

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, July 09, 2026 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. Approve Minutes from June 18, 2026
3. Old Business.
4. New Business.
 - a. Preliminary Plat Review - High Pointe Meadows Subdivision Phase 1
 - b. Final Plat Review - High Pointe Meadows Subdivision Phase 1
 - c. Extraterritorial CSM Review - Debruin Road (Town of Buchanan)
 - d. Site Plan Review - Holland Cold Storage (3600 Electric City Boulevard)
 - e. Rezoning Request - Parcel 321063400
 - f. Park Donation Application - Picnic Table
 - g. Extraterritorial CSM Review - Parcels 030019202 & 030019600 (Town of Buchanan)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, June 18, 2026 at 4:00 PM

MINUTES

In-Person in Council Chambers

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Giovanna Feller, John Neumeier, John Moore, Kelli Antoine, Michael Avanzi, Mayor Tony Penterman

Members Absent: Brett Jensen, Ken Schoenike

Other(s) Present: Associate Planner Adrienne Nelson, Times Villager Reporter Brian Roebke, TEAM Industries Representative John Panetti, Mach IV Representative Joel Ehrfurth, Citizen Mike Werner

Moore made a motion to excuse the absent member. Seconded by Neumeier. The motion passed unanimously.

2. Approval of Minutes

- a. Approve Minutes from June 4, 2026

Feller made a motion to approve the minutes from June 4, 2026. Seconded by Neumeier. The motion passed unanimously.

3. Old Business

- a. None

4. New Business

- a. Site Plan Review – TEAM Industries (1020 Prospect Lane)

Associate Planner Nelson introduced the site plan for review for TEAM Industries at 1020 Prospect Lane. This project will allow for regrading of the existing TEAM Industries site locate at 1020 Prospect Lane. They will be asphaltting sections of the site for a temporary lay down area, erecting a fence along the perimeter of the property, and

installing a stormwater pond on the corner. Staff is recommending approval of the development with the following conditions: prior to the issuance of building permits, a landscaping plan must be approved by City staff, stormwater and erosion control permits must be approved by the Engineering Department, and a parking plan must be submitted and approved by City staff.

Neumeier made a motion to recommend approval of the site plan with the conditions recommended by staff. Seconded by Moore. The motion passed unanimously.

b. Site Plan Review – Haen Meats (600 W County Road KK)

Associate Planner Nelson introduced the site plan for review for Haen Meats at 600 W County Road KK. This project will add an additional 4,000 square feet to their existing building. All setback requirements are being met and complied with. Staff noted during review that, although manufacturing uses are allowed in the Commercial Highway District (CHD), City ordinance states that slaughterhouses are not. In 2024, however, an expansion for Haen Meats was approved by the Plan Commission. Prior approval seems to have established this as a conforming use, with this expansion being a continuation of what was already approved by the review body. This addition is primarily for the expansion of their smokehouse. Staff is recommending approval of the development with the following conditions: prior to the issuance of building permits, an updated landscaping plan must be approved by the Planning and Community Development Department, a lighting plan must be approved by the Planning and Community Development Department, and stormwater and erosion control permits must be approved by the Engineering Department.

Avanzi made a motion to recommend approval of the site plan with the conditions recommended by staff. Seconded by Neumeier. The motion passed unanimously.

c. Preliminary Plat Review – High Pointe Meadows

Associate Planner Nelson introduced the preliminary plat submission for High Pointe Meadows. This new development is planned to be completed in two phases, creating 117 residential lots over a total of about 48 acres. The smallest lot size would be about 10,000 square feet and the largest lot size would be about 69,000 square feet. The floodplain map and boundary would need to be reviewed by the DNR and FEMA. If the review is favorable, the City would need to amend the flood map which would require a public hearing.

Neumeier made a motion to recommend approval of the preliminary plat to the Common Council with the condition that the floodplain map is amended in compliance with Municipal Code. Seconded by Feller. The motion passed unanimously.

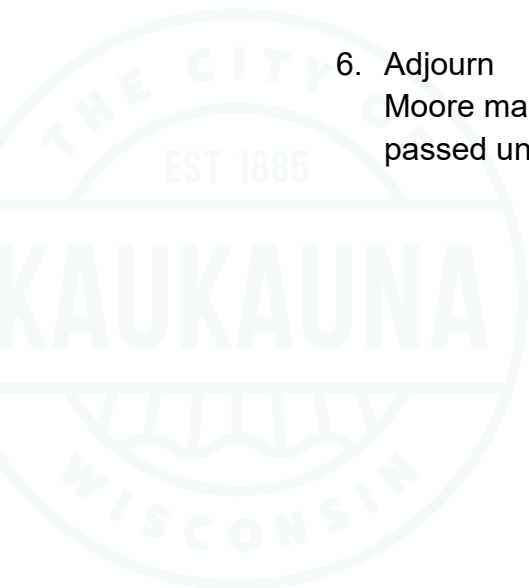
d. Girl Scout Silver Award Project Update

Associate Planner Nelson explained that the Plan Commission members were invited to the ribbon cutting ceremony for the Girl Scout Silver Award mural project on July 1, 2026, at 6:00 p.m.

5. Other Business
 - a. None

6. Adjourn

Moore made a motion to adjourn the meeting. Seconded by Neumeier. Motion passed unanimously. The meeting adjourned at 4:22 p.m.





MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission

From: Adrienne Nelson, Associate Planner

Date: July 2, 2026

Re: Preliminary Plat Review – High Pointe Meadows Phase 1

At the Plan Commission meeting on [June 18th, 2026](#), the preliminary plat for the High Pointe Meadows Subdivision was approved with the condition that the floodplain map be amended in compliance with the [Municipal Code](#). Due to the expected length of FEMA and the Wisconsin DNR’s review, however, the developer now intends to submit two separate preliminary plats. This would allow the developer to move forward with the first preliminary plat, which would contain no alterations to the floodplain map, while waiting on feedback from FEMA and the Wisconsin DNR on the second preliminary plat, which would require alterations to the floodplain map.

Because of the changes made from what was approved at the last meeting, this item is coming back before the Plan Commission. In High Pointe Meadows Phase 1, 63 new residential lots would be completed along with 3,522 linear feet of street, with one entrance off of DeBruin Road to the west and two entrances in the south off of Springcrest Drive and Cilantro Lane.

Staff Recommendation:

Staff is recommending approval of the High Pointe Meadows Phase 1 preliminary plat to the Common Council with the following conditions:

- That for lots 32-25, no site work starts, no building permits are issued, and no sale of land occurs until FEMA and the Wisconsin DNR’s review is complete and City floodplain ordinance updates for this area are approved by the Common Council. *Although no significant changes are expected for the floodplain on these properties, that will not be formally confirmed until all reviews are complete.*

Pre Plat



APPLICATION: PLAT REVIEW FORM

This application is required if you are seeking to create a plat. A plat is a map of a subdivision complete with all certificates and engineering data. Information on platting regulations can be found in Section 18 of the Municipal Code.

Petitioner Information:

Name: Dercks 5 LLC c/o Tom Dercks

Mailing Address: W857 CTH ZZ Kaukauna, WI 54130

Phone Number: [REDACTED]

Email:

Property Owner Information (If Not Petitioner):

Name:

Mailing Address:

Phone Number:

Email:

Plat Information:

Site Address/Location: DeBruin Road north of County Road KK

Total Number of Acres of Plat Area: 47.6472 acres

Total Number of Lots Created: 115

Smallest Lot Size: 10,012 sf

Largest Lot Size: 69,297 sf

Miles of Street to be Added: 1.19 miles

*Size of Park Land to be Donated:

Current Zoning: RSF

Current Uses: vacant/farm

Proposed Zoning: RSF

Proposed Uses: Residential Subdivision

*If no park land is to be dedicated, a park development fee will be applied.

Describe the Proposed Project in Detail:

Development of a 115 lot residential subdivision. Development is to be completed in 3 phases; 1st phase consists of 63 lot and 3,522 LF of street. 2nd phase consists of 13 lots and 766 LF of street. Final phase consists of 39 lots and 2,149 LF of street

Preliminary Plat or Final Plat?: Preliminary

Additional Requirements: For a Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. For a Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. Please include proposed addresses of any new lots created. Additional information may also be requested as may be appropriate per the proposal being made.

Subdivision Fee Schedule:

Subdivision Review (5+ Lots): \$200.00

Variance to Subdivision Ordinance: \$50.00

Planned Unit Subdivision Ordinance: \$200.00

Payment in Lieu of Dedication: \$250.00 per residential lot created by the subdivision

Please Note: The City of Kaukauna will never request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Plat reviews often require action by multiple governmental bodies. Between multiple meetings and sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:


Signature of Owner (If Not Petitioner):

Date Submitted to the City of Kaukauna:

Please submit by email to planning@kaukauna.gov or by mail to:
City of Kaukauna
Attn: Planning and Community Development Department
144 W Second Street
Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 7/2/2026

Payment Received: 3/30/2026

Payment Receipt #: N/A

Plat Reviewed:

Plan Commission Approval:

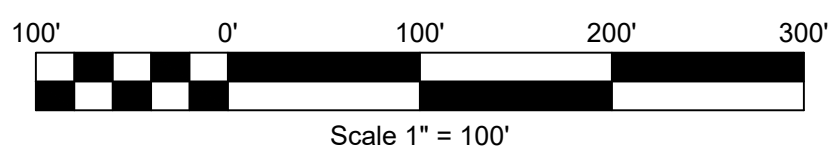
Legislative Committee Approval:

Common Council Approval:

Signature of Planning & Community Dev. Staff:

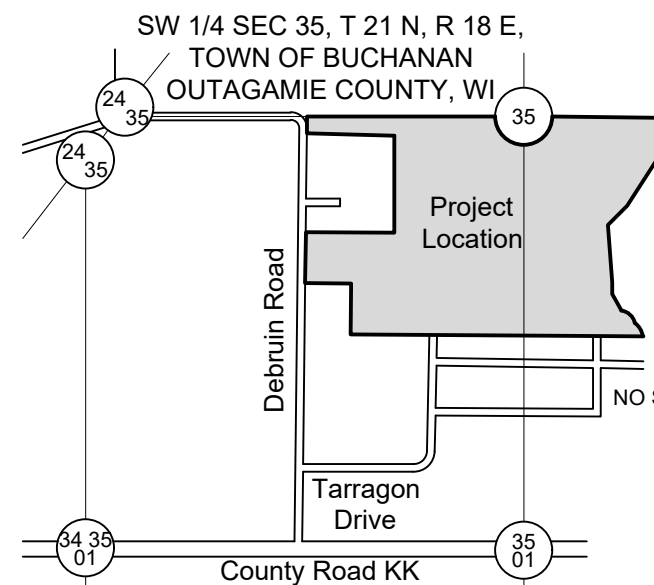
Preliminary Plat of High Pointe Meadows

Being Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); Being Part of the Northeast 1/4 of the Southwest 1/4 and Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin.



Scale 1" = 100'
Bearings are referenced to the North line of the Southwest 1/4, Section 35, T21N, R18E, assumed to bear N88°46'06"W, base on the Outagamie County Coordinate System.

LOCATION MAP



BENCHMARKS (Datum NAVD88)

BM 0	NGS Benchmark	PID-DE7729, Designation - 4X74	Elev 791.73'
BM 1	Fire Hydrant, Tag Bolt	Northeast Corner of Property	Elev 736.90'
BM 2	Fire Hydrant, Tag Bolt	±150' N of Clantro Ln/Lemongrass Way Int.	Elev 747.84'
BM 3	Fire Hydrant, Tag Bolt	±150' N of Springcrest Dr/Lemongrass Way Int.	Elev 755.22'
BM 4	Fire Hydrant, Tag Bolt	Corner of Debruin Rd/Northeast Corner of Property	Elev 753.95'

Storm Structures

Structure #	Rim	Inv	Size	Material	Direction
INL A	749.34	745.04	12"	PVC	SE
MH B	748.60	743.51	12"	PVC	NW
		743.49	12"	PVC	SW
		743.47	18"	PVC	E
INL C	745.04	741.50	12"	PVC	E
INL D	745.04	741.24	12"	PVC	W
		741.41	12"	PVC	S
MH E	745.44	741.25	12"	PVC	N
		739.64	12"	PVC	E
		739.50	24"	RCP	W
		739.54	30"	RCP	S

Sanitary Structures

Structure #	Rim	Inv	Size	Material	Direction
MH 1	751.40	725.54	8"	PVC	N
		725.54	8"	PVC	S
MH 2	751.85	740.46	8"	PVC	S
MH 3	747.20	732.19	8"	PVC	N
		732.19	8"	PVC	S
		732.19	8"	PVC	E
MH 4	745.71	727.09	8"	PVC	N
		727.09	8"	PVC	S
		727.09	8"	PVC	E
		727.09	8"	PVC	W
		733.86	8"	PVC	W
MH 5	746.12	728.30	8"	PVC	N
		728.30	8"	PVC	S
		728.30	8"	PVC	W
MH 6	735.44	717.93	8"	PVC	SE
		716.67	8"	PVC	NW
		716.67	12"	PVC	SW
		716.67	12"	PVC	NE

Horizontal Control

PN9254 - (Town of Buchanan)
2026-01-19
Davel Engineering and Environmental
Horizontal Control (per Outagamie County Coordinate System)

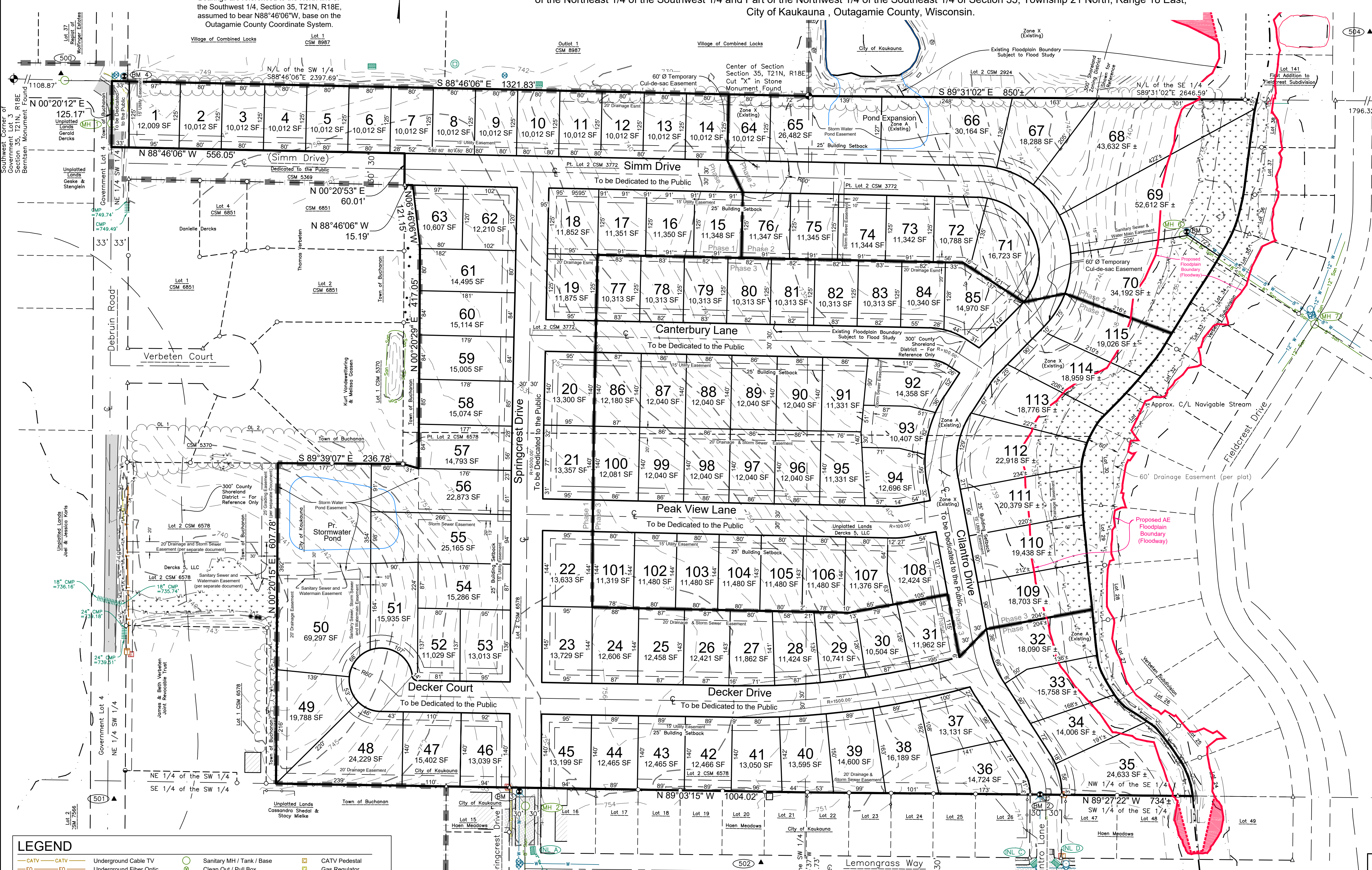
Point Number	Northing	Easting	Description
500	558166.00	858253.75	CPT MAG
501	556789.64	858354.40	CPT MAG
502	556669.44	859581.30	CPT MAG
503	556626.74	860668.25	CPT MAG
504	558245.05	860736.07	CPT MAG

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
P#: 920-991-1966
www.davelpro

PRELIMINARY PLAT

High Pointe Meadows
City of Kaukauna, Outagamie County, WI
For: Dercks 5, LLC

Date: 06/30/2026
Filename: 9254Plat.dwg
Author: SRA
Last Saved by: Kristy
Page 1 of 1



LEGEND

- CATV - CATV
- FO - FO
- OH - OH
- San - San
- Sto - Sto
- E - E
- G - G
- T - T
- W - W
- Fence - Steel
- Fence - Wood
- Fence - Barbed Wire
- Trellis
- Culvert
- Index Contour - Existing
- Intermediate Contour - Existing
- Sanitary MH / Tank / Base
- Clean Out / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Water MH / Well
- Underground Electric
- Hydrant
- Utility Valve
- Utility Meter
- Fence - Pole
- Light Pole / Signal
- Electric Pedestal
- Electric Transformer
- Electric Manhole
- CATV Pedestal
- Gas Regulator
- Telephone Pedestal
- Telephone Manhole
- Sign
- Post / Guard Post
- Deciduous Tree
- Coniferous Tree
- Bush / Hedge
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel
- Ex Spot Elevation
- Delineated Wetlands
- May 2026 - Davel Eng.

SUPPLEMENTARY DATA
Total Area = 2,079,645 SF 47.7421 acres
R/W Area = 383,787 SF 8.8105 acres
Net Area = 1,695,858 SF 38.9315 acres
Number of Lots = 115
Average lot size = 14,593 SF
Typical lot dimension = 80' x 125'
Lineal feet of street = 6,436 LF

Existing zoning = General Agriculture
Proposed zoning = RSF
Approving Authorities
City of Kaukauna
Objecting Authorities
Department of Administration
Outagamie County

Phase 1:
Total Area = 1,111,122 SF 25.5079 acres
R/W Area = 212,455 SF 4.8773 acres
Net Area = 898,667 SF 20.6306 acres
Number of Lots = 63
Lineal feet of street = 3,522 LF

Phase 2:
Total Area = 334,252 SF 7.6734 acres
R/W Area = 45,981 SF 1.0548 acres
Net Area = 288,306 SF 6.6186 acres
Number of Lots = 13
Lineal feet of street = 766 LF

Phase 3:
Total Area = 634,271 SF 14.5609 acres
R/W Area = 125,351 SF 2.8777 acres
Net Area = 508,920 SF 11.6832 acres
Number of Lots = 39
Lineal feet of street = 2,149 LF

SURVEYOR'S CERTIFICATE

I, Scott R. Andersen, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the City of Kaukauna.

Scott R. Andersen, P.L.S. No. S-3169 Date



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: July 2, 2026
 Re: Final Plat Review – High Pointe Meadows Phase 1

Dercks 5 LLC c/o Tom Dercks, petitioner and property owner, has submitted a final plat for the development of the High Pointe Meadows Subdivision Phase 1. This development would be located to the west of the Verbeten Subdivision and inside the Park Place and would be part of a three-phase development. In High Pointe Meadows Phase 1, 63 new residential lots would be completed along with 3,522 linear feet of street, with one entrance off of DeBruin Road to the west and two entrances in the south off of Springcrest Drive and Cilantro Lane.

Staff Recommendation:

Staff is recommending approval of the High Pointe Meadows Phase 1 final plat to the Common Council with the following conditions:

- That for lots 32-35, no site work starts, no building permits are issued, and no sales of land occurs until FEMA and the Wisconsin DNR's review is complete and City floodplain ordinance updates for this area are approved by the Common Council. *Although no significant changes are expected for the floodplain on these properties, that will not be formally confirmed until all reviews are complete.*
- That the proposed CSM for the remaining lots in the Town of Buchanan is approved and recorded, OR separate easement documents are approved by City staff and recorded for drainage, grading, and storm sewer purposes.
- That the preliminary plat for High Pointe Meadows Phase 1 is approved by the Common Council.



APPLICATION: PLAT REVIEW FORM

This application is required if you are seeking to create a plat. A plat is a map of a subdivision complete with all certificates and engineering data. Information on platting regulations can be found in Section 18 of the Municipal Code.

Petitioner Information:

Name: Dercks 5 LLC c/o Tom Dercks

Mailing Address: W857 CTH ZZ Kaukauna, WI 54130

Phone Number: [REDACTED]

Email:

Property Owner Information (If Not Petitioner):

Name:

Mailing Address:

Phone Number:

Email:

Plat Information:

Site Address/Location: DeBruin Road north of County Road KK

Total Number of Acres of Plat Area: 47.6472 acres

Total Number of Lots Created: ~~115~~ 63 Lot + 2 OUTLOTS

Smallest Lot Size: 10,012 sf

Largest Lot Size: 69,297 sf

Miles of Street to be Added: 1.19 miles

*Size of Park Land to be Donated:

Current Zoning: RSF

Current Uses: vacant/farm

Proposed Zoning: RSF

Proposed Uses: Residential Subdivision

*If no park land is to be dedicated, a park development fee will be applied.

Describe the Proposed Project in Detail:

Development of a 115 lot residential subdivision. Development is to be completed in 3 phases; 1st phase consists of 63 lot and 3,522 LF of street. 2nd phase consists of 13 lots and 766 LF of street. Final phase consists of 39 lots and 2,149 LF of street

Preliminary Plat or Final Plat?: Final Phase 1

Additional Requirements: For a Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. For a Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. Please include proposed addresses of any new lots created. Additional information may also be requested as may be appropriate per the proposal being made.

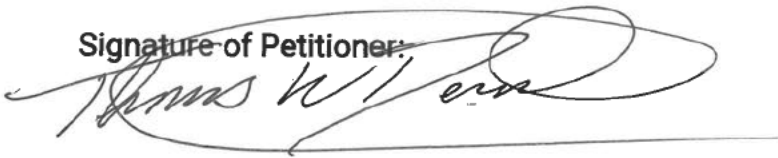
Subdivision Fee Schedule:

- Subdivision Review (5+ Lots): \$200.00
- Variance to Subdivision Ordinance: \$50.00
- Planned Unit Subdivision Ordinance: \$200.00
- Payment in Lieu of Dedication: \$250.00 per residential lot created by the subdivision

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Plat reviews often require action by multiple governmental bodies. Between multiple meetings and sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:



Signature of Owner (If Not Petitioner):

Date Submitted to the City of Kaukauna:

Please submit by email to planning@kaukauna.gov or by mail to:
City of Kaukauna
Attn: Planning and Community Development Department
144 W Second Street
Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 7/2/2026

Payment Received: Mailed out 7/2/2026

Payment Receipt #: N/A

Plat Reviewed:

Plan Commission Approval:

Legislative Committee Approval:

Common Council Approval:

Signature of Planning & Community Dev. Staff:

High Pointe Meadows

Being Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); Being Part of the Northeast 1/4 of the Southwest 1/4 and Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin.

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Kaukauna and Outagamie County, and under the direction of Dercks Builders & Masonry, Inc., owners of said land, I have surveyed, divided and mapped High Pointe Meadows; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); Being Part of the Northeast 1/4 of the Southwest 1/4 and Part of the Northwest 1/4 of the Southeast 1/4 of Section 35, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin, containing 1,852,035 Sq Ft (42.5169 Ac) of land described as follows:

Commencing

feet to the point of beginning.

Given under my hand this _____ day of _____, 2026.

Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

Corporate owner's Certificate of Dedication

Dercks 5 LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks 5 LLC, does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Kaukauna
Department of Administration
Outagamie County

IN WITNESS WHEREOF, the said Dercks Builders & Masonry, Inc., has caused these presents to

be signed by its authorized representatives, located at, _____, Wisconsin

this _____ day of _____, 20_____.

In the Presence of: Dercks 5 LLC

By _____

print name Tom Dercks

Title Managing Member

State of Wisconsin)
)ss
_____ County)

Personally came before me this _____ day of _____, 20_____.

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin My commission expires: _____.

Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

Dercks 5 LLC, Grantor, to:

Kaukauna Utilities, Grantee,
Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin Corporations doing business as We Energies, Grantee,
AT&T, Grantee
Spectrum, Grantee,
TDS, Metrocom, LLC, Grantee,

and

Any utility company with a current and approved Public right-of-way registration in the City of Kaukauna, Grantees

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Dercks 5 LLC

Tom Dercks, Managing Member _____ Date _____

Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer's of the City of Kaukauna and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

City Treasurer _____ Print Name _____ Date _____

County Treasurer _____ Print Name _____ Date _____

City of Kaukauna Common Council Approval Certificate

Resolved, that the plat of High Pointe Meadows in the City of Kaukauna, Outagamie County, Dercks 5 LLC, owners, is hereby approved by the Common Council of the City of Kaukauna.

Mayor _____ Print Name _____ Date _____

I hereby certify that the foregoing is a copy of a resolution adopted by the the Common Council of the City of Appleton.

Clerk _____ Print Name _____ Date _____

City of Kaukauna Drainage Easement Restrictions:

The following uses and structures are prohibited within all Drainage Easements in the subdivision plat of High Pointe Meadows; filling, grading, and excavating except for construction of drainage ways and drainage facilities; the cultivation of crops, fruits, or vegetables; the dumping or depositing of ashes, waste, compost or material of any kind; the storage of vehicles, equipment, materials or personal property of any kind and constructing, erecting or moving any building or structure, including fences, within the drainage easement.

City of Kaukauna Drainage Easement Maintenance:

Maintenance of all drainage ways and associated drainage structures within the subdivision of High Pointe Meadows are the sole responsibility of the property owners in the subdivision, unless otherwise noted on the drainage plan which has been prepared for this subdivision and which has been approved by and is on file with the City of Kaukauna.

Upon failure of any property owner to perform maintenance, abide by restrictions, or follow grading requirements of the drainage ways and associated drainage structures, the City of Kaukauna retains the right to have maintenance or corrective measures performed. The cost of said maintenance or corrective measures on any given lot shall be a special charge to the non-complying lot.

Maintenance by the City to include, but not limited to, the removal of silt and decomposed vegetation that gradually accumulates in the bottom of a pond, a detention area, and/or accompanying ditch. Payment for city maintenance may be placed on the annual real estate tax bill from all contributing sources as a special assessment if not paid.

Grading and Grades

All grading and final grades for the construction of any public or private improvements, including landscaping, shall conform to the surface water drainage plan as approved and on file with the City of Kaukauna.

Sidewalks

All parts of a lot fronting a street, within the High Pointe Meadows, will have sidewalk.

This Final Plat is contained wholly within the property described in the following recorded instruments:

the property owner of record: Dercks 5 LLC	Recording Information: Doc No.	Parcel Number(s): 030062307 323220600 323220800 030063500
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LINE TABLE		
Line	Bearing	Length
L1	S 01°13'16" W	171.55'
L2	S 00°19'41" W	31.00'
L3	S 10°32'09" E	36.33'
L4	S 32°42'49" E	169.99'
L5	S 00°35'08" W	3.04'
L6	S 00°35'08" W	3.08'
L7	S 32°42'49" E	169.99'
L8	N 89°03'35" W	245.66'
L9	S 89°03'35" E	175.73'
L10	S 00°20'12" W	125.17'
L11	N 57°17'11" E	50.00'

CURVE TABLE							
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C1	4970.00'	S 00°46'28" W	77.46'	77.46'	0°53'35"	S 01°13'16" W	S 00°19'41" W
C2	1470.00'	N 82°38'23" E	424.43'	425.92'	16°36'03"	S 89°03'35" E	N 74°20'22" E
C3	1470.00'	N 89°33'44" E	70.71'	70.72'	2°45'23"	S 89°03'35" E	N 88°11'02" E
C4	1470.00'	N 86°29'37" E	86.72'	86.73'	3°22'49"	N 88°11'02" E	N 84°48'13" E
C5	1470.00'	N 83°06'48" E	86.72'	86.73'	3°22'49"	N 84°48'13" E	N 81°25'23" E
C6	1470.00'	N 79°43'59" E	86.72'	86.73'	3°22'49"	N 81°25'23" E	N 78°02'34" E
C7	1470.00'	N 76°11'28" E	95.00'	95.02'	3°42'12"	N 78°02'34" E	N 74°20'22" E
C8	230.00'	N 11°19'51" W	6.38'	6.38'	1°35'24"	N 12°07'33" W	N 10°32'09" W
C9	170.00'	S 21°37'29" E	65.39'	65.80'	22°10'39"	S 10°32'09" E	S 32°42'49" E
C10	130.00'	S 28°44'26" E	18.01'	18.03'	7°56'46"	S 32°42'49" E	S 24°46'03" E
C11	130.00'	S 28°44'26" E	18.01'	18.03'	7°56'46"	S 32°42'49" E	S 24°46'03" E
C12	130.00'	S 12°05'28" E	57.06'	57.52'	25°21'11"	S 24°46'03" E	S 00°35'08" W
C13	70.00'	S 16°03'50" E	40.11'	40.68'	33°17'57"	S 32°42'49" E	S 00°35'08" W
C14	230.00'	S 29°55'55" E	22.32'	22.33'	5°33'48"	S 27°09'01" E	S 32°42'49" E
C15	1530.00'	N 82°33'42" E	445.88'	447.47'	16°45'26"	S 89°03'35" E	N 74°10'59" E


CURVE TABLE							
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C16	1530.00'	N 76°03'21" E	100.00'	100.02'	3°44'44"	N 77°55'43" E	N 74°10'59" E
C17	1530.00'	N 79°35'42" E	88.99'	89.00'	3°19'59"	N 81°15'42" E	N 77°55'43" E
C18	1530.00'	N 82°55'41" E	88.99'	89.00'	3°19'59"	N 84°35'40" E	N 81°15'42" E
C19	1530.00'	N 86°15'40" E	88.99'	89.00'	3°19'59"	N 87°55'39" E	N 84°35'40" E
C20	1530.00'	N 89°26'02" E	80.44'	80.45'	3°00'46"	S 89°03'35" E	N 87°55'39" E
C21	60.00'	N 41°50'01" E	90.71'	274.14'	261°47'12"	N 89°03'35" W	S 07°16'23" E
C22	60.00'	N 66°52'38" W	45.31'	46.46'	44°21'55"	N 89°03'35" W	N 44°41'40" W
C23	60.00'	N 19°32'38" W	51.00'	52.68'	50°18'05"	N 44°41'40" W	N 05°36'25" E
C24	60.00'	N 37°52'20" E	64.06'	67.58'	64°31'51"	N 05°36'25" E	N 70°08'15" E
C25	60.00'	S 58°34'04" E	93.64'	107.43'	102°35'22"	N 70°08'15" E	S 07°16'23" E
C26	10.00'	S 48°09'59" E	13.09'	14.27'	81°47'12"	S 07°16'23" E	S 89°03'35" E
C27	5030.00'	N 00°46'28" E	78.39'	78.39'	0°53'35"	N 00°19'41" E	N 01°13'16" E
C28	5030.00'	N 00°27'28" E	22.79'	22.79'	0°15'34"	N 00°19'41" E	N 00°35'15" E
C29	5030.00'	N 00°54'16" E	55.60'	55.60'	0°38'00"	N 00°35'15" E	N 01°13'16" E

EASEMENT CURVE TABLE							
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C30	180.00'	S 22°15'42" E	330.16'	417.87'	133°00'48"	S 88°46'06" E	S 44°14'42" W
C31	120.00'	S 23°48'52" E	217.43'	272.08'	129°54'28"	S 88°46'06" E	S 41°08'22" W

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20_____

Department of Administration



File: 9254Final.dwg
Date: 07/01/2026
Drafted By: scott
Sheet: 2 of 2



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: July 6, 2026
Re: Extraterritorial CSM Review – Debruin Road (Town of Buchanan)

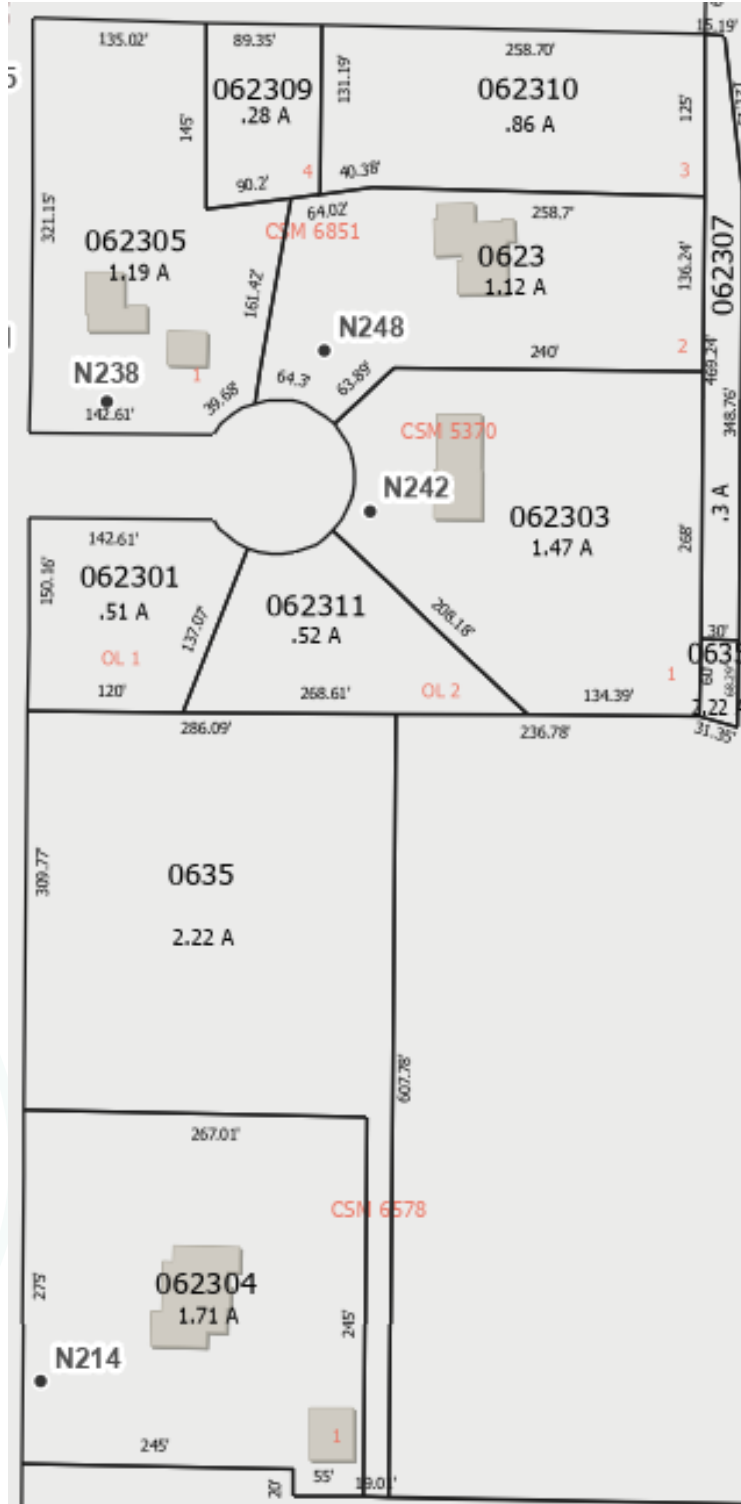
Scott Andersen, surveyor, has submitted a certified survey map on behalf of:

- Dercks 5, LLC, owner of parcels 030063500 and 030062307
- James & Beth Verbeten Joint Revocable Trust, owner of parcel 030062304
- Kurt Vandewettering & Melissa Gossen, owners of parcel 030062303
- Thomas M. Verbeten, owner of parcel 030062300

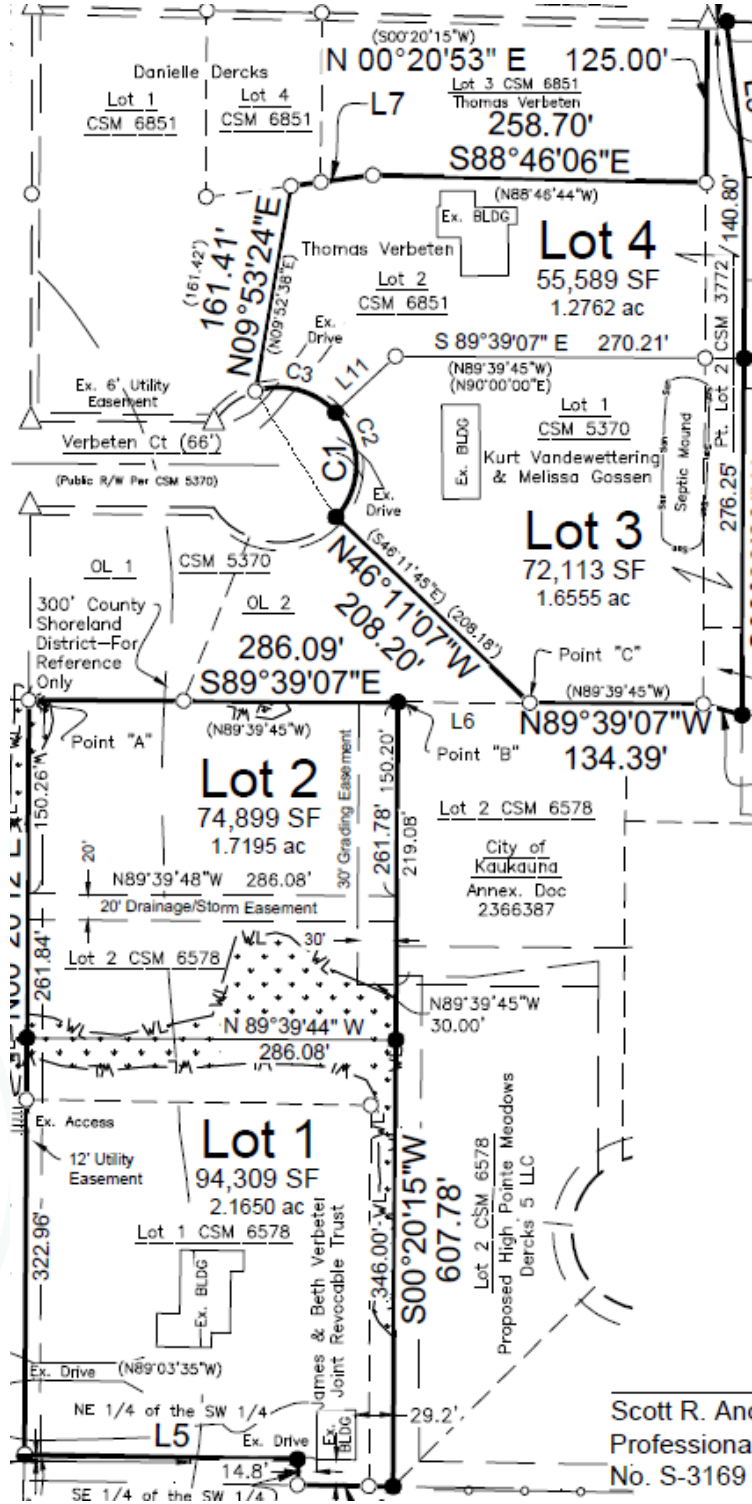
These parcels fall within the extraterritorial review area of the City of Kaukauna, which is why this CSM is being brought before the Plan Commission. They are contiguous to existing land within the City of Kaukauna and, although there are no plan for annexation, could feasibly be annexed in the future.

The application and a draft of the CSM are attached to this report. The current map and proposed map are shown below for additional detail.

Current:



Proposed:



Recommendation:

Recommend approval of the extraterritorial Certified Survey Map to the Common Council.





APPLICATION: CERTIFIED SURVEY MAP REVIEW FORM

This application is required if you are seeking to divide, combine, or reconfigure up to four parcels. All parcels must meet the dimensional requirements as set forth in their zoning district. Information on zoning districts can be found in Section 17 of the Municipal Code. Information on certified survey maps can be found in Section 18.29 of the Municipal Code. Please note that the City of Kaukauna has extraterritorial review authority for any certified survey maps created for parcels located in townships within three miles of city borders.

Petitioner Information:

Name: Scott Andersen

Mailing Address: 1164 Province Terrace

Phone Number: [REDACTED]

Email: [REDACTED]

***Property Owner Information (If Not Petitioner):**

Name: James & Beth Verbeten

Mailing Address: N214 Debruin Road

Phone Number: [REDACTED]

Email: [REDACTED]

Property Information:

Site Address/Location: N214 DEBRUIN RD

Lot Dimensions and Area:

Current Zoning: Town Zoning - Single Family and AG

Number of Lots to be Created: ~~3~~ 4

***If multiple owners are involved, please add all additional owner information on an attached document.**

Please State Reason(s) for Certified Survey Map Review Request:

Extraterritorial Review

Additional Requirements: For Certified Survey Map review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. Maps should be drawn to a scale of not less than 1":1,000'. Additional information may also be requested as may be appropriate per the proposal being made.

Lot Division by CSM (1-4 lots) Fee Schedule: \$10.00/lot based on total lots

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Certified survey map reviews often require action by multiple governmental bodies and sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:



Signature of Owner (If Not Petitioner):

Date Submitted to the City of Kaukauna:

Please submit by email to planning@kaukauna.gov or by mail to:

City of Kaukauna

Attn: Planning and Community Development Department

144 W Second Street

Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 3/30/2026

Payment Received: 3/30/2026

Payment Receipt #:

Certified Survey Map Reviewed:

Plan Commission Approval:

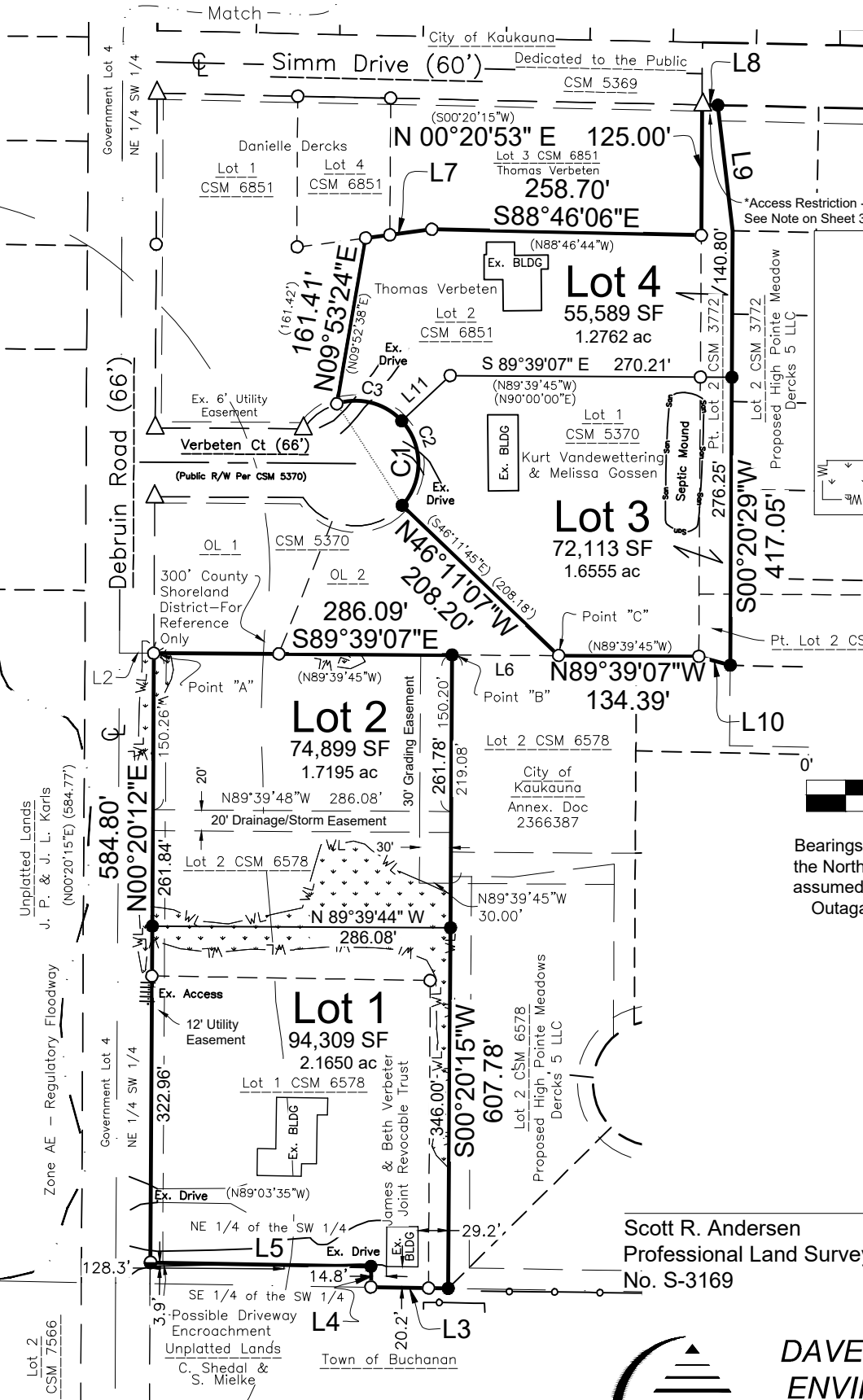
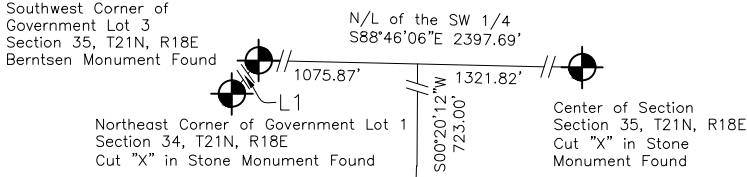
Legislative Committee Approval:

Common Council Approval:

Signature of Planning & Community Dev. Staff:

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.



See Notes on Sheet 3

LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- △ 1/4" Rebar Found
- 3/4" Rebar Found
- Masonry (PK) Nail Found
- ⊙ Government Corner
- () Recorded As Delineated Wetlands Davel Eng. 2026

Scale 1" = 150'

Bearings are referenced to the North line of the Northwest 1/4, Section 35, T21N, R18E, assumed to bear N88°46'06"W, base on the Outagamie County Coordinate System.

Scott R. Andersen Professional Land Surveyor No. S-3169

Date

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 1 of 11



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro

Survey for:
Tom Dercks
W857 CTH ZZ
Kaukauna, WI 54130

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Buchanan and Outagamie County, and under the direction of Verbeten Development Inc. and James & Beth Verbeten Joint Revocable Trust, Kurt Vandenwettering and Melissa Gossen, Thomas Verbeten, the property owners of said land, I have surveyed, divided, combined and mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin, containing 296,910 Square Feet (6.8162 Acres) of land described as follows:

Commencing at the Southwest Corner of Government Lot 3, Section 35, Township 21 North, Range 18 East; thence, S88°46'06"E, 1075.87 feet; thence, S00°20'12"W, 723.00 feet; thence, S89°39'07"E, 33.00 feet to the point of beginning of the first part of the described parcels, said point being described as "Point A"; thence, S89°39'07"E, 286.09 feet to a point described as "Point B"; thence, S00°20'15"W, 607.78 feet; thence, N89°03'15"W, 74.09 feet; thence, N00°20'12"E, 20.00 feet; thence, N89°03'15"W, 212.00 feet to the East Right of Way Line of Debruin Road; thence, N00°20'12"E along said Right of Way Line, 584.80 feet to "Point A"; thence, S89°39'07"E, 286.09 feet to "Point B"; thence, S89°39'07"E, 102.38 feet to the Point of Beginning of the second part of the described parcels, said point being "Point C"; thence, N46°11'07"W, 208.20 feet; thence along the arc of a curve turning to the left with an arc length of 156.90 feet, with a radius of 60.02 feet, with a central angle of 149°46'33", which has a chord that bears N32°49'57"W, 115.89 feet; thence, N09°53'24"E, 161.41 feet; thence, N82°26'00"E, 64.11 feet; thence, S88°46'06"E, 258.70 feet; thence, N00°20'53"E, 125.00 feet; thence, S88°46'06"E, 15.19 feet; thence, S06°46'06"E, 121.15 feet; thence, S00°20'29"W, 417.05 feet; thence, N74°23'12"W, 31.35 feet; thence, N89°39'07"W, 134.39 feet; which is the point of beginning and "Point C". Described Parcels are Subject to all easements and restrictions of record.

Given under my hand this _____ day of _____, _____.

 Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169

LINE TABLE			
Line	Bearing		Length
L1	S 38°32'53" W		400.08'
L2	S 89°39'07" E		33.00'
L3	N 89°03'15" W	(N89°03'35"W)	74.09'
L4	N 00°20'12" E	(N00°20'15"E)	20.00'
L5	N 89°03'15" W	(N89°03'35"W)	212.00'
L6	S 89°39'07" E		102.38'
L7	N 82°26'00" E	(N82°24'38"E)	64.11'
L8	S 88°46'06" E		15.19'
L9	S 06°46'06" E		121.15'
L10	N 74°23'12" W		31.35'
L11	N 47°07'39" E	(N47°07'01"W)	63.89'

CURVE TABLE											
Curve	Radius		Chord Direction		Chord Length		Arc Length		Central Angle		Tangent Bearing -in/out
C1	60.02'		N 32°49'57" W		115.89'		156.90'		149°46'33"		N 42°03'20" E / S72°16'47"W
C2	60.02'	(60.00')	N 00°23'56" W	(N00°15'55"W)	81.03'	(82.07')	88.95'	(90.37')	84°54'33"	(86°18'03")	N 42°03'20" E / N42°51'13"W
C3	60.02'	(60.00')	N 75°17'13" W	(S75°22'42"E)	64.38'	(64.30')	67.95'	(67.85')	64°52'00"	(64°48'03")	N 42°51'13" W / S72°16'47"W

File: 9254CSM.dwg
 Date: 07/02/2026
 Drafted By: scott
 Sheet: 2 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

Additional action is required.

This map does NOT transfer ownership of the property or properties shown. Sale or transfer of ownership requires a separate document to be recorded at the Register of Deeds office. No lot or parcel shall hereafter be created or altered by deed or any other means other than by an approved and recorded certified survey map or subdivision plat.

Survey Notes:

-Right-to-farm statement.

The lots created on this map are adjacent to properties that, as of the date of this document, are being used for agricultural purposes. Some individuals believe the activities associated with the agricultural use constitute a nuisance or conflict with the quiet enjoyment of their property. This statement is intended to provide third parties with notice agricultural activities may exist on the adjacent properties.

-Drain tile statement.

Any agricultural drain tile which is disturbed, cut or broken as part of the development of the CSM or excavation for construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed. The cost of repair and/or replacement of the drain tile must be borne by the party damaging the drain tile.

-Floodplain Information

*(Subject Site per FIRM Map No. 55087C0456D with and effective date of July 22, 2010.)
a) Mapped as "Zone X": Area determined to be outside the 0.2% annual chance floodplain.*

-Wetland Notes - Hydric Soils:

Prior to development, a wetland delineation may be required on lots 1-4 per Town of Buchanan Stormwater Ordinance. A wetland buffer is required and is regulated by the susceptibility of the wetland and shall be shown on the construction documents.

****Wetlands Shown were delineated by Davel Engineering (May 2026) and valid for 5 years given no permitting or impact to them. It is under the regulation of the Town of Buchanan, Outagamie County and Wisconsin Department of Natural Resources to require an updated or new delineation prior to development.**

Access Restriction Clause:

Lot 4 on this Certified Survey Map is hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any roadway lying within the right-of-way of Simm Drive, UNLESS land is annexed to the City of Kaukauna. It is expressly intended that this restriction constitute a restriction for the benefit of the public as provided in s.236.293, Stats., and shall be enforceable by the City of Kaukauna or its assigns. Any access shall be allowed only by special exception. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable.

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 3 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

Drainage, Grading and Storm Sewer Easement Provisions

An easement for Drainage, Grading and Storm Sewer Easement Provisions is hereby granted by:

Dercks 5, LLC, their respective lessees, successors, heirs or assigns, (Grantor), to:

THE CITY OF KAUKAUNA, (Grantee),
THE TOWN OF BUCHANAN, (Grantee),

This Grantor, their respective lessees, successors, heirs or assigns, shall have full use and enjoyment of the property referenced above provided that such use does not interfere with Grantee's right to install, replace, operate, maintain and repair said Drainage, Grading, Storm Sewer and associated appurtenances.

Buchanan drainage and grading easement restrictions. The following uses, structures and activities are prohibited in any easement or outlot used for drainage: filling, grading and excavating except for the construction of public streets, utility crossings and drainage improvements and facilities; construction or placement of any building or structure including fences; the cultivation of crops, fruits or vegetables; the planting of trees or shrubs; the dumping or depositing of ashes, waste, compost, temporary fill, or materials of any kind or nature; the storage of vehicles, equipment, materials, or personal property of any kind. These restrictions may be enforced by any lot owner, homeowners' association or the Town of Buchanan or the City of Kaukauna by proceedings in law or equity against any person violating or attempting to violate the restriction.

Drainage maintenance easement. The Town of Buchanan and the City of Kaukauna shall each have the independent and unqualified right to enter upon any easement area or outlot designated for drainage and grading for the purposes of inspection, maintenance, repair, and replacement of drainageways, drainage facilities, and drainage improvements.

Each municipality may, in its discretion, perform such work and assess the cost of such inspection, maintenance, repair, and replacement, including administrative costs, to all lots benefited thereby. Such costs shall be levied as special assessments and placed on the annual tax roll.

The purchase or ownership of any lot shall constitute a waiver of objection to such assessments and an agreement to pay said assessments.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

In the presence of: Dercks 5, LLC

_____	_____	_____
Managing Member	Print Name	Date
State of Wisconsin))SS _____ County)		

Personally came before me on the day of _____, 2026, The above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 4 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

12' Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by:
James & Beth Verbeten Joint Revocable Trust, Grantor

to:
Kaukauna Utilities, Grantee,
Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,
AT&T, Grantee,
Spectrum, Grantee,
TDS Metrocom, LLC, Grantee,
and
Any utility company with a current and approved Public Right-of-Way Registration in the City of Kaukauna, Grantees

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

In the Presence of: James & Beth Verbeten Joint Revocable Trust

By _____ print name _____ Title _____

By _____ print name _____ Title _____

State of Wisconsin)
)SS
_____ County)

Personally came before me on the ____ day of _____, 20____,
the above the property owner(s) to me known to be the persons who
executed the foregoing instrument and acknowledge the same.

Notary Public, Wisconsin
My Commission Expires _____

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169 File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 5 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

12' Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by:
Dercks 5 LLC, Grantor

to:
Kaukauna Utilities, Grantee,
Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,
AT&T, Grantee,
Spectrum, Grantee,
TDS Metrocom, LLC, Grantee,
and
Any Public Utility company, Grantees

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

In the Presence of: Dercks 5, LLC

By _____ Date _____

Print name & Title _____

State of Wisconsin)
)ss
_____ County)

Personally came before me this _____ day of _____, 20____,

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin

My commission expires: _____.

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169
File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 6 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

Corporate Owner's Certificate

Dercks 5, LLC, a corporation duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owners, do hereby certify that we caused the land above described to be surveyed, divided, mapped and dedicated all as shown and represented on this map.

We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Department of Development & Land Services
Town of Buchanan
City of Kaukauna

IN WITNESS WHEREOF, the said Dercks 5, LLC, has caused these presents to be

signed by its authorized representatives, located at _____, Wisconsin, and its corporate seal to be hereunto affixed

this _____ day of _____, 20_____.

In the Presence of: Dercks 5, LLC

By _____

Print name and Title _____

State of Wisconsin)
)SS
_____ County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____

Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 7 of 11

Certified Survey Map No. _____

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Owners' Certificate

As representative of James & Beth Verbeten Joint Revocable Trust, I hereby certify that we caused the land described on this certified survey map to be surveyed, divided, combined, dedicated and mapped all as shown and represented on this map.

We do further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Department of Development & Land Services
Town of Buchanan
City of Kaukauna

In the presence of: James & Beth Verbeten Joint Revocable Trust

James Verbeten
Trustee

Beth Verbeten
Trustee

State of Wisconsin)
)SS
_____County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 8 of 11

Certified Survey Map No. _____

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Owners' Certificate

As the property owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided, combined and mapped all as shown and represented on this map.

We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Department of Development & Land Services
Town of Buchanan
City of Kaukauna

Dated this _____ day of _____, 20_____

Thomas M. Verbeten, Owner

State of Wisconsin)
)SS
_____County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 9 of 11

Certified Survey Map No. _____

All of Lot 1 and Part of Lot 2, Certified Survey Map No. 6578 (Doc. 1972612); Part of Lot 2, Certified Survey Map No. 3772 (Doc. 1369982); All of Lot 2, Certified Survey Map No. 6851 (Doc. 2020737); All of Lot 1, Certified Survey Map No. 5370 (Doc. 1713456); Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 35, Township 21 North, Range 18 East, Town of Buchanan, Outagamie County, Wisconsin.

Owners' Certificate

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We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Department of Development & Land Services
Town of Buchanan
City of Kaukauna

Dated this _____ day of _____, 20_____

Kurt Vandewettering, Owner

Melissa Gossen, Owner

State of Wisconsin)
)SS
_____County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 9254CSM.dwg
Date: 07/02/2026
Drafted By: scott
Sheet: 10 of 11



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: July 2, 2026
 Re: Site Plan Review – Holland Cold Storage (3600 Electric City Boulevard)

Holland Cold Storage provides cold storage solutions. This project will add an additional 28,340 square feet of space to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial District (IND) and New Prosperity Center covenants are being met and all ordinances are being complied with to include zoning requirements. The current Holland Cold Storage building has a height of 24' and the height of the addition will be the same. There are currently 77 off-street parking spaces, and there are no plans to add additional off-street parking spaces.

Landscape: [17.52 Landscaping Requirements](#)

Landscaping requirements are being met.

Lighting:

No concerns with lighting at this time.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has been conditionally approved by the Engineering Department pending Army Corp of Engineers review.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time, but an agreement will have to be made with the City for expansion of the fire lane on City property.

Façade: [17.53 Façade Standards](#)

The façade proposed is identical to the existing building and has received approval from the Industrial Park Commission.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- Prior to issuance of building permits, the owners of the property must record an easement or agreement for private storm sewer connection to the pond and expansion of the fire lane on City property.
- Prior to issuance of building permits, the owners of the property must submit in writing an affidavit of current and future needs for parking stalls based on employees and visitors, as set forth in Section 3(B) of the NEW Prosperity Center covenants.
- Prior to issuance of building permits, approval must be received from the Army Corp of Engineers.





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: KCS Real Estate Ventures, LLC	Name: Holland Cold Storage
Mailing Address: 3600 Electric City Blvd.	Mailing Address: 3600 Electric City Blvd.
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Phase 2 - 1 additional commercial building with parking.	
Property Parcel (#): 322112801	
Site Address/Location: 3600 Electric City Blvd, Kaukauna, WI 54130	
Current Zoning and Use: IND	
Proposed Zoning and Use: IND - Warehousing	
Existing Gross Floor Area of Building: sq ft	Proposed Gross Floor Area of Building: 28,340 sq ft
Existing Building Height: 24' eave height	Proposed Building Height: Match (24' eave height)
Existing Number of Off-Street Parking Spaces: 77	Proposed Number of Off-Street Parking Spaces: 0
Existing Impervious Surface Coverage Percentage:	Proposed Impervious Surface Coverage Percentage: 4

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Michele Bowers

Owner/Agent Name (printed): Michele Bowers

SITE PLAN REVIEW PROCEDURE

The plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

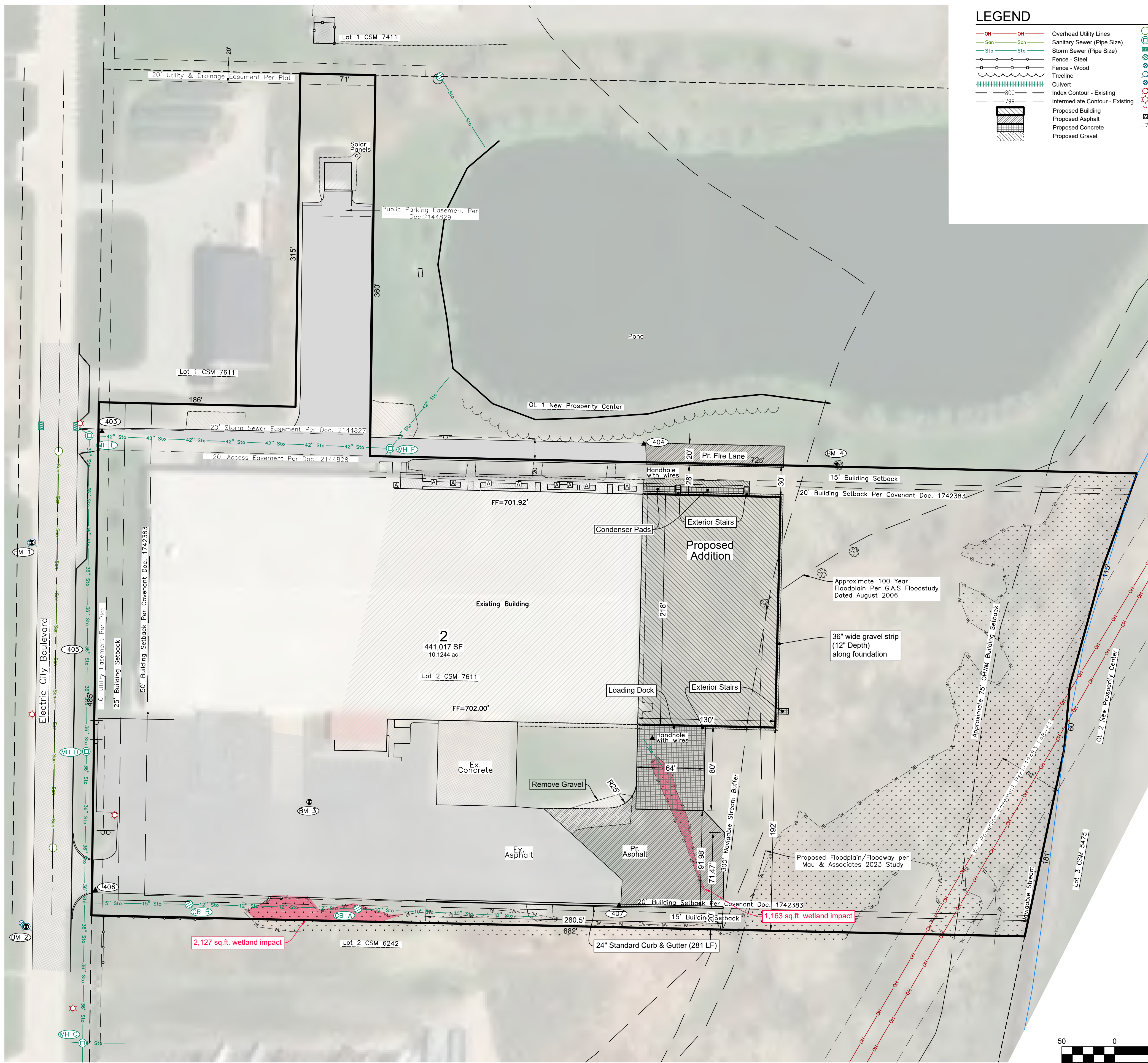
- ✓ Completed site plan application
- ✓ Completed erosion control and stormwater management permit application and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

SITE PLAN SUBMISSION

1. Email the Planning and Community Development Department at planning@kaukauna.gov

OR

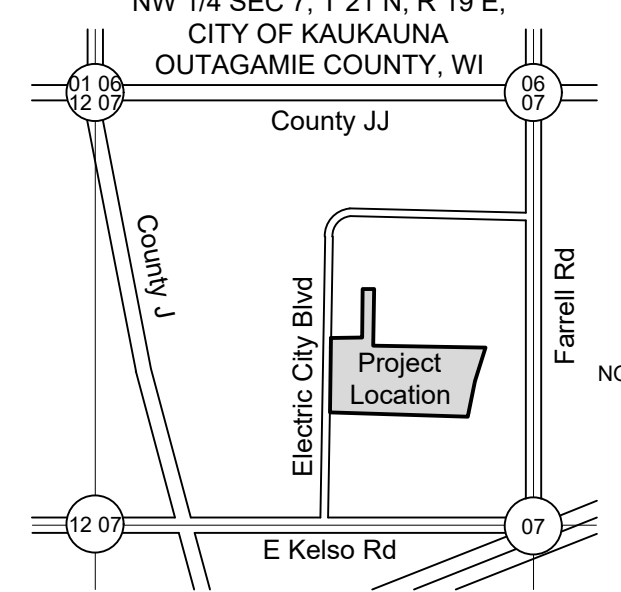
2. Drop off in-person or send by mail to City of Kaukauna, Attn: Planning and Community Development Department, 144 W. 2nd Street, Kaukauna, WI 54130



LEGEND

- OH Overhead Utility Lines
- San Sanitary Sewer (Pipe Size)
- Sto Storm Sewer (Pipe Size)
- Fence - Steel
- Fence - Wood
- Treeline
- Culvert
- Index Contour - Existing
- Intermediate Contour - Existing
- Proposed Building
- Proposed Asphalt
- Proposed Concrete
- Proposed Gravel
- Sanitary MH / Tank / Base
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Hydrant
- Utility Valve
- Utility Pole
- Light Pole / Signal
- Gay Wire
- Air Conditioner
- +799.9 Ex Spot Elevation
- Sign
- Post / Guard Post
- Deciduous Tree
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel
- 1" Iron Pipe Found

LOCATION MAP



SITE INFORMATION:

Site Address: 3600 Electric City Blvd.
 Parcel #: 322112801
 Current Use: Industrial (storage facility)

Current Zoning: IND (Industrial)
 Adjacent Zoning: IND
 North: IND
 South: IND
 East: IND
 West: IND

Site Areas

Parcel Area: 441,017 SF (10.12 Ac.)
 Existing Building Area: 103,143 SF
 Existing Pavement Area: 97,973 SF
 Total Existing Impervious: 201,116 SF (45.60%)
 Existing Green Space: 239,901 SF

Proposed Building Expansion: 28,340 SF
 Proposed Pavement Expansion: 17,002 SF
 Total Impervious Expansion: 45,342 SF

Total Building Area: 131,483 SF
 Total Pavement Area: 114,975 SF
 Total Impervious: 246,458 SF (55.88%)
 Total Green Space: 194,559 SF (44.12%)

PARKING CALCULATIONS

Existing Parking Stalls: 77 (including 3 Handicap)
 Additional Parking Stalls: 0
 Total Proposed Parking Stalls: 77

PROPERTY OWNER:

KCS Real Estate Ventures, LLC
 3600 Electric City Blvd.
 Kaukauna, WI 54130
 Telephone: (920)

ARCHITECT:

Gries Architectural Group, Inc.
 500 North Commercial Street
 Neenah, WI 54956
 Telephone: (920) 722-2445

SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage, Grading, & Utility Plan	C1.2
Erosion & Sediment Control Plan	C1.3
Construction Details	C2.1
Erosion & Sediment Control Details	C2.2

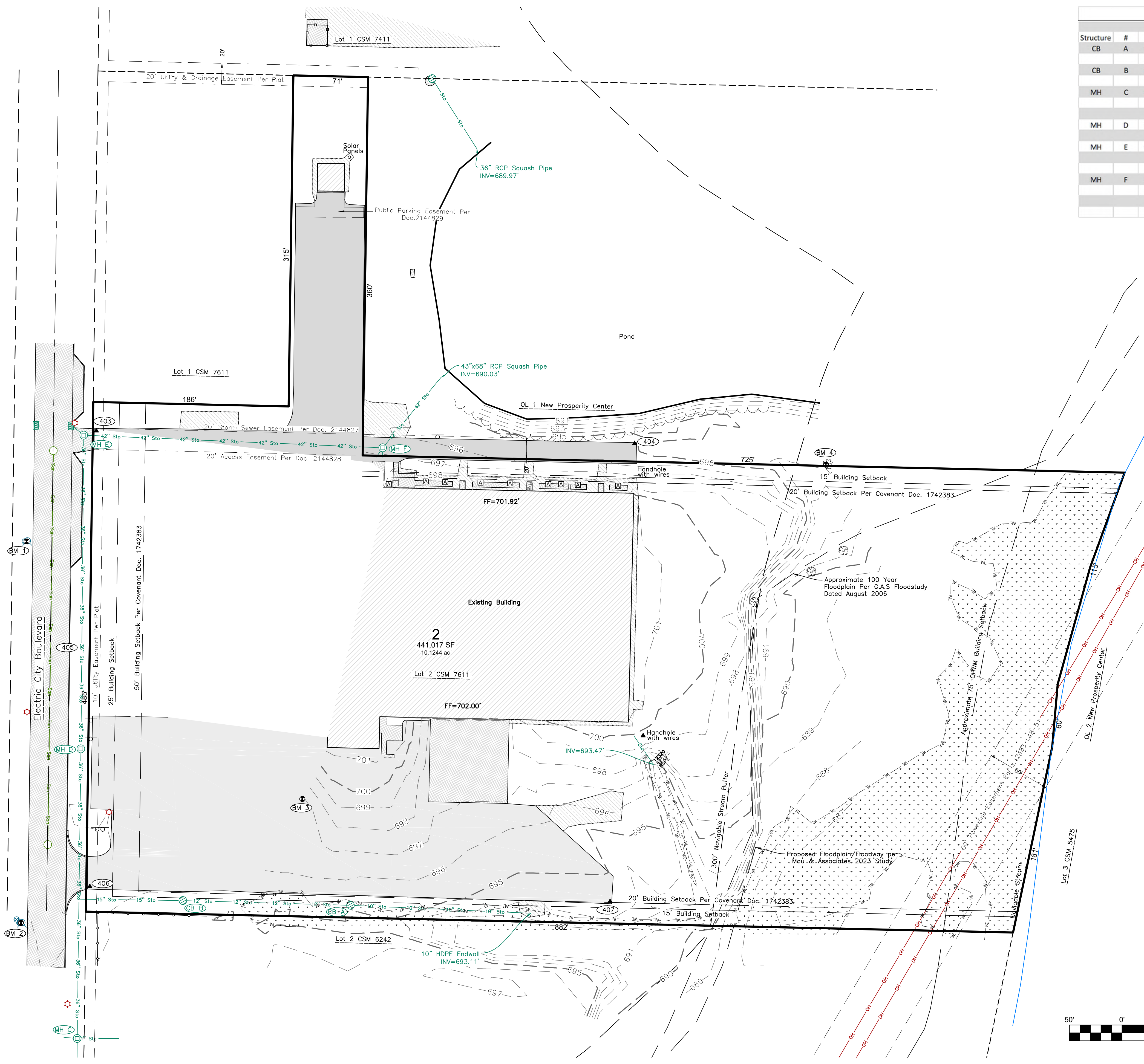
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DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866
 www.davel.pro

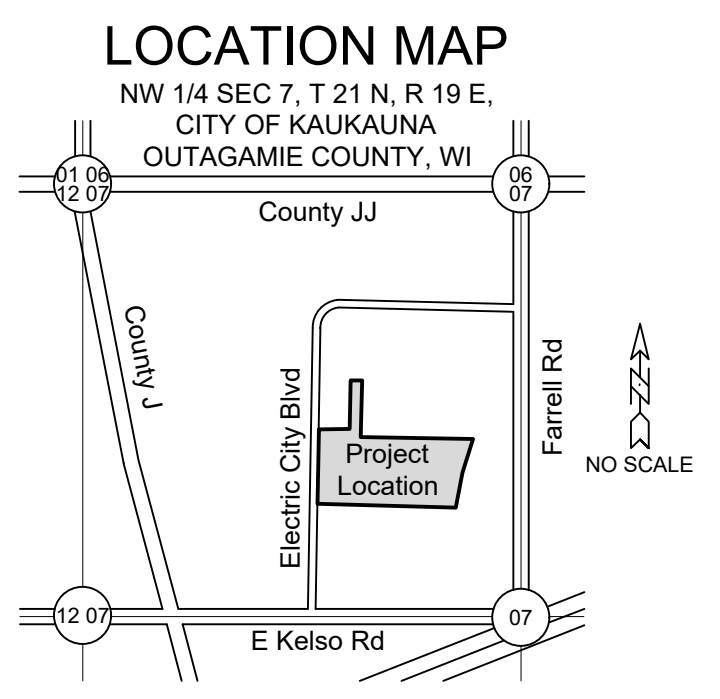
SITE PLAN

Holland Cold Storage
 City of Kaukauna, Outagamie County, WI
 For: Gries Architectural Group Inc.

Date:	05/28/2026
Filename:	9151Engr.dwg
Author:	TNW
Last Saved by:	tim
Page:	C1.0



Storm Structures						
Structure	#	Rim	Inv	Size	Material	Direction
CB	A	695.10	692.50	12"	HDPE	W
			692.50	10"	HDPE	E
CB	B	695.10	691.70	15"	HDPE	W
			691.70	12"	HDPE	E
MH	C	696.13	690.83	36"	RCP	N
			690.83	36"	RCP	S
MH	D	697.49	690.83	24"	HDPE	E
			690.49	36"	RCP	N
MH	E	695.95	690.05	48"	RCP	S
			690.05	42"	RCP	E
MH	F	696.27	690.05	24"	HDPE	NW
			689.87	42"	RCP	W
			689.87	42"	RCP	NE
			693.17	10"	PVC	SW
			692.37	18"	HDPE	S



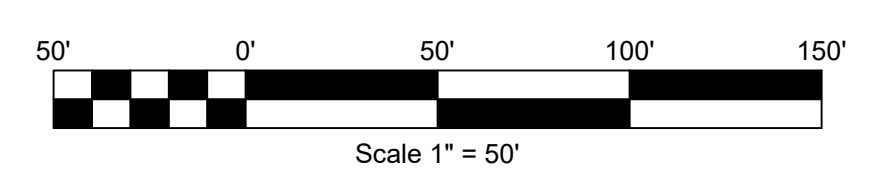
BENCHMARKS (Datum NAVD88)

BM 0	NGS Benchmark PID and Designation - PN0644 Elev 695.39
BM 1	Fire Hydrant, Tag Bolt On West R/W, Adjacent to North Entrance to Site Elev 698.36
BM 2	Fire Hydrant, Tag Bolt On West R/W, Adjacent to South Entrance to Site Elev 698.66
BM 3	Chiseled Square, South End Top of Loading Dock Wall ±225' Northeast of South Entrance to Site Elev 701.96
BM 4	Nail in Tree ±700' East of North Entrance to Site Elev 695.28

Horizontal Control			
Holland Cold Storage - (City of Kaukauna)			
2025-10-28			
Davel Engineering and Environmental			
Horizontal Control (per Outagamie County Coordinate System)			
Point Number	Northing	Easting	Description
403	580359.12	869426.03	Control MAG
404	580347.11	869938.04	Control MAG
405	580142.47	869400.43	Control MAG
406	579925.49	869419.78	Control MAG
407	579911.17	869914.68	Control MAG

- General Notes:**
- Zoning Information**
City of Kaukauna
Industrial (IND) District
Setbacks:
Front Yard: 25 Feet 50 Feet Per Covenant
Side Yard: 15 Feet 20 Feet Per Covenant
Rear Yard: 30 Feet 20 Feet Per Covenant
Caveat: Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the City of Kaukauna and any other local agencies.
 - Public Trust Information**
s.236.20 (6) "Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."
 - Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - This is not a boundary survey.

LEGEND		
OH	Overhead Utility Lines	Sanitary MH / Tank / Base
San	Sanitary Sewer (Pipe Size)	Storm Manhole
Sto	Storm Sewer (Pipe Size)	Inlet
Sto	Storm Sewer (Pipe Size)	Catch Basin / Yard Drain
Sto	Storm Sewer (Pipe Size)	Curb Stop
Sto	Storm Sewer (Pipe Size)	Hydrant
Sto	Storm Sewer (Pipe Size)	Utility Valve
Sto	Storm Sewer (Pipe Size)	Utility Pole
Sto	Storm Sewer (Pipe Size)	Light Pole / Signal
Sto	Storm Sewer (Pipe Size)	Guy Wire
Sto	Storm Sewer (Pipe Size)	Air Conditioner
Sto	Storm Sewer (Pipe Size)	+799.9 Ex Spot Elevation
Sto	Storm Sewer (Pipe Size)	Sign
Sto	Storm Sewer (Pipe Size)	Post / Guard Post
Sto	Storm Sewer (Pipe Size)	Deciduous Tree
Sto	Storm Sewer (Pipe Size)	Benchmark
Sto	Storm Sewer (Pipe Size)	Asphalt Pavement
Sto	Storm Sewer (Pipe Size)	Concrete Pavement
Sto	Storm Sewer (Pipe Size)	Gravel
Sto	Storm Sewer (Pipe Size)	1" Iron Pipe Found



DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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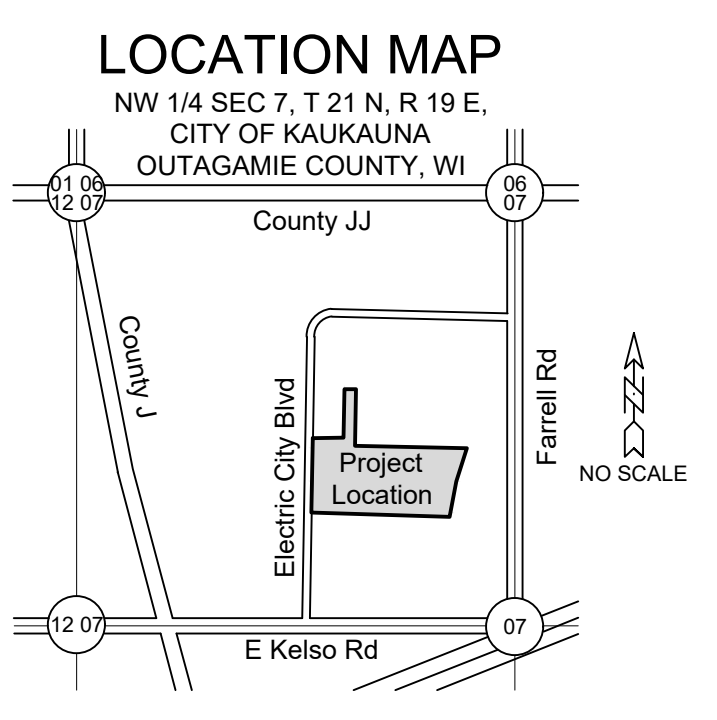
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davelpro

TOPOGRAPHIC SURVEY

Holland Cold Storage
City of Kaukauna, Outagamie County, WI
For: Gries Architectural Group Inc.

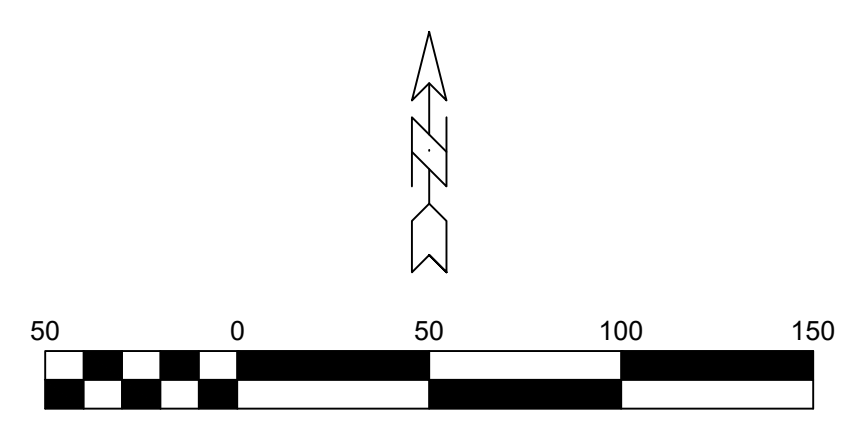
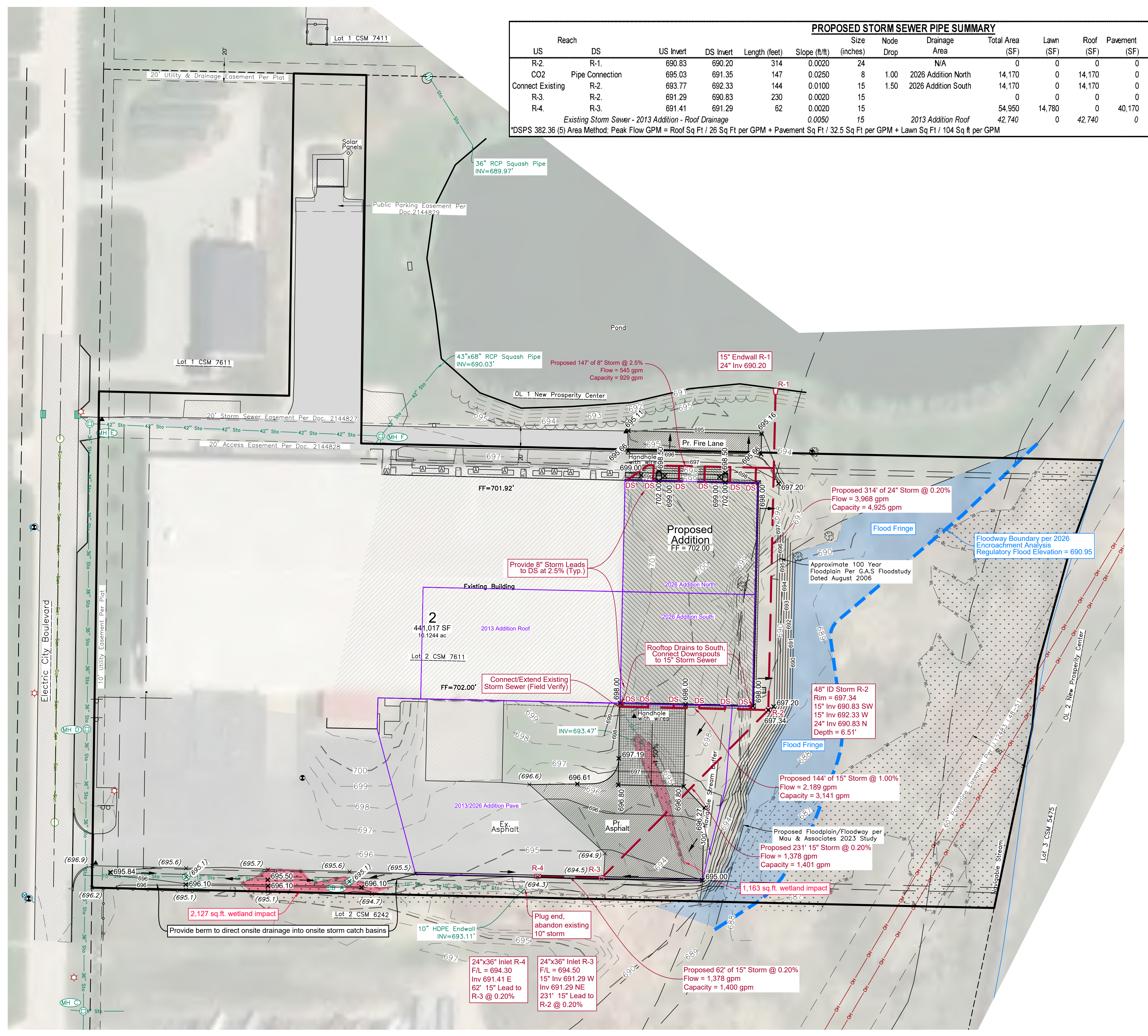
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Author: SRA
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PROPOSED STORM SEWER PIPE SUMMARY																	
Reach	US	DS	US Invert	DS Invert	Length (feet)	Slope (ft/ft)	Size (inches)	Node Drop	Drainage Area	Total Area (SF)	Lawn (SF)	Roof (SF)	Pavement (SF)	Runoff* (GPM)	Design Flow (GPM)	Capacity (GPM)	Velocity (ft/s)
R-2	R-1		690.83	690.20	314	0.0020	24		N/A	0	0	0	0	0	4112	4919	3.5
CO2	Pipe Connection		695.03	691.35	147	0.0250	8	1.00	2026 Addition North	14,170	0	14,170	0	545	545	929	5.9
Connect Existing	R-2		693.77	692.33	144	0.0100	15	1.50	2026 Addition South	14,170	0	14,170	0	545	2189	3141	5.7
R-3	R-2		691.29	690.83	230	0.0020	15			0	0	0	0	0	1378	1405	2.6
R-4	R-3		691.41	691.29	62	0.0020	15		2013 Addition Roof	54,950	14,780	0	40,170	1378	1378	1405	2.6
Existing Storm Sewer - 2013 Addition - Roof Drainage										42,740	0	42,740	0	1644	1644	2221	4.0
*DSPS 382.36 (5) Area Method: Peak Flow GPM = Roof Sq Ft / 26 Sq Ft per GPM + Pavement Sq Ft / 32.5 Sq Ft per GPM + Lawn Sq Ft / 104 Sq ft per GPM																	



- BENCHMARKS (Datum NAVD88)**
- BM 0 NGS Benchmark
PID and Designation - PN0644
Elev 695.39
 - BM 1 Fire Hydrant, Tag Bolt
On West RW, Adjacent to North Entrance to Site
Elev 698.36
 - BM 2 Fire Hydrant, Tag Bolt
On West RW, Adjacent to South Entrance to Site
Elev 698.66
 - BM 3 Chiseled Square, South End Top of Loading Dock Wall
±225' Northeast of South Entrance to Site
Elev 701.96
 - BM 4 Nail in Tree
±700' East of North Entrance to Site
Elev 695.28

- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
 - Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the City of Kaukauna.
 - The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.
 - The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits. The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
 - The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.
 - Pipe lengths are measured to center of structure. Endwalls are included in pipe length.
 - Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with water tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.



- Proposed Storm Sewer
- Proposed Contour
- Proposed Swale
- Proposed Catchment
- Prop. Flowline Spot Elev.
- Prop. Top of Walk Elev.
- Existing Grade
- Proposed Building
- Proposed Asphalt
- Proposed Concrete
- Proposed Gravel
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Rip Rap
- Prop. Drainage Direction
- Prop. Finished Floor Elev.
- Emergency Overflow for Runoff
- DS Downslope Connection to Storm Sewer

DRAINAGE, GRADING, & UTILITY PLAN

Holland Cold Storage
City of Kaukauna, Outagamie County, WI
For: Gries Architectural Group Inc.

Date: 05/28/2026
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Author: TNW
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www.davelpro

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Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. Post municipal and/or DNR Certificate of Permit Coverage onsite and maintain until construction activities have ceased and the site is stabilized. Keep a copy of the erosion control plan onsite throughout the duration of construction. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control Product Acceptability Lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary. Sediment flushing is not allowed.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the swales, storm inlets, and public rights-of-way.
 - b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used uplope of any soil piles to reduce the amount of sediment transported. All diversions shall be installed and maintained in accordance with **DNR Technical Standard 1066**.
 - Protect biofiltration devices and vegetation from runoff during construction. Construction site runoff from disturbed areas shall be diverted from biofiltration devices until the area is stabilized. Refer to **WDNR Technical Standard 1004**.
- 2) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6-inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with **DNR Technical Standard 1056**. It will be placed at the following locations:
 - along the site boundary where runoff will leave the site;
 - along a contour of similar elevation located downslope of a disturbed drainage area;
 - at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - b) Interim Manufactured Perimeter Control and Slope Interruption Products - Intended to detain or slow the flow of sediment-laden sheet flow runoff from small areas of disturbed soil, most commonly in the form of a sediment log. Sediment logs and other slope interruption products shall be installed and maintained in accordance with **DNR Technical Standard 1071**.
 - c) Temporary Grading Practices for Erosion Control - Intended to minimize erosion and sediment transport during grading operations on construction sites. Stage construction grading activities to minimize the cumulative exposed area. Conduct temporary grading for erosion control per **DNR Technical Standard 1067**.
 - d) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities, and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with **DNR Technical Standards 1052 and 1053** and all Mulching with **DNR Technical Standard 1058**. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
 - e) Seeding - Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with **DNR Technical Standard 1059**. Seed mixture 30 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1,000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard, but no later than November 1st. Sod placement may occur at any time sod is available and the
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. Riprap will be used in the following areas:
 - pipe outfalls as indicated on the plans
- 3) Permanent Channel Stabilization
 - a) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with **DNR Technical Standard 1060**. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans. Type D-HR or D-M inlet protection shall be installed and maintained at all storm sewer surface inlets during construction.
 - 6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with **DNR Technical Standard 1057**. A tracking pad will be constructed at the site entrance with daily maintenance to remove any sediment accumulation on the existing driveway.
 - 7) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in **DNR Technical Standard 1068**. These methods include the use of polymers, seeding, and mulch.
 - 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with **DNR Technical Standard 1065**.
 - a) If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel. The treatment channel shall consist of the following:
 - A flat bottom that is six-feet wide
 - Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
 - Lined with a woven separation fabric covered by jute netting.
 - Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.
 - b) Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.
 - c) Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.
 - d) A DNR High Capacity Well Approval may be necessary for dewatering activities that will exceed a cumulative pump capacity of 70 GPM.
 - 9) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Refer to https://dnr.wisconsin.gov/topic/Stormwaterstandards/const_standards.html for copies of WDNR Stormwater Construction Technical Standards.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Install all erosion control measures, strip topsoil. **July 2026**
- 3) Utility Construction: **July 2026**
- 4) Grade & Gravel parking and drive areas. Field inspect and add additional measures if necessary. **July 2026**
- 5) Construct building. **July 2026- January 2027**
- 6) Paving: **October 2026**
- 7) Establish vegetation (lawn and ditch areas) no later than one week after final grade is established. **No later than September 15, 2026 or immediately upon completion.**
- 8) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures shall be removed once final site stabilization has occurred (greater than 70-percent final vegetative cover).

Note: The dates provided are approximate for construction and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

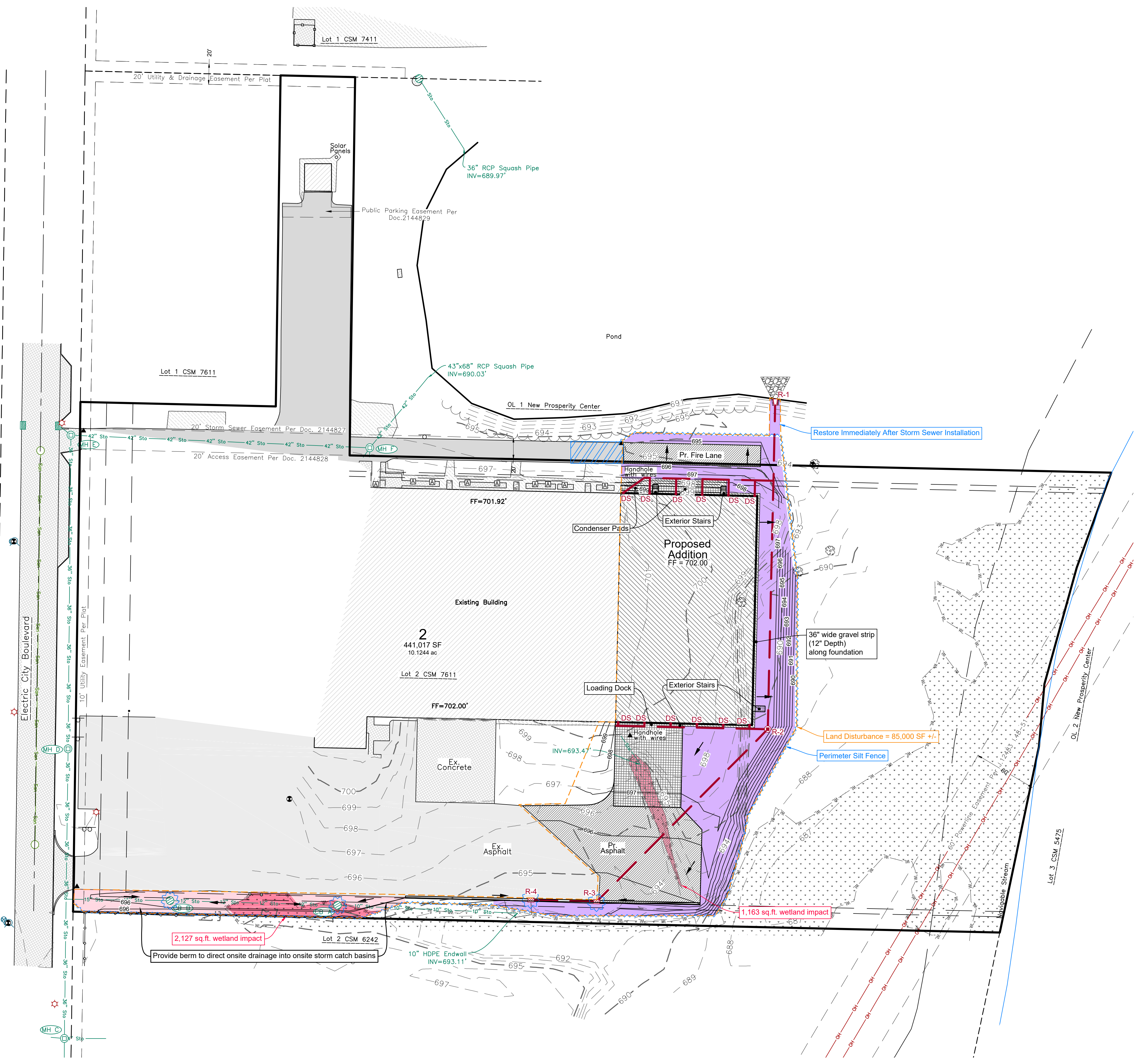
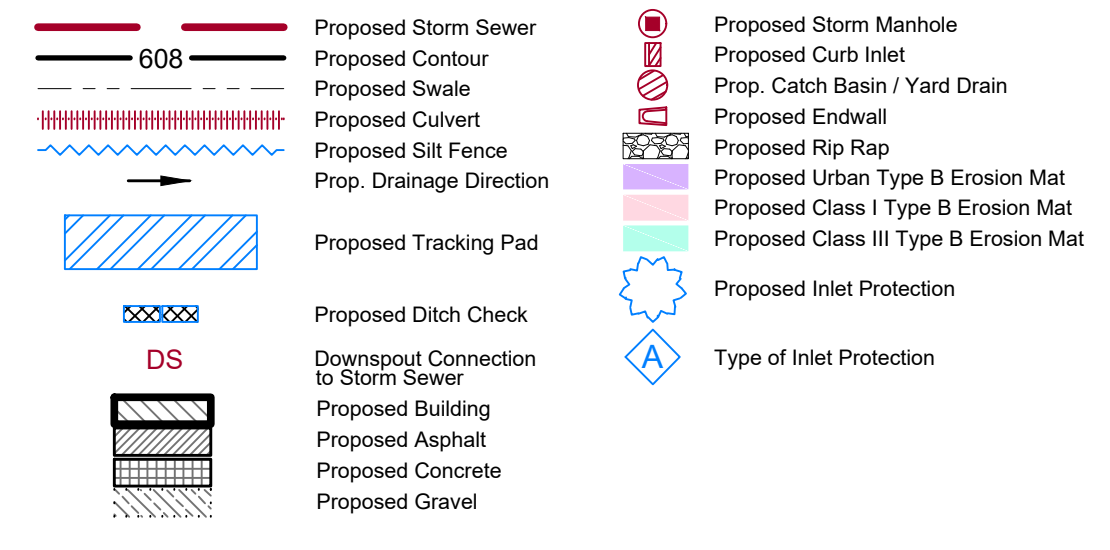
The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

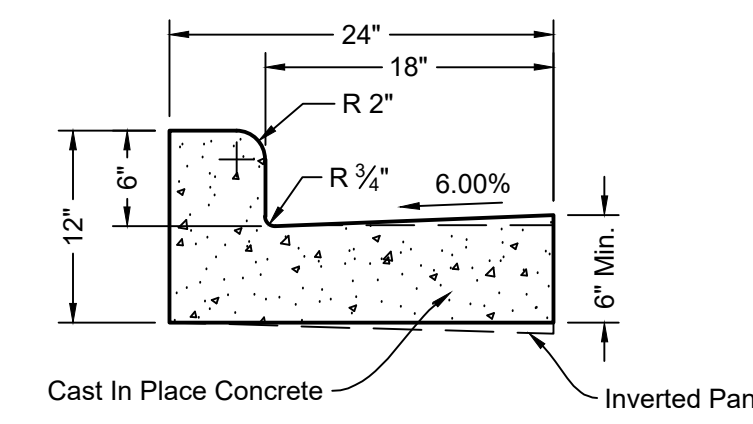
- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to <http://dnr.wi.gov/topic/stormwater/construction/forms.html> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, City of Kaukauna, or the Wisconsin Department of Natural Resources.

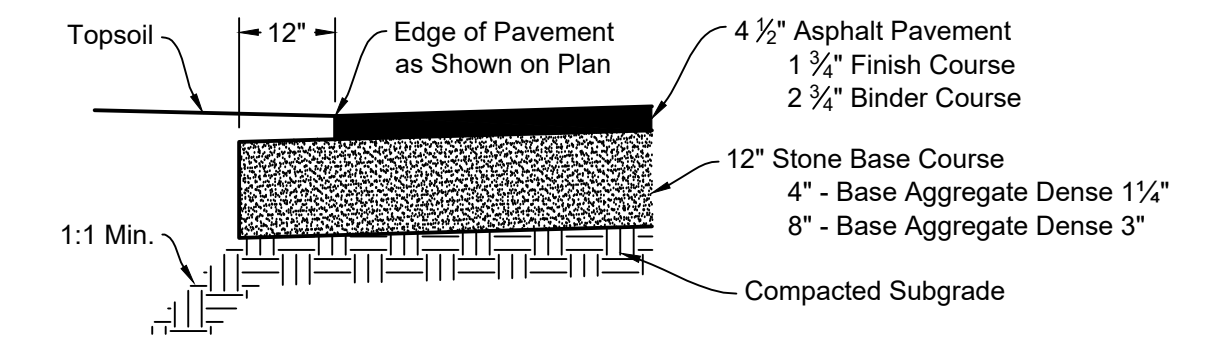
Responsible Parties

Best Management Practices (BMPs) Construction and Maintenance:
 To be determined
 Inspection and Compliance Enforcement
 City of Kaukauna
 Wisconsin Department of Natural Resources

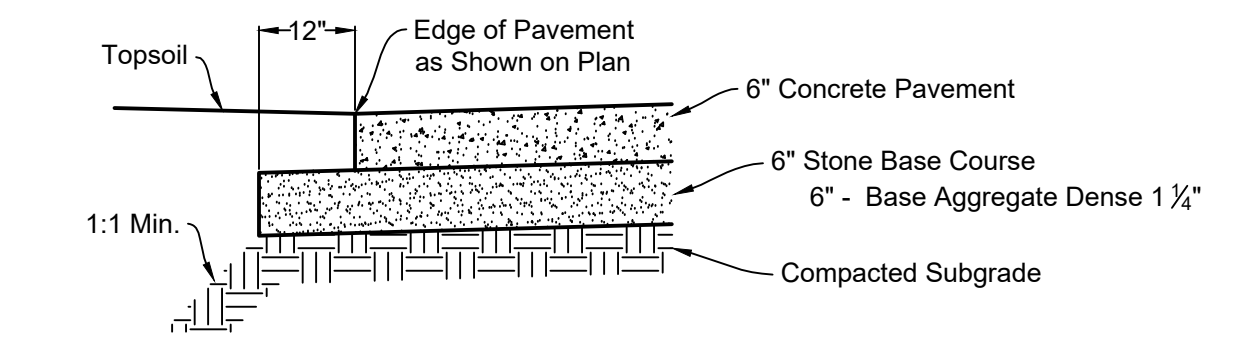




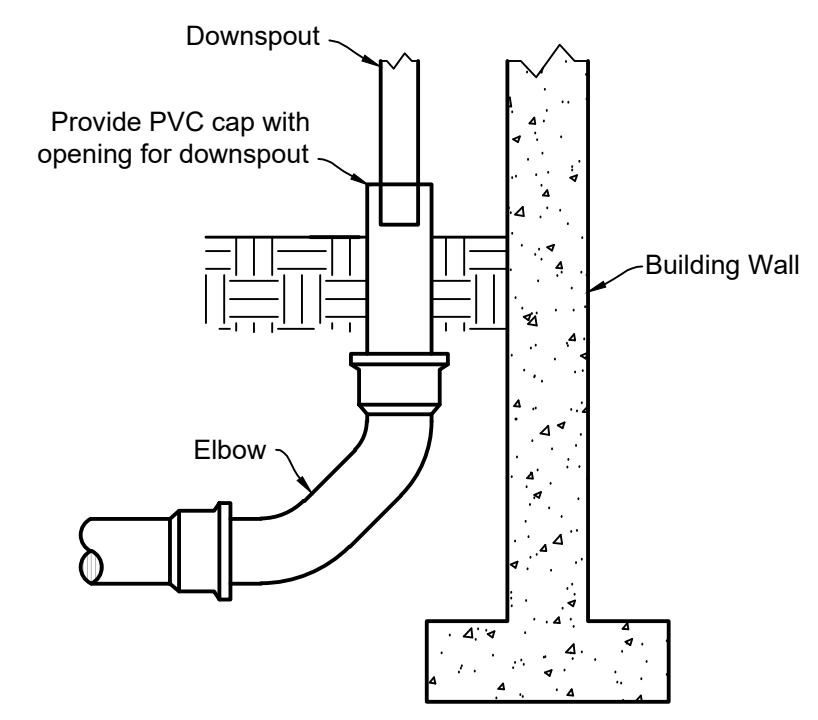
24" STANDARD CURB



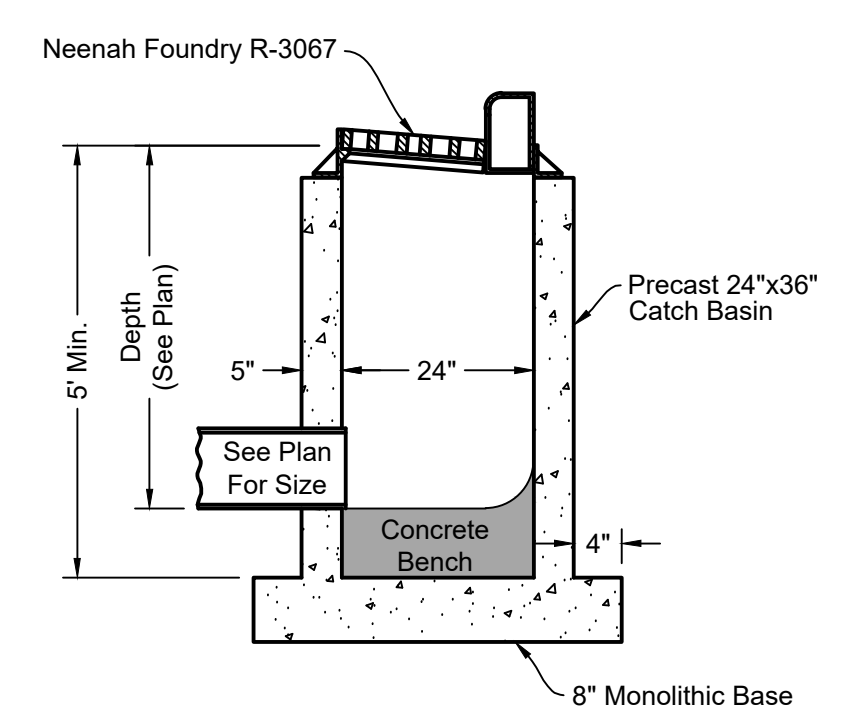
ASPHALT PAVEMENT SECTION



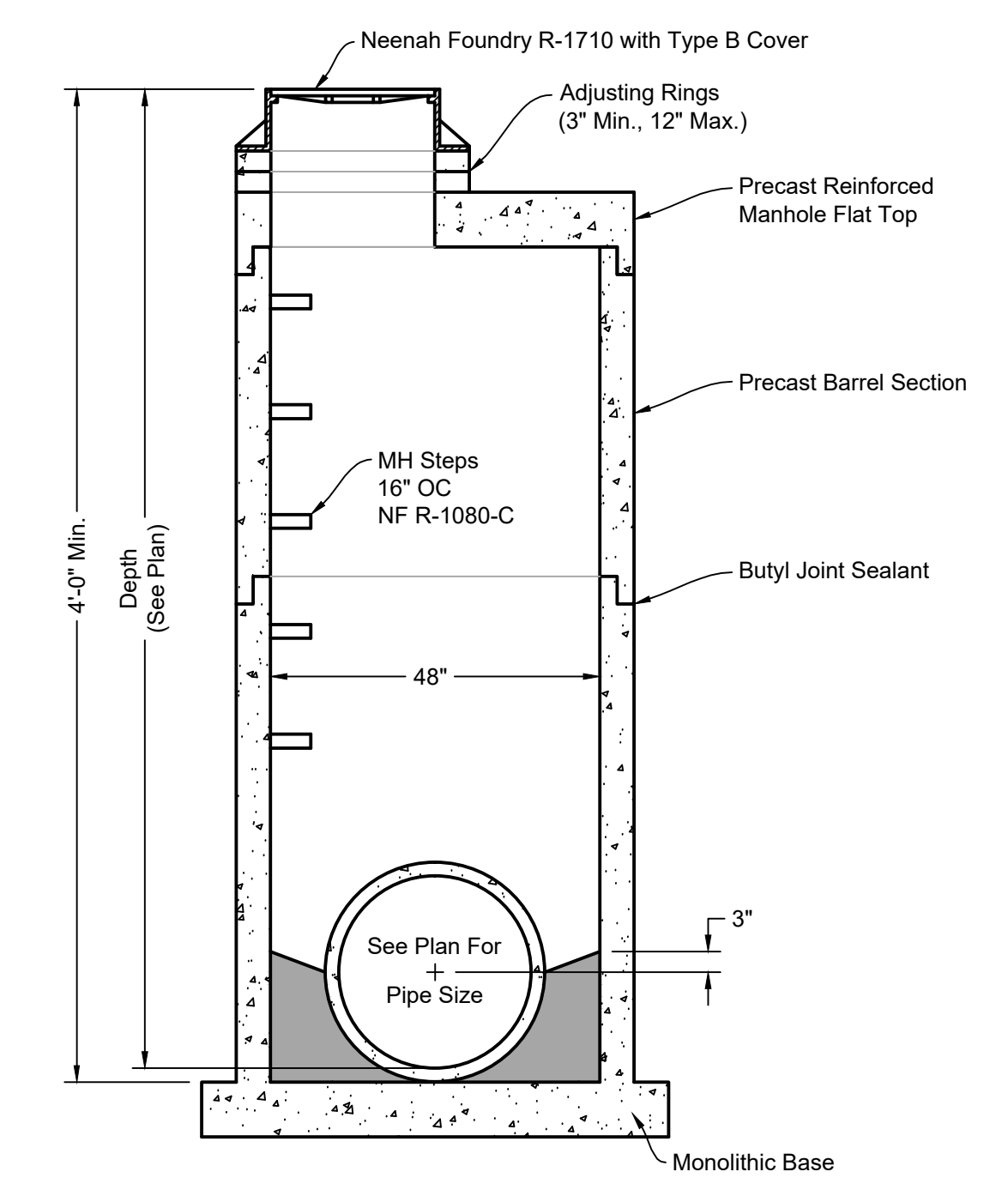
CONCRETE PAVEMENT SECTION



ROOF DRAIN CONNECTION TO STORM SEWER



CURB INLET DETAIL



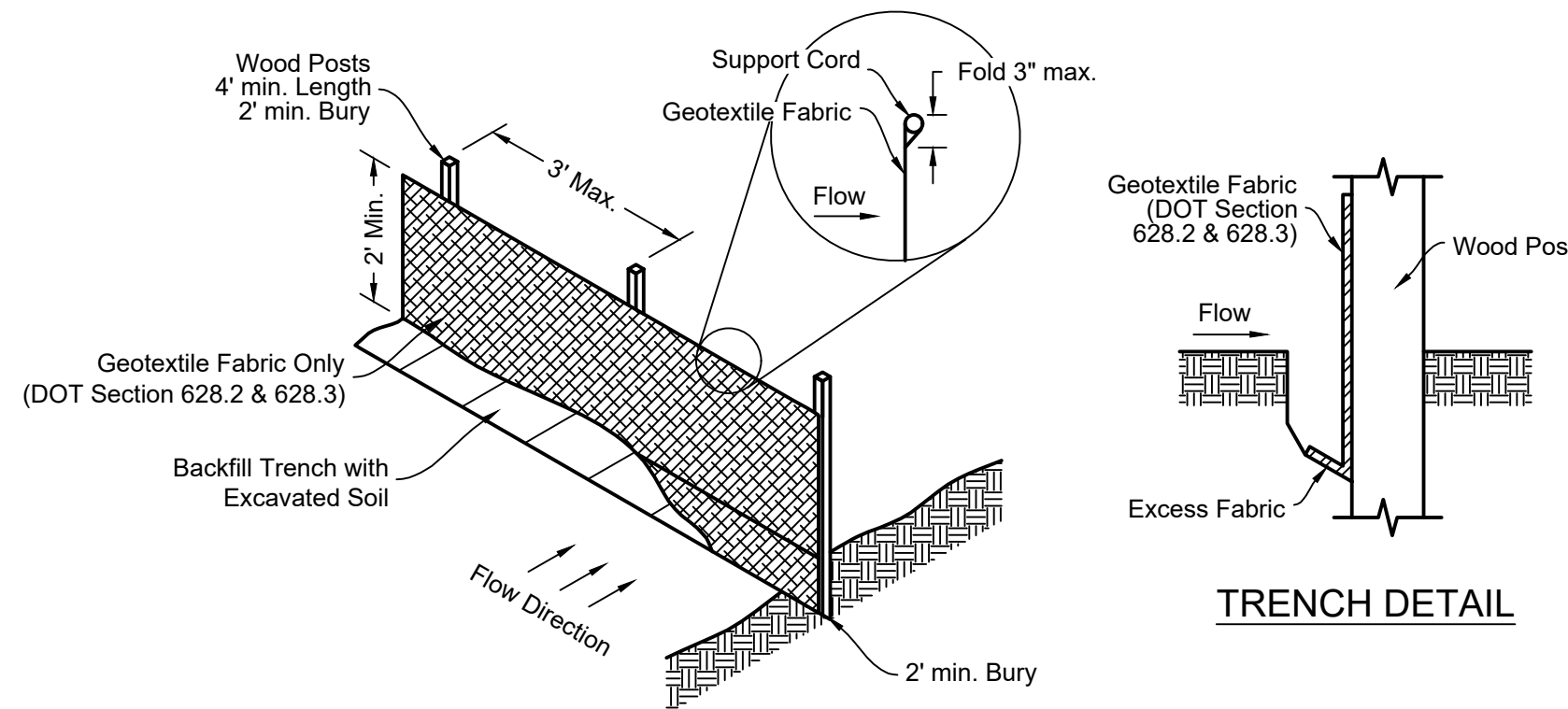
STANDARD STORM MANHOLE

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866
 www.davel.pro

CONSTRUCTION DETAILS

Holland Cold Storage
 City of Kaukauna, Outagamie County, WI
 For: Gries Architectural Group Inc.

Date:	05/11/2026
Filename:	9151Engr.dwg
Author:	TNW
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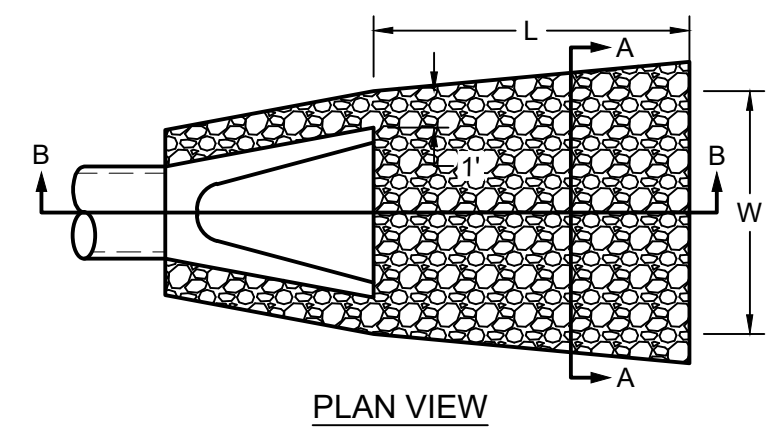


TRENCH DETAIL

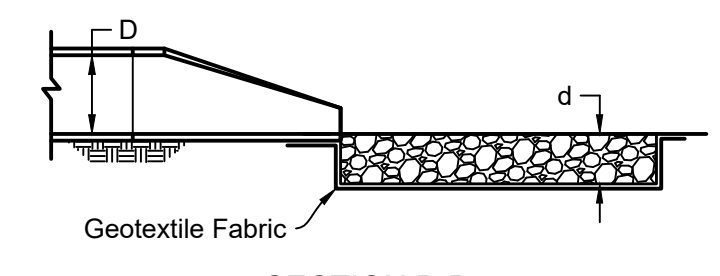
Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION
DNR TECHNICAL STANDARD 1056

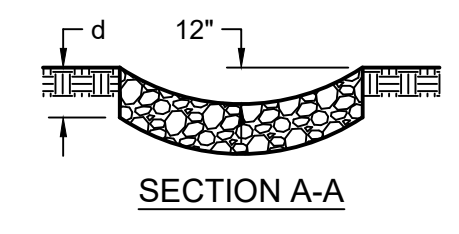


PLAN VIEW



SECTION B-B

OUTLET PROTECTION

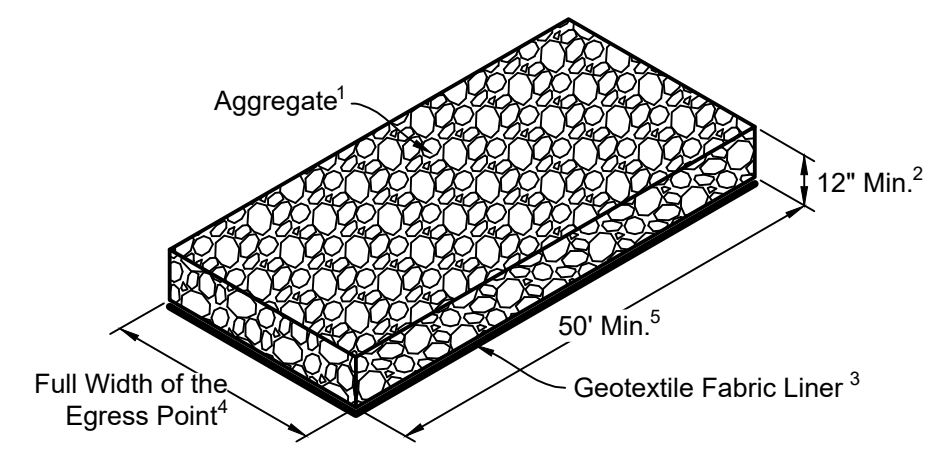


SECTION A-A

D	12"	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"
L	10'	12'	18'	20'	20'	25'	28'	33'	37'	40'	45'
W	11"	13"	20"	22"	24"	28"	32"	38"	42"	45"	50"
d	12"	12"	12"	18"	18"	18"	24"	24"	24"	24"	24"
Riprap	Light	Light	Light	Med.	Med.	Med.	Heavy	Heavy	Heavy	Heavy	Heavy
cu yds	2.6	3.6	7.8	14.3	15.6	22.6	38.4	53.2	65.8	76.3	95.0

Notes:

1. Excavate below channel outlet and widen channel outlet to the required riprap thickness for each apron. Foundation to be set to zero grade and smoothed.
2. Place geotextile fabric on bottom and sides of prepared foundation. Fabric shall extend under endwall in accordance with DOT specifications. (DOT Section 628.2 & 628.3)
3. Exercise care in placement of riprap to avoid damage to filter fabric.
4. Use riprap conforming to Wisconsin DOT specifications. (DOT Section 606.2 & 606.3)
5. Use DOT Type R geotextile fabric for light riprap. Use Type HR for medium and heavy riprap. (DOT Section 606.2, 606.3, 628.2 & 628.3)
6. Use 12" dimension for pipes less than 12" in diameter.



TRACKING PAD DETAIL
DNR TECHNICAL STANDARD 1057

Note 1 Use hard, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2022 Standard Specification, Section 312. Select Crushed Material.

Note 2 Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.

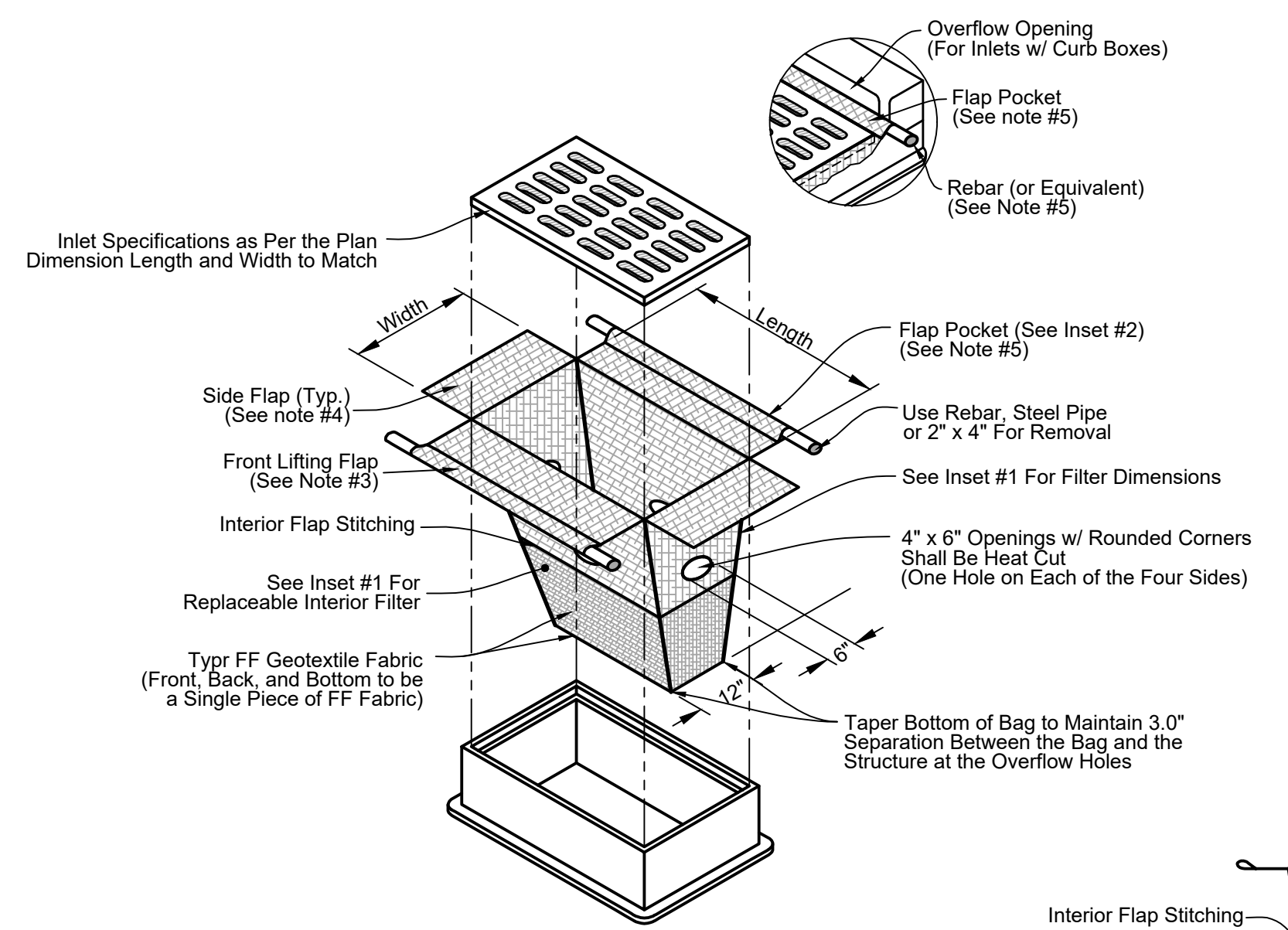
Note 3 Select fabric type based on soil conditions and vehicles loading.

Note 4 Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

Note 5 If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

TABLE 1: GRADATION FOR STONE TRACKING PADS

Sieve Size	Percent by weight passing
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5



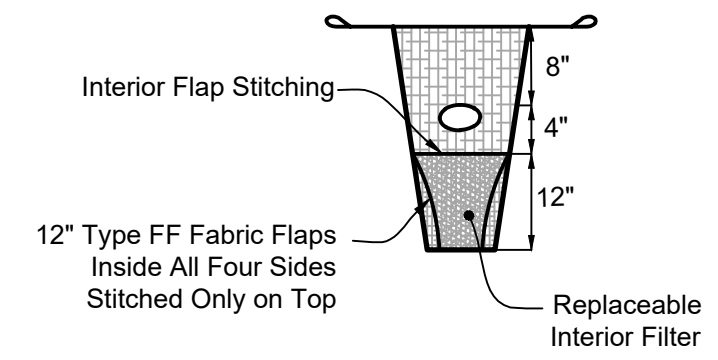
INLET PROTECTION, TYPE D-M
DNR TECHNICAL STANDARD 1060
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

NOTES:

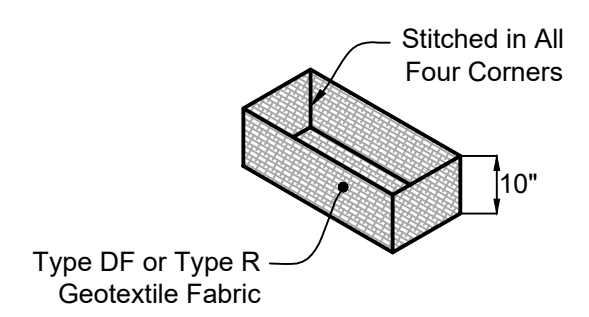
1. Taper bottom of bag to maintain three inches of clearance between the bag and the structure, measured from the bottom of the overflow openings to the structure wall.
2. Geotextile fabric, Type FF for flaps, top and bottom of outside of filter bag. Front, back and bottom of filter bag being one piece.
3. Front lifting flap is to be used when removing and maintaining filter bag.
4. Side flaps shall be a maximum of two inches long. Fold the fabric over and reinforce with multiple stitches.
5. Flap pockets shall be large enough to accept wood 2" x 4". The rebar, steel pipe, or wood shall be installed in the rear flap and shall not block the top half of the curb face opening.

MAINTENANCE NOTES:

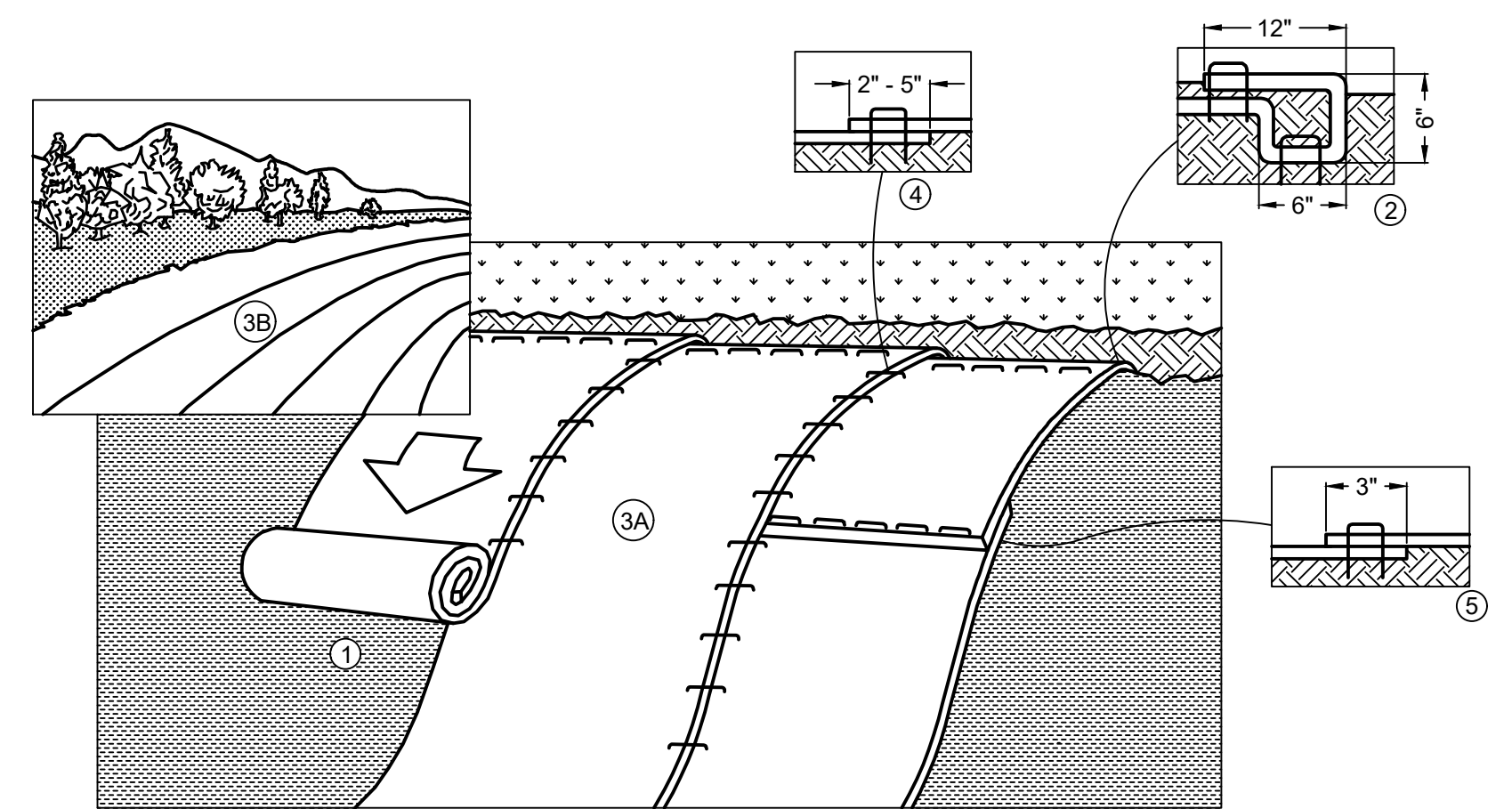
1. When removing or maintaining inlet protection, care shall be taken so that the sediment trapped in the fabric does not fall into the structure. Material that has fallen into the inlet shall be immediately removed.



12" Type FF Fabric Flaps Inside All Four Sides Stitched Only on Top



Type DF or Type R Geotextile Fabric



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.
3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.

4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type.
5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.

Note: * In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.

6. Detail provided by North American Green (www.nagreen.com)
7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION
DNR TECHNICAL STANDARD 1052

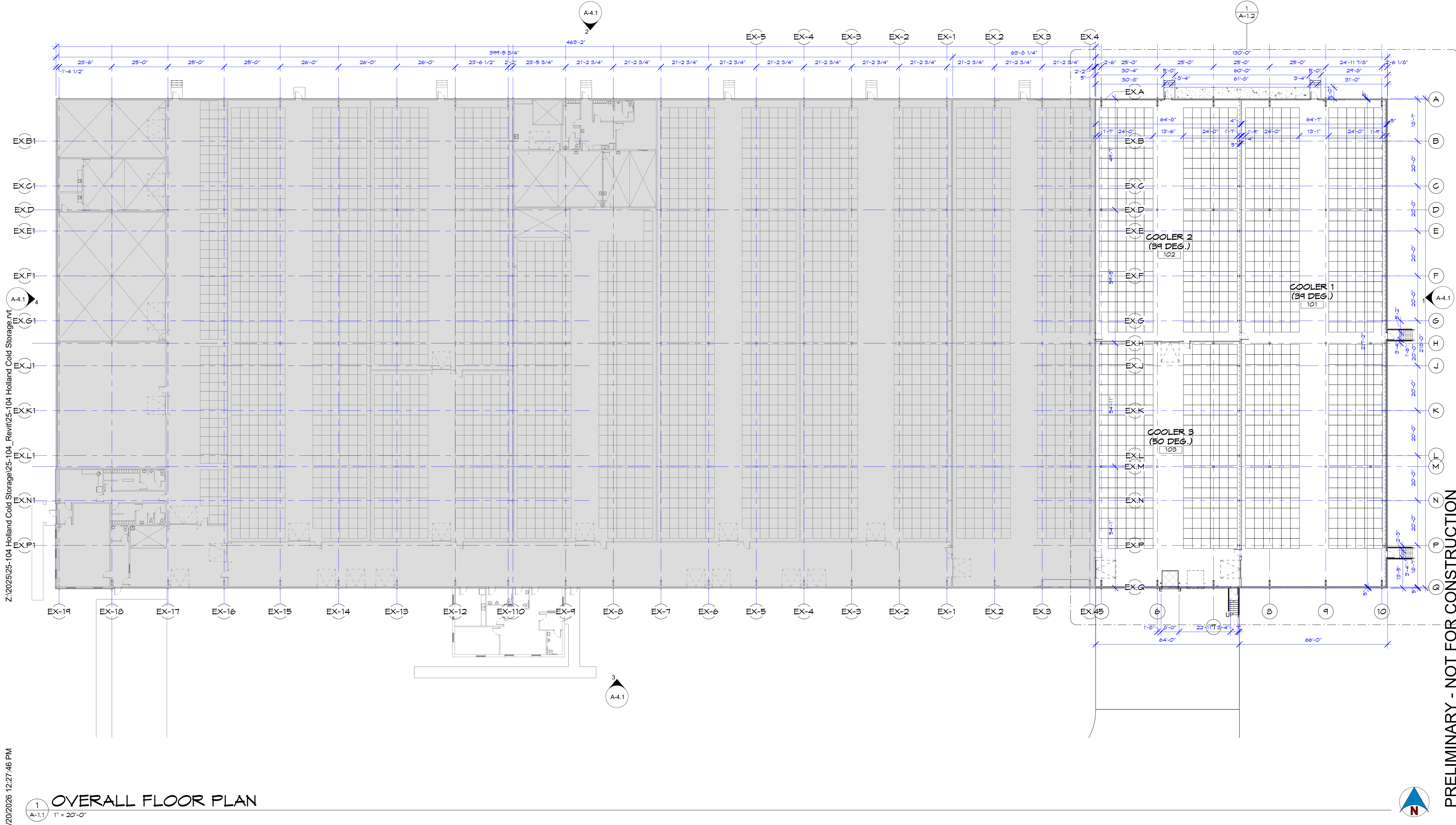
PRELIMINARY - NOT FOR CONSTRUCTION

STANDARD FLOOR PLAN NOTATION:

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10# "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REG'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER).
- FLOOR DRAIN
- CATCH BASIN
- INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.
- 1-HOUR FIRE BARRIER WALL - REFER TO PLANS & WALL TYPES.

GENERAL FLOOR PLAN NOTES:

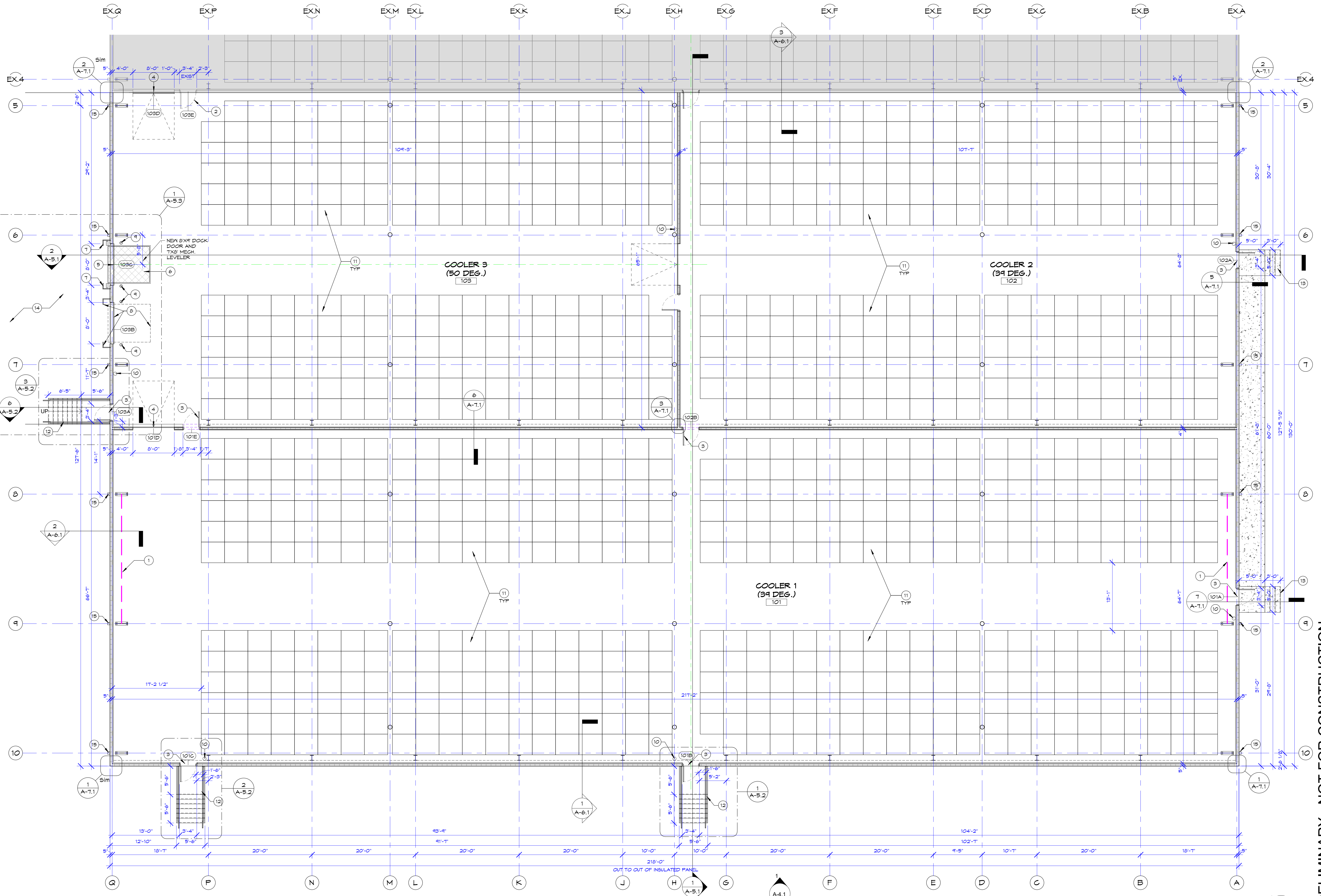
- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING OR GROUTED CMU CORES FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVING, ETC. AS REQUIRED
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT A.D.A. STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC. IN FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.
- ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.
- GENERAL CONTRACTOR TO COORDINATE WHETHER ANY CMU CORES NEED GROUTED FOR WALL-MOUNTED EQUIPMENT.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATION BETWEEN AREAS. CONTRACTOR TO PROVIDE SLEEVES, FIRE RETARDANT INSULATION & FIRE CAULKING AS REQUIRED.



1
A-1.1 OVERALL FLOOR PLAN
1" = 20'-0"

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1 FLOOR PLAN - ADDITION
 A-1.2 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

A BUILDING ADDITION FOR:
HOLLAND COLD STORAGE
 KAUKAUNA, WI

REVISION HISTORY		
NO.	DESCRIPTION	DATE

date: 02-20-2026
 job: 25-104
 d. by: LAK

A-1.2

Item 4.d.



Gries
 Architectural Group Inc.

NEENAH OFFICE: Street 920 North Commercial Street Neenah, WI 54956 Phone: 920-722-2445 www.gries.design
 HUDSON OFFICE: 400 South 2nd Street Hudson, WI 54001 Phone: 920-722-2445 www.gries.design

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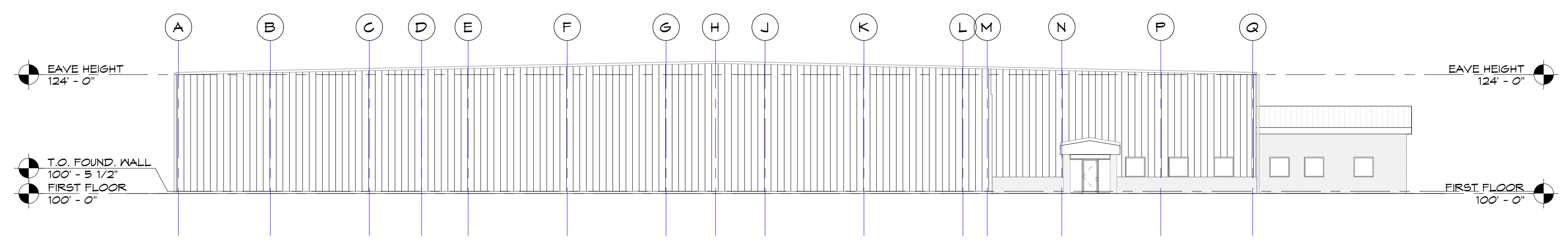
PRELIMINARY - NOT FOR CONSTRUCTION

REVISION HISTORY

NO.	DESCRIPTION	DATE

date: 02-20-2026
job: 25-104
d. by: LAK

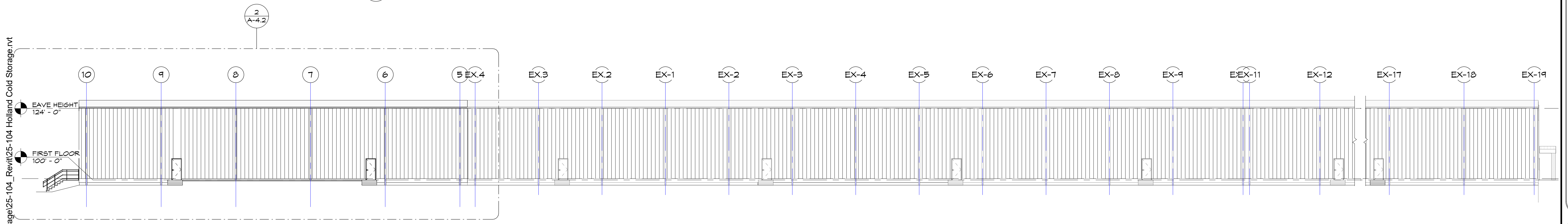
A-4.1



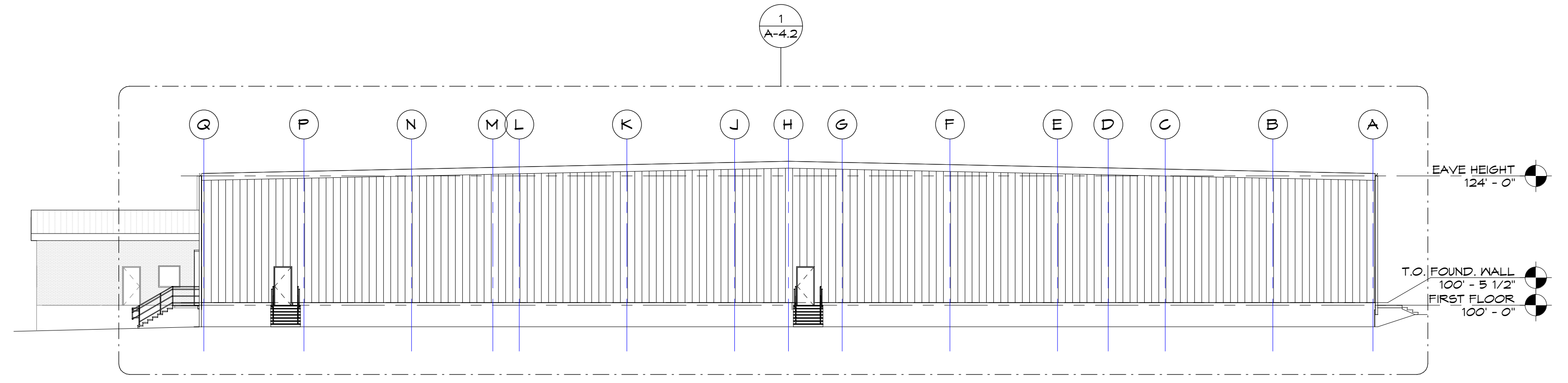
4 WEST ELEVATION
A-4.1 1/16" = 1'-0"



3 SOUTH ELEVATION
A-4.1 1/16" = 1'-0"

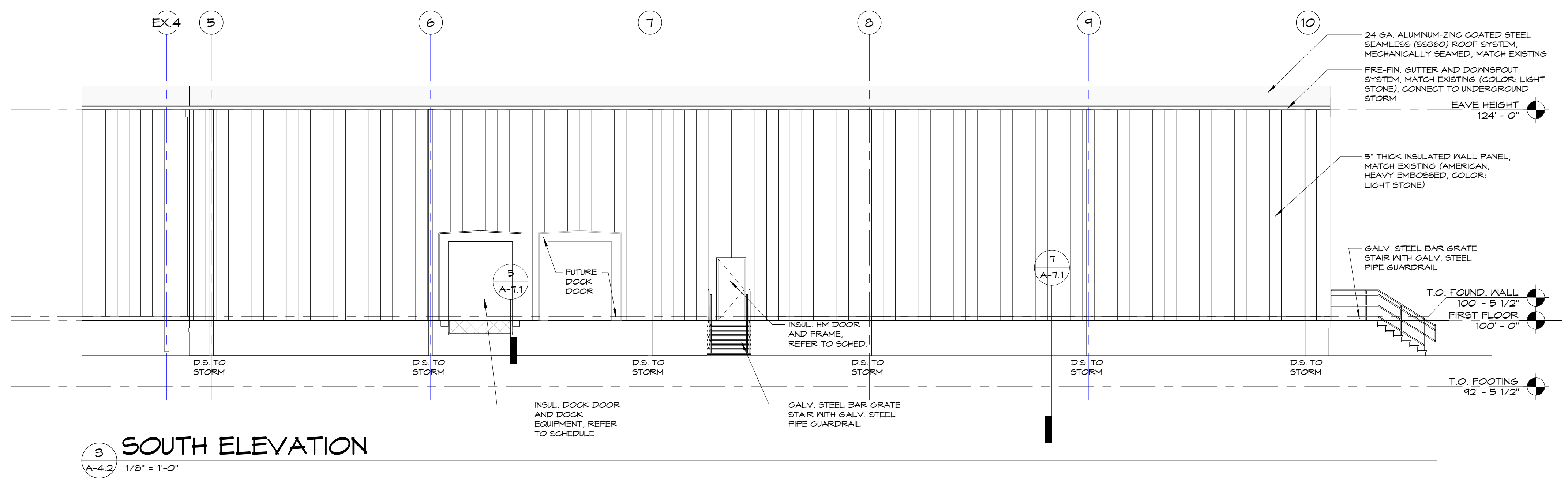


2 NORTH ELEVATION
A-4.1 1/16" = 1'-0"

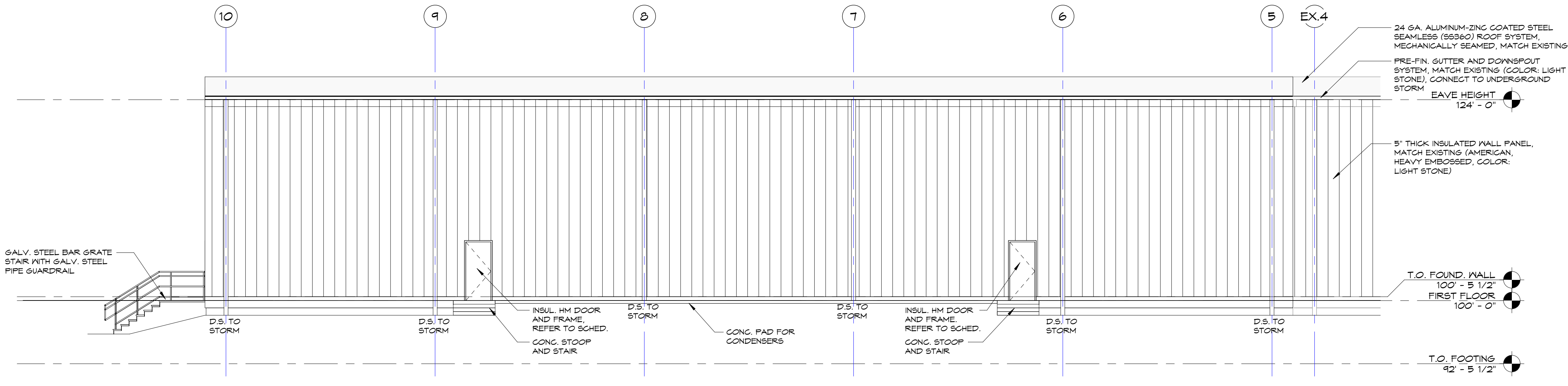


1 EAST ELEVATION
A-4.1 1/16" = 1'-0"

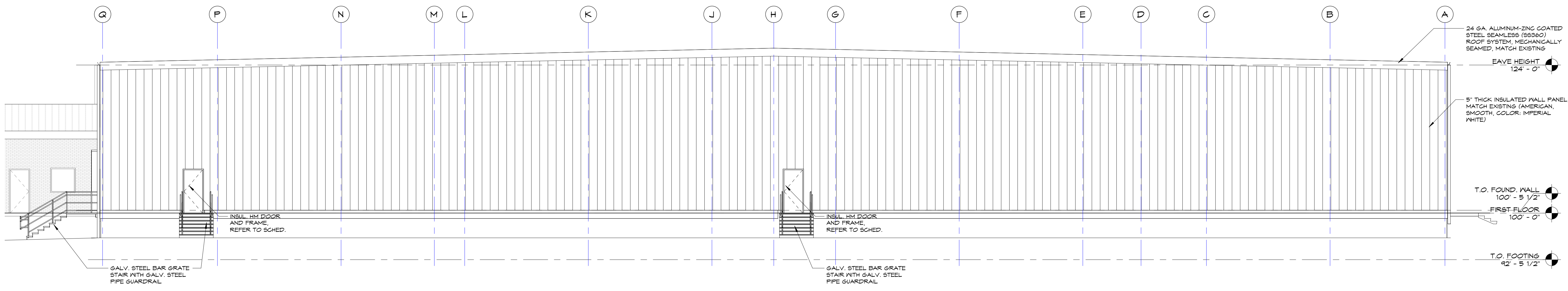
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3 SOUTH ELEVATION
 A-4.2 1/8" = 1'-0"



2 NORTH ELEVATION
 A-4.2 1/8" = 1'-0"



1 EAST ELEVATION
 A-4.2 1/8" = 1'-0"

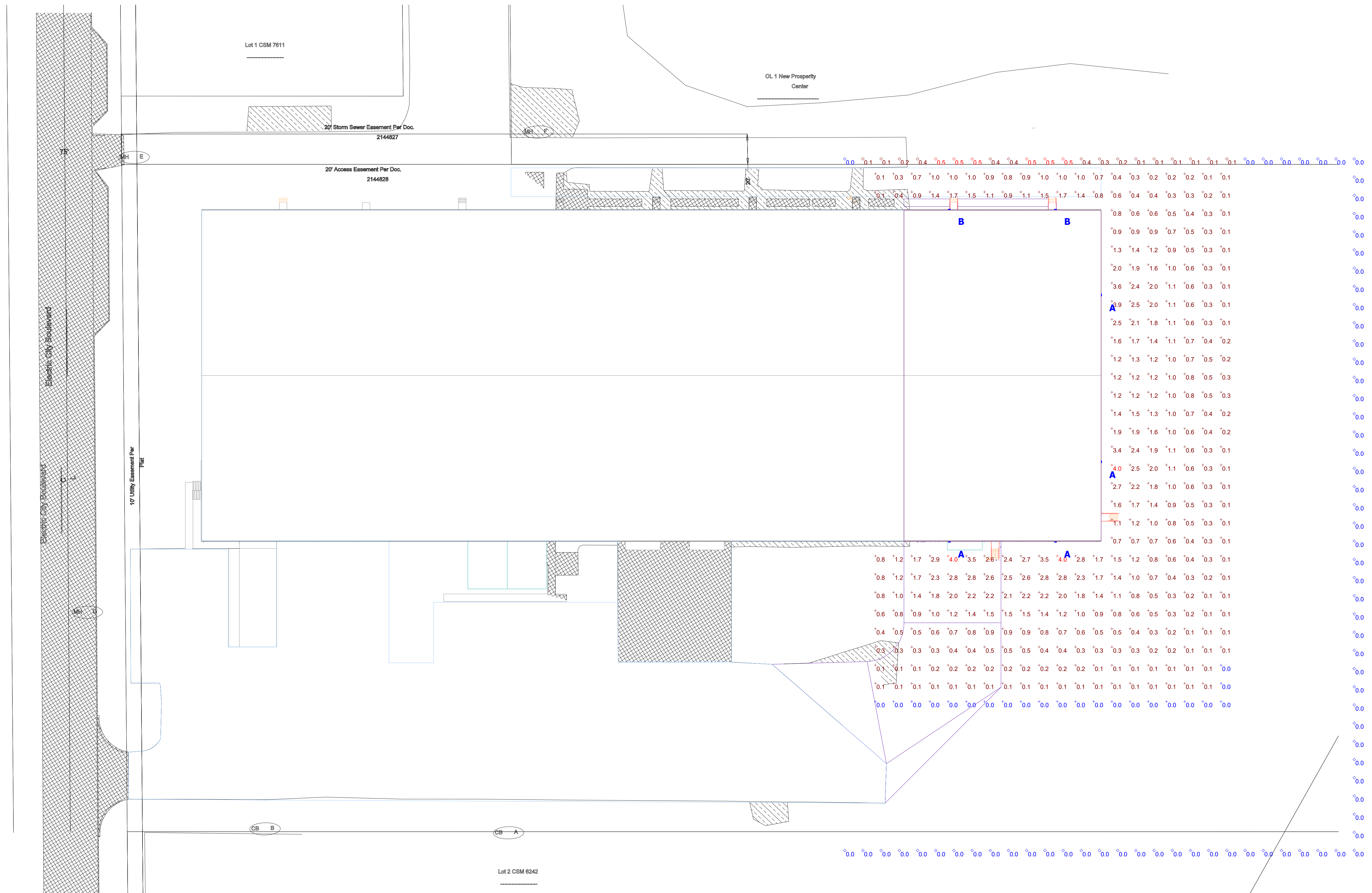
PRELIMINARY - NOT FOR CONSTRUCTION

REVISION HISTORY

NO.	DESCRIPTION	DATE

date: 02-20-2026
 job: 25-104
 d. by: LAK

A-4.2



Schedule				
Symbol	Label	QTY	Catalog	Input Power
□	A	4	DSXW2 LED P7 40K 70CRI T4M MVOLT SRM STD FINISH	103.84
□	B	2	DSXW2 LED P1 40K 70CRI T3LG MVOLT SRM STD FINISH	26.83

Plan View
Scale - 1" = 32ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OUTSIDE OR EXTERIOR	◇	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
EXTERIOR	+	0.8 fc	4.0 fc	0.0 fc	N/A	N/A

Designer
Date 05/18/2026
Scale Not to Scale
Drawing No.
Summary



d⁺series

D-Series Size 2 LED Wall Luminaire



Item 4.d.

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

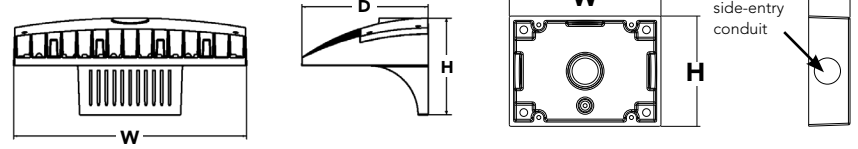
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED P2 40K 70CRI T3M MVOLT SRM DDBTXD

Series	Lumen Package	CCT	CRI	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	P1 4200 Lumens	27K 2700K 30K 3000K	70CRI 70CRI 80CRI 80CRI ³	T2S Type 2 Short T2M Type 2 Medium	MVOLT 120 ⁵	Shipped included SRM Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁷ PER NEMA twist-lock receptacle only (control ordered separate) ⁸
	P2 5300 Lumens	35K 3500K 40K 4000K	AMCRI Amber CRI	T3LG Type 3 Low Glare ⁴	208 ⁵ 240 ⁵		
	P3 6100 Lumens	50K 5000K 57K 5700K		T3M Type 3 Medium T4M Type 4 Medium	277 ⁵ 347 ^{5,6}	Shipped separately¹⁵ BBW Surface-mounted back box (for conduit entry)	DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)
	P4 7200 Lumens	AMBPC Amber PC ¹ AMBLW Amber LW ²		TFTM Forward Throw Medium	480 ^{5,6}		PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11}
	P5 8200 Lumens			BLC3 Back Light Control Type 3 ⁴ BLC4 Back Light Control Type 4 ⁴	HVOLT ⁶		PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}
	P6 10000 Lumens						
	P7 14300 Lumens						

Other Options	Finish (required)
Shipped installed	
SF Single fuse (120, 277, 347V) ⁵	DDBXD Dark bronze
DF Double fuse (208, 240, 480V) ⁵	DBLXD Black
HS House-side shield	DNAXD Natural aluminum
SPD Separate surge protection ¹³	DWHXD White
	DSSXD Sandstone
	DBBTXD Textured dark bronze
	DBLBXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PER5 or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1 AMBPC only available with AMCRI
- 2 AMBLW only available in P1 and P6 Packages and AMBCRI
- 3 Not available with 57K
- 4 Not available with HS Option
- 5 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- 6 Not available with P1 Option
- 7 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- 8 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 9 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 10 Reference Motion Sensor table on page 3.
- 11 Reference PER Table on page 3 for functionality.
- 12 PIR and PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- 13 See the electrical section on page 2 for more details.
- 14 Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.
- 15 Also available as a separate accessory; see Accessories information.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

Package	Dist. Type	System Watts	30K, 70CRI		40K, 70CRI		50K, 70CRI	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P1	T2M	27	4,030	150	4,305	160	4,365	163
	T3M	27	3,913	146	4,180	156	4,238	158
	T4M	27	3,990	149	4,262	159	4,322	161
	TFTM	27	3,978	148	4,250	158	4,309	161
	BLC4	27	3,028	113	3,234	121	3,279	122
P2	T2M	35	5,090	146	5,438	156	5,513	158
	T3M	35	4,942	142	5,279	152	5,352	154
	T4M	35	5,040	145	5,384	155	5,458	157
	TFTM	35	5,024	144	5,367	154	5,442	156
	BLC4	35	3,824	110	4,085	117	4,142	119
P3	T2M	41	5892	143	6,294	153	6,381	155
	T3M	41	5720	139	6,110	148	6,195	150
	T4M	41	5833	142	6,231	151	6,318	153
	TFTM	41	5816	141	6,212	151	6,299	153
	BLC4	41	4426	107	4,728	115	4,794	116
P4	T2M	49	6,932	141	7,405	151	7,508	153
	T3M	49	6,730	137	7,189	146	7,289	148
	T4M	49	6,863	139	7,331	149	7,433	151
	TFTM	49	6,842	139	7,309	149	7,411	151
	BLC4	49	5,207	106	5,563	113	5,640	115
P5	T2M	57	7,882	138	8,420	148	8,536	150
	T3M	57	7,652	134	8,174	143	8,288	145
	T4M	57	7,803	137	8,336	146	8,452	148
	TFTM	57	7,780	136	8,311	146	8,426	148
	BLC4	57	5,921	104	6,325	111	6,413	112
P6	T2M	71	9,697	137	10,359	146	10,503	148
	T3M	71	9,415	133	10,057	142	10,197	144
	T4M	71	9,601	135	10,256	145	10,399	147
	TFTM	71	9,572	135	10,225	144	10,367	146
	BLC4	71	7,285	103	7,782	110	7,890	111
P7	T2M	104	13,812	133	14,755	142	14,960	144
	T3M	104	13,410	129	14,325	138	14,524	140
	T4M	104	13,675	132	14,608	141	14,811	143
	TFTM	104	13,634	131	14,565	140	14,767	142
	BLC4	104	10,376	100	11,084	107	11,238	108

Note:

Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Electrical Load

Performance Package	LEDs	Drive Current (mA)	System Watts	Current (A)					
				120V	208V	240V	277V	347V	480V
DSXW2 P1	20	425	27	0.22	0.13	0.11	0.09	-	-
DSXW2 P2	20	550	35	0.29	0.17	0.14	0.12	0.10	0.07
DSXW2 P3	20	650	41	0.34	0.20	0.17	0.15	0.12	0.09
DSXW2 P4	20	775	49	0.41	0.24	0.21	0.18	0.14	0.10
DSXW2 P5	20	900	57	0.47	0.27	0.24	0.20	0.16	0.12
DSXW2 P6	30	725	71	0.56	0.33	0.29	0.25	0.19	0.14
DSXW2 P7	30	1100	104	0.86	0.49	0.42	0.37	0.30	0.22

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED P7** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.91	0.82

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

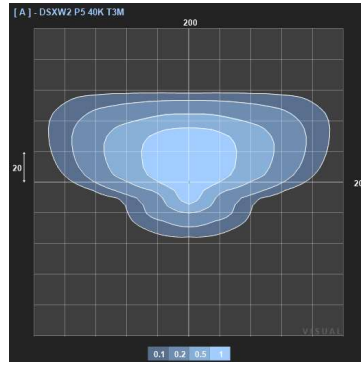
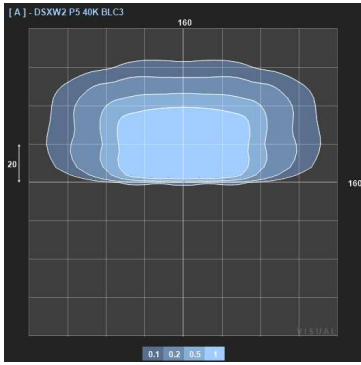
✓ Recommended

⊘ Will not work

⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED P5 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. IP66 rated light engine.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in multiple CCTs and CRIs including Amber for specialized applications.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 6KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

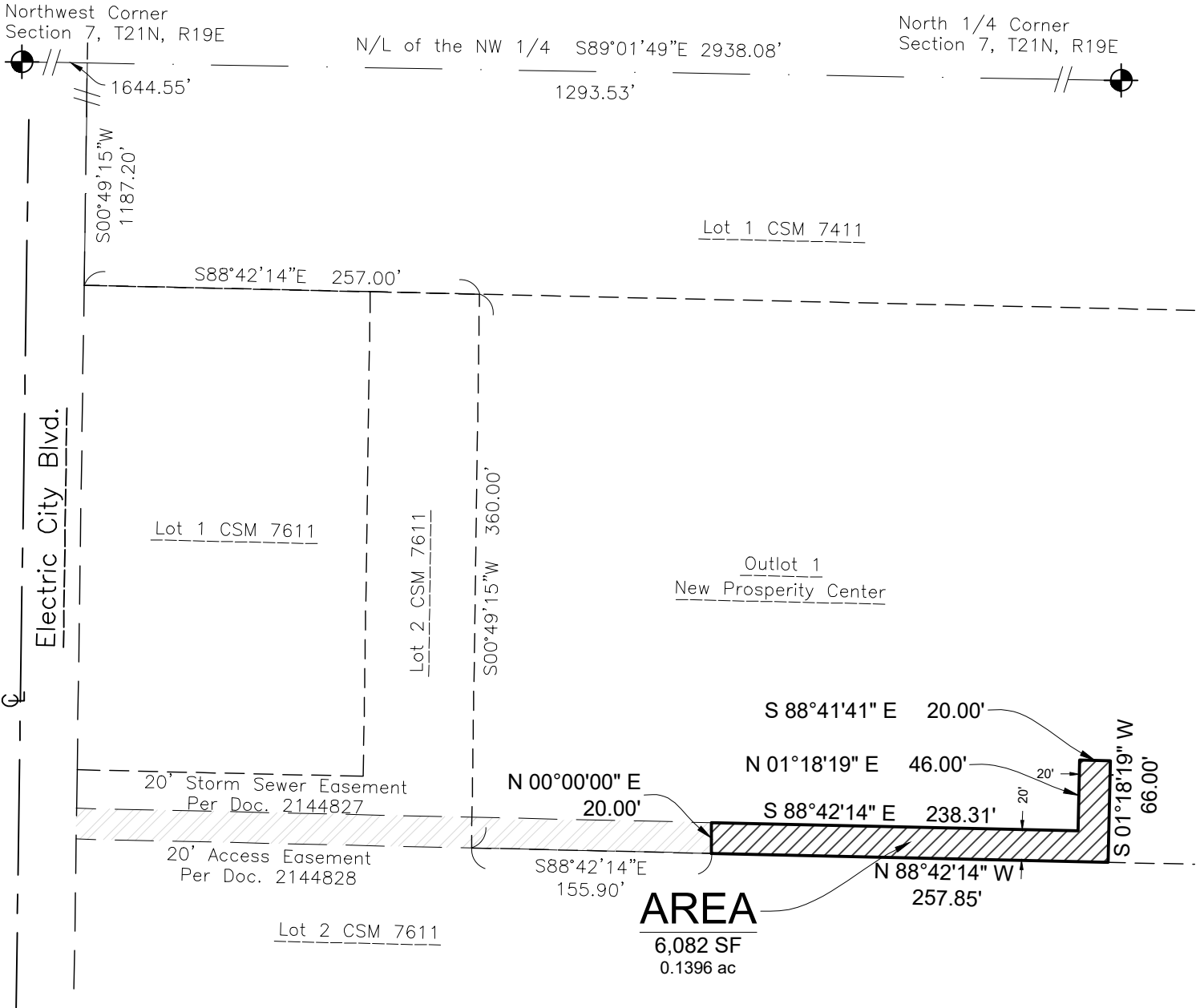
WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

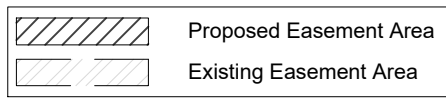
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Storm Sewer Easement Exhibit

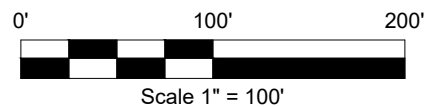
Part of Outlot 1, New Prosperity Center, Located in the Southeast 1/4 of the Northwest 1/4 of Section 7, Township 21 North, Range 19 East, City of Kaukauna, Outagamie County, Wisconsin.



Disclaimer: This instrument is intended for conceptual review purposes ONLY. If this map is used for any other purpose other than its such intent without full approval of the City of Kaukauna and/or Outagamie County, Davel Engineering & Environmental, Inc. shall not be held responsible. Users of this map assumes all risks associated with such use and releases Davel Engineering & Environmental, Inc. from any and all liabilities and damages resulting from said use, if any.



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866
www.davel.pro



File: 9151Ease.dwg
Date: 05/04/2026
Drafted By: kristy
Sheet: 1 of 2

Storm Sewer Easement Description

Item 4.d.

Proposed Storm Sewer Easement:

Area being part of Outlot 1, New Prosperity Center and being located in the Southeast 1/4 of the Northwest 1/4 of Section 7, Township 21 North, Range 19 East, City of Kaukauna, Outagamie County, Wisconsin, containing 6,082 Square Feet (0.1396 Acres) of land described as follows:

Commencing at the North 1/4 Corner of Section 7, T21N, R19E; thence along the North line of the Northwest 1/4 of said Section 7, N89°01'49"W, 1293.53 feet; thence S00°49'15"W, 1187.20 feet to the Northwest corner of Lot 1, Certified Survey Map 7611; thence along the North line of said Lot 1 and North line of Lot 2 of Certified Survey Map 7611, S88°42'14"E, 257.00 feet; thence along the West line of Outlot 1, New Prosperity Center, S00°49'15"W, 360.00 feet; thence along the South property line of said Outlot 1, S88°42'14"E, 155.90 feet to the Point of Beginning of the proposed Storm Sewer Easement; thence N00°00'00"E, 20.00 feet; thence S88°42'14"E, 238.31 feet; thence N01°18'19"E, 46.00 feet; thence S88°41'41"E, 20.00 feet; thence S01°18'19"W, 66.00 feet to said South line of Outlot 1; thence along said South line of Outlot 1, N88°42'14"W, 257.85 feet to the Point of Beginning. Described area subject to all easements and restrictions of record.

Scott R. Andersen, Wisconsin Professional Land Surveyor No. S-3169



**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**
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File: 9151Ease.dwg
Date: 05/04/2026
Drafted By: kristy
Sheet: 2 of 2



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Common Council

From: Adrienne Nelson, Associate Planner

Date: July 2, 2026

Re: Rezoning Request – Parcel 321063400

Jason Hurst, applicant, in collaboration with Wood Brown LLC, owner, has submitted an application to rezone parcel 321063400, shown below, from [Commercial Highway District \(CHD\)](#) to [Residential Multifamily District \(RMF\)](#).



The purpose of this rezoning is to facilitate the construction of residential homes. The developer is considering constructing single-family dwellings, two-family dwellings, single-family attached with zero lot line dwellings, townhouses, or a mixture of dwelling types. These are all permitted principal uses in the Residential Multifamily District.

The current concept, attached to this memo along with the rezoning application, is for the construction of seven residential single-family homes.

Recommendation:

Staff is recommending approval of the rezoning request to Common Council.





APPLICATION: ZONING CHANGE REQUEST FORM

This application is required if you are seeking to rezone a property. Rezoning a property allows for different types of uses, such as for residential or commercial development. To rezone a property, the parcel(s) in question must meet the dimensional requirements set forth in that zoning district. Information on zoning districts can be found in Section 17 of the Municipal Code.

Petitioner Information:

Name: Jason Hurst

Mailing Address: 235 W Wisconsin Ave, Kaukauna WI 54130

Phone Number: [REDACTED]

Email: [REDACTED]

Property Owner Information (If Not Petitioner):

Name: WoodBrown LLC

Mailing Address: P.O. Box 483, Kaukauna WI 54130

Phone Number: [REDACTED]

Email: [REDACTED]

Property Information:

Site Address/Location: 321063400, ASSESSORS PLAT THAT PT OF LOT 6 BLK 54 N OF C

Lot Dimensions and Area: 3.03

Current Zoning: CHD

Current Uses: None

Proposed Zoning: 17.19 RMF Residential Multifamily District

Proposed Uses: Single/Multi Family Lots

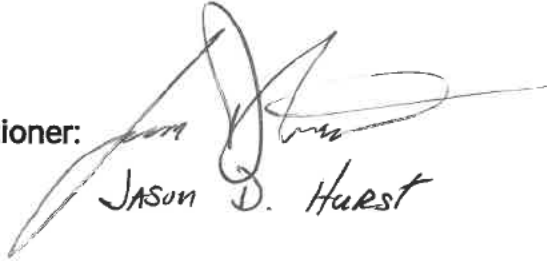
Please State Reason(s) for Rezoning Request:

To build Single/Multi Family residential homes

Rezoning/Zoning Change Fee Schedule: \$100.00

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Changes to zoning ordinances often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner: 
JASON D. HURST

Signature of Owner (If Not Petitioner):

Date Submitted to the City of Kaukauna: 6-24-26

Please submit by email to planning@kaukauna.gov or by mail to:
City of Kaukauna
Attn: Planning and Community Development Department
144 W Second Street
Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 6/24/2026

Payment Received: 6/24/2026

Payment Receipt #: N/A

Site Plan Reviewed:

1st Notice Sent:

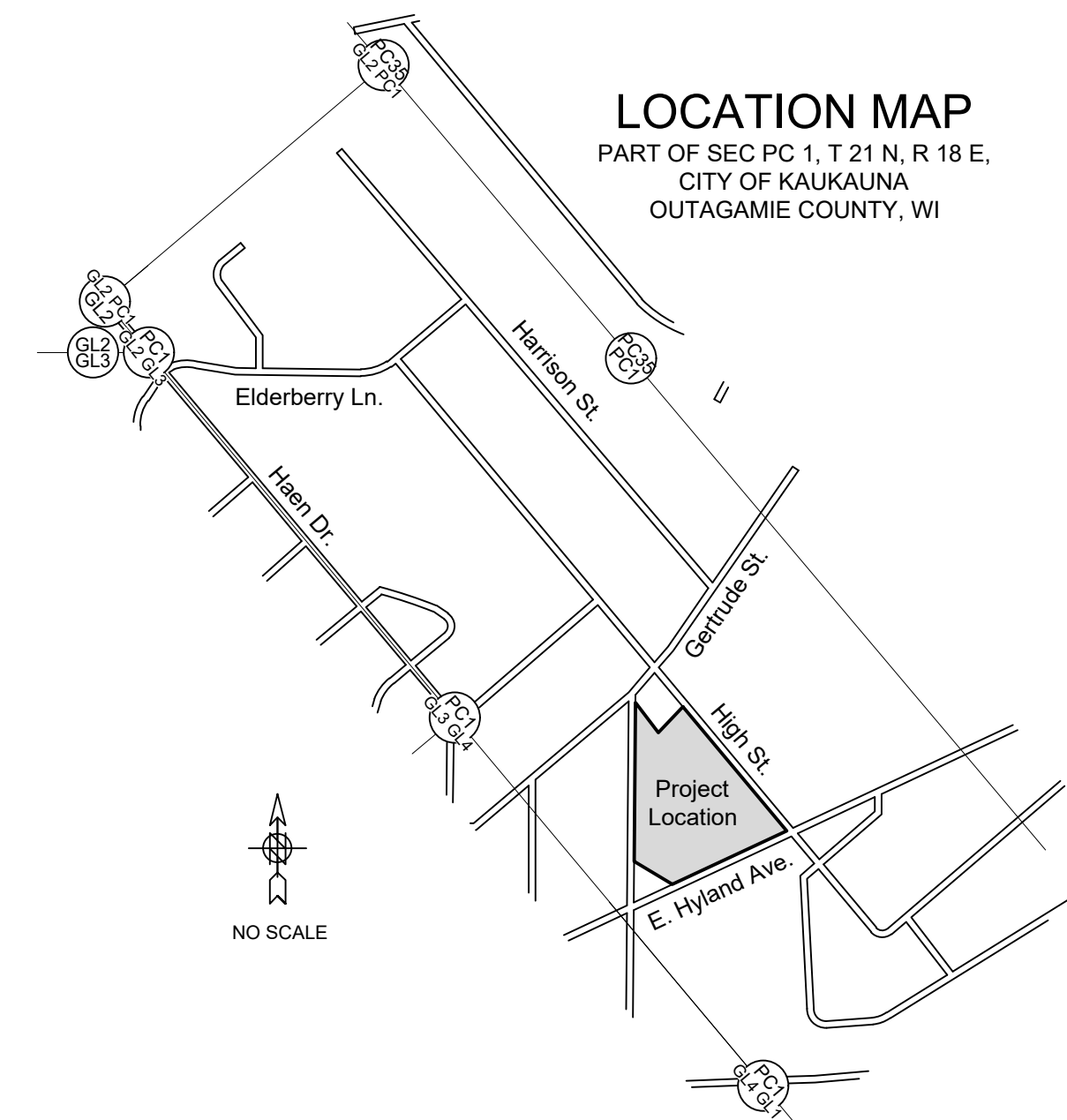
2nd Notice Sent:

Plan Commission Approval:

Legislative Committee Approval:

Common Council Approval:

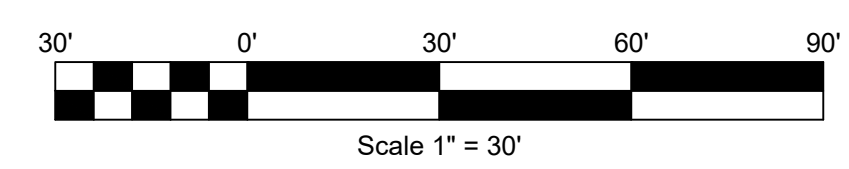
Signature of Planning & Community Dev. Staff:



NO SCALE

SUPPLEMENTARY DATA
 Total Area = 166,648 SF 3.8257 acres
 Number of Lots = 8
 Average lot size = 13,136 SF
 Typical lot dimension = 60'x 200'
 Existing zoning = CHD and RTF
 Proposed zoning = RTF
 Approving Authorities
 City of Kaukauna
 Objecting Authorities
 Department of Administration
 Department of Transportation
NOTES
 • Utility and Drainage Easements will be shown on Final Plat

Disclaimer:
 1. This instrument is intended for conceptual review purposes ONLY. If this map is used for any other purpose other than its such intent without full approval of the City of Kaukauna and/or Outagamie County, Davel Engineering & Environmental, Inc. shall not be held responsible. Users of this map assumes all risks associated with such use and releases Davel Engineering & Environmental, Inc. from any and all liabilities and damages resulting from said use, if any.
 2. The Site is SUBJECT TO A WETLAND DELINEATION. Permits and exemptions are subject to agency review and determinations with no guarantee of acceptance.
 3. Shown Pond is for reference ONLY as was not calculated precisely for the project. Location and Size is TO BE DETERMINED.



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 Ph: 920-991-1966
 www.davel.pro

CONCEPT 1

Gertrude-Hyland-High
 City of Kaukauna, Outagamie County, WI
 For: Elegant Homes

Date:	07/1/2026
Filename:	C2.dwg
Author:	---
Last Saved by:	scott
Page	1



MEMO

PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: July 2, 2026
Re: Park Donation Application – Picnic Table

A park donation application has been submitted by Dawn Gasparick and Judy Schultz for a picnic table to be installed at the Kaukauna Dog Park, specifically in the small dog area. This picnic table would be in the City of Kaukauna’s standard picnic table style. It would not include a plaque.

Staff Recommendation

Staff recommend approval of the park donation.



UPDATED 11.07.2022



APPLICATION FOR PARK DONATION

Donor Name: Dawn Gasparick & Judy Schultz

Phone Number: [REDACTED]

Address: W5112 Natures Way DR. Sherwood, Wi 541

Email Address: [REDACTED]

Proposed Location: Kaukauna Dog Park

Type of Donation: money

Cambridge Bench

Picnic Table

Tree

Book Exchange

Garbage Receptacle

Other Item (Please Describe)

Inscription Text (If Applicable)

Please attach any necessary photos or documents with this form

Park Donations to the City of Kaukauna are considered outright and unrestricted donations. The City of Kaukauna does not guarantee the permanency of the accepted donation. If a memorial must be relocated, Department staff will attempt to notify the donor in writing at the address shown on this form. Donations may be tax deductible (please consult an accountant). The donor declares to have read the Parks Donation Policy and Guidelines. The donor understands and agrees with the conditions set forth in this policy and agrees to any conditions required by City staff or elected officials.

By signing below, I acknowledge that I have read and understand the Parks Donation Policy and Guidelines

9/12/23



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission

From: Adrienne Nelson, Associate Planner

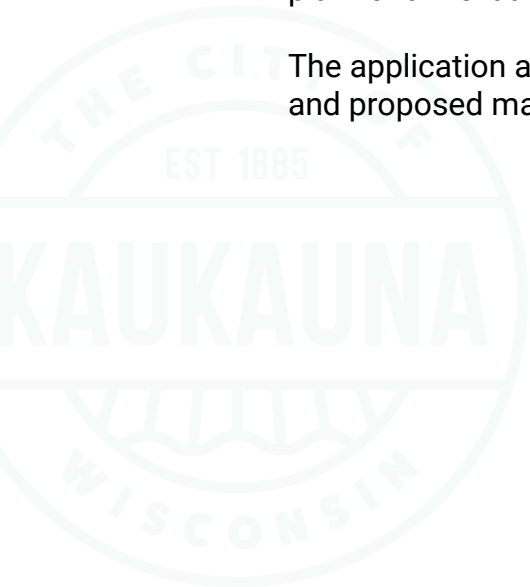
Date: July 2, 2026

Re: Extraterritorial CSM Review – Parcels 030019202 & 030019600 (Town of Buchanan)

Scott Andersen, surveyor, has submitted a certified survey map on behalf of Kaukauna Storage LLC c/o Brian VanLanen, owner of parcels 030019202 and 030019600, for the adjustment of lot lines.

These parcels fall within the extraterritorial review area of the City of Kaukauna, which is why this CSM is being brought before the Plan Commission. They are contiguous to existing land within the City of Kaukauna and, although there are no plan for annexation, could feasibly be annexed in the future.

The application and a draft of the CSM are attached to this report. The current map and proposed map are shown below for additional detail.



Recommendation:

Recommend approval of the extraterritorial Certified Survey Map to the Common Council.





APPLICATION: CERTIFIED SURVEY MAP REVIEW FORM

This application is required if you are seeking to divide, combine, or reconfigure up to four parcels. All parcels must meet the dimensional requirements as set forth in their zoning district. Information on zoning districts can be found in [Section 17 of the Municipal Code](#). Information on certified survey maps can be found in [Section 18.29 of the Municipal Code](#). Please note that the City of Kaukauna has extraterritorial review authority for any certified survey maps created for parcels located in townships within three miles of city borders.

Petitioner Information:

Name: Davel Engineering & Environmental Inc / Scott Andersen

Mailing Address: 1164 Province Terrace, Menasha, WI 54952

Phone Number: [REDACTED]

Email: [REDACTED]

***Property Owner Information (If Not Petitioner):**

Name: Kaukauna Storage LLC c/o Brian VanLanen

Mailing Address: N8833 County Road N, Menasha, WI 54952

Phone Number: [REDACTED]

Email: [REDACTED]

Property Information:

Site Address/Location: 030019202 & 030019600

Lot Dimensions and Area: 712,037 SF

Current Zoning: AGD & CL

Number of Lots to be Created: 0 (2 existing parcels - Lot line adjustment)

***If multiple owners are involved, please add all additional owner information on an attached document.**

Please State Reason(s) for Certified Survey Map Review Request:

Extraterritorial Review. Lot line Adjustment.

Additional Requirements: For Certified Survey Map review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. Maps should be drawn to a scale of not less than 1":1,000'. Additional information may also be requested as may be appropriate per the proposal being made.

Lot Division by CSM (1-4 lots) Fee Schedule: \$10.00/lot based on total lots

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Certified survey map reviews often require action by multiple governmental bodies and sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:

DocuSigned by:
Scott Andersen 6/16/2026
695015AE4EAB48D...

Signature of Owner (If Not Petitioner):

Signed by:
Brian Vanlanen 6/16/2026
755CB4A98331483...

Date Submitted to the City of Kaukauna:

Please submit by email to planning@kaukauna.gov or by mail to:
City of Kaukauna
Attn: Planning and Community Development Department
144 W Second Street
Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received: 6/17/2026

Payment Received: 6/17/2026

Payment Receipt #: N/A

Certified Survey Map Reviewed:

Plan Commission Approval:

Legislative Committee Approval:

Common Council Approval:

Signature of Planning & Community Dev. Staff:

Certified Survey Map No. _____

Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin.

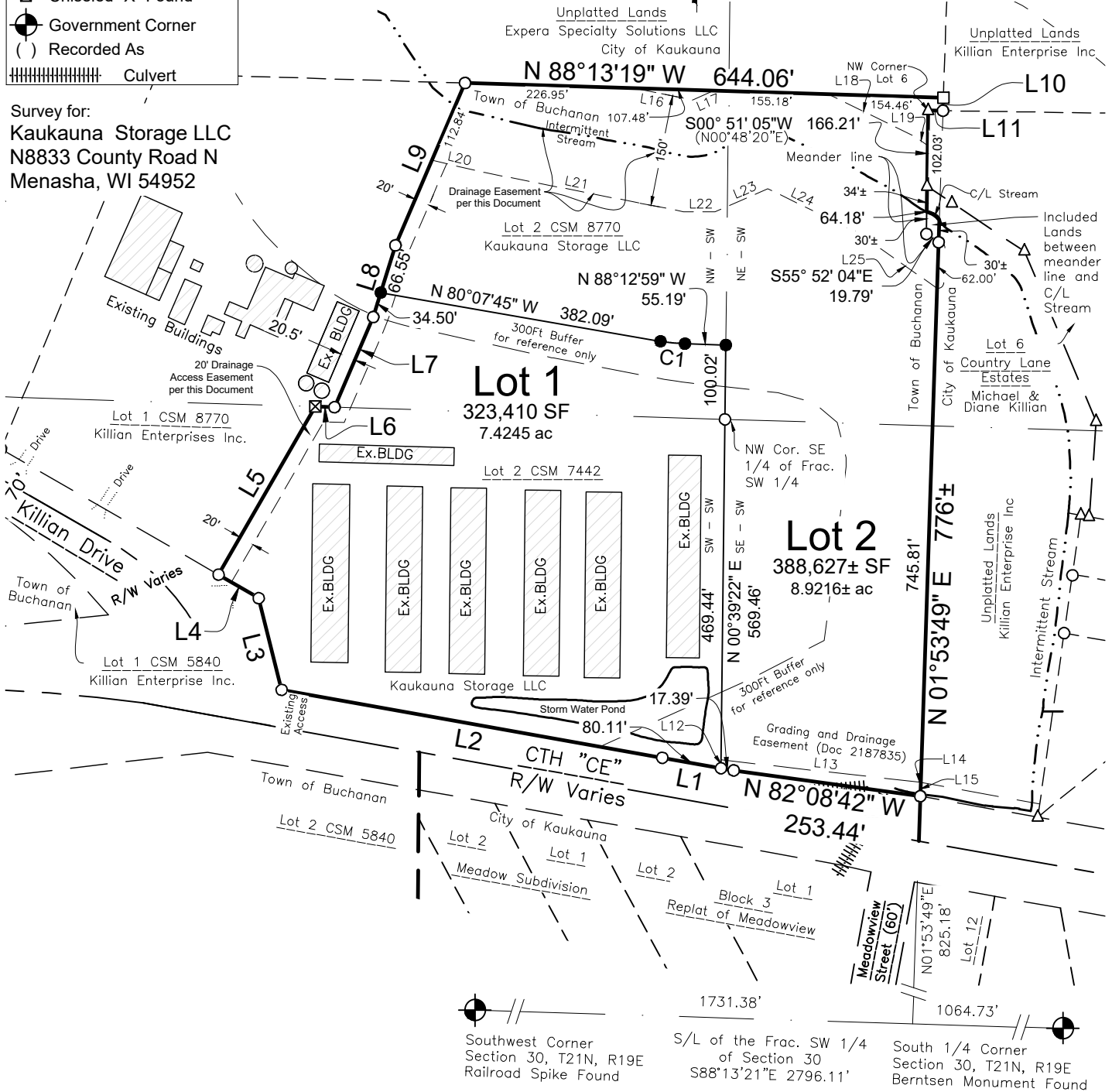
LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- △ 1/4" Rebar Found
- 3/4" Rebar Found
- 1" Iron Pipe Found
- ⊠ Chiseled "X" Found
- ⊙ Government Corner
- () Recorded As
- ||||| Culvert



Bearings are referenced to the South line of the Southwest 1/4, Section 30, T21N, R19E, assumed to bear S88°13'21"E, base on the Outagamie County Coordinate System.

Survey for:
Kaukauna Storage LLC
 N8833 County Road N
 Menasha, WI 54952



Southwest Corner Section 30, T21N, R19E Railroad Spike Found
 S/L of the Frac. SW 1/4 of Section 30 S88°13'21"E 2796.11'
 South 1/4 Corner Section 30, T21N, R19E Berntsen Monument Found

Scott R. Andersen
 Professional Land Surveyor
 No. S-3169

Date _____



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro

General Notes:

1. **Public Trust Informations** - 236.20 (6) "Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution."
2. Prior to development, a wetland delineation may be required on lots 1 and 2. Outagamie County Code of Ordinances, Section 48-7(c)(4)a requires a wetland setback of 10ft. to 30ft., 50ft., or 75ft., depending on the susceptibility of the wetland.
3. CTH CE is access controlled. Any changes in access or work in the highway right of way requires a permit from the Outagamie County Highway Department.

File: 8308CSM2.dwg
 Date: 06/16/2026
 Drafted By: scott
 Sheet: 1 of 6

Certified Survey Map No. _____

Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin.

Surveyor's Certificate

I, Scott R. Andersen, Professional Land Surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Buchanan and Outagamie County, and under the direction of Kaukauna Storage LLC, the property owners of said land, I have surveyed, divided, mapped this Certified Survey Map; that such map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin, containing 712,037± Square Feet (16.3461± Acres) of land.

Described Parcel includes the land between the described meander line and the Center line of the Intermittent Stream. Described parcel is subject to Riparian rights and subject to all easements and restrictions of record.

Given under my hand this _____ day of _____, 2026.

 Scott R. Andersen,
 Wisconsin Professional Land Surveyor No. S-3169

LINE TABLE				
Line	Bearing	Length	(Bearing)	(Length)
L1	N 79°53'52" W	97.50'	(N79°53'23"W)	
L2	N 79°53'51" W	520.40'	(N79°53'22"W) (N79°54'00"W)	
L3	N 14°02'36" W	127.60'	(N13°53'00"W)	(127.63')
L4	N 59°58'40" W	62.31'	(N60°07'12"W)	
L5	N 29°52'48" E	260.98'		(260.87')
L6	S 88°12'59" E	26.15'		
L7	S 23°11'53" W	131.92'		
L8	S 17°14'02" W	101.05'		
L9	S 23°11'53" W	237.66'		
L10	S 01°53'49" W	17.28'		
L11	N 89°11'07" W	19.78'	(S89°11'40"E)	
L12	N 00°39'22" E	11.14'	(N00°39'11"E)	(11.15')
L13	S 83°34'48" E	267.38'	(S83°34'59"E)	(267.17')
L14	S 79°53'13" E	3.02'		
L15	S 01°53'49" W	18.41'	(S00°48'20"W)	(18.56')
L16	S 78°52'13" E	80.91'		
L17	N 66°20'26" E	30.61'		
L18	S 63°53'53" E	129.53'		
L19	S 54°55'20" E	20.79'		
L20	S 76°41'28" E	72.91'		
L21	S 78°52'13" E	272.34'		
L22	S 89°42'09" E	42.48'		
L23	N 66°20'26" E	77.77'		
L24	S 63°53'53" E	135.51'		
L25	S 54°55'20" E	129.70'		

Certified Survey Map No. _____

Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin.

Owner's Certificate of Dedication

Kaukauna Storage LLC, a limited liability company duly organized and existing under and by virtue of the Laws of the State of Wisconsin, as the property owner, does hereby certify that we caused the land above described to be surveyed, divided, and mapped all as shown and represented on this map.

We do further certify this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Town of Buchanan
City of Kaukauna (extraterritorial)

In the presence of: Kaukauna Storage LLC

_____	_____	_____
Managing Member	Print Name	Date

State of Wisconsin)
)SS
_____ County)

Personally came before me on the _____ day of _____, 20_____, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Town Notes:

- 1) Right to Farm statement: The lots created on this map are adjacent to properties that, as of the date of this document, are being used for agricultural purposes. Some individuals believe the activities associated with the agricultural use constitute a nuisance or conflict with the quiet enjoyment of their property. This statement is intended to provide third parties with notice agricultural activities may exist on the adjacent properties.
- 2) Arsenic Statement: The lot(s) shown on this map are located in the Special Well Casing Pipe Depth Area ("SWCPDA"). The "SWCPDA" has been established due to naturally occurring arsenic contamination problems affecting wells in this area. Anyone planning on drilling a well within the "SWCPDA" shall, prior to any drilling, consult the Wisconsin Department of Natural Resources, or a drilling professional, to determine how to comply with the provisions of s. NR 812.12(3) of the Wisconsin Administrative code.
- 3) Drain Tile Statement: Any agricultural drain tile which is disturbed, cut or broken as part of the development of the CSM or excavation for construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed. The cost of repair and/or replacement of the drain tile must be borne by the party damaging the drain tile.
- 4) Floodplain, Navigable Streams & Wetlands: Prior to development, floodplain, navigable stream and a wetland delineations may be required. All required buffers/setbacks shall be shown at that time.

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

Certified Survey Map No. _____

Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin.

Access and Drainage Easement Provisions

An easement for Access and Drainage is hereby granted by:

Kaukauna Storage LLC, their respective lessees, successors, heirs or assigns, (Grantor), to:

THE TOWN OF BUCHANAN, (Grantee),
THE CITY OF KAUKAUNA, (Grantee),

This Grantor, their respective lessees, successors, heirs or assigns, shall have full use and enjoyment of the property referenced above provided that such use does not interfere with Grantee's right to install, replace, operate, maintain and repair said Drainage and associated appurtenances.

Drainage and grading easement restrictions. The following uses, structures and activities are prohibited in any easement or outlot used for drainage: filling, grading and excavating except for the construction of public streets, utility crossings and drainage improvements and facilities; construction or placement of any building or structure including fences; the cultivation of crops, fruits or vegetables; the planting of trees or shrubs; the dumping or depositing of ashes, waste, compost, temporary fill, or materials of any kind or nature; the storage of vehicles, equipment, materials, or personal property of any kind. These restrictions may be enforced by any lot owner, homeowners' association or the Town of Buchanan by proceedings in law or equity against any person violating or attempting to violate the restriction.

Drainage maintenance easement. The Town of Buchanan and/or the City of Kaukauna shall have the independent and unqualified right to enter upon any easement area or outlot designated for drainage and grading for the purposes of inspection, maintenance, repair, and replacement of drainageways, drainage facilities, and drainage improvements.

Access Easement: Any Town and/or City personnel required to access the Drainage Easement, shall have the right to travel within the outlined Access Easement to access the Drainage Easement in the event of any required inspection or maintenance within the Drainage Easement. Grantor shall not construct or install buildings or any other permanent structures or improvements within the easement premises.

Maintenance of said easements is the sole responsibility of the Land Owner for the purpose of managing and maintaining safe and easy access for the Grantee throughout the easement.

This Access Easement shall be permanent and constitute a covenant running with the land, for the benefit of Any Town and/or City personnel acting in the line of duty. This Easement may only be modified or terminated by a written document signed on behalf of Grantor as long as a new easement of equal or improved width and access is recorded prior to the modification or termination of the one outlined in this Document and recorded with the Register of Deeds for Outagamie County.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

The Town and/or may, in its discretion, perform such work and assess the cost of such inspection, maintenance, repair, and replacement, including administrative costs, to all lots benefited thereby. Such costs shall be levied as special assessments and placed on the annual tax roll.

The purchase or ownership of any lot shall constitute a waiver of objection to such assessments and an agreement to pay said assessments.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

In the presence of: Kaukauna Storage, LLC

_____	_____	_____
Managing Member	Print Name	Date

State of Wisconsin)
)SS
_____ County)

Personally came before me on the
_____ day of _____, 2026,

The above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ My Commission Expires _____
Notary Public, Wisconsin

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

Certified Survey Map No. _____

Lot 2 of CSM 7442 (Doc. 2116139) and Lot 2 CSM 8770 (Doc. 2324667), Part of the NW 1/4 of the Frac. SW 1/4 and Part of the NE 1/4 of the Frac. SW 1/4 and Part of the SW 1/4 of the Frac. SW 1/4, and Part of the SE 1/4 of the Frac. SW 1/4, ALL of Section 30, Township 21 North, Range 19 East, Town of Buchanan, Outagamie County, Wisconsin.

City of Kaukauna Approval Certificate (Extraterritorial)

Resolved, that this certified survey map in the Town of Buchanan, Outagamie County, Kaukauna Storage LLC, the property owner, is hereby approved by the City of Kaukauna.

Director of Planning & Community Development Print Name Date

Outagamie County Department of Development & Land Services Certificate

Resolved, that this certified survey map in the Town of Buchanan, Outagamie County, Kaukauna Storage LLC, the property owner, is hereby approved by Outagamie County.

Department Representative Print Name Date

This Certified Survey Map is contained wholly within the property described in the following recorded instruments:

the property owners of record:	Recording Information:	Parcel Number(s):
Kaukauna Storage LLC	Document No. 2117404	030019202
	Document No. 2329856	030019600

Scott R. Andersen Date
Professional Land Surveyor
No. S-3169

File: 8308CSM2.dwg
Date: 06/16/2026
Drafted By: scott
Sheet: 6 of 6