

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, June 19, 2025 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - [a.](#) Approve Minutes from May 22, 2025
3. Old Business.
4. New Business.
 - [a.](#) Annexation Petition Review-Parcel 030032306
 - [b.](#) Site Plan Review-301 W 7th St (Club Ritz)
 - [c.](#) Tree Replacement/planting-Thelen and Fieldcrest parks
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



PLAN COMMISSION

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144 W. Second Street, Kaukauna



Thursday, May 22, 2025 at 4:00 PM

MINUTES**In-Person in Council Chambers and Remote Teleconference via Microsoft Teams**

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Brett Jensen, Giovanna Feller, John Neumeier, John Moore, Michael Avanzi, Ken Schoenike, Pennie Thiele, Mayor Tony Penterman

Other(s) Present: Planning and Community Development Director Dave Kittel, Associate Planner Adrienne Nelson

2. Approval of Minutes

a. Approve Minutes from May 8, 2025

Avanzi made a motion to approve the minutes from May 8, 2025. Seconded by Moore. Motion passed unanimously.

3. Old Business

a. None

4. New Business

a. Plan Commission Resource Memo

Director Kittel presented the resource guide he put together for Plan Commission members. The guide includes links to meeting minutes and agendas, ordinances, the comprehensive plan, the strategic plan, and educational resources. Staff plan to update the guide on a yearly basis.

Avanzi brought up that a similar document had been created by Kittel for the Industrial Park Commission and that it was appreciated by the members.

b. Site Plan Review – Haen Elementary School

Director Kittel provided an overview of the site plan for a large addition to Victor Haen Elementary School for their property located at 1130 Haen Drive. Staff has reviewed the plan and found it to be largely in compliance with city ordinance requirements. The only point of concern is that this property is not currently in compliance with section 17.52 of the municipal code, which addresses landscaping requirements. Staff recommends approval with the following conditions: prior to issuance of building permits, Stormwater and Erosion Control permits must be obtained from the Engineering Department and, if possible,

additional landscaping should be added along Haen Drive and the property lines between the school and residential properties.

Neumeier requested more information on the sidewalk that will be getting put in. The sidewalk will be on school property, but its location puts it right in the backyard of neighboring homes.

Jim Lundberg, a civil engineer from Point of Beginning and consultant for the Victor Haen Elementary School project, explained that the primary purpose of the sidewalk is for use by students during construction. It will be poured prior to construction, and it is anticipated that the school will not remove it after construction is completed. It is not, however, intended to be a main access point for the long term.

Moore asked for clarification on the removal and relocation of the playground. Lundberg explained that the playground would be relocated to the eastern side of the property onto a poured in place rubber area. A paved area will also be added for basketball and other activities.

Neumeier requested more information on the courtyard area.

Lundberg explained that they are planning to use artificial turf in the courtyard area. The turf would be low maintenance and allow for use all season long. They are not, however, locked into using artificial turf. The courtyard itself would be used as a gathering place.

Moore asked if additional parking would be added for the additional staff, or if the current parking is sufficient.

Lundberg stated that the parking that is currently offered is sufficient.

Moore asked if Point of Beginning has considered adding stripes for pickleball to the basketball court for dual usage. There are not as many parks on the side of the city where Victor Haen Elementary School is located, and it might be beneficial to add in for use by the community.

Neumeier asked if they would be restricting access to the driveway that opens into the crosswalk.

Lundberg stated that they would like to keep that access point, but it would not be actively used.

Neumeier mentioned that the city is focused on restoration efforts and encouraged the use of native plantings.

Moore asked when construction would be starting.

Lundberg explained that the plan is to start in the fall.

Moore asked if starting construction during the school year would interrupt the flow of traffic.

Lundberg explained that they are not anticipating a severe interruption to traffic. The sidewalk route will change, but the area for drop off will remain the same.

Feller made a motion to approve the site plan as presented with the conditions that, prior to issuance of building permits, Stormwater and Erosion Control permits must be obtained from the Engineering Department and, if possible, additional landscaping should be added along Haen Drive and the property lines between the school and residential properties. Seconded by Moore. Motion passed unanimously.

c. Site Plan Review – 1801 Progress Way (G&G Machine Inc)

Director Kittel provided an overview of the site plan for an 8,455 square foot addition to the G&G Machine building located at 1801 Progress Way. The addition will match the existing facade and should blend into the building. Staff has reviewed the plan and confirmed that it is in compliance with all covenants and meets all requirements set forth in city ordinance. The Industrial Park Commission has also reviewed the plan and recommends approval with the following conditions: prior to issuance of building permits, Stormwater and Erosion Control permits must be obtained from the Engineering Department. Moore asked for clarification on which side of the building the addition will be made to.

Kittel explained that the addition will be made to the front of the building.

Moore asked if the addition would be going onto the blacktopped area.

Colin Meisel, a civil engineer from Ruekert & Mielke and consultant for the G&G Machine project, explained that the addition would be going into an existing grassy area. A minimal amount of pavement will be removed.

Schoenike made a motion to approve the site plan as presented with the condition that, prior to issuance of building permits, Stormwater and Erosion Control permits are obtained from the Engineering Department. Seconded by Moore. Motion passed unanimously.

d. Site Plan Review – 101 Kelso Road

Director Kittel provided an overview of a site plan for a new development for CoVantage Credit Union, to be located at 101 Kelso Road. Staff has reviewed the plan and confirmed that it meets all requirements set forth in city ordinance. This lot is currently going through a rezoning process in preparation of the new development.

Moore asked if this was the property discussed at the previous Plan Commission.

Kittel confirmed that, at the previous Plan Commission meeting, a CSM was approved that split the lot and the process for rezoning began.

Moore asked what the timeline for the project is.

Bryan Ermeling with CoVantage Credit Union explained that they are planning to break ground in September, complete work in June 2026, and open in July 2026.

Moore asked for clarification on access points to the property.

Ermeling explained that they are requesting two curb cuts on Kelso Road. One curb cut would be for an entrance, and the other curb cut would be for both an entrance and an exit.

Mayor Penterman asked how many people would be employed at this location. Ermeling stated that there would be between four to six employees at this location.

Neumeier commented that he was happy with the site layout and the use of alternative energy sources.

Avanzi encouraged Ermeling to reach out to Kaukauna Utilities. They have incentives for alternative energy sources.

Ermeling confirmed that he had already been in contact with Kaukauna Utilities.

Schoenike asked if there would be any additional activities at this location outside of normal banking activities.

Ermeling confirmed that only normal banking activities would be taking place.

Moore made a motion to approve the site plan as presented with the condition that, prior to issuance of building permits, Stormwater and Erosion Control permits are obtained from the Engineering Department and that final approval is contingent upon the final adoption of rezoning from Industrial to Commercial Highway District. Seconded by Neumeier. Motion passed unanimously.

e. Site Plan Review – Chang to Site Plan at 1800 Crooks Avenue

Director Kittel introduced a proposed change to the site plan for the Taco Bell development approved by Plan Commission on December 5th, 2024. After discussion with the adjacent property owner, Taco Bell is proposing a shared dumpster corral to allow for additional parking. Staff has noted that the existing angled parking does create a conflict point for cars and is suggesting the elimination of one or two of the additional parking spots.

Moore asked if anything had changed with the site plan in regards to indoor seating.

Kittel confirmed that the shared dumpster corral and additional parking are the only changes proposed.

Moore asked if there were any concerns with ingress or egress for emergency vehicles.

Kittel stated that no concerns had been noted for ingress or egress for emergency vehicles.

Kari Keller from Anchor Point Management explained that the stalls are located on both properties.

Moore asked if there is an existing agreement for the angled parking.

Keller explained that their real estate director is still reviewing the information, but that no concerns have been raised as far as who has access to the parking stalls. The parking is currently being utilized by Heart of the Valley Dance Academy and Verizon. Taco Bell has been asked by their neighbors to maintain the parking stalls, and they are trying their best to oblige.

Thiele asked if there would be any issues with eliminating one or two of the additional parking stalls.

Kittel explained that there may be some issues because the stalls are legally shared between two properties, but that there are legitimate safety concerns if the issue is not addressed.

Thiele commented that she always sees cars parked in those angled parking stalls, but with how much more traffic there will be with a Taco Bell, she can see

from a safety point the benefit of eliminating one or two of the angled parking stalls. She asked if the city had the authority to ensure those spots would not be used.

Kittel explained that the city does have authority because it is a matter of public safety, but that it could still be challenged legally.

Thiele made a motion to approve the updated site plan with one stall of angled parking to be removed in order to ease potential traffic conflict. Seconded by Neumeier. Motion passed unanimously.

5. Other Business

a. None

6. Adjourn

Avanzi made a motion to adjourn the meeting. Seconded by Moore. Motion passed unanimously. The meeting adjourned at 4:34 p.m.



PETITION FOR ANNEXATION

The undersigned, constituting 100 percent of the owners of the following described territory located in the Town of Buchanan, Wisconsin, lying contiguous to the City of Kaukauna, petition the Honorable Mayor and Common Council of said city to annex the territory described below and shown upon the attached map, as permitted by Chapter 66 of the Wisconsin Statutes, to the City of Kaukauna, Outagamie County, Wisconsin.

A parcel of land located in Part of Lot One (1) of Certified Survey Map Number Three Thousand, Nine Hundred, Twenty One (3921), Being Part of the Government Lots Five (5), Six (6), Seven (7), and Eight (8), Section Twenty One (21), Township Twenty One North (T21N), Range Eighteen East (R18E), Town of Buchanan, Outagamie County, Wisconsin, more fully described as follows:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 30, TOWNSHIP 21 NORTH, RANGE 19 EAST; THENCE NORTH 01 DEGREES 04 MINUTES 32 SECONDS EAST, ALONG EAST LINE OF GOVERNMENT LOT 1 OF SAID SECTION 21, A DISTANCE OF 950.77 FEET; THENCE SOUTH 83 DEGREES 20 MINUTES 44 SECONDS WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 1795.12 FEET; THENCE SOUTH 87 DEGREES 31 MINUTES 31 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 724.68 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREES 31 MINUTES 31 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 578.80 FEET; THENCE SOUTH 80 DEGREES 28 MINUTES 59 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 30.42 FEET; THENCE ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, 177.79 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 904.93 FEET AND A CHORD THAT BEARS NORTH 07 DEGREES 58 MINUTES 55 SECONDS EAST, 177.51 FEET; THENCE NORTH 13 DEGREES 36 MINUTE 41 SECONDS EAST, ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, A DISTANCE OF 100.00 FEET; THENCE CONTINUING ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, 567.15 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1959.86 FEET AND A CHORD THAT BEARS NORTH 05 DEGREES 19 MINUTES 16 SECONDS EAST, 565.18 FEET; THENCE SOUTH 83 DEGREES 29 MINUTES 02 SECONDS EAST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, A DISTANCE OF 1341.15 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 49 SECONDS EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF PETERS ROAD, A DISTANCE OF 87.67 FEET; THENCE NORTH 89 DEGREES 32 MINUTE 53 SECONDS WEST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4674, A DISTANCE OF 150.00 FEET; THENCE SOUTH 00

DEGREES 23 MINUTE 49 SECONDS EAST, ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4674, A DISTANCE OF 90.00 FEET; THENCE THE FOLLOWING FIVE CALLS ARE ALONG THE NORTHERLY LINE OF CERTIFIED SURVEY MAP NO. 7177;

THENCE SOUTH 53 DEGREES 26 MINUTES 11 SECONDS WEST 139.97 FEET;
THENCE SOUTH 39 DEGREES 17 MINUTES 34 SECONDS WEST 125.38 FEET;
THENCE NORTH 84 DEGREES 44 MINUTES 53 SECONDS WEST 133.14 FEET;
THENCE SOUTH 27 DEGREES 31 MINUTES 07 SECONDS WEST 140.26 FEET;
THENCE NORTH 88 DEGREES 46 MINUTES 00 SECONDS WEST 282.81 FEET;
THENCE SOUTH 01 DEGREES 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF LOT 4 OF SAID CERTIFIED SURVEY MAP NO. 7177, 190.52 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 736,400 SQUARE FEET [16.905 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

There are no persons residing in the territory.

Dated this 20th day of May, 2025

Gregory Lauer

Gregory Lauer Revocable Trust

W1470 Peters Road

Kaukauna, WI 54130

LEGAL DESCRIPTION

ANNEXATION FROM TOWN OF BUCHANAN TO CITY OF KAUKAUNA

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, BEING PART OF THE GOVERNMENT LOTS 5, 6, 7, AND 8, SECTION 21, TOWNSHIP 21 NORTH, RANGE 18 EAST, TOWN OF BUCHANAN, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 30, TOWNSHIP 21 NORTH, RANGE 19 EAST; THENCE NORTH 01 DEGREES 04 MINUTES 32 SECONDS EAST, ALONG EAST LINE OF GOVERNMENT LOT 1 OF SAID SECTION 21, A DISTANCE OF 950.77 FEET; THENCE SOUTH 83 DEGREES 20 MINUTES 44 SECONDS WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 1795.12 FEET; THENCE SOUTH 87 DEGREES 31 MINUTES 31 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 724.68 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREES 31 MINUTES 31 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 578.80 FEET; THENCE SOUTH 80 DEGREES 28 MINUTES 59 SECONDS WEST, CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF C.T.H. "CE", A DISTANCE OF 30.42 FEET; THENCE ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, 177.79 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 904.93 FEET AND A CHORD THAT BEARS NORTH 07 DEGREES 58 MINUTES 55 SECONDS EAST, 177.51 FEET; THENCE NORTH 13 DEGREES 36 MINUTE 41 SECONDS EAST, ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, A DISTANCE OF 100.00 FEET; THENCE CONTINUING ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, 567.15 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 1959.86 FEET AND A CHORD THAT BEARS NORTH 05 DEGREES 19 MINUTES 16 SECONDS EAST, 565.18 FEET; THENCE SOUTH 83 DEGREES 29 MINUTES 02 SECONDS EAST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 3921, A DISTANCE OF 1341.15 FEET; THENCE SOUTH 00 DEGREES 23 MINUTES 49 SECONDS EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF PETERS ROAD, A DISTANCE OF 87.67 FEET; THENCE NORTH 89 DEGREES 32 MINUTE 53 SECONDS WEST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4674, A DISTANCE OF 150.00 FEET; THENCE SOUTH 00 DEGREES 23 MINUTE 49 SECONDS EAST, ALONG THE WEST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4674, A DISTANCE OF 90.00 FEET; THENCE THE FOLLOWING FIVE CALLS ARE ALONG THE NORTHERLY LINE OF CERTIFIED SURVEY MAP NO. 7177; THENCE SOUTH 53 DEGREES 26 MINUTES 11 SECONDS WEST 139.97 FEET; THENCE SOUTH 39 DEGREES 17 MINUTES 34 SECONDS WEST 125.38 FEET; THENCE NORTH 84 DEGREES 44 MINUTES 53 SECONDS WEST 133.14 FEET; THENCE SOUTH 27 DEGREES 31 MINUTES 07 SECONDS WEST 140.26 FEET; THENCE NORTH 88 DEGREES 46 MINUTES 00 SECONDS WEST 282.81 FEET; THENCE SOUTH 01 DEGREES 14 MINUTES 00 SECONDS WEST, ALONG THE WEST LINE OF LOT 4 OF SAID CERTIFIED SURVEY MAP NO. 7177, 190.52 FEET TO THE POINT OF BEGINNING. CONTAINING 736,400 SQUARE FEET [16.905 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

PROJECT NO.: 1-0290-003

DATE: March 17, 2025

FILE: Q:\1-0290-003 Lauer peters road kaukauna\Legal
L. Lucht

PLANNING & COMMUNITY DEVELOPMENT

Background information:

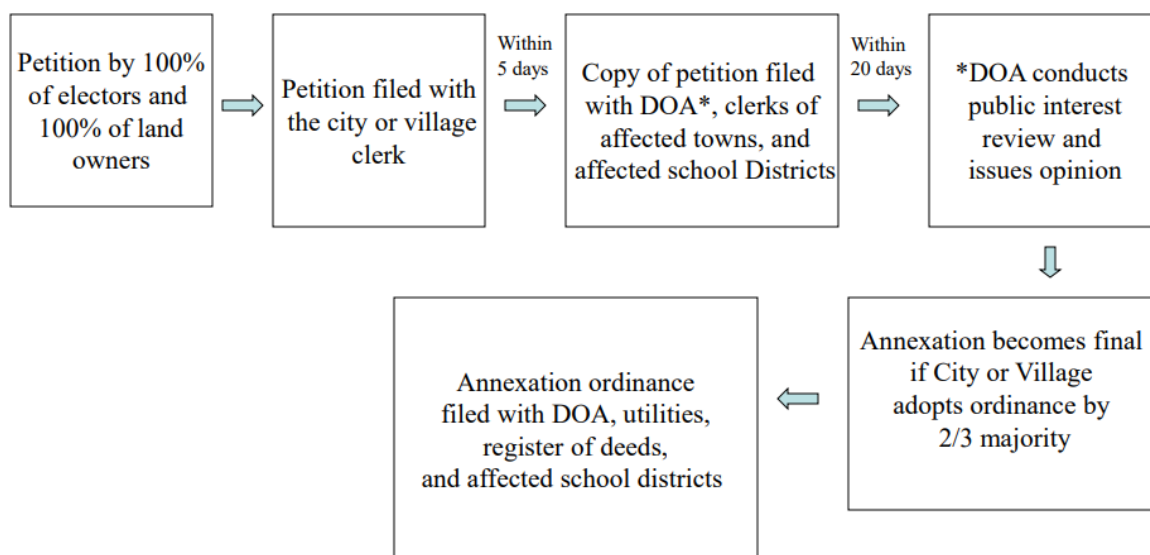
Attached is the annexation petition for greater detail and below is a simple map showing the proposed annexation area.



Following Plan Commission review, the annexation will be reviewed by the Common Council for the adoption of an ordinance, as well as by the Wisconsin Department of Administration. See the below chart and link for more information on the unanimous consent annexation process.

Process of a Unanimous Consent Annexation

See section [66.0217\(2\)](#) of the Wisconsin Statutes



*DOA involvement not applicable in counties with less than 50,000 persons

<https://doa.wi.gov/Pages/LocalGovtsGrants/Annexation.aspx>

Recommendation:

Approve the annexation request for parcel 030032306 and recommend the same to Common Council

CITY OF KAUKAUNA

ORDINANCE NO. **xxxx-2025****ORDINANCE TO ANNEX 16.905 ACRES OF LAND FROM
THE TOWN OF BUCHANAN TO THE CITY OF KAUKAUNA**

WHEREAS, a petition for direct annexation by unanimous consent of territory to the City of Kaukauna has been filed with the Clerk of the City of Kaukauna together with a scale map and legal description of the property to be annexed showing the boundaries of such territory and the relation of the territory to the municipality to which the annexation is requested; and,

WHEREAS, notice of the proposed annexation was served upon the State of Wisconsin Department of Administration, Petition File No. **14762**, and said Department determined that the proposed annexation is in the public interest; and,

WHEREAS, there has been due compliance with all requirements of Section 66.0217 of the Wisconsin State Statutes; and,

WHEREAS, the property is being annexed for purposed of providing municipal services; and,

WHEREAS, the matter was acted upon by the City Plan Commission which recommended annexation of the property;

NOW THEREFORE, the Common Council of the City of Kaukauna, Wisconsin, do ordain as follows:

That the particular property hereinafter described pursuant to the petition filed with the Clerk of the City of Kaukauna be, and the same is, hereby annexed to the City of Kaukauna, and the same is hereby detached, by operation of law, from the Town of Buchanan, Outagamie County, Wisconsin. That the territory so annexed is known and described as follows:

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CONTAINING 736,400 SQUARE FEET [16.905 ACRES].

Introduced and adopted by Common Council on the 1st day of July, 2025.

APPROVED: _____

Anthony J. Penterman, Mayor

ATTEST: _____

Kayla Nessmann, Clerk



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: City Plan Commission
 From: Adrienne Nelson, Associate Planner
 Date: June 12, 2025
 Re: Site Plan Review – 301 W Seventh Street (Club Ritz)

Club Ritz is a neighborhood bar that has had an addition in the works for a number of years. This project will add an additional 1,840 square feet of room to allow for ADA bathrooms as well as for a game room. The intent of the owners to add the space needed for the bathrooms with some additional room but not to increase the occupancy limit of the building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & applicable zoning](#)

The Club Ritz building is two stories, but the addition will only be one story. The height of the addition will be 17', the same as the first floor of the existing building. There are currently 15 off-street parking spaces, and they plan to add an additional 5, bringing the total up to 20. All set back requirements are met and all applicable ordinances are being complied with to include zoning requirements.

Landscape: [17.52 Landscaping Requirements](#)

There are two trees located on the property. There are no plans to remove these during the construction process. A 6ft tall opaque fence must be installed on the west side with 1 shrub per ten feet of fence added to meet the buffer requirements of 17.52.

Lighting:

This addition is not adding any lighting.

Stormwater: [22 Stormwater Management](#)

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

Ingress/Egress:

There will be no changes to ingress or egress.

Public Safety:

The current occupancy limit of 86 people will not be allowed to increase despite the addition.

Façade: [17.53 Façade Standards](#)

The facade will be made up of both stone and standard siding. This meets facade requirements.

Staff Recommendation:

The plan commission must make a decision if the parking is adequate, if the commission finds that the parking is sufficient then staff recommend approval of the development with the following conditions:

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from the Engineering Department**
- **The occupancy limit will remain at 86 people**
- **Fence is added on the west side of the property with plantings per 17.52**
- **Angle parking is to remain on the street (no change to 90 degree stalls)**
- **Right of way permit to be obtained before any work done in that area**
- **A Certificate of Appropriateness is obtained for RACK for façade**





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Abbie Quella & Mandy Waite	Name: Daniel J. Meissner AIA, NCARB
Mailing Address: 301 W. 7th St., Kaukauna, WI 54130	Mailing Address: 1230 E. Calumet Street
Phone: 920-851-8634	Phone: 920-428-0982
Email: waite.mandy@gmail.com	Email: daniel.meissnerarch@gmail.com

PROPERTY INFORMATION

Describe the Proposed Project in Detail:

Addition & Alterations for the existing Club Ritz Bar

Property Parcel (#):

Site Address/Location:

301 W 7th St., Kaukauna, WI 54130

Current Zoning and Use:

Proposed Zoning and Use:

Existing Gross Floor Area of Building:

2000 sf

Proposed Gross Floor Area of Building:

1840 sf

Existing Building Height:

17'

Proposed Building Height:

Same

Existing Number of Off-Street Parking Spaces:

5

Proposed Number of Off-Street Parking Spaces:

6

Existing Impervious Surface Coverage Percentage:

80

Proposed Impervious Surface Coverage Percentage:

82

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Daniel J. Meissner AIA, NCARB

Owner/Agent Name (printed): Daniel J. Meissner AIA, NCARB

SITE PLAN REVIEW PROCEDURE

The plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed site plan application
- ✓ Completed [erosion control and stormwater management permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

SITE PLAN SUBMISSION

1. Email the Planning and Community Development Department at planning@kaukauna.gov

OR

2. Drop off in-person or send by mail to City of Kaukauna, Attn: Planning and Community Development Department, 144 W. 2nd Street, Kaukauna, WI 54130

PROPOSED ADDITION FOR,
CLUB RITZ
301 W. 7TH ST.
KAUKAUNA, WI 54130

PROJECT INFORMATION

DESIGNERS OF RECORD

ARCHITECTURAL / STRUCTURAL
DANIEL J. MEISSNER AIA, LLC
1230 E. CALUMET ST.
APPLETON, WI 54915
920-428-0982

CODE ANALYSIS

USE AND OCCUPANCY

TYPE VB – WOOD FRAME
NON-SPRINKLED
A-2 ASSEMBLY – BAR
UNOCCUPIED BASEMENT

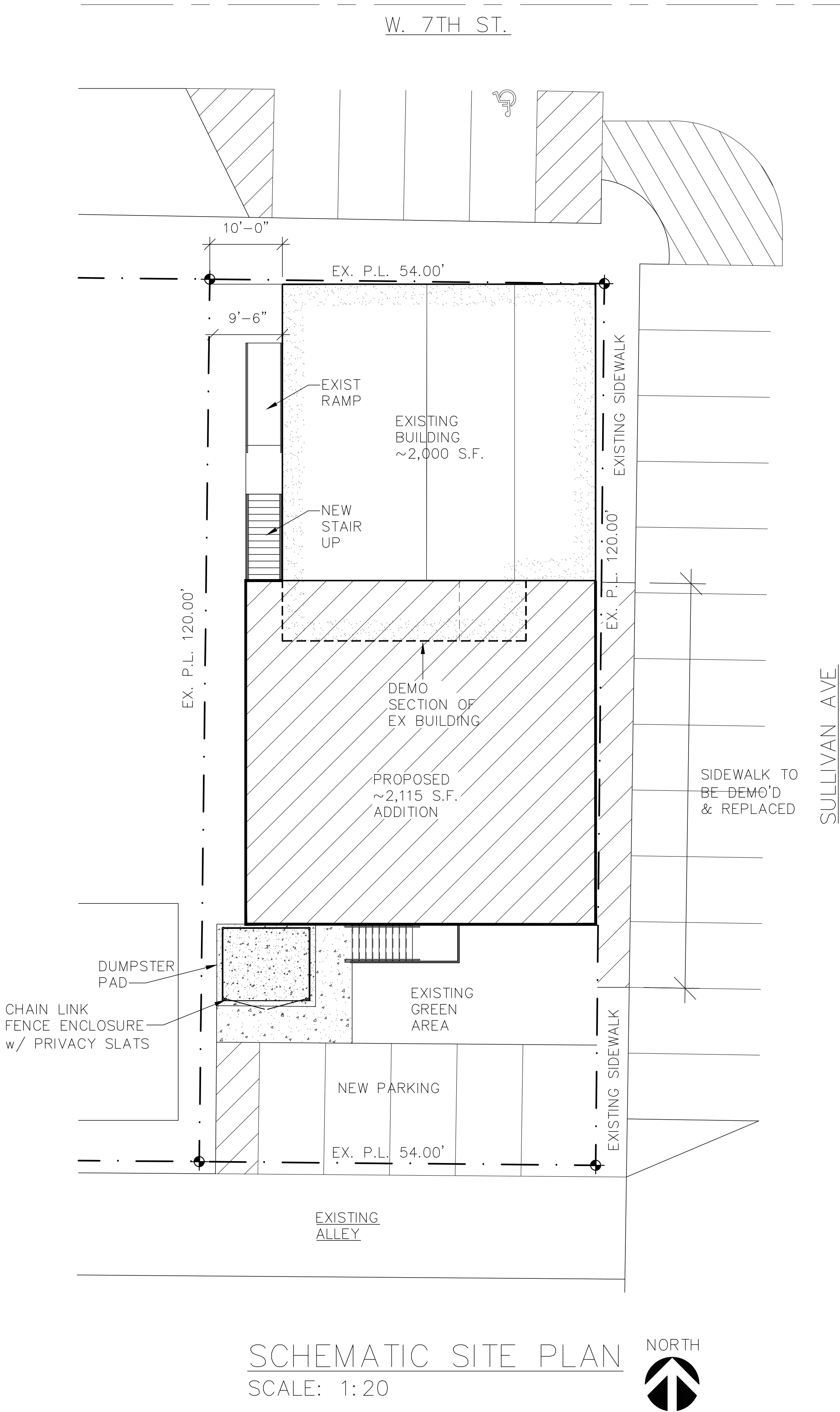
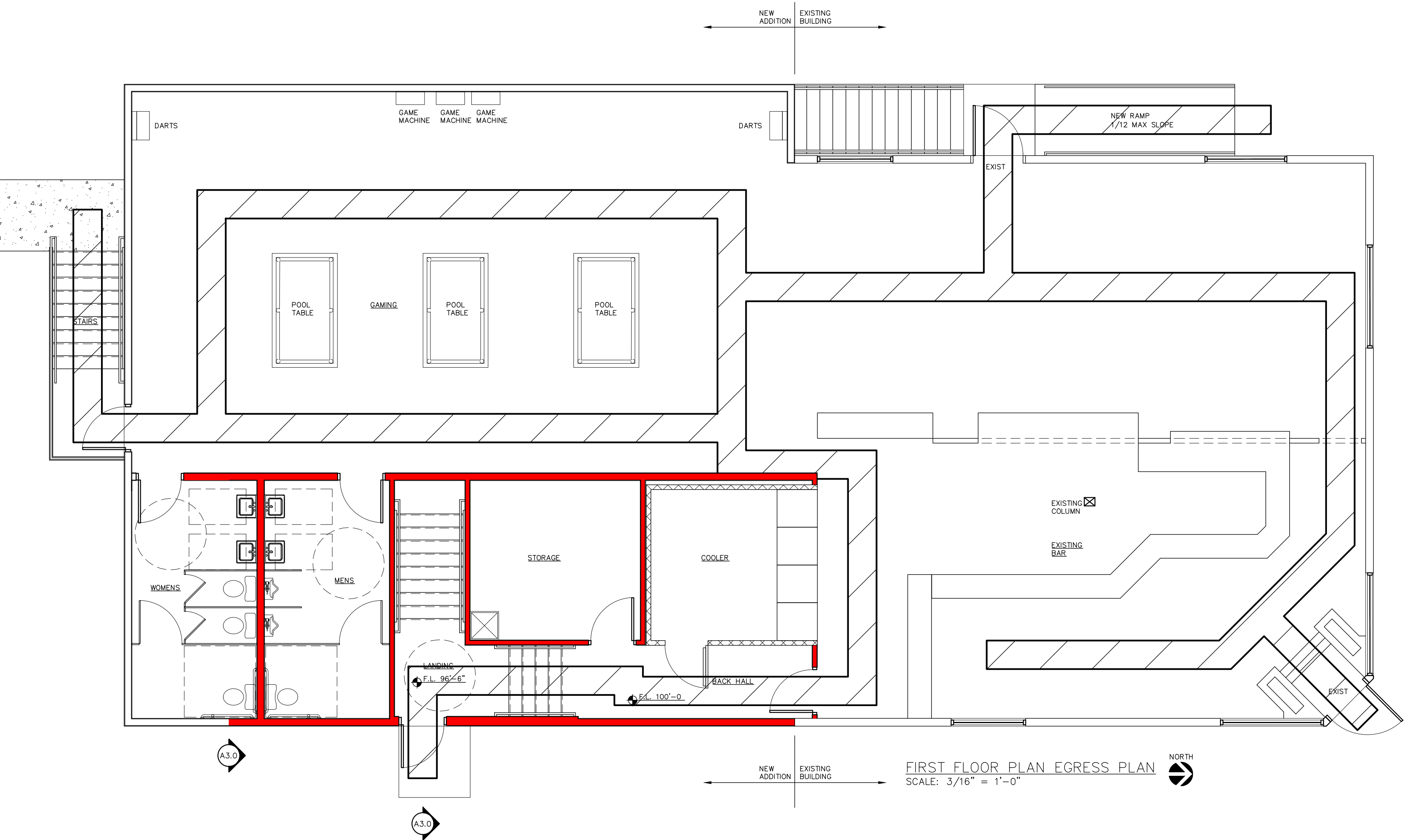
ALLOWABLE AREA

EXISTING BUILDING 2,000 S.F.
NEW ADDITION 1,840 S.F.
TOTAL BUILDING AREA 4,115 S.F.

IBC 2015 TABLE 506.2 – 6,000 S.F. ALLOWED

SHEET INDEX

SHEET	TITLE
T1.0	TITLE SHEET, SITE PLAN, NOTES
D1.0	EXISTING & DEMOLITION PLAN
S1.0	CEILING & EGRESS PLANS
S1.1	EXTERIOR ELEVATIONS
S1.2	CROSS SECTION
S1.3	CROSS SECTION
S1.4	ROOF PLAN
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A3.0	CROSS SECTION
A4.0	ADA DETAILS
A5.0	DUMPSTER DETAILS

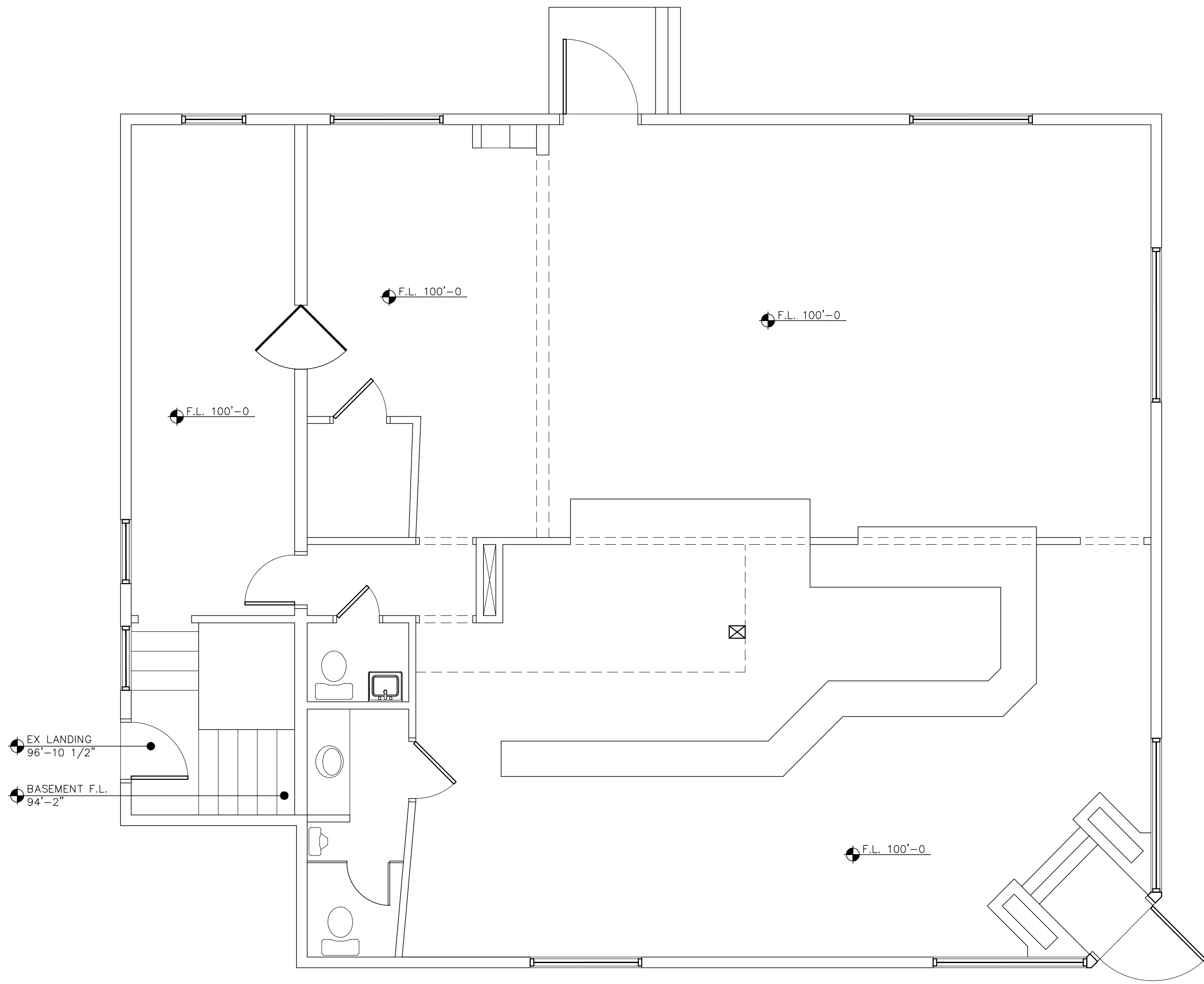


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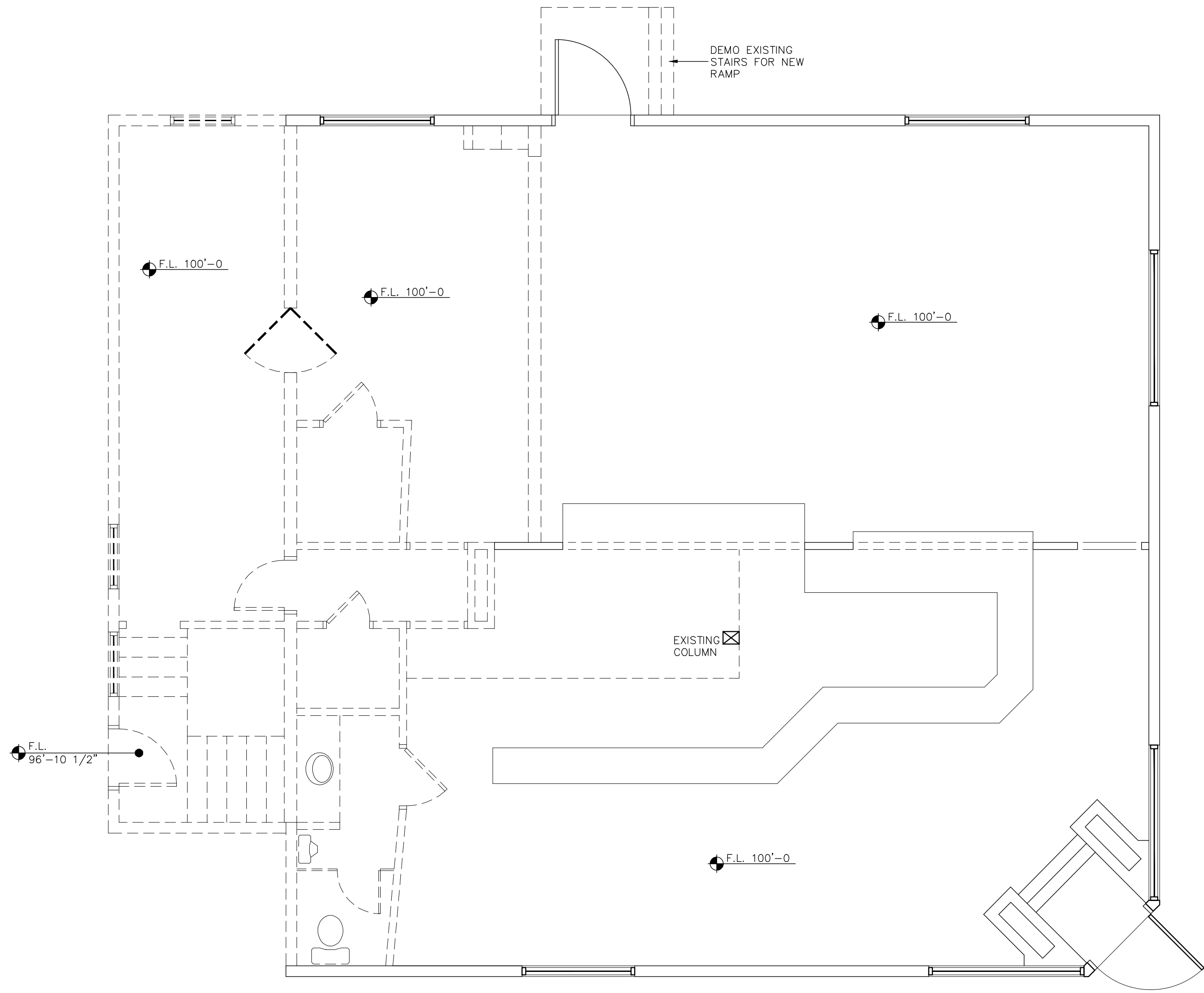
Architect:
Daniel J. Meissner
AIA, LLC
1230 E. Calumet Street
Appleton, WI
920.428.0982

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DRAWN BY:
S. BURTON



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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Architect:
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AIA, LLC
1230 E. Columet Street Appleton, WI
920.428.0982

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GENERAL

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

DESIGN LOADS

FLOOR LIVE LOADS:

- OFFICES: 50 PSF (WITH 15 PSF ALLOWANCE FOR PARTITIONS)
- CORRIDORS : 100 PSF
- LOBBIES: 100 PSF

SNOW LOADS:

GROUND SNOW LOAD: 40 PSF
EXPOSURE FACTOR Ce: 1.0
TEMP. FACTOR Ct: 1.1
IMPORTANCE FACTOR: 1.0
FLAT ROOF SNOW LOAD Pf: 30.8 PSF
DRIFTING: PER IBC, AS REQUIRED

WIND LOADS:

ASCE 7-10
BASIC WIND SPEED: 115 MPH (ULTIMATE)

MAIN FORCE RESISTING SYSTEM WIND

WALLS
WINDWARD 14.0 PSF
LEEWARD -4.7 PSF
CORNERS
WINDWARD 19.4 PSF
LEEWARD -6.8 PSF
INTERNAL PRESSURE COEFFICIENT Gcpi= ±0.18

SEISMIC LOADS:

SEISMIC RISK CATEGORY: II
S_{DS} 0.059
S_{SI} 0.056
SITE CLASS: D
SEISMIC DESIGN CATEGORY: A
BASIC SEISMIC FORCE RESISTING SYSTEM:
WOOD FRAMED SHEAR WALLS & DIAPHRAGM

FOUNDATIONS

- FOUNDATION WORK FOR THIS PROJECT SHALL CONSIST OF SPREAD FOOTINGS, CONTINUOUS WALL FOOTINGS, FOUNDATION WALLS, AND SLABS-ON-GRADE.
- FOUNDATIONS ARE DESIGNED TO BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR APPROVED COMPACTED STRUCTURAL FILL HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF. (PRESUMED)
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED IN THE DRAWINGS, SPECIFICATIONS, TEST BORINGS OR GEOTECHNICAL REPORTS. THESE DATA ARE INCLUDED TO ASSIST THE CONTRACTOR DURING BIDDING AND SUBSEQUENT CONSTRUCTION AND TO REPRESENT CONDITIONS ONLY AT SPECIFIC LOCATIONS AT THE PARTICULAR TIME OBSERVATIONS WERE MADE.
- ALL EXTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
- FOOTING ELEVATIONS SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
- CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE WATER PROMPTLY TO INSURE THAT ALL FOUNDATION WORK IS DONE IN THE DRY.
- NO FOUNDATION(S) SHALL BE PLACED ON FROZEN SUBGRADE.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.
- FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT STRUCTURAL SUPPORT SYSTEM IS INSTALLED AND APPROVED BY ARCHITECT.
- BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF WALL.

CONCRETE

- CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:

ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
ACI 308 - "MANUAL OF CONCRETE PRACTICE"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
ACI 318.1 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAN CONCRETE"
- CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS:

SLABS-ON-GRADE 4,000 PSI
FOOTINGS AND FOUND. / FROST WALLS 3,000 PSI
- CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER/CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES AND SLUMP) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. MAXIMUM WATER/CEMENT RATIO PERMITTED AS NOTED:

0.50 FOR SLABS ON GRADE
0.54 FOR BELOW GRADE CONCRETE
0.48 FOR EXPOSED CONCRETE

USE OF ANY CONCRETE MIX ADDITIVES ARE REQUIRED TO BE APPROVED BY JOB SUPERVISORS PRIOR TO USE.
- CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.
- CONCRETE STRENGTH SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD 2 AS DESCRIBED IN ACI 301. THE RESULTS OF THESE ANALYSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY WORK.
- CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING SHOP DRAWINGS.
- GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC.
- CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.
- PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.

REINFORCEMENT

- DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
ACI 318.1 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAN CONCRETE"
AWS D1.4 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"
WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING.
- CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.
- WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.
- WELDED WIRE MESH SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.

STRUCTURAL STEEL

- STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING:

AISC - "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS".
AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
AWS D1.1 - "STRUCTURAL WELDING CODE - STEEL".
AISC - "STRUCTURAL STEEL DETAILING MANUAL".
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:

HOT ROLLED WIDE-FLANGE - ASTM A992 (Fy=50 KSI)
ALL OTHER STRUCTURAL SHAPES AND PLATES - ASTM A36 (Fy=36KSI)
STRUCTURAL STEEL PIPE - ASTM A53 GRADE B (Fy=35 KSI).
TUBULAR STEEL - ASTM A500 GRADE B (Fy=46 KSI)
HIGH STRENGTH BOLTS - ASTM A325N (BEARING TYPE)
ASTM A325F (FRICTION TYPE)
ANCHOR BOLTS - ASTM A307 OR A36
- PROVIDE 2 MIL THICK RED OR GRAY OXIDE PRIMER ON ALL STEEL SURFACES UNLESS NOTED OTHERWISE.
- ANCHOR BOLTS SHALL BE PRESET WITH TEMPLATES AT REQUIRED LOCATIONS.
- LEVELING PLATES AND BEARING PLATES SHALL BE SET IN FILL BED OF NON-SHRINK GROUT.

CONNECTIONS MAY BE EITHER BOLTED OR WELDED AT THE FABRICATOR'S OPTION. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:
MINIMUM BOLT DIAMETER: 3/4"
SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISC REQUIREMENTS FOR "UNRESTRAINED MEMBERS".
- ALL BEAM CONNECTIONS NOT DETAILED, SHALL SUPPORT 1/2 THE TOTAL UNIFORM LOAD CAPACITY FOR THE GIVEN BEAM AND SPAN OR THE INDICATED REACTION, WHICHEVER IS GREATER. CONNECTIONS SHALL GENERALLY FOLLOW THE TYPES SHOWN IN THE "AISC MANUAL OF STEEL CONSTRUCTION," TABLE II, III, OR X.
- WELDS SHALL FULLY DEVELOP STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE, EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM 3/16".
- WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E70XX.
- CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. TEMPORARY BRACING SHALL REMAIN UNTIL THE PERMANENT LATERAL BRACING HAS BEEN INSTALLED AND THE CONCRETE FOR FLOOR SLABS HAS ATTAINED 75% OF ITS REQUIRED STRENGTH.
- STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE FINAL BOLTING OR WELDING OF CONNECTIONS.
- CONTRACTOR SHALL NOT MODIFY OR CUT ANY STRUCTURAL STEEL WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- CONTRACTOR SHALL FIELD TOUCH UP ALL ABRASIONS, BURNS AND SIMILAR DEFECTS IN PAINT OF THE STRUCTURAL STEEL, JOISTS AND STEEL DECK.
- PROVIDE ACCESS FOR AN INDEPENDENT TESTING AGENCY, HIRED BY THE OWNER, TO MAKE THE FOLLOWING INSPECTIONS:

- BOLT INSTALLATION
- VISUAL INSPECTION OF FILLET WELDS.
- ULTRASONIC TESTING OF FULL-PENETRATION WELDS (TEST REPORTS FROM ALL SHOP-FABRICATED, FULL PENETRATION WELDS SHALL BE SUBMITTED TO ENGINEER PRIOR TO RELEASE FOR SHIPPING).

STRUCTURAL WOOD CONSTRUCTION

- WOOD MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

NFPA - "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION"
NFPA - "DESIGN VALUES FOR WOOD CONSTRUCTION"
AITC - "TIMBER CONSTRUCTION MANUAL, PART II, DESIGN SPECIFICATIONS"
APA - "U.S. PRODUCT STANDARD PS 1-83 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD"
- STRUCTURAL WOOD SHALL BE VISUALLY GRADED IN ACCORDANCE WITH ASTM D245. WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY A RECOGNIZED INSPECTION AGENCY.
- ALL WOOD SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15% PRIOR TO INSTALLATION.
- NEW WOOD SHALL BE SPF #1 OR #2 OR BETTER
- ALL JOISTS AND RAFTERS SHALL BE SUPPORTED BY DIRECT END BEARING ON BEAMS, PARTITIONS OR JOIST HANGERS.
- ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH EXTERIOR CONTACT WITH THE GROUND SHALL HAVE A PRESERVATIVE TREATMENT EQUAL TO 0.25 P.C.F. RETENTION OF PRESSURE INJECTED PRESERVATIVE
- NO WOOD MEMBER SHALL BE CUT, NOTCHED OR DRILLED WITHOUT THE SPECIFIC, WRITTEN APPROVAL OF THE ENGINEER.
- DO NOT EMBED WOOD MEMBERS IN CONCRETE.
- PLYWOOD SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER ALL JOINTS.
- PLYWOOD SHALL BE CAPABLE OF SUPPORTING DESIGN LOADS AT REQUIRED SUPPORT SPACING AND BEAR APPROPRIATE GRADING STAMP FROM AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD SHALL BE FASTENED TO SUPPORTS WITH 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. (UNLESS NOTED OTHERWISE ON PLANS).
- USE STANDARD WIRE NAILS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307. USE STEEL WASHER BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHER BETWEEN NUT AND WOOD.

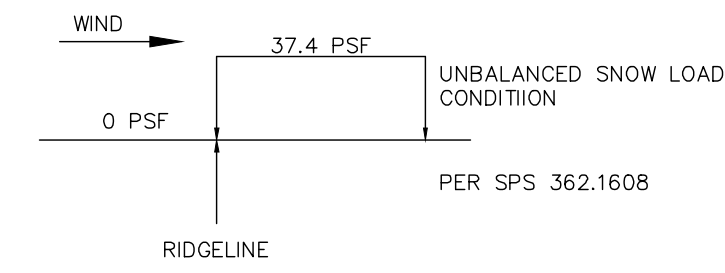
STRUCTURAL WOOD CONSTRUCTION — CONTINUED

- ALL FASTENERS USED FOR PRESERVATIVE TREATED WOOD SHALL BE STAINLESS OR GALVANIZED
- JOIST HANGER FASTENERS MUST BE AS SUPPLIED BY THE JOIST HANGER MANUFACTURER.
- LAMINATED VENEER LUMBER (LVL) BEAMS SHALL CONFORM TO TRUS JOIST MIRCROLAM 1.9E LVL SPECIFICATION OR EQUAL

PRE-FABRICATED WOOD TRUSSES

- WOOD TRUSSES SHALL CONFORM TO THE LATEST EDITION OF THE "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES", PUBLISHED BY THE TRUSS PLATE INSTITUTE.
- WOOD TRUSS FABRICATOR SHALL SUBMIT CALCULATIONS TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION. THE CALCULATIONS MUST BE STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
- WOOD TRUSSES MUST BE ERECTED AND BRACED ACCORDING TO THE PROCEDURES DESCRIBED IN "BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS", PUBLISHED BY THE TRUSS PLATE INSTITUTE.
- WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT THE FOLLOWING LOADS UNLESS INDICATED OTHERWISE ON CONTRACT DRAWINGS:

ROOF TRUSSES TOP CHORD LIVE LOAD 30.8 PSF (BALANCED SNOW DEAD LOAD 10 PSF LOAD CONDITION)
BTM CHORD DEAD LOAD 10 PSF
- WOOD TRUSSES SHALL BE SUPPORTED BY DIRECT END BEARING ON WALLS, BEAMS, COLUMNS OR APPROPRIATE STEEL HANGERS.



REINFORCEMENT DEVELOPMENT AND SPLICE LENGTH SCHEDULE

Fy = 60 KSI f'c = 3000 PSI										
BAR SIZE		#3	#4	#5	#6	#7	#8	#9	#10	#11
CLASS A SPLICE LENGTH	TOP BARS	22	29	36	43	63	72	81	91	101
	OTHERS	17	22	28	33	48	55	62	70	78
CLASS B SPLICE LENGTH	TOP BARS	28	37	47	56	81	93	105	118	131
	OTHERS	22	29	36	43	63	72	81	91	101

NOTES

- ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.
- TABULATED VALUES ARE BASED ON GRADE 60 REINFORCING BARS AND NORMAL WEIGHT CONCRETE.
- TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER ACI 318-95, SECTIONS 12.2.2 AND 12.15, RESPECTIVELY. TABULATED VALUES FOR BEAMS AND COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND CONCRETE COVER MEETING MIN. CODE REQUIREMENTS. LENGTHS ARE IN INCHES.
- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BARS.
- SPLICE AND DEVELOPMENT LENGTHS IN THIS SCHEDULE ARE BASED ON CASE 1 PER CRSI (1996):

BEAMS OR COLUMNS: COVER AT LEAST 1.0 BARØ AND C.-C.
SPACING AT LEAST 2.0 BARØ
ALL OTHERS: COVER AT LEAST 1.0 BARØ AND C.-C.
SPACING AT LEAST 3.0 BARØ

WOOD FRAMING DESIGN STRESSES							
MEMBER	SPECIES & GRADE	Fb Single Use (psi)	Fb Repet Use (psi)	Fv (psi)	Fc (psi) PERP-TO GRAIN	Fc (psi) PARALLEL TO GRAIN	E (psi)
JOISTS, BEAMS, AND HEADERS.	SPF #1/#2 U.N.O.	875	1,005	135	425	1,150	1,400,000
LOAD BRG. STUDS	SPF #1/#2 U.N.O.	875	1,005	135	425	1,150	1,400,000
NON-BRG. STUDS	SPF STUD	675	776	135	425	725	1,200,000

TYPICAL NAILING SCHEDULE, U.N.O.		
CONNECTION TYPE	NAILING (COMMON NAILS- UNLESS OTHER CONNECTION IS REQUIRED)	NAILING (STRIP NAILS- UNLESS OTHER CONNECTION IS REQUIRED)
DOUBLE TOP PLATES, FACE NAIL DOUBLE TOP PLATES, LAP SPLICE, FACE NAIL TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	16d COMMON (3 1/2"x0.162") @ 16" OC 8-16d COMMON (3 1/2"x0.162") 4-16d COMMON (3 1/2"x0.162")	3" x 0.131" @ 12" O.C. 12 - 3" x 0.131" 4 - 3" x 0.131"
TOP PLATE TO STUD, END NAIL HEADER TO KING STUD, EACH PLY TREATED BOTTOM PLATE TO STUD	2-16d COMMON (3 1/2"x0.162") 3-16d COMMON (3 1/2"x0.162") 4-8d COMMON (2 1/2"x0.131"). TOENAIL OR 2-16d COMMON (3 1/2"x0.162"), END NAIL	3 - 3" x 0.131" 3 - 3 1/4" x 0.131" (HOT DIP GALVANIZED)
BUILT-UP STUD COLUMNS, FACE NAIL	10d COMMON (3"x0.148") @ 16" OC STAGGERED	3"x 0.131" @ 12" OC STAGGERED
BUILT-UP CORNER STUDS & SUPPORT STUDS	10d COMMON (3"x0.148") @ 16" OC STAGGERED	3"x 0.131" @ 12" OC STAGGERED
CONTINUOUS HEADER, FACE NAIL	16d COMMON (3 1/2"x0.162") @ 12" OC ALONG EACH SIDE	-----
5/8" PLYWOOD OR OSB ROOF SHEATHING (APA RATED) UNLESS NOTED OTHERWISE	8d COMMON (2 1/2"x0.131") @ 6" OC AT SUPPORTED PANEL EDGES 8d COMMON (2 1/2"x0.131") @ 12" OC AT INTERMEDIATE MEMBERS IN FIELD OF PANELS	2 1/2"x0.113" @ 6" OC AT SUPPORTED PANEL EDGES 2 1/2"x0.113" @ 12" OC AT INTERMEDIATE MEMBERS IN FIELD OF PANELS
7/16" OSB WALL SHEATHING (APA RATED) UNLESS NOTED OTHERWISE - SEE SHEAR WALL SCHEDULE	SEE SHEARWALL NOTES ON S3.0	SEE SHEARWALL NOTES ON S3.0

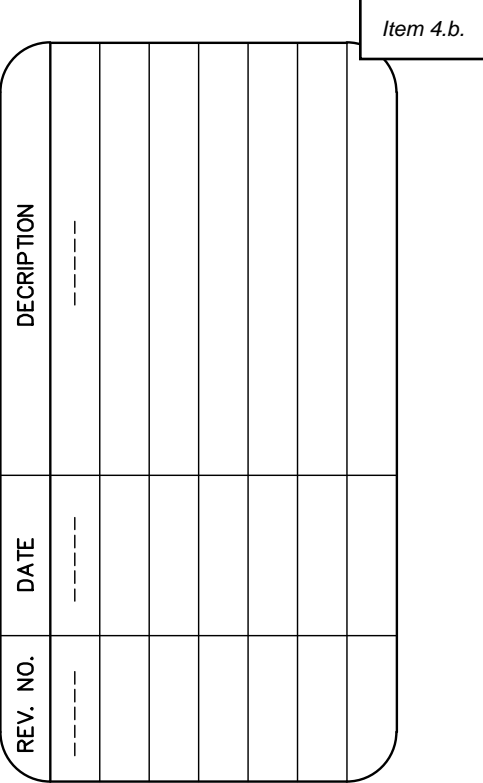
HURRICANE TIE FASTENERS AT ALL TRUSS BEARING LOCATIONS			
CONNECTION TYPE	HURRICANE TIE	ATTACHMENT TO TRUSS	ATTACHMENT TO SUPPORTING STRUCTURE
TYPICAL TRUSS (111'-6" BRG. ELEV.)	SIMPSON H10A	9-10d (1 1/2"x0.148")	9-10d (1 1/2"x0.148")
2-PLY TRUSS	SIMPSON LGT2	16-16d SINKERS	14-16d SINKERS
3-PLY TRUSS	SIMPSON LGT3-SDS2.5	12-SDS 1/4" x 2 1/2"	26-16d SINKERS
4-PLY TRUSS	SIMPSON LGT4-SDS3	16-SDS 1/4" x 3"	30-16d SINKERS
JACK TRUSS	SIMPSON H1	6-8D 1 1/2" x 0.131"	4-8D 2 1/2" x 0.131"
HIP CORNER TRUSS	SIMPSON HCP2	6-10D 1 1/2" x 0.148"	6-10D 1 1/2" x 0.148"

Item 4.6.					
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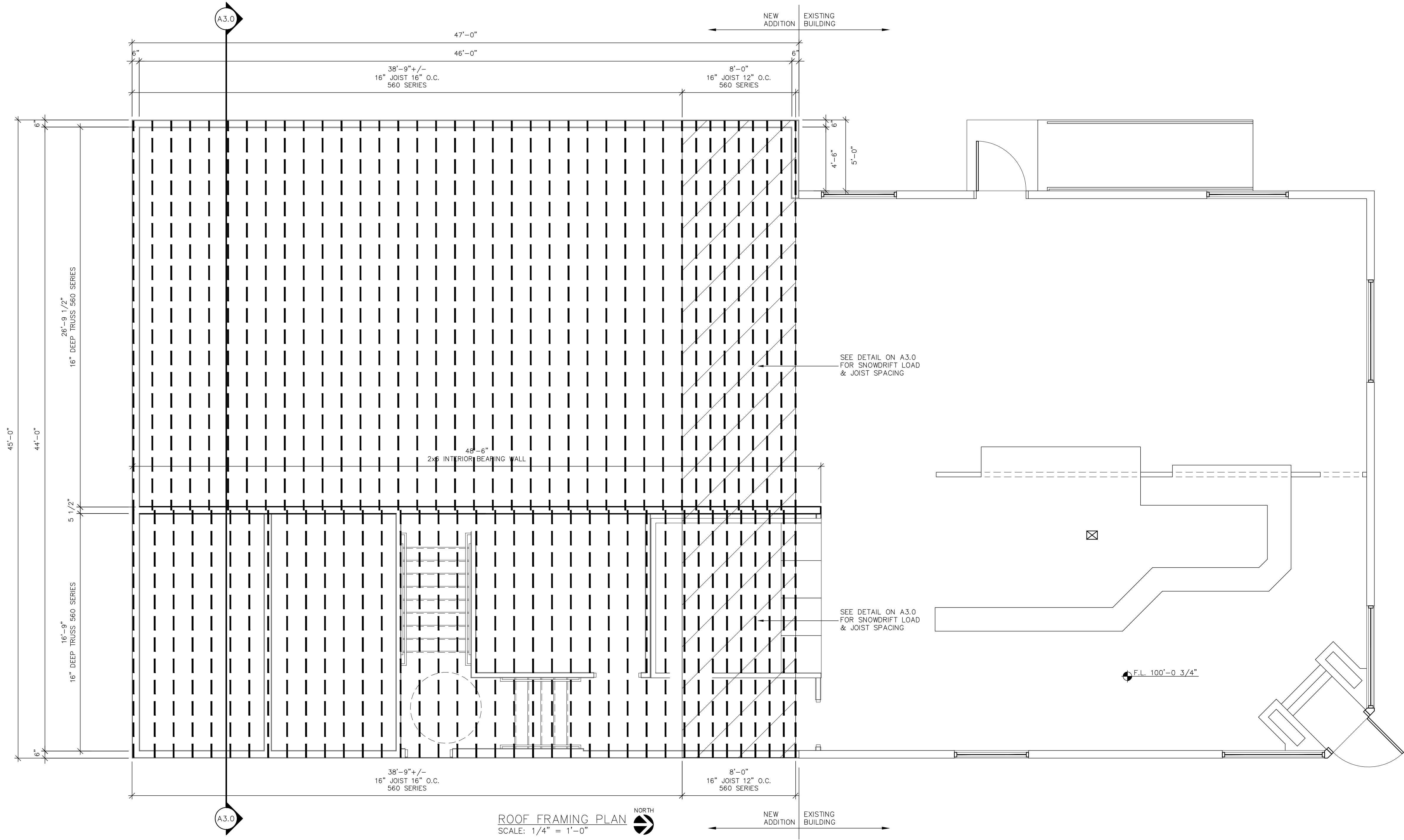
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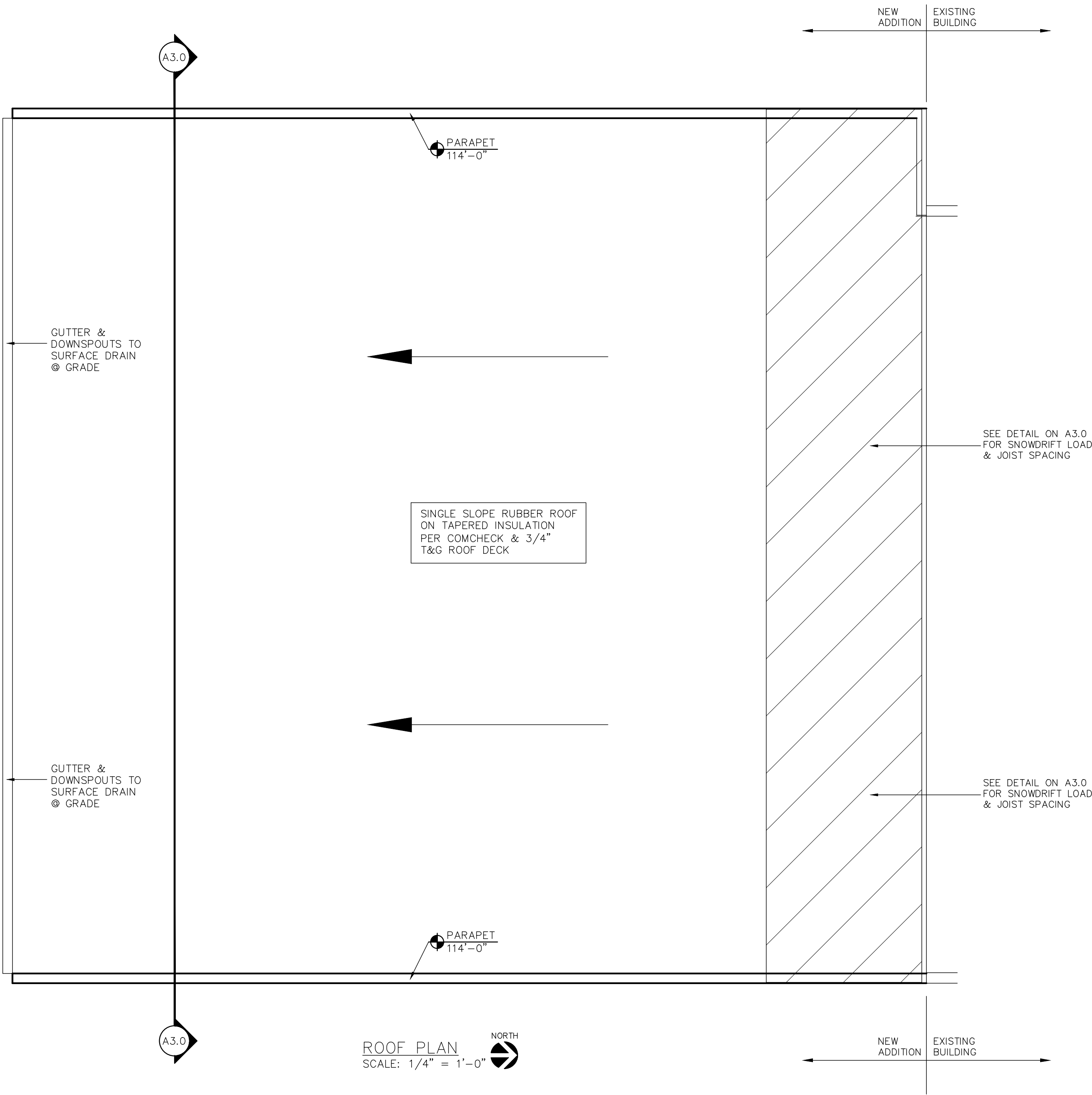


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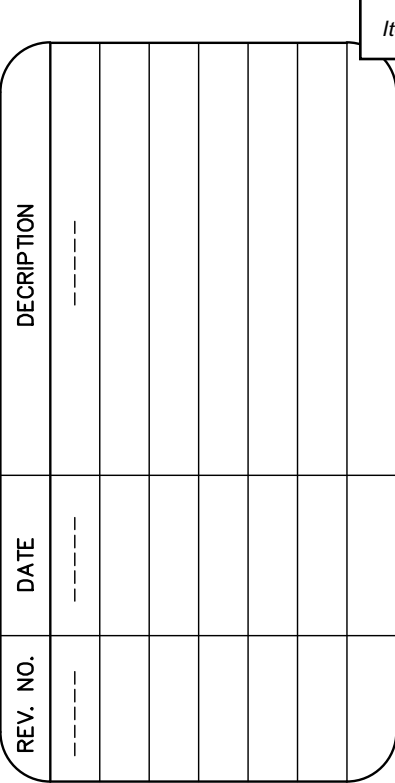


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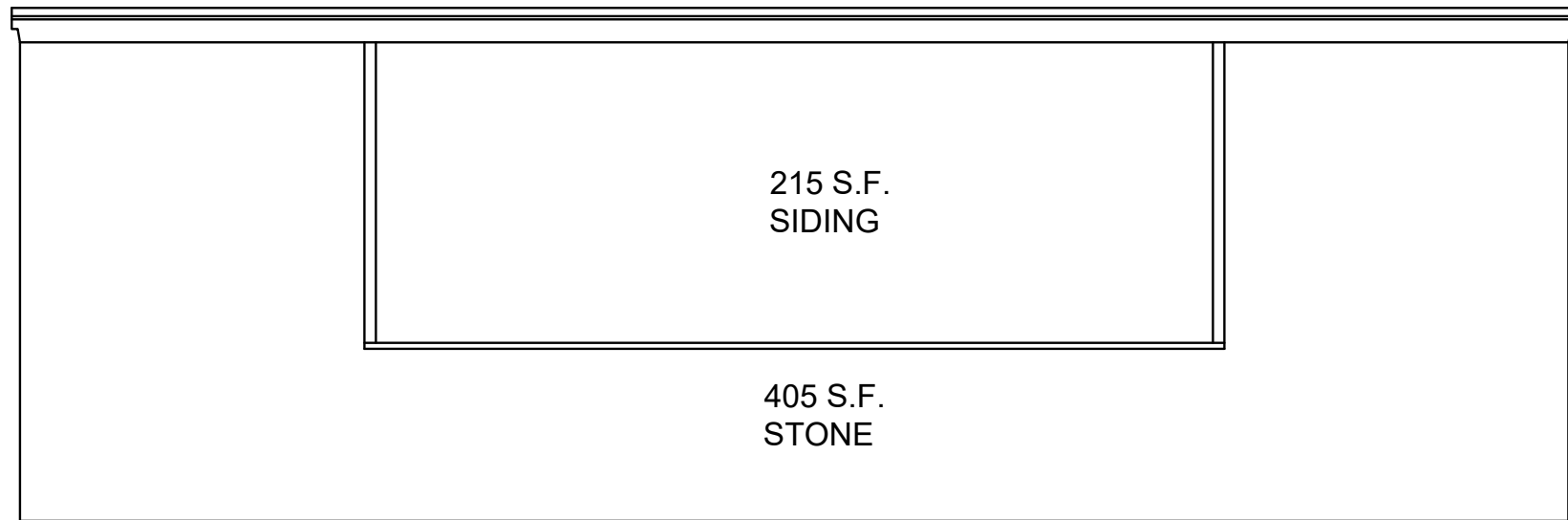
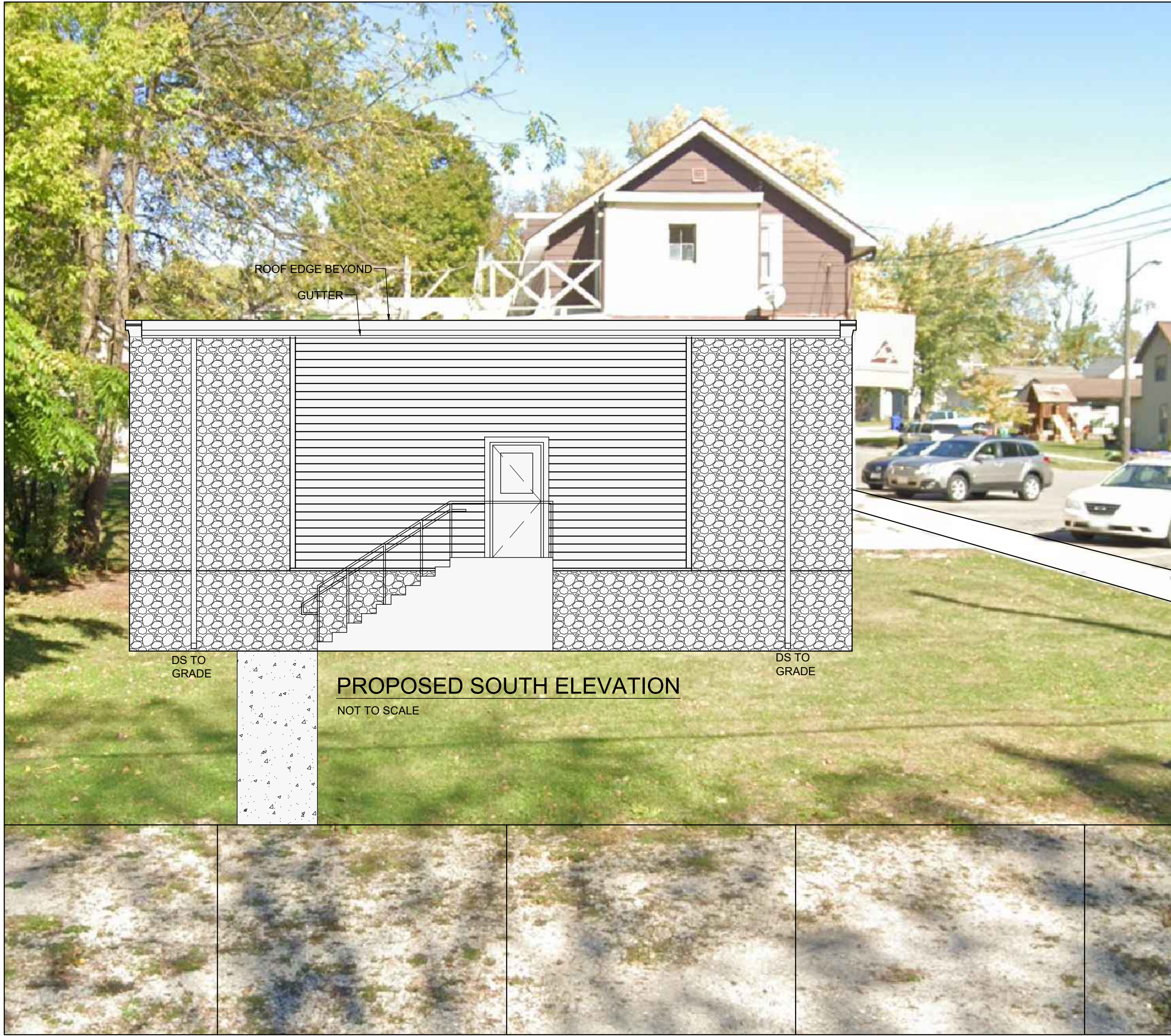


PROPOSED ADDITION FOR,
CLUB RITZ
301 W. 7TH ST.
KAUKAUNA, WI 54130

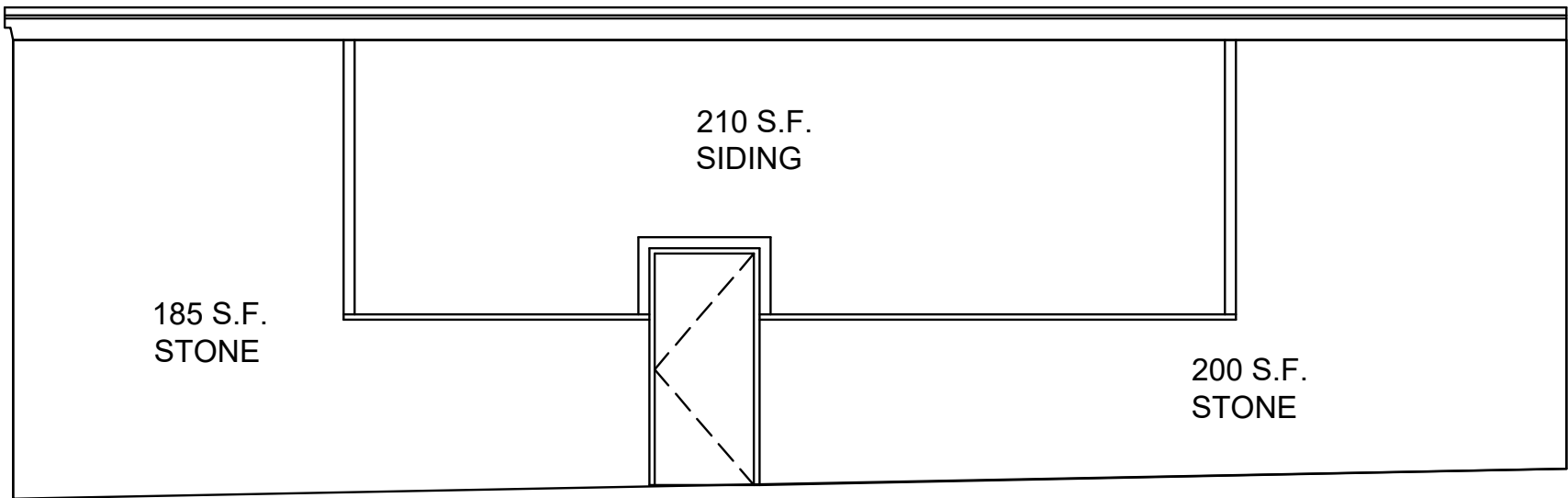
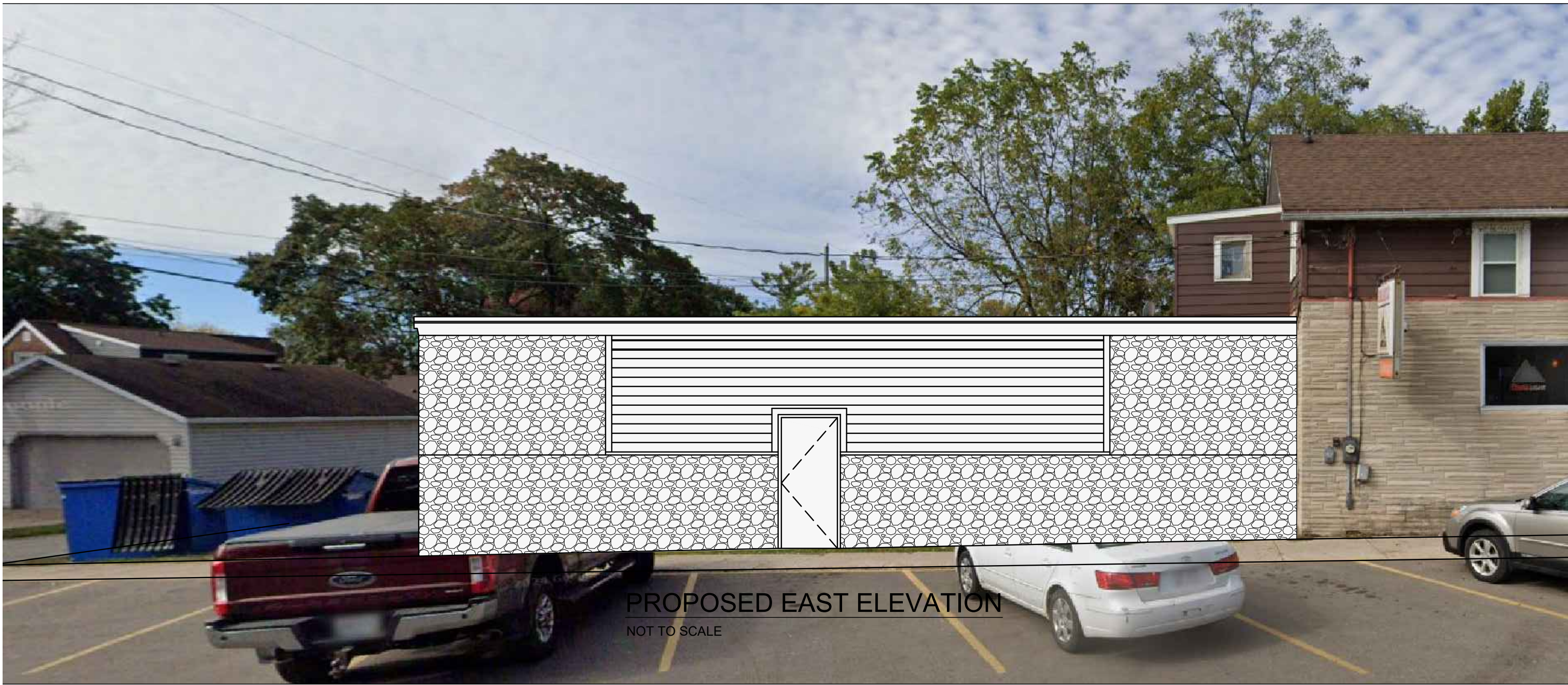
DATE
5/29/2025

SHEET
A1.0

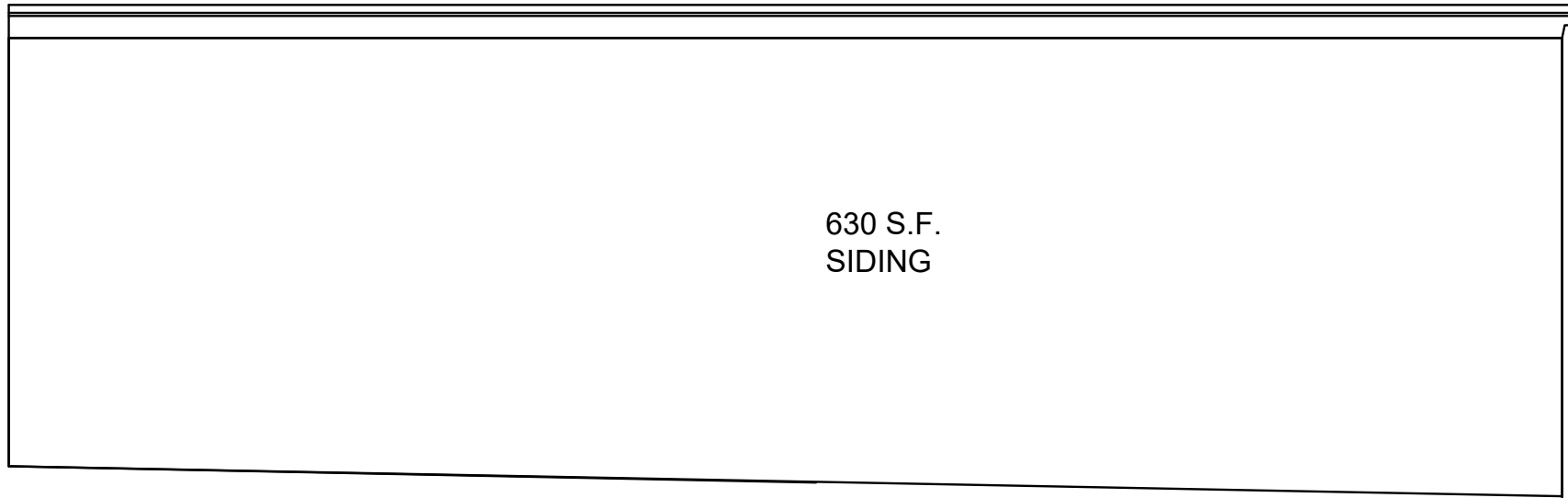
DRAWN BY:
S. BURTON



PROPOSED SOUTH ELEVATION
SCALE: 3/16 = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 3/16 = 1'-0"



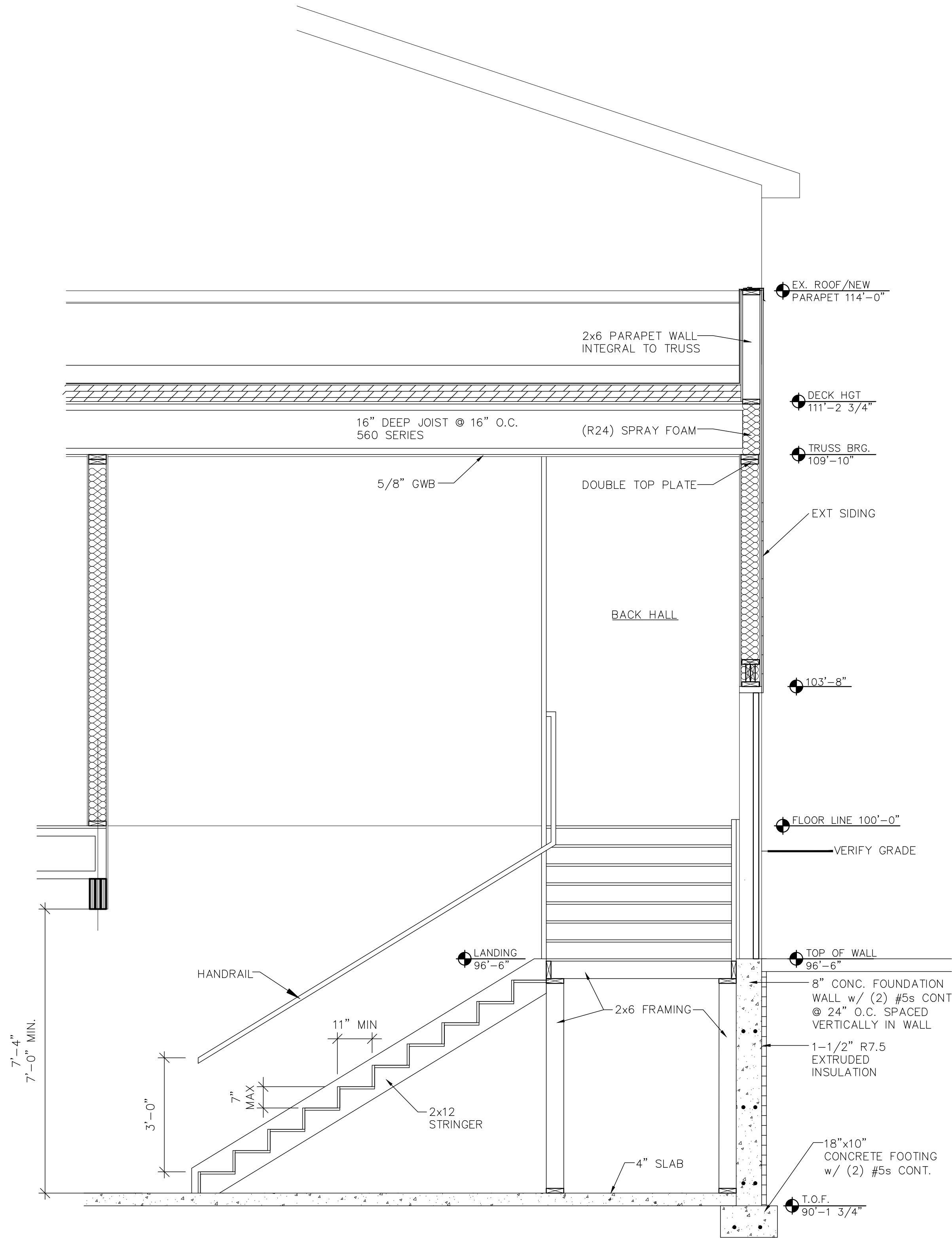
PROPOSED WEST ELEVATION
SCALE: 3/16 = 1'-0"

REV. NO.	DATE	DESCRIPTION

Architect:
Daniel J. Meissner
AIA, LLC
1230 E. Columet Street Appleton, WI
920.428.0982

PROPOSED ADDITION FOR,
CLUB RITZ
301 W. 7TH ST.
KAUKAUNA, WI 54130

DATE
5/29/2025
SHEET
A2.0
DRAWN BY:
S. BURTON



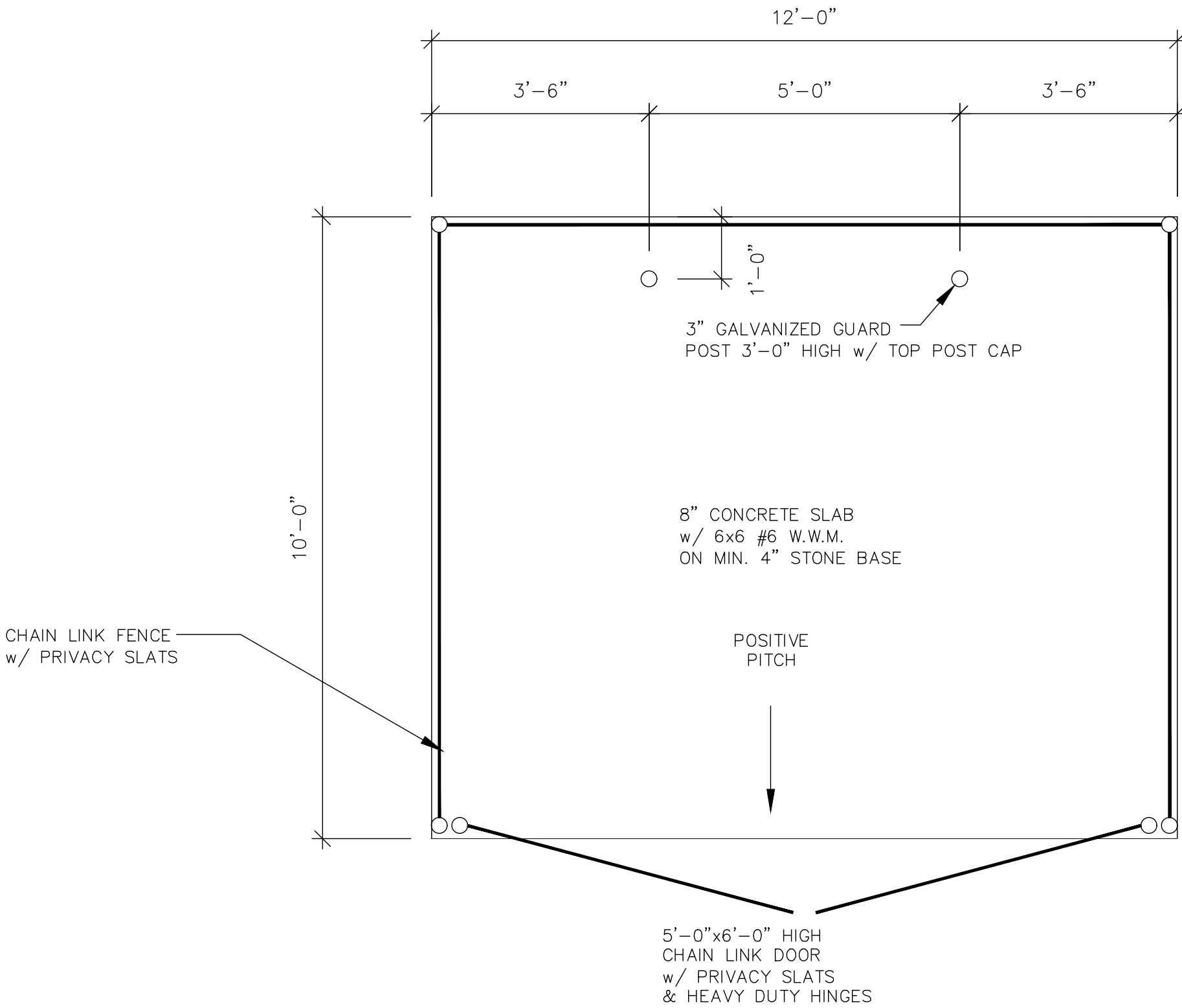
STAIR CROSS SECTION
SCALE: 1/2" = 1'-0"

REV. NO.	DATE	DESCRIPTION

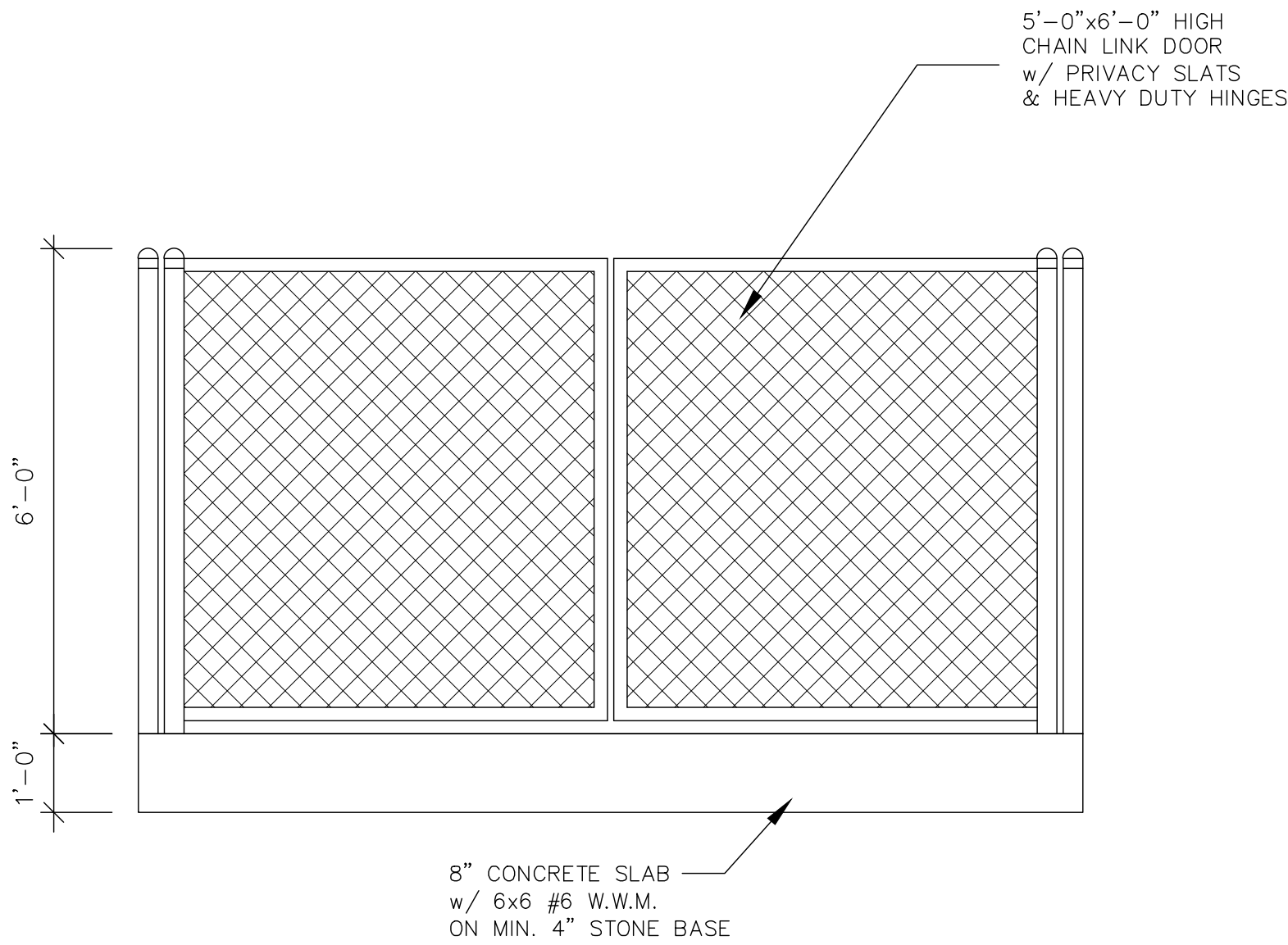
Architect:
Daniel J. Meissner
AIA, LLC
1230 E. Columet Street Appleton, WI
920.428.0982

PROPOSED ADDITION FOR,
CLUB RITZ
301 W. 7TH ST.
KAUKAUNA, WI 54130

DATE
5/29/2025
SHEET
A3.1
DRAWN BY:
S. BURTON



DUMPSTER PLAN
SCALE: 1/2"=1'-0"



DUMPSTER ELEVATION
SCALE: 1/2"=1'-0"

REV. NO.	DATE	DESCRIPTION

--

Architect:
Daniel J. Meissner
AIA, LLC
1230 E. Columet Street Appleton, WI
920.428.0982

PROPOSED ADDITION FOR,
CLUB RITZ
301 W. 7TH ST.
KAUKAUNA, WI 54130

DATE
5/29/2025
SHEET
A5.0
DRAWN BY:
S. BURTON



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Dave Kittel, Director of Planning and Community Development
Date: 6/12/2025
Re: Tree planting Thelen and Field Crest Park

Background information:

Some trees have slowly been dying in Thelen and Field Crest Park. Some is due to age, storms and various bugs/disease. Staff would like to move forward with replanting the trees that are no longer viable at Thelen and Field Crest parks.

Thelen park has lost about 4 maple trees and one larger oak tree on the property. Due to there being an abundance of maple trees in this area and the park staff would like to replant 5 trees with a variety of species based on the list of approved trees in the City. The exact species will be determined based on availability, but planting 1 oak or hickory (something that grows taller with large canopy) along the rear of the property and either Kentucky Coffeetree or Ginko trees along the street area. In total 5 trees to be replaced at Thelen Park.

Field Crest Park has 5 trees to be replaced and proposed to add 2 additional trees in the back of the park to allow for a buffer and shade areas in the park. The trees to be planted will be based off availability, a few different species will be planted to ensure diversity of species.

Staff would also like to propose a tree planting policy to help speed up the process for tree planting when it is only a replacement or minor addition to a park to be able to better

maintain the parks provide a specific process. Attached is a draft version of a policy for additional information.

Strategic Plan:

Maintaining the canopy and adding trees directly links to being a sustainable community, community of choice and helps with beautification of the municipality.

Budget:

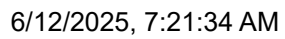
The trees are planned for in normal operating budget.

Recommendation:

To approve the replacement and addition of trees at Thelen and Fieldcrest park and direct staff to finalize a policy and take it through the appropriate approval process.



Item 4.c.



0 0.01 0.01 0.02 mi

0 0.01 0.02 0.04 km

Fieldcrest Park Tree Planting/Replacement

Item 4.c.



6/12/2025, 7:27:42 AM

- Tax Parcel Information

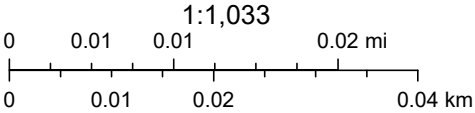
PLSS Sections

Streets

LOCAL
- Plat Boundary Lines

Plat Boundary
- CTH

STH



City of Kaukauna Tree Planting and Replacement Policy

Section 1: Purpose

To promote urban forestry, enhance environmental quality, and maintain the aesthetic and ecological value of public spaces by regulating the planting, replacement, and removal of city trees on city property.

Section 2: Definitions

City Tree: Any tree located on city owned property such as parks, not including Right of way unless the city owned property abuts the right of way.

Replacement Tree: A tree planted to replace a dead, diseased, or hazardous city tree.

New Tree Addition: Planting of trees where none previously existed or where the planting significantly alters the existing landscape.

Reforestation: Any substantial redesign or restructuring of existing tree layouts or landscaping plans.

Section 3: Tree Replacement Policy

Replacement of dead or hazardous city trees does not require approval from the Plan Commission or other Boards/Councils.

The Department of Public Works, shall oversee and approve all replacement tree plantings.

Replacement trees must be of appropriate species, size, and location as determined by City Staff.

Section 4: New Tree Additions and Reforestation

Any proposal involving:

- Planting of new trees in undeveloped or previously non-landscaped areas,
- Significant changes to existing tree layouts (reforestation),
- Or projects that impact the overall landscape design,

must receive approval from the following bodies:

1. Plan Commission
2. Board of Public Works
3. Common Council

Proposals must include:

- A detailed site plan,
- Species and quantity of trees,
- Maintenance plan,
- Environmental impact assessment (if applicable).

Section 5: Implementation and Oversight

- The Department of Public Works shall maintain a public record of all tree replacements and new plantings.
- A report shall be submitted to the Common Council summarizing tree planting activities and future plans upon request.

Section 6: Tree species approved for planting on City Property

SMALL TREES (Below 30' Maximum Height) – Acceptable trees for terraces with overhead power lines and/or if terrace is 3-5 feet wide. May be planted in wider terraces.

Amur Maple (Tree Form)
 Tatarian Maple
 Serviceberry
 American Hornbeam
 Cockspur Thornless Hawthorne
 Amur Maakia
 Flowering Crabapple
 Ironwood
 Newport Plum
 Princess Kay Plum
 Canada Red Chokecherry
 Peking Lilac

Japanese Tree Lilac

MEDIUM TREES (30'-45' Maximum Height) – Acceptable trees for terraces that are 5-8 feet wide. May be planted in wider terraces.

Shatung Maple
 Turkish Filbert
 Amur Corktree (male)
 Callery Pear
 Korean Mountain Ash

LARGE TREES (Above 45' Maximum Height) – Acceptable trees for terraces 8 foot and wider.

Freeman Maple
 Miyabe Maple
 Norway Maple
 Sugar Maple
 Horsechestnut
 Ruby Red Horsechestnut 'Briotii'
 Hackberry
 Katsuratree
 Hardy Rubber Tree
 Gingko (male)
 Thornless Honeylocust
 Kentucky Coffeetree
 Tuliptree
 White Oak
 Swamp White Oak
 Bur Oak
 English Oak
 Red Oak
 Chinkapin Oak
 Yellowwood
 American Linden
 Littleleaf Linden
 Silver Linden
 Hybrid Elm

Other trees approved for planting on City property

Arborvitae
 Blue Beech
 Crab Apple

Eastern White Pine
Ginkgo(Male)
Honey Locust
Kentucky Coffeetree
Oak
Redmond Linden
Serviceberry
Shagbark Hickory
Spruce
Sugar Maple
Tulip Tree