

***AMENDED PLAN COMMISSION**

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, August 17, 2023 at 4:00 PM

AGENDA

1. Roll Call.
2. Approval of Minutes.
 - [a.](#) Approve Minutes from August 3, 2023 Meeting
3. New Business.
 - [a.](#) Request to Install Groundwater Monitoring Well - CTH CE at Old Weiler Rd
 - [b.](#) Site Plan Review - Straightline Refrigeration; Lots 12 & 13 of NEW Prosperity Center
 - [c.](#) Park Donation Application Review
 - [d.](#) *Thilmany Fund Request - Red Hills Landfill Haul Road
4. Other Business.
5. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



*AMENDED PLAN COMMISSION

City of Kaukauna
Council Chambers
 Municipal Services Building
 144 W. Second Street, Kaukauna



Thursday, August 03, 2023 at 4:00 PM

MINUTES

1. Roll Call.

Members present: Michael Avanzi, John Moore, DPW John Neumeier, Mayor Penterman, Ken Schoenike, Pennie Thiele

Member(s) absent: Giovanna Feller

Others present: PCDD Joe Stephenson, AP Lily Paul, Brian Roebke Times Villager, Jeff Van Asten, Kim Ryan

Neumeier made a motion to excuse the absent members. Schoenike seconded the motion. The motion passed unanimously.

2. Approval of Minutes.

a. Approve Minutes from July 20, 2023 Meeting

Moore made a motion to approve the minutes from July 20, 2023 meeting. Neumeier seconded the motion. The motion passed unanimously.

3. New Business.

- ~~a. Special Exception Request – The Reserve; 1400 Arbor Way~~
- b. Park Donation Application Review – Bench

AP Lily presented a bench donation to be installed on the Nelson Family Heritage trail by Sue Calmes and family in honor of their parents. DPW Neumeier mentioned that HOV Sewer needs access behind the vents on the trail.

Neumeier made a motion to approve the bench donation and direct staff to work with the applicant to install the bench in a more precise location. Avanzi seconded the motion. The motion passed unanimously.

- c. Review Petition for Direct Annexation by One-Half Approval of Territory to City of Kaukauna

PCDD Stephenson presented a Direct Annexation by One-Half approval of Territory to the City of Kaukauna, he described the territory directly adjacent to the North and to the West of Commerce Crossing, 3 parcels across STH 55 and 2 parcels across Rose Hill Rd/CTH CC for a total of 142.6 acres. Once annexed to the city the parcels

will assume their current zoning (General Agriculture) and taxes will not change drastically. The TIF district will then be extended to include this additional land and assist with development in the area, as well as road construction and utility installation. A conversation with Little Chute was had, and there was no boundary agreement with Rose Hill Rd/CTH CC. There was a concern about Apple Creek going through one large parcel – nothing will change and all easements for that will stay intact.

Neumeier made a motion to approve the annexation and recommend the same to the Common Council and direct staff to draft the ordinance and publish public hearing. Thiele seconded the motion. The motion passed unanimously.

4. Other Business.

There was no other business.

5. Adjourn.

Schoenike made a motion to adjourn the meeting. Avanzi seconded the motion. The motion passed unanimously. Meeting adjourned at 4:32 PM.



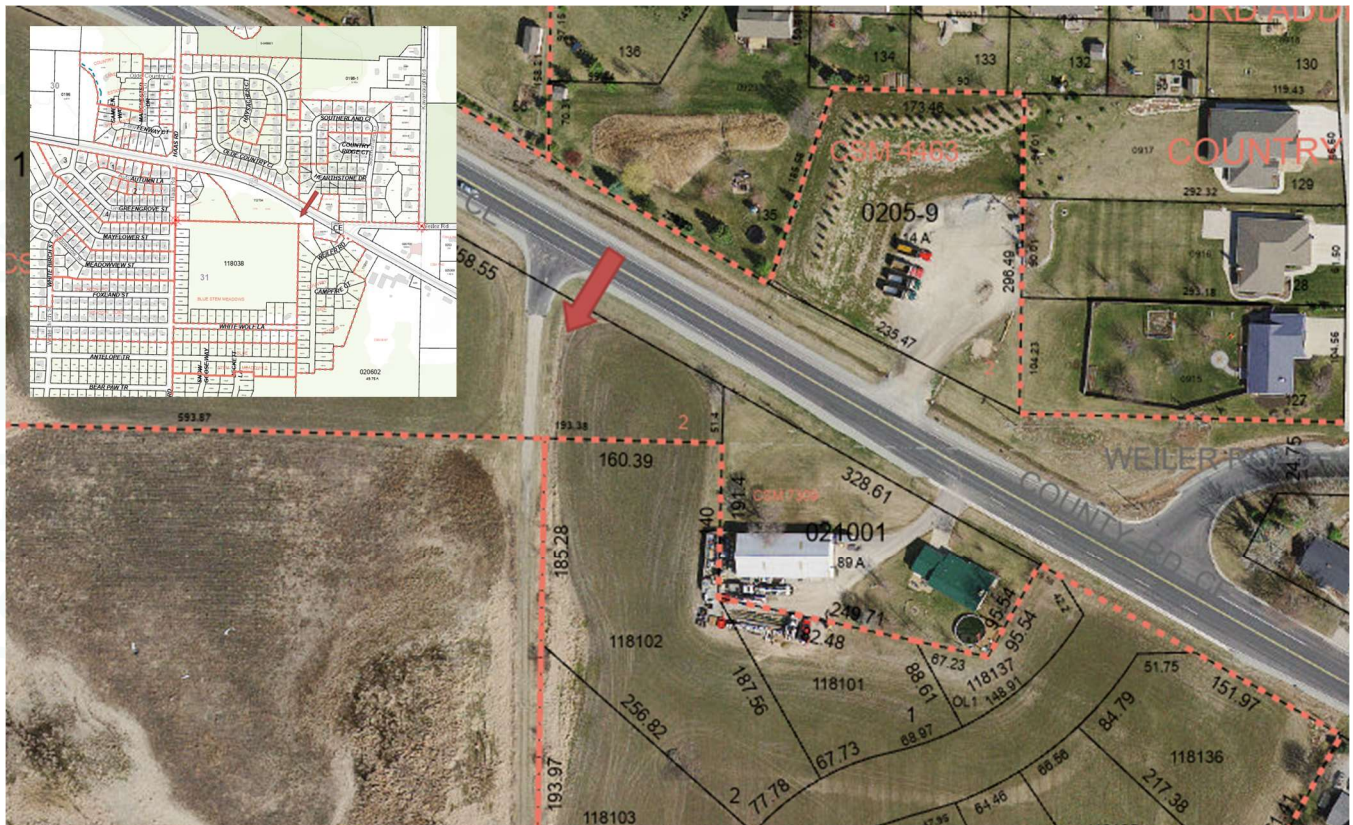
MEMO

Engineering Department

To: Plan Commission
 From: John Neumeier – DPW/City Engineer
 Date: 7/28/2023
 Re: Request to install groundwater monitoring well – CTH CE at old Weiler Road

The University of Wisconsin-Green Bay (UWGB) along with the United States Geological Survey (USGS) have reached out to Kaukauna Utilities to drill a test/research well for a project focused on groundwater arsenic and the cones of depression in Green Bay and the Fox Cities areas. UWGB and USGS are requesting to install a well at a location shown below, near the old Weiler Road on CTH CE. The City would request having an easement agreement in place, similar to the attached from 2021 in LaFollette Park. The City has requested that UWGB provide the easement legal description and exhibit.

Recommended Action: Approve the request and direct staff to work with UWGB and USGS to develop a final easement location and agreement for Common Council consideration.



INFORMATION ONLY

RESOLUTION NUMBER _____

RESOLUTION AUTHORIZING MAYOR PENTERMAN TO SIGN A GROUND WATER MONITORING STATION EASEMENT TO U.S. DEPARTMENT OF INTERIOR, U.S. DEPARTMENT OF GEOLOGICAL SURVEY AND WISCONSIN GEOLOGICAL AND NATURAL HISTORY SURVEY – UNIVERSITY OF WISCONSIN - MADISON

WHEREAS, the City of Kaukauna (herein after “Grantor”) and U.S. Department of Interior, U.S. Department of Geological Survey and Wisconsin Geological and Natural History Survey – University of Wisconsin - Madison (herein after “Grantees”) wish to enter into an agreement to cooperatively collect long-term groundwater levels in order to fulfill the Grantor’s requirement to regulate high-capacity wells under s. 281.34, Wis. Stats., and Chapter NR 820, Wis. Adm. Code, and its responsibility to implement the Great Lake Compact under s. 281.343(4)(a), Wis. Stats.; and

WHEREAS, the portion of Grantor’s property subject to this Easement (“Premises”) is described below and more particularly shown on Exhibit “A”:

BEING PART OF “KLEINS PARK” (NOW KNOWN AS LAFOLLETTE PARK) PER THE ASSESSOR’S MAP OF THE CITY OF KAUKAUNA, LOCATED IN AND BEING PART OF GOVERNMENT LOT 8, SECTION 22, TOWNSHIP 21 NORTH, RANGE 18 EAST, SOUTH OF THE FOX RIVER, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH ¼ CORNER OF SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, NORTH OF THE FOX RIVER; THENCE S26°32’23”E, 3298.11 FEET TO THE POINT OF BEGINNING; THENCE N90°00’00”E, 18.00 FEET; THENCE S00°00’00”E, 18.00 FEET; THENCE S90°00’00”W, 18.00 FEET; THENCE N00°00’00”W, 18.00 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 324 SQ. FT. OF LAND MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD; and

WHEREAS, the Grantee requests an Easement allowing it to access Grantor’s property in order to collect groundwater data by constructing, installing, operating and maintaining, removing and replacing a monitoring station containing one groundwater well; and

NOW, THEREFORE, Be It Resolved, by the Common Council of the City of Kaukauna that the Mayor and Clerk are authorized on behalf of the City to sign the easement to Grantees, attached and made a part hereof, granting an easement for groundwater monitoring purposes.

Introduced and adopted this _____ day of May, 2021.

APPROVED: _____
Anthony J. Penterman, Mayor

ATTEST: _____
Sally A. Kenney, Clerk

INFORMATION ONLY

GROUND WATER MONITORING STATION EASEMENT

Document Name

THIS GROUNDWATER MONITORING STATION EASEMENT (“Easement”) made by and between the City of Kaukauna, a Municipal Corporation (“Grantor”), and the U.S. Department of the Interior, U.S. Department of Geological Survey and Wisconsin Geological and Natural History Survey – University of Wisconsin - Madison (“Collectively Grantee”).

Recording Area

Name and Return Address:
City Of Kaukauna
Planning Dept.
144 W. Second St.
Kaukauna, WI 541401

RECITALS

WHEREAS, Grantor and Grantee enter into this agreement to cooperatively collect long-term groundwater level data to fulfill Grantor’s requirement to regulate high-capacity wells under s. 281.34, Wis. Stats., and Chapter NR 820, Wis. Adm. Code, and its responsibility to implement the Great Lake Compact under s. 281.343(4)(a), Wis. Stats.;

Parcel Identification Number

WHEREAS, Grantee desires to install monitoring station in order to collect said data;

WHEREAS, Grantee requests an Easement allowing access over and upon Grantor’s property to collect groundwater data by constructing, installing, operating, maintaining, removing and replacing a monitoring station containing one groundwater well; and

WHEREAS, the portion of Grantor’s property subject to this Easement (“Premises”) is described below and more particularly shown on Exhibit “A”:

BEING PART OF “KLEINS PARK” (NOW KNOWN AS LAFOLLETTE PARK) PER THE ASSESSOR’S MAP OF THE CITY OF KAUKAUNA, LOCATED IN AND BEING PART OF GOVERNMENT LOT 8, SECTION 22, TOWNSHIP 21 NORTH, RANGE 18 EAST, SOUTH OF THE FOX RIVER, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH ¼ CORNER OF SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, NORTH OF THE FOX RIVER; THENCE S26°32’23”E, 3298.11 FEET TO THE POINT OF BEGINNING; THENCE N90°00’00”E, 18.00 FEET; THENCE S00°00’00”E, 18.00 FEET; THENCE S90°00’00”W, 18.00 FEET; THENCE N00°00’00”W, 18.00 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 324 SQ. FT. OF LAND MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

NOW, THEREFORE, Grantor hereby agrees to convey to Grantee and its assigns, a non-exclusive perpetual easement to access, construct, install, operate, maintain, repair, remove and replace monitoring stations drilled and/or placed on the above described Premises, along with activities directly related to water sampling as required collect long-term groundwater level data.

It is understood by Grantor and Grantee that this Easement is subject to the following conditions:

1. Grantor and Grantee hereto confirm and agree that the recitals set forth above are true and correct and incorporate the same herein for all purposes.

2. Grantor grants and conveys to Grantee this non-exclusive Easement for the construction, installation, operation, maintenance, repair, replacement and removal of monitoring stations consisting of, but not limited to a drilled well which shall be constructed in compliance with Ch. NR 141 and Ch. NR 812, Wis. Adm. Codes, along with vehicle and walk in access to the Premises, as is reasonably deemed necessary for installation and collecting data including, but not limited to water-level measurements, geophysical measurements and/or water quality sampling purposes. Grantee shall share all information gained from said monitoring upon request of the Grantor.
3. This Easement is limited to Grantee and its assigns and is not transferrable to any other third party, except after prior written notification to Grantor. Grantee will not have the right to allow additional co-location of other facilities in the Easement.
4. The Easement shall be non-exclusive and Grantor may use the Premises and shall have the right to lease or convey other easements to one or more other person(s), company(ies) or other entity(ies); provided that any such subsequent use, lease or conveyance shall not interfere with Grantee's rights.
5. Grantee shall submit a written notification of project commencement to Grantor's Project Manager identified in Paragraph 18 herein at least thirty (30) days prior to the initiation of any well construction work on the Premises. Grantee may commence said work unless Grantor informs Grantee not to proceed ten (10) days prior to commencing work. If an emergency situation arises within the Premises requiring immediate action by Grantee, Grantee shall immediately notify Grantor's project manager that an emergency exists, and that Grantee is proceeding to correct the emergency situation.
6. If approved in writing in advance by Grantor's Property Manager, Grantee may enter upon the Premises at a specified location outside of the Easement Area to gain access to the Easement Area in order to construct, install, operate, maintain, repair, remove and replace an underground electric line and to do any and all other such work as is reasonably necessary in accordance with the rights granted under this Easement.
7. Grantee may cut, trim and remove any brush, trees, logs, stumps or branches within the Premises which by reason of their proximity may interfere with the installation, repair, maintenance, operation, removal and replacement of the station. Grantee's representative (employee or contractor) will communicate in writing, the planned vegetative activities with Grantor's project manager prior to vegetation work commencing. Grantee may commence said work unless Grantor informs Grantee not to proceed five (5) working days prior to commencing work. Accepted arborist pruning/removal and equipment practices must be adhered to and all waste debris, stumps and slash must be removed and disposed of by Grantee off site before project completion in accordance with all applicable federal, state and local statutes, rules, regulations and ordinances. When the removal of a tree is permitted, the stump shall be cut flush with the ground or be removed. All trees having a commercial value, including firewood, shall be cut in 100-inch lengths and piled conveniently by Grantee, for disposal, by sale or otherwise, by Grantor.
8. Use of pesticides and herbicides shall only be allowed with the prior written approval of the Grantor. Any pesticides or herbicides used as part of a management plan must conform to the Forest Stewardship Council list found at <https://ic.fsc.org/en/our-impact/program-areas/forest-program/pesticides>. Grantee shall report to the Grantor (i.e. property manager), prior to December 1 of each year chemicals are applied, the chemicals that are applied on the Premises including the date, product trade name, active ingredient(s) and corresponding CAS number(s), purpose, rate, location with a map, total area treated, and total amount of

chemical used.

9. Any signage placed by Grantee for purposes of project activities shall have prior written approval from Grantor.
10. Grantee shall maintain the Premises in a decent, sanitary, and safe condition during construction, repair, maintenance, removal and replacement, and at no time shall Grantee allow its work to cause a hazard or unsafe conditions.
11. Grantee is responsible for identifying any existing utility lines located within the Premises and for any and all damages, costs or liabilities that result caused by Grantee that result from any damages to any exiting utilities within the Premises.
12. Grantor does not warrant that title to the Premises is free and clear of all encumbrances or that it has sole ownership or that it will defend Grantee in its peaceful use and occupancy of the Premises. Grantee assumes all liability in determining the sufficiency of Grantor's right to convey this Easement.
13. Grantee shall obtain all necessary permits, approvals, and licenses and comply with all applicable federal, state, and local statutes, regulations and ordinances affecting the design, materials or performance of exercising any and all rights granted by this Easement.
14. Grantee shall properly abandon the monitoring well and restore the Premises to pre-existing conditions when monitoring work has been completed and the monitoring station is decommissioned. If a replacement monitoring well is drilled, due to some unforeseen problem, the replaced well will be properly abandoned and this Easement will remain in place for a newly drilled replacement well. Upon final decommissioning of wells at this monitoring station, this Easement shall terminate.
15. The Easement shall automatically terminate upon Grantee's abandonment of the Premises and shall automatically revert to and re-vest in Grantor without reentry upon the abandonment of the use of the same for groundwater data collection purposes, or upon non-use of the same for a period of 2 years. Grantee's duties as reflected in paragraph 14 shall survive the reversion.
16. Grantee agrees to hold harmless Grantor, its officers, agents and employees from any and all liability, including claims, demands, losses, costs, damages, and expenses of every kind and description (including death), or damages to persons or property arising out of or in connection with or occurring during the course of this Easement where such liability is founded upon or grows out of the acts or omissions of any of the officers, employees or agents of Grantee while acting within the scope of their employment where protection is afforded by secs. 893.82 and 895.46(1), Wis. Stats.
17. Grantor retains management, supervision and control over the Premises for the purpose of enforcing pertinent state laws needed to protect the Premises, its natural resources or the general public, including Chapter NR 45, Wis. Admin. Code, which governs the conduct of visitors to state lands.
18. All notices or other writings this Easement requires to be given, or which may be given, to either party by the other shall be deemed to have been fully given when made in writing and deposited in the United States mail, prepaid and addressed as follows:

- a. To Grantor: City of Kaukauna, 144 W. 2nd Street, Kaukauna, WI 54130.
 - b. To Grantee: U.S. Department of the Interior, U.S. Geological Survey, c/o Robert Waschbusch, 8505 Research Way, Middleton, WI 53562-3581
 - c. The address to which any notice, demand, or other writing may be given, made or sent to either party to this Easement may be changed by written notice.
19. This Easement shall be binding on Grantor and Grantee, their successors and assigns.
 20. This Easement shall be construed and enforced in accordance with the internal laws of the State of Wisconsin.
 21. This Easement sets forth the entire understanding of the parties and may not be changed except by a written document executed and acknowledged Grantor and Grantee.
 22. If any term or condition of this Easement shall be deemed invalid or unenforceable, the remainder of this Easement shall not be affected thereby, and each term and condition shall be valid and enforceable to the fullest extent permitted by law.
 23. Enforcement of this Easement may be by proceedings at law or in equity against any person or persons violating or attempting or threatening to violate any term or condition in this Easement, either to restrain or prevent the violation or to obtain any other relief.

END OF CONDITIONS

GRANTOR:**CITY OF KAUKAUNA**

By: _____
 Name: Anthony J. Penterman
 Title: Mayor

By: _____
 Name: Sally A. Kenny
 Title: Clerk

STATE OF WISCONSIN)
)
 COUNTY OF OUTAGAMIE) SS

Personally came before me on _____, 2021, the above-named Anthony J. Penterman and Sally A. Kenney, to me known by the person(s) who executed the foregoing instrument and acknowledged to me that they executed the same in their authorized capacity, and that by his/her signature on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

Witness my hand and official seal.

 _____,
 Notary Public, State of Wisconsin
 My commission expires:

IN WITNESS WHEREOF, U.S. Department of the Interior, U.S. Geological Survey, c/o Hydrologist, 8505 Research Way, Middleton, WI 53562 hereby accepts and consents to the terms and conditions of this Easement this _____ day of _____, 2021.

U.S. Department of the Interior,
U.S. Geological Survey

By _____ (SEAL)
Robert Waschbusch, Hydrologist
Midwest Region

State of Wisconsin)
) ss.
County of _____)

Personally came before me this _____ day _____, 2021, the above named, Robert Waschbusch, Hydrologist, U.S. Department of the Interior, U.S. Geological Survey, to me known to be the person who executed the foregoing instrument and acknowledged that he executed and delivered the same as and for the act and deed of Grantee.

*
Notary Public, State of Wisconsin
My Commission (expires)(is)_____.

IN WITNESS WHEREOF, Wisconsin Geological and Natural History Survey – UW Madison, c/o hydrologist, 3817 Mineral Point Road, Madison, WI 53705 hereby accepts and consents to the terms and conditions of this Easement this _____ day _____, 2021.

Wisconsin Geological and Natural History Survey, University of
Wisconsin - Madison

By _____ (SEAL)

Dan Langer
Assistant, Vice Chancellor/Controller

State of Wisconsin)
) ss.
County of _____)

Personally came before me this _____ day of _____, 2021, the above named, Dan Langer Assistant Vice Chancellor/Controller for UW-Madison, to me known to be the person who executed the foregoing instrument and acknowledged that he executed and delivered the same as and for the act and deed of the Grantee.

_____*

Notary Public, State of Wisconsin
My Commission (expires)(is)_____.

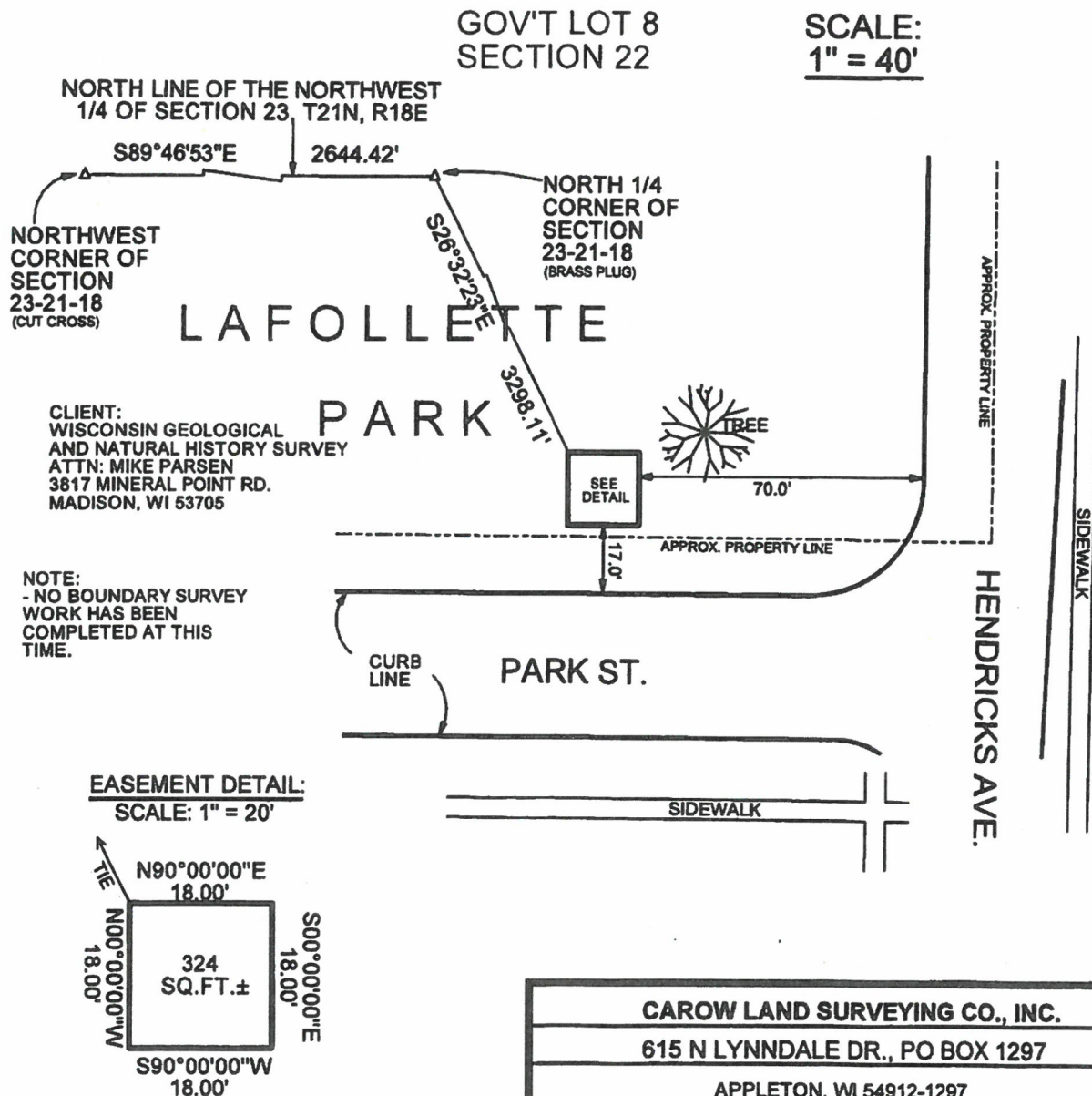
This instrument prepared by:
City of Kaukauna
Attorney Kevin Davidson, 144 W. Second Street, Kaukauna, WI 54130

EASEMENT EXHIBIT A

"NGWMN 2020 - WELL OU-1900"

DESCRIPTION:

BEING PART OF "KLEINS PARK" (NOW KNOWN AS LAFOLLETTE PARK) PER THE ASSESSOR'S MAP OF THE CITY OF KAUKAUNA, LOCATED IN AND BEING PART OF GOVERNMENT LOT 8, SECTION 22, TOWNSHIP 21 NORTH, RANGE 18 EAST, SOUTH OF THE FOX RIVER, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 23, TOWNSHIP 21 NORTH, RANGE 18 EAST, NORTH OF THE FOX RIVER; THENCE S26°32'23"E, 3298.11 FEET TO THE POINT OF BEGINNING; THENCE N90°00'00"E, 18.00 FEET; THENCE S00°00'00"E, 18.00 FEET; THENCE S90°00'00"W, 18.00 FEET; THENCE N00°00'00"W, 18.00 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 324 SQ. FT. OF LAND MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.



A2104.45

CAROW LAND SURVEYING CO., INC.

615 N LYNNDAL DR., PO BOX 1297

APPLETON, WI 54912-1297

DATE: 4/27/2021

SCALE: 1" = 40'

DRAWN BY: CP



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Associate Planner Lily Paul
Date: August 11, 2023
Re: Site Plan Review – Straightline Refrigeration; Lots 12 & 13 of NEW
Prosperity Center

Site Plan Review

Site/Architectural

This site has received a variance for 20 foot front yard setbacks and the site plan is adhering to that and all other setbacks within the Industrial (IND) zone. A 32,010 square foot building is proposed for the purpose of fabricating custom industrial refrigeration systems. There will be 22 parking spots which meets code requirements. The façade of the building will have masonry wainscoting and an approved non-corrugated metal siding which is pewter in color.

Landscape

Code requires 50% of canopy trees within the front yard. With the 20 foot setback variance, the front yard trees may interfere with utilities. Staff will work with the developer to place the trees in an appropriate location. The landscaping plan meets all other requirements.

Lighting

The lighting plan shows a max foot-candle of 5.10 at the loading dock. There is ample lighting evenly placed on the exterior of the building and around the parking lot/driveway with an average foot-candle of 2.16. There is no light impeding on neighboring properties or public streets as the average foot-candle on the perimeter of the property is 0.0.

Stormwater

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

Recommendation:

Staff recommends to approve the site plan for Straightline Refrigeration with the following conditions:

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from Engineering Department**
- **Provide documentation of wetland permitting**





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: City of Kaukauna	Name: Straightline Refrigeration
Mailing Address: 144 W 2nd St Kaukauna, WI 54130	Mailing Address: 1925 W Packard St. Appleton, WI 54914
Phone: 920-766-6300	Phone: 920-903-1043
Email:	Email: kboisvert@straightlinerefrigeration.com, nluedtke@straightlinerefrigeration.com

PROPERTY INFORMATION	
Described the Proposed Project in Detail: New Industrial building, parking, grading and sub-surface infrastructure to support the proposed development.	
Property Parcel (#): 2-1129 & 2-1128	
Site Address/Location: Vacant Parcel at Corner of Kelso Rd. and Electric City Blvd.	
Current Zoning and Use: Industrial	
Proposed Zoning and Use: Industrial	
Existing Gross Floor Area of Building: 0	Proposed Gross Floor Area of Building: 32,010 SF
Existing Building Height: 0	Proposed Building Height: 42'
Existing Number of Off-Street Parking Spaces: 0	Proposed Number of Off-Street Parking Spaces: 22
Existing Impervious Surface Coverage Percentage: 0	Proposed Impervious Surface Coverage Percentage: 13.3%

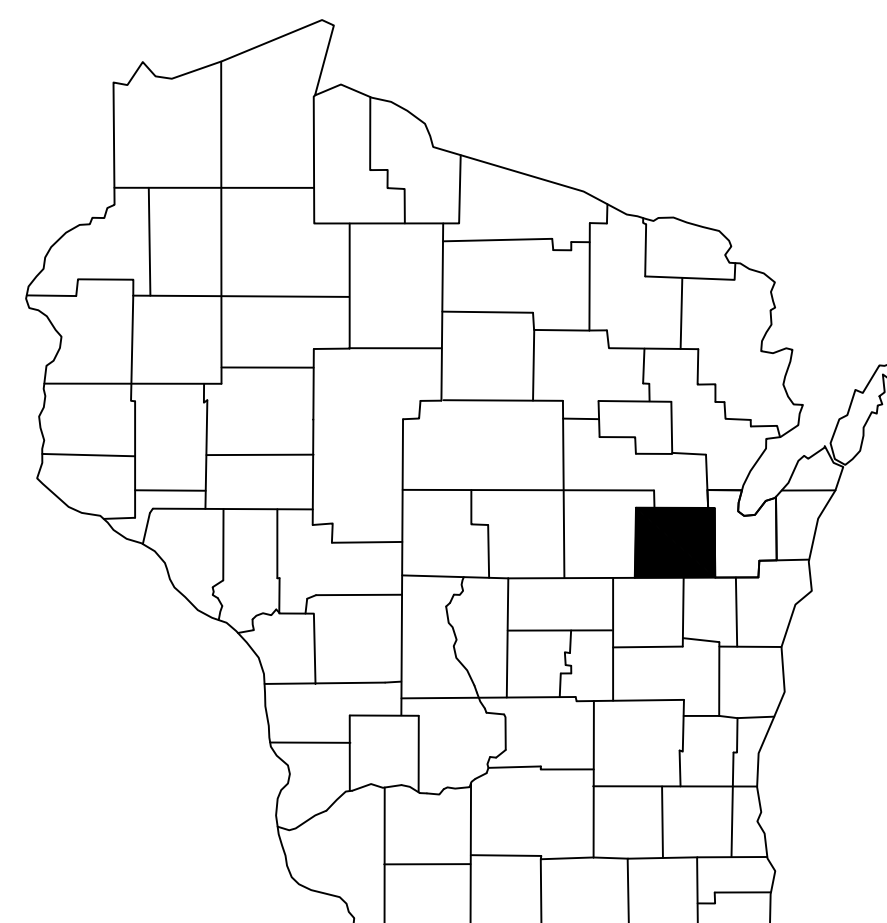
I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Kerry Boisvert

Owner/Agent Name (printed): KERRY BOISVERT

Straightline Refrigeration

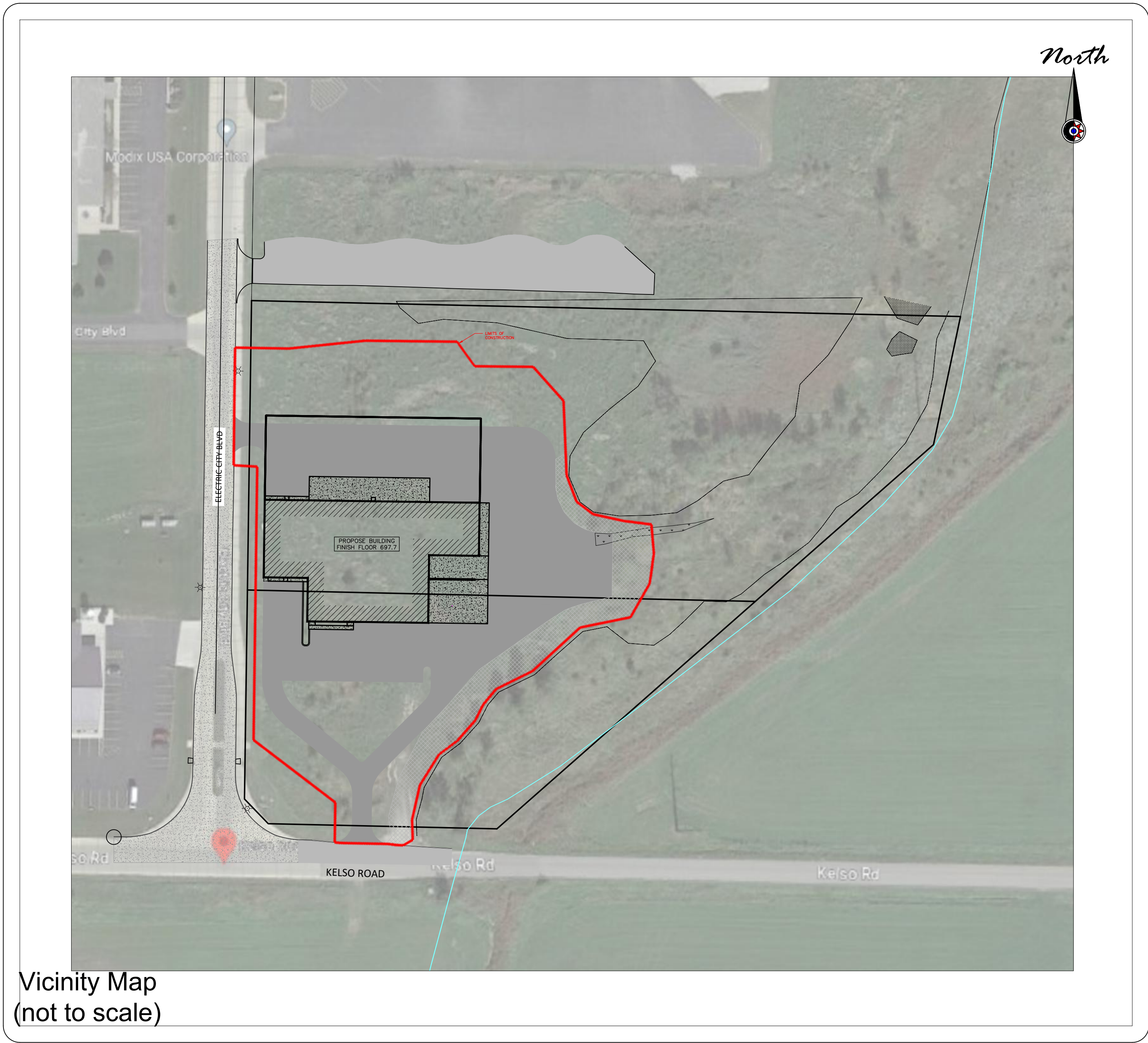
City of Kaukauna
Outagamie County, WI



SITE STATISTICS

BEFORE CONSTRUCTION
SITE AREA: 9.73 ACRES
PAVEMENT: 0 ACRES (0%)
BUILDINGS: 0 ACRES (0%)
GREEN SPACE: 9.73 ACRES (100%)
IMPERVIOUS: 0 ACRES (0%)

AFTER CONSTRUCTION
SITE AREA: 9.73 ACRES
PAVEMENT: 2.19 ACRES (22.5%)
BUILDING: 0.74 ACRES (7.6%)
GREEN SPACE: 6.80 ACRES (69.9%)
(IMPERVIOUS: 2.93 ACRES (30.1%))



PROJECT INFORMATION

OWNER(S):	Straightline Refrigeration
PROJECT NAME:	Office & Fabrication Shop
PROJECT DESCRIPTION:	32,000 S.F. Building and associated pavement/parking
PROJECT LOCATION:	Northeast Corner of Electric City Blvd. & Kelso Road
PARCEL NUMBER(S):	2-1128 & 2-1129

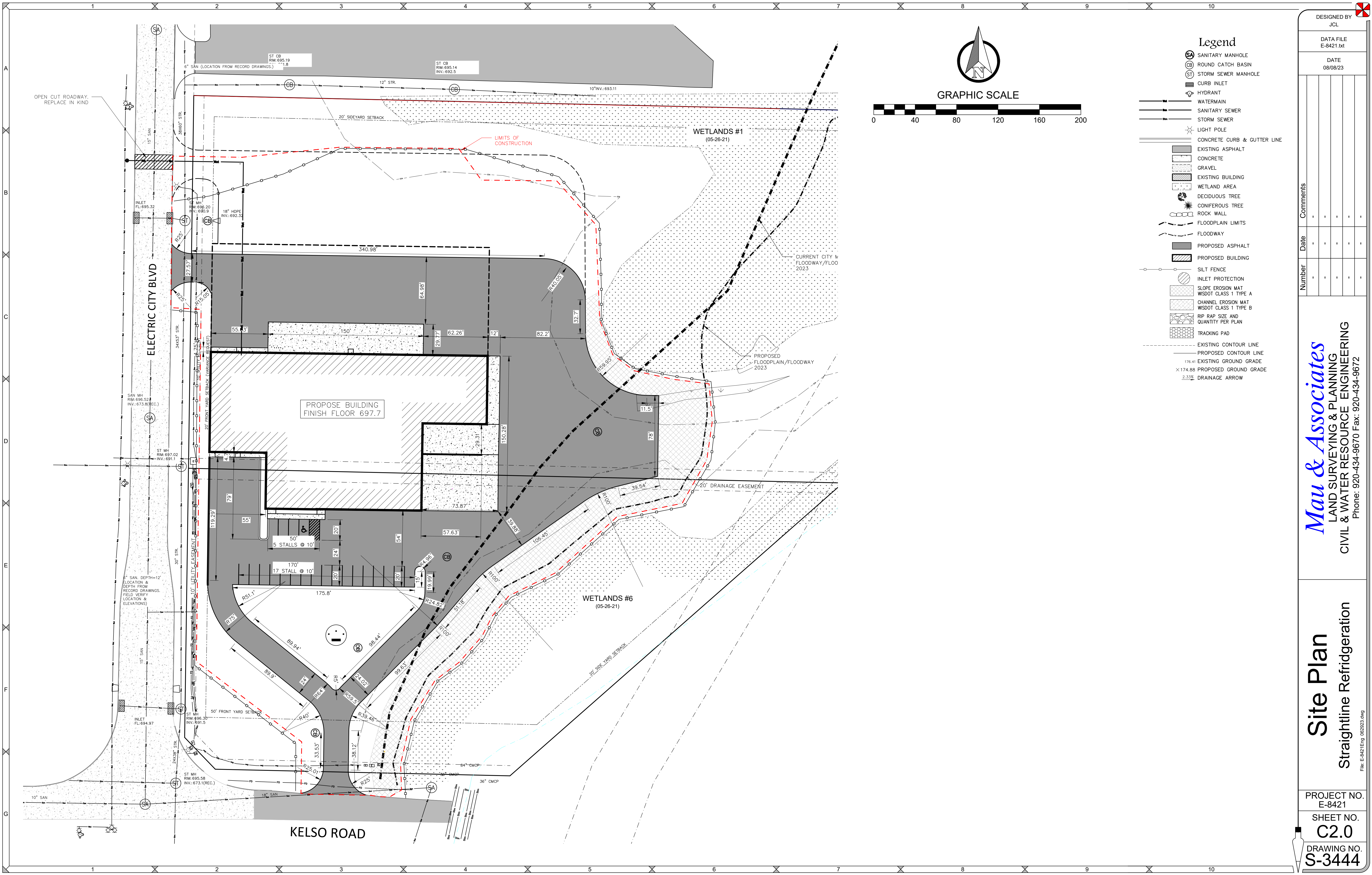
CONTACT INFORMATION

OWNER(S):	Straightline Refrigeration Nate Luedtke , Korry Boisvert 1925 W. Packard St. Appleton, WI 54914 PH.: 920-903-1043
ENGINEER:	Vierbicher Contact: Tonya Wagner, P.E. 400 Security Blvd. Suite 1 Green Bay, WI 54313-9712 Ph.: 920-434-9670

SHEET INDEX:
C1.0 TITLE SHEET
C2.0 SITE LAYOUT PLAN
C3.0 EXISTING SITE
C4.0 EROSION CONTROL PLAN
C5.0 GRADING & SITE UTILITY PLAN
C6.0 NOTES & DETAILS
C6.1 NOTES & DETAILS
C7.0 EXISTING WATERSHED
C8.0 PROPOSED WATERSHED
C9.0 DSPTS ISOMETRIC PLAN

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

DATE:	08/08/23
PROJECT NO.	E-8421
SHEET NO.	C1.0
DRAWING NO.	S-3444



DESIGNED BY
JCL

DATA FILE
E-8421.txd

DATE
08/08/23

Number	Date	Comments

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

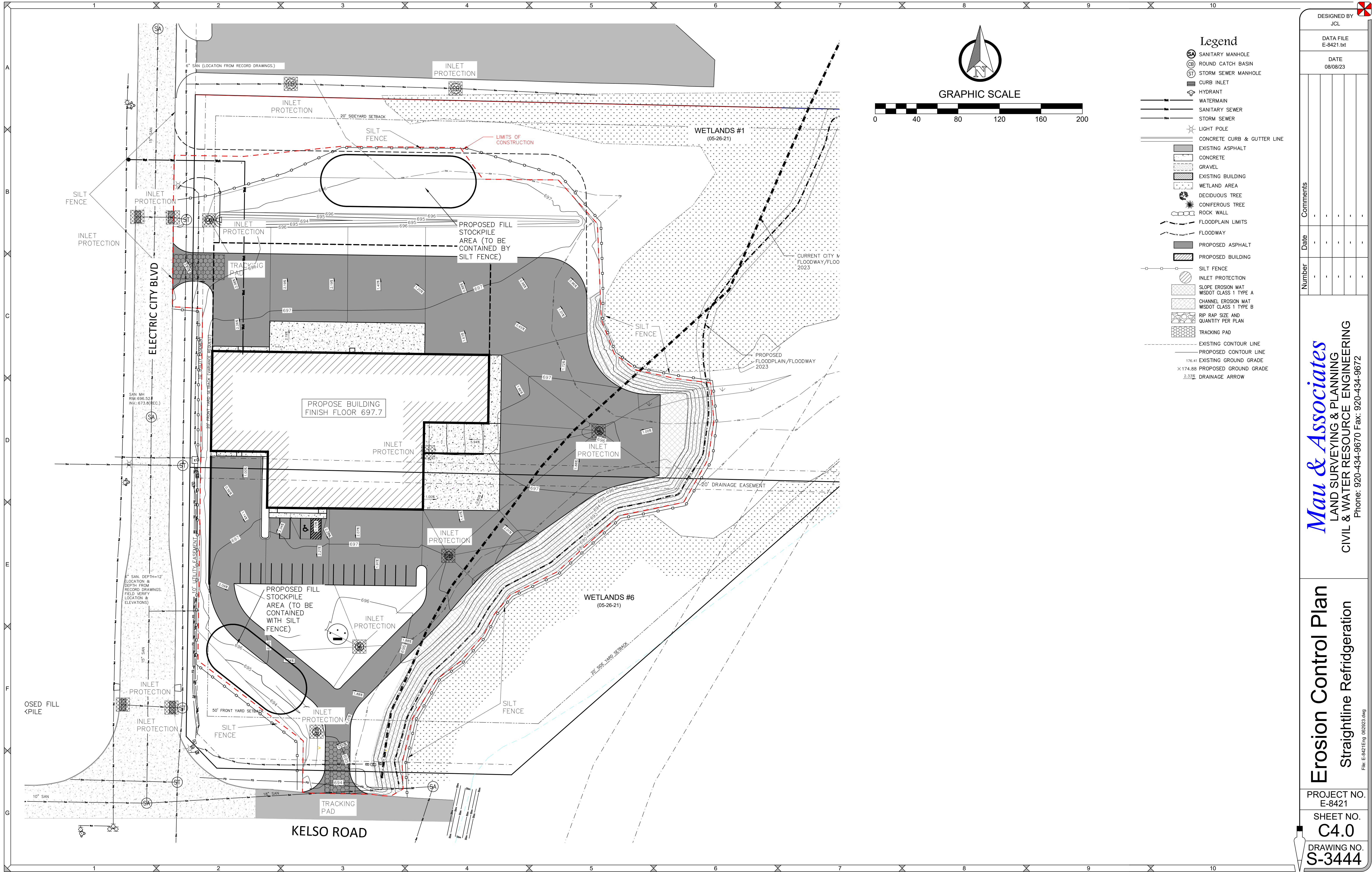
Site Plan
Straightline Refrigeration

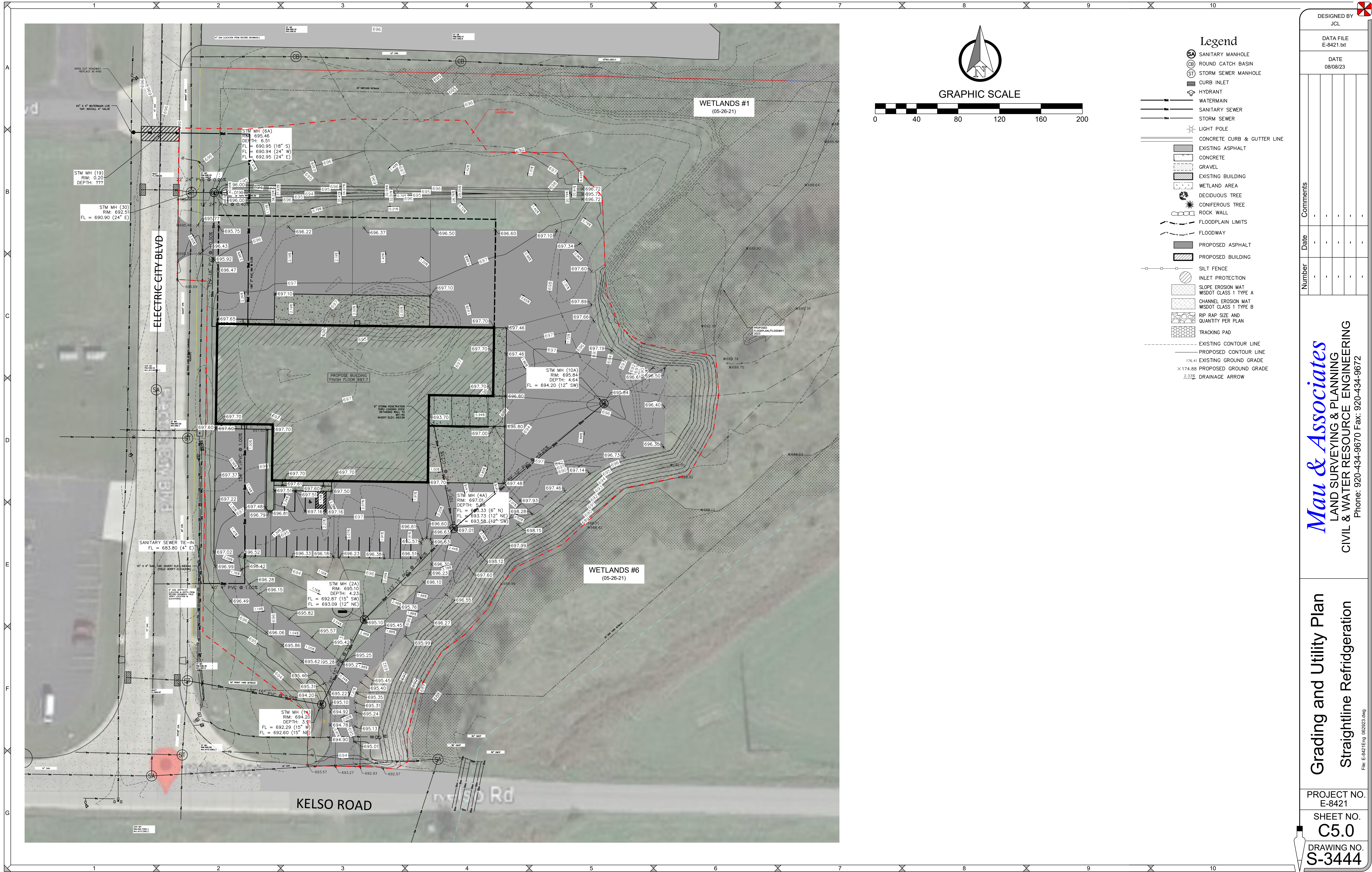
PROJECT NO.
E-8421

SHEET NO.
C2.0

DRAWING NO.
S-3444







CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES. WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

GENERAL NOTES:

- ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.
- A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
- EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.
- EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.
- CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNr.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING ANY STATE OR FEDERAL WATERS TO THE EAST.

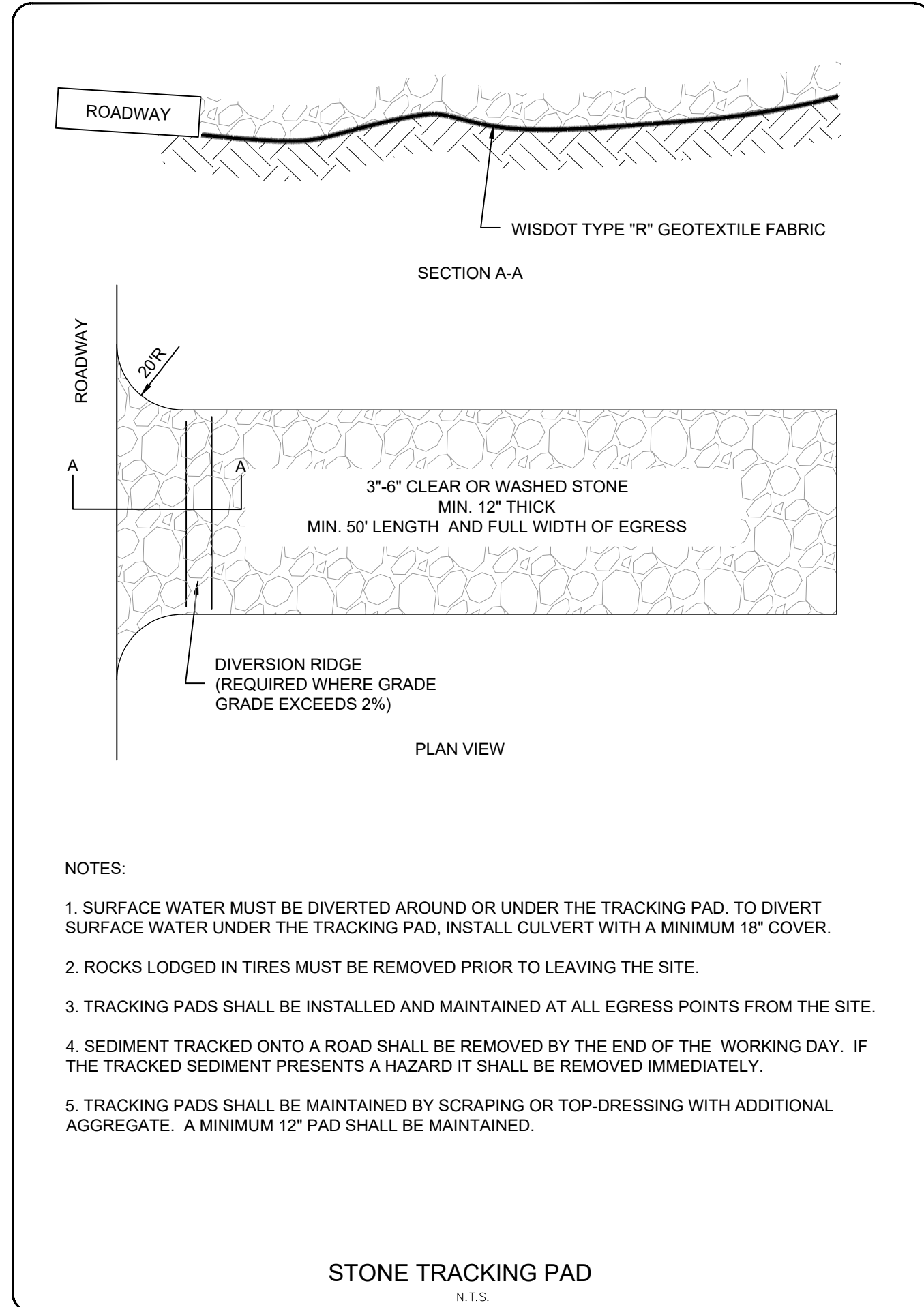
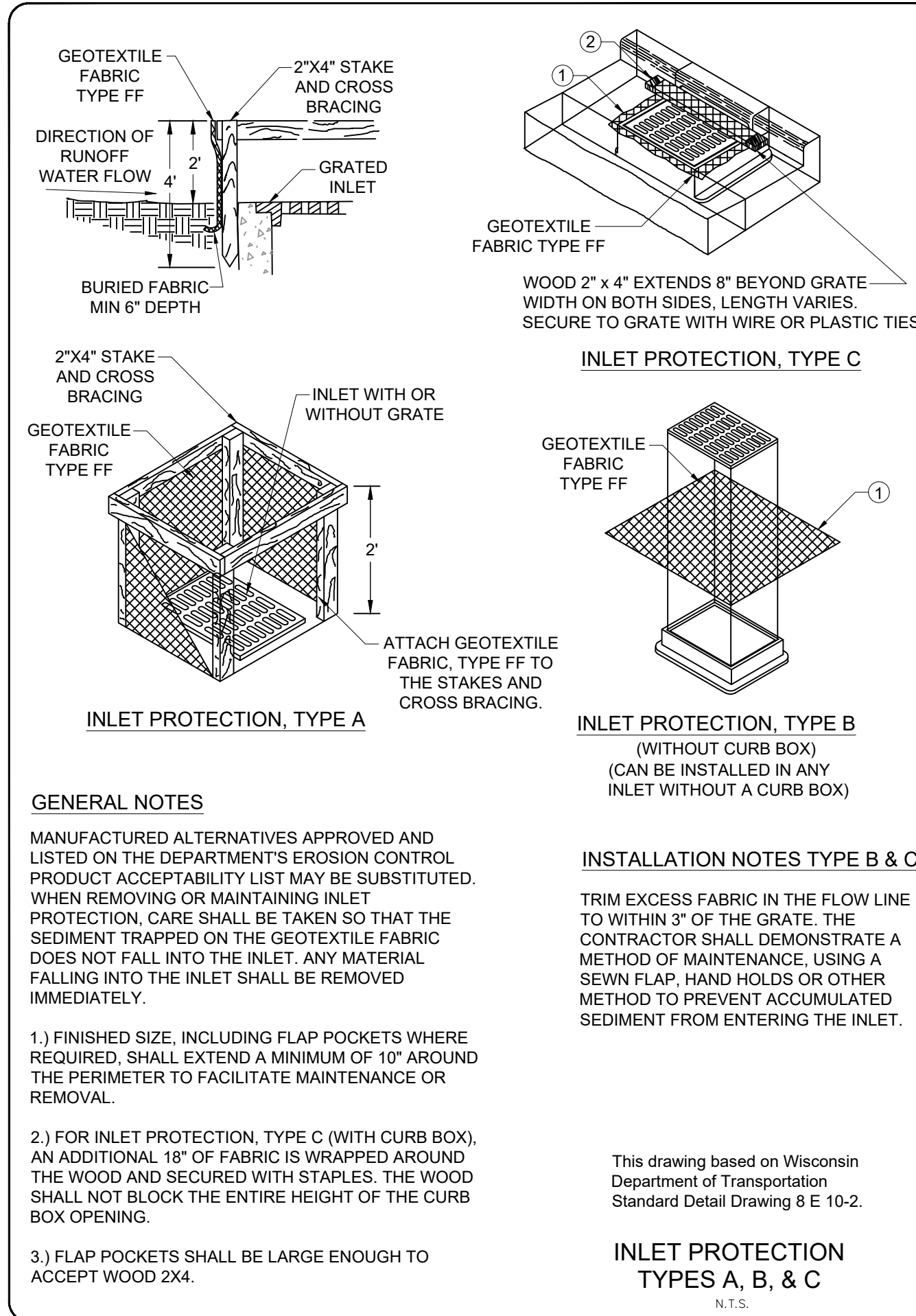
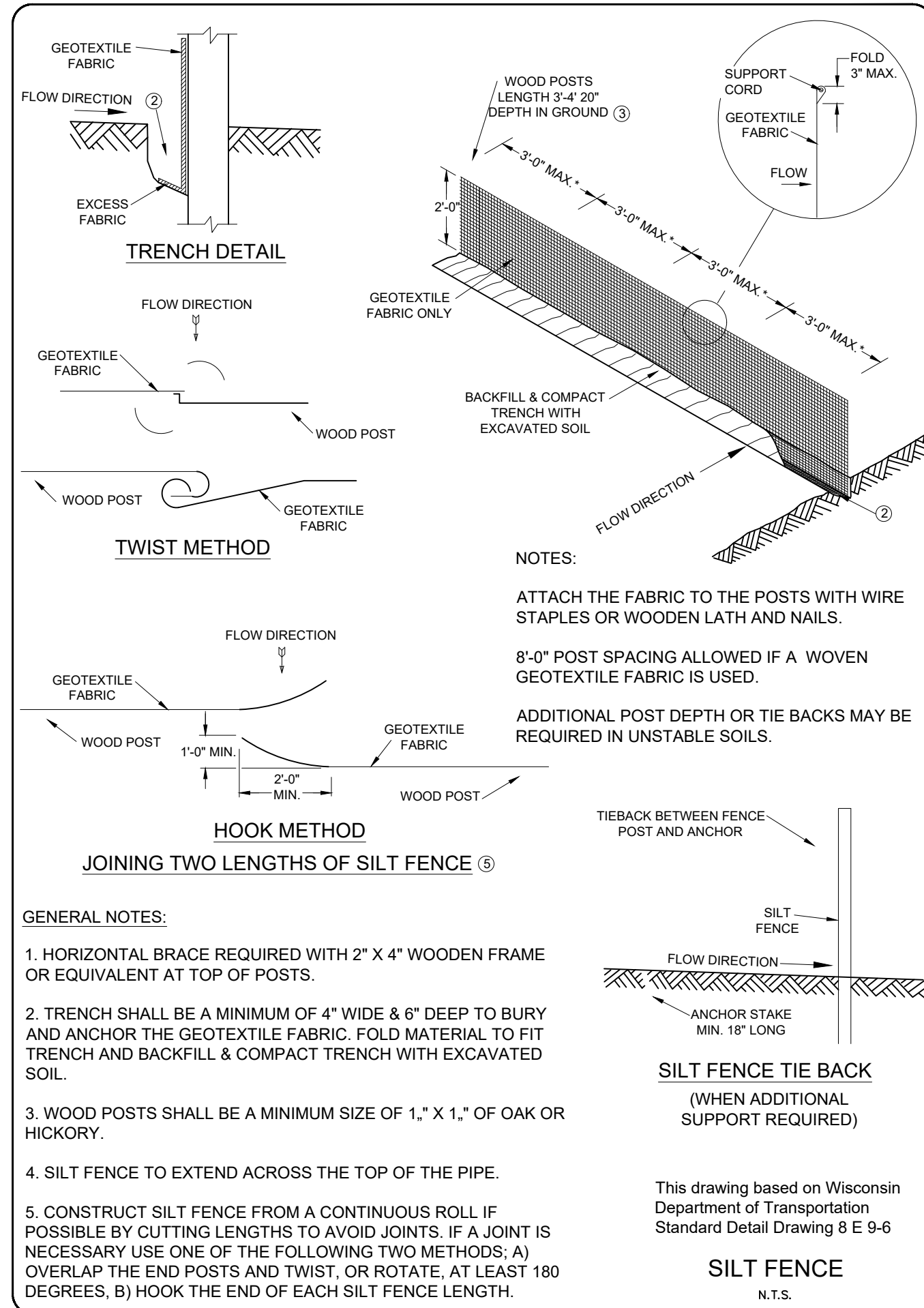
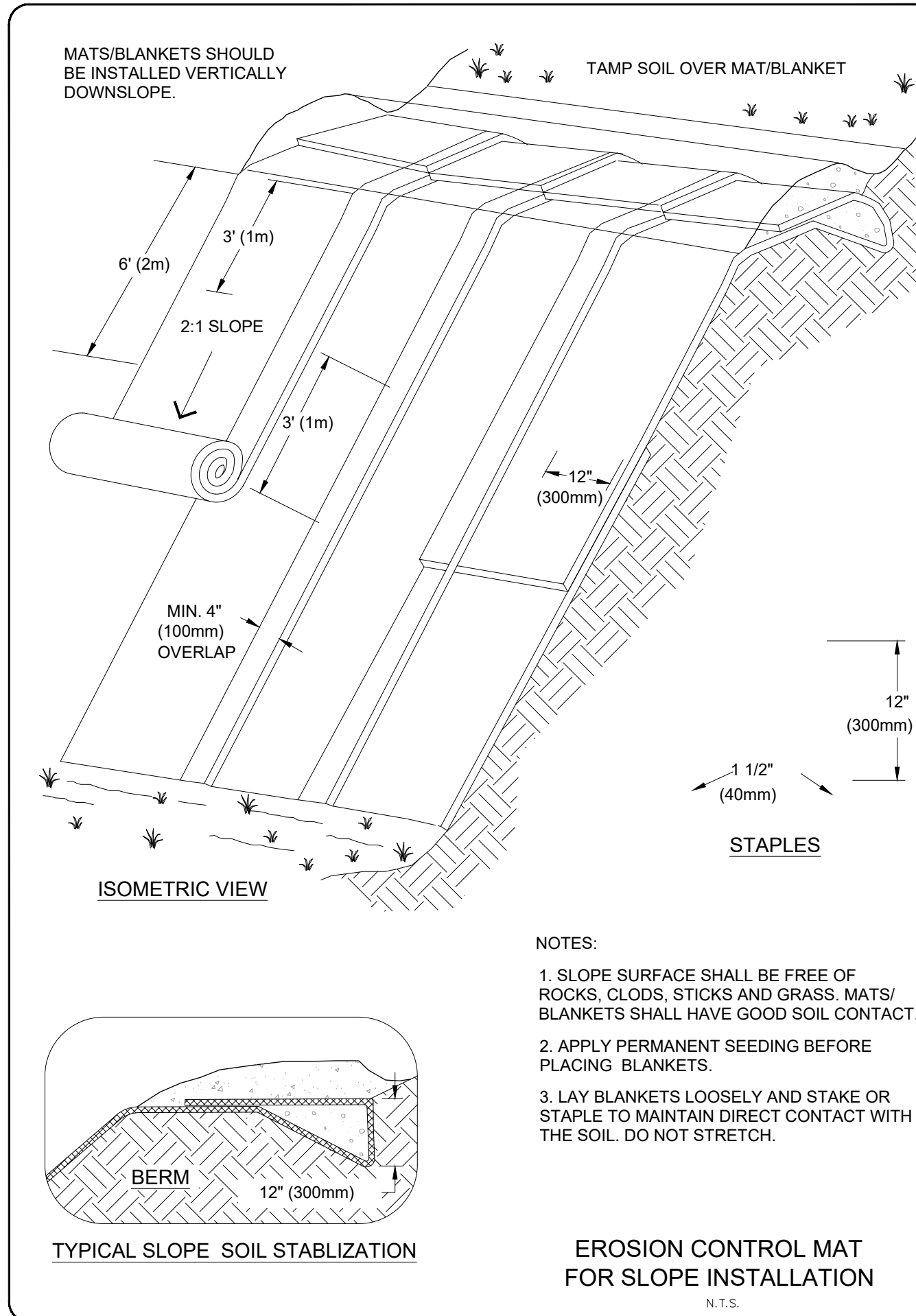
SITE STATISTICS

BEFORE CONSTRUCTION

SITE AREA - 16.20 Acres
TOTAL PAVEMENT 0 Acres (0%)
BUILDINGS 0 Acres (0%)
PERVIOUS 16.20 Acres (100%)

AFTER CONSTRUCTION

SITE AREA - 16.20 Acres
PAVEMENT 1.44 Acres (8.8%)
BUILDINGS 0.73 Acres (4.5%)
PERVIOUS 14.03 Acres (86.7%)



DESIGNED BY
TAW

DATA FILE
E-8421.txt

DATE
08/08/23

Number	Date	Comments
1		
2		
3		
4		

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Notes & Details
Strightline Refridgeration

PROJECT NO.
E-8421

SHEET NO.
C6.0

DRAWING NO.
S-3444

FILE: E-8421.dwg 08/20/23.dwg

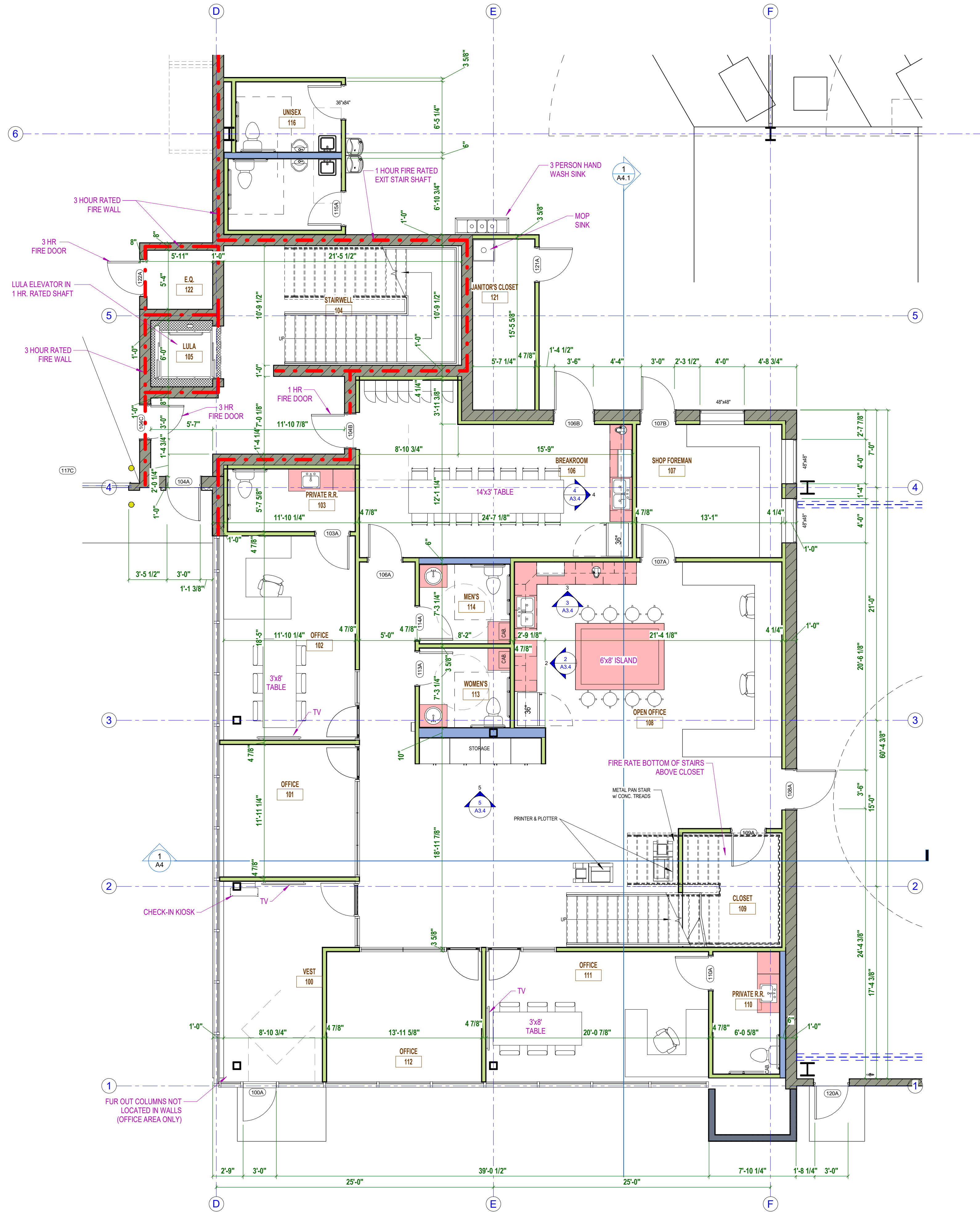












1 1ST FLOOR OFFICE PLAN ENLARGED
3/16" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
Schuh
CONSTRUCTION, INC.
METAL BUILDINGS
ESTABLISHED 1976
T.920.833.6465
SCHUHCONSTRUCTION.COM

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Sheet Issue Date:
5/19/23

Revision History

Revision Number	Revision Date
1	06/07/23

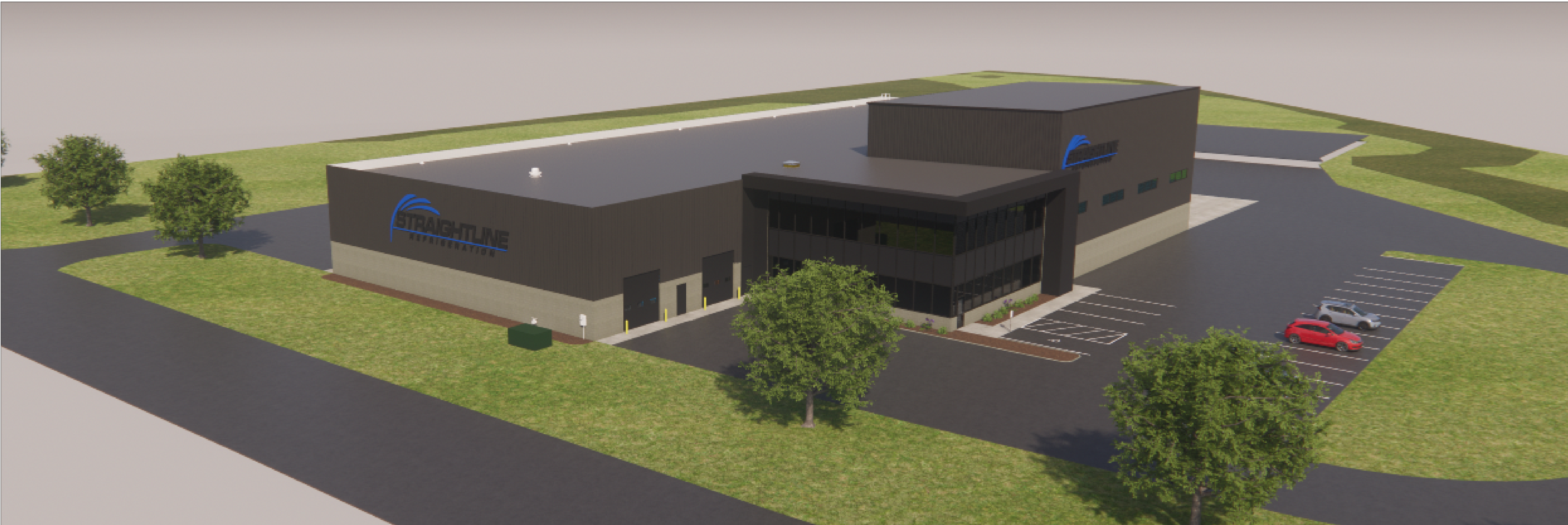
PROJECT:
**STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP**
Kaukauna, WI 54130

PROJECT NO.:

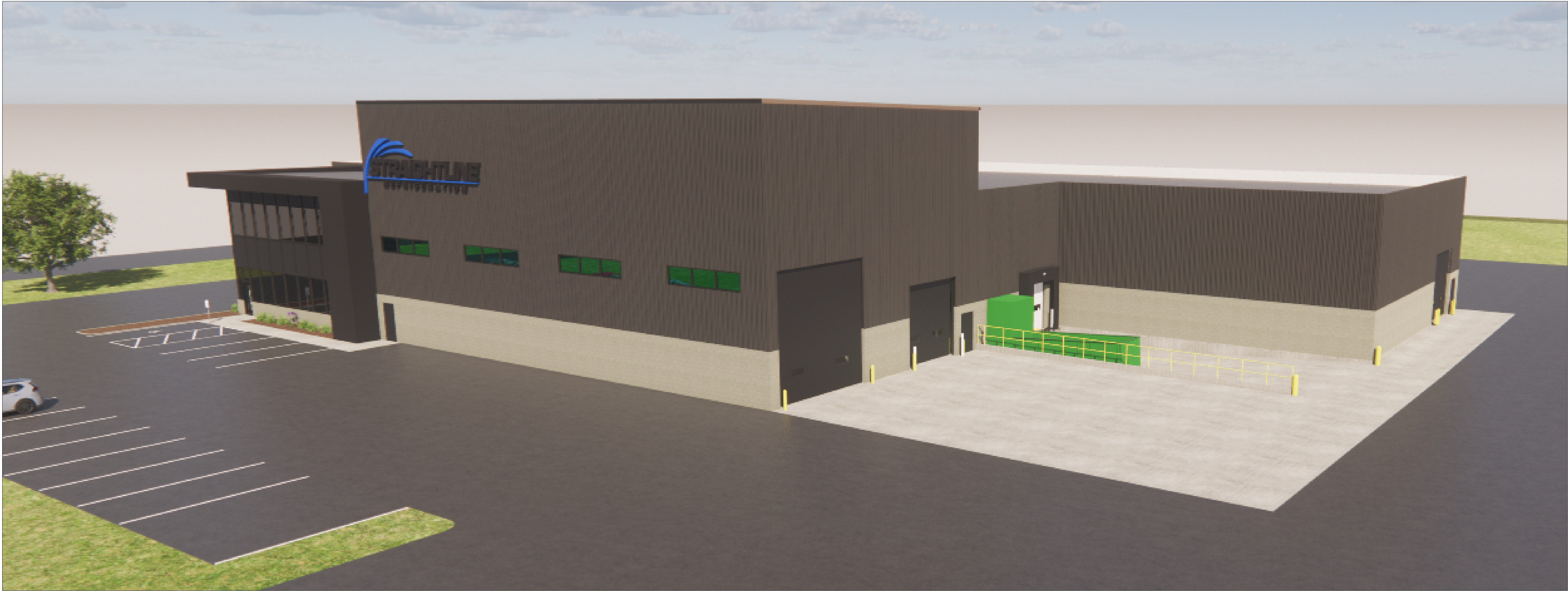
SHEET NO.:
A1.1

Item 3.6.
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Author: 7/3/2023 4:02:28 PM
ENLARGED 1ST FLOOR
29





1 SW RENDER
1/16" = 1'-0"



2 SE RENDER
1/16" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

STRAIGHTLINE
REFRIGERATION

CONSTRUCTION, INC.

7920.833.6465

Butler
METAL BUILDINGS

Established 1976

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Sheet Issue Date:
5/9/23

Revision History

Revision Number	Revision Date
1	05/19/23
2	06/07/23

PROJECT:
STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP

Kaukauna, WI 54130

PROJECT NO.:

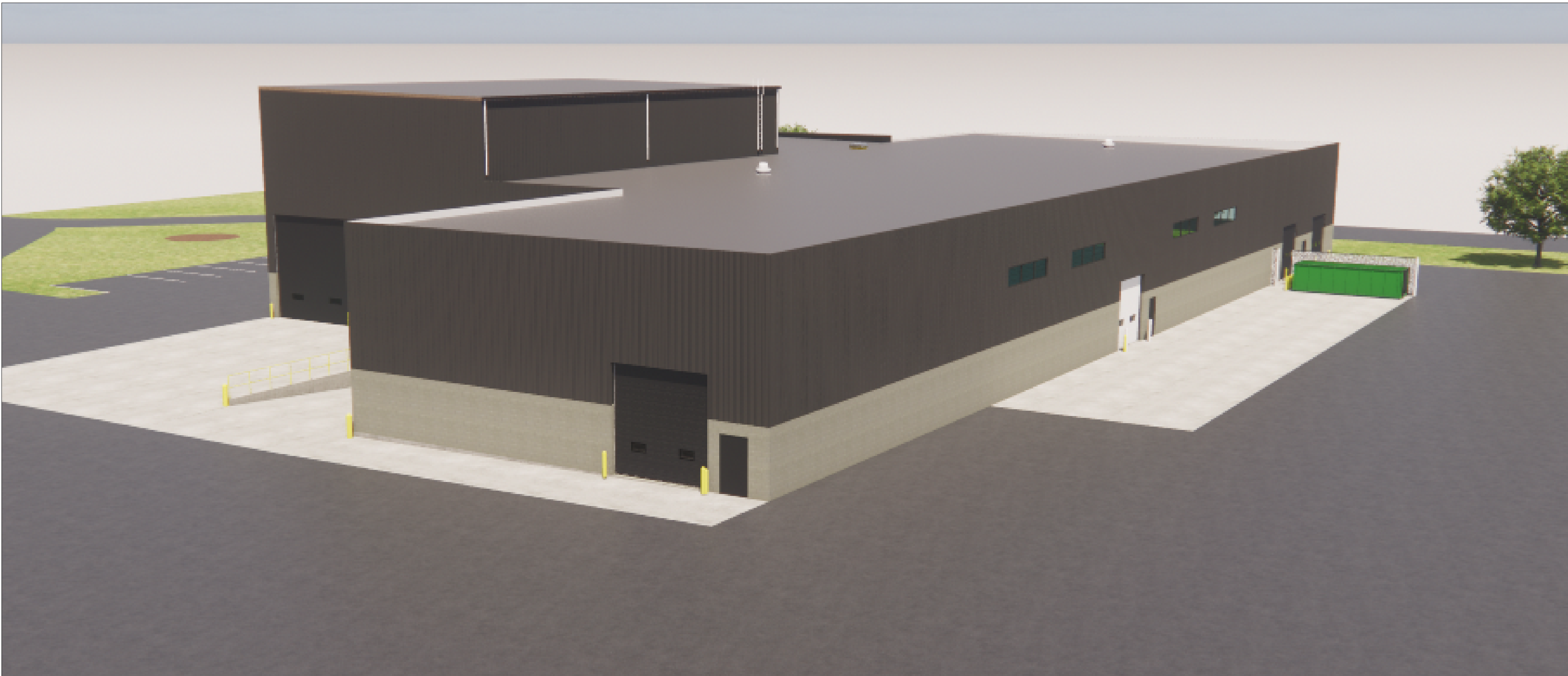
SHEET NO.:

A3.2

Item 3.0:
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EXTERIOR RENDERS

31



1 NE RENDER
1/16" = 1'-0"



2 NW RENDER
1/16" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

Schuh
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METAL BUILDINGS

BUTLER

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Sheet Issue Date:
5/9/23

Revision History	
Revision Number	Revision Date
1	05/19/23
2	06/07/23

PROJECT:
**STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP**
Kaukauna, WI 54130

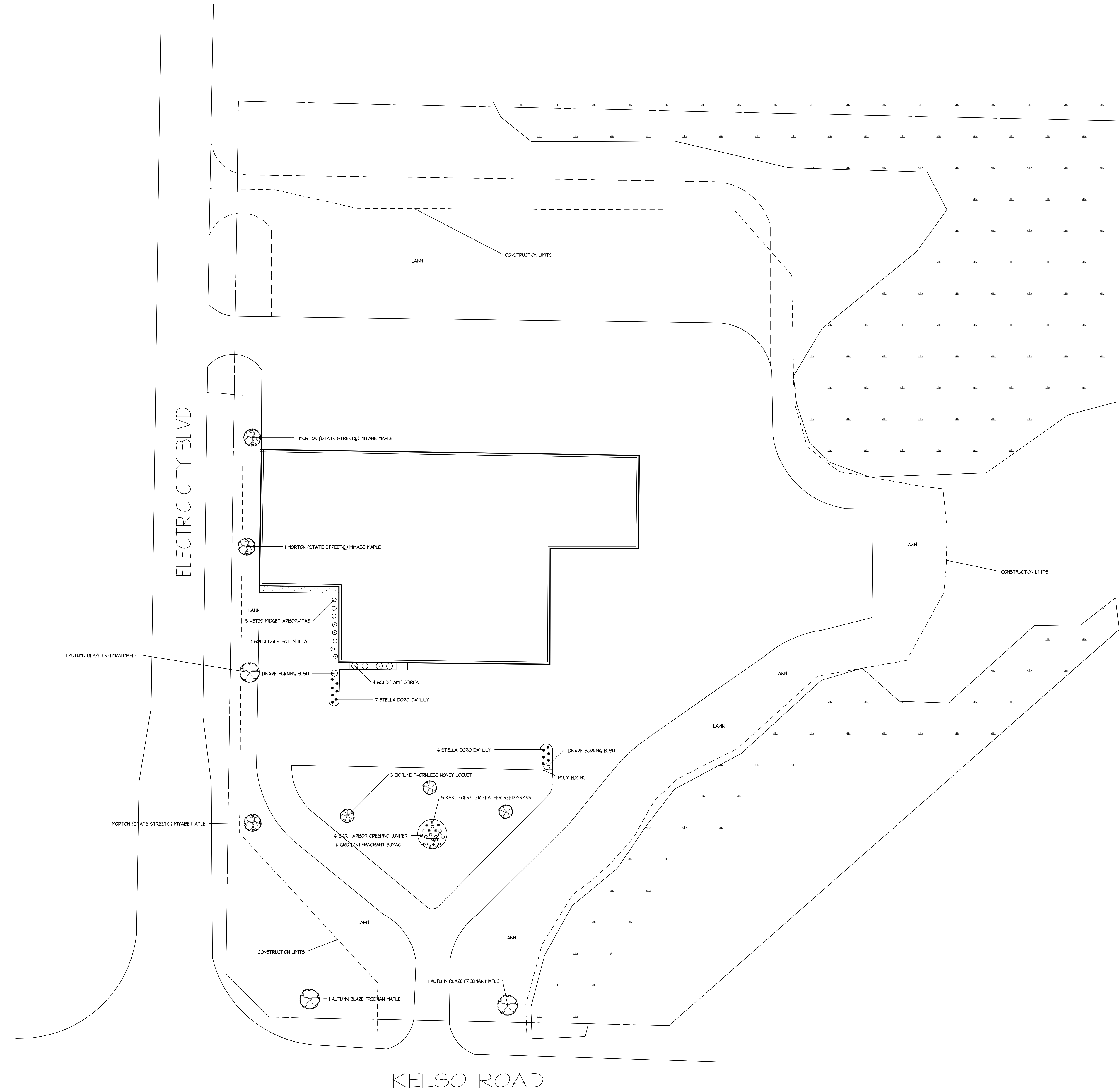
PROJECT NO.:

SHEET NO.:

A3.3

EXTERIOR RENDERS

Item 3.3
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Qty	Botanical Name	Common Name	Size/Condition	Remarks
Trees				
3	Acer myrabil Morton (State Street)	MORTON (STATE STREET) MYABE MAPLE	2'-2 1/2' dbh	
3	Acer x Freeman 'Jeffersred'	AUTUMN BLAZE FREEMAN MAPLE	2'-2 1/2'-3' dbh	
3	Gleditsia inaequalis f. 'Inermis' 'Skyline'	SKYLINE THORNLESS HONEY LOCUST	2'-2 1/2' dbh	
Shrubs				
2	Euonymus alatus 'Compactus'	DWARF BURNING BUSH	18"-24" potted	
3	Potentilla fruticosa 'Goldfinger'	GOLDFINGER POTENTILLA	18"-24" potted	
4	Rhus aromatica 'Gro-Lon'	GRO-LON FRAGRANT SYRIAC	18"-24" potted	
4	Spiraea japonica 'Goldflame'	GOLDPLAME SPIREA	18"-24" potted	
5	Thuja occidentalis 'Hetz Midget'	HETZS MIDGET ARBORVITAE	18"-24" potted	
Ornamental Grasses				
5	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	1 gal	
Perennials and Annuals				
8	Hemerocallis 'Stella d'oro'	STELLA DORO DAYLILY	1 gal	
Groundcovers				
6	Juniperus horizontalis 'Bar Harbor'	BAR HARBOR CREEPING JUNIPER	5 gal	

LAWN AREAS TO BE SEEDDED WITH HERITAGE LAWN SEED AND STRAW MULCH
PLANTING BEDS TO BE 11 1/2" MISSISSIPPI STONE OVER FABRIC NEED BARRIER
PLANTING BEDS TO BE EDGED WITH COMMERCIAL GRADE POLY EDGING

REQUIREMENTS
9 TREES REQUIRED
9 TREES PROVIDED

STRAIGHTLINE REFRIDGERATION

LOCATION

CITY OF KAUKAUNA

NOTES

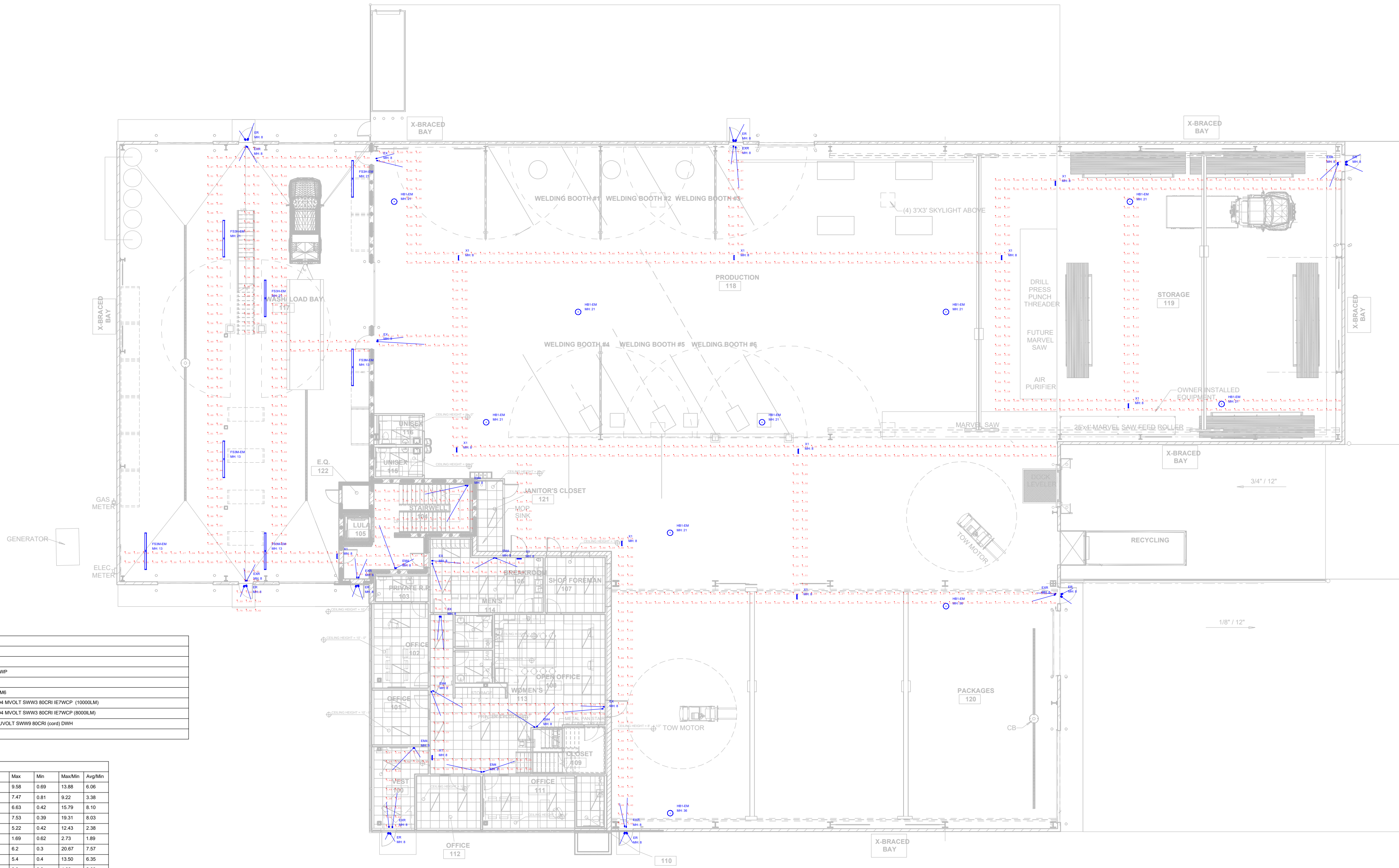
REVISIONS

SCALE 1" = 40'



Luminaire Schedule			
Qty	Label	MFG	Description
7	EM4	LITHONIA	ELMAL
8	ER	LITHONIA	SPE-DY T RD WP
10	EX	LITHONIA	ECOR RD MB
8	EXR	LITHONIA	ECOR RD MB
N/A	FS3H-EM	LITHONIA	CSVT LW ALUM VOLT SWWS BODR RETWCP (1500LM)
N/A	FS3M-EM	LITHONIA	CSVT LW ALUM VOLT SWWS BODR RETWCP (800LM)
N/A	HE3-EM	LITHONIA	CSVT ALUM VOLT SWWS BODR (2000 DM)
12	X1	LITHONIA	EXRG EL MB

Calculation Summary						
Luminaire	Units	Avg	Max	Min	Max/Min	Avg/Min
100 Warehouse_Floor	Ft	4.15	9.08	0.89	13.88	6.08
104 Stairwell_Floor	Ft	2.74	7.47	0.81	9.22	3.38
108 Break Room_Floor	Ft	3.45	6.63	0.42	15.79	8.10
108 Open Office_Floor	Ft	3.13	7.93	0.39	19.31	8.09
111 Wash-Load Bay_Floor	Ft	1.00	5.22	0.42	12.43	2.38
Typical Exterior at Grade	Ft	1.17	1.89	0.82	2.73	1.89
118 Production	Ft	2.27	8.2	0.3	26.87	7.97
119 Storage	Ft	2.54	5.4	0.4	13.00	6.36
120 Packages	Ft	1.83	3.9	0.9	4.33	2.03



1 FLOOR PLAN
3/32" = 1'-0"

ENTERPRISE LIGHTING AND CONTROL DOES NOT GUARANTEE APPROVAL OF THIS EMERGENCY EGRESS DESIGN BY THE AUTHORITY HAVING JURISDICTION (AHJ) IN THE FIELD. FINAL EXIT SIGN AND/OR FIXTURE LOCATIONS AND QUANTITIES ARE THE RESPONSIBILITY OF THE EC AT THE DIRECTION OF THE AHJ.

STRAIGHTLINE REFRIGERATION	KAUKAUNA, WI	1ST FLOOR EGRESS LAYOUT
DRAWN BY : JT		
DATE : 8-3-2023		
SCALE : 1/16" = 1'		

#	DATE	COMMENTS
REVISIONS		



Luminaire Schedule					
Qty	Label	Model	Description	LF	Total Watts
5	A1H	LITHONIA	CPK 2X4 ALD8 BSWW (High Lumens)	0.800	48.5
8	A1L	LITHONIA	CPK 2X4 ALD8 BSWW (Med Lumens)	0.800	28.1
20	A1M	LITHONIA	CPK 2X4 ALD8 BSWW (Med Lumens)	0.800	35.5
3	F51	LITHONIA	CSL L6 ALD3 MVOLT SWWS BCRH (3000LM)	0.800	43
4	F52	LITHONIA	HS BLUPH ALD3 CPK UPH	0.800	45
9	F53H	LITHONIA	CSVT L6 ALD4 MVOLT SWWS BCRH (1000LM)	0.800	87.9
3	F53H-EM	LITHONIA	CSVT L6 ALD4 MVOLT SWWS BCRH RETWCP (1000LM)	0.800	87.9
8	F53H	LITHONIA	CSVT L6 ALD4 MVOLT SWWS BCRH (8000LM)	0.800	68.4
4	F53H-EM	LITHONIA	CSVT L6 ALD4 MVOLT SWWS BCRH RETWCP (8000LM)	0.800	68.4
43	H81	LITHONIA	CPMB ALD14 UVOLT SWWS BCRH (3000) DWH	0.950	195
10	H81-EM	LITHONIA	CPMB ALD14 UVOLT SWWS BCRH (3000) DWH + REBAY BLUEGRWCP MA	0.950	195

Calculation Summary					
Label	Units	Avg	Min	Max/Min	Avg/Min
100 Vestibule, Workplane	Ft	38.33	30.2	19.4	2.59
101 Office, Workplane	Ft	36.66	46.9	26.9	1.74
102 Office, Workplane	Ft	39.43	45.8	25.6	1.79
103 Private Restroom, Workplane	Ft	21.34	27.2	16.2	1.50
104 Stairwell, Workplane	Ft	21.91	33.4	19.4	3.21
106 Break Room, Workplane	Ft	38.69	53.1	19.3	2.68
107 Shop Foreman Office, Workplane	Ft	39.21	45.8	27.8	1.91
108 Open Office, Workplane	Ft	38.13	36.8	12.5	4.46
109 Closet, Workplane	Ft	34.43	55.3	23.3	2.37
110 Private Restroom, Workplane	Ft	21.49	27.5	16.7	1.62
111 Office, Workplane	Ft	39.58	52.4	29.9	2.51
112 Office, Workplane	Ft	48.37	51.4	29.9	2.66
113 Women's Restroom, Workplane_1	Ft	24.57	29.8	21.3	1.40
114 Men's Restroom, Workplane	Ft	24.70	30.2	21.4	1.41
115 Restroom, Workplane	Ft	30.18	43.9	22.8	1.93
116 Restroom, Workplane	Ft	30.98	44.3	23.6	1.90
117 Wash-Load Bay, Workplane	Ft	27.44	42.8	12.7	3.37
121 Janitor Closet, Workplane	Ft	27.49	49.9	10.9	4.58
122 ESJ, Workplane	Ft	39.50	38.7	26.3	1.92
119 Production	Ft	51.15	76.0	10.7	5.95
119 Storage	Ft	53.42	62.9	29.7	2.12
120 Packages	Ft	47.82	63.1	23.3	2.71

ENTERPRISE
Lighting & Control

STRAIGHTLINE REFRIGERATION

KAUKAUNA, WI

1ST FLOOR LIGHTING LAYOUT

DRAWN BY : JT

DATE : 8-3-2023

SCALE : 1/16" = 1'

#

DATE

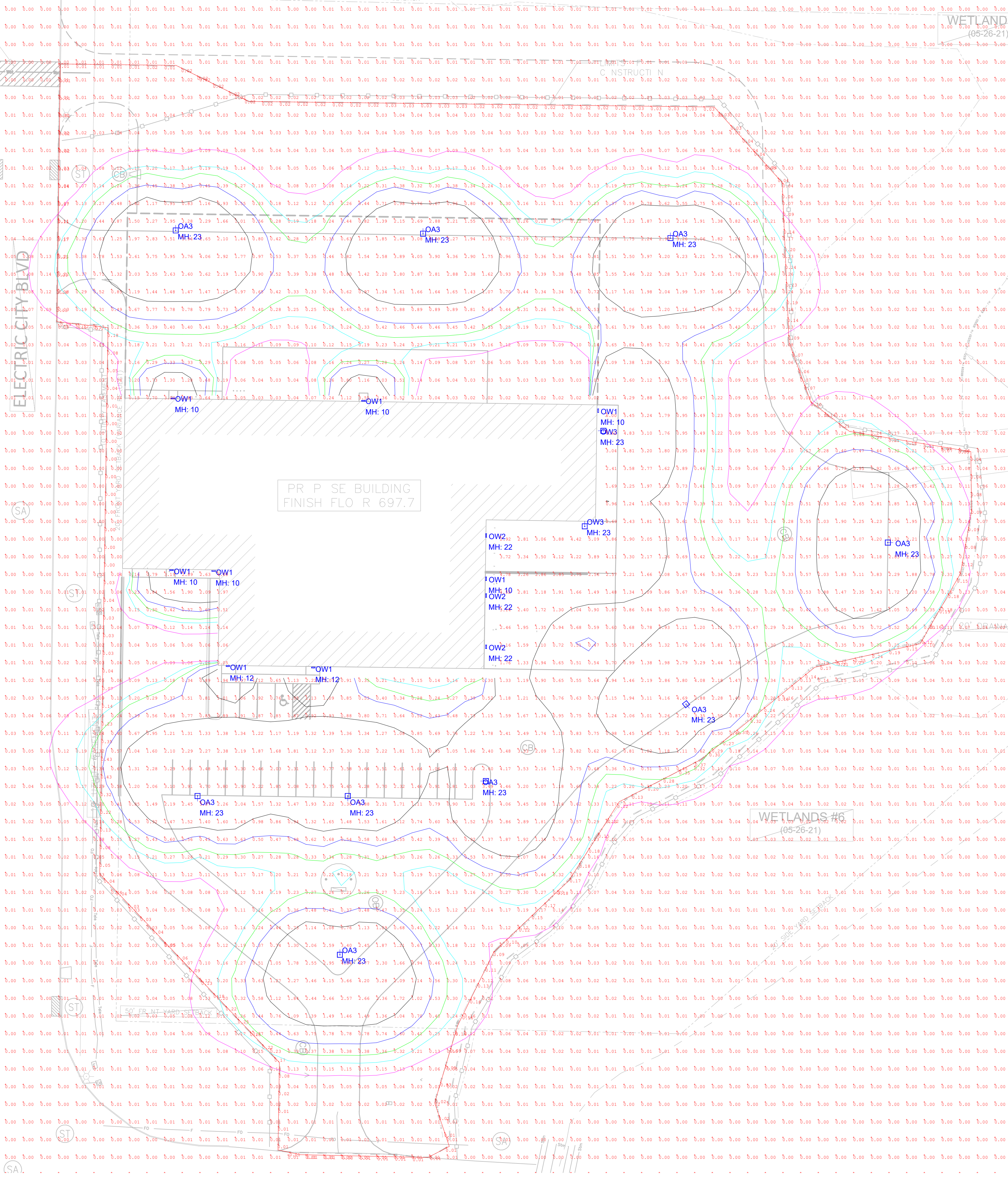
COMMENTS

REVISIONS

36

Luminaire Schedule					
Qty	Label	MFG	Description	LLF	Lum. Watts Total Watts
9	OA3	LITHONIA	ESX1 LED P2 50K R3 MVOLT UPA BLS DOBXD M2 + 20' POLE + 3' BASE	0.950	98 882
8	OW1	LITHONIA	WPX1 LED P1 50K MVOLT (finish)	0.950	11 88
3	OW2	LITHONIA	WPX1 LED P2 50K MVOLT (finish)	0.950	24 72
2	OW3	LITHONIA	ESX1 LED P2 50K R3 MVOLT UPA BLS DOBXD M2 + ESXWBA DOBXD U	0.950	98 196

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Presumed Property Line	Fc	0.10	0.43	0.00	N.A.	N.A.
Loading Dock	Fc	2.22	5.1	0.5	10.20	4.44
Parking Lot	Fc	2.16	4.7	0.8	5.88	2.70



ENTERPRISE
Lighting & Control

COMMENTS		DATE		#	
REVISIONS					
DRAWN BY : JT		DATE : 8-3-2023		SCALE : 1/32" = 1'	
STRAIGHTLINE REFRIGERATION		KAUKAUNA, WI		SITE LIGHTING LAYOUT	



MEMO

PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission
From: Lily Paul, Associate Planner
Date: August 11, 2023
Re: Park Donation Application Review

Damian Solis, VP of the Kaukauna Ghost Fastpitch club, has submitted an application for a park bench donation in honor of Denny Lauer for his time and dedication to the program. Also the bench will be in memory of Denny's late wife. Damian requests for the bench to be placed at Horse Shoe Park.

Staff Recommendation

Staff recommends to approve both park bench donations and grant staff to work with the families to install the bench in a more precise location in the general vicinity that was requested.





PARK DONATION POLICY GUIDELINES

- The City will only accept donations that are consistent with the Kaukauna Recreation and Open Space Plan, or which are consistent with current or future park usage.
- Only those donations which are given with the full understanding that they become the property of the City and are subject to the laws, policies, and procedures that govern parks will be accepted.
- Potential donations must be reviewed by the Plan Commission before approval. The approval process will vary given the type of donation that is being proposed.
- The average cost for a bench donation is \$1,200, including plaque, inscription, and installation. The City will be responsible for the installation of each bench. However, all costs related to bench fabrication, installation and inscription/plaque shall be the responsibility of the donor.

CRITERIA FOR ACCEPTABLE GIFTS:

All parties interested in donating to a Public Park must submit a formal application. This application will include the type of donation, the concept design, the location, and estimated cost of materials and installation for items other than benches. Submitted Applications will then be reviewed by the Planning Department and forwarded to any other departments that are deemed necessary for approval. After initial review, the offer will be subject to final approval from the Plan Commission.

BENCH STYLES AND COSTS:

Cambridge Bench - \$1,200



6" x 8" Cast Aluminum Plaque mounted to the concrete, in front of the bench.



MEMO

Engineering Department

To: Plan Commission
From: John Neumeier – DPW/City Engineer
Date: 8/14/2023
Re: Request to use Thilmany Fund account to improve the haul road at Red Hills

Per the Red Hills Landfill Phase 6 Agreement, Ahlstrom has been paying tipping fees in to both the City Fund and the Thilmany Fund. Thilmany Funds are to be reimbursed to Ahlstrom for approved “Environmental Projects” completed by Ahlstrom. In order to receive reimbursement, the project must be submitted to and approved by the Director of Public Works and Plan Commission.

Ahlstrom has proposed to pulverize, shape and pave 30,000 sq. ft of roadway at the Red Hills entrance; approximately 145' x 28' from Dodge Street to gate and 1055' of 24' wide roadway into the site. The road is in severe disrepair and is contributing to tracking of material onto public roads, runoff of gravel and debris, and dust creation. The proposed project will help enhance the property and is important for environmental purposes. Estimated project cost is \$108,450, current Thilmany Funds are \$109,358.25.

Recommended Action: Approve the request for Ahlstrom to use Thilmany Funds to improve the Red Hills roadway.

