

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, January 04, 2024 at 4:00 PM

AGENDA

In-Person

1. Roll Call.
2. Approval of Minutes.
 - [a.](#) Approve Minutes from December 7, 2023 Meeting
3. New Business.
 - [a.](#) Site Plan Review - Haen Meats
 - [b.](#) Park Donation Review
4. Other Business.
5. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



PLAN COMMISSION

City of Kaukauna
Council Chambers
 Municipal Services Building
 144 W. Second Street, Kaukauna



Thursday, December 07, 2023 at 4:00 PM

MINUTES

Mayor Penterman called the meeting to order at 4:00 PM.

1. Roll Call.

Members present: Michael Avanzi via Phone, Giovanna Feller, John Moore, John Neumeier, Mayor Penterman, Pennie Thiele, Ken Schoenike

Other(s) present: Lily Paul – Associate Planner, Brad Rymer – Vierbicher

2. Approval of Minutes.

a. Approve Minutes from November 9, 2023 Meeting

Moore made a motion to approve the minutes from November 9, 2023. Feller seconded the motion. The motion passed unanimously.

3. New Business.

a. Site Plan Review - Enterprise Electric

AP Lily presented a new 9,600 sq ft building for Enterprise Electric on Driessen Drive. Parking and setback requirements in the Industrial Park Zoning Code and Industrial Park South Covenants are being met.

Schoenike made a motion to approve the site plan for Enterprise Electric with the following conditions:

- Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from Engineering Department
 - o Add inlet protection to existing inlet 1
- Update façade with a decorative masonry wainscoting
- Landscape plan is submitted showing one canopy tree and a screened dumpster enclosure
- Location is shown for snow removal/storage

Thiele seconded the motion. The motion passed unanimously.

b. Park Donation Application Review – Bench

Laura Comerford submitted a park donation request in honor/memory of her grandparents Vi and Ken Pomeroy. The proposed location of the bench is in Strassburg Park where Vi Pomeroy still lives next to. There have been requests to update the parks so staff should be aware of any updates to ensure the bench does not have to be relocated after installation.

Thiele made a motion to approve the bench donation for Laura Comerford in honor of Ken & Vi Pomeroy and direct staff to work with the donor to pick a precise location. Neumeier seconded the motion. The motion passed unanimously.

c. Certified Survey Map Review - Lot Split for Parcel 322095504

AP Lily presented a lot split CSM for the Legacy Creekside Apartments. The purpose of the split is for financing. The site is zoned Commercial Highway District and all lot widths and setbacks are being met with the split. Easements for ingress/egress, storm sewer, sanitary sewer and water main are shown.

Avanzi made a motion to approve the CSM Lot Split for parcel 322095504 and recommend the same to council with the following contingency:

- All other utility easements are accounted for

Feller seconded the motion. Avanzi, Feller, Moore, Penterman, Thiele and Schoenike voted aye. Neumeier voted nay. The motion passed 6-1.

4. Other Business.

There was no other business.

5. Adjourn.

Thiele made a motion to adjourn the meeting. Schoenike seconded the motion. The motion passed unanimously. Meeting adjourned at 4:18 PM.



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Associate Planner Lily Paul
Date: December 29, 2023
Re: Site Plan Review – Haen Meats Addition

Site Plan Review

Site/Architectural

The site plan features a 4,300 square foot, 21' 4" tall, addition which includes a shipping and receiving area, storage, and production areas. All setbacks are being met. Parking will decrease from 136 spots to 127 spots, but this still meets Commercial highway district requirements.

Façade

Concrete block to match existing.

Landscape

No additional landscape is required. Current landscape is shown on site plan.

Lighting

No additional lighting is proposed.

Stormwater/Erosion Control

Impervious surface coverage will not change. Erosion control permit has been applied for through the engineering department. Typical erosion control practices will be used: inlet covers, silt fences, erosion control mats, and energy dissipaters.

Recommendation:

Staff recommends to approve the site plan for Haen Meats with the following conditions:

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from Engineering Department**



SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: CWPS PROPERTIES, LLC	Name: MACH IV ENGINEERING & SURVEYING LLC
Mailing Address: W7358 SPENCER ROAD APPLETON, WI 54914	Mailing Address: 2260 SALSCHIEDER COURT GREEN BAY, WI 54313
Phone: (920) 766-3239	Phone: (920) 569-5765
Email: CLYDE@HAENMEATS.COM	Email: JEHRFURTH@MACH-IV.COM

PROPERTY INFORMATION	
Described the Proposed Project in Detail: 4,300 SF ADDITION INCLUDING A SHIPPING & RECEIVING AREA, STORAGE AND PRODUCTION AREAS	
Property Parcel (#): 323244100	
Site Address/Location: 600 W COUNTY ROAD KK	
Current Zoning and Use: CHD - COMMERCIAL HIGHWAY DISTRICT, MEAT PROCESSING	
Proposed Zoning and Use: CHD - COMMERCIAL HIGHWAY DISTRICT, MEAT PROCESSING	
Existing Gross Floor Area of Building: 32,684 SF	Proposed Gross Floor Area of Building: 37,001 SF
Existing Building Height: 21'-4"	Proposed Building Height: 21'-4"
Existing Number of Off-Street Parking Spaces: 136	Proposed Number of Off-Street Parking Spaces: 127
Existing Impervious Surface Coverage Percentage: 67.6%	Proposed Impervious Surface Coverage Percentage: 67.6%

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: JOEL EHRFURTH

Owner/Agent Name (printed): JOEL EHRFURTH

SITE PLAN REVIEW PROCEDURE

The Plan Review process is required for all new commercial, industrial or multifamily buildings, and building expansions/additions or structures.

Early in the process, consult the Site Application Checklist (below) for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

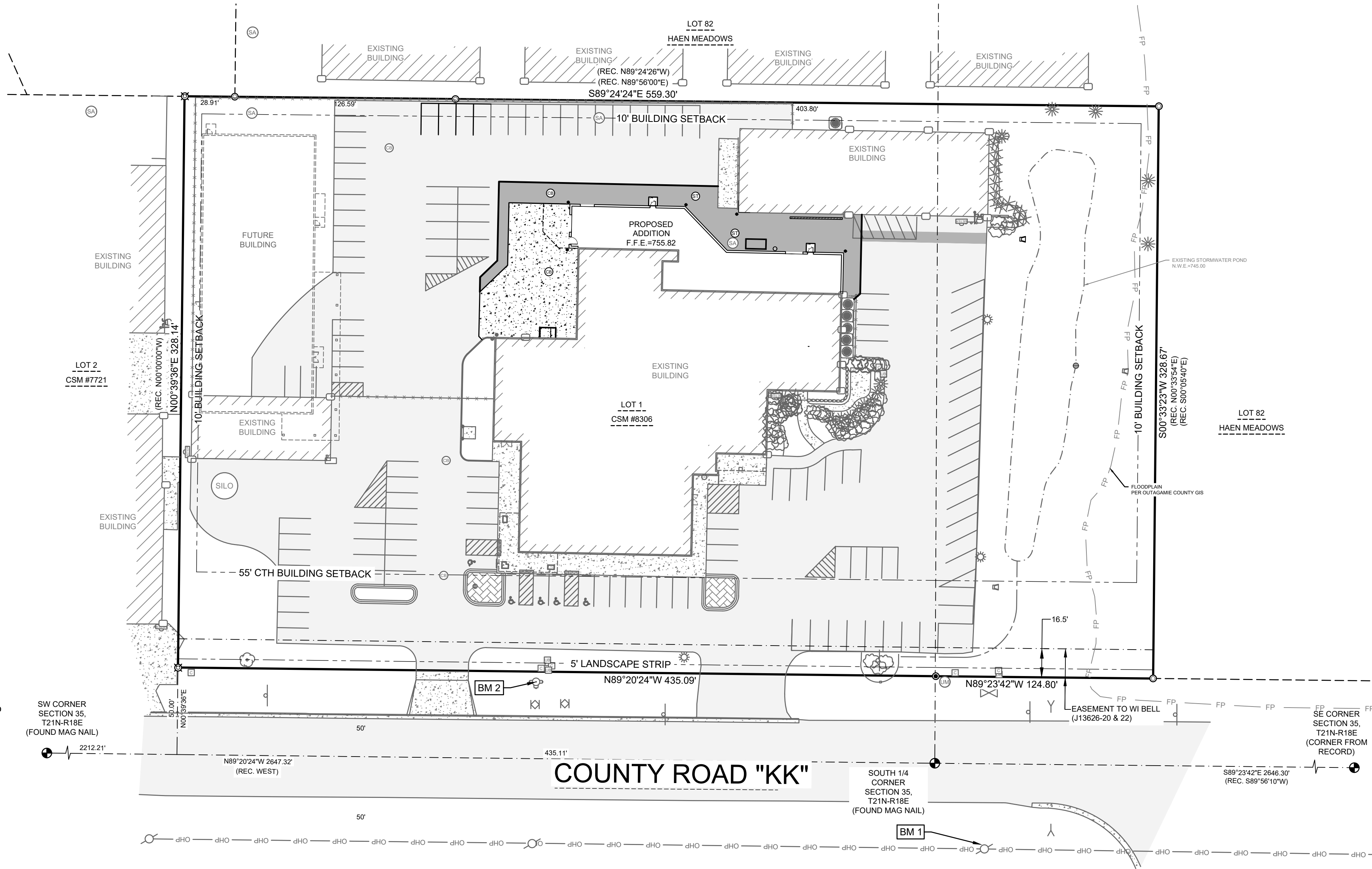
Completed Site Plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various City departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed Site Plan application
- ✓ Completed [Erosion Control and Stormwater Management Permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site Plan set to include:
 - Site Plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development

SITE PLAN SUBMISSION

1. Email to Lily Paul - lpaul@kaukauna-wi.org
2. In-person drop off - City of Kaukauna, Attn: Lily Paul, 144 W. 2nd Street, Kaukauna, WI 54130



CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB			
LIGHT POLE		BUILDING OVERHANG			
POWER POLE		UNDERGROUND CABLE			
GAS METER		OVERHEAD WIRE		ASPHALT	
GAS VALVE		UNDERGROUND ELECTRIC			
BOLLARD		GAS		CONCRETE	
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE		GRAVEL	
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE		LANDSCAPE WOOD MULCH	
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE		LANDSCAPE STONE MULCH	
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
EL	ELEVATION	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FFE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
FL	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	S.T.H.	STATE TRUNK HIGHWAY
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WI	WATER
MH	MANHOLE	WISCONSIN	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JULY 2021.
- SURVEY VERTICAL DATUM IS NAVD88.
- UTILITY LOCATES PER DIGGERS HOTLINE REQUEST.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEETS C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, (""), SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

COVER SHEET

LEGAL DESCRIPTION

PART OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511 (DOCUMENT #1185864) AND ALSO PART OF LOT 1 OF VOLUME 12, CERTIFIED SURVEY MAPS, PAGE 2320 (DOCUMENT #1165660), AND ALSO PART OF VOLUME 1, CERTIFIED SURVEY MAPS, PAGE 115 (DOCUMENT #1715161), AND ALSO PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, ALL LOCATED PART OF THE SOUTHEAST 1/4 OF SECTION 35, T21N-R18E, TOWN OF BUCHANAN, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 35, T21N-R18E; THENCE N89°20'24"W, 435.11 FEET ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE N00°39'36"E, 50.00 FEET TO THE NORTH RIGHT OF WAY OF C.T.H. KK AND THE POINT OF BEGINNING; THENCE CONTINUING N00°39'36"E, 328.14 FEET ALONG THE WEST LINE OF LOT 1 OF VOLUME 13, CERTIFIED SURVEY MAPS, PAGE 2511, OUTAGAMIE COUNTY RECORDS; THENCE S89°24'24"E, 559.30 FEET ALONG THE NORTH LINE OF SAID LOT AND ALSO A SOUTH LINE OF LOT 82 OF HAEN MEADOWS, RECORDED IN CABINET J, PAGES 29-31 (DOCUMENT #1636232), OUTAGAMIE COUNTY RECORDS; THENCE S00°33'23"W, 328.67 FEET TO SAID NORTH RIGHT OF WAY OF C.T.H. KK; THENCE N89°23'42"W, 124.80 FEET ALONG SAID RIGHT OF WAY; THENCE N89°20'24"W, 435.09 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

PARCEL CONTAINS 183,799 SQUARE FEET / 4.22 ACRES, MORE OR LESS.
PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



LOCATION MAP

600 WEST COUNTY ROAD KK
KAUKAUNA, WI 54130

CIVIL SHEETS INDEX

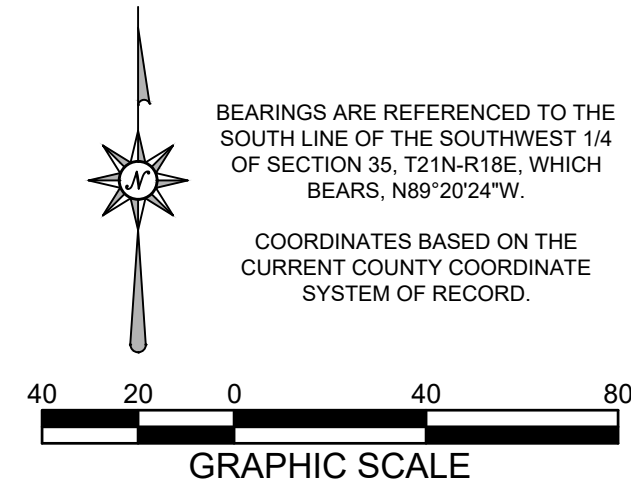
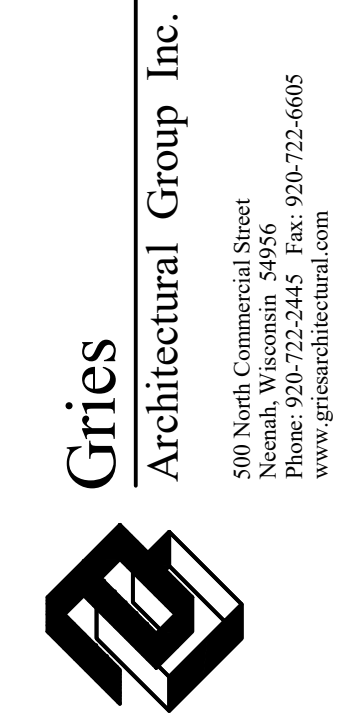
- C-0.1 COVER SHEET
- C-1.0 SITE DEMOLITION PLAN
- C-2.0 SITE PLAN
- C-3.0 UTILITY PLAN
- C-4.0 GRADING PLAN
- C-5.0 EROSION CONTROL PLAN
- C-5.1 EROSION CONTROL DETAILS
- C-6.0 SITE DETAILS

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA,
WISCONSIN

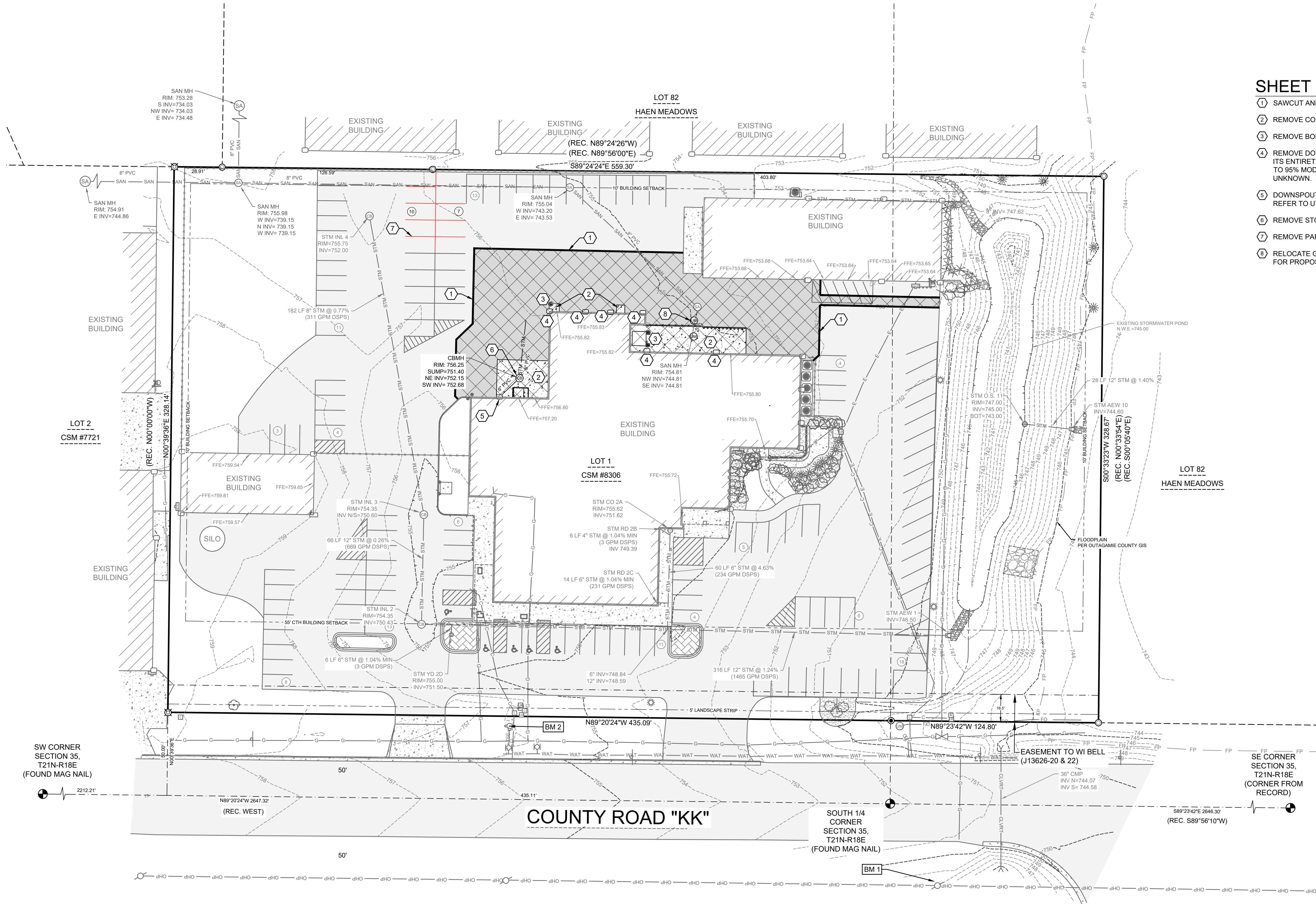
date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....
.....
.....

C-0.1

©Copyright: This Print Computer File
Is The Exclusive Property Of
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.



2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23



SITE DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 1	749.880	NAIL IN POWER POLE 45-C-5
BM 2	758.410	HYDRANT BURY BOLT

SHEET KEY NOTES:

- 1 SAWCUT AND REMOVE ASPHALT PAVEMENT WITHIN AREA SHOWN
- 2 REMOVE CONCRETE PAVEMENT
- 3 REMOVE BOLLARDS
- 4 REMOVE DOWNSPOUTS AND STORM SEWER WITH BUILDING FOOTPRINT IN ITS ENTIRETY. BACKFILL TRENCH WITH STRUCTURAL FILL AND COMPACT TO 95% MODIFIED PROCTOR. LOCATION OF EXISTING STORM SEWER UNKNOWN. FIELD VERIFY.
- 5 DOWNSPOUT TO REMAIN. RECONNECT TO PROPOSED STORM SEWER. REFER TO UTILITY PLAN SHEET C-3.0.
- 6 REMOVE STORM CATCH BASIN.
- 7 REMOVE PARKING STALL MARKINGS ON PAVEMENT TO REMAIN
- 8 RELOCATE GREASE INTERCEPTOR; REFER TO UTILITY PLAN SHEET C-3.0 FOR PROPOSED LOCATION.

Item 3.a.

Gries Architectural Group Inc.
980 North Commercial Street
Suite 200
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

©Copyright: This Print Computer File
Is The Exclusive Property Of
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....
.....

C-1.0

GRAPHIC SCALE
30 15 0 30 60

ENGINEERING • SURVEYING • ENVIRONMENTAL
2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23

SITE PLAN

OWNER

CWPS PROPERTIES LLC
W7358 SPENCER ROAD
APPLETON, WI 54914

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT PAVEMENT; SEE DETAIL A SHEET C-6.0
- ② CONCRETE PAVEMENT; SEE DETAIL B SHEET C-6.0
- ③ RAISED CONCRETE PAD; REFER TO GRADING PLAN C-4.0
- ④ STEEL RAILS, MATCH EXISTING
- ⑤ STOOP; REFER TO STRUCTURAL DRAWINGS
- ⑥ 4" WIDE PAINT STRIPE (WHITE)
- ⑦ RE-STRIPE PAINT MARKING REMOVED FROM DEMOLITION
- ⑧ BOLLARD; SEE DETAIL C SHEET C-6.0
- ⑨ BUILDING CANOPY; REFER TO ARCHITECTURAL PLANS

SITE STATISTICS

PARCEL ADDRESS:	600 WEST COUNTY ROAD KK
PARCEL NUMBER:	323244100
PARCEL SIZE:	183,799 SF (4.22 AC)
ZONING:	CHD - COMMERCIAL HIGHWAY DISTRICT
EXISTING SITE	
GREEN SPACE:	59,634 SF (32.4%)
IMPERVIOUS AREA	
BUILDINGS:	32,684 SF (17.8%)
PAVEMENT:	91,481 SF (49.8%)
TOTAL IMPERVIOUS:	124,165 SF (67.6%)
PROPOSED SITE	
TOTAL DISTURBED AREA:	12,534 SF (0.29 AC)
GREEN SPACE:	59,634 SF (32.4%)
IMPERVIOUS AREA	
BUILDING:	37,001 SF (20.1%)
PAVEMENT:	87,164 SF (47.5%)
TOTAL IMPERVIOUS:	124,165 SF (67.6%)
PARKING REQUIRED	1 PER 300 SF MAIN BUILDING= 27,220 SF/300 = 91 STALLS
PROVIDED	127 STALLS; 5 OF WHICH ARE ADA

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....

C-2.0

Gries
Architectural Group Inc.
400 North Commercial Street
Appleton, WI 54911
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

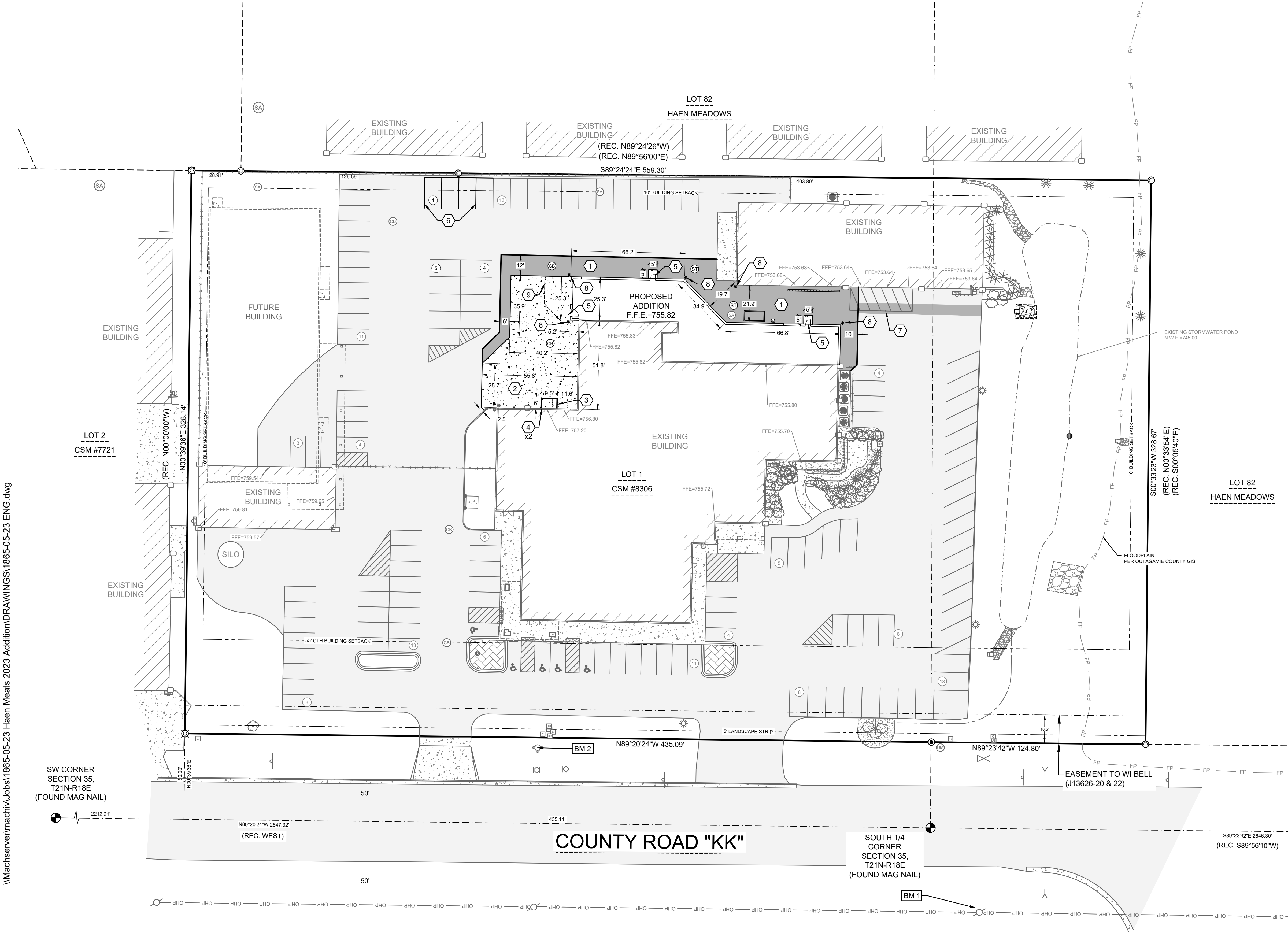
©Copyright: This Print Computer File
Is The Exclusive Property Of:
Gries Architectural Group, Inc.
Use Only For Purpose Which Lensed. Copying Or
Reproducing Is Prohibited. Return Upon Request.

Miron
Building Excellence

GRAPHIC SCALE

MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23



UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 1	749.880	NAIL IN POWER POLE 45-C-5
BM 2	758.410	HYDRANT BURY BOLT

SHEET KEY NOTES:

- ① RELOCATED GREASE INTERCEPTOR
- ② SANITARY CLEANOUT; SEE DETAIL D SHEET C-6.0
- ③ CONNECT EXISTING DOWNSPOUT
- ④ INTERIOR ROOF DRAIN CONNECTION, VERIFY LOCATION WITH ARCHITECTURAL PLANS
- ⑤ STORM INLET (3 FT DIA.); SEE DETAIL E SHEET C-6.0
- ⑥ STORM MANHOLE (3 FT DIA.); SEE DETAIL F SHEET C-6.0
- ⑦ STORM TRENCH DRAIN; NEENAH FOUNDRY 4996-A2 OR EQUIVALENT
- ⑧ STORM APRON END WALL W/ GRATE

UTILITY NOTES:

1. CONNECTIONS TO EXISTING UTILITIES SHALL BE FIELD VERIFIED (SIZE, ELEVATION AND LOCATION) PRIOR TO CONSTRUCTING ANY PROPOSED UTILITIES.
2. SANITARY LATERAL SHALL BE PVC SCH 40.
3. STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
4. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
5. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN



©Copyright: This Print Computer File
Is The Exclusive Property Of:
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.



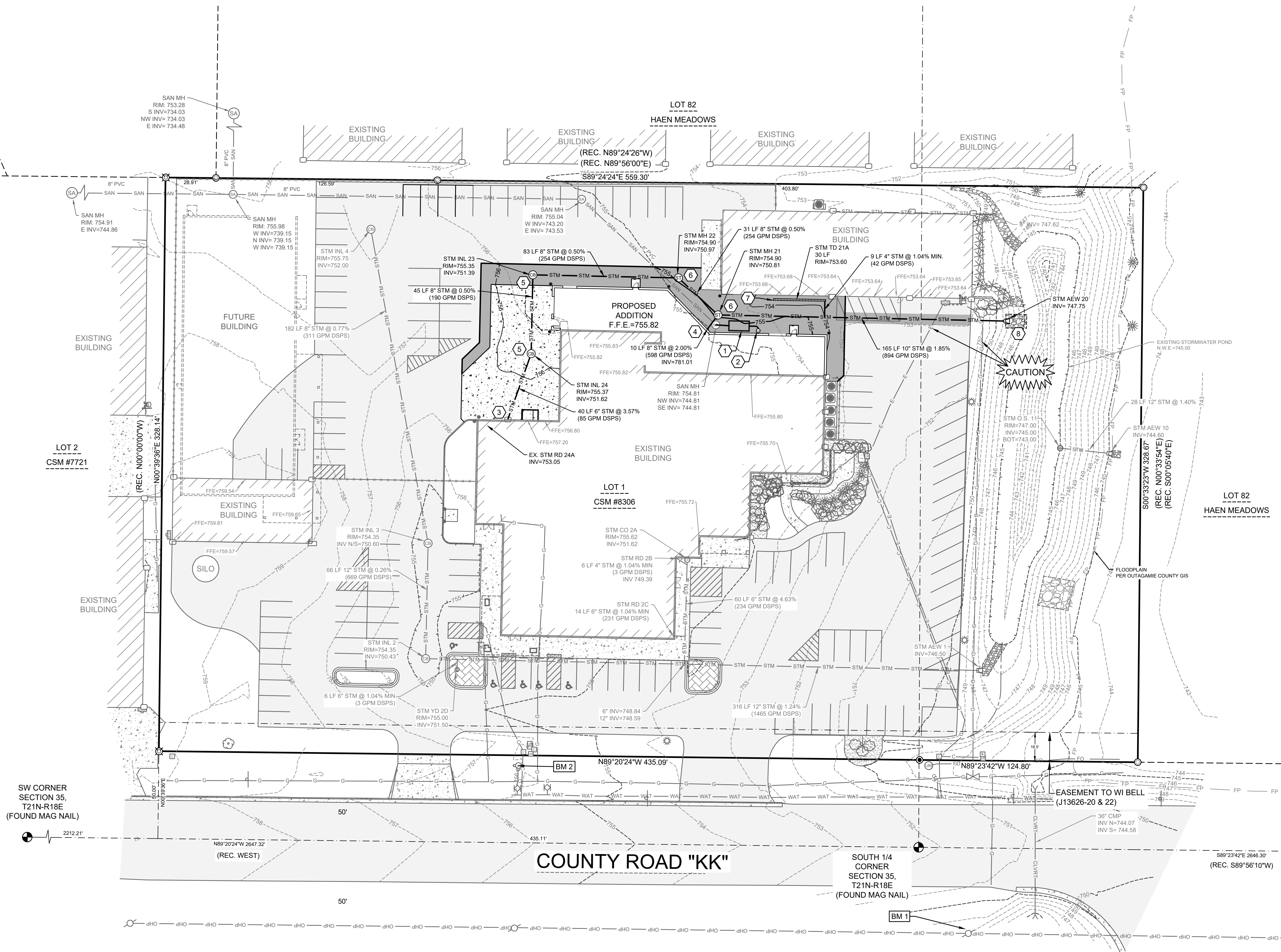
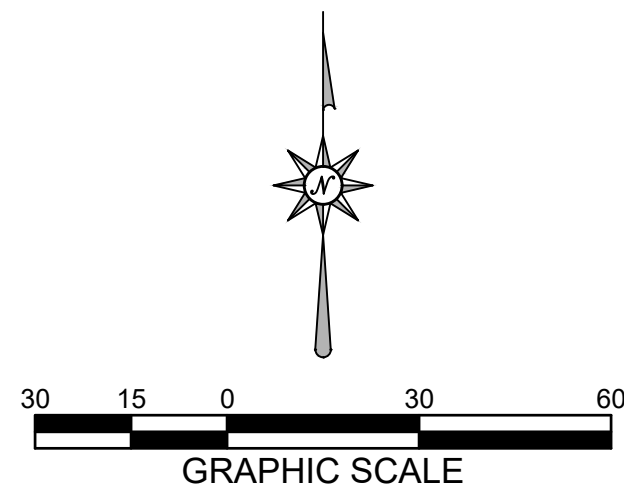
900 North Commercial Street
Neenah, WI 54956
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....

C-3.0

MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23



GRADING PLAN

Benchmarks		
Label	Elevation	Description
BM 1	749.880	NAIL IN POWER POLE 45-C-5
BM 2	758.410	HYDRANT BURY BOLT

SHEET KEY NOTES:

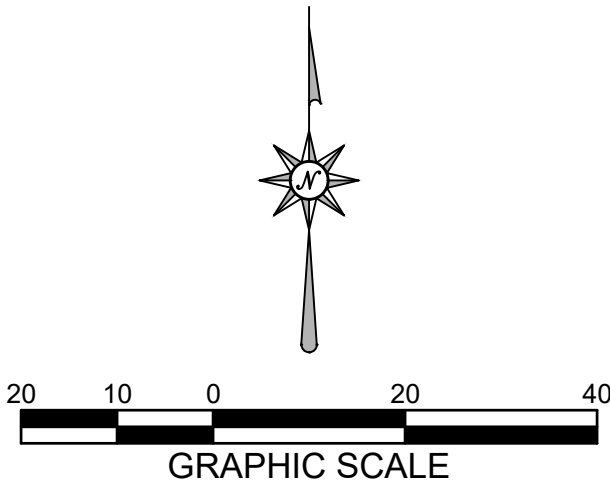
- 1 CONSTRUCTION / GRADING LIMITS
- 2 EXISTING SPOT ELEVATION; SEE DETAIL A THIS SHEET
- 3 PROPOSED SPOT ELEVATION; SEE DETAIL A THIS SHEET
- 4 EXISTING STORMWATER POND

©Copyright: This Print Computer File
Is The Exclusive Property Of:
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.



BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

- A** SPOT GRADE KEY
- 752.41 TOP OF CURB/WALL
 - 752.08 GUTTER/PAVEMENT
 - 754.64 FINISHED GRADE
 - 749.72 EXISTING GRADE

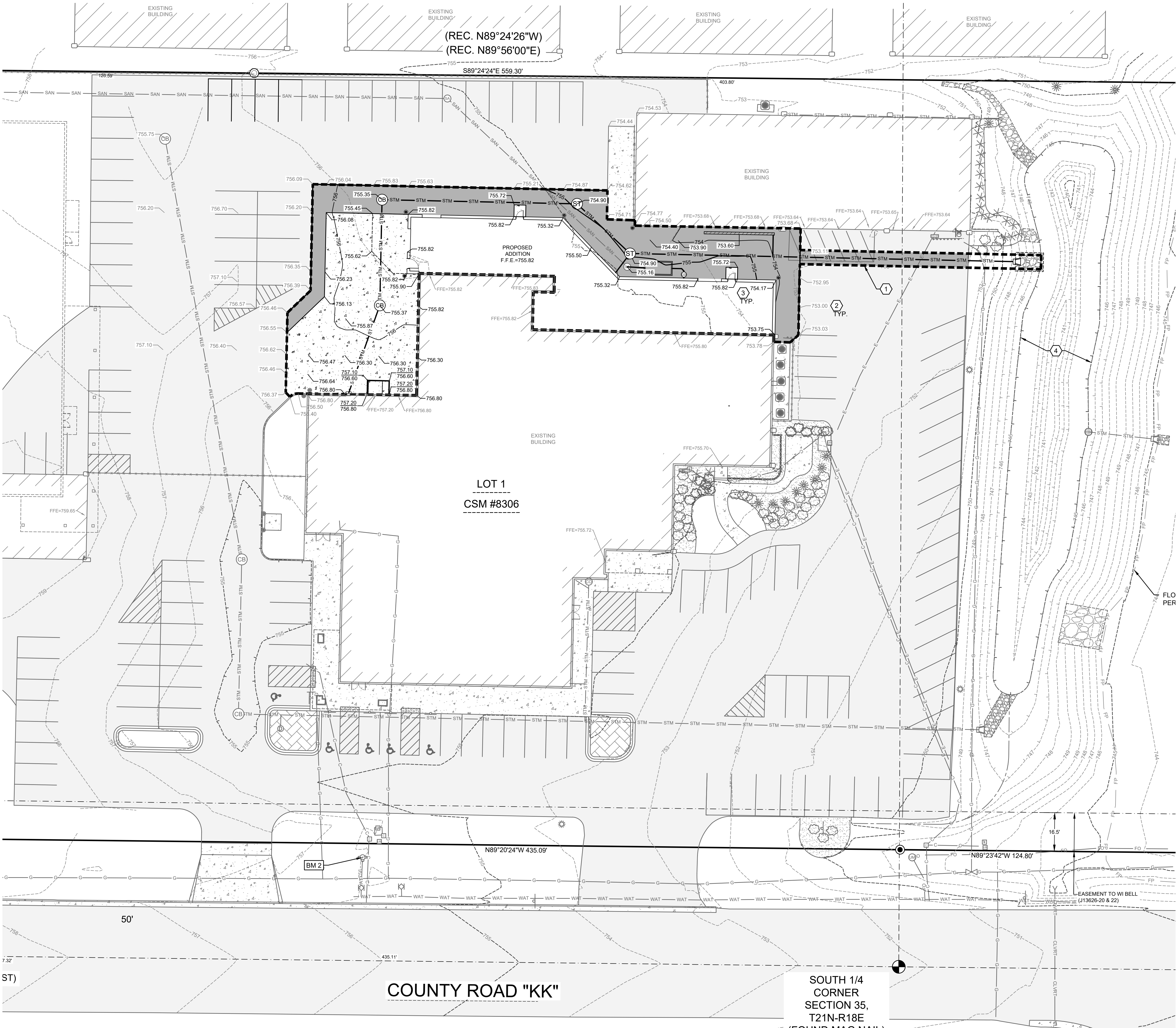


MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....
.....
.....

C-4.0



EROSION CONTROL PLAN

SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C-5.1
- ② SILT FENCE; SEE DETAIL B SHEET C-5.1
- ③ CLASS I, TYPE B EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C-5.1
- ④ ENERGY DISSIPATOR; SEE DETAIL D SHEET C-5.1

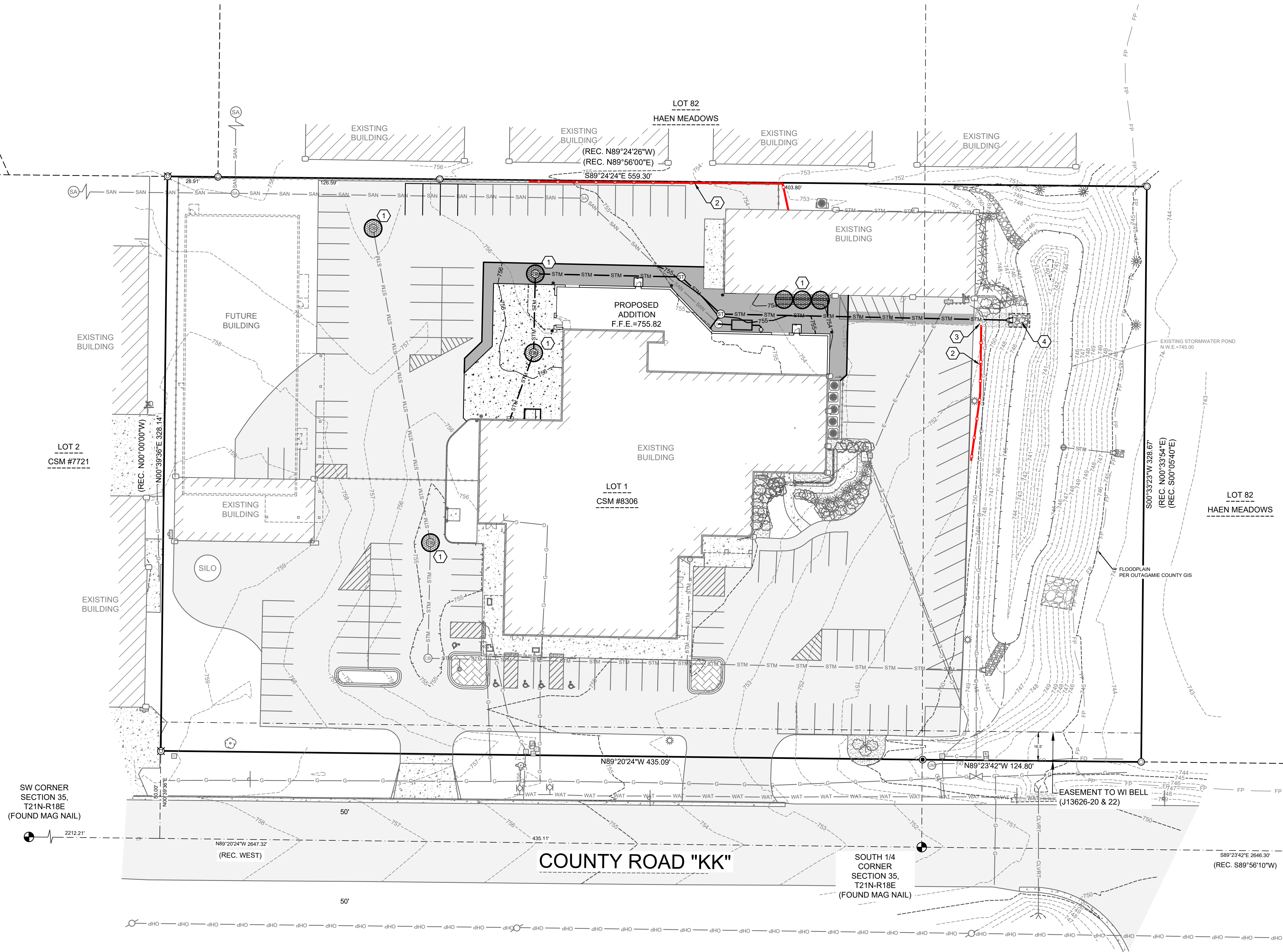
EROSION CONTROL PRACTICES:

1. **SILT FENCE** (TECH. STANDARD 1056)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH STANDARD 1068)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1053)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH STANDARD 1061)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

\\machserver\machiv\Jobs\1865-05-23 Haen Meats 2023 Addition\DRAWINGS\1865-05-23 ENG.dwg



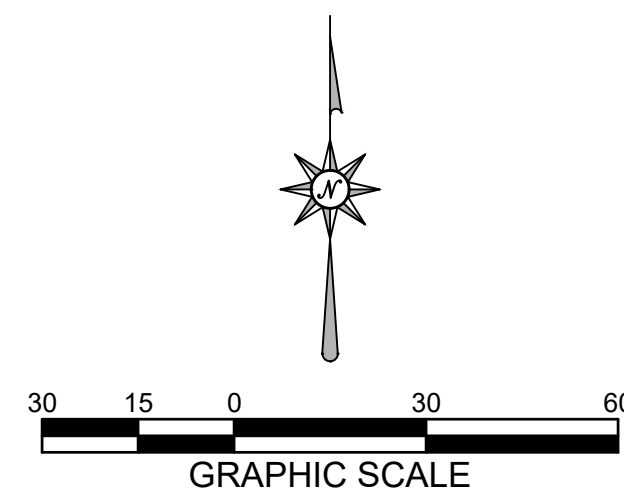
CONSTRUCTION SEQUENCE:

SUMMER 2024 TO FALL 2024

- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS
- SITE DEMOLITION
- ROUGH GRADE SITE
- CONSTRUCT BUILDING ADDITION
- INSTALL SITE UTILITIES
- INSTALL BASE COURSE
- INSTALL PAVEMENT
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- RE-SEED ANY UNVEGETATED AREAS
- REMOVE TEMPORARY EROSION CONTROL BMPs UPON SITE STABILIZATION

CONSTRUCTION NOTES:

1. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
2. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
5. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
6. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.



MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....
.....

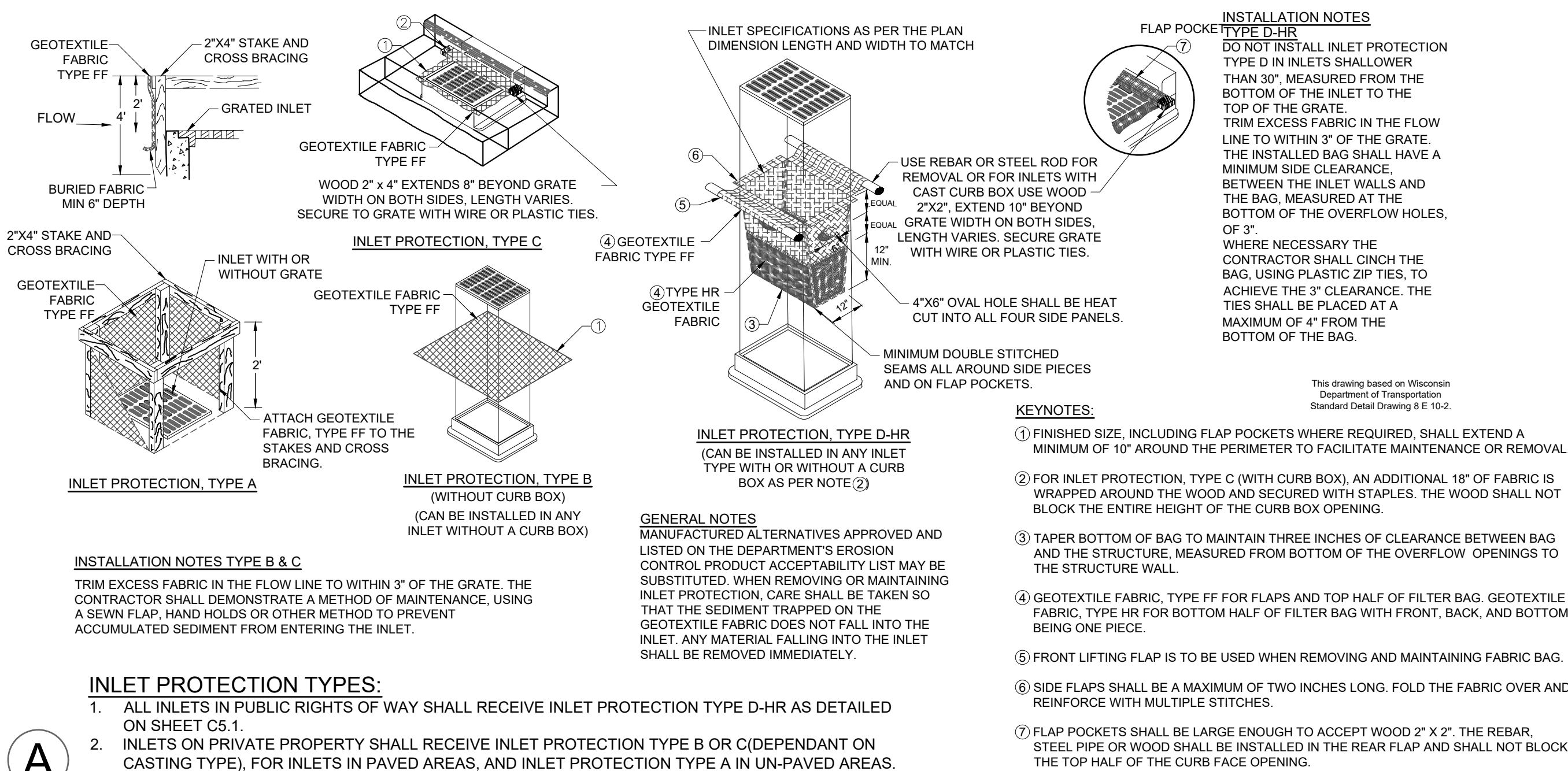
C-5.0

©Copyright. This Print Computer File
Is The Exclusive Property Of
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.

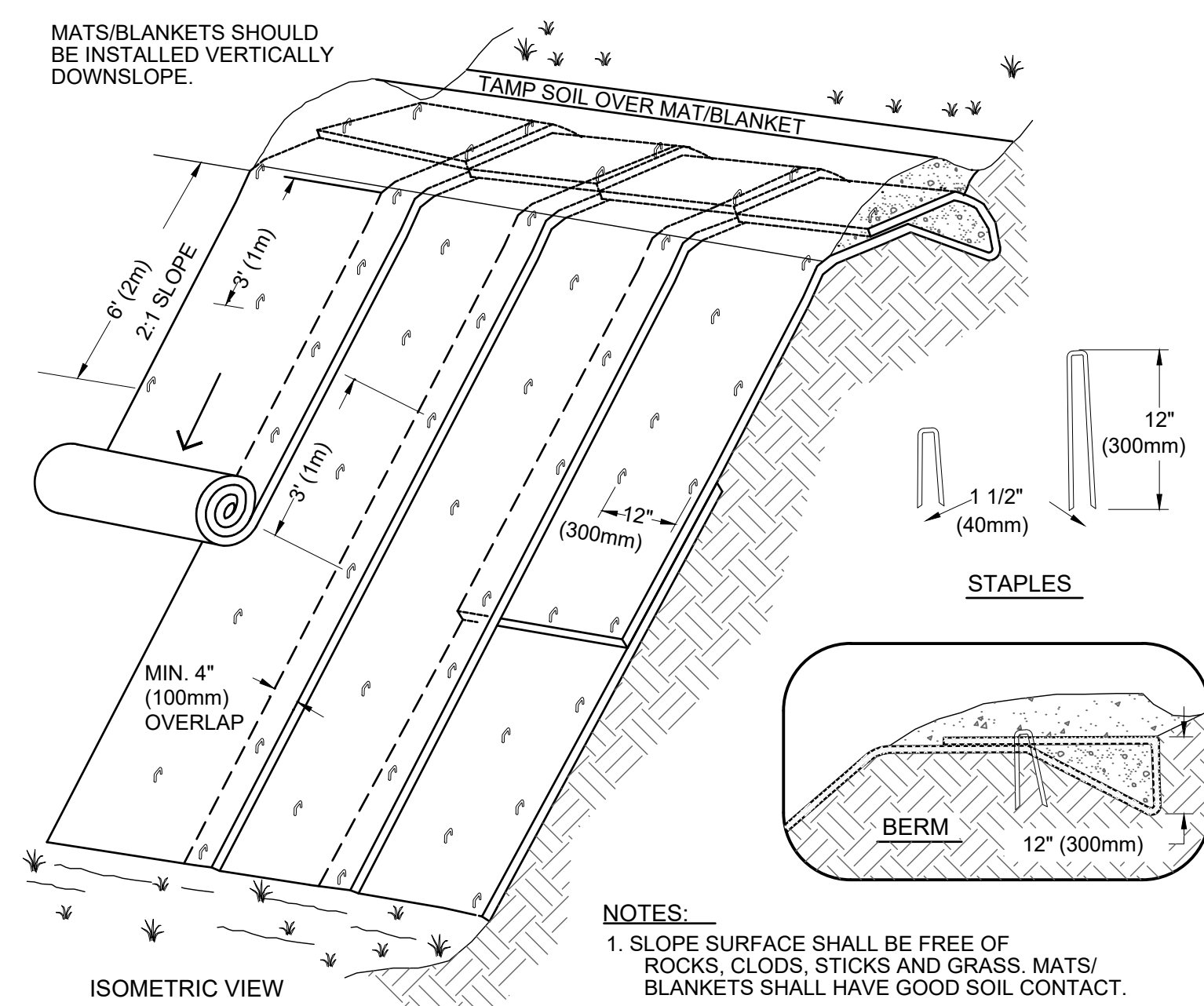


Gries
Architectural Group Inc.
940 North Commercial Street
Green Bay, WI 54301
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

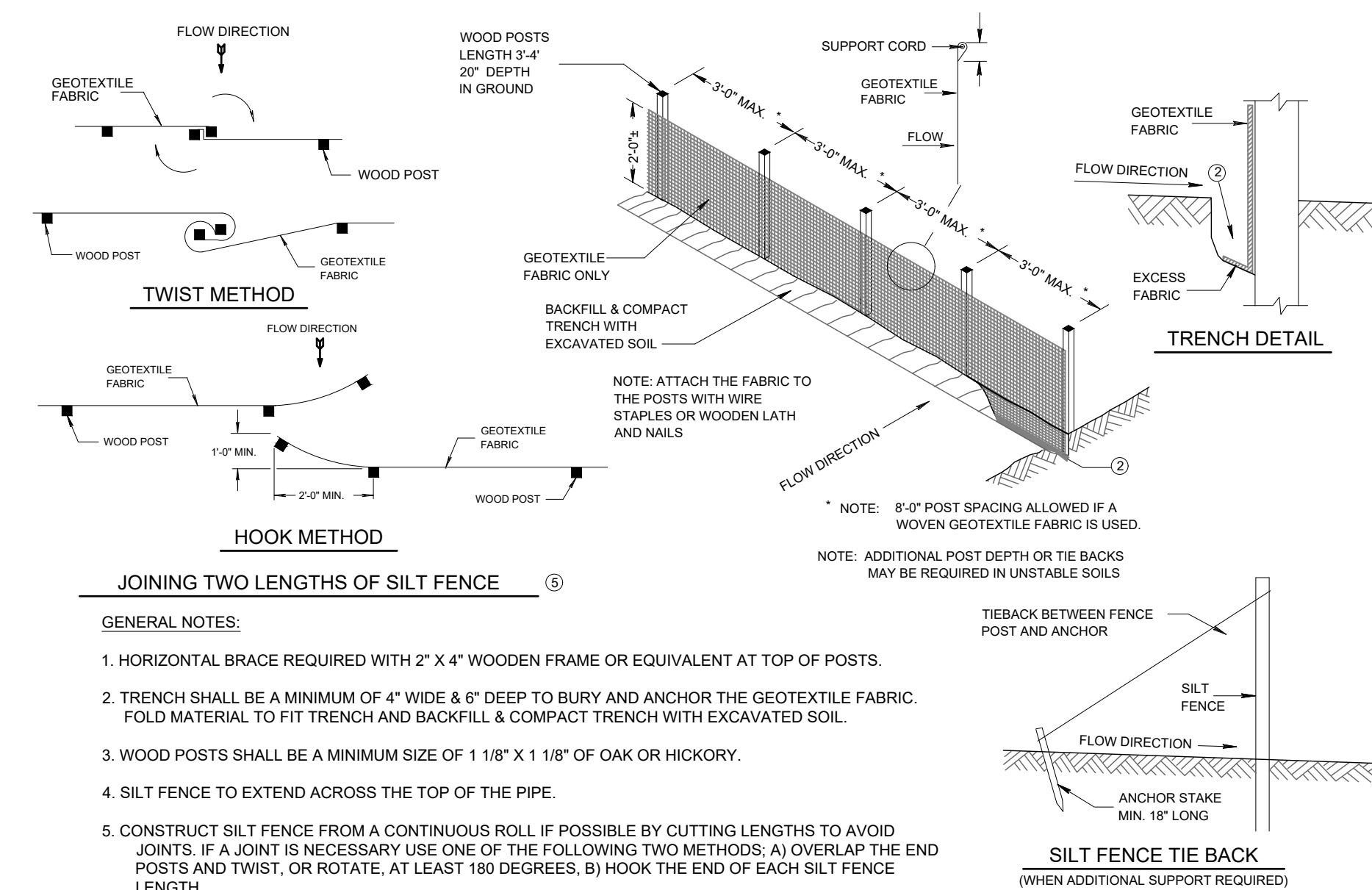
EROSION CONTROL DETAILS



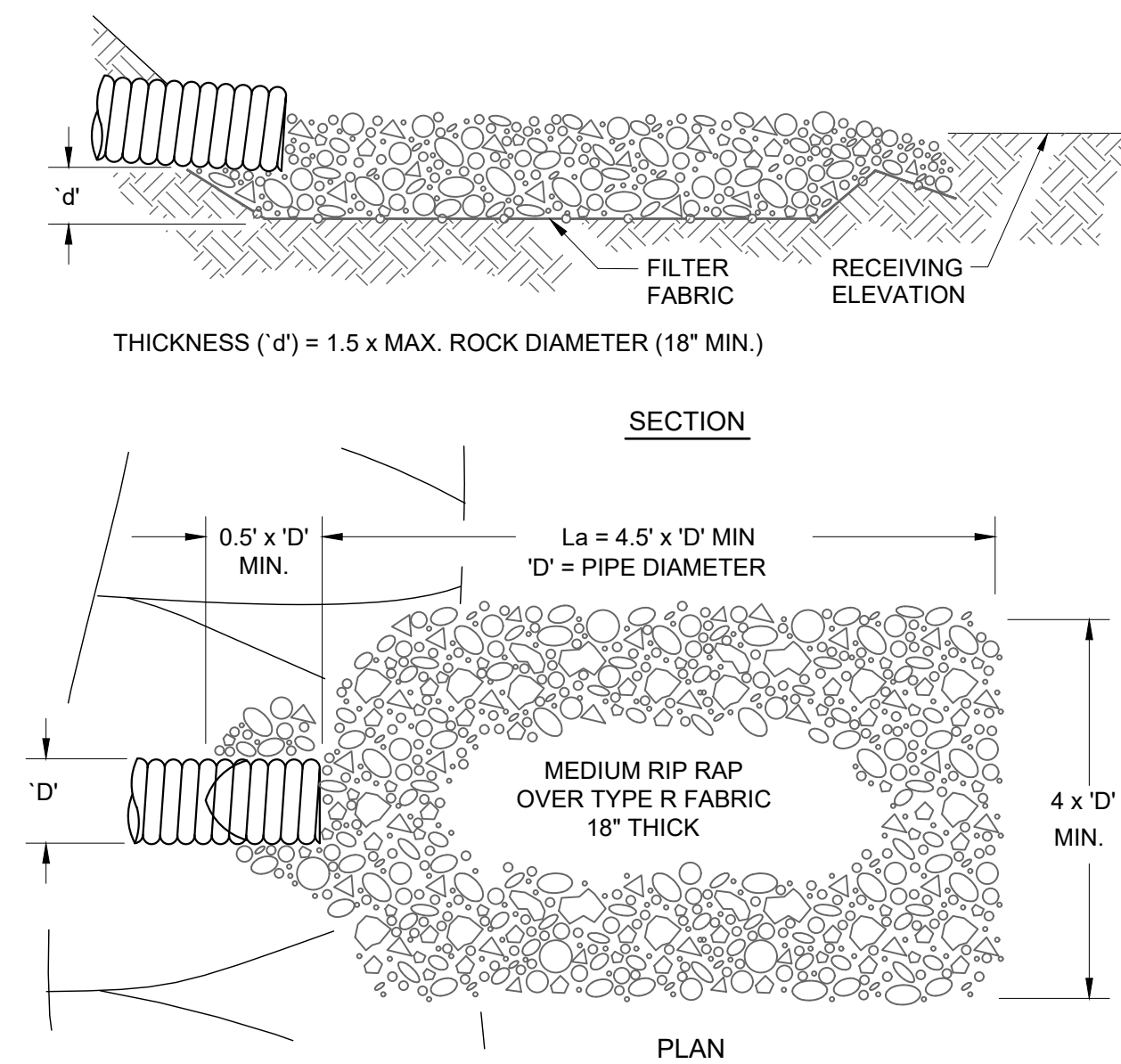
A
INLET PROTECTION



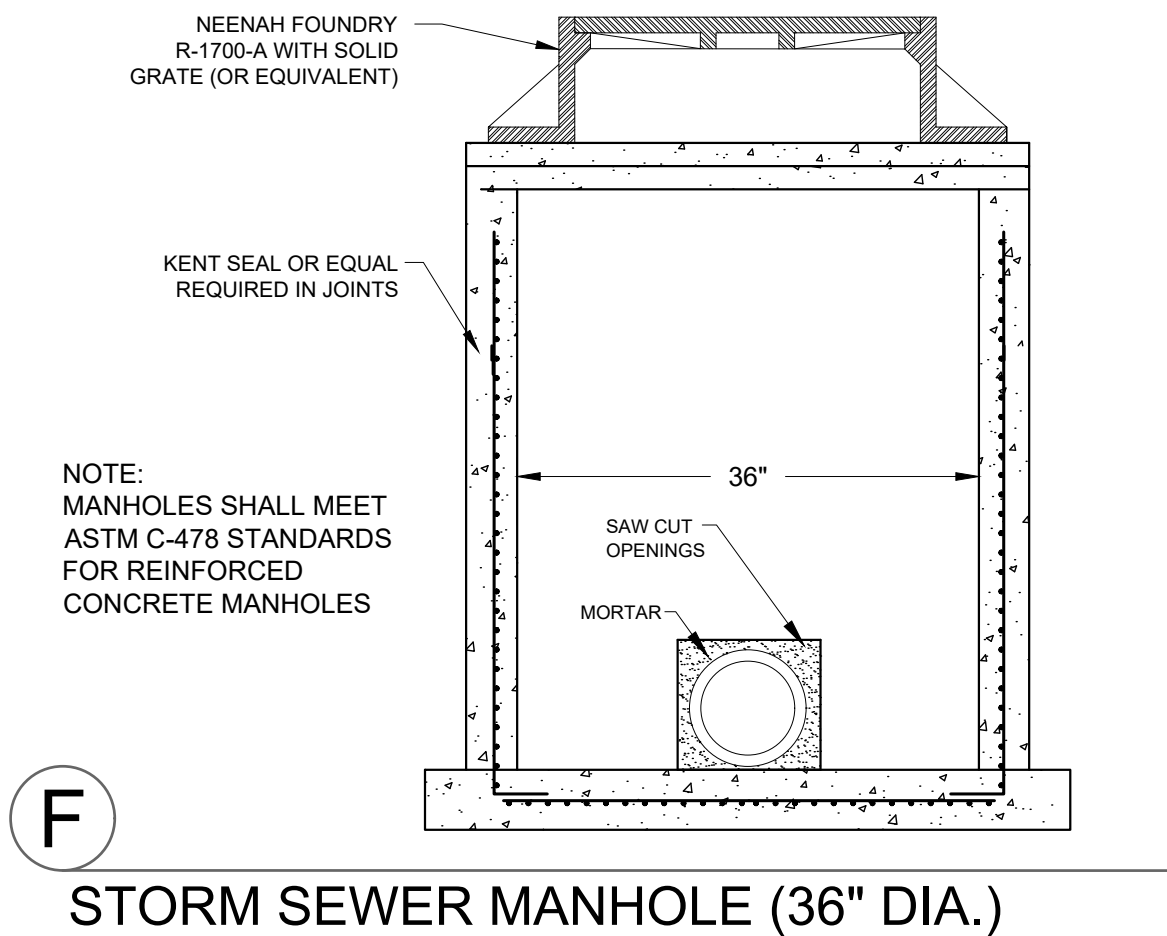
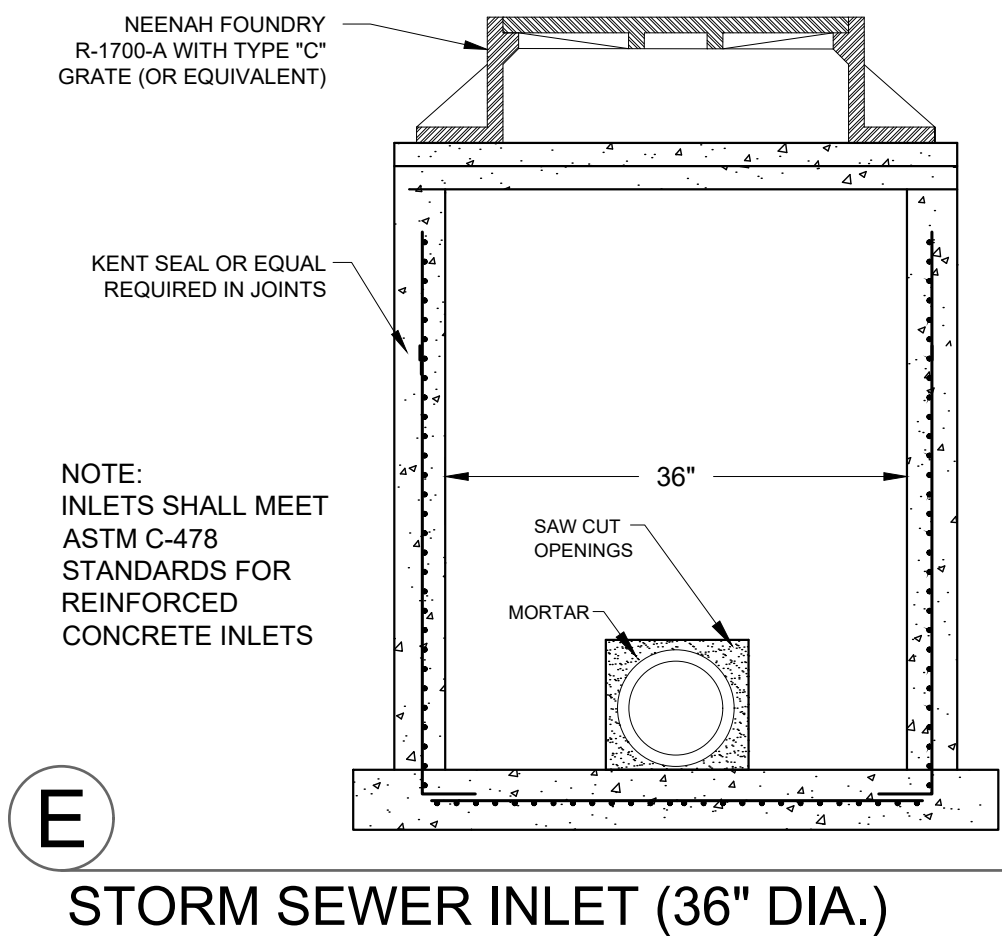
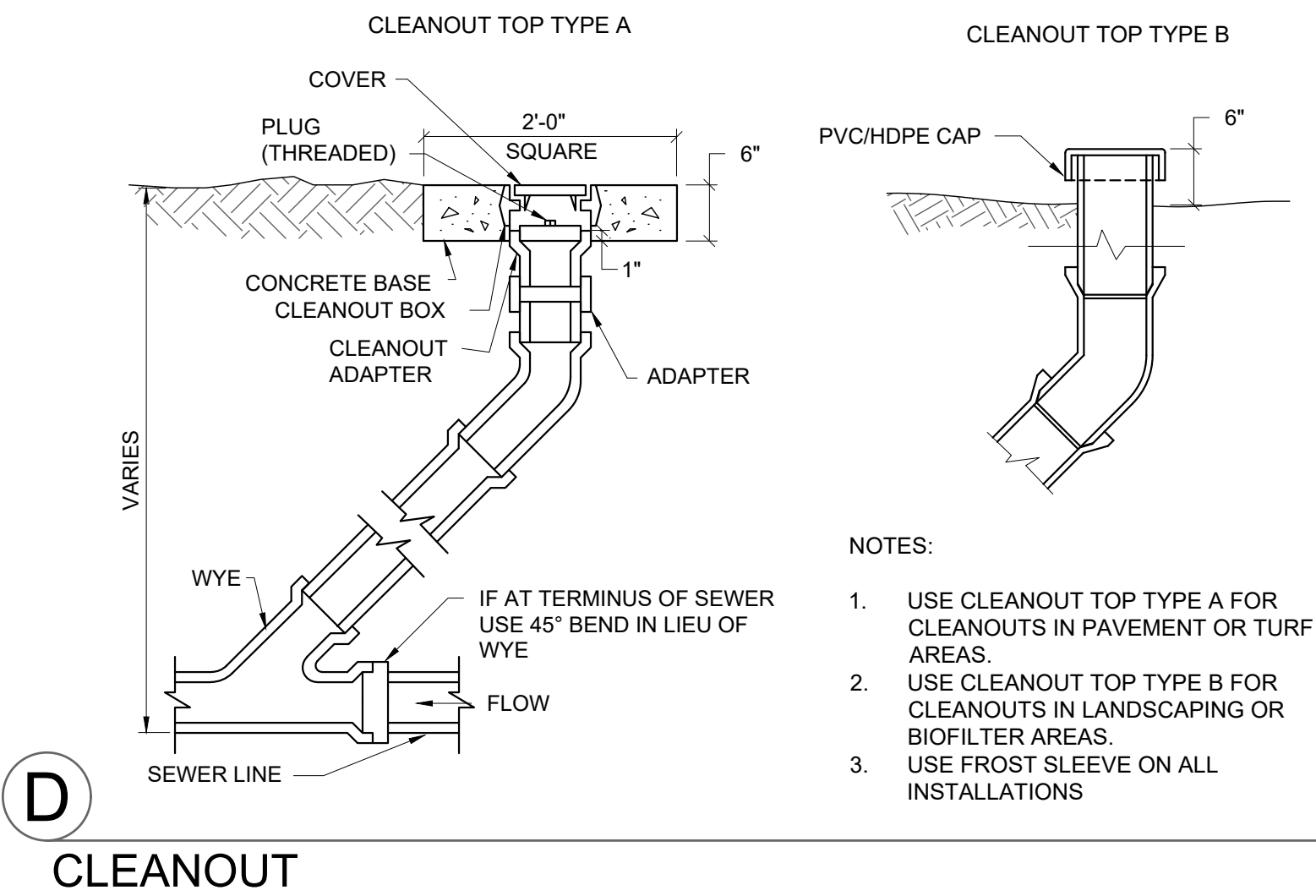
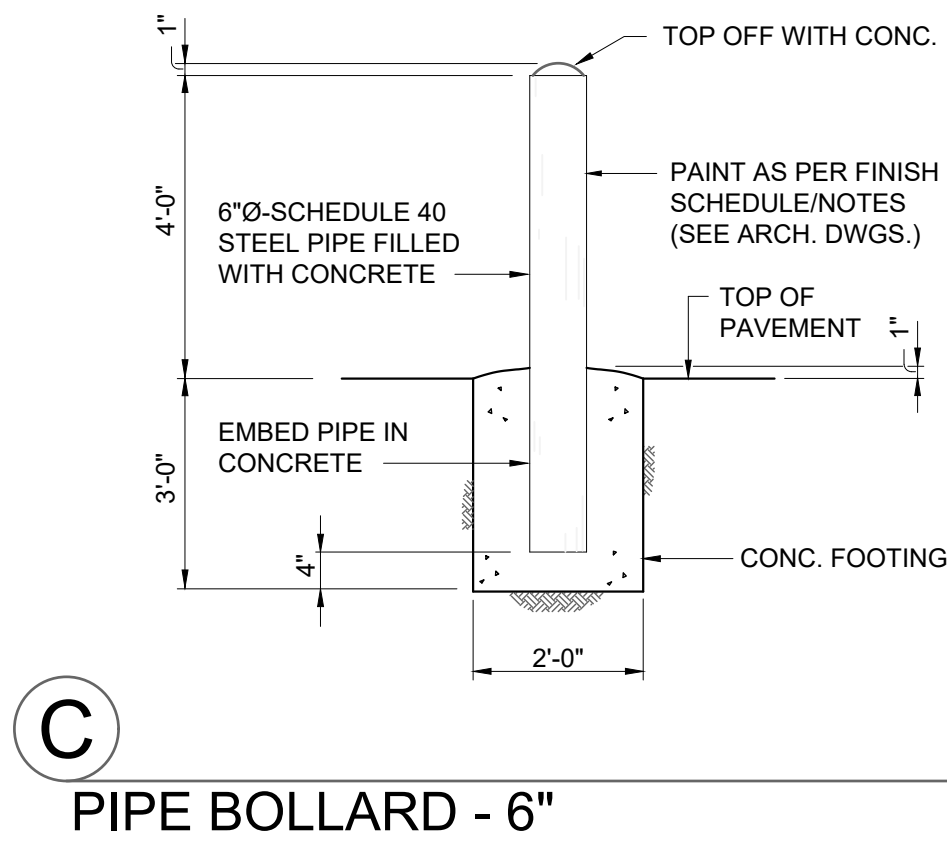
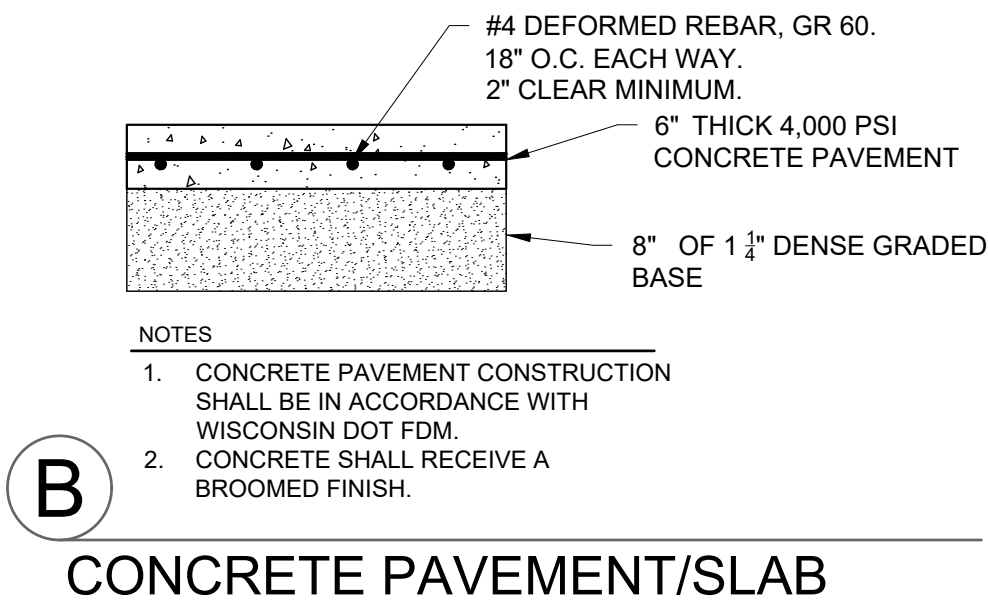
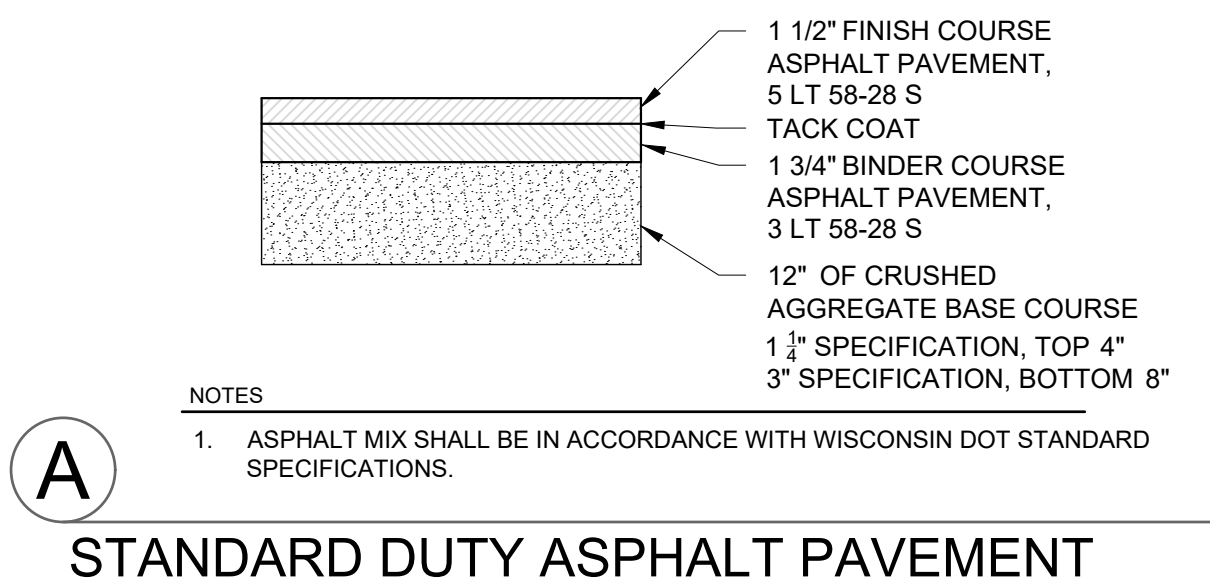
C
TYPICAL SLOPE
SOIL STABILIZATION
EROSION CONTROL MAT FOR SLOPE INSTALLATION



B
SILT FENCE



D
ENERGY DISSIPATOR



Item 3.a.

Gries Architectural Group Inc.
480 North Commercial Street
Madison, WI 53703
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

©Copyright: This Print Computer File
Is The Exclusive Property Of
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.

BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 12/01/2023
job:
d. by: RPH / SAH
rev.:
.....
.....
.....
.....
.....

C-6.0

\\machserver\machiv\Jobs\1865-05-23 Haen Meats 2023 Addition\DRAWINGS\1865-05-23 ENG.dwg

10/4/2021 8:33:23 AM

MACHIV

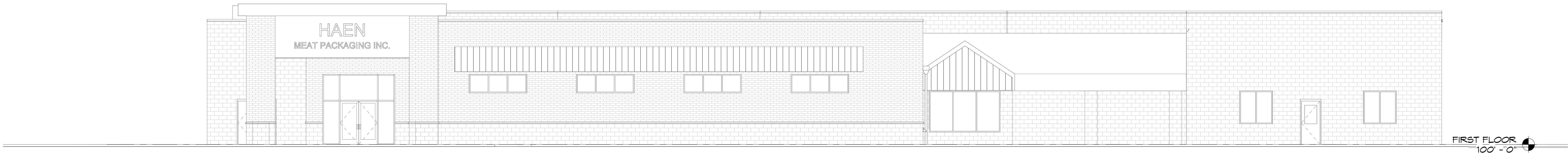
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 1865-05-23

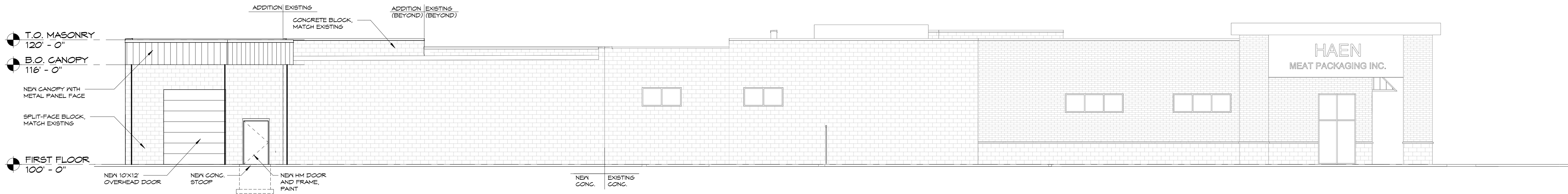
14

Z:\2023\23-087 Miron-Haen Addition and Cold Storage\23-087_Revit\23-087 Haen Meat Packing Addition.rvt

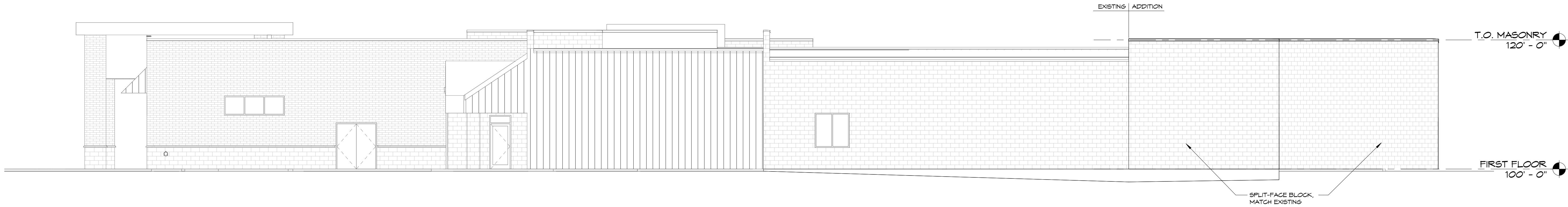
12/7/2023 10:29:03 AM



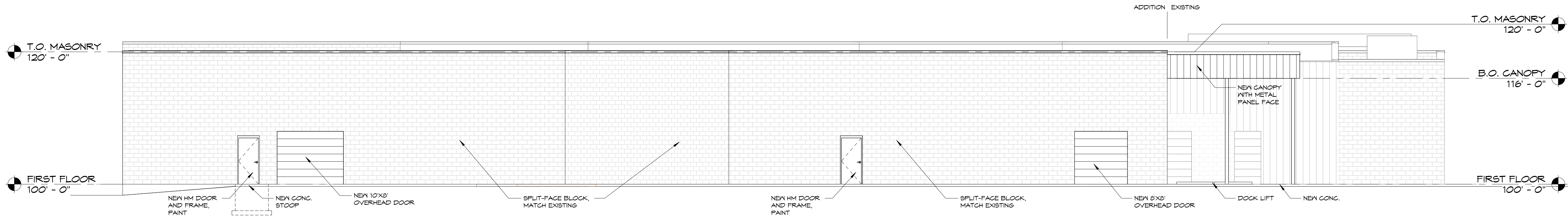
3 SOUTH ELEVATION
A-4.1 1/8" = 1'-0"



4 WEST ELEVATION
A-4.1 1/8" = 1'-0"



2 EAST ELEVATION
A-4.1 1/8" = 1'-0"



1 NORTH ELEVATION
A-4.1 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



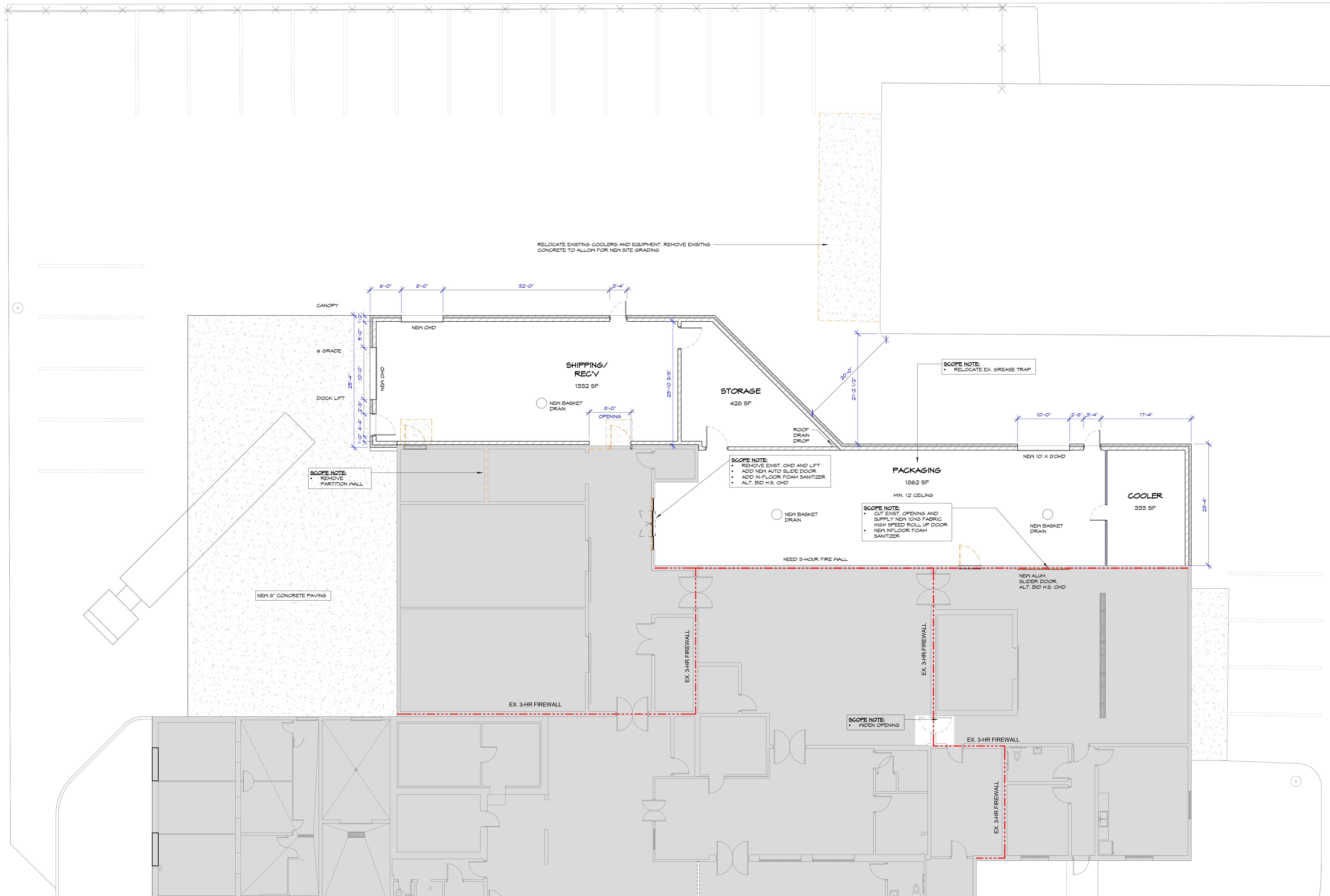
©Copyright, This Print Computer File
Is The Exclusive Property Of
Gries Architectural Group, Inc.
Use Only For Purpose Which Lended. Copying Or
Reproducing Is Prohibited. Return Upon Request.



BUILDING ADDITION FOR:
HAEN MEAT PACKING ADDITION
KAUKAUNA, WISCONSIN

date: 12/04/2023
job: 23-087
d. by: LAK
rev.:

A-4.1



1 PARTIAL FLOOR PLAN-ADDITION A-1.2 1/8" = 1'-0"



MEMO

PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission
From: Lily Paul, Associate Planner
Date: December 29, 2023
Re: Park Donation Application Review – Tree at Hydro Park

A Tree Donation application has been submitted by Mary and Daryl Warnke and Mary Ellen Fisher in Joyce Diedrich's name in memory of her later husband Jerry. The tree requested is an autumn blaze maple tree to be installed at Hydro Park. A plaque will be installed with the tree.

The plaque inscription will say:

*"Planted in Loving Memory
to Celebrate a Gifted Carpenter
Gerald (Jerry) Diedrich
1946-2023"*

Staff Recommendation

Staff recommends to approve the tree donation for the Diedrich family and direct staff to work with the donor to pick a precise location.



APPLICATION FOR PARK DONATION

Donor Name: Mary & Daryl Wannke & Mary Ellen Fisher
 Phone Number: 920-360-8964 or 920-362-3514
 Address: W4498 Schmidt Road Kaukauna, WI
 Email Address: packmule68@gmail.com or 53flamingo@gmail.com
 Proposed Location: Hydro Park
 Type of Donation: Cash for an Autumn Blaze Maple Tree

Cambridge Bench ☐

Picnic Table ☐

Tree ☒ Book Exchange ☐

Garbage Receptacle ☐

Other Item (Please Describe)

Inscription Text (If Applicable)

Tentatively (In memory of Jerry Friedrich) We would want to confirm the wording with Jerry's widow. The memorial donation is being funded by gifts from 17 of Joyce & Jerry's friends.

Please attach any necessary photos or documents with this form

Park Donations to the City of Kaukauna are considered outright and unrestricted donations. The City of Kaukauna does not guarantee the permanency of the accepted donation. If a memorial must be relocated, Department staff will attempt to notify the donor in writing at the address shown on this form. Donations may be tax deductible (please consult an accountant). The donor declares to have read the Parks Donation Policy and Guidelines. The donor understands and agrees with the conditions set forth in this policy and agrees to any conditions required by City staff or elected officials.

By signing below, I acknowledge that I have read and understand the Parks Donation Policy and Guidelines

Daryl Wannke

12/4/2003

CITY OF KAUKAUNA

144 W 2nd Street
Kaukauna, WI 54130

920.766.6300
www.cityofkaukauna.com