

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
Municipal Services Building  
144 W. Second Street, Kaukauna



Thursday, November 17, 2022 at 4:00 PM

## AGENDA

1. Roll Call.
2. Approval of Minutes.
  - [a.](#) Approval of Minutes from October 20, 2022 Meeting
3. Old Business.
  - [a.](#) Disposition of City Land - Remnant Parcel - 122 Island Street
4. New Business.
  - [a.](#) Certified Survey Map Review - Bernatello's Pizza Waste Water Treatment Plant
  - [b.](#) Site Plan Review - Bassett Mechanical Corporate Office Addition
5. Other Business.
6. Adjourn.

## NOTICES

**IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.**





# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
 Municipal Services Building  
 144 W. Second Street, Kaukauna



Thursday, October 20, 2022 at 4:00 PM

## MINUTES

The meeting was called to order at 4:00 PM.

### 1. Roll Call.

Members Present: Avanzi, Feller, Schoenike, Moore (arrived at 4:10PM via Zoom), Mayor Penterman (via Zoom), DPW Neumeier, PCDD Stephenson,

Members Absent: Thiele

Others Present: AP Paul, Pudge Schuh (Bernatello's Pizza)

A motion was made by Avanzi to excuse the absent member(s). The motion was seconded by Schoenike. The motion passed unanimously.

### 2. Approval of Minutes.

#### a. Approve Minutes from October 6, 2022 Meeting

A motion was made by Feller to approve the minutes from October 6, 2022 meeting. DPW Neumeier seconded the motion. The motion passed unanimously.

### 3. New Business.

#### a. Site Plan Review – Bernatello's Pizza Waste Water Treatment Plant

AP Paul presented the Site Plan for Bernatello's WWTP. The building will be an existing building on the property that is moved to the new site – the current building meets all code with white and red trim corrugated metal siding and a decorative masonry 4 feet high on the face of the building that shows to the public roads. There is no additional lighting being proposed. Setbacks are met. The reason for this WWTP is to prepare for expansion.

A motion was made by Avanzi to approve the Site Plan for Bernatello's Pizza Waste Water Treatment Plant. Schoenike seconded the motion. The motion passed unanimously.

#### b. Rezoning Request for 1302 Moon Ridge Court

AP Paul presented a Request for Rezone at the parcel mentioned. The Dalke family is requesting to rezone from Residential Single Family (RSF) to Residential Two-Family (RTF). They are hoping to build a new duplex that they will occupy and rent out the other

side. The zoning map shows the lot to be surrounded by RSF and RTF. Staff believes since this is a new build, it will be a great addition to the neighborhood especially because it will provide an affordable house opportunity. The family is aware that additional water and sewer lines will need to be installed to the site. There were questions and concerns that the lot will be sandwiched between two RSF lots. The lot is directly across from RTF.

A motion was made by Avanzi to approve the rezone and recommend the same to council. Feller seconded the motion. 5 Commissioners voted aye, 1 Commissioner voted nay (Neumeier). The motion passed.

c. Landscape Ordinance – Update

PCDD Stephenson updated the requested changes to the landscape ordinance. Language was provided to avoid plantings within 8 feet of public utilities, and that all landscape plans will require approval from both Staff and Plan Commission. There was also an update to require a gate on the front of dumpster corrals. This ordinance will be passed onto Council with proper public hearing notices for the opportunity to be adopted.

A motion was made by DPW Neumeier to approve the Landscape Ordinance and recommend the same to Council. Avanzi seconded the motion. The motion passed unanimously.

d. Disposition of City Land - Remnant Parcel - 122 Island Street

DPW Neumeier presented a remnant parcel owned by the City that was a result of the Island/Elm intersection realignment. This parcel is on a corner and not needed by the city, especially considering the maintenance of the sidewalks. It would be wise to transfer the parcel to the abutting property owner. Avanzi mentioned that there is going to be a water study conducted in that area of the city.

Avanzi made a motion to table the item until he received more information on the area needed for the water study. Schoenike seconded the motion. The motion carried.

4. Other Business.

*There was no other business.*

5. Adjourn.

Motion was made by Avanzi to adjourn the meeting. DPW Neumeier seconded the motion. The motion carried. Meeting adjourned at 4:33 PM.



**City of Kaukauna  
Plan Commission**

**October 20, 2022**

jn/engr dept

**Agenda Item**

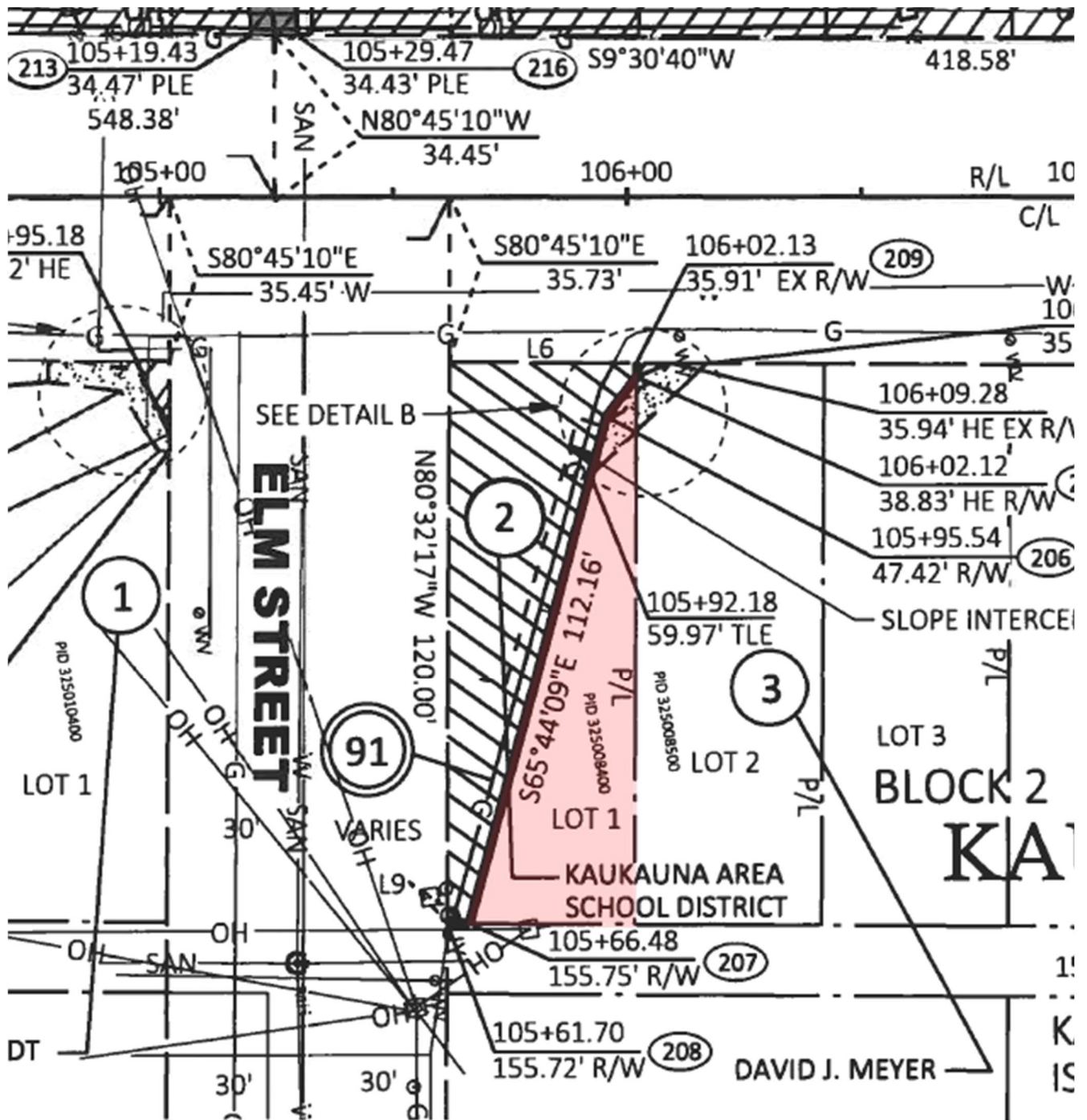
**Disposition of City Land – Remnant Parcel – 122 Island Street**

**Background**

Due to the dedication of right-of-way and re-alignment of the Island/Elm intersection from a 2022 City project, there is a remnant parcel owned by the City shown on the attached sketches. Director of Public Works does not believe that any use of this parcel is needed by the City. Considering the maintenance of mowing, shoveling, repair/replacement of walks and streets, it would be advantageous for the City to transfer the remnant parcel to the abutting property owner.

**Staff Recommended Action**

**Motion to direct staff to prepare documents including a survey and deed to transfer the remnant of parcel 325008400 also known as Lot 1 Block 2 Kaukauna Island Plat to the adjacent property owner and to recommend the transfer of the same to City Council.**







# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul  
Date: November 11, 2022  
Re: Certified Survey Map Review – Bernatello's Lot Combination

Bernatello's Pizza has submitted a certified survey map that will combine their property (parcel 322072914) with a small L-shaped portion of neighboring parcel 322073100 owned by Bassett Mechanical. They are purchasing this portion from Bassett to own the storm water pond, and to add additional parking.

The final parcel will be ~16.82 acres and meets all applicable zoning requirements. The size, shape, and use of the lot conforms to city code.

**Recommendation:**

Approve the Certified Survey Map for Bernatello's Pizza Lot Combination.







## **CITY OF KAUKAUNA PLAN COMMISSION**

### **APPLICATION FOR REVIEW**

**I am requesting a:**

Zoning Change

Special Exception Permit

**XX** Certified Survey Map Review

Subdivision Plat Review

**Petitioner Information:**

Name: Mach IV Engineering & Surveying-Randall Oettinger

Address: 2260 Salscheider Ct. Green Bay, WI 54313

Phone Number: 920 569-5765

Owner's Name (if not the petitioner): WDJ, LLC

Owner's Address: 200 Congress St. Maple Lake, MN 55358

Address of Parcel in Question: 1601 E. Hyland Ave

Property Dimensions (in either SF or Acres): 16.8 ac.

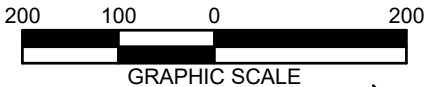
Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property: There is an existing building.

The Certified Survey Map is retracing the existing lot and the L-shaped parcel to be purchased.

# CERTIFIED SURVEY MAP

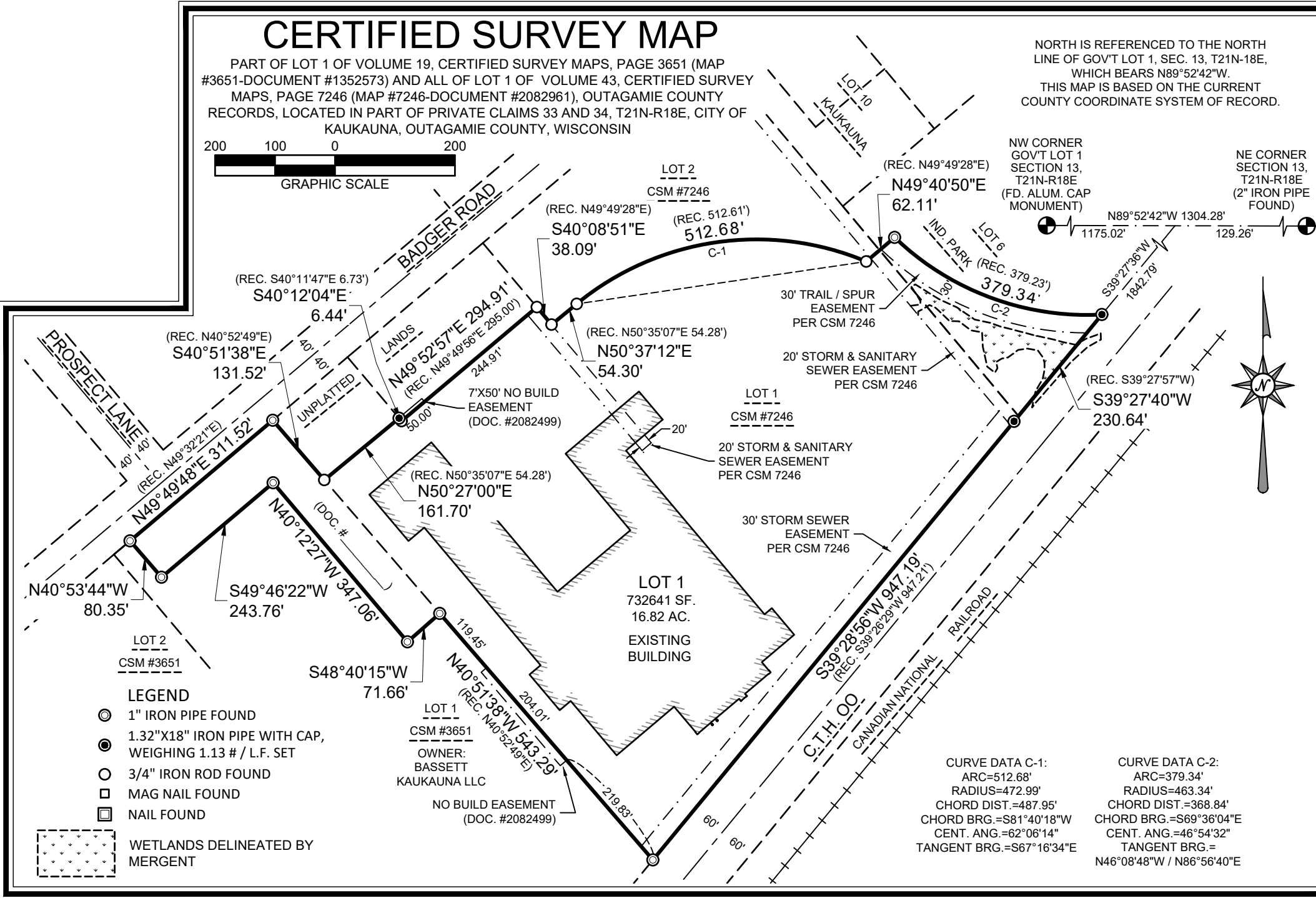
PART OF LOT 1 OF VOLUME 19, CERTIFIED SURVEY MAPS, PAGE 3651 (MAP #3651-DOCUMENT #1352573) AND ALL OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246 (MAP #7246-DOCUMENT #2082961), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF PRIVATE CLAIMS 33 AND 34, T21N-R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN



NORTH IS REFERENCED TO THE NORTH LINE OF GOV'T LOT 1, SEC. 13, T21N-18E, WHICH BEARS N89°52'42"W.  
THIS MAP IS BASED ON THE CURRENT COUNTY COORDINATE SYSTEM OF RECORD.

NW CORNER GOV'T LOT 1 SECTION 13, T21N-R18E (FD. ALUM. CAP MONUMENT)

NE CORNER SECTION 13, T21N-R18E (2" IRON PIPE FOUND)



SHEET: 1 OF 3

PROJECT NO. 1771-01-20

DRAWING NO. 1732

SCALE:

1"=200'

CLIENT: BERNATELLO'S PIZZA

DRAFTED BY: RJO

TAX PARCEL NO.: 322072914

**MACHIV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salesholder Court Green Bay, WI  
54313 PH:920-569-5765 Fax: 920-569-5767  
www.machiv.com



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul  
Date: November 11, 2022  
Re: Site Plan Review – Bassett Mechanical Corporate Office, 1215 E Hyland Ave

Please find below the review for Bassett Mechanical's corporate office addition off the south end of their existing facility. This an 8600 square foot addition to accommodate more office space, common areas, bathrooms, and conference rooms. There will be associated parking lot accommodation as well to account for this expansion.

### Site Plan Review

#### *Site/Architectural*

All setback requirements for Industrial Park District (IPD) are being met for this addition. All height requirements are being met. As mentioned, off-street parking is being addressed. Current parking stalls is 17 and the proposed number of stalls is 24, so adding 7 additional parking spots. Please find attached renderings that depict the façade. Main level of the office will be entirely windows on the façade. The second level will be panels of metal composite material in a charcoal color. The sides of the building will use a combination of the new metal composite material and the existing red brick to blend the existing building and proposed addition together. Also, a small concrete patio will be added just off the west side of this new office for employees to utilize.

#### *Landscape*

There is a landscape plan and meets all requirements. A landscaping bed just south of the parking lot features a variety of plants and 3 flag poles. There will also be multiple plantings lining the walkways and patio.

#### *Lighting*

There is no additional lighting being added.

*Stormwater*

Proposed impervious surface coverage percentage is 78 percent which meets requirements. Engineering Department has received Erosion Control and Storm Water Management Plans and will grant the property permitting accordingly.

**Recommendation:**

Approve the Site Plan for Bassett Mechanical Corporate Office Addition with the following conditions:

1. Prior to issuance of building permits, must obtain Storm Water and Erosion Control Permits from Department of Public Works.







milwaukee | madison | green bay | denver | atlanta

PROJECT INFORMATION

Bassett Mechanical  
Office Addition

1215 Hyland Ave.  
Kaukauna, WI 54130

ISSUANCE AND REVISIONS

| DATE      | DESCRIPTION    |
|-----------|----------------|
| 11/3/2022 | CITY SUBMITTAL |

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM  
PROJECT NUMBER 922140

COVER SHEET

**C001**

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LEGAL DESCRIPTION

CSM 3651 LOT 1 (PLATTED OUT OF PRT PC33 & 34-21-18) EXCEPTING ROW IN #2099252 &  
CSM 3651 LOT 2 (PLATTED OUT OF PRT PC33 & 34-21-18) EXCEPTING ROW IN #2099252,  
CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN



LOCATION MAP

1215 HYLAND AVENUE  
KAUKAUNA, WI 54130

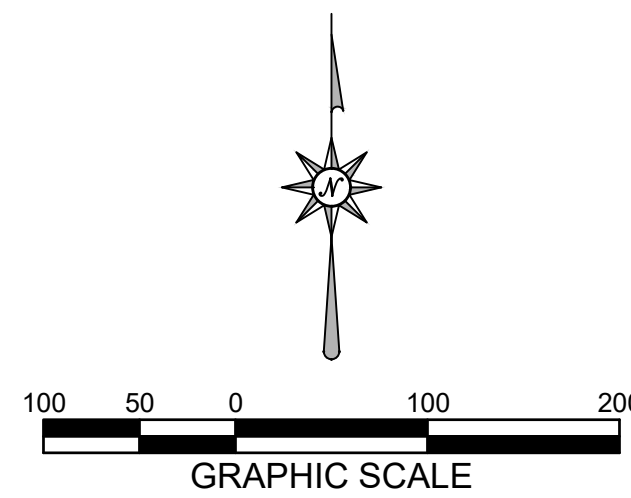
NOT TO SCALE

CIVIL SHEETS INDEX

|      |                             |
|------|-----------------------------|
| C001 | COVER SHEET                 |
| C002 | CONSTRUCTION SPECIFICATIONS |
| C100 | SITE DEMOLITION PLAN        |
| C200 | SITE PLAN                   |
| C300 | UTILITY PLAN                |
| C400 | GRADING PLAN                |
| C500 | EROSION CONTROL PLAN        |
| C501 | EROSION CONTROL DETAILS     |
| C600 | SITE DETAILS                |
| C601 | UTILITY DETAILS             |
| L100 | LANDSCAPE PLAN              |

CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC SEPTEMBER 6, 2022.
- SURVEY VERTICAL DATUM IS NAVD83.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, "C", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.



DIGGERS HOTLINE

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3  
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS  
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE  
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS  
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1771-05-22

CIVIL LEGEND

| EXISTING             | PROPOSED | EXISTING             | PROPOSED | EXISTING              | PROPOSED |
|----------------------|----------|----------------------|----------|-----------------------|----------|
| CABLE PEDESTAL       |          | EVERGREEN SHRUB      |          | STANDARD DUTY ASPHALT |          |
| ELECTRIC METER       |          | EVERGREEN TREE       |          | HEAVY DUTY ASPHALT    |          |
| ELECTRIC PEDESTAL    |          | TREE                 |          | BUILDING              |          |
| GUY WIRE             |          | TREE SHRUB           |          | ASPHALT               |          |
| POWER POLE           |          | BUILDING OVERHANG    |          | CONCRETE              |          |
| GAS METER            |          | UNDERGROUND CABLE    |          | GRAVEL                |          |
| GAS VALVE            |          | OVERHEAD WIRE        |          | LANDSCAPE WOOD MULCH  |          |
| BOLLARD              |          | UNDERGROUND ELECTRIC |          | LANDSCAPE STONE MULCH |          |
| HANDICAP PARKING     |          | GAS                  |          |                       |          |
| SANITARY CLEANOUT    |          | LANDSCAPE            |          |                       |          |
| SANITARY MANHOLE     |          | FENCE                |          |                       |          |
| CATCH BASIN          |          | GUARDRAIL            |          |                       |          |
| CULVERT              |          | CENTERLINE           |          |                       |          |
| DOWNSPOUT            |          | CURB                 |          |                       |          |
| INLET                |          | PARKING STRIPE       |          |                       |          |
| INLET 2' X 2'        |          | SANITARY SEWER       |          |                       |          |
| STORM CLEANOUT       |          | CULVERT              |          |                       |          |
| STORM MANHOLE        |          | STORM SEWER          |          |                       |          |
| FIBER OPTIC PEDESTAL |          | FIBER OPTIC          |          |                       |          |
| SIGN                 |          | WOOD LINE            |          |                       |          |
| FIRE HYDRANT         |          | RETAINING WALL       |          |                       |          |
| WATER SHUT OFF       |          | WATERMAIN            |          |                       |          |
| WATER VALVE          |          | CONTOUR MAJOR        |          |                       |          |
| POST INDICATOR VALVE |          | CONTOUR MINOR        |          |                       |          |

ABBREVIATIONS

|        |  |        |  |
|--------|--|--------|--|
| Ø      | DIAMETER                                   | MIN    | MINIMUM                                |
| AC     | ACRE                                       | mm     | MILLIMETER                             |
| AEW    | APRON END WALL                             | N      | NORTH                                  |
| ASTM   | AMERICAN SOCIETY FOR TESTING AND MATERIALS | NE     | NORTHEAST                              |
| BM     | BENCHMARK                                  | OC     | ON CENTER                              |
| C      | CABLE                                      | OD     | OUTSIDE DIAMETER                       |
| CB     | CATCH BASIN                                | OHP    | OVER HEAD POWER                        |
| CI     | CURB INLET                                 | OL     | OUTLOT                                 |
| CMP    | CORRUGATED METAL PIPE                      | PSI    | POUNDS PER SQUARE INCH                 |
| CO     | CLEAN OUT                                  | PVC    | POLYVINYL CHLORIDE                     |
| CSM    | CERTIFIED SURVEY MAP                       | R      | RADIUS                                 |
| C.T.H  | COUNTY TRUNK HIGHWAY                       | RAD    | RADIUS                                 |
| DIA    | DIAMETER                                   | RCP    | REINFORCED CONCRETE PIPE               |
| DOT    | DEPARTMENT OF TRANSPORTATION               | REQ    | REQUIRED                               |
| E      | EAST                                       | S      | SOUTH                                  |
| EL     | ELEVATION                                  | SA     | SANITARY                               |
| FDM    | FACILITIES DEVELOPMENT MANUAL              | SAN    | SANITARY                               |
| FFE    | FIRST FLOOR ELEVATION                      | SCHD   | SCHEDULE                               |
| FL     | FLOW LINE                                  | S.D.   | SUMP DEPTH                             |
| FO     | FIBER OPTIC                                | SQ     | SQUARE                                 |
| FT     | FEET                                       | ST     | STORM                                  |
| G      | GAS  | S.T.H  | STATE TRUNK HIGHWAY                    |
| G.F.E. | GROUND FLOOR ELEVATION                     | STM    | STORM                                  |
| GR     | GRADE                                      | T      | TELEPHONE                              |
| HDPE   | HIGH DENSITY POLYETHYLENE                  | T/C    | TOP OF CURB                            |
| INL    | INLET                                      | U.S.H. | UNITED STATES HIGHWAY                  |
| INV    | INVERT                                     | V      | VARIES                                 |
| M      | METER                                      | W      | WEST                                   |
| MAX    | MAXIMUM                                    | WAT    | WATER                                  |
| MH     | MANHOLE                                    | WI     | WISCONSIN                              |
|        |  | WisDOT | WISCONSIN DEPARTMENT OF TRANSPORTATION |



R:\Jobs\1771-05-22 BASSETT MECH OFFICE ADDITION\DRAWINGS\1771-05-22 ENG.dwg 11/2/2022 11:37:35 AM



milwaukee | madison | green bay | denver | atlanta

PROJECT INFORMATION

Bassett Mechanical  
Office Addition

1215 Hyland Ave.  
Kaukauna, WI 54130

ISSUANCE AND REVISIONS

| DATE      | DESCRIPTION    |
|-----------|----------------|
| 11/3/2022 | CITY SUBMITTAL |

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

|                 |        |
|-----------------|--------|
| PROJECT MANAGER | PM     |
| PROJECT NUMBER  | 922140 |

CONSTRUCTION  
SPECIFICATIONS

C002



2260 Salscheider Court Green Bay, WI 54131  
PH:920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1771-05-22

IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM PREMATURE DRYING, EXCESSIVE HOT OR COLD TEMPERATURES, AND MECHANICAL INJURY. DO NOT PERMIT PEDESTRIAN OR VEHICULAR TRAFFIC OVER PAVEMENT FOR 7 DAYS MINIMUM AFTER FINISHING.

SITE RESTORATION

GRASS SEED MIX: WDOT NO. 40 OR EQUAL UNLESS NOTED OTHERWISE FOR STORMWATER MANAGEMENT FACILITIES AND LANDSCAPE AREAS.

AT THE END OF EACH DAY, THE GROUNDS SHALL BE CLEANED OF ALL LANDSCAPE RELATED REFUSE AND DEBRIS. ALL PAVED SURFACES AFFECTED BY PLANTING OPERATIONS WILL BE SWEPT AND HOSED OFF. ALL PLANT BEDS SHALL BE FREE OF WEEDS.

PAVEMENT MARKINGS

PAVEMENT MARKINGS SHALL BE ACCORDANCE WITH WDOT SPECIFICATION SECTION 646. CLEAN ASPHALT SURFACES TO RECEIVE PAVEMENT MARKINGS. LAYOUT AREA AND REVIEW WITH OWNER BEFORE PAINT APPLICATION. LAYOUT AND STRIPE INTERNATIONAL GRAPHICS SYMBOL FOR DEDICATED HANDICAP STALLS. STRIPE PEDESTRIAN WALKS AND DIRECTION ARROWS WHERE INDICATED ON PLANS.

TOLERANCES

MAXIMUM VARIATION OF 1/8 INCH MEASURED WITH 10 FOOT STRAIGHT EDGE. COMPACTED THICKNESS SHALL BE WITHIN 1/8 INCH OF INDICATED THICKNESS. VARIATION FROM TRUE ELEVATION SHALL BE WITHIN 1/2 INCH.

PROTECTION

IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM MECHANICAL INJURY FOR 2 DAYS OR UNTIL SURFACE TEMPERATURE IS LESS THAN 140 DEGREES F.

PORTLAND CEMENT CONCRETE PAVING

PERFORM WORK IN ACCORDANCE WITH ACI 301. OBTAIN CEMENTITIOUS MATERIALS FROM SAME SOURCE THROUGHOUT. FOLLOW RECOMMENDATIONS OF ACI 305R AND ACI 306R WHEN CONCRETING DURING HOT OR COLD WEATHER. DO NOT PLACE CONCRETE WHEN BASE SURFACE TEMPERATURE IS LESS THAN 40 DEGREES F, OR SURFACE IS WET OR FROZEN.

MATERIALS

FORM MATERIALS SHALL CONFORM TO ACI 30. JOINT FILLER SHALL BE ½" PRE-FORMED; NON-EXTRUDING BITUMINOUS TYPE (ASTM D 1751) OR SPONGE RUBBER/CORK (ASTM D 1752).

UNLESS NOTED OTHERWISE, REINFORCING STEEL: ASTM A 615/A 615M GRADE 60 (410). STEEL WELDED WIRE REINFORCEMENT: PLAIN TYPE, ASTM A 185/A 185M; IN FLAT SHEETS; UNFINISHED. DOWELS: ASTM A 615/A 615M GRADE 60 (420);DEFORMED BILLET STEEL BARS; UNFINISHED FINISH.

CONCRETE MATERIALS

PORTLAND CEMENT; ASTM C150, TYPE I, GRAY

CONCRETE MIX DESIGN

THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE TESTING PROCEDURES WITH THE LABORATORY AND BE RESPONSIBLE FOR INCORPORATING INTO THE PAVING CONCRETE OF THE MINIMUM STRENGTHS SPECIFIED.

STRENGTH OF 4000 PSI AT 28 DAYS

SLUMP SHALL NOT EXCEED 4 INCHES.

ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL OF THE ENGINEER. CALCIUM CHLORIDE SHALL NOT BE USED.

MAXIMUM AGGREGATE SIZE ¾"

DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS

CURING COMPOUND: ASTM C 309, TYPE 1, CLASS A.

REINFORCING STEEL

REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPLICES AND AROUND CORNERS 30 BAR DIAMETERS. WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.

PLACEMENT

VERIFY COMPACTED SUBGRADE IS ACCEPTABLE AND READY TO SUPPORT PAVING AND IMPOSED LOADS AND GRADES/ ELEVATIONS OF BASE ARE CORRECT. MOISTEN BASE TO MINIMIZE ABSORPTION OF WATER FROM FRESH CONCRETE. COAT SURFACES OF MANHOLE FRAMES WITH OIL TO PREVENT BOND WITH CONCRETE PAVEMENT.

PLACE CONCRETE IN ACCORDANCE WITH ACI 304R. ENSURE REINFORCEMENT, INSERTS, EMBEDDED PARTS, FORMED JOINTS ARE NOT DISTURBED DURING CONCRETE PLACEMENT. PLACE CONCRETE CONTINUOUSLY OVER THE FULL WIDTH OF THE PANEL AND BETWEEN PREDETERMINED CONSTRUCTION JOINTS. DO NOT BREAK OR INTERRUPT SUCCESSIVE POURS SUCH THAT COLD JOINTS OCCUR. APPLY SURFACE RETARDER TO ALL EXPOSED SURFACES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. MAXIMUM VARIATION OF SURFACE FLATNESS: ¼"IN 10 FT AND ¼" FROM TRUE POSITION.

ALIGN CURB, GUTTER, AND SIDEWALK JOINTS. PLACE 3/8 INCH WIDE EXPANSION JOINTS AT 20 FOOT INTERVALS AND TO SEPARATE PAVING FROM VERTICAL SURFACES AND OTHER COMPONENTS AND IN PATTERN INDICATED.

FORM JOINTS WITH JOINT FILLER EXTENDING FROM BOTTOM OF PAVEMENT TO WITHIN ½ INCH OF FINISHED SURFACE. SECURE TO RESIST MOVEMENT BY WET CONCRETE.

PROVIDE SCORED JOINTS AT SPACING EQUAL TO SIDEWALK WIDTH, OR MAXIMUM FIVE FEET INTERVALS. SAW CUT CONTRACTION JOINTS 3/16 INCH WIDE AT AN OPTIMUM TIME AFTER FINISHING. CUT 1/3 INTO DEPTH OF SLAB. AREA AND SIDEWALK PAVING SHALL RECEIVE LIGHT BROOM TEXTURE PERPENDICULAR TO DIRECTION TO TRAVEL WITH TROWELED AND RADIUSD EDGE RADIUS. CURBS AND GUTTERS SHALL RECEIVE LIGHT BROOM, TEXTURE PARALLEL TO PAVEMENT DIRECTION.

MISCELLANEOUS

MORTAR: ASTM C 270, TYPE M.

WATER: WATER FOR MASONRY MORTAR SHALL BE FRESH, CLEAN AND POTABLE.

GROUT: ASTM C 476.

INSTALLATION

HAND TRIM EXCAVATIONS TO REQUIRED ELEVATIONS. REMOVE LARGE STONES OR OTHER HARD MATTER WHICH COULD DAMAGE PIPING OR IMPEDE CONSISTENT BACKFILLING OR COMPACTION. ALL STORM SEWER CONNECTIONS SHALL MEET SPRING LINE TO SPRING LINE WHERE PRACTICABLE. AT THE END OF EACH WORK DAY, CLOSE OPEN ENDS OF PIPE TEMPORARILY WITH WOOD BLOCKS OR BULKHEADS.

PIPELINE TESTING

CHECK EACH STRAIGHT RUN OF PIPELINE FOR GROSS DEFICIENCIES BY HOLDING A LIGHT IN A MANHOLE; IT SHALL SHOW A PRACTICALLY FULL CIRCLE OF LIGHT THROUGH THE PIPELINE WHEN VIEWED FROM THE ADJOINING END OF LINE.

PVC PIPE DEFLECTION TEST:

GENERAL:

TEST INSTALLED PIPELINE FOR DEFLECTION BY PULLING A MANDREL THROUGH SEWER WITHOUT AID OF MECHANICAL PULLING DEVICE. MANDREL SHALL ALLOW AN ULTIMATE DEFLECTION OF 5%. PERFORM TEST AT LEAST 30 DAYS AFTER TRENCH BACKFILL AND COMPACTION HAVE BEEN COMPLETED. NO PIPE SHALL EXCEED A DEFLECTION OF 5 PERCENT. TESTING SHALL BE PERFORMED BEFORE SURFACE COURSE OF ASPHALT IS PLACED.

CORRECTING DEFICIENCIES OR OBSTRUCTIONS:

EXCAVATE TO SPRING LINE OF PIPELINE AND REPLACE AND RE-COMPACT PIPE ZONE MATERIAL. INTERNAL PIPE RE-ROUNDING OR VIBRATION WILL NOT BE ALLOWED. IF PIPE DOES NOT PASS MANDREL TEST AFTER REPLACEMENT OF PIPE ZONE MATERIAL AND TRENCH BACKFILL, RE-EXCAVATE AND REPLACE PIPELINE.

BITUMINOUS CONCRETE PAVING

QUALITY ASSURANCE

PERFORM WORK IN ACCORDANCE WITH WDOT STANDARDS. OBTAIN MATERIALS FROM SAME SOURCE THROUGHOUT THE PROJECT. DO NOT PLACE ASPHALT WHEN AMBIENT AIR OR BASE SURFACE TEMPERATURE IS LESS THAN 40 DEGREES F, OR SURFACE IS WET OR FROZEN. PLACE BITUMEN MIXTURE WHEN TEMPERATURE IS NOT MORE THAN 15 DEGREES F BELOW BITUMEN SUPPLIER'S BILL OF LADING AND NOT MORE THAN MAXIMUM SPECIFIED TEMPERATURE.

MATERIALS

ASPHALT CEMENT: ASTM D 946.

AGGREGATE FOR BINDER COURSE: 19.0MM MIX GRADATION.

AGGREGATE FOR WEARING COURSE: 12.5 MM MIX GRADATION.

FINE AGGREGATE: WDOT STANDARD.

MINERAL FILLER: FINELY GROUND PARTICLES OF LIMESTONE, HYDRATED LIME OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER

TACK COAT: HOMOGENOUS, MEDIUM CURING, LIQUID ASPHALT.

MIX DESIGN

SEE DETAIL STANDARD DETAIL SHEET C600

PREPARATION - TACK COAT

APPLY TACK COAT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

TACK COAT IS REQUIRED FOR THE FOLLOWING:

1. WHEN INSTALLING NEW ASPHALT PAVEMENT OVER EXISTING ASPHALT OR CONCRETE PAVEMENT.
2. WHEN WEARING SURFACE IS NOT INSTALLED WITHIN 24 HOURS OF PLACING BINDER COURSE.
3. IN HIGH TRAFFIC AREAS OR TURNING LANES WHERE INDICATED ON DRAWINGS.
4. WHEN SURFACE OF BINDER COURSE HAS BEEN CONTAMINATED FROM CONSTRUCTION DEBRIS AND/OR TRAFFIC WHICH WOULD AFFECT THE ATTACHMENT OF WEARING COURSE TO THE BINDER COURSE.
5. CONTACT SURFACES OF CURBS AND WALKS.
6. DON NOT TACK COAT SURFACES OF MANHOLE FRAMES WITH OIL TO PREVENT BOND WITH ASPHALT PAVEMENT.

PLACEMENT

PLACE ASPHALT BINDER COURSE WITHIN 24 HOURS OF APPLYING PRIMER OR TACK COAT. PLACE WEARING COURSE WITHIN TWO HOURS OF PLACING AND COMPACTING BINDER COURSE. COMPACT PAVEMENT BY ROLLING TO 95% SPECIFIED. DO NOT DISPLACE OR EXTRUDE PAVEMENT FROM POSITION. HAND COMPACT IN AREAS INACCESSIBLE TO ROLLING EQUIPMENT. PERFORM ROLLING WITH CONSECUTIVE PASSES TO ACHIEVE EVEN AND SMOOTH FINISH, WITHOUT ROLLER MARKS.

ASPHALT BINDER COURSE AND SURFACE COURSE, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 455, 460 AND 465 OF WDOT STANDARD SPECIFICATIONS.

PRIOR TO PLACING THE SURFACE COURSE, THE PAVING CONTRACTOR SHALL REMOVE ALL FOREIGN MATTER FROM THE SURFACE OF THE BINDER COURSE AND REPAIR, BY SAW CUTTING, REMOVAL, AND REPLACEMENT. ANY DEPRESSION OR SIGNS OF FAILURE AND ALL SURFACE IRREGULARITIES AS DIRECTED BY THE ENGINEER. A TACK COAT SHALL BE APPLIED PRIOR TO PLACEMENT OF THE SURFACE COURSE.

PREVENT DISPLACEMENT OF BANKS AND KEEP LOOSE SOIL FROM FALLING INTO EXCAVATION; MAINTAIN SOIL STABILITY. PROTECT BOTTOM OF EXCAVATIONS AND SOIL ADJACENT TO AND BENEATH FOUNDATION FROM FREEZING.

FILL AND BACKFILL

FILL MATERIALS

GENERAL FILL: CLEAN LEAN CLAY OF MODERATE PLASTICITY.

STRUCTURAL FILL: CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209

WisDOT STANDARD SPECIFICATIONS.

CONCRETE FILL: LEAN CONCRETE.

AGGREGATE FILL: DENSE GRADED BASE CONFORMING TO ¾" TO 3" DENSE GRADED BASE SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.

GRANULAR FILL: CLEAN GRANULAR FILL CONFORMING TO TABLE 37 OR 39 OF STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

PIPE BEDDING: CLEAN GRANULAR FILL CONFORMING TO TABLE 34 OF STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

EXCAVATION BELOW SUBGRADE (EBS): 1-1/4-INCH DENSE GRADED BASE CONFORMING TO SECTION 305 OF WisDOT STANDARD SPECIFICATIONS

TOPSOIL: TOPSOIL THAT IS FERTILE, FRIABLE, NATURALLY LOAMY, SURFACE SOIL; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, AND OTHER LITTER AND FREE OF ROOTS; STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. ON-SITE SOIL MAY BE USED, IF SUITABLE. IF ON-SITE IS NOT SUITABLE, OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT SITE OF WORK. OBTAIN TOPSOIL FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL IS AT LEAST 4 INCHES DEEP.

FILLING FILL TO CONTOURS, SUBGRADE, AND FINISH ELEVATIONS INDICATED USING UNFROZEN MATERIALS. EMPLOY A PLACEMENT METHOD THAT DOES NOT DISTURB OR DAMAGE OTHER WORK. SYSTEMATICALLY FILL TO ALLOW MAXIMUM TIME FOR NATURAL SETTLEMENT. DO NOT FILL OVER POROUS, WET, FROZEN OR SPONGY SUBGRADE SURFACES. MAINTAIN OPTIMUM MOISTURE CONTENT OF FILL MATERIALS TO ATTAIN REQUIRED COMPACTION DENSITY. CORRECT PAVE AREAS THAT ARE OVER-EXCAVATED WITH EBS FILL. OTHER AREAS USE GENERAL FILL, FLUSH TO REQUIRED ELEVATION, COMPACTED TO MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY. RESHAPE AND RE-COMPACT FILLS SUBJECTED TO VEHICULAR TRAFFIC.

PROOF ROLL BASE COURSE IN PAVED AREAS WITH A FULLY LOADED TANDDEM AXLE DUMP TRUCK OR EQUIVALENT VEHICLE. CONTRACTOR SHALL NOTIFY OWNER 3 DAYS PRIOR TO PROOF-ROLLING. NO OVER EXCAVATION SHALL BE PERFORMED WITHOUT PRIOR APPROVAL BY THE OWNER. EXCAVATE SOFT OR SPONGY AREAS, FILL AND COMPACT WITH EBS FILL (SEE GENERAL NOTES THIS PAGE).

FILL AT SPECIFIC LOCATIONS USE GENERAL FILL UNLESS OTHERWISE SPECIFIED OR INDICATED.

AT FOUNDATION WALLS AND FOOTINGS: USE STRUCTURAL FILL, COMPACT TO 95 PERCENT MAXIMUM DENSITY. DO NOT BACKFILL AGAINST UNSUPPORTED FOUNDATIONS WALLS

PIPE EMBEDMENT: OVER BURIED UTILITY PIPING, CONDUITS, AND DUCT BANK IN TRENCHES:

PIPE EMBEDMENT ZONE: UTILITY PIPE BEDDING PLACED IN 8" LIFTS AND COMPACT TO 95% MAXIMUM DRY DENSITY.

TRENCH ZONE:

1. PAVED AREAS: GRANULAR FILL TO BASE PLACED IN 8" LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY. BASE: 1-1/4" AGGREGATE FILL
2. NON-PAVED AREAS: GENERAL FILL UP TO 4" BELOW FINISH GRADE ELEVATIONS. PLACED IN 8" LIFTS AND COMPACTED TO 90% MAXIMUM DRY DENSITY. TOPSOIL TO FINISHED GRADE.

STORM UTILITY DRAINAGE

INLETS

PRECAST CONCRETE INLET STRUCTURE: ASTM C 478.

CASTINGS: NEENAH FOUNDRY R-3501-TR/TL.

CATCH BASINS

PRECAST CONCRETE CATCH BASINS: ASTM C 478.

CATCH BASINS SHALL HAVE CONSTRUCTED STEPS.

CASTINGS: NEENAH FOUNDRY R-1700 OR EQUAL WITH TYPE C, NONROCKING, SELF-SEALING COVER.

APRON END WALLS

PRECAST REINFORCED CONCRETE: ASTM C 478

GALVANIZED METAL: ASTM A929

MANHOLES

PRECAST CONCRETE MANHOLES: ASTM C 478.

MANHOLE STEPS: MANHOLES SHALL BE CONSTRUCTED WITH STEPS.

CASTINGS: NEENAH FOUNDRY R-1500 OR EQUAL WITH TYPE B, NONROCKING, SELF-SEALING COVER. STORM MANHOLES SHALL HAVE OPEN PICK HOLES.

SPECIFICATION NOTES:

DEMOLITION AND SITE CLEARING

COMPLY WITH APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC. OBTAIN REQUIRED PERMITS.

PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES. CONDUCT OPERATIONS TO MINIMIZE EFFECTS ON AND INTERFERENCE WITH ADJACENT STRUCTURES AND OCCUPANTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT APPROVAL. CONDUCT OPERATIONS TO MINIMIZE OBSTRUCTION OF ENTRANCES AND EXITS; DO NOT OBSTRUCT EXITS AT ANY TIME; PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.

DO NOT BEGIN DEMOLITION UNTIL RECEIPT OF NOTIFICATION TO PROCEED FROM OWNER. PROTECT EXISTING STRUCTURES AND OTHER ELEMENTS THAT ARE NOT TO BE REMOVED. MINIMIZE PRODUCTION OF DUST DUE TO DEMOLITION OPERATIONS. DO NOT USE WATER IF IT WILL RESULT IN ICE, FLOODING, SEDIMENTATION OF PUBLIC WATERWAYS OR STORM SEWERS, OR OTHER POLLUTION.

COORDINATE WORK WITH UTILITY COMPANIES; NOTIFY BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS; OBTAIN REQUIRED PERMITS. PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE. DO NOT DISRUPT PUBLIC UTILITIES WITHOUT PERMIT FROM AUTHORITY HAVING JURISDICTION. LOCATE AND MARK UTILITIES TO REMAIN; MARK USING HIGHLY VISIBLE TAGS OR FLAGS, WITH IDENTIFICATION OF UTILITY TYPE; PROTECT FROM DAMAGE DUE TO SUBSEQUENT CONSTRUCTION, USING SUBSTANTIAL BARRICADES IF NECESSARY.

REMOVE TREES, SHRUBS, BRUSH, AND STUMPS IN AREAS INDICATED. DO NOT REMOVE OR DAMAGE VEGETATION BEYOND THE LIMITS INDICATED ON DRAWINGS. CHIP, GRIND, CRUSH, OR SHRED VEGETATION FOR MULCHING, COMPOSTING, OR OTHER PURPOSES; PREFERENCE SHOULD BE GIVEN TO ON-SITE USES. REMOVE STUMPS AND ROOTS TO A DEPTH OF 24 INCHES BELOW PROPOSED FINISHED GRADE. IF VEGETATION OUTSIDE REMOVAL LIMITS OR WITHIN SPECIFIED PROTECTIVE FENCES IS DAMAGED OR DESTROYED DUE TO SUBSEQUENT CONSTRUCTION, CONTRACTOR SHALL REPAIR/ REPLACE AT THEIR EXPENSE.

REMOVE MATERIALS NOT TO BE REUSED ON SITE. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK. CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.

GRADING

PREPARATION

PROTECT BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES, FENCES, SIDEWALKS, PAVING, AND CURBS FROM GRADING EQUIPMENT AND VEHICULAR TRAFFIC. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM. STAKE AND FLAG LOCATIONS OF KNOWN UTILITIES. LOCATE, IDENTIFY, AND PROTECT FROM DAMAGE ABOVE - AND BELOW - GRADE UTILITIES TO REMAIN. NOTIFY UTILITY COMPANY TO REMOVE AND RELOCATE UTILITIES.

ROUGH GRADING

REMOVE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED, RE-LANDSCAPED, OR RE-GRADED, WITHOUT MIXING WITH FOREIGN MATERIALS. DO NOT REMOVE TOPSOIL WHEN WET. REMOVE SUBSOIL FROM AREAS TO BE FURTHER EXCAVATED, RE-LANDSCAPED, OR RE-GRADED. DO NOT REMOVE WET SUBSOIL, UNLESS IT IS SUBSEQUENTLY PROCESSED TO OBTAIN OPTIMUM MOISTURE CONTENT. STABILITY; REPLACE DAMAGED OR DISPLACED SUBSOIL TO SAME REQUIREMENTS AS FOR SPECIFIED FILL.

SOIL REMOVAL

STOCKPILE TOPSOIL TO BE RE-USED ON SITE WHERE INDICATED ON DRAWINGS. HAUL EXCESS TOPSOIL AS INDICATED ON DRAWINGS, PILE DEPTH NOT TO EXCEED 8 FEET, AND PROVIDE SEED AND MULCH. PROTECT FROM EROSION.

FINISH GRADING

VERIFY TRENCH BACKFILLING HAS BEEN ACCEPTED BY OWNER. VERIFY SUBGRADE HAS BEEN CONTOURED AND COMPACTED. PLACE TOPSOIL DURING DRY WEATHER. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 1/2 INCH IN SIZE, NEAR PLANTS SPREAD TOPSOIL MANUALLY TO PREVENT DAMAGE. FINE GRADE AND RAKE TOPSOIL TO ELIMINATE UNEVEN AREAS AND LOW SPOTS. MAINTAIN PROFILES AND CONTOUR OF SUBGRADE. LIGHTLY COMPACT PLACED TOPSOIL, WHERE TOPSOIL IS TO BE PLACED OR IN AREAS WHERE VEHICLES OR EQUIPMENT HAVE COMPACTED SOIL, SCARIFY SURFACE TO DEPTH OF 3 INCHES.

PLACE TOPSOIL IN AREAS WHERE SEEDING AND PLANTING ARE INDICATED OR WHERE REQUIRED TO FIVE FINISH GRADE. PLACE TOPSOIL TO THE FOLLOWING COMPACTED THICKNESSES:

- AREAS TO BE SEED WITH GRASS: 4-INCHES.
- SHRUB BEDS: 18-INCHES
- FLOWER BEDS: 12-INCHES

CLEANING AND PROTECTION

GRADE STOCKPILE AREA TO PREVENT STANDING WATER. LEAVE SITE CLEAN AND RAKED, READY TO RECEIVE LANDSCAPING.

EXCAVATION

PROTECT BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES, FENCES, SIDEWALKS, PAVING, AND CURBS FROM EXCAVATING EQUIPMENT AND VEHICULAR TRAFFIC. EXCAVATE TO ACCOMMODATE NEW STRUCTURES AND CONSTRUCTION OPERATIONS. NOTIFY OWNER/ENGINEER OF UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE AFFECTED WORK IN AREA UNTIL NOTIFIED TO RESUME WORK. SLOPE BANKS OF EXCAVATIONS DEEPER THAN 4 FEET TO ANGLE OF REPOSE OR LESS UNTIL SHORED. CUT UTILITY TRENCHES WIDE ENOUGH TO ALLOW INSPECTION OF INSTALLED UTILITIES. HAND TRIM EXCAVATIONS. REMOVE LOOSE MATTER. GRADE TOP PERIMETER OF EXCAVATION TO PREVENT SURFACE WATER FROM DRAINING INTO EXCAVATION.





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PROJECT INFORMATION

Bassett Mechanical  
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KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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SITE  
DEMOLITION  
PLAN

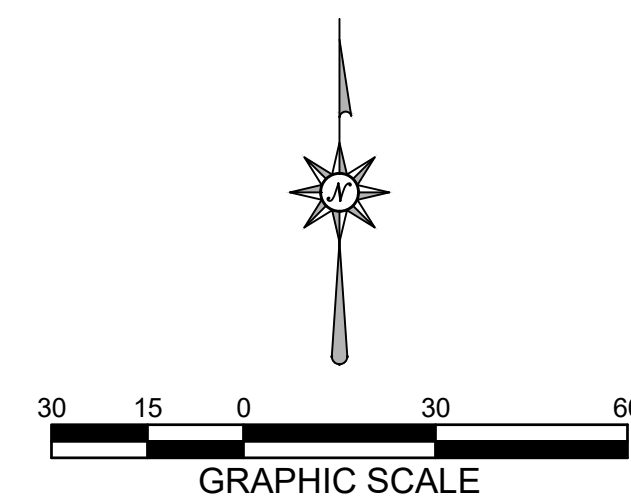
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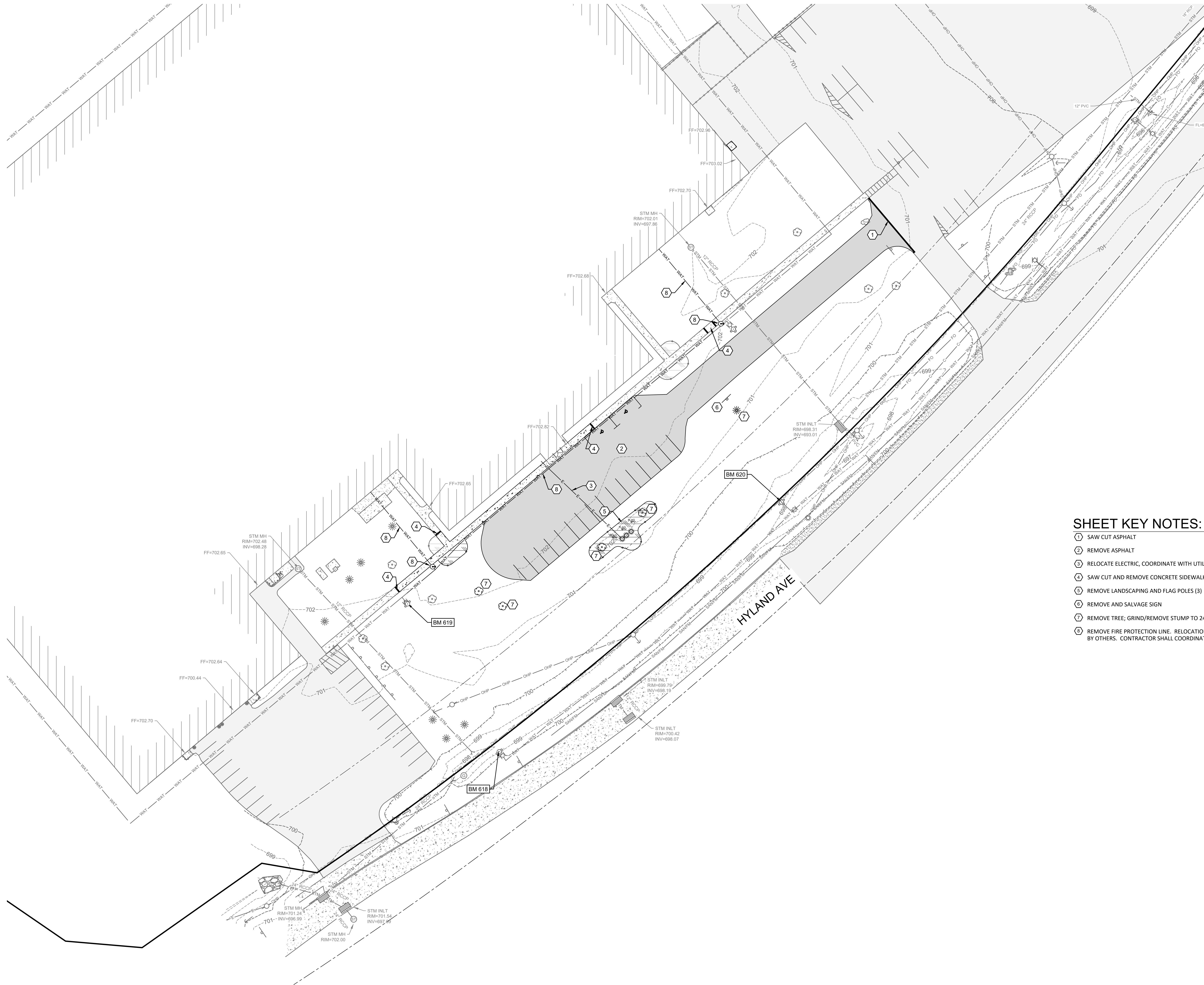
| Benchmarks |           |                   |
|------------|-----------|-------------------|
| Label      | Elevation | Description       |
| BM 618     | 701.55    | HYDRANT BURY BOLT |
| BM 619     | 703.71    | HYDRANT BURY BOLT |
| BM 620     | 700.80    | HYDRANT BURY BOLT |

SHEET KEY NOTES:

- 1 SAW CUT ASPHALT
- 2 REMOVE ASPHALT
- 3 RELOCATE ELECTRIC, COORDINATE WITH UTILITY OWNER
- 4 SAW CUT AND REMOVE CONCRETE SIDEWALK. PROTECT EXISTING SIDEWALK TO REMAIN
- 5 REMOVE LANDSCAPING AND FLAG POLES (3)
- 6 REMOVE AND SALVAGE SIGN
- 7 REMOVE TREE; GRIND/REMOVE STUMP TO 24" BELOW PROPOSED FINISH GRADE
- 8 REMOVE FIRE PROTECTION LINE. RELOCATION OF LOOP AND POST INDICATOR VALVES BY OTHERS. CONTRACTOR SHALL COORDINATE WITH FIRE PROTECTION CONTRACTOR



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## PROJECT INFORMATION

**Bassett Mechanical  
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## KEY PLAN

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## SITE PLAN

**C200**

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E

D

C

B

A

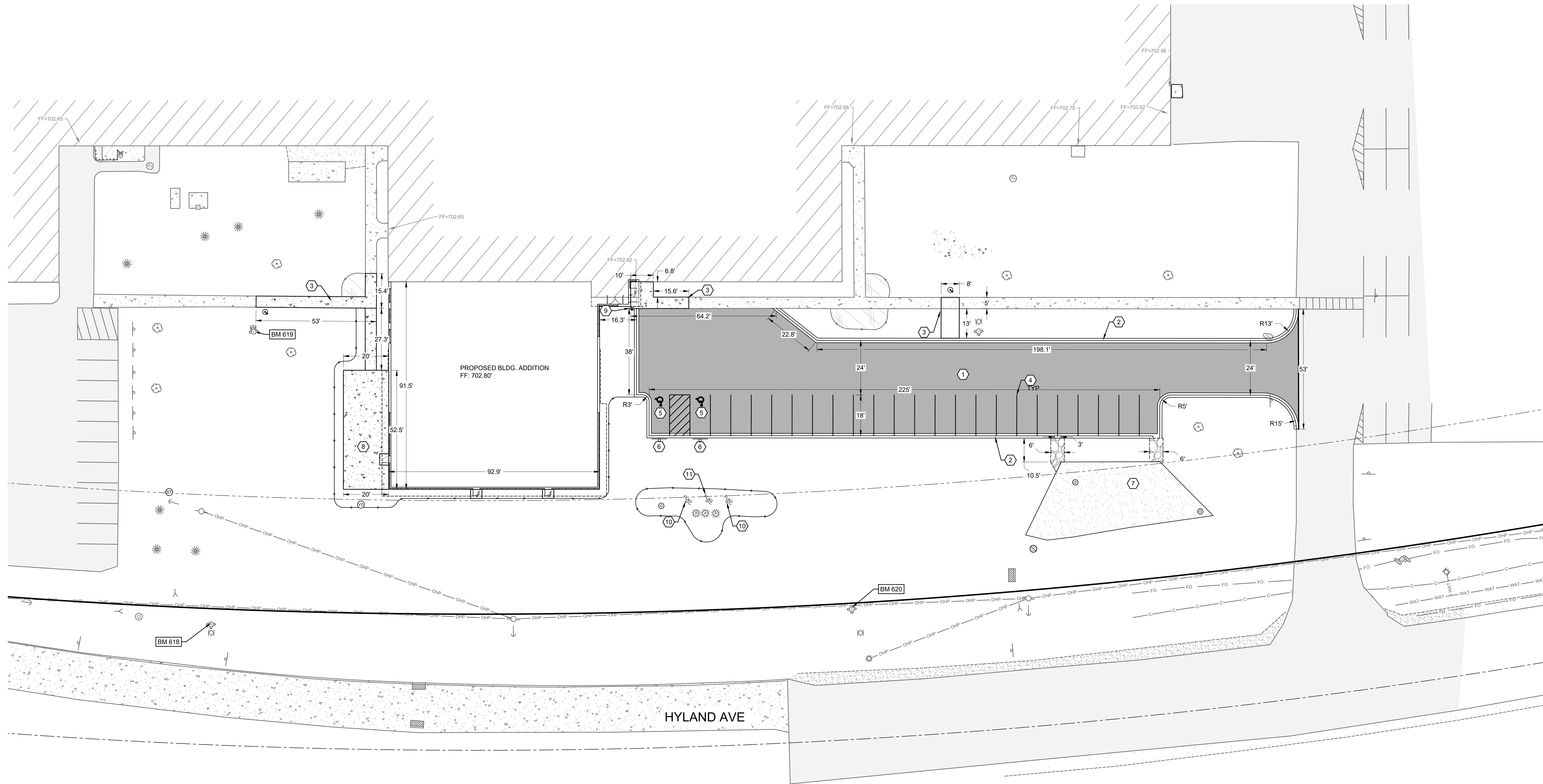
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**SITE STATISTICS**

PARCEL ADDRESS: 1215 E HYLAND AVE & 1210 BADGER RD  
PARCEL NUMBER: 322073100 & 322073000  
PARCEL SIZE: 896,244 SF & 263,907 SF; 1,160,151 SF (20.57 AC & 6.06 AC; 26.63 AC)  
ZONING: IPD - INDUSTRIAL PARK DISTRICT

EXISTING SITE  
GREEN SPACE: 262,046 SF (22.6%)  
IMPERVIOUS AREA  
BUILDING: 263,038 SF (22.7%)  
PAVEMENT: 635,067 SF (54.7%)  
TOTAL IMPERVIOUS: 898,105 SF (77.4%)

PROPOSED SITE  
TOTAL DISTURBED AREA: 36,642 SF (0.84 AC)

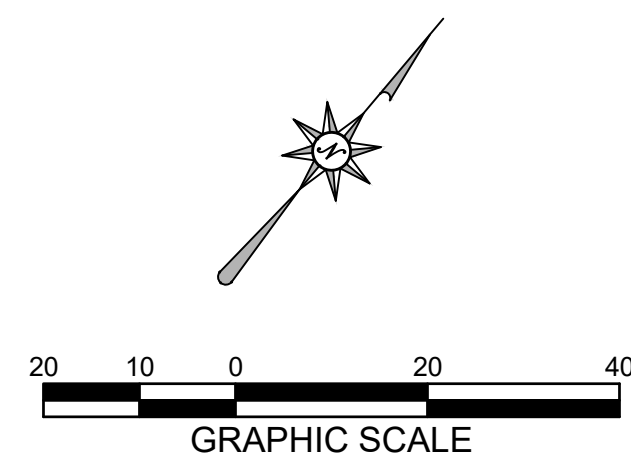
GREEN SPACE PROVIDED: 254,793 SF (22.0%)  
IMPERVIOUS AREA  
BUILDING: 271,541 SF (23.4%)  
PAVEMENT: 633,817 SF (54.6%)  
TOTAL IMPERVIOUS: 905,358 SF (78.0%)

PARKING PROVIDED  
PARKING SPACES REQ'D/CALCS: EXISTING 17 STALLS

PARKING SPACES PROVIDED: PROPOSED 24 STALLS, INCLUDES 2 ADA HANDICAP

**SHEET KEY NOTES:**

- ① ASPHALT PAVEMENT; SEE DETAIL A SHEET C600
- ② CONCRETE CURB & GUTTER; SEE DETAIL B SHEET C600
- ③ CONCRETE SIDEWALK; SEE DETAIL C SHEET C600
- ④ 4" PAINT STRIP (WHITE)
- ⑤ PAINTED ADA SYMBOL; SEE DETAIL D SHEET C600
- ⑥ ADA ACCESSIBILITY SIGN SEE DETAIL E SHEET C600
- ⑦ BIOFILTER; SEE SHEET C400
- ⑧ PATIO; SEE DETAIL C SHEET C600
- ⑨ BOLLARD; SEE DETAIL F SHEET C600
- ⑩ 15' HIGH ALUMINUM FLAG POLE
- ⑪ 20' HIGH ALUMINUM FLAG POLE

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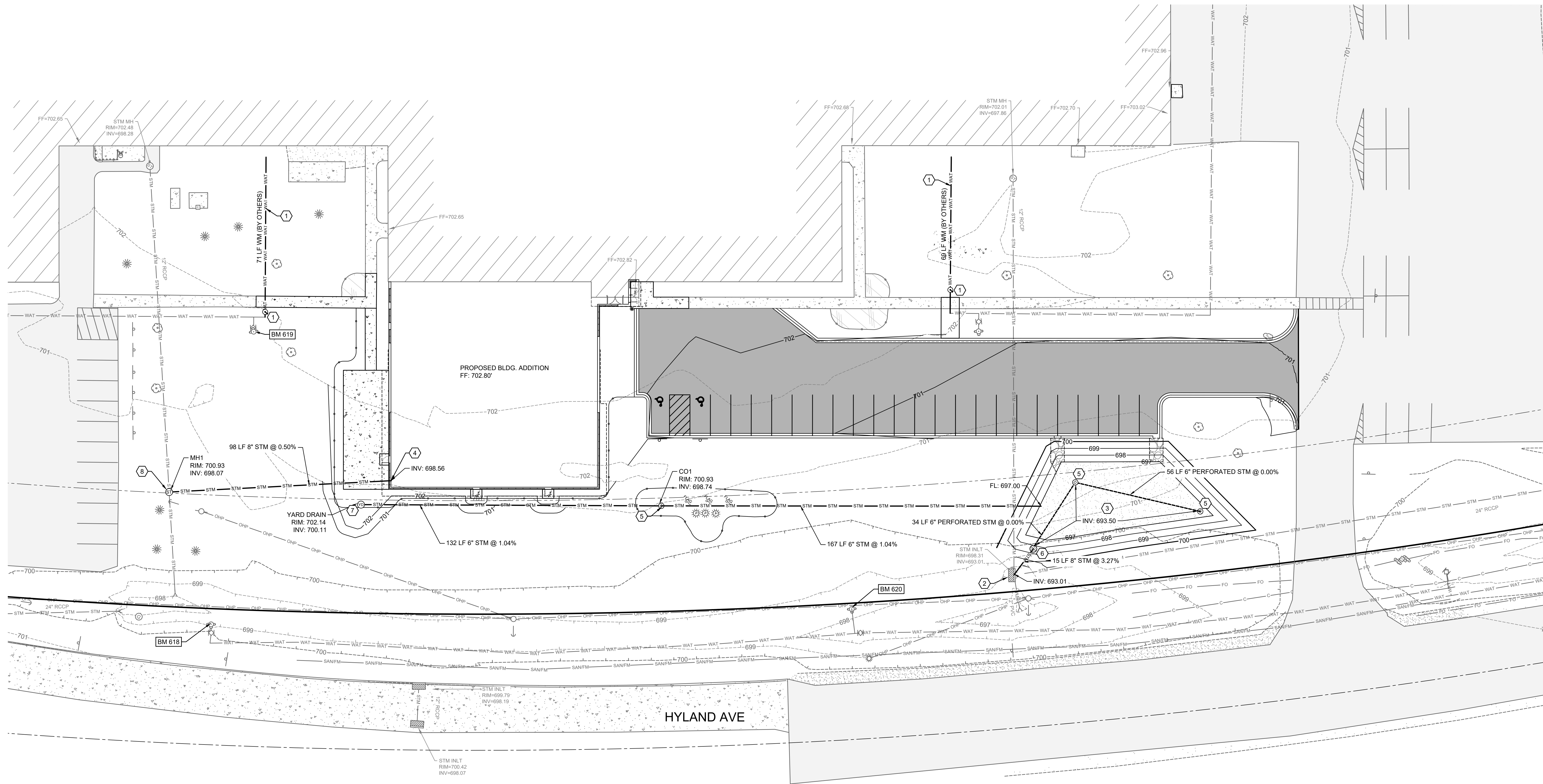
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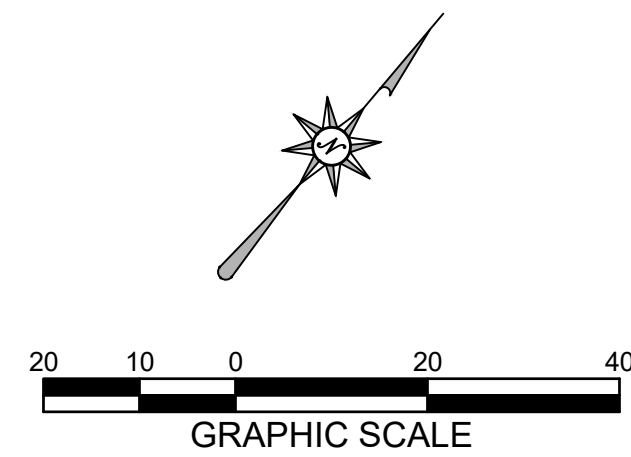


## UTILITY NOTES:

1. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
2. STORM SEWER SHALL BE PVC SDR 35 (ASTM-D3034) OR SCH 40.
3. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
4. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.

## SHEET KEY NOTES:

- ① RELOCATED FIRE PROTECTION LINE AND POST INDICATOR VALVE; WORK BY OTHERS
- ② CONNECT TO EXISTING STORM INLET
- ③ BIOFILTER; SEE DETAIL A SHEET C601
- ④ ROOF DRAIN LINE; SEE ARCHITECTURAL DRAWINGS FOR LOCATION
- ⑤ STORM CLEANOUT; SEE DETAIL D SHEET C601
- ⑥ BIOFILTER OUTLET STRUCTURE; SEE DETAIL B SHEET C601
- ⑦ YARD DRAIN; SEE DETAIL E SHEET C601
- ⑧ CONSTRUCT MANHOLE OVER EXISTING SEWER; SEE DETAIL F SHEET C601



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## UTILITY PLAN

**C300**

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## KEY PLAN

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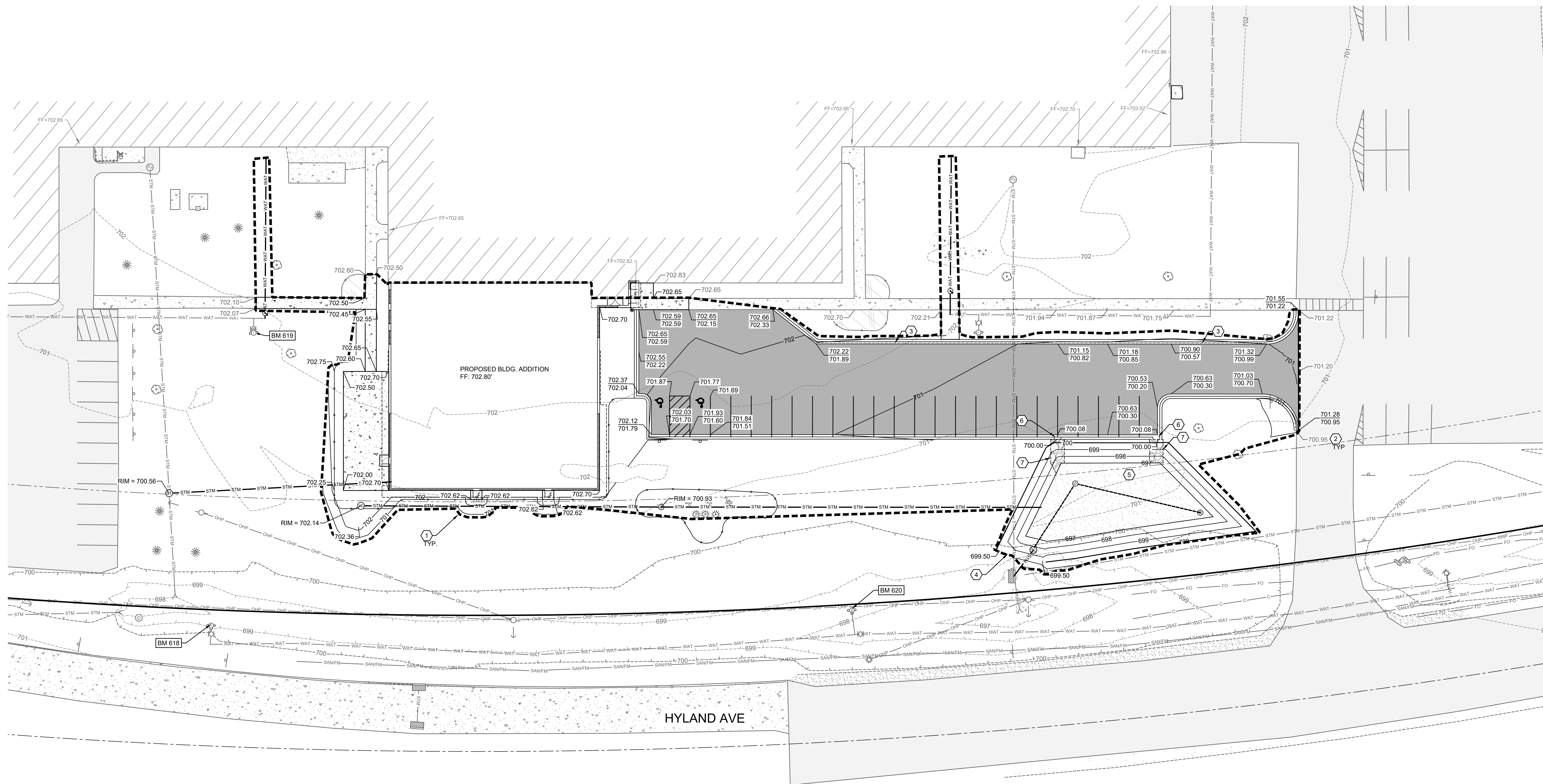
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## GRADING PLAN

**C400**

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KEY PLAN

B

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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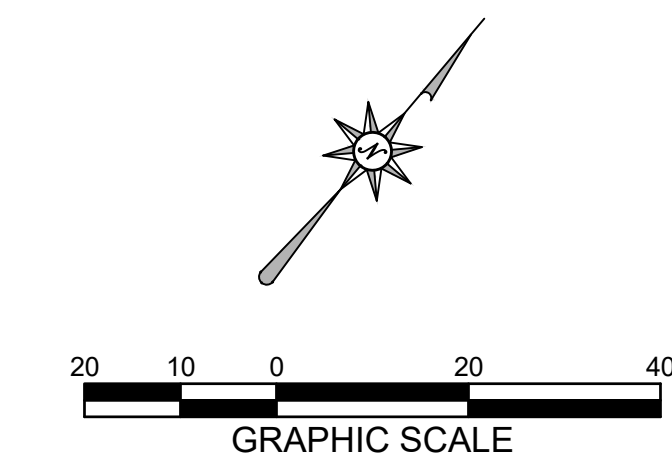
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EROSION CONTROL  
PLAN

**C500**

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CONSTRUCTION SEQUENCE:

- FALL 2022 TO SPRING 2023
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
  - CONSTRUCT TEMPORARY SEDIMENT BASIN
  - STRIP TOPSOIL WITHIN GRADING LIMITS
  - ROUGH GRADE SITE
  - CONSTRUCT BUILDING
  - INSTALL SITE UTILITIES
  - INSTALL BASE COURSE
  - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
  - INSTALL PAVEMENT
  - INSTALL BIOFILTER
  - RE-SEED ANY UNVEGETATED AREAS
  - REMOVE EROSION CONTROL BMPs UPON SITE STABILIZATION

SHEET KEY NOTES:

- ① INLET PROTECTION; SEE DETAIL A SHEET C501
- ② SILT FENCE; SEE DETAIL B SHEET C501
- ③ STONE TRACKING PAD; SEE DETAIL C SHEET C501
- ④ TEMPORARY SEDIMENT BASIN; SEE D SHEET C501
- ⑤ TEMPORARY STOCKPILES

CONSTRUCTION NOTES:

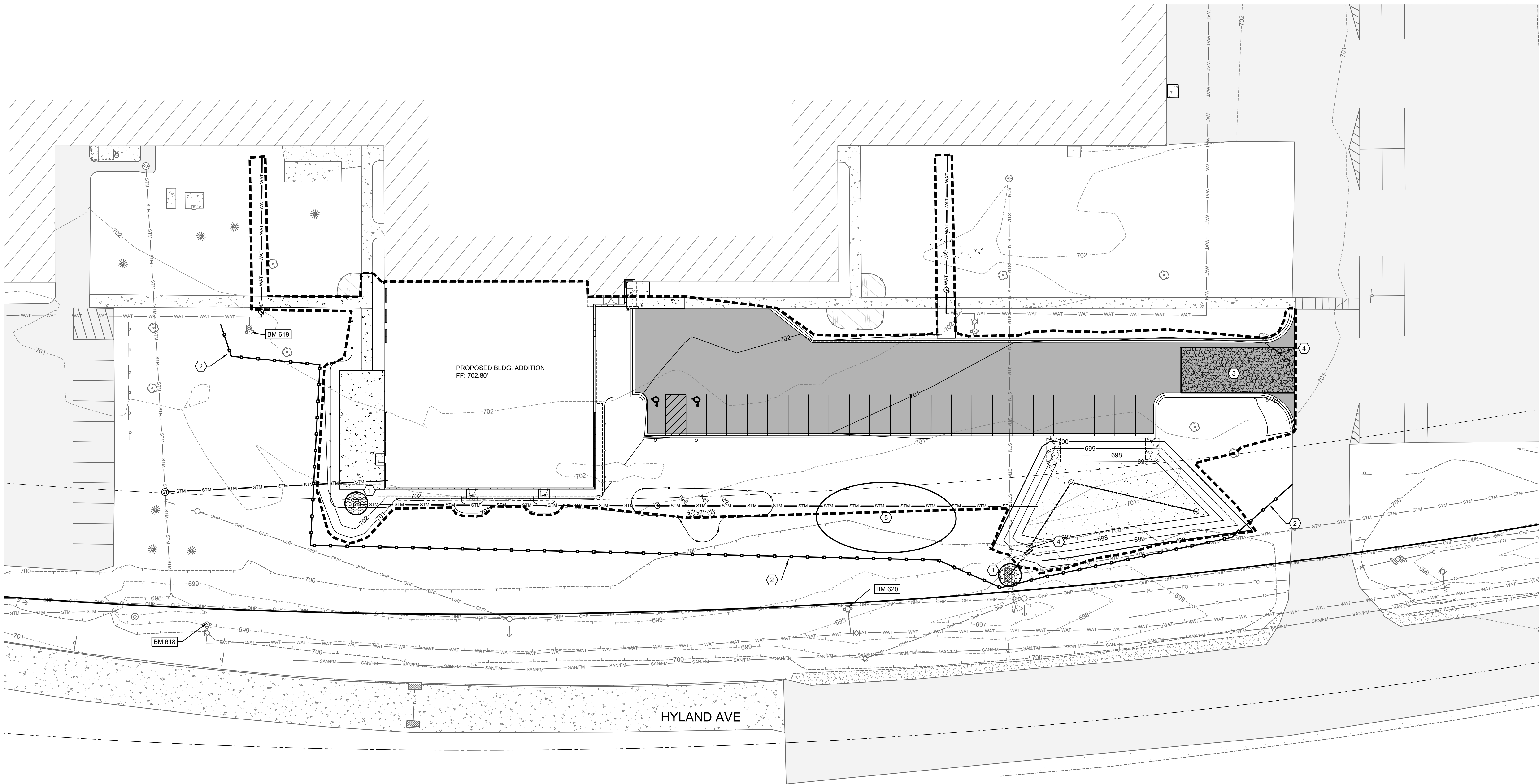
1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 3 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

PLANNED EROSION CONTROL PRACTICES:

1. SILT FENCE (TECH. STANDARD 1059)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. INLET PROTECTION (TECH. STANDARD 1060)  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. DUST CONTROL (TECH. STANDARD 1068)  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. STOCKPILED TOPSOIL/TEMPORARY FILL PILES  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1067)  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. EROSION CONTROL MATS (TECH. STANDARD 1063)  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. DEWATERING (TECH. STANDARD 1061)  
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.



HYLAND AVE

PROPOSED BLDG. ADDITION  
FF: 702.80'

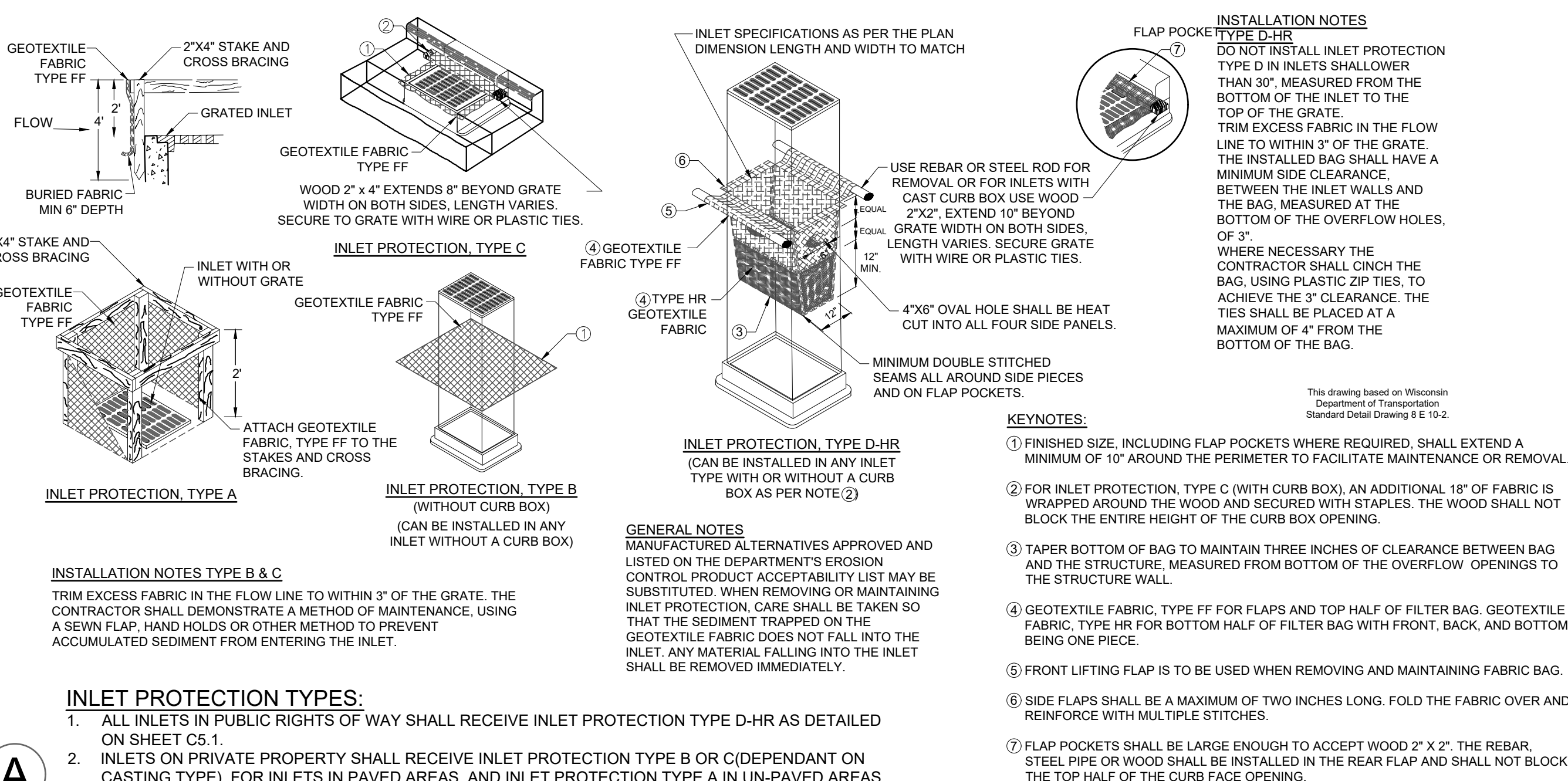
BM 619

BM 620

BM 618



**E**

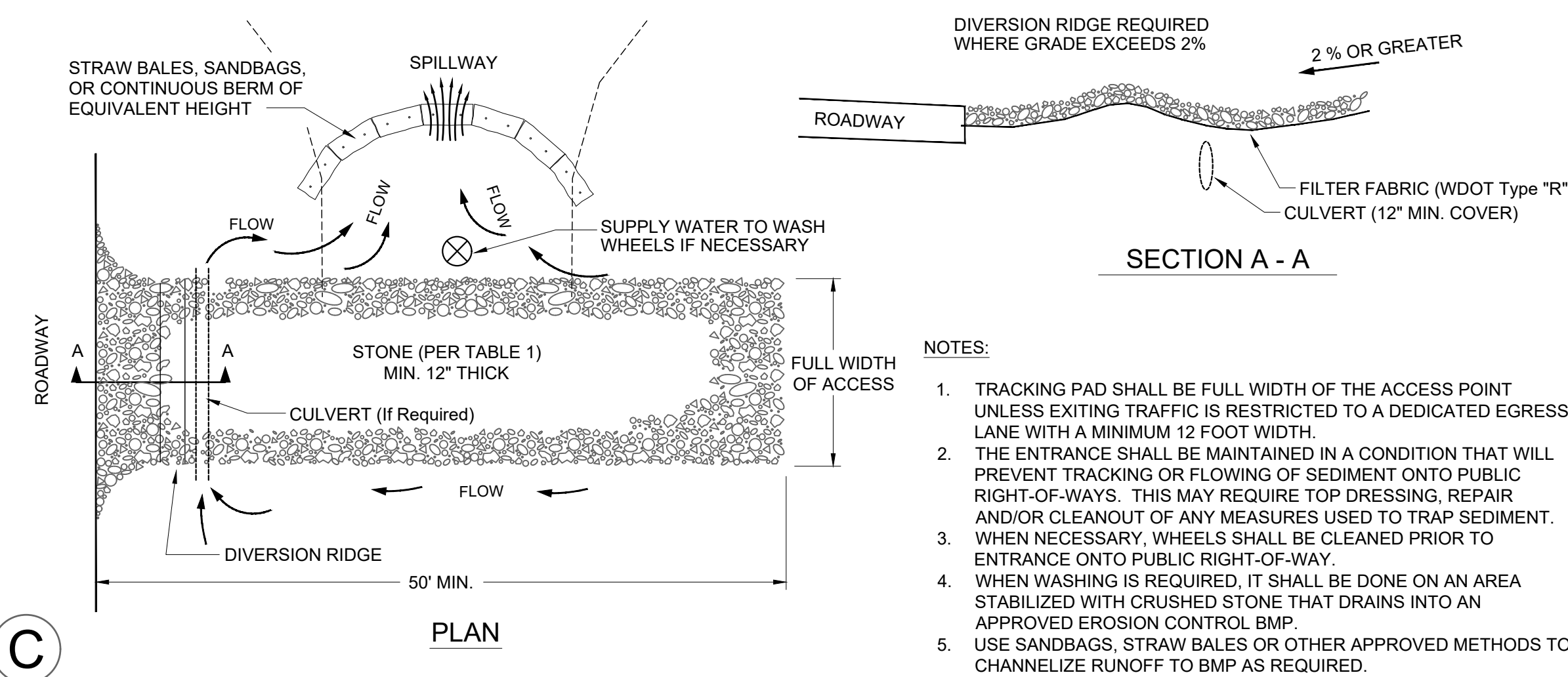


D

## INLET PROTECTION

| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 3"         | 100                 |
| 2 1/2"     | 90-100              |
| 1 1/2"     | 25-60               |
| 3/4"       | 0-20                |
| 3/8"       | 0-5                 |

**C**

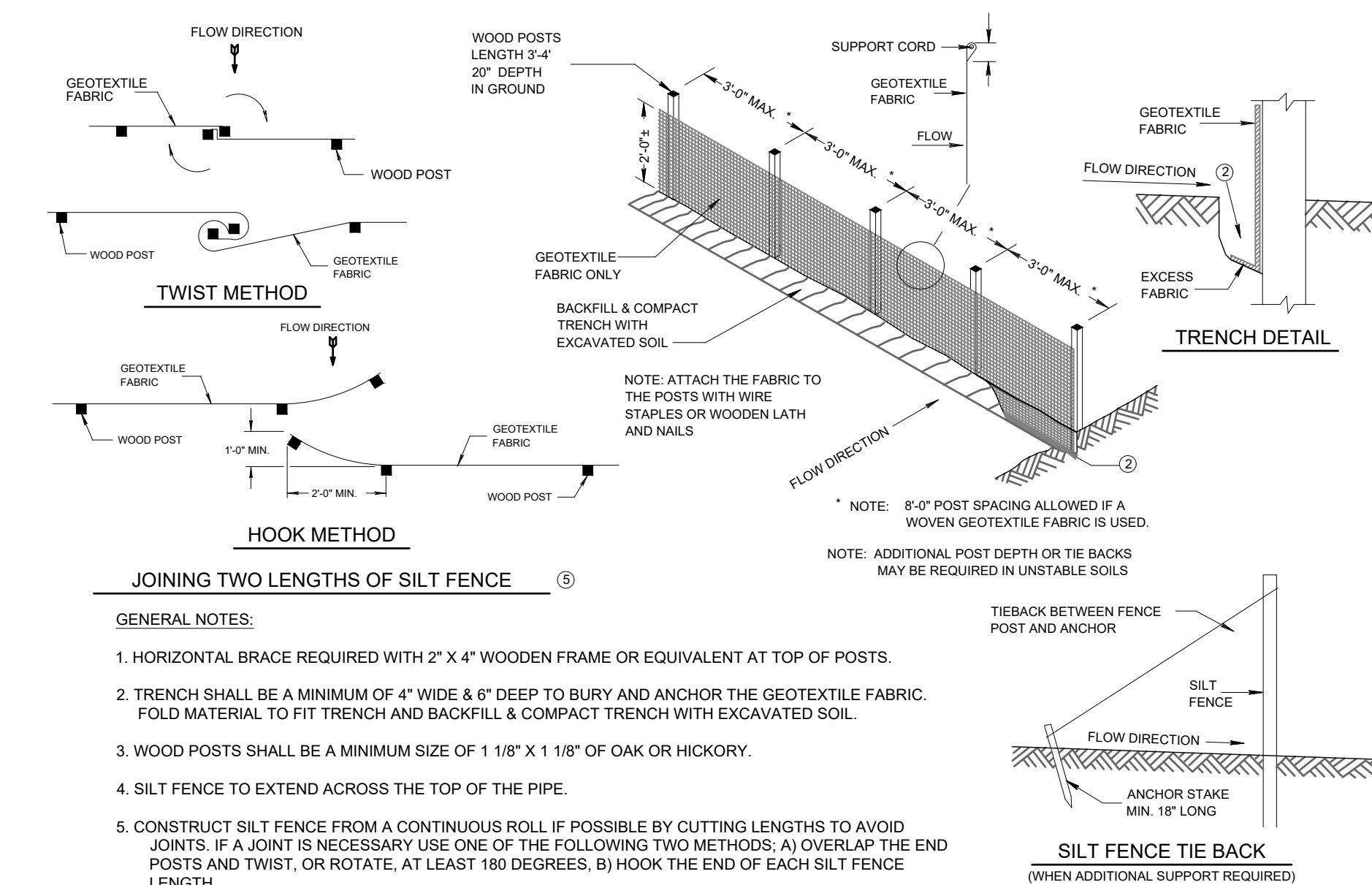


**B**

**A**

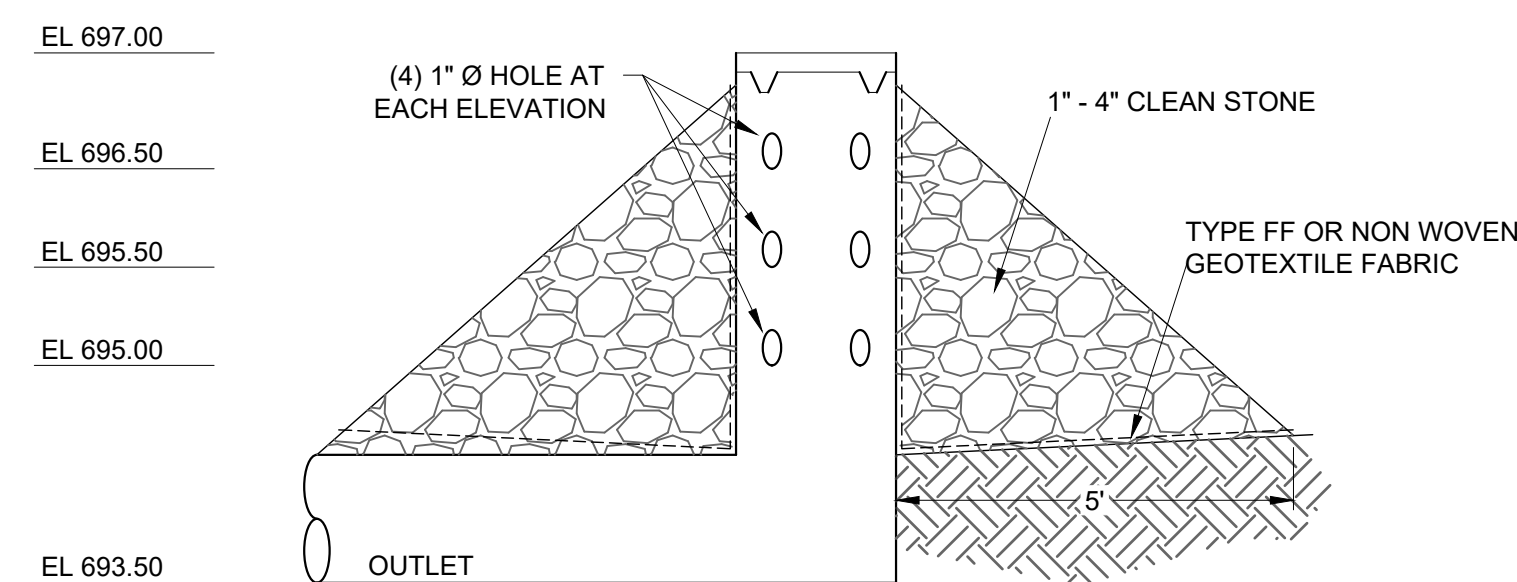
**B**

SILT FENCE



**D**

### TEMPORARY SEDIMENT BASIN



## PROJECT INFORMATION

Bassett Mechanical  
Office Addition

D 1215 Hyland Ave.  
Kaukauna, WI 54130

## ISSUANCE AND REVISIONS

| DATE      | DESCRIPTION    |
|-----------|----------------|
| 11/3/2022 | CITY SUBMITTAL |

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

|                 |       |
|-----------------|-------|
| PROJECT MANAGER | PM    |
| PROJECT NUMBER  | 92214 |

## EROSION CONTROL DETAILS

# C501

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 1771-05-22





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PROJECT INFORMATION

Bassett Mechanical  
Office Addition

1215 Hyland Ave.  
Kaukauna, WI 54130

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PROJECT MANAGER PM  
PROJECT NUMBER 922140

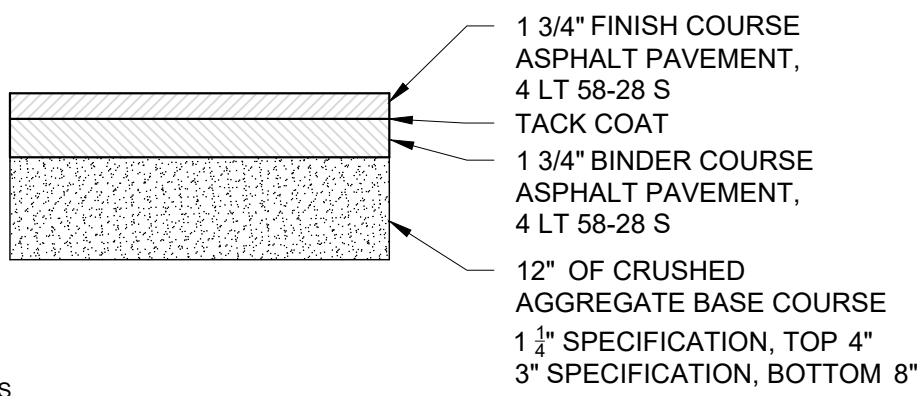
SITE DETAILS

**C600**

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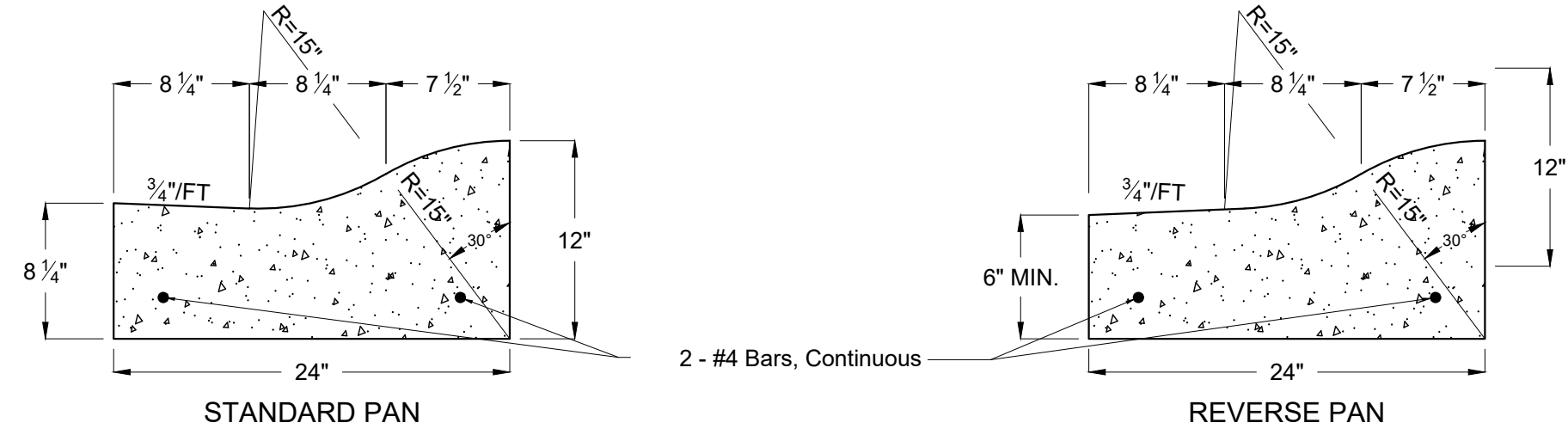


2260 Salscheider Court Green Bay, WI 54313  
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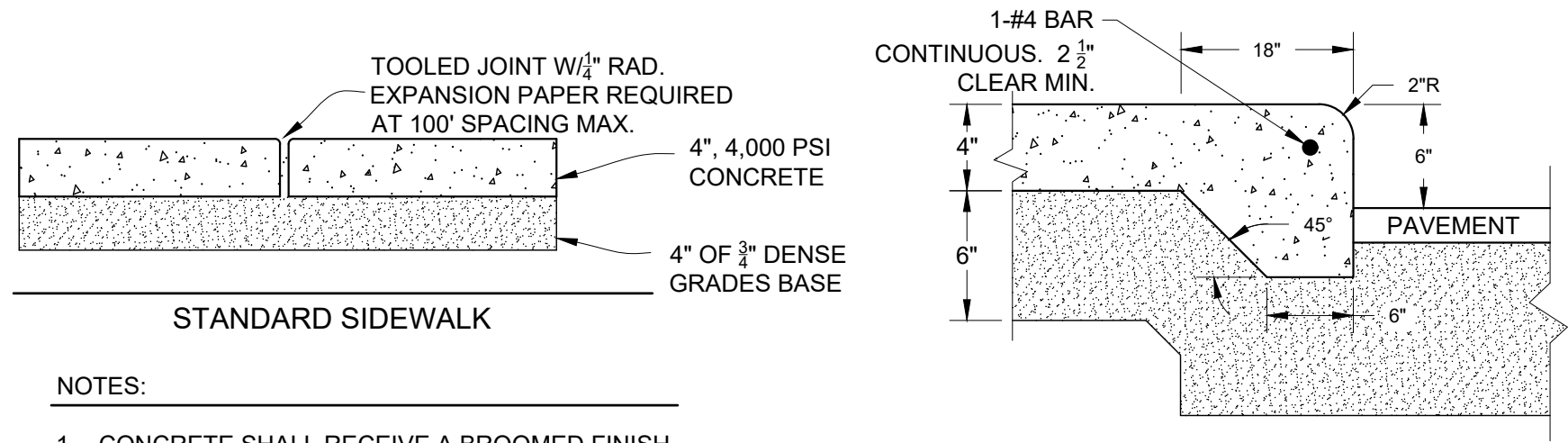
- NOTES:
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

**A** STANDARD DUTY ASPHALT PAVEMENT



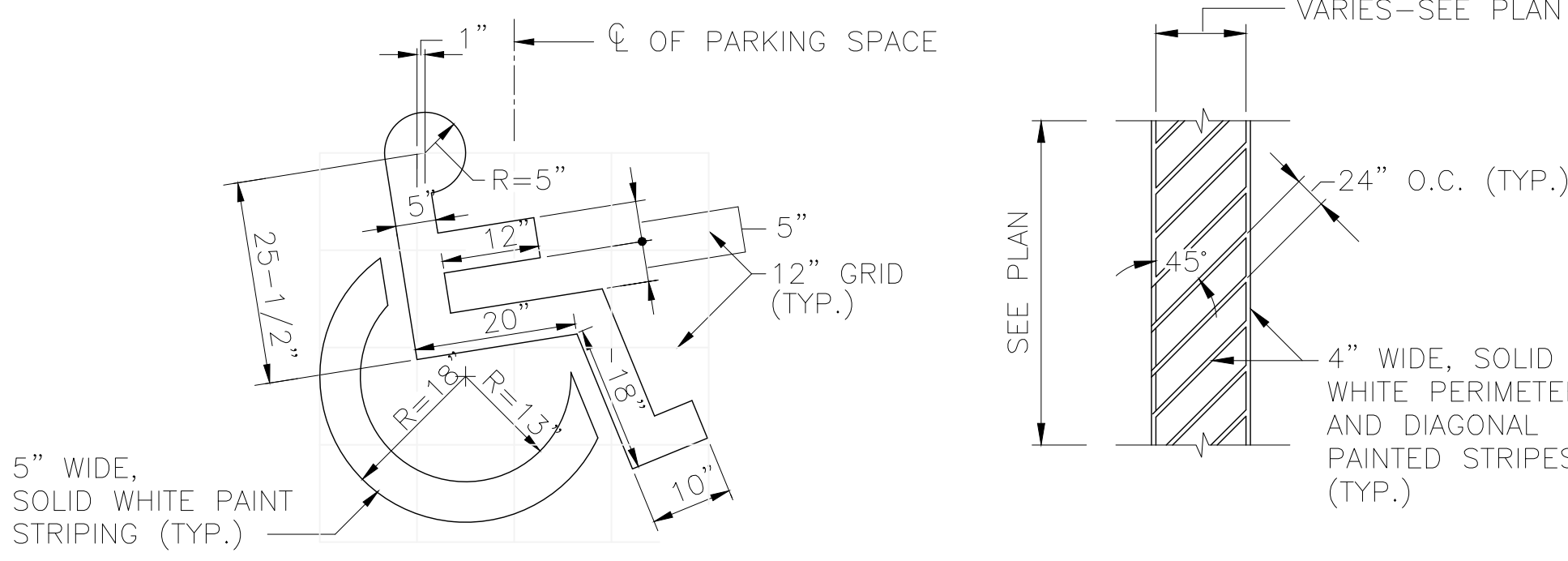
- NOTES:
- THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUB-GRADE.
  - LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
  - CURB SHALL BE PLACED ON A MINIMUM OF 6" OF DENSE GRADED BASE.

**B** 24" MOUNTABLE CURB AND GUTTER

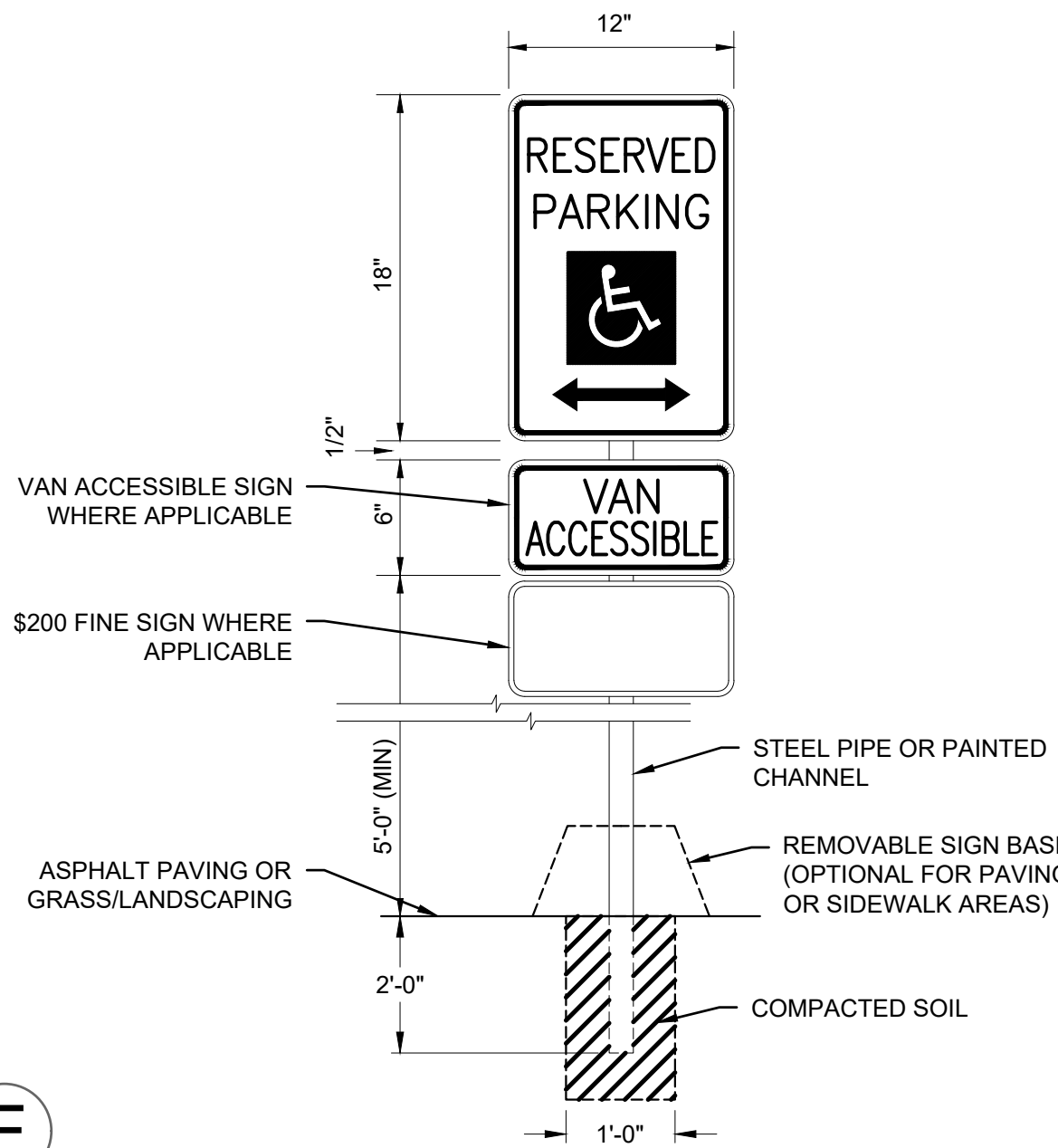


- NOTES:
- CONCRETE SHALL RECEIVE A BROOMED FINISH.
  - JOINT SPACING SHALL BE 9' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER. (10' MAX).
  - SIDEWALK WIDTH VARIES.

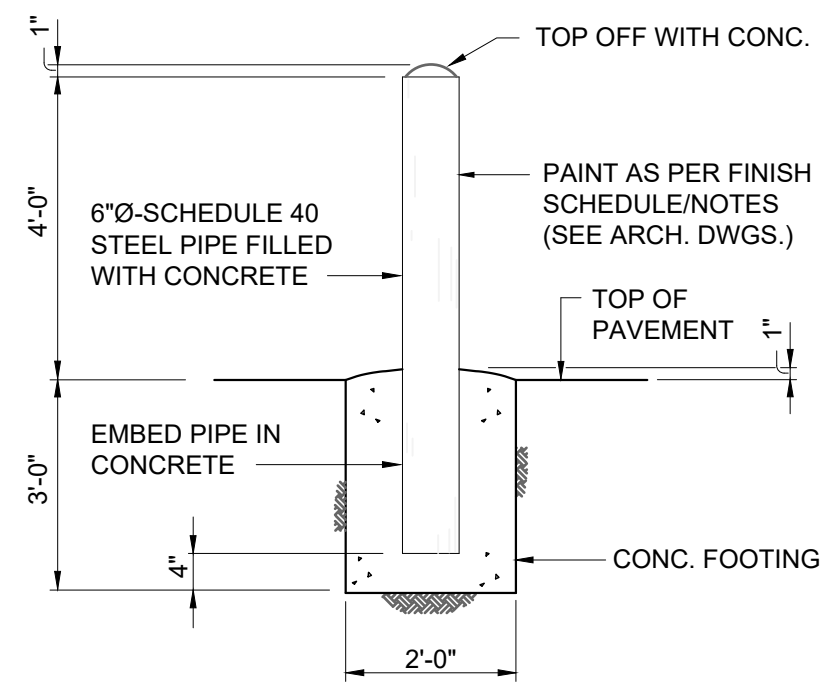
**C** CONCRETE SIDEWALK



**D** HANDICAP PAVEMENT MARKING DETAILS



**E** ADA HANDICAP SIGN



**F** PIPE BOLLARD



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E

## PROJECT INFORMATION

Bassett Mechanical  
Office Addition

D 1215 Hyland Ave.  
Kaukauna, WI 54130

## ISSUANCE AND REVISIONS

| DATE      | DESCRIPTION    |
|-----------|----------------|
| 11/3/2022 | CITY SUBMITTAL |

## KEY PLAN

## SHEET INFORMATION

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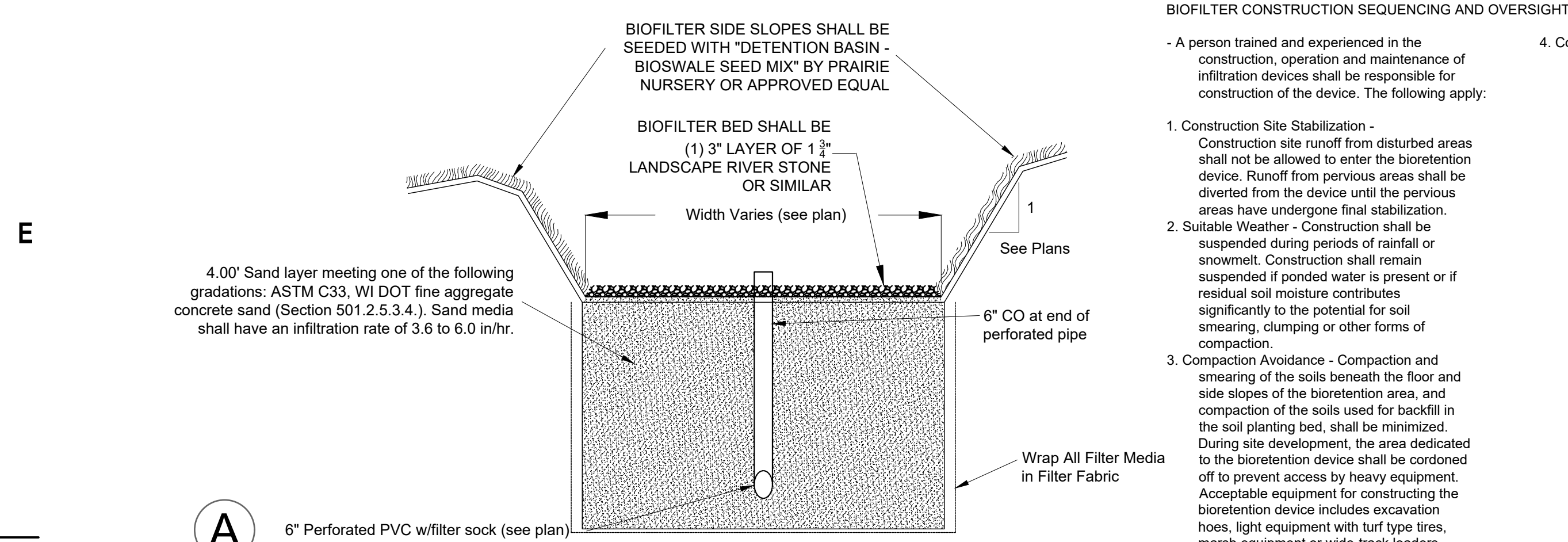
PROJECT MANAGER PM

PROJECT NUMBER 922140

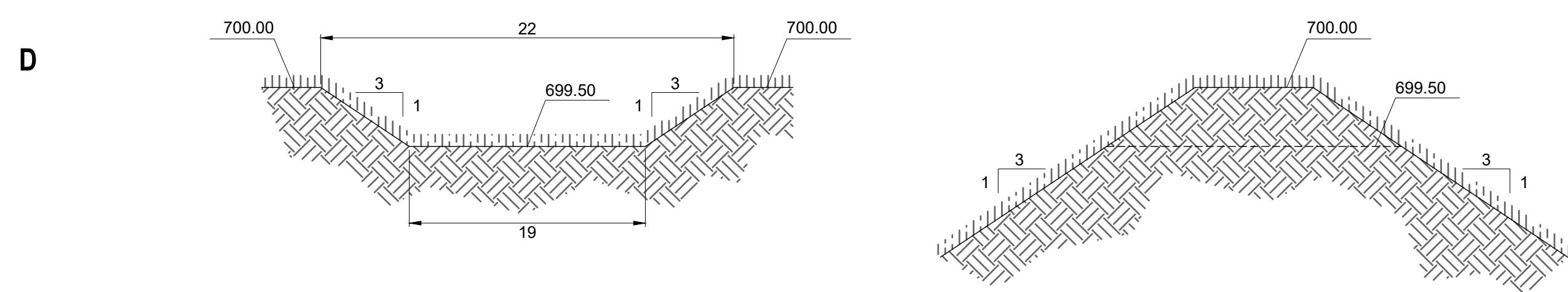
## UTILITY DETAILS

# C601

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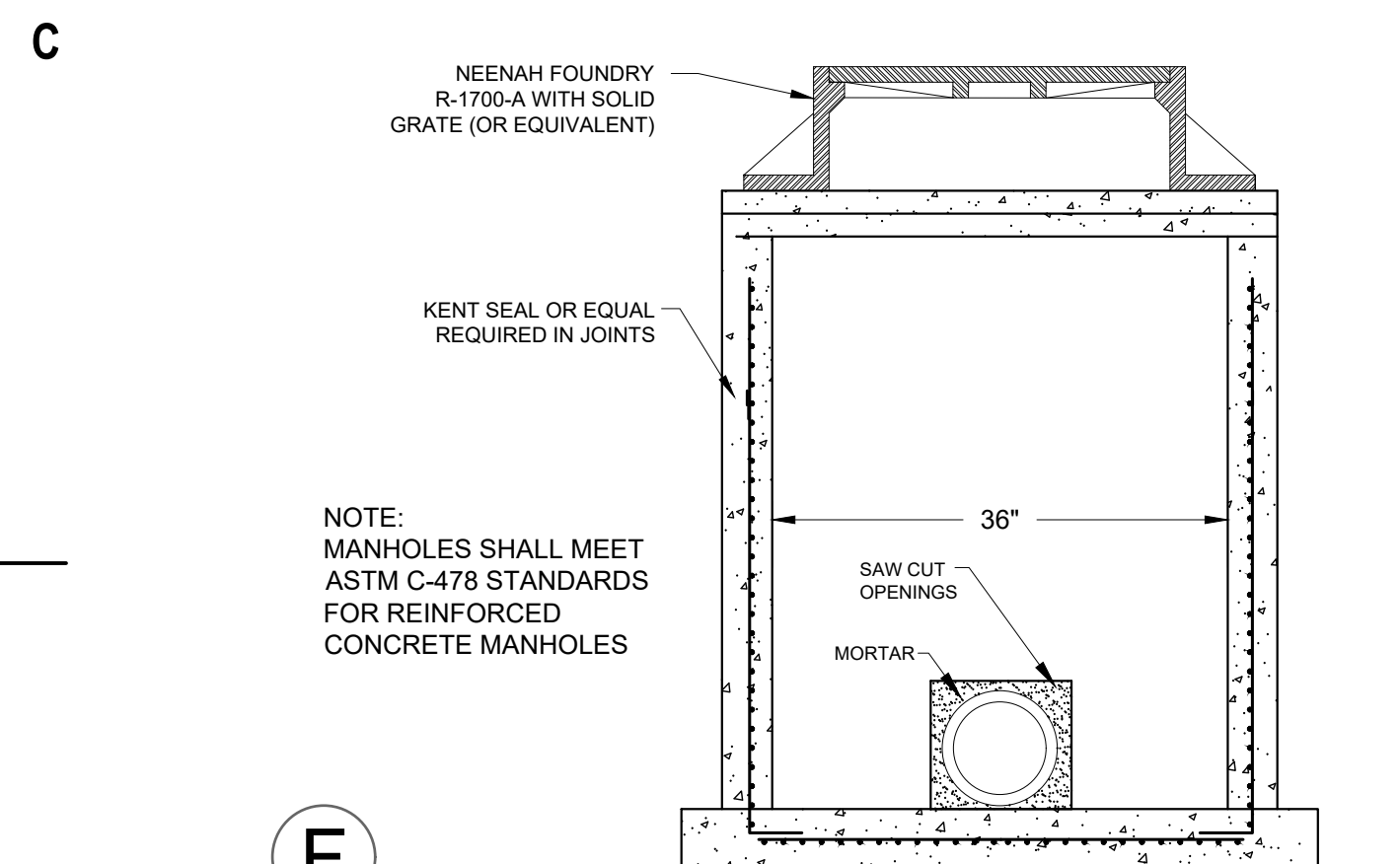
### TYPICAL BIOFILTER CROSS SECTION



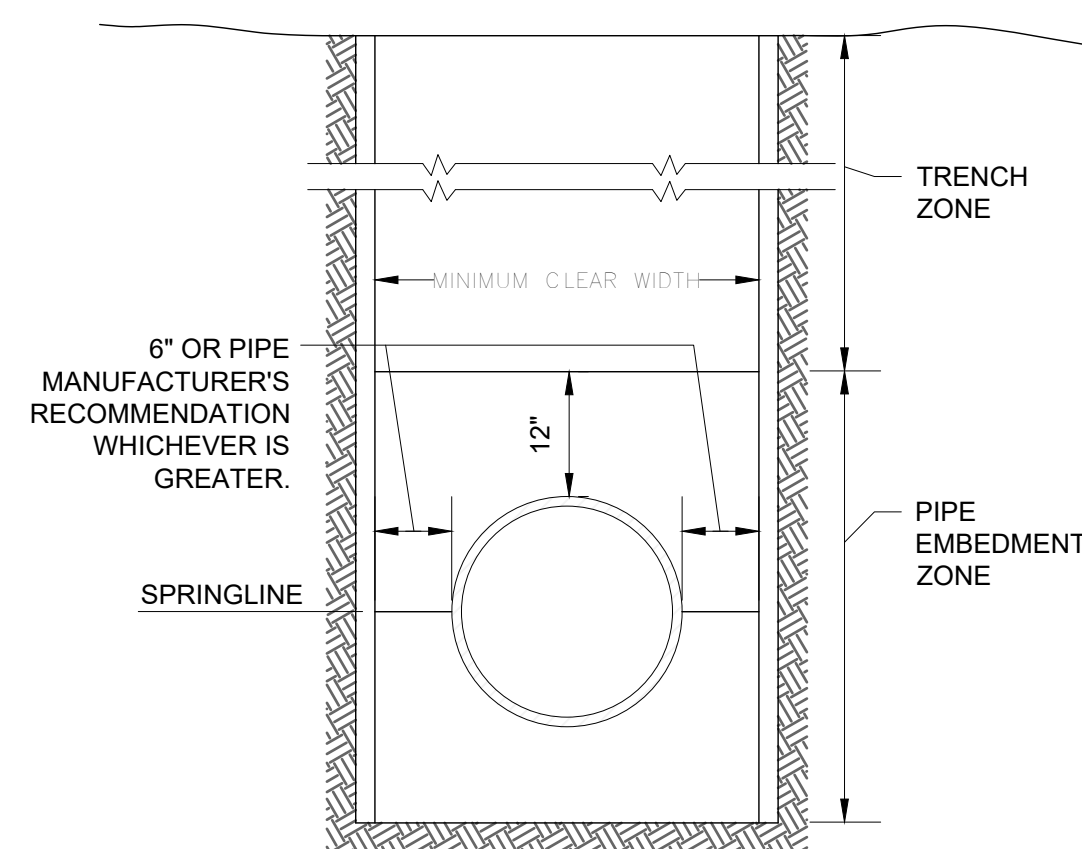
TRANSVERSE X-SECTION

(C)

STORM WATER EMERGENCY OVERFLOW WEIR



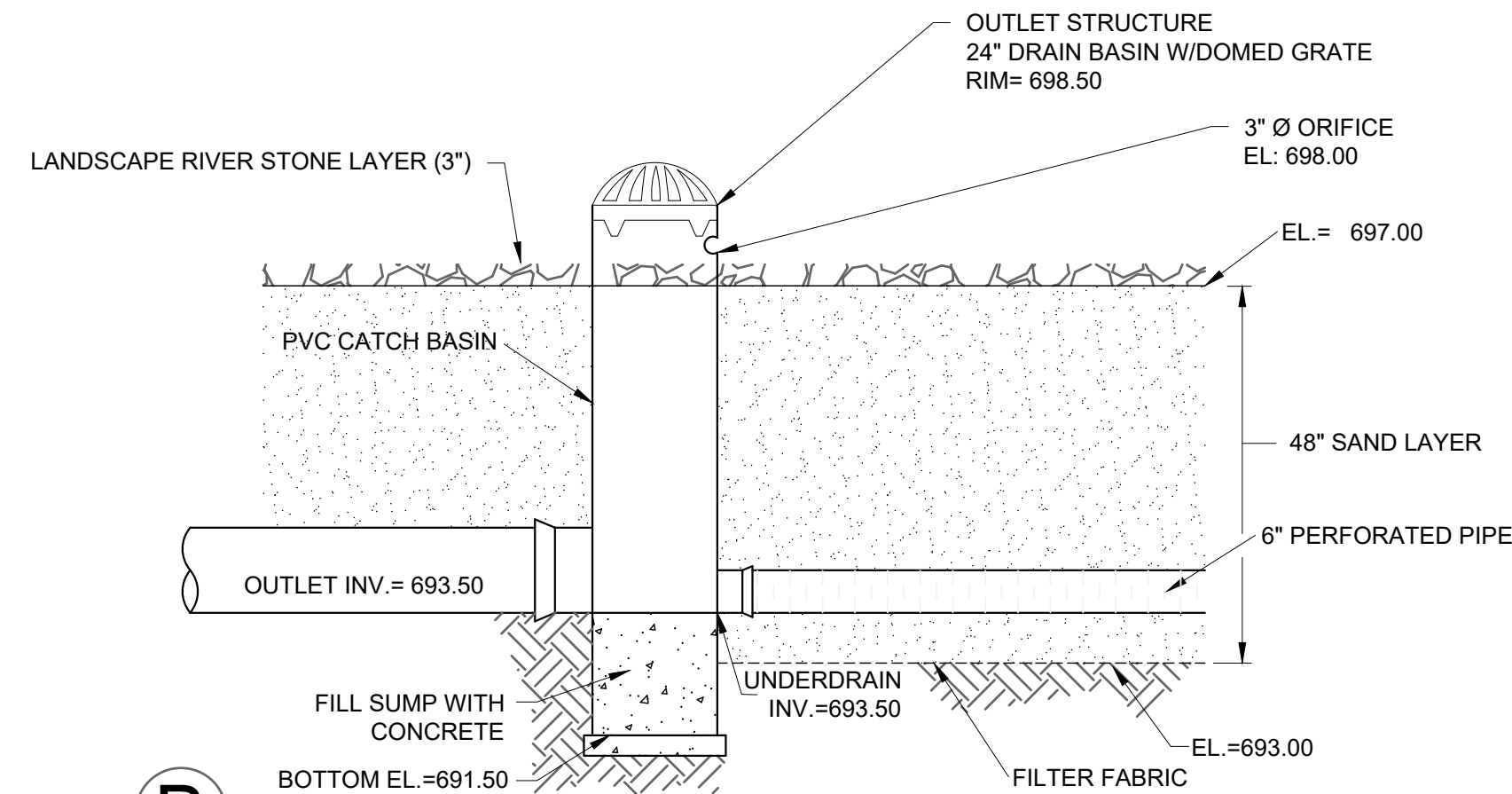
STORM SEWER MANHOLE (36" DIA.)



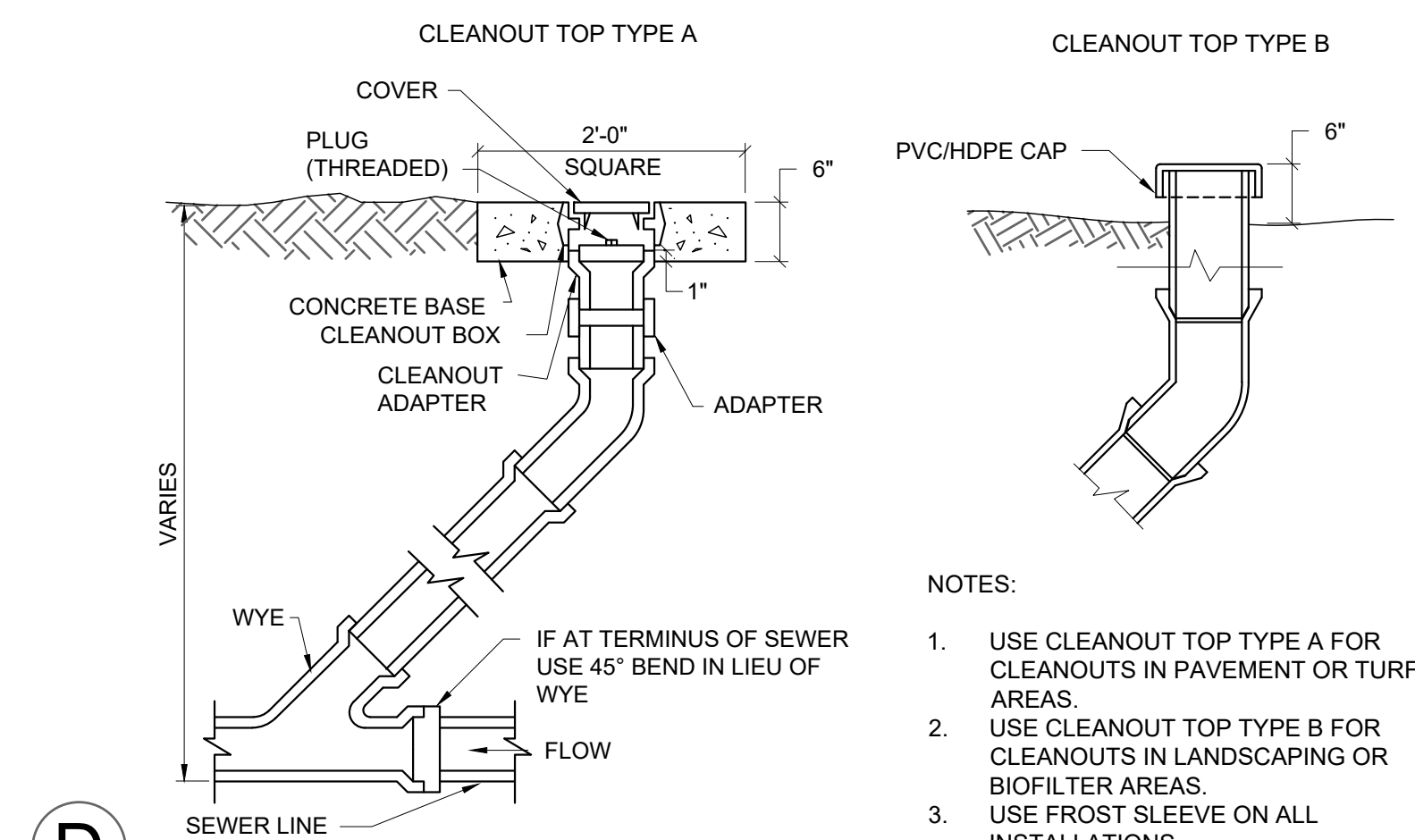
**G** STANDARD PIPE BEDDING DETAIL

## BIOFILTER CONSTRUCTION SEQUENCING AND OVERSIGHT

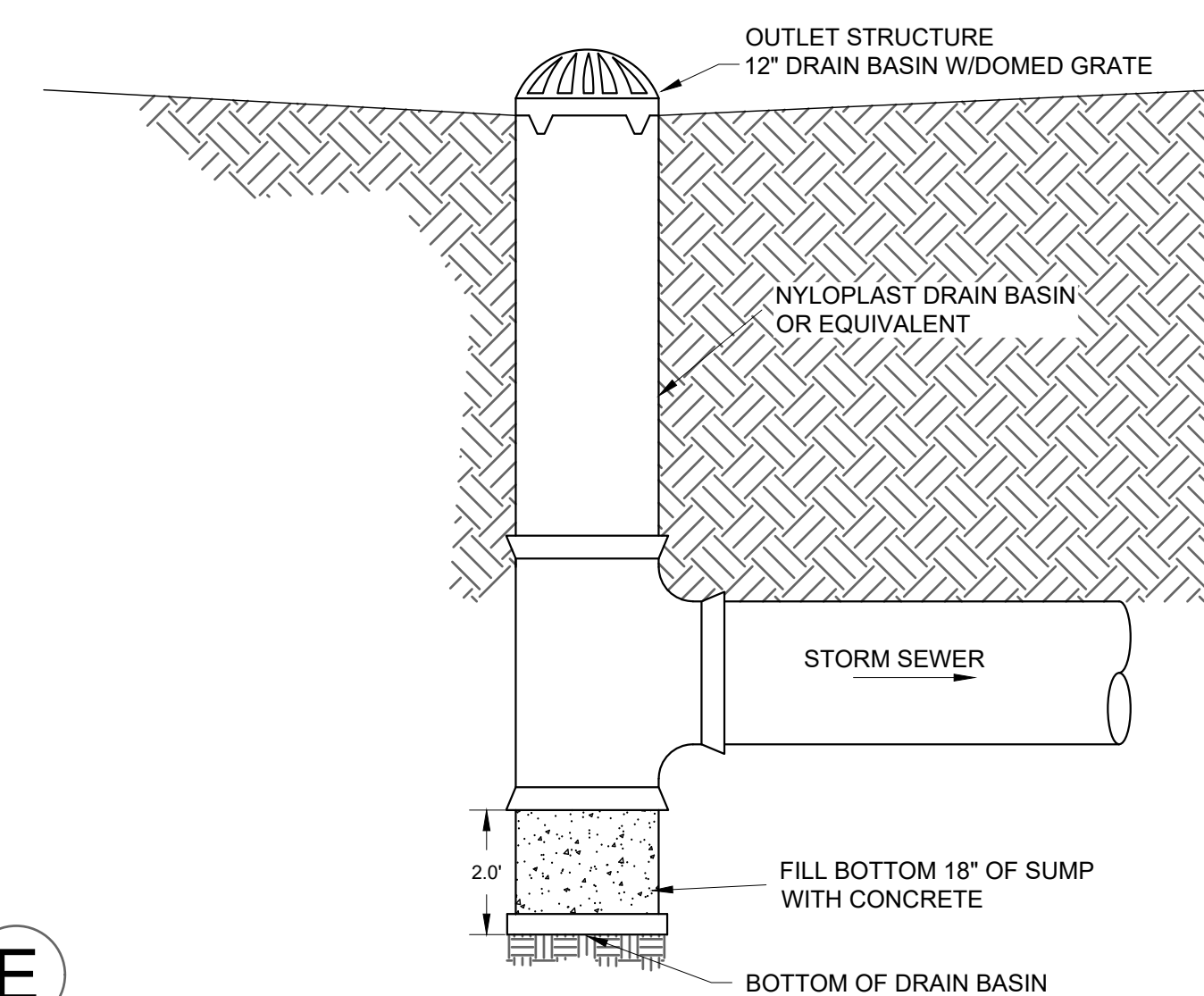
- A person trained and experienced in the construction, operation and maintenance of infiltration devices shall be responsible for the construction of the device. The following apply:
  1. **Construction Site Stabilization** - Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from pervious areas shall be diverted from the device until the pervious areas have undergone final stabilization.
  2. **Suitable Weather** - Construction shall be suspended during periods of rainfall or snowmelt. Construction shall not be resumed if ponded water is present or if residual soil moisture contributes significantly to the potential for soil smearing, clumping or other forms of compaction.
  3. **Compaction Avoidance** - Compaction and smearing of the soils beneath the floor and side slopes of the bioretention area, and compaction of the soils used for backfill in the soil planting bed, shall be minimized. During site development, the areas dedicated to the bioretention device shall be cordoned off to prevent access by heavy equipment. Acceptable equipment for construction of the bioretention device includes excavators, hoes, light equipment with turf type tires, marsh equipment or wide-track equipment.
4. **Compaction Remediation** - If compaction occurs at the base of the bioretention device, the soil shall be restructured to a depth of at least 12 inches. If smearing occurs, the smeared areas of the interface shall be corrected by raking or roller-tilling.



## BIOFILTER OUTLET STRUCTURE



## CLEANOUT



YARD DRAIN





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## PROJECT INFORMATION

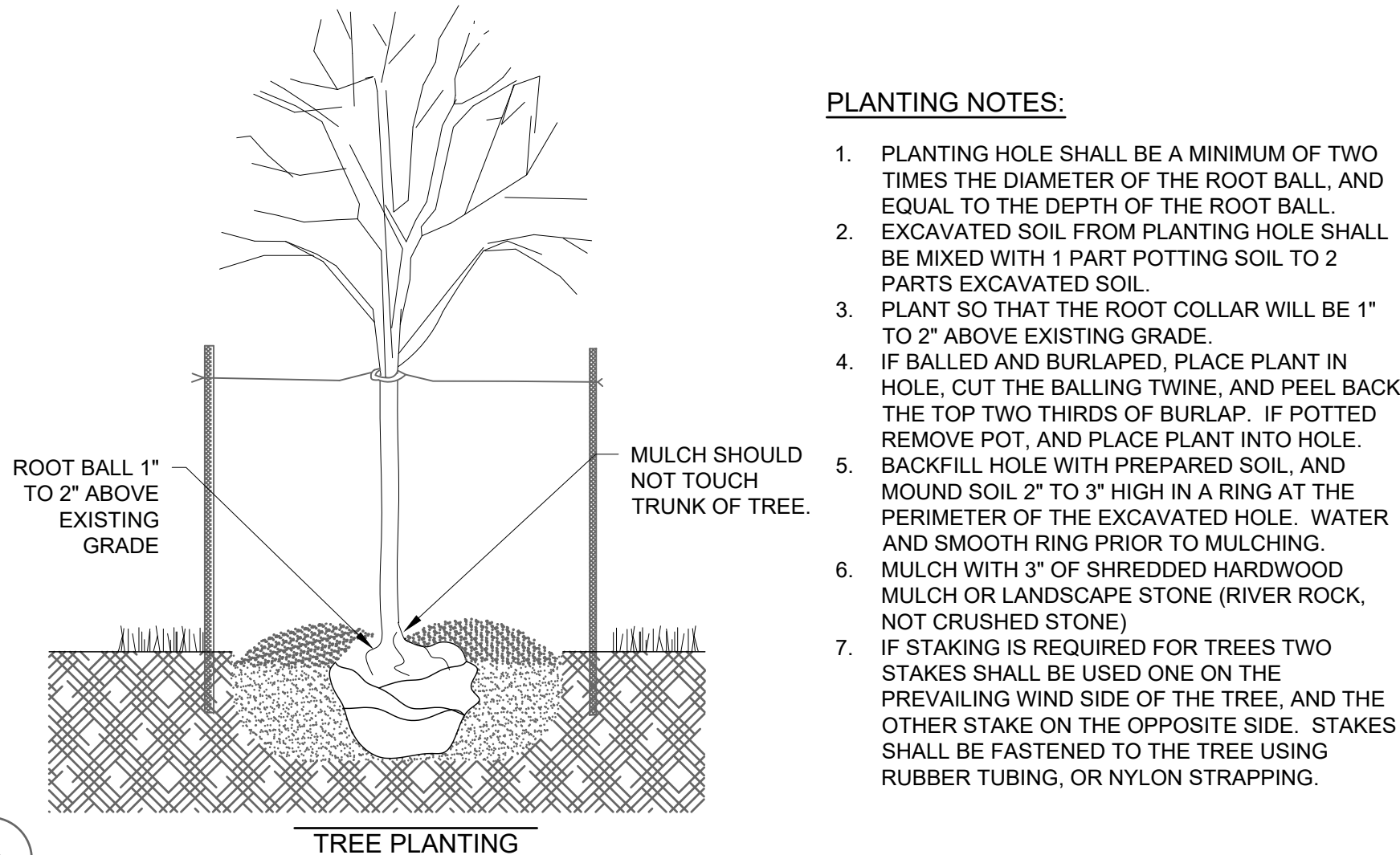
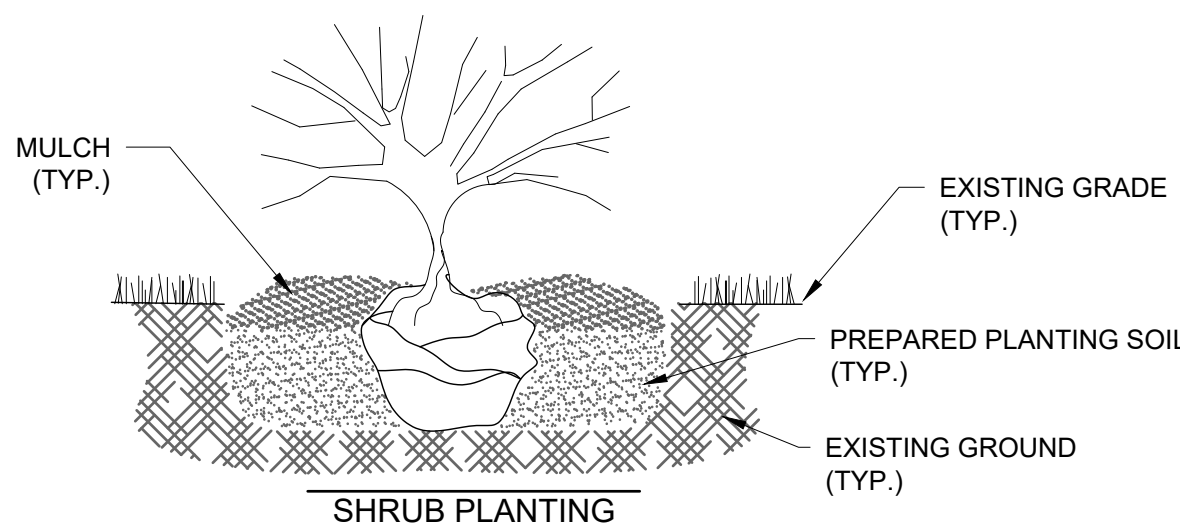
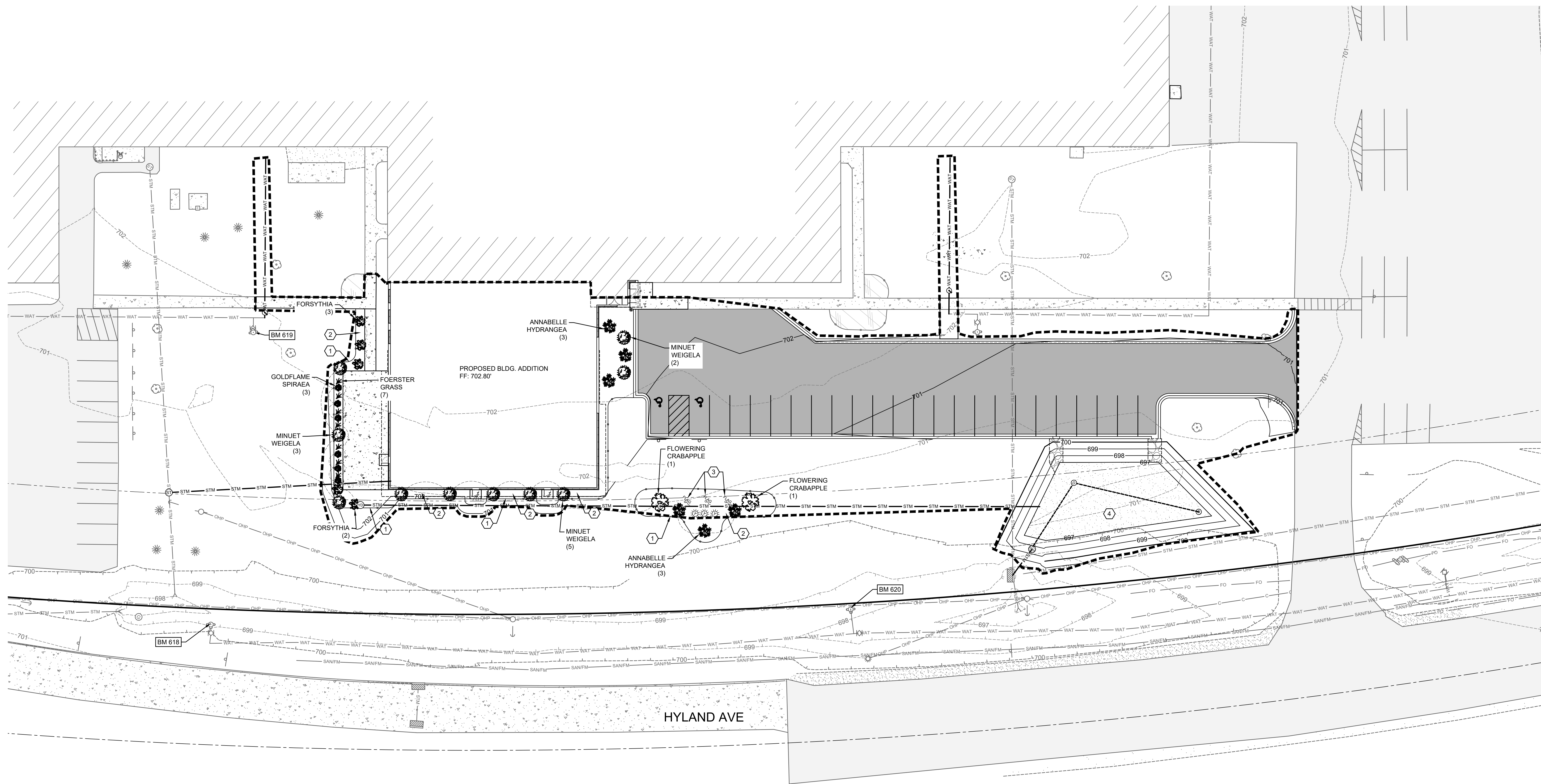
**Bassett Mechanical  
Office Addition**

**1215 Hyland Ave.  
Kaukauna, WI 54130**

## ISSUANCE AND REVISIONS

| DATE      | DESCRIPTION    |
|-----------|----------------|
| 11/3/2022 | CITY SUBMITTAL |

## KEY PLAN



**A**  
**PLANTING DETAIL**

## PLANT TABLE

| SYMBOL | COMMON NAME         | SCIENTIFIC NAME                   | QUANTITY | SIZE   |
|--------|---------------------|-----------------------------------|----------|--------|
|        | FLOWERING CRABAPPLE | MALUS 'ROSACEAE'                  | 2        | 1 1/4" |
|        | ANNABELLE HYDRANGEA | HYDRANGEA ARBORESCENS 'ANNABELLE' | 6        | 3 GAL. |
|        | GOLDFLAME SPIRAEA   | SPIRAEA X BUMALDA 'GOLDFLAME'     | 6        | 3 GAL. |
|        | MINUET WEIGELA      | WEIGELA FLORIDA 'MINUET'          | 10       | 3 GAL. |
|        | FOERSTER GRASS      | CALAMAGROSTIS X ACUTIFLORA        | 7        | 1 GAL. |
|        | FORSYTHIA           | FORSYTHIA                         | 5        | 3 GAL. |

## LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.

## SHEET KEY NOTES:

- PROFESSIONAL GRADE EDGING
- MATCH EXISTING STONE WITH WEED BARRIER FABRIC
- NEW FLAG POLE (3)
- BIOFILTER; SEE DETAIL A SHEET C601

## SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER PM

PROJECT NUMBER 922140

## LANDSCAPE PLAN

**L100**

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PROJECT INFORMATION

Bassett Mechanical  
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|------|-------------|
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KEY PLAN

SHEET INFORMATION

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|-----------------|--------|
| PROJECT MANAGER | PM     |
| PROJECT NUMBER  | 922140 |

SOUTHEAST  
RENDERING

A301







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|                 |        |
|-----------------|--------|
| PROJECT MANAGER | PM     |
| PROJECT NUMBER  | 922140 |

SOUTHWEST  
RENDERING

A302

1

2

3

4

5

6

7

E

E

D

D

C

C

B

B

A

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3

4

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7





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## SHEET NOTES - FLOOR PLAN

1. ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
2. REFER TO SHEET A000 FOR REFERENCED PARTITION TYPES AND DETAILS. WALLS NOT TAGGED ON THESE PLANS SHALL BE PARTITION TYPE S3A-S11.
3. ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES SHALL RECEIVE MOISTURE- AND MOLD-RESISTANT GYPSUM BOARD, UNLESS NOTED OTHERWISE.
4. LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
5. PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.

## KEYNOTES PER SHEET

- |         |  |
|---------|--|
| 0921-02 | DEMOLISHED WINDOW AREA: IN-FILL WHERE WINDOW WAS REMOVED WITH METAL STUD FRAMING, GYP B0 & SOUND INSULATION. PROVIDE GYP B0 RETURN WHERE SILL WAS REMOVED & PATCH JAMB WHERE BLIND WAS REMOVED |
| OE-05   | REFRIGERATOR OR FREEZER - OWNER SUPPLIED, OWNER INSTALLED  |
| OE-16   | WATER COOLER - OWNER SUPPLIED, OWNER INSTALLED   |

## PROJECT INFORMATION

**Bassett Mechanical  
Office Addition**

**1215 Hyland Ave.  
Kaukauna, WI 54130**

## ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------|-------------|
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## KEY PLAN

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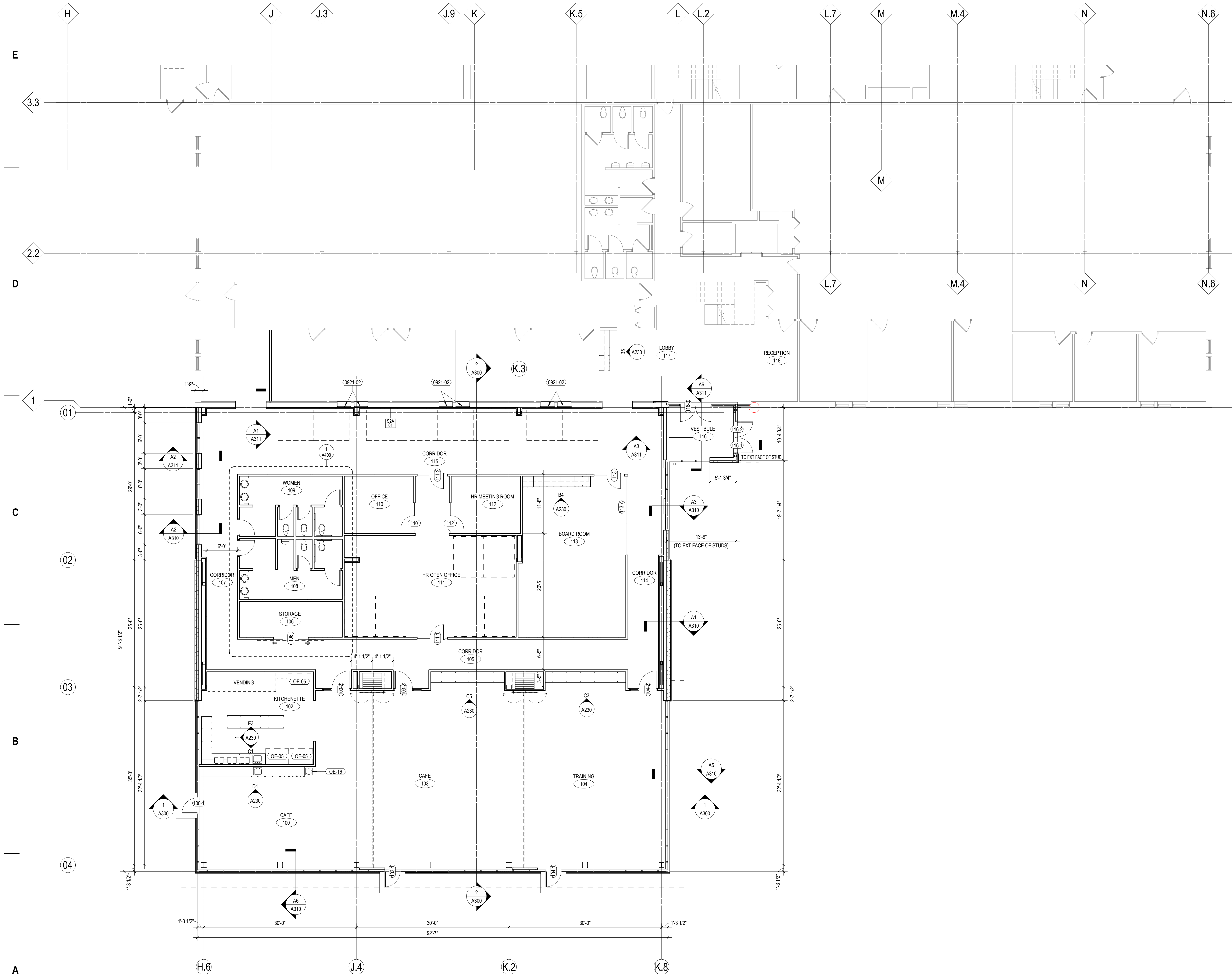
PROJECT MANAGER PM

PROJECT NUMBER 922140

1ST FLR PLAN

**A101**

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N  
**1** 1ST FLR PLAN  
1/8" = 1'-0"



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**SHEET NOTES - FLOOR PLAN**

1. ALL DIMENSION STRINGS ARE TO FINISH FACE OF WALL, UNLESS NOTED OTHERWISE.
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5. PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.

**KEYNOTES PER SHEET**

- 0921-02 DEMOLISHED WINDOW AREA: IN-FILL WHERE WINDOW WAS REMOVED WITH METAL STUD FRAMING, GYP BO & SOUND INSULATION. PROVIDE GYP BO RETURN WHERE SILL WAS REMOVED & PATCH JAMB WHERE BLIND WAS REMOVED

## PROJECT INFORMATION

**Bassett Mechanical  
Office Addition****1215 Hyland Ave.  
Kaukauna, WI 54130**

## ISSUANCE AND REVISIONS

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## KEY PLAN

## SHEET INFORMATION

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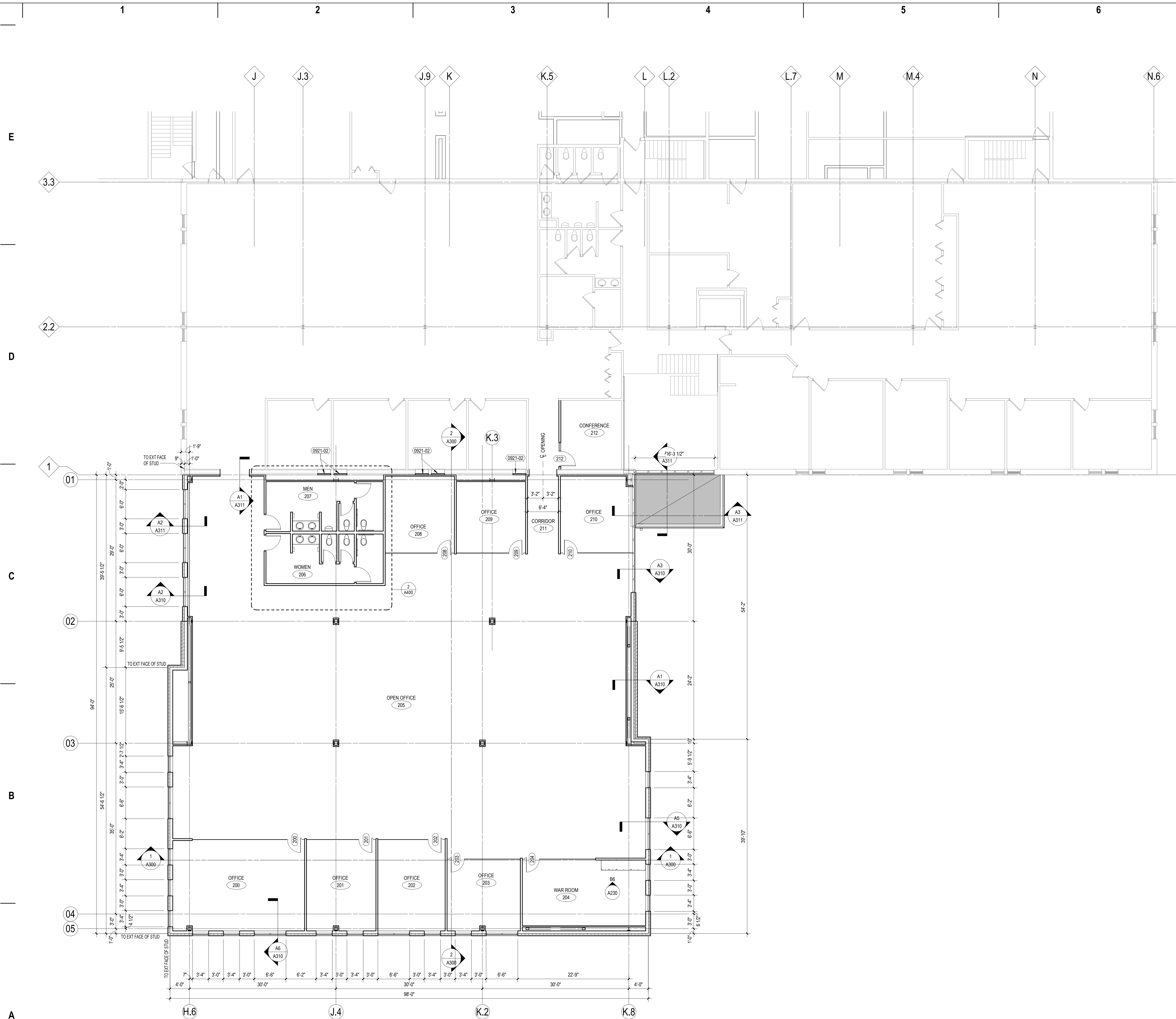
PROJECT MANAGER PM

PROJECT NUMBER 922140

## 2ND FLR PLAN

**A102**

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1 2ND FLR PLAN  
1/8" = 1'-0"





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EXTERIOR BUILDING  
MATERIAL LEGEND

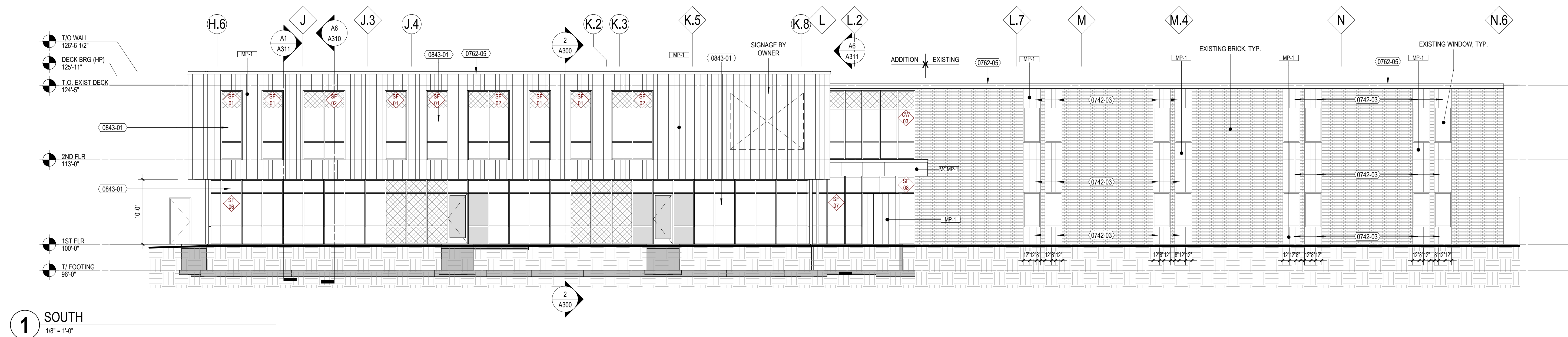
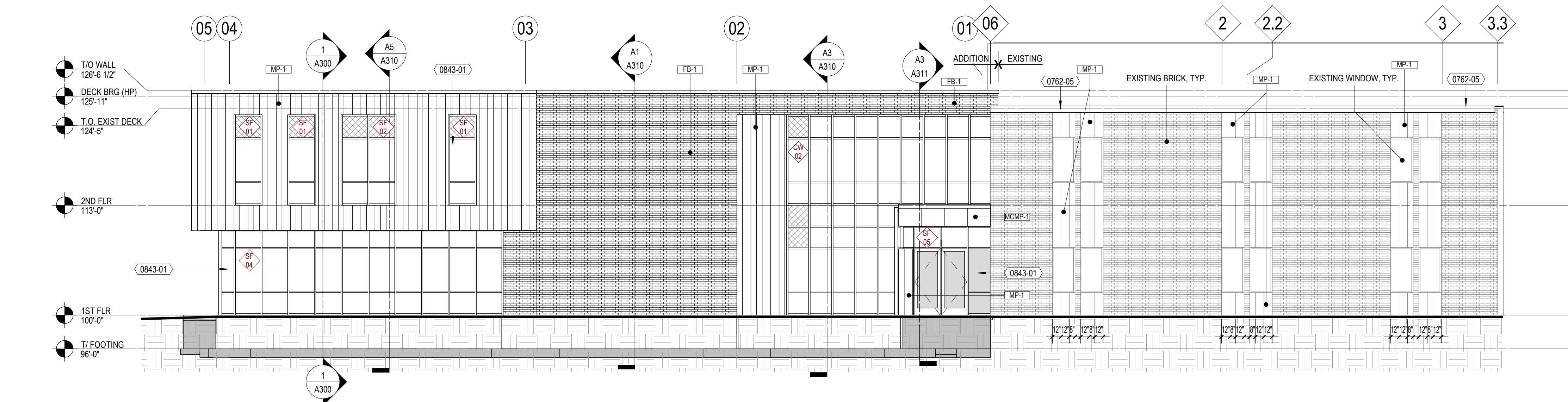
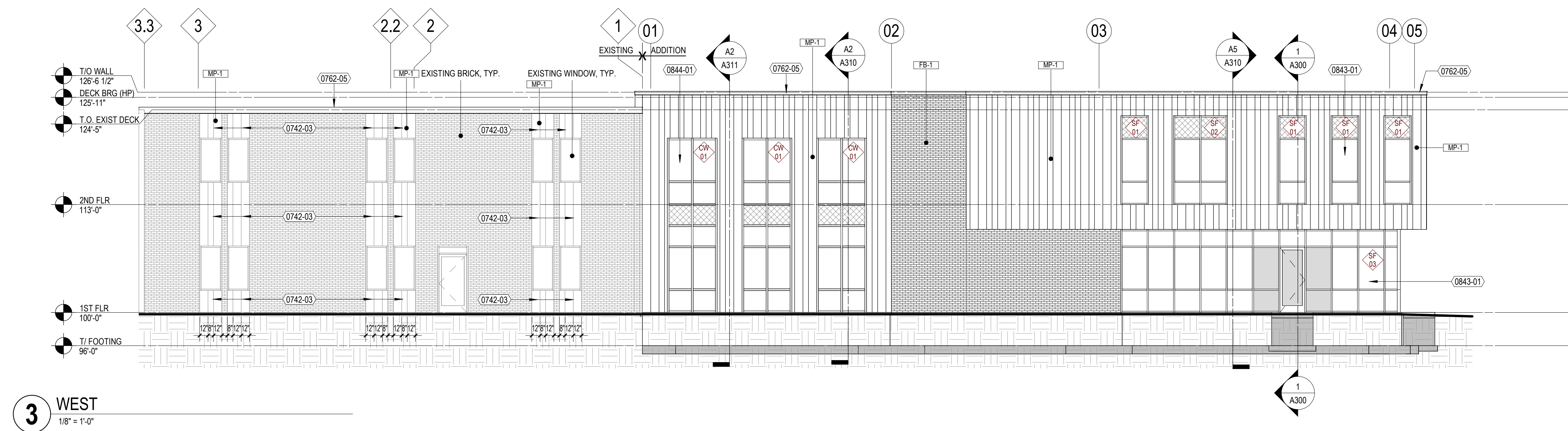
|                                    |                                       |  |                     |
|------------------------------------|---------------------------------------|--|---------------------|
|                                    | FB-1 (FACE BRICK)                     |  | MJ = MOVEMENT JOINT |
|                                    | MCMP (METAL COMPOSITE MATERIAL PANEL) |  |                     |
|                                    | MCMP-1                                |  |                     |
|                                    | (MP) METAL PANEL                      |  |                     |
|                                    | MP-1                                  |  |                     |
| PATTERN:                           |                                       |  |                     |
| • MIN. 8" STARTING VERTICAL PANEL. |                                       |  |                     |
| • 12" VERTICAL:                    |                                       |  |                     |
| • 8" VERTICAL:                     |                                       |  |                     |
| • 8" VERTICAL:                     |                                       |  |                     |
| • 12" VERTICAL:                    |                                       |  |                     |
| • 12" VERTICAL:                    |                                       |  |                     |
| • REPEAT PATTERN                   |                                       |  |                     |

SHEET NOTES -  
EXTERIOR ELEVATIONS

|    |  |
|----|--|
| 1. | SEE SHEET A200 FOR EXTERIOR FRAME TYPES AND DIMENSIONS.                                    |
| 2. | FOR MOVEMENT JOINTS IN CMU REFERENCE STRUCTURAL DRAWINGS.                                  |
| 3. | PAINT ALL EXPOSED STEEL LINTELS.   |
| 4. | EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH OWNER AND SIGNAGE VENDOR. |
| 5. | ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.                                   |

## KEYNOTES PER SHEET

|         |  |
|---------|--|
| 0742-03 | PREFINISHED METAL STANDING SEAM WALL PANEL |
| 0762-05 | PREFINISHED METAL ROOF EDGE                |
| 0843-01 | ALUMINUM-FRAMED STOREFRONT                 |
| 0844-01 | ALUMINUM-FRAMED CURTAIN WALL               |

1 SOUTH  
1/8" = 1'-0"2 EAST  
1/8" = 1'-0"3 WEST  
1/8" = 1'-0"

## PROJECT INFORMATION

Bassett Mechanical  
Office Addition1215 Hyland Ave.  
Kaukauna, WI 54130

## ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|------|-------------|
|------|-------------|

## KEY PLAN

## SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM

PROJECT NUMBER 922140

EXTERIOR  
ELEVATIONS

A200