

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, March 19, 2026 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. Approve Minutes from February 19, 2026
3. Old Business.
4. New Business.
 - a. Site Plan Review - Prosperity In LLC (101 E County Road JJ)
 - b. Proposed Vacation of a Railroad Spur Easement - 1900 Tower Drive
 - c. Discussion on Renaming Kaukauna Dog Park
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



PLAN COMMISSION

City of Kaukauna

Council Chambers

Municipal Services Building

144 W. Second Street, Kaukauna



Thursday, February 19, 2026 at 4:00 PM

MINUTES**In-Person in Council Chambers**

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Brett Jensen, John Neumeier, John Moore, Michael Avanzi, Ken Schoenike, Pennie Thiele, Mayor Tony Penterman

Members Absent: Giovanna Feller

Other(s) Present: Associate Planner Adrienne Nelson, Mindi Hansmann

Moore made a motion to excuse the absent member. Seconded by Neumeier. The motion passed unanimously.

2. Approval of Minutes

a. Approve Minutes from January 22, 2026

Thiele made a motion to approve the minutes from January 22, 2026. Seconded by Jensen. The motion passed unanimously.

3. Old Business

a. None

4. New Business

a. Request for Easement Change – 37 Ash Grove Place

Associate Planner Nelson introduced the request for easement change at 37 Ash Grove Place. There is currently a 35-foot drainage easement located in the rear yard. Mindi and Trevor Hansmann have been working with city staff and Davel Engineering & Environmental, Inc. on the removal of the drainage easement. If the drainage easement were to be removed and the agreement with Union Cemetery signed, the impact would be negligible, and the subdivision would continue to

exceed city ordinance for storm water quantity control. City staff recommends that Common Council approves the request to remove the 35-foot drainage easement from 37 Ash Grove Place.

Commissioner Moore asked if 37 Ash Grove Place is the only property that the drainage easement passes through.

Neumeier described the original drainage design that passes through two lots with a drain on the two properties' lot line. With an easement change, the property at 37 Ash Grove Place would flow to the existing drain on the Union Cemetery property. The 10-foot-wide storm sewer easement will remain.

Commissioner Moore asked if the Hansmanns would be required to add fill to the backyard.

Neumeier explained that there is fill in the backyard already, so the property is operating without the easement currently. The question is whether the property owners must restore the lot to the proposed drainage plan grading that was approved for the subdivision. The other option for the homeowner's was to receive permission to use the drain on Union Cemetery property. To Neumeier's understanding, the grading was in the current condition when the Hansmanns bought the house.

Thiele commented that the 35-foot easement is large, considering the size of the property and the backyard.

Schoenike made a motion to approve the request to remove the 35-foot drainage easement from 37 Ash Brook Place and to send the request to the Board of Public Works and Common Council. Seconded by Moore. The motion passed unanimously.

- b. Wisconsin Department of Transportation – Right-of-Way Acquisition for Interstate 41

Director of Public Works/City Engineer Neumeier presented the right-of-way acquisition by the Wisconsin Department of Transportation (WisDOT). With the Interstate 41 project, WisDOT is realigning the right of way areas that they need to expand to 3 lanes. The small sections of property have no effect on city operations or city drainage needs for the area. There are 2 fee areas that WisDOT is acquiring and a temporary limited easement (TLE) for WisDOT to do regrading. The TLE land reverts to the City of Kaukauna after the project. The portions of land do not affect the trail or the bridge going around the nearby pond.

Commissioner Moore asked about the potential for debris to fall into the nearby pond and whose responsibility it would be to address the debris.

Neumeier stated that there is little chance for debris to fall into the pond for two reasons. The first reason is that WisDOT has erosion control in place. The second reason is that the grading will go towards Interstate 41 and away from the pond. In the case of problems with construction resulting in debris, WisDOT would be responsible for cleaning up the debris.

Thiele made a motion to recommend approval to Common Council of the agreement for fee acquisitions and TLE by the Wisconsin DOT for project 1130-63-20 I41 Outagamie and Brown County for the city owned parcels 304a & b. Seconded by Moore. The motion passed unanimously.

- 5. Other Business
 - a. None

6. Adjourn

Neumeier made a motion to adjourn the meeting. Seconded by Thiele. Motion passed unanimously. The meeting adjourned at 4:11 p.m.



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: March 16, 2026
Re: Site Plan Review – Prosperity In LLC (101 E County Road JJ)

Prosperity In LLC began construction on this commercial warehouse and office space, which is currently being utilized by Bimbo Bakeries USA, back in late 2024/early 2025. Now that their Phase 1 of the building is complete, they have submitted their site plan for the planned Phase 2 expansion. This project will add an additional 32,125 square feet to their existing building as well as an additional 15 parking spaces.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial District (IND) and New Prosperity Center covenants are being met and all ordinances are being complied with to include zoning requirements. The current Prosperity Inc LLC building has a height of 30' and the height of the addition will be the same. There are currently 50 off-street parking spaces, and they will be adding an additional 15 for a total of 65 off-street parking spaces.

Landscape: [17.52 Landscaping Requirements](#)

Seventeen trees will be added to the front yard, ensuring compliance with all landscaping requirements for the New Prosperity Center covenants and City ordinances.

Lighting:

No concerns with lighting at this time.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has received approval from the Engineering Department.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations do not meet façade requirements laid out in the New Prosperity Center's [protective covenants](#). The façade being proposed, however, would be identical to the existing building with a mixture of split block and metal R Panel. Metal siding, although against the protective covenants, has been approved in the past for buildings with overhead doors because veneers and masonry can crumble in these sections and decrease the appearance of the building. Please see the below links to past minutes for information on recent exceptions that have been made for facades in the New Prosperity Center:

- [Klink Equipment Façade Exception](#)
- [Prosperity In LLC Façade Exception](#)
- [Prosperity In LLC Façade Change Request](#)

The Industrial Park Commission has reviewed the site plan and are recommending approval with the condition that the east exterior wall matches the north and west exterior walls, which use a mix of split block and metal R Panel.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- Prior to issuance of building permits, the façade plan must be updated so that the east exterior wall matches the north and west exterior walls, with a mix of masonry and metal.



SITE PLAN REVIEW APPLICATION

PROPERTY OWNER		APPLICANT (IF DIFFERENT PARTY THAN OWNER)	
Name: Prosperity In LLC		Name:	
Mailing Address: N1213 Mayflower Dr. Greenville, WI 54942		Mailing Address:	
Phone: [REDACTED]		Phone:	
Email: [REDACTED]		Email:	

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Phase 2 - 1 additional commercial building with parking.	
Property Parcel (#): 322113200	
Site Address/Location: 101 E County Road JJ Kaukauna, WI 54130	
Current Zoning and Use: IND	
Proposed Zoning and Use: IND - Warehousing	
Existing Gross Floor Area of Building: 19,496.9 sqft	Proposed Gross Floor Area of Building: 32,125 sqft
Existing Building Height: 30'	Proposed Building Height: 30'
Existing Number of Off-Street Parking Spaces: 50	Proposed Number of Off-Street Parking Spaces: $15+50 = 65$
Existing Impervious Surface Coverage Percentage: 17.2	Proposed Impervious Surface Coverage Percentage: 44.0

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: _____

Owner/Agent Name (printed): _____

CITY OF KAUKAUNA

144 W 2nd Street
Kaukauna, WI 54130

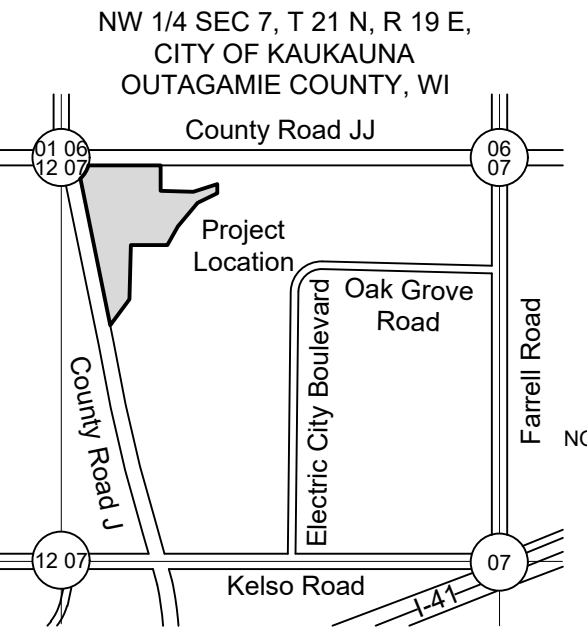
920.766.6300
kaukauna.gov

LEGEND

	Overhead Utility Lines		Sanitary MH / Tank / Base		Post / Guard Post
	Sanitary Sewer (Pipe Size)		Hydrant		Deciduous Tree
	Treeline		Utility Valve		Coniferous Tree
	Culvert		Utility Pole		Benchmark
	Index Contour - Existing		Guy Wire		Asphalt Pavement
	Intermediate Contour - Existing				Concrete Pavement
	Delineated Wetlands - Davel 2024				Gravel
	Proposed Building				
	Proposed Asphalt				
	Proposed Concrete				
	Proposed Gravel				

SHEET INDEX:	
Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Erosion & Sediment Control Plan	C1.3
Utility Plan	C1.4
Construction Details	C2.1
Erosion & Sediment Control Details	C2.2
Stormwater Pond Details	C2.3

LOCATION MAP



County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

SITE PLAN

DAVEL ENGINEERING &
ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1886 Fax: 920-441-0804
www.davel.pro

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Sanitary Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	705.05	686.86	8"	PVC	SE
MH	2	702.75	685.80	8"	PVC	NW
			685.80	8"	PVC	SE
MH	3	700.29	684.11	8"	PVC	NW
			684.11	8"	PVC	SE

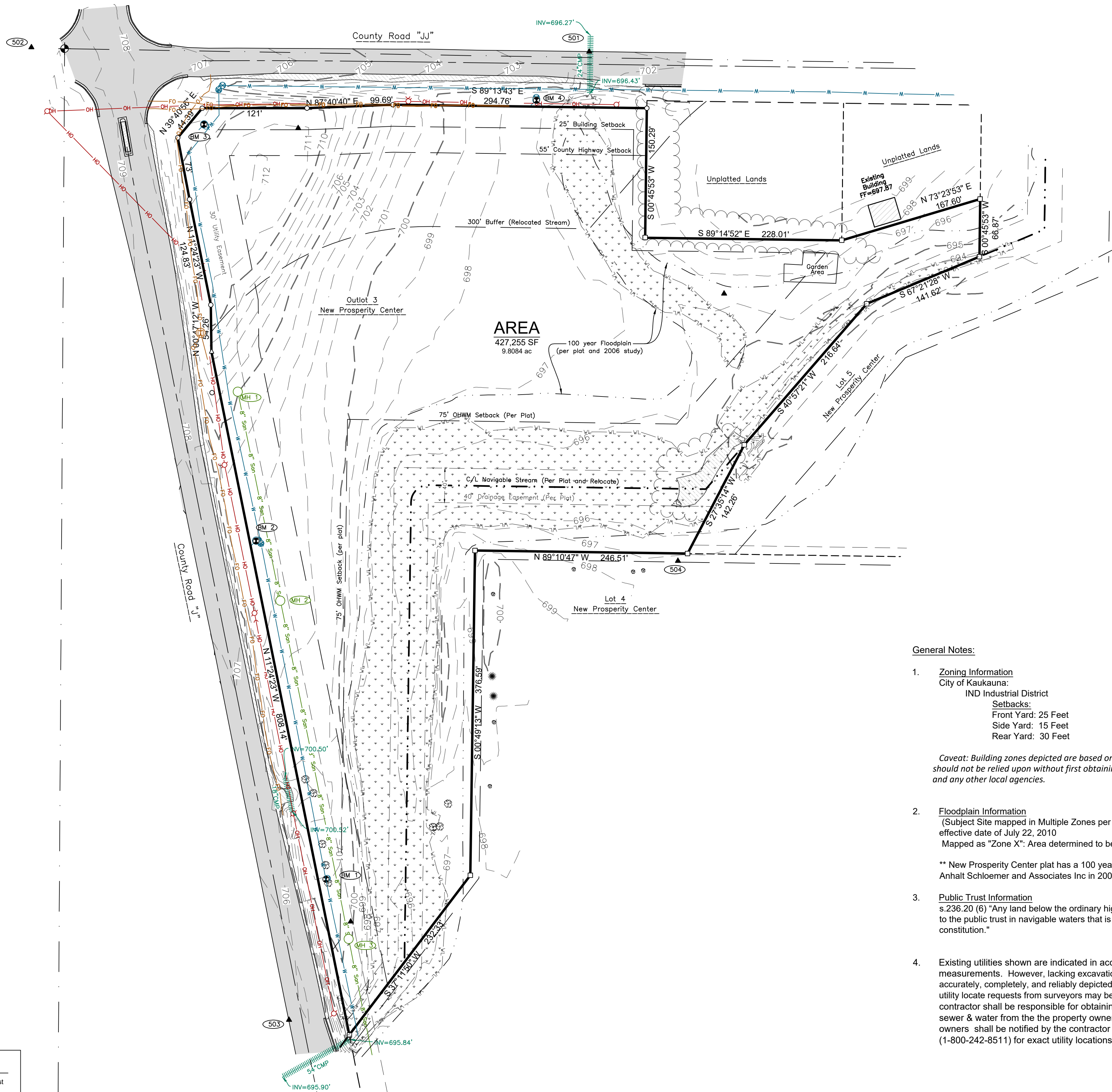
BENCHMARKS (Datum NAVD88)

BM 0	NGS Benchmark PID - PN0644, Designation - TT 13 MF Elev 695.39'
BM 1	Fire Hydrant, Tag Bolt ±55' NE of CTH "J" Centerline Elev 703.03'
BM 2	Fire Hydrant, Tag Bolt ±55' NE of CTH "J" Centerline, ±400' NW of BM 1 Elev 705.77'
BM 3	Fire Hydrant, Tag Bolt ±130' SE of CTH "J" & CTH "JJ" Intersection Elev 710.86'
BM 4	Fire Hydrant, Tag Bolt ±55' S of CTH "JJ" Centerline, ±400' E of BM 3 Elev 699.95'

Horizontal Control			
PN8385 - (City of Kaukauna)			
2024-06-17			
Davel Engineering and Environmental			
Horizontal Control (per Outagamie County Coordinate System)			
Point Number	Northing	Easting	Description
500	581905.93	868911.41	CPT MAG
501	581912.87	868408.71	CPT MAG
502	581918.07	867761.70	CPT MAG
503	580790.26	868060.49	CPT MAG
504	581322.40	868511.60	CPT HUB



LEGEND			
	Overhead Utility Lines		Sanitary MH / Tank / Base
	Sanitary Sewer (Pipe Size)		Hydrant
	Treeline		Utility Valve
	Culvert		Utility Pole
	Index Contour - Existing		Guy Wire
	Intermediate Contour - Existing		Post / Guard Post
	Delineated Wetlands - Davel 2024		Deciduous Tree
			Coniferous Tree
			Benchmark
			Asphalt Pavement
			Concrete Pavement
			Gravel

**General Notes:**

- Zoning Information**
City of Kaukauna:
IND Industrial District
Setbacks:
Front Yard: 25 Feet
Side Yard: 15 Feet
Rear Yard: 30 Feet

Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the City of Kaukauna and any other local agencies.
- Floodplain Information**
(Subject Site mapped in Multiple Zones per FIRM Map No. 55087C0334 & 55087C0353D with and effective date of July 22, 2010
Mapped as "Zone X": Area determined to be outside the 0.2% annual chance floodplain.

** New Prosperity Center plat has a 100 year Floodplain line mapped per Study done by Graef Anhalt Schloemer and Associates Inc in 2006.
- Public Trust Information**
s.236.20 (6) "Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.



TOPOGRAPHIC SURVEY

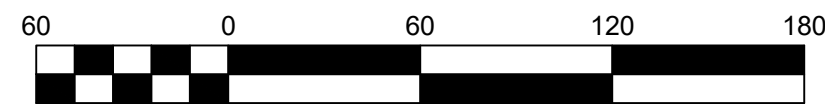
County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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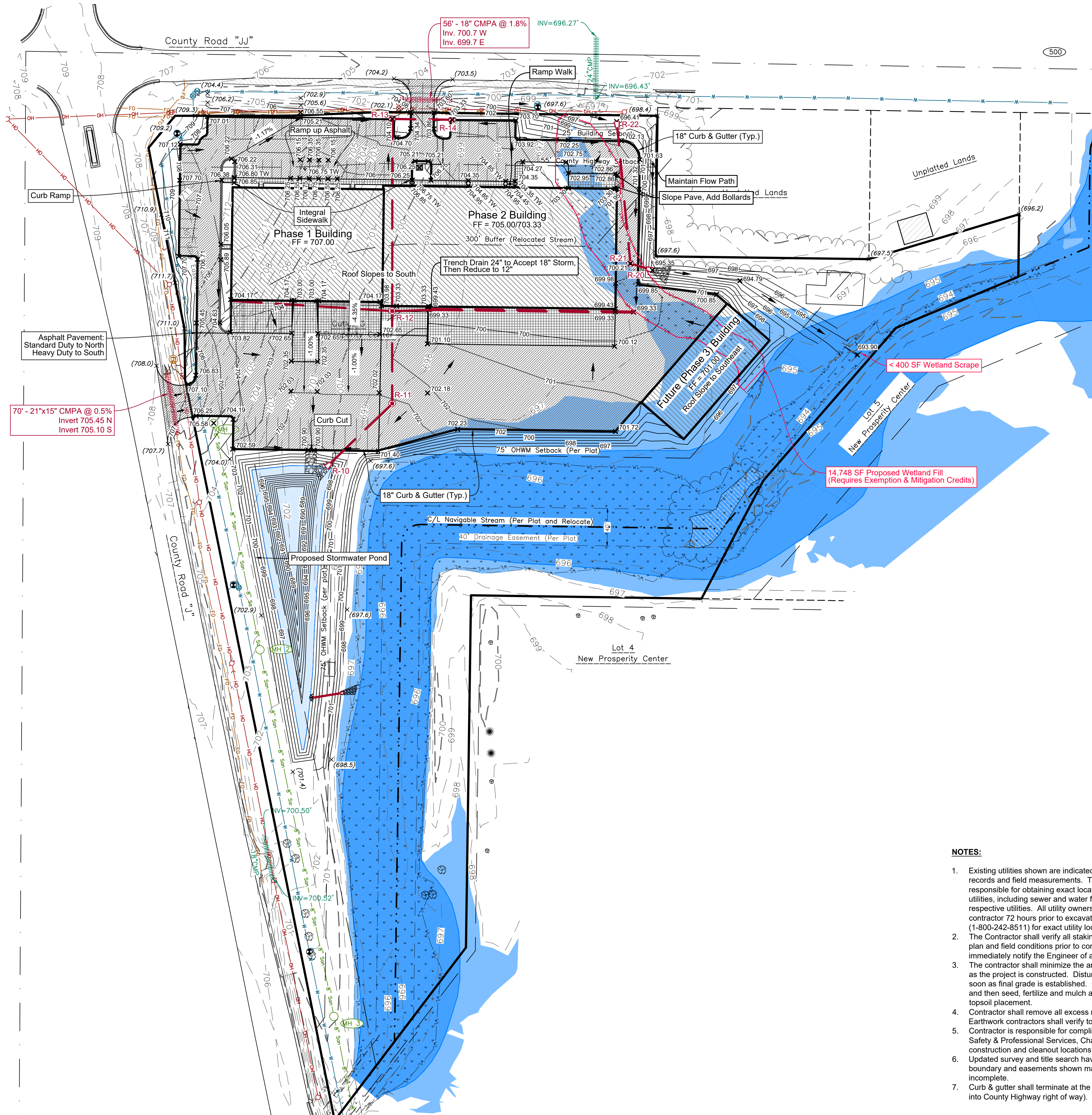
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LEGEND

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	Sanitary Sewer (Pipe Size)		Hydrant		Deciduous Tree
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	Index Contour - Existing		Guy Wire		Asphalt Pavement
	Intermediate Contour - Existing				Concrete Pavement
	Delineated Wetlands - Davel 2024				Gravel
	Proposed Storm Sewer		Proposed Storm Manhole		Floodway
	Proposed Contour		Proposed Curb Inlet		Flood Fringe
	Proposed Swale		Prop. Catch Basin / Yard Drain		
	Proposed Culvert		Proposed Endwall		
	Prop. Flowline Spot Elev.		Proposed Rip Rap		
	Prop. Top of Walk Elev.		Prop. Drainage Direction		
	Existing Grade		Prop. Finished Floor Elev.		
	Proposed Building		Emergency Overflow for Runoff		
	Proposed Asphalt				
	Proposed Concrete				
	Proposed Gravel				



NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
- Curb & gutter shall terminate at the property line (no extension into County Highway right of way).

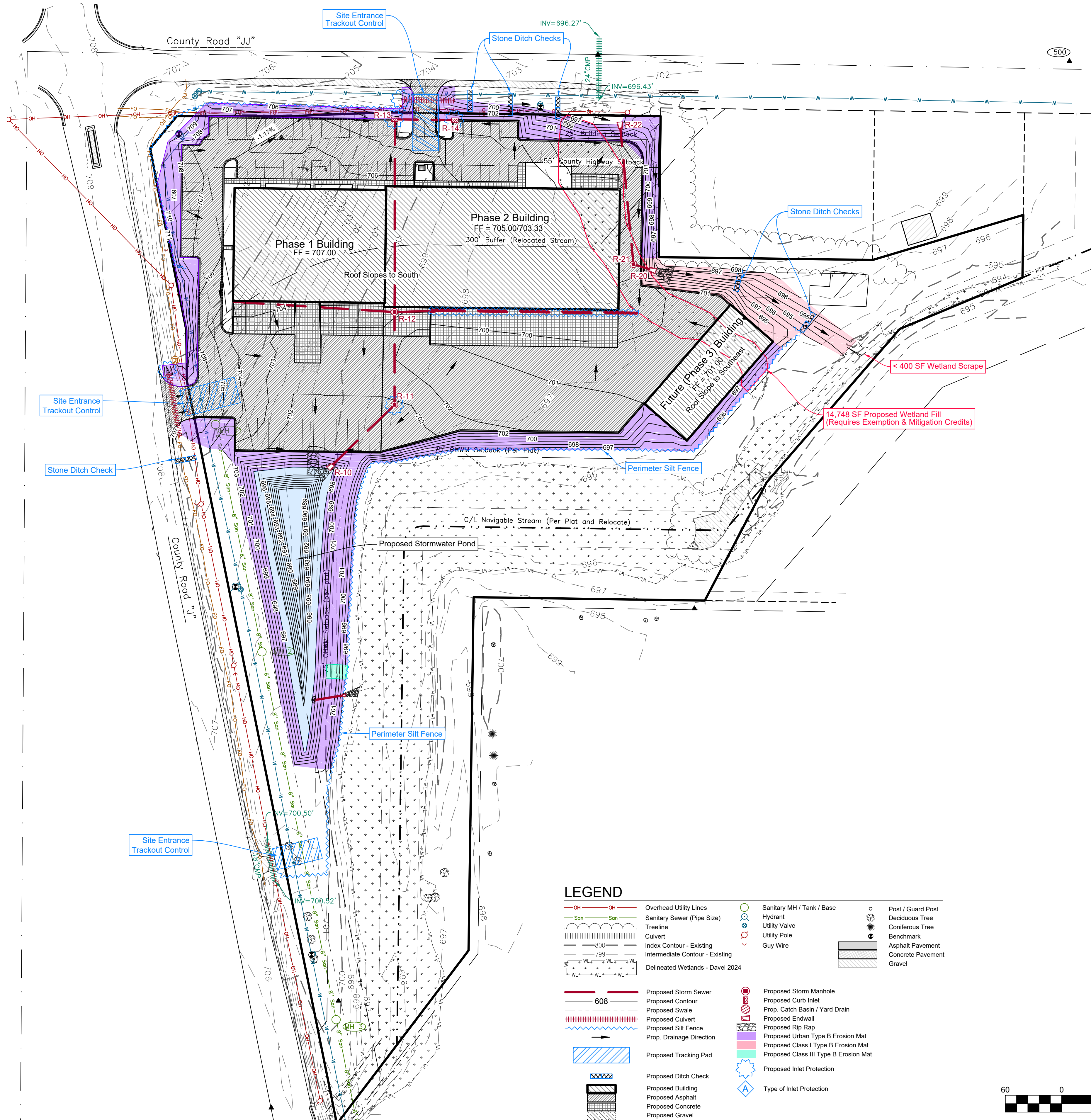
**DRAINAGE & GRADING
PLAN**

County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

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Civil Engineers and Land Surveyors
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Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

Soil Survey Description

Manawa silty clay loam units are situated in drainageways over clayey till or calcareous, dense clayey till. The unit is somewhat poorly drained with a water table of about 7-24 inches. Winneconne silty clay loam units are situated on lake plains over calcareous clayey lacustrine deposits. The units are well drained with water a water table of more than 80 inches.

1) Diverting Flow

- a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm sewer inlets and storm water pond.

2) Overland Flow

- a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6-inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
- along the site perimeter where runoff will leave the site, per plan.
 - and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - as slope interruption within the development, spacing per Technical Standard.
- b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat is required per plan and if field conditions warrant.
- c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding and fertilization shall be in accordance with City of Kaukauna Standard Specifications.**

3) Channelized Flow

- a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062 and all manufacturer specifications.** Ditch Checks will be used where indicated on the plan. Additional ditch checks may be required in areas where erosion is occurring.

- 4) Track out Control - Intended to reduce the amount of sediment transported onto public roads or offsite access points. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** Trackout controls will be constructed at the site entrances as indicated on the plan.

- 5) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.

- 6) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** The use of geotextile bags is required to prevent sedimentation with a stable discharge to adjacent storm sewer inlet. **The bags shall meet the requirements of DNR Technical Standard 1061.** Upon completion of the dewatering operation, all materials must be disposed of properly in accordance with all state and local requirements.

- 7) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No waste material is allowed to enter the storm sewer system or receiving waters.

- 8) Sediment Basin - The proposed pond is not large enough to serve as a sediment basin per Technical Standard 1064. However, the pond will provide additional sediment removal once construction, if inadequate sediment storage is available the accumulated sediment shall be removed and disposed of according to the Operation and Maintenance Plan.

Sequence of Construction (Phase 1)

- Obtain plan approval and other applicable permits.
- Install & maintain sediment control measures. November 2024
- Remove Topsoil and install intermediate silt fences: November 2024
- Construction stormwater pond. December 2024.
- Mass grading and building foundation. December 2024.
- Install storm sewer and gravel base. December 2024.
- Dormant seed and mulch the fill slope east of the improvement area and the pond slopes. December 2024.
- Construct Building. January - April 2025
- Install pavements and final landscaping. May 2025.

Remove all temporary sediment control measures after 70-percent vegetative cover is established. Water if necessary to establish healthy and well rooted vegetation.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to or the DNR website for a template; <https://dnr.wisconsin.gov/topic/Stormwater/construction/forms.html>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the City of Kaukauna.

Responsible Parties

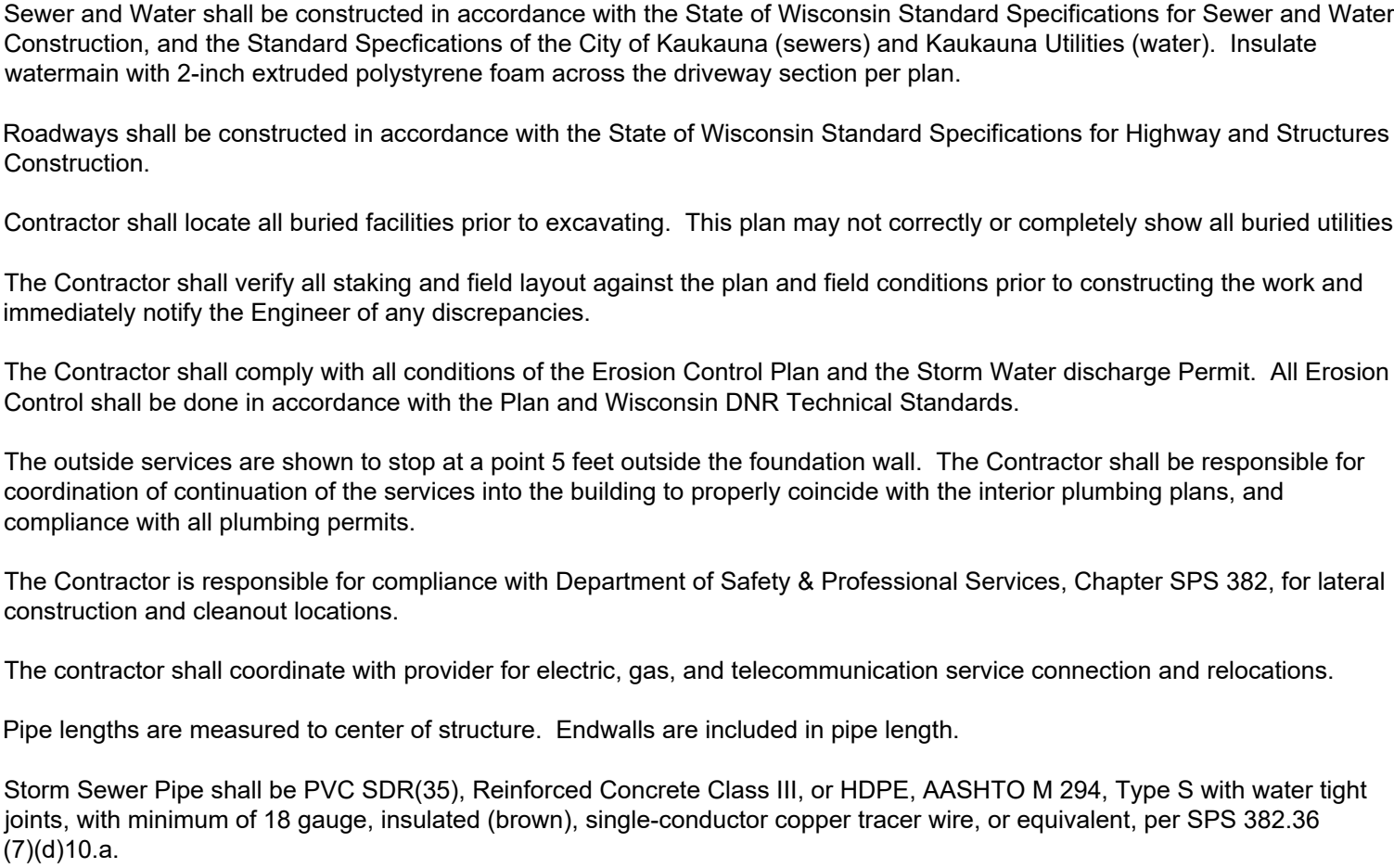
Best Management Practices (BMPs) Construction and Maintenance:

To be Determined (TBD)

BMP Inspection and Compliance Enforcement

City of Kaukauna

Wisconsin Department of Natural Resources

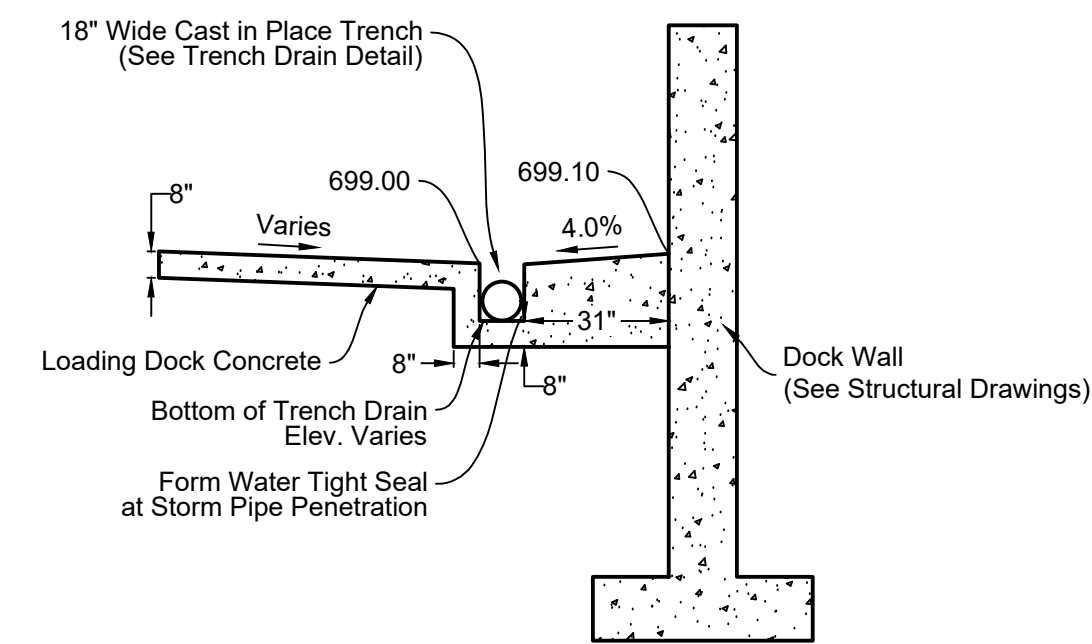


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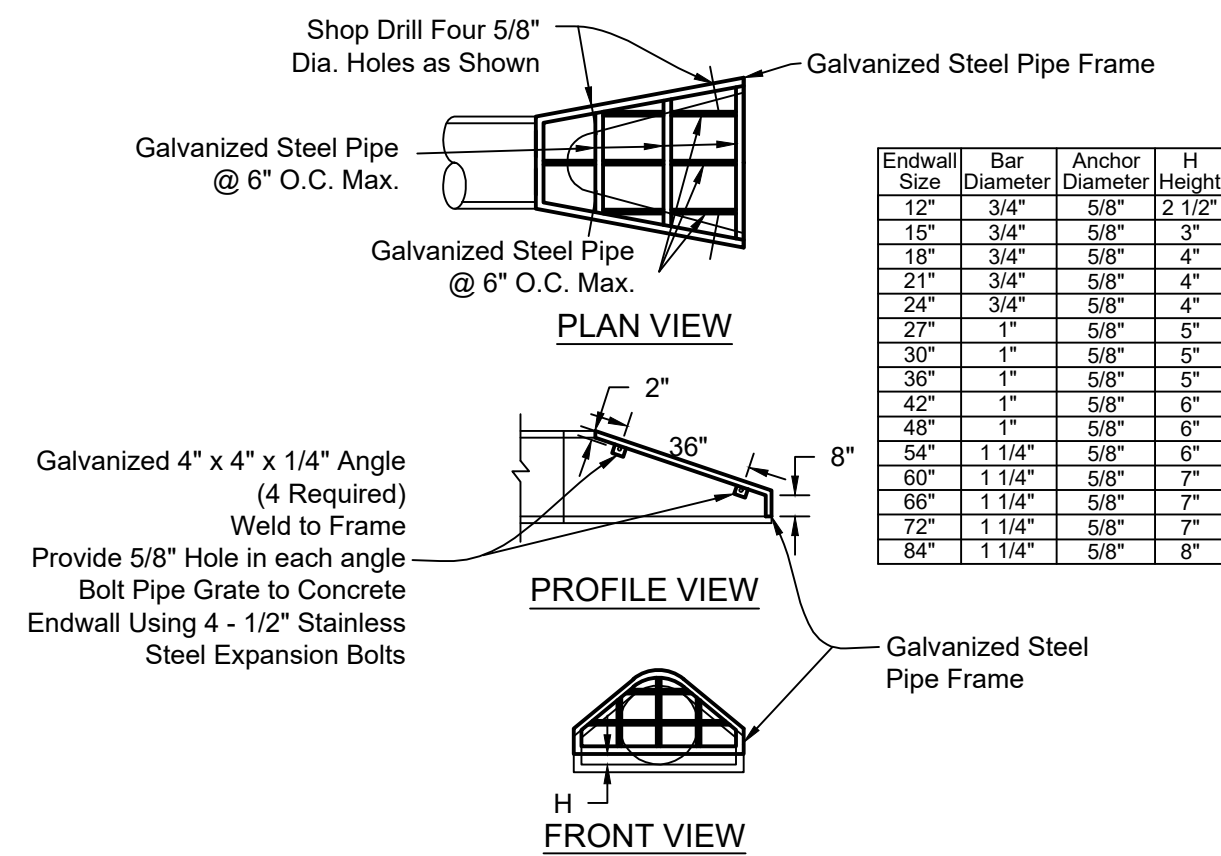
UTILITY PLAN

County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

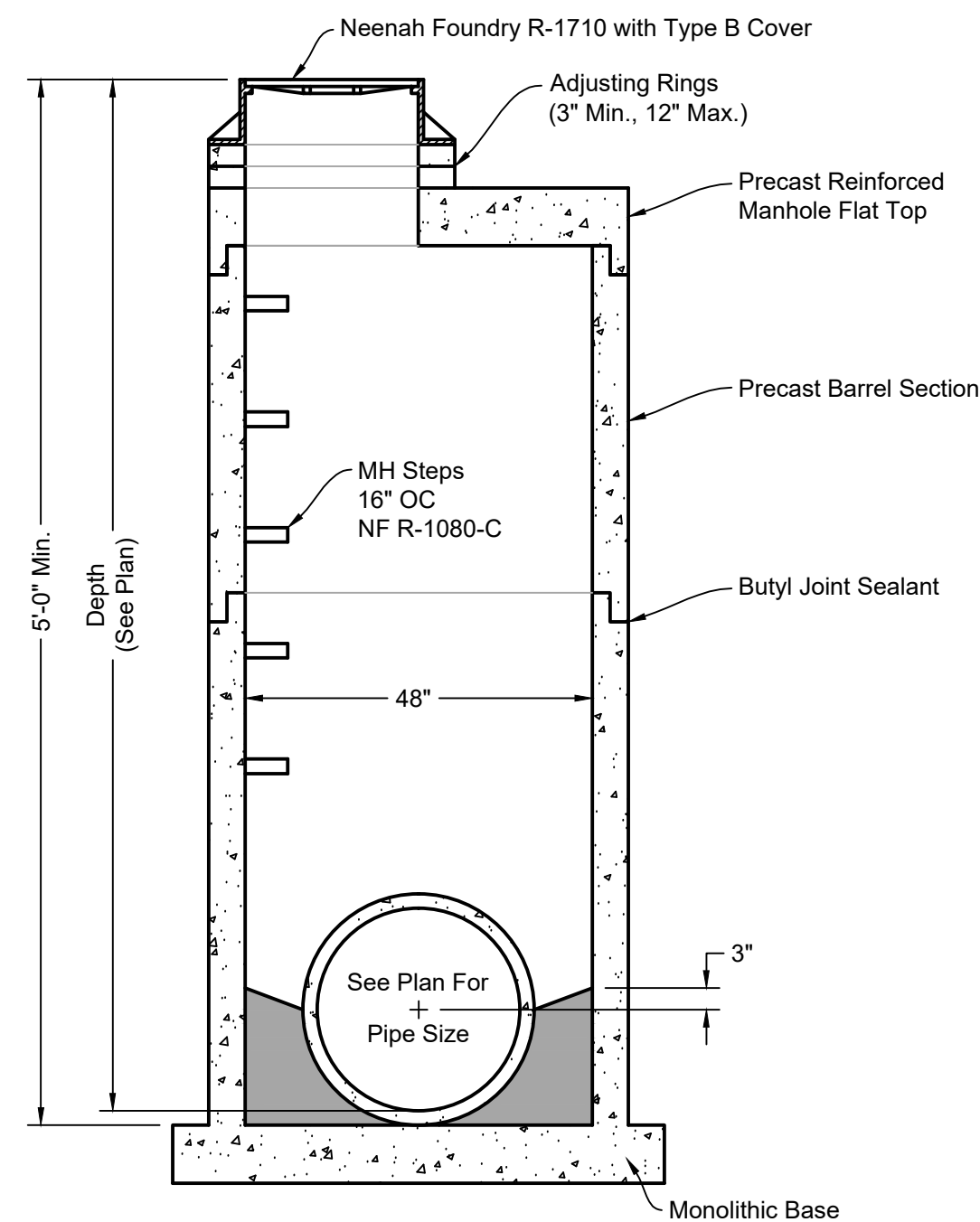
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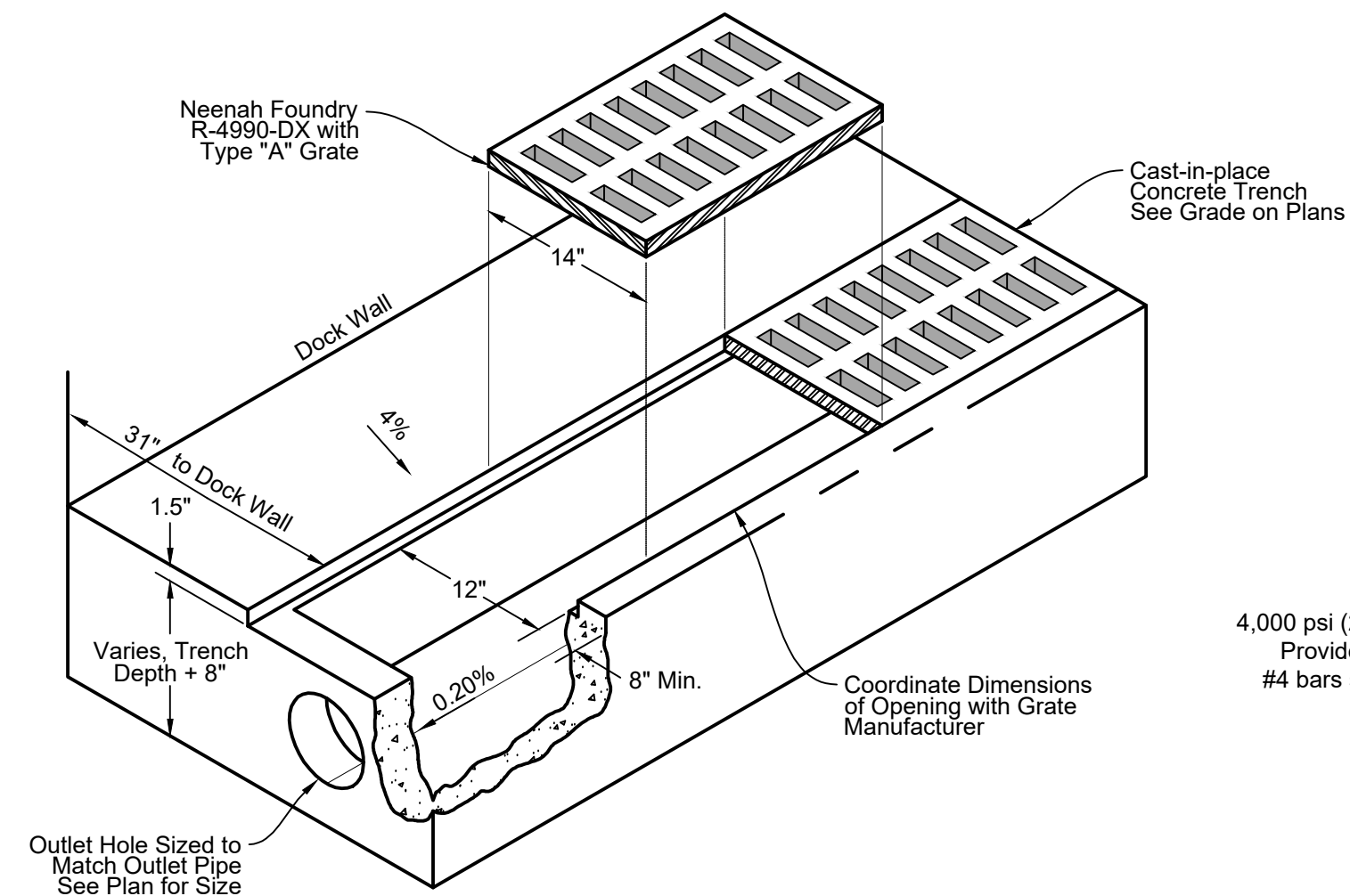
LOADING DOCK TRENCH DRAIN CROSS-SECTION
At Phase 2 Dockwall



ENDWALL PIPE GRATE

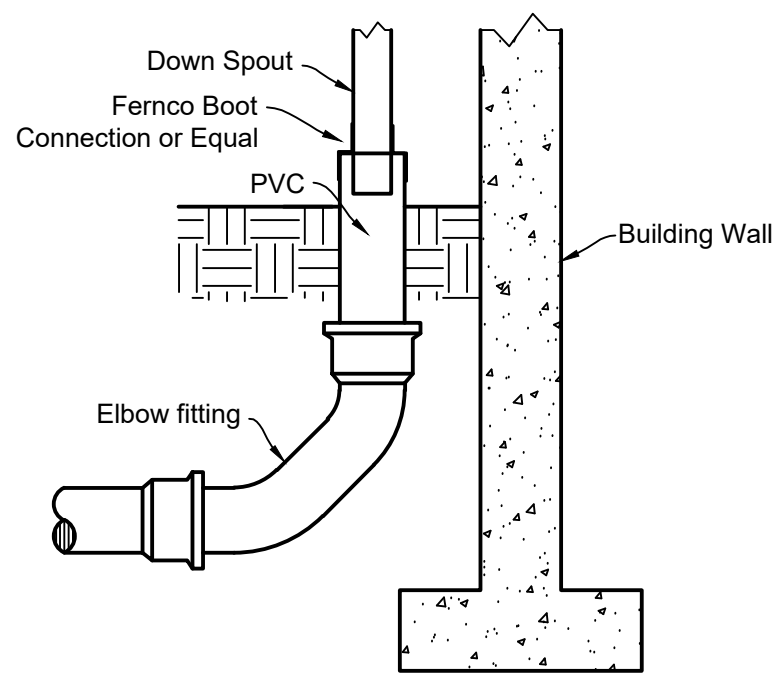


STANDARD STORM MANHOLE

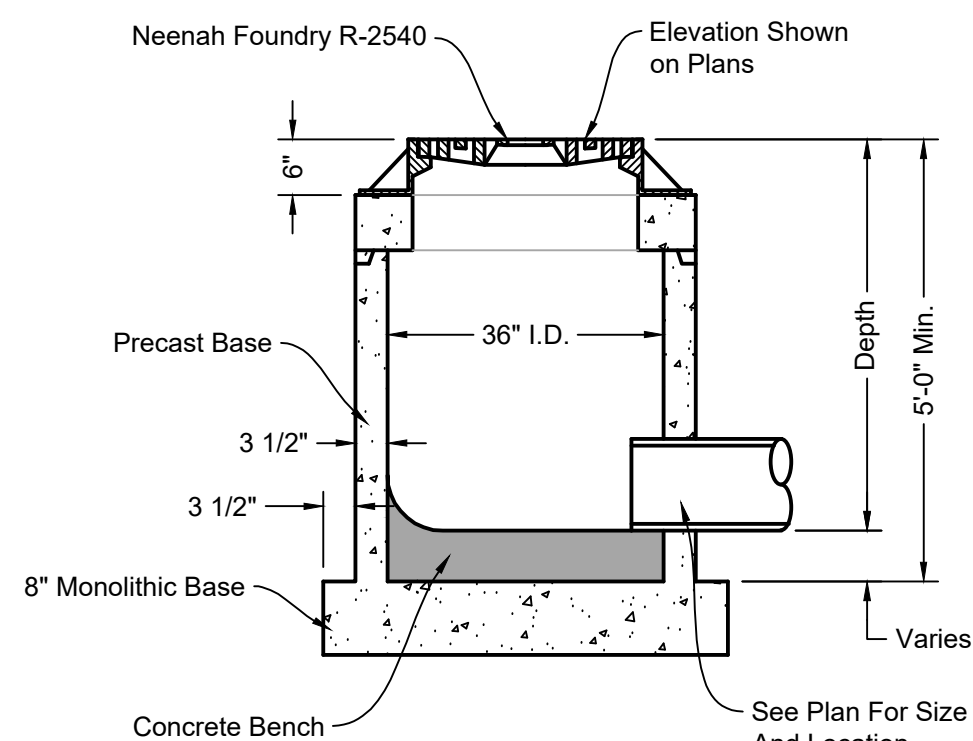


12" TRENCH DRAIN DETAIL
At Phase 2 Dockwall

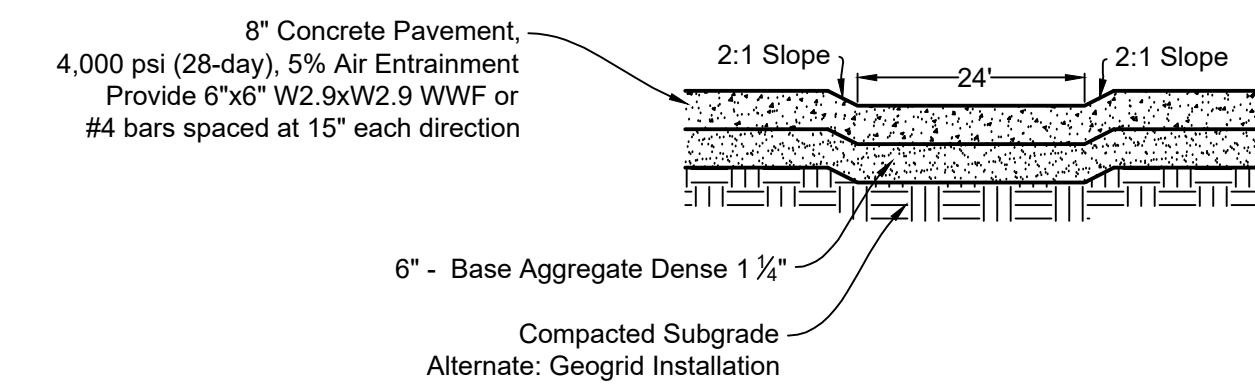
Note: Provide 24" trench (R-4990-HX) width at 18" pipe connection, transition to 12" trench width.



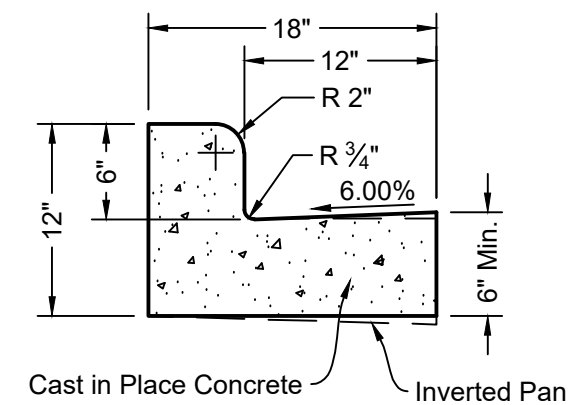
ROOF DRAIN CONNECTION
TO STORM SEWER



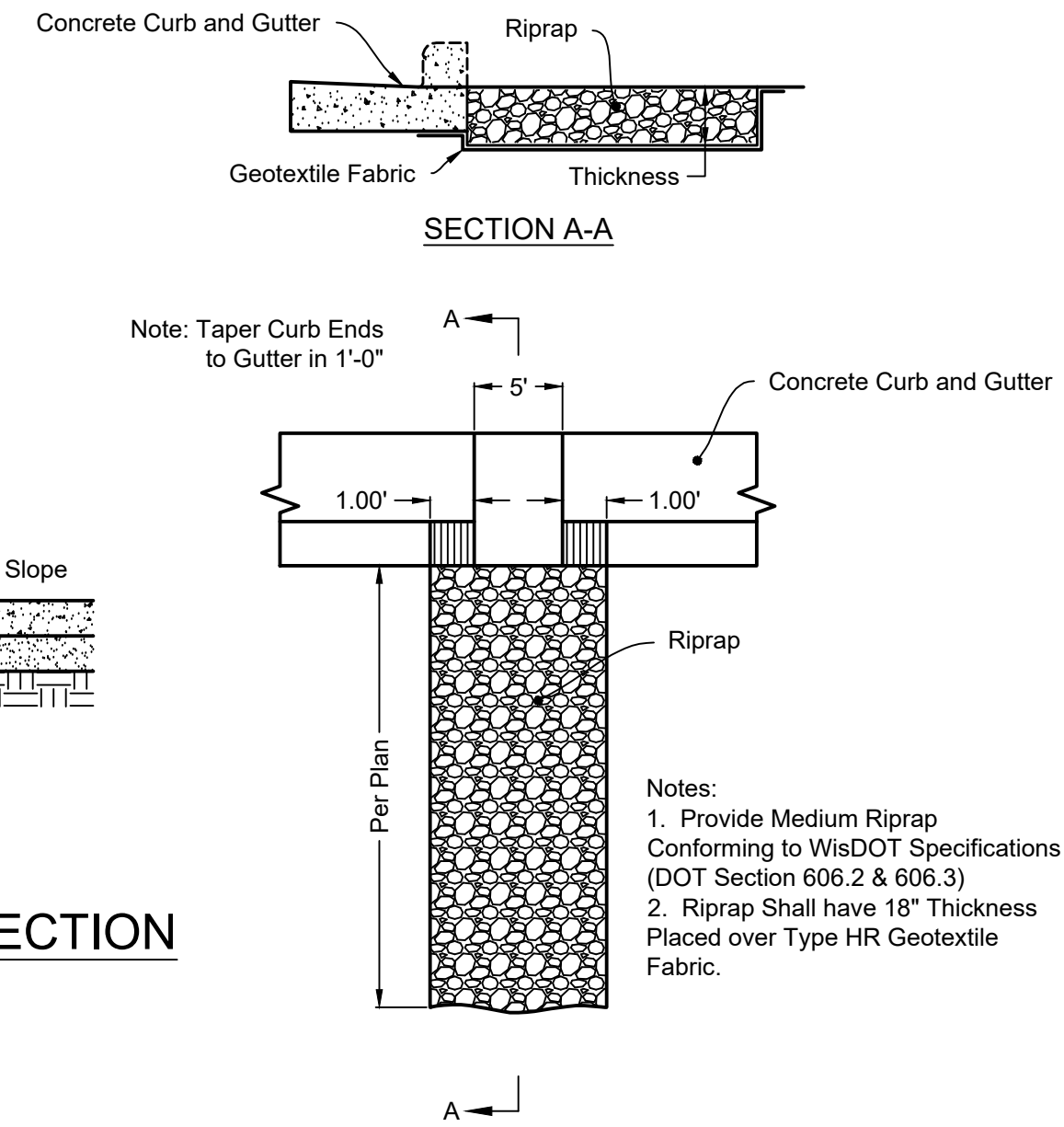
STORM CATCH BASIN



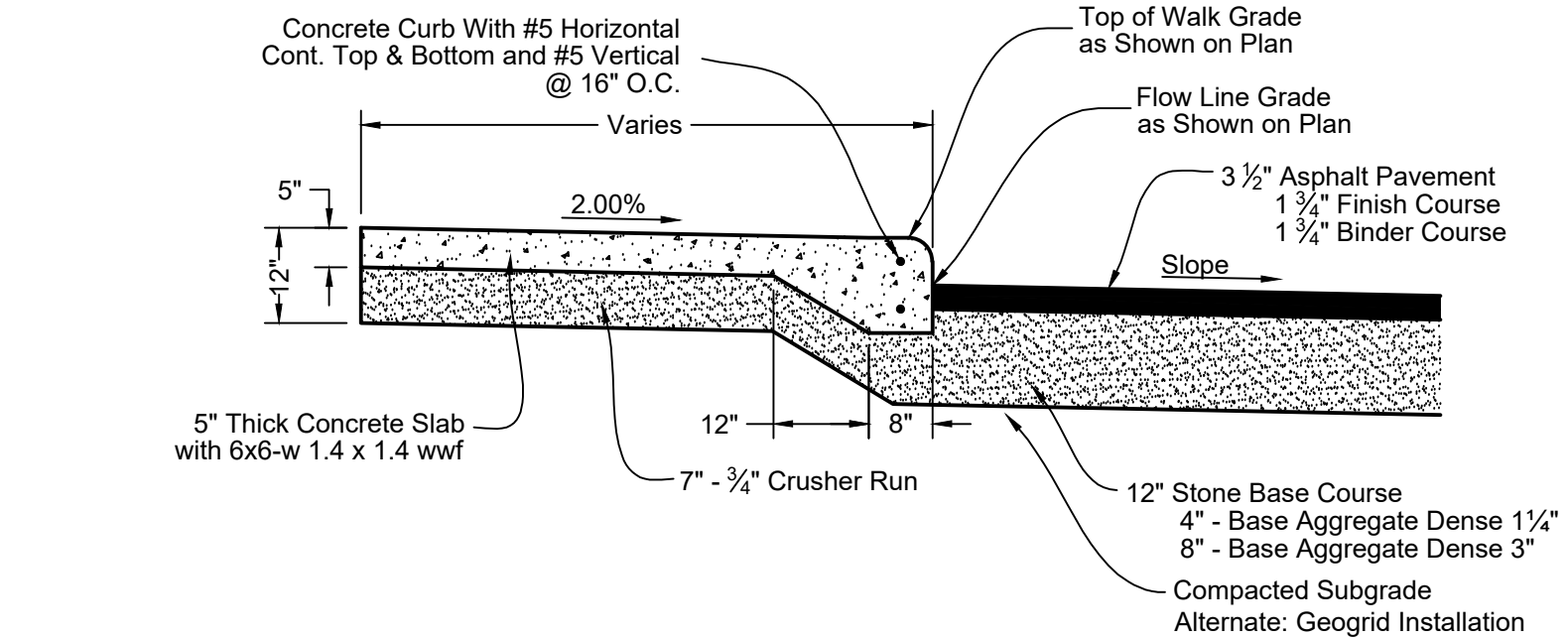
CONCRETE APRON SECTION
AT PHASE 1 DOCK WALL



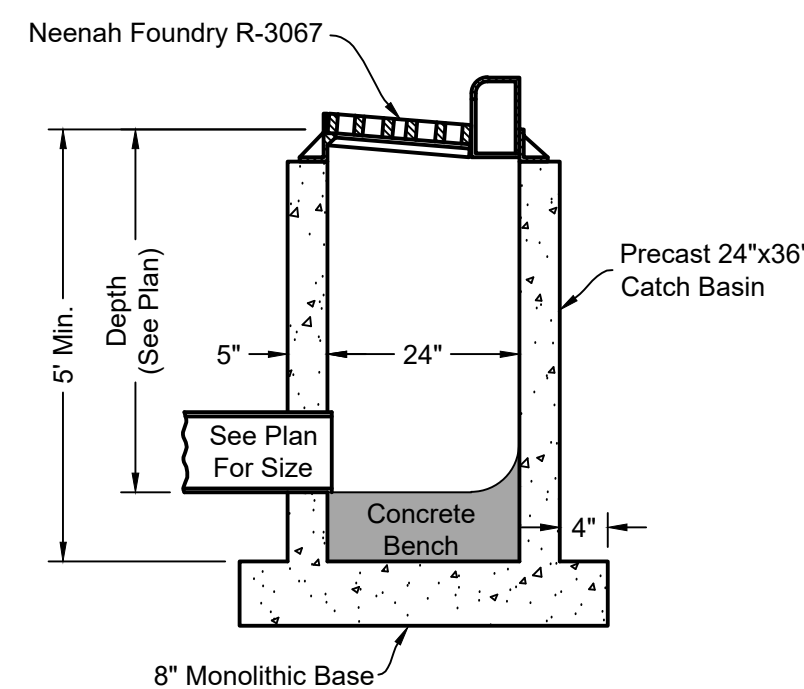
18" STANDARD CURB



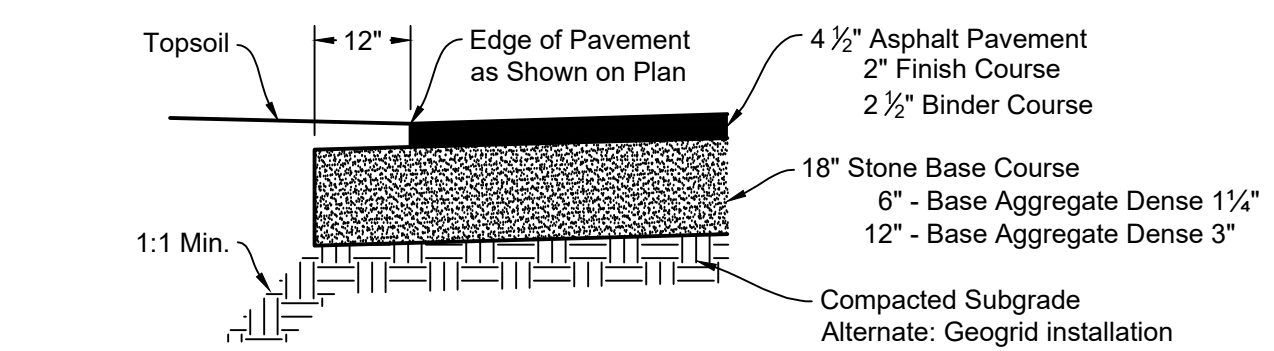
PLAN VIEW
CURB CUT OPENING



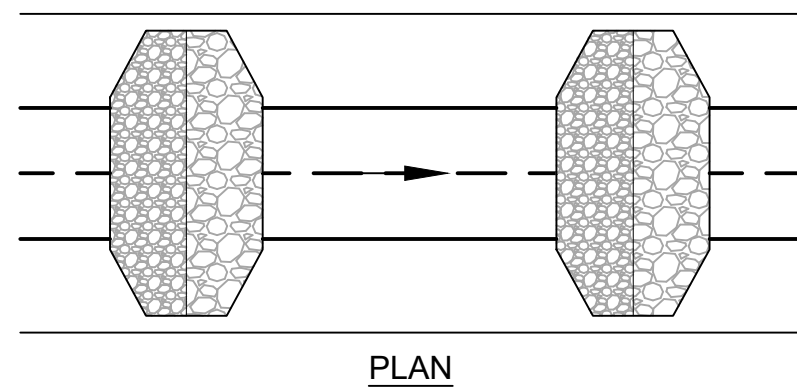
INTEGRAL SIDEWALK / STANDARD DUTY PAVEMENT SECTION



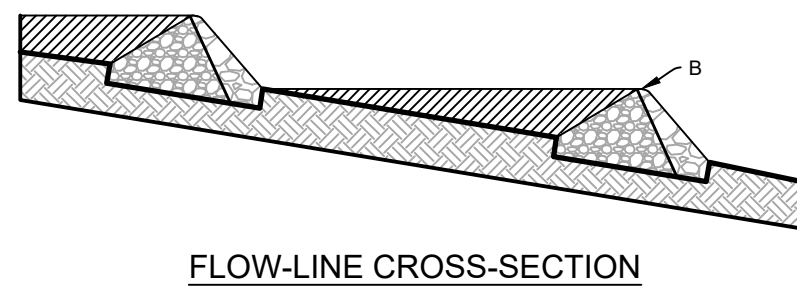
CURB INLET DETAIL



HEAVY DUTY ASPHALT PAVEMENT SECTION

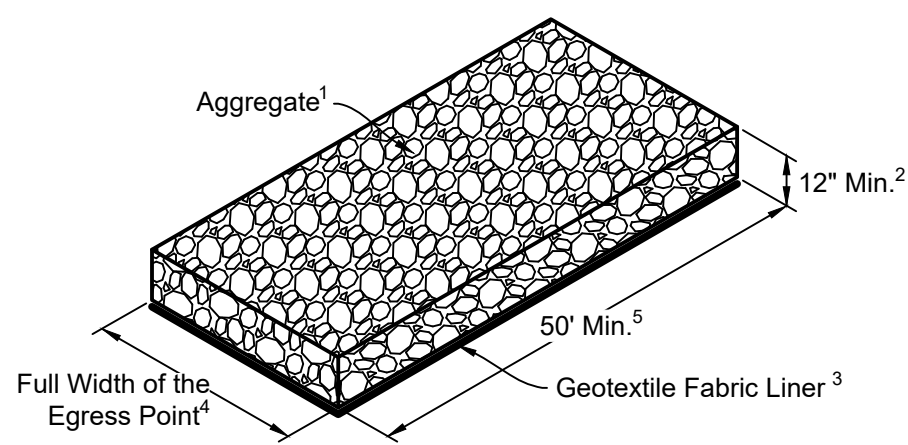
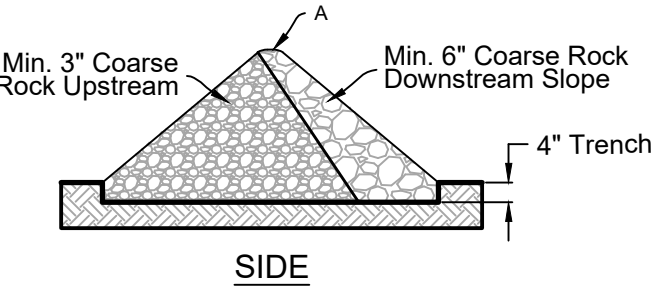
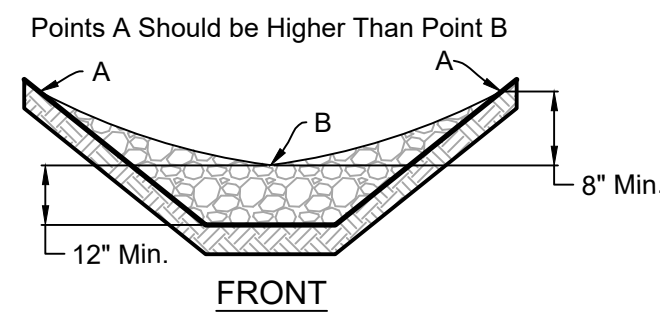


Place downstream structure such that point "B" is approximately level with the lowest ground elevation of the upstream structure.



STONE DITCH CHECK

DNR TECHNICAL STANDARD 1062



Note 1 Use hard, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2022 Standard Specification, Section 312, Select Crushed Material.

Note 2 Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.

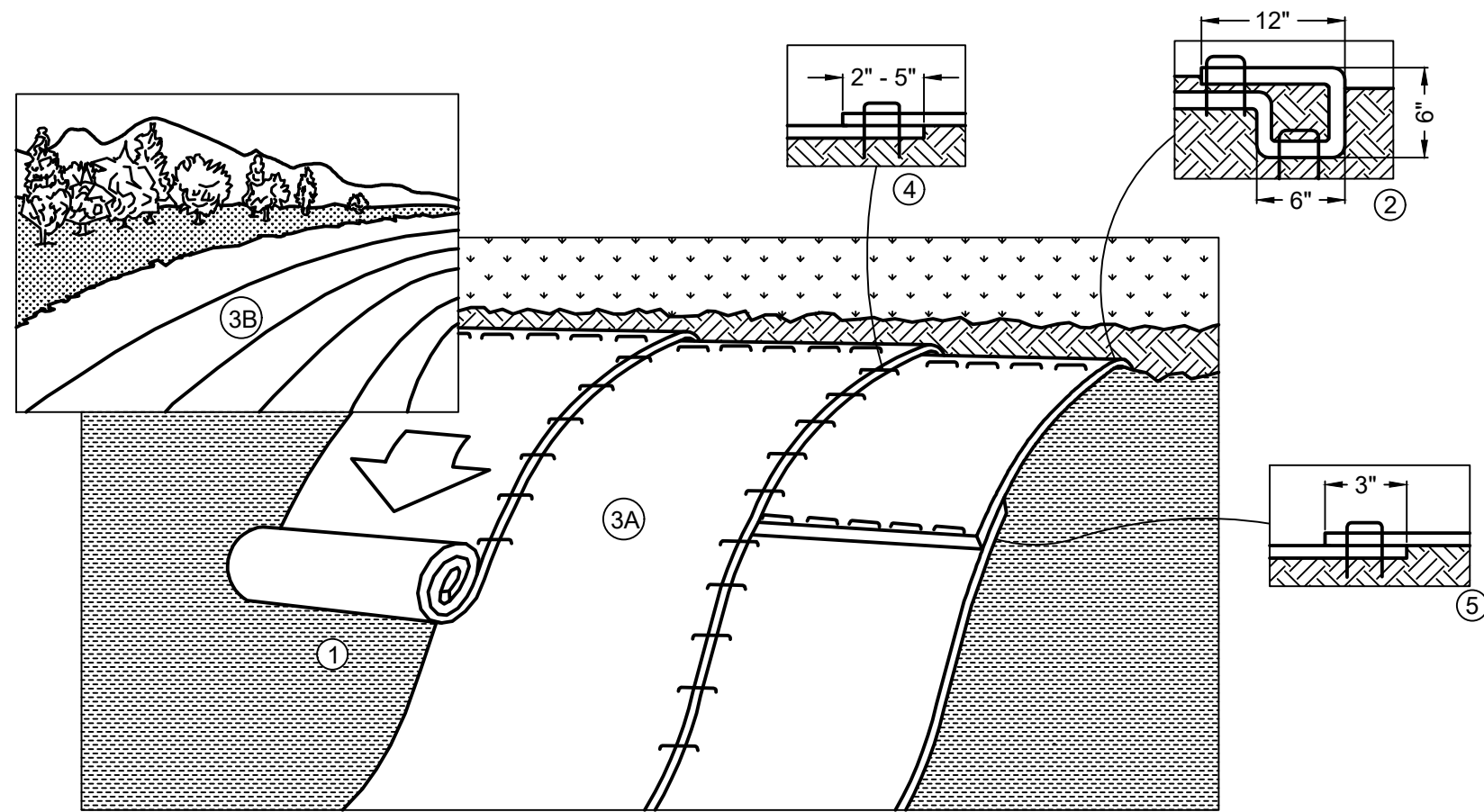
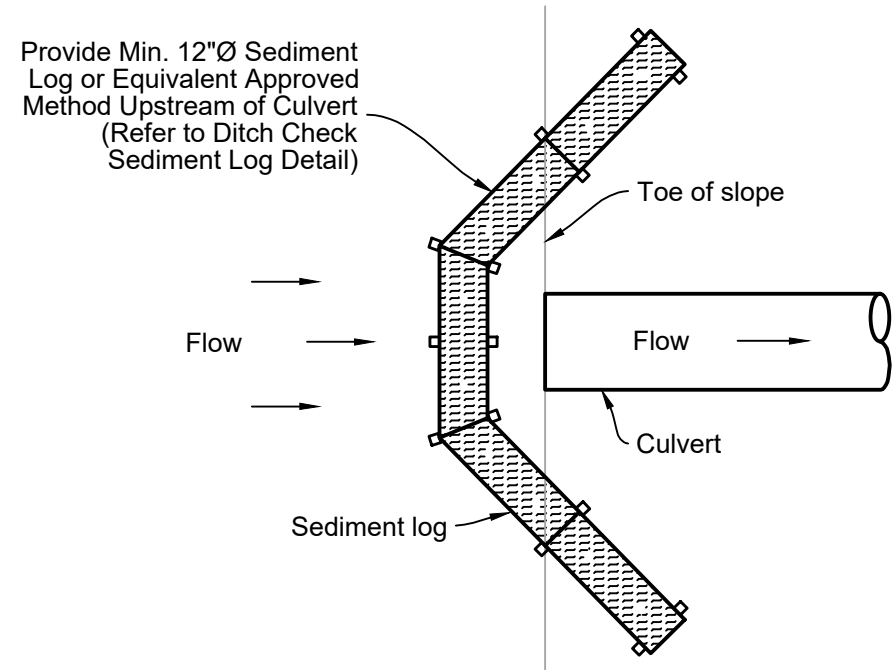
Note 3 Select fabric type based on soil conditions and vehicles loading.

Note 4 Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

Note 5 If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

TABLE 1: GRADATION FOR STONE TRACKING PADS

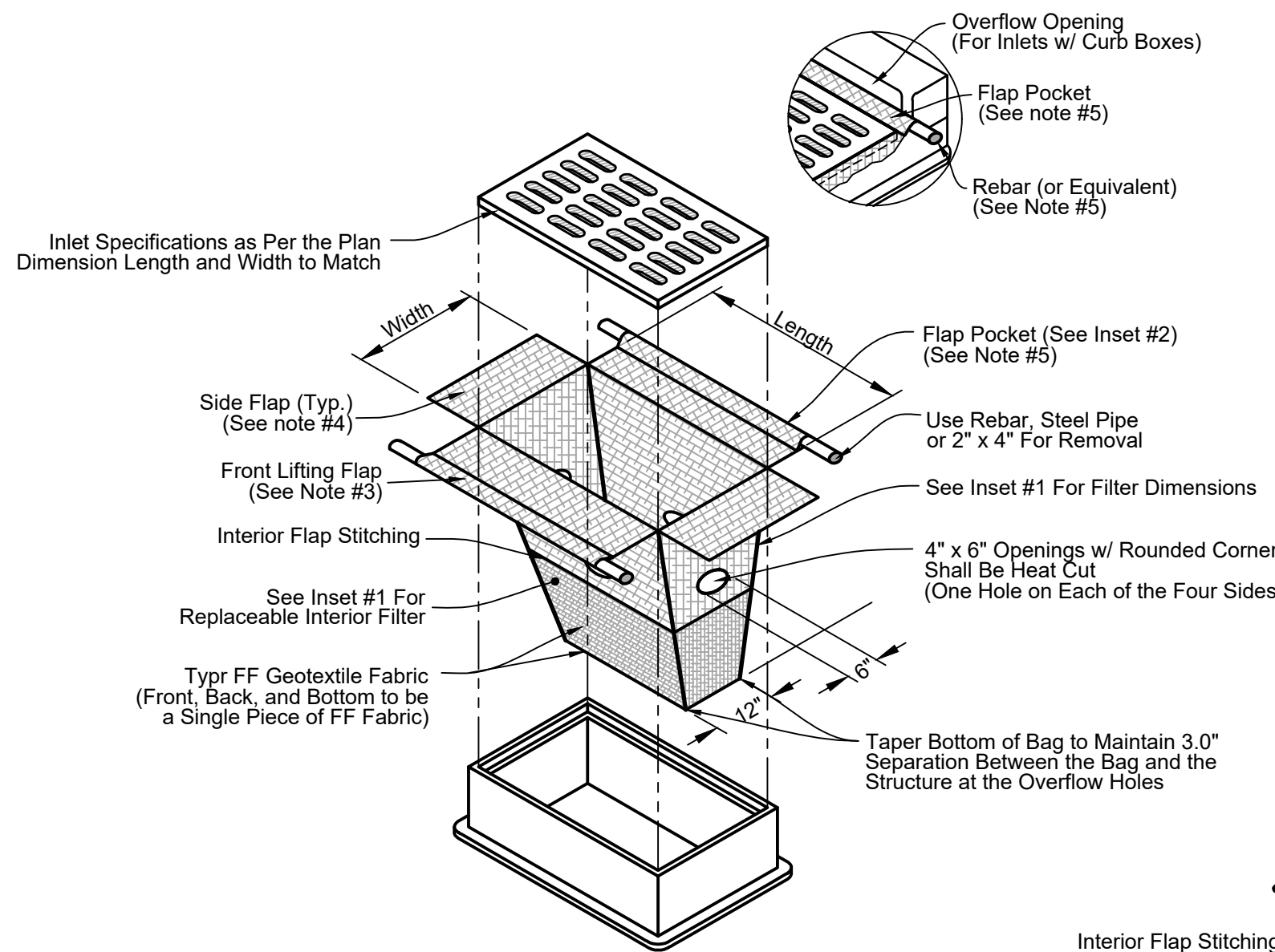
Sieve Size	Percent by weight passing
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
2. When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.
6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION

DNR TECHNICAL STANDARD 1052



INLET PROTECTION, TYPE D-M

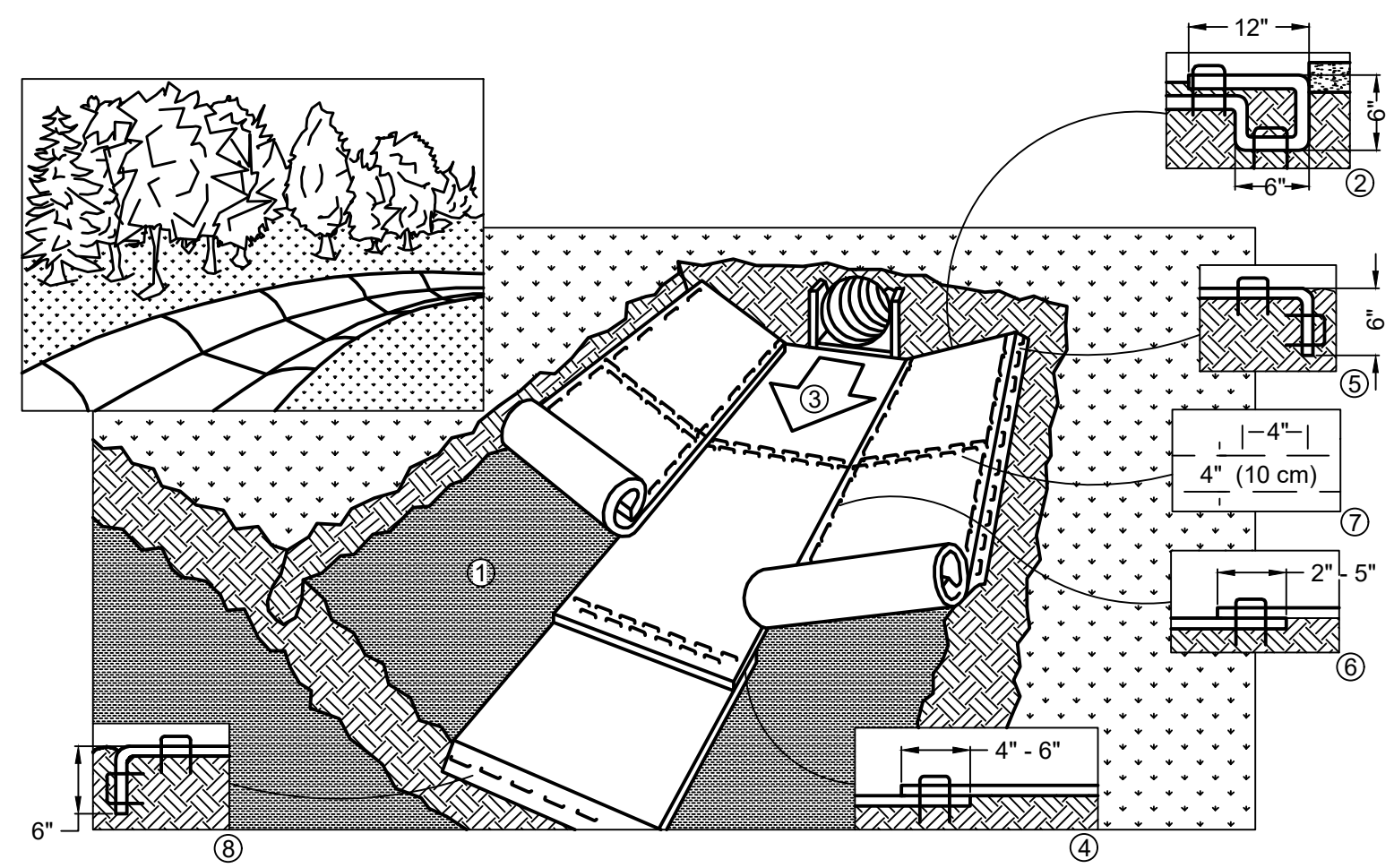
DNR TECHNICAL STANDARD 1060
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

NOTES:

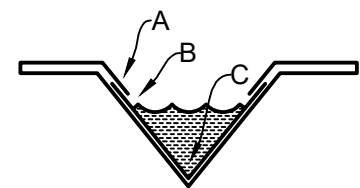
1. Taper bottom of bag to maintain three inches of clearance between the bag and the structure, measured from the bottom of the overflow openings to the structure wall.
2. Geotextile fabric, Type FF for flaps, top and bottom of outside of filter bag. Front, back and bottom of filter bag being one piece.
3. Front lifting flap is to be used when removing and maintaining filter bag.
4. Side flaps shall be a maximum of two inches long. Fold the fabric over and reinforce with multiple stitches.
5. Flap pockets shall be large enough to accept wood 2" x 4". The rebar, steel pipe, or wood shall be installed in the rear flap and shall not block the top half of the curb face opening.

MAINTENANCE NOTES:

1. When removing or maintaining inlet protection, care shall be taken so that the sediment trapped in the fabric does not fall into the structure. Material that has fallen into the inlet shall be immediately removed.



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.
2. When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.
3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.
4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.
5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
6. Adjacent RECP's must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.
8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.
9. Detail provided by North American Green (www.nagreen.com)



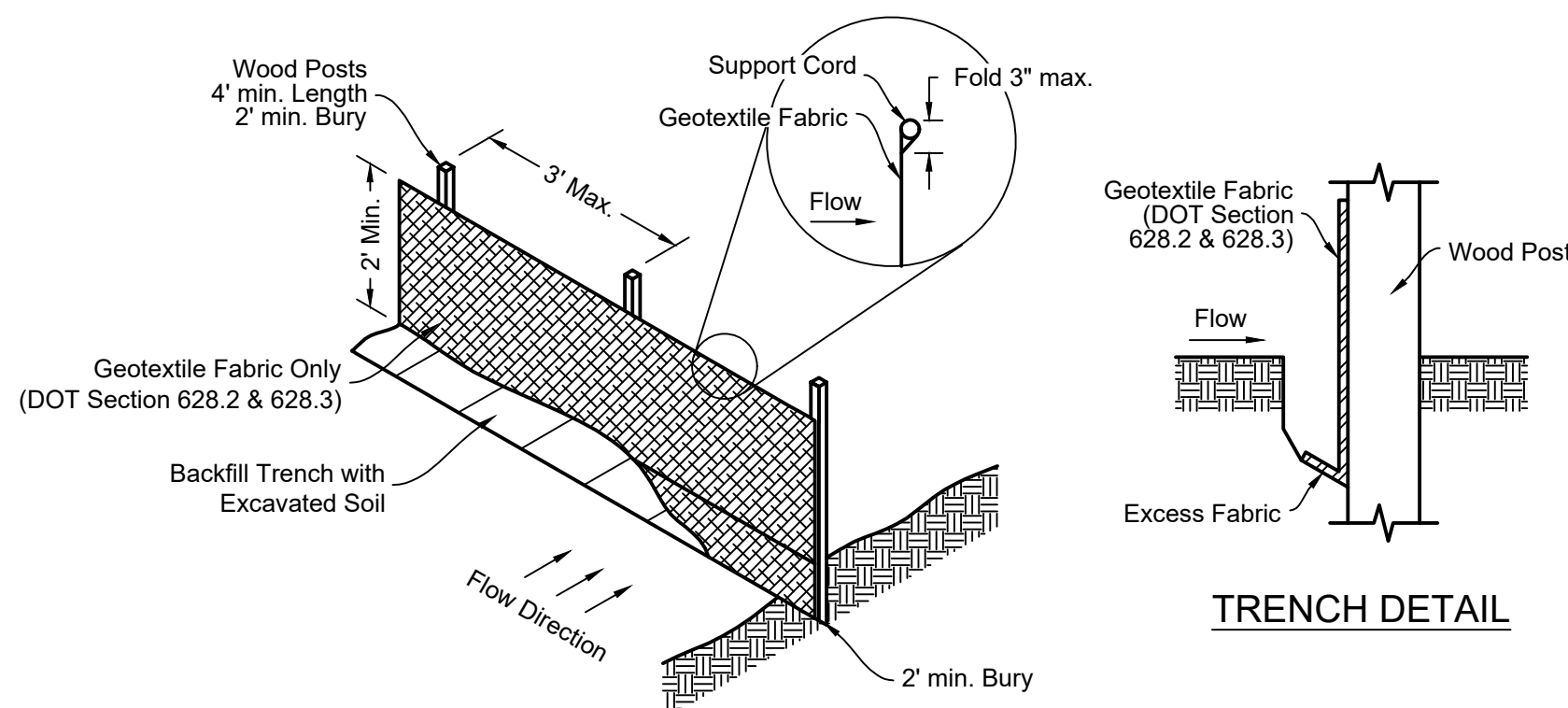
Critical Points
A. Overlaps and seams
B. Projected Water line
C. Channel Bottom/side slope vertices

Note:
* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

** In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

EROSION MAT CHANNEL INSTALLATION

DNR TECHNICAL STANDARD 1053



Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION

DNR TECHNICAL STANDARD 1056

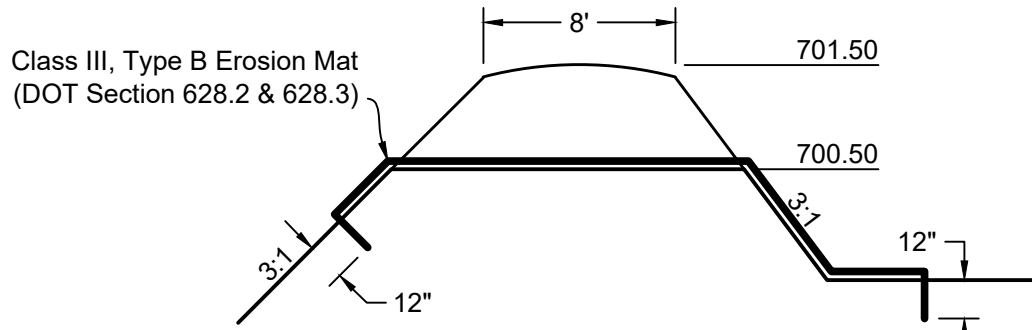
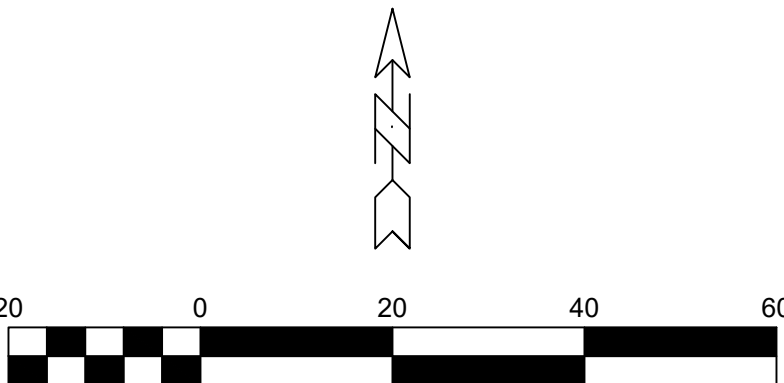
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

EROSION & SEDIMENT CONTROL DETAILS

County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

Date: 05/8/2025
Filename: 8385Engr.dwg
Author: TNW
Last Saved by: kyle
Page C2.2

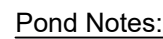


EMERGENCY SPILLWAY SECTION

Class III, Type B Erosion Mat
(DOT Section 628.2 & 628.3)

4:1 4:1 701.50 700.50 15'

TYPICAL EMBANKMENT SECTION



- Clay liners specifications are as follows:
 - 50% fines (200 sieve) or more.
 - Hydraulic conductivity of 1×10^{-6} cm/sec or less.
 - Average liquid limit of 16 or greater, with no value less than 14.
 - Average PI of 7 or more, with no values less than 5.
 - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
 - Minimum thickness of 2 feet.
 - If the in-situ soils meet the requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1×10^{-6} cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.
- HDPE liner specifications are as follows:
- Minimum thickness of 40 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- PPL liner Specifications are as follows:
- Minimum thickness of 30 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
9. All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.
 10. Any pond fountain or aeration device shall comply with conditions of DNR Technical Standard 1001 Section V.B.2.k.



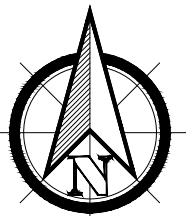
Schmalz
Custom Landscaping
and Garden Center

LANDSCAPE ARCHITECTURE
DEVELOPMENT
CONSTRUCTION
AWARD WINNING DESIGN
AND INSTALLATION

W2484 CTY RD KK
APPLETON, WI 54915-9464
PHONE 920-733-8223
FAX 920-733-3262
WWW.SCHMALZLANDSCAPING.COM

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DO NOT SCALE
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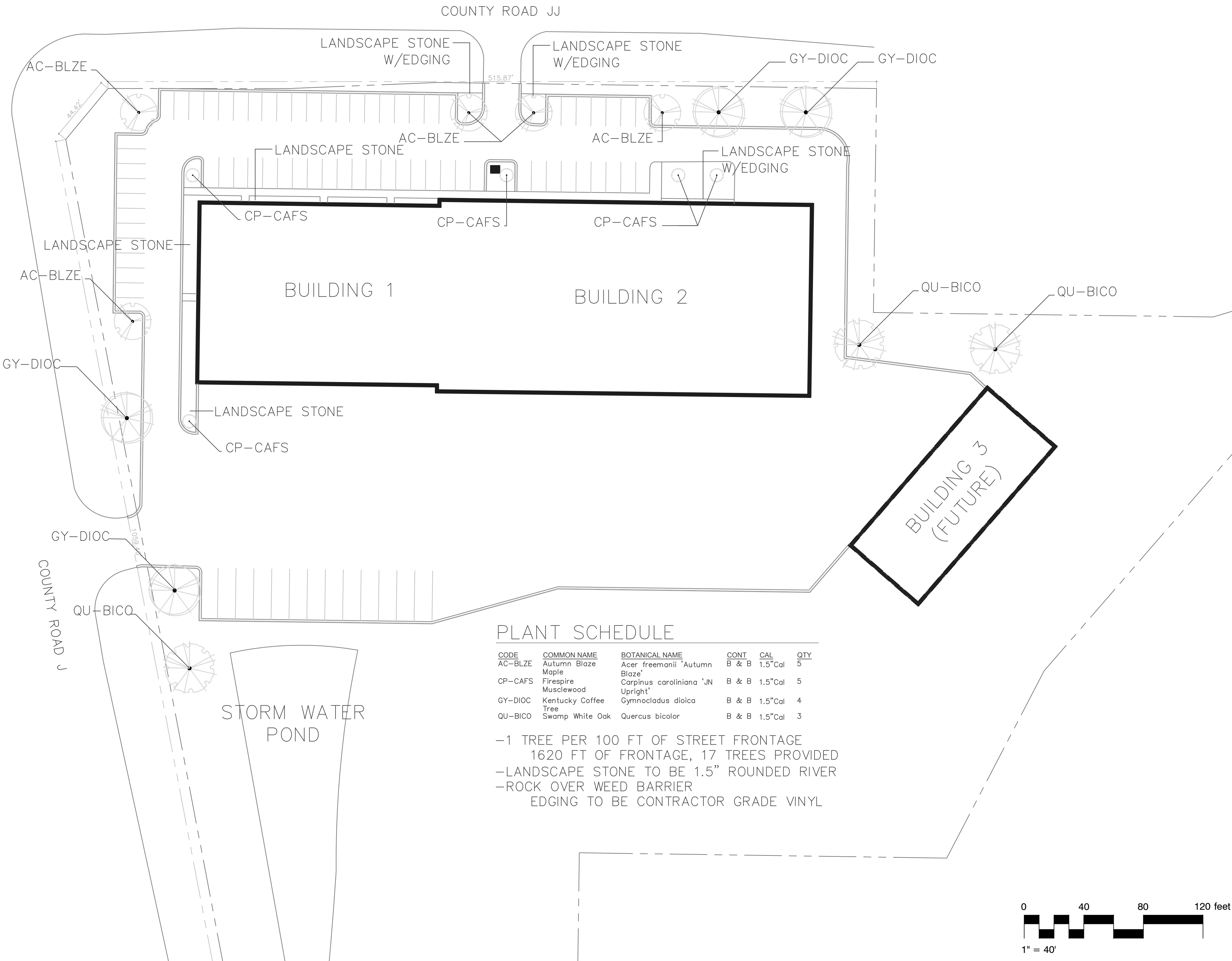


PROSPERITY IN LLC
101 E CR JJ
KAUKAUNA WIS.54130

DATE: 02/25/2026
REVISED:
PHONE NO.: 920.636.5387
EMAIL: alexh@schmalzlandscaping.com
SCALE: 1" = 40' - 0"
DRAWN BY: AMH

SHEET TITLE
Landscape Plan

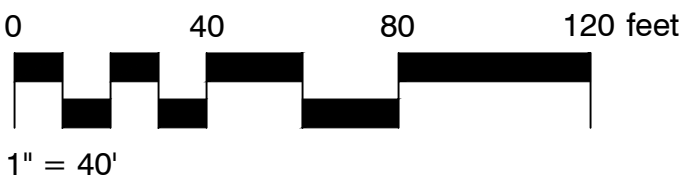
SHEET NO. L-1
JOB NO. FILE NO.



PLANT SCHEDULE

CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	QTY
AC-BLZE	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	B & B	1.5" Cal	5
CP-CAFS	Firespire Musclemwood	Carpinus caroliniana 'JN Upright'	B & B	1.5" Cal	5
GY-DIOC	Kentucky Coffee Tree	Gymnocladus dioica	B & B	1.5" Cal	4
QU-BICO	Swamp White Oak	Quercus bicolor	B & B	1.5" Cal	3

- 1 TREE PER 100 FT OF STREET FRONTAGE
1620 FT OF FRONTAGE, 17 TREES PROVIDED
- LANDSCAPE STONE TO BE 1.5" ROUNDED RIVER
- ROCK OVER WEED BARRIER
EDGING TO BE CONTRACTOR GRADE VINYL



Luminaire Schedule								
Symbol	Qty	Label	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	2	WSD-WP025W27-345K-D_25W	25W WP	Single	1.000	3424	25.21	50.42
	9	WSD-HWP48729612W27-45K-D_120W_5000K	120W HWP	Single	1.000	17139	116.87	1051.83
	5	WSD-FL101520W27-345K-D-S_200W_5000K	200W FL	Single	1.000	29315	197.4	987

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.74	38.0	0.0	N.A.	N.A.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min

LPD Area Summary			
Label	Area	Total Watts	LPD

Project Details line 2 line 3 line 4	Company name Company address Address 2 Voice Number : Voice # Email
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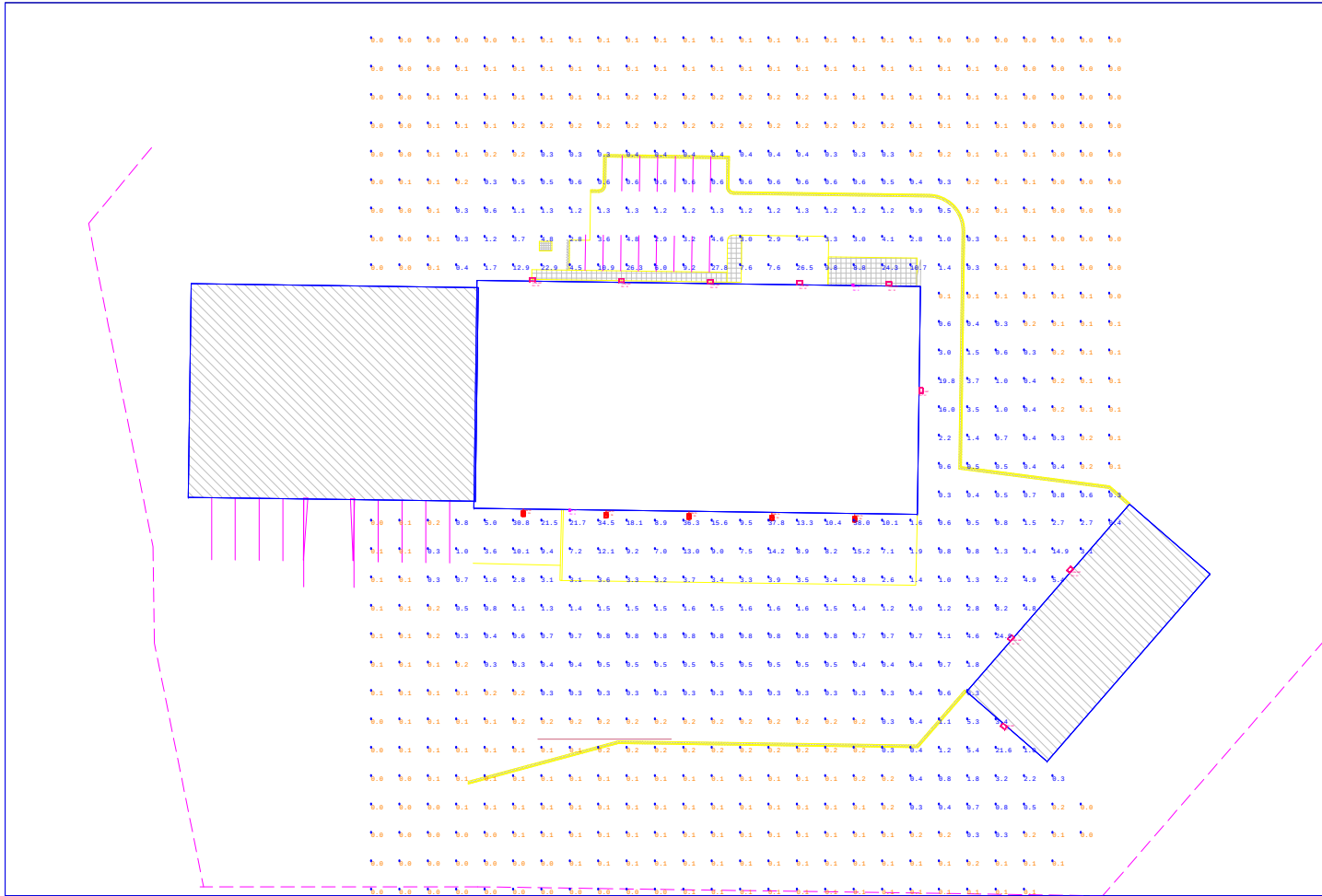
Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
1	WSD-HWP48729612W27-45K-D_120W_5000K	563.467	96.244	12	229.766	0
2	WSD-HWP48729612W27-45K-D_120W_5000K	567.564	144.563	12	135.057	0
3	WSD-HWP48729612W27-45K-D_120W_5000K	600.923	183.127	12	135.057	0
4	WSD-FL101520W27-345K-D-S_200W_5000K	292.011	218.098	15	270	30
5	WSD-FL101520W27-345K-D-S_200W_5000K	338.71	217.314	15	270	30
6	WSD-FL101520W27-345K-D-S_200W_5000K	385.409	216.531	15	270	30
7	WSD-FL101520W27-345K-D-S_200W_5000K	432.109	215.747	15	270	30
8	WSD-FL101520W27-345K-D-S_200W_5000K	478.808	214.964	15	270	30
9	WSD-HWP48729612W27-45K-D_120W_5000K	515.24	284.734	12	0	0
10	WSD-WP025W27-345K-D_25W	477.862	344.026	8	90	0
11	WSD-WP025W27-345K-D_25W	318.168	217.68	8	270	0
12	WSD-HWP48729612W27-45K-D_120W_5000K	297.188	346.384	12	90	0
13	WSD-HWP48729612W27-45K-D_120W_5000K	347.382	345.842	12	90	0
14	WSD-HWP48729612W27-45K-D_120W_5000K	397.576	345.299	12	90	0
15	WSD-HWP48729612W27-45K-D_120W_5000K	447.77	344.757	12	90	0
16	WSD-HWP48729612W27-45K-D_120W_5000K	497.964	344.215	12	90	0

Luminaire Tag Summary	
Tag	Qty
120W HWP	9
200W FL	5
25W WP	2

Project Details line 2 line 3 line 4	Company name Company address Address 2 Voice Number : Voice # Email
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Your Logo Goes Here



View of point by point

Project
Details
line 2
line 3
line 4

Company name

Company address

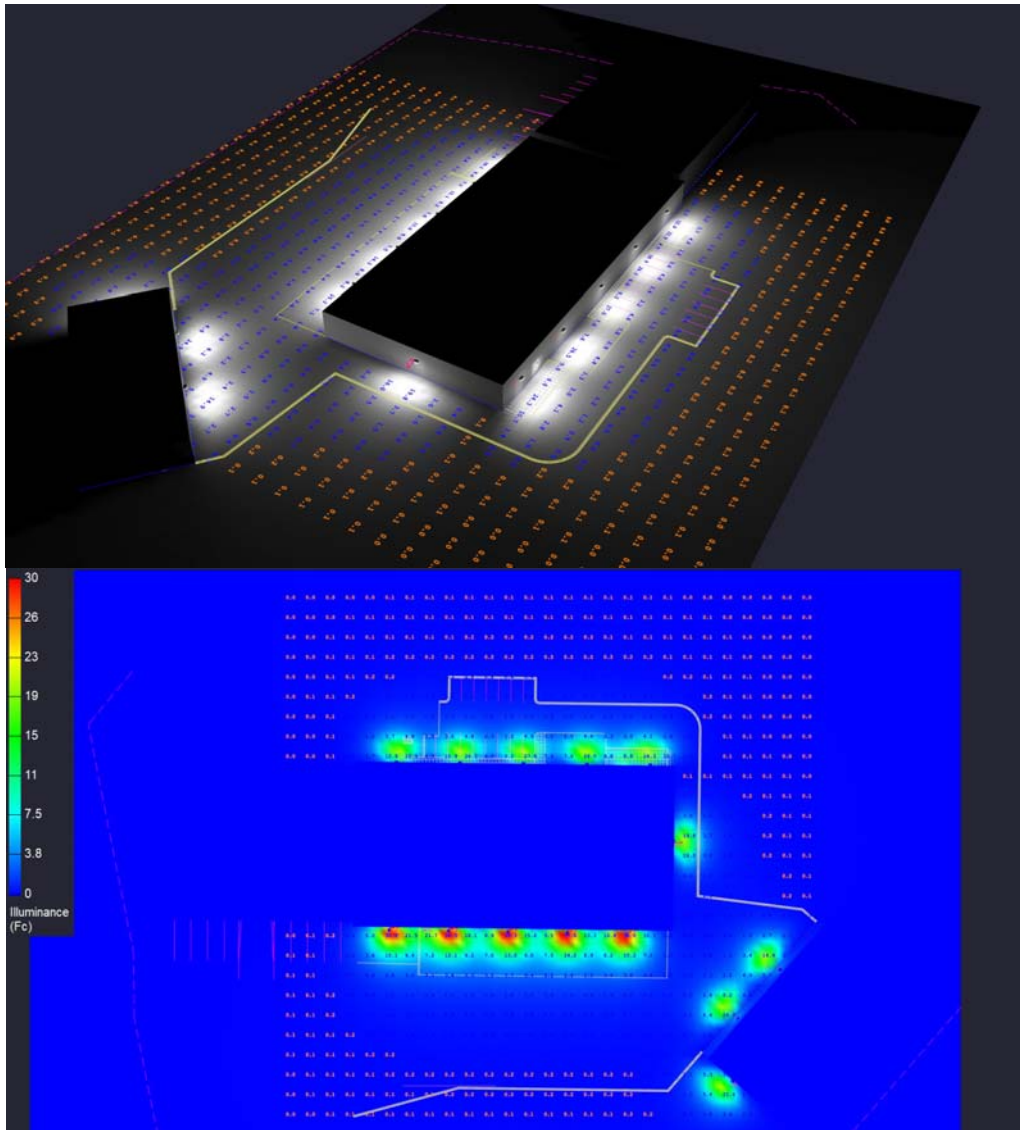
Address 2

Voice Number : Voice #

Email



Your Logo Goes Here



Project
Details
line 2
line 3
line 4

Company name
Company address
Address 2
Voice Number : Voice #
Email



Your Logo Goes Here



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KAUKAUNA, WISCONSIN 54130

PROPOSED ADDITION FOR:

PROSPERITY CENTER

101 E COUNTY RD JJ

CITY OF KAUKAUNA
OUTAGAMIE COUNTY

ISSUE RECORD:	
P1	12-18-24
P2	01-02-25
P3	04-07-25
P4	04-09-25
P5	05-12-25
P6	01-30-26

PH = PRELIMINARY PLAN
IFS = ISSUED FOR STATE REVIEW
IFC = ISSUED FOR CONSTRUCTION

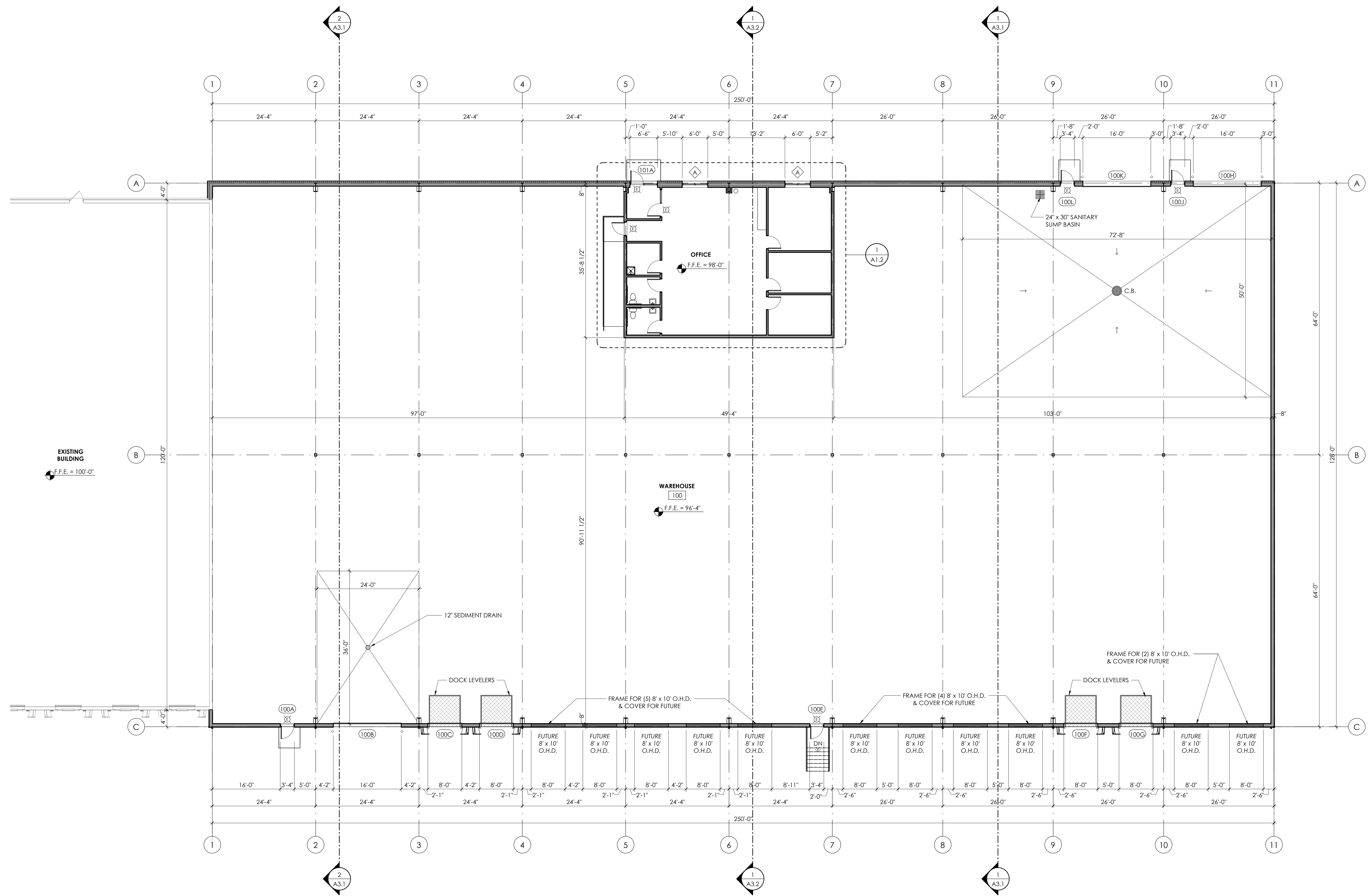
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PROJ. MGR: M. MASHLAN
DRAWN BY: AWS

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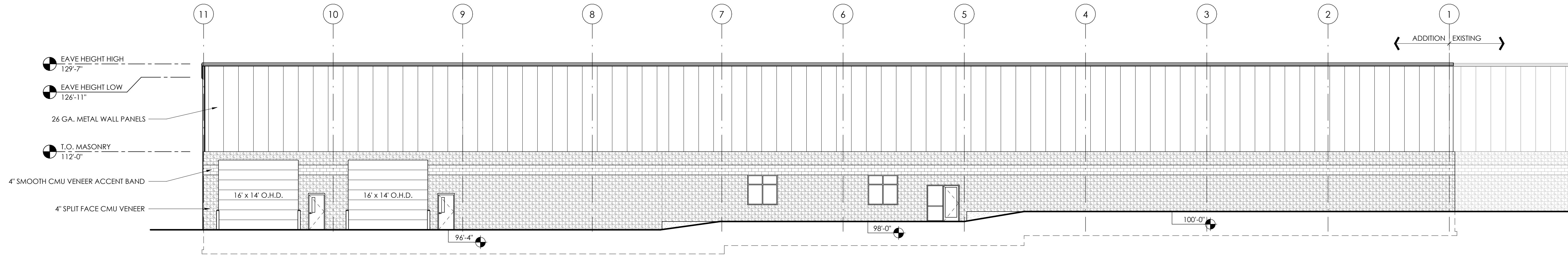
FLOOR PLAN

A1.1

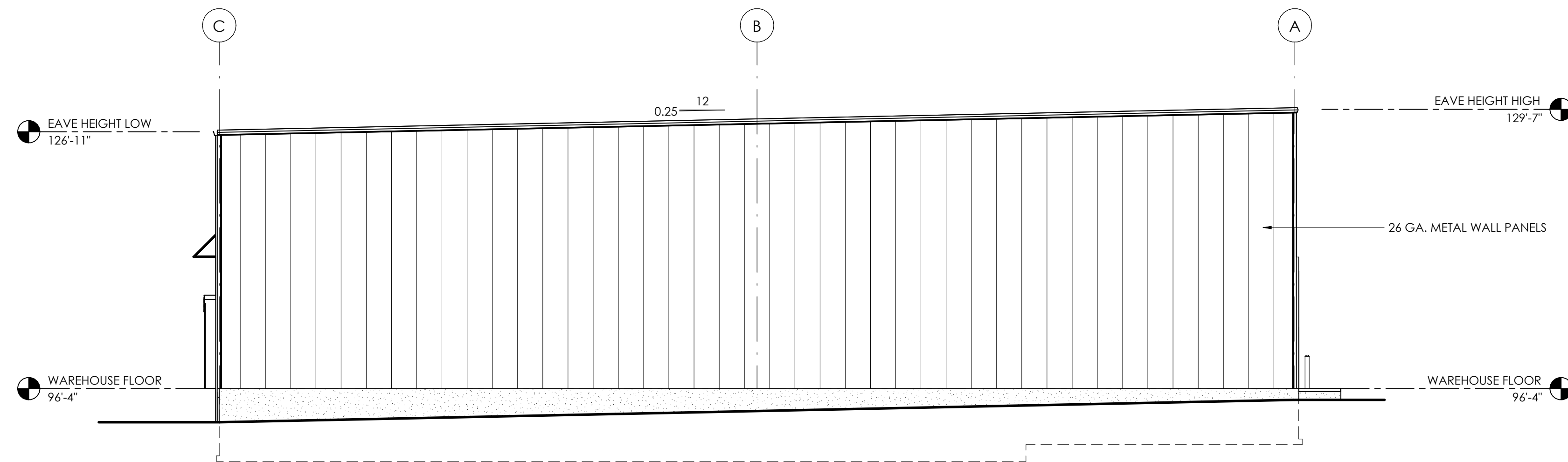
NOT FOR CONSTRUCTION



1 FLOOR PLAN
3/32" = 1'-0"
N
S
E
W

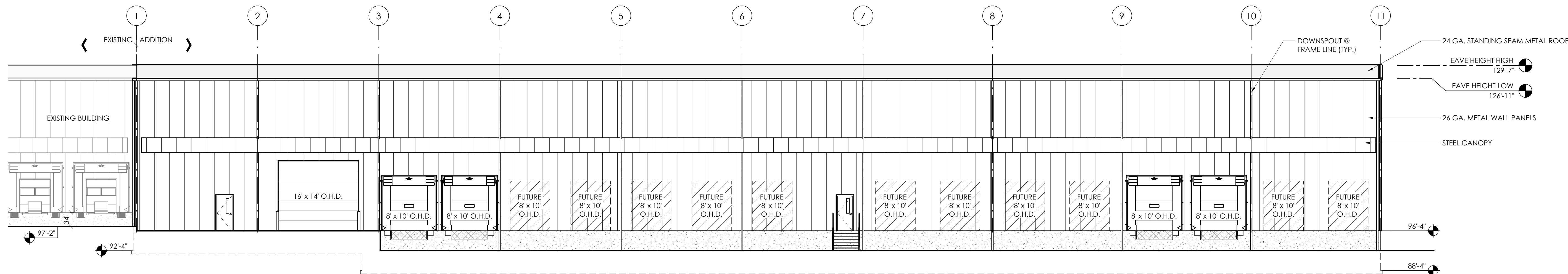


1 NORTH ELEVATION
3/32" = 1'-0"



COLORS:	
ROOF STEEL:	WHITE
WALL STEEL:	CHARCOAL
GUTTERS:	CHARCOAL
DOWNSPOUTS:	CHARCOAL
TRIMS:	CHARCOAL
SPLIT FACE CMU:	NATURAL
SMOOTH CMU:	WHITE
OVERHEAD DOORS:	WHITE
STEEL SERVICE DOORS:	WHITE
ALUMINUM DOORS & WINDOWS:	CLEAR ANODIZED

2 EAST ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

NOT FOR CONSTRUCTION



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission

From: John Neumeier, Director of Public Works and City Engineer
Adrienne Nelson, Associate Planner

Date: March 13, 2026

Re: Request for Vacating Easement – 1900 Tower Drive

Kaukauna Utilities (KU) has been working to upgrade power along the rear lot line of 1900 Tower Drive. The owner is making site upgrades and building additions which lead KU and the owner to also make upgrades to the utilities at the same time.

Currently, KU operates in a 6' wide utility easement in the rear yard. The utility easement is adjacent to a 15' wide railroad spur easement platted the city when first developing the Kaukauna Industrial Park. See attached sketch of the lot with easements. The rail spur was never installed in this area, and development of roads and buildings make the likelihood of a spur doubtful at best. The location of the RR spur easement would be beneficial to give KU and public utilities a reasonable width to install and maintain facilities. The City could also utilize the same area to improve drainage behind these businesses.

If this request is approved, the City and KU will look to work with additional property owners in the future to make this a consistent change through the corridor and to better serve the needs of the industrial park.

Recommendation:

Recommend approval of a resolution vacating the 15' railroad spur easement located at 1900 Tower Drive with the following condition:

- A utility and drainage easement agreement with the owner of 1900 Tower Drive is signed and recorded with Outagamie County.

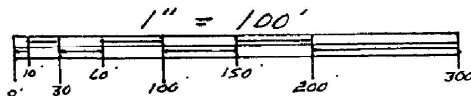
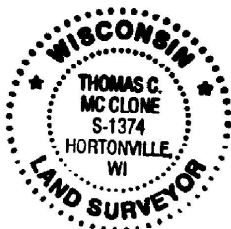
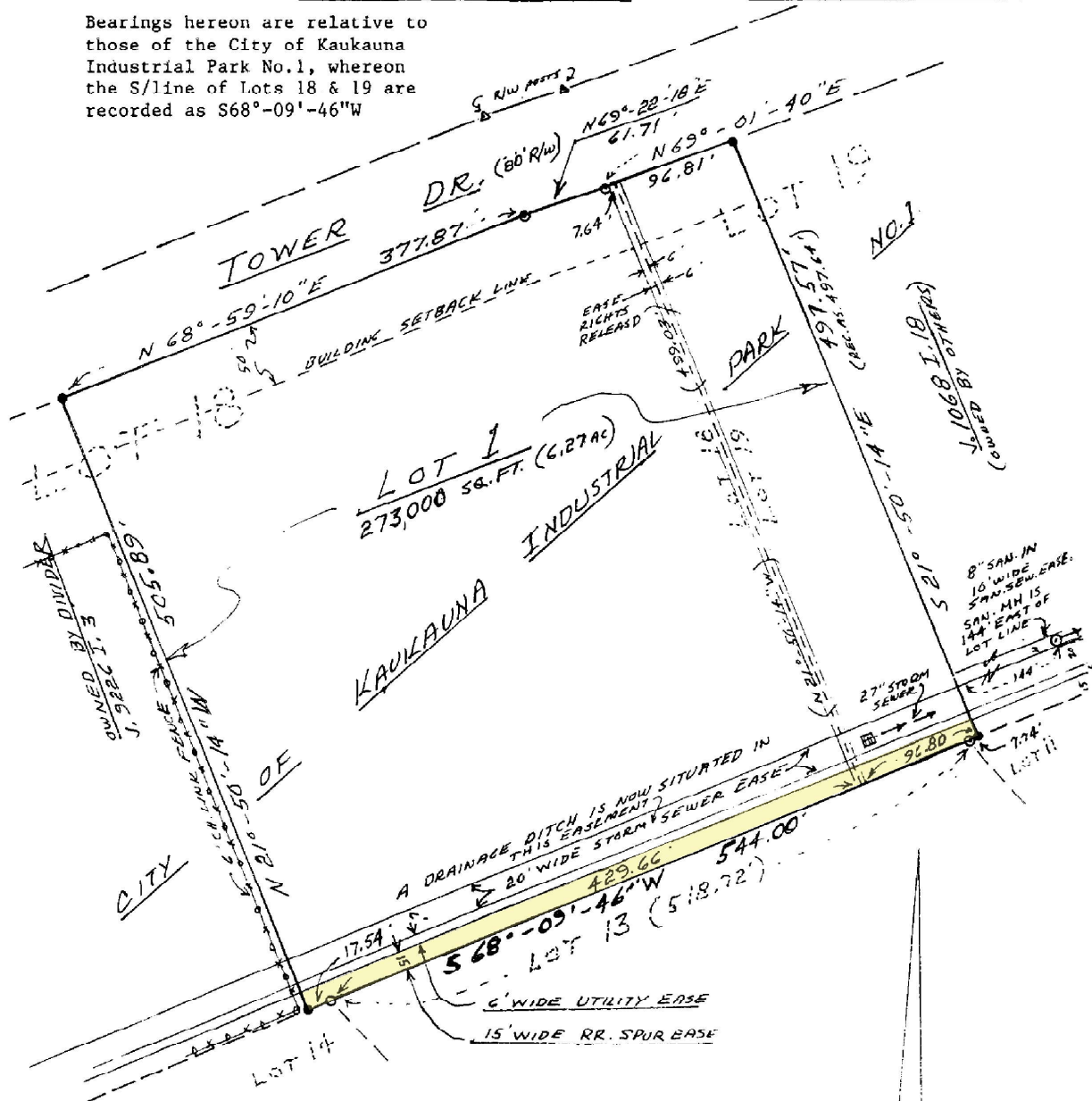
CERTIFIED SURVEY MAP 3313

Part of Lots 18 and 19 of City of Kaukauna Industrial Park No.1,
in the City of Kaukauna, Outagamie County, Wisconsin.

Present owner is: Overnite Transportation Company

A division of
Tax Parcel #32-2-0924

Bearings hereon are relative to
those of the City of Kaukauna
Industrial Park No.1, whereon
the S/line of Lots 18 & 19 are
recorded as S68°-09'-46"W



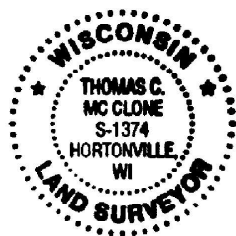
- O = existing 1" iron pipe
- = #6 rebar (set)
3/4" x 24" @ 1 1/2#/ft.

SURVEYED: SEPT, 1998

SURVEYOR'S CERTIFICATE

I, Thomas C. McClone, Wisconsin Land Surveyor #1374, hereby certify that I have surveyed, divided, mapped and monumented part of lots 18 and 19 of City of Kaukauna Industrial Park No. 1, City of Kaukauna, Outagamie County, Wisconsin, bounded by the following described line; Beginning on the S/line of Tower Drive at the NW corner of said Lot 19; then N69 -01'-40"E, along said S/line, 96.81' to the W/line of lands described in J.1068 I.18; then S21 -50'-14"E, along said W/line, 497.57' (recorded as 497.64'), to the SW corner of same lands on the S/line of said Lot 19; then S68 -09'-46"W, along said S/line, 96.80' to the SE corner of said Lot 18; then S68 -09'-46"W, along the S/line of said Lot 18, a distance of 447.24'; then N21 -50'-14"W 505.89' to the S/line of Tower Drive; then N68 -59'-10"E, along said S/line, 377.87' to an angle in same; then N69 -22'-18"E, continuing along said S/line, 61.71' to another angle point; then N69 -01'-40"E continuing along said S/line, 7.64' to the point of beginning. Bounding a tract of 273,000 sq.ft. (6.27 acres)

I further certify that I have made this survey and division at the request and direction of Mark Washatka, the pending grantee of this subject Lot 1, with the full knowledge and approval of the present owner, same being OVERNITE TRANSPORTATION COMPANY, a Virginia Corp.; That as to, and for said owner, I've accurately surveyed, described, and monumented (#6 rebars) the boundary and corners of this subject lot; that said boundary is correctly described and depicted hereon; and that I've complied with the provisions of Chapter 236.34 of the Wisconsin Statutes together with relative City of Kaukauna regulations in surveying and mapping this tract.



Thomas C. McClone 9/26/98
 Thomas C. McClone R.L.S. #1374
 P.O. Box #358
 Hortonville, Wi. 54944

This C.S.M. has gained all necessary approvals and is hereby accepted by the Common Council of the City of Kaukauna this 6th day of October, 1998.

John Lambie
 Mayor: John Lambie

Susan J. Duda
 Clerk: Susan Duda

DOC. # **1293332**

RECEIVED FOR FILING THIS 7TH DAY OF OCTOBER 1998 AT 3:00 P.M.
 AND FILED IN VOLUME 17 OF CERTIFIED SURVEY MAPS ON PAGE 3313 AS
 NUMBER 3313.

Sharon Herb
 Register of Deeds