



Kenai City Council - Regular Meeting

May 06, 2026 – 6:00 PM

Kenai City Council Chambers

210 Fidalgo Avenue, Kenai, Alaska

www.kenai.city

****Telephonic/Virtual Information on Page 3****

Agenda

A. CALL TO ORDER

1. Pledge of Allegiance
2. Roll Call
3. Approval of the Agenda and Consent Agenda (*Public comments on Consent Agenda Items limited to three (3) minutes per speaker; thirty (30) minutes aggregated*)

All items listed with an asterisk () are considered to be routine and non-controversial by the council and will be approved by one motion. There will be no separate discussion of these items unless a council member so requests, in which case the item will be removed from the consent agenda and considered in its normal sequence on the agenda as part of the General Orders.

B. SCHEDULED ADMINISTRATIVE REPORTS

C. SCHEDULED PUBLIC COMMENTS (*Public comments limited to ten (10) minutes per speaker; twenty (20) minutes aggregated*)

D. UNSCHEDULED PUBLIC COMMENTS (*Public comments limited to three (3) minutes per speaker; thirty (30) minutes aggregated*)

E. PUBLIC HEARINGS

1. **Ordinance No. 3513-2026** - Amending Kenai Municipal Code Chapter 7.15 - Purchases and Sales, to Remove Requirements to Publish Advertisements in Newspapers. (Administration)
2. **Ordinance No. 3514-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Airport Fund and Awarding a Contract for Purchase of Firefighting Foam. (Administration)
3. **Ordinance No. 3515-2026** - Increasing Estimated Revenues and Appropriation in the Airport Snow Removal Equipment Capital Project Fund to Transfer Residual Balance from a Completed Project Back to the Original Funding Source. (Administration)
4. **Ordinance No. 3516-2026** - Increasing Estimated Revenues and Appropriations in the General Fund - Fire Department for Overtime Costs in Excess of Budgeted Amounts. (Administration)
5. **Ordinance No. 3517-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Authorizing a Consulting Agreement to Evaluate Natural Gas Storage Opportunities on Kenai Municipal Airport Lands. (Administration)
6. **Resolution No. 2026-29** - Authorizing the Purchase of a new Ventrac Tractor and Attachments Utilizing Innovative Procurement. (Administration)

- [7.](#) **Resolution No. 2026-30** - Authorizing a Contract Award for the 2026 Fire Systems Testing, Inspection and Monitoring. (Administration)
- [8.](#) **Resolution No. 2026-31** - Authorizing the City Manager to Enter into an Airline Operating Agreement and Terminal Area Lease with Fox Air, LLC. (Administration)
- [9.](#) **Resolution No. 2026-32** - Authorizing Extension of a Contract for Purchase of Water and Wastewater Chemicals. (Administration).
- [10.](#) **Resolution No. 2026-33** - Authorizing Extension of a Contract for Refueling Services for City Facility Fuel Tanks. (Administration)
- [11.](#) **Resolution No. 2026-34** - Affirming City Support of Non-Discrimination Policies as Outlined in Title VIII of the 1968 Civil Rights Act Known as the Federal Fair Housing Act to Comply with Certain Grant Requirements. (Administration)

F. MINUTES

- [1.](#) *Regular Meeting of April 22, 2026. (City Clerk)

G. UNFINISHED BUSINESS

- [1.](#) **Ordinance No. 3510-2026** - Amending the Official Zoning Map by Rezoning the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District. (Administration)

Ordinance No. 3510-2026 (Substitute) - Amending the Official Zoning Map by Rezoning a Portion of the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District. (Administration)

[Clerk's Note: At the April 1, 2026 City Council Meeting, Ordinance No. 3510-2026 was postponed to May 6, 2026.]

H. NEW BUSINESS

- [1.](#) ***Action/Approval** - Bills to be Ratified. (Administration)
- [2.](#) ***Action/Approval** - Consent to Assignment of Lease Agreement, of Lot 1, Block 5, General Aviation Apron No. 1 Amended. (Administration)
- [3.](#) ***Action/Approval** - Special Use Permit to Weaver Brothers, Inc. for Truck Trailer Storage. (Administration)
- [4.](#) ***Ordinance No. 3518-2026** - Amending Kenai Municipal Code Title 6 - Elections, Chapters 6.05, 6.15 and 6.40 Relating to Election Dates, Candidate Filing, Compensation of Election Officials, and Canvassing of Elections. (City Clerk)
- [5.](#) ***Ordinance No. 3519-2026** - Accepting and Appropriating Grant Funds from the Alaska High Intensity Drug Trafficking Area for Drug Investigation Overtime Expenditures (Administration)
- [6.](#) ***Ordinance No. 3520-2026** - Amending Kenai Municipal Code Chapter 14.10 - Subdivision Regulations and Amending Kenai Municipal Code Section 18.10.030 - Street Improvements to Remove Road Design Standards from Code and Replace them with a Street Design Standards Manual. (Administration)
- [7.](#) **Action/Approval** - Council on Aging Commission 2026 Work Plan. (Council on Aging Commission)

8. **Discussion** - Parks and Recreation Masterplan Memo.

I. COMMISSION REPORTS

1. Council on Aging Commission
 Council on Aging Commission 2025 Annual Report
2. Airport Commission
3. Parks and Recreation Commission
4. Planning and Zoning Commission
5. Beautification Commission

J. REPORT OF THE MAYOR

K. ADMINISTRATION REPORTS

1. City Manager
2. City Attorney
3. City Clerk

L. ADDITIONAL PUBLIC COMMENTS

1. Citizens Comments (*Public comments limited to five (5) minutes per speaker*)
2. Council Comments

M. EXECUTIVE SESSION

N. PENDING ITEMS

O. ADJOURNMENT

P. INFORMATION ITEMS

The agenda and supporting documents are posted on the City's website at www.kenai.city. Copies of resolutions and ordinances are available at the City Clerk's Office or outside the Council Chamber prior to the meeting. For additional information, please contact the City Clerk at 907-283-8231.

Registration is required to join the meeting remotely through Zoom. Please use the following link to register:

<https://us02web.zoom.us/meeting/register/1G3Sxc4dQiOWoM97EvEGLA>



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3513-2026**

AN ORDINANCE AMENDING KENAI MUNICIPAL CODE CHAPTER 7.15 - PURCHASES AND SALES, TO REMOVE REQUIREMENTS TO PUBLISH ADVERTISEMENTS IN NEWSPAPERS.

WHEREAS, Kenai Municipal Code for Purchases and Sales of large purchases or professional services greater than \$35,000 requires publishing advertising in newspapers for public notice and distribution; and,

WHEREAS, The Public Works Department has switched to an online bidding platform, BidExpress, and is seeing increased public notice and distribution through this service at no additional cost to the City; and,

WHEREAS, circulation through local newspapers has been significantly reduced and costs for advertisements are increasing; and,

WHEREAS, KMC 7.15.040 (a) and 7.15.060 (c) contain similar language for newspaper advertisement requirements; and,

WHEREAS, it is in the best interest of the City to revise these requirements for posting on online bidding platforms.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. Amendment of Section 7.15.040(a) of Kenai Municipal Code: That Kenai Municipal Code, Section 7.15.040 (a) – Competitive Purchase for Large Purchases, is hereby amended as follows:

- (a) Before any purchase of, or contract for, supplies, materials, equipment, or contractual services in excess of thirty-five thousand dollars (\$35,000.00) is made, an invitation to bid shall be published, a minimum of [TWO (2) TIMES] at least two (2) weeks prior to the date bids are due [IN A NEWSPAPER OF GENERAL CIRCULATION WITHIN THE CITY] on an online bidding platform available on the City website. Invitations to bid may also be advertised in other appropriate forums.

Section 2. Amendment of Section 7.15.060 of Kenai Municipal Code: That Kenai Municipal Code, Section 7.15.060 (c) – Procurement of Professional Services, is hereby amended as follows:

- (c) Professional services procured in an amount in excess of thirty-five thousand dollars (\$35,000.00) must be solicited by issuing a request for proposals. The request for proposals shall state, or incorporate by reference, all specifications and contractual terms and conditions to which a proposal must respond, and shall state the factors to be considered in evaluating proposals and the relative importance of those factors. Public notice of a request for proposals shall be published [A MINIMUM OF TWO (2) TIMES] at least two (2) weeks prior to the date proposals are due [IN A NEWSPAPER OF GENERAL CIRCULATION WITHIN THE CITY] on an online bidding platform available on the City website and may be advertised in other appropriate forums. A request for proposals may be modified or interpreted only in written addenda.

Section 3. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 4. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect 30 days after enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Introduced: April 22, 2026
Enacted: May 6, 2026
Effective: June 5, 2026



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Lee Frey, Public Works Director

DATE: April 14, 2026

SUBJECT: **Ordinance No. 3513-2026** - Amending Kenai Municipal Code Chapter 7.15 - Purchases and Sales, to Remove Requirements to Publish Advertisements in Newspapers.

Kenai Municipal Code for Purchases and Sales currently requires advertising requests for large purchases or professional services greater than \$35,000 in newspapers at least two times for public notice and distribution. The Public Works Department has recently changed to using BidExpress for online bidding and distribution. We have seen an increase in noticing due to this service and the ability to subscribe to notifications and postings. It is also free to the City and free for users to access. At the same time, we have seen a decrease in newspaper circulation and an increase in costs to advertise in the newspaper. We request removal of newspaper noticing requirements from the Purchases and Sales section of code and addition of posting these purchases and services through an online bidding platform available through the City website.

It is in the best interest of the City to make these modifications for Kenai Municipal Code and your support is respectfully requested.



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3514-2026**

AN ORDINANCE INCREASING ESTIMATED REVENUES AND APPROPRIATIONS IN THE GENERAL FUND AND AIRPORT FUND AND AWARDING A CONTRACT FOR PURCHASE OF FIREFIGHTING FOAM.

WHEREAS, the Airport and the Fire Department previously budgeted a total of \$86,564 for clean out of fire apparatus, disposal of existing foam and purchase of replacement foam; and,

WHEREAS, additional funding is need to complete this project with costs for decontamination of apparatus costing \$18,883.80, disposal of existing foam totaling \$,27,584.10 and the purchase of new foam totaling \$52,294.80 for a total project cost of \$98,762.70; and,

WHEREAS, an additional \$6,208.56 is needed for the Airport Airfield Department and an additional \$5,990.14 for the Fire Department; and,

WHEREAS, an Invitation to Bid was released on March 24, 2026 with bids due on April 9, 2026 for the 2026 Fire Fighting Foam purchase; and,

WHEREAS, two bids were received

<u>Contractor</u>	<u>Cost</u>
Municipal Emergency Services	\$52,294.80
L.N. Curtis and Sons	\$55,379.40; and,

WHEREAS, Municipal Emergency Services was the lowest bidder with a cost of \$52,294.80 for the foam purchase; and,

WHEREAS, the bids were determined to be responsive and responsible; and,

WHEREAS, it is in the best interest of the City to appropriate an additional \$12,198.70 to complete this project and to award the contract for the purchase of firefighting foam to Municipal Emergency Services; and,

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. That estimated revenues and appropriations in the General Fund – Fire Department are hereby increased as follows:

General Fund:

Increase Estimated Revenues:	
Appropriation of Fund Balance	<u>\$5,990.14</u>
Increase Appropriations:	
Fire – Professional Services	<u>\$5,990.14</u>

Section 2. That estimated revenues and appropriations in the Airport Fund – Airfield are hereby increased as follows:

Airport Fund:

Increase Estimated Revenues:
Appropriation of Fund Balance \$6,208.56

Increase Appropriations:
Airfield – Professional Services \$6,208.56

Section 3. That the City Manager is authorized to execute a contract with Municipal Emergency Services in the amount of \$52,294.80 for the purchase of Fire Fighting Foam.

Section 4. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 5. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect immediately upon enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Approved by Finance: DS

Introduced: April 22, 2026
Enacted: May 6, 2026
Effective: May 6, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

THROUGH: Dave Swarner, Finance Director

THROUGH: Jay Teague, Fire Chief

FROM: Lee Frey, Public Works Director

DATE: April 14, 2026

SUBJECT: **Ordinance No. 3514-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Airport Fund and Awarding a Contract for Purchase of Fire Fighting Foam.

The Airport and Fire Department has previously budgeted \$86,564 for decontamination of fire apparatus, disposal of existing PFAS containing foam and purchase of new fire fighting foam. Through requests for quotes for decontamination of equipment, disposal of foam and an invitation to bid for purchase of new foam, it has been determined that additional funding in the amount of \$12,198.70 is needed to complete this project with \$5,990.14 coming from the General Fund and \$6,208.56 coming from the Airport Fund. The contract for purchase of the new foam was released for bidding and two bids were received. Bids received are as follows:

<u>Contractor</u>	<u>Cost</u>
Municipal Emergency Services	\$52,294.80
L.N. Curtis and Sons	\$55,379.40

Municipal Emergency Services was the lowest bid for the contract with a cost of \$52,294.80. The contracts for the decontamination of the fire apparatus and disposal of the existing foam will be processed through the City Manager.

It is in the best interest of the City to appropriate the additional funding needed for this project and award the contract for the purchase of the foam to Municipal Emergency Services.



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3515-2026**

AN ORDINANCE INCREASING ESTIMATED REVENUES AND APPROPRIATION IN THE AIRPORT SNOW REMOVAL EQUIPMENT CAPITAL PROJECT FUND TO TRANSFER RESIDUAL BALANCE FROM A COMPLETED PROJECT BACK TO THE ORIGINAL FUNDING SOURCE.

WHEREAS, Ordinance No. 3324-2022 appropriated \$1,720,000 to the Airport Snow Removal Equipment Fund for the purchase of a CAT 980 Wheel Loader, Plow Truck and Sander; and,

WHEREAS, Ordinance 3324-2022 allocated the full amount to cover the purchases due to lead times in excess of 365 days for the equipment; and,

WHEREAS, subsequently the City received a grant from the Federal Aviation Administration in the amount of \$1,179,884, appropriated by Ordinance 3426-2024, for the purchase of the CAT 980 Wheel Loader, Plow Truck and Sander; and,

WHEREAS, \$1,644,376 remains in Airport Snow Removal Equipment Project Funds from these purchases ; and,

WHEREAS, transfer of the residual \$1,644,376 to the Airport Fund, the fund from which the funds originated, will allow future appropriation of the funds for operations or future capital projects and is in the best interest of the city.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. That estimated revenues and appropriations be increased as follows:

Airport Snow Removal Equipment Capital Project Fund:

Increase Estimated Revenues –
Appropriation of Fund Balance \$1,644,376

Increase Appropriations –
Transfer to Airport Fund \$1,644,376

Section 2. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 3. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect immediately upon enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Approved by Finance: DS

Introduced:	April 22, 2026
Enacted:	May 6, 2026
Effective:	May 6, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Dave Swarner, Finance Director

DATE: April 10, 2026

Subject: **Ordinance 3515-2026** - Increasing Estimated Revenues and Appropriation in the Airport Snow Removal Equipment Capital Project Fund to Transfer Residual Balance from a Completed Project Back to the Original Funding Source.

The purpose of this memo is to recommend the enactment of Ordinance 3445-2024 that will transfer the remaining balance from a completed project back to the original funding source. This transfer will allow the residual funds to be appropriated for operations or new capital projects in the future and fully fund current year capital projects.

Ordinance 3324-2022 allocated the full amount to cover the purchase of a CAT 980 Wheel Loader and Plow Truck and Sander, due to lead times in excess of 365 days for the equipment. This also enabled the City to take advantage of the State of Alaska awarded contract (CA2284-21) which allowed other Alaska political subdivisions to cooperatively purchase from the resulting contract.

The City subsequently received a grant from the Federal Aviation Administration (FAA) in the amount of \$1,179,884, Ordinance 3426-2024 to utilize for the purchase of the CAT 980 Wheel Loader and the Plow Truck and Sander.

In total \$1,644,376 will be returned to the Airport Fund from the Airport Snow Removal Equipment Capital Project Fund after the completion of the purchase. With the enactment of the attached Ordinance, funds will be returned to their original funding source related to the Airport Snow Removal Equipment project, where they will reside in fund balance until the passage of future ordinances appropriating the funds for operations or other capital projects.

Your support for the enactment of this Ordinance is respectfully requested.



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3516-2026**

AN ORDINANCE INCREASING ESTIMATED REVENUES AND APPROPRIATIONS IN THE GENERAL FUND - FIRE DEPARTMENT FOR OVERTIME COSTS IN EXCESS OF BUDGETED AMOUNTS.

WHEREAS, the Kenai Fire Department anticipated a reduction in overtime expenditures following the hiring of three (3) additional firefighters; and,

WHEREAS, actual operations demonstrated that overtime usage has not decreased to the extent projected as new staff were hired and trained; and,

WHEREAS, the Fiscal Year 2026 budget did not fully account for overtime obligations required under the Fair Labor Standards Act (FLSA) and this omission has been included in the FY2027 Draft Budget; and,

WHEREAS, in order to maintain emergency response capacity and ensure public safety for the remainder of FY2026, supplemental overtime funding is being requested; and,

WHEREAS, it is in the best interest of the City to amend the Fire Department's personnel budget to reflect these operational realities and ensure continued delivery of essential emergency services.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. That estimated revenues and appropriations be increased as follows:

General Fund:

Increase Estimated Revenues	
General Fund, Appropriation of Fund Balance	<u>\$53,742.00</u>
Increase expenditures –	
Fire – Overtime	\$43,533.41
Fire – PERS	9,577.35
Fire – Medicare	<u>631.24</u>
	<u>\$53,742.00</u>

Section 2. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 3. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect immediately upon enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Approved by Finance: DS

Introduced:	April 22, 2026
Enacted:	May 6, 2026
Effective:	May 6, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

THROUGH: Dave Swarner, Finance Director

FROM: Jay Teague, Fire Chief

DATE: April 14, 2026

SUBJECT: **Ordinance No. 3516-2026** - Increasing Estimated Revenues and Appropriations in the General Fund - Fire Department for Overtime Costs in Excess of Budgeted Amounts.

The Kenai Fire Department anticipated a reduction in overtime expenditures following the hiring of three (3) additional firefighters. The three additional firefighters came on board in July, mid-August and September.

Actual operations demonstrated that overtime usage did not decrease to the extent projected largely due to onboarding and training of new personnel. In addition, the Fiscal Year 2026 budget did not fully account for overtime obligations required under the Fair Labor Standards Act (FLSA). This has been addressed in the Fiscal Year 2027 Draft Budget.

I am respectfully requesting supplemental funding to sustain emergency operations for remainder of this fiscal year.



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3517-2026**

AN ORDINANCE INCREASING ESTIMATED REVENUES AND APPROPRIATIONS IN THE GENERAL FUND AND AUTHORIZING A CONSULTING AGREEMENT TO EVALUATE NATURAL GAS STORAGE OPPORTUNITIES ON KENAI MUNICIPAL AIRPORT LANDS.

WHEREAS, the City of Kenai seeks to evaluate competing applications for leasing land for natural gas storage, including possible use of pore space in depleted reservoirs held by the City for the benefit of the Airport; and,

WHEREAS, specialized technical expertise is required to assess such opportunities; and,

WHEREAS, Kenai Municipal Code (KMC) 7.15 authorizes the City Manager to procure professional services costing less than \$35,000; and,

WHEREAS, Ordinance 3507-2026 appropriated \$30,000 from the Airport Fund for consulting services related to this evaluation; and,

WHEREAS, the City entered into a professional services agreement with Alaska Marine Power, LLC in an amount not to exceed \$30,000; and,

WHEREAS, the scope of work and hourly billing structure under the agreement are expected to exceed the original authorized amount; and,

WHEREAS, KMC 7.15.070 (6) permits procurement by direct negotiation when appropriate; and,

WHEREAS, the fee schedule submitted by Alaska Marine Power, LLC has been determined to be fair and reasonable; and,

WHEREAS, additional appropriation is required to complete the evaluation; and,

WHEREAS, sufficient unassigned fund balance is available in the Airport Fund for this purpose; and,

WHEREAS, it is in the best interest of the City of Kenai and the Kenai Municipal Airport to authorize and fund these consulting services.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. That estimated revenues and appropriations be increased as follows:

Airport Fund:

Increase Estimated Revenues –	
Appropriation of Fund Balance	<u>\$30,000</u>

Increase Appropriations –	
Other Buildings and Areas – Professional Services	<u>\$30,000</u>

Section 2. That the City Manager is authorized to execute a contract with Alaska Marine Power, LLC in the amount of \$30,000 for consulting services.

Section 3. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 4. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect immediately upon enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Approved by Finance: DS

Introduced: April 22, 2026
Enacted: May 6, 2026
Effective: May 6, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

FROM: Terry Eubank, City Manager

DATE: April 16, 2026

SUBJECT: **Ordinance No. 3517-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Authorizing a Consulting Agreement to Evaluate Natural Gas Storage Opportunities on Kenai Municipal Airport Lands.

The City has received competing applications to lease City-owned Airport land for natural gas storage, including the potential use of pore space within depleted reservoirs. These opportunities could represent a meaningful long-term revenue source for the Kenai Municipal Airport.

Due to the technical complexity of subsurface storage, reservoir capacity, and associated infrastructure considerations, the City engaged Alaska Marine Power, LLC to provide specialized consulting services. Ordinance No. 3507-2026 previously appropriated \$30,000 for this work, and the City executed a professional services agreement for that amount.

As the evaluation has progressed, it has become clear that additional analysis is necessary to fully assess and compare the proposals, including technical feasibility, operational considerations, and potential value to the City. Because the agreement is structured on an hourly basis, the total cost is expected to exceed the original authorization.

The proposed ordinance appropriates an additional \$30,000 from the Airport Fund unassigned fund balance to complete this work and authorizes the City Manager to enter into an agreement for this amount. The consultant's fee schedule has been reviewed and determined to be fair and reasonable, and procurement by direct negotiation is permitted under Kenai Municipal Code.

Completing a comprehensive and technically sound evaluation is essential for the City to make informed decisions regarding natural gas storage opportunities on City-owned Airport lands.

Administration recommends approval of the ordinance increasing estimated revenues and appropriations in the Airport Fund and authorizing additional funding for consulting services with Alaska Marine Power, LLC to evaluate natural gas storage opportunities on Kenai Municipal Airport lands.

Thank you for your consideration.



Sponsored by: Administration

**CITY OF KENAI
RESOLUTION NO. 2026-29**

A RESOLUTION AUTHORIZING THE PURCHASE OF A NEW VENTRAC TRACTOR AND ATTACHMENTS UTILIZING INNOVATIVE PROCUREMENT.

WHEREAS, an existing Parks & Recreation 1420 John Deere tractor is past its useful life and needs replacement; and,

WHEREAS, in 2025 a Ventrac tractor and several attachments were purchased to replace an aging mower and the purchase of another Ventrac unit would create standardization of use for the equipment, existing attachments will work interchangeably on both tractors and maintenance will be simplified; and,

WHEREAS, adequate funding has been appropriated in the Parks Improvement Capital Project Fund; and,

WHEREAS, KMC 7.15.070 (4) allows the City to purchase equipment under the contract of another governmental agency; and,

WHEREAS, Sourcewell is a service cooperative created by the Minnesota legislature as a local unit of government to facilitate cooperative purchasing for local governments; and,

WHEREAS, the Sourcewell pricing of \$58,123.28 has been determined to be fair and reasonable; and,

WHEREAS, it is in the best interest of the City to replace aging equipment to maintain service capacity and to utilize cooperative purchasing opportunities to reduce the cost of procurement and the items being purchased.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That the City Manager is authorized to execute a contract with TOTEM Equipment, Inc., utilizing a Sourcewell contract, in the amount of \$58,123.28 for the purchase of a Ventrac Tractor and related attachments.

Section 2. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6th DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Approved by Finance: DS



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Tyler Best, Kenai Parks and Recreation Director

DATE: April 24th, 2026

SUBJECT: **Resolution No. 2026-29** - Authorizing the Purchase of a New Ventrac Tractor and Attachments Utilizing Innovative Procurement.

The Parks and Recreation Department currently operates a 1420 John Deere tractor that has exceeded its useful life and requires replacement. Administration recommends the purchase of a new Ventrac tractor and associated attachments, including a rough-cut mower, snowblower, and tiller, through innovative procurement via a Sourcewell contract.

In FY25, the Department purchased a Ventrac tractor and several attachments to replace an aging mower. Acquiring a second compatible unit will allow attachments to be used interchangeably across both tractors. Standardizing on a single tractor platform simplifies maintenance and improves staff proficiency, as both operators and maintenance staff will work with one consistent system rather than multiple equipment types.

Rather than conducting a separate competitive bid process, the City is utilizing innovative procurement pursuant to KMC 7.15.070(b)(4), which authorizes purchases through contracts established by other governmental agencies. Sourcewell is a service cooperative created by the Minnesota Legislature that combines the purchasing power of more than 50,000 government, education, and nonprofit organizations to secure competitively solicited pricing on behalf of its members. The City of Kenai is a Sourcewell member and will utilize the a Sourcewell contract to meet procurement requirements and achieve cost-effectiveness for the City.



Sponsored by: Administration

**CITY OF KENAI
RESOLUTION NO. 2026-30**

A RESOLUTION AUTHORIZING A CONTRACT AWARD FOR THE 2026 FIRE SYSTEMS TESTING, INSPECTION AND MONITORING.

WHEREAS, an Invitation to Bid was released on February 24, 2026 with bids due on April 2, 2026 for the 2026 Fire Systems Testing, Inspection & Monitoring contract; and,

WHEREAS, four bids were received

<u>Bidders</u>	<u>Total Cost</u>
North Star Fire Protection, LLC	\$275,540.00
Yukon Fire Protection Services, Inc.	\$328,620.00
Northern Support Services, Inc.	\$394,707.00
Alaska Fire Protection LLC	Non-Responsive; and,

WHEREAS, North Star Fire Protection, LLC was the lowest bidder with a cost of \$275,540 total for five years of fire system testing, inspection and monitoring; and,

WHEREAS, three of the bids were determined to be responsive and responsible; and,

WHEREAS, the project will complete annual inspections of City owned fire systems, fire suppression hoods, sprinkler systems, fire extinguishers, perform fire monitoring and complete repairs and maintenance to systems as needed; and,

WHEREAS, the total cost is for a five year contract and annual amounts will be authorized through the bid and annual contracts and subject to annual appropriation of funds and,

WHEREAS, it is in the best interest of the City to award the contract to North Star Fire Protection, LLC.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That the City Manager is authorized to execute a contract with North Star Fire Protection, LLC in the total amount of \$275,540 for the 2026 Fire Systems Testing, Inspection & Monitoring for up to five years and to approve contracts annually based on bid schedules and appropriations.

Section 2. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Approved by Finance: DS



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Lee Frey, Public Works Director

DATE: April 28, 2026

SUBJECT: **Resolution No. 2026-30** - Authorizing a Contract Award for the 2026 Fire Systems Testing, Inspection and Monitoring.

This memo requests Council’s approval to award a contract for the 2026 Fire Systems Testing, Inspection & Monitoring contract. The project was released for bidding and four bids were received. Bids were as follows for five years of total service:

<u>Bidders</u>	<u>Total Cost</u>
North Star Fire Protection, LLC	\$275,540.00
Yukon Fire Protection Services, Inc.	\$328,620.00
Northern Support Services, Inc.	\$394,707.00
Alaska Fire Protection LLC	Non-Responsive

North Star Fire Protection, LLC was the lowest bid for the project with a total cost of \$275,540.00 for five years of fire services.

The project will complete annual inspections of City owned fire systems, fire suppression hoods, sprinkler systems, fire extinguishers, perform fire monitoring and complete repairs and maintenance to systems as needed. The total cost is for a five year contract and annual amounts will be authorized through the bid and annual contracts and subject to annual appropriation of funds.

Award of this agreement is in the best interest of the City. Council’s approval is respectfully requested.



Sponsored by: Administration

**CITY OF KENAI
RESOLUTION NO. 2026-31**

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO AN AIRLINE OPERATING AGREEMENT AND TERMINAL AREA LEASE WITH FOX AIR, LLC.

WHEREAS, Fox Air, LLC. desires to provide scheduled passenger service at the Kenai Municipal Airport beginning June 1, 2026; and,

WHEREAS, Fox Air, LLC. must sign the City of Kenai’s Airline Operating Agreement and Terminal Area Lease and Sixth Amendment to the Airline Operating Agreement to operate as a signatory operator at the Kenai Municipal Airport and secure exclusive use space in the passenger terminal building; and

WHEREAS, it is in the best interest of the City of Kenai to authorize the City Manager to enter into such agreement with Fox Air, LLC. on behalf of the City; and,

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That the Kenai City Manager is authorized to enter into an Airline Operating Agreement and Terminal Area Lease with Fox Air, LLC. using the City of Kenai’s standard Airline Operating Agreement and Terminal Area Lease form.

Section 2. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6th DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk



MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
FROM: Mary Bondurant, Acting Airport Manager
DATE: April 27, 2026
SUBJECT: **Resolution No. 2026-31** - Authorizing the City Manager to Enter into an Airline Operating Agreement and Terminal Area Lease with Fox Air, LLC.

Fox Air, LLC. is requesting to start scheduled operations out of the Kenai Municipal Airport Terminal Building beginning June 1, 2026.

Prior to the start of service, Fox Air, LLC. must sign the City of Kenai's Airline Operating Agreement along with the Sixth Amendment, provide airline and affiliate insurance requirements and a security deposit; all of which are requirements of the Airline Operating Agreement.

Fox Air, LLC. and the Kenai Airport are excited about this new partnership and look forward to Fox Air, LLC. providing scheduled service between Kenai and Anchorage.

Thank you for your consideration.

Sponsored by: Administration



**CITY OF KENAI
RESOLUTION NO. 2026-32**

A RESOLUTION AUTHORIZING EXTENSION OF A CONTRACT FOR PURCHASE OF WATER AND WASTEWATER CHEMICALS.

WHEREAS, the City previously bid a one-year contract for purchase of water and wastewater chemicals; and,

WHEREAS, Brenntag Pacific was the low bidder with a cost of \$87,400.36; and,

WHEREAS, the Public Works Department is concerned about bidding an annual supply contract with variable logistic and fuel costs currently existing; and,

WHEREAS, KMC 7.15.070 (b)(6) allows the City to make a purchase by direct negotiation; and,

WHEREAS, extending the pricing for one-year is fair and reasonable; and,

WHEREAS, the contract supplies chemicals used for water and wastewater treatment at both of our treatment plants; and,

WHEREAS, it is in the best interest of the City to complete a one-year extension with Brenntag Pacific.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That the City Manager is authorized to extend a contract with Brenntag Pacific in the amount of \$87,400.36 for the purchase of water and wastewater chemicals for the period of July1, 2026 through June 30, 2027.


Section 2. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Approved by Finance:  _____



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Lee Frey, Public Works Director

DATE: April 28, 2026

SUBJECT: **Resolution No. 2026-32** - Authorizing Extension of a Contract for Purchase of Water and Wastewater Chemicals.

This memo requests Council's approval to complete a one-year extension of a contract to purchase water and wastewater chemicals with Brenntag Pacific.

Last year the City completed a bid for water and wastewater chemicals and Brenntag Pacific was the low bidder and awarded the contract. The City has concerns about bidding annual supply contracts with associated impacts to logistics and fuel prices that exist. We reached out to Brenntag Pacific and asked if it would be possible to extend the current contract.

KMC 7.15.070 (b)(6) allows the City to make purchases by direct negotiation if found to be in the best interest of the City and sufficient information is available to ensure a fair and reasonable price. The price was competitively bid a year ago and determined to be fair and reasonable. Extending the price an additional year is acceptable and we have allowed for fuel surcharge increases as negotiated.

The Public Works Department recommends a one-year contract extension with Brenntag Pacific in the amount of \$87,400.36.

Award of this agreement is in the best interest of the City. Council's approval is respectfully requested.



Sponsored by: Administration

**CITY OF KENAI
RESOLUTION NO. 2026-33**

A RESOLUTION AUTHORIZING EXTENSION OF A CONTRACT FOR REFUELING SERVICES FOR CITY FACILITY FUEL TANKS.

WHEREAS, the City previously bid a three-year contract with two one-year extensions for refueling services for City facility fuel tanks; and,

WHEREAS, Crowley Fuels was the only bidder with a negotiated agreement for 2.203% discount from the OPIS Rack Average; and,

WHEREAS, Crowley Fuels has requested a modification of the agreement to a \$0.31 increase over OPIS Rack Average due to current fuel prices, operational costs and variable fuel usage; and,

WHEREAS, the Public Works Department is concerned about bidding a new long-term fuel services contract with variable fuel pricing; and,

WHEREAS, KMC 7.15.070 (b)(6) allows the City to make a purchase by direct negotiation; and,

WHEREAS, extending the pricing for one-year is fair and reasonable with the City reevaluating fuel costs in 2027; and,

WHEREAS, the contract supplies fuel for various City owned fuel tanks; and,

WHEREAS, it is in the best interest of the City to complete a one-year extension with Crowley Fuels.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That the City Manager is authorized to execute a contract extension with Crowley Fuels for \$0.31 above OPIS Rack Average for the refueling services for City facility fuel tanks.

Section 2. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Approved by Finance: _____



MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
FROM: Lee Frey, Public Works Director
DATE: April 28, 2026
SUBJECT: **Resolution No. 2026-33** - Authorizing Extension of a Contract for Refueling Services for City Facility Fuel Tanks.

This memo requests Council's approval to complete a one-year extension of a contract to provide refueling services for City facility fuel tanks.

Resolution 2023-36 authorized a three-year agreement for providing refueling services for the City. The resolution allows for two one-year extensions to the agreement. Crowley Fuels has indicated that they cannot extend the agreement without a price adjustment. Crowley was the only bidder on the contract at the time and what was negotiated for final contract was a 2.203% discount from the OPIS Rack Average. They are requesting the new rate be \$0.31 added to the OPIS Rack Average.

KMC 7.15.070 (b)(6) allows the City to make purchases by direct negotiation if found to be in the best interest of the City and sufficient information is available to ensure a fair and reasonable price. Crowley has operated at the discount for three-years per the contract requirements and state that not all operational costs were considered at the time of the bid, but they have honored their price for the length of the contract. The percentage reduction was more difficult for them as fuel prices increased. In addition, our fuel usage has fluctuated considerably over the length of the contract as it is extremely variable with snow fall and equipment usage. The City has concerned about bidding a new long-term contract for fuel services at this time with fuel pricing being extremely variable. We recommend extending this contract for the one-year term and reevaluating in 2027.

The Public Works Department recommends a one-year contract extension with Crowley Fuels with the terms modified to be \$0.31 increase to OPIS Rack Average.

Award of this agreement is in the best interest of the City. Council's approval is respectfully requested.



Sponsored by: Administration

**CITY OF KENAI
RESOLUTION NO. 2026-34**

A RESOLUTION AFFIRMING CITY SUPPORT OF NON-DISCRIMINATION POLICIES AS OUTLINED IN TITLE VIII OF THE 1968 CIVIL RIGHTS ACT KNOWN AS THE FEDERAL FAIR HOUSING ACT TO COMPLY WITH CERTAIN GRANT REQUIREMENTS.

WHEREAS, the United States Congress passed Public Law 90-284 which refers to the Civil Rights Act of 1968, as amended in 1988 and also known as the Federal Fair Housing Act; and,

WHEREAS, the Fair Housing Act prohibits discrimination against certain classes of people and the manner in which local governments may regulate housing for certain groups of people; and,

WHEREAS, recipients of Community Development Block Grant funds must affirm to further fair housing as a condition of the grant award; and,

WHEREAS, the City has historically provided similar grant assurances affirming non-discrimination in housing dating from 1984; and,

WHEREAS, the City has also established a non-discrimination clause in Article XIII, Section H in all standard lease forms; and,

WHEREAS, it is in the best interest of the City to reaffirm non-discrimination policies while receiving grant funding through the Alaska Department of Commerce, Community, and Economic Development in support of low-income and senior housing.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA:

Section 1. That within available resources the City will assist all persons who feel they have been discriminated against because of race, color, religion, sex, national origin, family status, or handicap status, to seek equity under federal and state laws by filing a complaint with the U.S. Department of Housing and Urban Development, Seattle Regional Office Compliance Division.

Section 2. That the City will publicize this Resolution and through this publicity shall cause owners of real estate, developers, and builders to become aware of their respective responsibilities and rights under the federal Fair Housing Act and any applicable state or local laws/ordinances.

Section 3. That this Resolution takes effect immediately upon passage.

PASSED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 6TH DAY OF May, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Kevin Buettner, Planning Director

DATE: April 27, 2026

SUBJECT: **Resolution No. 2026-34 - Affirming City Support of Non-Discrimination Policies as Outlined in Title VIII of the 1968 Civil Rights Act Known as the Federal Fair Housing Act to Comply with Certain Grant Requirements.**

Title VIII of the Civil Rights Act of 1968, as amended, familiarly known as the Fair Housing Act, prohibited discrimination in the sale or rental of housing on the basis of race, color, religion, sex or national origin. It was amended in 1988 to provide stiffer penalties, establish an administrative enforcement mechanism and expand its coverage to prohibit discrimination on the basis of familial status and handicap. By amending this law, Congress demonstrated a renewed commitment to achieving fair housing.

In addition to prohibiting a wide range of discriminatory practices, the Fair Housing Act requires recipients of federal Community Development Block Grant funds to certify that they will affirmatively further fair housing as a condition of receiving the CDBG funds. The City will do so with the adoption of this resolution. CDBG Grantee local governments are required to develop proposed actions to affirmatively further fair housing at the local level, for State review. Actions taken to affirmatively further fair housing must further the policies of the Fair Housing Act and include activities to assure nondiscrimination in housing transactions.

Working for a number of years with the project partner, Kenai Peninsula Housing Initiatives, Inc., is one of the latest demonstrations of the City's commitment to work actively with nonprofits and other potential partners whose goal is to further fair housing. The City has provided similar grant assurances since 1984 and has established non-discrimination policies in various documents such as the standard lease form and within the personnel policy.

Thank you for your consideration.

**KENAI CITY COUNCIL – REGULAR MEETING
APRIL 22, 2026 – 6:00 P.M.
KENAI CITY COUNCIL CHAMBERS
210 FIDALGO AVE., KENAI, AK 99611
MAYOR HENRY H. KNACKSTEDT, PRESIDING**

MINUTES

A. CALL TO ORDER

A Regular Meeting of the Kenai City Council was held on April 22, 2026, in City Hall Council Chambers, Kenai, AK. Mayor Knackstedt called the meeting to order at approximately 6:00 p.m.

1. Pledge of Allegiance

Mayor Knackstedt led those assembled in the Pledge of Allegiance.

2. Roll Call

There were present:

Henry Knackstedt, Mayor
Sovala Kisena
Bridget Grieme

Victoria Askin, Vice Mayor
Phil Daniel (*remote attendance*)
Glense Pettey (*remote attendance*)

A quorum was present.

Absent:

Deborah Sounart

Also in attendance were:

**Josh Bolling, Student Representative
Terry Eubank, City Manager
Scott Bloom, City Attorney
David Swarner, Finance Director
Kevin Buettner, Planning Director
Katja Wolf, Library Director
Tyler Best, Parks and Recreation Director
Lee Frey, Public Works Director
Kathy Romain, Senior Services Director
Jay Teague, Fire Chief
Ryan Coleman, Police Sergeant
Dave Ross, Police Chief
Shellie Saner, City Clerk
Logan Parks, Deputy City Clerk

3. Certification of the April 14, 2026 Special Election Results

The April 14, 2026 Special Election results were presented as follows:

PROPOSITION NO. 2026-A

Amending the Annual Date of the City of Kenai’s General Election to Match the Kenai Peninsula Borough Annual Election Date, which was Recently Aligned with the Date of the State of Alaska Annual Election.

Proposition No. 2026-A	Polls	Absentee / Questioned	Total Votes
YES	169	80	249
NO	20	3	23

PROPOSITION NO. 2026-B

Setting the Fixed Date for the Annual City General Election in 2026, Removing the Fixed Election Date beginning in 2027 and Authorizing the Annual General Election Date to be Set by Municipal Ordinance thereafter.

Proposition No. 2026-B	Polls	Absentee / Questioned	Total Votes
YES	151	75	226
NO	37	5	42

MOTION:

Vice Mayor Askin **MOVED** to certify the results of the April 14, 2026 Special Election as presented. Council Member Kisena **SECONDED** the motion.

VOTE:

YEA: Knackstedt, Daniel, Grieme, Askin, Pettey, Kisena

NAY: None

ABSENT: Sounart

MOTION PASSED.**4. Agenda and Consent Agenda Approval**

Mayor Knackstedt noted the following additions to the Packet:

Add to item A.3.

Certifying the April 14, 2026 Special Election Results

- Certification of Results
- Unofficial Results
- Report of Canvass

MOTION:

Vice Mayor Askin **MOVED** to approve the agenda and consent agenda with the requested revisions. Council Member Kisena **SECONDED** the motion.

The items on the Consent Agenda were read into the record.

Mayor Knackstedt opened the floor for public comment on consent agenda items; there being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: There being no objection; **SO ORDERED.**

All items listed with an asterisk () are considered to be routine and non-controversial by the council and will be approved by one motion. There will be no separate discussion of these items unless a council member so requests, in which case the item will be removed from the consent agenda and considered in its normal sequence on the agenda as part of the General Orders.

[Mayor Knackstedt presented the Kenai Peninsula Hockey Association, Ice Hawks 12U Girls Hockey Team with a Proclamation of Recognition.]

B. SCHEDULED ADMINISTRATIVE REPORTS**C. SCHEDULED PUBLIC COMMENTS**

1. Request for Consideration of Challenger Center for Homeschool / Career Technical Education (CTE), Doug Hayman, Principal of Connections Homeschool.

Doug Hayman, Principal of Connections Homeschool provided a presentation to Council regarding the Homeschool programs, noting the Challenger Center could be utilized as a home base for Connections. He described the need for a centralized facility and conceptual uses; outlined benefits such as increased capacity, efficiency, and accessibility; and requested consideration be given for leasing the facility.

There was discussion regarding the long-term suitability of the Challenger Center to meet the current and future needs of Connections programs.

UNSCHEDULED PUBLIC COMMENTS

The following individuals addressed the City Council regarding the importance of local swimming pools and in support of the City working with local groups to save the Kenai Central High School swimming pool.

William Hubler
Abigail Price

Annabel Price
Dan Castimore

Sherry Powell addressed the Council with concerns regarding activities on Kiana Lane, noting previously reported activities had resumed related to increased traffic, property disrepair and public safety concerns; and she acknowledged law enforcement response.

D. PUBLIC HEARINGS

- 1. Ordinance No. 3511-2026** - Accepting and Appropriating Funds from the Institute of Museum and Library Services, Passed Through the State of Alaska, Department of Education and Early Development, Division of Library, Archives & Museums, for Library Employee Training. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to enact Ordinance No. 3511-2026. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

VOTE:

YEA: Daniel, Grieme, Askin, Pettey, Kisen, Knackstedt

NAY: None

ABSENT: Sounart

MOTION PASSED.

- 2. Ordinance No. 3512-2026** - Amending Kenai Municipal Code Chapter 7.22 Investment of Monies to Broaden the Range of Permitted Investments and Extend the Maturity Profile of the City's Investment Portfolio. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to enact Ordinance No. 3512-2026. Council Member Pettey **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

VOTE:

YEA: Grieme, Askin, Pettey, Kisen, Knackstedt, Daniel

NAY: None

ABSENT: Sounart

MOTION PASSED.

- 3. Resolution No. 2026-18** - Accepting a Site-Specific Emergency Operations Plan and Continuity of Operations Plan for the Kenai Senior Center and Incorporating These Plans into the City of Kenai Emergency Operations Plan. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-18. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

- 4. Resolution No. 2026-19** - Authorizing a Contract Award for External Financial Audit Services. (Administration)

[Clerk's Note: Mayor Knackstedt passed the gavel to Vice Mayor Askin and declared a conflict with Resolution 2026-19 as he was a participant in the External Auditor Evaluation Committee; Council Member Daniel also declared a conflict with Resolution 2026-19 as he was a participant on the External Auditor Evaluation Committee. Vice Mayor asking ruled a conflict did exist, Mayor Knackstedt and Council Member Daniel abstained from discussion and voting on Resolution 2026-19.]

MOTION:

Council Member Kisena **MOVED** to adopt Resolution No. 2026-19. Council Member Grieme **SECONDED** the motion.

Vice Mayor Askin opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

[Clerk's Note: Vice Mayor Askin returned the gavel to Mayor Knackstedt.]

- 5. Resolution No. 2026-20** - Authorizing a Contract Award for the 2026 Kenai City Dock Lease. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-20. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

It was reported that E & E Foods (Pacific Star) was the Lessee.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

- 6. Resolution No. 2026-21** - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Nathan Scow for the Property Described as Tracts A & B, City of Kenai Shore Fishery No. 1. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-21. Council Member Kisena **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

It was reported that Resolution 2026-21 through 2026-27 were all the same, with the exception of the lease; these were 10-year shore fishery leases for commercial fishing activities; and all existing leaseholders were requesting new 10-year leases.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

- 7. Resolution No. 2026-22** - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Tide Chaser Fishery, LLC for the Property Described as City of Kenai Shore Fishery No. 2. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-22. Council Member Kisena **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

- 8. Resolution No. 2026-23** - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Brian Scow for the Property Described as Tract One (1), Shore Fishery Plat No. 71. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-23. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

- 9. Resolution No. 2026-24** - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Nancy Hillman-Scow for the Property Described as Tract Two (2), Shore Fishery Plat No. 71. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-24. Council Member Kisena **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

10. Resolution No. 2026-25 - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Kenai Salmon Company, Inc. for the Property Described as Tracts Three (3), Four (4), Five (5), and Six (6), Shore Fishery Plat No. 71. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-25. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

11. Resolution No. 2026-26 - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Aurora Holdings and Investments, LLC for the Property Described as Tract Seven (7), Shore Fishery Plat No. 71. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-26. Council Member Kisena **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

12. Resolution No. 2026-27 - Approving a Lease Form for Leasing of Tidelands for Shore Fisheries and Authorizing the City Manager to Enter into a Shore Fishery Lease with Laura Maccabee for the Property Described as a 3.29-acre portion of Tidelands Survey No. 272 within Section Thirty-Five (35), Township 5 North, Range 12 West. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-27. Council Member Grieme **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

13. Resolution No. 2026-28 - Approving an Auto Aid Agreement and Supporting Operational Plan with the Kenai Peninsula Borough for Exchange of Personnel and Equipment Response to Structure Fires. (Administration)

MOTION:

Vice Mayor Askin **MOVED** to adopt Resolution No. 2026-28. Council Member Kisena **SECONDED** the motion.

Mayor Knackstedt opened the floor for public comment. There being no one wishing to be heard, the public comment period was closed.

It was reported this would execute a new auto aid agreement with neighboring fire departments; increased the minimum responding crew size when personnel were available; and benefits include additional personnel during structure fires, improved coordination with neighboring departments and a positive impact on the City's ISO rating.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

E. MINUTES

1. *Regular Meeting of April 1, 2026. (City Clerk)

Approved by the consent agenda.

2. *Special Meeting of April 8, 2026. (City Clerk)

Approved by the consent agenda.

F. UNFINISHED BUSINESS - None.

G. NEW BUSINESS

1. ***Action/Approval** - Bills to be Ratified. (Administration)

Approved by the consent agenda.

2. ***Action/Approval** - Non-Objection to the Transfer of Ownership of a Marijuana Product Manufacturing Facility License from Transferor Herban Extracts, LLC to Transferee Lady Gray, LLC. DBA Herban Extracts - License No. 14432. (City Clerk)

Approved by the consent agenda.

3. ***Action/Approval** - Special Use Permit to NILCHIL Solutions, Inc. for an Off-Premise Sign on City-Owned Property Described as Tract B, Gusty Subdivision Addition No. 2, Located at 11631 Kenai Spur Highway. (Administration))

Approved by the consent agenda.

4. ***Ordinance No. 3513-2026** - Amending Kenai Municipal Code Chapter 7.15 - Purchases and Sales, to Remove Requirements to Publish Advertisements in Newspapers. (Administration)

Introduced by the consent agenda and Public Hearing set for May 6, 2026.

5. ***Ordinance No. 3514-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Airport Fund and Awarding a Contract for Purchase of Firefighting Foam. (Administration)

Introduced by the consent agenda and Public Hearing set for May 6, 2026.

6. ***Ordinance No. 3515-2026** - Increasing Estimated Revenues and Appropriation in the Airport Snow Removal Equipment Capital Project Fund to Transfer Residual Balance from a Completed Project Back to the Original Funding Source. (Administration)

Introduced by the consent agenda and Public Hearing set for May 6, 2026.

7. ***Ordinance No. 3516-2026** - Increasing Estimated Revenues and Appropriations in the General Fund - Fire Department for Overtime Costs in Excess of Budgeted Amounts. (Administration)

Introduced by the consent agenda and Public Hearing set for May 6, 2026.

8. ***Ordinance No. 3517-2026** - Increasing Estimated Revenues and Appropriations in the General Fund and Authorizing a Consulting Agreement to Evaluate Natural Gas Storage Opportunities on Kenai Municipal Airport Lands. (Administration

Introduced by the consent agenda and Public Hearing set for May 6, 2026.

9. **Action/Approval** - Parks and Recreation Commission 2026 Work Plan. (Parks and Recreation Commission)

MOTION:

Vice Mayor Askin **MOVED** to approve the Parks and Recreation Commission 2026 Work Plan. Council Member Grieme **SECONDED** the motion.

UNANIMOUS CONSENT was requested on the motion.

VOTE: Motion **APPROVED**, without objection.

10. **Discussion** - Kenai Central High School Pool Operations and Coordination. (Administration)

It was reported that the Administration had participated in regional discussions with the Kenai Peninsula Borough and community stakeholders; a proposal was coming from a local swim organization, which may request City participation; and clarification was provided that the higher maintenance cost provided was related to recent major capital improvements.

There was discussion regarding maintaining pool operations; identifying key stakeholders; partnership models; cost discrepancies and financial feasibility concerns; the executive session was to address negotiation strategies related to City involvement.

11. **Discussion** - Candidate Filing Period. (City Clerk)

There was discussion regarding required amendments to Kenai Municipal Code based on Propositions No. 2026-A and 2026-B being approved by the voters; and direction was requested from Council for changes to the candidate filing period.

General direction was provided to allow time for a candidate withdrawal period.

H. COMMISSION / COMMITTEE REPORTS

1. Council on Aging Commission

Vice Mayor Askin reported on the April 9, 2026 meeting; next meeting May 14, 2026.

2. Airport Commission

No report, next meeting May 14, 2026.

3. Parks and Recreation Commission

Council Member Grieme reported on the April 2, 2026 meeting; next meeting May 7, 2026.

4. Planning and Zoning Commission

No report, next meeting April 29, 2026.

5. Beautification Commission

Council Member Pettey reported on the April 14, 2026 meeting; next meeting May 12, 2026.

I. REPORT OF THE MAYOR

1. **Proclamation** - In Recognition of Kenai Peninsula Hockey Association (KPHA) Ice Hawks 12U Girls Hockey Team.

Mayor Knackstedt thanked the Clerk's Office for the Special Election and reported on the following:

- Attending the Cook Inlet Regional Citizens Advisory Council Meeting; Kenai Historical Society Meeting; and the Kenai Chronicles.
- Presenting the State of the City with City Manager Eubank.

J. ADMINISTRATION REPORTS

1. City Manager - City Manager Eubank reported on the following:
 - Police Chief Dave Ross has given his notice of retirement after 25 years of service.
 - Welcomed Wendi Greenhalgh, new part-time administrative assistant for the Police Department; and Robert Flake was promoted to Lead Equipment Operator.
 - Current Recruitment: Police Chief, Police Officer, Equipment Operator, Dispatcher, Recreation Center staff, and seasonal employees.
 - Extended a new job offer for Airport Manager.
 - Senior Center Director Kathy Romain was appointed to the Alaska Commission on Aging.
 - Executed a memorandum of agreement with the State for the Wildwood Drive reconstruction.
 - Attended the Northwest Manager conference in Sitka.
 - Presented the annual State of the City report, recognizing the contributions of Christine Cunningham to the report.
 - Ongoing discussions with the community for pool operations.
 - Providing testimony before the Senate Resources Committee on SB280.
 - Draft Budget was released.
 - Road design standards development, including public outreach.
 - Provided details regarding the upcoming Clean-Up Day event.
2. City Attorney - No report.
3. City Clerk - City Clerk Saner reported on the following:
 - April 14, 2026 Special Election was conducted for roughly \$7,000 under the budgeted amount.

K. ADDITIONAL PUBLIC COMMENTS

1. Citizen Comments (*Public comments limited to (5) minutes per speaker*) - None.
2. Council Comments

Council Member Daniel thanked the Clerk's Office for the Special Election; and noted he was looking forward to future conversations on the pool and Challenger Center.

Council Member Grieme noted her disappointment in the low voter turnout; provided additional details on Clean-Up day; and thanked all who participated in the meeting.

Council Member Pettey thanked everyone for their efforts and all who participated in the meeting.

Council Member Askin reported attending the Historical Society meeting and the State of the City; noted her disappointment in the low voter turnout; and thanked all who participated in the meeting.

Council Member Kisena congratulated Chief Ross; congratulated the KPHA Ice Hawks team, noting he was proud of their efforts; stated his appreciation for the presentation provided by Doug Hayman; and those who provided testimony on the pool; and thanked Public Works Director Frey for all he does.

L. EXECUTIVE SESSION

1. Competing Applications for Gas Storage Space. Pursuant to AS 44.62.310(c)(1) a Matter of which the Immediate Knowledge may have an Adverse Effect upon the Finance of the City and AS 44.62.310(c)(3) a Matter of which by Law, Municipal Charter, or Ordinance are required to be Confidential. (Administration)

[Clerk's Note: Vice Mayor Askin recused herself from the Executive Session as she was employed by one of the applicants.]

MOTION:

Council Member Kisena **MOVED** to enter into executive session to discuss competing applications for gas storage space. Pursuant to AS 44.62.310(c)(1) a matter which the immediate knowledge would clearly have an adverse effect upon the finance of the City and AS 44.62.310(c)(3) a matter which by law, municipal charter, or ordinance is required to be confidential.

The executive session will include Mayor Knackstedt, City Council Members, City Manager Eubank and City Attorney Bloom.

Council Member Grieme **SECONDED** the motion.

UNANIMOUS CONSENT was requested on the motion.

VOTE: Motion **APPROVED**, without objection.

MOTION:

Council Member Kisena **MOVED** to reconvene into regular session. Council Member Grieme **SECONDED** the motion.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

[Clerk's Note: The Council entered into executive session at 7:52 p.m. and reconvened into regular session at 8:48 p.m.]

2. Kenai Central High School Pool Negotiations. Pursuant to AS 44.62.310(c)(1) a Matter of which the Immediate Knowledge may have an Adverse Effect upon the Finance of the City. (Administration)

[Clerk's Note: Council Member Kisena recused himself from the Executive Session as he was employed by one of the parties who may participate in negotiations.]

MOTION:

Vice Mayor Askin **MOVED** to enter into executive session to discuss Kenai Central High School Pool Negotiations. Pursuant to AS 44.62.310(c)(1) a matter which the immediate knowledge would clearly have an adverse effect upon the finance of the City.

The executive session will include Mayor Knackstedt, City Council Members, City Manager Eubank and City Attorney Bloom.

Council Member Grieme **SECONDED** the motion.

UNANIMOUS CONSENT was requested on the motion.

VOTE: Motion **APPROVED**, without objection.

MOTION:

Vice Mayor Askin **MOVED** to reconvene into regular session. Council Member Grieme **SECONDED** the motion.

UNANIMOUS CONSENT was requested.

VOTE: Motion **APPROVED**, without objection.

[Clerk's Note: The Council entered into executive session at 8:50 p.m. and reconvened into regular session at 9:26 p.m.]

M. PENDING ITEMS

- 1. **Ordinance 3510-2026** - Amending the Official Zoning Map by Rezoning the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District. (Administration)

Ordinance No. 3510-2026 (Substitute) - Amending the Official Zoning Map by Rezoning a Portion of the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District. (Administration)

[Clerk's Note: During the April 1, 2026 City Council Meeting, Ordinance No. 3510-2026 was postponed to May 6, 2026.]

N. ADJOURNMENT

O. INFORMATIONAL ITEMS - None.

There being no further business before the Council, the meeting was adjourned at 9:27 p.m.

I certify the above represents accurate minutes of the Kenai City Council meeting of April 22, 2026.

Michelle M. Saner, MMC
City Clerk

*** The student representative may cast advisory votes on all matters except those subject to executive session discussion. Advisory votes will not affect the outcome of the official council vote. Advisory votes will be recorded in the minutes. A student representative may not move or second items during a council meeting.*



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3510-2026**

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP BY REZONING THE PROPERTY AT 10060 KENAI SPUR HIGHWAY FROM CONSERVATION TO SUBURBAN RESIDENTIAL ZONING DISTRICT.

WHEREAS, the property located at 10060 Kenai Spur Highway and known as Kenai Peninsula Borough Parcel number 04501057 is currently zoned as Conservation (C); and,

WHEREAS, Kenai Municipal Code 14.20.070 provides the intention of the Conservation Zone is to preserve open areas and as watersheds and wildlife reserves reserve lands for aircraft approach zones and other airport related uses; and,

WHEREAS, the City applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on the 81-acre parcel located east of the airport; and,

WHEREAS, the Deed of Release was approved by the FAA removing the aforementioned restrictions and was recorded on September 15, 2025; and,

WHEREAS, the City recognizes that upland portions of the larger parcel may be desirable for new residential development near existing subdivisions; and,

WHEREAS, the City of Kenai is initiating an amendment to the Kenai Official Zoning Map through the Kenai Planning & Zoning Commission in accordance with KMC Section 14.20.270(b)(1)(B) - *Amendment procedures*; and,

WHEREAS, the area proposed to be rezoned is much larger than the minimum of one acre required for a rezone; and,

WHEREAS, the proposed amendment to the zoning ordinance is not substantially the same as any other unapproved proposed amendment submitted within the previous nine (9) months; and,

WHEREAS, the rezone is consistent with the Imagine Kenai 2030 Comprehensive Plan and largely aligns with the Land Use Plan and addresses Goal 3 – *Land Use: Develop land use strategies to implement a forward-looking approach to community growth and development*; and,

WHEREAS, at their regularly scheduled meeting held on February 25, 2026, the City of Kenai Planning and Zoning Commission recommended approval of the rezone, but recommended the property to be rezoned to Rural Residential 1 (RR1) instead of Suburban Residential as proposed by Administration.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. Amendment of City of Kenai Official Zoning Map: That City of Kenai, Official Zoning Map is hereby amended as follows: Rezone parcel 04501057 (10060 Kenai Spur Highway) from Conservation (C) to Suburban Residential zoning district.

Section 2. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 3. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect 30 days after enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 1ST DAY OF APRIL, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Introduced:	March 18, 2026
Enacted:	April 1, 2026
Effective:	May 1, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Kevin Buettner, Planning Director

DATE: March 9, 2026

SUBJECT: **Ordinance No. 3510-2026** – Amending the Official Zoning Map by Rezoning the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District.

The Administration requested a rezone of an 81-acre parcel located at 10060 Kenai Spur Highway from Conservation to the Suburban Residential (RS) zoning district. The RS zone is intended to provide for medium-density residential development in areas served by common utility systems while maintaining adequate light, air, privacy, and the residential character of neighborhoods. The parcel is adjacent to existing residential neighborhoods within walking, biking, or short driving distance to commercial services, including Walmart, Home Depot, and Safeway.

In August 2025, the City applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on the parcel, located east of the airport. The FAA approved the Deed of Release on September 15, 2025, and it was subsequently recorded with the State of Alaska. The release removed several restrictions and allows the land to be leased for other than aeronautical uses and also may be sold for fair market value if authorized by the City.

Most of the parcel consists of lowland drainage areas and associated wetlands that are not suitable for development. However, approximately 10-15 acres of uplands along the eastern edge of the parcel, adjacent to existing residential neighborhoods, may be suitable for residential development. These upland areas are near existing City utilities located at the corner of Princess Lane and Magic Avenue. Under the current Conservation zoning, residential development is only allowed through a Conditional Use Permit.

Rezoning the suitable upland areas to Suburban Residential would align with the adjacent residential zoning districts and allow low- to medium density housing in an area where utilities are available. The property is currently designated Parks, Recreation, and Open Space in the Imagine Kenai 2030 Comprehensive Plan. Most of the parcel would remain open space due to the drainage conditions, while the approximately 10-15 acres of upland area could support residential development, mostly on the eastern edge has upland portions that would be suitable following subdivision of the property. A Comprehensive Plan amendment is not required because

residential uses are allowed in the Conservation zone, with a Conditional Use Permit. The City anticipates updating the Comprehensive Plan in the coming years, which may include a new Land Use Plan.

The Comprehensive Plan supports this rezoning in the following identified goals:

Goal 3 – Land Use: Develop land use strategies to implement a forward-looking approach to community growth and development.

LU-3: Review existing zoning and subdivision codes to determine if they address current and future land uses adequately

The City recently conducted a statistically valid community survey that identified housing as a significant concern. Seventy-four percent of respondents indicated Kenai has a housing affordability or affordability and availability problem, and 46.7 percent said housing affordability and availability should be a top priority over the next five years. Portions of this parcel were identified as one of the few remaining City-owned properties adjacent to existing utilities that could support residential development without requiring major new infrastructure.

At its February 25, 2026 meeting, the Planning & Zoning Commission considered the Administration's request to rezone the parcel to Suburban Residential. Several members of the public spoke, raising concerns about potential impacts including development of wetlands, effects on nearby wells and septic systems, traffic and road conditions, and the possible extension of Magic Avenue. Others emphasized the ecological importance of the wetlands and ravine areas that serve as headwaters to a tributary of the Kenai River and salmon habitat. During discussion, staff clarified that only about 10–15 acres of upland near existing utilities would likely be suitable for residential development and that wetlands and lowland areas would remain protected. Development would still require subdivision, platting, and developer-funded infrastructure improvements.

Following discussion, the Commission amended the proposal to recommend rezoning the property to Rural Residential 1 (RR-1) rather than Suburban Residential (RS), and the amended motion passed.

The Administration believes rezoning to RR-1 will likely deter development of this property due to the required minimum lots size of 20,000 square feet compared to 7,200 square feet in the RS zone. Development costs, installation of roads and utilities, are significant and requiring lots of at least 20,000 square feet would make development uneconomical. The RR-1 zone also prohibits structures with more than five dwelling units and requires a conditional use permit for structures with more than three dwelling units. Because the property is within walking, biking, or short driving distance to commercial services, it is an ideal location for higher density development. While the application is not yet complete, the Administration is working with a developer who is interested in constructing a multifamily development in Kenai which may not be permitted in a RR-1 zone.

Additionally, after further consideration, Administration believes that for purposes of future development of the property, this is an appropriate situation for creating a split zone. Only the developable uplands portion of the lot would be rezoned, and the lowland wetlands would remain conservation. This would facilitate a future subdivision for development.



The Administration requests that this ordinance be considered non-routine and removed from the consent agenda and referred back to planning and Zoning. Administration recommends referring the request back to the Planning & Zoning Commission to reconsider the Administration's original request to amend the zoning to RS and to consider a split-zone approach. Under this approach, the upland portion of the parcel suitable for residential development would be rezoned to RS, while the larger portion of the property containing drainages and associated wetlands would remain in the Conservation zoning district. While split zones are generally not considered best practice, in this case a split zone will clearly delineate the portion of the lot suitable for development from what should remain open space and not be developed. A split zone will also negate the need to rezone the remaining parcel back to Conservation once subdivision of the developable portion is complete.

Thank you for your consideration.

Attachments

Location Map

FAA Deed of Release

P&Z Resolution PZ2026-03

Staff Report PZ2026-03





Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3510-2026 SUBSTITUTE**

AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP BY REZONING A PORTION OF THE PROPERTY AT 10060 KENAI SPUR HIGHWAY FROM CONSERVATION TO SUBURBAN RESIDENTIAL ZONING DISTRICT.

WHEREAS, the property located at 10060 Kenai Spur Highway and known as Kenai Peninsula Borough (KPB) parcel number 04501057 is currently zoned as Conservation (C); and,

WHEREAS, Kenai Municipal Code 14.20.070 provides the intention of the Conservation Zone is to preserve open areas as watersheds and wildlife reserve lands for aircraft approach zones and other airport related uses; and,

WHEREAS, the City of Kenai applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on an 81-acre parcel located east of the airport; and,

WHEREAS, the Deed of Release was approved by the FAA removing the aforementioned restrictions and was recorded on September 15, 2025; and,

WHEREAS, the City recognizes that upland portions of the larger parcel may be desirable for new residential development near existing subdivisions; and,

WHEREAS, the metes and bounds description of the portion of KPB 04501057 is as follows: Commencing at the center $\frac{1}{4}$ corner of Section 33, Township 6 North, Range 11 West, Seward Meridian as shown on Plat K-1447, Kenai Recording District, thence S0°05'00"E 660 feet to point No. 1, the TRUE POINT OF BEGINNING; thence S89°55'00"W 410 feet to point No. 2; thence N0°05'00"W 1,980 feet to point No. 3; thence N89°55'00"E 410 Feet to point No. 4; thence S0°05'00"E 1,980 feet more or less to point No. 1, the TRUE POINT OF BEGINNING, containing 18.636 acres; and,

WHEREAS, the City of Kenai is initiating an amendment to the Kenai Official Zoning Map through the Kenai Planning & Zoning Commission in accordance with KMC Section 14.20.270(b)(1)(B) - *Amendment procedures*; and,

WHEREAS, the area proposed to be rezoned is much larger than the minimum of one acre required for a rezone; and,

WHEREAS, the proposed amendment to the zoning ordinance is not substantially the same as any other unapproved proposed amendment submitted within the previous nine (9) months; and,

WHEREAS, the rezone is consistent with the Imagine Kenai 2030 Comprehensive Plan and largely aligns with the Land Use Plan and addresses Goal 3 – *Land Use: Develop land use strategies to implement a forward-looking approach to community growth and development*; and,

WHEREAS, at their regularly scheduled meeting held on February 25, 2026, the City of Kenai Planning and Zoning Commission recommended approval of the rezone as presented at the time, but recommended the property to be rezoned to Rural Residential 1 (RR1) instead of Suburban Residential as proposed by Administration; and,

WHEREAS, at their regularly scheduled meeting held on March 18, 2026, the City Council referred Ordinance 3510-2026 to the Planning & Zoning Commission; and,

WHEREAS, at their regularly scheduled meeting held on April 29, 2026, the Planning & Zoning Commission recommended_____.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. Amendment of City of Kenai Official Zoning Map: That City of Kenai, Official Zoning Map is hereby amended as follows: Rezone the portion of parcel 04501057 (10060 Kenai Spur Highway) described as: Commencing at the center ¼ corner of Section 33, Township 6 North, Range 11 West, Seward Meridian as shown on Plat K-1447, Kenai Recording District, thence S0°05'00"E 660 feet to point No. 1, the TRUE POINT OF BEGINNING; thence S89°55'00"W 410 feet to point No. 2; thence N0°05'00"W 1,980 feet to point No. 3; thence N89°55'00"E 410 Feet to point No. 4; thence S0°05'00"E 1,980 feet more or less to point No. 1, the TRUE POINT OF BEGINNING, containing 18.636 acres from Conservation (C) to Suburban Residential (RS) zoning district.

Section 2. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 3. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect 30 days after enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 18TH DAY OF MARCH, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Michelle M. Saner, MMC, City Clerk

Introduced: March 4, 2026
Enacted:
Effective:



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Kevin Buettner, Planning Director

DATE: March 20, 2026

SUBJECT: **Ordinance No. 3510-2026 (substitute)** – Amending the Official Zoning Map by Rezoning a Portion of the Property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District.

The Administration requested a partial rezone of an 81-acre parcel located at 10060 Kenai Spur Highway from Conservation to the Suburban Residential (RS) zoning district. The RS zone is intended to provide for medium-density residential development in areas served by common utility systems while maintaining adequate light, air, privacy, and the residential character of neighborhoods. The parcel is adjacent to existing residential neighborhoods within walking, biking, or short driving distance to commercial services, including Walmart, Home Depot, and Safeway.

In August 2025, the City applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on the parcel, located east of the airport. The FAA approved the Deed of Release on September 15, 2025, and it was subsequently recorded with the State of Alaska. The release removed several restrictions and allows the land to be leased for other than aeronautical uses and also may be sold for fair market value if authorized by the City.

Most of the parcel consists of lowland drainage areas and associated wetlands that are not suitable for development. However, 18.636 acres of uplands along the eastern edge of the parcel, adjacent to existing residential neighborhoods, may be suitable for residential development. This area is described by metes and bounds as: Commencing at the center ¼ corner of Section 33, Township 6 North, Range 11 West, Seward Meridian as shown on Plat K-1447, Kenai Recording District, thence S0°05'00"E 660 feet to point No. 1, the TRUE POINT OF BEGINNING; thence S89°55'00"W 410 feet to point No. 2; thence N0°05'00"W 1,980 feet to point No. 3; thence N89°55'00"E 410 Feet to point No. 4; thence S0°05'00"E 1,980 feet more or less to point No. 1, the TRUE POINT OF BEGINNING, containing approximately 18.636 acres. These upland areas are near existing City utilities located at the corner of Princess Lane and Magic Avenue. Under the current Conservation zoning, residential development is only allowed through a Conditional Use Permit.

Rezoning the suitable upland areas to Suburban Residential would align with the adjacent residential zoning districts and allow low to medium density housing in an area where utilities are available. The property is currently designated Parks, Recreation, and Open Space in the Imagine Kenai 2030 Comprehensive Plan. Most of the parcel would remain open space due to the drainage conditions, while the 18.636 acres of upland area could support residential development, mostly on the eastern edge has upland portions that would be suitable following subdivision of the property. A Comprehensive Plan amendment is not required because residential uses are allowed in the Conservation zone, with a Conditional Use Permit. The City anticipates updating the Comprehensive Plan in the coming years, which may include a new Land Use Plan.

The Comprehensive Plan supports this rezoning in the following identified goals:

Goal 3 – Land Use: Develop land use strategies to implement a forward-looking approach to community growth and development.

LU-3: Review existing zoning and subdivision codes to determine if they address current and future land uses adequately

The City recently conducted a statistically valid community survey that identified housing as a significant concern. Seventy-four percent of respondents indicated Kenai has a housing affordability or affordability and availability problem, and 46.7 percent said housing affordability and availability should be a top priority over the next five years. Portions of this parcel were identified as one of the few remaining City-owned properties adjacent to existing utilities that could support residential development without requiring major new infrastructure.

At its February 25, 2026 meeting, the Planning & Zoning Commission considered the Administration's request to rezone the parcel to Suburban Residential. Several members of the public spoke, raising concerns about potential impacts including development of wetlands, effects on nearby wells and septic systems, traffic and road conditions, and the possible extension of Magic Avenue. Others emphasized the ecological importance of the wetlands and ravine areas that serve as headwaters to a tributary of the Kenai River and salmon habitat. During discussion, staff clarified that only 18.636 acres of upland near existing utilities would likely be suitable for residential development and that wetlands and lowland areas would remain protected. Development would still require subdivision, platting, and developer-funded infrastructure improvements.

Following discussion, the Commission amended the proposal to recommend rezoning the property to Rural Residential 1 (RR-1) rather than Suburban Residential (RS), and the amended motion passed.

The Administration believes rezoning to RR-1 will likely deter development of this property due to the required minimum lots size of 20,000 square feet compared to 7,200 square feet in the RS zone. Development costs, installation of roads and utilities, are significant and requiring lots of at least 20,000 square feet would make development uneconomical. The RR-1 zone also prohibits structures with more than five dwelling units and requires a conditional use permit for structures with more than three dwelling units. Because the property is within walking, biking, or short driving distance to commercial services, it is an ideal location for higher density development. While the



application is not yet complete, the Administration is working with a developer who is interested in constructing a multifamily development in Kenai which may not be permitted in a RR-1 zone.

Additionally, after further consideration, Administration believes that for purposes of future development of the property, this is an appropriate situation for creating a split zone. Only the developable uplands portion of the lot would be rezoned, and the lowland wetlands would remain conservation. This would facilitate a future subdivision for development.

On March 18, 2026, City Council referred the request back to the Planning & Zoning Commission to reconsider the Administration's original request to amend the zoning to RS and to consider a split-zone approach. Under this approach, the upland portion of the parcel suitable for residential development would be rezoned to RS, while the larger portion of the property containing drainages and associated wetlands would remain in the Conservation zoning district. While split zones are generally not considered best practice, in this case a split zone using metes and bounds to delineate the portion of the larger parcel that would be considered for rezoning the portion of the lot suitable for development from what should remain open space and not be developed. A split zone will also negate the need to rezone the remaining parcel back to Conservation once subdivision of the developable portion is complete.

This substitute ordinance will document the City Council action on March 18, 2026, as well as delineate the portion of the larger parcel to be considered by the Planning & Zoning Commission.

The Administration also respectfully requests that you introduce this substitute ordinance and delay the public hearing until the May 6, 2026 City Council meeting to allow the Planning & Zoning Commission to hold their public hearing and make recommendation at the their April 29, 2026 meeting.

Thank you for your consideration.

Attachments

Location Map

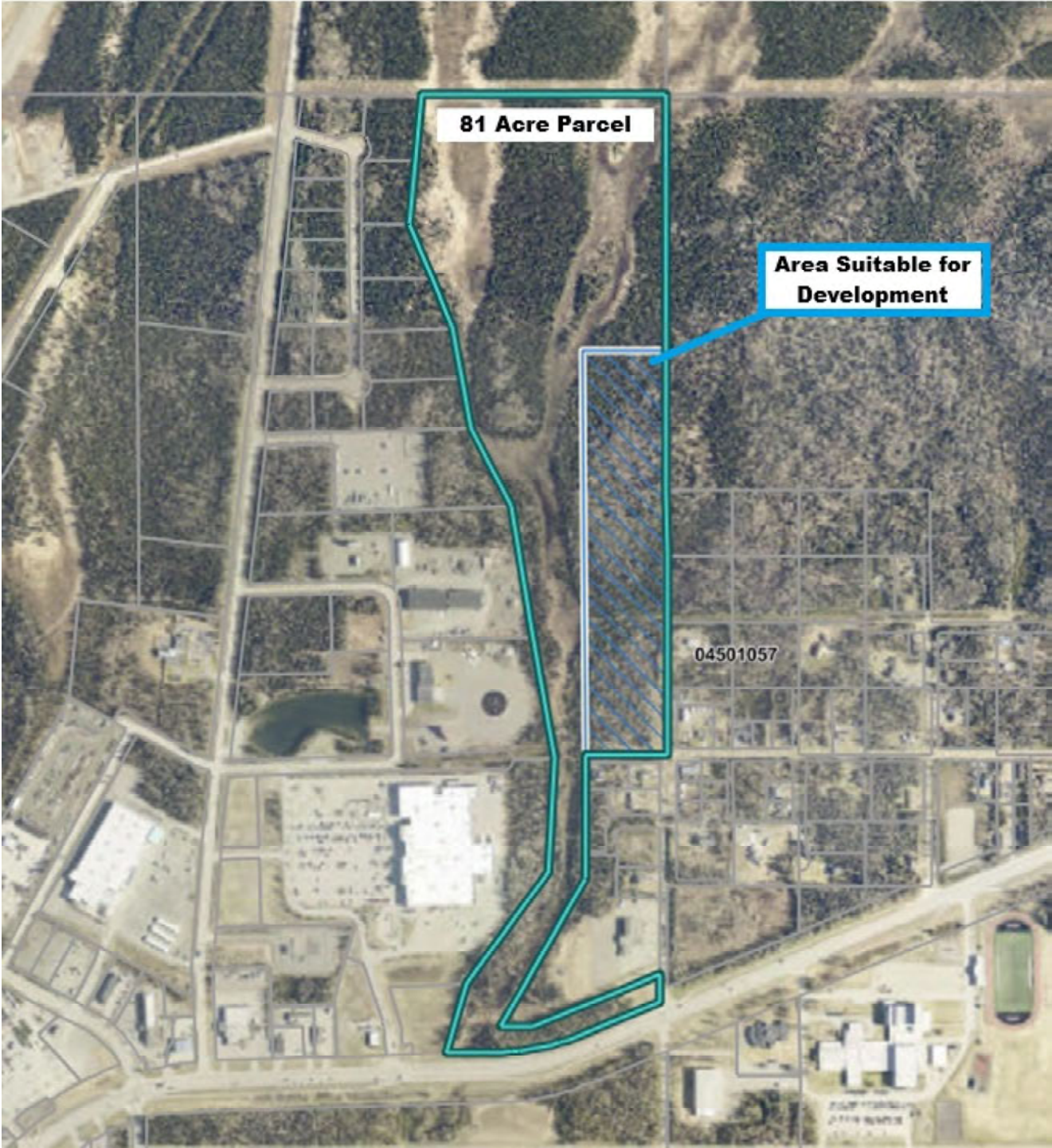
FAA Deed of Release

P&Z Resolution PZ2026-03

Staff Report PZ2026-03



Location Map



**DOCUMENT
ELECTRONICALLY
RECORDED**

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2025-006725-0

Recording Dist: 302 - Kenai
9/15/2025 01:34 PM Pages: 1 of 4

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DEED OF RELEASE

This instrument, a Deed of Release, made by the United States of America, acting by and through the Chief, Airports Division, Alaskan Region, Federal Aviation Administration, under and pursuant to the powers and authority contained in the provisions of Public Law 81-311 (63 Stat. 700), as amended, to the City of Kenai, a body politic under the laws of the State of Alaska, Witnesseth:

WHEREAS, The United States of America, acting by and through the Administrator of General Services under and pursuant to the powers and authority contained in the provisions of the Federal Property and Administrative Services Act of 1949 (83 Stat. 377) and the Surplus Property Act of 1944 (58 Stat. 765), as amended, and regulations and orders promulgated thereunder, by instrument entitled "Quitclaim Deed" and dated December 1, 1963, did remise, release, and forever quitclaim to the City of Kenai, its successors and assigns, all rights, title and interests of the United States in and to certain real property located near Kenai, Alaska, under and subject to the reservations, exceptions, restrictions, and conditions contained in the Deed; and * Book 27 Pages 303-312 Kenai Recording District.

WHEREAS, the City of Kenai has requested the Administrator of the Federal Aviation Administration to release an area of land hereinafter described from all conditions, reservations, and restrictions contained in said "Quitclaim Deed" to permit sale or long-term lease of the property for non-airport use, and has by appropriate resolution No. 70-5 dated March 18, 1970, obligated itself to devote the revenues received from the lease or sale of the hereinafter described property exclusively for the development, improvement, operation, or maintenance of the Kenai Municipal Airport; and

WHEREAS, The Administrator or authorized delegate of the Federal Aviation Administration, under and pursuant to the powers and authority contained in Public Law 81-311 (63 Stat. 700) is authorized to grant a release from any of the terms, conditions, reservations, and restrictions contained in, and to convey, quitclaim, or release any right or interest reserved to the United States by, any instrument of disposal under which surplus airport property was conveyed to a non-Federal public agency pursuant to Section 13 of the Surplus Property Act of 1944 (58 Stat. 765); and

WHEREAS, the Administrator of the Federal Aviation

Administration has determined that said land no longer serves the purpose for which it was transferred; and, that such property can be used, leased, sold, or disposed of by the City of Kenai for other than airport purposes without materially and adversely affecting the development, improvement, operation, or maintenance of the Kenai Municipal Airport; and

WHEREAS, the City of Kenai covenants and agrees as follows:

- (1) To use the revenues received from the sale or lease of the hereinafter-described property, exclusively for the development, improvement, operation of the Kenai Municipal Airport.
- (2) To restrict the height of structures, objects of natural growth and other obstacles on the hereinafter-described real property to a height of not more than 242 feet above mean sea level;
- (3) To prevent any use of the real property hereinafter described which would interfere with the landing or taking off aircraft at the Kenai Municipal Airport or otherwise constitute an airport hazard.

NOW, THEREFORE, for and in consideration of the above-expressed recitals and of the benefits to accrue to the United States and to civil aviation, the United States of America, upon inclusion by the City of Kenai in a Lease or Instrument of Transfer conveying title to the hereinafter described real property of provisions as follows:

- (1) That the City of Kenai reserves unto itself, successors, transferees, and assigns, for the use and benefit of the public a right of flight for the passage of aircraft in the space above the surface of the real property hereinafter described, together with the right to cause in said air space such noise as may be inherent in the operation of aircraft, now known or hereafter used, for navigation of or flight in the said airspace, and for use of said airspace for landing on taking off from or operating on Kenai Municipal Airport,
- (2) That the Grantee expressly agrees for itself, heirs, executors, administrators, successors, transferees, and assigns to restrict the height of structures, objects of natural growth and other obstructions on the hereinafter described real property to a height of not more than 242 feet above mean sea level.
- (3) That the Grantee expressly agrees for itself, heirs, executors, administrators, transferees, and assigns to prevent any use of the herein- after described real property which would interfere with landing or taking off of aircraft at the Kenai Municipal Airport or otherwise constitute an airport hazard.



(4) All covenants heretofore stated shall run with the land and shall inure to the benefit of, and be binding upon the heirs, executors, administrators, successors, transferees, and assigns of the parties hereto.

Hereby releases the said real property from the conditions, reservations, and restrictions as contained in the above-mentioned Instrument of Transfer from the United States of America to the City of Kenai dated December 1, 1963, which real property is described as follows:

T6N R11W Section 33 Seward Meridian KN W1/2 lying N of Kenai Spur Highway & East of Marathon Road excluding all Baron Park Subs & Kenai Industrial Park Sub.

By its acceptance of this Deed of Release the City of Kenai covenants and agrees for itself, successors, transferees, and assigns, to comply with and observe all of the conditions and limitations hereof, which are expressly limited to the above- described real property.

IN WITNESS WHEREOF, the United States of America has caused this Deed of Release to be executed as of the 10th day of September 2025.


UNITED STATES OF AMERICA

By 

Laurie Suttmeier
Division Manager, Airports Division
Alaskan Region

Accepted:

CITY OF KENAI

By 
Terry Eubank
City Manager



ALASKA NOTARY ACKNOWLEDGEMENT

State of Alaska

3rd Judicial District of the Municipality of Anchorage

On this 10th day of September in the year 2025, before me, the undersigned notary public, personally appeared: Laurie J. Suttmeier known to me to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same for the purposes therein contained.



(Seal)

Dana Stephenson

Dana Stephenson, Notary Public

200601001

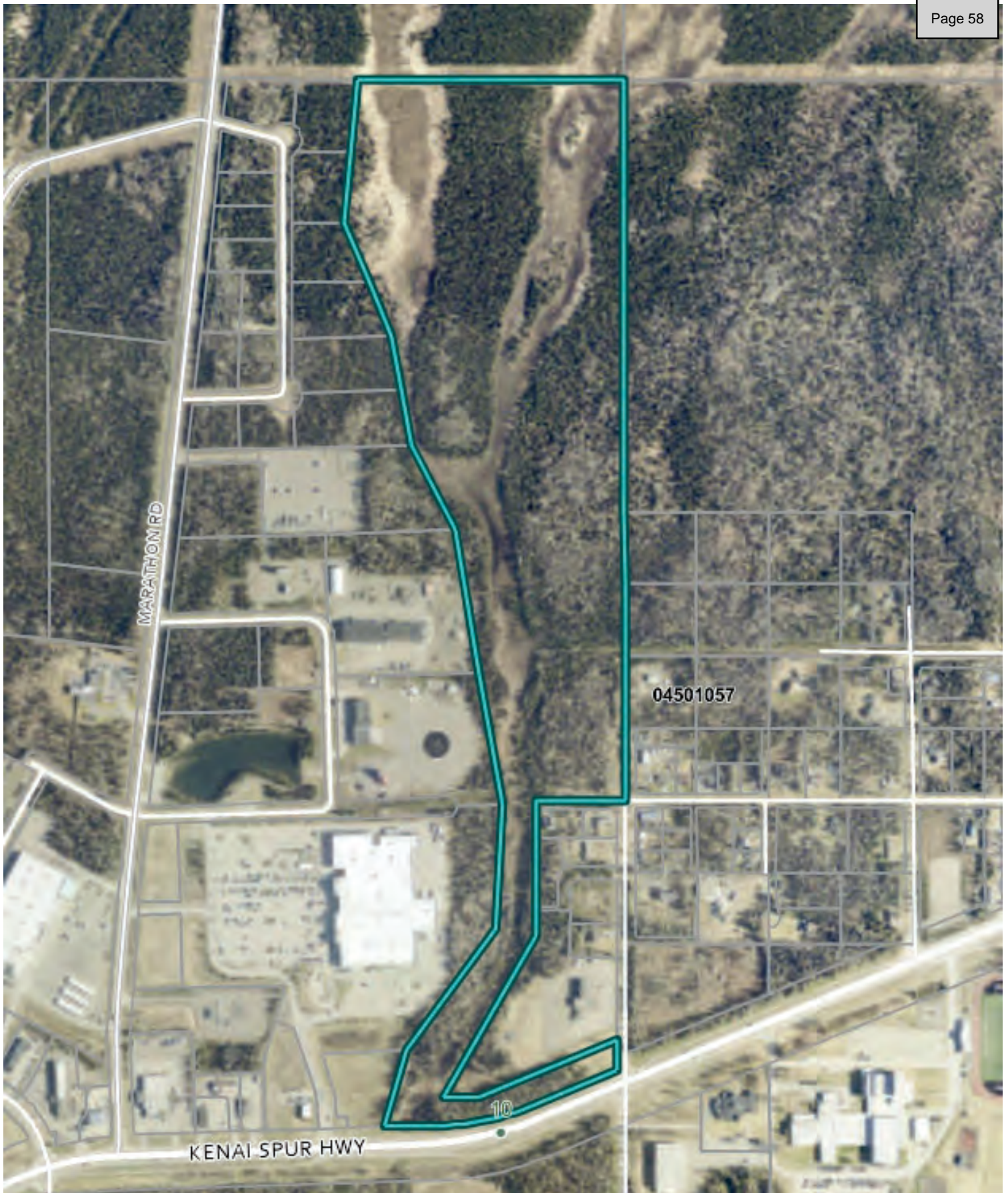
Commission Number

My Commission Expires: with office

Return to:

City of Kenai
210 Fidalgo Ave.
Kenai, AK 99611







**CITY OF KENAI
PLANNING AND ZONING COMMISSION
RESOLUTION PZ2026-03**

A RESOLUTION **RECOMMENDING** THE KENAI CITY COUNCIL APPROVE THE REZONE FROM CONSERVATION (C) TO RURAL RESIDENTIAL 1 (RR-1) ZONING DISTRICT FOR THE FOLLOWING PROPERTIES AND AS DEPICTED ON THE ATTACHED BOUNDARY MAP.

<u>Parcel No.</u>	<u>Address</u>	<u>Lot Size</u>	<u>Legal Description</u>
04501057	10060 Kenai Spur Hwy.	81.0 acres	T 6N R 11W SEC 33 SEWARD MERIDIAN KN W1/2 LYING N OF KENAI SPUR HWY & E OF MARATHON RD EXCL ALL BARON PARK SUBS & KENAI INDUSTRIAL PARK SUB

WHEREAS, the property located at 10060 Kenai Spur Highway and known as Kenai Peninsula Borough Parcel number 04501057, as described above, is currently zoned as Conservation (C); and,

WHEREAS, Kenai Municipal Code (KMC) 14.20.070 intends the Conservation Zone to apply to areas which should be preserved primarily as open areas and as watersheds and wildlife reserves. Airport and related uses have been included in this zone to allow for the reservation of aircraft approach zones; and,

WHEREAS, the City of Kenai applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on an 81-acre parcel located east of the airport; and,

WHEREAS, the Deed of Release was approved by the FAA removing the aforementioned restrictions and was recorded on September 15, 2025; and,

WHEREAS, the City recognizes that upland portions of the larger parcel may be desirable for new residential development near existing subdivisions; and,

WHEREAS, the City of Kenai is initiating an amendment to the Kenai Official Zoning Map through the Kenai Planning & Zoning Commission in accordance with KMC Section 14.20.270(b)(1)(B) - *Amendment procedures*; and,

WHEREAS, the area proposed to be rezoned contains a minimum of one (1) acre (excluding street or alley rights-of-way); and,

WHEREAS, the proposed amendment to the zoning ordinance is not substantially the same as

Resolution No. PZ2026-03

Page 2 of 3

any other unapproved proposed amendment submitted within the previous nine (9) months; and,

WHEREAS, a map has been included of the proposed rezone area; and,

WHEREAS, the City of Kenai Planning and Zoning Department conducted a duly advertised public hearing, following requirements outlined in Kenai Municipal Code 14.20.280 for public hearings and notifications.

WHEREAS, the Planning and Zoning Commission finds:

1. The current zoning district, Conservation (C) is intended to apply to areas which should be preserved primarily as open areas and as watersheds and wildlife reserves. Airport and related uses have been included in this zone to allow for the reservation of aircraft approach zones. The existing Conservation zone is not the preferred land use for this area as there are no longer FAA restrictions on the property and upland portions of the parcel may be desirable for new residential development.
2. The rezone to Rural Residential 1 Zone would allow for low-density residential development adjacent to existing residential neighborhoods within walking, biking, or short driving distance to commercial services. City utilities are located at the southeast corner of the parcel.
3. The existing land use classification states that the area is to be Parks, Recreation, and Open Space. A majority of the parcel will remain as open space, as it lies within a large drainage area and is not suited for development. Approximately 10-15 acres of the parcel, mostly on the eastern edge has upland portions that would be suitable for residential development, but the 81-acre parcel would require subdivision prior to development.
4. The proposed rezone to RR-1 would align with the current low density residential character of the adjoining neighborhood.

NOW, THEREFORE, BE IT RECOMMENDED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KENAI, ALASKA:

Section 1. That Kenai City Council approve the rezone request for the property located at 10060 Kenai Spur Highway from Conservation (C) to Rural Residential 1 (RR-1) zoning district.

Section 2. That the Commission will forward its written recommendation to the Kenai City Council, along with all certified minutes and public records relating to the proposed amendment.

PASSED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF KENAI, ALASKA,
THIS 25TH DAY OF FEBRUARY, 2026.


Jeanne Keaton, Chair

Resolution No. PZ2026-03

Page 3 of 3

ATTEST:



Logan Parks, Deputy City Clerk



STAFF REPORT

PLANNING & ZONING DEPARTMENT

TO: Planning and Zoning Commission
FROM: Kevin Buettner, Planning Director
DATE: February 17, 2026
SUBJECT: Resolution PZ2026-03 – Rezone One 81-Acre Parcel from Conservation to Suburban Residential (RS) Zoning District

Request The applicant is requesting a rezone of one (1) parcel from Conservation to the Suburban Residential (RS) Zoning District.

Staff Recommendation Adopt Resolution PZ2026-03 recommending approval of a rezone of one (1) parcel from Conservation to the Suburban Residential (RS) Zoning District.

Applicants: City of Kenai
 Attn: Planning & Zoning Department/Lands Administration
 210 Fidalgo Ave.
 Kenai, AK 99611

<u>Parcel No.</u>	<u>Address</u>	<u>Lot Size</u>
04501057	10060 Kenai Spur Hwy.	81 acres

Legal Description: T 6N R 11W SEC 33 SEWARD MERIDIAN KN W1/2 LYING N OF KENAI SPUR HWY & E OF MARATHON RD EXCL ALL BARON PARK SUBS & KENAI INDUSTRIAL PARK SUB

Current Zoning: Conservation (C)

Proposed Zoning: Suburban Residential (RS)

Current Land Use Vacant Land

Land Management Plan: Mixed – Dispose / Retain

Land Use Plan Parks, Recreation, & Open Space

SUMMARY

The City of Kenai is seeking to rezone one 81-acre parcel located at 10060 Kenai Spur Highway from Conservation to the Suburban Residential (RS) zoning district. The purpose of the rezone is to allow for low- to medium-density residential development adjacent to existing residential neighborhoods within walking, biking, or short driving distance to commercial services.

ANALYSIS

Pursuant to KMC Section 14.20.270, the initiation of a Zoning Map Amendment may be initiated by the Kenai Planning & Zoning Commission. This parcel is wholly owned by the City of Kenai. The area to be rezoned contains far above the minimum of one (1) acre (excluding street or alley rights-of-way) unless the amendment enlarges an adjacent district boundary.

Existing and Proposed Zoning

The existing zoning is Conservation (C) and the intent as outlined in KMC Section 14.20.070 states the following:

The C-Zone is intended to apply to areas which should be preserved primarily as open areas and as watersheds and wildlife reserves. Airport and related uses have been included in this zone to allow for the reservation of aircraft approach zones. It is intended that this zone shall apply mainly to publicly owned land.

Findings: In August 2025, the applied to the Federal Aviation Administration (FAA) Alaska Region for a deed of release to remove FAA restrictions on an 81-acre parcel located east of the airport. On September 15, 2025, the Deed of Release was approved by the FAA and recorded with the State of Alaska. This deed of release removed a number of restrictions and allows this land to be leased for other than aeronautical uses, and also may be sold for fair market prices, if authorized by the City. Furthermore, the proposed rezone area contains a large drainage area throughout most of the western sections of the parcel. Upland portions along the eastern side of the parcel are adjacent to existing residential neighborhoods. Approximately 10-15 acres of these uplands are suitable for residential development. Conservation only allows for residential development with a Conditional Use Permit.

The proposed zoning is Suburban Residential and the intent as outlined in KMC Section 14.20.090 states the following:

The RS Zone is intended to provide for medium density residential development in areas which will be provided with common utility systems. The specific intent in establishing this zone is:

- (1) *To separate residential structures to an extent which will allow for adequate light, air, and privacy;*
- (2) *To prohibit uses which would:*
 - (A) *Violate the residential character of the environment;*
 - (B) *Generate heavy traffic in predominantly residential areas.*

Findings: The rezone to RS zone would align with the adjacent residential zoning districts. As mentioned above, approximately 10-15 acres of upland portions of the parcel would be suitable for residential development. Suburban Residential is appropriate in areas where there are common utility systems, in this case City utilities are available at the corner of Princess

Lane and Magic Avenue. This is on the southeastern corner of one of the upland portions.

Comprehensive Plan – Land Use Classification

The existing land use classification is be Parks, Recreation, and Open Space and the intent as outlined in the *Imagine Kenai 2030 Comprehensive Plan* (“Comprehensive Plan”) states the following:

Intended for those public recreation facilities, as well as undeveloped lands that provide for the conservation of natural or scenic resources. These areas can be used for a variety of passive and active outdoor and indoor sports and recreational activities. Areas that may be suitable for future natural resource development may be included in this category.

Findings: The existing land use classification states that the area is to be Parks, Recreation, and Open Space. A majority of the parcel will remain as open space, as it lies within a large lowland drainage area and is not suited for development. Approximately 10-15 acres of the parcel, mostly on the eastern edge has upland portions that would be suitable for residential development, but the 81-acre parcel would require subdivision prior to development.

An amendment to the land use map in the Comprehensive Plan is not currently required, as residential uses are allowable in Conservation zone, albeit as conditional uses. The City anticipates updating the Comprehensive Plan within a couple years, and a new Land Use Plan may be developed as a part of this process.

The Comprehensive Plan supports this rezoning in the following identified goal:

Goal 3 – Land Use: Develop land use strategies to implement a forward-looking approach to community growth and development.

- *LU-3: Review existing zoning and subdivision codes to determine if they address current and future land uses adequately.*

Findings: The proposed rezone to RS would align largely with the intent of keeping a majority of the lowland drainage areas protected, as the parcel would be subdivided and with the City of Kenai retaining ownership. This would also align with supporting Workforce Development by allowing for new low to medium density residential development in appropriate areas served by City utilities.

Existing Use

In the proposed rezone area, the land is vacant.

Findings: The proposed rezone to RS zone would allow for upland portions of the parcel, largely on the eastern side, would allow for low- to medium density residential development adjoining and existing residential neighborhood, which has been identified as a crucial need for the City.

PUBLIC NOTICE

Pursuant to Kenai Municipal Code 14.20.280 notices of the public hearing for the rezone were mailed to property owners within a three hundred-foot (300') periphery of the subject properties. City staff published notice of the public hearing in the *Peninsula Clarion*, and notification was posted.

No public comments have been received as-of-date.

STAFF RECOMMENDATION

Based on the findings and analysis in this staff report, Staff recommends the Planning & Zoning Commission recommend approval of the rezone request for the property located at 10060 Kenai Spur Highway from Conservation (C) to Suburban Residential (RS) zoning district. Planning & Zoning Commission's recommendation will be forwarded to City Council for consideration.

ATTACHMENTS

Zoning Map – Existing and Proposed
Application
Aerial Map
Deed of Release



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: Kevin Buettner, Planning Director

DATE: April 30, 2026

SUBJECT: **Ordinance 3510-2026 Requested Amendment**

This memo requests an amendment to Ordinance 3510-2026 Substitute which will amend the official zoning map by rezoning a portion of the property at 10060 Kenai Spur Highway from Conservation to Suburban Residential Zoning District.

At the regularly scheduled Planning & Zoning Commission meeting of April 29, 2026, the Commission voted to recommend that City Council enact Ordinance 3510-2026 Substitute with an amendment.

The following amendment is respectfully requested.

Motion

Amend the thirteenth WHEREAS by filling in the blank with “that the City Council rezone the portion of the property at 10060 Kenai Spur Highway from Conservation to Rural Residential”.

The amended WHEREAS, after amendment will read:

WHEREAS, at their regularly scheduled meeting held on April 29, 2026, the Planning & Zoning Commission recommended that the City Council rezone the portion of the property at 10060 Kenai Spur Highway from Conservation to Rural Residential.

Thank you for your consideration.

PAYMENTS OVER \$35,000.00 WHICH NEED COUNCIL RATIFICATION
COUNCIL MEETING OF: MAY 6, 2026

VENDOR	DESCRIPTION	DEPARTMENT	ACCOUNT	AMOUNT
PERS	PERS	VARIOUS	LIABILITY	113,656.80
PREMERA	APRIL PREMIUM	VARIOUS	INSURANCE	234,575.95
ENSTAR	GAS USAGE	VARIOUS	UTILITIES	50,622.36



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

THROUGH: Kevin Buettner, Planning Director

FROM: Brandon McElrea, Land Management Analyst

DATE: April 17, 2026

SUBJECT: **Action/Approval - Consent to Assignment of Lease Agreement, of Lot 1, Block 5, General Aviation Apron No. 1 Amended**

Scott Bremer has submitted the application for an Assignment and Assumption of Lease Agreement from Scott Bremer, Assignor to Bremer Property Management, LLC, Assignee. The applicant notes that no new improvements or changes in the existing use under the lease are proposed. Any changes in use would require a lease amendment. A map of the parcel is attached to this memorandum.

The original Lease of Airport Lands was executed by the City of Kenai, Lessor, and Robert T. Bielefeld, Lessee, on July 01, 1974, for Lot 1, Block 5, General Aviation Apron Subdivision No. 1 Amended, according to Plat No. 2004-20 and recorded on December 02, 1974, in Book 81 at Page 349. The subject Lease was initially issued for flying service office with sales of related items, office and sales of oil field related products, and aircraft parking. The Lease was assigned to current Lessee Scott Bremer on March 7, 2024. The Lessee remains in compliance with the terms and conditions of the lease.

Covenant 4 of the Lease of Airport Lands stipulates that “LESSEE agrees to pay the annual rental and fees specified and not to assign this lease or any part, not let, nor sublet, either by grant or implication, the whole or any part of the premises without written consent of the CITY. Assignments shall be accomplished as follows:

- a. Submittal to, and approval of, proposed lease assignment by the Kenai Planning Commission.
- b. After approval by the Kenai Planning Commission, final approval of assignment by the City Council.”

The Planning and Zoning Commission recommended **APPROVAL** of the application for an Assignment and Assumption of Lease Agreement during their April 29, 2026 meeting.

If City Council approves the Consent to Assignment and Assumption of Lease Agreement, the City Manager will be authorized to sign the Consent to Assignment and the Assignment of Lease may be executed by the parties.

Thank you for your consideration.

Attachments

Application for Lease Assignment

Aerial Map

Draft Consent to Assignment and Assignment and Assumption of Lease Agreement





City of Kenai Land Lease Application

Application for: New Lease
 Amendment Extension
 Assignment Renewal

Application Date: _____

Applicant Information

Name of Applicant:		Bremer Property Management LLC					
Mailing Address:	PO Box 2491	City:	Kenai	State:	AK	Zip Code:	99611
Phone Number(s):	[REDACTED]		Work/ Message Phone:	907-283-1441			
E-mail: (Optional)							
Name to Appear on Lease:	Same						
Mailing Address:		City:		State:		Zip Code:	
Phone Number(s):	Home Phone:	Work/ Message Phone:					
E-mail: (Optional)							
Type of Applicant:	<input type="checkbox"/> Individual (at least 18 years of age) <input type="checkbox"/> Partnership <input type="checkbox"/> Corporation <input type="checkbox"/> Government <input checked="" type="checkbox"/> Limited Liability Company (LLC) <input type="checkbox"/> Other _____						

Property Information and Term Requested

Legal description of property (or, if subdivision is required, a brief description of property): Lot One (1), Block Five (5), GENERAL AVIATION APRON SUBDIVISION NO. 1 AMENDED, according to Plat No. 2004-20, Kenai Recording District, Third Judicial District, State of Alaska	
Does the property require subdivision? (if Yes, answer next questions) Subdivision costs are the responsibility of the applicant unless the City Council determines a subdivision serves other City purposes:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO Initials _____
1. Do you believe the proposed subdivision would serve other City purposes?	<input type="checkbox"/> YES <input type="checkbox"/> NO Initials _____
2. If determined it does not, applicant is responsible for all subdivision costs.	Initials _____
If an appraisal is required to determine the minimum price on the land, applicant is responsible for the deposit to cover costs associated with appraisal. If a sale is approved, the cost of the appraisal will be either refunded or credited to the applicant.	Initials <u>SA</u>
It is the responsibility of the applicant to cover recording costs associated with lease.	Initials <u>SA</u>
Do you have or have you ever had a Lease with the City? (if Yes, answer next question)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
1. Legal or brief description of property leased:	
Same	
Request a Lease with an Option to Purchase once development requirements are met?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Requested term for Initial Lease or Renewal (based on Term Table, not to exceed 45 years): 45	
Requested term for Lease Extension (based on Term Table, not to exceed a total of 45 Years): 45	
Requested Starting Date: May 1 2026	

Proposed Use and Improvements

Proposed Use (check one): Aeronautical | Non-Aeronautical

Do you plan to construct new or additional improvements? (if Yes, answer next five questions) YES NO

1. Will the improvement change or alter the use under an existing lease? YES NO

2. What is the proposed use of the improvement?

3. What is the estimated value of the improvement?

4. What is the nature and type of improvement?

5. What are the dates construction is estimated to commence and be completed?

(generally, construction must be completed within two years)

Estimated Start Date:

Estimated Completion Date:

Describe the proposed business or activity intended:

Aircraft activities

How does the proposed lease support a thriving business, residential, recreational, or cultural community?

Enable use for aircraft activities

Lease Assignment Only: What is the name of the individual or legal entity the lease is to be assigned?

Bremer Property Management

Lease Renewal Only

Renewal of an Existing Lease (at least one year of term remaining): Requires new development.

Lease Term based on: Estimated cost of new improvements and Purchase Price (optional)

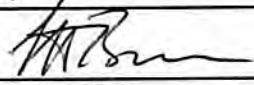
Renewal of an Expiring Lease (less than one year of term remaining): Does not require new development.

Lease Term based on: Purchase Price Professional Estimate of Remaining Useful Life

Fair Market Value appraisal and/or Estimated cost of new improvements (optional)

Requested Term for Renewal Based on Term Table, not to exceed 45 Years:

Submitting an application for a lease does not give the applicant a right to lease or use the land requested in the application. The application shall expire twelve (12) months after the date the application has been made if the City and the applicant have not, by that time, entered into a lease, unless the City Council for good cause grants an extension for a period not to exceed six (6) months. The City has no obligation to amend, renew or extend a lease and may decline to do so upon making specific findings as to why a lease renewal, extension, or amendment is not in the best interest of the City

Signature:		Date:	4/17/2026
Print Name:	Scott Bremer	Title:	Member

For City Use Only:	Date Application Fee Received:	_____
<input type="checkbox"/> General Fund <input type="checkbox"/> Airport Reserve Land	Date Application Determined Complete:	_____
<input type="checkbox"/> Airport Fund <input type="checkbox"/> Outside Airport Reserve	30-Day Notice Publication Date:	_____
Account Number:	City Council Action/Resolution:	_____



MAIN STREET LOOP RD

NW WILLOW ST

SW WILLOW ST

**CITY OF KENAI
CONSENT TO ASSIGNMENT**

The Assignment of that certain Lease of Airport Land entered into on July 1, 1974, and recorded in Book 81 at Page 349, on December 2, 1974 with City of Kenai as Lessor; and Scott Bremer (hereinafter called "Assignor"), whose address is P.O. Box 2491, Kenai, Alaska 99611 as Lessee by Assignment Recorded April 16, 2024 at Serial No. 2024-002498-0, in the Kenai Recording District to Bremer Property Management, LLC (hereinafter called "Assignee"), whose address is P.O. Box 2491, Kenai, Alaska 99611, covering the following-described property:

Lot One (1), Block Five (5), GENERAL AVIATION APRON SUBDIVISION
NO. 1 AMENDED, according to Plat No. 2004-20, Kenai Recording District,
Third Judicial District, State of Alaska.

is hereby ACKNOWLEDGED AND CONSENTED TO, subject to the same terms and conditions as contained in the above-described original Lease of Airport Lands, and any and all amendments thereto.

This Consent is given by the City of Kenai without waiving any right or action, or releasing the Assignor from any liability or responsibility under the aforementioned Lease, and does not relieve the Assignee from the condition requiring the City's approval for any subsequent sublease or assignment.

Dated this ____ day of _____, 2026.

Terry Eubank, City Manager

STATE OF ALASKA)
) ss
THIRD JUDICIAL DISTRICT)

THIS IS TO CERTIFY that on this _____ day of _____, 2026, Terry Eubank, City Manager of the City of Kenai, Alaska, being personally known to me or having produced satisfactory evidence of identification, appeared before me and acknowledged the voluntary and authorized execution of the foregoing instrument on behalf of said City.

Notary Public for Alaska
My Commission Expires: _____

Approved as to form:

Scott Bloom, City Attorney



MEMORANDUM

TO: Mayor Gabriel and Council Members

THROUGH: Terry Eubank, City Manager

THROUGH: Kevin Buettner, Planning Director

FROM: Brandon McElrea, Land Management Analyst

DATE: April 15, 2026

SUBJECT: **Action/Approval - Special Use Permit to Weaver Brothers, Inc. for Truck Trailer Storage**

James Doyle, individually, d/b/a Weaver Brothers, Inc., has requested to continue the use of several City owned parcels, or portions thereof, for truck trailer storage under a Special Use Permit (SUP). Weaver Brothers, Inc. has a SUP for truck trailer storage set to expire on June 20, 2026. Weaver Brothers, Inc. has been storing truck trailers at 400 Coral Street and 700 First Avenue under an SUP since June 2020 and at 410 and 420 Coral Street under an SUP since 2023 (Exhibit A).

The Coral Street Airport Zone of the City was most recently appraised at a rate of \$0.50 per square foot. The total square footage of the combined area is approximately 95,432 square feet (2.20 acres). The annual permit fee will be \$4,374.68 and includes the Consumer Price Index (CPI) adjustments to date. The indicated lot area is based on the recorded plats with the exception of the portions, which used the calculated areas in the survey dated 8/17/2020 (Exhibit B).

Below is a breakdown of the subject parcels calculations:

Address	Legal Description	Parcel ID	Acres	Square Footage (SF)
400 Coral Street	Portion of Tract C-1, Gusty Sub No. 7	4327034	0.09	3,754
410 Coral Street	Tract A of Gusty Sub No. 3	4327021	1.38	60,113
420 Coral Street	Tract B of Gusty Sub No. 6 Amended	4327035	0.37	15,924
700 First venue	Portion of Lot 4, Block 2 Gusty Sub Addition No. 1 Amended	4327036	0.36	15,641
		Total	2.20	95,432

$$\begin{aligned}
 \text{Permit Fee} &= (8\% \text{ of Market Rate}) (\text{Appraised Rate}) (\text{SF}) (\text{CPI}) \\
 &= (8\%) (\$0.50) (95,432 \text{ SF}) (2022-2025 \text{ CPI } 8.11\%, 1.54\%, 2.24\%, 2.11\%) \\
 &= \mathbf{\$4,374.68}
 \end{aligned}$$

The SUP is requested for one-year from June 21, 2026 to June 20, 2027. Weaver Brothers, Inc. is in compliance with the current SUP. The proposed SUP meets the intent of Chapter 21.10 *Leasing and Acquisition of Airport Reserve Lands*, Section .025 *Special Use Permits* in parking and temporary cargo staging and handling. There are no permanent improvements on the premises. For the proposed use of truck trailer storage, an SUP is appropriate.

The parcels and portions of parcels are within the Airport Light Industrial (ALI) Zone, Airport Reserve, and Runway Protection Zone (RPZ). Pursuant to the requirements of the Federal Aviation Administration, the City would reserve the right to cancel this SUP on 90 days notice.

If the City Council approves the Special Use Permit, the City Manager will be authorized to execute the Special Use Permit Agreement for truck trailer storage for 12 months to Weaver Brothers, Inc.

Thank you for your consideration.

Attachments

Special Use Permit Agreement

Exhibit A – Map of Subject Parcels

Exhibit B – Map of Portions of Parcels



SPECIAL USE PERMIT

The **CITY OF KENAI** (City), for the consideration, and pursuant to the conditions set out below, hereby grants to **KEVIN DOYLE, INDIVIDUALLY, D/B/A WEAVER BROTHERS, INC.** (Permittee), whose address is P.O. Box 2229, Kenai Alaska 99611, the non-exclusive right to use 2.20 acres (95,432 square feet) of area as described below (Exhibits A & B):

Tract A of Gusty Subdivision No. 3 (410 Coral Street; Parcel ID: 04327021); and,

Tract B of Gusty Subdivision No. 6 Amended (420 Coral Street; Parcel ID: 04327035);
and

Approximately 3,754 square foot portion of Tract C-1 of Gusty Subdivision No. 7 (400 Coral Street; Parcel ID: 04327034); and,

Approximately 15,641 square foot portion of an unsubdivided remainder portion of Sections 5-6 of Township 5 North, Range 11 West, Seward Meridian, (700 First Avenue; Parcel ID: 04327036).

1. **TERM.** This special use permit shall be for 12 months from June 21, 2026 to June 20, 2027.
2. **CANCELLATION.** Pursuant to requirements of the Federal Aviation Administration, the City reserves the right to cancel this special use permit on 90-days' notice, either delivered in person to the Permittee or by mail. Any or all personal property shall be removed at Permittee's expense upon cancellation or termination of this agreement.
3. **PERMIT FEES.** The Permittee shall be charged an annual permit fee of \$4,374.68 plus applicable sales tax.

The permit fees must be paid prior to the use of the subject parcels.

Checks, bank drafts, or postal money orders shall be made payable to the City of Kenai and delivered to the City Hall, 210 Fidalgo Avenue, Kenai, Alaska 99611.

In addition to the permit fee specified above, the Permittee agrees to pay to the appropriate parties all levies, assessments, and charges as hereinafter provided:

- A. Sales tax not enforced, or levied in the future, computed upon the permit fee payable in monthly installments whether said fee is paid on a monthly or yearly basis;
- B. All necessary licenses and permits; all lawful taxes and assessments which, during the term hereof may become a lien upon or which may be levied by the State, Borough, City, or by any other tax levying body, upon any taxable possessory right which Permittee may have in or to the Premises by reason of its use or occupancy or by reason of the terms of this Permit, provided however, that nothing herein contained shall prevent Permittee from contesting any increase in such tax or assessment through procedures provided by law.

- C. Interest at the rate of eight percent (8%) per annum and penalties of ten percent (10%) of any amount of money owed under this Special Use Permit which are not paid on or before the due date.
 - D. Costs and expenses incident to this Special Use Permit, including but not limited to recording costs.
4. **USE.** The use by the Permittee of the Premises is limited to the purpose of Truck Trailer Storage. This use is subject to City, Borough, and State laws and regulations and the reasonable administrative actions of the City for the protection and maintenance of the Premises and of adjacent and contiguous lands or facilities. Use of the Premises is subject to the following conditions:
- A. Permittee shall use the Premises only for truck trailer storage.
 - B. Trailers must be stored in a manner that will not limit sight lines or create other unsafe driving conditions on adjacent right-of-ways.
 - C. The premises shall be returned to its current condition prior to the end of the term of this Special Use Permit. This shall include the removal of any trash or debris.
 - D. Trailers must be stored in a manner that will not impact any City snow clearing or moving activities.
 - E. Trailers shall be stored such that there will not be oil or other hazardous fluids leaking onto the premises.
 - F. Trailers shall be stored such that there will not be grass or vegetation growing between trailers.
 - G. The Permittee shall follow requirements of the City Fire Marshal and allow City staff to inspect the premises if requested.
 - H. The premises shall not be used to store junked vehicles or other salvaged vehicle or trailer parts.
5. **INSURANCE.** Permittee shall secure and keep in force adequate insurance, as stated below, to protect City and Permittee. Where specific limits are stated, the limits are the minimum acceptable limits. If Permittee's insurance policy contains higher limits, the City is entitled to coverage to the extent of the higher limits.
- A. Garage Liability or Commercial General Liability Insurance, including Premises, all operations, property damage, personal injury and death, broad-form contractual, with a per-occurrence limit of not less than \$1,000,000 combined single limit. The policy must name the City as an additional insured.
 - B. Worker's Compensation Insurance with coverage for all employees engaged in work under this Permit or at the Premises as required by AS 23.30.045. Permittee

is further responsible to provide Worker's Compensation Insurance for any subcontractor who directly or indirectly provides services to Permittee under this Permit.

- C. Commercial Automobile Coverage with not less than \$1,000,000 combined single limit per occurrence. This insurance must cover all owned, hired, and non-owned motor vehicles the Permittee uses for snow moving and storage activities to, from, or on the Premises. The policy must name the City as an additional insured.
- D. All insurance required must meet the following additional requirements:
- i. All policies will be by a company/corporation currently rated "A-" or better by A.M. Best.
 - ii. Permittee shall submit to the City proof of continuous insurance coverage in the form of insurance policies, certificates, endorsements, or a combination thereof, and signed by a person authorized by the insurer to bind coverage on its behalf.
 - iii. Permittee shall request a waiver of subrogation against City from Permittee's insurer and the waiver of subrogation, where possible, shall be provided at no cost to City.
 - iv. Provide the City with notification at least 30 days before any termination, cancellation, or material change in insurance coverage of any policy required hereunder.
 - v. Evidence of insurance coverage must be submitted within 30 days of the effective date of the Special Use Permit. The effective date of the insurance shall be no later than June 21, 2025.
 - vi. This insurance shall be primary and exclusive of any other insurance carried by the City of Kenai. This insurance shall be without limitation on the time within which the resulting loss, damage, or injury is actually sustained.

6. **INDEMNITY, DEFEND, AND HOLD HARMLESS AGREEMENT.** The Permittee shall fully indemnify, hold harmless, and defend the City of Kenai, its officers, agents, employees, and volunteers at its own expense from and against any and all actions, damages, costs, liability, claims, losses, judgments, penalties, including reasonable Attorney's fees of or for liability for any wrongful or negligent acts, errors, or omissions of the Permittee, its officers, agents or employees, or any subcontractor under this Permit. The Permittee shall not be required to defend or indemnify the City for any claims of or liability for any wrongful or negligent act, error, or omission solely due to the independent negligence of the City. If there is a claim of or liability for the joint negligence of the Permittee and the independent negligence of the City, the indemnification and hold harmless obligation shall be apportioned on a comparative fault basis. Apportionment shall be established upon final determination of the percentage of fault. If any such determination is by settlement, the percentage of fault attributed to each party for purposes

of this indemnification provision shall only be binding upon the parties included in the settlement agreement. "Permittee" and "City" as used in this article include the employees, agents, officers, directors, and other contractors who are directly responsible, respectively, for each party. The term "independent negligence of the City" is negligence other than in the City's selection, administration, monitoring, or controlling of the Permittee.

7. **PERMITTEE'S OBLIGATION TO PREVENT AND REMOVE LIENS.** Permittee will not permit any liens, including mechanic's, laborer's, construction, supplier's, mining, or any other liens obtainable or available under existing law, to stand against the Premises or improvements on the Premises for any labor or material furnished to Permittee or to any related entity or claimed entity. The Permittee shall have the right to provide a bond as contemplated by State of Alaska law and contest the validity or amount of any such lien or claimed lien. Upon the final determination of the lien or claim for lien, the Permittee will immediately pay any judgment rendered with all proper costs and charges and shall have such lien released or judgment satisfied at Permittee's own expense.
8. **PERSONALTY.** Permittee shall remove any and all personal property, including all vehicles, from the Premises at the termination of this Permit. Personal property placed or used upon the Premises and not removed upon termination of this Permit will be removed and/or impounded by the City. Property removed or impounded by the City may be redeemed by the owner thereof only upon the payment to the City of the costs of removal plus a storage fee of \$25 per day. The City of Kenai is not responsible for any damage to or theft of any personalty of Permittee or its customers.
9. **FORBEARANCE.** Failure to insist upon a strict compliance with the terms, conditions, and/or any requirement herein contained, or referred to, shall not constitute or be construed as a waiver or relinquishment of the right to exercise such terms, conditions, or requirements.
10. **TERMINATION, DEFAULT.** This Permit may be terminated by either party hereto by giving 30 days advance written notice to the other party. The City may terminate the Permit immediately, or upon notice shorter than 30 days, to protect public health and safety. The City may also terminate this Permit immediately, or upon notice shorter than 30 days, due to a failure of Permittee to comply with conditions and terms of this Permit, which failure remains uncured after notice by City to Permittee providing Permittee with a reasonable time period to correct the violation or breach.
11. **NO DISCRIMINATION.** Permittee will not discriminate on the grounds of race, color, religion, national origin, ancestry, age, or sex against any patron, employee, applicant for employment, or other person or group of persons in any manner prohibited by federal or State law. Permittee recognizes the right of the City to take any action necessary to enforce this requirement.
12. **ASSIGNMENT.** Permittee may not assign, by grant or implication, the whole any part of this Permit, the Premises, or any improvement on the Premises without the written consent of the City. Unless the City specifically releases the Permittee in writing, the City may hold the Permittee responsible for performing any obligation under this permit which an assignee fails to perform.

- 13. **ASSUMPTION OF RISK.** Permittee shall provide all proper safeguards and shall assume all risks incurred in its activities on the Premises and its exercise of the privileges granted in this Permit.
- 14. **NO JOINT VENTURE.** The City shall not be construed or held to be a partner or joint venturer of Permittee in the conduct of its business or activities on the Premises.
- 15. **SURVIVAL.** The obligations and duties of Permittee under paragraphs 5 and 6 of this Permit shall survive the cancellation, termination, or expiration of this Permit.
- 16. **AUTHORITY.** By signing this Permit, Permittee represents that is has read this agreements and consents to be bound by the terms and conditions herein and that the person signing this Permit is duly authorized by the business to bind the business hereunder.

WEAVER BROTHERS, INC.

CITY OF KENAI

By: _____

By: _____

Kevin Doyle
Manager

Date:

Terry Eubank
City Manager

Date:

By: _____

Kevin Doyle
Individually

Date:

ACKNOWLEDGMENTS

STATE OF ALASKA)
) ss
THIRD JUDICIAL DISTRICT)

THIS IS TO CERTIFY that on this ____ day of _____, 2026, the foregoing instrument was acknowledged before me by Terry Eubank, City Manager of the City of Kenai, Alaska, an Alaska home rule municipality, on behalf of the City.

Notary Public for Alaska
My Commission Expires: _____

STATE OF ALASKA)
) ss
THIRD JUDICIAL DISTRICT)

THIS IS TO CERTIFY that on this ____ day of _____, 2026, the foregoing instrument was acknowledged before me by Kevin Doyle, Manager of Weaver Brothers, Inc., an Alaska limited liability company, on behalf of the company.

Notary Public for Alaska
My Commission Expires: _____

STATE OF ALASKA)
) ss
THIRD JUDICIAL DISTRICT)

THIS IS TO CERTIFY that on this ____ day of _____, 2026, the foregoing instrument was acknowledged before me by Kevin Doyle.

Notary Public for Alaska
My Commission Expires: _____

ATTEST:

Michelle M. Saner, MMC, City Clerk

SEAL:

APPROVED AS TO FORM:

Scott M. Bloom, City Attorney



FIRST AVE

FLORE LANE RD

BIRCH ST

KENAL SPUR HWY

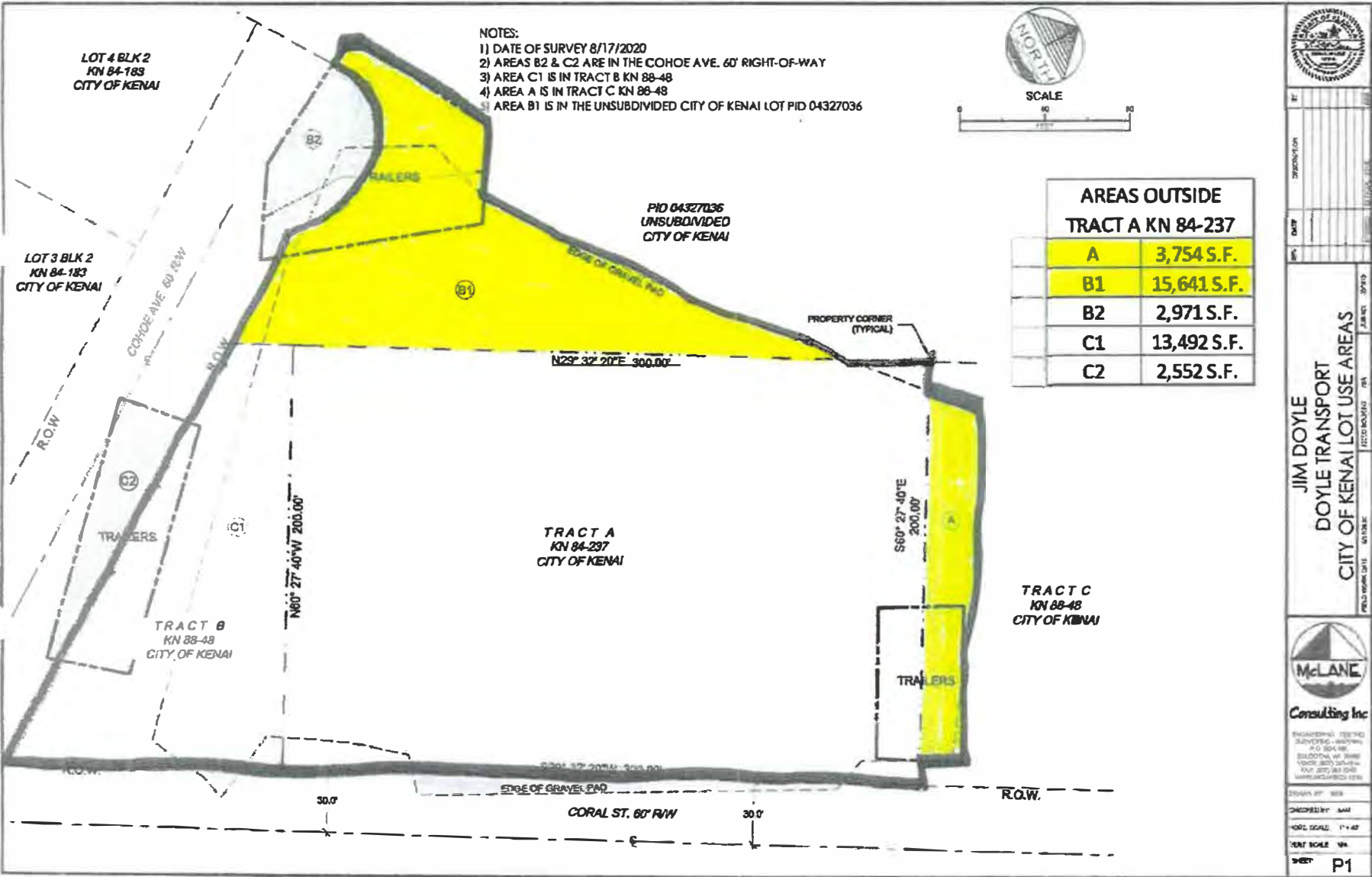
410 Coral St

420 Coral St

CORAL ST

AVE

EXHIBIT B





Sponsored by: City Clerk

**CITY OF KENAI
ORDINANCE NO. 3518-2026**

AN ORDINANCE AMENDING KENAI MUNICIPAL CODE TITLE 6 - ELECTIONS, CHAPTERS 6.05, 6.15 AND 6.40 RELATING TO ELECTION DATES, CANDIDATE FILING, COMPENSATION OF ELECTION OFFICIALS, AND CANVASSING OF ELECTIONS.

WHEREAS, the Kenai Municipal Charter (Charter) currently establishes the date of the City's regular election; and,

WHEREAS, the qualified voters of the City of Kenai during the April 14, 2026 Special Election approved amendments to the Charter, effectively moving the annual election date from the first Tuesday in October, to the first Tuesday following a Monday in November; and,

WHEREAS, amendments to Kenai Municipal Code 6.05.010 - Definitions, 6.05.030 - Election Times, and 6.15.020 - Nomination Petition and Sworn Statement of Candidacy, are necessary to align KMC with the newly adopted provisions of the Charter; and,

WHEREAS, including provisions that would allow election officials to be paid as they currently are on an hourly basis or by a flat contracted stipend would lessen the operational administrative requirements when onboarding election officials for Special Elections; and,

WHEREAS, amending current canvassing procedures from a one-day process to a seven-day process will allow sufficient time for canvassing the increased volume of absentee, questioned and special needs ballots that will be received with the alignment of the City elections with the State of Alaska elections.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. Amendment of Section 6.05.010 of Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.010 Elections, General Provisions, Definitions, Regular Election, is hereby amended as follows:

“Regular election” means the City election held annually on the first Tuesday [OF OCTOBER ANNUALLY AS PRESCRIBED BY KENAI CHARTER SECTION 10-1] following the first Monday in November.

Section 2. Amendment of Section 6.05.030 of Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.030 Elections, General Provisions, Election Times, is hereby amended as follows:

6.05.030 Election Times.

- (a) Regular Election. Annually, on the first Tuesday [OF OCTOBER] following the first Monday in November, a regular election shall be held in the City for the election of vacant City offices and for the determination of other propositions and matters as may be placed on the ballot as authorized by the City Charter, Section 10-1.
- (b) Special Election. The Council, by resolution or ordinance, may call a special election at any time at least seventy-five (75) days prior to the date of the election and may submit questions to the

qualified voters of the City as authorized by the City Charter, Section 10-8. Unless the Council has set a date for a required special election, the election supervisor shall call a special election when required by law or ordinance to place an initiative, referendum, recall, or other question before the voters.

- (c) Nothing in this chapter shall prohibit holding a City election on the same day and by the same election personnel as a State, Borough, or other public election, or submitting a City question at such an election, as authorized by the City Charter, Section 10-8.

Section 3. Amendment of Section of 6.05.060 Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.060 Elections, General Provisions, Election Expenses is hereby amended as follows:

6.05.060 Election Expenses.

- (a) The City shall pay all necessary expenses relating to the conduct of each City election. Necessary expenses shall include those associated with conducting the election. The Clerk shall retain a record for auditing and payment of election expenses.
- (b) The City [SHALL] must pay each election official and canvassing board member an hourly rate or a flat rate for services performed for time spent at his or her election duties, including the receiving of instructions. The election supervisor shall set the hourly or flat rate compensation to be paid for time spent by election officials.

Section 4. Amendment of Section of 6.15.020 Kenai Municipal Code: That Kenai Municipal Code, Section 6.15.020 Elections, Filing for Office, Nomination Petition and Sworn Statement of Candidacy, is hereby amended as follows:

- (a) Any qualified person may have their name placed on the ballot for the election as a candidate for Council or Mayor by filing with the Clerk[, BETWEEN AUGUST 1ST AND AUGUST 15TH, 4:30 P.M.] from August 16th, 9:00 a.m. through August 31st, 4:30 p.m. a nominating petition with sufficient signatures, a sworn statement of candidacy, and a public financial disclosure statement required by KMC 1.85.010(a). If August [15TH] 31st is not a regular City workday, then candidates will have until noon on the first workday following to file their candidacy paperwork.
- (b) The nominating petition must be on a form provided by the Clerk and must include:
- (1) The full name of the candidate the petitioners are sponsoring; and
 - (2) The full residence address of the candidate; and
 - (3) The office for which the petitioners are nominating the candidate; and
 - (4) The length of the term of office for which the petitioners are nominating the candidate; and
 - (5) Certification that the petitioners' names appear on current voter registration rolls for the City of Kenai.
- (c) A voter may sign as many petitions as are circulated for each election, but may only sign each petition one (1) time. If a voter signs one (1) petition more than once, only one (1) signature will be counted.
- (d) The sworn statement of candidacy must be on a form provided by the Clerk and must include:
- (1) The office for which the candidate accepts nomination; and
 - (2) A statement that the candidate agrees to serve, if elected; and
 - (3) A statement that the candidate is qualified for the office as provided by law; and

- (4) The date and signature of the candidate; and
- (5) Attestation and date by the Clerk; and
- (e) A candidate must provide any other information the Clerk reasonably requires to determine whether the candidate is qualified for the office as provided by law.
- (f) Within three (3) days after the filing of the sworn statement of candidacy and nominating petition, the Clerk will determine whether the nominating petition is signed by the required number of registered voters, and so notify the candidate. If insufficient, the Clerk will notify the candidate with a statement as to why the petition is insufficient. The notice to the candidate and the return of an insufficient petition may be in person or by mail and will include a copy of the insufficient petition.
- (g) A candidate may correct an insufficient nomination petition by filing a new nomination petition within the regular time for filing nomination petitions and sworn statements of candidacy, with the exception that a nomination petition that has an insufficient number of signatures may be supplemented with additional signatures on a form provided by the Clerk. Supplemental signatures must be obtained and filed with the Clerk within the regular time for filing nomination petitions and a sworn statement of candidacy.
- (h) Any candidate for office may correct[,] or amend[, OR WITHDRAW] their candidacy at any time before the expiration of the time when candidates may file statements of candidacy, by filing a written notice of correction[,] or amendment[OR WITHDRAWAL] with the City Clerk. If a candidate desires to file for a different seat, the candidate must file a new nomination petition and sworn statement of candidacy.
- (i) Any candidate may withdrawal their statement of candidacy by filing a written notice of withdrawal with the clerk within seven calendar days of the close of the regular time for filing nomination petitions and sworn statement of candidacy. If the withdrawal is timely, the candidates' name will not appear on the ballot.

Section 5. Amendment of Section 6.40.020 of Kenai Municipal Code: That Kenai Municipal Code, Chapter 6.40.020 Canvassing and Certification of Election Results, Canvass of Returns, is hereby amended as follows:

6.40.020 Canvass of Returns.

[(A) THE CANVASSING BOARD WILL MEET ON THE SEVENTH DAY FOLLOWING EACH ELECTION. THE ELECTION CANVASSING BOARD SHALL MEET IN PUBLIC SESSION AND CANVASS ALL ELECTION RETURNS. IN FULL VIEW OF THOSE PRESENT, THE ELECTION CANVASSING BOARD SHALL JUDGE THE APPLICABILITY OF BY MAIL AND ABSENTEE BALLOTS, SHALL OPEN AND TALLY THOSE ACCEPTED, AND SHALL COMPILE THE TOTAL VOTES CAST IN THE ELECTION. THE CANVASS OF THE BALLOT VOTE COUNTED BY THE PRECINCT ELECTION BOARDS SHALL BE ACCOMPLISHED BY REVIEWING THE TALLIES OF THE RECORDED VOTE TO CHECK FOR MATHEMATICAL ERROR BY COMPARING TOTALS WITH THE PRECINCT'S CERTIFICATE OF RESULTS. ALL OBVIOUS ERRORS FOUND BY THE ELECTION CANVASS IN THE TRANSFER OF TOTALS FROM THE PRECINCT TALLY SHEETS TO THE PRECINCT CERTIFICATE OF RESULTS SHALL BE CORRECTED BY THE CANVASSING BOARD. A MISTAKE WHICH HAS BEEN MADE IN PRECINCT RETURNS THAT IS NOT CLEARLY AN ERROR IN THE TRANSFER OF THE RESULTS FROM THE TALLIES TO THE CERTIFICATE OF RESULTS EMPOWERS THE CANVASSING BOARD TO RECOMMEND A RECOUNT OF THE RESULTS OF THE PRECINCT OR PRECINCTS FOR THAT PORTION OF THE RETURNS IN QUESTION. UPON COMPLETION OF THE CANVASS, THE CANVASSING BOARD SHALL PREPARE A FINAL CERTIFICATE OF THE RESULTS OF VOTES CAST BY ABSENTEE BALLOT AND OF VOTES CAST BY MAIL BALLOT, AND SHALL PREPARE A WRITTEN REPORT OF THE RESULTS.]

(a) The canvass board will meet in public sessions beginning on the second day following each election and continue to meet as needed through the date of certification for the following:

1. Adjudication of the validity of absentee, special needs and questioned ballot envelopes. No votes from the absentee, special needs or questioned ballots will be tallied until the seventh day following each election.
2. Conduct polling location evaluations by reviewing all materials and documentation returned from each polling location to ensure the integrity, and accuracy of each polling location.
3. Audit administrative and polling location accountability reports, reviewing the tallies of the recorded vote for mathematical errors and comparing totals with precinct results tapes; and,
 - A. Obvious errors found by the canvass board in the transfer of totals between the precinct accountability reports and results tape will be corrected by the canvass board; or,
 - B. A mistake or discrepancy in the precinct returns that is not the result of a clear error in the transfer of results from the tallies to the precinct’s results tape constitutes ground for the canvass board to conduct a recount of the results of the precinct or precincts for that portion of the returns in question.
4. On the seventh day following each election the canvass board in a public session will open and cast the absentee, special needs and questioned ballots of which the validity was verified.
5. Upon completion of the canvass, the canvass board will prepare a final certificate of results for absentee, personal needs and questioned ballots, and will prepare a written report of results to be submitted to the Council.

(c) The Clerk, as Chair of the Canvassing Board, shall report the results of the election to the Council at the next regular Council meeting following the final meeting of the Canvassing Board for each election.

Section 6. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 7. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect 30 days after enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 20th DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Ordinance No. 3518-2026

Page 5 of 5

Introduced:	May 6, 2026
Enacted:	May 20, 2026
Effective:	June 19, 2026



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

FROM: Shellie Saner, Kenai City Clerk

DATE: April 17, 2026

SUBJECT: **Ordinance No. 3518-2026** - Amending Kenai Municipal Code Title 6 - Elections, Chapters 6.05, 6.15 and 6.40 Relating to Election Dates, Candidate Filing, Compensation of Election Officials, and Canvassing of Election. (City Clerk)

Proposed amendments to Kenai Municipal Code (KMC) within the attached Ordinance, will update Title 6 - Elections to align Code with changes made to the Charter by the voters during the April 14, 2026 Special Election.

The following represents sections within the Ordinance and provides an analysis of the changes to KMC:

Section 1. Amendment of Section 6.05.010 of Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.010 Elections, General Provisions, Definitions, Regular Election is hereby amended as follows:

“Regular election” means the City election held annually on the first Tuesday [OF OCTOBER ANNUALLY AS PRESCRIBED BY KENAI CHARTER SECTION 10-1] following the first Monday in November.

The proposed amendments above would revise the definition of “Regular Election” in KMC to ensure consistency with the voter approved amendments to Charter Section 10-1 Annual Elections - Time.

Section 2. Amendment of Section 6.05.030 of Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.030 Elections, General Provisions, Election Times is hereby amended as follows:

6.05.030 Election Times.

- (a) Regular Election. Annually, on the first Tuesday [OF OCTOBER] following the first Monday in November, a regular election shall be held in the City for the election of vacant City offices and for the determination of other propositions and matters as may be placed on the ballot as authorized by the City Charter, Section 10-1.
- (b) Special Election. The Council, by resolution or ordinance, may call a special election at any time at least seventy-five (75) days prior to the date of the election and may submit questions to the qualified voters of the City as authorized by the City Charter, Section 10-8. Unless the Council has set a date for a required special election, the election supervisor shall call a special election when required by law or ordinance to place an initiative, referendum, recall, or other question before the voters.
- (c) Nothing in this chapter shall prohibit holding a City election on the same day and by the same election personnel as a State, Borough, or other public election, or submitting a City question at such an election, as authorized by the City Charter, Section 10-8.

The proposed amendments above would revise KMC Election Times to align the election date with the voter approved amendments to Charter Section 10-1 Annual Elections - Time.

Section 3. Amendment of Section of 6.05.060 Kenai Municipal Code: That Kenai Municipal Code, Section 6.05.060 Elections, General Provisions, Election Expenses is hereby amended as follows:

6.05.060 Election Expenses.

- (a) The City shall pay all necessary expenses relating to the conduct of each City election. Necessary expenses shall include those associated with conducting the election. The Clerk shall retain a record for auditing and payment of election expenses.
- (b) The City [SHALL] may pay each election official and canvassing board member an hourly rate or a flat rate for services performed for time spent at his or her election duties, including the receiving of instructions. The election supervisor shall set the hourly or flat rate compensation to be paid for time spent by election officials.

The proposed amendments above are being brought forward to include new provisions in KMC to clarify that election officials may be paid a flat rate stipend for services. This amendment is being proposed to streamline the onboarding process for election workers when hired for Special Elections or elections conducted solely for the City; and lessen the administrative requirements when onboarding temporary election officials' employees.



Section 4. Amendment of Section of 6.15.020 Kenai Municipal Code: That Kenai Municipal Code, Section 6.15.020 Elections, Filing for Office, Nomination Petition and Sworn Statement of Candidacy is hereby amended as follows:

- (a) Any qualified person may have their name placed on the ballot for the election as a candidate for Council or Mayor by filing with the Clerk[, BETWEEN AUGUST 1ST AND AUGUST 15TH, 4:30 P.M.,] from August 16th, 9:00 a.m. through August 31st, 4:30 p.m. a nominating petition with sufficient signatures, a sworn statement of candidacy, and a public financial disclosure statement required by KMC 1.85.010(a). If August [15TH] 31st is not a regular City workday, then candidates will have until noon on the first workday following to file their candidacy paperwork.
- (b) The nominating petition must be on a form provided by the Clerk and must include:
 - (1) The full name of the candidate the petitioners are sponsoring; and
 - (2) The full residence address of the candidate; and
 - (3) The office for which the petitioners are nominating the candidate; and
 - (4) The length of the term of office for which the petitioners are nominating the candidate; and
 - (5) Certification that the petitioners' names appear on current voter registration rolls for the City of Kenai.
- (c) A voter may sign as many petitions as are circulated for each election, but may only sign each petition one (1) time. If a voter signs one (1) petition more than once, only one (1) signature will be counted.
- (d) The sworn statement of candidacy must be on a form provided by the Clerk and must include:
 - (1) The office for which the candidate accepts nomination; and
 - (2) A statement that the candidate agrees to serve, if elected; and
 - (3) A statement that the candidate is qualified for the office as provided by law; and
 - (4) The date and signature of the candidate; and
 - (5) Attestation and date by the Clerk; and
- (e) A candidate must provide any other information the Clerk reasonably requires to determine whether the candidate is qualified for the office as provided by law.
- (f) Within three (3) days after the filing of the sworn statement of candidacy and nominating petition, the Clerk will determine whether the nominating petition is signed by the required number of registered voters, and so notify the candidate. If insufficient, the Clerk will notify the candidate with a statement as to why the petition is insufficient. The notice to the candidate and the return of an insufficient petition may be in person or by mail and will include a copy of the insufficient petition.
- (g) A candidate may correct an insufficient nomination petition by filing a new nomination petition within the regular time for filing nomination petitions and sworn statements of candidacy, with the exception that a nomination petition that has an insufficient number of signatures may be supplemented with additional signatures on a form provided by the Clerk. Supplemental signatures must be obtained and filed with the Clerk within the regular time for filing nomination petitions and a sworn statement of candidacy.



- (h) Any candidate for office may correct[,] or amend[, OR WITHDRAW] their candidacy at any time before the expiration of the time when candidates may file statements of candidacy, by filing a written notice of correction[,] or amendment[OR WITHDRAWAL] with the City Clerk. If a candidate desires to file for a different seat, the candidate must file a new nomination petition and sworn statement of candidacy.
- (i) Any candidate may withdrawal their statement of candidacy by filing a written notice of withdrawal with the clerk within seven calendar days of the close of the regular time for filing nomination petitions and sworn statement of candidacy. If the withdrawal is timely, the candidates' name will not appear on the ballot.

The proposed amendments above would amend the City's candidate filing period to reflect the change in the election date while ensuring compliance with Kenai Peninsula Borough deadlines for election programing and ballot printing; and also includes provisions that allow for candidate withdrawals for seven days after the filing period has closed.

Section 5. Amendment of Section 6.40.020 of Kenai Municipal Code: That Kenai Municipal Code, Chapter 6.40.020 Canvassing and Certification of Election Results, Canvass of Returns is hereby amended as follows:

6.40.020 Canvass of Returns.

[(A) THE CANVASSING BOARD WILL MEET ON THE SEVENTH DAY FOLLOWING EACH ELECTION. THE ELECTION CANVASSING BOARD SHALL MEET IN PUBLIC SESSION AND CANVASS ALL ELECTION RETURNS. IN FULL VIEW OF THOSE PRESENT, THE ELECTION CANVASSING BOARD SHALL JUDGE THE APPLICABILITY OF BY MAIL AND ABSENTEE BALLOTS, SHALL OPEN AND TALLY THOSE ACCEPTED, AND SHALL COMPILER THE TOTAL VOTES CAST IN THE ELECTION. THE CANVASS OF THE BALLOT VOTE COUNTED BY THE PRECINCT ELECTION BOARDS SHALL BE ACCOMPLISHED BY REVIEWING THE TALLIES OF THE RECORDED VOTE TO CHECK FOR MATHEMATICAL ERROR BY COMPARING TOTALS WITH THE PRECINCT'S CERTIFICATE OF RESULTS. ALL OBVIOUS ERRORS FOUND BY THE ELECTION CANVASS IN THE TRANSFER OF TOTALS FROM THE PRECINCT TALLY SHEETS TO THE PRECINCT CERTIFICATE OF RESULTS SHALL BE CORRECTED BY THE CANVASSING BOARD. A MISTAKE WHICH HAS BEEN MADE IN PRECINCT RETURNS THAT IS NOT CLEARLY AN ERROR IN THE TRANSFER OF THE RESULTS FROM THE TALLIES TO THE CERTIFICATE OF RESULTS EMPOWERS THE CANVASSING BOARD TO RECOMMEND A RECOUNT OF THE RESULTS OF THE PRECINCT OR PRECINCTS FOR THAT PORTION OF THE RETURNS IN QUESTION. UPON COMPLETION OF THE CANVASS, THE CANVASSING BOARD SHALL PREPARE A FINAL CERTIFICATE OF THE RESULTS OF VOTES CAST BY ABSENTEE BALLOT AND OF VOTES CAST BY MAIL BALLOT, AND SHALL PREPARE A WRITTEN REPORT OF THE RESULTS.]

- (a) The canvass board will meet in public sessions beginning on the second day following each election and continue to meet as needed through the date of certification for the following:
1. Adjudication of the validity of absentee, special needs and questioned ballot envelopes. No votes from the absentee, special needs or questioned ballots will be tallied until the seventh day following each election.
 2. Conduct polling location evaluations by reviewing all materials and documentation returned from each polling location to ensure the integrity, and accuracy of each polling location.



3. Audit administrative and polling location accountability reports, reviewing the tallies of the recorded vote for mathematical errors and comparing totals with precinct results tapes; and,
- A. Obvious errors found by the canvass board in the transfer of totals between the precinct accountability reports and results tape will be corrected by the canvass board; or,
- B. A mistake or discrepancy in the precinct returns that is not the result of a clear error in the transfer of results from the tallies to the precinct's results tape constitutes ground for the canvass board to conduct a recount of the results of the precinct or precincts for that portion of the returns in question.
4. On the seventh day following each election the canvass board in a public session will open and cast the absentee, special needs and questioned ballots of which the validity was verified.
5. Upon completion of the canvass, the canvass board will prepare a final certificate of results for absentee, personal needs and questioned ballots, and will prepare a written report of results to be submitted to the Council.
- (c) The Clerk, as Chair of the Canvassing Board, shall report the results of the election to the Council at the next regular Council meeting following the final meeting of the Canvassing Board for each election.

The amendment above would delete a substantial portion of the existing code section and replace it with updated provisions. The following summarizes notable changes:

- **Provides more specific language on the role and purpose of the Canvass Board.**
- **Extends the Canvass Board meeting time from one day to up to five days, to accommodate the increased volume of voted ballot envelopes requiring adjudication when the City elections are conducted concurrently with Federal, State and Borough elections.**
- **Authorizes the Canvass Board to initiate a recount when warranted, rather than limiting its role to recommending one. This recommended change would expedite the recount process and allow for a timely certification of the election when a recount is necessary.**





Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3519-2026**

AN ORDINANCE ACCEPTING AND APPROPRIATING GRANT FUNDS FROM THE ALASKA HIGH INTENSITY DRUG TRAFFICKING AREA FOR DRUG INVESTIGATION OVERTIME EXPENDITURES.

WHEREAS, the Kenai Police Department assists the regional drug task force on initiatives with funding availability through the Alaska High Intensity Drug Traffic Area (AK HIDTA); and,

WHEREAS, funding through AK HIDTA is available to reimburse certain overtime expenditures for the Kenai Police Officers that assist the regional drug task force or directly participate in the task force on those HIDTA initiatives; and,

WHEREAS, the overtime expense that was eligible for reimbursement from July of 2025 through the end of March, 2026 was \$17,551.37; and,

WHEREAS overtime for these additional expenditures for drug investigations were not budgeted and the Department is requesting appropriation into the overtime budget equal to the amount of the AK HIDTA funding.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. That the City Manager is authorized to accept these funds from the AK HIDTA in the amount of \$17,551.37 and to expend those funds to fulfill the purpose and intent of this ordinance.

Section 2. That the estimated revenues and appropriations be increased as follows:

General Fund:

Increase Estimated Revenues –
State Grants – Police \$17,551.37

Increase Appropriations –
Police – Overtime \$17,551.37

Section 3. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment shall have been rendered, and shall not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 4. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect immediately upon enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 20TH DAY OF May, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Approved by Finance: _____



Introduced:

May 6, 2026

Enacted:

May 20, 2026

Effective:

May 20, 2026



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

FROM: David Ross, Police Chief

DATE: April 27, 2026

SUBJECT: **Ordinance No. 3519-2026** - Accepting and Appropriating Grant Funds from the Alaska High Intensity Drug Trafficking Area for Drug Investigation Overtime Expenditures.

The Kenai Police Department participates in the regional drug task force. Between July of 2025 and March of 2026 certain overtime worked in conjunction with the regional drug task force was eligible for reimbursement through the Alaska High Intensity Drug Trafficking Area (AK HIDTA). The Police Department requested reimbursement for \$17,551.37 in overtime expenditures.

I am respectfully requesting consideration of the ordinance accepting and appropriating the grant funds for the purpose they were intended.



Sponsored by: Administration

**CITY OF KENAI
ORDINANCE NO. 3520-2026**

AN ORDINANCE AMENDING KENAI MUNICIPAL CODE CHAPTER 14.10 - SUBDIVISION REGULATIONS AND AMENDING KENAI MUNICIPAL CODE SECTION 18.10.030 - STREET IMPROVEMENTS TO REMOVE ROAD DESIGN STANDARDS FROM CODE AND REPLACE THEM WITH A STREET DESIGN STANDARDS MANUAL.

WHEREAS, the availability and affordability of housing remain important issues for the community, and the City has taken steps to support residential development, including the sale and donation of City-owned land; and,

WHEREAS, Administration engaged with the Kenai Peninsula Borough, the Kenai Peninsula Economic Development District, local realtors, and both large- and small-scale developers to identify opportunities for the City to support additional residential development; and,

WHEREAS, development discussions highlighted the need for clearer and more consistent subdivision and roadway design standards; and,

WHEREAS, Public Works and Planning subsequently reviewed existing road and subdivision standards and in coordination with an engineering consultant, developed City of Kenai Street Design Standards Manual to reduce confusion, support predictable development review, and streamline processes for future development; and,

WHEREAS, Public Works posted the draft manual online and held an open to receive comments from local contractors and consultants and incorporate that feedback into the final manual; and,

WHEREAS, the City Council during their November 5, 2025 meeting approved a motion directing the Planning & Zoning Commission to bring forward recommendations to update Kenai Municipal Code 14.10 - *Subdivision Regulations*; and,

WHEREAS, at the Planning and Zoning Commission during their May 13, 2026 Meeting recommended the City Council _____ this Ordinance; and,

WHEREAS, the amendment of KMC 14.10 - *Subdivision Regulations* and the amendment of KMC 18.10.030 – *Street Improvements* to reference the Street Design Standards Manual is in the best interests of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, AS FOLLOWS:

Section 1. Amendment of Chapter 14.10 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.010 - General is hereby amended as follows:

(a) Preliminary plats showing a subdivision of land, or a replat caused by proposed vacation of public right-of-way, lying within the corporate boundary of a first class or home rule City [SHALL] must be first submitted to the appropriate City for review prior to submittal of the plat to the Kenai Peninsula Borough Planning Department. In such instances, the [CITY PLANNING COMMISSION SHALL] Planning & Zoning

Commission will have forty-nine (49) days from the receipt in which to review the preliminary plat and take action.

(b) The preliminary plat submitted to the City [SHALL] must comply with the requirements of Sections 20.12.060 and 20.12.070 of the Kenai Peninsula Borough Code.

(c) The [CITY PLANNING COMMISSION] Planning & Zoning Commission and, if necessary, other appropriate municipal departments [SHALL] will review the plat or replat of a proposed vacation action and prepare written comments which [SHALL] will be included with the submittal of the plat to the Borough. The subdivider bears the responsibility for presentations to, and discussions with, the City so the final plat will conform to lawful ordinances and requirements of said City.

Section 2. Amendment of Section 14.10.030 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.030 - Jurisdiction and Procedure, is hereby amended as follows:

(a) It is unlawful for any person being the owner, agent, or person having control of any land within the City of Kenai to subdivide or lay out such land in lots, unless by a plat, in accordance with the regulations contained herein. A preliminary plat [SHALL] must be submitted to the City of Kenai, who [SHALL] will make recommendations to the Borough Planning Commission.

(b) The design and layout of all subdivisions [SHALL] must conform with the requirements of Section 14.10.070 hereof. The subdivider [SHALL] must submit a preliminary plan in accordance with the specifications of Section 14.10.040 hereof. Following approval of the preliminary plan, the subdivider [SHALL] must install the minimum improvements, furnish a bond or provide for guaranteeing such installations in accordance with the requirements of Section 14.10.080 hereof. Upon approval of improvement installations or arrangements therefor, the final plat [SHALL] must be submitted in accordance with the provisions of Section 14.10.040 hereof.

Section 3. Amendment of Section 14.10.060 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.060 - Submission to City Council, is hereby amended as follows:

(a) After review of the final plat by the [CITY PLANNING COMMISSION] Planning & Zoning Commission, such final plat, together with the recommendations of the Commission, [SHALL] will be submitted to the Kenai Peninsula Borough Planning Commission for approval.

(b) If the [CITY PLANNING COMMISSION] Planning & Zoning Commission rejects or withholds approval of a plat, the subdivider may request said plat be submitted to the City Council. The [SECRETARY] Planning Director, on behalf of the [CITY PLANNING COMMISSION] Planning & Zoning Commission [SHALL] will forward the proposed plat together with the report of the [CITY PLANNING COMMISSION] Planning & Zoning Commission stating the reason or reasons for the action taken. The City Council may make such findings and determinations as are deemed proper. If either a preliminary or final plat is disapproved by the [CITY PLANNING COMMISSION] Planning & Zoning Commission, it may be approved by the City Council.

(c) In accordance with Kenai Municipal Borough Code 20.65.050 - Action on Vacation Application, a Kenai Peninsula Borough Planning Commission decision to approve a vacation is not effective without the consent of the City Council, if the vacated area to be vacated is within the City. All vacation decisions made by the Kenai Peninsula Borough impacting the City of Kenai will be brought forth at the next scheduled City Council meeting. The Council will have thirty (30) days from the date of the Kenai Peninsula Borough Planning Commission approval to either consent or to veto the vacation. Notice of veto will be immediately given to the Kenai Peninsula Borough Planning Commission. Failure to act on the vacation within thirty (30) days will be considered to be consent to the vacation.

Section 4. Amendment of Section 14.10.070 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.070 - Subdivision Design Standards, is hereby amended as follows:

(a) Relationship to Adjoining Street System. The arrangement of streets in new subdivisions [SHALL] will make provisions for the continuation of the principal existing streets in adjoining areas (or their proper projection where adjoining land is not subdivided) insofar as they may be deemed necessary by the Commission for public requirements. The width of such streets in new subdivisions [SHALL] will be not less than the minimum widths established [HEREIN] in the current edition of the City of Kenai Road Design Manual. The street and alley arrangement [SHALL] must be such as not to cause a hardship to owners of adjoining property when they plat their own land and seek to provide for convenient access to it. Offset streets should be avoided. Streets obviously in alignment with existing streets [SHALL] will bear the names of the existing streets. All proposed street names [SHALL] will be checked against duplication of other street names.

[(B) STREET AND ALLEY WIDTH.

(1) THE WIDTHS OF MAJOR HIGHWAYS SHALL CONFORM TO THE WIDTHS DESIGNATED ON THE MAJOR STREET PLAN.

(2) THE MINIMUM WIDTH FOR MINOR STREETS SHALL BE SIXTY (60) FEET, EXCEPT THAT THE KENAI CITY PLANNING AND ZONING COMMISSION, MAY, IN ITS DISCRETION BY MAJORITY VOTE OF ITS MEMBERS, LESSEN THIS DISTANCE TO NOT LESS THAN FIFTY (50) FEET. A WIDER STREET WIDTH MAY BE REQUIRED WHERE THE STORM WATER IS ACCOMMODATED IN AN OPEN DITCH OR IN DITCHES ALONG PAVEMENT. WHEN MINOR STREETS ADJOIN UNSUBDIVIDED PROPERTY, A HALF STREET AT LEAST THIRTY (30) FEET IN WIDTH MAY BE DEDICATED AND WHENEVER SUBDIVIDED PROPERTY ADJOINS A HALF STREET, THE REMAINDER OF THE STREET SHALL BE DEDICATED.

(3) ALLEYS ARE NOT RECOMMENDED IN SINGLE AND TWO-FAMILY RESIDENTIAL DISTRICTS; AND WHEN PROVIDED, A MINIMUM WIDTH OF TWENTY (20) FEET SHALL BE REQUIRED. ALLEYS ARE REQUIRED IN THE REAR OF ALL BUSINESS LOTS AND SHALL BE AT LEAST TWENTY (20) FEET WIDE. THERE SHALL BE PREPARED AND MAINTAINED FOR PUBLIC INFORMATION, A SET OF STANDARD SPECIFICATIONS FOR ALL CONSTRUCTION OF ANY NATURE TO ANY STREET, ALLEY, EASEMENT, OR OTHER PUBLIC WAY WITHIN THE CITY OF KENAI. SAID SPECIFICATIONS SHALL BE PREPARED BY THE CITY MANAGER AND SHALL BE MAINTAINED AS OTHER PUBLIC RECORDS.]

(b) [(C)] Easements. Easements of at least ten (10) feet in width [SHALL] must be provided on [EACH SIDE OF REAR] front lot lines and along the side or rear lot lines, where necessary, for poles, wires, conduits, storm, and sanitary sewers, gas, water, or other mains. Wherever possible, lot lines [SHALL] will be arranged to bisect the exterior angle so that pole guys will fall along the side lot lines. Easements of greater width may be required along or across lots where necessary for the extension of main sewers or other utilities or where both water and sewer lines are located in the same easement.

(c) [(D)] Blocks.

(1) No block [SHALL] will be longer than one thousand four hundred (1,400) feet. Where blocks are longer than one thousand (1,000) feet, a crosswalk at least ten (10) feet in width may be required near the center of the block.

(2) In platting residential lots containing less than ten thousand (10,000) square feet, the depth of the block should not exceed twice the minimum width allowed under the zone district in which the lot is located.

(3) Where a tract of land is of such size or location as to prevent a lot arrangement directly related to a normal street design, there may be established one or more courts, dead end streets, or other arrangements; provided, however, that proper access [SHALL] must be given to all lots from a dedicated street or court. A dead-end street [SHALL] must [TERMINATE IN AN OPEN SPACE (PREFERABLY CIRCULAR) HAVING A MINIMUM RADIUS OF FIFTY (50) FEET] conform to standards set by

the current edition of the City of Kenai Road Design Manual. [A DEAD END STREET SHALL NOT EXCEED ONE THOUSAND (1,000) FEET IN LENGTH.]

(d) [(E)] Lots.

- (1) The lot arrangement and design [SHALL] must be such that all lots will provide satisfactory and desirable building sites, properly related to topography and the character of surrounding development.
- (2) All sidelines of lots [SHALL] must be at right angles to straight street lines and radial to curved street lines, except where a variation to this rule will provide a better street and lot layout. Lots with double frontage shall be avoided.
- (3) No lot [SHALL] must have an area or width less than that required by the zoning ordinance.
- (4) Where corner lots back upon lots facing the side street, the corner lot [SHALL] must have an extra ten foot width sufficient to permit the establishment of front building lines on both the front and side of the lots adjoining the streets.
- (5) In subdivisions where septic tanks or other individual sewage disposal devices are to be installed, the size of all lots included in such subdivision [SHALL] must be sufficient to meet Alaska Department of Environmental Conservation requirements.

(e) [(F)] Character of Development. The subdivider [SHALL] must confer with the Commission regarding the type and character of development that will be permitted in the subdivision, and may agree to place certain minimum restrictions upon the property to prevent the construction of substandard buildings, control the type of structures or the use of the lots which, unless so controlled, would clearly depreciate the character and value of the proposed subdivision and of adjoining property. Covenants running with the land may be included to provide for the creation of a Property Owners' Association or Board of Trustees for the proper protection and maintenance of the development in the future, provided, however, that such covenants [SHALL] may not contain reversionary clauses wherein any lots [SHALL] will return to the subdivider because of a violation thereon of the terms of the covenants. Covenants will not be enforced by the City.

(f) [(G)] Parks, Schools, and Sites. In subdividing property, consideration [SHALL] will be given to suitable sites for schools, parks, playgrounds, and other common areas for public use so as to conform to any recommendations of the City's Comprehensive Plan, or any City Council approved plan, such as the Parks & Recreation Master Plan or Airport Master Plan. Any provision for schools, parks, and playgrounds should be indicated on the preliminary plan in order that it may be determined when and in what manner such areas will be provided or acquired by the appropriate taxing agency.

(g) [(H)] Easements Along Streams. Whenever any stream or important drainage course is located in any area which is being subdivided, the subdivider [SHALL] must provide an adequate easement along each side of the stream for the purpose of widening, deepening, sloping, improving, or protecting the stream for drainage purposes.

(1) The State of Alaska Department of Fish and Game has jurisdiction over anadromous fish and pursuant to AS 16.05.871 and 5 AAC 95.011 maintains and updates the "Atlas and Catalog of Waters Important for Spawning, Rearing, or Migration of Anadromous Fish." Management of impacted watersheds is administered through the Kenai Peninsula Borough.

(2) The Kenai Peninsula Borough, through the Kenai River Center, reviews developments that may impact the Kenai River watershed. The City of Kenai Floodplain Administrator, as designated in KMC 14.30.040(b), will refer developers or subdividers to the River Center. An application for a permit must be made to the Kenai River Center, if impacts are deemed likely to occur.

Section 5. Amendment of Section of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.080 - Minimum Improvements Required, is hereby amended as follows:

(a) Receipt of the signed copy of the approved preliminary plan is authorization for the subdivider to proceed with the preparation of plans and specifications for the following minimum improvements and with the preparation of the final plat. Prior to the construction of any improvements required (or to the submission of a bond in lieu thereof), the subdivider [SHALL] must furnish the [CITY PLANNING COMMISSION] Planning & Zoning Commission all plans, information, and data necessary to determine the character of said improvements. These plans [SHALL] will be examined by the [CITY ENGINEER OR A PROFESSIONAL ENGINEER UNDER CONTRACT] City Public Works Director, or their designee to review all subdivisions by the [PLANNING COMMISSION] Planning & Zoning Commission, and will be approved if in accordance with the requirements of this section. Following this approval, construction can be started (or the amount of a bond determined).

(b) No final or official plat of any subdivision, except for subdivisions prepared by the City of Kenai, [SHALL] will be approved unless:

(1) The improvements listed in the following subsections have been installed prior to such approval, or

(2) The subdivider [SHALL] must file with the City Clerk security, such as but not limited to, a surety bond, cashier's check, or a certified check [UPON AN ALASKAN BANK] conditioned to secure the construction of the improvements listed in the following subsections in a satisfactory manner and within a period specified by the City Council, but such period [SHALL] may not exceed two (2) years. No such security, bond, or check [SHALL] will be accepted unless it be enforceable by or payable to the City in a sum at least equal to the cost of constructing the improvements as estimated by the [CITY ENGINEER OR HIS EQUIVALENT UNDER CONTRACT BY THE CITY] City Public Works Director, or their designee, and in form with surety and conditions approved by the City Attorney.

(c) All street and public ways [SHALL] must be graded to their full width and to the appropriate grade, and [SHALL] must be surfaced [TO A MINIMUM WIDTH OF THIRTY (30) FEET] as specified in accordance with [APPLICABLE STANDARD SPECIFICATIONS OF THE CITY] the current edition of the City of Kenai Road Design Manual, and all streets in any subdivision that the [CITY PLANNING COMMISSION] Planning & Zoning Commission [SHALL] designates as major streets [SHALL] must be surfaced to a minimum width [OF FORTY (40) FEET] as specified in accordance with the current edition of the City of Kenai Road Design Manual. The cross-section of construction [SHALL] must contain non-frost susceptible material to the depth [OF FORTY-TWO (42) INCHES FROM APPROPRIATE GRADE, AND IN THE ABSENCE OF ANY OTHER SPECIFIED DEPTH BY APPLICABLE STANDARD SPECIFICATIONS OF THE CITY] specified in the current edition of the City of Kenai Road Design Manual. Such construction [SHALL] will be subject to inspection and approval by the [CITY ENGINEER OR HIS EQUIVALENT UNDER CONTRACT BY THE CITY] City Public Works Director, or their designee, and [SHALL] must comply with all applicable City standards for construction.

(d) Concrete sidewalks [NOT LESS THAN FOUR (4) FEET IN WIDTH SHALL] must be constructed along specified road types as prescribed in the current edition of the City of Kenai Road Design Manual. [ALONG AT LEAST ONE SIDE OF ALL MAJOR STREETS AND ARTERIAL STREETS. THE PLANNING COMMISSION MAY ALSO REQUIRE THE CONSTRUCTION OF SIDEWALKS ALONG AT LEAST ONE SIDE OF MINOR STREETS. (IN SUBDIVISION OF TEN (10) LOTS OR LESS, THE SUBDIVIDER WILL INCLUDE A COVENANT ON THE RECORDED PLAT THAT WHEN AN IMPROVEMENT DISTRICT IS FORMED, THE REAL PROPERTY INVOLVED WILL BE A PART OF THE IMPROVEMENT DISTRICT WITHOUT FURTHER ACTION BY THE THEN OWNER OF THE PROPERTY IN QUESTION.)]

(e) In subdivisions [OF TEN (10) OR MORE LOTS], an approved [PUBLIC] water supply [SHALL] must be provided for each lot within the subdivision area. [WATER MAINS SHALL BE BURIED AT LEAST EIGHT (8) FEET DEEP WITH THE DEPTH TO BE DETERMINED BY MEASURING FROM THE GRADE LINE OF THE PLANNED

PRELIMINARY FUTURE STREET GRADES OR, IF THERE ARE NO PLANNED FUTURE STREET GRADES, FROM THE NATURAL GRADE OF THE ADJACENT RIGHT-OF-WAY TO THE TOP OF THE MAIN BEING INSTALLED. FIRE HYDRANTS SHALL ALSO BE INSTALLED IN ALL SUBDIVISIONS AND IN ACCORDANCE WITH THE SPECIFICATIONS OF THE NATION BOARD OF FIRE UNDERWRITERS. (IN SUBDIVISIONS OF TEN (10) LOTS OR LESS, THE SUBDIVIDER WILL INCLUDE A COVENANT ON THE RECORDED PLAT THAT WHEN AN IMPROVEMENT DISTRICT IS FORMED, THE REAL PROPERTY INVOLVED WILL BE A PART OF THE IMPROVEMENT DISTRICT WITHOUT FURTHER ACTION BY THE THEN OWNER OF THE PROPERTY IN QUESTION.)]

(f) The subdivider [SHALL] must install sanitary sewer lines to serve each lot. All such sewer lines [SHALL] must be constructed in accordance with regulations and requirements of, and under the supervision of the Public Works Director's office or [HIS] their equivalent under contract by the City if such sanitary sewers are available for connection by the said subdivider and are located within one thousand five hundred (1,500) feet of the subdivider's nearest lot line.

(g) All necessary facilities, either underground pipe or drainage ditches, [SHALL] must be installed to provide adequate disposal of surface water and to maintain any natural watercourses.

(1) In the event a subdivider is unable to comply with the requirements of this section, then any plat [SHALL] must contain a covenant that all of the lots in any subdivision, as defined in this chapter, [SHALL] will be subject to assessment for any of the improvements required herein when installed at a future time by the City, provided that insertion of covenants on a plat [SHALL] will not be permitted in lieu of installation of street improvements for new subdivisions as provided in this section, except for subdivisions fronting on dedicated streets or [STREETS] rights-of-way dedicated in federal patents or in subdivisions of two and one-half (2 1/2) acre homesites (or smaller) owned by the original patentee.

Section 6. Amendment of Section 14.10.100 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.100 – Enforcement, is hereby amended as follows:

(a) No plat of any subdivision [SHALL] will be qualified for recording in the office of the district magistrate of the State of Alaska or have any validity until approved in the manner prescribed herein.

(b) The City Council [SHALL] will not permit any public improvements over which it has not any control to be made or any money expended for improvements in any area that has been subdivided or upon any street that has been platted, after the date of the adoption of this chapter unless such subdivision or street has been approved in accordance with the provisions contained herein.

Section 7. Amendment of Section 14.10.110 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.110 – Changes and Amendments, is hereby amended as follows:

Any regulations or provisions of this chapter may be changed and amended from time to time by the City Council provided, however, that such changes or amendments [SHALL] will not become effective until after study and report by the Planning Commission and until after a public hearing has been held, public notice of which [SHALL] will have been given in a newspaper of general circulation at least fifteen (15) days prior to such hearing and posted in the City Hall.

Section 8. Amendment of Section 14.10.120 of Kenai Municipal Code: That Kenai Municipal Code, Section 14.10.120 – Division of a Commercial Tract, is hereby amended as follows:

(a) The owner of a commercial tract located in a commercial zone may divide the tract into fragment lots provided that such a division is not inconsistent with the approved commercial site plan and recorded declarations, covenants and restrictions applicable to the commercial tract. Any property description used to divide an area of the commercial tract into a fragment lot [SHALL] will not be considered a lot or tract under terms of this Title or Title 4 of this code, but [SHALL] will be otherwise a lawful lot or tract. Any

fragment lot created under this section [SHALL] must contain the minimum area, width and depth otherwise required for lots in the zoning district in which the fragment lot is located.

Section 9. Amendment of Section 18.10.030 of Kenai Municipal Code: That Kenai Municipal Code, Section 18.10.030 – Street Improvements, is hereby amended as follows:

All streets and public ways [SHALL] must be constructed in compliance the City of Kenai Street Design Standards Manual. [GRADED TO THEIR FULL WIDTH, AS REQUIRED BY THE CITY MANAGER TO THE APPROPRIATE GRADE, AND SHALL BE SURFACED TO A MINIMUM WIDTH OF THIRTY FEET (30'), AND ALL MAJOR STREETS SHALL BE SURFACED TO A MINIMUM WIDTH OF FORTY FEET (40'). THE CROSS-SECTION OF CONSTRUCTION SHALL CONTAIN NON-FROST, SUSCEPTIBLE MATERIAL TO THE DEPTH OF FORTY-TWO INCHES (42") OR DOWN TO SAND, AS REQUIRED BY THE CITY MANAGER, FROM THE GRADE APPROVED BY THE CITY, THEN THERE SHALL BE ADDED NON-FROST, SUSCEPTIBLE MATERIAL EIGHTEEN INCHES (18") OF THE NORMAL SURFACE GRADE OF THE ADJACENT LOTS; OR, AS ESTABLISHED BY THE CITY MANAGER, THERE SHALL BE ADDED THEREON GRAVEL APPROVED BY THE CITY MANAGER FOR A DEPTH OF SIX INCHES (6"), SO THE CROWN OF THE FINISHED STREET SHALL BE NOT LESS THAN TWELVE INCHES (12") FROM NORMAL SURFACE GRADE OF THE ADJACENT LOTS BEFORE COMPACTION OF THE GRAVEL.] Such construction shall be subject to inspection and approval by the [CITY MANAGER] City Public Works Director or their designee. [, AND SHALL COMPLY WITH ALL APPLICABLE CITY STANDARDS FOR CONSTRUCTION.]

Section 10. Severability: That if any part or provision of this ordinance or application thereof to any person or circumstances is adjudged invalid by any court of competent jurisdiction, such judgment [SHALL] will be confined in its operation to the part, provision, or application directly involved in all controversy in which this judgment [SHALL] will have been rendered, and [SHALL] will not affect or impair the validity of the remainder of this title or application thereof to other persons or circumstances. The City Council hereby declares that it would have enacted the remainder of this ordinance even without such part, provision, or application.

Section 11. Effective Date: That pursuant to KMC 1.15.070(f), this ordinance shall take effect 30 days after enactment.

ENACTED BY THE COUNCIL OF THE CITY OF KENAI, ALASKA, THIS 20TH DAY OF MAY, 2026.

Henry H. Knackstedt, Mayor

ATTEST:

Logan Parks, Deputy City Clerk

Introduced: May 6, 2026
Enacted: May 20, 2026
Effective: June 19, 2026



MEMORANDUM

TO: Mayor Knackstedt and Council Members

THROUGH: Terry Eubank, City Manager

THROUGH: Lee Frey, Public Works Director

FROM: Kevin Buettner, Planning Director

DATE: April 14, 2026

SUBJECT: **Ordinance No. 3520-2026 – Amending Kenai Municipal Code Chapter 14.10 - Subdivision Regulations and Amending Kenai Municipal Code Section 18.10.030 - Street Improvements to Remove Road Design Standards from Code and Replace them with a Street Design Standards Manual. (Administration).**

Based on the community survey in autumn 2025, housing availability and affordability were noted as important issues within the community. This was further highlighted during conversations with the Kenai Peninsula Borough, Kenai Peninsula Economic Development District (KPEDD), local realtors, and both large- and small-scale developers that took place during a Housing Assessment effort sponsored by KPEDD.

During the development discussions, developers highlighted the need for clean and consistent subdivision design, roadway, and utility standards. These requirements occur in several places in Kenai Municipal Code. Administration determined, in an effort to streamline development requirements, it would be best to remove the standards from code and reference a separate design manual. This policy would allow Administration to be update the manual as needed without making changes to code.

The Public Works Department subsequently reviewed existing road and subdivision standards and in coordination with an engineering consultant and developed a draft City of Kenai Street Design Standards Manual. This was in an effort to reduce confusion, support predictable development review, and streamline processes for future development. They held an Open House on April 13th and received comments from local contractors and consultants which have been reviewed and incorporated into the final document included. Council will be notified of future changes to the Manual. Utility standards are being reviewed and will be introduced at a future date.

Based on these changes, and following Council's directive from the November 5, 2025 regular meeting, the Planning & Zoning Department reviewed all code reference regarding subdivision regulations, as well as road standards, which are contained therein. After hosting a Work Session

with the Planning & Zoning Commission in late 2025, the proposed changes to code and the draft standards are presented to Council for their consideration.

Thank you for your consideration.





Street Design

Standards

Manual

City of Kenai Public Works Department

Date: April 28, 2026

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SECTION A. ACRONYMS & ABBREVIATIONS

AASHTO	American Association of State Highway and Transportation Officials
ADFG	Alaska Department of Fish and Game
ADT	Average Daily Traffic
ADOT&PF	Alaska Department of Transportation and Public Facilities
ATM	Alaska Test Method
COK	City of Kenai
FHWA	Federal Highway Administration
ft	feet
h:v	Horizontal to vertical
IFC	International Fire Code
in	inches
L RTP	Long Range Transportation Plan
mph	miles per hour
N/A	Not applicable
NOAA	National Oceanic and Atmospheric Administration
NOI	Notice of Intent
NRCS	Natural Resources Conservation Service
NTP	Notice to proceed
OHWM	Ordinary high water mark
OSHP	Official Streets and Highways Plan
ROW	Right-of-way
SCS	Soil Conservation Service
VPD	Vehicles per day

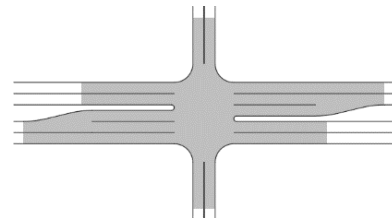
SECTION B. DEFINITIONS

Access Point	The location along a road at which a driveway or road intersects.
Alley	A narrow street located behind or between buildings, often used as pedestrian access or rear vehicle service.
Arterial	A road that provides a high level of mobility within the transportation network. Arterials have managed access with a minimal number of intersections or interchanges.
Average Daily Traffic	The total number of vehicle trips during a given time period (in whole days greater than one day and less than one year) divided by the number of days in that time period.
Backslope	On a roadway section in a cut, the portion of the roadside that slopes up from the roadside ditch and away from the roadway to the top of the cut, see Figure A-1.
Catchment Area	The total area contributing stormwater runoff to a particular point, site, or structure.
Collector	A road that links local roads with arterials and performs some duties of each. Collectors have managed access with a moderate number of intersections and driveways.
Curve Return	The curve located at the corner of an intersection, connecting the roadway edge of one road to the roadway edge of an intersecting road or driveway.
Detention	The temporary storage of runoff, for later controlled release.
Drainage Pattern	The configuration of a drainage system including manmade and natural features within a catchment area.
Driveway	A vehicular access way between a road and a parking area within a lot or property.
Embankment	Earthen material that is placed and compacted for the purpose of raising the grade of a roadway.
Engineer	An individual who is registered as a Professional Civil Engineer in the State of Alaska.

Feasible Reasonable and capable of being done or carried out.

Foreslope On a roadway section, the portion of the roadside that slopes down and away from the roadway, see Figure A-1.

Functional Area The physical area of an intersection and the area extending both upstream and downstream which includes perception reaction distance, maneuver distance, and storage length.



Intersection The general area where two or more roads join or cross.

Local Road A road that provides access to abutting property, rather than to serve through traffic. Local roads are not access controlled and can have frequent intersections and driveways.

Lot Frontage A property line that abuts the right-of-way that provides access to the lot.

Ordinary High Water Mark The elevation marking the highest water level which has been maintained for a sufficient time to leave evidence upon the landscape. Generally, it is the point where the natural vegetation changes from predominately aquatic to upland species.

Positive Drainage Clear, unobstructed flow of water away from structures and roadways without localized ponding.

Regulated Stream Any watercourse along which the flood hazard areas have been mapped and approved by the Federal Emergency Management Agency; any stream which harbors fish, as determined by the Alaska Department of Fish and Game; or any stream designated as regulated by COK.

Retention The prevention of runoff. Stormwater, which is retained, remains indefinitely, with the exception of the volume lost to evaporation, plant uptake, or infiltration.

Right-of-way	A strip of land reserved, used, or to be used for a street, alley, walkway, airport, railroad, or other public or private purpose.
Road	A general term denoting a public thoroughfare used, or intended to be used, for passage or travel.
Road Prism	The foundation that supports the roadway; see Figure A-1.
Roadway	The portion of a road that includes driving lanes and shoulders, see Figure A-1.
Segment	A portion of road between two significant intersections or an intersection and its terminus.
Shoulder	The portion of a roadway contiguous to any traveled way for lateral support of surface courses, see Figure A-1.
Street	A general term usually denoting an urban or suburban road.
Stub	A right-of-way or road segment that is planned to be extended, typically short in length, which terminates at the boundary of a subdivision or masterplan phase.
T-intersection	A three-leg intersection in the form of a "T".
Through Street	A road given preferential right of way; roads which intersect a through street are controlled, such as with a stop sign or yield sign.
Water Body	A permanent or temporary area of standing or flowing water. Water depth is such that water, and not air, is the principal medium in which organisms live. Water bodies include, but are not limited to: lakes, ponds, streams, rivers, sloughs, and all saltwater bodies.

INTRODUCTION

This manual is intended to accomplish the following goals:

- (1) To establish standards for the design and construction of transportation networks throughout the City of Kenai right-of-ways.
- (2) To provide information and guidelines for the design, construction, and upgrade of roads within rights-of-way.
- (3) To develop and maintain a safer and more efficient transportation system.
- (4) To minimize operation & maintenance efforts.

SECTION A. STREET DESIGN

A1 General

These provisions establish appropriate standards for the design of roads. The purpose of these provisions is to:

- (1) promote the safety and convenience of motorized and non-motorized traffic;
- (2) promote the safety of residents and users;
- (3) minimize the long-term costs for maintenance and repair; and
- (4) provide guidelines and standards for public use

A2 Applicability

These standards apply to the design and construction of all subdivision road improvements and construction within the City of Kenai (COK).

A3 Street Classifications

Roads within the COK fall within one of the following functional classifications as defined by the State of Alaska Department of Transportation, Interstate, Principal Arterial, Minor Arterial, Major Collector, Minor Collector, and Local Road. Functional classification of a road is based on its function, design, and current potential use. The functional classification of existing roads abutting or affecting the design of a subdivision or land development may be reviewed during the preapplication process. Existing mapping can be found here,

<https://akdot.maps.arcgis.com/home/webmap/viewer.html?webmap=8d34059bbfed4fada20a4fdc2a138aca>

This section provides design guidance for roads falling below arterials classifications. All interstates and arterials located within City of Kenai are owned, designed and maintained by the Department of Transportation. Local road, and collector functions including residential, residential sub-collector, residential collector, commercial, and pioneer road classifications are covered in this guide.

City of Kenai Road Classification Map included as Appendix 1.

A3.1 Residential Street

Residential streets are local roads intended to carry the least amount of traffic at the lowest speed. The Residential Street will provide the safest and most desirable environment for a residential neighborhood. Developments should be designed so that all, or the maximum number possible, of the homes will front this class of street.

A3.2 Residential Sub-Collector Street

Residential Sub-collector streets are local roads that carry more traffic than Residential streets.

A3.3 Residential Collector Street

Residential Collector streets are the highest order of residential streets and are a type of collector. In large residential developments, this class of street may be necessary to carry traffic from one neighborhood to another or from the neighborhood to other areas in the community. Residential Collector streets should offer minimal direct access points.

A3.4 Pioneer Road

Pioneer Roads are intended to allow road development to access lots through undeveloped Right-of-Way and may only be used where allowed by COK. This classification establishes minimum requirements for roads providing physical access, but should otherwise be designed to Residential, Residential Sub-Collector or Residential Collector standard as required by this section. No COK maintenance will be provided for Pioneer Roads. Pioneer Roads may be constructed no less than ½-width as required by the classification and be offset from the centerline of the ROW to facilitate future expansion. COK may require engineering or construction of a Pioneer Road at a higher classification if future development of a ROW is anticipated.

A3.5 Commercial Street

Commercial Streets serve corridors with large amounts of adjacent commercial land uses. Commercial streets should emphasize convenient vehicular traffic movement and access to adjacent properties.

A3.6 Alleys

Alleys are permitted provided legal and physical access conforms to COK or other applicable code. Alleys provide secondary access to lots. No COK maintenance will be provided for Alleys.

A4 Design Criteria

The minimum design criteria for Residential, Residential Sub-Collector, Residential Collector streets, Pioneer Roads, and Commercial Streets are set forth in Table A-1. Any unspecified design criteria shall meet or exceed the design criteria for the roadway design speed in the latest edition of *A Policy on Geometric Design of Highways and Streets* (AASHTO). Higher design speeds may require corresponding changes to other design parameters such as alignment and will be proposed by design engineer and approved by City.

Commercial streets should be designed to meet the standards of AASHTO, International Fire Code (IFC), and any other applicable standards or code along with the COK code.

Table A-1: Design Criteria

	Unit	Residential	Residential Sub-Collector	Residential Collector	Pioneer Road	Commercial
Average Daily Traffic	VPD	≤400	401 – 1000	1001 – 3000	–	–
Typical Section						
ROW Width ¹	ft	60	60	60	60	60
Lane Width	ft	10	11	12	11	14
Standard Gravel Shoulder Width	ft	2	2	2	0	2
Shared Paved Shoulder Width ²	ft	4	4	6	N/A	6
Roadway Width	ft	24	26	28	12	32
Foreslope ³	h:v	3:1	3:1	3:1	2:1	3:1
Backslope ⁴	h:v	2:1	2:1	2:1	2:1	2:1
Crown, gravel	%	3	3	3	3	3
Crown, pavement	%	2	2	2	2	2
Engineering Criteria						
Design Speed ⁶	mph	25	25	25	25	25
Stopping Sight Distance	ft	155	155	155	155	155
Horizontal Alignment						
Minimum Centerline Radius	ft	225	225	225	225	225
Minimum Tangent Between Curves	ft	100	100	100	100	100
Vertical Alignment						
Maximum Centerline Grade	%	10	10	10	10	6
Minimum Flow Line Grades	%	0.5	0.5	0.5	0.5	1
Intersections						
Minimum ROW Corner Radius	ft	30	30	30	30	45
Minimum Curve Return Radius ⁵	ft	20	25	30	20	40
Maximum Grade on through street within 50 feet of intersection	%	4	4	4	-	4

¹ Minimum ROW required for new dedications; width of existing ROW may vary.

² An optional paved shoulder may be provided on one or both sides of paved streets for non-motorized shared use.

³ Install guardrail when required by the latest edition of the *Roadside Design Guide* (AASHTO).

⁴ 2:1 Back slopes may be steepened to 1.5:1 if cuts exceed 5 feet and appropriate slope stabilization, as determined by the design engineer, is used. Retaining walls may be used to replace or augment backslopes.

⁵ 40-foot minimum curve return radius at intersections with higher order streets.

⁶ Posted speeds are variable and approved by COK. Design speeds may be increased as approved by COK.

A5 Typical Section

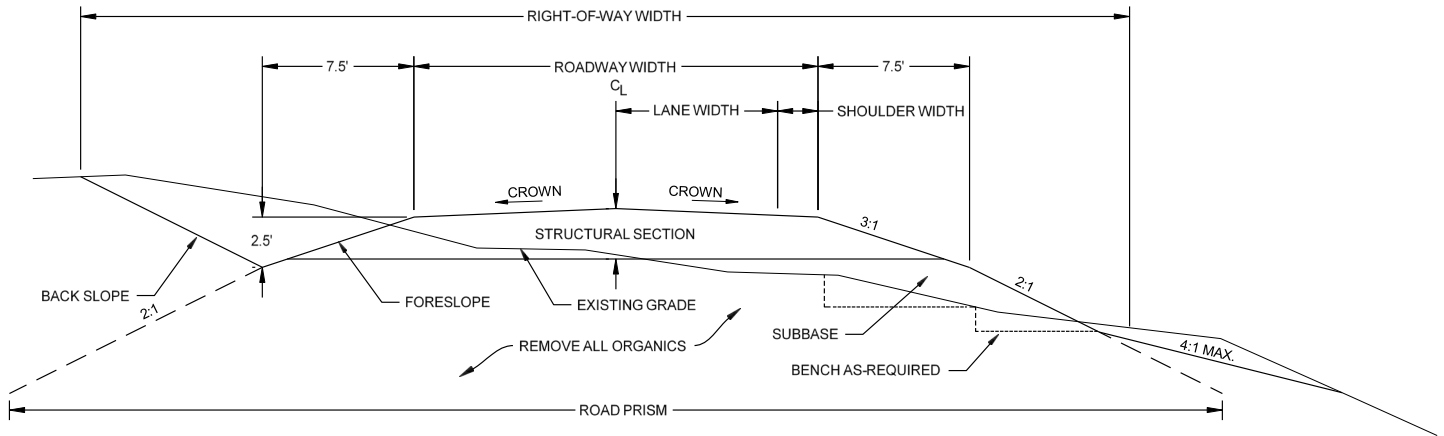


Figure A-1: Typical Section

A6 Turnarounds

Streets with only one inlet shall terminate with a constructed turnaround, unless otherwise provided by A6.2. 24' road width shown in variable based on street classification.

A6.1 Cul-de-sac Turnarounds

- (a) A cul-de-sac turnaround with a drivable surface diameter (shoulder to shoulder) of 96 feet centered in a ROW diameter of 120 feet shall be provided at the terminus.
- (b) Cul-de-sac turnarounds shall meet the configuration and dimensions shown in Figure A-2.
- (c) The grade throughout the surface of a cul-de-sac, as depicted in the shaded portion of Figure A-2, shall not exceed 4 percent.

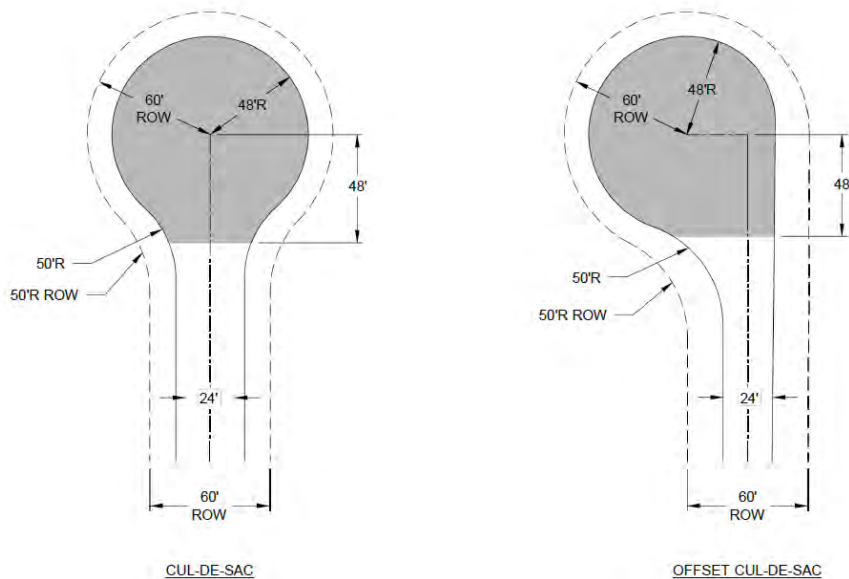


Figure A-2: Cul-de-sac Options

A6.2 Alternate Turnarounds

- (a) COK may permit a street to terminate with an alternative turnaround that meets fire code when such a design is required by extreme environmental or topographical conditions, unusual or irregularly shaped tract boundaries, insufficient room for a cul-de-sac, or when the location of the turnaround is intended to become an intersection.
- (b) Alternate turnarounds shall meet the configuration and dimensions shown in Figure A-3.
- (c) The grade throughout the turnaround surface, as depicted in the shaded portion of Figure A-3, shall not exceed 4 percent.

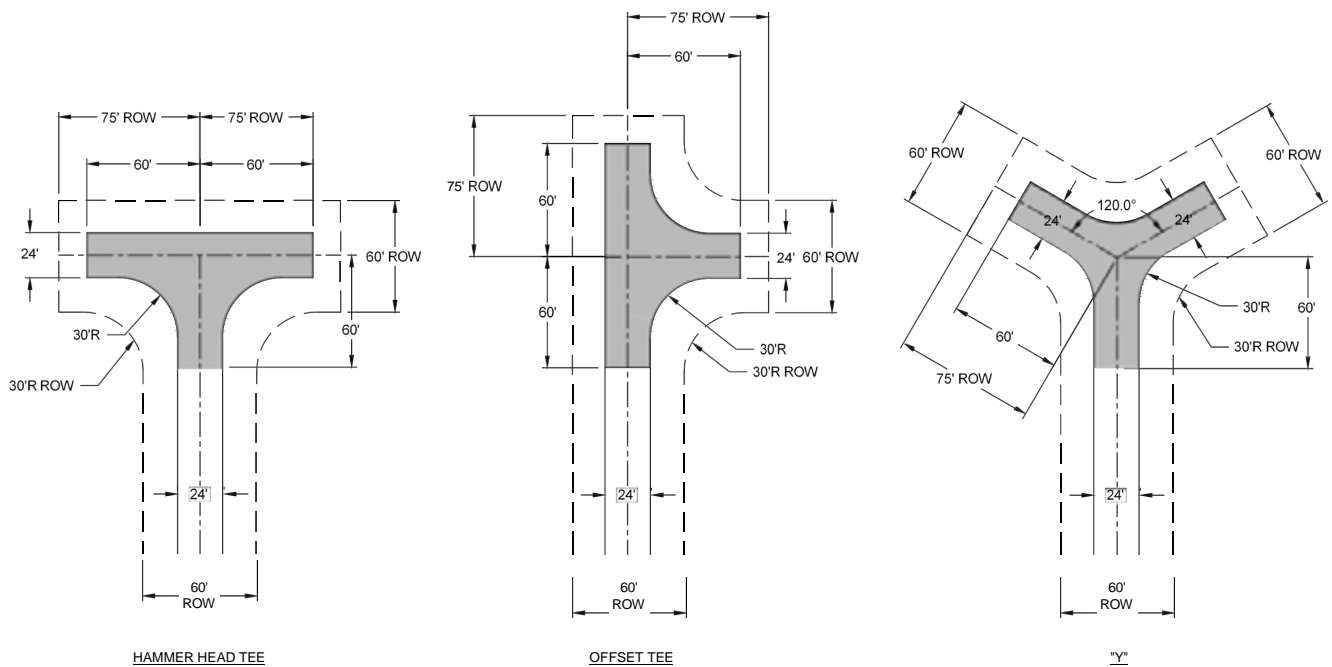


Figure A-3: Alternate Turnarounds

A7 Stub Streets

A7.1 Stub Street Construction

No construction is required if physical access is provided to all lots by adjoining streets as required by COK or other applicable code.

A7.2 Temporary Turnarounds

Stub streets requiring construction that exceed 200 feet in length (measured from the intersection point to the end of required construction) will meet the requirements of A6.1 or A6.2. A temporary easement will be provided for the turnaround, which will automatically terminate upon extension of the street and physical removal of the turnaround. The centerline grade on stub streets without turnarounds shall not exceed 4%.

A8 Intersections

A8.1 Intersection Sight Distance

- (a) Whenever a proposed street intersects an existing or proposed street of higher order, the street of lower order shall be made a stop-controlled street, unless alternate intersection control is used as allowed by this subsection.
- (b) Stop controlled streets shall be designed to provide intersection sight distance as specified in this subsection, Table A-2, and Figure A-4.
- (c) The entire area of the intersection sight triangles shown in Figure A-4 shall be designed to provide a clear view from point A at 3.5 feet above the roadway to all points 3.5 feet above the roadway along the lane centerlines from point B to point C and point D to point E.
- (d) Sight distances less than the recommended shall only be used when there are topographical or other physical constraints outside of the applicant’s control.
- (e) The minimum sight distances listed in Table A-2 are for a passenger car to turn onto a two-lane undivided street and minor road approach grades of 3 percent or less. For other conditions, the minimum sight distance should be calculated by the applicant’s engineer according to *A Policy on Geometric Design of Highways and Streets* (AASHTO).
- (f) Sight distances less than the minimum, where no other options exist, will require alternate intersection control or warning signs as determined by the Applicant’s engineer and approved by COK.
- (g) Intersection sight triangles shall be located in their entirety within ROW or a sight distance maintenance easement.
- (h) Yield controlled intersections shall conform to sight distance requirements according to *A Policy on Geometric Design of Highways and Streets* (AASHTO).
- (i) Intersections with state or other municipal ROW are subject to their respective requirements and review.

Table A-2: Recommended and Minimum Intersection Sight Distance

Design Speed or Posted Speed Limit (whichever is greater)	S _d Recommended	S _d Minimum
MPH	Ft	ft
15	225	170
20	300	225
25	370	280
30	450	335
35	580	390
40	750	445
45	950	500

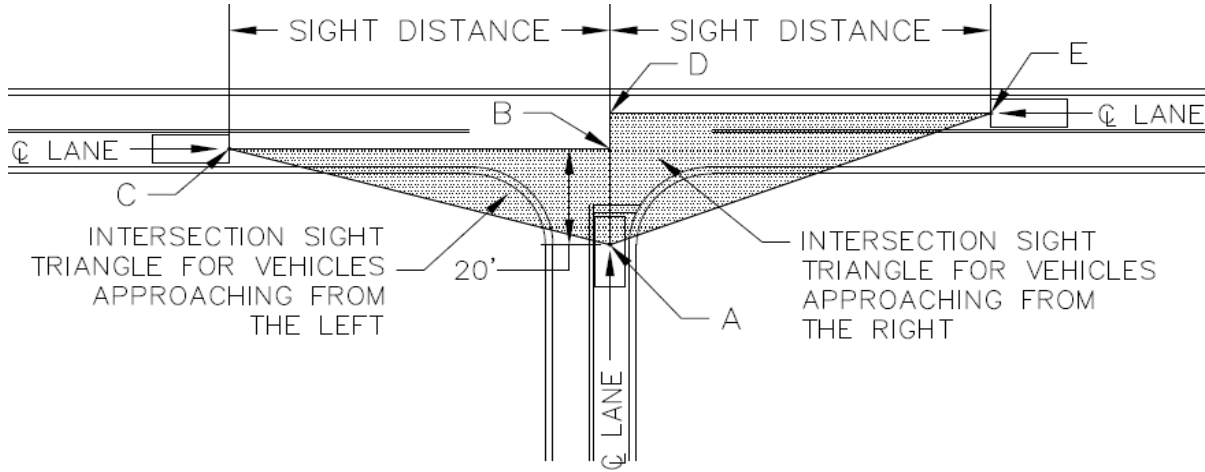


Figure A-4: Intersection Sight Distance

A8.2 Intersection Spacing

- (a) Minimum centerline to centerline distance between intersections on the same side or opposing sides of the through street shall be:
 - (1) 155 feet on Residential streets;
 - (2) 200 feet on Residential Sub-Collector streets; or
 - (3) 300 feet on Residential Collectors and Commercial streets.
- (b) If the above spacing along the through street cannot be met, intersections shall be aligned directly across from each other.
- (c) Where pre-existing conditions do not allow for the above spacing and no other legal access exists, alternate spacing or offset most closely meeting (a) or (b) above may be allowed.
- (d) Additional intersections should be avoided within the functional area of major intersections with turning bays and approach tapers. Exceptions require COK approval based upon constraints and no other feasible alternatives.

A8.3 Minimum Intersection Angle

Streets should intersect with a straight segment at an angle as close to 90° as possible, but no less than 70°, for a minimum of 75 feet from the intersection point, as shown in Figure A-5.

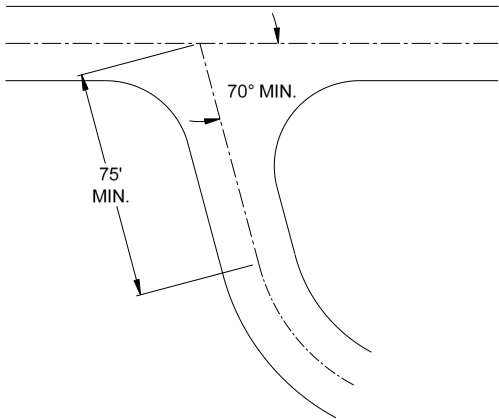


Figure A-5: Intersection Angle

A8.4 Landing

Controlled streets shall be provided with a typical 30-foot landing, conforming to Figure A-6, at its approach to a through street. The landing shall be sloped to match the crown of the through street. Vertical curves shall not be located in the landing to the extent feasible. Where a negative slope away from the through street is not feasible due to topographical constraints, the road shall be constructed in a manner that prevents water from flowing onto the through street.

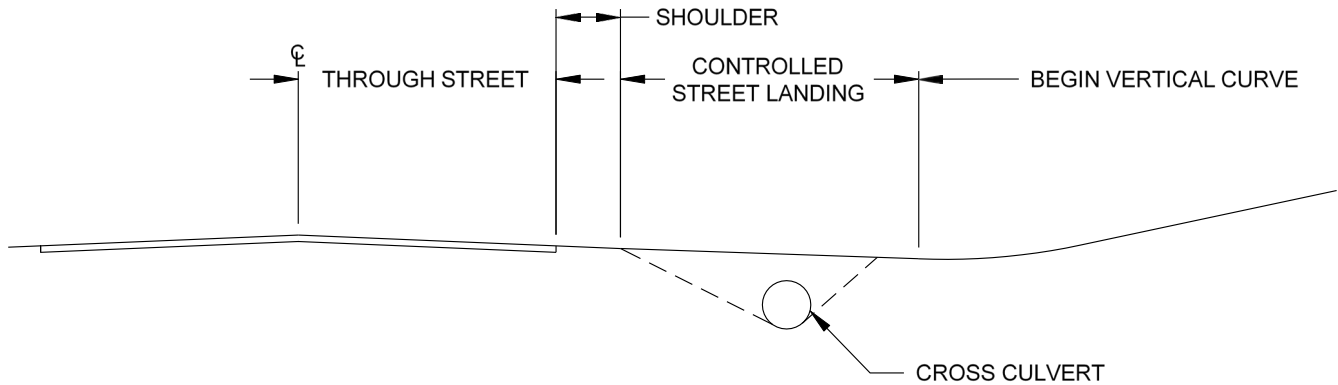


Figure A-6: Controlled Street Landing Profile

A8.5 Paved Apron

A proposed street, not requiring pavement, which intersects an existing paved street shall be provided with a paved apron 30 feet from the edge of the existing pavement.

A9 Driveways

Driveways are not usually required to be constructed within the ROW at time of road construction. However, if an applicant chooses to construct driveways, driveway permits are required. An individual permit is required for each individual driveway along a road construction project. A driveway permit application can be obtained from COK.

Maximum width of driveways shall be 30 feet. Waivers for wider driveways must be approved through Planning and Zoning Commission. New driveways through sidewalks or multi-use pathways must conform to ADA guidelines and use parallel ramps where the cross slope does not exceed 2%. Driveways connected to paved roads at a minimum must have a 2" thick, 2' wide apron extending off the edge of the paved roadway.

Access onto State of Alaska or Kenai Peninsula Borough owned roads is regulated by those agencies and must conform to their requirements. COK does not require a COK Driveway Permit for access onto these roads, but the approved permits from the proper agency will be required for submittal for development of the lot.

A10 Bicycle and Pedestrian Paths

Bicycle and pedestrian paths constructed within public ROW shall conform to the current edition of *Guide for the Development of Bicycle Facilities* (AASHTO), and any other applicable local, state, and

federal requirements.

A11 Signage

Signs shall be provided and installed by the applicant in conformance with the latest edition of the *Alaska Traffic Manual* (ADOT&PF) and the *Alaska Sign Design Specifications* (ADOT&PF).

Signage shall be installed per Figure A-7, A-8 and A-9.

Install sign posts according to soil conditions. In firm soils, drive the post to a minimum depth of 30" or refusal. In loose soils use Figure A-9, excavate the post foundation 24" in diameter and depth specified based on sign area, place the base of the post in the bottom of the hole and backfill with subbase material to existing grade. Compact the backfill with a tamping bar or other method until firm. Soil conditions and point of refusal will be determined by Designer of Record or City Representative.

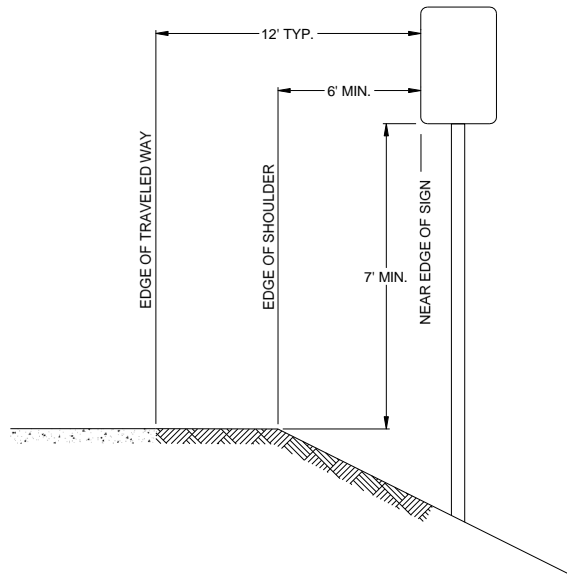


Figure A-7: Sign Placement

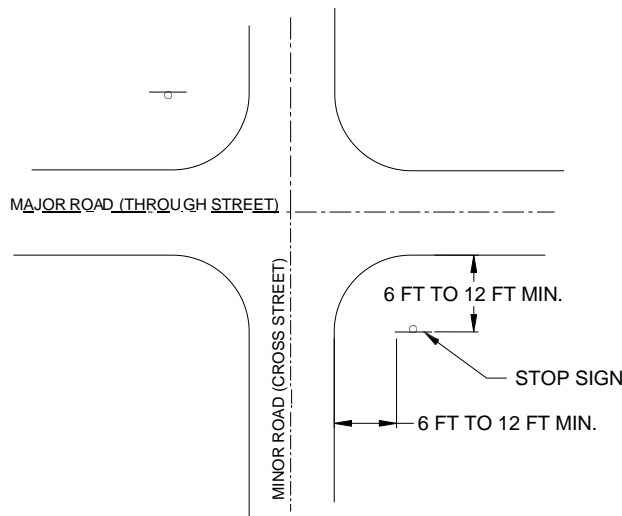
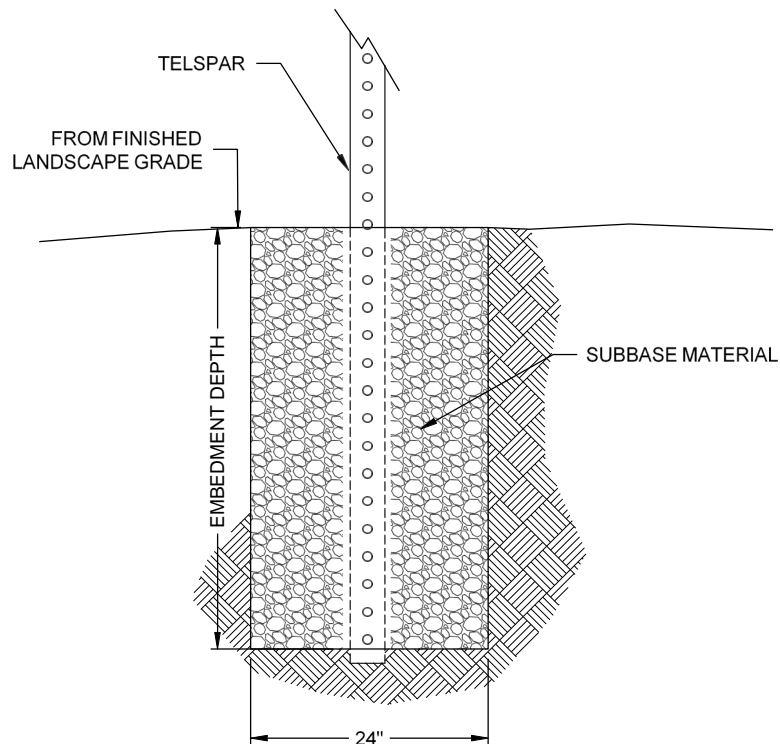


Figure A-8: Stop Sign Location



PERFORATED STEEL TUBES (P.S.T.) (12ga. - 0.105" WALL THICKNESS)		
SIGN SURFACE AREA SQUARE FOOT	POST SIZE	EMBEDMENT DEPTH
7' OR LESS	2" x 2"	30"
GREATER THAN 7'	2-1/2" x 2-1/2"	36"

Figure A-9: Foundation for Sign Post

A12 Average Daily Traffic

The following formula shall be used to determine the required classification of streets: ADT = Number of lots x 10 for single-family residential use. ADT for commercial streets shall be determined by design engineer.

A13 One Way Streets

One way streets shall be allowed to reduce the minimum lane width by half. All streets should handle two way traffic if feasible and request to develop a one way street must be submitted for approval with supporting information to develop one way street.

A14 Access-Driveway Standards

- (a) The average access point spacing on roads, where other access standards do not exist, shall not exceed the minimums listed in Table A-3, based on the posted speed limit. Average access point spacing is calculated per segment and is equal to the segment length divided by the number of access points on both sides of the street. Undeveloped lots with only access to the major road corridor are counted as having at least one access point.

- (b) When the average access point spacing on a segment of an existing major road corridor is less than the minimum listed in Table A-3, the average access point spacing shall not decrease due to the subdivision.
- (c) On Roads with a speed limit of 25 mph or lower, the minimum spacing between the edges of adjacent driveways on the same side of the street shall be 35 feet.
- (d) Minimum corner clearance for a driveway to a corner lot shall be 50 feet from the property corner to the driveway edge.
- (e) Deviations in minimum spacing between access points or distances from corners may be administratively approved through Driveway Permit process.

Table A-3: Average Access Point Spacing

Posted Speed Limit (mph)	Minimum Average Access Point Spacing (feet)
30	250
35	300
40	360
45	425

A15 Paving

Asphalt Paving may be required by COK. Paving may be required if extending a new road off an existing paved road and/or providing a connection between two paved roads. Isolated roadways that do not connect to existing paved roadways will not be permitted to be paved and COK would likely require paving of connecting streets until main access is reached.

A16 Design Deviations

Design deviations will be considered to address extenuating circumstances including but not limited to: existing substandard ROW, environmental conditions, or existing utilities or other structures. Design deviation requests shall be submitted in writing and contain supporting information, justification, and suggested solutions.

Section B. CONSTRUCTION REQUIREMENTS

B1 General

This section establishes minimum construction requirements. Prior to any ground disturbing activities, call the Alaska Dig Line for utility locates in accordance with AS 42.30.400. Work in the ROW requires an approved License to Excavate in Public ROW and an approved Individual Project Permit for Excavation in or Adjacent to City ROW, both through COK.

B2 Road Construction

B2.1 Clearing

Cut and dispose of all trees, down timber, stumps, brush, bushes, and debris. Cut trees and brush to a height of not more than 6 inches above the surrounding ground. Clear the ROW, slope easements, and sight distance triangles. Where ROW exceeds 60 feet, clear a minimum of 60 feet. Clear utility easements, if used, for utilities constructed with the development.

B2.2 Grubbing

Remove and dispose of all stumps, roots, moss, grass, turf, debris, or other deleterious material within the fill and cut catch limits of the road, within the ROW, and cleared utility easements for underground utilities.

B2.3 Disposal

Dispose of clearing and grubbing debris in an area designated by the applicant outside of all ROW, platted utility easements, and platted private road corridors. Organic debris 3 inches in diameter by 8 inches long, or smaller, may be left in place, outside of the road prism. Burial of cleared and grubbed organic matter within the ROW is not permitted.

B2.4 Embankment Construction

- (a) Construct the road with the required structural section, see Table A-1 and Figures A-1, B-1 and B-2 as determined by its classification.
- (b) Clear the full extents of the right-of-way. Clearing debris must be removed from the right-of-way.
- (c) Prepare the subgrade. Remove all organics from the area below the road prism and dispose of offsite. Bench existing slopes that are steeper than 4:1, measured at a right angle to the roadway, where roadway embankment is to be placed. Excavation waste may be utilized as slope flattening where slopes exceed 2:1 upon COK approval. City may require placement of geotextile fabric.
- (d) Place material meeting, or verify in-situ material meets, the requirements for Subbase specified in subsection B6 to a minimum depth as required for road classification with the upper 6 inches having no material with a diameter larger than 6 inches. Place embankment in horizontal layers not exceeding 12" thickness for the full width of the embankment and compact as specified before the next lift is placed.
- (e) Place Surface Course meeting the requirements specified in subsection B6. Finish with a 3 percent crown for a gravel road or 2 percent crown for a paved road, and compact as specified.

- (f) Compact all embankment to not less than 95 percent of the maximum dry density at the optimum moisture content.
- (g) Optimum moisture and maximum dry density will be determined by Alaska Test Method (ATM) 207 and ATM 212 or alternative methods approved by COK.
- (h) In-place density shall be determined by ATM 213 or alternative method approved by COK. Compaction tests on the Subbase layer shall be taken at representative locations along the roadways as follows:
 - (1) a minimum of three;
 - (2) at least one per segment;
 - (3) one additional test per 1000 linear feet, or portion thereof, when the combined length of roadway exceeds 1000 linear feet;
 - (4) at least one out of every three within three feet of the shoulder, and the remainder in the center of a driving lane.
- (i) For paved roadways, substitute Surface Course with a minimum of 2 inches of Base Course and 2 inches of Class E Asphalt Concrete Pavement per COK Standard Specifications and Figure B-2. The width of the pavement shall be equal to two lane widths plus the shared paved shoulder width, if used, and finished with a 2 percent crown. If road is ditched, pavement edges shall be backed with additional Base Course graded and compacted flush with the pavement surface and tapered to the edge of the roadway. The pavement shall be washed or swept immediately following shouldering work. If road has concrete curb and gutter, tack should be applied per COK specifications on concrete and pavement shall be compacted flush with concrete surface.
- (j) Remove all loose material exceeding 6 inches in diameter from the ditches and foreslopes. Where slopes are 3:1 or steeper and longer than 10 feet measured along the slope face, trackwalk perpendicular to the slope, or the equivalent, to form 1-inch wide grooves parallel to the road no more than 12 inches apart. Stabilize foreslopes outside of structural section with topsoil and seed. Stabilization may be allowed to establish during warranty period. Other stabilization methods must be approved prior to placement.
- (k) Permanently stabilize backslopes with topsoil and seed. Stabilization may be allowed to establish during the warranty period. Other stabilization methods must be approved prior to placement.
- (l) Cross drainage culverts, minimum 18-inch diameter, will be installed where determined necessary and 30-inch ditches will be provided for drainage.
- (m) Geotextile shall be utilized when specified by Designer of Record.
- (n) All material testing is the responsibility of the Developer. Testing records will be made available to the COK prior to final approval. Tests need to meet or exceed specification referenced above. Designer of Record shall be present onsite to observe material testing.

B2.5 Unsuitable Subgrades

When structurally unsuitable material such as peat, saturated material, or permafrost are present within the ROW, provide an appropriate structural design for approval by COK, according to Section E, prior to construction. Place embankment to a depth that will produce a stable road surface with a final grade 18 inches above the surrounding ground.

B3 Pioneer Road Construction Requirements

Pioneer Roads shall meet the requirements of Table A-1 and Figure A-1. Place material meeting, or verify in-situ material meets, the requirements for Subbase specified in subsection B6 to the minimum depth of 24 inches. Additional road embankment may be required to provide a stable road surface. Surface course is not required. Roads may be constructed no less than ½-width and offset from the centerline of the ROW to facilitate future expansion of the road. Cross drainage culverts, minimum 18-inch diameter, will be installed where determined necessary and 24-inch ditches will be provided for drainage. Drainage galleries may also be required by City upon review. Developer shall schedule City of Kenai staff for two inspections to construct Pioneer Roads consisting of one inspection to verify existing ground after clearing, grubbing and removal of organics from the road prism and a second inspection to verify installation of road. City may require installation of geotextile fabric under subbase if soils contain too much silt.

Pioneer Roads will not be maintained by COK. They are required to be constructed to a standard that could allow them to be expanded to meet the requirements of a Residential Street in the future that COK would maintain. They are not generally required to be designed by an Engineering Professional, but do require a permit be submitted and approved prior to construction.

Pioneer Roads will not be allowed to be paved unless designed by an Engineering Professional and the road meets all requirements of Section B. Road would need to be upgraded to meet paving requirements.

B4 Winter Construction

Winter construction may be allowed. Plan for winter construction must be submitted and approved by COK. COK will not accept any roads until all ground has thawed and any settlement areas corrected.

B5 Alternate Methods and Materials

Use of alternate materials and road construction methods that will more appropriately fit the conditions of the specific road locations, following general engineering practices, may be proposed by the applicant or their engineer in writing. Final acceptance of such plans must be approved by COK.

B6 Materials

B6.1 Subbase

- (a) Is aggregate containing no muck, frozen material, roots, sod, or other deleterious matter;
- (b) has a plasticity index not greater than 6 as tested by (ATM) 204 and ATM 205; and
- (c) meets the requirements of Table C-2, as determined by ATM 304.
- (d) Bottom 12 inches of Subbase may be substituted with native in-situ material consisting of non-frost susceptible material free from organics, with <6% passing the No. 200 sieve. Must be approved by Designer of Record and/or COK.
- (e) If an existing gravel road is going to be paved, upper 6 inches of existing Surface Course shall be approved in lieu of subbase shown on Figure B-2.

B6.2 Base Course

- (a) Crushed stone or crushed gravel, consisting of sound, rough, durable pebbles or rock fragments of uniform quality;
- (b) free from clay balls, vegetable matter, or other deleterious matters;
- (c) meets the requirements of Table B-1; and
- (d) meets the requirements of Table B-2, as determined by ATM 304.

B6.3 Surface Course

- (a) Is a screened or crushed gravel, consisting of sound, rough, durable pebbles or rock fragments of uniform quality;
- (b) free from clay balls, vegetable matter, or other deleterious matters; and
- (c) meets the requirements of Table B-2, as determined by ATM 304.

Table B-1: Aggregate Quality Properties for Base Course

Property	Test Method	Base Course
L.A. Wear, %	AASHTO T 96	50, max
Degradation Value	ATM 313	45, min
Fracture, %	ATM 305	70, min
Plastic Index	ATM 205	6, max
Sodium Sulfate Loss, %	AASHTO T 104	9, max (5 cycles)

Table B-2: Aggregate Gradations

Sieve Designation	Subbase	Base Course	Surface Course
4 inch	95 to 100		
2 inch	85 to 100		100
1 inch		100	100
3/4 inch		70 to 100	70 to 100
3/8 inch		50 to 80	50 to 85
No. 4	30 to 60	35 to 65	30 to 65
No. 8		20 to 50	20 to 60
No. 50		6 to 30	15 to 30
No. 200	0 to 6	0 to 6	6 to 10

(Percent Passing By Weight)

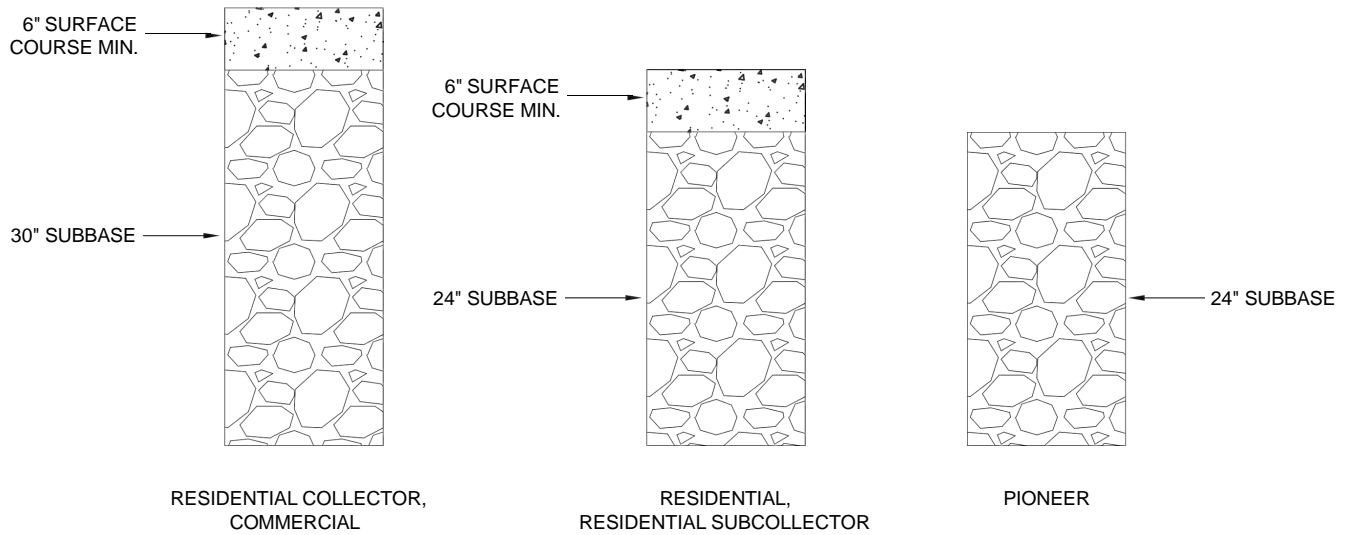


Figure B-1: Structural Sections for Gravel Roads

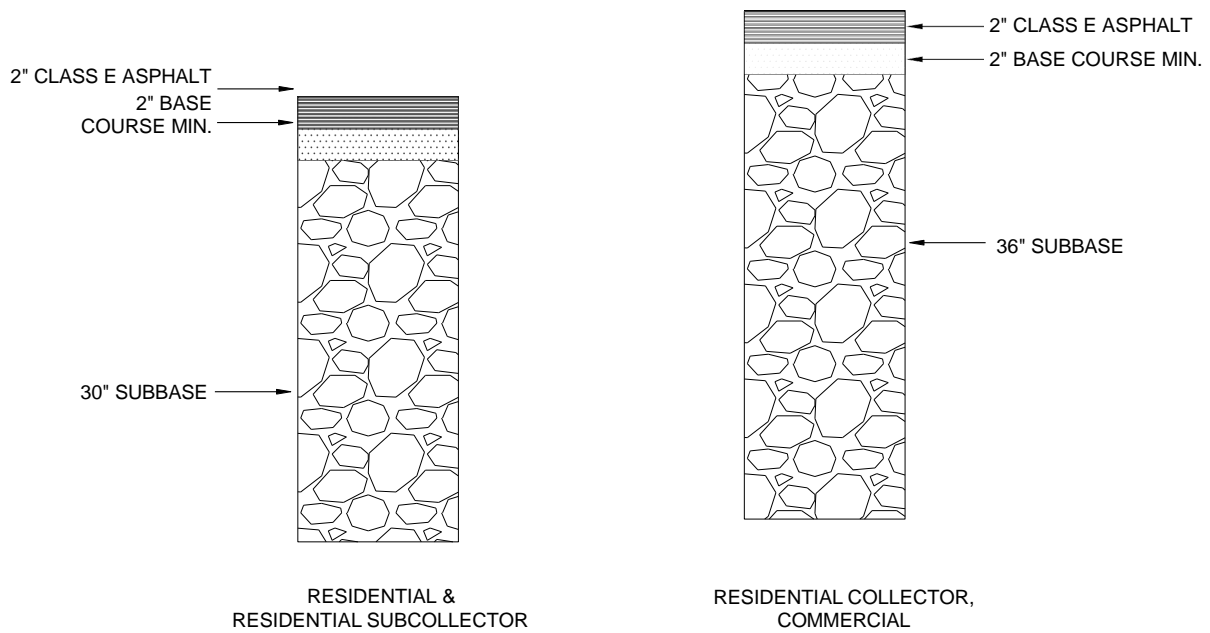


Figure B-2: Structural Sections for Paved Roads

SECTION C. DRAINAGE

C1 General

The purpose of this section is to ensure that stormwater management is provided with ROW development activities. Responsible stormwater management is the treatment, retention, detention, infiltration, and conveyance of stormwater and other surface waters without adversely impacting adjoining, nearby, or downstream properties and receiving waters.

C2 Requirements

A drainage plan is required for road construction projects. It is the applicant's responsibility to comply with all other applicable federal, state, and local codes and regulations including, but not limited to work in wetlands or flood plains.

The Applicant may request a waiver to this section. Waiver must be submitted and approved by COK. Justification for waiver may include, but is not limited to, sites where drainage is established and will not be altered or the construction will not substantially modify drainage on or through the project area.

C2.1 Drainage Plan

Submit a Drainage Plan, prepared by an engineer or other qualified professional registered in the State of Alaska, with the preliminary ROW construction permit application. The preliminary drainage plan shall show the project site and depict the following:

- (a) Existing and proposed property lines, the OHWM of water bodies, and existing mapped flood hazard areas if applicable.
- (b) Existing topography, with minimum 5-foot contour intervals.
- (c) Existing features that convey or retain drainage, including but not limited to: water bodies, wetlands, natural valleys, swales, ditches, check dams, culverts, and pipe systems.
- (d) Proposed drainage pattern and features, both constructed and natural, on site. Identify conveyance types, flow directions, and any drainage changes that may affect adjacent property if applicable.
- (e) Proposed stream crossings and anticipated culvert sizes. Identify fish-bearing streams.
- (f) Identify design elements, with supporting runoff calculations, necessary to show compliance with the drainage design criteria set forth in C3. No calculations required for ditching, curb and gutter, or driveway culverts.
- (g) Fish passage culvert plans and permits, if applicable.

C2.2 Subdivisions or Large-Scale Development

COK may require development of storm water structures within ROW or adjacent properties to manage storm water for a large development. Drainage plan shall be reviewed by COK to determine if existing infrastructure is sufficient for development or requires new storm water management structures as a part of the development. COK may require more conservative design criteria than Section C3 upon their review of development and existing infrastructure.

C3 Drainage Design Criteria

- (a) Design a drainage system for the project site for conveyance of a 10-year, 24-hour storm.
- (b) Retain natural drainage patterns to the extent possible.
- (c) Changes to drainage patterns must not adversely affect adjacent property or ROW.
- (d) Base the size and capacity of the drainage system on runoff volumes and flow rates assuming full development of the catchment area.
- (e) Drainage to state or other municipal ROW are subject to their respective requirements and review.

C4 Drainage Ditches

Stabilize ditches with gravel, turf, or rock riprap. See Table C-1 and Table C-2 for most common conditions and acceptable ditch lining materials.

Normal ditch depth shall be 30 inches and according to the typical section shown in Figure A-1. The design peak flow required by C3 shall be conveyed within ditches with a minimum freeboard of 12 inches.

Table C-1: Ditch Stabilization

Flow (cfs)	Ditch Slope (ft/ft)										
	0.005	0.01	0.02	0.03	0.04	0.05	0.06	0.07	0.08	0.09	0.10
2.0	A	A	A	A	A	A	A	A	A	A	A
4.0	A	A	A	A	A	A	A	A	B	B	B
6.0	A	A	A	A	A	A	B	B	B	B	B
8.0	A	A	A	A	A	B	B	B	B	B	B
10.0	A	A	A	A	B	B	B	B	B	B	C
20.0	A	A	A	B	B	B	C	C	C	C	C
30.0	A	A	A	B	B	C	C	C	D	D	D
40.0	A	A	B	B	C	C	C	D	D	D	E
50.0	A	A	B	B	C	C	D	D	D	E	E
60.0	A	A	B	C	C	D	D	D	E	E	E
70.0	A	A	B	C	C	D	D	E	E	E	E
80.0	A	B	C	C	C	D	E	E	E	E	E
90.0	A	B	C	C	D	D	E	E	E	E	E
100.0	A	B	C	C	D	D	E	E	E	E	E

Table C-2: Ditch Lining Materials

Type	Material	D50 (in)	Dmax (in)	Dmin (in)	Thickness (in)
A	Native Grass, Turf, or Gravel with < 6% fines				
B	Riprap or Bone Rock	3.0	4.5	1.5	6.0
C	Riprap or Bone Rock	6.0	9.0	3.0	12.0
D	Riprap or Bone Rock	9.0	13.5	4.5	18.0
E	Riprap or Bone Rock	12.0	18.0	6.0	24.0

C5 Curb and Gutter

Curb and gutter are used throughout City on all classifications of roads. Curb and gutter is preferred in locations where stormwater collection systems are needed and require underground piping. Curb and gutter type shall be approved by COK. Curb and gutter is not allowed on Pioneer Roads.

C6 Culverts

C6.1 General Culvert Design Criteria

The following criteria apply to all cross road culverts for runoff or seasonal drainage:

- (a) The minimum culvert slope is 0.5 percent.
- (b) Culverts longer than 100 feet require appropriate maintenance access and COK approval.
- (c) Cross road culverts shall have a minimum diameter of 18 inches.
- (d) Cross road culverts shall include end-sections.
- (e) Driveway culverts, where required, shall have a minimum diameter of 15 inches and may be galvanized steel corrugated metal pipe, heavy gauge aluminum corrugated metal pipe or corrugated polyethylene plastic pipe.
- (f) Culverts shall be sized to convey the design peak flow required by C3.
- (g) In lieu of plastic pipe, corrugated metal pipe (CMP) gauges must be minimum:
 - (1) 16 gauge galvanized steel on Residential and Residential Subcollector streets;
 - (2) 12 gauge galvanized steel on Residential Collector and minor collector streets; or
 - (3) 16 gauge aluminum or aluminized if needed due to soil or water conditions.
- (h) Design and install energy dissipation rock aprons at culvert outlets in accordance with Hydraulic Engineering Circular No. 14 (FHWA).
- (i) Install culverts in accordance with the manufacturer's recommendations for the anticipated traffic loads.

C6.2 Stream Crossing Culvert Criteria

The following criteria apply to all stream crossing culverts:

- (a) Contact the ADFG, Division of Habitat to determine if a stream reach harbors fish. If so, stream crossing culverts shall be designed, constructed, and maintained according to C7.
- (b) Stream crossing culverts shall be placed as close to the pre-existing channel alignment as possible. Avoid placing culverts at pools and stream bends.
- (c) Road alignment shall be as close to perpendicular to the stream channel as possible.
- (d) Culvert slope shall be within 25 percent of the natural stream slope. For example, if the natural stream slope is 1.0 percent, the minimum design slope of the culvert would be 0.75 percent and the maximum design slope would be 1.25 percent.
- (e) Culvert outlet and inlet protection shall be used as necessary to reduce the risk of scour and perching.
- (f) Stream crossings shall be composed of a single pipe or arch for the main stream channel.
- (g) Overflow culverts may be used but should be placed at a higher elevation so that flows up to the OHWM pass through the primary culvert.
- (h) Stream crossings shall maintain the connectivity of wetlands adjacent to stream channels and shall accommodate sheet flow within such wetlands.

- (i) Stream crossing culverts shall not interfere with the functioning of floodplains and shall be designed to convey the design peak flow required. Non-Regulated streams shall be designed for a 10-year, 24-hour event and Regulated streams shall be designed for a 100-year, 24-hour event. If the stream crossing culvert is not designed to accommodate the 100-year flow, a route must be established to safely convey flows exceeding the design peak flow without causing damage to property, endangering human life or public health, or causing significant environmental damage.
- (j) In cases of crossings within high entrenchment ratio environments, the ratio of the flood prone width to the OHWM width is greater than 2.2, floodplain overflow culverts may be beneficial to floodplain connectivity and can be used to pass the design flow. Minimum width requirements for the primary culvert still apply.
- (k) Stream crossing culverts shall have a minimum diameter of three feet.
- (l) Stream crossing culvert pipes and arches shall be metal.
- (m) Culverts longer than 100 feet require appropriate maintenance access and COK approval.
- (n) Install culverts in accordance with the manufacturer's recommendations for the anticipated traffic loads.
- (o) Alternate designs may be submitted for approval by City of Kenai.

C7 Fish Passage Culverts

Fish Passage culverts shall meet the requirements of U.S. Fish & Wildlife Service Culvert Design for Ecological Function. Fish Passage Culverts must be designed by an engineer.

C8 Stormwater Collection Systems

Stormwater collection systems must be engineered and approved by the City of Kenai and the Alaska Department of Environmental Conservation. Systems must meet the following minimum requirements.

- (a) Design system for a minimum 10-year, 24-hour event. City of Kenai may require 25-year or 100-year event depending upon review the drainage and associated stormwater collection systems.
- (b) Minimum piping diameter shall be 12" and piping may be galvanized steel corrugated metal pipe, heavy gauge aluminum corrugated metal pipe or corrugated polyethylene plastic pipe.
- (c) Manholes and catch basins shall be concrete and maximum spacing of manholes shall be 300 feet.
- (d) Minimum pipe grades shall be according to Table C-3.
- (e) Connection to an existing system may be allowed with City of Kenai approval. Engineer may be required to verify existing system is capable of supporting additional flows.

Table C-3: Stormwater Pipe Minimum Slopes

Pipe Diameter	Minimum Slope (ft/ft)
12"	0.005
15"	0.004
18"	0.003
21"	0.0025
24"	0.002
27"	0.0018
30"	0.0015
36"	0.0012

C9 Soil Infiltration Facilities

Soil infiltration may be used to reduce stormwater flow and volume with the following criteria:

- (a) Soil infiltration facilities within City ROW or drainage easements should be designed such that they are not considered Class V injection wells. Per EPA’s memorandum addressing the subject in June 2008.
 - (1) Private drainage facilities that are considered Class V injection wells require conformance with EPA regulations.

C10 Rainfall Data

C10.1 Rainfall Distribution

Intensity-Duration-Frequency and 24-hour rainfall data are furnished by NOAA Atlas 14 Point Precipitation Frequency Estimates. Use SCS Type-I Rainfall Distribution and 24-hour rainfall depth to compute runoff.

C10.2 Runoff Transformation

Use the Rational Method for estimating peak flows in drainage basins less than 200 acres and with times of concentration less than 20 minutes for design of conveyances. Use NRCS SCS Unit Hydrograph Method for estimating runoff volumes and peak flows for other conditions and applications. Other methods more appropriate for site conditions may be utilized upon COK approval.

SECTION D. SUPPLEMENTAL DESIGN ELEMENTS

D1 General

Roadways consist of many separate components that are not all applicable in every situation. When these elements are used, the following guidelines apply. Specific guidelines for the following components may be found in applicable DOT&PF or AASHTO publications. Any variation to the following guidelines must be approved by COK.

D2 Pedestrian Facilities

Pathways and sidewalks shall be designed according to AASHTO guide for the Planning, Design, and Operation of Pedestrian Facilities, the 2010 Americans with Disabilities Act Standards for Accessible Design, and the requirements of this section.

D2.1 Sidewalks

Sidewalks are generally installed on Commercial and Residential Collector roads, but can exist on Sub-Collectors and Residential roads. Sidewalks should be at least 5 feet wide and have a surface of concrete. The installation of curb and gutter for sidewalks is required.

D2.2 Multi-Use Pathways

Multi-use pathways may be installed on ROW throughout the City. Multi-use pathways must be paved asphalt and have a minimum width of 8 feet. Pathway separation should be a minimum 5 feet edge of road where feasible and roadside ditching should be in between road and pathway where feasible. Modifications will be allowed where ROW is limited.

D2.3 Accessibility Requirements

All new construction and alterations within COK ROW must be designed to be accessible for all pedestrians in accordance with ADA when applicable. The complete Americans with Disabilities Act Accessibility Guidelines (ADAAG), which is part of the regulations enforcing ADA, is available online from the U.S. Architectural and Transportation Barriers Compliance Board at www.access-board.gov.

Designs that include pedestrian facilities within COK ROW shall conform to the version of ADA Guidelines for Accessible Public Rights-of-Way in effect at the time of submittal.

The followings are examples of some design elements covered under ADAAG:

New or widened road: all pedestrian elements, including curb ramps, sidewalk cross slope, driveway cross slope, clearance around utilities, pedestrian access to adjacent commercial properties, and accessible pedestrian construction detours.

Roadway surface rehabilitation only: new and complying curb ramp for every road crossing that has both sidewalk and curb, unless there is an existing curb ramp that meets all ADA standards.

D3 Street Lighting

Lighting throughout COK consists of DOT&PF operated lighting along Kenai Spur Highway and Bridge Access Road, COK owned and operated lighting and Homer Electric Association (HEA) owned and operated lighting that is paid for by COK.

DOT&PF lighting managed by the State and is not regulated by these standards. COK lighting shall conform to COK Street Lighting Standards. HEA lighting may be installed in COK ROW at the request and/or approval of COK. HEA lighting may be installed for wayfinding or safety purposes in areas of the City where it is not cost effective to expand City owned lighting infrastructure.

City of Kenai may require street lighting be installed if expanding a residential or commercial area that City owned and operated lighting exists adjacent to and lighting would match adjacent infrastructure.

For more information on COK Street Lighting and Standards, please see 2025 Street Light Assessment.

D4 Mailboxes and Mailbox Pullouts

Installation of mailboxes or mailbox pullouts in COK ROW must be permitted through a ROW application permit. A site plan will be required with details for size of mailbox and foundation. COK may require a pullout be installed depending on location of mailbox, width of existing road and safety for queueing of vehicles in the area.

SECTION E. DEVELOPMENT IMPLEMENTATION

E1 General

This section describes the procedure that is to be followed before constructing any improvements required for constructing new residential classification or higher roads in existing ROW. The Applicant or their representative shall be the primary point of contact throughout this process.

It is the Applicant's responsibility to determine, acquire, and follow permits required by other agencies. Approval from COK does not supersede other agencies' permit requirements.

E1.1 Construction Plans

Submit construction plans to COK at least seven calendar days before the preconstruction conference. All plan drawing submittals shall be at a scale of 1-inch = 50-feet or more detailed, plottable on 11-inch by 17-inch paper. Plans must be completed and stamped by an Engineer. Construction plans shall include the following:

- (a) Drainage Plan, according to C2.1;
- (b) Road plan, profile, and cross-sections; and
- (c) As-built survey of visible improvements and utilities within and adjacent to the right-of-way;
- (d) Geotechnical information;
- (e) Copy of agency accepted permit applications or approvals required for the improvements prior to construction; and
- (f) Plans for any proposed improvements within the ROW that are outside of the scope of this manual (e.g. retaining walls or guard rails) or do not conform to the standards set forth herein, shall conform to ADOT&PF design criteria and standards.

E1.2 Preconstruction Conference

The preconstruction conference is for the purpose of reviewing and approving the Construction Documents for the required improvements. The Applicant may request scheduling of a preconstruction conference with COK after the construction plans have been submitted. The applicant, or designated representative, and the Applicant's engineer must attend the preconstruction conference. The applicant should identify any deviations from these standards.

In addition to the construction plans, the following items will be provided at or prior to the preconstruction conference:

- (a) If applicable, proof of compliance with the Alaska Pollutant Discharge Elimination System Program (ADPES);
 - (1) Acceptable proof includes a Notice of Intent (NOI), a Low Erosivity Waiver, or a determination by a qualified person that neither is needed.
 - (2) Applicant will need to include COK in APDES permit due to ownership of ROW, but applicant will be responsible for all fees.
- (b) Approximate construction schedule;
- (c) Copy of any issued permits required for the improvements prior to construction;

The Construction Plans must be signed by the applicant, or designated representative, and the engineer. Upon acceptance of the Construction Plans by COK and approval of ROW permit, COK will issue an Approval to Construct (ATC).

Some construction plans or permit approvals may take longer to develop or obtain, such as fish passage culvert plans and associated permits. Approvals to Construct from these agencies must be received and reviewed by COK before construction begins within the respective areas.

E1.3 Interim Inspections

Applicant’s engineer shall supervise all phases of construction and notify COK of changes to the approved plans. The changes should be approved by COK prior to completion of construction. Periodic interim inspections may be conducted by COK. Interim inspections may be requested by the Applicant’s Engineer. Inspections by Applicant’s engineer must be sufficient to complete as-built drawings and verify roadway was constructed per plans and specifications.

E1.5 Pre-Final Inspection

When the Applicant has determined that construction of the improvements will be substantially complete according to the approved plans, the Applicant will request a Pre-Final Inspection. The Pre-Final Inspection request must be received by September 30th and shall include a description of work yet to be completed. The Pre-Final Inspection will be scheduled to occur within 14 calendar days of the request and shall be attended by the Applicant, Engineer, and COK. A punch list will be developed, if any work items remain, at the Pre-Final Inspection.

E1.6 Final Inspection

When construction of the improvements and punch list items are complete according to the Construction Documents, the Applicant will request a Final Inspection of the improvements. The Final Inspection request must be received by October 15th. Final Inspections will cease October 31st, or when winter conditions prohibit inspection, whichever comes first. The Final Inspection will be scheduled to occur within 14 calendar days of the request and shall be attended by the Applicant, Engineer, and COK.

E1.7 Final Report

Upon COK approval of the Final Inspection, the Applicant or their designee shall submit a written Final Report to COK. The Final Report shall include:

- (a) Stamped and signed memo describing at a minimum:
 - (1) project was constructed per plans and specs with approved deviations noted on as-builts
 - (2) road standard classification (Residential Subcollector, Residential, etc.) for each road constructed
- (b) Stamped and signed final drainage plan, if required (minimum 11”x17”);
- (c) As-builts or record drawings;
- (d) Documentation verifying Surface Course thickness such as inspection forms with photos, asbuilt surveys, or alternative methods approved by COK;
- (e) Compaction test reports, as required;
- (f) Gradation tests, as required; and

(g) photos of each stage of construction.

COK will review the report and provide comments, if necessary, within 14 calendar days.

E1.8 Construction Acceptance

Upon approval of the Final Report, COK will issue a Notice of Acceptance. COK will begin maintenance operations and ownership of road at this point. COK will not perform any maintenance on new roadway

If Construction is not accepted prior to winter conditions, Applicant will be responsible for any plowing and maintenance of the road until after thawing the following spring when any remaining work items can be completed and accepted by the City.

E1.9 Warranty

All improvements are to be warrantied until October 31st of the calendar year following COK approval of the Final Inspection.

During the warranty period, the COK will be responsible for any road maintenance including, but not limited to: snow removal, maintaining a smooth road surface and crown, maintaining stabilized foreslopes and backslopes, and maintaining positive drainage. If any deficiencies arise during the warranty, COK will issue a punch list to the applicant by September 1st to allow time for completion of repairs. The applicant must notify COK of completion of repairs by October 15th for the roads to be eligible for continued maintenance on November 1st.

Maintenance may be denied, and the Certificate of Construction Acceptance revoked if deficiencies are not corrected to the satisfaction of COK. A notice may be recorded indicating to the public that the COK is not responsible for road upkeep and maintenance until such a time that the deficiencies are corrected. COK may require security to perform maintenance activities if deficiencies cannot be repaired for an extended period of time due to freezing conditions.

E2 Subdivision Agreements

If a developer plans to construct a road within a proposed ROW that has not been platted, they will need to agree to an Installation Agreement per KMC 14.10.070. Installation Agreement will be required prior to approval of drawings for construction by COK. In lieu of an installation agreement, a developer may construct a road within a proposed ROW without City approval, but to be accepted by the City for maintenance, they must follow the Development Implementation of Section E1.

E3 Pioneer Road Development

The following guidelines are for construction of a Pioneer Road within COK ROW. Applicant will need to complete a Pioneer Road Application to submit to COK for approval.

Pioneer Roads allow for roadways to be constructed in City ROW, but are not maintained by COK. The purpose is to allow for possible future expansion of Pioneer Road into a maintained road and verifying proper construction methods allows for reduced costs in future expansion.

E3.1 Construction Plans

Submit construction plans to COK at least seven calendar days before the preconstruction conference. Plans shall show location of road within ROW, proposed width and any proposed drainage features. Applicant shall identify material and gradation of material being provided for backfill and it must meet requirements of Section B.

E3.2 Preconstruction Conference

The preconstruction conference is for the purpose of reviewing and approving Pioneer Road Application. The Applicant may request scheduling of a preconstruction conference with COK after the application has been submitted. The applicant or designated representative must attend the preconstruction conference.

E3.3 Excavation and Grubbing Inspection

After approval of the application, the Applicant may proceed with excavation and grubbing within the ROW. Prior to placing any fill, applicant must complete excavation of the proposed ROW down to native, non-frost susceptible soils and removing all organics from the road prism. The applicant shall coordinate an inspection with COK staff to verify and document limits of excavation prior to allowing backfill operations to proceed. A survey the length of the ROW the development is occurring in must be completed prior to inspection to clearly delineate the limits of the ROW and to verify that all work is taking place within ROW.

E3.4 Final Inspection

After placement, grading and compaction of subbase materials to complete road construction are finished, the Applicant shall schedule a final inspection for the City to document construction. Any work items to be completed will be identified at this time and an additional inspection may be necessary. After the final construction is approved by COK, the Applicant will be provided with a Notice of Acceptance.

SECTION F. UTILITIES

F1 General

These standards apply to the design and construction of utility facilities within the COK. All utility installation within existing or proposed ROW or utility easements must comply with the provisions of COK or other applicable code, or as otherwise approved by the permitting authority.

F2 Utility Location Guidelines

F2.1 Underground Utility Facilities:

- (a) The location of utility facilities placed within the ROW shall be coordinated with COK.
- (b) Water, sanitary sewer and storm sewer will be installed per COK requirements and may be placed in the roadway. Other utilities shall be placed in utility easements where feasible or per Figure F-1. Deviations may be approved by COK through ROW Permit Application process.
- (c) Backslopes or foreslopes which extend into a utility easement should not exceed 4:1. These limits are necessary for construction equipment for utility installation.
- (d) Utility facilities paralleling the road shall not be located within 10 feet of the edge of roadway unless otherwise approved by COK.
- (e) Underground road crossings shall be buried a minimum of 48 inches below finished grade. Backfill and surface course shall be reinstalled according to the requirements of Section B, or as otherwise approved by the COK.
- (f) Conduit road crossings, if used, shall be installed in accordance with each utility company's standards and applicable code.
- (g) Standard burial depth of longitudinal utilities is 36 inches below grade. The applicant should delineate areas, such as where driveways and drainage easements are planned, where deeper burial may be needed.
- (h) Warning tape shall be installed approximately 12 inches above underground utilities during installation.
- (i) Contractor completing underground work in ROW is responsible for restoring surface to previous condition including replacement of concrete, asphalt, topsoil, and seeding. Within 1-year of completion of work, contractor is responsible to repair any issues in roadway such as settlement of subgrade or reseeding.

F2.2 Above Ground Utility Facilities:

- (a) Above ground pedestals, poles, and utility facilities shall not be located within 10 feet of the roadway, unless an alternate design meets clear zone requirements.
- (b) Above ground pedestals, poles, and utility facilities shall not be located such that they substantially block intersection or driveway sight triangles.
- (c) Unless otherwise authorized by COK, above ground pedestals, poles, and utility facilities shall not be located within the ROW nearer than 40 feet from the point of intersection of the extension of the property lines at any existing or proposed intersection on Residential Collector streets or higher classification.

- (d) Above ground pedestals, poles, and utility facilities shall not be located within a common access easement or drainage easement, within 20 feet of a common access point, or within 10 feet of a roadway cross culvert.
- (e) All guy wires installed within the ROW or utility easements adjacent to, or near to a roadway shall have a minimum 8-foot long yellow delineator installed above the anchor.
- (f) Pedestals located within the ROW shall be located within the outer 1 foot of the ROW.

F2.3 Separation of Utilities:

- (a) Recommended 5-foot horizontal separation between power poles and buried utilities.
- (b) Recommended minimum 1-foot physical separation between all underground utilities.
- (c) Separation of storm, sewer, and water utilities shall meet the requirements of the Alaska Department of Environmental Conservation.

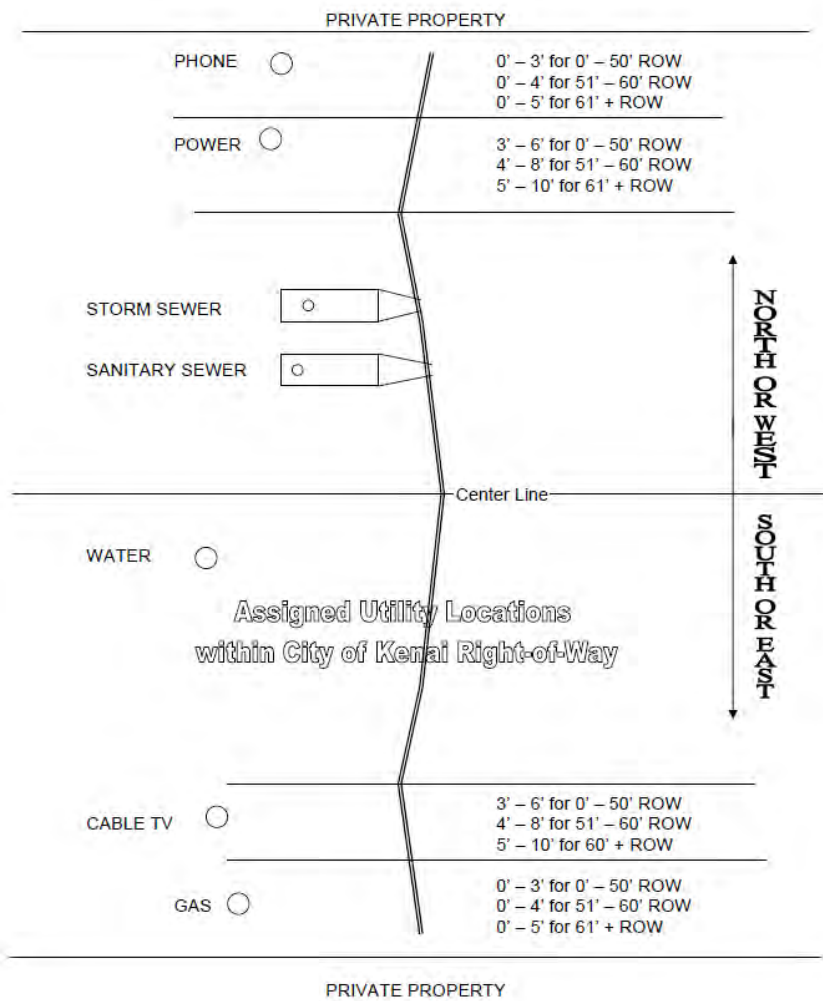


Figure F-1: Utility Locations

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MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
FROM: Kathy Romain, Senior Center Director
DATE: April 27, 2027
SUBJECT: **Action/Approval – 2025 Workplan Summary**

The Council on Aging Commission met on March 12, 2026, and approved the 2025 Workplan Summary. The Commission voted to carry forward two of the three priority items into the 2026 Workplan for further development and expansion.

Thank you for your consideration.

SUMMARY OF REPORT

The Council on Aging identified three objectives on their 2025 Work Plan. One of the three objectives were completed and the others will be continued through 2026.

MISSION STATEMENT

The mission of the Council on Aging is to advise the Mayor, City Council, Director, and the City of Kenai, of the needs of the elderly in the area, support the programs which enable the continued independence of senior citizens and serve as an advisory committee.

HIGHLIGHTS

1. Identify Opportunities for Intergenerational Programs
2. Review Emergency Plan for the Kenai Senior Center
3. Identify Programs & Activities for Health & Wellness

ACCOMPLISHMENTS



1. Identify Opportunities for Intergenerational Programs

A letter was mailed to local schools, colleges, and kid's programs to explore opportunities for coordinating intergenerational programs.

Responses were received and acknowledged.

2. Review Emergency Operation Plan for the Kenai Senior Center

The Emergency Operation Plan and the Continuity of Operations was presented to the Commission.

The Commission recommended approving the plans.

3. Identify Programs & Activities for Health & Wellness

Identified 9 major areas impacting health and wellbeing.

Currently working on a booklet to provide information and resources to help seniors.

EDUCATION AND OUTREACH





MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
FROM: Kathy Romain, Senior Center Director
DATE: April 27, 2027
SUBJECT: **Action/Approval – 2026 Workplan**

The Council on Aging Commission met on March 12, 2026, and approved the 2026 Workplan. The Administration supports and concurs with the Commission's 2026 Workplan.

Thank you for your consideration.

INTRODUCTION

This area should include the advisory body's missions' statement and include a brief description of the overall purpose of the commission.

Note: Work plans developed by the advisory body will be submitted to the City Council for approval; therefore, it is a good idea to align the goals and objectives with city code, policy and the City of Kenai Comprehensive Plan.

Instructions: In the space provided below, identify an issue or goals (objective) your commission would like to address in the upcoming year, the information provided should include plans on how to address those issues. This item should include information regarding additional staff resources and/or community volunteers needed; funding resources, are funds available in the budget if not are you proposing council include funding in the upcoming budget cycle; and how long is it expected to obtain the objective. Please prioritize the objectives of your group with number one (1) being the top priority (objective number).



Objective No. **1** Objective: **Develop 3 Opportunities for Intergenerational Programs** Estimated Time to Complete: **2026**

Strategy: *(Provide a summary of tasks which need to be done to obtain the objective.)*

1. Junior Senior-SeniorProm - Approach Jr-Sr High students to coordinate with senior participants for a "Senior Prom".
2. Reaching Program at Kindergarten Level - Senior visits Kindergarten Class at Mountain View to read once a month.
3. College Level Students - Interact during lunch with seniors.

Narrative: *(Describe the benefits to the residents and visitors of the City.)*

Engaging younger generations with the Senior Center fosters a deeper understanding of its role in the community, helping to break down stereotypes about aging. By increasing awareness of how the Center operates and the programs it offers, more meaningful connections can be formed between senior and younger individuals. These intergenerational interactions not only help reduce loneliness among older adults but also enhance their sense of purpose and value. At the same time, mentoring opportunities allow youth to gain valuable life skills, guidance, and a sense of connection, creating positive outcomes for both generations.

Collaboration: *(Who needs to be involved to obtain the objective?)*

Collaboration will be between teachers at the Kenai Central High School and Mountain View Elementary. The Human Development Class and the Art Classes will also be contacted.

Funding: *(Are funds available, or is funding needed in a future budget?)*

None

INTRODUCTION

This area should include the advisory body’s missions’ statement and include a brief description of the overall purpose of the commission.

Note: Work plans developed by the advisory body will be submitted to the City Council for approval; therefore, it is a good idea to align the goals and objectives with city code, policy and the City of Kenai Comprehensive Plan.

Instructions: In the space provided below, identify an issue or goals (objective) your commission would like to address in the upcoming year, the information provided should include plans on how to address those issues. This item should include information regarding additional staff resources and/or community volunteers needed; funding resources, are funds available in the budget if not are you proposing council include funding in the upcoming budget cycle; and how long is it expected to obtain the objective. Please prioritize the objectives of your group with number one (1) being the top priority (objective number).



Objective No. **2** Objective: **Identify Programs and Activities for Health and Wellness** Estimated Time to Complete: **2026**

Strategy: *(Provide a summary of tasks which need to be done to obtain the objective.)*

1. Senior Health & Fitness Day - May 27th. Get a mailing list and send out invites and a survey.
2. Radio-talking about our wellness programs currently offered and other activities available. Three times a year? Maybe once a month?
3. Have available packets for Medicaid/Medicare/Adult Public Assistance/Senior Benefits.
4. Finish the booklet started in 2025 and disperse among community members.

Narrative: *(Describe the benefits to the residents and visitors of the City.)*

Promoting health and wellness among the senior population is essential to enhancing their quality of life. By identifying programs and activities that support physical, mental and social well-being, the Senior Center can better meet the diverse needs of older adults. These efforts extend beyond those who actively participate in the center, reaching a broader population and ensuring that more seniors have access to resources that contribute to their overall wellness.



Collaboration: *(Who needs to be involved to obtain the objective?)*

Senior Center Staff
Council on Aging Commission

Funding: *(Are funds available, or is funding needed in a future budget?)*

None



MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
FROM: Tyler Best, Kenai Parks and Recreation Director
DATE: April 29, 2026
SUBJECT: **Work Session Request**

Administration is requesting a City Council work session at 5:00 PM prior to the May 20th Council meeting to present the draft Parks and Recreation Master Plan.

The draft plan was previously presented to the Parks and Recreation Commission and then was discussed during their April 2nd meeting. The Commission is scheduled to discuss and provide a recommendation regarding adoption by the City Council at its May 7th meeting.

This work session will allow presentation of the plan to Council and the opportunity for questions prior to considering legislation to adopt the plan.

Legislation adopting the plan is anticipated for the June 3rd Council meeting and should include a recommendation from the Parks and Recreation Commission regarding adoption.

Your consideration is respectfully requested.



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members
THROUGH: Terry Eubank, City Manager
THROUGH: David Swarner, Finance Director
FROM: Jennifer Anderson, Controller
DATE: April 23, 2026
SUBJECT: Quarterly Financial Report – as of March 31, 2026

Attached is the quarterly financial report for the following funds:

- General Fund
- Personal Use Fishery Fund
- Airport Fund
- Water/Sewer Fund
- Senior Fund

Overall, revenues and expenditures across all major funds are tracking consistently with the budget through the third quarter, with variations primarily due to the timing of revenues and expenditures. General Fund revenues include higher-than-anticipated interest earnings as interest revenue is allocated out to the other funds at year end. PU Fisheries Fund will see additional expenses as we prepare in June for the upcoming July dipnet fishery. Airport Fund will see revenues increase with the investment allocation transfer in June.

This report is prepared primarily on a cash basis; certain account balances may not appear proportionate at this stage of the fiscal year. For example, within the General Fund, the majority of property tax revenue is collected in September and November. As of March 31, collections are largely complete and are tracking in line with expectations.

Additionally, General Fund Non-Departmental expenses currently account for 78% of the total annual budget. This higher percentage is due primarily to the full-year liability insurance expense, which was paid in July 2025. Excluding this timing-related item, non-departmental expenditures are tracking consistently with budget expectations.

State and federal revenues are currently below budget across all funds due to the reimbursement nature of grant activity and the timing of PERS on-behalf payments. These revenues and corresponding expenditures will be recorded at year-end and are expected to align with the budget.

Quarterly Expenditure Report
For Quarter Ended March 31, 2026
General Fund - 001

	7/1/2024 6/30/2025	7/1/2025 7/1/2025	7/1/2025 6/30/2026	7/1/2025 3/31/2026		
	FY2025 Actual	Original * FY2026 Budget	Amended Budget	YTD Actual	Variance	%
REVENUES						
Appropriation of Fund Balance	\$ -	\$ 1,597,909	\$ 1,919,908	\$ 710,308	(1,209,600.37)	37.00%
Taxes	15,037,376	15,137,040	15,137,040	\$ 11,559,419	\$ (3,577,621)	76.37%
Licenses/Permits and Ambulance	1,881,974	1,494,980	1,494,980	\$ 577,527	\$ (917,453)	38.63%
State/Federal	741,558	797,941	797,941	\$ 206,207	\$ (591,734)	25.84%
Dock/Multipurpose/Miscellaneous	306,151	215,750	215,750	\$ 197,360	\$ (18,390)	91.48%
Fines and Forfeitures	75,183	84,200	84,200	\$ 58,154	\$ (26,046)	69.07%
Interest and Miscellaneous	1,405,835	1,085,900	1,109,900	\$ 1,371,846	\$ 261,946	123.60%
Transfers/Central Admin Fees	2,171,069	2,082,268	2,082,268	\$ 1,460,925	(621,343)	70.16%
Total Revenues	21,619,146	22,495,988	22,841,987	\$ 16,141,746	(6,700,241)	70.67%
EXPENDITURES & TRANSFERS						
General Government						
01 City Clerk	\$ 349,137	\$ 389,714	\$ 417,214	\$ 273,378	\$ 143,836	34.48%
11 Legislative	180,960	182,614	192,994	\$ 136,051	56,943	29.51%
12 Legal	421,976	466,601	466,601	\$ 321,521	145,080	31.09%
13 City Manager	489,431	543,716	539,816	\$ 416,682	123,134	22.81%
14 Human Resources	196,666	205,336	205,336	\$ 147,707	57,629	28.07%
15 Finance	983,389	1,004,427	1,004,759	\$ 751,162	253,597	25.24%
16 Land Administration	67,396	110,234	242,102	\$ 117,654	124,448	51.40%
18 Non-Departmental	994,646	1,521,469	1,541,161	\$ 1,198,715	342,446	22.22%
19 Planning and Zoning	329,040	249,493	253,035	\$ 182,964	70,071	27.69%
20 Safety	2,801	3,650	3,650	\$ 1,717	1,933	52.96%
Total General Government	4,015,442	4,677,254	4,866,668	\$ 3,547,551	1,319,117	27.11%
Public Safety						
21 Police	3,756,260	3,956,965	3,959,982	\$ 2,883,915	1,076,067	27.17%
22 Fire	3,965,306	4,301,785	4,301,865	\$ 2,896,145	1,405,720	32.68%
23 Communications	1,014,424	1,041,726	1,043,376	\$ 754,923	288,453	27.65%
29 Animal Control	463,978	492,634	492,634	\$ 304,767	187,867	38.14%
Total Public Safety	9,199,968	9,793,110	9,797,857	\$ 6,839,750	2,958,107	30.19%
Public Works						
31 Public Works Administration	250,862	237,180	236,781	\$ 173,923	62,858	26.55%
32 Shop	694,583	747,828	747,828	\$ 496,154	251,674	33.65%
33 Streets	1,025,466	1,294,957	1,317,949	\$ 623,290	694,659	52.71%
34 Buildings	412,126	499,267	574,666	\$ 238,508	336,158	58.50%
35 Street Lighting	198,469	235,440	235,440	\$ 176,568	58,872	25.01%
60 Dock	39,380	54,579	54,579	\$ 18,774	35,805	65.60%
Total Public Works	2,620,886	3,069,251	3,167,243	\$ 1,727,217	1,440,026	45.47%
Parks and Recreation & Culture						
03 Visitor Center	204,618	201,024	201,732	\$ 143,465	58,267	28.88%
40 Library	969,626	1,032,532	1,056,532	\$ 716,688	339,844	32.17%
45 Parks, Recreation & Beautification	1,253,763	1,310,795	1,338,821	\$ 842,291	496,530	37.09%
Total Parks and Recreation & Culture	2,428,007	2,544,351	2,597,085	\$ 1,702,444	894,641	34.45%
Total Operating Expenditures	18,264,303	20,083,966	20,428,853	\$ 13,816,962	6,611,891	32.37%
Transfer to other funds						
Street Improvement Capital Project Fund	432,257	1,800,000	1,800,000	\$ 1,800,000	-	0.00%
Kenai Recreation Center Capital Project Fund	-	-	-	-	-	-
Public Safety Capital Project Fund	140,631	-	1,112	\$ 1,112	-	0.00%
Municipal Facility Improvement Cap Proj Fund	-	-	-	-	-	-
Public Works Capital Project Fund	-	-	-	-	-	-
Visitor Center Improvement Capital Proj. Func	-	-	-	\$ -	-	-
Information Technology Capital Proj. Fund	-	-	-	\$ -	-	-
City Hall Improvement Capital Proj. Fund	-	75,000	75,000	\$ 75,000	-	0.00%
Animal Shelter Capital Project Fund	-	-	-	\$ -	-	-
Public Safety Building Capital Proj. Fund	-	-	-	\$ -	-	-
Kenai Fine Arts Center Imp. Cap. Proj. Fund	-	-	-	\$ -	-	-
Kenai Cemetery Imp. Capital Project Fund	25,000	-	-	-	-	-
Kenai Senior Center Imp. Capital Project Fund	50,000	-	-	-	-	-
Park Improvement Capital Project Fund	144,625	120,000	120,000	\$ 120,000	-	0.00%
Senior Citizen Special Revenue Fund	217,467	286,397	286,397	\$ 214,797	71,600	25.00%
Debt Service	130,750	130,625	130,625	\$ 113,875	16,750	12.82%
Total Transfer to other funds	1,140,730	2,412,022	2,413,134	\$ 2,324,784	88,350	3.66%
Total Expenditures & Transfers	19,405,033	22,495,988	22,841,987	\$ 16,141,746	6,700,241	29.33%
Net Revenues over(under) Expenditures	\$ 2,214,113	\$ -	\$ -	\$ -	\$ -	-

* Note: The original budget includes outstanding encumbrances at 6/30/2025.

**Quarterly Expenditure Report
For Quarter Ended March 31, 2026
PU Fisheries - 006**

	<u>FY2025 Actual</u>	<u>Original * FY2026 Budget</u>	<u>Amended Budget</u>	<u>YTD Actual</u>	<u>Variance</u>	<u>%</u>
REVENUES						
Appropriation of Fund Balance	\$ -	\$ 45,695	\$ 46,391	\$ -	\$ (46,391)	0.00%
Beach Parking	173,592.00	169,755	169,755	180,040	10,285	106.06%
Beach Camping	238,852.00	222,500	222,500	265,757	43,257	119.44%
Dock Launch & Park	88,423.00	95,000	95,000	84,624	(10,376)	89.08%
Dock Parking Only	11,483.00	12,495	12,495	11,773	(722)	94.22%
Participant Drop-off Fee	4,110.00	4,400	4,400	3,831	(569)	87.07%
Interest Earnings	25,066.00	15,000	15,000	-	(15,000)	0.00%
PERS Grant	1,104.00	2,051	2,051	-	(2,051)	0.00%
Credit Card Fees	(11,603.00)	(11,500)	(11,500)	(14,155)	(2,655)	123.09%
Transfer from Other Funds	-	-	-	-	-	0.00%
Total Revenue	<u>531,027</u>	<u>555,396</u>	<u>556,092</u>	<u>531,870</u>	<u>(24,222)</u>	<u>95.64%</u>
EXPENDITURES & TRANSFERS						
Public Safety	\$ 120,245	\$ 148,536	\$ 148,536	\$ 102,032	\$ 46,504	31.31%
Streets	25,440	35,492	35,492	12,898	22,594	63.66%
Boating Facility	34,294	70,086	70,086	51,353	18,733	26.73%
Parks, Recreation & Beautification	229,688	226,282	226,978	159,062	67,916	29.92%
Total Operating Expenditures	<u>409,667</u>	<u>480,396</u>	<u>481,092</u>	<u>325,345</u>	<u>155,747</u>	<u>32.37%</u>
Transfers to Other Funds	75,000	75,000	75,000	75,000	-	0.00%
Total Expenditures & Transfers	<u>484,667</u>	<u>555,396</u>	<u>556,092</u>	<u>400,345</u>	<u>155,747</u>	<u>28.01%</u>
Net Revenues over Expenditures	<u>\$ 46,360</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 131,525</u>	<u>\$(131,525)</u>	

* Note: The original budget includes outstanding encumbrances at 6/30/2025.

**Quarterly Expenditure Report
For Quarter Ended March 31, 2026
Airport Fund - 008**

	FY2025 <u>Actual</u>	Original * FY2026 <u>Budget</u>	Amended <u>Budget</u>	YTD <u>Actual</u>	<u>Variance</u>	<u>%</u>
REVENUES						
Appropriation of Fund Balance	\$ -	\$ 1,237,880	\$ 1,302,371	\$ 1,302,371	\$ -	100.00%
State/Federal	27,540	47,167	47,167	-	(47,167)	0.00%
Interest , Leases & Fees	804,808	1,039,116	1,039,116	672,712	(366,404)	64.74%
Terminal Revenues	1,332,514	1,159,321	1,159,321	743,003	(416,318)	64.09%
Landing Fees	382,293	410,000	410,000	257,102	(152,898)	62.71%
Transfers In	<u>1,094,116</u>	<u>1,099,774</u>	<u>1,099,774</u>	<u>-</u>	<u>(1,099,774)</u>	<u>0.00%</u>
Total Revenues	<u>3,641,271</u>	<u>4,993,258</u>	<u>5,057,749</u>	<u>2,975,188</u>	<u>(2,082,561)</u>	<u>58.82%</u>
EXPENDITURES & TRANSFERS						
Terminal Area	\$ 606,385	\$ 657,249	\$ 683,755	\$ 461,180	\$ 222,575	32.55%
Airfield	1,977,638	2,292,367	2,290,352	1,465,493	824,859	36.01%
Administration	394,359	408,313	418,313	272,217	146,096	34.93%
Other Buildings & Areas	166,686	217,329	247,329	119,442	127,887	51.71%
Training Facility	<u>165,898</u>	<u>152,900</u>	<u>152,900</u>	<u>80,321</u>	<u>72,579</u>	<u>47.47%</u>
Total Expenditures	<u>3,310,966</u>	<u>3,728,158</u>	<u>3,792,649</u>	<u>2,398,653</u>	<u>1,393,996</u>	<u>36.76%</u>
Transfer to other funds						
Airport Improvement Capital Projects	<u>43,237</u>	<u>1,265,100</u>	<u>1,265,100</u>	<u>1,265,100</u>	<u>-</u>	<u>0.00%</u>
Total Transfer to other funds	<u>43,237</u>	<u>1,265,100</u>	<u>1,265,100</u>	<u>1,265,100</u>	<u>-</u>	<u>0.00%</u>
Total Expenditures & Transfers	<u>3,354,203</u>	<u>4,993,258</u>	<u>5,057,749</u>	<u>3,663,754</u>	<u>1,393,995</u>	<u>27.56%</u>
Net Revenues over Expenditures	<u>\$ 287,068</u>	<u>\$ -</u>	<u>-</u>	<u>\$ (688,566)</u>	<u>\$ (688,566)</u>	

* Note: The original budget includes outstanding encumbrances at 6/30/2025.

**Quarterly Expenditure Report
For Quarter Ended March 31, 2026
WS Fund - 010**

	FY2025 <u>Actual</u>	Original * FY2026 <u>Budget</u>	Amended <u>Budget</u>	YTD <u>Actual</u>	Variance	%
REVENUES						
Appropriation of Fund Balance	\$ -	\$ -	\$ 352,550	\$ 352,550	\$ -	100.00%
State/Federal	31,019	45,879	45,879	-	(45,879)	0.00%
Water/Sewer Fees	3,405,450	3,416,136	3,416,136	2,510,269	(905,867)	73.48%
Penalty and Interest	43,913	42,588	42,588	29,594	(12,994)	69.49%
Interest and Miscellaneous	604,080	445,000	445,000	263,971	(181,029)	59.32%
Transfers In	<u>155,166</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>0.00%</u>
Total Revenues	<u>4,239,628</u>	<u>3,949,603</u>	<u>4,302,153</u>	<u>3,156,383</u>	<u>(1,145,769)</u>	<u>73.37%</u>
EXPENDITURES & TRANSFERS						
Water	\$ 989,066	\$ 1,079,655	\$ 1,136,190	\$ 736,173	\$ 400,017	35.21%
Sewer	489,442	603,168	653,968	424,995	228,973	35.01%
Wastewater Treatment Plant	<u>1,106,078</u>	<u>1,261,995</u>	<u>1,261,995</u>	<u>757,434</u>	<u>504,561</u>	<u>39.98%</u>
Total Expenditures	<u>2,584,586</u>	<u>2,944,818</u>	<u>3,052,153</u>	<u>1,918,602</u>	<u>1,133,551</u>	<u>37.14%</u>
Transfer to other funds -						
Water & Sewer Capital Projects	<u>652,389</u>	<u>500,000</u>	<u>1,250,000</u>	<u>1,250,000</u>	<u>-</u>	<u>0.00%</u>
Total Transfer to other funds	<u>652,389</u>	<u>500,000</u>	<u>1,250,000</u>	<u>1,250,000</u>	<u>-</u>	<u>0.00%</u>
Total Expenditures & Transfers	<u>3,236,975</u>	<u>3,444,818</u>	<u>4,302,153</u>	<u>3,168,602</u>	<u>1,133,550</u>	<u>26.35%</u>
Net Revenues over Expenditures	<u>\$ 1,002,653</u>	<u>\$ 504,785</u>	<u>\$ -</u>	<u>\$ (12,219)</u>	<u>\$ (12,219)</u>	

* Note: The original budget includes outstanding encumbrances at 6/30/2025.

**Quarterly Expenditure Report
For Quarter Ended March 31, 2026
Senior Fund - 019**

	FY2025 <u>Actual</u>	Original * FY2026 <u>Budget</u>	Amended <u>Budget</u>	YTD <u>Actual</u>	<u>Variance</u>	<u>%</u>
REVENUES						
Appropriation of Fund Balance	\$ -	\$ 33,518	\$ 57,865	\$ 22,801	\$ (35,064)	39.40%
State Grants	237,724	237,492	\$ 310,199	264,380	(45,819)	85.23%
Federal Grants	-	-	\$ -	-	-	0.00%
USDA Grant	21,768	22,000	\$ 22,000	12,599	(9,401)	57.27%
Choice Waiver	106,394	100,000	\$ 100,000	80,216	(19,784)	80.22%
KPB Grant	186,143	186,143	\$ 185,846	67,282	(118,564)	36.20%
United Way	-	-	\$ -	-	-	0.00%
Rents & Leases	9,688	8,500	\$ 8,500	7,637	(863)	89.85%
Miscellaneous Donations	20,818	21,500	\$ 21,500	14,218	(7,282)	66.13%
Donations - Senior Connection	121,083	120,000	\$ 120,000	29,962	(90,038)	24.97%
Meal Donations	87,752	95,650	\$ 95,650	67,884	(27,766)	70.97%
Ride Donations	4,364	6,000	\$ 6,000	4,437	(1,563)	73.95%
Transfer from General Fund - Operations	217,467	286,397	\$ 286,397	214,798	(71,599)	75.00%
Other	3,110	300	\$ 300	(2)	(302)	-0.67%
Total Revenues	<u>1,016,311</u>	<u>1,117,500</u>	<u>\$ 1,214,257</u>	<u>786,212</u>	<u>(428,045)</u>	<u>64.75%</u>
EXPENDITURES & TRANSFERS						
Senior Citizen Access	\$ 234,641	\$ 242,178	\$ 246,842	\$ 167,948	\$ 78,894	31.96%
Congregate Meals	194,282	238,713	\$ 293,351	182,192	111,159	37.89%
Home Meals	450,112	421,539	\$ 452,777	307,645	145,132	32.05%
Senior Transportation	122,149	143,672	\$ 149,672	82,621	67,051	44.80%
Choice Waiver	61,692	71,398	\$ 71,615	45,806	25,809	36.04%
Total Expenditures	<u>1,062,876</u>	<u>1,117,500</u>	<u>\$ 1,214,257</u>	<u>786,212</u>	<u>428,045</u>	<u>35.25%</u>
Transfer to other funds -	-	-	\$ -	-	-	
Total Transfer to other funds	-	-	\$ -	-	-	
Total Expenditures & Transfers	<u>1,062,876</u>	<u>1,117,500</u>	<u>\$ 1,214,257</u>	<u>786,212</u>	<u>428,045</u>	<u>35.25%</u>
Net Revenues over Expenditures	<u>\$ (46,565)</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	

* Note: The original budget includes outstanding encumbrances at 6/30/2025.



KENAI

City of Kenai | 210 Fidalgo Ave, Kenai, AK 99611-7794 | 907.283.7535 | www.kenai.city

MEMORANDUM

TO: Mayor Knackstedt and Council Members

FROM: Dave Swarner, Finance Director

DATE: April 27, 2026

SUBJECT: **March 2026 Quarterly Investment Report**

City of Kenai Investment Portfolio

At March 31, 2026 the City had investments with a market value of \$39,954,652. That is down from \$40,813,782 at December 31, 2025. The City’s portfolio is yielding 3.70% that is down from 3.72% at December 31, 2025. The Federal Fund Rate held steady during the quarter with the rate between at 3.50%-3.75%. Fair market value adjustments to the portfolio through March, 2026 are a positive \$254,721. As of June 30, 2025, the portfolios fair market value adjustment was a negative \$298,227. Rates are projected to remain the same through the second quarter of the year.

City’s Investment Portfolio

US Agency Securities	\$34,289,737
AML Investment Pool	3,836,295
Wells Fargo Money Market	248,851
FDIC Insured Certificates of Deposit	487,565
Bank Balance	<u>1,092,204</u>
Total	<u>\$ 39,954,652</u>

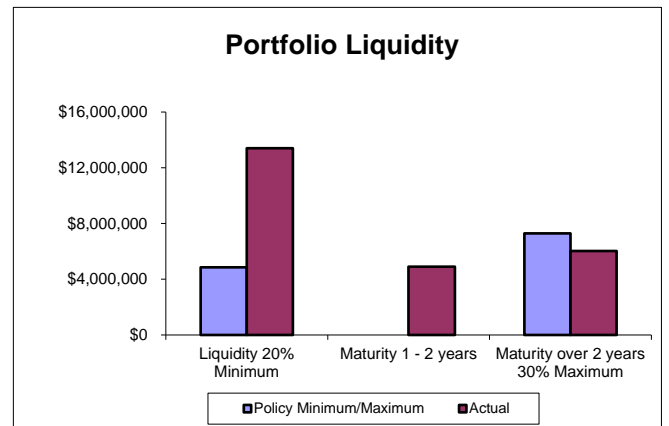
Permanent Fund Investments

At March 31, 2026, the portfolio value was \$40,107,960. That is up from \$39,938,702 at December 31, 2025. It is comprised of \$33,049,067, 82.40% Airport Land Sale Permanent Fund, \$4,281,802, 10.67% General Land Sale Permanent Fund monies, \$1,495,802, 3.73% Kenai Senior Connection monies, \$1,018,169, 2.54% Kenai Senior Center Cone Memorial Trust monies, and \$263,120, 0.66% Kenai Community Foundation holdings.

CITY OF KENAI INVESTMENT PORTFOLIO SUMMARY March 31, 2026

	December 31, 2025 Fair Market Value	Current Yield
Cash & Cash Equivalents		
Wells Fargo Checking	\$ 1,092,204	0.01%
Wells Fargo Secured Money Market	248,851	5.05%
FDIC Insured Certificates of Deposit	487,565	3.40%
Alaska Municipal League Investment Pool	3,836,295	5.05%
Total Cash & Cash Equivalents	5,664,915	3.94%
Government Securities		
Maturities Less than 1 Year	10,645,265	3.56%
Maturities 1 to 2 Years	13,449,988	3.61%
Maturities Greater than 2 Years	10,194,484	3.85%
Total Government Securities	34,289,737	3.67%
Total Portfolio	\$ 39,954,652	3.70%

Investment Portfolio - Purchase Price	\$ 40,252,879
Investment Portfolio - Fair Value 03/31/26	39,954,652
Fair Value Adjustment - 06/30/25	(298,227)
Fair Value Adjustment thru - 03/31/2026	254,721
Cummulative Change in Fair Value	\$ (43,506)





**ALASKA PERMANENT
CAPITAL MANAGEMENT**

Registered Investment Adviser

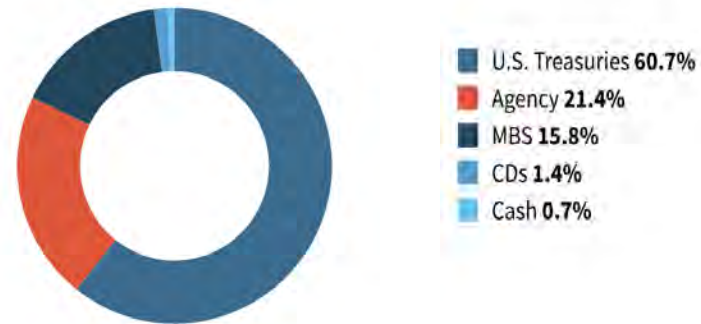
CITY OF KENAI - CUSTODY Investment Report

March 2026

Portfolio Overview

BEGINNING VALUE + ACCRUED	\$35,388,801
TRANSFERS IN/OUT	-\$461
REALIZED GAINS	\$3,072
CHANGE IN MARKET VALUE	-\$207,446
INTEREST INCOME	\$111,271
ENDING VALUE + ACCRUED	\$35,295,237

Portfolio Composition



Investment Performance

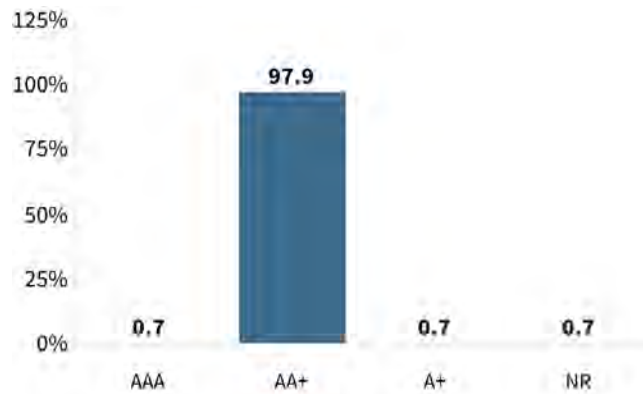


Performance is annualized for periods greater than one year. Inception to date performance begins November 06, 2024
Past performance is not indicative of future results.

Risk Management

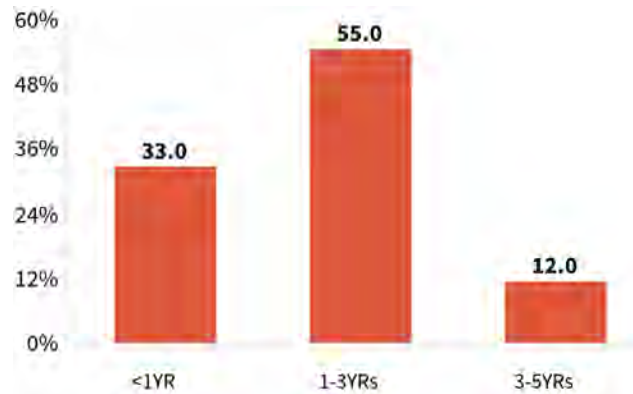


Credit Rating Exposure



Source: Clearwater Composite Rating

Duration Exposure (Years)



Sector Exposure

Sector	%MV
U.S. Treasuries	60.71%
Agency	21.39%
MBS	15.80%
CDs	1.39%
Cash	0.71%

Top 10 Issuer Concentration

Issuer	%MV
United States	60.73%
Federal Home Loan Banks	12.95%
Federal National Mortgage Association	11.85%
Federal Home Loan Mortgage Corporation	8.12%
Farm Credit System	4.26%
Capital One Financial Corporation	1.39%
Allspring Group Holdings LLC	0.71%

This is a list of the Top 10 Issuer Concentration, but these are not the only issuer concentrations. A full list is available upon request.

MARKET VALUE
\$35,032,078

BOOK VALUE
\$35,100,889

UNREALIZED GAIN/LOSS
-\$68,811

YIELD TO MATURITY
3.91%

COUPON RATE
3.46%

DURATION
1.58

WAL
1.78

MOODY'S RATING
Aa1

Disclosures

S&P 500 Total Return Index

The S&P 500® Index is the Standard & Poor's Composite Index and is widely regarded as a single gauge of large cap U.S. equities. It is market cap weighted and includes 500 leading companies, capturing approximately 80% coverage of available market capitalization.

S&P MidCap 400 Total Return Index

The S&P MidCap 400 Index, more commonly known as the S&P 400, is a stock market index from S&P Dow Jones Indices. The index serves as a barometer for the U.S. mid-cap equities sector and is the most widely followed mid-cap index.

S&P Small Cap 600 Total Return Index

The S&P SmallCap 600® seeks to measure the small-cap segment of the U.S. equity market. The index is designed to track companies that meet specific inclusion criteria to ensure that they are liquid and financially viable.

MSCI EAFE Net Total Return USD Index

The MSCI EAFE Index (Europe, Australasia, Far East) is a free float-adjusted market capitalization-weighted index that is designed to measure the equity market performance of developed markets, excluding the United States and Canada. The MSCI EAFE Index consists of the following 21 developed market countries: Australia, Austria, Belgium, Denmark, Finland, France, Germany, Hong Kong, Ireland, Israel, Italy, Japan, the Netherlands, New Zealand, Norway, Portugal, Singapore, Spain, Sweden, Switzerland and the United Kingdom.

MSCI Emerging Net Total Return USD Index

The MSCI Emerging Markets Index is a free float-adjusted market capitalization-weighted index that is designed to measure equity market performance of emerging markets. The MSCI Emerging Markets Index consists of the following 26 emerging market country indices: Argentina, Brazil, Chile, China, Colombia, Czech Republic, Egypt, Greece, Hungary, India, Indonesia, Korea, Malaysia, Mexico, Peru, Philippines, Poland, Qatar, Russia, Saudi Arabia, South Africa, Taiwan, Thailand, Turkey and United Arab Emirates.

STOXX Global Broad Infrastructure Index Net Return USD

The STOXX Global Broad Infrastructure Index is derived from the STOXX. Developed and Emerging Markets Total Market Index (TMI) and offers a diversified representation of companies that generate more than 50% of their revenue from selected infrastructure sectors. STOXX partnered with Revere Data, which defines 17 subsectors for the infrastructure industry. These 17 subsectors are rolled into five supersectors - Communications, Energy, Government Outsourcing/Social, Transportation and Utilities.

S&P USA REIT USD Total Return Index

The S&P United States REIT Index defines and measures the investable universe of publicly traded real estate investment trusts domiciled in the United States.

Bloomberg Commodity Index Total Return

The Bloomberg Commodity Index provides broad-based exposure to commodities, and no single commodity or commodity sector dominates the index. Rather than being driven by micro-economic events affecting one commodity market or sector, the diversified commodity exposure of the index potentially reduces volatility in comparison with non-diversified commodity investments.

Wilshire Liquid Alternative Total Return Index

The Wilshire Liquid Alternative IndexSM measures the collective performance of the five Wilshire Liquid Alternative strategies that make up the Wilshire Liquid Alternative Universe. Created in 2014, with a set of time series of data beginning on December 31, 1999, the Wilshire Liquid Alternative Index (WLIQA) is designed to provide a broad measure of the liquid alternative market by combining the performance of the Wilshire Liquid Alternative Equity Hedge Index (WLIQAEH), Wilshire Liquid Alternative Global Macro Index (WLIQAGM), Wilshire Liquid Alternative Relative Value Index (WLIQARV), Wilshire Liquid Alternative Multi-Strategy Index (WLIQAMS), and Wilshire Liquid Alternative Event Driven Index (WLIQAED).

Bloomberg US Agg Total Return Value Unhedged USD

The Bloomberg U.S. Aggregate Index measures the performance of investment grade, U.S. dollar-denominated, fixed-rate taxable bond market, including Treasuries, government-related and corporate securities, MBS (agency fixed-rate and hybrid ARM pass-throughs), ABS, and CMBS. It rolls up into other flagship indices, such as the multi-currency Global Aggregate Index and the U.S. Universal Index, which includes high yield and emerging markets debt.

Bloomberg VLI: High Yield Total Return Index Value Unhedged USD

The Bloomberg VLI: High Yield Total Return Index is a component of the US Corp High Yield Index that is designed to track a more liquid component of the USD-denominated, high yield, fixed-rate corporate bond market.

Bloomberg GLA xUSD Float Adj RIC Capped Index TR Index Value Hedged USD

The Bloomberg Barclays Global Aggregate ex-USD Float-Adjusted RIC Capped Index is a customized subset of the Global Aggregate Index that meets the same diversification guidelines that a fund must pass to qualify as a regulated investment company (RIC). This multi-currency benchmark includes fixed-rate treasury, government-related, corporate and securitized bonds from developed and emerging markets issuers while excluding USD denominated debt. The Global Aggregate ex-USD Float Adjusted RIC Capped Index is largely comprised of two major regional aggregate components: the Pan-European Aggregate and the Asian-Pacific Aggregate Index.

FTSE 3 Month Treas Bill Local Currency

The FTSE 3 Month US T Bill Index Series is intended to track the daily performance of 3 month US Treasury bills. The indices are designed to operate as a reference rate for a series of funds.

Disclosures

Bloomberg Muni 1-15 Year Blend (1-17) Total Return Index Value

The Bloomberg Municipal 1-15 Year Index measures the performance of USD-denominated long-term, tax-exempt bond market with maturities of 1-15 years, including state and local general obligation bonds, revenue bonds, insured bonds, and prerefunded bonds.

Bloomberg Intermediate US Govt/Credit TR Index Value Unhedged

The Bloomberg U.S. Government Intermediate Index measures the performance of the U.S. Treasury and U.S. agency debentures with maturities of 1-10 years. It is a component of the U.S. Government/Credit Index and the U.S. Aggregate Index.

Bloomberg 1-5 Yr Gov/Credit Total Return Index Value Unhedged

The Bloomberg US 1-5 year Government/Credit Float-Adjusted Bond Index is a float-adjusted version of the US 1-5 year Government/Credit Index, which tracks the market for investment grade, US dollar-denominated, fixed-rate treasuries, government-related and corporate securities.

FTSE High Dividend Yield Total Return Index

The FTSE High Dividend Yield Index is designed to represent the performance of companies with relatively high forecast dividend yields

WisdomTree U.S. MidCap Dividend Index Total Return

The WisdomTree U.S. MidCap Dividend Index is a fundamentally weighted index that measures the performance of the mid-capitalization segment of the US dividend-paying market. The Index is comprised of the companies that compose the top 75% of the market capitalization of the WisdomTree U.S. Dividend Index after the 300 largest companies have been removed. The index is dividend weighted annually to reflect the proportionate share of the aggregate cash dividends each component company is projected to pay in the coming year, based on the most recently declared dividend per share.

WisdomTree U.S. SmallCap Dividend Index Total Return

The WisdomTree U.S. SmallCap Dividend Index is a fundamentally weighted index measuring the performance of the small-capitalization segment of the US dividend-paying market. The Index is comprised of the companies that compose the bottom 25% of the market capitalization of the WisdomTree U.S. Dividend Index after the 300 largest companies have been removed. The index is dividend weighted annually to reflect the proportionate share of the aggregate cash dividends each component company is projected to pay in the coming year, based on the most recently declared dividend per share.

Bloomberg U.S. Long Government/Credit Unhedged USD

The Bloomberg U.S. Government Credit Long Index measures the performance of the non-securitized component of the U.S. Aggregate Index with maturities of 10 years and greater, including Treasuries, government-related issues, and corporates. It is a subset of the U.S. Aggregate Index.

Bloomberg Intermediate US Govt/Credit TR Index Value Unhedged

The Bloomberg U.S. Government Credit Intermediate Index measures the performance of the non-securitized component of the U.S. Aggregate Index with maturities of 1-10 years, including Treasuries, government-related issues, and corporates. It is a subset of the U.S. Aggregate Index.

Bloomberg Municipal Bond 5 Year (4-6) Total Return Index Unhedged USD

An index designed to measure the performance of tax-exempt U.S. investment grade municipal bonds with remaining maturities between four and six years. Index returns assume reinvestment of distributions, but do not reflect any applicable sales charges or management fees.

MSCI ACWI IMI Net Total Return USD Index

The MSCI ACWI Investable Market Index (IMI) captures large, mid and small cap representation across 23 Developed Markets (DM) and 24 Emerging Markets (EM) countries. The MSCI AXWI IMI includes the following 23 developed market countries : Australia, Austria, Belgium, Canada, Denmark, Finland, France, Germany, Hong Kong, Ireland, Israel, Italy, Japan, Netherlands, New Zealand, Norway, Portugal, Singapore, Spain, Sweden, Switzerland, United Kingdom, and United States. The MSCI AXWI IMI includes the following 24 emerging market countries: : Brazil, Chile, China, Colombia, Czech Republic, Egypt, Greece, Hungary, India, Indonesia, Korea, Kuwait, Malaysia, Mexico, Peru, Philippines, Poland, Qatar, Saudi Arabia, South Africa, Taiwan, Thailand, Turkey and United Arab Emirates.

Bloomberg 1-3 Yr Gov Total Return Index Value Unhedged USD

The Bloomberg U.S. Government/Credit 1-3 Year Index is an unmanaged index considered representative of performance of short-term U.S. corporate bonds and U.S. government bonds with maturities from one to three years.

Bloomberg 1-5 Yr Gov TR Index

Bloomberg Barclays Municipal 1-5 Yr TR USD includes all medium and larger issues of U.S. government, investment-grade corporate, and investment-grade international dollar-denominated bonds that have maturities of between 1 and 5 years and are publicly issued.

ICE BofA US 3-Month Treasury Bill Index

The ICE BofA 3 Month U.S. Treasury Index measures the performance of a single issue of outstanding treasury bill which matures closest to, but not beyond, three months from the rebalancing date. The issue is purchased at the beginning of the month and held for a full month; at the end of the month that issue is sold and rolled into a newly selected issue.

Bloomberg US Treasury TIPS 0-5 Years Total Return Index Unhedged USD

Bloomberg US Treasury Inflation-Protected Securities (TIPS) 0-5 Year Index is a market value-weighted index that measures the performance of inflation-protected securities issued by the US Treasury that have a remaining average life between 0 and 5 years.

Bloomberg U.S. Treasury Bellwethers: 1 Yr

The Bloomberg U.S. Treasury Bellwethers 1 Yr. Index is an unmanaged index representing the on-the-run (most recently auctioned) U.S. Treasury bond with 1 years' maturity.



APCM

Client Relationship Manager

Blake Phillips, CFA®

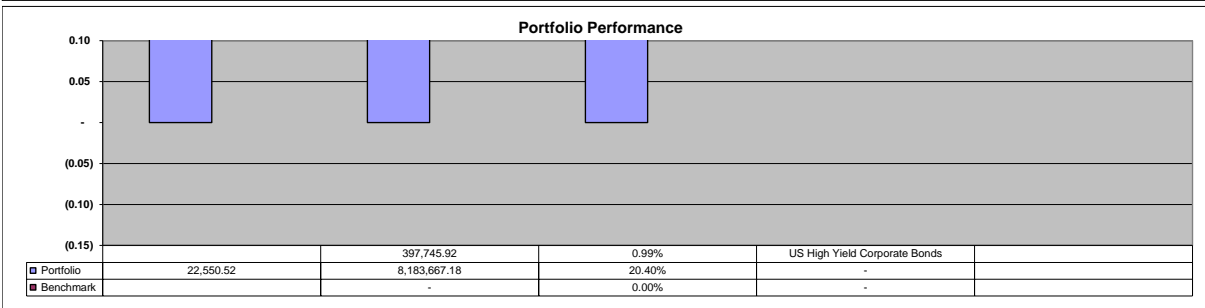
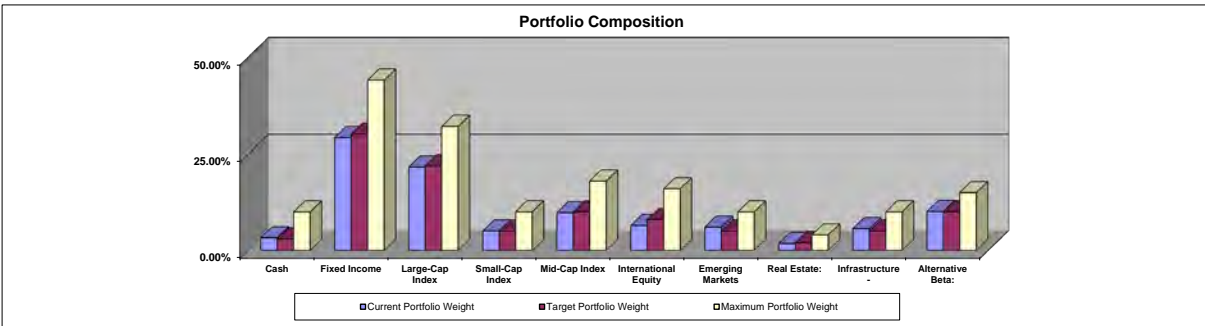
blake@apcm.net

Portfolio Manager

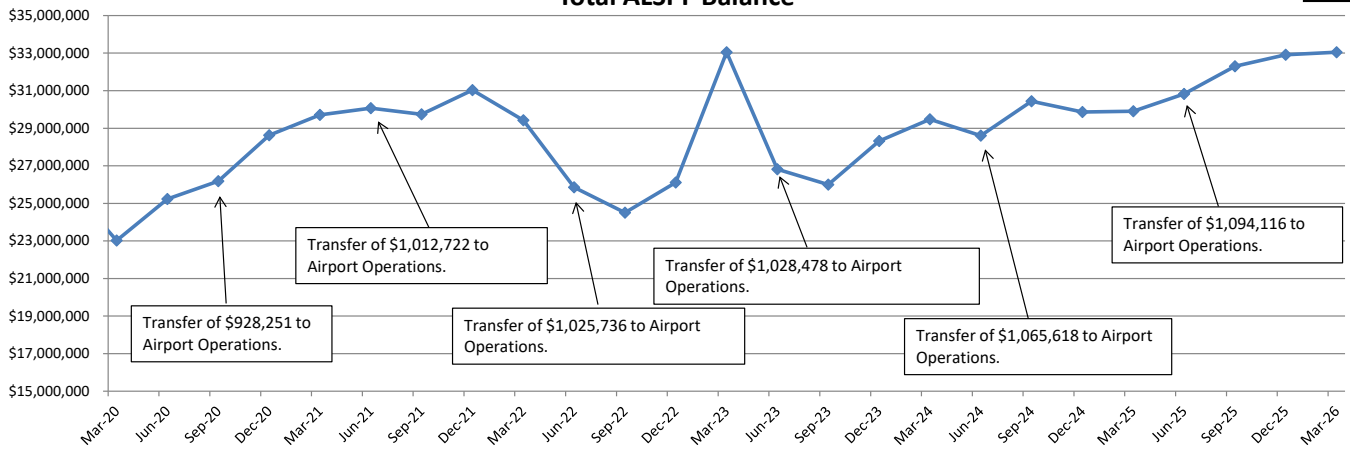
Bill Lierman, CFA®

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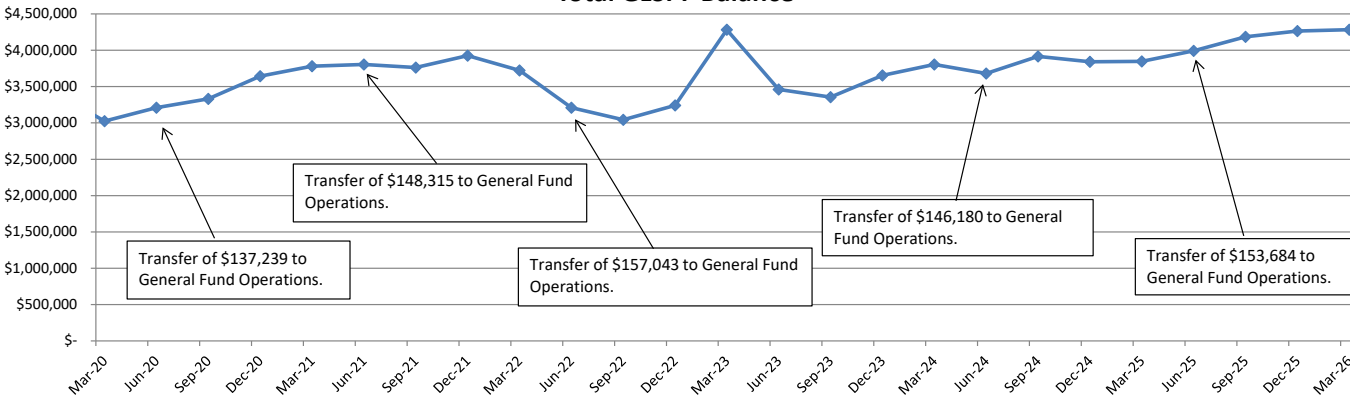
	Fair Market Value					Current or	Current	Target	Portfolio
	31-Mar-25	30-Jun-25	30-Sep-25	31-Dec-25	31-Mar-26	Yield	Weight	Weight	Maximum
Cash									
Cash & Cash Equivalents	1,278,221	1,386,022	1,449,189	1,908,837	1,313,118	3.27%	3.27%	3.00%	10.00%
Fixed Income									
Investment Grade Government & Corporate Securities									
Government Securities	7,485,453	7,354,169	7,583,577	7,619,626	8,315,749	0.54%	20.73%		
Corporate Securities Investment Grade	<u>2,186,555</u>	<u>2,102,590</u>	<u>2,177,904</u>	<u>2,230,868</u>	<u>2,175,763</u>	<u>1.04%</u>	<u>5.42%</u>		
Total Investment Grade Government & Corporate Securities	9,672,008	9,456,759	9,761,481	9,850,494	10,491,512	0.66%	26.15%	26.00%	36.00%
Domestic Fixed Income Exchange Traded Funds -									
Vanguard Short-term TIPS	-	-	380,550	376,258	397,746		0.00%		
High Yield Domestic -									
SPDR Portfolio High Yield Bonds	-	-	-	-	-		0.00%		
Vanguard Hi Yield Corporate Fund Admiral Shares	<u>1,449,212</u>	<u>1,476,704</u>	<u>1,139,900</u>	<u>1,141,872</u>	<u>1,194,247</u>		<u>2.98%</u>		
Total High Yield Domestic	<u>1,449,212</u>	<u>1,476,704</u>	<u>1,139,900</u>	<u>1,141,872</u>	<u>1,194,247</u>		<u>2.98%</u>	<u>4.00%</u>	<u>8.00%</u>
Total Fixed Income	11,121,220	10,933,463	11,281,931	11,368,624	12,083,505	0.66%	29.13%	30.00%	44.00%
Equities:									
Domestic Equities:									
Large-Cap Index	7,550,527	8,391,392	8,927,829	9,018,817	8,696,506		21.67%	22.00%	32.00%
Small-Cap Index	1,662,186	1,876,359	1,822,377	2,011,332	2,029,236		5.06%	5.00%	10.00%
Mid-Cap Index	<u>3,387,568</u>	<u>3,748,303</u>	<u>3,783,710</u>	<u>3,826,614</u>	<u>3,925,316</u>		<u>9.79%</u>	<u>10.00%</u>	<u>18.00%</u>
Total Domestic Equities	12,600,281	14,016,054	14,533,916	14,856,763	14,651,058		36.52%	37.00%	60.00%
International Equities:									
International Equity	3,057,638	2,947,006	3,105,617	3,182,092	2,599,478		6.48%	8.00%	16.00%
Emerging Markets	<u>1,871,949</u>	<u>1,898,029</u>	<u>2,054,265</u>	<u>2,094,777</u>	<u>2,416,768</u>		<u>6.03%</u>	<u>5.00%</u>	<u>10.00%</u>
Total International Equities	4,929,587	4,845,035	5,159,882	5,276,869	5,016,246		<u>12.51%</u>	13.00%	26.00%
Real Estate:									
JP Morgan Beta Builders MSCI Reit	<u>742,397</u>	<u>714,313</u>	<u>776,539</u>	<u>753,034</u>	<u>713,560</u>		<u>1.78%</u>	<u>2.00%</u>	<u>4.00%</u>
Total Real Estate	<u>742,397</u>	<u>714,313</u>	<u>776,539</u>	<u>753,034</u>	<u>713,560</u>		<u>1.78%</u>	<u>2.00%</u>	<u>4.00%</u>
Infrastructure -									
Flexshares Stoxx Global Broad Infrastructure	<u>1,920,853</u>	<u>1,845,942</u>	<u>2,145,485</u>	<u>1,888,661</u>	<u>2,269,555</u>		<u>5.66%</u>	<u>5.00%</u>	<u>10.00%</u>
Total Equities	<u>20,193,118</u>	<u>21,421,344</u>	<u>22,615,822</u>	<u>22,775,327</u>	<u>22,650,419</u>		<u>56.47%</u>	<u>57.00%</u>	<u>100.00%</u>
Alternative Beta:									
Blackrock Systematic Multi-Strategy	931,232	911,668	954,513	949,933	1,024,646		2.55%		
IQ Hedge Multi-Strategy Tracker	1,257,848	1,289,503	1,362,082	1,377,648	1,422,258		3.55%		
JPMORGAN:HEDGED EQ I	172,454	185,425	193,310	197,563	193,392		0.48%		
Calamos Market Neutral	1,278,174	1,278,051	1,341,035	1,360,768	1,420,622		3.54%		
Core Alternative ETF	-	-	-	-	-		<u>0.00%</u>		
Total Alternative Beta	<u>3,639,708</u>	<u>3,664,647</u>	<u>3,850,940</u>	<u>3,885,912</u>	<u>4,060,918</u>		<u>10.12%</u>	<u>10.00%</u>	<u>15.00%</u>
Total Portfolio	<u>36,232,267</u>	<u>37,405,476</u>	<u>39,197,882</u>	<u>39,938,700</u>	<u>40,107,960</u>	<u>4.69%</u>	<u>98.99%</u>	<u>100.00%</u>	<u>169.00%</u>
Total ALSPF Balance	29,907,651	30,822,214	32,299,161	32,909,598	33,049,067				
Total GLSPF Balance	3,847,313	3,993,293	4,184,645	4,263,732	4,281,802				
Total Kenai Community Foundation	267,980	245,391	257,149	262,009	263,120				
Total Kenai Senior Connection	1,314,537	1,395,014	1,461,861	1,489,490	1,495,802				
Total Cone Memorial Trust Permanent Fund	894,786	949,565	995,067	1,013,873	1,018,169				



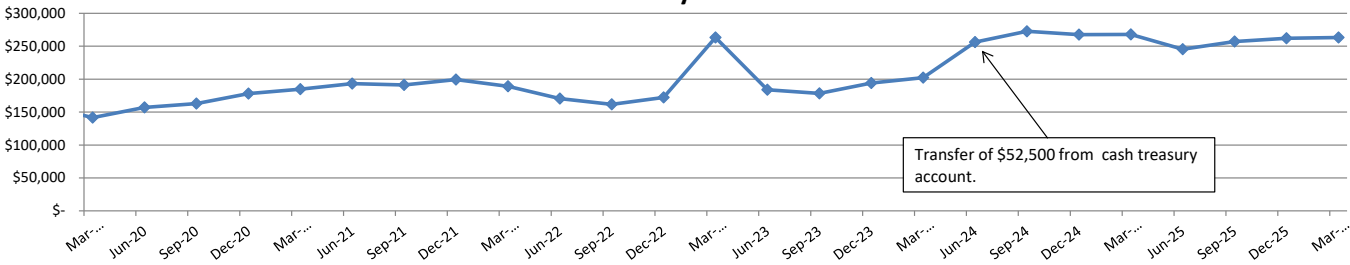
Total ALSPF Balance



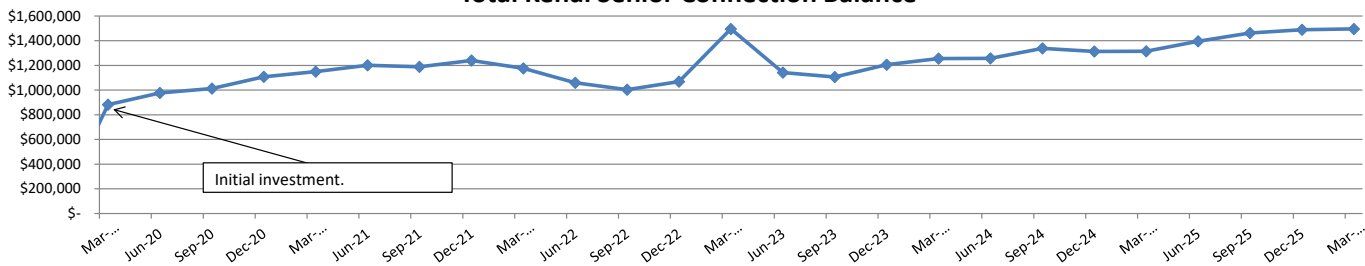
Total GLSPF Balance



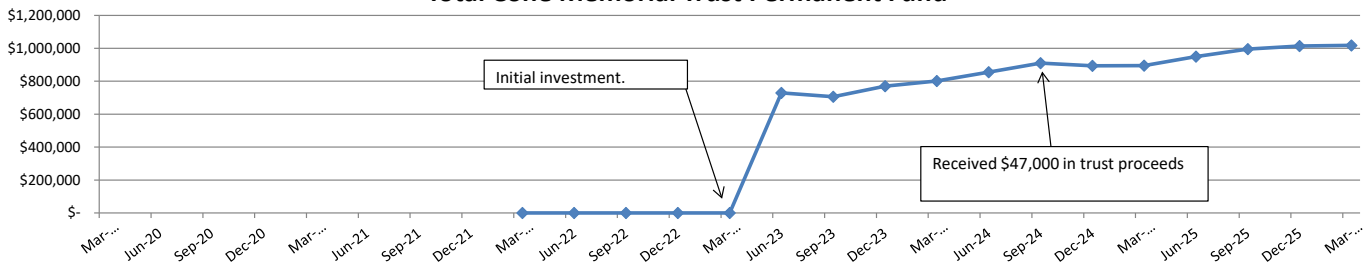
Total Kenai Community Foundation Balance



Total Kenai Senior Connection Balance



Total Cone Memorial Trust Permanent Fund





**ALASKA PERMANENT
CAPITAL MANAGEMENT**

Registered Investment Adviser

CITY OF KENAI PERMANENT FUNDS Investment Report

March 2026

Portfolio Overview

BEGINNING VALUE + ACCRUED	\$41,803,317
TRANSFERS IN/ OUT	-\$566
REALIZED GAINS/ LOSSES	\$491
CHANGE IN MARKET VALUE	-\$1,845,824
INTEREST INCOME	\$46,228
DIVIDEND INCOME	\$45,995
ENDING VALUE + ACCRUED	\$40,049,641

Portfolio Composition



Investment Performance



Performance is annualized for periods greater than one year. Inception to date performance begins October 01, 2008. Past performance is not indicative of future results.

Portfolio Summary and Target

	MARKET VALUE (\$)	ASSETS (%)	TARGET (%)	RANGE
RISK CONTROL				
U.S. Fixed Income	10,487,778	26.2%	26%	6% to 36%
Cash	1,341,985	3.4%	3%	0% to 10%
Risk Control Total	11,829,763	29.5%		
RISK ASSET				
U.S. High Yield Fixed Income	1,584,648	4.0%	4%	0% to 8%
U.S. Large Cap Equity	8,462,897	21.1%	22%	12% to 32%
U.S. Mid Cap Equity	3,922,910	9.8%	10%	0% to 18%
U.S. Small Cap Equity	2,028,360	5.1%	5%	0% to 10%
Developed International Equity	2,802,816	7.0%	8%	4% to 16%
Emerging Market Equity	2,393,540	6.0%	5%	0% to 10%
Risk Asset Total	21,195,171	52.9%		
ALTERNATIVES				
REITs	713,709	1.8%	2%	0% to 4%
Alternative Beta	4,060,772	10.1%	10%	0% to 15%
Infrastructure	2,250,226	5.6%	5%	0% to 10%
Alternatives Total	7,024,708	17.5%		
TOTAL PORTFOLIO	40,049,641	100.0%		

We urge you compare the account statement we provide with the account statement you receive from your custodian. We cannot guarantee the accuracy of this information for tax purposes. Please verify all information from trade confirmations.

Past performance is not indicative of future results.

Disclosures

S&P 500 Total Return Index

The S&P 500® Index is the Standard & Poor's Composite Index and is widely regarded as a single gauge of large cap U.S. equities. It is market cap weighted and includes 500 leading companies, capturing approximately 80% coverage of available market capitalization.

S&P MidCap 400 Total Return Index

The S&P MidCap 400 Index, more commonly known as the S&P 400, is a stock market index from S&P Dow Jones Indices. The index serves as a barometer for the U.S. mid-cap equities sector and is the most widely followed mid-cap index.

S&P Small Cap 600 Total Return Index

The S&P SmallCap 600® seeks to measure the small-cap segment of the U.S. equity market. The index is designed to track companies that meet specific inclusion criteria to ensure that they are liquid and financially viable.

MSCI EAFE Net Total Return USD Index

The MSCI EAFE Index (Europe, Australasia, Far East) is a free float-adjusted market capitalization-weighted index that is designed to measure the equity market performance of developed markets, excluding the United States and Canada. The MSCI EAFE Index consists of the following 21 developed market countries: Australia, Austria, Belgium, Denmark, Finland, France, Germany, Hong Kong, Ireland, Israel, Italy, Japan, the Netherlands, New Zealand, Norway, Portugal, Singapore, Spain, Sweden, Switzerland and the United Kingdom.

MSCI Emerging Net Total Return USD Index

The MSCI Emerging Markets Index is a free float-adjusted market capitalization-weighted index that is designed to measure equity market performance of emerging markets. The MSCI Emerging Markets Index consists of the following 26 emerging market country indices: Argentina, Brazil, Chile, China, Colombia, Czech Republic, Egypt, Greece, Hungary, India, Indonesia, Korea, Malaysia, Mexico, Peru, Philippines, Poland, Qatar, Russia, Saudi Arabia, South Africa, Taiwan, Thailand, Turkey and United Arab Emirates.

STOXX Global Broad Infrastructure Index Net Return USD

The STOXX Global Broad Infrastructure Index is derived from the STOXX. Developed and Emerging Markets Total Market Index (TMI) and offers a diversified representation of companies that generate more than 50% of their revenue from selected infrastructure sectors. STOXX partnered with Revere Data, which defines 17 subsectors for the infrastructure industry. These 17 subsectors are rolled into five supersectors - Communications, Energy, Government Outsourcing/Social, Transportation and Utilities.

S&P USA REIT USD Total Return Index

The S&P United States REIT Index defines and measures the investable universe of publicly traded real estate investment trusts domiciled in the United States.

Bloomberg Commodity Index Total Return

The Bloomberg Commodity Index provides broad-based exposure to commodities, and no single commodity or commodity sector dominates the index. Rather than being driven by micro-economic events affecting one commodity market or sector, the diversified commodity exposure of the index potentially reduces volatility in comparison with non-diversified commodity investments.

Wilshire Liquid Alternative Total Return Index

The Wilshire Liquid Alternative IndexSM measures the collective performance of the five Wilshire Liquid Alternative strategies that make up the Wilshire Liquid Alternative Universe. Created in 2014, with a set of time series of data beginning on December 31, 1999, the Wilshire Liquid Alternative Index (WLIQA) is designed to provide a broad measure of the liquid alternative market by combining the performance of the Wilshire Liquid Alternative Equity Hedge Index (WLIQAEH), Wilshire Liquid Alternative Global Macro Index (WLIQAGM), Wilshire Liquid Alternative Relative Value Index (WLIQARV), Wilshire Liquid Alternative Multi-Strategy Index (WLIQAMS), and Wilshire Liquid Alternative Event Driven Index (WLIQAED).

Bloomberg US Agg Total Return Value Unhedged USD

The Bloomberg U.S. Aggregate Index measures the performance of investment grade, U.S. dollar-denominated, fixed-rate taxable bond market, including Treasuries, government-related and corporate securities, MBS (agency fixed-rate and hybrid ARM pass-throughs), ABS, and CMBS. It rolls up into other flagship indices, such as the multi-currency Global Aggregate Index and the U.S. Universal Index, which includes high yield and emerging markets debt.

Bloomberg VLI: High Yield Total Return Index Value Unhedged USD

The Bloomberg VLI: High Yield Total Return Index is a component of the US Corp High Yield Index that is designed to track a more liquid component of the USD-denominated, high yield, fixed-rate corporate bond market.

Bloomberg GLA xUSD Float Adj RIC Capped Index TR Index Value Hedged USD

The Bloomberg Barclays Global Aggregate ex-USD Float-Adjusted RIC Capped Index is a customized subset of the Global Aggregate Index that meets the same diversification guidelines that a fund must pass to qualify as a regulated investment company (RIC). This multi-currency benchmark includes fixed-rate treasury, government-related, corporate and securitized bonds from developed and emerging markets issuers while excluding USD denominated debt. The Global Aggregate ex-USD Float Adjusted RIC Capped Index is largely comprised of two major regional aggregate components: the Pan-European Aggregate and the Asian-Pacific Aggregate Index.

FTSE 3 Month Treas Bill Local Currency

The FTSE 3 Month US T Bill Index Series is intended to track the daily performance of 3 month US Treasury bills. The indices are designed to operate as a reference rate for a series of funds.

Disclosures

Bloomberg Muni 1-15 Year Blend (1-17) Total Return Index Value

The Bloomberg Municipal 1-15 Year Index measures the performance of USD-denominated long-term, tax-exempt bond market with maturities of 1-15 years, including state and local general obligation bonds, revenue bonds, insured bonds, and prerefunded bonds.

Bloomberg Intermediate US Govt/Credit TR Index Value Unhedged

The Bloomberg U.S. Government Intermediate Index measures the performance of the U.S. Treasury and U.S. agency debentures with maturities of 1-10 years. It is a component of the U.S. Government/Credit Index and the U.S. Aggregate Index.

Bloomberg 1-5 Yr Gov/Credit Total Return Index Value Unhedge

The Bloomberg US 1-5 year Government/Credit Float-Adjusted Bond Index is a float-adjusted version of the US 1-5 year Government/Credit Index, which tracks the market for investment grade, US dollar-denominated, fixed-rate treasuries, government-related and corporate securities.

FTSE High Dividend Yield Total Return Index

The FTSE High Dividend Yield Index is designed to represent the performance of companies with relatively high forecast dividend yields

WisdomTree U.S. MidCap Dividend Index Total Return

The WisdomTree U.S. MidCap Dividend Index is a fundamentally weighted index that measures the performance of the mid-capitalization segment of the US dividend-paying market. The Index is comprised of the companies that compose the top 75% of the market capitalization of the WisdomTree U.S. Dividend Index after the 300 largest companies have been removed. The index is dividend weighted annually to reflect the proportionate share of the aggregate cash dividends each component company is projected to pay in the coming year, based on the most recently declared dividend per share.

WisdomTree U.S. SmallCap Dividend Index Total Return

The WisdomTree U.S. SmallCap Dividend Index is a fundamentally weighted index measuring the performance of the small-capitalization segment of the US dividend-paying market. The Index is comprised of the companies that compose the bottom 25% of the market capitalization of the WisdomTree U.S. Dividend Index after the 300 largest companies have been removed. The index is dividend weighted annually to reflect the proportionate share of the aggregate cash dividends each component company is projected to pay in the coming year, based on the most recently declared dividend per share.

Bloomberg U.S. Long Government/Credit Unhedged USD

The Bloomberg U.S. Government Credit Long Index measures the performance of the non-securitized component of the U.S. Aggregate Index with maturities of 10 years and greater, including Treasuries, government-related issues, and corporates. It is a subset of the U.S. Aggregate Index.

Bloomberg Intermediate US Govt/Credit TR Index Value Unhedged

The Bloomberg U.S. Government Credit Intermediate Index measures the performance of the non-securitized component of the U.S. Aggregate Index with maturities of 1-10 years, including Treasuries, government-related issues, and corporates. It is a subset of the U.S. Aggregate Index.

Bloomberg Municipal Bond 5 Year (4-6) Total Return Index Unhedged USD

An index designed to measure the performance of tax-exempt U.S. investment grade municipal bonds with remaining maturities between four and six years. Index returns assume reinvestment of distributions, but do not reflect any applicable sales charges or management fees.

MSCI ACWI IMI Net Total Return USD Index

The MSCI ACWI Investable Market Index (IMI) captures large, mid and small cap representation across 23 Developed Markets (DM) and 24 Emerging Markets (EM) countries. The MSCI AXWI IMI includes the following 23 developed market countries : Australia, Austria, Belgium, Canada, Denmark, Finland, France, Germany, Hong Kong, Ireland, Israel, Italy, Japan, Netherlands, New Zealand, Norway, Portugal, Singapore, Spain, Sweden, Switzerland, United Kingdom, and United States. The MSCI AXWI IMI includes the following 24 emerging market countries: : Brazil, Chile, China, Colombia, Czech Republic, Egypt, Greece, Hungary, India, Indonesia, Korea, Kuwait, Malaysia, Mexico, Peru, Philippines, Poland, Qatar, Saudi Arabia, South Africa, Taiwan, Thailand, Turkey and United Arab Emirates.

Bloomberg 1-3 Yr Gov Total Return Index Value Unhedged USD

The Bloomberg U.S. Government/Credit 1-3 Year Index is an unmanaged index considered representative of performance of short-term U.S. corporate bonds and U.S. government bonds with maturities from one to three years.

Bloomberg 1-5 Yr Gov TR Index

Bloomberg Barclays Municipal 1-5 Yr TR USD includes all medium and larger issues of U.S. government, investment-grade corporate, and investment-grade international dollar-denominated bonds that have maturities of between 1 and 5 years and are publicly issued.

ICE BofA US 3-Month Treasury Bill Index

The ICE BofA 3 Month U.S. Treasury Index measures the performance of a single issue of outstanding treasury bill which matures closest to, but not beyond, three months from the rebalancing date. The issue is purchased at the beginning of the month and held for a full month; at the end of the month that issue is sold and rolled into a newly selected issue.

Bloomberg US Treasury TIPS 0-5 Years Total Return Index Unhedged USD

Bloomberg US Treasury Inflation-Protected Securities (TIPS) 0-5 Year Index is a market value-weighted index that measures the performance of inflation-protected securities issued by the US Treasury that have a remaining average life between 0 and 5 years.

Bloomberg U.S. Treasury Bellwethers: 1 Yr

The Bloomberg U.S. Treasury Bellwethers 1 Yr. Index is an unmanaged index representing the on-the-run (most recently auctioned) U.S. Treasury bond with 1 years' maturity.



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