

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
Municipal Services Building  
144 W. Second Street, Kaukauna



Thursday, May 04, 2023 at 4:00 PM

## AGENDA

1. Roll Call.
2. Approval of Minutes.
  - [a.](#) Approve Minutes from April 20, 2023 Meeting
3. Public Hearing
  - a. Special Exception – 548 Frances Street
  - b. Special Exception – 200 W. Wisconsin Ave
4. New Business.
  - [a.](#) Special Exception – 548 Frances Street
  - [b.](#) Special Exception – 200 W. Wisconsin Ave
  - [c.](#) Extraterritorial Review: Preliminary Plat – Legacy Acres
  - [d.](#) Site Plan Review – 911 Delanglade Street
  - [e.](#) Ordinance Update – Commercial Business District
5. Other Business.
6. Adjourn.

## NOTICES

**IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.**

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
 Municipal Services Building  
 144 W. Second Street, Kaukauna



Thursday, April 20, 2023 at 4:00 PM

## MINUTES

### 1. Roll Call.

Members present: Michael Avanzi (via call-in), Giovanna Feller, John Moore, DPW John Neumeier, Mayor Tony Penterman, Ken Schoenike

Member(s) absent: Pennie Thiele

Other(s) present: AP Lily Paul, PCDD Joe Stephenson, Brian Roebke, Times Villager.

Moore made a motion to excuse the absent member(s). DPW Neumeier seconded the motion. The motion passed unanimously.

### 2. Approval of Minutes.

- a. Approve Minutes from April 6, 2023 Meeting

Feller made a motion to approve the minutes from April 6, 2023 Meeting. Moore seconded the motion. The motion passed unanimously.

### 3. Old Business.

*There was no old business.*

### 4. New Business.

- a. Park Concept – Parcel 030067904; Corner of CTH CE and HH

AP Lily presented a park concept on the lot described. The park featured a crushed gravel path around the perimeter of the 0.91 acre parcel. The center of the park would be mounded up from the path fill to create a meadow with native plantings. This park would be used to create a unique concept: a Food Forest. Apple trees, Mulberry trees, and raspberry plants could be planted to attract people to it, use it as an educational aspect, and offer volunteer opportunities. There was concern on the maintenance of the trees and bushes. Staff reminded the commission that this is supposed to be a low maintenance park, and over grown/forest appearance is the aesthetic they are looking for.

Neumeier made a motion to let members from the public speak. Schoenike seconded the motion. The motion passed unanimously.

Brian Roebke stated that this plan is fantastic, and offered advice that a local tree farm could come maintain the plants.

There was question if there is a need for a park. The owner of the property has struggled to build a duplex on the lot. Staff is searching for the highest and best use for the property, and a duplex is not it. This concept would encourage a sidewalk on Debruin Road to Ann Street, which would offer a major connection for the residents in that area to the CE trail.

DPW Neumeier made a motion to direct staff to research other low maintenance plants and bring an adjust plan back to the Planning Commission. Mayor Penterman seconded the motion. The motion passed unanimously.

5. Closed Session.

- a. Adjourn to Closed Session Pursuant to 19.85(1)(e) to discuss acquisition of future park land

A motion was made by Moore to adjourn into closed session. Feller seconded the motion. The motion passed unanimously. Meeting adjourned to closed session at 4:32 PM.

- b. Return to Open Session for Possible Action.

Moore made a motion to return to open session. Feller seconded the motion. The motion passed unanimously. Meeting returned to open session at 4:42PM

Motion was made by Schoenike to forward the Acquisition of Future Park Land on to the Common Council. Moore seconded the motion. The motion passed unanimously.

6. Adjourn.

Avanzi made a motion to adjourn the meeting. Moore seconded the motion. The motion passed unanimously. Meeting adjourned at 4:43 PM.



# MEMO

## PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: April 28, 2023  
Re: Special Exception Request – 548 Frances Street

Class 2 notice pursuant to Wis. Stats. ch. 985 has occurred in the Times Villager for a Public Hearing to consider a special exception request at 548 Frances Street.

Bright Amudoaghan, owner of 548 Frances Street, has submitted an application for a Special Exception for parcel 323172300. The parcel is zoned Residential Single Family (RSF), and the current use of the property is assisted living, but there is a change in ownership that requires this special exception request. The owner is proposing to continue operating an assisted living facility.

The City of Kaukauna Code of Ordinances, [Section 17.16 \(3\)](#) allows convalescent homes, nursing homes, and community living arrangements/group homes [subject to Wis. Stats. § 62.23(7)(i)] as a special exception use.

**Recommendation:**

Finding the special exception request to meet all the criteria set forth in [Section 17.47 \(4\)](#) of the City Municipal Code, Staff recommends to approve the Special Exception Use of Assisted Living Facility within the Residential Single Family District, at the property located at 548 Frances Street, Kaukauna, WI, and recommends the same to Common Council.



UPDATED 3.21.2022



## CITY OF KAUKAUNA PLAN COMMISSION

### APPLICATION FOR REVIEW

I am requesting a:

Zoning Change

Special Exception Permit

Certified Survey Map Review

Subdivision Plat Review

#### Petitioner Information:

Name: ZEB LLC / BRIGHT AMUDAGHANI

Address:

Phone Number: 773 416-8534 / 909 2731905

email: BAMUDAGHANI@YAHOO.COM

Owner's Name (if not the petitioner): BRIGHT AMUDAGHANI

Owner's Address: N9520 SILVER CT  
APPLETON WI 54913

Address of Parcel in Question: 548 Frances St.

Property Dimensions (in either SF or Acres): 0.69 acres

Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property:

nursing home / assisted living  
facility

**Additional Requirements:** For Certified Survey Map and Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines and streets with distances to each. For Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. For Zoning Change requests that would result in split zoning (or two zoning classifications on one parcel), a professionally drawn map meeting the standards above is also required. Additional information may also be requested as may be appropriate per the proposal being made.

**Plan Commission Review Fee Schedule:**

Lot Division by Certified Survey Map (1-4 lots)	\$10/lot based on total lots
Subdivision Review (5+ lots)	\$200
Special Exception Permit	\$100
Rezoning/Zoning Change	\$100
Variance to Subdivision Ordinance	\$50
Planned Unit Subdivision Ordinance	\$200

**Please Note:** Changes to zoning ordinances, special exception permits and map/plat reviews often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:



Signature of Owner (if not Petitioner):

Date Submitted to City of Kaukauna:

Please submit by email to [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) or by mail to City of Kaukauna, Attn: Plan Commission, P.O. Box 890, Kaukauna, WI 54130

# NOTICE OF PUBLIC HEARING

CITY OF KAUKAUNA  
OUTAGAMIE COUNTY

## TO WHOM IT MAY CONCERN

NOTICE IS HEREBY GIVEN that a Public Hearing will be conducted by the Plan Commission of the City of Kaukauna, at the City Council Chambers, 144 W 2<sup>nd</sup> Street, Kaukauna, WI on **Thursday, May 4, 2023 at 4:00 p.m.** to consider the petition of Bright Amudoaghan, petitioner, for a Special Exception, to allow the operation of an assisted-living facility in the Residential Single-Family District (RSF), per Section 17.16(3).

The proposed Special Exception site is described more fully as:  
LOT 57 SOUTHBREEZE, A SUBDIVISION LOCATED IN GOV'T LOT 2 OF SECTION 35, T21N, R18E; AND IN GOV'T LOTS 2,3, & 4 OF SECTION 23, T21N, R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN.

Persons wishing to submit comments with regard to the special exception request are encouraged to join the meeting. Persons unable to attend the public hearing but who wish to comment may do so by contacting the City of Kaukauna Planning Department by mail at P.O. Box 890, Kaukauna, WI 54130 or by phone at 920.766.6315 or by email at [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) prior to the meeting.

Dated this 12<sup>th</sup> day of April, 2023

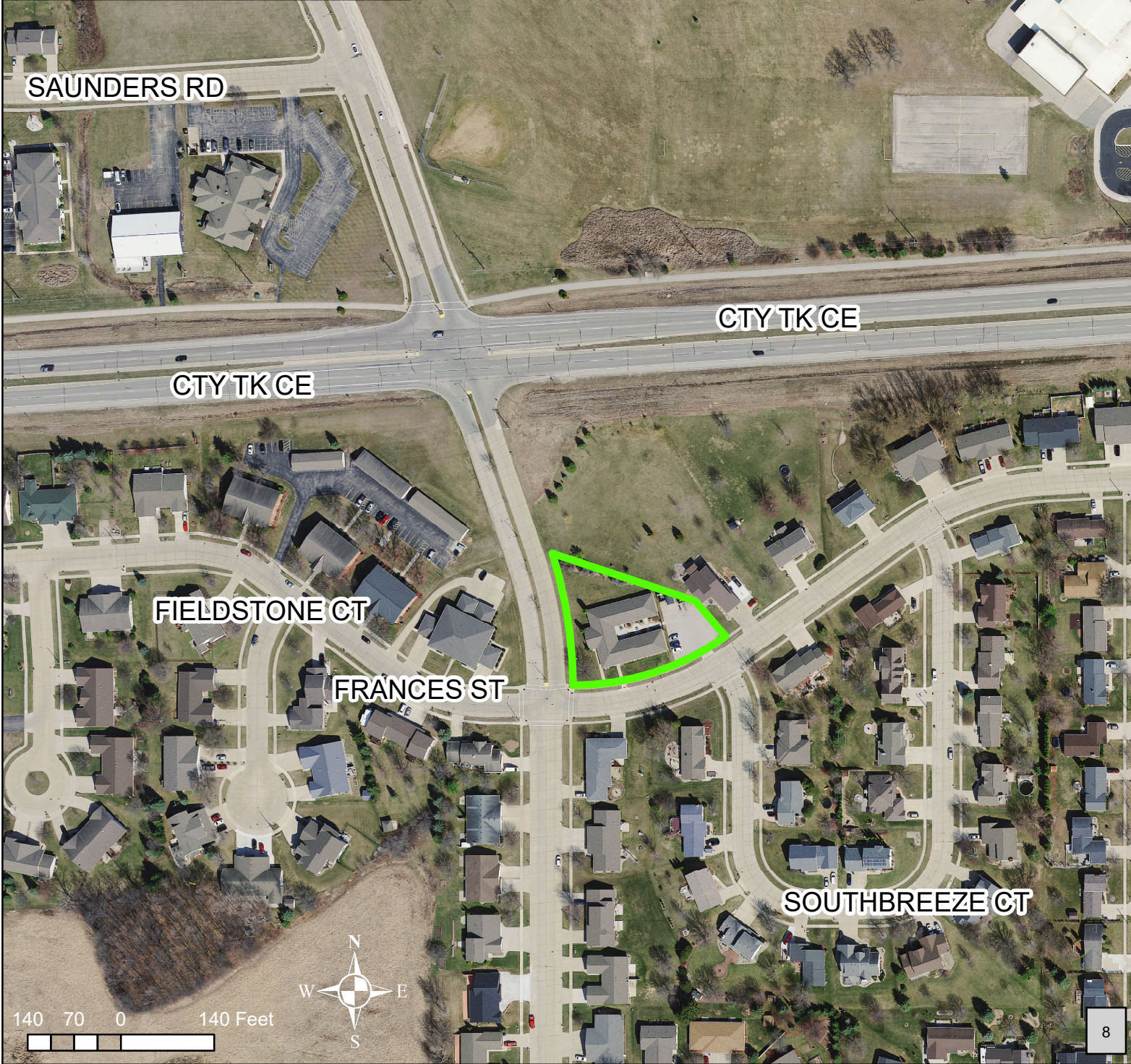
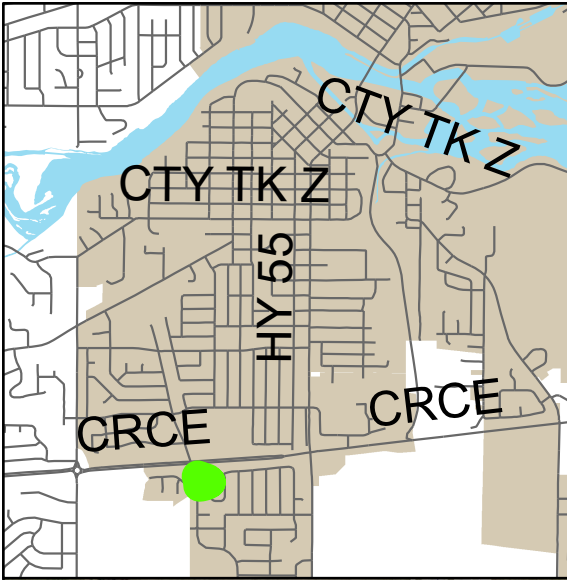
Class 2 Notice Publication Dates:

Wednesday April 19, 2023

Wednesday April 26, 2023

Lily Paul  
Associate Planner  
Planning and Community Development  
City of Kaukauna, Outagamie County









# MEMO

## PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: April 28, 2023  
Re: Special Exception Request – 200 W Wisconsin Ave

Class 2 notice pursuant to Wis. Stats. ch. 985 has occurred in the Times Villager for a Public Hearing to consider a special exception request at 200 W Wisconsin Avenue.

Bill Wolfe, owner of 200 W Wisconsin Ave, has submitted an application for a Special Exception for parcel 321017800. The parcel is zoned Commercial Core District (CCD). Bill Wolfe is proposing to operate a Boutique Auto Sales Business. The business will focus on manual transmission vehicles.

The City of Kaukauna Code of Ordinances, Section [17.20 \(4\)\(g\)](#) allows automobile sales and service as a special exception use. The building currently meets the requirements from the State of Wisconsin for an Auto Dealership. No alterations are required or proposed, only cosmetic work will be done.

**Recommendation:**

Finding the special exception request to meet all the criteria set forth in [Section 17.47 \(4\)](#) of the City Municipal Code, Staff recommends to approve the Special Exception Use of Automobile Sales and Service within the Commercial Core District, at the property located at 200 W Wisconsin Ave, Kaukauna, WI, and recommend the same to Common Council.

UPDATED 3.21.2022



## CITY OF KAUKAUNA PLAN COMMISSION

### APPLICATION FOR REVIEW

**I am requesting a:**

Zoning Change

Special Exception Permit

Certified Survey Map Review

Subdivision Plat Review

**Petitioner Information:**

Name: William H Wolfe Jr.

Address: 611 W Wisconsin Ave., Kaukauna WI 54130

Phone Number: 920-750-9431

Owner's Name (if not the petitioner): William H Wolfe Jr

Owner's Address: SAA

Address of Parcel in Question: 200 W Wisconsin Ave., Kaukauna, WI 54130

Property Dimensions (in either SF or Acres): .17 acres

Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property:

Using the existing building, I would start a boutique auto sales business. This business will focus on manual transmission vehicles. The building currently meets the requirements from the State of Wisconsin for an auto dealership, so no alterations would be required. I am asking the Plan Commission to approve a "Special Exception Permit" for the building located at 200 W Wisconsin Ave.

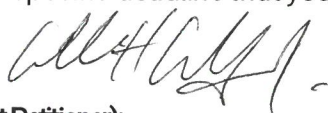
**Additional Requirements:** For Certified Survey Map and Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines and streets with distances to each. For Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. For Zoning Change requests that would result in split zoning (or two zoning classifications on one parcel), a professionally drawn map meeting the standards above is also required. Additional information may also be requested as may be appropriate per the proposal being made.

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Planned Unit Subdivision Ordinance	\$200

**Please Note:** Changes to zoning ordinances, special exception permits and map/plat reviews often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:



Signature of Owner (if not Petitioner):

Date Submitted to City of Kaukauna:

4/12/23

Please submit by email to: [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) or by mail to City of Kaukauna, Attn: Plan Commission, P.O. Box 890, Kaukauna, WI 54130

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The proposed Special Exception site is described more fully as:  
LOT 18 BLK 12 LAWE, MEADE & BLACKS ADDN, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN.

Persons wishing to submit comments with regard to the special exception request are encouraged to join the meeting. Persons unable to attend the public hearing but who wish to comment may do so by contacting the City of Kaukauna Planning Department by mail at P.O. Box 890, Kaukauna, WI 54130 or by phone at 920.766.6315 or by email at [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) prior to the meeting.

Dated this 12<sup>th</sup> day of April, 2023

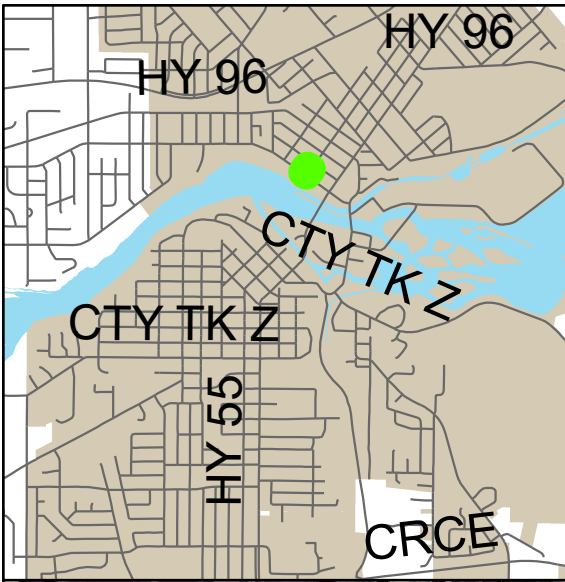
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Lily Paul  
Associate Planner  
Planning and Community Development  
City of Kaukauna, Outagamie County









# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: April 28, 2023  
Re: Extraterritorial Review: Preliminary Plat – Legacy Acres

McMahon Associates, agent for owner, has submitted a Preliminary Plat for Extraterritorial Review. Legacy Acres is a residential development in the Town of Kaukauna, north of the City, off of State Highway 96. The developer has acquired Town of Kaukauna approval and State Plat Review Application confirmation. Wisconsin DOT Approval for Connection to State Trunk Highway has been submitted.

The plat shows a 27 Lot subdivision with one Outlot for storm water purposes. The average lot size is just over an acre. There will be private wells and septic systems. Farmland Drive will be extended and a connection from Fox Meadow Lane is made to provide adequate traffic flow. Fallen Star Drive shows a road dedication to the unplatted lands to the south, available for future expansion. Shadow Ridge Court shows an Additional Road Dedication and Creation of Three Lots by Proposed CSM – resulting in a bulb for a cul-de-sac.

**Recommendation:**

**Approval of the Legacy Acres Preliminary Plat, and recommend the same to the Common Council.**

UPDATED 3.21.2022



## CITY OF KAUKAUNA PLAN COMMISSION

### APPLICATION FOR REVIEW

I am requesting a:

Zoning Change

Special Exception Permit

Certified Survey Map Review

Subdivision Plat Review

#### Petitioner Information:

Name: DOUGLAS E. WOELZ

Address: 1445 MCMAHON DR. P.O. Box 1025 NEENAH WI  
54597-1025

Phone Number: 920-751-4200

Owner's Name (if not the petitioner): POWERS TRUST & K&B DEVELOPMENTS

Owner's Address: P.O. Box 346 KAUKAUNA WI 54130-0346

Address of Parcel in Question: VACANT LAND IN THE TOWN OF KAUKAUNA

Property Dimensions (in either SF or Acres): 42.332

Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property: 27 SINGLE FAMILY LOTS & 2 STORM WATER PONDS. ACCESS PROVIDED TO STH 96 & FOX MEADOWS LANE. WATER PROVIDED BY PRIVATE WELL. WASTEWATER TREATMENT PROVIDED BY ON-SITE SEPTIC SYSTEMS. SEE ATTACHED PRELIMINARY PLAT AND ENGINEERING PLANS.

CITY OF KAUKAUNA

144 W 2nd Street  
Kaukauna, WI 54130

920.766.6300  
www.cityofkaukauna.com

**Additional Requirements:** For Certified Survey Map and Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines and streets with distances to each. For Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. For Zoning Change requests that would result in split zoning (or two zoning classifications on one parcel), a professionally drawn map meeting the standards above is also required. Additional information may also be requested as may be appropriate per the proposal being made.

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**Signature of Petitioner:**

**Signature of Owner (if not Petitioner):**

**Date Submitted to City of Kaukauna:**

Please submit by email to [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) or by mail to City of Kaukauna, Attn: Plan Commission, P.O. Box 890, Kaukauna, WI 54130

# Development Summary

## Legacy Acres Subdivision

Prepared for Roger B. Sr. and Patricia A. Bowers Rev. Trust

TOWN OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

APRIL 6, 2023

McM. No. B0632-09-21-00374

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### I. INTRODUCTION

Roger B. Sr. and Patricia A. Bowers Rev. Trust plans to develop Legacy Acres, a residential subdivision located on the southeast side of STH 96 (Green Bay Rd) from Farmland Drive to Fox Meadows Lane in the Town of Kaukauna, Outagamie County, Wisconsin (NE 1/4, NW 1/4 and NW 1/4, NE 1/4 of Section 18, T21N, R19E). The subdivision will consist of twenty-seven (27) residential lots and one (1) outlot. The subdivision is currently zoned Rural Development.

### II. STREETS

Streets were designed in accordance with Town of Kaukauna design standards. One point of access is proposed off of STH 96 at the Farmland Drive intersection. Another point of access is proposed off Fox Meadows Lane east of STH 96. A future road connection will be located at the south end of Fallen Star Drive.

### III. STORMWATER MANAGEMENT

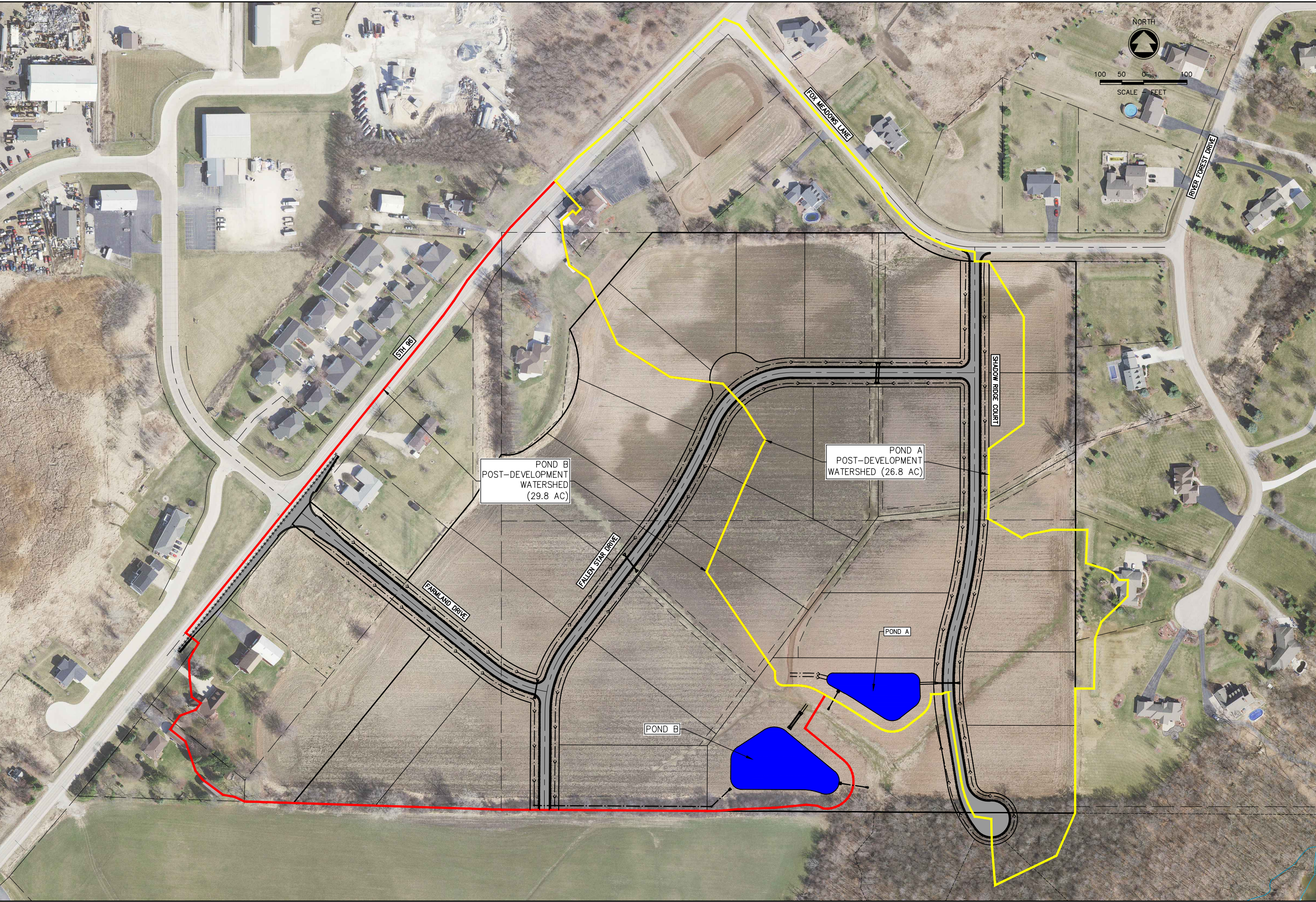
Stormwater management for the Legacy Acres subdivision is provided by two wet detention ponds. The northern pond (hereby referred to as Pond A), will have a permanent pool of 0.36 acres (15,910 square feet). The southern pond (hereby referred to as Pond B) will have a permanent pool of 0.60 acres (26,170 square feet). The wet detention ponds will assist in meeting stormwater management regulations outlined in Chapter 48 of the Outagamie County Code or Ordinances. For reference, the proposed post-development pond watersheds are provided in Figure 1.

#### **IV. SOILS**

Soil borings were obtained for the subdivision. The soil borings report shows the site consists primarily of clay soils. Due to the clay soils, the subdivision meets an exemption for not requiring infiltration.



j:\projects\B0632\092\00374\CADD\Civil3D\REF\H&H\X-Post-Dev Pond Watersheds.dwg, fig. 3 post-development drainage areas, Plot Date: 4/6/2023 3:28 PM, xrefs: (x-aerial\_2021\_outo, contours heart of valley, comps kt, x-all points bowers plot, x-exist topo fox meadows, 3bowers slh 96 kaukauna-concept dew, x-w\_wetbound 2021-11, x-pre-dev drainage areas)



McMAHON  
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.C

NO.	DATE	REVISION

LEGACY ACRES SUBDIVISION  
TOWN OF KAUKAUNA, OUTAGAMIE CO., WI  
PROPOSED POND WATERSHEDS

DESIGNED  
JDH

DRAWN  
JDH

PROJECT NO.  
B0632-09-21-00374

DATE  
APR, 2023

SHEET NO.  
1

FIG. 1

19



ALL OF LOT 1 OF CERTIFIED SURVEY MAP No. 2646, RECORDED IN VOLUME 14 OF MAPS ON PAGE 2646, AS DOCUMENT No. 1200413 AND ALL OF LOT 2 OF CERTIFIED SURVEY MAP No. 7070, RECORDED IN VOLUME 42 OF MAPS ON PAGE 7070, AS DOCUMENT No. 2054922 AND ALL OF LOT 2 OF CERTIFIED SURVEY MAP No. 7440, RECORDED IN VOLUME 45 OF MAPS ON PAGE 7440, AS DOCUMENT No. 2115916 AND A PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4, SECTION 18, TOWNSHIP 21 NORTH, RANGE 19 EAST, TOWN OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN.

Curve #	Radius	Delta	Length	Chord Direction	Chord Length	Tangent	Bearing
C1	73.87'	40°14'04"	51.87'	N80°31'10"E	50.81'	S79°21'48"E	N60°24'07"E
C2	301.94'	22°53'13"	120.61'	N48°26'09"E	119.81'	N59°52'45"E	N36°59'32"E
C3	189.12'	64°05'37"	121.61'	N40°55'12"E	200.70'	N36°58'00"E	N27°07'37"W
C4	233.00'	43°57'49"	178.78'	S67°56'00"E	174.43'	S45°57'06"E	S89°54'55"E

All of Lot 1 of Certified Survey Map No. 2646, recorded in Volume 14 of Maps on Page 2646, as Document No. 1200413 and all of Lot 2 of Certified Survey Map No. 7070, recorded in Volume 42 of Maps on Page 7070, as Document No. 2054922 and all of Lot 2 of Certified Survey Map No. 7440, recorded in Volume 45 of Maps on Page 7440, as Document No. 2115916 and a part of the Northwest 1/4 of the Northeast 1/4, Section 18, Township 21 North, Range 19 East, Town of Kaukauna, Outagamie County, Wisconsin containing 1,843,993 square feet (42.332 acres) of land more or less and described as follows:

Commencing at The North 1/4 corner of said Section 18; Thence S89°55'25"E, 346.96 feet along the North line of the Northeast 1/4 of said Section 18 to the Northwest corner of said Lot 2 of Certified Survey Map No. 7070 and the Point of Beginning; Thence continue S89°55'25"E, 578.40 feet (recorded as S89°55'25"E, 577.07') along the North line of said Lot 2 of Certified Survey Map No. 7070 to the Southeasterly right-of-way line of Fox Meadows Lane and the start of a 233.00 foot radius curve to the left; Thence 178.78 feet (recorded as 179.81') along the arc of said curve being the North line of said Lot 2 of Certified Survey Map No. 7070 and the Southeasterly right-of-way line of Fox Meadows Lane with a chord distance 174.43 feet (recorded as 175.38') which bears S67°56'00"E (recorded as S67°48'56.5"E); Thence S89°54'55"E, 235.58 feet (recorded as S89°55'25"E & N89°36'43"E 235.89') along the North line of said Lot 2 of Certified Survey Map No. 7070 and the South right-of-way line of Fox Meadows Lane to the Northeast corner of said Lot 2 of Certified Survey Map No. 7070; Thence S00°05'34"W (recorded as S00°05'16"W & S01°22'48"E), 1269.29 feet along the East line of said Lot 2 of Certified Survey Map No. 7070 and it's Southerly extension to the South line of the Northwest 1/4 of the Northeast 1/4; Thence N89°39'08"W, 1321.38 feet (recorded as N89°52'35"W, 1321.93') along said South line to the Southeast corner of said Lot 2 of Certified Survey Map No. 7440; Thence N88°09'30"W, 478.48 feet (recorded as N88°07'18"W, 479.51') along the South line of said Lot 2 of Certified Survey Map No. 7440 to the Southwest corner thereof; Thence N39°07'13"E, 496.25 feet (recorded as N38°05'35"E & N39°12'34"E, 496.81' & 496.85') along the Westerly line of said Lot 2 of Certified Survey Map No. 7440; Thence N50°52'47"W (recorded as N50°50'50"W & N51°54'25"W), 407.00 feet along the Westerly line of said Lot 2 of Certified Survey Map No. 7440 and the Southerly line of Lot 1 and the Northerly line of Lot 2 of said Lot 2 of Certified Survey Map No. 2646 and the Northerly line of Lot 2 of Certified Survey Map No. 7606 to the Southeasterly right-of-way line of Green Bay Road (S.T.H. 96); Thence N39°07'13"E (recorded as N38°05'35"E), 66.00 feet along said Southeasterly right-of-way line of Green Bay Road and the Northwestern line of said Lot 1 Certified Survey Map No. 2646 to the Northernmost corner thereof; Thence S50°52'47"E (recorded as S51°54'25"E), 287.00 feet along the Northeastery line of said Lot 1 Certified Survey Map No. 2646 to the Eastern most corner thereof and the Westerly line of said Lot 2 of Certified Survey Map No. 7440; Thence N39°07'13"E, 239.44 feet (recorded as N38°05'35"E, 239.37') along the Westerly line of said Lot 2 of Certified Survey Map No. 7440; Thence N32°17'40"E, 123.42 feet along the Westerly line of said Lot 2 of Certified Survey Map No. 7440 to the start of a 73.87 foot radius curve to the left; Thence 51.87 feet along the arc of said curve and the West line of said Lot 2 of Certified Survey Map No. 7070 with a chord distance of 50.81 feet which bears N80°31'10"E to the start of a 301.94 foot radius curve to the left; Thence 120.61 feet along the arc of said curve and the West line of said Lot 2 of Certified Survey Map No. 7070 with a chord distance of 119.81 feet which bears N48°26'09"E to the start of a 189.12 foot radius curve to the left; Thence 211.56 feet along the arc of said curve and the West line of said Lot 2 of Certified Survey Map No. 7070 with a chord distance of 200.70 feet which bears N04°55'12"E; Thence N40°31'27"E, 293.00 feet to the Point of Beginning.

PROPOSED ZONING: RURAL DEVELOPMENT DISTRICT.  
ZONING ORDINANCE REQUIREMENTS:  
MINIMUM 1 ACRE LOT SIZE WITH 150' OF ROAD FRONTAGE  
EXCEPT ON CUL-DE-SAC MINIMUM 75' ROAD FRONTAGE  
WITH MINIMUM REAR LOT WIDTH OF 150 FEET.

FRONTYARD BUILDING SETBACKS TO BE 32 FEET FROM ROAD  
RIGHT-OF-WAY OR 65' FROM ROAD CENTERLINE WHICHEVER IS GREATER.

TOTAL AREA TO BE DEDICATED = 5.601 ACRES.

TOTAL NUMBER OF LOTS = 27 LOTS.

OWNERSHIP OF OUTLOT 1 TO BE DETERMINED THRU PLATTING REVIEWS.  
OWNERSHIP AND/OR OUTLOT RESTRICTIONS TO BE NOTED ON FINAL PLAT.

ALL LOTS TO BE SERVICED WITH INDIVIDUAL ON-SITE PRIVATE SEPTIC  
SYSTEMS & PRIVATE WELLS

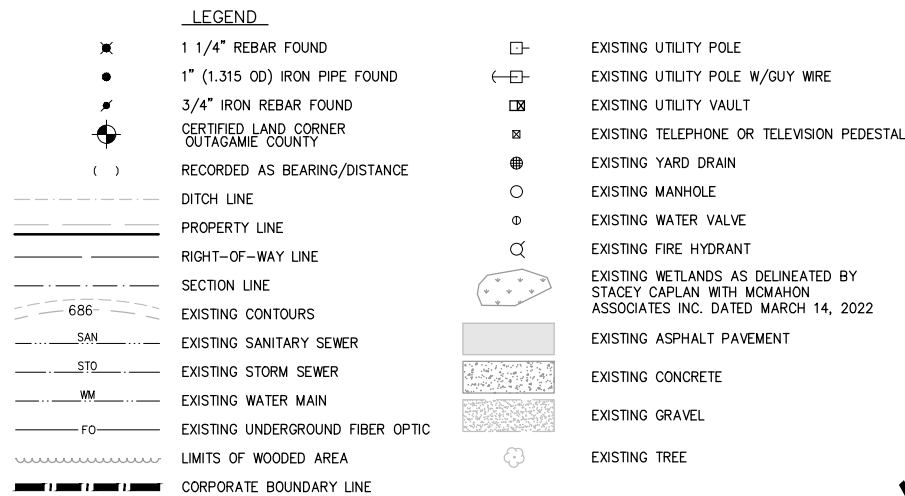
The property as shown and described on this map was surveyed under my direction and control according to the Wisconsin Administrative Code, Chapter A-E7 of Minimum Standards for Property Surveys, and is a correct representation of said survey, to the best of my knowledge and belief.

6-2023 date Professional Land Surveyor



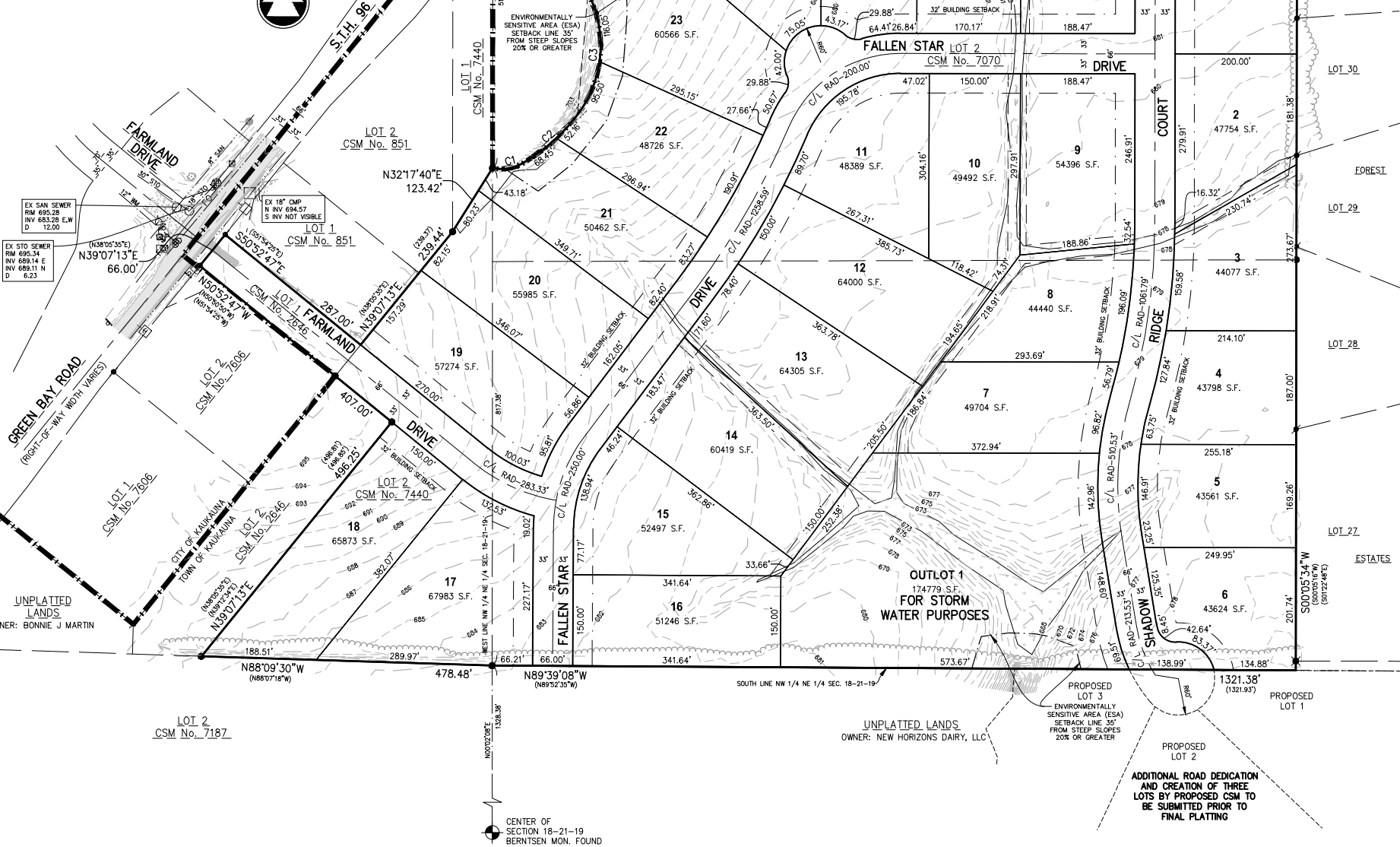
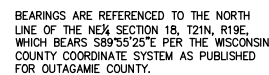
1000 500 0 1000

SCALE - FEET



OWNER/SUBDIVIDER  
ROGER B. SR & PATRICIA A. BOWERS  
JOINT REVOC TRUST  
PATRICIA A. BOWERS, Trustee  
C/O ROGER BOWERS & SONS  
CONSTRUCTION, JOAN M. KLISTER  
P.O. BOX 346  
KAUKAUNA, WI 54130  
PHONE: (920) 766-3210

SURVEYOR:  
DOUGLAS E. WOELZ  
1445 MCMAHON DRIVE  
NEENAH, WI 54956  
(920) 751-4200







# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
 From: Associate Planner Lily Paul  
 Date: April 27, 2023  
 Re: Site Plan Review – Hindu Temple, 911 Delanglade Street

Tilak Andhole, representative for Hindu Temple of NE Wisconsin, is proposing to enlarge the current building on site. The foundation for this addition was already complete when the building was originally constructed in 2002. The addition is roughly 31' 4" by 59' 6 ½" (~1,865 sq ft) and will expand their kitchen storage, storage, and multi-purpose room. Along with the addition, there will be some alterations to their bathrooms. This site is zoned Institutional.

### Site Plan Review

#### *Site/Architectural*

All setbacks are being met. The addition will use EIFS, Face Brick, Stone Band, and 4" split-face CMU for the façade on the south side of the building, they will all match the existing material. The east facing façade will be vinyl, also matching the existing color and material. There are about 100 parking spaces, which meets requirements.

#### *Landscape*

The landscaping plan meets all requirements with 4 canopy trees (maple or oak) in the front yard setback, and 5 additional yew shrubs along with existing shrubs adjacent to the building.

#### *Lighting*

*No additional lighting is proposed.*

#### *Stormwater*

Since the foundation and impervious surface is existing, Storm water and Erosion Control plans are not required. The contractor should remember to use good housekeeping practices to prevent construction debris from the leaving the site and protect any onsite storm drains with type FF erosion fabric.

**Recommendation:**

Staff recommends to approve the site plan for Hindu Temple of NE Wisconsin.





## SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Tilak Andhole	Name: Best Built Inc
Mailing Address: 808 Winding Waters Way DePere, WI 54115	Mailing Address: 3100 Holmgren Way Green Bay, WI 54304
Phone: 1-920-2050042	Phone: 920-337-6488
Email: tilak@andhole.com	Email: Jason@bestbuiltinc.com

PROPERTY INFORMATION	
Described the Proposed Project in Detail: Installing a wood framed addition in the footprint of the existing foundation.	
Property Parcel (#):	
Site Address/Location: <b>911 Delanglade St Kaukauna, WI 54130</b>	
Current Zoning and Use: <b>Commercial A-3 Hindu Temple</b>	
Proposed Zoning and Use: <b>Same as existing</b>	
Existing Gross Floor Area of Building: <b>7047 SQ'</b>	Proposed Gross Floor Area of Building: <b>1865 SQ'</b>
Existing Building Height: <b>22'</b>	Proposed Building Height: <b>22'</b>
Existing Number of Off-Street Parking Spaces: <b>97</b>	Proposed Number of Off-Street Parking Spaces: <b>97</b>
Existing Impervious Surface Coverage Percentage:	Proposed Impervious Surface Coverage Percentage:

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Jason Brunhoefer Digitally signed by Jason Brunhoefer  
Date: 2023.04.25 16:02:22 -05'00'

Owner/Agent Name (printed): \_\_\_\_\_

## SITE PLAN REVIEW PROCEDURE

The Plan Review process is required for all new commercial, industrial or multifamily buildings, and building expansions/additions or structures.

Early in the process, consult the Site Application Checklist (below) for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed Site Plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various City departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

## SITE PLAN CHECKLIST

- ✓ Completed Site Plan application
- ✓ Completed [Erosion Control and Stormwater Management Permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site Plan set to include:
  - Site Plan layout and streets, including designated fire lanes
  - Utilities, grading, and drainage plan
  - Erosion control plan
  - Landscape and lighting plan
  - Architectural elevation and construction details
  - Floor plan set
  - Any other plans or information deemed necessary by the Planning and Community Development

## SITE PLAN SUBMISSION

1. Email to Lily Paul - [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org)
2. In-person drop off - City of Kaukauna, Attn: Lily Paul, 144 W. 2nd Street, Kaukauna, WI 54130



# HINDU TEMPLE OF NORTHEAST WISCONSIN KAUKAUNA, WI

## PROJECT TEAM

ARCHITECT ARCHITECTS GROUP LIMITED 1825 SOUTH WEBSTER AVE. SUITE 202 GREEN BAY, WI 54301 920-432-1232	STRUCTURAL DDK ENGINEERING 6311 BLACK WOLF POINT RD OSHKOSH, WI 54902 920-688-5546	HVAC ANDHOLE ENGINEERING, LLC 808 WINDING WATERS WAY DEPERE, WI 54115 920-205-0042
---	--	--

Conditionally  
**APPROVED**  
DEPT. OF SAFETY AND PROFESSIONAL  
SERVICES  
DIVISION OF INDUSTRY SERVICES  
*Joan Hansen*  
  
SEE CORRESPONDENCE

Building and HVAC Addition  
CB-122200608-PRBH  
12-15-2022

## INDEX TO DRAWINGS

T	TITLE, SHEET INDEX, GRAPHICS, LOCATION MAP
O.1	SITE PLAN
1.0	OVERALL FLOOR PLAN - DEMO
1.1	OVERALL FLOOR PLAN - NEW
1.2	PARTIAL FLOOR PLAN - NEW
1.3	PARTIAL REFLECTED CEILING PLAN - NEW
2.0	EXTERIOR ELEVATIONS
3.0	SECTIONS
4.0	INTERIOR ELEVATIONS
5.0	SCHEDULES AND DETAILS

## STRUCTURAL

S1	STRUCTURAL NOTES AND DETAILS
S2	STRUCTURAL PLANS

## HVAC

H1	HVAC DEMO PLAN
H2	HVAC PLAN
H3	HVAC NOTES

## CODE INFO

CODES REVIEWED  
2015 INTERNATIONAL BUILDING CODE  
2009 ANSI A117.1 HANDICAP ACCESSIBILITY

EXISTING BUILDING	7047 S.F.
ADDITION	1865 S.F.
TOTAL BUILDING	8912 S.F.

BUILDING OCCUPANCY	ASSEMBLY A-3
BUILDING CONSTRUCTION	TYPE 5B, UNSPRINKLERED

MAX. BUILDING OCCUPANCY IS 192 PEOPLE BASED ON SEATING CAPACITY SHOWN ON FLOOR PLAN.

TOILET FACILITIES  
PER 2902.1  
REQUIRED FOR 96 PEOPLE/SEX FOR A-3 USE

	M	F	M	F
WC / URINAL	1 / 150	1 / 75	1	2
LAV	1 / 200	1 / 200	1	1
D.F.	1 / 1000		1	
SERVICE SINK	1			1

PROVIDED TOILET FACILITIES EXCEED REQUIRED

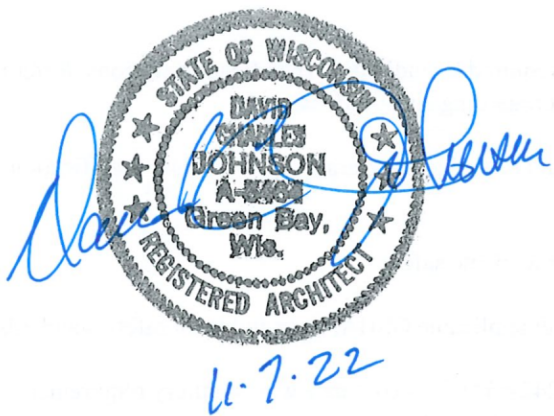
	M	F
WC / URINAL	4	4
LAV	2	2
D.F.	2	
SERVICE SINK	1	

PER 506.2, MAX. FLOOR AREA IS 6000 S.F. FOR UNSPRINKLERED BUILDING AREA INCREASE BASED UPON 506.2.1 WHERE MIN. 20' IS OPEN SPACE AROUND BUILDING PERIMETER.

ALLOWABLE AREA =  $A_1 + (NS \times I_F)$   
 $I_F = [\frac{1}{4} - .25] W/30$

$A_1$  = 6000  
 $NS$  = 6000  
 $F$  = 373.52 FT  
 $P$  = 404.62 FT  
 $W$  = 30 FT  
 $I_F$  = .673

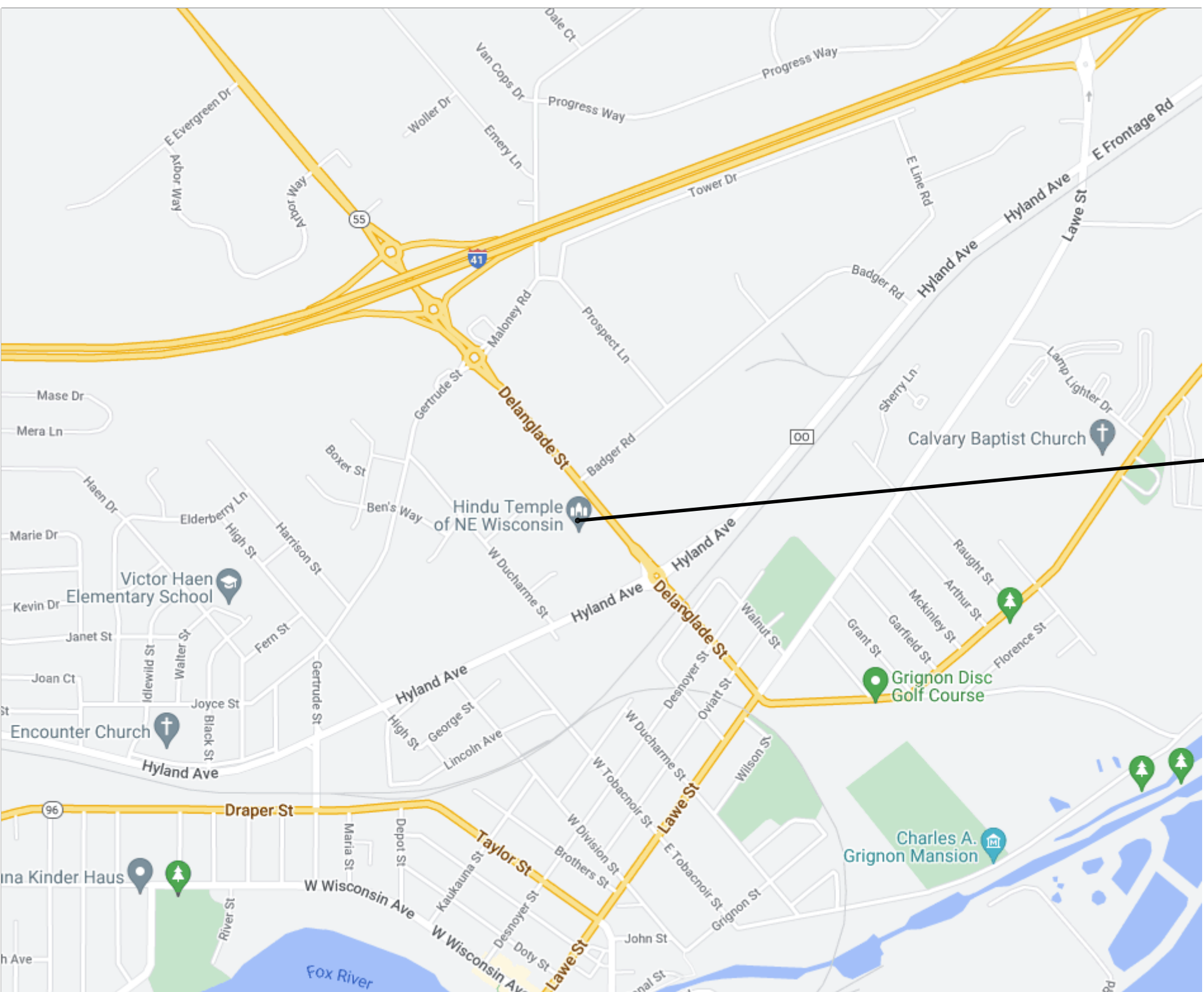
ALLOWABLE AREA = 10038 S.F. TO BE INCREASED TO AND THIS IS ONLY 8912 S.F.



THESE DRAWINGS WERE PREPARED BY ARCHITECTS GROUP LIMITED FOR CONSTRUCTION OF THE BUILDING DESCRIBED. AS SUCH, THEY ARE THE PROPERTY OF ARCHITECTS GROUP LIMITED AND MAY NOT BE REPRODUCED, COPIED OR USED IN ANY WAY WITHOUT PRIOR APPROVAL FROM ARCHITECTS GROUP LIMITED.

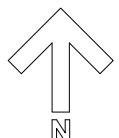
## ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	MECH	MECHANICAL
A/C	AIR CONDITIONING	MDF	MEDIUM DENSITY FIBER BOARD
ACT	ACOUSTICAL CEILING TILE	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AFF	ABOVE FINISHED FLOOR	MO	MASONRY OPENING
AHU	AIR HANDLING UNIT	MTL	METAL
ALT	ALTERNATE	N/A	NOT APPLICABLE
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
ARCH	ARCHITECTURAL	NTS	NOT TO SCALE
		#	NUMBER
BO	BOTTOM OF	OC	ON CENTER
BOT	BOTTOM	OH	OPPOSITE HAND
BOW	BOTTOM OF WALL	OFNG	OPENING
BUR	BUILT UP ROOFING	OPP	OPPOSITE
CF	CUBIC FEET	PCBL	PAINTED CONCRETE BLOCK
CH	CHANNEL	PGB	PAINTED GYPSUM BOARD
CJ	CONTROL JOINT	PL	PLATE
CL	CENTERLINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLY	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
CO	CLEAN OUT	PSF	POUNDS PER SQUARE FOOT
COL/COLS	COLUMN/COLUMNS	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PT	PORCELAIN TILE
CONST	CONSTRUCTION	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS		
COORD	COORDINATE	QT	QUARRY TILE
CT	CERAMIC TILE	QTY	QUANTITY
DBL	DOUBLE	R	RISER
DF	DRINKING FOUNTAIN	RD	ROOF DRAIN
DIA	DIAMETER	RE	REGARDING
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REFG	REFRIGERATOR
DR	DOOR	REINF	REINFORCED
DS	DOWNSPOUT	REQD	REQUIRED
DTL/DET	DETAIL	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	SACT	SUSPENDED ACOUSTICAL CEILING TILE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SCHED	SCHEDULE
EJ	EXPANSION JOINT	SF	SQUARE FEET
ELEV	ELEVATION-HEIGHT	SHT	SHEET
ELEC	ELECTRIC	SHTG	SHEATHING
EQ	EQUAL	SIM	SIMILAR
EXTG	EXISTING	SIP	STRUCTURAL INSULATED PANEL
FD	FLOOR DRAIN	SPECS	SPECIFICATIONS
FDN	FOUNDATION	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	STD	STANDARD
FF	FINISHED FLOOR	STRUCT	STRUCTURAL
FLR	FLOOR	STL	STEEL
FT	FOOT/FEET	SUB FLR	SUB FLOOR
FTG	FOOTING	T&G	TONGUE & GROOVE
GA	GAUGE	THRU	THROUGH
GALV	GALVANIZED	TJI	TRUSS JOIST INCORPORATED
GC	GENERAL CONTRACTOR	TO	TOP OF
GL	GLASS	TOB	TOP OF BEAM
GLU LAM OR GLB	GLUE LAMINATED BEAM	TOP	TOP OF PLATE
GYP BD	GYPSUM WALL BOARD	TO FTG	TOP OF FOOTING
H OR HORIZ	HORIZONTAL	TOS	TOP OF STEEL
HM	HOLLOW METAL	TOSL	TOP OF SLAB
HT	HEIGHT	TOW	TOP OF WALL
HTG	HEATING	TP DISP	TOILET PAPER DISPENSER
IN	INCH	TYP	TYPICAL
INFO	INFORMATION	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATION	VCT	VINYL COMPOSITE TILE
INT	INTERIOR	VERT	VERTICAL
JT	JOINT	VB	VINYL BASE
LB	FOUND	W/	WITH
LF	LINEAL FEET	WC	WATER CLOSET
LTWT	LIGHTWEIGHT	WD	WOOD
LVL	LAMINATED VENEER LUMBER	W/O	WITHOUT
MANUF	MANUFACTURER	WT	WEIGHT
MAT	MATERIAL	WUM	WELDED WIRE MESH
MAX	MAXIMUM		



HINDU TEMPLE OF  
NORTHEAST WISCONSIN  
911 DELANGLADE STREET  
KAUKAUNA, WI 54130

## LOCATION MAP



## MATERIALS

UNLESS NOTED OTHERWISE

	RIGID INSULATION
	BATT INSULATION
	BLOWN INSULATION
	WOOD - ROUGH CUT
	WOOD - FINISH
	BRICK
	BLOCK
	STONE
	CONCRETE
	COMPACTED FILL
	EARTH
	GYPSUM BOARD
	STEEL

## SYMBOLS

COMMUNITY ROOM

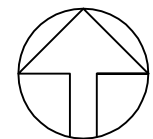
	152
	137A
	A
	3 A400
	7 A204
	A A302
	12 A602

ROOM SYMBOL EX: ROOM NAME/ROOM NUMBER
DOOR TAG SEE DOOR SCHEDULE
DOOR SYMBOL EX: DOOR/DIR. OF SWING
WINDOW TAG SEE WINDOW TYPE ELEVATIONS
INTERIOR ELEVATION EX: SHEET A400, DETAIL 3
EXTERIOR ELEVATION EX: SHEET A204, DETAIL 7
BUILDING SECTION EX: SHEET A302, DETAIL A
DETAIL CALL-OUT EX: SHEET A602, DETAIL 12

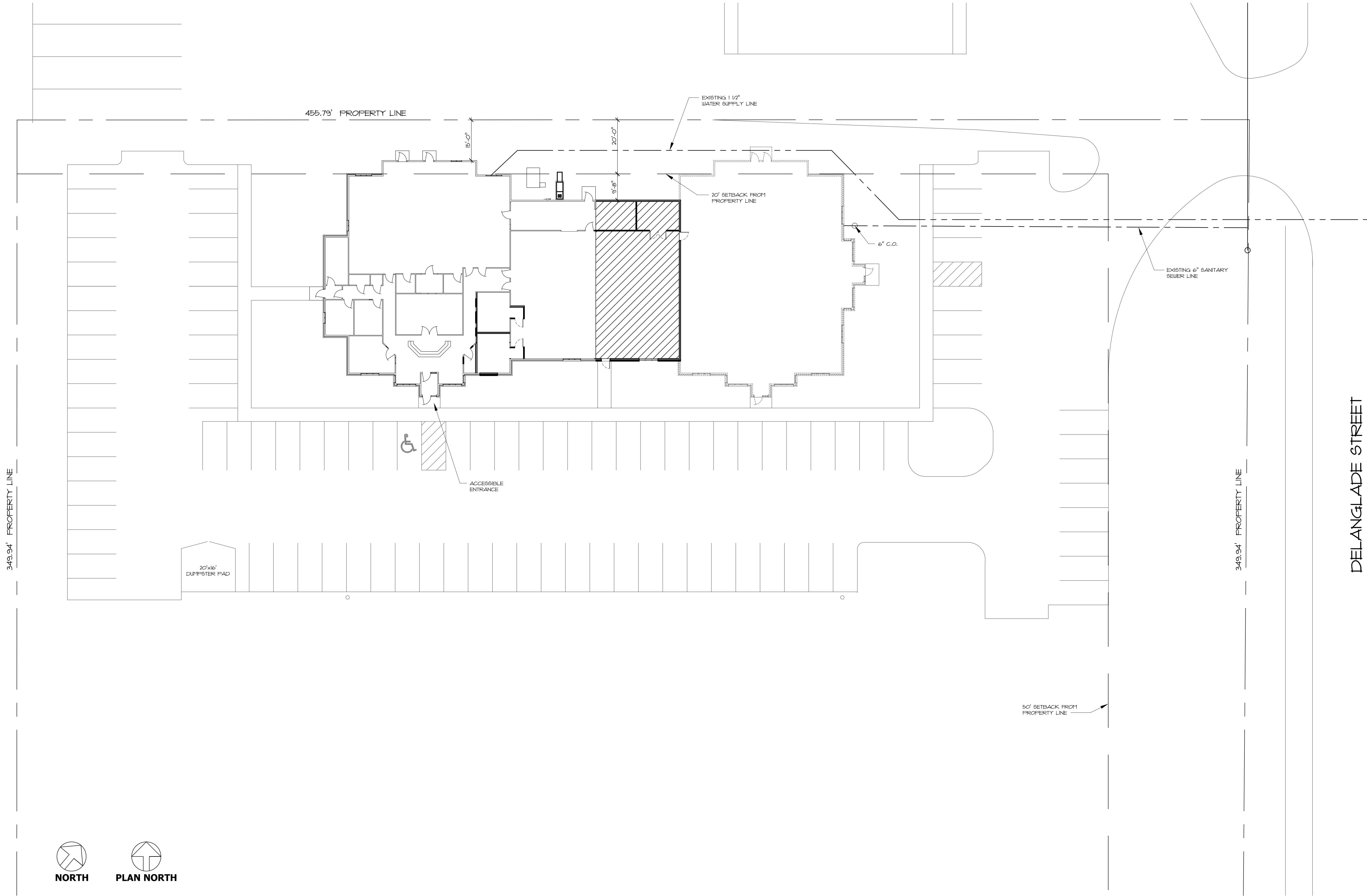




**NORTH**

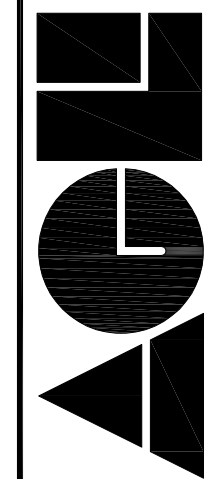


**PLAN NORTH**



DELANGLADE STREET

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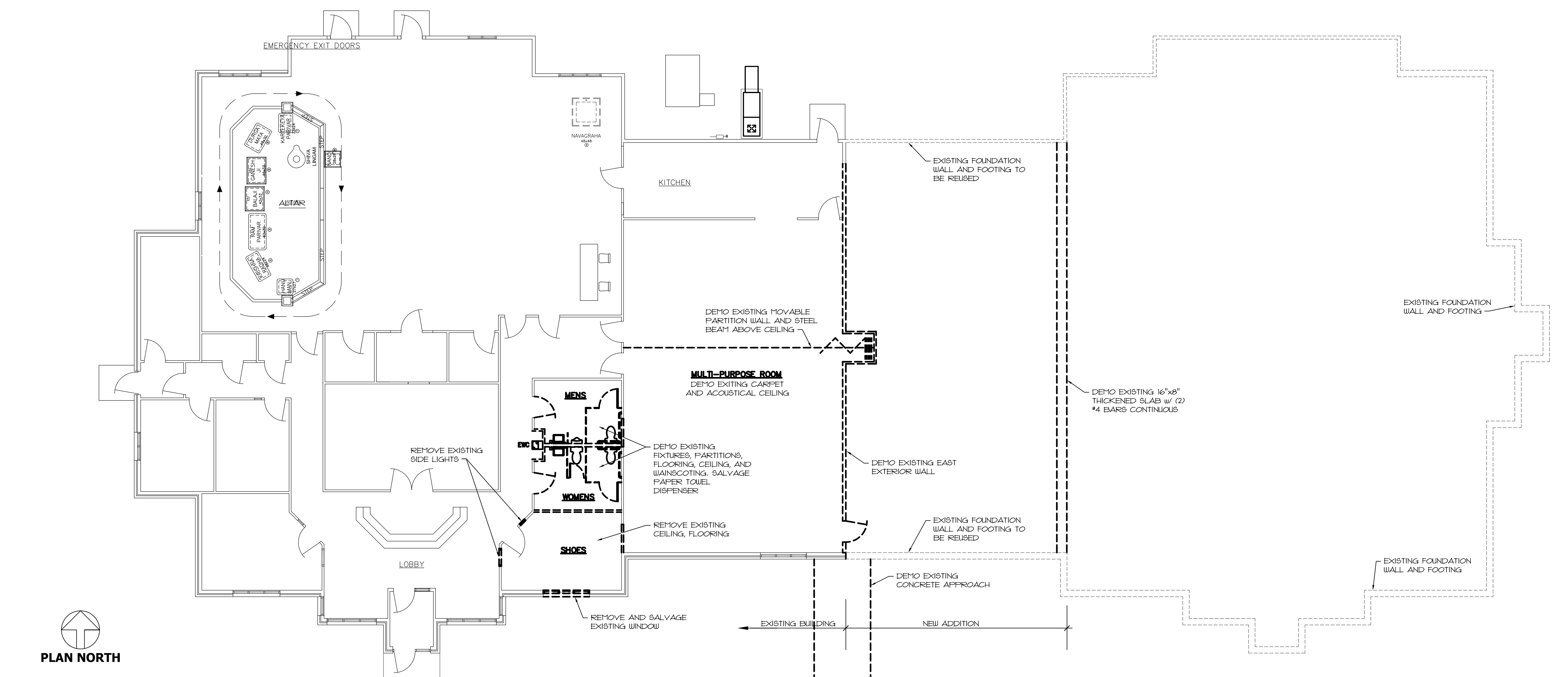
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**SITE PLAN**

**HINDU TEMPLE OF NORTHEAST WISCONSIN**  
**911 DELANGLADE STREET**  
**KAUKAUNA, WI 54130**

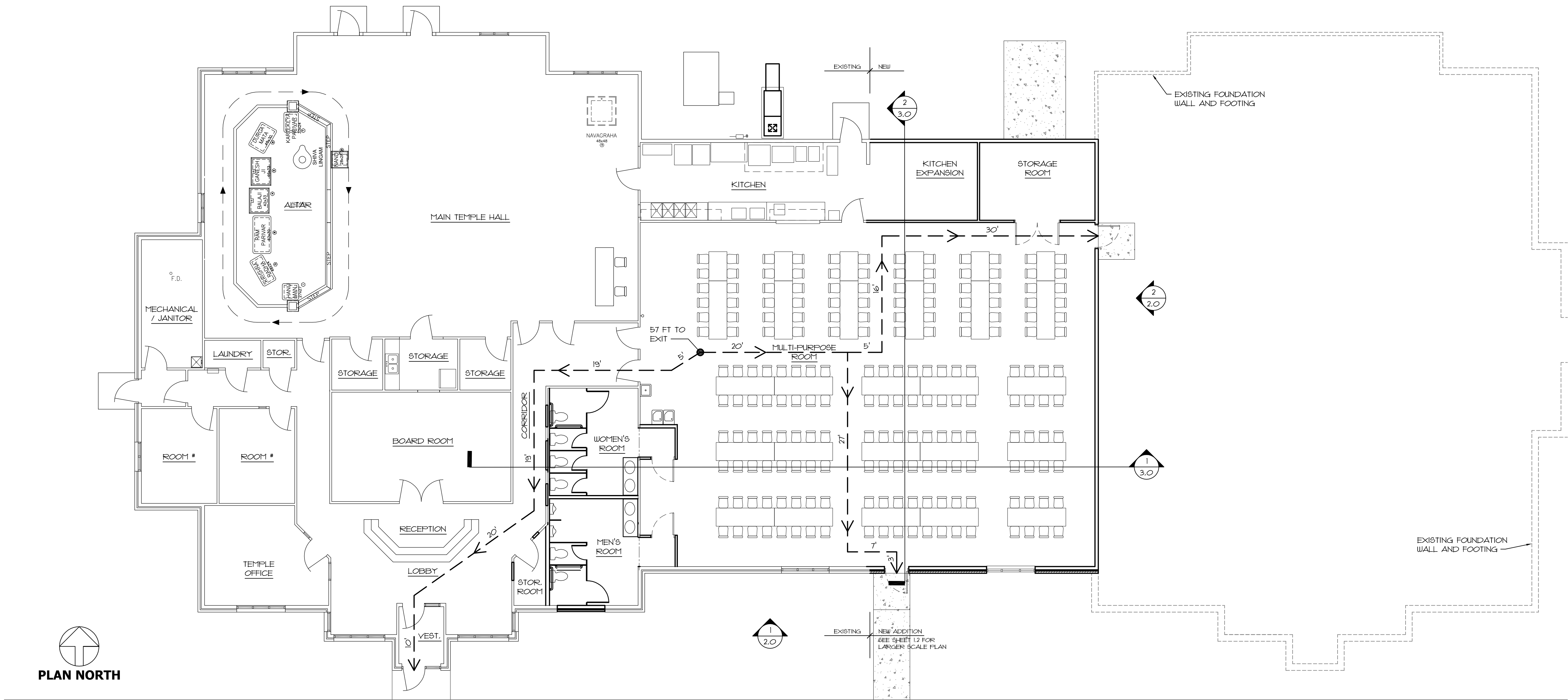
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PRELIMINARY	11/07/2022		2022-030
FINAL REVIEW			
BID DOCUMENT			

DRAWN BY	DWG



# 1 OVERALL FLOOR PLAN - DEMO

SCALE: 1/8" = 1'-0"

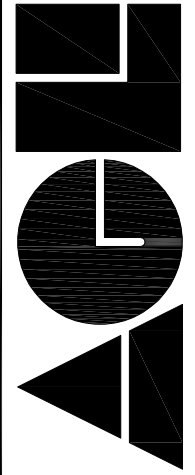


**1 OVERALL FLOOR PLAN - NEW**  
SCALE: 1/8" = 1'-0"

EXIT PATH OF TRAVEL LESS THAN 75'.

REQUIRED EXIT OUT OF THE MULTI-PURPOSE ROOM FOR 192 PEOPLE IS 38.4 INCHES THRU EXIT DOORS. THE CLEAR WIDTH THROUGH 3 EXIT DOORS IS 33' / DOOR OR 99' TOTAL. REQUIRED EXITING EXCEEDS CODE REQUIREMENTS.

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**1.1**

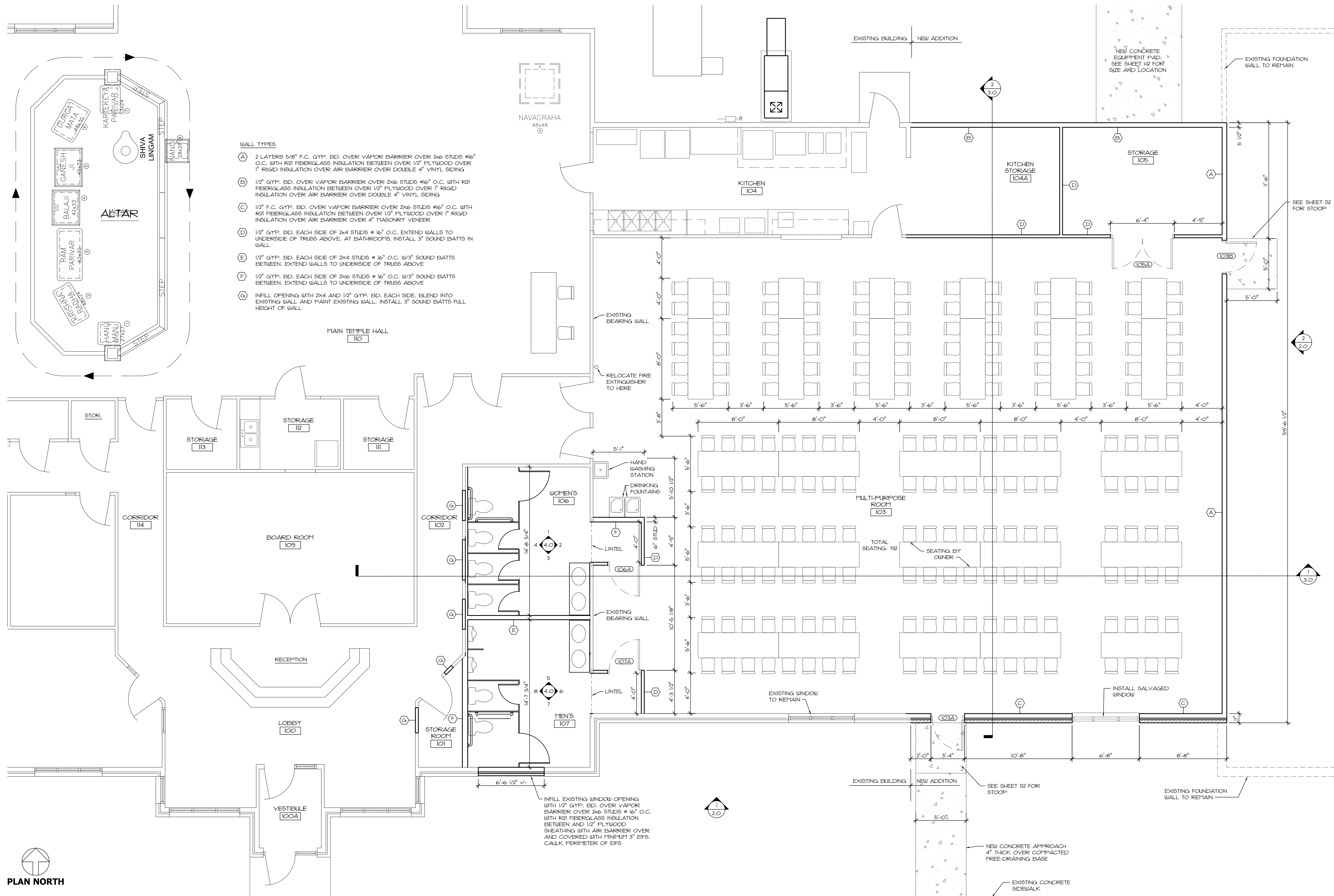
OVERALL FLOOR PLAN - NEW

DATE	REVISED	JOB NO.
11/07/2022		2022-090

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PRELIMINARY	DJB
FINAL REVIEW	
BID DOCUMENT	

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911 DELAUNDE STREET  
KAUKAUNA, WI 54130





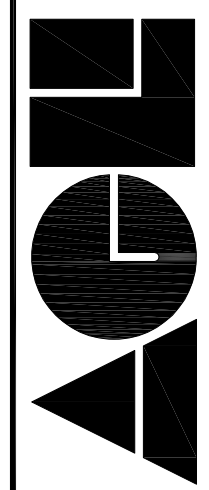
HINDU TEMPLE OF NORTHEAST WISCONSIN  
911 DELAUNDE STREET  
KAUKAUNA, WI 54130

PARTIAL FLOOR PLAN - NEW

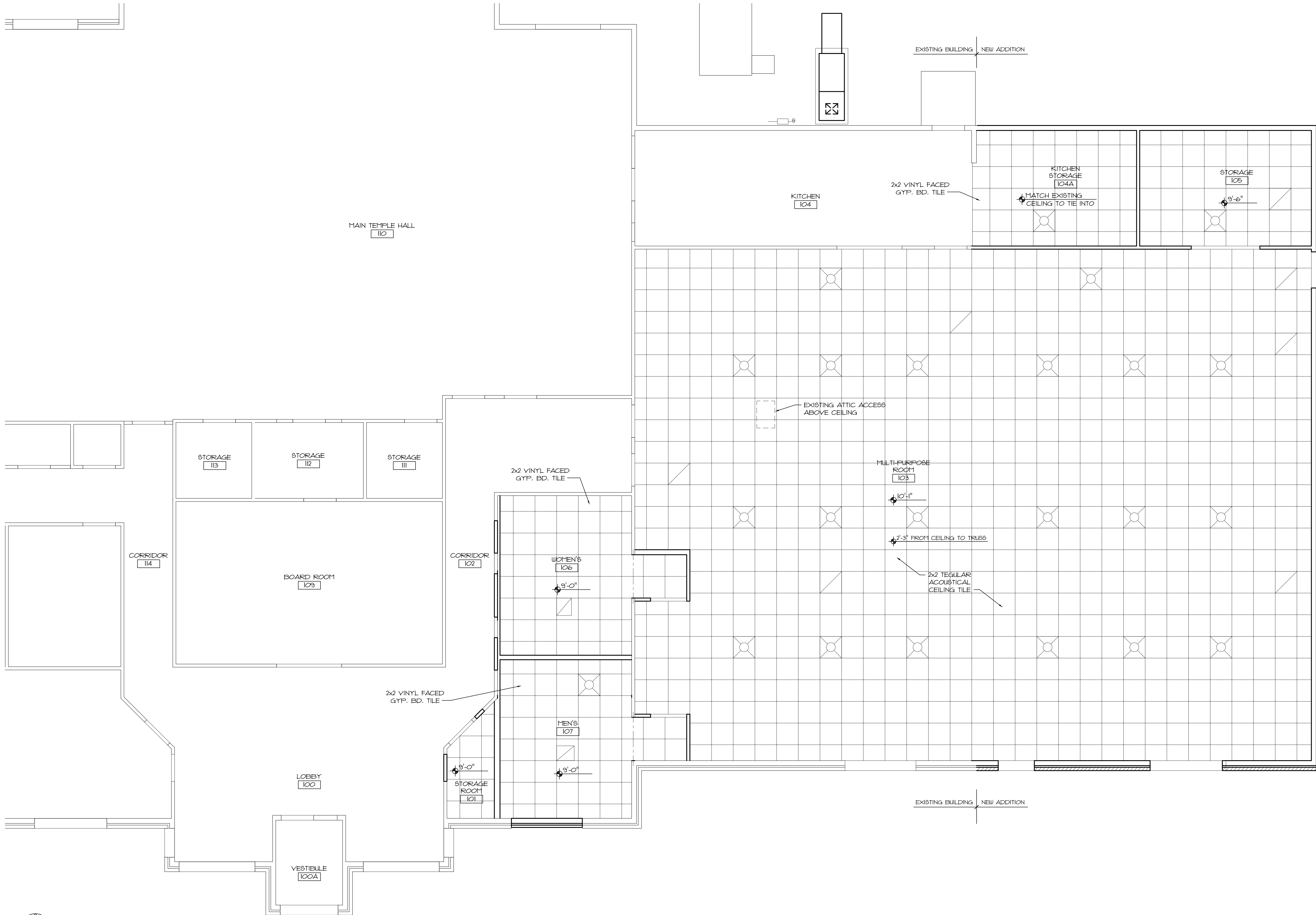
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11/07/2022		2022-030
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SET TYPE	REVISION	JOB NO.
PRELIMINARY		2022-030
FINAL REVIEW		
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**1.2**



PLAN NORTH

**1 PARTIAL REFLECTED CEILING PLAN - NEW**

SCALE: 1/4" = 1'-0"

Item 4.d.

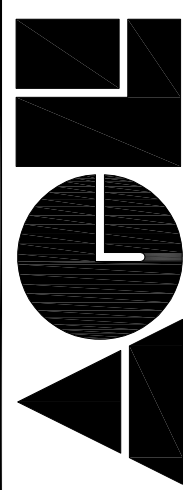
HINDU TEMPLE OF NORTHEAST WISCONSIN  
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**PARTIAL REFLECTED CEILING  
PLAN - NEW**

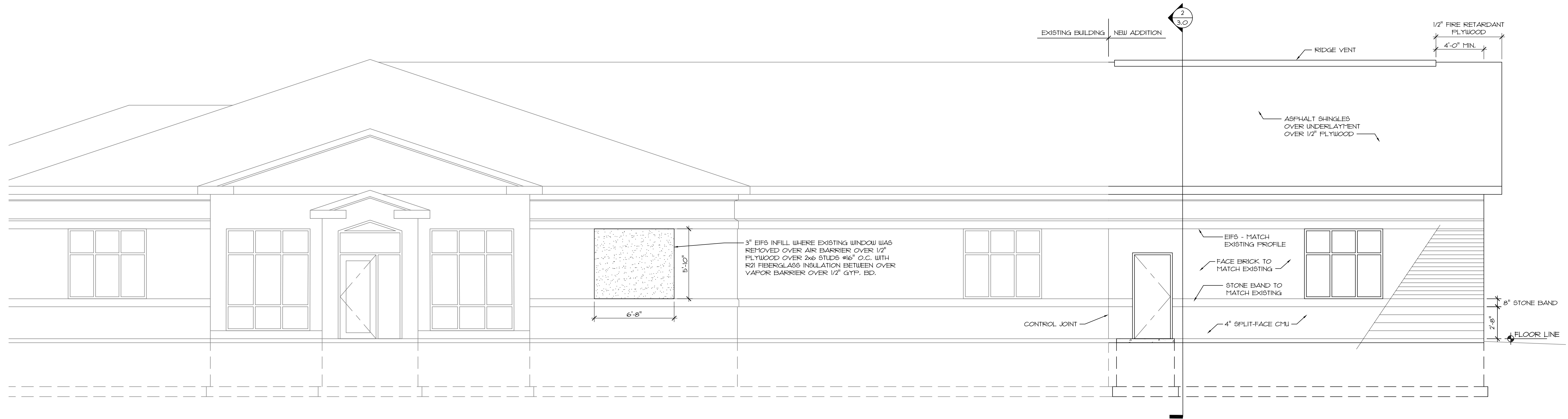
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11/07/2022		2022-030

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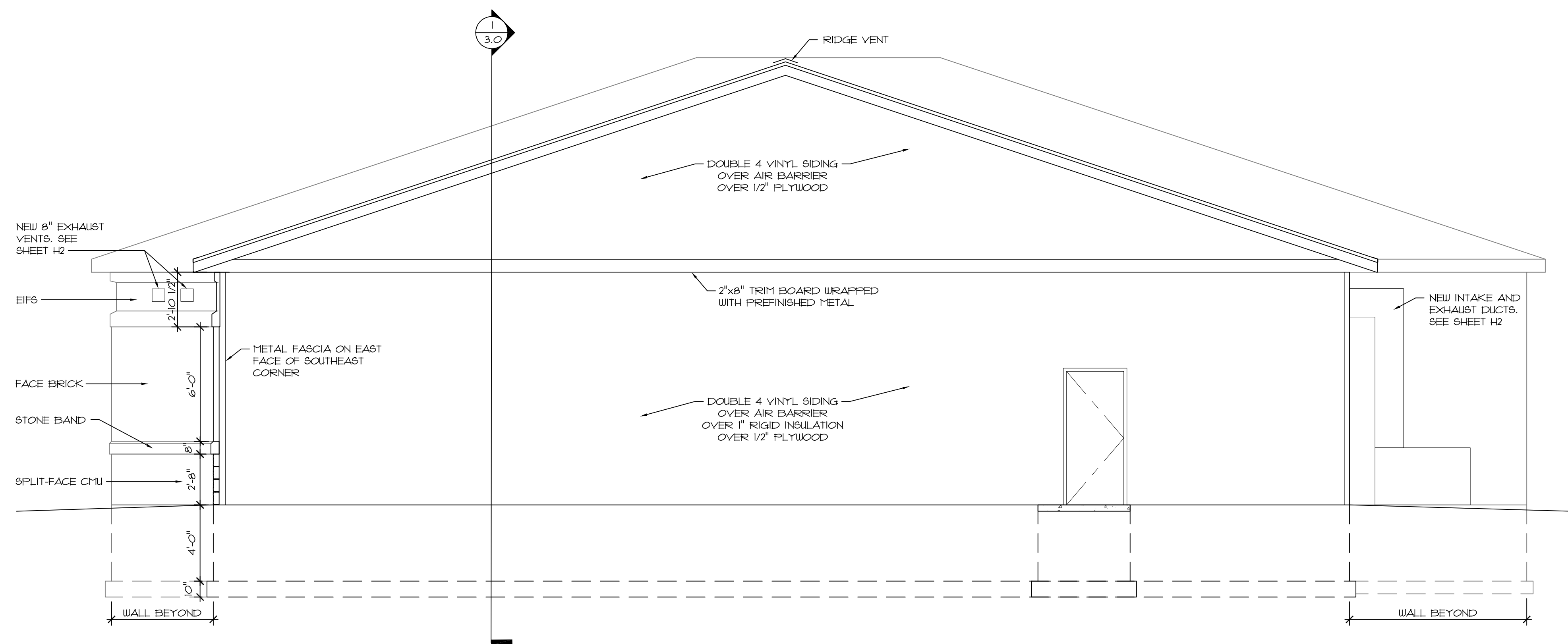


**1.3**



# 1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



# 2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

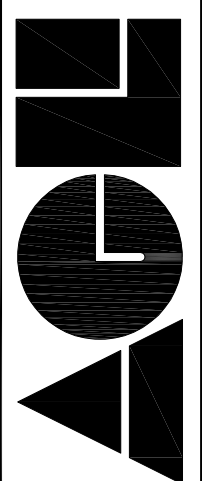
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## EXTERIOR ELEVATIONS

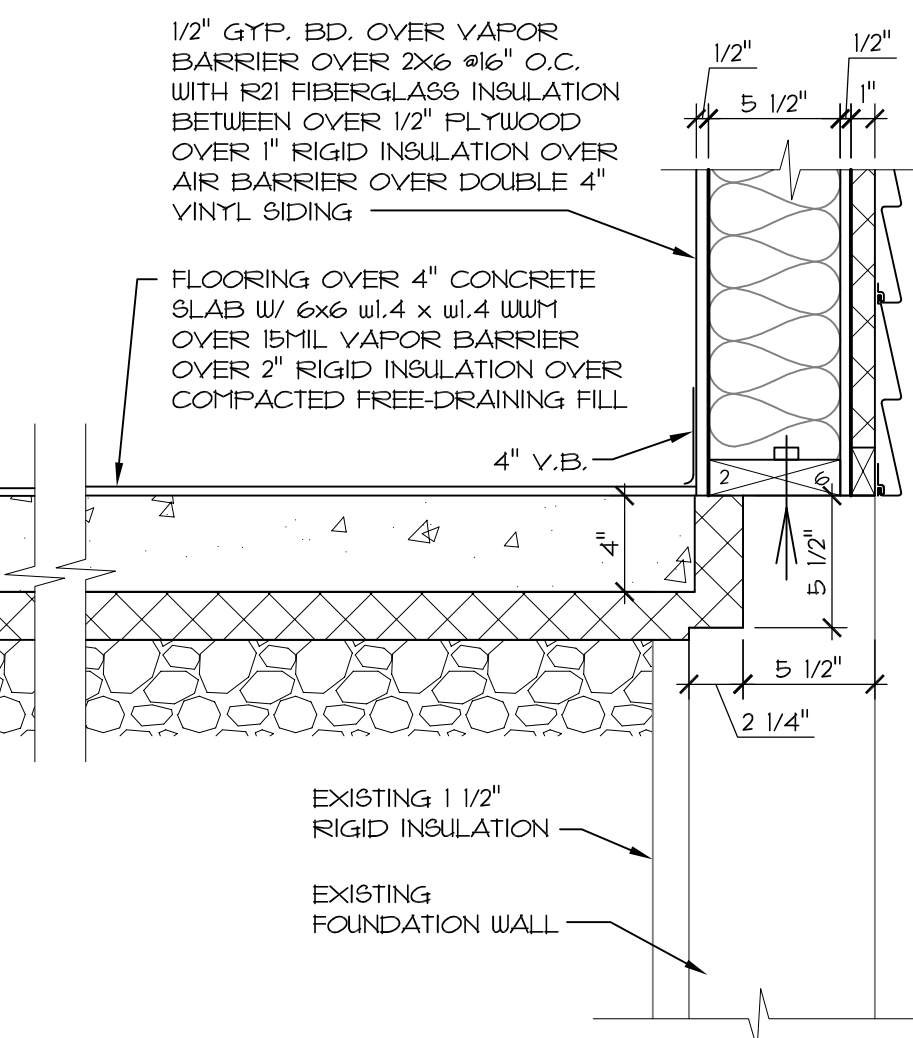
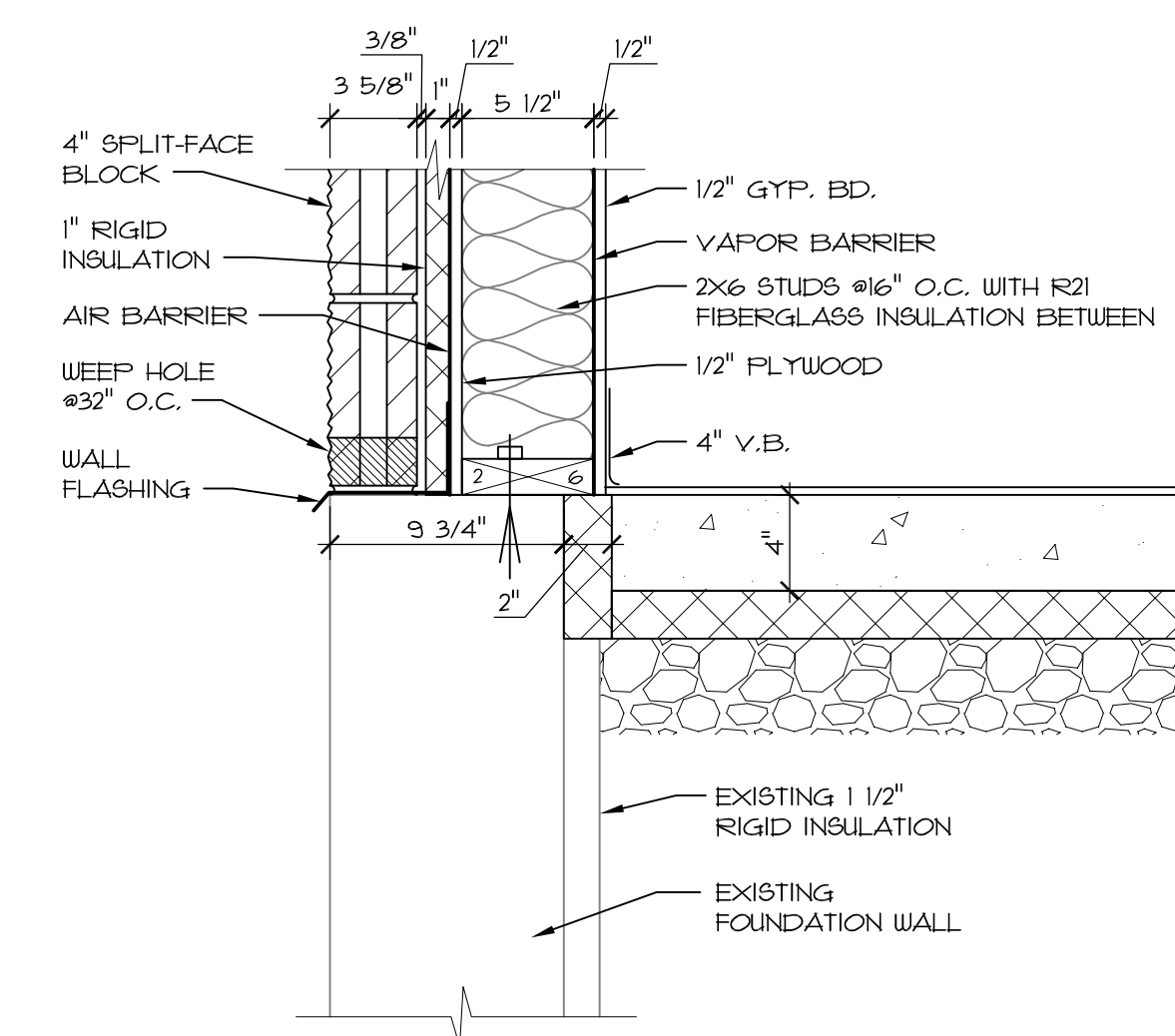
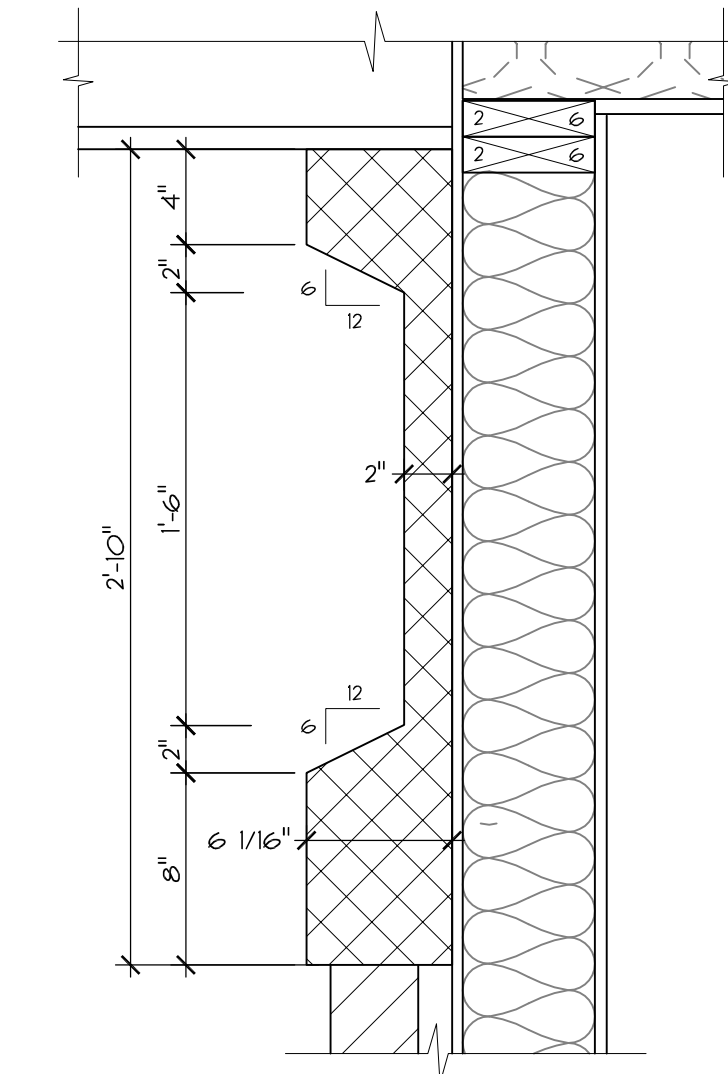
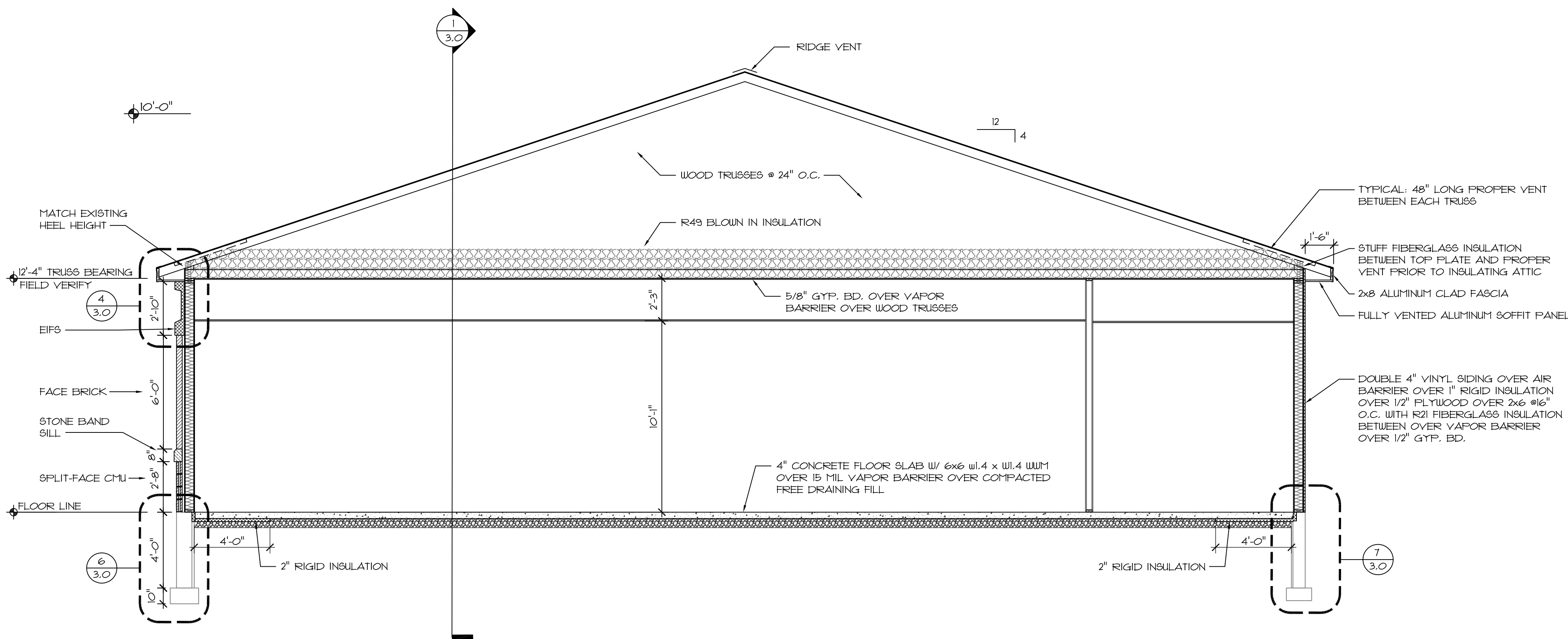
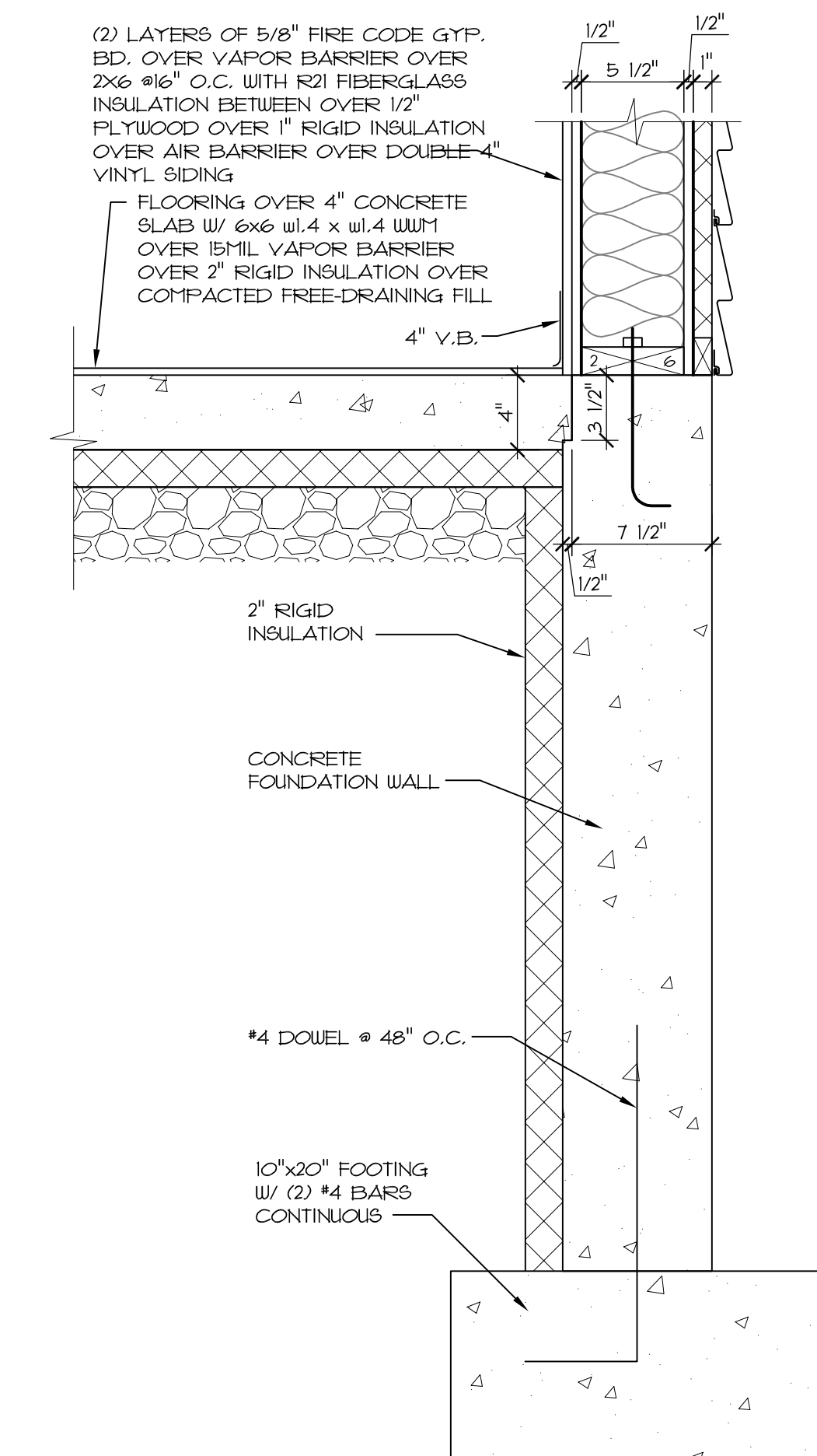
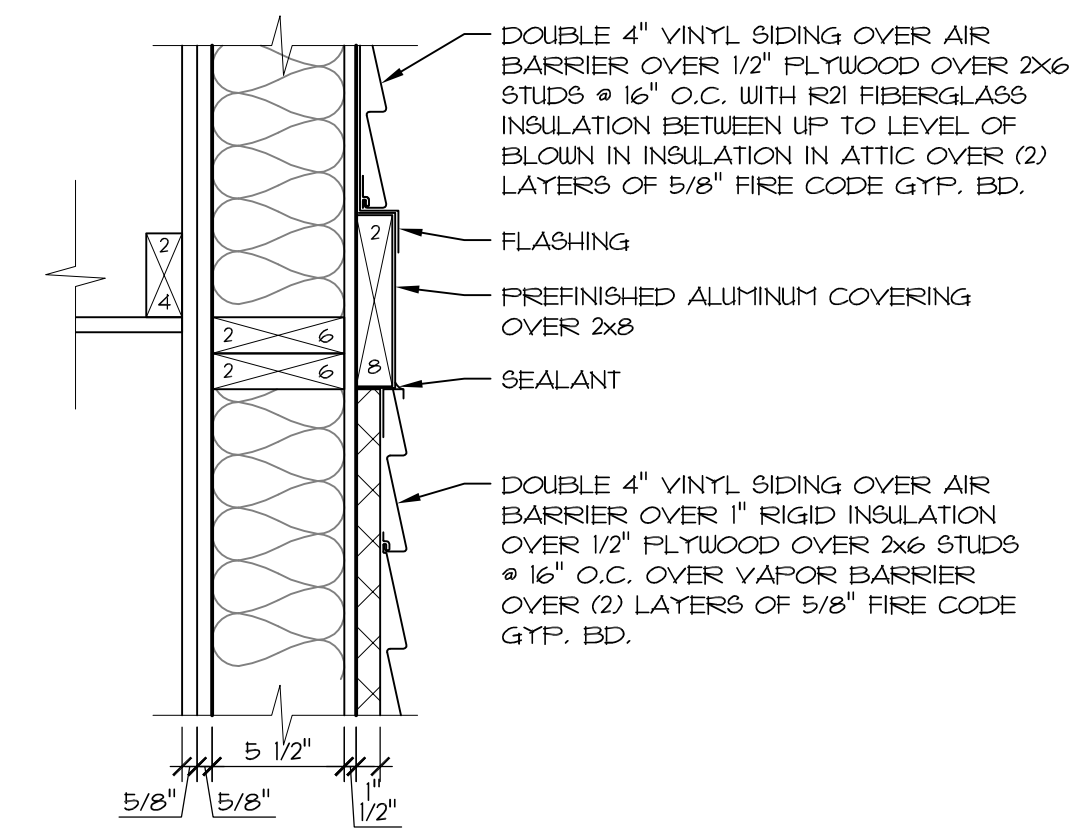
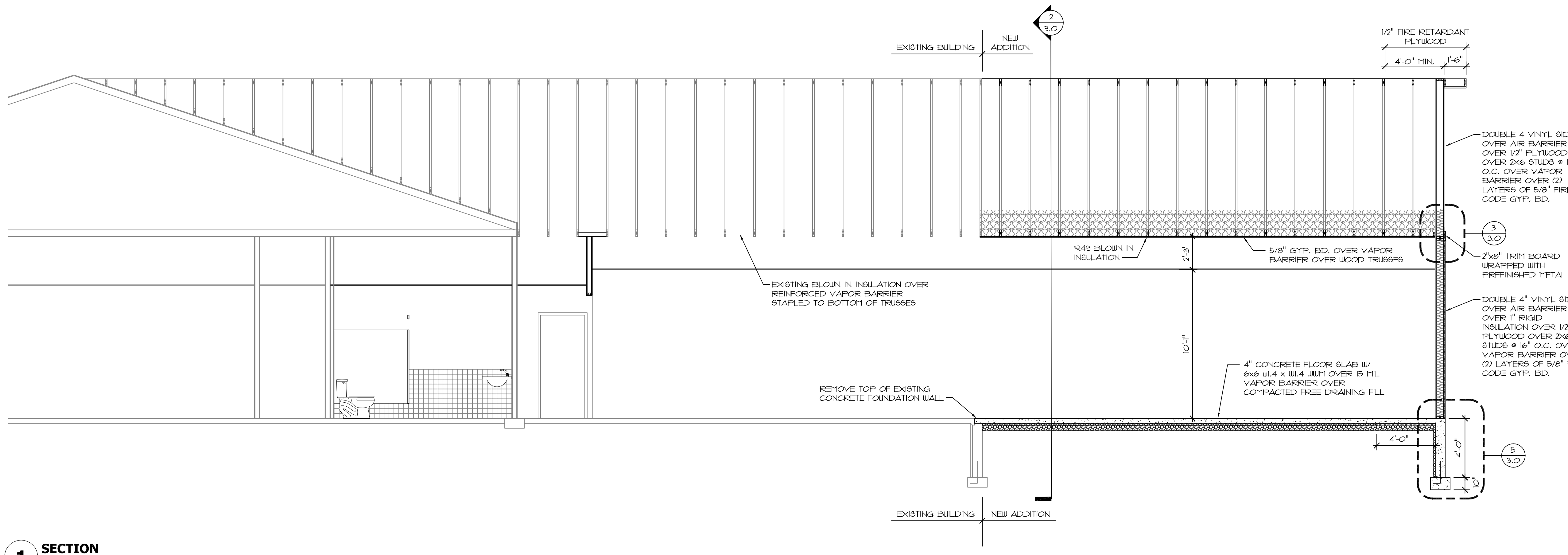
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BID DOCUMENT	

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2.0

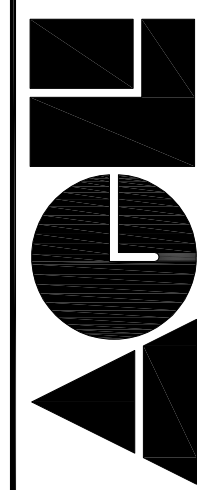


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KAUKAUNA, WI 54130

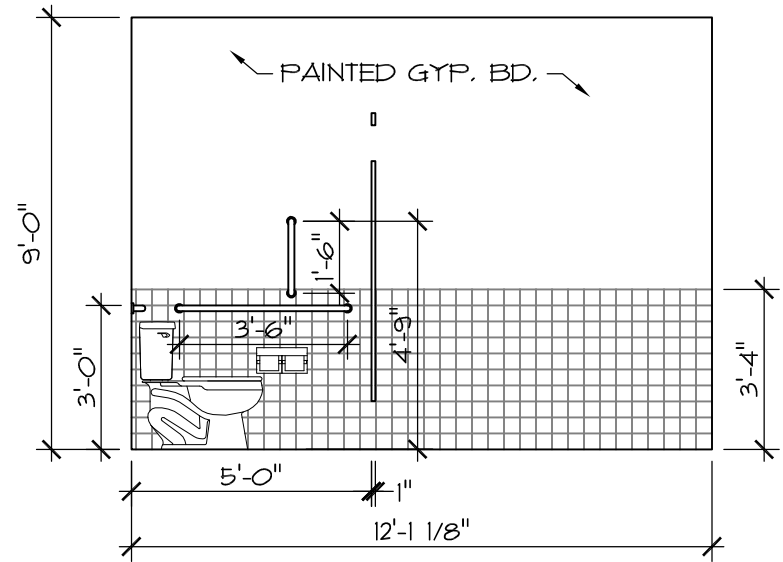
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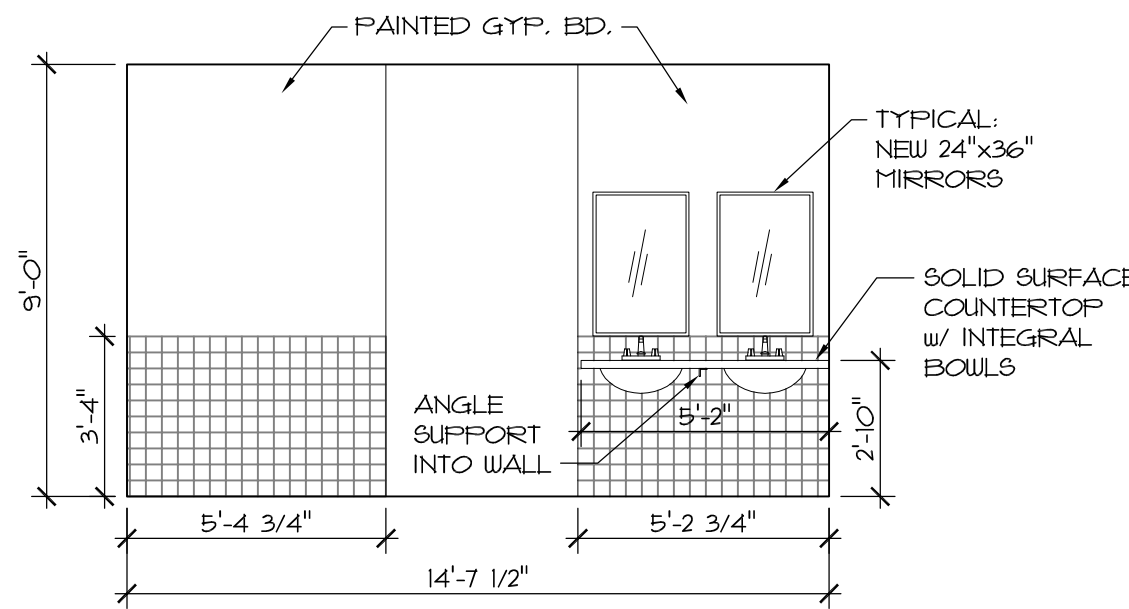
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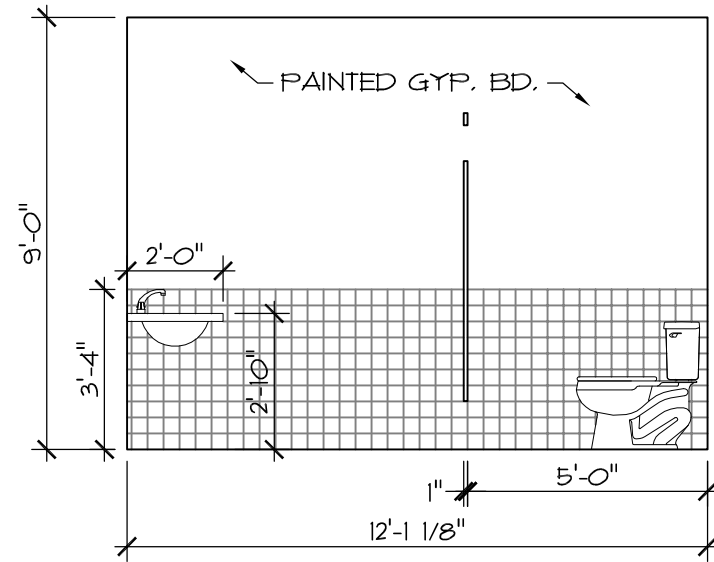
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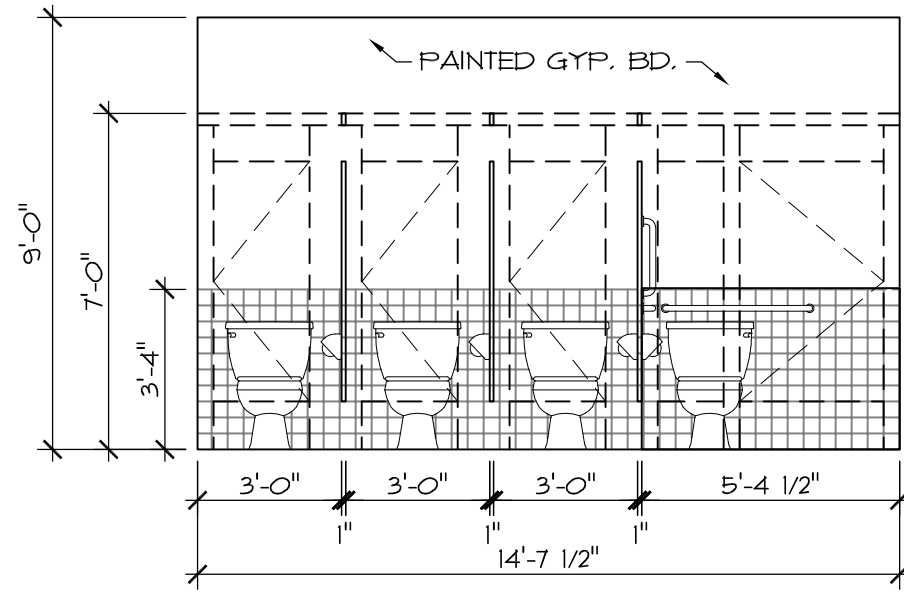
**1 WOMEN'S RESTROOM - NORTH**  
SCALE: 1/4" = 1'-0"



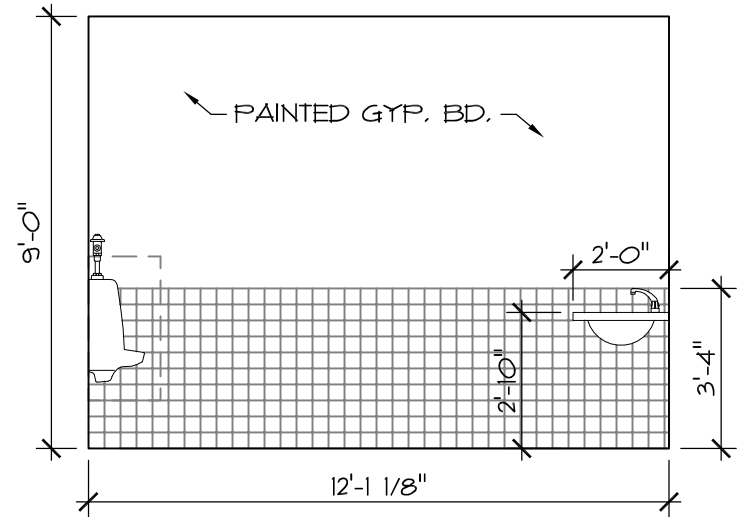
**2 WOMEN'S RESTROOM - EAST**  
SCALE: 1/4" = 1'-0"



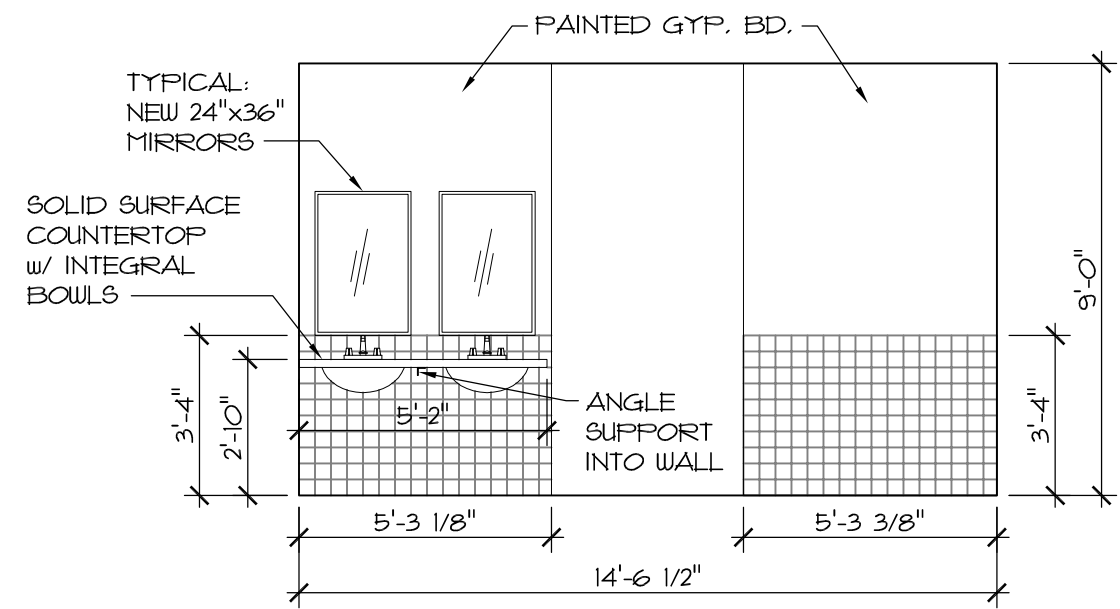
**3 WOMEN'S RESTROOM - SOUTH**  
SCALE: 1/4" = 1'-0"



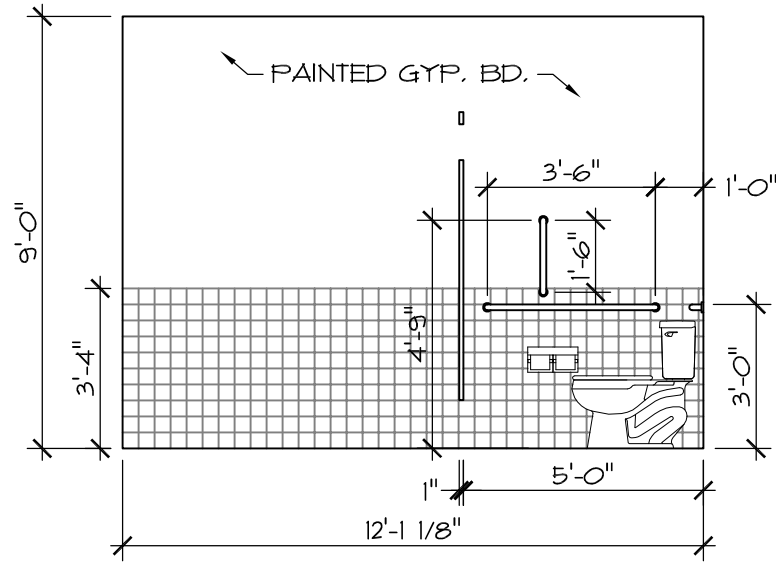
**4 WOMEN'S RESTROOM - WEST**  
SCALE: 1/4" = 1'-0"



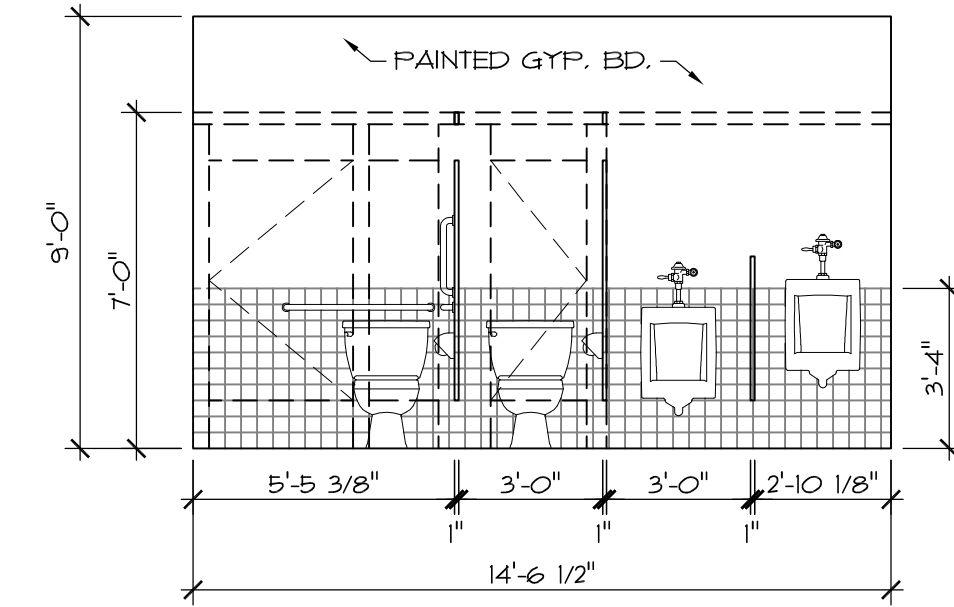
**5 MEN'S RESTROOM - NORTH**  
SCALE: 1/4" = 1'-0"



**6 MEN'S RESTROOM - EAST**  
SCALE: 1/4" = 1'-0"

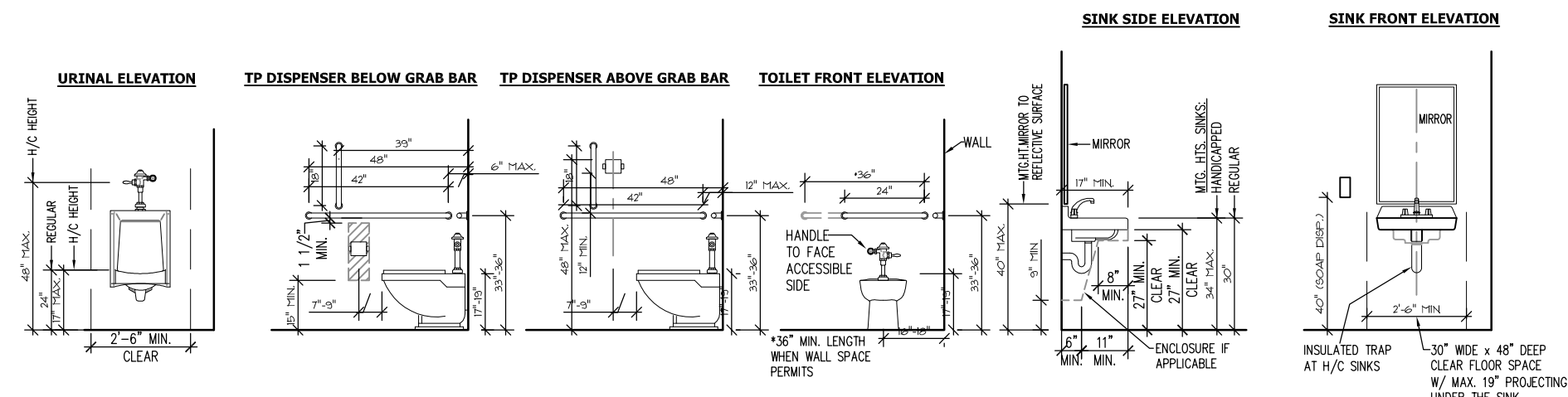


**7 MEN'S RESTROOM - SOUTH**  
SCALE: 1/4" = 1'-0"



**8 MEN'S RESTROOM - WEST**  
SCALE: 1/4" = 1'-0"

**TYPICAL MOUNTING HEIGHTS - ADA**



**LEGEND:**



**ACCESSORY NOTES:**

OWNER SHALL SUPPLY - CONTRACTOR INSTALL:  
SOAP DISPENSERS  
PAPER TOWEL DISPENSERS  
- REUSE FROM EXISTING TOILET ROOM  
DOUBLE TOILET ROLL DISPENSERS

TOILET STALL PARTITIONS SHALL BE  
PREFINISHED METAL

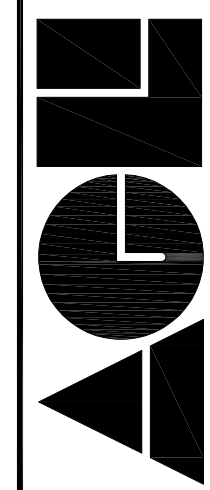
**INTERIOR ELEVATIONS**

HINDU TEMPLE OF NORTHEAST WISCONSIN  
911 DELANGLADE STREET  
KAUKAUNA, WI 54130

DATE	REVISION	JOB NO.
11/07/2022		2022-030
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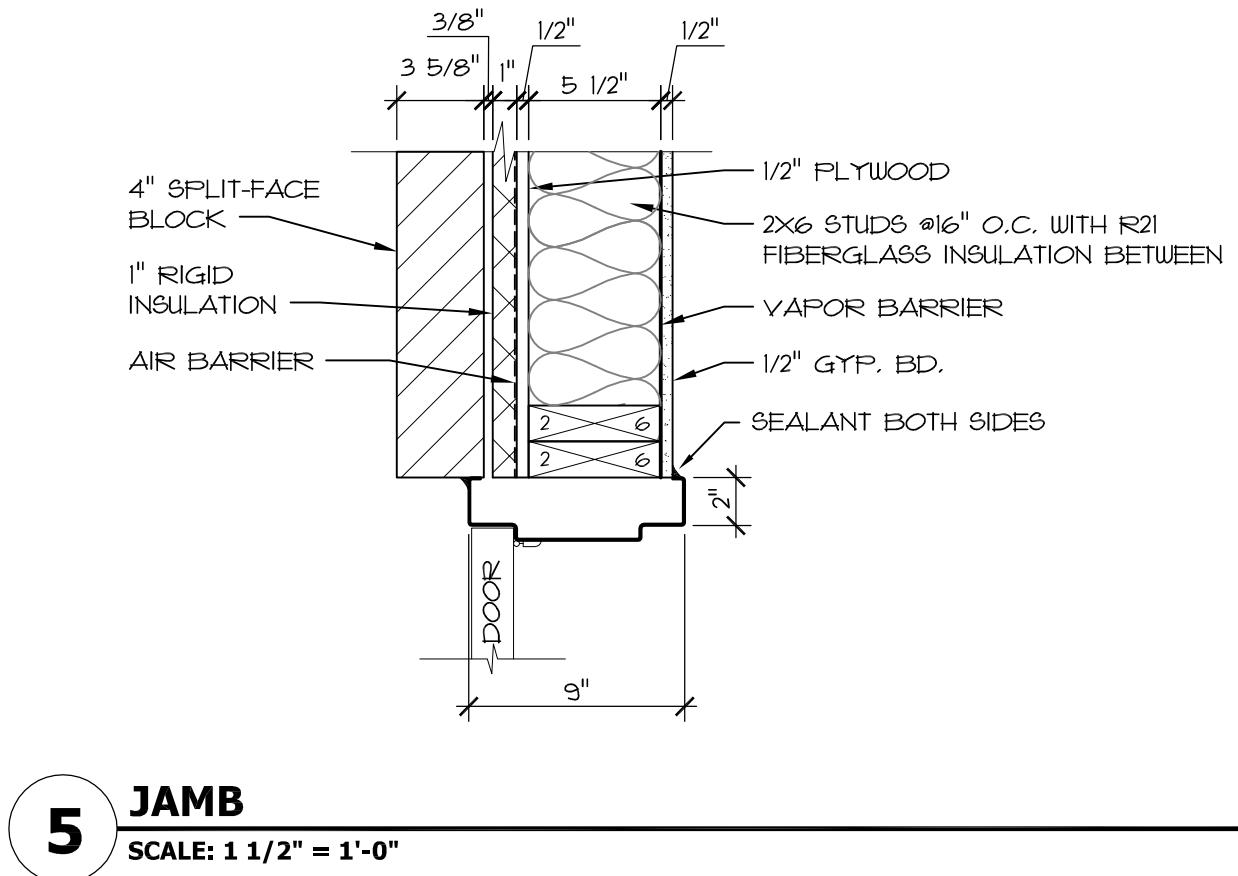
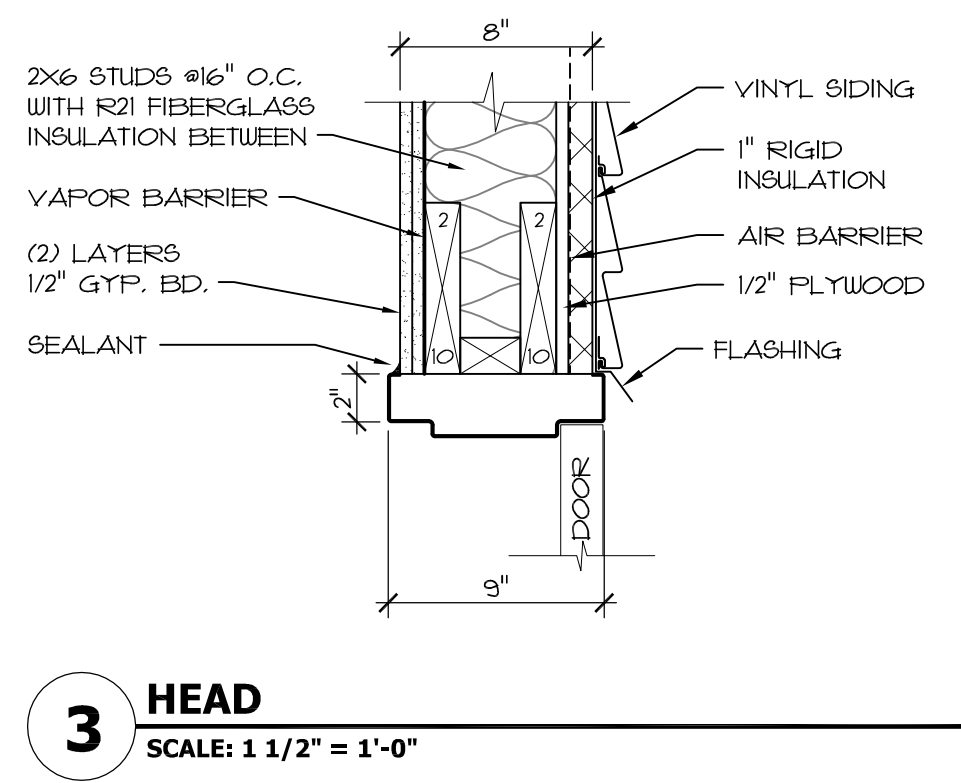


**LEGEND:**

G.T.	- CERAMIC TILE
EXIST	- EXISTING TO REMAIN
G.B.P	- GYPSUM BOARD PAINTED
L.V.T	- LUXURY VINYL TILE
P.T.	- PORCELAIN TILE
SACT-1	- SUSPENDED ACOUSTICAL TILE CEILING 24x24
SACT-2	- SUSPENDED ACOUSTICAL TILE CEILING - REGULAR - 24x24
SGBT-1	- SUSPENDED VINYL FACED GYPSUM BOARD CEILING W/ALUMINUM GRID

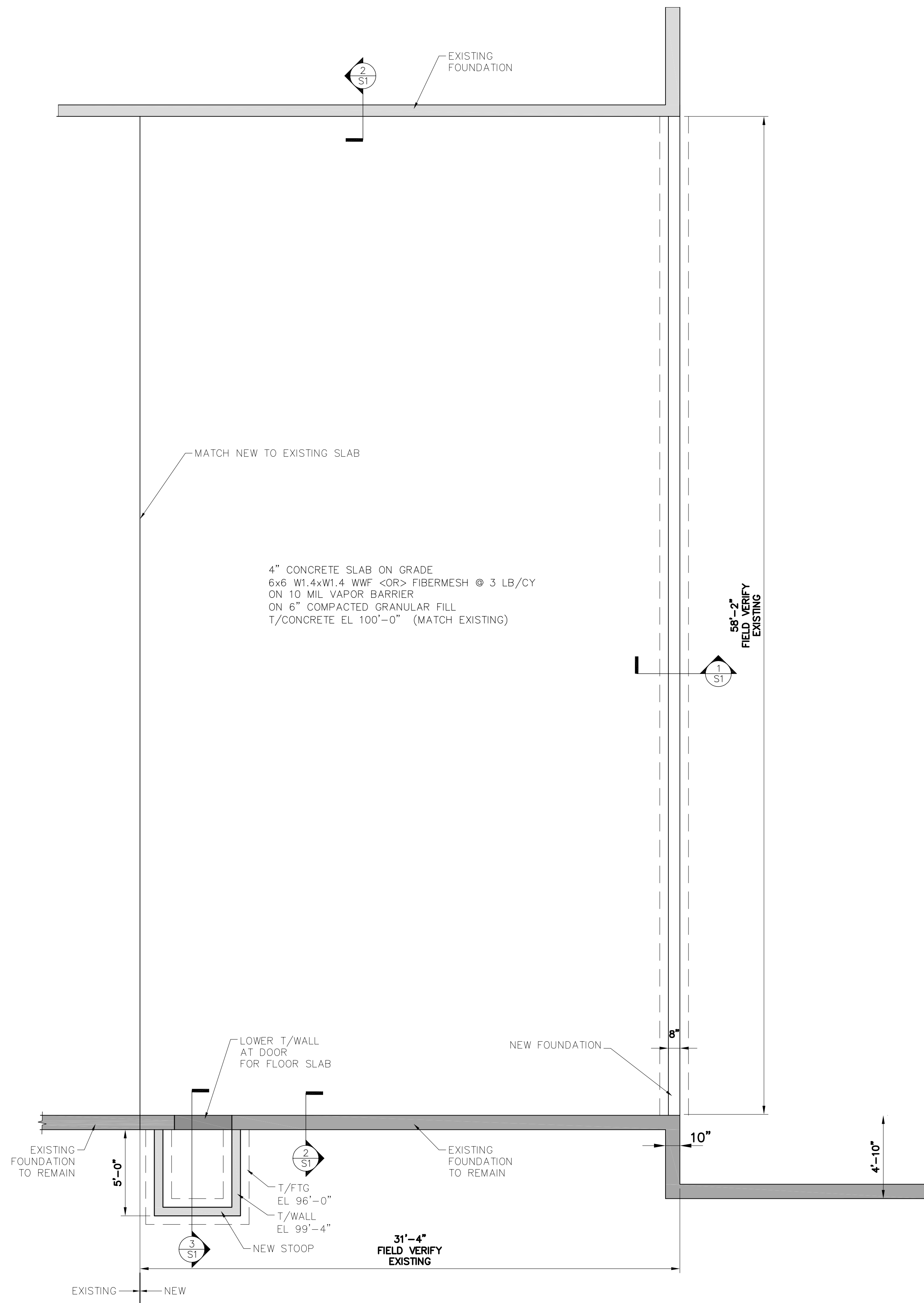
Diagram illustrating three door types:


- H.M. FLUSH DOOR**: A solid door with a height of 7'-0" and a width of 2'-0".
- WOOD FLUSH DOOR**: A solid door with a height of 7'-0" and a width of 2'-0".
- HOLLOW METAL FRAME**: A door frame with a height of 7'-0" and a width of 2'-0". The door leaf is shown with a thickness of 2".

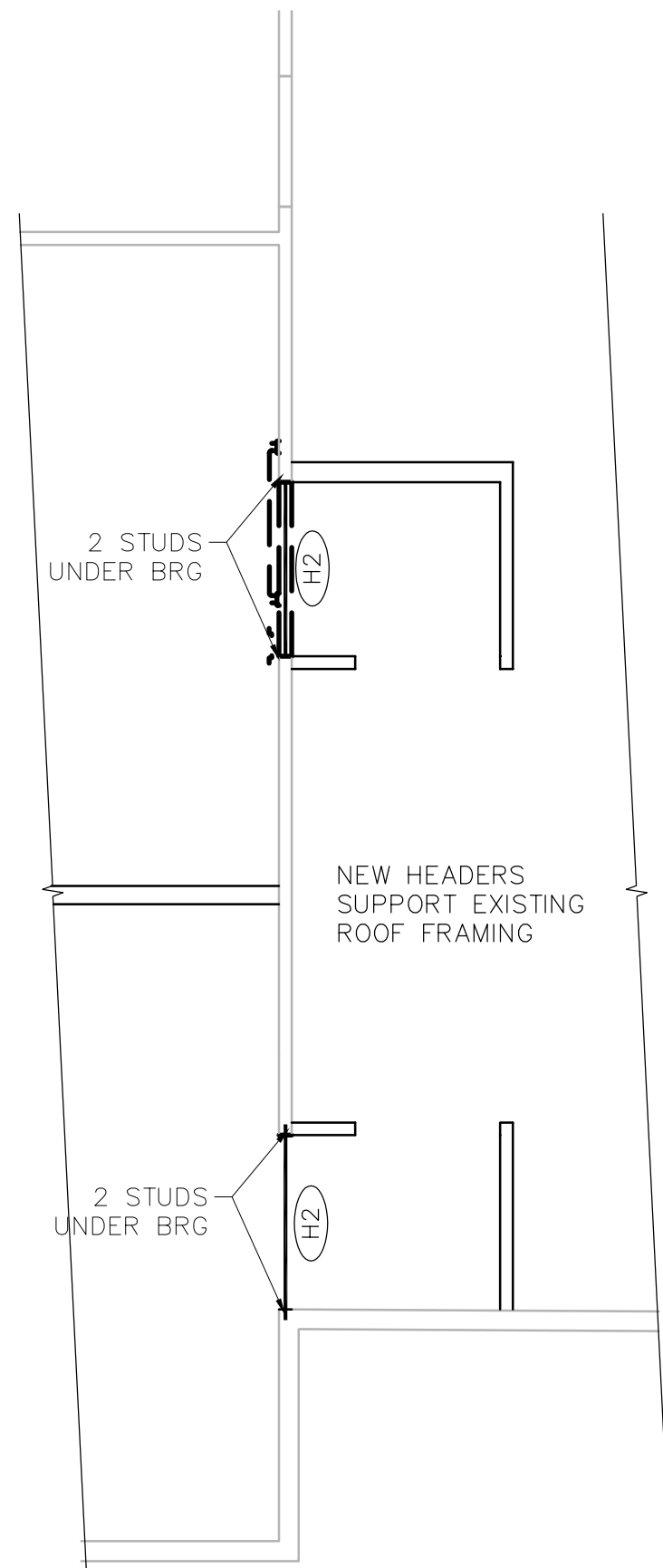




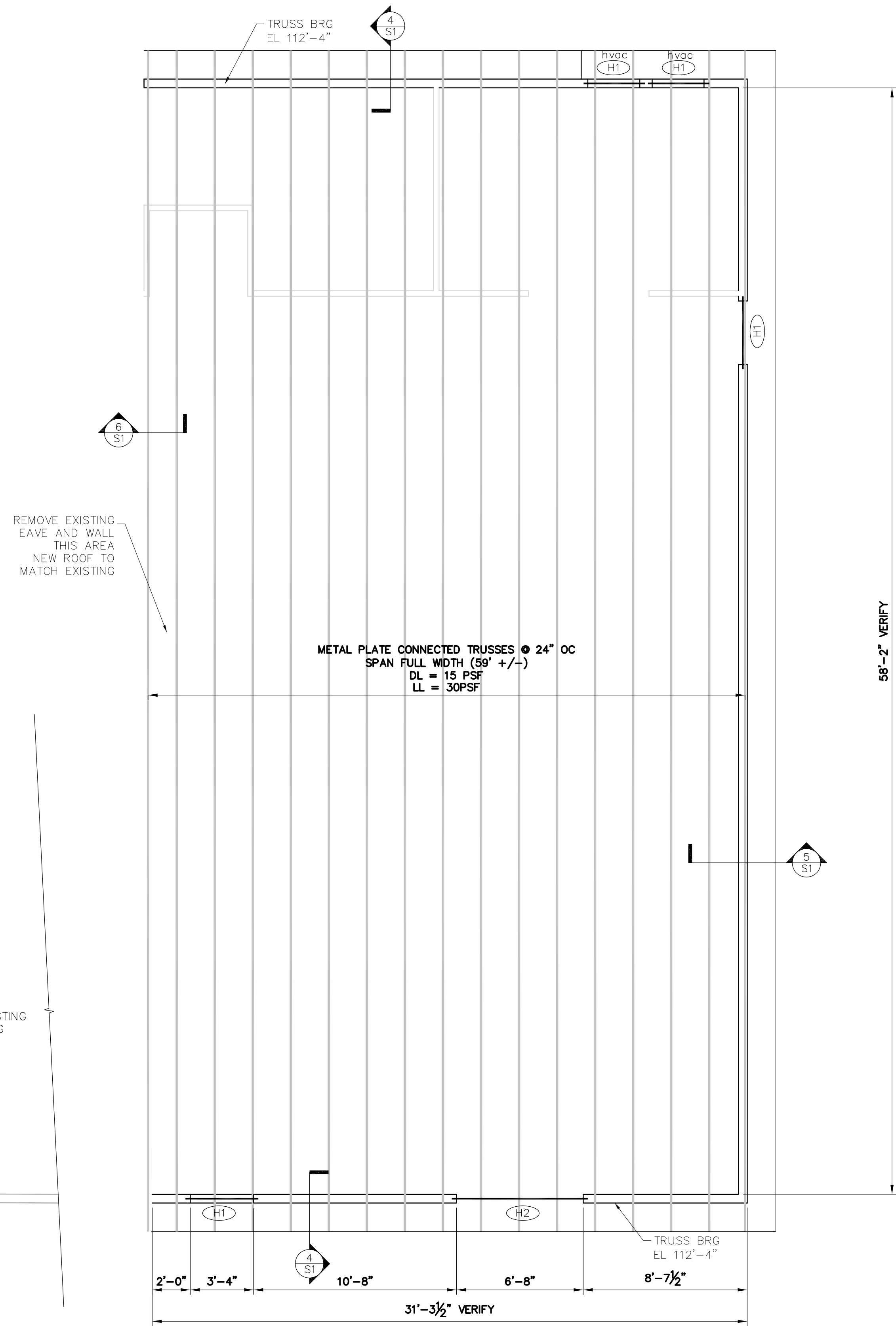




 FOUNDATION PLAN  
SCALE: 1/8" = 1'-0"



 EXISTING PLAN  
SCALE: 1/4" = 1'-0"



 ROOF PLAN  
SCALE: 1/4" = 1'-0"



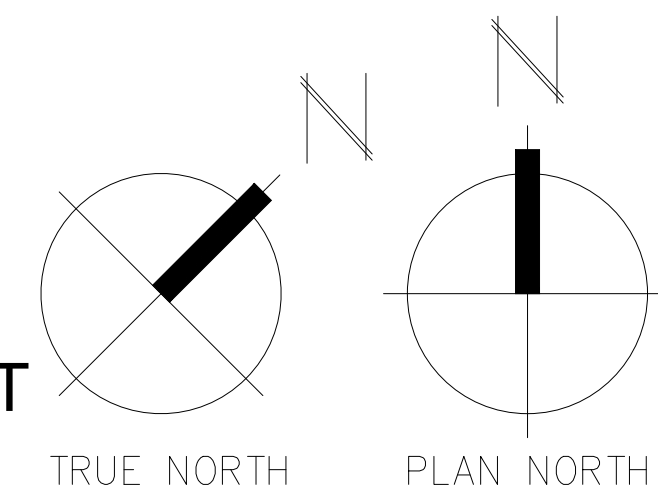
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PRELIMINARY	11/7/2022		2022-030
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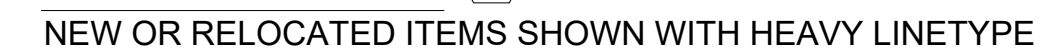
- 1 REMOVE CEILING EXHAUST FAN AND ATTACHED FLEX DUCT COMPLETE.
- 2 REMOVE SHEET METAL BOX THAT IS CONNECTED TO ALL FLEX EXHAUST DUCTS COMPLETE.
- 3 CUT 10"Ø FLEX DUCT AT THE ATTIC LINE. THIS 10"Ø DUCT IS CONNECTED TO A ROOF CAP. PROVIDE 4'X4' 5/8" SHEET ROCK AT THE OPENING IN THE UNDERSIDE OF ATTIC AND ABANDON THE REMAINING FLEX DUCT IN THE ATTIC.
- 4 REMOVE & SALVAGE (FOR REUSE) EXISTING 24x24x8Ø LAY-IN SUPPLY DIFFUSER AND INSULATED FLEX DUCT RUNOUT.
- 5 REMOVE & SALVAGE (FOR REUSE) EXISTING 24x12x10Ø LAY-IN SUPPLY DIFFUSER AND INSULATED FLEX DUCT RUNOUT.
- 6 REMOVE & SALVAGE (FOR REUSE) 24x24 LAY-IN GRILLE IN CEILING.
- 7 REMOVE & SALVAGE (FOR REUSE) 24x24 LAY-IN RETURN AIR GRILLE. REMOVE BRANCH DUCT CONNECTION TO RETURN DUCT MAIN. PATCH RETURN DUCT MAIN.

# HVAC DEMO PLAN

SCALE: 1/4"=1'-0" ON 36"x24" SHEET







- 1 SALVAGED-RELOCATED 24x24x8Ø LAY-IN SUPPLY DIFFUSER.
- 2 SALVAGED-RELOCATED 24x24x10Ø LAY-IN SUPPLY DIFFUSER. REBALANCE THIS SYSTEM.
- 3 24x24x10Ø LAY-IN SUPPLY DIFFUSER. TITUS TMS OR APPROVED EQUAL. BALANCE THIS SYSTEM.
- 4 SALVAGED-RELOCATED 24x24 LAY-IN RETURN AIR GRILLE. DUCT TO OVERHEAD RETURN DUCT MAIN.
- 5 SALVAGED-RELOCATED UNDUCTED RETURN AIR GRILLE.
- 6 RETURN AIR GRILLE R-1, PERFORATED OR EGG CRATE FACE, 24x24 LAY-IN, 22x22 INLET. PROVIDE 22x22 PLENUM ON TOP OF GRILLE AND DUCT TO RETURN AIR MAIN.
- 7 UNDUCTED RETURN AIR GRILLE R-1, PERFORATED OR EGG CRATE FACE, 24x24 LAY-IN, 22x22 INLET.
- 8 CEILING EXHAUST FAN. HUNG FROM STRUCTURE ABOVE WITH EXHAUST GRILLE IN CEILING. INCLUDE TRANSITION ON FAN DISCHARGE TO 8"Ø. CONNECT WITH 5 FEET LONG 8"Ø FLEXIBLE DUCT TO 8"Ø RIGID DUCT FROM WALL CAP.
- 9 8"Ø WALL CAP WITH BACKDRAFT DAMPER, THRU EIFS WALL SEGMENT UNDER SOFFIT. SEE ARCHITECTURAL DRAWINGS FOR WALL SECTIONS. PAINT WALL CAP TO MATCH EXISTING EIFS COLOR, SO THE CAP CAN BLEND IN.
- 10 FLEX DUCT CONNECTION IN SUPPLY AND RETURN DUCTS.
- 11 SUPPORT EXTERIOR DUCTWORK FROM CONCRETE PAD BELOW

1" GAS FOR HVAC-2 UNIT. CONNECT  
TO GAS MAIN AFTER GAS METER  
EXISTING KITCHEN GREASE HOOD  
(TYPE I) 129"L x 48"W.

MOUNT HVAC UNIT ON A 24" HIGH CURB  
SITTING ON CONCRETE PAD \_\_\_\_\_

NOTE:  
PAINT ENTIRE NEW GAS PIPING, SAME  
COLOR (GARY) AS EXISTING GAS PIPING

HIGH WALL PENETRATION OF SUPPLY  
AND RETURN DUCTS ABOVE CEILING  
AS HIGH ON WALL

EXISTING SUPPLY

EXISTING  
18X18 TO  
EF-1 ON  
ROOF

KITCHEN  
STORAGE  
104A

STORAGE  
105

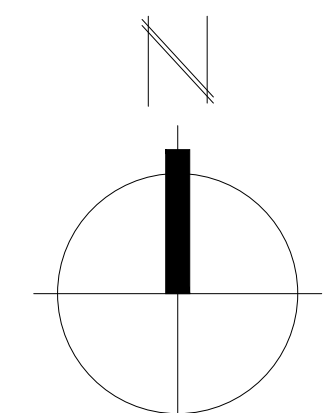
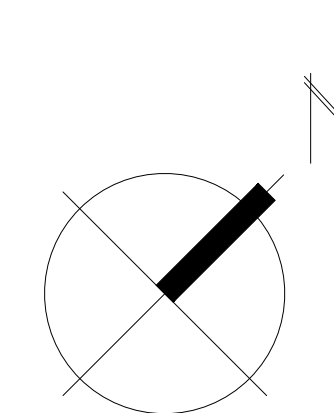
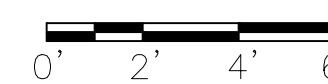
S-1   
10" NECK  
260 CFM  
TYPICAL OF 12

NOTE: THIS BUILDING HAS LAY-IN CEILINGS THROUGHOUT  
ALLOWING FOR EASY ACCESS ABOVE CEILING

NOTE: VERIFY ALL EXISTING DATA, PIPE SIZES, DIMENSIONS ON  
SITE BEFORE FABRICATION AND INSTALLATION.  
ALL DUCT DIMENSIONS ARE AIR FLOW DIMENSIONS.

# HVAC PLAN

SCALE: 1/4"=1'-0" ON 36"x24" SHEET





EQUIPMENT SCHEDULE:

PACKAGED HVAC UNIT HVAC-2:  
BASIS OF DESIGN: CARRIER MODEL 48FCEM09C2A5-0A0A0. SUBJECT TO MEETING THE SPECIFICATION REQUIREMENTS BELOW, THE FOLLOWING MANUFACTURER'S PRODUCTS MAY BE CONSIDERED AS APPROVED EQUAL: TRANE, DAIKIN, OR ENGINEER APPROVED EQUAL.

PACKAGED OUTDOOR ROOF MOUNTED UNIT WITH INDIRECT GAS FIRED HEAT, DX COOLING. SUPPLY AIR 3,400 CFM @ 1.0 INCHES W.G. ESP. COOLING PERFORMANCE 101.8 MBH TOTAL, 78.96 MBH SENSIBLE, COOLING COIL EAT 80F DB/67F WB, COOLING COIL LAT 58.5 F DB. HEATING PERFORMANCE EAT=70F LAT=110.3F. MINIMUM HEATING 180 MBH INPUT GAS 2-STAGE BURNER. 230V/3PH/60HZ, MCA=41, MOP=50A. INCLUDE INTEGRAL DISCONNECT SWITCH. 2 COMPRESSORS, AND 2 CONDENSER FANS. 2" THICK PLEATED MEDIA FILTERS - MERV 8.  
ARI EER = 11.2 IEER = 15.0  
PROVIDE UNIT WITH DRY BULB ECONOMIZER (CRECOMZR085A00), AND BAROMETRIC RELIEF. INCLUDE ECONOMIZER FAULT DETECTION AND DIAGNOSTICS, SMOKE DETECTOR, CO2 SENSOR (CRCBDIOX005A00)  
UNIT TO HAVE HORIZONTAL DUCT CONNECTIONS. INCLUDE 24" HIGH ROOF CURB TO BE USED AS STAND AS NOTED ON PLAN.

UNIT SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY SUCH AS ETL, UL, CSA, ETC. INCLUDE ONSITE CHECKOUT AND STARTUP BY FACTORY AUTHORIZED SERVICE PERSONNEL. SUBMIT REPORT FOR INCLUSION IN O&M MANUALS. INCLUDE MINIMUM 1 YEAR WARRANTY. VERIFY GAS PRESSURE ON SITE AND FURNISH ADDITIONAL GAS PRESSURE REGULATORS IF NEEDED. INCLUDE REMOTE SPACE/WALL THERMOSTAT (PROGRAMMABLE AUTOMATIC HEATING-COOLING CHANGEOVER) FOR CONNECTION TO HVAC-2. INCLUDE TRANSPARENT THERMOSTAT GUARD/LOCKING COVER TO PREVENT UNAUTHORIZED ADJUSTMENT OF THERMOSTAT.

CEILING EXHAUST FANS EF-11 AND EF-12:  
BASIS OF DESIGN: GREENHECK MODEL SP-A410. SUBJECT TO MEETING THE SPECIFICATION REQUIREMENTS BELOW, THE FOLLOWING MANUFACTURER'S PRODUCTS MAY BE CONSIDERED AS APPROVED EQUAL: COOK, CARNES, ACME, PENN, OR ENGINEER APPROVED EQUAL.

CEILING EXHAUST FAN WITH SIDE DISCHARGE, GALVANIZED STEEL /ALUMINUM CONSTRUCTION, DIRECT DRIVE, FAN SPEED CONTROLLER FOR USE DURING BALANCING, RATED FOR 300 CFM @ 0.2 INCHES S.P., 121 WATTS ODP MOTOR, 115V/1PH/60HZ, INLET SOUND 1.5 SONES, ALUMINUM GRILLE (WHITE) FOR AIR INTAKE, NEOPRENE HANGING ISOLATORS AND BRACKETS. UL-507 LISTED. INCLUDE 8" ROUND EXHAUST WALL CAP/HOOD WITH GRAVITY BACKDRAFT DAMPER AND BIRD SCREEN.

HVAC CONTROLS:

TO BE STAND ALONE, ELECTRIC/ELECTRONIC-DDC AS REQUIRED FOR TROUBLE FREE OPERATION. BAS IS NOT REQUIRED. HVAC CONTROLS ARE PART OF HVAC SCOPE OF WORK.

BOTH HVAC-1 AND HVAC-2 SHALL RUN TO MAINTAIN SPACE TEMPERATURE AT THERMOSTAT.

IN ECONOMIZER MODE THE OA AND RA DAMPERS TO MODULATE AS REQUIRED TO MAINTAIN SPACE TEMPERATURE.

HVAC-2 MINIMUM OA TO VARY FROM LOW TO HIGH AS DESCRIBED IN TAB SCOPE, BASED ON UNIT MOUNTED CO2 SENSORS.

EF-11 AND EF-12 RUN MANUALLY FROM COMBINATION LIGHT AND FAN SWITCH ON WALL. EF-11 SHALL ALSO RUN WHENEVER EXISTING FURNACE F-3 IS RUNNING. SO THIS IN PARALLEL TO WALL SWITCH MENTIONED ABOVE.

DUCTWORK NOTES:

- 1. ALL DUCTWORK SHALL COMPLY WITH SMACNA 1995 STANDARD "HVAC DUCT CONSTRUCTION STANDARD-METAL & FLEXIBLE".
- 2. DUCTWORK PRESSURE CLASS: 2 INCHES.
- 3. DUCTWORK MATERIAL SHALL BE AS FOLLOWS:

- GALVANIZED SHEET STEEL: COMPLY WITH ASTM A 653.
- A. GALVANIZED COATING DESIGNATION: **G90**.
- B. FINISHES FOR SURFACES EXPOSED TO VIEW: MILL PHOSPHATIZED.

- 4. ALL DUCTWORK DIMENSIONS ARE CLEAR AIR FLOW DIMENSIONS.
- 5. ALL NEW SUPPLY, RETURN, AND EXHAUST DUCTS SHALL BE SEALED TO EXCEED SMACNA SEAL CLASS A. SEALANT SHALL BE 3M 800, 3M 900, H.B. FULLER/FOSTER, HARDCAST, HARDCAST PEAL & SEAL, LOCKFORMER COLD SEALANT, MON-ECO INDUSTRIES, UNITED SHEET METAL, OR APPROVED EQUAL. SILICONE SEALANTS ARE NOT ALLOWED. INSTALL SEALANTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, PAYING SPECIAL ATTENTION TO TEMPERATURE LIMITATIONS. ALLOW SEALANT TO FULLY CURE BEFORE PRESSURE TESTING OF DUCTWORK, OR BEFORE STARTUP OF AIR HANDLING SYSTEMS.

- 6. USE LONG RADIUS ELBOWS WHERE FEASIBLE. WHERE LONG RADIUS ELBOWS ARE NOT POSSIBLE, PROVIDE MITERED ELBOWS WITH TURNING VANES. CONSTRUCT TURNING VANES AND RUNNERS FOR SQUARE ELBOWS IN ACCORDANCE WITH SMACNA FIG. 2-3 AND FIG. 2-4 EXCEPT USE ONLY AIRFOIL TYPE VANES. CONSTRUCT TURNING VANES FOR SHORT RADIUS ELBOWS AND ELBOWS WHERE ONE DIMENSION CHANGES IN THE TURN IN ACCORDANCE WITH SMACNA FIG. 2-5 AND FIG. 2-6.

- 7. PROVIDE ACCESS DOORS IN DUCTWORK AT TURNING VANES, AND OTHER ITEMS REQUIRING ACCESS FOR SERVICE. ACCESS DOORS SHALL BE 2" THICK DOUBLE WALL CONSTRUCTION, WITH CONTINUOUS PIANO HINGE, GASKETED, AND LEAK PROOF. WHERE ACCESS DOOR SIZES ARE NOT INDICATED, PROVIDE A MINIMUM SIZE OF 24x16, UNLESS THE DUCT DIMENSION IS SMALLER THAN 18 IN WHICH CASE THE WIDTH OF DOOR SHALL BE 2" SMALLER THAN THE DUCT DIMENSION WHERE THE ACCESS DOOR IS LOCATED. CAM LOCKS MAY BE USED IN LIEU OF PIANO HINGES IF THE DOOR SWING IS NOT POSSIBLE AT A PARTICULAR LOCATION.

- 8. PROVIDE VOLUME DAMPERS IN DUCT FOR BALANCING OF ALL DUCTED GRILLES & DIFFUSERS. WHERE DAMPERS ARE NOT POSSIBLE AT TAKEOFF OR EASILY ACCESSIBLE SUCH AS ABOVE DRYWALL CEILINGS, PROVIDE DAMPER AT GRILLES & DIFFUSERS ACCESSIBLE FROM FACE OF GRILLES & DIFFUSERS.

- 9. DUCTLINER SHALL BE CERTAINTEED TOUGHGARD OR APPROVED EQUAL. WHERE FIBERS ARE EXPOSED BECAUSE OF CUTS OR EDGES, PROVIDE NOSING OR SPRAY ADHESIVE MASTIC TO ELIMINATE THE POSSIBILITY OF FIBERS COMING LOOSE. FOR THIS PROJECT DUCT LINER SHALL USED ONLY FOR RETURN AIR TRANSFER BOOTS/DUCTS ON RETURN AIR GRILLES IN AREAS WITH CEILINGS.

- 10. DUCT INSULATION: INSULATION (DENSITY 1.5 POUNDS PER CUBIC FOOT) WITH FSK & VAPOR BARRIER. SEAL ALL JOINTS.

SUPPLY AIR DUCTS ABOVE CEILING = MINIMUM R6. USE 2" THICK DUCTWRAP OR 1-1/2" THICK RIGID. EXISTING DUCTS ARE INSULATED ALREADY.

RETURN AIR DUCTS ABOVE CEILING = NONE

EXHAUST AIR DUCTS WITHIN 3 FEET OF OUTSIDE WALL OR ROOF PENETRATION = 2" THICK R8 RIGID INSULATION

EXTERIOR SUPPLY AND RETURN AIR DUCTS = MINIMUM R12. USE 3" THICK EXTRUDED POLYSTYRENE INSULATION WITH VAPOR BARRIER. VENTURE CLAD 1577CW JACKETING SYSTEM WITH WEATHERPROOF SEALING.

BALANCING/TAB SCOPE OF WORK:

BALANCING SCOPE OF WORK CONSISTS OF FOLLOWING:

- 1. ALL SUPPLY AIR DIFFUSERS SERVING EXISTING HVAC-1 UNIT AND NEW HVAC-2 UNIT.
- 2. SUPPLY, RETURN, AND OUTSIDE AIR AT HVAC-1 AND HVAC-2 UNITS.
- 3. SET VARIABLE MINIMUM OA AT HVAC-2 UNIT FROM 300 CFM TO 720 CFM FOR DCV USING CO2 SENSORS IN UNIT. SET MINIMUM OA AT EXISTING HVAC-1 UNIT TO 720 CFM.
- 4. SET EXHAUST FANS EF-11 AND EF-12 FOR 300 CFM EACH USING FAN SPEED CONTROL DIAL.

HVAC GENERAL NOTES:

APPLIES TO ALL MECHANICAL /HVAC DRAWINGS

- 1. DRAWINGS INDICATE GENERAL EXTENT OF WORK. PROVIDE ALL SYSTEMS COMPLETE, PER INTENDED OPERATION, INCLUDING ALL NECESSARY OFFSETS, FITTINGS ETC., WHICH ARE REQUIRED DUE TO SPACE CONSTRAINTS OR OTHER CONDITIONS. CONTRACTOR SHALL REVIEW ALL BUILDING DRAWINGS BEFORE BIDDING TO DETERMINE THE FULL EXTENT AND CHARACTER OF WORK.

- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THESE DRAWINGS & SPECIFICATIONS AND PER THE APPLICABLE CODES. APPLICABLE CODES INCLUDE BUT NOT LIMITED TO THE FOLLOWING:

2015 VERSION OF INTERNATIONAL CODES WITH WISCONSIN AMENDMENTS.

IF THERE IS A CONFLICT BETWEEN CODES AND THESE DRAWINGS AND SPECIFICATIONS, THE MORE EXPENSIVE REQUIREMENT SHALL BE USED FOR BIDDING, UNLESS CLARIFICATION IS OBTAINED FROM ENGINEER, AND AN ADDENDUM IS ISSUED.

- 3. HVAC CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPLICABLE CONSTRUCTION PERMITS REQUIRED.

- 4. SCOPE OF WORK INCLUDES ALL MECHANICAL-HVAC EQUIPMENT, DUCTWORK, GAS PIPING, FLUE GAS VENTS, REFRIGERANT & CONDENSATE DRAIN PIPING, HVAC CONTROLS, ETC. UNLESS IDENTIFIED OTHERWISE. OWNER WILL FURNISH INFORMATION ON OWNER PURCHASED EQUIPMENT.

- 5. COORDINATE THE INSTALLATION OF HVAC WORK WITH OTHER TRADES.

- 6. PROVIDE MISCELLANEOUS STEEL AS REQUIRED FOR PROPER SUPPORT OF ALL MECHANICAL SYSTEMS INCLUDING ALL OUTSIDE EQUIPMENT, PIPING, AND DUCTWORK. CONTRACTOR SHALL PROVIDE SUPPORT STEEL SPANNING TRUSS TO TRUSS TO SUPPORT HVAC WORK.

- 7. PROVIDE PRODUCT DATA SUBMITTALS FOR ALL EQUIPMENT. TO ENGINEER FOR REVIEW PRIOR TO ORDERING. OBTAIN PRIOR ENGINEER APPROVAL TO PROPOSE PRODUCTS BY EQUIPMENT MANUFACTURERS NOT SPECIFICALLY LISTED ON DRAWINGS.

- 8. CONTRACTOR SHALL PERFORM TESTING, ADJUSTING AND BALANCING (TAB). BALANCE ALL AIR FLOWS TO NUMBERS INDICATED ON DRAWINGS. SUBMIT AT LEAST 1 COPY OF BALANCING REPORT TO FOR ENGINEER REVIEW WITHIN A WEEK OF BALANCING.

- 9. PROVIDE 2 COPIES OF O&M MANUALS TO OWNER AT THE END OF THE PROJECT DURING OWNER TRAINING. O&M MANUALS SHALL INCLUDE SHOP DRAWINGS, EQUIPMENT TEST & STARTUP REPORTS, BALANCING REPORTS, AND O&M MANUALS.

- 10. TRAIN OWNER ON PROPER OPERATION AND MAINTENANCE OF ALL SYSTEMS INSTALLED.

- 11. PROVIDE RED-LINED RECORD DRAWINGS AT PROJECT COMPLETION.

NATURAL GAS PIPING:

- 1. 2" AND SMALLER: ASTM A53, TYPE E OR S, STANDARD WEIGHT (SCHEDULE 40) BLACK STEEL PIPE WITH ASTM A197/ANSI B16.3 CLASS 150 BLACK MALLEABLE IRON THREADED FITTINGS OR ASTM A234 GRADE WPB/ANSI B16.9 STANDARD WEIGHT, SEAMLESS, CARBON STEEL WELD FITTINGS.

- 2. UNIONS 2" AND SMALLER: ASTM A197/ANSI B16.3 MALLEABLE IRON UNIONS WITH BRASS SEATS. USE BLACK MALLEABLE IRON ON BLACK STEEL PIPING AND GALVANIZED MALLEABLE IRON ON GALVANIZED STEEL PIPING. USE UNIONS OF A PRESSURE CLASS EQUAL TO OR HIGHER THAN THAT SPECIFIED FOR THE FITTINGS OF THE RESPECTIVE PIPING SERVICE BUT NOT LESS THAN 250 PSI.

- 3. USE A TEFLON BASED THREAD LUBRICANT OR TEFLON TAPE WHEN MAKING JOINTS; NO HARD SETTING PIPE THREAD CEMENT OR CAULKING WILL BE ALLOWED.

- 4. PITCH HORIZONTAL PIPING DOWN 1" IN 60 FEET IN THE DIRECTION OF FLOW. INSTALL A 4" MINIMUM DEPTH DIRT LEG AT THE BOTTOM OF EACH VERTICAL RUN AND AT EACH APPLIANCE. WHEN INSTALLING MAINS AND BRANCHES, CAP GAS TIGHT EACH TEE OR PIPE END WHICH WILL NOT BE IMMEDIATELY EXTENDED. ALL BRANCH CONNECTIONS TO THE MAIN SHALL BE FROM THE TOP OR SIDE OF THE MAIN. INSTALL A SHUT OFF VALVE AT EACH APPLIANCE.

- 5. PIPE SUPPORTS PER CODE.

- 6. SHUT OFF VALVES, 2" AND SMALLER: BALL VALVE, BRONZE BODY, THREADED ENDS, CHROME-PLATED BRONZE OR STAINLESS STEEL BALL, FULL OR CONVENTIONAL PORT, TEFLON SEAT, BLOWOUT-PROOF STEM, TWO-PIECE CONSTRUCTION, SUITABLE FOR 150 PSIG WORKING PRESSURE, U.L. LISTED FOR USE AS GAS SHUT-OFF.

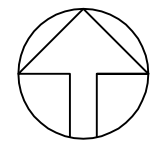
- 7. PROVIDE GAS PRESSURE REGULATOR REQUIRED. GAS PRESSURE ON SITE IS 2 PSIG. CONTRACTOR SHALL VERIFY GAS PRESSURE WITH UTILITY.

- 8. PAINT NEW GAS PIPING WITH ZINC RICH PAINT TO PREVENT CORROSION.

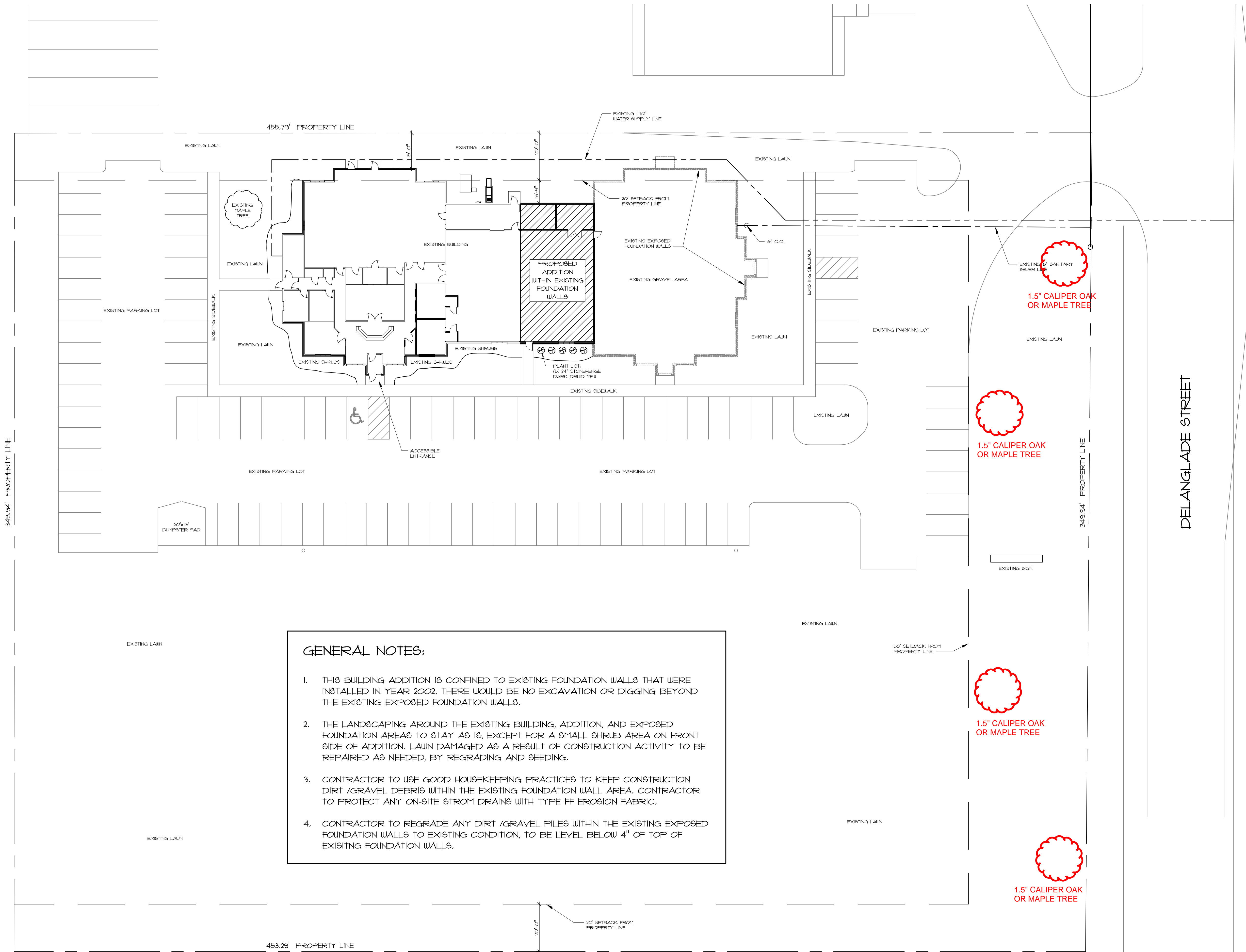




NORTH



PLAN NORTH



GENERAL NOTES:

1. THIS BUILDING ADDITION IS CONFINED TO EXISTING FOUNDATION WALLS THAT WERE INSTALLED IN YEAR 2002. THERE WOULD BE NO EXCAVATION OR DIGGING BEYOND THE EXISTING EXPOSED FOUNDATION WALLS.
2. THE LANDSCAPING AROUND THE EXISTING BUILDING, ADDITION, AND EXPOSED FOUNDATION AREAS TO STAY AS IS, EXCEPT FOR A SMALL SHRUB AREA ON FRONT SIDE OF ADDITION. LAWN DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY TO BE REPAIRED AS NEEDED, BY REGRADING AND SEEDING.
3. CONTRACTOR TO USE GOOD HOUSEKEEPING PRACTICES TO KEEP CONSTRUCTION DIRT /GRAVEL DEBRIS WITHIN THE EXISTING FOUNDATION WALL AREA. CONTRACTOR TO PROTECT ANY ON-SITE STORM DRAINS WITH TYPE FF EROSION FABRIC.
4. CONTRACTOR TO REGRADE ANY DIRT /GRAVEL PILES WITHIN THE EXISTING EXPOSED FOUNDATION WALLS TO EXISTING CONDITION, TO BE LEVEL BELOW 4" OF TOP OF EXISTING FOUNDATION WALLS.



## **SEC. 17.21 BD Business District**

1. *Purpose.* This district is established to provide for a readily accessible area for business activities to occur. The business district should also provide convenient parking and safe traffic circulation for all manner of vehicles.
2. *Permitted principal uses and structures.*
  1. Drive in banks and restaurants
  2. Building equipment and supply establishments
  3. Automobile boat, construction equipment, and farm implement sales and automobile filling stations.
  4. Wholesale and warehouse establishments
  5. Veterinary Hospitals
  6. Hotels
  7. Senior Daycare or nursery
  8. Financial and professional services.
  9. Medical, health, or social services.
  10. Light Manufacturing uses, including bottling, packaging, laboratories, and uses of similar nature.
  11. Manufacturing uses, including production, cleaning, testing, and the distribution of materials and goods, except wrecking yards, fertilizers, chemical manufacturers, cement manufacturers, explosive storage, mini storage, smelting manufacturers, tanneries, and slaughterhouses. All manufacturing uses are subject to the provisions of 17.38.
  12. Transportation Terminals
  13. Printing and publishing establishments.
  14. Commercial recreation facilities including theaters, arcades, and amusement centers.
  15. Uses not explicitly enumerate in the section as permitted uses but determined by the Community Development Director to be closely related or similar to other uses permitted within this section.
3. *Permitted accessory uses and structures.*
  1. Uses and structures customarily accessory and clearly incidental to permissible principal uses and structures.
  2. Outside storage of equipment and materials shall be located behind the principal structure's building setback line and screened from view of any public street or residential district boundary by a fence, wall shrubs, or combination. The screen shall be a minimum of 6' tall and provide 75 percent opacity. All outside areas shall be clean and orderly.
4. *Special exception uses and structures.*
  1. Uses permitted within the Residential Multifamily Zoning District (RMF).
  2. Public Utility installations.
5. *Dimensional requirements.*
  1. Minimum Dimensions.
    1. Lot Area : 15,000 Square Feet
    2. Lot Width: 75 feet.
    3. Front yard setback: twenty-five feet (25')
    4. Side yard setback: ten feet (10')
    5. Rear yard setback: ten feet (10')

6. *Permitted accessory signs.* For all permissible principal uses and structures, for each ten lineal feet of frontage on a public street, frontage being determined by the principal entrance to the premises, a maximum of one sign and 30 square feet of sign area. The sign area may be used in a lesser number of signs than permitted but the maximum number of signs shall not be exceeded even though the total area permitted is not used. No sign shall be erected within five feet of any lot line.
7. *Off-street parking requirements.*
  1. *Dwelling units.* 1 1/2 spaces per dwelling unit shall be required.
  2. *Hotels.* One parking space per sleeping room shall be required for hotels.
  3. *Manufacturing or light manufacturing.* One parking space per employee on maximum shift
  4. *Other uses.* Sufficient off-street parking such that no public street shall be used for parking.
  5. *Applicable parking requirements as specified in the CH district.* See section 17.22(7).