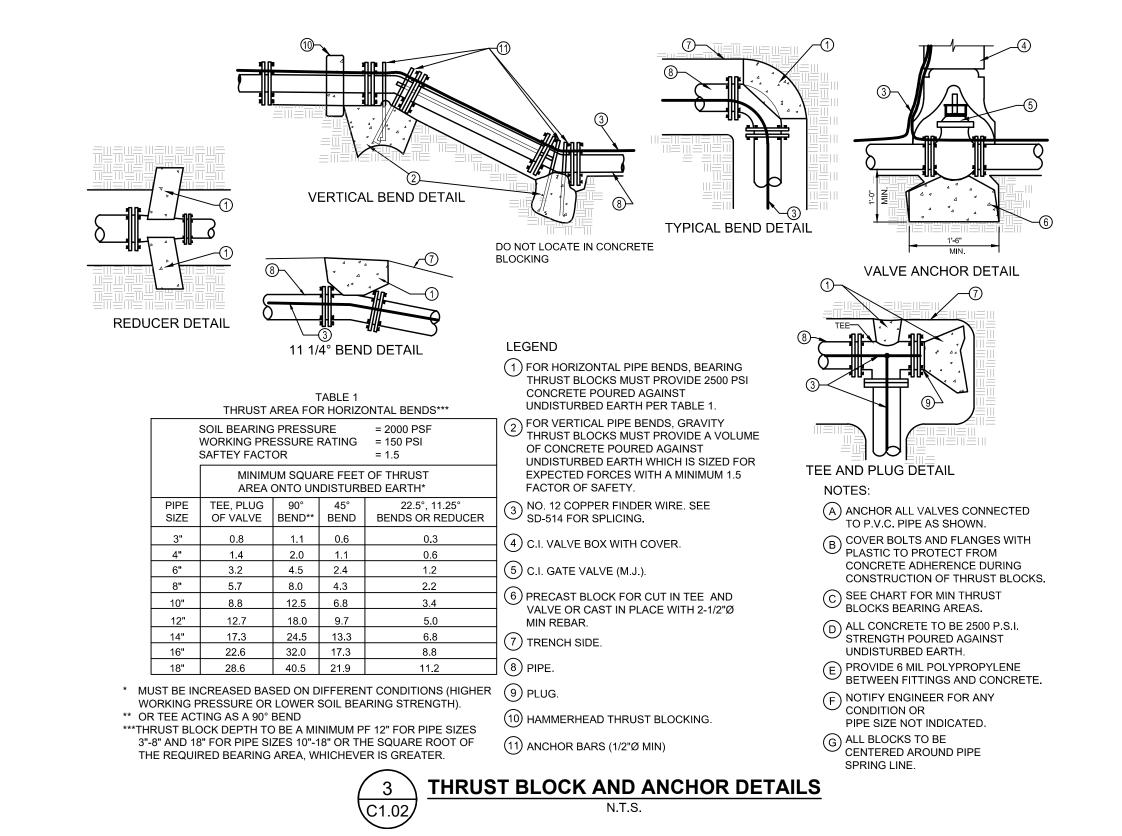
**TYPICAL TRENCH SECTION** 

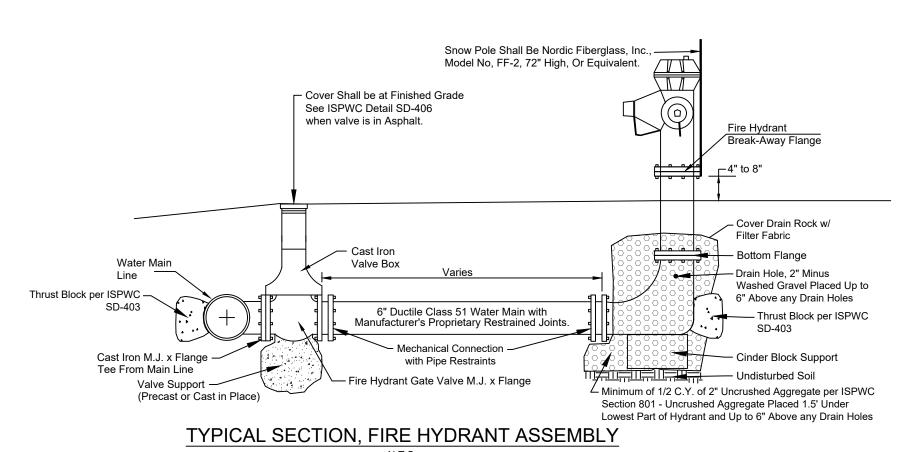
BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX

MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES VERTICAL SEPARATION REQUIREMENTS WATER LINE A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" B) ONE FULL. UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. **NON-POTABLE** ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE WATER LINE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF WATER LINE C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING. SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ZONE 3: ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING. HORIZONTAL SEPARATION REQUIREMENTS ZONE 1: A) NO SPECIAL REQUIREMENTS. ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. 6 FT.\* C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ. ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER. SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL ZONE 2 ZONE 3 ZONE 1 SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ. .\* DISTANCES ARE HORIZONTAL POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION





1. Hydrants shall have a 6' foot bury. 2. Hydrants shall be Waterous Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following: - 2 ea.. 2-1/2" NST threaded nozzles - Traffic "breakaway" design - 1 ea.. 4-1/2" NST threaded nozzles - Dry Barrel type 6" barrel - UL Listed - Main valve size 5-1/4" - Red in color

3. Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe. 4. City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and

at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants. 5. Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal). 6. Valve Box shall be Tyler 664A or approved equal. 7. Hydrant break away flange elevation equal to street centerline or 4" to 8" above finished grade as approved.

8. Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant. 9. The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department. 10. Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks

HYDRANT VEHICULAR PROTECTION

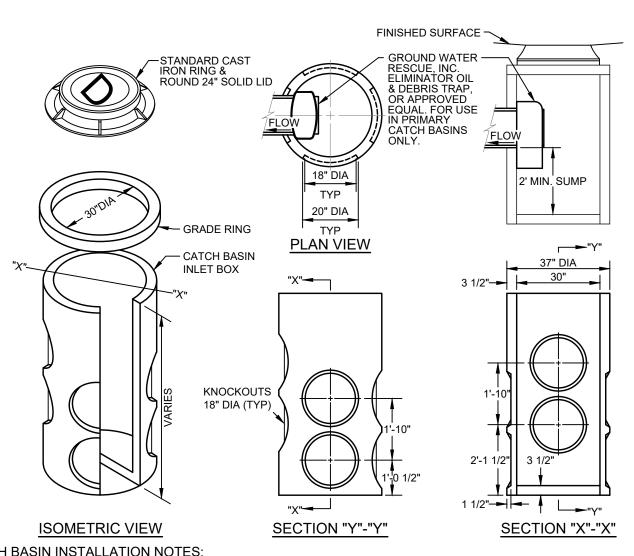
Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum distance required for proper

When they are installed, they shall be: - Constructed of steel not less than (4) inches in diameter and concrete

- Spaced not more than four (4) feet between posts on center. - Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter. - Set with the top of the posts not less than (3) feet above the ground.

The post shall be painted bright red, reflective markings are - Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.





**CATCH BASIN INSTALLATION NOTES:** 1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN. 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE

CATCH BASINS. 3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE

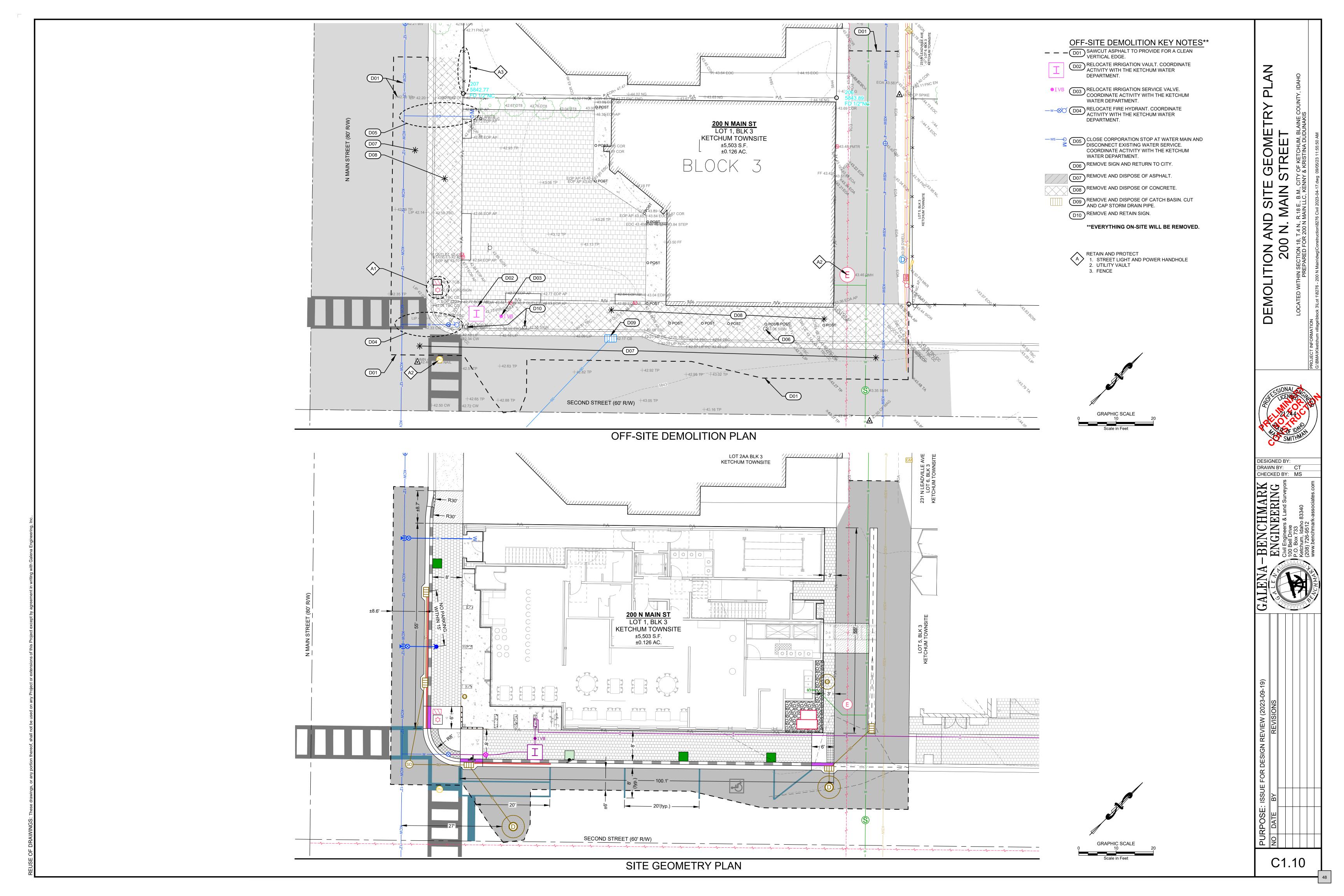
4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING. 5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

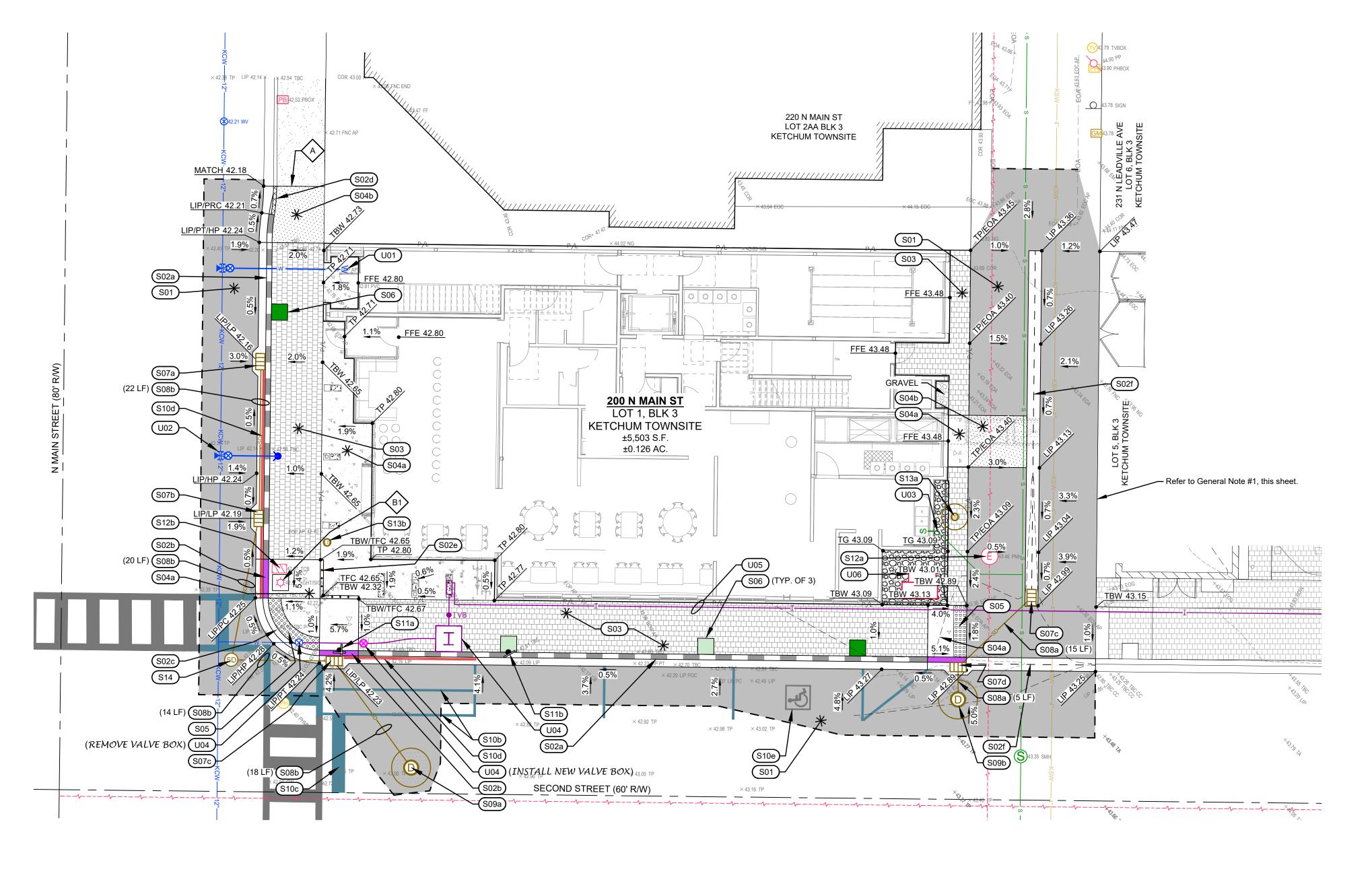
**30" DIAMETER STORM DRAIN MANHOLE** 

C1.02

DESIGNED BY: RAWN BY:

CHECKED BY: MS





#### W-V- ≤ U01 INSTALL 6" WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE W/ THRUST BLOCKS SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. INSTALL FIRE HYDRANT WITH MOUNTAIN EXTENSION. 12"x6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE W/ THRUST BLOCKS ±9 LF OF 6" PVC C-900 WATER MAIN PIPE SEE DETAILS 1/C1.02 FOR TRENCHING, 3 / C1.02 FOR THRUST BLOCKING, & 4 / C1.02 FOR FIRE HYDRANT COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. σ— U03 UTILIZE EXISTING 4" SEWER SERVICE. INSTALL IRRIGATION VAULT (MATCH EXISTING RECTANGULAR VAULT REMOVED AT DEMOLITION). - CONNECT TO EXISTING 6" WATER LINE THAT SUPPLIED THE REMOVED FIRE HYDRANT (SEE DEMOLITION PLAN). ENSURE VALVE IS TURNED ON AND REMOVE ORIGINAL VALVE BOX. INSTALL NEW 6" GATE IN FLAT AREA OF PAVER SIDEWALK. - IRRIGATION VALVE BOX - BACKFLOW PREVENTION DEVICE. REFER TO LANDSCAPE PLANS FOR PLACEMENT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. RIM = 5842.68\_\_\_\_\_\_ INSTALL IRRIGATION LINE (SIZE AND FINAL LOCATION BY THE CITY OF KETCHUM). COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. U06 INSTALL POWER TRANSFORMER. SEE ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

UTILITY IMPROVEMENT KEY NOTES

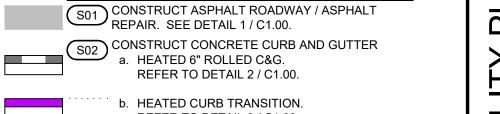
#### **ABBREVIATIONS:**

TYP = TYPICAL

EOA = EDGE OF ASPHALT FF = FINISHED FLOOR FFE = FINISHED FLOOR AT ENTRY FG = FINISHED GRADE GFFE = GARAGE FINISHED FLOOR AT ENTRY HP = HIGH POINT I.E. = INVERT ELEVATION LF = LINEAL FEET LIP = LIP OF GUTTER LP = LOW POINT MAX = MAXIMUMMIN = MINIMUM PC = POINT OF CURVATURE PRC = POINT OF REVERSE CURB PT = POINT OF TANGENT TBW = TOP BACK OF WALK TFC = TOP FACE OF CURB TG = TOP OF GRAVEL

### **GENERAL NOTES:**

- 1. CONSTRUCTION OF ALLEY RIGHT-OF-WAY IMPROVEMENTS SHALL BE COORDINATED WITH THE LEADVILLE TRADING PROJECT EAST OF THE ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
- 2. CONTRACTOR SHALL COORDINATE WITH THE CITY OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG MAIN STREET.



b. HEATED CURB TRANSITION. REFER TO DETAIL 3 / C1.00.

SITE IMPROVEMENT KEY NOTES

c. HEATED ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.

XXXXXX d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).

e. VERTICAL CURB. REFER TO DETAIL 4 / C1.00.

f. 24" WIDE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00. S03 CONSTRUCT HEATED PAVER SIDEWALK/PATIO. WIDTH AS SHOWN HEREON.

CONSTRUCT CONCRETE SIDEWALK/SECTION. WIDTH AS SHOWN HEREON. a. CONCRETE SIDEWALK/SECTION #1 (HEATED).

REFER TO DETAIL 6 / C1.00.

REFER TO DETAIL 7 / C1.00. b. CONCRETE SIDEWALK/SECTION #2. REFER TO DETAIL 8 / C1.00. S05 INSTALL CITY OF KETCHUM APPROVED CAST IRON

INSERT. REFER TO DETAIL 9 / C1.00. S06 INSTALL TREE AND TREE WELL AS SHOWN HEREON. REFER TO DETAIL 4 / C1.01.

TRUNCATED DOME DETECTABLE WARNING

INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12". ITD STANDARD CATCH BASIN. REFER TO DETAIL 1 / C1.01. **a.** RIM = 5841.96

I.E.(OUT) = 5838.20

I.E.(OUT) = 5838.69**b.** RIM = 5841.91 I.E.(IN) = 5838.30

30" DIAMETER CATCH BASIN. REFER TO DETAIL 2 / C1.01. c. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.79

I.E.(OUT) = 5839.79 d. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.69I.E.(IN) = 5839.49

- S08 INSTALL STORM DRAIN: a. 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING AND DETAIL 2 / C1.02

I.E.(OUT) = 5839.39

LINE SEPARATION. b. 12" PVC WATER QUALITY PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1

FOR POTABLE AND NON-POTABLE WATER

/ C1.02 FOR TRENCHING S09 DRYWELL: a. INSTALL NEW DRYWELL REFER TO DETAIL 3 / C1.01.

RIM = 5842.88

I.E.(IN) = 5837.50b. ASSUMED "EXISTING" DRYWELL PER PROJECT EAST OF ALLEY, OR ELSE NEW DRYWELL PER THIS PROJECT. RIM = 5842.87I.E.(IN) = 5839.39

S10 INSTALL ROAD STRIPING / PAINT a. WHITE CROSSWALK STRIPING (12" WIDE). b. YELLOW ASPHALT PARKING STRIPING

> (4" WIDE). MATCH CITY PATTERNS. c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).

d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.

e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.

RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00 FOR SIGN BASE DETAIL.

a. STOP & STREET SIGN b. REGULATORY PARKING RESET UTILITY BOX LID ELEVATION.

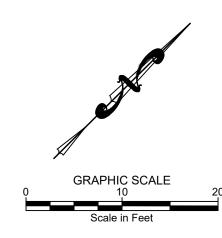
a. POWER VAULT LID ORIGINAL RIM = 5843.46 NEW RIM = 5843.07 b. POWER HANDHOLE ORIGINAL RIM = 5842.57

NEW RIM = 5842.44 S13 INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE DETAIL 5 / C1.01. a. RIM = 5843.16

b. RIM = 5842.66 S14 INSTALL 30" CONCRETE STORM DRAIN MANHOLE. REFER TO DETAIL 5 / C1.02.

RIM = 5842.38MATCH EXISTING LINES AND GRADES



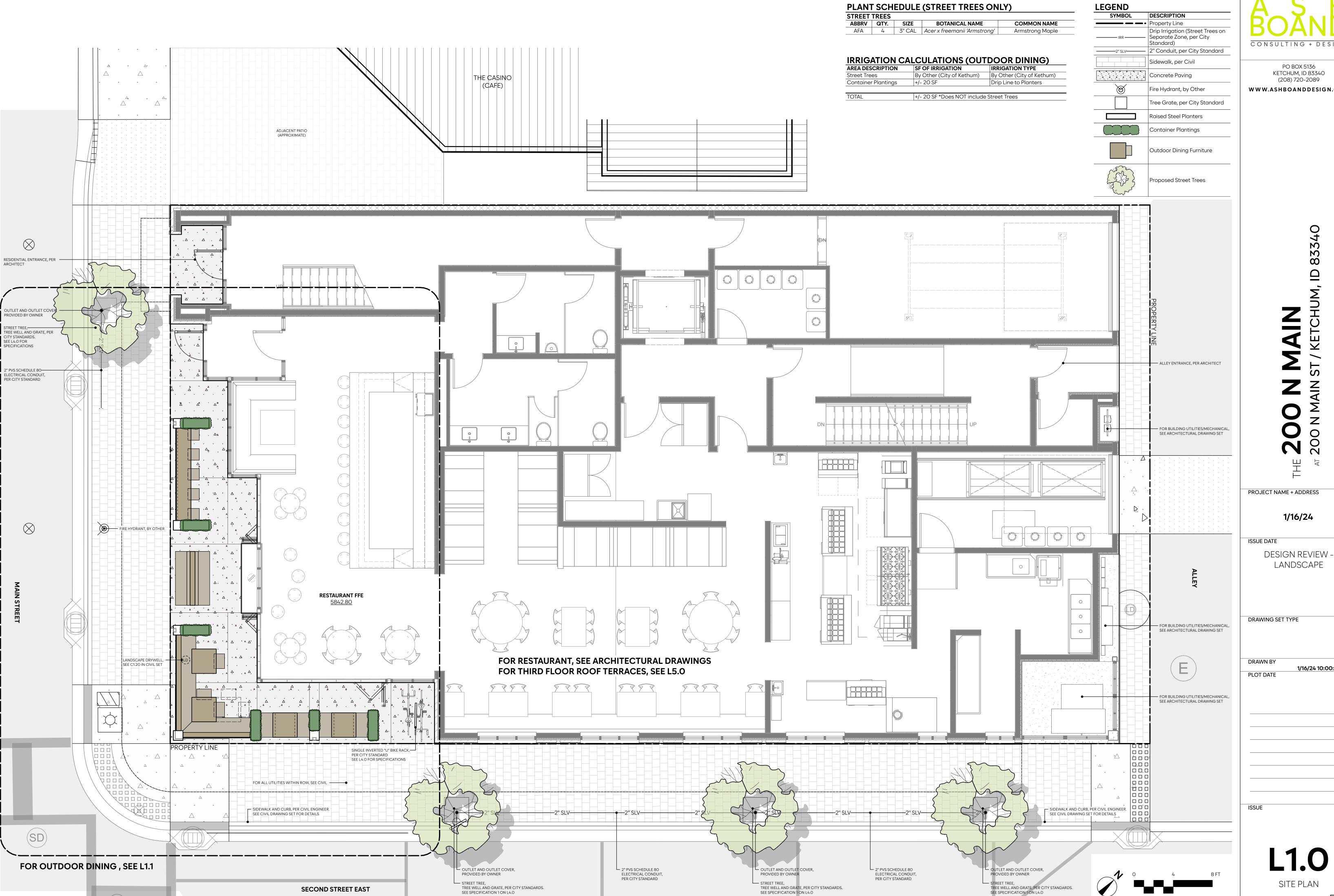


DESIGNED BY: DRAWN BY:

AND

CHECKED BY: MS -BENCHMARK
ENGINEERING
Civil Engineers & Land Surveyo
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512

C1.20





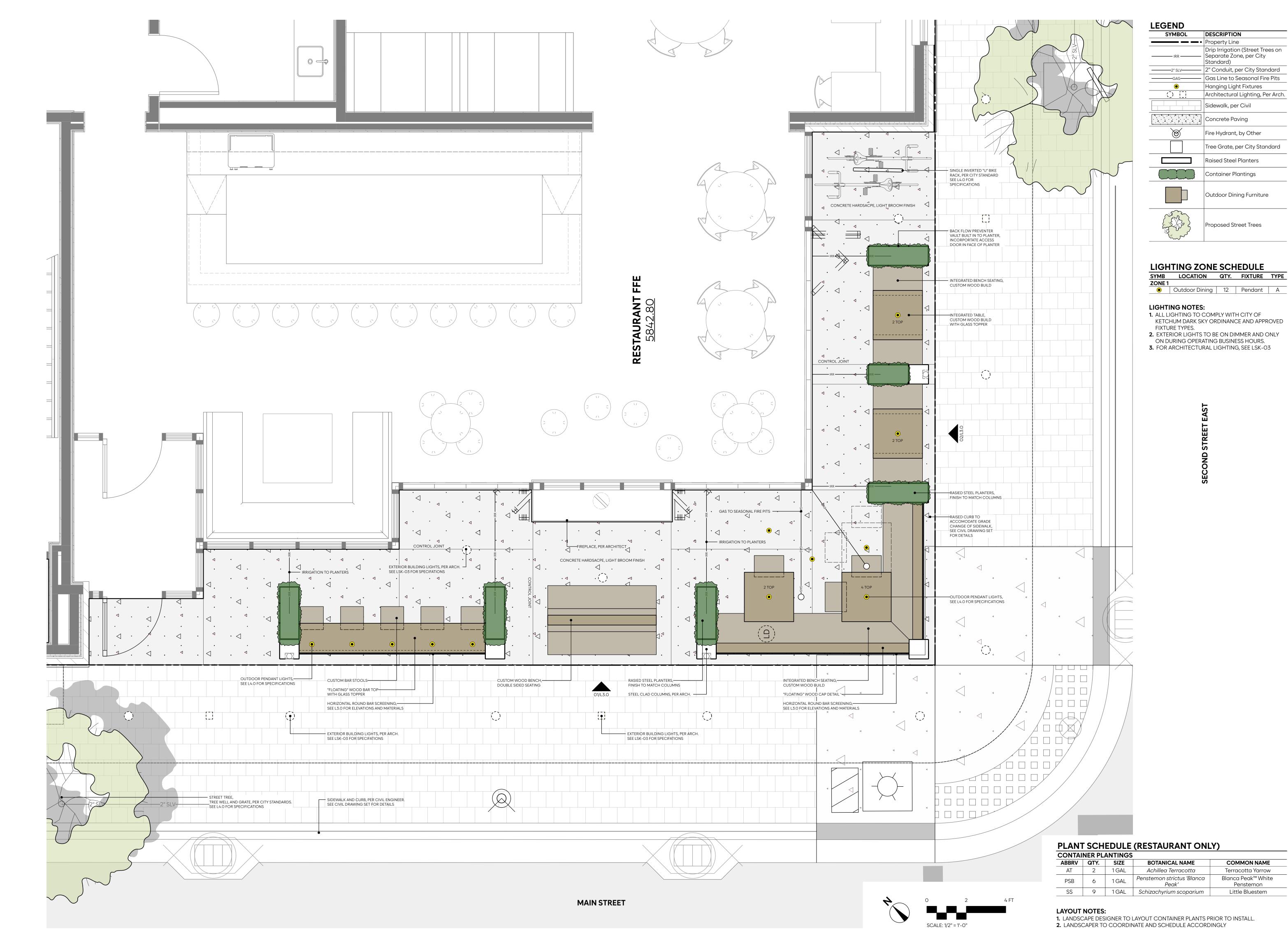
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LANDSCAPE

1/16/24 10:00:01 AM

SITE PLAN

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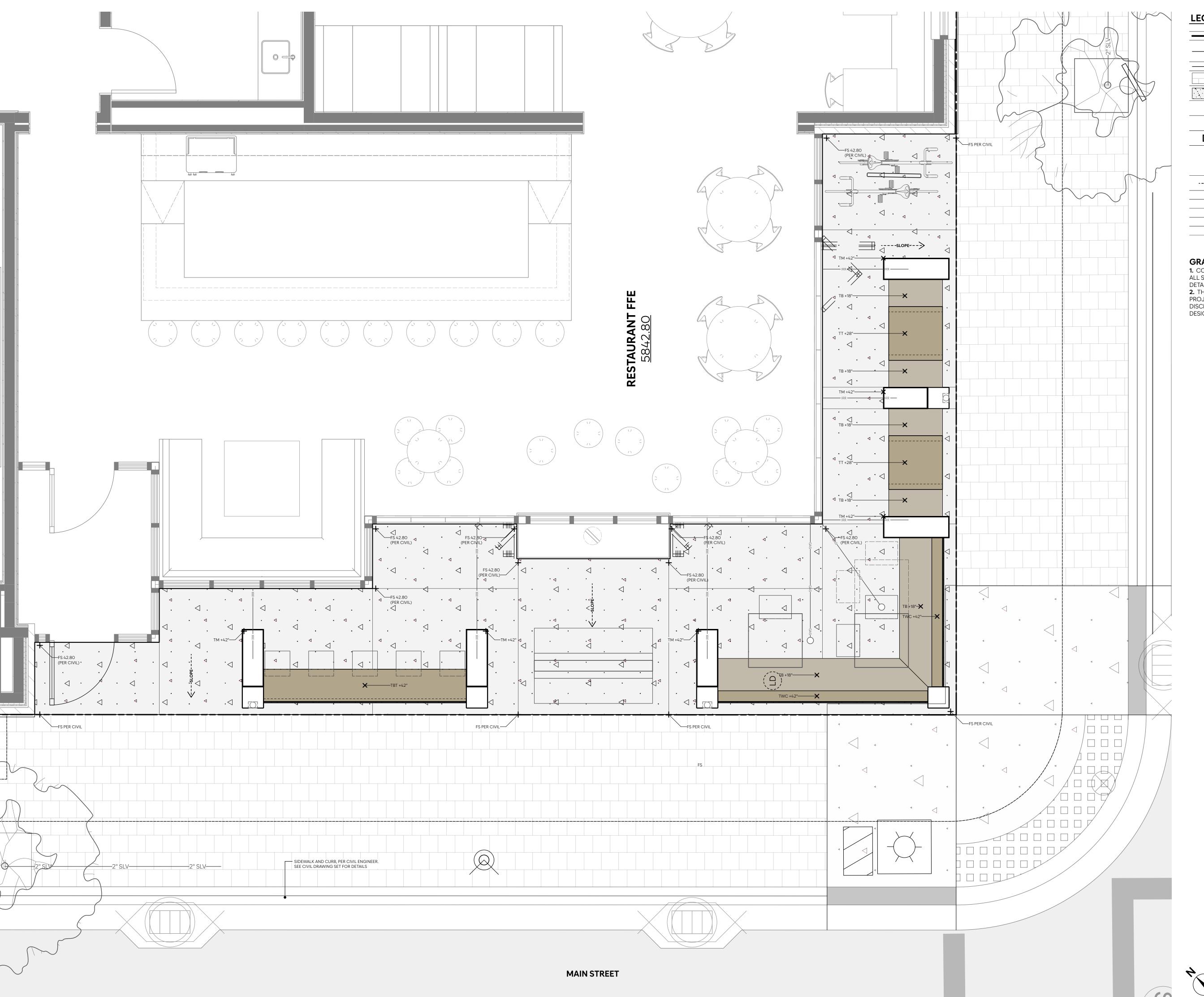
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ISSUE

L1.1

OUTDOOR DINING

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LLOLIND	
SYMBOL	DESCRIPTION
	Property Line
IRR	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
2" SLV	2" Conduit, per City Standard
	Sidewalk, per Civil
	Concrete Paving
8	Fire Hydrant, by Other
	Tree Grate, per City Standard
	Raised Steel Planters
	Outdoor Dining Furniture
SLOPE>	Slope Surface
FS	Finished Surface
TM	Top of Metal
ТВ	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

- GRADING NOTES:

  1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND
- 2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE



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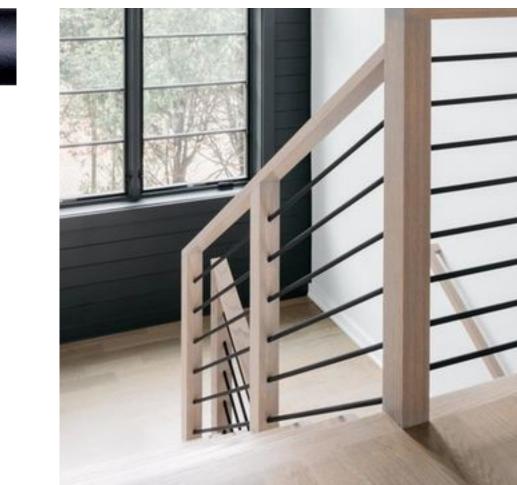
DRAWING SET TYPE

DRAWN BY 1/16/24 10:00:03 AM PLOT DATE

OUTDOOR DINING: DESIGN FEATURE HEIGHTS 52 © ASHBOANDCONSULTING+DESIGN

#### **MATERIALS BOARD**

FINISH: BLACK, TO MATCH ARCHITECTURAL COLUMNS











### **MATERIALS KEY**

- ① ROUND IRON BAR FINISH: BLACK
- WOOD SLAB BAR TOP

  (2) MATERIAL: WALNUT
  FINISH: CLEAR COAT
- (3) HANGING LIGHT FIXTURE FINISH: BLACK
- (4) RAISED STEEL PLANTERS FINISH: BLACK
- WOOD BENCHES

  MATERIAL: WALNUT
  FINISH: CLEAR COAT

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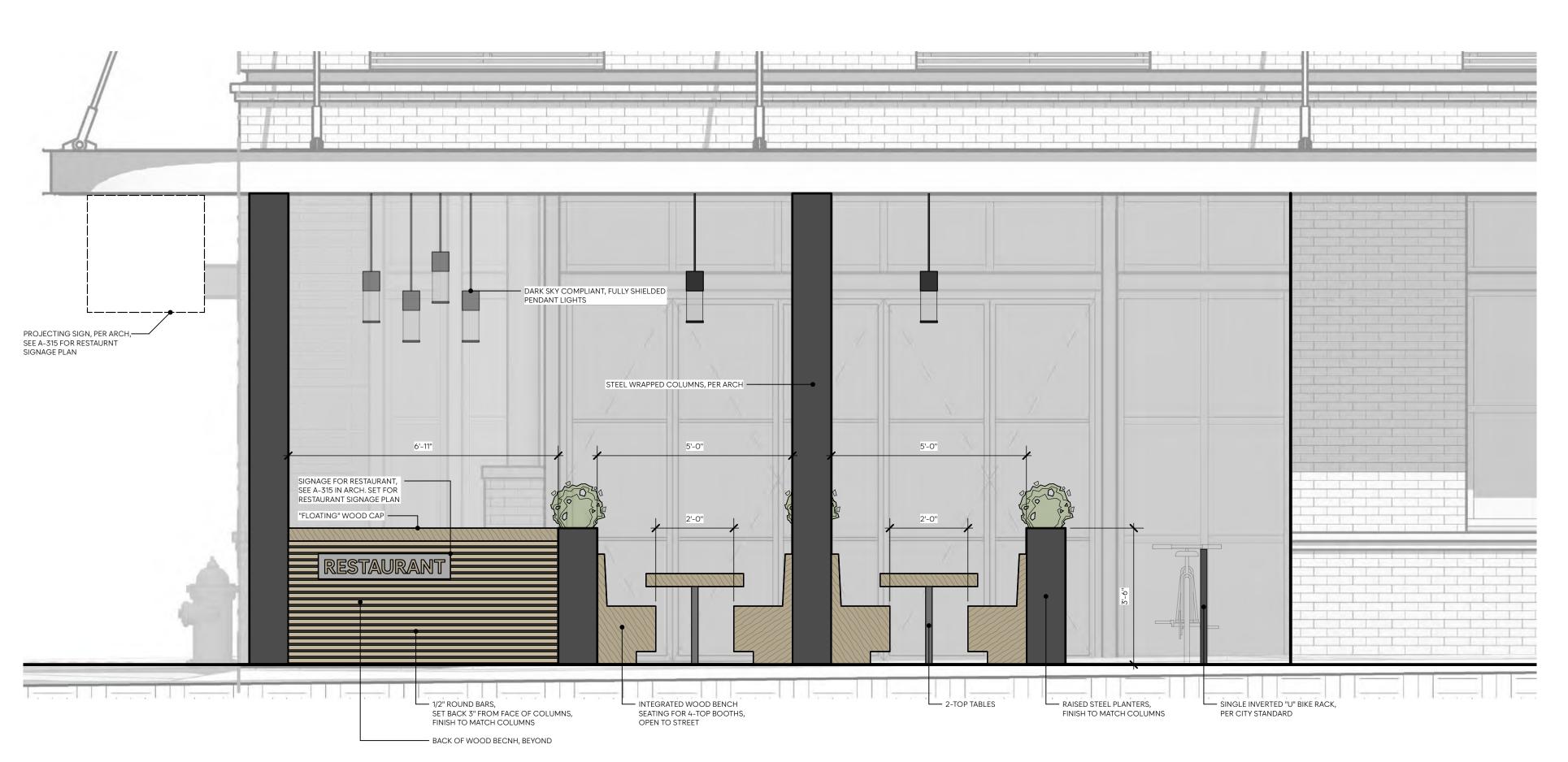
ISSUE

OUTDOOR DINING: MATERIALS + ELEVATIONS 53

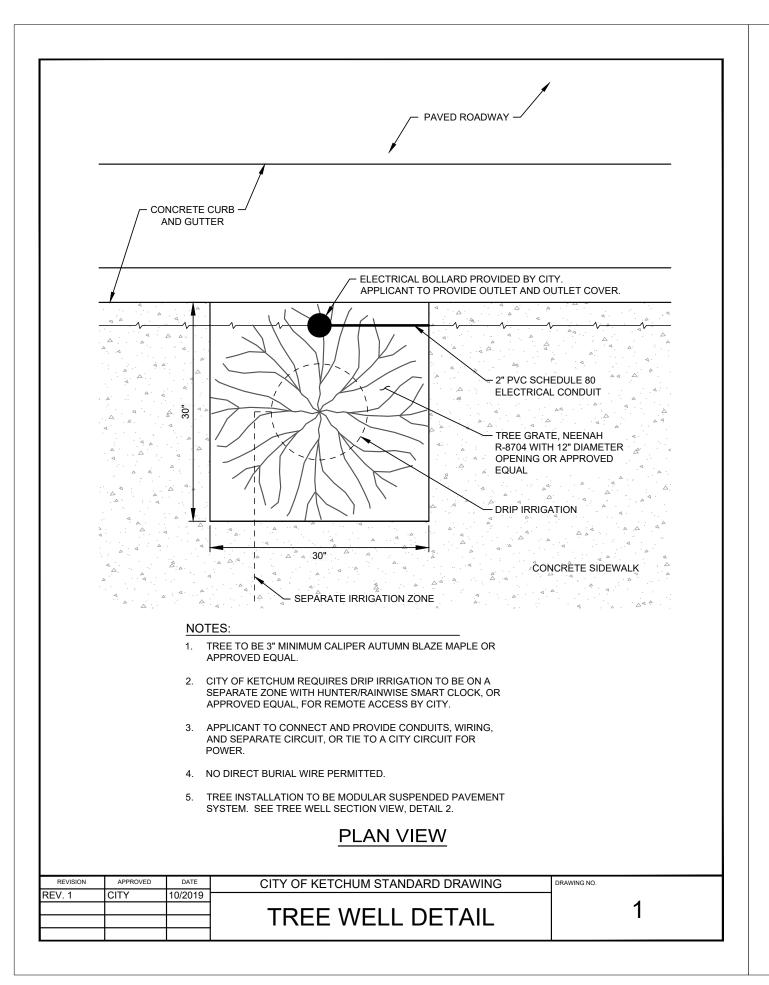
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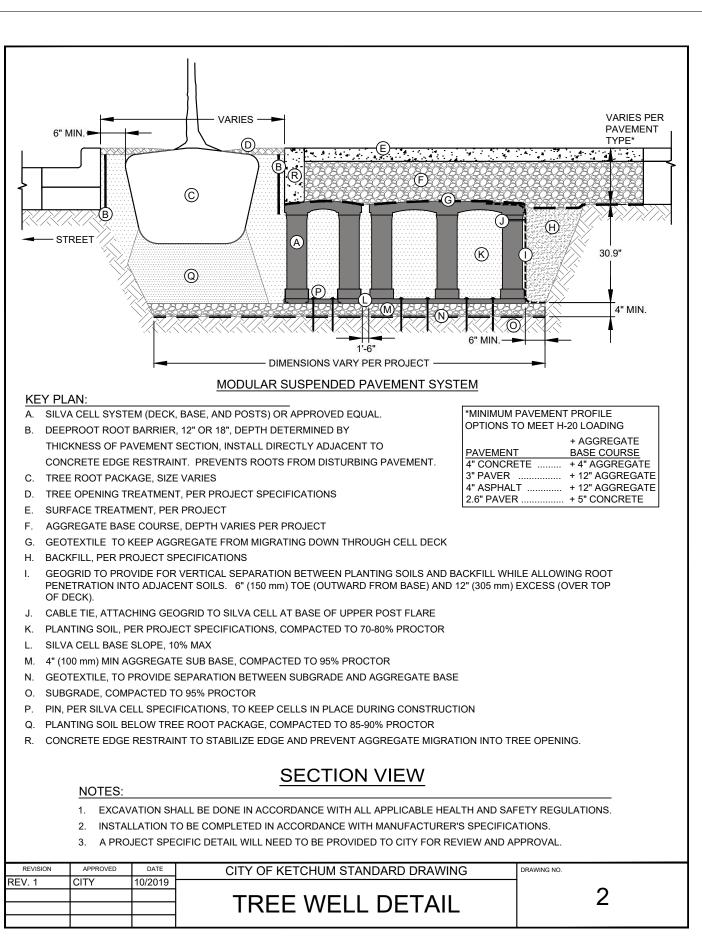


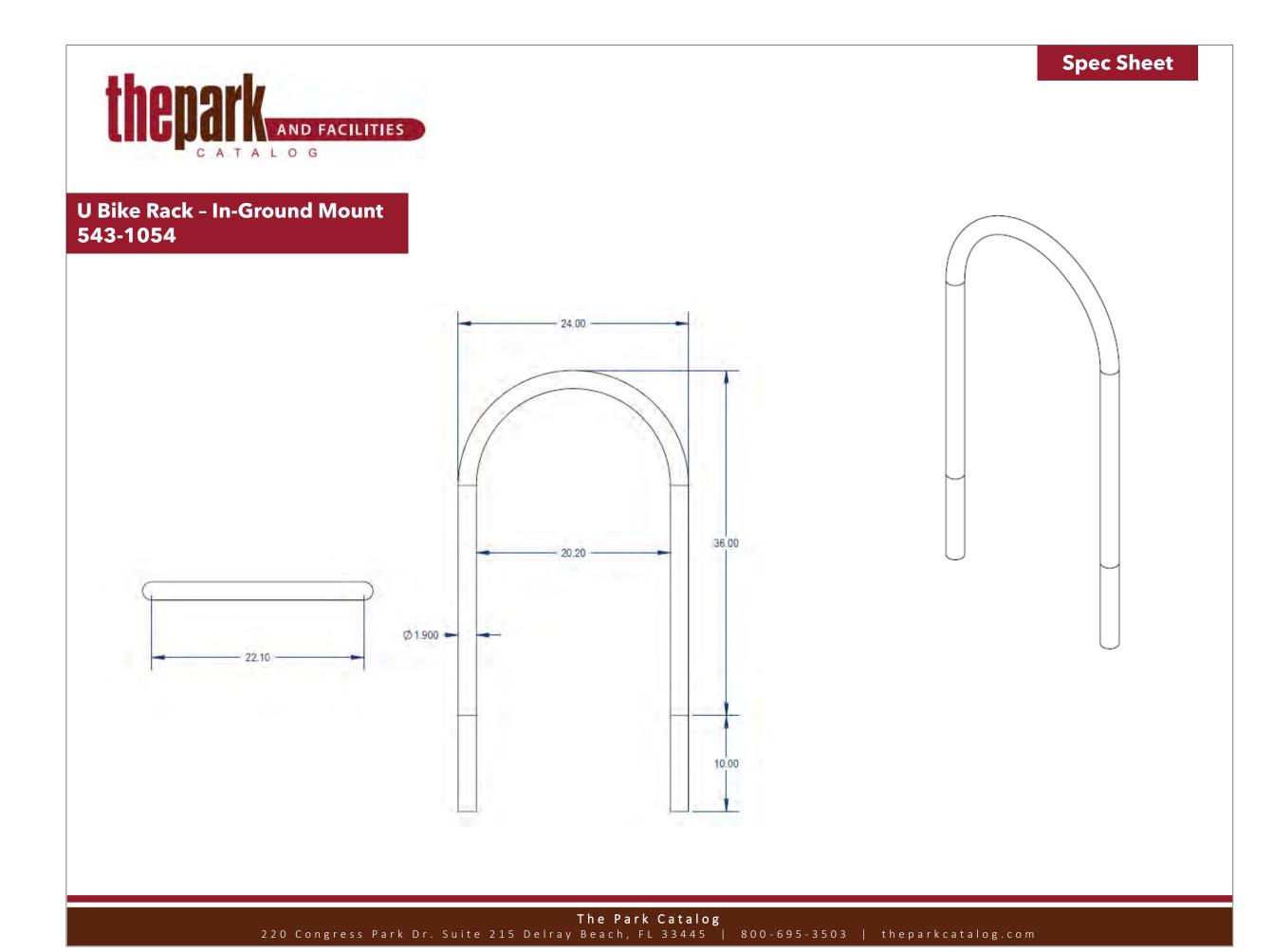
O1 MAIN STREET ELEVATION
Scale: 1/2" = 1'-0"



#### STREETSCAPE AND AMENITIES SPECIFICATIONS

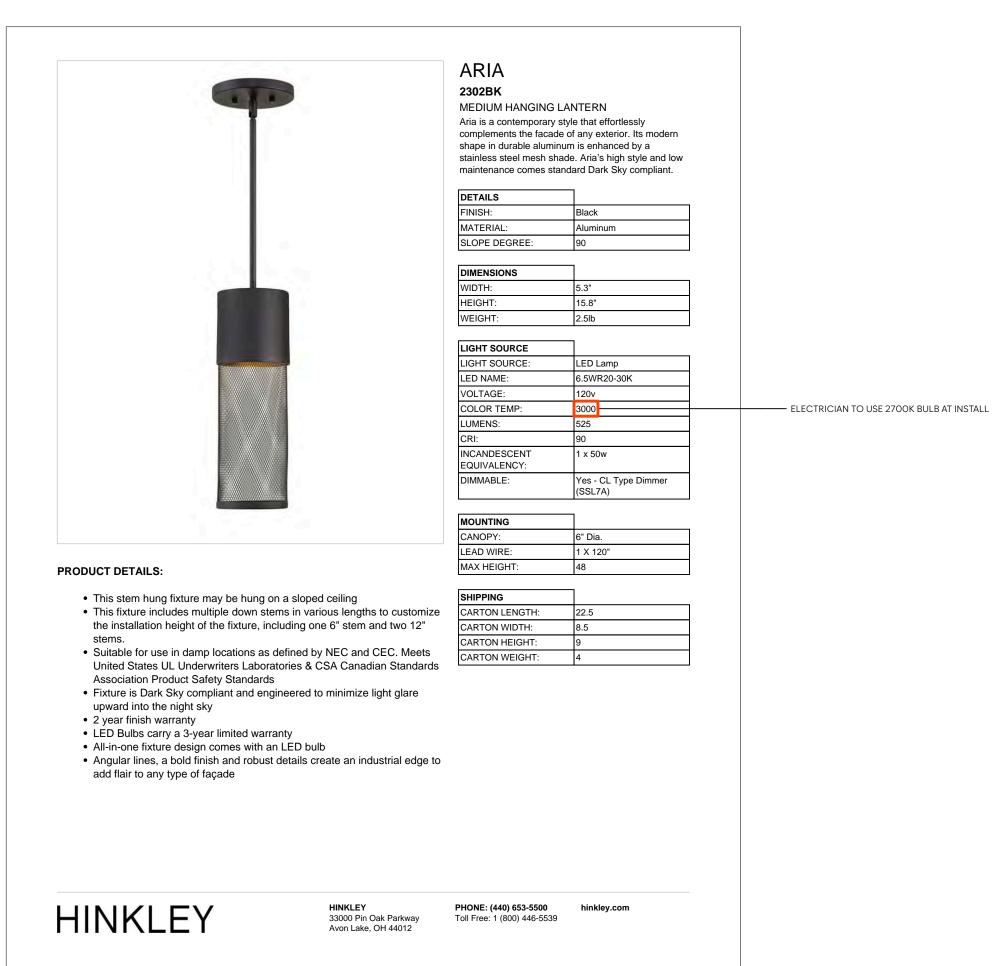






O1 TREE WELL
Scale: NTS

#### **OUTDOOR LIGHTING SPECIFICATIONS**



O2 BIKE RACK
Scale: NTS

A S H B O A N D C O N S U L T I N G + D E S I G N

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PLOT DATE

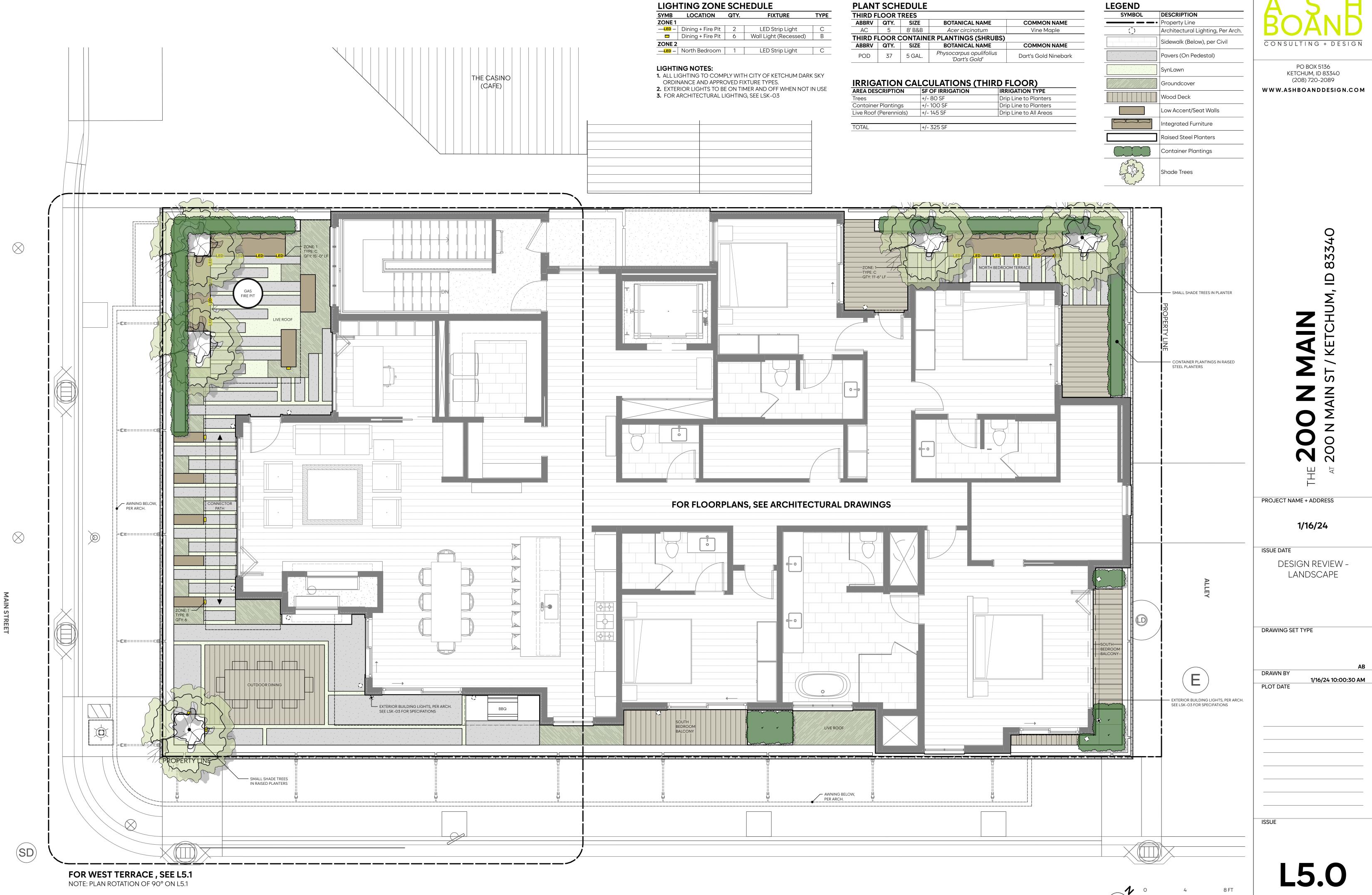
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L4.0
SPECIFICATIONS AND

CUT SHEETS 54

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O3 PENDANT LIGHT (TYPE A)
Scale: NTS



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THIRD FLOOR TERRACES

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**DL** 





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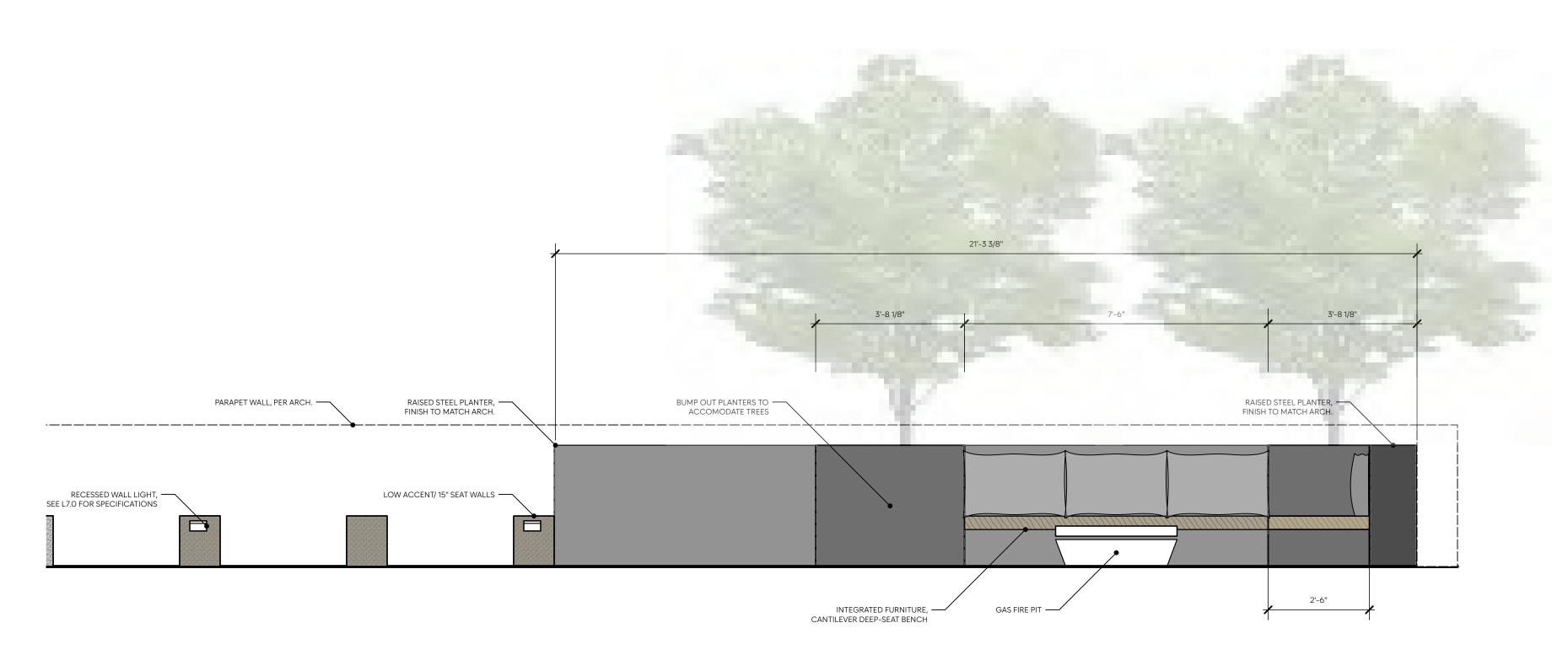
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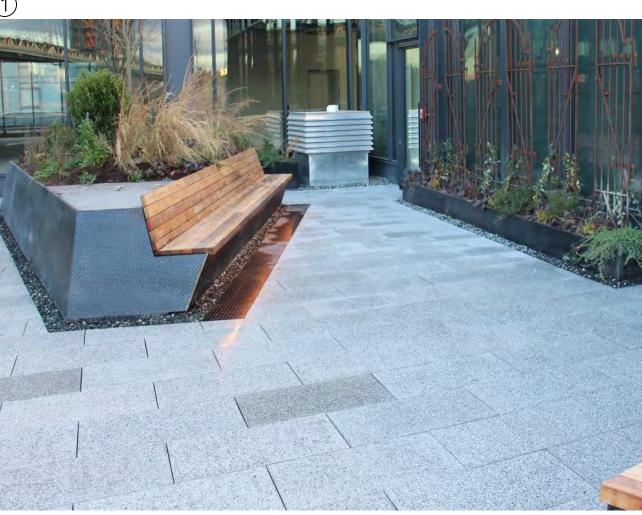
#### THIRD FLOOR TERRACE ELEVATIONS / WEST TERRACE



O1 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION

Scale: 1/2" = 1'-0"

#### **MATERIALS BOARD**













### MATERIALS KEY

- ① PAVER FINISH: GREY (NATURAL)
- WOOD DECKING

  (2) MATERIAL: THERMORY
  FINISH: NONE
- WALL LIGHT FINISH: BLACK
- STEEL PLANTERS FINISH: BLACK
- WOOD BENCHES

  (5) MATERIAL: WALNUT
  FINISH: CLEAR COAT

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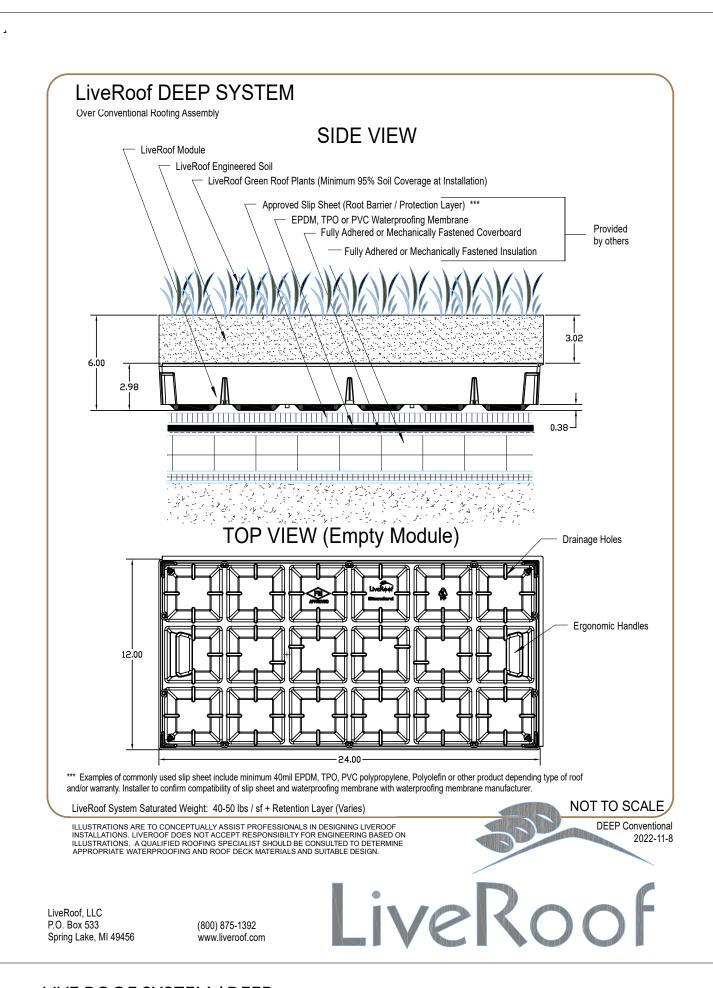
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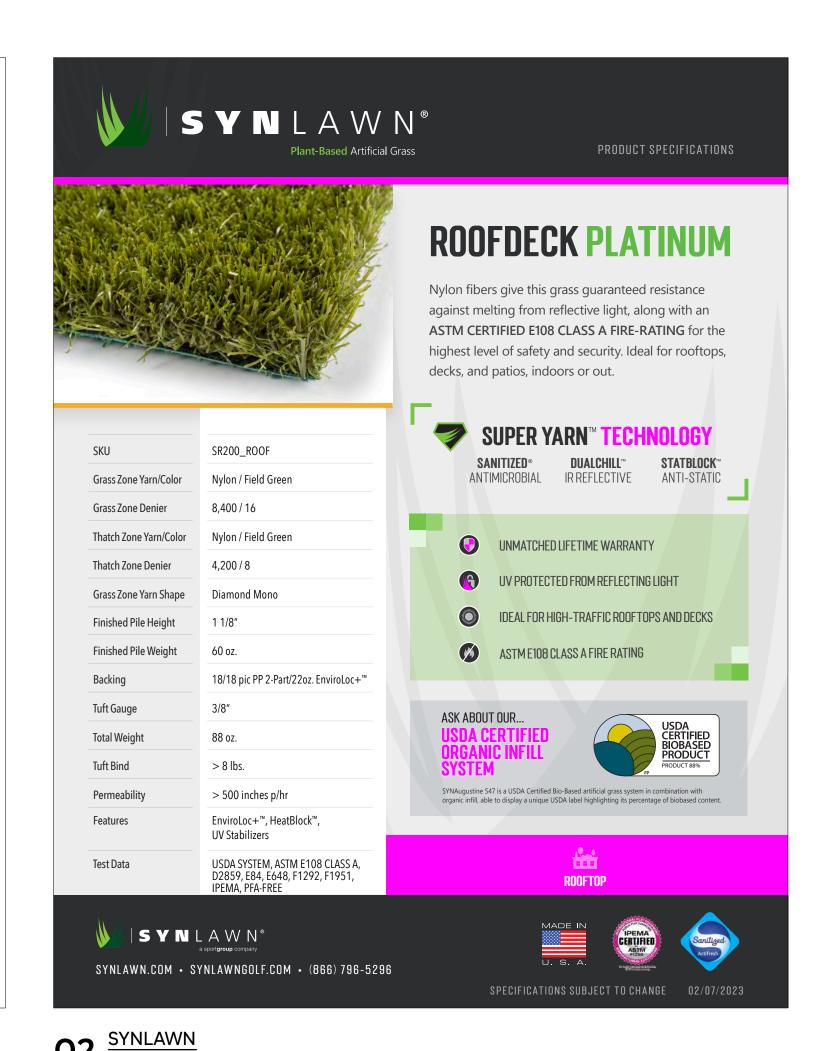
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THIRD FLOOR
TERRACES:
MATERIALS + 57

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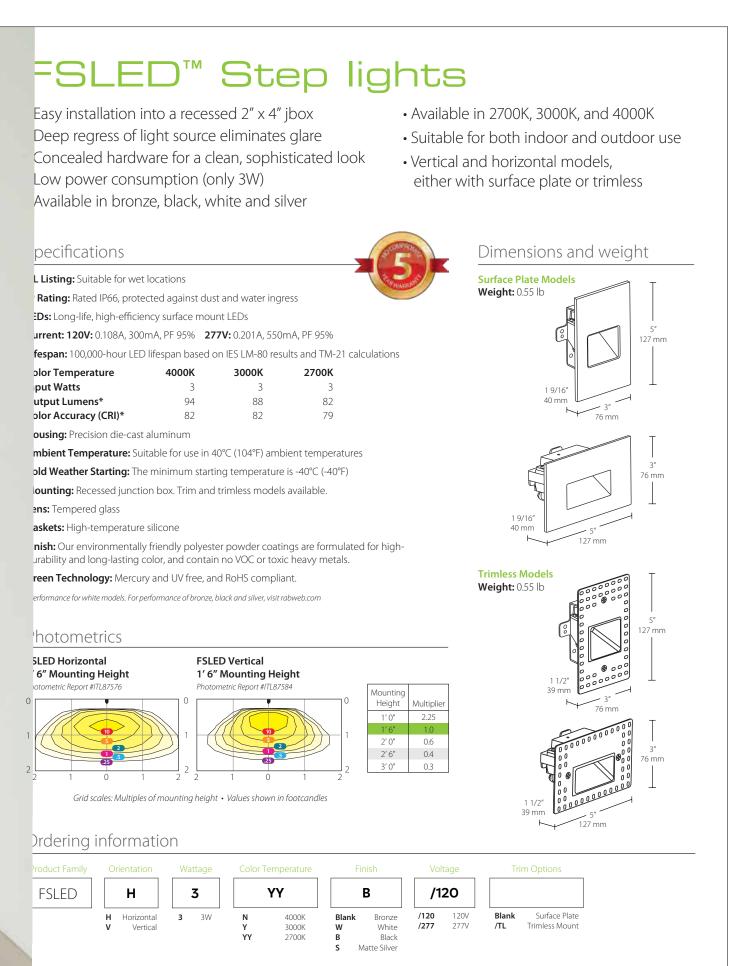
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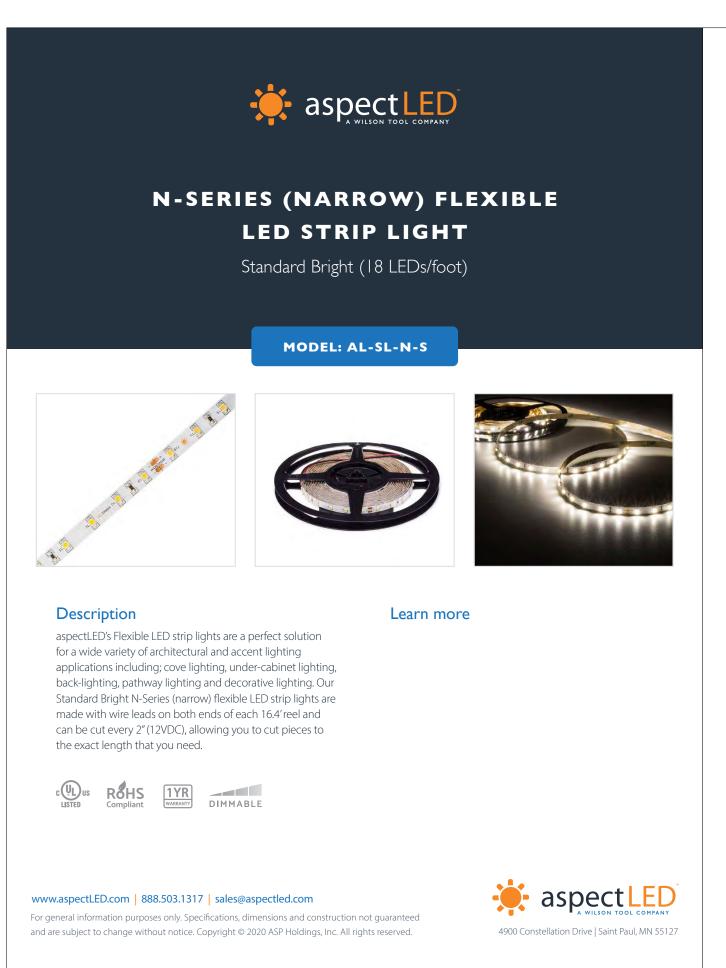




O1 LIVE ROOF SYSTEM / DEEP Scale: NTS

#### **OUTDOOR LIGHTING SPECIFICATIONS**





DDEL:AL-SL-N-S	BLE LED STRIP LIGHT		Specifications	
	NON-WATERPROOF	WATER RESISTANT	WATERPROOF	
Dimensions	5/16" (8mm) wide 1/16" (2mm) thick 16.4' (5M) long	5/16" (8mm) wide 1/8" (2.6mm) thick 16.4' (5M) long	7/16" (11mm) wide 3/16" (4mm) thick 16.4' (5M) long	
Distance Between LEDs	9/16" (14mm)	9/16" (14mm)	9/16" (14mm)	
Cut Length	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	
IP Rating	IP20 Indoor Use, Dry Location	IP65 Splash Resistant	IP68 Submersible	
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive	No	
Mounting Method	Adhesive Backing	Adhesive Backing	Mounting Straps or Adhesive Caulk	
Input Voltage	12VDC or 24VDC	12VDC or 24VDC	12VDC or 24VDC	
Beam Angle	120 Degrees	120 Degrees	120 Degrees	
Dimmable	Yes	Yes	Yes	
Max Power Consumption	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	
Max Luminous Flux	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	
LED Color	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	
Color Temperature	Soft White = 2700K Warm White = 3000K Neutral White = 4000K DayWhite = 6000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	
LED Type	SMD 3528 LED Chips	SMD 3528 LED Chips	SMD 3528 LED Chips	
LED Quantity	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	
Max Run	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	
Weight	0.4 lbs per reel	0.6 lbs per reel	1.0 lbs per reel	
Estimated Lifespan	50,000 hours	50,000 hours	50,000 hours	
Warranty	1 Year	1 Year	1 Year	
Suitable Uses	Dry Location Only	Dry or Damp Locations	Dry, Damp or Wet Locations	
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS	UL Listed, RoHS	
vw.aspectLED.com   888.503.	1317 sales@aspectled.com		aspectLE	D



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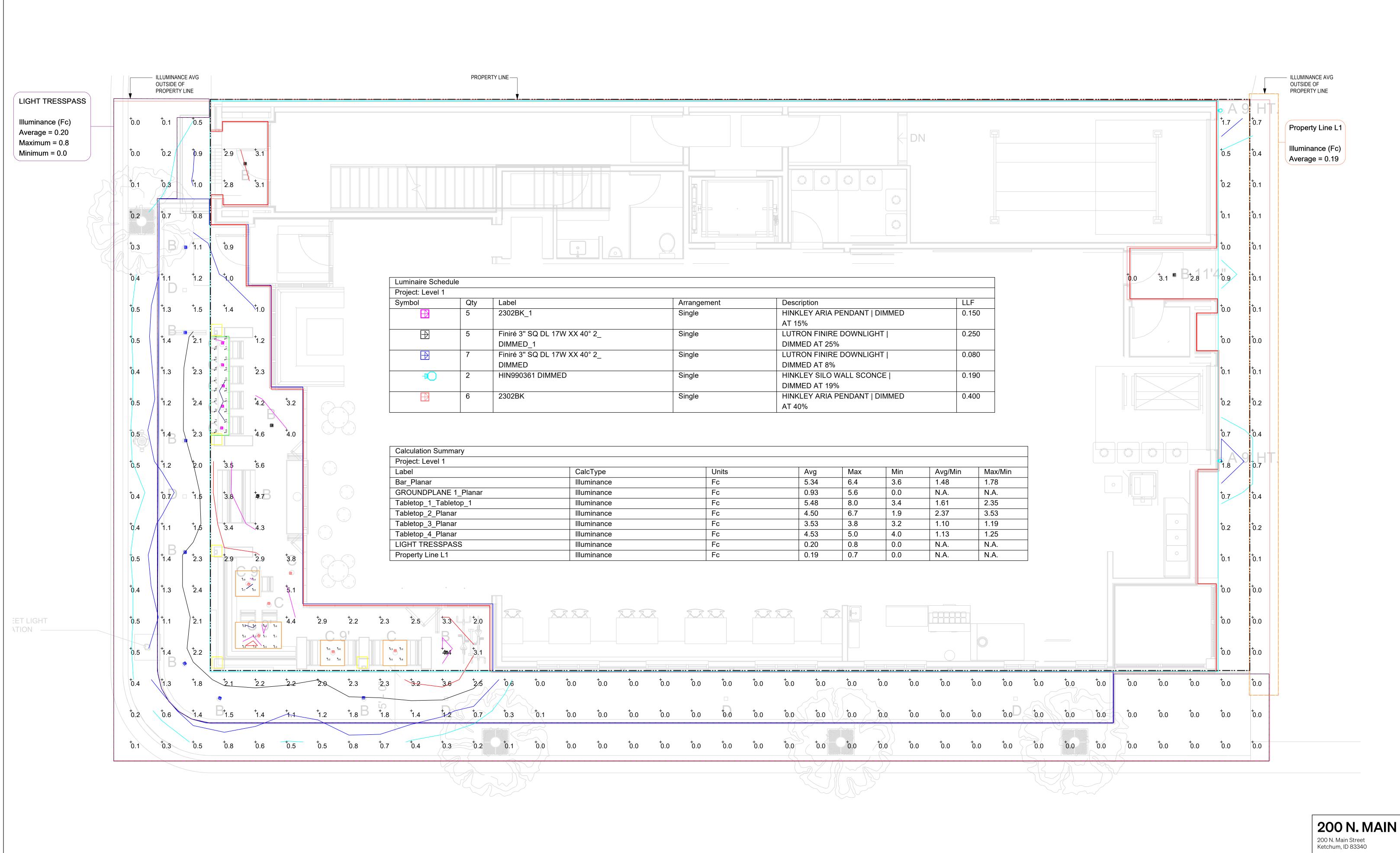
SPECIFICATIONS AND CUT SHEETS

[58]

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O3 RECESSED STEP LIGHT (TYPE B)
Scale: NTS

O4 STRIP LIGHT (TYPE C)
Scale: NTS

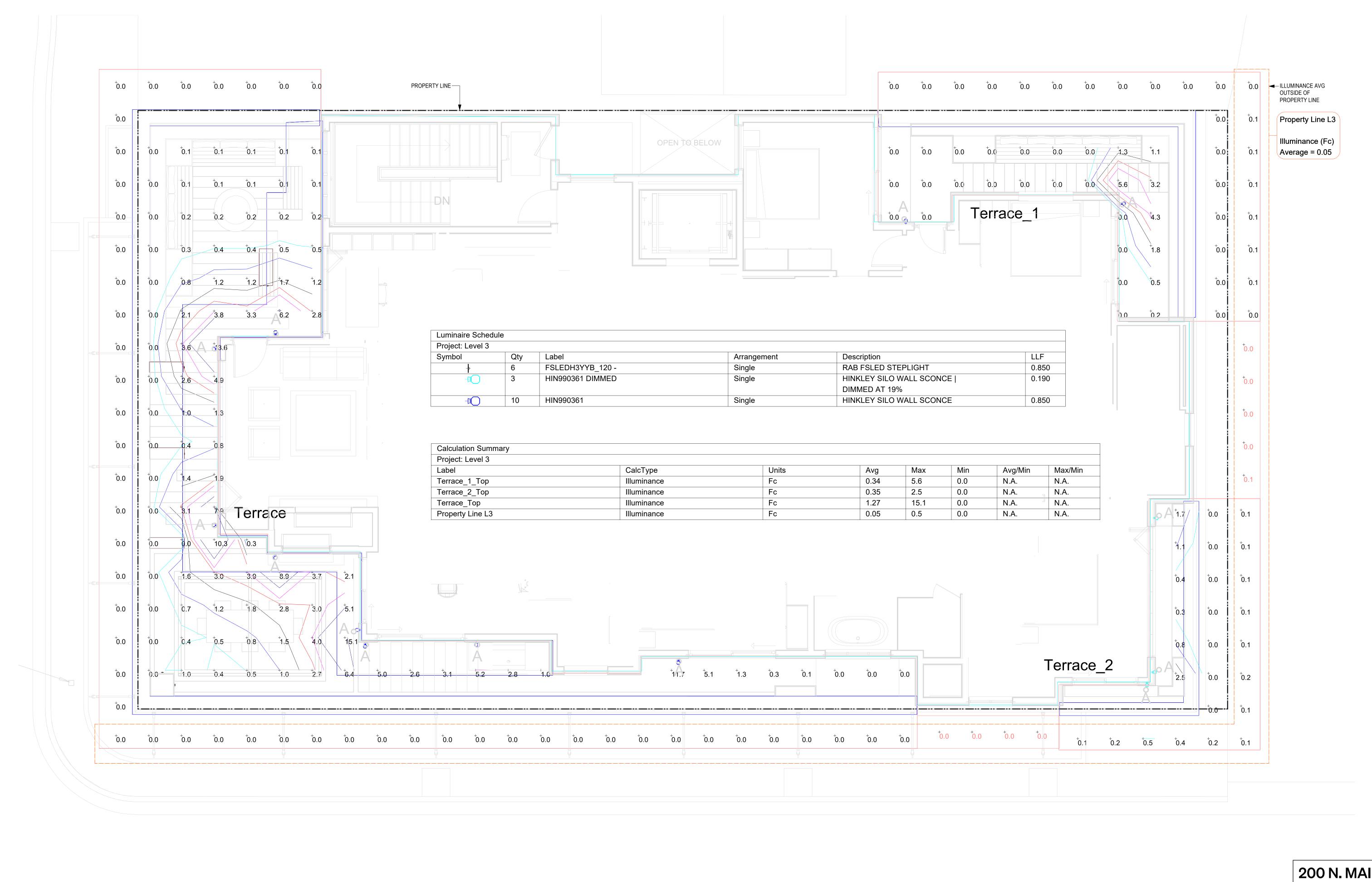


FIRST FLOOR LIGHTING

Issue Date | 05/10/2023 | PHOTOMETRIC STUDY Rev. Date 01/12/2024 REV 2

O LightPlan Seattle, WA 98101 (206) 709-8123

159 Western Ave W. #480 LSK-01



200 N. MAIN

200 N. Main Street Ketchum, ID 83340

THIRD FLOOR LIGHTING

Issue Date | 05/10/2023 | PHOTOMETRIC STUDY Rev. Date 09/05/2023 REV 1

O LightPlan

159 Western Ave W. #480 Seattle, WA 98101 (206) 709-8123

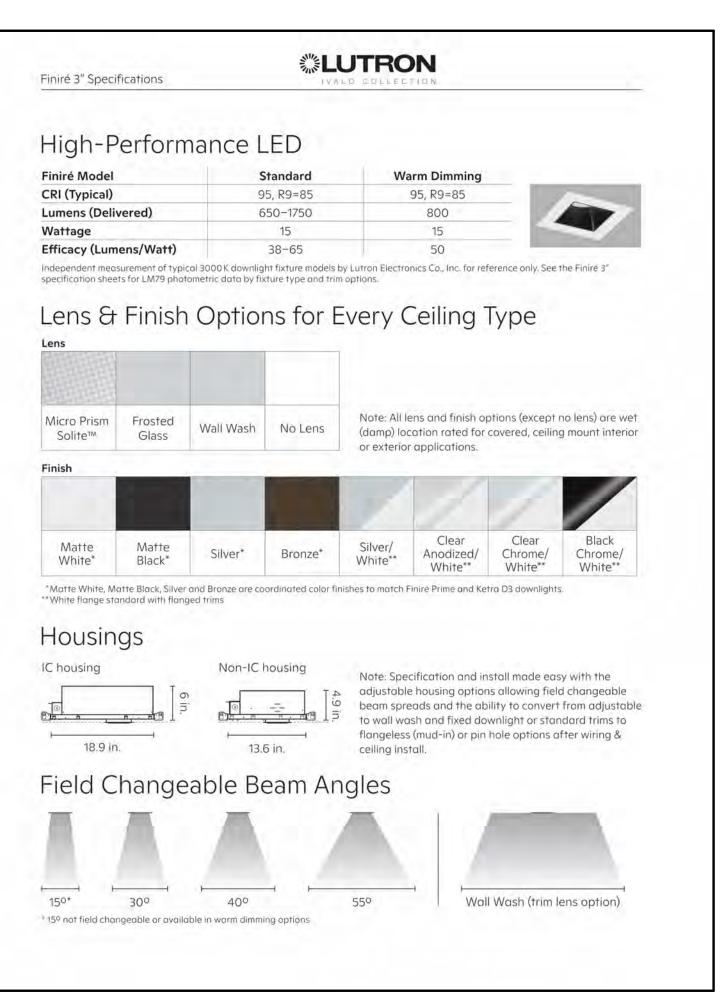


# WALL SCONCE ( 'A' )

- MOUNTING HEIGHT 7'6 UON ON LIGHTING PLANS



- HANGING LANTERN ( 'C' )
- MOUNTING HEIGHT 8'6 UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

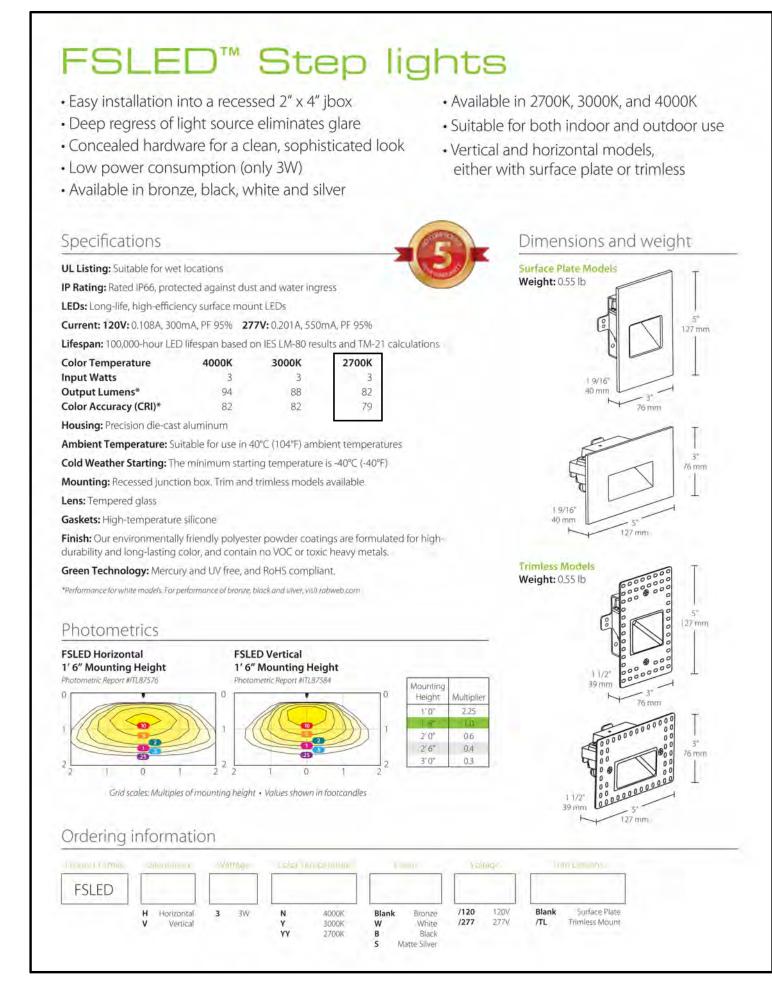


# RECESSED CAN LIGHTS ('B')

- MOUNTING HEIGHT 12' UON ON LIGHTING PLANS

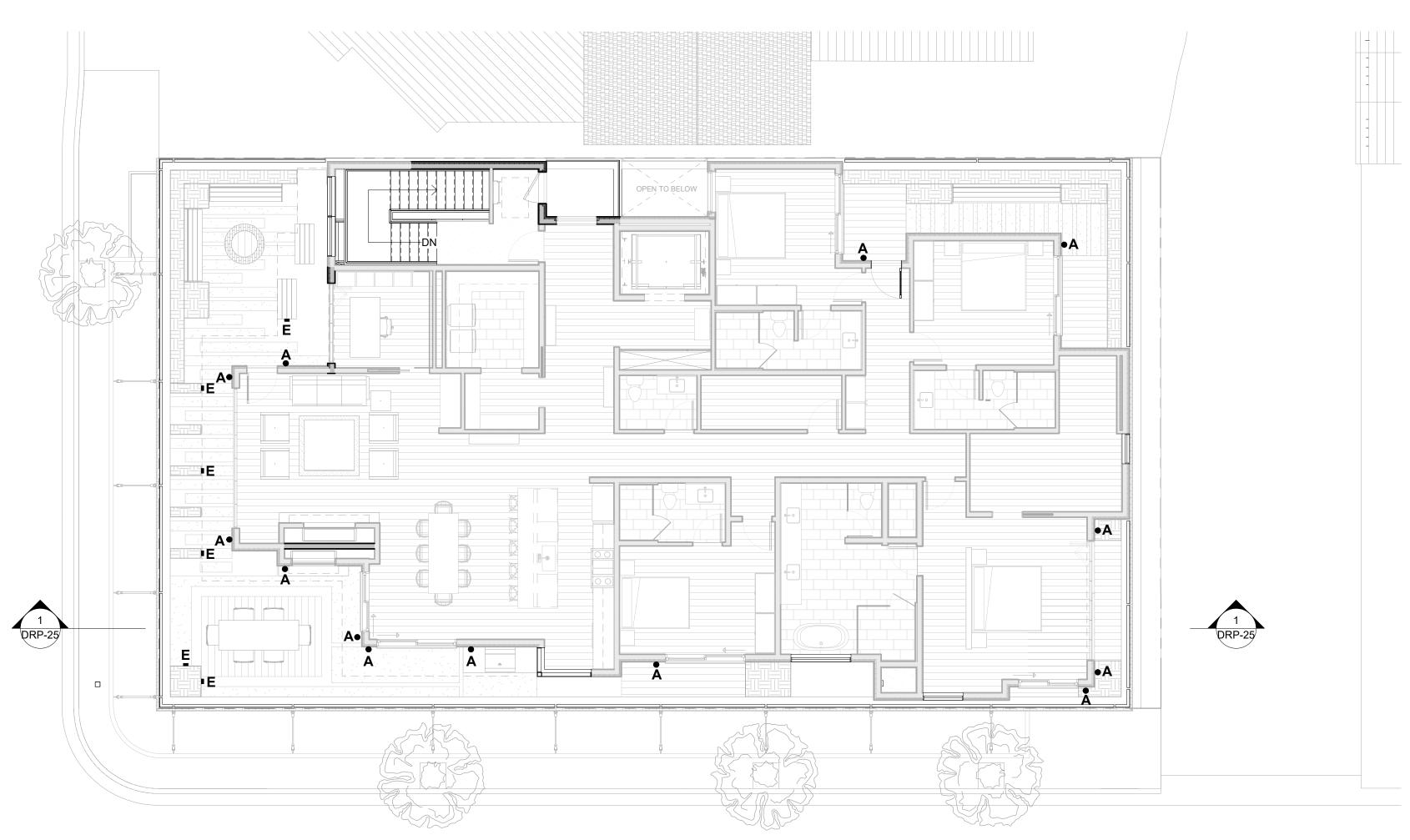
### RECESSED CAN STREETLIGHTS ('D')

- MOUNTING HEIGHT 12'
- -TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)

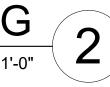


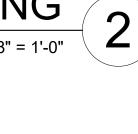
# STEP LIGHTS ( 'E' )

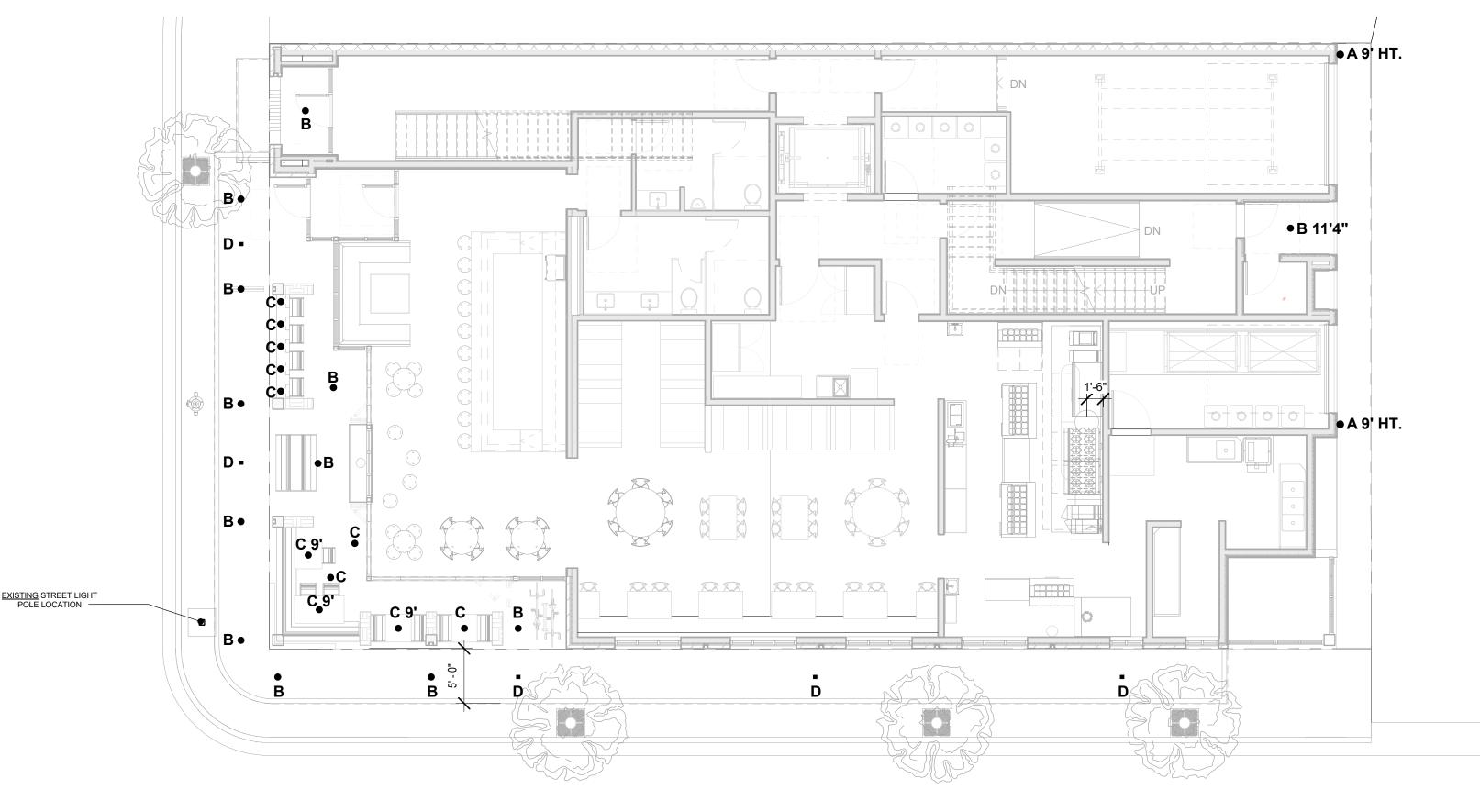
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS - REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



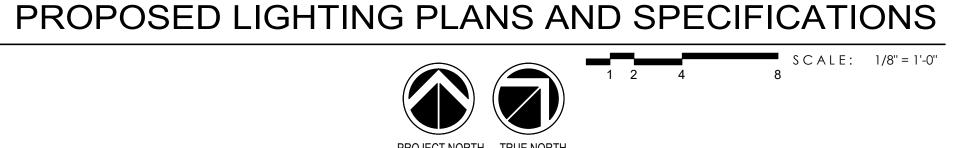
THIRD FLOOR EXTERIOR LIGHTING 2







FIRST FLOOR EXTERIOR LIGHTING

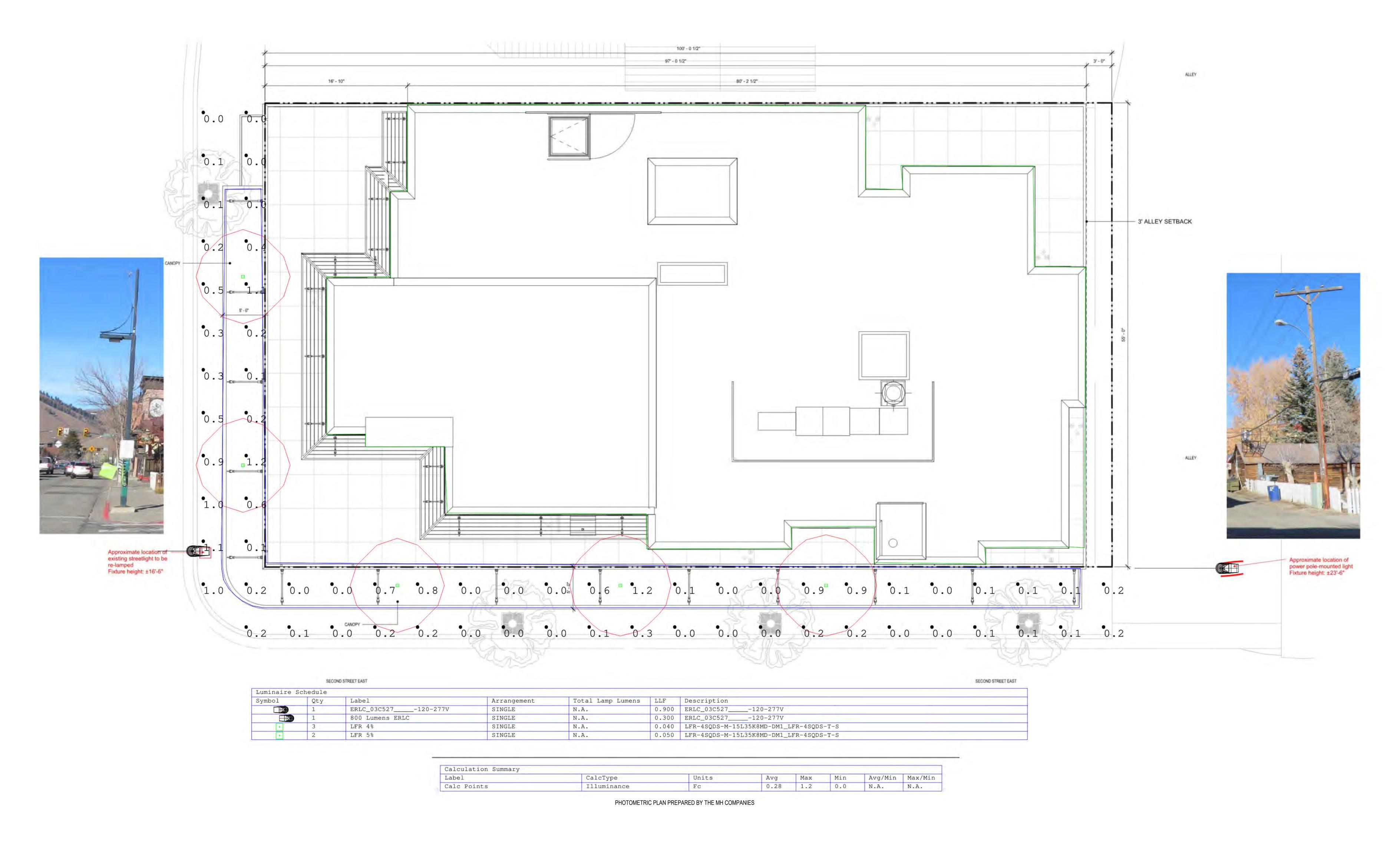


# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

> **DESIGN REVIEW 2** 1/17/2024



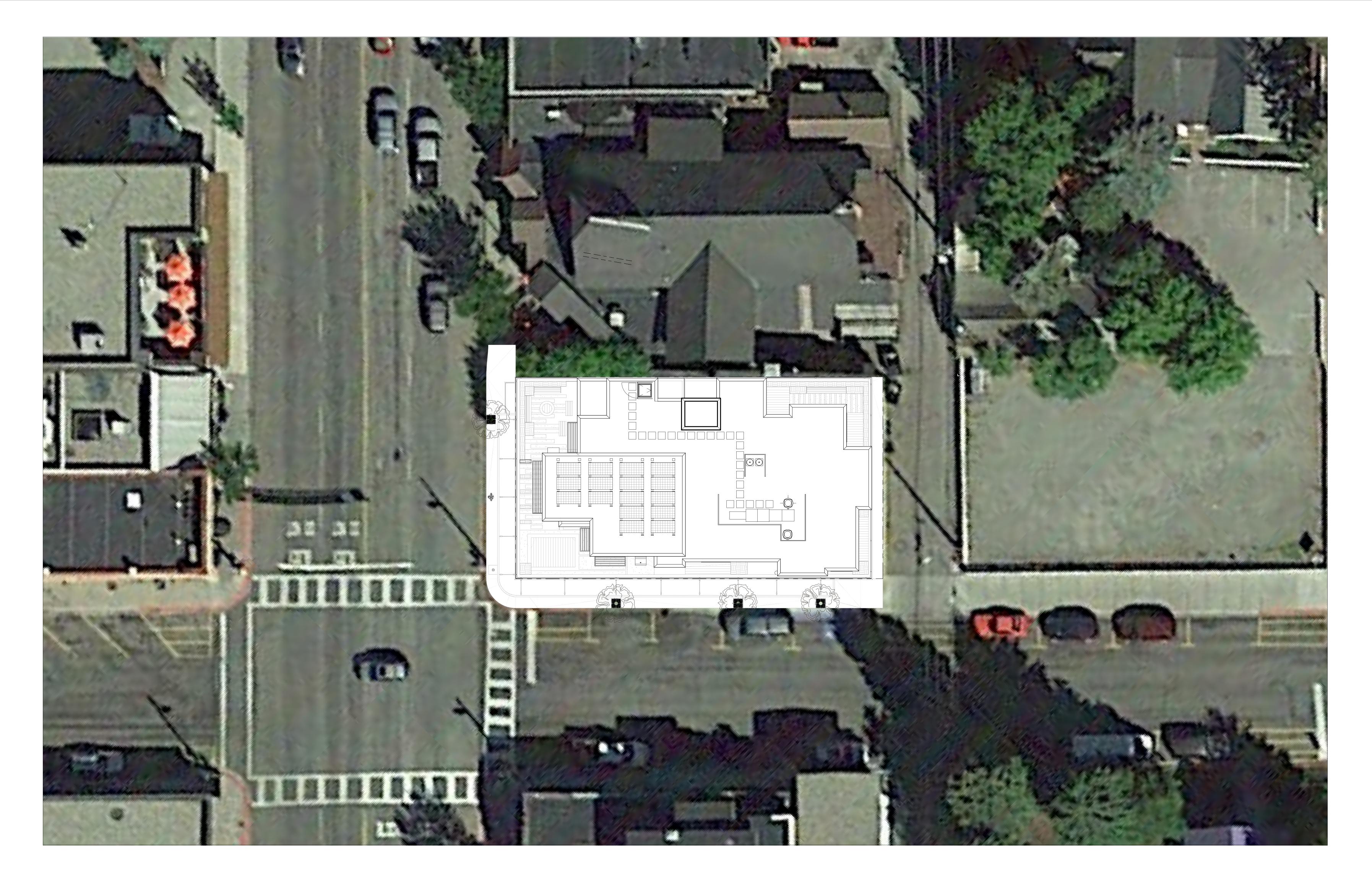


STREETLIGHT PHOTOMETRIC

SCALE: N.T.S

LSK-04





PROPOSED ARCHITECTURAL SITE PLAN

**ZONING** 

CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

**USE & OCCUPANCY CLASSIFICATION** 

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-2

**SNOW STORAGE CALCULATION** NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE. **CONSTRUCTION TYPE** CONSTRUCTION TYPE: TYPE V-B

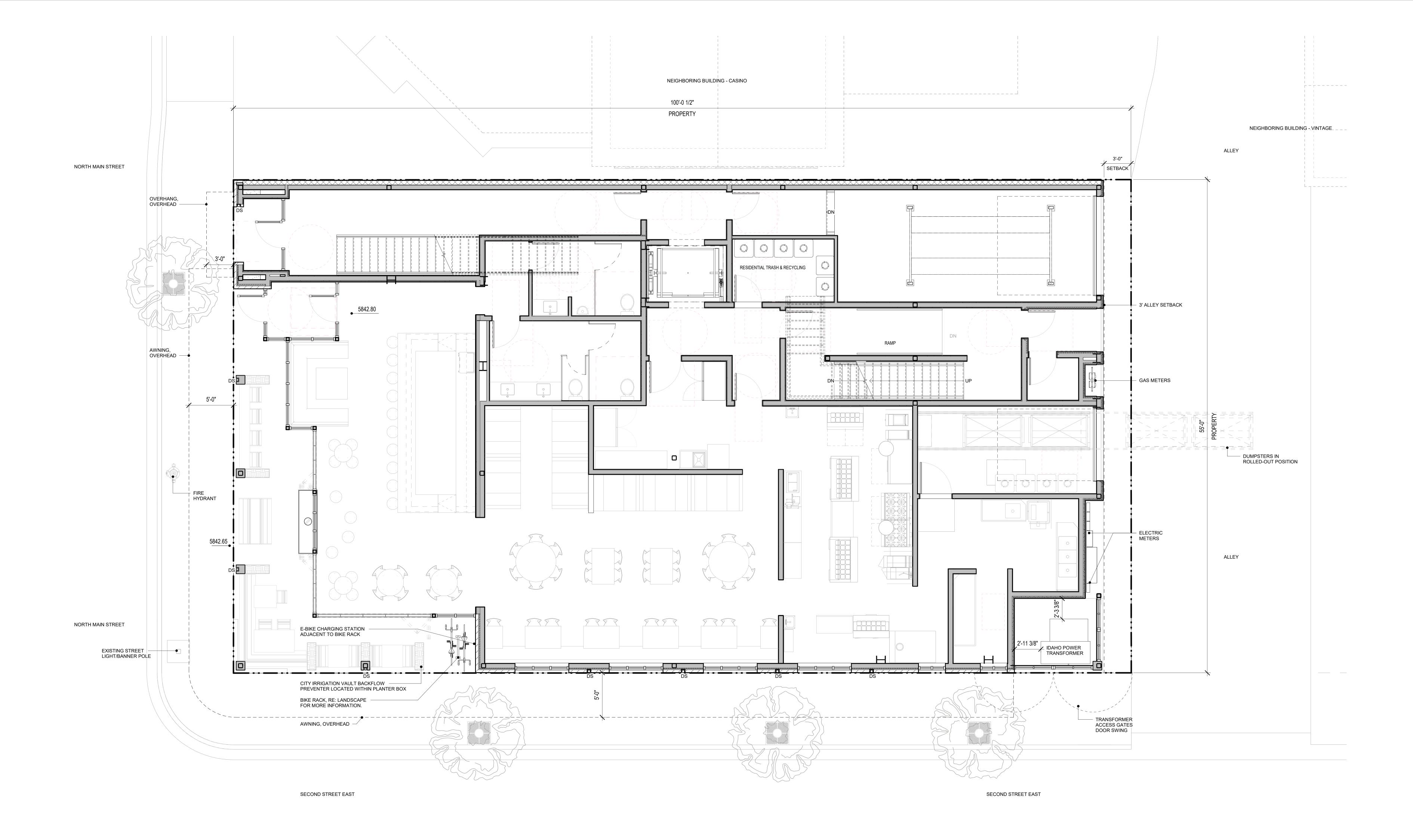
BUILDING AREA (GROSS): 12,398 SF



200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2 1/17/2024

PROJECT NORTH TRUE NORTH



PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

**ZONING** 

ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

**USE & OCCUPANCY CLASSIFICATION** 

RESIDENTIAL GROUP R-2 STORAGE GROUP S-2

ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

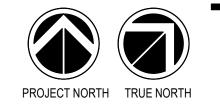
CONSTRUCTION TYPE
CONSTRUCTION TYPE: TYPE V-B

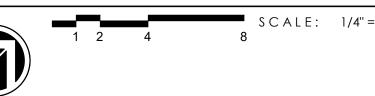
BUILDING AREA
BUILDING AREA (GROSS): 12,398 SF

### **DRAWING NOTES**

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.



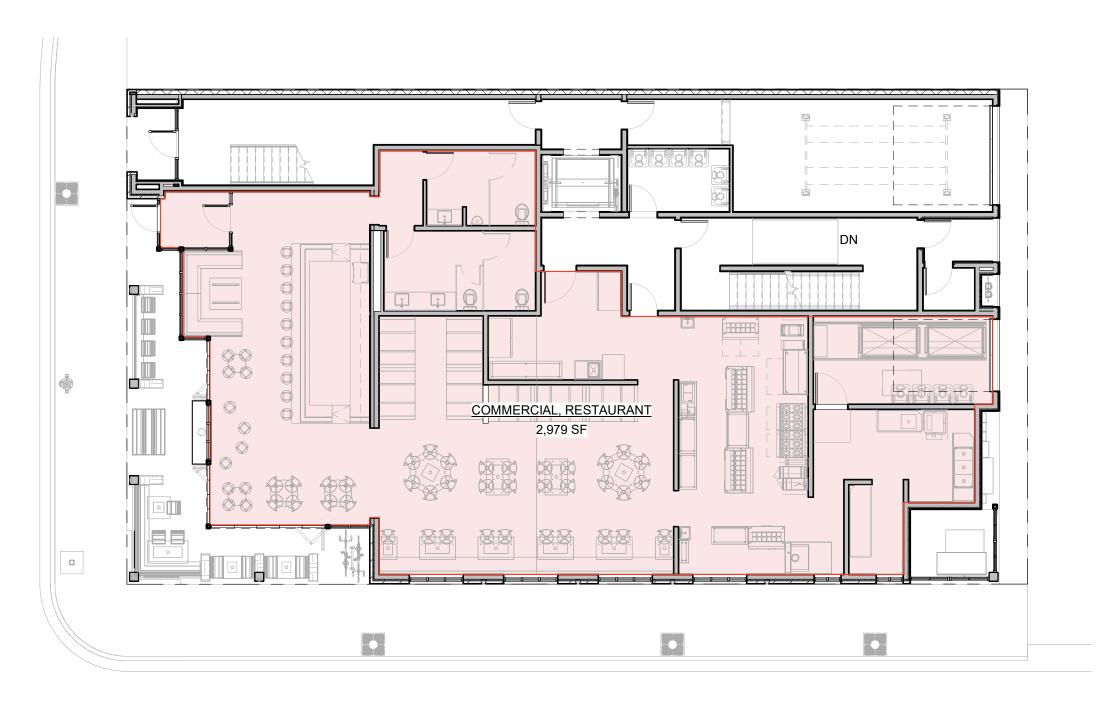


# 200 NORTH MAIN

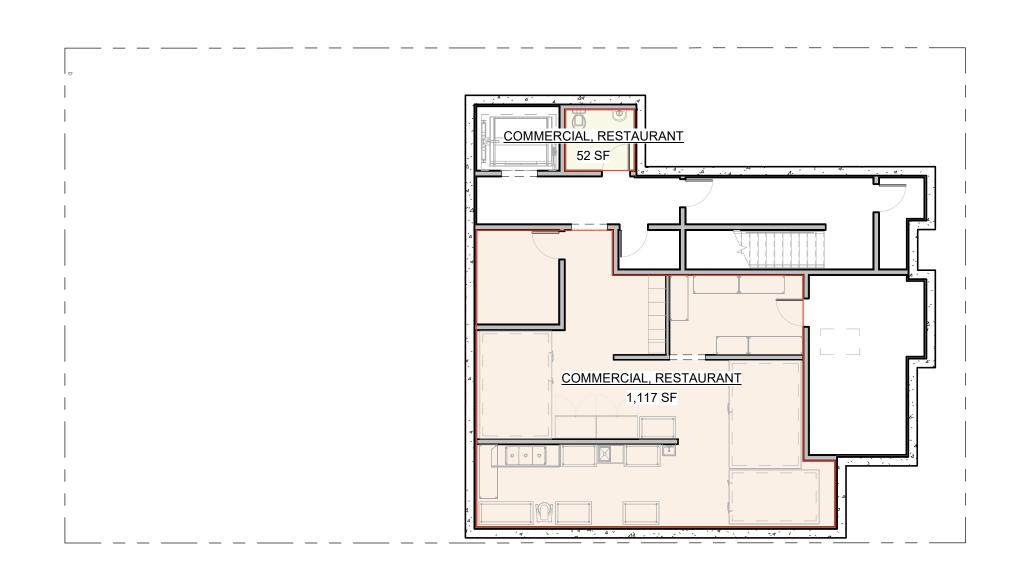
200 N. MAIN ST. KETCHUM, ID 83340

> DESIGN REVIEW 2 1/17/2024

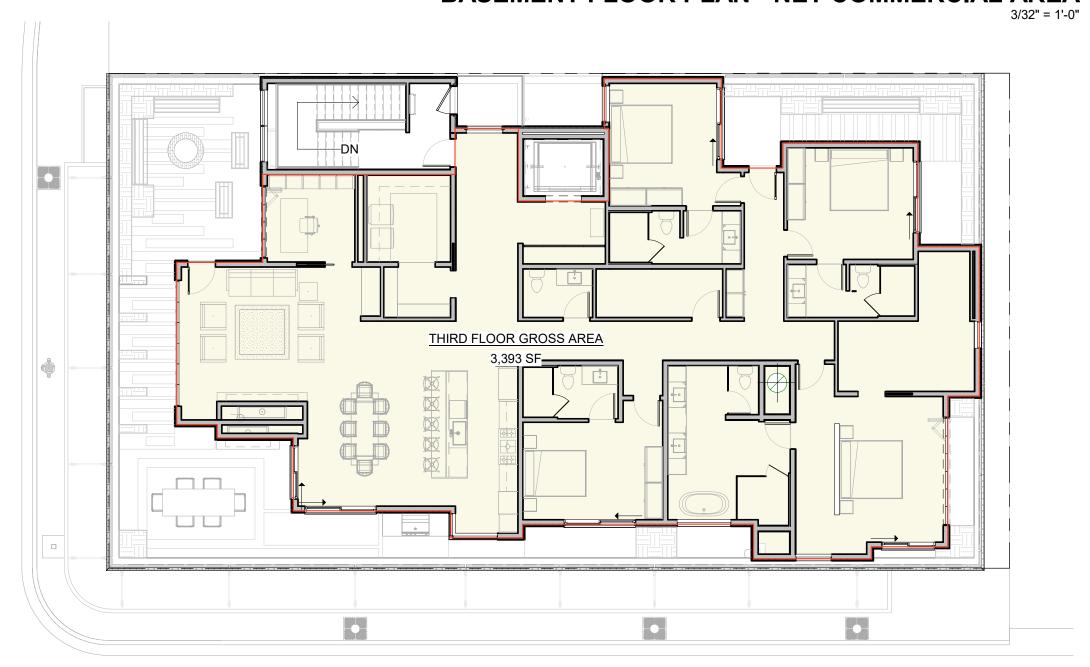
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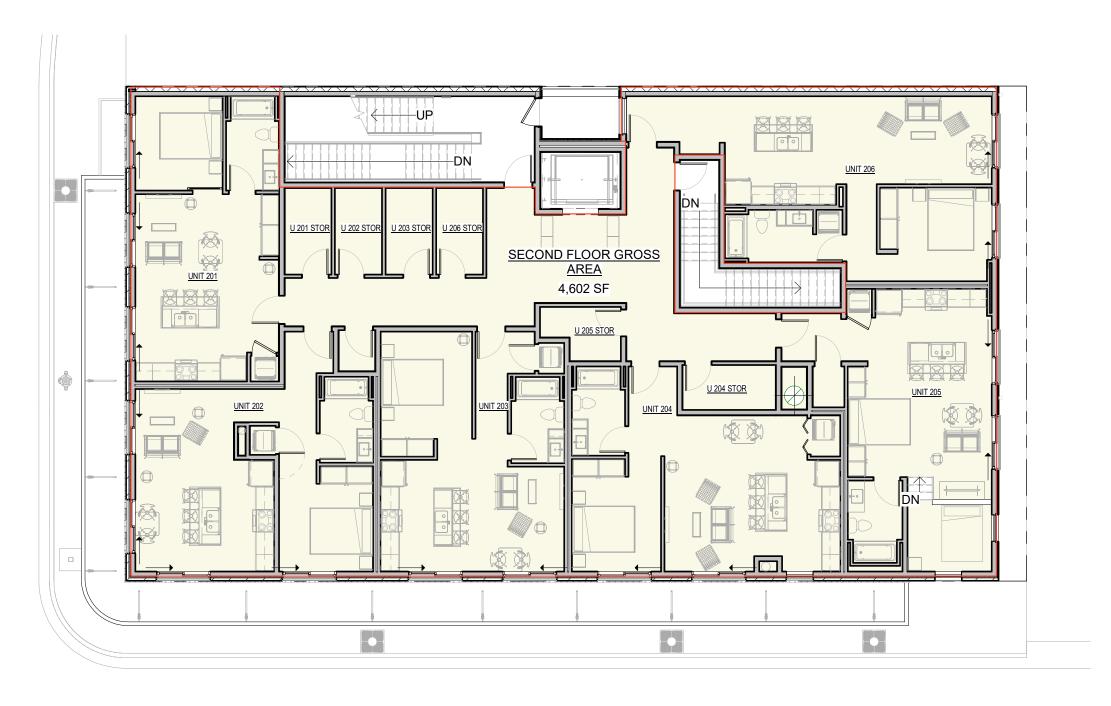
**GROUND FLOOR PLAN - NET COMMERCIAL AREA** 



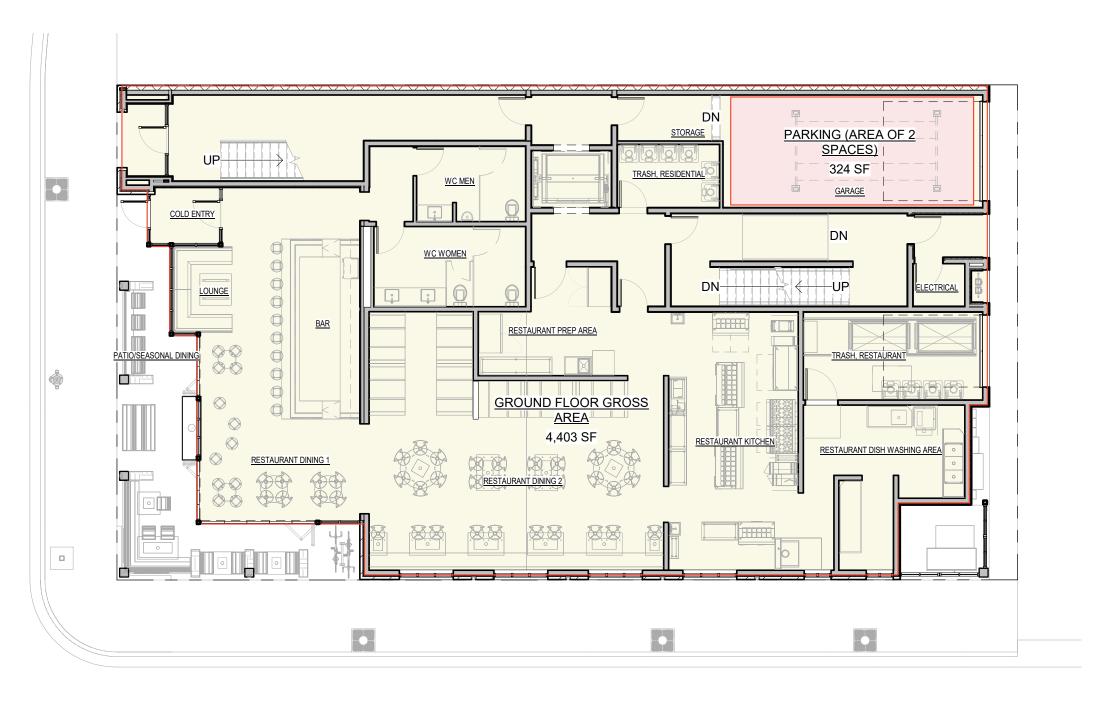
**BASEMENT FLOOR PLAN - NET COMMERCIAL AREA** 



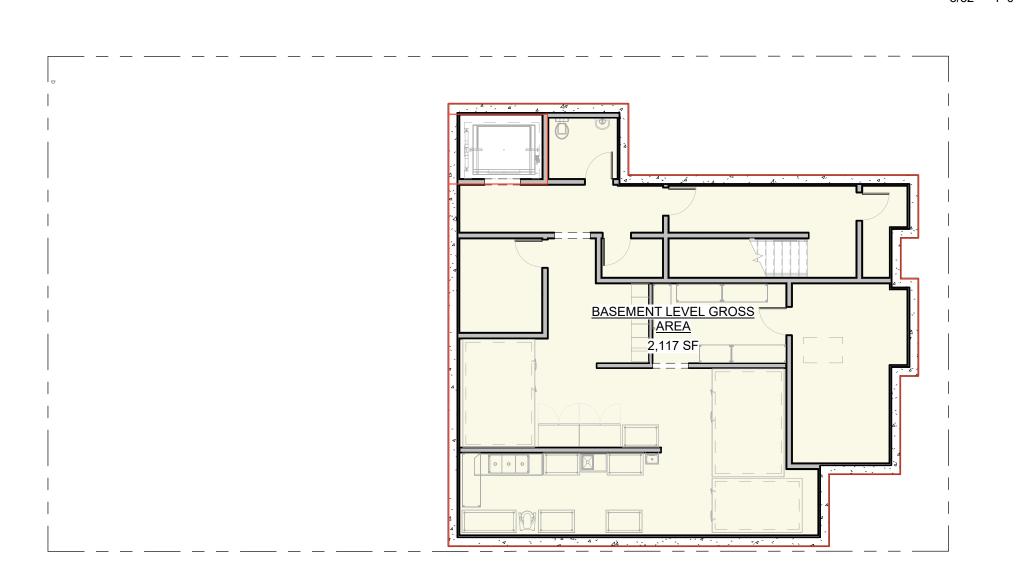
THIRD FLOOR PLAN - GROSS AREA



SECOND FLOOR PLAN - GROSS AREA



**GROUND FLOOR PLAN - GROSS AREA** 



AREA SCHEDULE			
AREA NAME	AREA	NOTES	
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA	
	2,117 SF		
GROUND FLOOR GROSS AREA	4,403 SF		
PARKING (AREA OF 2 SPACES)	324 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA	
	4,727 SF		
SECOND FLOOR GROSS AREA	4,602 SF		
	4,602 SF		
THIRD FLOOR GROSS AREA	3,393 SF		
	3,393 SF		
TOTAL FLOOR AREA	14,839 SF		

AREA	SCHEDULE	- GROSS - FAR
AREA NAME	AREA	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL
	4,403 SF	
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	THIRD FLOOR
	3,393 SF	
TOTAL GROSS FLOOR AREA*	12,398 SF	

\*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS

AREA SCHEDULE - NET - COMMERCIAL			
AREA NAME	AREA	LEVEL	
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL	
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL	
	1,169 SF		
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL	
	2,979 SF		
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF		

### FLOOR AREA RATIO

BUILDING GROSS AREA TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA 12,398 ÷ 5,503 = 2.25 FAR

### ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

MINIMUM HOUSING DENSITY

DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA = 4,148 ÷ 12,398 =

3 RESIDENTIAL UNITS REQUIRED 7 RESIDENTIAL UNITS PROVIDED 4 RESIDENTIAL UNITS OVER MINIMUM

# ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

GROUND FLOOR NET COMMERCIAL AREA 2,979 SF

# GROUND FLOOR GROSS AREA 4,403 SF

GROUND FLOOR COMMERCIAL AREA RATIO

DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA 2,979 ÷ 4,403 = 68% OF GROUND FLOOR AREA IS COMMERCIAL 13% OVER MINIMUM 55%

# INCLUSIONARY HOUSING INCENTIVE CALCULATION

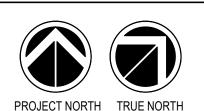
BUILDING GROSS AREA OVER 1.0 FAR 12,398 SF - 5,503 SF (1.0 FAR) = 6,895 SF

REQUIRED AREA OF DEED RESTRICTED HOUSING 6,895 SF X 20% = 1,379 SF 1,379 SF -15% (NET LIVABLE) = 1,172 SF REQUIRED AS DEED RESTRICTED

COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
UNIT 205 (600 SF) + UNIT 206 (692) = 1,292 SF DEED RETRICTED PROVIDED

**BASEMENT FLOOR PLAN - GROSS AREA** 

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

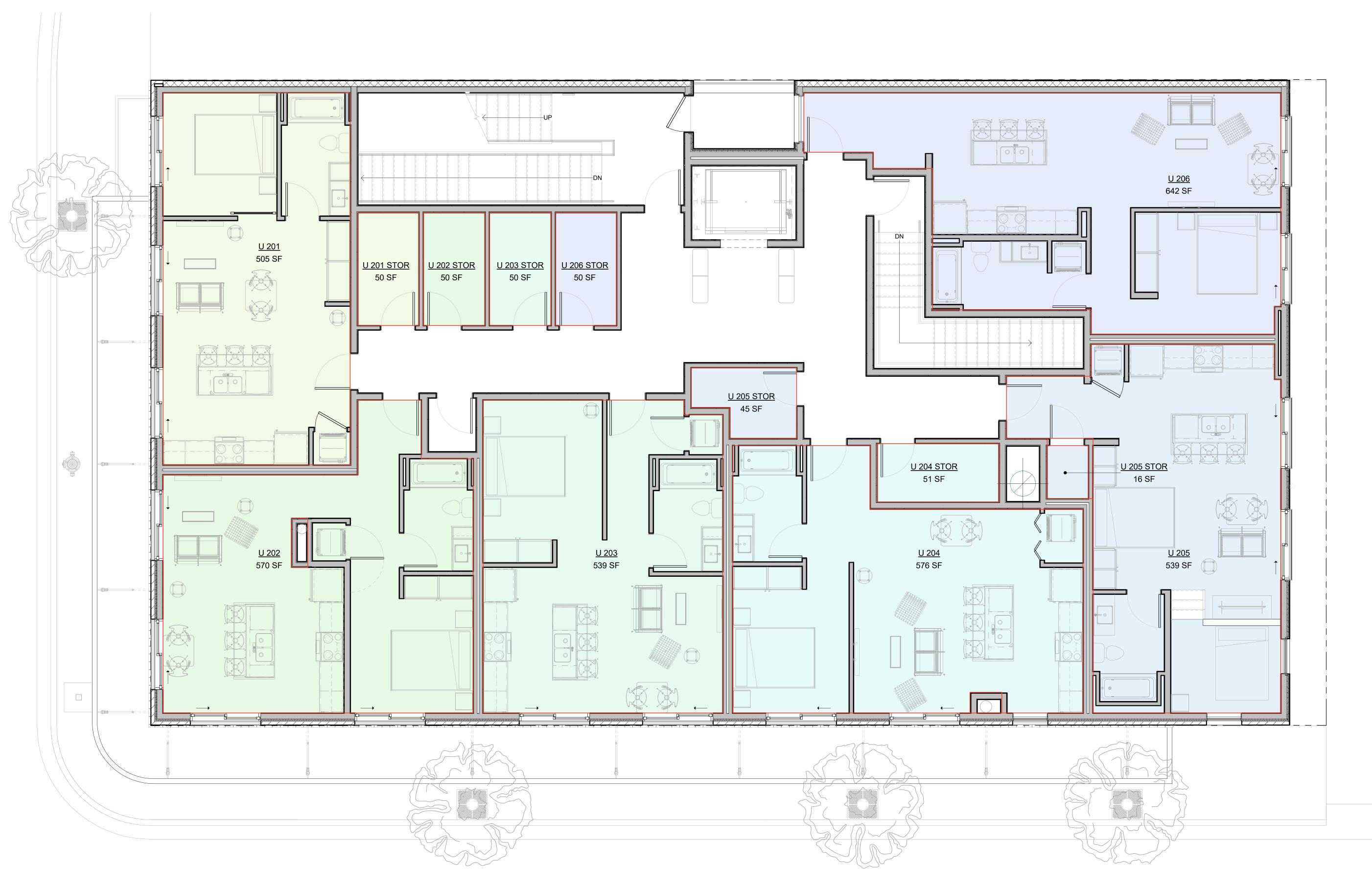


S C A L E: 3/32" = 1'-0"



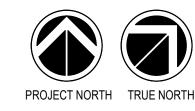
200 N. MAIN ST. KETCHUM, ID 83340

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	2ND FLOOR RESIDENTIAL UNITS
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS





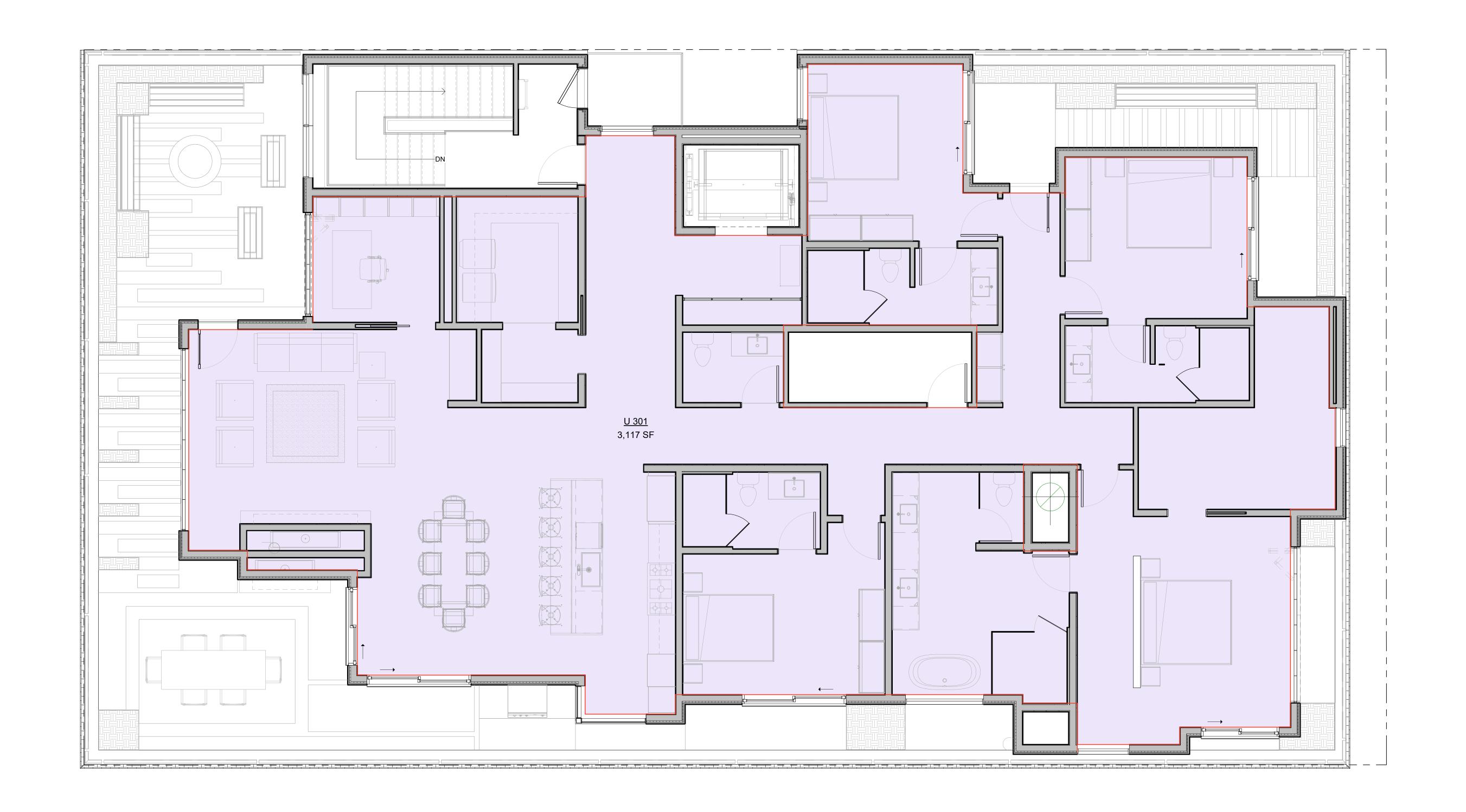


200 N. MAIN ST. KETCHUM, ID 83340

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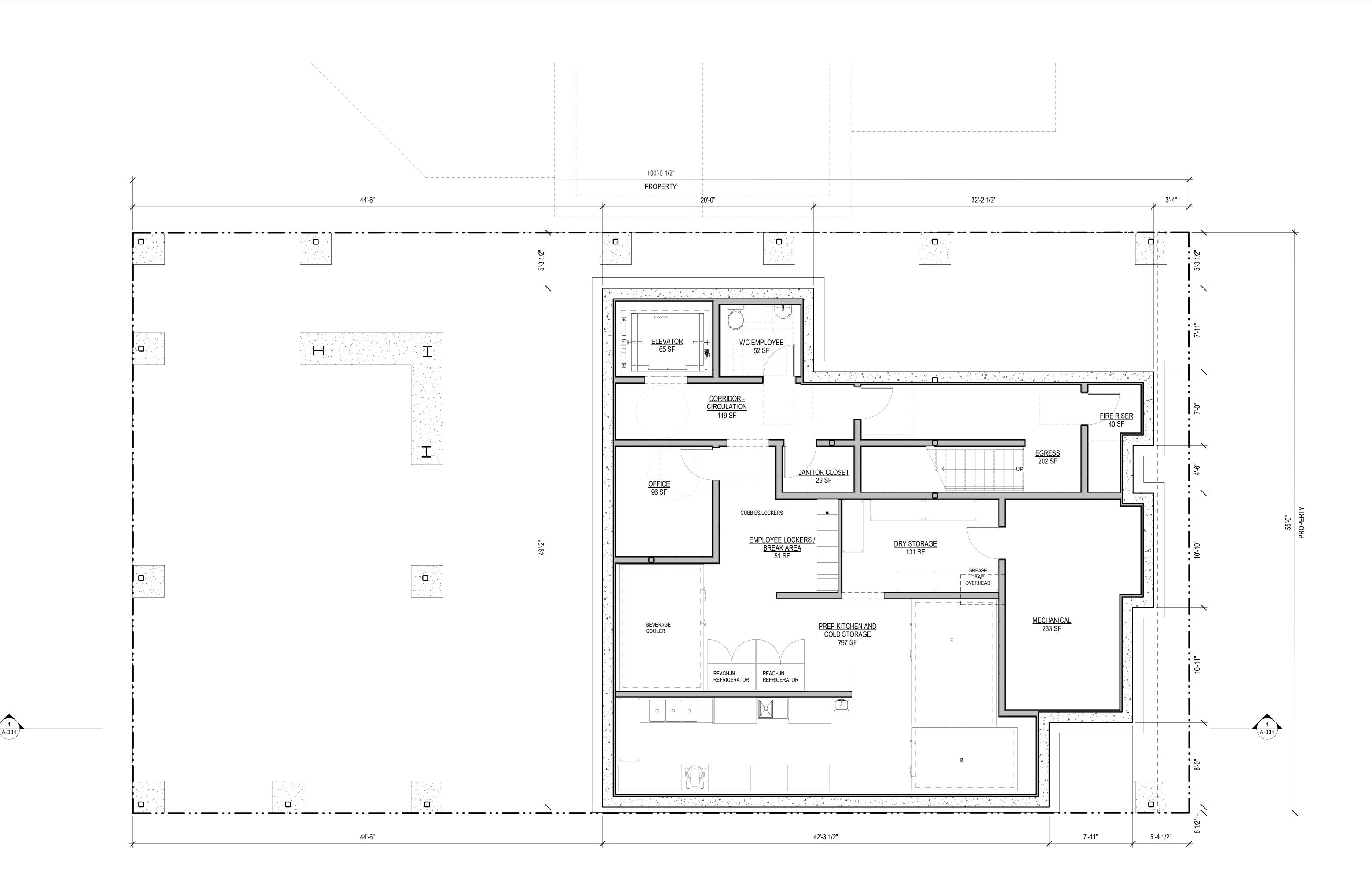




PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

S C A L E: 1/4" = 1'-0"





SITE DIMENSIONS & AREAS LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

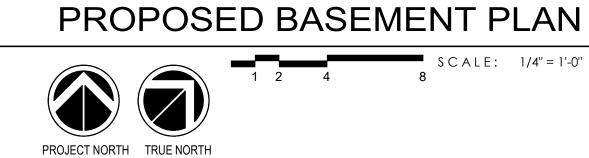
USE & OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-2 RESIDENTIAL GROUP R-2

**CONSTRUCTION TYPE** CONSTRUCTION TYPE: TYPE V-B

# **DRAWING NOTES**

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.





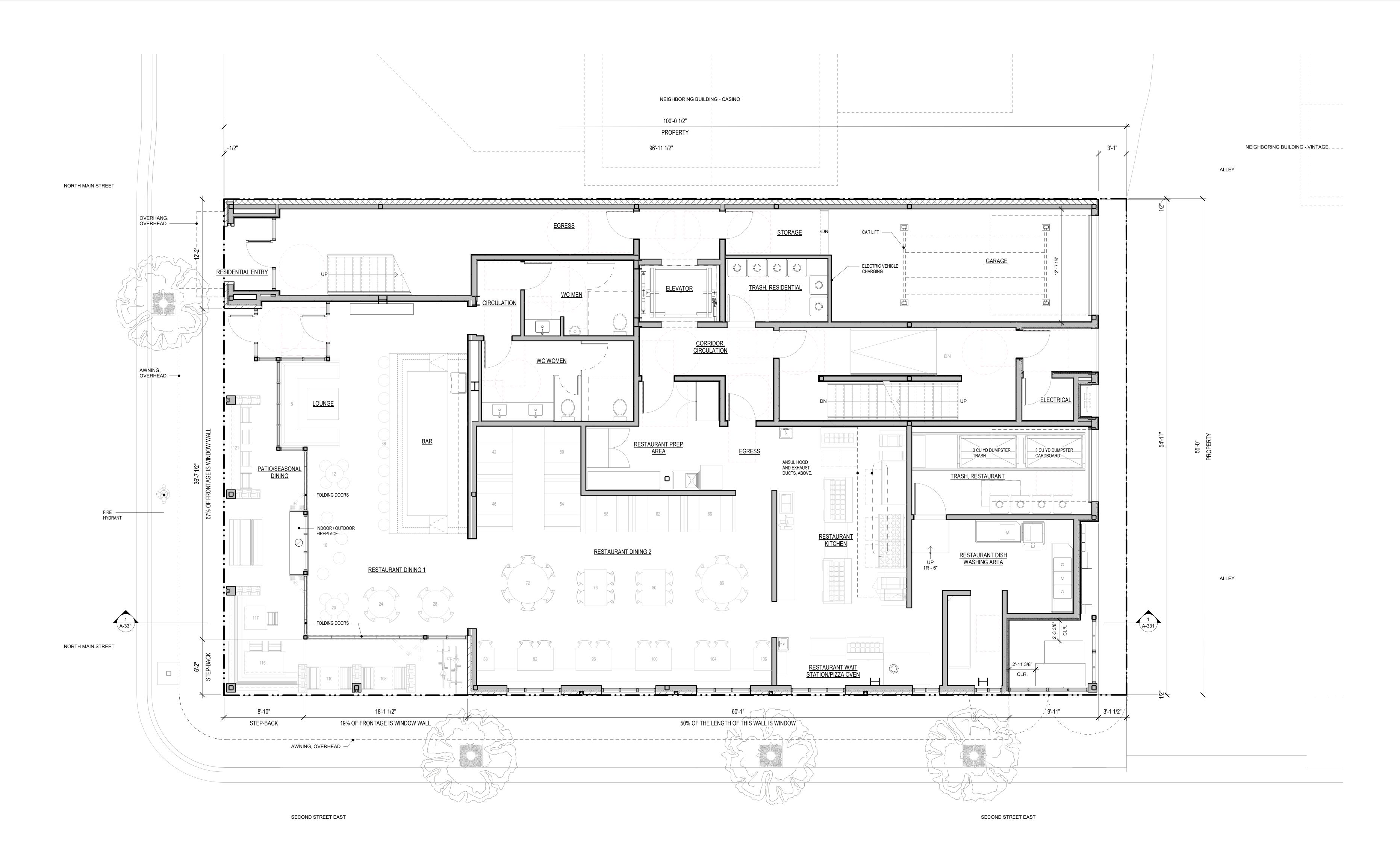
200 N. MAIN ST. KETCHUM, ID 83340

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SITE DIMENSIONS & AREAS LOT 1, BLOCK 3:  $\pm 55' \times \pm 100' = \pm 5503 \text{ SF} = \pm 0.126 \text{ ACRE}$ 

USE & OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-2 RESIDENTIAL GROUP R-2

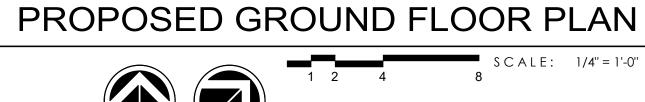
**SNOW STORAGE CALCULATION** NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

**CONSTRUCTION TYPE** CONSTRUCTION TYPE: TYPE V-B

# **DRAWING NOTES**

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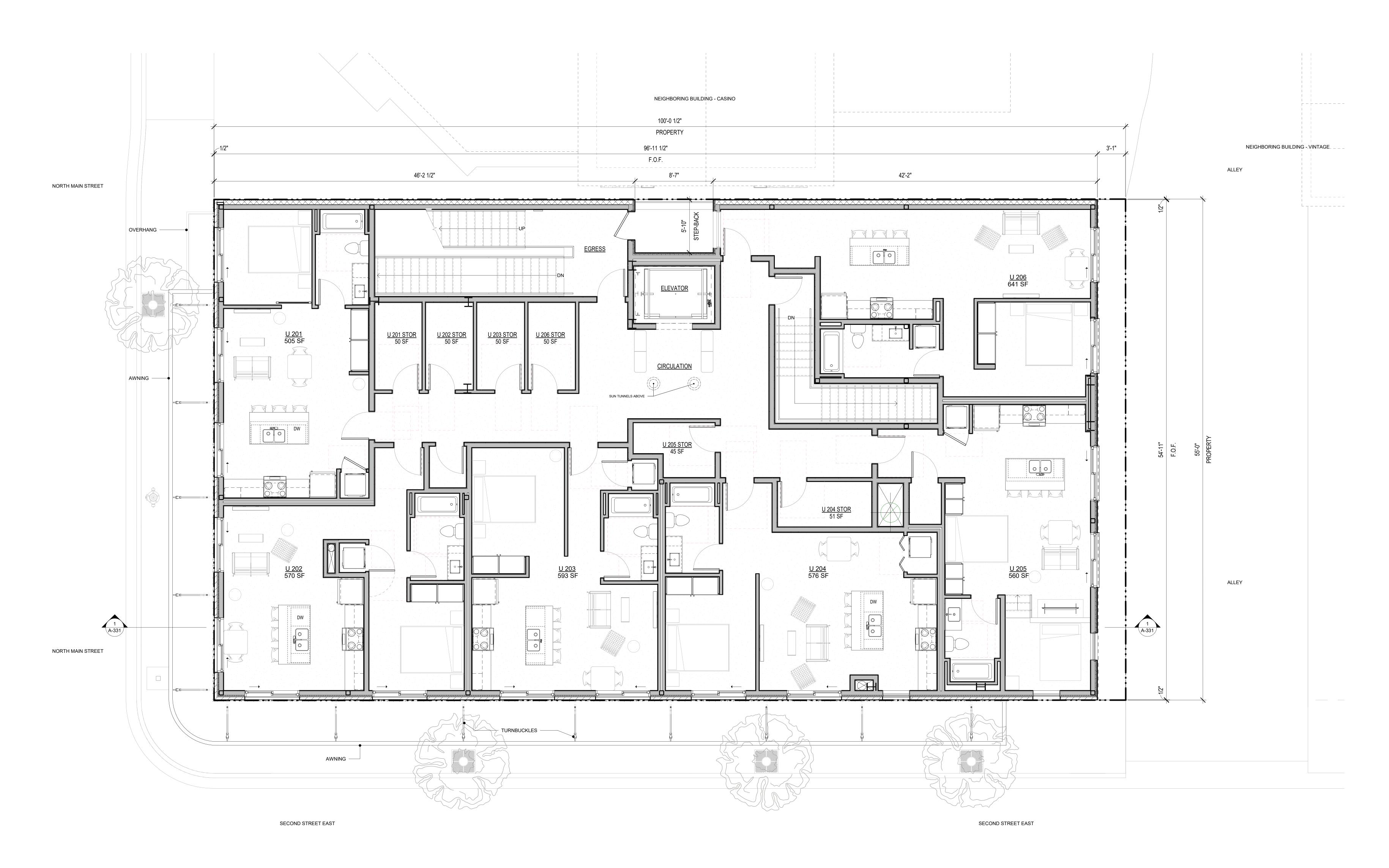
# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

**DESIGN REVIEW 2** 







PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE **CONSTRUCTION TYPE** CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-2 RESIDENTIAL GROUP R-2

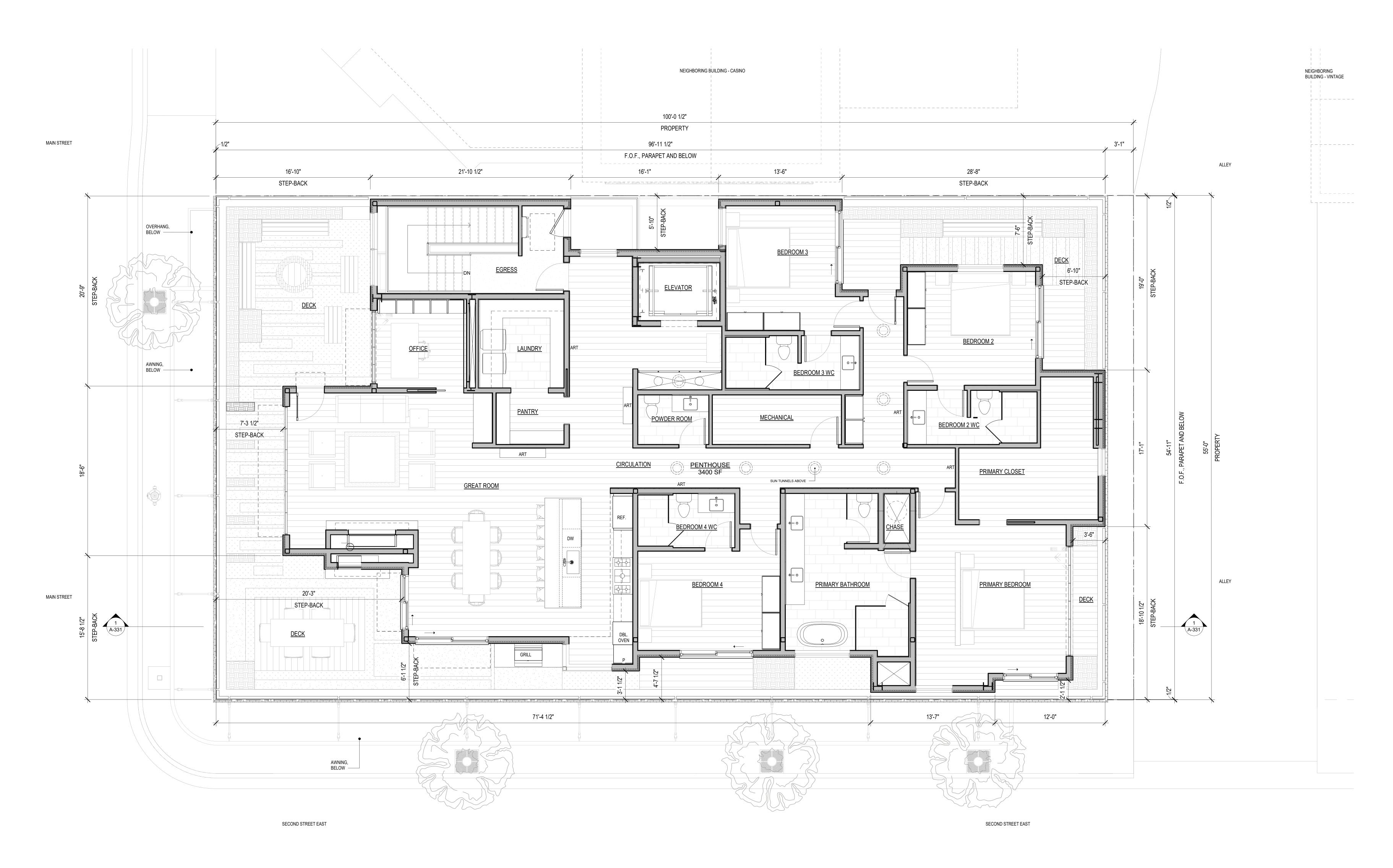
# 200 NORTH MAIN

PROJECT NORTH TRUE NORTH

200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2

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PROPOSED THIRD FLOOR PLAN

SITE DIMENSIONS & AREAS LOT 1, BLOCK 3:  $\pm 55' \times \pm 100' = \pm 5503 \text{ SF} = \pm 0.126 \text{ ACRE}$ 

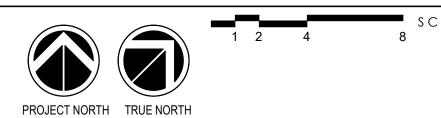
USE & OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-2 RESIDENTIAL GROUP R-2

**CONSTRUCTION TYPE** CONSTRUCTION TYPE: TYPE V-B

## **DRAWING NOTES**

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

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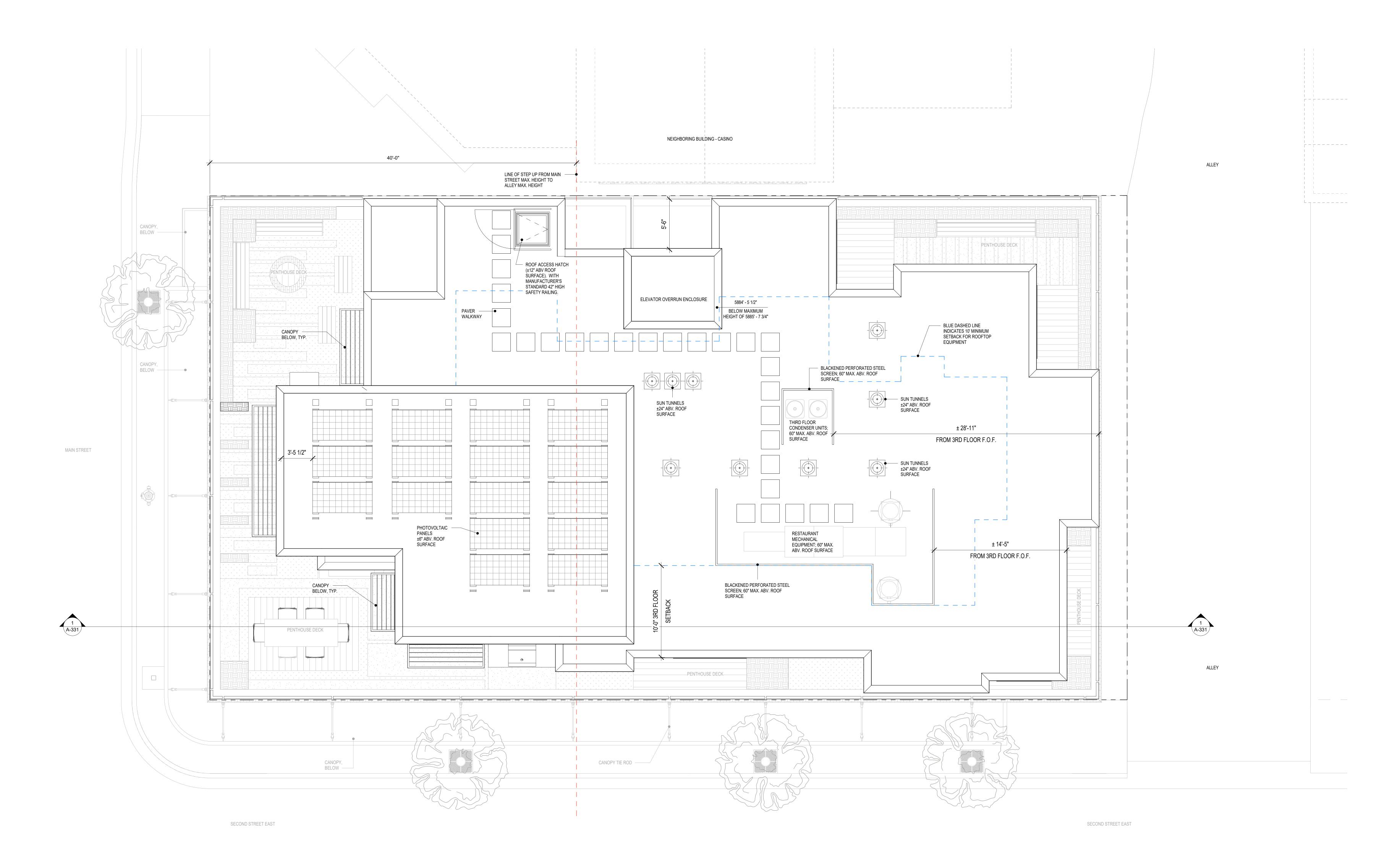
# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

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# PROPOSED ROOF PLAN

## **DRAWING NOTES**

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.



# 200 NORTH MAIN

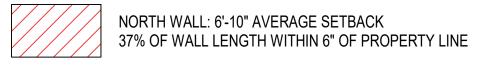
200 N. MAIN ST. KETCHUM, ID 83340

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## THIRD FLOOR SETBACK DIAGRAM



NORTH WALL: 6'-10" AVERAGE SETBACK



SOUTH WALL: 6'-0" AVERAGE SETBACK 15% OF WALL LENGTH WITHIN 6" OF PROPERTY LINE



EAST WALL: 9'-7" AVERAGE SETBACK
31% OF WALL LENGTH WITHIN 6" OF 3-FOOT ALLEY SETBACK



WEST WALL: 17'-1" AVERAGE SETBACK
0% OF WALL LENGTH WITHIN 6" OF PROPERTY LINE

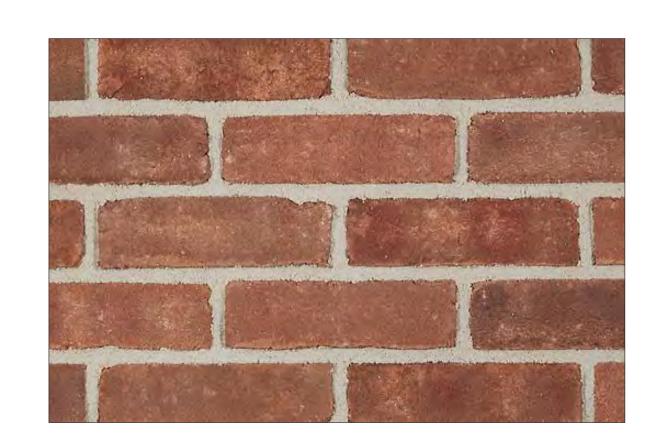
## 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

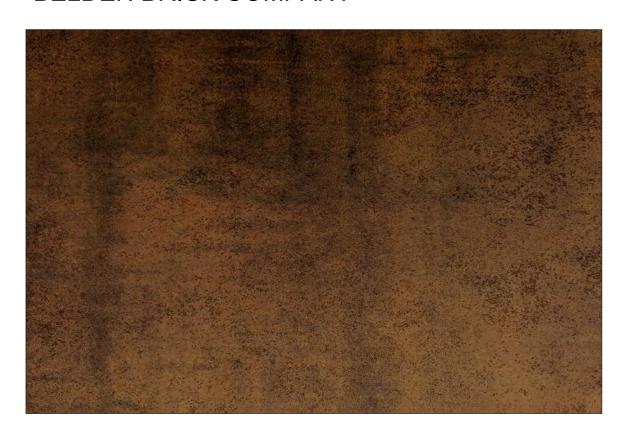
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EXTERIOR FINISH 1 (EF-1): FULL SIZE BRICK, SANDMOLD TEXTURE RED COLOR, SAND COATING BELDEN BRICK COMPANY



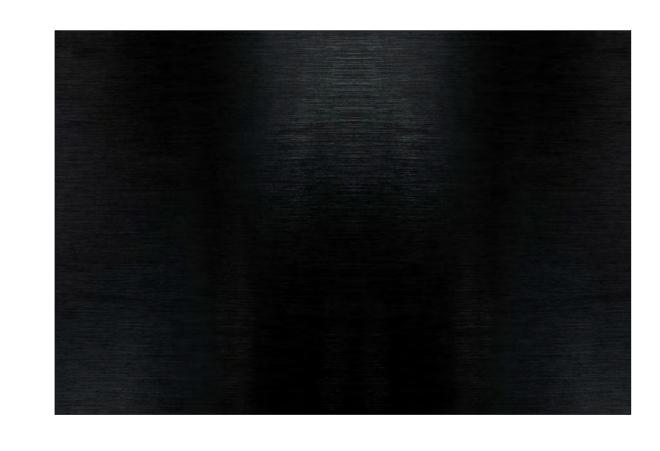
EXTERIOR FINISH 6 (EF-6): NEOLITH SINTERED STONE SIDING PANELS; IRON CORTEN



EXTERIOR FINISH 2 (EF-2): INDIANA LIMESTONE COLOR: FULL COLOR BLEND



WINDOW AND DOOR SYSTEM BLACK METAL FINISH



EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



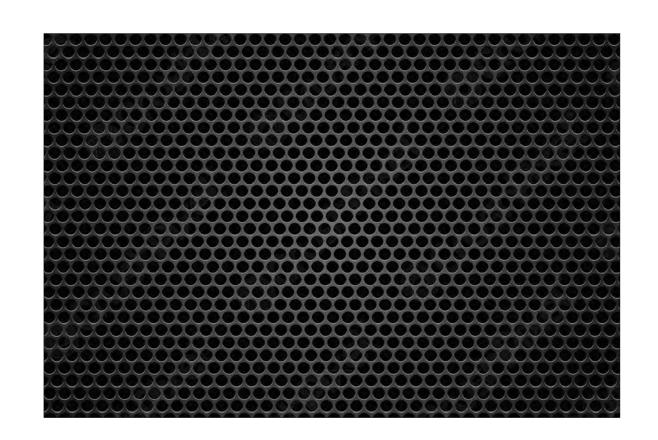
WINDOW AND DOOR SYSTEM BLACK METAL FINISH



EXTERIOR FINISH 4 (EF-4):
MATAVERDE PREMIUM DECKING AND SIDING
SOLUTIONS: THERMALLY MODIFIED HEM-FIR



WINDOW AND DOOR SYSTEM BLACK METAL FINISH



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM

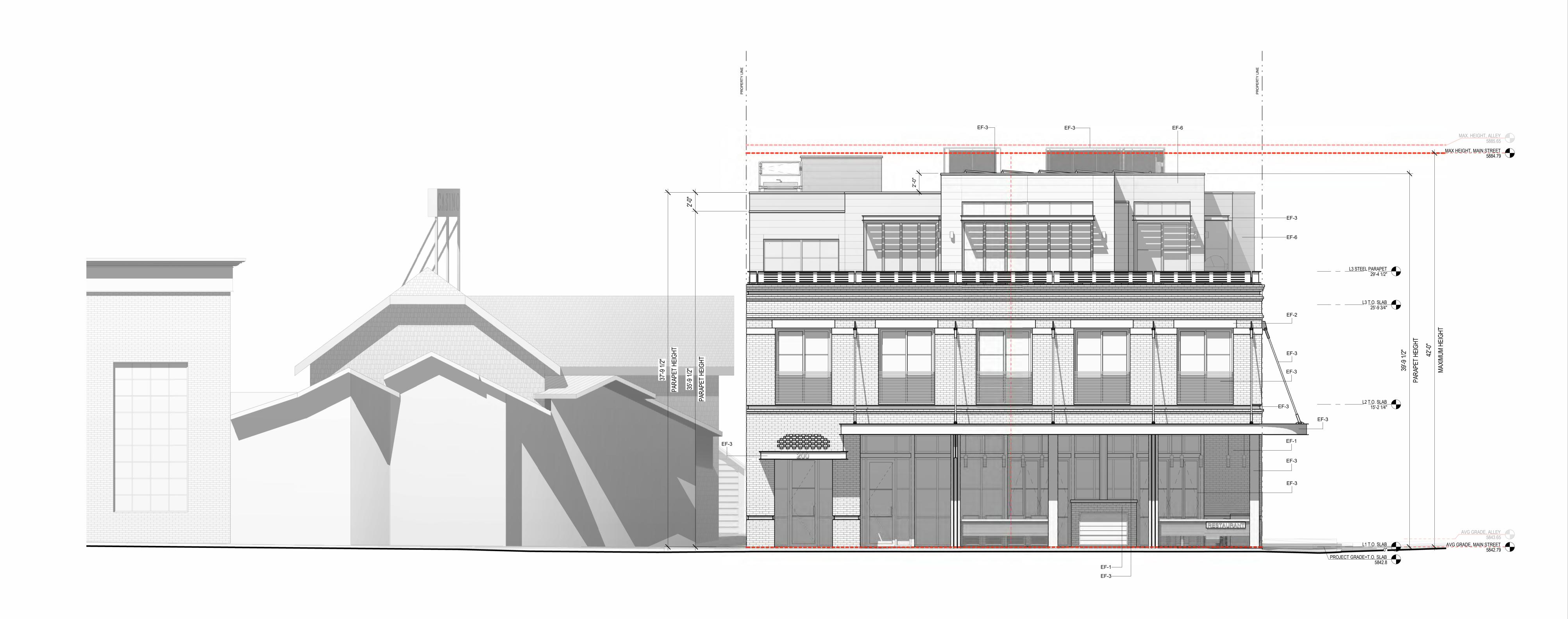


WINDOW AND DOOR SYSTEM BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN ST. 200 N. MAIN ST. KETCHUM, ID 83340

☐ Michael Doty Associates, Architec 74



### PROPOSED BUILDING ELEVATIONS - WEST

**BUILDING HEIGHT - MAXIMUM - CALCULATION** 

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0" = AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' = 11685.57' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' = 11687.29' / 2 = 5843.65'

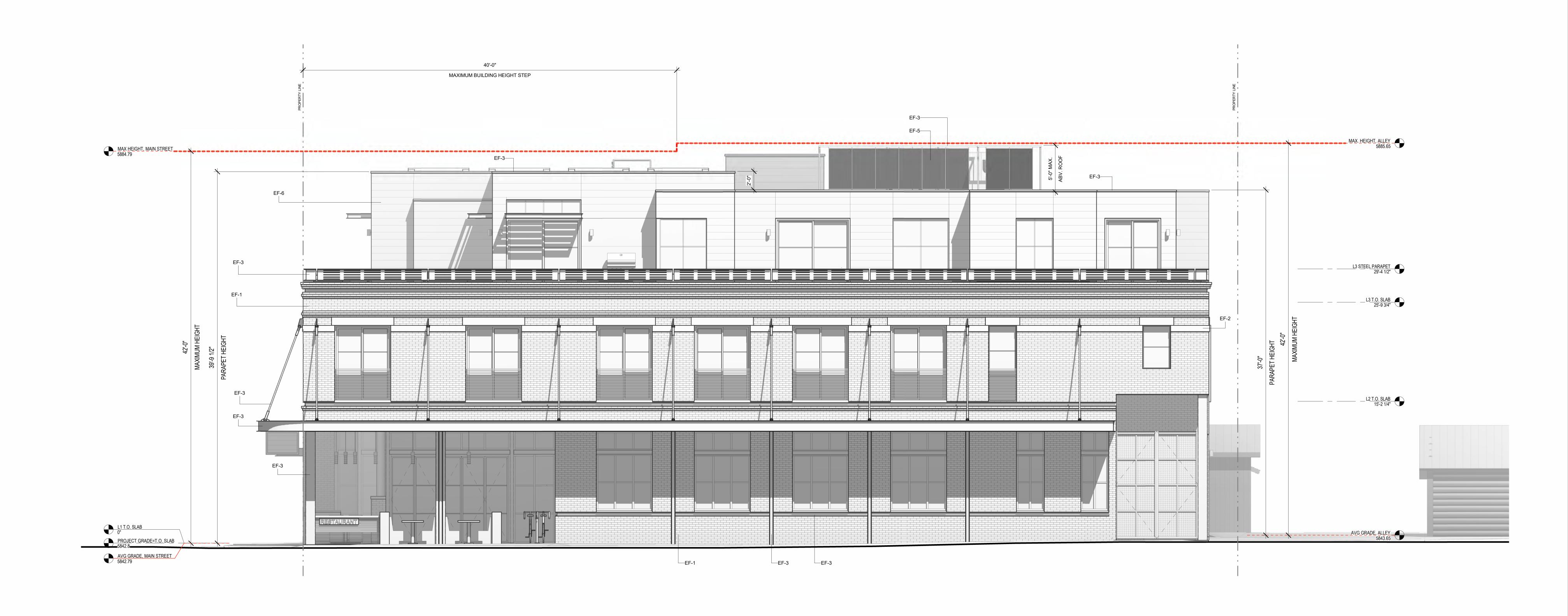
EAST PROPERTY LINE MAXIMUM HEIGHT = 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

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### PROPOSED BUILDING ELEVATIONS - SOUTH

**BUILDING HEIGHT - MAXIMUM - CALCULATION** 

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE = EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0" = WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS = AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80' SE CORNER GROUND ELEVATION = 5843.40' NW CORNER GROUND ELEVATION = 5842.77' NE CORNER GROUND ELEVATION = 5843.89'

= 5842.80' + 5842.77' = 11685.57' / 2 = 5842.79' = 5843.40' + 5843.89' = 11687.29' / 2 = 5843.65'

EAST PROPERTY LINE MAXIMUM HEIGHT

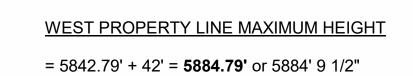
= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"



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PROPOSED BUILDING ELEVATIONS - EAST

**BUILDING HEIGHT - MAXIMUM - CALCULATION** 

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0" = EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS = AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77' SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'

= 5842.80' + 5842.77' = 11685.57' / 2 = 5842.79' = 5843.40' + 5843.89' = 11687.29' / 2 = 5843.65'

EAST PROPERTY LINE MAXIMUM HEIGHT

= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE



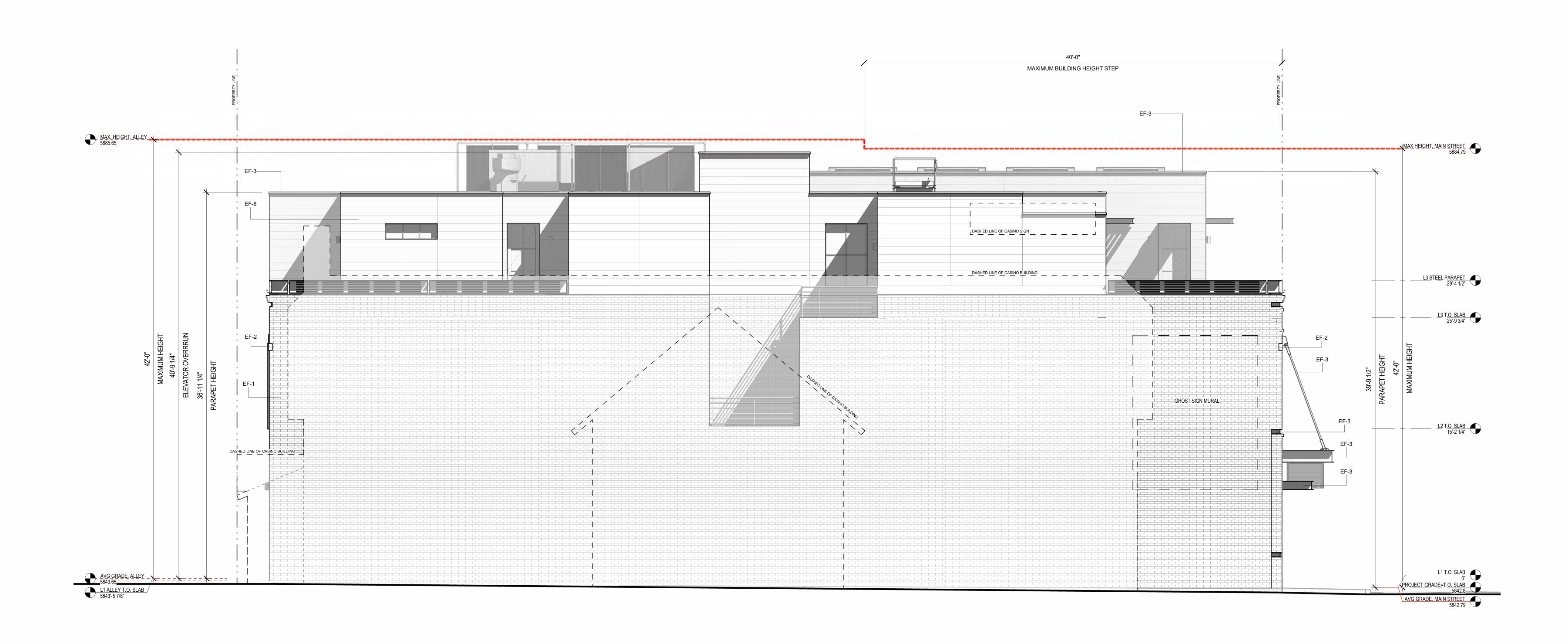
200 N. MAIN ST. KETCHUM, ID 83340

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PROPOSED BUILDING ELEVATIONS - NORTH



### **BUILDING HEIGHT - MAXIMUM - CALCULATION**

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0" = AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' = 11685.57' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT = 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE = EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0" = AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89' = 5843.40' + 5843.89' = 11687.29' / 2 = 5843.65' EAST PROPERTY LINE MAXIMUM HEIGHT = 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

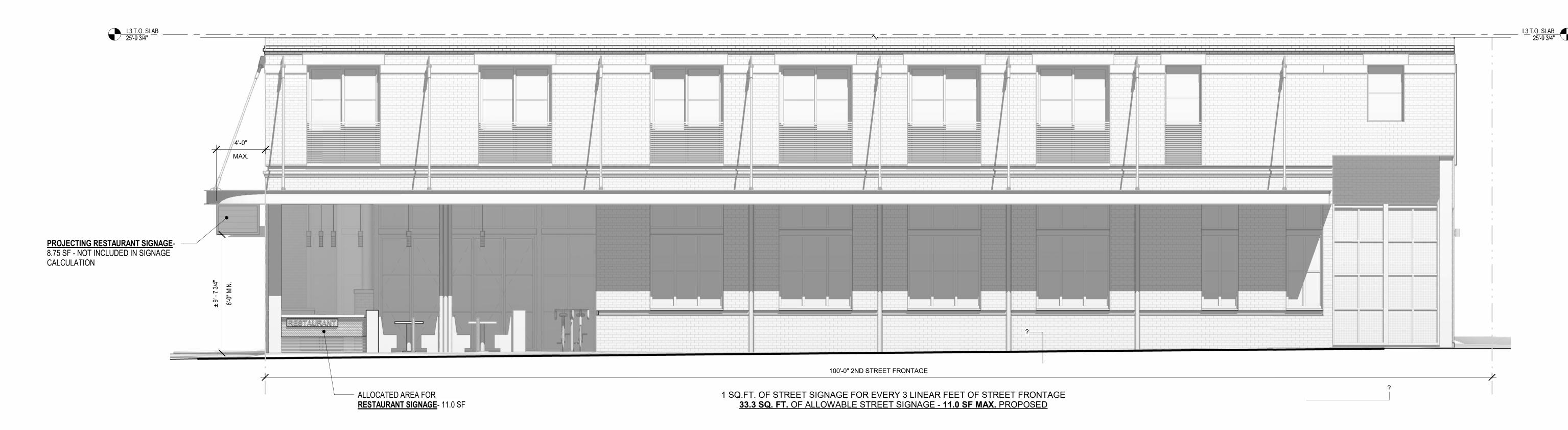
200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

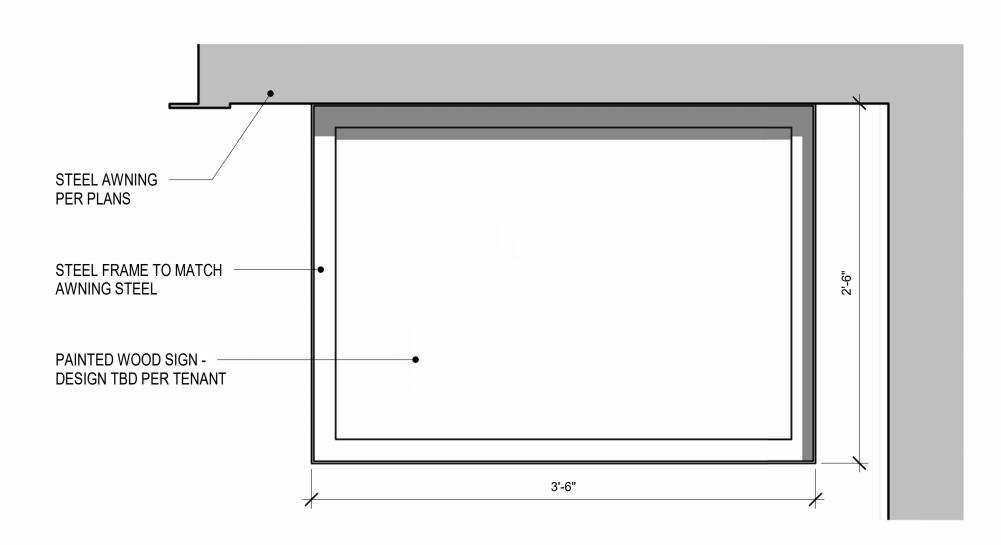
DESIGN REVIEW 2

1/17/2024

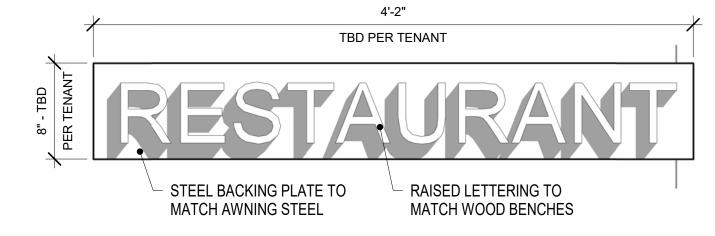




# 2ND STREET FRONTAGE SIGNAGE 1/4" = 1'-0" 2











MAIN STREET FRONTAGE SIGNAGE

1 2 4 8 1/4" = 1'-0"

PROPOSED BUILDING SIGNAGE

SCALE: As indicated

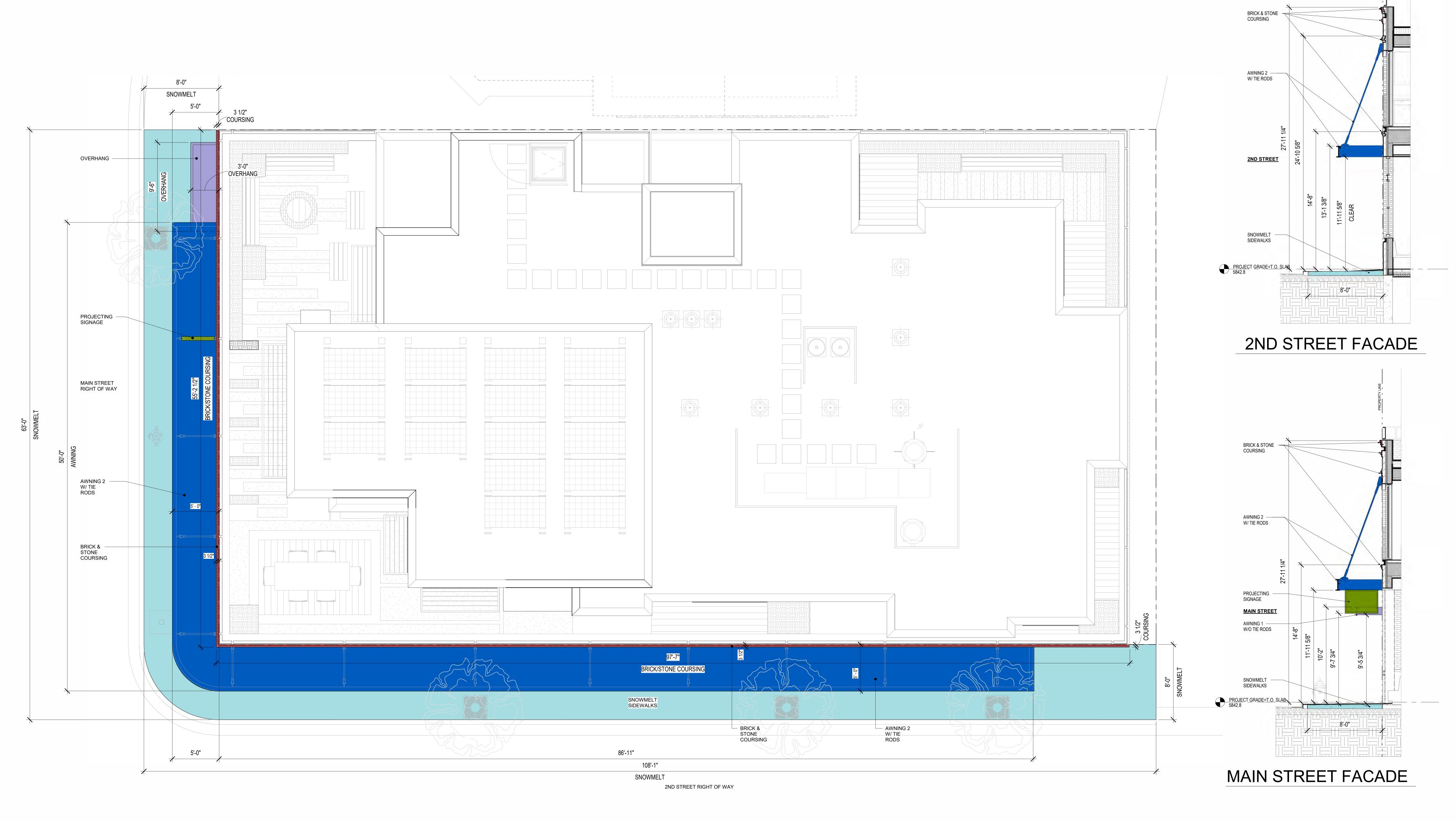
# 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

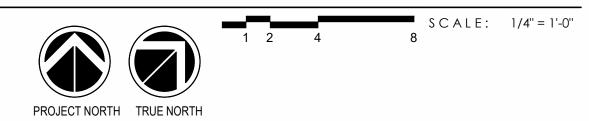
> DESIGN REVIEW 2 1/17/2024

A-3

☐ Michael Doty Associates, Architect 79



## PROPOSED RIGHT-OF-WAY ENCROACHMENT



## AWNING 1 WITHOUT TIE RODS 2'-11 1/2" ENCROACHMENT ON MAIN STREET RIGHT OF WAY AWNING 2 WITH TIE RODS 5'-0" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY; INCLUDES COMMERCIAL AND STREET LIGHTING BRICK & STONE COURSING 3 1/2" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY SIDEWALK SNOW MELT

ENCROACHMENT AND CONDITIONAL USE LEGEND

8' ENCROACHMENT (FULL SIDEWALK WIDTH) ON MAIN STREET & 2ND STREET RIGHT OF WAY

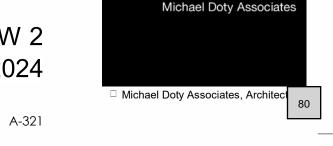
PROJECTING SIGNAGE
4' ENCROACHMENT ON MAIN STREET RIGHT OF WAY

## 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2

1/17/2024





PROPOSED BUILDING SECTION



## 200 NORTH MAIN

200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2

1/17/2024

☐ Michael Doty Associates, Architect 81



**EXISTING WEST PERSPECTIVE** 



200 N. MAIN ST. KETCHUM, ID 83340

DESIGN REVIEW 2 1/17/2024

☐ Michael Doty Associates, Architect 82



ORIGINAL DESIGN WEST PERSPECTIVE





PROPOSED REVISION WEST PERSPECTIVE





**EXISTING WEST PERSPECTIVE** 





PROPOSED REVISION WEST PERSPECTIVE





**EXISTING SOUTH PERSPECTIVE** 





ORIGINAL DESIGN SOUTH PERSPECTIVE





PROPOSED REVISION SOUTH PERSPECTIVE





**EXISTING SOUTH PERSPECTIVE** 





PROPOSED REVISION SOUTH PERSPECTIVE





EXISTING NORTH PERSPECTIVE





PROPOSED REVISION NORTH PERSPECTIVE





PROPOSED REVISION NORTH PERSPECTIVE





EXISTING EAST PERSPECTIVE





PROPOSED REVISION EAST PERSPECTIVE





EXISTING MAIN STREET PERSPECTIVE





ORIGINAL DESIGN MAIN STREET PERSPECTIVE





PROPOSED REVISION MAIN STREET PERSPECTIVE





IN RE:

200 North Main ) KETCHUM PLANNING AND ZONING COMMISSION Conditional Use Permit ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND

Application File Number: P23-049A ) DECISION

Date: March 12, 2024

PROJECT: 200 North Main

**APPLICATION TYPE:** Conditional Use Permit

FILE NUMBER: P23-049A

ASSOCIATED APPLICATIONS: Design Review (Application File No. P23-049)

PROPERTY OWNER: 200 North Main LLC, Kenneth & Ann Dudunakis, Managing Members

**REPRESENTATIVE:** Michael Doty Associates, Architects

**LOCATION:** 200 North Main Street

(Ketchum Townsite: Block 3: Lots 1))

**ZONING:** Community Core – Subdistrict 1 – Retail Core (CC-1)

OVERLAY: None

### **RECORD OF PROCEEDINGS**

The Planning and Zoning Commission (the "Commission") considered the 200 North Main Conditional Use Permit Application File No. P23-049A during their meetings on December 12, 2023 and February 13, 2024. The application was considered concurrently with Design Review Application File No. P23-049, and the public hearings were combined in accordance with Idaho Code §67-6522.

### Public Hearing Notice & Public Comment

The public hearing for this project was continued to a date uncertain from the Planning and Zoning Commission Meeting on December 12, 2023. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on January 24, 2024. The public hearing notice was published in the Idaho Mountain Express on January 24, 2024. A notice was posted on the project site and the city's website on January 29, 2024. The building corners were staked and the story pole was installed on the project site on February 6, 2024. After considering Staff's analysis, the applicant's

presentation, and public comment, the Commission approved Design Review Application File No. P23-049 subject to conditions.

#### FINDINGS OF FACT

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing to develop a new 12,405-gross-square-foot mixed-use building, called 200 North Main (the "project"), at the northeast corner of Main and 2<sup>nd</sup> Streets (the "subject property") located within the Retail Core of the Community Core ("CC-1 Zone"). As proposed, the project includes 2,979 square feet of restaurant space on the ground-level with frontage along both Main and 2<sup>nd</sup> Streets, six one-bedroom apartments ranging in size from 505 to 642 square feet on the second floor, and a penthouse on the third floor. Two of the apartments on the second floor will be deed-restricted community housing units for rent.

The project site is adjacent to: (a) the Casino to the north along Main Street, (b) the Rocky Mountain Hardware building to the south along Main Street, (c) the Leadville Trading building currently under construction to the east across the alley, and (d) the Sun Valley Culinary Institute and Sawtooth Club buildings to the west across Main Street. The subject property is comprised of one lot within the original Ketchum townsite that was created in 1948. The corner lot is developed with an existing building that was originally constructed in 1959 and is proposed to be demolished.

The project is subject to the standards of Interim Ordinance 1234 ("interim ordinance") as the applications were deemed complete after the effective date of the interim ordinance and prior to the adoption of permanent Ordinance 1249. The development of the proposed mixed-use building is subject to Design Review pursuant to Ketchum Municipal Code ("KMC") §17.96.010.A4. The Conditional Use Permit application requests an adjustment to the interim ordinance standard requiring that individual residential units not exceed a total floor area of 3,000 square feet. The proposed third-floor penthouse has a total floor area of 3,400 square feet. The Planning and Zoning Commission (the "Commission") has the authority to review and approve the applicant's Design Review and Conditional Use Permit requests pursuant to KMC §17.96.030.B and §17.116.040.

The six one-bedroom apartments on the second floor are less than 750 square feet in size and do not require parking pursuant to KMC §17.125.040.C1b. In addition, two of these apartments are proposed to be deed-restricted community housing units, which are exempt from providing parking pursuant to KMC §17.125.040.C.1a. All six apartments have 50-square-foot storage areas on the second floor designated to each unit. The restaurant is exempt from providing parking pursuant to KMC §17.125.040.C.1b. The third-floor penthouse requires two parking spaces. Parking and storage for the penthouse is provided within a private garage on the ground floor accessed from the alley.

The project will construct right-of-way improvements, including new sidewalks, alley asphalt, drainage facilities, streetlights, and street trees, in accordance with city standards. The City Engineer, Streets Department, and City Arborist have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change

Conditional Use Permit Application File No. P23-049A: 200 North Main Findings of Fact, Conclusions of Law, and Decision Planning and Zoning Commission Meeting of March 12, 2024

Page 2 of 7

depending on the final design of the Main Street reconstruction project. The City Engineer, Streets Department, City Arborist, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project. The applicant must obtain a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing.

The project is proposing to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing. The applicant has proposed mitigating the additional floor area by dedicating two on-site community housing units as deed-restricted rentals targeted for Blaine County Housing Authority Income Category 4. The mixed-use building is 12,405 gross square feet and the proposed FAR is 2.25.

The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that "housing should be integrated into the downtown core" (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance's minimum residential density requirements, the project is required to include at least three dwelling units. 200 North Main exceeds the minimum density requirements by providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th Streets, providing access to all the major transit routes that can connect future residents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, "Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households." The project provides six apartments on the second floor, two of which will be deed-restricted community housing units.

The 200 North Main project complies with all zoning code requirements, Interim Ordinance 1234, Design Review standards, and Conditional Use Permit criteria.

### Findings Regarding Conditional Use Permit Criteria

	Thraings Regarding Conditional OSC Fermit Citteria								
	Conditional Use Requirements								
EVALU	EVALUATION STANDARDS: 17.116.030 and § 67-6512 of Idaho Code								
A conditional use permit shall be granted by the commission only if the applicant demonstrates the following:									
Conditional Use Permit Criteria and Commission Finding									
Yes	No	N/A	CUP Criteria	Ketchum Municipal Code Standards and Commission Finding					
$\boxtimes$	☐ ☐ 17.116.030(A) The characteristics of the conditional use will not be unreasonably incompati		The characteristics of the conditional use will not be unreasonably incompatible						
		with the types of uses permitted in the applicable zoning district.							
			Commission	Only pedestrian-activated commercial uses like retail and restaurants are permitte					
			Finding	on the ground floor with street frontage in the Retail Core. The proposed					
				development provides a ground-level restaurant fronting Main and 2 <sup>nd</sup> Streets.					
Multi-family dwelling units are permitted in the Retail Core except for on									
				floor with street frontage pursuant to KMC §17.12.020. Pursuant to KMC					
				\$17.18.130, "compatible mixed uses including retail, office, residential and cultural					
				uses are encouraged." Many residential units are located within the Retail Core of					

Conditional Use Permit Application File No. P23-049A: 200 North Main Findings of Fact, Conclusions of Law, and Decision Planning and Zoning Commission Meeting of March 12, 2024

			the Community Core (CC-1 Zone). The characteristics of the residential use of the penthouse will not be unreasonably compatible with the types of uses permitted in
			the Retail Core.
$\boxtimes$		1	The conditional use will not materially endanger the health, safety and welfare of the community.
		Commission Finding	The Fire Department has conducted a preliminary review of the project plans and believes the project complies with life safety standards. The building and fire departments will conduct final review of the project plans for compliance with life safety and building code requirements prior to issuance of a building permit for the project.
			The project generally conforms to the goals and policies of the 2014 Comprehensive Plan and will support the overall welfare of downtown and the community. See Commission Finding provided for KMC §17.116.030.E.
			The conditional use is such that pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood.
		Commission Finding	The project site is fully connected to sidewalks providing a protected pedestrian path from surrounding businesses, transportation stops, and parking areas. The penthouse is required to provide two off-street parking spaces pursuant to KMC §17.125.040.C1b. Parking and storage for the penthouse is provided within a garage on the ground floor accessed from the alley.
			The conditional use will be supported by adequate public facilities or services and will not adversely affect public services to the surrounding area or conditions can be established to mitigate adverse impacts.
		Commission Finding	The 200 North Main Design Review and Conditional Use Permit applications were reviewed concurrently by planning staff and city departments, including streets, fire, water, wastewater, building, and engineering, for code compliance. The applicant has provided letters from Idaho Power and Clear Creek Disposal stating that the project will be served electric and garbage collection services.
$\boxtimes$			The conditional use is not in conflict with the policies of the Comprehensive Plan or the basic purposes of this section.
		_	The 2014 Comprehensive Plan ("comprehensive plan") is the foundational guiding document for land use decisions within the city. The comprehensive plan provides the strategy to achieve the community's vision for the future of Ketchum. This strategy establishes goals and policies for long-term growth and future development within the city.  The comprehensive plan describes ten core values that shape the community's vision for the desired future of Ketchum. The ten core values include a vibrant downtown, community character, a variety of housing options, and a strong and diverse economy. Downtown's built environment plays a key role in realizing the community's vision for the future of Ketchum.

Page **4** of **7** 

The comprehensive plan designates the future land use of the subject property as Retail Core—the city's key gathering place for residents and visitors for shopping, dining, and entertainment. The future land use plan states:

The community's primary shopping district is the Retail Core. The Retail Core provides a variety of mixed-use buildings that ground-floor storefronts. Specialty hops, restaurants, and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment. Convenient shopping and dining is served by sidewalks, parking, and bike access. Upper floors include a mix of residential uses and offices (page 69).

200 North Main aligns with the future land use plan for the Retail Core. The project provides a restaurant on the ground-floor that fronts Main and 2nd Streets. The design includes an outdoor dining area at the street corner redevelopment project provides a ground-floor restaurant that fronts Main and 2nd Streets with an outdoor dining area with custom-built tables, bar top, and seating. The outdoor dining area will facilitate an activated, pedestrian-friendly environment at the street corner that will enliven Ketchum's dynamic downtown by facilities the social connections that build community.

The comprehensive plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that "housing should be integrated into the downtown core" (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). Pursuant to the interim ordinance's minimum residential density requirements, the project is equired to include at least three dwelling units. 200 North Main exceeds the minimum density requirements providing a total of seven multi-family dwelling units. These housing units are within walking distance to jobs, retail stores, coffee shops, and restaurants in downtown Ketchum. Additionally, the project is located within walking distance to Mountain Rides bus stops at Main & 1st Streets and Main & 4th streets, providing access to all the major transit routes that can connect future esidents to the ski bases and other areas of Ketchum. Goal H-1 of the comprehensive plan states that, "Ketchum will increase its supply of homes including rental and special-needs housing for low-, moderate-, and median-income households. The project provides six one-bedroom apartments on the second floor, two of which will be deed-restricted community housing units.

Compatibility with Surrounding Neighborhood

Policy CD-1.3 of the comprehensive plan states that, "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development n which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style"(page 26). The subject property s within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments like the Leadville Trading project currently under construction across the alley to the east of the subject property. The project site neighbors multiple buildings that are designated as historic within the

city, including the Casino building (Historic Name: Ketchum Kamp Hotel) to the north on Main Street, the Rocky Mountain Hardware building (Historic Name: Lewis Bank) to the south across 2nd Street, the Culinary Institute (Historic Name: Greenhow & Rumsey Store) to the west across Main Street, and Vintage Restaurant (Historic Name: Bert Cross Cabin) to the east across the alley.

200 North Main celebrates Ketchum's historic and vernacular architecture. The ground level and second floor of the building are comprised of brick and form a twostory, rectangular building mass at the street frontages. This design is representative of Ketchum's early mercantile and bank buildings constructed in the 1880s. The Lewis Bank, Greenhow & Rumsey Store, and Comstock & Clark Mercantile are three brick buildings extant from this period of construction in Ketchum. These historic buildings are characterized by rectangular building forms, zero lot lines, brick masonry and detailing, and false building fronts. The projecting awning supported by columns at the street corner is another character-defining feature that nods to downtown's historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building's colonnade along Main Street are characteristic of western vernacular architecture. Historic awnings and canopies sheltered walkways from snow and provided a connection to the public realm along the street. The design celebrates character-defining features of Ketchum's historic architecture without mimicry or replication. The project includes more contemporary design elements like black metal accents that make the building appear as a product of its own time.

#### **CONCLUSIONS OF LAW**

- 1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Conditional Use Permit application for the development and use of the project site.
- 2. The Commission has authority to hear the applicant's Conditional Use Permit Application pursuant to Chapter 17.116 of Ketchum Municipal Code Title 17.
- 3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.116.040.
- 4. The Conditional Use Permit application is governed under Ketchum Municipal Code Chapter 17.116 and Interim Ordinance 1234.
- 5. The 200 North Main Conditional Use Permit Application File No. P23-049A meets all applicable standards specified in Title 17 of Ketchum Municipal Code and all Interim Ordinance 1234 standards.

Conditional Use Permit Application File No. P23-049A: 200 North Main Findings of Fact, Conclusions of Law, and Decision Planning and Zoning Commission Meeting of March 12, 2024

### **DECISION**

**THEREFORE,** the Ketchum Planning and Zoning Commission **approves** this Conditional Use Permit Application File No. P23-049A this Tuesday, February 13, 2024 subject to the following conditions of approval.

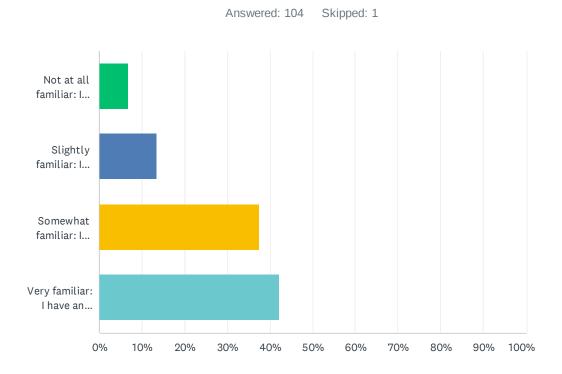
### **CONDITIONS OF APPROVAL**

- 1. This Conditional Use Permit approval is based on the plans dated January 17, 2024 and the information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting. The building permit plans must conform to the approved plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
- 2. The Conditional Use Permit is not transferable from one parcel of land to another.
- 3. The term of this Conditional Use Permit shall be that of the term of approval for Design Review Application File No. P23-049. In the event the Design Review approval expires, this Conditional Use Permit approval shall also expire and become null and void.
- 4. In addition to the requirements set forth in this Conditional Use Permit approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact adopted this 12 day of March 2024.

Neil Morrow, Chair City of Ketchum Planning and Zoning Commission

## Q1 How familiar are you with the City of Ketchum's land-use regulations (Select one option from below):



		RESPONSES	
Not at all familiar: I have no knowledge of the land-use regulations.	6.73%	7	
Slightly familiar: I know of the land-use regulations through conservations, news articles, City events, or in other ways.	13.46%	14	
Somewhat familiar: I know of the types of regulations/standards found in the land-use regulations.	37.50%	39	
Very familiar: I have an in-depth understanding of the land-use regulations and how they apply to specific areas and zoning districts throughout the city.	42.31%	44	
TOTAL		104	

## Q2 If you selected not at all familiar or slightly familiar, please elaborate on your selection:

Answered: 12 Skipped: 93

#	RESPONSES	DATE
1	I know a little regarding the hillside ordinance, forest service land, riparian areas, land trusts, etc	2/6/2024 5:50 PM
2	slightly familiar as with the recent flooding and emergency pumping that was allowed to be dumped into property from a new development, I dug into the land-use regulations and permitting.	2/4/2024 4:48 PM
3	I know nothing	2/2/2024 4:29 PM
4	I have participated with the city in discussions regarding available mortgage financing for deed restricted units in properties that are non-warrantable for conforming financing.	2/1/2024 4:09 PM
5	Just what I read in the Idaho Mountain Express.	1/27/2024 5:52 PM
6	I am a Realtor and ned to be somewhat educated for selling land	1/26/2024 4:58 PM
7	New to town so haven't had a chance to dig in!	1/26/2024 4:11 PM
8	It doesn't really apply to me so I don't pay close attention. But watching what is happening to the city concerns me.	1/26/2024 12:58 PM
9	I have not looked into this matter	1/26/2024 11:21 AM
10	I'm familiar with basic land use designations, zoning, and building envelope regulation.	1/25/2024 3:53 PM
11	By virtue of owning a home here and in the past, I am slightly familiar with the land use codes. I also have been following the comprehensive plan for the downtown core and have participated in the various focus groups.	1/24/2024 9:22 AM
12	I have read the articles in the paper regarding land-use about several projects in the works.	1/22/2024 10:25 AM

## Q3 If you selected somewhat or very familiar, please explain in what capacity you use these standards (e.g., neighborhood resident, business owner, developer, technical consultant):

Answered: 75 Skipped: 30

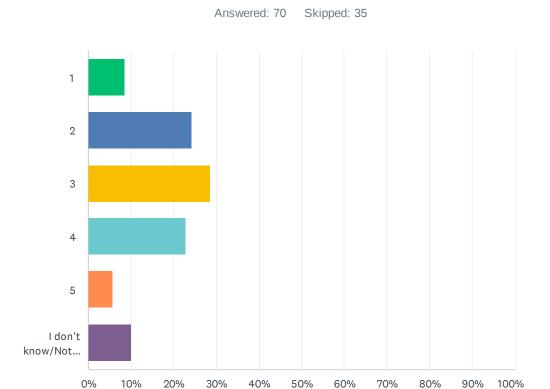
#	RESPONSES	DATE
1	I am a commercial real estate agent and, consequently, the various zoning designations are important to my clients and to me for various uses	2/17/2024 4:35 PM
2	Interested community member.	2/17/2024 1:32 PM
3	Local Civil Engineer & Natural Hazard Consultant specializing in Land Development, Land Surveying, and Avalanche Aware Design.	2/16/2024 4:07 PM
4	Architect/designer	2/16/2024 12:12 PM
5	PZ Commissioner, applying for building permits as a local General Contractor.	2/16/2024 9:26 AM
6	I am a local planning consultant and spent almost a decade working for local government practicing land use planning, code interpretation, enforcement and rewrites. The Ketchum zoning was occasionally referenced throughout my work.	2/15/2024 9:40 PM
7	City staff	2/15/2024 2:18 PM
8	Developer	2/15/2024 10:07 AM
9	Use it for my job	2/15/2024 9:36 AM
10	I refer to the code almost daily a technical consultant	2/14/2024 5:15 PM
11	Business Owner - General Contractor	2/14/2024 1:03 PM
12	Local Architect and business owner	2/14/2024 12:34 PM
13	KSAC	2/14/2024 10:28 AM
14	I am an Architect with a office in Ketchum	2/13/2024 10:22 AM
15	Local architect who has worked on a small number of projects within the city.	2/13/2024 6:19 AM
16	RE Broker	2/12/2024 10:38 AM
17	As designer. Recent projects in CC and LR	2/11/2024 2:57 PM
18	Neighborhood going through transformation of single homes having town houses.	2/10/2024 9:25 AM
19	Local Plumbing and Mechanical Sub-Contractor	2/8/2024 8:15 PM
20	Realtor	2/8/2024 8:55 AM
21	I own a vacant lot in Ketchum and have looked up details in the zoning code to determine the parameters of my future build.	2/5/2024 2:27 PM
22	As a Realtor selling property in Ketchum, it is important to be well versed in the zoning code in order to serve and protect our clients.	2/4/2024 6:14 AM
23	Architect and planning professional.	2/2/2024 3:43 PM
24	I'm an architect who needs to know what the ordinance permits.	2/2/2024 2:22 PM
25	Real estate agent	2/2/2024 1:15 PM
26	previous history of commercial real estate development	2/2/2024 11:50 AM
27	Neighborhood resident. Construction worker	2/2/2024 10:32 AM

28	Real Estate Agent	2/2/2024 10:27 AM
29	In collaboration with clients as a landscape designer. To adhere to the codes & regulations while delivering the best possible outcome for the client and their neighbors.	2/2/2024 9:58 AM
30	I work for a General Contractor in town in a business development role	2/2/2024 9:49 AM
31	Architect	2/2/2024 9:32 AM
32	Neighborhood resident, business owner	2/2/2024 9:10 AM
33	Development consultant	2/2/2024 9:07 AM
34	general contractor	2/2/2024 8:58 AM
35	Architectural engineer designing buildings and helping to facilitate the permitting process	2/2/2024 8:56 AM
36	attend meetings/read and working on a project	2/2/2024 8:54 AM
37	Real Estate Broker and Developer	2/2/2024 8:37 AM
38	Property owner	2/2/2024 7:28 AM
39	General contractor	2/2/2024 6:21 AM
40	Development adviser	2/1/2024 5:32 PM
41	Realtor	2/1/2024 5:17 PM
42	Neighborhood resident	2/1/2024 5:05 PM
43	real estate professional and my business has been in Ketchum for more than 30 years	2/1/2024 4:55 PM
44	Commercial real estate broker, so need to understand permitted uses and what can be built where	2/1/2024 4:40 PM
45	Developer and Real Estate Agent	2/1/2024 4:37 PM
46	Real estate agent and Ketchum business owner	2/1/2024 4:17 PM
47	Owner, developer, consultant	2/1/2024 3:54 PM
48	Former P&Z member and chair, engineering consultant for land development clients throughout the West.	1/29/2024 9:04 AM
49	Familiarity as an architect that is working on multiple projects in the city of Ketchum.	1/29/2024 7:03 AM
50	Development	1/28/2024 9:22 AM
51	I was part of the Ketchum P&B Dept. staff from 2016 - early 2021. I admit I've been out of the loop on the changes that have occurred since that time so I selected 'somewhat familiar'.	1/26/2024 3:49 PM
52	neighborhood resident and building a home.	1/26/2024 12:10 PM
53	Banker	1/26/2024 11:35 AM
54	Resident	1/26/2024 11:09 AM
55	Architect, CAG member	1/26/2024 8:24 AM
56	Architect	1/25/2024 11:24 AM
57	to advocate for specific projects	1/24/2024 10:09 AM
58	General understanding in conversations	1/24/2024 8:25 AM
59	Developer and property owner of multiple mixed use and residential projects in Ketchum.	1/24/2024 8:21 AM
60	I'm an architect and general contractor. I somewhat regularly Zoom into P&Z meetings.	1/24/2024 8:06 AM
61	General Contractor	1/23/2024 11:37 AM
62	Technical Consultant - Engineer	1/23/2024 9:55 AM
63	Business owner and architect; I use the regulations to perform zoning and feasibility studies	1/22/2024 5:13 PM

for clients and prospective clients in regards to new construction, additions, remodels, etc.

64	technical consultant	1/22/2024 4:50 PM
65	Developer. Contractor	1/22/2024 4:30 PM
66	Resident and Business owner	1/22/2024 3:40 PM
67	Realtor	1/22/2024 9:50 AM
68	Local Architect	1/21/2024 1:00 PM
69	As a builder	1/20/2024 2:21 PM
70	technical consultant	1/20/2024 11:16 AM
71	Resident	1/19/2024 5:01 PM
72	As Land Surveyors and Engineers to help homeowners develop their properties.	1/19/2024 4:49 PM
73	Architect	1/19/2024 4:40 PM
74	technical consultant, development analyses	1/19/2024 4:23 PM
75	Structural engineer and architctural designer	1/19/2024 4:10 PM

### Q4 On a scale of 1 to 5, with 1 being very difficult and 5 being very easy, how easy is it to navigate the land-use regulations?



ANSWER CHOICES	RESPONSES	
1	8.57%	6
2	24.29%	17
3	28.57%	20
4	22.86%	16
5	5.71%	4
I don't know/Not applicable	10.00%	7
TOTAL		70

#	PLEASE ADD ANY DETAIL YOU WISH TO EXPLAIN YOUR ANSWER:	DATE
1	I have found the code to be fairly understandable and easy to follow for different uses.	2/17/2024 4:37 PM
2	Some Ordinances are scattered throughout Titles 12, 15, 16, and 17. It would be helpful if these were revised or reorganized into categories more along the lines of: Development Standards, Subdivision & Zoning Regulations. The biggest issue is that there are instances of contradictory code dealing with the same topics in different sections. Examples include structures in setbacks and allowable driveway widths. It would also be helpful to have links to the appropriate ordinances within the code sections.	2/16/2024 4:23 PM
3	Now that I understand the code outline I can navigate it well. My early experiences with the code where baffling and frustrating.	2/16/2024 10:01 AM

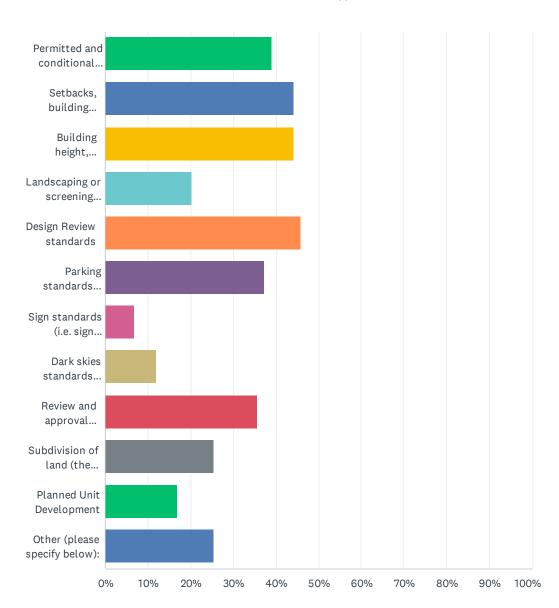
4	The layout is not very easy to navigate for users outside of the organization who may not have limited experience with reading and interpreting local land use regulations. For example, the matrix is listed prior to individual information about each zoning district. The code then leads into one overlay district, then design review, then leads to additional overlay districts. The layout and organization does not make much sense from an outside perspective.	2/15/2024 9:54 PM
5	The chapter naming is pretty good but the organization of information withon the chapters can be very confusing. The definitions are not always written in layman's terms so it's difficult when first looking for certain definitions	2/15/2024 2:26 PM
6	Titles 12, 16, and 17 can overlap, which is difficult to fully coordinate.	2/15/2024 11:19 AM
7	Unless you know where to look, information can be spread across multiple chapters for a single zoning area.	2/15/2024 10:16 AM
8	Things seem scattered about, not where they should be, i.e. Construction hours in 8.08.050 - Nuisances enumerated instead of in Title 15. Odd/outdated language and examples - there is no such thing as "Plain English" in this code.	2/15/2024 9:40 AM
9	Overall the organization is good. The nature of cumulative amendments over time is a bigger issue.	2/14/2024 5:21 PM
10	KSAC is not in a position to comment on this	2/14/2024 10:41 AM
11	I do think that staff is doing a great job helping an applicant to move through the process	2/13/2024 2:19 PM
12	Some items are split between disparate sections.	2/12/2024 10:40 AM
13	Conflict between State and Local Codes and enforcement.	2/8/2024 8:33 PM
14	I generally have to use the search function to find the sections I'm looking for in the city code.	2/5/2024 2:30 PM
15	the current land use regulations are out of date and do not reflect the current needs of West Ketchum.	2/4/2024 4:58 PM
16	The matrix is arduous.	2/4/2024 6:18 AM
17	Very complicated to actually figure out what can or cannot be done with a property, without hiring and expertie, attorney and or architect/land planner	2/2/2024 11:55 AM
18	The clarity of specifics is not present. When a phone call is made for further detail, no one seems really knowledgable about details, specifics. And when they are knowledgeable they agree the code is not always clear or precise.	2/2/2024 10:08 AM
19	What is written in the land-use regulations is not always adhered to by the city. Seems to be a case by case decision making process.	2/2/2024 9:14 AM
20	It is difficult to find one point of contact for answers to questions. There should be an easily understood checklist to complete an application.	2/2/2024 9:04 AM
21	Planning and zoning oversteps their authority. Code is code. If you want more or less height etc, change the code. otherwise if a project meets code allow it	2/2/2024 8:58 AM
22	Bordering on impossible to take a specific parcel and clearly identify the myriad applicable code sections	2/1/2024 5:38 PM
23	The interpretation of the code was consistent until this latest administration. Then the code was interpreted very differently and the entire thing became a cluster of confusion and stupidity.	2/1/2024 4:48 PM
24	The Municode platform is pretty easy to navigate, and the matrix is great.	2/1/2024 4:42 PM
25	I find myself calling or emailing city hall to get answers because it's too confusing to figure out online	1/26/2024 5:01 PM
26	I selected 'very easy' but I've worked in public sector planning for 10+ years so I've lived and breathed code in the jurisdictions I've worked for and have spent a fair amount of time comparing regulations across peer communities as well. You could say I'm a code power user!	1/26/2024 3:52 PM
27	layers of approvals required to obtain permits	1/26/2024 12:13 PM
28	Some terms used as the headings /title are not truly descriptive on what is in the chapter.	1/26/2024 8:29 AM

Cheat sheets/guides on the ketchum website would be helpful.

29	It's pretty easy to navigate the code library. There seems to be some room to improve within the search function, but overall it's very usable and I can always find the answer I'm looking for eventually.	1/23/2024 10:04 AM
30	The search feature can be hit-or-miss. FAR ratios also always seem to be hidden when you want to quickly reference themthe search feature always pulls up the WS base overlay.	1/22/2024 5:24 PM
31	It would be nice if we didn't have to basically search all of the Code to find out if we were missing anything. Really good Application checklists would be a big help so we knew we had everything covered on the first try.	1/19/2024 4:59 PM
32	if you possess a high degree of familiarity with the code and entitlement process, navigation is acceptable, however having to look in several different sections to ensure that all requirements are reviewed (use matrix, dimensions - ex. setback/heights, exceptions, etc., avalanche or floodplain, design review, parking standards, parking mitigation, subdivision or not, zoning district special requirements, F.A.R., community housing and income levels, etc., etc.) is cumbersome. Perhaps a decision tree flowchart i.e. 'if you're project has this, then consider this' format would work	1/19/2024 4:47 PM

### Q5 Please select the zoning and/or subdivision standards you find challenging, unclear, or confusing (Check all that apply):





ANSWER CHOICES	RESPON	SES
Permitted and conditional uses available in different zoning districts (e.g., multi-family dwellings, hotels, restaurants, or hair salons)	38.98%	23
Setbacks, building coverage, lot areas or other dimensional standards that affect site layout	44.07%	26
Building height, architectural details, or other standards that affect the design of buildings	44.07%	26
Landscaping or screening standards	20.34%	12
Design Review standards	45.76%	27
Parking standards (i.e., number of spaces required, parking design, parking reductions or bicycle parking)	37.29%	22
Sign standards (i.e. sign type, size, and location of signs)	6.78%	4
Dark skies standards (i.e., fixture type, brightness, and location of lighting fixtures)	11.86%	7
Review and approval procedures (e.g., the application process and public noticing)	35.59%	21
Subdivision of land (the creation of new lots or division of existing lots)	25.42%	15
Planned Unit Development	16.95%	10
Other (please specify below):	25.42%	15
Total Respondents: 59		

#	OTHER (PLEASE SPECIFY BELOW):	DATE
1	In general, objective standards are pretty clear. The problem is when new administrators decide to interpret those object standards in a way they have never been interpretted before. I struggle with subjective standards, but that is the nature of subjectivity.	2/14/2024 5:21 PM
2	Navigation can be challenging. Concise answers and user interface could be enhanced. Standardized terminology would be helpful as well. Solar applications are not easily found. Water use as well.	2/14/2024 10:41 AM
3	Energy Code Confusions	2/8/2024 8:33 PM
4	It's all very complicated and to cumbersome for the average property owner to comprehend	2/2/2024 11:55 AM
5	Because it seems things are 'open to interpretation', there is lack of continuity, often redefined seemingly at random. Dark Sky standards are NOT being enforced. We are lite up 24/7 which is not compliant to a dark sky!!!	2/2/2024 10:08 AM
6	Excedence criteria	2/1/2024 5:38 PM
7	Affordable housing calculations and F.A.R.	2/1/2024 4:48 PM
8	Intra-code conflicts # of units permitted to build	2/1/2024 4:39 PM
9	WSBA!	1/26/2024 3:52 PM
10	Enforcement is an issue	1/26/2024 11:11 AM
11	Some standards are vague, definitions are not given or not complete. Requires lots of interpretations, you must be an "insider" to know what the actual application of the code will be.	1/26/2024 8:29 AM
12	Allowances for FAR increases, height increases, workforce housing allowances	1/24/2024 8:08 AM
13	Generally, it is language within any one of these standards that can be challenging or unclear. Re: building height, there used to be two exhibits that were referenced (one for the CC and one for a hillside lot). Yet both of these exhibits were hard to find or non-existent on the City website.	1/22/2024 5:24 PM
14	It seems that there are a few contradictions in there and reviewing the Code to make sure it	1/19/2024 4:59 PM

was consistent would make it easier to navigate.

15	The KPZ needs better direction and understanding of its role, what it is allowed to opine on	1/19/2024 4:47 PM
	under Idaho law, and a higher level of expertise in the areas upon which it is being asked to	
	make decisions	

### Q6 Please elaborate on your answer to Question #5 above. Please feel free to reference specific projects or examples.

Answered: 35 Skipped: 70

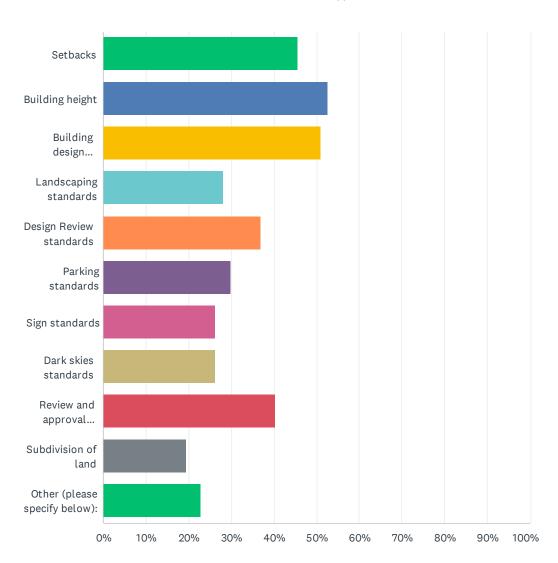
#	RESPONSES	DATE
1	Setbacks – It would be helpful to have clear standards for building setbacks. Areas that could be improved involve Townhouse Developments, Double Frontage, Corner, and Reverse Corner Lots. Subdivision of Land – Some of the Subdivision Ordinances within the MOD and other Overlay Districts trigger additional standards that are not listed in the Subdivision Ordinances. Some of these are also not in line with the Comprehensive Plan and are not required when building on a previously undeveloped property. Townhouse Developments – Currently Townhouse Developments are admiratively treated as Subdivisions with individual Lots, but the design standards are subject to codes that treat the development as a single Lot. Building height and setbacks are based on the more restrictive building. This part of the ordinance makes sense to me, but I only know about it from Staff Determinations and not Code. I believe changing it would create more problems than it would solve, but I do think it should be elaborated upon within the Code. I also think there should be some changes made to the Townhouse Subdivision process, specifically when an existing Sub-Lot Line is proposed to be changed to meet a new development design. I believe this could be handled administratively when not within an Overlay District. Maybe create a Sub-Lot Line Shift Application? I would also love to see the requirement that states building footprints need to be shown on Townhouse Plats be removed from the Code. This has created the need to go through the entire Subdivision process for minor additions and is not a requirement by Idaho State Survey Code. I believe this should only be necessary for Condominium developments where Common and Limited Common areas are concerned.	2/16/2024 4:23 PM
2	I find that our standards can be murky and difficult to navigate on many fronts. The next question is great-Illustrations and tables would be really helpful!	2/16/2024 12:19 PM
3	Now that I understand how to use the matrices this is easier. Matrices need to be front and center and clearly labeled	2/16/2024 10:01 AM
4	The design review criteria are vague and broad and may be too subjective. Perhaps that's the point? Hard to follow as an applicant I imagine. The permitted, conditional and accessory uses matrix is a lot to digest and overwhelming in its current configuration. Foot candles seem very difficult to inspect and enforce much less comply with. Perhaps a difference method for preserving the night time skies? I see non-compliant lighting throughout the city. An ordinance is unnecessary and useless without education and enforcement.	2/15/2024 9:54 PM
5	Planned Unit Development standards are not built for alterations to buildings within PUD's which makes it difficult to evaulate alterations/additions in PUD's Dark sky standards are not always clear on if opaque fixtures are permitted or not Sign standards could use some clarity on how to treat multi tenant buildings Wish there was a list for appropriate landscaping as currently it is only recommended to use native plantings and "drought tolerant" plants are not always easy for staff to verify building height in CC zone and hillsides needs to be clarified. Would benefit from better illustrations. Would like the exemptions for lot area to be more easily seen rather than just in definition section	2/15/2024 2:26 PM
6	It's not exactly clear what the process is for these applications. A cheatsheet would be incredibly useful for explaining the process for the different application types.	2/15/2024 11:06 AM
7	Setback calculations, far calculations are not clearly defined to consistently allow design professionals to design proper setbacks for FAR calcs.	2/15/2024 10:16 AM
8	primarily, my issue revolves around the language used. It's wordy, confusing, not user friendly.	2/15/2024 9:40 AM
9	see comments above.	2/14/2024 5:21 PM
10	KSAC's primary interests are information on Solar PV installation (distributed energy), water quality/use, recycling, energy use/EE, tree canopy/land/water conservation, alternative transportation and transit, density, air quality, Electric Vehicle Supply Equipment (EVSE)	2/14/2024 10:41 AM

integration (residential and public). Our priority is facilitating installation of these items and making them easy to find/act upon in the code. 11 illustration B is subjective 2/13/2024 2:19 PM 12 Have had trouble translating heights related to sloping lots with stepping architecture Setbacks 2/11/2024 3:06 PM related to balconies and overhangs had caused confusion 13 Regulations applying or not to Remodels and or additions. 2/8/2024 8:33 PM the recent approval to build in established wetland area on wood river drive without improving 2/4/2024 4:58 PM 14 the west ketchum drainage and flow from Williams Street that will negatively affect the already poor drainage and flow during the spring run-off. 15 There is a historic disconnect between city departments that does often not become evident 2/2/2024 3:57 PM until presentation or building permit approval that can be compromising to development success. For example, the P&Z commission wants and supports public amenities in the ROW, but the streets & engineering department reject the project because of these amenities. Consistency between departments in terms of standards required is critical. In addition, I would say that P&Z project presentations is an inappropriate forum for P&Z commissioners to adjudicate their disagreements with development code standards. If a project complies with the development codes in effect, as reflected in the associated staff report, that should be the sole basis of discussion. If commissioners are unhappy with a 'concept' or 'aspect' of a compliant building design, there are other, more appropriate avenues to address those concerns. Such behavior is inappropriate in the public hearing process for project design review. City staff and attorney need to be more diligent in educating the commissioners and reminding commissioners of this aspect of their service obligation. My opinion is that any rewrite of the ordinance should try to work within the current framework 16 2/2/2024 2:26 PM so that one doesn't need to completely rethink how to approach it. Every project that I have looked at. 2/2/2024 11:55 AM 17 Dark Sky standards are NOT being enforced. We are lite up 24/7 which is not compliant to a 2/2/2024 10:08 AM 18 dark sky!!! Set backs from riparian zone are determinately close to the river. We must be more diligent about protecting the environment in which we live. The environment which sustains our community. Wonton tree cutting & clearing for maximum square footage lot use & maximum profit will literally kill our town in the long run. 19 FAR's/Net vs Gross SF calcs. / Affordable Housing requirements-income categories. 2/2/2024 9:38 AM 20 Using FAR as a design standard conflicts directly with height, bulk and lot coverage code. 2/2/2024 9:11 AM Project Dox is a disaster and nearly worthless for getting approvals. When all depts have to 21 2/2/2024 9:04 AM sign off on a project, if one objects, we have to start all over with all. It should be much simpler. 22 Parking should be no parking below 1k feet. This would allow more market rate better units. 2/2/2024 8:58 AM over 1k feet 1 vehicle. current rules force people to build way too small or way too big because of the current parking rules 23 We own vacant lot 171 SV Road 2/2/2024 7:31 AM 24 Design standards are no longer standards- it's become does staff and P&Z "like it" and does it 2/1/2024 5:38 PM "fit the community " compounded by the "may" of excedence and the incorporation of the Comp Plan vagueness into the 1249 code, with no objective standards - arguably in violation of the state land use statutes. 25 The existing guidelines seem to be arbitrarily enforced 2/1/2024 5:19 PM 26 (former staff writing this response) - Permitted / CUP uses are somewhat confusing because 1/26/2024 3:52 PM some terms/uses are outdated or don't really have relevancy to Ketchum today. The list of uses could use modernization. Also, because the CC sub-districts evolved over time if I recall some of the intent/purpose regarding which uses are permitted where has been lost. Regarding my other answer - PUDs - if I recall there is some some clunky language around "waivers". 27 army corps of engineers, county, city and P&Z all seem to have requests 1/26/2024 12:13 PM Some requirements do not seem codified - 3rd floor roofs must be set back per staff/DR - how 1/26/2024 8:29 AM 28 far? what dimension? where is that in the code?

29	these standards themselves are reasonably clear but the P&Z does not use them to make a dispassionate assessment of project compliance; this indicates the P&Z does not understand	1/24/2024 10:16 AM
30	My general thought is the code allows too many allowances for the above	1/24/2024 8:08 AM
31	Hard to understand P and Z design criteria	1/23/2024 11:39 AM
32	Even after Ordinance 1249, I feel non-building related setbacks are unclear and do not mesh with building setback requirements very well. I recommend adding specific non-building setbacks to tables per Zoning district. This comes up on so many projects and I feel like we're always asking Planning Staff to clarify setbacks for retaining walls, etc.	1/23/2024 10:04 AM
33	Community Housing is defined na footnote to a table. It's not clear who is required to have a minimum vs average 4th story setback. Eg Bluebird. The standards are honored on the breech. Why have a zoning code if you waive it for a Marriott? Dark skies are easily avoided with lit stairwells and unshaded floor to ceiling windows. See PEGs description of the Marriott. Or just look at the lit up night sky photos SVC uses to advertise SV. P&Z won't prove fully code complaint buildings on a timely basis (Serva location).	1/19/2024 5:08 PM
34	It seems as if you need to look at almost everything to make sure you didn't miss anything. Maybe a flowchart that would direct you to the appropriate Permits and Applications would streamline it. Are you buliding single family or multi family, in Hillside Overlay, Avalanche or Floodplain.	1/19/2024 4:59 PM
35	removal of certainty by allowing an appointed body of non-experts (KPZ) to essentially make policy which is not allowed under Idaho Code (example KPZ comments - "the building is too big" "I don't like the color" "it would be OK in some other location" - i.e. spot zoning, "this isn't a good deal for us so change the building") by refusing to accept projects that 100% follow written code that the very same body (KPZ) recently approved is ludicrous (and not done for example in Hailey), which actions will be further enabled and compounded by having included the very subjective standards of the comprehensive plan into the zoning code via Ord. 1249	1/19/2024 4:47 PM

### Q7 Are there any standards below that you believe would benefit from an illustration, table, or flowchart? (Check all that apply):





ANSWER CHOICES	RESPONSES	
Setbacks	45.61%	26
Building height	52.63%	30
Building design standards	50.88%	29
Landscaping standards	28.07%	16
Design Review standards	36.84%	21
Parking standards	29.82%	17
Sign standards	26.32%	15
Dark skies standards	26.32%	15
Review and approval procedures	40.35%	23
Subdivision of land	19.30%	11
Other (please specify below):	22.81%	13
Total Respondents: 57		

#	OTHER (PLEASE SPECIFY BELOW):	DATE
1	building height could use three illustrations for flat lots, hillside lots, and CC zoned lots	2/15/2024 2:26 PM
2	Building height calculations on lots with substantive slope / grade differences.	2/15/2024 11:19 AM
3	Review and approval process could benefit from a easy to follow flow chart.	2/15/2024 10:16 AM
4	A picture can be worth 1,000 words.	2/14/2024 5:21 PM
5	All noted sustainability items in Q6 could stand alone in a graphic next to the noted sections.	2/14/2024 10:41 AM
6	Public Right of Way accessibility and clearance requirements.	2/2/2024 3:57 PM
7	It's all way to complicated for any layperson to understand without seeking professional help.	2/2/2024 11:55 AM
8	(	2/2/2024 8:52 AM
9	Probably all of them.	2/1/2024 4:48 PM
10	I think the city should offer classes / workshops	1/26/2024 5:01 PM
11	I checked allIIII the boxes because a picture really is worth 1,000 words!	1/26/2024 3:52 PM
12	All the graphics should be re-done, and many added.	1/26/2024 8:29 AM
13	dark skies already has an illustration, so I checked that box so it stays in there. Same for building heightjust that it be readily accessible where it is noted on the muni code site.	1/22/2024 5:24 PM

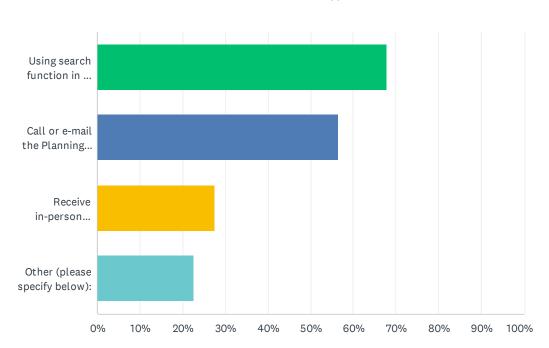
## Q8 Are there any existing tables, illustrations, or flowcharts that are unclear or confusing? Share specific examples and if possible the associated Code section.

Answered: 19 Skipped: 86

#	RESPONSES	DATE
1	Building Height – "Illustration B" should be expanded upon to clearly show the required LAG HAG values and how these are used by the City to determine allowable building heights. Nearly every architect and designer we work with have trouble understanding the differences between existing and proposed LAG and HAG, and how it relates to allowable building height.	2/16/2024 4:23 PM
2	There aren't many, but one I've revisited recently is the setback illustration. It should demonstrate setbacks in different instances (streetside, hillside, etc). Clear visual resources will be helpful for all!	2/16/2024 12:19 PM
3	building height illustrations & sign standards. Most illustrations are old and hard to read	2/15/2024 2:26 PM
4	Most, if not all, of the graphics appear to have been run through a copy machine many times, therefore very grainy and difficult to read. See examples in 17.101.010 and 17.127.	2/15/2024 11:19 AM
5	Illustration B. If the design of a project doesn't align with this illustration, it can be difficult to apply/read.	2/15/2024 11:06 AM
6	Parking.	2/15/2024 10:16 AM
7	Building Height measured on a sloped lot. There has been a diagram handed out by staff, but not readily available in the code.	2/14/2024 12:38 PM
8	Consistent design and terminology throughout would be optimal.	2/14/2024 10:41 AM
9	Illustration B	2/13/2024 2:19 PM
10	As much as time and budget allows, I believe diagrams are helpful for all aspects of the code. If you are familiar with Francis Ching's book 'Building codes illustrated'. I think this was successful as it helps designers learn and remember code issues using graphics. As the building code is mostly written, but many designers are very graphic learners. Also, a photo is worth a thousand words.	2/11/2024 3:06 PM
11	Ketchum Green Building Code	2/8/2024 8:33 PM
12	The matrix makes our head spin with needing to memorize the different letters and side notes associated with the applicable code.	2/4/2024 6:18 AM
13	Everything in your zoning ordinance and approval process seems like you really don't know what can be done until you actually go before P&Z and City Council??	2/2/2024 11:55 AM
14	Almost all because of the difficulty of identifying every section applicable to a specific parcel.	2/1/2024 5:38 PM
15	Everything included in WSBA. Illustration A and Illustration B.	1/26/2024 3:52 PM
16	New tables and colors / layout will help greatly.	1/26/2024 8:29 AM
17	mountain overlay district illustrations	1/24/2024 10:16 AM
18	The whole HPC process is confusing. Ex of moving a historic building out of town as something the staff thinks is historic preservation of land use.	1/19/2024 5:08 PM
19	Building height illustration could use some work and better definitions. The Zoning matrix seems to simplify things. I still like the flowchart idea.	1/19/2024 4:59 PM

### Q9 How do you find answers to your questions about the land-use regulations? (Check all that apply):





ANSWER CHOICES	RESPONSES	
Using search function in the online municipal Code	67.74%	42
Call or e-mail the Planning Department	56.45%	35
Receive in-person assistance at City Hall	27.42%	17
Other (please specify below):	22.58%	14
Total Respondents: 62		

#	OTHER (PLEASE SPECIFY BELOW):	DATE
1	I first start with trying to find the answer myself. I read the chapter titles and follow subsection titles. If I cannot find the information, I then use the search function. Ultimately, I call City Staff for assistance if I cannot find the answer.	2/15/2024 9:54 PM
2	Ask Others in Building Trades / Construction Industry what current situation is regarding conflict or standard to follow for compliance and approval when Inspection is conducted.	2/8/2024 8:33 PM
3	N/A	2/2/2024 4:31 PM
4	Seems to be a trial and error process. Municipal code is available online, but you do not know if you will get approval or rejection from the city until you pay the non-refundable permit fees and receive a response.	2/2/2024 9:14 AM
5	This is what we try to do, however, we often do not reach anyone who can help or don't get a return call for days or weeks.	2/2/2024 9:04 AM
6	builder and architect	2/2/2024 8:58 AM
7	no comment	2/2/2024 8:52 AM

8	municode website.	2/1/2024 4:42 PM
9	architect and contractor	1/26/2024 12:13 PM
10	Search function is not great. Email staff - I am sure one goal of the rewrite is to cut down on amount of emails staff answer re: code. Some jurisdictions have a dedicated email and "office hours" for phone calls for questions.	1/26/2024 8:29 AM
11	consult with local architects and developers with past experience	1/24/2024 10:16 AM
12	It should all be clear from the website. If it was clear, there would be no need for personal assistance.	1/19/2024 5:08 PM
13	We typically review the Code and then request a pre-application review, hopefully in person with Staff so we know that we have a complete application package. It's a lot easier now that Staff is easier and more enjoyable to work with.	1/19/2024 4:59 PM
14	read the code then hope the KPZ will follow it	1/19/2024 4:47 PM

## Q10 Is there an existing Code section/development process that is easy to follow? Please provide the Code section or the name of the process and explain why you like the format or organization of that section.

Answered: 19 Skipped: 86

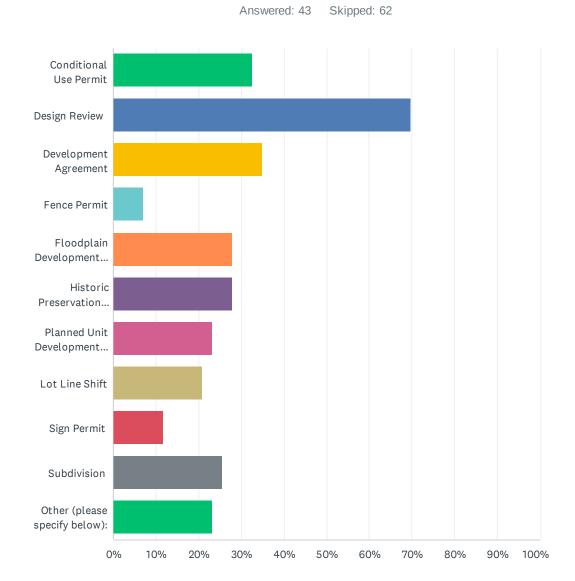
#	RESPONSES	DATE
1	The Preliminary Plat and Final Plat processes have been done very well. The included checklists make providing a complete document easier to accomplish. The District Use Matrix is also very well done and helpful.	2/16/2024 4:25 PM
2	Conditional use permit. The chapter is organized well and is clear to follow	2/15/2024 2:27 PM
3	Chapter 17.12 is easy to follow.	2/15/2024 11:22 AM
4	Title 17.96 - Design review. The standards and process are clear and outlined well.	2/15/2024 11:07 AM
5	I love the district use matrix and how it is setup. Easy to follow. Granted where the descriptions of the uses are is a whole other story would be nice if the descriptions actually outright described business types that are IN Ketchum.	2/15/2024 9:42 AM
6	I think a lot of the negative feedback from the public regarding code and processes was the result of "new interpretations" of existing code. The former administrator was allowed to just make stuff up. Just be consistent.	2/14/2024 5:23 PM
7	the district use matrix 17.12.020 is very helpful	2/11/2024 3:11 PM
8	Uniform Plumbing Code (UPC) with Idaho specific Guidelines	2/8/2024 8:39 PM
9	No, not really. Each code is so muddled with exemptions that the code itself looses its significance. The lack of detailed specifics coupled with the variance, conditional use, exceptions possible make the reading not a code but free for all. Submit application & pay \$ & city says ok fine. Why bother with the codes if they're not followed. If they don't uphold the Comp Plan??	2/2/2024 12:00 PM
10	All of them	2/2/2024 11:55 AM
11	Several direct codes that conflict with each other making review difficult and confrontational	2/2/2024 9:13 AM
12	district use matrix is very easy to understand, in conjunction with definitions.	2/1/2024 4:43 PM
13	District use matrix and dimensional standard matric are easy to use. I find this way of organizing information helpful.	1/29/2024 7:16 AM
14	It has been a while, but I recall the MOD chapter being easy to follow. And although some of the terms in the District Use Matrix are outdated ("Tourist House" for example) I find the matrix format preferable because you can compare permitted uses across all zoning districts.	1/26/2024 3:55 PM
15	Maybe dark skies because it is short and all the info is in one section.	1/26/2024 8:34 AM
16	na	1/24/2024 10:35 AM
17	Not familiar enough to answer	1/24/2024 9:30 AM
18	At the last meeting, Mr Morrow made it very clear that if you don't go through the pre planning step, you aren't going to get approved even if you are compliant. That seems arbitrary, but given that approach, why not make pre plan mandatory.	1/19/2024 5:09 PM
19	The Zoning matrix works well for Zoning and could maybe be applied to other Code items so it is all right there in front of you.	1/19/2024 5:01 PM

### Q11 Do you have any specific suggestions related to organizations or examples of other Codes you have worked with that flow well?

Answered: 20 Skipped: 85

#	RESPONSES	DATE
1	The City of Hailey has a much more through list of Definitions that can help answer questions	2/16/2024 4:25 PM
	without having to ask the City.	
2	The city of Sun Valley is slightly easier to navigate as the layout is cleaner and better organized. I do also like how many organizations have much more information specific to each zoning district in code. For example, if you are only interested in a general residential district, you can read an entire section on the purpose, permitted, accessory, conditional, and dimensional details without flipping all over the place in code to find that information.	2/15/2024 10:00 PM
3	No.	2/15/2024 11:22 AM
4	N/A	2/15/2024 11:07 AM
5	City of Boise Sustainability Roadmap and project management structure.	2/14/2024 10:42 AM
6	Stick to code and not subjective interpretations	2/13/2024 2:20 PM
7	I didn't spend a lot of time working with it, but I found the Berkeley code well organized. It was easy to follow online with charts and diagrams. There were some odd components, but my limited experience showed it to be user friendly.	2/11/2024 3:11 PM
8	Idaho State Plumbing CodeNot always though. There's updates and changes going on by Governor Littles administration that are addressing this	2/8/2024 8:39 PM
9	I would spell out each use that use the district use matrix.	2/4/2024 6:19 AM
10	P&Z Staff is doing a better job at evaluating projects relative to design review standards than is P&Z Commission.	2/2/2024 2:28 PM
11	Simplify your overall codes so they can easily understood by any property owner.	2/2/2024 11:55 AM
12	Eliminate FAR as a design standard. Simply review height, bulk, setbacks as the design standard.	2/2/2024 9:13 AM
13	The process at Sun Valley is much easier.	2/2/2024 9:05 AM
14	parking as I explained. you will either handle growth with sprawl or height. You can't avoid both. If you do and ketchum stays desirable then price will even go higher	2/2/2024 9:00 AM
15	no	2/1/2024 4:43 PM
16	I do not have extensive experience with Berkely code, but did find it user friendly for some projects I was working on. Everything organized into charts. https://berkeley.municipal.codes/BMC/23	1/29/2024 7:16 AM
17	Okay codes: Kirkland, WA (but bad layout) Horrible codes: Sammamish, WA City of Bellevue, WA has an okay website to help people find what they need in the code. Bellevue also "hops" between sections easily, and hovering on a term will bring a pop-up of a definition which is nice so you don't have to leave the page to find the definition. King County has a good way to help people understand timelines - sheets for different types of projects and dates on the sheets so people know how recent the timeline data is.	1/26/2024 8:34 AM
18	no	1/24/2024 10:35 AM
19	No	1/24/2024 9:30 AM
20	Blaine County code is fairly easy to follow	1/19/2024 5:01 PM

Q12 Based on your experiences, which of the following development approval processes could be improved to result in a clear, understandable, and more timely process? (Check all that apply):



ANSWER CHOICES	RESPONSES	
Conditional Use Permit	32.56%	14
Design Review	69.77%	30
Development Agreement	34.88%	15
Fence Permit	6.98%	3
Floodplain Development Permit	27.91%	12
Historic Preservation Applications	27.91%	12
Planned Unit Development Amendments	23.26%	10
Lot Line Shift	20.93%	9
Sign Permit	11.63%	5
Subdivision	25.58%	11
Other (please specify below):	23.26%	10
Total Respondents: 43		

#	OTHER (PLEASE SPECIFY BELOW):	DATE
1	These would all benefit from such a treatment	2/16/2024 10:05 AM
2	I'm not intimately familiar with these processes and timelines.	2/15/2024 10:02 PM
3	Solar / PV permitting	2/14/2024 10:47 AM
4	N/A	2/2/2024 4:32 PM
5	There seems to be myopic view for any new development. A holistic ling term view of the impact & necessity for & the actual value to for the best & highest good of the community needs to considered #1 BEFORE any financial, economic favorability or fear of turning away outside developers who 'bring in money' is even considered. We are selling out to greed. Listen to the character of Ketchum, a small town, a ski resort NOT akin to Aspen or Jackson and proceed with OUR values not outside influence of 'how it done' elsewhere. We are unique. Let's grow from our values which will not look like everywhere else!	2/2/2024 12:39 PM
6	update sign code on building sites	2/2/2024 9:03 AM
7	Excedence	2/1/2024 5:44 PM
8	How about a clear answer and a reasonable time frame.	2/1/2024 4:55 PM
9	Sign permit is unclear what a "master sign permit" is and what is required. Templates or fill-in documents are more helpful here. Design Review	1/26/2024 8:41 AM
10	Right-of-Way Permit	1/23/2024 10:17 AM

## Q13 Please elaborate on your answer to Question #12 above and why these specific processes need to be improved. Share specific examples or experiences.

Answered: 27 Skipped: 78

#	RESPONSES	DATE
1	All permit applications submitted to the City suffer during the review and approval process. There are commonly 4 to 7 rounds of revisions before a permit is approved. The worst is when during the third revision phase a different reviewer deems a project fundamentally flawed. The City commonly has different members of staff review different phases of the project and the comments are almost always inconsistent. Then there are the engineering, water, and sewer comments that come after. This process turns into a major time suck that costs applicants thousands of additional dollars that are not experienced in any of the other local municipalities. I believe staff throughout all departments need to better coordinate the review process.	2/16/2024 5:47 PM
2	I'm not intimately familiar with these processes and timelines.	2/15/2024 10:02 PM
3	Floodplain is not clear due to past director interpretations of when a permit is required/not required. A section reads, "Prior to issuance of a building permit for a structure located on a parcel that contains SFHA, whether or not the structure is partially or wholly located in the SFHA, a floodplain development permit is required if development will occur in the SFHA." Past directors have determined that this then means that any development which occurs on a parcel which contains the SFHA, even if the development is 200+ ft away from the SFHA boundary, that a floodplain development permit is required. This is not clear when reading the code for staff or applicants. PUD section only talks about new PUD's. Most PUD's in Ketchum are 20-50 years old and when people come in with additions to an existing residence, they have to go to P&Z and City Council for approval, no matter what the size of the addition as that is what is required for a new PUD. Should have some more clear process for additions/amending PUD's.	2/15/2024 2:47 PM
4	Lot Line Shift applications are an umbrella for a variety of application types. Also, the process of which approval body is required for Lot Line Shifts and Subdivisions is not clear.	2/15/2024 11:16 AM
5	I have not had the same process twice in a row for any of the approvals above.	2/15/2024 10:23 AM
6	The subdivision ordinance was designed for a city with a lot of open land. Ketchum is beyond developing large tracts of land with one exception. The new code should be modeled after codes written for mature (in the development cycle) areas and include abbreviated processes for low impact (lot readjustments, etc.) applications. Floodplain development permits should not be required (just because a portion of a lot is within the FP) if no development is proposed within the floodplain. That requirement only results in "busy work" (i.e. no benefit to the city) for city staff.	2/14/2024 5:33 PM
7	Always room for improvement.	2/14/2024 10:47 AM
8	It seems that personal opinion governs over ordinance. Code should rule over personal opinion	2/13/2024 2:24 PM
9	These processes are much improved from where they were a few years ago. Not sure if there is drastic further improvement needed at this time.	2/11/2024 3:19 PM
10	We install Groundwater Pumps and Piping systems in these areas and dwellings. Usually in Crawlspaces or Basements. Homeowners Now Commonly also use the Inflatable Bladders to protect Buildings. This causes additional Challenges for Groundwater pumps and piping since they now must pump water out, up, and over bladder perimeters to discharge excess Groundwater instead of simply outside and away from Dwelling/Building.	2/8/2024 9:08 PM
11	I'm told that the design review and permitting process in Ketchum is very burdensome and time consuming.	2/5/2024 2:35 PM
12	N/A	2/2/2024 4:32 PM

13	P&Z Commission must evaluate projects based on existing design review standards as opposed to what they would like the standards to be.	2/2/2024 2:38 PM
14	Title 17 often building design, height, density does not comply with Comp Plan. 16.04.030.J #15,16,17,19 often not followed, no continuity for visual impact or consideration for character of town. to name a few.	2/2/2024 12:39 PM
15	they need over simplification. and in residential neighborhoods where a "large or excessive development is being plannedthe entire neighborhood needs to be able to be notified and have their opinions heard about how this type of project will affect the entire neighborhood.	2/2/2024 12:04 PM
16	Design review is often arbitrary. Historic preservation should only be for an architecturally or historically significant building, not just because it's old.	2/2/2024 9:10 AM
17	way too long	2/2/2024 9:03 AM
18	Answers to questions can be inconsistent	2/2/2024 7:33 AM
19	The heart of the "character " debate is permissible density or rather visual impact wrongly characterized as FAR. No one has any idea what you can and can't do- Hot Dog Hill, Leadville and 2nd, Rico's, etc. Staff is unable to provide meaningful guidance prior to an applicant expending considerable time, energy and money trying to guess what may be acceptable.	2/1/2024 5:44 PM
20	there have been instances of a developer submitting a project that meets the code, and the design review subjectivity derails the project.	2/1/2024 4:45 PM
21	too subjective. should be code based, not personal opinions	2/1/2024 4:30 PM
22	Design Review is difficult because the professional Staff have comments about the project that the Commission either ignores or doesn't care about, and the Commission is usually on a different page than staff. The only way to fix this is to change the control and function of the Commission. Staff are the professionals. It is hard to go to a DR hearing knowing that what one Commissioner is fixated on (and then the others) is a wild gamble and not something Staff (and therefore the code) is necessarily concerned with.	1/26/2024 8:41 AM
23	Design Review - Code should state the required level of design drawings submitted for plan review. Currently, there is no direction on if Schematic (30%), Design Development (~50%), or fully designed, stamped plans (100%) are required. ROW Encroachment Permit - for many projects, this permit seems like a duplicative stephow many individual permits do we need to build in the CC? Can this permit not be wrapped into a Building Permit review when it's obvious? Also, 12.12.060(A.) and 12.12.060(G.) are n/a to simple residential driveway connections and ignoredis someone's driveway paver replacement analyzed for ADA compliance? A public benefit? Does it really need to go to Council? Maybe a short-form version of this for simple residential projects would be appropriate.	1/23/2024 10:17 AM
24	Once the required application materials are more clearly outlined for each of these items, I believe you'll see more applications that can be deemed complete when they are initially turned in. I also believe that barring errors permits should be able to be approved in the first round of review given clear application requirements as well as concise and timely information and feedback from staff.	1/22/2024 5:29 PM
25	Lot line shift as a public comment item when there is no possible way a public comment can sway the outcome is a waste of time.	1/19/2024 5:16 PM
26	Again, I think that a flowchart would help.	1/19/2024 5:11 PM
27	In Idaho, standards are meant to be objective, not subjective. IF they are written objectively but acted upon subjectively, that purpose is defeated.	1/19/2024 4:52 PM

Q14 Are there certain processes that currently require Planning Commission or City Council approval (e.g., Design Review or Lot Line Adjustments) that should be delegated to a lower decision-making body (e.g., Planning Commission to staff or City Council to Planning Commission)? Please explain which processes and why.

Answered: 24 Skipped: 81

#	RESPONSES	DATE
1	Please see comments on Townhouse Developments in Question 6.	2/16/2024 5:47 PM
2	No	2/16/2024 10:05 AM
3	I'm not intimately familiar with these processes and timelines.	2/15/2024 10:02 PM
4	ROW encroachment agreements currently go to city council. Would like to see simple ones like paver driveways stick with staff. Currently, any non-residential building requires design review approval by the P&Z. There have been a couple instances of a storage/restroom building or a clubhouse building near 1,000 square feet that then have to go to P&Z for approval. In those instances I don't believe that design review should be required. Maybe put a size limit on new buildings that can be approved by staff.	2/15/2024 2:47 PM
5	Simple ROW Encroachments (ex. driveway pavers) should be delegated to staff (ex. City Engineer and Planning Director). Also, work/live CUPs should be delegated to the Planning Director.	2/15/2024 11:16 AM
6	Minor modifications to as built designs or plats should be delegated down the planning and zoning director, but owner shall have ability to request higher review/decision if desired. As much as you can plan and design, construction doesn't always come out exactly as planned or circumstances change. Community housing provisions through a development agreement should be allowed to switch from rental to sale at any point and only have to go back through the CC if change to the sqft or number of units is requested.	2/15/2024 10:23 AM
7	I think Plats/LLS - all subdivision applications in general only need to be handled by PZC. Makes no sense to me why these go to City Council.	2/15/2024 9:44 AM
8	Has the city ever considered using a hearing examiner? You should trust your staff and allow professionals to do what they do best.	2/14/2024 5:33 PM
9	Not thinking of any currently	2/11/2024 3:19 PM
10	Probably Fire Chief and his subordinates on a few of these issues they certainly have better experience with.	2/8/2024 9:08 PM
11	It might help streamline if some processes were approved at a lower level for those zones outside the city core where the decisions affect only immediate residential neighbors and not the more shared use areas downtown.	2/5/2024 2:35 PM
12	City council is too politically driven to make DR decisions. A truly well trained Planning Commission could be more objective, serve the voices of local full time people and eliminate as much bias as possible. They would be able to have a comprehensive design guide & make sure it is adhered to Write the codes clearly with specifics AND follow them. All the variances, conditional uses etc need to be reserved for very special & specific projects.	2/2/2024 12:39 PM
13	NO the "Staff" of the City Government come and goand make decisions that have long-term effects go =f the neighborhoodsin the mean time most all Staff members are long gone and wewho live here long-term are effected by those decisions???	2/2/2024 12:04 PM
14	In our experience, the gatekeepers already reject proposals before they even get to the planning commission or city council.	2/2/2024 9:19 AM

15	Encroachment agreements and exceedance agreements	2/2/2024 9:17 AM
16	Creating condominiums within an existing building	2/2/2024 8:40 AM
17	The entire process needs to be reworked and made more user-friendly	2/1/2024 4:55 PM
18	I think it's working OK as is. I'm able to get pretty quick answers from city staff.	2/1/2024 4:45 PM
19	There likely could be additional allowances for Design Review at the admin level for smaller scale changes to existing buildings. Certain types of lot line adjustment / plat amendment may also be candidates for admin. approval.	1/26/2024 4:36 PM
20	Staff should have a greater say in whether a project meets DR requirements, before it gets to the Commission.	1/26/2024 8:41 AM
21	Right of Way Encroachment Permit - consider how duplicative this is for larger projects, and how overly complicated this is for simple residential projects. How often is this a Code Enforcement issue? Should be a sign that the process doesn't match the work.	1/23/2024 10:17 AM
22	See above.	1/19/2024 5:16 PM
23	Simpler things like Lot Line Shifts could be handled by Staff. The more complicated a project is, the more bodies need to review it.	1/19/2024 5:11 PM
24	not until the KPZ includes more members with expertise in the areas upon which they are tasked with making decisions	1/19/2024 4:52 PM

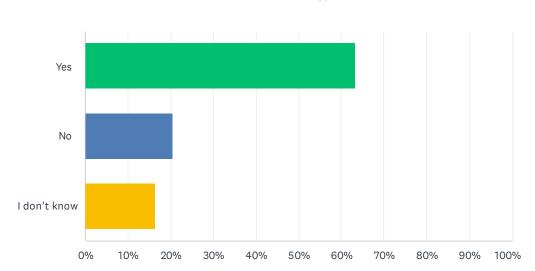
## Q15 Are there certain processes that currently require staff approval that should be delegated to a higher decision-making body (e.g., Planning Commission or City Council)? Please explain which processes and why.

Answered: 15 Skipped: 90

#	RESPONSES	DATE
1	No, if anything the Commission and P&Z lack the power needed to enforce criteria that would stop projects from going forward. Staff seems to be able to better control unrefined and opulent development within the City before it even gets out of the conceptual phase.	2/16/2024 5:47 PM
2	NO	2/16/2024 10:05 AM
3	I'm not intimately familiar with these processes and timelines.	2/15/2024 10:02 PM
4	N/A.	2/15/2024 11:16 AM
5	No	2/11/2024 3:19 PM
6	yes, and development of flood-plain or wetlands should be reviewed by a higher decision-making body given the impact on surrounding properties.	2/4/2024 5:03 PM
7	Most of the staff is fearful to make decisions and they are all under the eye of the Mayor so closely they must do his bidding so what difference does it make?	2/2/2024 12:39 PM
8	Most everything should be presented in front of P&Z and City Council	2/2/2024 12:04 PM
9	Yes. For example, staff should not be the gatekeeper for whether or not you can paver your driveway or parking area, etc.	2/2/2024 9:19 AM
10	staff is very good	2/2/2024 9:03 AM
11	Whatever is necessary to NOT give developers free rein	2/1/2024 5:27 PM
12	no.	2/1/2024 4:45 PM
13	None that I can think of.	1/23/2024 10:17 AM
14	Staff can approve building permit time extensions but not lot line shifts that comply with code. How does that make sense? This is the illusion of transparent government without the substance.	1/19/2024 5:16 PM
15	Although Consent Agenda doesn't take much of Councils time, it seems like an extra step that takes longer than Staff Approval. Expenditures should be approved by Council.	1/19/2024 5:11 PM

#### Q16 Do you feel there is adequate opportunity for public engagement?



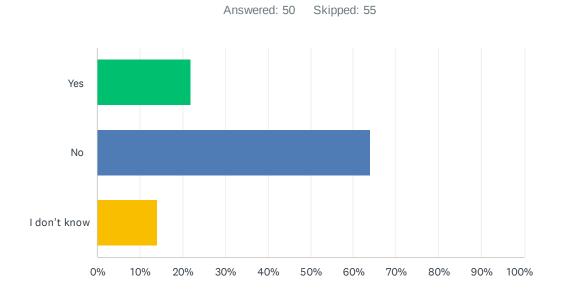


ANSWER CHOICES	RESPONSES	
Yes	63.27%	31
No	20.41%	10
I don't know	16.33%	8
TOTAL		49

#	PLEASE ADD ANY DETAIL YOU WISH TO EXPLAIN YOUR ANSWER:	DATE
1	I think the notifications that are sent out by the City to the public are somewhat hidden in large attachments and reference obscure ordinance numbers. I believe a one-page summary should be included that highlights the list of items on the agenda in terms that the general public can understand. This could be done with a brief summary of the staff report, and should provide images and renderings from the application package. Currently the attachments are too large for the majority of users who only access the internet from their phones. This adds to the situation where public comment is commonly not related to the item on the docket and is completely irrelevant. I also feel the City should coordinate with the Idaho Mountain Express about upcoming items on the agenda for the paper to help notify the public. Currently the greater part of the reporting takes place after deliberations have been made.	2/16/2024 5:47 PM
2	I almost feel there has become to much public engagement on issues probably irrelevant to most people in reality.	2/8/2024 9:08 PM
3	I am glad the new development on wood river drive went to the city council for review and an open opportunity for the public to comment. I am not sure in most cases and current regulations, this would.	2/4/2024 5:03 PM
4	You ask for feedback on predesigned & often redetermined projects. You don't actually ask for input or ideas, just to choice an option which may or mayn't be appropriate. Your surveys are BS and need to be written far more intelligently. And in a small town even one person's idea should be at least authentically listened to & considered. City gov presently is frustrated, controlled by fear, many not appropriately qualified or knowledgeable to make decisions. You have to think for the whole community. Presently that is not happening. The aesthetics of Main Street- benches, planters do not require an outside design firm from Boise. We must use local people. We have lots of very creative professionals available that could form a coalition &	2/2/2024 12:39 PM

	come up with a much more Ketchum aesthetic & fiction based on we move, act and live in our town.	
5	In my West Ketchum neighborhood there was a proposed (still ongoing) major SFR development which we left up to the Staff to give their approval, which was given without allowing any neighborhood feedbackwe were basically ignored by Staff until an appeal was made by a neighborthis project with have an enormous negative effect on the immediate neighborhood flood plain issues, traffic during construction issue noise and privacy issues, etc yet we as neighbors had no ability to be f=heard in front our elected officials. THIS IS WRONG!!!	2/2/2024 12:04 PM
6	Proposed development plans should be available upon verification of complete application not weeks or months later after staff report appears late Thursday for a Monday hearing.	2/1/2024 5:44 PM
7	There are council meetings, but I don't feel like there is a true desire to gain feedback and guidance. From the public. It feels more like they do only what they have to do and often have attempted to slide things through that they think should be in place, despite heavy kickback.	2/1/2024 4:55 PM
8	The last ordinance is a prime example of how the Mayor likes to keep the public in the dark on development. Shameful.	1/19/2024 5:16 PM
9	Public meetings and Open Houses give the Public an opportunity to know what is going on, if they care.	1/19/2024 5:11 PM

### Q17 Are the review and decision-making criteria Ketchum uses to make land-use decisions applied consistently?



ANSWER CHOICES	RESPONSES	
Yes	22.00%	11
No	64.00%	32
I don't know	14.00%	7
TOTAL		50

#	PLEASE ADD ANY DETAIL YOU WISH TO EXPLAIN YOUR ANSWER:	DATE
1	The City Staff has been making a clear effort to review and make decisions on applications in a consistent manner. We all appreciate this, but the actions of prior staff members were so egregious that it may take more time for the public to understand that Ketchum is a fair place to work in again. I think enforcement of non-conforming uses and buildings, specifically within the riparian and floodplain areas, could be more consistent.	2/16/2024 5:47 PM
2	Yes, they currently are; however, for several years prior to a year ago they were not.	2/15/2024 11:29 AM
3	Not always. Some projects are subject to a more strict interpretation of the (subjective) design review requirements than others.	2/15/2024 11:16 AM
4	This is getting better under new leadership. It was a major problem and liabilty to the city for a period of time.	2/14/2024 5:33 PM
5	The city allows the political whims of the noisy few to influence land use decisions. The City, its administrators, staff, and attorney should intervene when public processes are derailing for any reason. Someone needs to be responsible for ensuring that public processes and land use decisions are being made according to defensible input and for valid reasons.	2/14/2024 12:51 PM
6	the commission can sometime act subjective in their review	2/13/2024 2:24 PM
7	Standards need to be more objective, ESPECIALLY design review.	2/12/2024 10:41 AM
8	More so now that prior. Of course it is hard for any agency to be perfectly consistent .	2/11/2024 3:19 PM
9	It definitely seems to apply differently in different areasor possibly Local Contractors are better suited to alleviate and address the concerns of the community due to Experience and	2/8/2024 9:08 PM

knowledge of past issues and solutions.

	5 1	
10	I am only referencing two experiences with the planning and zoning, which relate to the water allowed to be pumped all the way from Bird Dr. down to Williams street, which added to the already difficult situation at Williams and Wood River Drive and the recent permitting for the house on Wood River Drive adjacent to Williams street.	2/4/2024 5:03 PM
11	The "Hot Dog Hill" project proposed in 2020 appeared to meet the standards, was rejected. Currently an application for 200 N. Main could see same fate if Commission ignores Staff carefully evaluated recommendation.	2/2/2024 2:38 PM
12	It really seems it is based on the amount of money the city will receive & not the personality of us as a collective, as a community, as a small ski & summer resort town.	2/2/2024 12:39 PM
13	Absolutely done on a case by case basis. Warm Springs Road for example. Look at the houses and driveways. Approval given to some, but not to others.	2/2/2024 9:19 AM
14	A building of significant bulk and height is approved outright while a lesser sized building is challenged by P&Z Commissioners and an uniformed biased City Council member	2/2/2024 9:17 AM
15	for sure not. so much has do with relationships. more than once I was told small town	2/2/2024 9:03 AM
16	As above	2/2/2024 7:33 AM
17	Hard to believe you would ask this question with all the chaos surrounding the existing process. We have excellent staff., a P&Z with very limited applicable expertise and a largely unengaged Council- all leading to a very arbitrary process and such a lack of certainty that high quality developers are reluctant to engage.	2/1/2024 5:44 PM
18	30 years of interpretation was erased by one person and her personal views. Now, it's just a cluster	2/1/2024 4:55 PM
19	Over time, elevators next to interior property lines have been interpreted differently.	1/26/2024 8:41 AM
20	200 N Main/old Ricos project is most recent example of P&Z not following the rules equitably	1/24/2024 10:38 AM
21	Re: 200 N Main St. projectthis project checks all the land-use boxes, receives a glowing Staff report, but shot down by P&Z. How does a developer operate under these conditions?	1/23/2024 10:17 AM
22	Read the staff memo for Bluebird. The. Read the staff memo for Solstice. Same planner. 100% opposite application of the same code provisions.	1/19/2024 5:16 PM
23	Violations of Code are an item that maybe shouldn't be applied as consistently as those that do play be the rules.	1/19/2024 5:11 PM

## Q18 Are there any details currently included in Title 16 or Title 17 that would be better located in a separate administrative manual or user guide outside of the Code? Please provide your thoughts below.

Answered: 14 Skipped: 91

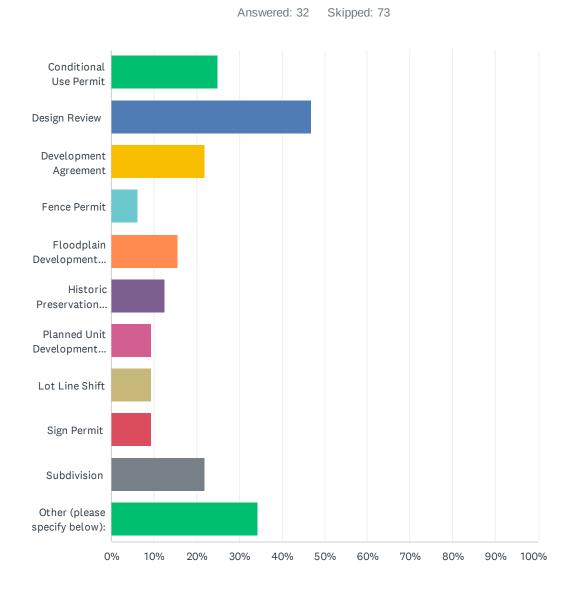
#	RESPONSES	DATE
1	I like all the info provided in Titles 16 and 17, but too many items in Title 17 trigger different requirements in Title 16 which can become hard to keep straight.	2/16/2024 5:47 PM
2	I'm not sure.	2/15/2024 10:02 PM
3	Yes - the process and requirements for subdivisions and lot line shifts.	2/15/2024 11:16 AM
4	A sustainability manual would be helpful, but would like to see it in the code.	2/14/2024 10:47 AM
5	Code should be kept as code and not a guideline	2/13/2024 2:24 PM
6	Don't believe I have helpful feedback to contribute toward this question	2/11/2024 3:19 PM
7	Both have huge environmental impact factor. The City Council & Mayor have clearly demonstrated they are ignorant of this knowledge. A planning team with insight, experience & knowledge of environmental health & the time to check up, follow through on the decisions made is vital. Warm Spring Ranch subdivision is a gross display of riparian disregard. It displays trophy homes in a mix most unpleasing to the eye as if it is a MindCraft village. Very disappointing. Once precedents are set is harder to avoid their repeat error next time around. Long term health of where we live, the natural environment is key to our long term health as a small resort town. Destroy nature, destroy ourselves. Start caring & planning fro what town will be for generation ahead. We don't even consider this. Shame on us.	2/2/2024 12:39 PM
8	Not taht I am aware of at this time??	2/2/2024 12:04 PM
9	Not while the FAR and building code conflict	2/2/2024 9:17 AM
10	As referenced above an interested party should be able to enter a parcel description and access every applicable code section.	2/1/2024 5:44 PM
11	We don't know title 16 or title 17. We are immersed in our own businesses and lives. What we DON'T want is uninteresting boxes rising 3 or more stories lining our streets, creating homogeneous canyons. You're destroying our town's character. Look at how McCall maintains it's character	2/1/2024 5:27 PM
12	I think there are lots of guidelines, timeline info, cheat sheets, general how-to's that could be on the website instead of in the code.	1/26/2024 8:41 AM
13	NA	1/19/2024 5:16 PM
LO		

# Q19 Are there any development application types that are missing from the list of forms, permits, and applications on the Planning and Building Department's website? If yes, which applications would you like to see added?

Answered: 18 Skipped: 87

ш	DECRONCES	DATE
#	RESPONSES	DATE
1	None come to mind	2/16/2024 10:05 AM
2	should have a general irrigation floodplain development permit as it is mentioned in floodplain code.	2/15/2024 2:50 PM
3	N/A	2/15/2024 11:19 AM
4	If necessary, EV charging equipment/EVSE	2/14/2024 10:52 AM
5	no	2/14/2024 9:22 AM
6	Not that I am aware of	2/11/2024 3:20 PM
7	Homeowners Have inquired about heating in their personal greenhouses obviously to Utilize year-round to increase their gardens yield. I have declined being uncomfortable with requests of possible gas piping for heating devices as well as H2O piping requested for irrigation needs and desires. Not sure if Homeowners found someone else who would be comfortable or stopped their ambitions for such a thing at that time. There does appear to a demand for maybe some guidelines on such endeavors. Just guidance though, overregulation and laws just encourage less disclosure at all of such ideas and plans, and keeping such places secret and free from inspection/permit/fees requirements anything similar to Requirements of traditional buildings and standards	2/8/2024 9:57 PM
8	any changes for new developments that negatively impact water flow.	2/4/2024 5:04 PM
9	Environmental implications for any build or subdivision.	2/2/2024 12:47 PM
10	More public input in front of elected officials	2/2/2024 12:07 PM
11	Whatever it takes to stop the de-Idahoing of Ketchum	2/1/2024 5:28 PM
12	don't know	2/1/2024 4:46 PM
13	I think there should be lots added! Master sign permit, different apps and checklists for different type projects based on size, complexity, etc.	1/26/2024 8:43 AM
14	I don't know	1/24/2024 9:32 AM
15	This has been much improved over the past year and a halfgreat job!	1/23/2024 10:20 AM
16	more tailored checklists for each application type, as you are currently working on	1/22/2024 5:32 PM
17	NA	1/19/2024 5:17 PM
18	I think you have it covered	1/19/2024 5:12 PM

Q20 Based on your experience, are there certain application types for which the submittal requirements are unclear, excessive, or otherwise challenging? (Check all that apply):



ANSWER CHOICES	RESPONSES	
Conditional Use Permit	25.00%	8
Design Review	46.88%	15
Development Agreement	21.88%	7
Fence Permit	6.25%	2
Floodplain Development Permit	15.63%	5
Historic Preservation Applications	12.50%	4
Planned Unit Development Amendments	9.38%	3
Lot Line Shift	9.38%	3
Sign Permit	9.38%	3
Subdivision	21.88%	7
Other (please specify below):	34.38%	11
Total Respondents: 32		

#	OTHER (PLEASE SPECIFY BELOW):	DATE
1	I'm not intimately familiar with these applications.	2/15/2024 10:02 PM
2	Solar / PV (incentivize and not punitive process)	2/14/2024 10:52 AM
3	Innovative businesses with their own design specific criteriaSuch custom businesses don't need Commercial Building standardsthey usually have trade-group or industry standards that are up-to-date of best and safest practices to follow regardless, and local/state codes are unnecessary, costly, and new business prohibitiveI've personally seen 2 businesses never get off the ground after these additional costs and project delays overran the Finances of the individuals to the point they abandoned the endeavor altogether.	2/8/2024 9:57 PM
4	Checklists posted for what is required in any given application naturally need to be complete and comprehensive, but it is often difficult to know how to respond when something on the checklist is not applicable to the project in question.	2/2/2024 2:42 PM
5	They are all mostly unclear and too complicated for the average property owner to understand	2/2/2024 12:07 PM
6	forced to sign to appear in front of zoning then was the challenge of an appeal on a document i was forced to sign to appear	2/2/2024 9:04 AM
7	Again the elephant excedence/FAR/visual impact issue	2/1/2024 5:46 PM
8	while i haven't personally gone through design review, i have heard complaints from those who have.	2/1/2024 4:46 PM
9	All need more clarity, info and definitions of what staff is asking for.	1/26/2024 8:43 AM
10	Right-of-Way Encroachment Permit	1/23/2024 10:20 AM
11	NA	1/19/2024 5:17 PM

## Q21 Tell us about the options you selected that could be improved in Question #20 above. Please explain why these specific applications need to be improved. Share specific examples or experiences.

Answered: 20 Skipped: 85

#	RESPONSES	DATE
1	I do not think that any of the City Applications are challenging once you have filled out a few, but they definitely can be excessive and unclear. Examples would be when narrative responses are required (MOD and CUP). The applications do not state that responses need to be explicitly given for all the permit criteria, but this is what the City has expected. The problem is most of the criteria are statements that do not need to be replied to, just complied with. Floodplain Development Permit – The City Code is not clear on when these are required, and staff have been inconsistent in requiring them. Sometimes it is required if a Lot is partially within the Floodplain Management Overlay, and other times they are only required if proposed development is within a FEMA designated floodplain. Avalanche CUP – I truly believe that the City's requirement for both the Structural Engineer and the person responsible for that Avalanche Study to give definitive statements that a structure will not deflect towards adjacent properties is a completely unreasonable and dangerous requirement. (17.92.010.D.2) The second part of this line that states "or otherwise threaten to increase the danger to persons or property are prohibited" should be more than enough to satisfy the requirement. The problem is that the line that states "threaten to deflect toward property of others" is vague to the point in which it becomes undefinable. No licensed professional should be forced to make professional statements of certainty, and thereby assume liability, for requirements that can be interpreted in vastly different ways. Also, a structural engineer with no experience in avalanche deflection and should only speak to the structure itself.	2/16/2024 5:47 PM
2	I'm not intimately familiar with these applications.	2/15/2024 10:02 PM
3	There are many standards in floodplain development that need to be verified which are not on the application when originally submitted. For lot line shifts of parcels with an existing residence, applicants should need to submit setback & building coverage measurements for staff to review. Always have to ask for that information as it is not listed on application.	2/15/2024 2:50 PM
4	There are corrections being made, but prior to those being incorporated, the information requirement check list for pre-application design review and final design review were the same making the preapplication process ineffective.	2/15/2024 11:33 AM
5	All of the applications need to outline the City's commitment of review turnaround times.	2/15/2024 11:19 AM
6	The final plat process should be allowed much earlier in the building process for projects in the core. The time that it takes to gather approvals and signatures is lengthy and unnecessary and not in line with state statutes. They also have to be shipped around the state to gather proper signatures as a few engineers are not local. Allowing final plat prior to construction or at the latest after framing is complete would elevate undo delays or financial costs.	
7	There should be examples of what Fence and Sign permit requirements are. Most applying for those permits are not professionals, but property owners/small business owners and they have no clue what the requirements are - they understand the words, but not the context. CUP - there just seems to be much more that is asked for than what the code states when these applications are submitted.	
8	The default development agreements are written in a way that tries to [in our clients' opinion] illegally shift risk from public property over to the land owners. A fair and equitable agreement should be drafted that distributes risk appropriately so that several iterations with the city and outside attorneys are not necessary. Historic Preservation in this town is also off the rails. There should be an actual academic or historian that comes in to evaluate the existing building stock, and determine if any of them hold any relevance. The current windshield study simply labeled things that are 'old' not necessarily historically 'relevant'.	2/14/2024 12:56 PM

9	It seems subjective but held in a higher standard.	2/14/2024 9:22 AM
10	I have generally found the application material appropriate	2/11/2024 3:20 PM
11	See answer I submitted above to Question #20Same Response to this Question #21	2/8/2024 9:57 PM
12	There are excessive terms in fact most all are too lenient. Too often disregard. The historic preservation is way too late to game. We've lost most al of our buildings. Saying we are 'saving' the old Thai restaurant house was it has a monstrous building attached to it is not historic preservation. Warm Spring Ranch subdivision is a riparian atrocity. The flood plan connectivity is not only not existing but the agreement to give that subdivision the rights of the stream bank on the other side disallow efficient & functional steam restoration at WSP. Stupid oversight. Our natural environment is what keeps this small resort town alive. When will we take its health into consideration first & foremost.	2/2/2024 12:47 PM
13	every one of the applications need to be simplified yet still allow for public input in front of elected officials	2/2/2024 12:07 PM
14	Need consistent answers	2/2/2024 7:34 AM
15	The whole notion of "fit" needs to be addressed with specific criteria, 3D neighborhood modeling, and clear staff guidance prior to pre-app.	
16	What is required for a master sign permit? How is it phased, or what happens when a new tenant moves in? DR just needs to make sure all requirements applied are codified.	1/26/2024 8:43 AM
17	See previous comments.	1/23/2024 10:20 AM
18	For design review, the intent and requirement for an exterior lighting study is unclear; the code only regulates lighting trespass between different zone types; the coordination with the City Engineer and the street light supplier is challenging to say the least.	
19	NA	1/19/2024 5:17 PM
20	I think Design Review may be the most difficult process and the user Guide and/or Flowchart could make it easier.	1/19/2024 5:12 PM

## Q22 Do you have any other comments, questions, or concerns about topics related to the City's land-use regulations that were not mentioned in this survey? Please provide your feedback below.

Answered: 23 Skipped: 82

#	RESPONSES	DATE
1	Affordable housing should not be in the core. Affordable housing that is in the core should be designated for essential workers.	2/16/2024 8:27 PM
2	The ROW Encroachment Code drastically needs radical changes. As it is written, engineers are required to do things wrong, and in the process not comply with numerous other codes. The code covering driveway approaches needs to be revised so that it meets IFC requirements. Also, the definition of "intersection" in this code needs clarification. Is the required setback distance from the edge of asphalt or ROW? The requirement for Engineers to sign Plats needs to be removed. The requirement for engineers to do grading plans in the MOD and FP needs to be evaluated. I would like to see better definitions on when existing nonconforming uses within the Floodplain and Riparian Zones need to be addressed and rectified.	2/16/2024 5:54 PM
3	Thanks for all your efforts to improve the code 2/16/2024 10:06 AM	
4	I do not.	2/15/2024 10:03 PM
5	N/A	2/15/2024 11:19 AM
6	Thank you for this opportunity. This project is long due. I am happy that it is happening.	2/14/2024 5:35 PM
7	Increasing density, land/water conservation, tree canopy preservation, energy efficiency/savings and some accounting for embodied carbon might be helpful (whether through the market / awareness, or through code).	
8	I worry about parking within the city of Ketchum I have had a lot of coworkers, clients, and friends comment that the CC zone should be limited to less height and that Ketchum is loosing its character. This is a tough topic, as I do support development. I think Ketchum should consider requiring bonds for certain types of large work. Eg a bond could ensure that holes don't get dug and indefinitely stay open. The bond would cover filling it in after a certain number of days of no work starting. I've seen them successful in other municipalities making sure GCs finish public improvements tied to a permit in a timely manner, as well as cover costs to clean things up when projects fall through.	
9	It would be Great if Ketchum could finally get serious about Utilizing the Geothermal Water source from Warm Springs for Public and or Private Use. The City and taxpayers paid for 4th Street to have all the tubing installed for Snowmelt in 2007-Currently I believe. It's all there just waiting to someday be filled and finally utilized for its Original purposeSurely helping alleviate Snow-Clearing and Storage issues common during every Winter.	2/8/2024 10:06 PM
10	Please reconsider the current Ketchum core minimum parking requirements for new development. The current system allows for little to no on site parking which is going to be a big problem in Ketchum's future. It's unrealistic an utopian to think Ketchum residents won't have cars if they live in town.	
11	I appreciate the planning and zoning department's goal of updating the building codes to reflect the current needs of the community. I would like to see more regulations and accountability for developers to share in the costs to upgrade surrounding infrastructure and water flow given the historical problems in West Ketchum. Today, the builders profit tremendously and do the minimum to get permitted. We need to change the regulations to shift more ownership and accountability to contribute to the greater Ketchum community.	2/4/2024 5:07 PM
12	Land reciprocity is key to ANY community's ability to thrive. We live surrounded in natural setting, yet we continue to obliterate it by allowing every development to overreach its boundaries in the effort to deliver maximum profit. Shameful. We are killing the place we live.	2/2/2024 12:53 PM

Our codes, law etc must place the health of place above financial greed so the people of our community can also thrive. At present the direction of our zoning development is void of any consideration of the people who live here. It's not about building more it's about NOT striving for the most money. You can see our community has plenty of money flow but not enough people who care about the day to day function of a community. People before profit. I don't care if you're rich, you can't live here if it means all the skilled people who make a town run can't live here. New paradigm necessary. Please don't let the fixation on an arbitrary reduction in permissible FAR overwhelm a well-2/1/2024 5:50 PM 13 informed set of architectural guidelines that are what actually influence visual impact and community character. Arbitrarily reducing FAR may not have any discernible affect on visual impact and may just further deter development by driving pricing targets to infeasible levels. 14 AirBnB and VRBO needs much stricter regulations 2/1/2024 5:28 PM 15 Nope - thanks for providing a platform for community engagement. 2/1/2024 4:47 PM 16 Kudos to Ketchum for the code overhaul + Comp Plan update project! Every public sector 1/26/2024 4:39 PM planner across the nation understands the challenges that result from incremental amendments over time, especially when a code's foundation is decades old. Staff, property owners, and design professionals will all benefit from the end-to-end code rewrite. The issue is lack of enforcement 17 1/26/2024 11:15 AM 18 Staff do an amazing job, let's get them a code that supports them. 1/26/2024 8:44 AM 19 the priority between parking and workforce housing is uncleaer 1/24/2024 10:39 AM 20 During this code re-write session, I hope that the City can address density needs in a way that 1/23/2024 10:24 AM better suits the community (i.e. provide for higher density development in places that fit), fix our chronic under-parking issues (we're in rural Idaho, not NYC...you need a vehicle here), and promote high-density residential development in a way other than penalizing developers from not providing shoeboxes to BCHA...how about some incentives, rather than disincentives? 21 The code is clearly not in compliance with the state requirement that it be in plain English. Ex 1/19/2024 5:18 PM of community housing definition. 22 Nothing I can think of right now. Incentives for Housing might help. 1/19/2024 5:13 PM 23 the survey does not seek input into solutions to the City's most pressing issues, that would 1/19/2024 4:57 PM necessarily become part of the zoning code (height, bulk, parking requirements, density in all zoning districts, conversion of underutilized LI land into CH units, etc.)

### Q23 Want to stay up to date? Please provide your e-mail to be added to the list for project updates.

Answered: 13 Skipped: 92

#	RESPONSES	DATE
1	alexnelson@alpineenterprisesinc.com	2/16/2024 5:54 PM
2	Already on it, thank you	2/11/2024 3:30 PM
3	flanaganplumbing@gmail.com	2/8/2024 10:06 PM
4	brianparmstrong@hotmail.com	2/4/2024 5:07 PM
5	tom@mongeinvestments.com	2/2/2024 12:07 PM
6	jim.d.garrison@outlook.com	2/2/2024 9:19 AM
7	sflavin@windermere.com	2/1/2024 4:55 PM
8	matt@kenny-bogue.com	2/1/2024 4:47 PM
9	bskelton@sunvalleyidaho.gov	1/26/2024 4:39 PM
10	nicole@mediciarchitects.com	1/26/2024 8:44 AM
11	mk@melissakinteriordesign.com	1/24/2024 9:33 AM
12	matt@galena-benchmark.com	1/23/2024 10:24 AM
13	bsmith@alpineenterprisesinc.com	1/19/2024 5:13 PM

From: HP Boyle < boylehp@yahoo.com > Sent: Tuesday, March 12, 2024 11:39 AM

**To:** Participate <<u>participate@ketchumidaho.org</u>> **Cc:** Andrew Guckes <<u>aguckes@mtexpress.com</u>>

Subject: PUBLIC COMMENT: The Comprehensive Plan process

Having attended the City Council meeting and first listening session on the Comprehensive Plan, many thoughts come to mind about this process. At Monday's Council meeting, one P&Z member asked the Mayor who the Comp Plan is for. He didn't get a clear answer. The Comp Plan is for the people of the community to hold their elected and appointed officials accountable for implementing the community's vision for its development. The Mayor should have been able to state that.

The explicit goal of the Planning Department, as directed by the Council, is to mark up the 2014 Plan rather than create a new one. Why? You don't need to make our plan fit an arbitrary format if that doesn't serve our needs. Given the considerable turnover and growth in population over the past decade, why is the old plan a suitable basis for the new plan? **Ketchum is unique and deserves a unique plan.** A basic best practice to keep in mind: Whenever you use the word "and" in a value, you muddy it and make deliverables around it much harder to achieve. The consultant has littered the values in a compound manner that, if adopted, will make this plan as challenging to accomplish as the past one.

While the community survey is statistically valid, it is still biased based on what it asked and what it didn't ask. For example, there were no questions about values around public subsidization of private business via housing subsidies, LOT subsidies, etc. This survey was, in my opinion, biased toward how to accommodate more tourism.

One of the reasons for the failure of the last plan is that **the City has no process or criteria against which to allocate its scarce resources**. Thus, the City is stuck reacting to the issue of the day or accomplishing only what a small number of people who control the Council want to see happen. There is currently no plan to include this in the new Comp Plan. The survey did not even ask about good stewardship of city resources as a core value. Yet clearly, people are dissatisfied with the Administration for its poor planning process (#2 concern in the survey.). We can address this in the new Plan if the Council demands it.

Perhaps this wasn't stated because that is not how the Ketchum government has worked for the past six years. The Comp Plan has been honored in the breach. Where can the public find a report on the City's progress on the 2014 Plan? Why was progress never reported? What is the point if we don't track progress against a plan? Why does nothing in the plan outline cover how the City will be held accountable for achieving the new plan?

There was a lot of confusion about public expectations at the Council meeting this week. There were many different interpretations of specific words. What does "variety" of housing mean? Why are people unhappy with regional coordination? What does "sustainable" mean? "Vibrant? " **Given that the council doesn't know the answers to the questions pertinent to the Comp Plan, why not ask the community?** For housing, why not ask residents and businesses what kind of housing, where, how it should be paid for, etc? What kind of occupations should be prioritized for housing? What is the expectation for employers to support workforce housing? We could ask people what aspects of history, arts, and culture they value and what warrants more public investment. Does the 5% for art still make sense? Should it be more or less? What do they like or not like about the LOT? FSVA. VSV. BCHA. Etc. (Community Engagement is supposed to be a core value).

Based on community feedback at the first listening session, the interpretation of the Housing responses appears to be biased to say the consensus is that we need more. That's not really what the results said. It said **people are unhappy with what the City is doing about housing.** It could be that there is not enough, or that it is the wrong format (massive four-story blocks), or in the wrong place (in the retail core),

or for the wrong people (retirees rather than workers). Despite the Mayor's assertion of transparency, few people know the plan for more Bluebirds at the Lift Tower Lodge site, the 6th St parking lot, or the Y parking lot. Why isn't this being shared with the public? These projects will eliminate even more parking in commercial areas while increasing demand for parking. It is also telling that the Housing plan, which will have the most significant impact of any decision about Ketchum, for decades, is being implemented before the new Comprehensive Plan takes effect.

This Comp Plan is supposed to guide us for the next decade. Let's do the work to do it right. The people of Ketchum deserve that.

Thank you,

Perry Boyle Ketchum