

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
Municipal Services Building  
144 W. Second Street, Kaukauna



Thursday, March 23, 2023 at 4:00 PM

## AGENDA

1. Roll Call.
2. Approval of Minutes.
  - [a.](#) Approve Minutes from February 23, 2023 Meeting
3. Public Hearing.
  - [a.](#) Special Exception Request - Legacy Creekside Apartments; Parcel 322095500
4. New Business.
  - [a.](#) Special Exception Request - Legacy Creekside Apartments; Parcel 322095500
  - [b.](#) Site Plan Review - Municipal Pool
  - [c.](#) Preliminary Plat Review - Hurkman Heights 4
  - [d.](#) Outdoor Alcoholic Beverage Area Permit Review - Alternative Entrance; 313 Dodge
5. Other Business.
6. Adjourn.

## NOTICES

**IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.**



## \* AMENDED PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
 Municipal Services Building  
 144 W. Second Street, Kaukauna

Thursday, February 23, 2023 at 4:00 PM

### MINUTES

#### In-Person and remote teleconference via ZOOM

#### 1. Roll Call.

Members present: Michael Avanzi, DPW John Neumeier, Mayor Tony Penterman, Ken Schoenike, Pennie Thiele

Member(s) absent: Giovana Feller, John Moore

Other(s) present: Brian Roebke, Times Villager; David Evers, owner of parcel 030067904; PCDD Joe Stephenson, Associate Planner Lily Paul

Schoenike made a motion to excuse the absent members. Avanzi seconded the motion. The motion passed unanimously.

#### 2. Approval of Minutes.

##### a. Approve Minutes from February 9, 2023 Meeting

Neumeier made a motion to rescind his motion on item 3 c of the February 9, 2023 Meeting Minutes. Thiele seconded the motion. All voted aye, 5-0 vote.

Thiele made a motion to approve the minutes as amended, Neumeier seconded the motion. Motion passed unanimously.

#### 3. New Business.

##### a. ~~Public Hearing – Special Exception Request; Legacy Creekside Apartments~~

*Due to weather conditions, the public hearing was not acted upon.*

##### b. CSM Review – Commerce Crossing, Evergreen Drive

Associate Planner, Lily Paul presented a certified survey map for the City of Kaukauna that will split parcel 322095700. This CSM is intended to split the large ~15 acre parcel into 3 smaller parcels. These parcels will accommodate the Reserve Development (Lot 1, ~11 acres) and Grand Stay Hotel Development (Lot 3, ~2 acres), leaving one parcel (Lot 2, ~1.9 acres) for future development. DPW Neumeier questioned if Lot 2 was needed for the Reserve Development. PCDD Stephenson said no, and that parcel is large enough for another development.

Neumeier made a motion to approve the CSM and recommend the same to Council. Schoenike seconded the motion. Motion passed unanimously.

c. Discussion – Best use for Parcel 030067904; Corner of CTH CE & HH

AP Paul started the discussion by mentioning that Parcel 030067904, which is located on the North East corner of intersection CTH CE and CTH HH, has been presented to plan commission to possibly be annexed into the City of Kaukauna. Unfortunately, the proposed use, a duplex, is not a great fit for the location due to extensive work to bring water and sewer to the area, and highway setbacks. To avoid bringing utilities to the parcel, it would be wise to find an alternative use for this property. Would public use, like a park and beautification be the best for the area? It has great access off of the CE Trail, and is right on the border of the city limits. There was discussion about cost, and the main users of this area. The owner of the property thinks letting go of the property would benefit both parties. Overall, instead of a vacant parcel or dangerous location for a duplex, creating a beautiful feature as a way to welcome visitor to the city should be explored.

A motion was made by Schoenike to direct staff to put together a concept of a park on the parcel. Neumeier seconded the motion. Motion passed unanimously.

4. Other Business.

Kaukauna will continue to encourage EV Charging locations.

5. Adjourn.

Thiele made a motion to adjourn the meeting. Schoenike seconded the motion. All members present voted aye. Meeting adjourned at 4:27 PM.



# MEMO

## PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission  
 From: Associate Planner Lily Paul  
 Date: February 6, 2023  
 Re: Special Exception Request – Legacy Creekside Apartments

Keith Duquaine has submitted an application for a Special Exception Permit for parcel 322095500, located at 950 E Evergreen Drive in Commerce Crossing. The parcel is zoned Commercial Highway District (CHD). The parcel is owned by Duquaine Development.

The applicant is proposing to construct a multi-family complex on the vacant lot. The new development will include 175 living units and over 368 combined indoor and outdoor parking. There will be five buildings, for a proposed total of 2.17 acres of roof area, which is about 18.47% of the lot area. The buildings will be 41 feet 2 1/8 inches tall.

The City of Kaukauna Code of Ordinances, Section 17.22 (4)(e) allows multi-family within the CHD:

**17.22 CHD Commercial Highway District**

**4. Special exception uses and structures.**

*e. Uses permitted in Residential Multifamily Zoning (RMF). If RMF is the primary use of the site, all applicable standards and requirements from section 17.19 shall apply.*

**Recommendation:**

Finding the special exception to meet all the criteria set forth in Section 17.47 (4) of the City Municipal Code, staff recommends the approval of the special exception to the Plan Commission and same to the Common Council.



UPDATED 3.21.2022



## CITY OF KAUKAUNA PLAN COMMISSION

### APPLICATION FOR REVIEW

I am requesting a:

Zoning Change

Special Exception Permit

Certified Survey Map Review

Subdivision Plat Review

#### Petitioner Information:

Name: *Dugaine Development*Address: *4329 Nicolet Drive Green Bay, WI. 54311*Phone Number: *262-302-1675*

Owner's Name (if not the petitioner):

Owner's Address:

Address of Parcel in Question: *950 East Evergreen Drive Kaukauna*Property Dimensions (in either SF or Acres): *11.75 acres +/-*

Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property:

*Multi family Development*

**Additional Requirements:** For Certified Survey Map and Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines and streets with distances to each. For Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. For Zoning Change requests that would result in split zoning (or two zoning classifications on one parcel), a professionally drawn map meeting the standards above is also required. Additional information may also be requested as may be appropriate per the proposal being made.

**Plan Commission Review Fee Schedule:**

Lot Division by Certified Survey Map (1-4 lots)	\$10/lot based on total lots
Subdivision Review (5+ lots)	\$200
Special Exception Permit	\$100
Rezoning/Zoning Change	\$100
Variance to Subdivision Ordinance	\$50
Planned Unit Subdivision Ordinance	\$200

**Please Note:** Changes to zoning ordinances, special exception permits and map/plat reviews often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

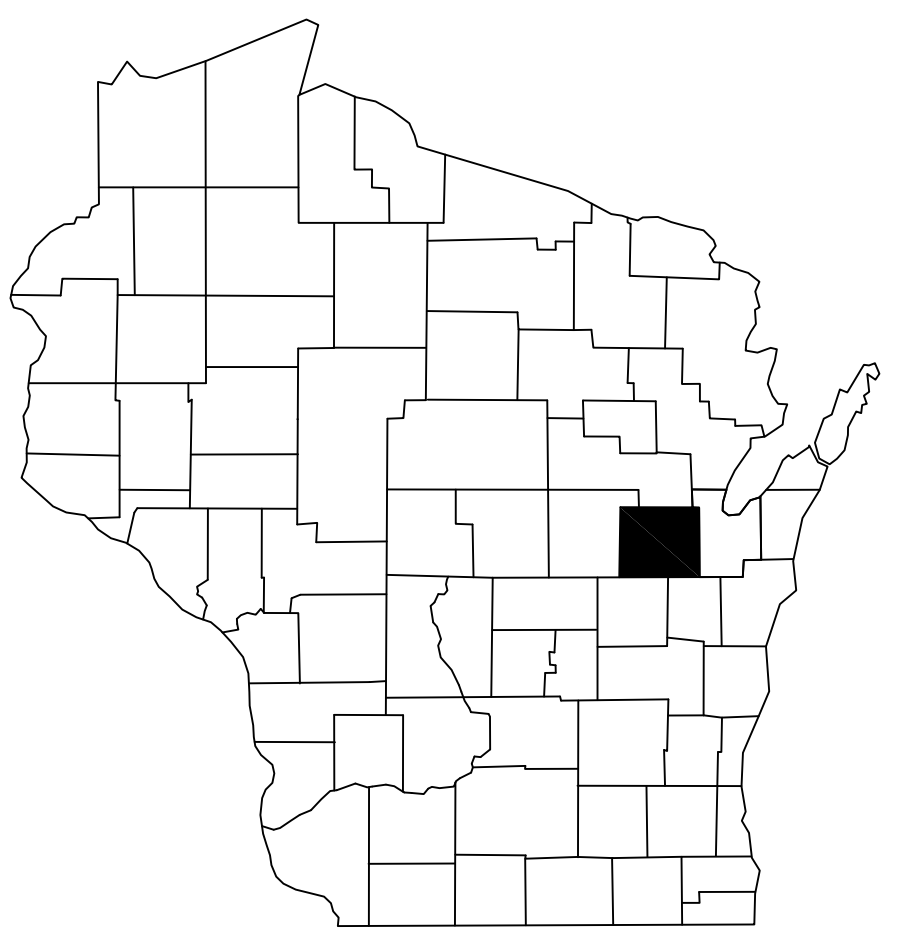
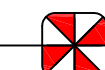
**Signature of Petitioner:** *Keith Dugan*

**Signature of Owner (if not Petitioner):**

**Date Submitted to City of Kaukauna:** *11/26/2023*

Please submit by email to [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) or by mail to City of Kaukauna, Attn: Plan Commission, P.O. Box 890, Kaukauna, WI 54130





# DUQUAINE DEVELOPMENT

## THE LEGACY CREEKSIDE APARTMENTS, LLC

### CITY OF KAUKAUNA

#### PROJECT INFORMATION

OWNER(S):	DUQUAINE DEVELOPMENT
PROJECT NAME:	THE LEGACY CREEKSIDE APARTMENTS, LLC
PROJECT DESCRIPTION:	175 UNIT APARTMENT BUILDING SITE WITH ATTACHED GARAGES AND EXTERIOR PARKING.
PROJECT LOCATION:	EVERGREEN DRIVE, WEST OF ARBOR WAY
PARCEL NUMBER(S):	322095500

#### CONTACT INFORMATION

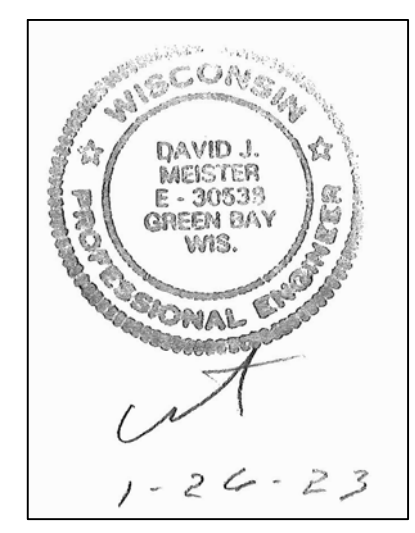
OWNER(S):	DUQUAINE DEVELOPMENT ATTN.: KEITH DUQUAINE, PH.: 920-371-1973 ATTN.: JAKE HOFMANN, PH.: 920-371-8834 4329 NICOLET DRIVE GREEN BAY, WI 54311
ENGINEER:	MAU & ASSOCIATES, LLP CONTACT: DAVID J. MEISTER, P.E. PH.: 920-434-9670 400 SECURITY BLVD. GREEN BAY, WI 54313

SITE STATISTICS:	EXISTING SITE (ACRE)	PROPOSED (ACRE)
SITE		
ROOF AREA:	0	2.17 (18.47%)
PAVED AREA:	0	2.62 (22.30%)
GREEN AREAS:	9.99 (85.02%)	5.20 (44.25%)
WATER BODY:	1.76 (14.98%)	1.76 (14.98%)
IMPERVIOUS AREA:	0	4.79 (40.77%)



SHEET INDEX:
C1.0 TITLE SHEET
C2.0 SITE LAYOUT PLAN
C3.0 EROSION CONTROL PLAN
C4.0 GRADING PLAN
C5.0 SITE UTILITY PLAN
C6.0 NOTES & DETAILS
C7.0 PLANS FOR DSPS
C8.0 EXISTING WATERSHED
C9.0 PROPOSED WATERSHED
C10.0 LANDSCAPE PLAN
1 of 1 SITE SURVEY

*Mau & Associates*  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

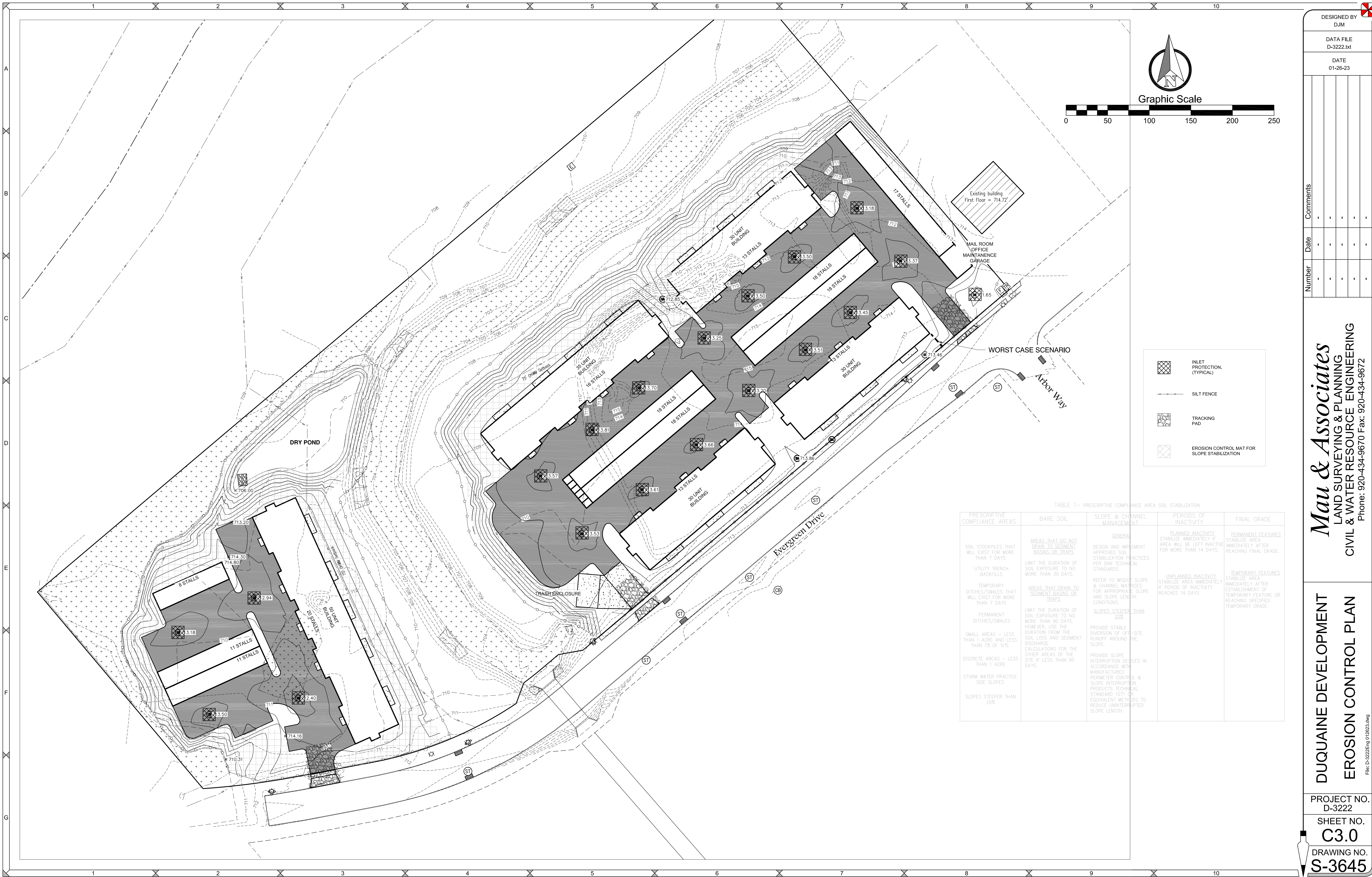


DATE:	01-26-23
PROJECT NO.	D-3222
SHEET NO.	C1.0
DRAWING NO.	S-3645









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**DUQUAINE DEVELOPMENT**  
**EROSION CONTROL PLAN**

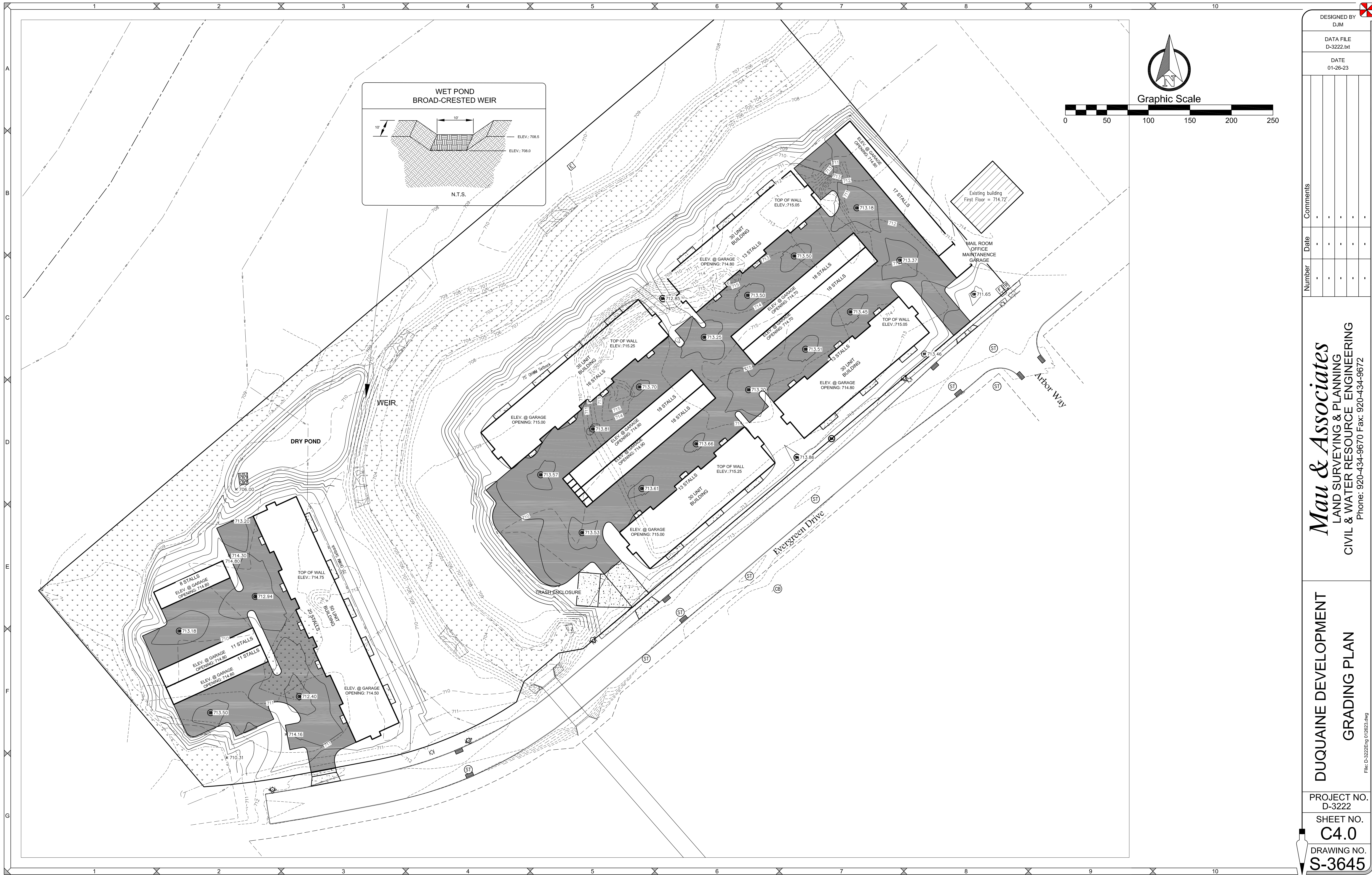
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**SHEET NO.**  
**C3.0**

**DRAWING NO.**  
**S-3645**

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**Mau & Associates**  
LAND SURVEYING & PLANNING  
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Phone: 920-434-9670 Fax: 920-434-9672

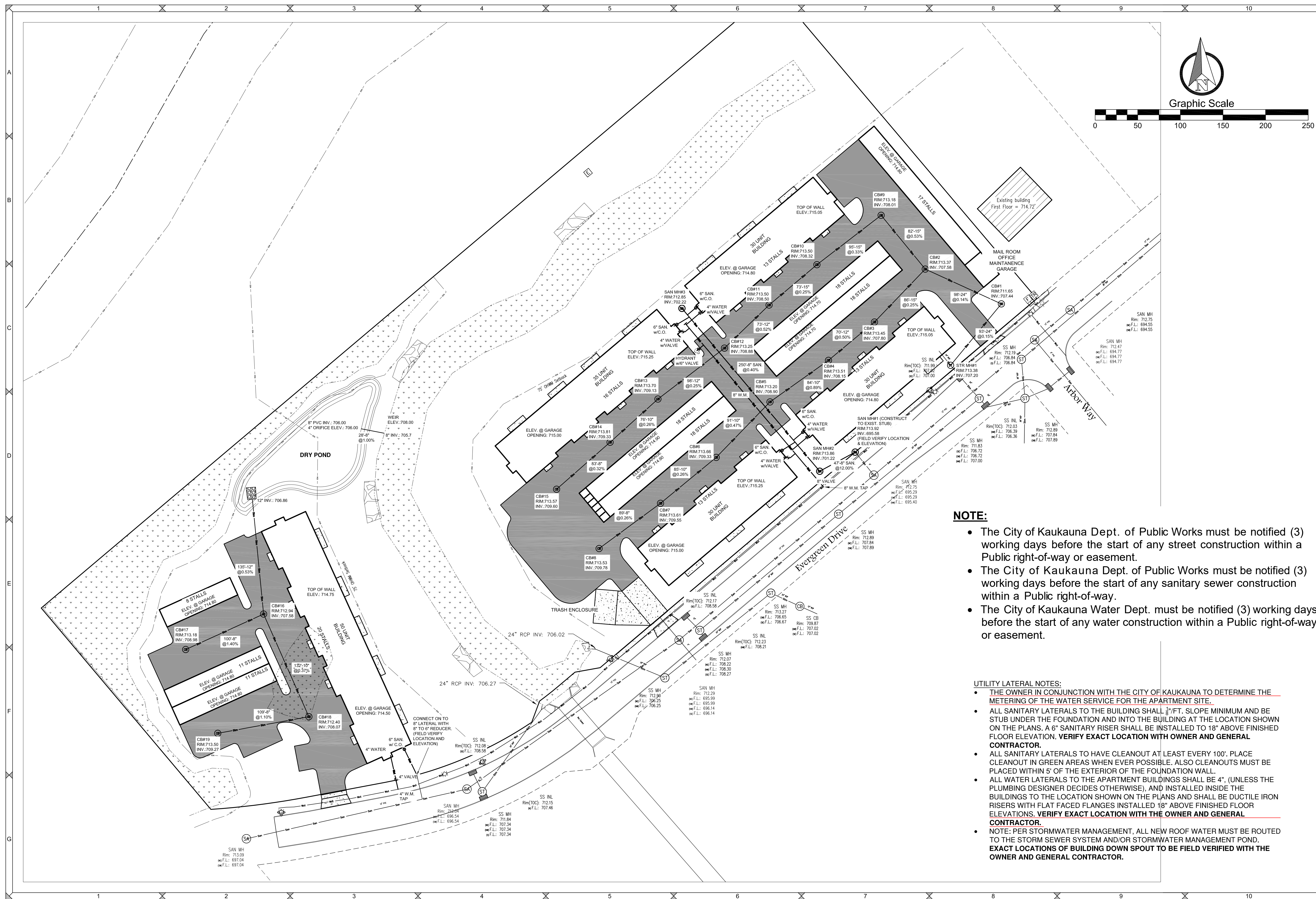
**DUQUAINE DEVELOPMENT  
GRADING PLAN**

PROJECT NO.  
D-3222

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DUQUAINE DEVELOPMENT  
SITE UTILITY PLAN

PROJECT NO.  
D-3222

SHEET NO.

**C5.0**DRAWING NO.  
**S-3645**

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**CONSTRUCTION SITE EROSION CONTROL**

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

**SEDIMENT TRACKING FROM CONSTRUCTION SITE:**

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057

STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES. WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.

- STREET SWEEPING/CLEANING

SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

**SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:**

- SILT FENCE - TECHNICAL STANDARD 1056

SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.

- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058

DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.

- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052

EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.

- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066

WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

**SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:**

- DEWATERING - TECHNICAL STANDARD 1061

DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

**SEDIMENT ENTERING STORM DRAIN INLETS:**

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060

ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

**SEDIMENT BEING CARRIED OFF-SITE BY WIND:**

- DUST CONTROL - TECHNICAL STANDARD 1068

WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

**CONCRETE WASHOUT**

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

**INSPECTION AND MAINTENANCE**

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

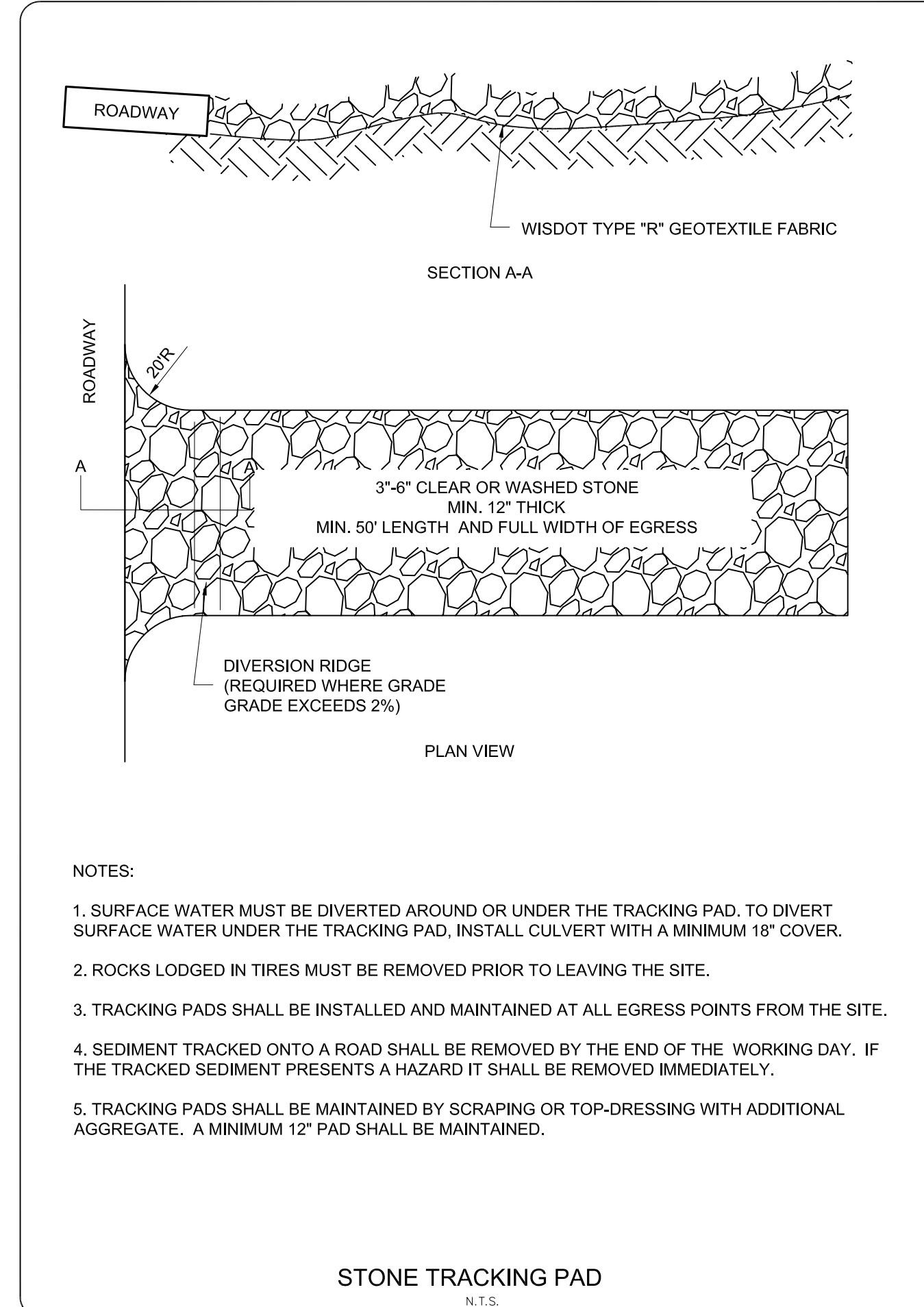
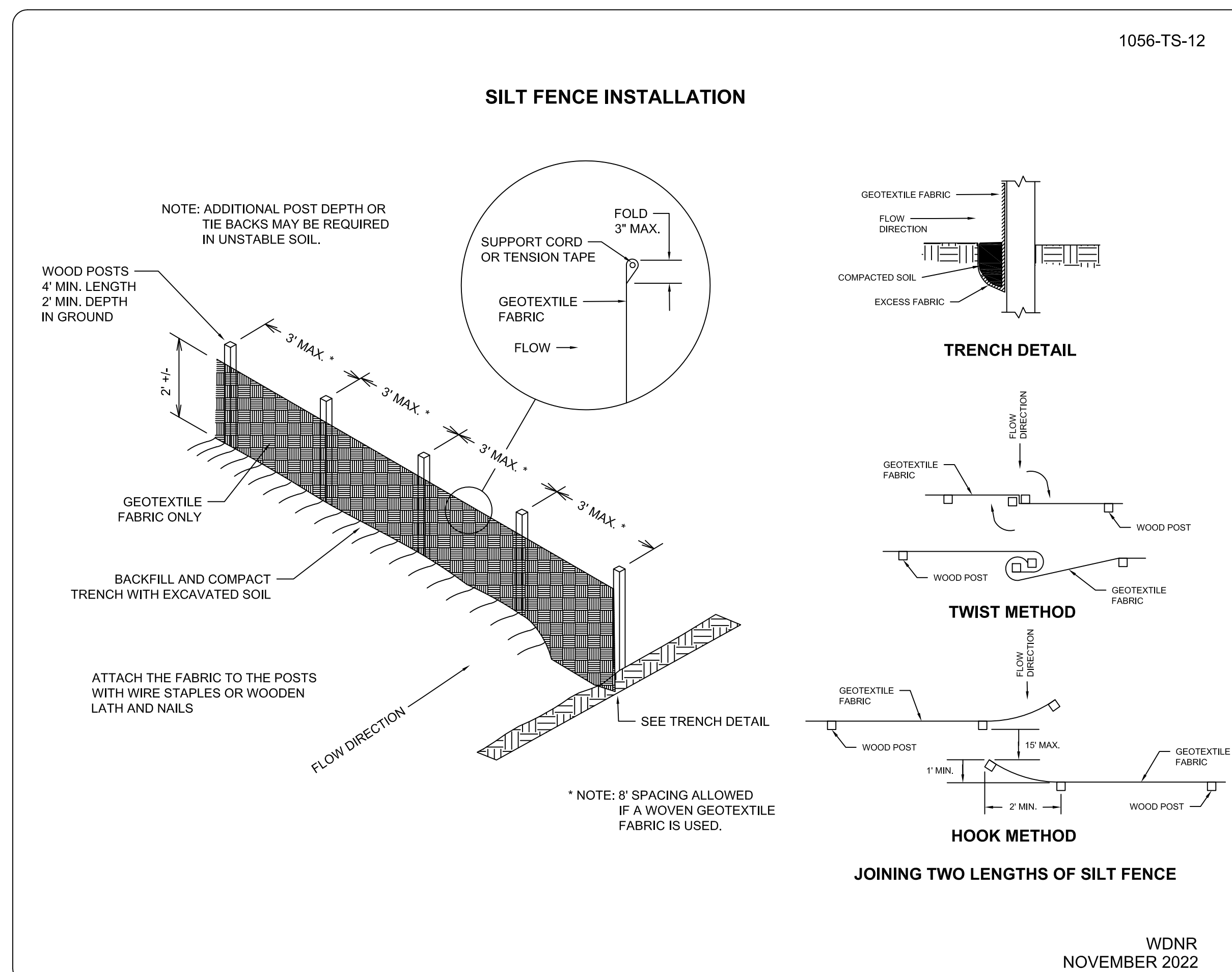
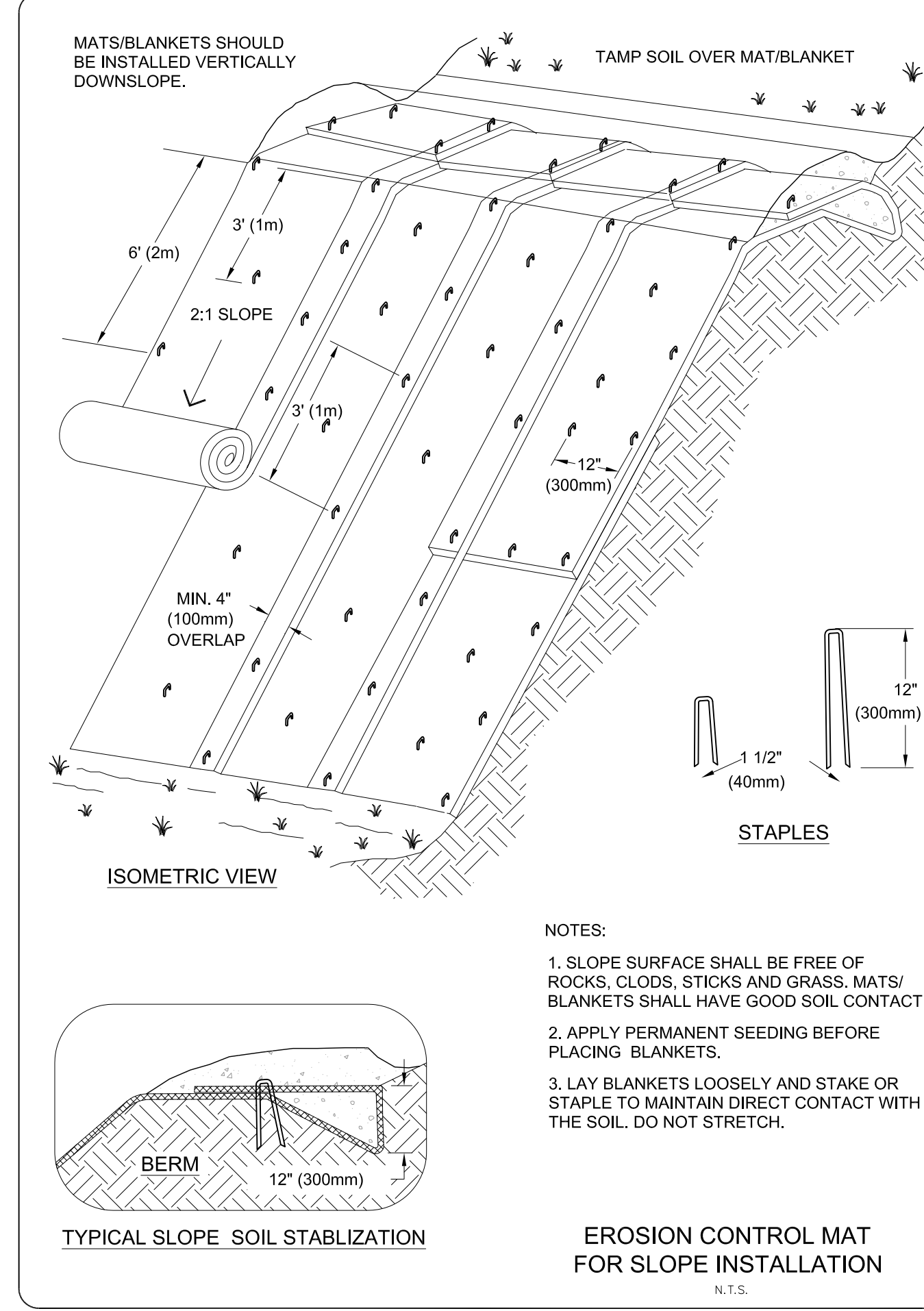
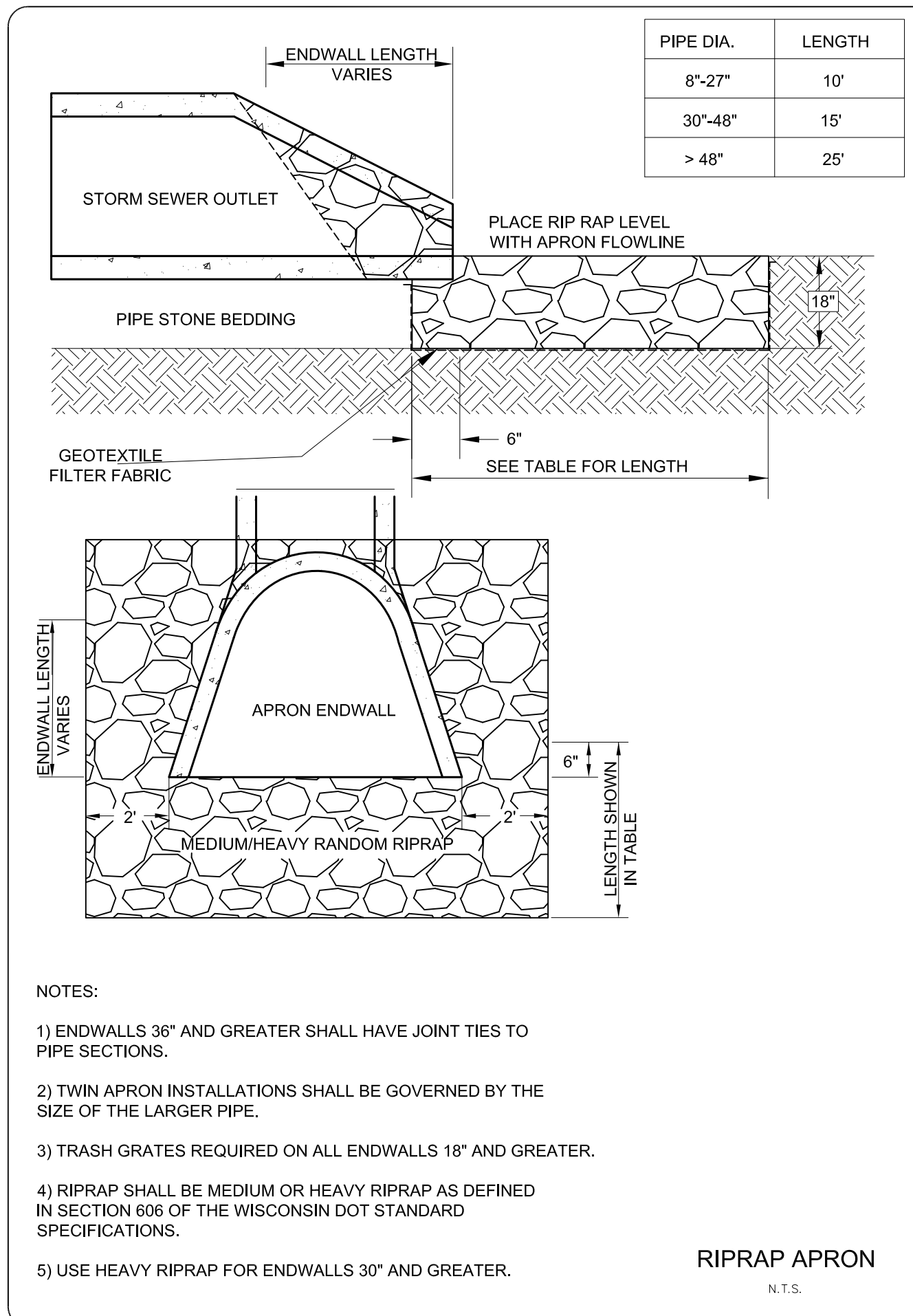
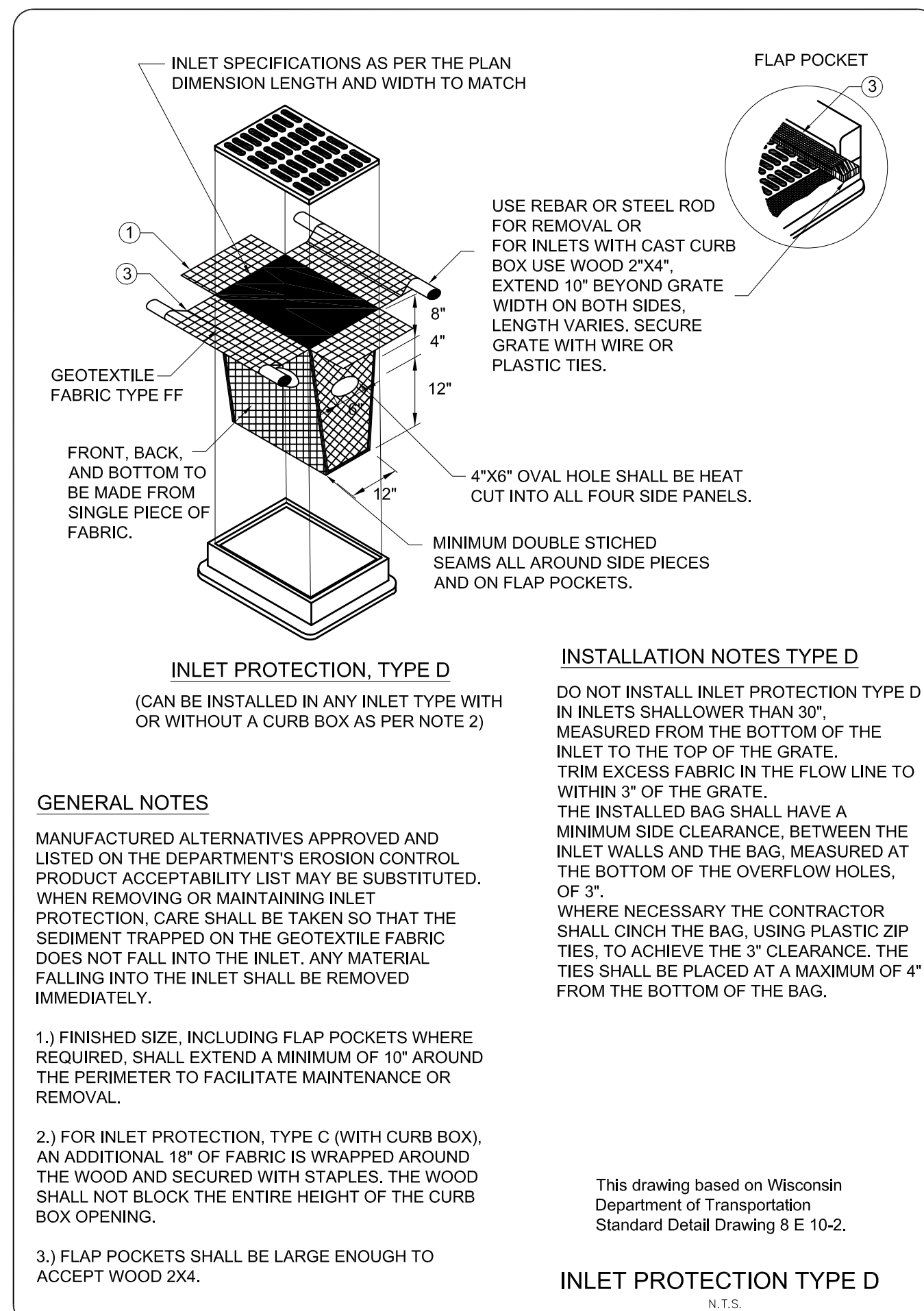
A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

WEEKLY INSPECTIONS AND RAIN EVENT REPORTS SHOULD BE SENT TO "ErosionControl@greenbay.gov"

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING GARNERS CREEK.

DESIGNED BY  
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01-26-23

Number	Date	Comments
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**Mau & Associates**  
LAND SURVEYING & PLANNING  
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**DUQUAINE DEVELOPMENT**  
**NOTES & DETAILS**

PROJECT NO.  
D-3222

SHEET NO.

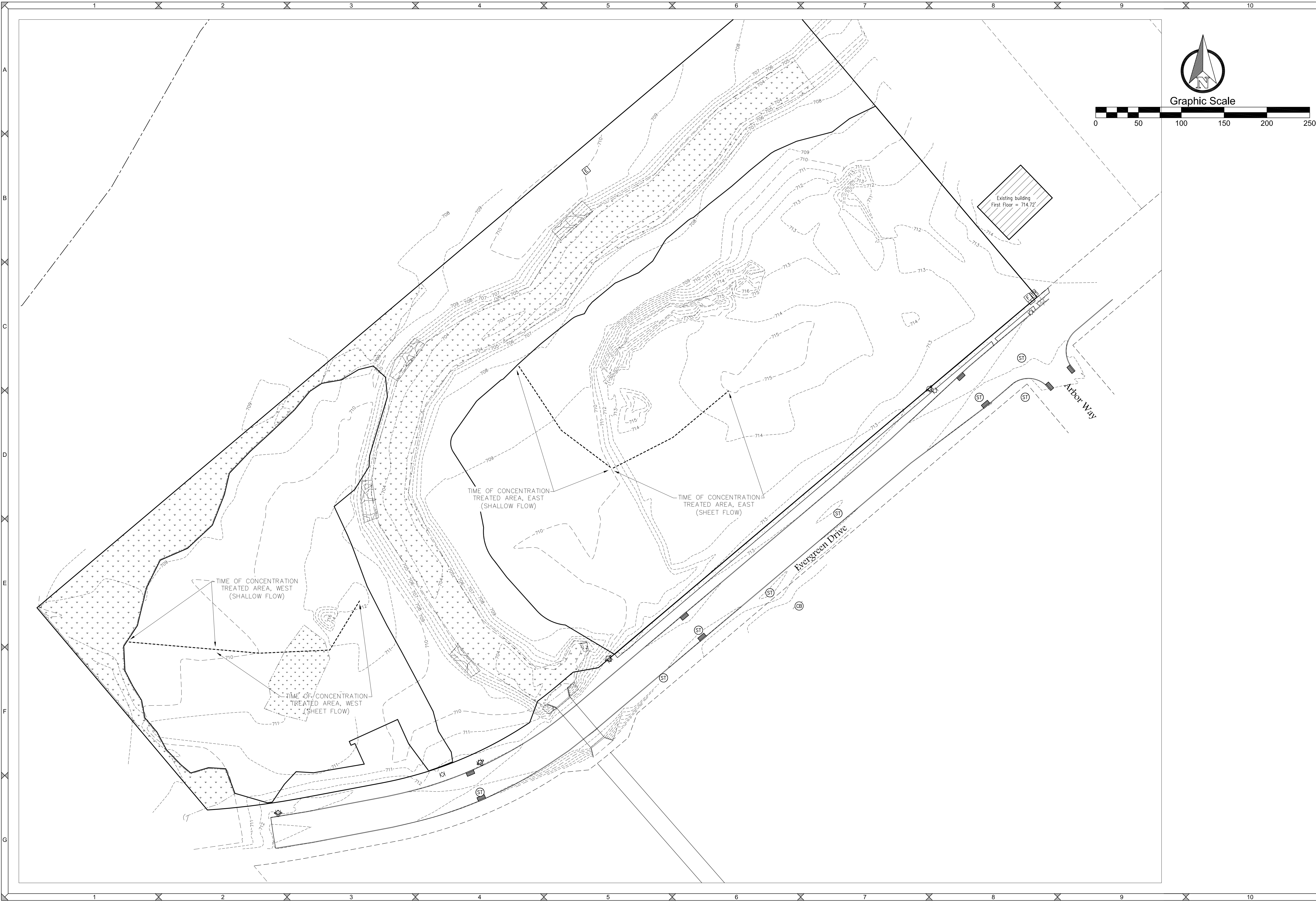
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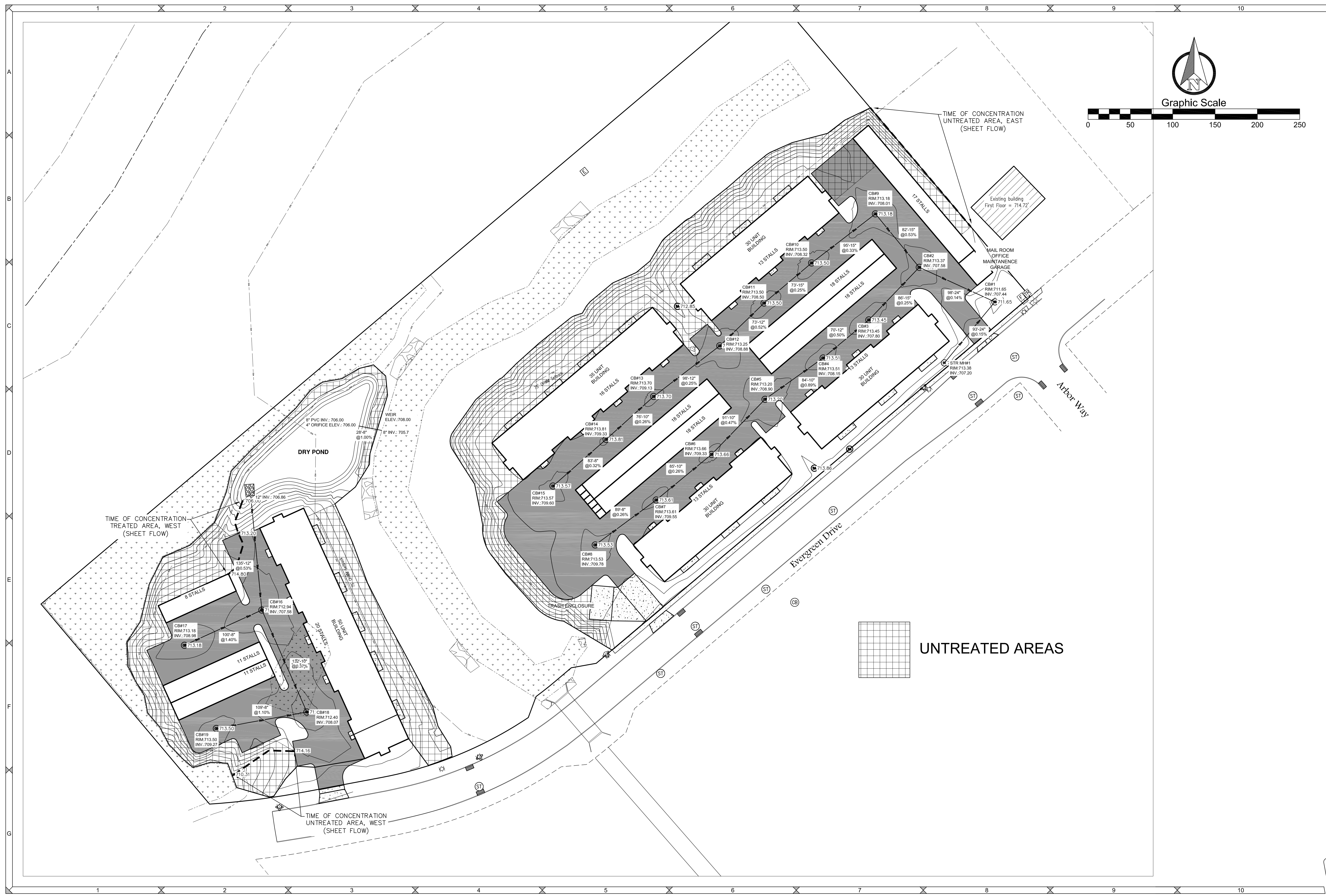
**DUQUAINE DEVELOPMENT**  
**EXISTING WATERSHED**  
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PROJECT NO.  
D-3222

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DRAWING NO.  
**S-3645**





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**DUQUAINE DEVELOPMENT**  
**PROPOSED WATERSHED**  
File: D-3222Eng 012623.dwg

PROJECT NO.  
D-3222

SHEET NO.  
**C9.0**

DRAWING NO.  
**S-3645**









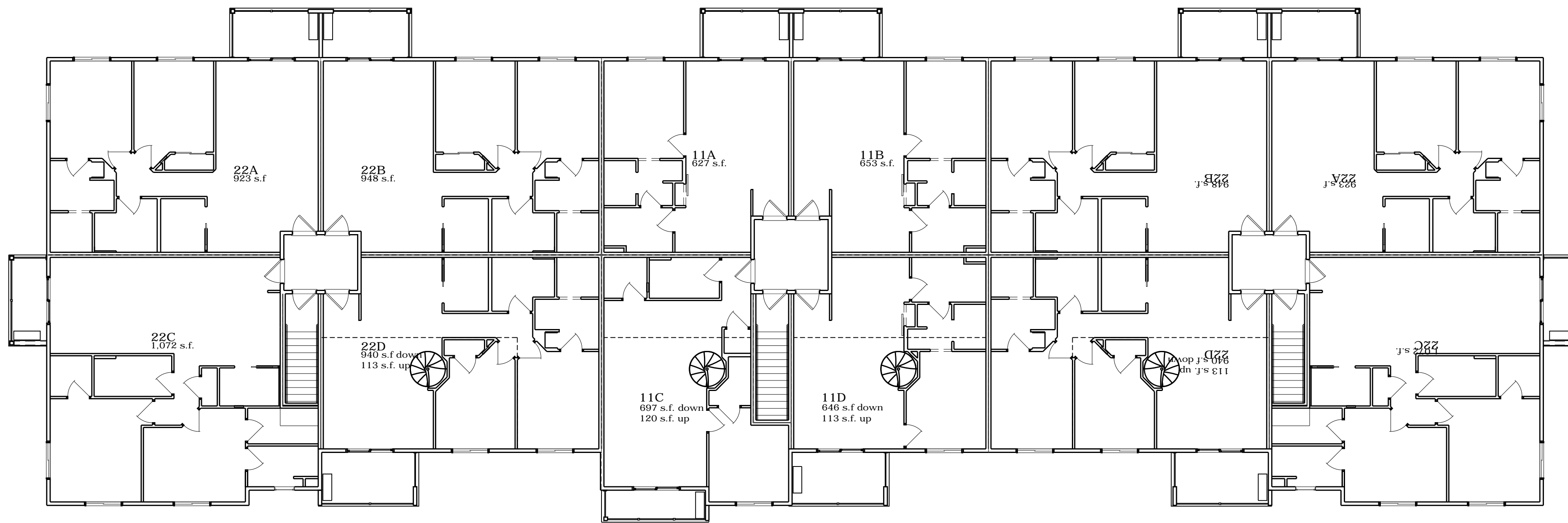




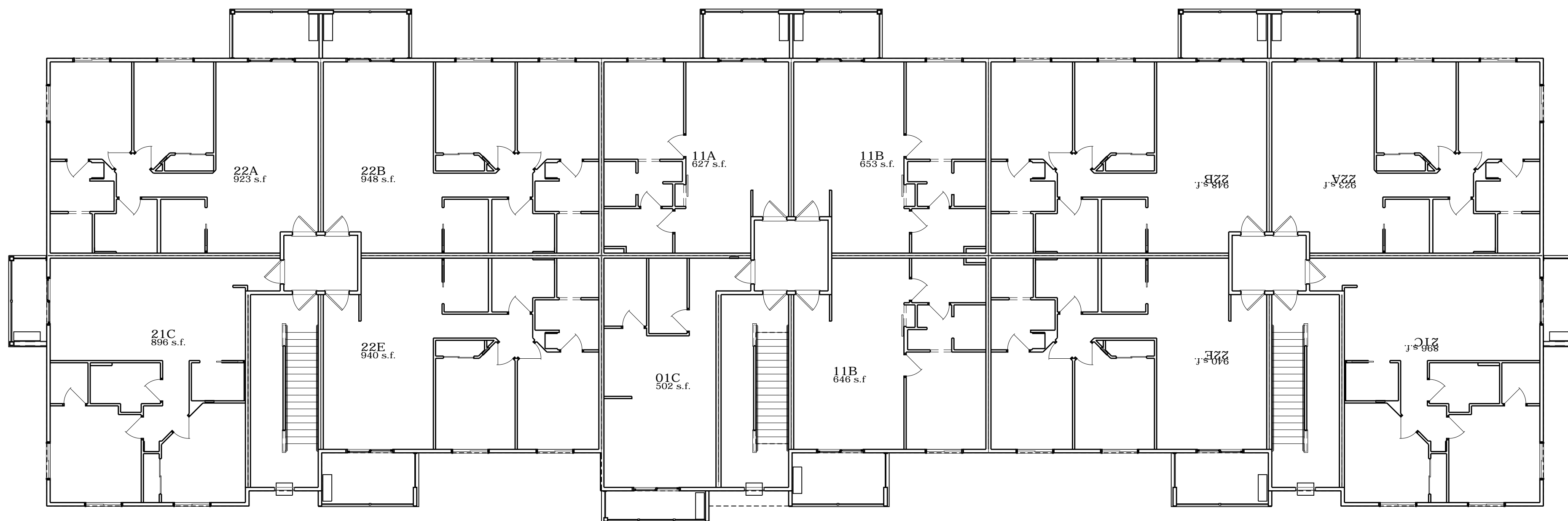
**212 BUILDING**  
**30 Unit 3 Story + Mezzanine**



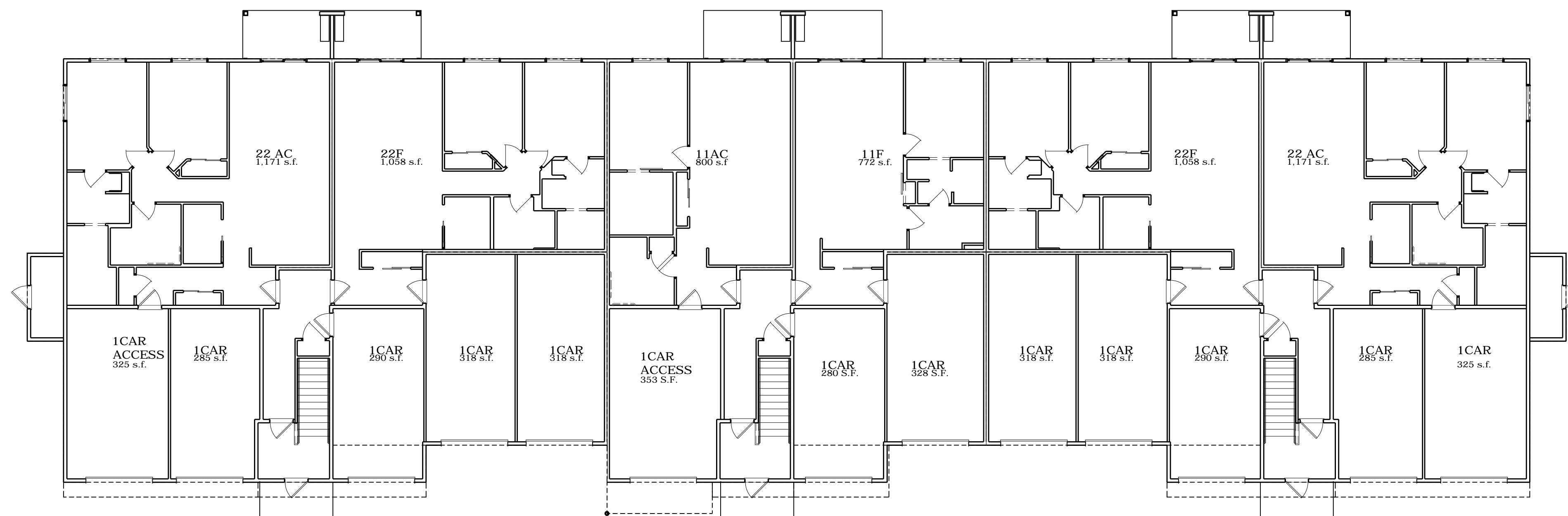
THIRD FLOOR  
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SECOND FLOOR  
SCALE: 3/32" = 1'-0"



FIRST FLOOR  
SCALE: 3/32" = 1'-0"



## 212 BUILDING

### 30 Unit 3 Story W/ LOFT



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Associate Planner Lily Paul  
Date: March 17, 2023  
Re: Site Plan Review – Municipal Pool

The current facility was constructed in 1991. Due to the age of the complex, the City evaluated current and future repair costs versus replacement of facilities, to ensure the best use is made of public funding. In 2020, Staff began working with Parkitecture + Planning, LLC to develop a Master Plan for the facility moving into the future.

This new project brings in new concepts, amenities, and an updated site plan. An additional waterslide, aqua climbing wall, in-water feature, multiple shade structures, 18-hole Mini-golf course, bathhouse/mechanical buildings and Splash Pad will be added to the existing vessel to create a regional destination.

### Site Plan Review

#### *Site/Architectural*

This is within the institutional Zoning. Setbacks are being met throughout the entire site. The splash pad and mini-golf will be built into the hill going toward the north property line. The new main building will stay within the same area that the existing building is located. The façade of the proposed building uses wood siding and 2 types of smooth face concrete masonry units (CMU), and 2 types of smooth panel siding all in the grey color family. The roof will be metal giving it the longest life, and modern look. The color of the roof is copper penny which resembles a rustic orange and fits well with Kaukauna's orange school colors and city logo. One rendition of the city logo will be featured on the front of the building. There is a smaller building next to the splash which includes additional bathrooms and a mechanical room. That is a simple grey, smooth masonry building with a graphite colored, metal roof. Some nice additions are shade canopies, umbrellas, benches, and picnic tables. Something to consider is a matching the colors of these features with the City Brand Colors. Currently, a royal blue, lime green and purple are used for those features. There are 32 proposed parking spots between the upper and lower lots on site.



*Landscape*

The landscaping plan meets all requirements with over 15 canopy trees (1 tree per 75 linear feet) in the front yard setback. There is at least one shrub, or a planter bed, for every 5 feet of building street frontage. Many existing trees are helping to meet the landscaping requirement. The planter beds shall be planted with perennial and annual plants for additional beautification.

*Lighting*

There is no proposed additional lighting.

*Stormwater*

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

**Recommendation:**

**Staff recommends to approve the site plan for The Municipal Pool with the following conditions:**

- **Prior to issuance of building permits, must obtain Storm Water and Erosion Control permits from Engineering Department**





## SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: City of Kaukauna	Name:
Mailing Address: <b>144 W. 2nd St</b>	Mailing Address:
Phone: 920-766-6330	Phone:
Email: tvosters@kaukauna-wi.org	Email:

PROPERTY INFORMATION	
<b>Described the Proposed Project in Detail:</b> <small>The current facility was constructed in 1991. Due to the age of the complex, the City evaluated current and future repair costs versus replacement of facilities, to ensure the best use is made of public funding. In 2020, Staff began working with Parkitecture + Planning, LLC to develop a Master Plan for the facility moving into the future.</small> <small>This new project brings in new concepts, amenities, and an updated site plan. An additional waterslide, aqua climbing wall, in-water feature, multiple shade structures, 18-hole Mini-golf course, bathhouse/mechanical buildings and Splash Pad will be added to the existing vessel to create a regional destination.</small>	
Property Parcel (#): <b>325021600</b>	
Site Address/Location: <b>607 Dodge Dt Kaukauna</b>	
Current Zoning and Use: <b>Institutional (IT)</b>	
Proposed Zoning and Use: <b>Institutional (IT)</b>	
Existing Gross Floor Area of Building: <b>4927 sf (Main) + 1664 sf (Mech)</b>	Proposed Gross Floor Area of Building: <b>10,330 sf (Main) + 514 sf (Splashpad)</b>
Existing Building Height: <b>20 feet (approx)</b>	Proposed Building Height: <b>24 feet (Main) + 11 feet (Splashpad)</b>
Existing Number of Off-Street Parking Spaces: <b>40</b>	Proposed Number of Off-Street Parking Spaces: <b>32</b>
Existing Impervious Surface Coverage Percentage: <b>72,168 sf</b>	Proposed Impervious Surface Coverage Percentage: <b>85,898 sf</b>

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: \_\_\_\_\_

Owner/Agent Name (printed): \_\_\_\_\_

## SITE PLAN REVIEW PROCEDURE

The Plan Review process is required for all new commercial, industrial or multifamily buildings, and building expansions/additions or structures.

Early in the process, consult the Site Application Checklist (below) for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed Site Plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various City departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

## SITE PLAN CHECKLIST

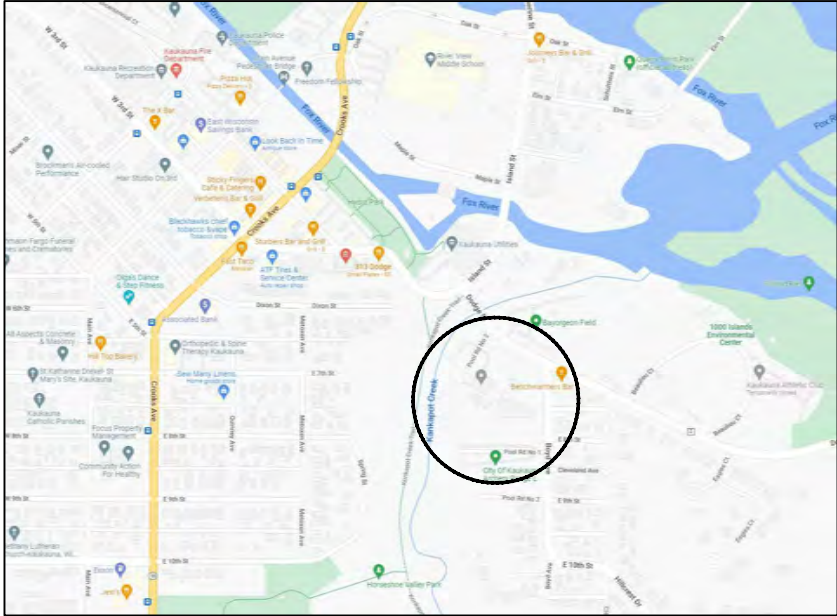
- ✓ Completed Site Plan application
- ✓ Completed [Erosion Control and Stormwater Management Permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site Plan set to include:
  - Site Plan layout and streets, including designated fire lanes
  - Utilities, grading, and drainage plan
  - Erosion control plan
  - Landscape and lighting plan
  - Architectural elevation and construction details
  - Floor plan set
  - Any other plans or information deemed necessary by the Planning and Community Development

## SITE PLAN SUBMISSION

1. Email to Lily Paul - [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org)
2. In-person drop off - City of Kaukauna, Attn: Lily Paul, 144 W. 2nd Street, Kaukauna, WI 54130

File: P:\21.039 Kaukauna Pool CDs\CAD\P-T.dwg Layout: T100 User: Katie Plotted: Mar 13, 2023 -- 12:35pm

PROJECT LOCATION MAP



PROJECT ADDRESS:  
Kaukauna Municipal Pool, 607 Dodge Street, Kaukauna, WI 54130

NTS

PROJECT OVERVIEW



SITE LOCATION PLAN

NTS

**CIVIL ENGINEER:**  
PARKITECTURE + PLANNING  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717  
608.438.4253

**LANDSCAPE ARCHITECT:**  
PARKITECTURE + PLANNING  
901 DEMING WAY, SUITE 102  
MADISON, WI 53717  
608.886.6808

**ARCHITECT:**  
ONE DESIGN & ENGINEERING, LLC  
202 ASH STREET  
CAMBRIDGE, WI 53523  
608.577.0443

**MECHANICAL, PLUMBING, ELECTRICAL:**  
HEIN ENGINEERING GROUP  
17 APPLGATE COURT, SUITE 200  
MADISON, WI 53713  
608.288.9260

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C101	EXISTING SITE PHOTOS
C102	EXISTING SITE PHOTOS
C110	EXISTING POOL PLANS - EXISTING BUILDING
C111	EXISTING POOL PLANS - POOL VESSEL
C112	EXISTING POOL PLANS - POOL VESSEL DETAILS
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KAUKAUNA POOL RENOVATION  
CITY OF KAUKAUNA  
KAUKAUNA, WI  
PROJECT NUMBER 21.039



**PARKITECTURE + PLANNING**  
901 Deming Way, Suite 102  
Madison, WI 53717  
608.886.6808

**ONE DESIGN & ENGINEERING**  
Est. 2020  
202 Ash St. Cambridge, WI 53523 • 608.577.0443 • www.onedte.com

Project Name:  
**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Revisions:

Project #: 21.039  
Issued For: Review  
Date: 3/13/2023

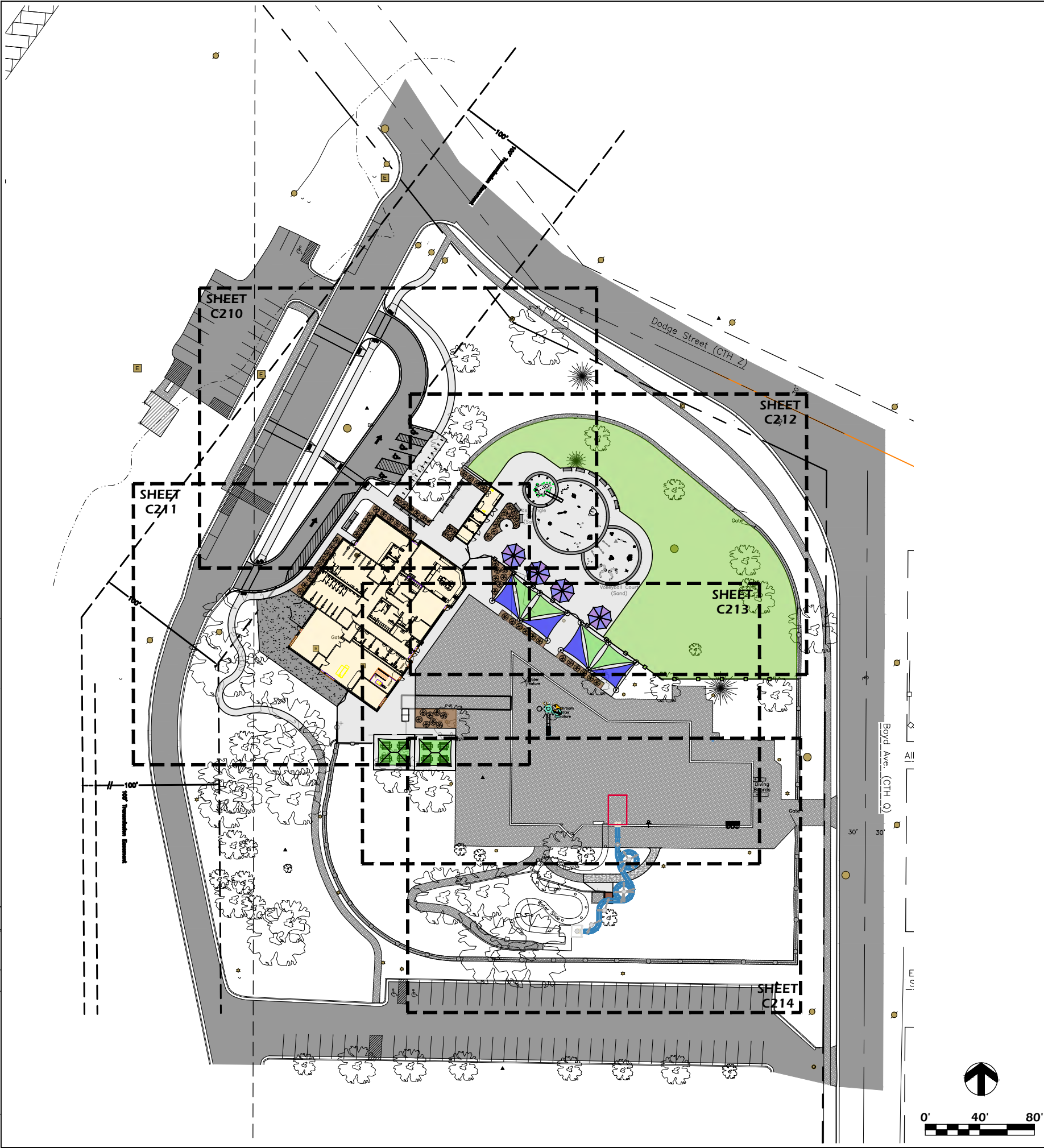
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**T100** 24

Item 4.b.



File: P:\21.039 Kaukauna Pool CDs\CAD\P-SP.dwg Layout: C200 User: Blake Treisen Plotted: Mar 12, 2023 -- 11:30pm



SITE LAYOUT NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN. WRITTEN DIMENSIONS SUPERSEDE ANY SCALED DIMENSIONS.
3. PROPOSED GRADE AND LEVEL SHALL BE PERIODICALLY REVIEWED IN THE FIELD BY THE OWNER OR A/E.
4. CONCRETE JOINTING IS SHOWN FOR DESIGN INTENT. FINAL SCORING PLANS SHALL BE SUBMITTED TO THE A/E FOR REVIEW AS A SHOP SUBMITTAL.
5. CONTRACTOR TO IMPORT SOIL AS NEEDED TO PREPARE TURF AREAS. CONTRACTOR TO FINE GRADE ALL AREAS TO FINISH GRADE.
6. ANY EXISTING STRUCTURES AND/OR UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAKING. DIGITAL PLAN FILES MAY BE AVAILABLE FROM THE A/E.

LANDSCAPE AND RESTORATION NOTES

1. CONTRACTOR SHALL MEET EXISTING GRADE AT GRADING LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
2. SEED/SOIL PLACEMENT SHALL EXTEND TO THE LIMITS OF CONSTRUCTION DISTURBANCE.
3. ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 4" MINIMUM TOPSOIL DEPTH AND SEEDED IN ACCORDANCE WITH THE SPECIFICATIONS. THIS SHALL INCLUDE ANY AREAS OUTSIDE OF THE PROJECT LIMITS THAT ARE DISTURBED BY CONTRACTOR ACTIVITY. WATERING SHALL BE BY CITY.

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Project Name:

**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Project #:

21.039

Issued For:

Review

Date:

3/8/2023

Sheet Title:

**SITE LAYOUT PLAN OVERVIEW**

Revisions:

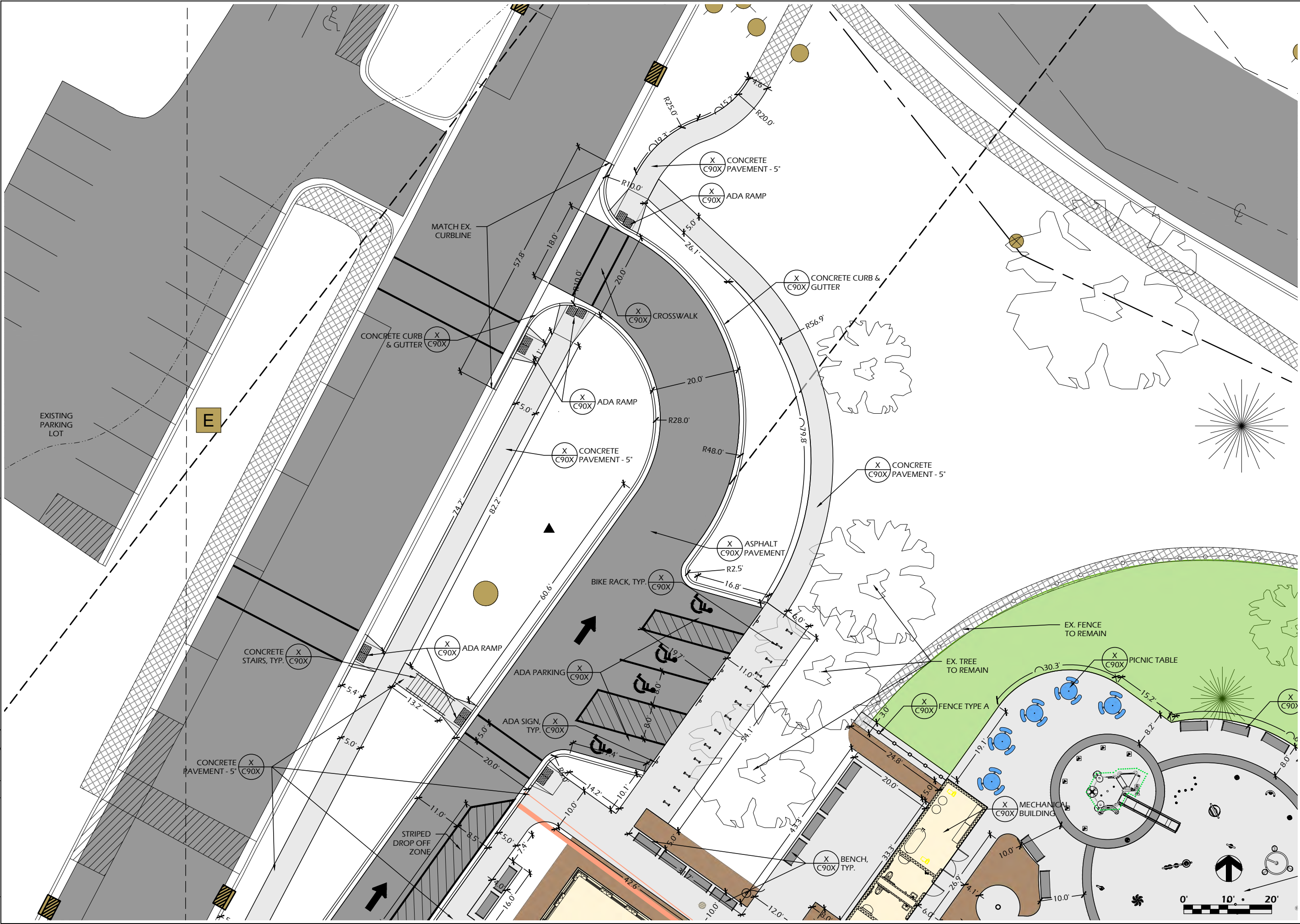
Sheet Number

**C200**

25



File: P:\21.039 Kaukauna Pool CAD\P-SP.dwg Layout: C210 User: Blake Theisen Plotted: Mar 12, 2023 -- 11:31pm



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Project Name:

**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Sheet Title:

**SITE LAYOUT PLAN**

Revisions:

Project #:

21.039

Issued For:

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Date:

3/8/2023

Sheet Number

**C210**

26











Project Name: **KAUKAUNA POOL RENOVATION**  
**607 Dodge Street**  
**Kaukauna, WI 54130**

Sheet Title: **SITE LAYOUT PLAN**

- ### SITE LAYOUT NOTES
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
  2. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN. WRITTEN DIMENSIONS SUPERSEDE ANY SCALED DIMENSIONS.
  3. PROPOSED GRADE AND LEVEL SHALL BE PERIODICALLY REVIEWED IN THE FIELD BY THE OWNER OR A/E.
  4. CONCRETE JOINTING IS SHOWN FOR DESIGN INTENT. FINAL SCORING PLANS SHALL BE SUBMITTED TO THE A/E FOR REVIEW AS A SHOP SUBMITTAL.
  5. CONTRACTOR TO IMPORT SOIL AS NEEDED TO PREPARE TURF AREAS. CONTRACTOR TO FINE GRADE ALL AREAS TO FINISH GRADE.
  6. ANY EXISTING STRUCTURES AND/OR UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
  7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAKING. DIGITAL PLAN FILES MAY BE AVAILABLE FROM THE A/E.



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# KAUKAUNA POOL RENOVATION

**607 Dodge Street  
Kaukauna, WI 54130**

Sheet Title: **SITE LAYOUT PLAN**

Project Name:

Project #:	21.039
Issued For:	Review
Date:	3/8/2023

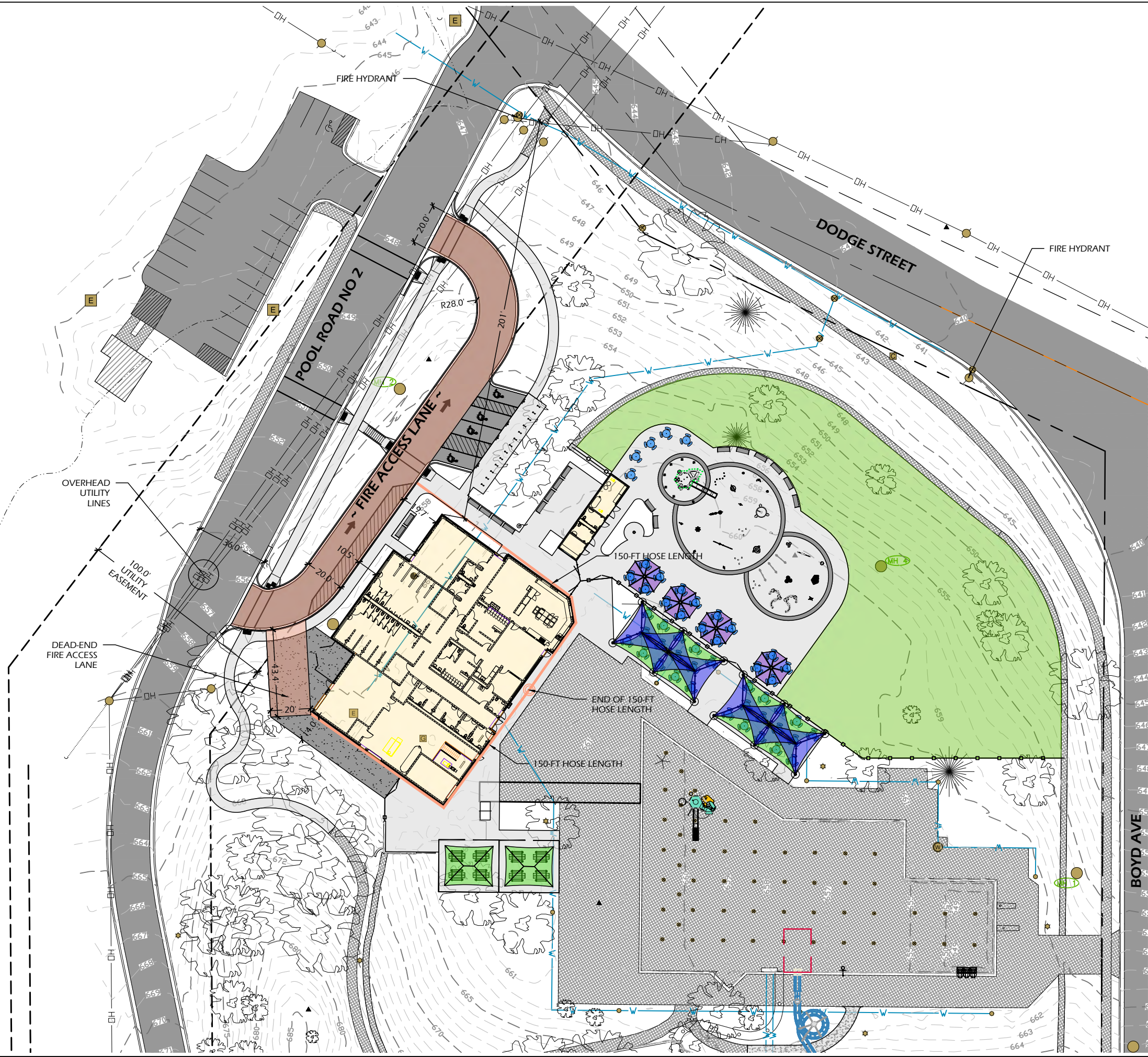
Sheet Number

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30



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Project Name:  
**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Revisions:

Project #: 21.039  
Issued For: Review  
Date: 3/13/2023

Sheet Number

**C250**

Sheet Title:  
**FIRE ACCESS PLAN**

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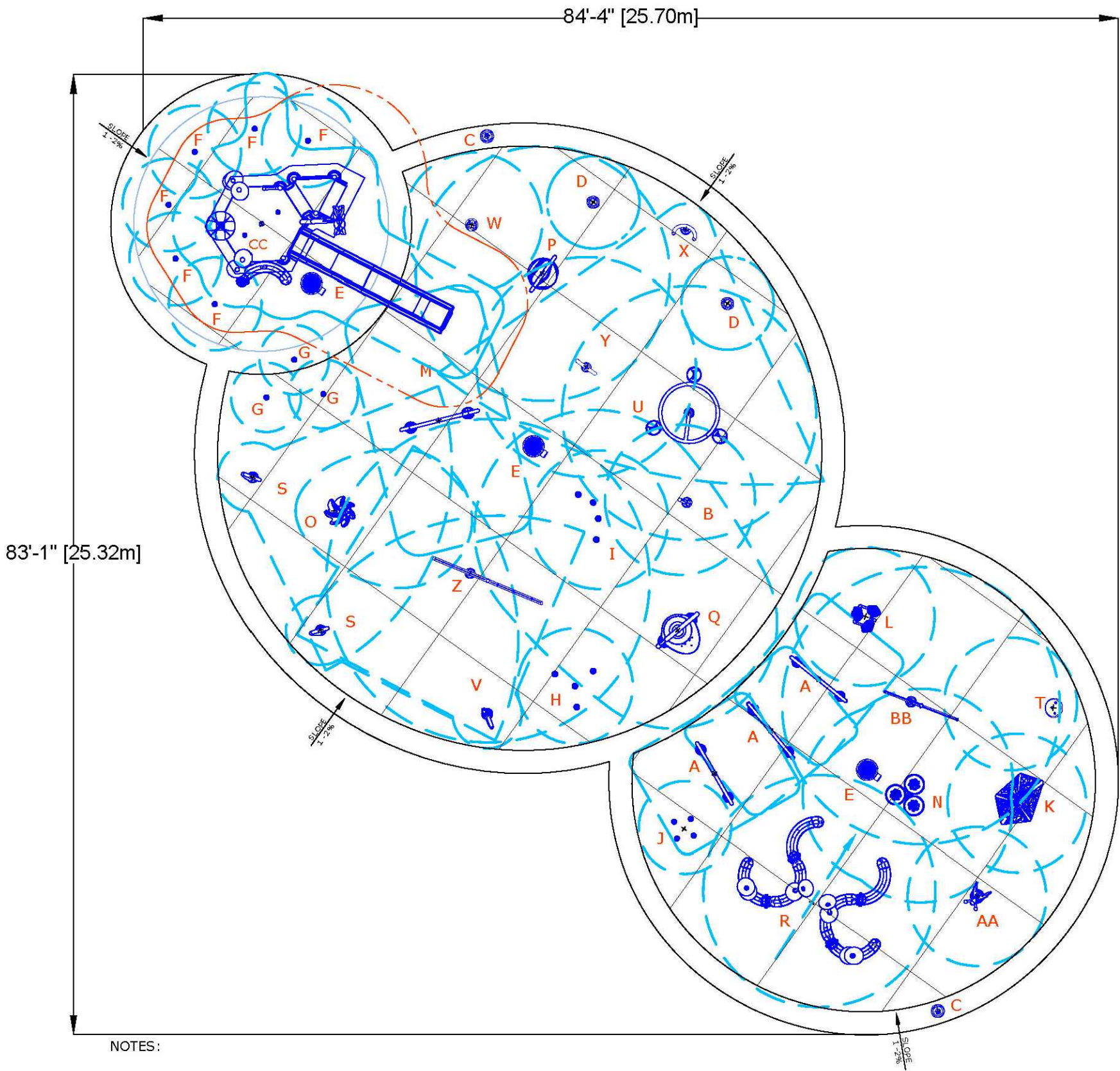
File: P:\21.039 Kaukauna Pool CDs\CAD\P-SPLASHPAD\_RENDERINGS.dwg Layout: CX01 (2) User: kelie Plotted: Mar 13, 2023 - 12:25pm

SPLASHPAD DIMENSION

TOTAL AREA : 4166 ft<sup>2</sup> 387m<sup>2</sup>  
SPRAY AREA : 3516 ft<sup>2</sup> 327m<sup>2</sup>  
GRID SIZE : 10 x 10ft 3 x 3m

PRODUCT LEGEND

REF	PRODUCT	QTY	GPM	LPM
A	Spray Loop VOR 0519	3	22.5	85.1
B	Spiroo VOR 7799	1	4	15.1
C	Activator N°3 VOR 0611	2	0	0
D	Foaming Geyser N°2 VOR 8084	2	28	105.8
E	Playsafe Drain N°4 VOR 1004	3		
F	Spraylink Jet N°2 VOR 3001	6	30	113.4
G	Spraylink Funnel VOR 3008	3	21	79.4
H	Spraylink Team N°1 VOR 3059	1	11	41.6
I	Spraylink Team N°3 VOR 3061	1	11	41.6
J	Spraylink Quad N°2 VOR 3063	1	17.5	66.2
K	Alto N°2 VOR 7131	1	12.5	47.3
L	Hop N°1 VOR 7133	1	10	37.8
M	Luna N°1 VOR 7230	1	13.5	51
N	Bobble N°2 VOR 7233	1	21.5	81.3
O	Helio N°3 VOR 7238	1	3	11.3
P	Helio N°6 VOR 7241	1	13	49.1
Q	Twinsplash VOR 7242	1	12	45.4
R	Cascade Rainforest VOR 7251	1	26	98.3
S	Loop N°2 VOR 7553	2	10	37.8
T	Waterbug N°2 VOR 7581	1	6	22.7
U	Astra N°2 VOR 7698	1	7.5	28.4
V	Loop N°1 VOR 7719	1	5	18.9
W	Silhouette N°1 VOR 7772	1	32.5	122.9
X	Bamboo Twin Cannon VOR 7786	1	3.5	13.2
Y	Bamboo Ring VOR 7787	1	2	7.6
Z	Helico VOR 7790	1	17	64.3
AA	Butterfly N°1 VOR 7792	1	6.5	24.6
BB	Helico Nano VOR 7798	1	12.5	47.3
CC	Standard Elevation L2-450B	1	162	613.1
TOTAL		43	521	1970.5



NOTES:

- 5'[1.5m] SPRAY FREE CONCRETE AREA ALL AROUND THE SPLASHPAD IS RECOMMENDED BY VORTEX.
- QUANTITY AND LOCATION OF DRAINS BASED ON VORTEX RECOMMENDATIONS.
- MODIFICATIONS MAY BE REQUIRED DUE TO SPECIFIC SITE CONDITIONS AND/OR LOCAL CODE.
- ADDITIONAL DRAINS BY OTHER MAY BE REQUIRED FOR ELEVATION/PLAYNUK STRUCTURE



File: P:\21.039 Kaukauna Pool CDs\CAD\P-SPLASHPAD\_RENDERINGS.dwg Layout: CX01 User: katie Plotted: Mar 13, 2023 -- 12:30am



All 3D renders shown are for illustration purposes only. Actual colors, textures and finishes may differ from renders.

Shown in Color Palette Custom.

Shown with Barrier Graphic Urban A.

Waterslide finish shown in Classic.

Project Name: <b>KAUKAUNA POOL RENOVATION</b> 607 Dodge Street Kaukauna, WI 54130		Project #: 21.039	
Sheet Title: <b>SPLASHPAD RENDERINGS</b>		Issued For: Review	
Revisions:		Date: 9/14/2022	
Sheet Number <b>CX0</b>		33	

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608.886.6808

Parkitecture

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Shown in Color Palette Custom.

Shown with Barrier Graphic Urban A.

Waterslide finish shown in Classic.

<div>Item 4.b.</div> <div><div><div>PARKITECTURE + PLANNING</div><div>901 Deming Way, Suite 102 Madison, WI 53717 608.886.6808</div></div><div><div>ONE DESIGN &amp; ENGINEERING</div><div>Est. 2020</div><div>202 Ash St. Cambridge, WI 53523 • 608.577.0443 • www.onedte.com</div></div></div>		<div>Project Name: <b>KAUKAUNA POOL RENOVATION</b> 607 Dodge Street Kaukauna, WI 54130</div> <div>Sheet Title: <b>SPLASHPAD RENDERINGS</b></div>	
Revisions:		Project #: 21.039	
		Issued For: Review	
		Date: 9/14/2022	
		Sheet Number <b>CX02</b>	
		34	





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Shown with Barrier Graphic Urban A.

Waterslide finish shown in Classic.

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Project Name:  
**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Sheet Title:  
**SPLASHPAD RENDERINGS**

Revisions:

Project #:  
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Date:

21.039  
Review  
9/14/2022

Sheet Number

CX03

35





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Project Name:

**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Sheet Title:

**SPLASHPAD RENDERINGS**

Revisions:

Project #:

21.039

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Review

Date:

9/14/2022

Sheet Number

**CX04**

36





# 1 MINIATURE GOLF - EXAMPLE COURSES

SCALE: N.T.S

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Project Name: **KAUKAUNA POOL RENOVATION**  
**607 Dodge Street**  
**Kaukauna, WI 54130**

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Sheet Title: **MINIATURE GOLF - CONCEPTUAL PLAN**

Project #: 21.039  
Issued For: Review  
Date: 9/14/2022

Sheet Number

EXHIBIT 37

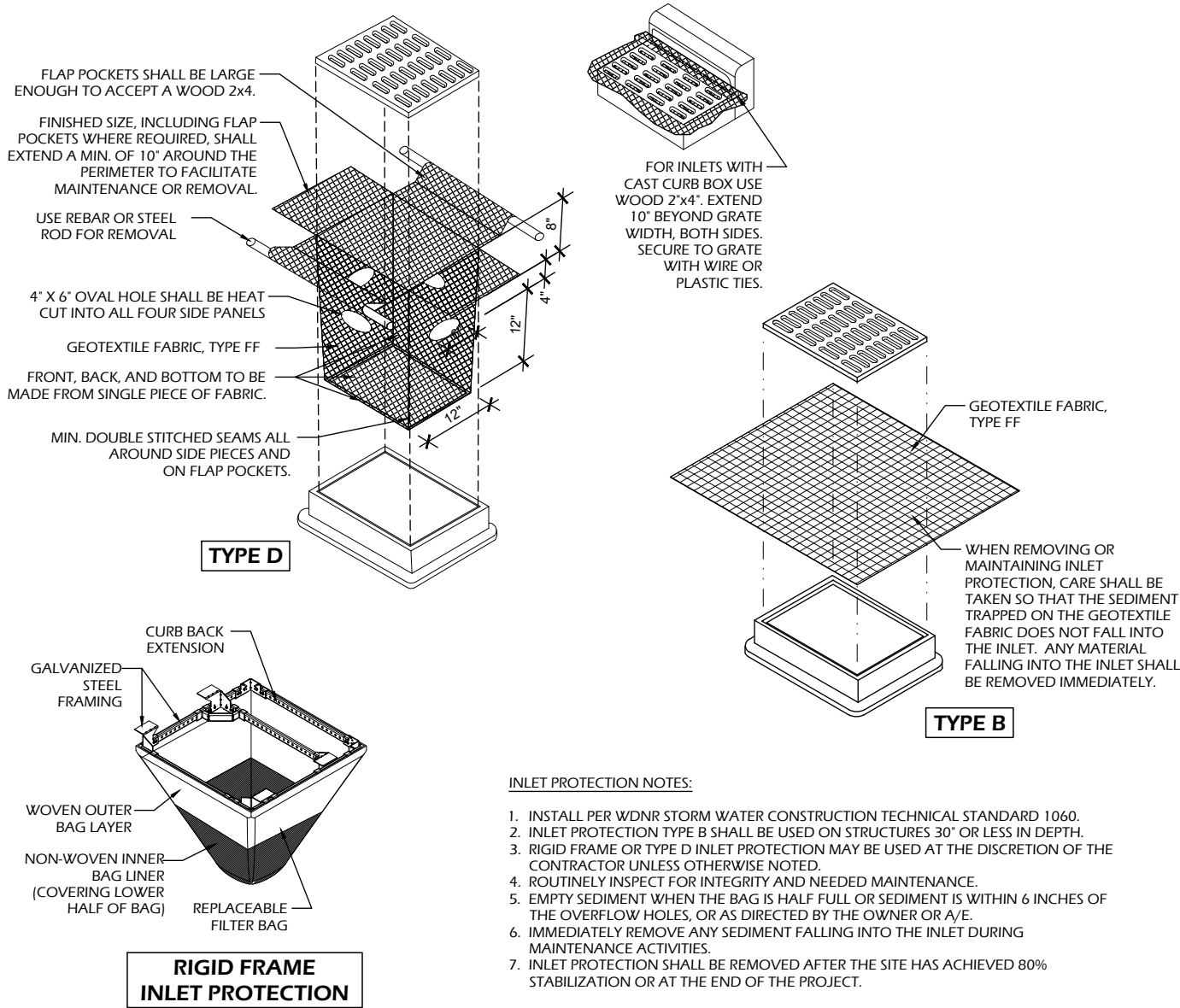








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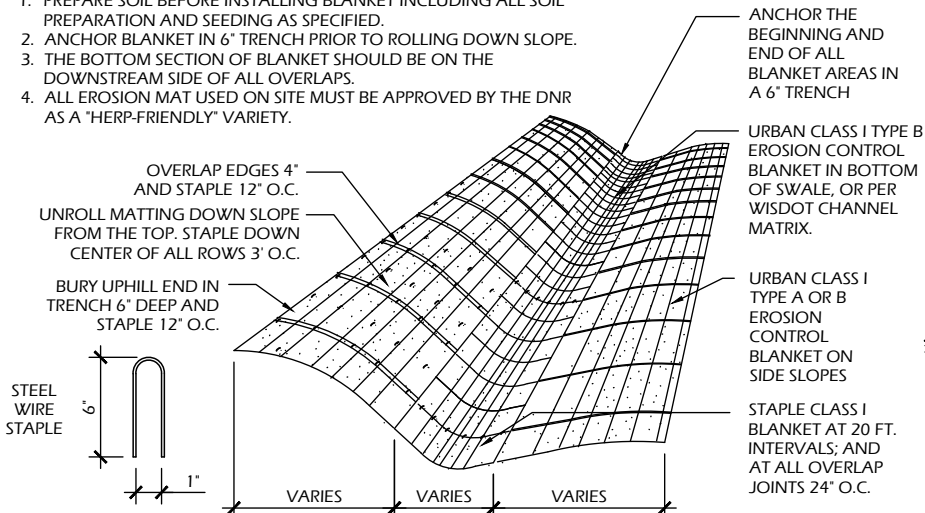


## 2 INLET PROTECTION

C901 SCALE: NTS

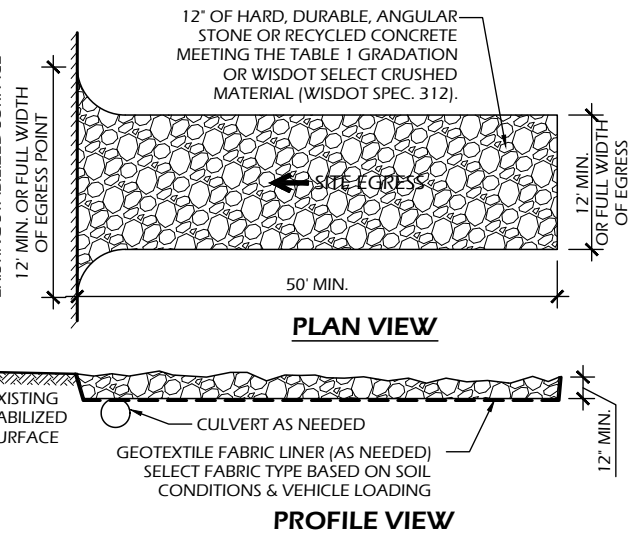
### NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKET INCLUDING ALL SOIL PREPARATION AND SEEDING AS SPECIFIED.
2. ANCHOR BLANKET IN 6" TRENCH PRIOR TO ROLLING DOWN SLOPE.
3. THE BOTTOM SECTION OF BLANKET SHOULD BE ON THE DOWNSTREAM SIDE OF ALL OVERLAPS.
4. ALL EROSION MAT USED ON SITE MUST BE APPROVED BY THE DNR AS A "HERP-FRIENDLY" VARIETY.



## 3 EROSION MAT

C901 SCALE: NTS



## 1 STONE TRACKING PAD

C901 SCALE: NTS

TABLE 1 AGGREGATE GRADATION	
SIEVE SIZE	PERCENT PASSING BY WEIGHT
3"	100
2 1/2"	90 - 100
1 1/2"	25 - 60
3/4"	0 - 20
3/8"	0 - 5

### OPERATION & MAINTENANCE:

1. MONITOR TRACKING PADS FOR COMPACTION, SOIL DEPOSITS, AND MIXING OF UNDERLYING SOILS AND STONE LAYERS.
2. MAINTAIN A LOOSENEED, ROUGH SURFACE BY SCRAPING, LOOSENING, OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
3. REPLACE GEOTEXTILE AND STONE IF LESS-INTENSIVE MAINTENANCE EFFORTS FAIL TO REESTABLISH EFFECTIVENESS.
4. ADD STONE AS NEEDED TO MAINTAIN THE MINIMUM PAD THICKNESS.
5. REPLACE DAMAGED OR CRUSHED CULVERTS UNDER TRACKING PAD.

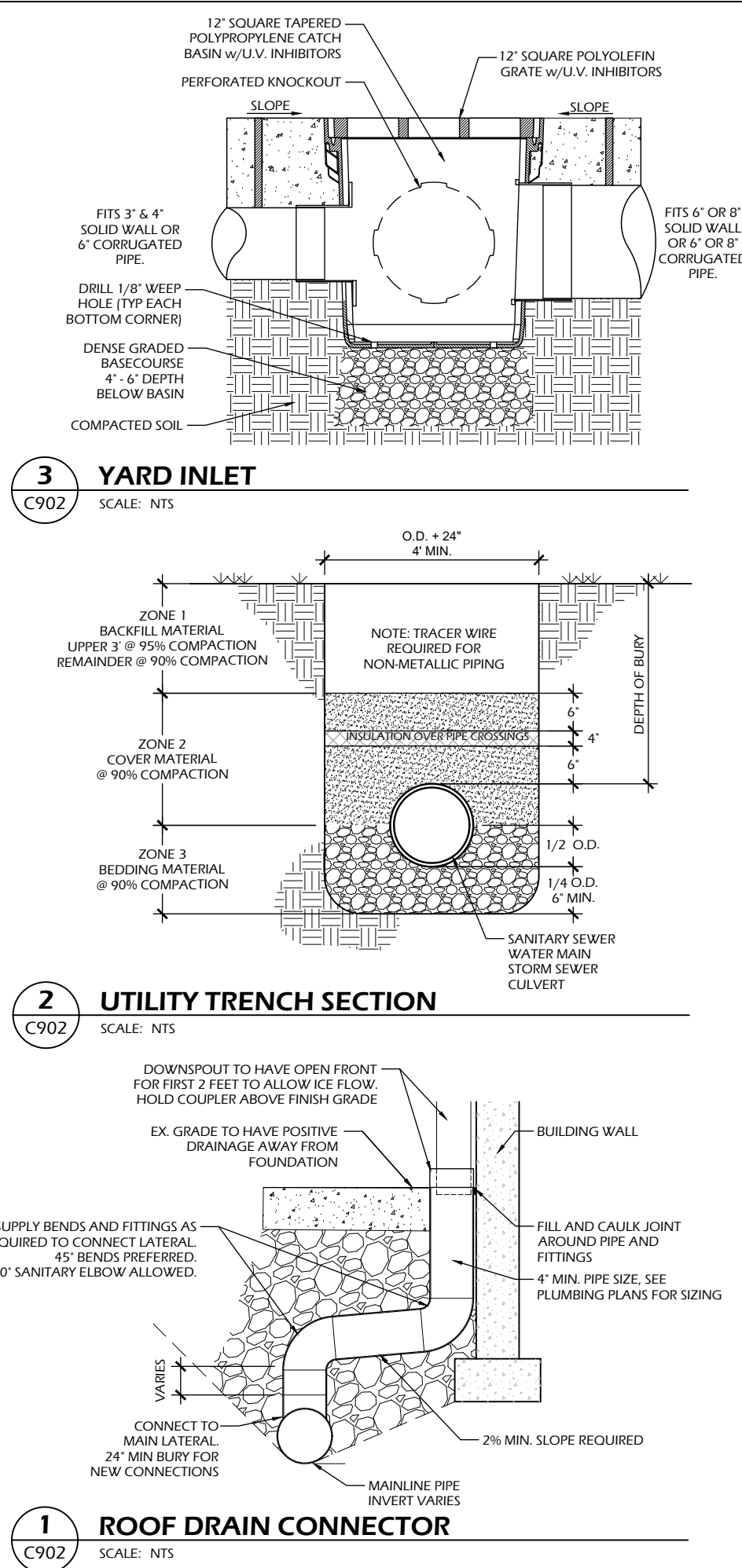
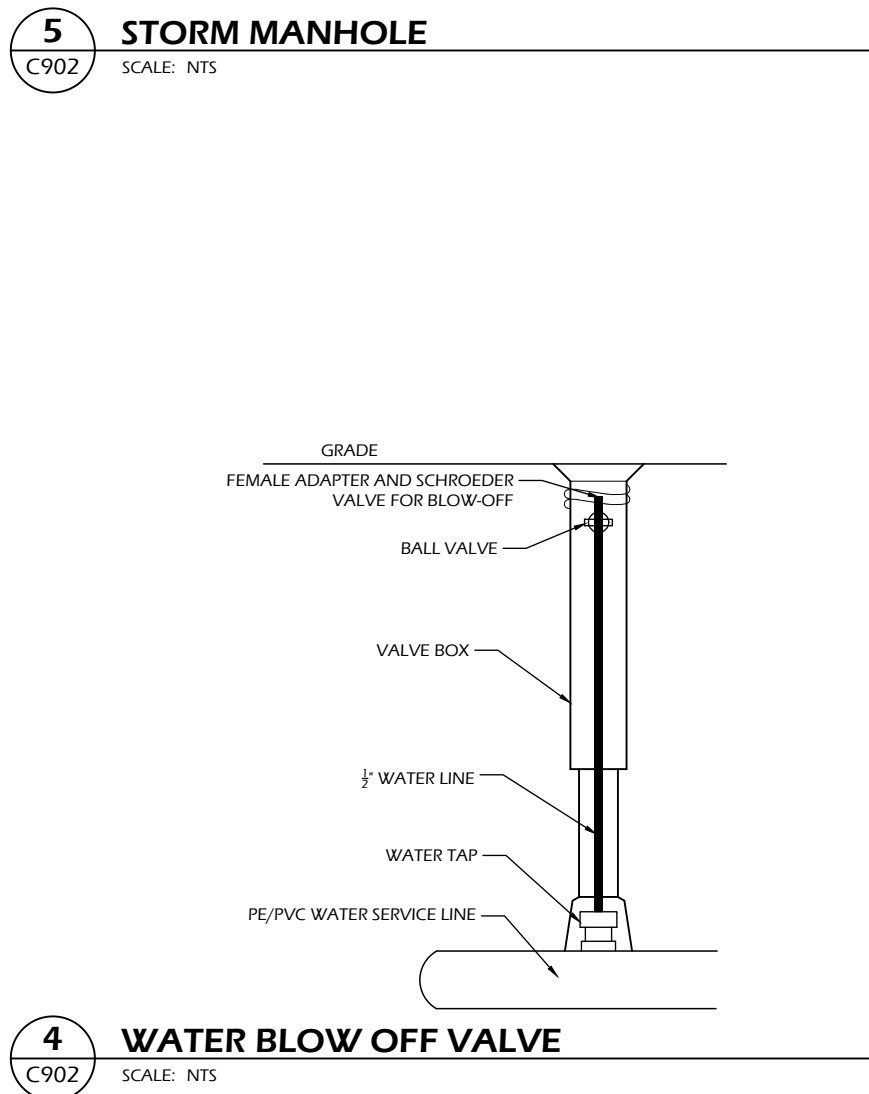
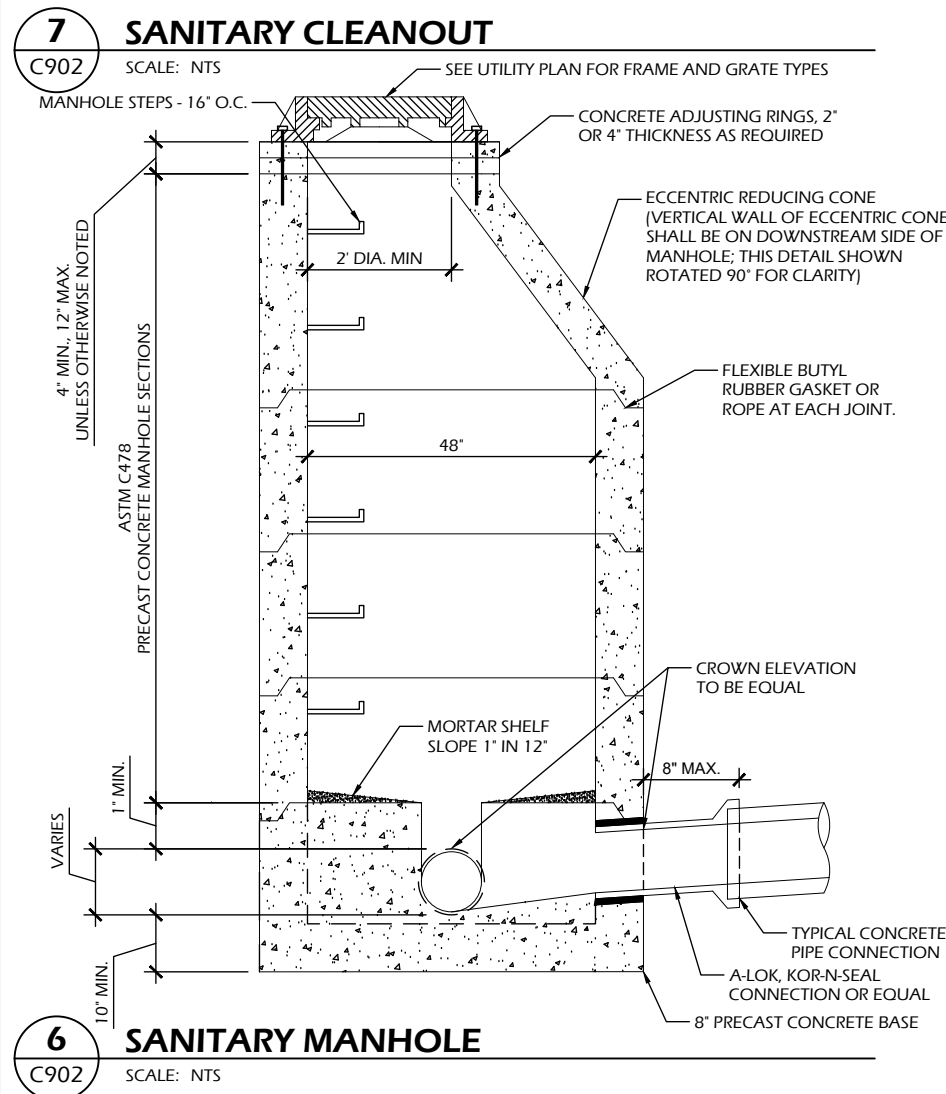
### Revisions:

Project #: 21.039  
Issued For: Review  
Date: 3/13/2023

Sheet Number

**C90**







## 9 RAISED CROSSWALK

C903 / SCALE: NTS

**GENERAL NOTES:**

1. SEE TOP OF GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
2. IF SIDEWALK ABUTS CURB, BACK OF CURB TO BE "STRING LINE" STRAIGHT & RUBBED CLEAN.
3. PROVIDE CONTROL JOINTS 10' ± O.C. PROVIDE BITUMINOUS EXPANSION JOINTS 50' O.C.
4. EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GLITTER.
5. EARTHWORK CONTRACTOR TO BE RESPONSIBLE FOR ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
6. PAVING CONTRACTOR SHALL PROVIDE FLUSH BITUMINOUS TO CONCRETE CURB. IF BITUMINOUS IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.

## 8 18-IN MOUNTABLE CONCRETE CURB & GUTTER

C903 / SCALE: NTS

GENERAL NOTES:

1. SEE TOP OF GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
2. IF SIDEWALK ABUTS CURB, BACK OF CURB TO BE "STRING LINE" STRAIGHT & RUBBED CLEAN.
3. PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE BITUMINOUS EXPANSION JOINTS 50' O.C.
4. EARTH-WORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
5. CURB ISLANDS SHALL BE PLACED AT ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
6. PAVING CONTRACTOR SHALL PROVIDE FLUSH BITUMINOUS TO CONCRETE CURB. IF BITUMINOUS IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.

## 7 30-IN CONCRETE CURB & GUTTER

C903 / SCALE: NTS

## 6 18-IN CONCRETE CURB & GUTTER

C903 / SCALE: NTS

GENERAL NOTES:

1. PROVIDE 1/4" PER FOOT CROSS SLOPE ACROSS WALK
2. MESH REQUIRED
3. PROVIDE TOOLED JOINTS @ +/- 5'-0" O.C. U.N.O.

## 5 THICKENED EDGE CONCRETE

C903 / SCALE: NTS

GENERAL NOTES:

- SAWCUT ALL JOINTS FOR SPLASHPAD AREA
- OVERCUTS SHALL NOT BE ACCEPTED
- PROVIDE JOINTS PER JOINTING PLAN
- DOWEL BETWEEN ALL SEPARATE POURS (SPLASHPAD & STREET)
- ALL JOINTS SHALL BE STRAIGHT AND CONTINUOUS

## 4 CONCRETE JOINTS

C903 / SCALE: NTS

GENERAL NOTES:

- NO MESH REQUIRED
- PROVIDE TOOLED JOINTS @  $\approx 5'-0"$  O.C. U.N.O.
- COLOR PER PLANS
- CLEARCOAT W/ ANTI-SLIP SEALER

### 3 COLORED CONCRETE PAVEMENT

C903 SCALE: NTS

GENERAL NOTES:

- MESH REQUIRED
- PROVIDE SAWCUT JOINTS UNLESS OTHERWISE SPECIFIED.
- COLOR PER PLANS.
- MESH TO BE SET ON RISERS TO MAINTAIN FLOAT

SPLASHPAD AREA NOTES:

- SPECIAL ADDITIONAL NOTES:**
- PROVIDE SAWCUT JOINTS PER JOINTING PLAN
  - COLOR PER PLANS. CLEARCOAT W/ ANTI-SLIP SEALER
  - NO EPOXY ON MESH IF USED AS PART OF BONDING GRID

## 2 REINFORCED CONCRETE PAVEMENT

C903 / SCALE: NTS

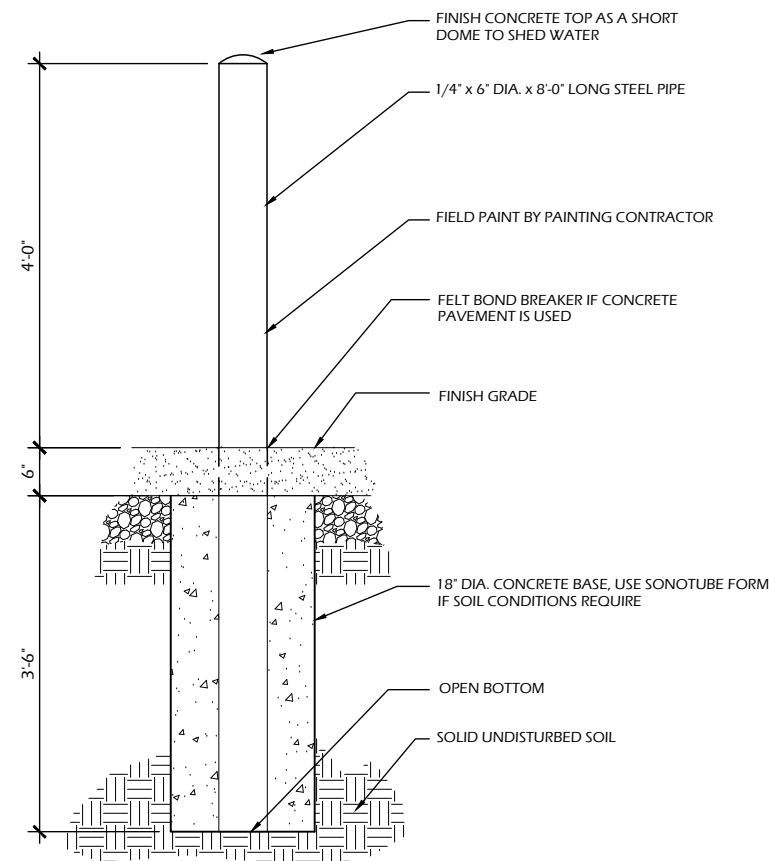
GENERAL NOTES:

- WIRE MESH REQUIRED IN 6" PAVEMENT AREAS  
- PROVIDE JOINTS @ +/- 5'-0" O.C. U.N.O.

## 1 CONCRETE PAVEMENT

C903 / SCALE: NTS

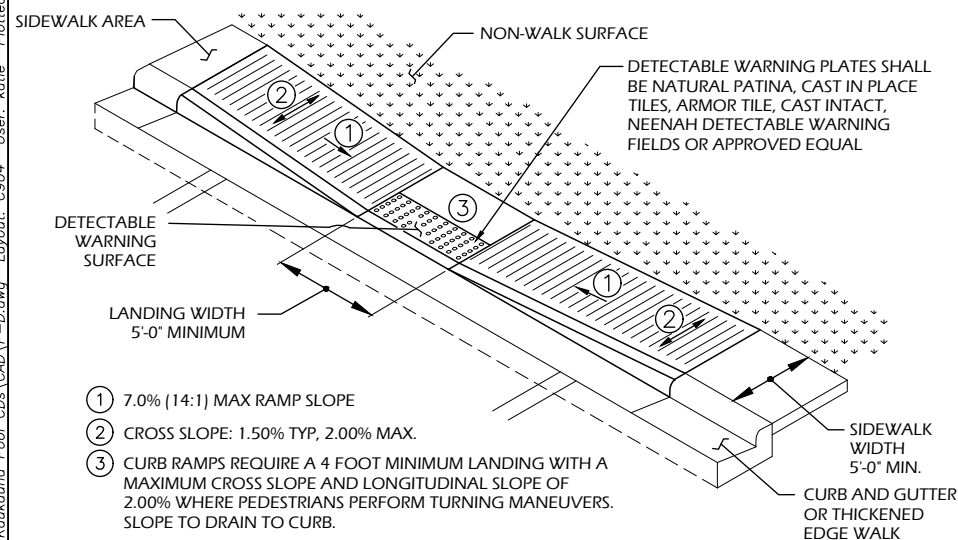




**GENERAL NOTES:**  
- CONCRETE CONTRACTOR TO EXCAVATE, SET PIPE BOLLARD AND POUR BASE.  
- CONCRETE CONTRACTOR TO WIPE DOWN STEEL BOLLARD CLEAN OF ALL CONCRETE RESIDUE @ TIME OF POURING.

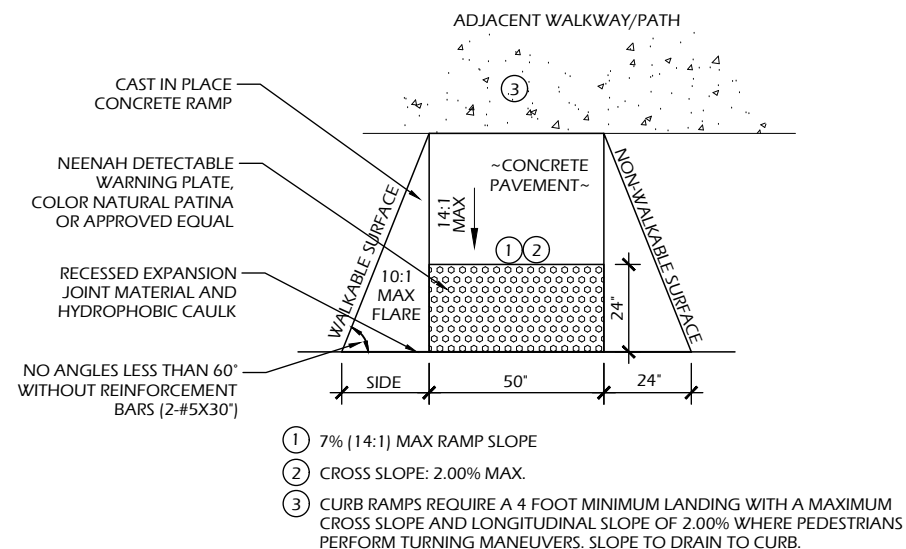
## 8 6" ROUND CONCRETE FILLED BOLLARD

SCALE: NTS



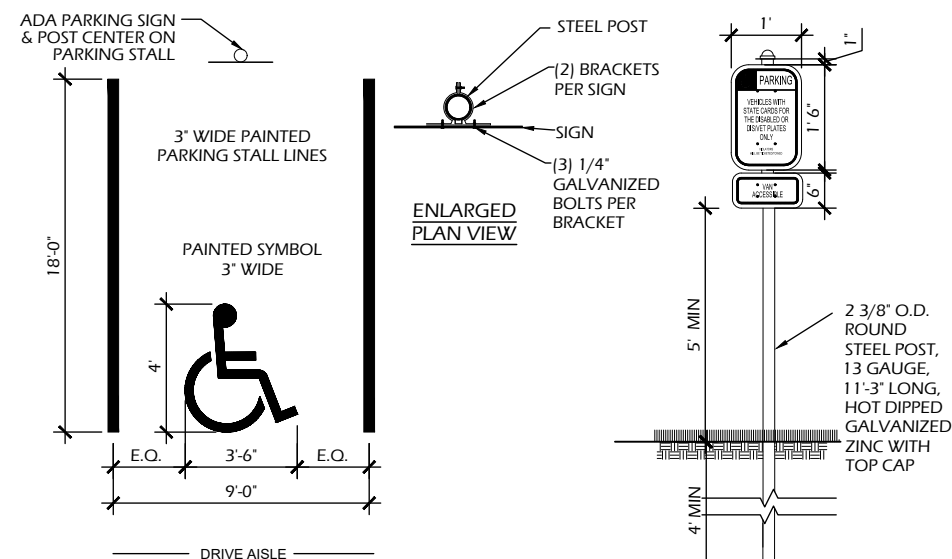
## 7 ADA RAMP - PARALLEL

SCALE: NTS



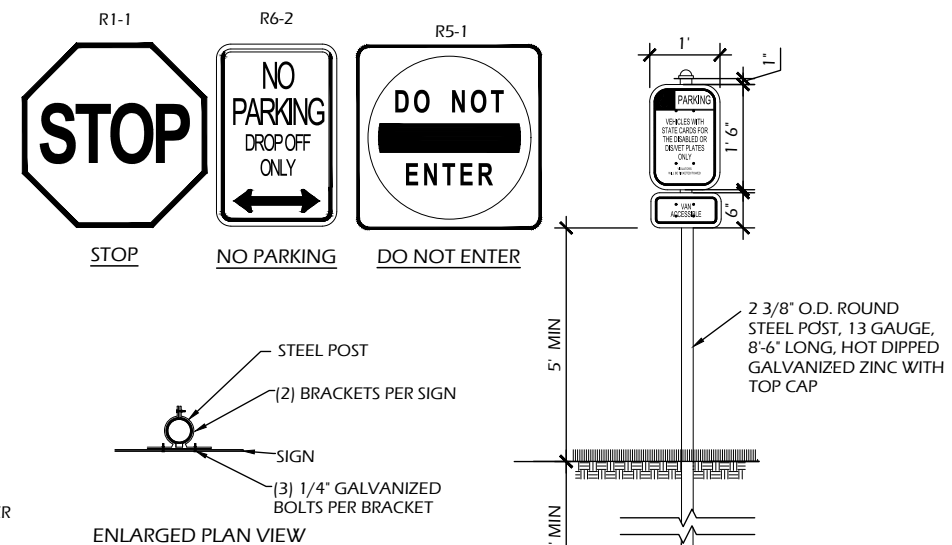
## 6 ADA RAMP

SCALE: NTS



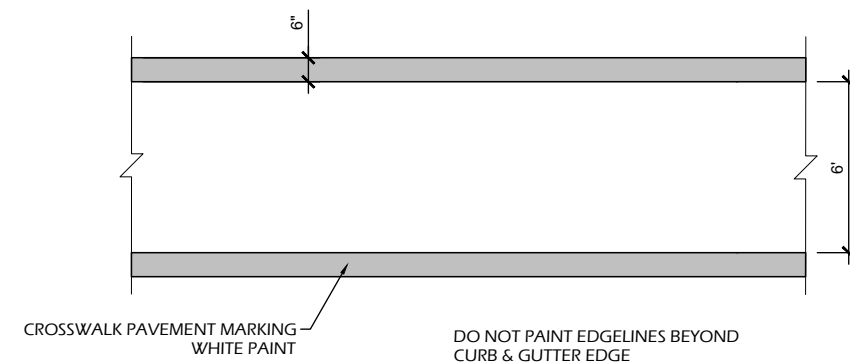
## 5 ADA PARKING

SCALE: NTS



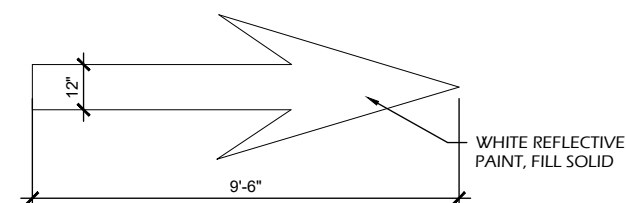
#### 4 REGULATORY SIGN

SCALE: NTS



### 3 CROSSWALK MARKINGS

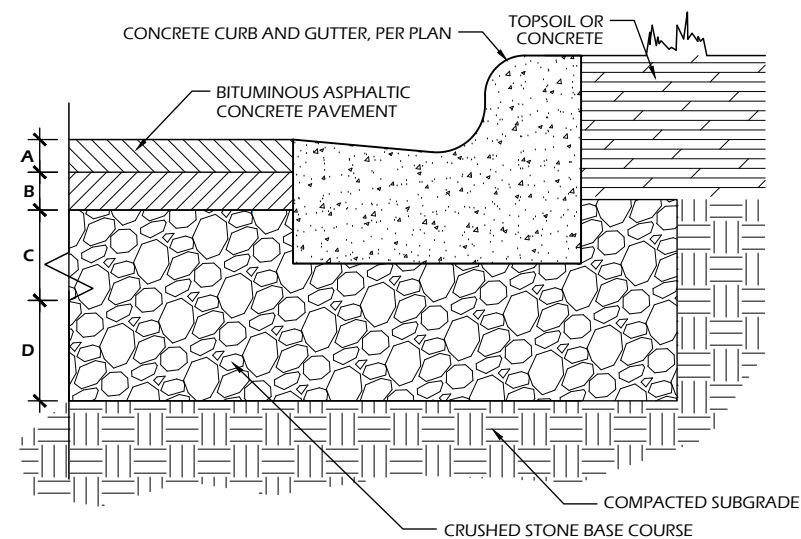
SCALE: NTS



## 2 PAVEMENT MARKINGS - ONE WAY ARROW

SCALE: NTS

ASPHALT PAVEMENT TYPICAL SECTION			
MATERIAL		MATERIAL THICKNESS (INCHES)	PAVEMENT TYPE (WISDOT)
A	BITUMINOUS UPPER LAYER	1.75	4 LT 58-28 S
B	BITUMINOUS LOWER LAYER	2.25	3 LT 58-28 S
C	$\frac{3}{4}$ IN DENSE GRADED BASE COURSE	2.0	
D	$1 \frac{1}{4}$ IN DENSE GRADED BASE COURSE	7.0	
TOTAL THICKNESS (INCHES)		13.0	



## 1 ASPHALT PAVEMENT TYPICAL SECTION

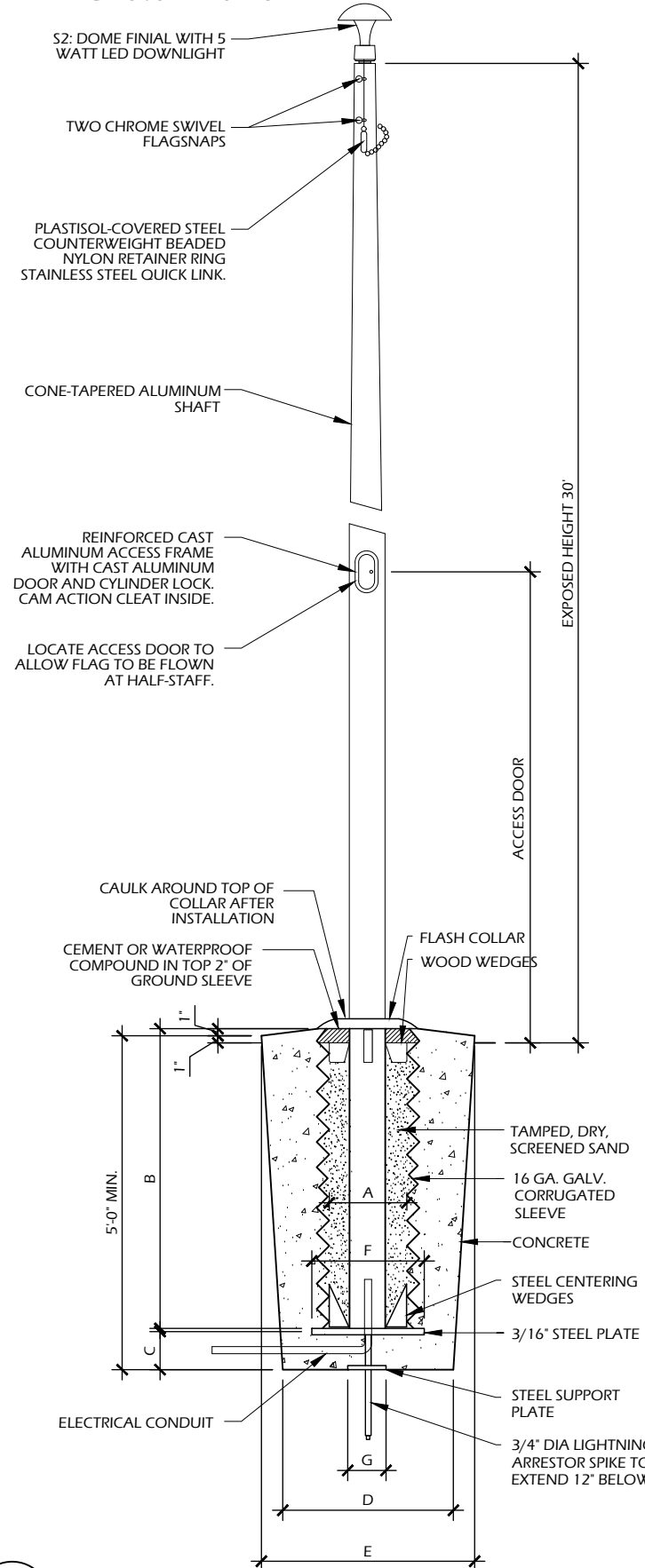
SCALE: NTS



File: P:\21.039 Kaukauna Pool CDs\CAD\P-D.dwg User: katie Plotted: Mar 12, 2023 - 10:50pm

## FOUNDATION SIZING LEGEND

- A. APPROXIMATELY 3" LARGER THAN OUTSIDE BUTT DIA. OF FLAGPOLE
- B. 10% OF EXPOSED HEIGHT OF POLE
- C. 15% IN INCH OF POLE HEIGHT IN FEET (MIN. 3" COVER OVER CONDUIT)
- D. 4 TIMES OUTSIDE BUTT DIA OF POLE (24" MIN.)
- E. 5 TIMES OUTSIDE BUTT DIA. OF POLE (30" MIN.)
- F. MIN. 6-INCH LARGER SQUARE THAN INSIDE DIA. OF FOUNDATION TUBE
- G. 25% OF AREA OF BASE PLATE

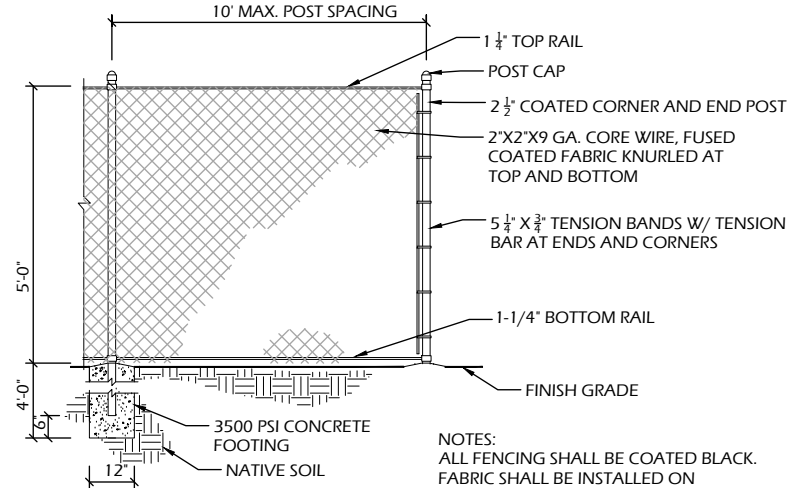


## 4 FLAGPOLE

C905 SCALE: NTS

MAXIMUM FENCE POST SPACING		
FENCE HEIGHT	WITH WINDSCREENS	NO WINDSCREENS
5'-0"	10'-0"	10'-0"
6'-0"	10'-0"	10'-0"
8'-0"	10'-0"	10'-0"
10'-0"	8'-0"	10'-0"

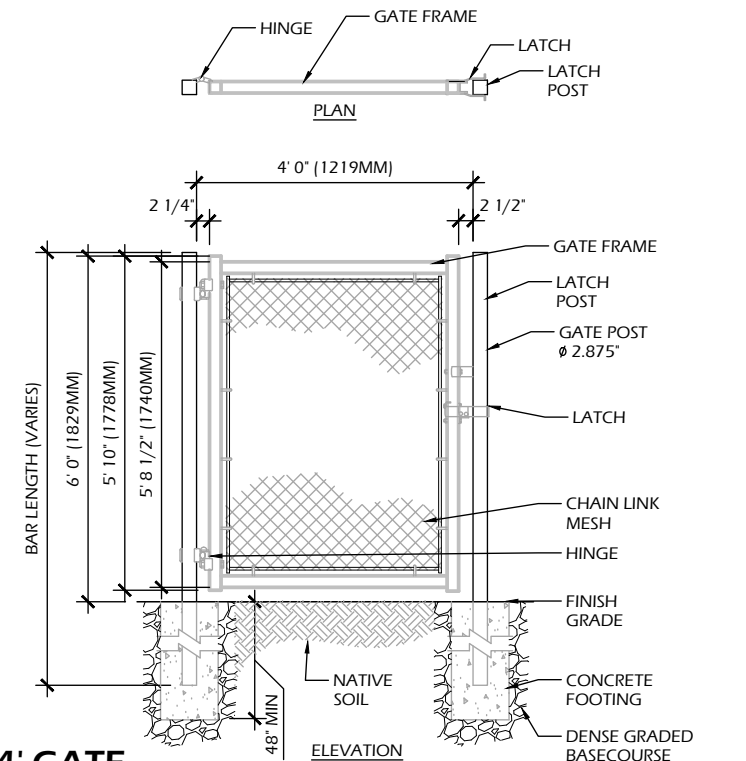
3500 PSI CONCRETE,  
FOOTINGS MAY BE SET PRIOR  
TO PAVING OR CORED. ENSURE  
NO ASPHALT MOUNDING AROUND  
FOOTING. FINAL GRADE MUST BE  
FLUSH.



NOTES:  
ALL FENCING SHALL BE COATED BLACK.  
FABRIC SHALL BE INSTALLED ON  
THE INSIDE OF PLAY AREA.  
MAX POST SPACING SHALL BE 10'.

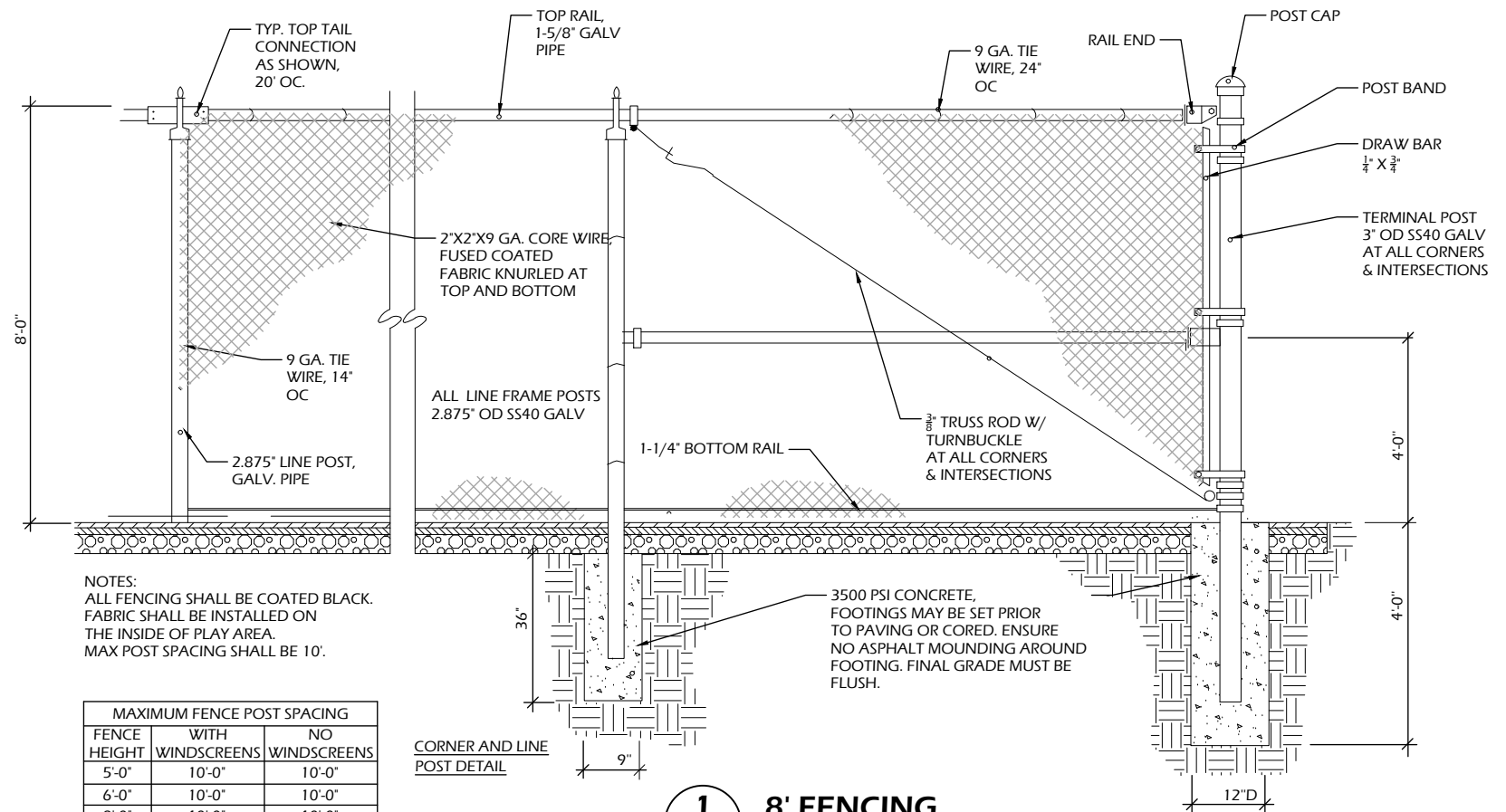
### 3 5' FENCING

SCALE: NTS



## 4' GATE

SCALE: NTS



## 8' FENCING

(C905) SCALE: NTS

MAXIMUM FENCE POST SPACING		
FENCE HEIGHT	WITH WINDSCREENS	NO WINDSCREENS
5'-0"	10'-0"	10'-0"
6'-0"	10'-0"	10'-0"
8'-0"	10'-0"	10'-0"
10'-0"	8'-0"	10'-0"

CORNER AND LINE  
POST DETAIL

— 3500 PSI CONCRETE, FOOTINGS MAY BE SET PRIOR TO PAVING OR CORED. ENSURE NO ASPHALT MOUNDING AROUND FOOTING. FINAL GRADE MUST BE FLUSH.

Item 4.b.

**PARKITECTURE  
+ PLANNING**  
901 Deming Way, Suite 102



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# KAUKAUNA POOL RENOVATION

607 Dodge Street  
Kaukauna, WI 54130

## CONSTRUCTION DETAILS

# IV

Revisions:

Project #:	21.039
Issued For:	Review
Date:	3/13/2023

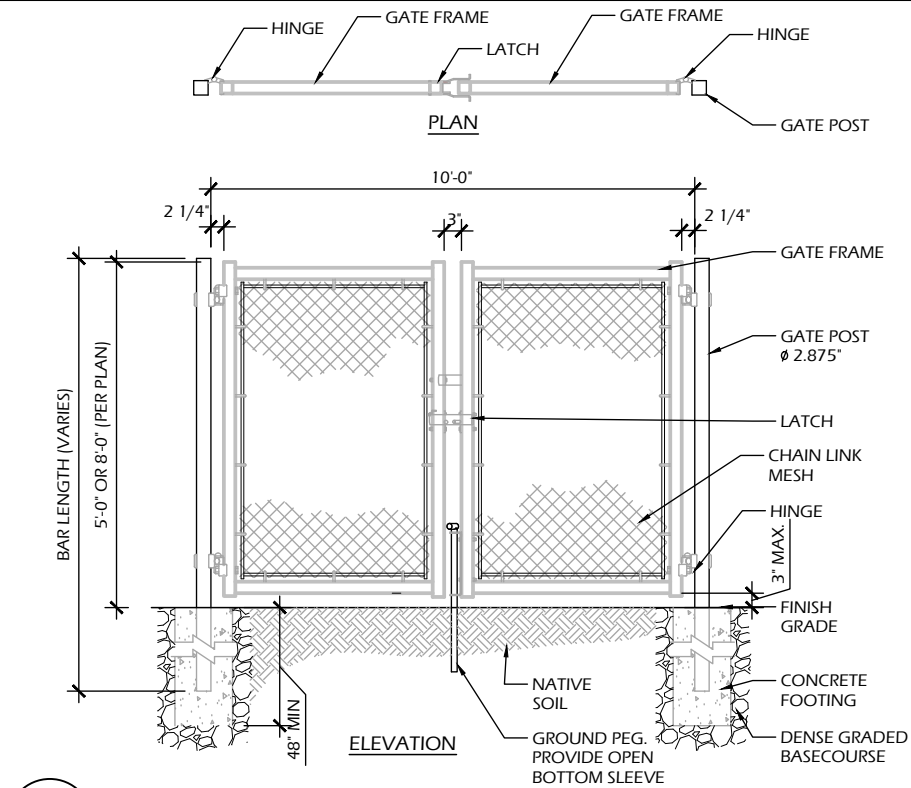
Sheet Number

C905 44

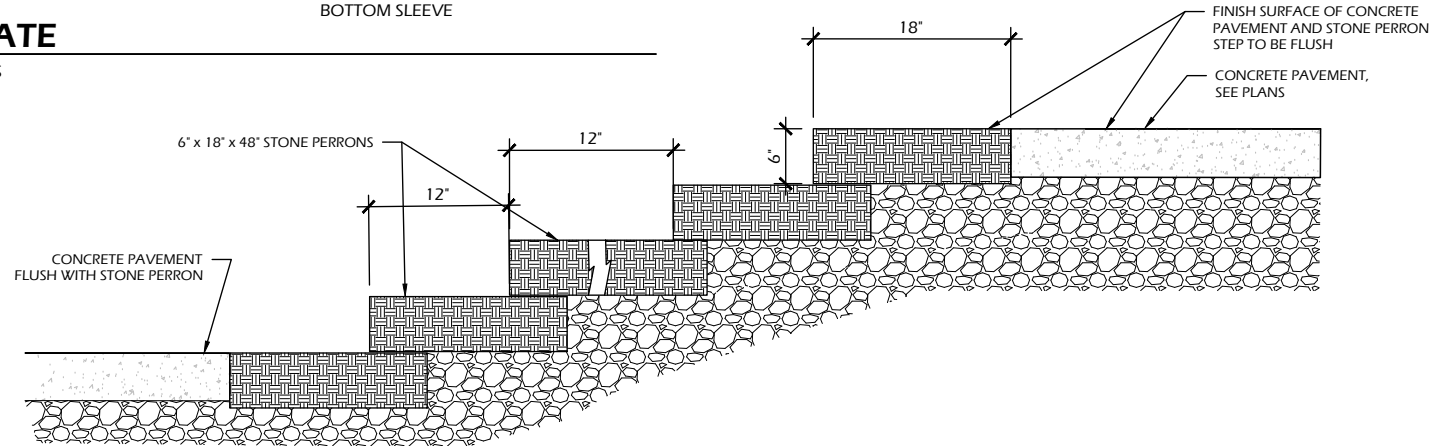
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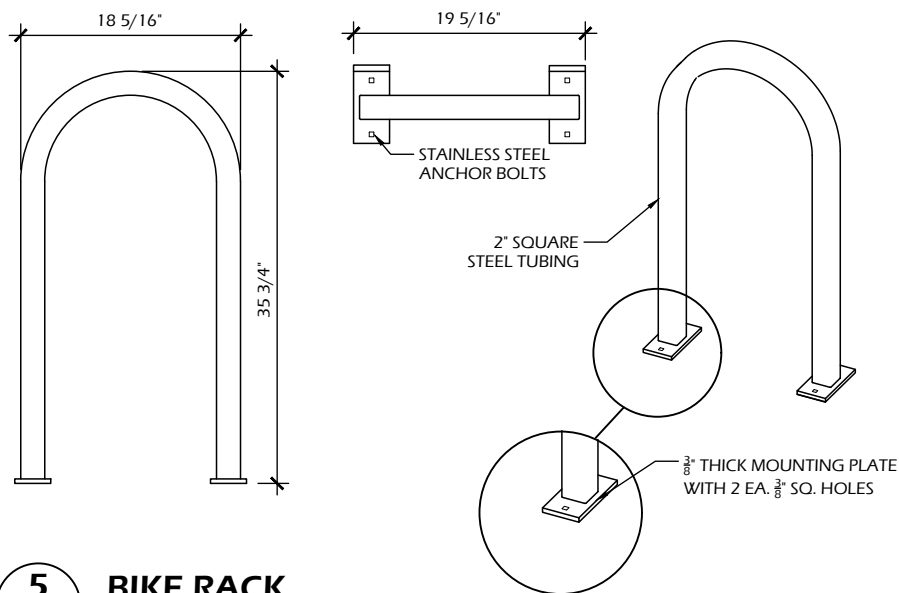
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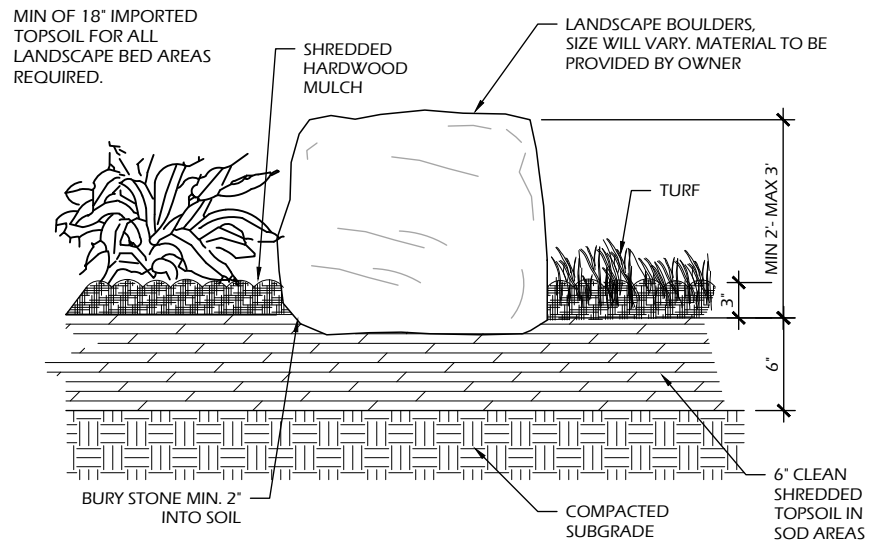
**7 10' GATE**  
C906 SCALE: NTS



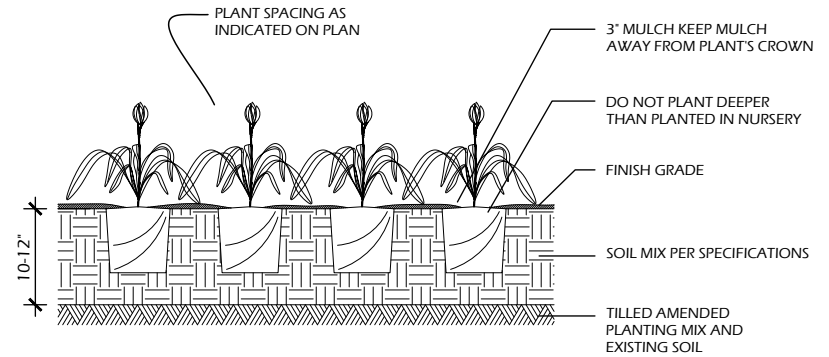
**6 STONE PERRONS**  
C906 SCALE: NTS



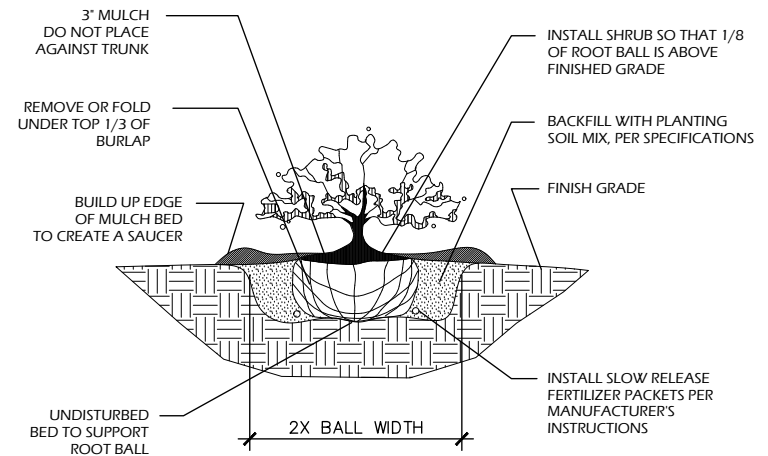
**5 BIKE RACK**  
C906 SCALE: NTS



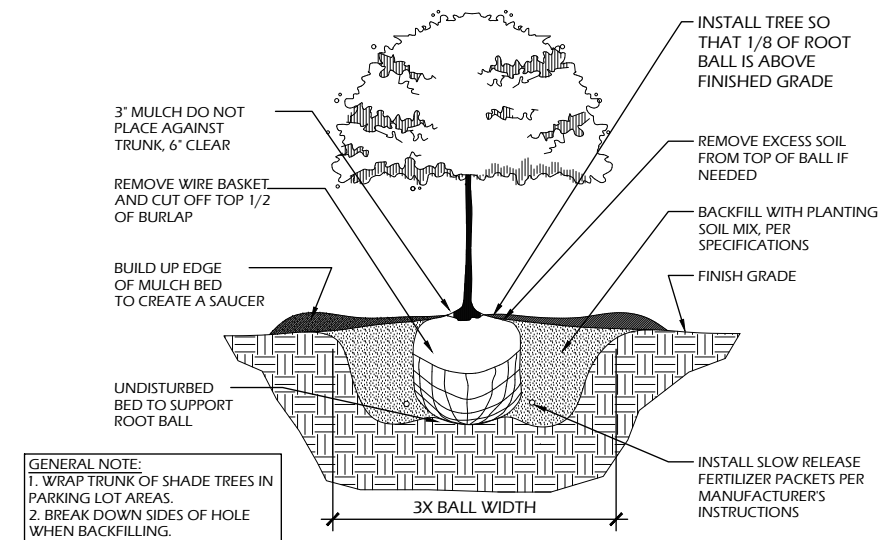
**4 LANDSCAPING BED**  
C906 SCALE: NTS



**3 PERENNIAL PLANTING**  
C906 SCALE: NTS

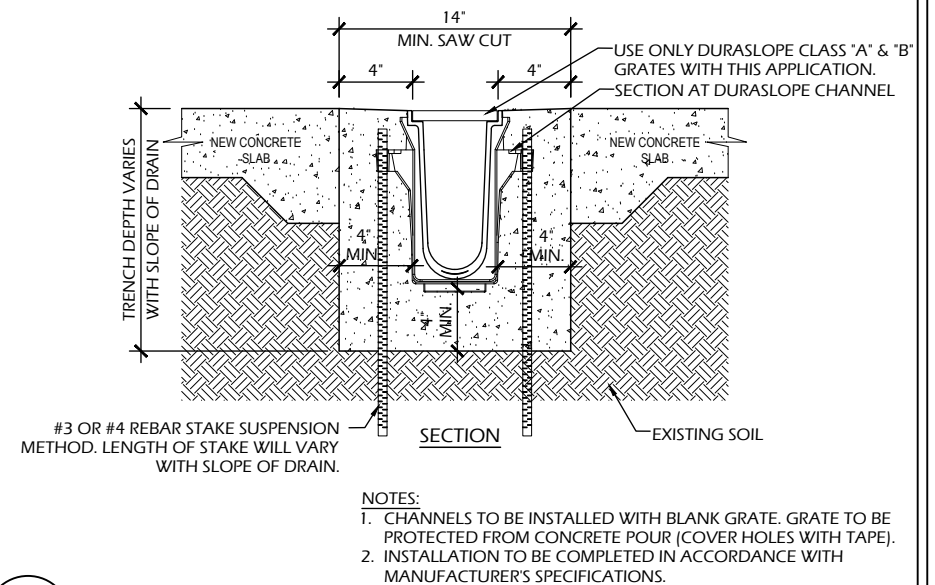
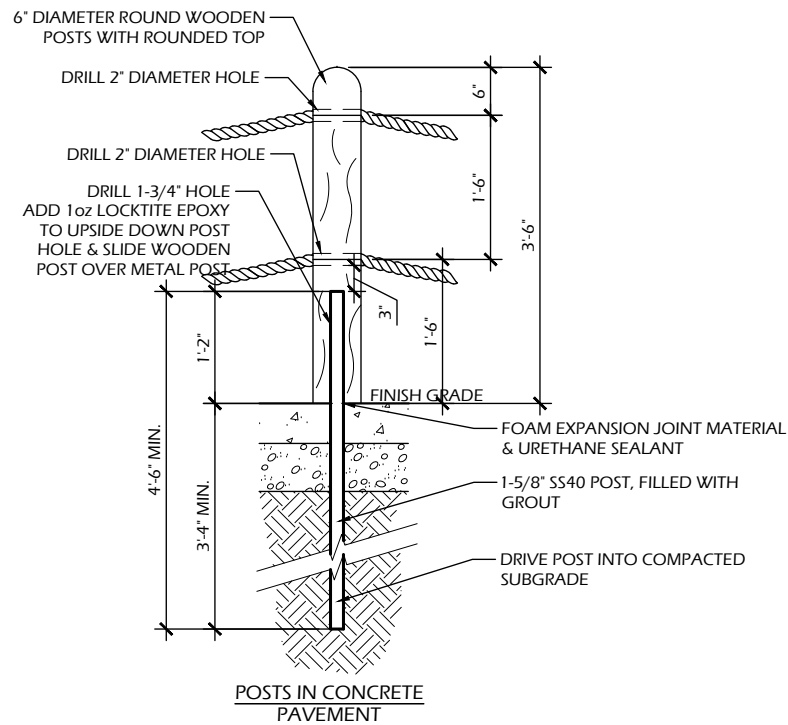


**2 SHRUB PLANTING**  
C906 SCALE: NTS

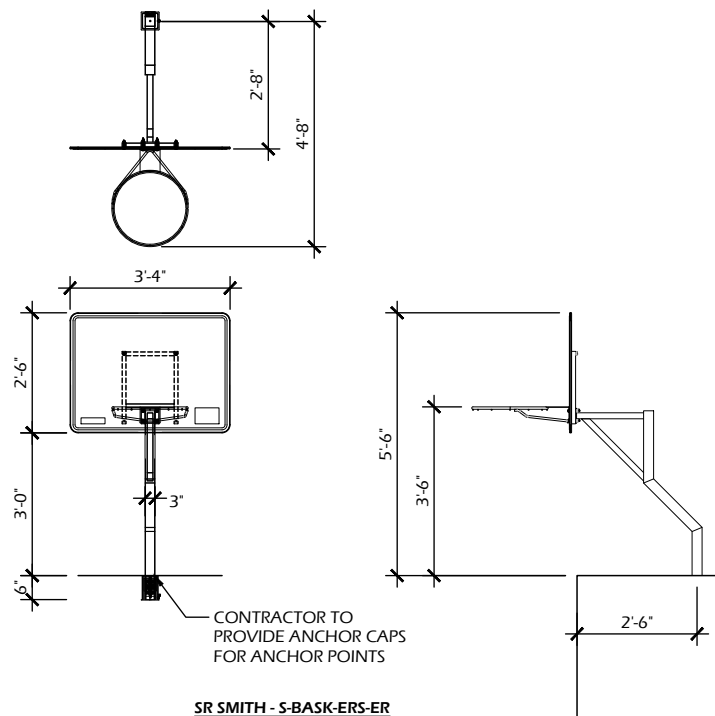


**1 B&B TREE PLANTING**  
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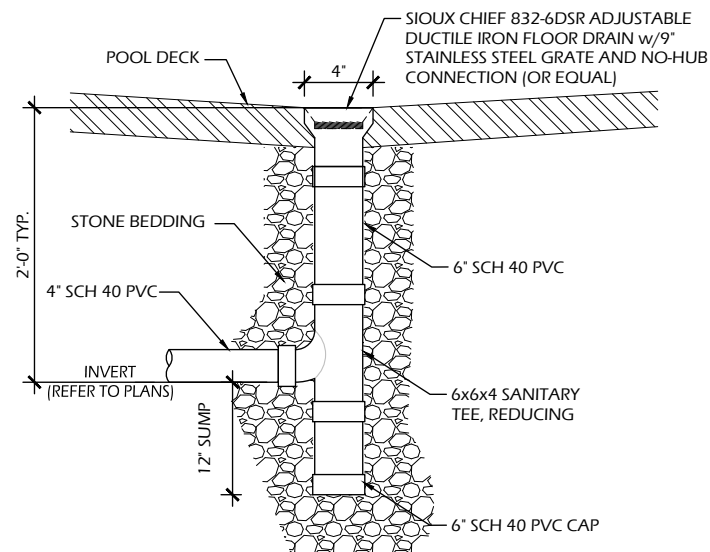




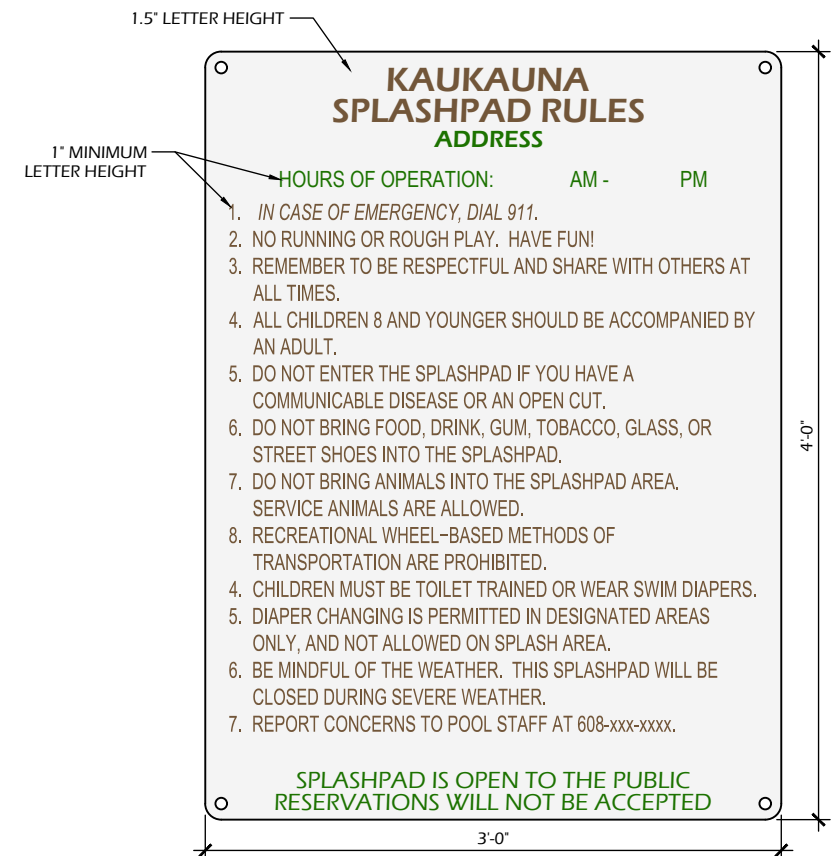
C907 SCALE: NTS



C907 SCALE: NTS



C907 SCALE: NTS



C907 SCALE: NTS

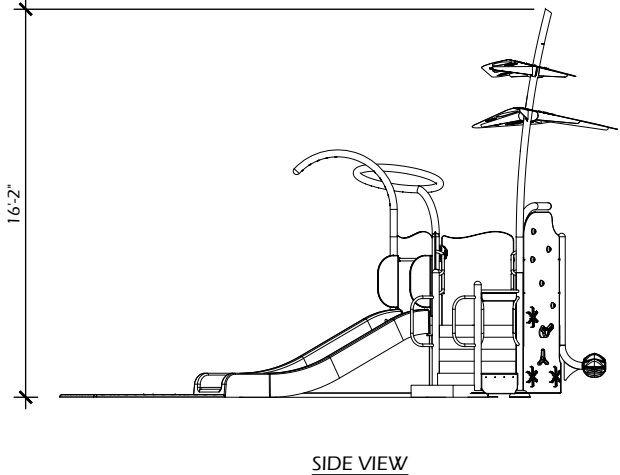
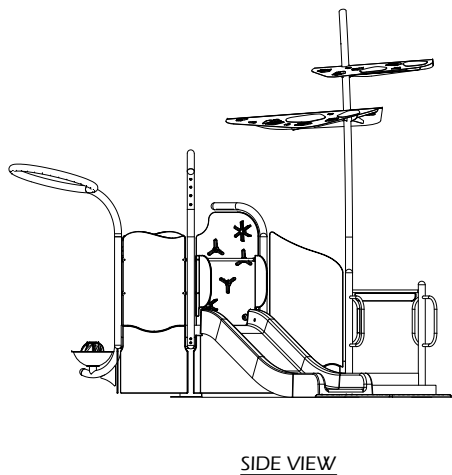
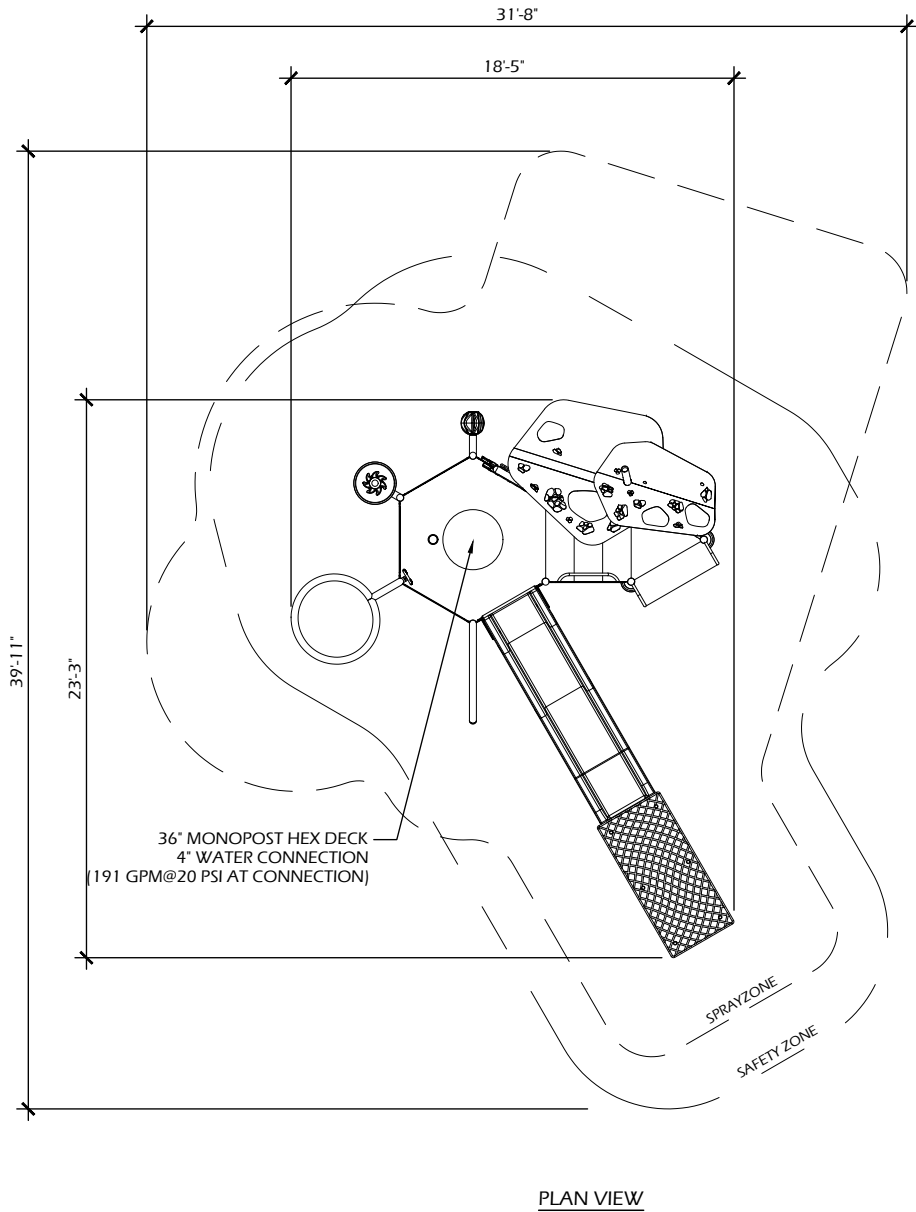


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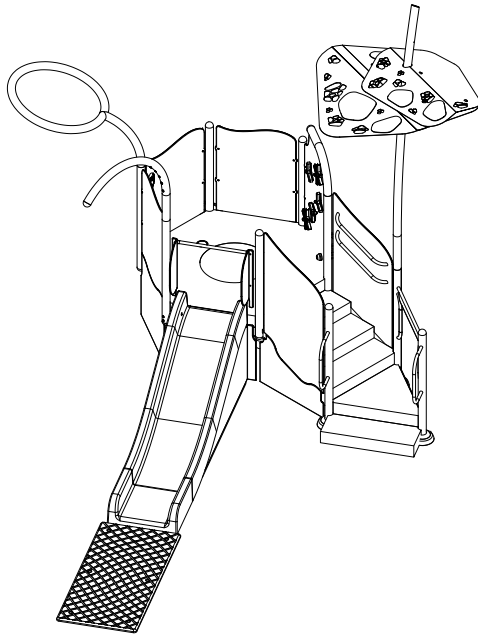
2  
C908

POOL PLAY STRUCTURE

SCALE: NTS



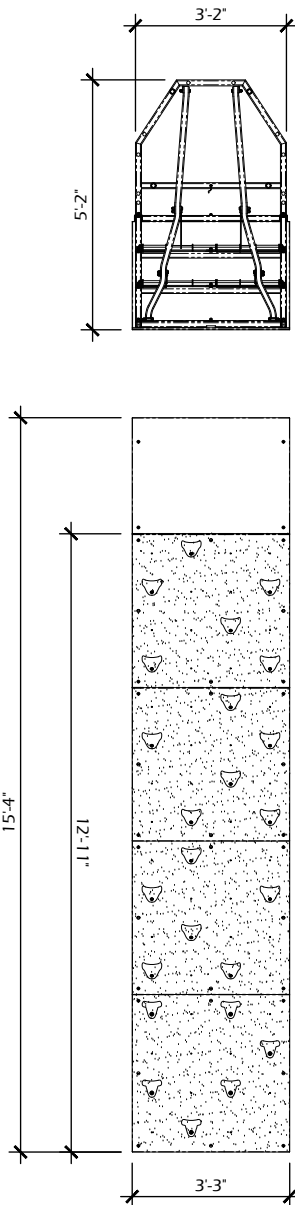
NOTES:  
1. PLAYNUK WITH STAMPED ENGINEERING AND STRUCTURAL PLANS AND CALCULATIONS TO BE PROVIDED BY CONTRACTOR/MANUFACTURER.



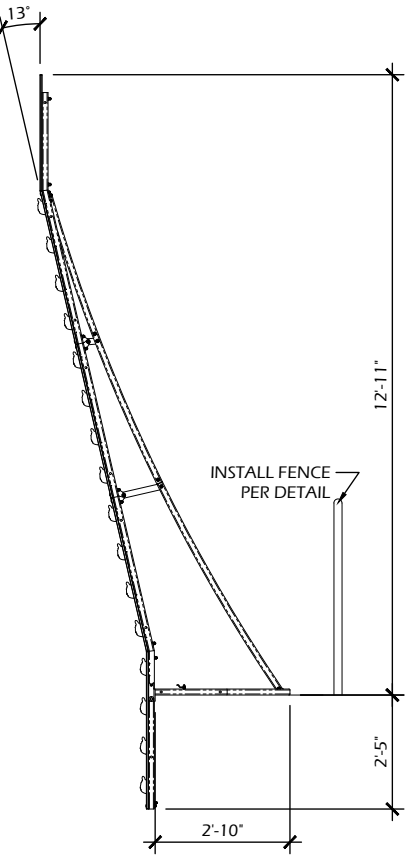
1  
C908

CLIMBING WALL

SCALE: NTS



NOTES:  
1. INSTALL PER MANUFACTURER'S DETAILS.  
2. CONTRACTOR TO PROVIDE EQUIPOTENTIAL BONDING POINTS PER ELECTRICAL PLANS.



Project Name: <b>KAUKAUNA POOL RENOVATION</b> 607 Dodge Street Kaukauna, WI 54130	
Sheet Title: <b>CONSTRUCTION DETAILS</b>	
Revisions:	
Project #: Issued For: Date:	21.039 Review 3/13/2023
Sheet Number <b>C908</b>	

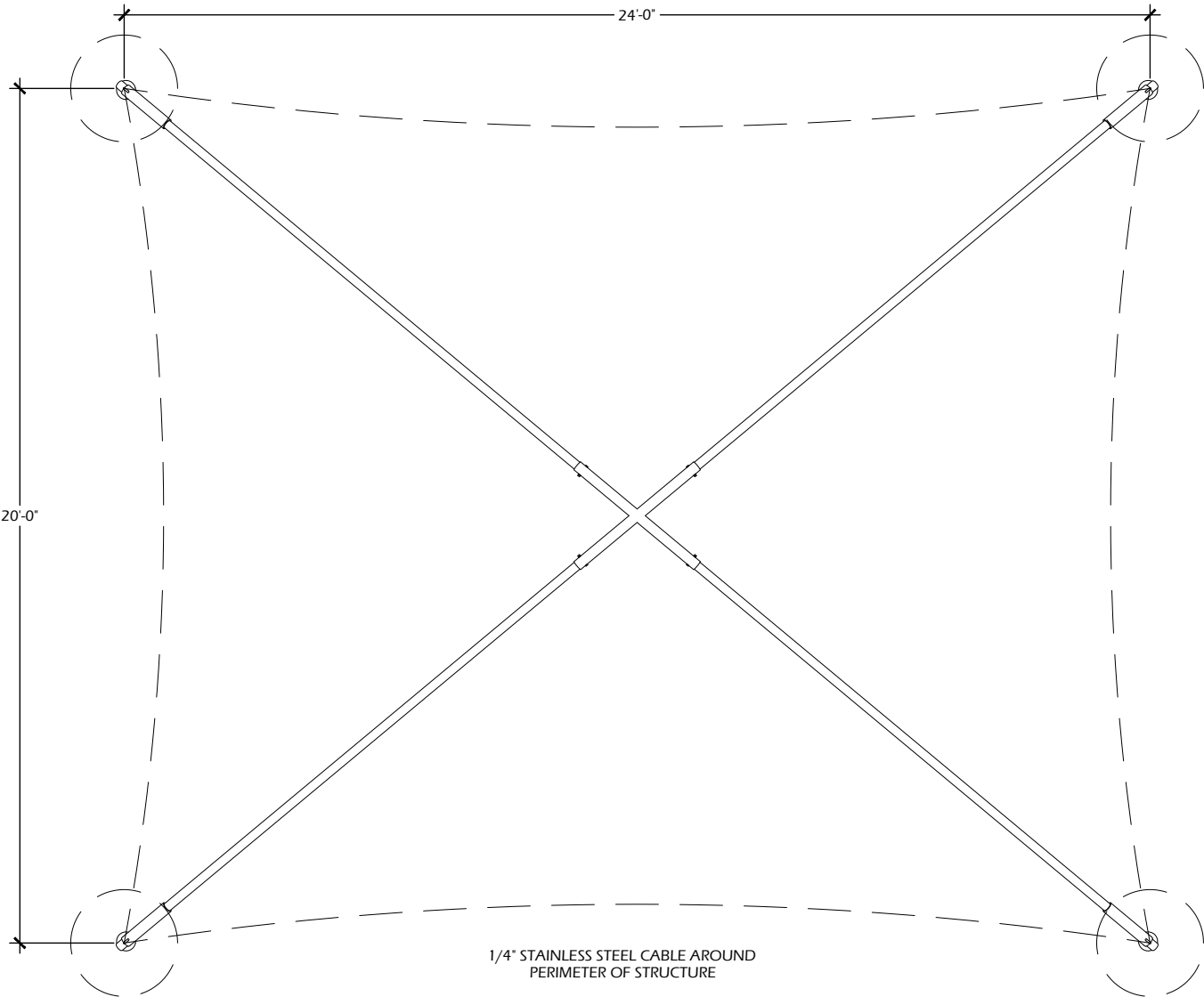
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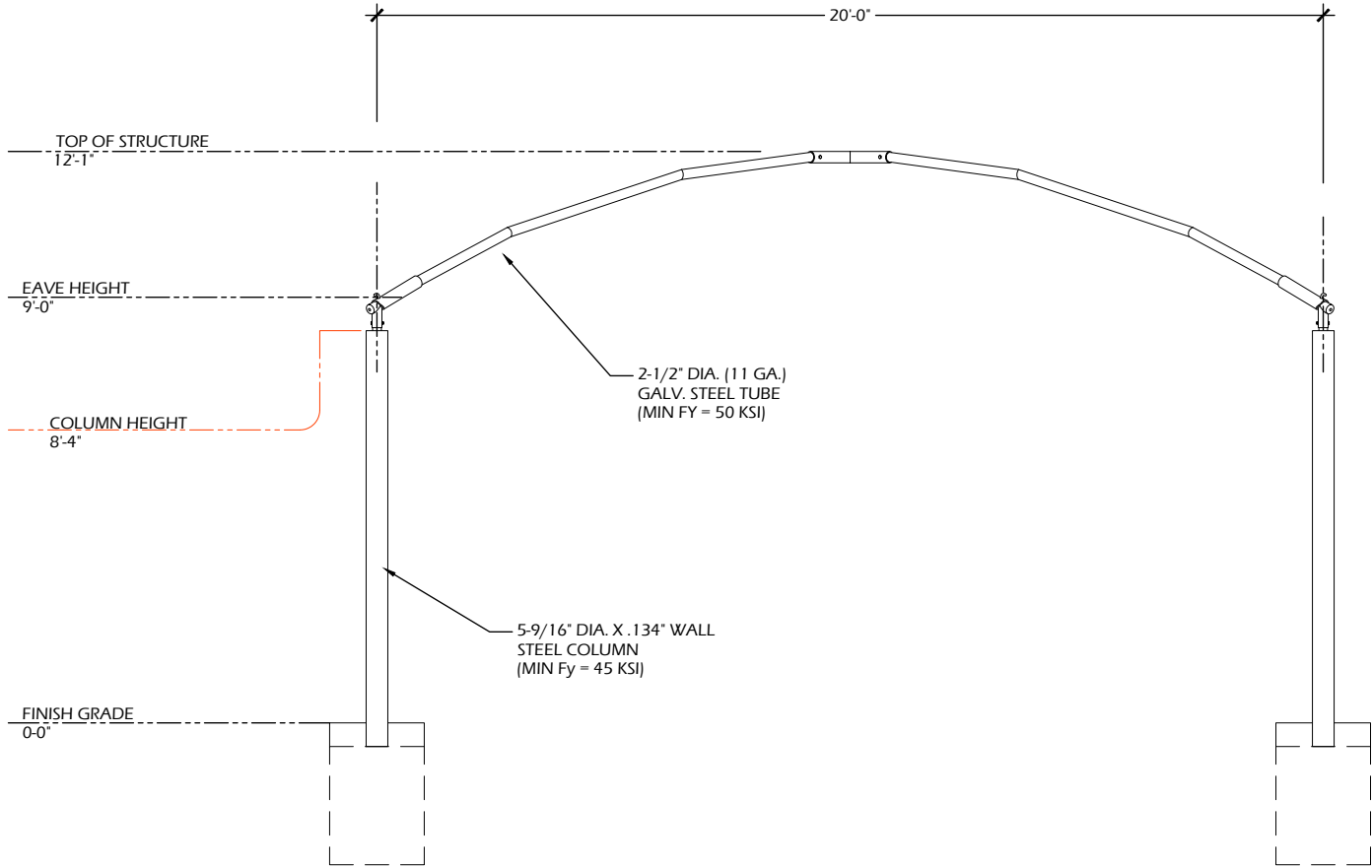
Item 4.b.



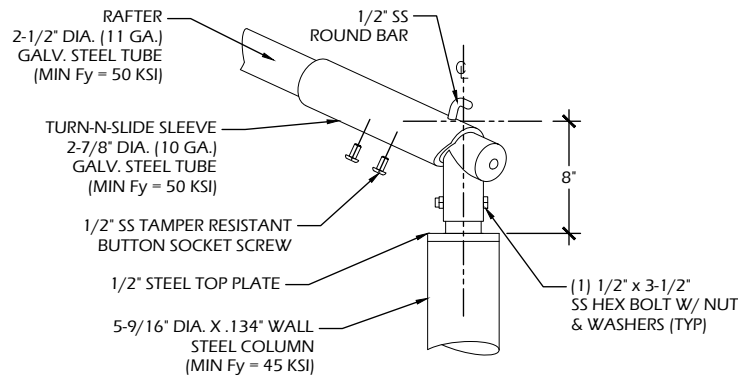
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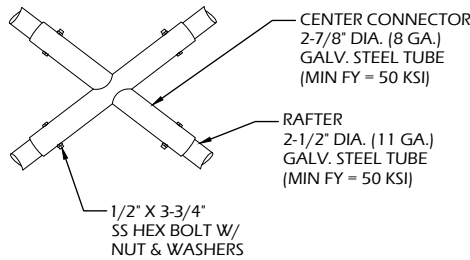
PLAN VIEW



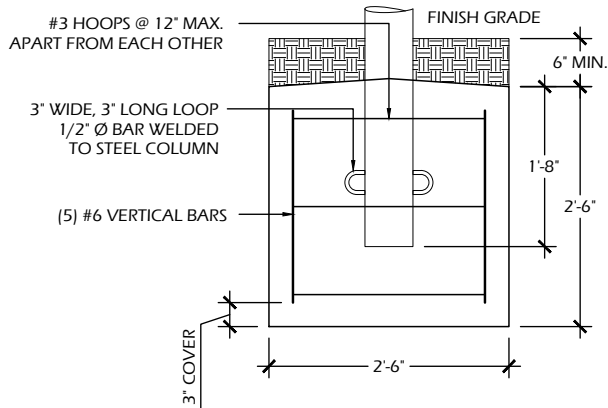
ELEVATION VIEW



RAFTER TO COLUMN CONNECTION DETAIL



CENTER CONNECTOR DETAIL



FOOTING DETAIL

1

## SHADE STRUCTURE - SMALL RECTANGLE

C909

SCALE: NTS

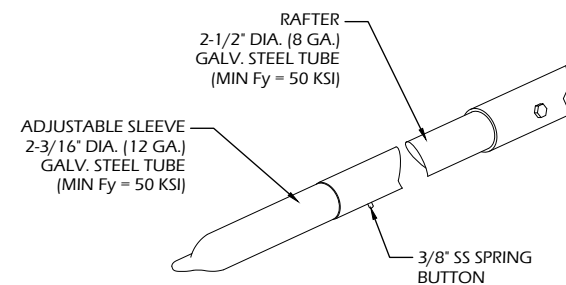
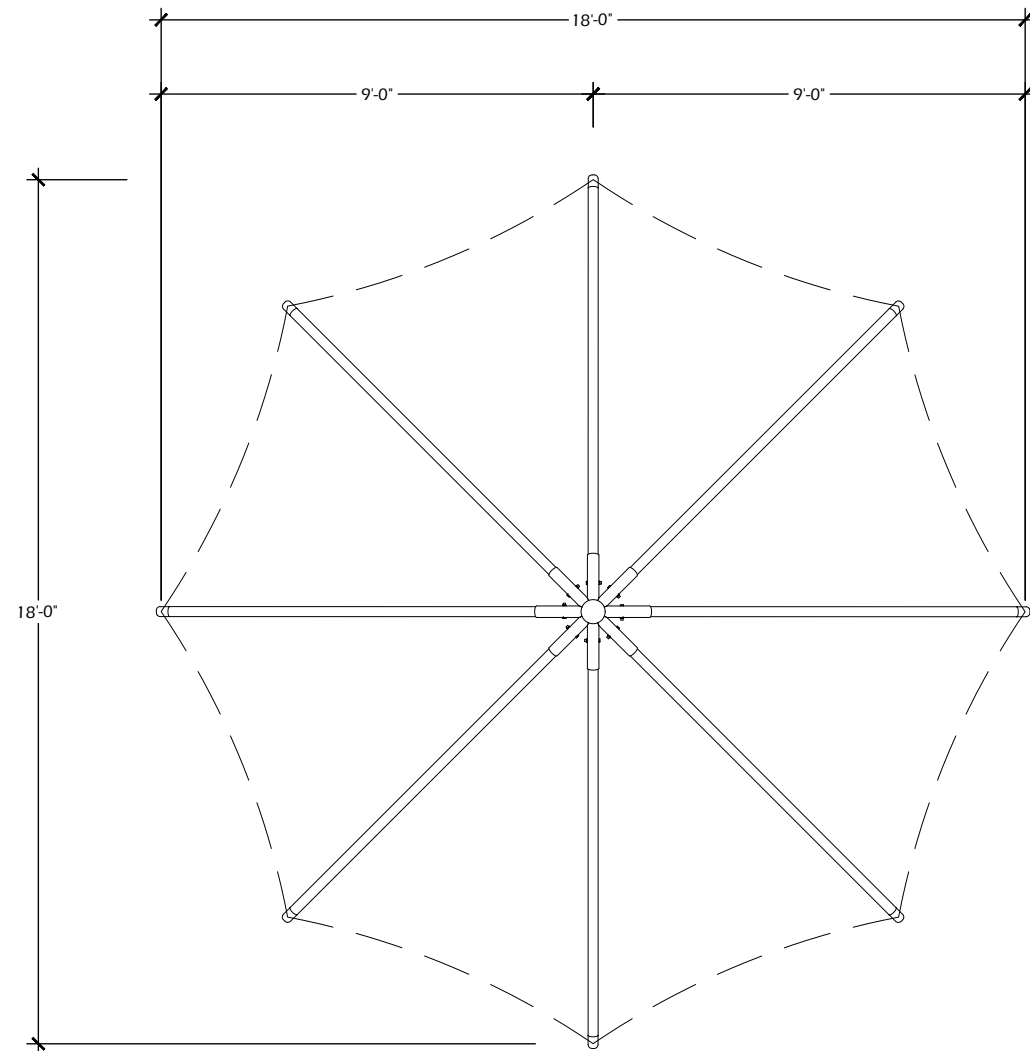
Revisions:

Project #: 21.039  
Issued For: Review  
Date: 3/13/2023

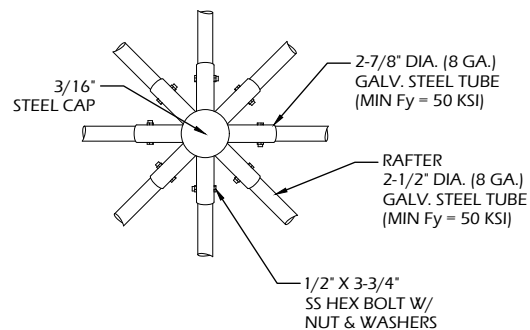
Sheet Number

**C909** 48





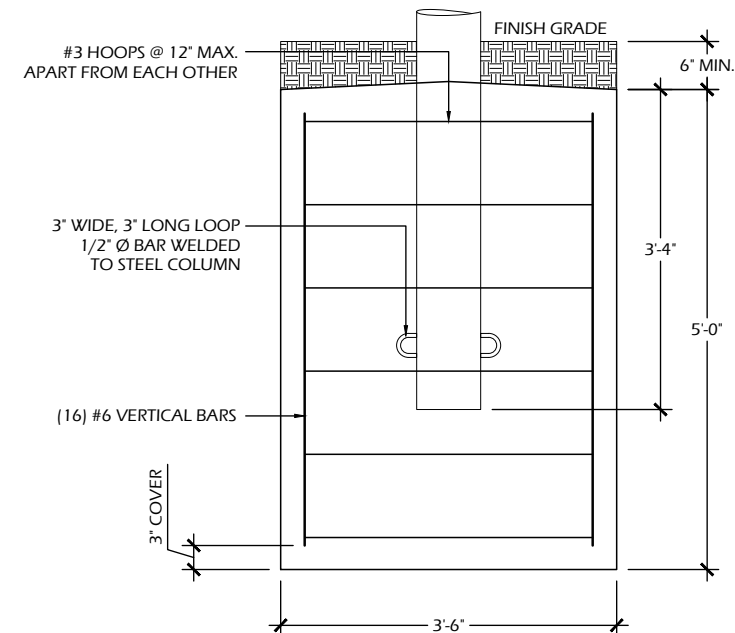
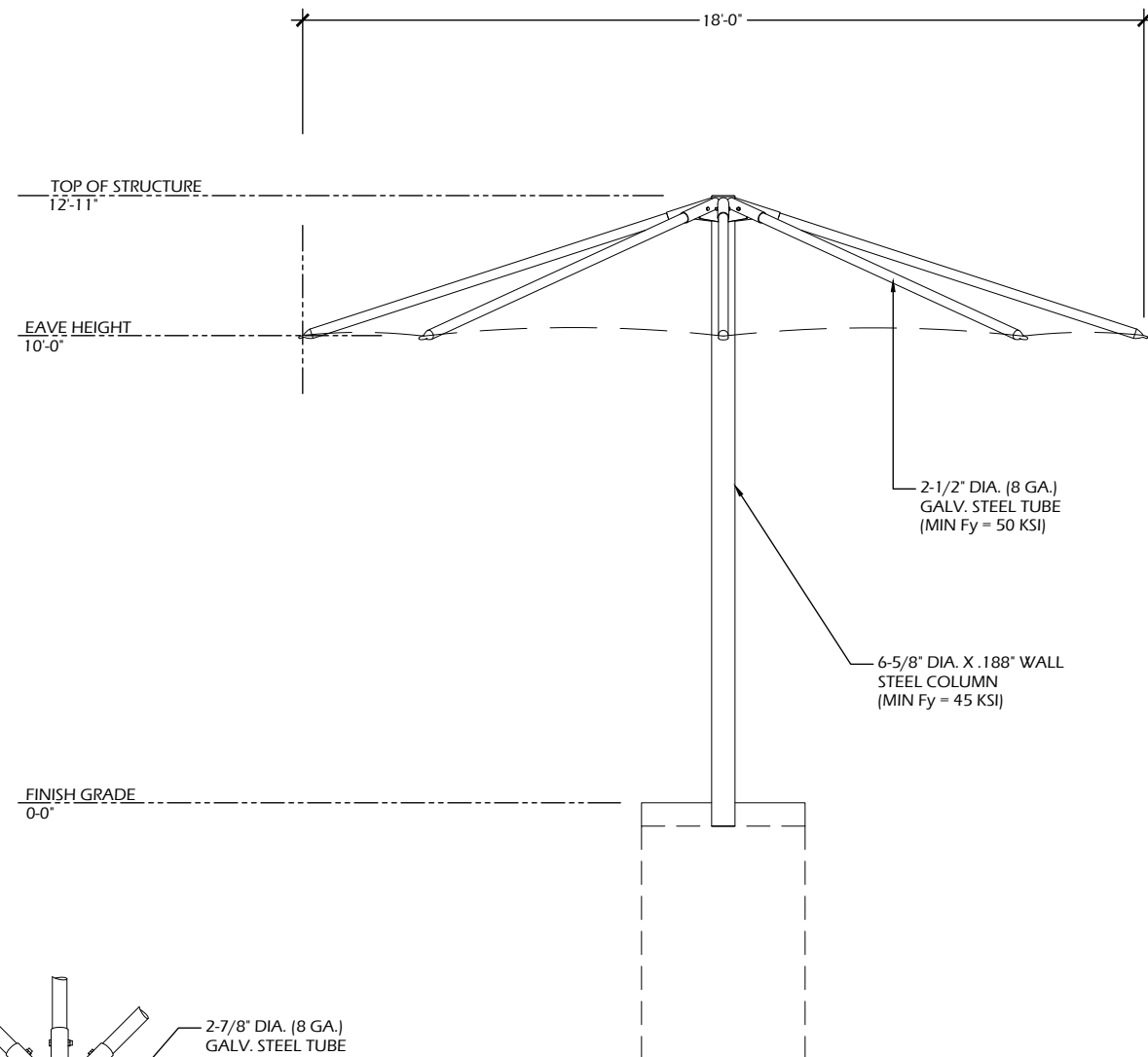
### TOP CORNER DETAIL



### RAFTER TO COLUMN CONNECTION DETAIL



### EXAMPLE



### FOOTING DETAIL

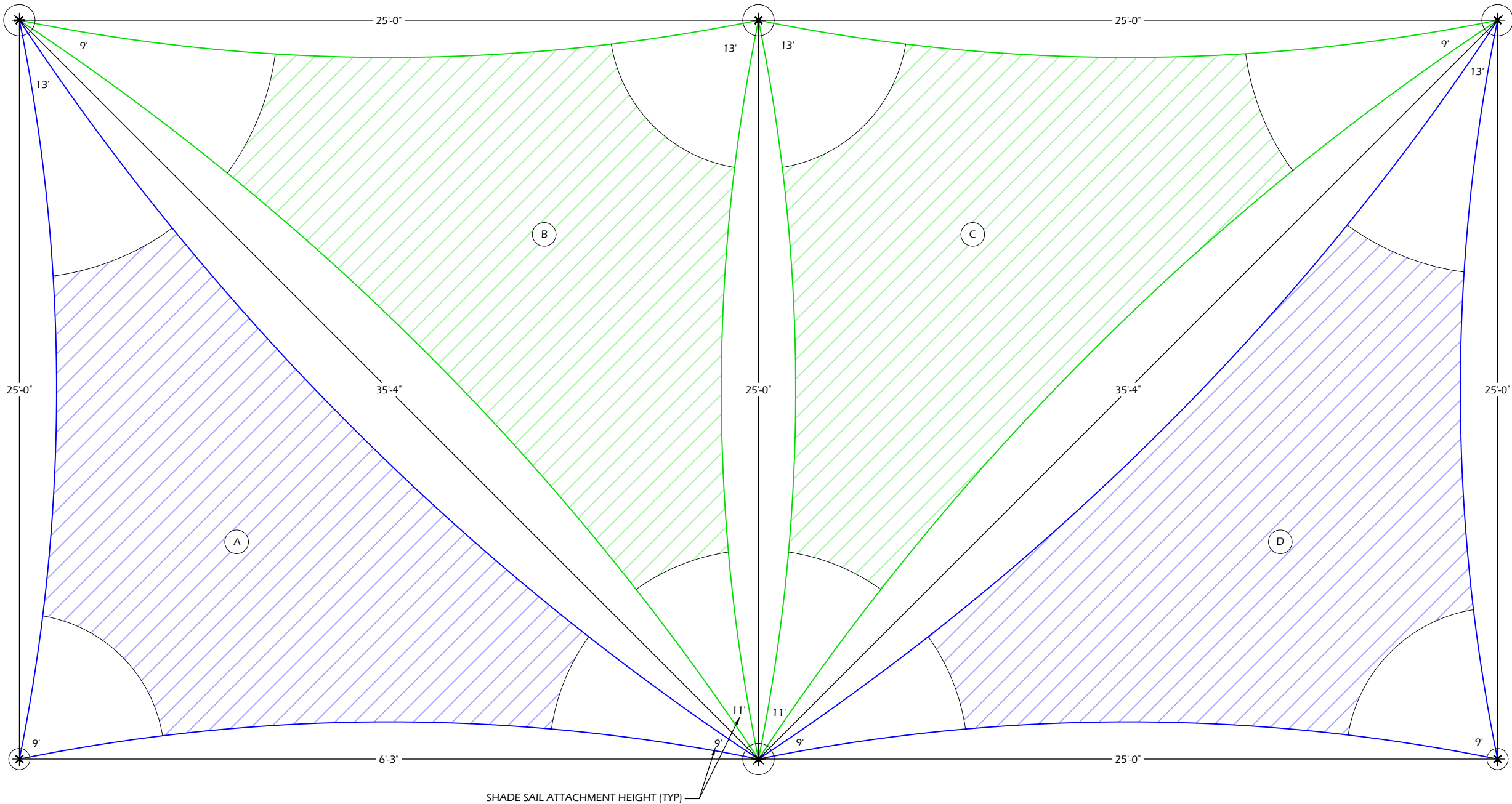


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1  
C911

SHADE STRUCTURE - RECTANGLE (OPTION A)

SCALE: NTS



Project Name:

**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Sheet Title:

**CONSTRUCTION DETAILS**

Revisions:

Project #: 21.039  
Issued For: Review  
Date: 3/13/2023

Sheet Number

**C911**

50

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608.886.6808

Item 4.b.

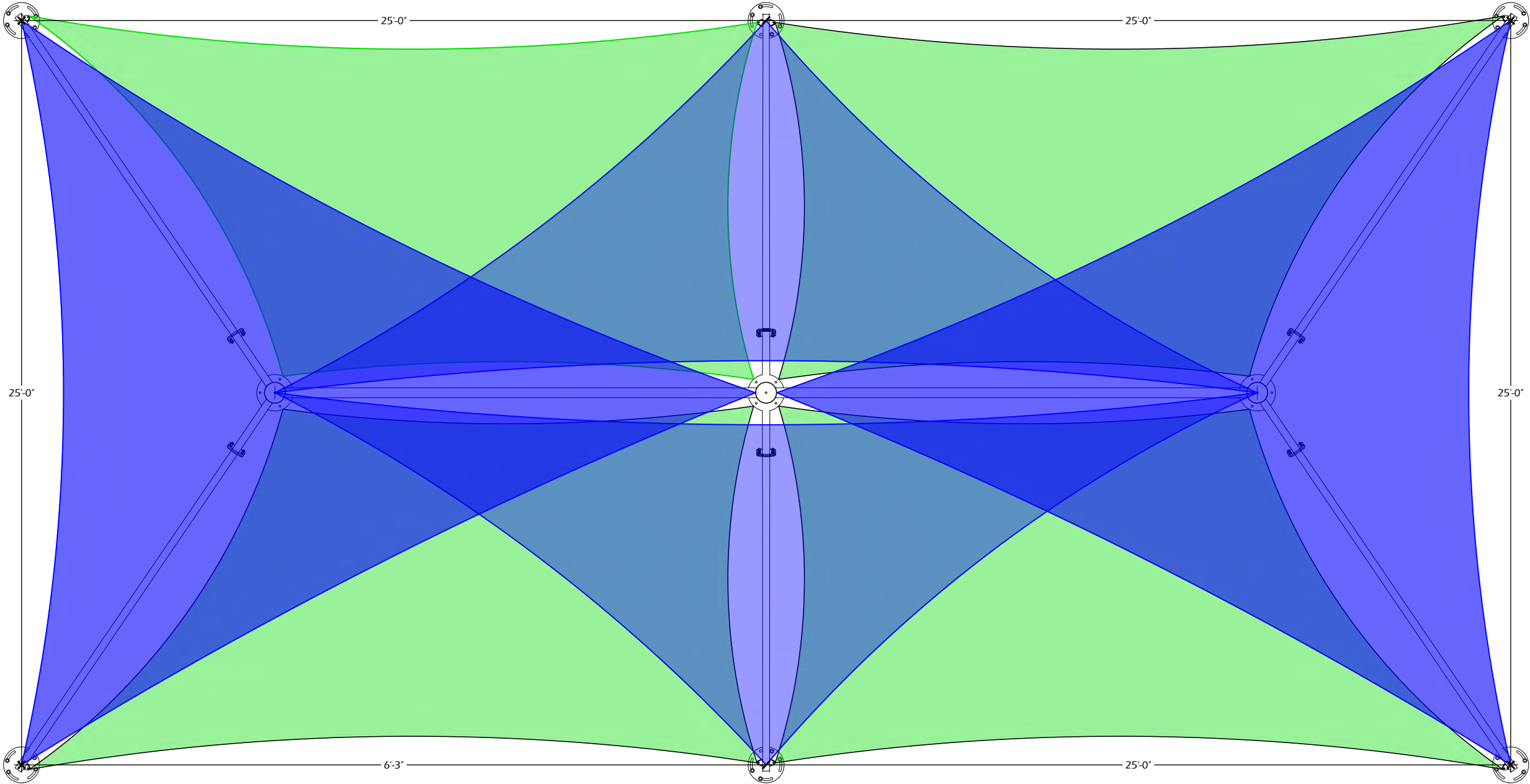


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1  
C912

SHADE STRUCTURE - RECTANGLE (OPTION B)

SCALE: NTS



Project Name:  
**KAUKAUNA POOL RENOVATION**  
607 Dodge Street  
Kaukauna, WI 54130

Sheet Title:  
**CONSTRUCTION DETAILS**

Revisions:

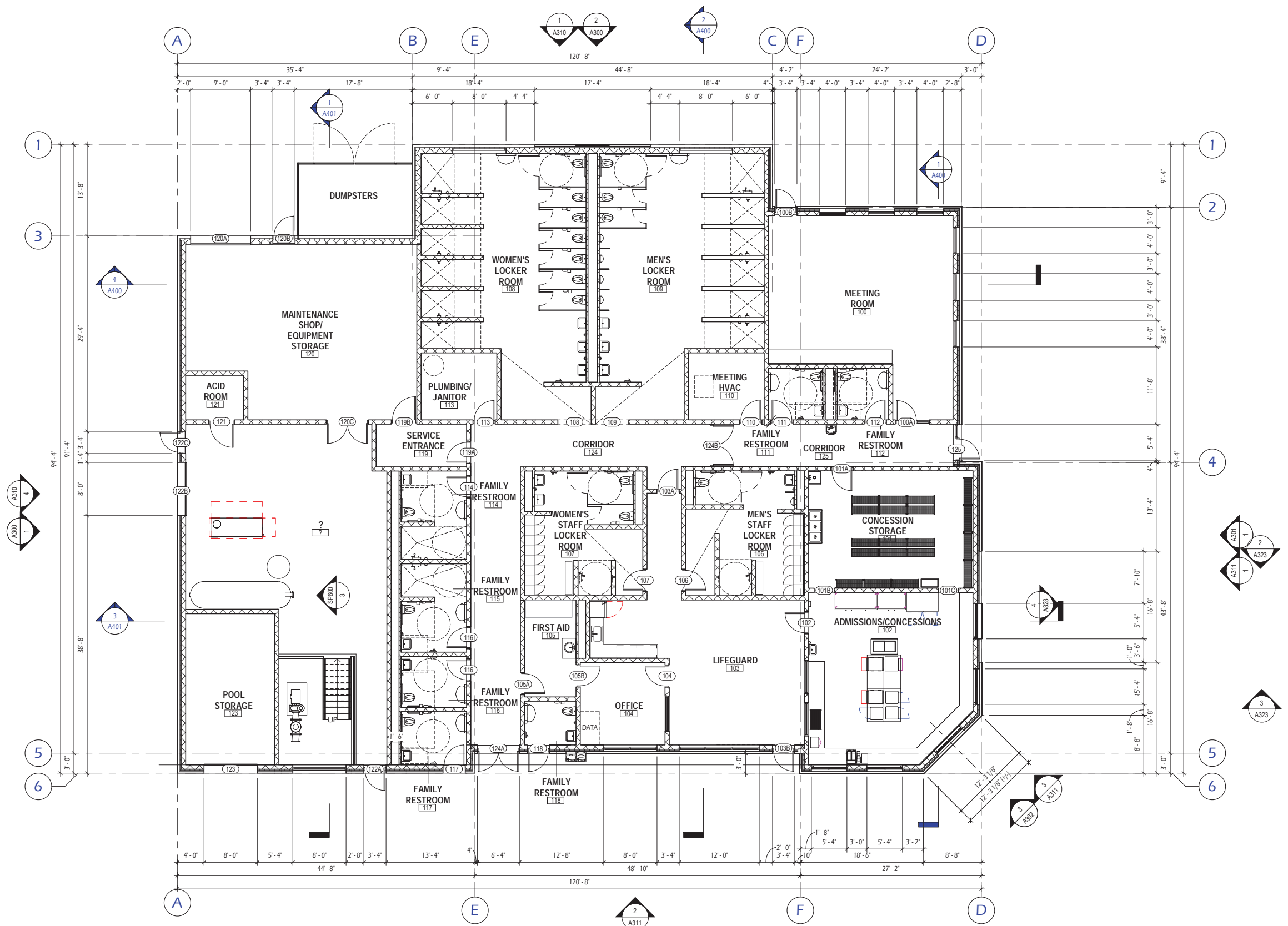
Project #:  
Issued For:  
Date:

21.039  
Review  
3/13/2023

Sheet Number

C912



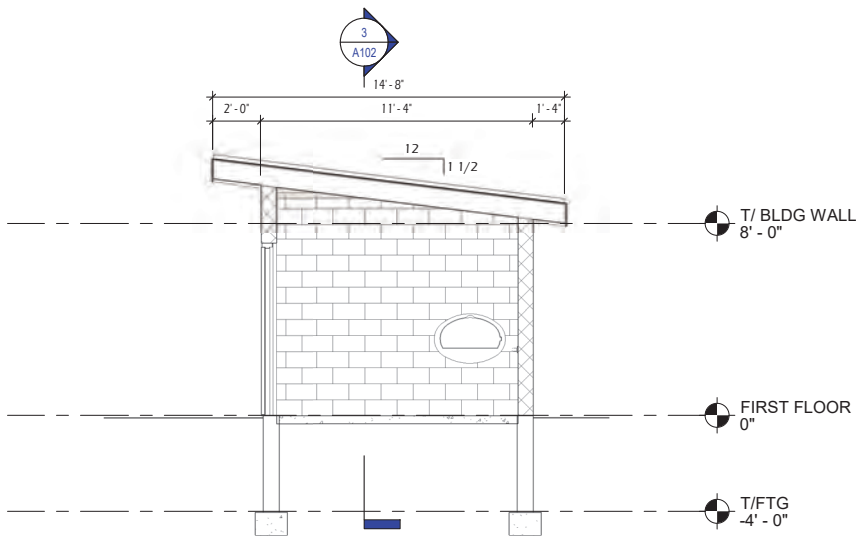


1 FLOOR PLAN  
A100 1/8" = 1'-0"

REVISIONS:		
ISSUE	DESCRIPTION	DATE

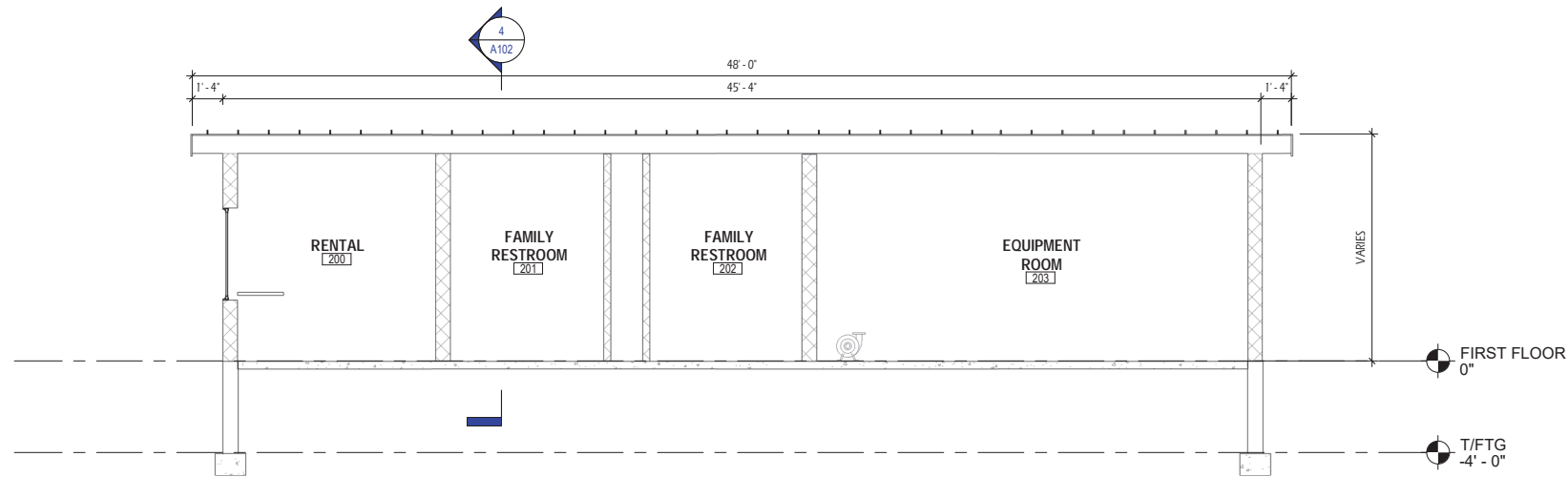
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Issued For: 75% SET  
Date: 2/10/2023





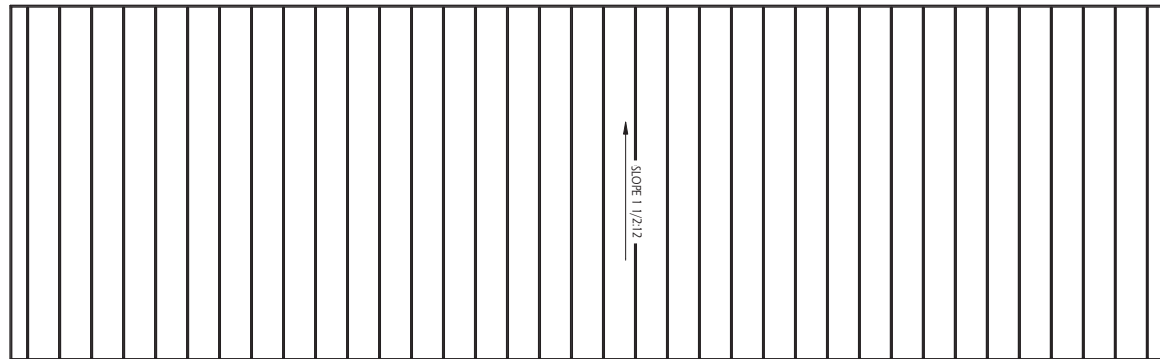
4  
A102  
1/4" = 1'-0"

**SPLASHPAD BUILDING - TRANSVERSE SECTION**



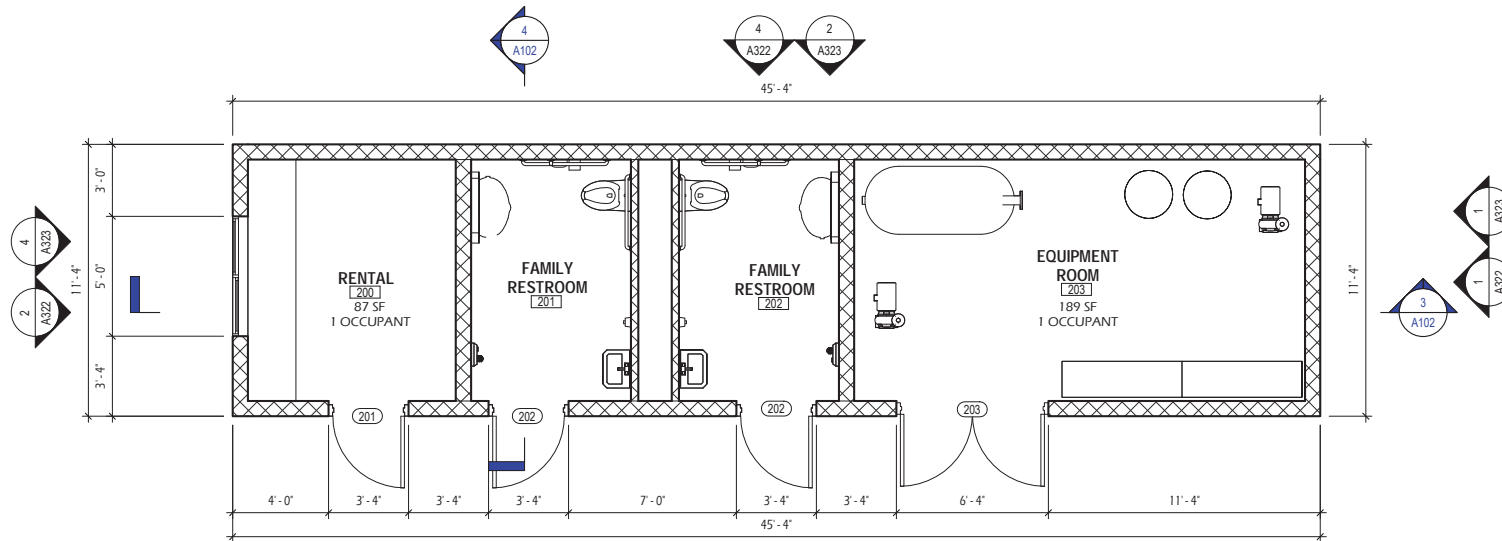
3  
A102  
1/4" = 1'-0"

**SPLASHPAD BUILDING - LONGITUDINAL SECTION**



2  
A102  
1/4" = 1'-0"

**ROOF PLAN - SPLASHPAD BUILDING**



1  
A102  
1/4" = 1'-0"

**FLOOR PLAN - SPLASHPAD BUILDING**

CODE SUMMARY	
<b>CODES:</b> <ul style="list-style-type: none"><li>SPS 362 - WISCONSIN COMMERCIAL BUILDING CODE / 2015 ICC INTERNATIONAL BUILDING CODE ADOPTION</li><li>ICC A117.1-09 "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES"</li></ul>	
<b>BUILDING DATA</b>	
FLOOR LEVEL	FLOOR AREA
FIRST FLOOR:	514 SF
# STORIES:	1
BUILDING HEIGHT:	10'-2 1/4" (MEAN ROOF HEIGHT)
<b>USE &amp; OCCUPANCY CLASSIFICATION (CHAPTER 3):</b>	
USE CATEGORY:	B: BUSINESS
<b>CONSTRUCTION TYPE:</b>	
TYPE VB - NON-SPRINKLED	
<b>BUILDING HEIGHT &amp; AREA (CHAPTER 5):</b>	
ALLOWABLE HEIGHT:	40 FT (TABLE 504.3)
ALLOWABLE # OF STORIES:	2-STORIES (TABLE 504.4)
ALLOWABLE BUILDING AREA (B):	9,000 SF (TABLE 506.2)
<b>CONSTRUCTION RATINGS (CHAPTER 6, TABLE 601):</b>	
PRIMARY STRUCTURAL FRAME:	0 HR
INTERIOR BEARING WALLS:	0 HR
EXTERIOR BEARING WALLS:	0 HR
FLOOR CONSTRUCTION:	0 HR
ROOF CONSTRUCTION:	0 HR
<b>FIRE PROTECTION (CHAPTER 9):</b>	
FIRE PROTECTION SYSTEM REQUIRED:	NO
<b>OCCUPANT LOAD (CHAPTER 10, TABLE 602):</b>	
ACCESSORY STORAGE/MECHANICAL:	1 PER 300 SF GROSS
FAMILY RESTROOMS:	SEE PLAN
TOTAL CALCULATED OCCUPANTS:	2 OCCUPANTS
<b>EGRESS (CHAPTER 10):</b>	
<b># EXITS REQUIRED (TABLE 1006.2.1)</b>	
GROUND FLOOR:	1 REQ'D
	< 50 OCCUPANTS
	< 75 FT TRAVEL DISTANCE
EXIT MINIMUM WIDTH:	0.2 INCHES PER OCCUPANT (1005.3.2)
<b>ACCESSIBILITY</b>	
ACCESSIBLE SPACES TO BE LOCATED ON 1ST FLOOR & TO COMPLY WITH ANSI 117.1	
FEC FIRE EXTINGUISHER CABINET	



EXTERIOR MATERIALS			
MARK	DESCRIPTION	COLOR	NOTES
AA1	ANNODIZED ALUMINUM	BLACK	4
M1	SMOOTH-FACE MASONRY	BLACK GRANITE	2
M2	SMOOTH-FACE MASONRY	ECHO	2
P1	PAINTED FINISH	BLACK	
R1	ROOF & ROOF ACCESSORIES	COPPER PENNY	3
R2	ROOF & ROOF ACCESSORIES	GRAPHITE	3
S1	VERTICAL PANELS (SMOOTH)	GRAPHITE	1
S2	VERTICAL PANELS (SMOOTH)	LIGHT GREY	1
S3	VERTICAL WOOD - ASH	WEATHERED	1
T1	HROIZONTAL TRIM BOARD	GRAPHITE	3

NOTES:

- COLOR SELECTED FROM LP BUILDING SOLUTIONS STANDARD COLORS.
- COLOR SELECTED FROM COUNTY MATERIALS "PREMIER ULTRA" SERIES BURNISHED BLOCK STANDARD COLORS.
- COLOR SELECTED FROM PAC-CLAD STANDARD COLORS.
- COLOR SELECTED FROM KAWNEER ANNODIZED ALUMINUM STANDARD COLORS.



1 NORTH ELEVATION - BUILDING MATERIALS  
A310 3/16" = 1'-0"



4 WEST ELEVATION - BUILDING MATERIALS  
A310 3/16" = 1'-0"

Project Name: KAUKAUNA MUNICIPAL POOL RENOVATION  
607 DODGE STREET, KAUKAUNA, WI 54130

Sheet Title: BUILDING ELEVATIONS - MATERIALS

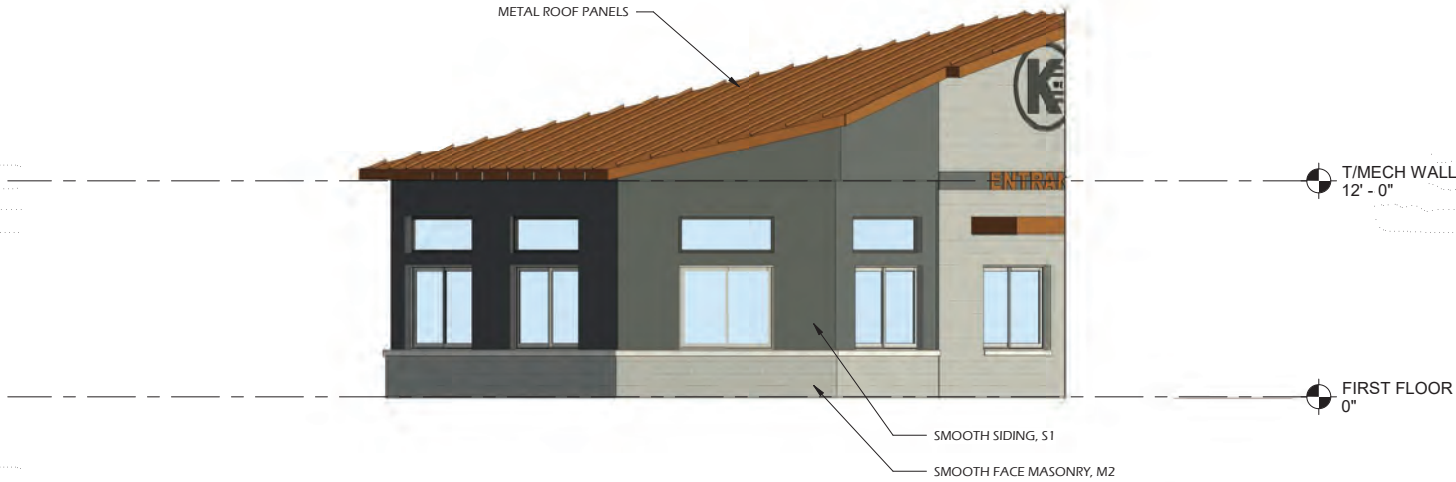
Project #: 20.008  
Issued For: 75% SET  
Date: 2/10/2023

Sheet Number: A310

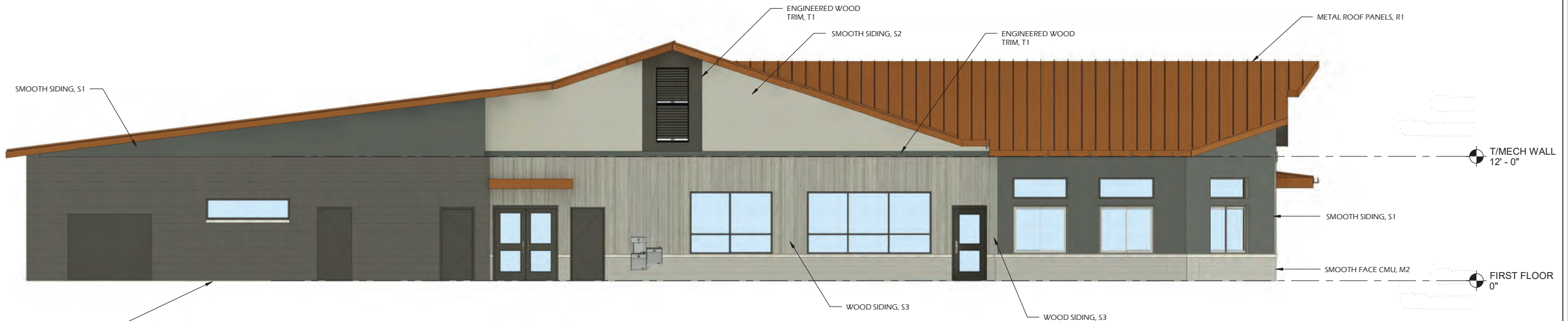
54



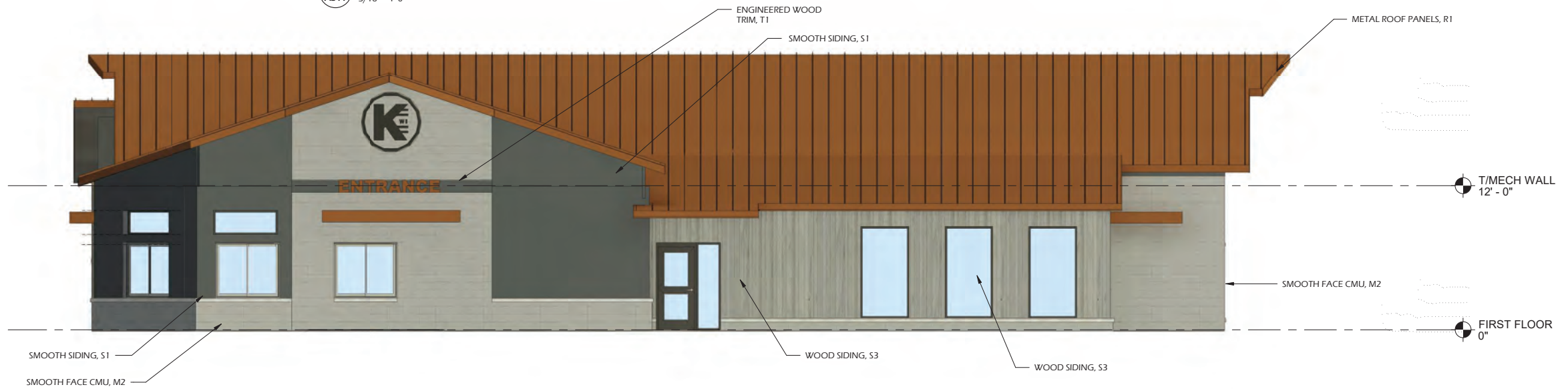
EXTERIOR MATERIALS			
MARK	DESCRIPTION	COLOR	NOTES
AA1	ANNODIZED ALUMINUM	BLACK	4
M1	SMOOTH-FACE MASONRY	BLACK GRANITE	2
M2	SMOOTH-FACE MASONRY	ECHO	2
P1	PAINTED FINISH	BLACK	
R1	ROOF & ROOF ACCESSORIES	COPPER PENNY	3
R2	ROOF & ROOF ACCESSORIES	GRAPHITE	3
S1	VERTICAL PANELS (SMOOTH)	GRAPHITE	1
S2	VERTICAL PANELS (SMOOTH)	LIGHT GREY	1
S3	VERTICAL WOOD - ASH	WEATHERED	1
T1	HROIZONTAL TRIM BOARD	GRAPHITE	3
NOTES: 1. COLOR SELECTED FROM LP BUILDING SOLUTIONS STANDARD COLORS. 2. COLOR SELECTED FROM COUNTY MATERIALS "PREMIER ULTRA" SERIES BURNISHED BLOCK STANDARD COLORS. 3. COLOR SELECTED FROM PAC-CLAD STANDARD COLORS. 4. COLOR SELECTED FROM KAWNEER ANNODIZED ALUMINUM STANDARD COLORS.			



**EAST ELEVATION (CONCESSIONS) - BUILDING MATERIALS**  
3  
A311 3/16" = 1'-0"



**SOUTH ELEVATION - BUILDING MATERIALS**  
2  
A311 3/16" = 1'-0"



**EAST ELEVATION - BUILDING - MATERIALS**  
1  
A311 3/16" = 1'-0"





NORTHWEST ELEVATION



NORTHEAST ELEVATION

Item 4.b.

REVISIONS:		
ISSUE	DESCRIPTION	DATE

Project #: 20.008  
Issued For: 75% SET  
Date: 2/10/2023





SOUTH ELEVATION



SOUTHEAST ELEVATION



**PARKITECTURE  
+ PLANNING**

901 Deming Way, Suite 102  
Madison, WI 53717  
608.886.6808

Parkitecture

Project Name: KAUKAUNA MUNICIPAL POOL RENOVATION  
607 DODGE STREET, KAUKAUNA, WI 54130

Sheet Title

**EXTERIOR RENDERINGS**

REVISIONS:		
ISSUE	DESCRIPTION	DATE

Project #: 20.008  
Issued For: 75% SET  
Date: 2/10/2023

Sheet Number

**A32**

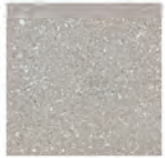


EXTERIOR MATERIALS			
MARK	DESCRIPTION	COLOR	NOTES
AA1	ANNODIZED ALUMINUM	BLACK	4
M1	SMOOTH-FACE MASONRY	BLACK GRANITE	2
M2	SMOOTH-FACE MASONRY	ECHO	2
P1	PAINTED FINISH	BLACK	
R1	ROOF & ROOF ACCESSORIES	COPPER PENNY	3
R2	ROOF & ROOF ACCESSORIES	GRAPHITE	3
S1	VERTICAL PANELS (SMOOTH)	GRAPHITE	1
S2	VERTICAL PANELS (SMOOTH)	LIGHT GREY	1
S3	VERTICAL WOOD - ASH	WEATHERED	1
T1	HROIZONTAL TRIM BOARD	GRAPHITE	3

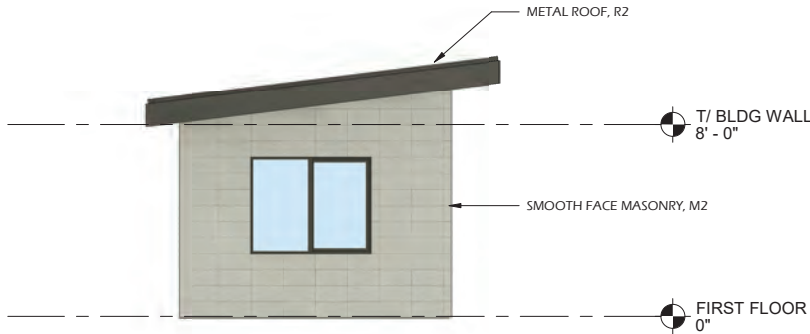
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2. COLOR SELECTED FROM COUNTY MATERIALS "PREMIER ULTRA" SERIES BURNISHED BLOCK STANDARD COLORS.  
3. COLOR SELECTED FROM PAC-CLAD STANDARD COLORS.  
4. COLOR SELECTED FROM KAWNEER ANNODIZED ALUMINUM STANDARD COLORS.



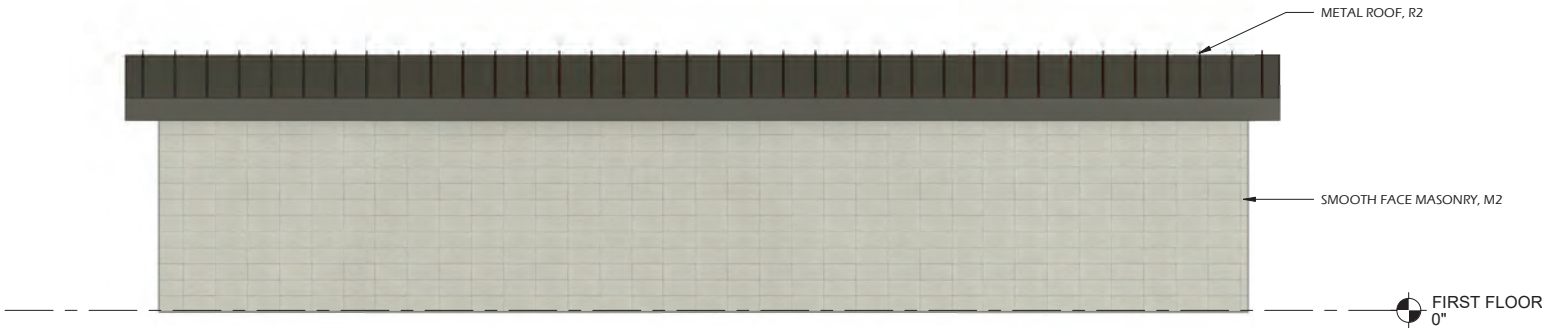
ROOFING (R2)  
(KYNAR - GRAPHITE)



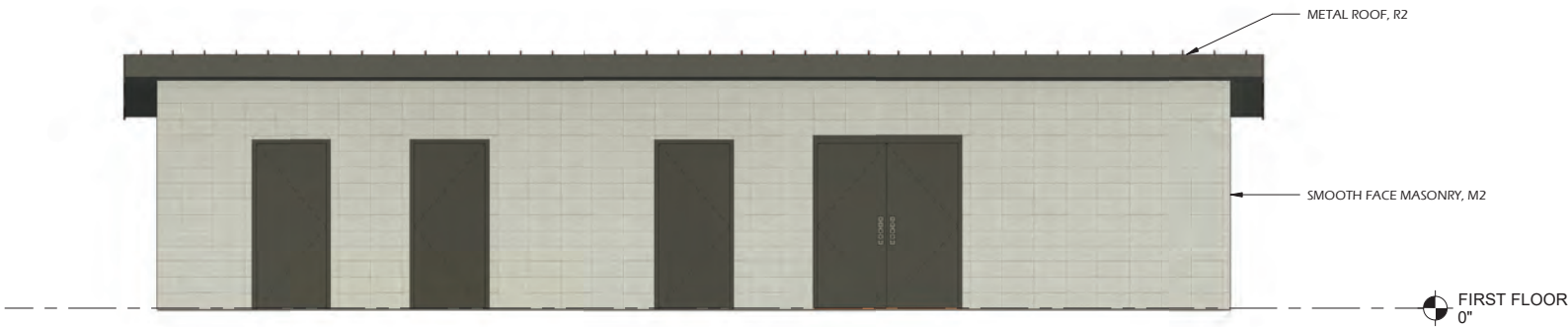
MASONRY (M2)  
(ECHO)



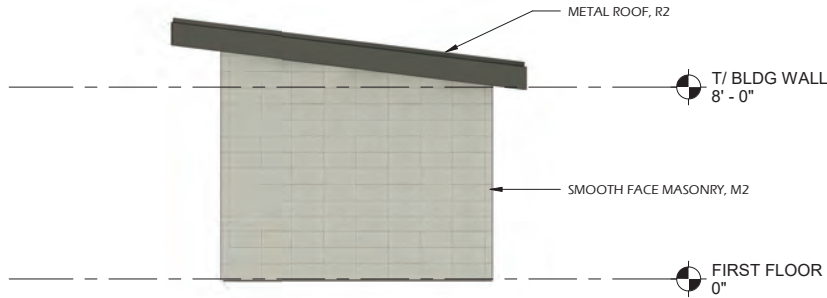
4  
A323  
WEST ELEVATION - MATERIALS SPLASHPAD BUILDING  
1/4" = 1'-0"



2  
A323  
NORTH ELEVATION - MATERIALS SPLASHPAD BUILDING  
1/4" = 1'-0"



3  
A323  
SOUTH ELEVATION - MATERIALS SPLASHPAD BUILDING  
1/4" = 1'-0"



1  
A323  
EAST ELEVATION - MATERIALS (SPLASHPAD BUILDING)  
1/4" = 1'-0"





# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: March, 17, 2023  
Re: Preliminary Plat Review – Hurkman Heights 4

Hurkman Heights is a development South of Highway 41 on the north end of the city. Hurkman Heights is a 26-unit single-family development that has been built out in 4 phases. Plan Commission has reviewed a previous plat for this phase. Plan Commission gave direction to the developer to provide for more traffic circulation and found the long dead-end road to be a safety concern.

Since then, a new plat has been created that provides traffic circulation and a secondary exit to the subdivision. Setter Drive has been extended west and will link existing Setter Drive and Ben's Way. One concern is the ability for Lot 95 to safely back out of their future driveway. The end of Setter Drive should gain an easement and create a bulb, instead of a dead end road. This extension betters the safety and traffic concerns and will provide a joining of the various phases of Hurkman Heights Subdivision.

### **Recommendation:**

**Approval of the Hurkman Heights Phase 4 Preliminary Plat, and recommend the same to the common council with the following conditions:**

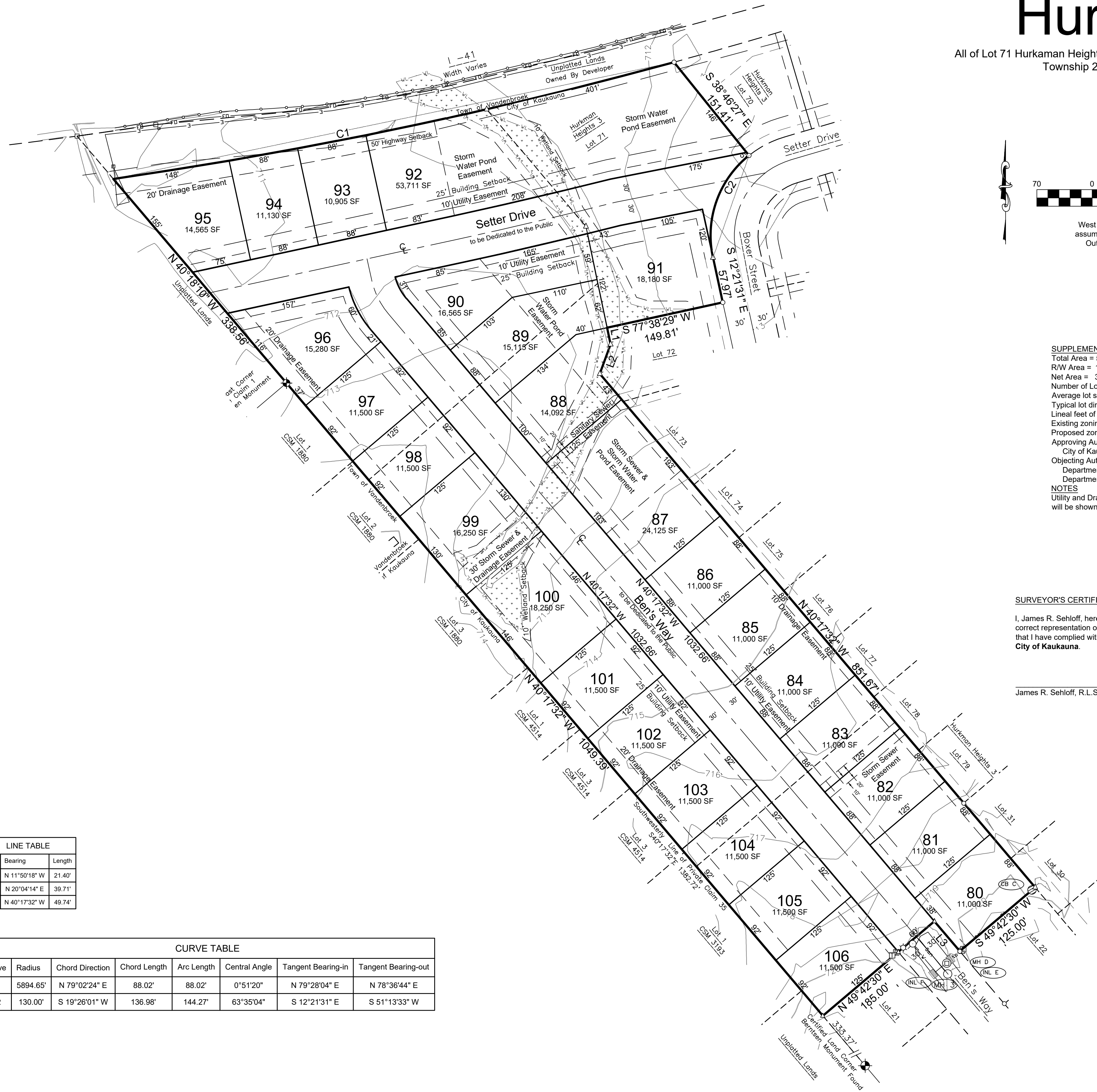
- 1. A bulb is installed at the west end of Setter Drive for access to Lot 95**
- 2. Prior to construction all applicable permits and approvals are obtained from Public Works, City Building Inspector, and DNR.**



Preliminary Plat of

# Hurkman Heights 4

All of Lot 71 Hurkman Heights 3 and part of Lots 12 & 18 and all of Lot 16, in the Subdivision of Private Claim 35 in 1858, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin



Bearings are referenced to the West line of Private Claim 35, T21N, R18E assumed to bear N40°17'32"W based on the Outagamie County coordinate system.

#### SUPPLEMENTARY DATA

Total Area = 502,523 SF 11.5363 acres  
 R/W Area = 105,354 SF 2.4186 acres  
 Net Area = 397,169 SF 9.1177 acres  
 Number of Lots = 27  
 Average lot size = 11,250 SF  
 Typical lot dimension = 90' x 125'  
 Lineal feet of street = 1,844 LF  
 Existing zoning = RSF  
 Proposed zoning = RSF  
 Approving Authorities  
 City of Kaukauna  
 Objecting Authorities  
 Department of Administration  
 Department of Transportation  
**NOTES**  
 Utility and Drainage Easements  
 will be shown on Final Plat

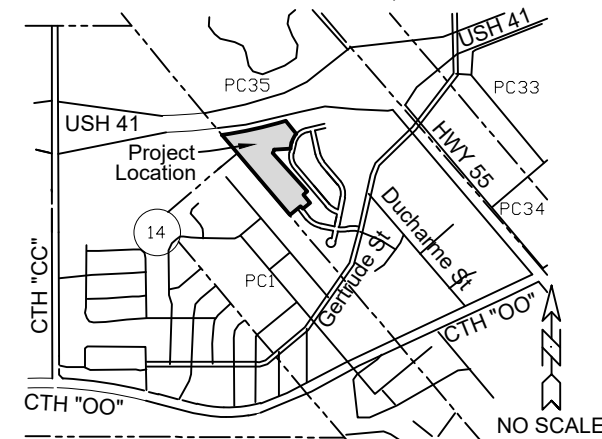
#### SURVEYOR'S CERTIFICATE

I, James R. Sehloff, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the City of Kaukauna.

James R. Sehloff, R.L.S. No. S-2692 Date

#### LOCATION MAP

PART OF PC35, T 21 N, R 18 E,  
 CITY OF KAUKAUNA,  
 OUTAGAMIE COUNTY, WI



#### Storm Structures

Structure	#	Rim	Inv	Size	Material	Direction
MH	A	724.31	719.40	8"	PVC	SE
MH	B	719.97	715.32	10"	PVC	SE
CB	C	719.14	715.50	12"	PVC	SW
MH	D	718.75	714.21	12"	PVC	SE
INL	E	718.45	715.00	12"	PVC	SW
INL	F	718.44	715.00	12"	PVC	NE

#### Sanitary Structures

Structure	#	Rim	Inv	Size	Material	Direction
MH	1	723.73	716.10	8"	PVC	SE
MH	2	720.01	711.55	8"	PVC	SE
MH	3	719.04	708.75	8"	PVC	SE
			708.64	8"	PVC	NW

#### BENCHMARKS (NAVD 88 Datum)

BM 0	NGS Benchmark PID PN0153 Elev	712.26
BM 1	Fire Hydrant, Tag Bolt Lots 17/18 S R/W Ben's Way Elev	722.56
BM 2	Fire Hydrant, Tag Bolt West End of Ben's Way (NW Corner Lot 21) Elev	720.53
BM 3	Fire Hydrant, Tag Bolt North End of Rusty Street (NE Corner Lot 26) Elev	723.06
BM 4	Fire Hydrant, Tag Bolt Boxer Street (Lot 74/ Lot 75) Elev	718.84
BM 5	Fire Hydrant, Tag Bolt Boxer Street, ±65 South of Lot 71 Elev	717.92
BM 6	Fire Hydrant, Tag Bolt Setter Drive(NW Corner Lot 52) Elev	718.39

#### LEGEND

—CATV—	CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
—FD—	FD	Underground Fiber Optic	⊗	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
—San—	San	Sanitary Sewer	⊕	Storm Manhole	Δ	1 1/2" Rebar Found
—Sto—	Sto	Storm Sewer	⊖	Inlet	○	3/4" Rebar Found
—E—	E	Underground Electric	⊗	Catch Basin / Yard Drain	○	1" Iron Pipe Found
—G—	G	Underground Gas Line	⊗	Water MH / Well	⊕	Government Corner
—T—	T	Underground Telephone	⊗	Hydrant	⊕	Benchmark
—W—	W	Water Main	⊗		⊕	
—800—		Index Contour				
—799—		Intermediate Contour				

File: 4562Plat Ph4.dwg  
 Date: 03/08/2023  
 Drafted By: Jim  
 Sheet: 1 of 1



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
 CIVIL ENGINEERING CONSULTANTS

1811 Racine Street, Menasha, WI 54952  
 Ph: 920-991-1866 Fax: 920-830-9595  
 www.davel.pro





# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: March 17, 2023  
Re: Outdoor Alcoholic Beverage Area Alternative Entrance – 313 Dodge

Building owner Mark Abel and business owner Kyle Megna are working with contractors to expand their current Outdoor Alcoholic Beverage Area (Patio/Deck/Beer Garden). This patio will connect to their current raised deck and be built entirely over the driveway of the property. The driveway is not used for vehicular service. The driveway has been used as an outdoor service area through a COVID-19 Temporary Outdoor Seating Permit. The extension for that permit has ended and this new construction will make it a permanent structure under their Outdoor Alcoholic Beverage Area Permit that they renew yearly with their liquor license.

Please find attached the site plan for the deck (Exhibit 4). The site plan shows an ADA wheel chair ramp built on the west side of the property leading to the entrance. There is a stair about half way up the ramp as well leading to the entrance. There will be a 6 foot – 8 foot high fence installed on the western property line, as the use of the neighboring house is residential. This complies with section [12.03\(11\)\(c\)\(2\) of the City of Kaukauna Code of Ordinances](#). There is additional landscaping proposed along with existing landscaping that meets requirements.

Now, 313 Dodge is seeking an alternative entrance to their building. The current site plan shows entrance to the outdoor alcoholic beverage area, first, before entrance through the Main Entrance of the premises. According to [the City of Kaukauna Code of Ordinances 12.03\(11\)\(e\)\(1\)](#):

*Access to the outdoor entertaining area shall only be through the main entrance to the Class B intoxicating liquor, Class B fermented malt beverage; and Class C premises. The outdoor entertaining area shall be equipped with a locking system on a fire exit that meets applicable fire codes. In cases where site configuration or parcel shape prevent a single entrance to the outdoor beverage area through the main entrance of the building, the Plan Commission may review the outdoor beverage area site plan and approve alternative entrances.*



To be in compliance with code, there would have to be an apparatus, like a gate, restricting access to the outdoor patio starting at the step (Exhibit 5). This would force entrance to the building before the outdoor alcoholic beverage area, but also eliminate service to tables in a section that was originally proposed (Exhibit 6). 313 Dodge feels that with an improvement like this, utilizing the space as intended is ideal. The layout of the building affects the location of the main entrance. The entrance faces north which makes it difficult to abide by the code. It is up to the Plan Commission to approve alternative entrances for situations similar to this.





UPDATED 07.06.2022



## SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: <u>313 Dodge LLC</u>	Name:
Mailing Address: <u>2216 Nottingham Ln</u>	Mailing Address: <u>Kaukauna WI 54130</u>
Phone: <u>920-585-1736 Mark</u>	Phone: <u>920-851-2037 Jackie</u>
Email: <u>Mark@abelins.com</u>	Email: <u>Jackie@abelins.com</u>

PROPERTY INFORMATION	
Described the Proposed Project in Detail: <u>See attached</u>	
Property Parcel (#): <u>324012600</u>	
Site Address/Location: <u>313 Dodge St. Kaukauna WI</u>	
Current Zoning and Use: <u>Commercial</u>	
Proposed Zoning and Use: <u>Commercial</u>	
Existing Gross Floor Area of Building: <u>1535 SF</u> Patio: <u>(temp)</u>	
Proposed Gross Floor Area of Building: <u>1710 SF</u> Patio: <u></u>	
Existing Building Height: <u>NA</u>	
Proposed Building Height: <u>NA</u>	
Existing Number of Off-Street Parking Spaces: <u>0</u>	
Proposed Number of Off-Street Parking Spaces: <u>0</u>	
Existing Impervious Surface Coverage Percentage: <u>36.9</u>	
Proposed Impervious Surface Coverage Percentage: <u>38.2</u>	

CITY OF KAUKAUNA

144 W 2nd Street  
Kaukauna, WI 54130920.766.6300  
www.cityofkaukauna.com



**I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.**

**Owner/Agent Signature:**

**Owner/Agent Name (Printed):**

## **SITE PLAN REVIEW PROCEDURES**

Site Plan Review is an administrative process that can take up to 15 working business days after a submittal deadline. Plan Review process is **required** for all new commercial, industrial or multifamily buildings, and building expansions / additions or structures.

Early in the process, consult the Site Application Checklist (attached) for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Prior to the 10 day submittal deadline, a preliminary set of plans should be submitted to the Planning and Community Development Department, those plans will then be distributed amongst various departments for an initial review. Feedback will be given to the applicant after the initial review. To allow for the submittal of 100% completed plans.

Submit a set of plans, a digital copy of the plans in PDF or compatible format, and one of each application: Site Plan, Erosion Control, and Stormwater Utility Service Application. The Site Plan Set shall include Site, Utility, Grading, Drainage, Erosion Control, Landscape, Architectural Elevations, Photometric Information, Road and Driveway widths, Material composition of road and driveways, Parking Plans, Hydrant Locations (public and private), Distances of Buildings (length, width, and distance from sidewalks, roads and driveways. Additionally, please indicate if the property will be utilizing a Knox Box. This application should be submitted to the Application Coordinator listed below.

After review by City Departments, questions, comments and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.



## SITE PLAN REVIEW CONTACTS:

Application Coordinator/Planning Dept	Lily Paula <a href="mailto:lpaul@kaukauna-wi.org">lpaul@kaukauna-wi.org</a> 920-766-6315
Inspections review:	McMahon and Associates <a href="mailto:inspection@kaukauna-wi.org">inspection@kaukauna-wi.org</a> 920-766-6325
Public Works review:	John Neumeier <a href="mailto:jneumeier@kaukana-wi.org">jneumeier@kaukana-wi.org</a> 920-766-6305

## SITE PLAN CHECKLIST

- Completed Site Plan application
- Completed Erosion Control Permit application and necessary fees
- Completed Stormwater Utility Service application
- Completed Construction Site Stormwater Management form
- Calculations for sanitary sewer and water
- Calculations for storm sewer design
- Site Plan set (hard copy or digital) to include:
  - o Site Plan layout and streets, including designated fire lanes
  - o Utilities, grading and drainage plan
  - o Erosion control plan
  - o Landscape and lighting plan
  - o Architectural elevation and construction details
  - o Floor plan set
  - o Any other plans or information deemed necessary by Community Development
- A digital copy of the Site Plan Set in PDF or compatible format by electronic mail or digital dropbox submission

## SITE PLAN SUBMISSION

By mail/in-person drop off: City of Kaukauna, Attn: Lily Paul, 144 W. 2nd Street, Kaukauna, WI 54130  
 Electronically remit materials Attn: Lily Paul to: [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org)

**Narrative Description:**

The intention of this project is to provide an improved patio layout as well as a more level area for tables and seating. It will provide better separation of the patio area from the street sidewalk by removing the “driveway” and creating an elevated patio as currently exists to the east of the driveway. The ADA accessible entrance ramp will be relocated to the west side of the property adjacent to the single-family residence. A solid vinyl fence is proposed at the west edge of the ramp extending from the rear of the single-family residence to the front setback of the residence as shown on the site plan. In discussions with the neighbor, it was verbally agreed to install the fence 8 ft high from the south fence termination point to the north side of the 1<sup>st</sup> floor windows. From this point the fence would be lowered to 6 ft. There was also a verbal agreement that the space between the fence and home would be landscaped with a stone mulch to avoid turf maintenance in this area. The current driveway apron will be removed, and barrier curb installed. The apron would be replaced by a 6 ft wide paved area in the terrace for delivery access from the street.

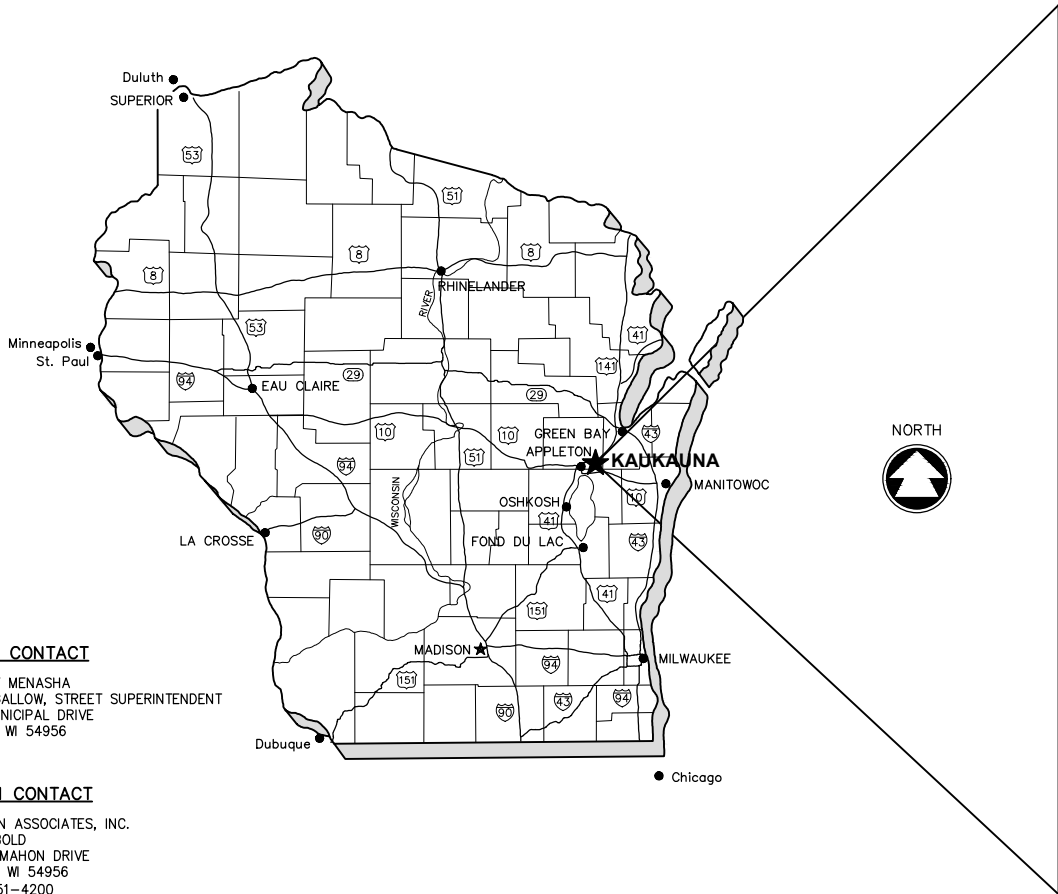


# 313 DODGE

## OUTDOOR PATIO IMPROVEMENTS

### CITY OF KAUKAUNA

OUTAGAMIE COUNTY, WISCONSIN  
MCM # T0094-09-22-00725



**CONTACT INFORMATION**

**UTILITIES**  
WE ENERGIES  
JIM QUINN (ELECTRIC)  
KENNETH VAN OSS (GAS)  
800 SOUTH LYNNDAL DRIVE P.O. BOX 1699  
APPLETON, WI 54912  
(920) 380-3401 (ELECTRIC)  
(920) 380-3318 (GAS)  
jim.quinn@we-energies.com

AT&T  
VINCE LEBRUN  
221 WEST WASHINGTON STREET FLOOR 4  
APPLETON, WI 54911  
(920) 735-3252  
vl1253@att.com

TIME WARNER CABLE  
VINCE ALBIN  
1001 KENNEDY AVENUE PO BOX 145  
KIMBERLY, WI 54136-0145  
(920) 831-9211  
vince.albin@twcable.com

TOWN OF MENASHA, UTILITY DISTRICT  
STEVE LAABS (SANITARY SEWER)  
JEFF ROTH (WATER)  
2340 AMERICAN DRIVE NEENAH, WI 54956  
(920) 739-5120  
steve@town-menasha.com  
jeffr@town-menasha.com

**OWNER CONTACT**  
TOWN OF MENASHA  
RANDY GALLOW, STREET SUPERINTENDENT  
2000 MUNICIPAL DRIVE  
NEENAH, WI 54956

**DESIGN CONTACT**  
McMAHON ASSOCIATES, INC.  
LEE REIBOLD  
1445 McMAHON DRIVE  
NEENAH, WI 54956  
(920) 751-4200  
lreibold@mcmgrp.com

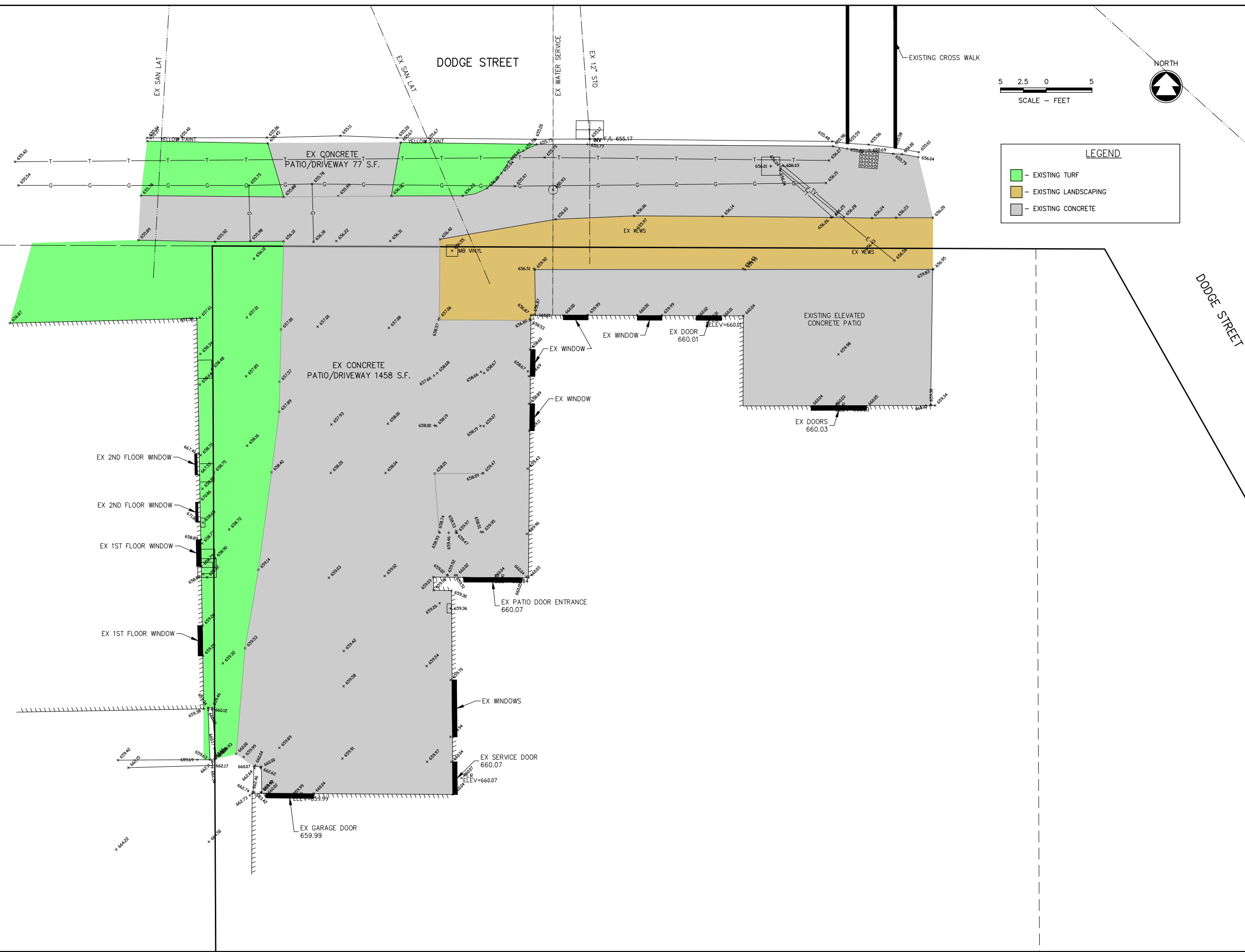
**DNR LIAISON**  
DEPARTMENT OF NATURAL RESOURCES  
BOBBI JO FISCHER  
427 EAST TOWER DRIVE SUITE 100  
WAUTOMA, WI 54982  
(920) 787-4686 x3007  
Bobbi.Fischer@Wisconsin.gov

**DIGGERSHOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

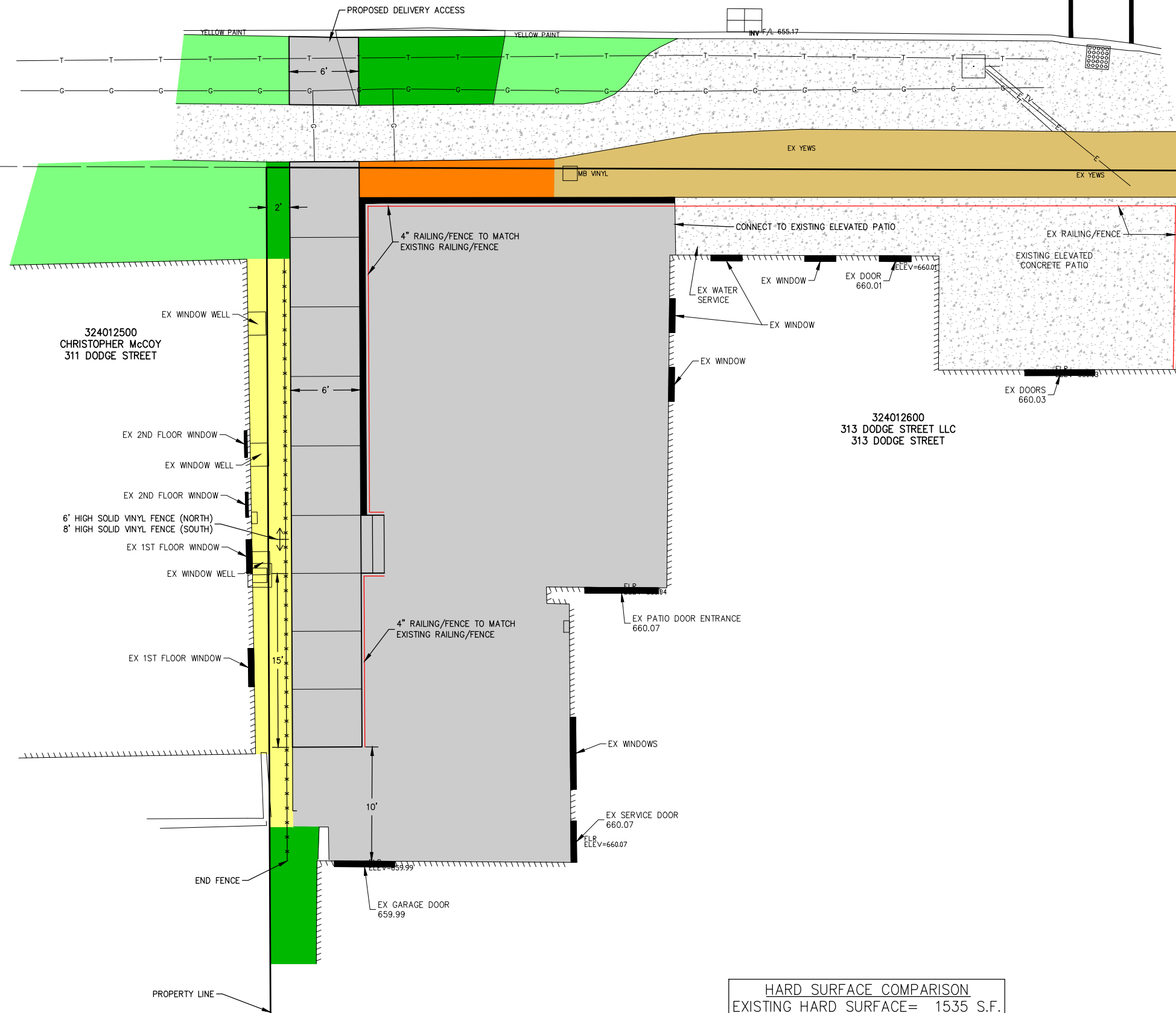
**McMAHON**  
ENGINEERS ARCHITECTS  
McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

**SHEET INDEX**

- 1 EXISTING CONDITIONS
- 2 SITE LAYOUT PLAN
- 3 SITE GRADING PLAN







<p align="center"><u>HARD SURFACE COMPARISON</u></p> <p>EXISTING HARD SURFACE= 1535 S.F.</p> <p>PROPOSED HARD SURFACE= 1710 S.F.</p> <p>NET CHANGE= 175 S.F.</p>	
--	--

EXISTING CROSS WALK

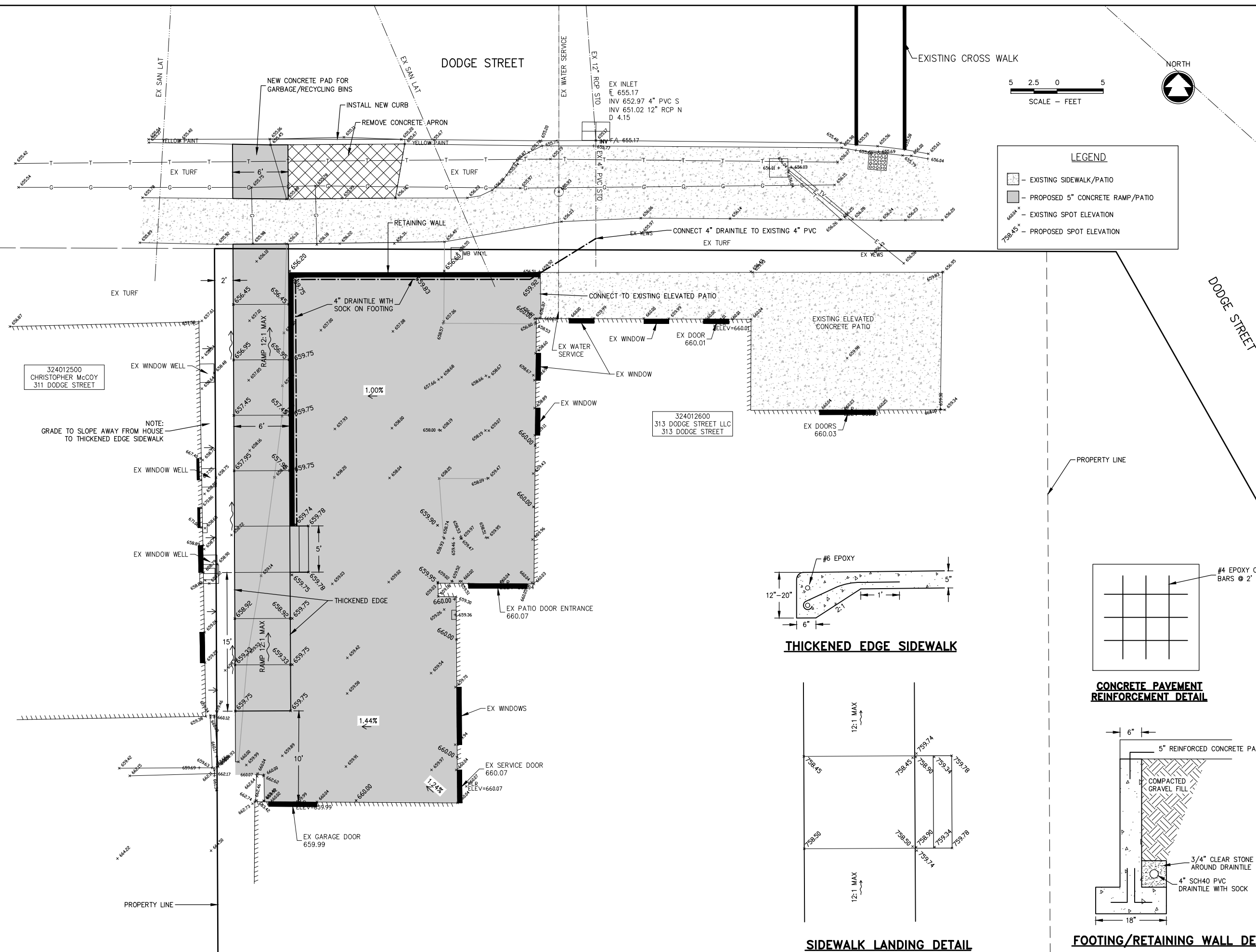
DODGE STREET

**OUTDOOR PATIO IMPROVEMENTS  
313 DODGE ST, KAUKAUNA WI  
SITE LAYOUT PLAN**

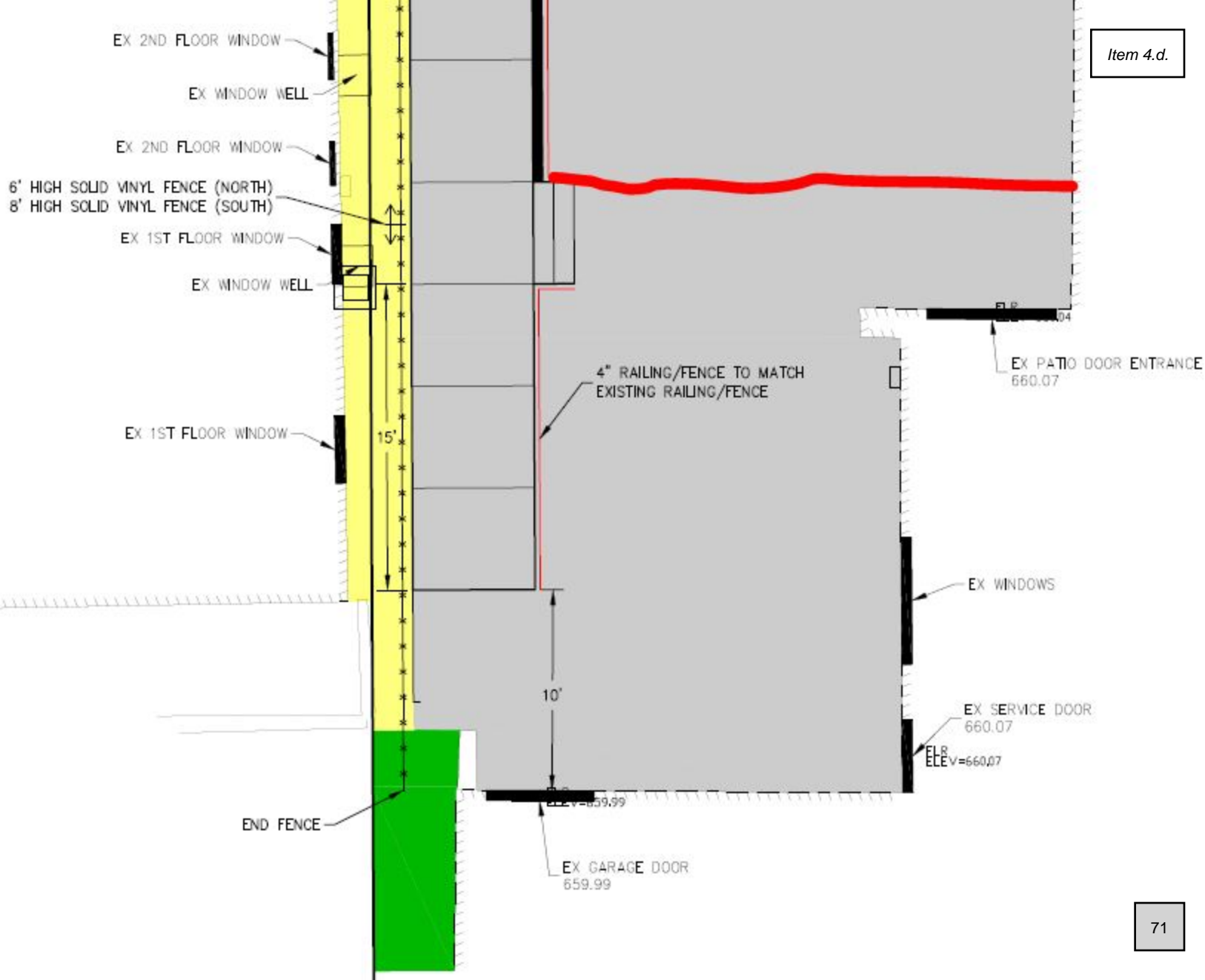
DESIGNED BDW	DRAWN RRS
PROJECT NO. T0094-09-22-00725	
DATE FEBRUARY, 2023	
SHEET NO.	

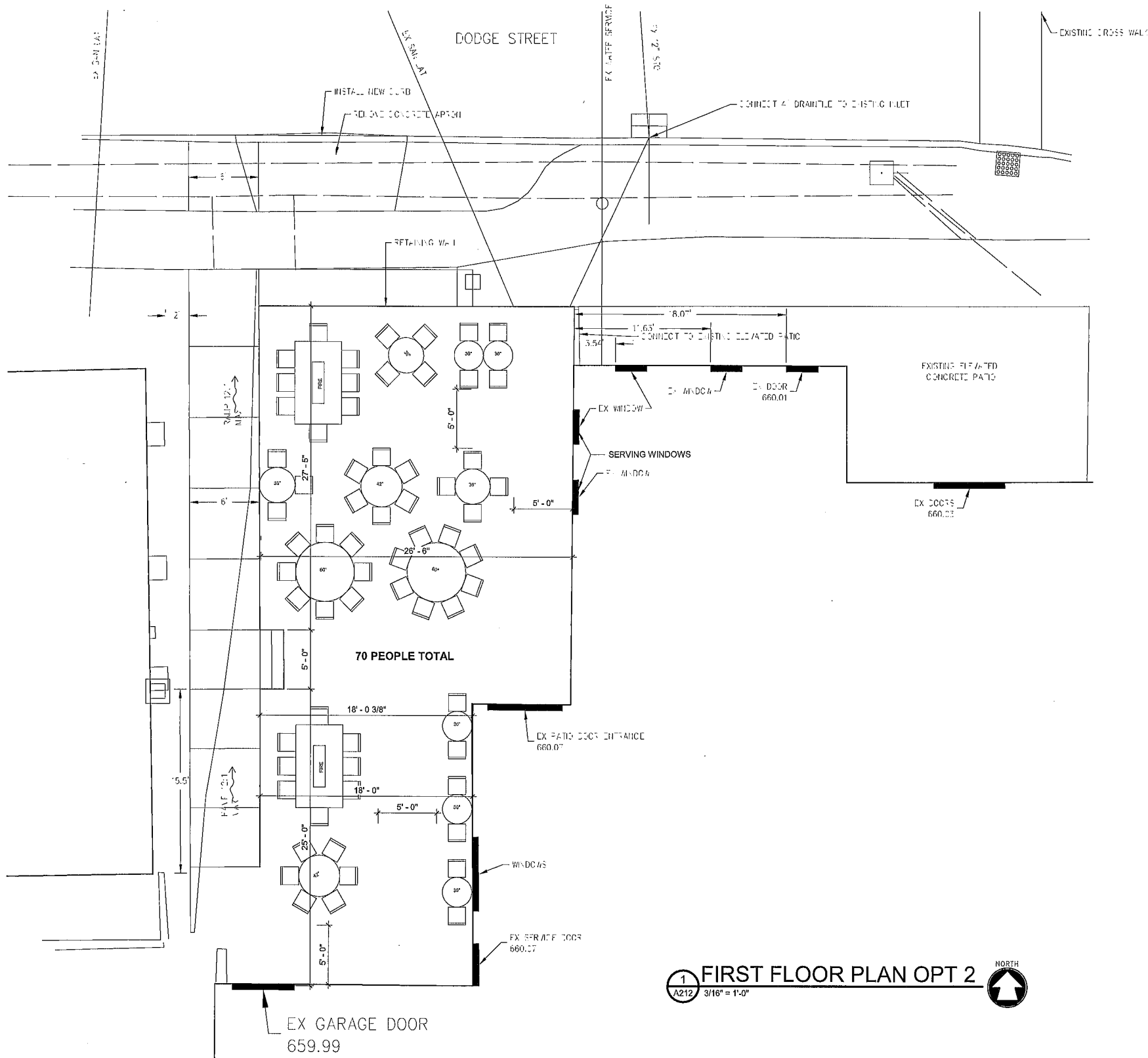
02 69

[illegible]









1 FIRST FLOOR PLAN OPT 2  
A212 3/16" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

OUTDOOR PATIO IMPROVEMENTS  
313 DODGE ST, KAUKAUNA, WI

FIRST FLOOR PLAN OPT 2

DESIGNED MUM	DRAWN AAT
PROJECT NO. T0994 092200725	
DATE FEBRUARY 16, 2023	
SHEET NO. A212	

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