

PLAN COMMISSION

City of Kaukauna
Council Chambers
Municipal Services Building
144 W. Second Street, Kaukauna



Thursday, September 04, 2025 at 4:00 PM

AGENDA

In-Person in Common Council Chambers, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - [a.](#) Approve Minutes from August 7, 2025
3. Old Business.
4. New Business.
 - [a.](#) CSM Review - 1601 E Hyland Avenue (Parcel 322072914)
 - [b.](#) CSM Review - Parcels 325021600 and 325021900 (Pool Hill)
 - [c.](#) Site Plan Review - Bassett Mechanical (1215 Hyland Avenue)
 - [d.](#) Site Plan Review - Accurate Machine (1901 Hyland Avenue)
 - [e.](#) Site Plan Review - Team Industries (1200 Maloney Road)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.

PLAN COMMISSION

City of Kaukauna

Council Chambers

Municipal Services Building

144 W. Second Street, Kaukauna



Thursday, August 7, 2025 at 4:00 PM

MINUTES**In-Person in Council Chambers**

Mayor Penterman called the meeting to order at 4:00 p.m.

1. Roll Call

Members Present: Brett Jensen, Giovanna Feller, John Neumeier, Michael Avanzi, Ken Schoenike, Pennie Thiele, Mayor Tony Penterman

Absent: John Moore

Other(s) Present: Planning and Community Development Director Dave Kittel, Associate Planner Adrienne Nelson, Community Enrichment and Recreation Director Terri Vosters, Times Villager Reporter Brian Roebke

Neumeier made a motion to excuse the absent member. Seconded by Thiele. The motion passed unanimously.

2. Approval of Minutes

a. Approve Minutes from June 19, 2025

Feller made a motion to approve the minutes from June 19, 2025. Seconded by Jensen. The motion passed unanimously.

3. Old Business

a. None

4. New Business

a. Park Donation Application Review – Benches

Associate Planner Nelson introduced the park bench donation application submitted by Gail and Jeff Gustman for two benches, to be installed at Riverside Park and Horseshoe Valley Park, in memory of Tom and Suzy Gustman and Elwyn and Margaret Schroeder. The benches would be in the City of Kaukauna's standard bench style and would include plaques. The donors have requested that these benches overlook the baseball

fields at both parks. At Riverside Park, there are currently four benches along the sidewalk that overlook the baseball field. These benches differ in style from the standard benches, but they are in good condition, so they do not need to be replaced at this time. There is room, however, for another bench to be placed in that same area. At Horseshoe Valley Park, there is ample space in the area overlooking the baseball field, and no current benches are in place along the large curve of sidewalk around the baseball field. Both parks would benefit from benches to allow people to comfortably watch the baseball games.

Schoenike made a motion to approve the park bench donations for Gail and Jeff Gustman in memory of Tom and Suzy Gustman and Elwyn and Margaret Schroeder with the finalization of the location to be done by staff. Seconded by Jensen. The motion passed unanimously.

b. 2025-2030 Park Plan

Director Kittel introduced the 2025-2030 Comprehensive Outdoor Recreation Plan. He explained that this is an introductory item, but if the Plan Commission has no changes they would like made to the document, they can forward it on to the Common Council for review. The plan as presented was shaped by information gathered from the community survey, standards taken from the National Recreation and Parks Association (NRPA), and items that have recurrently been brought up to staff by community members. Items that kept coming up included maintenance, amenities, community events and involvement, and beautification. Staff then worked to pinpoint what the issues were for these areas and why they kept coming up in order to develop tactics to address them.

Kittel then went on to explain each of the items in more depth. For maintenance he explained that, given the large number of parks Kaukauna has, it can be difficult to maintain all of them. Some of the tactics suggested to address this issue included creating an annual park conditions report, creating a formalized user reporting system accessible via QR codes at parks so maintenance issues can be addressed quickly, performing semiannual park inspections, hiring a park foreman and having dedicated park maintenance staff, and investigating security measures at parks in order to reduce vandalism.

For amenities, Kittel explained that many residents want more diverse, accessible amenities for a wide variety of age groups. There were quite a few requests made for ziplines, trails, and dog-friendly parks. Some of the tactics suggested to address this issue included exploring small fenced in areas for dogs at parks, performing public outreach to neighbors when a park is to be updated, creating and providing digital and paper trail maps, improving bike lanes and safety, using national park standards when planning for amenities, investigating the possibility of a permanent event stage, creating a Central Park redevelopment plan, and mapping parks and service areas in order to plan for future park needs.

For community events and involvement, tactics included investigating the possibility of having community gardens, exploring any legal requirements for having beer garden events, and increasing the promotion of parks on social media so community members are aware of existing amenities.

For beautification, tactics included more native plantings, the creation of a beautification committee, adding landscaping at park entrances for larger regional parks, introducing more public art, creating an adopt a park/planter program, and hosting community clean-up events.

Schoenike commented that there are definitely amenities that go unused, such as the boat launch at Riverside Park and the kayak launch at Trestle Park.

Avanzi commended staff for their work and Director Kittel for his presentation on the document. He stated that he would support whatever the rest of the Plan Commission was wanting to do.

Feller made a motion to recommend adoption of the 2025-2030 Comprehensive Outdoor Recreation Plan to the Common Council. Seconded by Jensen. The motion passed unanimously.

c. Revised Site Plan Review – 101 Kelso Road (CoVantage)

Associate Planner Nelson introduced the revised site plan for the new CoVantage building to be located at 101 Kelso Road. The original plan was approved by the Plan Commission on May 22, 2025. In order to address items brought forth by the Wisconsin ANR during the wetland permitting process, however, a revised plan was submitted. No changes were made to the driveways, the north parking lot, or the location of the

building. Changes have been made to the location of the drive through, solar panels, and gravel path.

Thiele made a motion to approve the revised site plan with the condition that, prior to issuance of building permits, updated Stormwater and Erosion Control permits are obtained from the Engineering Department. Seconded by Schoenike. The motion passed unanimously.

d. Façade Variance Request – 1020 W Hyland Avenue (GE Contracting) Director Kittel introduced the façade variance request made by GE Contracting for the construction of their new vehicle storage garage at 1020 W Hyland Avenue. The property is zoned Commercial Highway District (CHD) and, per ordinance, the façade must have a minimum of 10% masonry on any side facing a public street. This requirement has already been discussed with the applicant, and they plan to add a knee-high masonry component to the side of their building that faces a public street. They are requesting a variance, however, to allow for the use of metal siding in the façade. Per ordinance, up to 10% of the façade of the building may be metal if approved by the Plan Commission. The applicant wants to use steel siding for a façade because it doubles as a structural component, allows for a stronger building, and helps keep down construction costs. There have been other buildings in the CHD approved and constructed with entirely metal siding. If the Plan Commission were to approve the 10% metal façade, the applicant would go to the Board of Appeals as well to obtain a variance allowing for a fully metal façade (aside from the 10% masonry on the side of the building facing a public street).

Neumeier commented that, in this area of the city, concrete and masonry is used heavily. Metal would appear out of place. He would lean towards following all ordinance requirements and not allowing for a variance.

Mayor Penterman agreed with Neumeier

Thiele noted that these façade ordinances were created for a reason, and that there are residential homes in this area. The ordinances should be followed.

Feller agreed, commenting that there is no reason to have ordinances if they are being bypassed.

Jensen stated that the ordinance should be followed, and that the 10% masonry component should be included in the plans moving forward.

Neumeier made a motion to direct Director Kittel to inform the applicant that the Plan Commission will not support anything outside of the existing ordinance and to return with a new plan. Seconded by Feller. The motion passed unanimously.

5. Other Business

a. None

6. Adjourn

Jensen made a motion to adjourn the meeting. Seconded by Thiele. Motion passed unanimously. The meeting adjourned at 4:35 p.m.





MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: August 19, 2025
Re: CSM Review – 1601 E Hyland Avenue (Parcel 322072914)

Brandon Wegner, agent, has submitted a certified survey map for Bernatello's Pizza, owner, for their property located at 1601 E Hyland Avenue (parcel 322072914). A CSM was completed and approved for this property on November 17th, 2022, by the [Plan Commission](#), but it was never recorded. Bernatello's now wants to move forward with recording that original CSM. The property is currently one lot and it will be remaining one lot, but this CSM simplifies the legal description and includes greater details on existing easements.

A draft of the CSM, the submitted application, and draft resolution are attached to this memo.

Recommendation:

Approval of the Certified Survey Map for parcel 322072914 for Bernatello's Pizza.

CERTIFIED SURVEY MAP

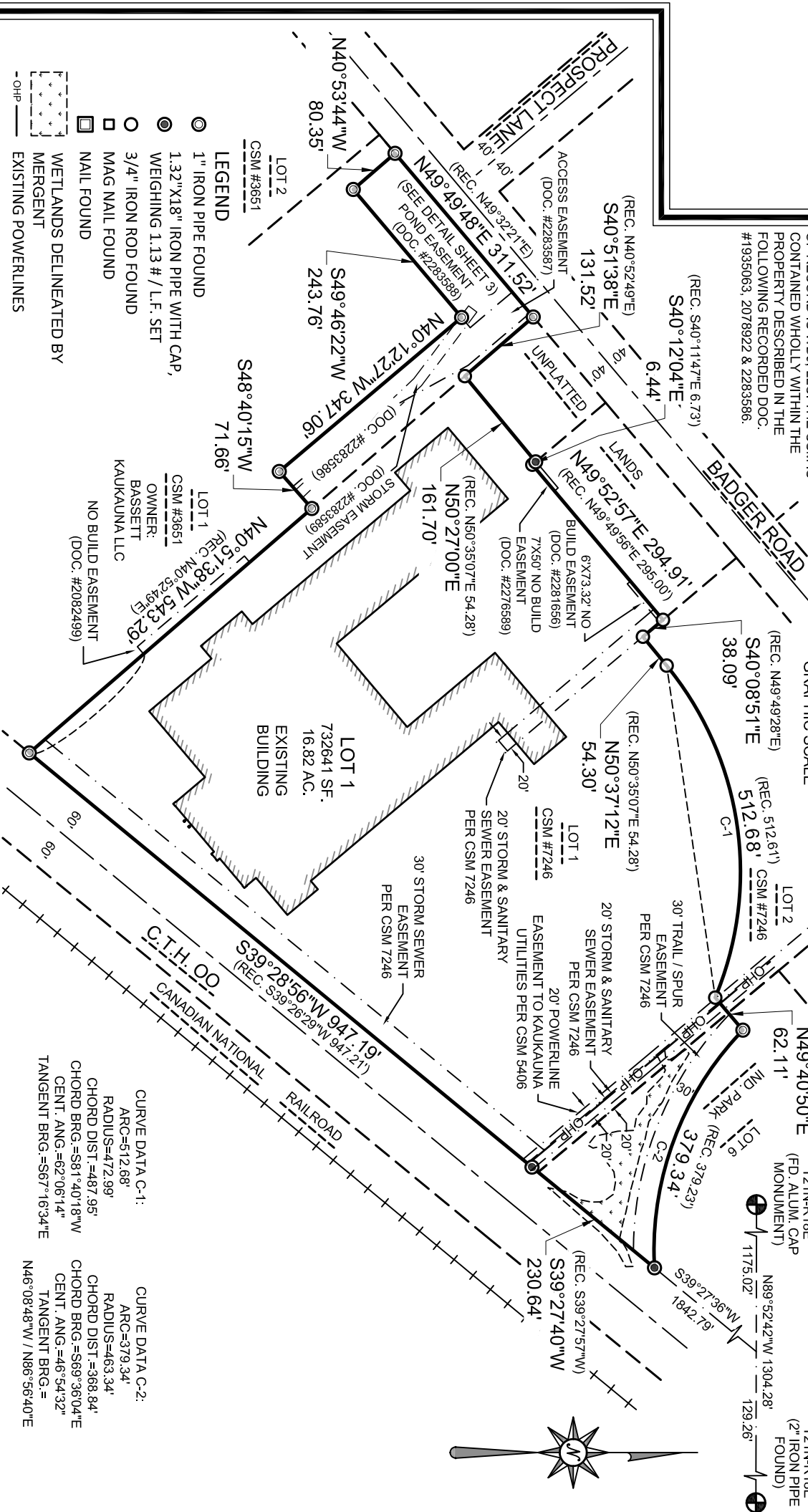
PART OF LOT 1 OF VOLUME 19, CERTIFIED SURVEY MAPS, PAGE 3651 (MAP #3651-DOCUMENT #1352573) AND ALL OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246 (MAP #7246-DOCUMENT #2082961), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF PRIVATE CLAIMS 33 AND 34, T21N-R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

NOTES:
THIS CSM IS ALL OF TAX PARCEL #322072914. THE PROPERTY OWNER OF RECORD IS WDI, LLC. THE CSM IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED DOC. #1935063, 2078922 & 2283586.



NORTH IS REFERENCED TO THE NORTH LINE OF GOVT LOT 1, SEC. 13, T21N-R18E, WHICH BEARS N89°52'42"W. THIS MAP IS BASED ON THE CURRENT COUNTY COORDINATE SYSTEM OF RECORD.

NW CORNER GOVT LOT 1 SECTION 13, T21N-R18E (FD. ALUM. CAP MONUMENT)
NE CORNER SECTION 13, T21N-R18E (2" IRON PIPE FOUND)



- LEGEND
- 1" IRON PIPE FOUND
 - 1.32" X18" IRON PIPE WITH CAP, WEIGHING 1.13 # / L.F. SET
 - 3/4" IRON ROD FOUND
 - MAG NAIL FOUND
 - NO BUILD EASEMENT (DOC. #2082499)
 - WETLANDS DELINEATED BY MERGENT
 - EXISTING POWERLINES

CURVE DATA C-1:
ARC=612.68'
RADIUS=472.99'
CHORD DIST.=487.95'
CHORD BRG.=S81°40'18"W
CENT. ANG.=62°06'14"
TANGENT BRG.=S67°16'34"E

CURVE DATA C-2:
ARC=379.34'
RADIUS=463.34'
CHORD DIST.=368.84'
CHORD BRG.=S69°36'04"E
CENT. ANG.=46°54'32"
TANGENT BRG.=

CERTIFIED SURVEY MAP

PART OF LOT 1 OF VOLUME 19, CERTIFIED SURVEY MAPS, PAGE 3651 (MAP #3651-DOCUMENT #1352573) AND ALL OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246 (MAP #7246-DOCUMENT #2082961), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF PRIVATE CLAIMS 33 AND 34, T21N-R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, RANDALL J. OETTINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED PART OF LOT 1 OF VOLUME 19, CERTIFIED SURVEY MAPS, PAGE 3651 (MAP #3651-DOCUMENT #1352573) AND ALL OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246 (MAP #7246-DOCUMENT #2082961), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF PRIVATE CLAIMS 33 AND 34, T21N-R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246; THENCE S39°27'36"W, 219.07 FEET ALONG THE WESTERLY RIGHT OF WAY OF C.T.H. OO (A.K.A HYLAND AVENUE); THENCE S39°28'56"W, 958.76 FEET ALONG SAID RIGHT OF WAY; THENCE N40°51'38"W, 543.30 FEET ALONG THE SOUTH LINE OF SAID LOT 1; THENCE S48°40'15"W, 71.66 FEET ALONG DOCUMENT #2283586; THENCE N40°12'27"W, 347.06 FEET ALONG SAID DOCUMENT; THENCE S49°46'22"W, 243.76 FEET ALONG SAID DOCUMENT; THENCE N40°53'44"W, 80.35 FEET ALONG SAID DOCUMENT TO THE SOUTHEASTERLY RIGHT OF WAY OF BADGER ROAD; THENCE N49°49'48"E, 311.52 FEET ALONG SAID RIGHT OF WAY; THENCE S40°51'38"E, 131.52 FEET ALONG SAID LOT 1; THENCE N50°27'00"E, 161.70 FEET ALONG SAID LOT 1; THENCE S40°12'04"E, 6.44 FEET ALONG SAID LOT 1; THENCE N49°52'57"E, 294.91 FEET ALONG SAID LOT 1; THENCE S40°08'51"E, 38.09 FEET ALONG SAID LOT 1; THENCE N50°37'12"E, 54.30 FEET ALONG SAID LOT 1; THENCE 512.68 FEET ALONG SAID LOT BEING THE ARC OF A 472.99 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS N81°40'19"E, 487.95 FEET; THENCE N49°40'50"E, 62.11 FEET ALONG SAID LOT 1; THENCE 379.34 FEET ALONG SAID LOT 1 BEING THE ARC OF A 463.34 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS S69°36'04"E, 368.84 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 732,641 SQ. FT. \ 16.82 ACRES OF LAND, MORE OR LESS.
SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEY AND THE DIVISION THEREOF. THAT I HAVE MADE SUCH A SURVEY AND PLAT BY THE DIRECTION OF THE OWNERS LISTED HEREON. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236, SECTION 236.34 OF THE WISCONSIN STATUTES, THE CITY OF KAUKAUNA AND OUTAGAMIE COUNTY DEVELOPMENT AND LAND SERVICES IN SURVEYING AND MAPPING THE SAME.

ANDREW S. CLEVELAND PLS-2787
JULY 30, 2025

TREASURER'S CERTIFICATE

WE, DULY ELECTED TREASURERS OF OUTAGAMIE COUNTY AND THE CITY OF KAUKAUNA, DO HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED IN THIS SUBDIVISION PLAT AS OF THE DATE LISTED BELOW.

OUTAGAMIE COUNTY - TREASURER DATE

CITY OF KAUKAUNA - TREASURER DATE

CITY COUNCIL APPROVAL CERTIFICATE

RESOLVED, THAT THIS CERTIFIED SURVEY MAP IN THE CITY OF KAUKAUNA, OUTAGAMIE COUNTY IS HEREBY APPROVED BY THE CITY COUNCIL OF THE CITY OF KAUKAUNA, DATED THIS ____ DAY OF _____, 2022.

CITY OF KAUKANA,
AUTHORIZED REPRESENTATIVE



CLIENT: BERNATELLO'S PIZZA
DRAFTED BY: RJO
TAX PARCEL NO.: 322072914

SCALE:

SHEET: 2 OF 3
PROJECT NO. 1771-01-20
DRAWING NO. 1732

CERTIFIED SURVEY MAP

PART OF LOT 1 OF VOLUME 19, CERTIFIED SURVEY MAPS, PAGE 3651 (MAP #3651-DOCUMENT #1352573) AND ALL OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246 (MAP #7246-DOCUMENT #2082961), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF PRIVATE CLAIMS 33 AND 34, T21N-R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN

LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE

WDJ LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED AND MAPPED AS REPRESENTED HEREON. WDJ LLC DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE CITY OF KAUKAUNA PLANNING AND DEVELOPMENT DEPARTMENT FOR APPROVAL OR OBJECTION IN ACCORDANCE WITH CURRENT LAND SUBDIVISION ORDINANCES.

IN WITNESS WHEREOF, THE SAID WDJ LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, ITS MEMBER, ON THIS ____ DAY OF _____, 20__.

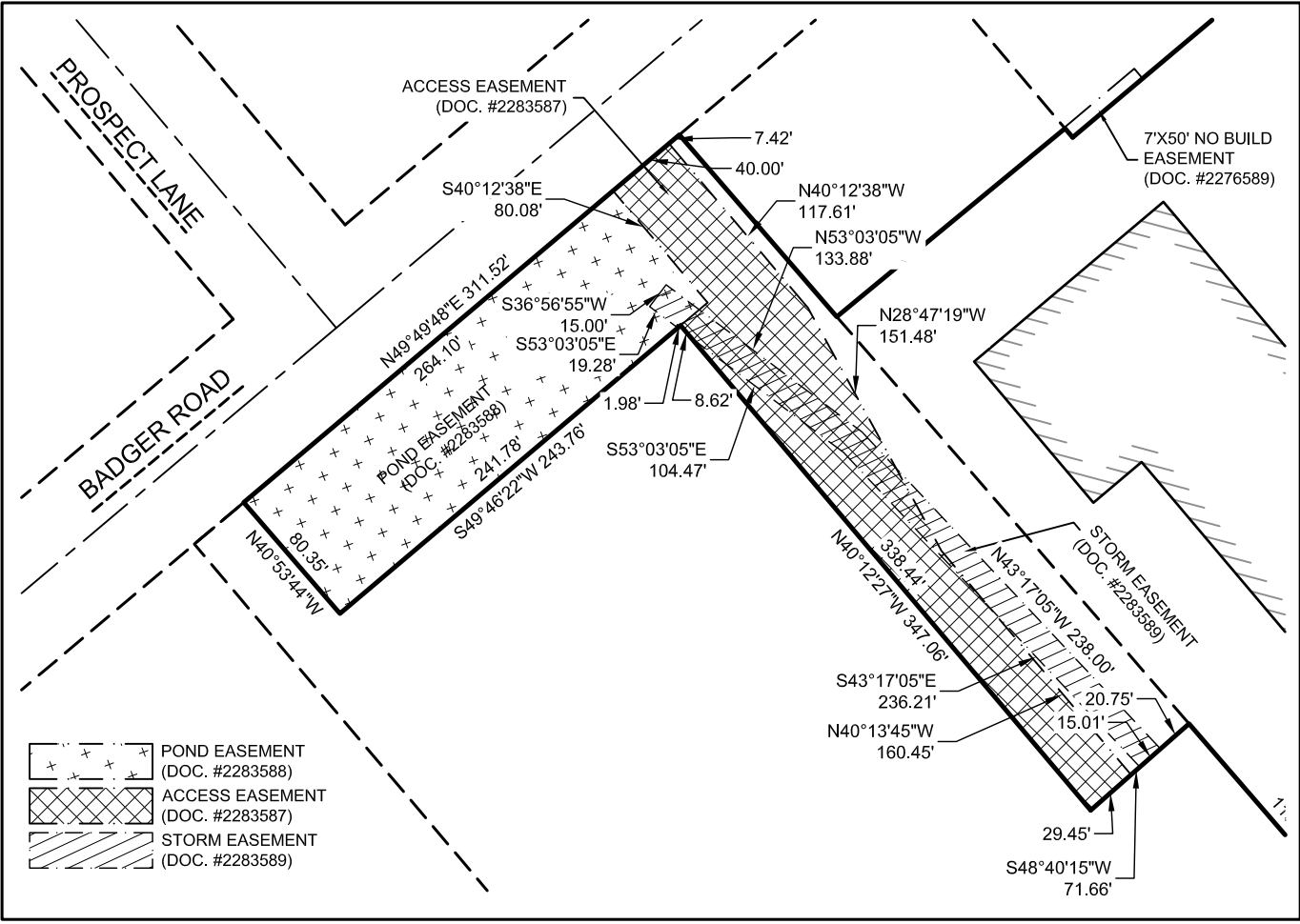
MEMBER

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20__, THE ABOVE NAMED MEMBER OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBER AS THE DEED OF SAID LIMITED LIABILITY COMPANY, BY ITS AUTHORITY.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF MINNESOTA]
] SS
COUNTY OF _____]

EASEMENT DETAIL (NOT TO SCALE)



CLIENT: BERNATELLO'S PIZZA
DRAFTED BY: RJO
TAX PARCEL NO.: 322072914

SCALE:

SHEET: 3 OF 3
PROJECT NO. 1771-01-20
DRAWING NO. 1732



APPLICATION: CERTIFIED SURVEY MAP REVIEW FORM

To: Planning Commission, City of Kaukauna, Outagamie County, WI

Petitioner Information:

Name: Brandon Wegner

Mailing Address: 2260 Salscheider Court, Green Bay, WI 54313

Phone Number: 920-621-4105

Email: bwegner@mach-iv.com

Property Owner Information (If Not Petitioner):

Name: WDJ LLC (Bernatello's Pizza)

Mailing Address: 1601 E Hyland Ave, Kaukauna, WI 54130

Phone Number: 920-766-9930

Email: jwoehl@bernatellos.com

Property Information:

Site Address/Location: 1601 E. Hyland Ave, Kaukauna, WI 54130

Lot Dimensions and Area: 732,641 SF / 16.82 AC

Current Zoning: JPD

Number of Lots to be Created: 1

If multiple owners are involved, please add all additional owner information on an attached document.

Please State Reason(s) for Certified Survey Map Review Request:

The CSM was originally completed to combine the separate parcels into 1. The CSM went through review and was held up during recording with the county because of tax reasons. Since then the lots have been combined but we would like to move forward with the CSM process to clean up the legal description.

Additional Requirements: For Certified Survey Map review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines, and streets with distances to each. Maps should be drawn to a scale of not less than 1":1,000'. Additional information may also be requested as may be appropriate per the proposal being made.

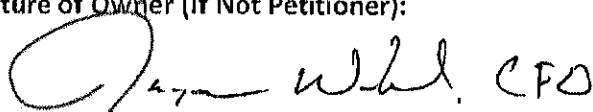
Lot Division by Certified Survey Map (1-4 lots) Fee Schedule: \$10.00/lot based on total lots

Please Note: Certified survey map reviews often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

Signature of Petitioner:



Signature of Owner (If Not Petitioner):



Date Submitted to City of Kaukauna:

8-21-25

Please submit by email to planning@kaukauna.gov or by mail to:

City of Kaukauna

Attn: Plan Commission

P.O. Box 890

Kaukauna, WI 54130

FOR DEPARTMENT USE ONLY:

Date Application Received:

Payment Received:

Payment Receipt #:

Site Plan Reviewed:

1st Notice Sent:

2nd Notice Sent:

Plan Commission Approval:

Common Council Approval:

Signature of Planning & Community Dev. Staff:

RESOLUTION 2025-_____**RESOLUTION APPROVING A CERTIFIED SURVEY MAP FOR PARCEL 322072914**

WHEREAS, WDJ LLC (DBA Bernatello's Pizza Inc.) as owner of Parcel 322111500 has presented a Certified Survey Map to the City of Kaukauna Common Council as prepared by Randall J. Oettinger, a registered Land Surveyor; and

WHEREAS, a Certified Survey Map of the following described parcel of land has been presented to and recommended for approval by the Plan Commission:

BEGINNING AT THE NORTHEAST CORNER OF LOT 1 OF VOLUME 43, CERTIFIED SURVEY MAPS, PAGE 7246; THENCE S39°27'36"W, 219.07 FEET ALONG THE WESTERLY RIGHT OF WAY OF C.T.H. 00 (A.K.A HYLAND AVENUE); THENCE S39°28'56"W, 958.76 FEET ALONG SAID RIGHT OF WAY; THENCE N40°51'38"W, 543.30 FEET ALONG THE SOUTH LINE OF SAID LOT 1; THENCE S48°40'15"W, 71.66 FEET ALONG DOCUMENT #2283586; THENCE N40°12'27"W, 347.06 FEET ALONG SAID DOCUMENT; THENCE S49°46'22"W, 243.76 FEET ALONG SAID DOCUMENT; THENCE N40°53'44"W, 80.35 FEET ALONG SAID DOCUMENT TO THE SOUTHEASTERLY RIGHT OF WAY OF BADGER ROAD; THENCE N49°49'48"E, 311.52 FEET ALONG SAID RIGHT OF WAY; THENCE S40°51'38"E, 131.52 FEET ALONG SAID LOT 1; THENCE N50°27'00"E, 161.70 FEET ALONG SAID LOT 1; THENCE S40°12'04"E, 6.44 FEET ALONG SAID LOT 1; THENCE N49°52'57"E, 294.91 FEET ALONG SAID LOT 1; THENCE S40°08'51"E, 38.09 FEET ALONG SAID LOT 1; THENCE N50°37'12"E, 54.30 FEET ALONG SAID LOT 1; THENCE 512.68 FEET ALONG SAID LOT BEING THE ARC OF A 472.99 FOOT RADIUS CURVE TO THE RIGHT WHOSE LONG CHORD BEARS N81°40'19"E, 487.95 FEET; THENCE N49°40'50"E, 62.11 FEET ALONG SAID LOT 1; THENCE 379.34 FEET ALONG SAID LOT 1 BEING THE ARC OF A 463.34 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS S69°36'04"E, 368.84 FEET TO THE POINT OF BEGINNING.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kaukauna, Wisconsin that the said Certified Survey Map attached and made a part hereof is hereby accepted and approved.

Adopted by the Common Council of the City of Kaukauna, Wisconsin, on this 16 day of September, 2025.

APPROVED: _____
Anthony J. Penterman, Mayor

ATTEST: _____
Kayla Nessman, City Clerk



MEMO

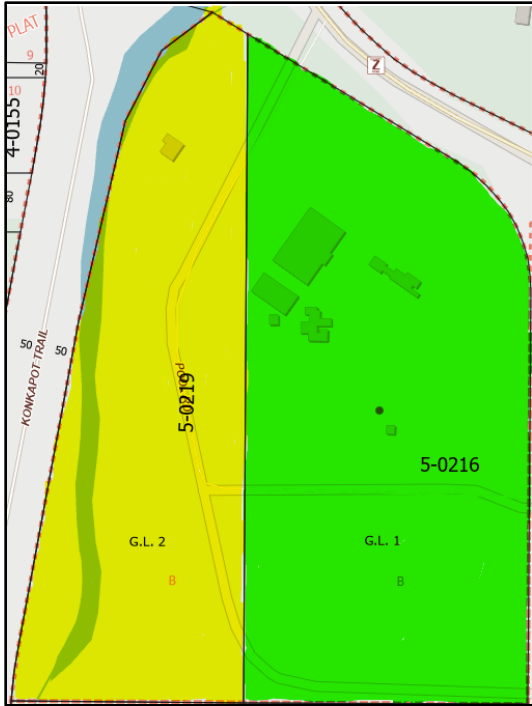
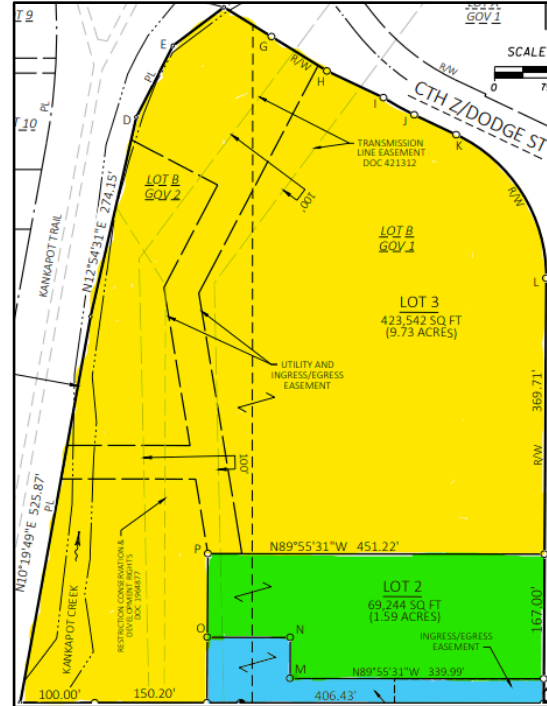
PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: August 21, 2025
Re: CSM Review – Parcels 325021600 and 325021900 (Pool Hill)

Zach Moureau, agent, has submitted a certified survey map for Kaukauna Utilities, to create three lots from parcels 325021600 and 325021900. Kaukauna Utilities would like to subdivide these existing parcels into three lots in order to accommodate the development of a water treatment plant that was approved by the [Plan Commission on March 6th, 2025](#).

A draft of the CSM and resolution are attached to this report. The current map and proposed map are shown below for additional detail/clarification of the proposed CSM.



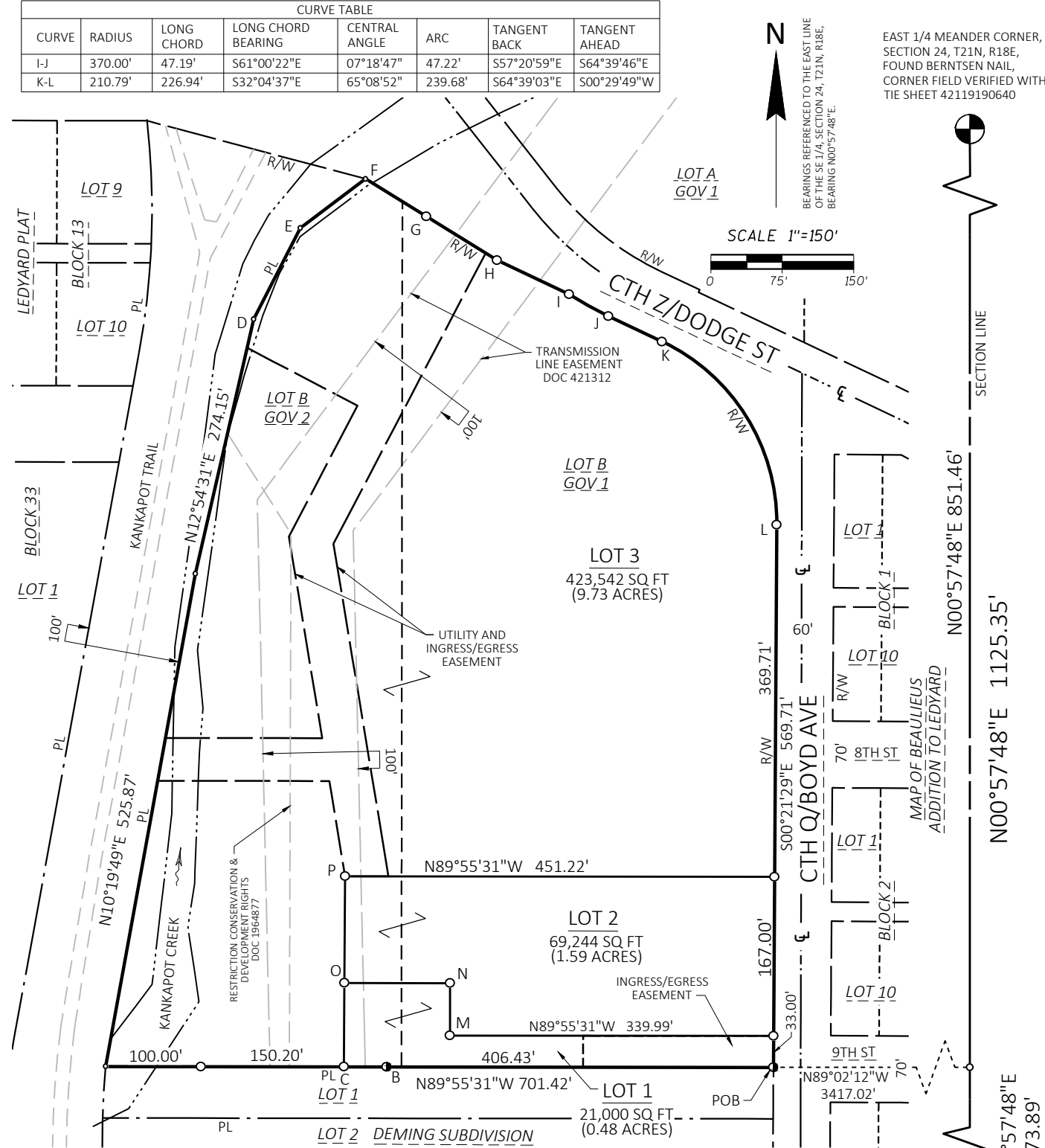
Current:Proposed**Recommendation:**

Approval of the Certified Survey Map creating three lots for Kaukauna Utilities.



OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. _____
RECORDED IN VOL. _____ OF CERTIFIED SURVEY MAPS PAGE _____
PART OF LOT B, GOV LOT 1 AND PART OF LOT B, GOV LOT 2, LOCATED IN
SECTION 22, T21N, R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY,
WISCONSIN.

CURVE TABLE							
CURVE	RADIUS	LONG CHORD	LONG CHORD BEARING	CENTRAL ANGLE	ARC	TANGENT BACK	TANGENT AHEAD
I-J	370.00'	47.19'	S61°00'22"E	07°18'47"	47.22'	S57°20'59"E	S64°39'46"E
K-L	210.79'	226.94'	S32°04'37"E	65°08'52"	239.68'	S64°39'03"E	S00°29'49"W



○ ...SET 3/4" X 18" IRON REBAR (WEIGHING 1.502 LBS/LF)

● ...FOUND 3/4" IRON REBAR

⊙ GOVERNMENT CORNER

⊙ ...MONUMENT (AS NOTED)

⊙ ...COMPUTED POINT

() ...RECORDED AS

ACRES ...ACRES

BUILDING ...BUILDING

REBAR ...REINFORCING BAR

R/W ...RIGHT-OF-WAY

LF ...LINEAR FOOT

POB ...POINT OF BEGINNING

DOC ...DOCUMENT

T28N ...TOWNSHIP NORTH

R13W ...RANGE WEST

VOL ...VOLUME

PG ...PAGE

SQ FT ...SQUARE FEET

OD ...OUTSIDE DIAMETER

LBS ...POUNDS

...NUMBER

MOS ...MAP OF SURVEY

CL ...CENTERLINE

--- 1/4 LINE

--- PROPERTY LINE

--- LOT LINE

--- CENTER LINE

--- R/W LINE

--- EASEMENT

--- WATER EDGE

--- TRAIL

— OH — ...OVERHEAD LINES

LEGEND

SURVEYOR'S NOTES:

THE INGRESS/EGRESS EASEMENT ON LOT 1 AND THE UTILITY AND INGRESS/EGRESS EASEMENT ON LOT 3 ARE FOR THE BENEFIT OF LOT 2. THE TERMS AND CONDITIONS OF THESE EASEMENTS WILL BE SET OUT IN SEPARATELY RECORDED EASEMENT AGREEMENTS.

A TITLE SEARCH WAS NOT COMPLETED FOR THIS SURVEY.

THE RECORDING OF A CERTIFIED SURVEY MAP DOES NOT TRANSFER OWNERSHIP. DEEDS MUST ALSO BE EXECUTED TO COMPLETE THIS LAND DIVISION.

FIELD SURVEY COMPLETED: 11/8/2024

SOUTHEAST CORNER, SECTION 24, T21N, R18E, FOUND 7" X 7" STONE, CORNER FIELD VERIFIED WITH TIE SHEET 42119190040

PREPARED FOR:
CITY OF KAUKAUNA
144 W 2ND STREET
KAUKAUNA, WI 54130

PREPARED BY:
NEIL C. BOWE, PLS 2827
CBS² INC.
770 TECHNOLOGY WAY
CHIPPEWA FALLS, WI 54729

OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. _____

RECORDED IN VOL. _____ OF CERTIFIED SURVEY MAPS PAGE _____

PART OF LOT B, GOV LOT 1 AND PART OF LOT B, GOV LOT 2, LOCATED IN SECTION 22, T21N, R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, NEIL C. BOWE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED PART OF LOT B GOV LOT 1 AND PART OF LOT B, GOV LOT 2, LOCATED IN SECTION 22, T21N, R18E, CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T21N, R18E; THENCE N00°57'48"E, ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 24, A DISTANCE OF 273.89 FEET; THENCE N89°02'12"W, 3417.02 FEET TO THE WESTERLY RIGHT OF WAY OF BOYD AVE, BEING THE POINT OF BEGINNING; THENCE N89°55'31"W, ALONG THE NORTH LINE OF LOT 1, DEMING SUBDIVISION PLAT, A DISTANCE OF 701.42 FEET TO THE EASTERLY RIGHT-OF- WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY); THENCE N10°19'49"E, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 525.87 FEET; THENCE N12°54'31"E, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 274.15 FEET; THENCE N27°05'12"E, CONTINUING ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 107.45 FEET; THENCE N52°59'01"E, CONTINUING ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 85.80 FEET, TO THE SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST; THENCE S58°17'29"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 162.44 FEET; THENCE S64°39'03"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 83.60 FEET; THENCE 47.22 FEET, ALONG THE ARC OF A CURVE TO THE LEFT AND CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, CONCAVE TO THE NORTH, HAVING A RADIUS OF 370.00 FEET, THE LONG CHORD OF WHICH BEARS S61°00'22"E, 47.19 FEET; THENCE S64°39'03"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 62.46 FEET; THENCE 239.68 FEET, ALONG THE ARC OF A CURVE TO THE RIGHT AND ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST AND WESTERLY RIGHT OF WAY LINE OF CTHQ/BOYD AVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 210.79 FEET, THE LONG CHORD OF WHICH BEARS S32°04'37"E, 226.94 FEET; THENCE S00°21'29"W, ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 569.71 FEET, TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 513,786 SQUARE FEET (11.80 ACRES), MORE OR LESS.

SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND WATER LAWS THAT EXIST THROUGH UNRECORDED MEANS OR BY RECORD.

THAT I HAVE MADE SUCH A SURVEY AT THE DIRECTION OF CITY OF KAUKAUNA.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF s.236.34 OF THE WISCONSIN STATUTES, A-E 7 WI ADMINISTRATIVE CODE AND THE SUBDIVISION CONTROL ORDINANCE FOR THE CITY OF KAUKAUNA, OUTAGAMIE COUNTY IN SURVEYING, DIVIDING AND MAPPING THE SAME..

I, NEIL C. BOWE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NEIL C. BOWE, PLS
S-2827

DATE

CITY COUNCIL APPROVAL CERTIFICATE

RESOLVED, THAT THIS CERTIFIED SURVEY MAP LOCATED IN THE CITY OF KAUKAUNA, OUTAGAMIE COUNTY IS HEREBY APPROVED BY THE CITY COUNCIL OF THE CITY OF KAUKAUNA, DATED THIS ____ DAY OF _____, 2025.

DAVID KITTEL
DIRECTOR OF PLANNING & COMMUNITY DEVELOPMENT

DATE

TREASURER'S CERTIFICATE

WE, DULY ELECTED TREASURERS OF OUTAGMIE COUNTY AND THE CITY OF KAUKAUNA, DO HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDING IN THIS CERTIFIED SURVEY MAP AS OF THE DATE LISTED BELOW.

OUTAGAMIE COUNTY - TREASURER

DATE

CITY OF KAUKAUNA - TREASURER

DATE

COURSE TABLE		
POINTS	DIRECTION	DISTANCE
B-C	N89°55'31"W	44.79'
D-E	N27°05'12"E	107.45'
E-F	N52°59'01"E	85.80'
F-H	S58°17'29"E	162.44'
F-G	S58°17'29"E	75.00'
G-H	S58°17'29"E	87.44'
H-I	S64°39'03"E	83.60'
J-K	S64°39'03"E	62.46'
M-N	N00°04'29"E	55.00'
N-O	N89°55'31"W	110.96'
P-C	S00°21'29"W	200.00'
P-O	S00°21'29"W	112.00'
O-C	S00°21'29"W	88.00'



PREPARED FOR:
CITY OF KAUKAUNA
144 W 2ND STREET
KAUKAUNA, WI 54130

PREPARED BY:
NEIL C. BOWE, PLS 2827
CBS² INC.
770 TECHNOLOGY WAY
CHIPPEWA FALLS, WI 54729

RESOLUTION 2025-_____

RESOLUTION APPROVING A CERTIFIED SURVEY MAP TO DIVIDE TWO LOTS INTO THREE LOTS FOR PARCELS 325021600 AND 325021900

WHEREAS, Kaukauna Utilities has presented a Certified Survey Map to the City of Kaukauna Common Council for parcels 325021600 and 325021900 as prepared by Neil C. Bowe, a registered Land Surveyor; and

WHEREAS, a Certified Survey Map of the following described parcel of land has been presented to and recommended for approval by the Plan Commission:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 24, T21N, R18E; THENCE N00°57'48"E, ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 24, A DISTANCE OF 273.89 FEET; THENCE N89°02'12"W, 3417.02 FEET TO THE WESTERLY RIGHT OF WAY OF BOYD AVE, BEING THE POINT OF BEGINNING; THENCE N89°55'31"W, ALONG THE NORTH LINE OF LOT 1, DEMING SUBDIVISION PLAT, A DISTANCE OF 701.42 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY); THENCE N10°19'49"E, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 525.87 FEET; THENCE N12°54'31"E, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 274.15 FEET; THENCE N27°05'12"E, CONTINUING ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 107.45 FEET; THENCE N52°59'01"E, CONTINUING ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE OF THE KANKAPOT TRAIL (FORMERLY RAILROAD PROPERTY), A DISTANCE OF 85.80 FEET, TO THE SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST; THENCE S58°17'29"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 162.44 FEET; THENCE S64°39'03"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 83.60 FEET; THENCE 47.22 FEET, ALONG THE ARC OF A CURVE TO THE LEFT AND CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, CONCAVE TO THE NORTH, HAVING A RADIUS OF 370.00 FEET, THE LONG CHORD OF WHICH BEARS S61°00'22"E, 47.19 FEET; THENCE S64°39'03"E, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 62.46 FEET; THENCE 239.68 FEET, ALONG THE ARC OF A CURVE TO THE RIGHT AND ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF DODGE ST AND WESTERLY RIGHT OF WAY LINE OF CTHQ/BOYD AVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 210.79 FEET, THE LONG CHORD OF WHICH BEARS S32°04'37"E, 226.94 FEET; THENCE S00°21'29"W, ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF DODGE ST, A DISTANCE OF 569.71 FEET, TO THE POINT OF BEGINNING.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Kaukauna, Wisconsin that the said Certified Survey Map attached and made a part hereof is hereby accepted and approved.

Adopted by the Common Council of the City of Kaukauna, Wisconsin, on this 16 day of September, 2025.

APPROVED: _____

Anthony J. Penterman, Mayor

ATTEST: _____

Kayla Nessman, City Clerk



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: August 27, 2025
Re: Site Plan Review – Bassett Mechanical (1215 Hyland Avenue)

Bassett Mechanical is a design and manufacturing business for industrial refrigeration, HVAC, plumbing, business automation and controls, metal fabricating, and service solutions. This project will add an additional 12,342 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial Park District (IPD) are being met and all ordinances are being complied with to include zoning requirements. The current Bassett Mechanical building has a height of 26' and the height of the addition will be the same. There are currently 336 off-street parking spaces.

Landscape: [17.52 Landscaping Requirements](#)

There are ten canopy trees located on the property. There are no plans to remove these during the construction process. Landscaping requirements are being met.

Lighting:

Fully shielded light fixtures will be added to points of ingress/egress to the addition.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has received approval from the Engineering Department.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns noted from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development as presented.





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: <input checked="" type="checkbox"/> Kim Bassett , Bassett Kaukauna LLC	Name: Same
Mailing Address: 1215 E. Hyland Avenue, Kaukauna, WI 54130	Mailing Address:
Phone: <input checked="" type="checkbox"/> 920-462-1850 (Adam Kloehn)	Phone:
Email: <input checked="" type="checkbox"/> c/o adam.kloehn@bassettmechanical.com	Email:

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: The project consists of a 12,342 sq. ft. building addition on the northwest side of the existing building.	
Property Parcel (#): 322073100	
Site Address/Location: 1215 E. Hyland Avenue	
Current Zoning and Use: Industrial Park District (IPD); Shop and office space for a mechanical contracting business.	
Proposed Zoning and Use: Same	
Existing Gross Floor Area of Building: 265,350 sf +/-	Proposed Gross Floor Area of Building: 277,692 +/- sf +/-
Existing Building Height: 26' Above Existing First Floor	Proposed Building Height: Same
Existing Number of Off-Street Parking Spaces: 336 +/-	Proposed Number of Off-Street Parking Spaces: 336 +/-
Existing Impervious Surface Coverage Percentage: 85.1% +/-	Proposed Impervious Surface Coverage Percentage: 85.1% +/-

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

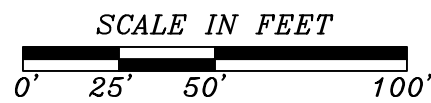
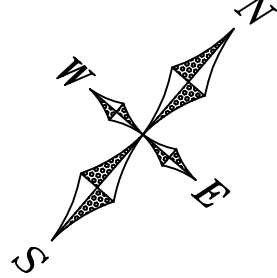
Owner/Agent Signature: ☒ 

Owner/Agent Name (printed): ☒ **KIM BASSETT**

CITY OF KAUKAUNA

144 W 2nd Street
Kaukauna, WI 54130

920.766.6300
kaukauna.gov



PROJECT INFORMATION

PROJECT DESCRIPTION
102' X 121' (12,342 S.F.)
BUILDING ADDITION

OWNER
BASSETT KAUKAUNA LLC
1215 E HYLAND AVE.
KAUKAUNA, WI 54130
CONTACT: ADAM KLOEHN
920-462-1850

PARCEL NOS.
322073100

LEGAL DESCRIPTION
PART LOT 1, CERTIFIED SURVEY MAP NO.
3651, CITY OF KAUKAUNA, OUTAGAMIE
COUNTY, WISCONSIN

LOT SIZE
896,127 S.F. (20.57 AC)

PARCEL ZONING
INDUSTRIAL PARK DISTRICT (IPD)

ZONING ORDINANCE SETBACKS
FRONT YARD SETBACK: 50'
SIDE YARD SETBACK: 10' (30' AGGREGATE)
REAR YARD SETBACK: 25'

PROPOSED USES
SHOP & OFFICE SPACE FOR A
MECHANICAL CONTRACTING BUSINESS

LOT COVERAGE (PER AIR PHOTOS)

	EXISTING	CHANGE	NEW TOTAL	% OF SITE
BUILDINGS	265,350 S.F.	+12,342 S.F.	277,692 S.F.	31%
PAVEMENT/CONCRETE	497,355 S.F.	-12,342 S.F.	485,013 S.F.	54.1%
IMPERVIOUS	762,705 S.F.	+0.00 S.F.	762,705 S.F.	85.1%
OPEN SPACE	133,422 S.F.	-0.00 S.F.	133,422 S.F.	14.9%
TOTAL	896,127 S.F.	0 S.F.	896,127 S.F.	100%

PARKING

EXISTING: 336 SPACES ±
PROPOSED: 336 SPACES ± (NO CHANGE)

INDEX

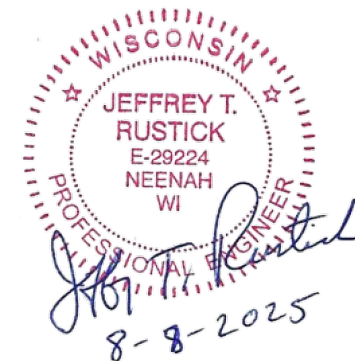
- C1.1 - Site Plan
C1.2 - Drainage - Grading - Erosion Control Plan

PLAN PREPARED BY:
SCHULER & ASSOCIATES, INC
2711 N. MASON STREET, SUITE F
(920) 734-9107
PROJECT NO. 25-4857



800-642-6774
www.1call2build.com
Appleton, WI Columbus, WI
Rapid City, SD Bismarck, ND
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STAMPS



SITE PLAN

BASSETT MECHANICAL 2025
KAUKAUNA, WI

ISSUED FOR REVIEW:
8-8-2025

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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DRAWN BY: MJF

PROJECT #:

C1.1

SHEET TITLE
SITE PLAN

STAMPS

DRAINAGE - GRADING- EROSION CONTROL PLAN

BASSETT MECHANICAL
KAUKAUNA, WI

ISSUED FOR REVIEW:
8-8-2025

ISSUED FOR BID:

ISSUED FOR PERMIT:

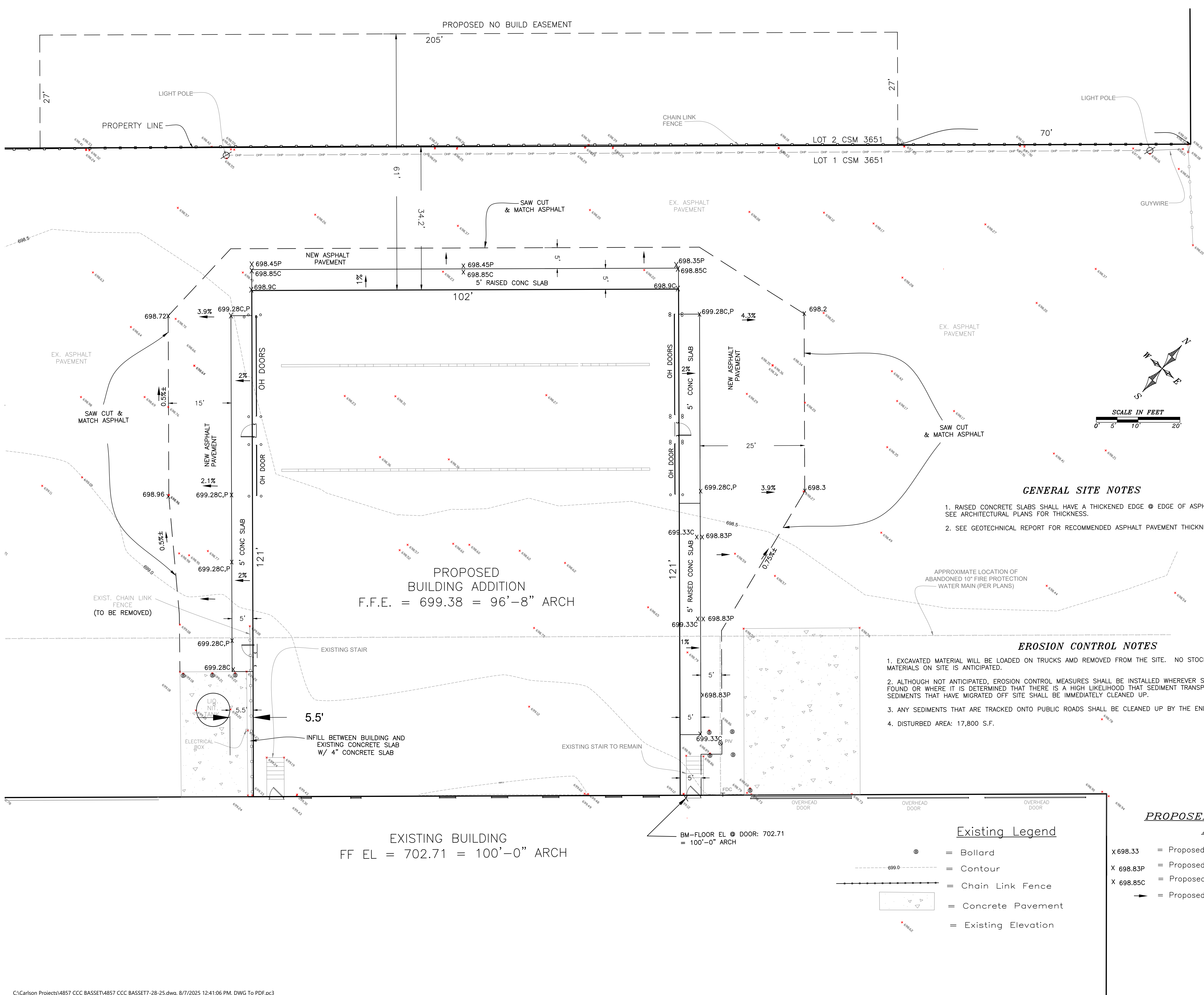
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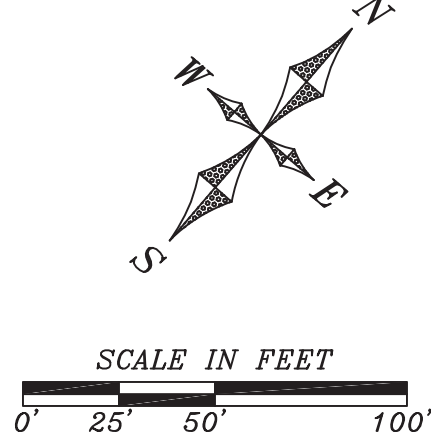
ISSUED REVISIONS

Revision	Date	Rev. Description
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DRAWN BY: MJF

PROJECT #:

C102SHEET TITLE
SITE PLAN



PROJECT INFORMATION

PROJECT DESCRIPTION
102' X 121' (12,342 S.F.)
BUILDING ADDITION

OWNER
BASSETT KAUKAUNA LLC
1215 E HYLAND AVE.
KAUKAUNA, WI 54130
CONTACT: ADAM KLOEHN
920-462-1850

PARCEL NOS.
322073100

LEGAL DESCRIPTION
PART LOT 1, CERTIFIED SURVEY MAP NO.
3651, CITY OF KAUKAUNA, OUTAGAMIE
COUNTY, WISCONSIN

LOT SIZE
896,127 S.F. (20.57 AC)

PARCEL ZONING
INDUSTRIAL PARK DISTRICT (IPD)

ZONING ORDINANCE SETBACKS
FRONT YARD SETBACK: 50'
SIDE YARD SETBACK: 10' (30' AGGREGATE)
REAR YARD SETBACK: 25'

PROPOSED USES
SHOP & OFFICE SPACE FOR A
MECHANICAL CONTRACTING BUSINESS

LOT COVERAGE (PER AIR PHOTOS)

	EXISTING	CHANGE	NEW TOTAL	% OF SITE
BUILDINGS	265,350 S.F.	+12,342 S.F.	277,692 S.F.	31%
PAVEMENT/CONCRETE	497,355 S.F.	-12,342 S.F.	485,013 S.F.	54.1%
IMPERVIOUS	762,705 S.F.	+0.00 S.F.	762,705 S.F.	85.1%
OPEN SPACE	133,422 S.F.	-0.00 S.F.	133,422 S.F.	14.9%
TOTAL	896,127 S.F.	0 S.F.	896,127 S.F.	100%

PARKING

EXISTING: 336 SPACES ±
PROPOSED: 336 SPACES ± (NO CHANGE)

INDEX

- C1.1 - Site Plan
- C1.2 - Drainage - Grading - Erosion Control Plan

PLAN PREPARED BY:
SCHULER & ASSOCIATES, INC
2711 N. MASON STREET, SUITE F
(920) 734-9107
PROJECT NO. 25-4857



800-642-6774
www.1call2build.com
Appleton, WI Columbus, WI
Rapid City, SD Bismarck, ND
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STAMPS

SITE PLAN

BASSETT MECHANICAL 2025
KAUKAUNA, WI

ISSUED FOR REVIEW:
8-8-2025

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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DRAWN BY: MJF

PROJECT #:

C1.1

SHEET TITLE
SITE PLAN

STAMPS

PROPOSED ADDITION AND ALTERATION FOR:

BASSETT MECHANICAL1215 HYLAND AVE., KAUKAUNA, WI
54130

ISSUED FOR REVIEW:

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description

DRAWN BY:

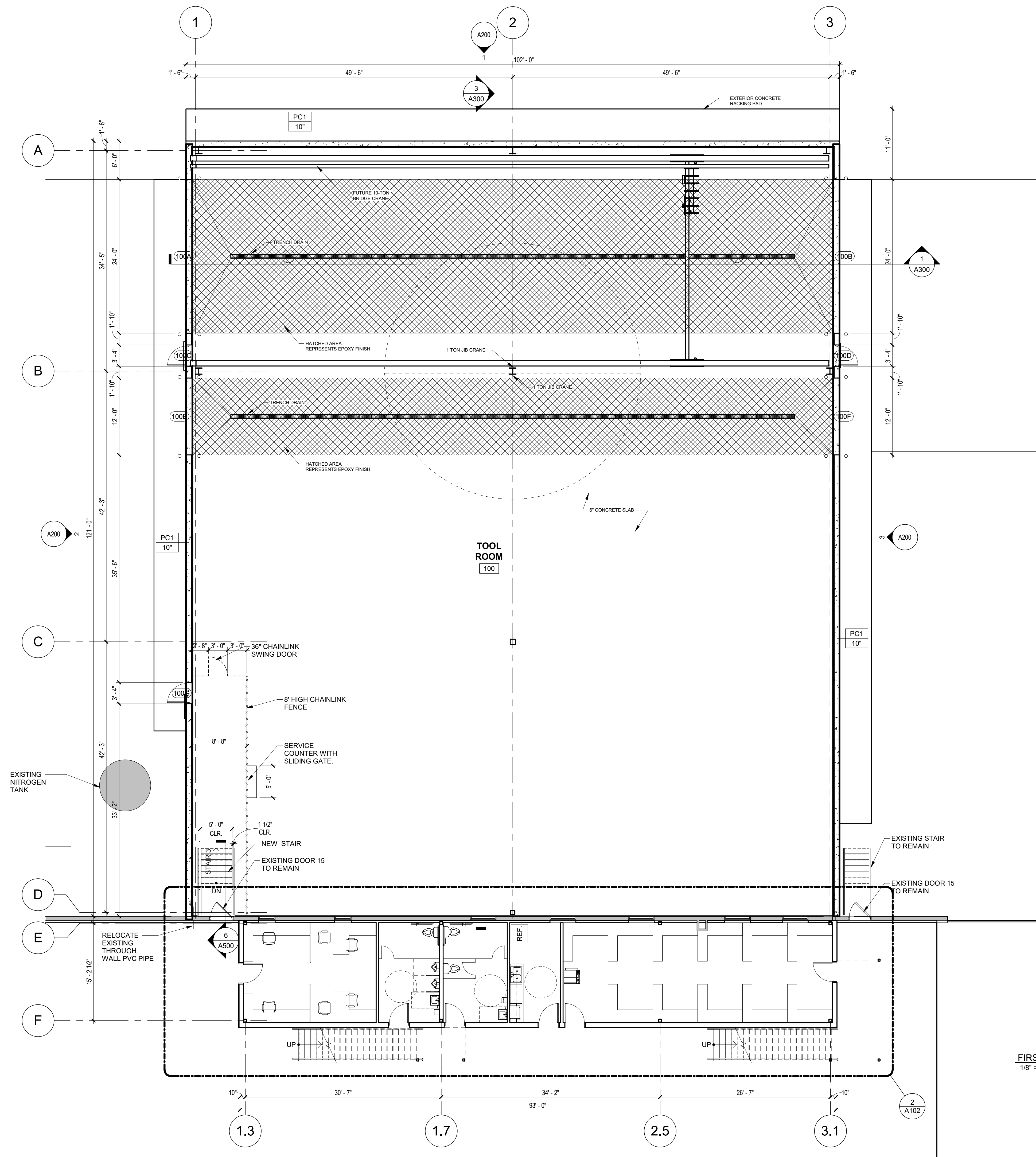
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PROJECT #:

A101

SHEET TITLE

FIRST FLOOR PLAN

**GENERAL PLAN NOTES**

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHERS, LIGHTS & WALL RATINGS
- DIMENSIONAL CONTROL:**
EXTERIOR DIMENSIONS ARE FROM:
- CENTERLINE OF COLUMN TO OUTSIDE FACE OF MASONRY
- CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN
- FACE OF MASONRY TO FACE OF MASONRY
- FACE OF CONCRETE TO FACE OF CONCRETE
- FACE OF STUD TO FACE OF STUD
INTERIOR DIMENSIONS ARE FROM:
- FACE OF STUD TO FACE OF STUD
- FACE OF STUD TO FACE OF MASONRY
- FACE OF MASONRY TO FACE OF MASONRY
- CENTERLINE OF COLUMN TO FACE OF STUD OR MASONRY
- CENTERLINE OF COLUMN TO CENTERLINE OF COLUMN
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE INDICATED & SHALL EXTEND 12" ABOVE CEILINGS, UNLESS NOTED OTHERWISE
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVING, ETC. AS REQUIRED
- ANY PENETRATION IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATION BETWEEN AREAS. CONTRACTOR TO PROVIDE SLEEVES, FIRE RETARDANT INSULATION & FIRE CAULKING AS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION AND USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT ADA STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- CONTRACTOR SHALL LAYOUT AND MARK ALL WALLS AND OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL AND DATA OUTLETS, ETC. W/ FINAL FURNITURE LAYOUT DRAWINGS
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW AND DOOR FRAMES AT JAMBS AND HEAD, TYPICAL, UNLESS NOTED OTHERWISE
- FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.
- ALL EXISTING WALLS ARE SHOWN AS SHADED UNLESS NOTED OTHERWISE.

FIRST FLOOR
1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

8/7/2025 7:59:09 AM

TAMPS

PROPOSED ADDITION AND ALLOCATION FOR:

BASSETT MECHANICAL

54130

SUED FOR REVIEW:

SUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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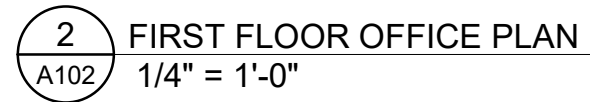
RAWN BY:

PROJECT #:

A102

SHEET TITLE

ICE FLOOR PLANS



PRELIMINARY
NOT FOR CONSTRUCTION

STAMPS

PROPOSED ADDITION AND ALTERATION FOR:

BASSETT MECHANICAL

1215 HYLAND AVE., KAUKAUNA, WI
54130

ISSUED FOR REVIEW:

ISSUED FOR BID:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

ISSUED REVISIONS

Revision	Date	Rev. Description
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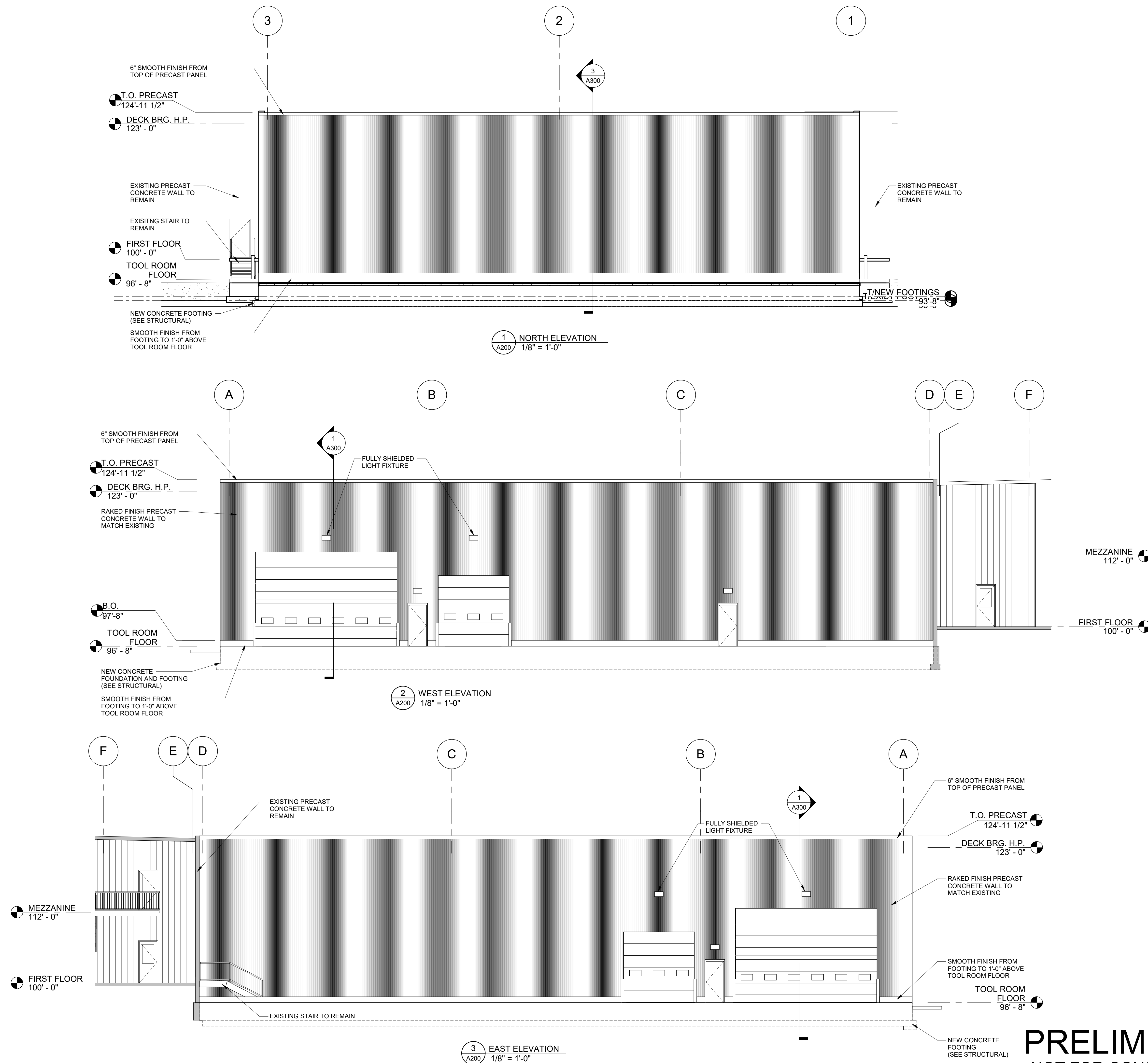
DRAWN BY: ?

PROJECT #:

A200

SHEET TITLE

EXTERIOR ELEVATIONS



PRELIMINARY
NOT FOR CONSTRUCTION

Select Series LED Full Cutoff Wall Pack

Product Specifications

TCP's Select Series LED Full Cutoff Wall Pack takes outdoor lighting to the next level. Two different wattage packages and three color temperatures give 18 possible combinations to perfectly illuminate any outdoor space. Utilize these wall packs in building perimeters, security lighting, entrances, and exits.

The bronze aluminum housing features an elegant heat sink design that allows the fixture to operate without overheating. It comes with 0-10V dimming standard, is -40°C to 40°C temperature rated, IP65 wet location rated, and offers CRI greater than 70.

Reasons to choose the Select Series LED Full Cutoff Wall Pack from TCP

- Delivers bright, white light with excellent uniformity
- IP65 wet location rated for outdoor use
- Color temperature and wattage selectable
- Durable construction with die-cast aluminum housing and impact-resistant polycarbonate lens
- Integrated photocell maximizes energy efficiency

Ideal Applications

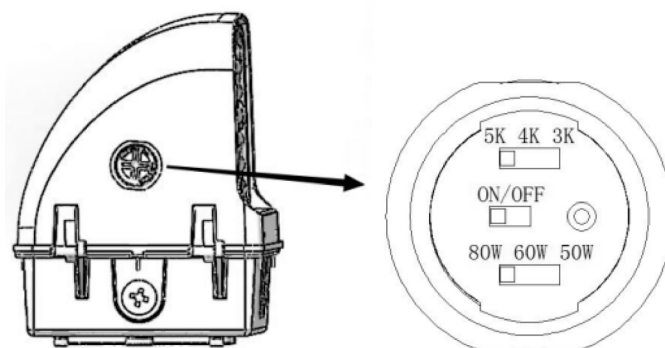
- Site Lighting
- Entrances
- Perimeters
- Security Lighting

Specifications

Input Line Voltage	120-277V
Input Line Frequency (Hz)	50/60Hz
Wattage (W).....	20/30/40W or 50/60/80W
Lumens (L).....	2600/3900/5200L or 6500/7800/10400L
Lumens per Watt (LPW).....	130 LPW
CCT	3000K/4000K/5000K
Rated Life.....	50,000 hours
Minimum Starting Temperature	-40°C (-40°F)
Maximum Operating Temperature.....	40°C (104°F)
CRI.....	>70
Ratings	cULus wet location rated
Controls.....	0-10V Dimming (standard)

CCT and Wattage Selectable

Up to 9 CCT and wattage combinations per SKU.
Internal switches maintain wet location rating.



Integrated photocell is standard

BUG Rating

SFWUZDSW4CCT	B2-U0-G1
SFWUZDSW7CCT	B3-U0-G2

Replacement Strategy

TYPE	WATTAGE*	ENERGY SAVINGS (%)
TCP LED Select Series Full Cutoff Wall Pack	40W	—
100W-150W Metal Halide	100W	60%
TCP LED Select Series Full Cutoff Wall Pack	50W	—
100W-150W Metal Halide	150W	67%
TCP LED Select Series Full Cutoff Wall Pack	60W	—
175W Metal Halide	175W	66%
TCP LED Select Series Full Cutoff Wall Pack	80W	—
200W Metal Halide	200W	60%

*Actual wattage may differ by +/- 5%, when operating between 120-277V +/- 10%.

NOTE: Charts show system lumens (delivered lumens), NOT straight lamp lumen output.
This is calculated as follows:

System lumens = mean lumens x # lamps x ballast factor x luminaire efficiency factor

Applications

This product family can be effectively used in outdoor wall mount locations, commercial, industrial, retail and healthcare exterior lighting, parking lot, cargo door, high wall, area, security, etc.

Construction

- Die-cast aluminum housing
- Impact-resistant polycarbonate lens
- Durable bronze powder coat
- Same footprint as existing HID wall packs
- Operating Temperature: -40°C to 40°C
- Four knockouts available for wiring

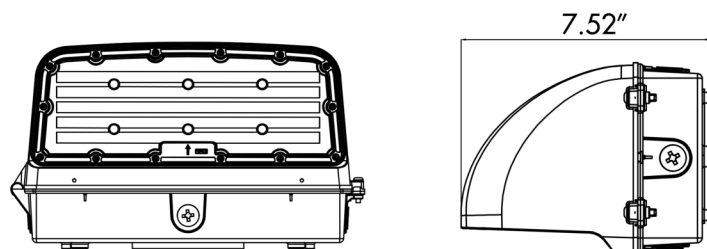
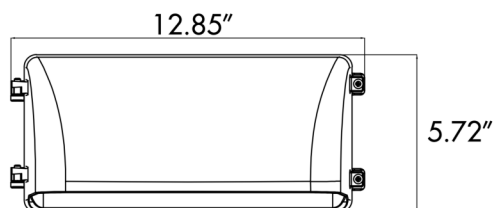
Electrical

- IP65 wet location rated
- Easy-to-access wiring compartment
- System rated for long 50,000 hour life
- Efficiently delivers up to 130 LPW

Optics

- High light transmittance polycarbonate lens
- Delivers bright, white light and excellent uniformity
- Low glare optics provide excellent visibility
- Full cut off optics provide Dark Sky conformance

Dimensions



Item Number

Notes

Type



Listings

UL and cUL listed
RoHS Compliant
DLC 5.1 Premium

Warranty

Five year limited warranty against defects in manufacturing.

Catalog Ordering Matrix

Example: SFWUZDSW4CCT

FAMILY	VOLTAGE	CONTROLS	LUMEN PACKAGE (Power)	SELECTABLE COLOR TEMPERATURE
SFW – Selectable Full Cutoff Wall Pack	U – 120V-277V	ZD – 0-10V Dimming	SW4 – 5200/3900/2600L (40/30/20W) SW7 – 10400/7800/6500L (80/60/50W)	CCT – 30/40/50K

TECHNOLOGY CAST IN A BEAUTIFUL LIGHT

For over 20 years, TCP has been designing, developing and delivering energy-efficient lighting into the market. Thanks to our cutting-edge technology and manufacturing expertise, we have shipped billions of high quality lighting products. With TCP, you can count on a lighting product that is designed to meet the needs of the market - that transforms your surroundings and envelopes you in warmth - lighting that generates beauty with every flip of the switch.

Sales:

Date:

Model:

Project:

Rep:

Catalog Number:

Type:

Notes:

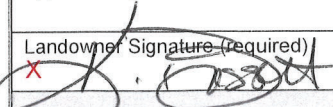


For more information on the quality and care TCP can deliver, call us at 800.324.1496 or visit tcpi.com

325 Campus Dr. | Aurora, Ohio 44202 | P: 800.324.1496 | F: 877.487.0516



EROSION CONTROL AND STORMWATER MANAGEMENT PERMIT APPLICATION

Applicant Information			
Applicant Name (Indiv., Org. or Entity) Bassett Kaukauna LLC		Authorized Representative X Kim Bassett	Title X Member
Mailing Address 1215 E. Hyland Avenue		City Kaukauna	State WI Postal Code 54130
E-mail Address X c/o adam.kloehn@bassettmechanical.com		Telephone (include area code) X 920-462-1850 (Adam Kloehn)	Fax (include area code)
Landowner Information (if different than Applicant)			
Name (Organization or Entity) Same		Contact Person	Title
Mailing Address		City	State Postal Code
E-mail Address		Telephone (include area code)	Fax (include area code)
Other Contact Information (check one): <input checked="" type="checkbox"/> Engineer / Consultant <input type="checkbox"/> Contractor / Builder <input type="checkbox"/> Agent / Other			
Name (Organization or Entity) Schuler & Associates, Inc.		Contact Person Jeffrey Rustick	Telephone (include area code) 920-734-9107
Mailing Address 2711 N. Mason Street, Suite F		City Appleton	State WI Postal Code 54914
Project or Site Location			
Site Name (Project): Bassett Mechanical Building Addition		Parcel Numbers: 322073100	
Address / Location: 1215 E. Hyland Avenue		Plat / CSM / Lot No.: Part of Lot 1, CSM 3651	
Permit Type & Fees (check all that apply)			
<input checked="" type="checkbox"/> Erosion Control < 1 acre or 43,560 sq.ft. Disturbed Area (EC1)		<input type="checkbox"/> Stormwater Management < 20,000 sq.ft. Impervious Area (SM1)	
<input type="checkbox"/> Erosion Control ≥ 1 acre or 43,560 sq.ft. Disturbed Area (EC2)		<input type="checkbox"/> Stormwater Management ≥ 20,000 sq.ft. Impervious Area (SM2)	
Total Disturbed Area		sq.ft. x \$0.0002 / sq.ft. (EC2) = \$	
New Impervious Area 0		sq.ft. x \$0.0025 / sq.ft. (SM2) = \$ 0	
Base Fee: \$200 (EC1), \$250 (EC2), \$200 (SM1), \$500 (SM2) = \$ 200			
Total Application Fee = \$			
Duration of Land Disturbance 12		weeks x \$25 / week (EC1, EC2) = \$ 300	
Start Date..... March 23, 2026		Base Fee: \$250 (EC2), \$500 (SM2) = \$ 0	
End Date..... June 15, 2026		Total Inspection Fee = \$	
TOTAL PERMIT FEE (Application Fee + Inspection Fee) = \$ 500			
Certification & Permission			
Certification: I hereby certify that I am the landowner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I understand that failure to comply with any or all of the provisions of the ordinances and/or permit may result in notices, fines / forfeitures, stop work orders, permit revocation, and cease & desist orders.			
Permission: As landowner of the property, I hereby give the Director of Public Works or designee, permission to enter and inspect the property to evaluate this permit application, determine compliance with ordinances, and perform corrective actions after issuing proper notice to the landowner.			
Applicant Signature		Date Signed	
Landowner Signature (required) X 		Date Signed X 8/6/25	
LEAVE BLANK - FOR MUNICIPAL USE ONLY			
Date Application Received:		Fee Received \$	Receipt No:
Construction Site ID / Permit No:		Date Issued:	Issued By:

PLEASE CONTACT CITY OF KAUKAUNA ENGINEERING DEPARTMENT AT 920-766-6305 WITH QUESTIONS.



SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: James Effa	Name: Andy Wassmann (Keller Inc.)
Mailing Address: 1901 Hyland Avenue	Mailing Address: N216 State Road 55
Phone: (920) 766-7720	Phone: (920) 427-4467
Email: jim@accuratemachine.net	Email: awassmann@kellerbuilds.com

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Machining Addition	
Property Parcel (#): 322091200	
Site Address/Location: 1901 E. Hyland Avenue Kaukauna, WI 54130	
Current Zoning and Use: Industrial Park	
Proposed Zoning and Use: Industrial Park	
Existing Gross Floor Area of Building: 12,528	Proposed Gross Floor Area of Building: 18,528
Existing Building Height: 19ft	Proposed Building Height: 19ft
Existing Number of Off-Street Parking Spaces: 0	Proposed Number of Off-Street Parking Spaces: 0
Existing Impervious Surface Coverage Percentage: 23.6%	Proposed Impervious Surface Coverage Percentage: 27.8%

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Andy Wassmann

Owner/Agent Name (printed): Andy Wassmann (Keller Inc.)

SITE PLAN REVIEW PROCEDURE

The plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed site plan application
- ✓ Completed [erosion control and stormwater management permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

SITE PLAN SUBMISSION

1. Email the Planning and Community Development Department at planning@kaukauna.gov

OR

2. Drop off in-person or send by mail to City of Kaukauna, Attn: Planning and Community Development Department, 144 W. 2nd Street, Kaukauna, WI 54130

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
A1.0 FLOOR PLAN
A2.0 ELEVATIONS
A3.0 SECTIONS
S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA
SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	12,528 S.F.	6,000 S.F.	18,528 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	12,528 S.F.	6,000 S.F.	18,528 S.F.
MEZZANINES	----- S.F.	----- S.F.	----- S.F.
FIRE AREA TOTALS	12,528 S.F.	6,000 S.F.	18,528 S.F.
REMODEL AREA TOTALS	----- S.F.	--% OF BUILDING AREA	

BUILDING CODE ANALYSIS

APPLICABLE CODES 2015 International Building Code (w/ WI Amendments) ASHRAE Standard 90.1-2013 or 2015 IECC 2015 IEBC (Level # Alteration)	
OCCUPANCY F-2 Accessory Use ----- Incidental Use ----- High-Piled Combustible Storage Hazardous Materials Multiple Control Areas	NO NO NO
HEIGHT & AREA Building Height: 17'-0" Number of Stories: 1 Total Building Area: 18,528 S.F. Total Fire Area: 18,528 S.F. Mixed/Separated Occupancies Unlimited Area Building	Maximum Allowed: 55'-0" Maximum Allowed: 1 Maximum Allowed: UNLIMITED S.F. Maximum Allowed: UNLIMITED S.F. YES
CONSTRUCTION TYPE Construction Classification Fire Separation Distance	IIB "-,-"
FIRE PROTECTION SYSTEMS Assumed Sprinkler Type Fire Alarm System	NONE NO
MEANS OF EGRESS Occupant Load -- Panic Hardware YES/NO	
STRUCTURAL DESIGN Risk Category Design Loads	II
Roof Live Load	20 psf
Walk-on IMP Ceiling Live Load	-- psf
Steel Framing	
Collateral Load	3 psf
Wood Truss	
Top Chord Dead Load	-- psf
Bottom Chord Load	-- psf
Mezzanine/Second Floor/Basemen	
Live Load	-- psf
Point Load (Partition)	-- psf
Snow Load	
Criteria	40 psf
Ground Snow Load (Pg)	1.0
Exposure Factor (Ce)	1.0
Thermal Factor (Ct)	
Wind Loads	
Wind Load	115 MPH
Surface Roughness	B
Exposure Category	B
Earthquake Load Criteria	
Soil Site Class	D
Ss	.063
S1	.042
PLUMBING SYSTEMS Mens WC Required Womens WC Required Drinking Fountain Required Other Source Ambulatory Stall Required	1 1 YES YES NO
MECHANICAL SYSTEMS NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU NO BOILERS OVER 15 PSI AND 10 HORSEPOWER	

SITE INFORMATION

SITE CONTENT		
Building Size	-- S.F.	--%
Hard Surface	-- S.F.	--%
Green Space	-- S.F.	--%
Parcel Size (Approx.)	-- S.F.	-- Acres
Parking Provided	-- Stalls	
Area of Disturbance	-- S.F.	
ZONING		
Property Zoning	--	
Setbacks	FY :--" SY :--" RY :--"	
Hard Surface Setback	--"	
Coverage Limit	--%	
Greenspace Requirement	--%	
Parking Required	-- Stalls	
Refuse Enclosure	YES/NO	
RTU SCREENING	YES/NO	

PROPOSED FOR:

ACCURATE MACHINE

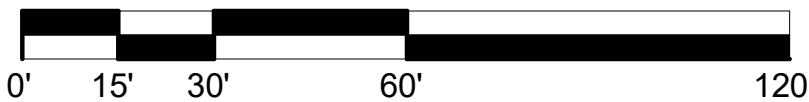
LITTLE CHUTE,

WISCONSIN



CONCEPTUAL SITE PLAN

1" = 30'-0"



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



Keller

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FOX CITIES N216 State Road 55 P.O. Box 620 Kaukauna, WI 54130 PHONE (920) 766-2795 / 1-800-236-2534 FAX (920) 766-5004	MADISON 711 Lake Dr. Sun Prairie, WI 53590 PHONE (608) 318-2336 FAX (608) 318-2337
MILWAUKEE W204 N11509 Coldendale Rd Germentown, WI 53022 PHONE (262) 250-9710 FAX (262) 250-9740	WAUSAU 5605 Libe Ave Wausau, WI 54401 PHONE (715) 849-3141 FAX (715) 849-3181

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PROPOSED FOR:
ACCURATE MACHINE

1901 HYLAND AVENUE
LITTLE CHUTE,
WISCONSIN 54130

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REVISIONS

1	06.23.2025	KRW
2		
3		
4		
5		
6		

PROJECT MANAGER:

J. HALL

DESIGNER:

T. TISLAU

INTERIOR DESIGNER:

DRAWN BY:

KRW

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P25100

CONTRACT NO:

DATE:

04.14.2025

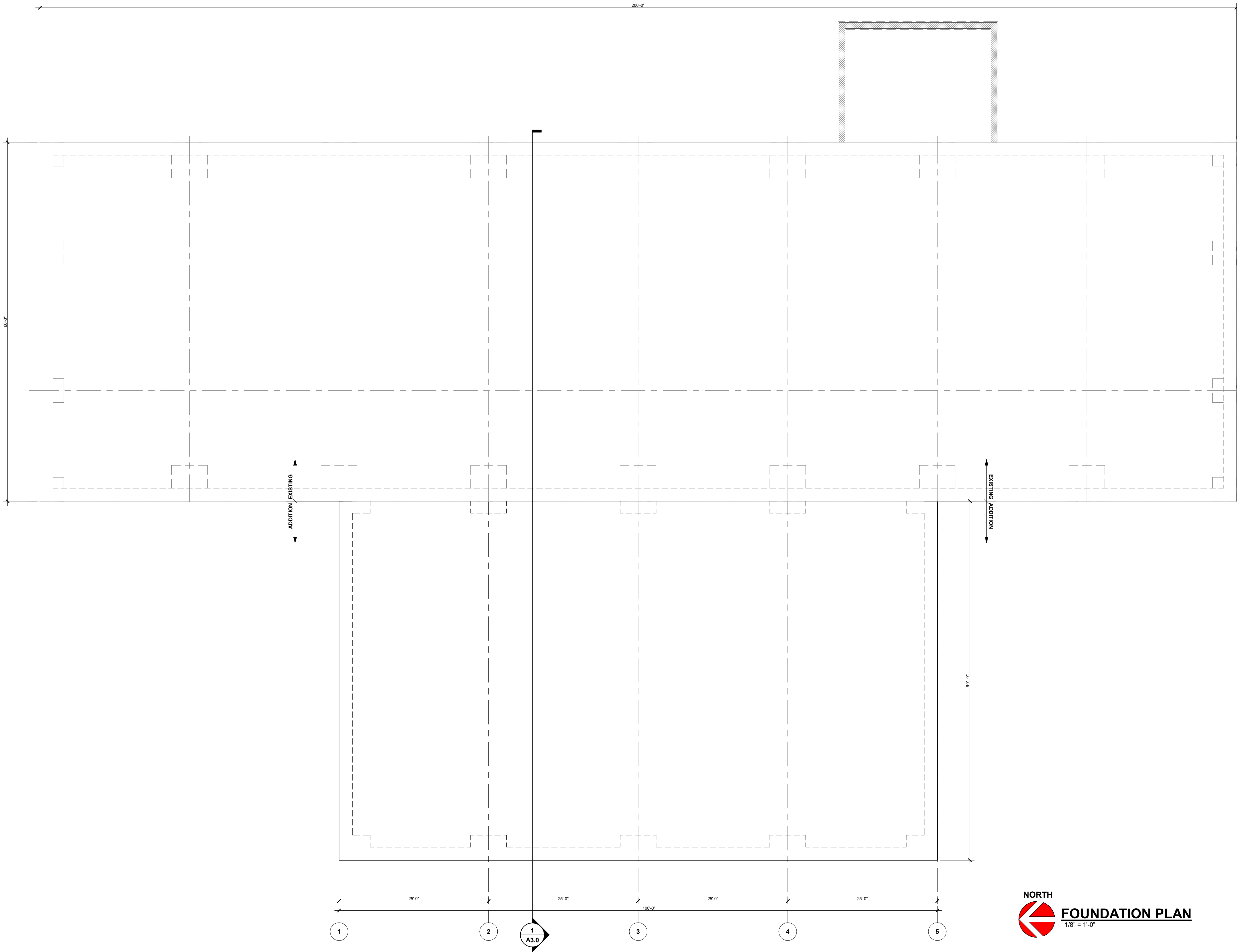
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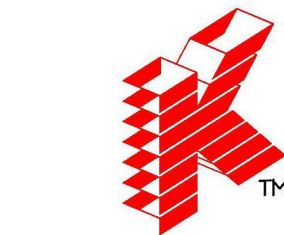
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FOOTING SCHEDULE							
FTG.	FOOTING SIZE	FTG. REINFORCING	HAIRPIN SIZE	PIER SIZE	PIER REINFORCING	ANCHOR BOLTS	REMARKS

GENERAL NOTES	
1. ALL SPECIFIED FOOTING REBAR IS IN ADDITION TO LONGITUDINAL REBAR IN ADJACENT CONTINUOUS WALL FOOTING.	
2. #4 x 24" x 24" CORNER DOWELS AT 12" O.C. VERTICAL TO PASS THROUGH PIER CAGE.	
3. FINAL WALLS, FOOTINGS, & REINFORCING SIZES PER FINAL ENGINEERING.	



WALL KEY	
	NEW WALL/FURRING
	NEW MASONRY/ VENEER WALL
	NEW COOLER/ FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER



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PROPOSED FOR:

ACCURATE MACHINE

1901 HYLAND AVENUE
LITTLE CHUTE,
WISCONSIN 54130

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DESIGNER:

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INTERIOR DESIGNER:

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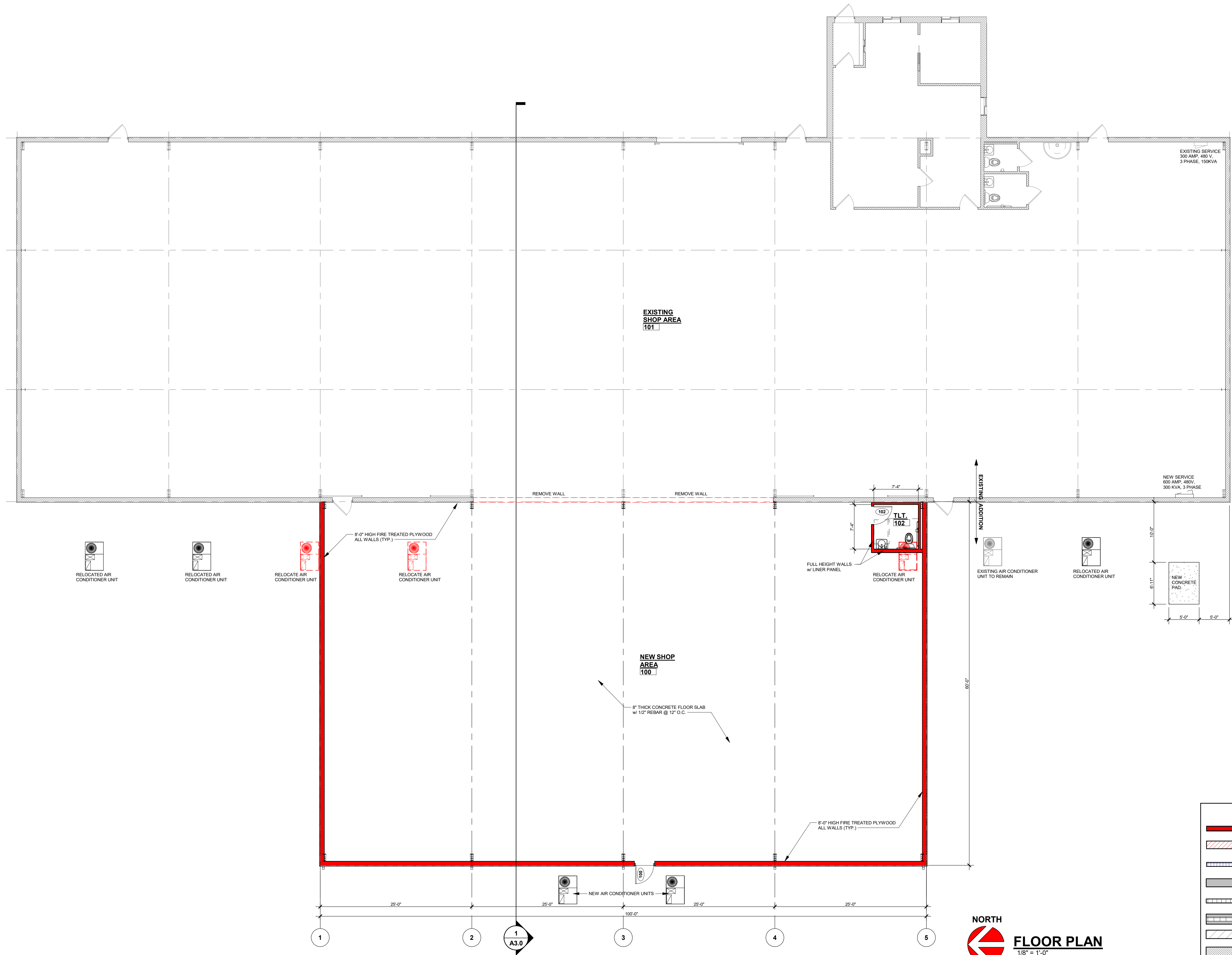
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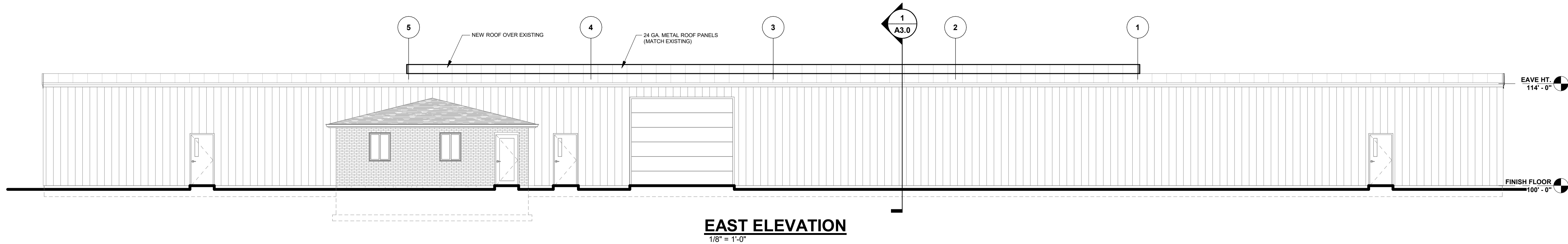
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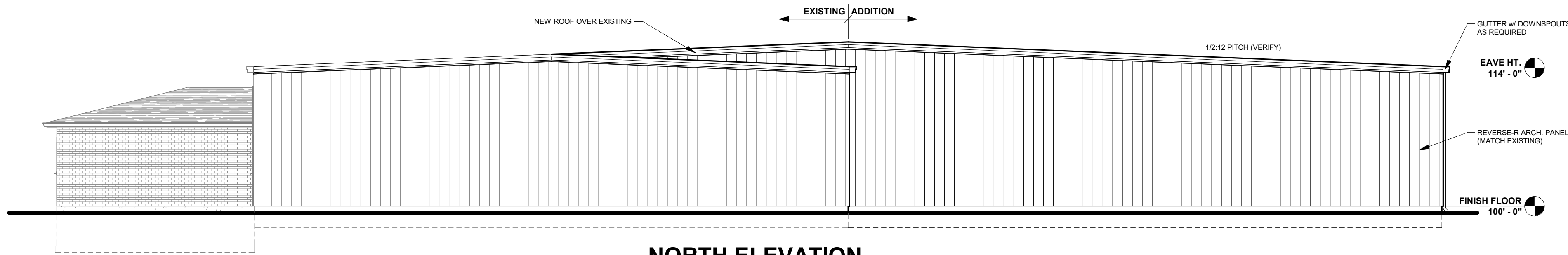
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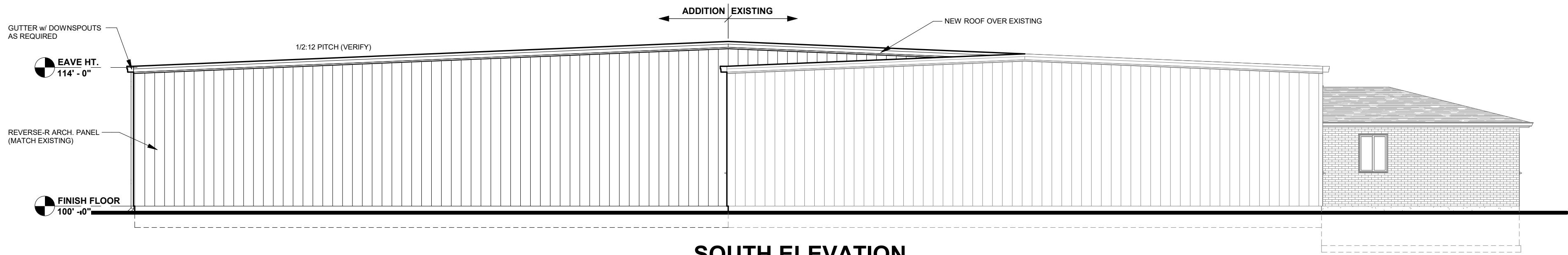
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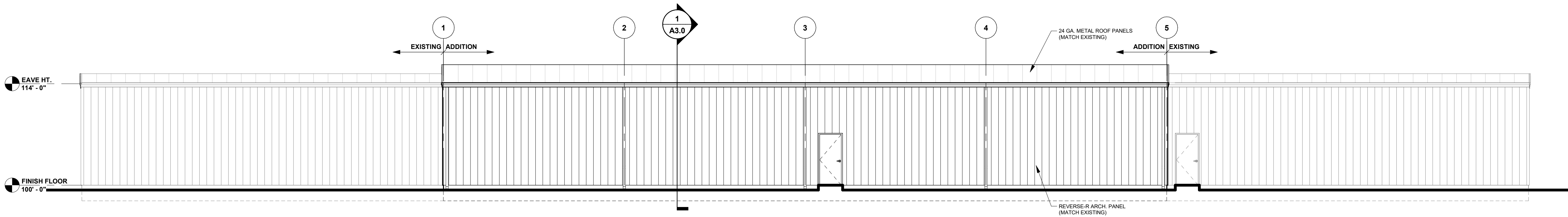
EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

DOOR & WINDOW VALUES			
WINDOWS:	U VALUE	0. --	
	SHGC	0. --	
	VT	0. --	
DOORS:	U VALUE	0.38	
(SWINGING)			
O.H. DOORS:	U VALUE	0.11	
(NON-SWINGING)			
DOORS:	U VALUE	0. --	
	SHGC	0. --	
	VT	0. --	
(90% GLAZING)			

PROPOSED FOR:

ACCURATE MACHINE

1901 HYLAND AVENUE
LITTLE CHUTE,
WISCONSIN 54130

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INTERIOR DESIGNER:

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DATE:

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SHEET:

A2.0

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**Keller**

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PROPOSED FOR:

ACCURATE MACHINE1901 HYLAND AVENUE
LITTLE CHUTE,
WISCONSIN 54130**"COPYRIGHT NOTICE"**

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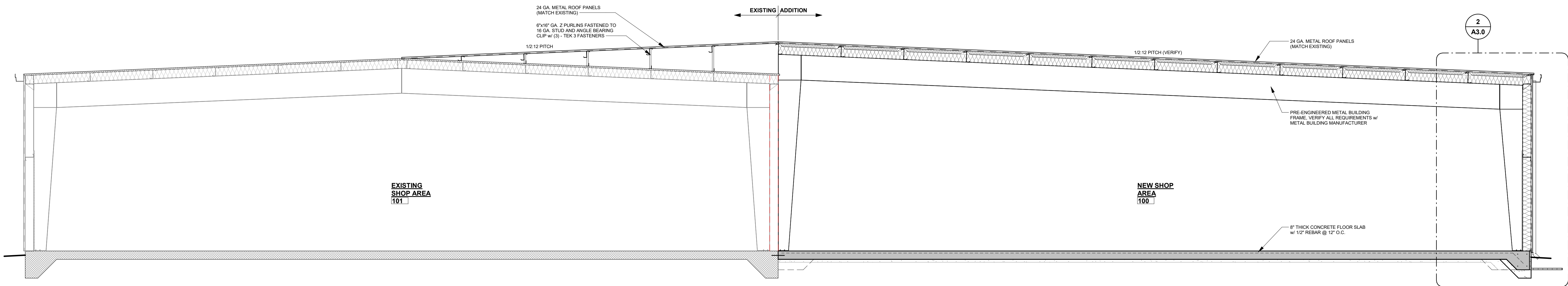
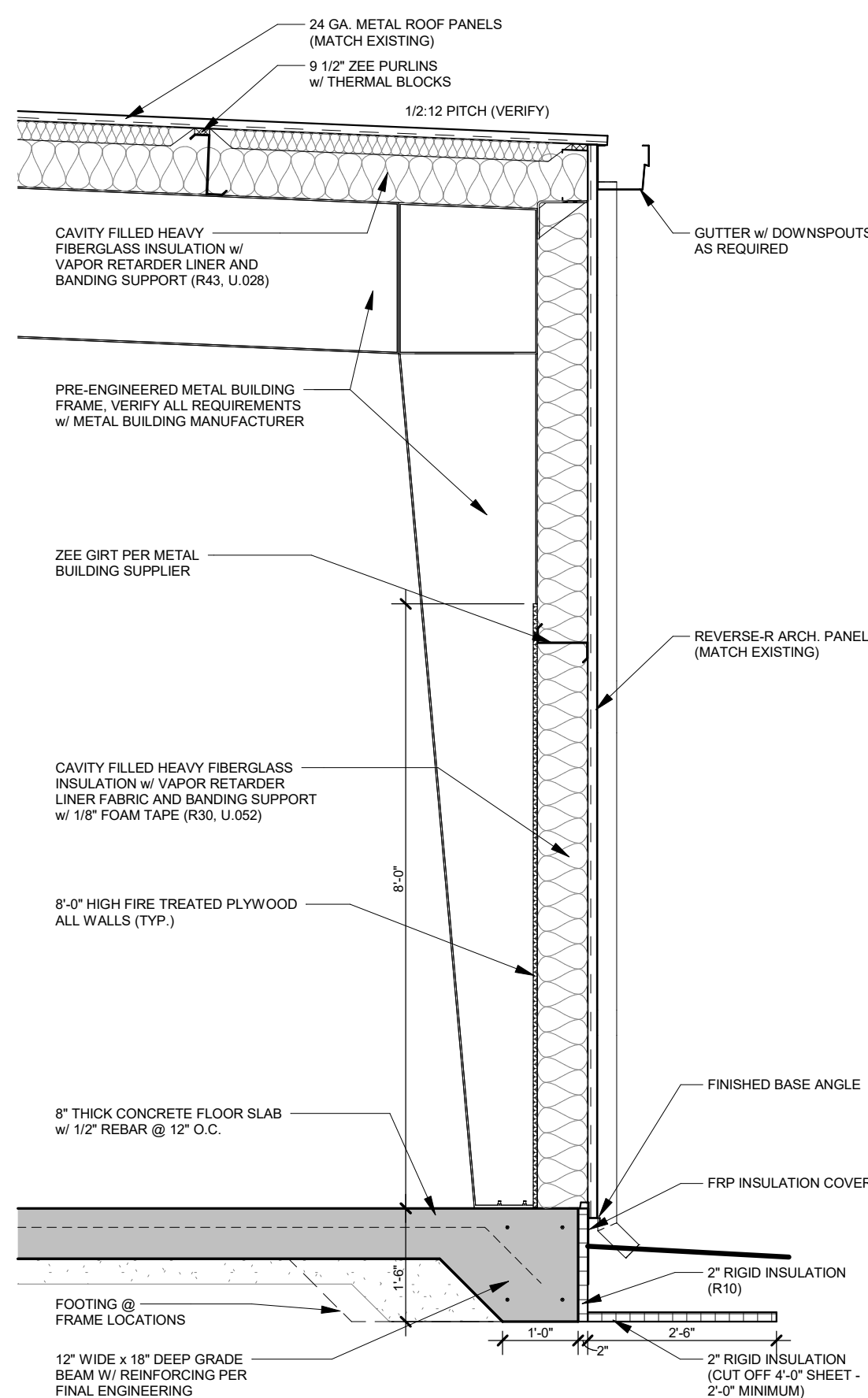
P25100

CONTRACT NO:

DATE:

04.14.2025

SHEET:

A3.0**BUILDING SECTION**1
A3.0 1/4" = 1'-0"**WALL SECTION**2
A3.0 1/2" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission
From: Adrienne Nelson, Associate Planner
Date: August 27, 2025
Re: Site Plan Review – Team Industries (1200 Maloney Road)

Team Industries is a pipe and vessel fabrication business. This project will add an additional 1,800 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial Park District (IPD) are being met and all ordinances are being complied with to include zoning requirements. The current Team Industries building has a height of 37' 3 ½" and the height of the addition will be 22' to 23' 3". There are currently 118 off-street parking spaces.

Landscape: [17.52 Landscaping Requirements](#)

There will be no change in landscaping.

Lighting:

This addition is not adding any lighting.

Stormwater: [22 Stormwater Management](#)

This addition will not require an Erosion Control and Stormwater Management permit.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns noted from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development as presented.





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: Team Industries (Jason Sturn)	Name: David OBrien (Bayland Buildings Inc.)
Mailing Address: 1200 Maloney Road Kaukauna WI 54130	Mailing Address: PO Box 13571 Green Bay WI 54307
Phone: 920-462-1158	Phone: 920-371-6200
Email: jsturn@teamind.com	Email: dobrien@baylandbuildings.com

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: 60' X 30' 1,800 SF addition	
Property Parcel (#): 322090800	
Site Address/Location: 1200 Malony Road	
Current Zoning and Use:	
Proposed Zoning and Use:	
Existing Gross Floor Area of Building: 130,000 +/-	Proposed Gross Floor Area of Building: 1800
Existing Building Height: 37'-3 1/2"	Proposed Building Height: 22' low eave 23'-3" high eave
Existing Number of Off-Street Parking Spaces:	Proposed Number of Off-Street Parking Spaces: 118
Existing Impervious Surface Coverage Percentage: No change	Proposed Impervious Surface Coverage Percentage: No change

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: _____

Owner/Agent Name (printed): David OBrien

SITE PLAN REVIEW PROCEDURE

The plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed site plan application
- ✓ Completed [erosion control and stormwater management permit application](#) and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

SITE PLAN SUBMISSION

1. Email the Planning and Community Development Department at planning@kaukauna.gov

OR

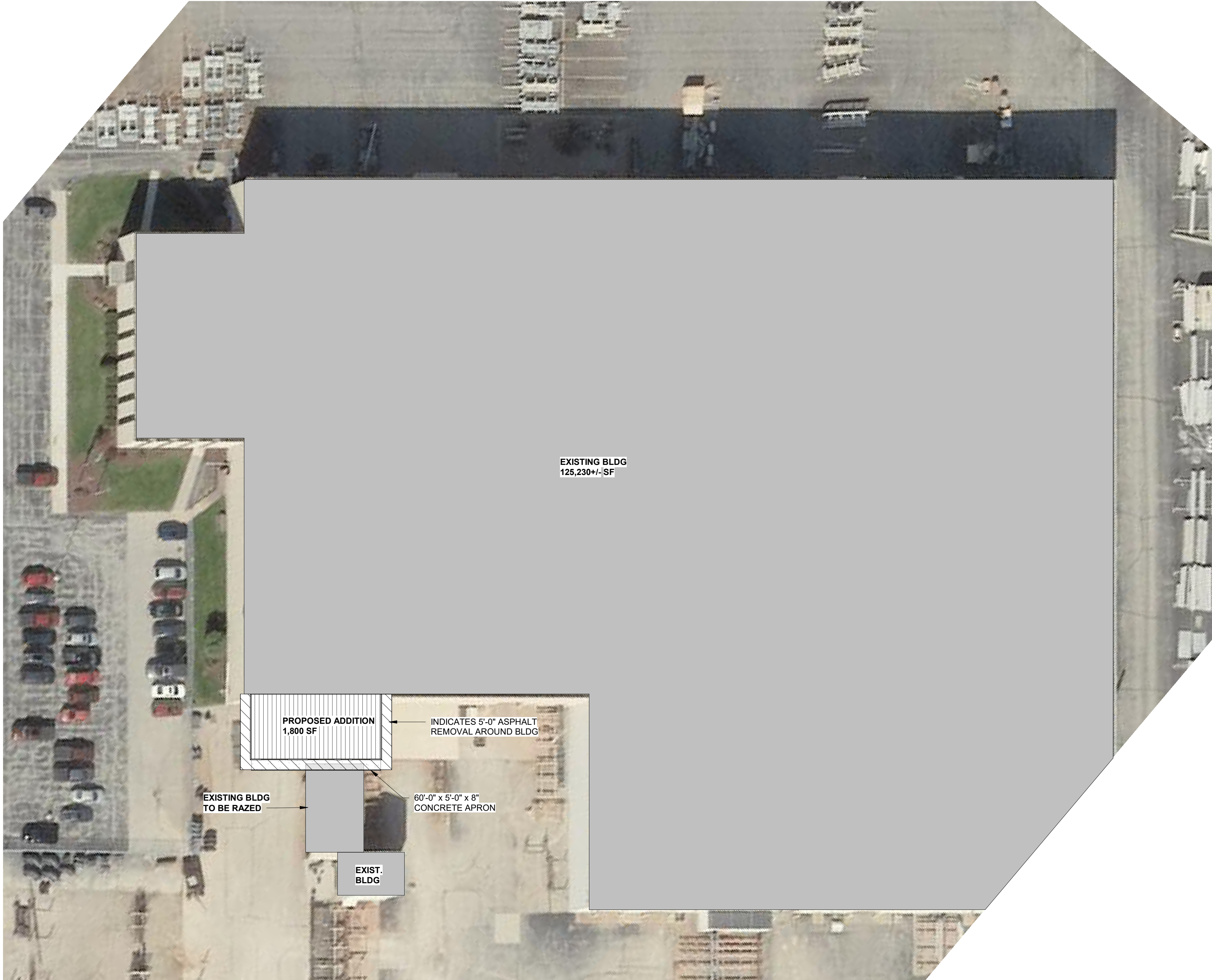
2. Drop off in-person or send by mail to City of Kaukauna, Attn: Planning and Community Development Department, 144 W. 2nd Street, Kaukauna, WI 54130



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR



SITE PLAN - PROPOSED
1 / C1.0 SCALE = 1" = 30'-0"



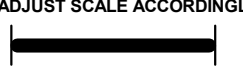
PROPOSED BUILDING FOR:

25-4205

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY



NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
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DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
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AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
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REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: *

PROJECT EXECUTIVE: JAKE MANCOSKE
(920) 366-8828

DRAWN BY: DPO

DATE: 5-29-2025

REVISIONS:

ISSUED FOR: CHECKED BY: DATE:

- ☒ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

SITE PLAN

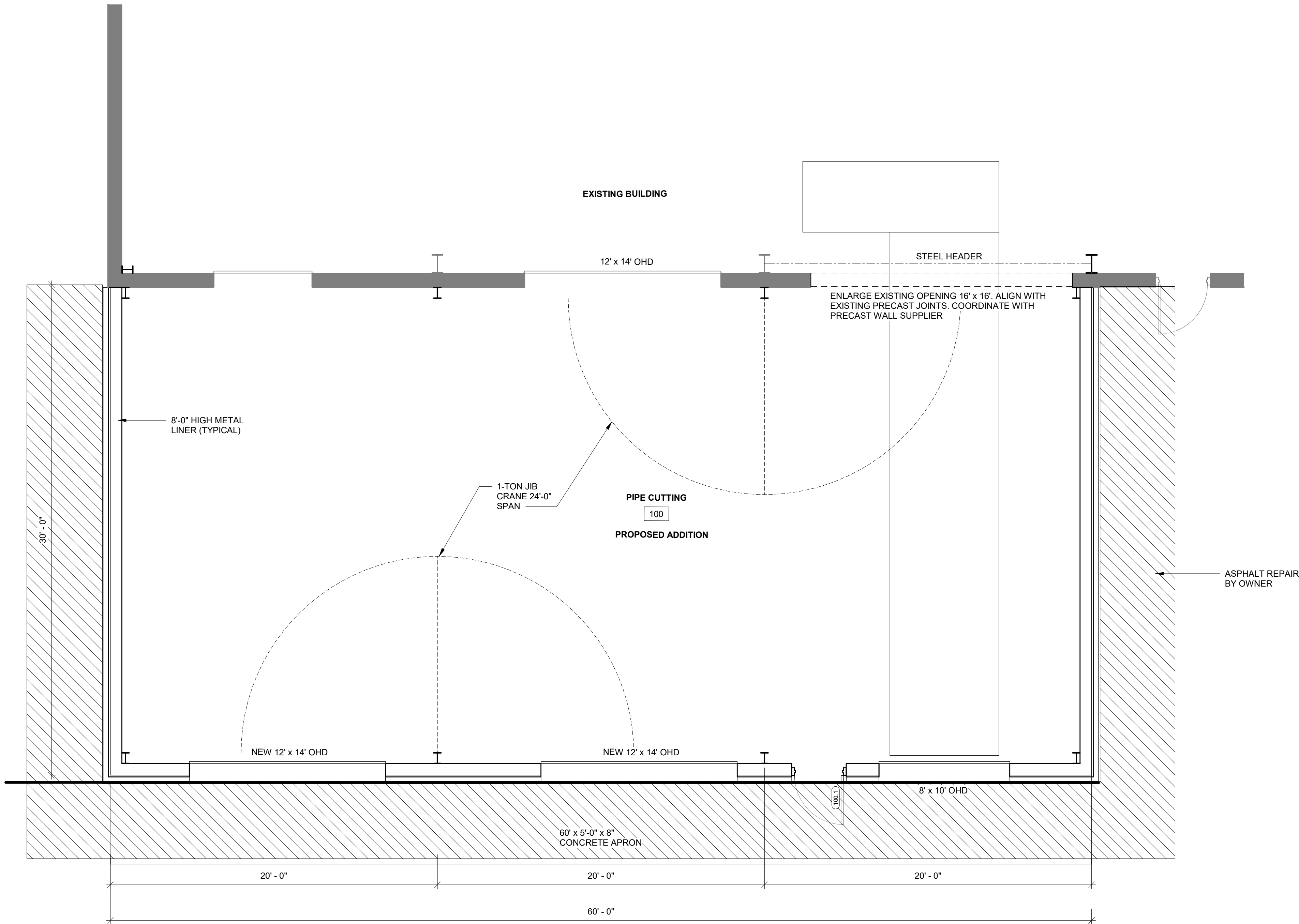
C1.0



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FLOOR PLAN - PROPOSED

1 /A1.0 SCALE = 1/4" = 1'-0"

PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)

PROPOSED BUILDING FOR:

25-4205

CITY, WISCONSIN; COUNTY OF:

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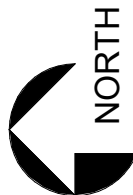
REVISIONS:

ISSUED FOR: CHECKED BY: DATE:

- ☒ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

FLOOR PLAN - PROPOSED

A1.0





BAYLAND BUILDINGS

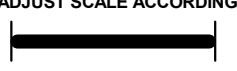
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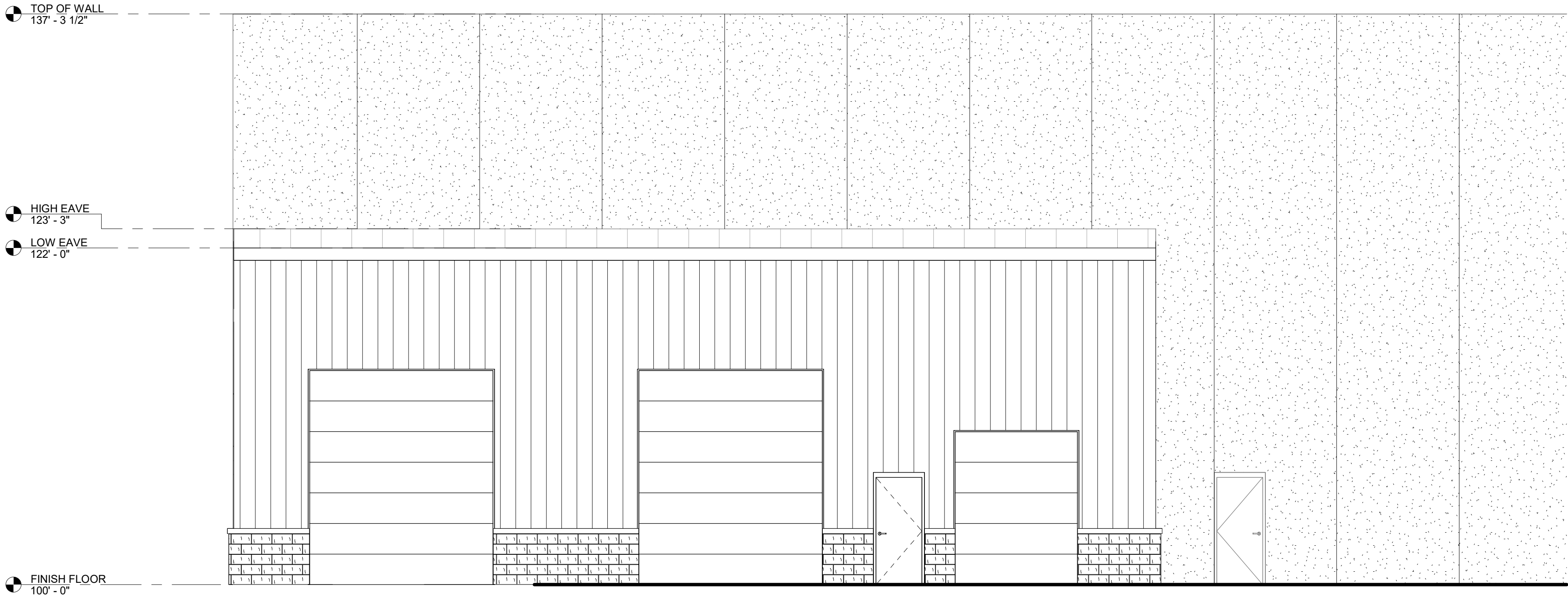
REVISIONS:

ISSUED FOR: CHECKED BY: DATE:

- ☒ PRELIMINARY
☐ BID SET
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☐ CHECKSET
☐ CONSTRUCTION

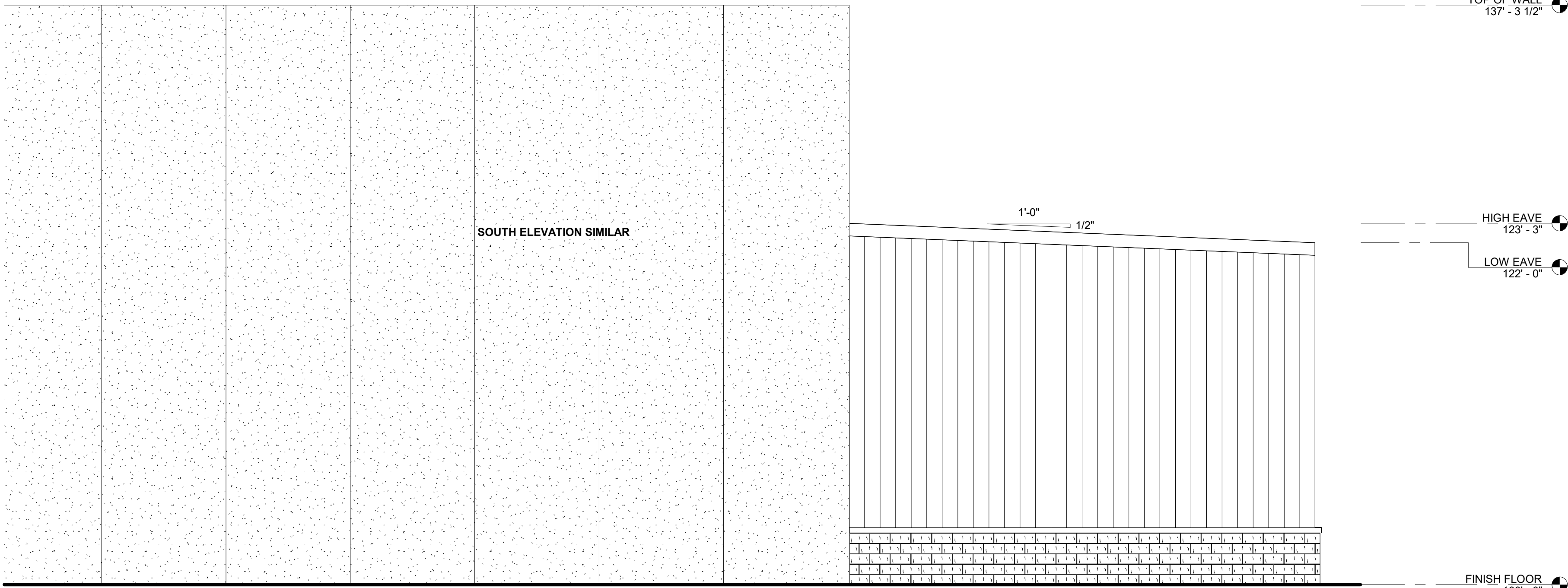
ELEVATION - EXTERIOR

A2.0



BUILDING ELEVATION - WEST

2 /A2.0 SCALE = 3/16" = 1'-0"



BUILDING ELEVATION - NORTH

3 /A2.0 SCALE = 3/16" = 1'-0"