

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
Municipal Services Building  
144 W. Second Street, Kaukauna



Thursday, January 06, 2022 at 4:00 PM

## AGENDA

**HYBRID MEETING (May attend in-person or via Zoom)**  
**In-Person in Common Council Chambers, City of Kaukauna**  
**Remote Attendance option available via Zoom**

1. Roll Call.
2. Approval of Minutes.
  - a. Approval of December 2nd, 2021 Meeting Minutes
3. New Business.
  - a. Ayres Alley Activation Report
  - b. 301 W Seventh Street - Club Ritz - Rezoning Request
  - c. Park Donation - Little Free Library
  - d. Certified Survey Map - Inside the Park Place - Lot 11 and 12
  - e. Utility Easement - Inside the Park Place Subdivision
  - f. Wetland Fill and Mitigation Cost Share - Discussion
  - g. Site Plan Review - Haen Meat Expansion
4. Adjourn.

## NOTICES

Teleconference Access Information on Following Page

**IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.**

**WE ARE FOLLOWING CDC GUIDELINES REGARDING MASK-WEARING IN CITY FACILITIES.**

## **MEETING ACCESS INFORMATION**

You can access this meeting by one of three methods: from your telephone, computer, or by an app. Instructions are below.

### **To access the meeting by telephone:**

1. Dial **1-312-626-6799**
2. When prompted, enter **Meeting ID** 651 261 7664 followed by #
3. When prompted, enter **Password** **54130** followed by #

### **To access the meeting by computer:**

1. Go to **<http://www.zoom.us>**
2. Click the **blue link** in the upper right hand side that says **Join a Meeting**
3. Enter **Meeting ID** 651 261 7664
4. Enter **Password** **54130**
5. Allow Zoom to access your microphone or camera if you wish to speak during the meeting

### **To access the meeting by smartphone or tablet:**

1. **Download** the **free Zoom app** to your device
2. Click the **blue button** that says **Join a Meeting**
3. Enter **Meeting ID** 651 261 7664
4. Enter **Password** **54130**
5. Allow the app to access your microphone or camera if you wish to speak during the meeting

**\*Members of the public will be muted unless there is an agenda item that allows for public comment or if a motion is made to open the floor to public comment.\***



## PLAN COMMISSION

City of Kaukauna  
 Council Chambers  
 Municipal Services Building  
 144 W. Second Street, Kaukauna

Thursday, December 2<sup>nd</sup>, 2021 at 4:15 PM

### MINUTES

**HYBRID MEETING (May attend in-person or via Zoom)**  
**In-person in Common Council Chambers, City of Kaukauna**  
**Remote Attendance option available via Zoom**

#### 1. Roll Call.

The Meeting was called to order by Mayor Penterman at 4:15 PM.

Members Present: Mayor Penterman, Commissioner Feller, Commissioner Avanzi, Alderperson Moore (District 2), Alderperson Thiele (District 4), PCDD Stephenson and DPW Sundelius.

Members Absent: Commissioner Schoenike

A motion was made by Alderperson Thiele to excuse the absent member. The motion was seconded by Alderperson Moore. The motion carried.

#### 2. Approval of Minutes.

##### a. Approve Minutes of November 18, 2021 Meeting

A motion was made by Commissioner Feller to approve the minutes of November 18<sup>th</sup>, 2021 meeting. The motion was seconded by Alderperson Moore. The motion carried.

#### 3. Old Business.

##### a. Final Plat - Hurkman Heights 4

PCDD Stephenson presented the final plat for Hurkman Heights and the Ben's Way extension, required to allow proper traffic control in the new subdivision.

The Commission entered into a conversation with the following being discussed:

- Number of lots within the subdivision.
- The need for traffic circulation and a secondary exit.
- The distance to the nearest intersection along Ben's Way.

- The lack of a preliminary plat.
- Right of Way versus mapped street.

Jim Sehloff (Davel Engineer: representing Hurkman Heights 4): informed the Commission that he believed a preliminary plat had been presented and no issues were found.

DPW Sundelius made a motion to table the Final Plat for Hurkman Heights 4. In order to further investigate the traffic issues presented with the plat and to seek a legal opinion on the status of the Preliminary Plat for Hurkman Heights 4. The motion was seconded by Commissioner Avanzi. The motion carried.

**b. Official Map Amendment - Ben's Way Extension**

DPW Sundelius made a motion to table the Official Map Amendment of Ben's Way in order to further investigate Right of Way acquisition of Ben's Way. The motion was seconded by Commissioner Avanzi. The motion carried.

**c. Ordinance Update - Section 17.22 Commercial Highway District**

PCDD Stephenson gave a brief background on the need to update the Commercial Highway District.

Aldersperson Moore made a motion to recommend approval of the Ordinance Update for Section 17.22 Commercial Highway District, schedule the public hearing, and recommend the same to the Common Council. The motion was seconded by Commissioner Feller. The motion carried.

**4. New Business.**

**a. Lot Consolidation - 10 Ash Grove and Parcel #323113201**

PCDD Stephenson gave a background on the Lot Consolidation.

The commission entered into a conversation with the following being discussed:

- Ownership of Out Lot 2.
- The need for a utility easement along the newly created parcel.

DPW Sundelius made a motion to approve the Lot Consolidation of 10 Ash Grove and Parcel #323113201 and recommend the same to the Common Council with the following conditions:

1. A 12' utility easement is placed along the property and approved by the Department of Public Works.
2. The ownership of Out Lot 2 is confirmed.

The motion was seconded by Aldersperson Thiele. The motion carried.

**b. Ordinance Update - Chapter 14 Building Code**

PCDD Stephenson presented the ordinance update for Chapter 14.

A motion was made by Commissioner Avanzi to approve the ordinance and recommend the same to the Common Council. The motion was seconded by Commissioner Feller. The motion carried.

*Commissioner Avanzi exited the meeting at 5:01 PM.*

**c. Rezoning - Lots 1-2 and 26-30 of Inside the Park Place**

PCDD Stephenson gave a background on the rezoning from RSF to RTF on Lots 1,2 and 26-30 of Inside the Park Place Subdivision.

The commission entered into a conversation with the following being discussed:

- The value per home.
- The need for housing diversity.
- The need to keep neighborhoods cohesive and new homes to be of similar aesthetic style to adjacent houses.
- The uncertainty's surrounding the park development.

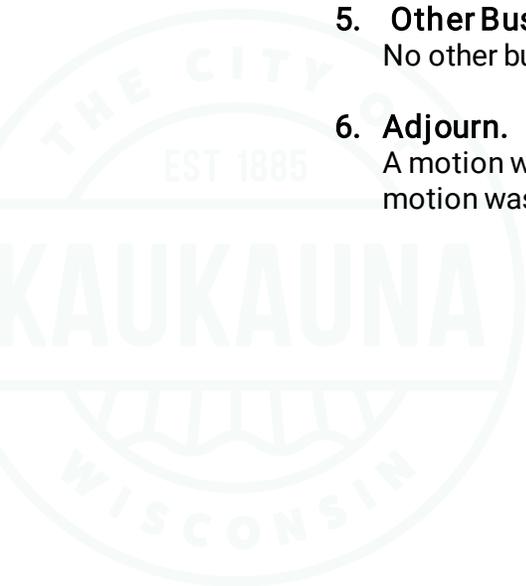
Aldersperson Moore made a motion to approve the rezoning of Lots 1,2 and 26 through 30 of Inside the Park Place from Residential Single Family (RTS) to Residential Two Family (RTF) and recommend the same to the Common Council. The motion was seconded by DPW Sundelius. The motion carried.

**5. Other Business.**

No other business to discuss.

**6. Adjourn.**

A motion was made to adjourn the meeting at 5:10 PM by Aldersperson Thiele. The motion was seconded by Aldersperson Moore. The motion carried.





Ingenuity, Integrity,  
and Intelligence.

November 19, 2021

Joe Stephenson  
Director of Planning and Community Development  
City of Kaukauna  
144 W. Second Street  
Kaukauna, WI 54130

Dear Joe,

I hope you are enjoying your new position. As you know, right before you started with the City of Kaukauna, Ayres conducted a half day workshop related to activating the two alleys in downtown. This workshop was funded through the East Central Wisconsin Regional Planning Commission.

The Ayres staff came to Kaukauna on the morning of October 14<sup>th</sup>. We toured the two downtown alleys with staff, discussed what makes a successful public space, and then spent some time drawing up concepts. We then presented the concepts to staff. The idea was that this exercise could kick-off additional discussions about activating the alleys.

Attached you will find a report that:

- Provides site photos from our tour,
- Lists things that need to be considered as designs evolve,
- Shows conceptual site plans and design ideas,
- Contains “before and after” images, and
- Provides some thoughts about connecting the alleys to the rest of downtown.

We hope this document is a good resource for the City of Kaukauna. Please contact me at 608-441-3564 or [ArnoldA@Ayresassociates.com](mailto:ArnoldA@Ayresassociates.com) if you have any questions or need anything else.

Thank you,

Ayres Associates Inc

A handwritten signature in blue ink that reads "Amanda Arnold".

Amanda Arnold, AICP  
Urban Planner

Cc: Kevin Englebert, East Central Wisconsin Regional Planning Commission





# KAUKAUNA ALLEYWAY ACTIVATION BLUEPRINT

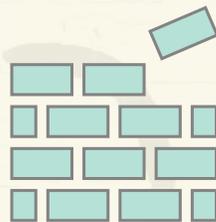


# KAUKAUNA

WHAT'S SHAKING & SHAPING YOUR ALLEYS?



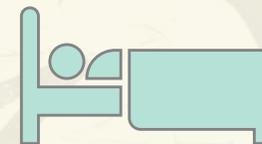
CLEAN SLATE



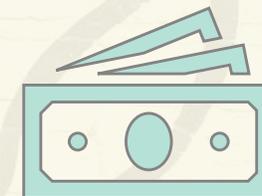
INTRIGUING  
NEIGHBORS



LIVE MUSIC  
MOMENTUM



UPPER FLOOR  
HOUSING OPPS



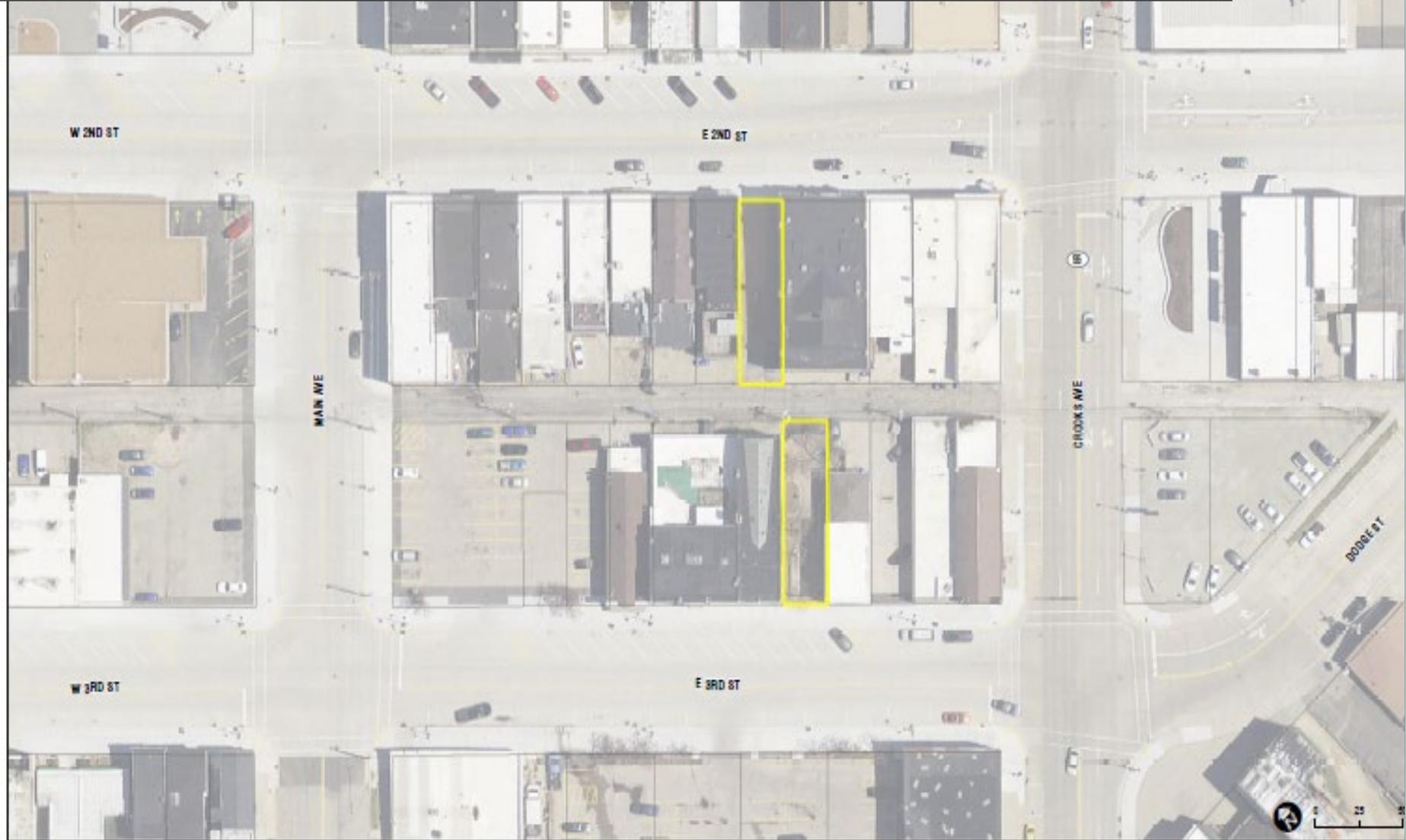
FUNDING  
PARTNERSHIPS

# ALLEY WALKABOUT

## EXPEDITION FOR UNDERSTANDING



# EXISTING CONDITIONS



## The 2<sup>nd</sup> Street “Alley”

- Technically a vacant lot
- Has a mural
- 2nd St. has activity
- No improvements in alley

## The 3<sup>rd</sup> Street Alley

- Was made into a plaza in the 80s
- Trees are overgrown
- Pavement is buckled
- Adjacent uses are not very active

## The vehicular alley

- Slated for reconstruction
- Opportunity to connect the two alleys

# 1<sup>ST</sup> STREET ALLEY



Item 3.a.



# 3<sup>RD</sup> STREET ALLEY

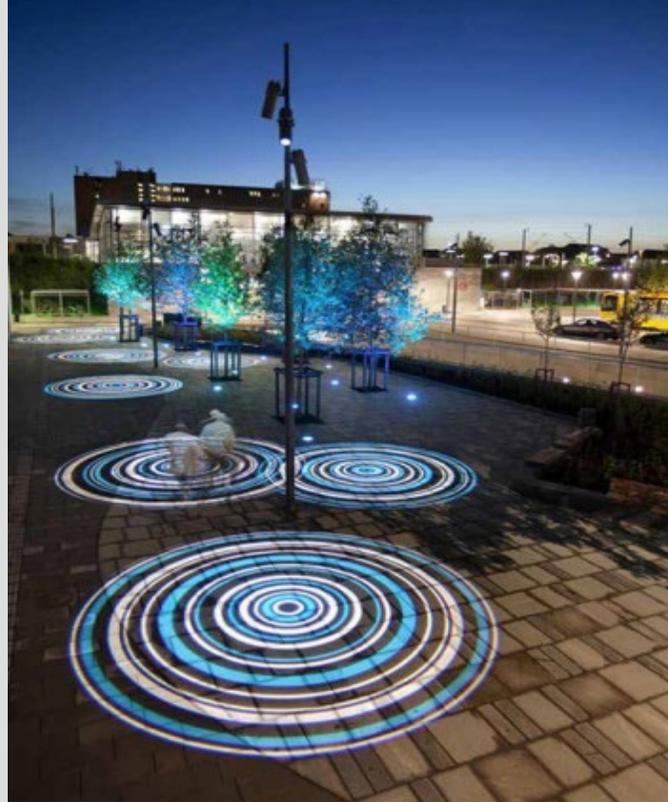
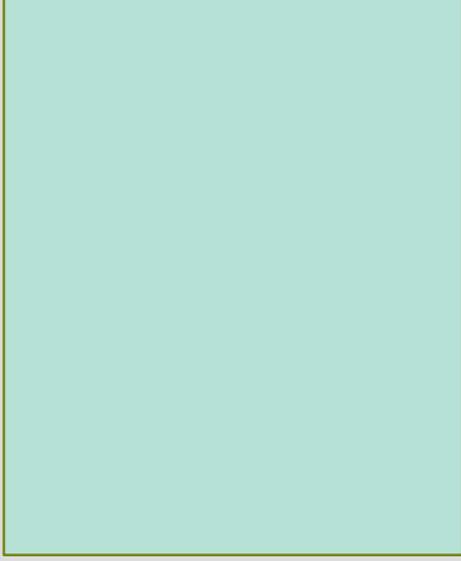


# VEHICULAR ALLEY



# Design Considerations

- Pavement
- Lighting
- Utility connections
- Plantings
- Furniture
- Art
- Plantings
- Trash pick-up
- Security
  
- Programing!!





## Concepts:

- 2<sup>nd</sup> Street alley remains a flexible space
- 3<sup>rd</sup> Street alley would be more formal and contain seating.
- The car alley offers the opportunity to tie the two together....string lights could attract attention.
- Pavement patterns could have a water/river theme
- The Kaukauna logo could be embedded into the pavement to mark the entrances.
- Opportunities exist for roof top dining and an alley stage.

# 2<sup>ND</sup> STREET ALLEY



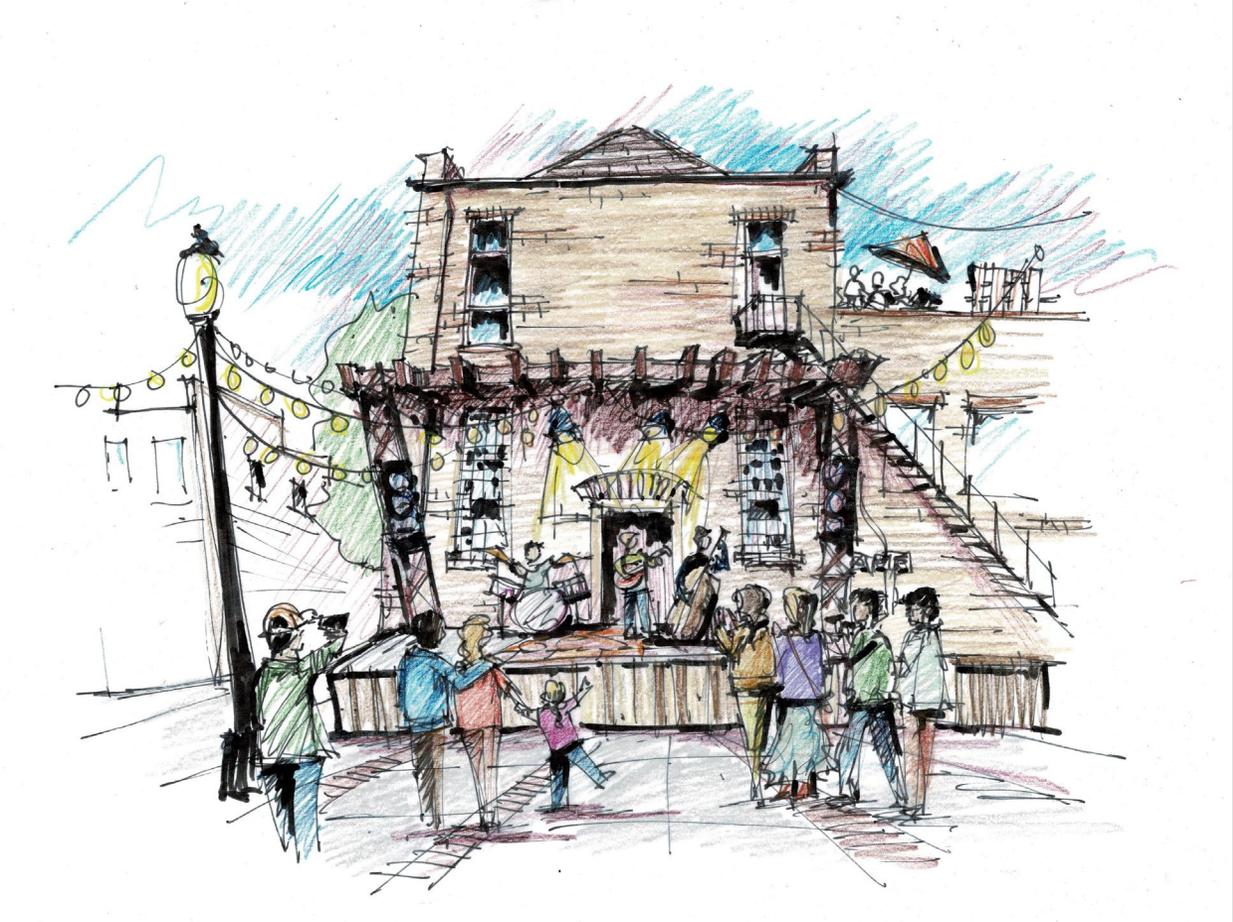
Keep this space more flexible for activities such as concerts or exercise classes. Use building at the end as a focal point, consider a façade easement to make it more attractive and potentially add a stage. Bring the branding and the alley treatment out into the 2<sup>nd</sup> Street sidewalk.

# 3<sup>RD</sup> STREET ALLEY



Use this alley for seating and dining, agreements could be made with local restaurants. For both alleys removable bollards could secure the space.

# VEHICULAR ALLEY



The upcoming reconstruction offers a great opportunity to address drainage, lighting, and pavement treatment. The vehicular alley is key to linking the spaces.

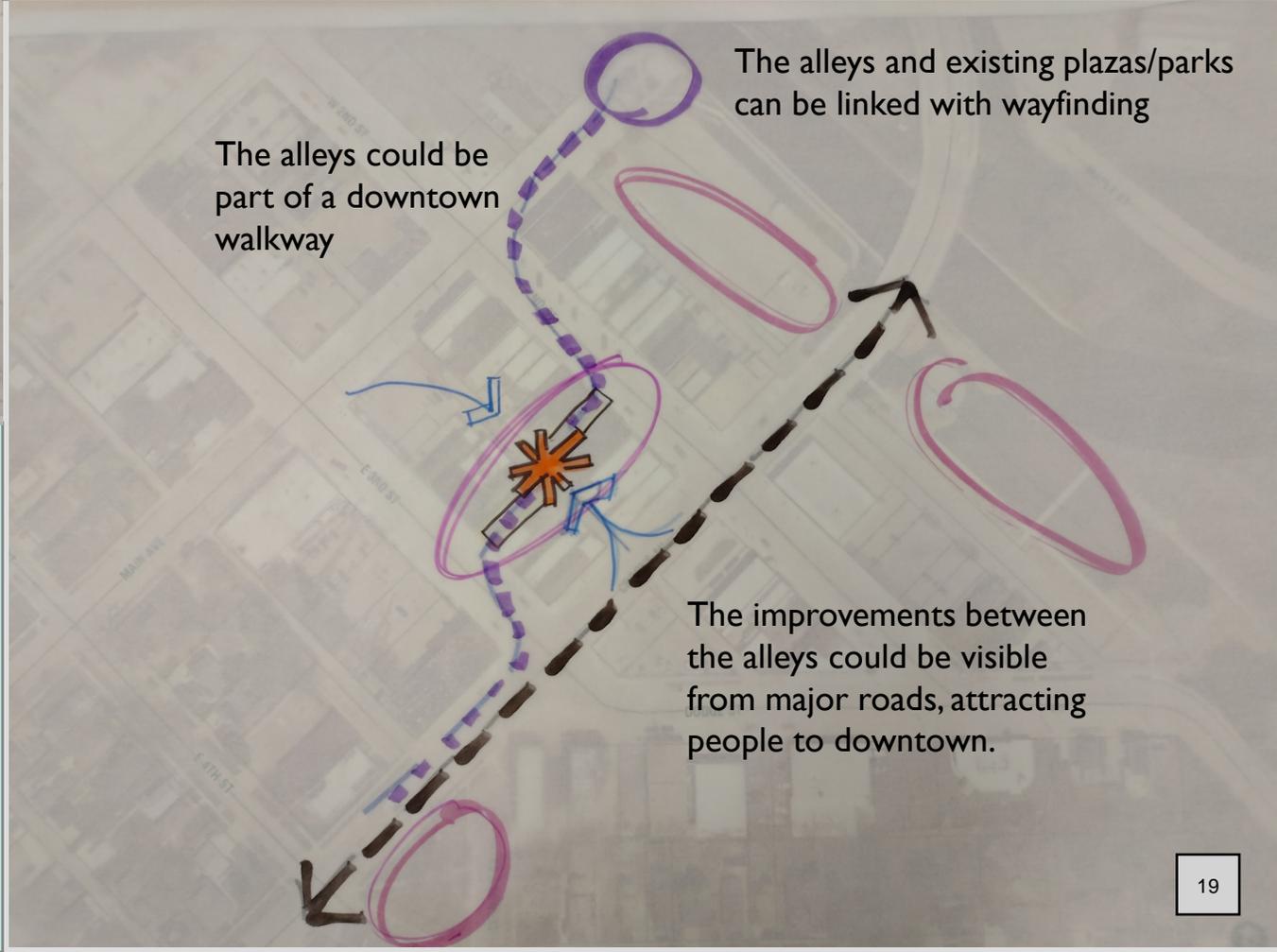


The success of the alley renovations is linked to downtown businesses. Encourage businesses that could use the alleys or draw pedestrian activity.

Make the alleys visible (with the use of lighting and other treatments) as people pass through downtown.

Invest in wayfinding for business and the future alley spaces.

Grant money is currently available through the ECWRPC for businesses filling empty storefronts.





# MEMO

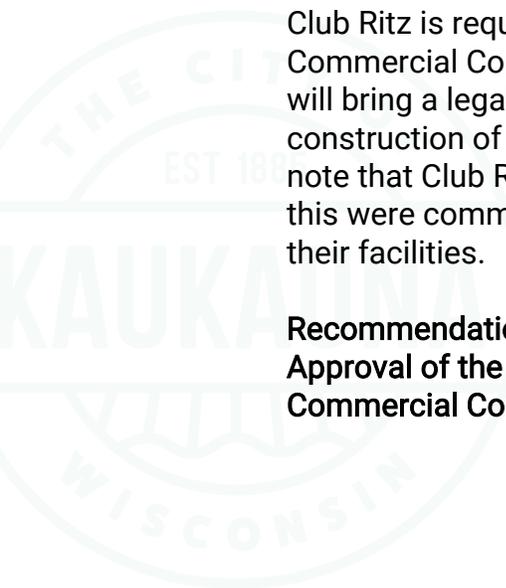
## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
 From: Joe Stephenson  
 Date: 01-06-2022  
 Re: Club Ritz 301 W Seventh Street – Rezone – Residential Single Family to Commercial Core District

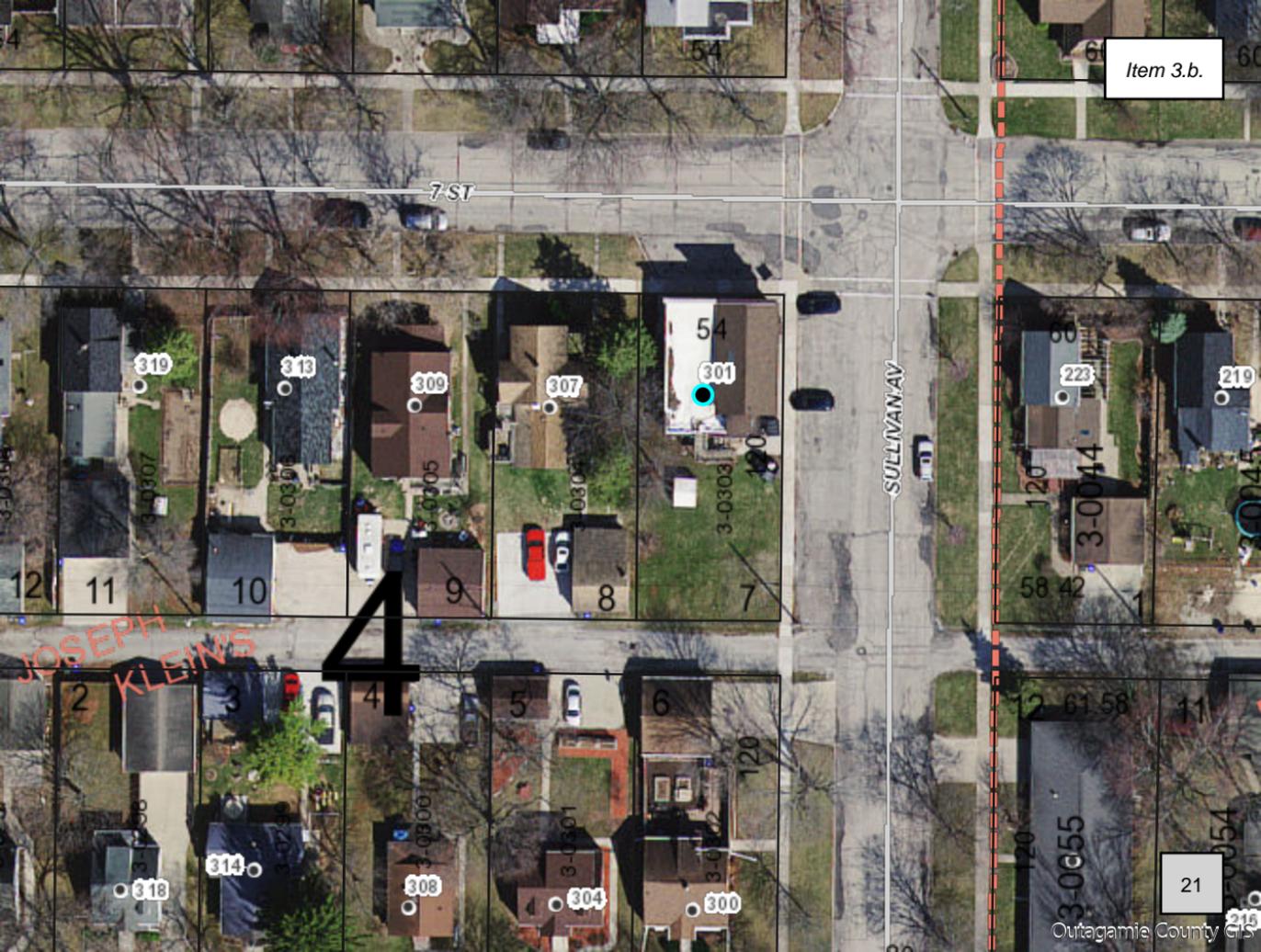
Club Ritz LLC has submitted a request for rezoning of their property located at 301 West Seventh Street. The site is currently zoned Residential Single Family (RSF) and is being used as a tavern. Taverns are not an allowable use within the RSF district, making this property a legal non-conforming use. In addition, the RSF district is more restrictive with density requirements. Due to the density restrictions Club Ritz cannot add bathrooms on to their existing facility.

Club Ritz is requesting to rezone their property from Residential Single Family to Commercial Core District. Staff finds this rezoning to be appropriate. The rezoning will bring a legal non-conforming parcel into compliance and also allow the construction of additional bathrooms for Club Ritz’s patrons. While it is important to note that Club Ritz is surrounded by single family residence, corner bars/stores like this were common in the early 1900s and should not be discouraged from improving their facilities.

**Recommendation:**  
**Approval of the Rezoning of 301 W Seventh Street from Residential Single Family to Commercial Core District and recommend the same to the Common Council.**



Item 3.b.



JOSEPH KLEINS

4



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Joe Stephenson  
Date: 01-06-2022  
Re: Little Free Library

Mary Brennan has submitted a Park Donation Request to put a little free library near the northwest entrance of the pool building, near the memorial bench dedicated to Alex J. Sprangers. The estimated cost of the library is \$500 and shall be consistent with other library boxes in the City.

Recommendation:

Approval of the Little Free Library and direct staff to work with the applicant to find an exact spot for the library.





# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Joe Stephenson  
Date: 01-06-2022  
Re: Inside the Park Place Certified Survey Map and Easement

On behalf of the City of Kaukauna a CSM and Utility Easement for Inside the Park Place is being presented to the Plan Commission. The CSM will reorganize lots 11 and 12 from a horizontal configuration to a vertical configuration. This configuration will orient the lots towards Nikki Lane and provide buildable area for each lot. The current configuration puts all the wetlands in Lot 11, making it unbuildable.

The utility easement being requested will run on the north side of the development just off of Ridgecrest Lane. This 12' wide Utility Easement will run to County Highway 55 and meet up with a 10' x 10' easement for a utility cabinet.

### Recommendation:

Approval of the Certified Survey Map, reorganizing Lots 11 and 12 of Inside the Park Place and recommend the same to the Common Council.

### Recommendation:

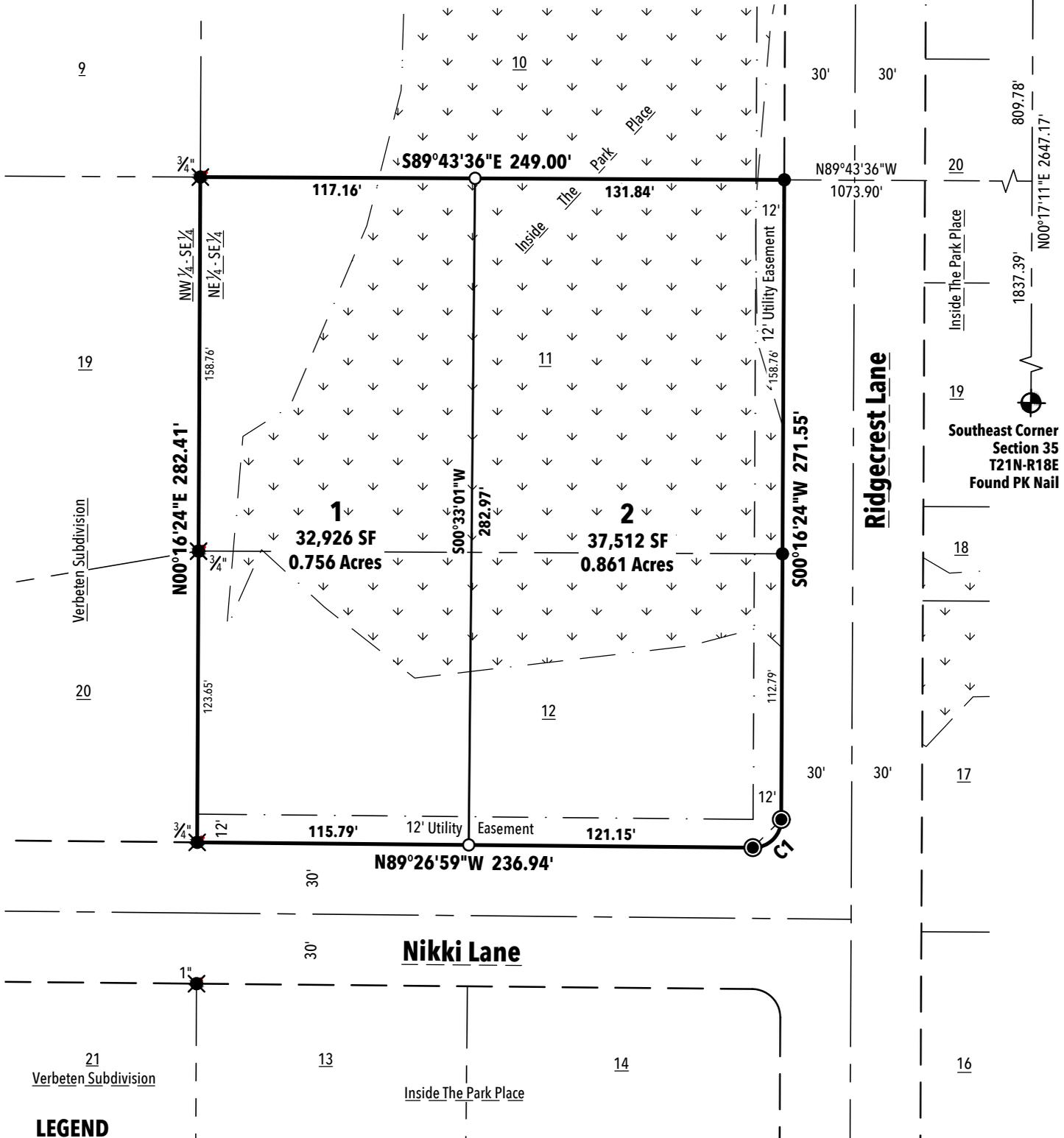
Approval of the Utility Easements as presented and recommend the same to the Common Council.

# CERTIFIED SURVEY MAP

ALL OF LOTS 11 AND 12, INSIDE THE PARK PLACE, CABINET N, PAGES 128-129,  
DOCUMENT NUMBER 2243700, BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST  
1/4, SECTION 35, TOWNSHIP 21 NORTH, RANGE 18 EAST, CITY OF KAUKAUNA,  
OUTAGAMIE COUNTY, WISCONSIN

Curve Table

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	90°16'37"	12.00'	18.91'	S45°24'42.5"W	17.01'	S89°26'59"E	N00°16'24"E

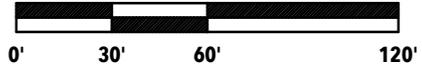


**LEGEND**

- Existing 1" Iron Pipe
- ⊙ Existing 2" Iron Pipe
- ⊗ Existing Iron Rod (size as noted)
- Set 1" x 18" Iron Pipe with cap weighing 1.38 lbs./lin. ft.
- ⊕ Recorded County Monument

Wetlands (see note on sheet 2)

SCALE: 1" = 60'



Bearings are based on the Outagamie County Coordinate System. The east line of the Southeast 1/4 of Section 35 bears N00°17'11"E.



**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD  
HOBART, WI 54155  
PHONE: (920) 662-9641  
INTERNET: www.releeinc.com FAX: (920) 662-9141

# CERTIFIED SURVEY MAP

ALL OF LOTS 11 AND 12, INSIDE THE PARK PLACE, CABINET N, PAGES 128-129, DOCUMENT NUMBER 2243700, BEING PART OF THE NORTHEAST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$ , SECTION 35, TOWNSHIP 21 NORTH, RANGE 18 EAST, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

## SURVEYOR'S CERTIFICATE:

I, Troy E. Hewitt, Professional Land Surveyor, do hereby certify that by the order and under the direction of the owners listed hereon, I have surveyed, mapped and divided all of Lots 11 and 12, Inside The Park Place, Cabinet N, Pages 128-129, Document Number 2243700, being part of the Northeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$ , Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin.

Said parcel contains 70,438 square feet or 1.617 acres of land more or less subject to easements and restrictions of record.

That the within map is a true and correct representation of the exterior boundaries of the land surveyed and the division of that land and that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes in the surveying, mapping and dividing of the same.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Troy E. Hewitt                      PLS #2831  
ROBERT E. LEE & ASSOCIATES, INC.

This certified survey map is contained wholly within the property described in the following recorded instruments.

<u>Owner of Record</u>	<u>Recording Information</u>	<u>Tax Parcel ID Number</u>
City of Kaukauna	Document Number 2180395	323222114
City of Kaukauna	Document Number 2180395	323222113

## GRADING AND GRADES:

All grading and final grades for the construction of any public improvements, including landscaping, shall conform to the surface water drainage plan as approved and on file with the City of Kaukauna.

## NOTES:

Sidewalks will be required adjoining all street frontages.

## WETLAND INFORMATION:

Wetlands delineated by Travis A. Stuck, Davel Engineering & Environmental on May 8, 2019.

A portion of the wetlands has been approved to be impacted for municipal activities by Wisconsin Department of Natural Resources General Permit docket GP-NE-2021-45-00718.

## UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas and communications service is hereby granted by the City of Kaukauna, to

Kaukauna Utilities  
WE Energies  
AT&T  
and  
Time Warner

Grantees, their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.



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**SHEET 2 OF 3**

# CERTIFIED SURVEY MAP

ALL OF LOTS 11 AND 12, INSIDE THE PARK PLACE, CABINET N, PAGES 128-129, DOCUMENT NUMBER 2243700, BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 35, TOWNSHIP 21 NORTH, RANGE 18 EAST, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

## OWNER'S CERTIFICATE:

City of Kaukauna, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said corporation caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this plat.

City of Kaukauna does further certify that this plat is required by s.236.34 to be submitted to the following for approval or objection:

CITY OF KAUKAUNA

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

In the presence of the City of Kaukauna

\_\_\_\_\_  
Anthony J. Penterman  
City of Kaukauna Mayor

\_\_\_\_\_  
Sally Kenney  
City of Kaukauna Clerk

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, the above named property owner(s) to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
My commission expires \_\_\_\_\_  
Notary Public, Wisconsin

## CITY OF KAUKAUNA COMMON COUNCIL APPROVAL CERTIFICATE

Resolved, that the plat of Inside the Park Place in the City of Kaukauna, City of Kaukauna owner, is hereby approved by the Common Council.

\_\_\_\_\_  
Anthony J. Penterman  
City of Kaukauna Mayor

\_\_\_\_\_  
Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of Kaukauna.

\_\_\_\_\_  
Sally Kenney  
City of Kaukauna Clerk

\_\_\_\_\_  
Date

## TREASURER'S CERTIFICATE:

We, being the duly elected, qualified and acting Treasurers' of the City of Kaukauna and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

\_\_\_\_\_  
Sally Kenney  
City of Kaukauna Treasurer

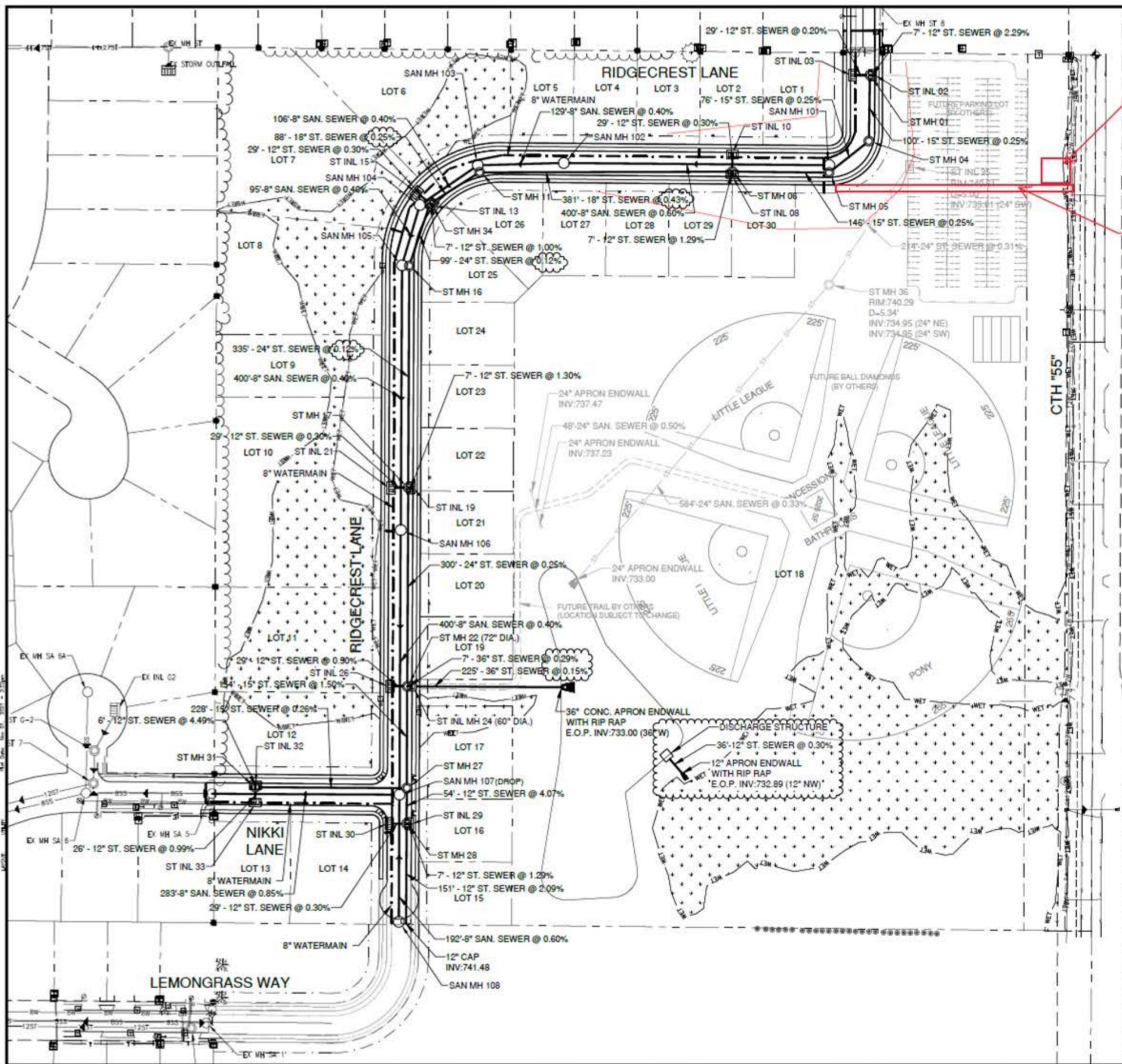
\_\_\_\_\_  
Date

\_\_\_\_\_  
Trenten Woelfel  
Outagamie County Treasurer

\_\_\_\_\_  
Date



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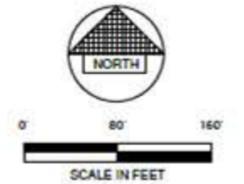
10x10 Easement for utility cabinets - ATT Request.

12' Wide Utility Easement from CTH 55 RW

- LEGEND**
- PROPOSED SANITARY SEWER
  - - - - EXISTING SANITARY SEWER (SIZE NOTED)
  - - - - PROPOSED STORM SEWER
  - - - - EXISTING STORM SEWER (SIZE NOTED)
  - - - - PROPOSED WATERMAIN
  - - - - EXISTING WATERMAIN (SIZE NOTED)

- PROPOSED**
- FIRE HYDRANT
  - ⊗ WATER VALVE/CURB STOP
  - ⊙ WATER MANHOLE
  - ▽ REDUCER/INCREASER
  - SANITARY MANHOLE
  - LIFT STATION
  - TRACER WIRE SIGNAL CONNECTION BOX
  - CLEANOUT
  - STORM MANHOLE
  - STORM CATCH BASIN
  - STORM INLET
  - STORM INLET MANHOLE
  - YARD DRAIN
  - STANDPIPE
  - ROOF DOWNSPOUT
  - DISCHARGE STRUCTURE

- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
  2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
  3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
  4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	10/18/2021	JIL	PLAN UPDATES				
2	11/01/2021	JIL	STORM SEWER AND PROFILE UPDATES				

PROJECT 10-21  
INSIDE THE PARK PLACE  
UTILITY AND GRADING  
CITY OF KAUKAUNA, OUTAGAMIE CO., WI

OVERALL UTILITY PLAN

DATE	09/09/21
FILE	OVERALL
JOB NO.	2711028

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54150  
920-862-9841 www.releecinc.com

### **UTILITY EASEMENT DESCRIPTION**

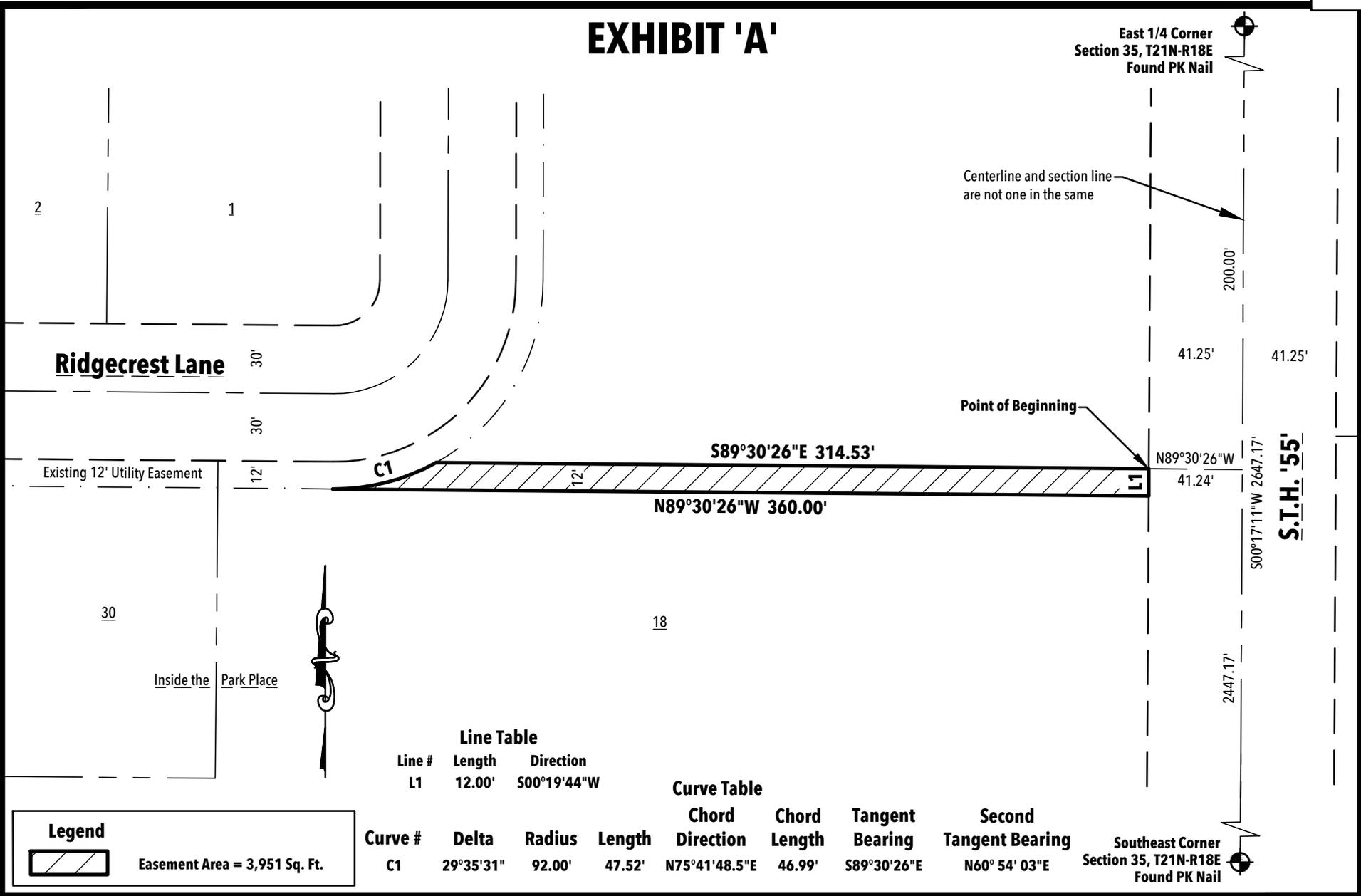
Part of Lot 18, Inside the Park Place, Document Number 2243700, located in part of the Northeast 1/4 of the Southeast 1/4, Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin more fully described as follows:

Commencing at the East 1/4 corner of said Section 35; thence  $S00^{\circ}17'11''W$ , 200.00 feet on the east line of said Southeast 1/4; thence  $N89^{\circ}30'26''W$ , 41.24 feet to the west right of way of S.T.H. '55', the **POINT OF BEGINNING**; thence  $S00^{\circ}19'44''W$ , 12.00 feet on said west right of way to the easterly extension of the south line of an existing 12' utility easement; thence  $N89^{\circ}30'26''W$ , 360.00 feet on said easterly extension to the southeast line of an existing 12' utility easement; thence 47.52 feet on the arc of a 92.00 foot radius curve to the left, having a long chord which bears  $N75^{\circ}41'48.5''E$ , 46.99 feet on said southeast line; thence  $S89^{\circ}30'26''E$ , 314.53 feet to the Point of Beginning.

As shown and dimensioned on the attached Exhibit A.

Said described land (easement area) contains 3,951 Square Foot (0.090 Acres) of land more or less.

# EXHIBIT 'A'



**Line Table**

Line #	Length	Direction
L1	12.00'	S00°19'44"W

**Curve Table**

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	29°35'31"	92.00'	47.52'	N75°41'48.5"E	46.99'	S89°30'26"E	N60° 54' 03"E

Southeast Corner Section 35, T21N-R18E Found PK Nail



**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 PHONE:(920) 662-9641 FAX:(920) 662-9141  
 INTERNET: www.releinc.com



CITY OF KAUKAUNA  
 144 W. 2nd Street  
 Kaukauna, Wisconsin 54130  
 Office (920) 766-6300



Date: 12/21/2021  
 REL Job #:3751038  
 Exhibit Sheet 1 of 1

**ATT EASEMENT DESCRIPTION**

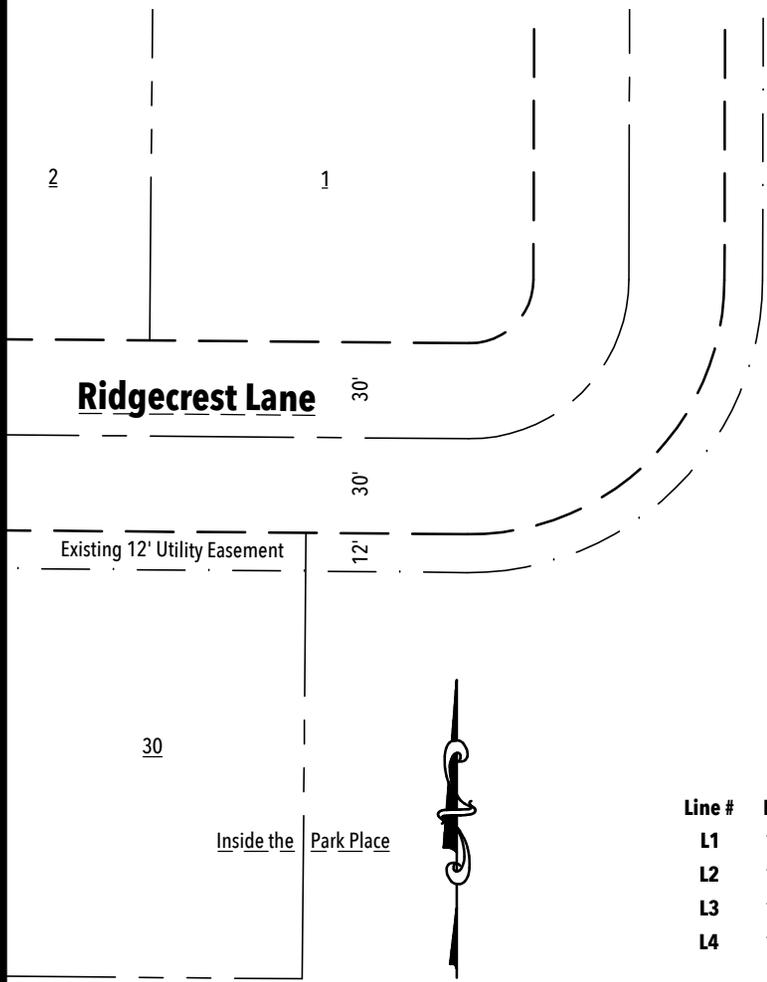
Part of Lot 18, Inside the Park Place, Document Number 2243700, located in part of the Northeast 1/4 of the Southeast 1/4, Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin more fully described as follows:

Commencing at the East 1/4 corner of said Section 35; thence S00°17'11"W, 200.00 feet on the east line of said Southeast 1/4; thence N89°30'26"W, 41.24 feet to the west right of way of S.T.H. '55', the **POINT OF BEGINNING**; thence continuing N89°30'26"W, 10.00 feet; thence N00°19'44"E, 10.00 feet; thence S89°30'26"E, 10.00 feet to said west right of way; thence S00°19'44"W, 10.00 feet on said west right of way to the Point of Beginning.

As shown and dimensioned on the attached Exhibit A.

Said described land (easement area) contains 100 Square Foot (0.002 Acres) of land more or less.

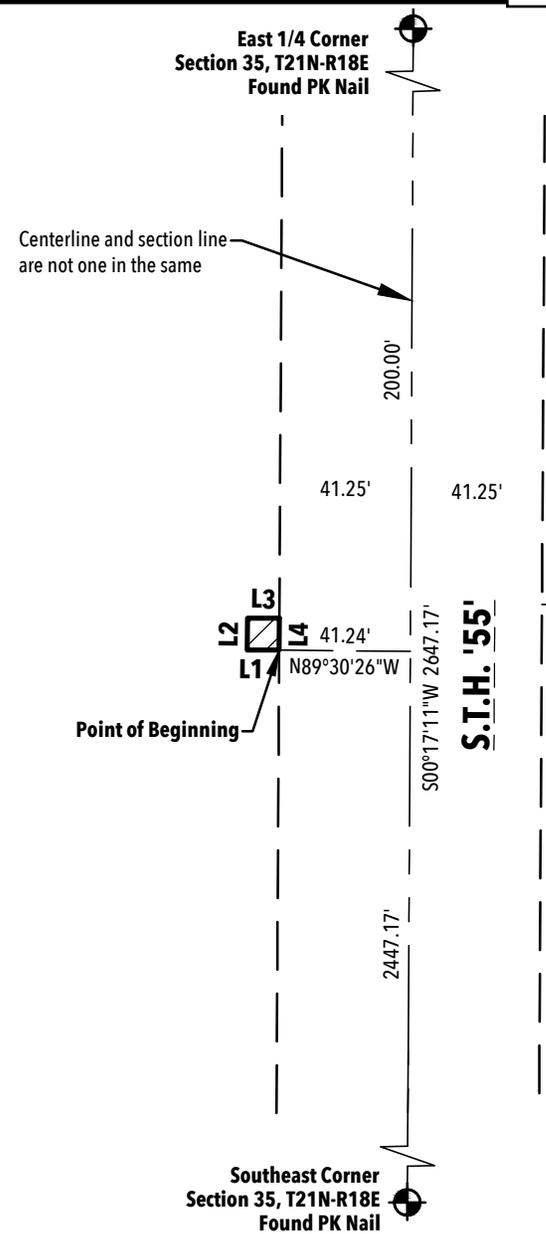
# EXHIBIT 'A'



**Line Table**

Line #	Length	Direction
L1	10.00'	N89°30'26"W
L2	10.00'	N00°19'44"E
L3	10.00'	S89°30'26"E
L4	10.00'	S00°19'44"W

18



**Legend**



Easement Area = 100 Sq. Ft.

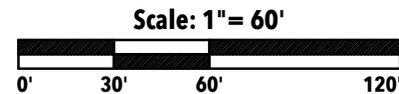


**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 PHONE:(920) 662-9641 FAX:(920) 662-9141  
 INTERNET: [www.releinc.com](http://www.releinc.com)

R:\3700\3751\3751038\dwg\3751029\_ATT\_exhibit.dwg



CITY OF KAUKAUNA  
 144 W. 2nd Street  
 Kaukauna, Wisconsin 54130  
 Office (920) 766-6300



Date: 12/21/2021  
 REL Job #: 3751038  
 Exhibit Sheet 1 of 1



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Joe Stephenson and John Neumeier  
Date: 01-06-2022  
Re: Wetland Fill and Mitigation Cost Share Discussion

Two developers have approached the City requesting a cost share for the Wetland Fill/Mitigation required to install the intersection on the south end of Haas Road at Bear Paw Trail. The road, originally part of Wildlife Heights Subdivision, was never installed. The road is now needed to provide access to both Wildlife Heights and Bluestem Meadows Phase 3. The estimated cost to purchase mitigation credits is between \$35,000 and \$40,000. The developers are seeking a cost share between themselves and the city each party paying 1/3 of the cost.

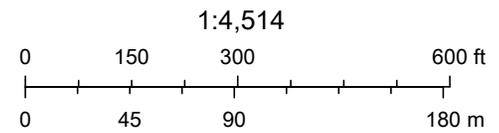


# Outagamie County GIS Map



12/29/2021, 6:23:20 AM

- Tax Parcel Information
- County Boundaries
- PLSS Sections
- Oneida Indians of Wisconsin
- USA inTrust for Oneida Tribe
- Display Parcel Lines
- Meander Line
- Oneida Tribal Lot Line
- Private ROW
- Proposed ROW
- Plat Boundary
- ✕ Monuments



Outagamie County GIS





# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

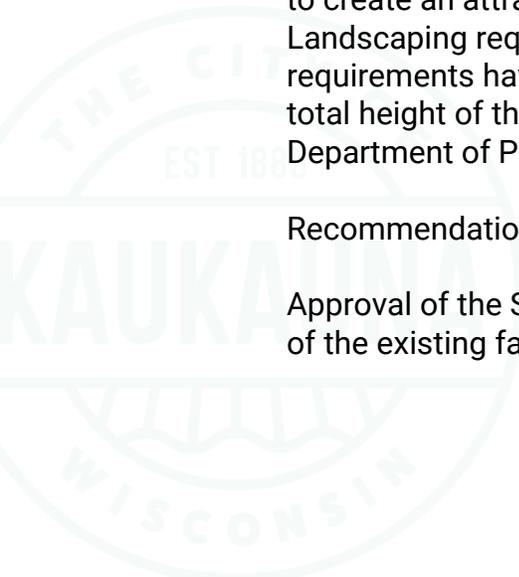
To: Plan Commission  
 From: Joe Stephenson  
 Date: 01-06-2022  
 Re: Site Plan Review – Haen Meat Expansion

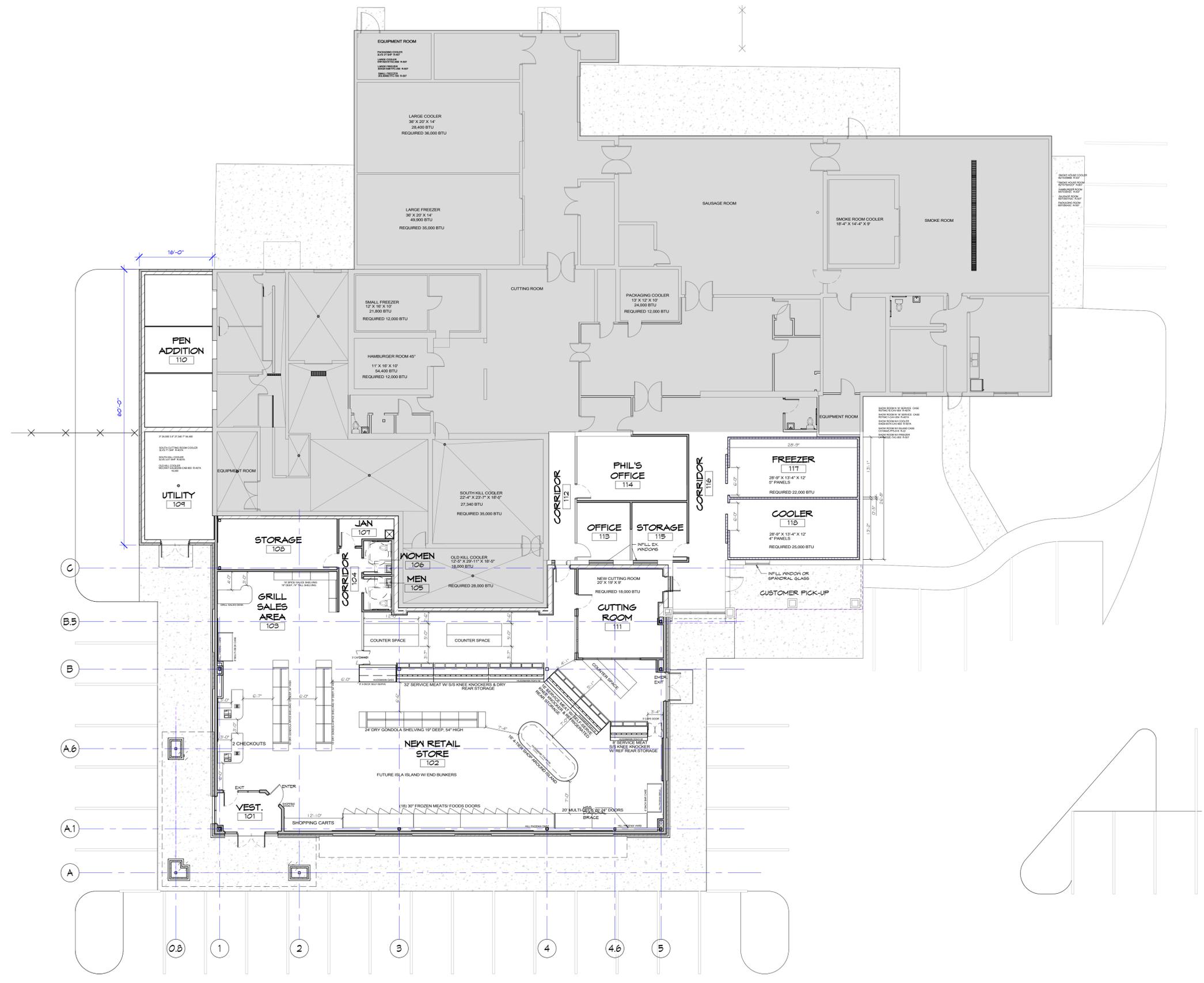
Mach IV Engineering, on behalf of CWPS Properties LLC, has submitted a site plan review for the expansion of the Haen Meat Facility, located at 600 County Road KK. The applicant is proposing a 6,972 square foot expansion that will include additional utility space, cutting room, officers and a retail store front. In addition, the applicant will be expanding their parking to accommodate additional patrons and installing a stormwater pond to serve for their additional stormwater needs.

The front facing expansion will be primarily masonry, using brick and split face units to create an attractive entrance. The site is zoned Commercial Highway Corridor. Landscaping requirements have been met per original site plan. All parking requirements have been met, with 78 off street parking stalls being provided. The total height of the building is 21' 4". All stormwater requirements have been met per Department of Public Works review.

**Recommendation:**

Approval of the Site Plan for Haen Meat, 600 County Road KK, allowing an expansion of the existing facility.





1 OVERALL FLOOR PLAN  
 A-1.1 3/32" = 1'-0"

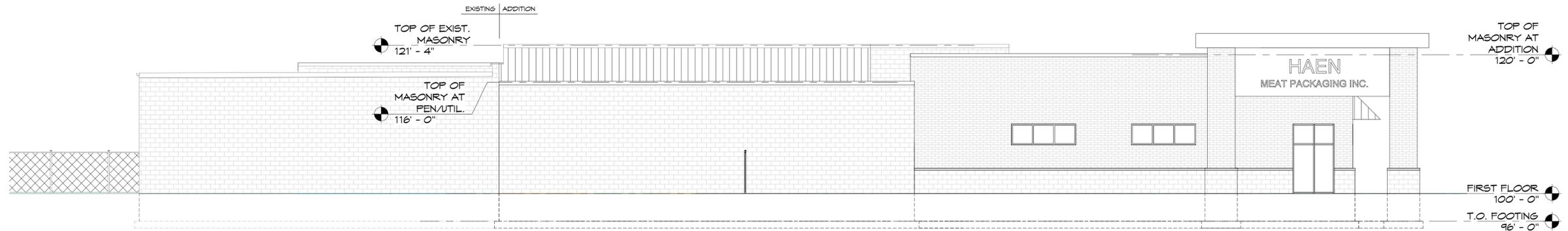


Z:\2021\21-031 Haen Meat Packing Addition\21-031\_Revit\21-031\_Haen Meat Packing Addition revised2.rvt

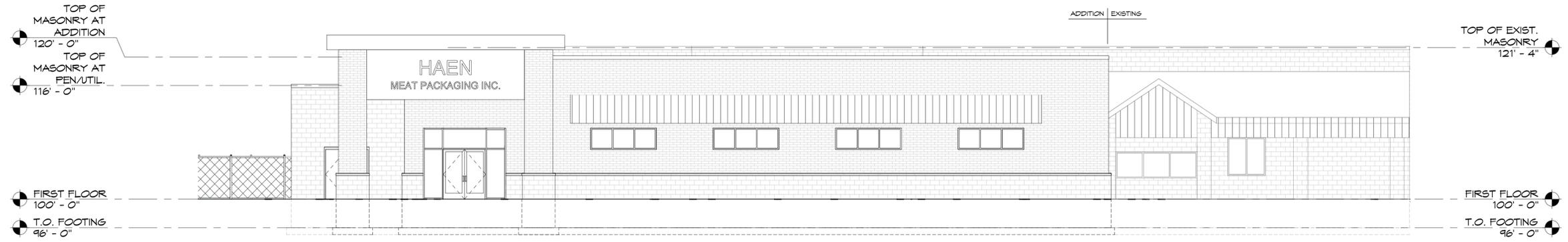
11/22/2021 11:47:14 AM

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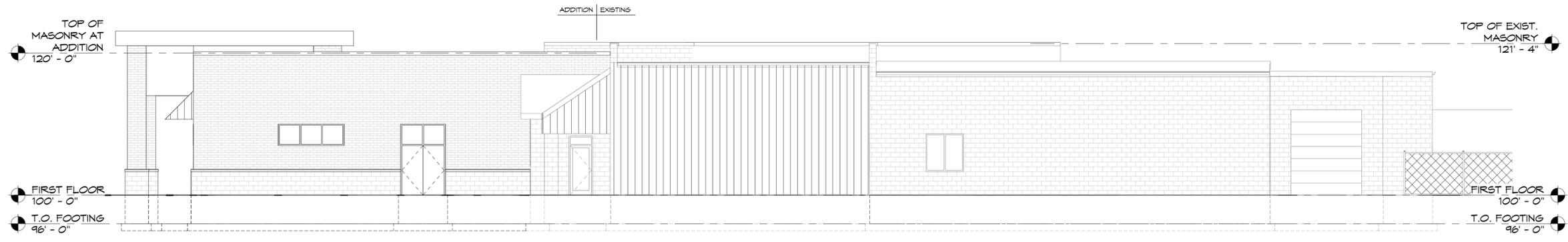
11/22/2021 4:36:00 PM



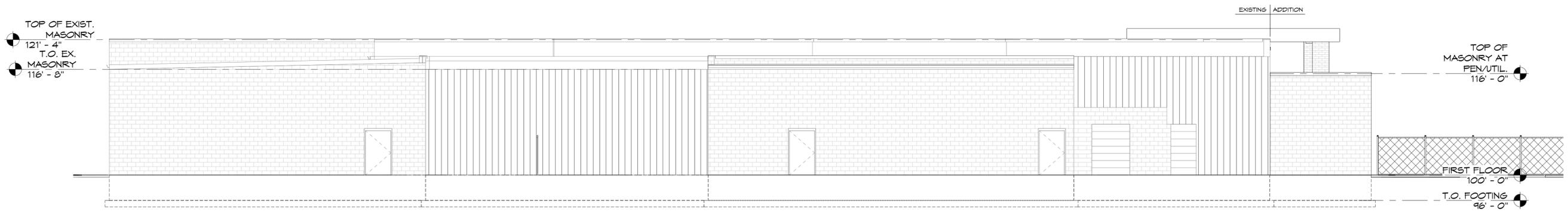
4 WEST ELEVATION  
A-4.1 1/8" = 1'-0"



3 SOUTH ELEVATION  
A-4.1 1/8" = 1'-0"



2 EAST ELEVATION  
A-4.1 1/8" = 1'-0"



1 NORTH ELEVATION  
A-4.1 1/8" = 1'-0"

Gries Architectural Group Inc.  
500 North Commercial Street  
Neenah, Wisconsin 54956  
Phone: 920-735-2445 Fax: 920-732-6665  
www.griesarchitectural.com

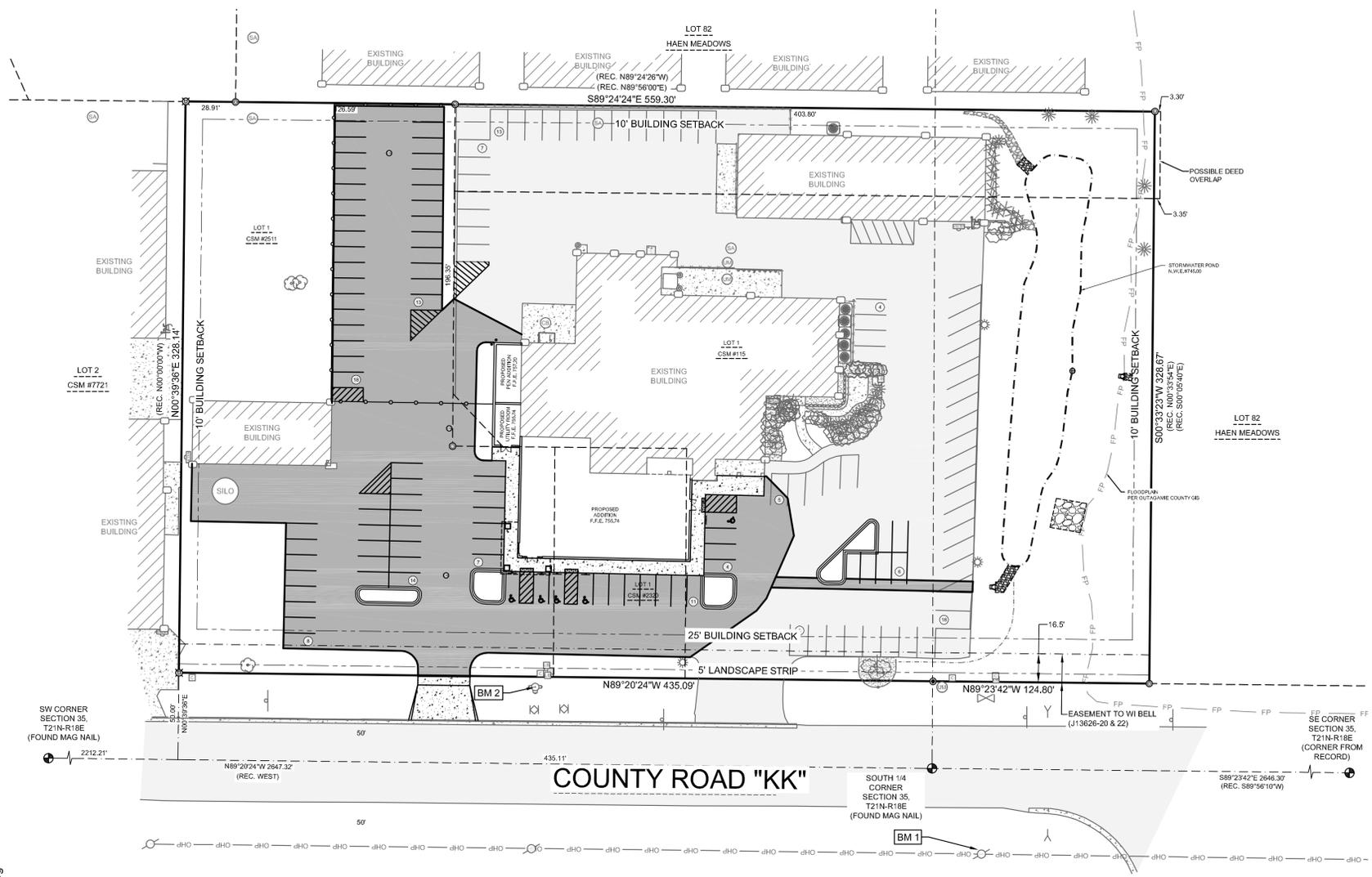
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BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
KAUKAUNA, WISCONSIN

date: 11/22/2021  
job: 21-031  
d. by: LAK  
rev.:

A-4.1

# COVER SHEET



**LOCATION MAP**  
600 WEST COUNTY ROAD KK  
KAUKAUNA, WI 54130  
NOT TO SCALE

## LEGAL DESCRIPTION

PART OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511 (DOCUMENT #1185864) AND ALSO PART OF LOT 1 OF VOLUME 12, CERTIFIED SURVEY MAPS, PAGE 2320 (DOCUMENT #1165660), AND ALSO PART OF VOLUME 1, CERTIFIED SURVEY MAPS, PAGE 115 (DOCUMENT #715161), AND ALSO PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL LOCATED PART OF THE SOUTHWEST 1/4 OF SECTION 35, T21N-R18E, TOWN OF BUCHANAN, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 35, T21N-R18E; THENCE N89°20'24"W, 435.11 FEET ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE N00°39'36"E, 50.00 FEET TO THE NORTH RIGHT OF WAY OF C.T.H. KK AND THE POINT OF BEGINNING; THENCE CONTINUING N00°39'36"E, 328.14 FEET ALONG THE WEST LINE OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511, OUTAGAMIE COUNTY RECORDS; THENCE S89°24'24"E, 559.30 FEET ALONG THE NORTH LINE OF SAID LOT AND ALSO A SOUTH LINE OF LOT 82 OF HAEN MEADOWS, RECORDED IN CABINET J, PAGES 29-31 (DOCUMENT #1636232), OUTAGAMIE COUNTY RECORDS; THENCE S00°33'23"W, 328.67 FEET TO SAID NORTH RIGHT OF WAY OF C.T.H. KK THENCE N89°23'42"W, 124.80 FEET ALONG SAID RIGHT OF WAY; THENCE N89°20'24"W, 435.09 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

PARCEL CONTAINS 183,799 SQUARE FEET / 4.22 ACRES, MORE OR LESS.  
PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

## CIVIL SHEETS INDEX

- C-0.1 COVER SHEET
- C-1.0 EXISTING CONDITIONS
- C-2.0 DEMOLITION PLAN
- C-3.0 SITE PLAN
- C-4.0 UTILITY PLAN
- C-5.1 GRADING PLAN - WEST
- C-5.2 GRADING PLAN - EAST
- C-6.0 EROSION CONTROL PLAN
- C-6.1 EROSION CONTROL DETAILS
- C-7.0 SITE DETAILS
- C-7.1 UTILITY & GRADING DETAILS
- L-1.0 LANDSCAPE PLAN

## CIVIL GENERAL NOTES:

1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JULY 2021.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. UTILITY LOCATES PER DIGGERS HOTLINE REQUEST.
4. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
5. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
6. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
7. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
8. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
9. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
11. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
12. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
13. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
14. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
16. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
17. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
18. FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
19. FOR NOTES SHOWN THUS, ( ) , SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

## CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		CONCRETE	
LIGHT POLE		BUILDING OVERHANG		GRAVEL	
POWER POLE		UNDERGROUND CABLE		LANDSCAPE WOOD MULCH	
GAS METER		OVERHEAD WIRE		LANDSCAPE STONE MULCH	
GAS VALVE		UNDERGROUND ELECTRIC			
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

## ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SQ	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

**DIGGERS HOTLINE**  
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SECTION 35, T21N-R18E, WHICH BEARS N89°20'24"W.

COORDINATES BASED ON THE CURRENT COUNTY COORDINATE SYSTEM OF RECORD.



2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1865-01-21

**Gries Architectural Group Inc.**  
300 North Commercial Street  
Kaukauna, WI 54130  
Phone: 920-722-2445 Fax: 920-722-6605  
www.griesarchitectural.com

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**Miliron Building Excellence**

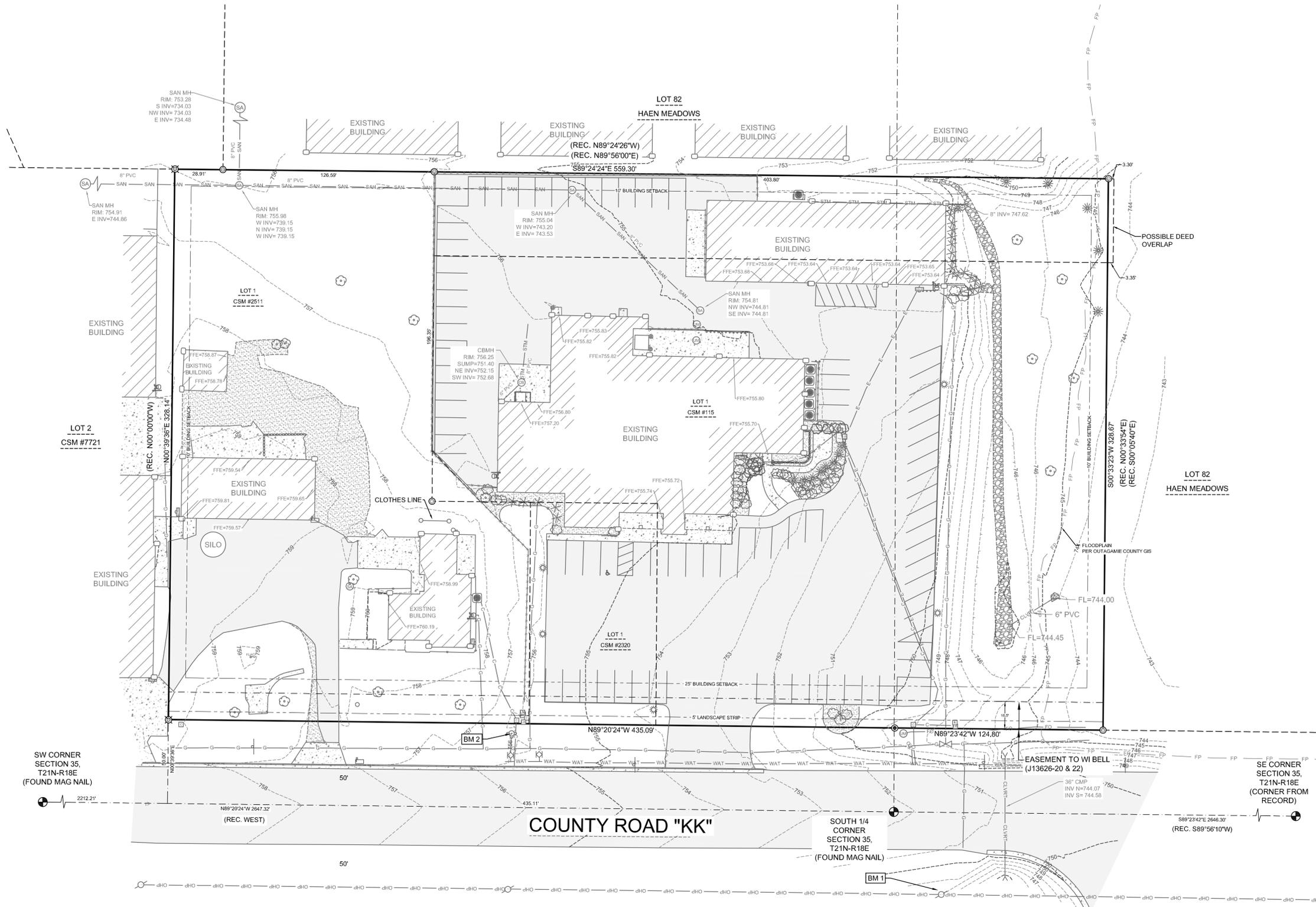
BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
KAUKAUNA, WISCONSIN

date: 11/14/2021  
job: 21-091  
d. by: SAH  
rev.:

**C-0.1**

# EXISTING CONDITIONS

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT



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BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
 KAUKAUNA, WISCONSIN

date: 11/14/2021  
 job: 21-091  
 d. by: SAH  
 rev.:

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**C-1.0**



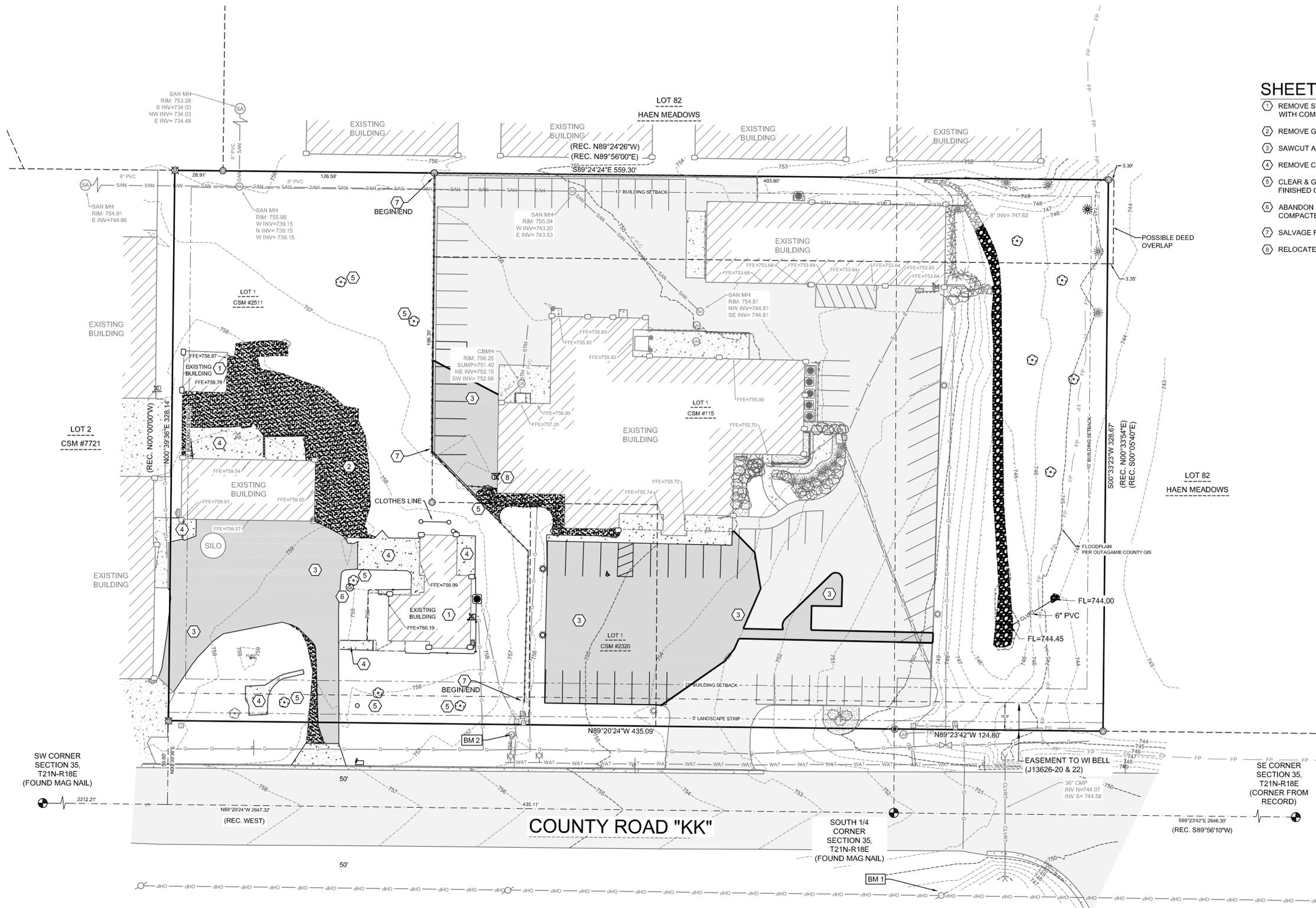
2260 Salscheider Court Green Bay, WI 54313  
 PH:920-569-5765; Fax: 920-569-5767  
 www.mach-iv.com  
 Project Number: 1865-01-21

# DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

## SHEET KEY NOTES:

- 1 REMOVE STRUCTURE IN IT ENTIRELYT INCLUDING FOUNDATION. BACKFILL WITH COMPACTED (95% MODIFIED PROCTOR) STRUCTURAL FILL
- 2 REMOVE GRAVEL
- 3 SAWCUT AND REMOVE ASPHALT PAVEMENT
- 4 REMOVE CONCRETE, SAW CUT WHEN NECESSARY
- 5 CLEAR & GRUB TREE. GRIND STUMP TO A MIN. OF 2' BELOW PROPOSED FINISHED GRADE
- 6 ABANDON SANITARY SYSTEM. REMOVE TANK AND BACKFILL WITH COMPACTED (95% MODIFIED PROCTOR) STRUCTURAL FILL
- 7 SALVAGE FENCE FOR RE-INSTALLATION
- 8 RELOCATE GAS METER



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BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
 KAUKAUNA, WISCONSIN

date: 11/14/2021  
 job: 21-091  
 d. by: SAH  
 rev.:

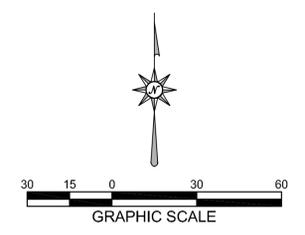
**C-2.0**

R:\Jobs\1865-01-21 HAENS MEATS\DRAWINGS\1865-01-21 ENG.dwg

10/4/2021 8:33:23 AM



ENGINEERING • SURVEYING • ENVIRONMENTAL  
 2260 Salscheider Court Green Bay, WI 54313  
 PH:920-569-5765; Fax: 920-569-5767  
 www.mach-iv.com  
 Project Number: 1865-01-21



# SITE PLAN

## OWNER

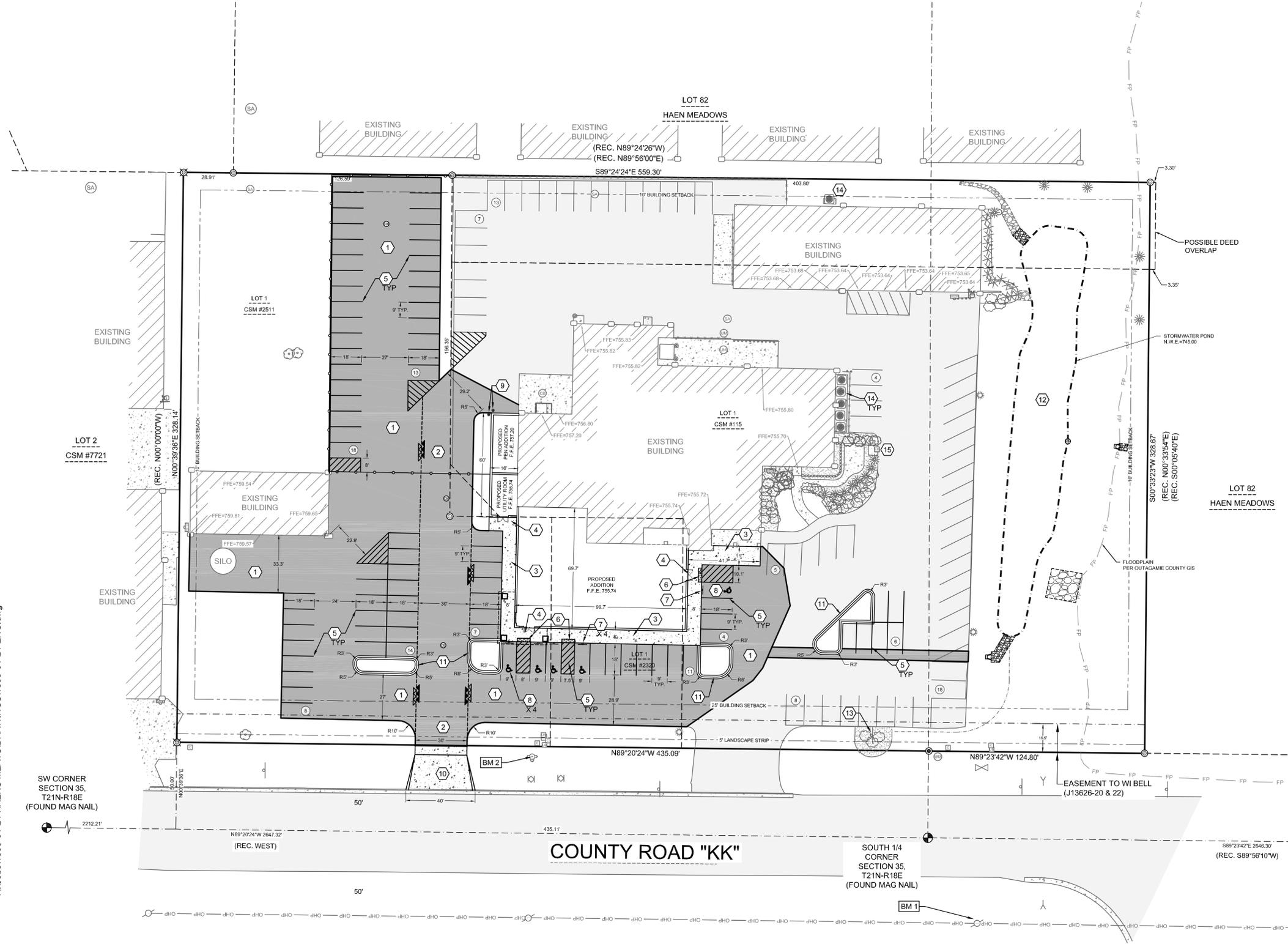
CWPS PROPERTIES LLC  
W7358 SPENCER ROAD  
APPLETON, WI 54914

## SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C-7.0
- ② HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL B SHEET C-7.0
- ③ CONCRETE SIDEWALK; SEE DETAIL C SHEET C-7.0
- ④ STOOP; REFER TO STRUCTURAL DRAWINGS
- ⑤ 4" WIDE PAINT STRIPE (WHITE)
- ⑥ ADA DETECTABLE WARNING; SEE DETAIL D SHEET C-7.0
- ⑦ ADA SIGN; SEE DETAIL E SHEET C-7.0
- ⑧ PAINTED ADA SYMBOL; SEE DETAIL F SHEET C-7.0
- ⑨ BOLLARD; SEE DETAIL G SHEET C-7.0
- ⑩ DRIVEWAY APRON; SEE DETAIL H SHEET C-7.0
- ⑪ CURB & GUTTER, ROLL CURB; SEE DETAIL I SHEET C-7.0
- ⑫ STORMWATER MANAGEMENT POND; SEE SHEET C-5.2
- ⑬ EXISTING MONUMENT SIGN
- ⑭ EXISTING MECHANICAL UNIT
- ⑮ EXISTING TRANSFORMER

## SITE STATISTICS

PARCEL ADDRESS:	600 WEST COUNTY ROAD KK
PARCEL NUMBER:	323243600, 323243900, 323244100, & 323244200 TO BE COMBINED VIA CSM
PARCEL SIZE:	183,799 SF (4.22 AC)
ZONING:	CHD - COMMERCIAL HIGHWAY DISTRICT
<b>EXISTING SITE</b>	
GREEN SPACE:	77,624 SF (42.0%)
IMPERVIOUS AREA	
BUILDING:	28,688 SF (15.6%)
PAVEMENT:	77,847 SF (42.4%)
TOTAL IMPERVIOUS:	106,535 SF (58.0%)
<b>PROPOSED SITE</b>	
TOTAL DISTURBED AREA:	84,353 SF (1.94 AC)
<b>GREEN SPACE PROVIDED:</b>	
IMPERVIOUS AREA	
BUILDING:	32,870 SF (17.9%)
PAVEMENT:	86,015 SF (46.8%)
TOTAL IMPERVIOUS:	118,885 SF (64.7%)
<b>PARKING PROVIDED</b>	
PARKING SPACES REQ'D/CALCS:	1 STALL PER 300 SF 32,282 SF / 300 SF = 107 STALLS
PARKING SPACES PROVIDED:	136 STALLS, INCLUDES 5 ADA HANDICAP STALLS



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BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
KAUKAUNA, WISCONSIN

date: 11/14/2021  
job: 21-091  
d. by: SAH  
rev.:  
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**C-3.0**

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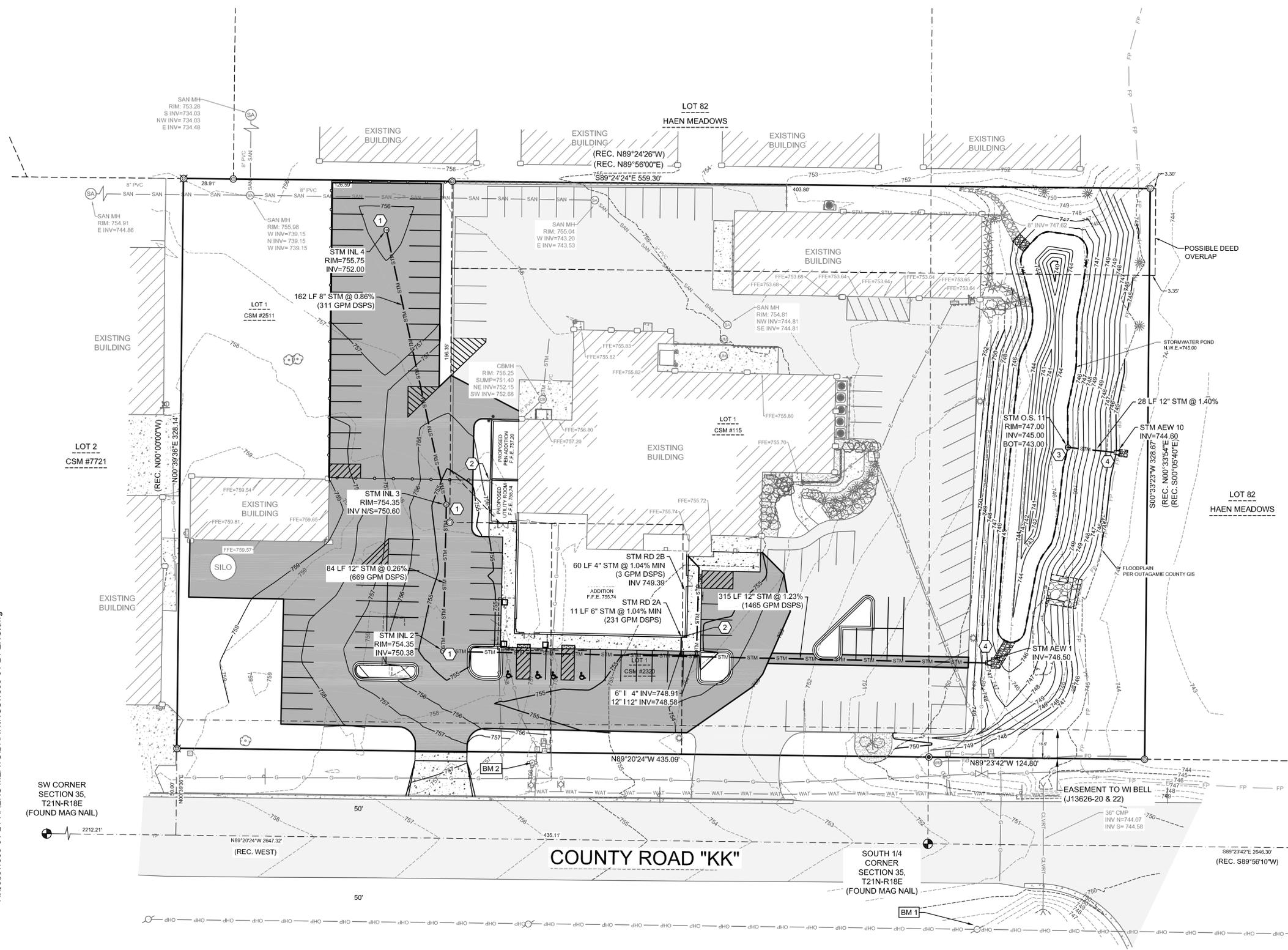
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# UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

## SHEET KEY NOTES:

- ① 36-INCH DIAMETER CATCH BASIN; SEE DETAIL A SHEET C-7.1
- ② CONNECT TO ROOF DRAIN; REFER TO PLUMBING PLANS. FIELD VERIFY INVERT PRIOR TO INSTALLING ROOF DRAIN PIPING. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IF INVERT IS DIFFERENT FROM PLANS.
- ③ POND OUTLET STRUCTURE; SEE DETAIL B SHEET C-7.1
- ④ APRON END WALL



## UTILITY NOTES:

1. CONNECTIONS TO EXISTING UTILITIES SHALL BE VERIFIED (SIZE, ELEVATION AND LOCATION) PRIOR TO CONSTRUCTING ANY PROPOSED UTILITIES.
2. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
3. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
4. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
5. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
6. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
7. STORM SEWER SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
8. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
9. CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH MUNICIPALITY SPECIFICATIONS.



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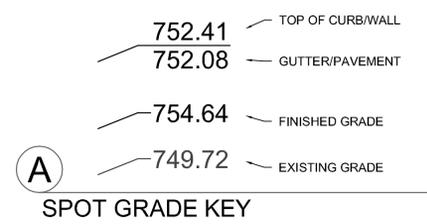
**C-4.0**

# GRADING PLAN - WEST

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

## SHEET KEY NOTES:

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET
- ③ REVERSE PAN CURB AND GUTTER



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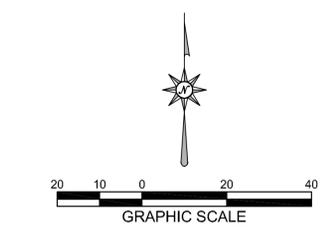
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**C-5.1**



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SW CORNER SECTION 35, T21N-R18E (FOUND MAG NAIL)

(REC. WEST)

COUNTY ROAD

# GRADING PLAN - WEST

Benchmarks		
Label	Elevation	Description
BM 1	750.020	NAIL IN POWER POLE 45-C-5
BM 2	758.530	HYDRANT BURY BOLT

## SHEET KEY NOTES:

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET
- ③ REVERSE PAN CURB AND GUTTER
- ④ STORMWATER POND; SEE DETAIL C SHEET C-7.1
- ⑤ EMERGENCY OVERFLOW WEIR; SEE DETAIL D SHEET C-7.1
- ⑥ GRASS SWALE WITH BERM, V-NOTCH; SEE DETAIL E & F SHEET C-7.1

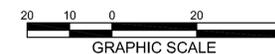
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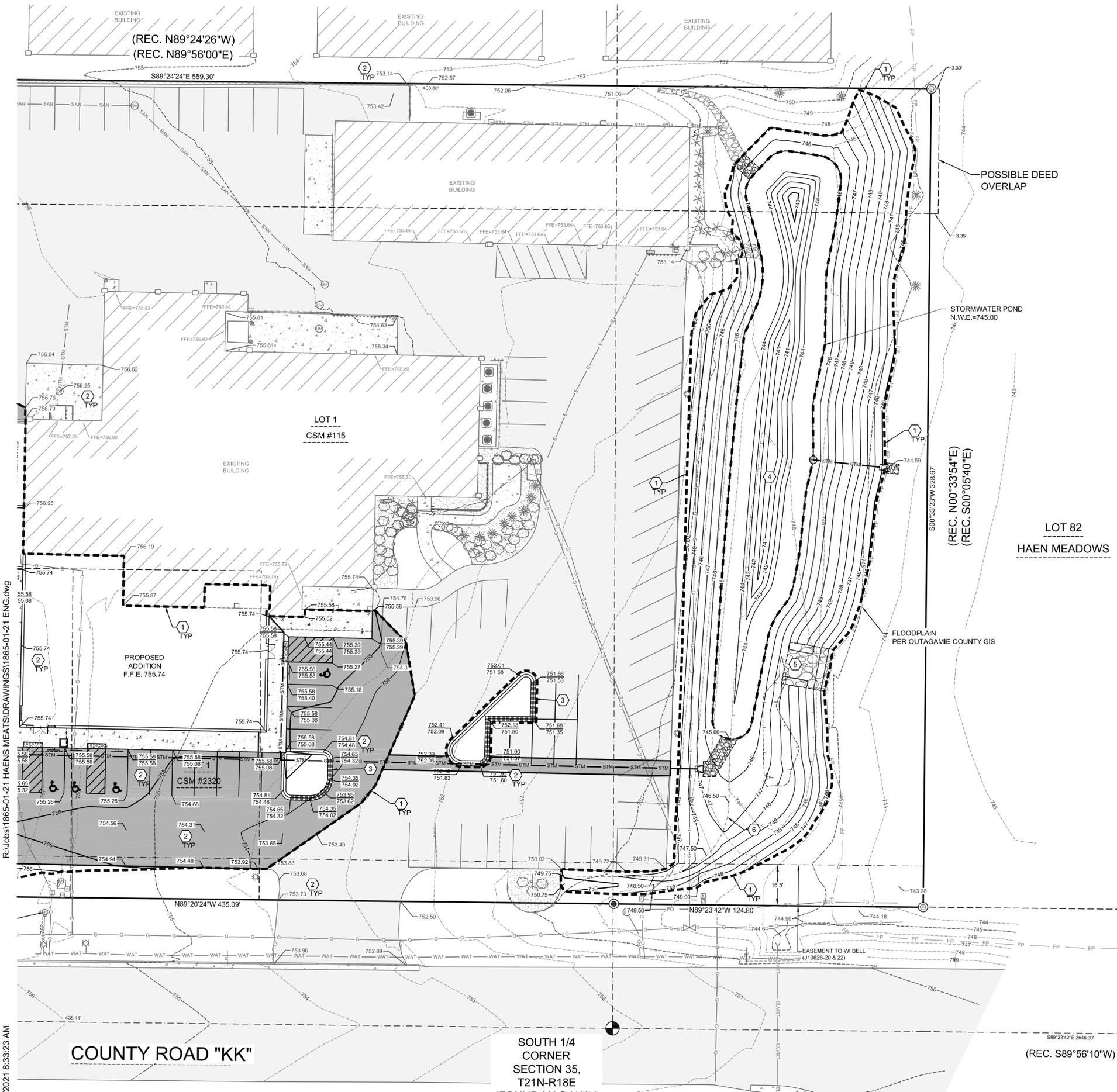
**A** SPOT GRADE KEY

752.41	TOP OF CURB/WALL
752.08	GUTTER/PAVEMENT
754.64	FINISHED GRADE
749.72	EXISTING GRADE



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**C-5.2**



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# EROSION CONTROL PLAN

## SHEET KEY NOTES:

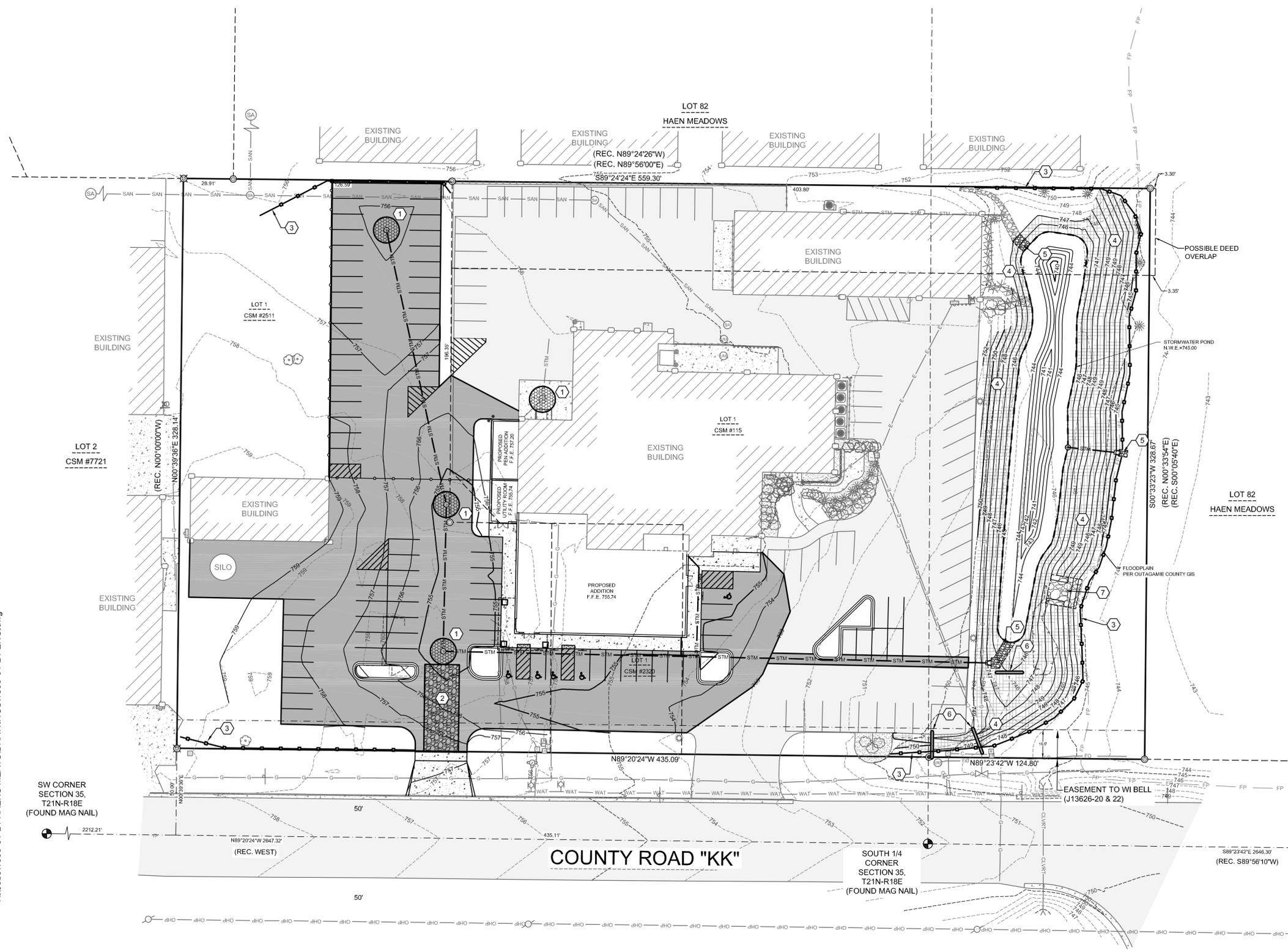
- ① INLET PROTECTION; SEE DETAIL A SHEET C-6.1
- ② STONE TRACKING PAD; SEE DETAIL B SHEET C-6.1
- ③ SILT FENCE; SEE DETAIL C SHEET C-6.1
- ④ CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL D SHEET C-6.1
- ⑤ ENERGY DISSIPATOR; SEE DETAIL E SHEET C-6.1
- ⑥ SEDIMENT LOG; SEE DETAIL F SHEET C-6.1
- ⑦ MEDIUM RIP RAP OVER TYPE F GEOTEXTILE FABRIC

## EROSION CONTROL PRACTICES:

1. **SILT FENCE (TECH STANDARD 1056)**  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION (TECH STANDARD 1060)**  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL (TECH STANDARD 1068)**  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH STANDARD 1057)**  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS (TECH STANDARD 1053)**  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING (TECH STANDARD 1061)**  
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

## MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSONS DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.



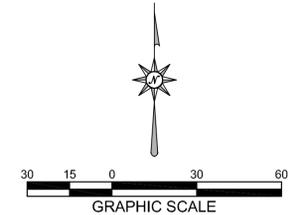
## CONSTRUCTION SEQUENCE:

### WINTER 2021 TO SPRING 2022

- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS
- SITE DEMOLITION
- EXCAVATE STORMWATER POND AND SWALE ALONG SOUTHEAST CORNER OF EXISTING PARKING LOT TO DIVERT RUNOFF TO POND
- STRIP TOPSOIL WITHIN GRADING LIMITS
- ROUGH GRADE SITE
- CONSTRUCT BUILDING ADDITIONS
- INSTALL SITE UTILITIES
- INSTALL BASE COURSE
- INSTALL PAVEMENT
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- REMOVE ACCUMULATED SEDIMENT FROM POND
- RE-SEED ANY UNVEGETATED AREAS
- REMOVE TEMPORARY EROSION CONTROL BMPS UPON SITE STABILIZATION

## CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.



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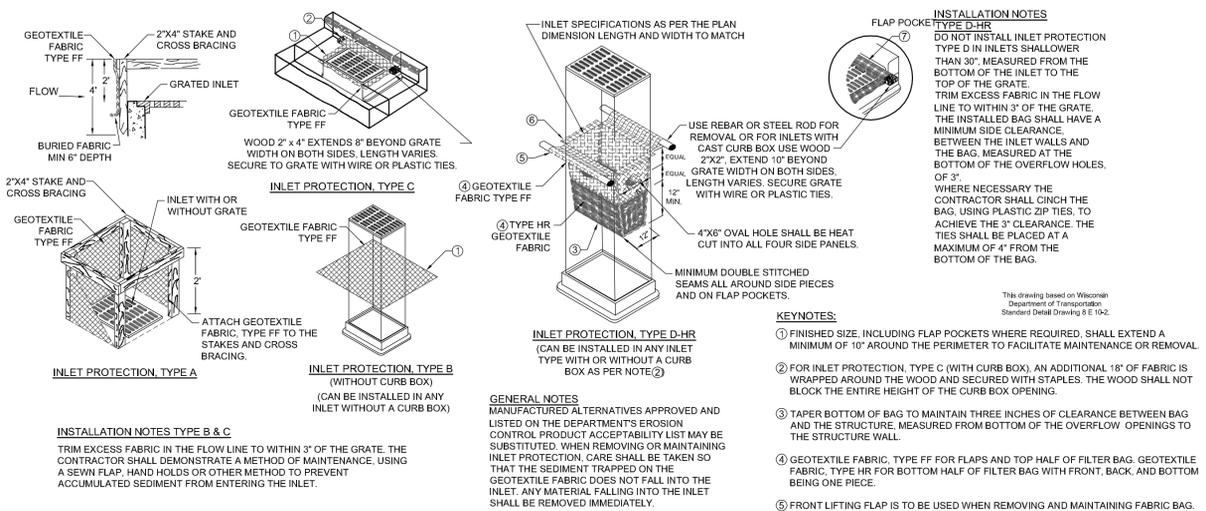
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# EROSION CONTROL DETAILS

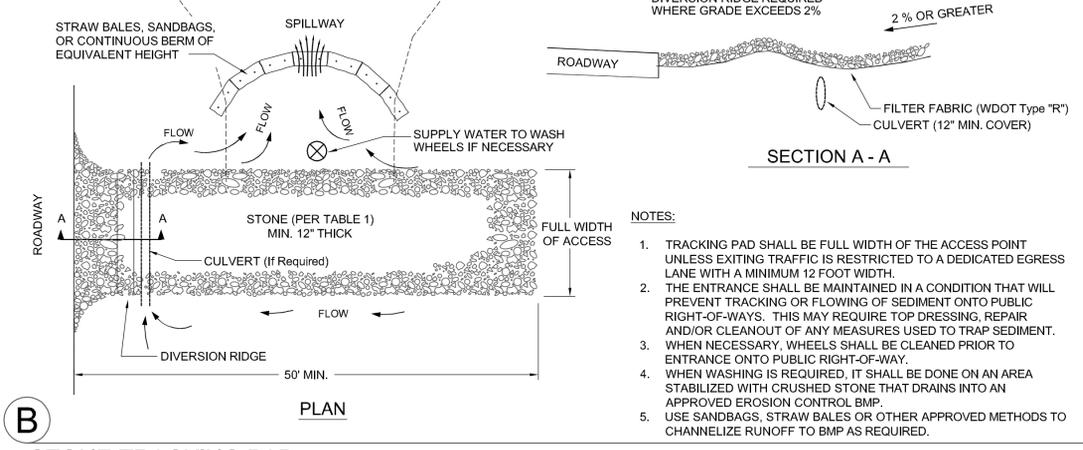
**TABLE 1: GRADATION FOR STONE TRACKING PADS**

SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5

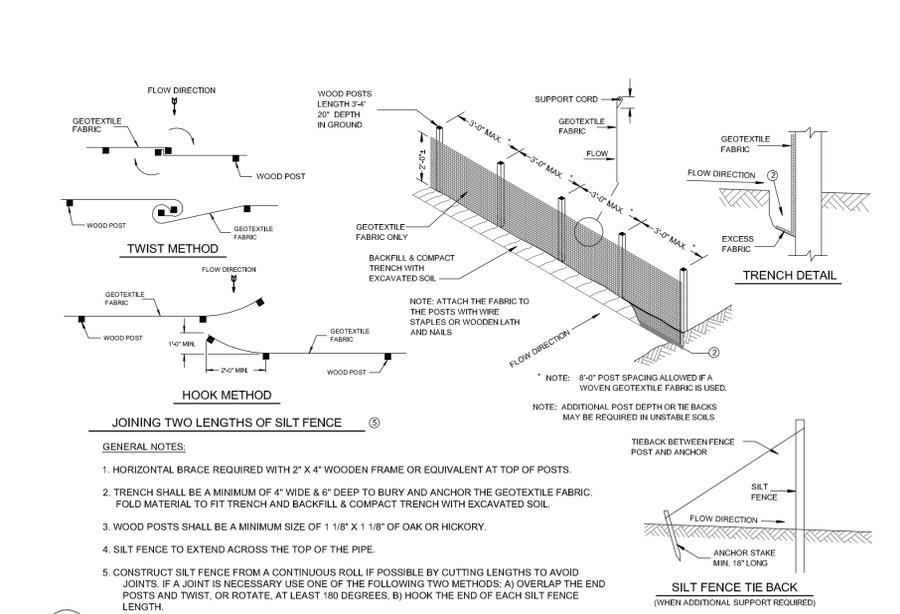


- INLET PROTECTION TYPES:**
- ALL INLETS IN PUBLIC RIGHTS OF WAY SHALL RECEIVE INLET PROTECTION TYPE D-HR AS DETAILED ON SHEET C5.1.
  - INLETS ON PRIVATE PROPERTY SHALL RECEIVE INLET PROTECTION TYPE B OR C (DEPENDANT ON CASTING TYPE), FOR INLETS IN PAVED AREAS, AND INLET PROTECTION TYPE A IN UN-PAVED AREAS.

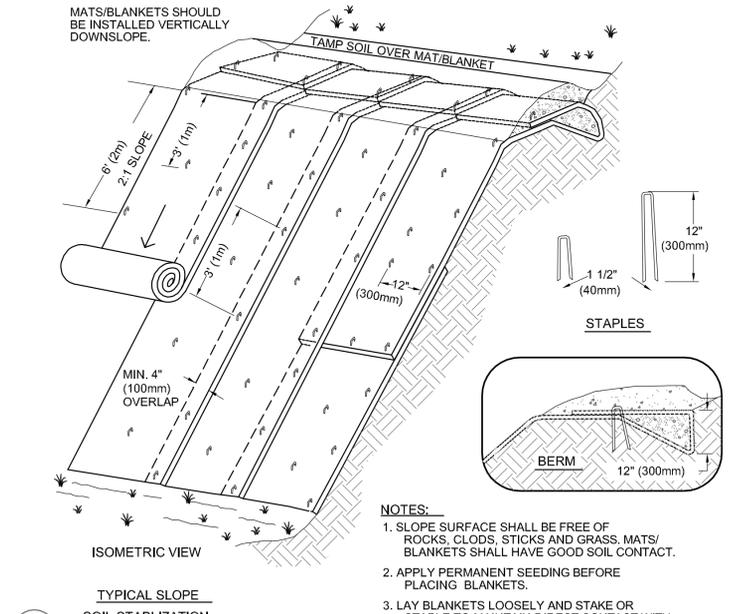
## A INLET PROTECTION



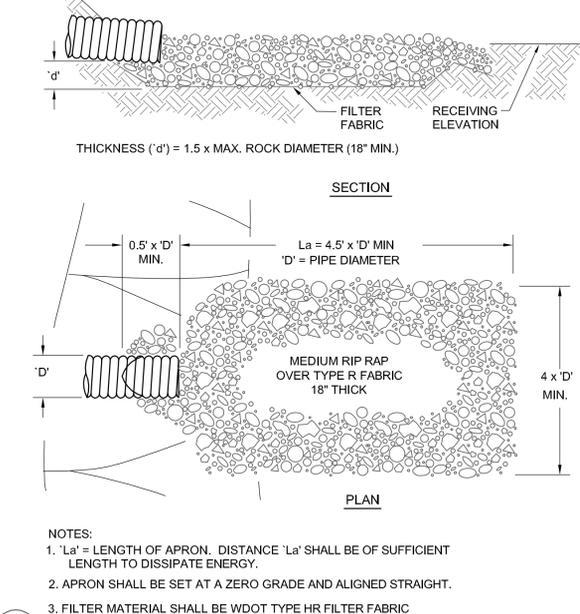
## B STONE TRACKING PAD



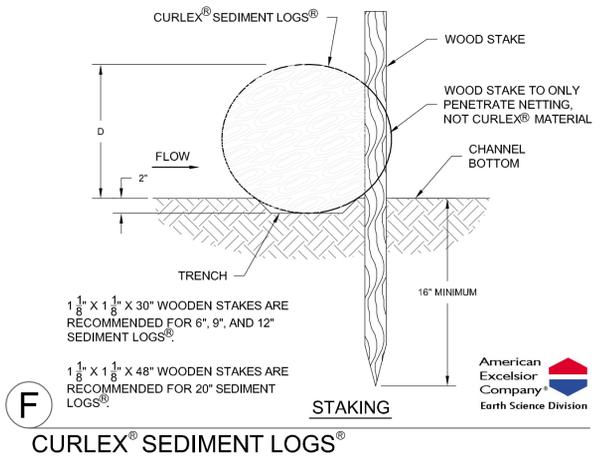
## C SILT FENCE



## D EROSION CONTROL MAT FOR SLOPE INSTALLATION



## E ENERGY DISSIPATOR



## F CURLEX® SEDIMENT LOGS®

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# SITE DETAILS



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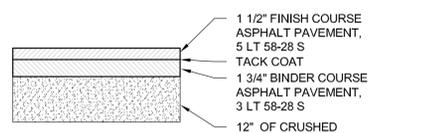
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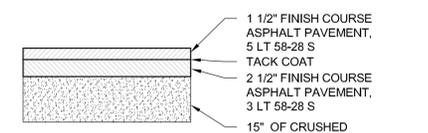
C-7.0



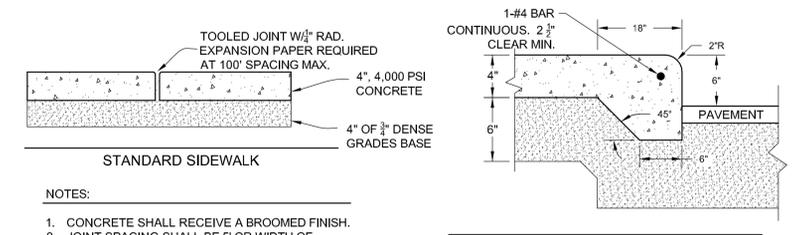
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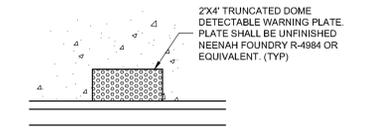
**A**  
**STANDARD DUTY ASPHALT PAVEMENT**



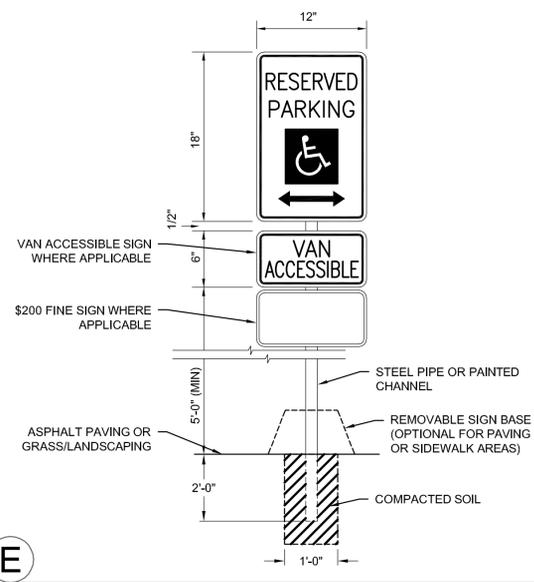
**B**  
**HEAVY DUTY ASPHALT PAVEMENT**



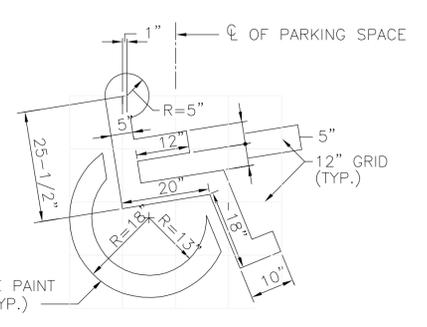
**C**  
**CONCRETE SIDEWALK**



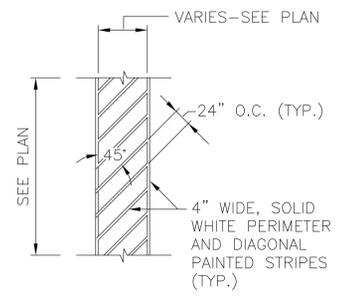
**D**  
**ADA DETECTABLE WARNING PLATE**



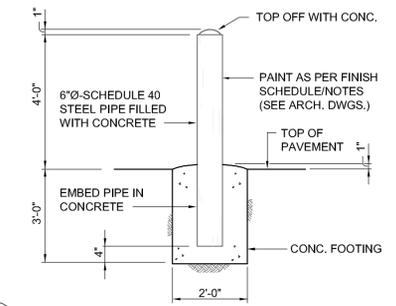
**E**  
**ADA HANDICAP SIGN**



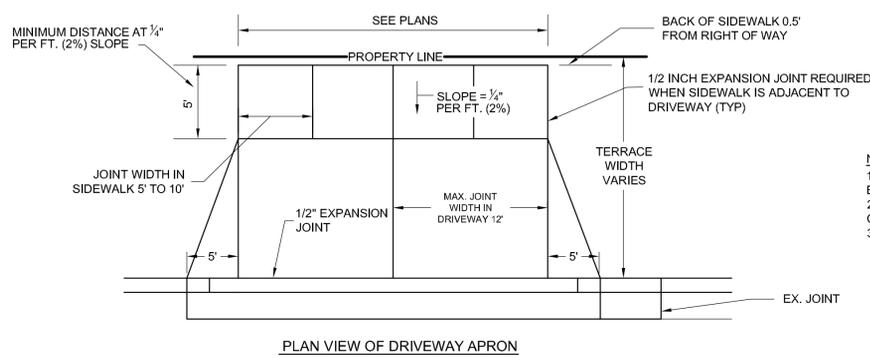
**F**  
**HANDICAP PAVEMENT MARKING DETAILS**



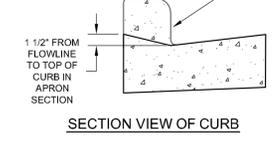
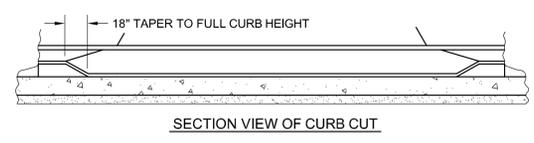
**PAINTED ISLAND/ ACCESS AISLE**



**G**  
**PIPE BOLLARD - 6"**

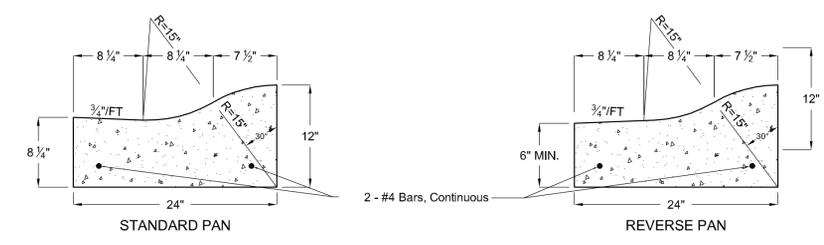


**NOTES:**  
1. PROVIDE MIN. 4 INCHES OF 3/4 CRUSHED AGGREGATE BASE COURSE.  
2. BASE SHALL BE LEVELED AND MECHANICALLY COMPACTED.  
3. CONCRETE WALK AND APRON SHALL BE 6" CONCRETE.



CURB HEAD SHALL BE REMOVED BY SAWCUTTING ONLY. SAWCUTTING SHALL BE ACCOMPLISHED WITH A RAIL MOUNTED, HYDRAULICALLY CONTROLLED, LARGE DIAMETER CONCRETE SAW DESIGNED SPECIFICALLY FOR THIS METHOD OF CURB HEAD REMOVAL.

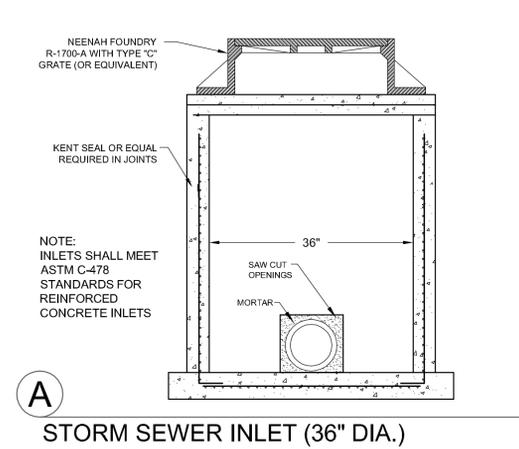
**H**  
**CONCRETE DRIVEWAY APRON**



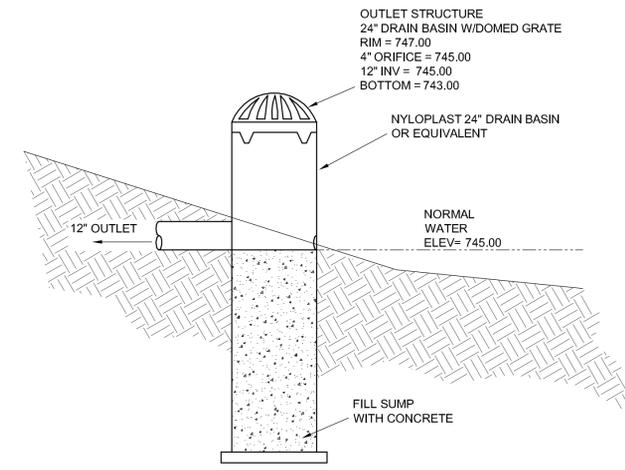
**NOTES:**  
1. THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUB-GRADE.  
2. LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.  
3. CURB SHALL BE PLACED ON A MINIMUM OF 6" OF DENSE GRADED BASE.

**I**  
**24" MOUNTABLE CURB AND GUTTER**

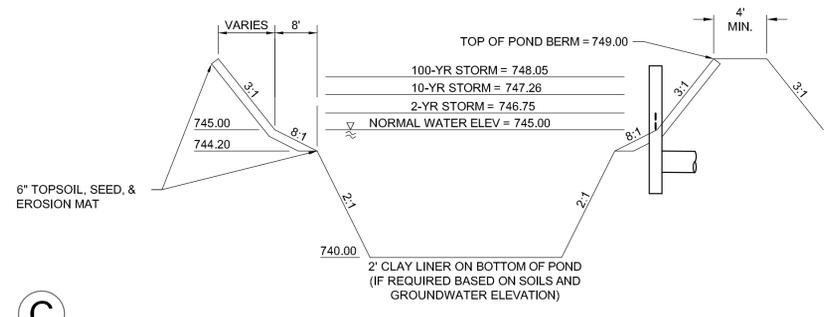
# UTILITY & GRADING DETAILS



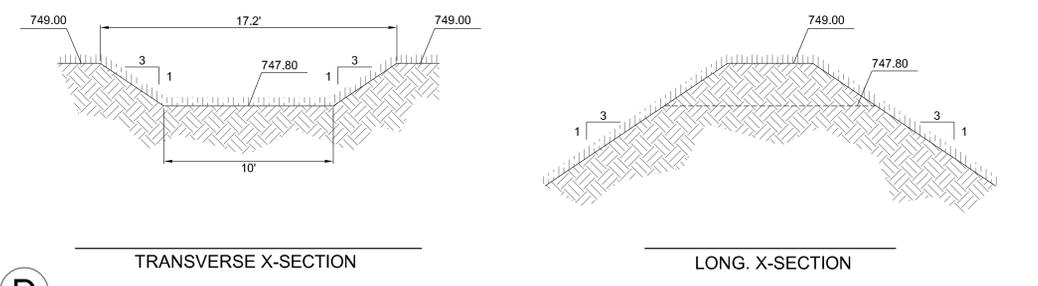
**A** STORM SEWER INLET (36" DIA.)



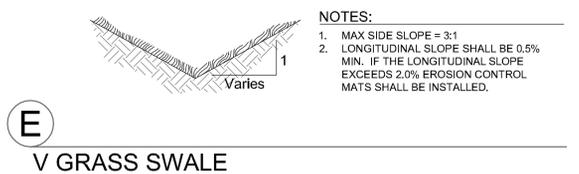
**B** POND OUTLET STRUCTURE



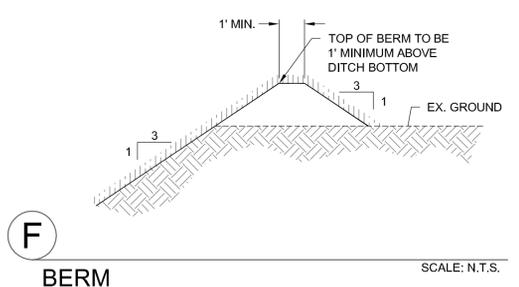
**C** DETENTION POND TYPICAL SECTION



**D** EMERGENCY OVERFLOW WEIR SCALE: N.T.S.



**E** V GRASS SWALE



**F** BERM SCALE: N.T.S.

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MILMIRON Building Excellence

BUILDING ADDITION FOR:  
HAEN MEAT PACKING ADDITION  
KAUKAUNA, WISCONSIN

date: 11/14/2021  
job: 21-091  
d. by: SAH  
rev.:

C-7.1

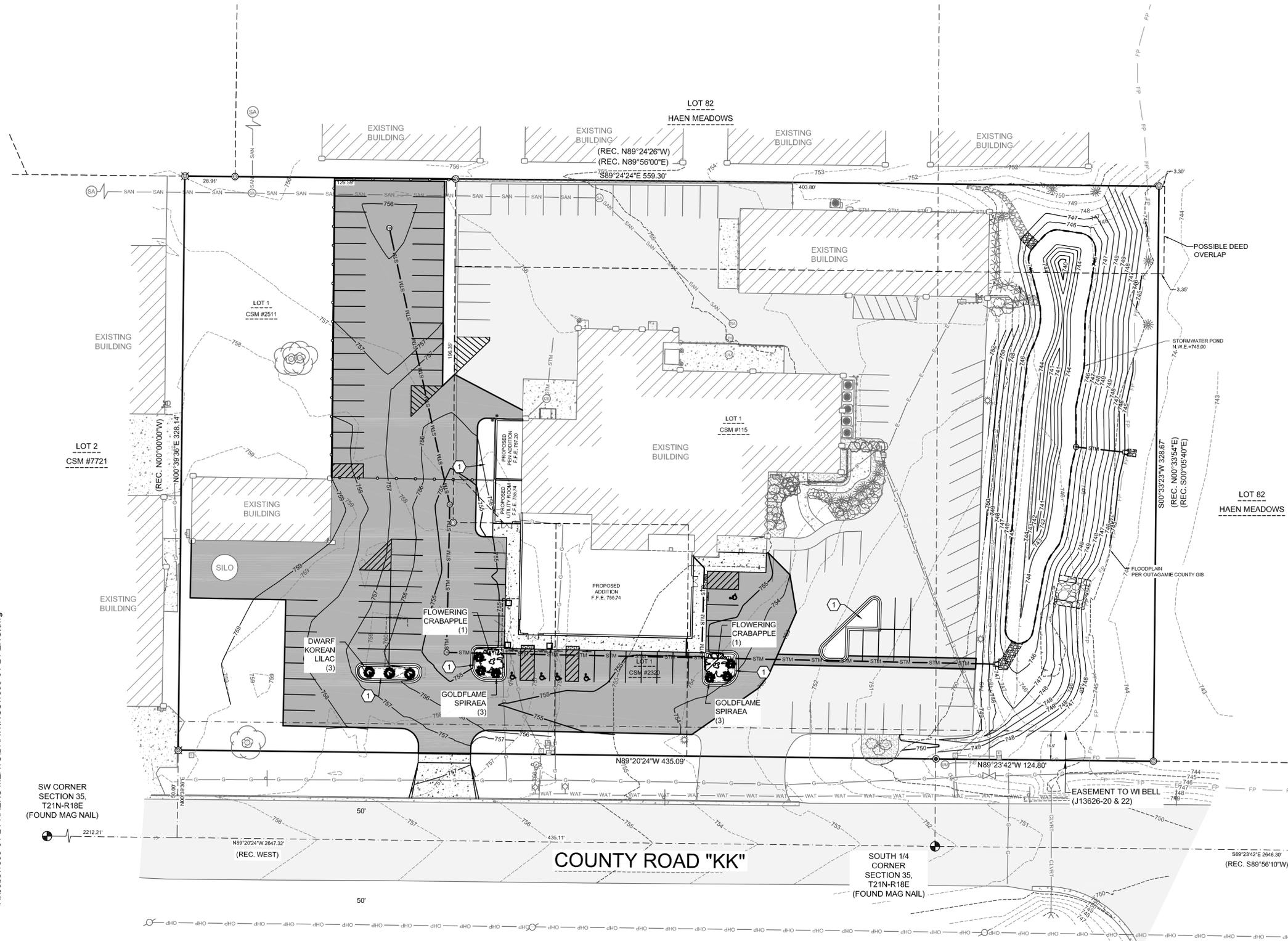
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Project Number: 1865-01-21

# LANDSCAPE PLAN

## SHEET KEY NOTES:

- ① STONE MULCH, 3" THICK, WITH WEED BARRIER FABRIC; MATCH EXISTING STONE MULCH



## LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.

## PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
①	FLOWERING CRABAPPLE	MALUS 'ROSACEAE'	2	11/4"
③	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALABIN'	3	3-4'
③	GOLDFLAME SPIRAEA	SPIRAEA X BUMALDA 'GOLDFLAME'	3	3 GAL.



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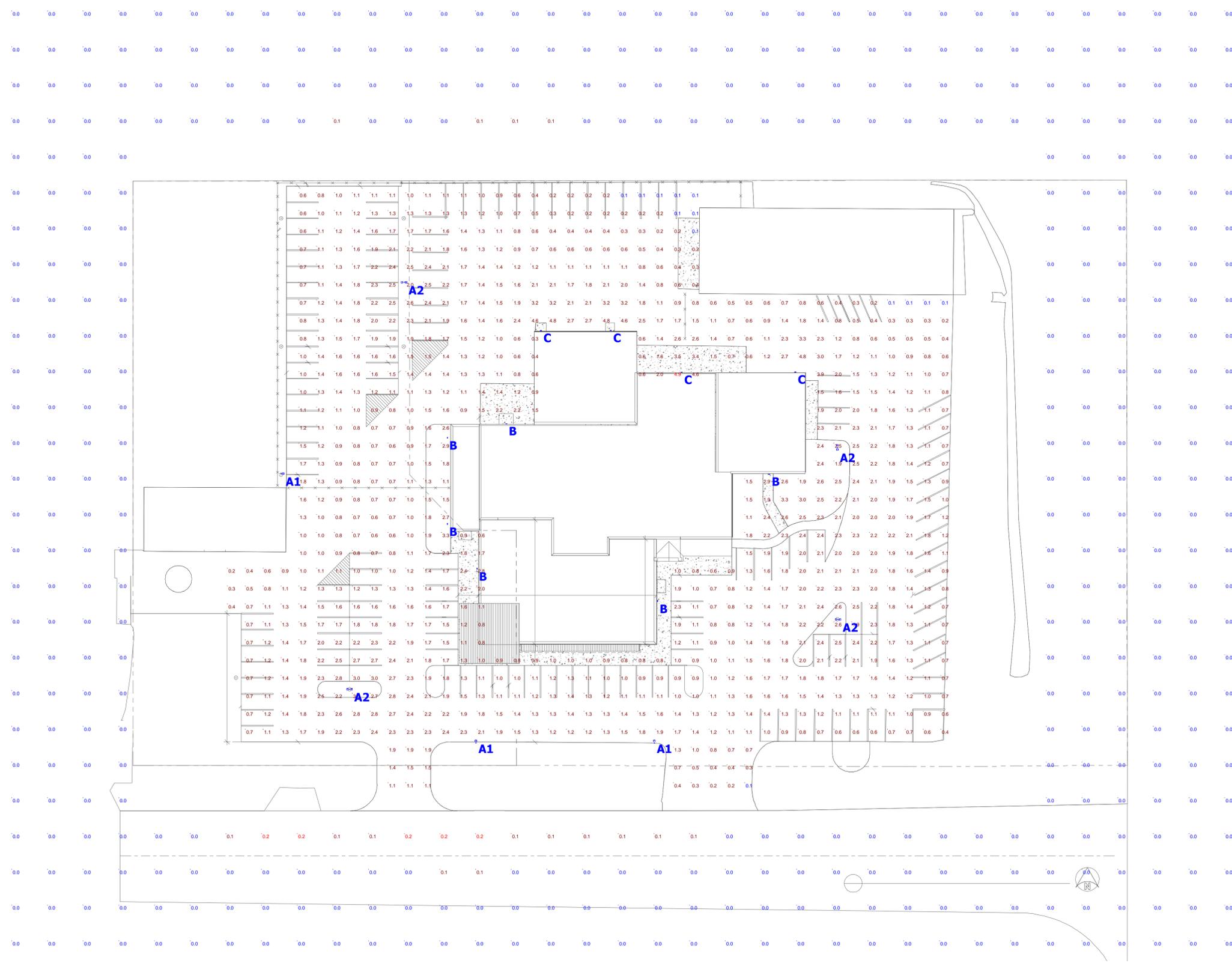
BUILDING ADDITION FOR:  
**HAEN MEAT PACKING ADDITION**  
 KAUKAUNA, WISCONSIN

date: 11/14/2021  
 job: 21-091  
 d. by: SAH  
 rev.: \_\_\_\_\_

**L-1.0**

Symbol	Label	Quantity	Manufacturer	Catalog Number
	A1	3	Lithonia Lighting	RSX2 LED P1 40K R3 MVOLT SPA DBBXD w\ 30FT POLE ON 3FT BASE
	A2	4	Lithonia Lighting	RSX2 LED P1 40K R5S MVOLT SPA DBBXD w\ 30FT POLE ON 3FT BASE
	B	6	Lithonia Lighting	WPX1 LED P2 40K Mvolt
	C	4	Lithonia Lighting	TWX2 LED ALO 40K
	D	0	Lithonia Lighting	TWX1 LED ALO 40K

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside Lot	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	4.9 fc	0.1 fc	49.0:1	14.0:1



Plan View

Designer
Date
11/30/2021
Scale
Not to Scale
Drawing No.
Summary