

INDUSTRIAL PARK COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Tuesday, May 02, 2023 at 3:00 PM

AGENDA

1. Roll Call.
2. New Business.
 - [a.](#) Facade Alternative Request - Driessen Incubators; Outlot 3 NEW Prosperity Center
 - [b.](#) Front Yard Setback Variance Request - Straight Line Refrigeration; NEW Prosperity Center Lot 13 & Part of Lot 12
3. Closed Session.
 - a. Adjourn to Closed Session Pursuant to State Statute 19.85(1)(e) to discuss disposition of public property - Ready Mix Concrete Plant; NEW Prosperity Center Lot 7
 - b. Return to Open Session for possible action
 - c. Adjourn to Closed Session Pursuant to State Statute 19.85(1)(e) to discuss disposition of public property - Driessen Incubators; Outlot 3 NEW Prosperity Center
 - d. Return to Open Session for possible action
4. Other Business.
5. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



SITE PLAN - PROPOSED
1 / C1.0 SCALE = 1" = 60'-0"



SITE CALCULATIONS & INFORMATION

TOTAL LOT AREA =	SQ. FT. (APPROX.)	ACRES
BUILDING AREA (EXISTING) =	SQ. FT.	
BUILDING AREA (PROPOSED) =	SQ. FT.	
ASPHALT AREA (EXISTING) =	SQ. FT.	
ASPHALT AREA (PROPOSED) =	SQ. FT.	
CONCRETE AREA (EXISTING) =	SQ. FT.	
CONCRETE AREA (PROPOSED) =	SQ. FT.	
SIDEWALK (LINEAR FT.) =	FT.	
GRAVEL AREA =	SQ. FT.	
TOTAL IMPERVIOUS SURFACE =	SQ. FT.	
GREENSPACE AREA =	SQ. FT. (APPROX.)	%
TOTAL PARKING STALL COUNT =	STALLS	
ADA STALLS (REQUIRED,)	PROVIDED,)	

PROPOSED BUILDING FOR:
23-3061
CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
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REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: *
PROJECT EXECUTIVE: LANCE VANDEN HEUVEL
(920) 371-8167
DRAWN BY: DPO
DATE: 2/20/2023
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☒ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

SITE PLAN

C1.0



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

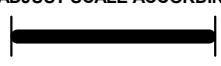
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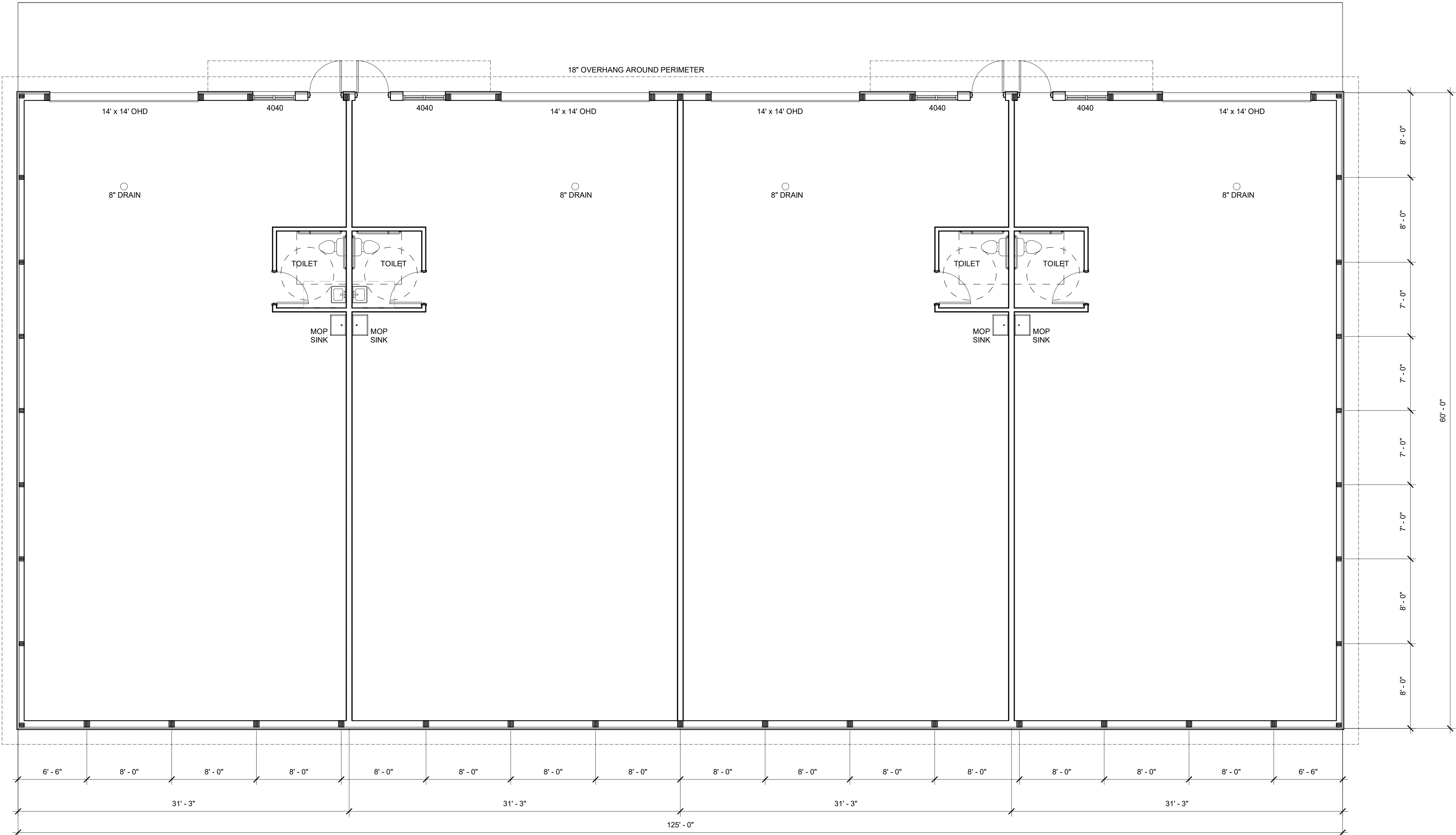
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FLOOR PLAN - PROPOSED

A1.0



FLOOR PLAN - PROPOSED

1 / A1.0 SCALE = 3/16" = 1'-0"



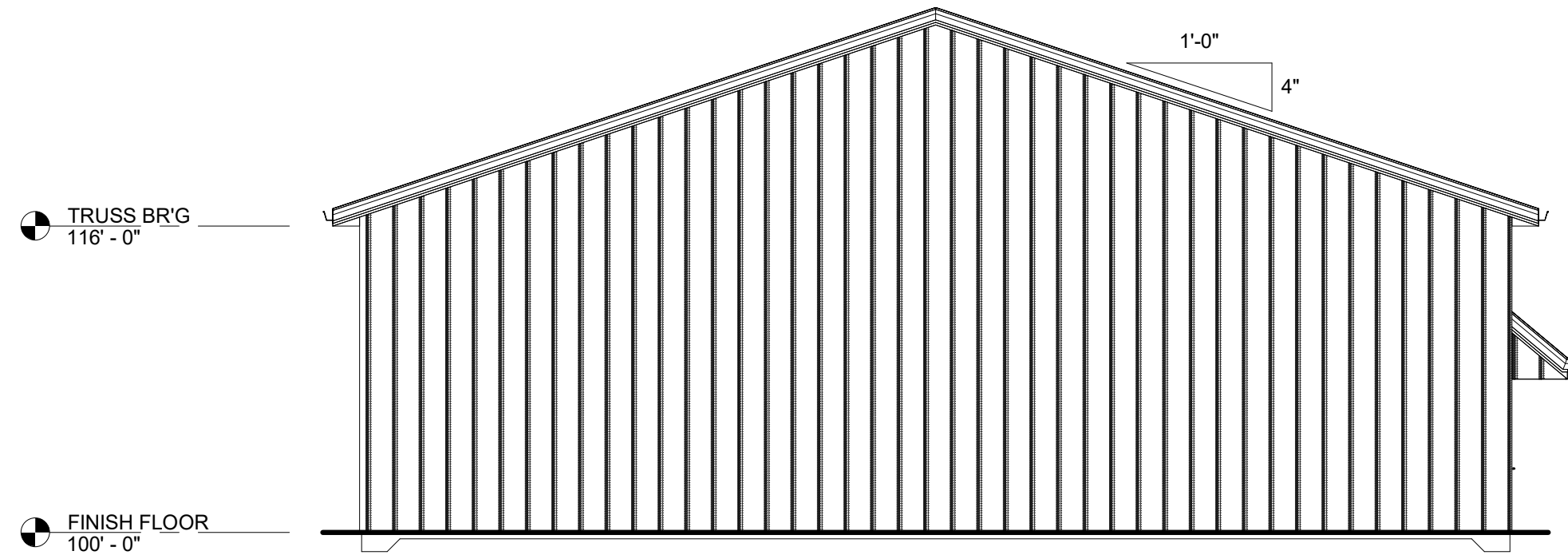
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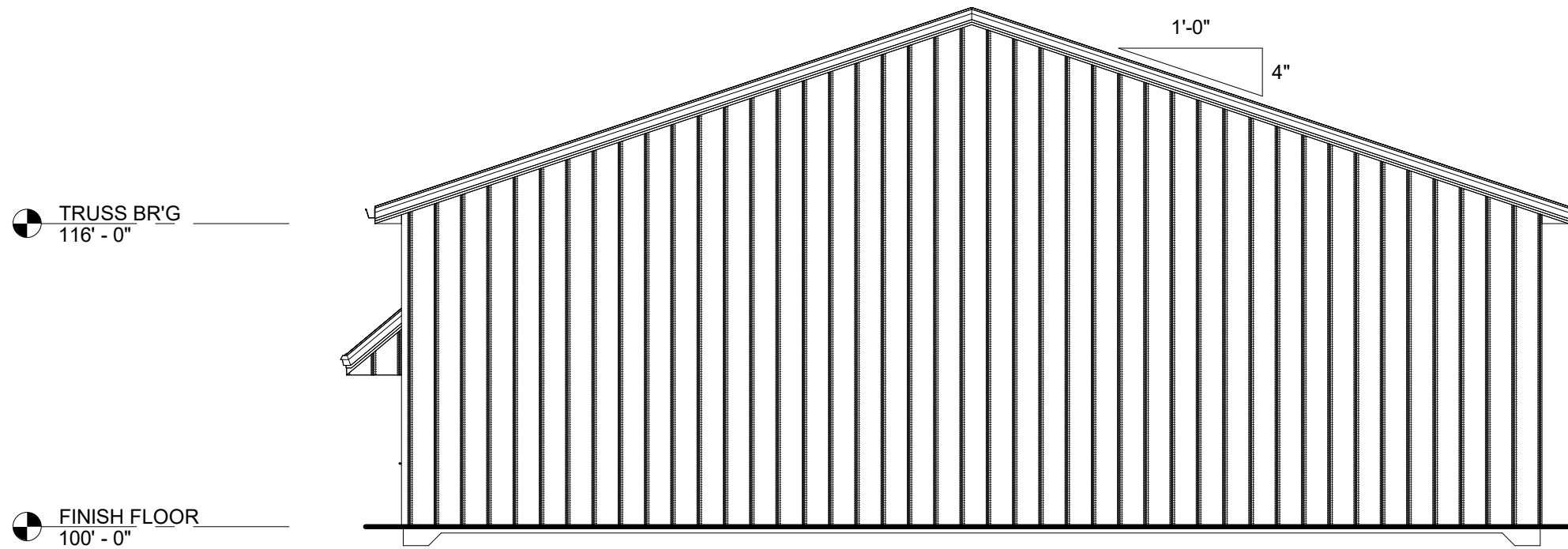
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EXTERIOR FINISH LEGEND

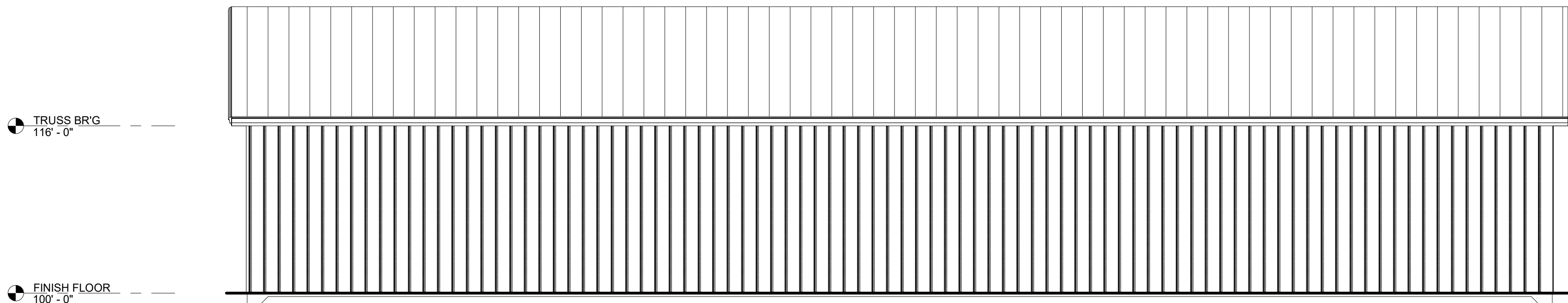
MARK	DESCRIPTION
LPS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: 6" LP SMART SIDING SUPPLIER: LP SMARTSIDE COLOR: VERIFY COMMENTS:
CS-1	LOCATION: CEDAR SHAKES SIDING MATERIAL: 6" CEDAR SHAKE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SV-1	LOCATION: STONE VENEER MATERIAL: NATURAL CUT STONE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
RS-1	LOCATION: ROOF SHINGLES MATERIAL: ASPHALT SHINGLE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-1	LOCATION: WALL PANEL MATERIAL: 26GA SEMI-CONCEALED SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: ROOF PANEL MATERIAL: 26GA SSR SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

**BUILDING ELEVATION - EAST**

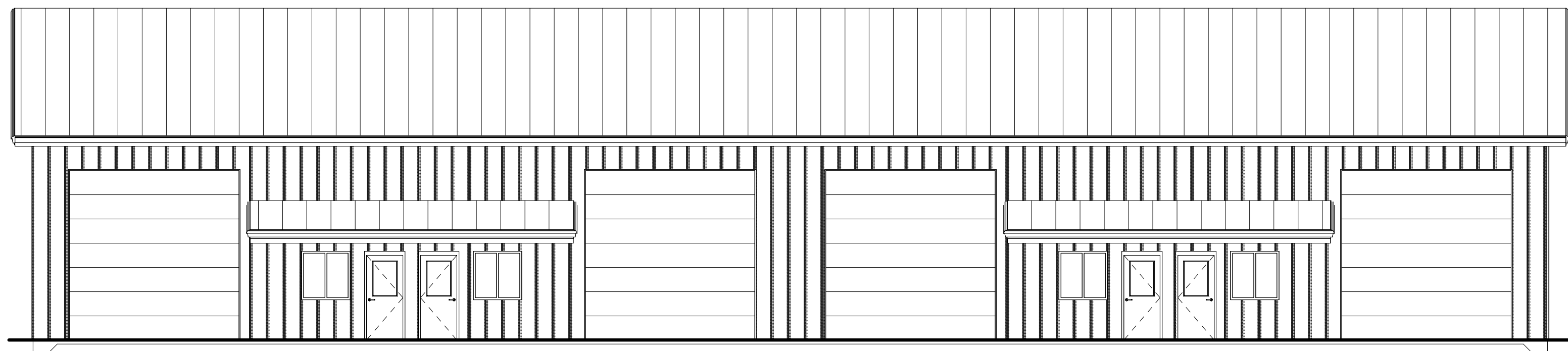
1 /A2.0 SCALE = 1/8" = 1'-0"

**BUILDING ELEVATION - WEST**

2 /A2.0 SCALE = 1/8" = 1'-0"

**BUILDING ELEVATION - NORTH**

3 /A2.0 SCALE = 1/8" = 1'-0"

**BUILDING ELEVATION - SOUTH**

4 /A2.0 SCALE = 1/8" = 1'-0"

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ELEVATION - EXTERIOR

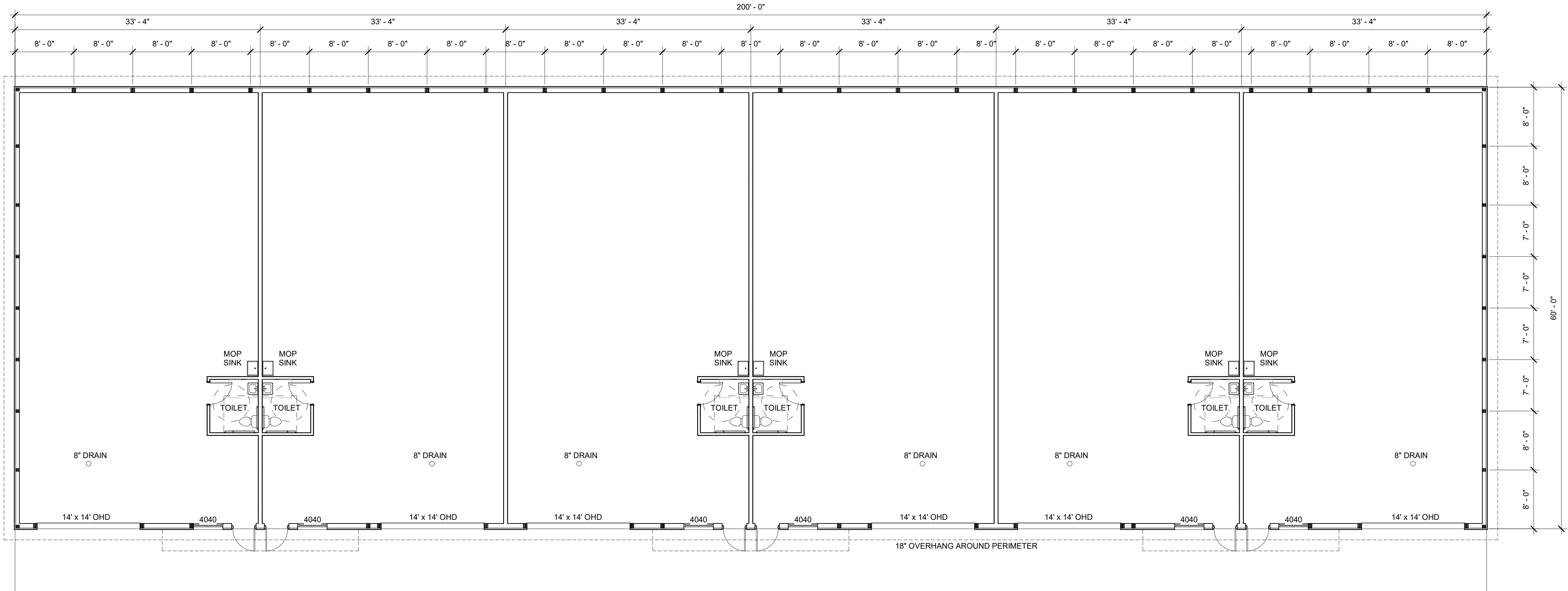
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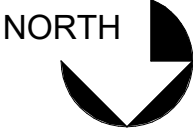
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FLOOR PLAN - PROPOSED
1 / A1.0 SCALE = 1/8" = 1'-0"



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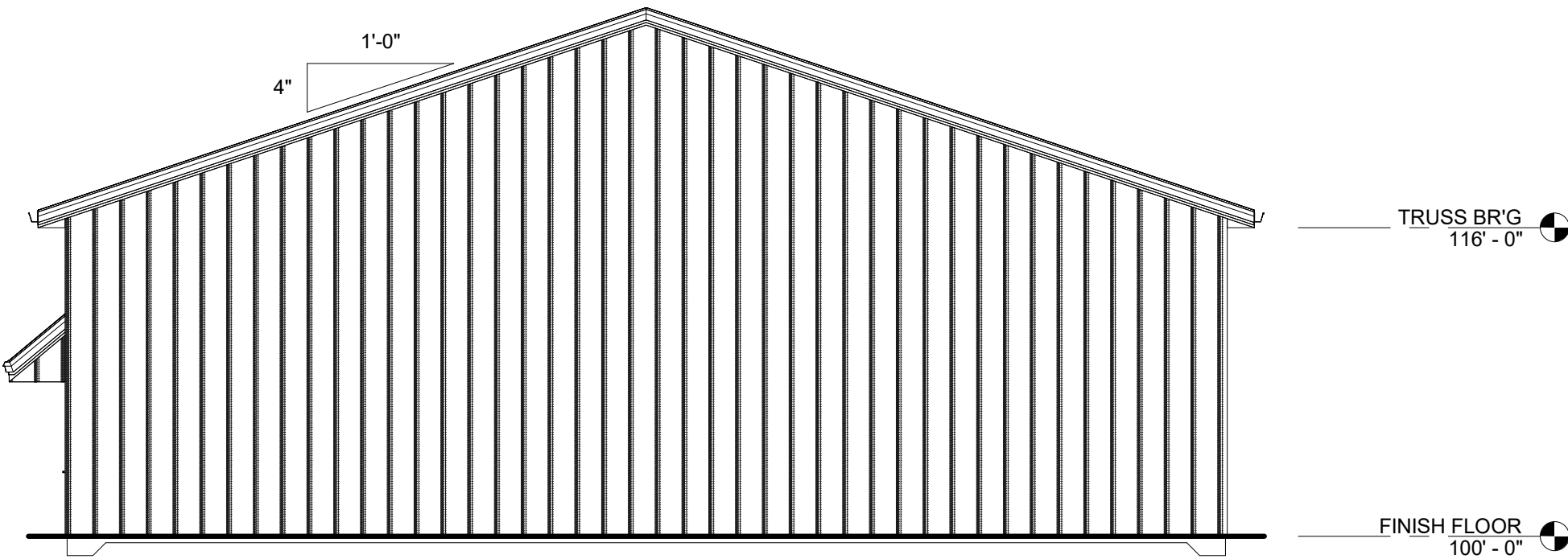
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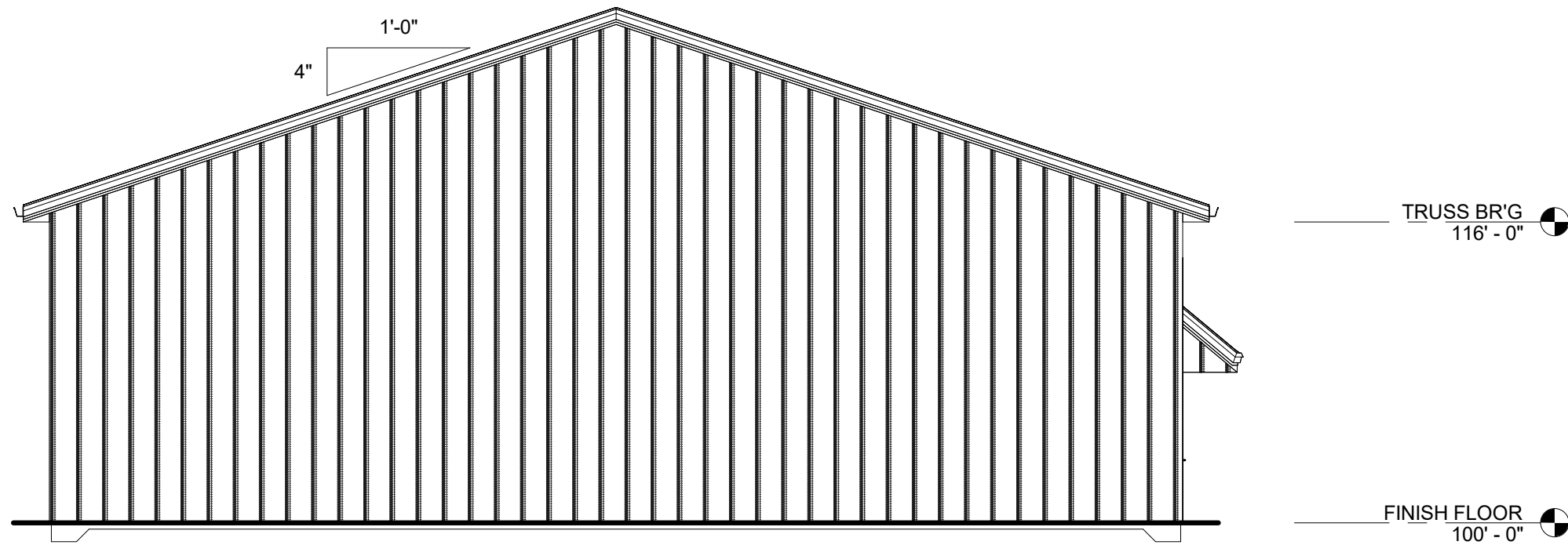
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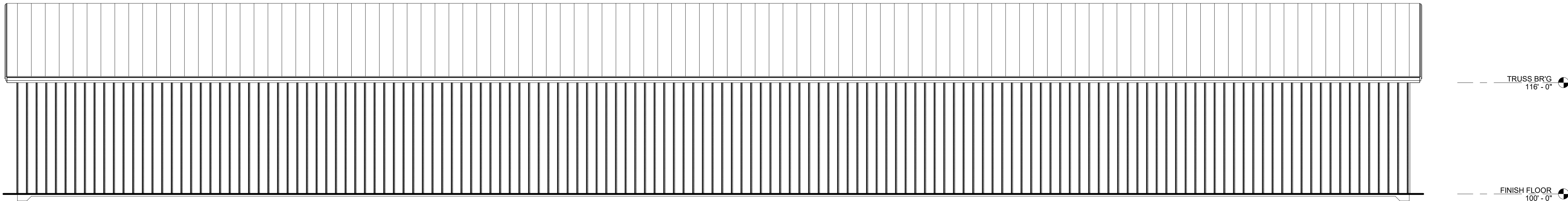
DESIGN & BUILD GENERAL CONTRACTOR

**BUILDING ELEVATION - WEST**

1 /A2.0 SCALE = 1/8" = 1'-0"

**BUILDING ELEVATION - EAST**

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**BUILDING ELEVATION - SOUTH**

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**BUILDING ELEVATION - NORTH**

4 /A2.0 SCALE = 1/8" = 1'-0"

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ELEVATION - EXTERIOR

A2.0



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

2/6/2023
DRIESSEN, CRAIG
Doc ID: 3425820230206053608

Elevations & Floor Plan

Customer Information

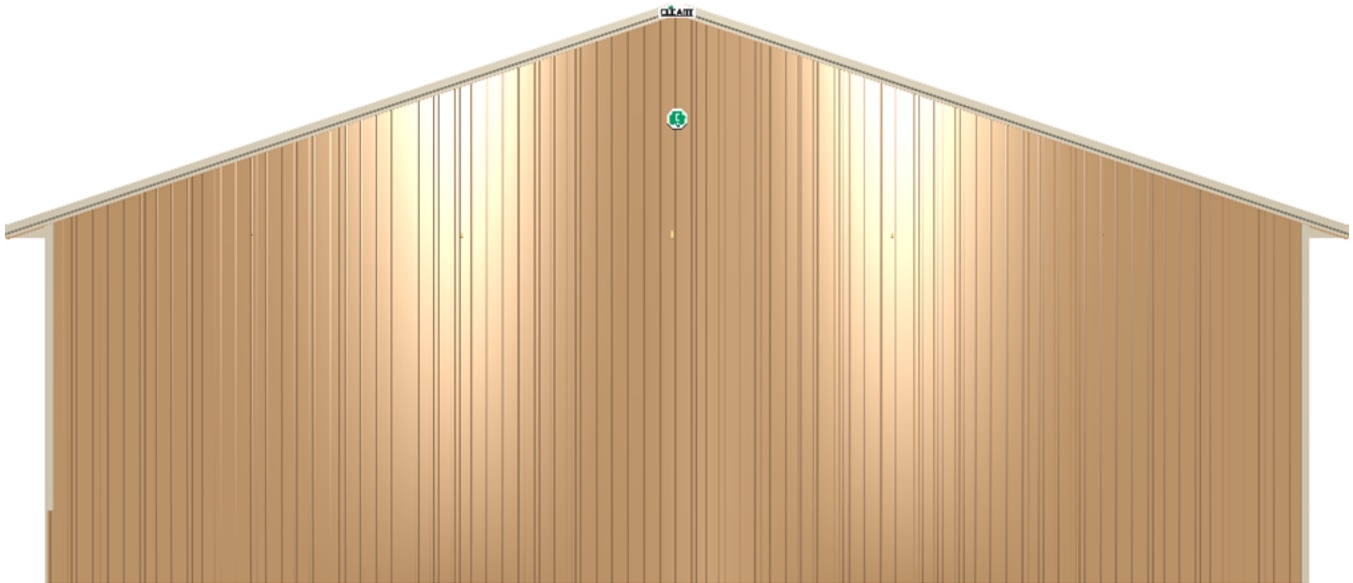
Building Specification For:

DRIESSEN, CRAIG
DIDN'T PROVIDE
APPLETON, WISCONSIN 54915
Cell Phone: (920) 376-2935
Email: craig@midwestworkwear.com

Building Site Location:

Location: N/A
Tenant: N/A
CTY J AND CTY JJ
APPLETON, WISCONSIN 54915
County: OUTAGAMIE

Elevations for Building 1



East End Wall 1 on Building 1

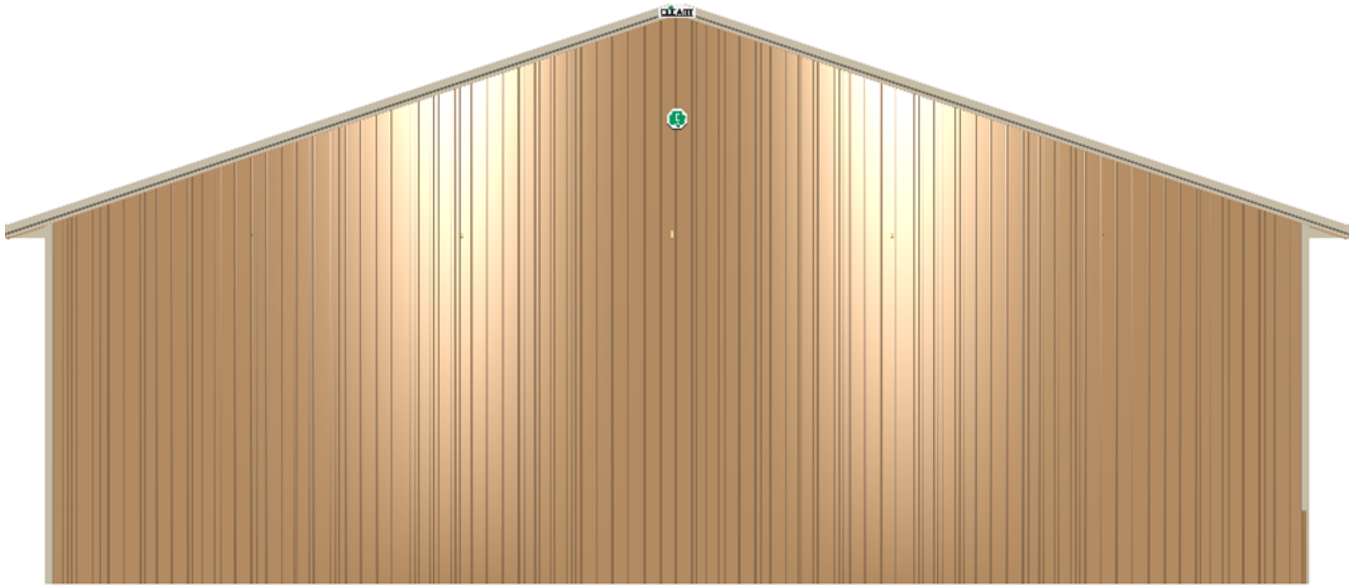
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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2/6/2023
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Elevations & Floor Plan



West End Wall 2 on Building 1

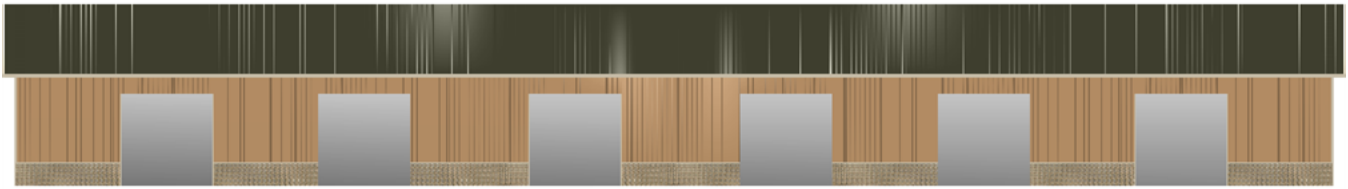
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Elevations & Floor Plan



South Side Wall 1 on Building 1

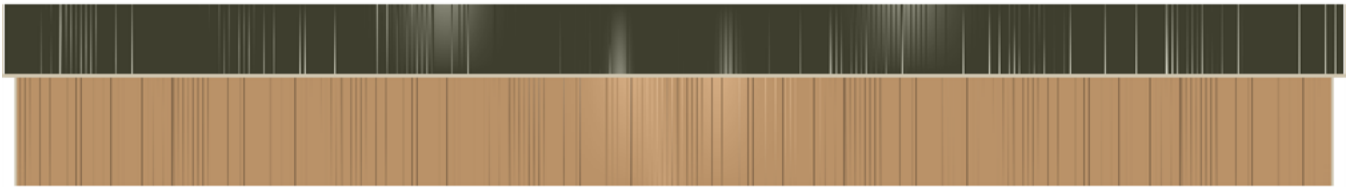
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Elevations & Floor Plan



North Side Wall 2 on Building 1

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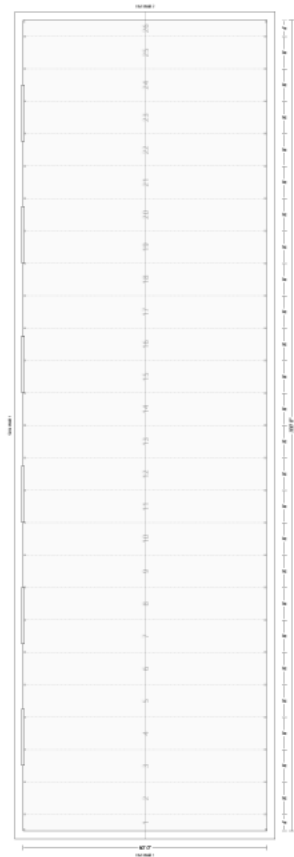


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Elevations & Floor Plan

Floor Plan



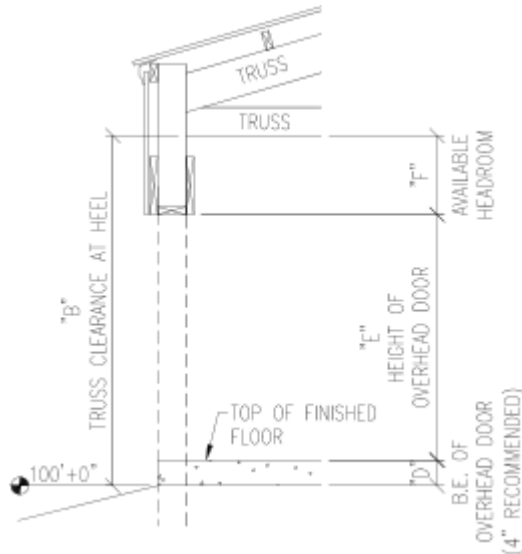


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Elevations & Floor Plan

Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door:

0' 0"

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door:

14' 0"

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom:

1' 11"

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

$$("B") - ("D") - ("E") = ("F")$$

$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

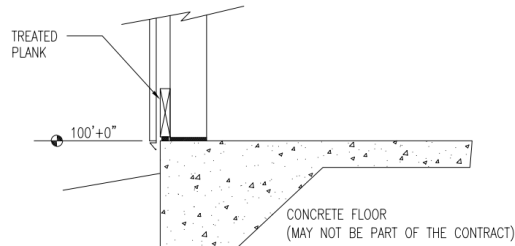


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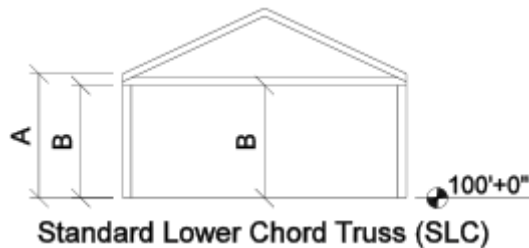
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Elevations & Floor Plan

Truss Type



Note: Clearance may be reduced by finished floor height.



Roof Pitch:	4/12
Roof Peak Height:	27' 8"
"A" = Actual Eave Height:	17' 8"
"B" = Truss clearance at heel and center:	16' 0"
(Truss clearance = 1'-0" less than nominal eave height, in most cases. If nested purlins are used, truss clearance will be increased by 4".)	



CITY OF KAUKAUNA BOARD OF ZONING APPEALS

APPLICATION FOR VARIANCE

Complete this application if you are seeking a variance from the Municipal Zoning Code. Please note that a hardship must be demonstrated for variance requests to be considered.

Parcel Information: Parcel # 322112900 and Parcel # 322112800

Address of Affected Parcel: No address issued.

Property Owner: Straightline Refrigeration

Property Owner Address: 1925 W Packard ST Appleton, WI 54914

Phone Number: 920-737-8119

Email Address: nluedtke@straightlinerefrigeration.com

Please explain your proposed plans and why you are requesting a variance:

Straightline Refrigeration is looking to build 32,000 Sq Ft of shop space/office. We have issues with layout of our shop on the property because of floodway and wetlands. We would like a variance of 20' from Electric City BLVD curb.

Describe how the variance would not have a negative effect on surrounding properties.

There would be no negative affect to the surrounding properties.

Describe any special circumstances that apply to your lot or structure: We have wetland issues because the property was not properly finished after dumping was completed.

Describe the hardship that would result if your variance was denied: We would be unable to build our shop to the desired size to maximize workload.

Additional Requirements: A site plan must be submitted with this application, showing the entire affected parcel, all structures, lot lines, and streets with distances to each. The site plan may be hand drawn. If you would like to request an aerial photo map of your property to use in drawing your site plan, please request one by emailing us at planning@kaukauna-wi.org. We do our best to accommodate site plan requests within two business days.

Fees: There is a \$100 variance application fee, which must be submitted with this application. Payments should be made payable to City of Kaukauna.

Please submit this application and your site plan by email to planning@kaukauna-wi.org or by mail to City of Kaukauna, Attn: Board of Zoning Appeals, P.O. Box 890, Kaukauna, WI 54130

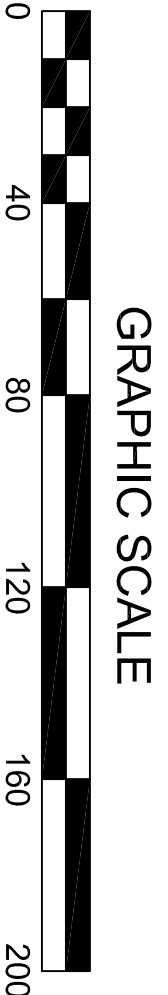
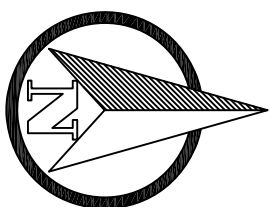
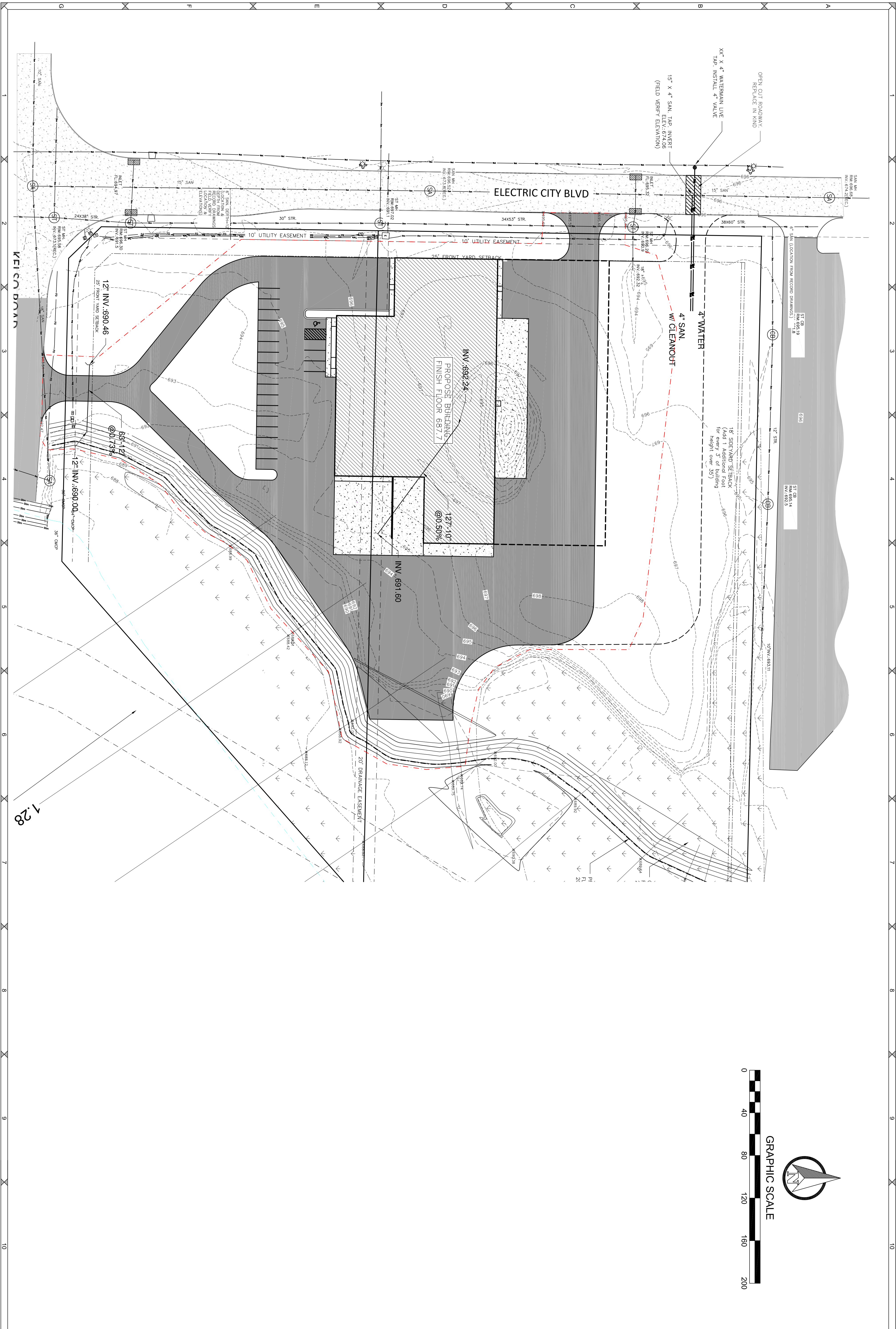


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Number	Date	Comments		
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Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

GRADING & SITE UTILITY PLAN
ELECTRIC CITY HOLDINGS, LLC

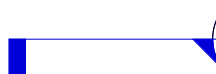
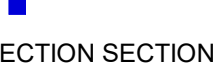
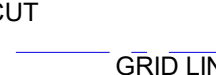
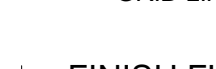











PROJECT NO.
E-8421
SHEET NO.
C5.0
DRAWING NO.
S-



[illegible]

Sheet List	
TS	TITLE SHEET
C1	SITE PLAN
LS1.1	LIFE SAFETY PLAN
A1.1	FLOOR PLAN
A1.2	2ND FLOOR PLAN
A3	NORTH & SOUTH ELEVATIONS
A3.1	EAST & WEST ELEVATION
A3.2	EXTERIOR RENDERS
A3.3	EXTERIOR RENDERS
S1	FOUNDATION PLAN

SYMBOLS

	DETAIL NUMBER
	SHEET SECTION IS LOCATED ON
	DIRECTION SECTION IS CUT
	GRID LINE
	GRID LINE DESIGNATION
	FINISH FLOOR
	ELEV. 100'-0"
	ROOM NAME AND NUMBER
	ROOM NAME AND NUMBER
	DOOR TAG
	WINDOW TAG
	ELEVATION NUMBER
	SHEET ELEVATION IS LOCATED ON
	DETAIL NUMBER
	SHEET DETAIL IS LOCATED ON

PLAN DEVELOPMENT LOG		
SET DESCRIPTION	DATE	PAGES INVOLVED WITH SET
PLAN DEVELOPMENT SET #1	4/6/23	TS, CQ, LS1.1, A1.1, A1.2, A3, A3.1, A3.2, A3.3, S1



SITE NOTES

1.

ADDRESS: ELECTRIC CITY BOULEVARD, KAUKAUNA, WI 54130

2.

PARCEL NUMBERS: 2-1128 (322112800) & 2-1129 (322112900)

3.

PARCEL AREA:

A. 2-1128 (NORTH LOT): 6.59 ACRES

B. 2-1129 (SOUTH LOT): 3.13 ACRES

C. TOTAL: 9.72 ACRES (423,557 S.F.)

4.

LEGAL DESCRIPTION:

A. 2-1128: CSM 6242 LOT 2 (PLATTED OUT OF PRT LOT 12 PROSPERITY CENTER SEC7-21-19) 6.59AC M/L #1709791 THRU #1709794

B. 2-1129: NEW PROSPERITY CENTER LOT 13 #1709791 THRU #1709794

5.

MUNICIPALITY: CITY OF KAUKAUNA

6.

ZONED: INDUSTRIAL

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
METAL BUILDINGS
ESTABLISHED 1976

1-920-833-6465
SCHUHCONSTRUCTION.COM

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03/09/23

Revision History

Revision Number	Revision Date
1	03/22/23

PROJECT:
**STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP**
Kaukauna, WI 54130

PROJECT NO.:

SHEET NO.:
C1

18

SITE PLAN

CODE REVIEW

1.) FACILITY INFORMATION

- A. NAME OF DEVELOPMENT: OFFICE & FABRICATION SHOP
B. DEVELOPER

2.) PROJECT TEAM

- A. ENGINEER OF RECORD
• JAY MCKEEFRY
B. PROJECT MANAGER
•
C. CIVIL ENGINEER
• MAU
D. MECHANICAL/ELECTRICAL/PLUMBING ENGINEER

3.) APPLICABLE BUILDING CODES

- A. 2015 INTERNATIONAL BUILDING CODE (IBC)
B. 2015 INTERNATIONAL FIRE CODE (IFC)
C. 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (COMMERCIAL PROVISIONS)
D. 2015 INTERNATIONAL MECHANICAL CODE (IMC)
E. 2015 INTERNATIONAL PLUMBING CODE (IPC)

4.) DESCRIPTION OF WORK

THE PROJECT REPRESENTS THE NEW CONSTRUCTION OF A FABRICATION SHOP WITH A SUPPORTING OFFICE. THE STRUCTURE, EXTERIOR WALLS, ROOF, AND INTERIOR PARTITIONS TO BE NEW, NON-COMBUSTIBLE CONSTRUCTION WITH COMMERCIAL GRADE ARCHITECTURAL FINISHES.

5.) FACILITY AREA, HEIGHT, AND NUMBER OF STORIES

- A. THE BUILDING IS APPROXIMATELY 32,012 SF ON AN EXISTING LOT.
B. THE BUILDING HEIGHT IS EXISTING, APPROXIMATELY 45'-0" TO TOP OF HIGHEST POINT
C. THE FACILITY IS A 2 STORY FACILITY. BUILT ON FROST WALLS AND FOOTINGS.
D. THERE IS NO BASEMENT OR CRAWLSPACE UNDER THE LOWERMOST STORY (SLAB CONSTRUCTION) OR OCCUPIED ATTIC.

6.) TYPE OF CONSTRUCTION: TYPE IIB

- A. NEW EXTERIOR WALLS WILL BE STEEL GIRTS/INSULATED METAL WALL PANEL (IMP).
B. INTERIOR WALLS ARE TYPICALLY METAL STUDS COVERED WITH PRE-ENGINEERED PANEL OR DRYWALL. (FIRE RATED WHERE REQUIRED)

7.) OCCUPANCY USE-GROUP CLASSIFICATIONS

- A. B (BUSINESS)
B. F-2 (FACTORY)
C. S-1 (STORAGE)

8.) FIRE PROTECTION FEATURES

- A. THE BUILDING IS NOT SPRINKLERED WITH REQUIRED SENSORS AND SMOKE DETECTORS PER NFPA-13 (IBC 903.2.9, 903.3, (MECHANICAL SMOKE OR VENT 910.2.1)
B. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UN-SWITCHED CIRCUIT AND BE PROVIDED VIA POWER SOURCE BACKUP.
C. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UN-SWITCHED CIRCUIT WIEMERGENCY BACKUP POWER.
D. PER TABLE 906.3 (1) IN THE IBC 2015, MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".

9.) LIFE SAFETY PLAN

- A. FLOOR PLAN, TRAVEL DISTANCE, ACCESSIBLE ROUTE (SEE LIFE SAFETY PLAN)
B. DISTANCE TO PROPERTY LINES, STREETS, BUILDINGS ON SAME SITE (SEE SHEET C1 SITE PLAN)
C. EXTERIOR EXIT DOORS AT EACH ACCESSIBLE PATH EGRESS EXIT
D. EXIT SIGNAGE LOCATION AND TYPES (SEE ELECTRICAL CONSULTANT SUBMISSION)
• PER SECTION 1013 EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100'-0" OR THE LISTED VIEWING DISTANCE FROM THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
E. NUMBER OF OCCUPANTS USING EXIT AND EXIT WIDTH
• 0.20 INCHES/OCC (PER 1005.3.2 2015 IBC)
• FL 1 = 220 OCC. TOTAL WIDTH REQ. = 44" IN
• FL 1 PROVIDED EXIT WIDTH = 5 EGRESS DOORS ON ACCESSIBLE ROUTE (EST. 32" IN. CLEAR EACH) WIDTH = EST. 160 IN.
F. EMERGENCY LIGHTING LOCATIONS (SEE ELECTRICAL CONSULTANT SUBMISSION)
G. FIRE DEPARTMENT CONNECTIONS AND CONTROL PANEL LOCATIONS (SEE MEP CONSULTANT SUBMISSION)
H. ACCESSIBLE ENTRANCES AND EXITS (SEE PLAN)
I. ELEVATOR (N/A)
J. AREAS OF REFUGE (1)

BUILDING CODE REQUIREMENTS - IBC 2015

BUILDING TYPE / SIZE REQUIREMENTS

BUILDING OCCUPANCY CHAPTER 3 = (F-2) FACTORY
(S-1) STORAGE
(B) BUSINESS
CLASS OF CONSTRUCTION = IIB NONCOMBUSTIBLE MATERIALS

BUILDING HEIGHT LIMITATIONS

BUILDING HEIGHT O.K. (55' ALLOWABLE)

BUILDING AREA LIMITATIONS

SEE PLAN VIEW FOR ALLOWABLE BUILDING AREA CALCULATIONS

FIRE RESISTANCE CONSTRUCTION

GREATER THAN 30'-0" FIRE SEPARATION DISTANCE
NO EXTERIOR WALL RATING REQUIRED

EGRESS LIGHTING

EXIT LIGHTS REQUIRED PER 1008.1
MEANS OF EGRESS ILLUMINATION TO BE PROVIDED PER 1008.2.1
= MIN 1 FOOT CANDLE AVE
EMERGENCY POWER SHALL BE PROVIDED PER 1008.3

BUILDING ACCESS / EGRESS INFORMATION

(F-2) OCCUPANTS BASED ON AREA = 224 OCCUPANTS
(B) OCCUPANTS BASED ON AREA = 40 OCCUPANTS
(S-1) OCCUPANTS BASED ON AREA = 17 OCCUPANTS

SANITARY FACILITIES - PER OCCUPANCY

(B) - (40 OCCUPANTS) 1 PER 25 OCCUPANTS = 0.8 MEN / 0.8 WOMEN
(F-2) - (224 OCCUPANTS) 1 PER 100 OCCUPANTS = 1.2 MEN / 1.2 WOMEN
(S-1) - (17 OCCUPANTS) 1 PER 100 OCCUPANTS = 0.2 MEN / 0.2 WOMEN
(3) FIXTURES REQUIRED MEN / (4) FIXTURES PROVIDED
(3) FIXTURES REQUIRED WOMEN / (3) FIXTURES PROVIDED
(2) DRINKING FOUNTAINS W/ BOTTLE FILLERS PROVIDED

FIRE EXTINGUISHERS

TYPE OF BUILDING HAZARD - MODERATE
TYPE OF EXTINGUISHER REQUIRED - ABC
MAXIMUM TRAVEL DISTANCE - 75'
NUMBER OF EXTINGUISHERS REQUIRED (8) LOCATION TO BE VERIFIED AT TIME OF INSTALLATION

ACCESSIBILITY

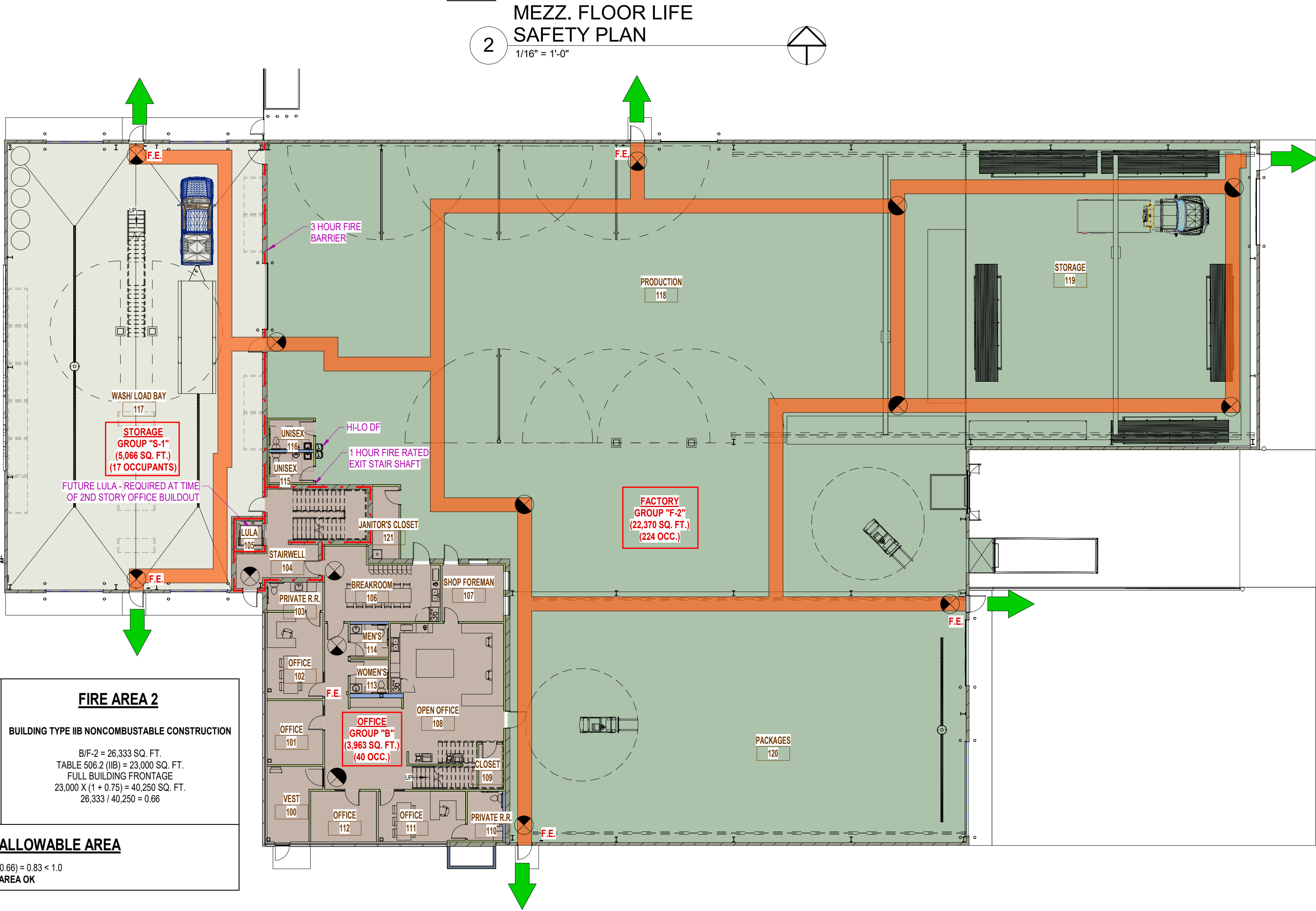
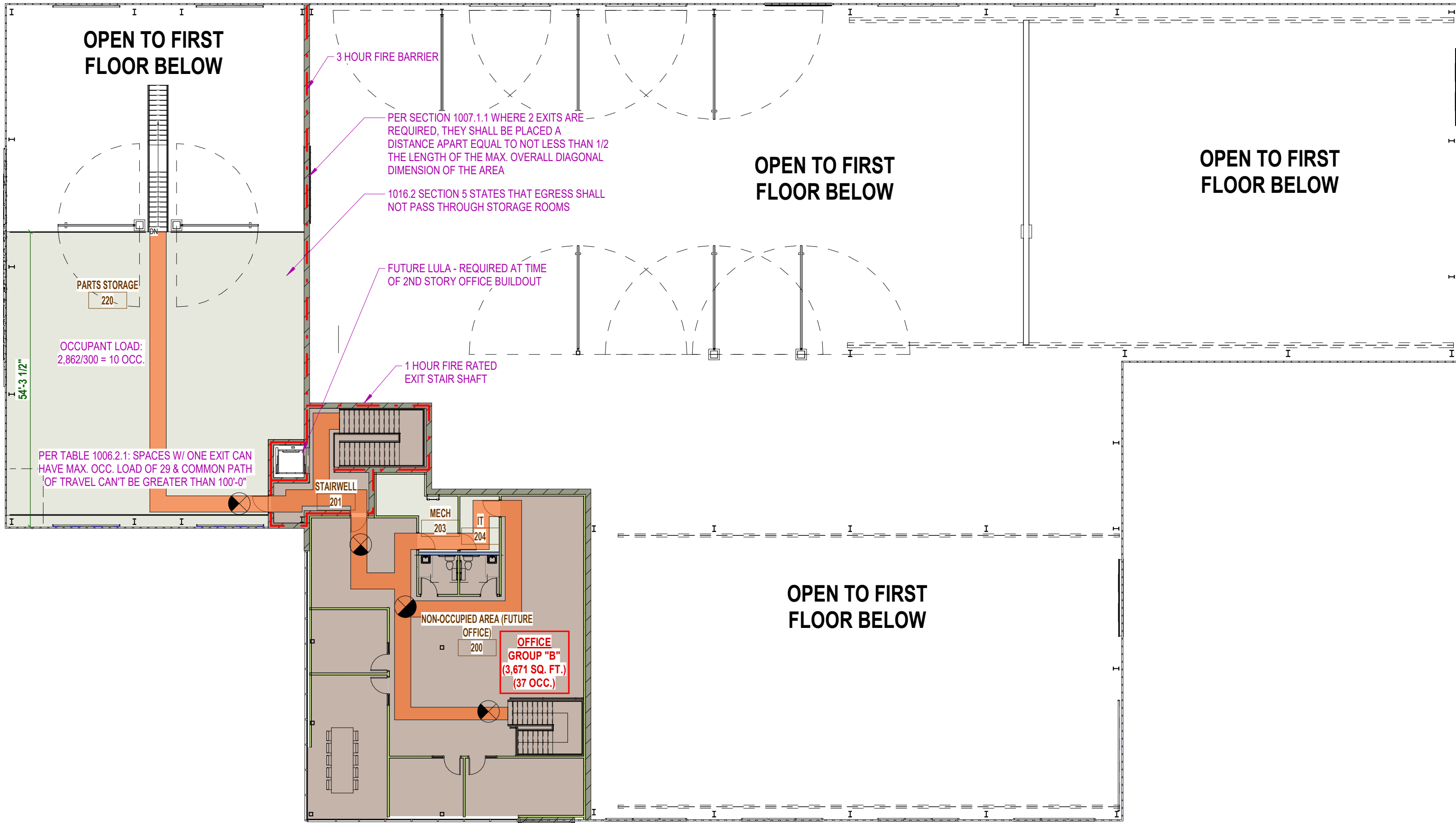
PER 1109 (13)(A) CONTROLS, OPERATING MECHANISMS AND HARDWARE INTENDED FOR OPERATION BY THE OCCUPANT, INCLUDING SWITCHES THAT CONTROL LIGHTING AND VENTILATION, AND ELECTRICAL CONVENIENCE OUTLETS, IN ACCESSIBLE SPACES SHALL BE ACCESSIBLE IN COMPLIANCE WITH ICC / ANSI A117.1

SYMBOLS LEGEND

EXIT	EXIT LIGHT	B
F.E.	FIRE EXTINGUISHER - XXX TOTAL	F-2
	ACCESSIBLE ROUTE	S-1

OCCUPANCY LEGEND

FIRE AREA 1	FIRE AREA 2
BUILDING TYPE IIB NONCOMBUSTABLE CONSTRUCTION (TOTAL SQ. FT. = 32,012 SQ. FT.) S-1 - STORAGE (5,066 SQ. FT.) TABLE 506.2 (1B) = 17,500 SQ. FT. FULL BUILDING FRONTAGE 17,500 X (1 + 0.75) = 30,625 SQ. FT. 5,066 / 30,625 = 0.17	BUILDING TYPE IIB NONCOMBUSTABLE CONSTRUCTION B/F-2 = 26,333 SQ. FT. TABLE 506.2 (1B) = 23,000 SQ. FT. FULL BUILDING FRONTAGE 23,000 X (1 + 0.75) = 40,250 SQ. FT. 26,333 / 40,250 = 0.66
CHECK BUILDING ALLOWABLE AREA S-1 (0.17) + B/F-2 (0.66) = 0.83 < 1.0 BUILDING AREA OK	



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PROJECT:
STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP

PROJECT NO.:

SHEET NO.:
LS1.1

Kaukauna, WI 54130



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OFFICE & FABRICATION SHOP

Kaukauna, WI 54130

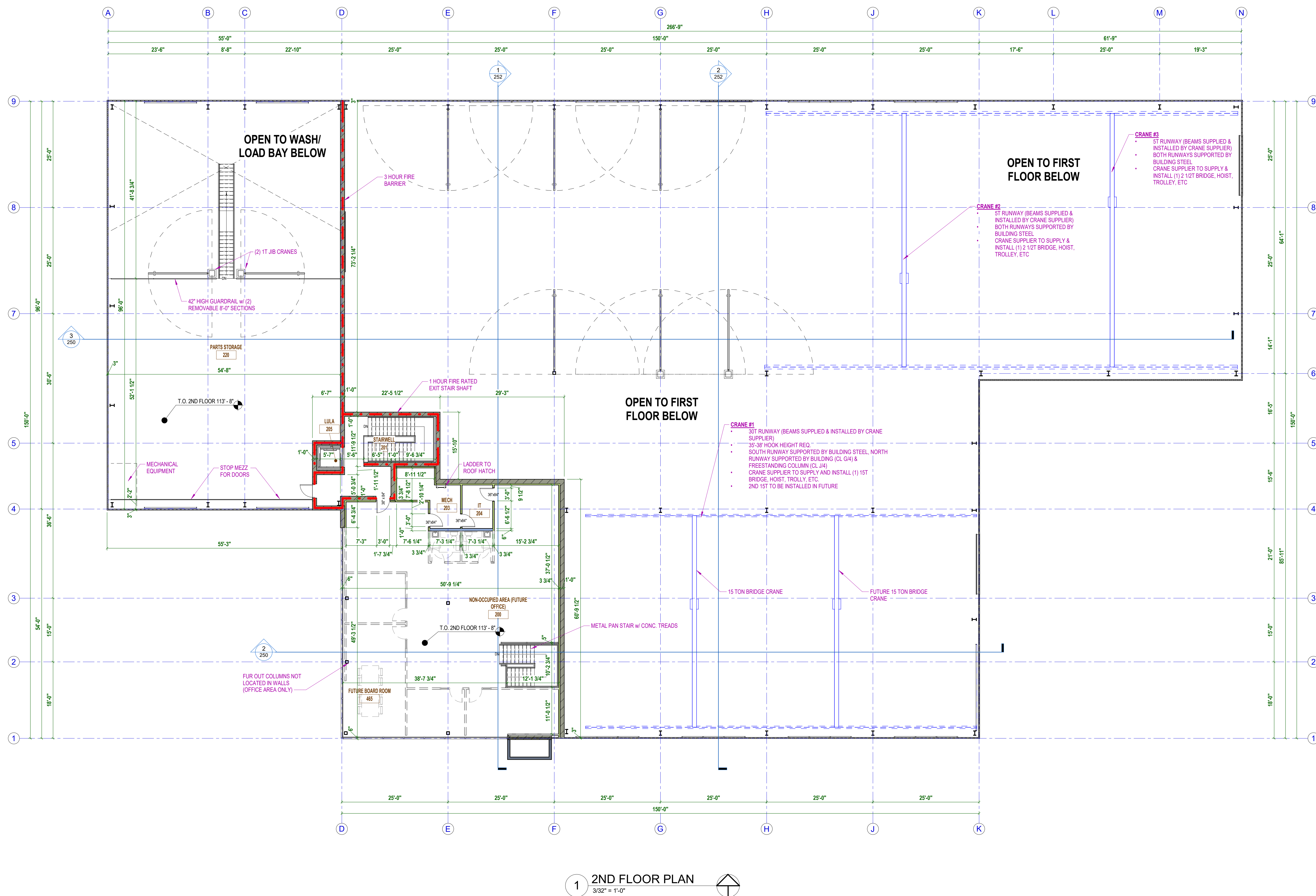
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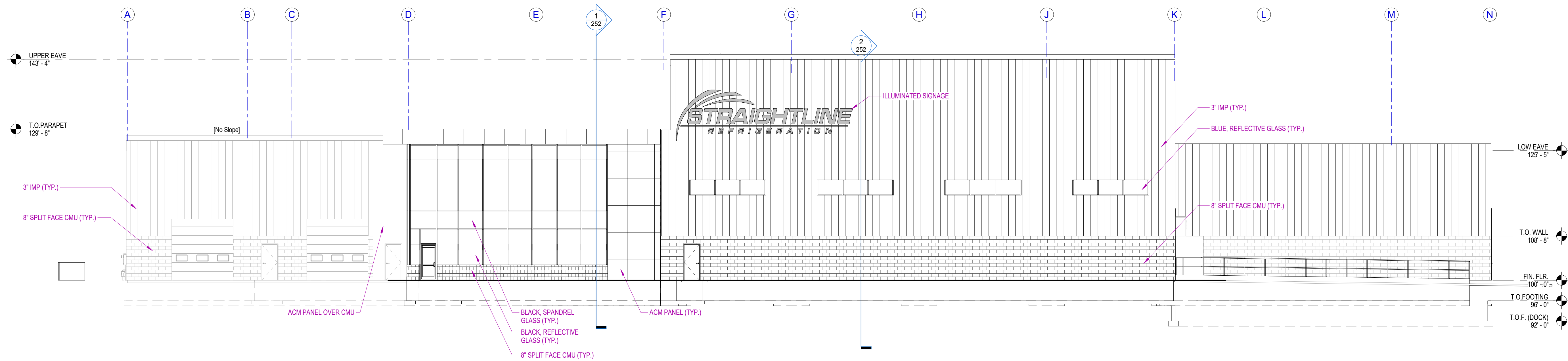
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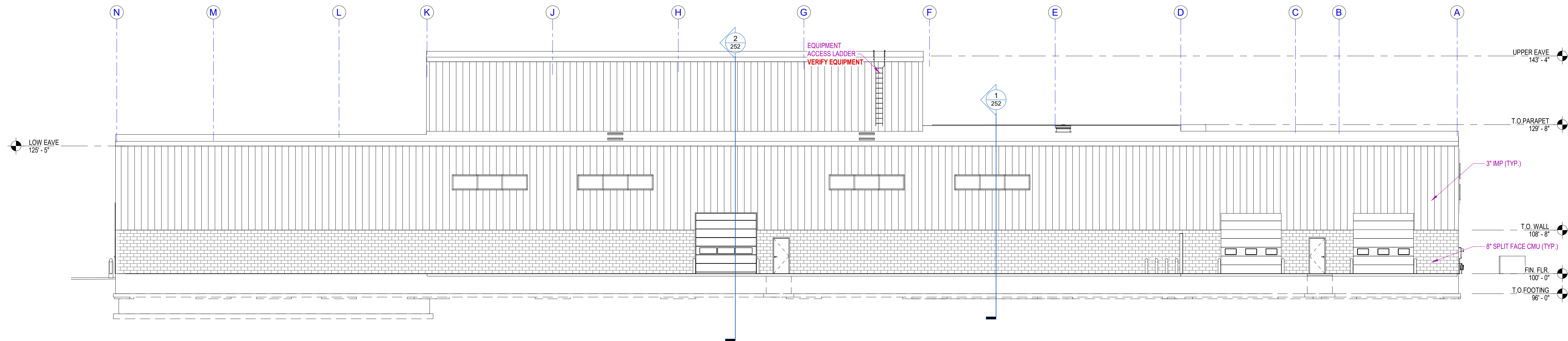
A1.2

21
ND FLOOR PLAN





1 SOUTH ELEVATION
3/32" = 1'-0"



2 NORTH ELEVATION
3/32" = 1'-0"

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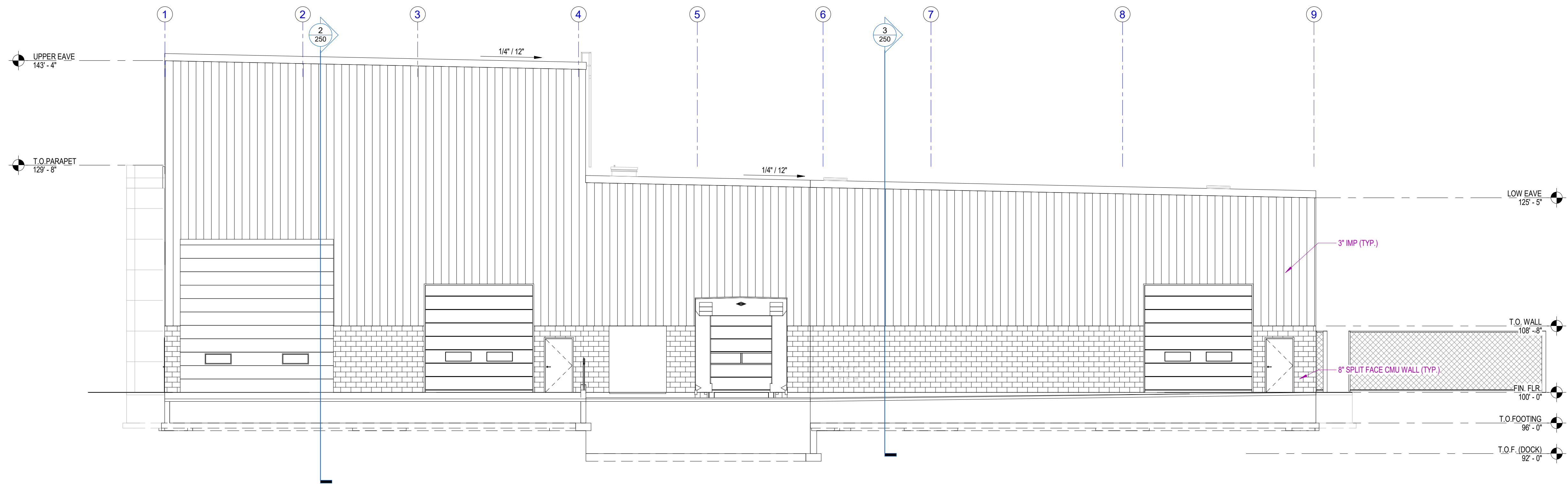
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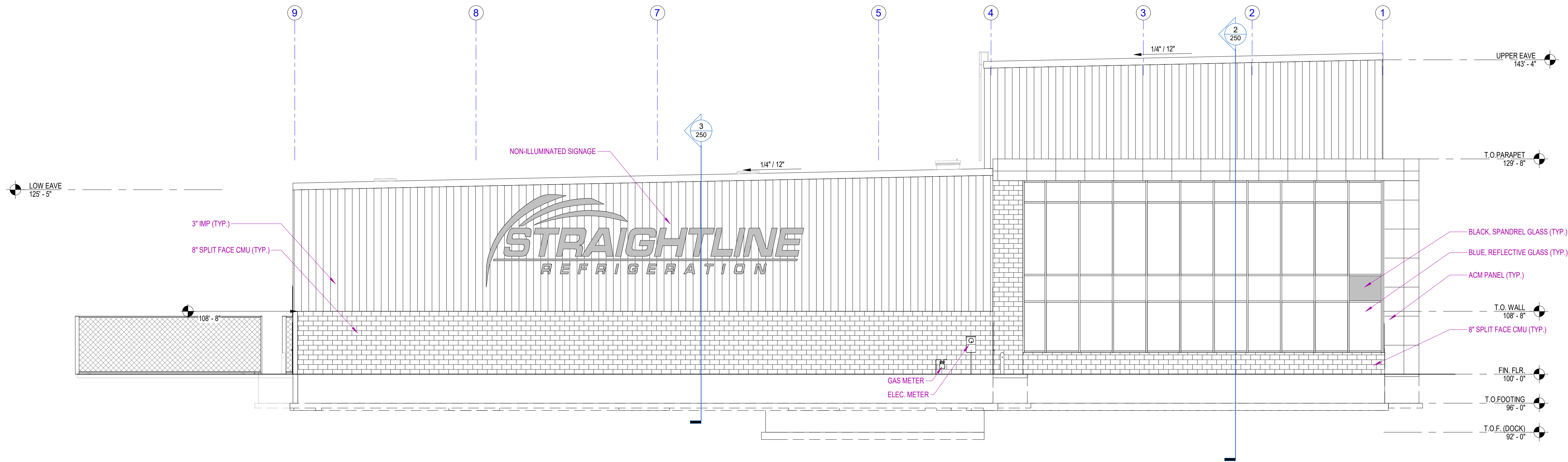
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A3



1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

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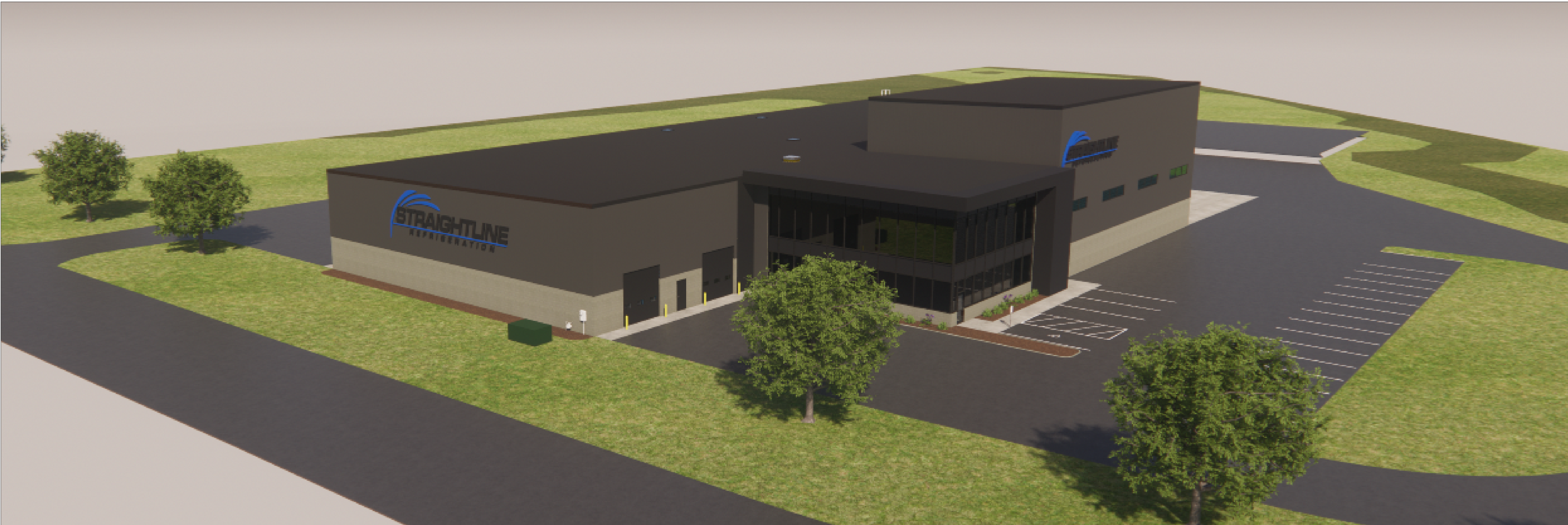
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Kaukauna, WI 54130

PROJECT NO.:

SHEET NO.:

A3.1



1 SW RENDER
1/16" = 1'-0"



2 SE RENDER
1/16" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION

STRAIGHTLINE
REFRIGERATION

CONSTRUCTION, INC.

7920.833.6465

Butler
METAL BUILDINGS

Established 1976

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PROJECT NO.:

SHEET NO.:

A3.2

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EXTERIOR RENDERS

24



1 NE RENDER
1/16" = 1'-0"



2 NW RENDER
1/16" = 1'-0"

DESIGN / BUILD
GENERAL CONTRACTING
STEEL FABRICATION
Schuh
CONSTRUCTION, INC.
T.920.833.6465
SCHUHCONSTRUCTION.COM
Established 1976

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METAL BUILDINGS
Established 1976

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Kaukauna, WI 54130

PROJECT NO.:

SHEET NO.:

A3.3

Item 2 of 2

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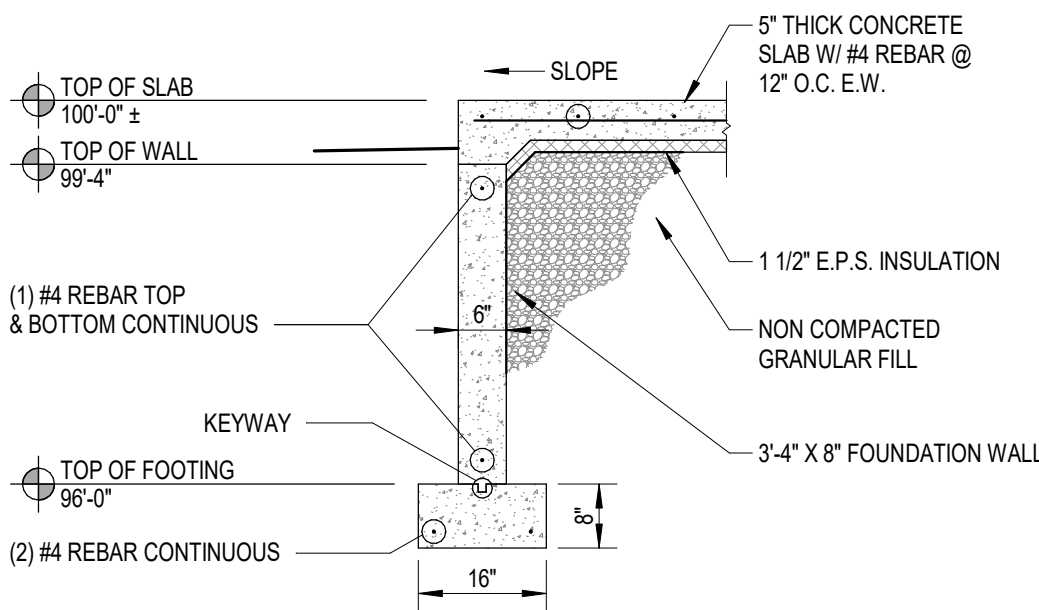
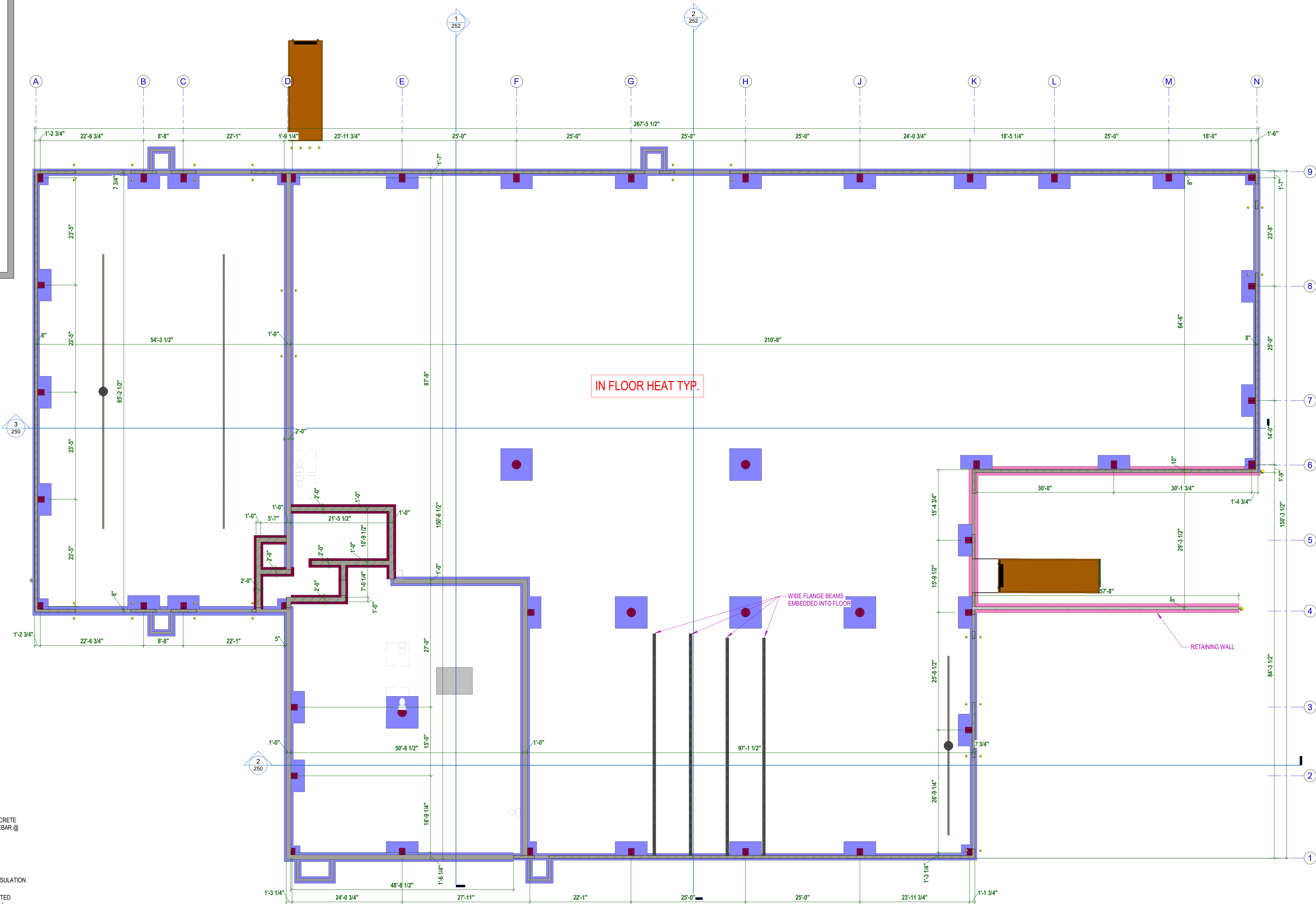
EXTERIOR RENDERS

CONSTRUCTION NOTES

- ALL CONC. SHALL BE PLACED IN ACCORDANCE W/ CURRENT PUBLICATIONS OF THE PORTLAND CEMENT ASSOCIATION.
- BEND ALL REINFORCING RODS AROUND ALL CORNERS AND INTO ALL INTERSECTING WALLS.
- COORDINATE W/ ALL OTHER TRADES FOR THE INSTALLATION OF ALL ANCHORS, SLEEVES, HANGERS, INSERTS OPENINGS & ETC.
- REINFORCING STEEL SHALL BE ATSM-615 GRADE 60.
- FABRICATION SHALL BE WITHIN CURRENT SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
- COORDINATE W/ ALL OTHER TRADES LOCATIONS & SIZE OF ALL OPENINGS IN FLOORS, WALLS, CEILINGS, & ROOF, FOR MECH. EQUIP. & ETC.
- STRUCTURAL STEEL SHALL BE ATSM DES. A36 IN ACCORDANCE W/ SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL.
- ALL BOLTS SHALL BE HIGH-STRENGTH ATSM DES. A325F.
- ALL WELDS SHALL BE FULL.
- ALL STEEL SHALL BE CLEAN, NEW, AND SHOP PRIMED.
- ALL STEEL SHALL BE ERECTED TRUE AND PLUMB.
- VERIFY ALL EXISTING CONDITIONS ON JOB SITE BEFORE CONSTRUCTION.
- ALL BUILDING MATERIALS SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER RECOMMENDATIONS & SPECIFICATIONS.
- CAULK ALL LOCATIONS WHERE DISSIMILAR MATERIALS MEET.
- CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION & NOTIFY ARCHITECT & OWNER OF ANY INTERFERENCES.
- CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES, & SAFETY EQUIP. & PRECAUTIONS REQUIRED BY ALL CODES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.

FOOTING & PIER SCHEDULE

MK	SIZE	REINFORCING	REMARKS
F-1	16"x8"	(2) #4 CONT.	
F-3	24"x12"	(2) #5 CONT.	



6" STOOP WALL (TYP.)

1/2" = 1'-0"

IN FLOOR HEAT TYP.

WIDE FLANGE BEAMS
EMBEDDED INTO FLOOR

RETAINING WALL

FOUNDATION PLAN

3/32" = 1'-0"

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STRAIGHTLINE REFRIGERATION
OFFICE & FABRICATION SHOP

PROJECT NO.:

SHEET NO.:

S1

Kaukauna, WI 54130