

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, June 18, 2026 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. Approve Minutes from June 4, 2026
3. Old Business.
4. New Business.
 - a. Site Plan Review - TEAM Industries (1020 Prospect Lane)
 - b. Site Plan Review - Haen Meats (600 W County Road KK)
 - c. Preliminary Plat Review - High Pointe Meadows
 - d. Girl Scout Silver Award Project Update
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



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Thursday, June 4, 2026 at 4:00 PM

MINUTES

In-Person in Council Chambers

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Brett Jensen, Giovanna Feller, John Neumeier, John Moore, Ken Schoenike, Kelli Antoine, Mayor Tony Penterman

Members Absent: Michael Avanzi

Other(s) Present: Associate Planner Adrienne Nelson, Times Villager
Reporter Brian Roebke

Moore made a motion to excuse the absent member. Seconded by Jensen.
The motion passed unanimously.

2. Approval of Minutes

- a. Approve Minutes from May 20, 2026

Jensen made a motion to approve the minutes from May 20, 2026.
Seconded by Feller. The motion passed unanimously.

3. Old Business

- a. None

4. New Business

- a. Site Plan Review – Accurate Machine (1901 Hyland Avenue)

Associate Planner Nelson introduced the site plan for Accurate Machine at 1901 Hyland Avenue. The project will add 1,700 square feet to the existing building. All setback requirements for the Industrial Park District and South Industrial Park covenants are being met. All ordinances and zoning requirements are being complied with.

The current building has a height of 19 feet; the addition will be the same. There is currently space for off-street parking, but no stalls are painted. During the addition, 23 off-street parking stalls will be created; one will be ADA compliant.

The proposed plan will add three trees to the front yard to comply with landscaping requirements. There are no concerns with lighting. The Erosion Control and Stormwater Management permit has been received by the Engineering Department and is currently being reviewed. There are no concerns with traffic, fire, or public safety. The proposed site elevations meet façade requirements.

Neumeier made a motion to recommend approval of the development with the condition that prior to issuance of building permits, the Stormwater and Erosion Control permits must be approved by the Engineering Department. Seconded by Jensen. The motion passed unanimously.

b. La Follette Park Concept Review

Director of Public Works/City Engineer Neumeier introduced the La Follette Park concept.

Neumeier referred to the park concept. There is a proposed area of native plantings or native grasses to reduce mowing maintenance and to beautify the side of the hill. A trail system is proposed that avoids the existing trees. Neumeier noted that the current bathroom building is not up to standards, especially regarding accessibility. The existing building is rented out to groups, and the improvements would help increase renting for events.

Additional parking is proposed. With 17 existing parking spots, vehicles are often parked on the entrance road and on Park Street. The concept would provide adequate parking for the park's usage. The concept also relocates the half basketball courts and the kid play area.

Moore asked if the rectangular concept would be less expensive than the T-shaped concept. Neumeier confirmed that yes, the rectangular concept would be less expensive. Moore also asked why the half basketball courts were relocated. Neumeier explained that this is to avoid having players look into the sun. Also, half-court games appear to be the current trend at the parks. Penterman also noted the trend in half-court games.

Antoine noted that more parking is necessary but asked what the exact intentions were with adding additional parking. Neumeier answered that the intention is to contain the parking.

Schoenike inquired about the health status of the trees in the park. Neumeier answered that the ash trees are gone and that many dying trees have been removed in recent years.

Moore asked what the proposed walking trail would be made of. Neumeier answered that it would either be concrete or asphalt.

Times Villager Reporter Brian Roebke suggested putting two basketball courts together to allow for full-court games to happen. Roebke noted that he liked the proposed location of the parking in the front of the park.

5. Other Business

a. None

6. Adjourn

Schoenike made a motion to adjourn the meeting. Seconded by Antoine. Motion passed unanimously. The meeting adjourned at 4:21 p.m.



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: June 16, 2026
Re: Site Plan Review – TEAM Industries (1020 Prospect Lane)

TEAM Industries has submitted a site plan for review. This project will allow for the regrading of the existing TEAM Industries site located at 1020 Prospect Lane. They will be asphaltting sections of the site for temporary laydown area, erecting a fence along the perimeter of the property, and installing a stormwater pond.

Although fences can be constructed right up to the property line, per the [South Industrial Park covenants](#), outside storage must be 70' away from the street. The location of the fence is therefore pending an amendment allowing for storage closer to the road.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

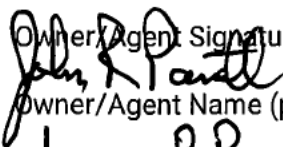
- Prior to issuance of building permits, a landscaping plan must be submitted and approved by City staff.
- Prior to issuance of building permits, stormwater and erosion control permits must be approved by the Engineering Department.
- Prior to issuance of building permits, a parking plan must be submitted and approved by City staff.

APPLICATION: SITE PLAN REVIEW

Property Owner Team Industries, Inc and John Panetti	Applicant (if Different Party Than Owner)
Name: Team Industries, Inc.	Name: Lisa Arndt c/o Team Industries
Mailing Address: PO Box 350 Kaukauna, WI 54130	Mailing Address: 1200 Maloney Road, Kaukauna, WI 54130
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

Property Information	
Describe the Proposed Project in Detail: Move Fence to lot line 20' off Badger: Move pipe racking to the fence line to maximize use of the area for laydown of high-value pipe and streamline check-in operations. This adjustment will not impact traffic visibility. In addition, low-profile shrubs will be added along the fence for landscaping and improved aesthetics according to 17.52 Landscape Requirements.	
Property Parcel (#): 322092101	
Site Address/Location: 1020 PROSPECT LA KAUKAUNA, WI 54130	
Current Zoning and Use: Industrial Park District	
Proposed Zoning and Use: No Change	
Existing Gross Floor Area of Building: 10,000 sq. ft +/-	Proposed Gross Floor Area of Building: No Change
Existing Building Height: 22 ft +/-	Proposed Building Height: No Change
Existing Number of Off-Street Parking Spaces: NA	Proposed Number of Off-Street Parking Spaces: 0
Existing Impervious Surface Coverage Percentage: 61.39	Proposed Impervious Surface Coverage Percentage: 84.44

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature:

 Owner/Agent Name (printed):
 JOHN R PANETTI

SITE PLAN REVIEW PROCEDURE

The site plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted **3 weeks prior** to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed site plan application
- ✓ Completed erosion control and stormwater management permit application and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

Please Note: Payment is **not** required for a site plan review. Additionally, the City of Kaukauna will **never** request payment for any application in the form of a wire transfer.

Please submit by email to planning@kaukauna.gov or by mail to:

City of Kaukauna

Attn: Planning and Community Development Department

144 W Second Street

Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 6/4/2026


Site Plan Reviewed:

Industrial Park Committee Approval (if applicable): 6/9/2026

Plan Commission Approval:

Redevelopment Authority of the City of Kaukauna Approval (if applicable):

Signature of Planning & Community Dev. Staff:



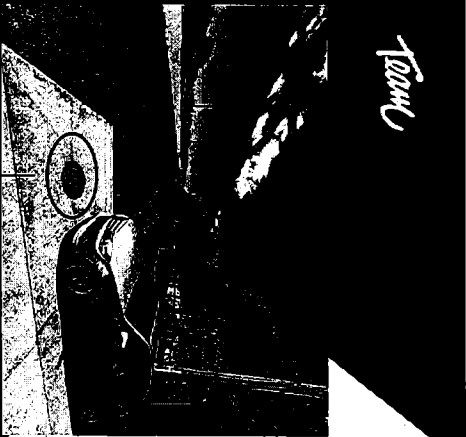
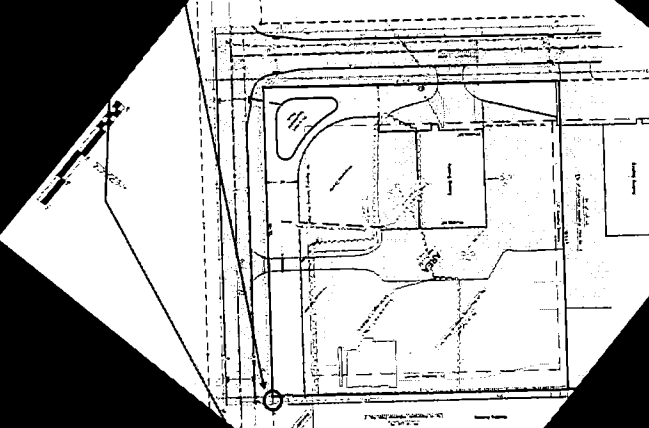
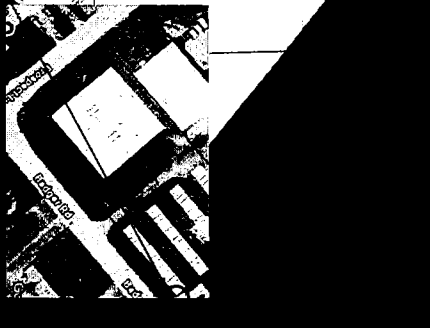
Team

We would like to request that we be able to move the fence out to the property line. This is no different than what has been done in other areas of the industrial park.

Everything inside the fence will be used as high value pipe storage or for pipe check in. This is the same as what we do in all our other fenced in areas.

Landscape along the fence line to help improve aesthetic.

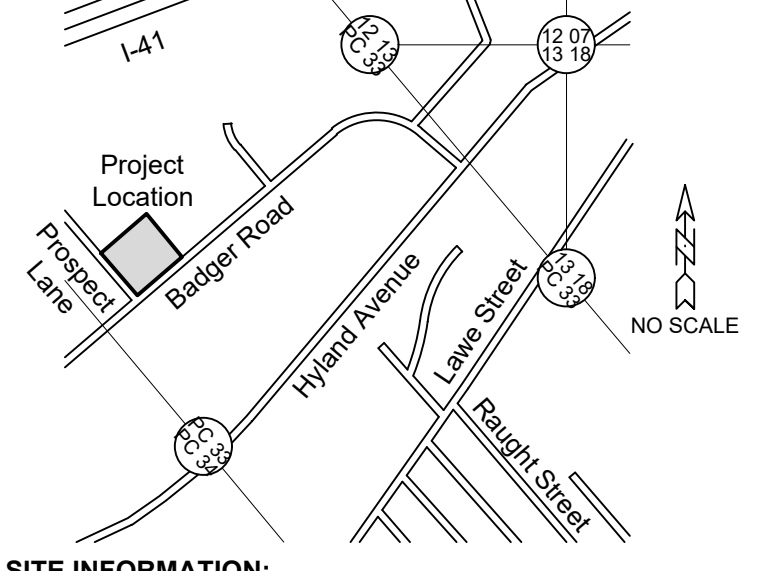
Visibility for driving – pulling in and out or turning corner will be taken into affect.



Team

LOCATION MAP

PART OF SEC PC 1, T 21 N, R 18 E,
CITY OF KAUKAUNA
OUTAGAMIE COUNTY, WI



SITE INFORMATION:

Legal Description:
 Site Address: 1020 Prospect Lane
 Parcel #: 322092101
 Current Use: Industrial
 Proposed Use: Industrial

Current Zoning: IPD- Industrial Park District
 Adjacent Zoning:
 North - IPD
 South - IPD
 East - IPD
 West - IPD

Site Areas

Parcel Area:	144,219 SF (3.31 Acres)
Existing Building Area:	10,400 SF
Existing Pavement Area:	74,469 SF
Existing Sidewalk Area:	3,662 SF
Total Existing Impervious:	88,531 SF (61.39%)
Additional Building Area:	0 SF
Additional Pavement Area:	38,577 SF
Additional Sidewalk Area:	0 SF
Total Additional Impervious:	38,577 SF (26.75%)
Total Proposed Building Area:	10,400 SF
Total Proposed Pavement Area:	111,380 SF
Total Proposed Sidewalk Area:	0 SF
Total Proposed Impervious:	121,780 SF (84.44%)
Total Proposed Greenspace:	22,439 SF (15.56%)

PROPERTY OWNER:
 Team Industries, Inc.
 Jason Sturn
 1200 Maloney Road
 Kaukauna, WI 54130
 Telephone: (920) 462-1158
 Email: jsturn@teamind.com

SITE PLAN

1020 Prospect Lane
 City of Kaukauna, Outagamie County, WI
 For: Team Industries, Inc.



LEGEND

— CATV — CATV	Underground Cable TV	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— FO — FO	Underground Fiber Optic	○ Clean Out / Pull Box	□ Telephone Pedestal
— OH — OH	Overhead Utility Lines	○ Storm Manhole	□ Telephone Manhole
— UGW — UGW	Utility Guy Wire	○ Inlet	□ Gas Regulator
— SS — SS	Sanitary Sewer (Pipe Size)	○ Catch Basin / Yard Drain	□ Sign
— S — S	Storm Sewer (Pipe Size)	○ Water MH / Well	□ Post / Guard Post
— E — E	Underground Electric	○ Curb Stop	□ Benchmark
— G — G	Underground Gas Line	○ Hydrant	□ Asphalt Pavement
— T — T	Underground Telephone	○ Utility Valve	□ Concrete Pavement
— W — W	Water Main (Pipe Size)	○ Utility Meter	□ Gravel
— F — F	Fence - Steel	○ Light Pole / Signal	□ Proposed Building
— Tr — Tr	Tie Line	○ Guy Wire	□ Proposed Asphalt
— 300 — 300	Index Contour - Existing	○ Electric Pedestal	□ Proposed Concrete
— 799 — 799	Intermediate Contour - Existing	○ Electric Transformer	□ Proposed Gravel
		○ Electric Manhole	
		○ Air Conditioner	

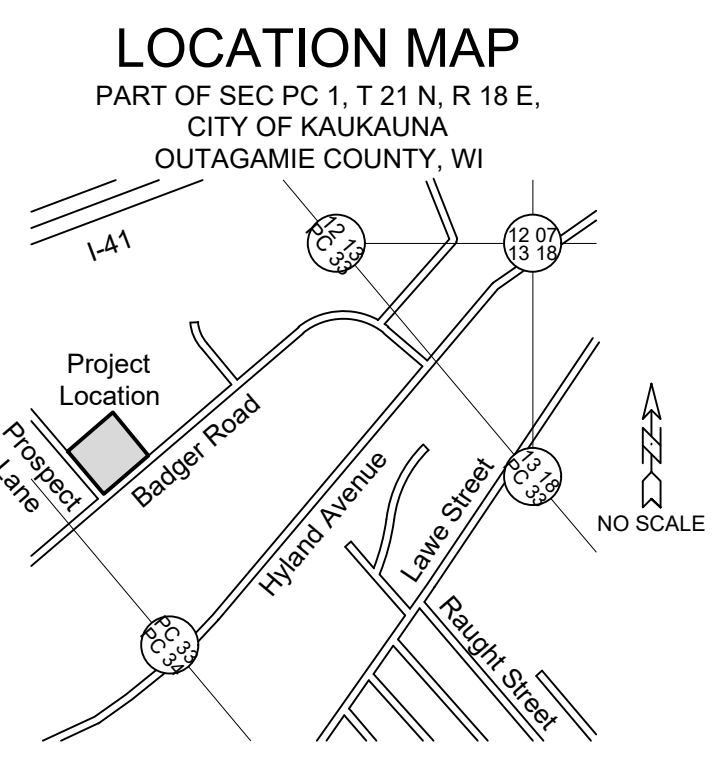
SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Erosion & Sediment Control Plan	C1.3
Construction Details	C2.1
Erosion & Sediment Control Details	C2.2
Stormwater Pond Details	C2.3

Date:	06/12/2026
Filename:	9385engr.dwg
Author:	TNW
Last Saved by:	augustus
Page:	C1.0

TOPOGRAPHIC SURVEY

1020 Prospect Lane
 City of Kaukauna, Outagamie County, WI
 For: Team Industries, Inc.



General Notes:

- Zoning Information**
 City of Kaukauna:
 Industrial Park District (IPD):
 Setbacks:
 Front Yard: 50 Feet
 Side Yard: 15 Feet (per covenants)
 Rear Yard: 25 Feet
 Height: Principle - 50 Feet

Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the City of Kaukauna and any other local agencies.
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- This is not a boundary survey.



Horizontal Control
 PN9385 - (City of Kaukauna)
 2026-04-16
 Davel Engineering and Environmental
 Horizontal Control (per Outagamie County Coordinate System)

Point Number	Northing	Easting	Description
500	575199.93	864625.99	CPT MAG
501	574824.34	864869.56	CPT MAG
502	575026.40	865108.89	CPT MAG
503	575158.57	865265.66	CPT MAG
504	575606.77	864875.25	CPT HUB

- BENCHMARKS** (Datum NAVD88)
- BM 0 NGS Benchmark
 PID- PN0153, Designation- R 5
 Elev 721.26'
 - BM 1 Nail Set in Power Pole # 44A1- 12/22
 ±70' SW of South Corner of Exist Bld, Easterly R/W of Prospect Lane
 Elev 697.25'
 - BM 2 Fire Hydrant, Tag Bolt
 ±90' NW of Badger Rd. & Prospect Ln. Intersect., Westerly R/W of Prospect Ln.
 Elev 697.76'
 - BM 3 Fire Hydrant, Tag Bolt
 ±500' ENE of BM 2, South R/W of Badger Rd.
 Elev 699.18'

LEGEND

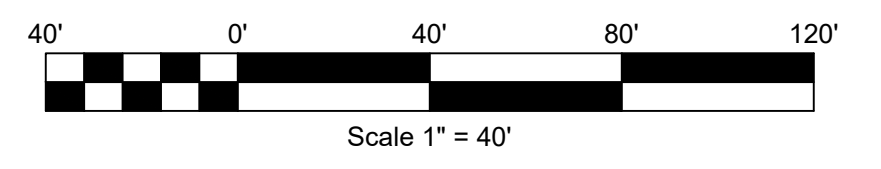
— CATV	— CATV	— Underground Cable TV	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— FO	— FO	— Underground Fiber Optic	○ Clean Out / Pull Box	□ Telephone Pedestal
— OH	— OH	— Overhead Utility Lines	○ Storm Manhole	□ Telephone Manhole
— UG	— UG	— Utility Guy Wire	○ Inlet	□ Gas Regulator
— San	— San	— Sanitary Sewer (Pipe Size)	○ Catch Basin / Yard Drain	□ Sign
— Sto	— Sto	— Storm Sewer (Pipe Size)	○ Water MH / Well	□ Post / Guard Post
— E	— E	— Underground Electric	○ Curb Stop	□ Benchmark
— T	— T	— Underground Gas Line	○ Hydrant	□ Asphalt Pavement
— W	— W	— Underground Telephone	○ Utility Valve	□ Concrete Pavement
— F	— F	— Water Main (Pipe Size)	○ Utility Meter	□ Gravel
— W	— W	— Fence - Steel	○ Utility Pole	□ Ex Spot Elevation
— Tree	— Tree	— Tree Line	○ Light Pole / Signal	○ 3/4" Rebar Found
— Culvert	— Culvert	— Culvert	○ Guy Wire	□ 1" Iron Pipe Found
— 800	— 800	— Index Contour - Existing	□ Electric Pedestal	
— 799	— 799	— Intermediate Contour - Existing	□ Electric Transformer	
			□ Electric Manhole	
			□ Air Conditioner	

Storm Structures

Structure	#	Rim	Inv	Size	Material	Direction
CB	A	698.80	697.46	6"	PVC	SE
			694.69	6"	PVC	SE
CB	B	698.93	694.85	6"	PVC	W
CB	C	698.57	694.80	6"	PVC	NE
INL	D	696.38	692.38	10"	PVC	NE
INL	E	696.37	692.02	10"	PVC	SW
MH	F	696.59	691.07	36"	RCP	NW
			691.07	36"	RCP	SE
MH	G	695.10	690.82	12"	RCP	NE
			690.82	12"	RCP	SW
			689.60	36"	RCP	NW
			689.60	36"	RCP	SE
INL	H	694.85	691.65	12"	RCP	SE
INL	I	694.83	691.63	12"	RCP	NW
			691.53	12"	RCP	NE
INL	J	694.86	691.24	12"	RCP	SW
			691.13	12"	RCP	SE
INL	K	694.82	691.13	12"	RCP	NW
MH	L	695.42	689.33	36"	RCP	NW
			687.13	66"	RCP	SW
			687.13	78"	RCP	NE
INL	M	694.72	691.01	12"	RCP	NE
			690.92	15"	RCP	SE
INL	N	694.74	691.03	12"	RCP	SW
INL	O	694.87	690.25	10"	PVC	NW
INL	P	696.39	692.14	10"	PVC	NW
INL	Q	696.43	691.83	6"	PVC	NW
			691.81	18"	PVC	SE
CB	R	697.08	692.08	6"	PVC	SE
			693.18	8"	PVC	NW
CB	S	698.68	694.98	8"	PVC	SE
			694.98	8"	PVC	NW

Sanitary Structures

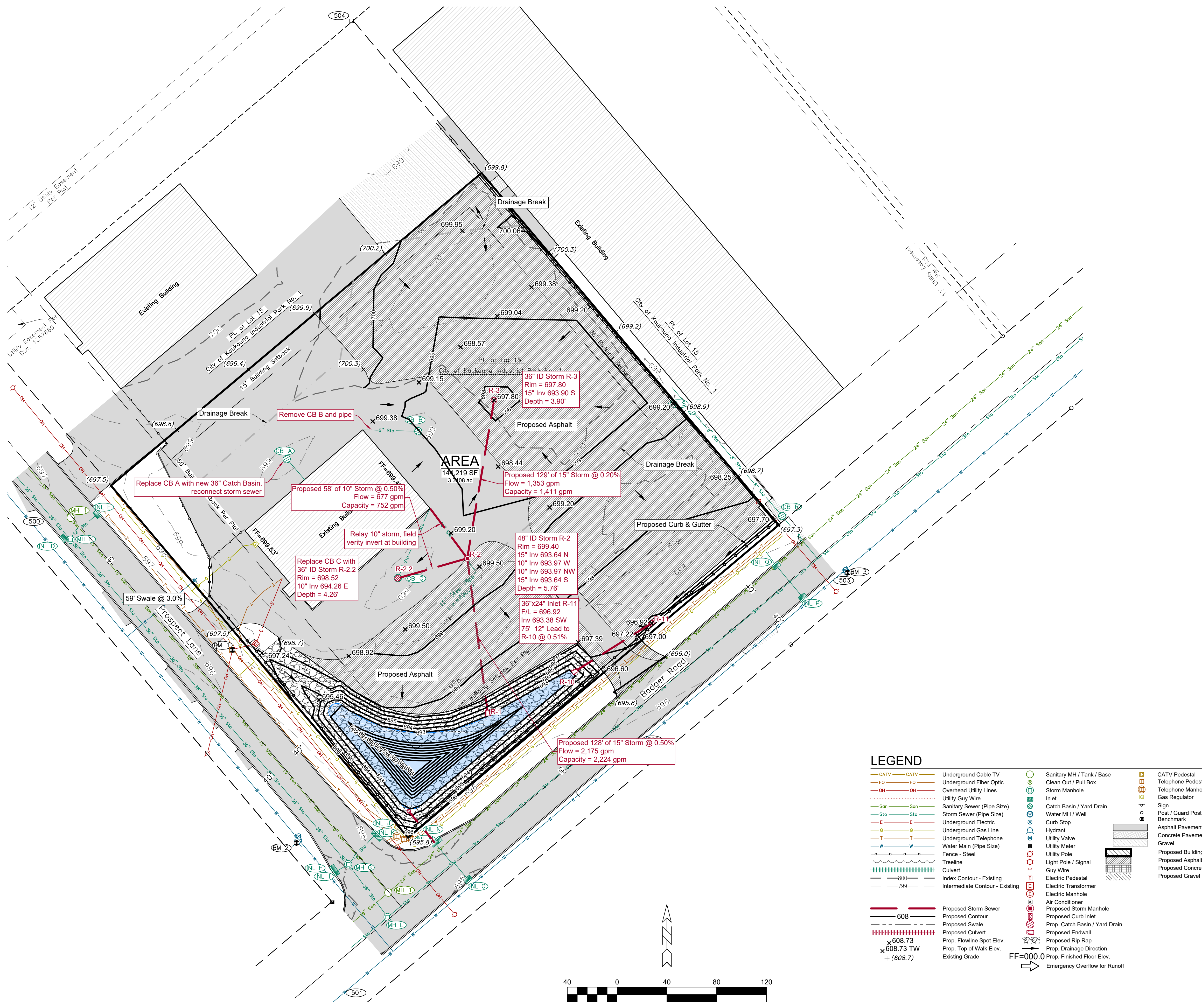
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	696.77	686.93	15"	PVC	NW
			686.93	15"	PVC	SE
MH	2	695.33	683.36	15"	PVC	NW
			685.23	15"	PVC	NW
			683.36	18"	PVC	SW
			683.36	24"	PVC	NE



DRAINAGE & GRADING PLAN

1020 Prospect Lane
City of Kaukauna, Outagamie County, WI
For: Team Industries, Inc.

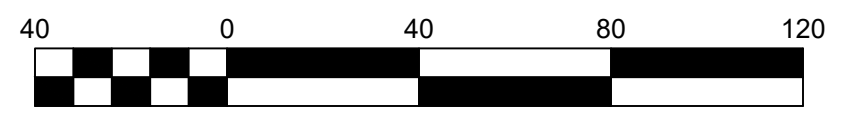
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Author: TNW
Last Saved by: augustus
Page: C1.2

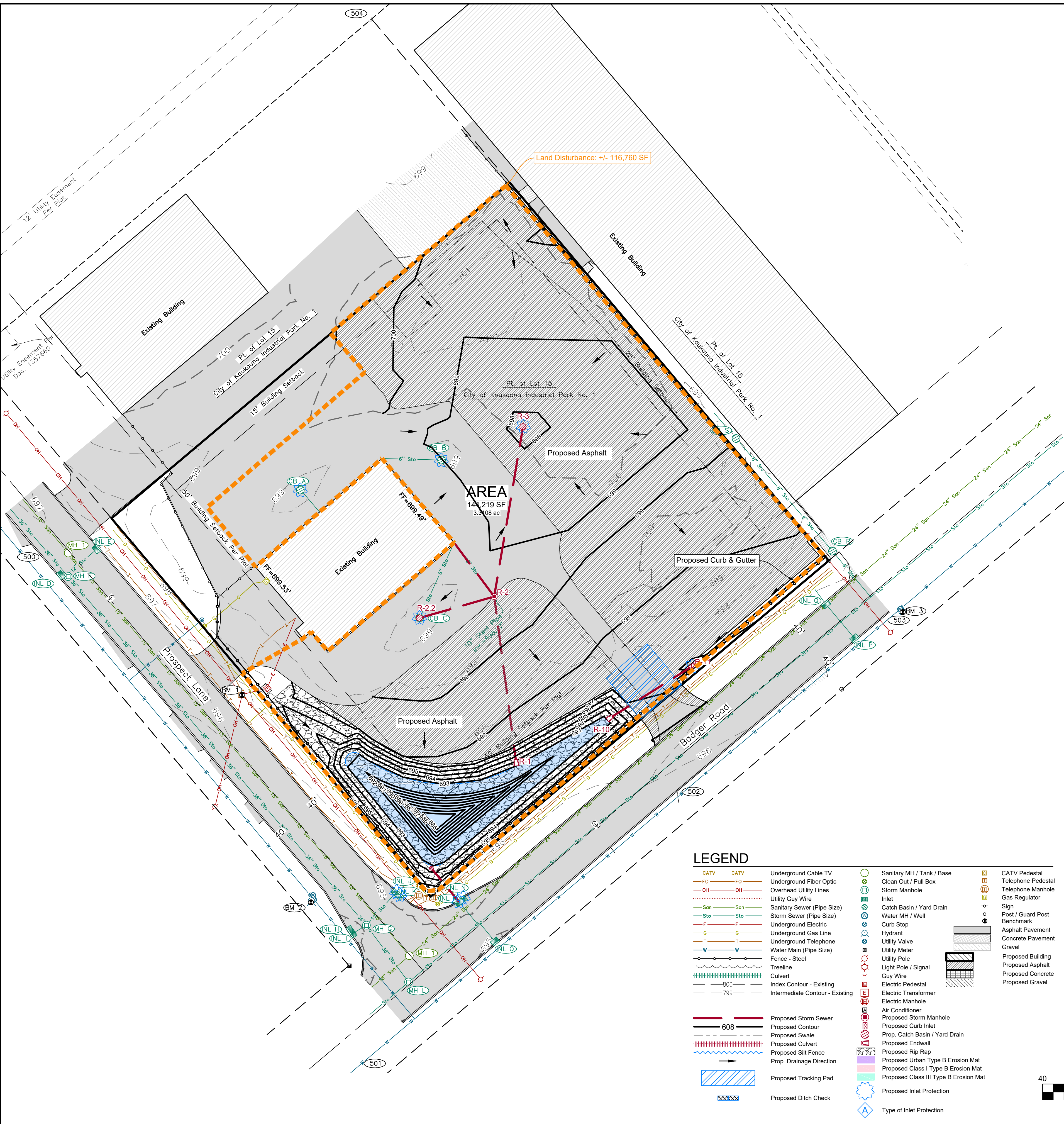


- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

LEGEND

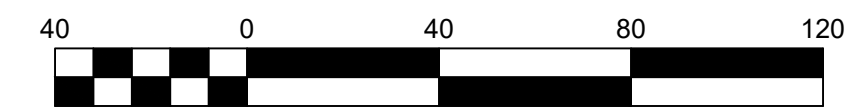
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— FO — FO	Underground Fiber Optic	○ Clean Out / Pull Box	□ Telephone Pedestal
— OH — OH	Overhead Utility Lines	○ Storm Manhole	□ Telephone Manhole
— UG — UG	Utility Guy Wire	○ Inlet	□ Gas Regulator
— S — S	Sanitary Sewer (Pipe Size)	○ Catch Basin / Yard Drain	□ Sign
— SS — SS	Storm Sewer (Pipe Size)	○ Water MH / Well	□ Post / Guard Post
— E — E	Underground Electric	○ Curb Stop	□ Benchmark
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— T — T	Underground Telephone	○ Utility Valve	□ Concrete Pavement
— W — W	Water Main (Pipe Size)	○ Utility Meter	□ Proposed Building
— F — F	Fence - Steel	○ Utility Pole	□ Proposed Asphalt
— TR — TR	Treeline	○ Light Pole / Signal	□ Proposed Concrete
— C — C	Culvert	○ Guy Wire	□ Proposed Gravel
— 800 — 800	Index Contour - Existing	○ Electric Pedestal	
— 799 — 799	Intermediate Contour - Existing	○ Electric Transformer	
— 608 — 608	Proposed Storm Sewer	○ Air Conditioner	
— 608.73 — 608.73	Proposed Contour	○ Proposed Storm Manhole	
— 608.73 TW — 608.73	Proposed Swale	○ Proposed Curb Inlet	
— 608.73 TW + (608.7) — 608.73 TW + (608.7)	Proposed Culvert	○ Prop. Catch Basin / Yard Drain	
— 608.73 TW + (608.7) — 608.73 TW + (608.7)	Prop. Flowline Spot Elev.	○ Proposed Endwall	
— 608.73 TW + (608.7) — 608.73 TW + (608.7)	Prop. Top of Walk Elev.	○ Proposed Rip Rap	
— 608.73 TW + (608.7) — 608.73 TW + (608.7)	Existing Grade	○ Prop. Drainage Direction	
		○ Prop. Finished Floor Elev.	
		○ Emergency Overflow for Runoff	





LEGEND

<ul style="list-style-type: none"> — CATV — FO — OH — Utility Guy Wire — San — Sto — E — G — T — W — Fence - Steel — Trellis — 800 — 799 — 608 — Proposed Contour — Proposed Swale — Proposed Culvert — Proposed Silt Fence — Prop. Drainage Direction — Proposed Tracking Pad — Proposed Ditch Check 	<ul style="list-style-type: none"> — Sanitary MH / Tank / Base — Clean Out / Pull Box — Storm Manhole — Inlet — Catch Basin / Yard Drain — Water MH / Well — Curb Stop — Hydrant — Utility Valve — Utility Meter — Utility Pole — Light Pole / Signal — Guy Wire — Electric Pedestal — Electric Transformer — Electric Manhole — Air Conditioner — Proposed Storm Manhole — Proposed Curb Inlet — Prop. Catch Basin / Yard Drain — Proposed Endwall — Proposed Rip Rap — Proposed Urban Type B Erosion Mat — Proposed Class I Type B Erosion Mat — Proposed Class III Type B Erosion Mat — Proposed Inlet Protection — Type of Inlet Protection 	<ul style="list-style-type: none"> — CATV Pedestal — Telephone Pedestal — Telephone Manhole — Gas Regulator — Sign — Post / Guard Post — Benchmark — Asphalt Pavement — Concrete Pavement — Gravel — Proposed Building — Proposed Asphalt — Proposed Concrete — Proposed Gravel
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Planned Sediment and Erosion Control Practices
 All erosion control practices shall be in place prior to disturbing the site. Post municipal and/or DNR Certificate of Permit Coverage onsite and maintain until construction activities have ceased and the site is stabilized. Keep a copy of the erosion control plan onsite throughout the duration of construction. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control Product Acceptability Lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary. Sediment flushing is not allowed.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the swales, storm inlets, and public rights-of-way.
 - b) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6-inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with **DNR Technical Standard 1056**. It will be placed at the following locations:
 - along the site boundary where runoff will leave the site;
 - along a contour of similar elevation located downslope of a disturbed drainage area;
 - at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - b) Interim Manufactured Perimeter Control and Slope Interruption Products - Intended to detain or slow the flow of sediment-laden sheet flow runoff from small areas of disturbed soil, most commonly in the form of a sediment log. Sediment logs and other slope interruption products shall be installed and maintained in accordance with **DNR Technical Standard 1071**.
 - c) Temporary Grading Practices for Erosion Control - Intended to minimize erosion and sediment transport during grading operations on construction sites. Stage construction grading activities to minimize the cumulative exposed area. Conduct temporary grading for erosion control per **DNR Technical Standard 1067**.
 - d) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities, and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with **DNR Technical Standards 1052 and 1053** and all Mulching with **DNR Technical Standard 1058**. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
 - e) Seeding - Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with **DNR Technical Standard 1059**. Seed Mixture 30 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1,000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard, but no later than November 1st. Sod placement may occur at any time sod is available and the sod and soil are not frozen.
- 2) Trapping Sediment in Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with **DNR Technical Standard 1062**. Ditch Checks will be used where indicated on the plan as specified diameter sediment logs, or specified height stone or straw checks. Additional ditch checks may be required in areas where erosion is occurring.
- 3) Permanent Channel Stabilization
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. Riprap will be used in the following areas:
 - pipe outfalls as indicated on the plans
 - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel and are specified in accordance with DOT Erosion Control Product Acceptability Lists (PAL). Vegetated waterways will be used in the following areas:
 - drainage swales as indicated on the plans
- 4) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with **DNR Technical Standard 1060**. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans. Type D-HR or D-M inlet protection shall be installed and maintained at all storm sewer surface inlets during construction.
- 5) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with **DNR Technical Standard 1057**. A tracking pad will be constructed at the site entrance with daily maintenance to remove any sediment accumulation on the existing driveway.
- 6) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in **DNR Technical Standard 1068**. These methods include the use of polymers, seeding, and mulch.
- 7) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Refer to https://dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html

for copies of WDNR Stormwater Construction Technical Standards.
Sequence of Construction
 1) Obtain plan approval and other applicable permits.
 2) Install all sediment control measures, strip topsoil. **August 2026**
 3) Utility Construction: **August 2026**
 4) Grade & Gravel parking and drive areas. Field inspect and add additional measures if necessary. **August 2026**
 5) Asphalt Paving: **September 2026**
 6) Establish vegetation (lawn and ditch areas) no later than one week after final grade is established. **No later than Month Day, Year, or immediately upon completion.**
 7) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures shall be removed once final site stabilization has occurred (greater than 70-percent final vegetative cover).

Maintenance Plan
 The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to <http://dnr.wi.gov/topic/stormwater/construction/forms.html> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, City of Kaukauna, or the Wisconsin Department of Natural Resources.

Responsible Parties
 Best Management Practices (BMPs) Construction and Maintenance:
 To be determined
 Inspection and Compliance Enforcement
 City of Kaukauna
 Wisconsin Department of Natural Resources

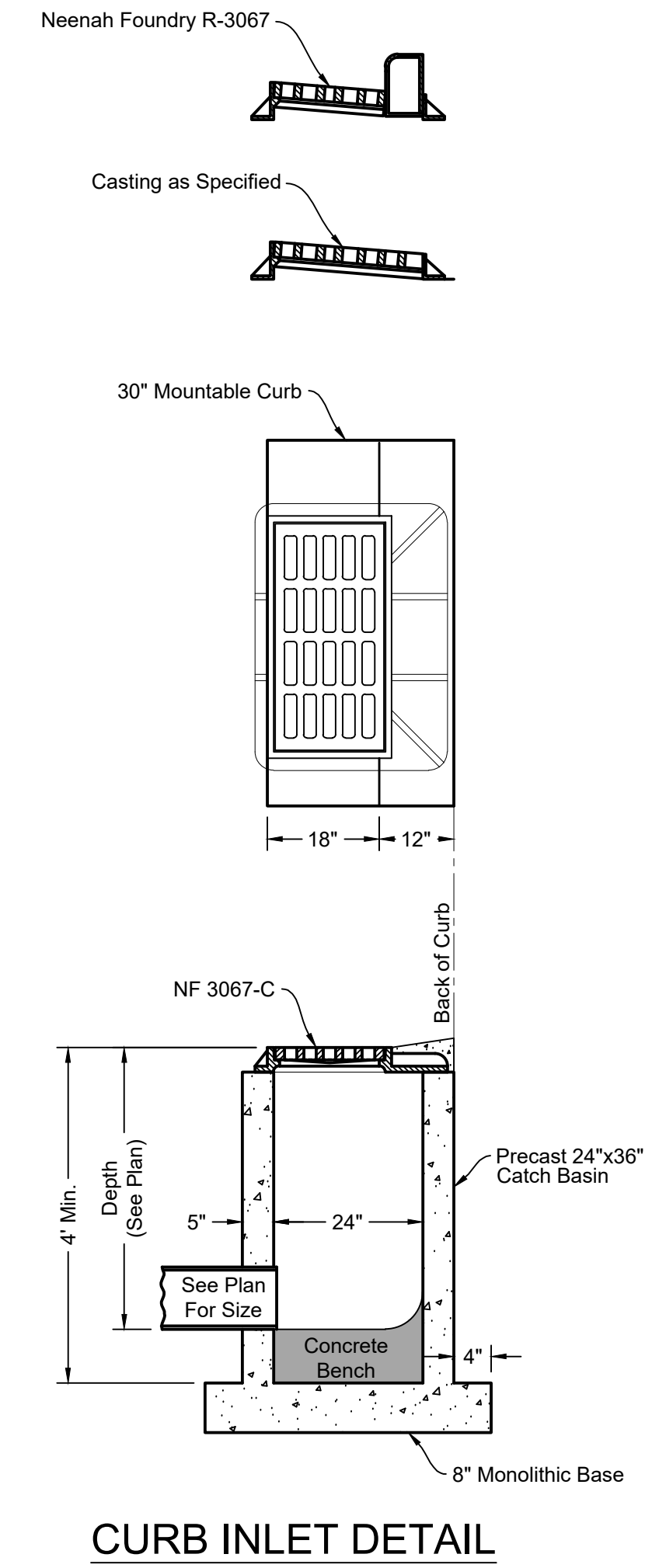
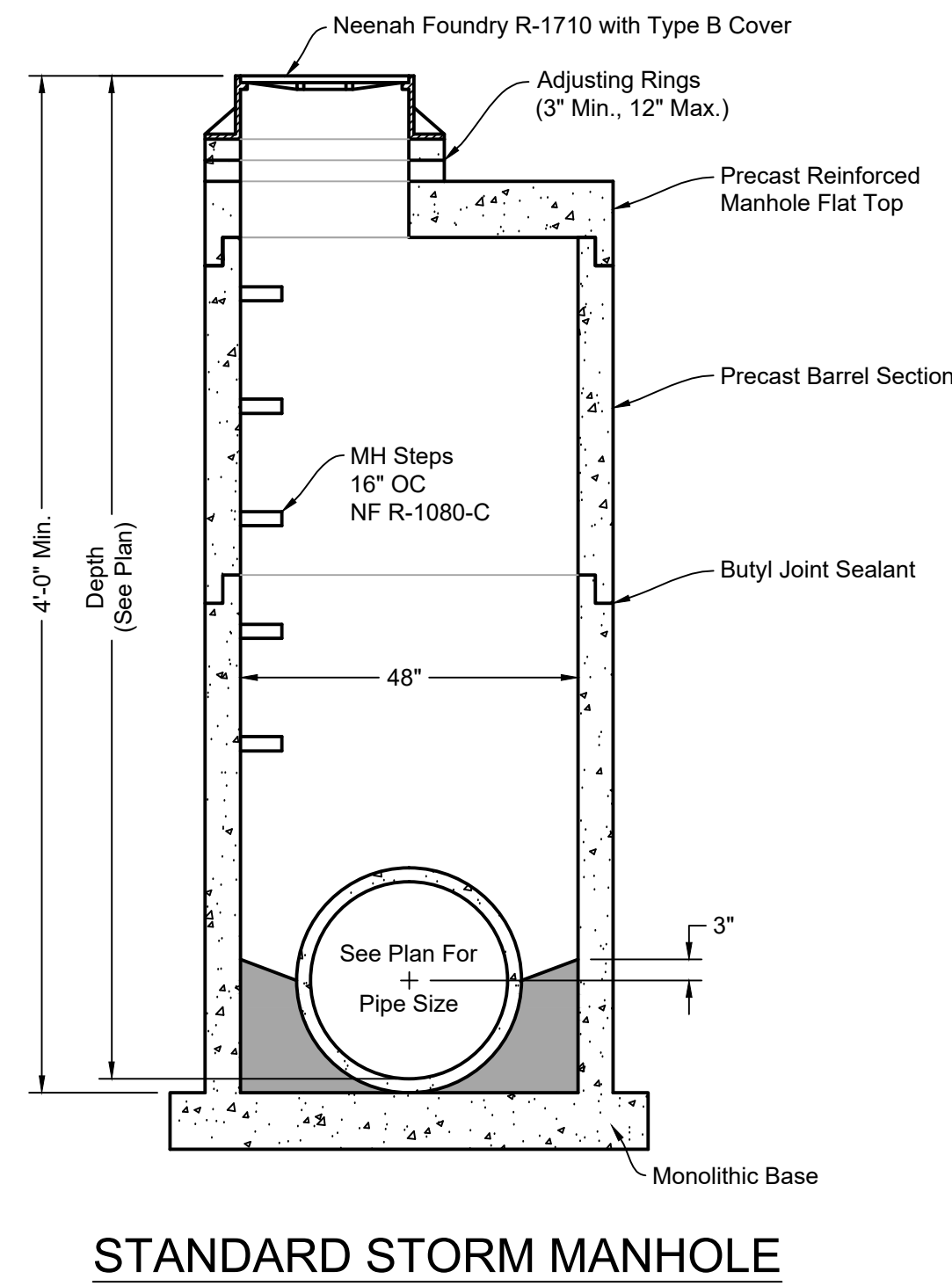
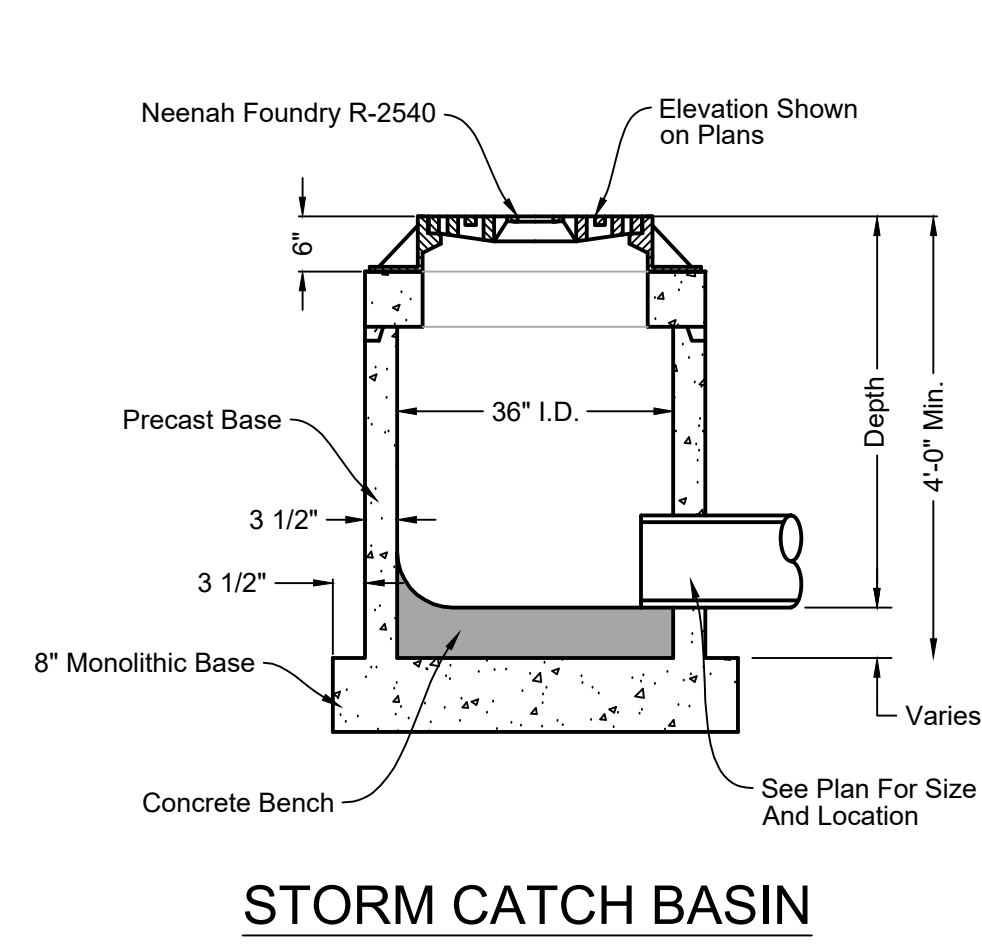
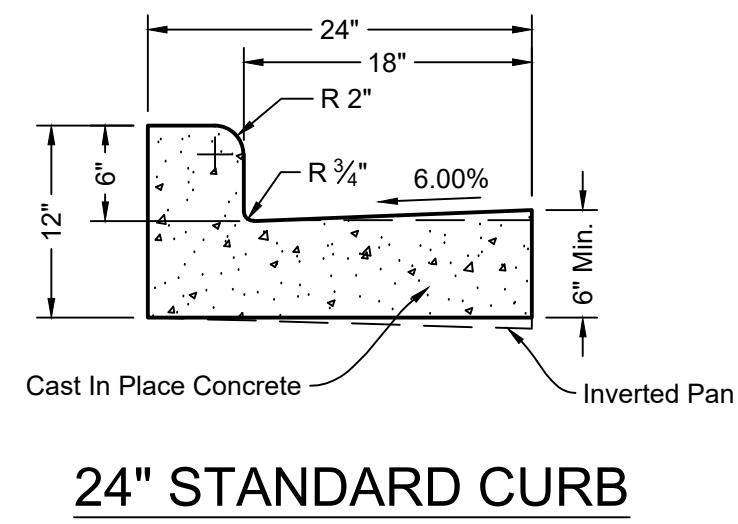
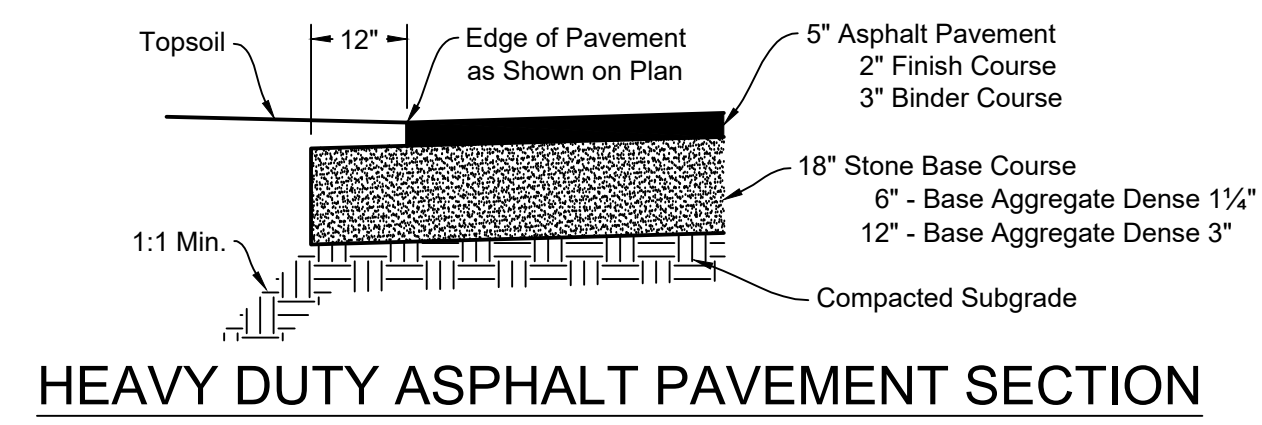
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866
 www.davel.pro

EROSION & SEDIMENT CONTROL PLAN

1020 Prospect Lane
 City of Kaukauna, Outagamie County, WI
 For: Team Industries, Inc.

Date:	06/12/2026
Filename:	9385engr.dwg
Author:	TNW
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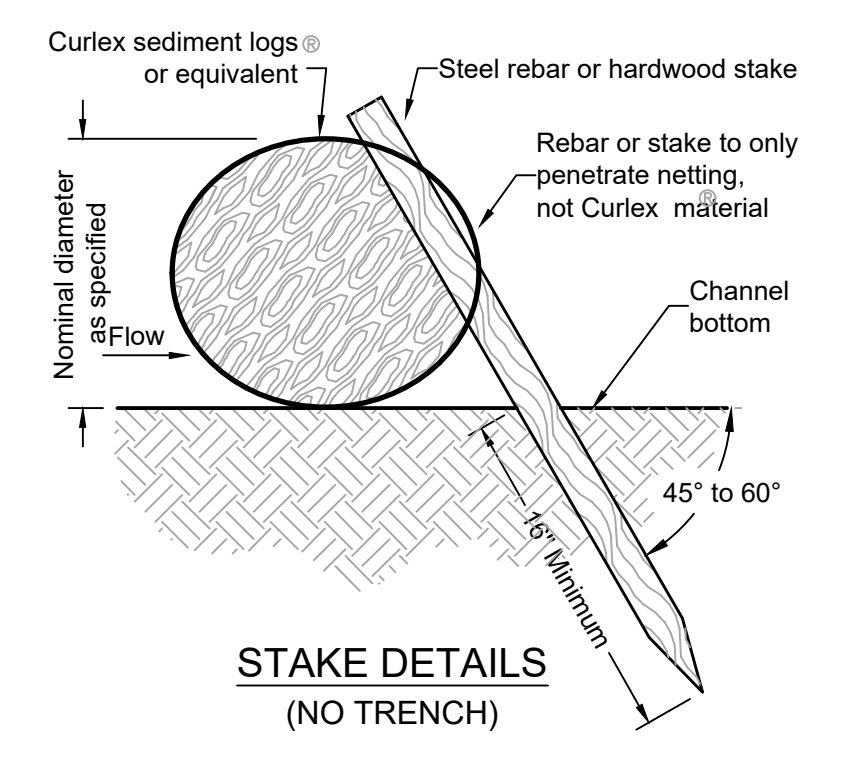
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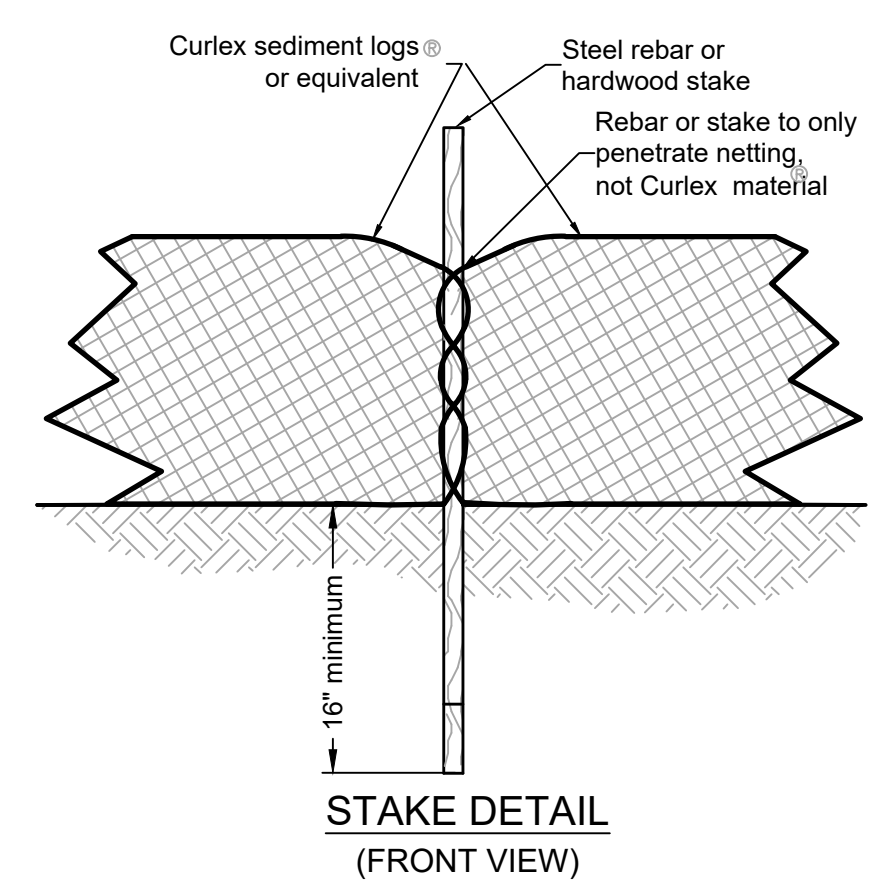
CONSTRUCTION DETAILS

1020 Prospect Lane
 City of Kaukauna, Outagamie County, WI
 For: Team Industries, Inc.

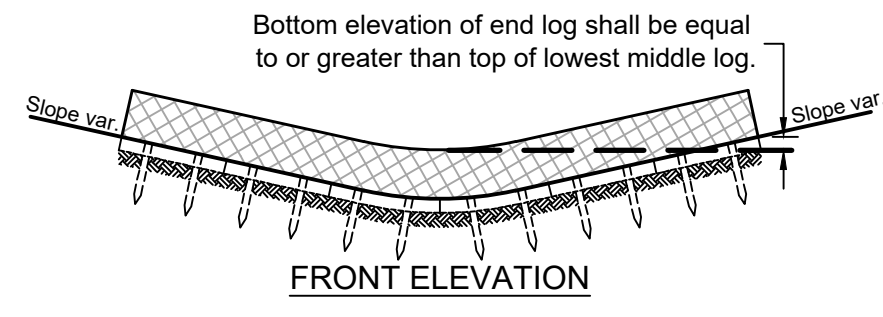
Date:	06/12/2026
Filename:	9385engr.dwg
Author:	TNW
Last Saved by:	augustus
Page:	C2.1



STAKE DETAILS
(NO TRENCH)



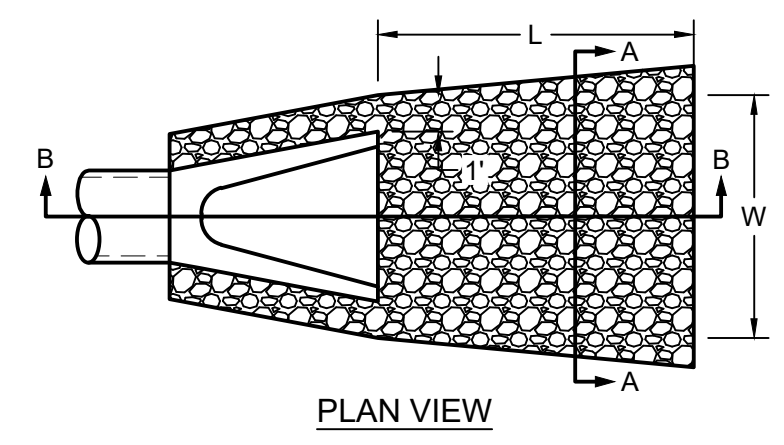
STAKE DETAIL
(FRONT VIEW)



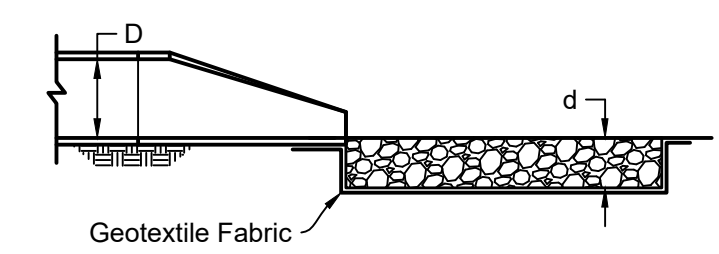
FRONT ELEVATION

NOTE:
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

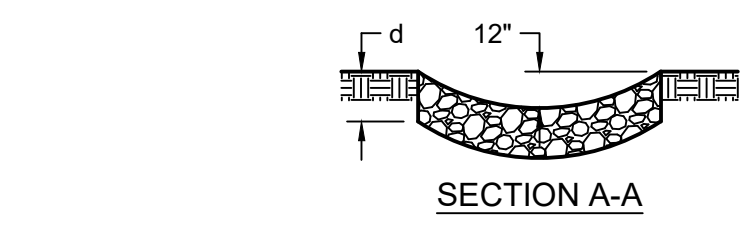
SEDIMENT LOG DETAIL



PLAN VIEW



SECTION B-B

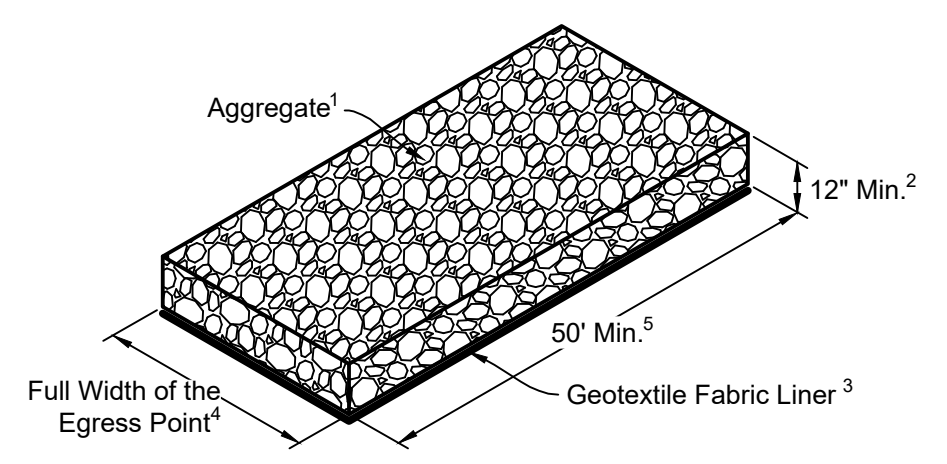


SECTION A-A

D	12"	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"
L	10'	12'	18'	20'	20'	25'	28'	33'	37'	40'	45'
W	11"	13"	20"	22"	24"	28"	32"	38"	42"	45"	50"
d	12"	12"	12"	16"	18"	18"	24"	24"	24"	24"	24"
Riprap cu yds	2.6	3.6	7.8	14.3	15.6	22.8	38.4	53.2	65.8	76.3	95.0

- Notes:**
- Excavate below channel outlet and widen channel outlet to the required riprap thickness for each apron. Foundation to be set to zero grade and smoothed.
 - Place geotextile fabric on bottom and sides of prepared foundation. Fabric shall extend under endwall in accordance with DOT specifications. (DOT Section 628.2 & 628.3)
 - Exercise care in placement of riprap to avoid damage to filter fabric.
 - Use riprap conforming to Wisconsin DOT specifications. (DOT Section 606.2 & 606.3)
 - Use DOT Type R geotextile fabric for light riprap. Use Type HR for medium and heavy riprap. (DOT Section 606.2, 606.3, 628.2 & 628.3)
 - Use 12" dimension for pipes less than 12" in diameter.

OUTLET PROTECTION

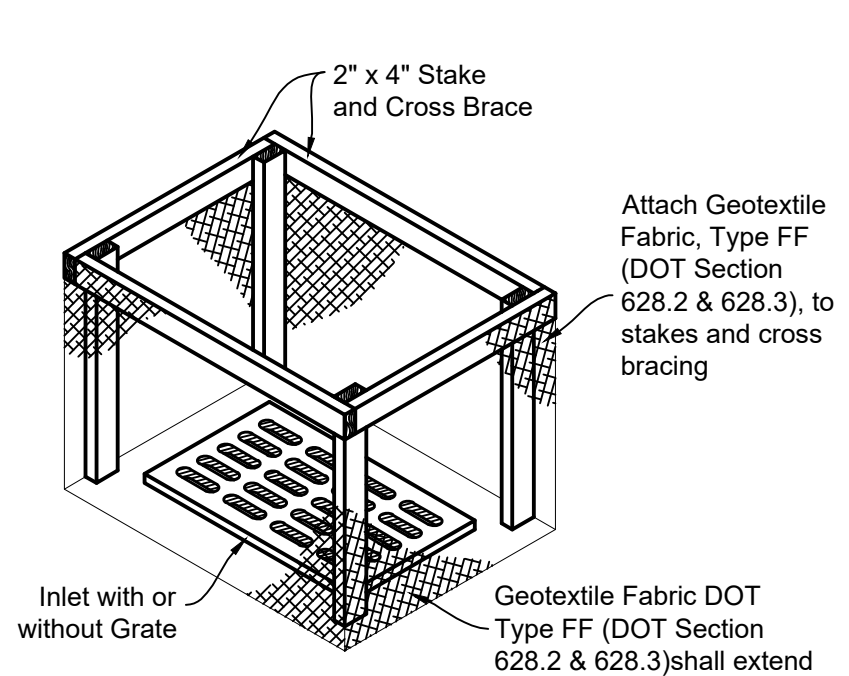


TRACKING PAD DETAIL
DNR TECHNICAL STANDARD 1057

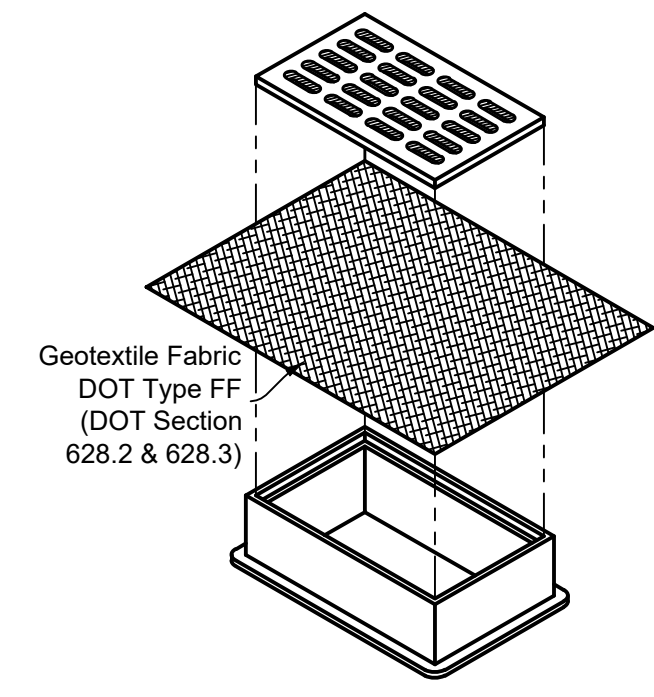
- Note 1** Use hard, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2022 Standard Specification, Section 312, Select Crushed Material.
- Note 2** Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.
- Note 3** Select fabric type based on soil conditions and vehicles loading.
- Note 4** Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.
- Note 5** If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

TABLE 1: GRADATION FOR STONE TRACKING PADS

Sieve Size	Percent by weight passing
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

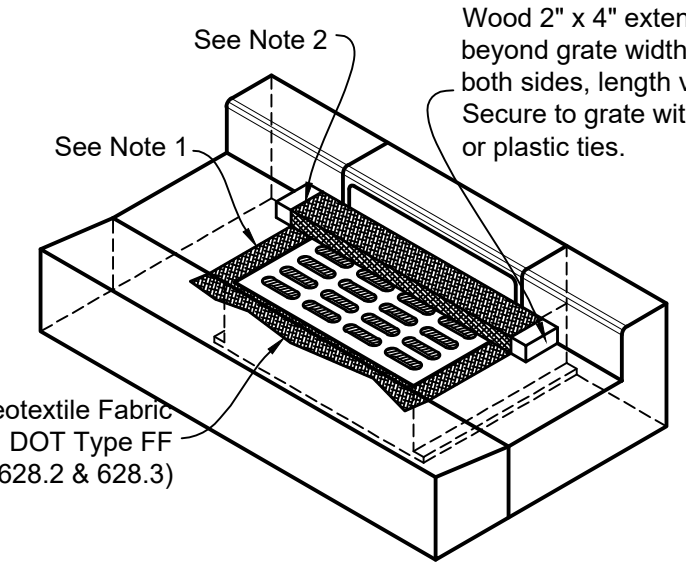


INLET PROTECTION, TYPE A



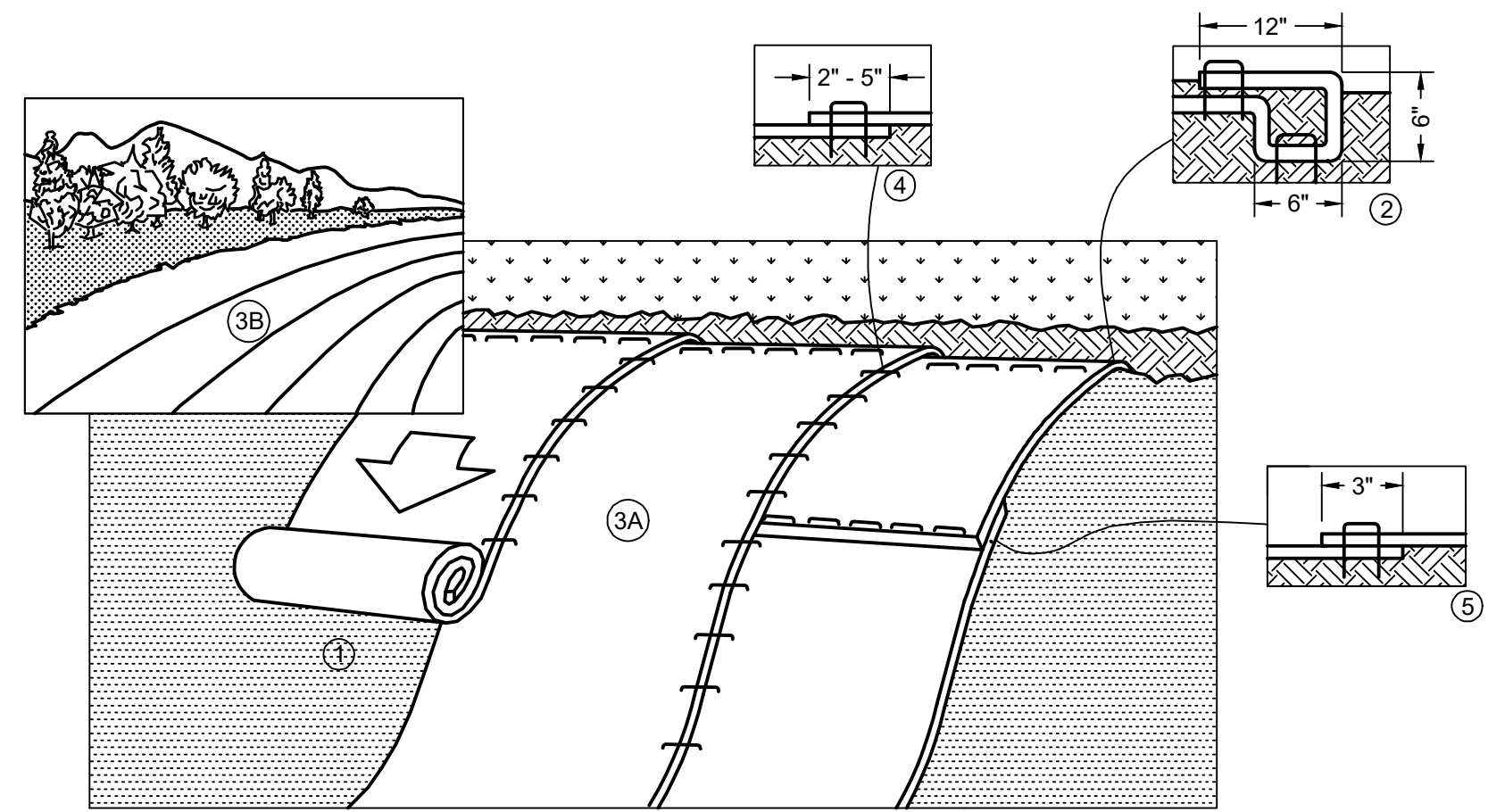
INLET PROTECTION, TYPE B
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

- GENERAL NOTES:**
- Inlet protection devices shall be maintained or replaced at the direction of the engineer.
- Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.
- When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.
- Finished size, including flap pockets where required, shall extend a minimum of 10" around the perimeter to facilitate maintenance or removal.
 - For inlet protection, Type C (with curb box), an additional 10" of fabric is wrapped around the wood and secured with staples. The wood shall not block the entire height of the curb box opening.
 - Flap pockets shall be large enough to accept wood 2x4.



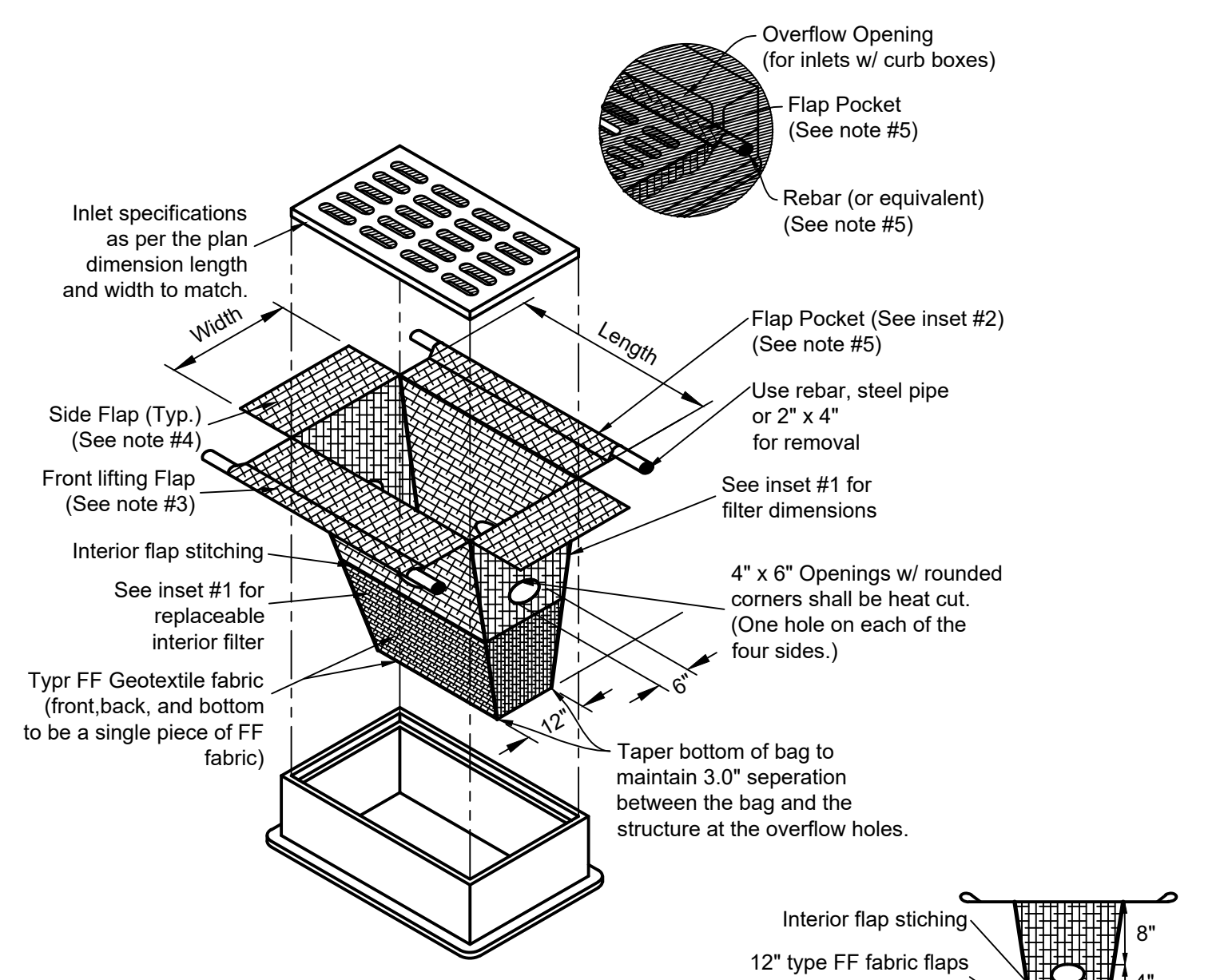
INLET PROTECTION, TYPE C

- INSTALLATION NOTES:**
- Inlet protection Type A shall be utilized around field inlets until permanent stabilization methods have been established. Inlet protection Type A shall be utilized on pavement inlets prior to installation of curb and gutter or pavement.
- Inlet protection Type B shall be utilized on street inlets without curb heads, once surrounding surface is in place.
- Inlet protection Type C shall be utilized on street inlets with curb heads.
- TYPE B & C**
Trim excess fabric in the flow line to within 3" of the grate.
- The contractor shall demonstrate a method of maintenance, using a sewn flap, hand holds, or other method to prevent accumulated sediment from entering the inlet.



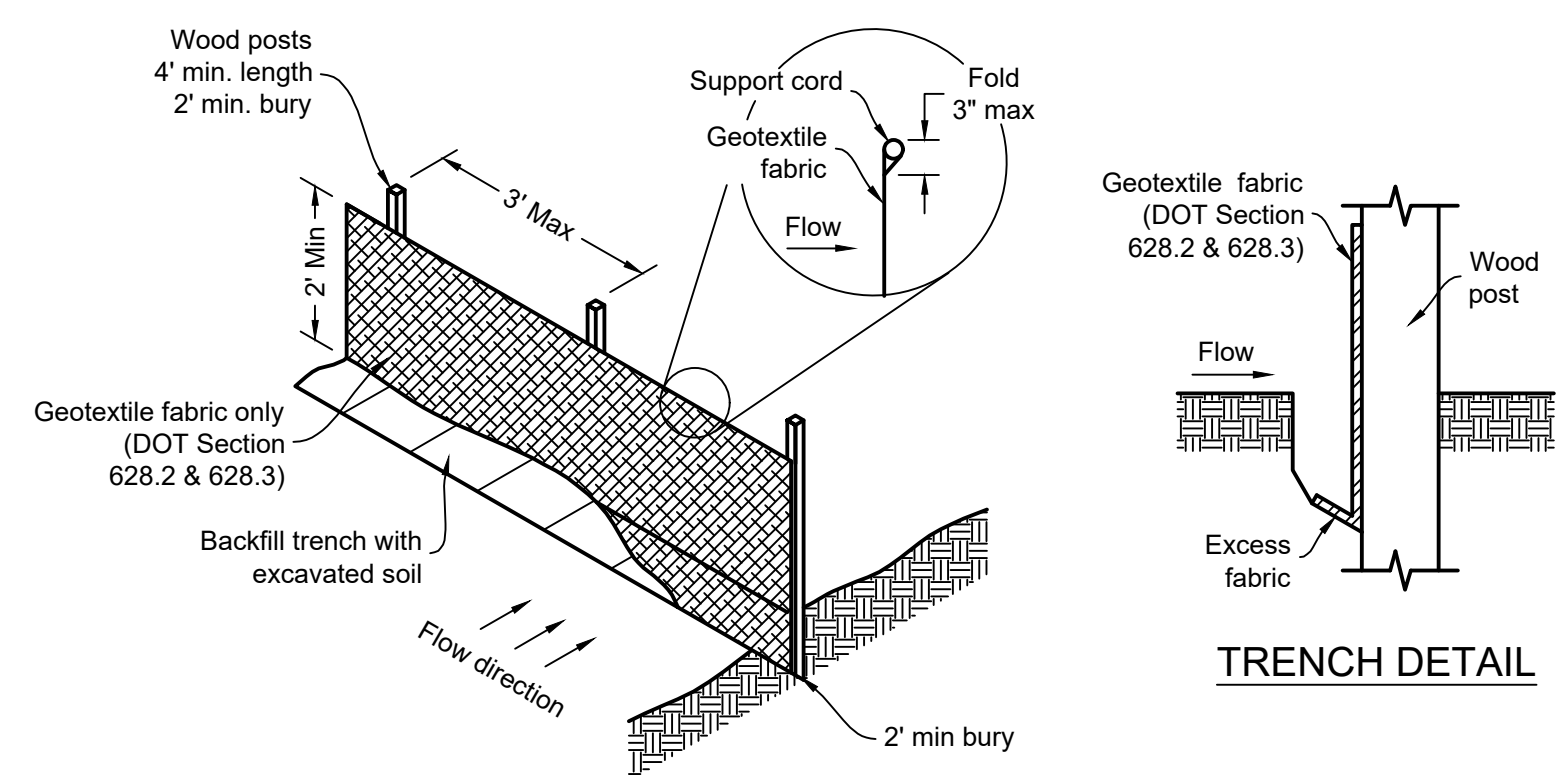
- Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
 - When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
 - Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
 - Roll the RECP's (A) down or (B) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
 - The edges of parallel RECP's must be stapled to approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
- Note:** * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.
- Detail provided by North American Green (www.nagreen.com)
 - Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

- NOTES:**
- Taper bottom of bag to maintain three inches of clearance between the bag and the structure, measured from the bottom of the overflow openings to the structure wall.
 - Geotextile fabric, Type FF for flaps, top and bottom of outside of filter bag. Front, back and bottom of filter bag being one piece.
 - Front lifting flap is to be used when removing and maintaining filter bag.
 - Side flaps shall be a maximum of two inches long. Fold the fabric over and reinforce with multiple stitches.
 - Flap pockets shall be large enough to accept wood 2" x 4". The rebar, steel pipe, or wood shall be installed in the rear flap and shall not block the top half of the curb face opening.
- MAINTENANCE NOTES:**
- When removing or maintaining inlet protection, care shall be taken so that the sediment trapped in the fabric does not fall into the structure. Material that has fallen into the inlet shall be immediately removed.



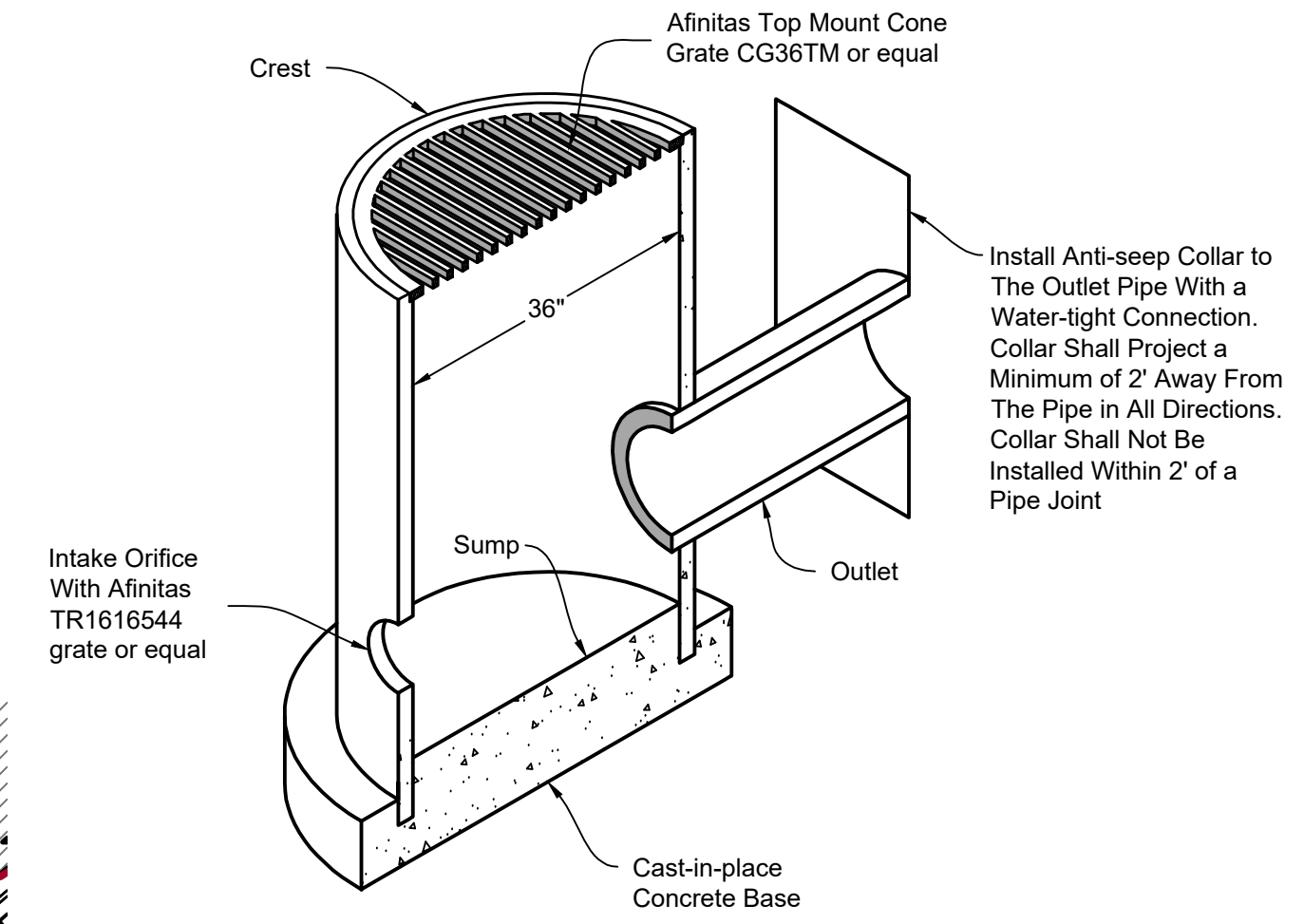
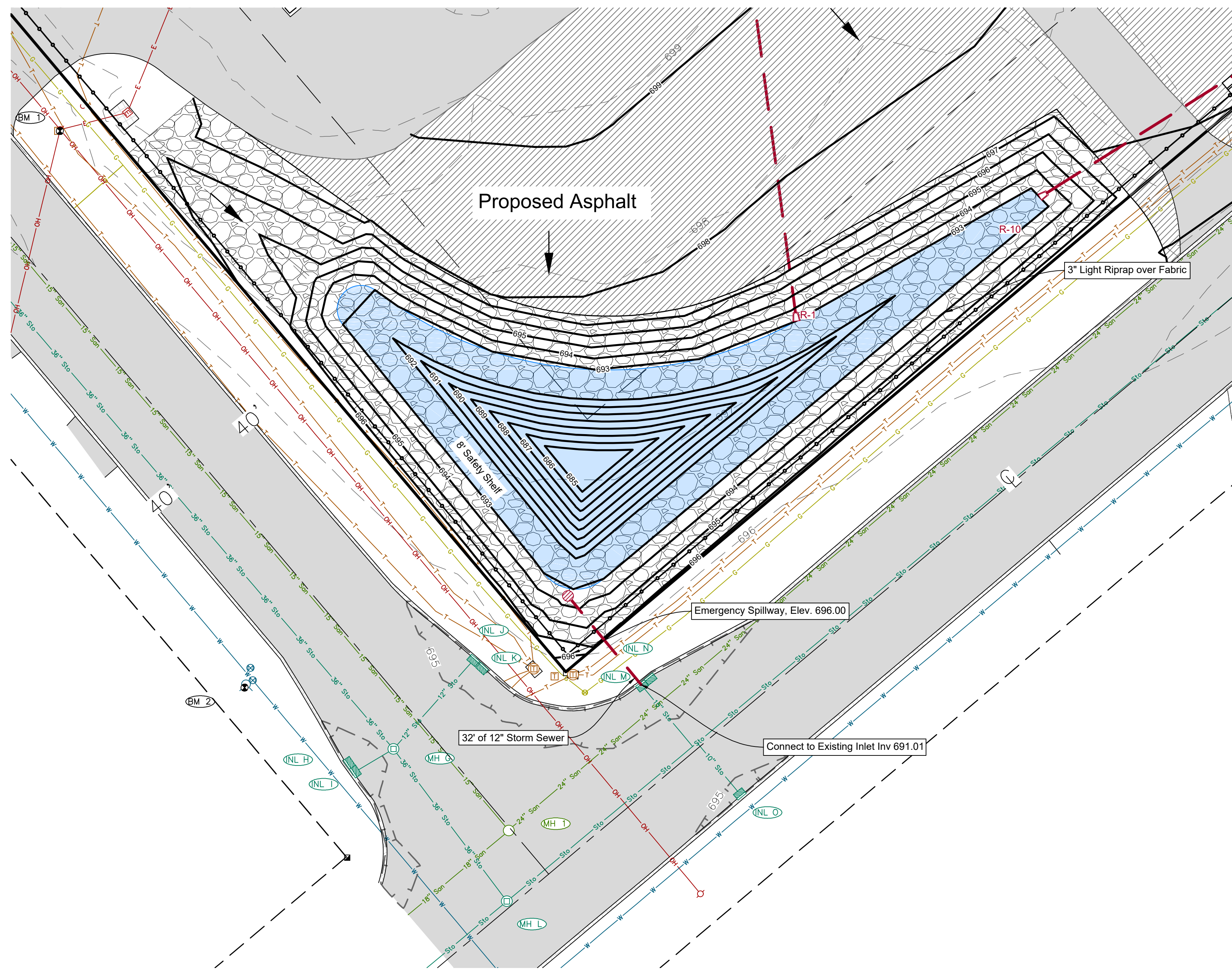
- Silt fence notes:**
- Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
 - When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
 - Attach the fabric to the posts with wire staples or wooden lath and nails.
 - 8'-0" post spacing allowed if a woven geotextile fabric is used.
 - Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
 - Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
 - Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

STORMWATER POND DETAIL

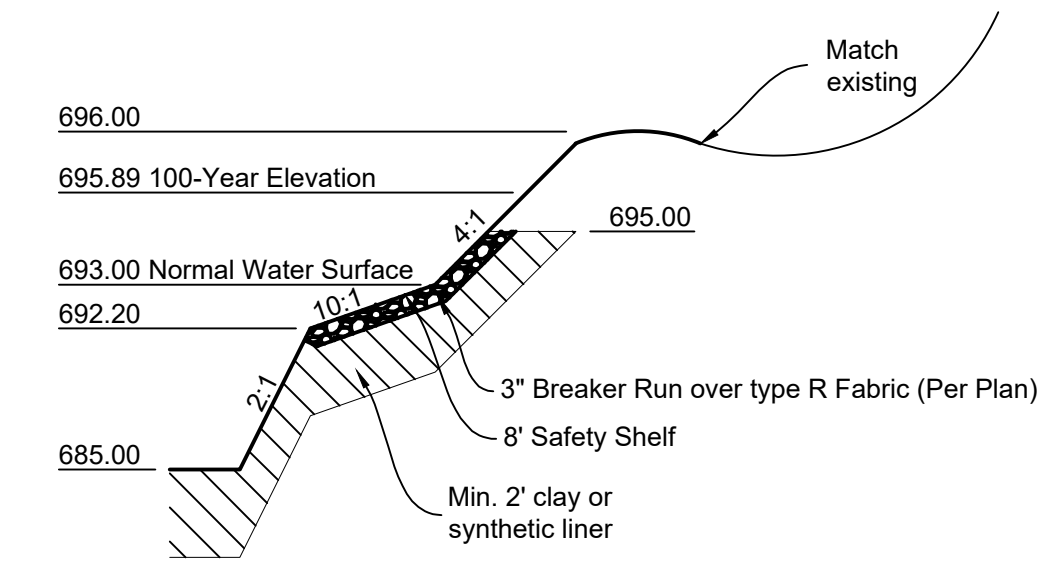
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 City of Kaukauna, Outagamie County, WI
 For: Team Industries, Inc.

Date:	06/12/2026
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Author:	TNW
Last Saved by:	augustus
Page:	C2.3



STAND PIPE DETAIL

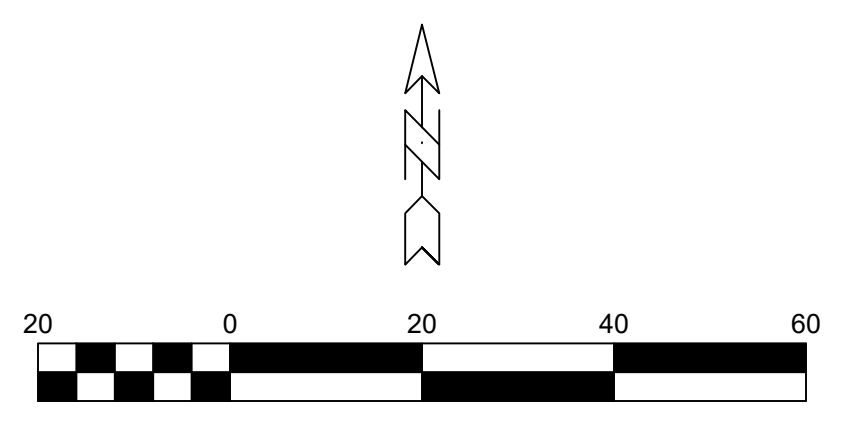
Outlet Size, in	12
Invert Elevation	693.00
Slope (%)	5.81
Intake orifice Size, in	3
Invert Elevation	693.00
Crest Elevation	695.50
Sump Elevation	692.00
Base Elevation	690.00



TYPICAL EMBANKMENT SECTION

Pond Notes:

- The base of the embankment shall be stripped of all vegetation, stumps, topsoil and other matter. Stripping shall be to a minimum of 6 inches.
 - Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 5% to account for settling.
 - All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or flatter.
 - Topsoil shall be spread on all disturbed areas, except for elevations below the normal water surface, as work is completed. The minimum depth of topsoil shall be 4 inches.
 - All areas disturbed by pond construction shall be seeded as work is completed. Pond side slopes above permanent pool shall be temporarily seeded with annual rye or oats immediately after pond is "roughed in." This will require topsoil application. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction. DOT Class 1, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
 - Riprap at all inflow points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 606.2 & 606.3)
 - Any rock encountered shall be excavated to a depth two feet deeper than the bottom of the pond liner.
 - The pond shall be constructed with a Type B Liner with the following WDNR specifications (Wet Detention Pond Technical Standard 1001). Liners include: Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria.
- Clay liners specifications are as follows:
- 50% fines (200 sieve) or more.
 - Hydraulic conductivity of 1 x 10⁻⁶ cm/sec or less.
 - Average liquid limit of 16 or greater, with no value less than 14.
 - Average PI of 7 or more, with no values less than 5.
 - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
 - Minimum thickness of 2 feet.
 - If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1 x 10⁻⁶ cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.
- HDPE liner specifications are as follows:
- Minimum thickness of 40 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- PPL liner specifications are as follows:
- Minimum thickness of 30 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.
 - Any pond fountain or aeration device shall comply with conditions of DNR Technical Standard 1001 Section V.B.2.k.





MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: June 16, 2026
 Re: Site Plan Review – Haen Meats (600 W County Road KK)

Haen Meats is a full service meat market facility. This project will add an additional 4,014 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the [Commercial Highway District \(CHD\)](#) are being met and ordinances are being complied with. The current Haen Meat building has a height of 21' 4" and the height of the addition will be the same. Currently, there are 136 off-street parking spaces. To make room for the addition, the number of off-street parking spaces will be lowered to 123.

Staff noted during review that, although manufacturing uses are allowed in this zoning district, City ordinance states that slaughterhouses are not. In [2024](#), however, an expansion for Haen Meats was approved by the Plan Commission. Prior approval seems to have established this as a conforming use, with this expansion being a continuation of what was already approved by the review body.

Landscape: [17.52 Landscaping Requirements](#)

The landscaping plan does not meet all the requirements of City ordinance. For landscaping in commercial areas, there must be at least one tree for every 75' and located in the front yard setback. Point of ingress/egress are not counted in this calculation. Around seven trees will need to be added in the front yard setback. Requirements for shrubs/decorative grasses are being exceeded.

Lighting:

A lighting plan must be submitted.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has been received by the Engineering Department and is currently being reviewed.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

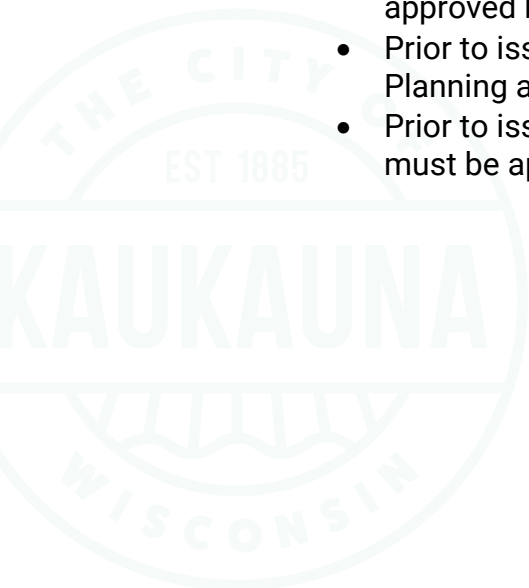
Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- Prior to issuance of building permits, an updated landscaping plan must be approved by the Planning and Community Development Department.
- Prior to issuance of building permits, a lighting plan must be approved by the Planning and Community Development Department.
- Prior to issuance of building permits, Stormwater and Erosion Control permits must be approved by the Engineering Department.





SITE PLAN REVIEW APPLICATION

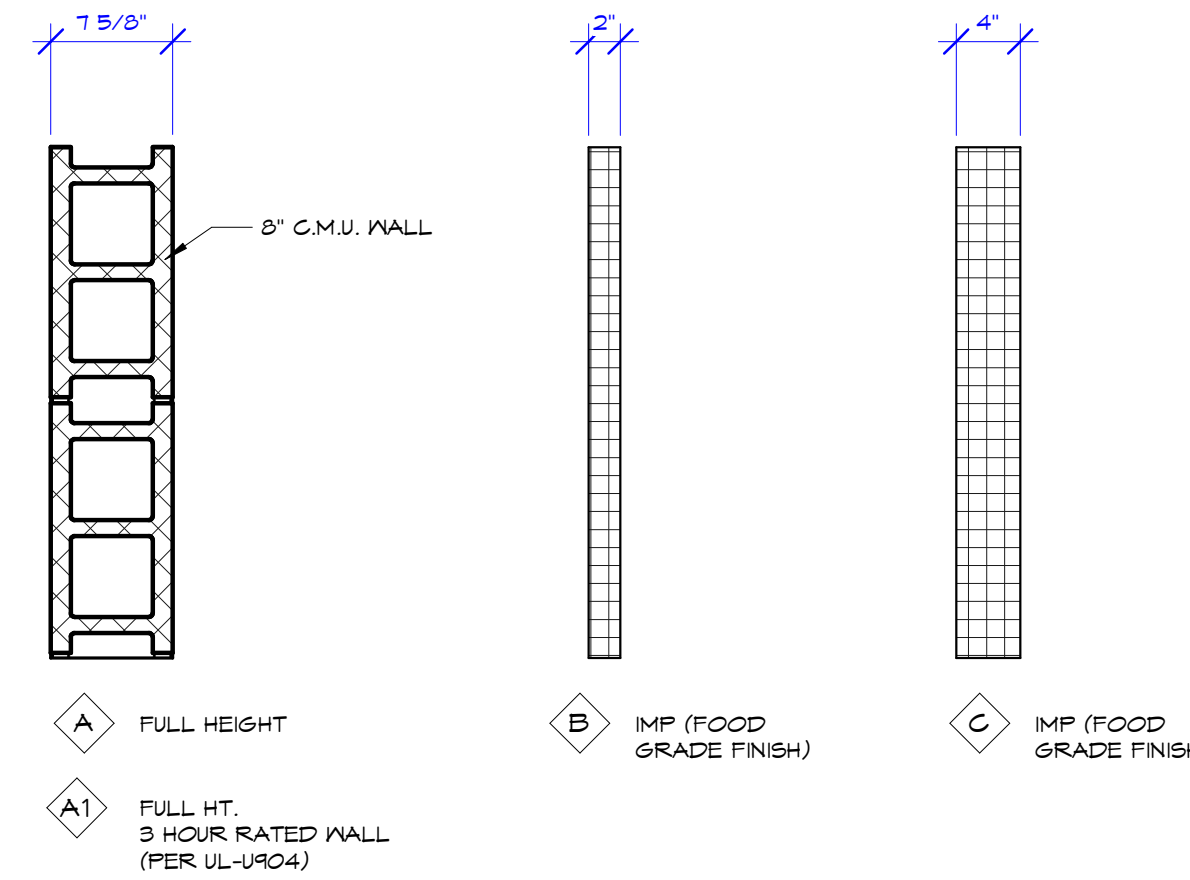
PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: CWPS PROPERTIES, LLC	Name: MACH IV ENGINEERING & SURVEYING LLC
Mailing Address: W7358 SPENCER RD APPLETON, WI 54914	Mailing Address: 2260 SALSCHIEDER CT GREEN BAY, WI 54313
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

PROPERTY INFORMATION	
Described the Proposed Project in Detail: 4000 SF ADDITION TO INCREASE PRODUCTION CAPACITY AND EFFICIENCY	
Property Parcel (#): 323244100	
Site Address/Location: 600 W COUNTY ROAD KK	
Current Zoning and Use: CHD-COMMERCIAL HWY DIST - MEAT PACKING	
Proposed Zoning and Use: CHD-COMMERCIAL HWY DIST - MEAT PACKING	
Existing Gross Floor Area of Building: 32684 SF	Proposed Gross Floor Area of Building: 36698SF
Existing Building Height: 21'-4"	Proposed Building Height: 21'-4"
Existing Number of Off-Street Parking Spaces: 136	Proposed Number of Off-Street Parking Spaces: 123
Existing Impervious Surface Coverage Percentage: 62%	Proposed Impervious Surface Coverage Percentage: 62%

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

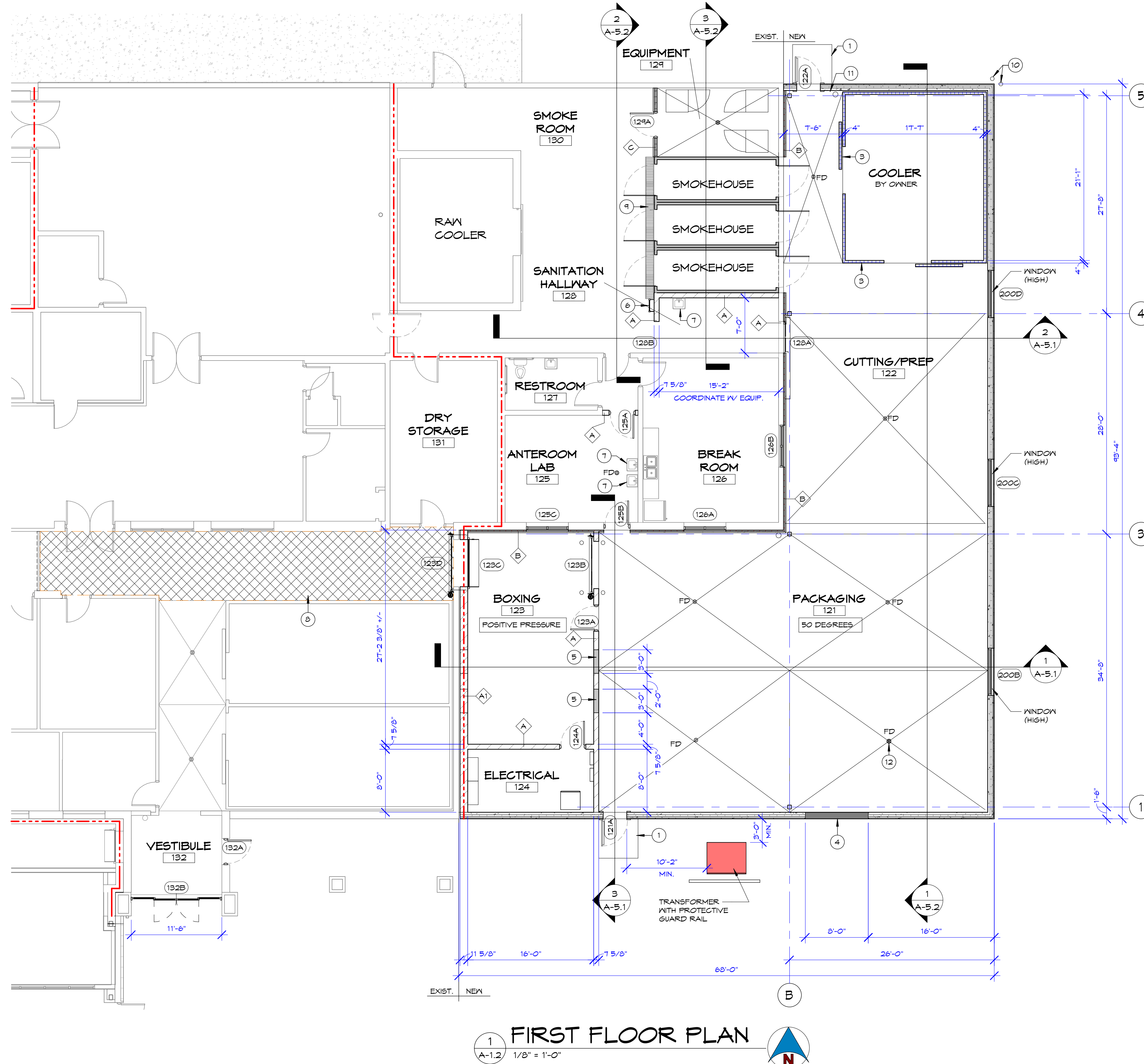
Owner/Agent Signature: JOEL EHRFURTH

Owner/Agent Name (printed): JOEL EHRFURTH



NOTE:
ALL EXPOSED C.M.U. OUTSIDE CORNERS & WALLS, OPENING JAMBS & UNFINISHED SILL SHALL HAVE SQUARE CORNERS, TYP.

INTERIOR WALL TYPES
1" = 1'-0"



1 A-1.2 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVEYS, ETC. AS REQUIRED.
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATION BETWEEN AREAS. CONTRACTOR TO PROVIDE SLEEVES, FIRE RETARDANT INSULATION & FIRE CAULKING AS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT A.D.A. STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC. W/ FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- BULL-NOSE C.M.U. REQUIRED AT CORNERS
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.

STANDARD FLOOR PLAN NOTATION:

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10" "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODES. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER).
- FLOOR DRAIN
- INDICATES WALL TYPES. REFER TO INT. WALL TYPES FOR INFORMATION.
- 3-HOUR FIRE BARRIER WALL - REFER TO PLANS & WALL TYPES.

KEYED PLAN NOTES

- CONCRETE STOOP SLAB WITH FROST-WALL FOUNDATION. REFER TO SECTIONS & STRUCTURAL DRAWINGS, TYP. 2" THICK RIGID INSULATION INSTALLED UNDER ENTIRE SLAB.
- COOLER BY OWNER INSTALLED BY CONTRACTOR. PROVIDE MIN. 2" RIGID INSULATION UNDER SLAB AT COOLER.
- 6" X 8" KNOCK OUT PANEL. COORDINATE LOCATION WITH OWNER AND EQUIPMENT SUPPLIER.
- OPENING FOR CONVEYOR. PROVIDE STAINLESS STEEL WRAP AROUND OPENING. COORDINATE SIZE OF OPENING WITH OWNER.
- STEEL LADDER UP TO MEZZANINE.
- STAINLESS STEEL HANDWASH SINK.
- PATCH FLOOR AND PREP FOR FLOORING TO MATCH EXISTING.
- REPLACE EXISTING SLOT DRAIN.
- 6" DIA BOLLARD.
- FIRE EXTINGUISHER.
- FLOOR DRAIN, STAINLESS STEEL BASKET TYPE DRAIN TYPICAL AT ALL DRAINS.

PRELIMINARY - NOT FOR CONSTRUCTION

BUILDING ADDITION FOR:

HAEN MEATS PACKAGING

KAUKAUNA, WISCONSIN

REVISION HISTORY

NO.	DESCRIPTION	DATE
1		

date: 05-20-2026

job: 26-036

d. by: KJC

A-1.2

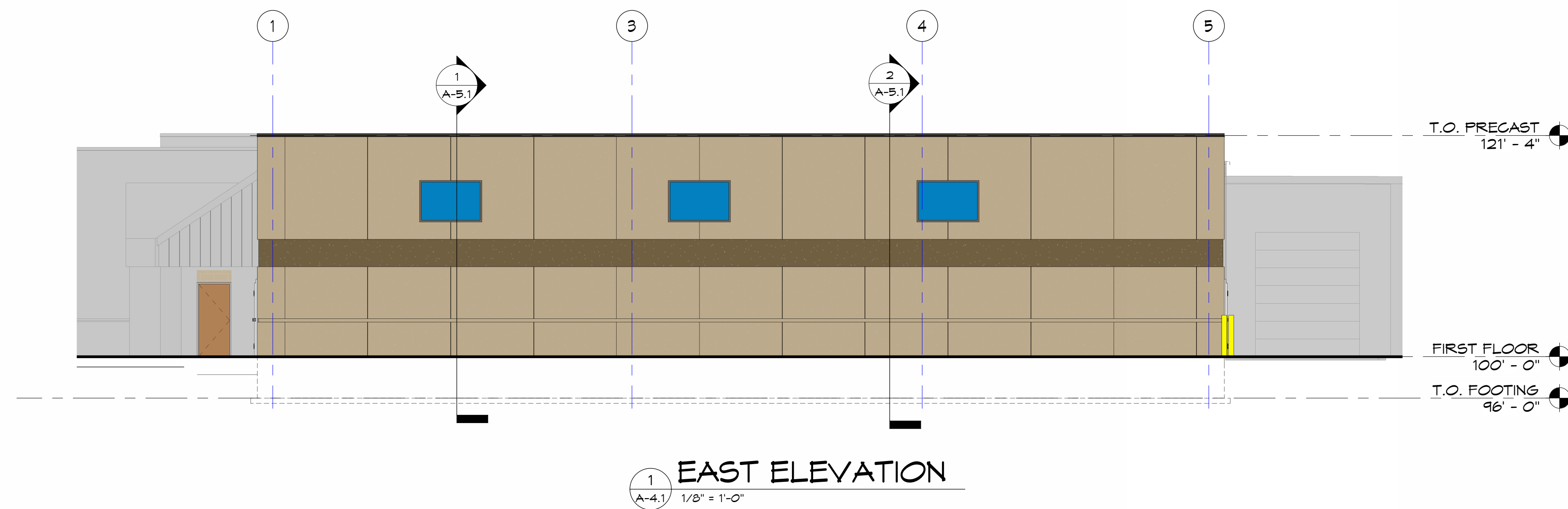
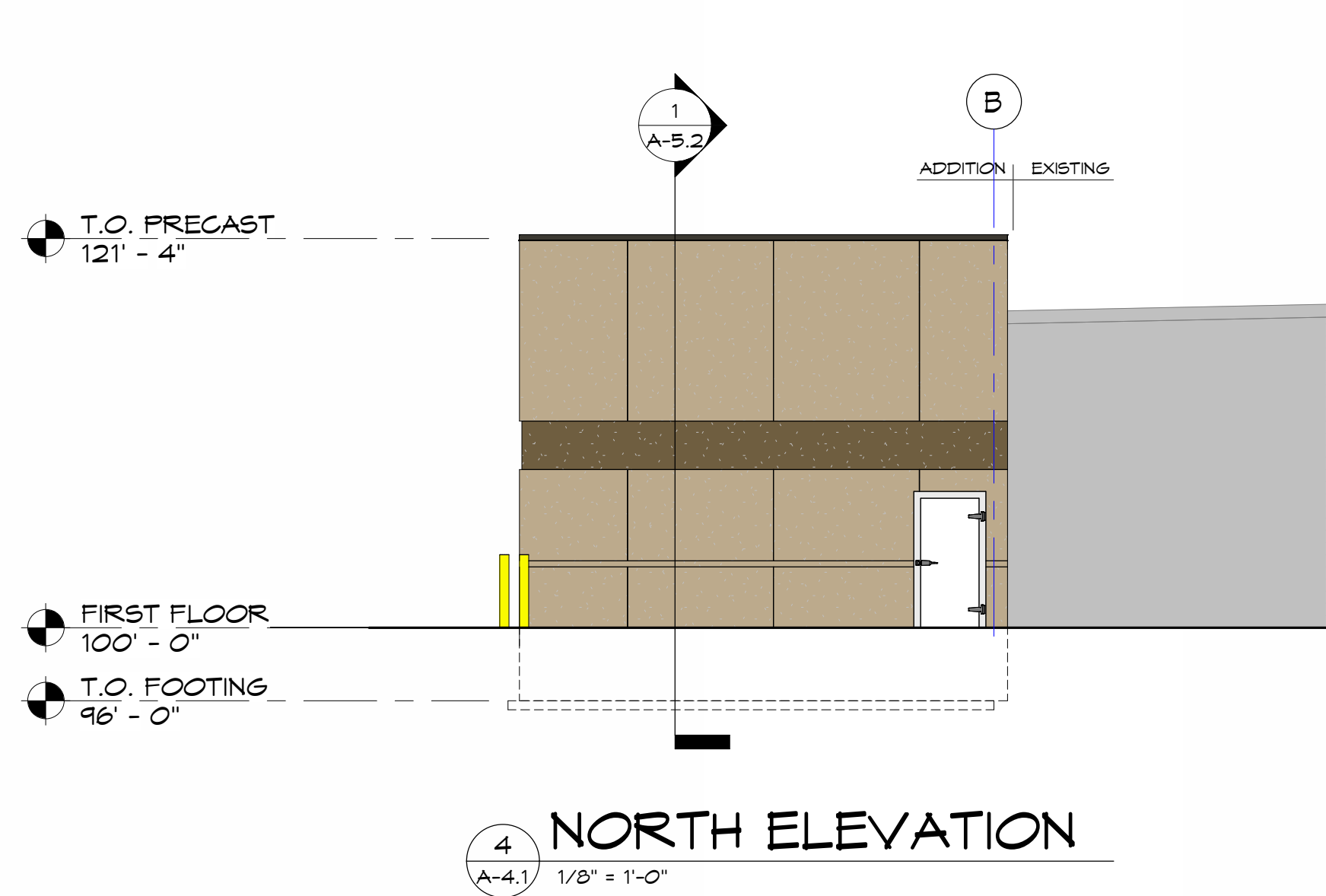
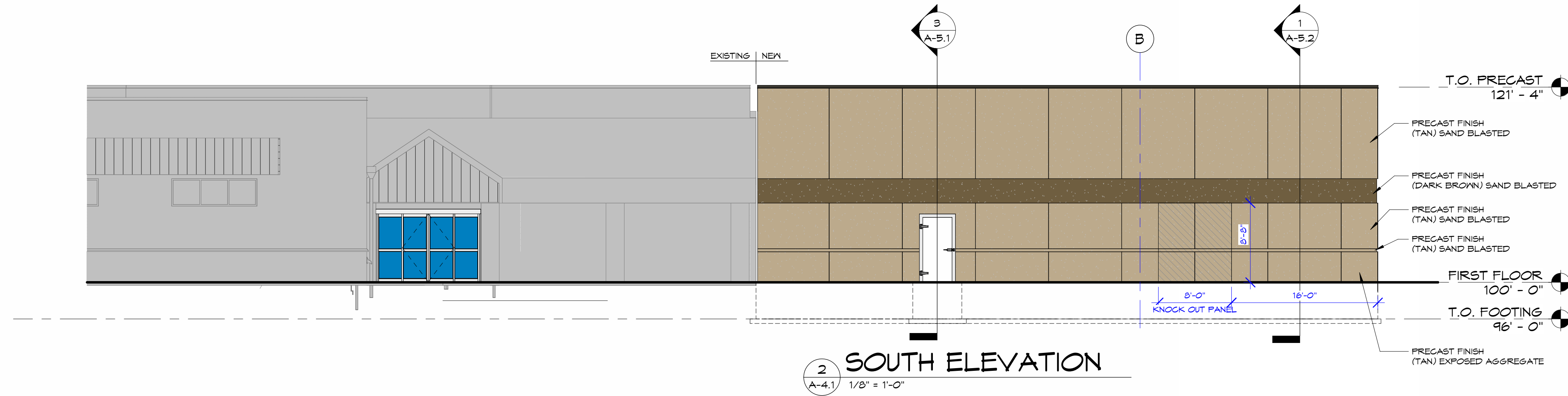
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Miliron Building Excellence



3 SCHEMATIC 3D VIEW



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Scale: #15

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BUILDING ADDITION FOR:
HAEN MEATS PACKAGING
KAUKAUNA, WISCONSIN

REVISION HISTORY

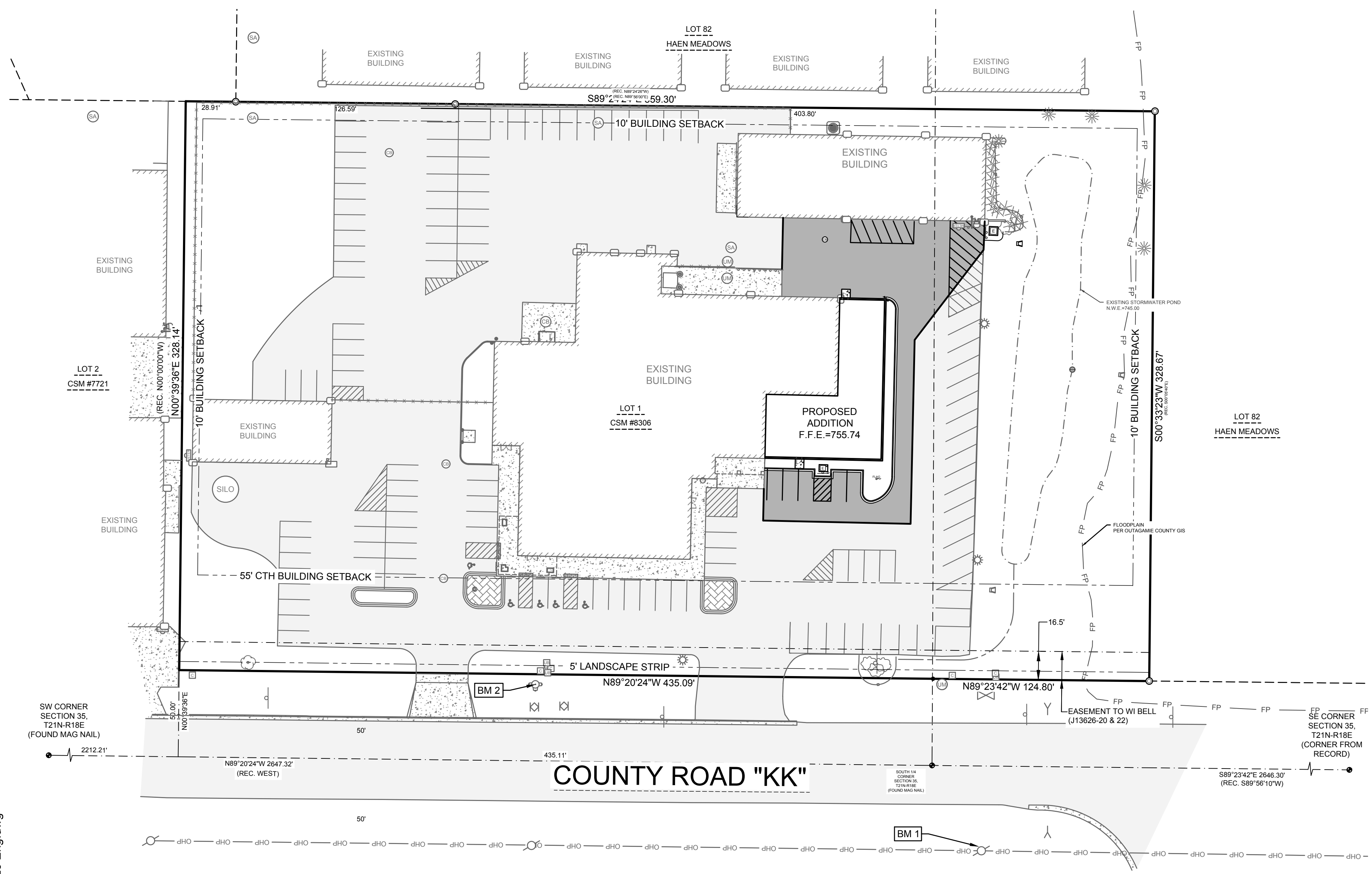
NO.	DESCRIPTION	DATE

date: 05-20-2026
job: 26-036
d. by: KJC

A-4.1

PRELIMINARY - NOT FOR CONSTRUCTION

COVER SHEET



LOCATION MAP
600 WEST COUNTY ROAD KK
KAUKAUNA, WI 54130
NOT TO SCALE

LEGAL DESCRIPTION

PART OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511 (DOCUMENT #1185864) AND ALSO PART OF LOT 1 OF VOLUME 12, CERTIFIED SURVEY MAPS, PAGE 2320 (DOCUMENT #1165660), AND ALSO PART OF VOLUME 1, CERTIFIED SURVEY MAPS, PAGE 115 (DOCUMENT #715161), AND ALSO PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL LOCATED PART OF THE SOUTHWEST 1/4 OF SECTION 35, T21N-R18E, TOWN OF BUCHANAN, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 35, T21N-R18E; THENCE N89°20'24"W, 435.11 FEET ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE N00°39'36"E, 50.00 FEET TO THE NORTH RIGHT OF WAY OF C.T.H. KK AND THE POINT OF BEGINNING; THENCE CONTINUING N00°39'36"E, 328.14 FEET ALONG THE WEST LINE OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511, OUTAGAMIE COUNTY RECORDS; THENCE S89°24'24"E, 559.30 FEET ALONG THE NORTH LINE OF SAID LOT AND ALSO A SOUTH LINE OF LOT 82 OF HAEN MEADOWS, RECORDED IN CABINET J, PAGES 29-31 (DOCUMENT #1636232), OUTAGAMIE COUNTY RECORDS; THENCE S00°33'23"W, 328.67 FEET TO SAID NORTH RIGHT OF WAY OF C.T.H. KK; THENCE N89°23'42"W, 124.80 FEET ALONG SAID RIGHT OF WAY; THENCE N89°20'24"W, 435.09 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

PARCEL CONTAINS 183,799 SQUARE FEET / 4.22 ACRES, MORE OR LESS.
PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

CIVIL SHEETS INDEX

- C-0.1 COVER SHEET
- C-1.0 SITE DEMOLITION PLAN
- C-2.0 SITE PLAN
- C-3.0 UTILITY PLAN
- C-4.0 GRADING PLAN
- C-5.0 EROSION CONTROL PLAN
- C-5.1 EROSION CONTROL DETAILS
- C-6.0 SITE DETAILS
- L-1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

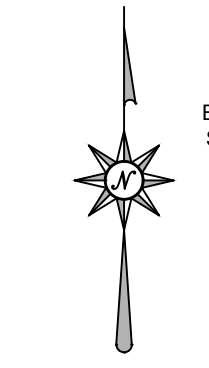
1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JULY 2021.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. UTILITY LOCATES PER DIGGERS HOTLINE REQUEST.
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
19. FOR NOTES SHOWN THUS, "C", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL	[Symbol]	EVERGREEN SHRUB	[Symbol]	STANDARD DUTY ASPHALT	[Symbol]
ELECTRIC METER	[Symbol]	EVERGREEN TREE	[Symbol]	HEAVY DUTY ASPHALT	[Symbol]
ELECTRIC PEDESTAL	[Symbol]	TREE	[Symbol]	BUILDING	[Symbol]
GUY WIRE	[Symbol]	TREE SHRUB	[Symbol]	ASPHALT	[Symbol]
LIGHT POLE	[Symbol]	BUILDING OVERHANG	[Symbol]	CONCRETE	[Symbol]
POWER POLE	[Symbol]	UNDERGROUND CABLE	[Symbol]	GRAVEL	[Symbol]
GAS METER	[Symbol]	OVERHEAD WIRE	[Symbol]	LANDSCAPE WOOD MULCH	[Symbol]
GAS VALVE	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	LANDSCAPE STONE MULCH	[Symbol]
BOLLARD	[Symbol]	GAS	[Symbol]		
HANDICAP PARKING	[Symbol]	LANDSCAPE	[Symbol]		
SANITARY CLEANOUT	[Symbol]	FENCE	[Symbol]		
SANITARY MANHOLE	[Symbol]	GUARDRAIL	[Symbol]		
CATCH BASIN	[Symbol]	CENTERLINE	[Symbol]		
CULVERT	[Symbol]	CURB	[Symbol]		
DOWNSPOUT	[Symbol]	PARKING STRIPE	[Symbol]		
INLET	[Symbol]	SANITARY SEWER	[Symbol]		
INLET 2' X 2'	[Symbol]	CULVERT	[Symbol]		
STORM CLEANOUT	[Symbol]	STORM SEWER	[Symbol]		
STORM MANHOLE	[Symbol]	FIBER OPTIC	[Symbol]		
FIBER OPTIC PEDESTAL	[Symbol]	WOOD LINE	[Symbol]		
SIGN	[Symbol]	RETAINING WALL	[Symbol]		
FIRE HYDRANT	[Symbol]	WATERMAIN	[Symbol]		
WATER SHUT OFF	[Symbol]	CONTOUR MAJOR	[Symbol]		
WATER VALVE	[Symbol]	CONTOUR MINOR	[Symbol]		

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLET
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SCHD	SCHEDULE
FDM	FACILITIES DEVELOPMENT MANUAL	S.D.	SUMP DEPTH
FFE	FIRST FLOOR ELEVATION	SQ	SQUARE
FL	FLOW LINE	ST	STORM
FO	FIBER OPTIC	S.T.H.	STATE TRUNK HIGHWAY
FT	FEET	STM	STORM
G	GAS	T	TELEPHONE
G.F.E.	GROUND FLOOR ELEVATION	T/C	TOP OF CURB
GR	GRADE	U.S.H.	UNITED STATES HIGHWAY
HDPE	HIGH DENSITY POLYETHYLENE	V	VARIES
INL	INLET	W	WEST
INV	INVERT	WAT	WATER
M	METER	WI	WISCONSIN
MAX	MAXIMUM	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION
MH	MANHOLE		



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 35, T21N-R18E, WHICH BEARS N89°20'24"W.

COORDINATES BASED ON THE CURRENT COUNTY COORDINATE SYSTEM OF RECORD.



DIGGERS HOTLINE
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-10-26

Gries Architectural Group Inc.
300 North Commercial Street
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

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Building Excellence

BUILDING ADDITION FOR:
HAEN MEATS PACKING ADDITION
 KAUKAUNA, WISCONSIN

date: 05/15/2026
job:
d. by: RPH / SAH
rev.:

C-0.1

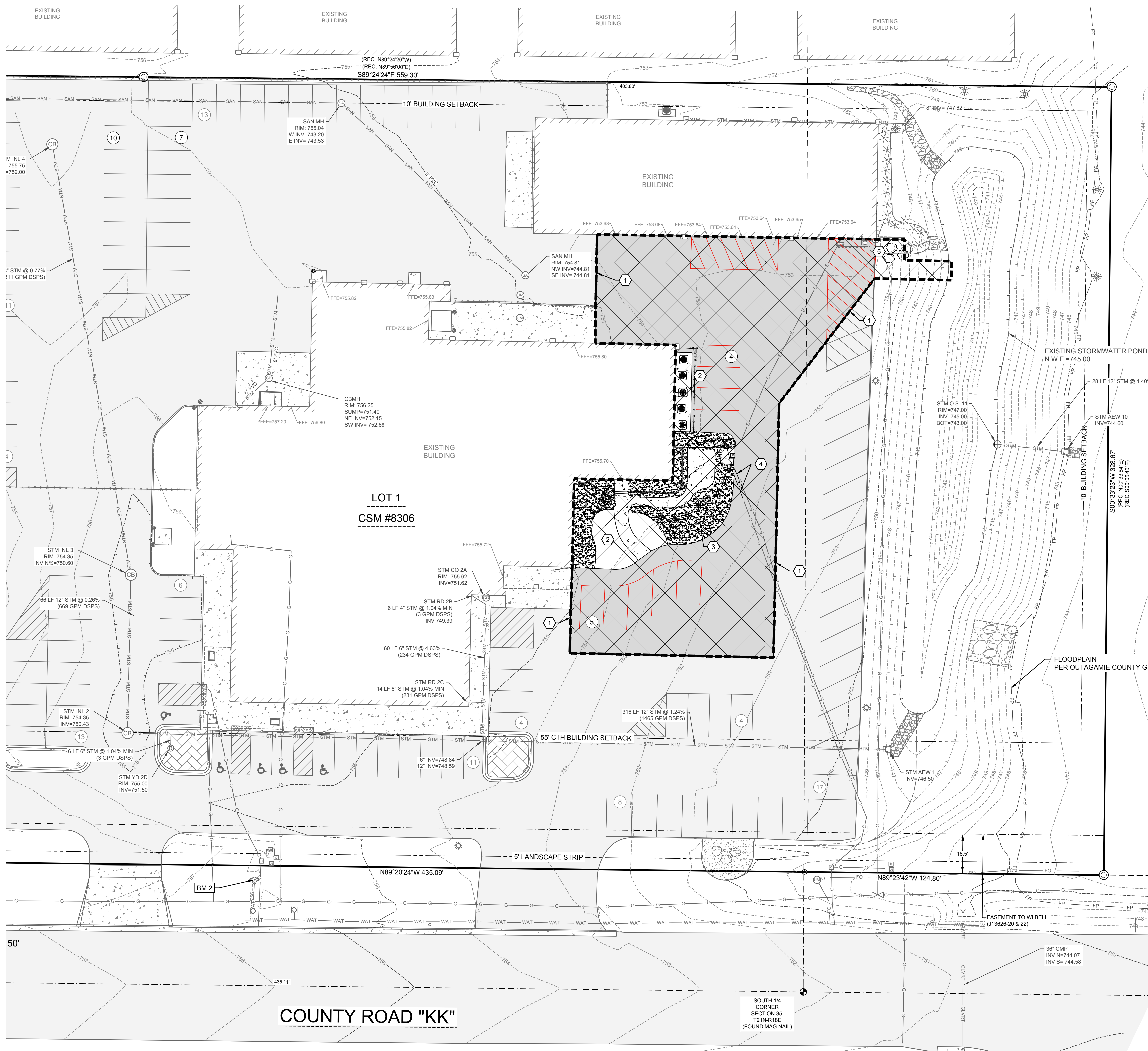
SITE DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 1	749.880	NAIL IN POWER POLE 45-C-5
BM 2	758.410	HYDRANT BURY BOLT

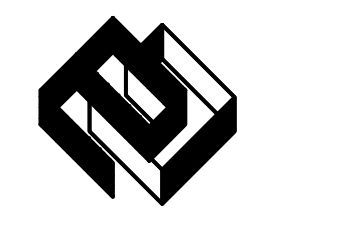
NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING BENCHMARK INFORMATION

SHEET KEY NOTES:

- 1 SAWCUT AND REMOVE ASPHALT PAVEMENT WITHIN AREA SHOWN
- 2 REMOVE ALL IMPROVEMENTS AS NEEDED TO CONSTRUCT PROPOSED IMPROVEMENTS WITHIN AREA SHOWN
- 3 SALVAGE FLAG POLE FOR REINSTALLATION
- 4 COORDINATE THE RELOCATION OF UTILITIES WITH UTILITY OWNER
- 5 REMOVE LANDSCAPE PLANTS AND MATERIAL AS NECESSARY FOR TRANSFORMER INSTALLATION; REFER TO SHEET C-3.0



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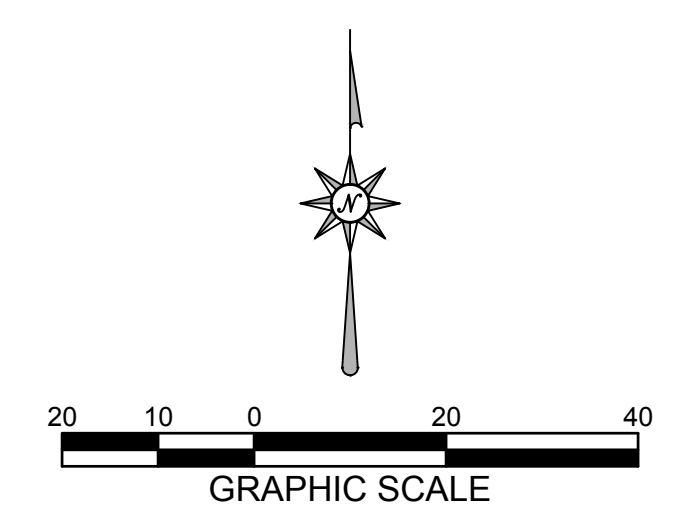
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BUILDING ADDITION FOR:
HAEN MEATS PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 05/15/2026
job:
d. by: RPH / SAH
rev.:

C-1.0



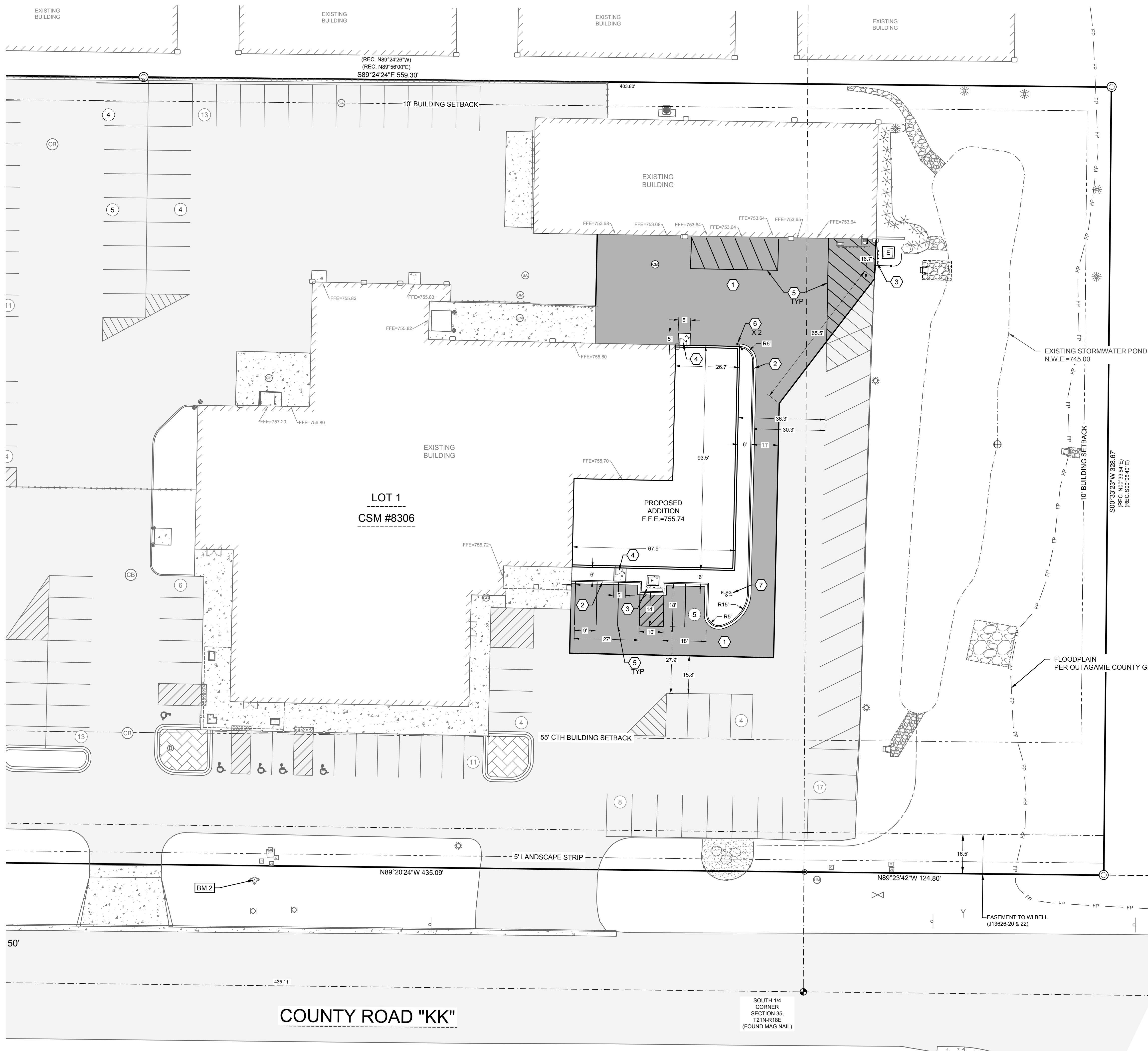
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R:\Jobs\1865-10-26 Haen Meats 2026 Addition\DRAWINGS\1865-10-26 Eng.dwg

10/4/2021 8:33:23 AM

SITE PLAN



OWNER

CWPS PROPERTIES LLC
 W7358 SPENCER ROAD
 APPLETON, WI 54914

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C-6.0
- ② CURB AND GUTTER; SEE DETAIL B SHEET C-6.0
- ③ GALVANIZED GUARD RAIL
- ④ STOOP; REFER TO STRUCTURAL DRAWINGS
- ⑤ 4" WIDE PAINT STRIPE (MATCH EXISTING)
- ⑥ BOLLARD; SEE DETAIL C SHEET C-6.0
- ⑦ SALVAGED FLAG POLE

SITE STATISTICS

PARCEL ADDRESS:	600 WEST COUNTY ROAD KK
PARCEL NUMBER:	323244100
PARCEL SIZE:	183,799 SF (4.22 AC)
ZONING:	CHD - COMMERCIAL HIGHWAY DISTRICT
EXISTING SITE	
GREEN SPACE:	70,047 SF (38.11%)
IMPERVIOUS AREA	
BUILDINGS:	32,684 SF (17.78%)
PAVEMENT:	81,068 SF (44.11%)
TOTAL IMPERVIOUS:	113,752 SF (61.89%)
PROPOSED SITE	
TOTAL DISTURBED AREA:	14,208 SF (0.326 AC)
GREEN SPACE:	69,241 SF (37.67%)
IMPERVIOUS AREA	
BUILDING:	36,698 SF (19.97%)
PAVEMENT:	77,860 SF (42.36%)
TOTAL IMPERVIOUS:	114,558 SF (62.33%)
PARKING	
REQUIRED	1 PER 300 SF
PROVIDED	MAIN BUILDING= 26,917 SF/300 = 90 STALLS 123 STALLS; 5 OF WHICH ARE ADA

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 Appleton, WI 54912
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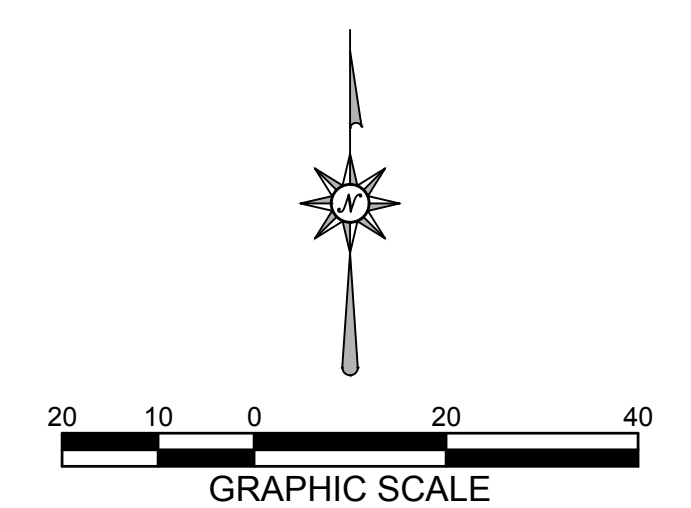
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HAEN MEATS PACKING ADDITION
 KAUKAUNA, WISCONSIN

date: 05/15/2026
 job:
 d. by: RPH / SAH
 rev.:

C-2.0



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2260 Salscheider Court Green Bay, WI 54313
 PH:920-569-5765; Fax: 920-569-5767
 www.mach-iv.com
 Project Number: 1865-10-26

EROSION CONTROL PLAN

SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C-5.1
- ② SILT FENCE; SEE DETAIL B SHEET C-5.1
- ③ CLASS I, TYPE B EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C-5.1
- ④ ENERGY DISSIPATOR; SEE DETAIL D SHEET C-5.1

EROSION CONTROL PRACTICES:

1. **SILT FENCE** (TECH. STANDARD 1056)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH STANDARD 1068)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALE FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1063)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH STANDARD 1061)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

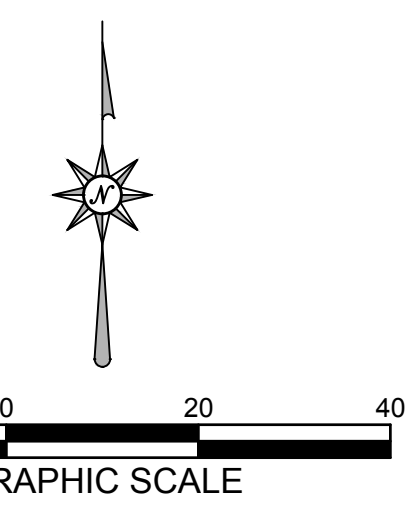
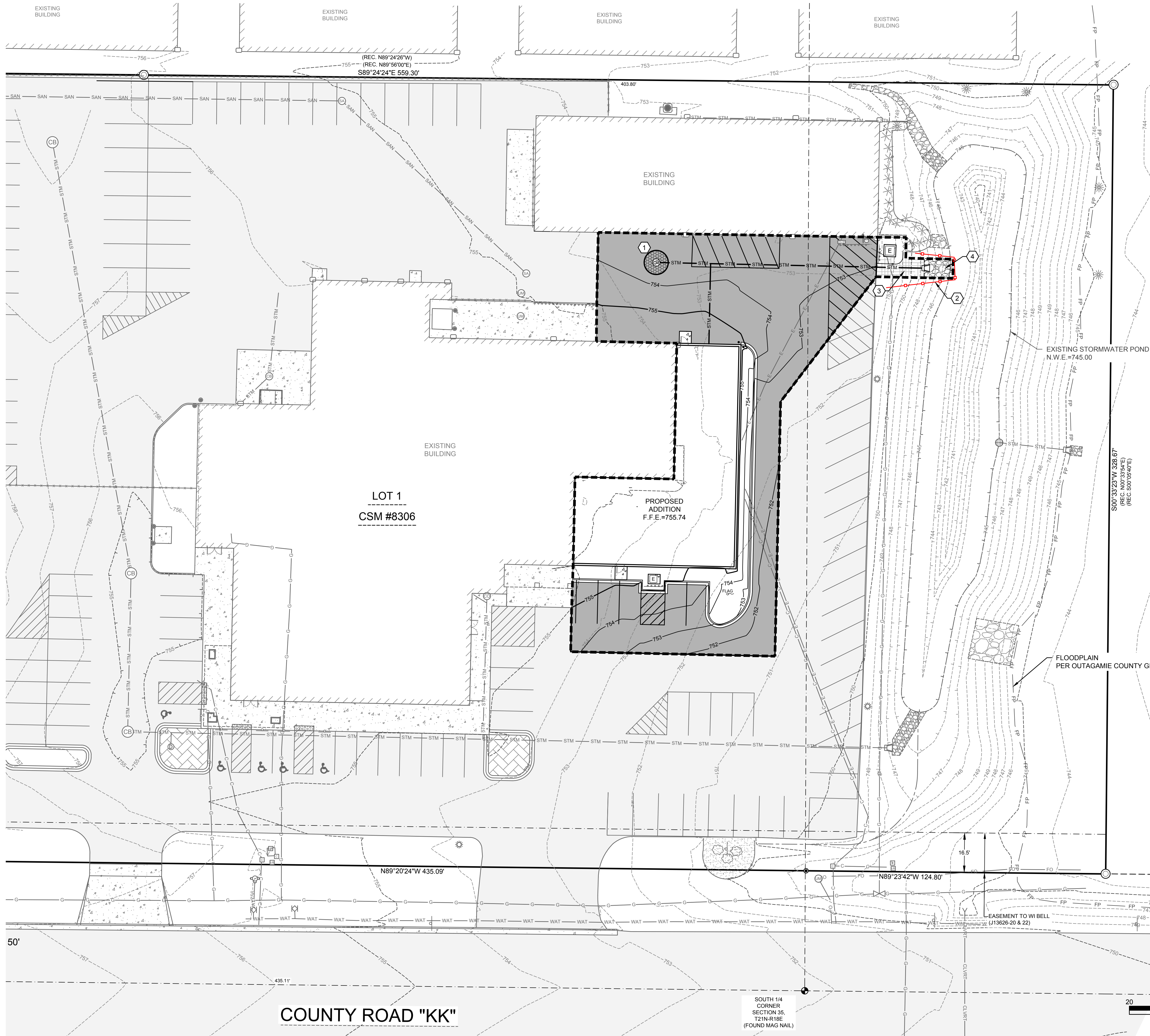
CONSTRUCTION NOTES:

1. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
2. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
5. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
6. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

CONSTRUCTION SEQUENCE:

SUMMER 2026 TO FALL 2026

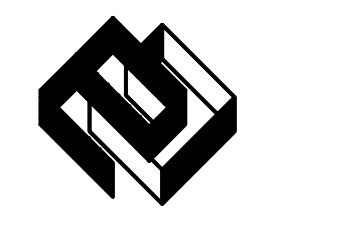
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS
- SITE DEMOLITION
- ROUGH GRADE SITE
- CONSTRUCT BUILDING ADDITION
- INSTALL SITE UTILITIES
- INSTALL BASE COURSE
- INSTALL PAVEMENT
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- RE-SEED ANY UNVEGETATED AREAS
- REMOVE TEMPORARY EROSION CONTROL BMPs UPON SITE STABILIZATION



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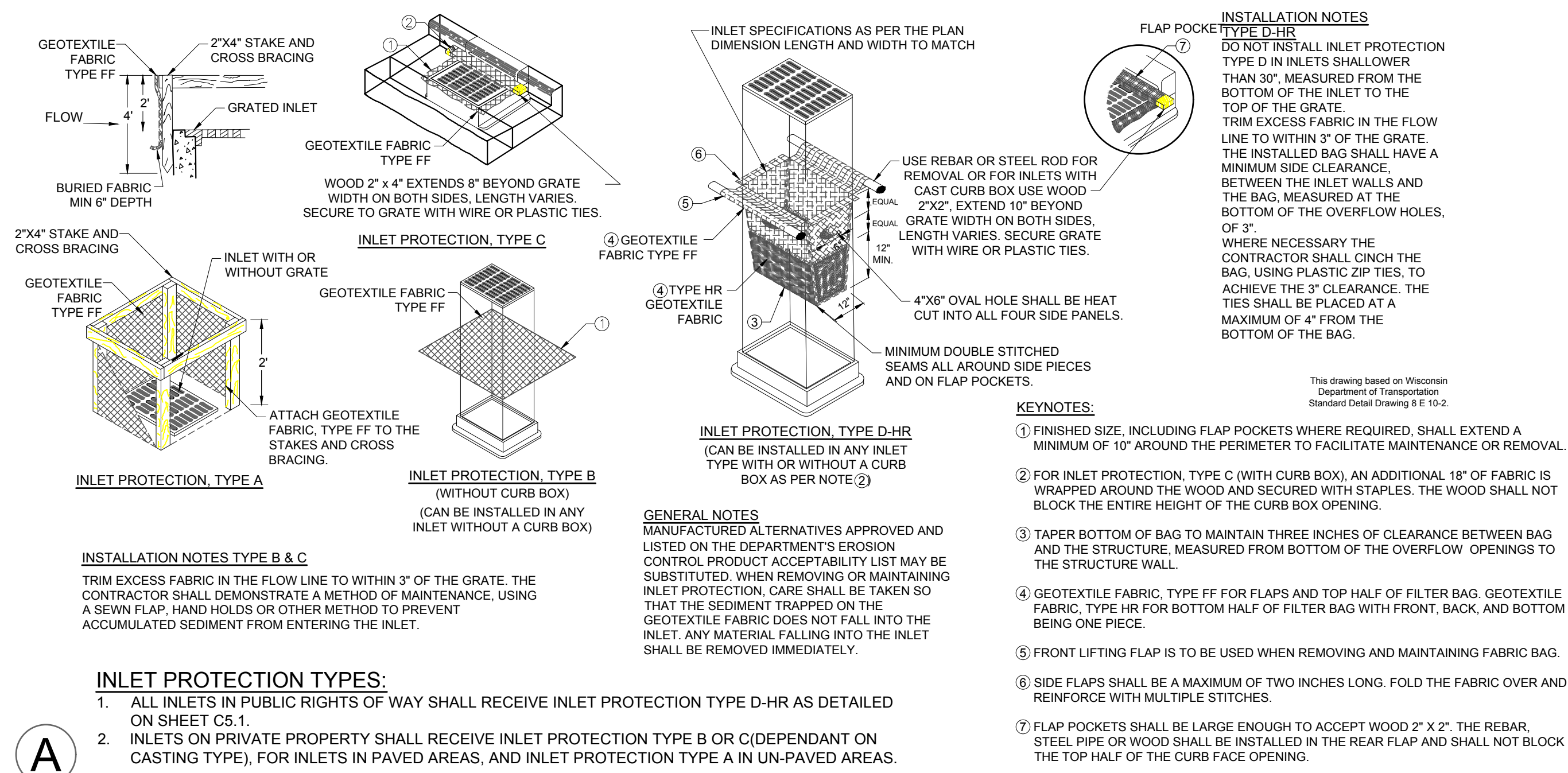


BUILDING ADDITION FOR:
HAEN MEATS PACKING ADDITION
KAUKAUNA, WISCONSIN

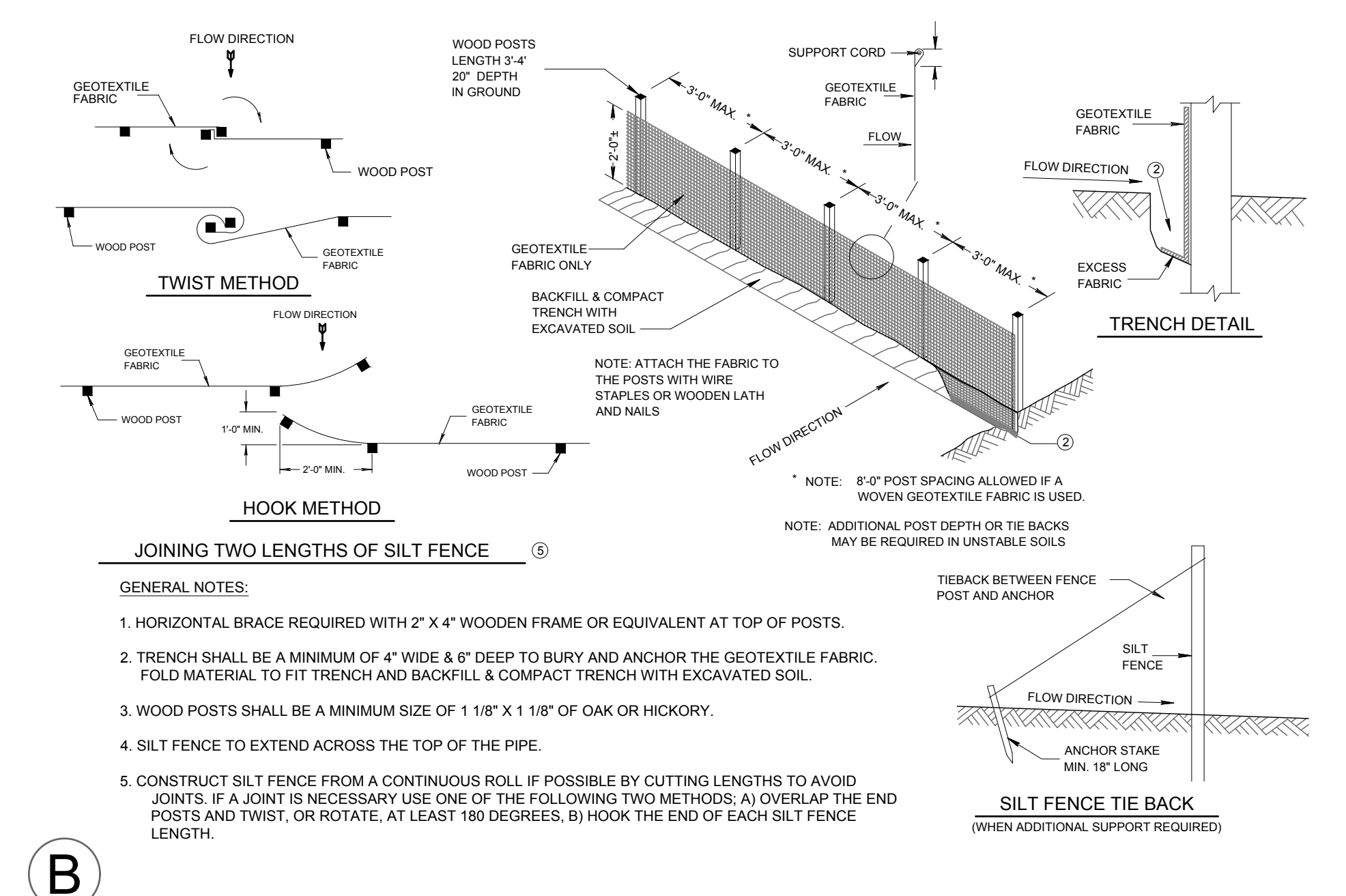
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job:
d. by: RPH / SAH
rev.:

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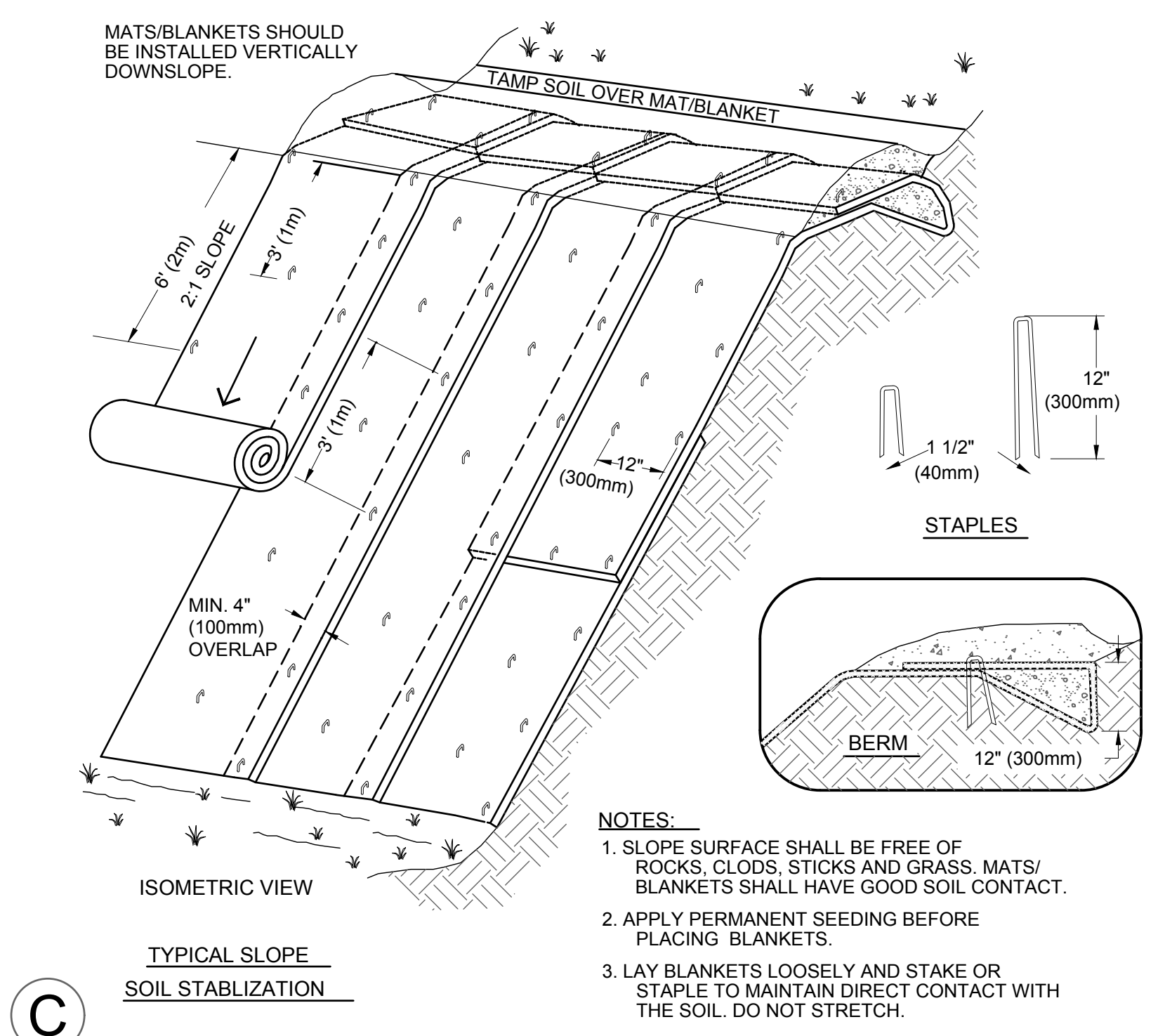
EROSION CONTROL DETAILS



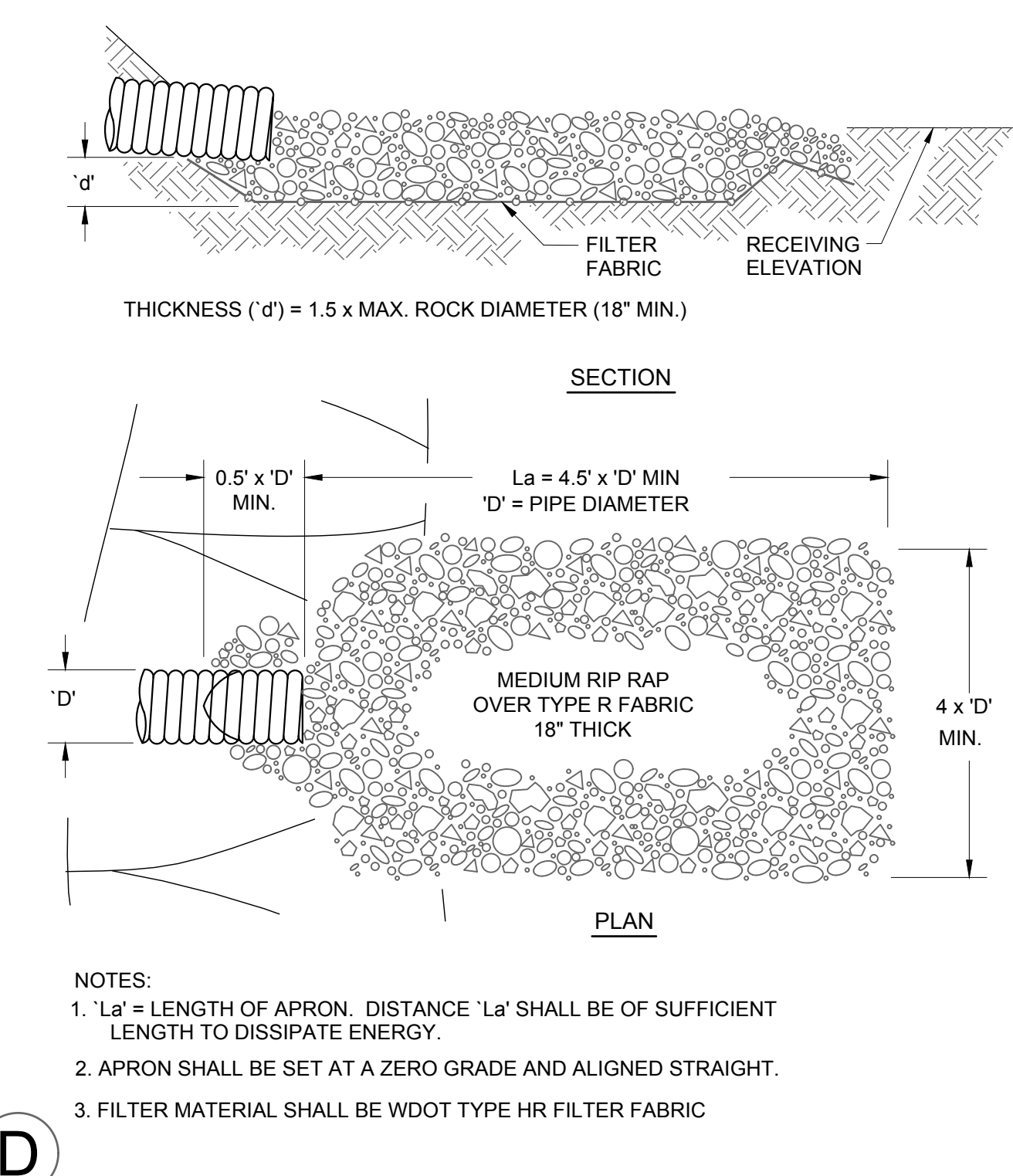
A
INLET PROTECTION



B
SILT FENCE



C
EROSION CONTROL MAT FOR SLOPE INSTALLATION



D
ENERGY DISSIPATOR

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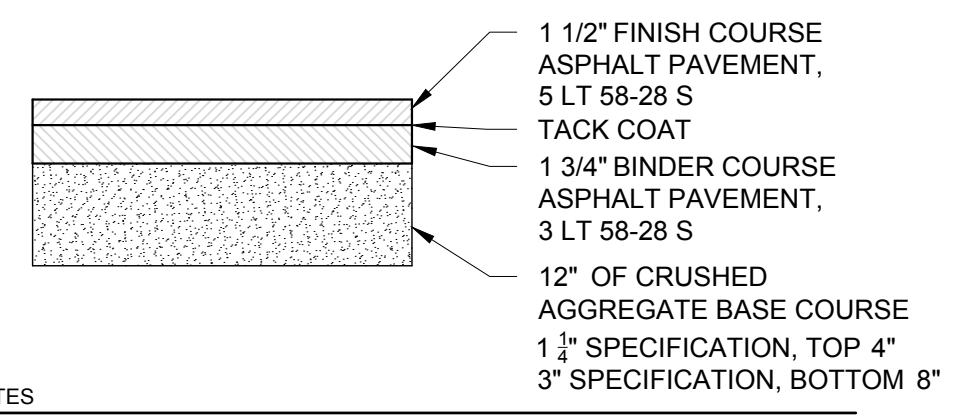
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BUILDING ADDITION FOR:
HAEN MEATS PACKING ADDITION
KAUKAUNA, WISCONSIN

date:	05/15/2026
job:
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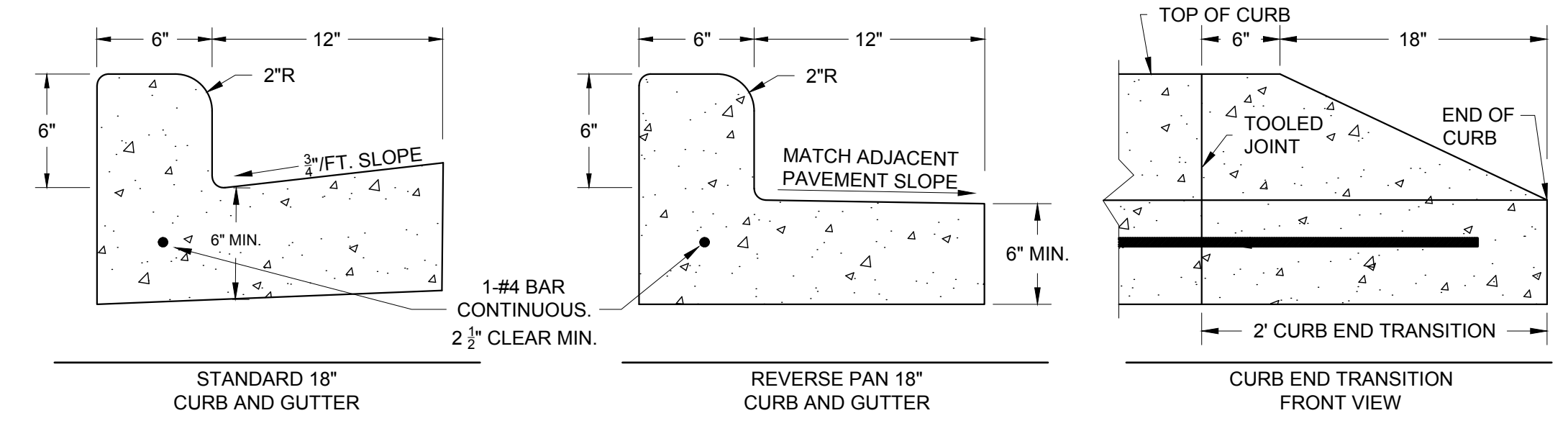
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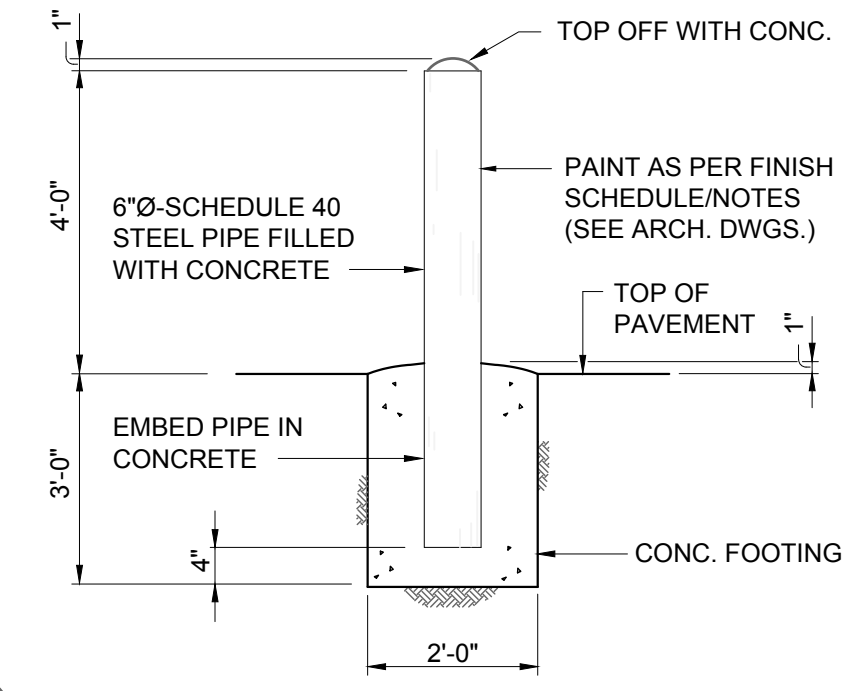
A STANDARD DUTY ASPHALT PAVEMENT

NOTES:
1. ASPHALT MIX SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATIONS.

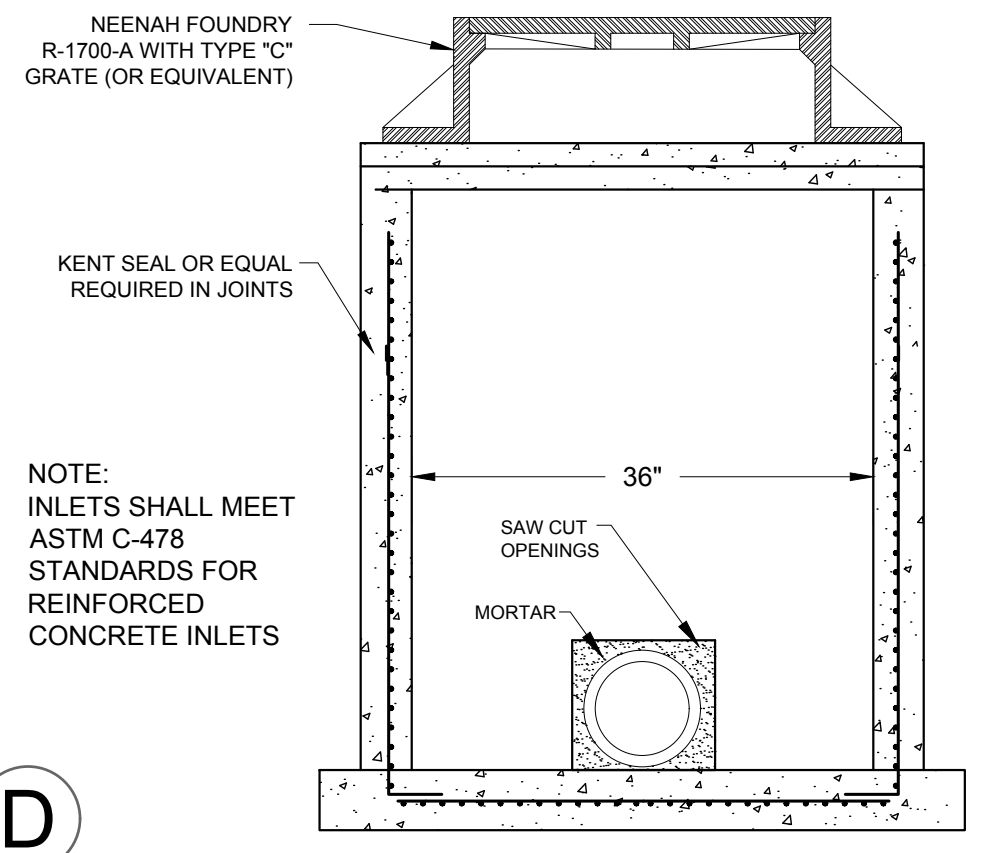


B 18" CONCRETE CURB AND GUTTER

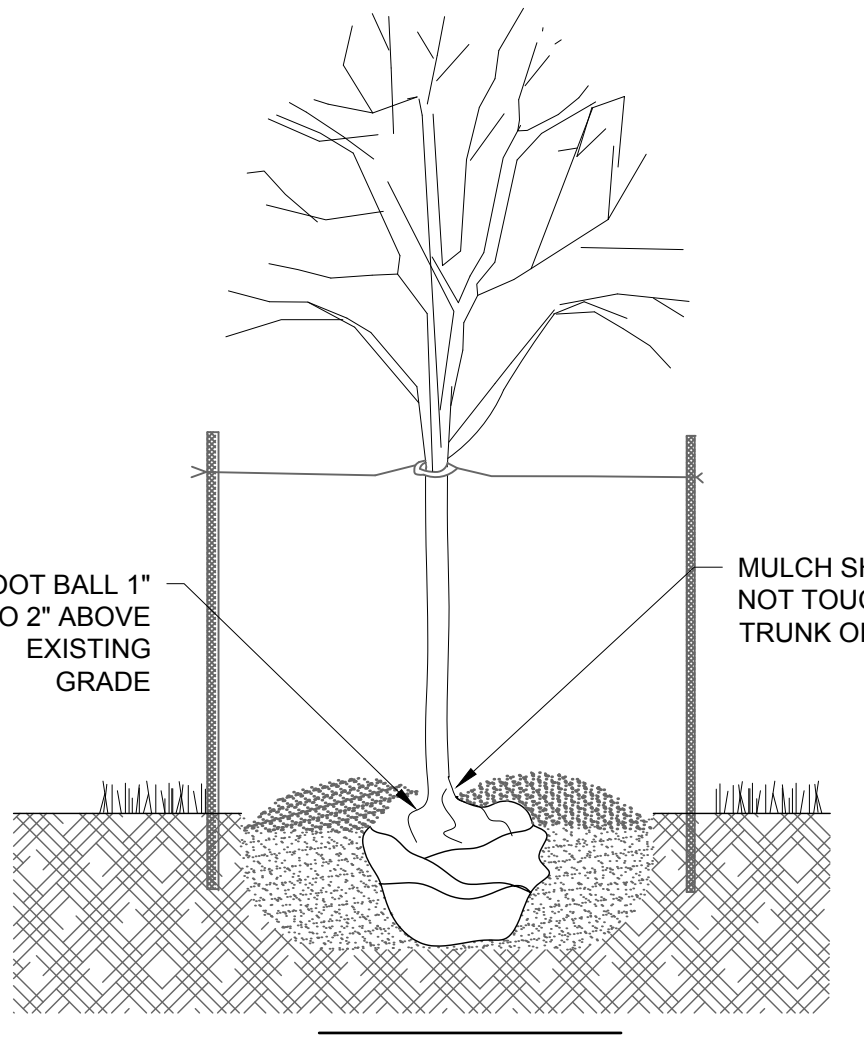
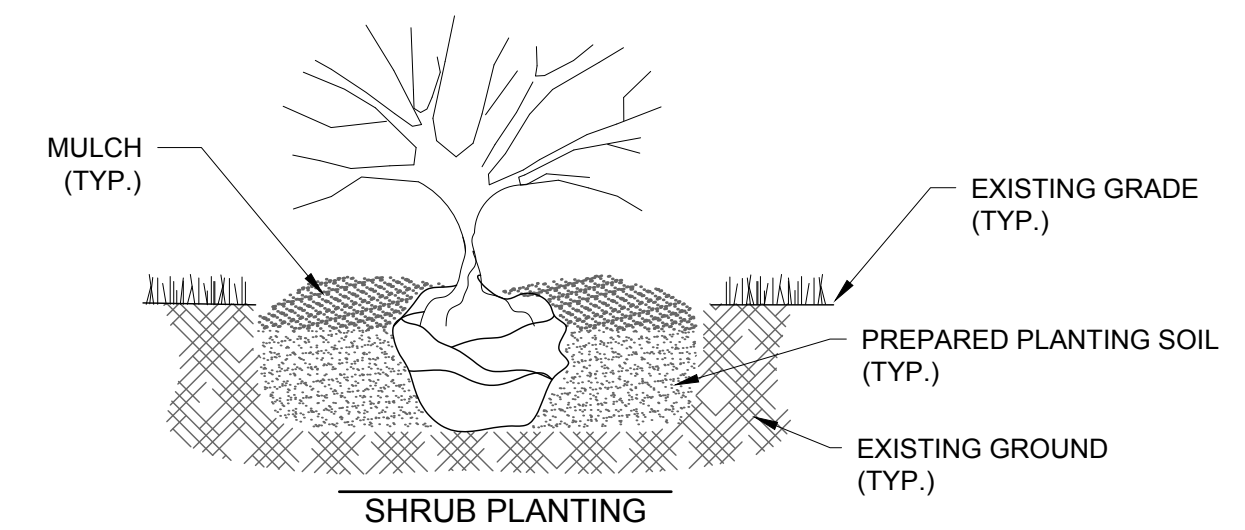
NOTES:
1. THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE.
2. LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
3. CURB SHALL BE PLACED ON A MINIMUM OF 6" OF COMPACTED DENSE GRADED BASE.



C PIPE BOLLARD - 6"



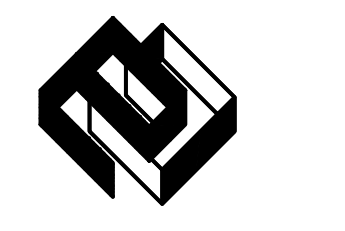
D STORM SEWER CATCH BASIN (36" DIA.)



E PLANTING DETAIL

- PLANTING NOTES:**
1. PLANTING HOLE SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL, AND EQUAL TO THE DEPTH OF THE ROOT BALL.
 2. EXCAVATED SOIL FROM PLANTING HOLE SHALL BE MIXED WITH 1 PART POTTING SOIL TO 2 PARTS EXCAVATED SOIL.
 3. PLANT SO THAT THE ROOT COLLAR WILL BE 1" TO 2" ABOVE EXISTING GRADE.
 4. IF BALLED AND BURLAPED, PLACE PLANT IN HOLE, CUT THE BURLAP TWINE, AND PEEL BACK THE TOP TWO THIRDS OF BURLAP. IF POTTED REMOVE POT, AND PLACE PLANT INTO HOLE. BACKFILL HOLE WITH PREPARED SOIL, AND MOUND SOIL 2" TO 3" HIGH IN A RING AT THE PERIMETER OF THE EXCAVATED HOLE. WATER AND SMOOTH RING PRIOR TO MULCHING.
 5. MULCH WITH 3" OF SHREDDED HARDWOOD MULCH OR LANDSCAPE STONE (RIVER ROCK, NOT CRUSHED STONE).
 6. IF STAKING IS REQUIRED FOR TREES TWO STAKES SHALL BE USED ONE ON THE PREVAILING WIND SIDE OF THE TREE, AND THE OTHER STAKE ON THE OPPOSITE SIDE. STAKES SHALL BE FASTENED TO THE TREE USING RUBBER TUBING, OR NYLON STRAPPING.

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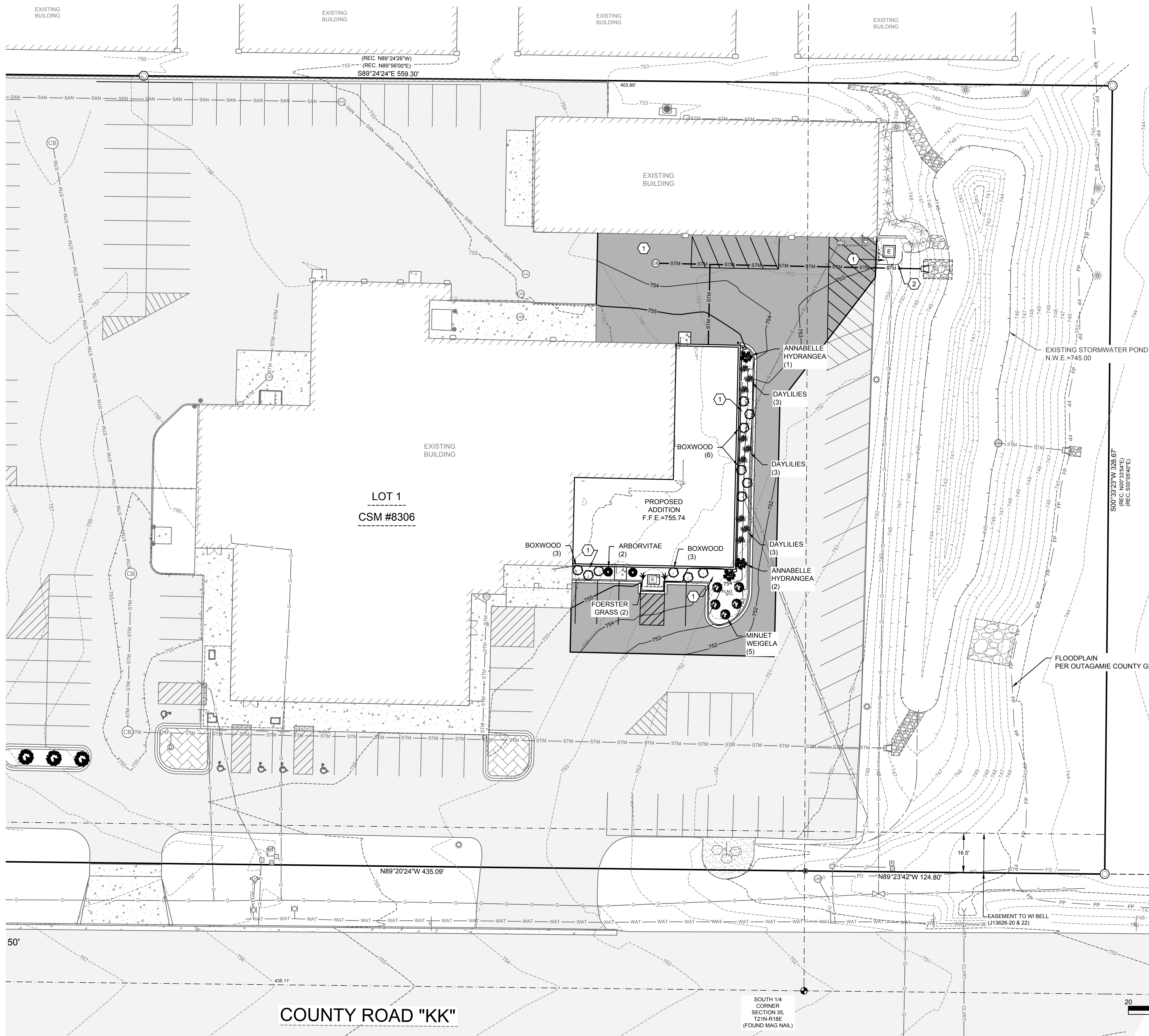
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d. by: RPH / SAH
rev.: ...

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LANDSCAPE PLAN



SHEET KEY NOTES:

- ① 1½" DIAMETER RIVER ROCK, 3" THICK, WITH WEED BARRIER FABRIC

PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
●	ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	2	4"
○	BOXWOOD	BUXUS	12	12"
⊙	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	3	12"
⊙	MINUET WEIGELA	WEIGELA FLORIDA 'MINUET'	5	12"
⊙	DAYLILIES	HEMEROCALLIS	9	1 GAL.
⬇	FOERSTER GRASS	CALAMAGROSTIS X ACUTIFLORA	2	12"

REFER TO PLANTING DETAIL E ON SHEET C-6.0

LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH WdOt No. 40 GRASS MIX.

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BUILDING ADDITION FOR:
HAEN MEATS PACKING ADDITION
 KAUKAUNA, WISCONSIN

date: 05/15/2026
 job:
 d. by: RPH / SAH
 rev.:

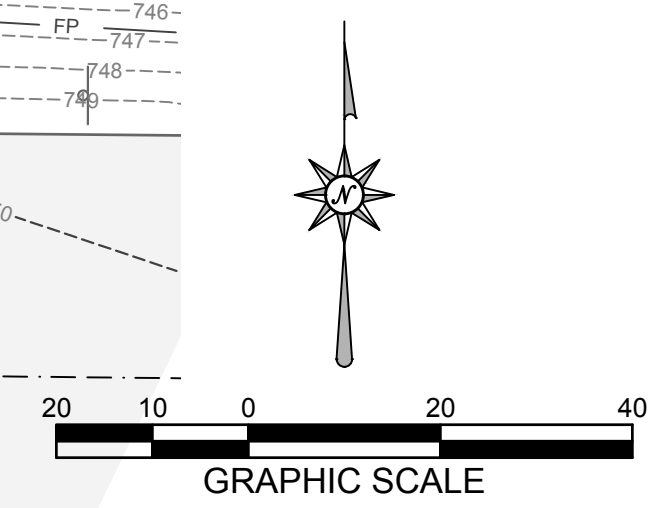
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R:\Jobs\1865-10-26 Haen Meats 2026 Addition\DRAWINGS\1865-10-26 Eng.dwg

10/4/2021 8:33:23 AM

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COUNTY ROAD "KK"

SOUTH 1/4 CORNER SECTION 35, T21N-R18E (FOUND MAG NAIL)



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: June 16, 2026
Re: Preliminary Plat Review – High Pointe Meadows

Tom Dercks, petitioner, has submitted a preliminary plat on behalf of Verbeten Development Inc., property owner, for the development of the High Pointe Meadows Subdivision. This development would be located to the west of the Verbeten Subdivision and Inside the Park Place. This new development is planned to be completed in two phases, and it would create 117 new residential lots over a total of about 48 acres. A total of 1.19 miles of street would be added, with one entrance off of DeBruin Road to the west and two entrances in the south off of Springcrest Drive and Cilantro Lane. The smallest lot size would be 10,012, and the largest lot size would be 69,297. Utility and drainage easements will be added to the final plat.

Staff Recommendation:

Staff is recommending approval of the High Pointe Meadows preliminary plat to the Common Council with the following conditions:

- That the floodplain map is amended in compliance with Municipal Code.



APPLICATION: PLAT REVIEW FORM

This application is required if you are seeking to create a plat. A plat is a map of a subdivision complete with all certificates and engineering data. Information on platting regulations can be found in Section 18 of the Municipal Code.

Petitioner Information:

Name: Tom Dercks

Mailing Address: W857 CTH ZZ Kaukauna, WI 54130

Phone Number: [REDACTED]

Email:

Property Owner Information (If Not Petitioner):

Name: Verbeten Development Inc

Mailing Address: N214 DeBruin Rd., Kaukauna, WI 54130

Phone Number: [REDACTED]

Email: [REDACTED]

Plat Information:

Site Address/Location: DeBruin Road north of County Road KK

Total Number of Acres of Plat Area: 47.6472 acres

Total Number of Lots Created: ~~119~~ 117

Smallest Lot Size: 10,012 sf

Largest Lot Size: 69,297 sf

Miles of Street to be Added: 1.19 miles

*Size of Park Land to be Donated:

Current Zoning: AG

Current Uses: vacant/farm

Proposed Zoning: R1

Proposed Uses: Residential Subdivision

*If no park land is to be dedicated, a park development fee will be applied.

Describe the Proposed Project in Detail:

Development of a 119 lot residential subdivision. Development is to be completed in 2 phases; 1st phase consists of 77 lot with 2 Outlots and 4,100 LF of street. 2nd phase consists of 39 lots and 2,188 LF of street.

Preliminary Plat or Final Plat?: Preliminary

Additional Requirements: For a Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. For a Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. Please include proposed addresses of any new lots created. Additional information may also be requested as may be appropriate per the proposal being made.

Subdivision Fee Schedule:

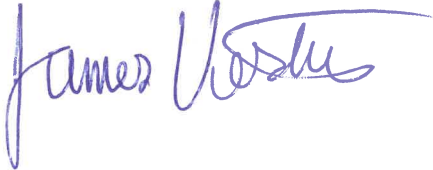
- Subdivision Review (5+ Lots): \$200.00
- Variance to Subdivision Ordinance: \$50.00
- Planned Unit Subdivision Ordinance: \$200.00
- Payment in Lieu of Dedication: \$250.00 per residential lot created by the subdivision

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Plat reviews often require action by multiple governmental bodies. Between multiple meetings and sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner: 

Signature of Owner (If Not Petitioner):



Date Submitted to the City of Kaukauna:

Please submit by email to planning@kaukauna.gov or by mail to:
City of Kaukauna
Attn: Planning and Community Development Department
144 W Second Street
Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 3/30/2026

Payment Received: 3/30/2026

Payment Receipt #:

Plat Reviewed:

Plan Commission Approval:

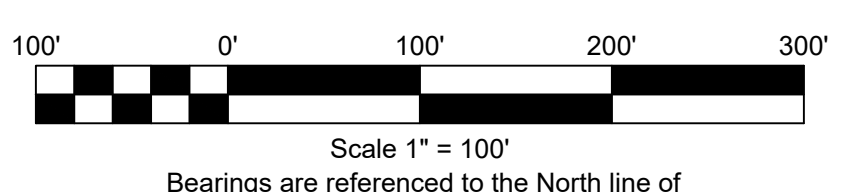
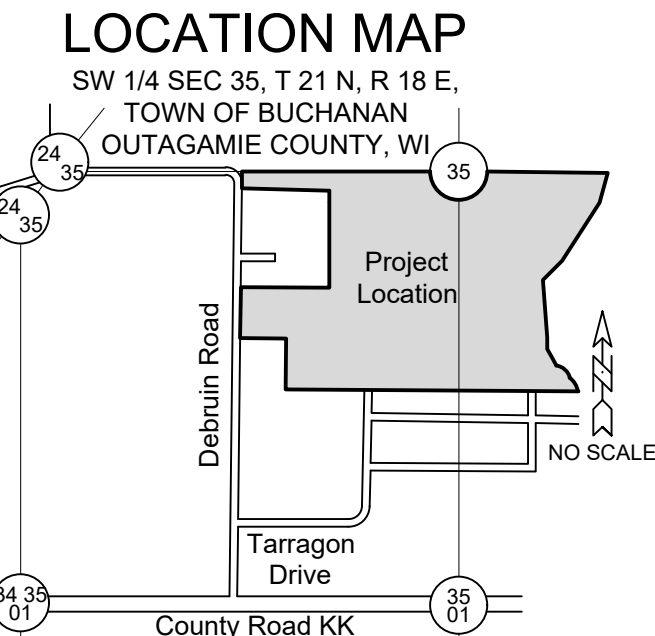
Legislative Committee Approval:

Common Council Approval:

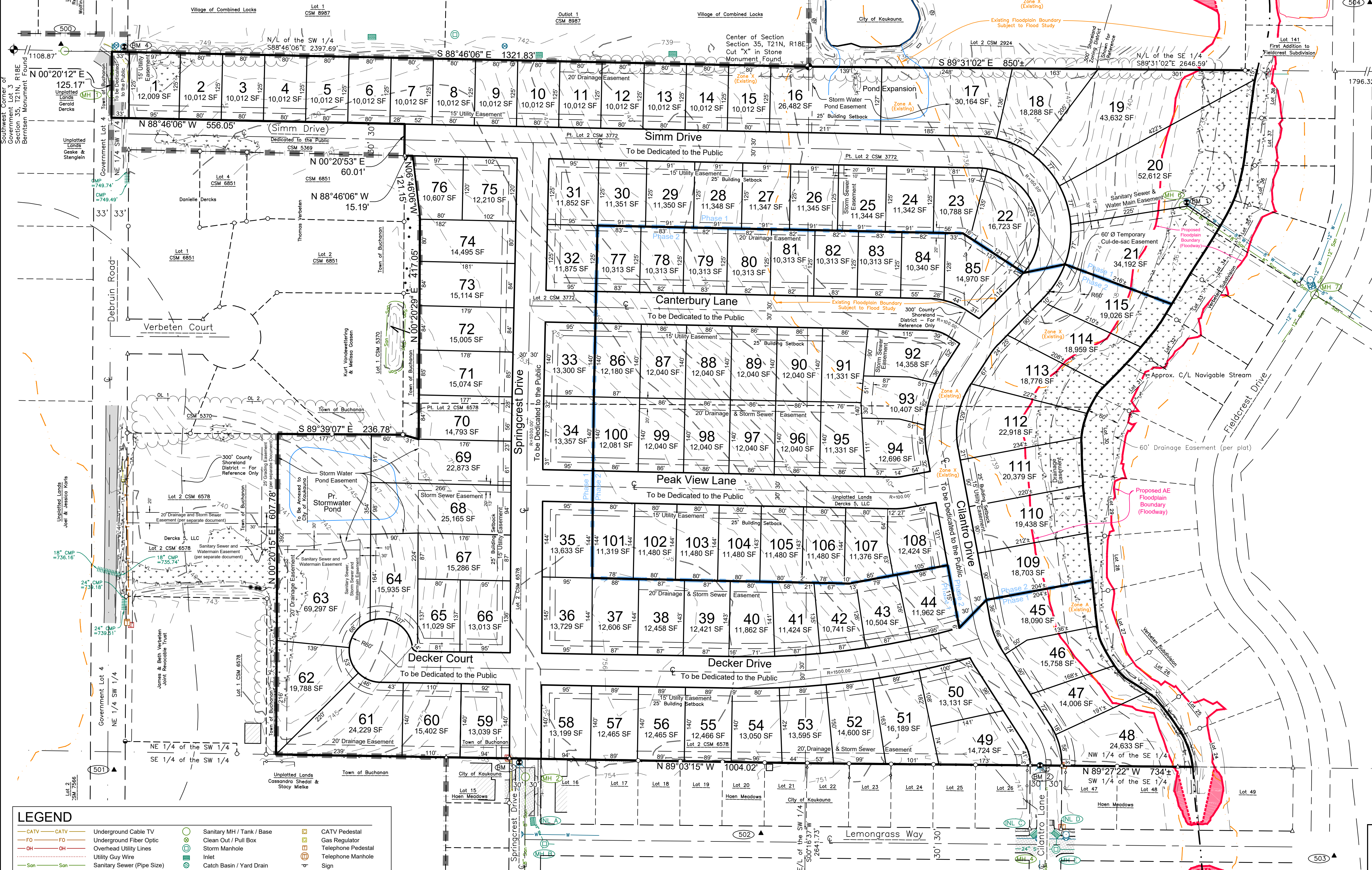
Signature of Planning & Community Dev. Staff:

Preliminary Plat of High Pointe Meadows

Being Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); Being Part of the Northeast 1/4 of the Southwest 1/4 and Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 21 North, Range 18 East, City of Kaukauna (Currently Still part of Town of Buchanan - Annexation approved and awaiting filing by the City), Outagamie County, Wisconsin.



Bearings are referenced to the North line of the Southwest 1/4, Section 35, T21N, R18E, assumed to bear N88°46'06"W, base on the Outagamie County Coordinate System.



BENCHMARKS (Datum NAVD88)

BM 0	NGS Benchmark	PID-DE7729, Designation - 4X74	Elev 791.73'
BM 1	Fire Hydrant, Tag Bolt	Northeast Corner of Property	Elev 736.90'
BM 2	Fire Hydrant, Tag Bolt	±150' N of Cilantro Ln/Lemongrass Way Int.	Elev 747.84'
BM 3	Fire Hydrant, Tag Bolt	±150' N of Springcrest Dr/Lemongrass Way Int.	Elev 755.22'
BM 4	Fire Hydrant, Tag Bolt	Corner of Debruin Rd/Northeast Corner of Property	Elev 753.95'

Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	749.34	745.04	12"	PVC	SE
MH B	748.60	743.51	12"	PVC	NW
		743.49	12"	PVC	SW
		743.47	18"	PVC	E
INL C	745.04	741.50	12"	PVC	E
INL D	745.04	741.24	12"	PVC	W
		741.41	12"	PVC	S
MH E	745.44	741.25	12"	PVC	N
		739.64	12"	PVC	E
		739.50	24"	RCP	W
		739.54	30"	RCP	S

Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	751.40	725.54	8"	PVC	N
		725.54	8"	PVC	S
MH 2	751.85	740.46	8"	PVC	S
MH 3	747.20	732.19	8"	PVC	N
		732.19	8"	PVC	S
		732.19	8"	PVC	E
MH 4	745.71	727.09	8"	PVC	N
		727.09	8"	PVC	S
		727.09	8"	PVC	E
		727.09	8"	PVC	W
		733.86	8"	PVC	W
MH 5	746.12	728.30	8"	PVC	N
		728.30	8"	PVC	S
		728.30	8"	PVC	W
MH 6	735.44	717.93	8"	PVC	SE
		716.67	8"	PVC	NW
		716.67	12"	PVC	SW
		716.67	12"	PVC	NE

Horizontal Control
PN9254 - (Town of Buchanan)
2026-01-19

Davel Engineering and Environmental
Horizontal Control (per Outagamie County Coordinate System)

Point Number	Northing	Easting	Description
500	558166.00	858253.75	CPT MAG
501	556789.64	858354.40	CPT MAG
502	556669.44	859581.30	CPT MAG
503	556626.74	860668.25	CPT MAG
504	558245.05	860736.07	CPT MAG

LEGEND

	CATV		Sanitary MH / Tank / Base		CATV Pedestal
	Undergound Cable TV		Clean Out / Pull Box		Gas Regulator
	Undergound Fiber Optic		Storm Manhole		Telephone Pedestal
	Overhead Utility Lines		Inlet		Telephone Manhole
	Utility Guy Wire		Catch Basin / Yard Drain		Post / Guard Post
	Sanitary Sewer (Pipe Size)		Water MH / Well		Deciduous Tree
	Storm Sewer (Pipe Size)		Curb Stop		Coniferous Tree
	Undergound Electric		Hydrant		Bush / Hedge
	Undergound Gas Line		Utility Valve		Benchmark
	Undergound Telephone		Utility Meter		Asphalt Pavement
	Water Main (Pipe Size)		Fence - Steel		Concrete Pavement
	Fence - Wood		Fence - Barbed Wire		Gravel
	Treeline		Ex Spot Elevation		Delineated Wetlands
	Index Contour - Existing		Delineated Wetlands		Intermediate Contour - Existing

SUPPLEMENTARY DATA
Total Area = 2,079,645 SF 47.7421 acres
R/W Area = 379,857 SF 8.7157 acres
Net Area = 1,699,988 SF 39.0264 acres
Number of Lots = 115
Average lot size = 14,593 SF
Typical lot dimension = 80'x 125'
Lineal feet of street = 6,436 LF

Existing zoning = General Agriculture
Proposed zoning = RSF
Approving Authorities
City of Kaukauna
Objecting Authorities
Department of Administration
Outagamie County

Phase 1:
Total Area = 1,445,373 SF 33.1812 acres
R/W Area = 258,436 SF 5.9329 acres
Net Area = 1,186,937 SF 27.2483 acres
Number of Lots = 76
Lineal feet of street = 4,287 LF

Phase 2:
Total Area = 634,271 SF 14.5609 acres
R/W Area = 125,351 SF 2.8777 acres
Net Area = 508,920 SF 11.6832 acres
Number of Lots = 39
Lineal feet of street = 2,149 LF

SURVEYOR'S CERTIFICATE

I, Scott R. Andersen, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have compiled with the preliminary plat requirements for the City of Kaukauna.

Scott R. Andersen, P.L.S. No. S-3169 Date

NOTES

- Utility and Drainage Easements will be shown on Final Plat
- ALL of the Platted Lands to be Annexed to the City of Kaukauna - Petition Filed with DOA and City

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
P#: 920-991-1966
www.davelpro.com

PRELIMINARY PLAT

High Pointe Meadows
City of Kaukauna, Outagamie County, WI
For: Dercks 5, LLC

Date: 06/10/2026
Filename: 9254Plat.dwg
Author: SRA
Last Saved by: scott
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