

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, April 03, 2025 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. Approve Minutes from March 20, 2025 Meeting
3. Old Business.
4. New Business.
 - a. Park Donation-Moore Bench
 - b. Park Donation-Behnke Bench
 - c. Great Lakes Sediment and Nutrient Reduction Program (GLSNRP) Grant Application for 1,000 Islands
 - d. Site Plan Review-1200 Maloney Rd (TEAM Industries)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, March 20, 2025 at 4:00 PM

MINUTES

In-Person

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Brett Jensen, Giovanna Feller, John Neumeier, Michael Avanzi, Ken Schoenike, Pennie Thiele, Mayor Tony Penterman

Absent: John Moore

Other(s) Present: Planning and Community Development Director Dave Kittel, Associate Planner Adrienne Nelson, Sydney Hummell of Wellness 360, Laura Glasel of Recyclist Bicycle Co.

Thiele made a motion to excuse the absent member. Seconded by Avanzi. The motion passed unanimously.

2. Approval of Minutes

- a. Approve Minutes from March 6, 2025

Feller made a motion to approve the minutes from March 6, 2025. Seconded by Avanzi. The motion passed unanimously.

3. Old business

None

4. New business

- a. Discussion – Commercial Signage Ordinance Clarity and Updates

Director Kittel explained that staff is seeking direction from the Plan Commission in order to pursue a number of signage related ordinance updates. Currently, staff receive numerous questions on signage ordinances due to a lack of clarity in how the ordinances are written and laid out. Staff is interested in pursuing a number of updates, including: formatting information in bullet points in all and not just some of the signage sections in order to provide information in a more

easily digestible format, organizing information so that people only need to look in two sections of the municipal code instead of four, and addressing concerns from local business owners on the number and size of permitted signs. Kittel expanded on the last point and explained that, in the Commercial Core District (CCD), the ordinances state that only one sign is allowed on each wall facing a street or public way. Therefore, if there are two tenants in a building, only one of them would be able to obtain signage for their business. Currently, many buildings in the CCD are in direct violation of the signage ordinances, although this has not caused any issues within the zoning district. Because of this, staff is proposing that more signage be allowed on each wall facing a street or public way, but that the signage, whatever amount, cannot exceed a certain square footage or take up a certain percentage of the face of the building. This would bring existing nonconformities into conformity. Changes could also be made to allow for differences in signage amounts based on street or public way frontage, which would allow longer, but shorter, buildings to obtain reasonable amounts of signage in a similar way to their narrow but tall counterparts. Kittel reiterated that staff would like direction on if and how to proceed.

Jensen questioned what the timeframe would be to update the city's signage ordinances.

Kittel explained that it would not be updated all in one go, but that staff would work through it a section at a time. It will take some time.

Thiele agreed that basing signage off a percentage would make the most sense. Businesses should be recognized and found, and people should not need to look in so many different sections of the municipal code to find information on signage. The ordinances should be cleaned up and condensed.

Avanzi clarified that staff is simply asking for direction, and that the proposed ordinance updates will be brought back before the Plan Commission.

Kittel clarified that staff is asking for direction at this time, and that proposed updates will be brought back to the Plan Commission. Staff is planning on updating signage ordinances in one zoning district at a time, starting with the CCD, which will be the lightest lift.

Sydney Hummell, owner of Wellness 360, voiced her own experience with trying to get signage for her business. Her business has been at its current location for four years, but many clients did not know of its existence at first. Sydney applied for signage some years back and it was approved. When she applied recently for

some additional signage, the application was denied. She tried reworking the proposed signage to fit within the ordinance requirements, but the 15% maximum was still an issue, and the signage simply would not make sense cost wise.

Avanzi asked if exceptions to the ordinance had been made in the past.

Kittel explained that, historically, some signage was allowed when it should never have been permitted. Some of the proposed changes to the ordinances will help get rid of these existing nonconformities.

Laura Glasel, owner of Recyclist Bicycle Co., explained that she had similar struggles due to signage limits. Her business has been at their current location for 25 years, and many customers did not know where their building was.

The Plan Commission instructed staff to move forward with addressing signage ordinance issues.

5. Other Business

None

6. Adjourn

Avanzi made a motion to adjourn the meeting. Seconded by Jensen. The motion passed unanimously. The meeting adjourned at 4:15 p.m.





MEMO

PLANNING & COMMUNITY DEVELOPMENT

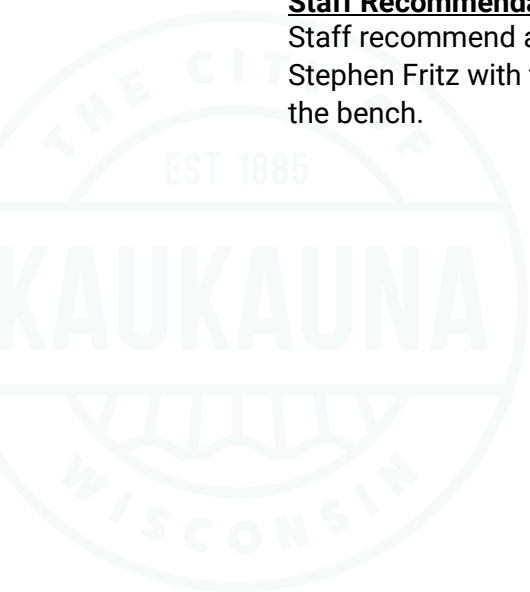
To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: March 20, 2025
 Re: Park Donation Application Review – Moore Bench

A park bench donation application has been submitted by Stephanie Moore, to be installed at La Follette Park, in memory of Stephen Fritz. This bench would be in the City of Kaukauna’s standard bench style and would include a plaque, which would read as follows:

“In Loving Memory of
 Stephen J. Fritz
 1958 – 2024
 Supervising from Heaven”

Staff Recommendation

Staff recommend approval of the park bench donation for Stephanie Moore in memory of Stephen Fritz with the condition that staff will work with the donor to finalize the location of the bench.





MEMO

PLANNING & COMMUNITY DEVELOPMENT

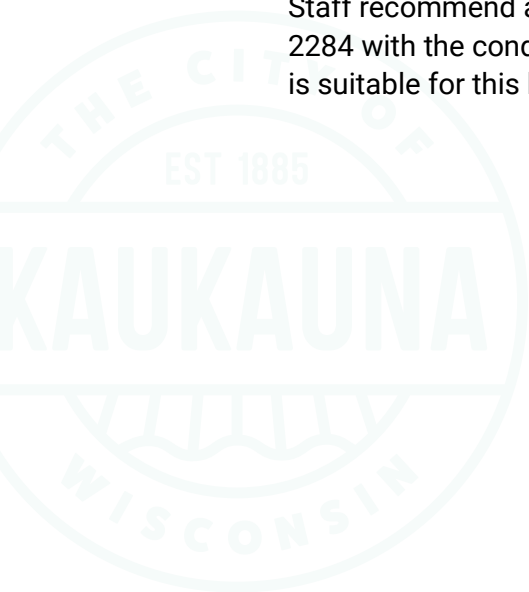
To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: March 21, 2025
 Re: Park Donation Application Review – Behnke Bench

A park bench donation application has been submitted by Samantha Behnke, to be installed at La Follette Park. This bench was created using recycled plastic bags collected by Girl Scout Troop 2284 and therefore would not be in the City of Kaukauna’s standard bench style. It would include a plaque, which would read as follows:

“Donated by:
 Troop 2284”

Staff Recommendation

Staff recommend approval of the park bench donation for Samantha Behnke and Troop 2284 with the condition that staff will work with the donor to locate an area in the park that is suitable for this bench style.





MEMO

Engineering Department

To: Plan Commission
From: John Neumeier, Director of Public Works/City Engineer
Date: 4/3/2025
Re: Great Lakes Sediment and Nutrient Reduction Program (GLSNRP) Grant Application for 1,000 Islands

Background information:

Outagamie County Land Conservation Department (LCD) has offered to help the City apply for Great Lakes Sediment and Nutrient Reduction Program (GLSNRP) Grant to provide restoration and stabilization projects within the 1,000 Islands Conservancy, on/near the former Hoersch property. Some photos, background material, and cost-share information produced by LCD is attached to this memo. More information on the grant program can be found at: www.glc.org/work/sediment

The proposed regenerative stormwater conveyance for ravine stabilization is a somewhat new and innovative practice. It utilizes more natural solutions to restore and protect ravines and outfalls while providing stormwater management benefits. A short article helping to explain the practice is attached. This project is also completing a Total Maximum Daily Load (TMDL) Action item for the City, providing a Total Suspended Solids and Total Phosphorus reduction to the Lower Fox River basin.

For the grant application, we will be requesting this commission, which also serves as our City Stormwater Advisory Board, along with Board of Public Works, Common Council, and 1,000 Islands Committee to send letters of support for the project.

Strategic Plan: This restoration project shows the City's commitment to be respectful stewards of the environment. The cooperation of 1,000 Islands, Outagamie County LCD, and the City to complete this restoration work and to look for alternate funding source are great examples of collaboration and fiscal responsibility. With the possibility of a grant, we can stretch the City CIP dollars from one small project, into an all-encompassing project to significantly reduce the erosion issues and create an innovation solution as an example for our region.

Along with the restoration, trail improvements will make the area more accessible and increase the number of visitors of our 1,000 Islands eastern trails.

Budget: The City has budgeted \$100,000 in the 2025 Capital Improvement Plan for restoration projects on this property. Those funds would be used as the local match if awarded a grant.

Staff Recommended Action:

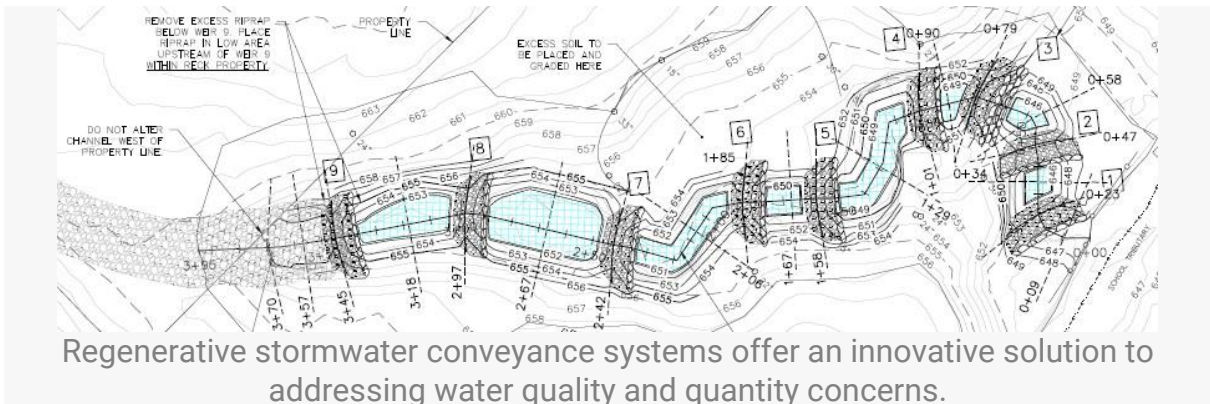
Motion for authorize the Mayor to send a Letter of Support from the Plan Commission/Stormwater Advisory Board for a Great Lakes Sediment and Nutrient Reduction Program (GLSNRP) Grant Application for 1,000 Islands Ravine Stabilization.

Not Your Everyday Stormwater Conveyance System

October 19, 2020 - Riley Stone, Civil Engineer for raSmith

While the design of swales, infiltration practices, ponds, or storm sewer can be common practice, regenerative stormwater conveyance systems can be used as a substitute in many situations and provide a number of benefits. Regenerative stormwater conveyances offer a unique solution to addressing water quality and quantity concerns.

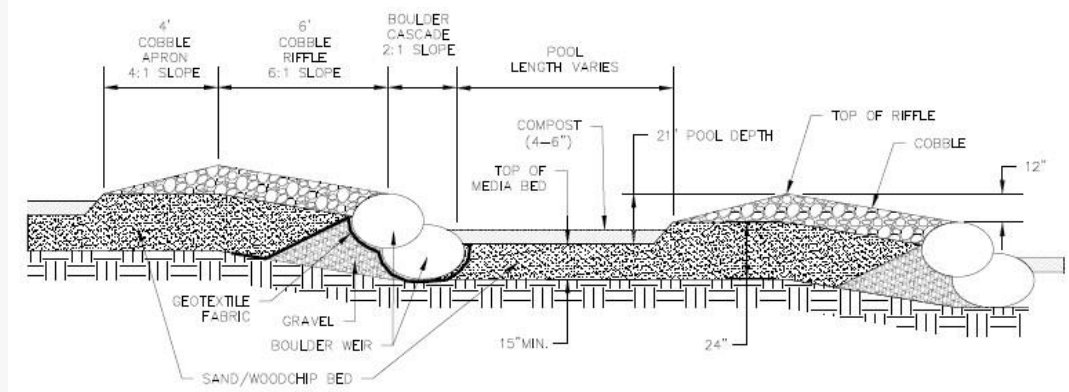
Regenerative stormwater conveyances are synonymous with regenerative step pool storm conveyance, regenerative stream channel and biofiltration conveyance, along with many other names. The similarity with all of these systems is that they work to convey and treat stormwater runoff using a series of riffles and pools of sand/woodchip media beds. Regenerative stormwater conveyances can be used to stabilize erosive channels or as a stormwater system for new developments or even as a retrofit to old and/or failing systems.



How do regenerative stormwater conveyances work?

Regenerative stormwater conveyances consist of a series of riffles and pools. The diagram below shows a typical profile section of a regenerative stormwater conveyance. Stormwater enters the system into a pool and depending on the characteristics of a particular site, this could be a plunge pool filled with riprap or it could be the start of sand/woodchip media beds. Once the runoff enters this bed, it will either infiltrate (small storms) into the media bed or it will start to pond (larger storms).

As the pools start to pond in larger storms, the runoff will spill over a parabolic-shaped weir constructed of cobbles. These cobbles will vary in size but typically have a diameter of approximately six inches. Once the ponding water overtops the weir, it will move over and through the cobble riffle and cascade down a set of large boulders into a second pool. When the runoff reaches the second pool, the process repeats itself with multiple weirs and pools, depending on the length and gradient of the system, until it reaches its ultimate discharge point.



This diagram shows the standard components of a regenerative stormwater conveyance system.

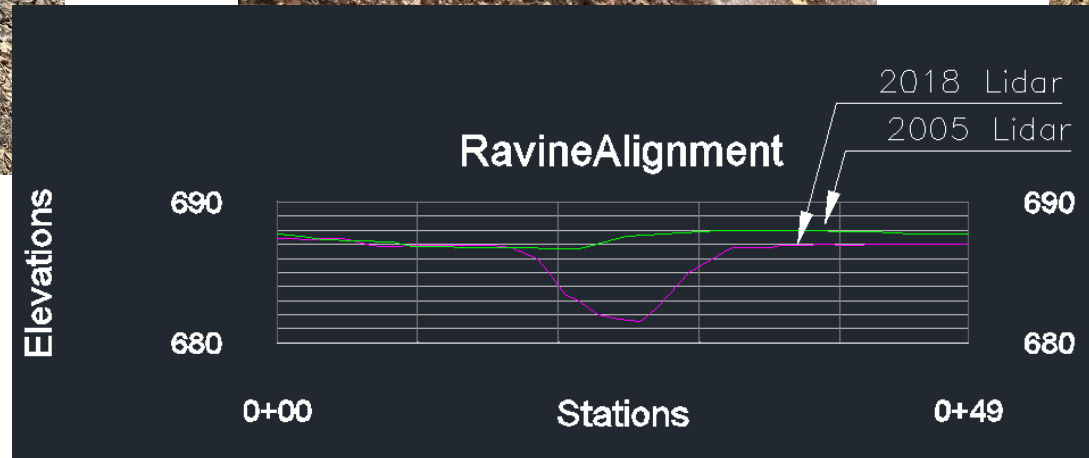
The Benefits of Regenerative Stormwater Conveyances

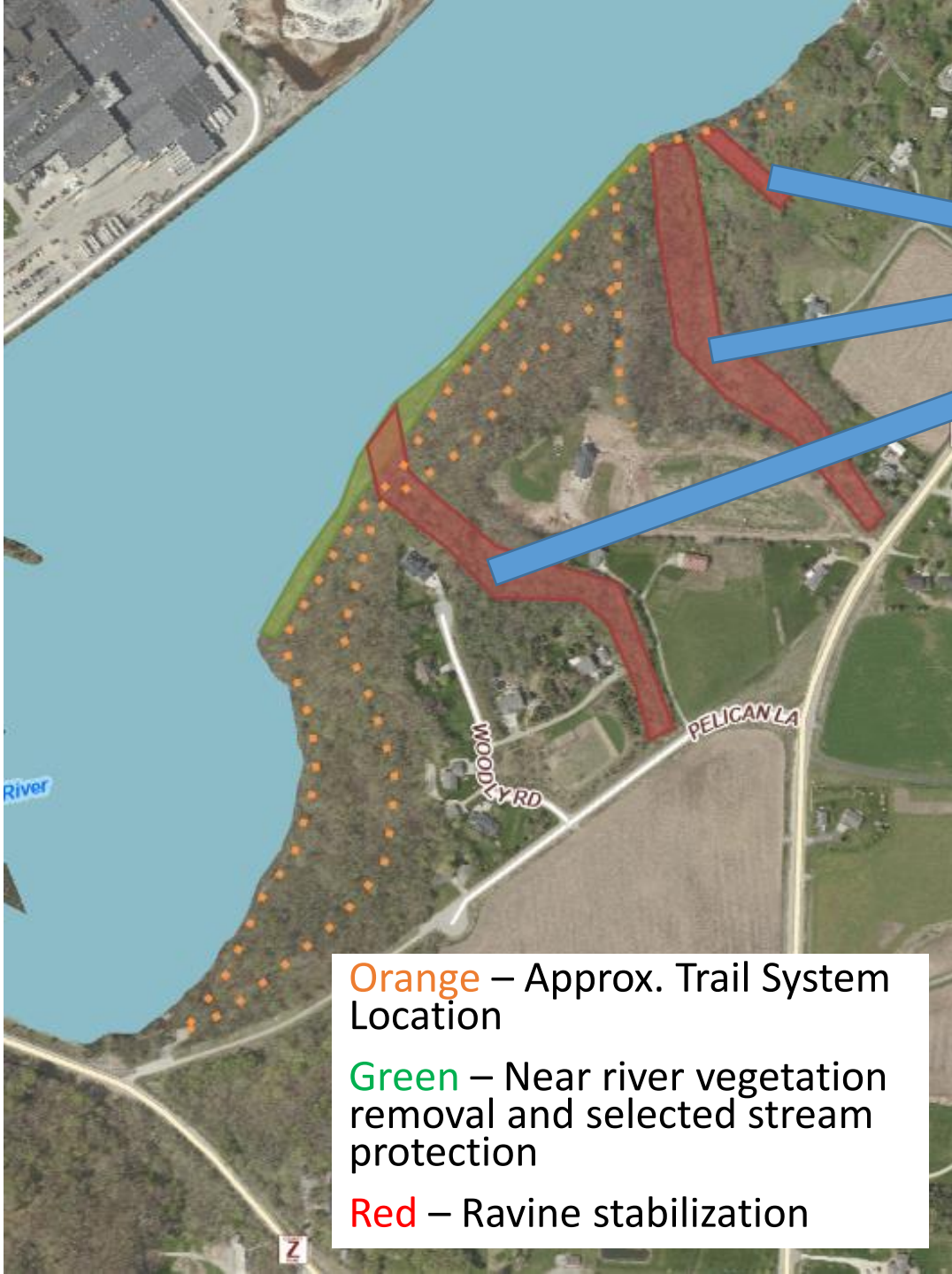
Regenerative stormwater conveyances provide significant energy dissipation, which is why these systems are often used to replace degraded, highly erosive channels and ravines. The slowing of water as it moves through the system allows for vegetation growth and reduces the chances of future erosion. The rock weirs help to spread out the flow path of runoff, which can help pass larger rain events in a safer manner. The pools help to infiltrate stormwater and settle out any pollutants that enter the stormwater system. The pools also provide detention during rain events that will help reduce flooding downstream of the system. Not only do regenerative stormwater conveyances provide all of the benefits mentioned above, but they also provide a diverse habitat for the surrounding wildlife and can be aesthetically pleasing.



Regenerative stormwater conveyance was effectively used for the Reck South Ravine stabilization project in Kenosha County, WI.

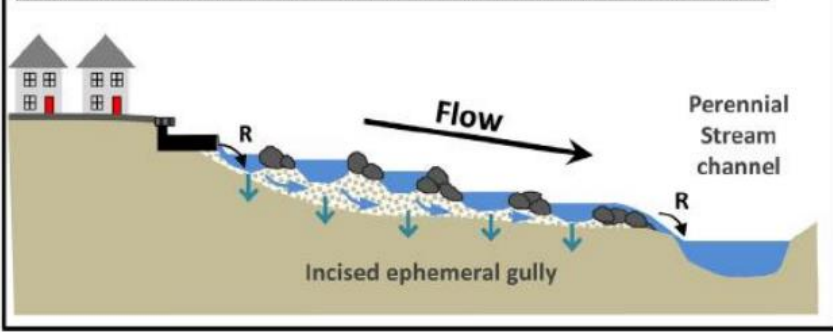
Current Ravine Conditions



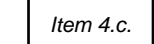
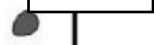





Orange – Approx. Trail System Location
Green – Near river vegetation removal and selected stream protection
Red – Ravine stabilization

Step-pool stormwater conveyance: Longitudinal view



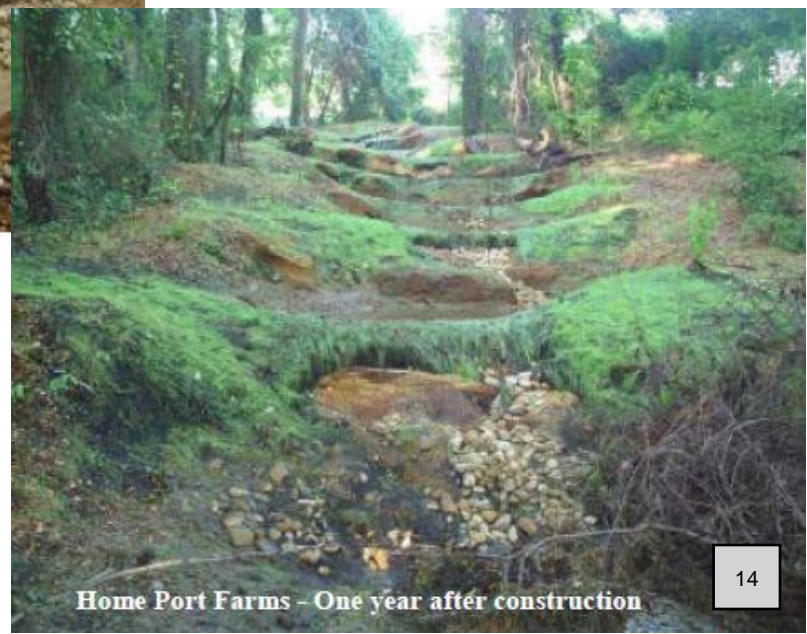
Legend

- Native bedrock 
- Sand seepage bed 
- Infiltration 
- Lateral subsurface flow 
- Stormwater runoff 

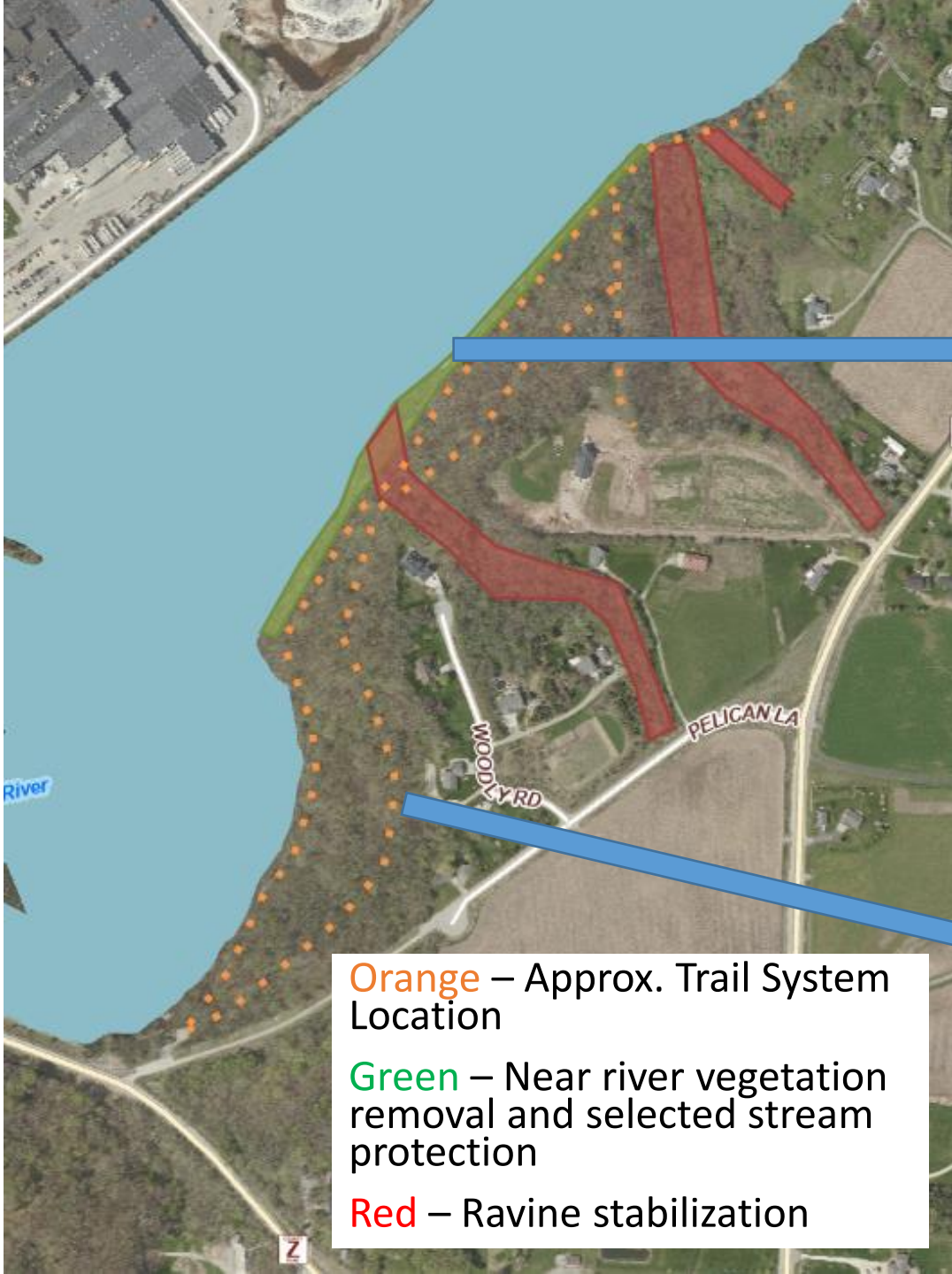
Item 4.c.



Home Port Farms - Immediately after



Home Port Farms - One year after construction



Orange – Approx. Trail System Location
Green – Near river vegetation removal and selected stream protection
Red – Ravine stabilization



Near stream tree removal replaced with native plantings. Also shows bio-engineering to protect the toe.



Re-use woodchips from removed trees to improve the walking trails. Great opportunity for volunteers!

ESTIMATED COST - THOUSAND ISLANDS								
Item	Units	Quantity	Unit Cost	Total	Cost Share	City	In Kind	
Trail Prep and Stabilization	Job	1	\$10,000.00	\$10,000.00	\$0.00	\$10,000.00		
Stream Protection / Near Stream Veg. Removal	Job	1	\$50,000.00	\$50,000.00	\$30,000.00	\$20,000.00		
Ravine Stabilization (Series of Check Dams)	Job	2	\$80,000.00	\$160,000.00	\$130,000.00	\$30,000.00		
Ravine Stabilization (Step Pool System)	Job	1	\$80,000.00	\$80,000.00	\$70,000.00	\$10,000.00		
FWS Partner Program Seed (Native Seeding)	Job	1	\$10,000.00	\$10,000.00			\$10,000.00	
Other								
Volunteer Work (Trail maint., spreading chips, etc.)	Job	1	\$10,000.00	\$10,000.00			\$10,000.00	
LCD Project Management	Job	1	\$10,000.00	\$10,000.00	\$10,000.00			
Technical Assistance	Job	1	\$60,000.00	\$60,000.00	\$60,000.00	\$0.00		
				TOTAL	\$390,000.00	\$300,000.00	\$70,000.00	\$20,000.00



Tony Evers, Governor
Dan Hereth, Secretary

3/24/2025

ROGER THIEL
BAYLAND BUILDINGS INC
3323 BAY RIDGE CT
ONEIDA, WISCONSIN 54155

CONDITIONAL APPROVAL

PLAN APPROVAL EXPIRES: 03/24/2027
CODE APPLIES: 02/24/2025

MUNICIPALITY:
CITY OF KAUKAUNA
OUTAGAMIE COUNTY

SITE:
TEAM INDUSTRIES N139 TC 42453
1200 MALONEY RD
KAUKAUNA, WI 54130

FOR:
1200 MALONEY RD

Building Name: Positioner Building
Object Type: Building
Major Occupancy: F-2 - Factory Low-Hazard
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: Addition
Plan Type: Full/Complete Building
Total Floor Area in Sq Ft: 3,200
Sprinklered Type: None
Allowable Area Determined By: Unlimited Area
Structural Components Included in Review: None
Alteration Level: Level 2

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

SUBMIT:

- **SPS 361.30(3)** - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation in the field. The HVAC plans shall be submitted on the DSPS website. Building Designer should coordinate with HVAC

Identification Numbers

Plan Review No.: CB-032500363-PRB
Application No.: DIS-022508255
Site ID No.: 176290

Please refer to all identification numbers in each correspondence with the Department.

design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.

- **SPS 361.30(3)** - Submit, prior to installation, metal building plans and calculations substantiating the design, and associated pertinent information including this transaction number or CB number as a previous transaction. A metal building plan submittal may be made on the DSPS website. Note as per SPS 302.31(1)(d)4. the fee for a structural component submitted after installation shall be an additional \$250 and \$100 submittal fee.
- **SPS 361.31(2)** - Lighting plans, including both Emergency Egress (IBC) & Energy Conservation (IECC), are no longer required to be submitted to the department for review and approval. However, the requirements in both codes must still be met. One (1) set of plans, calculations and/or fixture cut-sheets with all items stamped and signed by a WI registered professional as required by SPS 361.20 & 361.31(1) shall be on-site and made available to inspection by the Department or its authorized representative.

REMINDERS:

- **SPS 361.31** - These plans were conditionally approved electronically. The designer is responsible to download the plans, print out complete sets and permanently bind each set of the conditionally approved electronic plans, along with a complete bound set of specifications, as submitted to the Dept., for reference in the field. Plans for field reference shall be the same size and scale as originally submitted to the Dept. per SPS 361.31(2)(a), and per SPS 361.31(2)(d) shall be clear and legible. A complete bound conditionally approved set of plans and set of specifications shall be made available to a Dept. representative on-site upon request. There shall be an electronic stamp and signature on the index page of the conditionally approved plans by the Dept. representative that conditionally approved the plans, as well as the professional of the project if the building is over 50,000 cubic ft. Additionally, a copy of the conditional approval letter issued by the Dept. shall be permanently attached to each of the conditionally approved plan sets.
- **IBC 413.1** - This review did not include the storage of high-piled materials, which are defined by s. SPS 362.0202 as combustible materials and packaging over 12 ft high or for certain commodities such as rubber tires, certain plastics, etc, over 6 ft high. High-piled storage is required to also comply with IFC ch. 32. If, at any future time, the use of the building includes high piled combustible storage, the owner shall be responsible to modify the building for the new use as required by code prior to occupancy. New plans shall be submitted prior to any changes to the building are initiated.
- **IBC 414.1** - The provisions of this section shall apply to buildings and structures occupied for the manufacturing, processing, dispensing, use or storage of hazardous materials.
- **IBC 903.2.10.1** - Provide an automatic fire sprinkler system throughout buildings used for the storage of commercial motor vehicles where the fire area exceeds 5,000 sq. ft. Review the definition of a commercial motor vehicle found in SPS 362.0202(2)(c). ***Conditional Approval based on there being no commercial motor vehicles parked or stored in the building at any time.***
- **IBC 1105.1** - Components of the existing site accessibility requirements including access from public way, location, size and quantity of compliant accessible parking spaces, access aisles, curb cuts, ramps and vehicle signage to be field verified.
- **IBC 1109.5** - Where drinking fountains are provided they shall be in accordance with Sections 1109.5.1 and 1109.5.2. No fewer than 2 shall be provided with one required to comply with the requirements for people who use a wheelchair and one drinking fountain shall comply with the requirements for standing persons unless a listed code exception is met.
- **IBC 1604.2** - Buildings and parts thereof shall be designed to support safely factored loads in combinations without exceeding strength limits. Or else shall be designed to safely support nominal loads in combinations without exceeding appropriate specific allowable stresses for the construction. ***Dust cap above office to be identified with signage indicting this area is not to be used for storage or guards/walls shall be constructed to prohibit the storage of any equipment or materials.***
- **IBC 1607.13** - Crane live load shall be the rated capacity of the crane. Wheel load shall be placed at location resulting in a maximum effect. Vertical impact force, lateral force & longitudinal force increases shall be considered.
- **IBC 1809.5** – Provide frost protection of your shallow foundation with insulation meeting the minimum R-value, extent and depth required by ASCE 32 for this building site. Otherwise, provide non-frost-susceptible soil [as defined by granular soils or other approved non-frost susceptible fill material with less than 6% of mass passing a #200 mesh sieve] down to anticipated frost depth, or other acceptable means. ***Refers to the exterior concrete stoops at the required exit doors. Review IBC 1010.1.5 & 1010.1.6 for additional landing/stoop requirements.***
- **IBC 1907.1** - Provide a 6-mil polyethylene vapor retarder between the base course or subgrade and the concrete floor slab.

- **IEBC 701.2** - Provide building alterations that do not reduce the original required level of safety associated unless the currently adopted IBC, IMC, IECC or IFGC would permit it.
- **IEBC 705.1.14** - Alterations shall not reduce the previous required accessibility of a building.
- **IEBC 705.1** - Alterations shall meet the accessibility requirements of this section or the IBC, unless technically infeasible.
- **IEBC 705.2** - This project includes alterations to a primary function area so provide accessible alterations, including toilet and drinking facilities, along the path of travel to the primary function area, unless a listed code exception is met. Note that per exception 1, the owner is not required to spend more than 20% of the project cost on providing the accessible route. A form may be downloaded at: <https://dps.wi.gov/Documents/Programs/CommercialBuildings/SBD10219.pdf> for use in demonstrating disproportionality. ***Accessible toilet facilities are provided in the existing building within 200' travel distance from the addition. Accessible route to be field verified. Directional signage to be provided.***
- **IEBC 707/IEBC 811/IEBC 908** - Additions, alterations, renovations or repairs to an existing building, building system or portion thereof shall conform to the provisions of the IECC as they relate to new construction without requiring the unaltered portions of the existing building or building system to comply with the IECC unless an exception listed in the code has been met. Additions, alterations renovations or repairs on energy conservation topics shall not create an unsafe or hazardous condition or overload existing building systems. Review IECC Chapters C5 and R5 for specific commercial building and low rise (3 stories above grade or less) residential requirements and exceptions, respectively.
- **IEBC 801.1** - Per the definition of Level 2 alteration in IEBC 504, this work is considered a Level 2 alteration project and is subject to the requirements of IEBC ch. 8, as well as ch. 7.
- **IEBC 801.3** - Provide new construction elements, components, systems, and spaces that comply with the requirements of the International Building Code unless a listed exception is met.
- **IEBC 1101.1** - An *addition* to a building or structure shall comply with the *International Codes* as adopted for new construction without requiring the *existing building* or structure to comply with any requirements of those codes or of these provisions, except as required by this chapter. Where an *addition* impacts the *existing building* or structure, that portion shall comply with this code.
- **SPS 361.36(1)(a) & (b)** - The building shell shall be closed within two years of the initial approval date of this project. Also, this approval will expire three years after the date of initial approval of this project if the work covered by this approval is not completed and the building ready for occupancy within those three years.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.

This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Note: Owner is reminded that submittal of a Compliance Statement by a Supervising Professional for all aspects of the building project shall be required to be provided to the State DSPS Office and the local jurisdiction prior to occupancy.

Inquiries concerning this correspondence may be made to me at the contact information listed below, or at the address on this letterhead.

Sincerely,

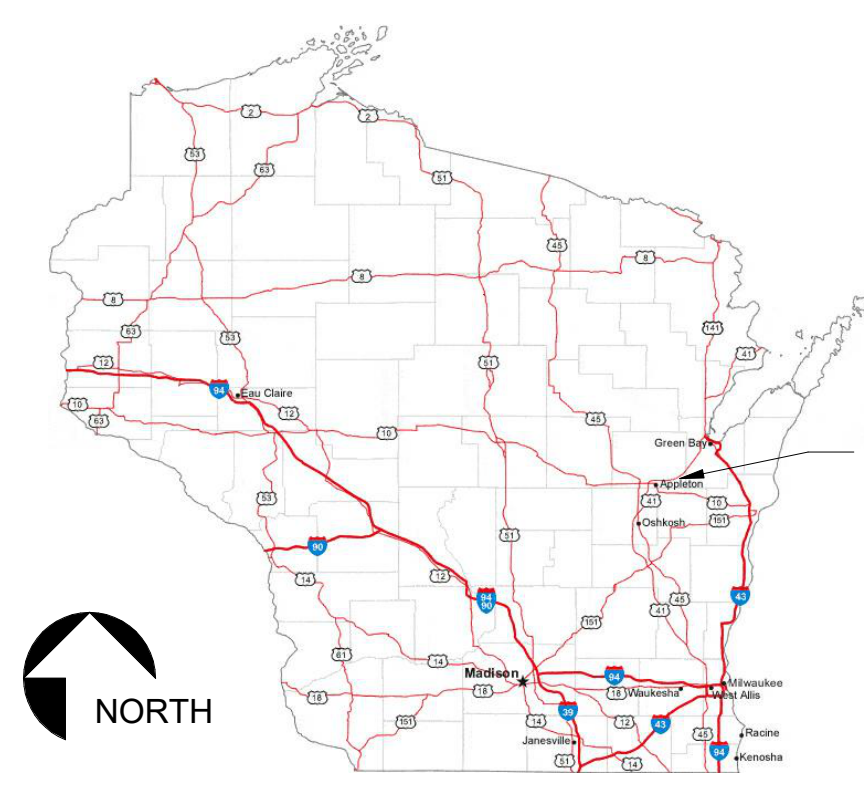
A handwritten signature in black ink, appearing to read 'Erik D. Hansen', followed by a long horizontal line extending to the right.

Erik D. Hansen, RA
Building Systems Consultant
Commercial Building Inspector
Division of Industry Services
Phone: 715-634-3026
Email: erik.hansen@wisconsin.gov

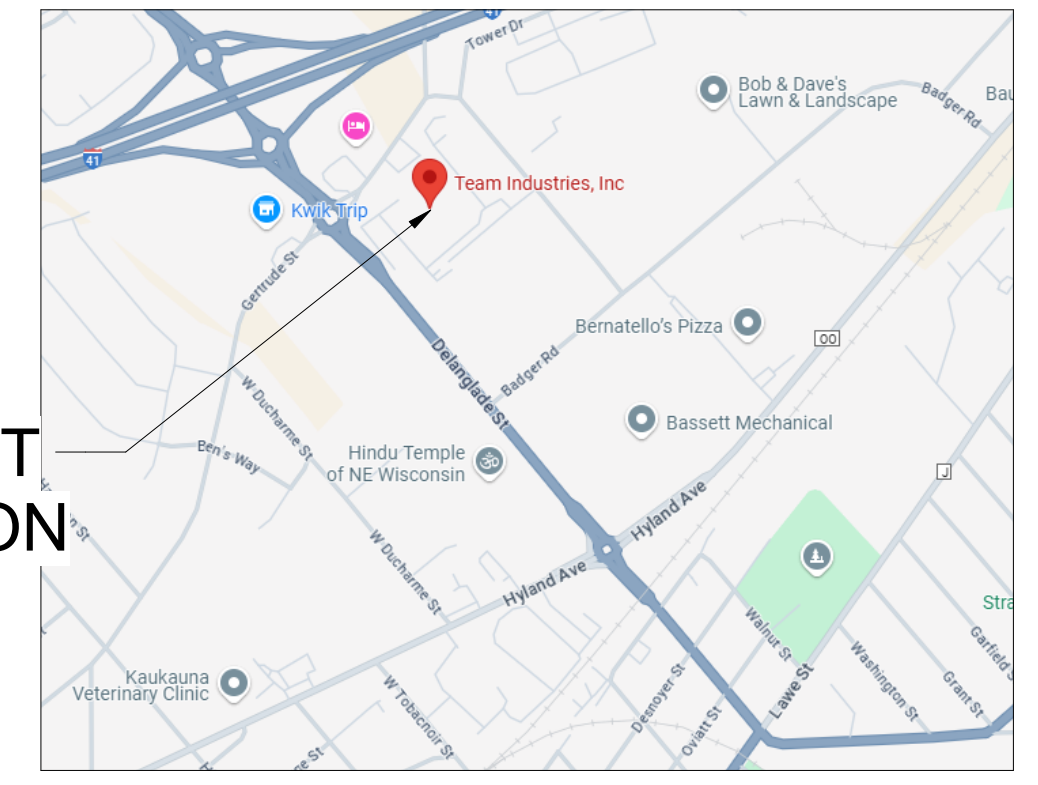
cc:
BRIAN NOE, DIS INSPECTOR, 920-420-4796, BRIAN.NOE@WISCONSIN.GOV
KAYLA NESSMANN, MUNICIPAL CLERK, , KNESSMANN@KAUKAUNA.GOV
JASON STURN, TEAM INDUSTRIES

PROPOSED PROJECT FOR: TEAM INDUSTRIES POSITIONER SHOP KAUKAUNA, WISCONSIN

PROJECT LOCATION MAP



ENLARGED MAP

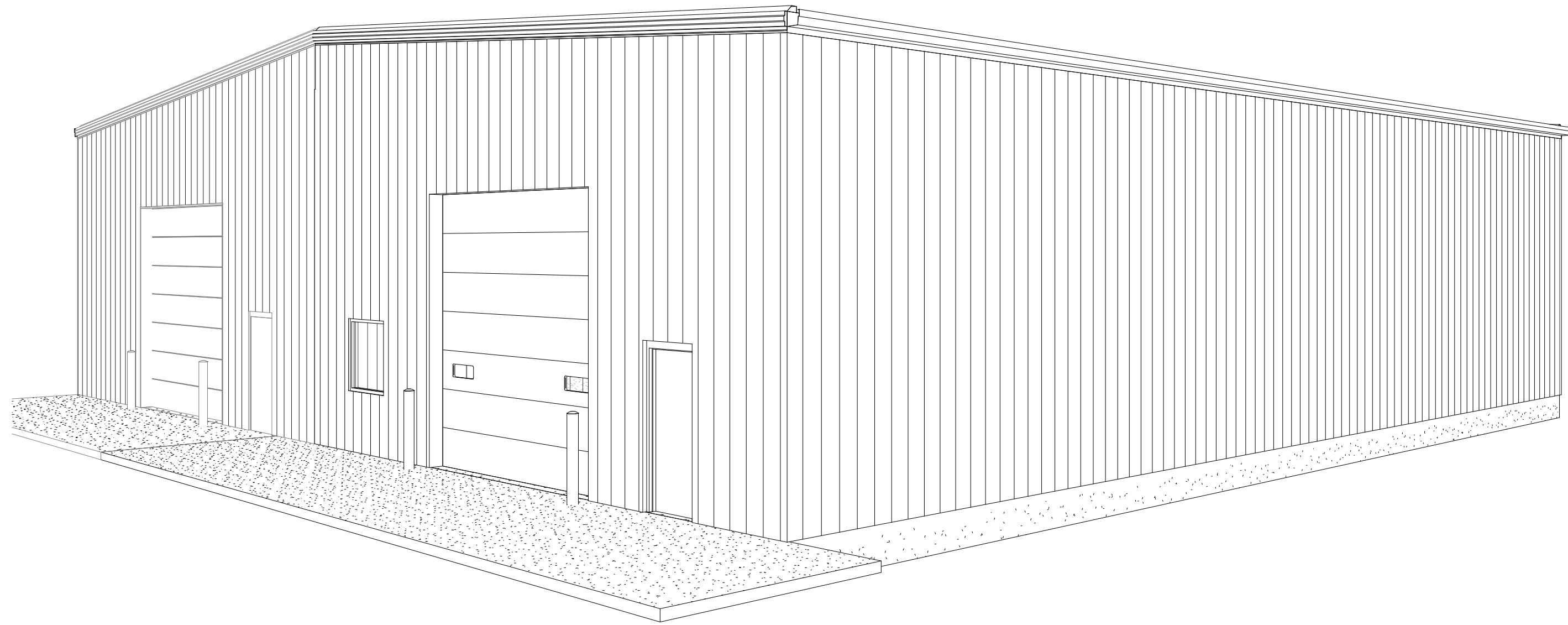


PROJECT LOCATION

BAYLAND
BAYLAND BUILDINGS
 P.O. BOX 13571 GREEN BAY, WI 54307
 (920) 498-9300 FAX (920) 498-3033
 www.baylandbuildings.com
 DESIGN & BUILD GENERAL CONTRACTOR



PROJECT PERSPECTIVE (NTS) - FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION



SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001	TITLE			
	T1.0			
002	CIVIL			
	C1.0			
004	ARCHITECTURAL			
	A0.1			
	A1.0			
	A1.1			
	A1.2			
	A2.0			
	A3.0			
	A4.0			
	A6.1			
	A6.2			
	A7.0			
005	STRUCTURAL			
	S0.1			
	S1.0			
	S1.1			
	S1.2			
	S1.3			
	S4.5			

PROJECT INFORMATION

OWNER:
 Team Industries, Inc
 1200 Maloney Rd
 Kaukauna, WI 54130
 Contact: Jason Sturn

PROJECT LOCATION:
 1200 Maloney Rd
 Kaukauna, WI 54130
 City of Kaukauna
 County of Outagamie

ARCHITECTURAL DATA:
 Building Code(s): IBC 2015
 WEBCB SPS 361-366
 IEBC 2015

Scope of work:
 Building Use: Addition
 Occupancy Group: Metal Fabrication
 Type of Construction: F-2 Factory
 Occupant Load: Type VB
 16

FIRE PROTECTION SYSTEM:
 Building is not protected by an automatic fire sprinkler system.

BUILDING AREAS:
 Areas, sq ft 1st Story
 Areas, sq ft F-2 Factory
 Existing Area: 73,300
 Addition Area: 3,200
 subtotal: 76,500

ALLOWABLE AREA CALCULATIONS:
 Allowable area determined by IBC 507.3
 Unlimited Area, Nonsprinklered, one story.
 Building is surrounded and adjoined by public
 ways or yards not less than 60 ft in width.

ALLOWABLE HEIGHT & STORIES:
 Allowable Height, ft. 40
 Allowable story(s). 2

STRUCTURAL DATA:
 Ref: ASCE/SEI 7-16, 2015 IBC Ch 16, WI DSPS 362

Roof
 Snow
 ps= 0.7CeCtIpg
 Ground Snow Load psf, pg 40
 Roof Slope Factor, Cs 1.0
 Exposure Factor, Ce 0.9
 Thermal Factor, Ct 1.1
 Importance Factor, I 1.0
 Sloped Snow Load, psf 28
 Unbalanced Snow, psf 28
 Roof Dead, psf 3.5
 Collateral Load, psf 3.0

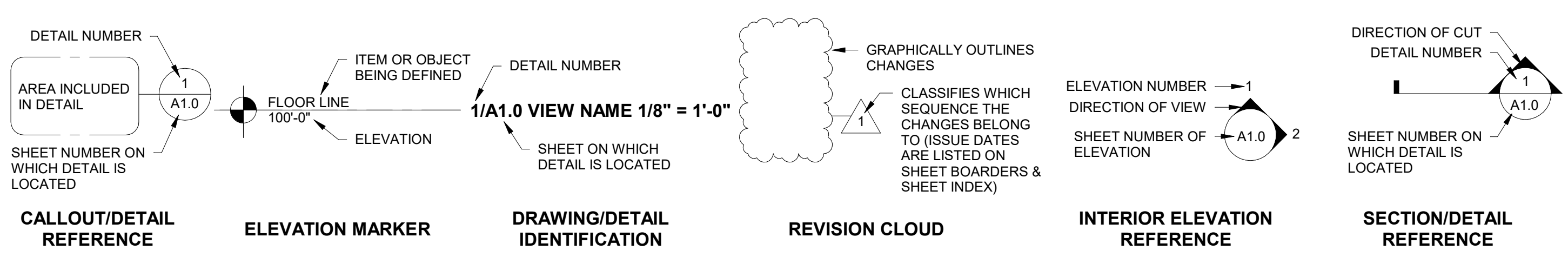
Wind
 Ultimate Wind, mph, Vult 115
 Risk Category II
 Exposure Category: C
 MWFRS Vel. Pressure, psf 16
 Component Vel. Press., psf 18

Seismic
 Spectral response, SDS: 0.10
 Spectral response, SD1: 0.06
 Seismic use group category: Group I
 Site class: D
 Seismic design category: A
 Seismic Base Shear, lbs 256

Soils
 Presumed Bearing, psf: 2000
 Presumed Lateral, psfft: 200

PROPOSED PROJECT FOR:
TEAM INDUSTRIES
POSITIONER SHOP
 KAUKAUNA, WI

SYMBOLS LEGEND



Conditionally
APPROVED
 DEPT. OF SAFETY AND PROFESSIONAL
 SERVICES
 DIVISION OF INDUSTRY SERVICES

SEE CORRESPONDENCE

Building ICC
 Addition/Alteration - Level 2
 DIS-022508255
 CB-032500363-PRB
 3/24/2025

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JOB NUMBER: 24-5934
PROJECT EXECUTIVE: JAKE MANCOSKE
 (920) 366-8828
DRAWN BY: CRP
DATE: 02/24/25

Revision Schedule

Rev. No.	Revision Description	Rev. Date
D		



ISSUED FOR: CHECKED DATE: BY:

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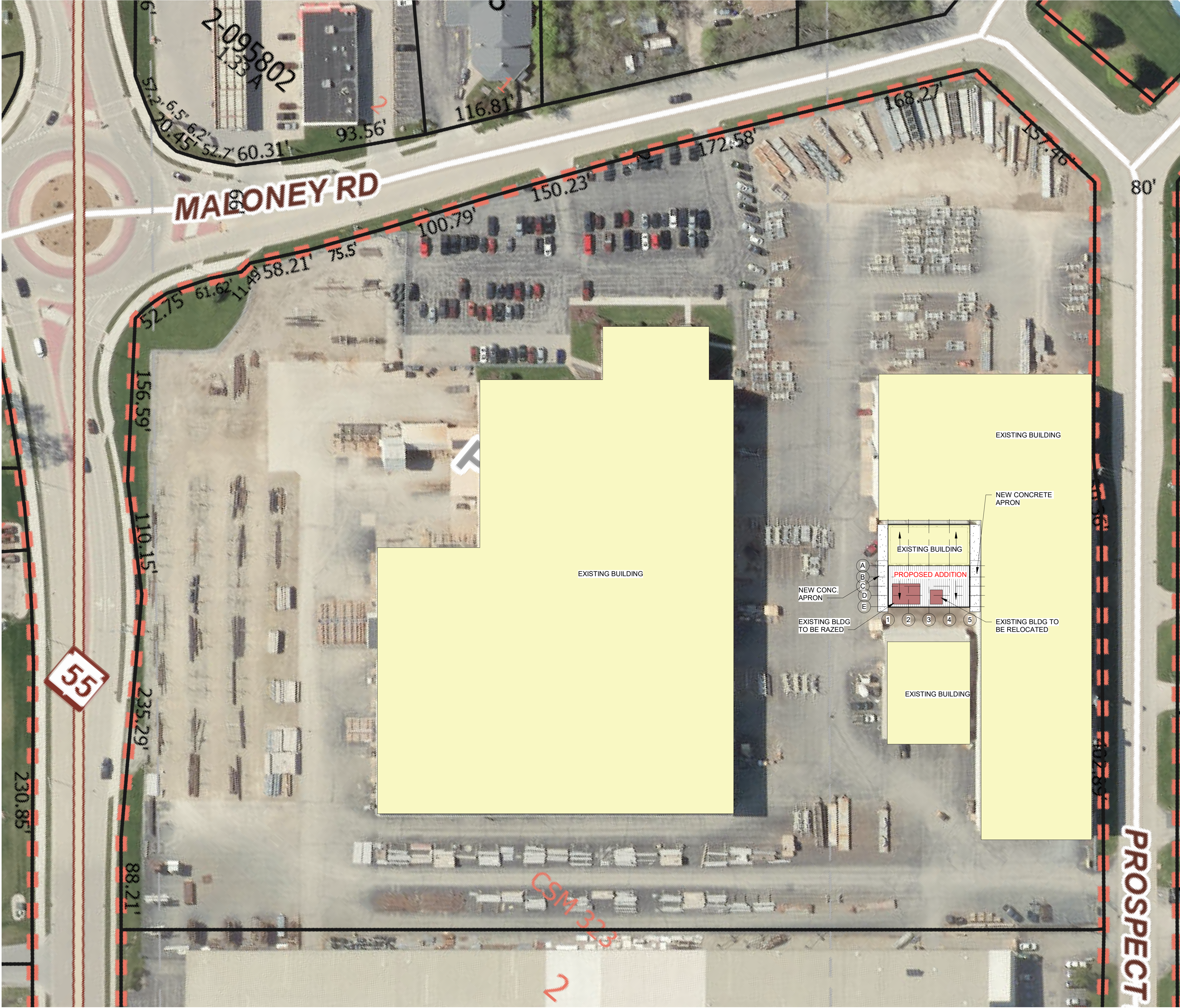
TITLE SHEET
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PROPOSED BUILDING FOR:
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KAUKAUNA, WI

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SITE PLAN



C1.0

SITE PLAN - PROPOSED
1/C1.0 SCALE = 1" = 50'-0"



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PLAN NOTES

A0.1

- 1. ANY DEVIATION FROM PLANS SHALL HAVE BEEN CONSULTED WITH AND DOCUMENTED BY THE SUPERVISING PROFESSIONAL OF RECORD.
2. THIS IS A DESIGN-BUILD PROJECT. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO INDUSTRY STANDARDS. THE SUBCONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SPECIFICATIONS REFERENCED HEREIN AND SHALL CLARIFY ANY DISCREPANCIES WITH BAYLAND BUILDINGS, INC. PRIOR TO BEGINNING WORK.
3. NON-CONTRACT ITEMS MAY APPEAR ON THESE PLANS THAT ARE DONE BY OTHERS AND ARE NOT PART OF THE BAYLAND BUILDINGS, INC. CONTRACT.
4. PLUMBING, ELECTRICAL, & MECHANICAL CONTRACTORS THIS IS A DESIGN BUILD PROJECT. EACH SUBCONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER AND THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO THE AUTHORITY HAVING JURISDICTION (AHJ). EACH SUBCONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE JOB SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD AND THE AHJ APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.
5. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE COMMERCIAL BUILDING CODE.
6. SUBCONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
7. FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY THE SUPERVISING PROFESSIONAL OF RECORD OF ANY DISCREPANCIES.
THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

1 /A0.1 GENERAL REQUIREMENTS N.T.S.

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes items like A.B.(s) anchor bolt, AC air conditioning, AFF acoustic tile, etc.

2 /A0.1 ABBREVIATIONS N.T.S.

IBC 1013.1 EXIT SIGNS
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN. THE SYMBOL TO DENOTE AN EXIT SIGN LOCATION IS THAT OF A CIRCLE CONTAINING AN "X".

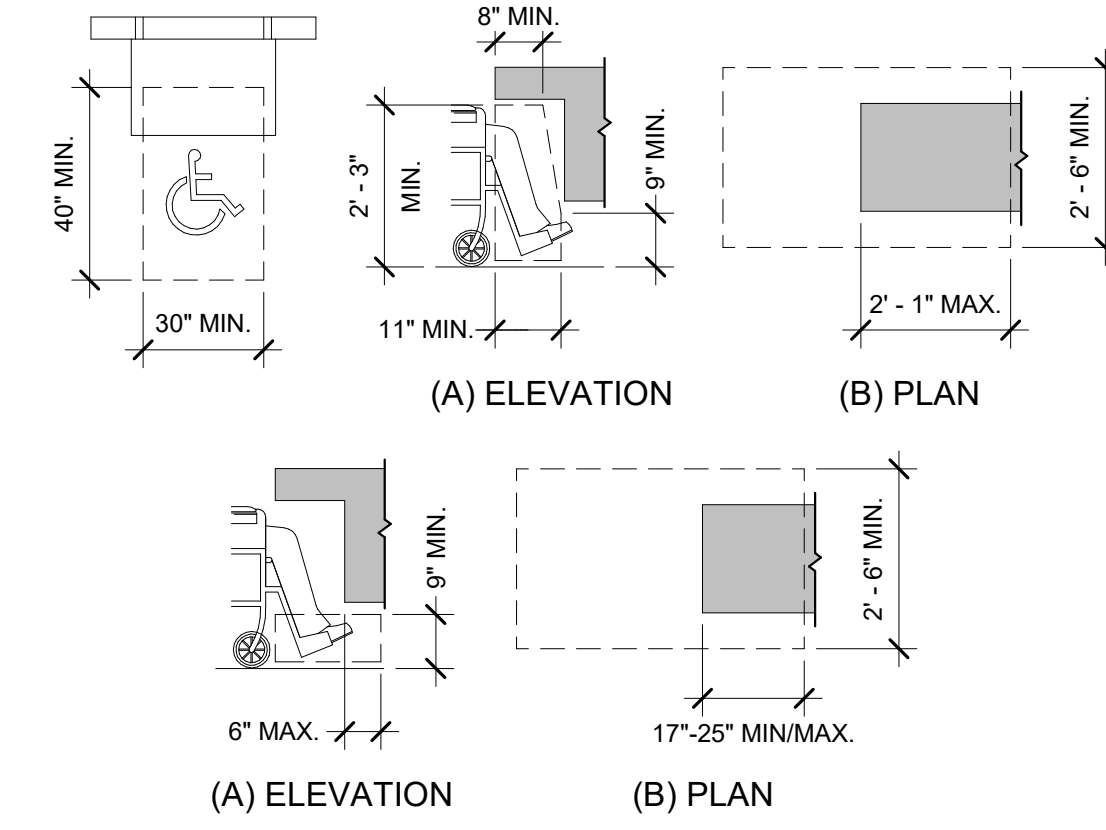
MEANS OF EGRESS ILLUMINATION (IBC 1008)
ILLUMINATION LEVEL UNDER NORMAL POWER: THE MEANS OF EGRESS ILLUMINATION LEVEL WHICH SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE DURING ALL PERIODS OF OCCUPANCY, UNLESS MEETING THE EXCEPTION FOR AISLES IN ASSEMBLY USES AND SELECT SLEEPING AND DWELLING UNITS. IN THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE AISLES, CORRIDORS, AND EXIT ACCESS STAIRWAYS AND RAMPS

FIRE EXTINGUISHERS (IBC 906)
PORTABLE FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH IBC 906 AND NFPA 10. FOR OCCUPANCIES OF ORDINARY HAZARD THE MAX. TRAVEL DISTANCE TO A FIRE EXTINGUISHER IS 75'.

4 /A0.1 EGRESS LIGHTING & FIRE EXTINGUISHERS N.T.S.

- 1. ALL NEW CONTROLS FOR USE BY OCCUPANTS SHALL BE MOUNTED BETWEEN 15" A.F.F. MIN. TO 48" A.F.F. MAX. TO TOP EDGE OF OPERATING COMPONENT AND PROVIDE A CLEAR FLOOR SPACE OF 30"x48" AT CONTROLS, OUTLETS, FIXTURES, ETC. CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 46" A.F.F. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. ALL CONTROLS SHALL COMPLY WITH THE CURRENT ADA STANDARDS IN TYPE AND INSTALLATION.
2. TAKE MEASURES TO ENSURE THAT EXPOSED EDGES OF CARPET (INCLUDING FLOOR MATS) ARE SECURELY ATTACHED, FASTENED OR WEIGHTED DOWN TO THE FLOOR WITH TRIM ALONG ENTIRE LENGTH OF ALL EDGES.
3. ALL NEW DOORS ALONG THE PATH OF TRAVEL SHALL NOT REQUIRE MORE THAN 5 POUND OF FORCE TO PUSH/PULL OPEN DOORS PER CURRENT ADA STANDARDS
4. CONTRACTOR TO CONTRACT WITH PROPERTY'S LIFE SAFETY VENDOR TO FURNISH, INSTALL, AND/OR RELOCATE VISUAL ALARM DEVICES, IF REQUIRED. DEVICES SHALL BE MOUNTED TO 80" A.F.F. TO CENTER OF BOTTOM OR 6" BELOW FINISHED CEILING, WHICHEVER IS LOWER, UNLESS INDICATED OTHERWISE. DEVICES SHALL COMPLY WITH CURRENT ADA STANDARDS, NFPA 72 AND LOCAL/STATE CODES.
5. ALL FINISHES, INCLUDING FLOOR FINISHES, SHALL COMPLY WITH CURRENT ADA STANDARDS IN TYPE AND INSTALLATION
6. FURNITURE CONFIGURATIONS AT PUBLIC SPACES SHALL FOLLOW THE CLEAR FLOOR SPACE AND CIRCULATION SPACE REQUIREMENTS PER 2010 ADA STANDARDS. SEE ADDITIONAL NOTES THIS SHEET FOR ADDITIONAL INFORMATION AND CLARIFICATIONS.
7. ALL PUBLIC RESTROOM FIXTURES, ACCESSORIES, ETC. SHALL BE ADA COMPLIANT IN TYPE AND INSTALLATION PER CURRENT ADA STANDARDS. SEE NOTES, ELEVATIONS/DETAILS, AND FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION AND SPECS.
8. NOTE THAT ALL ADA INSTALLATION RANGES (i.e. WATER CLOSET DIMENSIONS) AS INDICATED ON THESE DRAWINGS ARE PER CURRENT ADA STANDARDS. LOCAL AND STATE CODES MAY CONFLICT. G.C. SHALL VERIFY DURING PERMIT PROCESS AND/OR PRE-CONSTRUCTION DISCUSSION WITH LOCAL AUTHORITIES.
9. GC SHALL COORDINATE WITH PROPERTY SIGNAGE VENDOR TO PROVIDE NEW ADA COMPLIANT SIGNAGE AT ACCESSIBLE DOORS.
10. NEW ROOM I.D. AND/OR DIRECTIONAL SIGNAGE SHALL BE TACTILE TYPE MOUNTED AT 48" A.F.F. TO THE BASELINE OF THE LOWEST TACTILE CHARACTERS AND 60" A.F.F. TO THE BASELINE OF THE HIGHEST TACTILE CHARACTERS. SIGNAGE TO BE LOCATED AT THE LATCH SIDE OF DOOR. IF THERE IS NO WALL SPACE AT THE LATCH SIDE OF DOOR THEN SIGNAGE SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNAGE AT DOUBLE DOORS WITH INACTIVE LEAF SHALL BE LOCATED ON THE INACTIVE LEAF. DOUBLE DOORS WITH TWO ACTIVE LEAFS, LOCATE SIGNAGE TO THE RIGHT OF THE RIGHT HAND DOOR PER CURRENT ADA STANDARDS.
11. BRAILLE ON SIGNAGE SHALL BE CONTRACTED (GRADE 2) BRAILLE DOTS SHALL HAVE DOMED OR ROUNDED SHAPE. THERE SHOULD BE A MIN. OF 3/8" BETWEEN BRAILLE AND ANY OTHER RAISED CHARACTER, BORDER OR ELEMENT PER CURRENT ADA STANDARDS.
12. ALL OBJECTS MOUNTED BETWEEN 27" A.F.F. AND 80" A.F.F. SHALL NOT PROTRUDE MORE THAN 4" FROM THE FACE OF THE WALL PER CURRENT ADA STANDARDS.

5 /A0.1 ADA GENERAL CONSTRUCTION NOTES N.T.S.



SALES & SERVICE COUNTER (ICC ANSI A117.1)

904.3.1 PARALLEL APPROACH. A PORTION OF THE COUNTER SURFACE 36 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED. WHERE THE COUNTER SURFACE IS LESS THAN 36 INCHES IN LENGTH, THE ENTIRE COUNTER SURFACE SHALL BE 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER, SHALL BE PROVIDED.
904.3.2 FORWARD APPROACH. A PORTION OF THE COUNTER SURFACE 30 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A FORWARD APPROACH TO THE ACCESSIBLE COUNTER, SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED UNDER THE ACCESSIBLE COUNTER.

DINING SURFACES AND WORK SURFACES (ICC ANSI A117.1)

902.2 CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A FORWARD APPROACH, SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED.
902.4 HEIGHT. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR.

6 /A0.1 SERVICE, DINING, & WORKSURFACE COUNTERS N.T.S.

3 /A0.1 EXIT SIGNS N.T.S.



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PROPOSED BUILDING FOR:
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POSITIONER SHOP**
KAUKAUNA, WI

SCALE VERIFICATION

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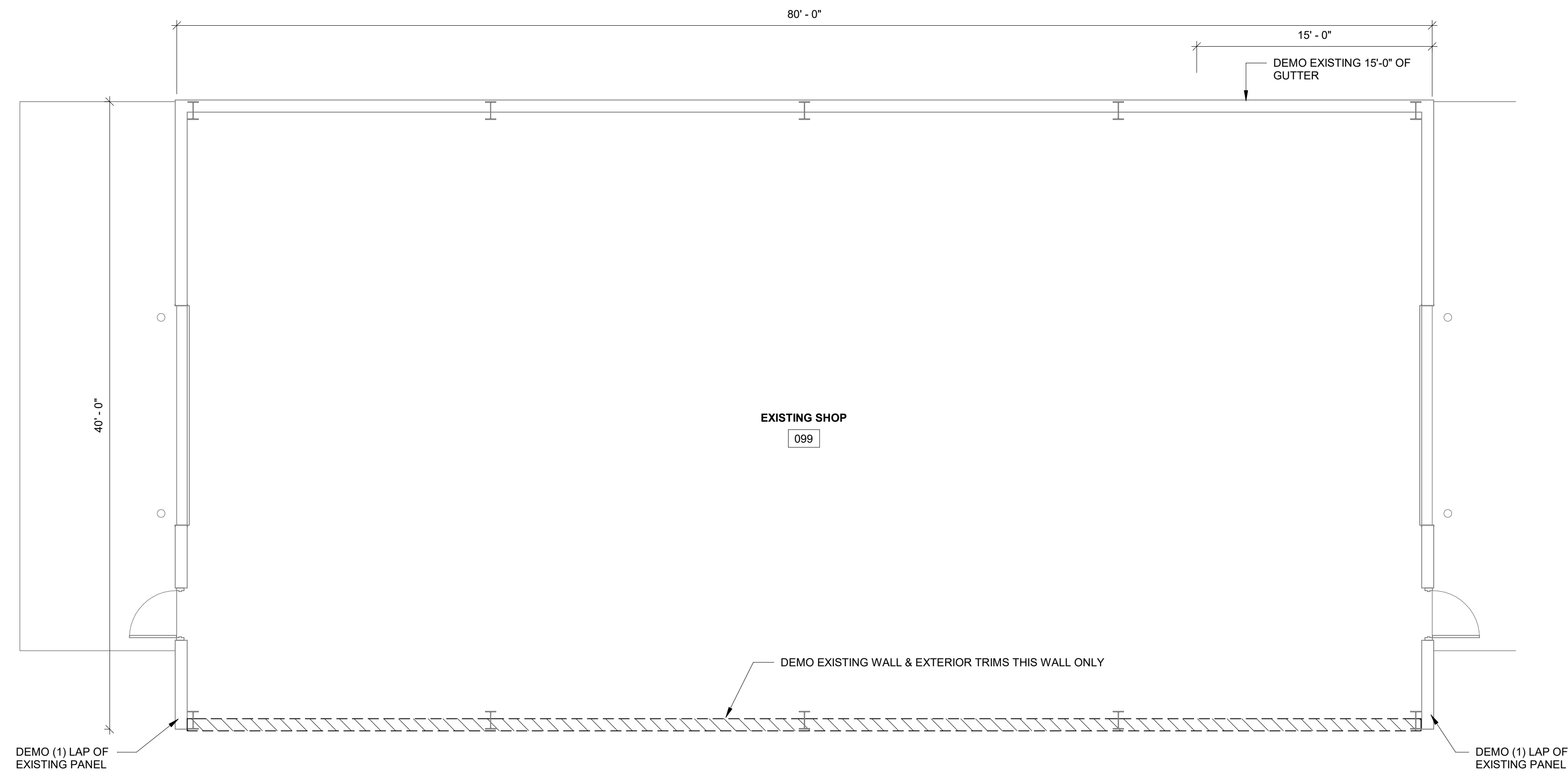
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FLOOR PLAN - EXISTING

2 / A1.0 SCALE = 3/16" = 1'-0"



FLOOR PLAN - DEMO

A1.0

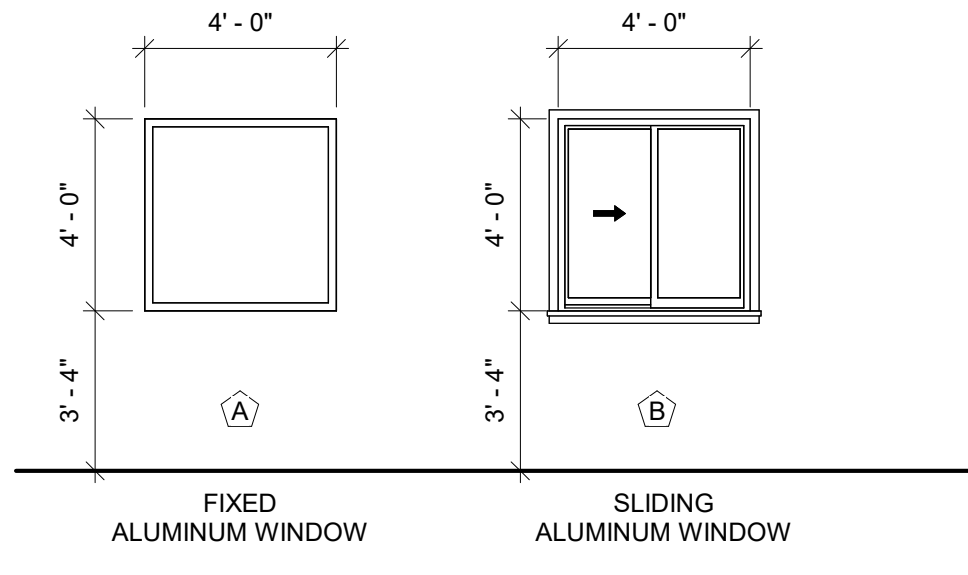
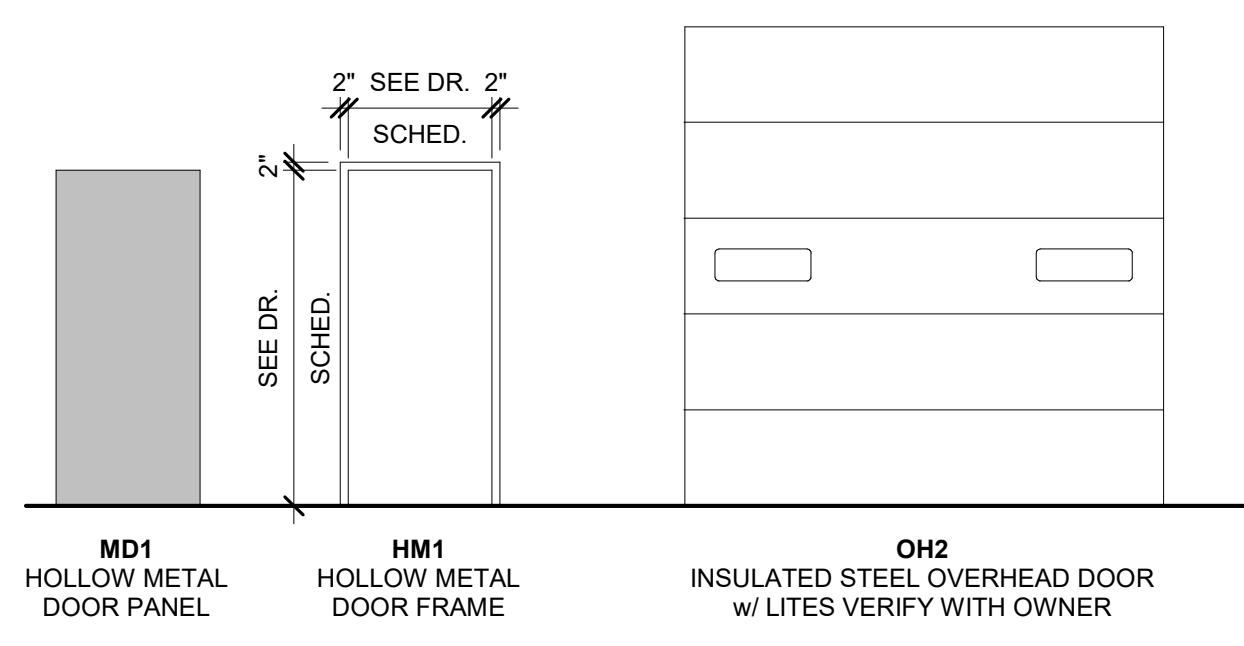


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DOOR SCHEDULE														
NUMBER	DOOR			FRAME TYPE	FIRE RATING	DOOR HARDWARE							SPECIALTY HARDWARE	GENERAL REMARKS
	WIDTH	HEIGHT	TYPE			LOCK	PASSAGE	CLOSER	PANIC	PRIVACY	WALL STOP	WEATHER STRIPPING		
100.1	3'-0"	7'-0"	MD1	HM1		■		■					LATCH GUARD / SEALED THRESHOLD	NORTON H-DUTY COLSURE / CONTINUOUS HINGE / SCHLAGE COMMERCIAL DUTY LOCKSET
100.2	3'-0"	7'-0"	MD1	HM1		■		■					LATCH GUARD / SEALED THRESHOLD	NORTON H-DUTY COLSURE / CONTINUOUS HINGE / SCHLAGE COMMERCIAL DUTY LOCKSET
100.3	14'-0"	14'-0"	OH2	-										
101.1	3'-0"	7'-0"	MD1	HM1			■	■						

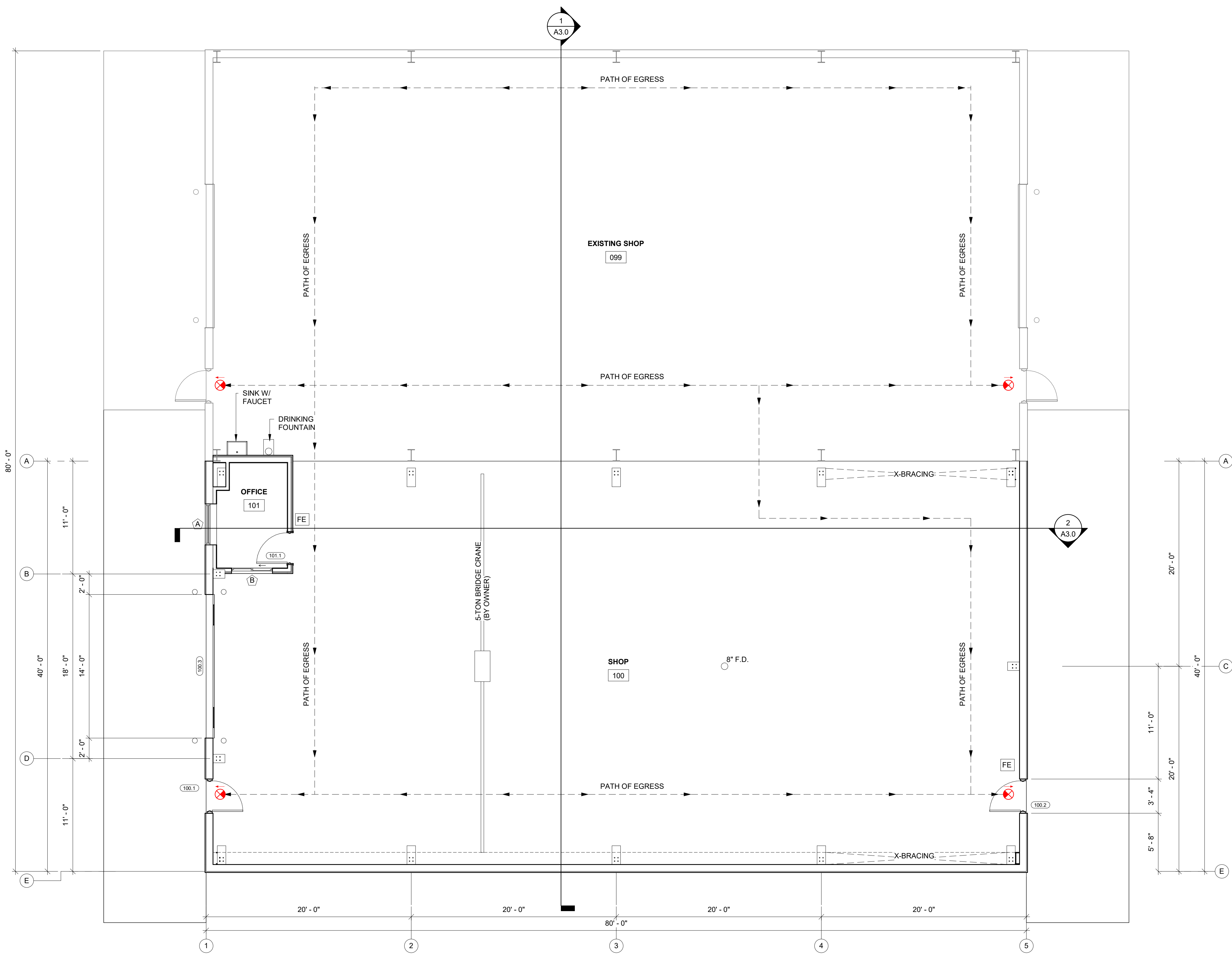


GENERAL NOTES:

- ANY WINDOW GLAZING BELOW 24" NEEDS TO BE TEMPERED OR BE CLASSIFIED AS SAFETY GLAZING PER IBC SECTION 2406 SAFETY GLAZING
- VERIFY INTERIOR WINDOW SILLS & JAMB FINISH

WINDOW THERMAL PERFORMANCE DATA

PRODUCT:	MARVIN MODERN SERIES OR EQ.
GLASS TYPE:	LOW-E SMARTSUN (2.2mm ANNEALED GLASS), OR EQUAL
NFRC DIRECTORY #:	AND-N-80-00887-00001
U-FACTOR:	0.29 (MIN)
SHGC:	0.19 (MIN)
VT:	0.43 (MIN)



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FLOOR PLAN - PROPOSED

FLOOR PLAN - PROPOSED
1/A1.1 SCALE = 3/16" = 1'-0"



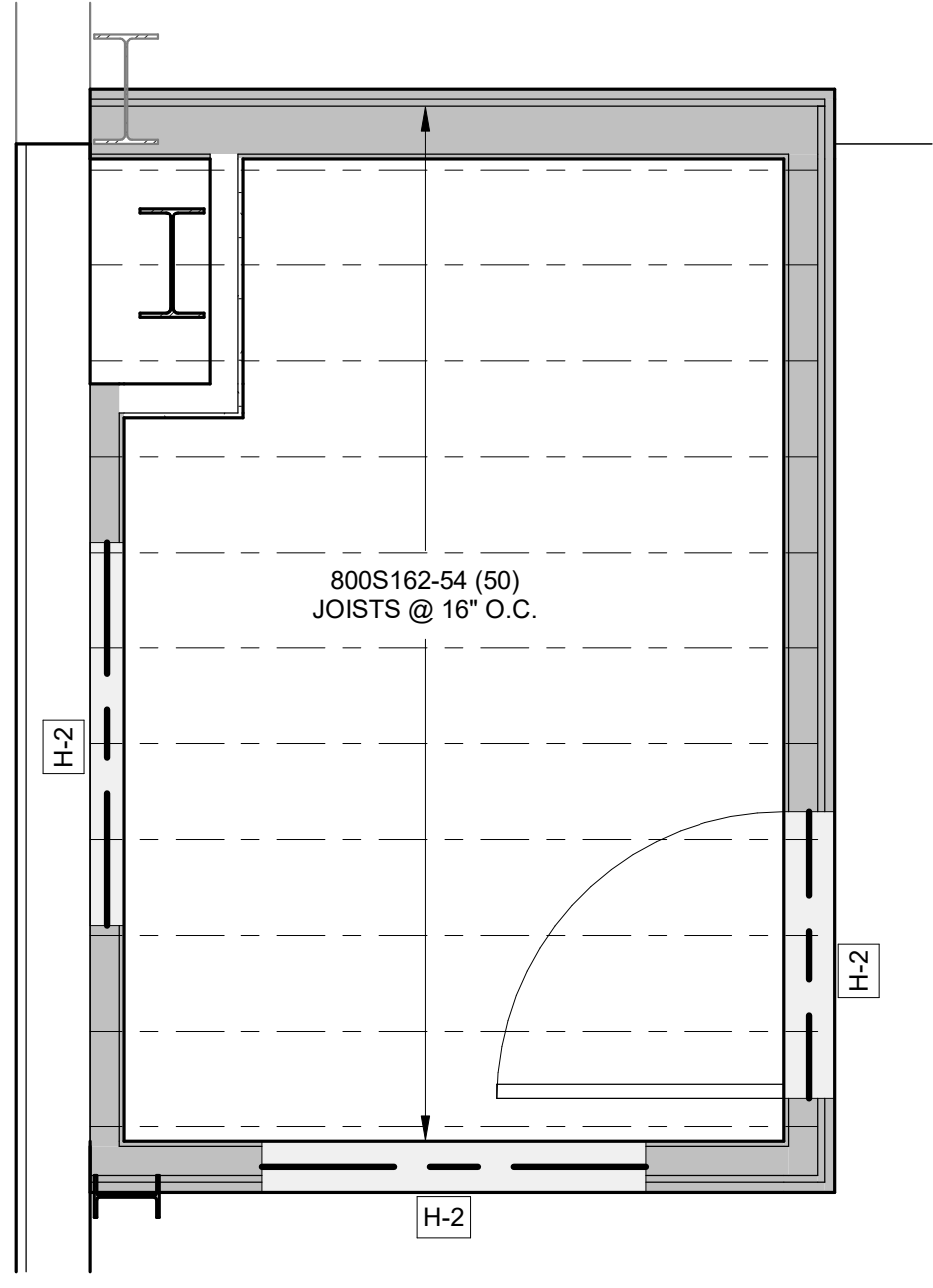
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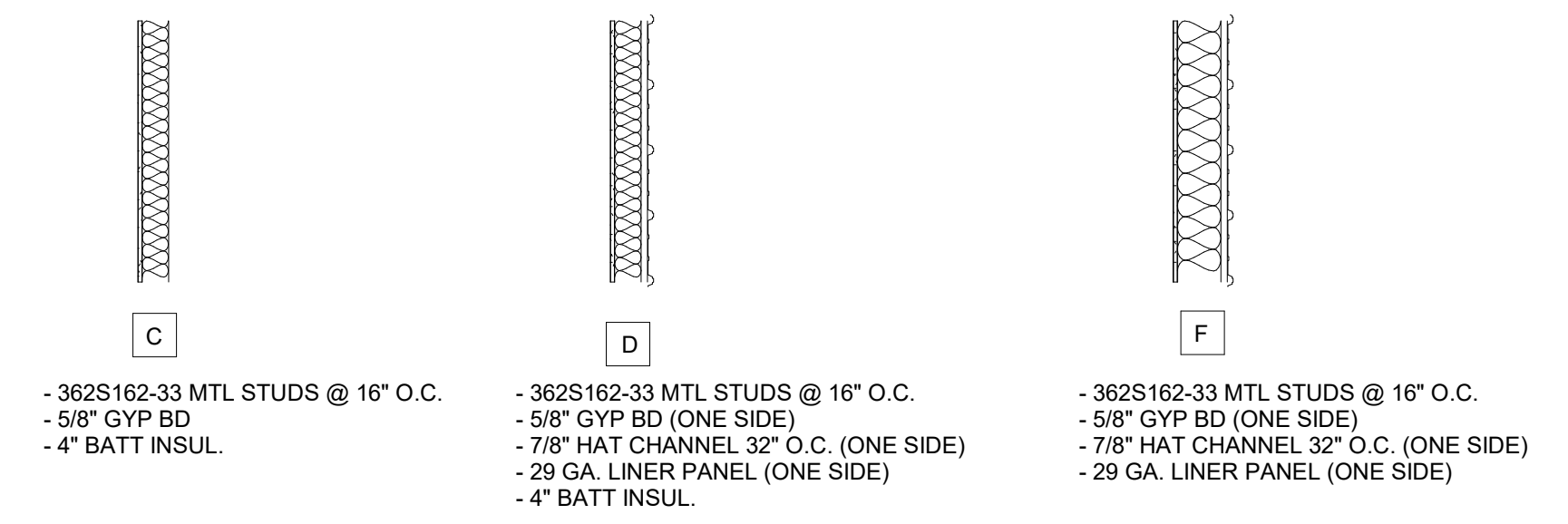
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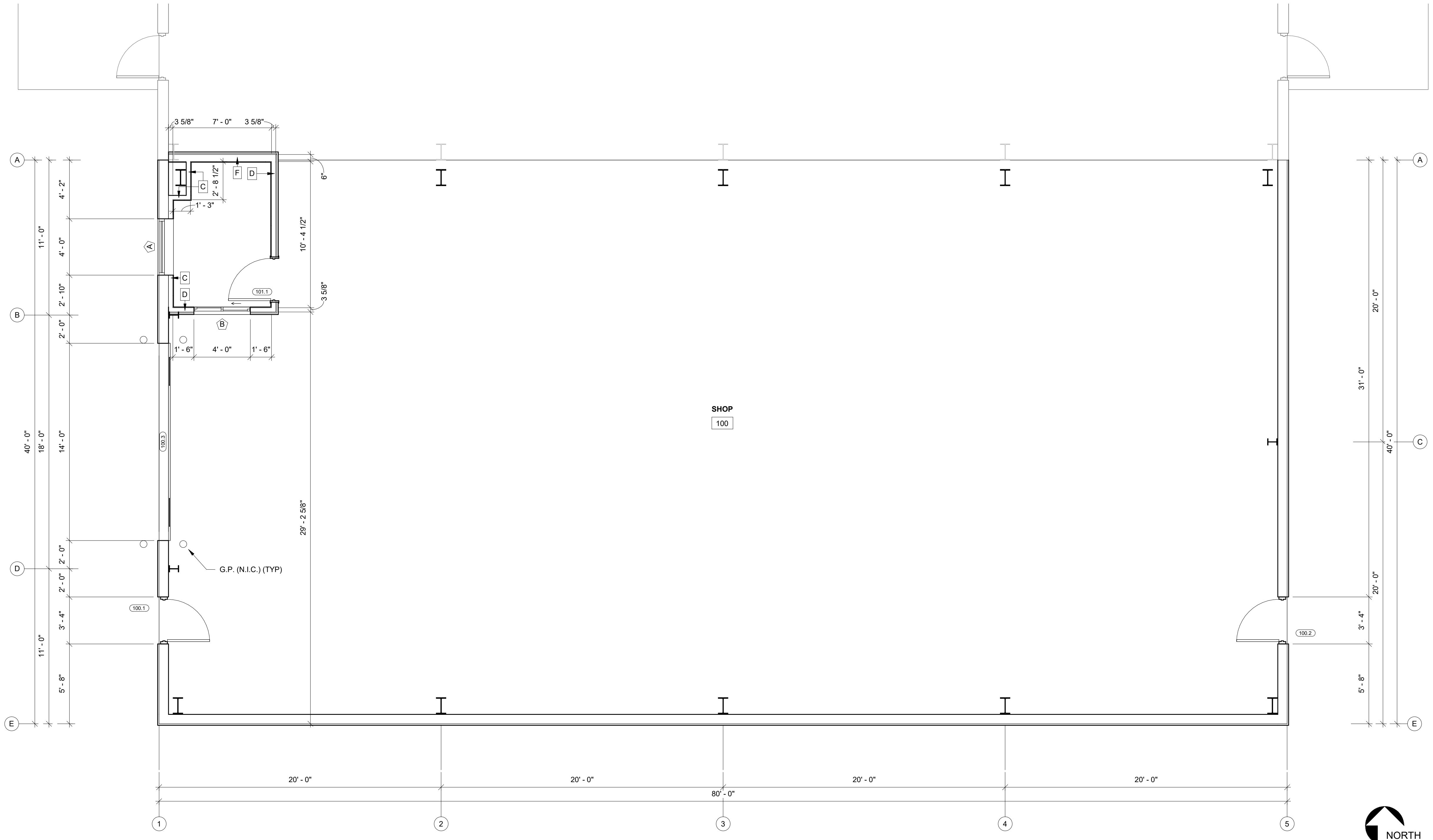
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FRAMING PLAN - PROPOSED
2/A1.2 SCALE = 1/2" = 1'-0"



NOTE:
- ALL GYP BD TO BE RAN TO 1'-0"
ABOVE CEILING FINISH
(SEE R.C.P. FOR ADD'T DTLs)



FLOOR PLAN - PROPOSED DIMENSION PLAN
1/A1.2 SCALE = 1/4" = 1'-0"

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FLOOR PLAN - PROPOSED
DIMENSION

A1.2





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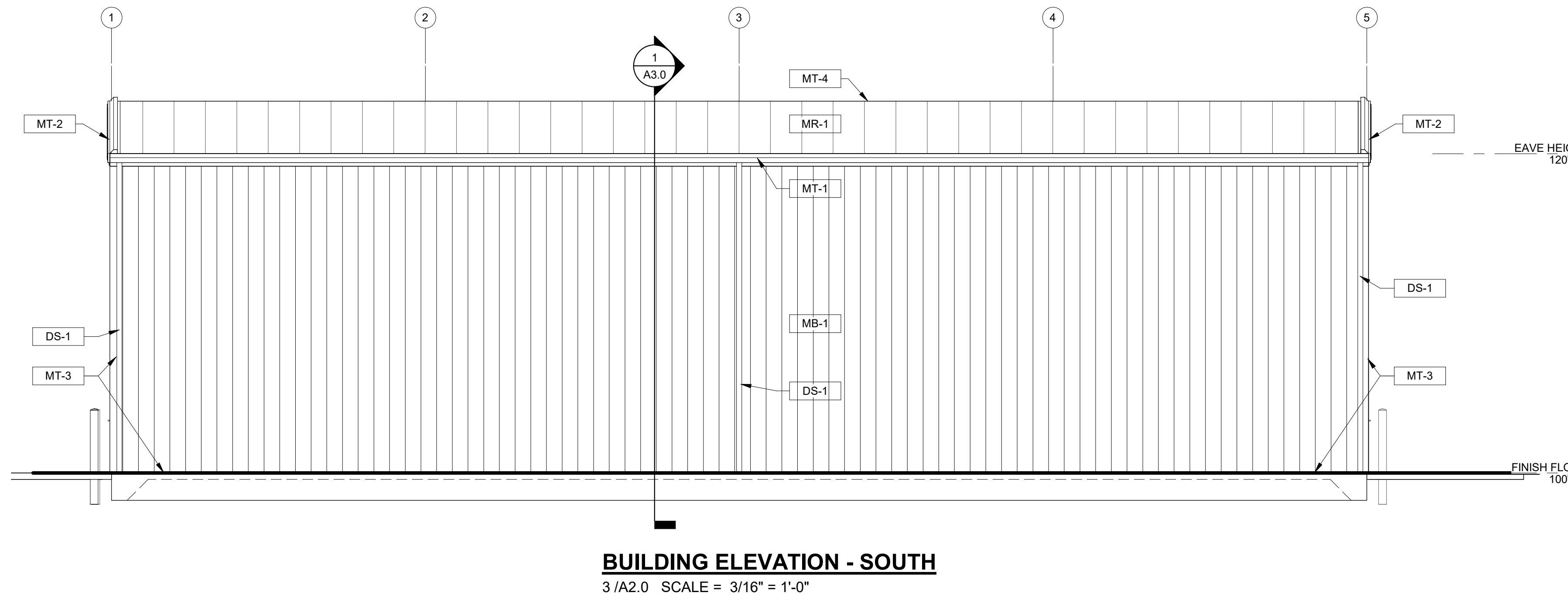
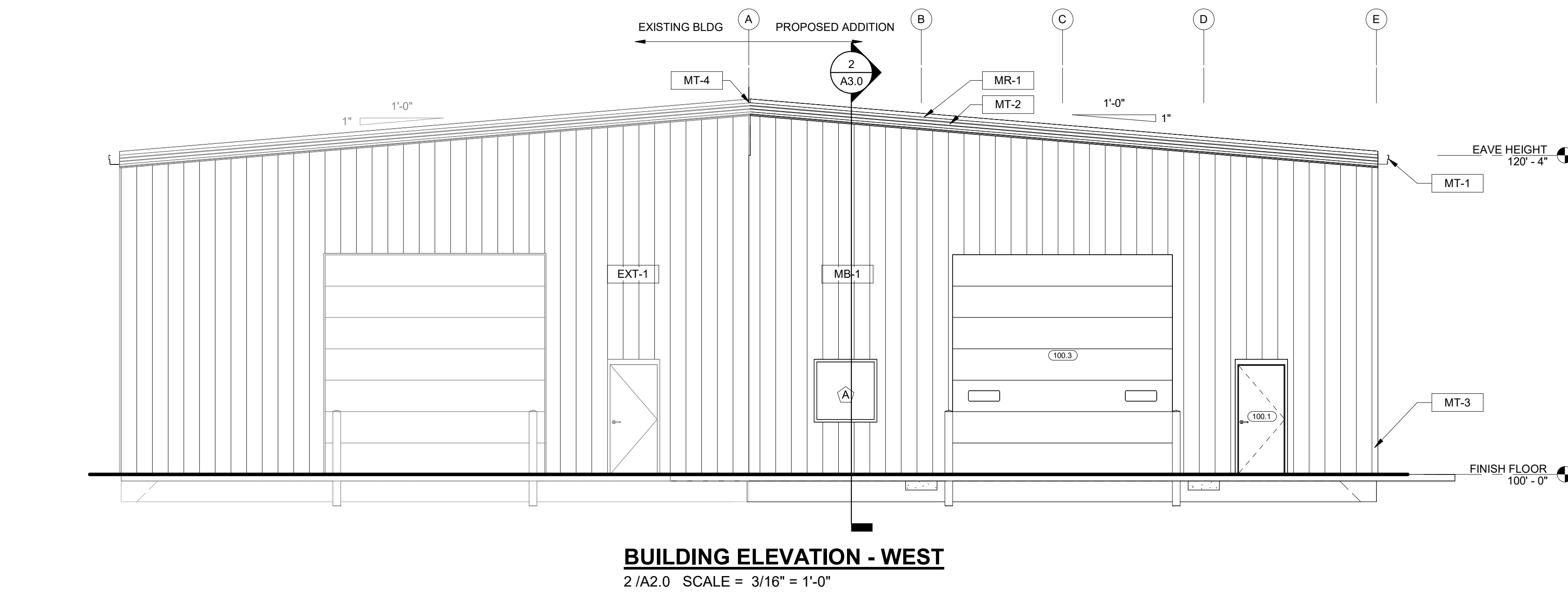
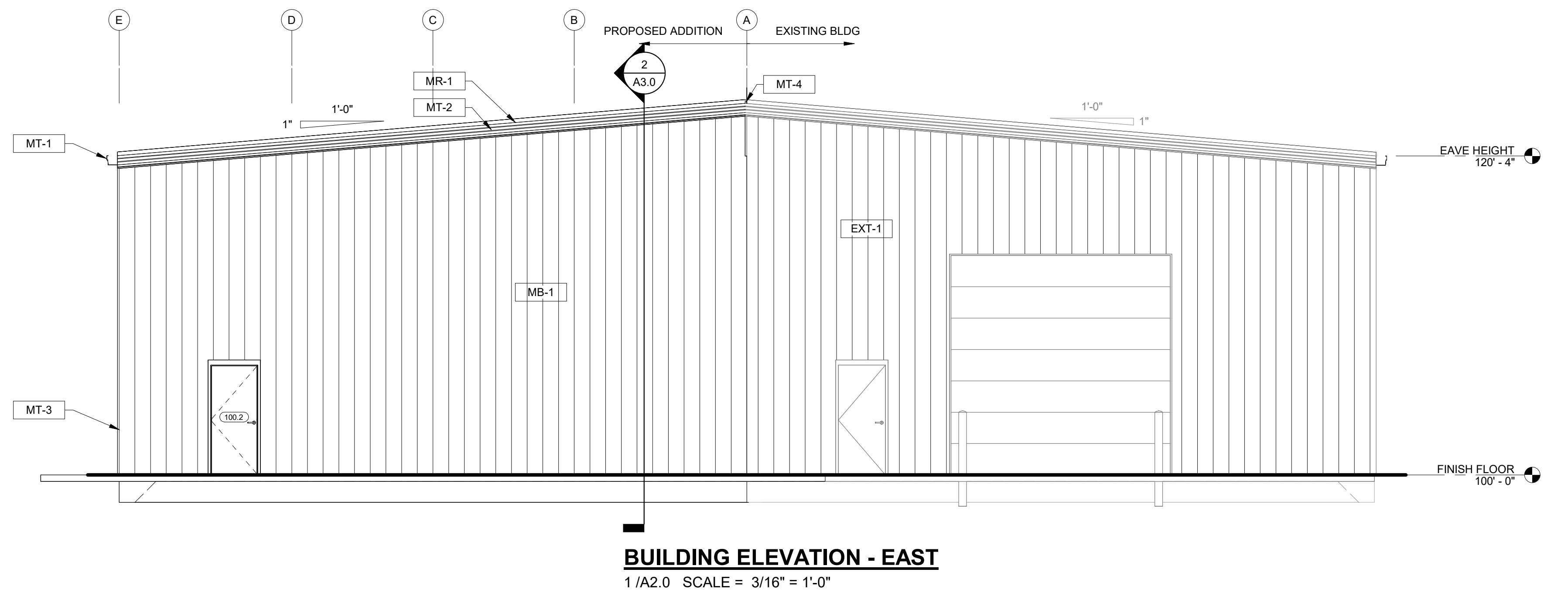
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DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
**TEAM INDUSTRIES
POSITIONER SHOP**
KAUKAUNA, WI

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MB-1	LOCATION: WALL PANEL MATERIAL: 26 GA. SMOOTH SEMI-CONCEALED ARCHITECTURAL PROFILE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS: w/ KXL PAINT
MR-1	LOCATION: ROOF PANEL MATERIAL: 24 GA. GALVALUME DOUBLE-LOK STANDING SEAM SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & GUTTERS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-3	LOCATION: CORNER & BASE TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-4	LOCATION: CAP TRIM MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
EXT-1	EXISTING BUILDING FINISH TO REMAIN
DS-1	DOWNSPOUT LOCATIONS



SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

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JOB NUMBER: 24-5934

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: CRP

DATE: 02/24/25

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

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<input type="checkbox"/>	DESIGN REVIEW	SM,JM,CP	02/13/24
<input type="checkbox"/>	CHECKSET		
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ELEVATIONS - EXTERIOR

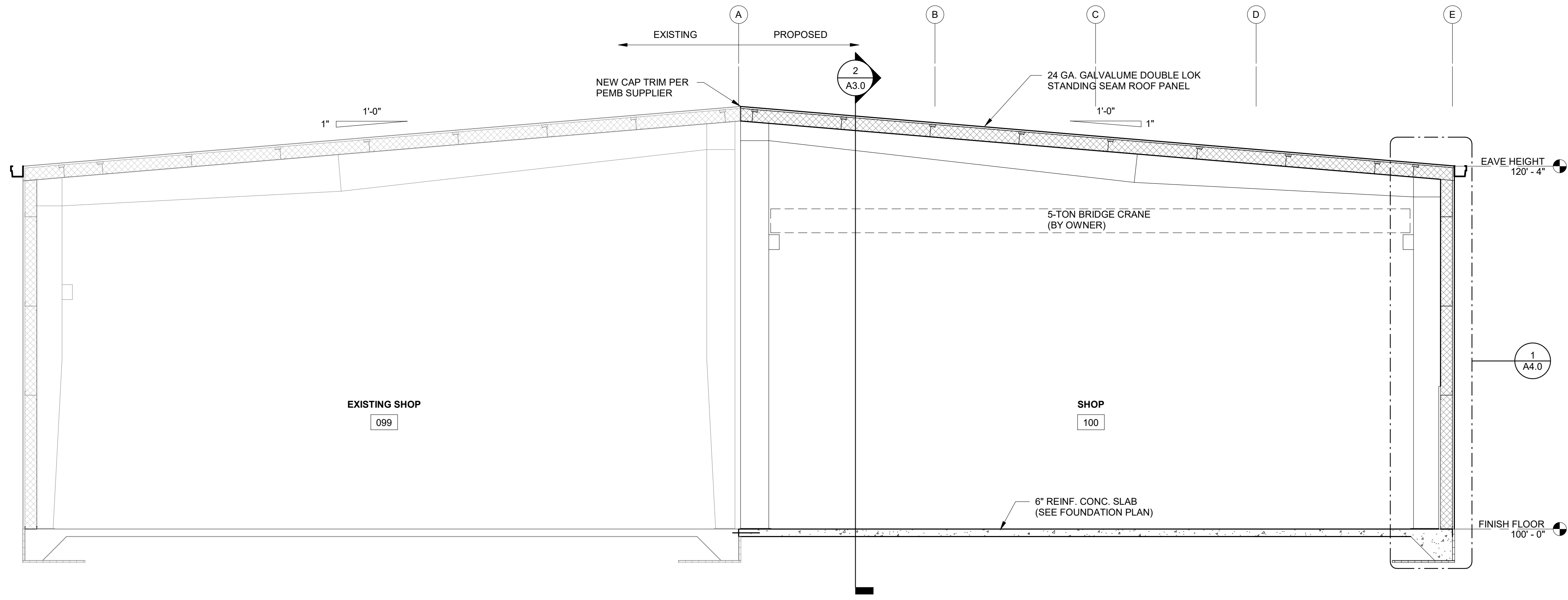
A2.0



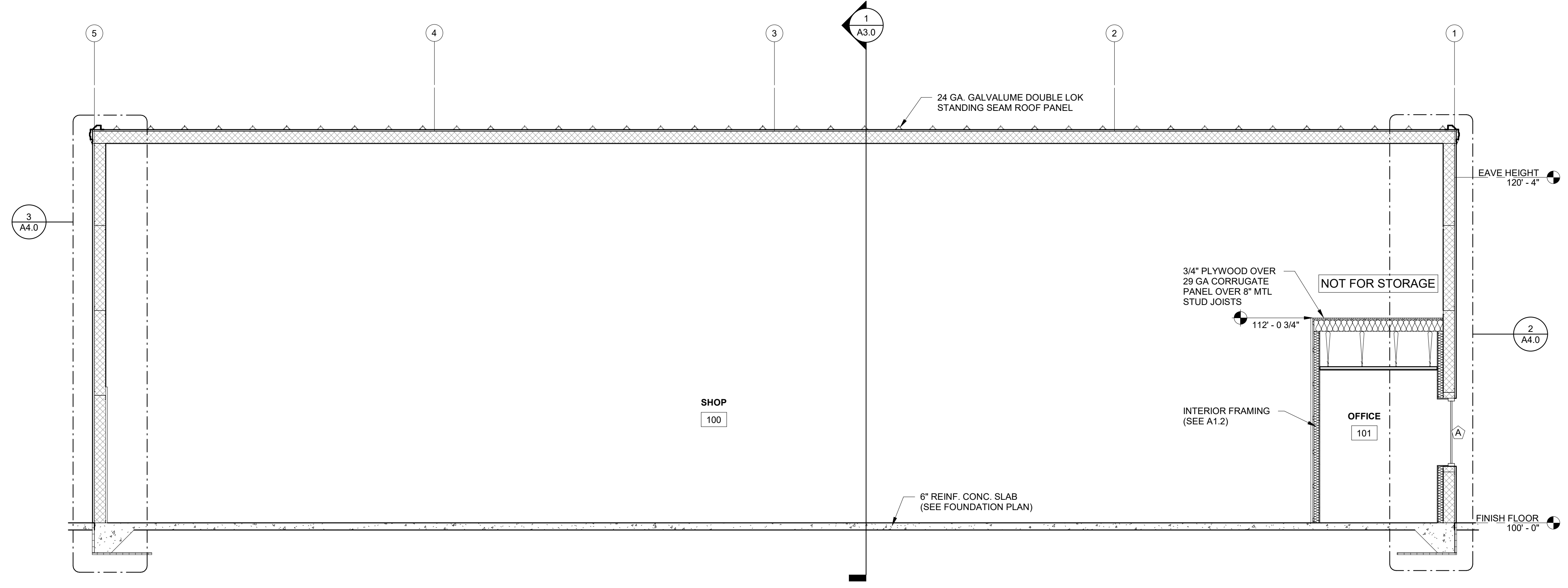
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DESIGN & BUILD GENERAL CONTRACTOR



BUILDING SECTION
1/A3.0 SCALE = 1/4" = 1'-0"



BUILDING SECTION
2/A3.0 SCALE = 1/4" = 1'-0"

PROPOSED BUILDING FOR:
**TEAM INDUSTRIES
POSITIONER SHOP**
KAUKAUNA, WI

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BY:

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- CHECKSET
- CONSTRUCTION

SECTIONS - BUILDING

A3.0

PROPOSED BUILDING FOR: TEAM INDUSTRIES POSITIONER SHOP KAUKAUNA, WI

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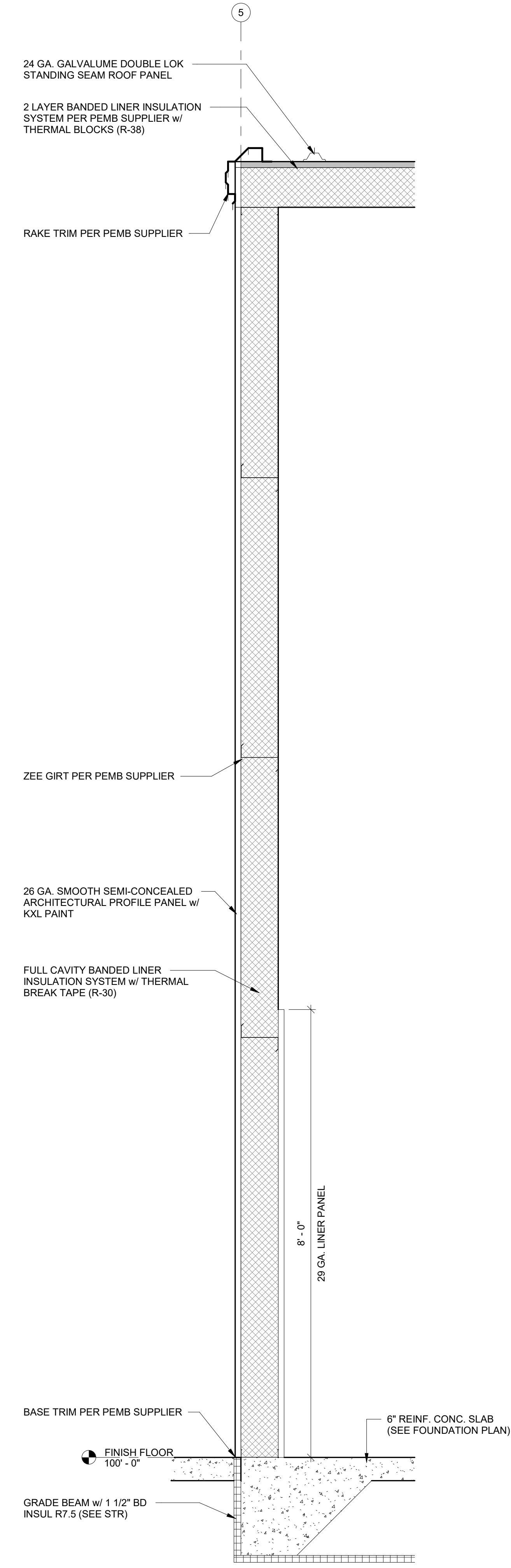
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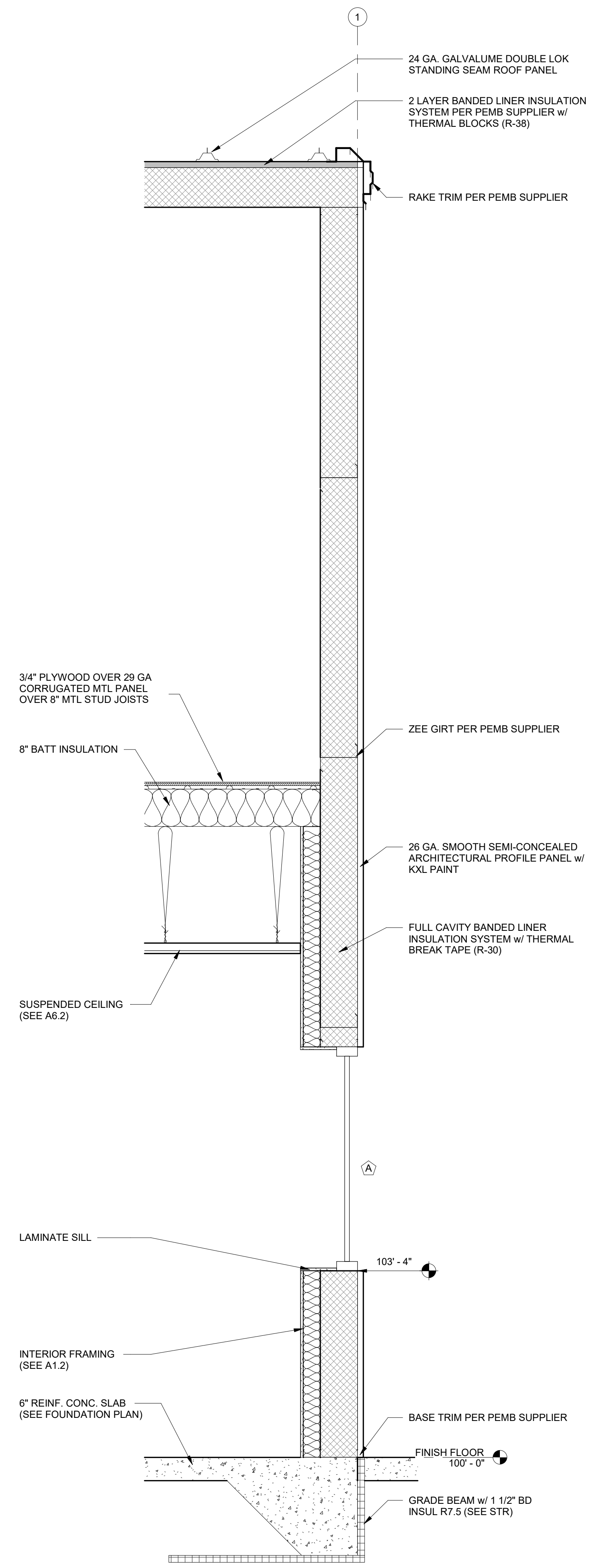
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- CONSTRUCTION

SECTIONS - WALL / DETAILS

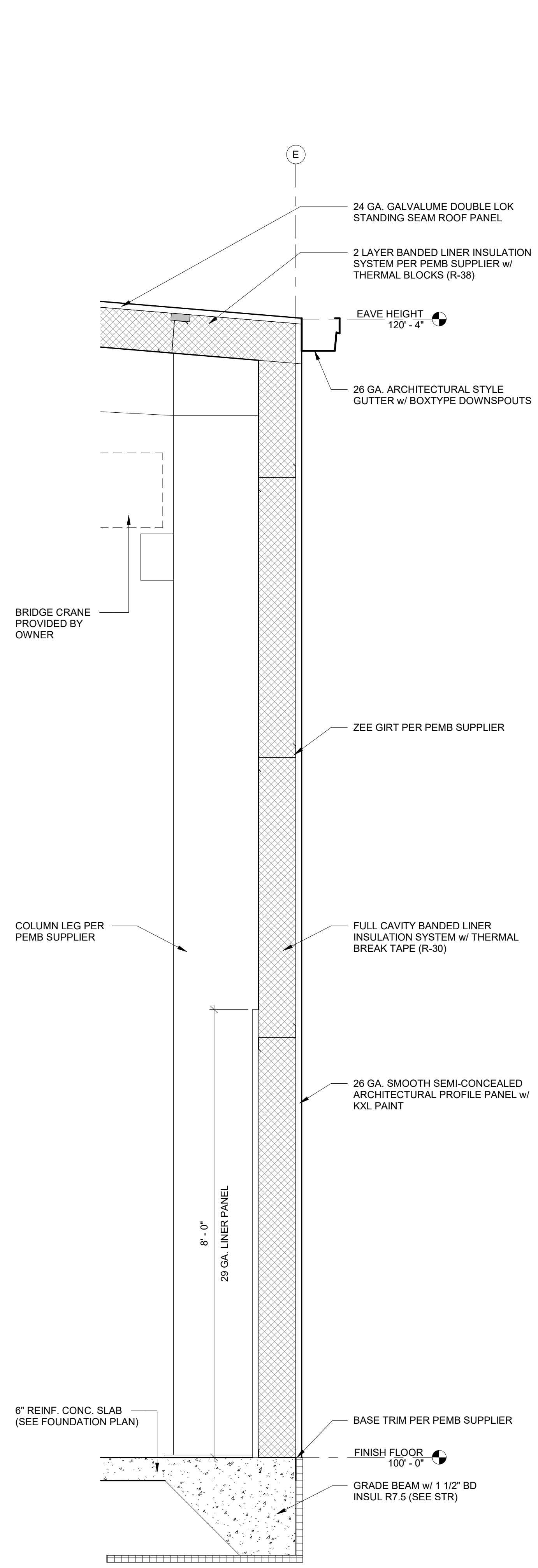
A4.0



WALL SECTION
3/A4.0 SCALE = 3/4" = 1'-0"



WALL SECTION
2/A4.0 SCALE = 3/4" = 1'-0"



WALL SECTION
1/A4.0 SCALE = 3/4" = 1'-0"



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DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
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- CONSTRUCTION

ROOM FINISH PLAN - PROPOSED

A6.1

MATERIAL LEGEND

FLOORING FINISH

MARK	DESCRIPTION
CONC-1	FINISH: CONCRETE MANUF: VERIFY STYLE: SMOOTH TROWEL COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: SEALER APPLIED U.N.O.
EXIST-FLR	EXISTING FLOOR FINISH CONDITIONS

WALL BASE FINISH

MARK	DESCRIPTION
VB-1	FINISH: VINYL BASE MANUF: VERIFY STYLE: 4" HIGH COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:

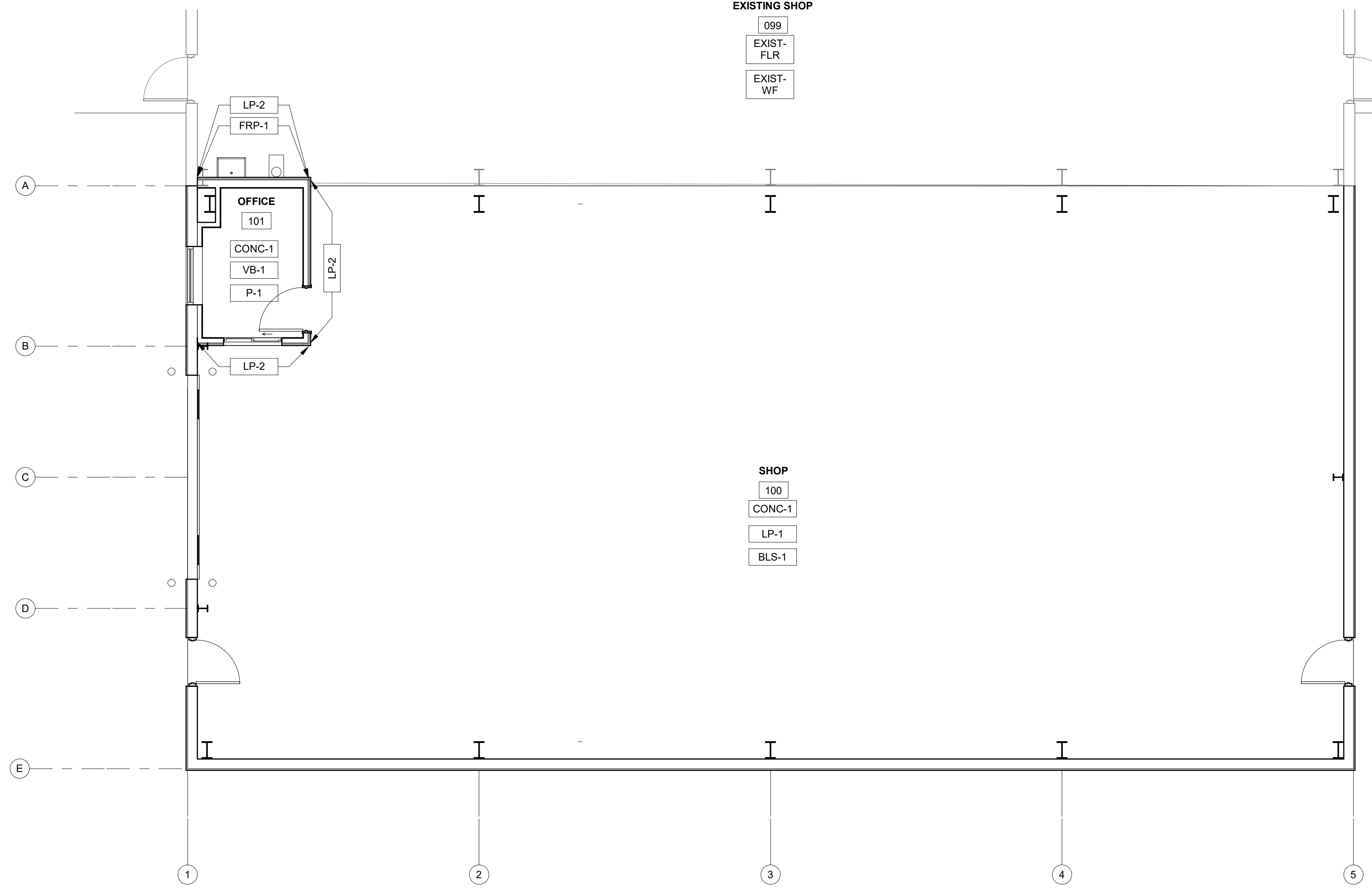
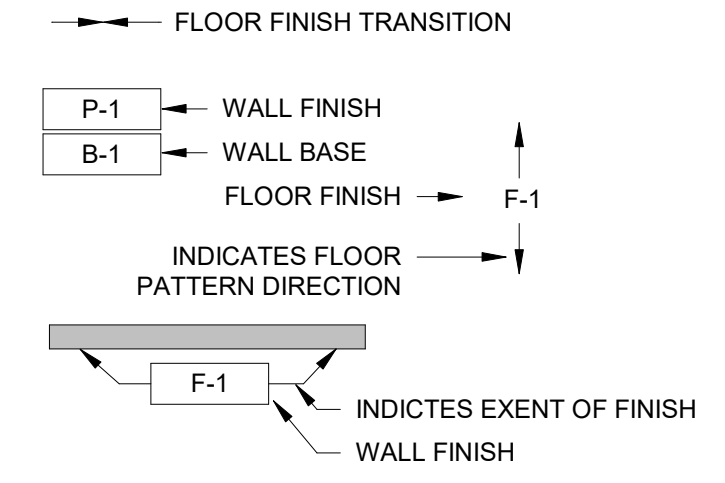
WALL FINISH

MARK	DESCRIPTION
BLS-1	FINISH: BANDED LINER SYSTEM MANUF: VERIFY STYLE: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: ABOVE LINER PANEL
FRP-1	FINISH: FRP MANUF: VERIFY STYLE: [SMOOTH] COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: 1/2" GYPSUM PLYWOD TO 4'-0" A.F.F.
LP-1	FINISH: 29 GA LINER PANEL MANUF: VERIFY STYLE: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: TO 8'-0" A.F.F
LP-2	FINISH: 29 GA LINER PANEL MANUF: VERIFY STYLE: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: FULL HEIGHT
P-1	FINISH: PAINTED DRYWALL MANUF: VERIFY STYLE: [LIGHT SKIP] COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
EXIST-WF	EXISTING WALL FINISH CONDITIONS

FINISH GENERAL NOTES

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE SUBJECT TO 'OR EQUAL' SUBSTITUTIONS U.N.O. FINAL SELECTIONS TO BE SELECTED BY G.C.
- NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS: INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION, U.N.O.
- THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS AND SPECIFIED CARPET. STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GC TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- PROVIDE VINYL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, U.N.O. REFER TO PLAN FOR DETAIL LOCATIONS.
- HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS.
- RUBBER/VINYL BASE SHALL BE STRAIGHT BASE AT ALL LOCATIONS FOR CARPET AND COVE BASE AT TILE AND RESILIENT FLOORS.
- ALL ELECTRICAL PANELS IN THE CORRIDORS SHALL BE PAINTED TO MATCH THE ADJACENT WALL FINISH U.N.O.
- PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH TO MATCH WALL, U.N.O.
- FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDERCABINET EQUIPMENT.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450.
- ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- CARPET CONTRACTOR SHALL VERIFY THAT ALL CARPET OF EACH VARIETY IS TO BE SHIPPED FROM THE SAME DYE-LOT.
- ALL WALLS PAINTED WITH A LATEX PAINT TO HAVE AN EGGSHELL FINISH, U.N.O. REFER TO THE MATERIAL SCHEDULE AND FINISH LEGEND FOR MANUFACTURER'S PRODUCT NAME.
- GYPSUM BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION.
- PAINTS AND COATINGS: APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PAINTS, 1ST EDITION, MAY 20, 1993.
- ANTI-CORROSIVE AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GC-03, ANTI-CORROSIVE PAINTS, 2ND EDITION, JANUARY 7, 1997.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2016.

FINISH PLAN LEGEND



FLOOR PLAN - ROOM FINISH

1/A6.1 SCALE = 3/16" = 1'-0"





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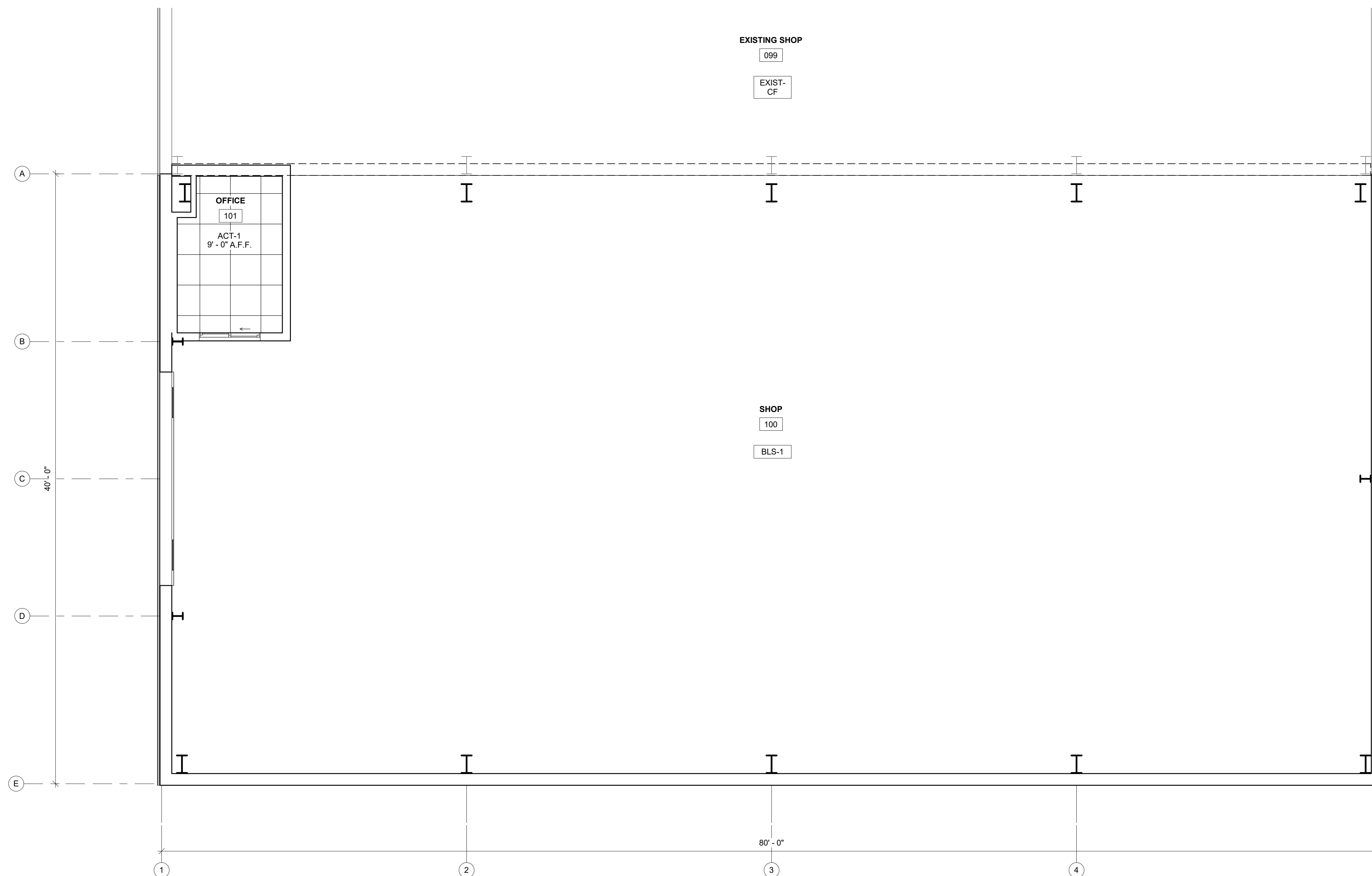
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DESIGN & BUILD GENERAL CONTRACTOR

MATERIAL LEGEND

CEILING FINISH

MARK	DESCRIPTION
BLS-1	FINISH: BANDED LINER SYSTEM MANUF: VERIFY STYLE: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
ACT-1	FINISH: SUSPENDED ACOUSTICAL CEILING SYSTEM MANUF: VERIFY STYLE: (2x2) STANDARD REVEALED EDGE COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: 9'-0" A.F.F.
EXIST-CF	EXISTING CEILING FINISH CONDITIONS



PROPOSED BUILDING FOR:
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POSITIONER SHOP**
KAUKAUNA, WI

SCALE VERIFICATION

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JOB NUMBER: 24-5934

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(920) 366-8828

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REFLECTED CEILING PLAN -
PROPOSED

A6.2

RCP - OVERALL
1/A6.2 SCALE = 1/4" = 1'-0"





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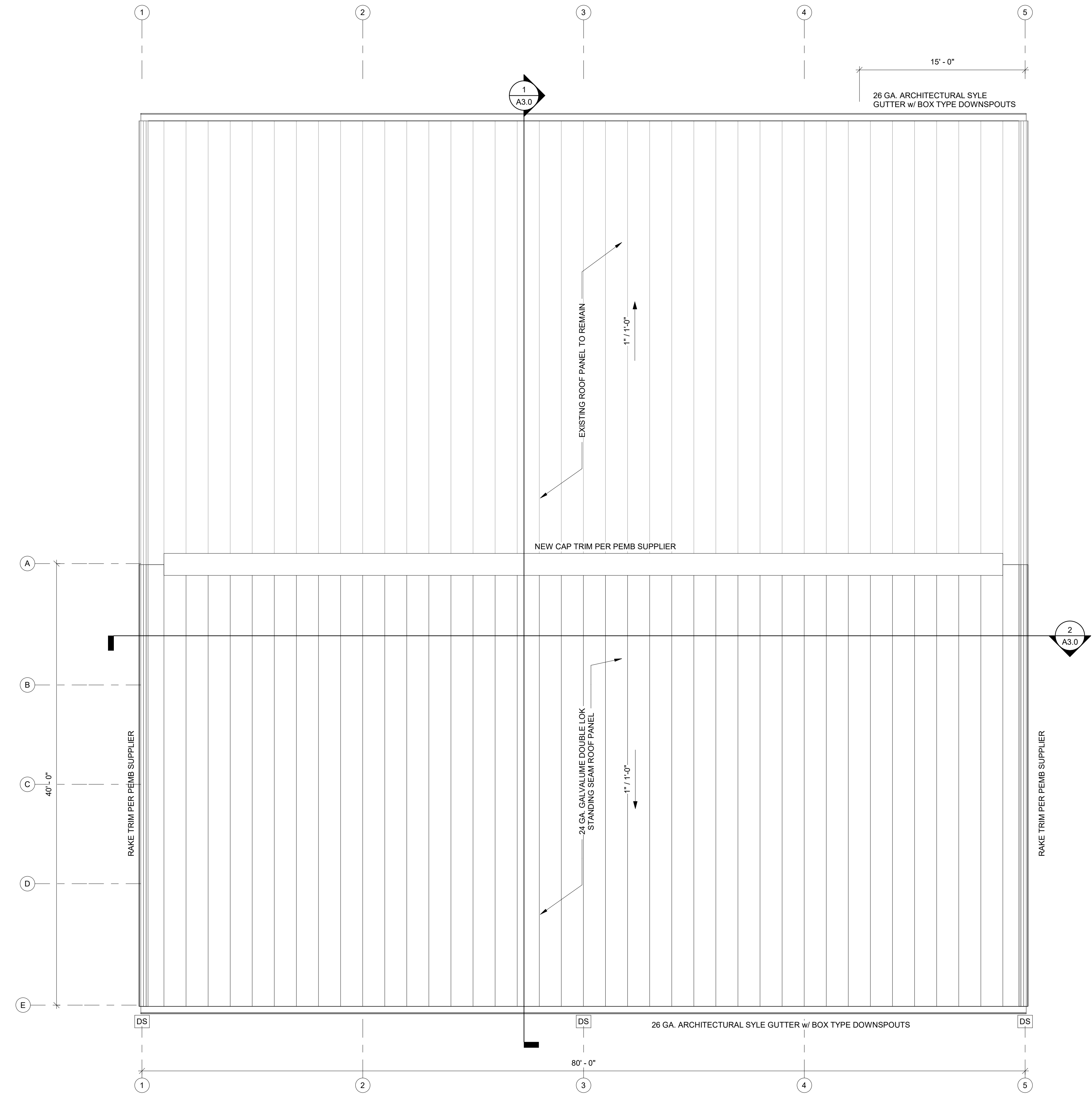
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ROOF PLAN - PROPOSED

A7.0



ROOF PLAN - PROPOSED
1/A7.0 SCALE = 3/16" = 1'-0"



1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
- ACI MCP - "MANUAL OF CONCRETE PRACTICE"
- ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
- ACI 318.1 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAN CONCRETE"

2. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS (U.N.O.):

- STRUCTURAL SLABS: 4,000 PSI
- SLABS-ON-GRADE: 4,000 PSI
- FOOTINGS AND WALL: 4,000 PSI
- PRECAST CONCRETE: 5,000 PSI
- EXTERIOR EXPOSED CONCRETE: 4,000 PSI

3. CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER/CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES AND SLUMP) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK.

MAXIMUM WATER/CEMENT RATIO IS: 0.50 FOR SLABS ON GRADE 0.54 FOR BELOW GRADE CONCRETE 0.48 FOR EXPOSED CONCRETE

4. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURES REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT

5. CONCRETE STRENGTH SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD 2 AS PRESCRIBED IN ACI 301. THE RESULTS OF THESE ANALYSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY WORK.

6. CONTRACTOR SHALL MAKE PROVISIONS TO CAST FOUR TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED OR FOR ANY ONE DAY'S CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN CONFORMANCE TO ASTM C39.

7. CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE SUPERVISING PROFESSIONAL.

8. DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING SHOP DRAWINGS.

9. GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC.

10. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.

11. PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.

12. FLATWORK SUBCONTRACTOR SHALL SUBMIT FLOOR SLAB PLACEMENT SEQUENCE TO ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK.

4 /S0.1 CONCRETE NOTES 12" = 1'-0"

- FOUNDATION WORK FOR THIS PROJECT SHALL CONSIST OF SPREAD FOOTINGS, CONTINUOUS WALL FOOTING AND SLABS-ON-GRADE
- FOUNDATIONS ARE DESIGNED TO BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR AN APPROVED COMPACTED STRUCTURAL FILL HAVING A PRESUMED BEARING CAPACITY OF 2000 PSF.
- ALL EXTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
- FOOTING ELEVATIONS SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
- CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE WATER PROMPTLY TO INSURE THAT ALL FOUNDATION WORK IS DONE IN THE DRY.
- NO FOUNDATION(S) SHALL BE PLACED ON FROZEN SUBGRADE
- PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.
- FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT STRUCTURAL SUPPORT SYSTEM IS INSTALLED AND APPROVED BY ENGINEER.
- BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF WALL.

5 /S0.1 FOUNDATION NOTES 12" = 1'-0"

- DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:
 - ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
 - ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
 - MSP2 - "CRSI MANUAL OF STANDARD PRACTICE"
 - AWS D14 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"
 - WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND THE NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.
- CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING.
- SUBCONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.
- WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.
- WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.
- CONTRACTOR SHALL NOTIFY ENGINEER OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR ENGINEER TO INSPECT REINFORCEMENT.

6 /S0.1 REINFORCEMENT NOTES 12" = 1'-0"

IBC 1809.5 - PROVIDE FROST PROTECTION OF SHALLOW FOUNDATION WITH INSULATION MEETING THE MINIMUM R VALUE, EXTENT AND DEPTH REQUIRED BY ASCE 32 FOR THIS BUILDING SITE. OTHERWISE, PROVIDE NON-FROST-SUSCEPTIBLE SOIL (AS DEFINED BY GRANULAR SOILS OR OTHER APPROVED NON-FROST SUSCEPTIBLE FILL MATERIAL WITH LESS THAN 6% OF MASS PASSING A #200 MESH SIEVE) DOWN TO ANTICIPATED FROST DEPTH, OR OTHER ACCEPTABLE MEANS.

7 /S0.1 SHALLOW FOUNDATIONS 12" = 1'-0"

FOUNDATIONS PLACED ON A LAYER OF WELL-DRAINED, UNDISTURBED GROUND OR FILL MATERIAL THAT IS NOT SUSCEPTIBLE TO FROST SHALL HAVE THE THICKNESS OF SUCH A LAYER INCLUDED IN MEETING THE DESIGN FROST DEPTH DEFINED IN SECTION 3.2. UNDISTURBED GRANULAR SOILS OR FILL MATERIAL WITH LESS THAN 6% OF MASS PASSING A #200 (0.074 MM) MESH SIEVE IN ACCORDANCE WITH ASTM D422 AND OTHER APPROVED NON-FROST-SUSCEPTIBLE MATERIALS SHALL BE CONSIDERED NON-FROST-SUSCEPTIBLE. CLASSIFICATION OF FROST SUSCEPTIBILITY OF SOIL SHALL BE DETERMINED BY A SOILS OR GEOTECHNICAL ENGINEER, UNLESS OTHERWISE APPROVED.

8 /S0.1 NON-FROST-SUSCEPTIBLE GROUND OR FILL MATERIAL 12" = 1'-0"

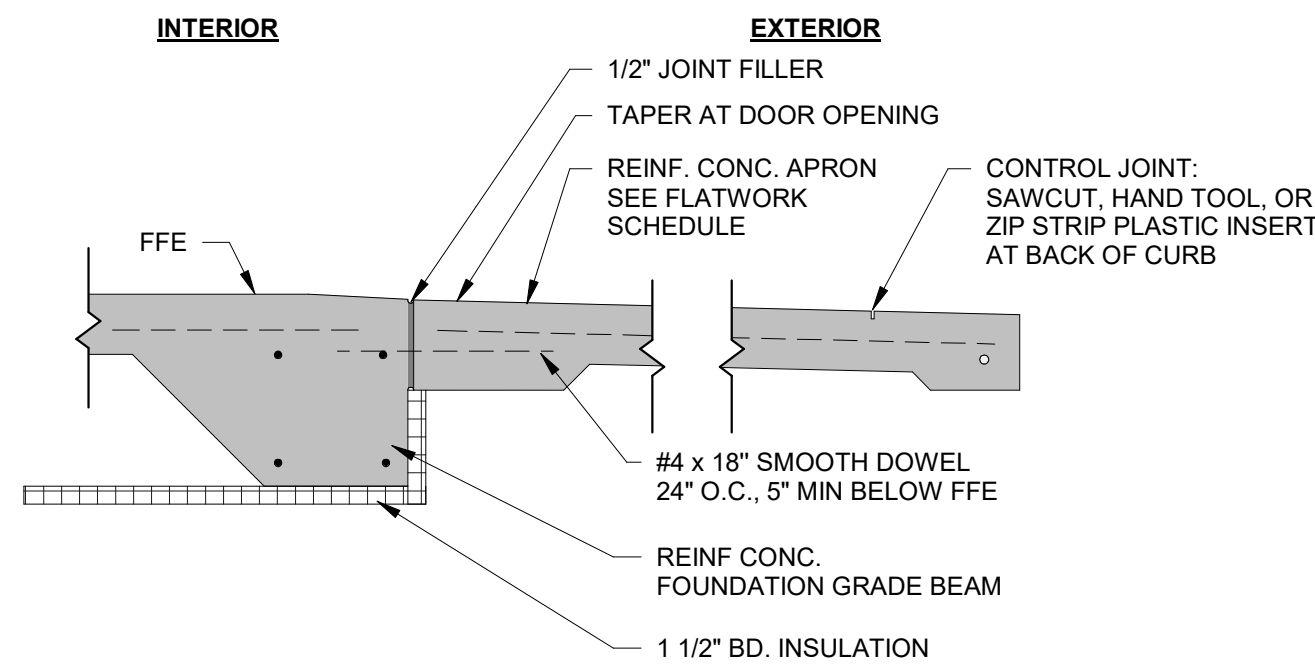
Fy = 60 KSI f'c = 3000 PSI										
BAR SIZE	#3	#4	#5	#6	#7	#8	#9	#10	#11	
CLASS A	13	17	22	26	38	43	48	55	61	
SPICE	TOP BARS	12	13	17	20	29	33	37	42	47
LENGTH	OTHERS	13	17	22	26	38	43	48	55	61
Fy = 60 KSI f'c = 4000 PSI										
BAR SIZE	#3	#4	#5	#6	#7	#8	#9	#10	#11	
CLASS A	12	15	19	22	33	37	42	47	52	
SPICE	TOP BARS	12	12	15	17	25	29	32	36	40
LENGTH	OTHERS	15	20	24	29	42	48	55	61	68
CLASS B	TOP BARS	12	15	19	22	33	37	42	47	52
SPICE	OTHERS	12	15	19	22	33	37	42	47	52
LENGTH	OTHERS	12	15	19	22	33	37	42	47	52

NOTES: (APPLY TO BOTH 3000 PSI & 4000 PSI CONCRETE)

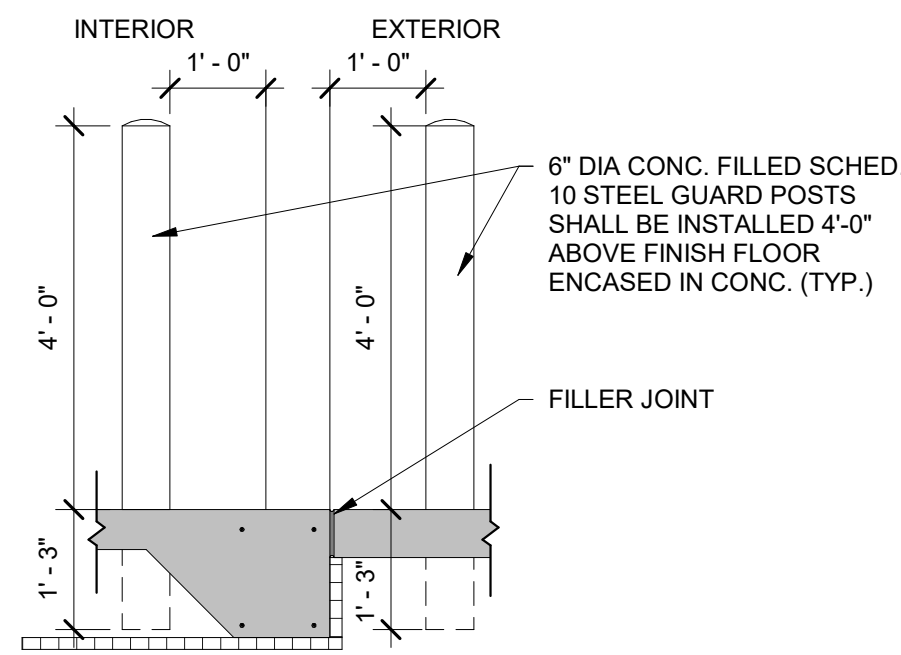
- ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.
- TABULATED VALUES ARE BASED ON GRADE 60 REINFORCING BARS AND NORMAL WEIGHT CONCRETE.
- TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER ACI 318-05, SECTIONS 12.2.2 AND 12.15, RESPECTIVELY. TABULATED VALUES FOR BEAMS AND COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND CONCRETE COVER MEETING MIN. CODE REQUIREMENTS. LENGTHS ARE IN INCHES.
- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BARS.
- SPLICE AND DEVELOPMENT LENGTHS IN THIS SCHEDULE ARE BASED ON CASE 1 PER CRSI(1999):

BEAMS OR COLUMNS: COVER AT LEAST 1.0 BAR AND C.C. SPACING AT LEAST 2.0 BAR

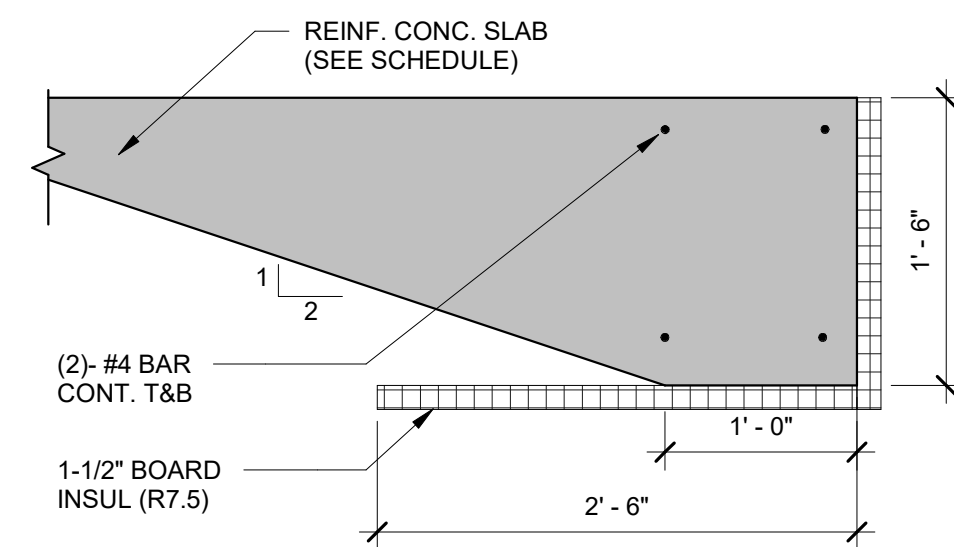
ALL OTHERS: COVER AT LEAST 1.0 BAR AND C.C. SPACING AT LEAST 3.0 BAR



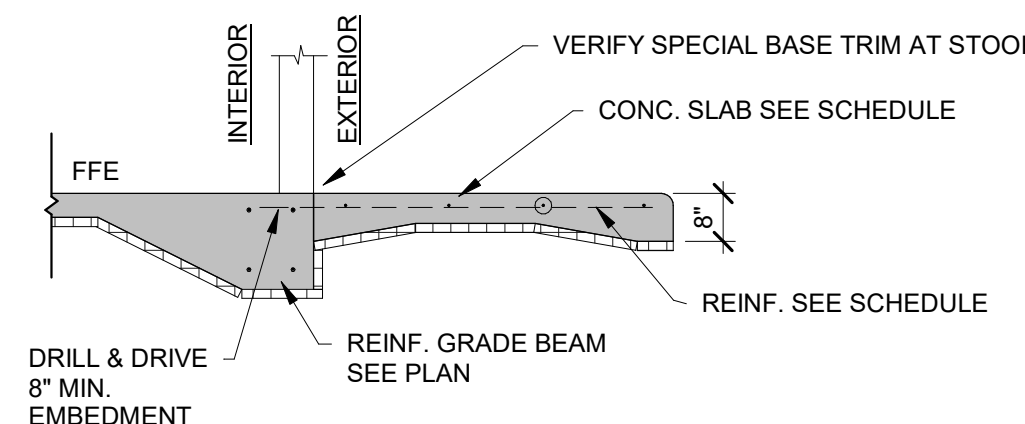
10 /S0.1 APRON DETAIL 3/4" = 1'-0"



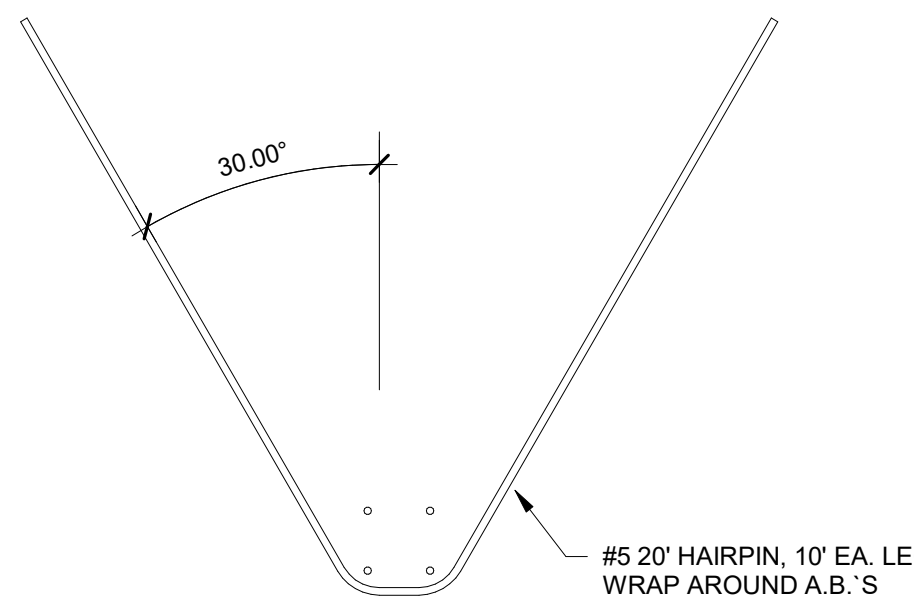
11 /S0.1 BOLLARD DETAIL 1/2" = 1'-0"



12 /S0.1 GRADE BEAM DETAIL N.T.S.



13 /S0.1 GRADE BEAM STOOP PAD @ SERVICE DOOR N.T.S.

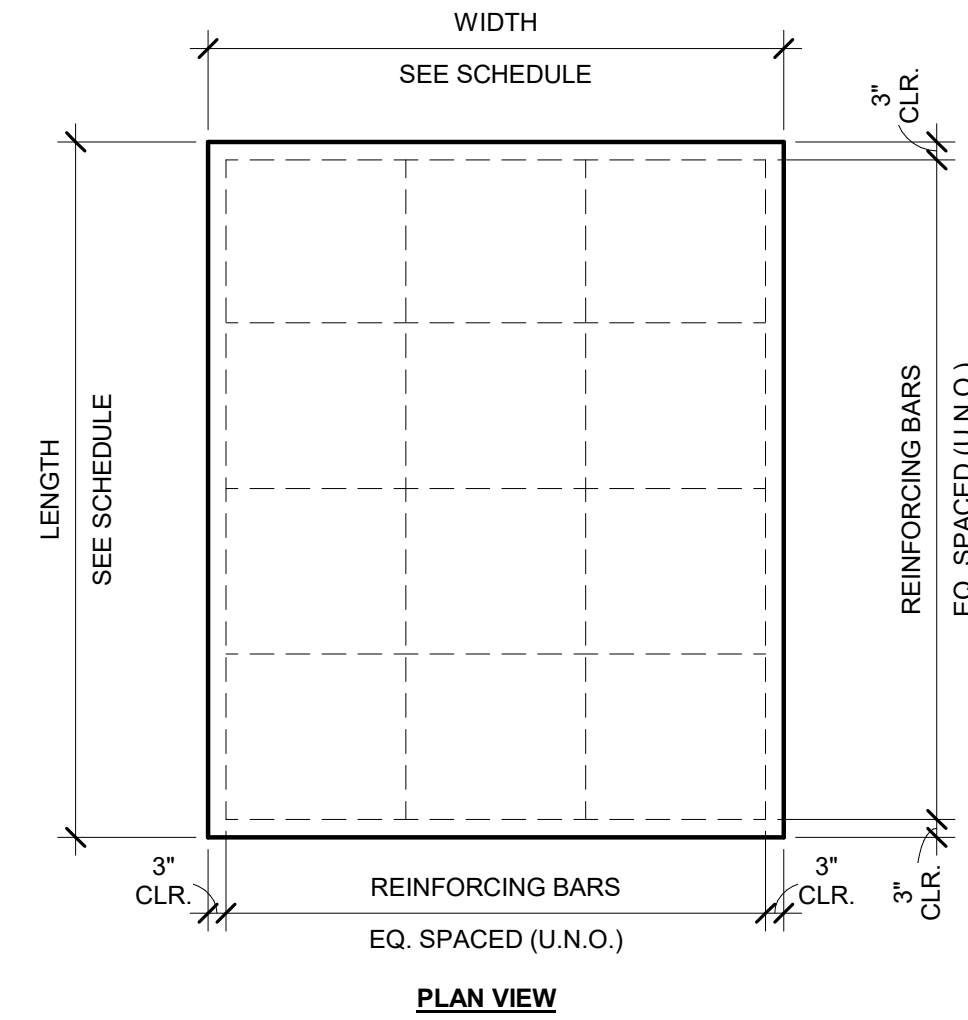


9 /S0.1 HAIRPIN-HP1 3/8" = 1'-0"

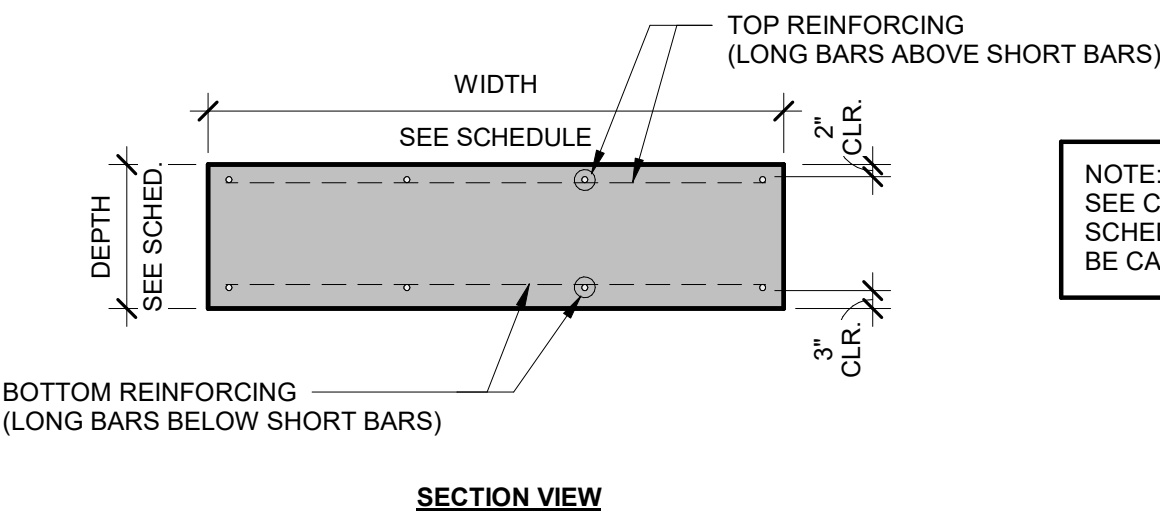
MARK	FOOTING SIZE			REINFORCEMENT - LONG BARS		REINFORCEMENT - SHORT BARS		Remarks
	LENGTH	WIDTH	DEPTH	BOTTOM	TOP	BOTTOM	TOP	
F2	2'-0"	2'-0"	12"	(3) #4	-	(3) #4	-	
F5	5'-0"	5'-0"	14"	(5) #5	-	(5) #5	-	

SPREAD FOOTING SCHEDULE NOTES:

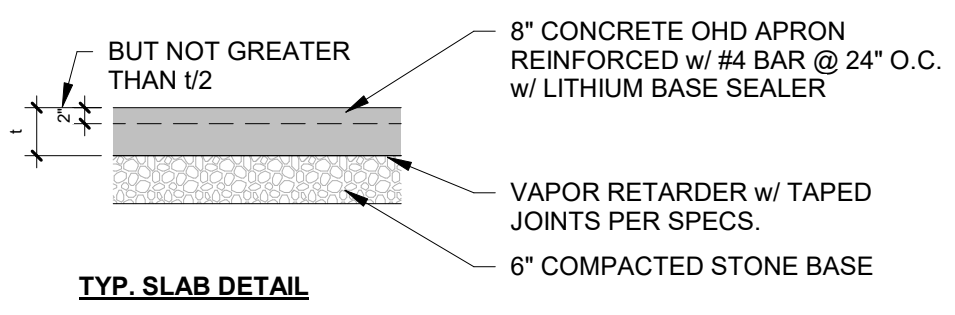
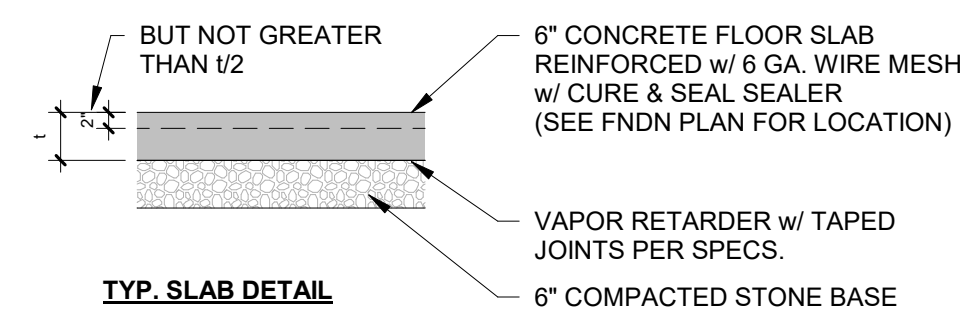
- ALL FOOTINGS ARE CENTERED ON COLUMN GRID LINE INTERSECTIONS UNLESS DIMENSIONED OTHERWISE
- SEE TYPICAL SPREAD FOOTING DETAIL FOR TYPICAL CONSTRUCTION & NOTES
- SEE FOUNDATION PLAN FOR TOP OF FOOTING ELEVATIONS
- SEE FOUNDATION PLAN FOR FOOTING ORIENTATION
- SEE COLUMN SCHEDULE FOR COLUMN ANCHOR BOLT INFORMATION (WHERE APPLICABLE)



1 /S0.1 TYP. SPREAD FOOTING DETAIL - MIX A3 3/8" = 1'-0"



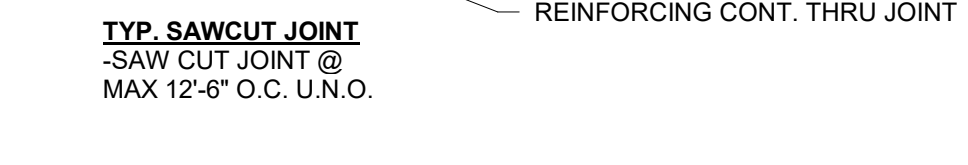
2 /S0.1 TYP. INTERIOR CONCRETE SLAB - MIX B7 1/2" = 1'-0"



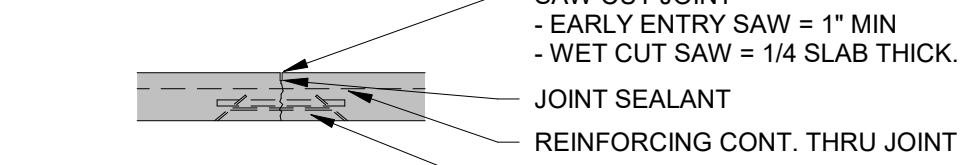
3 /S0.1 TYP. EXTERIOR CONCRETE SLAB - MIX C1 N.T.S.



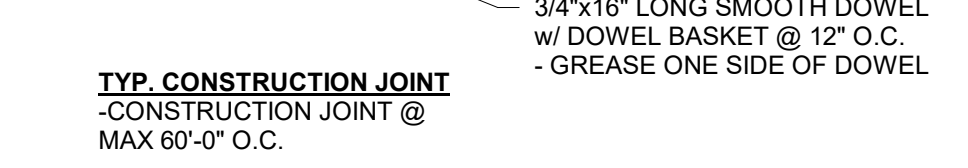
4 /S0.1 TYP. POUR JOINT



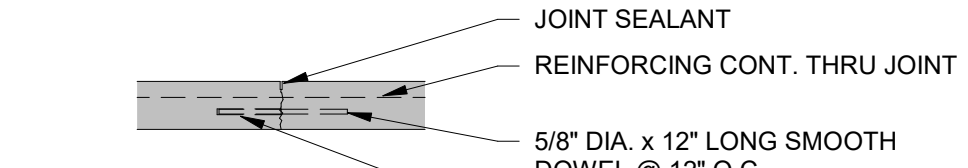
5 /S0.1 TYP. SAWCUT JOINT



6 /S0.1 TYP. CONSTRUCTION JOINT



7 /S0.1 TYP. SLAB DETAIL



8 /S0.1 TYP. SAWCUT JOINT

NOTE: SEE CONCRETE PIER AND WALL SCHEDULES FOR DOWELS TO BE CAST IN w/ FOOTING POUR

NOTE: PROVIDE SEALER @ AREAS OF EXPOSED CONCRETE

SLAB DEPTH	SPEED PLATE DIMENSIONS	SPACING
5'-6"	1/4" x 4" x 6"	18" O.C.
7'-8"	3/8" x 4" x 6"	18" O.C.
9'-11"	3/4" x 4" x 6"	18" O.C.



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
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DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
TEAM INDUSTRIES
POSITIONER SHOP
KAUKAUNA, WI

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL. ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT: THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 24-5934

PROJECT EXECUTIVE: JAKE MANCOSKE (920) 366-8828

DRAWN BY: CRP

DATE: 02/24/25

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW SM,JM,CP 02/13/24
- CHECKSET
- CONSTRUCTION

FOUNDATION SCHEDULES & DETAILS

S0.1



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- CONSTRUCTION

FOUNDATION PLAN - EXISTING / DEMO

S1.0



FOUNDATION PLAN - EXISTING / DEMO
1/S1.0 SCALE = 1/4" = 1'-0"



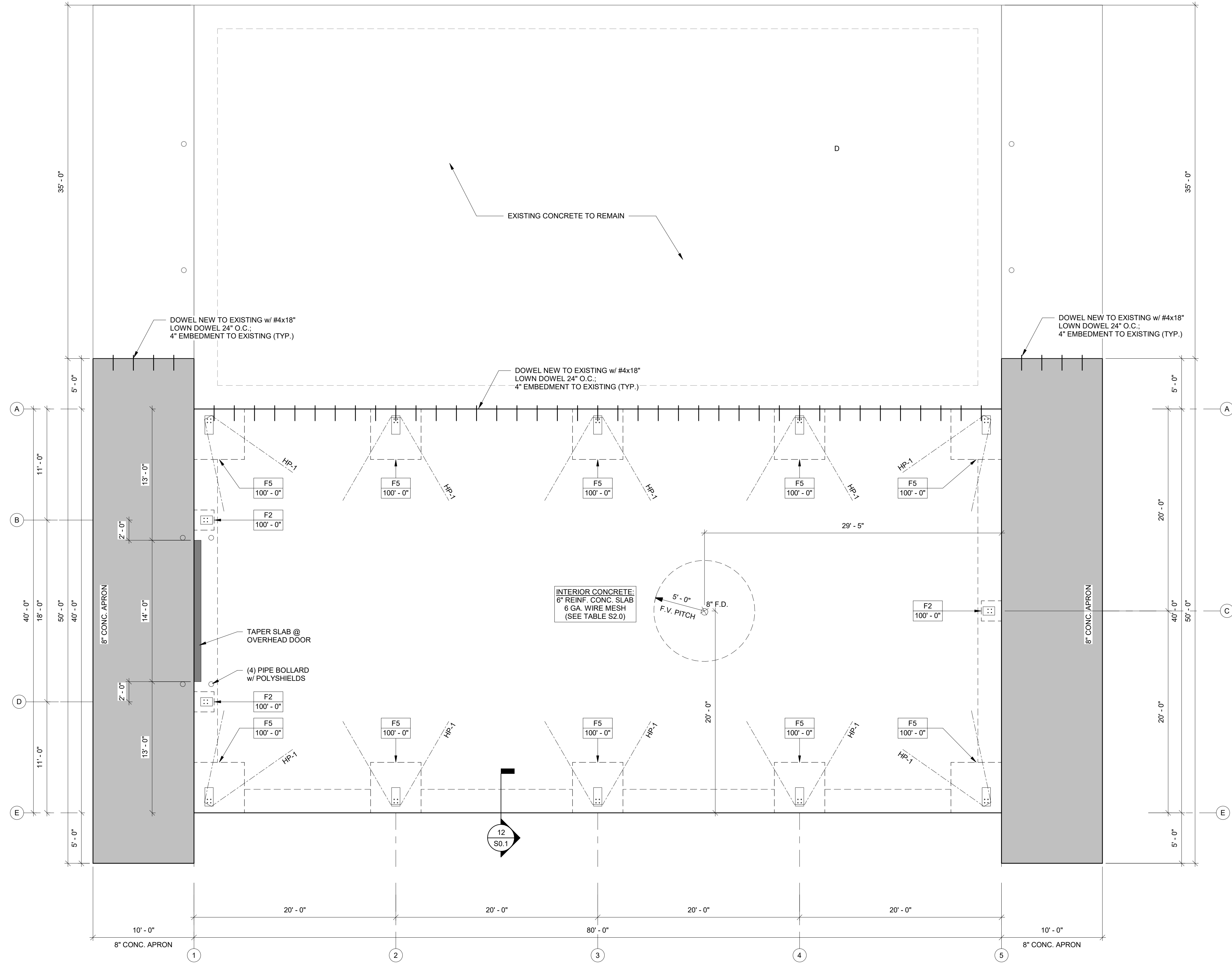
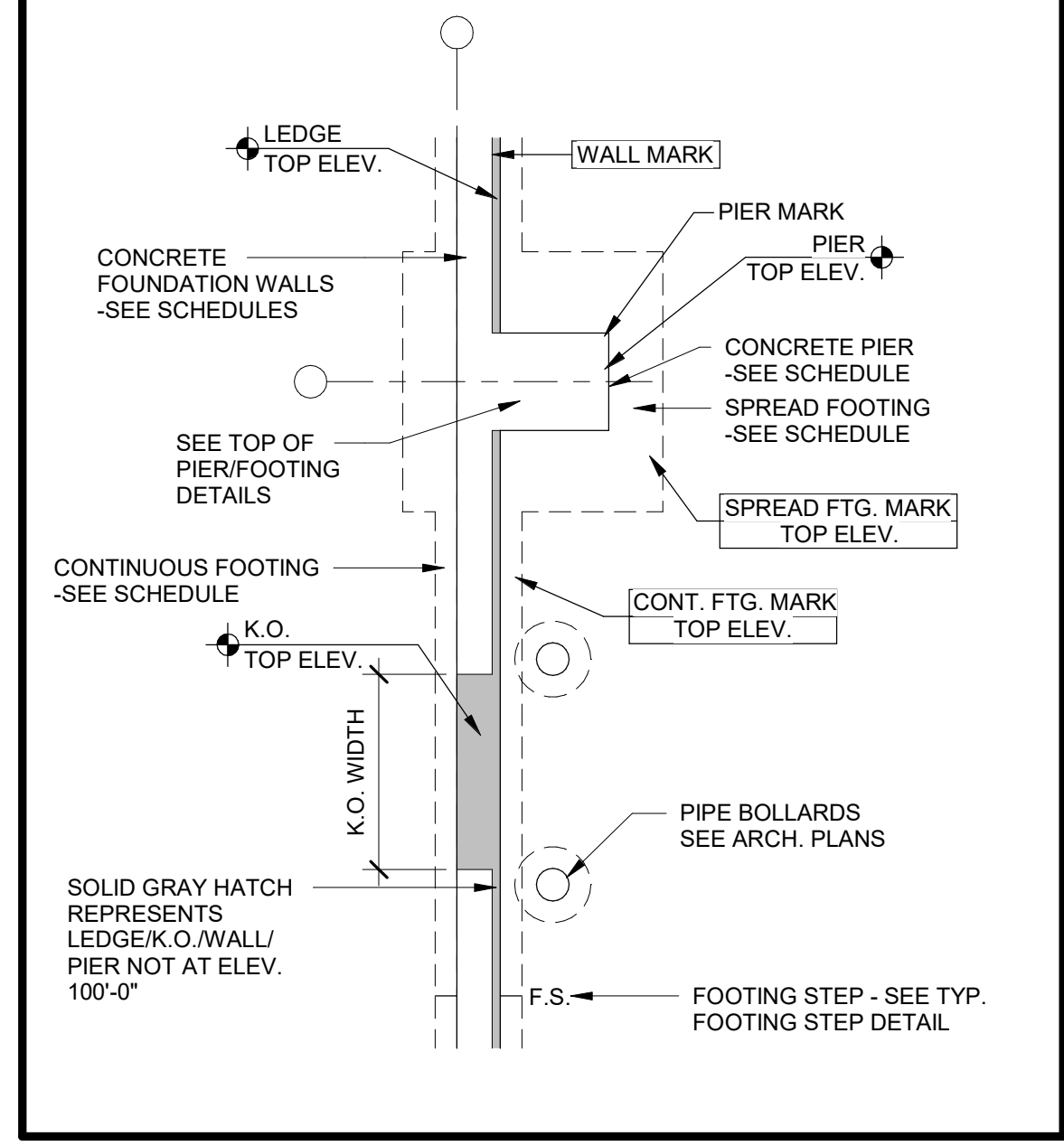


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DESIGN & BUILD GENERAL CONTRACTOR

FOUNDATION PLAN SYMBOLS



PROPOSED BUILDING FOR:
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POSITIONER SHOP**
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JOB NUMBER: 24-5934

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: CRP

DATE: 02/24/25

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW SM,JM,CP 02/13/24
- CHECKSET
- CONSTRUCTION

FOUNDATION PLAN - PROPOSED

S1.1

FOUNDATION PLAN - PROPOSED
1/S1.1 SCALE = 3/16" = 1'-0"





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www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR



JOB NUMBER: **W25V0043A**
ADDRESS: **OUTAGAMIE COUNTY KAUKAUNA, WI 54130**
PROJECT NAME: **TEAM INDUSTRIES SHOP**
BUYER NAME: **BAYLAND BUILDINGS, INC.**
PHONE: (260) 887-7861
FAX: (260) 887-7384

#	RELEASE / REVISION	DATE	ENG	CHK	DWN	MSM / MLF	M.F. / M.S.M.
0	ANCHOR RODS	02/10/2025	CAT				
1	ANCHOR RODS REV 1	02/13/2025	CAT				

DRAWING STATUS: **FOR CONSTRUCTION**
DRAWING TITLE: **ANCHOR ROD PLAN**
SHEET: **F-1**
DATE: **02/13/2025**
SCALE: **1/4" = 1'-0"**

PROPOSED BUILDING FOR:
TEAM INDUSTRIES POSITIONER SHOP
KAUKAUNA, WI

SCALE VERIFICATION
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ADJUST SCALE ACCORDINGLY

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JOB NUMBER: 24-5934

PROJECT EXECUTIVE: **JAKE MANCOSKE**
(920) 366-8828

DRAWN BY: **CRP**

DATE: **02/24/25**

REVISIONS:

ISSUED FOR: **CHECKED** DATE: **BY:**

- PRELIMINARY
- BID SET
- DESIGN REVIEW SM,JM,CP 02/13/24
- CHECKSET
- CONSTRUCTION

ANCHOR BOLT PLAN

S1.2

ANCHOR ROD PLAN GENERAL NOTES

- AN1: THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION ENGINEER.
- AN2: METAL BUILDING MAUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS
- AN3: ANCHOR RODS, NUTS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS AND CONCRETE / MASONRY EMBEDMENT PLATES ARE NOT BY THE METAL BUILDING MANUFACTURER.
- AN4: THE ANCHOR ROD LOCATIONS PROVIDED BY THE METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO MAKE CERTAIN THAT SUFFICIENT EDGE DISTANCE IS PROVIDED FOR ALL ANCHOR RODS IN THE DETAILS OF THE FOUNDATION DESIGN.
- AN5: DRAWINGS ARE NOT TO SCALE. SEE DETAILS FOR COLUMN ORIENTATION.
- AN6: THE ANCHOR ROD PLAN INDICATES WHERE THE ANCHOR RODS ARE TO BE PLACED AS WELL AS THE FOOTPRINT OF THE METAL BUILDING. IT IS ESSENTIAL THAT THESE ANCHOR ROD PATTERNS BE FOLLOWED. IF THESE SETTINGS DIFFER FROM THE ARCHITECTURAL FOUNDATION PLANS, THE BUILDING MANUFACTURER MUST BE CONTACTED IMMEDIATELY - BEFORE CONCRETE IS PLACED.
- AN7: SINGLE "CEE" COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS NOTED OTHERWISE.
- AN8: ALL DIMENSIONS ARE OUT TO OUT OF STEEL. IF A CONCRETE NOTCH IS REQUIRED THEN THE REQUIRED DIMENSION SHOULD BE ADDED TO OBTAIN THE OUT TO OUT OF CONCRETE DIMENSIONS.

TYPICAL BASEPLATE ELEVATION

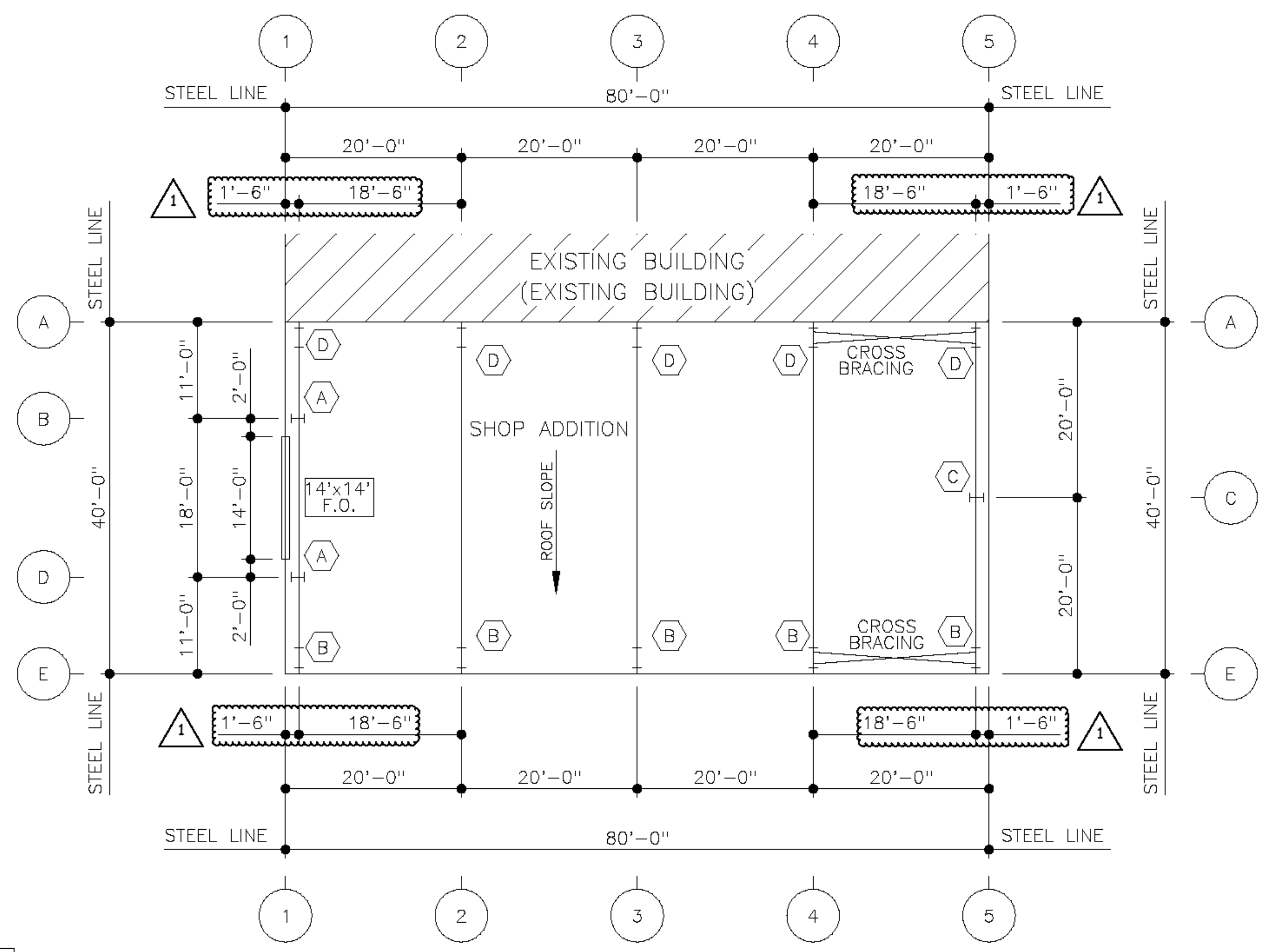
FINISHED FLOOR = 100'-0"

BOTTOM OF BASEPLATE ELEVATION = 100'-0"

(AT FINISHED FLOOR U.N.O.)

ANCHOR ROD SCHEDULE

QUANTITY	SIZE	MATERIAL	PROJECTION
12	3/4"	F1554 GR 36	3" FROM BOTTOM OF BASE PLATE
40	1"	F1554 GR 36	3" FROM BOTTOM OF BASE PLATE
0	1 1/4"	F1554 GR 36	3" FROM BOTTOM OF BASE PLATE



BUILDING REFERENCE LINES

NOTE: ANCHOR BOLT DIMENSIONS PROVIDED BY THE METAL BUILDING MANUFACTURER ARE WITH RESPECT TO THE METAL BUILDING MANUFACTURER'S DEFINITION OF BUILDING LINE. BUILDING LINE CAN DIFFER FROM FOUNDATION LINE. REFERENCE ALL BUILDING PLAN SHEETS WHEN SETTING ANCHOR BOLTS OFF OF REFERENCE LINES



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DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
**TEAM INDUSTRIES
 POSITIONER SHOP**
 KAUKAUNA, WI

SCALE VERIFICATION
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JOB NUMBER: 24-5934

PROJECT EXECUTIVE: JAKE MANCOSKE
 (920) 366-8828

DRAWN BY: CRP

DATE: 02/24/25

REVISIONS:

ISSUED FOR: CHECKED DATE:
 BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW SM,JM,CP 02/13/24
- CHECKSET
- CONSTRUCTION

ANCHOR BOLT DETAILS

S1.3

NOTES:

SEE ANCHOR BOLT PLAN FOR DIMENSION FROM STEEL LINE TO CENTERLINE OF COLUMN / ANCHOR BOLT PATTERN. DIMENSION PULLED TO CENTER OF COLUMN FLANGE AS SHOWN ABOVE.

SEE ANCHOR BOLT DETAIL (AS CALLED OUT BY ○ ON ANCHOR BOLT PLAN) FOR COLUMN ORIENTATION AND ANCHOR BOLT LAYOUT DIMENSIONS.

TYPICAL CORNER COLUMN LOCATION NOTES

TYPICAL COLUMN BASE PLATE DETAIL

TYPICAL COLUMN BASE PLATE DETAIL AT SLOT-HILLSIDE WASHER LOCATION

TYPICAL NON WALKDOOR FRAMED OPENING

A (4) 3/4" Ø ANCHOR RODS WITH A 3" PROJECTION

B (4) 1" Ø ANCHOR RODS WITH A 3" PROJECTION

#	RELEASE / REVISION	DWN / CHK	ENG	DATE
0	ANCHOR RODS	MSM / MLF	CAT	02/10/2025
1	ANCHOR RODS REV 1	MLF / MSM	CAT	02/19/2025

JOB NUMBER	ADDRESS
W25V0043A	OUTAGAMIE COUNTY KAUKAUNA, WI 54130
PROJECT NAME	TEAM INDUSTRIES SHOP
BUILDING NAME	BAYLAND BUILDINGS INC.
DATE OF CONSTRUCTION	FOR CONSTRUCTION
SHEET	DRAWING TITLE
F2	ANCHOR ROD DETAILS

PHONE (260) 837-7891
 FAX (260) 837-7384

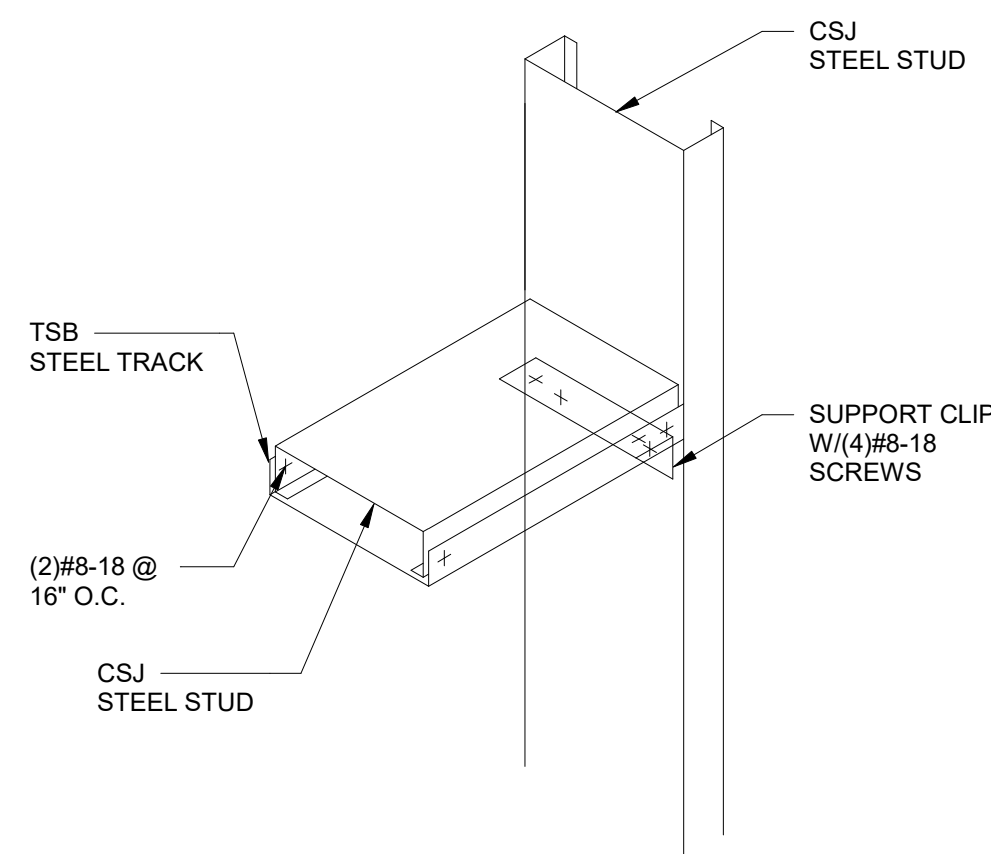
MBMR
 BUILDING SYSTEMS
 IAS
 ACCREDITED
 REGISTERED
 MBMR
 IAS
 ACCREDITED
 REGISTERED
 MBMR
 IAS
 ACCREDITED
 REGISTERED

ANCHOR BOLT SCHEDULE						NO LEVELING GROUT (A)						LEVELING GROUT (B)					
MARK	TYPE	SIZE	EMBEDMENT	PROJECTION	LENGTH	MARK	TYPE	SIZE	EMBEDMENT	PROJECTION	LENGTH	MARK	TYPE	SIZE	EMBEDMENT	PROJECTION	LENGTH
AR1	A	3/4" Ø	9"	4"	15"												

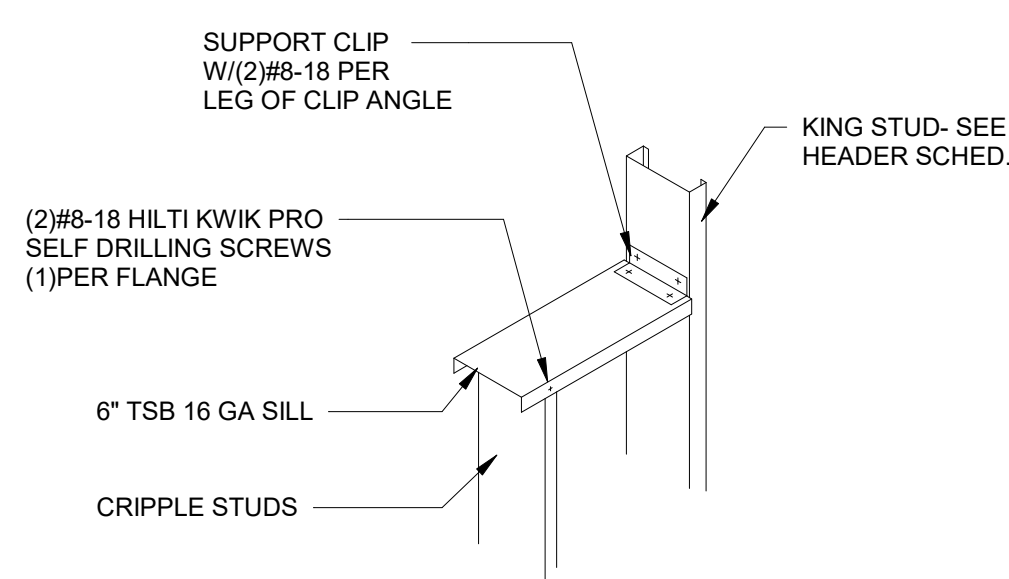
NO LEVELING GROUT (A)

LEVELING GROUT (B)

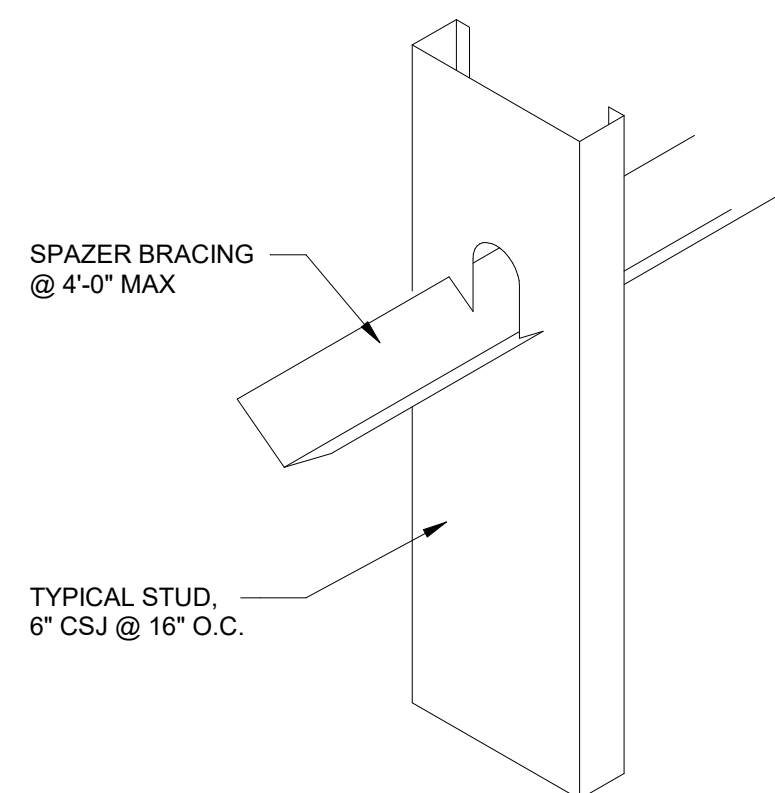
NOTE: NON-METALLIC NON-SHRINK GROUT. 1 1/2" FOR AB's ≤ 1', 2" FOR AB's > 1'



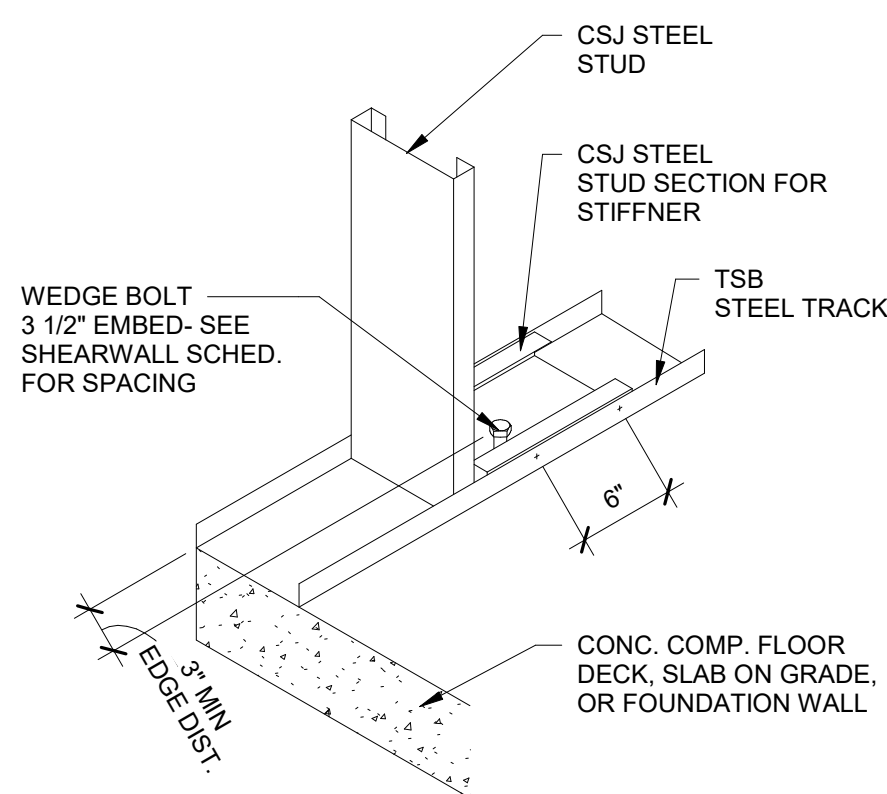
5 /S4.5 METAL STUD DETAIL 8 N.T.S.



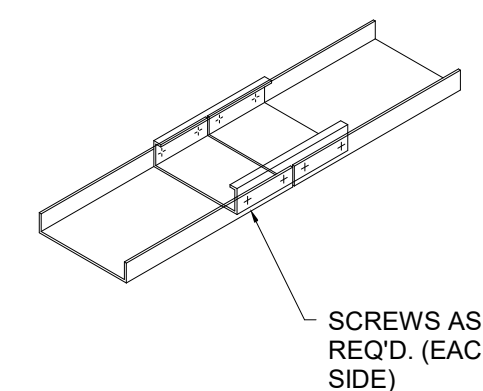
4 /S4.5 METAL STUD DETAIL 2 N.T.S.



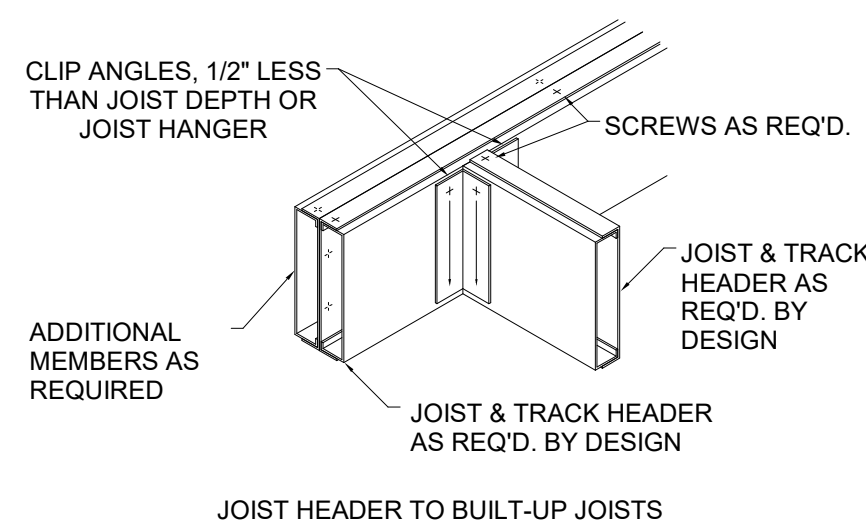
3 /S4.5 METAL STUD DETAIL 1 N.T.S.



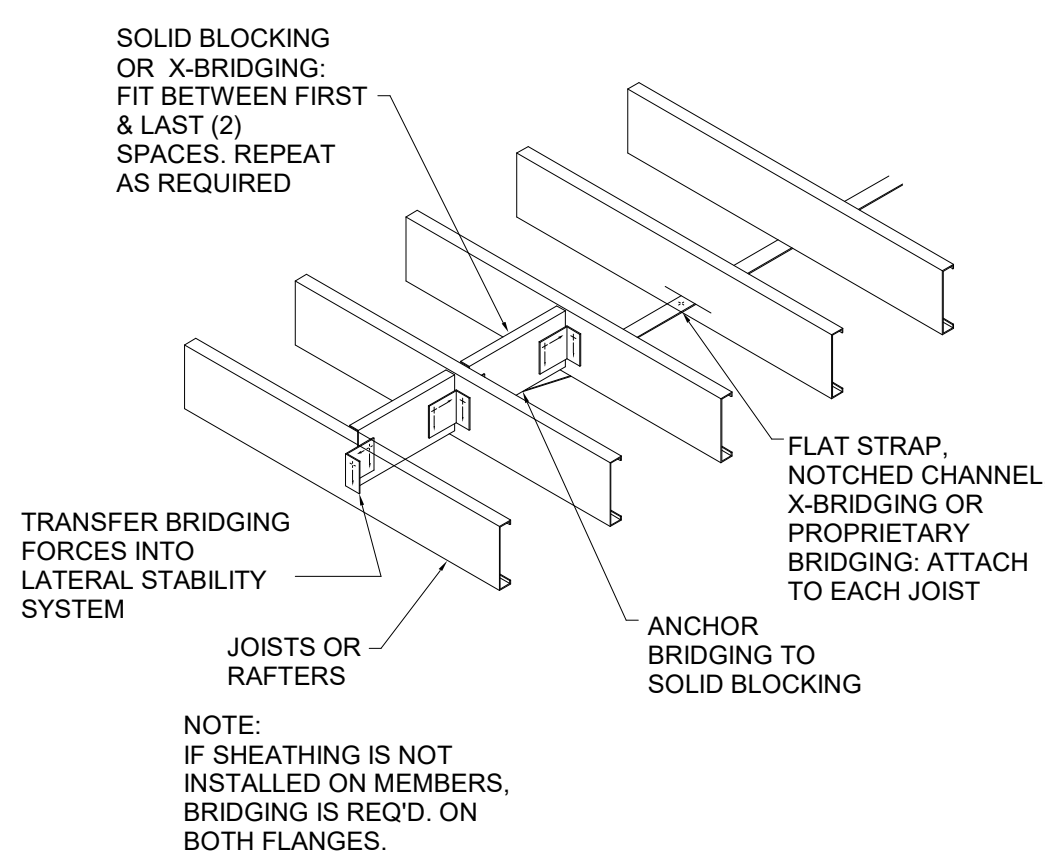
2 /S4.5 METAL STUD DETAIL 9 N.T.S.



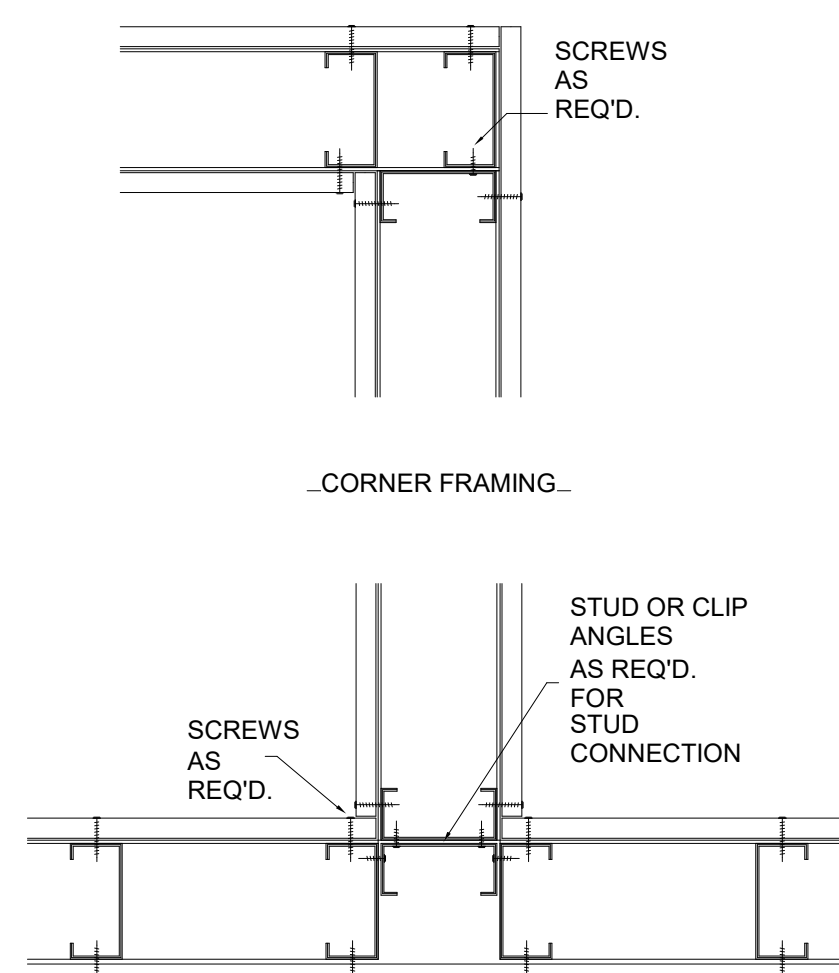
1 /S4.5 LGSF TRACK SPLICE DETAIL N.T.S.



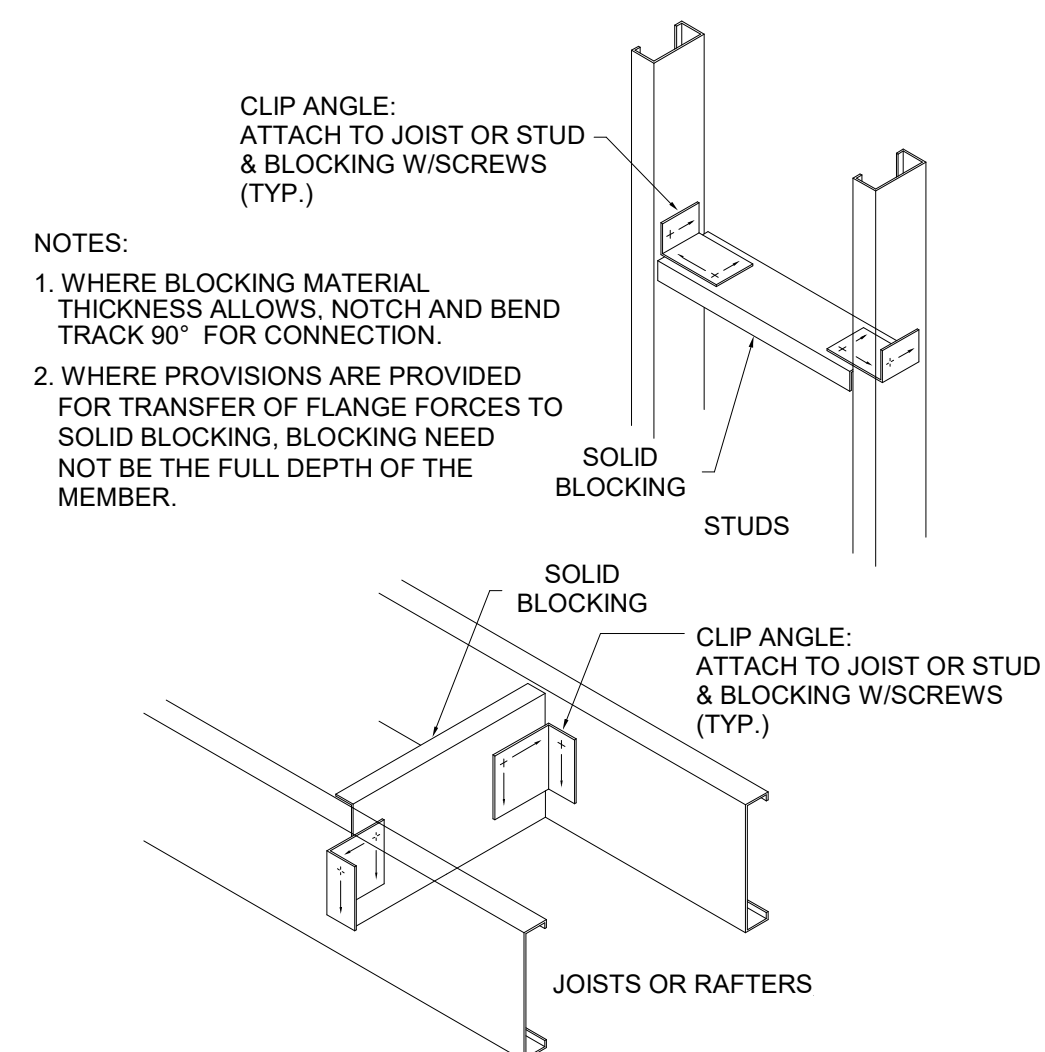
10 /S4.5 METAL JOIST HEADER DETAIL N.T.S.



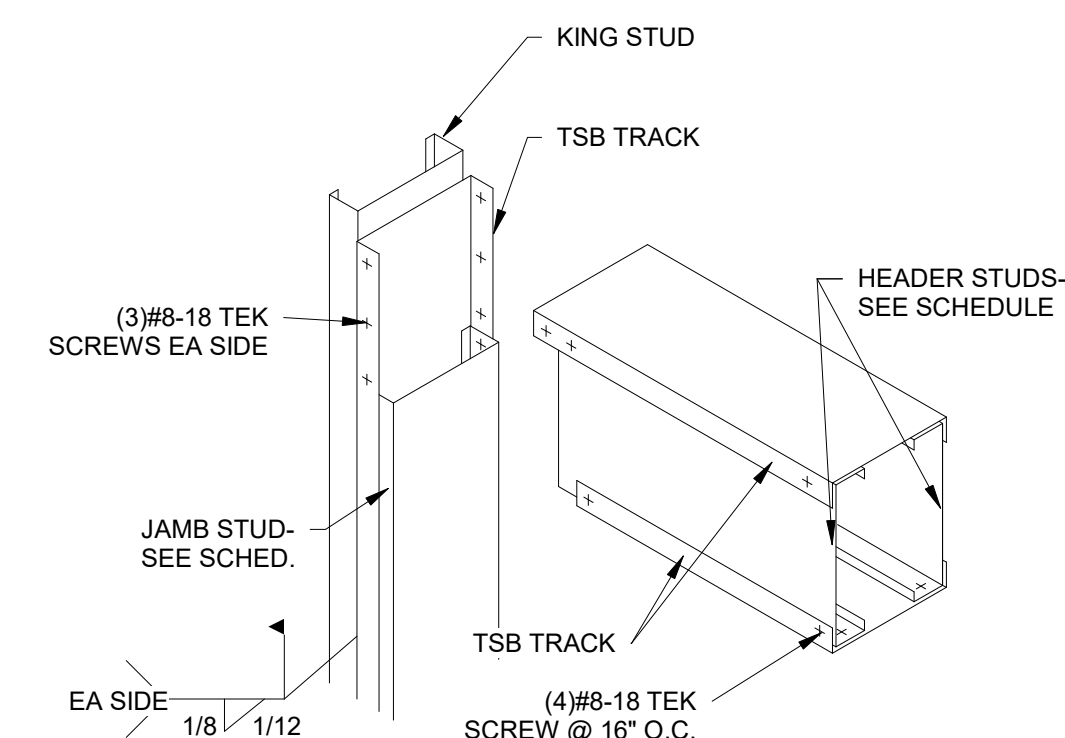
9 /S4.5 METAL JOIST BRIDGING DETAIL N.T.S.



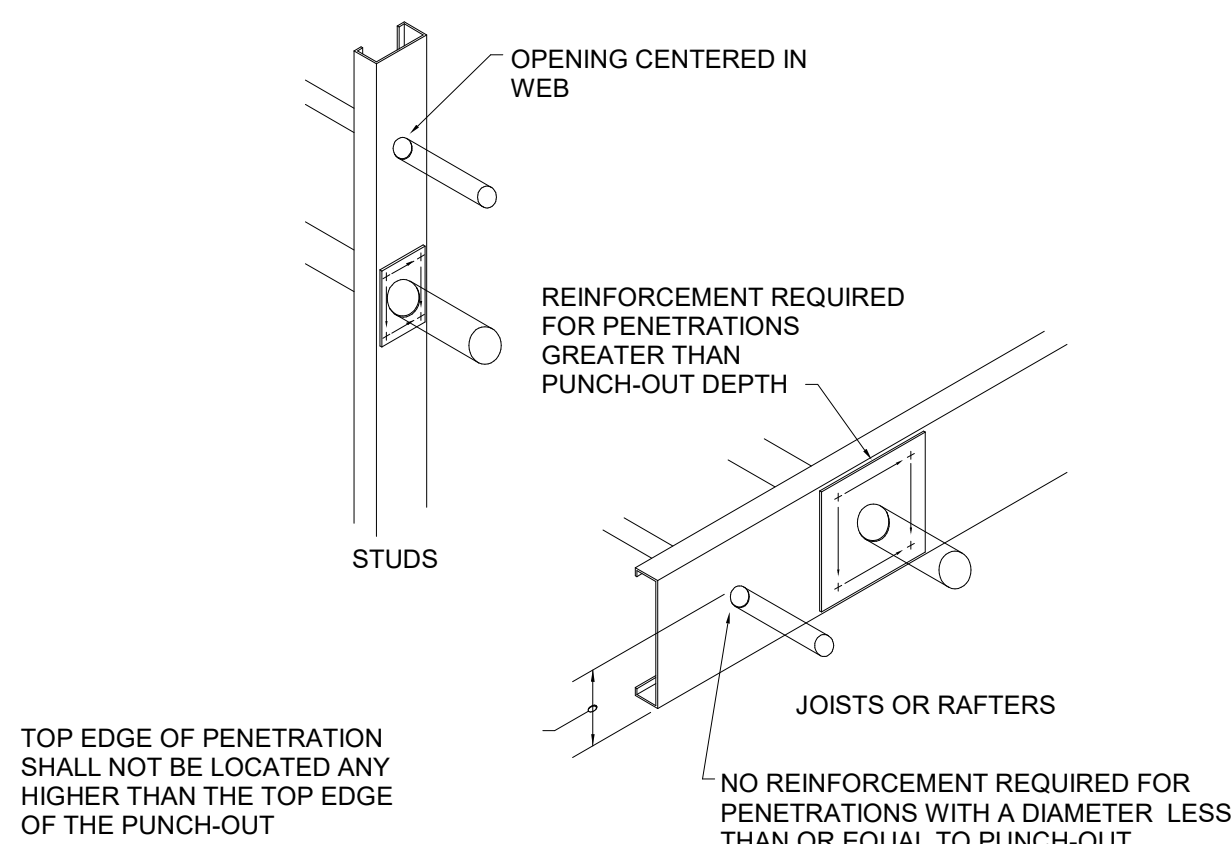
8 /S4.5 METAL STUD FRAMING DETAIL N.T.S.



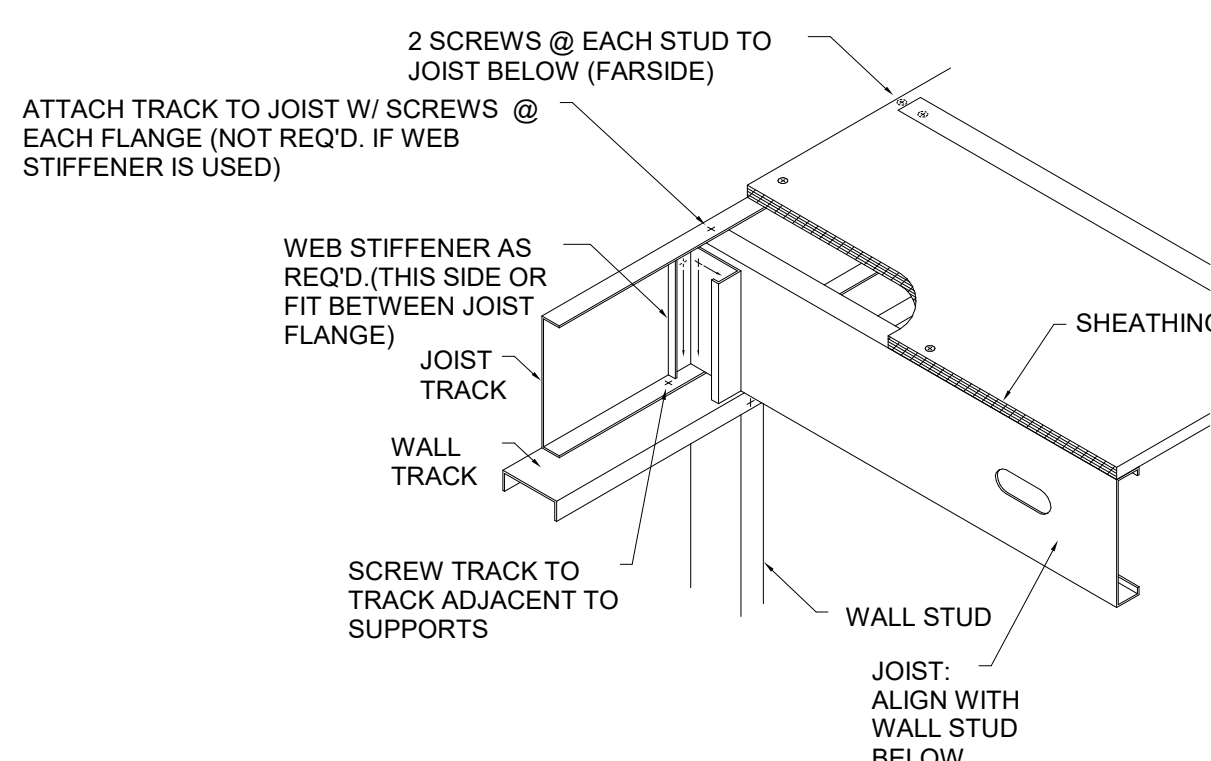
7 /S4.5 METAL STUD BLOCKING DETAIL N.T.S.



6 /S4.5 METAL STUD DETAIL 6 N.T.S.

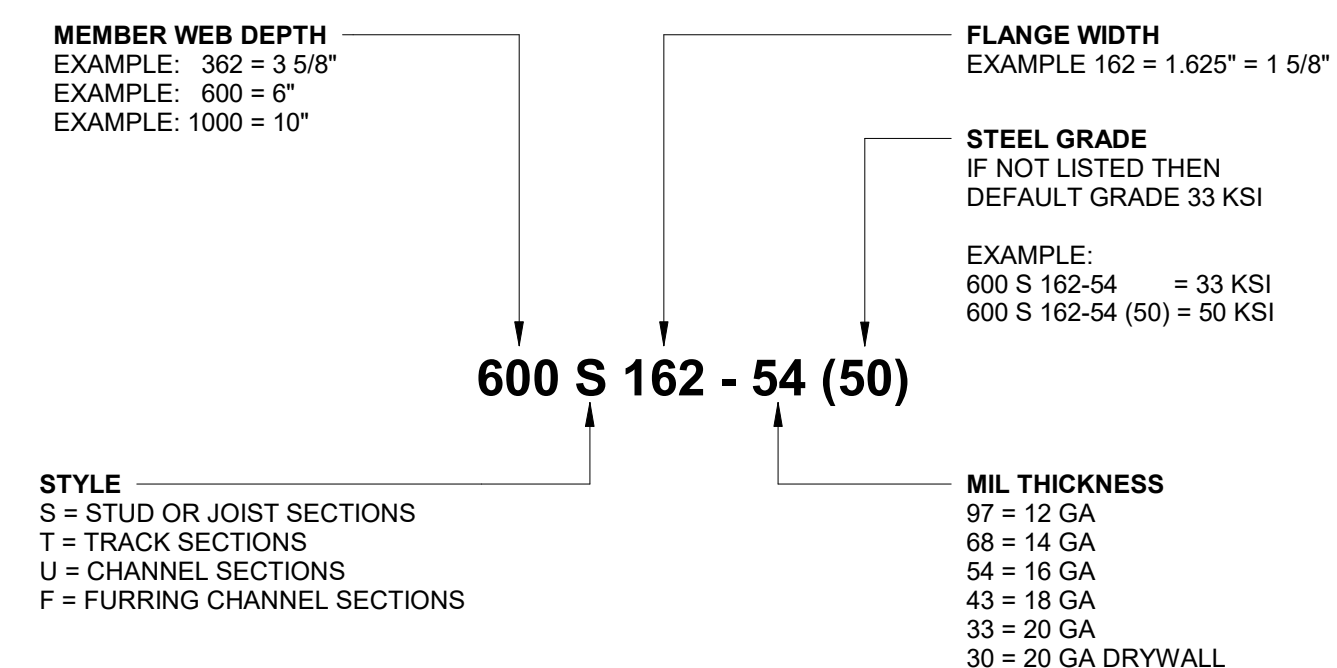


12 /S4.5 METAL STUD PENETRATIONS DETAIL N.T.S.



11 /S4.5 METAL STUD BEARING DETAIL N.T.S.

CFS HEADER SCHEDULE								
MARK	BOX HEADER			TRACK			JAMB	
	SIZE	GRADE	No.	SIZE	GRADE	No.	SIZE	GRADE
H-1	600S162-33	33	2	362T125-33	33	2	362S162-33	33
H-2	800S162-54	50	2	362T125-33	33	2	362S162-33	33



13 /S4.5 MEMBER DESIGNATION N.T.S.

PROPOSED BUILDING FOR:
TEAM INDUSTRIES
POSITIONER SHOP
 KAUKAUNA, WI

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT: THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN, UNDER SUCH PROTECTION. UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 24-5934

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: CRP

DATE: 02/24/25

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW SM,JM,CP 02/13/24
- CHECKSET
- CONSTRUCTION

STRUCTURAL METAL STUD DETAILS

S4.5



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
 From: Dave Kittel, Director of Planning and Community Development
 Date: 3/28/2025
 Re: Site Plan Review- 1200 Maloney Rd (TEAM Industries)

A site plan has been submitted for a 3,200 sqft addition on an existing building for TEAM Industries. As part of the project one small utility building will be razed and another is to be relocated. The Industrial Park Committee has reviewed the site plan and recommended approval of the site plan. The site plan is attached to this report for review with a quick break down below:

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & applicable zoning](#)

All applicable ordinances are being followed. Final location of the small utility building must be approved by staff to ensure compliance with setback requirements.

Landscape: [17.52 Landscaping Requirements](#)

This addition will not spark on requirements for landscaping

Lighting:

Lighting is not being changed as part of this project

Stormwater: [22 Stormwater Management](#)

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

Ingress/Egress:

No concerns noted

Public Safety:

No concerns noted

Façade: [17.53 Façade Standards](#)

Meets requirements, this addition will not be fully visible from the road.

Staff Recommendation:

To approve the site plan for the 3,200sqft addition on to the existing structure with the condition that the relocation of the small utility building is approved by staff to ensure compliance with all setbacks.

