CITY OF KETCHUM, IDAHO
PLANNING AND ZONING COMMISSION
Tuesday, February 11, 2025, 4:30 PM
191 5th Street West, Ketchum, Idaho 83340

AGENDA

PUBLIC PARTICIPATION INFORMATION
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If you would like to comment on a public hearing agenda item, please select the best option for your participation:

1. Join us via Zoom *(please mute your device until called upon)*.
   Join the Webinar: https://ketchumidaho-org.zoom.us/j/82993284746
   Webinar ID: 829 9328 4746

2. Address the Commission in person at City Hall.

3. • Submit your comments in writing at participate@ketchumidaho.org *(by noon the day of the meeting)*

This agenda is subject to revisions. All revisions will be underlined.

CALL TO ORDER: By Neil Morrow
ROLL CALL: Pursuant to Idaho Code 74-204(4), all agenda items are action items, and a vote may be taken on these items.
COMMUNICATIONS FROM COMMISSIONERS:
CONSENT AGENDA:
ALL ACTION ITEMS - The Commission is asked to approve the following listed items by a single vote, except for any items that a commissioner asks to be removed from the Consent Agenda and considered separately.

1. Approval of the February 3, 2025 minutes from the Planning and Zoning Commission
2. Recommendation to approve the Warm Springs Preserve Floodplain Development Permit (P24-002) Findings of Fact, Conclusions of Law, and Decision

NEW BUSINESS:

3. Election of Chair.

PUBLIC HEARING:

4. Recommendation to review and provide feedback on the Sawtooth Serenade Design Review Application (P24-0247)
5. Recommendation to review and provide feedback on the Knob Hill Residence Pre-Application Mountain Overlay Design Review.

EXECUTIVE SESSION:

ADJOURNMENT:

CITY OF KETCHUM
MEETING MINUTES OF THE
PLANNING & ZONING COMISSION
Tuesday, February 03, 2025

CALL TO ORDER: *(00:00:20 in video)*
Neil Bradshaw called the Special Joint meeting of the Ketchum City Council and Planning and Zoning Commission to order at 4:01 p.m.

ROLL CALL:
Neil Bradhsaw
Matthew McGraw
Susan Passovoy
Spencer Cordovano
Amanda Breen
Courtney Hamilton
Tripp Hutchinson
Neil Morrow
Brenda Moczygemba (online)

ALSO PRESENT:
Morgan Landers – Director of Planning & Building
Jade Riley – City Administrator
Abby Rivin – Senior Planner
Paige Nied – Associate Planner

COMMUNICATIONS FROM COMMISSIONERS: *(00:01:20 in video)*

- None

NEW BUSINESS: *(00:01:35 in video)*

1. Approval of the Amended January 28, 2025 minutes **(Planning & Zoning Commission ONLY)**

   Motion to approve the consent agenda.
   MOVER: Susan Passovoy
   SECONDER: Brenda Moczygemba
   AYES: Susan Passovoy, Matthew McGraw, Tim Carter, Brenda Moczygemba, & Neil Morrow
   NAYS:

RESULT: UNANIMOUSLY ADOPTED

2. Review of public feedback on the Draft Comprehensive Plan and Discussion of Draft Future Land Use Map Changes *(00:02:30 in video)*
    - Explanation of presentation format; Neil Bradshaw *(00:01:20 in video)*
    - Staff presentation, introduction of planning staff, general project overview; Morgan Landers *(00:03:25 in video)*
    - Staff presentation on process of the Draft Comprehensive Plan, explanation of project's timeline to date, review of community feedback, explanation of what the Draft Comp Plan does, why the Draft Comp Plan was created, clarification of community engagement over timeline, summary of community engagement's primary concerns, explanation of meeting's purpose for gaining direct feedback and direction from City Council and Planning & Zoning commission; Morgan Landers *(00:05:15 in video)*
    - Staff presentation on community feedback, total amount of comments, methods of gathering community feedback, most common topics of comments, "To Do" list for next draft of Comp Plan, items that will not be implemented; Morgan Landers *(00:10:30 in video)*
    - Staff presentation on Future Land Use Map ("FLUM"), community confusion on difference between FLUM and zoning, clarify intent regarding density ranges, expand discussion of land use categories, expand comparative analysis between 2014 Comp Plan and 2025 Draft Comp Plan; Morgan Landers *(00:10:30 in video)*
    - Staff presentation on concerns that Staff desires direction on from P&Z Commission and City Council, namely single family zoning, specific changes of land use designations depending on location; Morgan Landers *(00:19:50 in video)*
    - Staff presentation on commonly asked questions, and answers to them; Morgan Landers *(00:20:30 in video)*
    - Commission & Council questions for Staff and Staff responses regarding specific topics such as lack of trust in local government, and annual work plans which audit the comprehensive plan; Susan Passovoy, Morgan Landers *(00:23:00 in video)*
    - Commission & Council comments on presentation, thanking Staff for putting it together, thanking attendees for participation, commenting on percentage of city that remains single-family, commenting on potential infrastructure requirements, commenting that Staff, Commission, and Council remain open to conversation, that comment submissions remain open; Spencer Cordovano *(00:25:40 in video)*
    - Commission & Council questions and Staff responses on not moving forward with design guidelines, requesting clarification community opinion of that topic, clarifying that the community opinion to not remove design guidelines; Courtney Hamilton, Morgan Landers *(00:28:40 in video)*
    - Staff presentation on land use versus zoning, clarifying what each item is, what it involves, what it controls or does not control, how it is implemented or not implemented, the process of each; Morgan Landers *(00:30:00 in video)*
    - Staff presentation on land use and density, looking at balance of seasonal/vacant housing vs. owner-occupied housing vs. long-term rental housing, how to achieve balancing those ratios, explaining density ratios; Morgan Landers *(00:34:0 in video)*
    - Staff presentation and Commission & Council questions on West Ketchum neighborhood, summary of existing neighborhood, zoning, density, and proposed Comp

Plan clarifications and alterations, clarification of error on the online land use map 'slider' tool, presentation of Staff's proposed changes to Draft Comp Plan in that neighborhood, presentation of questions for PZ/CC for that neighborhood; Abby Rivin, Courtney Hamilton, Spencer Cordovano, Neil Bradshaw, Tripp Hutchinson, Morgan Landers *(00:39:20 in video)*

- Staff presentation and Commission & Council questions on Warm Springs Base neighborhood, summary of existing neighborhood, zoning, density, and proposed Comp Plan clarifications and alterations, presentation of Staff's proposed changes to Draft Comp Plan in that neighborhood, presentation of questions for PZ/CC for that neighborhood; Paige Nied, Spencer Cordovano, Morgan Landers, Susan Passovoy, Courtney Hamilton *(00:54:05 in video)*
- Staff presentation and Commission & Council questions on Mid Warm Springs neighborhood, summary of existing neighborhood, zoning, density, and proposed Comp Plan clarifications and alterations, presentation of Staff's proposed changes to Draft Comp Plan in that neighborhood, presentation of questions for PZ/CC for that neighborhood; Abby Rivin, Neil Bradshaw, Brenda Moczygemba *(01:07:20 in video)*
- Staff presentation and Commission & Council questions on 2nd Ave Transition neighborhood, summary of existing neighborhood, zoning, density, and proposed Comp Plan clarifications and alterations, presentation of Staff's proposed changes to Draft Comp Plan in that neighborhood, presentation of questions for PZ/CC for that neighborhood; Paige Nied *(01:12:40 in video)*
- Staff presentation and Commission & Council questions on overall city overview, changes to overall acreage, density changes; Morgan Landers, Tim Carter, Susan Passovoy, Neil Morrow, Tripp Hutchinson *(01:16:00 in video)*

PUBLIC COMMENT: *(01:18:30 in video)*

3. Public comments
    - Opened public comment period, and provided ground rules; Neil Bradshaw *(01:18:30 in video)*
    - Public Comment from Susan Winget (sp?) regarding density changes and setbacks. *(01:19:30 in video)*
    - Public Comment from Michelle Stennett regarding infrastructure improvements, insurance adjustments. *(01:20:20 in video)*
    - Public Comment from Tori Canfield regarding existing densities, infrastructure, encouraging not increasing density across the board. *(01:22:50 in video)*
    - Public Comment from Stu Ryan regarding adding back single family residence to MDR zoning, and allowing Duplexes. *(01:26:10 in video)*
    - Public Comment from Mark Macranz regarding single family residences, rebuilding homes if natural disasters occur. *(01:28:50 in video)*
    - Public Comment from Ned Burns (sp?) regarding getting zoning changes simultaneously with Draft Comp Plan, and retail core zone. *(01:31:40 in video)*

- Public Comment from Anne Winton (sp?) regarding single family residences,. *(01:33:50 in video)*
- Public Comment from Heidi Scherntanner (sp?) regarding high density zoning. *(01:34:50 in video)*
- Public Comment from Tracy Nichols regarding total lands available for use in each neighborhood, and theoretical maximum homes in each neighborhood, for infrastructure concerns. *(01:37:30 in video)*
- Public Comment from Andy Ross regarding reconstruction of housing after natural disaster, and concerns about density. *(01:38:10 in video)*
- Public Comment from Julie Johnson regarding what goals are intended, and density. *(01:39:10 in video)*
- Public Comment from Mark Holman regarding controlling short term rentals, and second order effects on infrastructure, and disputes with analysis behind parking plan. *(01:39:50 in video)*
- Public Comment from Robin Newcomb (sp?) regarding addition to overlays to demonstrate the size of an Acre for educational purposes. *(01:42:30 in video)*
- Public Comment from Perry Boyle regarding disagreement with Draft Comp Plan. *(01:43:00 in video)*
- Reminder to attendees to not interfere with public comment and creating a safe environment for any expressed viewpoint; Neil Bradshaw *(01:45:00 in video)*
- Public Comment from Lee Chub regarding analysis on second order impacts on traffic and infrastructure, disagreement with Draft Comp Plan, and timeline of process. *(01:46:10 in video)*
- Public comments closed; Neil Bradshaw *(01:48:20 in video)*

NEW BUSINESS (CONT.): (01:49:00 in video)

4. Continuation of previous Action
    - Commission & Council comments re support for public comment; Tripp Hutchinson *(01:48:20 in video)*
    - Staff presentation regarding public comments, and answers to them, noting an average of 1% annual growth approximating 26 households per year, capability of current water/wastewater systems to handle 1% growth until 2070, interplay of road traffic with encroaching onto private property, confirmation that nonconforming buildings destroyed by natural disaster are allowed to rebuild as is within a two-year window as seen by Limelight Condos, confirmation of city flexibility with nonconforming use as shown by single family residences in downtown core, clarifying that densities are not per lot but by per acre; Morgan Landers *(01:49:40 in video)*
    - Commission & Council questions and Staff responses regarding public comments, specifically infrastructure, simultaneous development of zoning code and land use, single family not necessarily being occupied, reminder that City has spent significant effort on code and not missed a simple fix; Neil Bradshaw, Susan Passovoy, Morgan Landers, Tripp Hutchinson, Spencer Cordovano *(01:58:00 in video)*

- Commission & Council discussion and Staff responses regarding overall presentation, difference between single family residence and townhomes, putting single family zoning back in MDR, difficulty of density terminology, simultaneous implementation of zoning code and land use, responses to public comment disagreement on Comp Plan, comments on decreased density not always decreasing hosing prices; Neil Bradshaw, Courtney Hamilton, Morgan Landers, Neil Morrow, Tripp Hutchinson, Susan Passovoy, Amanda Breen, Matthew McGraw, Tim Carter *(02:07:50 in video)*
- Commission & Council discussion and Staff responses regarding single family home use in the MDR, dislike of blanket statements due to complexity, confirmation that the City cannot flat out require community housing or full-time residency, only implement incentivizing and disincentivizing policies; Neil Bradshaw, Matthew McGraw, Morgan Landers, Susan Passovoy, Spencer Cordovano, Tripp Hutchinson *(02:30:50 in video)*
- Commission & Council discussion and Staff responses regarding Warm Springs, acknowledgment that draft comp plan is codification and clarification of existing neighborhood structures and densities, disagreement with statements that new draft comp plan is a jump in density, discussion of additional density, request for number of existing dwelling units and hypothetical maximum dwelling units, discussion of difficulty in assessing hypothetical maximum dwelling units, confirmation from Staff that they are working on that topic; Neil Bradshaw, Morgan Landers, Neil Morrow, Tim Carter, Matthew McGraw, Courtney Hamilton, Susan Passovoy, Brenda Moczygemba, *(02:38:25 in video)*
- Commission & Council discussion and Staff responses regarding Warm Springs, potential zoning changes, need for a transition zone, discussion of avalanche zoning, discussion of lot sizes as a driver for the dividing line of zoning; Tripp Hutchinson, Neil Morrow, Morgan Landers, Matthew McGraw, Neil Bradshaw *(02:56:10 in video)*
- Commission & Council questions and Staff responses regarding mapping tools for zoning and density, discussion of aerial photography use, discussion of 3d mapping becoming obsolete within 6 months to a year; Susan Passovoy, Morgan Landers *(02:59:30 in video)*
- Staff presentation and Commission & Council questions regarding commercial employment zoning in 2014 Comp Plan, changes to current 2025 Comp Plan, discussion of future land use map for entire city as opposed to specific neighborhood deep dives; Morgan Landers, Neil Bradshaw, Courtney Hamilton, Tripp Hutchinson *(03:02:10 in video)*
- Commission & Council discussion regarding public comments, community concerns, length of Draft Comp Plan timeline, reminder of State of Idaho laws regarding short term rentals, acknowledgement of average home price in Ketchum being $1.4 million or higher; Neil Morrow *(03:10:20 in video)*
- Staff presentation and Commission & Council discussion regarding what the Commission & Council wants the next stage of the process to be, potential avenues, and which would be optimal; Morgan Landers, Spencer Cordovano, Tripp Hutchinson, Neil Bradshaw, Neil Morrow, Courtney Hamilton, Amanda Breen, Susan Passovoy, Matthew McGraw *(03:17:40 in video)*

ADJOURNMENT:

Motion to adjourn at 7:29 p.m. *(03:29:00 in video)*
MOVER: Neil Morrow
SECONDER: Brenda Moczygemba
AYES: Brenda Moczygemba, Susan Passovoy, Matthew McGraw, Tim Carter, & Neil Morrow
NAYS:
RESULT: UNANIMOUSLY ADOPTED

_____
Neil Morrow – P & Z Commissioner

_____
Morgan Landers – Director of Planning & Building

City of Ketchum
Planning & Building

IN RE:	)
	)
Warm Springs Preserve	) KETCHUM PLANNING AND ZONING COMMISSION
Floodplain Development Permit	) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
File Number: P24-002	) DECISION
	)
Date: February 11, 2025	)
	)

PROJECT:	Warm Springs Preserve
APPLICATION TYPE:	Floodplain Development Permit
FILE NUMBER:	P24-002
PROPERTY OWNER:	City of Ketchum
REPRESENTATIVE:	Ben Whipple, Senior Project Manager
LOCATION:	201-311 Bald Mountain Rd (Warm Springs Ranch Resort)
ZONING:	Tourist (T), Recreation Use (RU) & Floodplain Management Overlay District (FMOD)

RECORD OF PROCEEDINGS

A floodplain development permit application was received on January 9, 2024, and routed to all staff departments and Harmony Engineering and Design for review. Two rounds of review and revisions were conducted prior to scheduling the application for review by the Planning and Zoning Commission. A public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 8, 2025. The notice was published in the Idaho Mountain Express on January 8, 2025. A notice was posted on the project site and the city's website on January 8, 2025. The application was heard at a public hearing of the Planning and Zoning Commission on January 28, 2025.

BACKGROUND

The City of Ketchum acquired the 65-acre Warm Springs Preserve property in 2022 and spent the past few years developing the Warm Springs Preserve Master Plan (adopted in 2023) and a restoration plan to achieve the vision of the plan. The vision states "Warm Springs Preserve offers a unique opportunity for large-scale, community-supported creek restoration and passive recreation near the confluence of the Big Wood River and Warm Springs Creek." The plan seeks to achieve the vision through six principles including:

- Create a Preserve that is connected and accessible to all
- Design for success over time
- Support all-season multi-functional use
- Demonstrate leadership through regeneration of kealthy ecosystems for people, plants, and animals
- Restore the creek and floodplain
- Celebrate and educate about the past, present, and future of the preserve

The full master plan can be found by clicking HERE.

The Warm Springs Preserve property has seen many transformations since the 1800s. As outlined on page 8 of the Warm Springs Preserve Master Plan, the area was a thriving ecosystem with an active floodplain with multiple meanderings streams and areas able to convey flood waters. In the 1800s and into the mid 1900s, increased human activity resulted in channelization of the stream and much of the areas able to convey flood waters were filled. As development continued within the floodplain up and down the reach, Warm Springs Creek continued to become confined and is now at high risk of stream bank erosion, channel incision, and downstream flooding.

The property generally consists of seven zones which are shown and illustrated in the master plan and in the application materials included as Attachment 3. The proposed project includes a significant amount of work within and outside the floodplain. As this is a floodplain development permit, the Commission is reviewing the proposed work within the established floodplain and riparian areas which consists of restoration efforts focused on restoring the river, floodplain and riparian zones with the majority of work taking place in the creek, the lower creek edge, and southern floodplain.

The work will includes stream alterations in the form of pool and channel excavations, installation of large woody debris, and installation of a constructed riffle. These items are designed to improve the longevity and stability of the creek during flood events, minimizing degradation of the creek during high water periods. The work is also designed to increase the efficiency of the flood carrying capacity of the larger area during flood events to allow for safe and efficient movement of water through the reach with minimal damage. Finally, the restoration work that will occur, once the grading work has been completed, focuses on the stabilization of river/floodplain function and enhancement of fish habitats through an extensive and thoughtful planting plan by zone with specific plant lists for areas identified as wet and dry floodplain, near-stream riparian, in-stream aquatic, wet meadows, and wetlands. The goal of the planting plan is to create a bio-diverse ecosystem of plants to ensure the long term success and resilience of the area.

FINDINGS OF FACT

The Planning and Zoning Commission having reviewed the project record, provided notice, and conducted the required public hearing does hereby find that the project does conform to applicable standards and criteria as set forth in Ketchum Municipal Code Chapter 17.88 – Floodplain Management Overlay Zoning District (FP). After deliberation, the Commission found the project to be in conformance with the floodplain development criteria. Therefore, the Commission does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
☒	☐	☐	17.88.050(E)1	The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.
			Staff Comments	*The property has seen consistent degradation over the past 100 years, resulting in stream bank erosion, channel incision, and an ecological profile that consists of a monoculture of plant species (including invasive). The project goes well beyond preserving the inherent natural characteristics of the river by restoring the river and floodplain back to the pre-human development period of its history.* *The project will include excavations in and around the stream to restore the original configuration of the reach by reestablishing a functioning side channel, excavating out previous fill areas, and creating small pools for aquatic habitat and riparian function.* *The extensive and ecologically sensitive planting plan will further support the excavation efforts by creating a bio-diverse ecology that is more resilient long term and provides stability of the soils during flood events.* *These improvements rehabilitate the entire river system through the reach and re-establishes a functioning floodplain to allow for historic flow of floodwaters through the site. Alterations to the river channel are proposed and as noted below, the project meets all stream alteration evaluation criteria.*
☒	☐	☐	17.88.050(E)2	No temporary construction activities, encroachment or other disturbance into the 25-foot riparian zone, including encroachment

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				of below grade structures, shall be permitted, with the exception of approved stream stabilization work and restoration work associated with a riparian zone that is degraded.
			Staff Comments	*There will be extensive construction related activities within the stream and riparian area associated with the stream alteration work and restoration of the riparian area. As noted in condition 4, a comprehensive construction management plan will be required prior to start of construction to ensure that construction activities are well managed and do not result in any downstream impacts or impacts to adjacent properties.*
☒	☐	☐	17.88.050(E)3	No permanent development shall occur within the 25-foot riparian zone, with the exception of approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below: a. Access to a property where no other primary access is available; b. Emergency access required by the fire department; c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths; d. Development by the City of Ketchum.
			Staff Comments	*There are proposed development activities within the 25-foot riparian area which include:* • *Irrigation (well house and service lines)* • *Defined pathways to avoid the creation of social paths* • *Existing municipal water and sewer lines proposed to remain* *There is an existing electrical transformer and service line within the riparian area that will be relocated outside the riparian area as part of the project.* *All development activities are permitted as they fall under subsection "d" of this criteria as development by the City of Ketchum.*
☐	☐	☒	17.88.050(E)4	New or replacement planting and vegetation in the riparian zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include: red osier dogwood, common chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high water mark is significant and the native vegetation appropriate for the riparian zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the 25-foot riparian zone that is degraded, not natural, or which does not promote bank stability.
			Staff Comments	*The existing riparian area along much of the bank is currently degraded, contains non-natural materials such as remnant concrete, and is very steep which does not promote the growth of bank stabilizing plant species. An extensive planting plan has been developed which identifies specific plant lists for each zone of restoration. Zones include Upland Meadow, Xeric (dry) floodplain, Mesic (wet) floodplain, near stream riparian, in-stream aquatic, aspen grove, and restored lawn. See sheets L2.01 and L2.02 for the detailed planting mix for each zone. Specifically related to the riparian planting, Near Stream Riparian Zone is detailed with Seed Mix D and includes a wide variety of willows, cottonwoods, and grasses. Installation will include #5 containers for the trees and shrubs and a seen mix for grasses. The land scape plan notes that temporary protection from wildlife will be needed.* *The proposed plantings are appropriate for the specific site conditions as they have been tailored for the specific zones based on an ecological profile. Once installation is complete and plantings are stabilized, the riparian zone will be well established and not degrade over time, ensuring long term bank stability.*
☒	☐	☐	17.88.050(E)5	Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			Staff Comments	*There is one access to the Warm Springs Preserve property and that is Lopey Lane. Lopey Lane is an existing road with a bridge that crosses Warm Springs Creek. Currently, the bridge is elevated as such that floodwaters pass under the bridge, not over. The bridge is not*

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				proposed to be altered as part of the project. The project does propose to improve the road once it crosses onto the Warm Springs Preserve property. As shown on Sheet C2.0 the road includes a set of two 36" culverts closer to the existing bridge and one additional bridge structure closer to the parking area. The existing driveway/road and proposed bridge/culverts are located outside of published FEMA 100-year floodplain extents and are designed to convey only a portion of Warm Springs Creek flood flows. Both facilities are designed to have a minimum of 1-foot of freeboard at the 100-year flow. The existing driveway/road does not become inundated at the 100- year flow under proposed conditions. Additionally, the bridge is designed to carry those flows with or without the culverts in place. *The city engineer did provide some minor comments related to the finished condition of the road included crowning, amount of gravel shoulder, details of drywells, and a few others that will be addressed with issuance of the final construction plans. These items will not impact the ability of the culverts or bridge to effectively convey flood waters. Condition of approval #2 addresses these items.* *There is also a pedestrian bridge to be constructed within the southern floodplain area and that bridge is also designed to have a minimum of 1-foot of freeboard at the 100-year flow. Please see sheetL2.03 for details of the pedestrian bridge.*
☒	☐	☐	17.88.050(E)6	Flood water carrying capacity is not diminished by the proposal.
			Staff Comments	*Extensive 2D and 1D hydraulic modeling was conducted to evaluate the project to ensure that the flood carrying capacity is maintained post construction. Post construction, the project modeling shows a no rise in the base flood elevations in the surrounding area. This demonstrates that the project will adequately convey floods of a 100-year event as well or better than the property has historically. The proposed development also has significantly more excavation (10,064 cubic yards) than fill (2,334 cubic yards) resulting in a net cut-fill balance of 7,730 cubic yards.* *Based on the submittal, there is no rise of the base flood elevations when comparing the proposed condition with the effective map for the area. However, there is a small rise documented within the project*

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				site, that has no impact to off-site or downstream properties. As such, a Conditional Letter of Map Revision (CLOMR) is required to document the changed condition on the property even though there is no rise documented outside the property. Condition of approval XX addresses the requirement of a CLOMR from FEMA prior to start of construction and the subsequent Letter of Map Revision required after project completion.
☒	☐	☐	17.88.050(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
			Staff Comments	*As mentioned above, the current condition of the property is degraded with poor aquatic and plant health. The proposed project dramatically improves the conditions for aquatic life with site specific and purposeful grading and restoration work. All proposed recreation access paths are designed to deter the creation of social trail networks to preserve the restoration work. The development proposal itself is a restoration project with no buildings or other development proposed.*
☐	☐	☒	17.88.050(E)8	Building setback in excess of the minimum required along waterways is encouraged. An additional ten-foot building setback beyond the required 25-foot riparian zone is encouraged to provide for yards, decks and patios outside the 25-foot riparian zone.
			Staff Comments	*There is no construction of buildings part of this application. A separate design review application was filed by the City for a bathroom/storage building near the parking area. That proposed facility is outside the floodplain and riparian areas more than 100 feet.*
☐	☐	☒	17.88.050(E)9	The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the flood protection elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See section 17.88.060, figures 1 and 2 of this chapter to reference construction details. See chapter 17.08 of this title for definition of "lowest floor." a. In the SFHA where base flood elevations (BFEs) have been determined, the FPE shall be 24 inches above the BFE for the subject property; 24 inches or two feet is the required freeboard in Ketchum City Limits.

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				b. In the SFHA where no BFE has been established, the FPE shall be at least two feet above the highest adjacent grade.
			Staff Comments	*There are no buildings proposed.*
☐	☐	☒	17.88.050(E)10	The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. a. Compensatory storage shall be required for any fill placed within the floodplain. b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.
			Staff Comments	*There are no buildings proposed and therefore no foundations.*
☐	☐	☒	17.88.050(E)11	All new buildings located partially or wholly within the SFHA shall be constructed on foundations that are designed by a licensed professional engineer.
			Staff Comments	*There are no buildings proposed.*
☒	☐	☐	17.88.050(E)12	Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot or less during the one percent annual chance event.
			Staff Comments	*As noted above, the city engineer has provided some comments related to the design of the road (which is outside the SFHA) that will be addressed prior to grading permit application. Condition of Approval 2 addresses this item. The existing driveway/road does not become inundated at the 100-year flow with the proposed changes to the property.*
☒	☐	☐	17.88.050(E)13	Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.
			Staff Comments	*Landscaping is proposed on all areas of the property including driveways/roads and other elements of the project. The landscaping will conceal any cuts and fills which are required. No areas will be left bare upon completion of the project.*
☒	☐	☐	17.88.050(E)14	(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.
			Staff Comments	*The existing condition of the property is every changing and very unstable. The city has been monitoring the stream channel for undercutting, bank erosion, and debris jams during each flooding*

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				event and frequently must approve emergency stream stabilization permits to adjacent property owners. All proposed stream alteration work is intended to create a permanent and stable solution including the addition of woody debris, in-stream riffle, and riparian plantings. Post construction, the project area will be monitored to determine efficacy of the work and whether any post construction adjustments need to be made. If any permits are required for post construction adjustments, those applications will be filed to the appropriate entities for review and approval.
☒	☐	☐	17.88.050(E)15	(Stream Alteration) No increase to the one percent annual chance flood elevation at any location in the community, based on hydrologic and hydraulic analysis performed in accordance with standard engineering practice and has been certified and submitted with supporting calculations and a No Rise Certificate, by a registered Idaho engineer.
			Staff Comments	*As noted above, extensive 2D and 1D hydraulic modeling was conducted to evaluate the project to ensure that the flood carrying capacity is maintained post construction. Post construction, the project modeling shows a no rise in the base flood elevations in the surrounding area. This demonstrates that the project will adequately convey floods of a 100-year event as well or better than the property has historically. The proposed development also has significantly more excavation (10,064 cubic yards) than fill (2,334 cubic yards) resulting in a net cut-fill balance of 7,730 cubic yards.* *Based on the submittal, there is no rise of the base flood elevations when comparing the proposed condition with the effective map for the area. However, there is a small rise documented within the project site, that has no impact on off-site or downstream properties. Because of this condition, a No Rise Certificate is not achievable for the project. As such, per Ketchum Municipal Code, if a no rise certificate cannot be provided, a Conditional Letter of Map Revision (CLOMR) is required to document the changed condition on the property even though there is no rise documented outside the property. Condition of approval 1 addresses the requirement of a CLOMR from FEMA prior to start of construction and the subsequent Letter of Map Revision required after project completion.*
☒	☐	☐	17.88.050(E)16	(Stream Alteration) The project has demonstrated no adverse impact or has demonstrated all impacts will be mitigated.

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
			Staff Comments	*As noted above, the hydraulic modeling demonstrates there are no adverse impacts from the project to any of the surrounding areas or downstream.*
☒	☐	☐	17.88.050(E)17	(Stream Alteration) The recreational use of the stream including access along any and all public pedestrian/fisher's easements and the aesthetic beauty shall not be obstructed or interfered with by the proposed work.
			Staff Comments	*One of the stated objects of the project is to "Create a Preserve that is connected and accessible to all". The project proposes a series of improvements to winter and summer recreation opportunities and increases the amount of access opportunities to the stream than exist today. The aesthetic beauty of the area will be enhanced by the proposed improvements and will ensure long term stability of the area as a result of the project.*
☒	☐	☐	17.88.050(E)18	(Stream Alteration) Fish habitat is maintained or improved as a result of the work proposed.
			Staff Comments	*Currently, the fish habitat along the northern portions of the reach are poor as a result of steep banks, limited riparian vegetation, and lack of floodplain connectivity. The proposed restoration project will reconnect the floodplain and enhance riparian and floodplain vegetation which provides more areas for aquatic life to live and creates an environment where they can thrive. Fish habitats will be improved as a result of the restoration project.*
☒	☐	☐	17.88.050(E)19	(Stream Alteration) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			Staff Comments	*The Warm Springs Preserve Master Plan was jointly created by the City of Ketchum and the community. The primary objectives of the plan are to:* • *Create a Preserve that is connected and accessible to all* • *Design for success over time* • *Support all-season multi-functional use* • *Demonstrate leadership through regeneration of healthy ecosystems for people, plants, and animals* • *Restore the creek and floodplain* • *Celebrate and educate about the past, present, and future of the preserve*

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*
				As these are the primary objectives of the project, and the plan has been adopted by the Ketchum City Council, the project is clearly within the public interest. As noted in the analysis above, the project results in an improvement to fish and wildlife habitat, aquatic life, recreation opportunities and river access, and aesthetic beauty.
☒	☐	☐	17.88.050(E)20	(Stream Alteration) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			Staff Comments	*The existing condition of the property and stream create a high-risk environment during flood events, risking public safety and damage to properties. The channelization of Warm Springs Creek and adjacent development have made it difficult for water to move at reasonable velocities throughout the area. The proposed project includes re-grading to create additional side channels and removes historically places fill to recreate a functioning river and floodplain that reduces the danger to the public and property. Additionally, the project proposes to address existing exposure issues related to water/sewer mains and bridges. Finally, the study conducted by the applicant and reviewed by third party engineers seeks to ensure the long-term stability of the construction. Condition of Approval 3 requires an additional scour analysis be conducted for the materials proposed within the stream near the bridge to ensure that the materials can withstand higher flows during more significant flood events.*
☒	☐	☐	17.88.050(E)21	(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.
			Staff Comments	*Due to the size and scope of this restoration project, impact to wetlands is unavoidable as most of the identified wetlands are within the Warm Springs Creek active river channel. There are some vegetative wetlands that were identified, however, the propose project largely avoids those areas. Where impacts were unavoidable, a minimum 1:1 mitigation ratio was applied. Upon completion of the project, the site will have a net gain in quality and quantity of wetland areas.*

Floodplain Development Permit Requirements				
1. Evaluation Standards: 17.88.050€				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and *Staff Comments*

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Floodplain Development Permit application for the development and use of the project site.

2. The Commission has authority to hear the applicant's Floodplain Development Permit Application pursuant to Chapter 17.88 of Ketchum Municipal Code Title 17.

3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.88.050.D.2.b.

4. The Floodplain Development Permit application is governed under Ketchum Municipal Code Chapters 17.88.

5. The Floodplain Development Permit Application File No. P24-002 meets all applicable standards specified in Title 17 of Ketchum Municipal Code, as more fully described in the Findings of Fact above.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission approves this Floodplain Development Permit Application File No. P24-002 this Tuesday, February 11, 2025, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. A Conditional Letter of Map Revision (CLOMR) approved by FEMA and other jurisdiction permits are required for the project. Work shall not commence until all required permits

from third party agencies including USACE, IDWR, IDEQ, and FEMA have been issued and provided to the Planning and Building Department.

2. Prior to commencement of construction, no later than September 15, 2025, a revised civil plan set shall be submitted to the Planning and Building Department addressing all comments from the city engineer regarding reconstruction of Lopey Lane and adjacent parking areas. Civil plans shall be reviewed and approved by the City Engineer prior to construction of all items under the scope of work associated with Lopey Lane and parking.
3. An additional scour analysis pertaining to materials placed in the stream near the existing Lopey Lane bridge shall be conducted to ensure the materials can withstand higher flows. The design of these materials should be designed for a 200-yr event and checked against a 500-yr event. The scour analysis shall be provided to the Planning and Building Department for review and approval prior to installation of materials.
4. A Construction Management Plan shall be submitted by the contractor prior to start of construction.
5. This approval is subject to the scope of work described in the documents shown in Attachments 1-3.
6. Any modification to approved plans as referenced in this approval shall be subject to a written amendment to this permit approval. If construction or improvements differ from the approved plans, such work may be subject to removal at the applicant's expense.
7. Following project completion, upon an annual inspection, if 80% or fewer of the plants indicated on Landscape Plan have not survived, the property owner shall re-install new plantings.
8. The Administrator shall conduct site inspections of work in progress. The Administrator shall make as many inspections of the work as may be necessary to ensure that the work is being done according to the terms of this permit, approved plans, and KMC 17.88. In exercising this power, the Administrator has a right, upon presentation of proper credentials, to enter the property at any reasonable hour for the purposes of inspection or other enforcement action.
9. Floodplain Development Permit approval shall be valid for a period of 1 year the date of signing Findings of Fact. If construction has not commenced within that time, the permit shall become null and void unless an extension is requested and granted pursuant to KMC 17.88.050.G.
10. No use of restricted use chemicals or soil sterilants will be allowed within one hundred feet (100') of the mean high-water mark on any property within the city limits at any time (KMC 17.88.040.C.3).
11. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark,

must be done by a licensed applicator and applied at the minimum application rates (KMC 17.88.040.C.4).

12. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the City Arborist (KMC 17.88.040.C.5).
13. It shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water.

Administrative Appeal Notice: Applicant has the opportunity, pursuant to Ketchum City Code 17.20.030(F) and 17.144, to administratively appeal this Decision to the City Council.

Regulatory Taking Analysis Notice: Applicant has the opportunity, pursuant to Idaho Code 67-8003, to submit a written request for a regulatory taking analysis of this Decision.

Findings of Fact adopted this 11th day of February 2025.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 11, 2025

PROJECT:	Sawtooth Serenade
FILE NUMBER:	P24-027
APPLICATION:	Final Design Review
PROPERTY OWNER:	McCaw Nell Elizabeth Trustee, Distrustful Ernest Revocable Trust U/A/D 02/03/16
REPRESENTATIVE:	Dave Thielsen, Thielsen Architects (Architect)
LOCATION:	260 N 1st Ave (KETCHUM TOWNSITE LOT 5A BLK 38)
ZONING:	Community Core – Subdistrict 2 Mixed Use (CC-2)
OVERLAY:	None
REVIEWER:	Morgan Landers, AICP – Director of Planning and Building
NOTICE:	A public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on January 22, 2025. The notice was published in the Idaho Mountain Express on January 22, 2025. A notice was posted on the project site and the city's website on January 22, 2025. Story poles were verified on the subject property on Tuesday, February 4, 2025 (See Attachment C).

INTRODUCTION

The applicant is proposing a 23,906 gross square foot multi-family development located at 260 N 1st Ave (the "subject property") in the Community Core Subdistrict 2 – Mixed Use (CC-2) zone district. The project includes two residential dwelling units, ground floor private recreation space, garage parking for five vehicles, and storage for the two units. The subject property is three vacant Ketchum Townsite

lots totaling 16,507 SF on the east corner of N 1st Ave and Sun Valley Rd (Figure 1) south of the new 1st and Sun Valley office building, diagonal from the mixed-use building where Maude's is located. The three townsite lots were previously consolidated in conjunction with a previous development application that did not move forward. Please see Attachments A and B for the application materials and design review plan set for the development.

Figure 1: Subject Property 260 N 1st Ave

The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing in-lieu payment of $691,900. The total FAR for the project is 1.45, where 1.0 is permitted by right.

The application is not subject to certain requirements of the city's current municipal code including minimum residential densities and ground floor commercial. Those requirements were adopted in October of 2022 through Interim Ordinance 1234. The pre-application design review was deemed complete prior to the effective date of that ordinance. Applicability of Ordinance 1234 to the development was further evaluated by City Council on March 4, 2024 as part of an appeal hearing of an administrative determination where council found the ordinance to not apply to the proposed development.

A pre-application design review with the Commission occurred on January 24, 2023. The packet and recording of that meeting can be found HERE. The Commission provided feedback on the initial design including:

- Materials – monochromatic palette that may appear bland or muted without vegetation, too cool, recommended reduction in the use of metal paneling
- Bulk of the structure – there isn't enough breaking up the building along its length
- Fenestration/Glazing – The amount of fenestration and monotony of that fenestration makes the building appear long and flat
- North Façade (Sun Valley Rd) – architectural features felt ungrounded and bulky
- South Façade – reduce the amount of black metal
- Corner of 1st and Sun Valley – needed to be more open with windows and other public space
- Landscaping – requested an introduction of public space into the development to provide better interface between the public and private realms, spacing of street trees
- Roof – long and flat nature of the third-floor roof

Staff have conducted a review of the application for conformance with Design Review standards in KMC 17.96 and all other zoning requirements including height, setbacks, parking, lighting, etc. A full review of the zoning standards and design review criteria can be found in Attachments D and E

respectively. In general, the applicant has addressed a few of the comments from the Commission. However, staff believe there are still deficiencies in the design that have not been addressed adequately. Please see the analysis section below for additional discussion on those items.

ANALYSIS

Per KMC 17.96.050.A. *Criteria.* The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 evaluates the project's impact on the community through its alignment with the goals and policies of the city's currently adopted plans as related to public health, safety, and welfare such as the adopted comprehensive plan. Criteria 2 above relates to the project's conformance with the city's zoning ordinance such as permitted uses, dimensional limitations, parking, dark skies, and the design review improvements and standards listed in 17.96.060 and 17.96.070. During department review, city staff reviewed the project against the city's adopted plans (criteria 1) and for all applicable zoning requirements including conformance with all applicable design review standards outlined in KMC §17.96.060 – *Improvements and Standards* and KMC §17.96.070 – *Community Core (CC) Projects*.

Below is a review of the two criteria and an overview of where staff believe the application meets or does not meet the criteria.

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan outlines 10 core values that drive our vision for the future including a strong and diverse economy, vibrant downtown, community character, and a variety of housing options. The built environment within the downtown plays a key role in materializing these values to achieve the city's vision. The 2014 Comprehensive Plan designates the future land use for the subject property as "mixed-use commercial" where, according to the plan, "New structures in existing mixed-use areas should be oriented to streets and sidewalks and contain a mix of activities. Mixed-use development should contain common public space features that provide relief to the density and contribute to the quality of the street."

The comprehensive plan acknowledges that Ketchum has high-quality public spaces including streets and plazas that contribute to our current success and, as noted above, new mixed-use developments should contain public spaces that provide relief from the bulk and mass of structures that contain higher densities. Although this is a low-density development, with only two units, the bulk and mass of the project is that of a higher density development and should seek to achieve the same design objectives. As outlined below in this report, the design of the outdoor space seems to be closed off and privatized. Staff acknowledges the space provides value to the quality of the street due to the increased landscaping and setback of the building, however, the Commission encouraged the applicant to consider designing the space to be more open to the street or making the space available to the public as there is extensive private space on decks and patios throughout the project.

Policy CD-1.3 of Chapter 4 of the comprehensive plan states that "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur.

Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style." As noted below, staff's concern about the project's southeast facing façade remains as the adjacent property has only one-story structures with a single material blank wall. The transition between buildings is a key design element and has the potential to impact the perceived cohesiveness of the downtown and can impact the way residents and visitors experience a place.

Finally, the subject property is three Ketchum Townsite lots that are already consolidated. The siting of two residential dwelling units on the subject property is an underutilization of a key piece of property in Ketchum's downtown and has the potential to impact downtown vibrancy in this area as the subject property is located on a block that is currently redeveloping with many active spaces and uses. As noted below, the building is somewhat closed off to the public at the ground floor on the corner which is out of context with the rest of the intersection. There are design opportunities that can be considered to encourage better interface between the building and the public realm and provide additional activation on a key corner.

Overall, staff believe that improvements can be made to the development to better align with the design objectives of the comprehensive plan and that the current proposal lacks key features to meet the stated criteria.

Criteria 2: Applicable Standards and Criteria

Zoning and Dimensional Standards

As outlined in Attachment D, the application is in conformance with the zoning and dimensional standards of the Ketchum Municipal Code.

Design Review Standards

In general, the proposed project meets many of the design review standards as outlined in the two subsections (Attachment E). However, staff has concerns related to a few of the standards, as outlined below.

Bulk and Flatness of the Building - As the subject property is three Ketchum Townsite lots, and the building is maximizing the allowable north/south footprint, the resulting building is 165 feet long on the N 1st Ave side. KMC Criteria 17.96.050.F.5 states "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness". During the review of the preapplication design review, the Commission echoed staff's concerns related to the flatness of the building due to the amount of glazing, the length of the building, and the repetitive nature of the architectural design on the 2nd and 3rd floor levels. The Commission also agreed with staff that the length of the building warranted a closer look at how the building could be broken up in a way that better mirrors the Ketchum townsite rhythm of the surrounding blocks. See Figure 2 below for an image of the initial proposal at PreApplication Design Review.

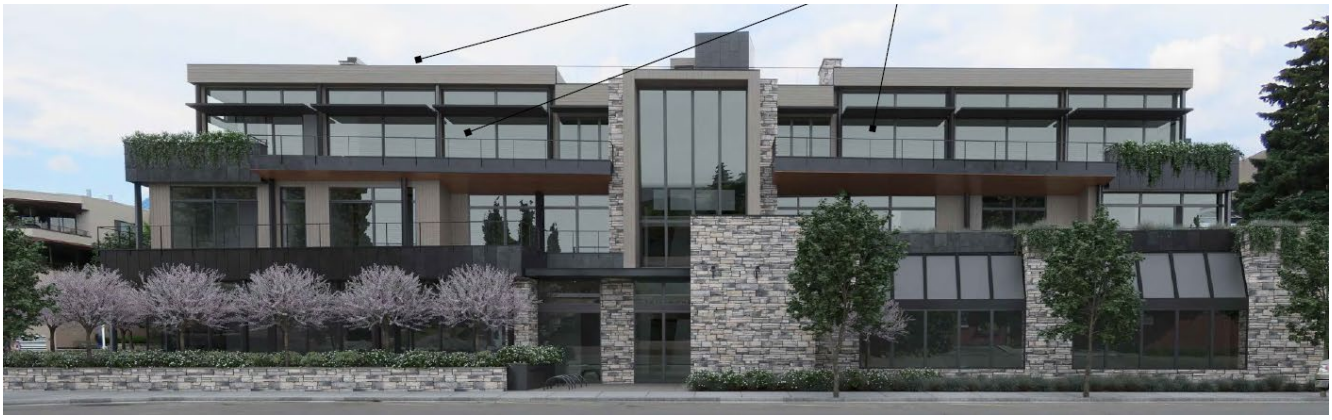


Figure 2: Initial Proposal at PreApplication Design Review

As outlined in the design review application, adjustments have been made to the third-floor roofline and 3rd floor windows to address comments. See sheet A0.18 of Attachment B for a comparison of the initial application and the current proposal.

Figure 3: Current Proposal

Although staff appreciate some of the changes made to the third-floor roof and glazing, staff believe the project does not adequately address the concern of bulk and flatness of the structure as a whole. More specifically, the changes to the roofline address the flatness of the project at the NE corner (1st and SV Rd) but it does not address the concerns of the front façade along N 1st Ave. The reduction of the building height at the corner also accentuates the size of the chimney on the northern end of the building. Staff still believe the project accentuates the length of the building through the mirrored horizontal features on each side of the central elevator corridor and believes the amount of fenestration overall contributes to the perceived size of the structure.

Finally, the Commission agreed with Commissioner Moczygemba's comments about the north façade and that its design seemed a bit unsettling and ungrounded. Staff agree that although the reduction in the building height at this corner is an improvement, the floating pop-out feature above the windows on the 2nd floor contributes to the building's bulk and the elevation still feels ungrounded. See figures 4 and 5 below.

Figure 4: Initial Proposal

Figure 5: Current Proposal

Staff raised these concerns to the applicant during department review and the applicant declined to make any further revisions to the development.

Materials Palette - KMC standard 17.96.060.E.1 states "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures". The Commission provided feedback during the preapplication design review meeting that the color palette appeared to be bland and they recommended reducing the use of the metal paneling on the building. The applicant has adjusted the color palette to be of a warmer tone rather than the previous cold palette, which staff believe to be a positive change. However, staff still believe there to be an abundant use of the zinc shingle. The applicant notes a reduction of use of the zinc shingle from 35% to 22%, primarily on the alley façade and south façade.

Staff does not believe that a reduction in the amount of zinc shingles on the south façade is effective. The reduction is primarily below the exposure line of the adjacent buildings and is not visible. See figures 6 and 7 below.

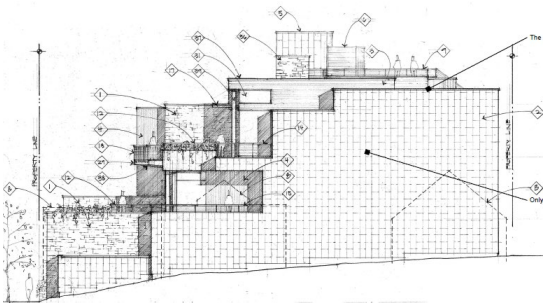


Figure 6: Initial Proposal, south facade

Figure 7: Current Proposal, south facade

Staff still believe there to a be significant use of the zinc shingle on the front facing elements of the 2nd and third floor decks and elevator shaft. Commissioner Cordovano commented, during the pre-application review, with concern about how the building would look in the winter months when the 2nd and 3rd floor decks would not be covered in greenery. Staff do not believe these concerns have been addressed.

Activation of Ground Floor - Per KMC 17.96.060.B.2 and 3, "2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways." and "3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows." These two standards serve to demonstrate the importance of creating an active and interesting pedestrian environment. Staff and the Commission expressed concerns that the ground floor façade of the building along Sun Valley Rd and the portion of N 1st Ave closest to Sun Valley Rd do not meet the intent of this standard as the architectural design of the project does not engage with pedestrians and serves more to privatize the space for residents and guests than create an environment that is active and interesting for pedestrians. The applicant made minor revisions to the north façade by extending the fenestration further east on the façade, however, staff still believe this façade to be predominantly blank.

The proposed façade does not include any significant fenestration, only small windows at the top of the ground floor which do not resemble storefront like windows. Sun Valley Rd is one of our more heavily traveled corridors by pedestrians. This intersection is the location of three new projects that intensely serve to engage pedestrians with Maude's retail and coffee shop on one corner, a new office building on another that has well-articulated store front facades on both street frontages.

The applicant revised the landscape plan following Commission feedback and lowered the wall height and changed out the tree and shrub species. While these are helpful revisions, staff still recommended the applicant evaluate the introduction of public space into the development. Vibrant downtowns, and Ketchum specifically, thrive on having a cohesive interface between the public and private realms. The applicant declined to make further revisions based on staff recommendations.

Staff Recommendation

Staff recommends the Commission review the application and provide feedback on the comments outlined by staff.

Attachments:

A. Application and Supporting Documents
B. Design Review Plan Set
C. Story Pole and Staking Information
D. Dimensional Standards Review
E. Design Review Criteria Review
F. Public Comment

City of Ketchum

ATTACHMENT A:

Application and Supporting Documents

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
By:

City of Ketchum
Planning & Building

Design Review Application

Please submit your completed application electronically to: planningandzoning@ketchumidaho.org

APPLICANT INFORMATION	
Project Name: Sawtooth Serenade	Phone: 425-828-0333
Owner: Scott and Julie Lynch & Yahn Bernier and Elizabeth McCaw	Mailing Address: Lynch - 409 5th Ave W, Kirkland, WA 98033
Email: scott@lynchclan.com and yahnbernier@valvesoftware.com	Bernier - 321 82nd Ave NE, Medina, WA 98039
Architect/Representative: Thielsen Architects - Dave Thielsen	Phone: 425-828-0333
Email: davet@thielsen.com	Mailing Address:
Architect License Number: AR-986776	720 Market Street, Suite C, Kirkland, WA 98033
Engineer of Record: Galena-Benchmark Engineering - Jeff Loomis	Phone: 208-788-1705
Email: jeff@galena-benchmark.com	Mailing Address:
Engineer License Number: 7986	317 North River St, Hailey, ID 83333
Primary Contact Name and Phone Number: Thielsen Architects - Robert Connor - 425-828-0333 robertc@thielsen.com	

PROJECT INFORMATION				
Legal Land Description: Ketchum Townsite Block 38, Lot 5A			Street Address: 260 1st Avenue	
Lot Area (Square Feet): 16,507	Zoning District: CC - Subdistrict 2			RPK #: RPK0000038005A
Overlay District:	☐Floodplain	☐ Avalanche	☐Mountain	☒None
Type of Construction:	☒New	☐Addition	☐Remodel	☐Other
Anticipated Use: Residential			Number of Residential Units: 2	

GROSS FLOOR AREA				
	Proposed		**Existing**	
Basements	7,516	Sq. Ft.		Sq. Ft.
1st Floor	5,709	Sq. Ft.		Sq. Ft.
2nd Floor	9,951	Sq. Ft.		Sq. Ft.
3rd Floor	8,246	Sq. Ft.		Sq. Ft.
Mezzanine		Sq. Ft.		Sq. Ft.
Total	23,906 -- 31,422 with basement	Sq. Ft.		Sq. Ft.

FLOOR AREA RATIO		
Community Core: 1.45	Tourist:	General Residential-High:

BUILDING COVERAGE/OPEN SPACE
Percent of Building Coverage: 80.0%

DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 11.06' average	**Side:** 6.00' average	**Side:** 0'-6"	**Rear:** 3'-0"
Building Height: 41.95' on 1st Avenue side and 41.97' on alley side			

OFF STREET PARKING		
Parking Spaces Provided: 5	Curb Cut: Alley access Sq. Ft.	%

WATER SYSTEM	
☒ Municipal Service	☐ Ketchum Spring Water

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

08.02.2023
Date

Thielsen
ARCHITECTS

August 7, 2023

Design Review Committee
City of Ketchum
480 East Avenue North
Ketchum, ID 83340.

RE: Sawtooth Serenade, 260 1st Avenue, Ketchum ID

Dear Design Review Committee Members,

On behalf of our clients, Scott and Julie Lynch, and Yahn Bernier and Beth McCaw, I am pleased to present their proposed new residences for Design Review. My clients have been active members of the Ketchum community since 1989. They are excited to move forward with their proposed new homes as they prepare for the next phase of their lives. The project as presented meets all Zoning requirements, including uses as allowed under the ordinance in effect at the time of application.

We have worked with Scott, Julie, Yahn and Beth to address the design comments and recommendations which you, the Planning and Zoning Commission members, made during our January 24, 2023 Pre-Application Design Review meeting. To assist in your review, I will briefly summarize those responses and modifications.

GROUND FLOOR ACTIVATION

- As we discussed at our January 24th meeting with you, we eliminated the stone masonry west wall of the Commons and replaced it with a floor to ceiling glass storefront assembly. That modification is reflected on the Lower Floor Plan - sheet A2, and the West Elevation - sheet A7.
- Also discussed at the January meeting, the planter/seat wall at the perimeter of the Commons Courtyard has been lowered. The top of the public stone bench at the Sun Valley Road bus stop was lowered to 15" and incorporated into the planter/seat wall form. The top of the approximately 15" wide stone planter cap is set flush with the top of public bench, resulting in a lowered planter/seat wall. The top of the planter/seat wall will be 22" above the sidewalk at the corner of Sun Valley Road and 1st Avenue and 27" above the sidewalk at the entry to Sawtooth Serenade. This wide, lower planter top is intended to provide public seating along its length. The revised and lowered planter/seat wall is indicated on the Lower Floor plan – sheet A2, South & West Elevations - sheet A7, and Building Sections A & B - sheet A9.
- The plantings in the planter at the perimeter of the Commons Courtyard have been changed to very low growing ground cover, Kinnickinnick and Creeping Oregon Grape. The bottom of the canopy of the Flowering Crab tree species selected will be higher than pedestrian eye level. These modifications, in conjunction with the lowered planter/seat wall, will result in an unobstructed view into the Commons Courtyard. The planting is noted on sheet L3.0.

720 Market Street, Suite C
Kirkland, Washington 98033
www.thielsenarchitects.com
Telephone: 425.828.0333
FAX: 425.828.9376

BULK AND FLATNESS OF 1ST AVENUE ELEVATION

The Commission comments were limited to the 1st Avenue façade of the upper floor. Thus, the lower and middle floor facades were not modified. On the upper floor, the following modifications were made.

- The roof of the Main Bedroom wing on both the Lynches' and the Berniers' homes has been lowered 2'-0", providing a step and break in the roof lines from the Great Room living areas higher roof. That change is documented on the Roof Deck Plan - sheet A6, the exterior elevations - sheets A7 & A8, and Section A - sheet A9.
- The Berniers' Main Bedroom south wall has been moved 2'-0" to the south, creating a change in plane from the Great Room south wall. A 3'-6" louvered sunscreen, which wraps around the east façade, has been added to this building element to further differentiate and break the façade. This change is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Roof Deck Plan - sheet A6, South Elevation - sheet A7, and East Elevation - sheet A8.
- The Lynches' Main Bedroom south wall has been moved north 5'-0", creating a break/change in plane from the Great Room south wall. The louvered sunscreen initially proposed over the bedroom door assembly has been eliminated to set this building element apart from the Great Room façade. This modification is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Roof Deck Plan - sheet A6, and South Elevation & West Elevations - sheet A7.
- The south guardrail and deck of the roof top Fire Ring Deck located on either side of the stair has been moved north 2'-0" creating a change in plane from the Great Room roof overhang and the deck and guardrail over the stair. The louvered sunscreen on the east side of the stair at this modified deck area has been eliminated to accentuate differences in the façade. These modifications are indicated on the Roof Deck Plan - sheet A6, Section D - sheet A10, and the South Elevation - sheet A7.
- The south wall of the Bernier Great Room Sitting Area has been moved 4'-0" to the north, creating a deep alcove in and a change in plane from the Great Room south wall. This change is indicated on the Upper Floor Plan - sheet A4, Clerestory Plan - sheet A5, Section D - sheet A10, and the South Elevation - sheet A7.
- The door at the south wall of the Berniers' Great Room Sitting Area was removed and the window pattern reconfigured to set it apart from the Lynches' Bar window and door configuration. This change can be viewed on the Upper Floor Plan - sheet A4 and the South Elevation - Sheet A7.
- At both the Lynch and Bernier Great Rooms, the glazing area of the upper floor has been reduced by approximately 8'-6" lineal feet on the south façade of each residence by eliminating a glass door panel and replacing it with solid wall and siding. These changes are shown on the Upper Floor Plan - sheet A4, and South & West Elevations - sheet A7.

BULK AND FLATNESS OF THE INTERIOR, ZERO SETBACK, LOT LINE ELEVATION

- As we discussed at our January 24th meeting with you, we moved the east wall of the Berniers' Main Bath clerestory 5'-0" off the zero-lot line property line, providing an additional step in that wall plane and reducing the wall mass on that façade. Within that revised wall plane, three (3) clerestory windows were added to increase the visual interest of that façade. Wood siding has been added to this volume, replacing the previously proposed metal siding. This change is documented on the Upper Floor Plan – sheet A4, Clerestory Plan – sheet A5, Roof Deck Plan – Sheet A6, South Elevation – sheet A7, East & North Elevation – sheet A8, and Section F – sheet A11.
- The east wing wall and corresponding roof overhang was eliminated from the Berniers' Deck Storage Room and replaced with an open cable railing. This change reduces the amount of solid wall with metal siding on the zero-setback façade. That portion of the wall plane now steps back 5'-0" to the Berniers' Main Bedroom wall and is clad in wood siding, adding more material differentiation and interest in this

wall plane. This modification is indicated on the Upper Floor Plan – sheet A4, Roof Deck Plan – sheet A6, and East Elevation – sheet A8.

- The previously proposed metal siding on the lower portion of the zero-setback east wall has been eliminated and an architectural grade concrete wall with integral color is proposed. Because the Hardcore Training Center building at 200 1st Avenue is built 19" off the joint interior property line, limiting access, a slip-form with integral color concrete would be used to construct this wall. The north, alley end of this wall has been moved south 18" to allow for the colored concrete base and upper metal siding to terminate into the wood siding of the Berniers' Main Bathroom form at an inside corner. On the south façade, the integral-colored architectural concrete would wrap around the south corner and die into the east stone veneer wall of the Commons Court at an inside corner. This would create a backdrop for the metal siding clad Commons Court exit stair element. The top of the integral-colored architectural concrete would align with the middle level stone veneered planter. This change can be seen on the South Elevation – sheet A7 and the North & East Elevations – sheet A8.
- The combined proposed changes and modifications to the east façade enumerated in this section will reduce the metal siding proposed for the Elevation by approximately 49% from the Pre-Application Design Review submittal. The result of these material and plane changes can best be viewed on the artist renderings: View From the Corner of 1st Avenue and 2nd Street – sheet A0.2, and Winter View From 2nd Street – sheet A0.3.

ALLEY ELEVATION

- The single recessed alcove housing the mechanical system condensers proposed for the Pre-Application Design Review has been split into two separate alcoves, one located to the east of the exit stair element and one to the west of the exit stair element. The cumulative size of these two alcoves is larger than the initially proposed single alcove, increasing the amount of recessed area on this façade, and more evenly distributing the modulation of the wall plane at ground level. This change is shown on the Lower Floor Plan – sheet A2, North Elevation – sheet A8, Section B – sheet A9 and Section E – sheet A11.
- As noted above in the 3rd bullet point of the "BULK AND FLATNESS OF THE INTERIOR, ZERO SETBACK, LOT LINE ELEVATION," the east wall of the building was moved south 18". In conjunction with that move, the north tub wall of the Berniers' Main Bath was shifted 6" to the south. The metal siding that was on that element is now proposed as vertical wood siding, to match the wood siding on the Lynches' Office and Main Bedroom Suite at west end of the alley, bookending this façade with wood siding. That change is documented on all of the plan view drawings – sheets A2, A3, A4, A5, & A6, and the North Elevation – sheet A8.

EXTERIOR MATERIALS

- The grey-tone stain initially proposed on the wood siding for the Pre-Application Design Review has been changed to a warm, brown-tone stain.
- The percentage of brown and buff colored stones has been increased and the percentage of grey toned stones decreased in the natural stone veneer walls to blend and complement the warm brown-tone wood siding stain.
- The integral-colored architectural grade concrete wall now proposed at the base of the zero-lot line east wall will be a light brown color to complement and integrate with the masonry stone veneer.
- The changes in the stone veneer and the wood siding stain create an overall warmer palette for Sawtooth Serenade. These changes can be seen on Exterior Materials – sheet A12, and the artist renderings – sheets A0.1, A0.2 and A0.3.

CONCLUSION

As designed, Sawtooth Serenade meets all Zoning requirements, including uses allowed under the ordinance in effect at the time this project was vested. Scott, Julie, Yahn and Beth are sensitive to the aesthetic considerations that you, as the Planning and Zoning Commission, are considering in the Design Review. Based on projects previously approved by the Commission in recent years, the materials selected, and forms developed will complement and integrate well within the fabric of development along 1st Avenue. Thus, on behalf of Beth, Yahn, Julie and Scott I want to thank you in advance for your thoughtful consideration of their new homes. They are excited to further strengthen their long-standing community ties and begin building their new homes in a town they love.

Respectfully,

David G. Thielsen, AIA

CC Scott and Julie Lynch
Yahn Bernier and Beth McCaw
Jim Laski
Morgan Landers

C L E A R C R E E K D I S P O S A L
PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

August 2, 2023

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: Sawtooth Serenade

To whom it may concern,

Please allow this letter to serve that Robert Connor, RA of Thielsen Architects Inc. P.S. has engaged in conversations with me regarding the above mentioned site. The conversations have been to the following:

This site will provide enough space for a dumpster for garbage & carts for recycling. There is enough space and access to service this dumpster adequately, utilizing a "Garbage Glider" as indicated on the enclosed plan. This scenario will only work with a mechanized mode of transporting the dumpsters to the street for servicing. (Snow, Ice, Weight) The Dumpster will be transported to the alley for servicing as per the enclosed plan.

This site when finished as per the plans will satisfy any and all concerns for the safe and efficient removal of garbage. I would like to mention that this is an example of high-quality planning that will benefit the owner(s) of this site and the city. If I may be of further assistance during this process or in the future, please call.

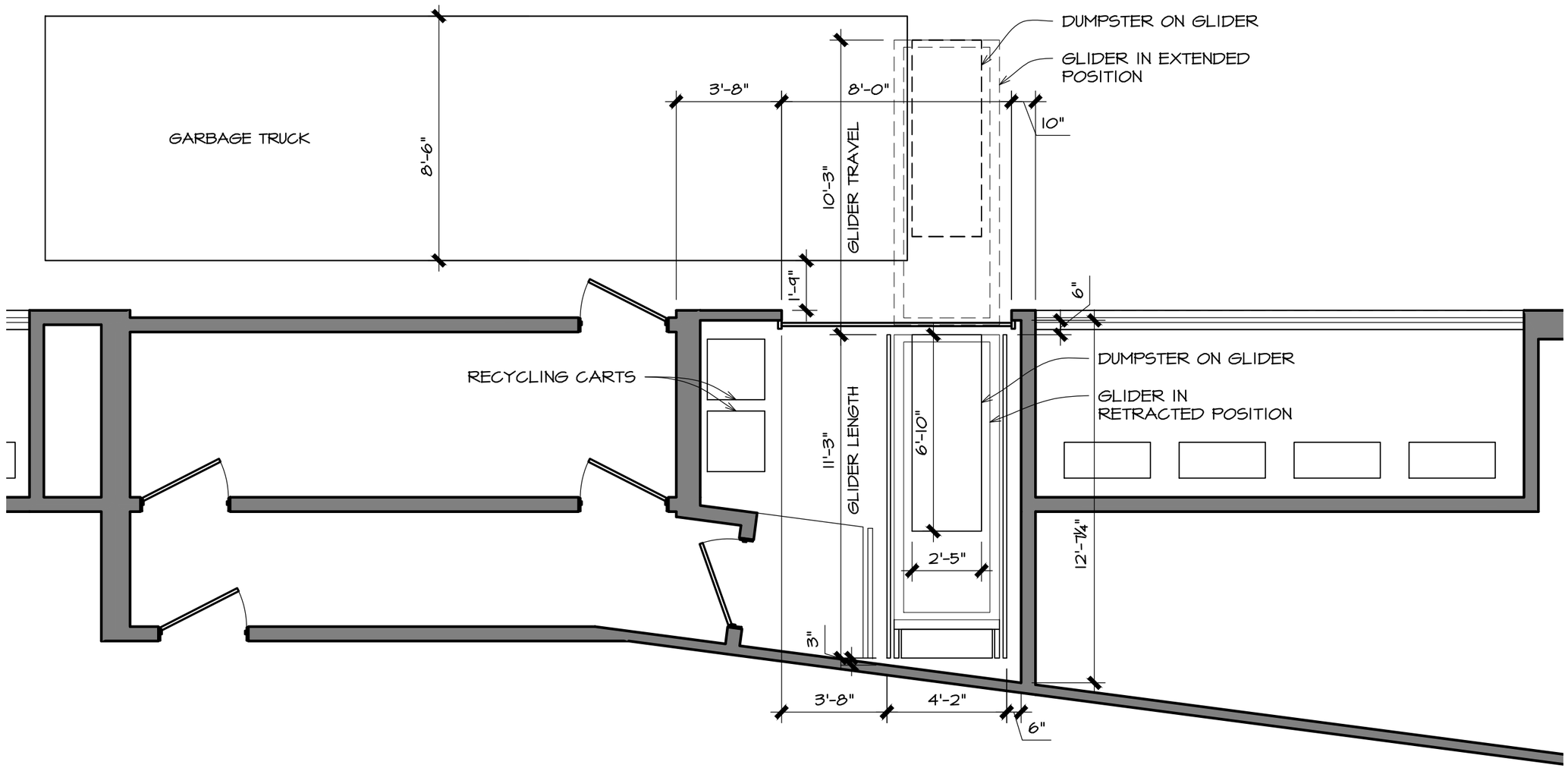
Sincerely,

Mike Goitiandia
Clear Creek Disposal

Enclosures

CC. Robert Connor, RA

.Sawtooth Serenade 1



TRASH ROOM PLAN

1/4" = 1'-0"

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Issue Date: 07/18/23
Drawn: RBC
Revised: 07/26/23

Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: PARTIAL LOWER LEVEL PLAN PLAN

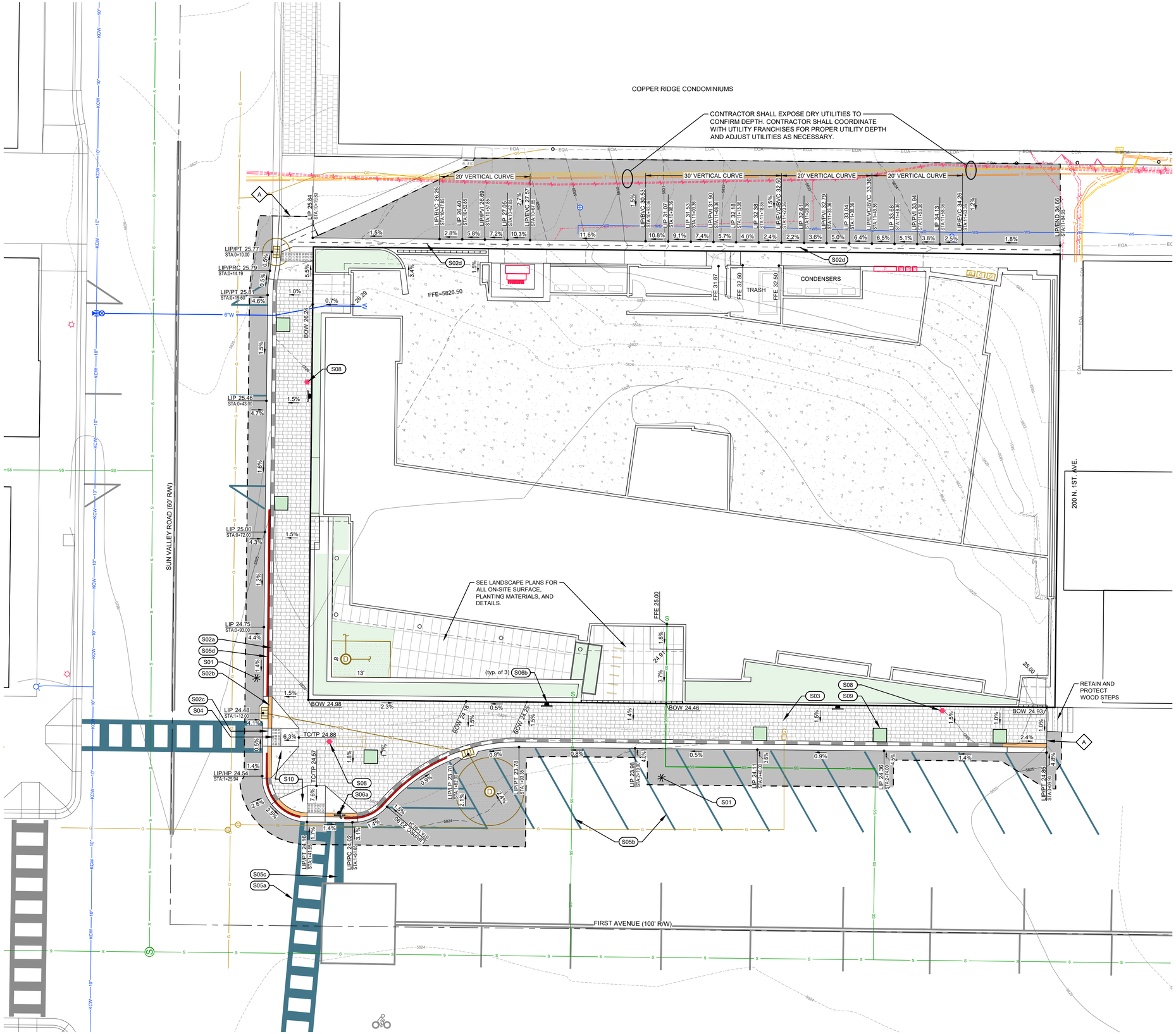
Sheet: A3.1
Project No. 2002

Z:\sawtooth serenade (#2002)\drawings\sawtooth serenade\Constructs\2002-Lower Level Model.dwg Jul 26, 2023 - 11:03am

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE GRADING PLAN

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR THIELSEN ARCHITECTS

PROJECT INFORMATION
G:\BM\A\ketchum village\block 38\Lds 5-7\6376-03 Setenade\dwg\Construction\6376-03 ENG 2023-07-10.dwg 07/10/23 12:23:21 PM



SITE IMPROVEMENT KEY NOTES

- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.00.
- S02 CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" ROLLED C&G PER DETAIL 2a / C2.00.
  - b. CURB TRANSITION (6" ROLLED TO ZERO REVEAL) PER DETAIL 3 / C2.00.
  - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.00.
  - d. 24" WIDE VALLEY GUTTER. PER DETAIL 4 / C2.00.
- S03 CONSTRUCT PAVER SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C2.00.
- S04 CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACHES WITH CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 6 / C2.00 FOR CONCRETE AND DETAIL 7 / C2.00 FOR TRUNCATED DOMES.
- S05 INSTALL ROAD STRIPING / PAINT
  - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
  - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
  - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- S06 SIGNS:
  - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH THE CITY. REFER TO DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
  - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH THE CITY. REFER DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
- S07 RESET UTILITY BOX LID ELEVATION.
  - a. POWER HANDHOLE ORIGINAL RIM = 58 NEW RIM = 58
- S08 INSTALL STREET LIGHT. LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ARCHITECT SHALL SUBMIT AN ILLUMINATION ANALYSIS FROM MH COMPANIES TO VERIFY STREET LIGHT PLACEMENTS. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL.
- S09 INSTALL KETCHUM STANDARD TREE WELL. REFER TO DETAIL 9 / C2.00.
- S10 CONSTRUCT CONCRETE SIDEWALK. REFER TO DETAIL 6 / C2.00.

A MATCH EXISTING LINES AND GRADES

LEGEND

LIP 30.71 Spot Elevation
2.2% Proposed Grade
3.3% Existing Grade

ABBREVIATIONS

BOW = BACK OF WALK
EG = EXISTING GRADE
FF = FINISHED FLOOR
FFE = FINISHED FLOOR AT ENTRY
FG = FINISHED GRADE
LF = LINEAL FEET
LIP = LIP OF GUTTER
HP = HIGH POINT
PC = POINT OF CURVATURE
PCC = POINT OF COMPOUND CURVE
POC = POINT ON CURVE
PT = POINT OF TANGENT
TA = TOP OF ASPHALT
TBC = TOP BACK OF CURB
TC = TOP OF CONCRETE
TP = TOP OF PAVERS
TG = TOP OF GRATE

GRAPHIC SCALE
0 10 20
Scale in Feet

PROFESSIONAL ENGINEER REGISTERED 7986 07/13/23 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: JCL
SURVEY DATE:

GALENA – BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

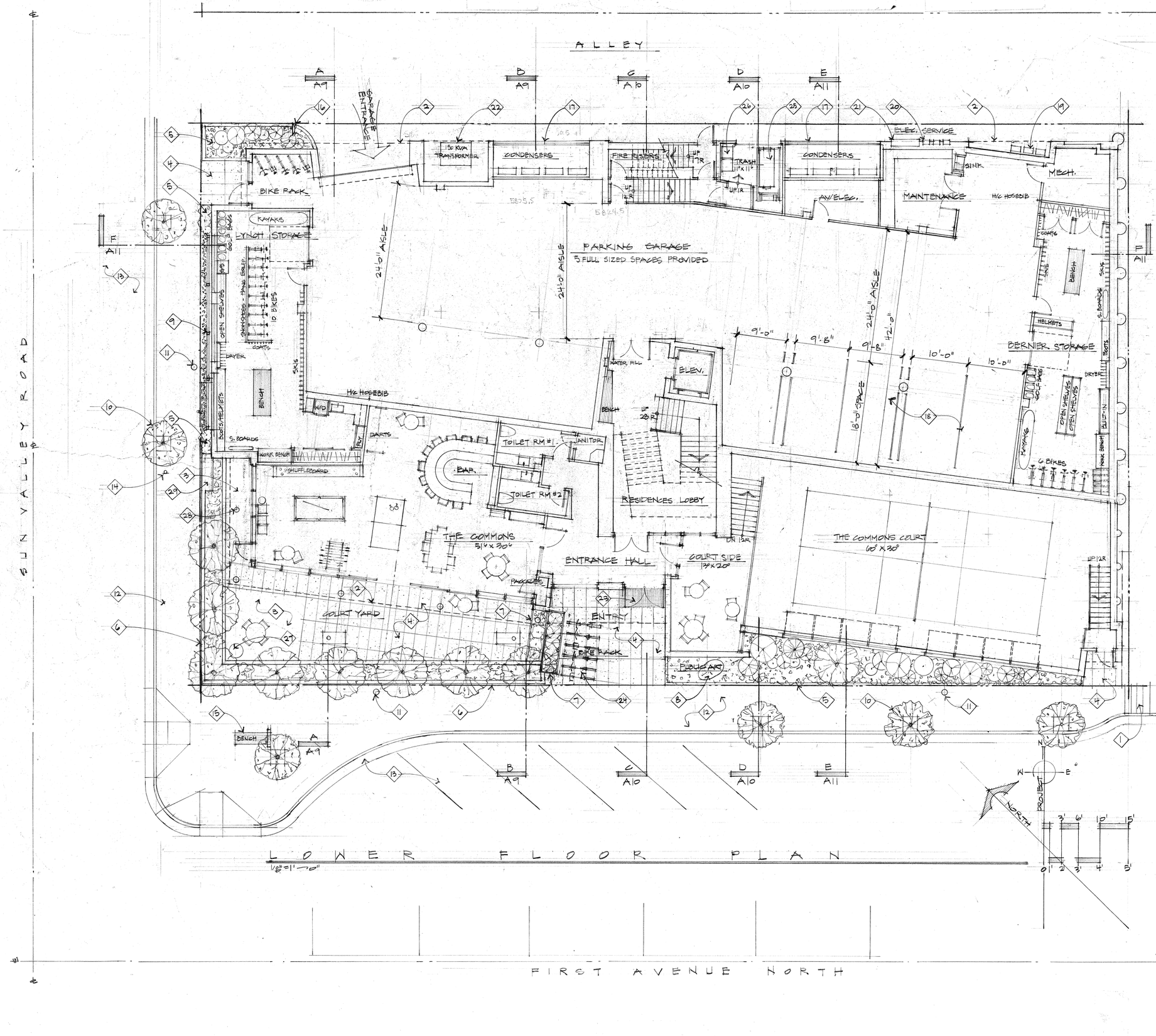
GALENA ELEVATION ABOVE SEA 9230 FEET BENCHMARK

PURPOSE: **DESIGN REVIEW**

NO	DATE	BY	REVISIONS

C2.30

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering.



LOWER FLOOR PLAN KEY NOTES:

1. Existing stairs to remain.
2. Dashed line indicates line of structure above – typical.
3. Artificial turf per Landscape drawings and details.
4. Large format Sintered Stone pavers with hydronic snow melt system.
5. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
6. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
7. Raised plate steel planter with blackened finish.
8. Public Art – free standing sculpture to be selected and purchased by the project Owners.
9. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans. Panels and posts to have a blackened finish.
10. Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details – typical.
11. New public street lighting per City of Ketchum regulations and MH Lighting design drawings.
12. New 8'-0" wide public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
13. Storm drainage, striped street parking, public signage, and street improvements per Civil Engineering drawings.
14. Bus stop - public signage.
15. Public bench.
16. Convex traffic mirror.
17. Mechanical system condensers screened from public view with horizontal wood screen.
18. Off Street Parking: 4 spaces required per KZC 17.125.040. Total of 5 spaces provided which conform to KZC 17.125.030 for full sized vehicle spaces.
19. Natural gas meters per Intermountain Gas Company requirements.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
23. Stainless steel open grate "grid" recessed mat.
24. Bicycle racks. 2 bicycle racks required per KZC 17.125.060, racks for 6 bicycles meeting KZC 17.96.070.F.1 provided.
25. Garbage Dumpster on glider.
26. Recycle bin.
27. Manhole for site storm water drywell access per Civil engineering drawings.
28. Structural steel column with blackened finish - typical.
29. The top of planter at the north end on Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

Revised:
09.30.2022
01.11.2023

Drawn: DB
Date: 10.2022
Checked:
Construction Set Issued:

Project:
SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title:
LOWER FLOOR PLAN

Sheet: A2

Project No. 2002

September 28, 2022

ROBERT CONNOR
720 MARKET ST C
KIRKLAND, WA 98033

To whom it may concern,

Thank you for your inquiry about electrical service at 260 N 1ST AVE
KETCHUM, ID 83340

The property is located within Idaho Power's service area in the state of Idaho

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulatros. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

The attached architectural plan dated 9/21/22 from Thielsen Architects has been reviewed by Idaho Power and does meet space and clearance requirements for this three phase padmount transformer to be installed on property if required. The hinged non-combustible screening panels are allowed providing the transformer front is not limited by and gate posts. Transformer doors must opening fully.

Sincerely,

Cyndi Bradshaw

Cyndi Bradshaw
PO Box 3909
Hailey ID 83333

City of Ketchum

ATTACHMENT B:

Design Review Plan Set

SAWTOOTH SERENADE

PROJECT DATA

OWNERS:
Scott and Julie Lynch
409 5th Avenue West
Kirkland, WA 98033

OWNERS:
Yahn Bernier and Elizabeth McCaw
321 82nd Avenue Northeast
Medina, WA 98039

PROJECT ADDRESS:
260 N 1st Ave
KETCHUM, ID 83340

APPLICABLE CODES:
2020 Idaho Residential Code (2018 I.R.C. Amended)
2018 International Building Code (I.B.C.)
2018 International Mechanical Code (I.M.C.)
2018 International Fire Code (I.F.C.)
2018 Uniform Plumbing Code (U.P.C.)
2017 National Electrical Code (N.E.C.)
2020 Idaho Energy Conservation Code (2018 I.E.C.C. Amended)

OCCUPANCY: R-3 (One and Two Family Residences)

CONSTRUCTION TYPE: VB

LEED RATING: Silver projected

SPRINKLERED: YES per NFPA 13 and City of Ketchum Ordinance #1125

TAX NUMBER: RPK0000038005A

LEGAL DESCRIPTION: Ketchum Townsite Block 38, Lot 5A

ZONING: CC-SD2, Lot Area = 16507 sf

REQUIRED PARKING: 4 spaces - 2 spaces required per residential unit of 2,001 sf or greater. Building contains 2 residential units of 2,001 sf or greater.

PARKING PROVIDED: 5 full sized vehicle spaces per KZC 17I25.030. Because the required parking spaces are located within the building the spaces are dimensioned on the lower level plan. Please see sheet A2.

REQUIRED STANDARD SETBACKS:

Front and Street Side Setback:	5' Average
Alley Setback:	3'
Interior Side Setback:	0'

See sheets A12, A13, A14, and A15 for actual setbacks

NET FLOOR AREA SUMMARY:

Lower Level:	3,824 sf
Middle Level:	9,466 sf
Upper Level:	7,714 sf
Total:	**21,004** sf
Lynch Residence Net Floor Area:	8,375 sf
Bernier Residence Net Floor Area:	8,806 sf

ALLOWABLE GROSS FLOOR AREA:
Lower level G.F.A. above basement invisible plane including stair tower and elevator = **953 sf**
Parking area = 5,148 sf less underground parking area of 392 sf
Parking area G.F.A. = **4,756 sf**
Middle level = 10,421 sf less stair tower and elevator of 470 sf
Middle level G.F.A. = **9,951 sf**
Upper level = 8,716 sf less stair tower and elevator of 470 sf
Upper level G.F.A. = **8,246 sf**

Lower Level G.F.A.	**953 sf**
Parking Area G.F.A.	**4,756 sf**
Middle Level G.F.A.	**9,951 sf**
Upper Level G.F.A.	**8,246 sf**
Total G.F.A.	**23,906 sf**

Maximum Allowable Floor Area Ratio 2.25 with Inclusionary Housing Incentive
Allowable G.F.A.: 16507 x 2.25 = 37140.75 sf
Actual G.F.A.: **23,906 sf** (23,906 sf < 37140.75 sf)
Proposed G.F.A. = 1.45

REQUIRED FLOOR AREA RATIO INCREASE:
Lot Area: 16507 sf
Standard Allowable Floor Area Ratio 1.0
Allowable G.F.A.: 16507 x 1.0 = 16507 sf
Actual G.F.A. exceeds standard allowable G.F.A. by 7,399 sf
Required Community Housing = 7,399 sf x .20 x .85 = 1,258 sf
Current Fee in Lieu Required = 1,258 sf exceedance x $450/sf = $566,100.00

FINISH FLOOR ELEVATIONS:

Lower Level	5825'-0"
Middle Level	5842'-6"
Upper Level	5855'-7½"

AVERAGE EXISTING GRADE:

Average Grade at Front (1st Ave)	
Elevation at West Corner:	5824.50'
Elevation at East Corner:	5825.00'
Average Grade at Front:	**5824.75'**
Average Grade at Rear (Alley)	
Elevation at West Corner:	5825.90'
Elevation at East Corner:	5834.80'
Average Grade at Rear:	**5830.35'**

BUILDING HEIGHT LIMIT:

Average Grade 1st Avenue:	5824.75'
Allowable Maximum Height 1st Ave.:	5866.75'
Actual Maximum Height of Structure:	**5866.70'**
Actual Height **5866.70'** < Allowable Height	**5866.75'** COMPLIES
Average Grade Alley:	5830.35'
Allowable Maximum Height Alley:	5872.35'
Actual Maximum Height of Structure:	**5872.33'**
Actual Height **5872.33'** < Allowable Height	**5872.35'** COMPLIES

PROJECT TEAM

OWNERS:
Scott and Julie Lynch
409 5th Avenue West
Kirkland, WA 98033

ARCHITECT:
Thielsen Architects, Inc. P.S.
720 Market Street, Suite C
Kirkland, WA 98033
(425) 828-0333 fax (425) 828-9376
Contact: Robert Connor

LANDSCAPE ARCHITECT:
Eggers Associates
P.O. Box 953
Ketchum, ID 83340
(208) 725-0988
Contact: Kurt Eggers

CIVIL ENGINEER:
Galena-Benchmark Engineering
100 Bell Drive, Suite C
Ketchum, ID 83340
(208) 726-9512
Contact: Jeff Loomis

LAND SURVEYOR:
Galena-Benchmark Engineering
100 Bell Drive, Suite C
Ketchum, ID 83340
(208) 726-9512
Contact: Mark Philips

LANDUSE ATTORNEY:
Lawson Laski Clark, PLLC
675 Sun Valley Road, Suite A
Ketchum, ID 83340
(208) 725-0055
Contact: Jim Laski

OWNERS:
Yahn Bernier and Elizabeth McCaw
321 82nd Avenue Northeast
Medina, WA 98039

STRUCTURAL ENGINEER:
SSF Engineers
934 Broadway Ave
Tacoma, WA 98402
(253) 284-9470
Contact: Ryan Reichman

LIGHTING DESIGNER:
Kevin Flower, LC
20650 N. 29th Placet, Suite 106
Phoenix, AZ 85050
(602) 341-3667
Contact: Kevin Flower

GEOTECHNICAL ENGINEER:
Steve Butler & Associates
208 Spruce Avenue North
Ketchum, ID 83340
(208) 720-6432
Contact: Steve Butler

STREET LIGHTING DESIGNER:
The MH Companies
2995 North Cole Road, Suite 115
Boise, ID 83704
(208) 609-3722
Contact: Mike Decker

FAR 1.45

DRAWING INDEX

A0.0	Cover Sheet
A0.1	Context Analysis
A0.2	Context Analysis
A0.3	Context Analysis
A0.4	Site Analysis
A0.5	Site Analysis
A0.6	Context Comparisons
A0.7	Context Comparisons
A0.8	Massing Scheme
A0.9	Massing Scheme
A0.10	Massing Scheme
A0.11	Exterior Renderings
A0.12	Exterior Renderings
A0.13	Exterior Renderings
A0.14	Exterior Renderings
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A8.1	Exterior Elevations
A8.2	Exterior Elevations
A9	Building Sections
A10	Building Sections
A11	Building Sections
A12	Lower Level Setback Plan
A13	Middle Level Setback Plan
A14	Upper Level Setback Plan
A15	Roof Level Setback Plan
A16	Lower Floor Dimension Plan
A17	Construction Plan
EL1	Lower Level Lighting Plan
EL2	Middle Level Lighting Plan
EL3	Upper Level Lighting Plan
EL4	Roof Deck Lighting Plan
EL5	Lower Level Photometric Plan
EL6	Middle Level Photometric Plan
EL7	Upper Level Photometric Plan
EL8	Roof Deck Photometric Plan
EL9	Electrical Specifications
EL10	Electrical Specifications
EL11	Electrical Specifications
EL12	Electrical Specifications
ES1	Street Lighting Photometric Plan
C0.10	Cover Sheet
C0.20	Existing Site Conditions
C0.30	Neighboring Buildings Plan
C0.90	Site Demolition Plan
C1.00	Site Plan
C2.00	Site Improvement Details
C2.10	Alley Lip of Gutter Plan
C2.20	Street Side Lip of Gutter Plan
C2.30	Site Grading Plan
C3.00	Site Drainage and Utility Details
C3.10	Site Drainage and Utility Plan
L3.0	Lower Level Landscape Plan
L3.1	Middle Level Landscape Plan
L3.2	Upper Level Landscape Plan
L3.3	Roof Level Landscape Plan

LICENSED ARCHITECT CA-986776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 09/30/22 07/17/23 10/10/24
1 2 3 4 5

Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
COVER SHEET
---- ----

Sheet:
A0.0

Project No.
2002

CONTEXT ANALYSIS

The project site is located in the Commercial Core District of Downtown Ketchum, ID. The immediate context is poplulated by Retail, Commercial, & mixed-use buildings.

Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.

LEGEND

- RECENTLY APPROVED PROJECTS
- PROPOSED PROJECT

N

TRUE

VICINITY MAP

LICENSED ARCHITECT DAVID C THELSEN AR-986776 STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

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Checked: ---- ----
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Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: CONTEXT ANALYSIS ---- ----

Sheet: A0.1

Project No. 2002

CONTEXT ANALYSIS

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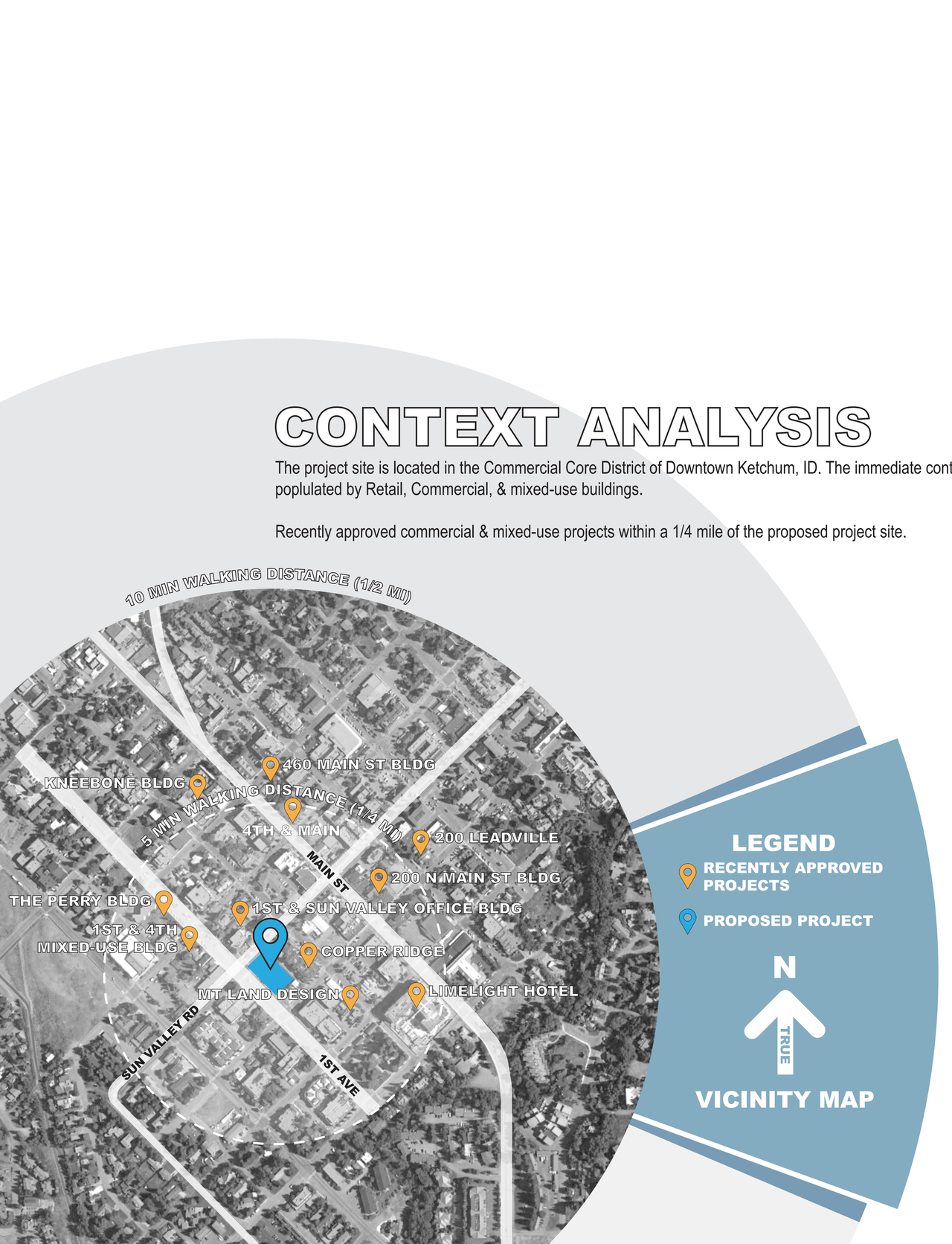
Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.



LICENSED ARCHITECT AR-986776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
Checked: ---- ----
Construction Set Issued: ----

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
CONTEXT ANALYSIS
---- ----

Sheet:
A0.2

Project No.
2002

CONTEXT ANALYSIS

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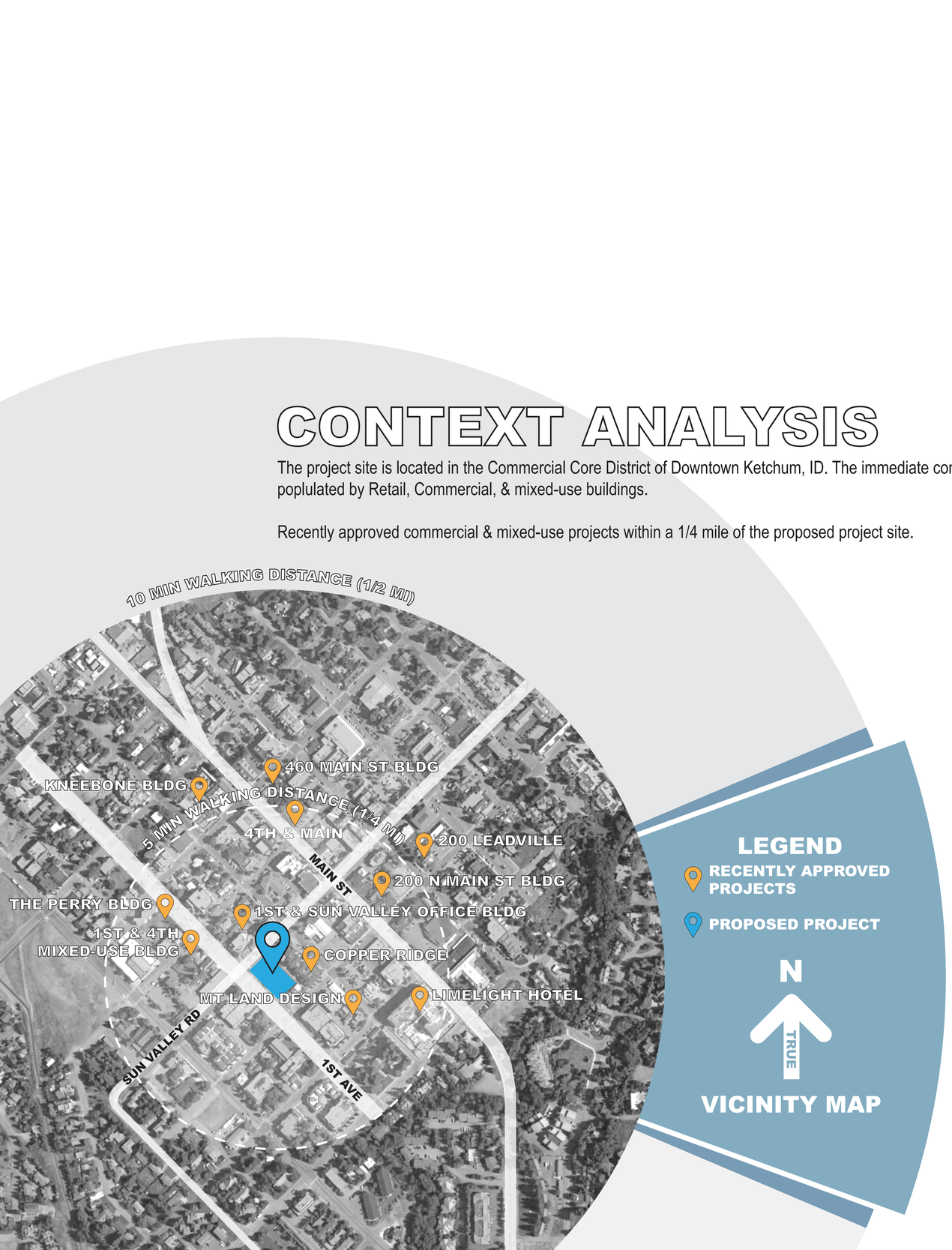
Recently approved commercial & mixed-use projects within a 1/4 mile of the proposed project site.



LICENSED ARCHITECT AR-986776 DAVID C. THELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: CONTEXT ANALYSIS ---- ----

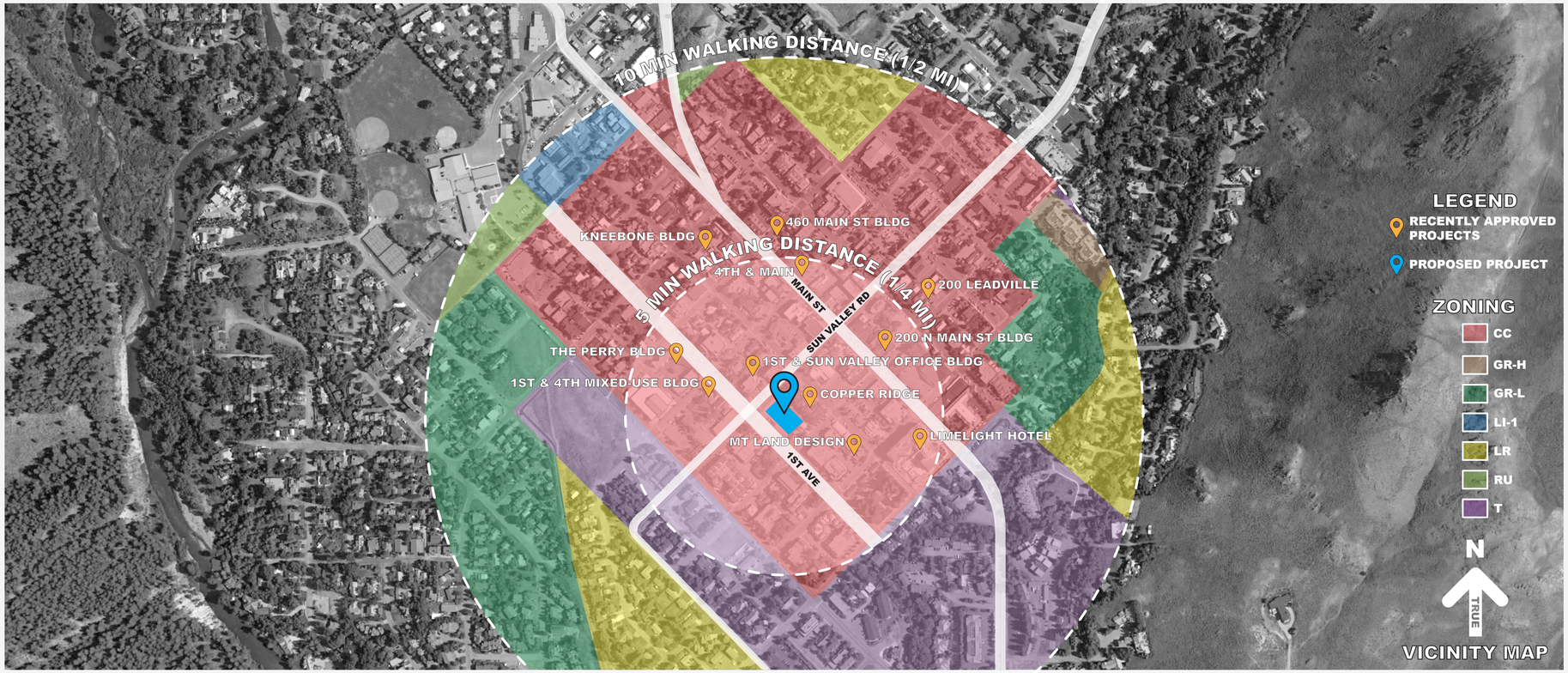
Sheet: A0.3

Project No. 2002

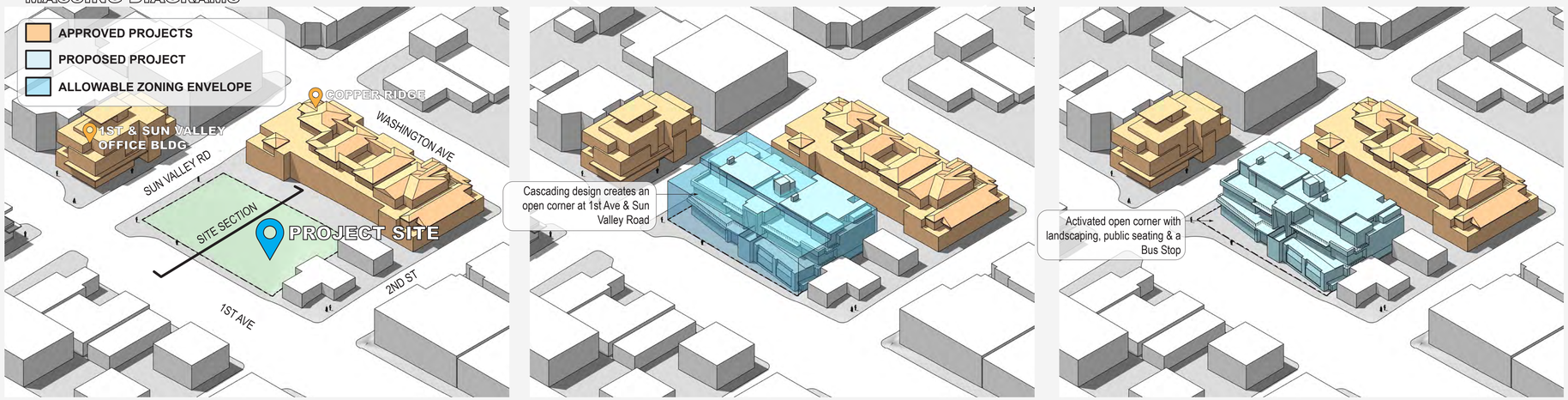
SITE ANALYSIS

The project site is located in the Community Core District of Downtown Ketchum, ID. The immediate context is poplulated by Retail, Commercial, & mixed-use buildings.

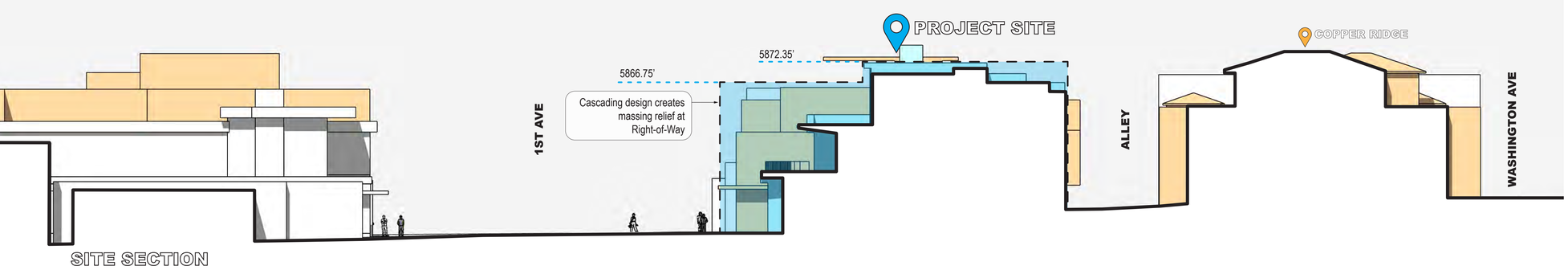
Copper Ridge, 1st & Sun Valley Office Bldg, 1st & 4th Mixed-Use Bldg & The Perry Bldg are all noteworthy projects that are within the immediate vicinity of the proposed project. Three of which are located on 1st Ave.



MASSING DIAGRAMS



SITE | **ALLOWABLE ZONING ENVELOPE** | **PROPOSED BUILDING MASSING**



SITE SECTION

Thielsen ARCHITECTS
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
SITE ANALYSIS

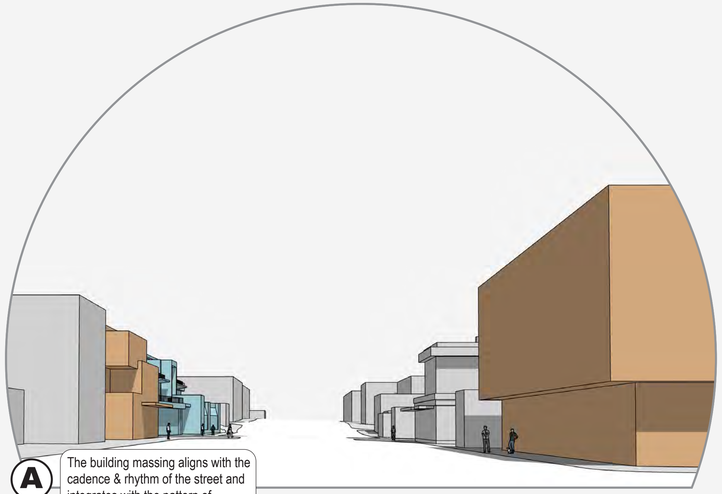
Sheet:
A0.4

Project No.
2002

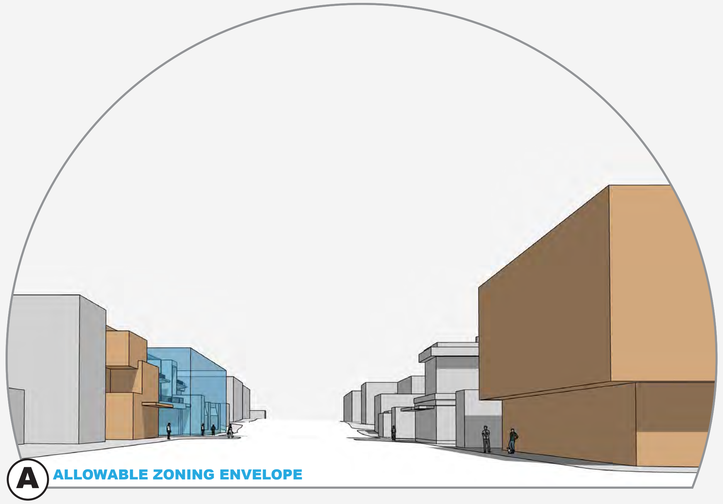
Revised:
6 7 8 9 10

Revised:
1 2 3 4 5

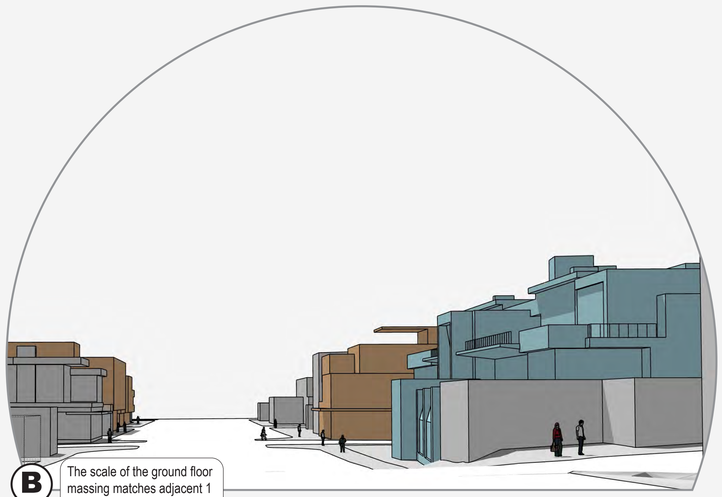
Drawn: 10/10/24
Checked: ---- ----
Construction Set Issued: ----



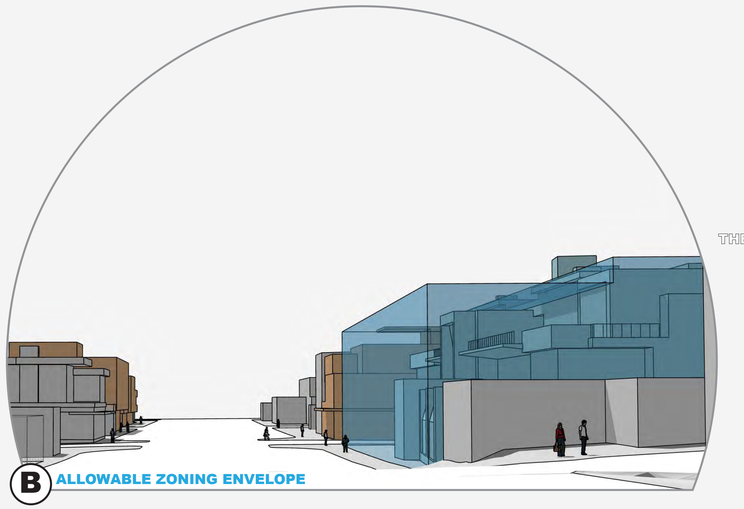
A The building massing aligns with the cadence & rhythm of the street and integrates with the pattern of development along 1st Ave



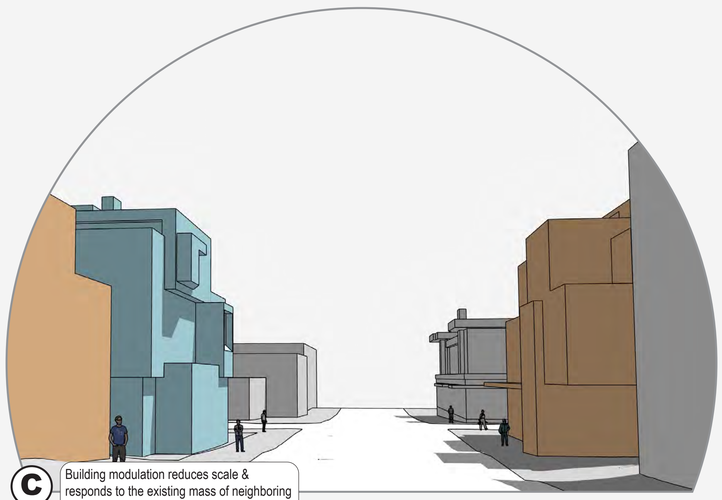
A ALLOWABLE ZONING ENVELOPE



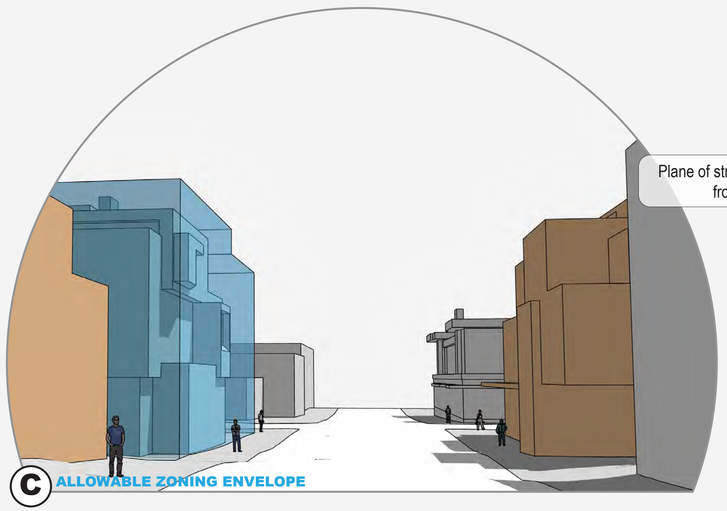
B The scale of the ground floor massing matches adjacent 1 story buiding to the East



B ALLOWABLE ZONING ENVELOPE



C Building modulation reduces scale & responds to the existing mass of neighboring buildings along Sun Valley Road

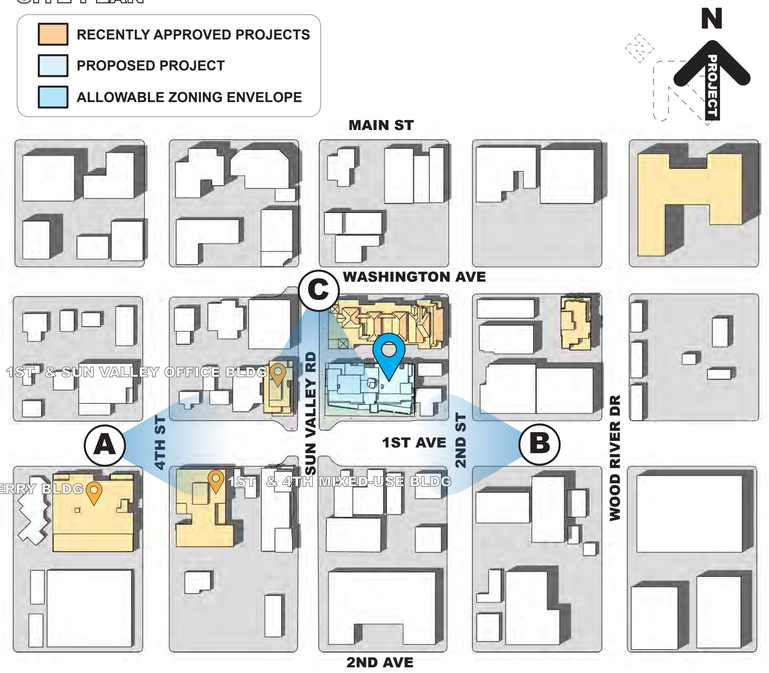


C ALLOWABLE ZONING ENVELOPE

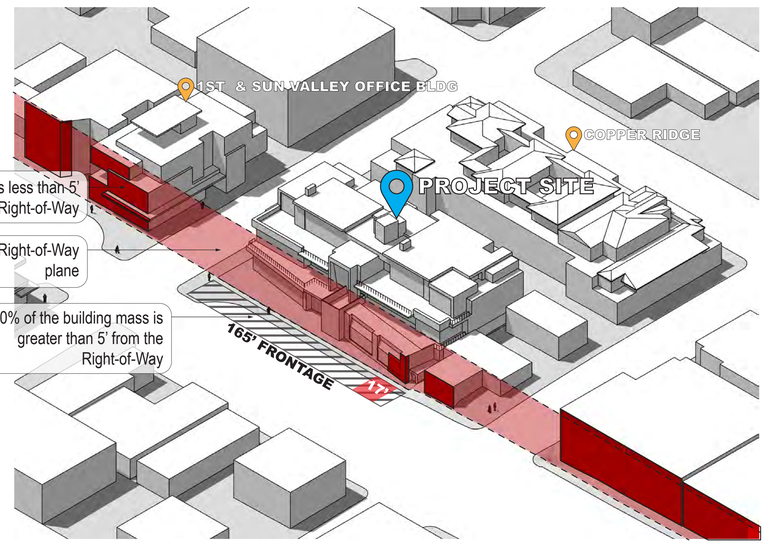
SITE ANALYSIS

The project has been designed to fit within the scale and context of the existing street fabric. This has been accomplished by a single story structure at the ground level along 1st Ave. In addition, the project steps away from the primary 1st Ave property line to reduce the project's impact to the street fabric.

SITE PLAN



SETBACK DIAGRAM



LICENSED ARCHITECT AR-988776 DAVID C NIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24 Checked: ---- ---- Construction Set Issued: ----

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Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: SITE ANALYSIS ---- ----

Sheet: A0.5

Project No. 2002

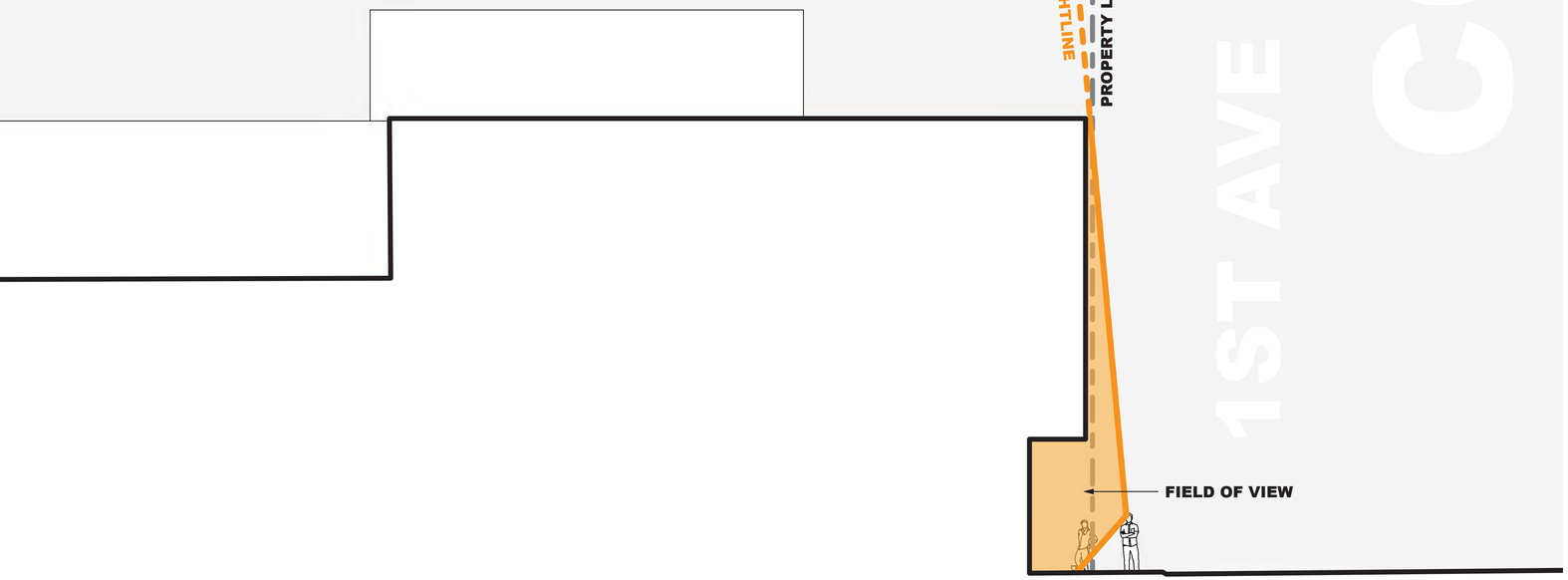
CONTEXT COMPARISON

The proposed project design utilizes negative space in the massing along 1st Avenue to enhance the pedestrian experience and reduce the visual impact of the building from the sidewalk. That is achieved by stepping the structure back from the property line as each floor rises, reducing the overall mass of the building. Additionally, the lower floor of the proposed project pulls away from the property line. This creates a pedestrian experience that is open to the sky, rather than an imposing building mass at the street face.

1ST AVE & 4TH ST MIXED-USE BLDG

CC

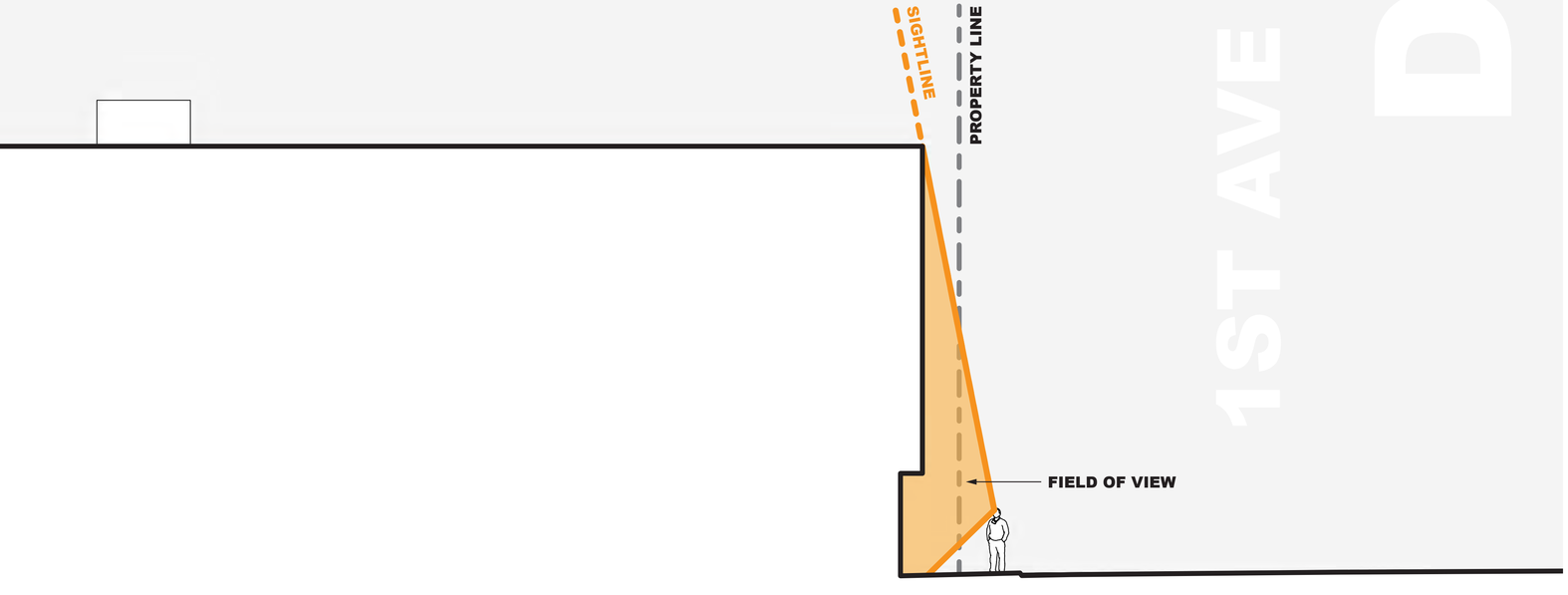
2 TOWNSITE LOTS: **18,163 SQ FT**
GROSS SQ FT: **37,211 SQ FT**
FAR: **2.05**



THE PERRY BLDG

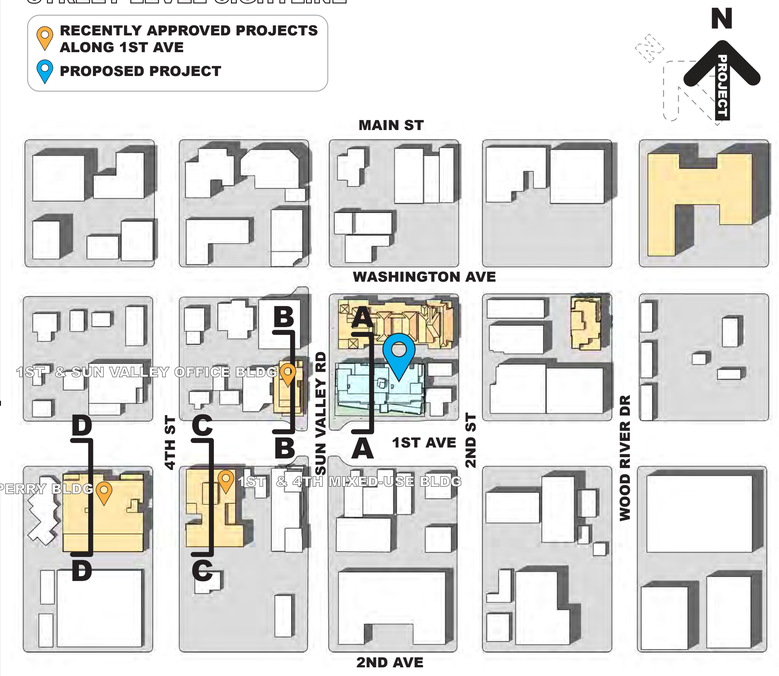
DD

3 TOWNSITE LOTS: **24,703 SQ FT**
GROSS SQ FT: **53,756 SQ FT**
FAR: **2.18**



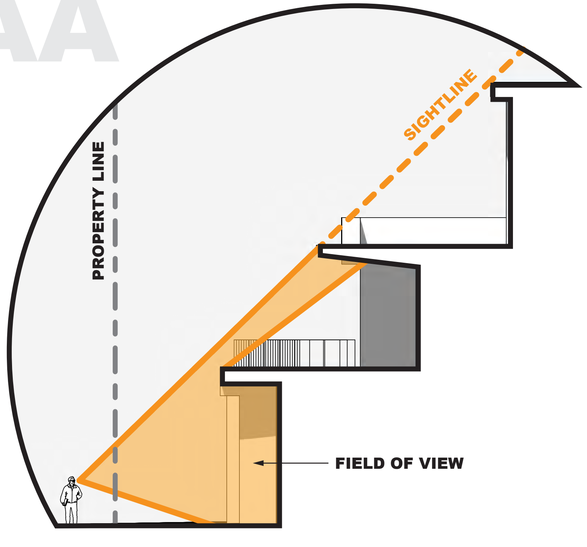
STREET LEVEL SIGHTLINE

RECENTLY APPROVED PROJECTS ALONG 1ST AVE
PROPOSED PROJECT



SAWTOOTH SERENADE

AA



LICENSED ARCHITECT DAVID C THIELSEN No. 9887 STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
Checked: ---- ----
Construction Set Issued: ----

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Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: CONTEXT COMPARISON ---- ----

Sheet: A0.6

Project No. 2002

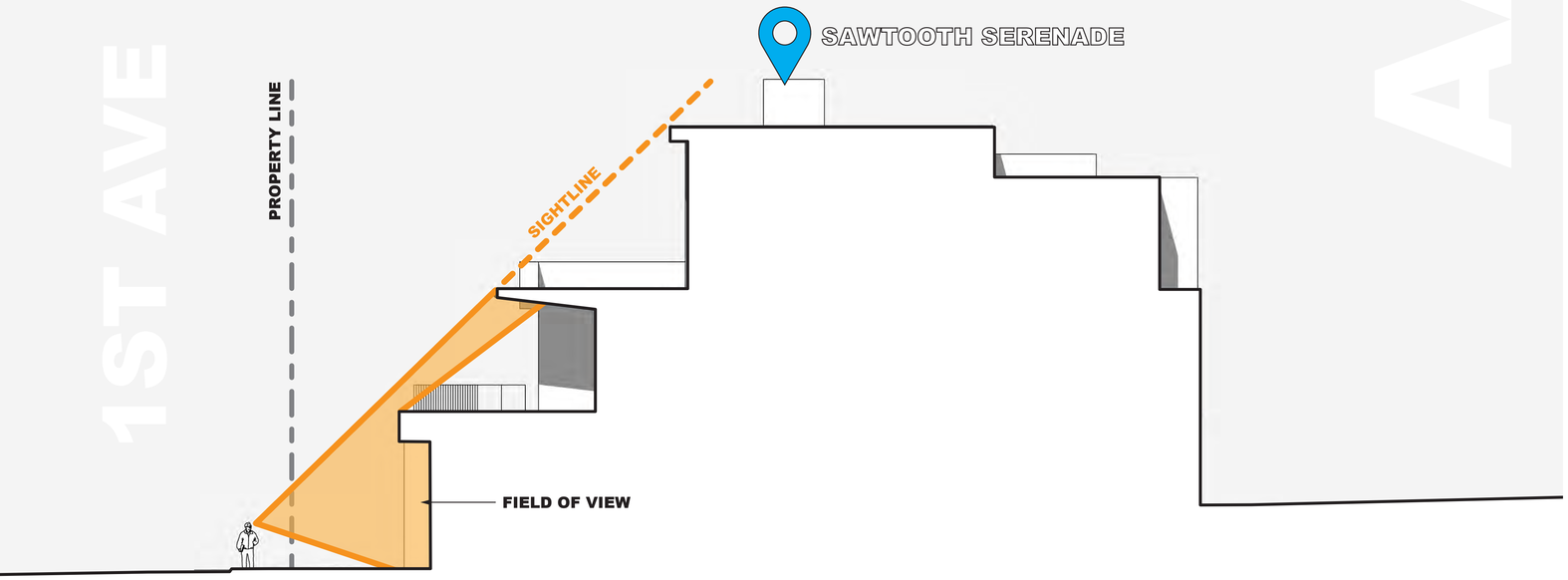
CONTEXT COMPARISON

The proposed project design utilizes negative space in the massing along 1st Avenue to enhance the pedestrian experience and reduce the visual impact of the building from the sidewalk. That is achieved by stepping the structure back from the property line as each floor rises, reducing the overall mass of the building. Additionally, the lower floor of the proposed project pulls away from the property line. This creates a pedestrian experience that is open to the sky, rather than an imposing building mass at the street face.

PROPOSED PROJECT

AA

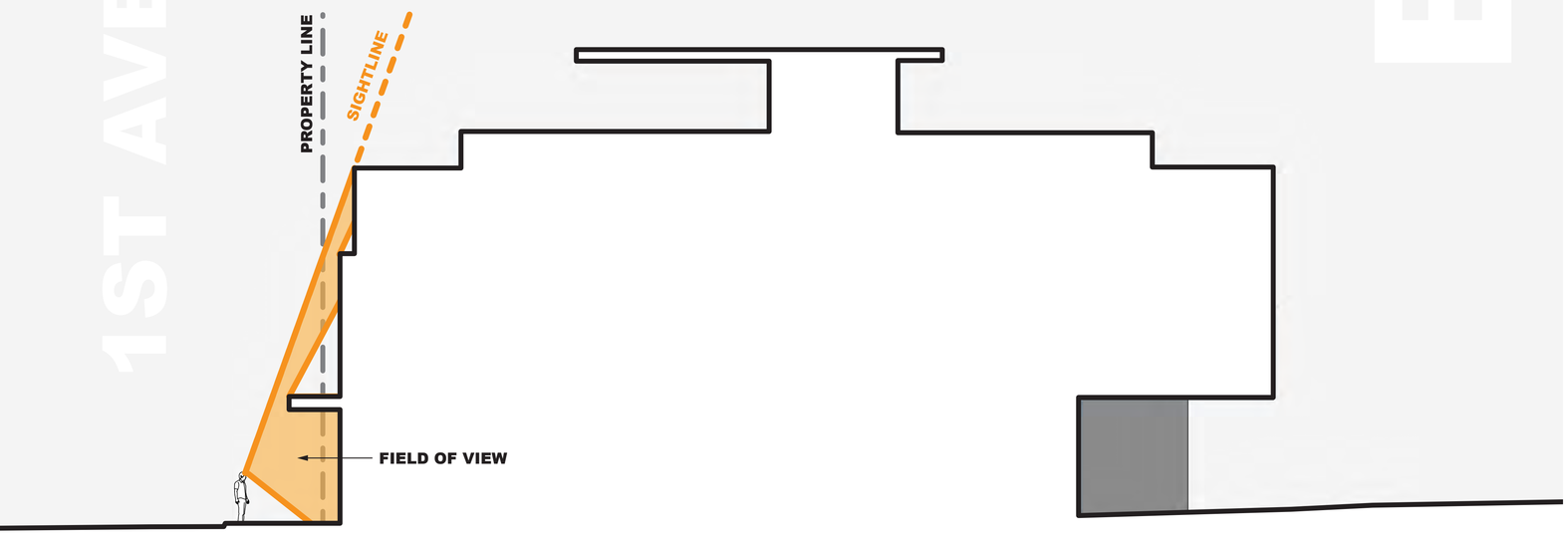
3 TOWNSITE LOTS: **16,507 SQ FT**
GROSS SQ FT: **21,004 SQ FT**
FAR: **1.45**



1ST AVE & SUN VALLEY OFFICE BLDG

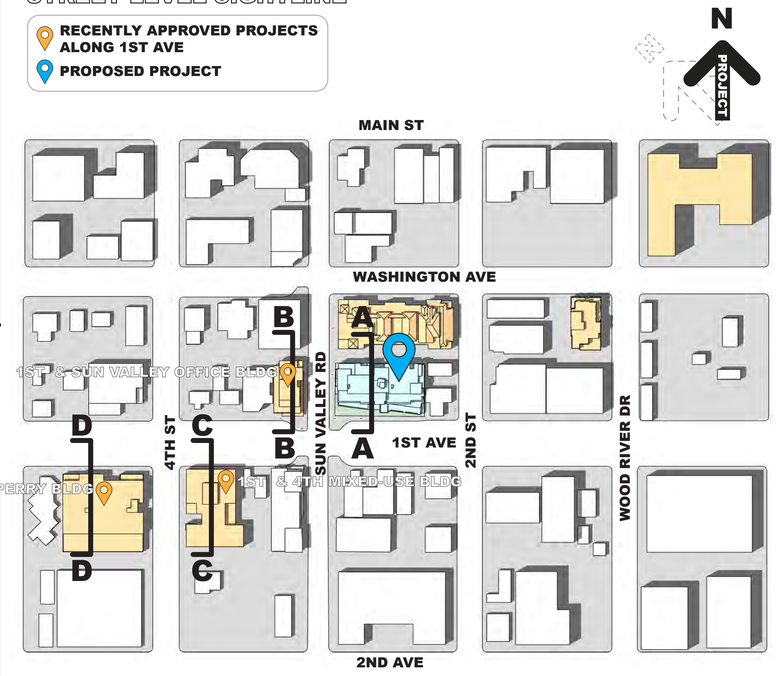
BB

1 TOWNSITE LOTS: **5,500 SQ FT**
GROSS SQ FT: **10,932 SQ FT**
FAR: **1.99**



STREET LEVEL SIGHTLINE

RECENTLY APPROVED PROJECTS ALONG 1ST AVE
PROPOSED PROJECT



LICENSED ARCHITECT AR-988776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
Checked: ---- ----
Construction Set Issued: ----

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

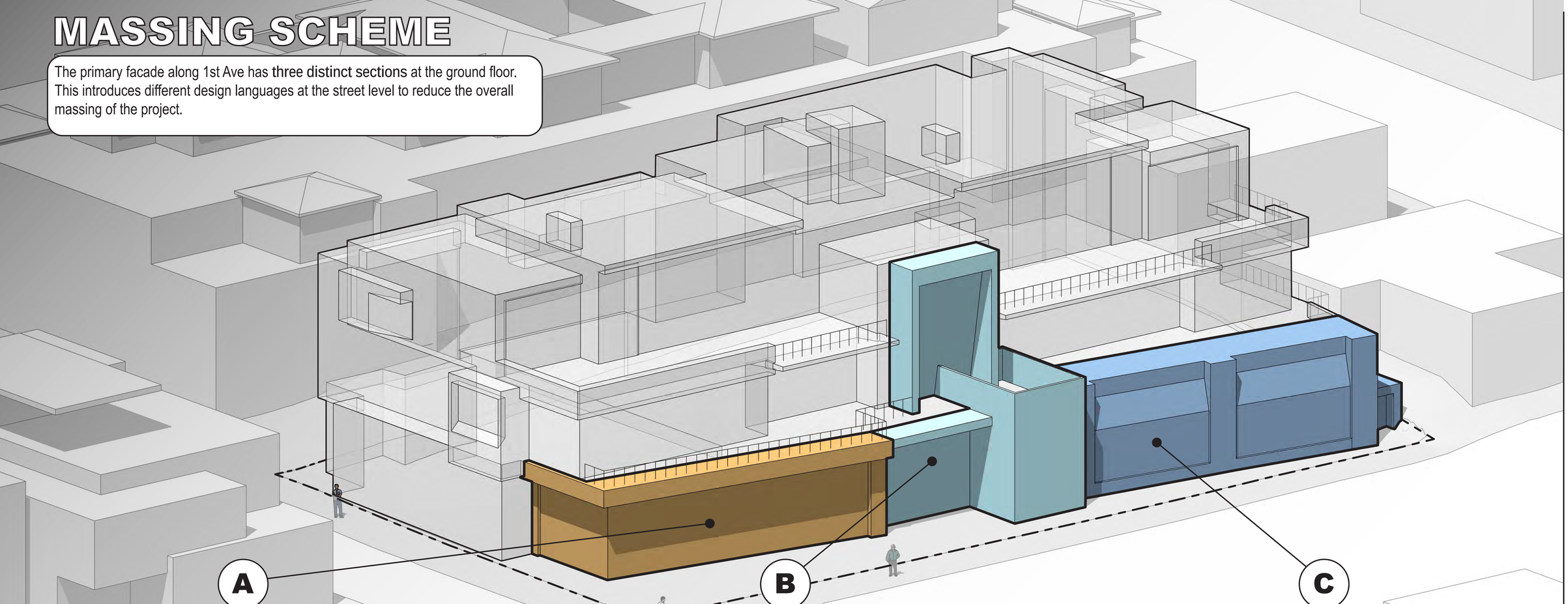
Sheet Title:
CONTEXT COMPARISON
---- ----

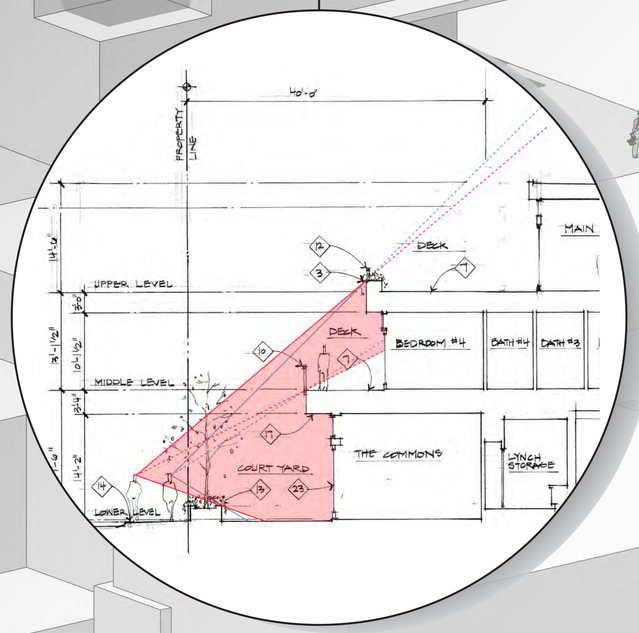
Sheet:
A0.7

Project No.
2002

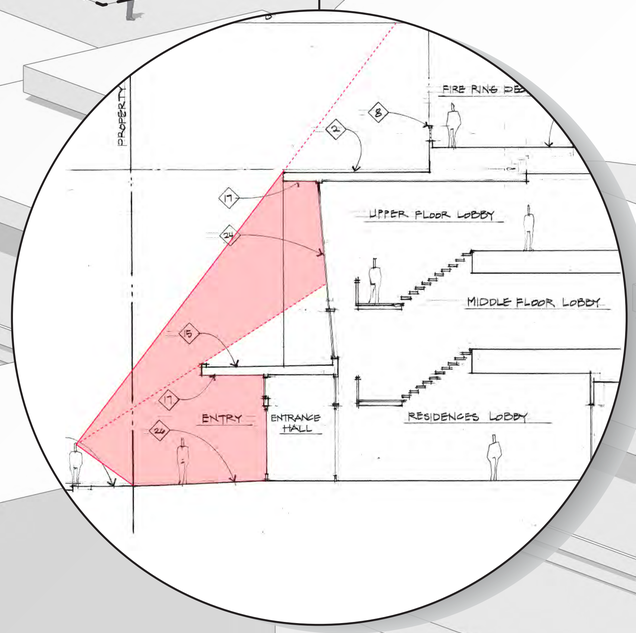
MASSING SCHEME

The primary facade along 1st Ave has **three distinct sections** at the ground floor. This introduces different design languages at the street level to reduce the overall massing of the project.

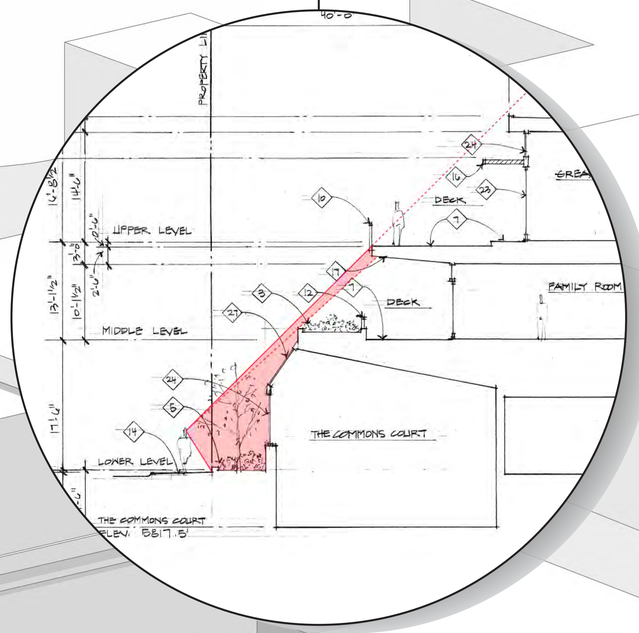




Section 'A' is setback furthest from the property line and is adorned with more landscaping than sections 'B' & 'C'. Storefronts provide transparency between the Commons & Right-of-Way



Section 'B' contains the main building entry. Its differentiated with a strong sense of verticality & transparency, anchored by a stone wall. The stone wall will be the backdrop for a public art installation



Section 'C' has more stone cladding creating a strong masonry base for the project at the street level

LICENSED ARCHITECT
AR-988776
DAVID C THIELSEN
STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
1 2 3 4 5

Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
MASSING SCHEME
---- ----

Sheet:
A0.8

Project No.
2002

MASSING SCHEME

The primary facade along 1st Ave consists of a **cascading design** that is separated into 3 tiers. Each tier steps further from the Right-of-Way as the building increases in height.

Cascading promotes human scale by reducing the project into separate tiers. The top tier is not visible from the perspective of a pedestrian walking along the project side of 1st Ave. See sections on sheet A0.8

The open corner is enhanced with landscaping in a low planter which provides continuous public seating along 1st Ave & Sun Valley Road. This openness activates the corner and enriches the pedestrian experience at the Right-of-Way.

The cascading creates a transitionary design that is at the scale of adjacent single story buildings on 1st Ave and begins increasing in scale as it moves north towards the taller neighboring property, Copper Ridge

LEGEND

TOP TIER

The top tier contains the Main Bedroom, Kitchen, Living & Dining

MID TIER

The mid tier contains Guest Rooms & Recreation space

LOWER TIER

The lower tier contains Common space

LICENSED ARCHITECT
AR-988776
DAVID C THIELSEN
STATE OF IDAHO

Revised:
6 7 8 9 10

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1 2 3 4 5

Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
MASSING SCHEME
---- ----

Sheet:
A0.9

Project No.
2002

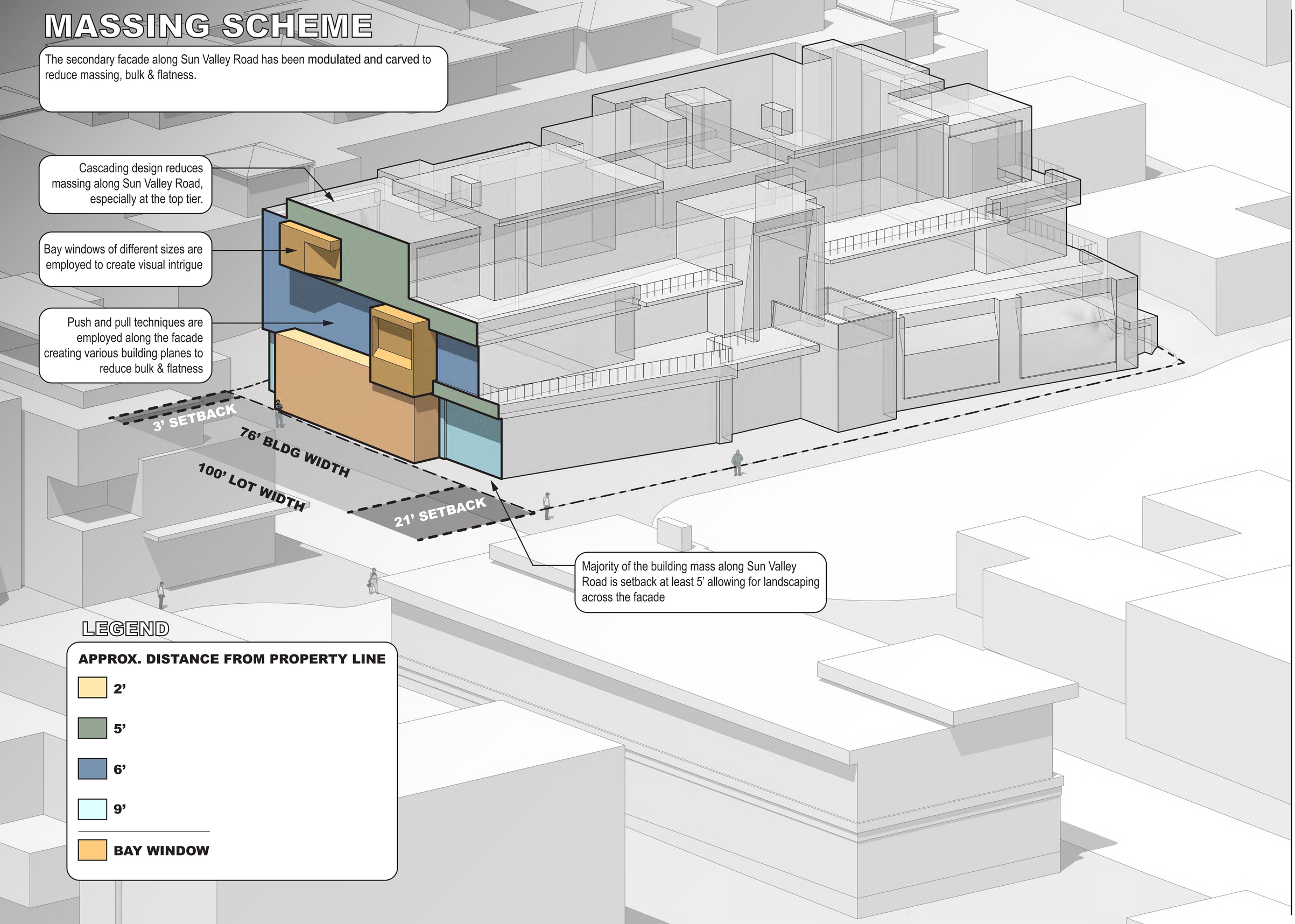
MASSING SCHEME

The secondary facade along Sun Valley Road has been modulated and carved to reduce massing, bulk & flatness.

Cascading design reduces massing along Sun Valley Road, especially at the top tier.

Bay windows of different sizes are employed to create visual intrigue

Push and pull techniques are employed along the facade creating various building planes to reduce bulk & flatness



Majority of the building mass along Sun Valley Road is setback at least 5' allowing for landscaping across the facade

LEGEND

APPROX. DISTANCE FROM PROPERTY LINE

- 2'
- 5'
- 6'
- 9'

BAY WINDOW

LICENSED ARCHITECT AR-988776 DAVID C THELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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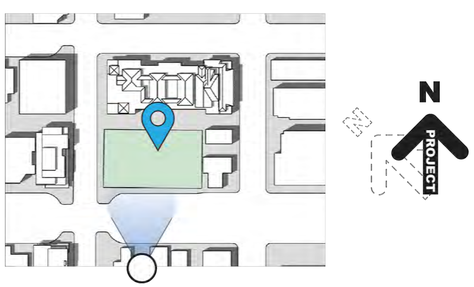
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
MASSING SCHEME

Sheet:
A0.10

Project No.
2002

VIEW ACROSS NORTH 1ST AVENUE



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Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

Revised:
1 09/30/22
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3 10/10/24
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Revised:
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LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

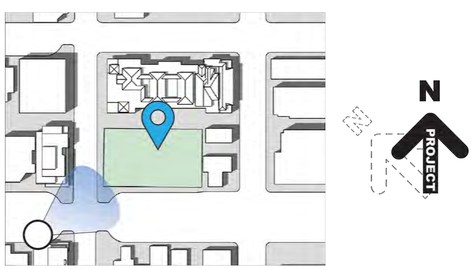
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
---- ----

Sheet:
A0.11

Project No.
2002

VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD



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LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
1 09/30/22
2 07/17/23
3 10/10/24
4
5

Drawn: 10/01/24
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Construction Set Issued: ----

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
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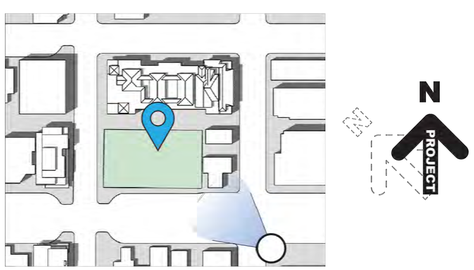
Sheet:
A0.12

Project No.
2002

VIEW FROM THE CORNER OF 1ST AVENUE AND 2ND STREET



LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
1 09/30/22
2 07/17/23
3 10/10/24
4 5

Drawn: 08/10/22
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Construction Set Issued: ----

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
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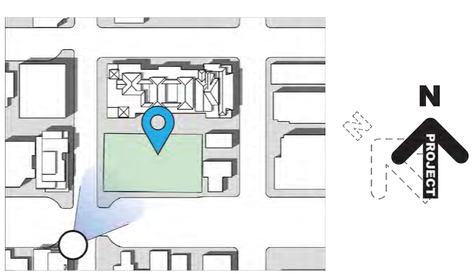
Sheet:
A0.13
Project No.
2002

VIEW FROM THE CORNER OF 1ST AVENUE AND SUN VALLEY ROAD



LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
1 09/30/22
2
3 10/10/24
4
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Drawn: 08/10/22
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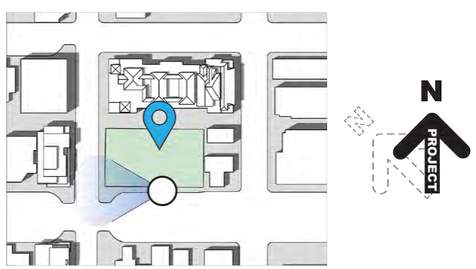
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
---- ----

Sheet:
A0.14
Project No.
2002

VIEW WEST ALONG 1ST AVENUE FROM THE SIDEWALK IN FRONT OF THE ENTRY TO SAWTOOTH SERENADE



LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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Construction Set Issued: ----

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
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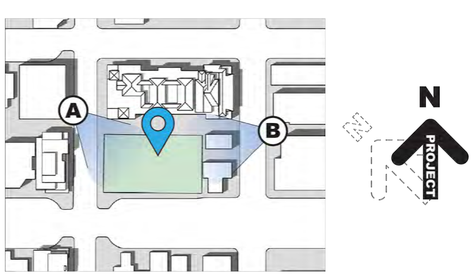
Sheet:
A0.15

Project No.
2002

VIEW "A" LOOKING SOUTH DOWN SUN VALLEY ROAD



VIEW "B" FROM 2ND STREET IN THE WINTER

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
1 09/30/22
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR RENDERINGS
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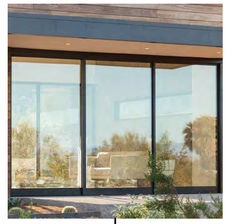
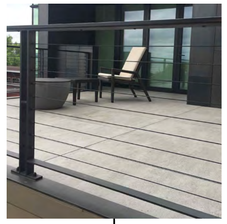
Sheet:
A0.16

Project No.
2002

DARK BRONZE WINDOWS AND SLIDING DOOR FRAMES



BLACKENED STAINLESS STEEL CABLE RAILS



VERTICAL BROWN STAINED CEDAR SIDING

PRE-WEATHERED ZINC INTERLOCKING SHINGLES

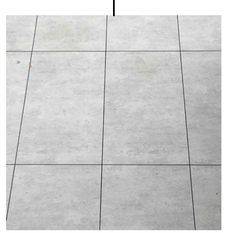
SANDSET CONCRETE SIDEWALK PAVERS

COURSED ASHLAR STONE VENEER

INTEGRAL COLOR CONCRETE

HORIZONTAL BROWN STAINED CEDAR SIDING

CEDAR TONGUE AND GROOVE SOFFITS



LARGE FORMAT SINTERED STONE PATIO AND DECK PAVERS

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised:
6 7 8 9 10

Revised:
09/30/22 1
07/17/23 2
10/10/24 3
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR MATERIALS
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Sheet:
A0.17

Project No.
2002

This is just a large plane of glass. - Commission Vice Chair Brenda Moczygemba speaking about the upper level glazing.

I think the roof is kind of flat and straight.
- Commission Chair Neil Morrow

At the 3rd level specifically, the pattern of windows are identical and run from one end of the facade to the other with little separation or break except for the center staircase.
- Staff report

The majority of the upper level roof was at the same elevation which created a sense of flatness. The new design of the upper level creates modulation in plan and profile which increases undulation and provides relief from the previous sense of bulk and flatness.

All of the glazing on the upper level was in one plane and was symmetrical about the central circulation core.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

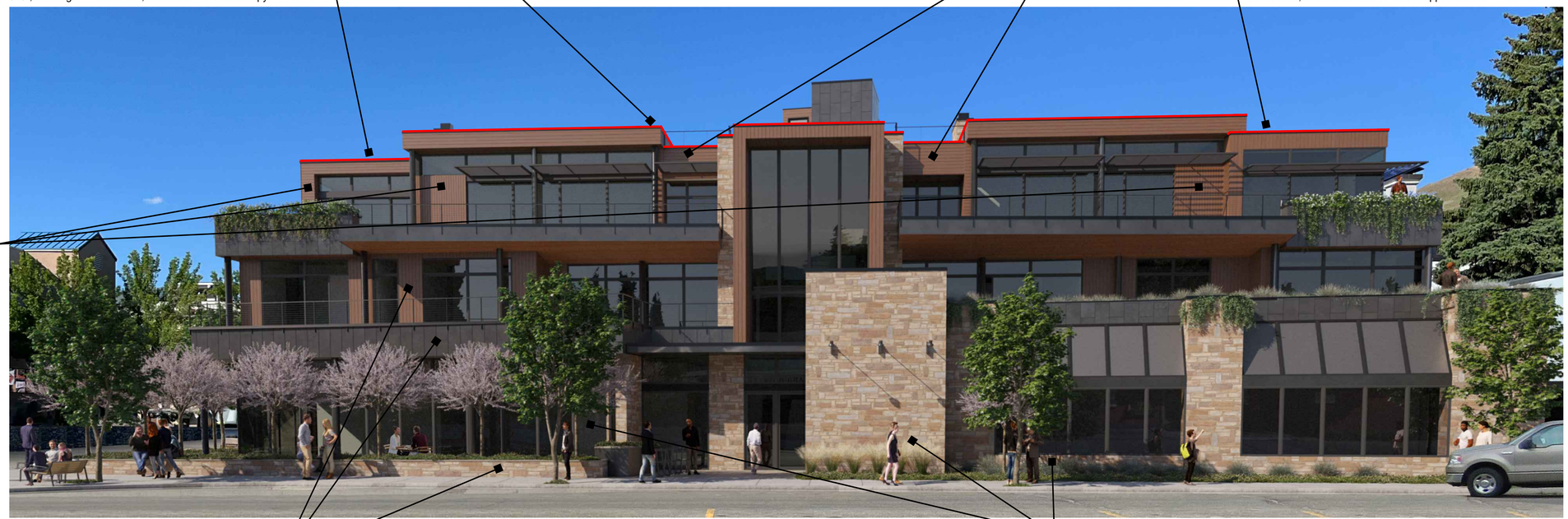
The varying roof planes, highlighted in red, are articulated to create a roof line that breaks the facade down into small components with massing that respects the rhythm and pattern of downtown Ketchum.

The Lynches' bedroom volume was pulled back from 1st Avenue by 5'-0", the height was reduced, and the sun shade canopy was removed.

The central portions of the facade were pulled back with the Berniers' side getting a recessed window and the Lynches' side getting a sun shade canopy. The portions of the façade to the east and west of the central stair volume have similarities due to the program of the spaces within, but are no longer mirror images of each other. Rather, they are treated distinctly with differing glazing, wall plane, and canopy configurations.

The Bernier bedroom volume was brought toward N 1st Ave, the height was reduced, and the sun shade was wrapped around the corner.

The amount of glazing on the upper level has been reduced by 16% with significant areas replaced by solid wall clad in wood siding to further break up the facade.



The project's materials and colors are warm and pedestrian in scale. They complement the general palette of the surrounding neighborhood and adjoining structures.

DESIGN REVIEW SUBMITTAL

The modulation of the ground floor, breaking down the facade into smaller human scale elements, and the palette of durable masonry and glazing, creates a lively and engaging pedestrian experience along 1st Avenue.

LICENSED ARCHITECT AR-988776 DAVID C NIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
COMMENT RESPONSES
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Sheet:
A0.18

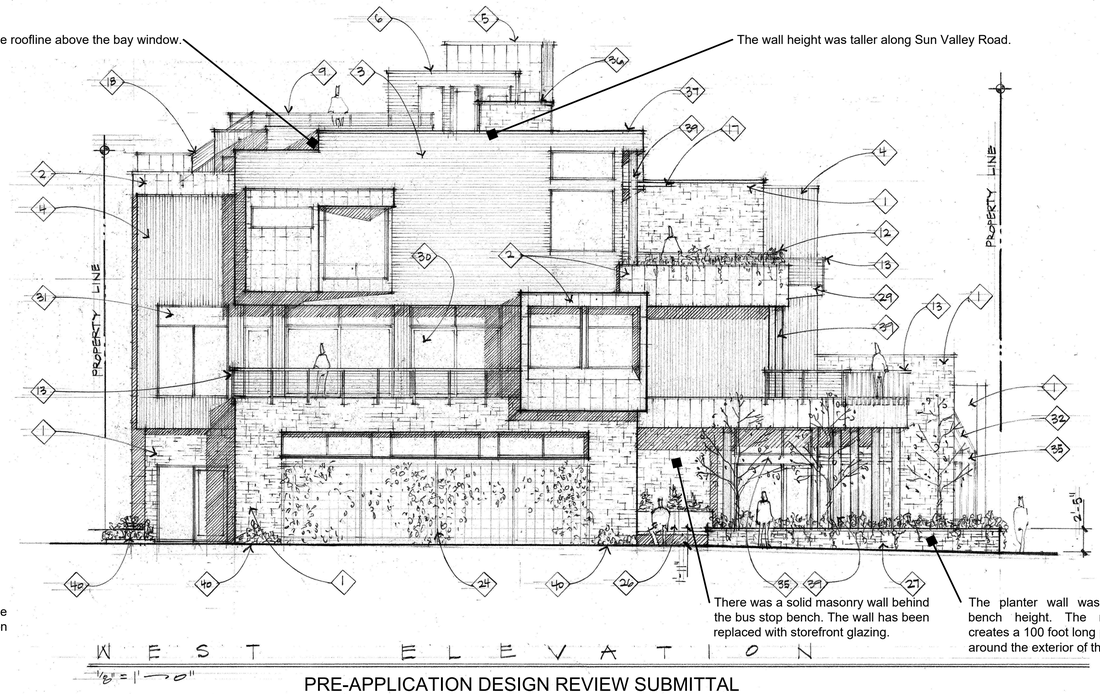
Project No.
2002

Add the glazing on the Sun Valley Road side. - Commission Chair Neil Morrow

That's a closed-off area on a really activated corner - Commission Chair Neil Morrow

DESIGN REVIEW SUBMITTAL

The storefront windows and doors on the lower floor were expanded to provide a stronger visual relationship between the Commons and the pedestrians on the street. The glazed area on the west elevation was increased by 117 sf.



WEST ELEVATION

1/8" = 1'-0"

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The 1st Avenue facade is designed to facilitate views from the street and sidewalk through the storefront windows. The steel columns are the smallest structural option to support the middle and upper levels and allow the largest amount of glazing along the facade.

The landscape planters around the court yard function as benches and as such are low enough to allow pedestrians walking along 1st Avenue or Sun Valley Road to view over them, and the plants they contain, into the court yard and the Commons. The trees are widely space and have canopies that will be above head height to preserve views into the court yard and windows.

To increase the activation of the ground level the planter wall was lowered from an average of 29" to an average of 21", which is a comfortable bench height. The shrubs in the planter were replaced with the ground cover Kinnickinick to increase the visual transparency between the street, the courtyard, and the Commons. The masonry and plantings provide an active and interesting pedestrian environment through scale, color, texture, and pattern along both 1st Avenue and Sun Valley Road.

A public gathering space has been introduced in the bulb-out at the corner of 1st Avenue and Sun Valley Road with the addition of two benches set at a 90 degree angle and flanking a street tree. This creates a shaded conversation space for the public to meet, socialize, enjoy the view, and perhaps sip a coffee. The new gathering space will greatly enhance the activation of the intersection.

By pulling back from the corner of 1st Avenue and Sun Valley Road, Sawtooth Serenade is responding to the nearby two and three story buildings that are built with minimum setbacks and imposingly tall walls. Stepping back from the corner creates not just an open courtyard, but visual relief from the mass of other recently constructed buildings along 1st Avenue. Pulling the building away from the 1st Avenue right-of-way, and stepping back further at the middle and upper levels, allows pedestrians to enjoy views of the surrounding mountains and the sky which are blocked by much of the other new development in Ketchum.

LICENSED ARCHITECT AR-986776 DAVID C. THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
COMMENT RESPONSES
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Sheet:
A0.19

Project No.
2002

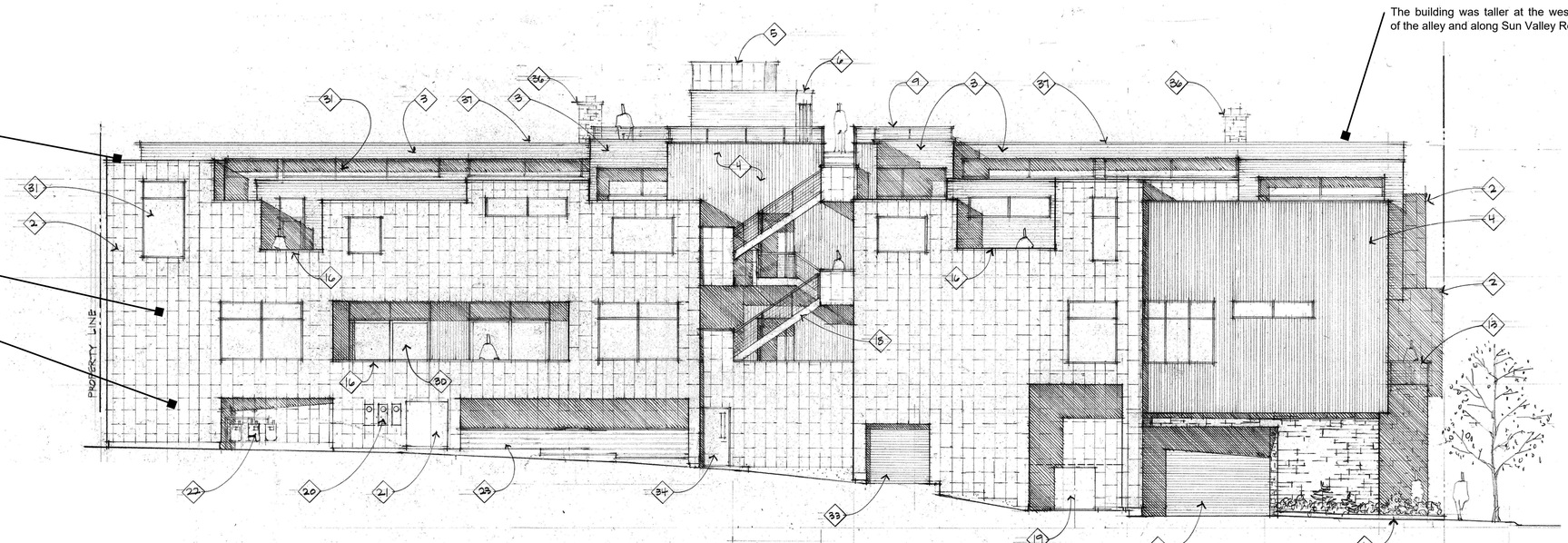
The metal paneling is continuing for the majority of the alley elevation...
It's a lot of black. - Commission Vice Chair Brenda Moczygemba

The building was taller at the east end of the alley facade.

The eastern end of the north facade consisted mostly of a single flat wall plane.

Metal siding made up the majority of the alley facade.

The building was taller at the west end of the alley and along Sun Valley Road.



NORTH ELEVATION
1/8" = 1'-0"

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The percentage of metal siding on the north elevation has been reduced from 52% to 25% while the percentage of wood siding has been increased from 26% to 51% of the total area.

Additional building articulation in both plan and profile was developed at the eastern end of the north facade adding visual interest and breaking up the mass of the building.

The eastern end of the alley facade was reconfigured to reduce the scale and create a termination for the metal siding wrapping around from the east facade. This allows wood siding to replace the metal on the eastern end of the north elevation and lighten the composition.

The integral color concrete wraps around from the east facade creating a strong base to anchor the east end of the facade.

The height of the building on the western end of the alley facade was reduced to bring down the scale along Sun Valley Road.

NORTH ELEVATION
1/8" = 1'-0"

DESIGN REVIEW SUBMITTAL

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

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Drawn: 10/10/24
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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
COMMENT RESPONSES
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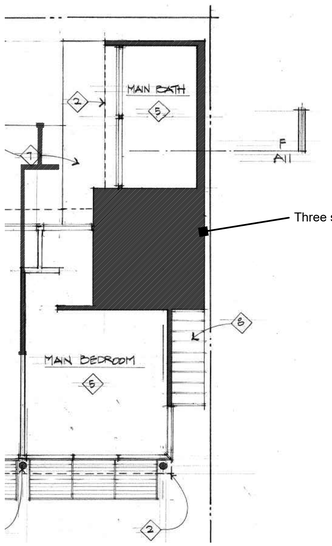
Sheet:
A0.20

Project No.
2002

Staff recommends more variation in materials or a step back of the third floor of the building on the east side to reduce the flatness of the facade at that location. - Staff report

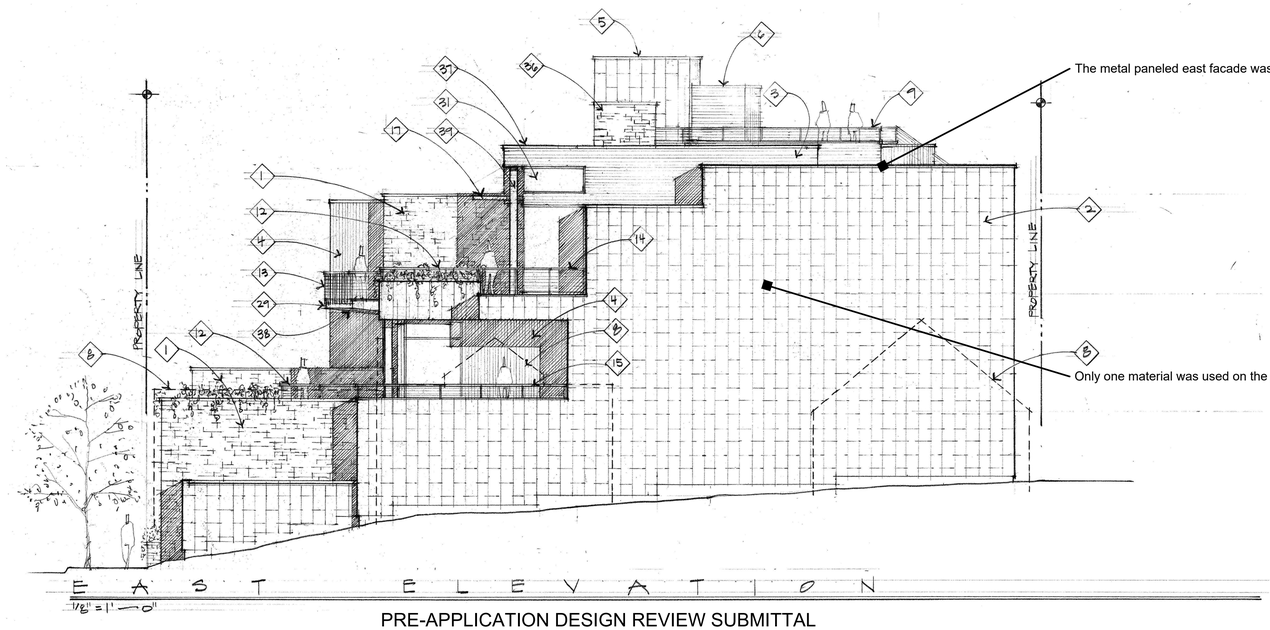
Two colors of metal panel, that's all it takes, is to go from black to something, so you don't have to change the material.
- Commission Chair Neil Morrow

Overall, I don't think the mass of the wall on the interior property line is overbearing. - Commission Vice Chair Brenda Moczygemba



Three story solid wall within 8" of the property line.

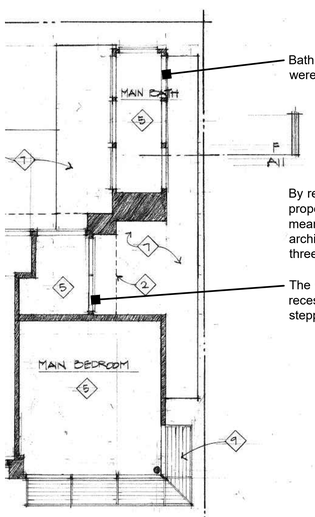
CLERESTORY PLAN
PRE-APPLICATION DESIGN REVIEW



The metal paneled east facade was nearly 37 feet tall at the property line.

Only one material was used on the portion of the wall closest to the property line.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

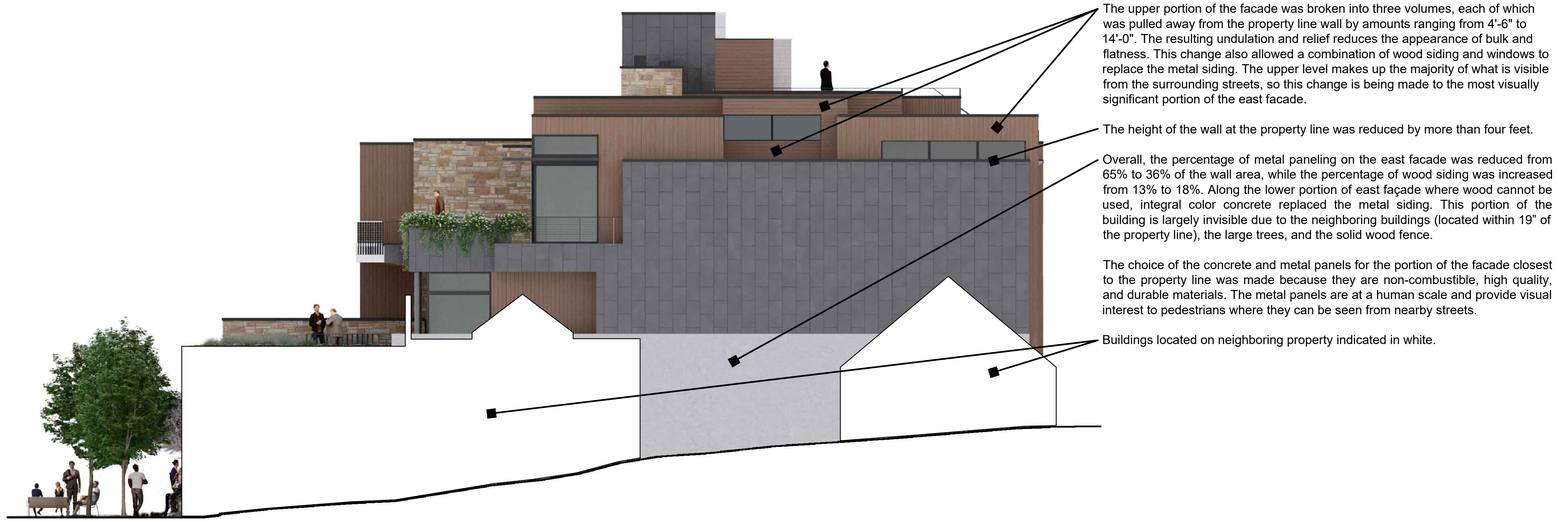


Bath volume was stepped back 4'-6" and windows were added to increase visual interest from 2nd Street.

By relocating these upper walls more than 5'-0" from the property line the use of wood and glazing was possible, meaning the east facade could employ the same mix of architectural elements, materials, and colors as the other three facades.

The vestibule volume was stepped back 11'-0" and the recessed wall where the windows were added was stepped back 14'-0" from the original east wall location.

CLERESTORY PLAN
FINAL DESIGN REVIEW



The upper portion of the facade was broken into three volumes, each of which was pulled away from the property line wall by amounts ranging from 4'-6" to 14'-0". The resulting undulation and relief reduces the appearance of bulk and flatness. This change also allowed a combination of wood siding and windows to replace the metal siding. The upper level makes up the majority of what is visible from the surrounding streets, so this change is being made to the most visually significant portion of the east facade.

The height of the wall at the property line was reduced by more than four feet.

Overall, the percentage of metal paneling on the east facade was reduced from 65% to 36% of the wall area, while the percentage of wood siding was increased from 13% to 18%. Along the lower portion of east façade where wood cannot be used, integral color concrete replaced the metal siding. This portion of the building is largely invisible due to the neighboring buildings (located within 19" of the property line), the large trees, and the solid wood fence.

The choice of the concrete and metal panels for the portion of the facade closest to the property line was made because they are non-combustible, high quality, and durable materials. The metal panels are at a human scale and provide visual interest to pedestrians where they can be seen from nearby streets.

Buildings located on neighboring property indicated in white.

EAST ELEVATION - DESIGN REVIEW SUBMITTAL
1/8" = 1'-0"

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
COMMENT RESPONSES
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Sheet:
A0.21

Project No.
2002

All of the wood siding on the northeast corner of the building. There is something about that corner that is a little unsettling. I don't know if it is the jogs in the roof plane. Somehow it's just not very grounded.
- Commission Vice Chair Brenda Moczygemba

This is just a large plane of glass. - Commission Vice Chair Brenda Moczygemba speaking about the upper level glazing.

I think the roof is kind of flat and straight. - Commission Chair Neil Morrow

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

The height of the building above Sun Valley Road was taller.

The roofline above the bay window was broken by a vertical step.

The majority of the upper level roof was at the same elevation which created a sense of flatness. The new design of the upper level creates modulation in plan and profile which increases undulation and provides relief from the previous sense of bulk and flatness.

All of the glazing on the upper level was in one plane and was symmetrical about the central circulation core.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL

Red shaded areas indicate the portions of the upper level that were reduced or redesigned based on Planning and Zoning Commission feedback from the Pre-Application Design Review meeting.

The south wall of the Lynches' bedroom was pulled back from N 1st Avenue to break up the wall plane of the upper level and introduce more modulation to that face. The roof line at the northwest corner was lowered and simplified to bring more solidity to the composition. This also significantly reduced the building's bulk when viewed from Sun Valley Road as the facade is now 2'-0" shorter that it was previously. The simplification of the roof line now emphasizes the modulation, in plan and profile, of the west facade which features bays, recessed areas, balconies, and significant glazing. These elements create a building which yields a human scale pedestrian experience.

DESIGN REVIEW SUBMITTAL

DESIGN REVIEW SUBMITTAL

The amount of glazing on the upper level has been reduced by 16% with significant areas being replaced by solid wall clad in wood siding to further break up the facade.

The central portions of the facade, adjacent to the stair, were pulled back from the Great Room walls to add modulation. On the Berniers' side, the wall and window in this area were deeply recessed below an overhang. The Lynches' side features a sunshade canopy over the windows.

The height of the Bernier bedroom volume was reduced. The south wall was brought towards N 1st Ave. and a wrap-around sunshade was added to further break up the plane and introduce more articulation to the upper level.

DESIGN REVIEW SUBMITTAL

LICENSED ARCHITECT AR-986776 DAVID C THIELSEN STATE OF IDAHO

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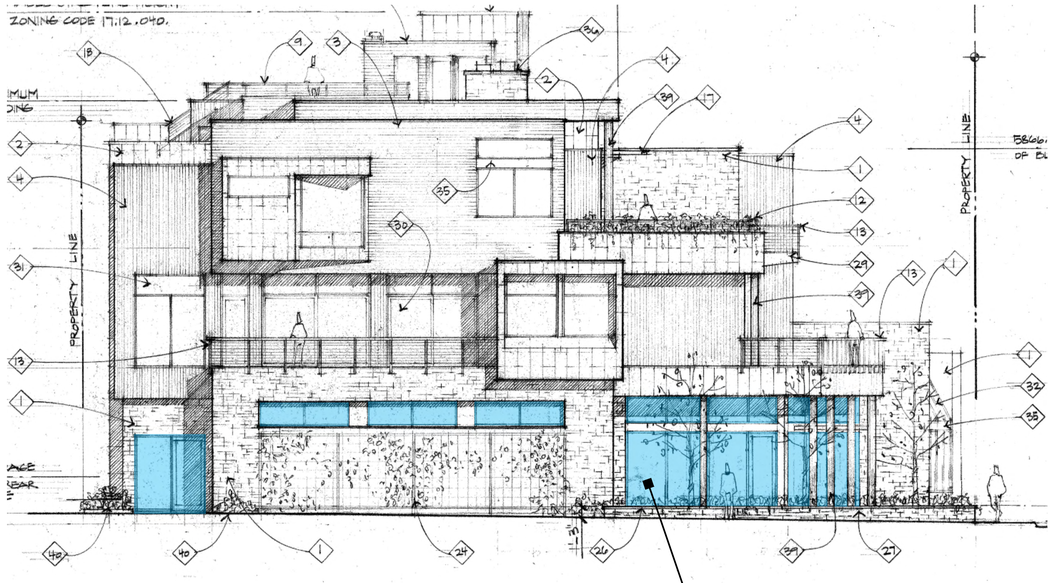
Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: COMMENT RESPONSES ---- ----

Sheet: A0.22

Project No. 10/10/24

Add the glazing on the Sun Valley Road side. - Commission Chair Neil Morrow



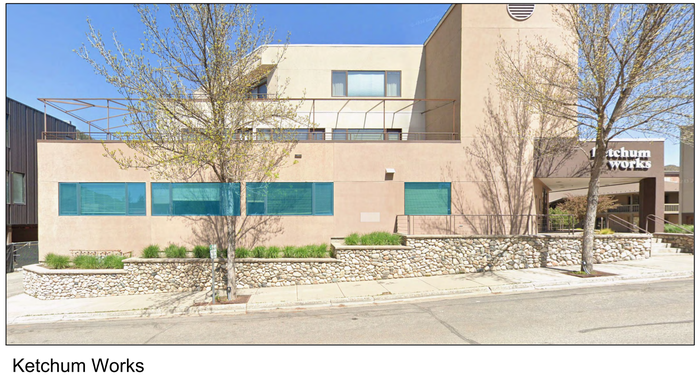
Sawtooth Serenade
68% Solid Wall
32% Glazing

117 sf of new storefront glazing was added to the west wall of the lower level.

1st and Sun Valley Road
74% Solid Wall
26% Glazing

Maude's
81% Solid Wall
19% Glazing

Copper Ridge
83% Solid
17% Glazing



Ketchum Works
86% Solid Wall
14% Glazing

LICENSED ARCHITECT AR-988776 DAVID C. THELSEN STATE OF IDAHO

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Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
GLAZING COMPARISONS
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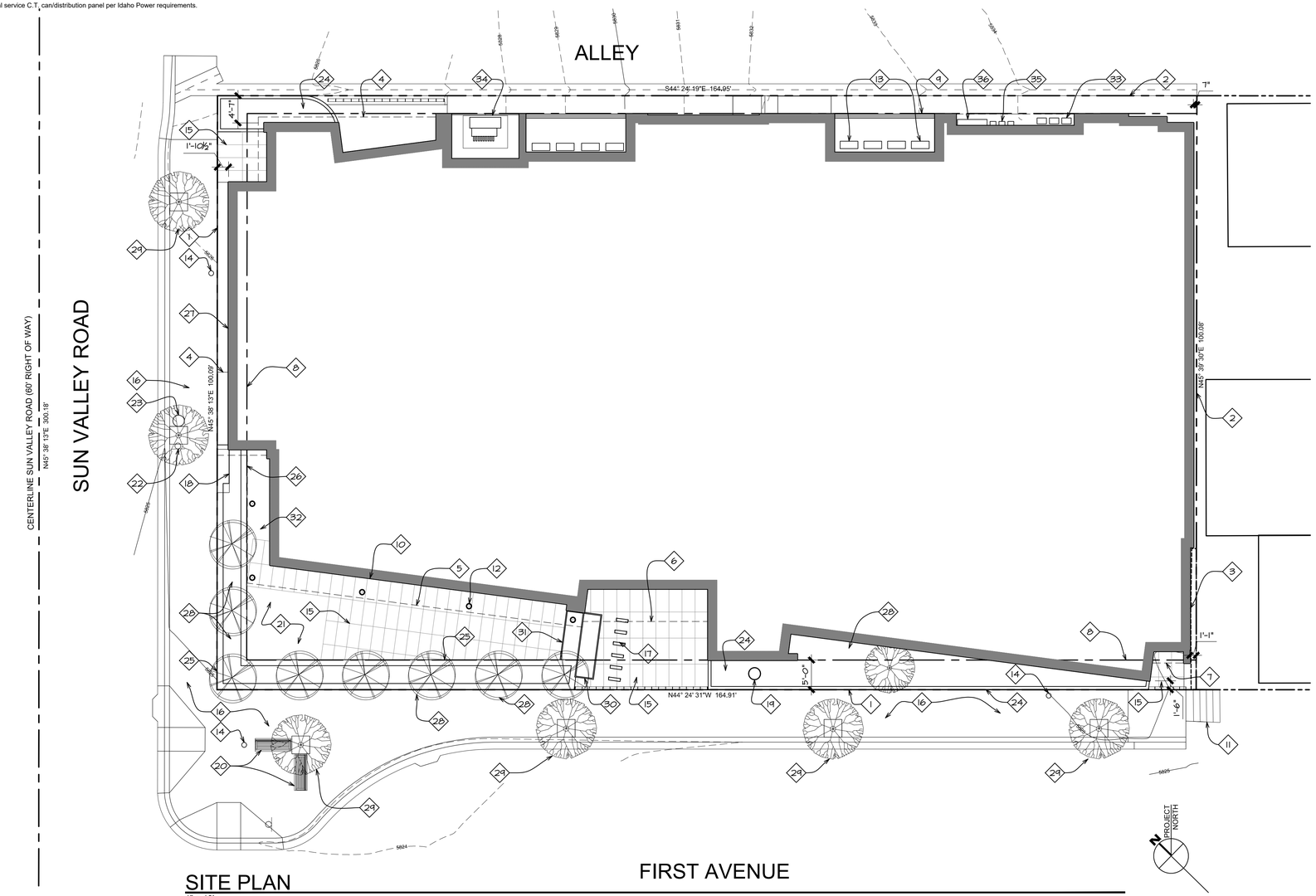
Sheet:
A0.23

Project No.
2002

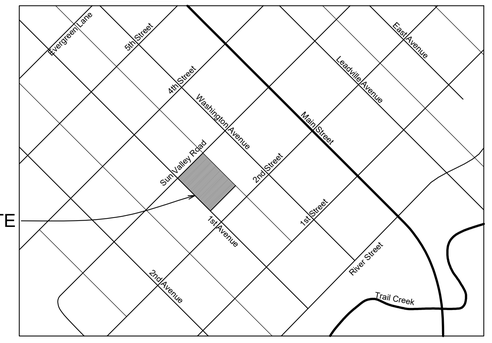
KEYNOTES

1 Property line/edge of right of way
2 Property line
3 Deck encroachment easement per survey
4 Line of cantilevered floor above
5 Line of cantilevered deck above
6 Line of entry canopy above
7 Line of roof above
8 5' required average street setback
9 3' required alley setback
10 Line of building footprint
11 Existing stairs to remain unaltered,
12 Structural steel column with blackened finish, typical.
13 Mechanical system condensers screened from public view with horizontal wood screen
14 New public street lighting per City of Ketchum regulations and MH Lighting design drawings.
15 Large format sintered stone pavers with hydronic snow melt system.
16 New public sidewalk and curb/gutter per civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
17 Bicycle racks. 2 bicycle racks required per KZC 17.125.060, racks for 6 bicycles meeting KZC 17.96.070.F.1 provided.
18 Built-in public bench
19 Public art. Free standing sculpture to be selected and purchased by the project owners.
20 Fixed, freestanding public bench per City of Ketchum standards
21 Artificial turf per Landscape drawings and details.
22 Bus stop sign
23 Trash can per City of Ketchum standards
24 Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
25 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter will start 6" above the public bench on Sun Valley Road. Thus, the top of planter will be 23" above the sidewalk at the public bench on Sun Valley Road, 29" above the sidewalk at the corner of Sun Valley Road and 1st, and 36" above public sidewalk at the entry to Sawtooth Serenade.
26 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.
27 "Green wall" frame consisting of freestanding greenscreen panels supported by square steel posts, supporting climbing plants per landscape plans.
28 Trees per landscape drawings, typ.
29 Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details – typical. Root well and grate per civil drawings, typ.
30 48" tall raised plate steel planter with blackened finish
31 18" tall raised plate steel planter with blackened finish
32 Landscaping per landscape plans
33 Natural gas meters per Intermountain Gas Company requirements.
34 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
35 Electrical meters per Idaho Power requirements.
36 Electrical service C.T. can/distribution panel per Idaho Power requirements.



SITE PLAN
1" = 10'

VICINITY MAP



LICENSED ARCHITECT AR-988776 DAVID C. THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: A 09/30/22 1 07/17/23 2 10/10/24 3 4 5

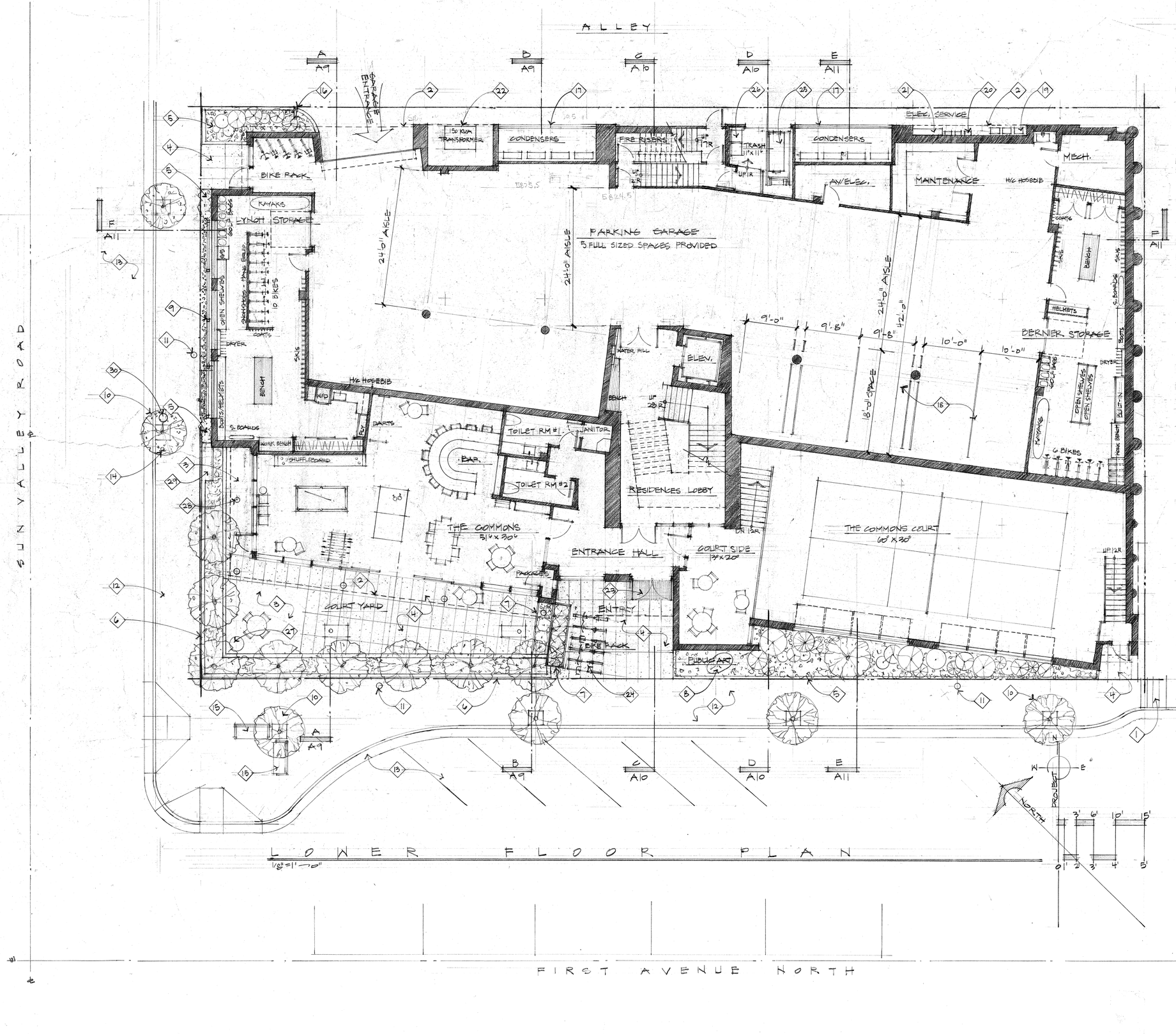
Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: SITE PLAN ---- ----

Sheet: A1
Project No. 2002



LOWER FLOOR PLAN

1/8" = 1'-0"

LOWER FLOOR PLAN KEY NOTES:

1. Existing stairs to remain.
2. Dashed line indicates line of structure above – typical.
3. Artificial turf per Landscape drawings and details.
4. Large format Sintered Stone pavers with hydronic snow melt system.
5. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
6. Raised stone veneer planter finished with full bed stone veneer face and stone cap [redacted] containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
7. Raised plate steel planter with blackened finish.
8. Public Art – free standing sculpture to be selected and purchased by the project Owners.
9. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans. Panels and posts to have a blackened finish.
10. Street trees per Landscape drawings, Civil Engineering drawings, and City of Ketchum details – typical.
11. New public street lighting per City of Ketchum regulations/details and MH Lighting design drawings.
12. New 8'-0" wide public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
13. Storm drainage, striped street parking, public signage, and street improvements per Civil Engineering drawings.
14. Bus stop - public signage per City of Ketchum and Mountain Rides requirements.
15. Public bench - Landscape Forms Generation 50 Traditional Backed Bench with Ipe wood and powder-coated "Onyx" finish per City of Ketchum standards and requirements.
16. Convex traffic mirror.
17. Mechanical system condensers screened from public view with horizontal wood screen.
18. Off Street Parking: 4 spaces required per KZC 17.125.040. Total of 5 spaces provided which conform to KZC 17.125.030 for full sized vehicle spaces.
19. Natural gas meters per Intermountain Gas Company requirements.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. 3-phase 150 KVA transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen.
23. Stainless steel open grate "grid" recessed mat.
24. Landscape Forms MultipliCity Bike Racks with Ipe wood tops and powder-coated Onyx metal finish. Racks for 2 bicycles are required per KZC 17.125.060. Racks for 6 bicycles meeting KZC 17.96.070.F.1 are provided.
25. Garbage Dumpster on glider.
26. Recycle bin.
27. Manhole for site stormwater drywell access per Civil engineering drawings.
28. Structural steel column with blackened finish - typical.
29. The top of planter at the north end of Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
30. Public trash receptacle – Landscape Forms Generation 50 Litter with Ipe wood and powder-coated "Onyx" finish per City of Ketchum standards and requirements.

LICENSED ARCHITECT AR-986776 DAVID G THELSEN STATE OF IDAHO

Thelsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thelsen.com

Revised:
09.30.2022
01.17.2024
10.10.2024

Drawn: DGT
Date: 10.2022
Checked:
Construction Set Issued:

Project:
SAWTOOTH SERENADE
260 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title:
LOWER FLOOR PLAN

Sheet: A2

Project No. 2002

THE COMPLETE LINE

MIDDLE FLOOR PLAN

1/8" = 1'-0"

MIDDLE FLOOR PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates the line of structure above – typical.
3. Structural steel column with blackened finish - typical.
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
5. Guard Rail: Open horizontal steel cable guard rail with fascia-mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
6. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
7. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
8. Guard Rail: Solid guard rail – see Elevations for cladding material. The finished guard rail height shall be a minimum of 36" above the finished decking surface (42" high @ BBQ Decks).
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to top of the parapet wall. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
10. "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards. Roof pitch to be ½:12.
11. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain stormwater, planted with Sedum mix per Landscape plans and details.
12. Raised planter with plantings per the Landscape plans.
13. Sloped glazing below.

LICENSED ARCHITECT AR-986776 DAVID G THIELSEN STATE OF IDAHO

Revised: 09.28.2022 01.17.2024 10.10.2024

Drawn: OB. Checked: Construction Set Issued: 10.2.2022

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

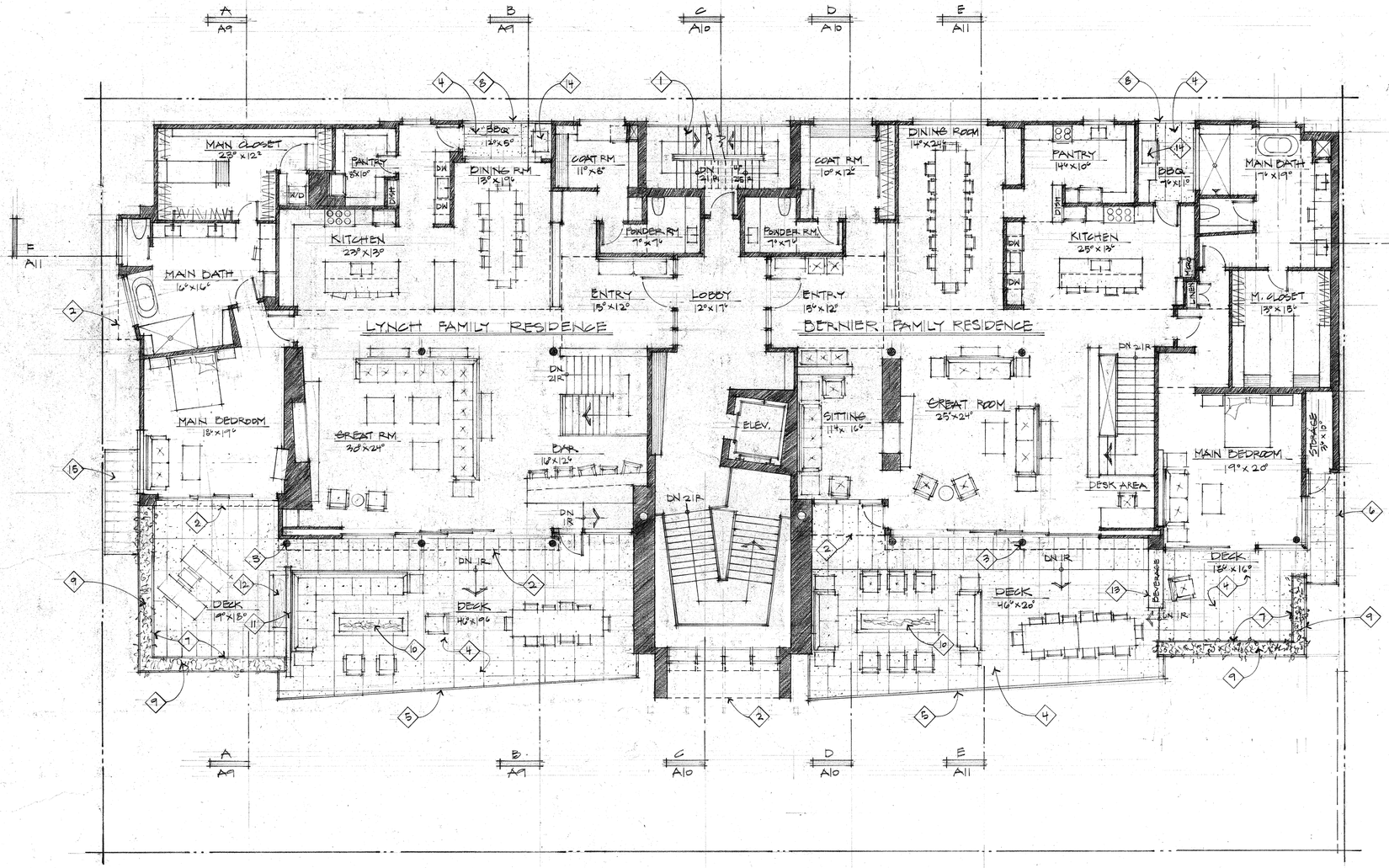
Project: SAWTOOTH SERENADE 260 1ST AVE. NORTH KETCHUM, IDAHO

Sheet Title: MIDDLE FLOOR PLAN

Sheet: A3

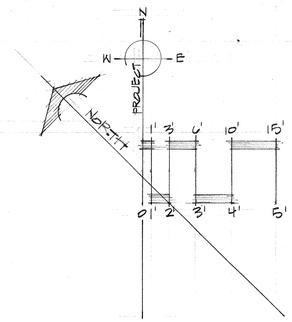
Project No. 2002

THE COPYRIGHT LINE



UPPER FLOOR PLAN

1/8" = 1'-0"



UPPER FLOOR PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates the line of roof overhang above – typical.
3. Structural steel column with blackened finish - typical.
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system - typical.
5. Guard Rail: Open horizontal steel cable guard rail with fascia-mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
6. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
7. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above the finished decking surface. The finish of all railing components to be black.
8. Guard Rail: Solid guard rail – see Elevations for cladding material. The finished guard rail height shall be a minimum of 36" above the finished decking surface (42" high @ BBQ Decks).
9. Raised planter with planting per the Landscape plans.
10. Natural gas firepit.
11. Divider wall clad with 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global. The top of the wall to be 54" above the Upper Floor finished floor.
12. Reflecting pool water feature.
13. Exterior cabinet with stone countertop 36" above upper finished floor elevation. 12" high backsplash on the north, east, and south face with integral LED strip down-light cap per Lighting Design Drawings.
14. Natural gas BBQ built into exterior cabinetry with stone countertop.
15. "Magna-Loc 180" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be ½:12.

LICENSED ARCHITECT AR-986776 DAVID G THIELSEN STATE OF IDAHO

Revised: 09.30.2023 01.17.2024 10.10.2024

Drawn: 06.10.2022 Checked: Construction Set Issued:

Thielsen ARCHITECTS Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

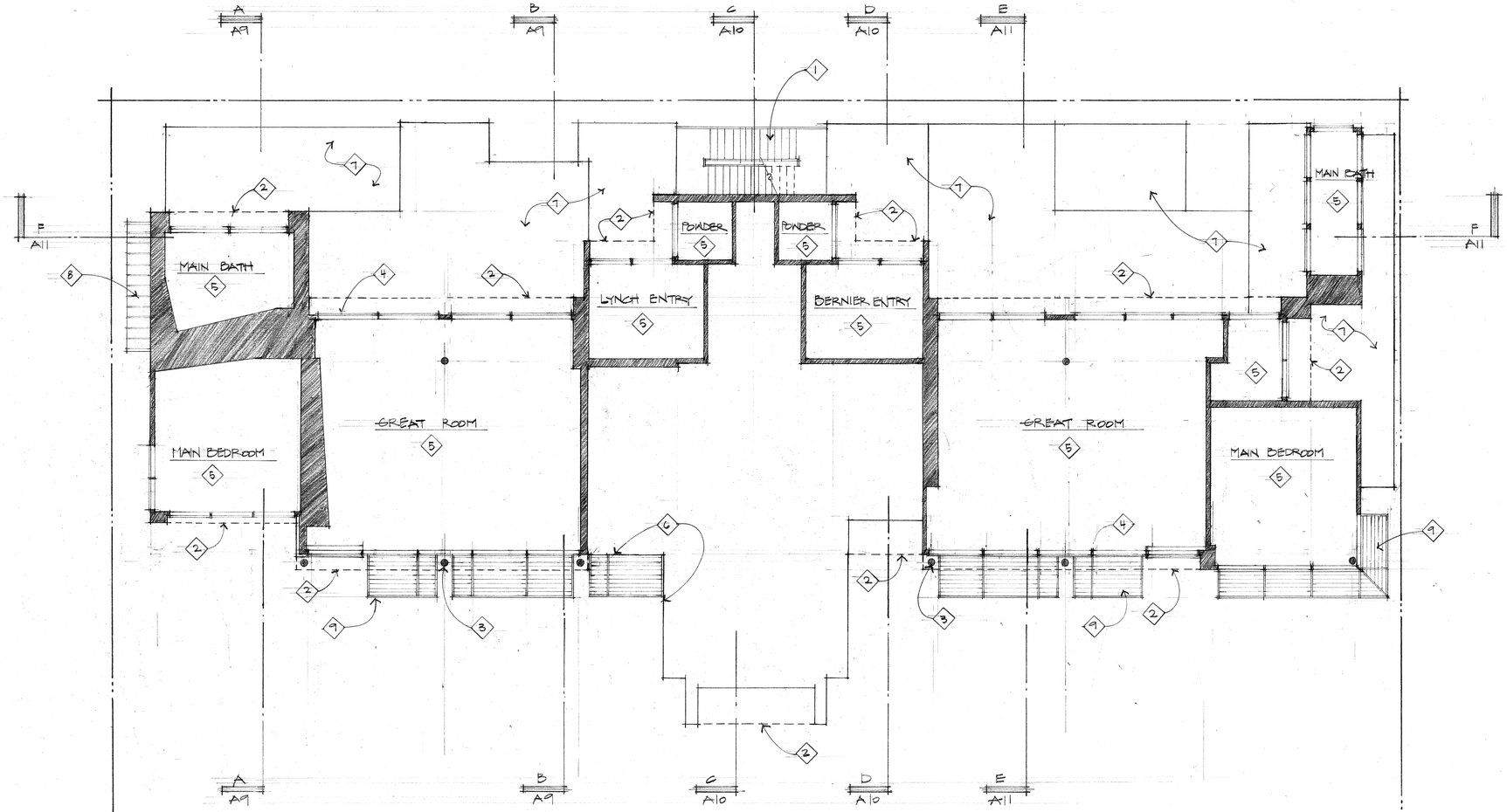
Project: SAWTOOTH SERENADE 260 1ST AVE. NORTH KETCHUM, IDAHO

Sheet Title: UPPER FLOOR PLAN

Sheet: A1.1

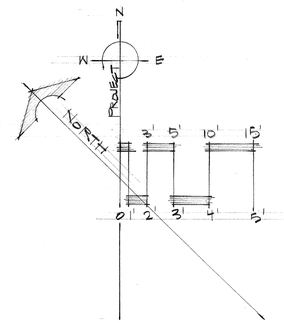
Project No. 2002

THE COMPLETE LINE



CLERESTORY PLAN

1/8" = 1'-0"



CLERESTORY PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Dashed line indicates line of roof overhang above – typical.
3. Structural steel column with blackened finish - typical.
4. Thermally broken aluminum framed windows with blackened finish - typical.
5. Interior living space with clerestory windows.
6. Line indicates outer perimeter of wall of upper floor living space without clerestory windows.
7. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. See the Roof Deck Plan for the full extent of the green roof at the upper roof locations.
8. "Magna-Loc 180" mechanically seamed structural standing seam metal roofing with 18" wide "Striations" profile panels and 2" high double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails) on roof below. Roof pitch to be ½:12.
9. Louvered steel sun screen with blackened finish below - typical.

LICENSED ARCHITECT AR-986776 DAVID G THIELSEN STATE OF IDAHO

Revised:
09.20.2022
01.11.2023
10.10.2024

Drawn: DB. 10.2022
Checked:
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Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

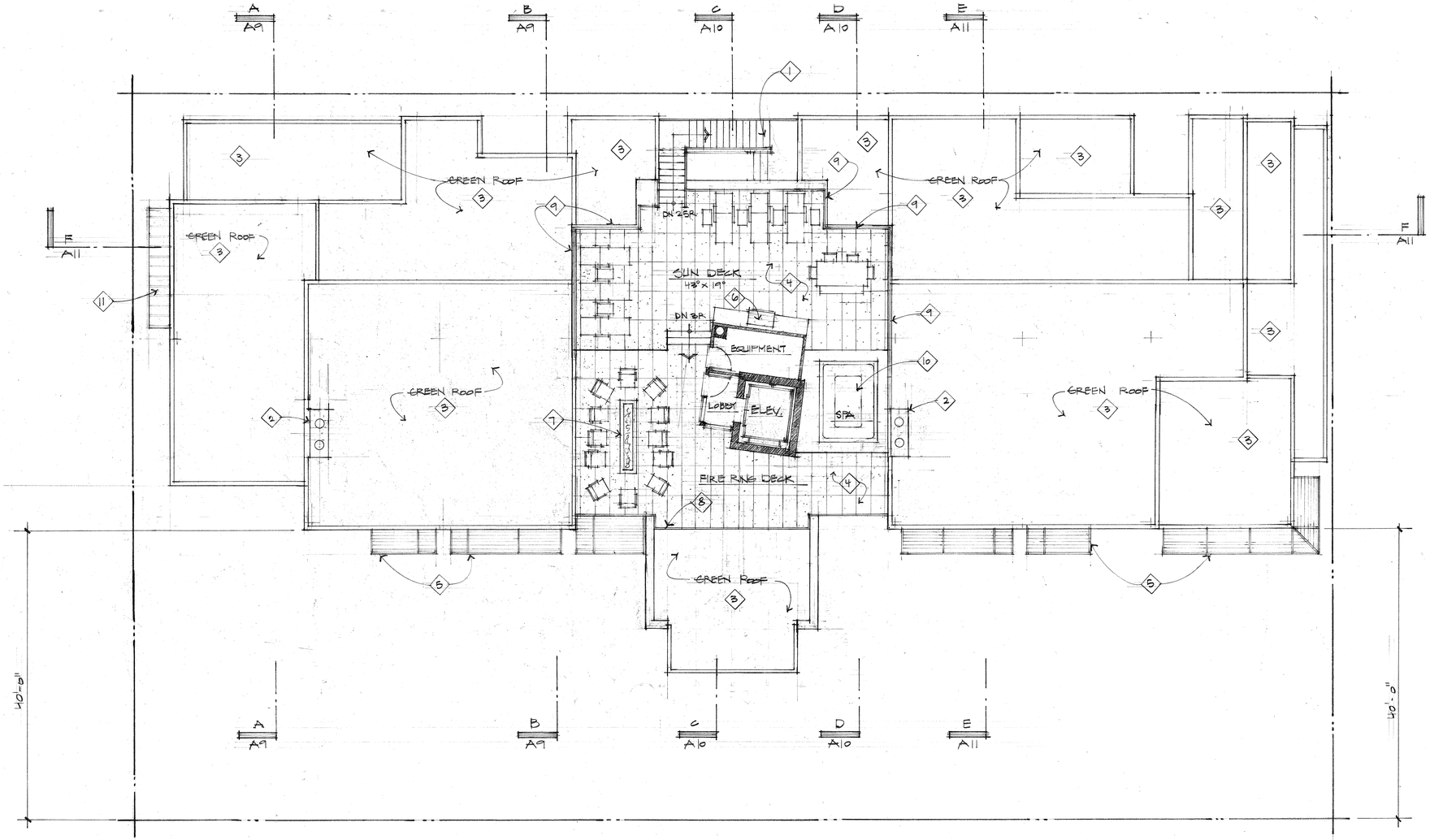
Project:
SAWTOOTH SERENADE
260 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title:
CLERESTORY PLAN

Sheet:
A5

Project No.
2002

THE COMPLETE LINE

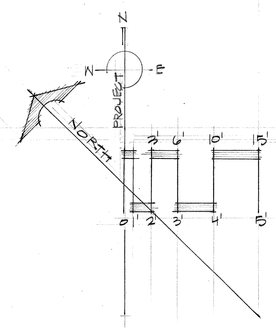


ROOF DECK PLAN KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened - typical.
2. Full-bed stone veneered masonry chimney.
3. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details. Typical at all areas noted as "Green Roof".
4. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
5. Louvered steel sun screen below with blackened finish - typical.
6. Natural gas BBQ built into exterior cabinetry with stone countertop.
7. Natural gas fire ring.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
11. "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be ½:12.

ROOF DECK PLAN

1/8" = 1'-0"



LICENSED ARCHITECT AR-9867/76 DAVID G. THIELSEN STATE OF IDAHO

Revised: 09.30.2022 10.11.2022

Drawn: 08.10.2022

Checked:

Construction Set Issued:

Thielsen ARCHITECTS

Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

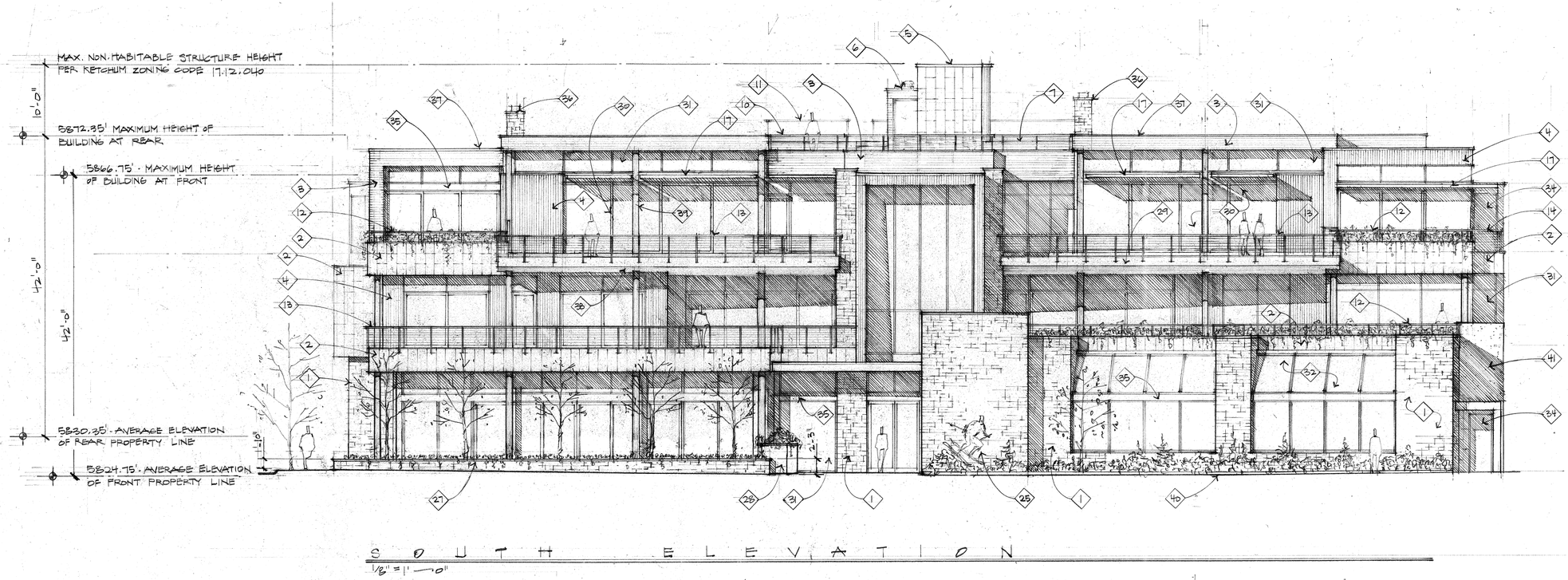
Project: SAWTOOTH SERENADE
260 1st AVE. NORTH
KETCHUM, IDAHO

Sheet Title: ROOF DECK PLAN

Sheet: A6

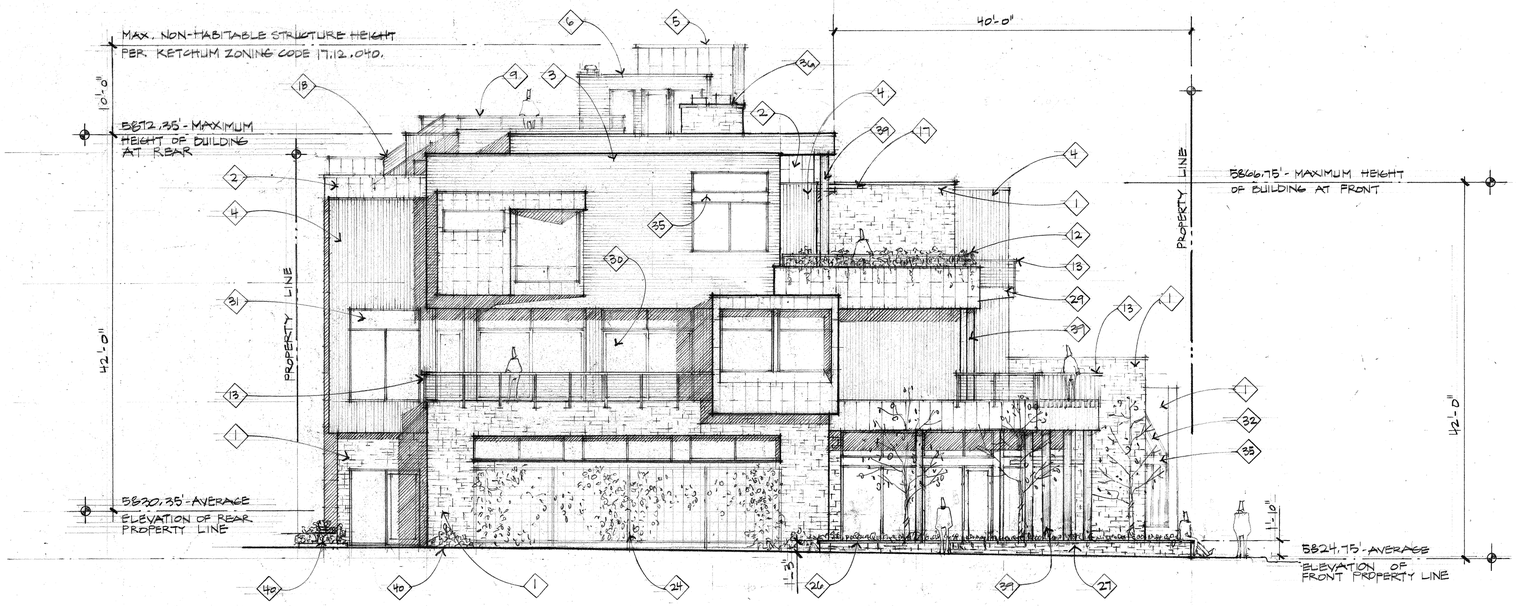
Project No. 2002

ARE COMPLETE LINE



SOUTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of 2¼", 4", 5", 7¾", and 10½" stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square ¼" x ¼" reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square ¼" x ¼" reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on parapet wall [redacted]. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail [redacted] and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project Owners.
26. The top of planter at the north end on Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised plate steel planter with blackened finish.
29. Self-healing zinc sheet metal facia flat panels manufactured by Metaltech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with to finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x4 tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
41. Cast-in-place concrete wall with integral color.

USE COMPUTER LINE

LICENSED ARCHITECT AR-986778
DAVID D THIELSEN STATE OF IDAHO

Revised:
07.07.2023
10.10.2024

Drawn: DT
10.2022

Checked:

Construction Set Issued:

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

Project:
SAWTOOTH SERENADE
260 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title:
BUILDING ELEVATIONS

Sheet:
A7.1

Project No.
2002

SOUTH ELEVATION
1/8" = 1'-0"

WEST ELEVATION
1/8"=1'-0"

LICENSED ARCHITECT AR-889776 DAVID C NIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
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Construction Set Issued: ----

Nielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR ELEVATIONS
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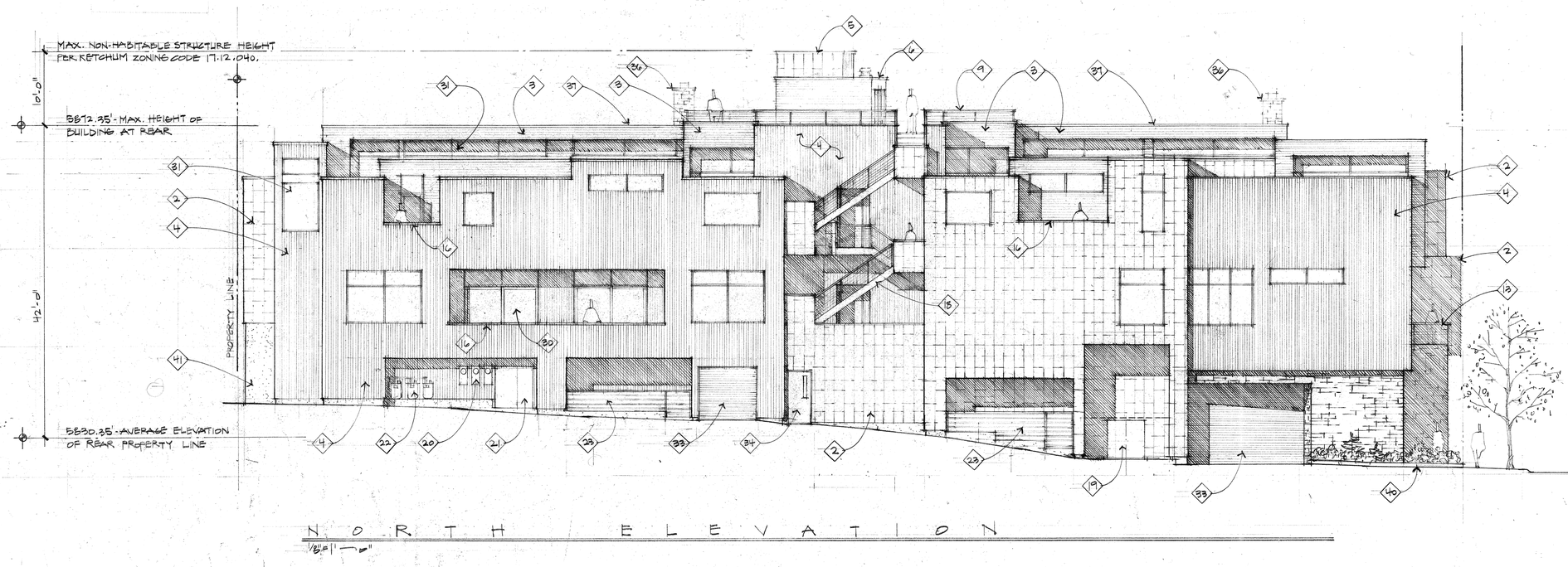
Sheet:
A7.2

Project No.
2002

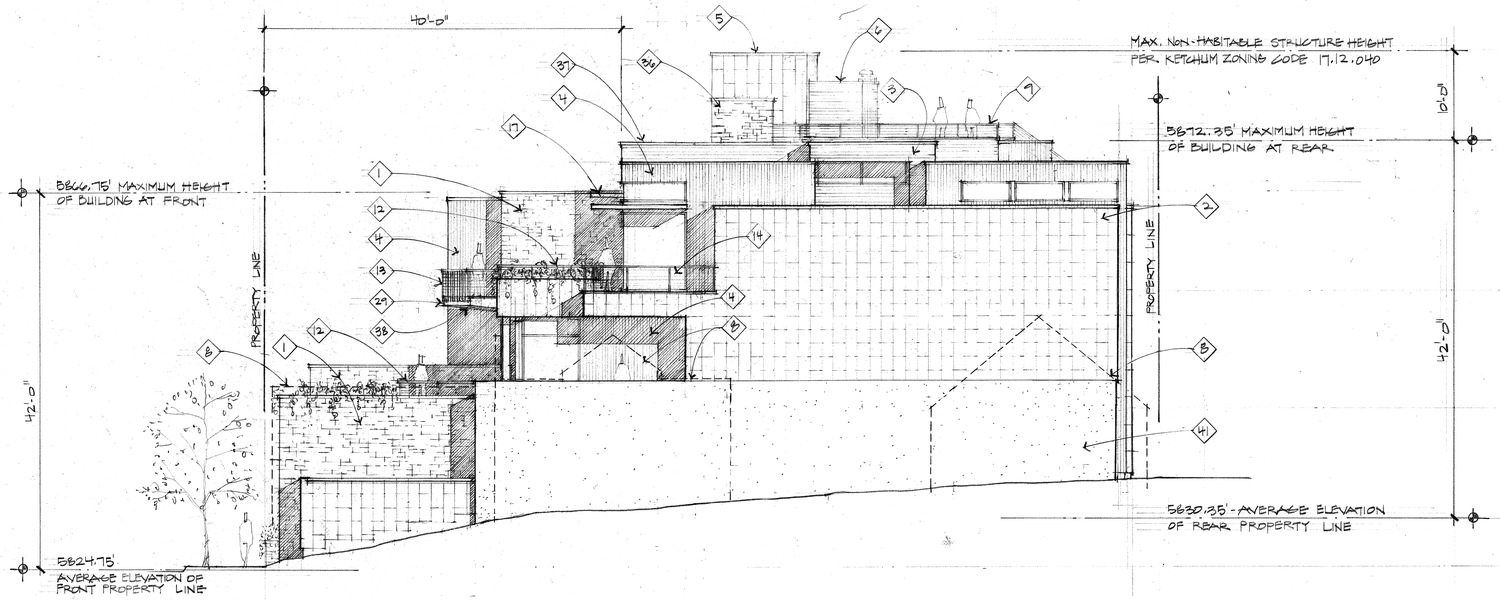


NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR ELEVATION KEY NOTES:

1. Stone Veneer: Full-bed stone veneer placed in a coursed Ashlar pattern (cut all 4 sides, random Squares & Recs) consisting of 2½", 4", 5", 7¼", and 10½" stone heights set in a random mix of field and accent stones, colors, sizes, and lengths. Stone wall caps shall be 2" thick slabs with "Rock Face" on all exposed vertical edges and "Thermal" finish on top face. Typical.
2. Metal Siding: 16" x 36" interlocking self-healing zinc metal tile wall cladding manufactured by Metaltech Global - typical.
3. Horizontal Wood Siding: Custom milled stained cedar tongue and groove siding with a square ¼" x ¼" reveal line between board faces.
4. Vertical Wood Siding: Custom milled stained cedar tongue and groove siding with a square ¼" x ¼" reveal line between board faces.
5. Non-habitable elevator enclosure with metal siding per Key Note #2. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure non-habitable roof to be 10'-0" above maximum building height.
6. Non-habitable structure with horizontal wood siding per Key Note #3. Non-habitable structures located on building roof tops: Allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of non-habitable roof to be 6'-6" above maximum building height.
7. Finished surface of Sun Deck beyond.
8. Dashed line indicates the approximate outline of adjacent buildings on 2nd Street.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck; Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard rail beyond, see Key Note #9.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
14. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
15. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on parapet [redacted]. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
16. Guard Rail: Minimum of 36" high solid guard rail [redacted] and sheet metal cap (42" high @ BBQ Decks).
17. Louvered steel sun screen with blackened finish - typical.
18. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
19. 3-phase transformer per Idaho Power requirements. Transformer to be screened from public view with a non-combustible screen. Screen outline indicated as dashed for clarity.
20. Electrical meters per Idaho Power requirements.
21. Electrical service C.T can/distribution panel per Idaho Power requirements.
22. Natural gas meters per Intermountain Gas Company requirements.
23. Mechanical system condensers screened from public view with horizontal wood fence.
24. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
25. Location of freestanding public art sculpture to be selected and purchased by the project Owners.
26. The top of planter at the north end on Sun Valley Road shall be +/- 24" wide and 15" above the sidewalk to create a public bench at the bus stop.
27. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
28. Raised plate steel planter with blackened finish.
29. Self-healing zinc sheet metal facia flat panels manufactured by Metaltech Global Steel.
30. Thermally broken aluminum framed sliding doors with blackened finish - typical.
31. Thermally broken aluminum framed windows with blackened finish - typical.
32. Sloped glazing in thermally broken aluminum frames with blackened finish.
33. Insulated and weather-stripped rolling steel overhead door with blackened finish.
34. Solid insulated metal door, finish to match window/door frames.
35. Metal trim to match windows/doors - typical.
36. Masonry chimney with termination per IBC 2113.9. Chimney finish to be full bed stone veneer face per Key Note #1.
37. Sheet metal flashing caps with to finish to match metal siding per Key Note #2 - typical.
38. Stained Cedar 1x4 tongue and groove wood soffit.
39. Structural steel column with blackened finish - typical.
40. Landscape planting per the Landscape drawings within +/- 6" high concrete curb or steel edging to contain soil and mulch. At the Alley, the curbing shall be rolled concrete to accommodate snow removal equipment.
41. Cast-in-place concrete wall with integral color.



EAST ELEVATION

1/8" = 1'-0"

LICENSED ARCHITECT AR-986776 DAVID G. THIELSEN STATE OF IDAHO

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

Revised:
07.29.2022
09.27.2022
10.10.2024

Drawn: CB
Date: 10.2022
Checked:

Construction Set Issued:

Project:
SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM IDAHO

Sheet Title:
BUILDING ELEVATIONS

Sheet:
A8.1

Project No.
2002

INK COVERS 11% OF AREA

NORTH ELEVATION
1/8" = 1'-0"

EAST ELEVATION
1/8" = 1'-0"

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 2 3 4 5

Drawn: 10/10/24
Checked: ---- ----
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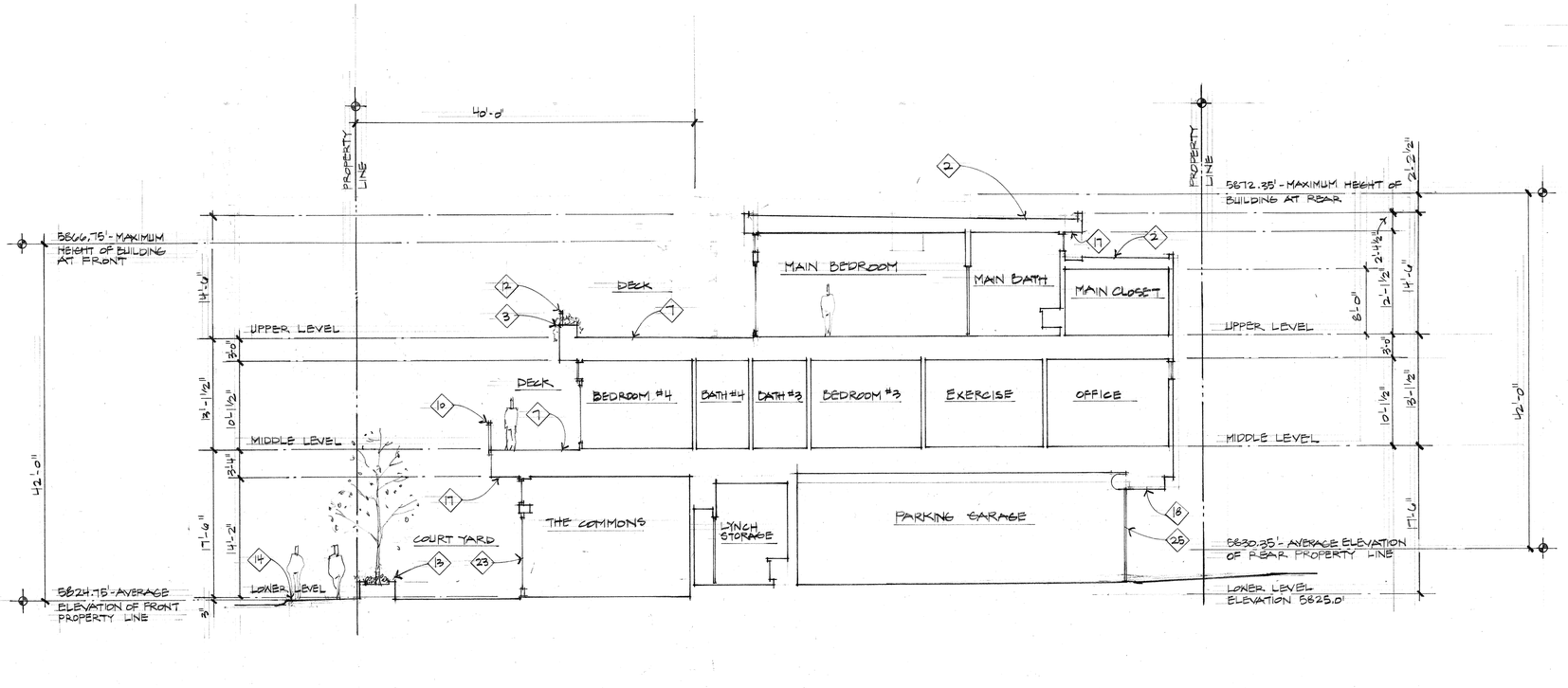
Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
EXTERIOR ELEVATIONS
---- ----

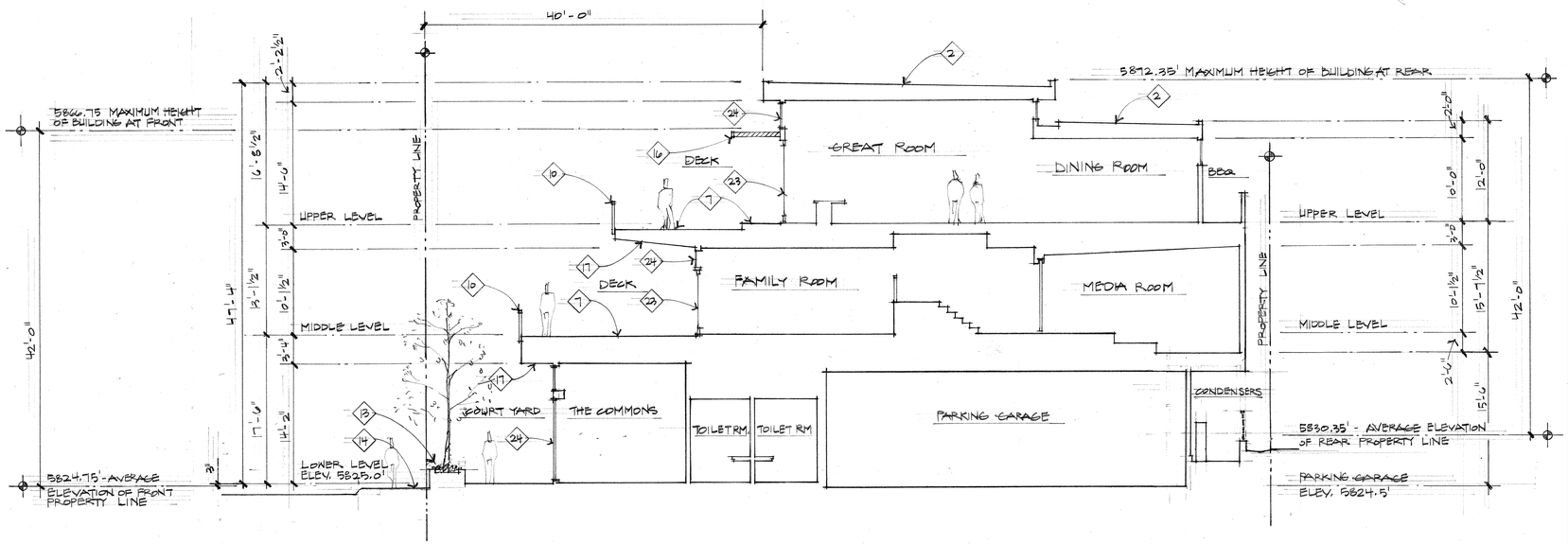
Sheet:
A8.2

Project No.
2002



S E C T I O N A

1/8" = 1'-0"



S E C T I O N B

1/8" = 1'-0"

BUILDING SECTION KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
2. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
3. Raised planter with plantings per the Landscape plans.
4. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
5. Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
6. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
7. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Raised stone veneer planter finished with full bed stone veneer face and stone cap [redacted] containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
14. New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
15. "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be ½:12.
16. Louvered steel sun screen with blackened finish - typical.
17. Stained Cedar 1x4 tongue and Groove wood soffit – typical at all roof and deck soffits.
18. Stone slab soffit at full bed stone veneer.
19. Horizontal wood fence to screen the mechanical system condensers from public view.
20. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
21. Key Note not used.
22. Stainless steel open grate "grid" recessed mat.
23. Thermally broken aluminum framed sliding doors with blackened finish - typical.
24. Thermally broken aluminum framed windows with blackened finish - typical.
25. Insulated and weather-stripped rolling steel overhead door with blackened finish.
26. Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
27. Sloped glazing in thermally broken aluminum frames with blackened finish.
28. Metal soffit to match metal siding.
29. Mechanical system condensers.

LICENSED ARCHITECT AR-986776 DAVID G THIELSEN STATE OF IDAHO

Thielsen ARCHITECTS
Kirkland, WA 98033 ▼ Tel: 425.828.0333 ▼ www.thielsen.com

Revised:
04.30.2022
01.17.2023
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Date: 10.2022
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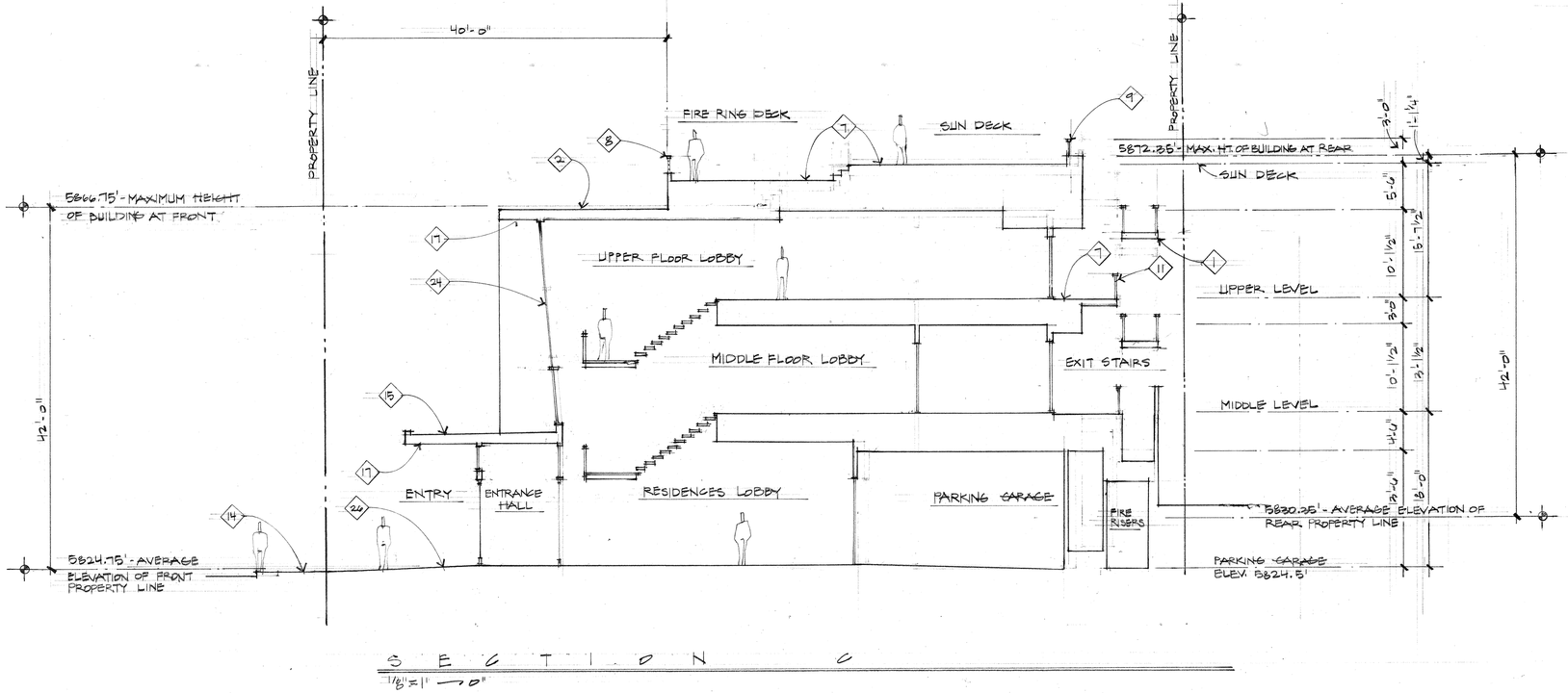
Project: SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM, IDAHO

Sheet Title: BUILDING SECTIONS

Sheet: A9

Project No. 2002

THE COMPLETE LINE

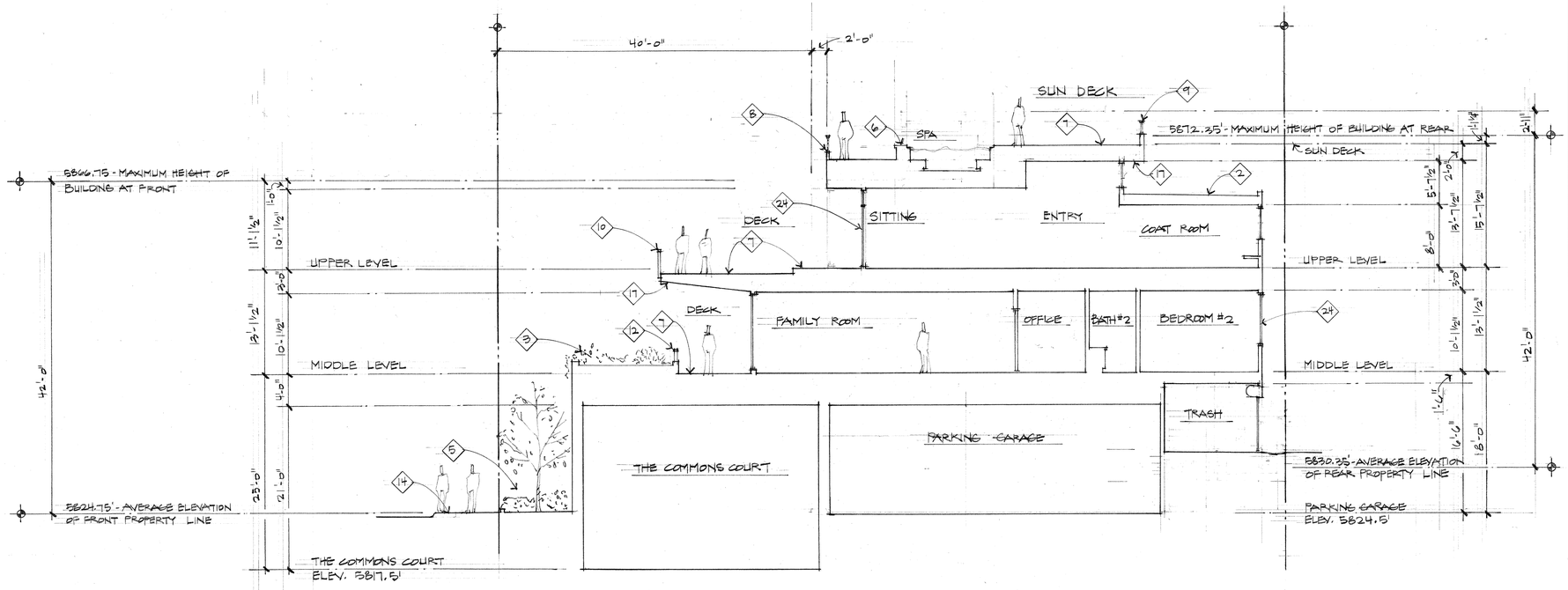


S E C T I O N C

1/8" = 1' — 0"

BUILDING SECTION KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
2. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
3. Raised planter with plantings per the Landscape plans.
4. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
5. Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
6. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
7. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Raised stone veneer planter finished with full bed stone veneer face and stone cap [redacted] containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.
14. New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
15. "Magna-Loc 180" 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be ½:12.
16. Louvered steel sun screen with blackened finish - typical.
17. Stained Cedar 1x4 tongue and Groove wood soffit – typical at all roof and deck soffits.
18. Stone slab soffit at full bed stone veneer.
19. Horizontal wood fence to screen the mechanical system condensers from public view.
20. Guard Rail: Minimum of 36" high solid guard rail clad with metal siding.
21. Key Note not used.
22. Stainless steel open grate "grid" recessed mat.
23. Thermally broken aluminum framed sliding doors with blackened finish - typical.
24. Thermally broken aluminum framed windows with blackened finish - typical.
25. Insulated and weather-stripped rolling steel overhead door with blackened finish.
26. Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
27. Sloped glazing in thermally broken aluminum frames with blackened finish.
28. Metal soffit to match metal siding.
29. Mechanical system condensers.



S E C T I O N D

1/8" = 1' — 0"

LICENSED ARCHITECT AR-986776 DAVID G. THIELSEN STATE OF IDAHO

Revised: 09.30.2022 07.17.2023 10.10.2023

Drawn: DGT Checked: 09.10.2022 Construction Set Issued:

Thielsen ARCHITECTS

Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

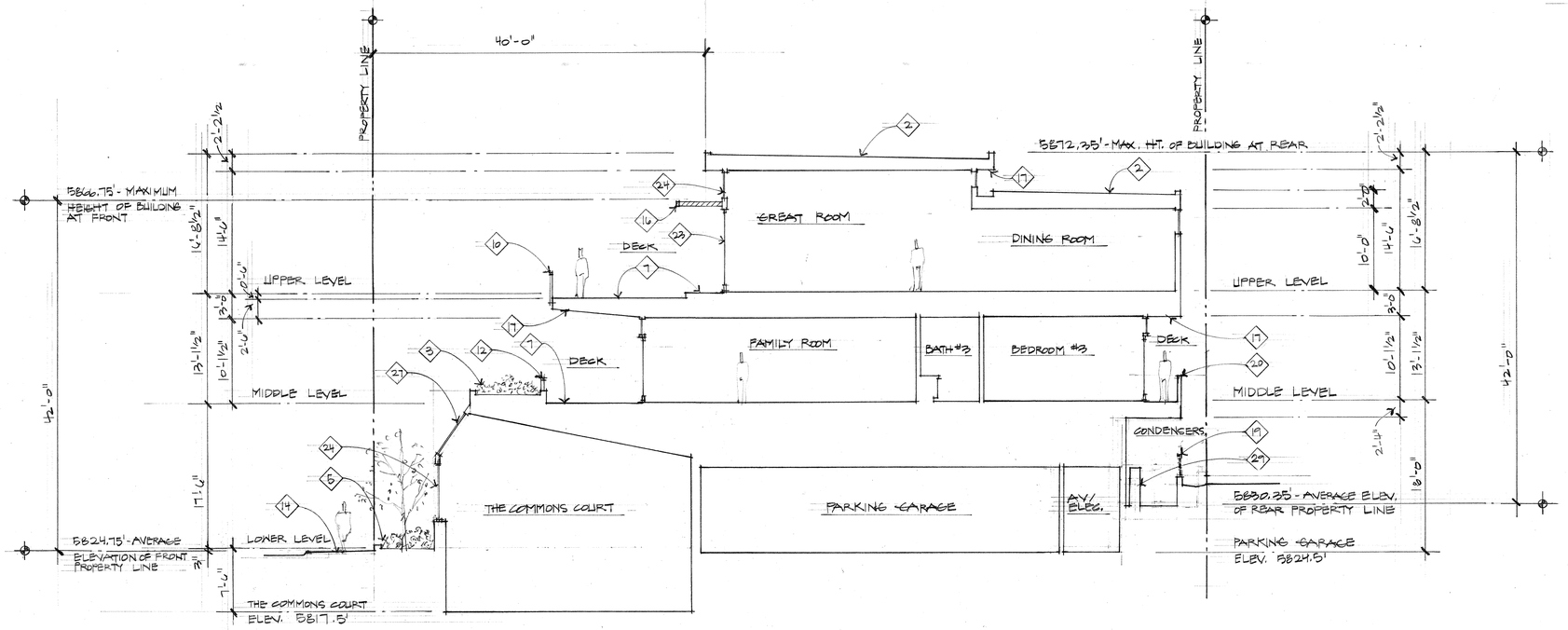
Project: SAWTOOTH SERENADE 200 1ST AVE. NORTH KETCHUM IDAHO

Sheet Title: BUILDING SECTIONS

Sheet: A10

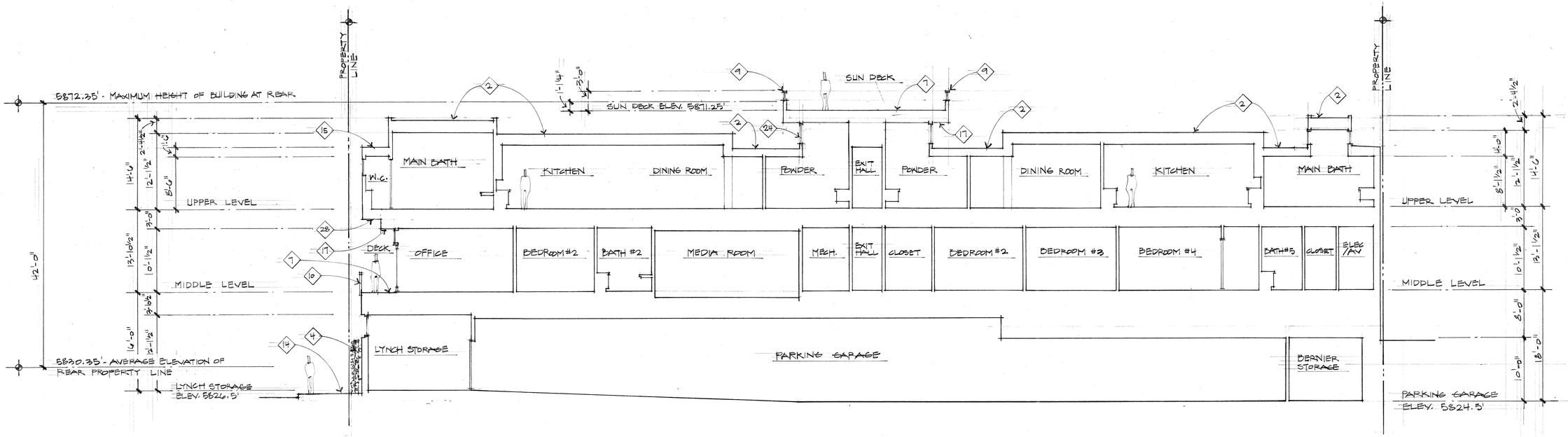
Project No. 2002

THE COMPLETE LINE



SECTION E

1/8" = 1'-0"



SECTION F

1/8" = 1'-0"

BUILDING SECTION KEY NOTES:

1. Open steel framed exit stair with metal stanchions, top rail, and open horizontal steel cable. Finish to be blackened.
2. Green Roof: Vegetated low-slope "Sponge-Roof" system or equal to retain storm water, planted with Sedum mix per Landscape plans and details.
3. Raised planter with plantings per the Landscape plans.
4. "Green wall" frame consisting of freestanding greenscreen panels supported by square steel post, supporting climbing plantings per Landscape plans.
5. Landscape planting per the Landscape plans within +/- 6" high raised 6" concrete curb to contain soil and mulch.
6. Site built spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.
7. Large format Sintered Stone pavers on pedestals with hydronic snow melt system.
8. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
9. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.
10. Guard Rail: Open horizontal steel cable guard rail with fascia mounted metal stanchions and top rail. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
11. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted at decking surface to steel base plate. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
12. Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to planter. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.
13. Raised stone veneer planter finished with full bed stone veneer face and stone cap per Key Note #1, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road start 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above pubic sidewalk at the entry to Sawtooth Serenade.
14. New public sidewalk and curb/gutter per Civil drawings. Sidewalk to be constructed of "sand-set" unit pavers with hydronic snow melt system.
15. "Magna-Loc 180° 18" coverage "Striations" profile mechanically seamed structural standing seam metal roofing with 2" rib height double crimped standing seams and factory-applied sealant; manufactured by Metal Sales Manufacturing Corporation with rib mounted snow guards (rails). Roof pitch to be ½:12.
16. Louvered steel sun screen with blackened finish - typical.
17. Stained Cedar 1x4 tongue and Groove wood soffit – typical at all roof and deck soffits.
18. Stone slab soffit at full bed stone veneer.
19. Horizontal wood fence to screen the mechanical system condensers from public view.
20. Guard Rail: Minimum of 36" high solid guard rail [redacted]
21. Key Note not used.
22. Stainless steel open grate "grid" recessed mat.
23. Thermally broken aluminum framed sliding doors with blackened finish - typical.
24. Thermally broken aluminum framed windows with blackened finish - typical.
25. Insulated and weather-stripped rolling steel overhead door with blackened finish.
26. Large format Sintered Stone pavers on concrete sub-slab with hydronic snow melt system.
27. Sloped glazing in thermally broken aluminum frames with blackened finish.
28. Metal soffit to match metal siding.
29. Mechanical system condensers.

LICENSED ARCHITECT AR-986776 DAVID D. THIELSEN STATE OF IDAHO

Revised:
09.30.2022
01.11.2023
10.10.2024

Drawn: DD
Date: 10.7.2022
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Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel: 425.828.0333 ◥ www.thielsen.com

Project:
SAWTOOTH SERENADE
200 1ST AVE. NORTH
KETCHUM, IDAHO

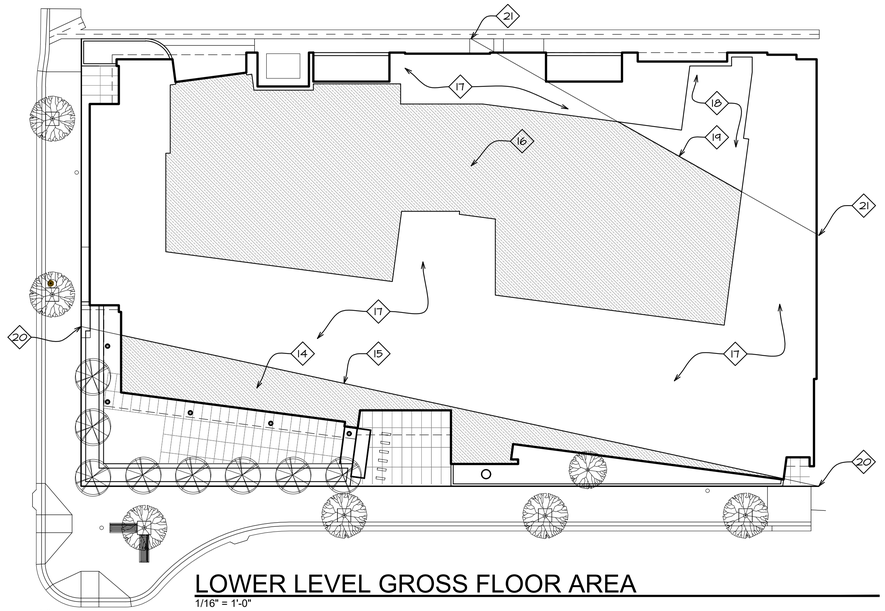
Sheet Title:
BUILDING SECTIONS

Sheet:
A11

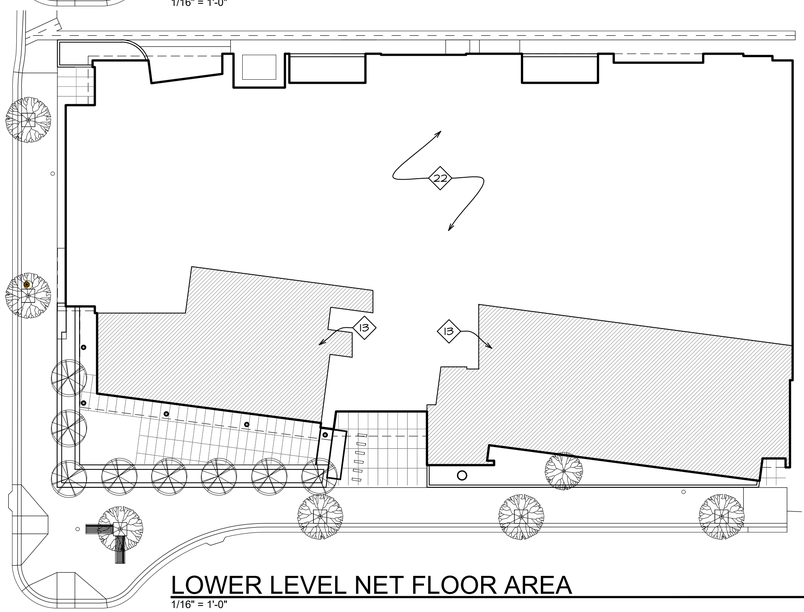
Project No.
2002

KEYNOTES

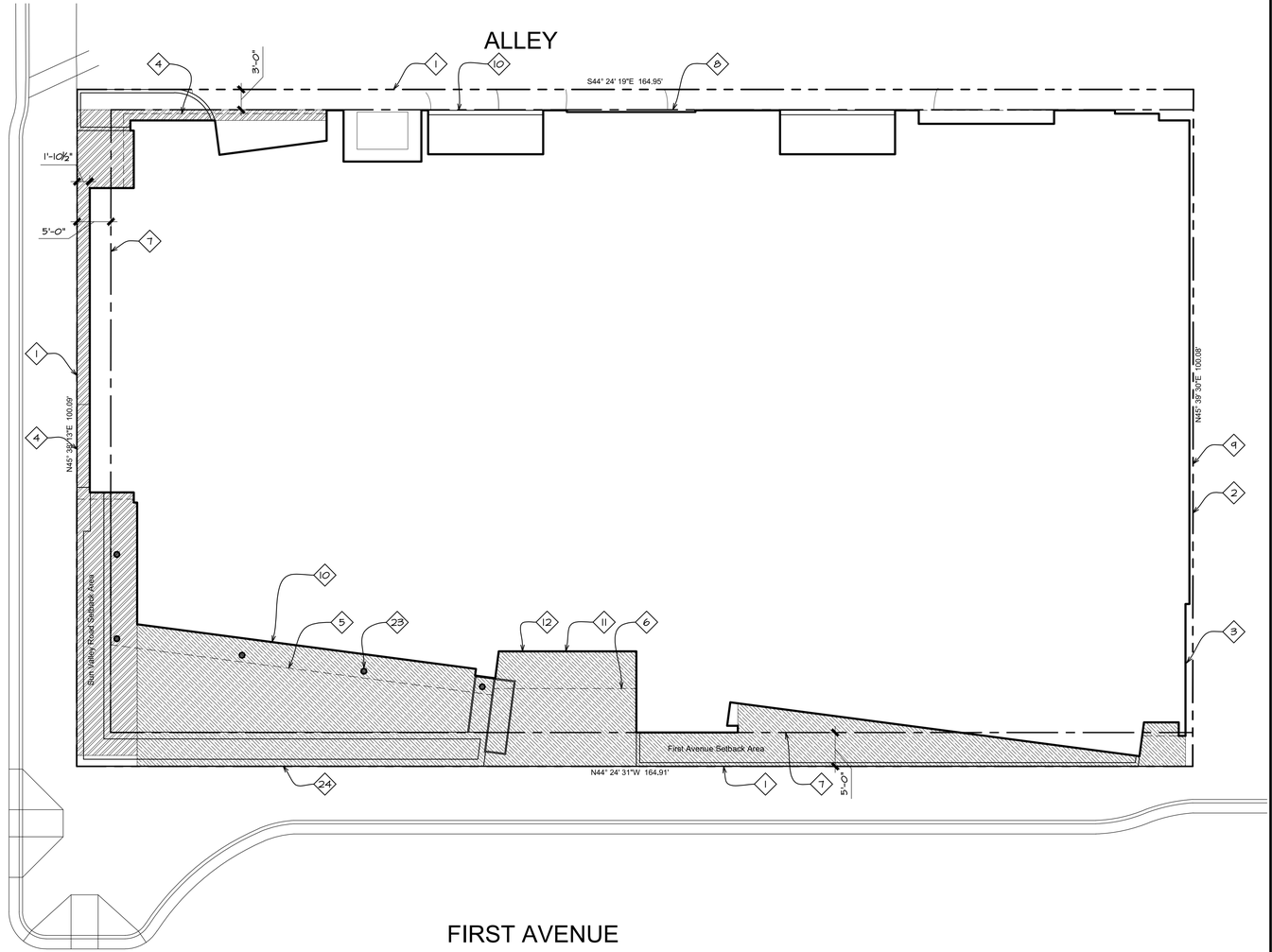
1 Property line/edge of right of way
2 Property line
3 Deck encroachment easement per survey
4 Line of cantilevered floor above
5 Line of cantilevered deck above
6 Line of entry canopy above
7 5' required average street setback
8 3' required alley setback
9 0' interior side setback
10 Line of building footprint
11 Location of building address numbers.
12 Location of "The Commons" signage
13 Area included as net floor area
14 Floor area above basement invisible plane and included in gross floor area calculations per KMC 17.08.020 definition of floor area, gross
15 Line where basement invisible plane crosses lower floor finished floor at elevation 5825.0'
16 Area of garage counted as groos floor area, not underground parking, per KMC 17.08.020 definition of floor area, gross and underground parking
17 Floor area below basement grade plan and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross
18 Underground parking floor area with ceiling height less than 4' above basement invisible plan and excluded from gross floor area calculations per KMC 17.08.020 definition of floor area, gross and underground parking
19 Line where basement invisible plane is 4' below garage ceiling.
20 Point where basement invisible plane intersects elevation 5825.0' at the property line
21 Point where basement invisible plane intersects elevation 5834.0' which is 4' below the ceiling height of the parking area.
22 Interior circulation, mechanical, parking, and storage in basement areas excluded from net floor area calculation
23 Structural steel column with blackened finish, typical.
24 Raised stone veneer planter finished with full bed stone veneer face and stone cap, containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The top of planter at the north end on Sun Valley Road starts at 15" above the sidewalk. Thus, the top of planter will be 22" above the sidewalk at the corner of Sun Valley Road and 1st, and 27" above public sidewalk at the entry to Sawtooth Serenade.



LOWER LEVEL GROSS FLOOR AREA
1/16" = 1'-0"



LOWER LEVEL NET FLOOR AREA
1/16" = 1'-0"



LOWER LEVEL SETBACK PLAN
1" = 10'

SUN VALLEY ROAD SETBACK:

Setback Area:	573 sf
Frontage Length:	95'-5½"
Average Setback Depth:	6.00'

1ST AVENUE SETBACK:

Setback Area:	1714 sf
Frontage Length:	154'-11"
Average Setback Depth:	11.06'

GROSS FLOOR AREA:	953 sf
GROSS FLOOR AREA PARKING:	4,756 sf
NET FLOOR AREA:	3,824 sf

9"
2 6 0
3'-9"

SIGNAGE:

SIGNAGE AREA:

Maximum area : 1 sq. ft. per 3 linear ft. street frontage or 60 sq.ft. (KZC 17.127.050)
(Wall) = 219'-11 ¼" (street frontage) / 3 linear ft.
= 73 sq ft > 60 sq ft.

Proposed Address Signage : 9" x 44" = 396 sq. in. = 2.75 sq. ft.
(Wall) 2.75 sq. ft. < 60 sq. ft.

LICENSED ARCHITECT 426-889776 DAVID C THIELSEN STATE OF OHIO

Revised: 6 7 8 9 10

Revised: 1 09/30/22 2 07/17/23 3 10/10/24 4 5

Drawn: 08/10/22
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Construction Set Issued: ----

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

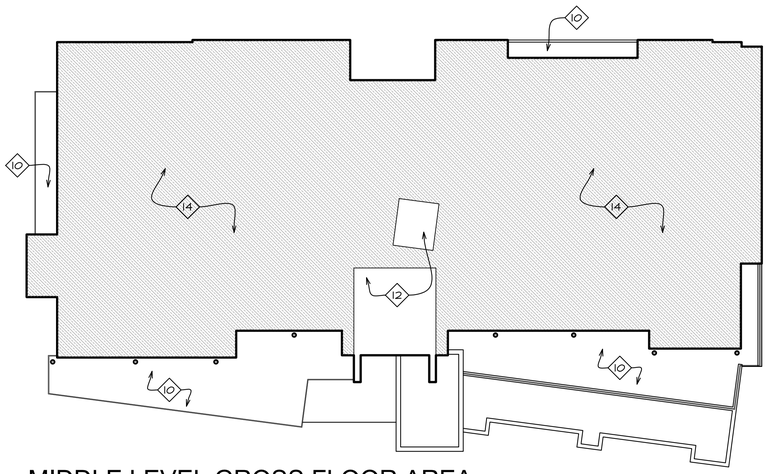
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
LOWER LEVEL SETBACK PLAN
MASTER SIGNAGE PLAN
LOWER LEVEL GFA & NFA PLANS

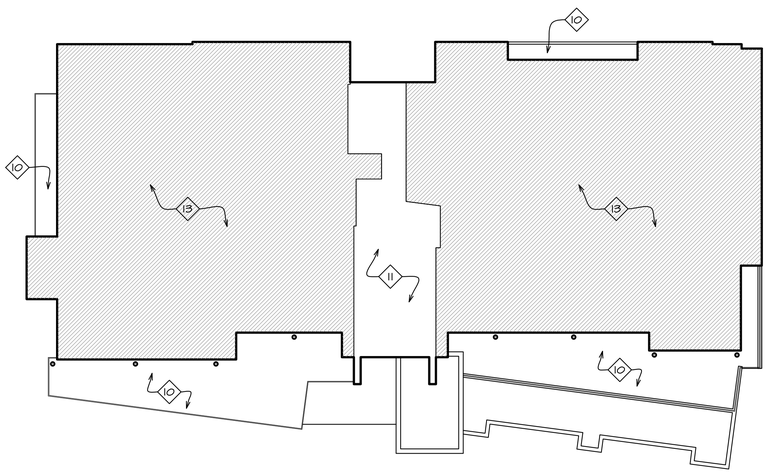
Sheet: A12
Project No. 2002

KEYNOTES

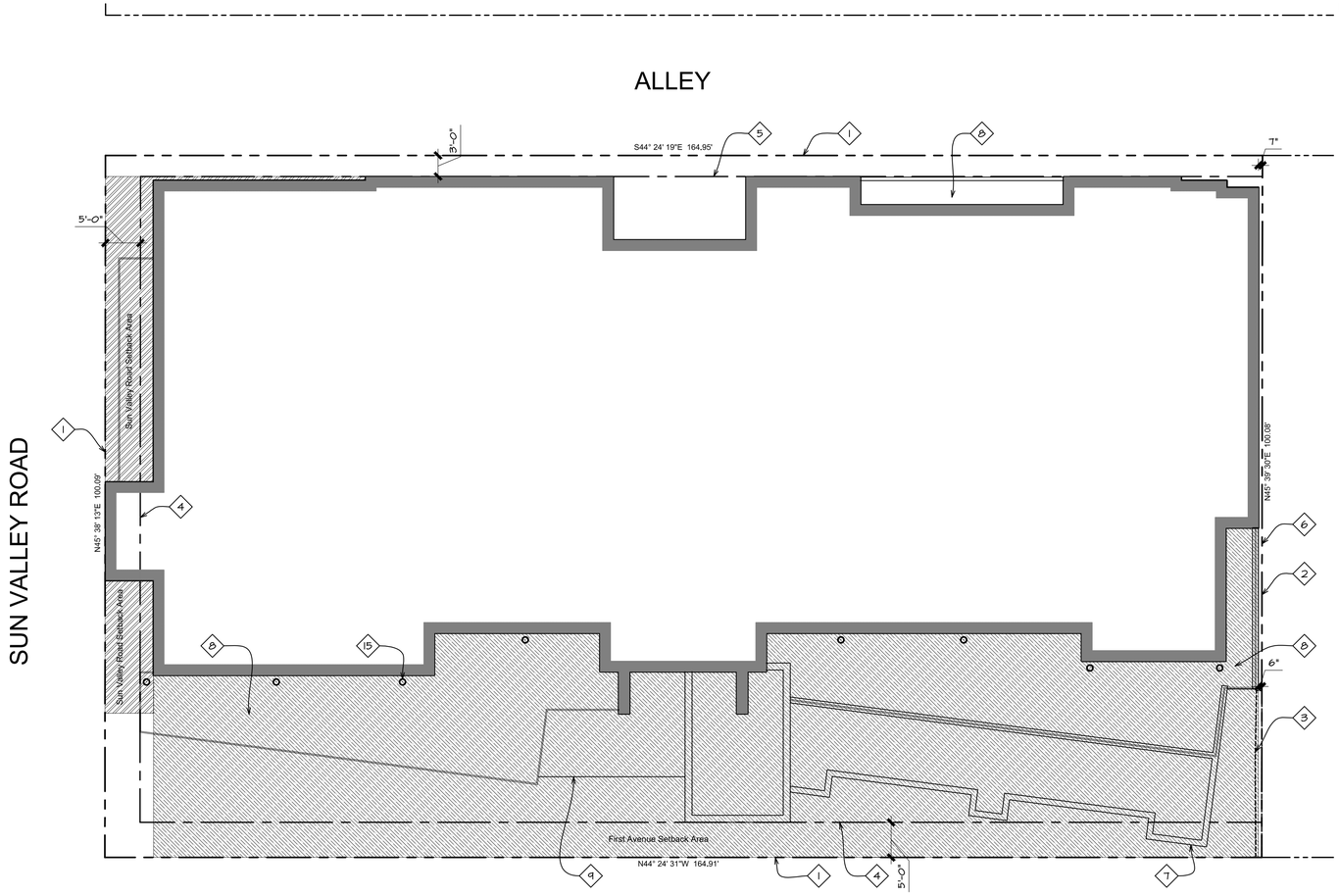
1 Property line/edge of right of way
2 Property line
3 Deck encroachment easement per survey
4 5' required average street setback
5 3' required alley setback
6 0' interior side setback
7 Line of wall below
8 Waterproof deck below
9 Line of entry canopy roof below
10 Waterproof deck
11 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
12 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
13 Area included as net floor area
14 Area included as gross floor area
15 Structural steel column with blackened finish, typical.



MIDDLE LEVEL GROSS FLOOR AREA
1/16" = 1'-0"



MIDDLE LEVEL NET FLOOR AREA
1/16" = 1'-0"



FIRST AVENUE

MIDDLE LEVEL SETBACK PLAN
1" = 10'

SUN VALLEY ROAD SETBACK:

Setback Area:	450 sf
Frontage Length:	76'-6"
Average Setback Depth:	5.88'

FIRST AVENUE SETBACK:

Setback Area:	4640 sf
Frontage Length:	159'-0"
Average Setback Depth:	29.18'

GROSS FLOOR AREA:	9,951 sf
NET FLOOR AREA:	9,466 sf
LYNCH RESIDENCE FLOOR AREA:	4,658 sf
BERNIER RESIDENCE FLOOR AREA:	4,808 sf

LICENSED ARCHITECT AR-889776 DAVID C THIELSEN STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 1 09/30/22 2 07/17/23 3 10/10/24 4 5

Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

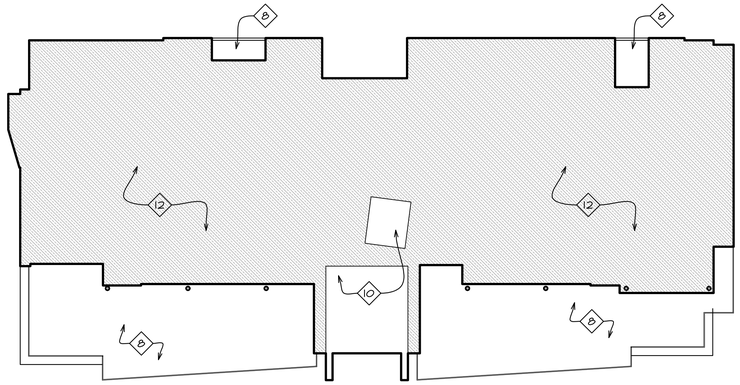
Sheet Title: MIDDLE LEVEL SETBACK PLAN
MIDDLE LEVEL GROSS FLOOR AREA PLAN
MIDDLE LEVEL NET FLOOR AREA PLAN

Sheet: A13

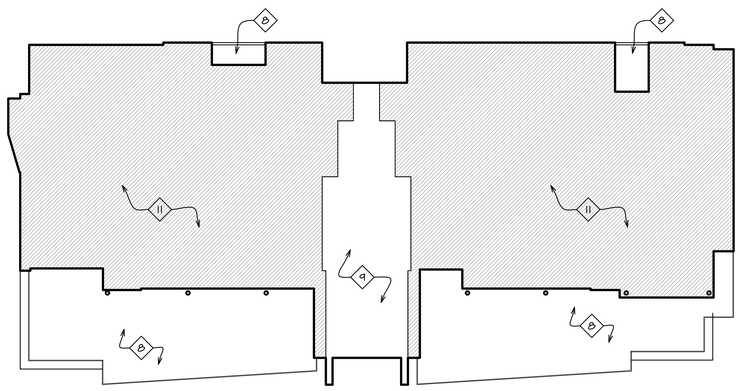
Project No. 2002

KEYNOTES

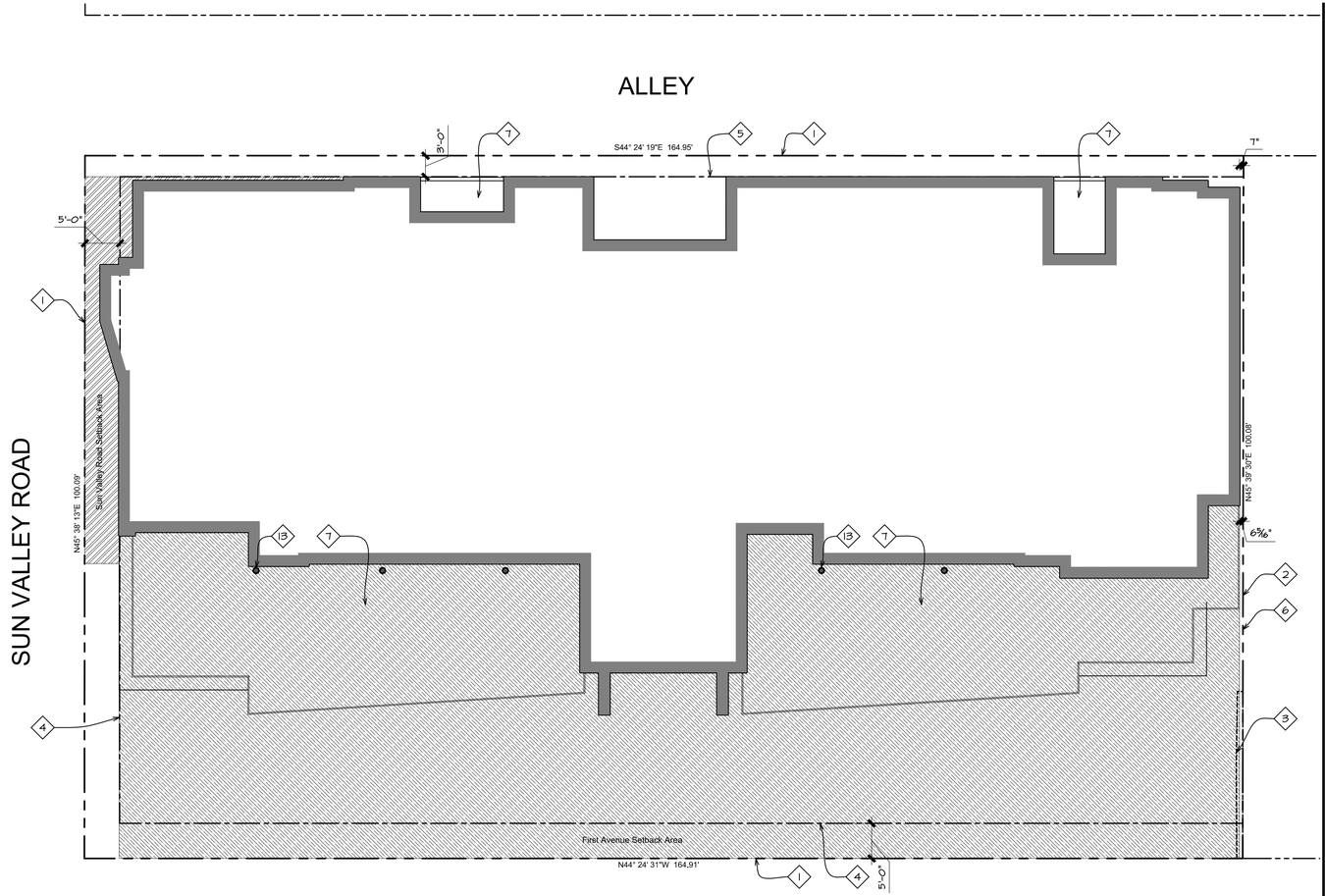
1 Property line/edge of right of way
2 Property line
3 Deck encroachment easement per survey
4 5' required average street setback
5 3' required alley setback
6 0' interior side setback
7 Waterproof deck below
8 Waterproof deck
9 Interior circulation area excluded from net floor area calculations per KMC 17.08.020 definition of floor area, net.
10 Stair and elevator area excluded from gross floor area calculations per kmc 17.08.020 definition of floor area, gross.
11 Area included as net floor area
12 Area included as gross floor area
13 Structural steel column with blackened finish, typical.



UPPER LEVEL GROSS FLOOR AREA
1/16" = 1'-0"



UPPER LEVEL NET FLOOR AREA
1/16" = 1'-0"



UPPER LEVEL SETBACK PLAN
1" = 10'

SUN VALLEY ROAD SETBACK:

Setback Area:	277 sf
Frontage Length:	55'-0"
Average Setback Depth:	5.04'

FIRST AVENUE SETBACK:

Setback Area:	6427 sf
Frontage Length:	159'-0"
Average Setback Depth:	40.42'

GROSS FLOOR AREA:	8,246 sf
NET FLOOR AREA:	7,714 sf
LYNCH RESIDENCE UPPER FLOOR AREA:	3,717 sf
BERNIER RESIDENCE UPPER FLOOR AREA:	3,998 sf

LICENSED ARCHITECT DAVID C THIELSEN AR-888776 STATE OF IDAHO

Revised: 6 7 8 9 10

Revised: 09/30/22 (1) 07/17/23 (2) 10/10/24 (3) (4) (5)

Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: UPPER LEVEL SETBACK PLAN
UPPER LEVEL GROSS FLOOR AREA PLAN
UPPER LEVEL NET FLOOR AREA PLAN

Sheet: A14
Project No. 2002

KEYNOTES

1 Property line/edge of right of way

2 Property line

3 Deck encroachment easement per survey

4 5' required average street setback

5 3' required alley setback

6 0' interior side setback

7 Line of wall below

8 Building facade step occurs at this location.

9 Line of required building height step, minimum 40'-0" from front property line and minimum 35'-0" from rear property line, per KZC 17.12.040.

10 Masonry chimney with termination per IBC 2113.9.

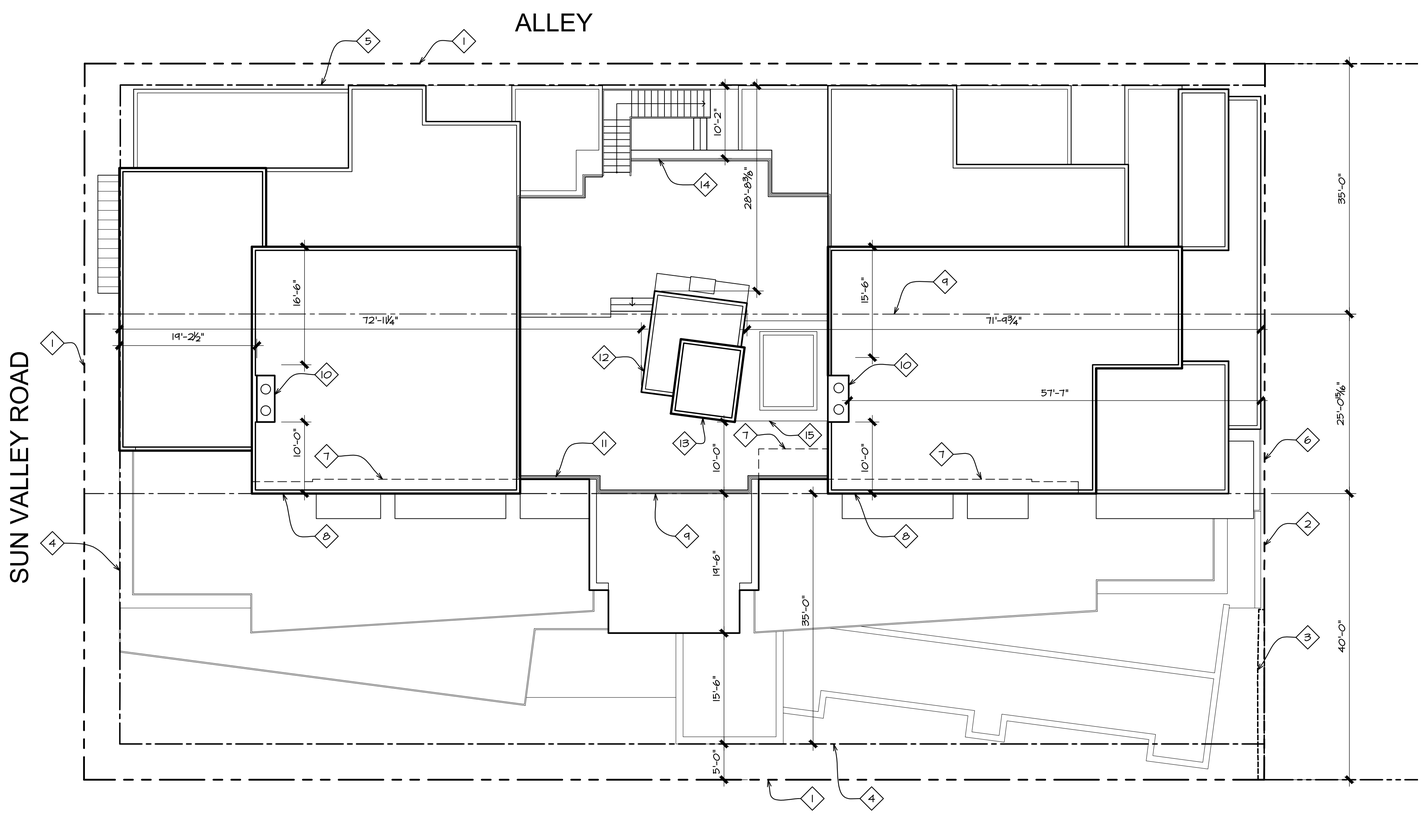
11 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted on wood parapet wall. Top of guardrail is below maximum height of building at the rear at the rear. The installed guard rail height shall be a minimum of 36" above finished decking surface. The finish of all railing components to be black.

12 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator lobby roof to be 6'-0" above maximum building height.

13 Non-habitable structures located on building roof tops are allowed to extend 10'-0" above maximum building height per KZC 17.12.040 – Community Core Dimensional Standards. Top of elevator enclosure roof to be 9'-6" above maximum building height.

14 Guard Rail: Open horizontal steel cable guard rail with metal stanchions and top rail mounted to steel base plate on wood sided parapet wall. Guard rail height shall be 36" above finished decking surface. The finish of all railing components to be black. Perimeter wall enclosing a roof top deck: Allowed to extend 4'-0" above the roof surface if at least 75% is transparent per KZC 17.12.040. The top of guard rail extends 23" above the maximum height of building at the rear. The solid parapet portion is 5" above the maximum height of building at the rear with open cable rail on top extending 18". Therefore, the solid parapet wall/cap above maximum height of building at the rear = 25%, transparent open rail = 75%.

15 Site built hot tub/spa with automated cover. Top surface of spa coping to be flush with Sun Deck paver surface.



ROOF LEVEL SETBACK PLAN
1" = 10'

LICENSED ARCHITECT AR-988776 DAVID C THIELSEN STATE OF IDAHO

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Revised: 6 7 8 9 10

Revised: 1 09/30/22; 2 07/17/23; 3 10/10/24; 4; 5

Drawn: 08/10/22
Checked: ---- ----
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Project: SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title: ROOF LEVEL SETBACK PLAN

Sheet: A15

Project No. 2002

KEYNOTES

1 Line of cantilevered floor above

2 Line of cantilevered deck above

3 Line of entry canopy above

4 Line of building footprint

5 Structural steel column with blackened finish, typical.

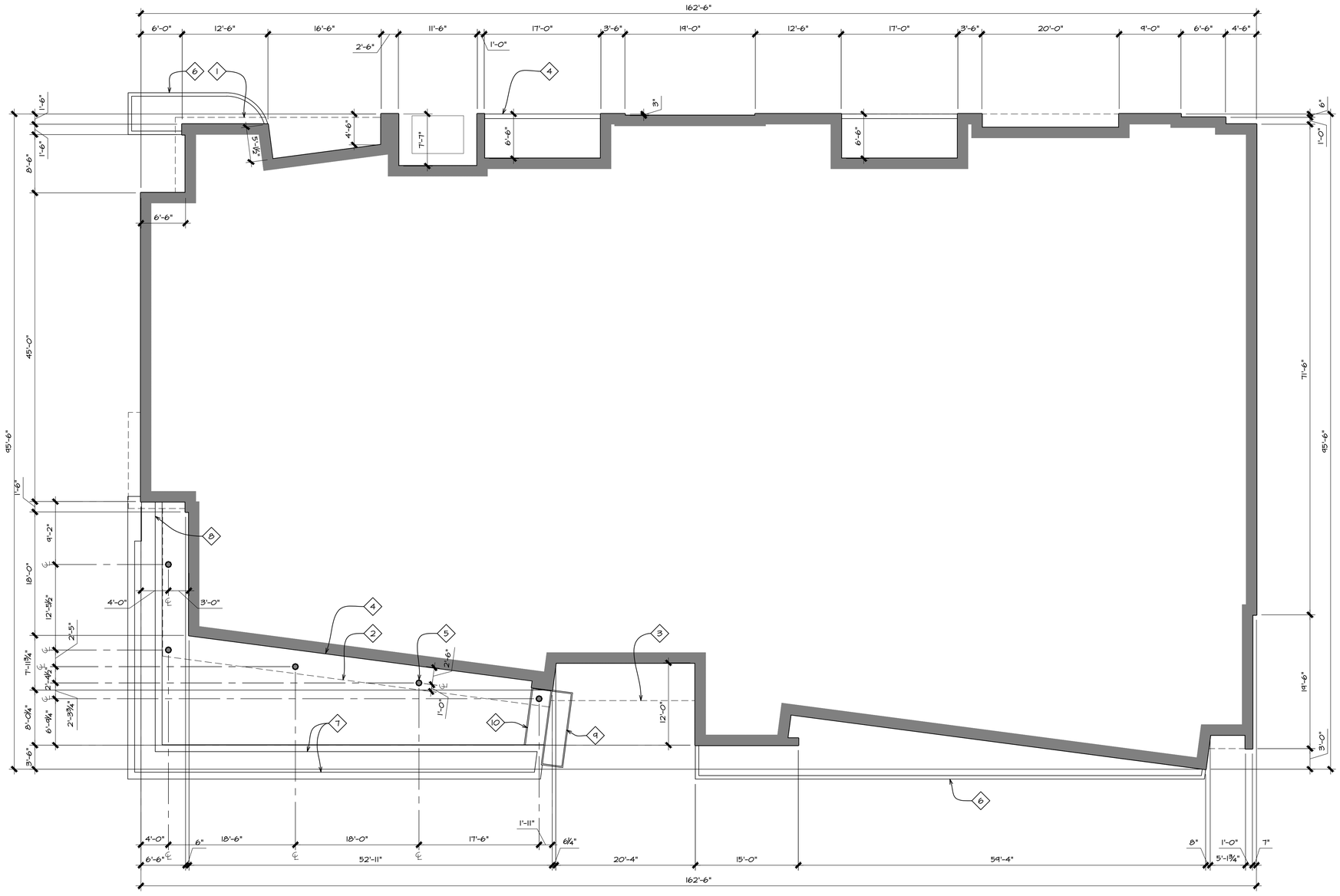
6 6" tall concrete curb

7 Raised stone veneer planter finished with full bed stone veneer face and stone cap containing trees and planting per Landscape plans. Planter walls with stone cap to be set level. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 36" above public sidewalk.

8 48" tall raised planter containing planting per Landscape drawings. Height of planter to vary with slope of public sidewalk. The maximum planter height to be 48" above public sidewalk.

9 48" tall raised plate steel planter with blackened finish

10 18" tall raised plate steel planter with blackened finish



LOWER LEVEL DIMENSION PLAN

1/8" = 1'-0"

LICENSED ARCHITECT
AR-888776
DAVID C. THIELSEN
STATE OF IDAHO

Thielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

Revised:
6 7 8 9 10

Revised:
09/30/22
07/17/23
10/10/24
1 2 3 4 5

Drawn: 08/10/22
Checked: ---- ----
Construction Set Issued: ----

Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
LOWER FLOOR DIMENSION PLAN
---- ----

Sheet:
A16

Project No.
2002

KEYNOTES

1 Property line
2 Line of building footprint
3 Temporary 6' tall chainlink construction fence.
4 Temporary "Sidewalk closed ahead" sign
5 Temporary "Sidewalk closed" sign
6 Materials storage area
7 Job trailer
8 Portable toilets
9 Material delivery and unloading area
10 Temporary mobile construction crane location
11 Truck wash area

CONSTRUCTION MANAGEMENT PLAN

1" = 20'

N

CONSTRUCTION MANAGEMENT NOTES

1. General contractor to ensure that all construction activity meets the requirements of the City of Ketchum and all OSHA safety standards.
2. Construction hours to be 7:30 am until 7:00 pm. No construction activity on Sundays or holidays.
3. For construction during the winter, all snow is to be removed from the job site. No snow is to be stored on site.

LICENSED ARCHITECT AR-988776 DAVID C NIELSEN STATE OF IDAHO

Revised:
6
7
8
9
10

Revised:
1 09/30/22
2 07/17/23
3 10/10/24
4
5

Drawn: 08/10/22
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Thiel Nielsen ARCHITECTS
Kirkland, WA 98033 ◥ Tel 425.828.0333 ◥ Fax 425.828.9376

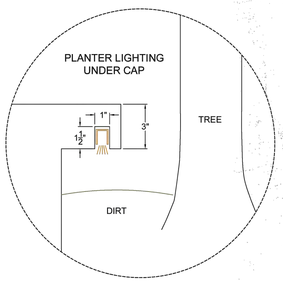
Project:
SAWTOOTH SERENADE
260 N 1ST AVE
KETCHUM,ID

Sheet Title:
CONSTRUCTION PLAN
---- ----

Sheet:
A17

Project No.
2002

PLANTER LIGHTING UNDER CAP



SHIELDED WALL SCONCE (TYP.)

TREE DOWNLIGHTING (TYP.)

WALL MOUNTED ART LIGHT (SHOWN WITHOUT SPECIFIED GLARE SHIELD)

1 LOWER FLOOR PLAN

LIGHTING PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).

6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0", CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S'	SINGLE POLE JAMB SWITCH
S MS	SINGLE POLE MOTION SWITCH
S T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
HCP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN
20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
LIGHTING PLAN
EL 1

SHIELDED
WALL SCONCE
(TYP.)

RECESSED
PINHOLE
(TYP.)

1 MIDDLE FLOOR PLAN

LIGHTING PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

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LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
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D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

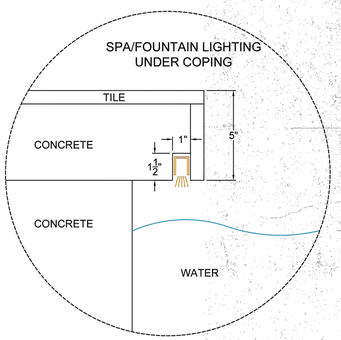
1 City Comments - 9.30.22
2 5.24.23
3 8.26.24

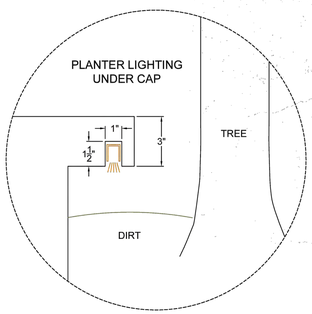
SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
LIGHTING PLAN
EL 2

SHIELDED
WALL SCONCE
(TYP.)

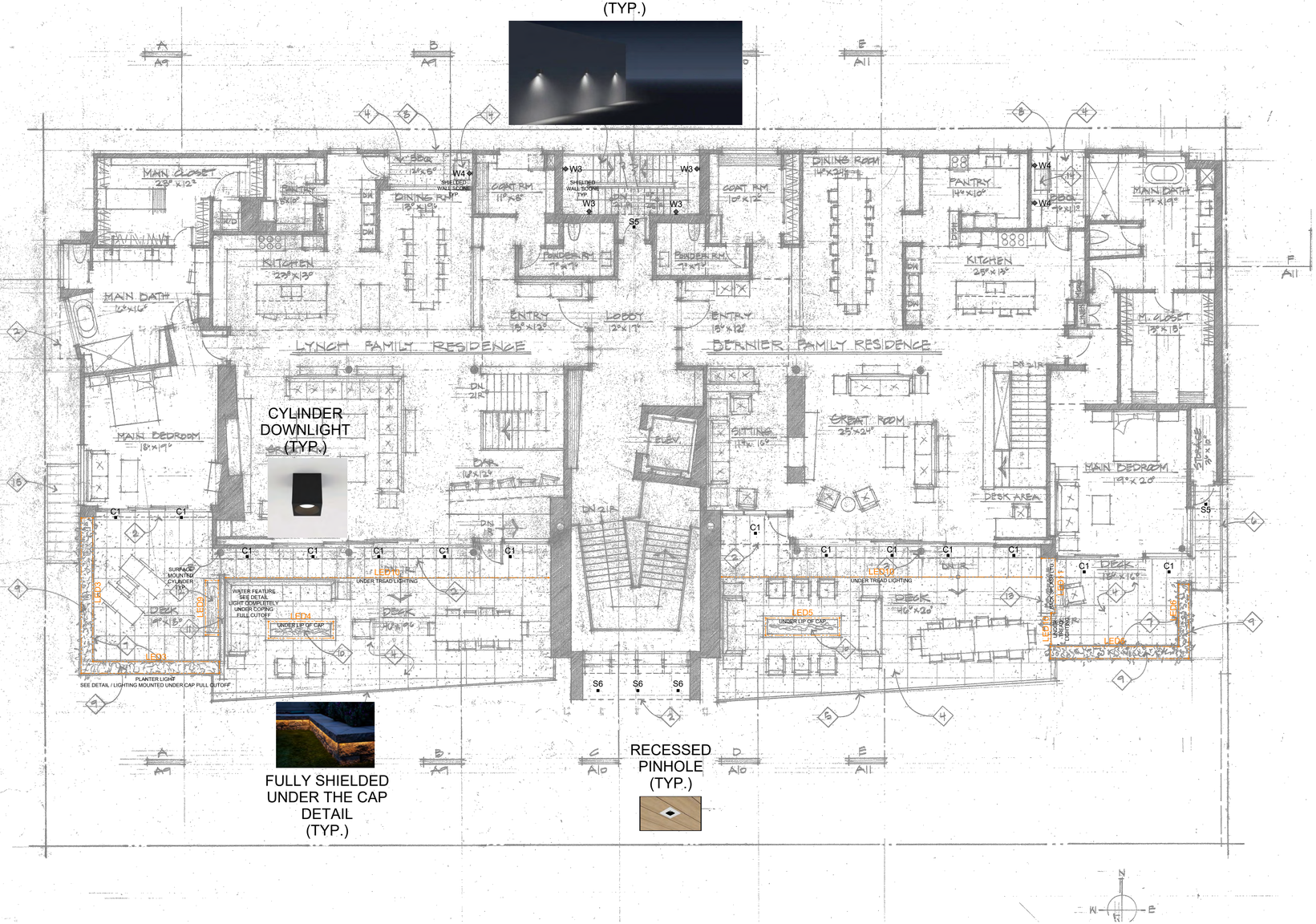
CYLINDER
DOWNLIGHT
(TYP.)





FULLY SHIELDED
UNDER THE CAP
DETAIL
(TYP.)

RECESSED
PINHOLE
(TYP.)



1 UPPER FLOOR PLAN
LIGHTING PLAN
SCALE: 1/8" = 1'-0"

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3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).

6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
$C	SINGLE POLE JAMB SWITCH
$MS	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
SCR	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN
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DRAWN BY:
KEVIN FLOWER

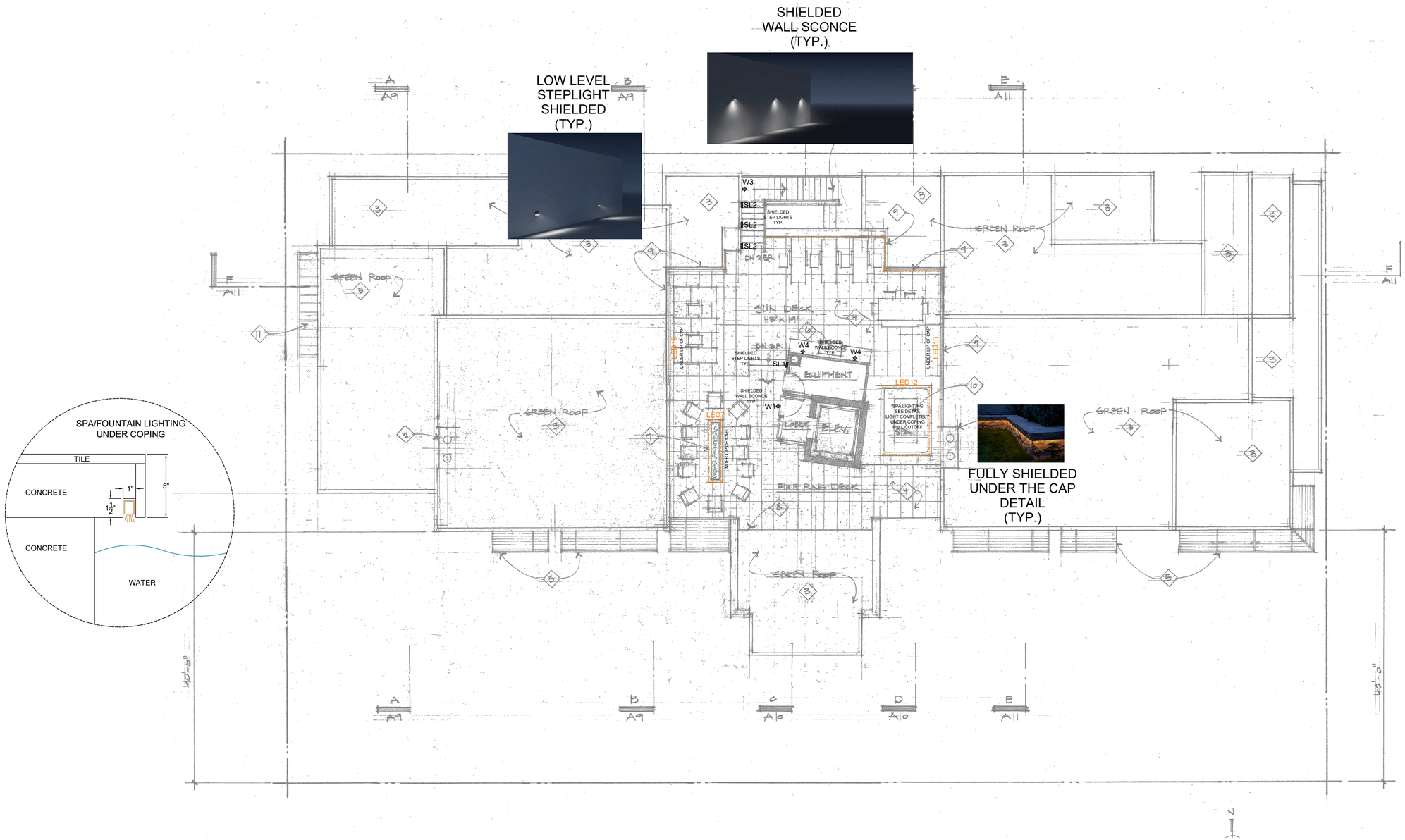
DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:
1 City Comments - 9.30.22
2 5.24.23
3 8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
LIGHTING PLAN
EL 3



1 ROOF DECK PLAN
LIGHTING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

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$MO	SINGLE POLE MOTION SWITCH
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	1/2 SWITCHED DUPLEX RECEPTACLE
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SHEET NUMBER:
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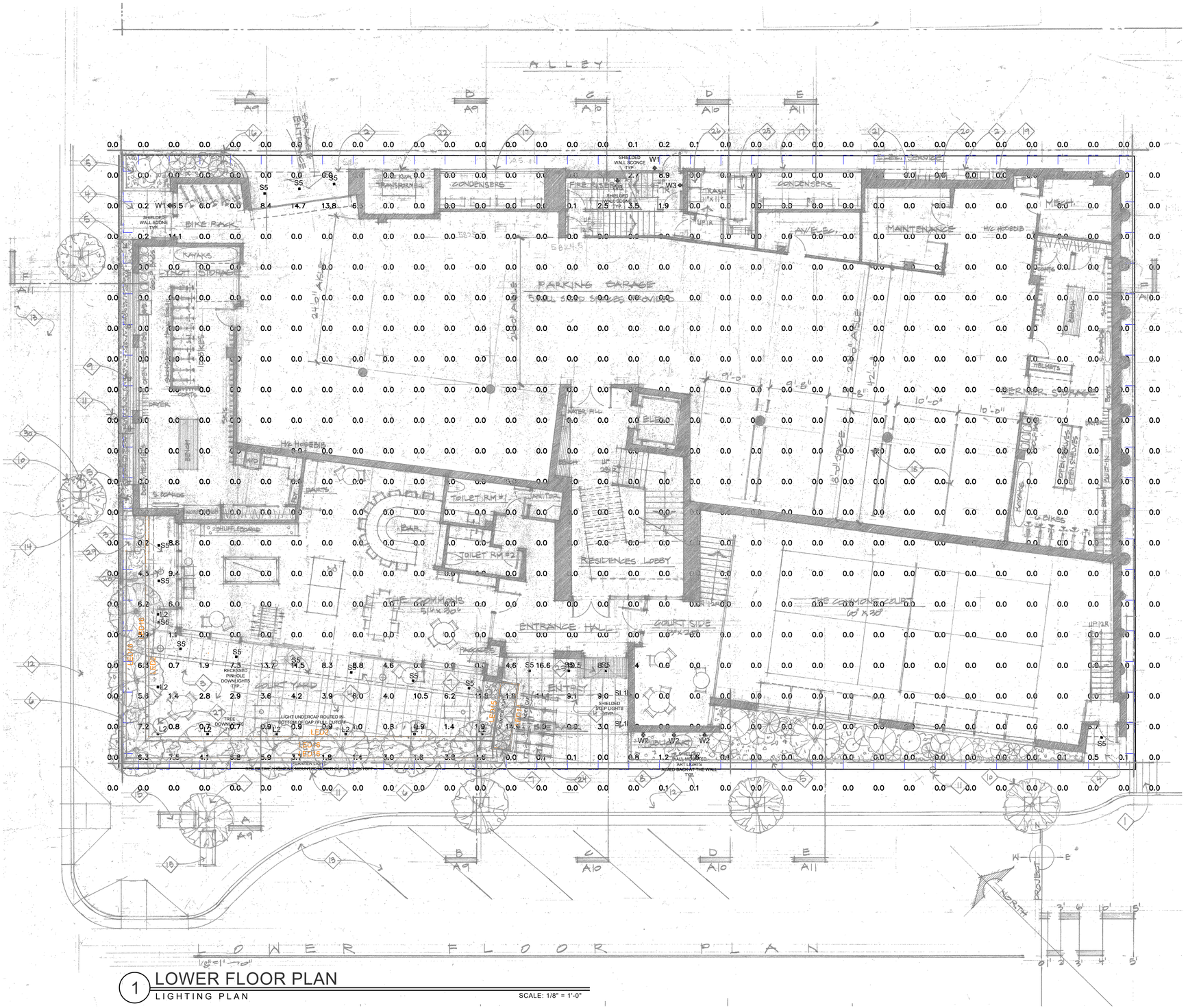

1 LOWER FLOOR PLAN

LIGHTING PLAN

SCALE: 1/8" = 1'-0"

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	0	C1	SINGLE	N.A.	1.000	SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
	8	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
	302	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
	16	S5	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	0	S6	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	2	SL1	SINGLE	N.A.	1.000	34705.023-27K
	1	SL2	SINGLE	N.A.	1.000	34703.023
	1	W1	SINGLE	N.A.	1.000	85105.023-27K
	3	W2	SINGLE	N.A.	1.000	77756-27K
	2	W3	SINGLE	N.A.	1.000	85105.023-27K
	0	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lower Level Overview	Illuminance	Fc	0.69	16.6	0.0	N.A.	N.A.
Lower Level Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Lower Level Plan Trespass North	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.	N.A.
Lower Level Plan Trespass South	Obtrusive - III	Fc	0.01	0.1	0.0	N.A.	N.A.
Lower Level Plan Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

GENERAL NOTES

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6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

- S — SINGLE POLE SWITCH
- S^J — SINGLE POLE JAMB SWITCH
- S^MD — SINGLE POLE MOTION SWITCH
- S^T — SINGLE POLE TIMER SWITCH
- D — SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- SCP — SWITCHED RECESSED CLOCK RECEPTACLE
- GFP — 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- T# — REMOTE LOW VOLTAGE TRANSFORMER

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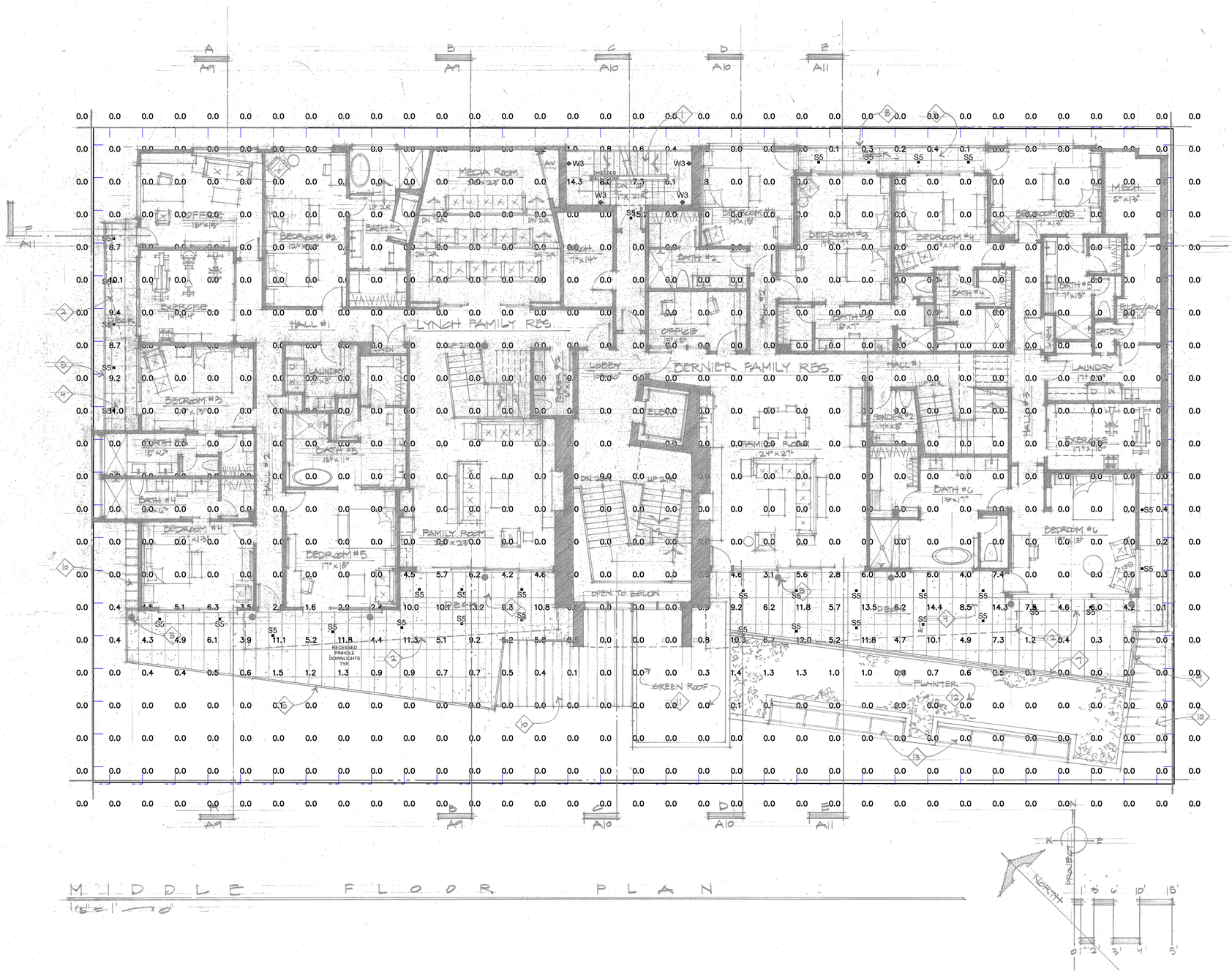
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL 5



MIDDLE FLOOR PLAN

1/8" = 1'-0"

2 MIDDLE FLOOR PLAN

LIGHTING PLAN

SCALE: 1/8" = 1'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	0	C1	SINGLE	N.A.	1.000	SPC06095GNC-PAR30-M8-SM-MB w/ GU24 Base
	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
	0	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
	34	S5	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	0	S6	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	0	SL1	SINGLE	N.A.	1.000	34705.023-27K
	0	SL2	SINGLE	N.A.	1.000	34703.023
	0	W1	SINGLE	N.A.	1.000	85105.023-27K
	0	W2	SINGLE	N.A.	1.000	77756-27K
	4	W3	SINGLE	N.A.	1.000	85105.023-27K
	0	W4	SINGLE	N.A.	1.000	NL-2D-3LED-DN-CR-FB

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Middle Level Overview	Illuminance		1.03	15.2	0.0	N.A.	N.A.
Middle Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Middle Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

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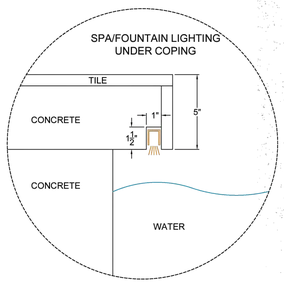
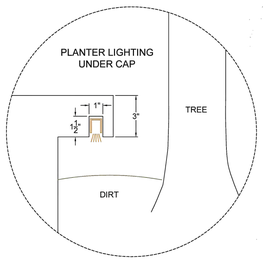
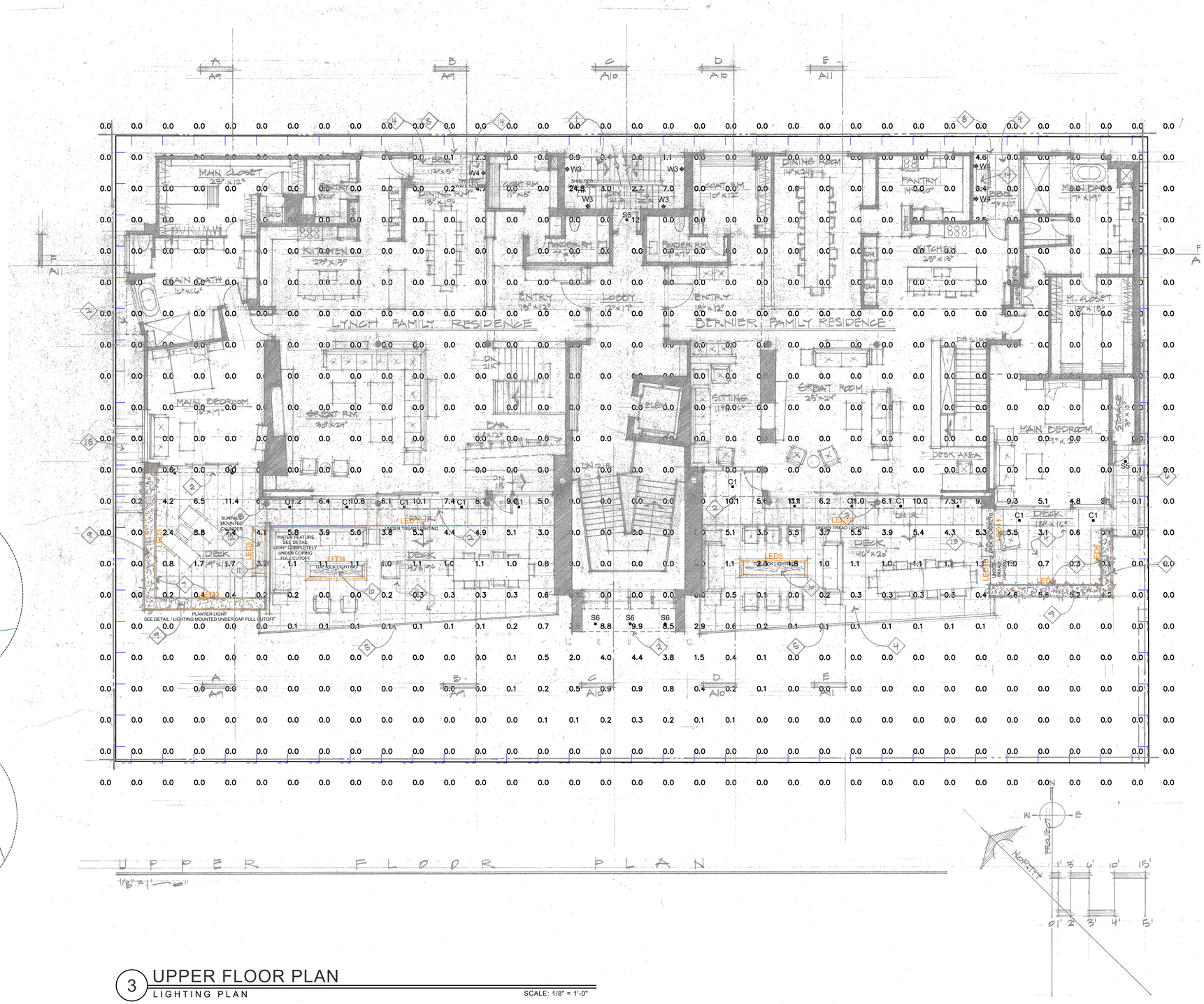
PHOTOMETRIC PLAN
EL 6







3 UPPER FLOOR PLAN

LIGHTING PLAN

SCALE: 1/8" = 1'-0"

UPPER FLOOR PLAN

1/8"=1'-0"

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	14	C1	SINGLE	N.A.	1.000	SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
	306	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
	2	S5	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	3	S6	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	0	SL1	SINGLE	N.A.	1.000	34705.023-27K
	0	SL2	SINGLE	N.A.	1.000	34703.023
	0	W1	SINGLE	N.A.	1.000	85105.023-27K
	0	W2	SINGLE	N.A.	1.000	77756-27K
	4	W3	SINGLE	N.A.	1.000	85105.023-27K
	3	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Upper Level Overview	Illuminance	Fc	0.78	24.8	0.0	N.A.	N.A.
Upper Level Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Upper Level Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

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3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

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9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

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4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

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6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
$L	SINGLE POLE JAMB SWITCH
$MD	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
GFCI	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

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LIGHTING DESIGN
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PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

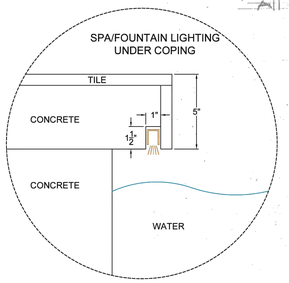
DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:
1 City Comments - 9.30.22
2 5.24.23
3 8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL 7



ROOF DECK PLAN

1/8" = 1'-0"

5 ROOF DECK PLAN
LIGHTING PLAN

SCALE: 1/8" = 1'-0"

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	0	C1	SINGLE	N.A.	1.000	SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
	0	L2	SINGLE	N.A.	1.000	JB - ZDC - FB
	237	LED	SINGLE	N.A.	1.000	DI-24V-SE-NBL2-27-32-SPN
	0	S5	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-4QL-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	0	S6	SINGLE	N.A.	1.000	HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N
	1	SL1	SINGLE	N.A.	1.000	34705.023-27K
	3	SL2	SINGLE	N.A.	1.000	34703.023
	1	W1	SINGLE	N.A.	1.000	85105.023-27K
	0	W2	SINGLE	N.A.	1.000	77756-27K
	1	W3	SINGLE	N.A.	1.000	85105.023-27K
	2	W4	SINGLE	N.A.	1.000	NL-ZD-3LED-DN-CR-FB

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Roof Deck Overview	Illuminance	Fc	0.26	22.2	0.0	N.A.	N.A.
							N.A.
Roof Deck Plan Light Trespass East	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	
							N.A.
Roof Deck Plan Light Trespass North	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass South	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.
Roof Deck Plan Light Trespass West	Obtrusive - III	Fc	0.00	0.0	0.0	N.A.	N.A.

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LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S^J	SINGLE POLE JAMB SWITCH
S^MD	SINGLE POLE MOTION SWITCH
S^T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
CP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN
20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:
1 City Comments - 9.30.22
2 5.24.23
3 8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL 8

KEVIN J. FLOWER LIGHTING DESIGN

20650 N. 29th Place Suite 106
Phoenix AZ 85050
602.341.3667

Lighting Fixture Schedule

Project: Sawtooth Serenade

Quantity	Type	Manufacturer	Model Number / Description	Volts	Dimming	Lamp Type	Watts
14	C1	SPECTRUM	SPC06095QINC-PAR30-MB-SM-MB w/ GU24 Base 6" Square Cylinder Surface Mounted with GU24 Base and Ketra Lamp	120V AC	KETRA (COLOR SET TO 2700)	HW-S30-08H-O-GTWFL-11G25-BK LOUVER: S30ALUV45 BK	10
8	L2	FX LUMINAIRE	JB - ZDC - FB - Warm 27K Lens 4" Surface Mounted Tree Downlight with 45° Cutoff Shroud	12V AC	ELV	Integral LED lamp	4
16	LED1 - LED16	ELEMENTAL LED	LINEAR LED LIGHTING MOUNTED IN CHANNEL DIFFUSED AND MOUNTED FACING DOWNWARD CONTRACTOR TO DETERMINE BILL OF MATERIALS USING DI-24V-SE-NBL2-27-32-SPN-ELV-FACTORY - 32.8 Foot Spool / 27K / 2.44W/FT DI-ODX-24VXXW-J - ELV DIMMING DRIVERS	24V DC	ELV	Integral LED lamp	2.44W/FT
52	S5	KETRA	HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 40 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 2700)	Integral LED lamp	9
3	S6	KETRA	HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N 3" Adjustable LED with 25 Degree Beam and Interchangeable Optics	120V AC	KETRA (COLOR SET TO 2700)	Integral LED lamp	9
3	SL1	ERCO	34705.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Deep Beam	120V AC	ELV	Integral LED lamp	8
3	SL2	ERCO	34703.023-27K w/appropriate Housing 7-5/8" x 6-7/8" Recessed Linear Light with Wide Beam	120V AC	ELV	Integral LED lamp	8
3	W1	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	Integral LED lamp	8
3	W2	BEGA LIGHTING	77756-27K w/70755 Glare Shield 4-3/8 Cylindrical Wall Mounted Downlight with 180 degree Glare Shield	120V AC	0-10V	Integral LED lamp	10.5
11	W3	ERCO	85105.023-27K w/33137.023 Mounting Plate 7-7-16" Wall Mounted Floor Wash Light	120V AC	ELV	Integral LED lamp	8
5	W4	FX LUMINAIRE	NL-ZD-3LED-DN-CR-FB w/ Wide Spread Lens - Warm 27K Lens 3" Surface Mounted Downlight with	12V AC	PHASE	Integral LED lamp	4

*** ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED AND BE DARK SKY COMPLIANT
*** EQUIVALENT FIXTURES MAY BE SUBSTITUTED WITH OWNER'S APPROVAL
*** ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING.
*** ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING.
*** ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING
*** ALL TRIM COLORS TO BE VERIFIED WITH OWNER BEFORE ORDERING.

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2 5.24.23
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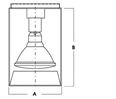
SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL 9

Acoustic Designs Group
Type: C1

Model # SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
With Ketra HW-S30-08H-O-GTWFL-11G25-BK / LOUVER



A	B
6.0 SQ. 152.4 mm	5.5 241.3 mm

6" SQUARE DIRECT
PAR SERIES

cylinders

SPC0609SQINC - CEILING MOUNT

APPLICATION
6" square cylinder series for use with incandescent PAR lamps.

FEATURES
Spectrum Surface Solutions series provides traditional architectural style with high performance energy efficient illumination. Rugged design with flexible mounting, finish and lamping options make these extremely versatile fixtures.

FINISH
Multi-stage polyester powder-coat process applied on our dedicated paint lines. A wide variety of standard and custom finishes are available. All exposed materials are promote preheated to resist corrosion.

ELECTRONICS
120V socket standard.

CONSTRUCTION
Extruded, .125 6063 aluminum fixture housing. Specular primary optical reflectors provide high efficiency illumination. Stainless steel hardware with galvanized steel brackets to resist corrosion. Formed .063 aluminum reflector/trim finished to specification.

CODE COMPLIANCE
ETL listed for damp locations. Manufactured and tested to UL standard No. 1598.

SERIES	LED LAMP	TRIM	MOUNTING[1]	FINISH[1]
SPC0609SQINC	PAR30 PAR38 R30	0906-PT Platinum Silver MW Matte White MB Matte Black	HM Hung Straight PM Rigid Pendant Mount[2] AT Hung Straight At Thread CD Cord / Cable Mount SM Surface Mount	MW[3] Matte White MB[3] Matte Black PT Platinum Silver CC Custom Color See Page 4 for Full Range of Color Options (93-90015)

EXAMPLE: SPC0609SQINC/PAR38/0305PT/HM36/MW

NOTES:
1 See Mounting Page for Details on Components and Finishes 2 Specify Length in Inches See Mounting Page for Available Lengths 3 See Color Page for More Options/Consult Factory for Special Finishes 4 Standard Finishes

SPECTRUM LIGHTING INC. PROJECT: TYPE:

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.

Acoustic Designs Group
Type: C1

Model # SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
With Ketra HW-S30-08H-O-GTWFL-11G25-BK / LOUVER

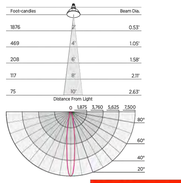
KETRA
S30 TUNABLE LAMP

P/N 3662380 Rev I
Specifications are subject to change without notice

ISO FOOTCANDLE CHARTS: 2700 - 5000 K VALUES ONLY

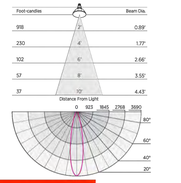
Beam Angle: 15° Spot (SP)

Product Code[1]	Wattage	Lumens	CBCP
S3010CTSP11E26WH	17 W	1050	7501



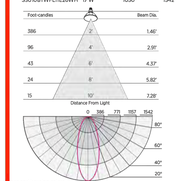
Beam Angle: 25° Flood (FL)

Product Code[1]	Wattage	Lumens	CBCP
S3010BTFLI1E26WH	17 W	1050	3672



Beam Angle: 40° Wide Flood (WFL)

Product Code[1]	Wattage	Lumens	CBCP
S3010BTWFLWE26WH	17 W	1050	1042



[1] Performance data applies to all base types and housing colors.

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Acoustic Designs Group
Type: C1

Model # SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
With Ketra HW-S30-08H-O-GTWFL-11G25-BK / LOUVER

KETRA

P/N 3662380 Rev I
Specifications are subject to change without notice

S30 Tunable LED S30 Lamp

The Ketra Difference:

High Def Palette—covers a wide range of 16.7 million colors, including pastels, saturated colors and high CRI whites spanning from 1,400K to 10,000K.

Dynamic Spectrum—precisely tunes the amount of energy across the visible spectrum to produce Natural Light, Natural Dimming and Vibrancy.

TruBeam—produces uniform color across any available beam angle.

Color Lock—maintains your desired color point at a one-step MacAdam Ellipse across all Ketra product families and over each product's lifetime.

ORDERING GUIDE

Please download this PDF to use the interactive drop down features of the ordering guide.

CM-	S30	08	I	CTSP	11E26	WH
Product Line	Model	Lumens	Location	System/Beam Angle	Region /Voltage / Base	Housing Color

Order code: CM-S3008ICTSP11E26WH

Product Line	Code
Commercial (Athena compatible)	CM-
Residential (HomeWorks compatible)	HW-
Model	
5-Series PAR30 Long Neck LED S30 Lamp	S30
Lumens	
800 [1]	08
1050 [1]	10
600 High-Efficacy [1,3,4]	06H
1050 High-Efficacy [1,3,4]	10H
Location	
Indoor	I
Outdoor/Patio [1]	O

System/Beam Angle	Code
KetraNet Spot (15°)	CTSP
KetraNet Flood (25°)	BTFL
KetraNet Wide Flood (40°)	BTWFL
KetraNet Very Wide Flood (60°)	BTVFL
KetraNet Extra Wide Flood (90° BR Style)	BTXFL
CCX Spot (15°) [2]	GTSP
CCX Flood (25°) [2]	GTFL
CCX Wide Flood (40°) [2]	GTWFL
CCX Very Wide Flood (60°) [2]	GTVFL
CCX Extra Wide Flood (90° BR Style) [2,5]	GTXFL

Region/ Voltage/ Base	Code
North America, 120 V~ 60 Hz, E26	11E26
North America, 120 V~ 60 Hz, GU24	11G24
Housing Color	
White	WH
Black	BK

[1] This option is not available for sale in California.
[2] High-efficacy light sources are Title 20 and Title 24 JA8 complaint.
[3] High-efficacy only available for design with Clear Connect Type X systems.
[4] Extra Wide Flood beam angle is not available in the high-efficacy lumen options.
[5] CCX stands for Clear Connect Type X.
[6] For use in protected outdoor applications only. In wet locations the lamp must be installed in a wet location rated fixture.

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Acoustic Designs Group
Type: C1

Model # SPC0609SQINC-PAR30-MB-SM-MB w/ GU24 Base
With Ketra HW-S30-08H-O-GTWFL-11G25-BK / LOUVER

KETRA
S30 TUNABLE LAMP

P/N 3662380 Rev I
Specifications are subject to change without notice

SPECIFICATIONS[1]

Optical & Electrical Performance

Lumen Output[2]	800 lm/1050 lm
CRI (Ra)[2]	>90 (R9 >90)
Lumen Maintenance[3]	50,000 hours to L70 @ 25 °C TA
Color Point Maintenance[4]	One-step MacAdam Ellipse over product lifetime
Color Point Range[4]	1400 °K – 10,000 °K, Fully Saturated, & Pastel
Equivalent Traditional LED S30 Lamp	75W halogen PAR30
Dimming Range[4]	0.1-100%

Environmental

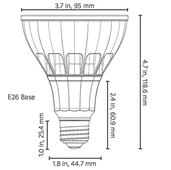
Operating Temperature	0 to 50 °C
Extended Operating Temperature[5]	-25 to 0 °C
Storage Temperature	-30 to 80 °C
Humidity	0 – 95%, Non-condensing
Certification	UL, cUL, RoHS, FCC Class B
Location	UL Damp Location, IP20

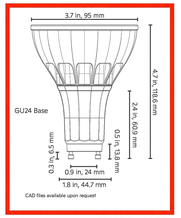
Mechanical

Weight	1.35 lbs, 600 g
Housing Material	Powder Coated Aluminum, Polymer
Lens Material	UL Damp Location, IP20
Base Type	E26 GU24

Electrical

Power Consumption	S30.08 9.3 W / S30.10 13 W S30.08 HE 8.4 W, S30.10 HE 12 W
Power Factor	>0.9
Efficacy	S30.08 86 lm/W, S30.10 81 lm/W S30.08HE 96 lm/W, S30.10HE 90 lm/W
Current	170 mA Max
Emergency Lighting	Evaluated by UL, for use in emergency lighting systems in accordance with standard UL 924 and CSA C22.2. Ketra S30 Tunable Lamp, CCX-S-, model LUT-SHUNT-4-TD UL, file E205031. See Lutron Application Note 106 (P/N 048106) at www.lutron.com for wiring details. This is only applicable to CCX fixtures used in an Athena system.





CAD files available upon request

Accessories

S30 Accessory Short Snoot	S30ASNTS5 WH/BK
S30 Accessory Tall Snoot	S30ASNT30 WH/BK
S30 Accessory 45° Hex Louver Includes Tall Snoot	S30ALUV45 WH/BK
S30 Accessory 15° Baffle Includes Tall Snoot	S30ABF15 WH/BK
S30 Downlight Trim	UN-S30A-TMSK-PWH/PBK/PBZ/CWH/PSR

[1] All performance measurements taken at 3000 K, 25 °C ambient, 100% power input, unless otherwise stated.
[2] Lumen measurement complies with IES LM-79-08 testing procedures.
[3] Lumen maintenance values calculated in accordance to TM-21 procedures based on LM-80 compliant measurement data.
[4] Intensity and color point control requires compatible system.
[5] Color accuracy not guaranteed while operating in Extended Operating Temperature range.

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Acoustic Designs Group
Type: LED

Model # DI-24V-SE-NBL2-27-32-SPN-ELV-FACTORY

diodeled®

NEON BLAZE™ Diffused LED Lighting
Specification Sheet

NEON BLAZE™ NBL1/NBL2/NBL4
Diffused LED Lighting

Date

Project Notes

Diffused, neon-like LED lighting with top-bending and side-bending options.
Available in static white and colors, and suitable for wet locations (IP65).

FEATURES

- Fully diffused, distinct light
- Top-bending and side-bending options with multiple output levels
- IP65 for wet locations and UV stabilized for outdoor use
- Ideal for coves and other architectural details
- 5 Year limited warranty

ORDERING CODES
Order spools, and components for field assembly

Diode LED	Voltage	Form	Model	CCT	Length
DI	24V	SE Side Bending TE Top Bending	NBL1 IP20 NBL2 IP65 NBL4 IP65	27 2700K 30 3000K 35 3500K 40 4000K 50 5000K	16 16.4 ft. (5 m) spool 32 32.8 ft. (10 m) spool Pre-Cut spool Custom Length

OPTIONAL ORDERING CODES
Mounting, drivers, and assembly preference

Mounting	Drivers	Delivery
1MM Mounting Channel 2MM Mounting Channel Recessed	2D 2-in-1 TRIAC 0-10V (Requires Separate Driver) DMX (Daisy Chained)	FIELD ASSEMBLY FACTORY *Max Delivery Distance

Model	24V-SE-NBL1	24V-SE-NBL2	24V-SE-NBL4	24V-TE-NBL1	24V-TE-NBL2	24V-TE-NBL4
Voltage	**24V**	**24V**	**24V**	**24V**	**24V**	**24V**
Wattage	**1.22 W/ft.**	**2.44 W/ft.**	**4.4 W/ft.**	**1.22 W/ft.**	**2.44 W/ft.**	**4.4 W/ft.**
2700K	62/ft.	126/ft.	226/ft.	90/ft.	172/ft.	344/ft.
3000K	65/ft.	140/ft.	198/ft.	102/ft.	218/ft.	317/ft.
3500K	60/ft.	125/ft.	191/ft.	89/ft.	273/ft.	273/ft.
4000K	N/A	N/A	N/A	N/A	N/A	N/A
Lumens 5000K	58/ft.	116/ft.	172/ft.	86/ft.	206/ft.	286/ft.
Blue	6/ft.	12/ft.	18/ft.	16/ft.	31/ft.	37/ft.
Gold	31/ft.	61/ft.	84/ft.	70/ft.	157/ft.	184/ft.
Green	30/ft.	48/ft.	76/ft.	69/ft.	146/ft.	151/ft.
Pink	17/ft.	37/ft.	53/ft.	39/ft.	93/ft.	110/ft.
Red	11/ft.	21/ft.	34/ft.	21/ft.	61/ft.	64/ft.
Cut Points	2 in.	2 in.	2 in.	2 in.	2 in.	2 in.
Max Run	65 ft.	32 ft.	16 ft.	65 ft.	32 ft.	16 ft.
CRI	90+ CRI	90+ CRI	90+ CRI	90+ CRI	90+ CRI	90+ CRI
Dimensions	0.27 x 0.75 in (W x H)	0.27 x 0.75 in (W x H)	0.27 x 0.75 in (W x H)	0.65 x 0.59 in (W x H)	0.65 x 0.59 in (W x H)	0.65 x 0.59 in (W x H)
Environment	Outdoor / Wet Location (IP65)	Outdoor / Wet Location (IP65)	Outdoor / Wet Location (IP65)	Outdoor / Wet Location (IP65)	Outdoor / Wet Location (IP65)	Outdoor / Wet Location (IP65)
Ambient Temperature	-4 – 122°F (-20 – 50°C)	-4 – 122°F (-20 – 50°C)	-4 – 122°F (-20 – 50°C)	-4 – 122°F (-20 – 50°C)	-4 – 122°F (-20 – 50°C)	-4 – 122°F (-20 – 50°C)
Operating Temperature	-4 – 176°F (-20 – 80°C)	-4 – 176°F (-20 – 80°C)	-4 – 176°F (-20 – 80°C)	-4 – 176°F (-20 – 80°C)	-4 – 176°F (-20 – 80°C)	-4 – 176°F (-20 – 80°C)
Certification	UL Listed 2108	UL Listed 2108	UL Listed 2108	UL Listed 2108	UL Listed 2108	UL Listed 2108
Warranty	5 Year	5 Year	5 Year	5 Year	5 Year	5 Year

Acoustic Designs Group
Type: LED

Model # DI-24V-SE-NBL2-27-32-SPN-ELV-FACTORY

diodeled®

NEON BLAZE™ Diffused LED Lighting
Specification Sheet

NEON BLAZE™ NBL1/NBL2/NBL4
Diffused LED Lighting

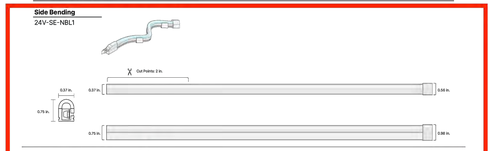
Date

Project Notes

Diffused, neon-like LED lighting with top-bending and side-bending options.
Available in static white and colors, and suitable for wet locations (IP65).

MECHANICAL DIAGRAMS

Side Bending
24V-SE-NBL1



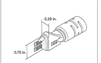
Top Bending
24V-TE-NBL1

Connections

Male Connector

Female Connector

Side Bending Connector



Top Bending Connector

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).

6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S^J	SINGLE POLE JAMB SWITCH
S^MD	SINGLE POLE MOTION SWITCH
S^T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
^CP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN
20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL10

Acoustic Designs Group
Type: S5

Model # HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA

P/N 366231 Rev I
Specifications are subject to change without notice

D3 Adjustable, Square

The Ketra Difference:

High Def Palette—covers a wide range of 16.7 million colors, including pastels, saturated colors and high CRI whites spanning from 1,400K to 10,000K.

Dynamic Spectrum—precisely tunes the amount of energy across the visible spectrum to produce Natural Light, Natural Dimming and Vibrancy.

TruBeam—produces uniform color across any available beam angle.

Color Lock—maintains your desired color point at a one-step MacAdam Ellipse across all Ketra product families and over each product's lifetime.

Features:

Ketra's D3 adjustable downlight features low-profile housing, wireless communication, and field-replaceable optics and electronics. With a wealth of trim and optic accessories, the D3 is ideal for a large variety of applications. The D3 family is fully Title 24 JA8 compliant and is equipped with Ketra's full suite of unique solutions.

Flanged Bevel

Flangeless Mud-in Bevel

Flanged Pinhole

Flangeless Mud-in Pinhole

Flangeless Millwork Shallow

Flangeless Millwork Shallow Pinhole

Color Options

White

Black

Silver

Bronze

Paintable White

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Acoustic Designs Group
Type: S5

Model # HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA

P/N 366231 Rev I
Specifications are subject to change without notice

ORDERING GUIDE

Please download this PDF to use the interactive drop down features of the ordering guide.

Housing

Product Line	Fixture / Trim	Wattage	System
Beam Angle	Region / Voltage	Housing Type	Optic Accessory	Shipping Option

Order code:

Product Line	Code
Commercial (Athena compatible)	CM-
Residential (HomeWorks compatible)	HW-

Fixture / Trim	Code
D3 Adjustable, Square Flanged[1]	D3ADSQ
D3 Adjustable, Square Flangeless[2,3]	D3ADSM
D3 Adjustable, Collar Adapter Not Specified[4]	D3ADXX

Wattage	Code
9 W	09
13 W	13
18 W	18

System	Code
KetraNet	8T
Clear Connect-Type X	6T

Beam Angle	Code
Spot (15°) Low Glare	15L
Flood (25°) Low Glare	25L
Wide Flood (40°) Low Glare	40L
Very Wide Flood (60°) Low Glare	60L

Beam Angle (cont.)	Code
Spot (15°) High Output	15H
Flood (25°) High Output	25H
Wide Flood (40°) High Output	40H
Very Wide Flood (60°) High Output	60H

Region/Voltage	Code
120 V~ 60 Hz, North America	11
277 V~ 60 Hz, North America	12

Housing Type	Code
New Construction, IC/Airtight	NCIC
New Construction, IC/Airtight, Flangeless Millwork Trim[5]	NCIM
New Construction, IC/Airtight, Outdoor/Patio[6]	NCOC
New Construction, IC/Airtight, Outdoor/Patio, Flangeless Millwork Trim[5]	NCOM

Optic Accessory[7] (See diagram on p. 3)	Code
None	N
Solite Lens	S
Frost Lens	F
Hex Louver	H

Shipping Option	Code
Single Pack Default, ships with Butterfly Brackets & 24 in Nailer Bars to be installed in field)	SP

Trim

Product Line
Model	Trim Color	Trim Accessory
---	---	---

Order code:

Product Line	Code
Universal	UN-

Model	Code
Flanged Trim[1,2]	
D3 Square Adjustable Bevel	D3TFSQ1
D3 Square Adjustable Pinhole	D3TFSPA
Flangeless Mud-In Trim[3]	
D3 Square Adjustable Bevel	D3TXSQ1
D3 Square Adjustable Pinhole	D3TXSPA
Flangeless Millwork Trim[3,4]	
D3 Square Adjustable Bevel	D3TMSQ1
D3 Square Adjustable Pinhole	D3TMSPA

Trim Color	Code
White	PWH
Black	PBK
Silver	PSR
Bronze	PBZ
Paintable White	CWH

Trim Accessory[5] (See diagram on p. 3)	Code
None	N
Solite Lens	S
Frost Lens	F

1 D3 Adjustable, Square flanged fixture (D3ADSQ) can only be used with flanged trims (D3TFS-) and is compatible with NCIC/NCOC housing type, but is incompatible with NCIM/NCOM.
2 Use flanged trims (D3TFS-) on wood and stone ceilings with thickness in the range of 0.625 in - 1.5 in (15.8 mm - 38.1 mm) with NCIC/NCOC housing type.
3 D3 Adjustable, Square flangeless fixture (D3ADSM) can be used with a flangeless mud-in trim (D3TXS-) with NCIC/NCOC housing type, or with a flangeless millwork trim (D3TMS-) with NCIM/NCOM housing type.
4 Use the flangeless millwork trims (D3TMS-) on wood and stone ceilings with thickness in the range of 0.625 in - 2.5 in (15.8 mm - 63.5 mm) with NCIM/NCOM housing type.
5 Outdoor/Patio D3s must have a trim installed with a lens.
6 D3s installed outdoors must use housing type NCOC or NCOM.
7 Downlight is wet location rated when trim is installed with lens.
8 Ceiling installation cannot begin until the collar adapter is installed (see the Component Ordering Guide for details).
9 Millwork Trim Retainer supplied with Millwork Trim to ensure color match.

Acoustic Designs Group
Type: S5

Model # HW-D3ADSQ-09-GT-40L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA
D3 ADJUSTABLE SQUARE

P/N 366231 Rev I
Specifications are subject to change without notice

SPECIFICATIONS[1]

Optical & Electrical Performance

Delivered Lumen Output[2]				
Beam Angle (1 in [25.4 mm] recess)	9 W	13 W	18 W	Pinhole lm multiplier
15° beam, low glare	650 lm	882 lm	1092 lm	0.57
25° beam, low glare	623 lm	845 lm	1046 lm	0.48
40° beam, low glare	569 lm	772 lm	955 lm	0.61
60° beam, low glare	561 lm	760 lm	941 lm	0.60
15° beam, high output	682 lm	928 lm	1148 lm	0.62
25° beam, high output	678 lm	923 lm	1142 lm	0.48
40° beam, high output	646 lm	878 lm	1087 lm	0.54
60° beam, high output	630 lm	857 lm	1061 lm	0.55
CRI (Ra)	>90 (R9 >90)			
Lumen Maintenance[3]	50,000 hours to L70 @ 25 °C T$_q$			
Color Point Range[4]	1400K – 10,000K, Fully Saturated, & Pastel			
Equivalent Traditional Lamp	75 W halogen			
Dimming Range[4]	0.1–100%			
Power consumption	D3.09 9 W D3.13 13 W D3.18 18 W			
Voltage	120 V~ 60 Hz 277 V~ 60 Hz			
Power Factor	>0.9			
Inrush Current[5]	800 mA, 0.2 mS duration			

Delivered Efficacy			
Beam Angle (1 in [25.4 mm] recess)	9 W	13 W	18 W
15° beam, low glare	72 lm/W	68 lm/W	61 m/W
25° beam, low glare	69 lm/W	65 lm/W	58 lm/W
40° beam, low glare	63 lm/W	59 lm/W	53 lm/W
60° beam, low glare	62 lm/W	58 lm/W	52 lm/W
15° beam, high output	76 lm/W	71 lm/W	63 lm/W
25° beam, high output	75 lm/W	71 lm/W	62 lm/W
40° beam, high output	72 lm/W	68 lm/W	59 lm/W
60° beam, high output	70 lm/W	66 lm/W	58 lm/W
Surge Protection	2.5 KV		
Emergency Lighting	Evaluated by UL, for use in emergency lighting systems in accordance with standard UL 924 and CSA C22.2 No. 141 when paired with the UD5- model (LUT-SHUNT-A-TD (UL, file E305507). See Lutron Application Note 106 (P/N 048106) at www.lutron.com for wiring details. This is only applicable to CCX fixtures used in an Athena system.		

Environmental

Operating Temperature (T$_c$)	0 – 40 °C[6]
Storage Temperature	-20 – 80 °C
Humidity	0 – 95%, Non-condensing
Certification	UL, cUL, 120 V~: FCC Class B, 277 V~: FCC Class A , Title 24 [JA8][7]
Location	UL Damp Location, UL Wet Location Available with Trim Lens
Outdoor Use	Outdoor use available with Trim Lens
Extended Operating Temperature	-35 – 0 °C[6,7]

Mechanical

Mounting Options	Hanger Bars/ Butterfly Brackets
Field Replaceable Optics	Yes
Field Replaceable Light Engine	Yes
Field Replaceable Power Supply	Yes
Additional Optic Lens	2.5 in (63.5 mm) lens, ⅛ in (3.18 mm) thick
Additional Trim Lens	2.75 in (69.85 mm) lens, ⅛ in (3.18 mm) thick
Housing Material	Powder Coated Steel, Polymer
Lens Material	Glass

Dimensions

Ceiling Square Cut-out	4 in (101.6 mm) flanged; 5.5 in (139.70 mm) flangeless mud-in; 4 in (101.6 mm) flangeless millwork
Trim Outside Dimension	4.63 in (117.6 mm) flanged; 3.75 in (95.2 mm) flangeless mud-in; 4 in (101.6 mm) flangeless millwork
Trim Inside Dimension	Flanged: 2.84 in (72.14 mm) Bevel 1.07 in (3.0 mm) Pinhole Flangeless: 2.76 in (70.1 mm) Bevel 1.07 in (3.0 mm) Pinhole
Optics Outside Dimension	2.5 in (63.5 mm)
Trim Depth	1 in (25.4 mm)
Ceiling Thickness	Flanged, flangeless mud-in: 0.625 – 1.5 in (15.8 – 38.1 mm) Flangeless millwork collar: 0.625 – 2.5 in (15.8 – 63.5 mm)
Emitter Vertical Adjustment (tool-free)	0.75 in (19 mm)
Housing Vertical Adjustment via Butterfly Bracket	1.75 in (44.5 mm)
Adjustability	Tilt to 40° Full 364° Rotation
Housing Height	3.50 in (88.9 mm)
Housing Length	18.38 in (466.8 mm)
Housing Width	10 in (254 mm)
Unit Weight	7.75 lb (3.51 kg)

1 All performance measurements taken with 1 in (25.4 mm) trim, with light engine at nadir at the low regress position, at 3000 K, 25 °C ambient, 100% power input, unless otherwise stated.
2 Lumen measurement complies with IES LM-79-08 testing procedures.
3 Lumen maintenance values calculated in accordance to TM-21 procedures based on LM-80 compliant measurement data.
4 Intensity and color point control requires compatible system.
5 For more information on inrush current, refer to Ketra's Inrush App Note in the Support section of our website.
6 Rated for direct application of spray foam with less than R-21 insulative value or 3 in (76.2 mm) of closed cell spray foam, 95 °F (35 °C) maximum operating temperature.
7 Color accuracy not guaranteed in Extended Operating Temperature range.
8 All products in the D3 family are Title 24 JA8 compliant. For more information please contact customer service at ketrasales@lutron.com or 844.588.6445.

Acoustic Designs Group
Type: S6

Model # HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA

P/N 366231 Rev I
Specifications are subject to change without notice

D3 Adjustable, Square

The Ketra Difference:

High Def Palette—covers a wide range of 16.7 million colors, including pastels, saturated colors and high CRI whites spanning from 1,400K to 10,000K.

Dynamic Spectrum—precisely tunes the amount of energy across the visible spectrum to produce Natural Light, Natural Dimming and Vibrancy.

TruBeam—produces uniform color across any available beam angle.

Color Lock—maintains your desired color point at a one-step MacAdam Ellipse across all Ketra product families and over each product's lifetime.

Features:

Ketra's D3 adjustable downlight features low-profile housing, wireless communication, and field-replaceable optics and electronics. With a wealth of trim and optic accessories, the D3 is ideal for a large variety of applications. The D3 family is fully Title 24 JA8 compliant and is equipped with Ketra's full suite of unique solutions.

Flanged Bevel

Flangeless Mud-in Bevel

Flanged Pinhole

Flangeless Mud-in Pinhole

Flangeless Millwork Shallow

Flangeless Millwork Shallow Pinhole

Color Options

White

Black

Silver

Bronze

Paintable White

Acoustic Designs Group
Type: S6

Model # HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA

P/N 366231 Rev I
Specifications are subject to change without notice

ORDERING GUIDE

Please download this PDF to use the interactive drop down features of the ordering guide.

Housing

Product Line	Fixture / Trim	Wattage	System
Beam Angle	Region / Voltage	Housing Type	Optic Accessory	Shipping Option

Order code:

Product Line	Code
Commercial (Athena compatible)	CM-
Residential (HomeWorks compatible)	HW-

Fixture / Trim	Code
D3 Adjustable, Square Flanged[1]	D3ADSQ
D3 Adjustable, Square Flangeless[2,3]	D3ADSM
D3 Adjustable, Collar Adapter Not Specified[4]	D3ADXX

Wattage	Code
9 W	09
13 W	13
18 W	18

System	Code
KetraNet	8T
Clear Connect-Type X	6T

Beam Angle	Code
Spot (15°) Low Glare	15L
Flood (25°) Low Glare	25L
Wide Flood (40°) Low Glare	40L
Very Wide Flood (60°) Low Glare	60L

Beam Angle (cont.)	Code
Spot (15°) High Output	15H
Flood (25°) High Output	25H
Wide Flood (40°) High Output	40H
Very Wide Flood (60°) High Output	60H

Region/Voltage	Code
120 V~ 60 Hz, North America	11
277 V~ 60 Hz, North America	12

Housing Type	Code
New Construction, IC/Airtight	NCIC
New Construction, IC/Airtight, Flangeless Millwork Trim[5]	NCIM
New Construction, IC/Airtight, Outdoor/Patio[6]	NCOC
New Construction, IC/Airtight, Outdoor/Patio, Flangeless Millwork Trim[5]	NCOM

Optic Accessory[7] (See diagram on p. 3)	Code
None	N
Solite Lens	S
Frost Lens	F
Hex Louver	H

Shipping Option	Code
Single Pack Default, ships with Butterfly Brackets & 24 in Nailer Bars to be installed in field)	SP

Trim

Product Line
Model	Trim Color	Trim Accessory
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Order code:

Product Line	Code
Universal	UN-

Model	Code
Flanged Trim[1,2]	
D3 Square Adjustable Bevel	D3TFSQ1
D3 Square Adjustable Pinhole	D3TFSPA
Flangeless Mud-In Trim[3]	
D3 Square Adjustable Bevel	D3TXSQ1
D3 Square Adjustable Pinhole	D3TXSPA
Flangeless Millwork Trim[3,4]	
D3 Square Adjustable Bevel	D3TMSQ1
D3 Square Adjustable Pinhole	D3TMSPA

Trim Color	Code
White	PWH
Black	PBK
Silver	PSR
Bronze	PBZ
Paintable White	CWH

Trim Accessory[5] (See diagram on p. 3)	Code
None	N
Solite Lens	S
Frost Lens	F

1 D3 Adjustable, Square flanged fixture (D3ADSQ) can only be used with flanged trims (D3TFS-) and is compatible with NCIC/NCOC housing type, but is incompatible with NCIM/NCOM.
2 Use flanged trims (D3TFS-) on wood and stone ceilings with thickness in the range of 0.625 in - 1.5 in (15.8 mm - 38.1 mm) with NCIC/NCOC housing type.
3 D3 Adjustable, Square flangeless fixture (D3ADSM) can be used with a flangeless mud-in trim (D3TXS-) with NCIC/NCOC housing type, or with a flangeless millwork trim (D3TMS-) with NCIM/NCOM housing type.
4 Use the flangeless millwork trims (D3TMS-) on wood and stone ceilings with thickness in the range of 0.625 in - 2.5 in (15.8 mm - 63.5 mm) with NCIM/NCOM housing type.
5 Outdoor/Patio D3s must have a trim installed with a lens.
6 D3s installed outdoors must use housing type NCOC or NCOM.
7 Downlight is wet location rated when trim is installed with lens.
8 Ceiling installation cannot begin until the collar adapter is installed (see the Component Ordering Guide for details).
9 Millwork Trim Retainer supplied with Millwork Trim to ensure color match.

Acoustic Designs Group
Type: S6

Model # HW-D3ADSQ-09-GT-25L-11-NCOC-H-SP / UN-D3TFSPA-CWH-N

KETRA
D3 ADJUSTABLE SQUARE

P/N 366231 Rev I
Specifications are subject to change without notice

SPECIFICATIONS[1]

Optical & Electrical Performance

Delivered Lumen Output[2]				
Beam Angle (1 in [25.4 mm] recess)	9 W	13 W	18 W	Pinhole lm multiplier
15° beam, low glare	650 lm	882 lm	1092 lm	0.57
25° beam, low glare	623 lm	845 lm	1046 lm	0.48
40° beam, low glare	569 lm	772 lm	955 lm	0.61
60° beam, low glare	561 lm	760 lm	941 lm	0.60
15° beam, high output	682 lm	928 lm	1148 lm	0.62
25° beam, high output	678 lm	923 lm	1142 lm	0.48
40° beam, high output	646 lm	878 lm	1087 lm	0.54
60° beam, high output	630 lm	857 lm	1061 lm	0.55
CRI (Ra)	>90 (R9 >90)			
Lumen Maintenance[3]	50,000 hours to L70 @ 25 °C T$_q$			
Color Point Range[4]	1400K – 10,000K, Fully Saturated, & Pastel			
Equivalent Traditional Lamp	75 W halogen			
Dimming Range[4]	0.1–100%			
Power consumption	D3.09 9 W D3.13 13 W D3.18 18 W			
Voltage	120 V~ 60 Hz 277 V~ 60 Hz			
Power Factor	>0.9			
Inrush Current[5]	800 mA, 0.2 mS duration			

Delivered Efficacy			
Beam Angle (1 in [25.4 mm] recess)	9 W	13 W	18 W
15° beam, low glare	72 lm/W	68 lm/W	61 m/W
25° beam, low glare	69 lm/W	65 lm/W	58 lm/W
40° beam, low glare	63 lm/W	59 lm/W	53 lm/W
60° beam, low glare	62 lm/W	58 lm/W	52 lm/W
15° beam, high output	76 lm/W	71 lm/W	63 lm/W
25° beam, high output	75 lm/W	71 lm/W	62 lm/W
40° beam, high output	72 lm/W	68 lm/W	59 lm/W
60° beam, high output	70 lm/W	66 lm/W	58 lm/W
Surge Protection	2.5 KV		
Emergency Lighting	Evaluated by UL, for use in emergency lighting systems in accordance with standard UL 924 and CSA C22.2 No. 141 when paired with the UD5- model (LUT-SHUNT-A-TD (UL, file E305507). See Lutron Application Note 106 (P/N 048106) at www.lutron.com for wiring details. This is only applicable to CCX fixtures used in an Athena system.		

Environmental

Operating Temperature (T$_c$)	0 – 40 °C[6]
Storage Temperature	-20 – 80 °C
Humidity	0 – 95%, Non-condensing
Certification	UL, cUL, 120 V~: FCC Class B, 277 V~: FCC Class A , Title 24 [JA8][7]
Location	UL Damp Location, UL Wet Location Available with Trim Lens
Outdoor Use	Outdoor use available with Trim Lens
Extended Operating Temperature	-35 – 0 °C[6,7]

Mechanical

Mounting Options	Hanger Bars/ Butterfly Brackets
Field Replaceable Optics	Yes
Field Replaceable Light Engine	Yes
Field Replaceable Power Supply	Yes
Additional Optic Lens	2.5 in (63.5 mm) lens, ⅛ in (3.18 mm) thick
Additional Trim Lens	2.75 in (69.85 mm) lens, ⅛ in (3.18 mm) thick
Housing Material	Powder Coated Steel, Polymer
Lens Material	Glass

Dimensions

Ceiling Square Cut-out	4 in (101.6 mm) flanged; 5.5 in (139.70 mm) flangeless mud-in; 4 in (101.6 mm) flangeless millwork
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Trim Depth	1 in (25.4 mm)
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Housing Vertical Adjustment via Butterfly Bracket	1.75 in (44.5 mm)
Adjustability	Tilt to 40° Full 364° Rotation
Housing Height	3.50 in (88.9 mm)
Housing Length	18.38 in (466.8 mm)
Housing Width	10 in (254 mm)
Unit Weight	7.75 lb (3.51 kg)

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2 Lumen measurement complies with IES LM-79-08 testing procedures.
3 Lumen maintenance values calculated in accordance to TM-21 procedures based on LM-80 compliant measurement data.
4 Intensity and color point control requires compatible system.
5 For more information on inrush current, refer to Ketra's Inrush App Note in the Support section of our website.
6 Rated for direct application of spray foam with less than R-21 insulative value or 3 in (76.2 mm) of closed cell spray foam, 95 °F (35 °C) maximum operating temperature.
7 Color accuracy not guaranteed in Extended Operating Temperature range.
8 All products in the D3 family are Title 24 JA8 compliant. For more information please contact customer service at ketrasales@lutron.com or 844.588.6445.

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GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).

6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S^{J}	SINGLE POLE JAMB SWITCH
S^{MD}	SINGLE POLE MOTION SWITCH
S^{T}	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
^{CP}	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN

20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

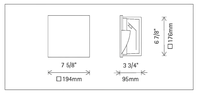
SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL11

Acoustic Designs Group **Model # 34705.023-27K**
Type: SL1

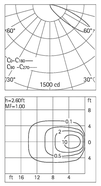
ERCO

Lightmark Floor washlight



34705.023
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 3
Flush mounting detail
Spherolit lens, deep beam

Product description
Housing: polymer, black.
Housing for recessed mounting in brickwork and dry-wall partitions: stainless steel. Mounting bracket: metal, hot-dip galvanized. Clamp extension 1–30mm.
Control gear, 60Hz, 120V dimmable, 277V switchable. 1 cable entry. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Cover with non-reflective safety glass: corrosion-resistant cast aluminum, No-Rinse surface treatment. Graphit m, double powder-coated.
Suitable for wet location (IP65): dust-proof and water jet-proof.
120V: Dimming with external dimmers possible (trailing edge).
Weight 5.31lbs / 2.41kg
Version with 3000K CRI 97 or 2700K, 3500K, 4000K CRI 92 available on request.



Technical data

Luminous flux of the luminaire	351lm
Connected load	8.0W
Luminaire efficacy	44lm/W
Color deviation	1.5 SDCM
Color rendition index	CRI 92
Lumen maintenance (LED manufacturer specifications)	L90/B10 >50000h L90 >100000h
LED failure rate	0.1% ≤50000h
LMF	E

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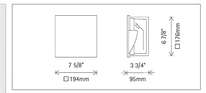
Acoustic Designs Group **Model # 34703.023-27K**
Type: SL2

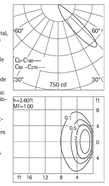
ERCO

Lightmark Floor washlight



34703.023
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 3
Flush mounting detail
Spherolit lens, wide beam

Product description
Housing: polymer, black.
Housing for recessed mounting in brickwork and dry-wall partitions: stainless steel. Mounting bracket: metal, hot-dip galvanized. Clamp extension 1–30mm.
Control gear, 60Hz, 120V dimmable, 277V switchable. 1 cable entry. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Cover with non-reflective safety glass: corrosion-resistant cast aluminum, No-Rinse surface treatment. Graphit m, double powder-coated.
Suitable for wet location (IP65): dust-proof and water jet-proof.
120V: Dimming with external dimmers possible (trailing edge).
Weight 5.31lbs / 2.41kg
Version with 3000K CRI 97 or 2700K, 3500K, 4000K CRI 92 available on request.



Technical data

Luminous flux of the luminaire	332lm
Connected load	8.0W
Luminaire efficacy	42lm/W
Color deviation	1.5 SDCM
Color rendition index	CRI 92
Lumen maintenance (LED manufacturer specifications)	L90/B10 >50000h L90 >100000h
LED failure rate	0.1% ≤50000h
LMF	E

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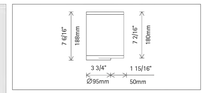
Acoustic Designs Group **Model # 85105.023-27K w/33137.023**
Type: W1

ERCO

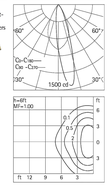
Cylinder Floor washlight



85105.023 Graphit m
LED module: 6W 630lm 3000K warm white
Trailing edge dimmable
Version 6
Size 2
Spherolit lens, oval flood

Lower non-reflective safety glass.
Suitable for wet location (IP65): dust-proof and water jet-proof.
120V: Dimming with external dimmers possible (trailing edge).
Weight 3.97lbs / 1.80kg
Version with 3000K CRI 97 or 2700K, 3500K, 4000K CRI 92 available on request.

Product description
Housing: corrosion-resistant aluminum profile, No-Rinse surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt. Tamper-proof screw.
Cover and wall plate: corrosion-resistant cast aluminum.
Control gear, 60Hz, 120V dimmable, 277V switchable. 2 cable entries. Through-wiring possible. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Front lens bottom: Reflector: aluminum, silver, bright anodized. Inclined oval flood Spherolit lens for pathway lighting.



Technical data

Luminous flux of the luminaire	462lm
Connected load	8.0W
Luminaire efficacy	58lm/W
Color deviation	1.5 SDCM
Color rendition index	CRI 92
Lumen maintenance (LED manufacturer specifications)	L90/B10 >50000h L90 >100000h
LED failure rate	0.1% ≤50000h
LMF	E

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Acoustic Designs Group **Model # 877756-27K w/70755**
Type: W2

LED floodlight with mounting canopy and outrigger arm

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

Housing: One piece die-cast aluminum housing supplied with universal mouting bracket for direct attachment to vertically oriented single gang wiring box. Stainless steel outrigger swivel arm. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.
Enclosure: Clear tempered glass, retained by one piece aluminum frame, secured by three (3) captive socket head stainless steel fasteners threaded into stainless steel inserts. Anodized aluminum reflector for precise optics. Fully gasketed for weather tight operation in any mounting orientation using one piece silicone gasket.
Electrical: 10.5W LED luminaire, 12.8 total system watts. -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 2700K with a >80 CRI. Available in 3000K (>80 CRI); add suffix K3 to order: **-27K**
Note: LEDs supplied are luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.
CSA certified to U.S. and Canadian standards for wet locations.
Projection class IP66.
Weight: 4.9 lbs.
EPA (Effective projection area): 0.39 sq. ft.

Luminaire Lumens: 695
Tested in accordance with LM-79-08

Compact floodlights with **mounting box and outrigger arm - wide beam** | Accessories

Lamp		B	A	B	C	D		
77756	10.5 W LED	50°	4¼	27½	4¾	7½	**70109, 70795**	

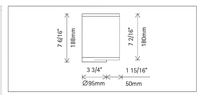
Color effect filters | Exchangeable lenses | flat beam | 180° glare shield | 8 = Beam angle

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
©copyright BEGA-US 2016 Updated 01/19

Acoustic Designs Group **Model # 85105.023-27K w/33137.023**
Type: W3

ERCO

Cylinder Floor washlight



85105.023 Graphit m
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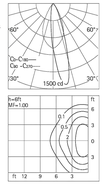
Trailing edge dimmable
Version 6
Size 2
Spherolit lens, oval flood

Lower non-reflective safety glass.
Suitable for wet location (IP65): dust-proof and water jet-proof.
120V: Dimming with external dimmers possible (trailing edge).
Weight 3.97lbs / 1.80kg
Version with 3000K CRI 97 or 2700K, 3500K, 4000K CRI 92 available on request.

Product description
Housing: corrosion-resistant aluminum profile, No-Rinse surface treatment. Double powder-coated. Optimized surface for reduced accumulation of dirt. Tamper-proof screw.
Cover and wall plate: corrosion-resistant cast aluminum.
Control gear, 60Hz, 120V dimmable, 277V switchable. 2 cable entries. Through-wiring possible. 3-pole terminal block.
LED module: high-power LEDs on metal-core PCB. Collimating lens made of optical polymer.
Front lens bottom: Reflector: aluminum, silver, bright anodized. Inclined oval flood Spherolit lens for pathway lighting.



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LED failure rate	0.1% ≤50000h
LMF	E

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Acoustic Designs Group **Model # NL-ZD-3LED-DN-CR-FB w/ Wide Spread Lens**
Type: W4

FXLuminaire

Down & Up/Down Lights

NL Down & Up/Down Light DESIGNER PREMIUM

PROJECT
CATALOG #
TYPE
NOTES

Wall-mounted, geometric square down light or up/down sconce in 3, 6, or 9 LED. Available in aluminum or brass construction. RGBW option available for use with Luxor® lighting control systems.

Quick Facts

- Down or up/down configurations
- Natural, powder coat, or antique brass/copper finishes
- Tamper-resistant features
- Phase and PWM dimmable
- Die-cast aluminum or brass
- Lumileds® Integrated LEDs
- Compatible with Luxor technology
- Input voltage: 10-15V

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

7. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

9. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

10. ALL WIRE USED SHALL BE COPPER

11. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR LIGHTING DESIGN, KJF LIGHTING DESIGN, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR KJF LIGHTING DESIGN'S APPROVAL.

12. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST KJF LIGHTING DESIGN DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

13. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT KJF LIGHTING DESIGN - 602.448.5007 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. EXTERIOR LIGHTING OVER 30 WATTS SHALL INCLUDE AN AUTOMATIC SHUT-OFF. (N1104.3).

5. ALL PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER A DIMMER, AN OCCUPANT SENSOR CONTROL OR OTHER CONTROL SUCH AS AN AUTOMATIC TIMER SHUT-OFF SWITCH. EXCEPTIONS INCLUDE BATHROOMS AND HALLWAYS. (N1104.2).

6. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT KJF LIGHTING DESIGN FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
$J	SINGLE POLE JAMB SWITCH
$MD	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
CR	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER

KEVIN J. FLOWER
LIGHTING DESIGN
20650 N. 29th Place Suite 106
PHOENIX, AZ 85050
WWW.KEVINJFLOWER.COM
T 602.341.3667

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DRAWN BY:
KEVIN FLOWER

DATE: JULY 19, 2022

SCALE: AS NOTED

REVISIONS:

1	City Comments - 9.30.22
2	5.24.23
3	8.26.24

SAWTOOTH SERENADE
260 1ST AVENUE NORTH
KETCHUM IDAHO

SHEET NUMBER:
PHOTOMETRIC PLAN
EL12

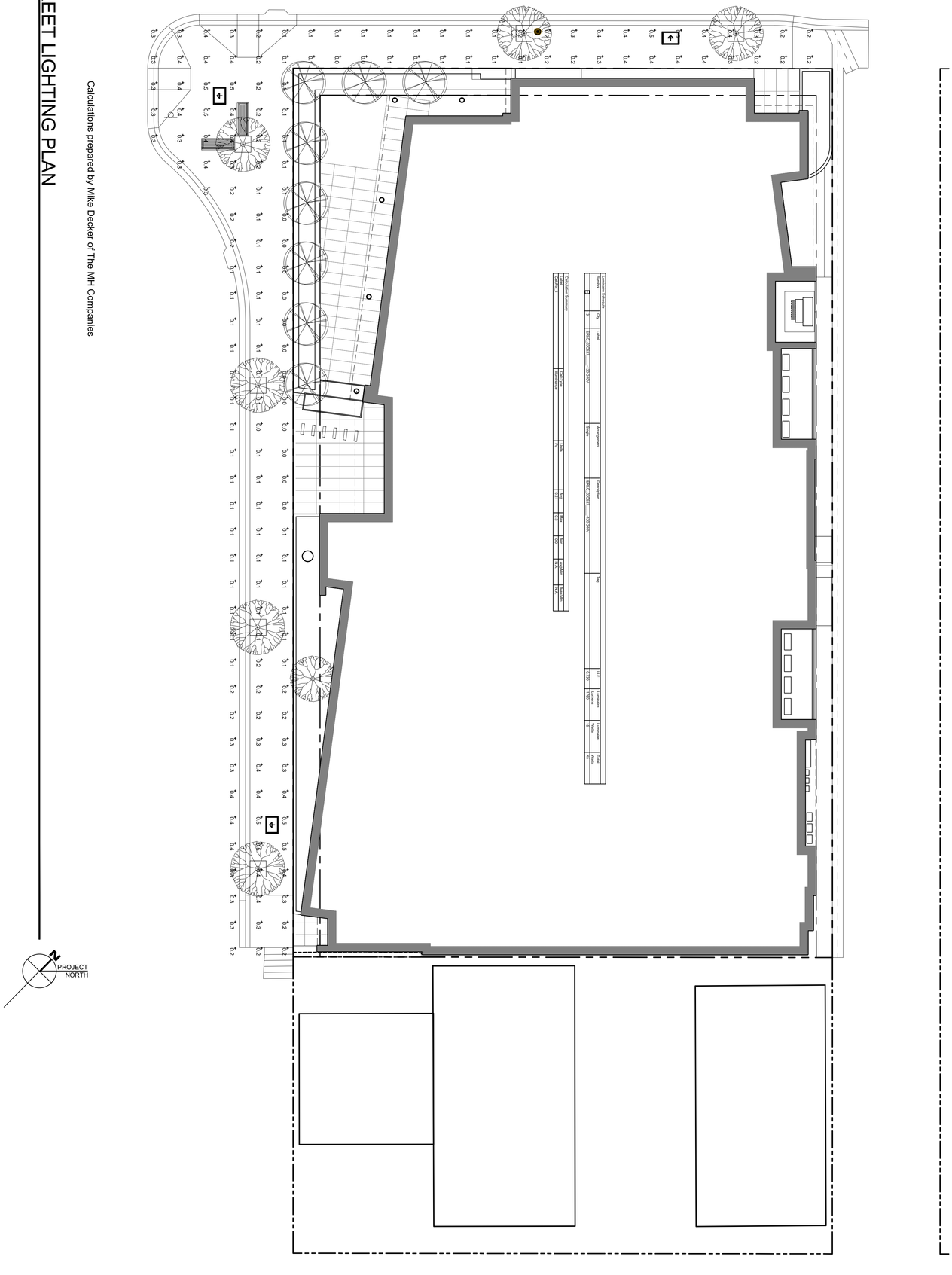
CENTERLINE SUN VALLEY ROAD (60' RIGHT OF WAY)

N45° 38' 13"E 300.18'

STREET LIGHTING PLAN

1" = 10'-0"

Calculations prepared by Mike Decker of The MH Companies



PROJECT NORTH

Sheet: ES1

Project No. 2002

97

Sheet Title:

STREET LIGHTING PHOTOMETRIC PLAN

Project:

SAWTOOTH SERENADE

260 N 1ST AVE

KETCHUM,ID

THE MH COMPANIES
PREPARED BY CARSON FILLIN
(208) 609-3722
carson@mhlighting.com

Drawn: 08/10/22 CF

Checked: ---- ----

Construction Set Issued:

Revised:

1 09/30/22

2 07/17/23 MD

3 07/22/24 MD

4

5

Revised:

6

7

8

9

10

SAWTOOTH SERENADE
CITY OF KETCHUM, BLAINE COUNTY, IDAHO
SEPTEMBER 2024

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.

2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.

3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.

4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).

6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.

7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.

- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.

8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.

9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.

10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.

11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.

12. CONTRACTOR IS RESPONSIBLE FOR A TRAFFIC CONTROL PLAN FOR WORK WITHIN THE CITY RIGHTS-OF-WAY. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.

13. ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

14. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.

15. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.

16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.

17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.

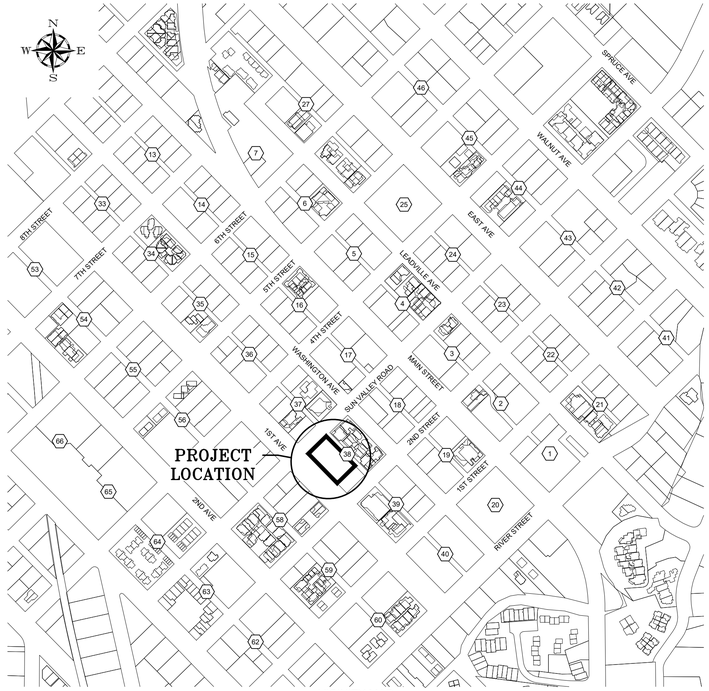
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.

19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAT 0.25%.

20. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.

21. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).

22. DOCUMENTATION OF TESTING FOR WORK WITHIN THE CITY RIGHT-OF-WAY MEETING SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE, AND BASE MATERIALS AND WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



VICINITY MAP
N.T.S.

SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C0.30	NEIGHBORING BUILDINGS PLAN
C0.90	SITE DEMOLITION PLAN
C1.00	SITE PLAN / SITE GEOMETRY PLAN
C2.00	SITE IMPROVEMENT DETAIL SHEET
C2.10	ALLEY LIP OF GUTTER PLAN AND PROFILE
C2.20	STREET SIDE LIP OF GUTTER PLAN AND PROFILE
C2.30	SITE GRADING PLAN
C3.00	SITE DRAINAGE AND UTILITY DETAILS
C3.10	SITE DRAINAGE AND UTILITY PLAN

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
COVER SHEET
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
G:\BMA\Ketchum village\block 38\Lots 5-7\6376-03 Serenade\dwg\Construction\6376-03 ENG 2024-07-15.dwg 09/23/24 10:21:09 AM

PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY:	JCL
DRAWN BY:	MS
CHECKED BY:	JCL
SURVEY DATE:	

GALENA–BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

SURVEYING ENGINEERING CIVIL SERVICE
GALENA ELEVATION ABOVE SEA 9230 FEET
BENCH MARK

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C0.10

A TOPOGRAPHIC MAP SHOWING
LOT 5A, BLOCK 38, KETCHUM TOWNSITE
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR HOLLIS REMPELTES ARCHITECTS

PROJECT INFORMATION
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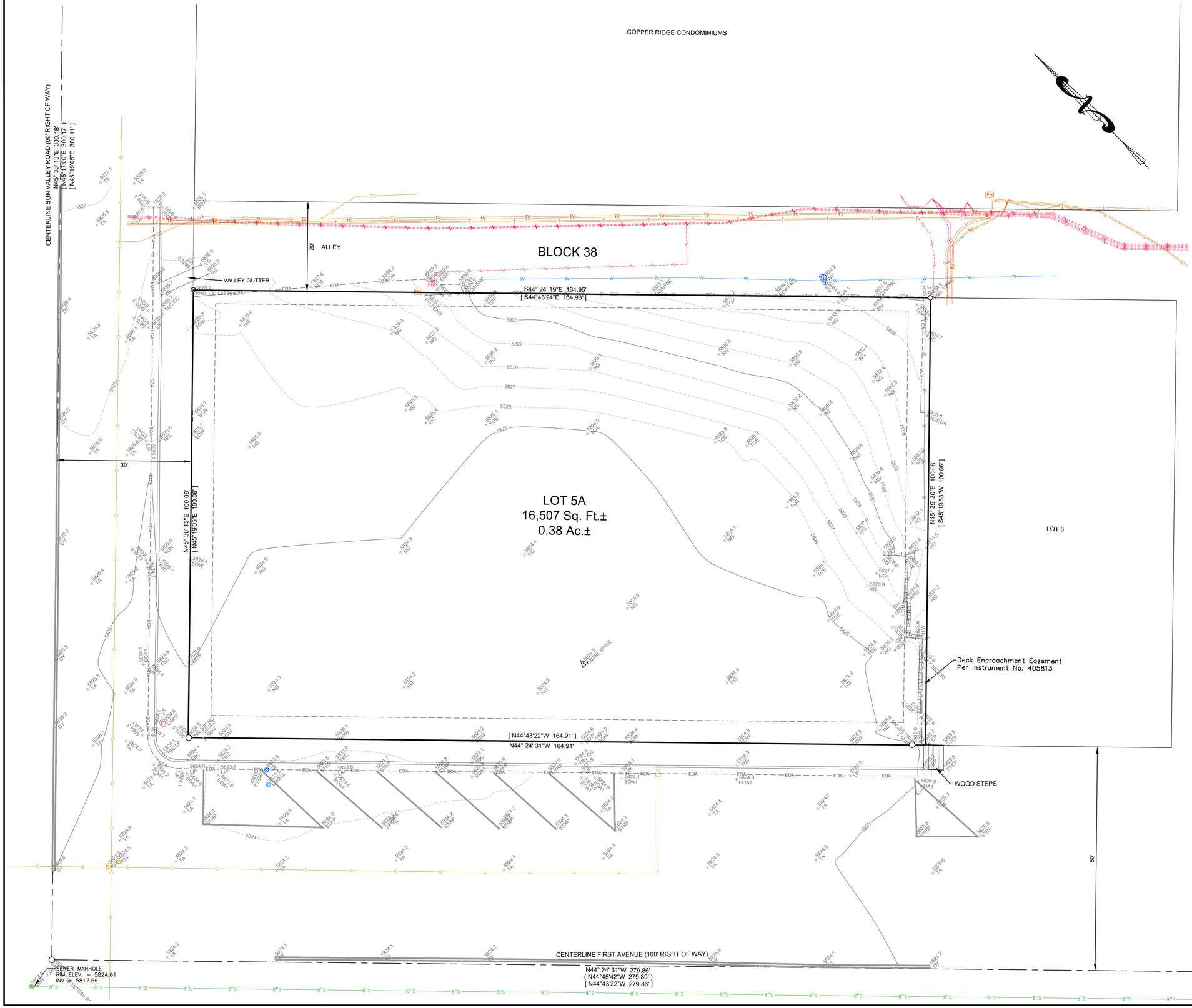
FB: 18-07-01
MEP DRAWN BY
SMF CHECKED BY



GRAPHIC SCALE
10 0 5 10 20
1 inch = 10 ft.

LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline Right of Way
- Building Setback Line
- Easement Line
- Concrete Line
- Edge of Asphalt
- Paint Striping
- Retaining Wall
- Fence Line
- Sewer main Line
- Water main Line
- Buried Telephone Line
- Buried Cable Television Line
- Buried Power Line
- Gas main Line
- 1' Contour Interval
- 5' Contour Interval
- Survey Control
- Found 1/2" Rebar
- Found 5/8" Rebar
- Found 5/8" Rebar with Aluminum Cap
- Water Valve
- Drywell
- Sign
- Light
- Telephone Riser
- Power Box
- Sewer Manhole
- Gas Valve
- ( ) Record Bearing & Distance, Ketchum Townsite, Block 38, Lot 1A, Instrument Number 467733
- [ ] Record Bearing & Distance, Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431

BOW = Back of Walk
CB = Catch Basin
CC = Curb Cut
COR = Corner
CNTRL = Survey Control
DWELL = Drywell
DY = Double Yellow
EOA = Edge of Asphalt
FNC = Fence
FND = Found
GV = Gas Valve
IC = Illegible Cap
IP = Iron Pipe
LIP = Lip of Gutter
LP = Low Point
NG = Natural Ground
PBOX = Power Box
PHBOX = Telephone Riser
PT = Point of Tangent
RTW = Retaining Wall
SGN = Sign
SMH = Sewer Manhole
STRP = Stripe
TA = Top of Asphalt
TBC = Top Back of Curb
TBM = Temporary Benchmark
TOE = Toe of Slope
TOP = Top of Slope
VG = Valley Gutter
WV = Water Valve

NOTES

1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/02/18).
2. Boundary information is based on Found Monumentation and the recorded plat of Lot 5A, Block 38, Ketchum Townsite, Instrument Number 548431, records of Blaine County. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
3. Sub-surface utility locations are approximate and locations should be verified before any excavation.
4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
5. Benchmark is top of the $\frac{5}{8}$" rebar with No Cap, at the Northwest Corner of Lot 5A. Elevation = 5824.53'

PROFESSIONAL LAND SURVEYOR
LICENSED
16670
10/02/18
STATE OF IDAHO
MARK E. PHILLIPS

REUSE OF DRAWINGS
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GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
(208) 788-4612 fax
email galena@galena-engineering.com

NO	DATE	BY	REVISIONS

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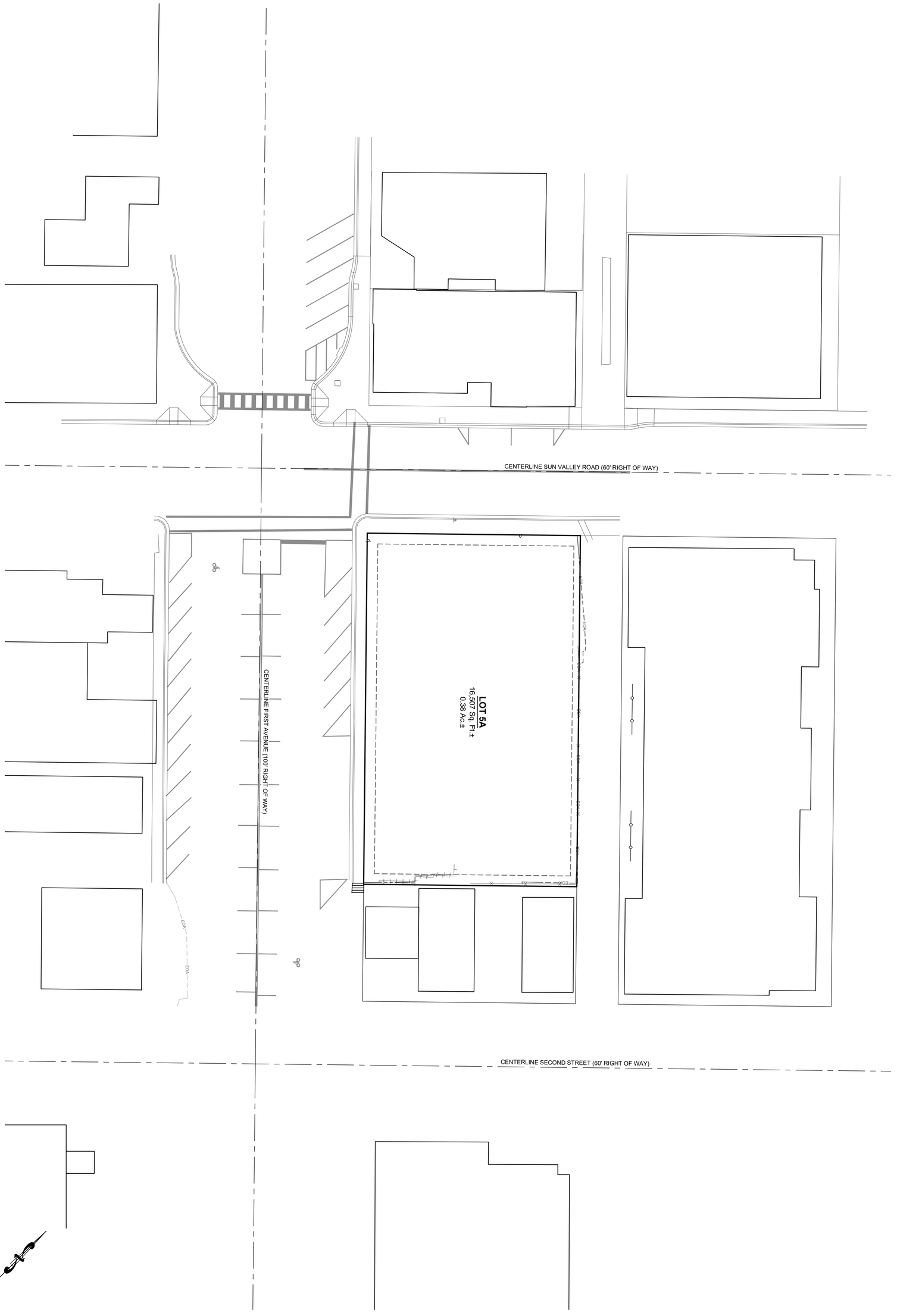

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NO	DATE	BY	REVISIONS

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Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
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FB: 18-07-01

MEP
DRAWN BY

SMF
CHECKED BY

NEIGHBORING BUILDINGS PLAN

LOT 5A, BLOCK 38, KETCHUM TOWNSITE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR HOLLIS REMPELTES ARCHITECTS

PROJECT INFORMATION
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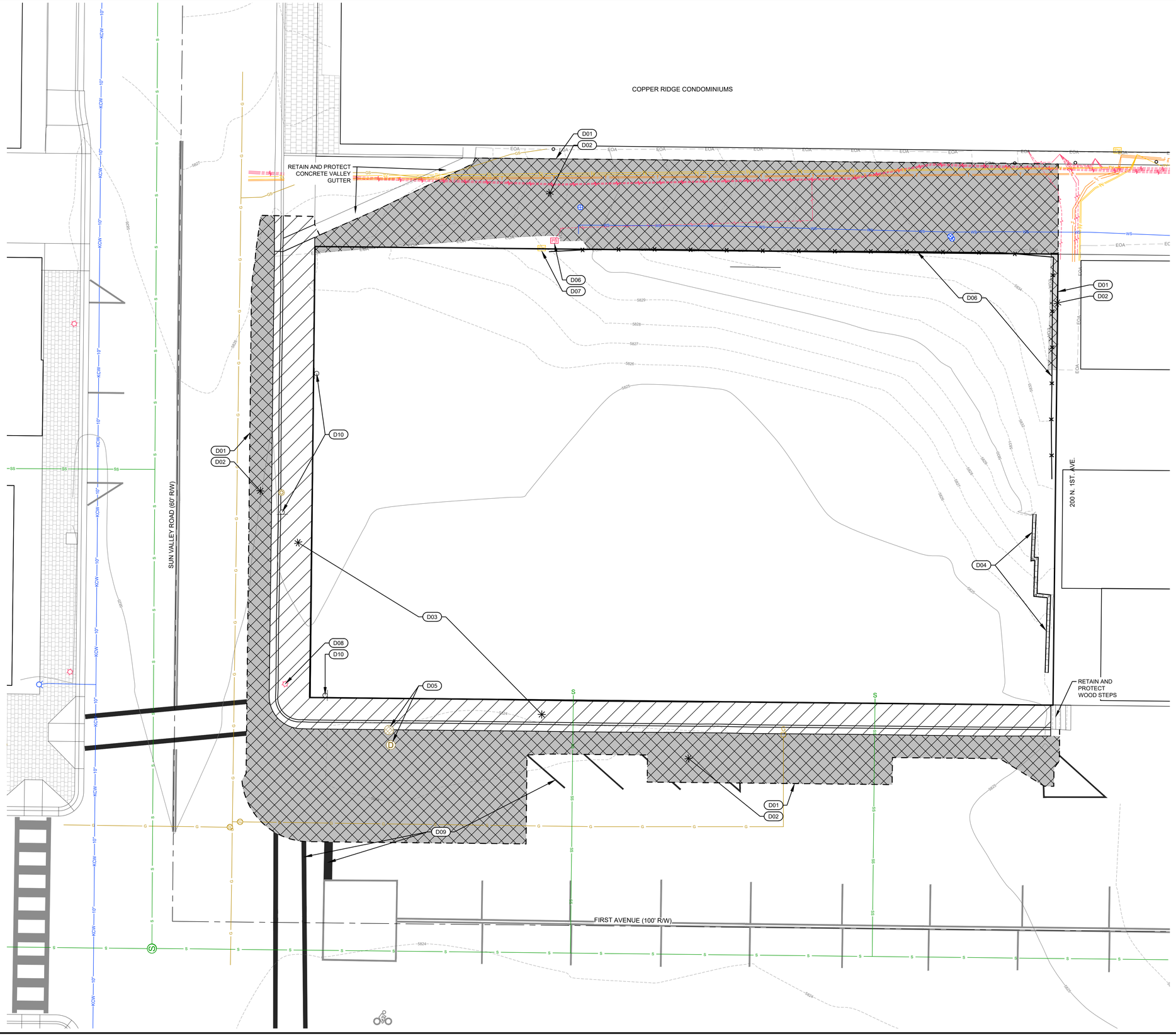

SITE DEMOLITION KEY NOTES

- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- D02 REMOVE AND DISPOSE OF ASPHALT.
- D03 REMOVE AND DISPOSE OF CONCRETE SIDEWALK, CURB AND GUTTER.
- D04 REMOVE AND DISPOSE OF RETAINING WALL.
- D05 REMOVE AND DISPOSE OF CATCH BASIN AND DRYWELL.
- D06 RELOCATE POWER BOX. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
- D07 RELOCATE TELEPHONE RISER. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
- D08 REMOVE STREET LIGHT. RETURN TO CITY OF KETCHUM. CONTRACTOR TO COORDINATE ACTIVITY WITH CITY OF KETCHUM.
- D09 OBLITERATE EXISTING ROAD MARKINGS.
- D10 REMOVE AND RETAIN SIGN FOR FUTURE USE.
- D11 REMOVE AND DISPOSE OF FENCE.

GRAPHIC SCALE
0 10 20
Scale in Feet

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE DEMOLITION PLAN

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

GALENA–BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

GALENA ELEVATION ABOVE SEA 5230 FEET BENCHMARK SURVEYING ENGINEERING PLANNING

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C0.90

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Curve Table					
Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.00'	4.19'	8°34'20"	S51°02'48"W	4.19'
C2	32.00'	5.42'	9°41'45"	S50°29'05"W	5.41'
C3	10.00'	15.72'	90°02'44"	S00°36'51"W	14.15'
C4	10.00'	8.69'	49°46'19"	S69°17'40"E	8.42'
C5	38.00'	33.01'	49°46'19"	S69°17'40"E	31.98'

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE PLAN / SITE GEOMETRY PLAN

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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DESIGNED BY: JCL
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Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
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GALENA ELEVATION ABOVE SEA 5236 FEET BENCH MARK

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

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1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
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3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C1.00

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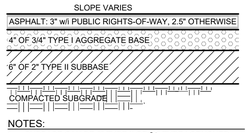
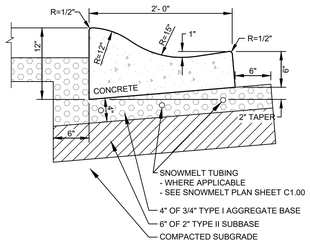


NOTES:
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 / C2.00 TYPICAL STREET ASPHALT SECTION
N.T.S.



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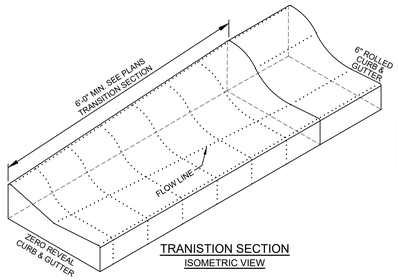
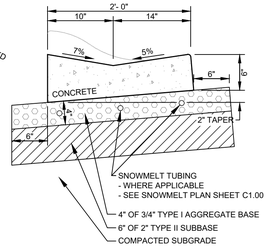
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
6. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2 / C2.00 HEATED 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.



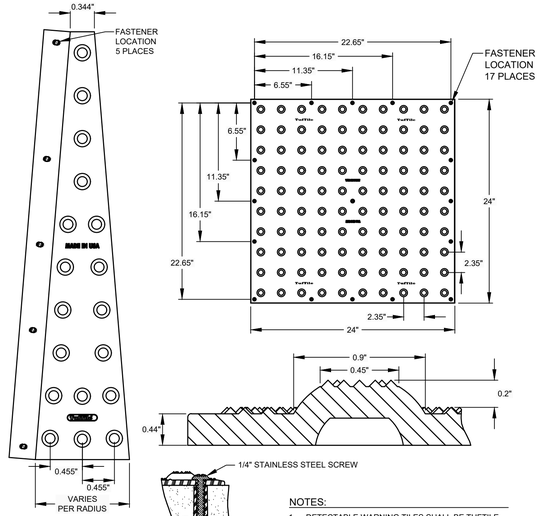
TRANISTION SECTION
ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER

NOTES:
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
6. SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3 / C2.00 TYPICAL HEATED ROLLED CURB TRANSITION DETAIL
N.T.S.

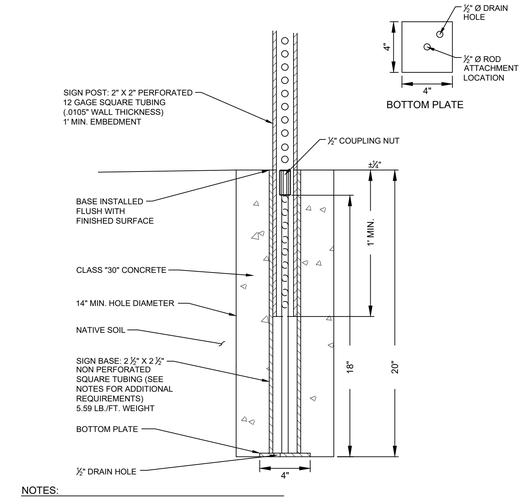


RADIUS - WEDGE TILE

ANCHOR DETAIL

NOTES:
1. DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
2. REFER TO DETAIL 8.
3. COLOR TO BE PATINA (NO FINISH).

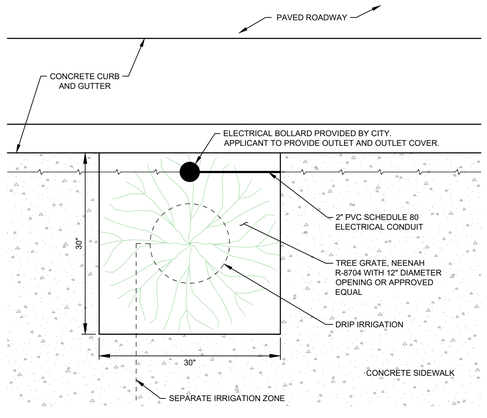
7 / C2.00 DETECTABLE WARNING PLATE
N.T.S.



NOTES:
1. BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
2. ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
3. ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
4. SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
5. CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS
2 ½" OUTSIDE TUBE STEEL (20" LENGTH)
2 ½" INSIDE TUBE STEEL
⅜" THICK
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
½" COLD ROLLED ROD (18" LENGTH)
½" COUPLING NUTS
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
4" X 4" X ¼" STEEL STRAP

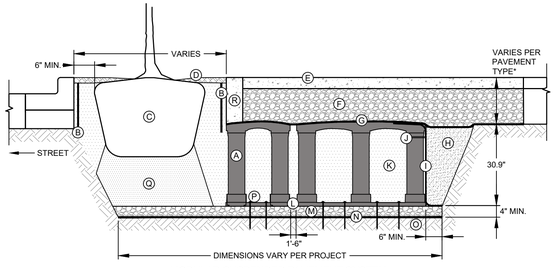
8 / C2.00 TYPICAL SIGN BASE
N.T.S.



NOTES:
1. TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
2. CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
3. APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
4. NO DIRECT BURIAL WIRE PERMITTED.
5. TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

PLAN VIEW

9 / C2.00 TREE WELL DETAILS
N.T.S.



MODULAR SUSPENDED PAVEMENT SYSTEM

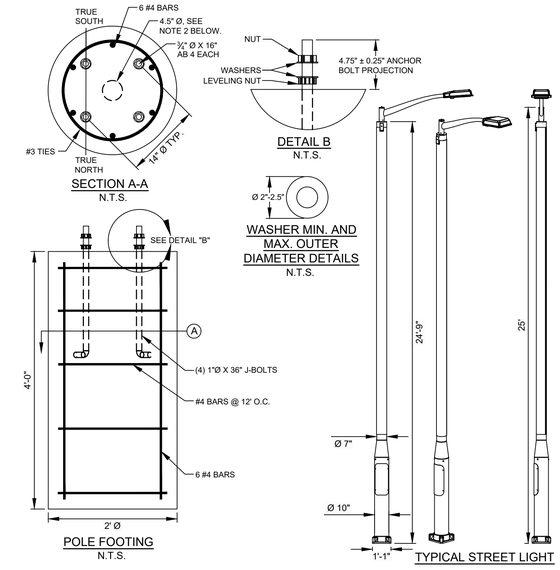
KEY PLAN:
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
- B. DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
- C. TREE ROOT PACKAGE, SIZE VARIES
- D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
- E. SURFACE TREATMENT, PER PROJECT
- F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
- G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK
- H. BACKFILL, PER PROJECT SPECIFICATIONS
- I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
- J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE
- K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR
- L. SILVA CELL BASE SLOPE, 10% MAX
- M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
- N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
- O. SUBGRADE, COMPACTED TO 95% PROCTOR
- P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
- Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR
- R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	+ AGGREGATE BASE COURSE
4" CONCRETE	+ 4" AGGREGATE
3" PAVER	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.6" PAVER	+ 5" CONCRETE

SECTION VIEW

NOTES:
1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



SECTION A-A
N.T.S.

DETAIL B
N.T.S.

WASHER MIN. AND MAX. OUTER DIAMETER DETAILS
N.T.S.

POLE FOOTING
N.T.S.

TYPICAL STREET LIGHT

NOTES:
1. STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
2. ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5' MIN. ABOVE THE BASE.
3. ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
4. GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
5. STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

10 / C2.00 TYPICAL STREET LIGHT
N.T.S.

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SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE IMPROVEMENT DETAIL SHEET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

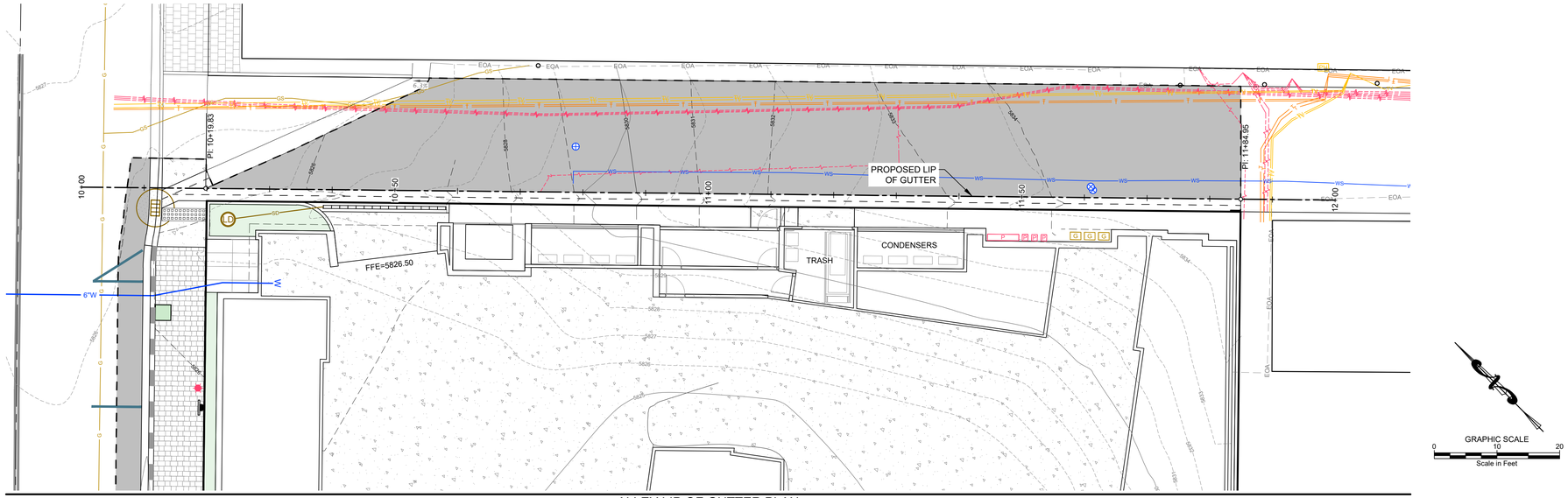
GALENA–BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
208.726.9512
www.benchmark-associates.com

GALENA ELEVATION ABOVE SEA LEVEL 9036 FEET BENCH MARK SURVEYING ENGINEERING PLANNING

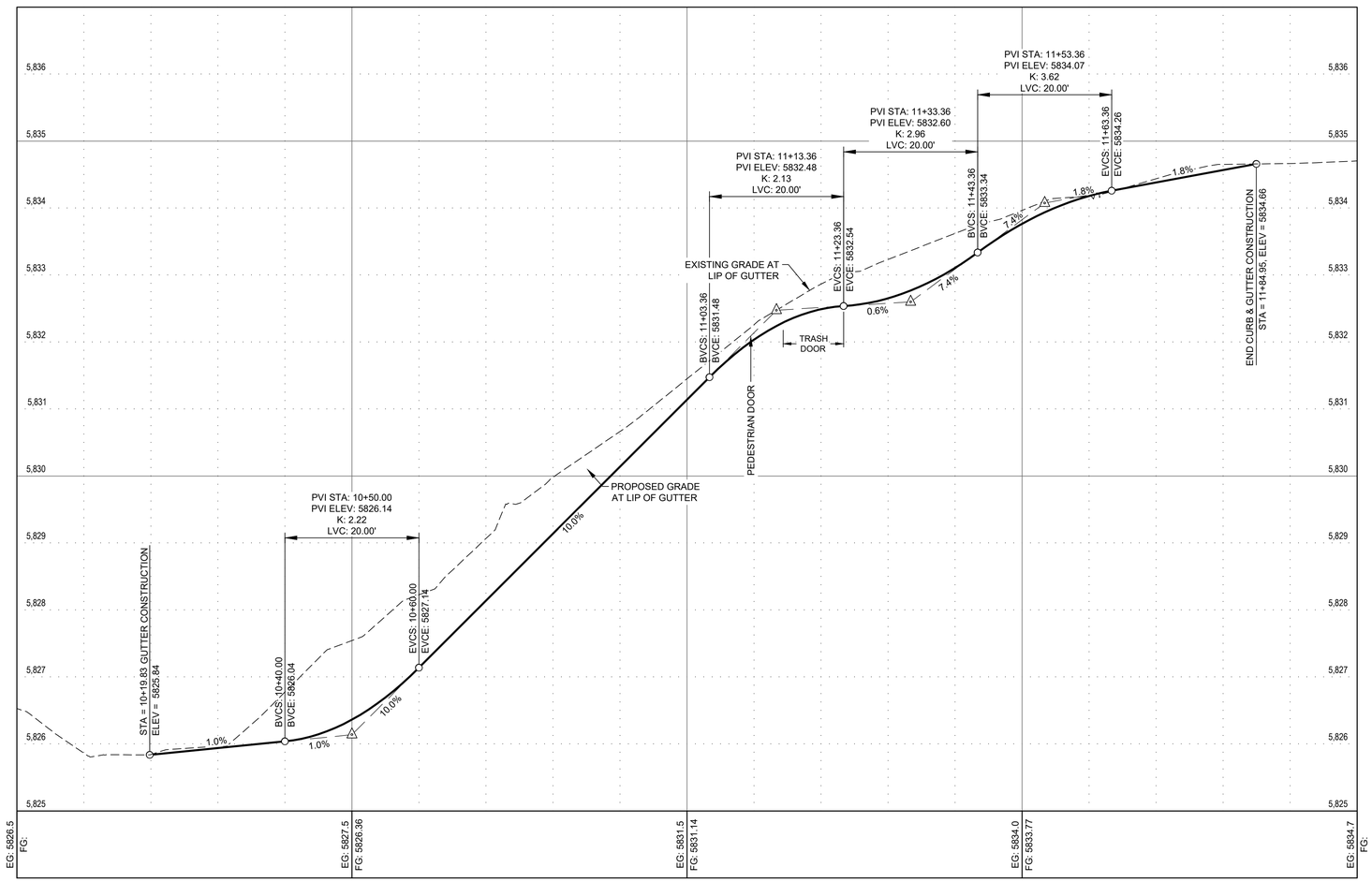
PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
3	08/23/24	JCL	ISSUE FOR DESIGN REVIEW

C2.00



ALLEY LIP OF GUTTER PLAN



ALLEY LIP OF GUTTER PROFILE

SCALE: 1"=10' H; 1"=1' V

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
ALLEY LIP OF GUTTER PLAN AND PROFILE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY:	JCL
DRAWN BY:	MS
CHECKED BY:	JCL
SURVEY DATE:	

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Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
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GALENA ELEVATION ABOVE SEA 9230 FEET

C2.10

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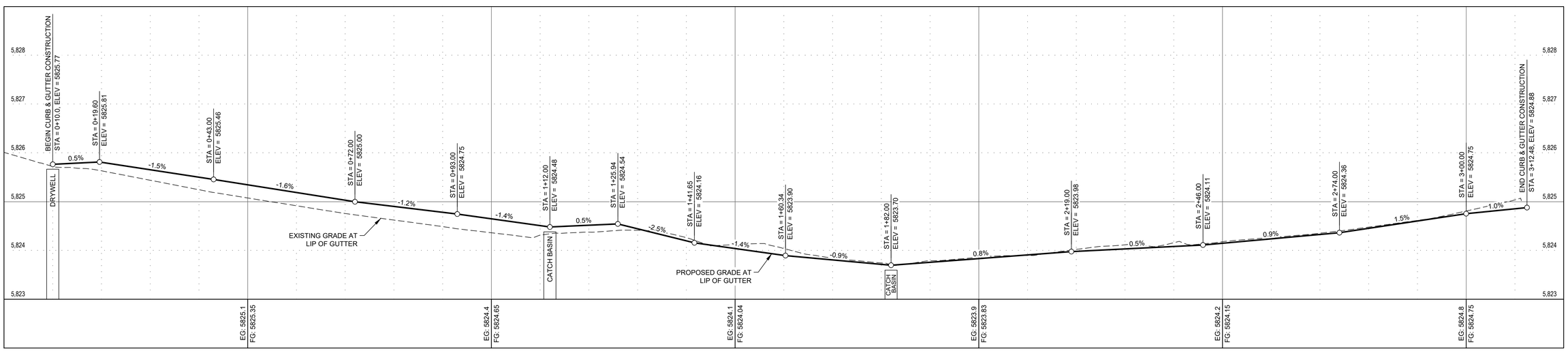
STREET SIDE LIP OF GUTTER PLAN



STREET SIDE LIP OF GUTTER PROFILE
SCALE: 1"=10' H; 1"=1' V

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
STREET SIDE LIP OF GUTTER PLAN AND PROFILE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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DESIGNED BY: JCL
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Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

SURVEYING ENGINEERING PLANNING GALENA ELEVATION ABOVE SEA 9230 FEET BENCHMARK

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

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SAWTOOTH SERENADE (131 E SUN VALLEY RD)
SITE GRADING PLAN

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
G:\BM\A\ketchum village\block 38\Lds 5-7\6376-03 Setenade\dwg\Construction\6376-03 ENG 2024-07-15.dwg 09/23/24 10:21:09 AM

COPPER RIDGE CONDOMINIUMS

CONTRACTOR SHALL EXPOSE DRY UTILITIES TO CONFIRM DEPTH. CONTRACTOR SHALL COORDINATE WITH UTILITY FRANCHISES FOR PROPER UTILITY DEPTH AND ADJUST UTILITIES AS NECESSARY.

SUN VALLEY ROAD (60' R/W)

FIRST AVENUE (100' R/W)

200 N. 1ST. AVE.

20' VERTICAL CURVE

LIP 25.84 STA 0+19.93
LIP 25.99 STA 0+25.00
LIP/BVC 26.04 STA 0+40.00
LIP 26.15 STA 0+42.00
LIP/PVI 26.36 STA 0+50.00
LIP 26.70 STA 0+52.00
LIP/EVC 27.15 STA 0+60.00
LIP/BVC 31.48 STA 11+03.95
LIP 31.82 STA 11+08.00
LIP/PVI 32.24 STA 11+13.36
LIP 32.45 STA 11+18.00
LIP/EVC 32.54 STA 11+23.36
LIP 32.61 STA 11+28.36
LIP/PVI 32.77 STA 11+33.36
LIP 33.01 STA 11+38.36
LIP/EVC 33.34 STA 11+43.36
LIP 33.67 STA 11+48.36
LIP/PVI 33.84 STA 11+53.36
LIP 34.13 STA 11+58.36
LIP/EVC 34.26 STA 11+63.36
LIP/END 34.65 STA 11+84.35

LIP/PT 25.77 STA 0+10.00
LIP/PRC 25.79 STA 0+14.19
LIP/PT 25.81 STA 0+18.60
LIP 25.46 STA 0+43.00
LIP 25.00 STA 0+72.00
LIP 24.75 STA 0+93.00
LIP 24.48 STA 1+12.00
LIP/HP 24.54 STA 1+25.94
TC/TP 24.57
TC/TP 24.88
LIP/PT 24.16 STA 1+46.16
LIP/PC 24.02 STA 1+51.60
LIP/PT 23.78 STA 1+70.00
LIP/LP 23.70 STA 1+82.00
LIP 23.98 STA 2+00.00
LIP 24.10 STA 2+04.10
LIP 24.36 STA 2+14.10
LIP/PT 24.65 STA 2+29.80

FFE=5826.50
FFE 31.87
FFE 32.50
FFE 32.50
FFE 25.00
TRASH
CONDENSERS
6"W
BOW 26.24
BOW 24.98
BOW 24.78
BOW 24.25
BOW 24.46
BOW 24.93
SEE LANDSCAPE PLANS FOR ALL ON-SITE SURFACE, PLANTING MATERIALS, AND DETAILS.
(typ. of 3) S06b
RETAIN AND PROTECT WOOD STEPS
S01 S02a S02b S02c S02d S03a S04 S05a S05b S05c S05d S06a S06b S08 S09 S10 S11

SITE IMPROVEMENT KEY NOTES

- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C2.00.
- S02 CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" ROLLED C&G PER DETAIL 2a / C2.00.
  - b. CURB TRANSITION (6" ROLLED TO ZERO REVEAL) PER DETAIL 3 / C2.00.
  - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 3 / C2.00.
  - d. 24" WIDE VALLEY GUTTER. PER DETAIL 4 / C2.00.
- S03 CONSTRUCT PAVER SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C2.00.
- S04 CONSTRUCT CONCRETE SIDEWALK PEDESTRIAN APPROACHES WITH CITY APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING PLAT. REFER TO DETAIL 6 / C2.00 FOR CONCRETE AND DETAIL 7 / C2.00 FOR TRUNCATED DOMES.
- S05 INSTALL ROAD STRIPING / PAINT
  - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
  - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
  - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- S06 SIGNS:
  - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH THE CITY. REFER TO DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
  - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH THE CITY. REFER DETAIL 8 / C2.00 FOR SIGN BASE CONFIGURATION.
- S07 RESET UTILITY BOX LID ELEVATION.
  - a. POWER HANDHOLE ORIGINAL RIM = 58 NEW RIM = 58
- S08 INSTALL STREET LIGHT. LOCATIONS SHOWN HEREON ARE FOR GRAPHICAL REPRESENTATION ONLY. ARCHITECT SHALL SUBMIT AN ILLUMINATION ANALYSIS FROM MH COMPANIES TO VERIFY STREET LIGHT PLACEMENTS. REFER TO THE CITY OF KETCHUM STANDARD STREET LIGHT DETAIL. DETAIL 10 / C2.00.
- S09 INSTALL KETCHUM STANDARD TREE WELL. REFER TO DETAIL 9 / C2.00.
- S10 CONSTRUCT CONCRETE SIDEWALK. REFER TO DETAIL 6 / C2.00.
- S11 INSTALL CITY OF KETCHUM STANDARD TRASH CAN.

A MATCH EXISTING LINES AND GRADES

LEGEND

LIP 30.71 Spot Elevation
2.2% Proposed Grade
3.3% Existing Grade

ABBREVIATIONS

BOW = BACK OF WALK
EG = EXISTING GRADE
FF = FINISHED FLOOR
FFE = FINISHED FLOOR AT ENTRY
FG = FINISHED GRADE
LF = LINEAL FEET
LIP = LIP OF GUTTER
HP = HIGH POINT
PC = POINT OF CURVATURE
PCC = POINT OF COMPOUND CURVE
POC = POINT ON CURVE
PT = POINT OF TANGENT
TA = TOP OF ASPHALT
TBC = TOP BACK OF CURB
TC = TOP OF CONCRETE
TP = TOP OF PAVERS
TG = TOP OF GRATE

GRAPHIC SCALE
0 10 20
Scale in Feet

PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY:	JCL
DRAWN BY:	MS
CHECKED BY:	JCL
SURVEY DATE:	

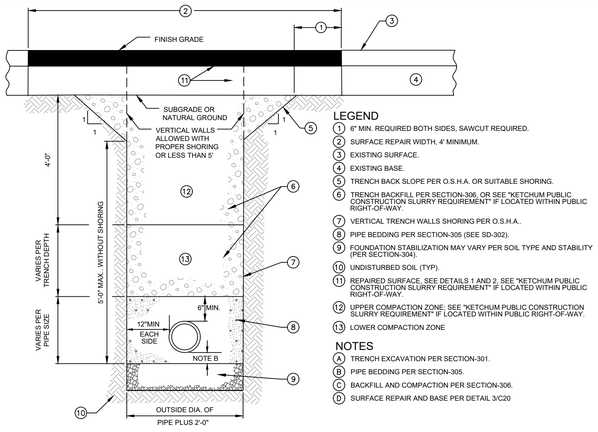
PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C2.30

GALENA – BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
208.726.9512
www.benchmark-associates.com

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering.



LEGEND

1. 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
2. SURFACE REPAIR WIDTH, 4' MINIMUM.
3. EXISTING SURFACE.
4. EXISTING BASE.
5. TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
6. TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
7. VERTICAL TRENCH WALLS SHORING PER O.S.H.A..
8. PIPE BEDDING PER SECTION-305 (SEE SD-302).
9. FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
10. UNDISTURBED SOIL (TYP).
11. REPAIRED SURFACE, SEE DETAILS 1 AND 2, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
12. UPPER COMPACTION ZONE; SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
13. LOWER COMPACTION ZONE

NOTES

- (A) TRENCH EXCAVATION PER SECTION-301.
- (B) PIPE BEDDING PER SECTION-305.
- (C) BACKFILL AND COMPACTION PER SECTION-306.
- (D) SURFACE REPAIR AND BASE PER DETAIL 3/C20

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

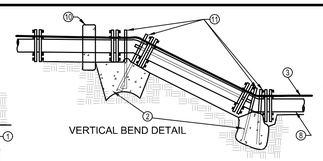
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

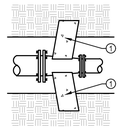
COARSE AGGREGATE (¾" MINUS)	:	2,600 LBS
SAND	:	800 LBS
PORTLAND CEMENT	:	94 LBS
WATER	:	11 GAL (MAX.)

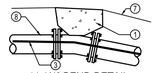
WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

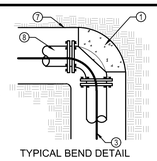
1 / C3.00 TYPICAL TRENCH SECTION
N.T.S.

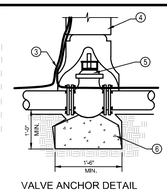






DO NOT LOCATE IN CONCRETE BLOCKING





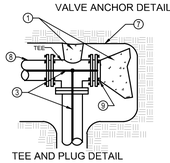


TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

SOIL BEARING PRESSURE	= 2000 PSF
WORKING PRESSURE RATING	= 150 PSI
SAFTEY FACTOR	= 1.5

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH* TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
** OR TEE ACTING AS A 90° BEND
***THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

LEGEND

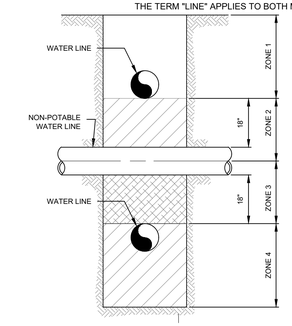
1. FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
2. FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
3. NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
4. C.I. VALVE BOX WITH COVER.
5. C.I. GATE VALVE (M.J.).
6. PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2"Ø MIN REBAR.
7. TRENCH SIDE.
8. PIPE.
9. PLUG.
10. HAMMERHEAD THRUST BLOCKING.
11. ANCHOR BARS (1/2"Ø MIN)

NOTES:

- (A) ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.
- (B) COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.
- (C) SEE CHART FOR MIN THRUST BLOCKS BEARING AREAS.
- (D) ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.
- (E) PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
- (F) NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
- (G) ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.

2 / C3.00 THRUST BLOCK AND ANCHOR DETAILS
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

POTABLE WATER LINE [PWL] ABOVE NON-POTABLE WATER LINE [NPWL]

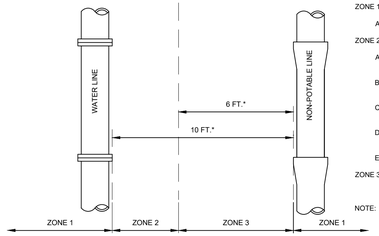
ZONE 1:
- A) PWL AND NPWL MUST BE SEPARATED BY AT LEAST 18", AND
- B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

ZONE 2:
- A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING, AND EITHER
- B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING, OR
- C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

POTABLE WATER LINE [PWL] BELOW NON-POTABLE WATER LINE [NPWL]

ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



* DISTANCES ARE HORIZONTAL

HORIZONTAL SEPARATION REQUIREMENTS

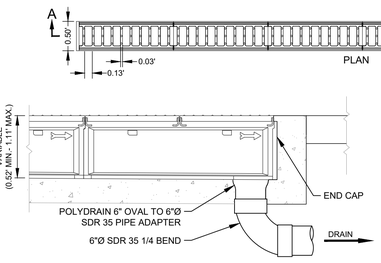
ZONE 1: (GREATER THAN 10-FEET HORIZONTAL SEPARATION):
- A) NO SPECIAL REQUIREMENTS.

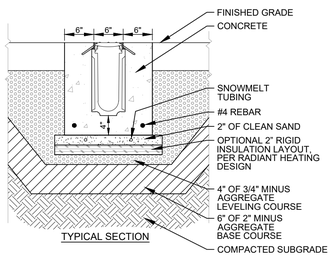
ZONE 2: (BETWEEN 6-FEET AND 10-FEET HORIZONTAL SEPARATION):
- A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
- B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS, AND
- C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE PWL, AND EITHER
- D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS, AND PRESSURE TESTED FOR WATER TIGHTNESS, OR
- E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.

ZONE 3: (LESS THAN 6-FEET HORIZONTAL SEPARATION): NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

3 / C3.00 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

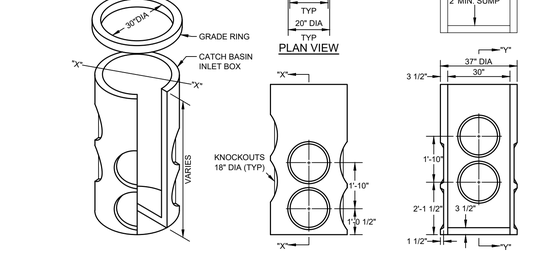




NOTES

1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
2. THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
3. CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
4. TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

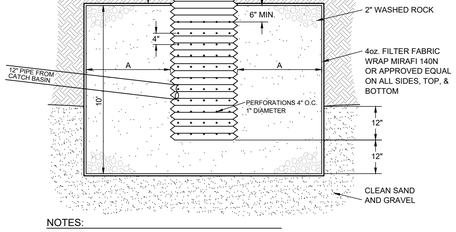
4 / C3.00 TRENCH DRAIN DETAIL
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



CATCH BASIN INSTALLATION NOTES:

1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5 / C3.00 30" DIAMETER CATCH BASIN
N.T.S.

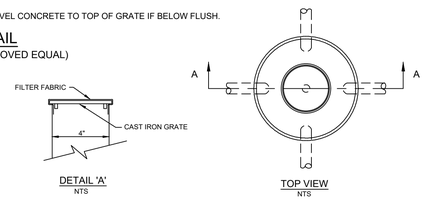


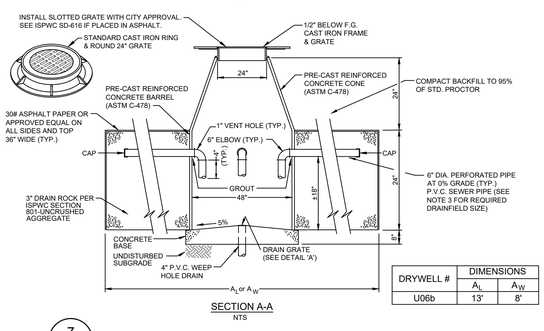
NOTES:

1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

DRYWELL #	DIMENSION "A"
U06a	15'

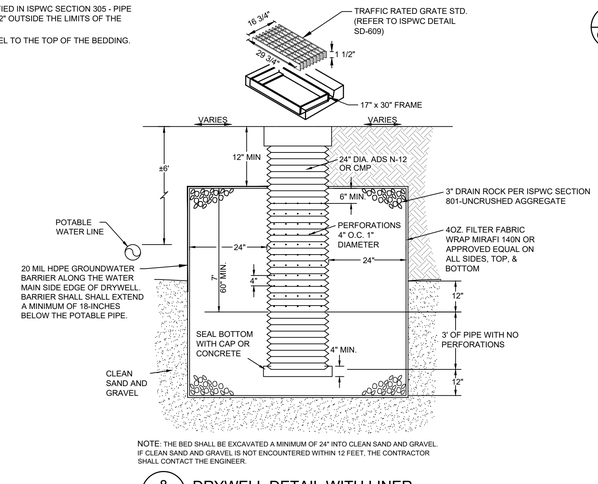
6 / C3.00 DRYWELL DETAIL
N.T.S.





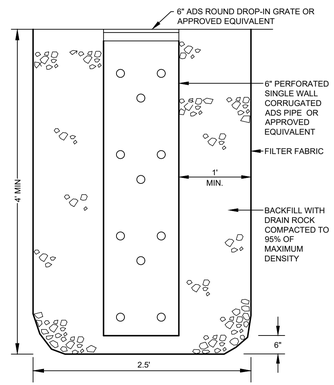
DRYWELL #	DIMENSIONS A_L	A_W
U06b	13'	8'

7 / C3.00 MANHOLE STYLE DRYWELL DETAIL
N.T.S.



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE ENGINEER.

8 / C3.00 DRYWELL DETAIL WITH LINER
N.T.S.



9 / C3.00 LANDSCAPE / PLANTER DRAIN
N.T.S.

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
DETAIL SHEET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
G:\BM\A\ketchum village\block 38\Lots 5-7\6376-03 Serenade\dwg\Construction\6376-03 ENG 2024-07-15.dwg 09/23/24 10:21:09 AM

PROFESSIONAL ENGINEER REGISTERED 7986 09/23/24 STATE OF IDAHO JEFF C LOOMIS

DESIGNED BY: JCL
DRAWN BY: MS
CHECKED BY: JCL
SURVEY DATE:

GALENA – BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

SURVEYING ENGINEERING PLANNING
GALENA ELEVATION ABOVE SEA 5930 FEET
BENCHMARK

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
1	08/11/22	SMF	ISSUE FOR DESIGN REVIEW
2	07/13/23	JCL	ISSUE FOR DESIGN REVIEW
3	09/23/24	JCL	ISSUE FOR DESIGN REVIEW

C3.00

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena-Benchmark Engineering.

COPPER RIDGE CONDOMINIUMS

CONTRACTOR SHALL EXPOSE DRY UTILITIES TO CONFIRM DEPTH. CONTRACTOR SHALL COORDINATE WITH UTILITY FRANCHISES FOR PROPER UTILITY DEPTH AND ADJUST UTILITIES AS NECESSARY.

CONSTRUCT ASPHALT SURFACE REPAIR

U01 U02 U06c U11 U06d U10 U08 U09

SEE PLUMBING PLAN FOR WATER SERVICE CONTINUATION

TRASH

CONDENSERS

SEE PLUMBING PLAN FOR SEWER SERVICE CONTINUATION

U06b U07 U05 (45 LF) U04b U05 (9 LF) U06a U04a U11 U11 U03a U03b U03a

SUN VALLEY ROAD (60' R/W)

200 N. 1ST. AVE.

FIRST AVENUE (100' R/W)

UTILITY & STORM IMPROVEMENT KEY NOTES

- U01 INSTALL 10"X6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE WITH THRUST BLOCKS REFER TO DETAIL 2 / C3.00.
- U02 INSTALL 6" C-900 PVC WATER SERVICE. REFER TO TRENCHING DETAIL 1 / C3.00 AND POTABLE/NON-POTABLE SEPARATION DETAIL 3 / C3.00.
- U03 SEWER SERVICE:
  - a. UTILIZE EXISTING SEWER SERVICE.
  - b. REALIGN SEWER SERVICE. INSTALL TRAFFIC RATED CLEANOUTS AT EACH BEND. REFER TO ISPWC STANDARD DRAWING SD-506A.
- U04 INSTALL CATCH BASIN. SEE DETAIL 4 / C3.00.
  - a. RIM = 5824.13 I.E.(OUT) = 5821.13
  - b. RIM = 5823.57 I.E.(IN) = 5820.30 I.E.(OUT) = 5820.20
- U05 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO TRENCHING DETAIL 1 / C3.00
- U06 DRYWELL:
  - a. INSTALL 15' DIAMETER DRYWELL SEE DETAIL 5 / C3.00. RIM = 5823.92 I.E.(IN) = 5819.90
  - b. INSTALL 8'x14' RECTANGULAR DRYWELL. CONNECT ALL FLOOR, FOUNDATION, ROOF, AND TRENCH DRAINS TO THIS DRYWELL. SEE DETAIL 5 / C3.00. RIM = 5824.9 I.E.(IN) = 5820.9
  - c. INSTALL 6' DIAMETER DRYWELL WITH HDPE LINER SEE DETAIL 8 / C3.00. RIM = 5825.57
  - d. INSTALL LANDSCAPE PLANTER DRYWELL. SEE DETAIL 9 / C3.00 RIM = MATCH PLANTER FINISHED GRADES
- U07 INSTALL 1" PVC IRRIGATION LINE. SEE IRRIGATION PLAN FOR CONNECTION DETAILS.
- U08 INSTALL GAS SERVICE. BY OTHERS.
- U09 INSTALL POWER SERVICE. BY OTHERS.
- U10 INSTALL POWER TRANSFORMER. BY OTHERS.
- U11 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL U06b. REFER TO DETAIL 4 / C3.00.

GRAPHIC SCALE 0 10 20 Scale in Feet

SAWTOOTH SERENADE (131 E SUN VALLEY RD)
DRAINAGE AND UTILITY PLAN

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: THIELSEN ARCHITECTS

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G:\BM\A\ketchum village\block 38\Lots 5-7\6376-03 Serenade\dwg\Construction\6376-03 ENG 2024-07-15.dwg 09/23/24 10:21:09 AM

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SURVEYING ENGINEERING PLANNING
GALENA ELEVATION ABOVE SEA 9230 FEET
BENCHMARK

PURPOSE: **DESIGN REVIEW - REVISION 2 (09/23/2024)**

NO	DATE	BY	REVISIONS
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C3.10

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Autumn Blaze Maple

Flowering Crab

Tor Birchleaf Spirea

Snowberry

Fritschianna Spirea

Kinnickkinnick

General Notes

1. Base map information taken from survey by Galena Engineering dated 07/29/20 and from on-site information. Architectural information provided by Thielsen Architects dated 07/19/23. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- Stone Pavers
- Heated Sidewalk Pavers
- Seat Wall

Aerial Image: Blaine County GIS 2017

Plant Legend

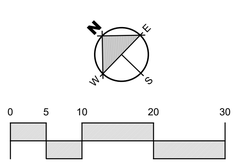
Symbol	Quantity	Species	Size
		Street Trees	
	6	*Autumn Blaze Maple*	*2" - 3" Cal.*
		Deciduous Trees	
	9	*Flowering Crab*	*2" - 3" Cal.*
		Deciduous Shrubs	
	26	*Peking Cotoneaster* *Snowberry* *Fritschiana Spirea* *Tor Birchleaf Spirea*	*5 Gal.*
		Groundcover & *Vines*	
	600 Sq. FT	*Kinnickinnick* *Creeping Oregon Grape* *Virginia Creeper*	*1 Gal.*
		Ornamental Grasses	
	11	*Blue Oat Grass*	*1 Gal.*
	8	*Karl Foerster Grass*	

Creeping Oregon Grape

Virginia Creeper

Blue Oat Grass

Karl Foerster Grass



Scale: 1" = 10' - 0"

Sawtooth Serenade

EGGERS ASSOCIATES, P.A.
landscape architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 955
Ketchum, ID. 83340

Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions:	Date:
Design Review	09/30/22
RVSD	04/19/23
RVSD	07/24/23
RVSD	07/19/24

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Sheet Title: Landscape Plan Lvl 1

Sheet No: L3.0

Peking Cotoneaster

Snowberry

Fritschianna Spirea

Tor Birchleaf Spirea

Blue Oat Grass

Karl Foerster Grass

Virginia Creeper

General Notes

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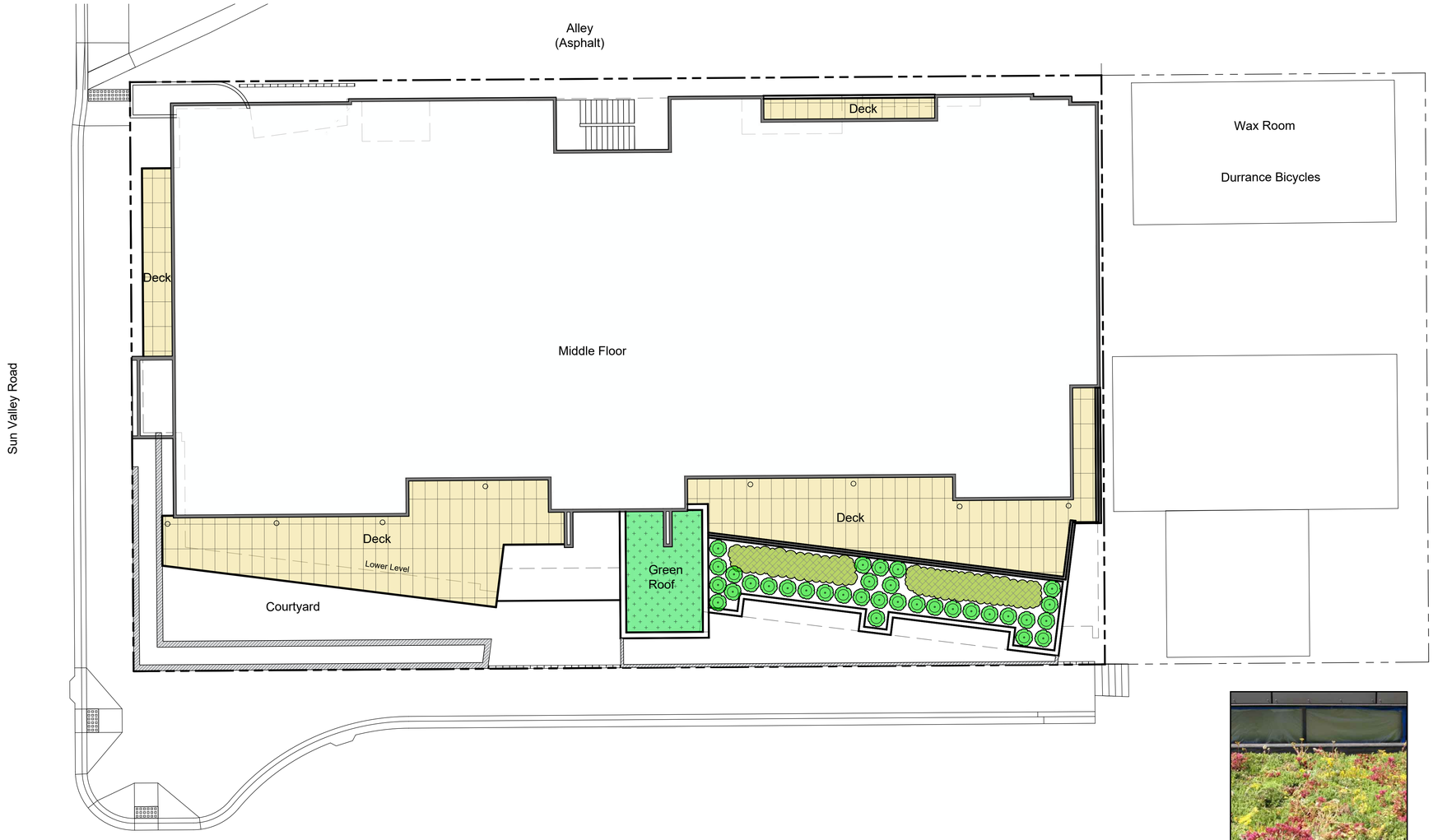
Plan Legend

Property Line

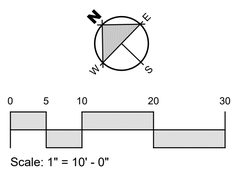
Stone Pavers



Plant Legend

Symbol	Quantity	Species	Size
		Deciduous Shrubs	
	32	*Peking Cotoneaster* *Snowberry* *Fritschiana Spirea* *American Compact Cranberry*	*5 Gal.*
		Plants & Groundcover	
	200 Sq. FT	*Blue Oat Grass* *Karl Foerster Grass* *Virginia Creeper*	*5 Gal.*
		Green Roof	
	260 Sq. FT	*Sedums*	*Trays*

Sedums



Scale: 1" = 10' - 0"

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landscape architecture
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RVSD	07/24/23
RVSD	07/19/24

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Sheet Title:
Landscape
Plan Lvl 2

Sheet No:
L3.1

Tor Birchleaf Spirea

General Notes

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Plan Legend

Property Line

Stone Pavers

Plant Legend

Symbol	Quantity	Species	Size
		Deciduous Shrubs	
	20	*Tor Birchleaf Spirea*	*5 Gal.*

0 5 10 20 30

Scale: 1" = 10' - 0"

STATE OF IDAHO · ROBERT J. EGGERS · LICENSED LANDSCAPE ARCHITECT · LA - 212

Sawtooth Serenade

EGGERS ASSOCIATES P.A.
landscape architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 955
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Sawtooth Serenade
260 N 1st Ave
Ketchum, Idaho

Job No: 22.33

Scale: 1" = 10' - 0"

Issue/Revisions:	Date:
Design Review	09/30/22
RVSD	04/19/23
RVSD	07/24/23
RVSD	07/19/24

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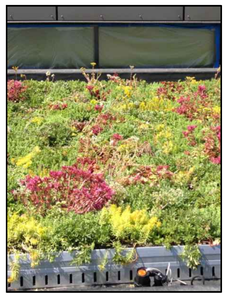
Sheet Title: Landscape Plan Lvl 3

Sheet No: L3.2



Sedums

General Notes

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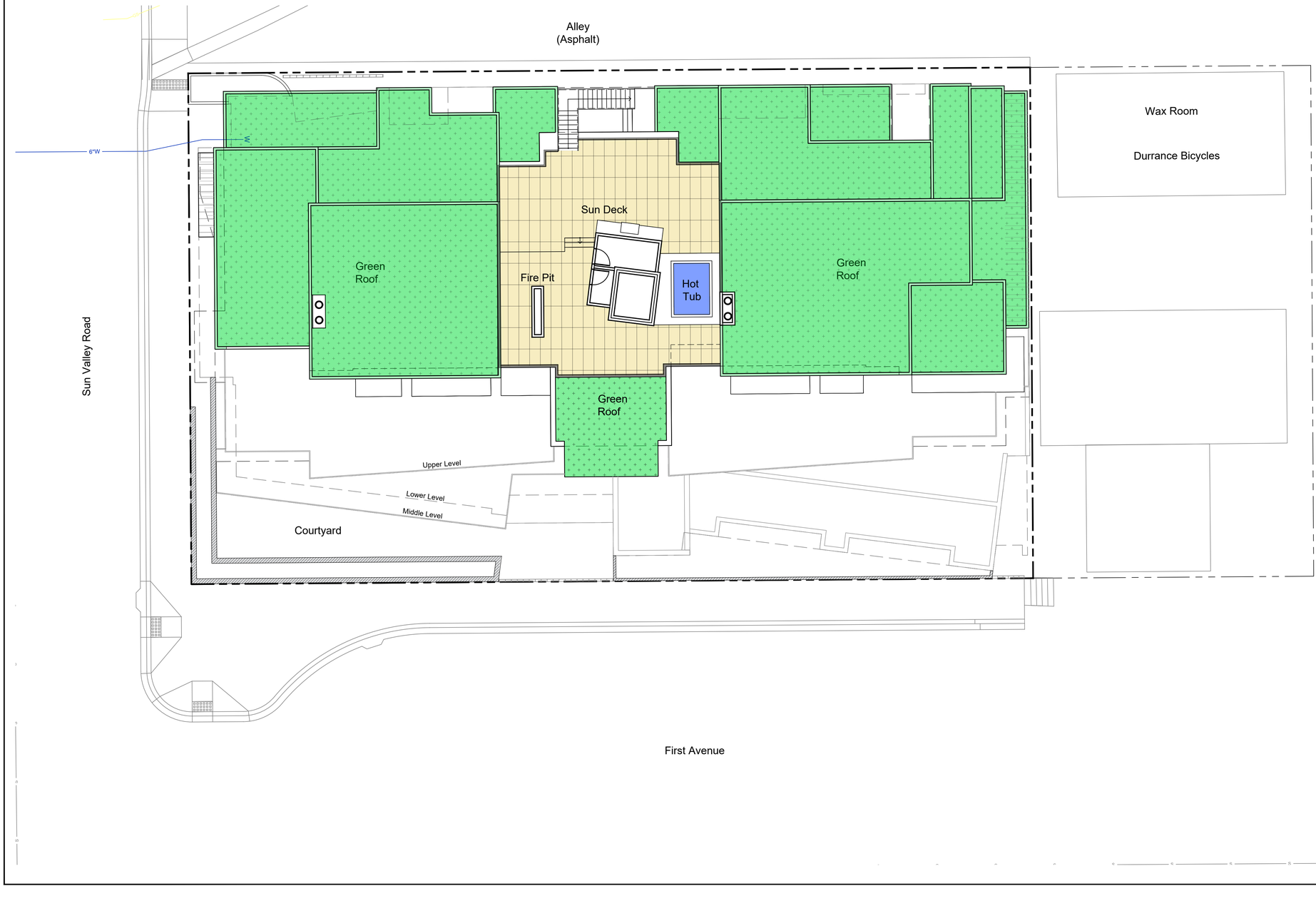
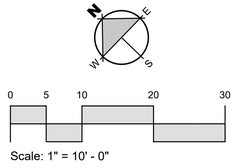
Plan Legend

- Property Line
- Stone Pavers

Plant Legend

Symbol	Quantity	Species	Size
		Green Roof	
	6,755 Sq. FT	*Sedums*	*Trays*





Scale: 1" = 10' - 0"

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RVSD	07/24/23
RVSD	07/19/24

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Sheet Title: Landscape Plan Roof

Sheet No: L3.3

City of Ketchum

ATTACHMENT C:

Story Pole and Staking Information

SAWTOOTH SERENADE
STORY POLE & STAKING PLAN

LOCATED WITHIN T.4 N., R.18 E. SECTION 18, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: THIELSEN ARCHITECTS

PROJECT INFORMATION
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PRELIMINARY
NOT FOR
CONSTRUCTION

DESIGNED BY:
DRAWN BY:
CHECKED BY:
SURVEY DATE: 01/30/25

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GALENA ELEVATION ABOVE SEA 9230 FEET
SURVEYING ENGINEERING PLANNING
BENCHMARK

NO	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR REVIEW

C0.20

GRAPHIC SCALE
0 10 20
Scale in Feet

COPPER RIDGE CONDOMINIUMS

COPPER RIDGE CONDOMINIUMS

CENTERLINE SUN VALLEY ROAD (80' RIGHT OF WAY)
N44° 58' 15"E 300.18'

SUN VALLEY ROAD (60' R/W)

20' VERTICAL CURVE

VALLEY GUTTER

BLOCK 38

S44° 24' 19"E 164.95'

FFE=5826.50

CONDENSERS

TRASH

LOT 5A
16,507 Sq. Ft.±
0.38 Ac.±

LOT 8

200 N. 1ST. AVE.

N45° 39' 30"E 100.08'

N45° 38' 13"E 100.09'

30'

APPROX. STORY POLE LOCATION

13'

25.00

50'

N44° 24' 31"W 164.91'

WOOD STEPS

FIRST AVENUE (100' R/W)

CENTERLINE FIRST AVENUE (100' RIGHT OF WAY)

N44° 24' 31"W 279.86'

SEWER MANHOLE
RIM ELEV. = 5824.61
INV = 5817.56

SEWER MANHOLE
RIM ELEV. = 5830.01
INV = 5818.51

PKT #5069 BLDG COR
PKT #5070 BLDG COR
PKT #5071 BLDG COR
PKT #5072 BLDG COR
PKT #5073 BLDG COR
PKT #5074 BLDG COR
PKT #5075 BLDG COR
PKT #5076 BLDG COR
PKT #5077 BLDG COR
PKT #5078 BLDG COR
PKT #5079 BLDG COR
PKT #5080 BLDG COR
PKT #5081 BLDG COR
PKT #5086 BLDG COR
PKT #5087 BLDG COR

3825.4 BM (R+B) +46.80

3824.8 NG +39.2

3824.4 NG +18.1

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City of Ketchum

ATTACHMENT D:

Dimensional Standards Review

PROJECT NAME: Sawtooth Serenade
DESIGN REVIEW FILE NUMBER: P24-027
ADDRESS: 260 N 1st Ave
ZONE DISTRICT: CC-2

Zoning and Dimensional Standards Analysis				
Compliant			**Ketchum Municipal Code Standards and Staff Comments**	
Yes	**No**	**N/A**	**KMC §**	**Standards and Staff Comments**
☒	☐	☐	**17.12.030**	**Minimum Lot Area**
			Staff Comments	**Permitted**: 5,500 square feet **Existing:** 16,507 SF (Per Sheet C0.20)
☒	☐	☐	**17.12.030**	**FAR**
			Staff Comments	**Permitted FAR:** 1.0 **Permitted FAR with Community Housing:** 2.25 **Proposed:** Gross Square Footage – 23,906 SF (Per Sheet A1.1-A1.4) Total Lot Area – 16,507 SF (per sheet C0.20) FAR – 1.45 Community Housing Mitigation Calculation: Permitted Gross Square Feet (1.0 FAR): 16,507 SF Proposed Gross Square Feet: 23,906 SF Increase Above Permitted FAR: 7,399 SF 20% of Increase: 1,480 SF Net Livable (15% Reduction): 1,258 SF Applicant proposes to meet the community housing contribution with a payment in-lieu of housing for the 1,258 SF. 1,258 SF x $550 = **$691,900**
☒	☐	☐	**17.12.030**	**Minimum Building Setbacks**

			Staff Comments	**Permitted:** Front (N 1st Ave): 5 feet average Street Side (north): 5 feet average Side (Interior Lot Line/south): 0 feet Rear (Alley/east): 3 feet **Proposed ground floor:** Per Sheet A12 (middle floor on Sheet A13, upper floor on Sheet A14) Front (N 1st Ave): 11.06 feet Street Side (north): 6 feet Side (Interior Lot Line/south): 0 feet Rear (Alley/east): 3 feet
☒	☐	☐	**17.12.030**	**Building Height**
			Staff Comments	**Permitted:** 42 feet Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk). **Proposed:** Per Sheet A8.1 Height on 1st Street Side: 42 feet Height on Alley Side: 42 feet Non-habitable structures (elevator/stairwell): 10 feet above the façade wall

☒	☐	☐	**17.125.030H**	**Curb Cut**
			Staff Comments	**Permitted:** A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking. **Proposed:** The subject property has two street frontages along N 1st Ave and Sun Valley Rd. All access to proposed off street parking is being accessed from the alley between N 1st Ave and N Washington Ave. Therefore, no street frontage is devoted to access off street parking.
☒	☐	☐	**17.125.040**	**Parking Spaces**
			Staff Comments	**Permitted:** For residential multi-family dwelling units in the Community Core Units 750 square feet or less – 0 spaces Units 751 SF to 2,000 SF – minimum of 1 space Units 2,001 SF and above – minimum of 2 spaces Bicycle Rack Requirements: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use. At a minimum, one bicycle parking rack shall be required per development. The project proposes a total of 2 dwelling units: Res Unit 1 – 8,375 SF – 2 spaces required Res Unit 2 – 8,806 SF – 2 space required Total: 4 spaces required **Proposed:** 5 parking spaces within the garage on the ground floor of the development (Per Sheet A2) Six bicycle racks are proposed at the entrance on N 1st Ave. Each bicycle rack can hold two bicycles.
☒	☐	☐	**17.132**	**Lighting**
			Staff	**Permitted:**

			Comments	Color Temperature - All light fixtures must be 2,700 kelvins or less Light Trespass – No light trespass permitted Sidewalk light levels – per the Ketchum Street Standards. Lighting shall not exceed 0.2 foot candle average and at no point shall it exceed 5 foot candles Full cutoff fixtures required **Proposed:** All proposed fixtures are full cutoff, with color temperature of less than 2700 (per sheets EL9-EL12) Per sheets EL5-EL8, there is no light trespass from the subject property except in one area near the front entrance on N 1st Ave. Final review of all lighting will occur at the time of building permit application. As shown on ES1, light levels along the sidewalks is an average of 0.21 foot candles with a max of 5 foot candles.

City of Ketchum

ATTACHMENT E:

Design Review Criteria Review

COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.	YES
Finding: The development is at the corner of N 1st Ave and Sun Valley Rd, two existing public rights-of-way. The development proposes to bring both rights-of-way up to city standards by replacing the existing nonconforming sidewalks, provide curb and gutter, and improve the alley to meet standards and provide for adequate drainage. All improvements to the right-of-way improvements are at the expense of the applicant.	

17.96.060.A.2 - Streets	Conformance
All street designs shall be approved by the City Engineer.	YES
Finding: No new streets are proposed for the project, however, all improvements to the right-of-way as shown on the project plans has been reviewed by the City Engineer. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.	

17.96.060.B.1 - Sidewalks	Conformance
All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.	YES
Finding: KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and proposed.	

17.96.060.B.2 - Sidewalks	Conformance
Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.	YES
Finding: The project plans provided the details of the sidewalks for review by the City Engineer. Preliminary review of the project plans indicates that all city right-of-way standards for width and construction are met. Final review of all improvements to the right-of-way will be completed prior to issuance of a building permit for the project.	

17.96.060.B.3 - Sidewalks	Conformance
Sidewalks may be waived if one of the following criteria is met: *a) The project comprises an addition of less than 250 square feet of conditioned space.* b) *The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.*	N/A
Finding: The applicant has not requested, nor has the City Engineer granted a waiver to the sidewalk requirement for the project.	

17.96.060.B.4 - Sidewalks	Conformance
The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	YES
Finding: As shown on the project plans, the project proposes new sidewalks to be placed the full length of the subject property along N 1st Ave and Sun Valley Rd.	

17.96.060.B.5 – Sidewalks	Conformance
New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.	YES
Finding: There are existing sidewalks along the subject property connecting to existing sidewalks in all directions. The development proposes to replace the existing nonconforming sidewalks. The new 8-foot sidewalks will taper and connect to the existing staircase to the south. There will be direct pedestrian access from the entrances and exits to the building to the new sidewalks as shown in the project plans.	

17.96.060.B.6 - Sidewalks	Conformance
The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.	N/A
Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.	

17.96.060.C.1 - Drainage	Conformance
All stormwater shall be retained on site.	YES
Finding: The project proposes a series of roof drains, drywells, and catch basins to manage onsite stormwater. Per the project plans, all stormwater is being retained on site.	

17.96.060.C.2 - Drainage	Conformance
Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.	YES
Finding: As shown on the project plans, all stormwater is retained on-site. The project proposes to construct right-of-way improvements the length of the subject property, including curb and gutter and other drainage infrastructure, along N 1st Ave and Sun Valley Rd. The project also proposes drainage infrastructure in the alley behind the subject property for the full length of the subject property. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance.	

17.96.060.C.3 - Drainage	Conformance
The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.	N/A
Finding: The City Engineer did not identify any additional drainage improvements during department review. Final design of drainage infrastructure will be reviewed and approved by the City Engineer prior to building permit issuance.	

17.96.060.C.4 - Drainage	Conformance
Drainage facilities shall be constructed per City standards.	YES
Finding: Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. Final design of drainage facilities will be reviewed and approved by the city engineer prior to issuance of a building permit.	

17.96.060.D.1 - Utilities	Conformance
All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.	YES
Finding: All project costs associated with the development, including installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.	YES
Finding: Per the project plans, all necessary utilities are underground. As shown on Sheet A1, a transformer is located in the rear of the property in the alley. The Idaho Power will serve letter is dated September 28, 2022. Additionally, as shown on Sheet A1, all gas and electrical meters are located in the alley as well (callouts #13, #36, #33, and #35). Any changes in transformer size and location, or gas/electrical locations require an amendment to the design review or building permit approval.	

17.96.060.D.3 - Utilities	Conformance
When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.	N/A
Finding: The location of the subject property is already served by fiber optical and therefore no conduit is required in this location.	

17.96.060.E.1 – Compatibility of Design	Conformance
The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.	NO
Finding: See comments in the staff report.	

17.96.060.E.2 – Compatibility of Design	Conformance
Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	N/A
Finding: The subject property is vacant therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.	N/A
Finding: The subject property is vacant therefore this standard does not apply.	

17.96.060.F.1 – Architectural	Conformance
Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.	YES
Finding: The project includes a primary entrance to the building along N 1st Ave as I identified by a prominent vertical architectural feature. There is a secondary entrance to the ground flood storage areas from Sun Valley Rd. All entrances have direct access to the sidewalk.	

17.96.060.F.2 – Architectural	Conformance
The building character shall be clearly defined by use of architectural features.	YES
Finding: The building character is modern as defined by a series of horizontal and vertical architectural features that accent the height and length of the building. The modern design features hard lines and strong corners rather than rounded articulated features.	

17.96.060.F.3 – Architectural	Conformance
There shall be continuity of materials, colors and signing within the project.	YES
Finding: The project uses a consistent set of materials including wood siding, stone veneer, and metal shingles. There is no signage proposed for the building other than addressing.	

17.96.060.F.4 – Architectural	Conformance
Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.	YES
Finding: The development includes an outdoor patio area delineated by a stone veneer wall that matches the stone veneer on the ground floor and stair corridor of the building. Additionally, the upper floor deck areas are enclosed with a transparent railing that matches the metal shingles proposed for the development.	

17.96.060.F.5 – Architectural	Conformance
Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.	NO
Finding: See comments in the staff report.	

17.96.060.F.6 – Architectural	Conformance
Building(s) shall orient toward their primary street frontage.	YES
Finding: The subject properties' primary street frontage is N 1st Ave. The development orients to N 1st Ave with cantilevered balconies and main entrance to the building.	

17.96.060.F.7 – Architectural	Conformance
Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.	YES
Finding: As shown on the project plans, the garbage area is in the rear of the building, in an enclosed storage room with a roll up door for access and service.	

17.96.060.F.8 – Architectural	Conformance
Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.	YES
Finding: As shown on the project plans, the roof plan for the project includes flat roofs at an angle that causes water to drain toward a series of roof drains along the interior of the roof. Cantilevered decks integrate with roof drain systems for any water or snow accumulation. Based on the design of drainage facilities and roof design, no water or snow will enter onto adjacent properties.	

17.96.060.G.1 – Circulation Design	Conformance
Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.	YES
Finding: The project is fully connected by crosswalks with the existing sidewalk system. There are no regional trails, other anticipated easements, or pathways other than the sidewalk system.	

17.96.060.G.2 – Circulation Design	Conformance
Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.	N/A
Finding: The development does not propose any awnings over public sidewalks.	

17.96.060.G.3 – Circulation Design	Conformance
Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.	YES
Finding: Vehicle traffic accesses the site from the alley into a below grade parking area. The access is adequate to enter or exit the project safely. Pedestrian circulation will primarily be internal through garage access and through the secondary entrance on Sun Valley Rd. Bicycle racks are located near the front entrance of the building on N 1st Ave, which is also a primary access point for pedestrians visiting the building.	

17.96.060.G.4 – Circulation Design	Conformance
Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.	N/A
Finding: The subject property is a corner lot, however, alley access points for garages in the Community Core are not considered curb cuts or driveways, therefore this standard does not apply.	

17.96.060.G.5 – Circulation Design	Conformance
Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.	YES
Finding: With the right-of-way improvements proposed, access for emergency vehicles, snowplows, and garbage trucks will be enhanced as access to the property will be achievable from all sides. The enclosed garages and garbage handling area is such that vehicles will not obstruct the alley to allow service vehicles to navigate the alley. There is direct access to the building from the alley, N 1st Ave, and Sun Valley Rd in case of emergencies.	

17.96.060.H.1 – Snow Storage	Conformance
Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.	N/A
Finding: The project proposes heated pavers for the pedestrian areas between the building and pedestrian sidewalks per the project plans, therefore, no on-site snow storage is required.	

17.96.060.H.2 – Snow Storage	Conformance
Snow storage areas shall be provided on site.	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.3 – Snow Storage	Conformance
A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.H.4 – Snow Storage	Conformance
In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.	N/A
Finding: As discussed above, no on-site snow storage is required as snowmelt is proposed.	

17.96.060.I.1 – Landscaping	Conformance
Landscaping is required for all projects.	YES
Finding: The development proposes landscaping for the project as shown on the project plans including landscape planter beds and street trees. The development also proposes a green roof on the roof of the ground floor entrance to the pickleball court and on the third floor of the building.	

17.96.060.I.2 – Landscaping	Conformance
Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.	YES
Finding: The landscape plan (Sheets L3.1-L3.3) includes street trees and planter boxes with low lying shrubs and tall grasses. The vegetation types proposed are found in many areas of the community core and are appropriate for the microclimate.	

17.96.060.I.3 – Landscaping	Conformance
All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.	YES
Finding: All proposed plantings are drought-tolerant and common for the area.	

17.96.060.I.4 – Landscaping	Conformance
Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.	NO
Finding: See comments in staff report regarding public courtyard	

17.96.060.J.1 – Public Amenities	Conformance
Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.	YES
Finding: The development proposes street trees which have been approved by the Public Works Director. Trash receptacles, benches, and bike racks are proposed on the subject property and within the public right-of-way.	

17.96.060.K.1 – Underground Encroachments	Conformance
Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.	N/A
Finding: No underground encroachments are proposed with the development	

17.96.060.K.2 – Underground Encroachments	Conformance
No below grade structure shall be permitted to encroach into the riparian setback.	N/A
Finding: The subject property is not adjacent to any bodies of water; therefore, no riparian setback exists for the property.	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.	YES
Finding: The development includes benches, bike racks, and trash receptacles on the subject property. Within the right-of-way, the development proposes street trees along N 1st Ave and Sun Valley Rd, snowmelt sidewalks, streetlights, benches, and trash cans. Final review and approval of all right-of-way improvements will be conducted at the time of building permit.	

17.96.070.A.2 – Streets	Conformance
Street trees with a minimum caliper size of three inches, shall be placed in tree grates.	YES
Finding: As shown in the project plans, street trees proposed are 2” to 3” caliper and include tree grates.	

17.96.070.A.3 – Streets	Conformance
Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.	N/A
Finding: No modifications to these requirements have been made. The Public Works Department has provided directions as to the location of improvements in the right-of-way.	

17.96.070.B.1 - Architectural	Conformance
Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.	YES
Finding: The alley façade features three different material types (wood siding, metal shingles, and stone veneer) in addition to various window openings and recessions in the façade. Staff has concerns related to the black wall on the south façade of the building as noted in the staff report, however, the wall is not set back five feet from the interior property line.	

17.96.070.B.2 - Architectural	Conformance
For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.	NO
Finding: See comments in the staff report.	

17.96.070.B.3 - Architectural	Conformance
For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.	NO
Finding: See comments in the staff report.	

17.96.070.B.4 - Architectural	Conformance
Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.	YES
Finding: The roof form and material is like that of the rest of the building. The roof form is flat, compatible with the horizontal cantilevered decks. The roof soffit is proposed to be a lighter color wood siding. No reflective materials are proposed.	

17.96.070.B.5 - Architectural	Conformance
All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.	N/A
Finding: The project does not include pitched roofs.	

17.96.070.B.6 - Architectural	Conformance
Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.	N/A
Finding: Roof overhangs are not proposed to encroach into the public right-of-way or over the sidewalk.	

17.96.070.B.7 - Architectural	Conformance
Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.	N/A
Finding: The building does not have any front porches or stoops.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.	YES
Finding: As noted above, all trash disposal areas are located off the alley on the subject property. All loading/unloading service to the building will occur in the alley.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.	YES
Finding: As shown on the project plans, there is no roof mounted mechanical equipment proposed. As shown on Sheet A2, there are mechanical rooms on the ground level and areas designated for the transformer, gas and electrical service, and condensers. Much of the mechanical equipment is contained within the building.	

17.96.070.D.1 - Landscaping	Conformance
When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.	YES
Finding: There is one tree along the alley, however, the tree is not in good health. The landscape plan includes the addition of nine on-site trees to be planted, which is more than what exists on the property today.	

17.96.070.D.2 - Landscaping	Conformance
Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.	YES
Finding: All street trees proposed have tree grates. The trees proposed on-site are within a raised planter bed and therefore do not require tree grates as they are not impeding maintenance or accessibility needs.	

17.96.070.D.3 - Landscaping	Conformance
The City arborist shall approve all parking lot and replacement trees.	N/A
Finding: No replacement trees or parking lot trees are proposed for the development therefore this standard does not apply.	

17.96.070.E.1 – Surface Parking Lots	Conformance
Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.	YES
Finding: The development does not propose surface parking lots. The enclosed parking area is accessed from the alley.	

17.96.070.E.2 – Surface Parking Lots	Conformance
Surface parking lots shall incorporate at least one tree and one additional tree per ten on-site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.E.3 – Surface Parking Lots	Conformance
Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.	N/A
Finding: The development does not propose surface parking lots therefore this standard does not apply.	

17.96.070.F.1 – Bicycle Parking	Conformance
One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.	YES
Finding: As shown on the landscape plans, six bicycle racks are proposed at the main entrance to the building on N 1st Ave. Each bicycle rack can accommodate two bicycles.	

17.96.070.F.2 – Bicycle Parking	Conformance
When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.	YES
Finding: The development requires four parking spaces, therefore only one bicycle rack is required. As shown on the landscape plans, six bicycle racks are proposed at the main entrance to the building on N 1st Ave. Each bicycle rack can accommodate two bicycles.	

17.96.070.F.3 – Bicycle Parking	Conformance
Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.	YES
Finding: The bicycle racks are located immediately adjacent to the front entry on N 1st Ave. This location is clearly visible for most visitors to the building and within 50 feet of the entrance on the N 1st Ave side of the building.	

City of Ketchum

ATTACHMENT F:

Public Comment

Andy Akers
1523 Warm Springs Road
Ketchum, ID 83340

2/5/2025

Ketchum Planning and Zoning Commission
City Hall
P.O. Box 2315
191 5th Street West
Ketchum, ID 83340

RE – Sawtooth Serenade / 260 1st Ave Ketchum Idaho Approval Without Modifications

Dear Ketchum Planning & Building Department,

I am writing to express my support for the Sawtooth Serenade project currently under final design review. I have reviewed the design and believe it is a well-thought-out addition to our community. I appreciate the effort that has gone into making it a quality project that aligns with Ketchum's character and values.

I respectfully ask the Planning & Zoning Commission to approve the project without further changes or modifications. Thank you for your time and consideration.

Sincerely,

Andy Akers

Cyndy King

From: Stuart Campbell <1stuartcampbell@gmail.com>
Sent: Wednesday, February 5, 2025 4:25 PM
To: Participate
Subject: 260 N. 1st Avenue - Sawtooth Serenade

After reviewing the proposed Sawtooth Serenade project at 260 N. 1st Avenue, I ask that the P&Z Commission approve the design as presented. I drive by and park on 1st Ave.adjacent to this lot several times a week and this project looks like a great improvement to this long-vacant lot and part of town.

Stuart Campbell

Daniel Hansen

From: Grant Ries <grantries@gmail.com>
Sent: Wednesday, February 5, 2025 8:40 PM
To: Participate
Subject: Re: Letter of Support - Lynch and Bernier Project: Sawtooth Serande 260 1st Ave N

Sorry I forgot to add the address:

Sawtooth Serande 260 1st Ave N

Regards,
Grant

On Wed, Feb 5, 2025 at 7:12 PM Grant Ries <grantries@gmail.com> wrote:

> Grant Ries
>
> 102 Spring Lane
>
> Ketchum, ID 83340
>
> Feb 5, 2025
>
> City of Ketchum
>
> Planning and Zoning Department
>
> Ketchum, Idaho 83340
>
> RE: Letter of Support for Lynch & Bernier Proposed Home
>
> Dear Members of the Planning and Zoning Department,
>
> I hope this letter finds you well. My name is Grant Ries and I am a fellow homeowner in Ketchum. I am writing to express my enthusiastic support for the proposed in-city residence that my friends, the Bernier's and Lynch's, plan to build. I have know both families for years and I am honored to write this letter in support of their proposed home in downtown Ketchum
>
> Having reviewed the proposed design, I am confident that their new home will positively contribute to the character of our community in several ways:

1. Architectural Harmony: The design beautifully integrates with Ketchum's aesthetic, reflecting the mountain-town charm that many of us value. The thoughtfully planned home and set backs will increase the overall visual appeal of downtown Ketchum

2. Community Investment: Both families have long been active, dedicated members of Ketchum. Their desire to build and live here reflects a broader investment in our area's culture and economy. By constructing a home that aligns with local regulations and design standards, they further exemplify the spirit of responsible homeownership.

As a homeowner who values thoughtful growth in our city, I am confident that approving this project will be beneficial to the Ketchum community. I respectfully ask that you give full consideration to the proposed home, as it promises to be a beautiful and responsible addition to our cityscape.

Thank you for your time and dedication to maintaining Ketchum's charm and well-being. Should you have any questions or need further information, please feel free to contact me at [206-549-2117] or [grantries@gmail.com].

Sincerely,

Grant Ries

grantries@gmail.com | 206-549-2117

Outlook

Sawtooth Serenade Application

From Dan Pitzler <fzisbetter@gmail.com>
Date Thu 2/6/2025 3:31 PM
To Participate <participate@ketchumidaho.org>

Hi. This is Dan Pitzler, 131 Four Seasons Way, Unit 18. I have reviewed the letter and renderings of the proposed Sawtooth Serenade project. I think this building will look nice and be a great addition to our community. I like how it will have less "mass" than many other recent projects. I support this application.

Dan Pitzler

Outlook

Thielsen Architecture - Lynch / Bernier project

From jackie pitzler <jpitzler@comcast.net>
Date Thu 2/6/2025 4:53 PM
To Participate <participate@ketchumidaho.org>

As a resident of Ketchum, I'd to give my feedback to the proposed project.

- Not maximizing the overall square footage of city lot to square foot area of proposed residence provides for a spacious and consistent street appeal.

- Stepping the building levels back away from the street/pavement/sidewalk allows or more sunlight and open feeling to street below

- Building is consistent in aesthetic to other buildings in the general area.

- Wider and heated sidewalks add to community friendly and safe sidewalks…

Last, though they are private residences their property will allow for more parking ccess to community members and businesses nearby…

The parties involved are Ketchum residents and seem to be very interested in the quality of the local residential and business communities.

Respectfully,
Jackie & Dan Pitzler
Ketchum residents
425.761.4848
jpitzler@comcast.net

Outlook

RE: 260 1st Ave // Planning and Zoning Meeting 2/11

From Gordon Stephenson <gordon@rpaseattle.com>
Date Fri 2/7/2025 2:56 PM
To Participate <participate@ketchumidaho.org>
Cc Scott Lynch <scott@lynchclan.com>; yahnbernier@valvesoftware.com <yahnbernier@valvesoftware.com>

To whom it may concern:

I wrote you about this proposal back in January, 2023, and here we are two years later and still, the lot behind Copper Ridge is vacant! I'm am the owner of several of the commercial condos in Copper Ridge (271 Washington) directly across the alley from the subject property, including the Apothecary and the Liquor Store, and also serve as the president of our building's HOA.

I have reviewed the revised the plans proposed by the owners of the "Sawtooth Serenade" project at 260 1st Ave, and I want to offer my wholehearted support for what they have designed. It will complement our building, and the scale and design will fit in extremely well with the neighborhood. We are the property which will be most affected, and I can't envision a better way to complement our property than what has been put forward to the City of Ketchum.

I encourage Ketchum P & Z to approve the current design without delay or modification.

Best regards,

Gordon Stephenson
206.999.1982

Cyndy King

From: Michael Oneil <mioneil@aol.com>
Sent: Sunday, February 9, 2025 8:55 PM
To: Participate
Subject: P&Z meeting Sawtooth Serenade

Dear Commissioners,
I have lived in Copper Ridge building located behind the proposed Sawtooth Serenade for 18 years. I have seen most of the proposed buildings on the lot at 1st Avenue and Sun Valley Road and none are as well done as this project. This is a wonderful design. It is a refreshing departure from the big boxes with the multiple sidings that are spring up all over Ketchum. This is design that will enhance my neighborhood and make the intersection along with Dave Wilson's 83340 building very appealing.

I strongly support this project.
I appreciate your consideration
Sincerely,
Michael ONeil
221 Washington Avenue unit 1

Sent from my iPad

Cyndy King

From: Jim Laski <jrl@lawsonlaski.com>
Sent: Monday, February 10, 2025 11:40 AM
To: Participate
Cc: Jim Laski
Subject: RE: SAWTOOTH SERENADE (File # P24-027)

TO: P&Z Commissioners:

On behalf of the Applicants in the above referenced Final Design Review Application, I hereby submit the following comments related to the Staff Report for the February 11, 2025 Meeting:

As an initial matter, Idaho Code §67-6535, requires that approval or denial of an application must be based on the express standards and criteria as "set forth in the express terms in land use ordinances in order that permit applicants, interested residents and decision makers alike know the express standards that must be met in order to obtain a requested permit or approval." Further, Idaho Code § 67-6511(a) requires that all standards established within a zoning district be uniform for each class or kind of building within the district.

Under KMC 17.96.050.A., **Criteria 1 states:** "[The] ***Project does not jeopardize the Health Safety and Welfare of the public***." Staff responds to this with an analysis of the project's conformance with the comprehensive plan. While conformance with the comprehensive plan is a criterion in Ketchum's recently adopted design review code, it is not a criterion in the design review code under which this project is being reviewed.

Moreover, conformance with the 2014 Comprehensive Plan, which clearly highlights the importance of providing "a varied supply of housing choices," has little to do with public health safety and welfare through building design. Indeed, staff's perceived "underutilization" of a property being developed in accordance with applicable zoning criteria in no way implicates any "jeopardy" to public health safety and welfare.

Finally with respect to the Comprehensive Plan, the Idaho Supreme Court has been clear in holding that "while requirements of applicable ordinances are binding on a body rendering a zoning or permit decision, a comprehensive plan is not. *Urrutia v. Blaine Cnty.,* 134 Idaho 353, 357–58, 2 P.3d 738, 742–43 (2000). A comprehensive plan reflects the 'desirable goals and objectives, or desirable future situations' of the use of land. I.C. § 67–6508. '[A] comprehensive plan does not operate as legally controlling zoning law, but rather serves to guide and advise the governmental agencies responsible for making zoning decisions.'" *Krempasky v. Nez Perce County,* 150 Idaho 231, 237; 245 P.3d 983, 990 (2010).

Next, as it relates to Staff analysis of ***Criteria 2. Projects Conformance with applicable design review standards*****:**

KMC sections 17.96.070.B.2 & 3, which staff describes as "activation of ground floor," expressly relate to only ***nonresidential portions of buildings***. The pending application is an R-3 occupancy, as permitted in the zone under the ordinance in effect at the time of vesting. R-3 does not have any subcategories of occupancies and is, by definition, entirely residential. As such, the staff analysis of these provisions is inapplicable because the proposed building is entirely residential – consisting of two residential dwelling units – with no "nonresidential portions."

We appreciate your time and attention with respect to the Project.

LAWSON LASKI CLARK

JAMES R. LASKI

Lawson Laski Clark, PLLC
675 Sun Valley Road, Suite A
PO Box 3310
Ketchum, ID 83340
208-725-0055 Phone
208-725-0076 Fax

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Public Comment From Ketchum Business Advisory Coalition
to P&Z on Sawtooth Serenade Development
February 11th, 2025

The Ketchum Business Advisory Coalition (KBAC), representing over 120 local businesses and community members, has several concerns about the Sawtooth Serenade development plans and the potential impact it will have on access to local businesses during and after construction.

1. The City's requirement that new developments must widen sidewalks to 8 feet will likely eliminate several on-street parking spaces. The number of parking spaces that would be removed due to Sawtooth Serenade are not detailed in the design application, but architectural drawings on page 32, 33, and 37 show removal of parking on the east side of 1st street. How many parking spaces will be eliminated on 1st Ave with this development, and how will these parking spaces be replaced? 1st Ave is particularly important as a public parking area for business employees and customers because as the city eliminates parking spaces in town, City officials refer to there being *"Plenty of all day parking on 1st Street".* How many of these spaces will be lost due to this development?

2. The application does not include details on construction staging or parking. The construction that took place on 1st Avenue between Sun Valley Road and 4th Ave in 2023 and 2024 nearly bankrupted existing local businesses due to the lack of access for customers, employees, deliveries and services. The City's current construction parking plan is reactive and ineffective, as it requires the public to call-in issues and wait for a response from the City. But by the time enforcement occurs, business revenue has already been lost. Local businesses are looking to the city to provide proactive solutions to construction staging and parking that will ensure access to customers, employees, deliveries, and services throughout this entire project, beginning to end.

3. Construction on Main Street from 4th-10th is scheduled to take place in Summer 2025. The city has not yet provided a traffic plan for this project, but it's reasonable to think that some traffic could be diverted down Sun Valley Road and/or onto 1st Avenue. No start date is given for Sawtooth Serenade, but if this project is set to begin in 2025, how will traffic re-routing be impacted by a large construction project in the path of traffic diversion?

4. In recent years, many new building developments have not been required to provide adequate parking for the number of vehicles that may need access to the building. How many new, off-street parking spaces will this building be required to provide?

5. There is a Mountain Rides bus stop on the corner of 1st Avenue and Sun Valley Road. How will this bus stop be impacted during and after construction?

It is important that the City of Ketchum does not continue to allow development projects to interrupt access to local businesses. The local business community is looking for the city to provide specific details on:

- Precisely how many parking spaces will be eliminated due to this project?
- How and where will these parking spaces be replaced?
- How many new, off-street parking spaces will be provided for residents and visitors to this building?
- Will these residences be placed in either the long or short-term rental markets?
- Where will construction staging and parking be located?
- How will the Mountain Rides bus stop be impacted?

- What is the traffic flow plan for Summer 2025 during Main St. re-construction and how will the Sawtooth Serenade project impact that plan?

Thank you,
KBAC Board of Directors
Bronwyn Nickel
Holly Mora
Pete Prekeges
Scott Curtis
Roger Roland
Jed Gray
Dillon Witmer
Amy Weyler
Cindy Forgeon
Tom Nickel
Duffy Witmer
Julie Johnson

Cyndy King

From: Morgan Landers
Sent: Tuesday, February 11, 2025 8:19 AM
To: Bronwyn Patterson; Participate; Cyndy King; Daniel Hansen
Subject: RE: KBAC Public Comment for Feb. 11th P&Z Meeting

Thank you, Bronwyn. I have received the comments and they will be forwarded to the Commission today.

Couple of answers to your questions and I am happy to answer others at the meeting on Thursday (feel free to forward):

- There are only two residential units in this building so a total of 4 parking spaces are required. The project includes underground parking accessed off the alley with 5 parking spaces.
- The Mountain Rides bus stop will remain in its location and available for the duration of construction and post construction
- The widening of the sidewalks for this development does not result in any loss of parking spaces. There are currently 14 parking diagonal parking spaces on this block. Once the development is complete, there will be a total of 16. This is because the width and angle of the current parking is not designed to maximize the amount of possible parking
- It is staff's understanding based on the memo that this will be a second home for the two residents. They may rent it through the short term market, but it will not likely go into the long-term rental market.
- Construction staging and management is handled at the building permit stage of the project. This application is still in design review. We are working on adjustments to our construction management program to address concerns expressed by business owners prior to the 2025 construction season.
- Main Street – I will ask Daniel to address the Main Street traffic flow as I am not sure what the current plan for that is based on timing and location of construction

Thanks much!

MORGAN LANDERS, AICP | CITY OF KETCHUM
DIRECTOR OF PLANNING AND BUILDING
o: 208.727.5085
****Please sign up for the NEW Planning and Building quarterly newsletter. Click HERE and select "Planning and Development"**

From: Bronwyn Patterson <bbpatters@yahoo.com>
Sent: Tuesday, February 11, 2025 6:22 AM
To: Participate <participate@ketchumidaho.org>; Cyndy King <cking@ketchumidaho.org>; Daniel Hansen <DHansen@ketchumidaho.org>; Morgan Landers <MLanders@ketchumidaho.org>
Subject: KBAC Public Comment for Feb. 11th P&Z Meeting

Good Morning!

Attached please find public comment from KBAC ahead of today's P&Z meeting with a design application review of the Sawtooth Serenade development.
(Please just include the attachment as the public comment and not the body of this email)

Thank you!
Bronwyn Nickel

Cyndy King

From: Jacob Frehling <jacobfrehl@gmail.com>
Sent: Tuesday, February 11, 2025 10:25 AM
To: Participate
Subject: In regards to the 260 n 1st Ave.

I have few words to express my dislike for the gross misuse of downtown real estate that is proposed to be built in the empty lot at 260 n 1st. I can't find a single community enhancing component to this project. Giant private residences do not belong in the downtown corp, and will do nothing to increase the vibrancy of our community. Instead they serve as an eye sore to those who already work and live here. Please do not allow this go forward without some community enhancing stipulations. Ground level retail at the very least. Since viewing the plan, I have shown it to many of my customers, none of whom thought it was a nice idea. I hope some of them have reached out as well.

Thanks for your time,
Jacob Frehling (Maude's coffee and clothes)

Cyndy King

From: Ian Doyle <ian@scoutsunvalley.com>
Sent: Tuesday, February 11, 2025 10:38 AM
To: Participate
Subject: Sawtooth Serenade (260 N 1st Ave)

Hello all,

It has been brought to my attention that the plan to go ahead with "sawtooth serenade" has no contrarian views...until now.

I'd like to bring to the forefront a few key points, against the current building layout. and the moral obligation, our city has, to returning town to a place for the people who occupy this area more than 6 months out of the year.

First off this upon viewing the applications, put forth by the Lynch, and McCaw/Bernier families, ones initial thought is that this is a gluttonous and offbase project. The sheer lack of many key factors leads me to believe this is a lazy attempt to conform to the city's heritage, and need to use contextual materials.

-The plan's lack of Greenspace (a single bench) is an outright joke.
-The plan's misuse of "ketchum Character" brings me to believe that if erected in its current form, would bring a moderation of disrespect to the future builds architectural neighbours, in physical and business form. This may be due to the lack of local fabric on the project.
-What does (1989) mean when contextualizing how long the members of these households have been connected to the wood river valley? Did grandpa own a home here? Was a long lost relative a ski bum for a winter? has the Lynch and McCaw/Bernier family owned mulitple homes in the valley for generations and continuously occupied their living spaces year round? Why should this matter? Does this give the families an edge in manipulating the board's thoughts?
-The misuse of space inside the current projects form, is laughable. Do you really need a pickleball court inside your home? 37 ski racks? 14 bike racks? Where's the infinity pool? We are not Aspen, we have been able to keep hold of our heritage and this goes against the very meaning to call ourselves, locals in this very special town. stop overzealous, rich fools from ruining this town.
-The facade, a lazy attempt at neo brutalism meets early 2000s California sprawl, is not the answer. A complete scrap is the only real answer.
-Community housing, are we really still doing this? 700k to escape helping our community flourish. Too often has this board allowed people to take advantage of loopholes, ruining any chance we have at creating community spaces, etc.
-Reviews in the form of "approval" --in short, where do the approval letters in favour of this project come from? If I had to guess most are family, friends or connections rather than any real bipartisan viewpoints. IMO, this should not be allowed, and should be reviewed henceforth.

We as the current town members have an obligation to uphold the history of this great place, by utilizing the past and informing the future. This building goes against pillars of what this community was built on and is an obvious reason we are going into a new stage where every building matters. I do not approve of the current mock up, which if I am honest, is a rehash of a 1999 Danville California strip mall.

I urge the Lynch and McCaw families to take a long hard look at what they value, because quality architecture and positive impact is definitly not it.

Sincerely,

A concerned citizen

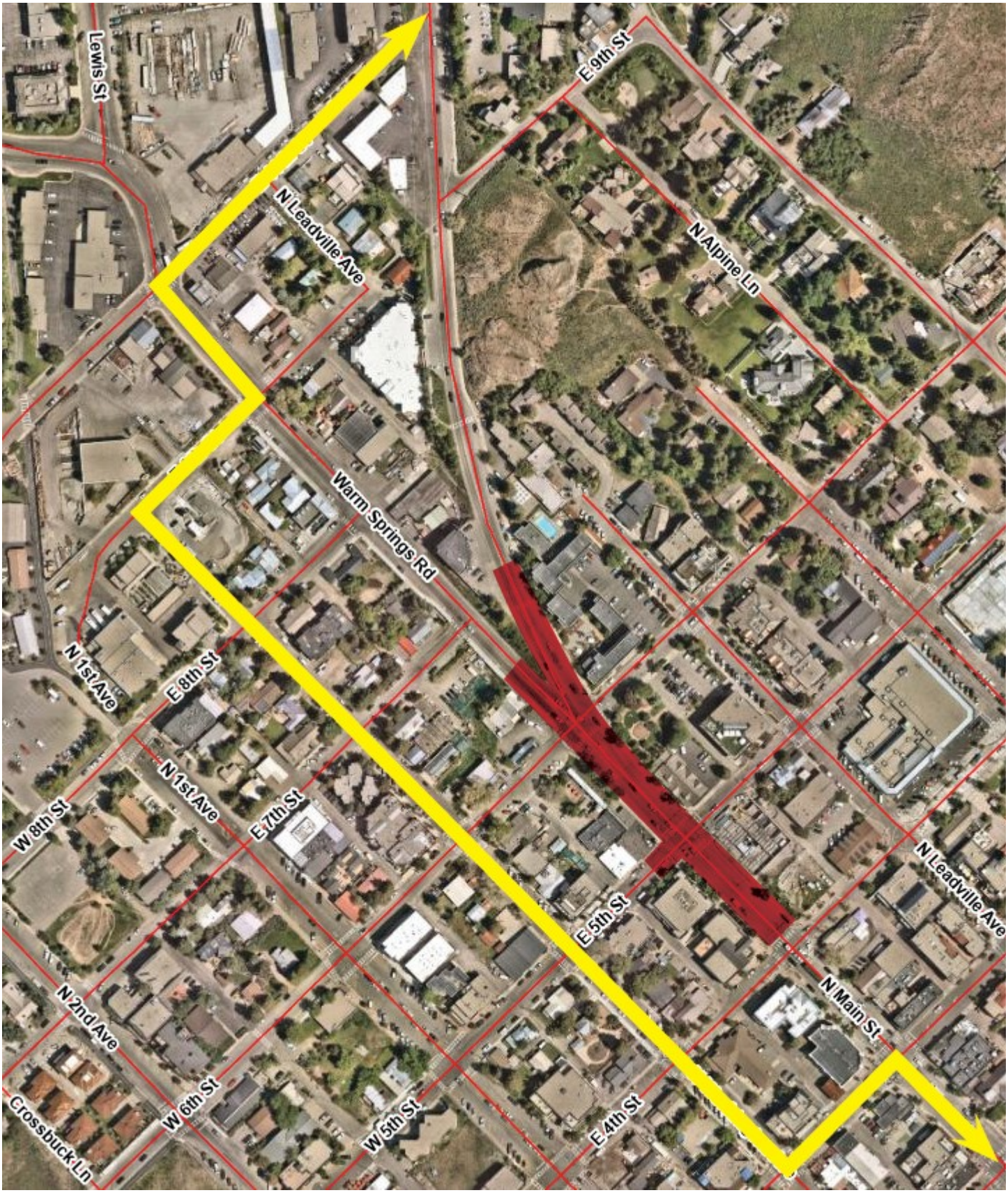
Ian Doyle
(435)-729-0460
Ian@scoutsunvalley.com
Buyer & Events

Cyndy King

From: Daniel Hansen
Sent: Tuesday, February 11, 2025 11:09 AM
To: Morgan Landers; Bronwyn Patterson; Participate; Cyndy King
Subject: RE: KBAC Public Comment for Feb. 11th P&Z Meeting
Attachments: Traffic detours - 4th-6th st work.pdf

Chiming in on the Main Street construction detours. I've attached a map of the proposed detour for the 4th through 6th Street work to this email. This work is scheduled for April through July 1. Detours will be minimal. Most of the grid will be accessible. If vehicles are passing through town, they'd detour on Sun Valley Road to 1st Avenue; then 9th Avenue to Warm Springs; and finally, 10th Avenue to Highway 75. We're not sure yet if work will take place this year between 6th and 10th Street. It depends on if ITD has the funding to do it. If it does take place, it would be after Labor Day through October.

We've already met with all businesses that would be impacted by this construction to go over the detours and closures.


Lewis St
E 9th St
N Leadville Ave
N Alpine Ln
Warm Springs Rd
N 1st Ave
E 8th St
N 1st Ave
W 8th St
E 7th St
N Leadville Ave
E 5th St
N 2nd Ave
N Main St
W 6th St
W 5th St
E 4th St
Crossbuck Ln

Best,

Daniel

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Sent: Tuesday, February 11, 2025 8:19 AM
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MORGAN LANDERS, AICP | CITY OF KETCHUM
DIRECTOR OF PLANNING AND BUILDING
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(Please just include the attachment as the public comment and not the body of this email)

Thank you!
Bronwyn Nickel

Cyndy King

From: Rio Pedersen <rio.pedersen@gmail.com>
Sent: Tuesday, February 11, 2025 12:12 PM
To: Participate
Subject: Against Sawtooth Serenade

Hello,

I am against the proposed construction project Sawtooth Serenade (260 N 1st Ave) as it is a terrible use of an already overcrowded town space, if they want to protect their view they should just make it a park in perpetuity.

Best,
Rio Pedersen
Ketchum Resident

Cyndy King

From: griff.rowell@gmail.com
Sent: Tuesday, February 11, 2025 10:46 AM
To: Participate
Subject: 260 1st Ave. N - Sawtooth Serenade

Dear Commissioners,

Regarding the proposed project at 260 1st Ave. N – Sawtooth Serenade.

I find it unfortunate, since the pre-design submittal made it in before the adoption of ordinance 1234 that the homeowners have decided to build an almost 25,000 ft2 private multi-family residence in the town's core. Every building comparison they highlight in their submittal as recently approved by the P&Z is a mixed-use structure. In my opinion, if the homeowners want to "further strengthen their long-standing community ties" it will not be through this project as proposed.

Although I find parts of the Southwest facing 1st Ave. side to be engaging the Northwest Sun Valey Rd. side of the structure does very little to activate that street. Further, I don't feel that a mix of vertical and horizontal stained Cedar siding does enough to add variety to the exterior finish.

Thank you for your time and consideration,

Griffin Rowell

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF FEBRUARY 11, 2024

PROJECT: Knob Hill Residence

FILE NUMBER: P24-087

APPLICATION TYPE: Pre-Application Mountain Overlay Design Review

PROPERTY OWNER: Knob Hill Properties LLC

REPRESENTATIVES: Peter Seidner & Hank Moore, Presidio Vista Properties

ARCHITECT: Zac Rockett, Architect, Ro Rockett Design

REQUEST: Pre-Application Mountain Overlay Design Review for the development of a new three-story, 8,319-square-foot single-family residence and associated site improvements

LOCATION: Ketchum Townsite—Block 91: Lots 3 & 4 (Parcel Numbers: RPK0000091004A & RPK00000910030)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay

REVIEWER: Abby Rivin – Senior Planner

NOTICE: A courtesy public meeting notice was mailed to all property owners within 300 feet of the project site on January 22, 2025. The notice was published in the Idaho Mountain Express on January 22, 2025. A notice was posted on the city's website on January 22, 2025 and on the project site on February 4, 2025.

EXECUTIVE SUMMARY

The applicant has submitted a Pre-Application Mountain Overlay Design Review for the development of a new three-story, 8,319-square-foot single-family residence (the "project", see Figure 1), located on two vacant lots on Walnut Avenue within the Knob Hill neighborhood (the "subject property"). The subject property is located within the city's Limited Residential (LR) Zone and the Mountain Overlay (MO) Zoning District. The project plans are included as Attachment A. Supplemental material submitted with the Pre-Application, including the applicant's Design Narrative and written response to MO Design Review standards, is included as Attachment B.

Figure 1: Knob Hill Residence (Sheet G-022)

The subject property (see Figure 2) is comprised of two separate lots in Block 91 of Ketchum Townsite. Topography was not considered when the original Ketchum Townsite was established in 1948. The Knob Hill neighborhood contains platted blocks with vacant lots and unimproved rights-of-way that extend high up the hillside.

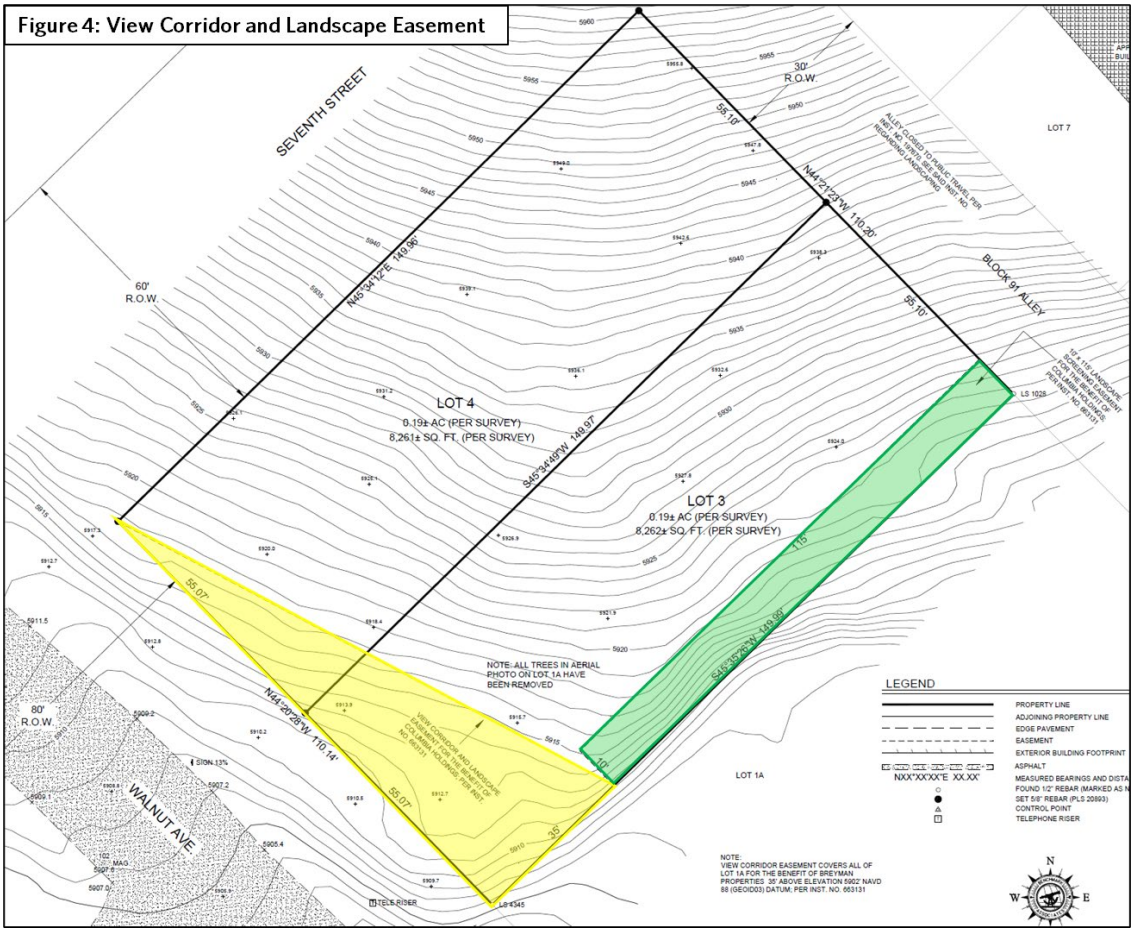
Figure 2: Subject Property Aerial Map

The slope exhibit in Figure 3 shows the subject property with areas of 25% and greater slope in red, areas of 20% slope in green, and areas of 15% slope in yellow. Most of the subject property contains hillsides of 25% and greater slope.

Figure 3: Slope Exhibit

The subject property is constrained by a view corridor and landscape easement (recorded as Instrument No. 663131) that benefits the adjacent property to the south along Walnut Avenue (see Figure 4). The view corridor easement highlighted in yellow in Figure 4 is intended to preserve the views from the adjacent property over the southwest side of the subject property. The landscape easement highlighted in green in Figure 4 is intended to provide screening for privacy.

Figure 4: View Corridor and Landscape Easement



The project proposes consolidating the two lots to accommodate the development of the new home. Lot consolidations are permitted in the LR Zone subject to a waiver pursuant to Ketchum Municipal Code (KMC) §16.04.030.C1a. KMC §16.04.030.C4 requires that, "All preliminary plat applications for consolidation of lots must also demonstrate conformance with all applicable building permit and land use development approvals, all applicable rules and regulations in title 17, zoning regulations, and general conformance with the adopted comprehensive plan." In addition, the project will require a waiver to establish a reasonable building envelope within slopes of 25% and greater per KMC §16.04.040.F2. The subdivision application for the lot consolidation preliminary plat and written waiver requests must be submitted concurrently with the final MO Design Review application.

The project is subject to Mountain Overlay Pre-Application Design Review pursuant to KMC §17.96.010.D.1 as the subject property is greater than 11,000 square feet. Pre-Application Design Review is an opportunity for the Planning and Zoning Commission (the "Commission") to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant. There is no formal staff recommendation and no motion or action for the Commission to take at this time. Staff recommends the Commission provide feedback to the applicant after reviewing the Knob Hill Residence Pre-Application MO Design Review submittal (Attachments A & B), the applicant's presentation, staff analysis, and public comment.

BACKGROUND

Process to Date

The Planning and Building Department received the Knob Hill Residence Pre-Application MO Design Review application on October 15, 2024. The Pre-Application was reviewed by all city departments and comments were provided to the applicant for review. Although not required for Pre-Application Design Review, the applicant revised the submittal in response to staff comments. All city department comments and feedback provided by the Commission must be addressed by the applicant upon submittal of the final Design Review application. Pursuant to KMC §17.96.010.D5, the applicant must file a complete Design Review application and pay all required fees within 180 calendars of the last Pre-Application Design Review meeting with the Commission, otherwise the Pre-Application will become null and void.

ANALYSIS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following prior to granting Design Review approval:

1. The project doesn't jeopardize the health, safety, or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance

Future Land Use

The subject property is designated as Low Density Residential on the Future Land Use Map of Ketchum's 2014 Comprehensive Plan (the "comprehensive plan"). The Low Density Residential future land use category promotes new housing within existing neighborhoods that are connected

to local streets and have access to parks, open space, schools, and other civic activities. Primary uses in the Low Density Residential future land use category include single-family residences, duplexes, and accessory dwelling units. This project aligns with the Low Density Residential future land use category as the applicant proposes to develop a new single-family within the Knob Hill neighborhood.

Hillside Protection & Compatibility with Surrounding Neighborhood

Ketchum's undeveloped hillsides define the character of our community. The comprehensive plan emphasizes the importance of protecting environmental quality and preserving natural resources to maintain Ketchum's economy, quality of life, and community identity. The comprehensive plan provides the following policies related to maintaining open space buffers, protecting hillsides, and preserving natural features:

- Policy OS-3.2—Open Space Community Separators: "Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space" (page 36).
- Policy CD-2.2—Mountain Overlay Zone: "Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides" (page 26).
- Policy CD-2.4—Development Designed for Natural Feature Preservation: "Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas" (page 27).

Infill development and redevelopment disturbs natural land features, topography, soils, and vegetation. Construction activities like excavation, grading, and vegetation removal can adversely impact natural hillside topography, soils, slope stability, drainage patterns, and wildlife habitat. Ketchum's Mountain Overlay standards referenced in Policy CD-2.2 of the comprehensive plan mitigate these adverse impacts by minimizing the disturbance associated with hillside development activity. These standards help preserve Ketchum's hillsides and wildlife habitat by prohibiting detrimental alterations to hilltops, rock outcroppings, knolls, and ridges. The Mountain Overlay protects scenic views and open space corridors by directing building sites to lower elevations and preserving our unobstructed hillsides.

In addition to our undeveloped hillsides, Ketchum's built environment, neighborhoods, and architectural design contribute to community character. The comprehensive plan encourages new development to be compatible with the character of the surrounding neighborhood. Policy CD-1.3 of the comprehensive plan states that, "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26). In addition, Policy CD-1.4 of the comprehensive plan states that, "Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character"(page 26).

Staff believes the proposed development is compatible with the character of surrounding residential homes in the Knob Hill neighborhood but recommends the applicant modify the design to further minimize hillside disturbance on the subject property. Please see the Mountain Overlay Design

Review Standards section of the staff report below and Attachment D for staff's analysis and recommendations to minimize hillside disturbance.

Criteria 3: Applicable Standards and Criteria

LR Zoning and Dimensional Standards

Staff reviewed the Pre-Application submittal for applicable zoning and dimensional standards, including setbacks, building height, building coverage, and parking. Planning staff's comprehensive analysis of all zoning and dimensional standards is provided in Attachment C. No code compliance issues were identified by staff based on the information provided in the Pre-Application submittal. Staff will review all zoning and dimensional standards again at final MO Design Review to ensure the project remains in compliance.

Design Review Standards

Landscaping (KMC §17.96.060.I)

The landscape plan on sheet L-5.00 proposes 5 Ponderosa Pine trees, 16 Quaking Aspen trees, 6 Common Chokecherry trees, and variety of shrubs as well as numerous landscape boulders. Some of these landscape boulders are retaining structures and others are solely ornamental. In the Design Narrative (see Attachment B), the applicant explains that the proposed retaining elements and landscape features are intended to echo the natural features of the surrounding hillsides and provides exhibits to illustrate this approach (see Figure 5). Sheet L-1.00 of the project plans (see Attachment A) shows the proposed ornamental and retaining boulders with notes that state, "large native boulders to retain grade and match existing rock outcrops uphill" and "landscape boulders to match existing boulders on site and blend into native landscape character."

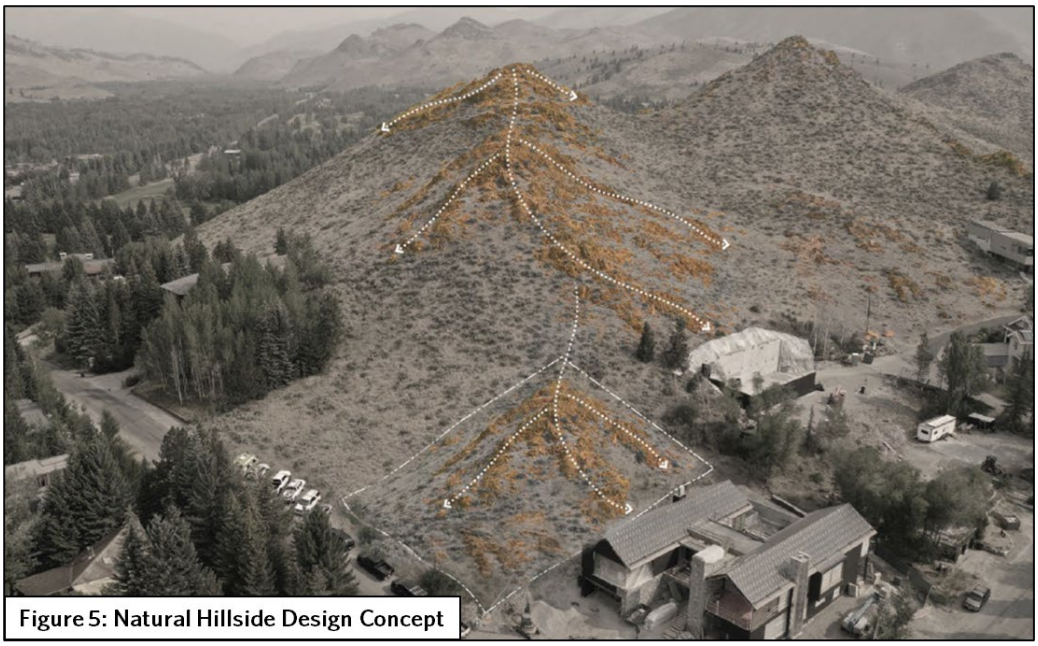


Figure 5: Natural Hillside Design Concept

Pursuant to KMC §17.96.060.I2, "Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape." Existing native vegetation in the Knob Hill neighborhood is comprised predominately of native sagebrush plant species. Staff recommends the applicant modify the landscape plan by removing some of the trees and boulders to complement the surrounding sage-covered hillside.

Mountain Overlay Design Review Standards

Hillside Disturbance

Pursuant to KMC §17.104.070.A14, "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." As shown on the lot disturbance

diagrams on sheet G-020 (see Figure 6), only a portion of the subject property along the rear property line is proposed to remain undisturbed. The total proposed undisturbed area is 1,660 square feet, which is only 10% of the subject property's total area. Hillside disturbance that is not associated with the building construction includes a small patio and hot tub at the northeast corner of the property as well as the driveway and fire apparatus access zone.

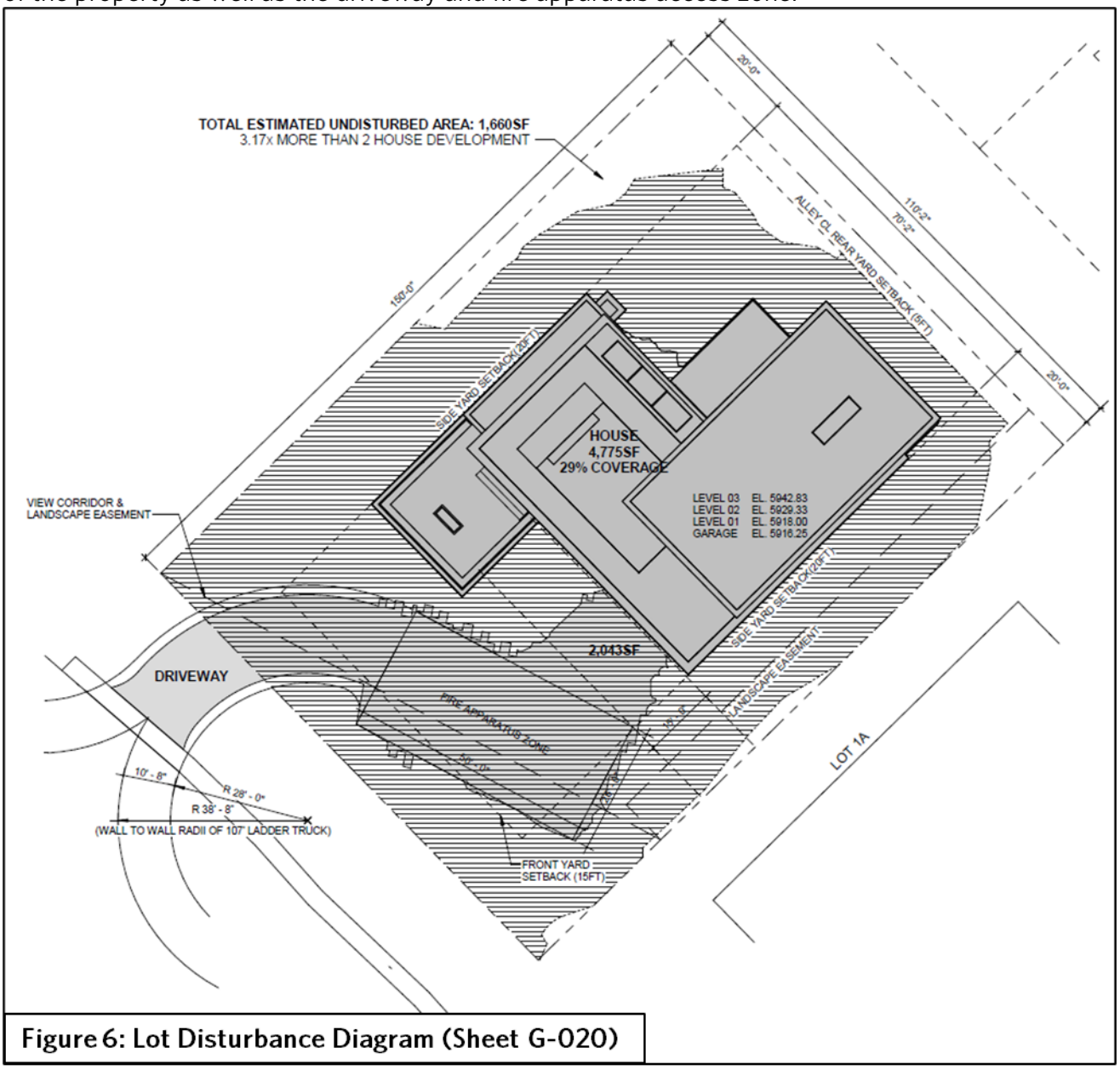


Figure 6: Lot Disturbance Diagram (Sheet G-020)

In the Design Narrative (see Attachment B), the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant's thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area.

The proposed driveway improvements contribute to hillside disturbance not associated with building construction. The proposed driveway improvements are detailed on sheet C1.0 of the

project plans (see Attachment A). In the Design Narrative (see Attachment B), the applicant provides an analysis of the proposed driveway access. The applicant states:

> *Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.*

In the written response to MO Design Review standards (see Attachment B), the applicant further explains:

> *The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.*

The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance.

Pursuant to KMC §17.104.070.A9, "lengths of driveways allowed shall be minimized." The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. As shown in Figure 8, the fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet (see Figure 7).

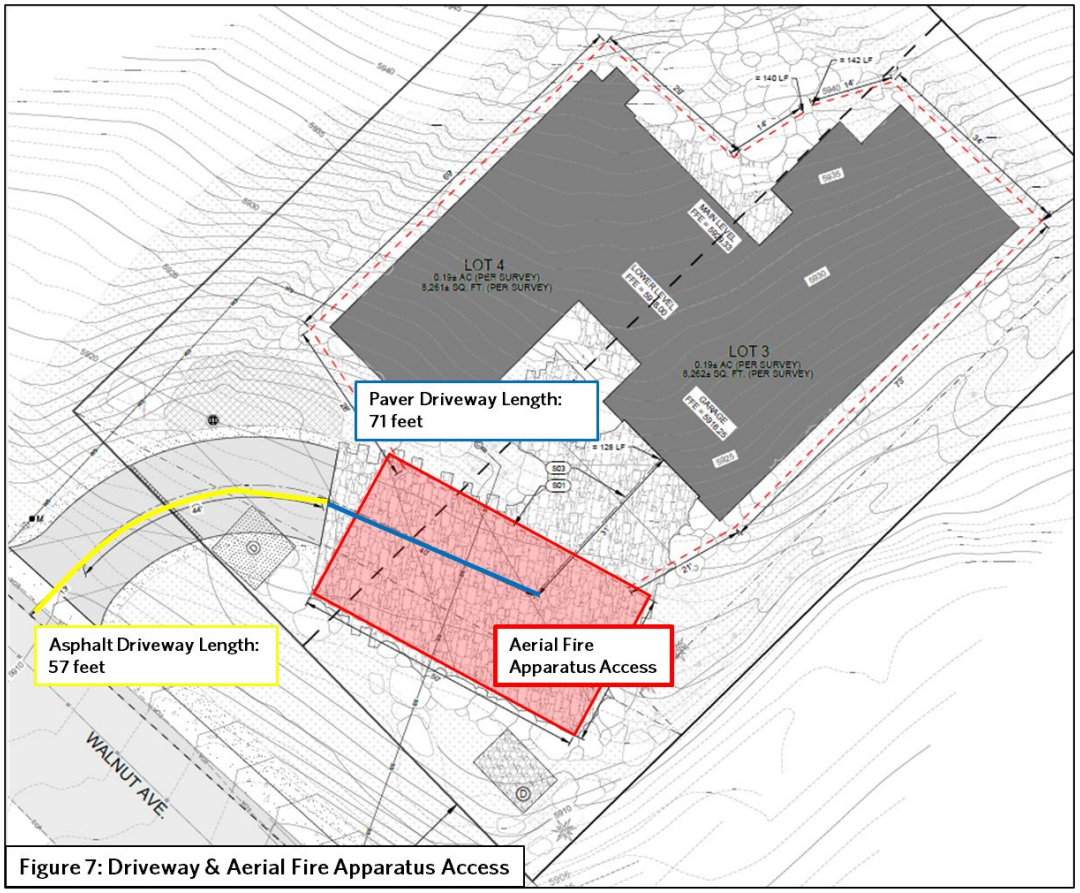


Figure 7: Driveway & Aerial Fire Apparatus Access

Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7'' from the front property line along Walnut Avenue, which is 25'-7'' more than the minimum required.

If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.

STAFF RECOMMENDATION

At the Pre-Application stage, staff does not provide a recommendation, and no action is taken by the Commission. Staff requests the Commission provide feedback to the applicant on the proposed design, issues identified in the staff report, and any other items deemed relevant to the project.

ATTACHMENTS:

A. Pre-Application MO Design Review Submittal: Project Plan Set
B. Pre-Application MO Design Review Submittal: Application & Supplemental Materials
C. LR Zoning and Dimensional Standards Evaluation
D. Mountain Overlay Design Review Standards Analysis

Attachment A
Pre-Application MO Design Review Submittal: Project Plan Set

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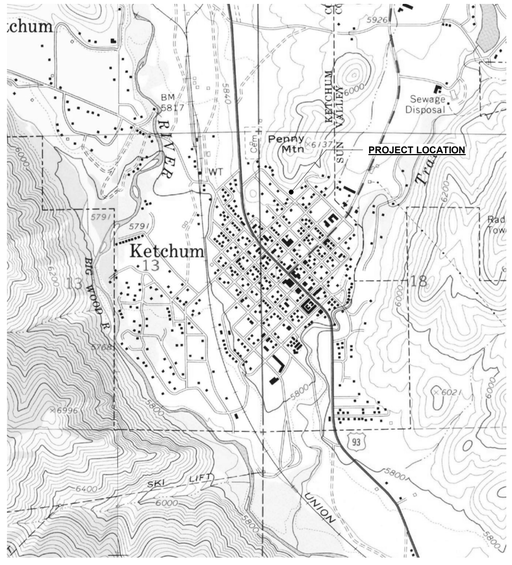
KNOB HILL RESIDENCE

MODR PRE-APPLICATION / 01.15.2025



3 NTS **PROJECT LOCATION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACE WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO COMFORM TO THESE STANDARDS.
9. USGS ELEVATION 5,918'-0" IS EQUIVALENT TO +100'-0" AS NOTED IN ALL ARCHITECTURAL & CONSULTANT DRAWINGS, U.N.O.

2 NTS **PROJECT NOTES**

DESCRIPTION
NEW SINGLE FAMILY RESIDENCE ON AN UNIMPROVED SITE

PROJECT ADDRESS
LOT 3&4, BLOCK 91

LEGAL DESCRIPTION
KETCHUM LOT 3 BLOCK 91, PARCEL NUMBER: RPK00000910030 &
KETCHUM LOT 4 BLOCK 91, PARCEL NUMBER: RPK0000091004A
CITY OF KETCHUM, BLAIN COUNTY, IDAHO, 83340

CURRENT CODE
2018 INTERNATIONAL BUILDING CODE*
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE

TITLE 15 KETCHUM MUNICIPAL CODE
NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION]
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

PROJECT INFORMATION
PARCEL IDENTIFICATION #: RPK00000910030 & RPK0000091004A
LOT AREA: LOT 3=8,262SF(.19AC). LOT 4=8,261SF(.19AC), COMBINED=16,523SF(.38AC)
ZONING DISTRICT: LR
OVERLAY DISTRICT:MOUNTAIN
TYPE OF CONSTRUCTION: NEW, TYPE V
ANTICIPATED USE: SINGLE FAMILY RESIDENTIAL
NO. RESIDENTIAL UNITS: 1

REQUIRED SETBACKS
FRONT YARD: 15'-0", 40'-7" PROPOSED
REAR YARD: 5'-0", 14'-1" PROPOSED
SIDE YARD: 10'-0", 20'-0" PROPOSED

MAXIMUM BUILDING HEIGHT
35'-0"(PROPERTIES WHICH STEP UP OR DOWN HILLSIDES MAY EXTEND 5FT ABOVE THE MAX HEIGHT.)
33'-6" PROPOSED(38'-6" OVERALL STEPPING UP HILLSIDE)

MAXIMUM BUILDING COVERAGE
35%, 29% PROPOSED (4,77SSF / 16,523SF)

OFF-STREET PARKING
PARKING SPACES PROVIDED: 2 (9' X 18' PER STALL)
CURB CUT: 35% MAXIMUM, 18% PROPOSED(20'-0" DRIVEWAY/110'-0" FRONTAGE)

1 NTS **PROJECT DATA**

KNOB HILL RESIDENCE

OWNER:
KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:
FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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SEAL:

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1	01.15.25	MODR PRE-APPLICATION

PROJECT:
KNOB HILL RESIDENCE
LOT 3&4, BLOCK 91

PROJECT NUMBER
2204

DRAWING TITLE:
COVER SHEET

DRAWING NUMBER:
G-000

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MODR PRE-APPLICATION / 01.15.25

LEGEND

ISSUED	●
REVISED/ REISSUED	◒
OMITTED	○

1-GENERAL		
G-000	COVER SHEET	●
G-001	SHEET INDEX	●
G-010	FAR & LOT COVERAGE SUMMARY	●
G-011	BUILDING HEIGHT	●
G-020	LOT DISTURBANCE DIAGRAMS	●
G-021	MATERIAL PALETTE	●
G-022	RENDERED PERSPECTIVES	●
G-023	RENDERED ELEVATIONS	●
G-024	RENDERED ELEVATIONS	●
G-025	PHOTOGRAPHY EXHIBITS	●
2-SURVEY		
1 OF 1	TOPOGRAPHIC SURVEY	●
1 OF 1.	SLOPE EXHIBIT WORKSHEET	●
3-CIVIL		
C-1.0	GRADING, DRAINAGE & UTILITY PLAN	●
C-1.1	DETAIL SHEET	●
EXB	FIRE TRUCK EXHIBIT	●
4-LANDSCAPE		
L-0.00	OVERALL SITE PLAN	●
L-1.00	LAYOUT AND MATERIALS PLAN	●
L-2.00	GRADING AND DRAINAGE PLAN	●
L-5.00	PLANTING PLAN	●
5-ARCHITECTURAL		
A-100	SITE PLAN	●
A-102	REFERENCE PLAN / LEVEL 01	●
A-103	REFERENCE PLAN / LEVEL 02	●
A-104	REFERENCE PLAN / LEVEL 03	●
A-105	REFERENCE PLAN / ROOF	●

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
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LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

SHEET INDEX

DRAWING NUMBER:

G-001

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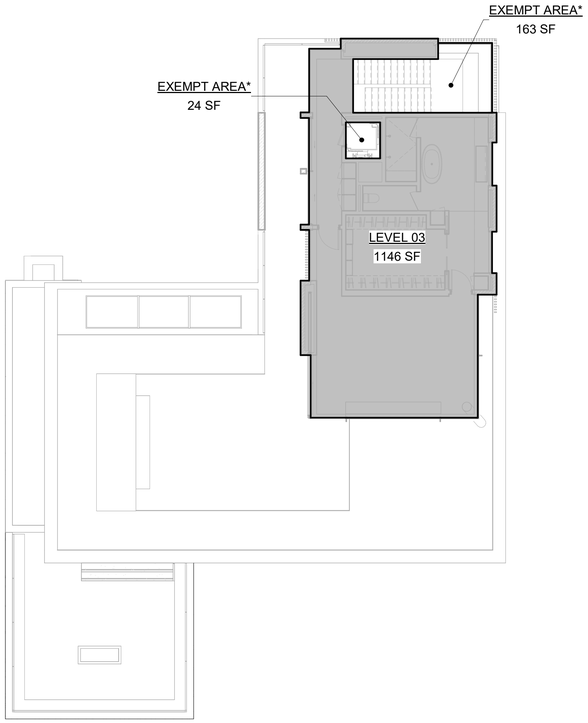
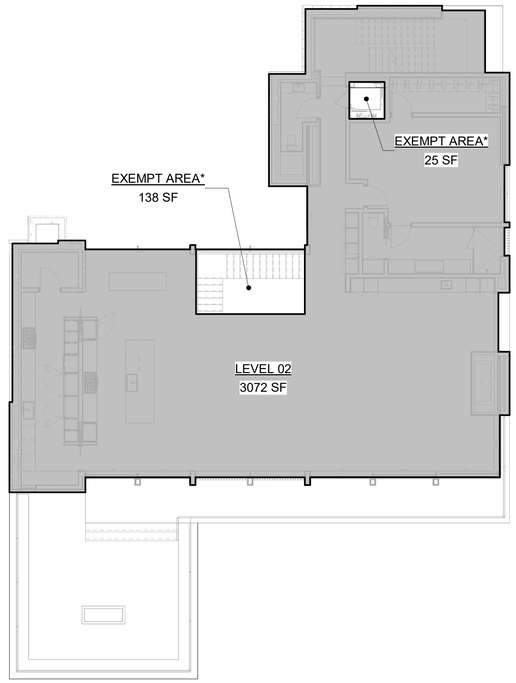
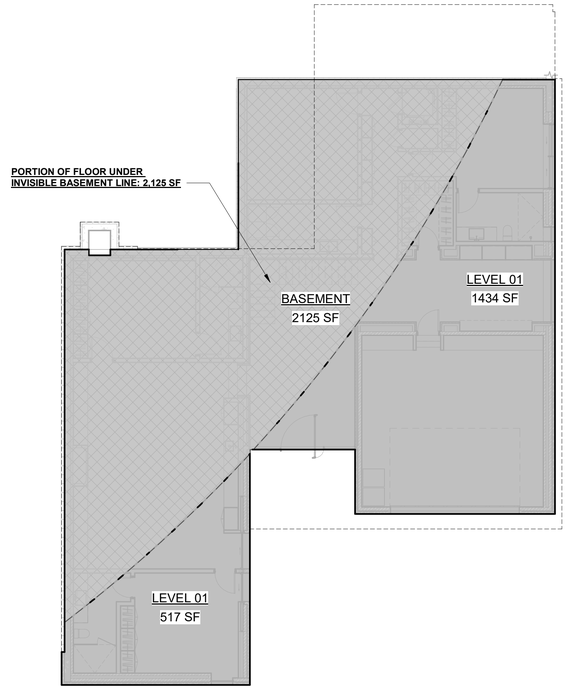


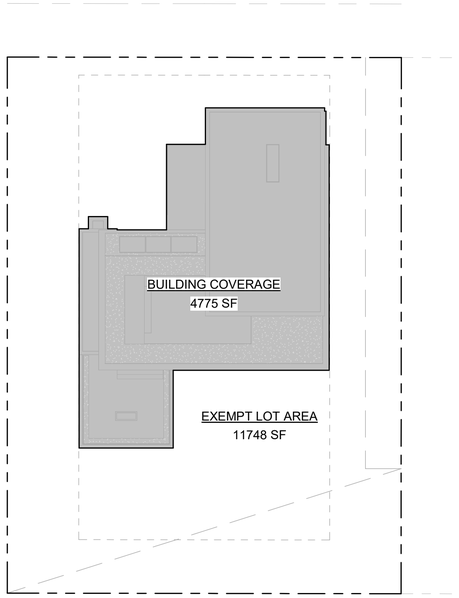
6 | 1" = 10'-0" | **FLOOR AREA / LEVEL 03**



4 | 1" = 10'-0" | **FLOOR AREA / LEVEL 02**



2 | 1" = 10'-0" | **FLOOR AREA / LEVEL 01**



3 | 1" = 20'-0" | **LOT COVERAGE**

PROPOSED FLOOR AREA CALCULATIONS

ZONING: LR

PROPOSED GROSS FLOOR AREA

Name	Area
LEVEL 01	1951 SF
LEVEL 02	3072 SF
LEVEL 03	1146 SF
GROSS FLOOR AREA TOTAL	**6169 SF**

EXEMPT FLOOR AREA

Name	Area
BASEMENT	2125 SF
EXEMPT AREA*	350 SF

*STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY

PROPOSED LOT COVERAGE CALCULATIONS

LOT AREA(PER SURVEY):	0.38 ACRES(16,523SF)	
PERMISSIBLE BUILDING COVERAGE(35% OF LOT AREA):	0.13 ACRES(5,783SF)	
BUILDING COVERAGE	**4775 SF**	**COMPLIES**

KMC §17.08.020

FLOOR AREA, GROSS:

THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED.

1 | 1/8" = 1'-0" | **PROPOSED FLOOR AREA CALCULATIONS**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

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LANDSCAPE ARCHITECT:

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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER
2204

DRAWING TITLE:

FAR & LOT COVERAGE SUMMARY

DRAWING NUMBER:

G-010

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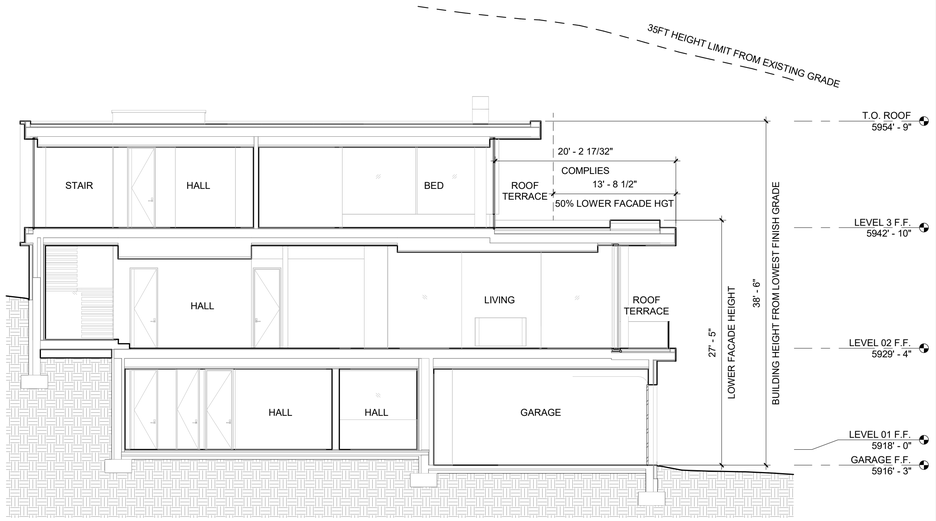
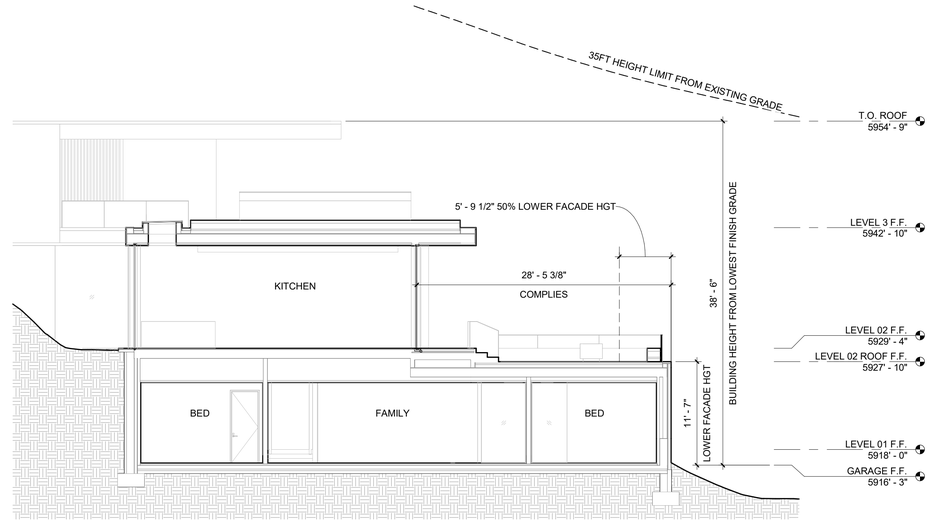
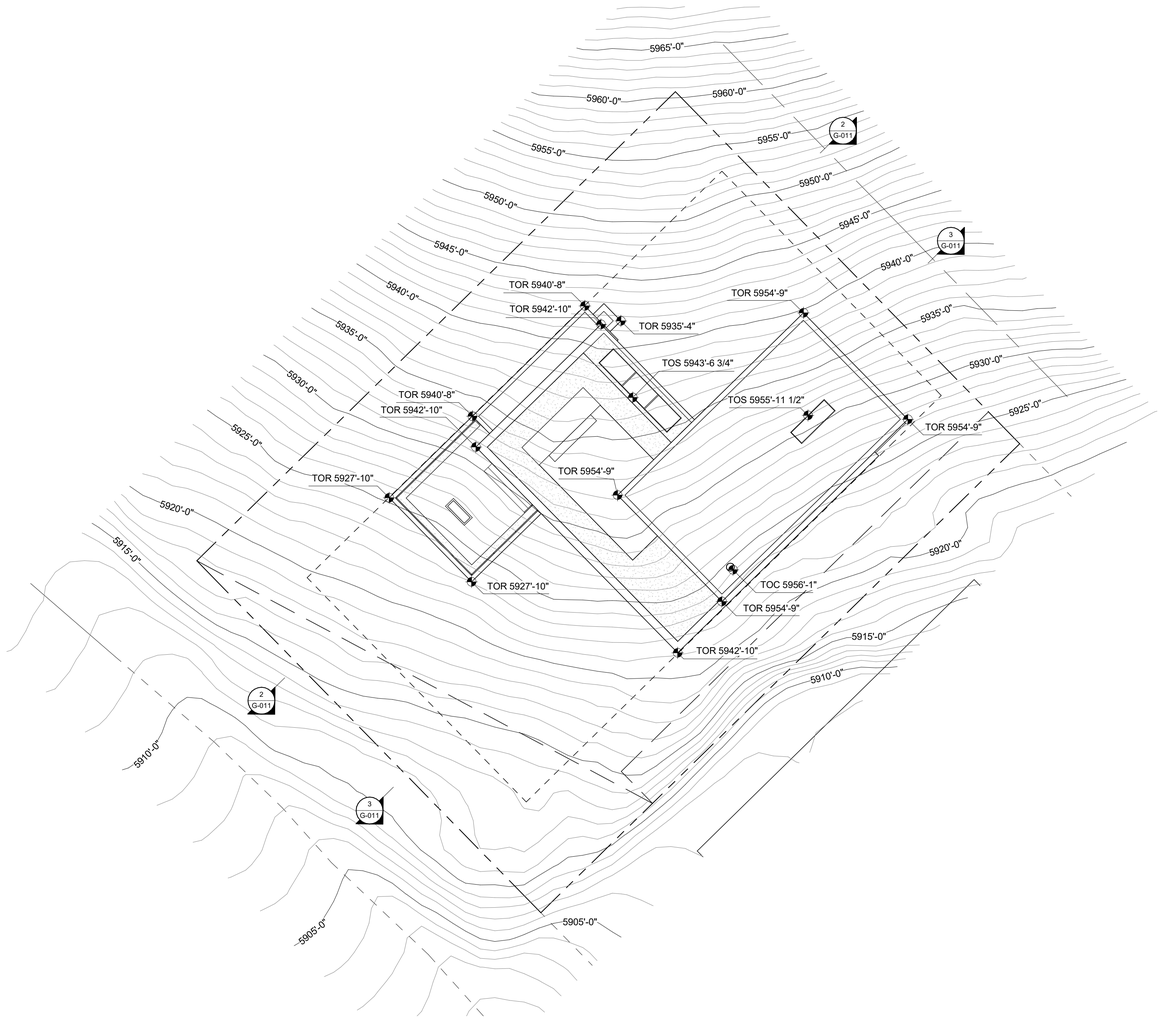


3 | 1/8" = 1'-0" | **BUILDING HEIGHT SECTION**



2 | 1/8" = 1'-0" | **BUILDING HEIGHT SECTION**



1 | 1/16" = 1'-0" | **ROOF PLAN / BUILDING HEIGHT**

SURVEY HEIGHT

EXISTING GRADE ——XXXX'-X"——

TOR	TOP OF ROOF
TOC	TOP OF CHIMNEY
TOS	TOP OF SKYLIGHT

MAXIMUM BUILDING HEIGHT :

THE GREATEST VERTICAL DISTANCE MEASURED AT ANY POINT FROM THE ROOF TO NATURAL, EXISTING, OR FINISHED GRADE, WHICHEVER IS LOWEST. THE MAXIMUM VERTICAL DISTANCE FROM THE LOWEST EXPOSED FINISHED FLOOR TO THE HIGHEST POINT OF THE ROOF (REGARDLESS OF VERTICAL ALIGNMENT) SHALL BE NO MORE THAN FIVE FEET GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK). NO FACADE SHALL BE GREATER THAN THE MAXIMUM HEIGHT PERMITTED IN THE ZONING DISTRICT. (SEE DEFINITION OF "FACADE" IN THIS SECTION AND ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK.) FACADES WHICH STEP UP OR DOWN HILLSIDES SHALL BE SET BACK FROM THE LOWER FACADE A MINIMUM OF 50 PERCENT OF THE HEIGHT OF THE LOWER FACADE; EXCEPT, THAT ROOF OVERHANGS MAY EXTEND UP TO THREE FEET INTO THIS AREA (SEE ILLUSTRATION B ON FILE IN THE OFFICE OF THE CITY CLERK). THIS BUILDING HEIGHT PROVISION SHALL APPLY TO PARAPETS, BOSTON ROOFS AND ANY OTHER PORTION OF A BUILDING ROOF, BUT SHALL NOT APPLY TO FLAGPOLES, LIGHTNING RODS, WEATHER VANES, ANTENNAS OR CHIMNEYS.

BUILDING HEIGHT NOTES:

1. SEE LANDSCAPE DRAWINGS FOR EXISTING & NEW TREE LOCATIONS.
2. SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.
3. SEE A-100 FOR ARCHITECTURAL SITE PLAN.
4. ALL ROOFING TO BE A CLASS 'A' NON-COMBUSTIBLE FLAT ROOF ASSEMBLY.
5. BUILDING ELEVATION 100'-0" = +5,918'-0" USGS.
6. ALL TOP OF ROOF ELEVATIONS LOCATE THE HIGHEST POINT OF THE ROOF STRUCTURE, WITH ROOF ASSEMBLY SLOPING INWARDS TOWARDS INTERNAL ROOF DRAINS, WITH THE EXCEPTION OF THE T.O. SKYLIGHTS AS NOTED.

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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SEAL:

NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

BUILDING HEIGHT

DRAWING NUMBER:

G-011

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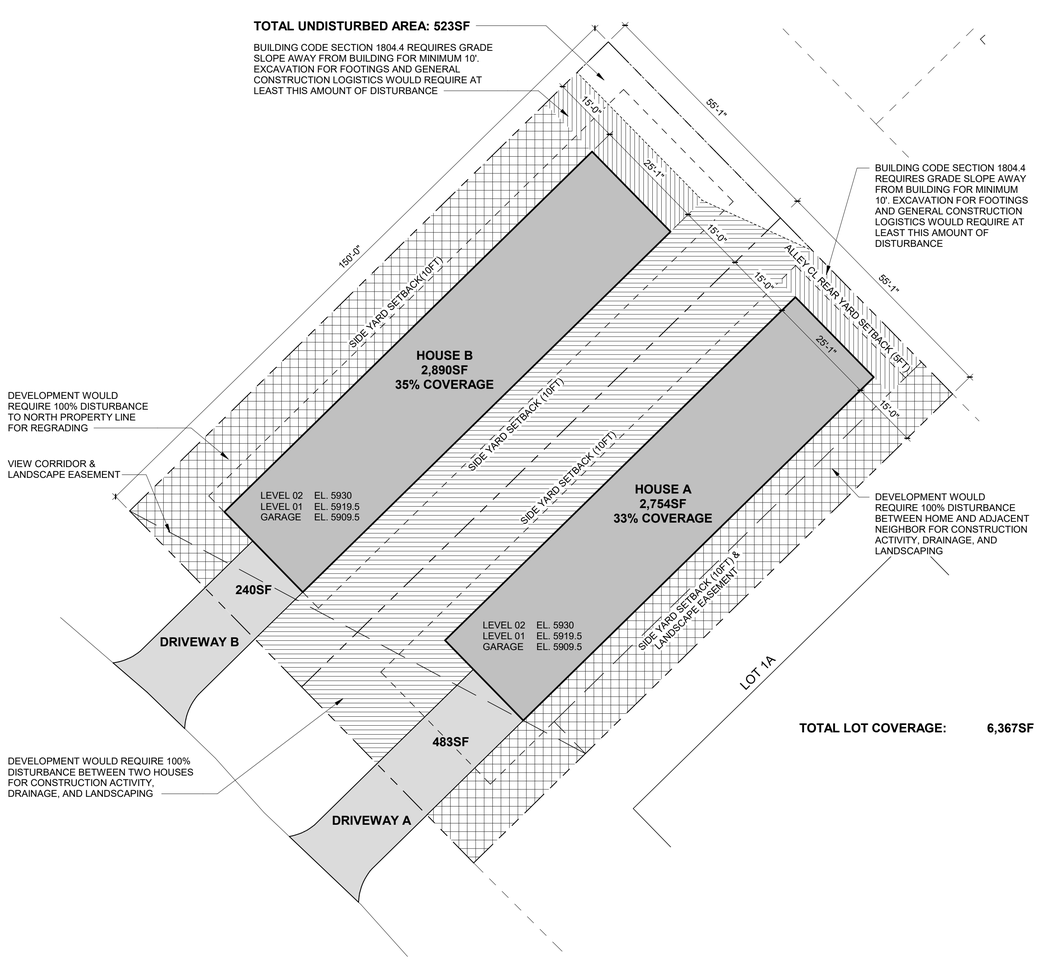
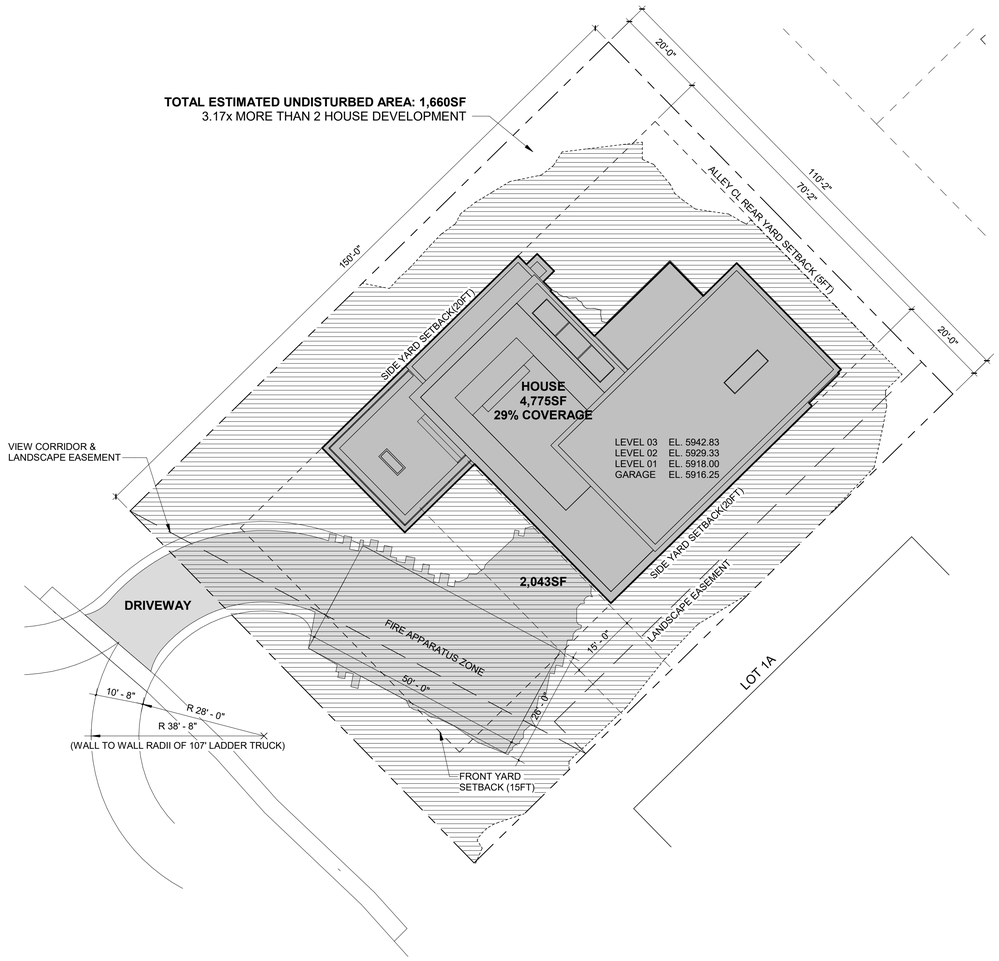


2 | 1/16" = 1'-0" | **LOT DISTURBANCE DIAGRAM / DOUBLE LOT DEVELOPMENT**



1 | 1/16" = 1'-0" | **LOT DISTURBANCE DIAGRAM / SINGLE LOT DEVELOPMENT**

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OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
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1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
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PROJECT NUMBER

2204

DRAWING TITLE:

LOT DISTURBANCE DIAGRAMS

DRAWING NUMBER:

G-020

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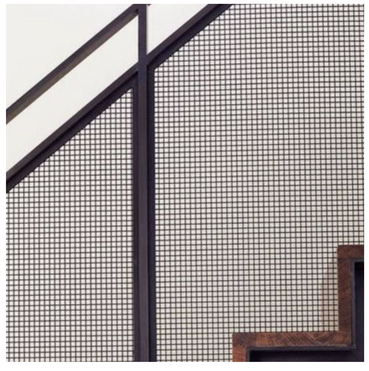
6 NTS **[MTL-2] METAL ELEMENTS, FASCIA, & NATIVE GREEN ROOF**

4 NTS **[WD-2] CUSTOM STAINED CEDAR / WOOD SOFFITS**

2 NTS **[STN-2] DARK NATURAL STONE PAVING / SELECT STONE**



7 NTS **[MTL-3] METAL GUARDRAILS**

5 NTS **[MTL-1] ALUMINUM WINDOWS & DOORS / PANORAMAH**

3 NTS **[WD-1] CUSTOM STAINED CEDAR / MID TONE / TIMBER ELEMENTS & WOOD CLADDING**

1 NTS **[STN-1] DARK NATURAL STONE CLADDING / SELECT STONE**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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SEAL:

NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

MATERIAL PALETTE

DRAWING NUMBER:

G-021

NOT FOR CONSTRUCTION

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1/14/2025 1:48:49 PM

2 NTS **PERSPECTIVE / BIRD'S EYE**

NOTE:

REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

1 NTS **PERSPECTIVE / STREET VIEW**

NOTE:

REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

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BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

RENDERED PERSPECTIVES

DRAWING NUMBER:

G-022

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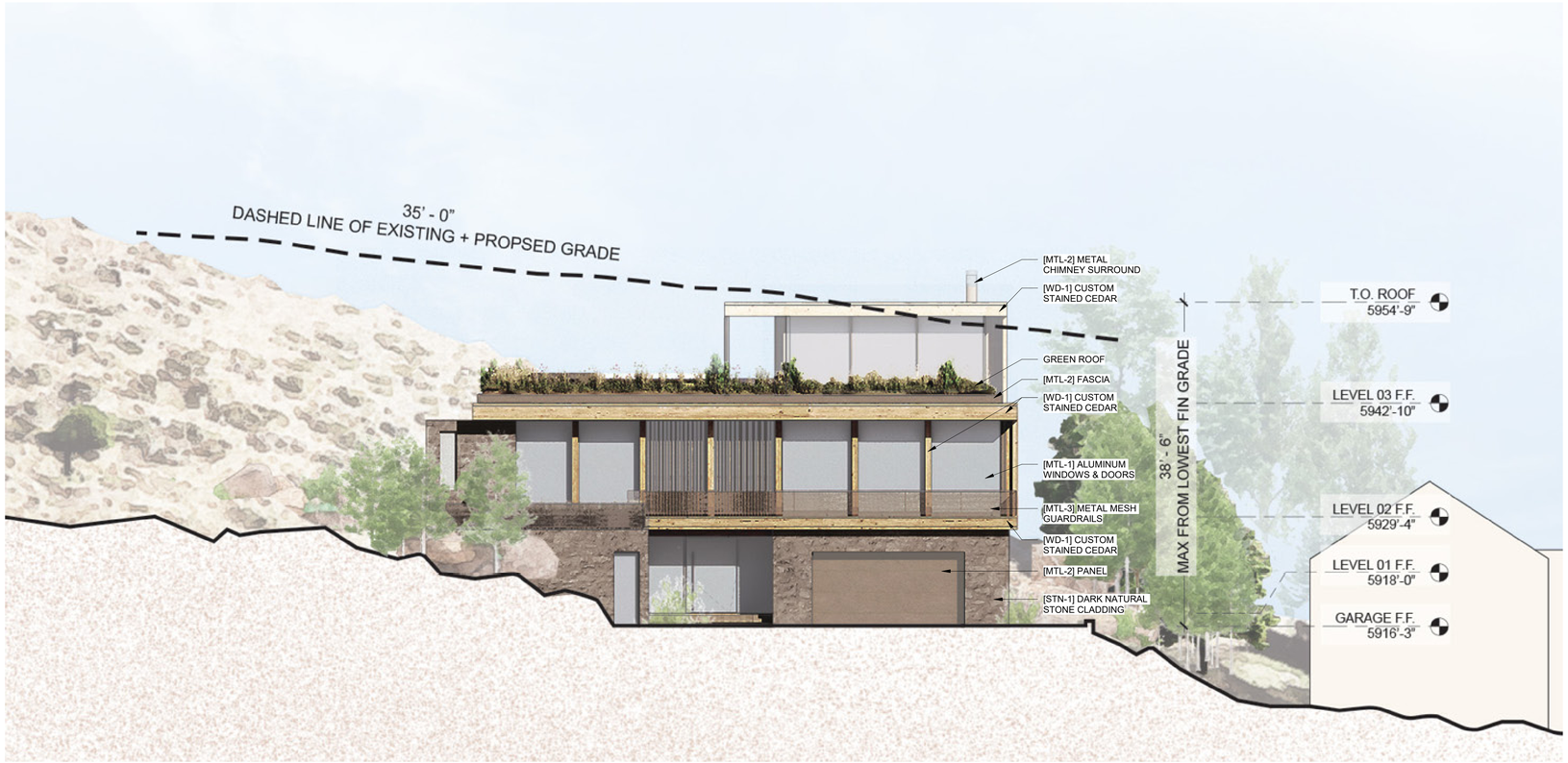
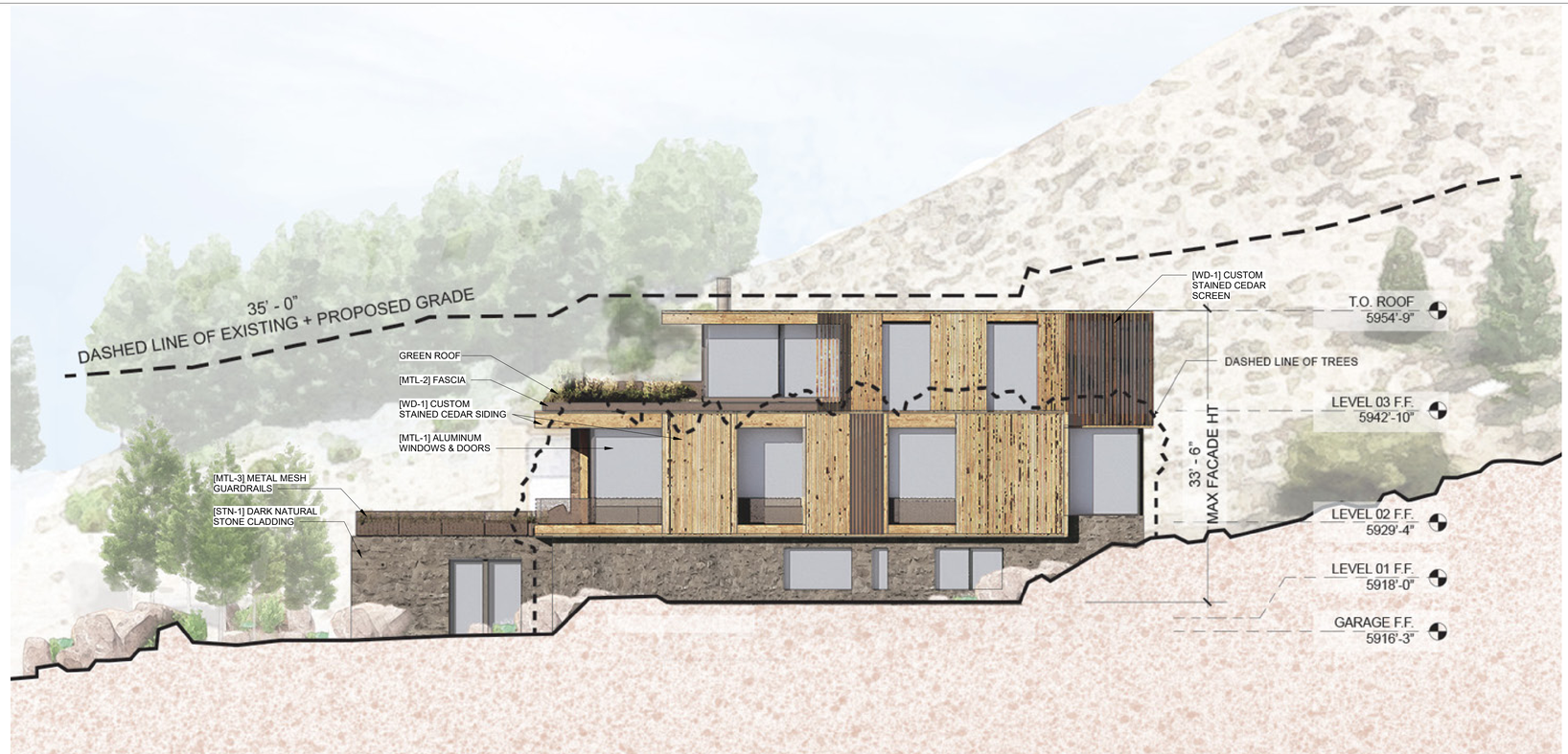


2 | 1/8" = 1'-0" | **ELEVATION / SOUTH**

NOTE:

REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS



1 | 1/8" = 1'-0" | **ELEVATION / EAST**

NOTE:

REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

RENDERED ELEVATIONS

DRAWING NUMBER:

G-023

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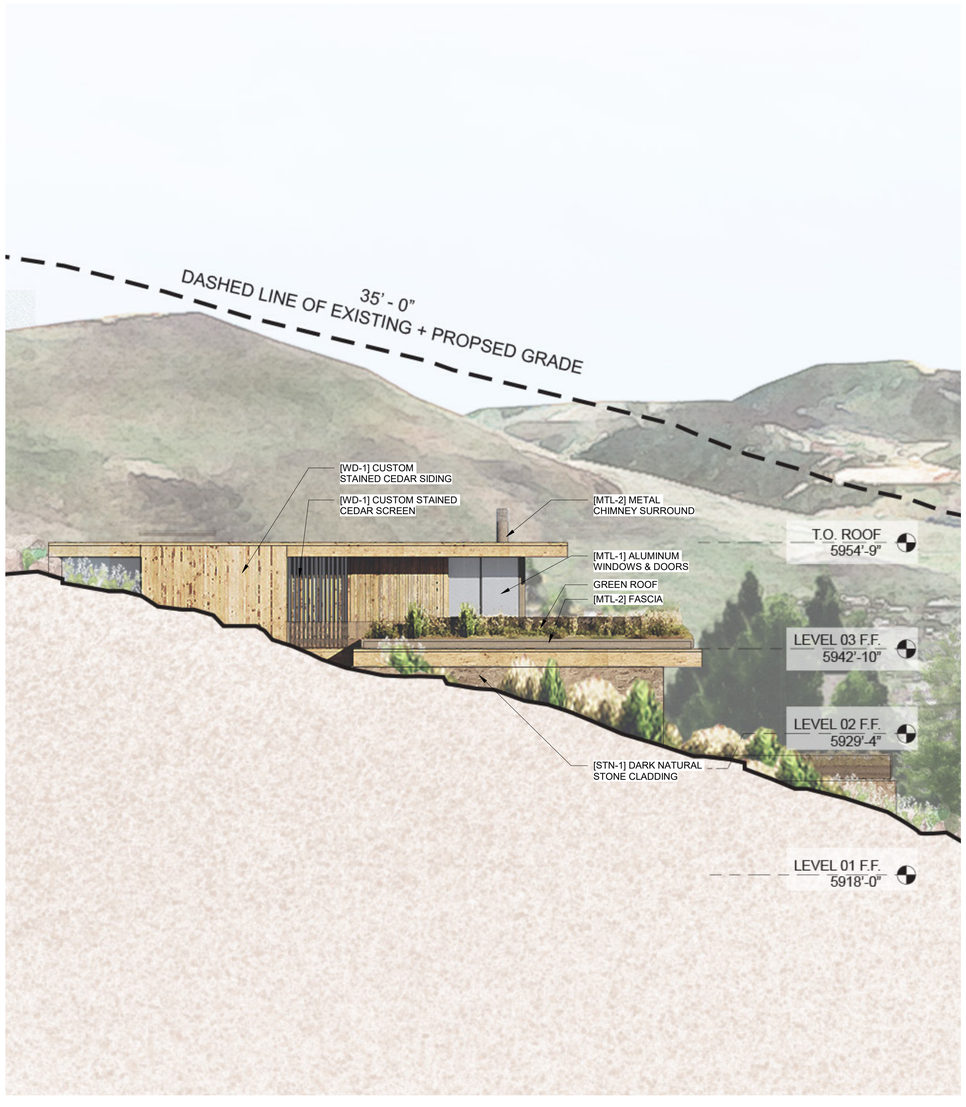
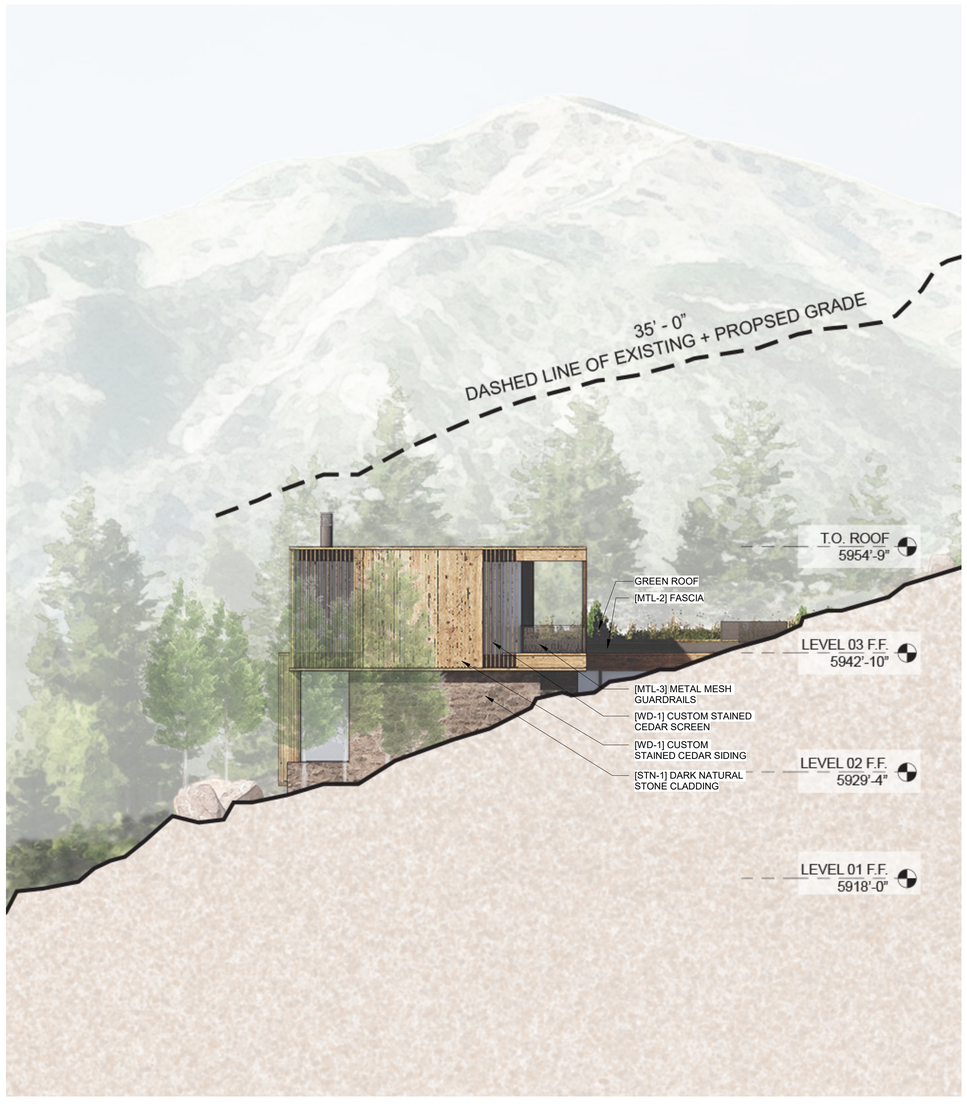


NOTE:

REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS

2 | 1/8" = 1'-0" | **ELEVATION / WEST**



NOTE:

REFER TO G-110 MATERIAL PALETTE FOR MATERIAL SPECIFICATIONS

1 | 1/8" = 1'-0" | **ELEVATION / NORTH**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

RENDERED ELEVATIONS

DRAWING NUMBER:

G-024

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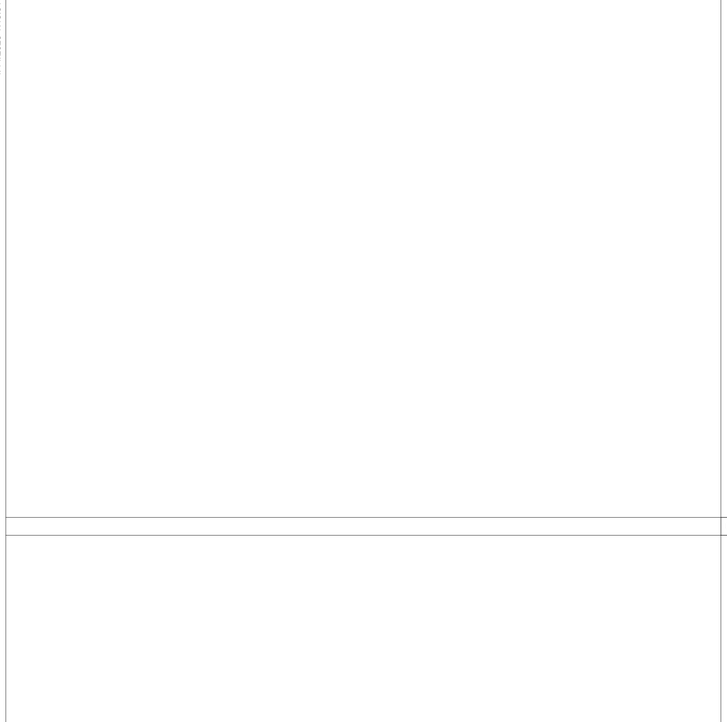
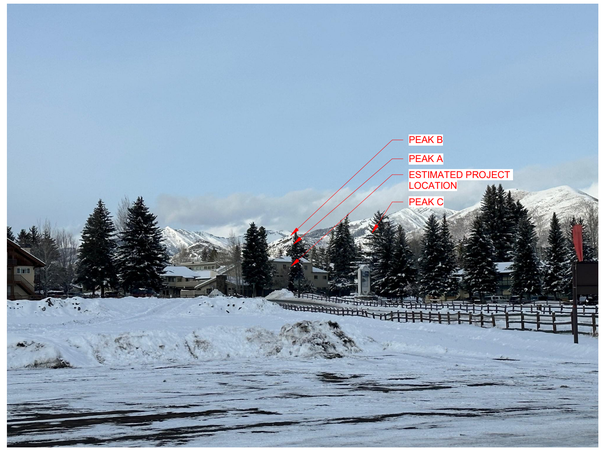


7 | NTS | **EXHIBIT KEY MAP**

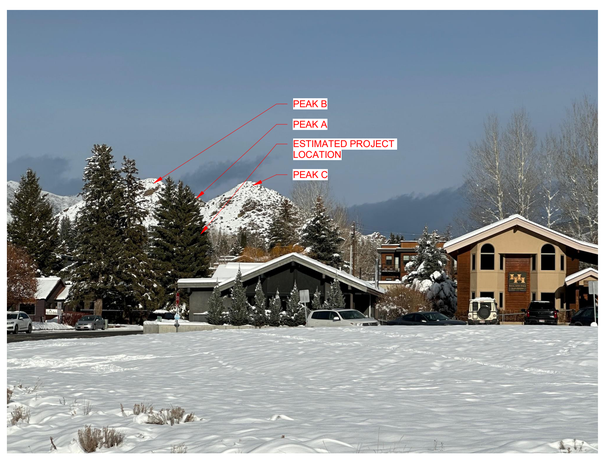


6 | NTS | **EXHIBIT F - VIEW FROM RIVER RUN PARKING LOT**

3 | NTS | **EXHIBIT C - VIEW FROM 6TH STREET GRAVEL BIKE PATH CONNECTOR**

5 | NTS | **EXHIBIT E - VIEW FROM BIKE PATH NEAR 6TH STREET FURTHER VANTAGE**

2 | NTS | **EXHIBIT B - VIEW FROM TOWN SQUARE ICE CREAM SHED**



4 | NTS | **EXHIBIT D - VIEW FROM BIKE PATH NEAR 6TH STREET**

1 | NTS | **EXHIBIT A - VIEW FROM TOWN SQUARE STARBUCKS**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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SEAL:

NO	DATE	ISSUE
1	01.15.25	MODR PRE-APPLICATION

PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

PHOTOGRAPHY EXHIBITS

DRAWING NUMBER:

G-025

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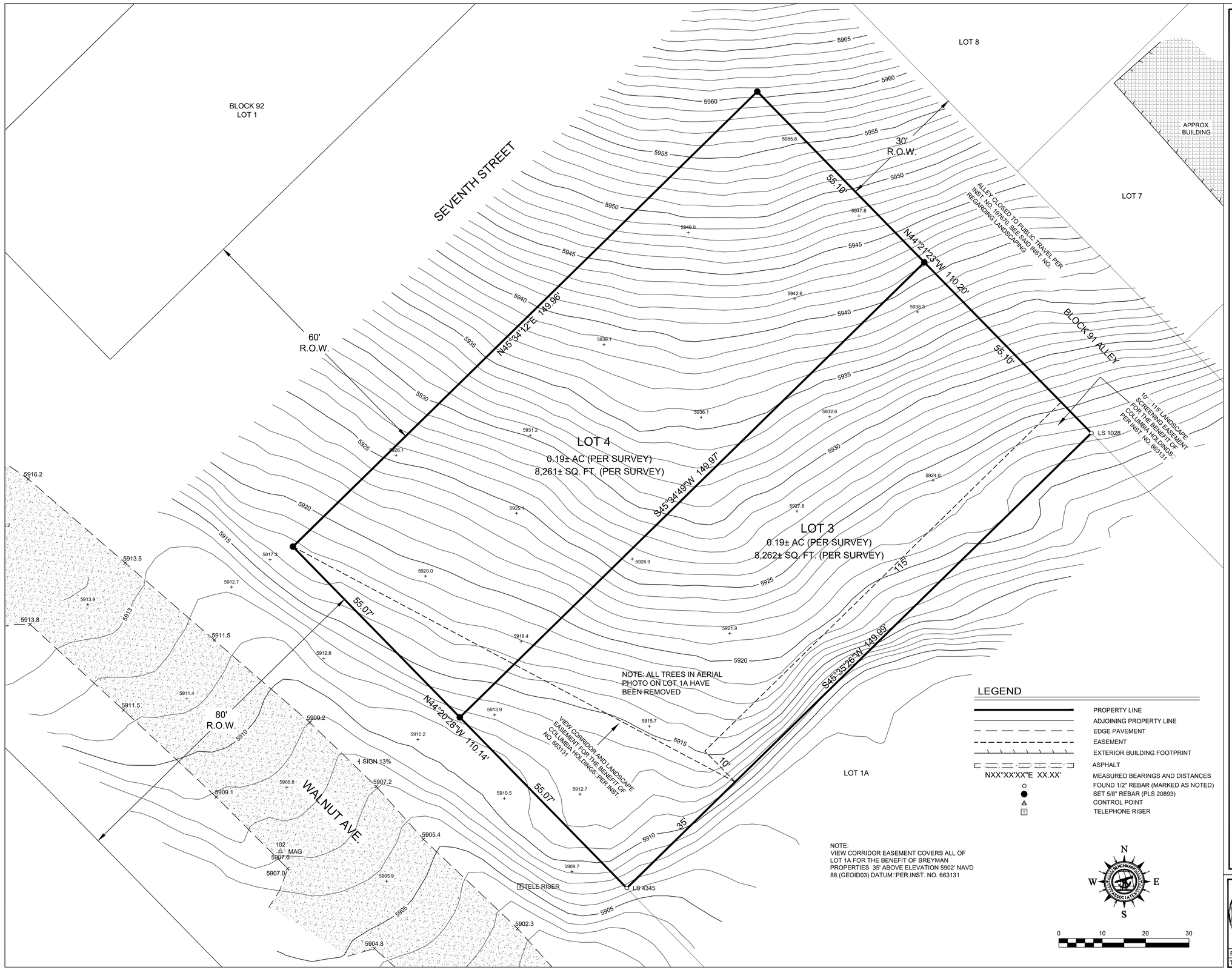

NOTES

SURVEY NARRATIVE:

1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
2. REFERENCED SURVEYS: PLAT OF VILLAGE OF KETCHUM: INST. NO. 302967□ RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 91, LOTS 1 & 2, INST. NO. 626556□PLAT OF KETCHUM TOWNSITE: BLOCK 91, LOT 1A□INST NO. 652564□ RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 91, LOTS 7 & 8□INST. NO. 665488□CITY OF KETCHUM ORDINANCE NO. 173, INST. NO. 197670□RECIPROCAL VIEW CORRIDOR AND LANDSCAPE EASEMENT AGREEMENT, INST. NO. 663131.
3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
   VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM.
4. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
5. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
7. TITLE POLICY BY STEWART TITLE GUARANTY COMPANY, FILE NO. 22455152, GUARANTEE NO. G-0000367463638, DATED JUNE 2, 2022. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
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11. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

SURVEY AND SITE FEATURES:

12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.,) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
21. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

SEE PRINTED HARD COPY FOR SURVEYORS STAMP AND SEAL

PREPARED BY :
BENCHMARK ASSOCIATES
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
WEB: http://benchmark-associates.com/
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KETCHUM VILLAGE
BLOCK 91, LOTS 3 & 4

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

PROJECT NO. 22061	DWG BY: HDB	CRD: 22061	22061□TOPO.DWG
TOPOGRAPHIC SURVEY	DATE OF SURVEY: 6/6/2022		SHEET: 1 OF 1

SEVENTH STREET

ALLEY

LOT 4

LOT 3

LOT 1A

N. Walnut Ave

N

W E

S

0 10 20 30

LEGEND

PARCEL DATA PER BLAINE COUNTY GIS (NOT SURVEYED)
BOUNDARY LOCATION MAY VARY

15% 15% — 15% SLOPE LINE

20% 20% — 20% SLOPE LINE

25% 25% — 25% SLOPE LINE

15 to 20%

20 to 25%

>25%

NOTES

SURVEY NARRATIVE:

1. THE PURPOSE OF THIS EXHIBIT MAP IS TO SHOW SLOPE 15%, 20%, AND 25% SLOPE ZONES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE DATE OF LIDAR FLIGHT.
2. A BOUNDARY SURVEY WAS NOT PERFORMED. SHOWN LOT LINES ARE PER BLAINE COUNTY GIS AND MAY VARY FROM PLAT DIMENSIONS.
3. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
4. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
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7. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:

8. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
9. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

SITE FEATURES:

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11. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
12. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
13. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
14. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
15. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.,) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
16. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
17. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
18. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

SLOPE EXHIBIT WORKSHEET

PREPARED BY :
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
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KETCHUM VILLAGLE
BLOCK 91, LOTS 3 & 4

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

PROJECT NO. 22018	DWG BY: ROB	CRD: N/A	SLOPE ANALYSIS.DWG
A EXHIBIT MAP	DATE OF SURVEY: 2/3/2022		SHEET: 1 OF 1

G:\BMA\K\ketchum village\block 91\Lots 3 & 4\22018 Slope Analysis.dwg

60' R.O.W.
30' R.O.W.
80' R.O.W.
WALNUT AVE.
ALLEY CLOSED TO PUBLIC TRAVEL PER INST. NO. 197670 SEE SAID INST. NO. REGARDING LANDSCAPING
LOT 4
0.19± AC (PER SURVEY)
8,261± SQ. FT. (PER SURVEY)
LOT 3
0.19± AC (PER SURVEY)
8,262± SQ. FT. (PER SURVEY)
MAIN LEVEL FFE = 5934.33
LOWER LEVEL FFE = 5926.00
GARAGE FFE = 5916.25
TR 48.00
BR 42.00
TR 40.00
BR 35.00
TR 35.00
TC 33.08
TR 33.08
TS 31.50
TR 25.00
BR 21.00
TS 18.00
BR 21.50
TR 15.00
BR 12.50
29.33
35.50
33.50
31.50
21.50
LS 4345
TC ME
11.07 FG
11.59 FG
11.25 FG
13.40 FG
11.01 FG
12.78 FG
15.70 FG
14.75 FG
20' MIN (2% MIN SEPARATION)
R10'
M
S11
S10
S04
S01
S13
S07
S08a
S08b
S09a
S09b
S02
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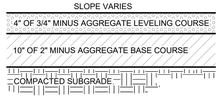
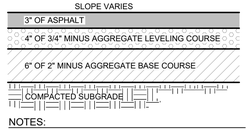


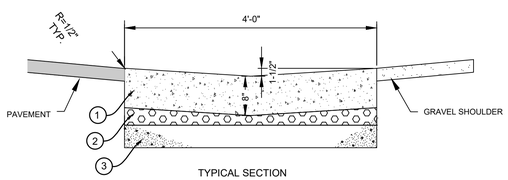
NOTES:
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

1 C1.0 **TYPICAL GRAVEL SECTION**
N.T.S.



NOTES:
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 C1.0 **TYPICAL STREET ASPHALT SECTION**
N.T.S.

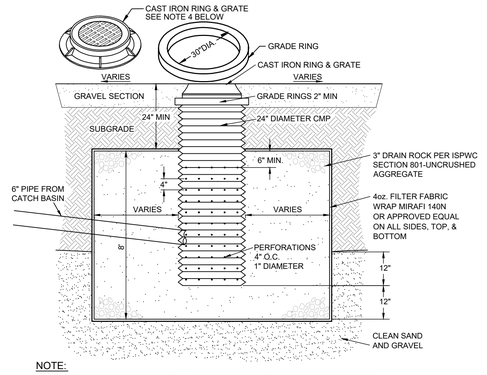


TYPICAL SECTION

LEGEND
1. 8-INCH THICK CONCRETE
2. 2" MIN. OF ¾" TYPE 1 AGGREGATE BASE
3. 6" OF 2" TYPE II SUBBASE

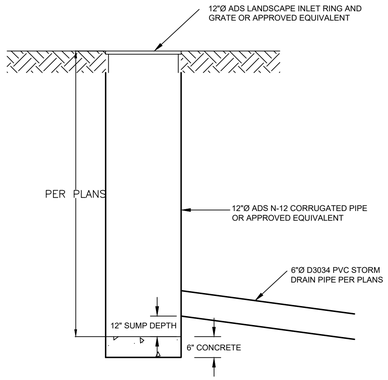
NOTES
1. ½-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
2. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
3. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

3 C1.0 **4 FT CONCRETE VALLEY GUTTER**
N.T.S.

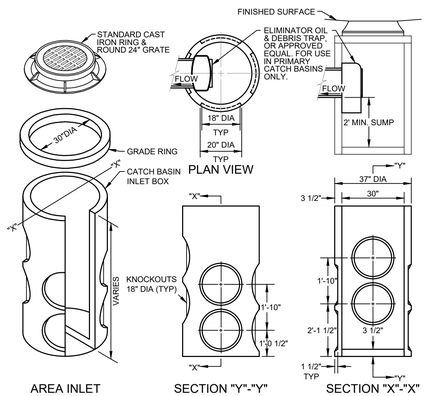


NOTE:
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

4 C1.0 **DRYWELL DETAIL**
N.T.S.

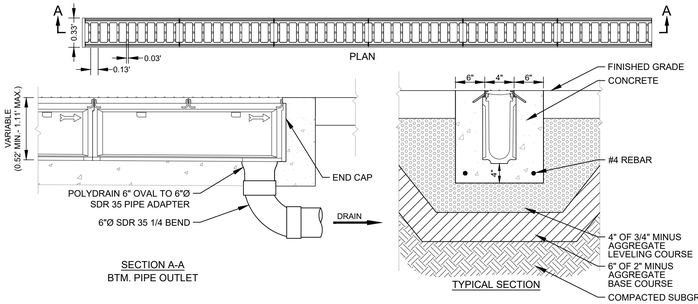


5 C1.0 **12" Ø LANDSCAPE CATCH BASIN**
N.T.S.



CATCH BASIN INSTALLATION NOTES:
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

6 C1.1 **30" DIAMETER PRIMARY CATCH BASIN**
N.T.S.



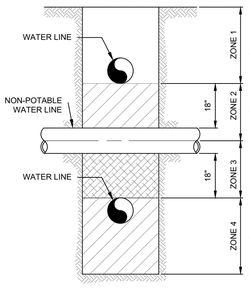
SECTION A-A
BTM. PIPE OUTLET

TYPICAL SECTION

NOTES
1. LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
2. THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
3. CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
4. TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

7 C1.0 **TRENCH DRAIN DETAIL**
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



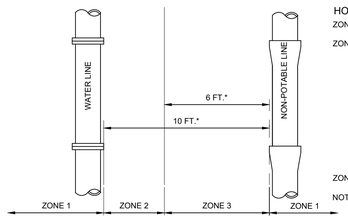
VERTICAL SEPARATION REQUIREMENTS

ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18"
AND
B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
AND EITHER
B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
OR
C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



.* DISTANCES ARE HORIZONTAL

HORIZONTAL SEPARATION REQUIREMENTS

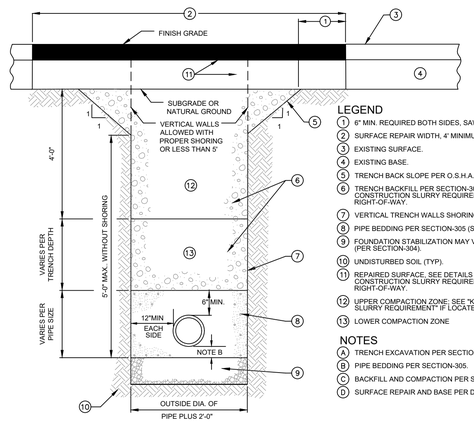
ZONE 1: A) NO SPECIAL REQUIREMENTS.

ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
AND
C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
AND EITHER
D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
OR
E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.

ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

8 C1.0 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.



LEGEND
1. 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
2. SURFACE REPAIR WIDTH, 4' MINIMUM.
3. EXISTING SURFACE.
4. EXISTING BASE.
5. TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
6. TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
7. VERTICAL TRENCH WALLS SHORING PER O.S.H.A..
8. PIPE BEDDING PER SECTION-305 (SEE SD-302).
9. FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
10. UNDISTURBED SOIL (TYP).
11. REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
12. UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
13. LOWER COMPACTION ZONE

NOTES
A. TRENCH EXCAVATION PER SECTION-301.
B. PIPE BEDDING PER SECTION-305.
C. BACKFILL AND COMPACTION PER SECTION-306.
D. SURFACE REPAIR AND BASE PER DETAIL 3/C20

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

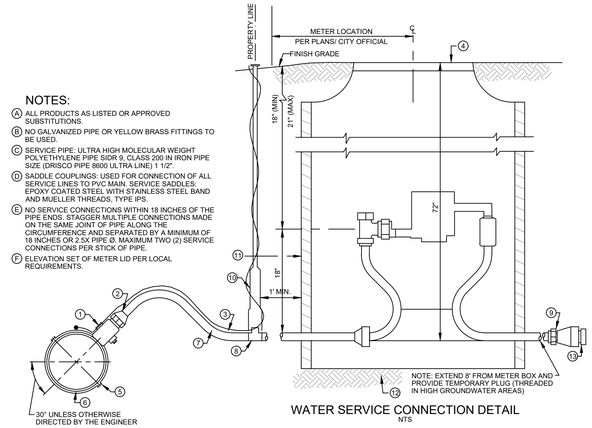
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (¾" MINUS)	2,600 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

9 C1.0 **TYPICAL TRENCH SECTION**
N.T.S.



NOTES:
A. ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
B. NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
C. SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SIDR 9, CLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 1 1/2".
D. SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE IPS.
E. NO SERVICE CONNECTIONS WITHIN 18 INCHES OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES OR 2.5X PIPE Ø, MAXIMUM TWO (2) SERVICE CONNECTIONS PER STICK OF PIPE.
F. ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.

WATER SERVICE CONNECTION DETAIL
NTS

LEGEND
1. CORP STOP WITH COMPRESSION COUPLING FORD MODEL F-1100 OR APPROVED EQUAL
2. MUELLER H-15072.
3. N0. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING
4. MUELLER 18" DIA OPENING LID OR APPROVED EQUAL, 2" DIA HOLE IN LID FOR RADIO READ UNIT. LIDS AND FRAMES LOCATED IN PAVED OR GRAVEL AREAS WHICH WILL RECEIVE VEHICULAR TRAFFIC SHALL BE H-20 RATED, D&L SUPPLY D-6016 RING WITH SOLID LID OR APPROVED EQUAL.
5. STAINLESS STEEL SADDLE.
6. WATER MAIN.
7. 2" SERVICE LINE, 200 PSI POLY PIPE WITH INSERTS (TYP.) NO SPLICING IS ALLOWED.
8. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE OR APPROVED EQUAL
9. DOUBLE PURPOSE COUPLING.
10. STANDARD KETCHUM STYLE VALVE BOX WITH ERIE STYLE LID AND ATTACHED ROD
11. 18" DIA. X 72" DEEP MUELLER THERMA COIL METER VAULT OR APPROVED EQUAL NOTCH FOR SERVICE LATERALS.
12. FIRM UNDISTURBED EARTH, (SET TILE ON 2"X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
13. PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).

10 C1.0 **2" WATER SERVICE CONNECTION**
N.T.S.

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KNOB HILL RESIDENCE
DETAIL SHEET

LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: KNOB HILL PROPERTIES LLC

PROJECT INFORMATION
G:\BM\A\ketchum village\block 91\Lots 3 & 4\24099 Preside\dwg\Construction\24099 Civil.dwg 01/15/25 10:47:11 AM

PRELIMINARY NOT FOR CONSTRUCTION
02/20/19

DESIGNED BY:	SLS
DRAWN BY:	SLS
CHECKED BY:	JL
DATE:	1/15/24

GALENA – BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P. O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

GALENA ELEVATION ABOVE SEA 9230 FEET
SURVEYING ENGINEERING PLANNING
BENCHMARK

NO	DATE	BY	REVISIONS

PURPOSE: ISSUE FOR MOD DESIGN REVIEW

C1.1

GRAPHIC SCALE

0 10 20

Scale in Feet

FIRE ACCESS KEY NOTES

- S01 FIRE APPARATUS LAY DOWN AREA
- S02 FIRE HOSE LAY DOWN PATH
- S03 DRIVEWAY CENTERLINE

KNOB HILL RESIDENCE
FIRE TRUCK EXHIBIT

LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: KNOB HILL PROPERTIES LLC

PROJECT INFORMATION
G:\BM\Ketchum village\block 91\Lots 3 & 4\24099 Presidio\dwg\Construction\24099 Civil.dwg 01/15/25 10:47:11 AM

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Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
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GALENA ELEVATION ABOVE SEA 5030 FEET
SURVEYING ENGINEERING PLANNING
BENCHMARK

PURPOSE: ISSUE FOR MOD DESIGN REVIEW

NO	DATE	BY	REVISIONS

EXH

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LEGEND

- PROPERTY BOUNDARY
- ASPHALT DRIVEWAY
- STONE PLANK PAVERS
- GRAVEL SHOULDER
- CONCRETE PAVING
- EXISTING CONTOUR
- EXISTING VEGETATION TO REMAIN
- ORNAMENTAL LANDSCAPE BOULDERS
- LANDSCAPE BOULDERS NECESSARY FOR RETAINING
- SNOW STORAGE
- FIRE APPARATUS ZONE

LOT CALCULATIONS

LOT COVERAGE

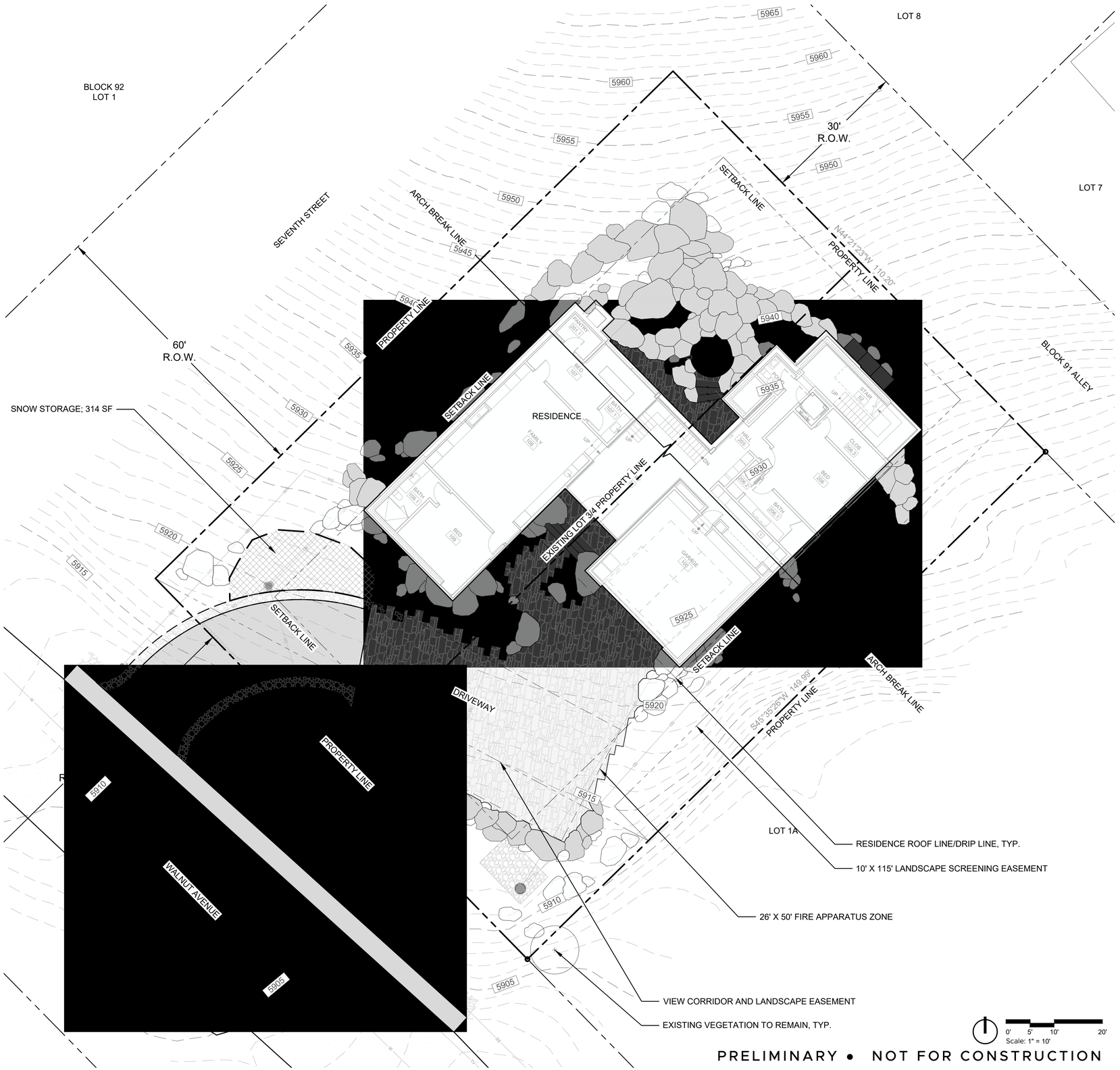
LOT SIZE = ± 16,523 SF (0.38 ACRES)
BUILDING COVERAGE = 4,775 SF
COVERAGE BY DRIVEWAY/PARKING = 2,043 SF

TOTAL = 6,818 SF

SNOW STORAGE

DRIVEWAY (NOT COUNTING SNOWMELTED AREA)
1,047 SF X .3 = 314 SF (REQUIRED PER CODE)

SNOW STORAGE PER PLAN
= 314 SF



0' 5' 10' 20'
Scale: 1" = 10'

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FIELD STUDIO
LANDSCAPE ARCHITECTS
722 N.ROUSE AVE.
BOZEMAN, MT 59715
(406)551-2098
www.fieldstudiola.com

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PROJECT NUMBER: 2409.00

KNOB HILL RESIDENCE

KETCHUM, ID

DATE	ISSUE
2025.01.15	MODR PRE-APP

SHEET TITLE

OVERALL SITE PLAN

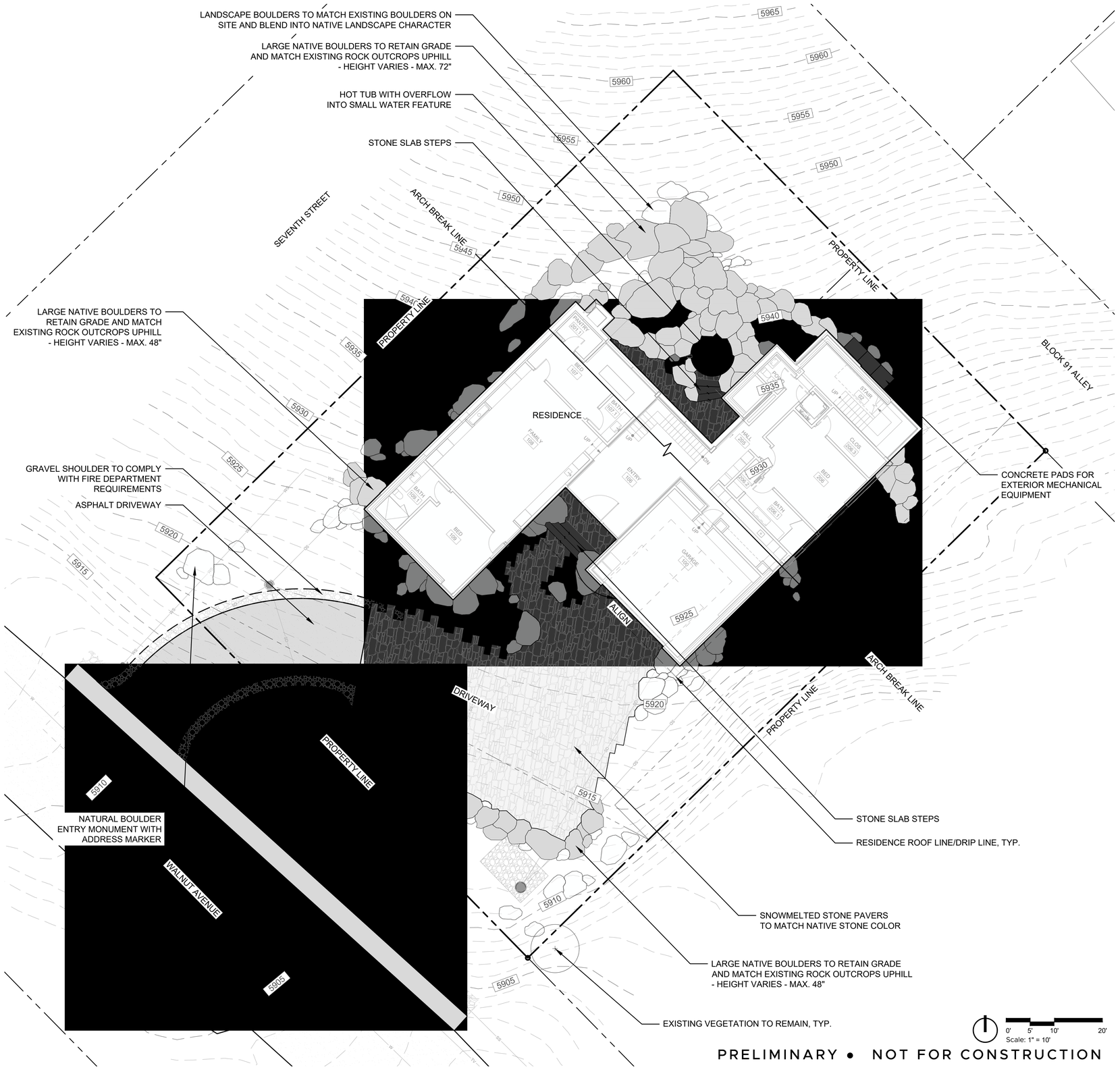
SHEET 1 OF 4

L-0.00

LEGEND

- PROPERTY BOUNDARY
- ASPHALT DRIVEWAY
- STONE PLANK PAVERS
- GRAVEL SHOULDER
- CONCRETE PAVING
- EXISTING CONTOUR
- EXISTING VEGETATION TO REMAIN
- ORNAMENTAL LANDSCAPE BOULDERS
- LANDSCAPE BOULDERS NECESSARY FOR RETAINING
- ALIGN

REPRESENTATIVE IMAGES OF EXISTING NATIVE BOULDERS TO MATCH ON SITE



0' 5' 10' 20'
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PROJECT NUMBER: 2409.00

KNOB HILL RESIDENCE

KETCHUM, ID

DATE	ISSUE
2025.01.15	MODR PRE-APP

SHEET TITLE

LAYOUT AND MATERIALS PLAN

SHEET 2 OF 4

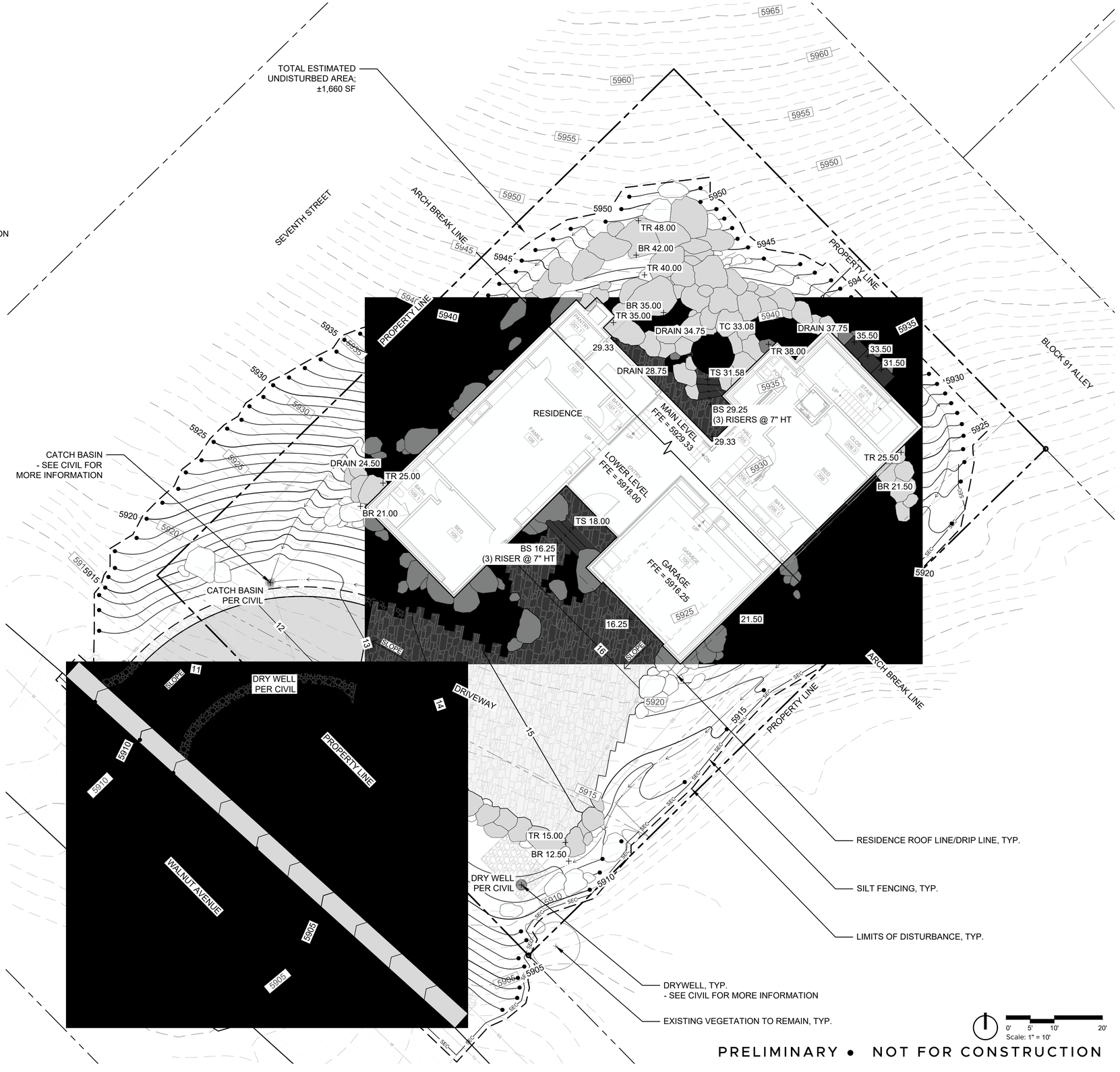
L-1.00

LEGEND

- PROPERTY BOUNDARY
- LIMITS OF DISTURBANCE
- EROSION CONTROL & TREE PROTECTION FENCING
- ASPHALT DRIVEWAY
- STONE PLANK PAVERS
- GRAVEL SHOULDER
- CONCRETE PAVING
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING VEGETATION TO REMAIN
- ORNAMENTAL LANDSCAPE BOULDERS
- LANDSCAPE BOULDERS NECESSARY FOR RETAINING
- DRAINAGE SWALE
- XX.XX SPOT ELEVATION
  - FFE= FINISH FLOOR ELEVATION
  - TS = TOP OF STEP
  - BS = BOTTOM OF STEP
  - TR = TOP OF RETAINING
  - BR = BOTTOM OF RETAINING
  - TC = TOP OF COPING

GRADING NOTES

1. STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
2. PLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.
3. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO ELEVATIONS REQUIRED TO ACHIEVE INDICATED FINISH ELEVATIONS.
4. UNACCEPTABLE MATERIALS: CLEAN SOIL OF CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, AND OTHER EXTRANEOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.
5. DO NOT APPLY MATERIALS OR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
6. IF PLANTING SOIL OR SUBGRADE IS OVERCOMPACTED, DISTURBED, OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE PLANTING SOIL AND CONTAMINATION; RESTORE THE SUBGRADE AS DIRECTED BY LANDSCAPE ARCHITECT AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
7. CONTRACTOR TO STAKE LIMITS OF ROADS AND PLANTING BEDS IN FIELD FOR LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PRIOR TO CONSTRUCTION.
8. ALL SPOT ELEVATIONS ARE FINISH GRADE UNLESS OTHERWISE NOTED.
9. SEE PLANTING DETAILS FOR TOP SOIL REQUIREMENTS IN PLANTING PITS FOR TREES, SHRUBS, AND PERENNIALS.
10. ROUGH GRADE 6" LESS THAN FINISH GRADE TO ALLOW FOR TOPSOIL IN LAWN AREA. REFER TO SPECIFICATIONS FOR TOP SOIL DEPTH.
11. ALL SWALES TO SLOPE AT A MINIMUM OF 2% LONGITUDINAL SLOPE.
12. FINAL GRADE TO BE MIN ± 4-6" BELOW TOP OF CONCRETE FOUNDATION WALL.
13. EXISTING STONE WALLS AND BOULDER OUTCROPS WILL BE RECONSTRUCTED BY LANDSCAPE CONTRACTOR. IF PORTIONS OF THE WALL NEED TO BE REMOVED FOR ROUGH GRADING, EXISTING STONE TO BE PALLETIZED FOR RE-USE. EXTENTS IF WALL REMOVAL TO BE COORDINATED WITH LANDSCAPE ARCHITECT.
14. FINAL WALL LAYOUT TO BE CONFIRMED IN FIELD BASED ON EXISTING TREE LOCATIONS
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING BOTH LINE AND GRADE. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
16. THE CONTRACTOR SHALL STAKE ALL KEY AREAS AND SHALL RECEIVE APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION.
17. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS. CONTRACTOR SHALL PROVIDE A SMOOTH FINISH GRADE THROUGHOUT THE ENTIRE PROJECT FREE OF RUTS, DEPRESSIONS AND IRREGULARITIES. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES. ALL SWALES, DEPRESSIONS, ETC. NOT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING.



PRELIMINARY • NOT FOR CONSTRUCTION

FIELD STUDIO LANDSCAPE ARCHITECTS
722 N.ROUSE AVE.
BOZEMAN, MT 59715
(406)551-2098
www.fieldstudiola.com

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PROJECT NUMBER: 2409.00

KNOB HILL RESIDENCE

KETCHUM, ID

DATE	ISSUE
2025.01.15	MODR PRE-APP

SHEET TITLE

GRADING AND DRAINAGE PLAN

SHEET 3 OF 4

L-2.00

LEGEND

- PROPERTY BOUNDARY
- ASPHALT DRIVEWAY
- STONE PLANK PAVERS
- GRAVEL SHOULDER
- CONCRETE PAVING
- EXISTING CONTOUR
- EXISTING VEGETATION TO REMAIN
- ORNAMENTAL LANDSCAPE BOULDERS
- LANDSCAPE BOULDERS NECESSARY FOR RETAINING

PLANTING SCHEDULE

TREES

SYM.	KEY	QTY	BOTANIC NAME	COMMON NAME	ROOT	SIZE	SPACING
	PP	5	*Pinus ponderosa*	Ponderosa Pine	B&B	14' HT	PER PLAN
	PT	16	*Populus tremulodes*	Quaking Aspen	B&B	2" CAL.	PER PLAN
	PV	6	*Prunus virginiana*	Common Chokecherry	CONT.	#25	PER PLAN

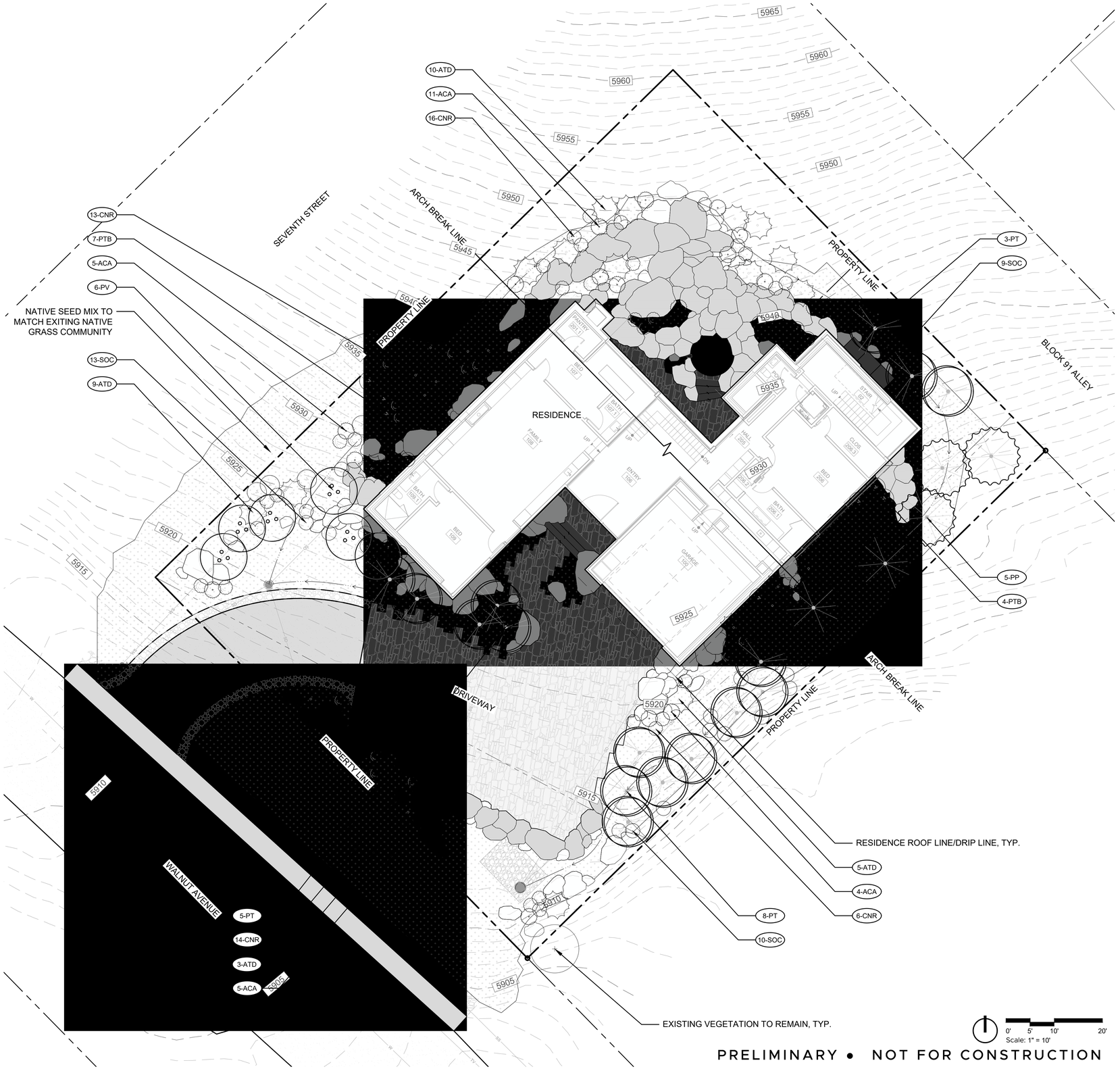
SHRUBS

SYM.	KEY	QTY	BOTANIC NAME	COMMON NAME	ROOT	SIZE	SPACING
	ACA	25	*Artemisia cana*	Silver Sagebrush	CONT.	#2	PER PLAN
	ATD	27	*Artemisia tridentata*	Big Sagebrush	CONT.	#7	PER PLAN
	CNR	42	*Chrysothamnus nauseosus*	Rabbitbrush	CONT.	#5	PER PLAN
	PTB	11	*Purshia tridentata*	Antelope Bitterbrush	CONT.	#5	PER PLAN
	SOC	32	*Symphoricarpos occidentalis*	Western Snowberry	CONT.	#5	PER PLAN

SEED MIX

SYM.	ZONE	SEED MIX	AREA
	NATIVE GRASS AND FORB MIX	SPECIES CANADIAN BLUEGRASS, *Poa compressa* SHEEP FESCUE, *Festuca oviana* IDAHO FESCUE, *Festuca idahoensis* BLUEBUNCH WHEATGRASS, *Agropyron inerme* ARROWLEAF BALSAMROOT, *Balsamoriza sagittata* SULFUR-FLOWER BUCKWHEAT, *Eriogonum umbellatum*	±7,250 SF

NOTE:
1. VERIFY EXACT GRASS MIXTURE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING CONDITIONS ON SITE PRIOR TO INSTALL.



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SHEET TITLE

PLANTING PLAN

SHEET 4 OF 4

L-5.00

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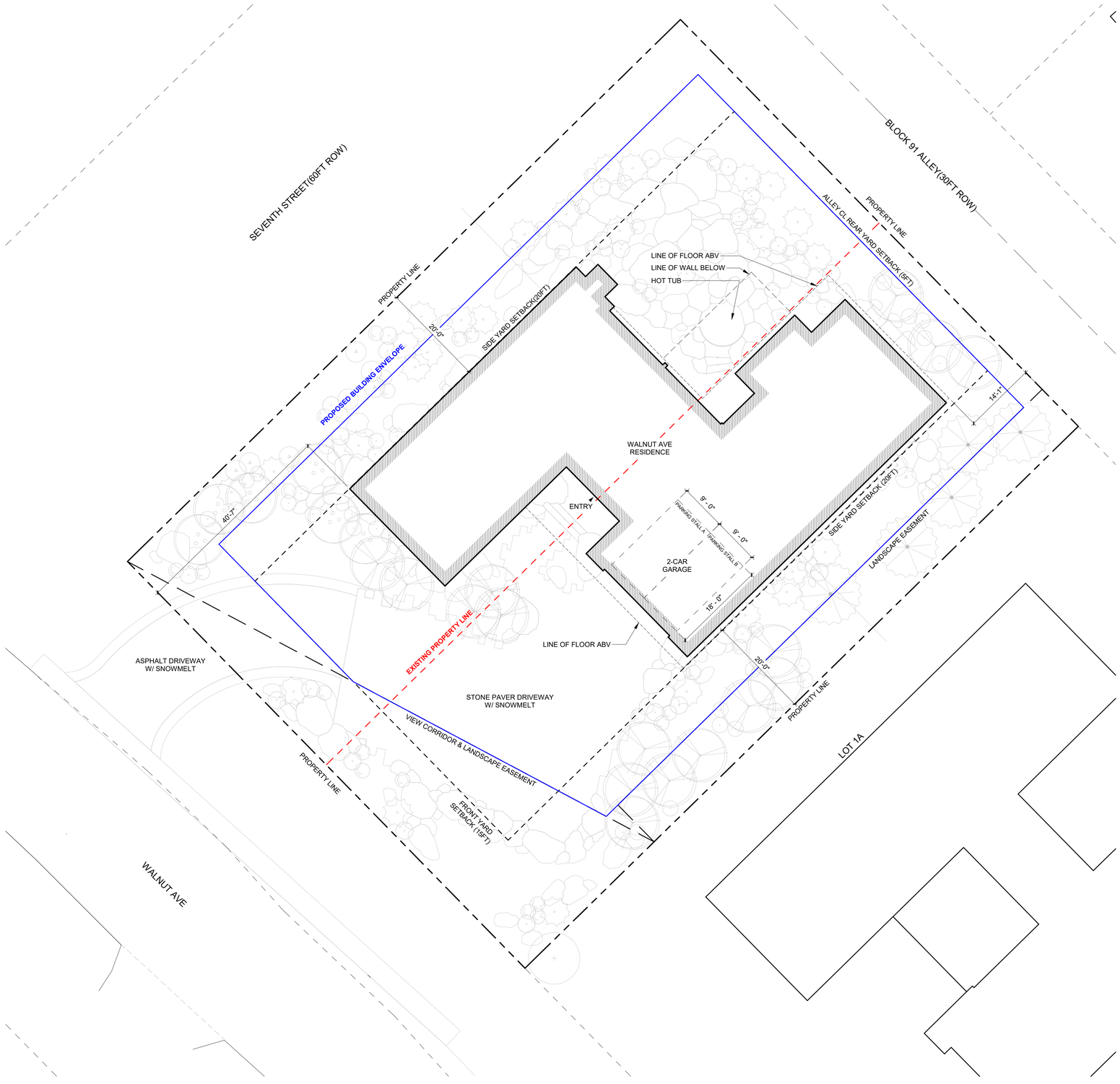

SITE PLAN NOTES:

1. SEE LANDSCAPE PLAN FOR (E) & (N)TREE LOCATIONS
2. SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.

1 | 1" = 10'-0" | **SITE PLAN**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

SITE PLAN

DRAWING NUMBER:

A-100

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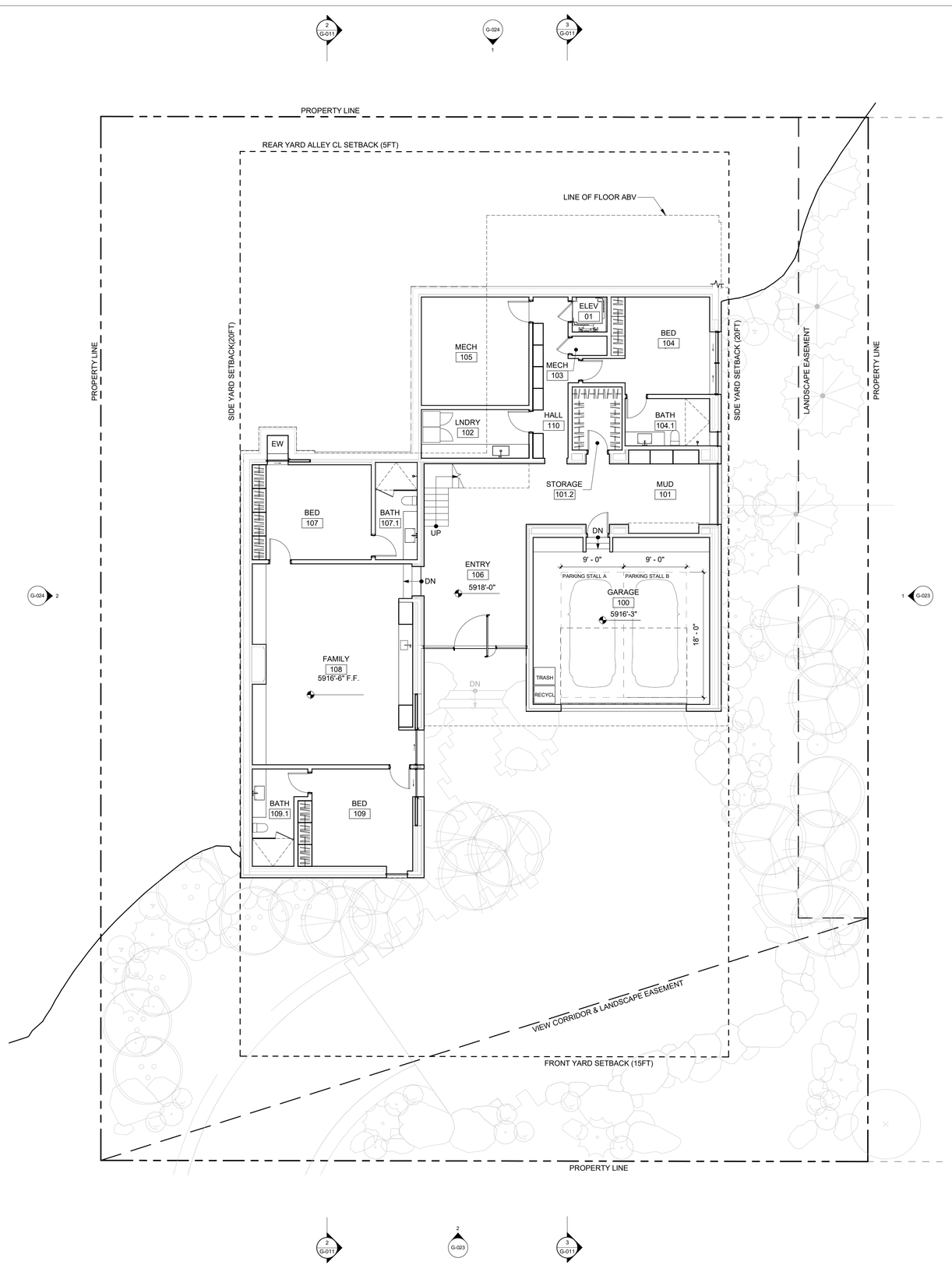

REFERENCE PLAN NOTES:

1. SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
2. SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
3. USGS ELEVATION +5,918'-0" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
4. COORDINATE STARTPOINT WITH CIVIL
5. SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES

1	1/8" = 1'-0"	**REFERENCE PLAN / LEVEL 01**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
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LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

REFERENCE PLAN / LEVEL 01

DRAWING NUMBER:

A-102

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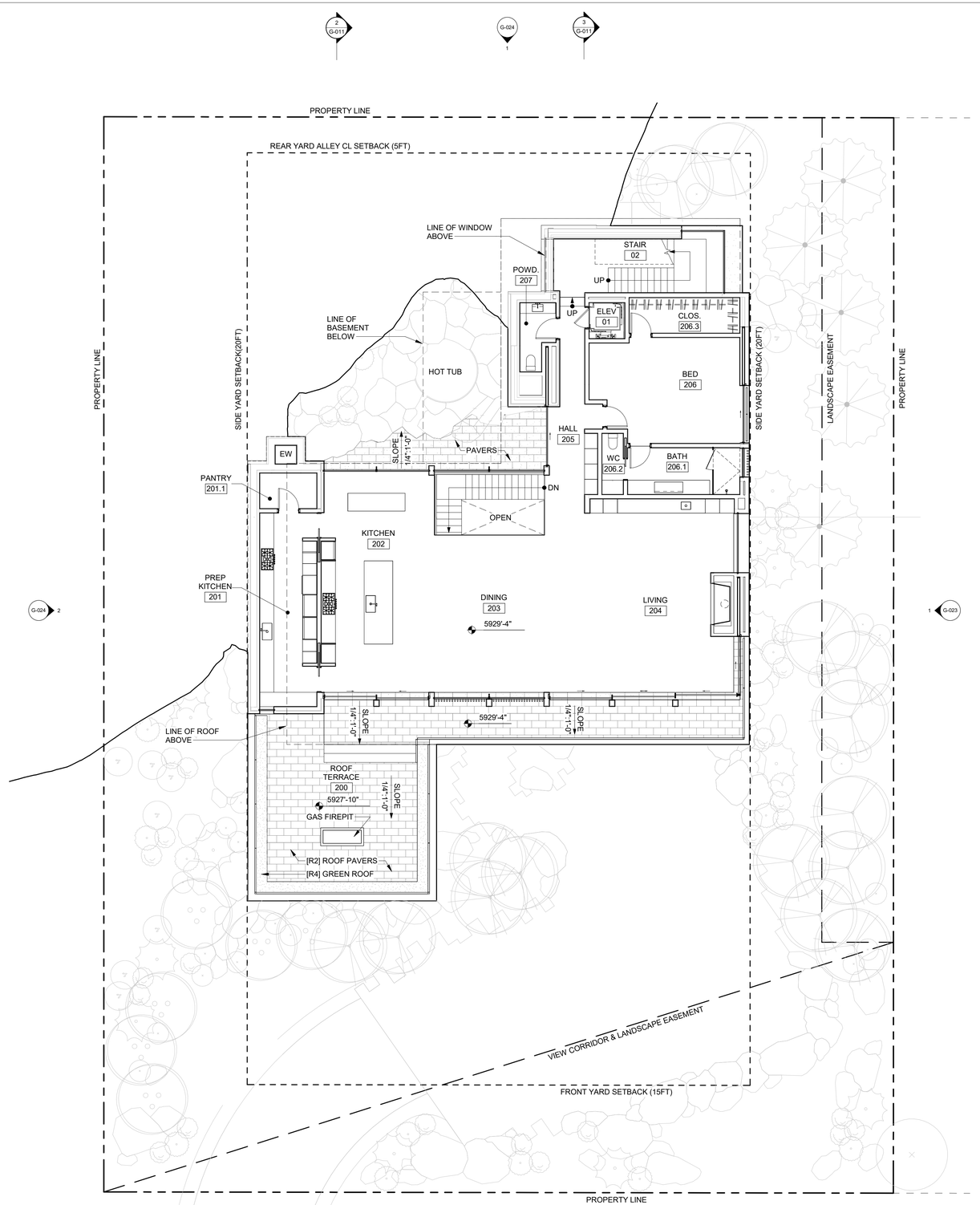

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1 | 1/8" = 1'-0" | **REFERENCE PLAN / LEVEL 02**

KNOB HILL RESIDENCE

OWNER:

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P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
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LANDSCAPE ARCHITECT:

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LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

REFERENCE PLAN / LEVEL 02

DRAWING NUMBER:

A-103

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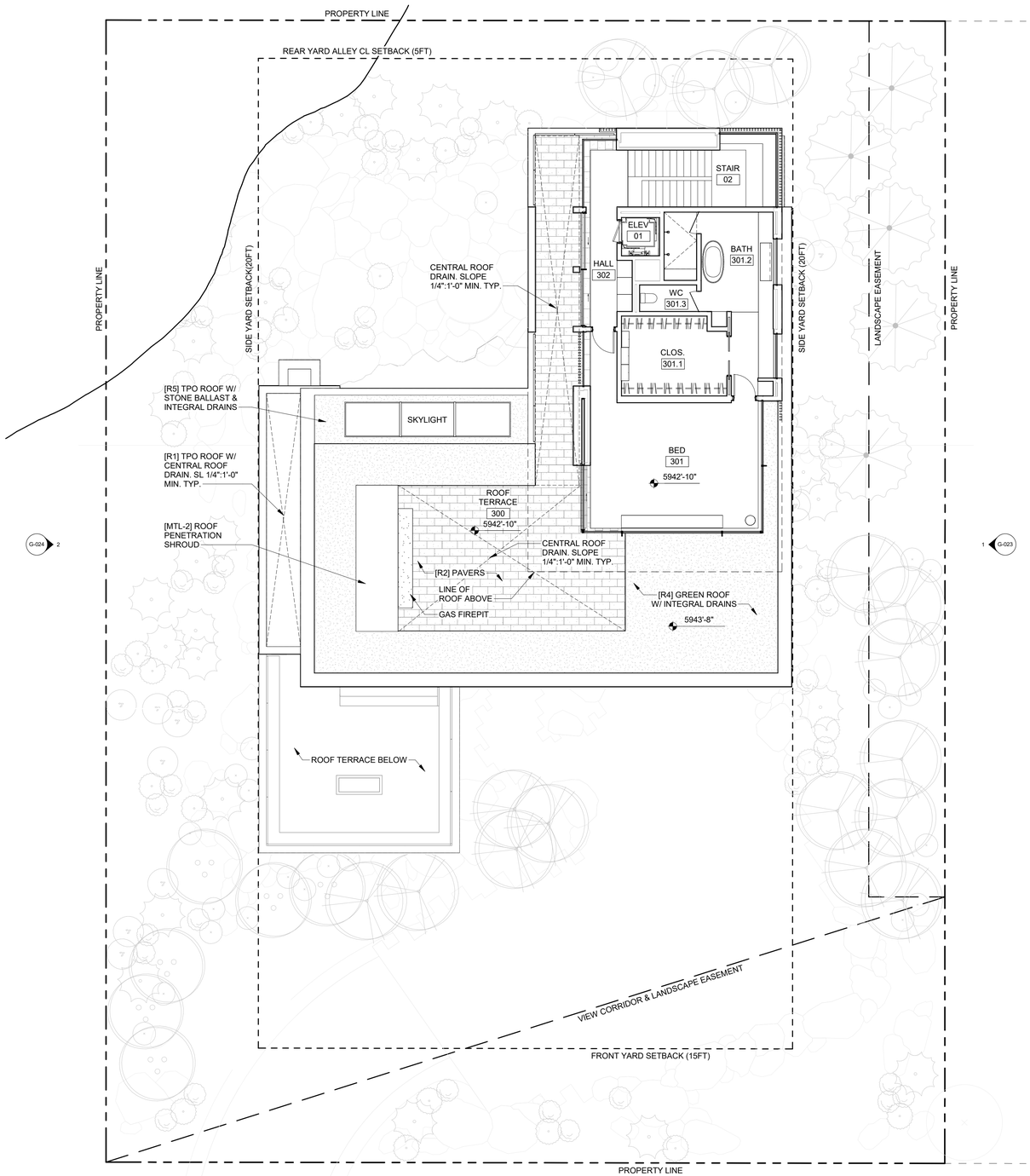

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1 | 1/8" = 1'-0" | **REFERENCE PLAN / LEVEL 03**

KNOB HILL RESIDENCE

OWNER:

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KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
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SURVEYOR:

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TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

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CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

REFERENCE PLAN / LEVEL 03

DRAWING NUMBER:

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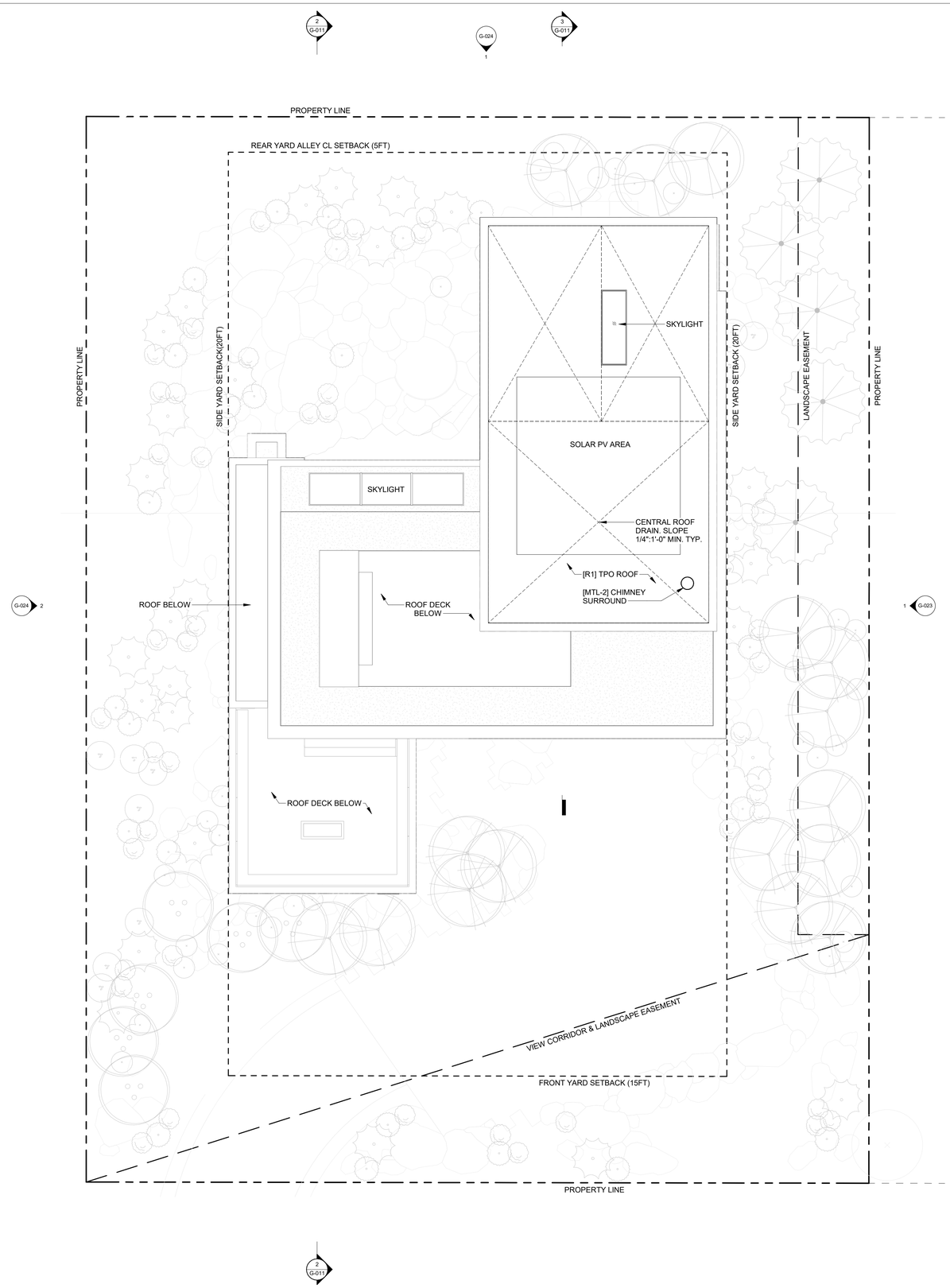

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5. SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES

1	1/8" = 1'-0"	**REFERENCE PLAN / ROOF**

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
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PROJECT:

KNOB HILL RESIDENCE

LOT 3&4, BLOCK 91

PROJECT NUMBER

2204

N

DRAWING TITLE:

REFERENCE PLAN / ROOF

DRAWING NUMBER:

A-105

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Attachment B
Pre-Application
MO Design Review
Submittal:
Application
&
Supplemental Materials

City of Ketchum
Planning & Building

OFFICIAL USE ONLY
File Number: P24-087
Date Received: 10/15/24
By: GB
Pre-Application Fee Paid: $4300
Design Review Fee Paid:
By:

Pre-Application Mountain Overlay Design Review

Submit completed application and documentation to planningandbuilding@ketchumidaho.org.If you have questions, please contact the Planning and Building Department at (208) 726-7801. Design Review criteria, zoning regulations, and development standards are specified in Title 17 of Ketchum Municipal Code, which may be viewed by clicking the link here. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: **Knob Hill Residence**		Phone: **949-554-5137**	
Owner: **Knob Hill Properties, LLC**		Mailing Address: **P.O. Box 14001-174 Ketchum, ID 83340**	
Email: **peter@presidiovistaproperties.com**			
Architect/Representative: **Ro Rockett Design**		Phone: **415-289-0830**	
Email: **zrockett@rorockettdesign.com**		Mailing Address: **1306 Bridgeway, Floor 2 Sausalito, CA 94965**	
Architect License Number: **AR-987275**			
Engineer of Record: **Galena Benchmark Associates**		Phone: **208-726-9512**	
Email: **phoebe@galena-benchmark.com**		Mailing Address: **100 Bell Drive, Suite C Ketchum, ID 83340**	
Engineer License Number: **17661**			
Primary Contact Name and Phone Number: **Nick Kunkle 415-289-0830 x206**			
PROJECT INFORMATION			
Legal Land Description: **Ketchum Lot 3&4, Block 91**		Street Address: **Lot 3&4, Block 91**	
Lot Area (Square Feet): **16,523sf Combined**	Zoning District: **LR**		RPK #: **00000910030 & 0000091004A**
Overlay District: ☐Floodplain	☐ Avalanche	☒Mountain	☐None
Type of Construction: ☒New	☐Addition	☐Remodel	☐Other
Anticipated Use: **Single Family Residential**		Number of Residential Units: **1**	

GROSS FLOOR AREA	**Proposed**	**Existing**
Basements	**2,145** Sq. Ft.	**N/A** Sq. Ft.
1st Floor	**1,951** Sq. Ft.	**N/A** Sq. Ft.
2nd Floor	**3,091** Sq. Ft.	**N/A** Sq. Ft.
3rd Floor	**1,173** Sq. Ft.	**N/A** Sq. Ft.
Mezzanine	**N/A** Sq. Ft.	**N/A** Sq. Ft.
Total	**6,215** Sq. Ft.	**N/A** Sq. Ft.

FLOOR AREA RATIO		
Community Core: **N/A**	Tourist: **N/A**	General Residential-High: **N/A**

BUILDING COVERAGE/OPEN SPACE
Percent of Building Coverage: **29%(4,775sf/16,523sf)**

DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: **15'/40'-7" PROPOSED**	**Side: 10'/20' PROPOSED**	**Side: 10'/20' PROPOSED**	**Rear: 5'/14'-1" PROPOSED**
Building Height: **35'/33'-6" PROPOSED(38'-6" OVERALL STEPPING UP HILLSIDE; SEE ATTACHED ELEVATIONS)**			

OFF STREET PARKING		
Parking Spaces Provided: **2**	Curb Cut: **20'-0"** Sq. Ft. **467SF**	% **18**

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

10.11.2024

Signature of Owner/Representative — Date

PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW SUBMITTAL CHECKLIST

A Pre-Application Design Review submittal shall include, but are not limited to, the materials listed in the following table in digital format. Please fill out the checklist in the table below and include the sheet number(s) where the required submittal material may be found in the project plan set. The applicant may elect to provide more details, additional plan sheets, and other supplemental materials not listed in the checklist at their discretion.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST		
Submitted by Applicant	**Plan Sheet Number(s)**	**Pre-Application Required Materials**
☒	**Page 8, and 9 of PDF**	Project Narrative: A project narrative describing the approach and concept of the project and how the project meets the applicable design review criteria. *(narrative shall include a response to each applicable criteria)*
☒	**A-100, L-0.00, L-1.00**	Conceptual Site Plan: A conceptual site plan showing proposed on and off-site improvements. Site plan shall include conceptual landscaping and public amenities. Detailed plant list not required.
☒	**G-111,G-112 A-102, A-103, A-104, A-105,**	Conceptual Elevations and Floor Plans: Elevations and floor plans for all facades and all levels shall be provided. Elevations shall depict materiality, however, colored renderings not required.
☒	**G-110**	Conceptual Materials and Color Palette: Materials and colors sample board shall be provided for all facades. Photos of materials, representative imagery, and other digital representation of concept is acceptable. Specifications of materials and colors are not required.
☒	**G-110**	3D Perspectives: A minimum of two perspectives, one from a street view and one from bird's eye view, showing the massing of the proposed project within the context of the surrounding neighborhood. Adjacent properties and structures must be included. Full color renderings or photo-realistic perspectives are not required.
☒	**L-2.00, C-1.0**	Topography of sufficient detail to represent slope of land
☒	**L-2.00, C-1.0**	Significant rock outcrops, cuts and fills required and similar features
☒	**L-2.00, C-1.0**	Elevations of proposed building pads and public streets providing access, private access drives
☒	**C-2.0**	Preliminary utility extension plans
☒	**L-2.00, C-1.0**	Drainage plans and driveway plans
☒	**N/A**	Description of proposed blasting, if any

MODR Pre-Application

Design Narrative
Site Design Approach & Methodology
Knob Hill Residence (Application File No. P24-087)

–

1/15/25

City of Ketchum
Planning & Building
P.O. Box 2315, 191 5th Street West
Ketchum, ID 83340

CC: Abby Rivin

–

Natural Hillside Concept

With the proposed project's location at the base of Penny Mountain, landscape design and preservation of the natural hillside are key components of the project's success. As you will see in the following exhibits, any required retaining or landscape elements are intended to mimic the natural features of Penny Mountain. The goal of this approach is to seamlessly blend the project into the hillside and minimize the disturbance required to build the project.

Exhibit 1
Project Location:

Exhibit 2

Natural Hillside Features:

Exhibit 3

Design Concept:

Building Siting & Vehicular Access

Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.

The proposed driveway and garage location is the result of multiple internal studies, planning department feedback, and specific requirements outlined by the fire department. The exhibits below show notable revisions made by the design team based on planning department feedback, including but not limited to a reduction in the size of the garage from 3-cars to 2-cars, the relocation of the garage to opposite side of the property to accommodate a shorter driveway, the length and width of the driveway were reduced to limit site coverage, and the inclusion of a 26ft x 50ft area for required fire apparatus access.

Exhibit 4

5/29 - Initial Driveway & Garage Configuration:

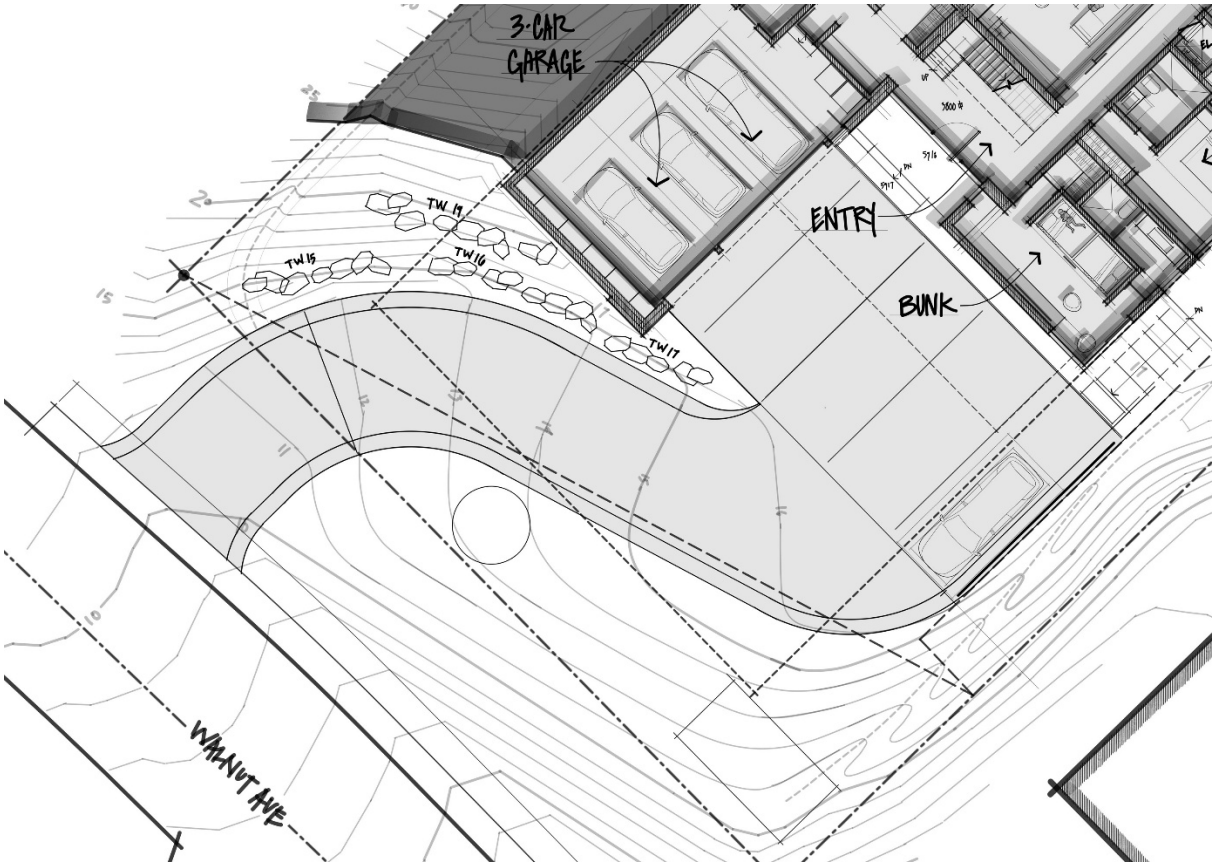


Exhibit 5

6/13 - Fire Apparatus Requirements:

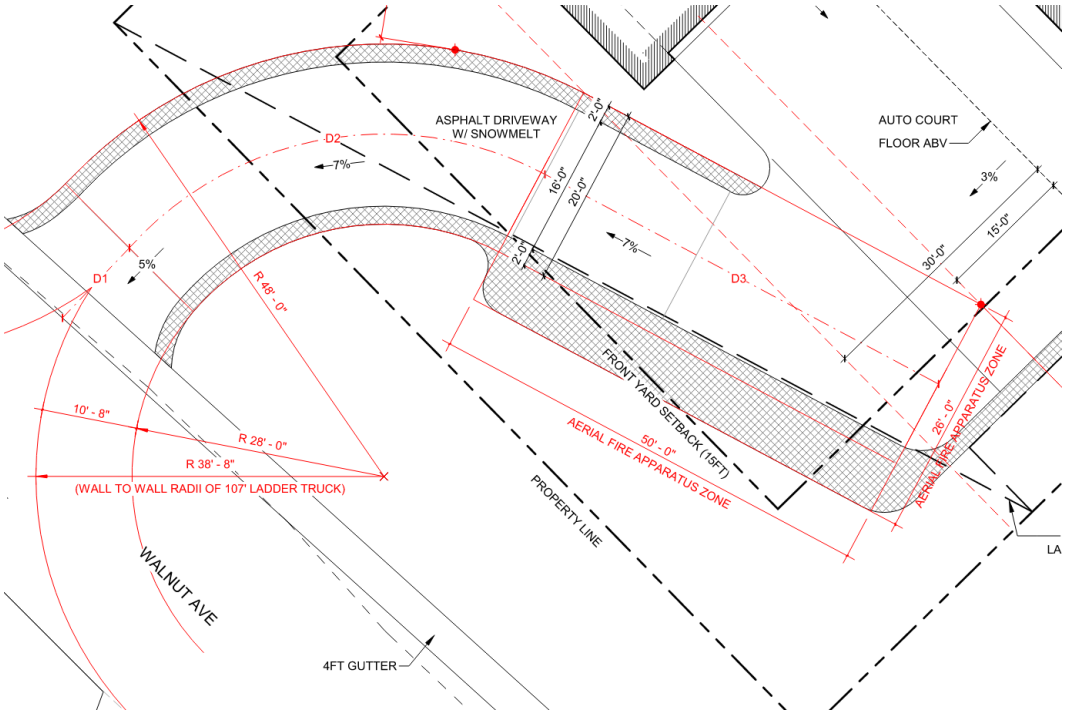


Exhibit 6

8/16 - Alternate Driveway & Garage Configuration:

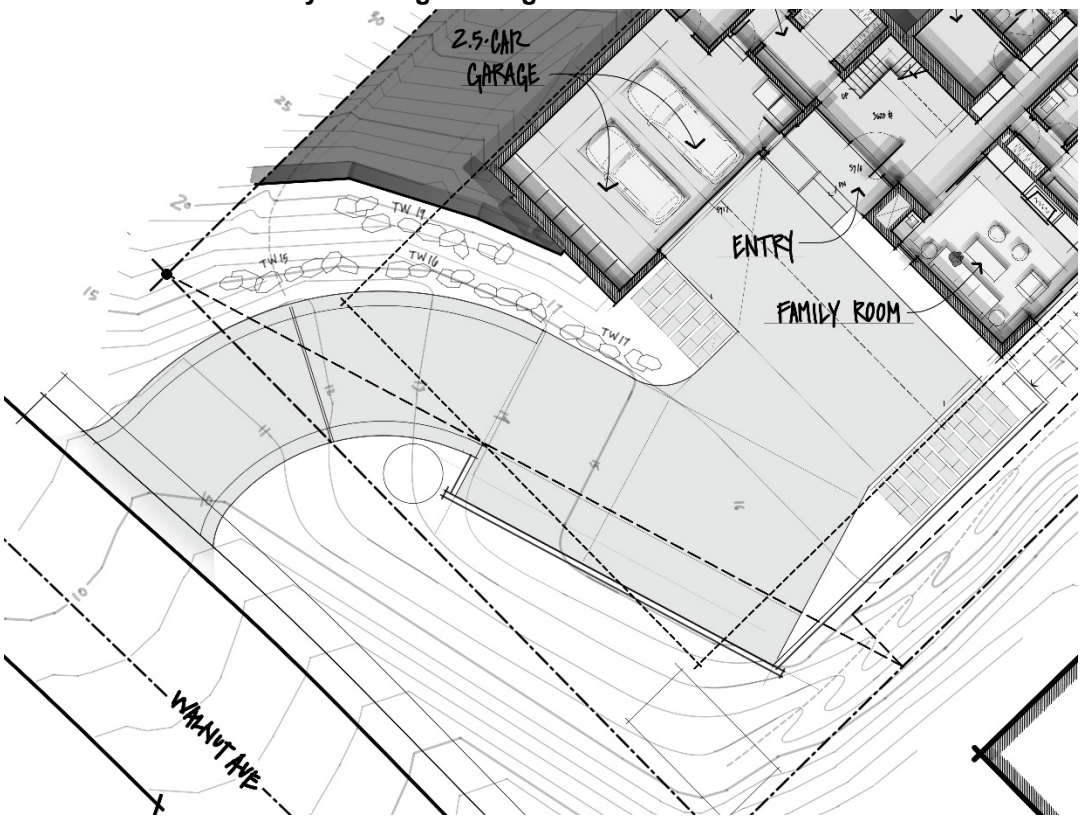
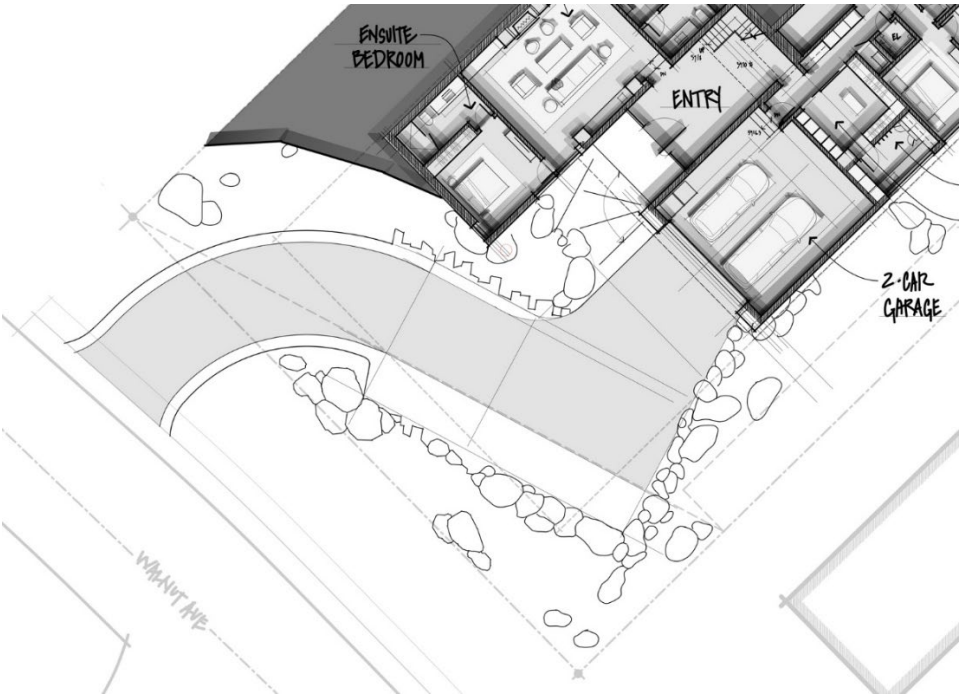


Exhibit 7

Proposed Driveway & Garage Configuration:



Minimizing Hillside Disturbance

The design team has shown in our drawing package (Sheet G-020) that combining lots 3 & 4 for the development of a single home, rather than two homes, will increase the overall undisturbed hillside area by over 3x. The total amount of undisturbed hillside has also increased dramatically over the course of several months while working with the planning department. Compared to the initial plans for the residence, which included a larger outdoor program at the rear of the house, the proposed design limits rear yard access to a small patio and outdoor spa while bringing natural light and ventilation into an otherwise opaque side of the house. In the following exhibits you will see a progression that followed guidance provided by the planning department and preserves more of the natural hillside.

Exhibit 8

5/29 - Initial Rear Yard Landscape Design:

Exhibit 9

8/16 - Revised Rear Yard Landscape Design:

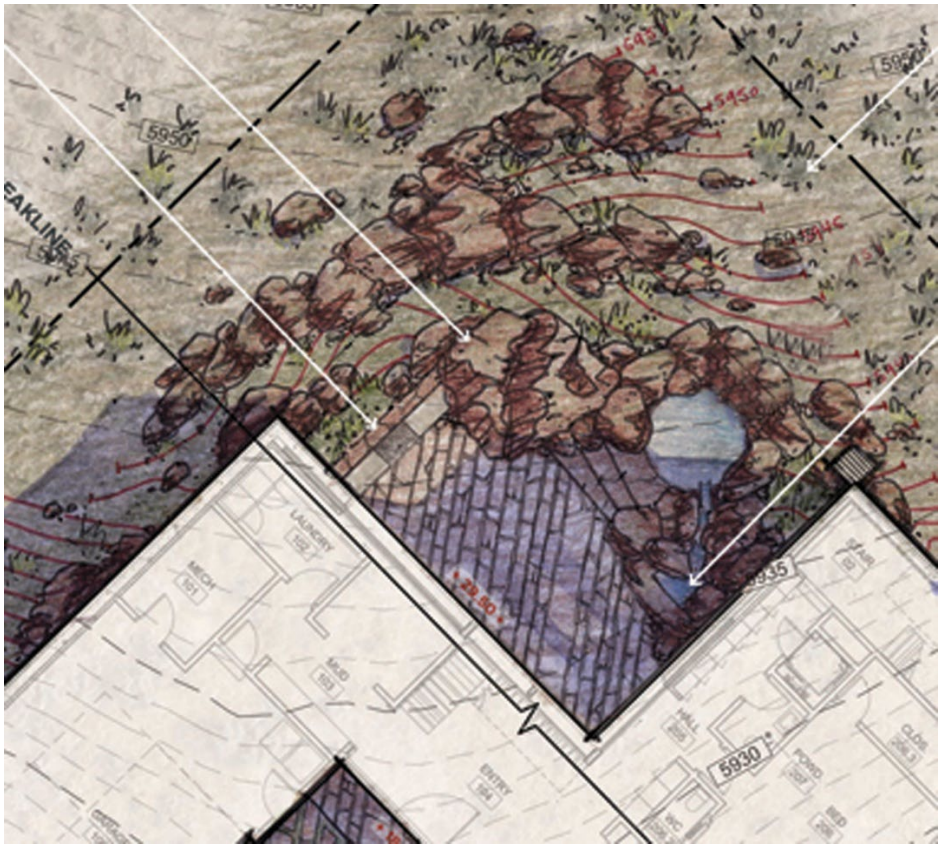
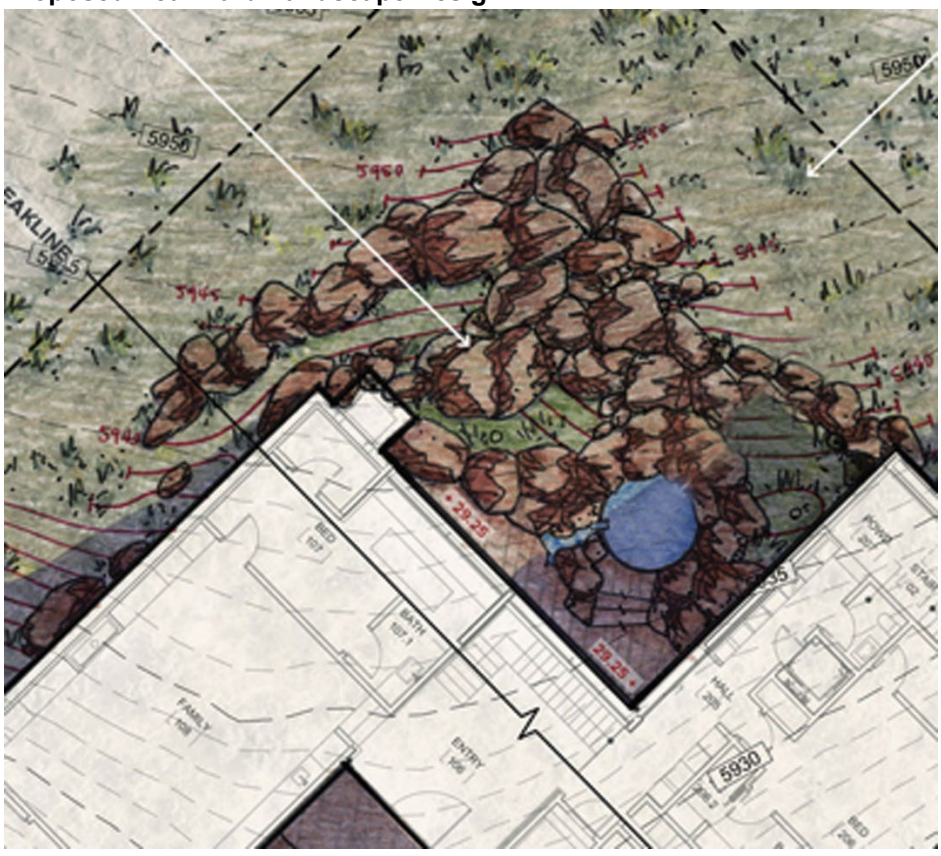


Exhibit 10

Proposed Rear Yard Landscape Design:



Compatibility of Design

The design team has also carefully considered the surrounding neighborhood context while developing the proposed project. The design incorporates a similar mix of materials (natural wood and stone), massing (two-story volumes stepping back and up the hillside), and architectural features (timber columns and overhangs). With the feedback of the planning department, the design team has introduced undulation and relief along the façade, maintained continuity of materials, and created a building character that aligns with both the requirements and the spirit of the Mountain Overlay Design Review District. We believe the proposed project will blend seamlessly into the area and will not have an adverse impact.

Exhibit 11
600 Walnut Avenue:

Exhibit 12

760 Walnut Avenue:

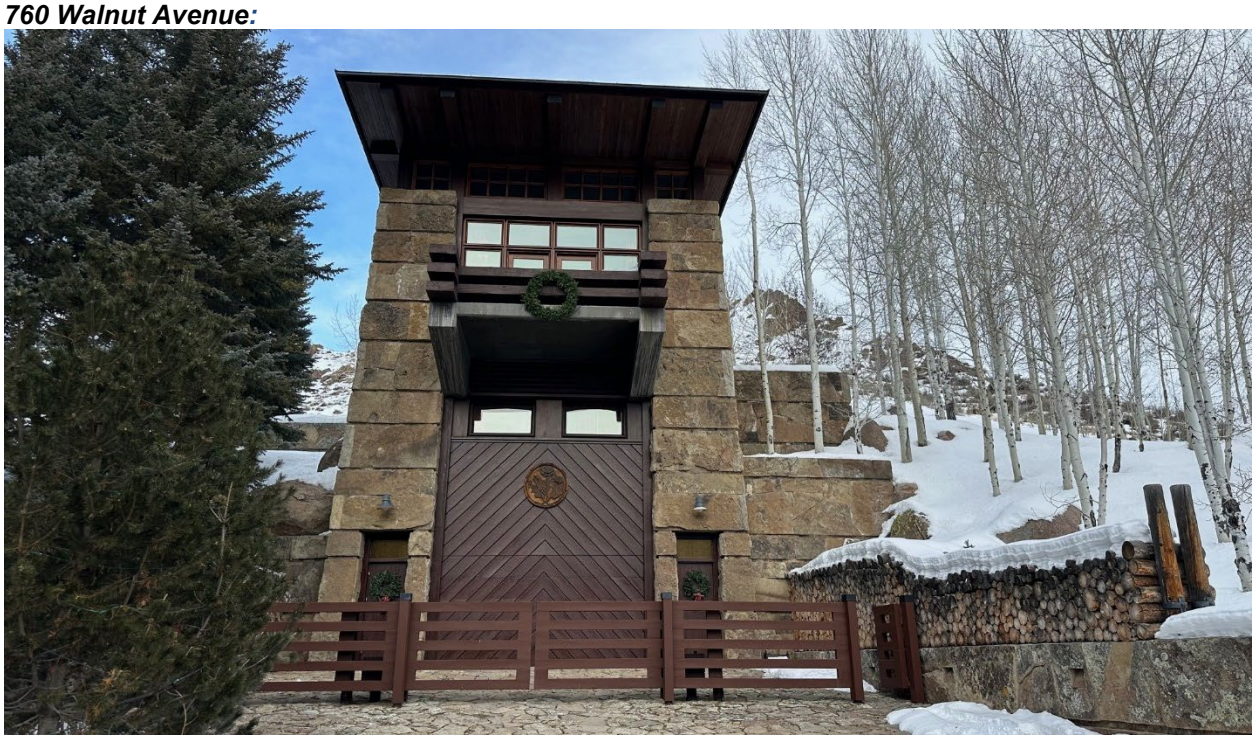


Exhibit 13

711 Walnut Avenue:

Exhibit 14

691 Spruce Avenue:

Exhibit 15:

880 Walnut Avenue:

Exhibit 16:

900 Walnut Avenue:

Exhibit 17:

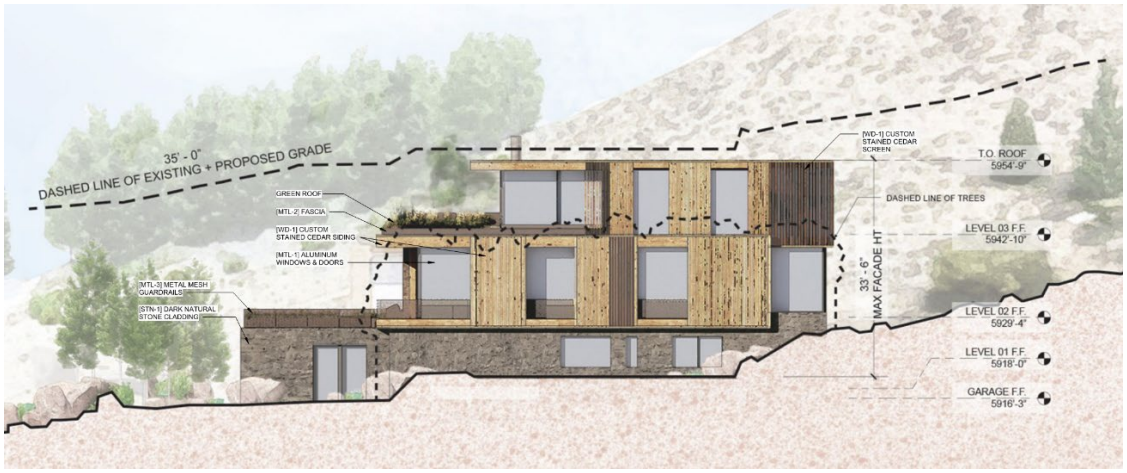
Proposed Design Bird's Eye View:

Exhibit 18:
Proposed Design Street View:

Building Height

The design team has also carefully considered the surrounding neighborhood context while defining the height of the building. We have made a proactive decision to keep the height 1'-6" lower than the maximum façade and overall building height allowed; 33'-6" rather than 35'-0" and 38'-6" rather than 40'-0" respectively.

Exhibit 19:
Proposed Building Elevation:



Conclusion

Thank you for reviewing our design narrative. We hope the design team's efforts to increase the undisturbed hillside area, provide direct and safe vehicular access, and complement the surrounding context were clearly communicated. The planning department has positively influenced the proposed design with respect to the Mountain Overlay District's guidelines, especially in comparison to our initial intentions for the project.

We look forward to discussing our project further at our upcoming P&Z hearing on February 11th.

MODR Pre-Application

Mountain Overlay Design Review Standards Narrative
Knob Hill Residence (Application File No. P24-087)

–

1/15/25

City of Ketchum
Planning & Building
P.O. Box 2315, 191 5th Street West
Ketchum, ID 83340

CC: Abby Rivin

–

Mountain Overlay Design Review Criteria & Standards

17.104.070.A.1: There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;

> ***Response:*** *As shown on sheet G-025, the project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

17.104.070.A.2: Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.

> ***Response:*** *As shown on sheet G-025, the project size or disturbance is not located in a way that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

17.104.070.A.3: Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.

> ***Response:*** *As shown on sheet C-1.0, the proposed driveway improvements comply with all applicable standards for a private driveway specified in Ketchum Municipal Code §12.03.030.L.*

17.104.070.A.4: All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.

> ***Response:*** *As shown on sheet EXB, sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building.*

17.104.070.A.5: Significant rock outcroppings are not disturbed.

> ***Response:*** *There are no significant rock outcroppings within the property boundary of the subject property. Rock outcroppings further up the hillside are not blocked from view by the proposed residence.*

17.104.070.A.6: International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.

Response: *The project will comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements.*

17.104.070.A.7: Public water and sewer service comply with the requirements of the City.

Response: *As shown on C1.0 of the project plans, the project proposes connecting to the municipal water and sewer systems from existing lines within Walnut Ave. All requirements and specifications for the water and sewer connections set by the Utilities Department will be met.*

17.104.070.A.8: Drainage is controlled and maintained to not adversely affect other properties.

Response: *Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain at the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property.*

17.104.070.A.9: Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.

Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.

Response: *The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.*

The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.

17.104.070.A.10: There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.

Response: *The location of the proposed residence allows for the building to be tucked into the hillside and step up with the cross slope, resulting in the project not having a material visual impact.*

17.104.070.A.11: Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.

Response: *A majority of the driveway traverse sections of the property over 25% slope. The proposed driveway access does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties.*

17.104.070.A.12: Utilities shall be underground.

Response: *The utility improvements are indicated on Sheet C1.0 of the project plans. All utility improvements will be underground.*

17.104.070.A.13: Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.

Response: *Sheet L-2.00 shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be submitted with the building permit application.*

17.104.070.A.14: Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.

Response: *The project minimizes excavation and disturbance on the site not associated with building construction as seen on Sheet L-2.00. The proposed cut and fill quantities are specified on Sheet C1.0. The total estimated volume of the proposed cut is 3,810 cubic yards. The estimated proposed fill comes out to 20 cubic yards. Areas disturbed will be revegetated with native plantings upon completion of construction.*

17.104.070.A.15: Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

Response: *No significant landmarks have been identified on-site. The significant landmark uphill of the property will not be negatively impacted by the proposed development.*

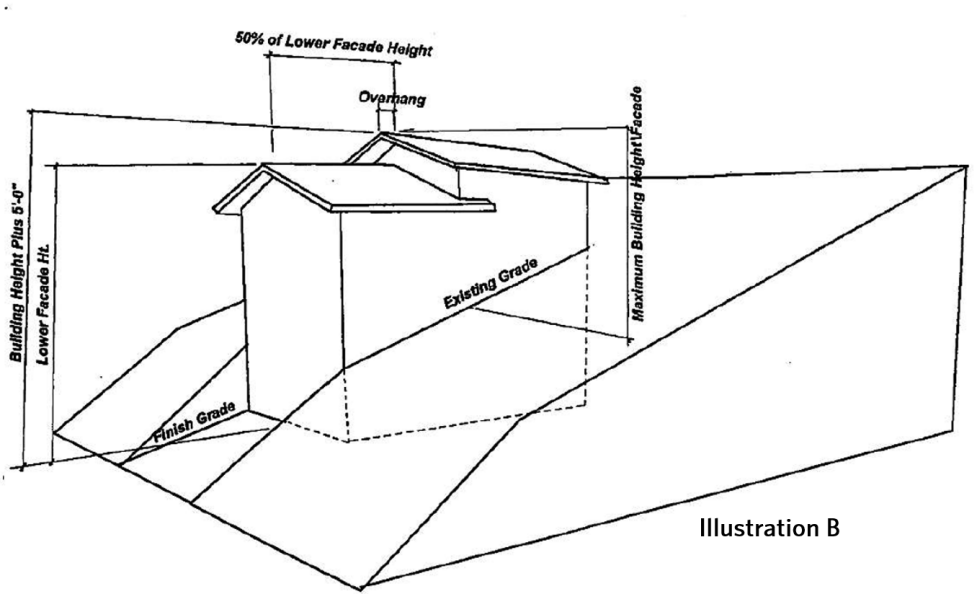
17.104.070.A.16: Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.

Response: *This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.*

Attachment C
LR Zoning and Dimensional Standards Evaluation

KNOB HILL RESIDENCE
PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW
ZONING & DIMENSIONAL STANDARDS EVALUATION

LR Zoning and Dimensional Standards Evaluation				
Compliant			Standards and Staff Analysis	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Staff Analysis
☒	☐	☐	17.12.030	Minimum Lot Area
			Staff Analysis	**Required:** 9,000 square feet minimum **Existing (Ketchum Townsite—Block 91: Lots 3 & 4):** 16,523 square feet (0.38 acres)
☒	☐	☐	17.12.030	Building Coverage
			Staff Analysis	**Permitted:** 35% **Proposed:** Sheets G-010 and L-0.00 of the project plans provides building coverage information. 29% (4,775 square feet / 16,523 square feet lot area)
☒	☐	☐	17.12.030	Minimum Building Setbacks
			Staff Analysis	**Minimum Required Setbacks:** Front: 15′ Side: > of 1′ for every 2′ in building height, or 10′ (19′-3″ required) Rear: 20′ KMC §17.128.020.D: In measuring the rear yard of a principal building where the rear lot line abuts an alley, measurement may be made to the centerline of the alley, provided no building is located within the right-of-way of the alley. **Proposed:** Setback dimensions are specified on Sheet A-100 of the project plans. Front (Walnut Avenue Avenue): 40′-7″ Side (north): 20′ Side (south): 20′ Rear (east property line): 14′-1″ Rear (centerline of Block 91 alleyway): 29′-1″
☒	☐	☐	17.12.030	Building Height
			Staff Analysis	**Height of Building (KMC §17.08.020)** Height of Building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). N

				facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.  Illustration B **Maximum Building Height Permitted:** 35' **Proposed:** Elevations for finished floor and roof are specified in the building height section on sheet G-011 of the project plans. • Lowest Exposed Finished Floor Elevation: 5916'-3" • Highest Point of the Roof Elevation: 5954'-9" • Maximum Vertical Distance (Regardless of Vertical Alignment): 38'-6" • Lower Façade Height (35' max): 27'-5" • Façade Setback (minimum of 50% lower façade height = 13'-9"): 13'-9" • Maximum Façade Height: 33'-6"
☒	☐	☐	17.125.030.I	**Driveway Width**
			Staff Analysis	**Required:** Minimum: The unobstructed, all weather surface of a private driveway shall not be less than 12 feet. Maximum: The unobstructed, all weather surface of a private driveway shall not be greater than 35 percent of the linear footage of any street

				frontage or 30 feet, whichever is less, unless otherwise approved by the City Engineer. **Proposed:** 20-foot-wide driveway 19% of Walnut Ave Street Frontage (20-foot-wide driveway/110 feet of Walnut Ave frontage)
☒	☐	☐	17.125.020.A.2 & 17.125.040.B	**Parking Spaces**
			Staff Analysis	Off-street parking standards of this chapter apply to any new development and to any new established uses. **Required:** One-Family Dwelling Units in all Zoning Districts: 2 parking spaces per dwelling unit. **Proposed:** As shown on sheet A-102 of the project plans, two parking spaces are provided within the attached garage.

Attachment D
Mountain Overlay Design Review Standards Analysis

KNOB HILL RESIDENCE
PRE-APPLICATION MOUNTAIN OVERLAY DESIGN REVIEW
MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS EVALUATION

Mountain Overlay Design Review Standards (KMC §17.107.070.A)	
Ketchum Municipal Code	Mountain Overlay Standards & Staff Analysis
17.104.070.A1	**There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.**
Staff Analysis	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The applicant has provided photography exhibits on Sheet G-025 of the project plans shows the estimated project location from different locations in the city. Based on the information provided in the Pre-Application submittal, staff does not believe the proposed home will have a material visual impact from any public vantage point within the city. When story poles are installed at final MO Design Review, staff will check public vantage points to further assess whether the project has a material impact.
17.104.070.A2	**Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.**
Staff Analysis	As noted in the analysis for KMC §17.104.070A2 above, staff does not believe the project will have a material visual impact visible from a public vantage point in the city. The subject property is located at the lower elevation of the Penny Mountain hillside.
17.104.070.A3	**Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.**
Staff Analysis	Please see staff analysis for KMC §17.104.070.A9 for an analysis of the proposed driveway length. The civil drawings on sheet C1.0 and C1.1 specify the proposed driveway improvements. The proposed driveway is 20 feet wide and has a slope of about 7%. The site plan on sheet A-100 shows that the full extent of the asphalt driveway and the stone paver driveway are proposed to include snowmelt. The Fire Department requires snowmelt for driveways or portions of driveways with 7-10% slope. The portion of the driveway within the Walnut Avenue public right-of-way is 7.1% slope. As of April 3, 2023, the City Council no longer approves Right-of-Way (ROW) Encroachment Permits for residential snowmelt systems, unless the

	snowmelt system is required by the Fire or Streets departments. The Fire Department requires snowmelt for the portion of the driveway in the Walnut Avenue public ROW as the slope slightly exceeds 7%. The portion of the heated driveway that encroaches into the public ROW along Walnut Avenue will require a ROW Encroachment Permit and final review and approval by the City Council. The proposed driveway improvements shown in the Pre-Application submittal have been reviewed by the City Engineer, Streets Department, and Fire Department and city department comments were transmitted to the applicant. At final MO Design Review, city departments will conduct another code compliance review to ensure that all comments have been addressed and that the project complies with all requirements.
17.104.070.A4	**All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.**
Staff Analysis	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. As shown on sheet EXH, access for fire and other emergency vehicles is provided from the fire apparatus zone at the southwest corner of the subject property to within 150 feet of the furthest exterior wall of the proposed home.
17.104.070.A5	**Significant rock outcroppings are not disturbed.**
Staff Analysis	As shown on the topographic survey included in the project plans, the subject property does not contain any significant rock outcroppings.
17.104.070.A6	**International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.**
Staff Analysis	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
17.104.070.A7	**Public water and sewer service comply with the requirements of the City.**
Staff Analysis	As shown on C1.0 of the project plans and detailed in notes U01 and U02, the project will tap into the existing water main and utilize the existing sewer line tap along Walnut Avenue. The Water and Wastewater departments will conduct an additional review of the project plans submitted with the final MO Design Review to confirm compliance with all complaints.
17.104.070.A8	**Drainage is controlled and maintained to not adversely affect other properties.**
Staff Analysis	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on sheets C1.0 and C1.1 of the project plans. The drainage improvements in the public right-of-way include constructing a new valley gutter that will connect to the existing valley gutter.

	Drainage improvements on the subject property include a system of catch basins and drywells as well as trench drain across the width of the driveway along the front property line. The City Engineer reviewed the drainage improvements shown in the Pre-Application submittal and comments were transmitted to the applicant. The City Engineer requested the applicant submit a geotechnical report and drainage calculations for the zing of drywells with the final MO Design Review submittal.
17.104.070.A9	**Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.** **Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.**
Staff Analysis	In the Design Narrative, the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant's thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area. In the Design Narrative, the applicant provides an analysis of the proposed driveway access. The applicant states: *Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.* In the written response to MO Design Review standards, the applicant further explains: *The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further*

	south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill. *The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.* The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance. The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. The fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet. Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7" from the front property line along Walnut Avenue, which is 25'-7" more than the minimum required. If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.
17.104.070.A10	**There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section.**

Staff Analysis	Please see analysis for KMC §17.104.070.A9 and KMC §17.104.070.A14. Staff believes that the area where the proposed aerial fire apparatus access is located in the front yard may be a more suitable site from the proposed development. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.
17.104.070.A11	**Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.**
Staff Analysis	The majority of the proposed driveway traverses slopes of 25% and greater. The City Engineer reviewed the proposed driveway improvements shown in the Pre-Application submittal and provided comments to the applicant related to the drainage improvements. The City Engineer will review the civil drawings submitted with the final MO Design Review submittal to assess whether the proposed driveway will have any significant impacts on drainage, snow, earth-slide potential, or erosion on the subject property or adjacent properties.
17.104.070.A12	**Utilities shall be underground.**
Staff Analysis	The utilities information provided on Sheet C1.0 of the project plans are limited to water and sewer improvements. The utilities plan submitted with the final MO Design Review submittal must show the location and size of all utilities, including gas, electric, TV, and phone. All utilities shall be underground pursuant to KMC §17.104.070.A12. Pursuant to KMC §17.96.060.D2, "Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view." In addition, the applicant must provide will-serve letters from Idaho Power Company and Clear Creek Disposal.
17.104.070.A13	**Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.**
Staff Analysis	The proposed limits of disturbance is shown on sheet L-2.00 of the project plans. A construction management plan that addresses all construction activity standards specified in KMC §15.06.030 will be required to be submitted with the building permit application. KMC §15.06.030.J4 requires that, "Projects in the Mountain Overlay Zoning District or containing slopes greater than 25 percent shall be fenced pursuant to the design review

	conditions of approval." City departments will conduct a comprehensive review of the proposed construction management plan during plan review at time of building permit.
17.104.070.A14	**Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.**
Staff Analysis	Cut and fill information is provided on sheet C1.0 of the project plans. Excavation for the entirety of project will remove 3,810 cubic yards of soil. The total proposed amount of fill is 20 cubic yards. As shown on the lot disturbance diagrams on sheet G-020, only a portion of the subject property along the rear property line is proposed to remain undisturbed. The total proposed undisturbed area is 1,660 square feet, which is only 10% of the subject property's total area. Hillside disturbance that is not associated with the building construction includes a small patio and hot tub at the northeast corner of the property as well as the driveway and fire apparatus access zone. In the Design Narrative, the applicant provides a summary of design changes made to the outdoor patio and hot tub area in response to Planning staff feedback to preserve more of the natural hillside. The applicant has significantly reduced the size outdoor patio area from the first iteration of the design drawings. Staff appreciates these changes and the applicant's thoughtful response to feedback, however, staff believes that removing the outdoor patio and hot tub would preserve even more of the natural hillside. Staff recommends the applicant remove the outdoor patio and hot tub to preserve more of the natural hillside area. Pursuant to KMC §17.104.070.A9, "lengths of driveways allowed shall be minimized." In the Design Narrative, the applicant provides an analysis of the proposed driveway access. The applicant states: *Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.* In the written response to MO Design Review standards, the applicant further explains: *The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further*

	south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill. *The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.* The applicant has revised the proposed driveway access based on Planning staff feedback and Fire Department requirements. These changes included reducing the size of the garage, relocating the garage to facilitate a shorter driveway, and reducing the length and width of the driveway to limit disturbance. The proposed driveway access along Walnut Avenue is 20 feet wide and surfaced with asphalt. The driveway then extends to the fire apparatus zone that is surfaced with pavers. The fire apparatus zone is 50 feet long and 26 feet wide. The length of the asphalt portion of the driveway is 57 feet. The length of the portion of the driveway surfaced with pavers is 71 feet long. The total length of the driveway is 128 feet. Pursuant to Fire Department requirements, aerial fire apparatus access is required where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet. Aerial fire apparatus access roads must have a minimum unobstructed width of 26 feet and must be sited no closer than 15 feet and no further than 30 feet from the structure. Aerial fire apparatus access is required because the proposed height of the home is 38.5 feet from the lowest finished grade to the highest point of the roof. The proposed driveway and fire apparatus zone improvements push the home further up the hillside. The required setback from the front property line in the LR Zone is 15 feet. As a result of the driveway improvements, the home is setback 40'-7" from the front property line along Walnut Avenue, which is 25'-7" more than the minimum required. If the height of the proposed home were reduced to less than 30 feet above grade, then the aerial fire apparatus access would not be required. Removing the aerial fire apparatus access would reduce the length of the driveway and allow the home to be sited at a lower elevation on the subject property. Staff believes this change would significantly reduce hillside disturbance. Staff recommends the applicant reduce the height of the home to less than 30 feet above grade by either reducing floor-to-ceiling heights or removing the third floor to remove the aerial fire apparatus access requirement, which would allow the home to be sited at the lower elevation of the subject property and minimize hillside disturbance.
17.104.070.A.15	**Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.**

Staff Analysis	Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries and designated properties in the Knob Hill neighborhood as a significant landmark. Pursuant to KMC §17.104.030.B, "The area within these boundaries, northeast of the alley bisecting Walnut Avenue and Spruce Avenue consisting of lots 5, 6, 7 and 8, block 94, lots 5, 6, 7 and 8, block 93, lots 5, 6, 7 and 8, block 92, lots 5A, 6A, 7 and 8, block 91, lots 3 and 4, block 97, Ketchum Town Site, and all properties within the Kinderhorn Subdivision, along with the rock outcropping within block 29, Ketchum Town Site, is hereby designated as a significant landmark within the City of Ketchum as denoted in the map, a true and correct copy of which is attached to ordinance 996 as exhibit B and which is incorporated herein by this reference." The subject property is located west of and downhill from the four lots in Block 91 designated as a significant landmark per KMC §17.104.030.B. Staff does not believe the significant landmark uphill of the subject property will be negatively impacted by the proposed development.
17.104.070.A.16	**Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.**
Staff Analysis	This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.