

INDUSTRIAL PARK COMMISSION

City of Kaukauna
Hydro View Room
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, February 27, 2025 at 3:00 PM

AGENDA

In-Person in Hydro View Room City of Kaukauna
Remote Attendance option available upon request

1. Roll Call.
2. Approval of Minutes.
 - a. [Approval of Minutes from September 26, 2024 Meeting](#)
3. Old Business.
4. New Business.
 - a. [Site Plan Review- 1200 Prospect La \(Eagle Graphics\)](#)
 - b. [Site Plan Review-2130 Badger Rd \(Precision Scraping\)](#)
 - c. [Facade Change Request-Out Lot 3 New Prosperity Center \(101 E County Road JJ\)](#)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



Industrial Park Commission
City of Kaukauna
Hydro View Room
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, September 25, 2024, at 3:00 PM

MINUTES

In-Person

Chair Avanzi called the meeting to order at 3:20pm

1.Roll Call.

Members Present: Michael Avanzi, Glen Schilling, John Sundelius, Ryan Gaffney, Scott Jerome

Member(s) Absent: Mike Vandenberg, Nick Rieth, Tony Nytes

Others Present: Dave Kittel Director of Planning and Community Development, Jason Gallmeier,

Schilling made a motion to excuse the absent members. Sundelius seconded the motion. The motion carried unanimously.

2.Approval of Minutes.

- a. Approval of Minutes from July 25, 2024 Meeting
Sundelius made a motion to approve the minutes from July 25, 2024 Meeting. Schilling seconded the motion. The motion carried unanimously.

3.Old Business.

None

4.New Business.

None

5.Closed Session.

- a. Adjourn to Closed Session per Wisconsin State Statutes 19.85(1)(e) for deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever



competitive or bargaining reasons require a closed session - Amended Offer to Purchase Out Lot 3 New Prosperity Center

Sundelius made a motion to adjourn to Closed Session per Wisconsin State Statutes 19.85(1)(e) for deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session on amended offer to purchase Out Lot 3 New Prosperity Center. Seconded by Jerome. Motion Carried. Adjourned to closed session at 3:23pm

Jerome made a motion to allow Jason Gallmier into the closed session. Seconded by Shilling. Motion Carried.

b. Return to Open Session for possible action

Sundelius Made a motion to return to Open Session. Seconded by Jerome. Motion Carried, returned to Open Session at 3:43

Sundelius Made a motion to not approve the amended offer for Out Lot 3 Prosperity Center and recommend the same to Common Council. Seconded by Schilling

6.Other Business.

None

7.Adjourn.

Sundelius made a motion to adjourn. Seconded by Schilling. Motion carried unanimously; meeting adjourned at 3:50 pm



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Industrial Park Commission
 From: Adrienne Nelson, Associate Planner
 Date: February 21, 2025
 Re: Site Plan Review – Eagle Graphics; 1200 Prospect Lane

Eagle Graphics is a Kaukauna based promotional marketing company that provides customers with corporate apparel, school and athletic apparel, promotional products, and business printing. This project will add an additional 8,196 square feet of office and production space to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & applicable zoning](#)

The Eagle Graphics building is one story; the current height of the building is 23' 4" and the addition will be 22' 6". There are currently 16 off-street parking spaces, and they plan to add an additional 8, bringing the total up to 24. All set back requirements are met and all applicable ordinances are being complied with to include zoning requirements.

Landscape: [17.52 Landscaping Requirements](#)

There are five trees and two shrubs located on the property. There are no plans to remove these during the construction process. Landscaping requirements are being met.

Lighting:

This addition is not adding any lighting.

Stormwater: [22 Stormwater Management](#)

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

Ingress/Egress:

Some trucks may need to back into the property for deliveries with this type of set up.

Public Safety:

No concerns noted at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from the Engineering Department**





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Team Eagle	Name: Joe Cahill (Keller Inc)
Mailing Address: 1200 Prospect Lane	Mailing Address: N216 WI-55, Kaukauna, WI 54130
Phone: (920) 759-1092	Phone: (920) 427-4456
Email: jhartzheim@kellerbuilds.com	Email: jcahill@kellerbuilds.com

PROPERTY INFORMATION

Described the Proposed Project in Detail:
8,196 square foot office and production area addition.

Property Parcel (#):
2-0923

Site Address/Location:
1200 Prospect Ln, Kaukauna, WI 54130

Current Zoning and Use:
Industrial

Proposed Zoning and Use:
Industrial

Existing Gross Floor Area of Building: 12790	Proposed Gross Floor Area of Building: 8196
--	---

Existing Building Height: 23' 4"	Proposed Building Height: 22' 6"
--	--

Existing Number of Off-Street Parking Spaces: 16	Proposed Number of Off-Street Parking Spaces: 24
--	--

Existing Impervious Surface Coverage Percentage:	Proposed Impervious Surface Coverage Percentage: 31.3%
--	--

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: *Joe Cahill*

Owner/Agent Name (printed): **Joe Cahill**

CITY OF KAUKAUNA

144 W 2nd Street
Kaukauna, WI 54130

920.766.6300
www.cityofkaukauna.com

FOOTING SCHEDULE							
FTG.	FOOTING SIZE	FTG. REINFORCING	HAIRPIN SIZE	PIER SIZE	PIER REINFORCING	ANCHOR BOLTS	REMARKS

GENERAL NOTES
1. ALL SPECIFIED FOOTING REBAR IS IN ADDITION TO LONGITUDINAL REBAR IN ADJACENT CONTINUOUS WALL FOOTING.
2. #4 x 24" x 24" CORNER DOWELS AT 12" O.C. VERTICAL TO PASS THROUGH PIER CAGE.
3. FINAL WALLS, FOOTINGS, & REINFORCING SIZES PER FINAL ENGINEERING.



Keller
PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-2795 / 1-800-236-2534
FAX (920) 766-5004

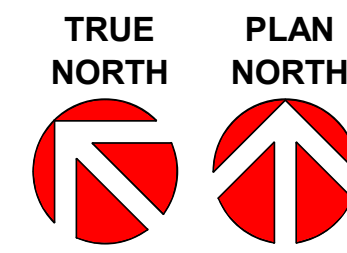
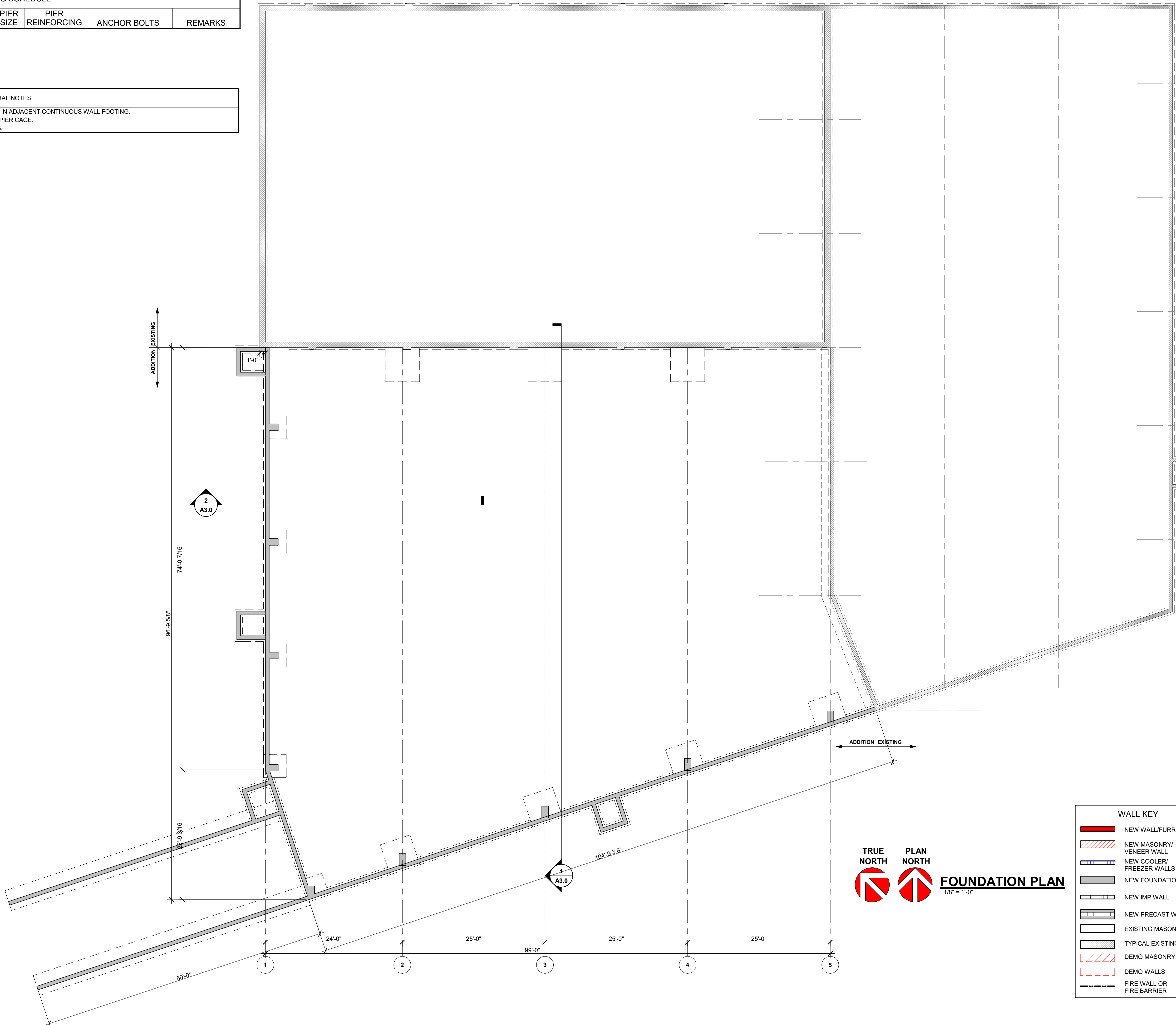
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Sun Prairie, WI 53590
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FAX (608) 318-2337

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Coldendale Rd
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PHONE (262) 250-9710
1-800-236-2534
FAX (262) 250-9740

WAUSAU
5605 Liba Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

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PROPOSED FOR:
EAGLE GRAPHICS
KAUKAUNA,
WISCONSIN



FOUNDATION PLAN
1/8" = 1'-0"

WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/VENEER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
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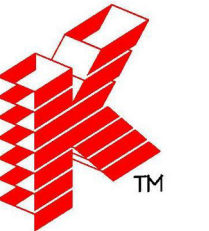
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REVISIONS

1	08/15/2024	KRW
2	10/14/2024	KRW
3		
4		
5		
6		

PROJECT MANAGER: D. STUBBS
DESIGNER: S. KLESSIG
INTERIOR DESIGNER: -----
DRAWN BY: KRW
EXPEDITOR: -----
SUPERVISOR: -----
PRELIMINARY NO: P24199
CONTRACT NO: -----
DATE: 08/01/2024
SHEET: **S1.0**

PRELIMINARY - NOT FOR CONSTRUCTION



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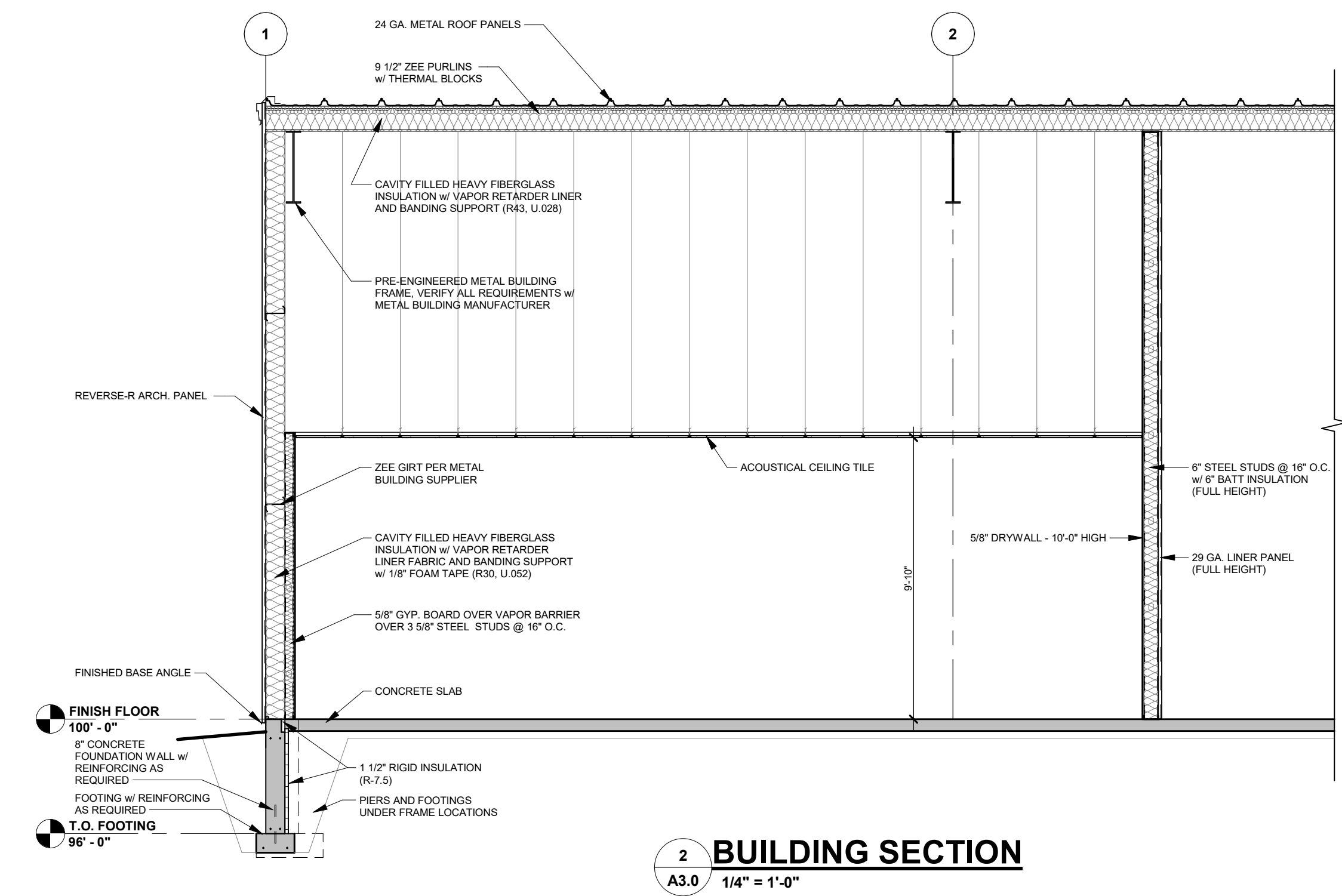
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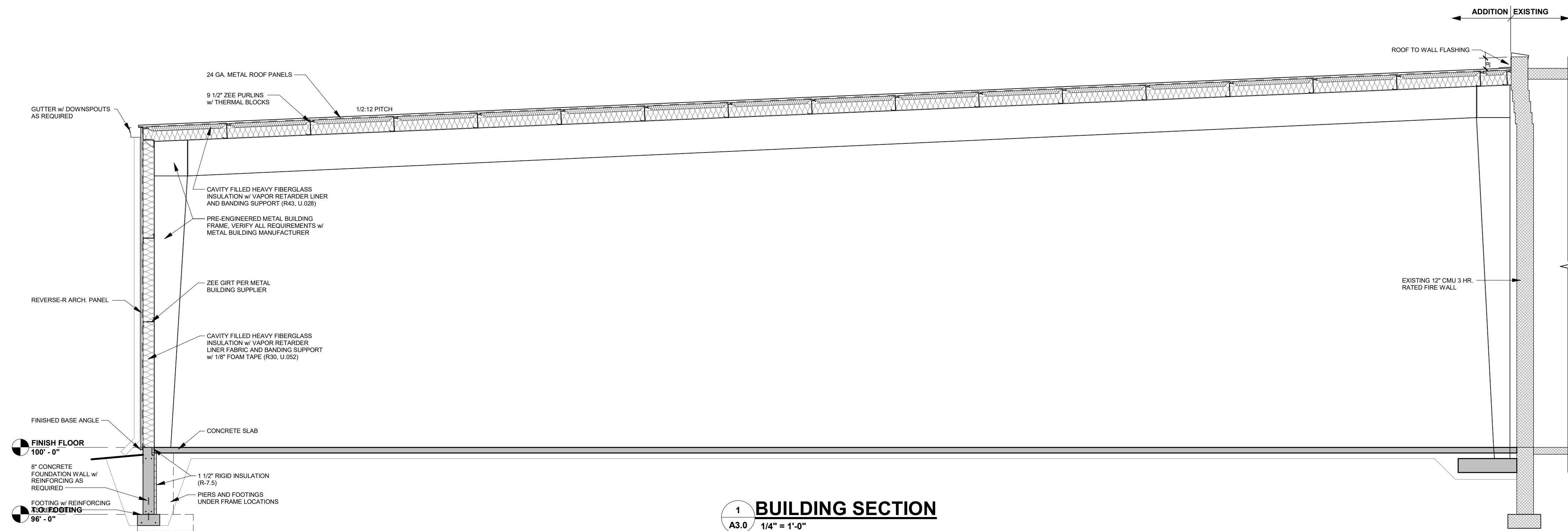
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2 BUILDING SECTION
A3.0 1/4" = 1'-0"



1 BUILDING SECTION
A3.0 1/4" = 1'-0"

PROPOSED FOR:

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KAUKAUNA, WISCONSIN

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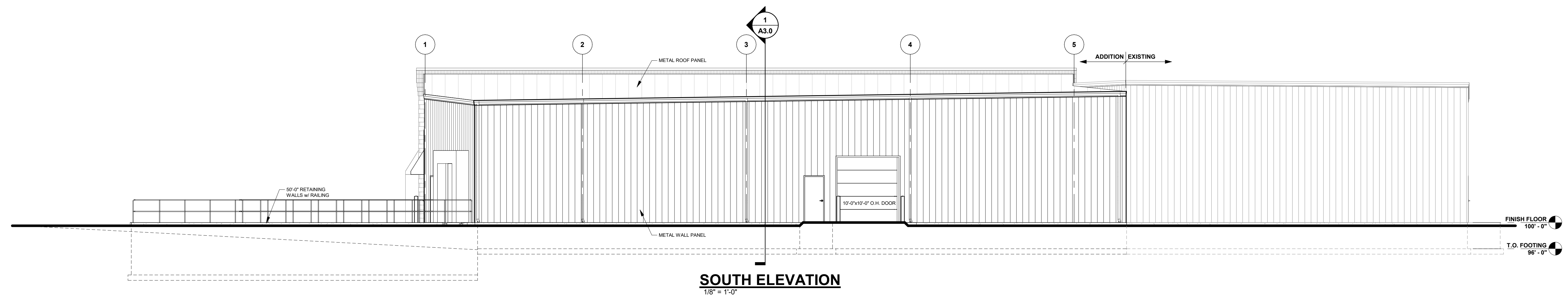
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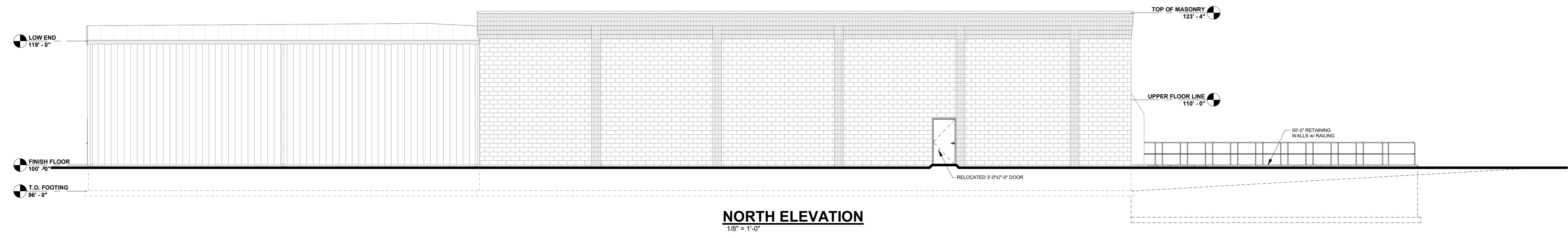
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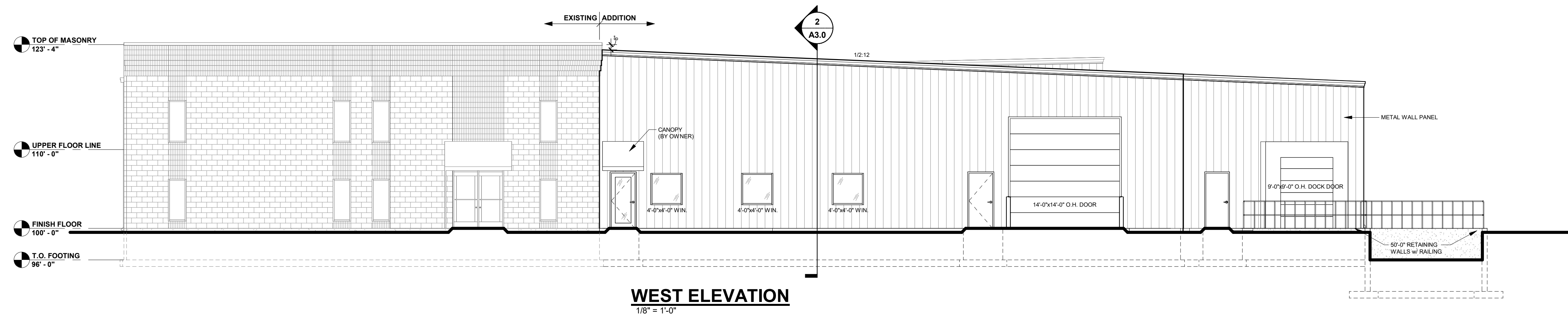
SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

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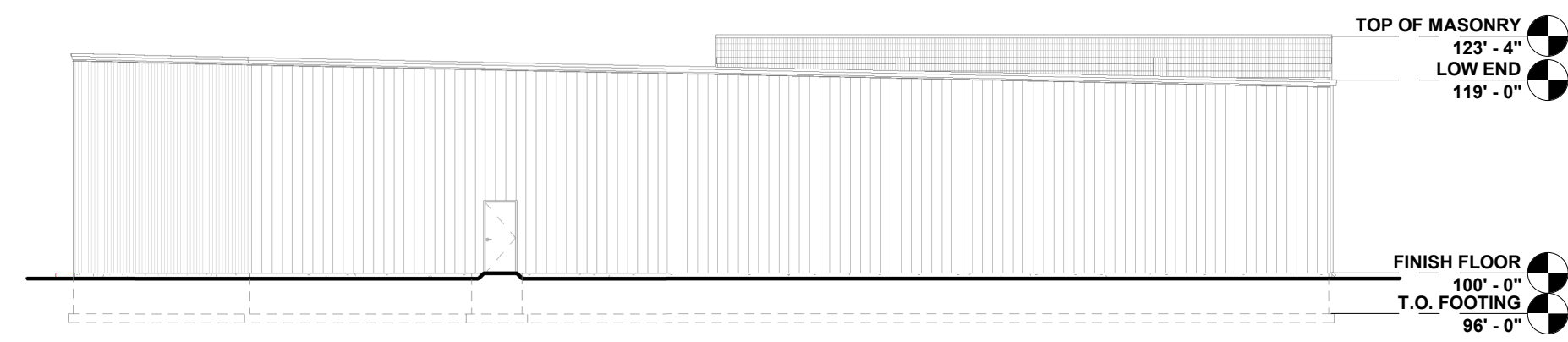
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A2.0

DOOR & WINDOW VALUES

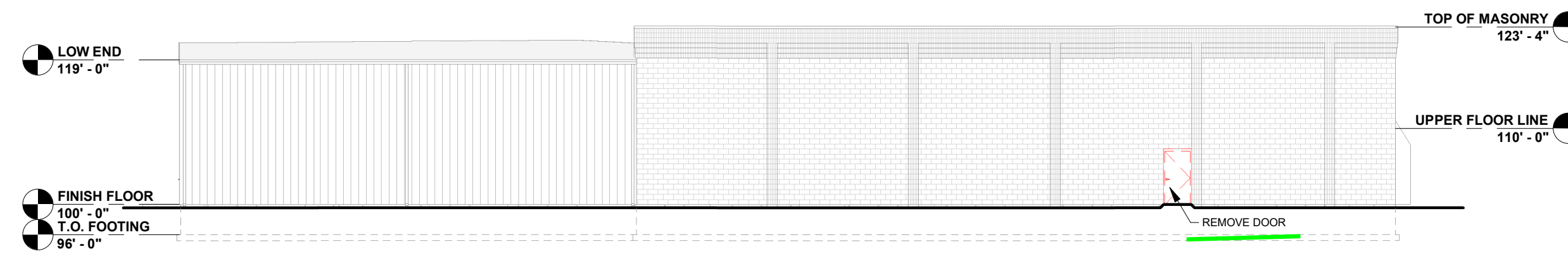
WINDOWS:	U VALUE	0.4
	SHGC	0.327
	VT	0.6
DOORS:	U VALUE	0.38
O.H. DOORS:	U VALUE	0.11
(NON-SWIRLING)		
DOORS:	U VALUE	0.701
(>50% GLAZING)	SHGC	0.238
	VT	0.39

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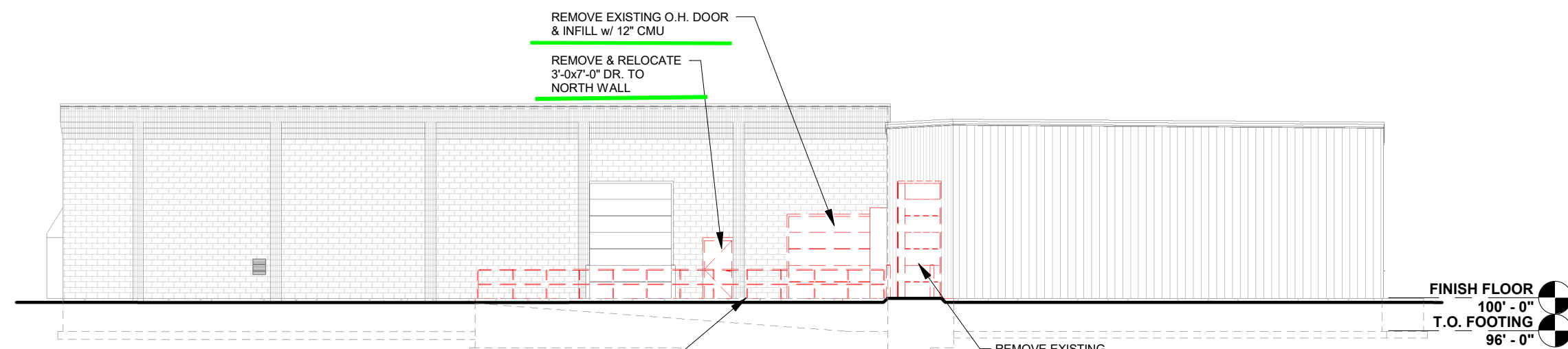
EXISTING EAST ELEVATION

1/16" = 1'-0"



EXISTING NORTH ELEVATION

1/16" = 1'-0"



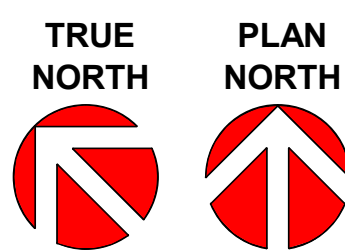
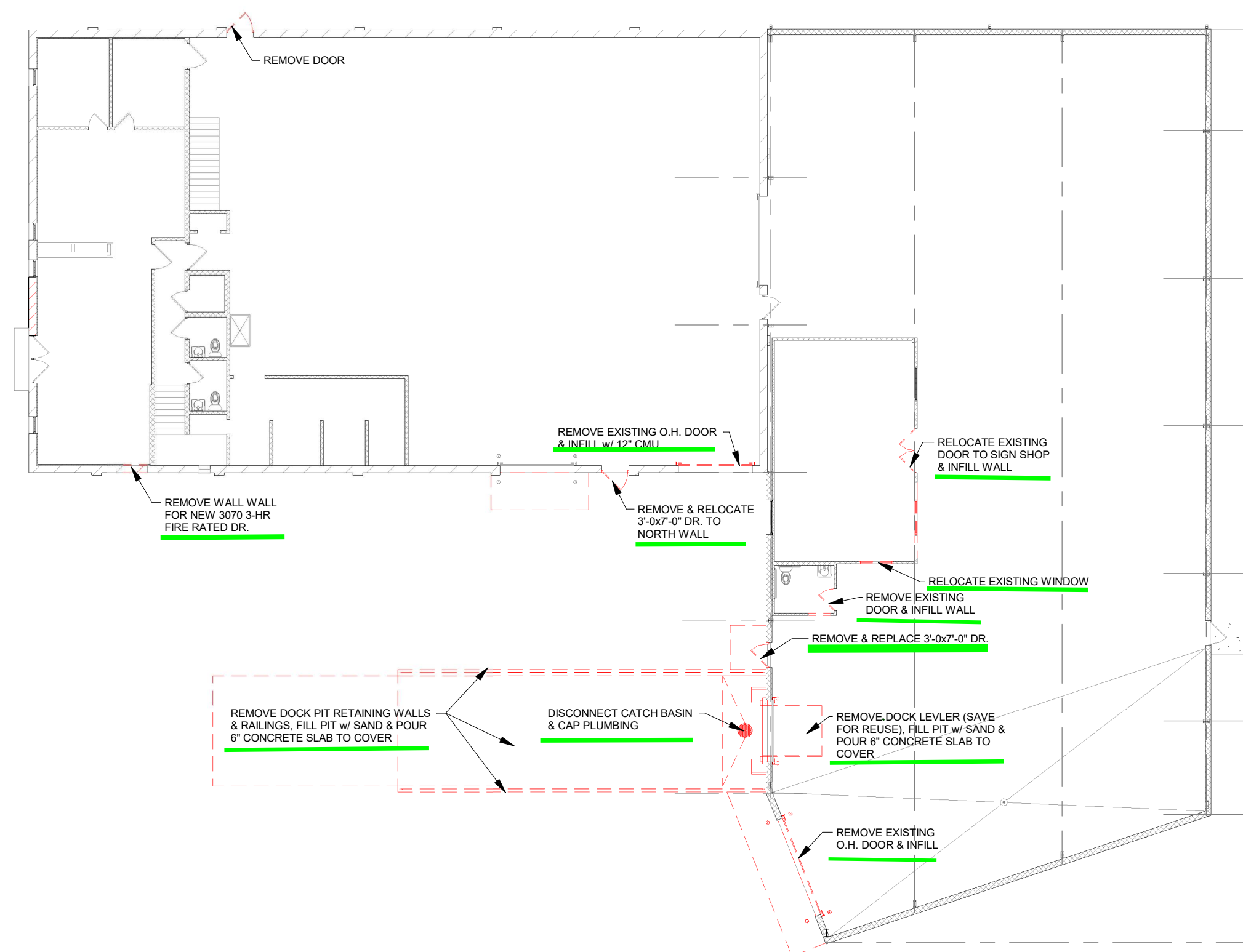
EXISTING SOUTH ELEVATION

1/16" = 1'-0"



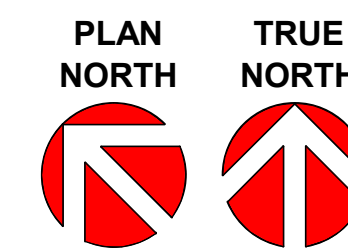
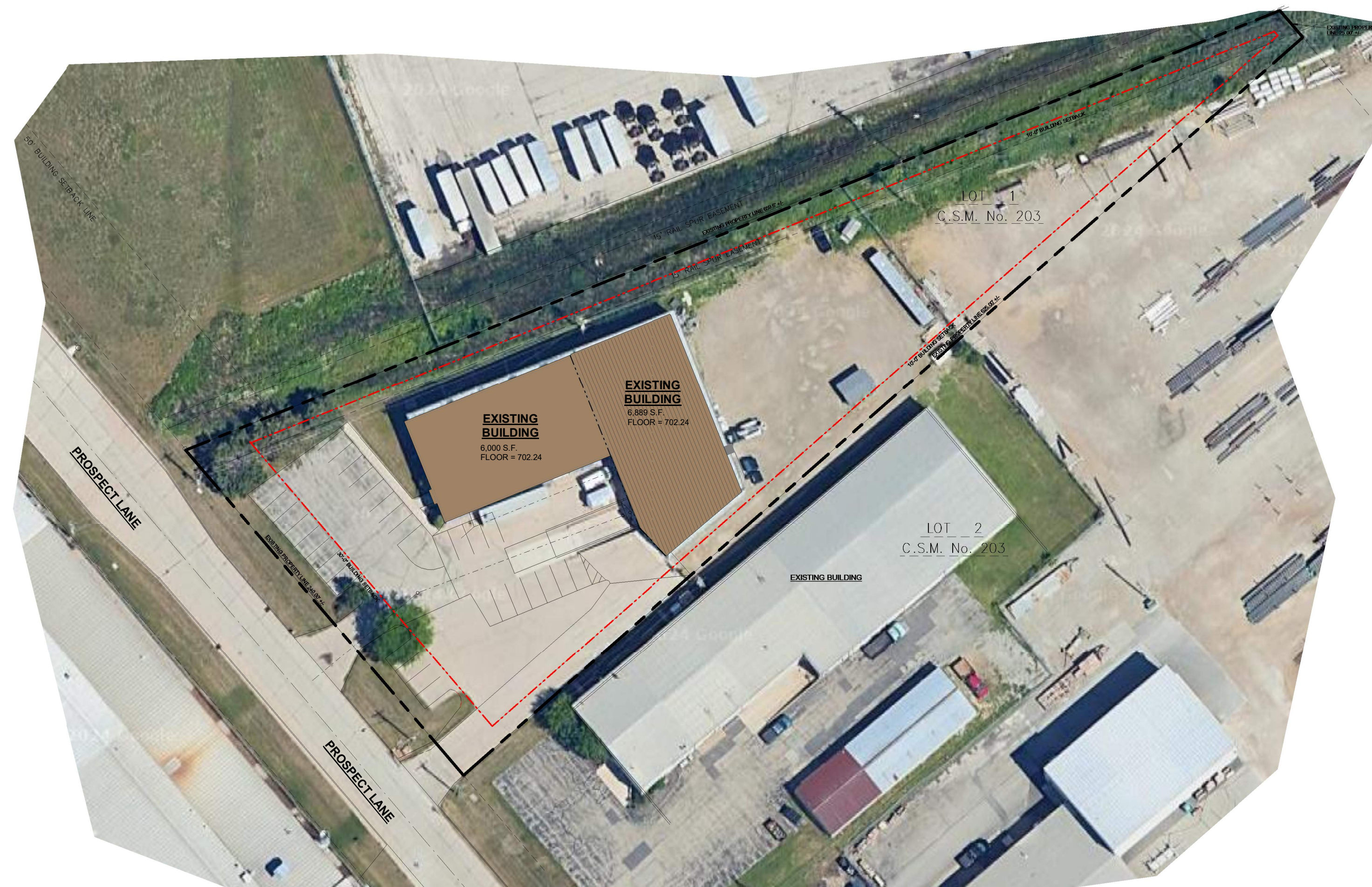
EXISTING WEST ELEVATION

1/16" = 1'-0"



DEMOLITION FLOOR PLAN

1/16" = 1'-0"

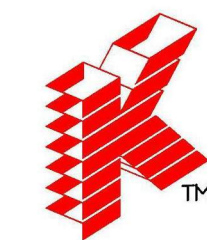


EXISTING SITE PLAN

1" = 50'-0"

WALL KEY

- NEW WALL/FURRING
- NEW MASONRY/ VENEER WALL
- NEW COOLER/ FREEZER WALLS
- NEW FOUNDATION WALL
- NEW IMP WALL
- NEW PRECAST WALL
- EXISTING MASONRY WALL
- TYPICAL EXISTING WALL
- DEMO MASONRY WALL
- DEMO WALLS
- FIRE WALL OR FIRE BARRIER



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REVISIONS

1	08/15/2024	KRW
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PROJECT MANAGER:

D. STUBBS

DESIGNER:

S. KLESSIG

INTERIOR DESIGNER:

DRAWN BY:

KRW

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P24199

CONTRACT NO:

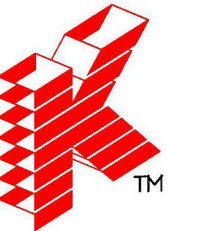
DATE:

08/01/2024

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EX1.0

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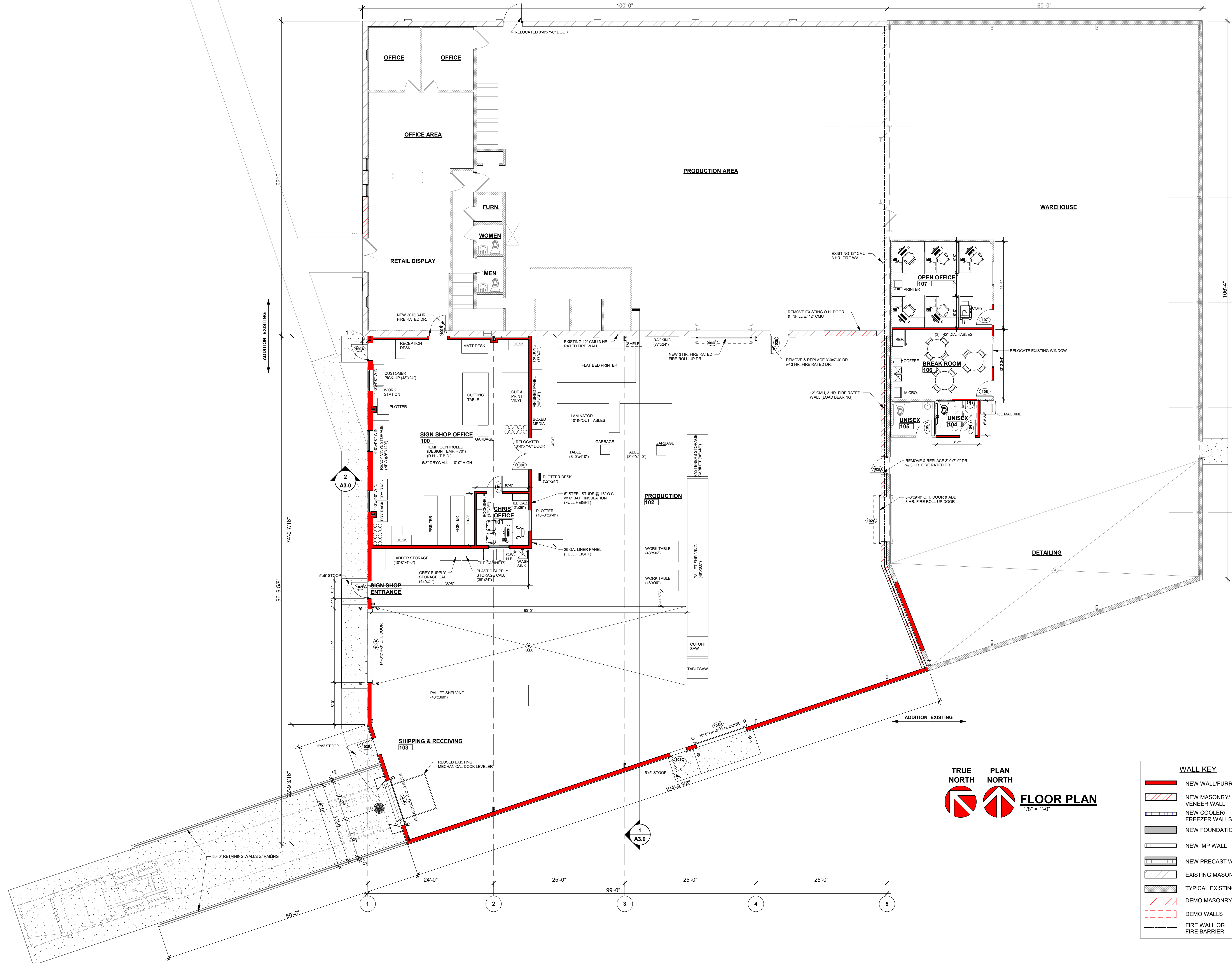
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WISCONSIN
KAUKAUNA,



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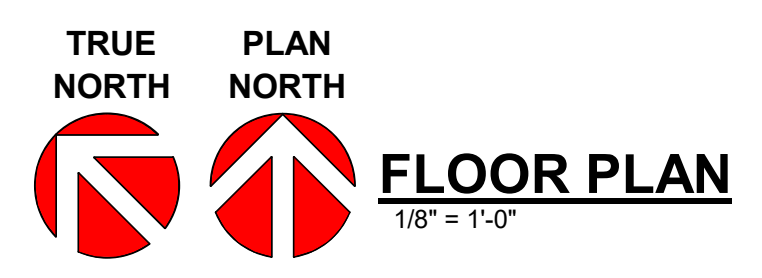
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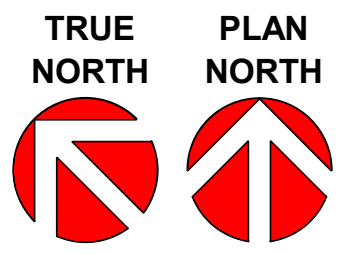
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A1.0

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WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/VENEER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER



REFLECTED CEILING PLAN
1/8" = 1'-0"

GRID LAYOUT FOR ESTIMATE ONLY.
ATTIC COMPARTMENTALIZATION
REQUIRED FOR NO GREATER THAN 3,000 S.F.

WALL KEY	
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	NEW COOLER/FREEZER WALLS
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DRAWN BY:
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SUPERVISOR:

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SHEET:
A7.0

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
- EX1.0 EXISTING/DEMO FLOOR PLANELEVATIONS/SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- A7.0 REFLECTED CEILING PLAN
- S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	12,889 S.F.	8,196 S.F.	21,085 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	12,889 S.F.	8,196 S.F.	21,085 S.F.
MEZZANINES	----- S.F.	----- S.F.	----- S.F.
FIRE AREA TOTALS	----- S.F.	----- S.F.	----- S.F.
REMODEL AREA TOTALS	----- S.F.	---% OF BUILDING AREA	

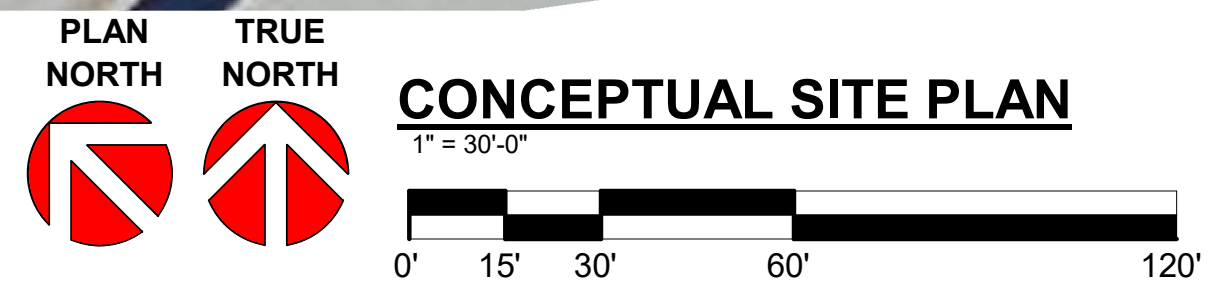
BUILDING CODE ANALYSIS

- PROJECT ADDRESS**
Street, City, State, Zip
- APPLICABLE CODES**
2015 International Building Code (w/ WI Amendments)
ASHRAE Standard 90.1-2013 or 2015 IECC
2015 IEBC (Level # Alteration)
- OCCUPANCY**

Accessory Use
Incidental Use
High-Piled Combustible Storage YES/NO
Hazardous Materials YES/NO
Multiple Control Areas YES/NO
- HEIGHT & AREA**
Building Height: ---" Maximum Allowed: ---"
Number of Stories: -- Maximum Allowed: --
Total Building Area: --- S.F. Maximum Allowed: --- S.F.
Total Fire Area: --- S.F. Maximum Allowed: --- S.F.
Mixed/Separated Occupancies
Unlimited Area Building YES/NO
- CONSTRUCTION TYPE**
Construction Classification -B
Fire Separation Distance ---"
- FIRE PROTECTION SYSTEMS**
Assumed Sprinkler Type ---
Fire Alarm System YES/NO
- MEANS OF EGRESS**
Occupant Load ---
Panic Hardware YES/NO
- STRUCTURAL DESIGN**
Risk Category ---
Design Loads
Roof Live Load --- psf
Walk-on IMP Ceiling Live Load --- psf
Steel Framing Collateral Load --- psf
Wood Truss Top Chord Dead Load --- psf
Bottom Chord Load --- psf
Mezzanine/Second Floor/Basement Live Load --- psf
Point Load (Partition) --- psf
Snow Load Criteria
Ground Snow Load (Pg) --- psf
Exposure Factor (Ce) ---
Thermal Factor (Ct) ---
Wind Loads
Wind Load --- MPH
Surface Roughness ---
Exposure Category ---
Earthquake Load Criteria
Soil Site Class ---
Ss ---
S1 ---
- PLUMBING SYSTEMS**
Mens WC Required #
Womens WC Required #
Drinking Fountain Required #
Other Source YES/NO
Ambulatory Stall Required YES/NO
- MECHANICAL SYSTEMS**
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

- SITE CONTENT**
- | | | |
|-----------------------|-------------|-------------------------|
| Building Size | 20,986 S.F. | 25.9% |
| Hard Surface | 25,255 S.F. | 31.3% |
| Green Space | 34,646 S.F. | 42.8% (INCLUDES GRAVEL) |
| Parcel Size (Approx.) | 80,887 S.F. | 1.85 Acres |
| Parking Provided | -- Stalls | |
| Area of Disturbance | --- S.F. | |
- ZONING**
- | | |
|------------------------|-------------------------|
| Property Zoning | --- |
| Setbacks | FY ---' SY ---' RY ---' |
| Hard Surface Setback | --- |
| Coverage Limit | ---% |
| Greenspace Requirement | ---% |
| Parking Required | -- Stalls |
| Refuse Enclosure | YES/NO |
| RTU SCREENING | YES/NO |



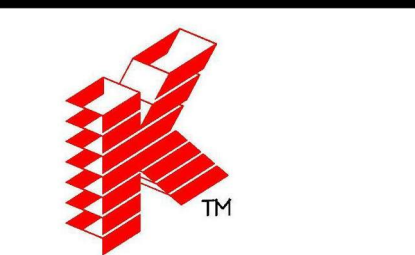
THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PROPOSED FOR:

EAGLE GRAPHICS

KAUKAUNA,

WISCONSIN



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-2795 /
1-800-236-2534
FAX (920) 766-5004

MADISON
711 Loka Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2337

MILWAUKEE
W204 N11509
Caldendale Rd
Clermontown, WI 53022
PHONE (262) 250-9710
FAX (262) 250-9740

WAUSAU
5605 Libe Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:

EAGLE GRAPHICS

KAUKAUNA, WISCONSIN

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REVISIONS

NO.	DATE	BY
1	08/15/2024	KRW
2	10/14/2024	KRW
3		
4		
5		
6		

PROJECT MANAGER:
D. STUBBS

DESIGNER:
S. KLESSIG

INTERIOR DESIGNER:

DRAWN BY:
KRW

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:
P24199

CONTRACT NO:

DATE:
08/01/2024

SHEET:
C1.0

PRELIMINARY - NOT FOR CONSTRUCTION



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Industrial Park Commission
 From: Adrienne Nelson, Associate Planner
 Date: February 24, 2025
 Re: Site Plan Review – Precision Scraping & Alignment; 2103 Badger Road

Precision Scraping & Alignment is a machine-tool rebuilding and alignment business. This project will add an additional 5,987 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & applicable zoning](#)

The Precision Scraping & Alignment building is one story. There are currently 45 off-street parking spaces. All set back requirements are met and all applicable ordinances are being complied with to include zoning requirements.

Landscape: [17.52 Landscaping Requirements](#)

There are five trees located on the property. There are no plans to remove these during the construction process. Landscaping requirements are being met.

Lighting:

This addition is not adding any lighting.

Stormwater: [22 Stormwater Management](#)

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting. With the last addition, Precision Scraping & Alignment sized everything to handle the additional stormwater for this addition.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns noted from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

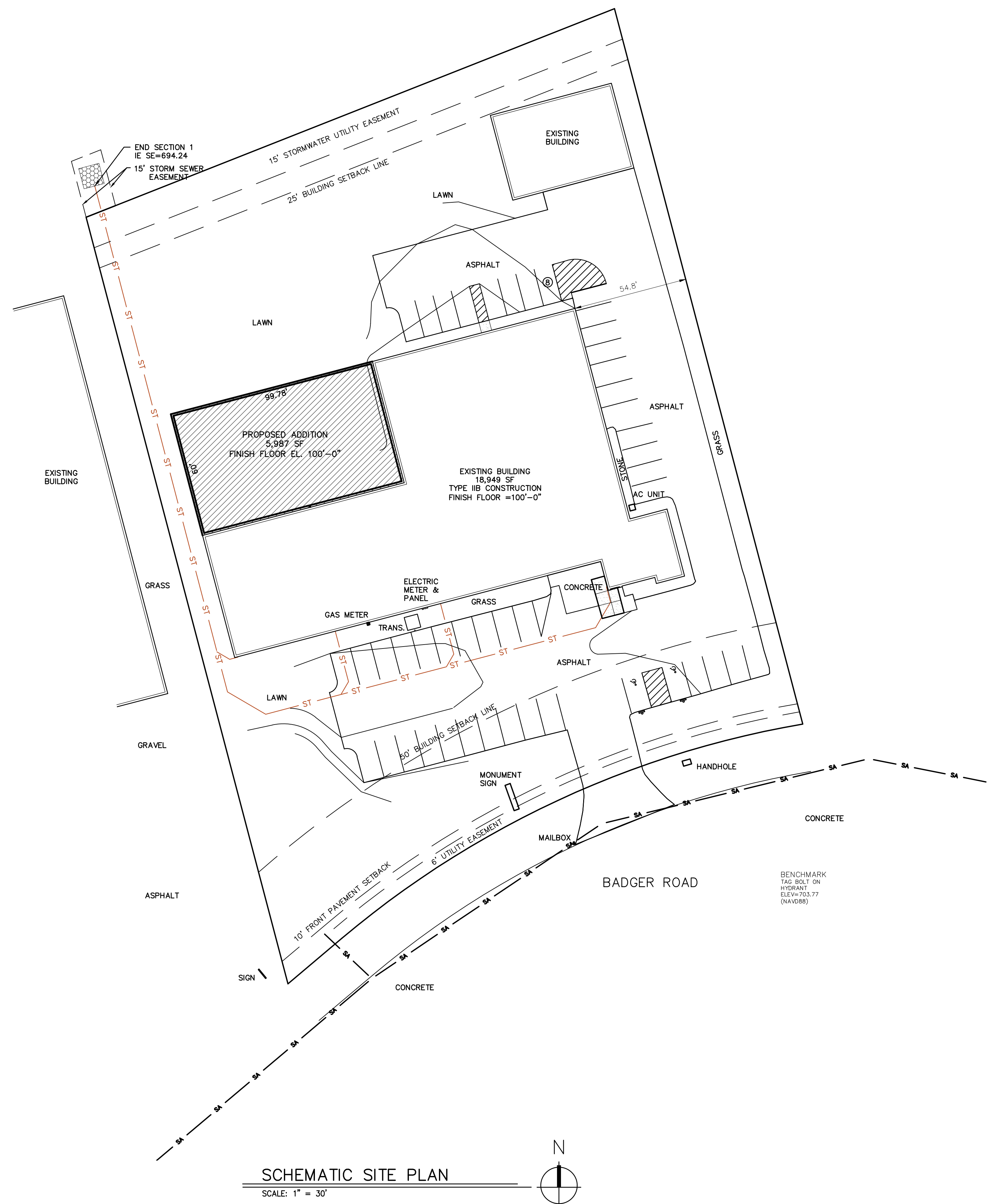
The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from the Engineering Department**





SCHEMATIC SITE PLAN
SCALE: 1" = 30'

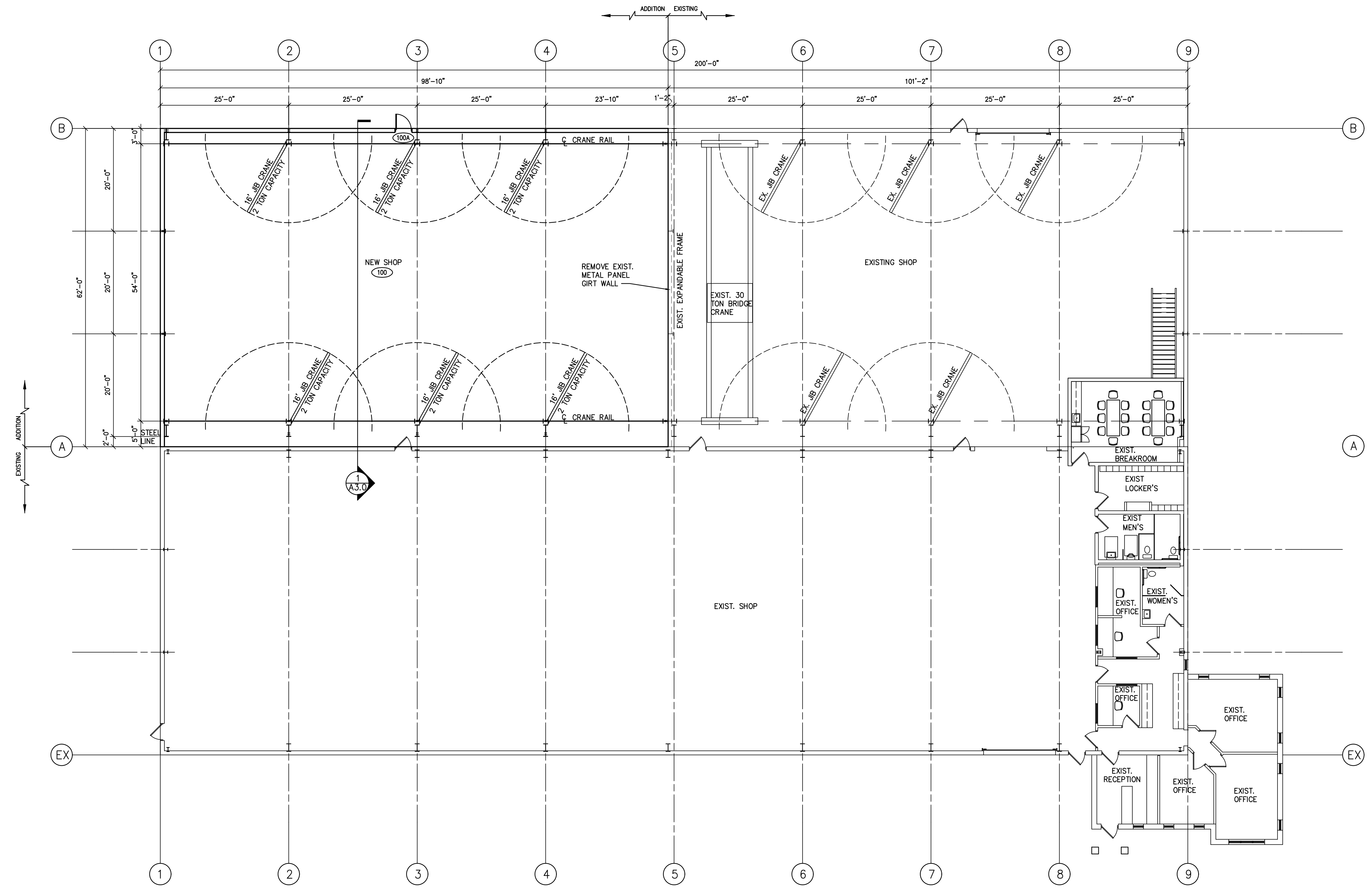
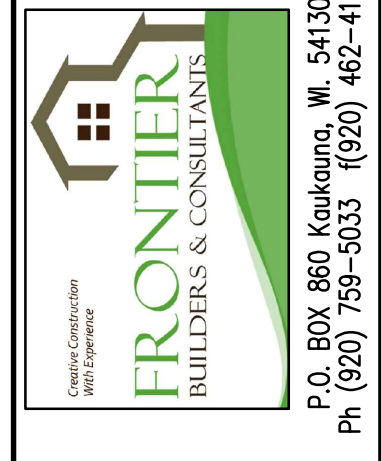


HARRIS 2718 NORTH MEADE ST.
APPLETON, WI 54911
& ASSOCIATES, INC. TEL: (920) 733-8377
CONSULTING ENGINEERS
AND LAND SURVEYORS FAX: (920) 733-4731

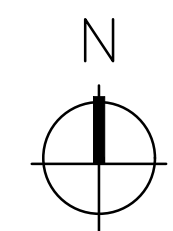
REV. NO.	DESCRIPTION	DATE	BY
1			

PROJECT: PRECISION SCRAPING BUILDING ADDITION
LOCATION: 2103 BADGER ROAD KAUKAUNA, WISCONSIN
DESCRIPTION: SCHEMATIC SITE PLAN

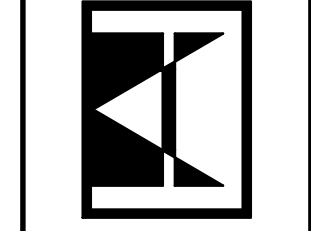
DRAWN BY: CLT
CHECKED BY:
DATE: 02-18-25
SHEET
C1.0
PROJECT NUMBER
7951



FLOOR PLAN
 SCALE: 3/32" = 1'-0"



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 APPLETON, WI 54911
 TEL: (920) 733-8377
 FAX: (920) 733-4731

REV. NO.	DESCRIPTION	DATE	BY
A		00-00-00	

PROJECT: PRECISION SCRAPING BUILDING ADDITION
LOCATION: 2103 BADGER ROAD KAUKAUNA, WISCONSIN
DESCRIPTION: OVERALL FLOOR PLAN

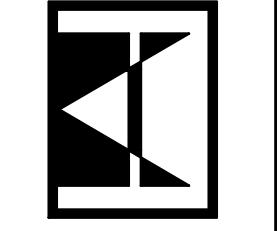
DRAWN BY: GJW
CHECKED BY:

DATE: 02-18-25

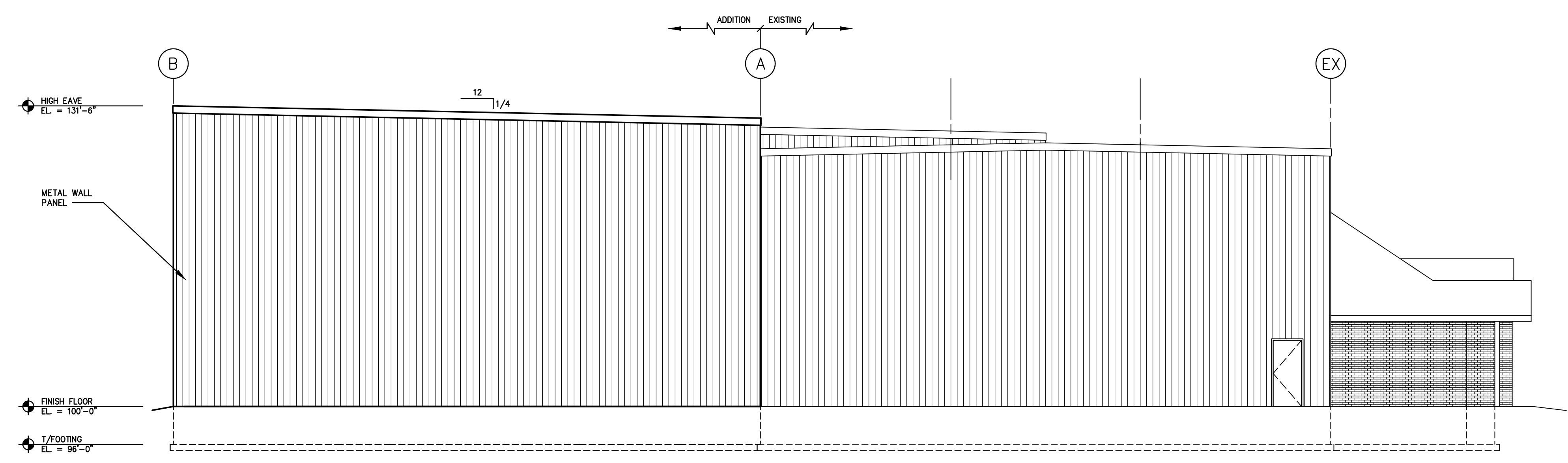
SHEET
A1.0
PROJECT-NUMBER
 7951



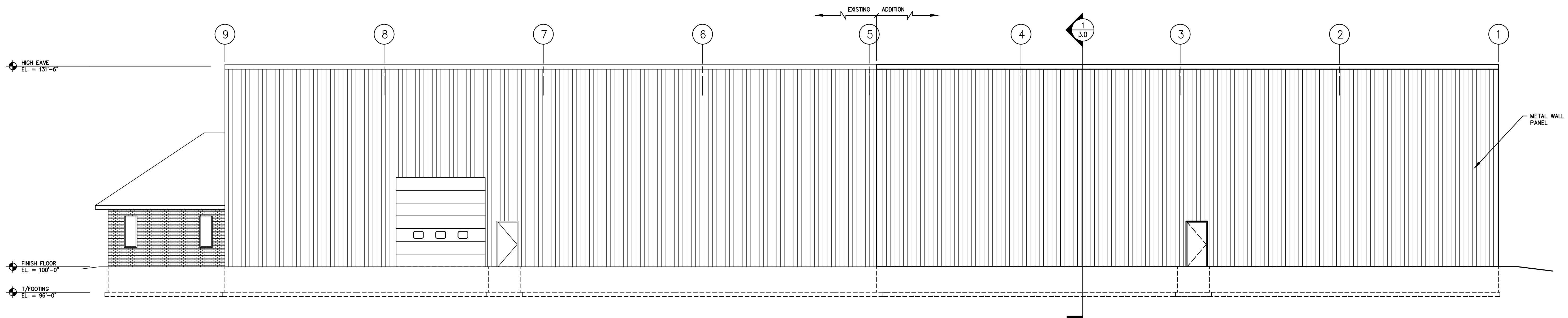
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 APPLETON, WI 54911
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 FAX: (920) 733-4731



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

REV. NO.	DESCRIPTION	DATE	BY
A		00-00-00	

PROJECT: PRECISION SCRAPING BUILDING ADDITION
LOCATION: 2103 BADGER ROAD KAUKAUNA, WISCONSIN
DESCRIPTION: OVERALL FLOOR PLAN

DRAWN BY: RDT
CHECKED BY:

DATE: 02-18-25

SHEET
A2.0
PROJECT-NUMBER
 7951



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Industrial Park Commission
From: Dave Kittel, Director of Planning and Community Development
Date: 2/21/2025
Re: Facade Change Request-Out Lot 3 New Prosperity Center (101 E County Road JJ)

A request for a change to the originally approved façade for Out Lot 3 New Prosperity Center (101 E County Road JJ) has been received. The previously approved Metal style paneling product is not available currently with an expected 6 month wait for the product. Other similar type products were sought out by the developer with the same delay or greater. Due to the building needing to be occupied before the material previously proposed becoming available the Developer would like to use the same product that was used at the recently completed Klink Building. The color would also be the same charcoal type of color that is currently on the Klink Building. A sample of the proposed material will be available for review during the meeting.

The Covenants for this area call for masonry or coated metal style panels for the exterior with an exception allowed for decorative bands especially where overhead doors or other features make other materials less practical and for expansion wall areas. The material presented is the same type that already exists in this Industrial Park and a similar situation is present with the overhead doors on this property that is on the Klink property where the IPC did allow the use of this material.

Attached to this memo is a copy of the original elevations and copy of the covenants for this industrial park for reference and below is an image of Klink completed for consideration of how this may look.



Recommendation:

To allow for the use of the R Panel to replace the metal planning previously approved provided no change to the originally proposed masonry and the system is to be installed with hidden fasteners.





NEW PROSPERITY CENTER PROTECTIVE COVENANTS

WHEREAS, the City of Kaukauna, a municipal corporation, and Albany International Corp., a Delaware corporation, are all of the owners of the following described lands, to wit:

All lots in the NEW Prosperity Center Plat, City of Kaukauna, Outagamie County, Wisconsin.

NOW, THEREFORE, in consideration of the aforesaid and for the purposes of preserving the value of the lots contained within the subdivision, the undersigned hereby declares and provides that all lands in the subdivision exclusive of Outlot C, shall be subject to the following restrictions, covenants, and conditions, to wit:

- 1. Approval of Plans and Specifications. No building, sign or any man-made improvement shall be erected, placed, or altered on any building site in the subdivision until plans for such improvements (including site plan, drainage plan, landscape plan, building profile plan, and other specifications) have been approved by the Kaukauna Industrial and Commercial Development Commission, hereinafter the "Commission". The Commission shall approve or disapprove plans based upon their compliance with these restrictions and other applicable enactments of the City and in consideration of harmony of external design and land use and their impact on other property within and adjacent to the subdivision.

Failure of the aforesaid Commission to act upon such building or improvement plans within sixty (60) days after receipt of the last of the required plans by the Planning Department shall constitute approval of such plans.

- 2. Setbacks and Bulk Regulations.
 - A. Front Yard. Any part or portion of any building shall be set back at least fifty (50) feet from the lot line adjoining any street.
 - B. Side Yard. Any part or portion of any building shall be set back at least twenty (20) feet from any side lot line.
 - C. Rear Yard. Any part or portion of any building shall be set back at least twenty (20) feet from any rear lot line.
 - D. Building Height. Total building height shall be a maximum of fifty (50) feet, with the exception of antennas, guy wires, or other building apparatuses. The Commission may waive building heights if required to enclose machinery.
 - E. Lot Coverage. No more than ninety-five percent (95%) of a lot shall be covered by the total of its paved and roofed areas.

3. Parking.

- A. All parking lots and entrances shall be paved with either asphalt or concrete surface. Employee and visitor parking, including drives/driveways, may not exceed seventy-five percent (75%) in area of any required front yard. All paved surface shall be a minimum of one (1) foot off any lot line unless an access easement or cross easement exists with the parcel abutting said lot line.
- B. All parking stalls, measured as 9' x20' standard or 15' x 20' if handicapped, shall be clearly marked and maintained. Aisles shall not be less than eighteen (18) feet in width. Owners of property shall submit in writing an affidavit of current and future needs for parking stalls based on employees and visitors. Such affidavit shall be part of the site plan process.
- C. All parking areas shall provide, and be indicated on the site plan, a means by which storm water is discharged without impacting adjoining lots or off-site flood elevations. Storm water shall be discharged to an off-site municipally built and controlled collection and detention facility.
- D. On-street parking of vehicles is prohibited except in designated areas adjoining Van Epern Park and Pond.

4. Van Epern Park and Pond. There is established a storm water detention pond to service the lots in the NEW Prosperity Center for the mutual benefit of the owners of the subdivision. The pond and surrounding land has been designated Van Epern Park and Pond and as such is open to the public. Additional easements have been created for the purpose of extending a trail system for recreation and access to the pond.

No owner or tenant of property shall place any object within the park or easement that would hinder or obstruct the public's use of the park or trail system. Vegetative buffers are permitted subject to approval of a landscape plan as submitted under Section 7.

5. Storm Water.

All storm water intakes shall be screened so as to not allow greater than a four (4) inch sphere to pass. No owner or tenant shall allow any discharge to the storm sewer except storm water. All discharge to storm water system shall be free from any materials prohibited per applicable state or federal regulations.

6. Outdoor Storage.

- A. All areas used for ingress and egress and maneuvering of vehicles shall be paved in either a concrete or asphalt surface of sufficient base and paving depth to accommodate anticipated loads. Product storage area and associated travel lanes to the storage area and approaches to the buildings may, with the approval of the Commission, be surfaced in chip seal asphalt.

- B. Storage of semi-trailers shall be limited to licensed trailers used for product in transit, unless the property includes a transportation business and the business has received the consent of the Commission.
 - C. There shall be no outdoor storage of materials, product or equipment on lots of two acres or less except for immediate delivery or pick-up.
 - D. Storage of material, product or equipment shall be permitted under the following conditions:
 - 1. All storage shall be a minimum of fifty (50) feet back from the front lot line and fifteen (15) feet from the side and rear lot lines.
 - 2. All storage shall be screened as approved by the Commission.
 - 3. Lighting, signage, landscaping and other uses associated with outdoor storage may be placed within the required setback with Commission approval.
 - 4. Non-traveled portions of a storage area, if appropriately screened and used for moisture control, may be placed with a dust-free surface of washed gravel or asphalt grindings, if approved by the Commission.
7. Landscaping. The following landscape requirements are intended to maintain aesthetic appeal and provide identity for and within the Industrial Park. To accomplish this objective, the Commission shall review a landscape plan in conjunction with the overall site development plan. Landscaping shall be used for aesthetic appeal while addressing the functional considerations of visual screens, energy conservation, direction/identification, environment, recreation, and public safety.
- A. A landscape plan shall be included in all new facilities within the Industrial Park. All required landscape plans shall include the following minimum standards:
 - North arrow and scale.
 - Proposed and future buildings, parking, and storage areas.
 - Existing vegetation to remain, type, and approximate size.
 - A planting and development scheme that includes plant types, species, quantity, size, and location; section drawings, cross sections or scale drawings of berms, fences, retaining walls, ponds, group plantings, fountains, statues or other hardscapes.
 - B. Open spaces shall be kept in grass, trees, or shrubbery and maintained in good appearance at all times. If grass or weeds exceed twelve (12) inches in height, the City of Kaukauna may cut same and place this cost on the real estate owner's tax bill.

Exemptions may include areas planted in prairie vegetation or wild flowers if part of an approved landscape plan.

C. All persons acquiring property within the Industrial Park must plant and/or maintain at a minimum one (1) tree of at least four (4) feet in height for every 30,000 square feet of lot. Where conservancy or flood plain easements exist on a lot, this area shall count towards the planting area in both area and as a landscape area. Property owners may, in lieu of planting trees on their property, petition the Commission to plant a tree within Van Epern Park and Pond or within a flood plain or conservation easement. The use of trees shall be encouraged for wind breaks, energy conservation, aesthetic appeal, and to promote the general environment.

8. Building Improvements. Buildings, including sheds or out-buildings, shall be completed with each side of the building in decorative masonry, textured pre-fabricated concrete, smooth concrete finish, or other textured non-metallic surface as approved by the Commission. Exemptions may be made for decorative bands not exceeding four (4) feet in width, windows, door treatments, loading docks, and dock doors. An exemption may also be made for sides of buildings designated for future expansions provided such building sides are treated with spray-on textured finish to imitate a non-metallic surface. This exemption may apply to office areas as approved by the Commission if attached as part of an industrial building as to duplicate a flat textured surface. Paint is not a substitute.

Lighting of the premises for security or to monitor movement shall be directed so minimal lighting occurs beyond the boundaries of the current subdivision.

A site plan and additional documents shall be submitted to the Commission in accordance with Section 1 of these covenants. A building site plan submitted shall include, at a minimum, the following:

- Location of public and private streets and access ways.
- Parking, lighting and security facilities.
- Landscape areas.
- Building size, setbacks, and expansion areas.
- Storm water management plans.
- Location of on-site directional signage or other signage.
- Common areas or cross easements and all other public/private easements.
- Plan and profile (façade) sheets on all buildings.

9. Signs. Off premise advertising is prohibited. No on-site advertising signage or promotional display shall be within ten (10) feet of any side lot line or edge of paving for a driveway. Signs may not encroach over or within one (1) foot of any front lot line.

The Owner shall place and maintain a uniform address sign as established by the Commission.

10. Term. Each lot shall be conveyed subject to the within restrictions and covenants, all of which are to run with the land and shall be binding on all parties and all persons claiming under them for a period of thirty (30) years from the date these Protective Covenants are recorded; and after which time, said covenants and restrictions shall be automatically extended for a successive period of ten (10) years each unless an instrument signed by a majority of the then owners of the lots in said subdivision, together with the approval thereof of the Common Council of the City of Kaukauna, has been recorded, agreeing to change, modify, or amend said covenants in whole or in part.

In determining a majority of property owners, one (1) vote shall be counted for each owner owning three (3) acres of land or less and one (1) additional vote for each additional full, three (3) acres with a maximum of ten (10) votes for any one property owner. The unsold lands retained by the City shall be included in such voting.

11. Amendment. The within covenants and restrictions may be modified and amended only upon the recording of an instrument to said effect, duly signed by a majority of the then owners of the lots in said subdivision with the approval thereof by the Common Council as evidenced by a resolution duly adopted by at least three-fourths (3/4) favorable vote of all members of the Common Council. The majority of the property owners shall be determined as set forth in Section 10 of these restrictions.

12. Enforcement. The enforcement of the covenants and restrictions contained in these Protective Covenants shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any such covenants, either to restrain violation or to recover damages. Such proceedings may be commenced by any owner or owners of lots in said subdivision or the City of Kaukauna.

13. Savings Clause. Invalidation of any one of these covenants or restrictions contained within these Protective Covenants by judgment or court order shall in no way affect any of the other provisions hereof which shall remain in full force and effect.

IN WITNESS WHEREOF, said City of Kaukauna and Albany International Corp. has caused these presents to be signed by Joseph M. Gaug, Albany International Corp., duly authorized representative, and Eugene J. Rosin, City of Kaukauna, Mayor, and Susan J. Duda, City of Kaukauna, Clerk/Treasurer, the City's corporate seal also to be hereunto affixed this 24th day of October, 2006.

ALBANY INTERNATIONAL CORP.

By: _____
Joseph M. Gaug, Associate General Counsel
And Assistant Secretary

CITY OF KAUKAUNA

By: _____ Attest: _____
Eugene J. Rosin, Mayor Susan J. Duda, Clerk/Treasurer

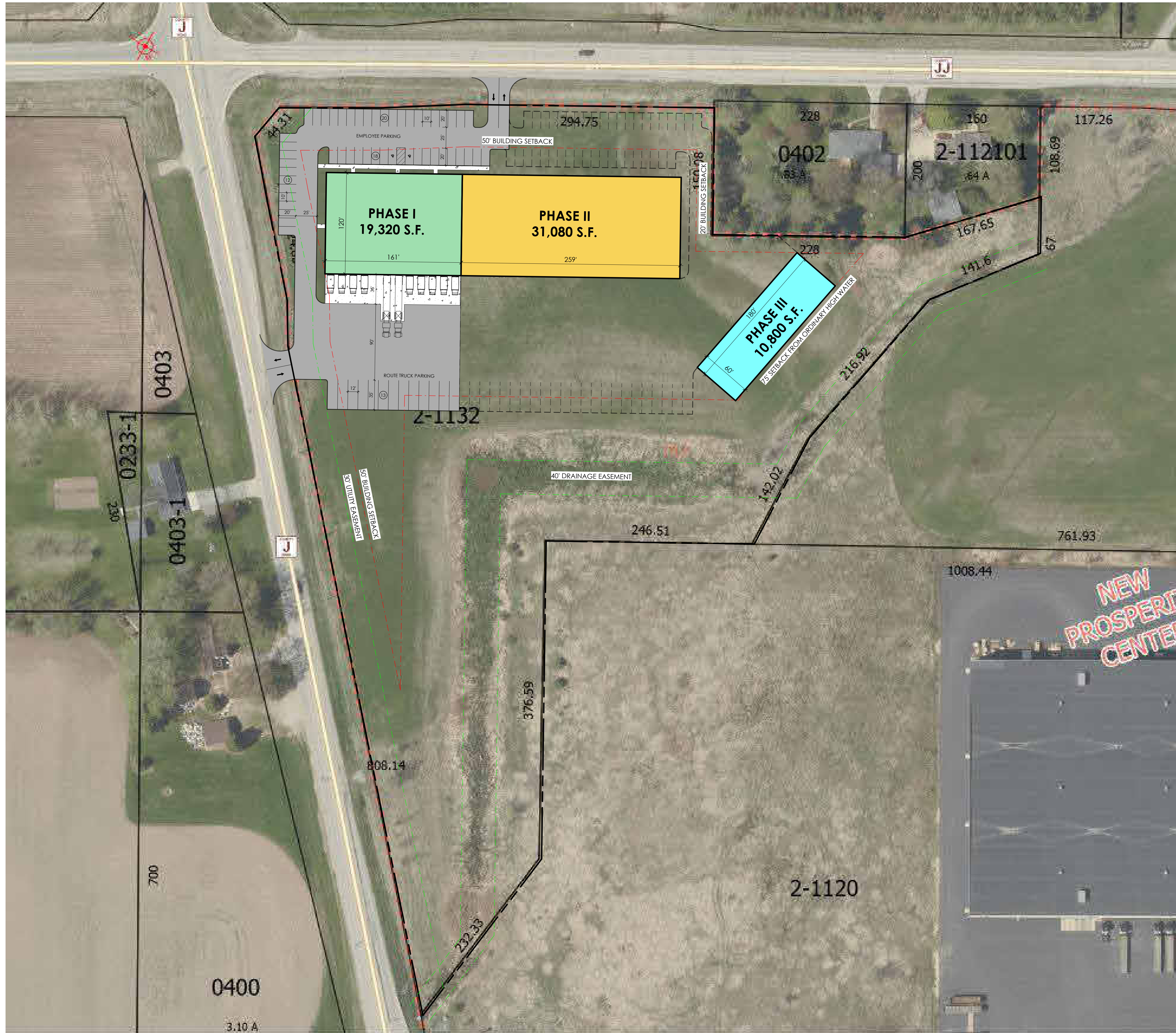
ACKNOWLEDGEMENT

STATE OF WISCONSIN
OUTAGAMIE COUNTY

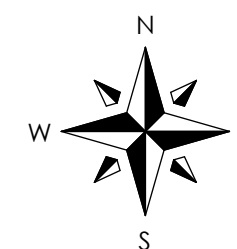
Personally came before me this 24th day of October, 2006, the above named, Joseph M. Gaug, Eugene J. Rosin, and Susan J. Duda, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Signed: _____
Thomas J. Janssen
Notary Public, OUTAGAMIE County

My Commission is permanent.



1 ARCHITECTURAL SITE PLAN
1" = 60'-0"



CONSTRUCTION
DESIGN • WELDING
2201 Eastline Road
Kaukauna, WI 54930
Phone: (920) 766-6805
Toll Free: (800) 236-1889
foxstructures.com

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PROPOSED FOR:
#230226
EDGEWOOD DRIVE
KAUKAUNA, WISCONSIN 54130

CITY OF KAUKAUNA
OUTAGAMIE COUNTY

ISSUE RECORD:
P1 12-20-23
P2 01-22-24
P3 06-26-24

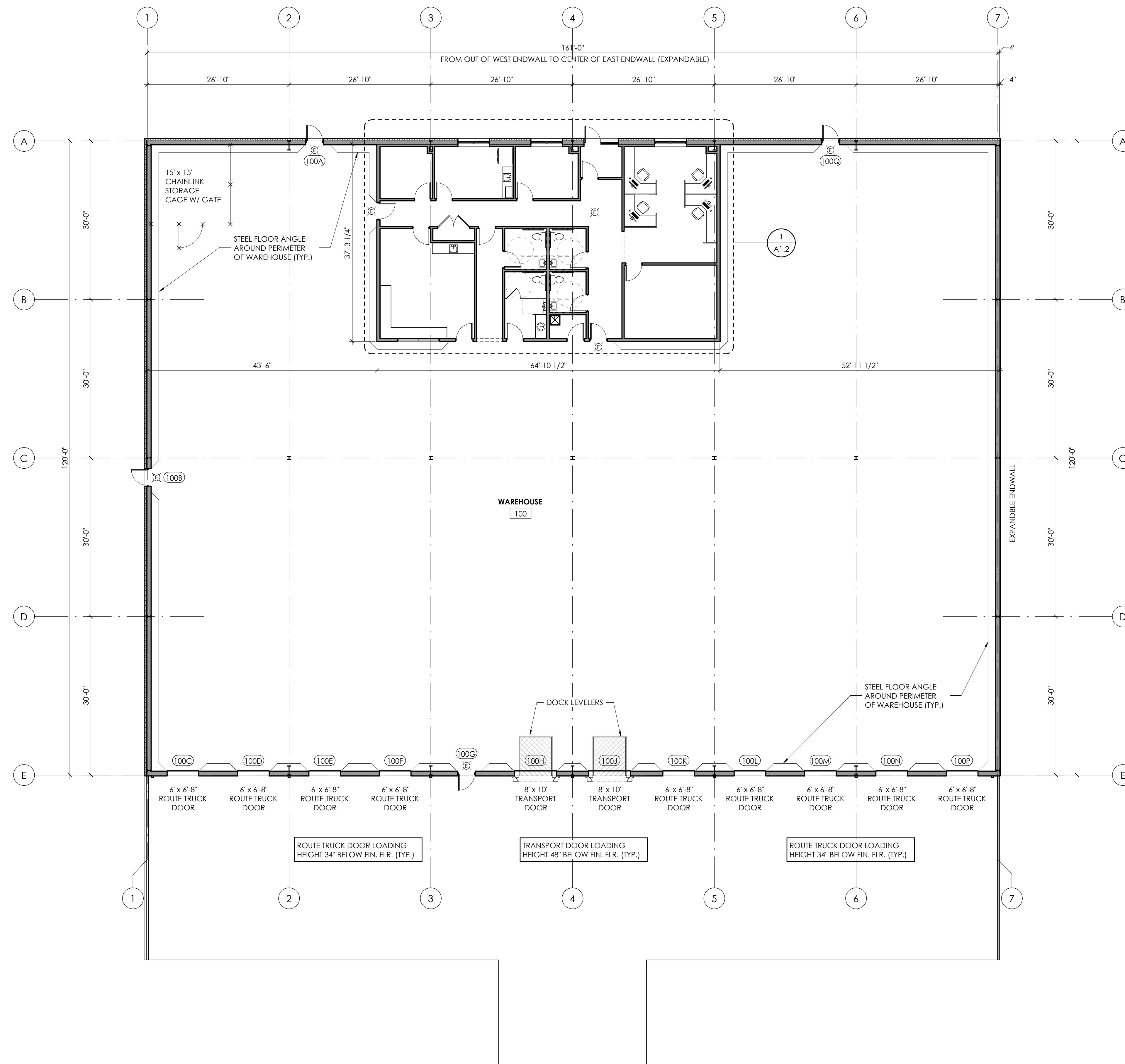
PR = PRELIMINARY PLAN
RS = ISSUED FOR STATE REVIEW
IC = ISSUED FOR CONSTRUCTION

PROJECT #: **230226**
SALESMAN: **M. MASHLAN**
DRAWN BY: **AWS**

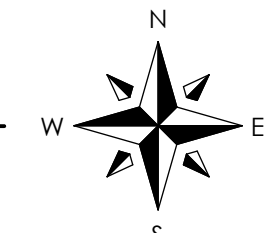
SHEET CONTENTS:
ARCHITECTURAL SITE PLAN

C1.1

NOT FOR CONSTRUCTION



1 FLOOR PLAN
3/32" = 1'-0"



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PROPOSED FOR:
#230226
EDGWOOD DRIVE
KAUKAUNA, WISCONSIN 54130

CITY OF KAUKAUNA
OUTAGAMIE COUNTY

ISSUE RECORD:
P1 12-20-23
P2 01-22-24
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PR = PRELIMINARY PLAN
IS = ISSUED FOR STATE REVIEW
FC = ISSUED FOR CONSTRUCTION

PROJECT #: **230226**
SALESMAN: **M. MASHLAN**
DRAWN BY: **AWS**

SHEET CONTENTS:
FLOOR PLAN

A1.1



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KAUKAUNA, WISCONSIN 54130

PROPOSED FOR:
#230226
EDGEWOOD DRIVE

CITY OF KAUKAUNA
OUTAGAMIE COUNTY

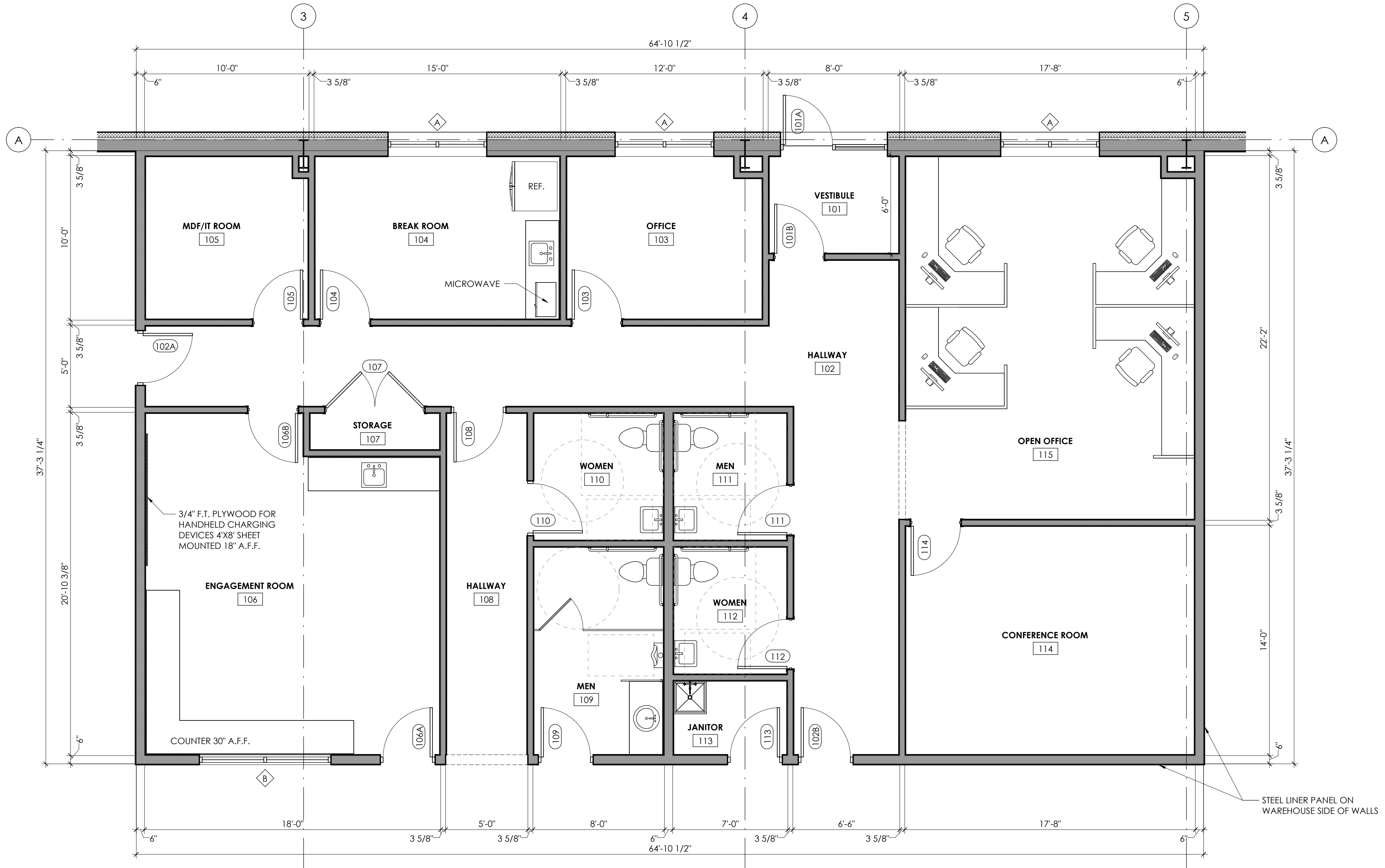
ISSUE RECORD:
P1 12-20-23
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PF = PRELIMINARY PLAN
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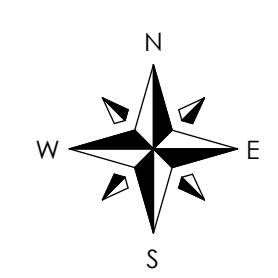
PROJECT #: 230226
SALESMAN: M. MASHLAN
DRAWN BY: AWS

SHEET CONTENTS:
ENLARGED OFFICE PLAN

A1.2



1 ENLARGED OFFICE PLAN
1/4" = 1'-0"



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KAUKAUNA, WISCONSIN 54130

PROPOSED FOR:
#230226
 EDGEWOOD DRIVE

CITY OF KAUKAUNA
 OUTAGAMIE COUNTY

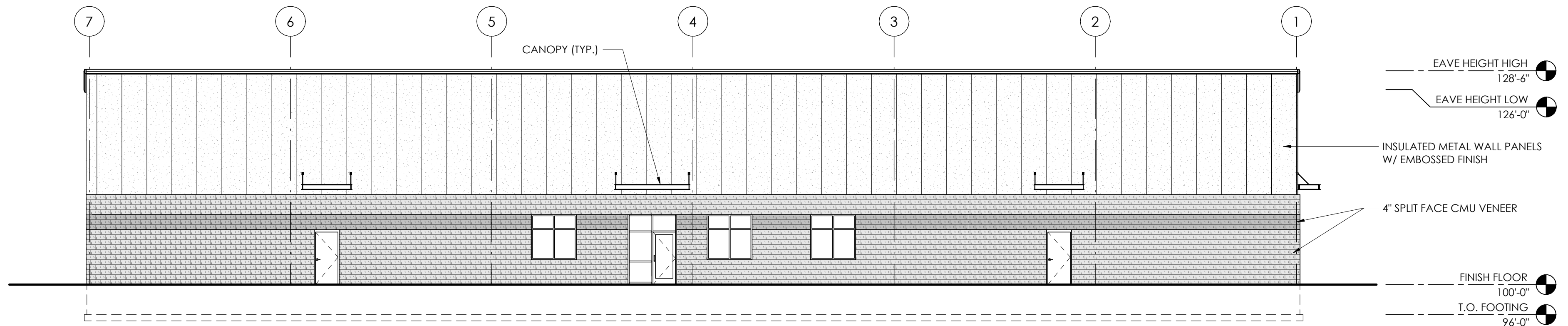
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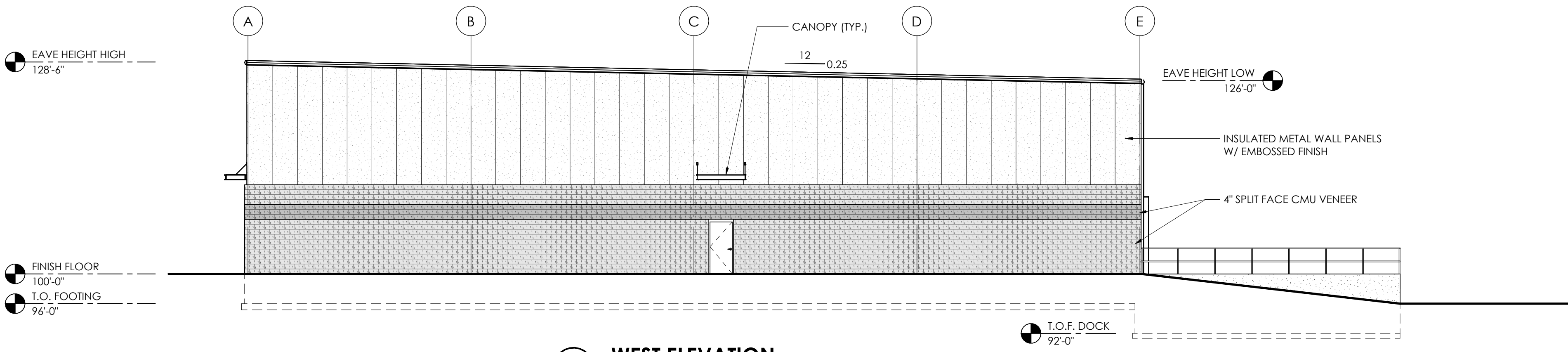
PROJECT #: **230226**
 SALESMAN: **M. MASHLAN**
 DRAWN BY: **AWS**

SHEET CONTENTS:
ELEVATIONS

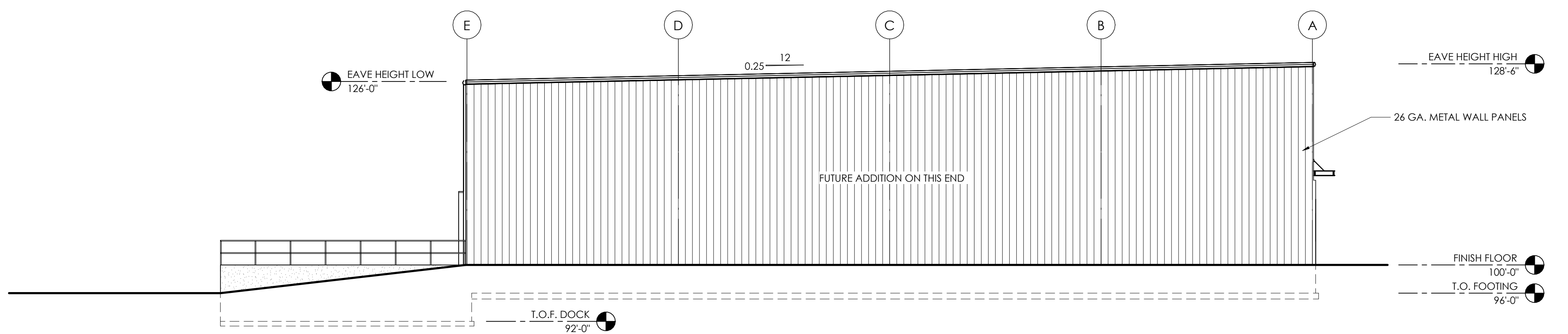
A2.1



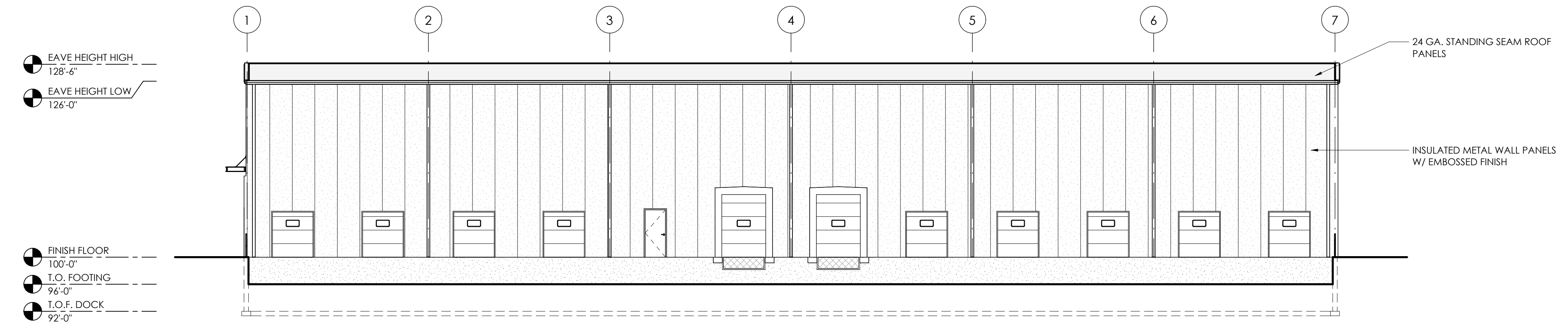
1 NORTH ELEVATION
 3/32" = 1'-0"



2 WEST ELEVATION
 3/32" = 1'-0"



3 EAST ELEVATION
 3/32" = 1'-0"



4 SOUTH ELEVATION
 3/32" = 1'-0"