

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, July 23, 2026 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - [a.](#) Approve Minutes from July 9, 2026
3. Old Business.
4. New Business.
 - [a.](#) Special Exception Request - Haven Heritage Adult Family Home
 - [b.](#) Site Plan Review - Profile Finishing Systems (1700-1800 Progress Way)
 - [c.](#) Site Plan Review - TEAM Industries (1100 Prospect Lane)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



PLAN COMMISSION

City of Kaukauna

Council Chambers

Municipal Services Building

144 W. Second Street, Kaukauna



Thursday, July 9, 2026 at 4:00 PM

MINUTES**In-Person in Council Chambers**

Mayor Penterman called the meeting to order at 4:02 p.m.

1. Roll Call

Members Present: Brett Jensen, Giovanna Feller, John Neumeier, John Moore, Ken Schoenike, Kelli Antoine, Mayor Tony Penterman

Members Absent: Michael Avanzi

Others Present: Tim Wittmann (Davel Engineering)

Moore made a motion to excuse the absent member. Seconded by Neumeier. The motion passed unanimously.

2. Approval of Minutes

a. Approve Minutes from June 18, 2026

Moore made a motion to approve the minutes from June 18, 2026. Seconded by Feller. The motion passed unanimously.

3. Old Business

a. None

4. New Business

a. Preliminary Plat Review – High Pointe Meadows Subdivision Phase 1

Director of Public Works/City Engineer Neumeier introduced the preliminary plat for High Pointe Meadows Subdivision Phase 1. At the last Plan Commission meeting on June 18, the Commission approved a preliminary plat for High Pointe Meadows contingent on addressing some floodplain items. Due to the length of time that those floodplain issues will take to be reviewed by FEMA and then come back for a public hearing and City ordinance approval, the developer chose to

come back with a split preliminary plat and final plat to cut out the areas that will be delayed in development due to the floodplain. Phase 1 will include access off of Cilantro Lane, Springcrest Drive, and Debruin Road. There is also an easement for a temporary cul-de-sac bulb.

Antoine made a motion to recommend approval of the High Pointe Meadows Phase 1 preliminary plat to the Common Council with the following condition: that for lots 32-35, no site work starts, no building permits are issued, and no sale of land occurs until FEMA and the Wisconsin DNR's review is complete and City floodplain updates for this area are approved by the Common Council. Seconded by Moore. The motion passed unanimously.

b. Final Plat Review – High Pointe Meadows Subdivision Phase 1

Director of Public Works/City Engineer Neumeier introduced the final plat for High Pointe Meadows Subdivision Phase 1. There will be easements in the future road for sewer and water installation. When Phases 2 and 3 are developed, those easements would then be dissolved into road right-of-way. Neumeier noted that the Verbeten Subdivision to the east of the proposed High Pointe Meadows Subdivision has some natural, un-mowed areas along the stream corridor as part of the drainage plan in order to keep a natural buffer. He would like to see that matched on the High Pointe Meadows Subdivision and added before the final plat goes to the Common Council. He would also like to see some wording updates for the drainage easements, and for Davel to call out trees and landscaping as being specifically prohibited in those easements. For lots 50-51, the developer asked to maintain a sewer and water easement in case the adjacent lots were to be annexed to the City. This may end up being a private easement that would therefore be removed from the final plat.

Moore asked how water will drain from the subdivision.

Neumeier explained that the majority of the water will drain north to the existing stormwater pond at Jonen Park. The pond was originally put in

with the expectation of the area to the south developing up. Some of the water would discharge to the road ditch on DeBruin Road.

Feller made a motion to recommend approval of the High Pointe Meadows Phase 1 final plat to the Common Council with the following conditions: that for lots 32-35, no site work starts, no building permits are issued, and no sale of land occurs until FEMA and the Wisconsin DNR's review is complete and City floodplain updates for this area are approved by the Common Council, that the proposed CSM for the remaining lots in the Town of Buchanan is approved and recorded or that separate easement documents are approved by City staff and recorded for drainage, grading, and storm sewer purposes, and that the preliminary plat for High Pointe Meadows Phase 1 is approved by the Common Council. Seconded by Schoenike. The motion passed unanimously.

c. Extraterritorial CSM Review – Debruin Road (Town of Buchanan)

Director of Public Works/City Engineer Neumeier introduced the extraterritorial CSM. This CSM cleans up the remnant parcels leftover from the annexation completed for the High Pointe Meadows Subdivision.

Moore made a motion to recommend approval of the extraterritorial CSM to the Common Council with the following condition: that the CSM receives approval from the Town of Buchanan. Seconded by Antoine. The motion passed unanimously.

d. Site Plan Review – Holland Cold Storage (3600 Electric City Boulevard)

Director of Public Works/City Engineer Neumeier introduced the site plan for an addition to Holland Cold Storage, located at 3600 Electric City Boulevard in the NEW Prosperity Center Industrial Park. There were originally some floodplains designated with the plat for the NEW Prosperity Center, as well as some wetlands that were determined to be artificial and can be filled. The Industrial Park Commission reviewed

the site plan and approved with the following conditions: approval of Stormwater and Erosion Control permits, an approved lighting plan, a recorded easement or agreement for private storm sewer connection to the pond and expansion of the fire lane on city property, investigation into the runoff currently flowing to the southern neighboring property, and a wetland delineation. All these conditions have now been met aside from the recorded easement or agreement for private storm sewer connection to the pond and expansion of the fire lane on city property. Landscaping requirements are being met, there are no concerns with lighting, the Erosion Control and Stormwater Management permit has been received and is being reviewed, the pending Army Corp review has been received, and the façade matches the existing façade.

Moore made a motion to approve the site plan with the following conditions: prior to issuance of building permits, the owners of the property must record an easement or agreement for private storm sewer connection to the pond and expansion of the fire lane on City property, the owners of the property must submit in writing an affidavit of current and future needs for parking stalls based on employees and visitors as set forth in Section 3(B) of the NEW Prosperity Center covenants, and approval must be received from the Army Corp of Engineers. Seconded by Feller. The motion passed unanimously.

e. Rezoning Request – Parcel 321063400

Director of Public Works/City Engineer Neumeier introduced the rezoning request for parcel 321063400. This parcel is located on County Road OO, High Street, and Gertrude Street. The new owners of the property are requesting a rezone of this parcel from Commercial Highway District (CHD) to Residential Multifamily (RMF) for a single-family or townhouse style development along Gertrude Street.

Moore made a motion to recommend approval of the rezoning request to the Common Council. Seconded by Jensen. The motion passed unanimously.

f. Park Donation Application – Picnic Table

Mayor Penterman introduced the park donation application for a picnic table. The park donation application was submitted by Dawn Gasparick and Judy Schultz for a picnic table to be installed at the Kaukauna Dog Park, specifically in the small dog area. This picnic table would be in the City of Kaukauna's standard picnic table style. It would not include a plaque.

Moore made a motion to approve the park donation. Seconded by Antoine. The motion passed unanimously.

g. Extraterritorial CSM Review – Parcels 030019202 & 030019600 (Town of Buchanan)

Director of Public Works/City Engineer Neumeier introduced the extraterritorial CSM. He expressed concern with the proposed change that would alter the lot line between the two parcels, and whether that would leave enough room for residential development per the Comprehensive Plan. Without knowing what the plan is for that area, he would ask that the CSM be brought back with more information. Neumeier made a recommendation to have staff come back with more information at a future meeting for further discussion. No action was taken.

5. Other Business

a. None

6. Adjourn

Moore made a motion to adjourn the meeting. Seconded by Jensen. Motion passed unanimously. The meeting adjourned at 4:43 p.m.



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: July 20, 2026
Re: Special Exception Request – Haven Heritage Adult Family Home

A special exception request has been submitted by Paul and Komaria Mendy of Haven Heritage Adult Family Home LLC for the operation of an adult family home at 180 Plank Road (parcel #322073200). This property is zoned [Residential Multifamily \(RMF\)](#), and the current use of the property is duplex style residential units. Per Section [17.19\(3\)](#) of the Municipal Code, community living arrangements/group homes, subject to [Wis. Stats. § 62.23\(7\)\(i\)](#), are permitted as a special exception.

Staff Recommendation

Staff recommend the following:

- That the Common Council is notified at their next meeting on August 4th, 2026, of the filing of the special exception in compliance with Section [17.47\(3\)](#) of the Municipal Code.
- That a public hearing is set for one of the upcoming Plan Commission meetings in compliance Section [17.47\(3\)](#) of the Municipal Code and that notice is given to property owners within 100 feet.
- That the special exception request is sent over to Police and Fire for review and comments.

**APPLICATION: SPECIAL EXCEPTION PERMIT FORM**

This application is required if you are seeking a special exception to allow for a certain use or structure within a zoning district. Permitted special exceptions differ between zoning districts. Information on zoning districts can be found in [Section 17 of the Municipal Code](#). Information on special exceptions can be found in [Section 17.47 of the Municipal Code](#).

Petitioner Information:

Name: Paul Pierre Mendy

Mailing Address: 180 Plank rd, Waukauna, WI 54130

Phone Number: [REDACTED]

Email: [REDACTED]

Property Owner Information (If Not Petitioner):

Name: Teak Wood Properties LLC

Mailing Address: P.O. Box 337, Hortonville, WI 54944

Phone Number: [REDACTED]

Email: [REDACTED]

Property Information:

Site Address/Location: 180 Monk Road, Kaulaeha

Lot Dimensions and Area: _____

Current Zoning: ~~CO~~ Residential

Current Uses: Residential

Proposed Uses: 1-2 beds adult family home. which would serve purely as residential.

Please State Reason(s) for Special Exception Request:

Haven Heritage Adult Family Home LLC is seeking to operate a 1-to 2-bed certified Adult Family Home for adults with disabilities in a residential setting. The home will operate fully as a typical residential home with 24-hour support, no signage, minimal traffic, and no impact on the residential character of the neighborhood.

The purpose of the home is to provide safe, community-integrated housing for individuals who require supportive care while maintaining their independence and dignity. The home will comply with all DHS requirements, fire and safety standards, and local ordinances.

Approval of this request will support accessible housing opportunities and allow vulnerable adults to live in a safe, home-like environment within the community.

What procedures will be used to prevent any ill effects to neighboring properties such as (but not limited to) parking, noise, or additional traffic:

Minimal to no traffic, enough parking allocated, quiet residential

Please list the operating hours of the business:

24/7

Additional Requirements: Additional information may also be requested as may be appropriate per the proposal being made.

Special Exception Permit Fee Schedule: \$100.00

Please Note: The City of Kaukauna will **never** request payment for an application in the form of a wire transfer. All payments are to be made by check to the City of Kaukauna (address below) and are due when the application is submitted, prior to review.

Application Timeline: Special exception permits often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:

PP Menzies

Signature of Owner (If Not Petitioner):

Date Submitted to the City of Kaukauna:

6/3/24

Please submit by email to planning@kaukauna.gov or by mail to:

City of Kaukauna

Attn: Planning and Community Development Department

144 W Second Street

Kaukauna, WI 54130



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: July 20, 2026
 Re: Site Plan Review – Profile Finishing Systems (1700-1800 Progress Way)

Profile Finishing Systems is a paint, coating, and adhesive manufacturing business. This project will add an additional 9,950 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial District (IND) and North Industrial Park Phase 1 Covenants are being met and all ordinances are being complied with to include zoning requirements. The current Profile Finishing Systems building has a height of 32' and the height of the addition will be 29'.

Currently, there are 56 off-street parking spaces, and no additional off-street parking spaces will be added with this expansion. Per the North Industrial Phase 1 Covenants:

"One (1) parking stall, measured as 9' x 20' standard or 15' x 20' if handicap, excluding drives and approaches, shall be provided on each property for every one thousand (1,000) square feet of building area or for every two (2) employees, whichever amount constitutes the greater number of stalls. Parking stalls shall be added on each property as required to accommodate all employees."

A parking plan will need to be submitted and approved by the Planning and Community Development Department to ensure this requirement is met.

Landscape: [17.52 Landscaping Requirements](#)

Landscaping requirements are being met.

Lighting:

A lighting plan will need to be submitted and approved by the Planning and Community Development Department.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has been received by the Engineering Department and is currently being reviewed.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- Prior to issuance of building permits, a parking plan must be submitted and approved by the Planning and Community Development Department.
- Prior to issuance of building permits, a lighting plan must be submitted and approved by the Planning and Community Development Department.
- Prior to issuance of building permits, Stormwater and Erosion Control permits must be approved by the Engineering Department.

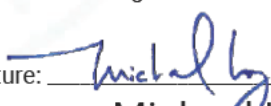


SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Michael Loy, Campbell Creek Communities LLC	Name: Jason Pettitt, Consolidated Construction Co., Inc,
Mailing Address: 1450 Dons Way, Kronenwetter, WI 54455	Mailing Address: 4300 N. Richmond Street, Appleton, WI 54913
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: The project consists of a 9,950 sq. ft. building addition on the north side of the existing building.	
Property Parcel (#): 322099100 & 322099200	
Site Address/Location: 1800 Progress Way	
Current Zoning and Use: Industrial District (IND); Shop and office space for an industrial painting and coating business.	
Proposed Zoning and Use: Same--addition adds storage.	
Existing Gross Floor Area of Building: 65,976 sf +/-	Proposed Gross Floor Area of Building: 75,926 sf +/-
Existing Building Height: 32' Above Existing First Floor	Proposed Building Height: Same (Addition Ht. 29' Above First Floor)
Existing Number of Off-Street Parking Spaces: 56	Proposed Number of Off-Street Parking Spaces: 56
Existing Impervious Surface Coverage Percentage: 75% +/-	Proposed Impervious Surface Coverage Percentage: 75% +/-

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: 

Owner/Agent Name (printed): Michael Loy

PROJECT INFORMATION

PROJECT DESCRIPTION
9,950 S.F. BUILDING ADDITION

OWNER
CAMPBELL CREEK COMMUNITIES, LLC
1450 DONS WAY KRONENWETTER, WI 54455
CONTACT:
PH. NO.

PARCEL NOS.
322099100 & 322099200

LEGAL DESCRIPTION
LOTS 12 & 13, KAUKAUNA INDUSTRIAL
PARK NORTH PHASE 1, CITY OF
KAUKAUNA, OUTAGAMIE COUNTY,
WISCONSIN

LOT SIZE
294,503 S.F. (6.76 AC)

PARCEL ZONING
INDUSTRIAL DISTRICT (IND)

ZONING ORDINANCE SETBACKS
FRONT YARD SETBACK: 25'
SIDE YARD SETBACK: 15'
REAR YARD SETBACK: 30'

PROPOSED USES
ADDITION ADDS
STORAGE TO SHOP AND OFFICE
SPACE FOR AN INDUSTRIAL PAINTING
AND COATING BUSINESS

LOT COVERAGE (PER AIR PHOTOS)

	EXISTING	CHANGE	NEW TOTAL	% OF SITE
BUILDINGS	65,914 S.F.	+9,950 S.F.	75,864 S.F.	25.76%
PAVEMENT/CONCRETE	154,968 S.F.	-9,950 S.F.	145,018 S.F.	49.24%
IMPERVIOUS	220,882 S.F.	+0.00 S.F.	220,882 S.F.	75.0%
OPEN SPACE	73,621 S.F.	-0.00 S.F.	73,621 S.F.	25.0%
TOTAL	294,503 S.F.	0 S.F.	294,503 S.F.	100%

PARKING

EXISTING: 56 SPACES
PROPOSED: 56 SPACES (NO CHANGE)

INDEX

- C101 - Site Plan
C102 - Utility - Drainage - Grading - Erosion Control Plan

PLAN PREPARED BY:
SCHULER & ASSOCIATES, INC
2711 N. MASON STREET, SUITE F
(920) 734-9107
PROJECT NO. 26-4881

SITE PLAN
PROFILE FINISHING SYSTEMS
KAUKAUNA, WI

ISSUED FOR REVIEW:
7-6-2026

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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DRAWN BY: MJF

PROJECT #:

C101

SHEET TITLE
SITE PLAN



UTILITY - DRAINAGE - GRADING- EROSION CONTROL PLAN

KAUKAUNA, WI

ISSUED FOR REVIEW:
7-6-2026

ISSUED FOR BID

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION

ISSUED REVISIONS

Revision	Date	Rev. Description
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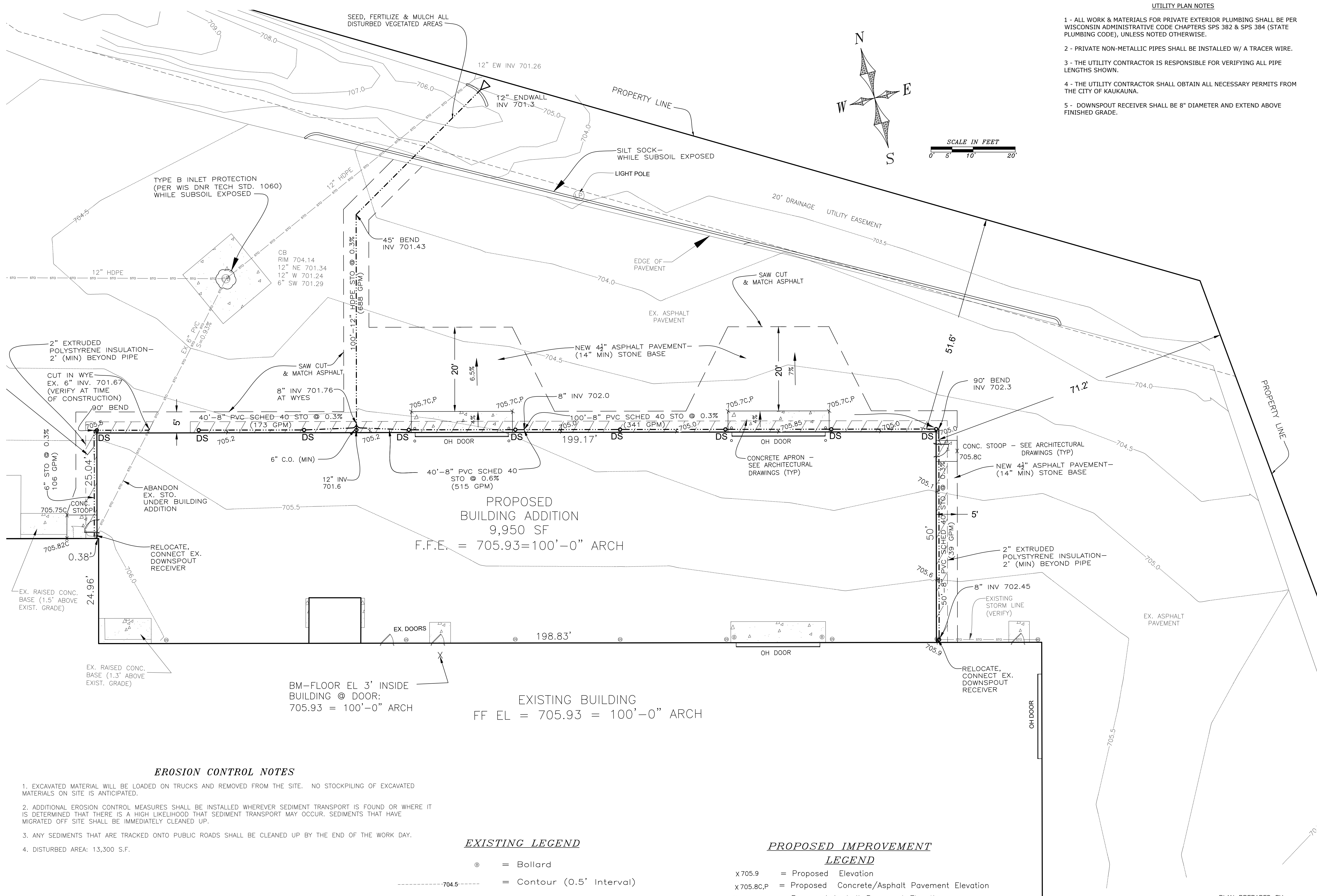
DRAWN BY:

PROJECT #:

C102

SHEET TITLE

DRAINAGE - GRADING - EROSION
CONTROL PLAN



1. EXCAVATED MATERIAL WILL BE LOADED ON TRUCKS AND REMOVED FROM THE SITE. NO STOCKPIILING OF EXCAVATED MATERIALS ON SITE IS ANTICIPATED.

2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED WHEREVER SEDIMENT TRANSPORT IS FOUND OR WHERE IT IS DETERMINED THAT THERE IS A HIGH LIKELIHOOD THAT SEDIMENT TRANSPORT MAY OCCUR. SEDIMENTS THAT HAVE MIGRATED OFF SITE SHALL BE IMMEDIATELY CLEANED UP.

3. ANY SEDIMENTS THAT ARE TRACKED ONTO PUBLIC ROADS SHALL BE CLEANED UP BY THE END OF THE WORK DAY.

4. DISTURBED AREA: 13,300 S.F.

- ⊗ = Bollard
- = Contour (0.5' Interval)
- ⊗ = 6" Receiver – Downspout
- = Concrete Pavement
- (LP) = Light Pole W/ Concrete Base

LEGEND

X 705.9 = Proposed Elevation
X 705.8C,P = Proposed Concrete/Asphalt Pavement Elevation
X 705.8P = Proposed Asphalt Pavement Elevation
X 705.82C = Proposed Top of Concrete Elevation
 = Proposed Direction of Drainage
 = Proposed Bollard
 = Proposed 8" Downspout Receiver

EXISTING UNDERGROUND UTILITIES

EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE PER MARKINGS PRESENT AT THE TIME OF THE TOPOGRAPHIC SURVEY. EACH EXCAVATING CONTRACTOR MUST CALL DIGGERS HOTLINE TO OBTAIN UPDATED FIELD MARKINGS.

PLAN PREPARED BY:
SCHULER & ASSOCIATES, INC
2711 N. MASON STREET, SUITE F
(920) 734-9107
PROJECT NO. 26-4881

STAMPS

PROPOSED ADDITION FOR:
PROFILE FINISHING SYSTEMS
9593 PROGRESS WAY, KAUKAUNA - WI -
54130

ISSUED FOR REVIEW: 6-25-26

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
1	Rev Issue Date	Revision 1

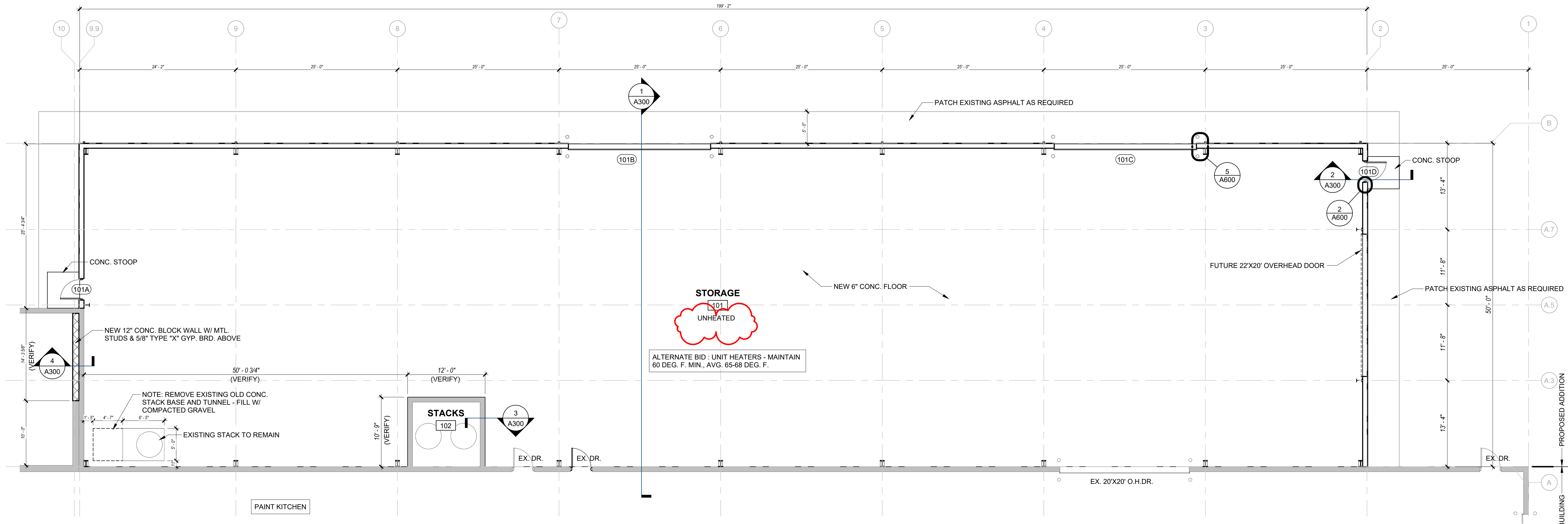
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PROJECT #: 0667004

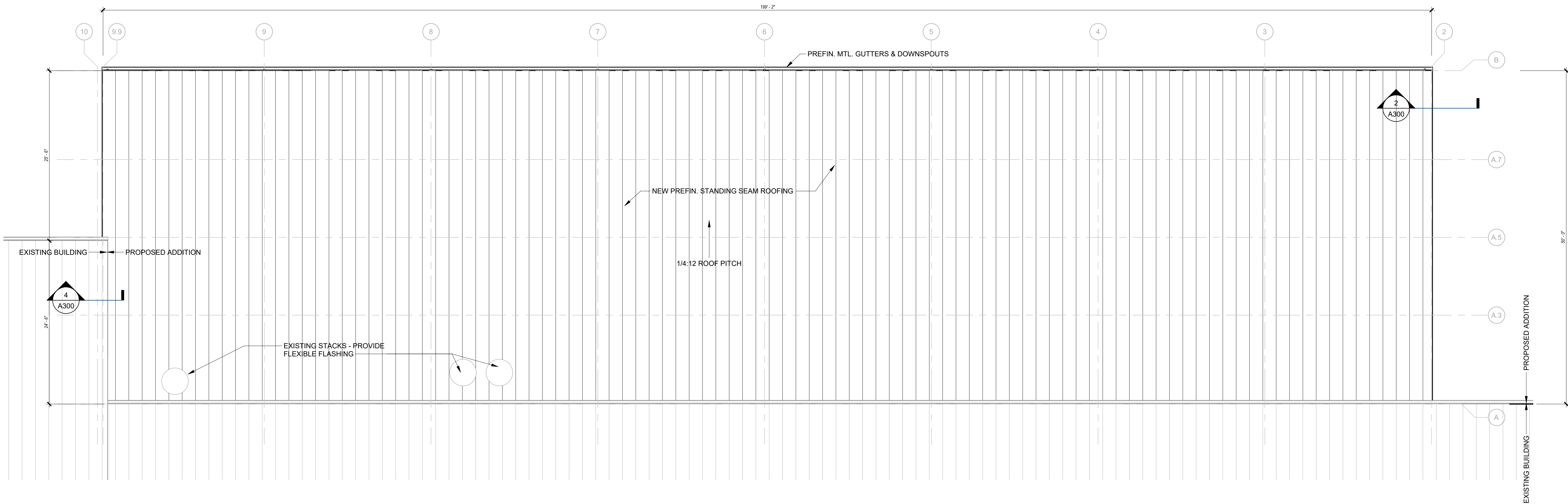
A101

SHEET TITLE

FLOOR PLANS



FLOOR PLAN
1/8" = 1'-0"



ROOF PLAN
1/8" = 1'-0"



STAMPS

PROPOSED ADDITION FOR:

PROFILE FINISHING SYSTEMS

9593 PROGRESS WAY, KAUKAUNA - WI -
54130

ISSUED FOR REVIEW: 6-25-25

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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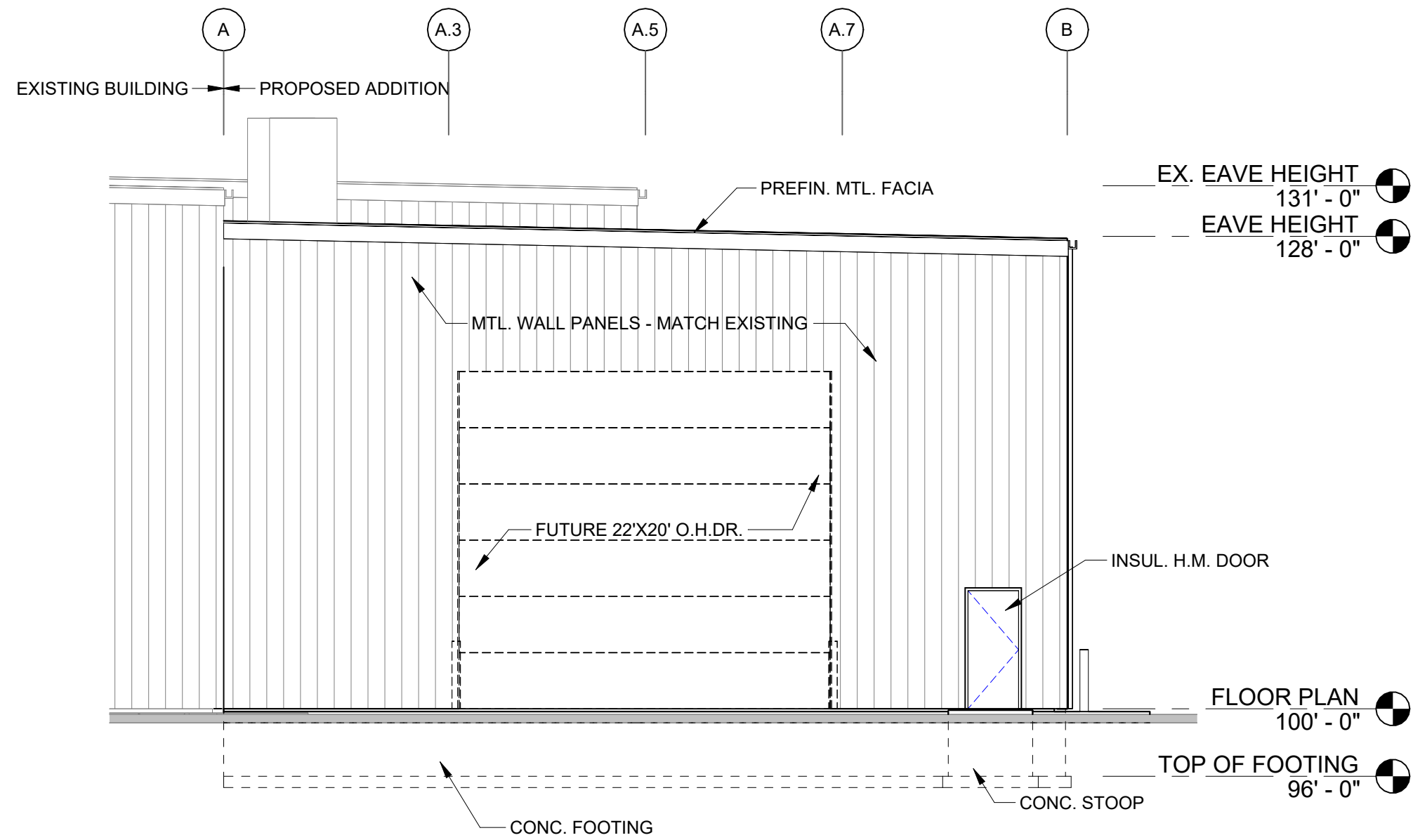
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PROJECT #: 0667004

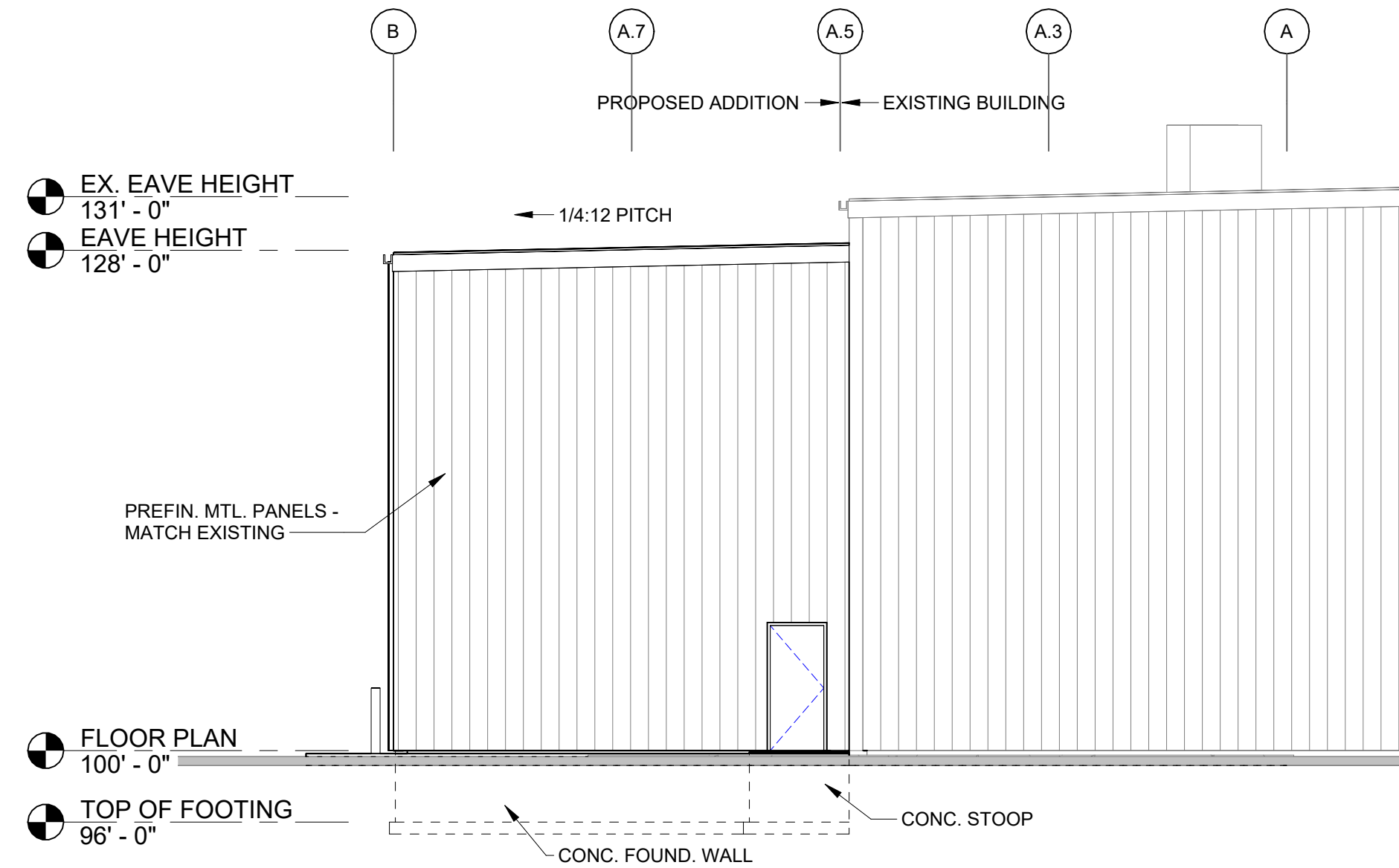
A200

SHEET TITLE

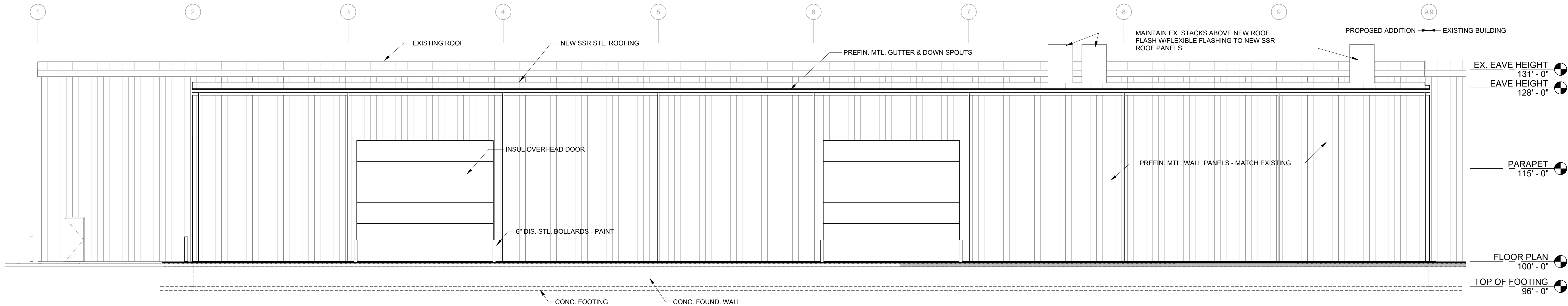
EXTERIOR ELEVATIONS



1 EAST ELEVATION
A200 1/8" = 1'-0"



3 WEST ELEVATION
A200 1/8" = 1'-0"



2 NORTH ELEVATION
A200 1/8" = 1'-0"



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: July 20, 2026
Re: Site Plan Review – TEAM Industries (1100 Prospect Lane)

TEAM Industries is a pipe and vessel fabrication business. This project will add an additional 30,480 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial Park District (IPD) and South Industrial Park covenants are being met and all ordinances are being complied with to include zoning requirements. The current TEAM Industries building has a height of 30' and the height of the addition will be the same.

Currently, there are 54 off-street parking spaces, and no additional off-street parking spaces will be added with this expansion. Per TEAM Industries, there will be two work shifts at this location, with thirty employees on the first shift and twenty on the second shift. The 54 off-street parking spaces meet the following parking requirements, as outlined per covenant:

- One parking stall shall be provided on each property for every 1,000 square feet of building area. This building has an area of 47,778 square feet, so 47 stalls would be needed.
- One parking stall shall be provided for every two employees. There will be fifty employees working at this location, so 25 stalls will be needed.

Landscape: [17.52 Landscaping Requirements](#)

One tree will need to be planted in the front yard to be in compliance with the City's landscaping ordinance.

Lighting:

No concerns with lighting at this time.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit must be submitted and reviewed by the Engineering Department.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

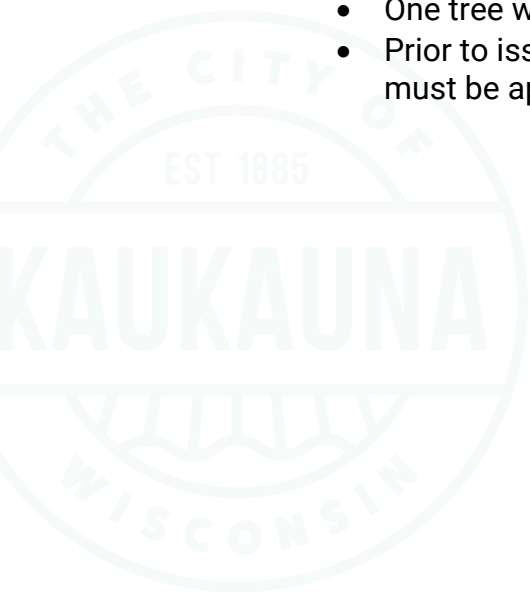
Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- One tree will be planted in the front yard.
- Prior to issuance of building permits, Stormwater and Erosion Control permits must be approved by the Engineering Department.



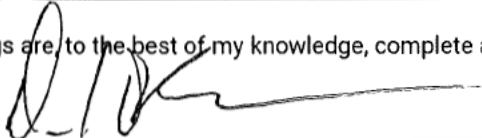


SITE PLAN REVIEW APPLICATION

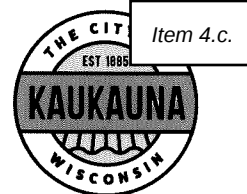
PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Pensaukee LLC	Name: Bayland Buildings Inc. (David OBrien)
Mailing Address: N1807 Van Cops Drive Kaukauna WI 54130	Mailing Address: PO Box 13571 Green Bay WI 54307
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Proposed 30,480 SF addition for manufacturing	
Property Parcel (#): 322092200	
Site Address/Location: 1100 Prospect Lane	
Current Zoning and Use:	
Proposed Zoning and Use: Same	
Existing Gross Floor Area of Building: 17,298+/-	Proposed Gross Floor Area of Building: 47,778 SF +/-
Existing Building Height:	Proposed Building Height: 30'-0" eave/ 35'-0" peak
Existing Number of Off-Street Parking Spaces: 54	Proposed Number of Off-Street Parking Spaces: 0
Existing Impervious Surface Coverage Percentage: 3%	Proposed Impervious Surface Coverage Percentage: No change

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

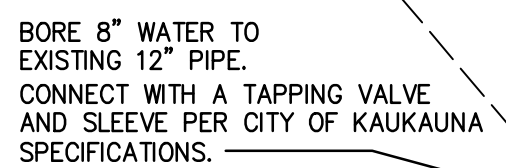
Owner/Agent Signature: 

Owner/Agent Name (printed): David OBrien



EROSION CONTROL AND STORMWATER MANAGEMENT PERMIT APPLICATION

Applicant Information			
Applicant Name (Indiv., Org. or Entity) Bayland Bldg		Authorized Representative David OBrien	
Title Permit Coordinator			
Mailing Address PO Box 13571	City Green Bay	State WI	Postal Code 54307
E-mail Address dobrien@baylandbuildings.com	Telephone (include area code) (920) 371-6200		Fax (include area code)
Landowner Information (if different than Applicant)			
Name (Organization or Entity) Pensaukee LLC		Contact Person Jason Sturn	
Title			
Mailing Address N1807 Van Cops Drive	City Kaukauna	State WI	Postal Code 54130
E-mail Address jsturn@teamind.com	Telephone (include area code) (920) 462-1158		Fax (include area code)
Other Contact Information (check one): ☐ Engineer / Consultant ☒ Contractor / Builder ☐ Agent / Other			
Name (Organization or Entity) Bayland Buildings Inc		Contact Person David OBrien	
Telephone (include area code) (920) 371-6200			
Mailing Address PO Box 13571	City Green Bay	State WI	Postal Code 54162
Project or Site Location			
Site Name (Project): Team Industries Plant 2		Parcel Numbers: 322092200	
Address / Location: 1100 Prospect Lane		Plat / CSM / Lot No.:	
Permit Type & Fees (check all that apply)			
☒ Erosion Control < 1 acre or 43,560 sq.ft. Disturbed Area (EC1)		☐ Stormwater Management < 20,000 sq.ft. Impervious Area (SM1)	
☐ Erosion Control ≥ 1 acre or 43,560 sq.ft. Disturbed Area (EC2)		☐ Stormwater Management ≥ 20,000 sq.ft. Impervious Area (SM2)	
Total Disturbed Area 40,000	sq.ft. x \$0.0002 / sq.ft. (EC2) = \$		
New Impervious Area 0	sq.ft. x \$0.0025 / sq.ft. (SM2) = \$		
Base Fee: \$200 (EC1), \$250 (EC2), \$200 (SM1), \$500 (SM2) = \$			
Total Application Fee = \$			
Duration of Land Disturbance 32	weeks x \$25 / week (EC1, EC2) = \$	800	
Start Date..... 8-1-26	Base Fee: \$250 (EC2), \$500 (SM2) = \$		
End Date..... 4-1-27	Total Inspection Fee = \$		
TOTAL PERMIT FEE (Application Fee + Inspection Fee) = \$			
Certification & Permission			
Certification: I hereby certify that I am the landowner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the ordinances and/or permit may result in notices, fines / forfeitures, stop work orders, permit revocation, and cease & desist orders. Permission: As landowner of the property, I hereby give the Director of Public Works or designee, permission to enter and inspect the property to evaluate this permit application, determine compliance with ordinances, and perform corrective actions after issuing proper notice to the landowner.			
Applicant Signature		Date Signed 5/8/26	
Landowner Signature (required)		Date Signed	
LEAVE BLANK – FOR MUNICIPAL USE ONLY			
Date Application Received:	Fee Received \$	Receipt No:	
Construction Site ID / Permit No:	Date Issued:	Issued By:	



SITE STATISTICS:
 LOT AREA = 138,966 SQ. FT. = 3.19 ACRES
 EXISTING BUILDING AREA = 22,129 SQ. FT., LOT COVERAGE = $22129 / 138966 \times 100 = 15.9\%$
 TOTAL PROPOSED BUILDING AREA = 52,609 SQ. FT., LOT COVERAGE = $52609 / 138966 \times 100 = 37.9\%$
 EXISTING IMPERVIOUS AREA = 135,624 SQ. FT.
 PROPOSED IMPERVIOUS AREA = 135,624 SQ. FT.
 LESS THAN 1 ACRE OF SUBGRADE WILL BE DISTURBED SO NOTICE OF INTENT PERMIT IS NOT NEEDED.

SITE PLAN
SCALE: 1" = 30'-0"

SCALE: 1" = 30'-0"

1. All site contractors should obtain the Wisconsin Department of Natural Resources Technical Standards.
2. All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Erosion Control Plan, WDNR Technical Standards, and the WPDES General Permit for the site. Inspection reports shall be maintained.
3. All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance. Existing surface water control structures shall be installed around all soil stockpiles. Stockpiles left in place greater than 7 days shall be properly stabilized.
4. Weekly inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be working condition at the end of each working day.
5. Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
6. Sediment control measures shall not be removed until the areas served have established vegetative cover.
7. Gravel mats shall be installed at all construction site exits to prevent tracking of soil. The gravel mat shall consist of 3'-6" clear stone placed 12" deep, for a minimum of 50'.
8. Tracked soil shall be collected daily from paved roads located near the construction site.
9. Dewatering shall conform to DNR Technical Standard 1061.
10. Woven geotextile filter fabric shall be used to protect storm water catch basins per WDOT inlet protection types B or D. A minimum of 10 inches of fabric shall be used beyond the grating to provide a handhold when removing. Fabric shall be Type FF. Inlets shall remain protected until the entire drainage area of the inlet is restored. Alternative protection shall be utilized for catch basins if flooding may cause damage to adjacent buildings or properties. The catch basin shall be inspected after each rainfall event and cleaned as needed to maintain flow. If fabric is ripped it shall be replaced by the end of the work day. Fabric shall not be ripped or cut to prevent ponding.
11. Overland flow shall be prevented from leaving the work site by installing straw bale or filter fabric fencing parallel to the contours located downhill from the work area.
12. Sediment control for pipeline construction:
 - a. Excavated trench material shall be placed on the uphill side of the trench.
 - b. Immediately following pipeline installation, the trench shall be backfilled, compacted and stabilized at the end of each working day.
13. All disturbed ground outside of the everyday construction area at a minimum be temporarily seeded/mulched with oats or rye if the area is left inactive for more than 7 days.
14. The existing grass/street terrace shall be maintained as a buffer during construction. It shall be restored with temporary seed and mulch at a minimum 7 days after the completion of all lateral installations and other construction activity. If the terrace is not to be restored during final landscaping, a permanent seed mix shall be utilized.
15. All erosion control practices damaged due to winter weather shall be repaired/replaced immediately.
16. The WPDES Permit, Erosion Control Plan and Stormwater Management Plan shall be kept on-site at all times.
17. An Inspection Log shall be maintained and kept on-site.
18. Minimize offsite airborne dust by watering disturbed areas when overly dry.
19. All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
20. No excess concrete washout will be deposited in or near the ditch areas. Once hardened the concrete shall be disposed of as construction waste.
21. Off-site deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. Off-site deposits occurring as a result of land disturbance shall be cleaned up by the end of the work day.

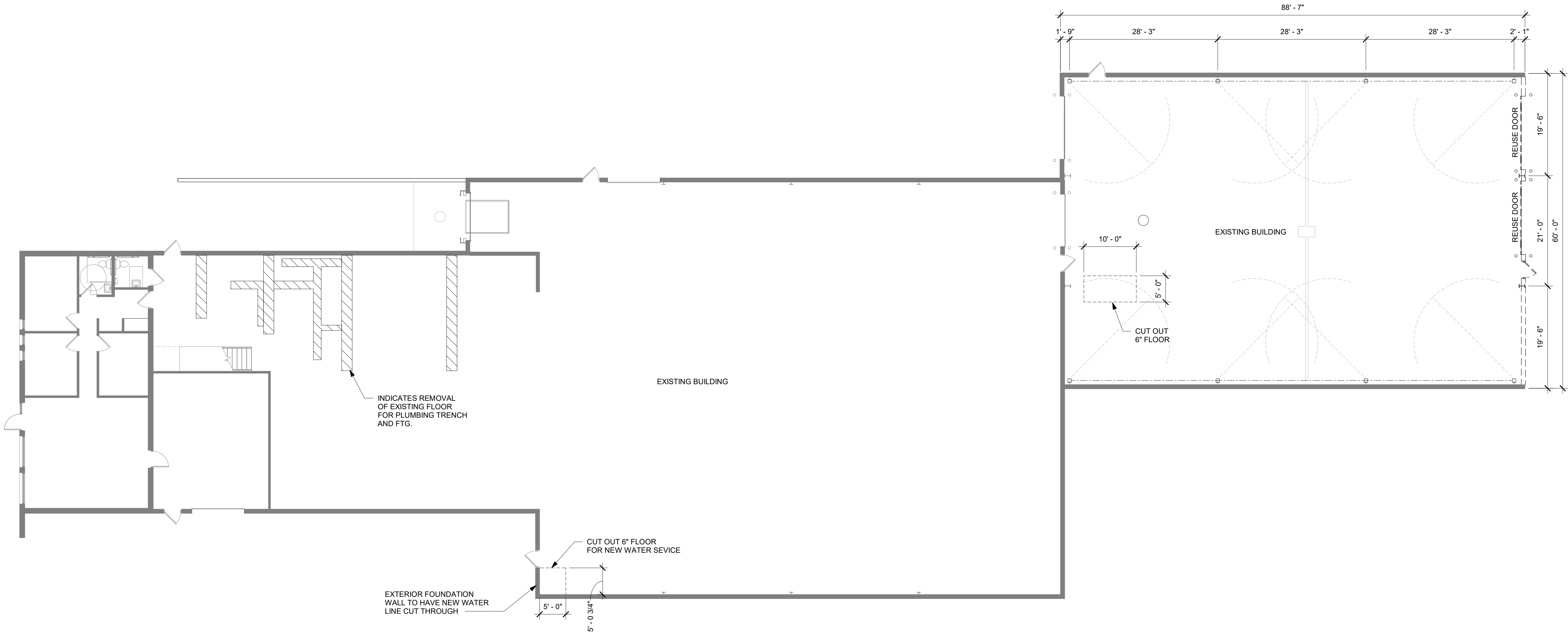
SHEET
C2.0
PROJECT-NUMBER
8015



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(920) 498-9300 FAX (920) 498-3033
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DESIGN & BUILD GENERAL CONTRACTOR



FLOOR PLAN - EXISTING/DEMO

1/A1.0 SCALE = 3/32" = 1'-0"

PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)

PROPOSED BUILDING FOR:

26-4551

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: *

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: DPO

DATE: 5-4-2026

REVISIONS:

ISSUED FOR: CHECKED BY: DATE:

- ☒ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

FLOOR PLAN - EXISTING/DEMO

A1.0

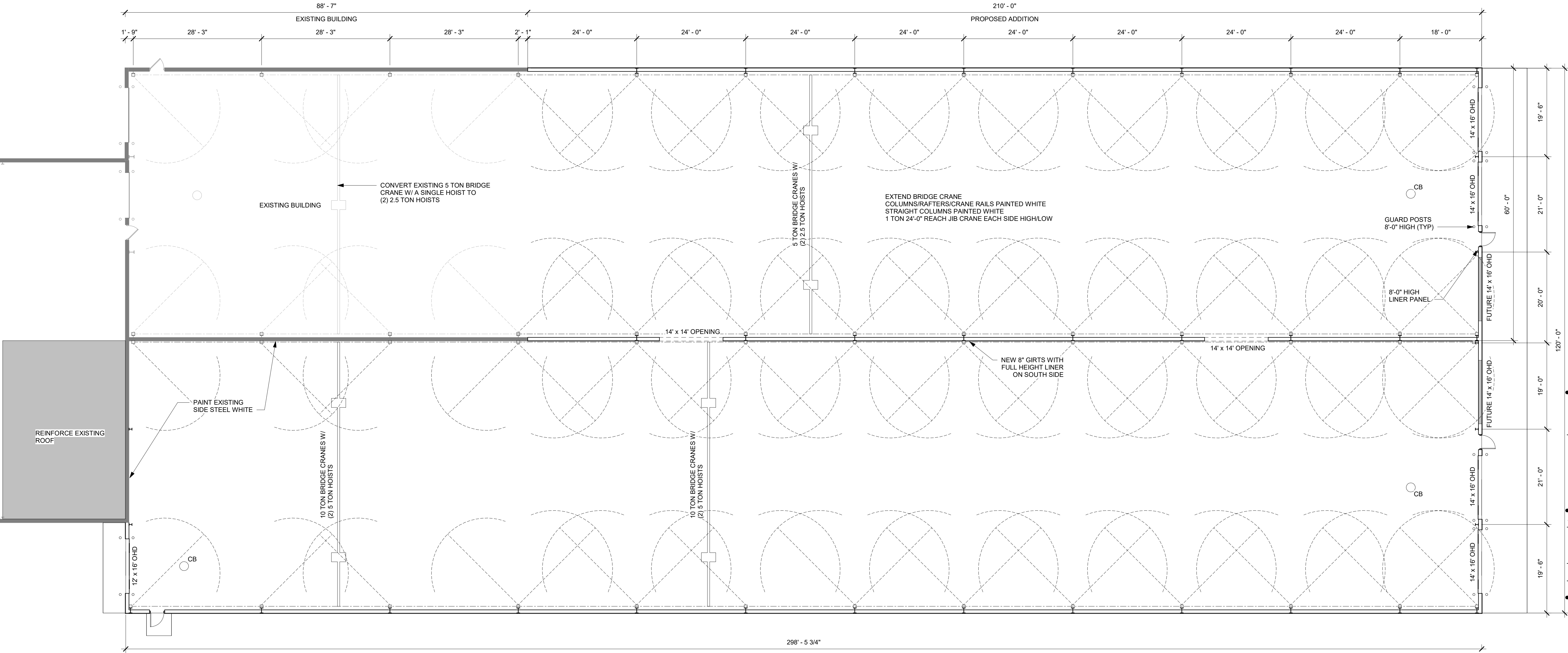




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FLOOR PLAN - PROPOSED

1 / A1.1 SCALE = 3/32" = 1'-0"

PROPOSED BUILDING FOR:

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PLAN NOTES:
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FLOOR PLAN - PROPOSED

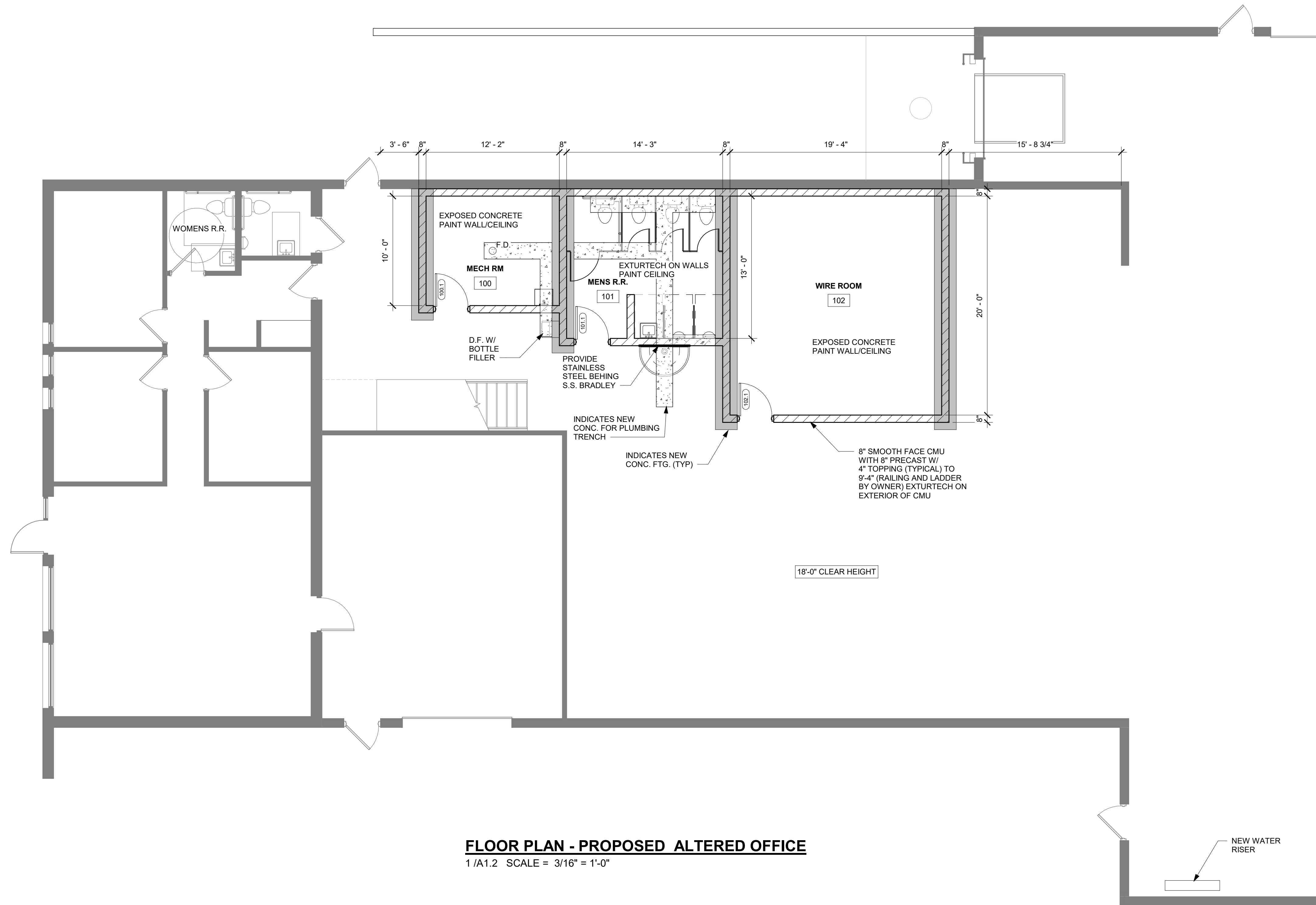


A1.1

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**FLOOR PLAN - PROPOSED ALTERED OFFICE**

1/A1.2 SCALE = 3/16" = 1'-0"

PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)

PROPOSED BUILDING FOR:

26-4551

CITY, WISCONSIN; COUNTY OF:

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JOB NUMBER: *

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: DPO

DATE: 5-4-2026

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☒ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

FLOOR PLAN - PROPOSED
ALTERD OFFICE



A1.2



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PROPOSED BUILDING FOR:

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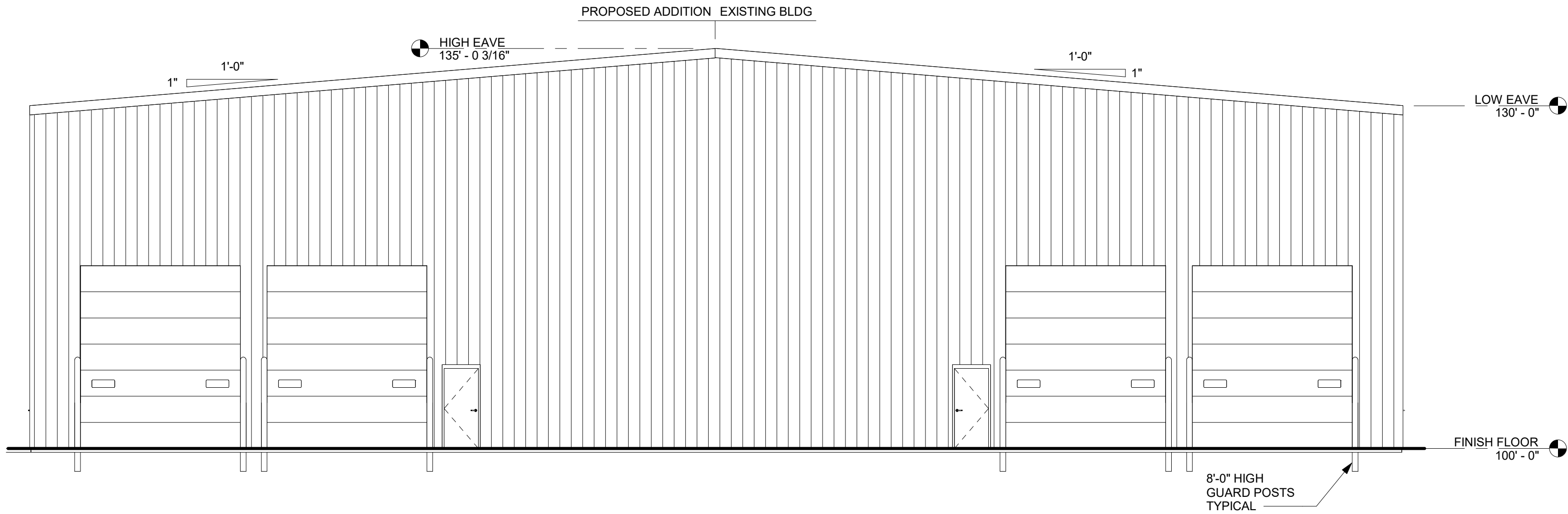
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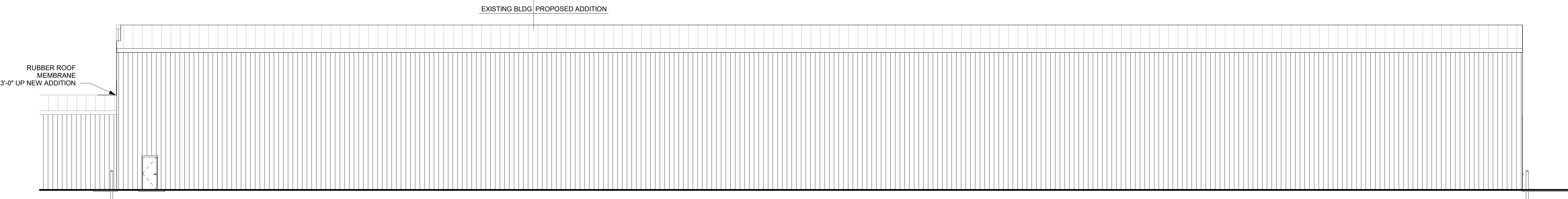
ELEVATION - EXTERIOR

A2.0



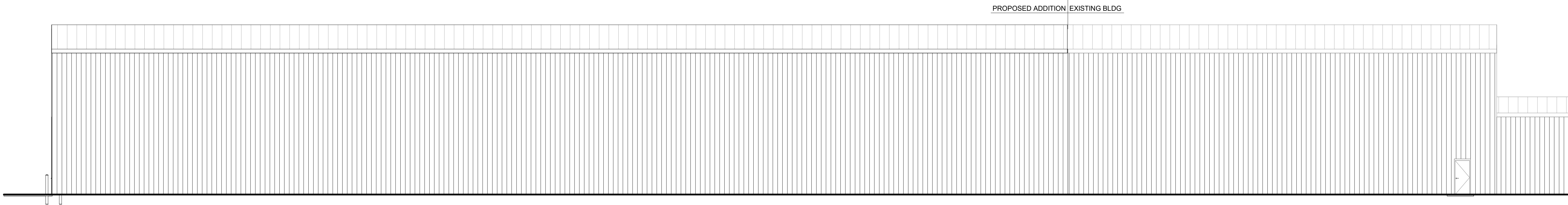
BUILDING ELEVATION - EAST

1 /A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - SOUTH

2 /A2.0 SCALE = 3/32" = 1'-0"



BUILDING ELEVATION - NORTH

3 /A2.0 SCALE = 3/32" = 1'-0"