

INDUSTRIAL PARK COMMISSION

City of Kaukauna
Hydro View Room
Municipal Services Building
144 W. Second Street, Kaukauna



Wednesday, March 04, 2026 at 3:30 PM

AGENDA

In-Person in Hydro View Room, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. [Approve Minutes from November 18, 2025](#)
3. Old Business.
4. New Business.
 - a. [Site Plan Review - Prosperity In LLC \(101 E County Road JJ\)](#)
5. Other Business.
 - a. IPC Vacancies
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



INDUSTRIAL PARK COMMISSION

City of Kaukauna

Hydro View Room

Municipal Services Building

144 W. Second Street, Kaukauna



Tuesday, November 18, 2025 at 3:30 p.m.

MINUTES

In-Person in Hydro View Room

Avanzi called the meeting to order at 3:31 p.m.

1. Roll Call

Members Present: Michael Avanzi, Dale Eggert, Glen Schilling, John Sundelius (Virtual), Nick Rieth

Member(s) Absent: Ryan Gaffney, Mike Vandenberg, Tony Nytes

Other(s) Present: Planning and Community Development Director Dave Kittel, Associate Planner Adrienne Nelson, Representative from Straightline Refrigeration

Schilling made a motion to excuse the absent members. Seconded by Rieth. The motion passed unanimously.

2. Approval of Minutes

a. Approve Minutes from September 3, 2025

Schilling made a motion to approve the minutes from September 3, 2025. Seconded by Eggert. The motion passed unanimously.

3. Old Business

a. None

4. New Business

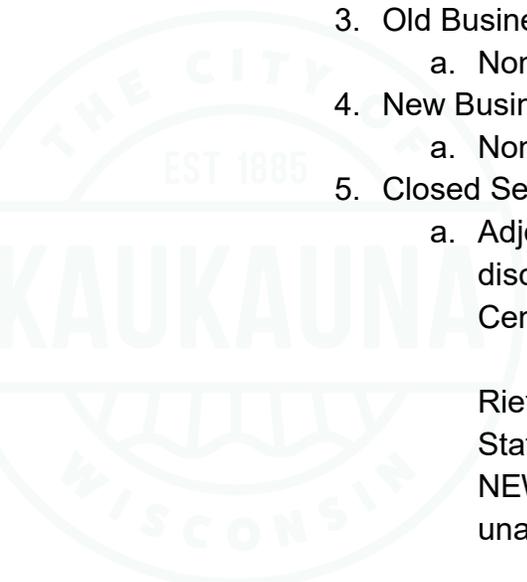
a. None

5. Closed Session

a. Adjourn to Closed Session per Wisconsin State Statute 19.85(1)(e) to discuss the disposition of public property – Lot 7 NEW Prosperity Center

Rieth made a motion to adjourn to Closed Session per Wisconsin State Statute 19.85(1)(e) to discuss the disposition of public property – Lot 7 NEW Prosperity Center. Seconded by Eggert. The motion passed unanimously. Closed session entered at 3:37 p.m.

Vandenberg entered the meeting at 3:44 p.m.



b. Return to Open Session for possible action

Schilling made a motion to return to Open Session for possible action. Seconded by Eggert. The motion passed unanimously. Open session entered at 4:00 p.m.

Nieth made a motion to direct staff to create a development agreement to sell the lot at a reduced value and to come back before the Industrial Park Commission for final recommendation on the agreement and final recommendation on the site plan. Seconded by Eggert. The motion passed unanimously.

6. Adjourn

Avanzi made a motion to adjourn. Seconded by Vandehey. The motion passed unanimously. Adjourned at 4:04 p.m.





MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Industrial Park Commission
From: Adrienne Nelson, Associate Planner
Date: February 27, 2026
Re: Site Plan Review – Prosperity In LLC (101 E County Road JJ)

Prosperity In LLC began construction on this commercial warehouse and office space, which is currently being utilized by Bimbo Bakeries USA, back in late 2024/early 2025. Now that their Phase 1 of the building is complete, they have submitted their site plan for the planned Phase 2 expansion. This project will add an additional 12,628.1 square feet to their existing building as well as an additional 15 parking spaces.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial District (IND) and New Prosperity Center covenants are being met and all ordinances are being complied with to include zoning requirements. The current Prosperity Inc LLC building has a height of 30' and the height of the addition will be the same. There are currently 50 off-street parking spaces, and they will be adding an additional 15 for a total of 65 off-street parking spaces.

Landscape: [17.52 Landscaping Requirements](#)

Seventeen trees will be added to the front yard, ensuring compliance with all landscaping requirements for the New Prosperity Center covenants and City ordinances.

Lighting:

No concerns with lighting at this time.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has received approval from the Engineering Department.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations do not meet façade requirements laid out in the New Prosperity Center's [protective covenants](#). Per section eight of the protective covenants:

“Buildings, including sheds or out-buildings, shall be completed with each side of the building in decorative masonry, textured pre-fabricated concrete, smooth concrete finish, or other textured non-metallic surface as approved by the Commission. Exemptions may be made for decorative bands not exceeding four (4) feet in width, windows, door treatments, loading docks, and dock doors. An exemption may also be made for sides of buildings designated for future expansions provided such building side are treated with spray-on textured finish to imitate a non-metallic surface. This exemption may apply to office areas as approved by the Commission if attached as part of an industrial building as to duplicate a flat textured surface. Paint is not a substitute.”

The façade being proposed, however, would be identical to the existing building with a mixture of split block and metal R Panel. Metal siding, although against the protective covenants, has been approved in the past for buildings with overhead doors because veneers and masonry can crumble in these sections and decrease the appearance of the building. Please see the below links to past minutes for information on exceptions that have been made for facades in the New Prosperity Center:

- [Klink Equipment Façade Exception](#)
- [Prosperity In LLC Façade Exception](#)
- [Prosperity In LLC Façade Change Request](#)

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- **The façade plan must be updated to include 50% masonry on the east facing wall.**





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Prosperity In LLC	Name:
Mailing Address: N1213 Mayflower Dr. Greenville, WI 54942	Mailing Address:
Phone: [REDACTED]	Phone:
Email: [REDACTED]	Email:

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Phase 2 - 1 additional commercial building with parking.	
Property Parcel (#): 322113200	
Site Address/Location: 101 E County Road JJ Kaukauna, WI 54130	
Current Zoning and Use: IND	
Proposed Zoning and Use: IND - Warehousing	
Existing Gross Floor Area of Building: 19,496.9 sqft	Proposed Gross Floor Area of Building: 32,125 sqft
Existing Building Height: 30'	Proposed Building Height: 30'
Existing Number of Off-Street Parking Spaces: 50	Proposed Number of Off-Street Parking Spaces: 15+50 = 65
Existing Impervious Surface Coverage Percentage: 17.2	Proposed Impervious Surface Coverage Percentage: 44.0

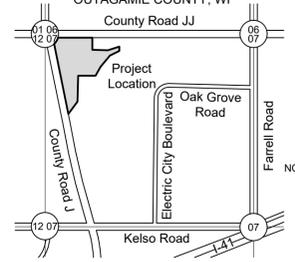
I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: *[Signature]*

Owner/Agent Name (printed): JAMES VAN LINDEN Managing Member

LOCATION MAP

NW 1/4 SEC 7, T 21 N, R 19 E,
CITY OF KAUKAUNA
OUTAGAMIE COUNTY, WI



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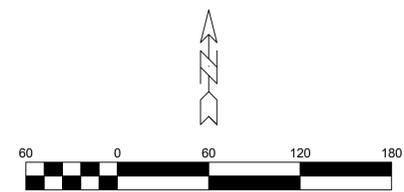
SITE PLAN

County Road J & JJ Warehouse
City of Kaukauna, Outagamie County, WI
For: Fox Valley Storage

SHEET INDEX:

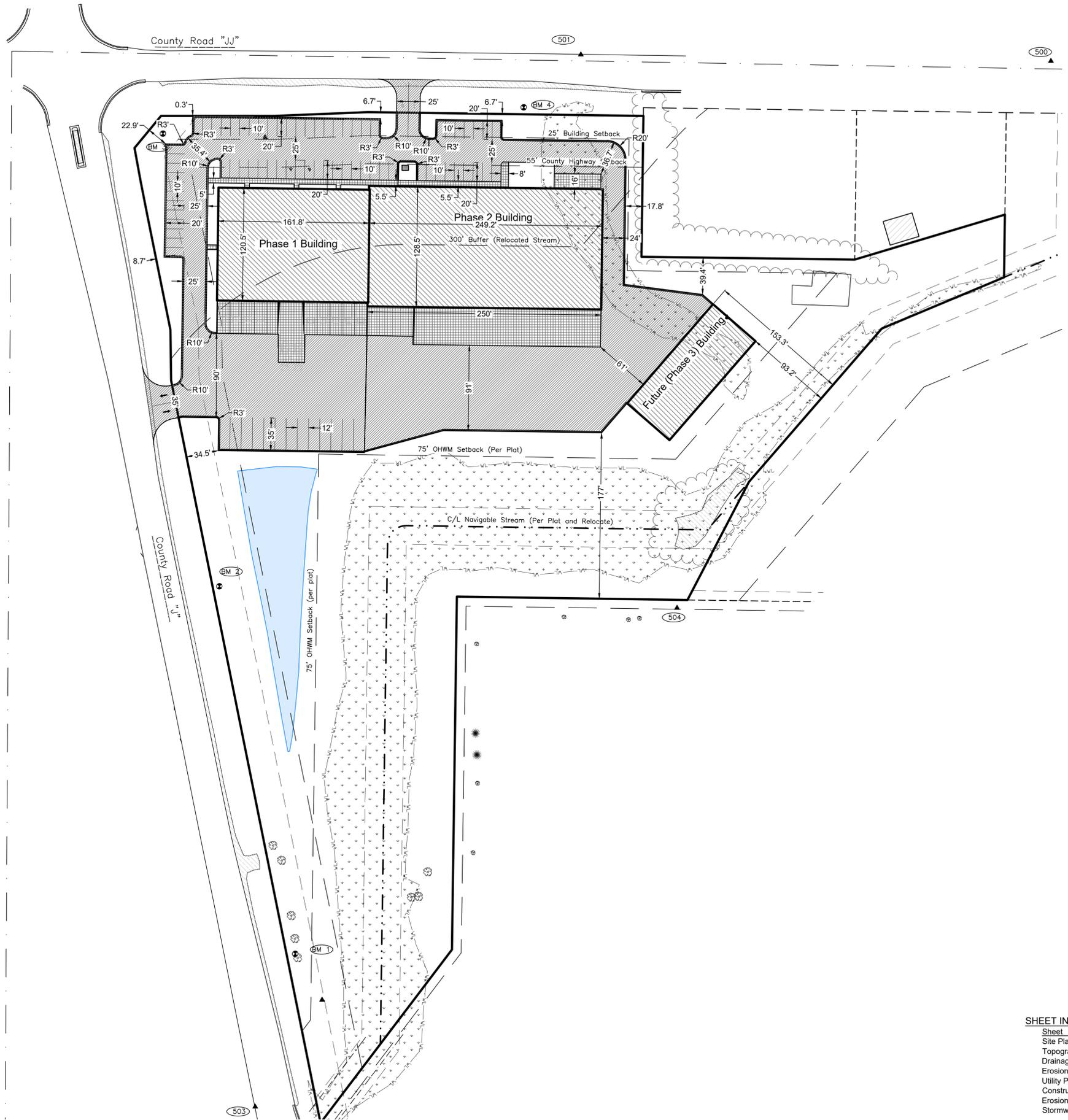
Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage and Grading Plan	C1.2
Erosion & Sediment Control Plan	C1.3
Utility Plan	C1.4
Construction Details	C2.1
Erosion & Sediment Control Details	C2.2
Stormwater Pond Details	C2.3

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Filename:	8385Engr.dwg
Author:	TNW
Last Saved by:	jennifer
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LEGEND

	Overhead Utility Lines		Sanitary MH / Tank / Base		Post / Guard Post
	Sanitary Sewer (Pipe Size)		Hydrant		Deciduous Tree
	Treeline		Utility Valve		Coniferous Tree
	Culvert		Utility Pole		Benchmark
	Index Contour - Existing		Guy Wire		Asphalt Pavement
	Intermediate Contour - Existing		Delineated Wetlands - Davel 2024		Concrete Pavement
	Proposed Building		Proposed Asphalt		Proposed Concrete
	Proposed Gravel				



Sanitary Structures						
Structure	#	Rim	Inv	Size	Material	Direction
MH	1	705.05	686.86	8"	PVC	SE
MH	2	702.75	685.80	8"	PVC	NW
			685.80	8"	PVC	SE
MH	3	700.29	684.11	8"	PVC	NW
			684.11	8"	PVC	SE

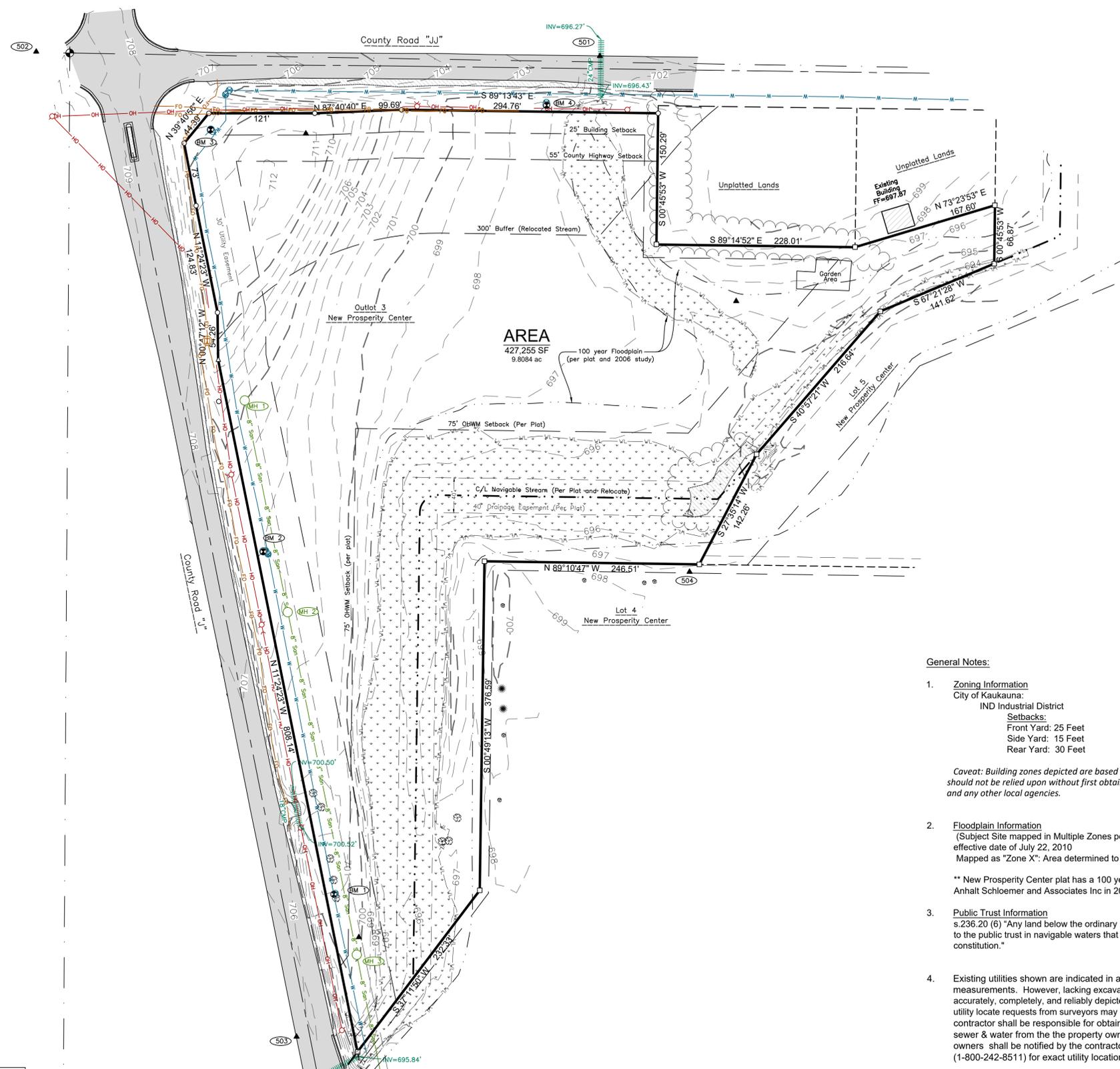
BENCHMARKS (Datum NAVD88)

- BM 0 NGS Benchmark
PID - PN0644, Designation - TT 13 MF
Elev 695.39'
- BM 1 Fire Hydrant, Tag Bolt
±55' NE of CTH "J" Centerline
Elev 703.03'
- BM 2 Fire Hydrant, Tag Bolt
±55' NE of CTH "J" Centerline, ±400' NW of BM 1
Elev 705.77'
- BM 3 Fire Hydrant, Tag Bolt
±130' SE of CTH "J" & CTH "JJ" Intersection
Elev 710.86'
- BM 4 Fire Hydrant, Tag Bolt
±55' S of CTH "JJ" Centerline, ±400' E of BM 3
Elev 699.95'

Horizontal Control			
PN8385 - (City of Kaukauna)			
2024-06-17			
Davel Engineering and Environmental			
Horizontal Control (per Outagamie County Coordinate System)			
Point Number	Northing	Easting	Description
500	581905.93	868911.41	CPT MAG
501	581912.87	868408.71	CPT MAG
502	581918.07	867761.70	CPT MAG
503	580790.26	868060.49	CPT MAG
504	581322.40	868511.60	CPT HUB



LEGEND			
	Overhead Utility Lines		Sanitary MH / Tank / Base
	Sanitary Sewer (Pipe Size)		Hydrant
	Treeline		Utility Valve
	Culvert		Utility Pole
	Index Contour - Existing		Guy Wire
	Intermediate Contour - Existing		Post / Guard Post
	Delineated Wetlands - Davel 2024		Deciduous Tree
			Coniferous Tree
			Benchmark
			Asphalt Pavement
			Concrete Pavement
			Gravel



General Notes:

- Zoning Information**
City of Kaukauna:
IND Industrial District
Setbacks:
Front Yard: 25 Feet
Side Yard: 15 Feet
Rear Yard: 30 Feet

Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the City of Kaukauna and any other local agencies.
- Floodplain Information**
(Subject Site mapped in Multiple Zones per FIRM Map No. 55087C0334 & 55087C0353D with an effective date of July 22, 2010
Mapped as "Zone X": Area determined to be outside the 0.2% annual chance floodplain.

** New Prosperity Center plat has a 100 year Floodplain line mapped per Study done by Graef Anhalt Schloemer and Associates Inc in 2006.
- Public Trust Information**
s.236.20 (6) "Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

Dial 811 or (800) 242-8511
www.DiggersHotline.com

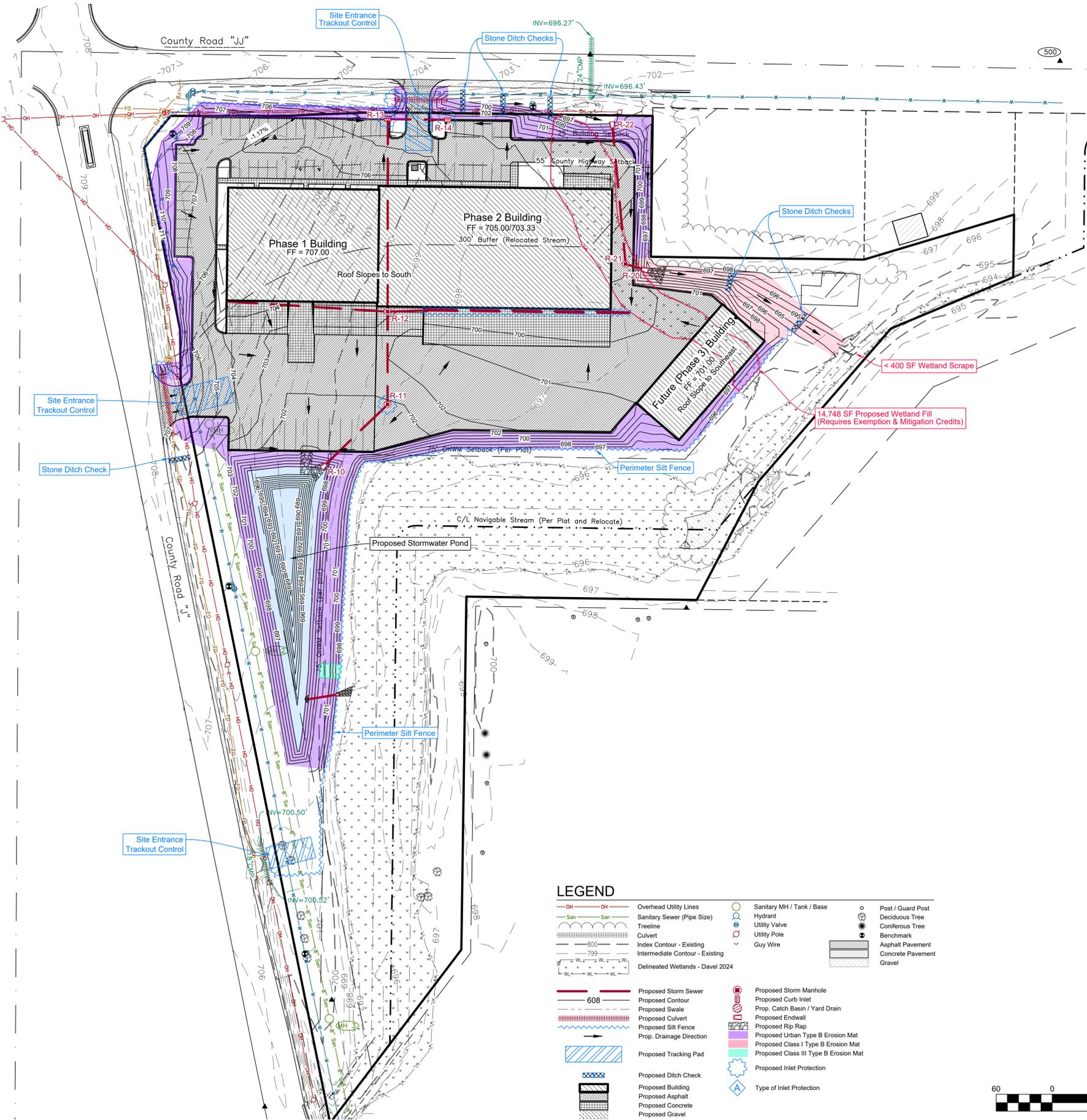
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TOPOGRAPHIC SURVEY

County Road J & JJ Warehouse
 City of Kaukauna, Outagamie County, WI
 For: Fox Valley Storage

Date: 01/12/2026
 Filename: 8385Surface.dwg
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Planned Sediment and Erosion Control Practices
 All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

Soil Survey Description
 Manawa silty clay loam units are situated in drainageways over clayey till or calcareous, dense clayey till. The unit is somewhat poorly drained with a water table of about 7-24 inches.
 Winneconne silty clay loam units are situated on lake plains over calcareous clay lacustrine deposits. The units are well drained with water a water table of more than 80 inches.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm sewer inlets and storm water pond.
- 2) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6-inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
 - i) along the site perimeter where runoff will leave the site, per plan.
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - iii) as slope interruption within the development, spacing per Technical Standard.
 - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat is required per plan and if field conditions warrant.
 - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding and fertilization shall be in accordance with City of Kaukauna Standard Specifications.**
- 3) Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. **All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062 and all manufacturer specifications.** Ditch Checks will be used where indicated on the plan. Additional ditch checks may be required in areas where erosion is occurring.
- 4) Track out Control - Intended to reduce the amount of sediment transported onto public roads or offsite access points. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** Trackout controls will be constructed at the site entrances as indicated on the plan.
- 5) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
- 6) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** The use of geotextile bags is required to prevent sedimentation with a stable discharge to adjacent storm sewer inlet. **The bags shall meet the requirements of DNR Technical Standard 1061.** Upon completion of the dewatering operation, all materials must be disposed of properly in accordance with all state and local requirements.
- 7) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No waste material is allowed to enter the storm sewer system or receiving waters.
- 8) Sediment Basin - The proposed pond is not large enough to serve as a sediment basin per Technical Standard 1064. However, the pond will provide additional sediment removal once construction, if inadequate sediment storage is available the accumulated sediment shall be removed and disposed of according to the Operation and Maintenance Plan.

- Sequence of Construction (Phase 1)**
- 1) Obtain plan approval and other applicable permits.
 - 2) Install & maintain sediment control measures. November 2024
 - 3) Remove Topsoil and install intermediate silt fences. November 2024
 - 4) Construction stormwater pond. December 2024.
 - 5) Mass grading and building foundation. December 2024.
 - 6) Install storm sewer and gravel base. December 2024.
 - 7) Dormant seed and mulch the fill slope east of the improvement area and the pond slopes. December 2024.
 - 8) Construct Building. January - April 2025
 - 9) Install pavements and final landscaping. May 2025.
- Remove all temporary sediment control measures after 70-percent vegetative cover is established. Water if necessary to establish healthy and well rooted vegetation.

Maintenance Plan
 The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to or the DNR website for a template: <https://dnr.wisconsin.gov/topic/Stormwater/construction/forms.html>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the City of Kaukauna.

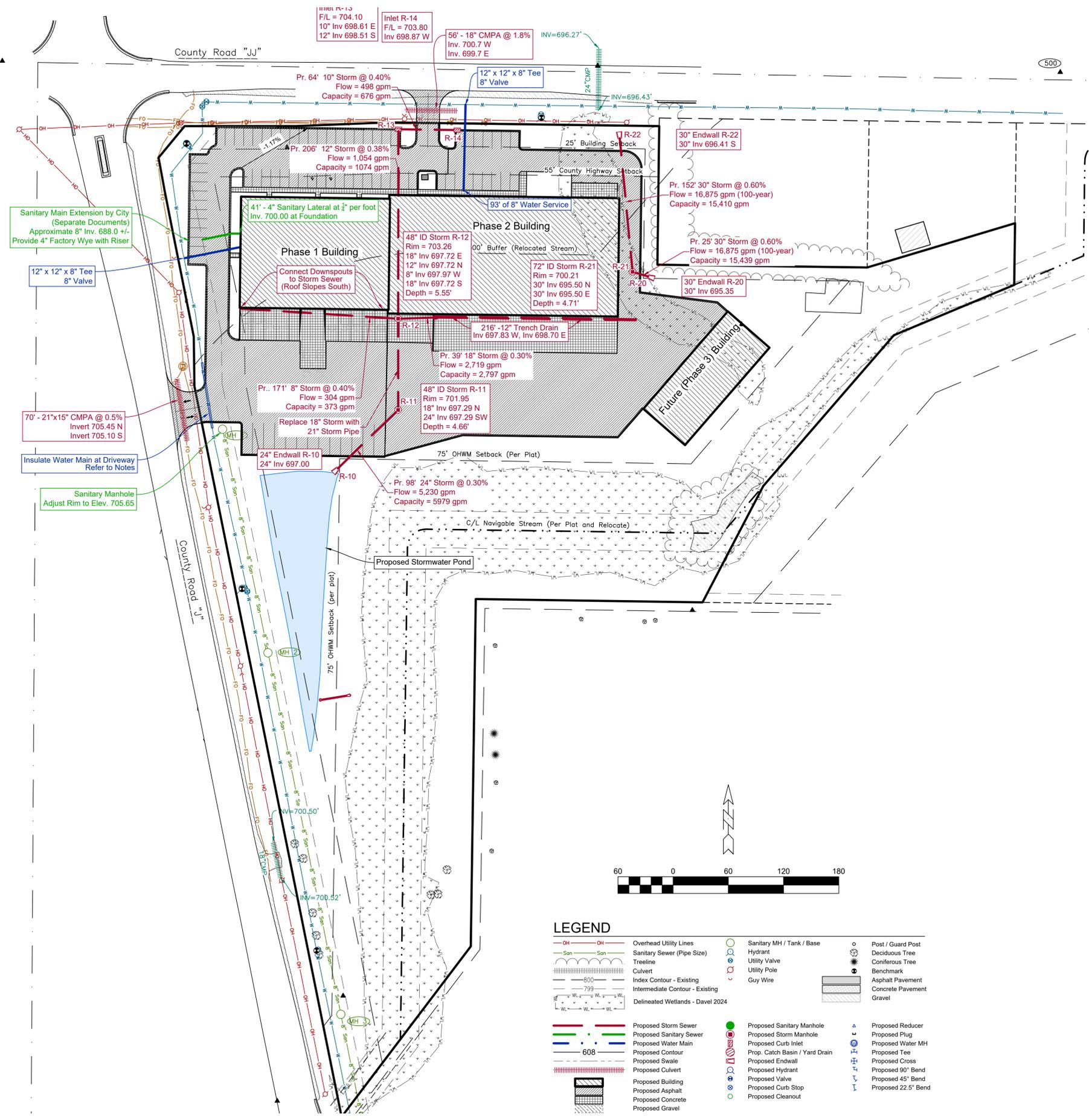
Responsible Parties
Best Management Practices (BMPs) Construction and Maintenance:
 To be Determined (TBD)
BMP Inspection and Compliance Enforcement
 City of Kaukauna
 Wisconsin Department of Natural Resources

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EROSION & SEDIMENT CONTROL PLAN

County Road J & JJ Warehouse
 City of Kaukauna, Outagamie County, WI
 For: Fox Valley Storage

Date: 01/12/2026
 Filename: 8385Engr.dwg
 Author: TNW
 Last Saved by: jennifer
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Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and the Standard Specifications of the City of Kaukauna (sewers) and Kaukauna Utilities (water). Insulate watermain with 2-inch extruded polystyrene foam across the driveway section per plan.

Roadways shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

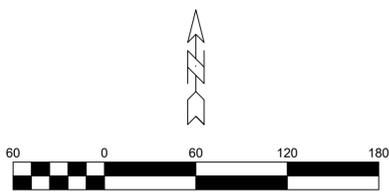
The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.



LEGEND

Overhead Utility Lines	Sanitary Sewer (Pipe Size)	Sanitary MH / Tank / Base	Post / Guard Post
Treeline	Culvert	Hydrant	Deciduous Tree
Index Contour - Existing	Delineated Wetlands - Davel 2024	Utility Valve	Coniferous Tree
Intermediate Contour - Existing		Utility Pole	Benchmark
Proposed Storm Sewer	Proposed Sanitary Manhole	Guy Wire	Asphalt Pavement
Proposed Sanitary Sewer	Proposed Storm Manhole	Proposed Reducer	Concrete Pavement
Proposed Water Main	Proposed Curb Inlet	Proposed Plug	Gravel
Proposed Contour	Prop. Catch Basin / Yard Drain	Proposed Water MH	
Proposed Swale	Proposed Endwall	Proposed Tee	
Proposed Culvert	Proposed Hydrant	Proposed Cross	
Proposed Building	Proposed Valve	Proposed 90° Bend	
Proposed Asphalt	Proposed Curb Stop	Proposed 45° Bend	
Proposed Concrete	Proposed Cleanout	Proposed 22.5° Bend	
Proposed Gravel			

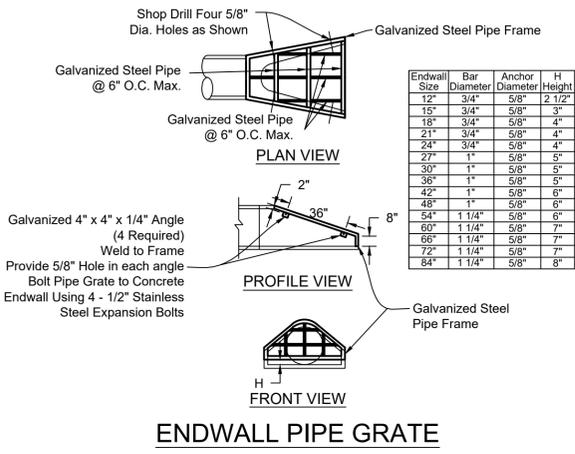
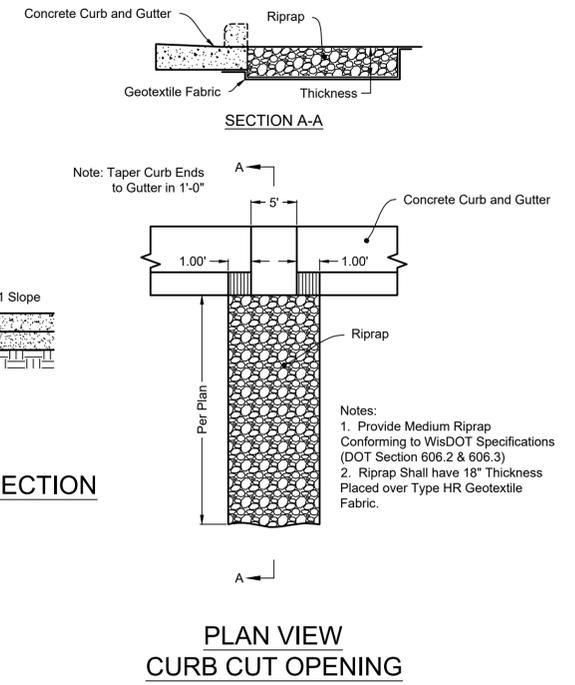
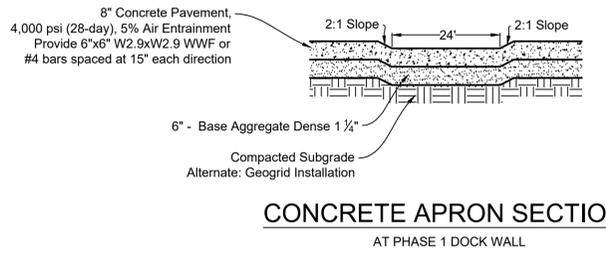
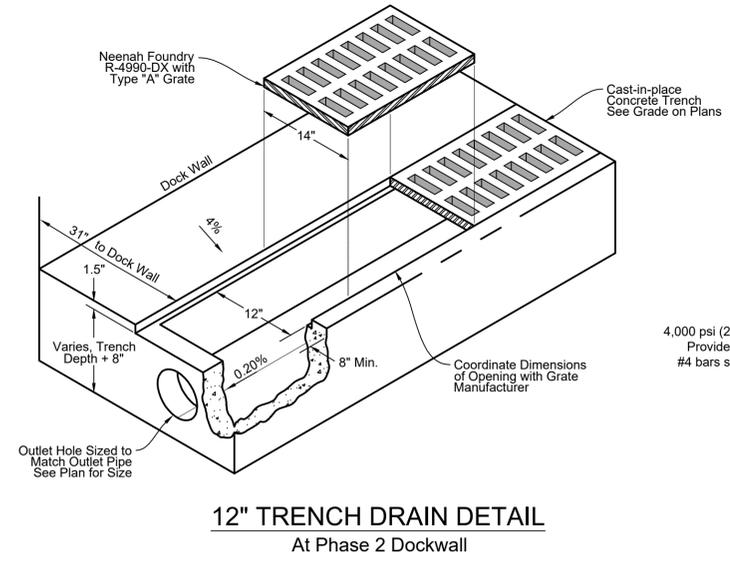
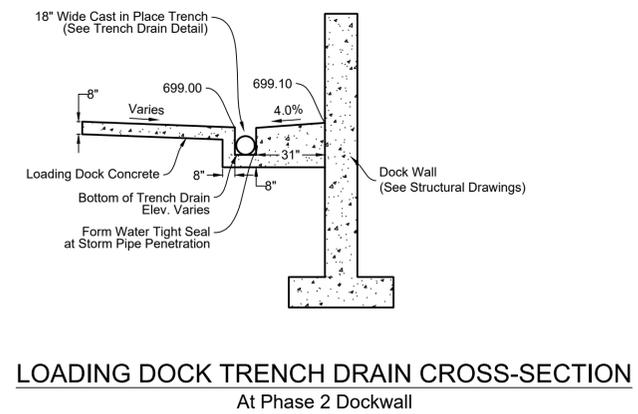
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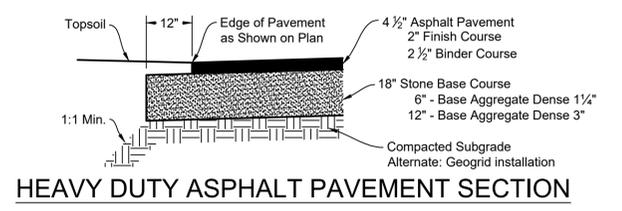
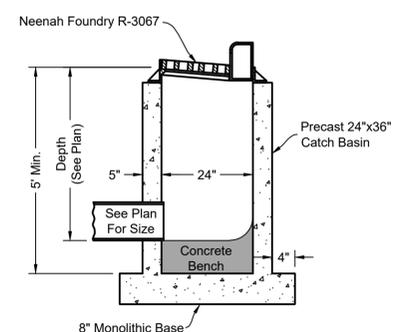
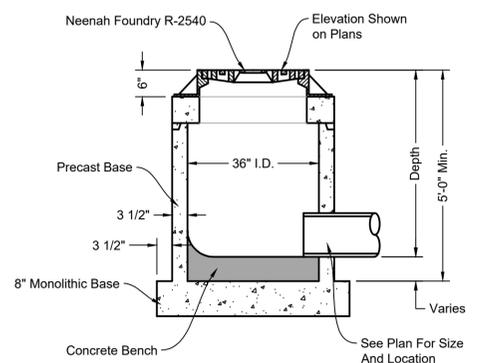
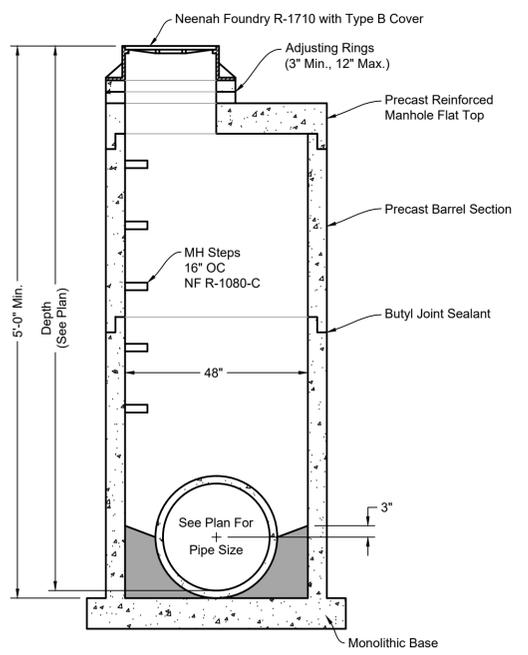
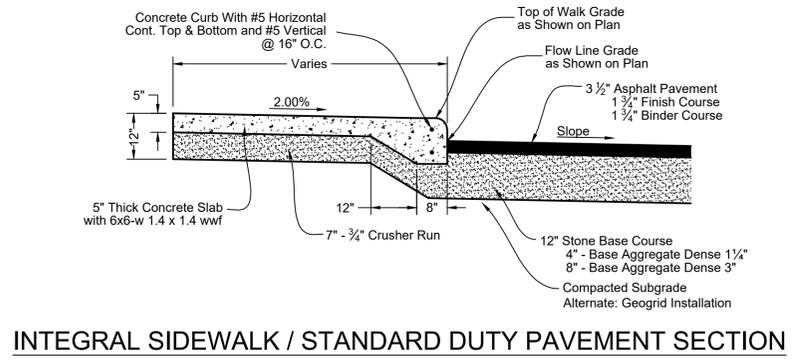
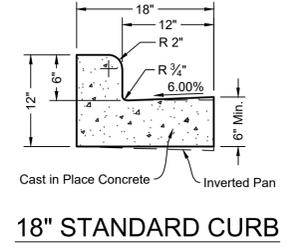
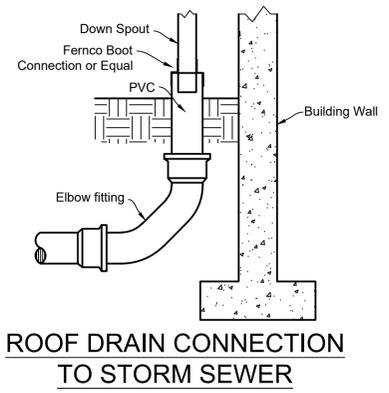
UTILITY PLAN

County Road J & JJ Warehouse
 City of Kaukauna, Outagamie County, WI
 For: Fox Valley Storage

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Last Saved by:	jennifer
Page:	C1.4

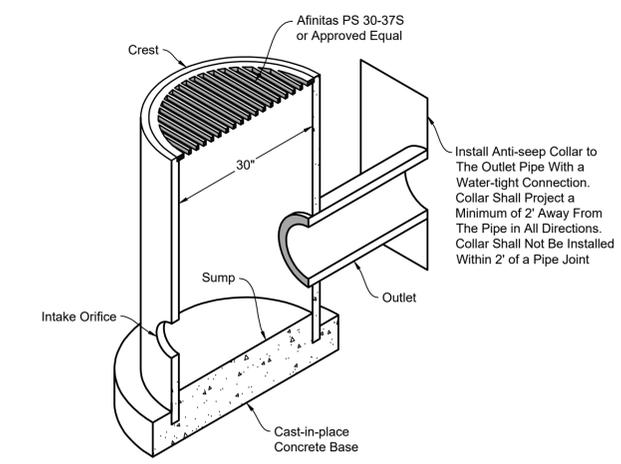
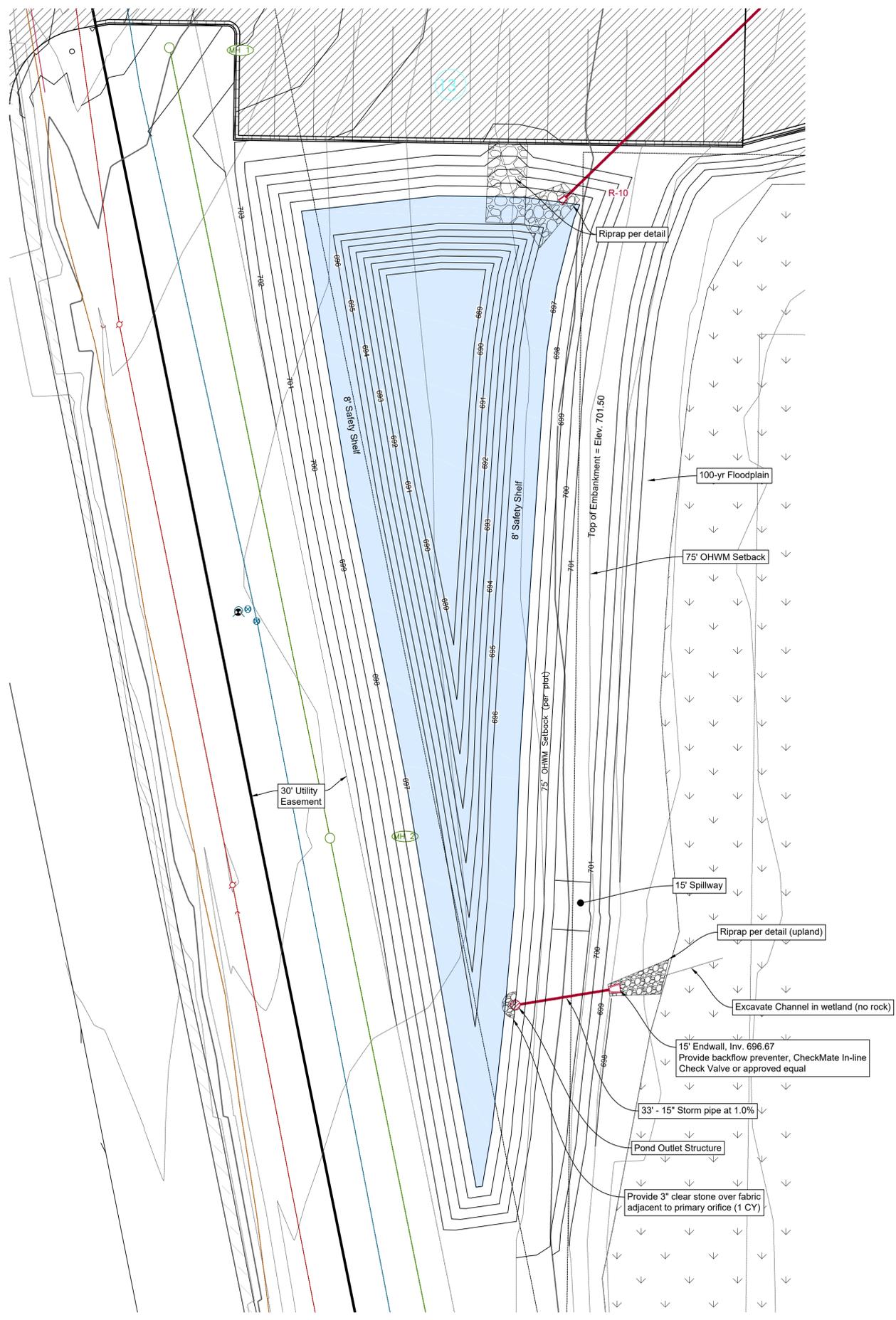


Note: Provide 24" trench (R-4990-HX) width at 18" pipe connection, transition to 12" trench width.

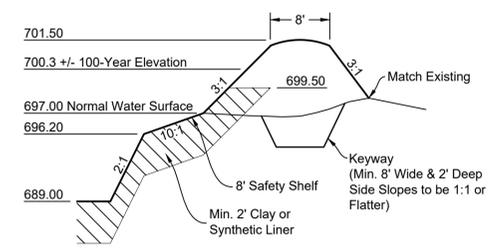
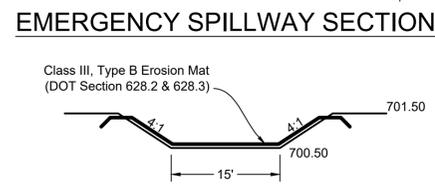
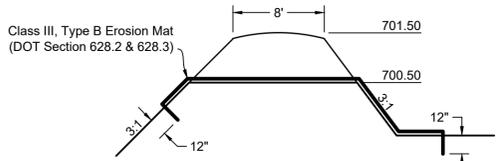


STORMWATER POND DETAIL

County Road J & JJ Warehouse
 City of Kaukauna, Outagamie County, WI
 For: Fox Valley Storage

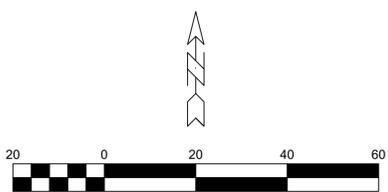


Outlet Size, in	15
Invert	697.00
Slope (%)	1.00
Intake orifice Size, in	4
Invert	697.00
Crest Elevation	699.50
Sump Elevation	696.50
Base Elevation	693.00



Pond Notes:

- The base of the embankment shall be stripped of all vegetation, stumps, topsoil and other matter. Stripping shall be to a minimum of 6 inches. Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 5% to account for settling.
- All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or flatter.
- Topsoil shall be spread on all disturbed areas, except for elevations below the normal water, as work is completed. The minimum depth of topsoil shall be 4 inches.
- All areas disturbed by pond construction shall be seeded as work is completed. Pond side slopes above permanent pool shall be temporarily seeded with annual rye or oats immediately after pond is "roughed in." This will require topsoil application. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction. DOT Class 1, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
- Riprap at all inflow points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 606.2 & 606.3)
- Any rock encountered shall be excavated to a depth two feet deeper than the proposed pond grade.
- The pond shall be constructed with a Type B Liner with the following WDNR specifications (Wet Detention Pond Technical Standard 1001). Liners include; Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria.
 Clay liners specifications are as follows:
 - 50% fines (200 sieve) or more.
 - Hydraulic conductivity of 1 x 10-6 cm/sec or less.
 - Average liquid limit of 16 or greater, with no value less than 14.
 - Average PI of 7 or more, with no values less than 5.
 - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
 - Minimum thickness of 2 feet.
 - If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1 x 10-6 cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.
 HDPE liner specifications are as follows:
 - Minimum thickness of 40 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
 PPL liner Specifications are as follows:
 - Minimum thickness of 30 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.
- Any pond fountain or aeration device shall comply with conditions of DNR Technical Standard 1001 Section V.B.2.k.





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Custom Landscaping
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LANDSCAPE ARCHITECTURE
DEVELOPMENT
CONSTRUCTION
AWARD WINNING DESIGN
AND INSTALLATION

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APPLETON, WI 54915-9464
PHONE 920-733-8223
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WWW.SCHMALZLANDSCAPING.COM

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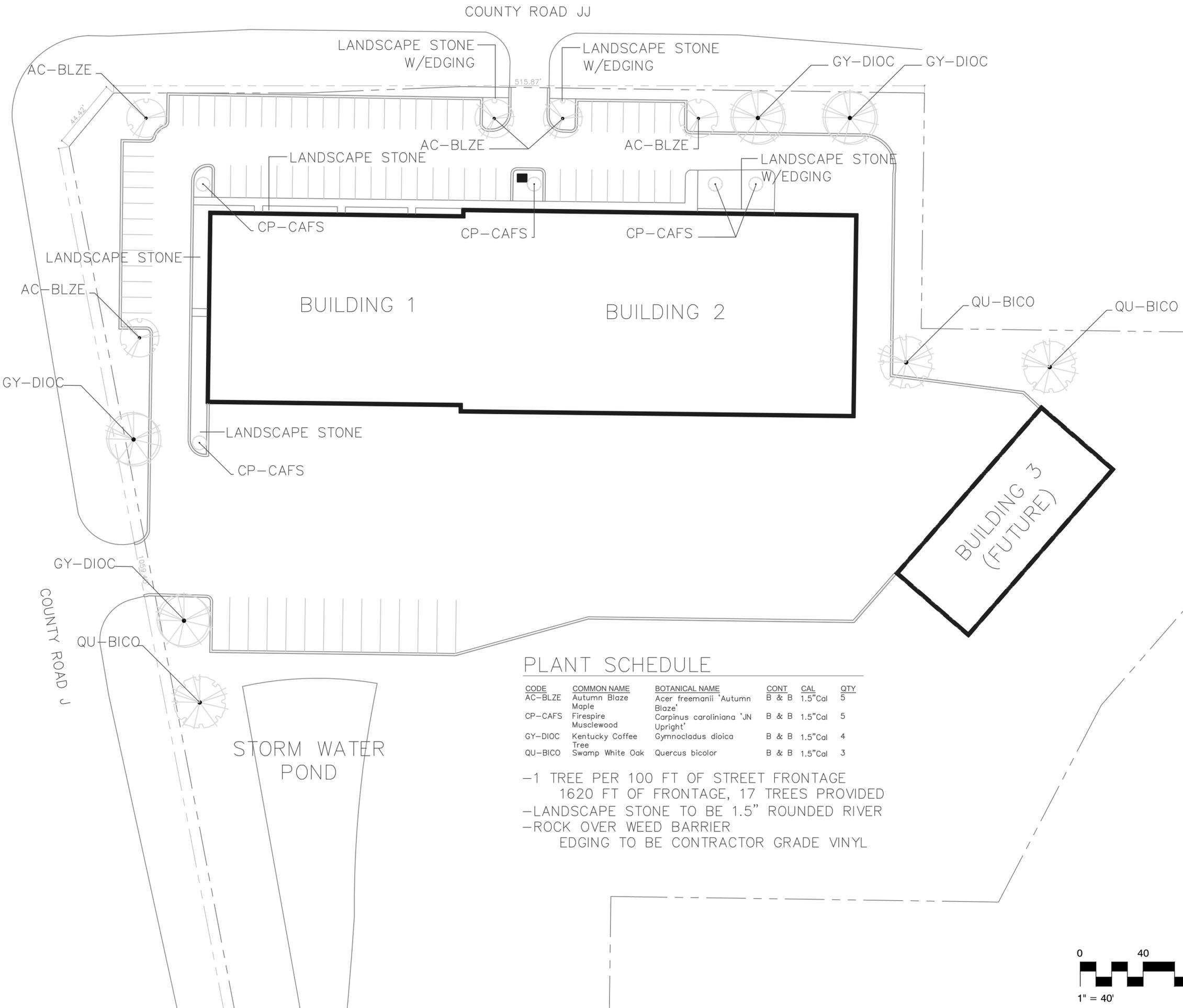


PROSPERITY IN LLC
101 E CR JJ
KAUKAUNA WIS.54130

DATE: 02/25/2026
REVISED:
PHONE NO.: 920.636.5387
EMAIL: alex@schmalzlandscaping.com
SCALE: 1" = 40'- 0"
DRAWN BY: AMH

SHEET TITLE
Landscape Plan

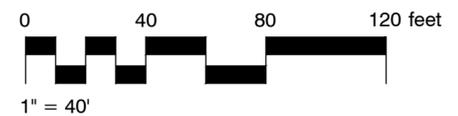
SHEET NO. L-1
JOB NO. FILE NO.



PLANT SCHEDULE

CODE	COMMON NAME	BOTANICAL NAME	CONT	CAL	QTY
AC-BLZE	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	B & B	1.5" Cal	5
CP-CAFS	Firespire Muscledwood	Carpinus caroliniana 'JN Upright'	B & B	1.5" Cal	5
GY-DIOC	Kentucky Coffee Tree	Gymnocladus dioica	B & B	1.5" Cal	4
QU-BICO	Swamp White Oak	Quercus bicolor	B & B	1.5" Cal	3

- 1 TREE PER 100 FT OF STREET FRONTAGE
1620 FT OF FRONTAGE, 17 TREES PROVIDED
- LANDSCAPE STONE TO BE 1.5" ROUNDED RIVER
- ROCK OVER WEED BARRIER
- EDGING TO BE CONTRACTOR GRADE VINYL



Luminaire Schedule								
Symbol	Qty	Label	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	2	WSD-WP025W27-345K-D_25W	25W WP	Single	1.000	3424	25.21	50.42
	6	WSD-HWP48729612W27-45K-D_120W_5000K	120W HWP	Single	1.000	17139	116.87	701.22
	5	WSD-FL101520W27-345K-D-S_200W_5000K	200W FL	Single	1.000	29315	197.4	987

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.77	38.3	0.0	N.A.	N.A.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min

LPD Area Summary			
Label	Area	Total Watts	LPD

Project Details line 2 line 3 line 4	Company name Company address Address 2 Voice Number : Voice # Email
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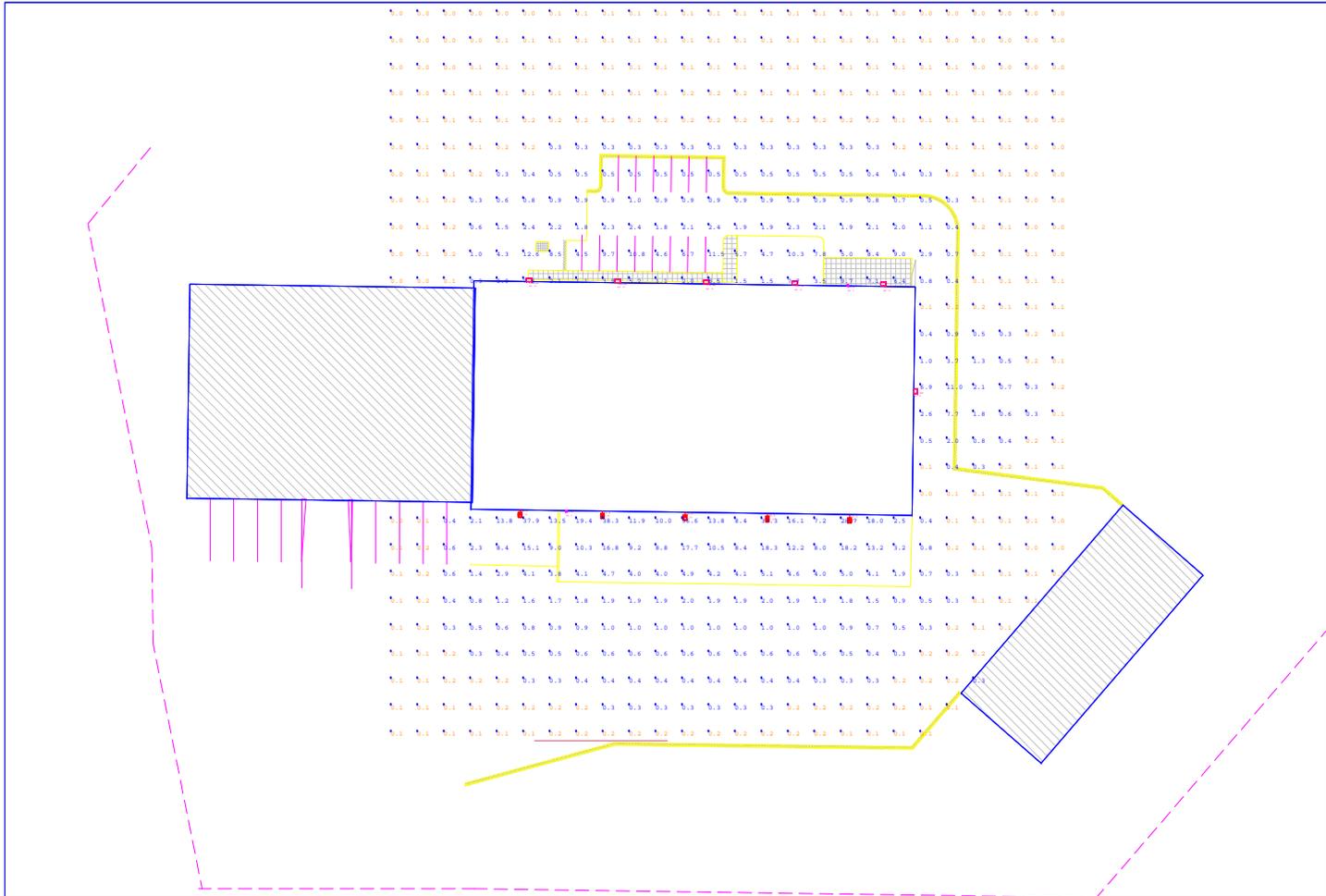
Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
1	WSD-FL101520W27-345K-D-S_200W_5000K	292.011	218.098	15	270	30
2	WSD-FL101520W27-345K-D-S_200W_5000K	338.71	217.314	15	270	30
3	WSD-FL101520W27-345K-D-S_200W_5000K	385.409	216.531	15	270	30
4	WSD-FL101520W27-345K-D-S_200W_5000K	432.109	215.747	15	270	30
5	WSD-FL101520W27-345K-D-S_200W_5000K	478.808	214.964	15	270	30
6	WSD-HWP48729612W27-45K-D_120W_5000K	515.24	284.734	12	0	0
7	WSD-WP025W27-345K-D_25W	477.862	344.026	8	90	0
8	WSD-WP025W27-345K-D_25W	318.168	217.68	8	270	0
9	WSD-HWP48729612W27-45K-D_120W_5000K	297.188	346.384	12	90	0
10	WSD-HWP48729612W27-45K-D_120W_5000K	347.382	345.842	12	90	0
11	WSD-HWP48729612W27-45K-D_120W_5000K	397.576	345.299	12	90	0
12	WSD-HWP48729612W27-45K-D_120W_5000K	447.77	344.757	12	90	0
13	WSD-HWP48729612W27-45K-D_120W_5000K	497.964	344.215	12	90	0

Luminaire Tag Summary	
Tag	Qty
120W HWP	6
200W FL	5
25W WP	2

Project Details line 2 line 3 line 4	Company name Company address Address 2 Voice Number : Voice # Email
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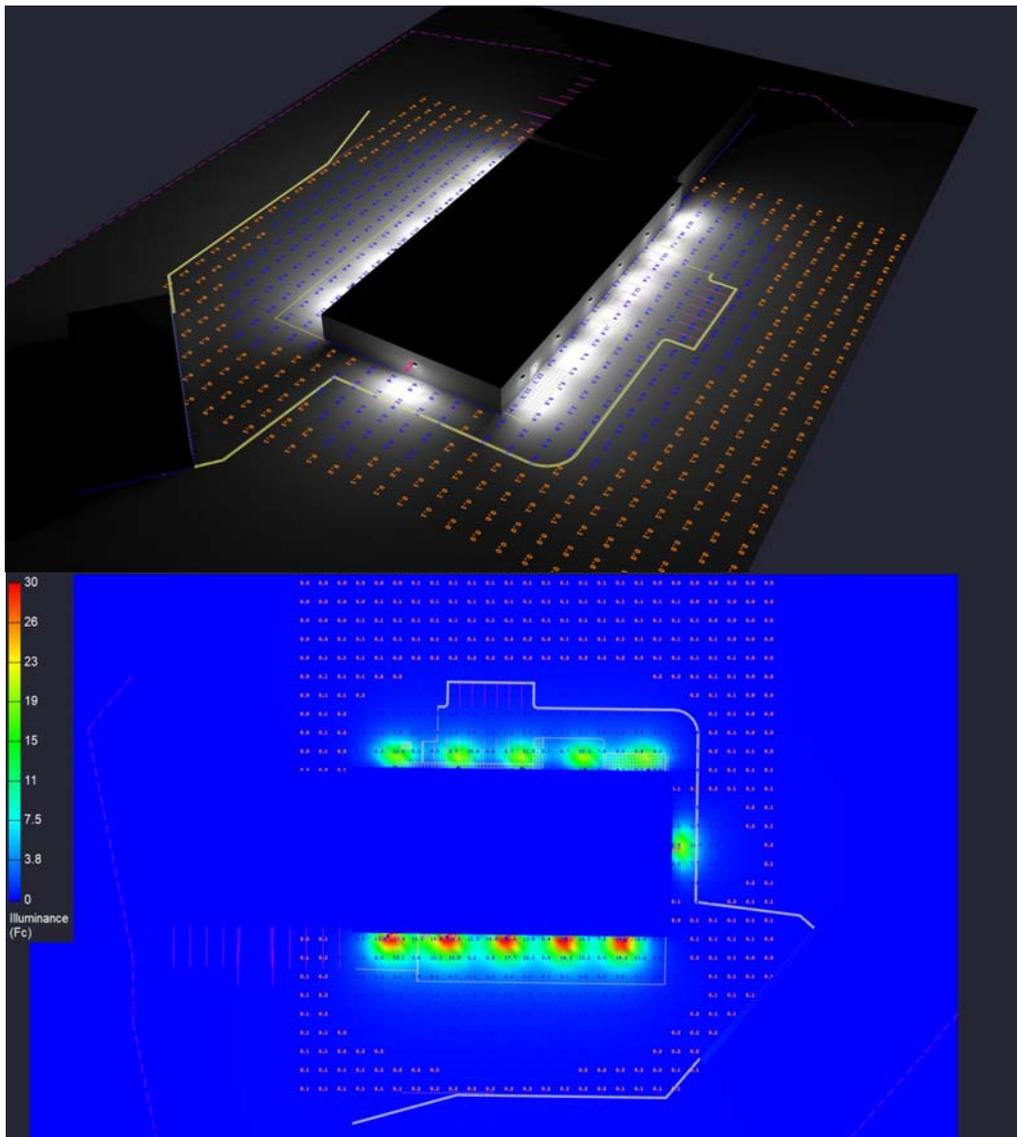


View of point by point

Project Details line 2 line 3 line 4	Company name Company address Address 2 Voice Number : Voice # Email
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Your Logo Goes Here



Project
Details
line 2
line 3
line 4

Company name
Company address
Address 2
Voice Number : Voice #
Email



Your Logo Goes Here

ISSUE RECORD:

P1	12-18-24
P2	01-02-25
P3	04-07-25
P4	04-09-25
P5	05-12-25
P6	01-30-26

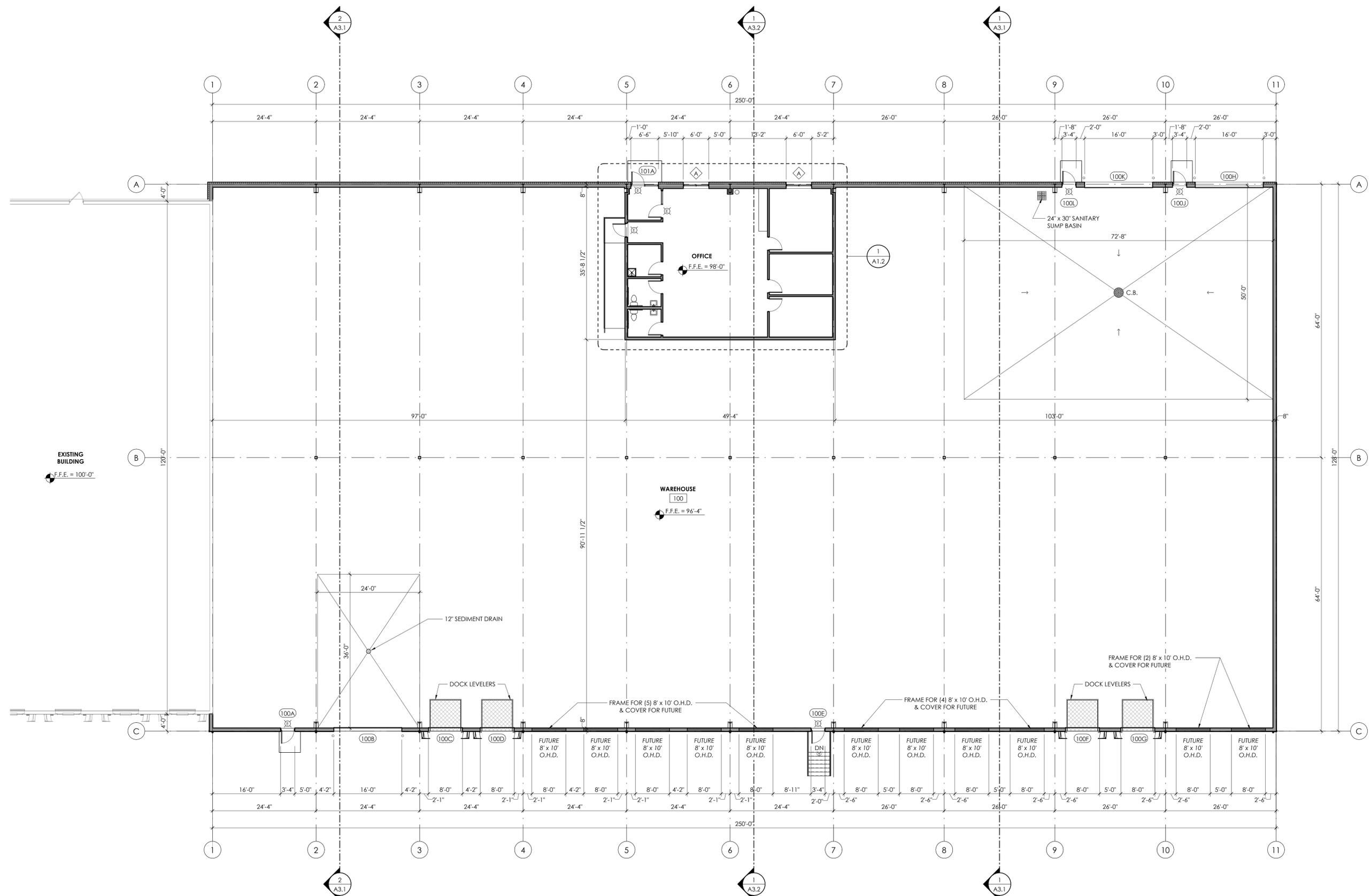
PF = PRELIMINARY PLAN
 PS = ISSUED FOR STATE REVIEW
 PC = ISSUED FOR CONSTRUCTION

PROJECT #: 250036
 PROJ. MGR: M. MASHLAN
 DRAWN BY: AWS

SHEET CONTENTS:

FLOOR PLAN

A1.1



1 FLOOR PLAN
 3/32" = 1'-0"

NOT FOR CONSTRUCTION



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KAUKAUNA, WISCONSIN 54130

PROPOSED ADDITION FOR:

PROSPERITY CENTER

101 E COUNTY RD JJ

CITY OF KAUKAUNA
OUTAGAMIE COUNTY

ISSUE RECORD:

P1	12-18-24
P2	01-02-25
P3	04-07-25
P4	04-09-25
P5	05-12-25
P6	01-30-26

PR = PRELIMINARY PLAN
IS = ISSUED FOR STATE REVIEW
FC = ISSUED FOR CONSTRUCTION

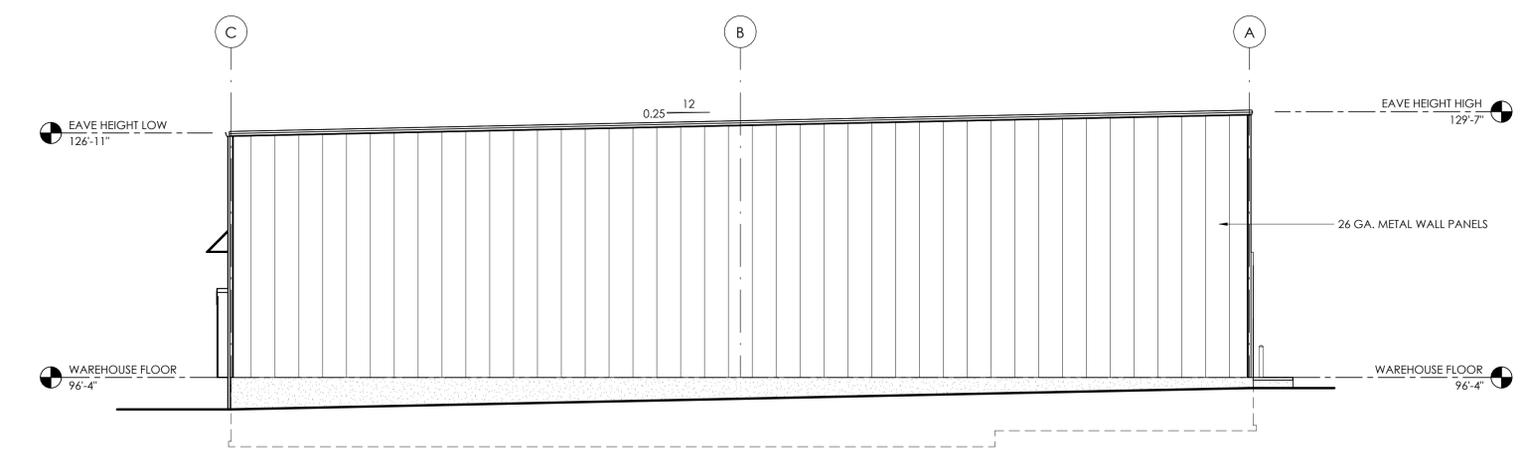
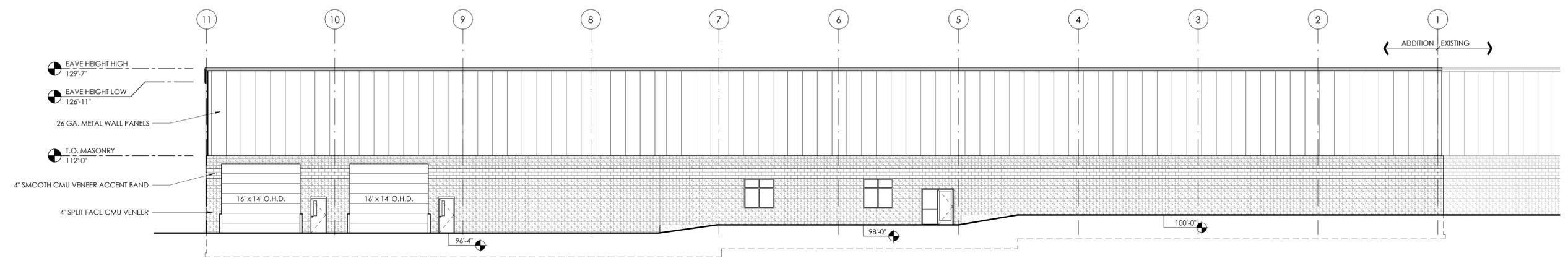
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PROJ. MGR: M. MASHLAN
DRAWN BY: AWS

SHEET CONTENTS:

ELEVATIONS

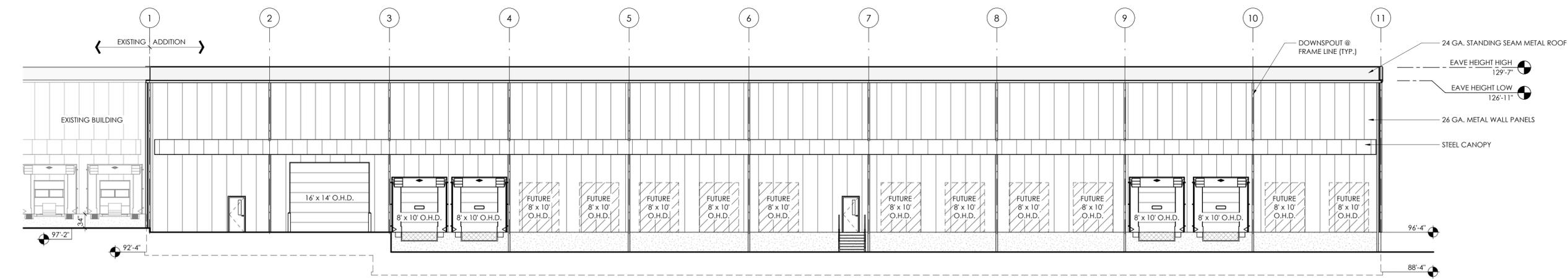
A2.1

NOT FOR CONSTRUCTION



COLORS:

ROOF STEEL:	WHITE
WALL STEEL:	CHARCOAL
GUTTERS:	CHARCOAL
DOWNSPOUTS:	CHARCOAL
TRIMS:	CHARCOAL
SPLIT FACE CMU:	NATURAL
SMOOTH CMU:	WHITE
OVERHEAD DOORS:	WHITE
STEEL SERVICE DOORS:	WHITE
ALUMINUM DOORS & WINDOWS:	CLEAR ANODIZED



4 SOUTH ELEVATION
3/32" = 1'-0"