

# PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
Municipal Services Building  
144 W. Second Street, Kaukauna



Thursday, September 07, 2023 at 4:00 PM

## AGENDA

1. Roll Call.
2. Approval of Minutes.
  - [a.](#) Approve Minutes from August 17, 2023 Meeting
3. Public Hearing.
  - [a.](#) Special Exception Request - 1400 Arbor Way
4. New Business.
  - [a.](#) Rezone Request - 1011 Delanglade Street
  - [b.](#) Special Exception Request - 1400 Arbor Way
  - [c.](#) Site Plan Review - TANN Investments LLC - 350 Oak Grove Road
5. Other Business.
6. Adjourn.

## NOTICES

**IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.**



# \*AMENDED PLAN COMMISSION

City of Kaukauna  
**Council Chambers**  
 Municipal Services Building  
 144 W. Second Street, Kaukauna

Thursday, August 17, 2023 at 4:00 PM

## MINUTES

### 1. Roll Call.

Members Present: Michael Avanzi, Giovanna Feller, DPW John Neumeier, Mayor Tony Penterman, Ken Schoenike, Pennie Thiele

Members Absent: John Moore

Others Present: AP Lily Paul, PCDD Joe Stephenson, Korry Boisvert & Nate Luedtke from Straightline Refrigeration, Josh Lane from Vierbicher, Aimee McClure from Thilmany, Brian Roebke Times Villager

Thiele made a motion to excuse the absent member. Avanzi seconded the motion. The motion passed unanimously.

### 2. Approval of Minutes.

- a. Approve Minutes from August 3, 2023 Meeting

Feller made a motion to approve the minutes from August 3, 2023 meeting. Neumeier seconded the motion. The motion passed unanimously.

### 3. New Business.

- a. Request to Install Groundwater Monitoring Well - CTH CE at Old Weiler Rd

DPW Neumeier presented a request for UW-Green Bay and Wisconsin Geological Survey to install a Groundwater Monitoring Well. It will be located on City of Kaukauna property near Old Weiler Road. The City is requesting an easement agreement to be provided by UWGB.

Avanzi made a motion to approve the request and direct staff to work with UWGB and Wisconsin Geological Survey to develop a final easement location and agreement for Common Council consideration.

- b. Site Plan Review - Straightline Refrigeration; Lots 12 & 13 of NEW Prosperity Center

AP Lily presented a site plan review for Straightline Refrigeration. They are building on two parcels in NEW Prosperity center and focus on design and fabrication of Commercial Refrigeration systems. The building is 32,010 sq ft with an insulated metal siding with masonry wainscoting. The site plan meets all parking, height,

landscaping, and lighting requirements. A variance will need to be granted for a 20 ft front yard setback. Best practice, a CSM should be completed to combine the two parcels as one.

Schoenike made a motion to approve the site plan with the following conditions:

- 20 ft Front Yard Setback variance is granted by Zoning Board of Appeals
- A CSM is completed combining the parcels
- Provide documentation of Wetland permitting
- Prior to issuance of building permits, must obtain Storm Water and Erosion Control permits from Engineering Department

Thiele seconded the motion. The motion passed unanimously.

c. Park Donation Application Review

AP Lily presented a bench donation request at Horse Shoe Park ball diamonds. The bench will be donated by Kaukauna Fast Pitch in honor of volunteer coach Denny Lauer and in memory of his wife.

Thiele made a motion to approve the bench donation request and grant staff to work with the families to install the bench in a more precise location in the general vicinity that was requested. Feller seconded the motion. The motion passed unanimously.

d. \*Thilmany Fund Request - Red Hills Landfill Haul Road

DPW Neumeier explained Per the Red Hills Landfill Phase 6 Agreement, Ahlstrom has been paying tipping fees in to both the City Fund and the Thilmany Fund. Thilmany Funds are to be reimbursed to Ahlstrom for approved "Environmental Projects" completed by Ahlstrom. In order to receive reimbursement, the project must be submitted to and approved by the Director of Public Works and Plan Commission. Ahlstrom has proposed to reconstruct the roadway of the Red Hills landfill entrance. The road is in severe disrepair. The proposed project will help enhance the property and is important for environmental purposes.

Avanzi made a motion to approve the request for Ahlstrom to use Thilmany Funds to improve the Red Hills roadway. Thiele seconded the motion. The motion passed unanimously.

4. Other Business.

*There was no other business.*

5. Adjourn.

Avanzi made a motion to adjourn the meeting. Neumeier seconded the motion. The motion passed unanimously, meeting adjourned at 4:17 PM.



# MEMO

## PLANNING & COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Lily Paul, Associate Planner  
Date: September 1, 2023  
Re: Rezoning Request – 1011 Delanglade Street

Eric Van Handel, owner, Midwest Carriers, is requesting to rezone parcel 322075102 from Institutional District (IT) to Industrial District (IND). This parcel is located at 1011 Delanglade Street and is a part of the industrial corridor. The property currently has an industrial building on the 3.19 acres and has been used as such for the last 15 years. The purpose of this rezone is to make the zoning of the property match the use which will help with the future sale of said property.

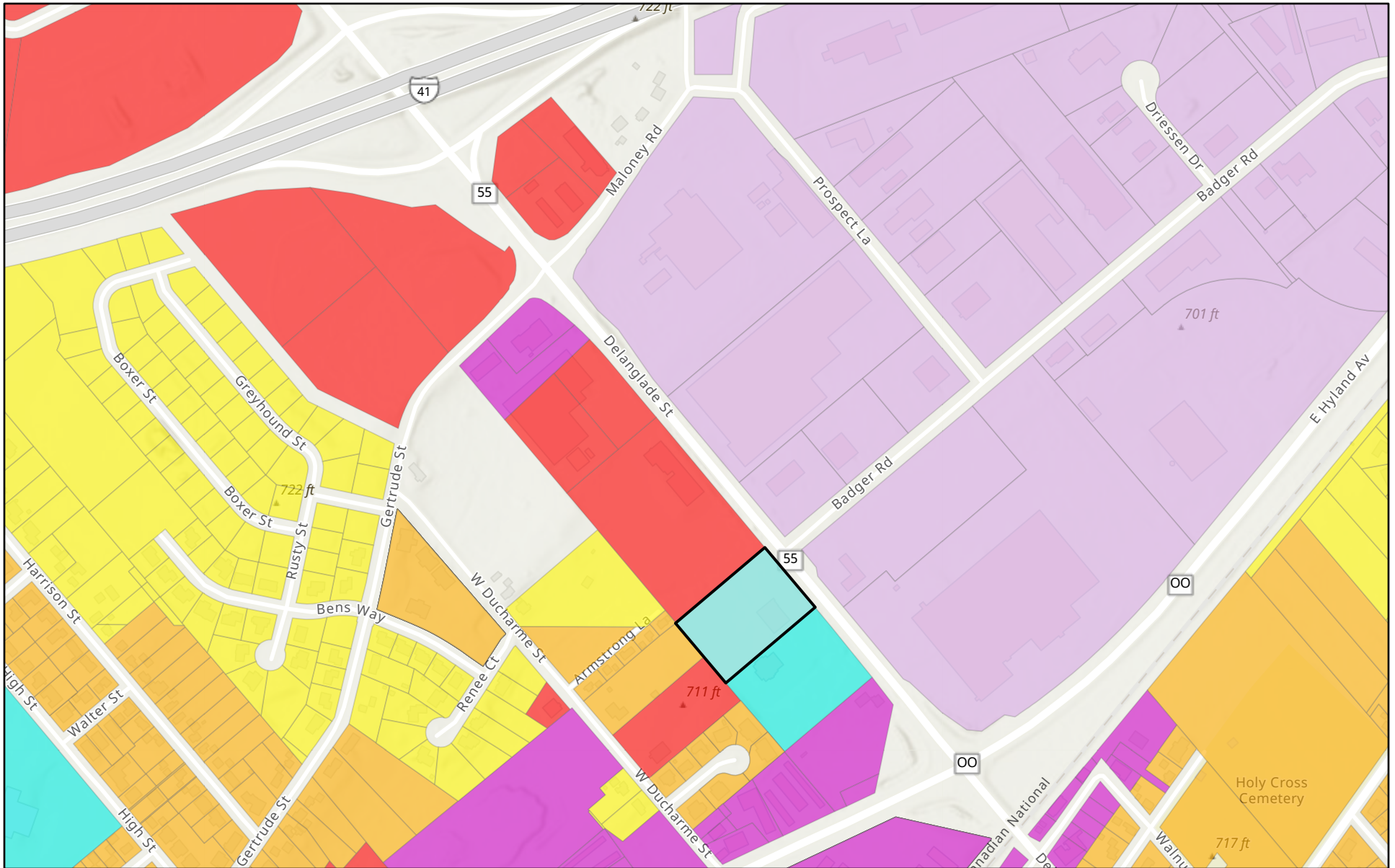
Please see map on next page for surrounding zoning and location reference.

**Staff Recommendation:**

Approval of the rezoning of parcel 322075102, located at 1011 Delanglade Street, from Institutional District (IT) to Industrial District (IND) and recommend the same to council.







# ArcGIS Web Map

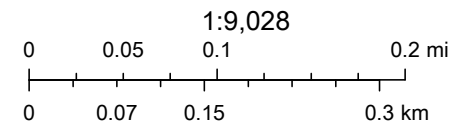
Item 4.a.



9/3/2023, 10:10:47 PM

Zoning Districts

- |   |                                 |   |                       |
|---|---------------------------------|---|-----------------------|
|  | Commercial Highway (CHD)        |  | Industrial (IND)      |
|   | Residential Single Family (RSF) |    | Institutional (IT)    |
|   | Residential Two Family (RTF)    |  | Industrial Park (IPD) |



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ArcGIS Web AppBuilder

Esri, NASA, NGA, USGS, FEMA | Esri Community Maps Contributors, County of Outagamie, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA |



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
 From: Associate Planner Lily Paul  
 Date: September 1, 2023  
 Re: Special Exception Request – The Reserve, parcel

A special exception request has been submitted by Jim Borris, for the construction of a mixed use residential/medical facility. The project proposed is to build an ~86,248 square foot senior living facility. The facility will have ~179 units for age restricted residency. 24 of those units will be memory care, 66 will be assisted living, and 89 will be independent living. On the base floor of the facility will be a myriad of uses and amenities including: a bistro pub, theatre, spa, chapel, therapy center, and health care services.

In addition to the main building, a childcare center will be located on the southern portion of the site as a stand alone building. Surface parking is available for staff and residents with vehicles.

The property is zoned Commercial Highway District (CHD) and is within the Commerce Crossing Commercial Park. The proposed use and dimensions adhere to the City of Kaukauna's Comprehensive Plan. The proposed dimensions adhere to the City of Kaukauna's Zoning Code, and the use is allowed by special exception.

*On October 20<sup>th</sup>, 2021, a variance was granted for the height of the facility. Within the Commercial Highway District (CHD) heights cannot exceed 45 feet. The proposed facility reaches a height of 52 feet and was granted a variance for the extra height. While the variance was granted for a similar project and a different developer, variances will always stay with the property.*

### Special Exception Permit

When reviewing a Special Exception Application, pursuant to Section 17.47 (4)(a-f), the following shall be found:

- (a) That establishment, maintenance, or operation of the special exception use or structure will not be detrimental or injurious to the use and enjoyment of adjacent properties or properties in the immediate vicinity.**

The proposed facility will not be detrimental to surrounding uses and will in fact be a boon to the immediate area and the community. Elderly living facilities are in high demand and in order to keep our elderly residence living locally, we need high quality facilities of this nature.

**(b) That the special exception is compatible with the adjacent existing uses and structures or uses and structures likely to develop which are permitted in the district.**

The proposed facility is compatible with adjacent uses. Aurora Urgent Care and Health Center are located across Arbor Way, while other commercial services are located on the north Side of Evergreen Drive. A residential/medical facility will be compatible with these uses.

**(c) That adequate public facilities and services are available to the development.**

There are adequate public facilities.

**(d) That adequate measures are taken to provide for drainage.**

A pond to the north serves as drainage/stormwater for the site. Staff sees no immediate issues with drainage and the developer will submit a stormwater management plan.

**(e) That ingress and egress to the property is provided in such a manner as to minimize traffic hazards and congestion.**

With three points of ingress egress, this site will have adequate traffic flow.

**(f) That adequate parking and loading areas are provided.**

There is sufficient parking and unloading areas with 125 parking stalls and two large passenger loading and unloading areas. The City of Kaukauna Zoning Code does not have a specific off-street parking requirement for this type of use.

Pursuant to Section 17.32 (7)(a) "parking requirements for a use not specified shall be the same as required for a use of similar nature."

A hospital requires one parking space per three beds. Due to the health care-oriented nature of the proposed facility, it is staff's opinion that the hospital parking requirements shall be used.

**Recommendation:**

**Staff recommends approval of the special exception permit allowing the construction of a Residential/Medical facility within the Commercial Highway District (CDH), finding the exception to meet the six criteria outlined in Section 17.47 (4)(a-f) of the Kaukauna Zoning Code with the following conditions:**

- 1. A stormwater management plan is submitted and approved by staff prior to issuance of building permits.**





UPDATED 3.21.2022



## CITY OF KAUKAUNA PLAN COMMISSION

### APPLICATION FOR REVIEW

I am requesting a:

Zoning Change



Special Exception Permit

Certified Survey Map Review

Subdivision Plat Review

#### Petitioner Information:

Name: JFB Enterprises, LLC By: James F. Boris, Managing Member

Address: N58W33138 Township Road M, Nashotah, WI 53058

Phone Number: 414-405-1162

Owner's Name (if not the petitioner):

Owner's Address:

Address of Parcel in Question: 1400 Arbor Way, Kaukauna, WI 54130

Property Dimensions (in either SF or Acres): 12.8985 +/- Acres being Lots # 1 & 2

Explain your proposed plans and what you are requesting the Plan Commission approve.

Please also note if there are existing structures on this property: No

I am requesting a Special Exemption Permit to allow "Medical Residential Use"

**Additional Requirements:** For Certified Survey Map and Subdivision Plat Review, professionally drawn maps are required to be submitted. These maps must include all structures, lot lines and streets with distances to each. For Subdivision Plat Review, the proposed street system must be indicated on the face of the preliminary plat to indicate, within a 2,000 foot radius from the exterior border of the plat, how the proposed streets will tie into the existing street system. Maps should be drawn to a scale of not less than 1":1,000'. For Zoning Change requests that would result in split zoning (or two zoning classifications on one parcel), a professionally drawn map meeting the standards above is also required. Additional information may also be requested as may be appropriate per the proposal being made.

**Plan Commission Review Fee Schedule:**

Lot Division by Certified Survey Map (1-4 lots)	\$10/lot based on total lots
Subdivision Review (5+ lots)	\$200
Special Exception Permit	\$100 ✓
Rezoning/Zoning Change	\$100
Variance to Subdivision Ordinance	\$50
Planned Unit Subdivision Ordinance	\$200

**Please Note:** Changes to zoning ordinances, special exception permits and map/plat reviews often require action by multiple governmental bodies. Between multiple meetings and statutory requirements for public hearings and noticing of meetings, sometimes reviews and authorizations can take more than 30 days. Please let staff know of your request as early as possible if you have a specific deadline that you need Plan Commission authorization by.

**Signature of Petitioner:** By: James F. Boris



**Signature of Owner (if not Petitioner):**

**Date Submitted to City of Kaukauna:** July 20, 2023

Please submit by email to: [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org) or by mail to City of Kaukauna, Attn: Plan Commission, P.O. Box 890, Kaukauna, WI 54130



# MEMO

## PLANNING AND COMMUNITY DEVELOPMENT

To: Plan Commission  
From: Associate Planner Lily Paul  
Date: September 1, 2023  
Re: Site Plan Review – TANN Investments LLC; NEW Prosperity Center

### Site Plan Review

#### *Site/Architectural*

This site plan is adhering to all setbacks within the Industrial (IND) zone and the protective covenants. A 52,380 square foot and 139 feet tall building is proposed for the purpose of design and manufacturing of thermal oxidizers. There is an office in the front of the building and the fabrication shop directly behind. There will be 79 parking spots which meets code requirements. The façade of the building will be concrete masonry.

#### *Landscape*

Landscaping plan features a variety of maple and oak canopy trees spread throughout the site, and a few planting islands within the parking areas. There is landscaping adjacent to the building as well with shrubs and perennial plants such as dogwood, sumac, reed grass, and black-eyed susan.

#### *Lighting*

There is ample lighting evenly placed on the exterior of the building with a max foot-candle of 12.5 and average foot-candle of 0.53. There is no light impeding on neighboring properties or public streets as the average foot-candle on the perimeter of the property is 0.0.

#### *Stormwater*

The developer will work with Engineering Department to complete Erosion Control and Stormwater Management permitting.

### **Recommendation:**

**Staff recommends to approve the site plan for TANN with the following conditions:**

- **Prior to issuance of building permits, must obtain Stormwater and Erosion Control permits from Engineering Department**
- **Provide documentation of wetland permitting**



## SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: TANN Investments, LLC	Name: REI Engineering, Inc.
Mailing Address: 2300 Northridge Drive, Kaukauna, WI 54130	Mailing Address: 4080 N. 20th Avenue, Wausau, WI 54401
Phone: (920) 766-3600	Phone: (715) 675-9784
Email: mfritsch@tanncorporation.com	Email: gwagner@reiengineering.com

PROPERTY INFORMATION	
Described the Proposed Project in Detail: Construction of a new industrial building with associated parking lots, loading areas and driveways on a 8.15 acre property with the City of Kaukauna's Industrial Park.	
Property Parcel (#): 322112100	
Site Address/Location: 350 Oak Grove Road	
Current Zoning and Use: IND - Industrial	
Proposed Zoning and Use: IND - Industrial	
Existing Gross Floor Area of Building: N/A	Proposed Gross Floor Area of Building: 52,380
Existing Building Height: N/A	Proposed Building Height: <del>43'-7.5"</del> 39 feet
Existing Number of Off-Street Parking Spaces: N/A	Proposed Number of Off-Street Parking Spaces: 79
Existing Impervious Surface Coverage Percentage: 0%	Proposed Impervious Surface Coverage Percentage: 43%

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: 

Owner/Agent Name (printed): MATTHEW D. FRITSCH

## SITE PLAN REVIEW PROCEDURE

The Plan Review process is required for all new commercial, industrial or multifamily buildings, and building expansions/additions or structures.

Early in the process, consult the Site Application Checklist (below) for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed Site Plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various City departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

## SITE PLAN CHECKLIST

- ✓ Completed Site Plan application
- ✓ Completed Erosion Control and Stormwater Management Permit application and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site Plan set to include:
  - Site Plan layout and streets, including designated fire lanes
  - Utilities, grading, and drainage plan
  - Erosion control plan
  - Landscape and lighting plan
  - Architectural elevation and construction details
  - Floor plan set
  - Any other plans or information deemed necessary by the Planning and Community Development

## SITE PLAN SUBMISSION

1. Email to Lily Paul - [lpaul@kaukauna-wi.org](mailto:lpaul@kaukauna-wi.org)
2. In-person drop off - City of Kaukauna, Attn: Lily Paul, 144 W. 2nd Street, Kaukauna, WI 54130



DRAWING FILE: P:\9800-9899\9874 - TANN CORP - LOT 5 IND PARK\DWG\ANS\9874-C001-TITLE.DWG LAYOUT: C001  
PLOTTED: AUG 31, 2023 - 3:45PM PLOTTED BY: GREG

INDEX OF SHEETS

SHEET C001	TITLE SHEET
SHEET C010	EXISTING SITE CONDITIONS
SHEET C100	SITE PLAN
SHEET C200	GRADING & EROSION CONTROL PLAN
SHEET C201	SPOT DETAIL PLAN
SHEET C300	UTILITY PLAN
SHEET C400	LANDSCAPE PLAN
SHEET C401	LANDSCAPE DETAILS
SHEET C800	SITE DETAILS
SHEET C810	EROSION CONTROL DETAILS
SHEET C820	UTILITY DETAILS
SHEET C900	SITE SPECIFICATIONS

TOTAL SHEETS = 12

LIST OF STANDARD ABBREVIATIONS

&	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
CB	CATCH BASIN
CMAC	CORRUGATED METAL ARCH CULVERT
CMBC	CORRUGATED METAL BOX CULVERT
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC.	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DGB	DENSE GRADED BASE
DIP	DUCTILE IRON PIPE
D/S	DOWNSTREAM
(E)	EAST
ELEV.	ELEVATION
EOG	EDGE OF GRAVEL
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
F.O.	FIBER OPTIC
INL	INLET
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
IE	INVERT ELEVATION
LF	LINEAL FEET
LP	LOW POINT
MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
PE	POLYETHYLENE PIPE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	REINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST

REVIEW PLANS FOR:  
TANN CORPORATION  
CITY OF KAUKAUNA, OUTAGAMIE COUNTY, WISCONSIN



TITLE WORK REQUIRED  
TITLE WORK FOR THE PROJECT SITE  
WAS NOT PROVIDED TO REI FOR  
REVIEW, THEREFORE REI WAS  
UNABLE TO VERIFY THE EXISTENCE  
OF EASEMENTS OR USE  
ENCUMBRANCES.

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



TOLL FREE: 811 OR (800) 242-8511  
HEARING IMPAIRED: TDD (800)542-2289  
EMERGENCY ONLY: (877) 500-9592  
WWW.DIGGERSHOTLINE.COM

LEGEND	
	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL=1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL=1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED DRAINAGE SWALE

**CITY OF KAUKAUNA ENGINEERING**  
144 W. SECOND STREET  
P.O. BOX 890  
KAUKAUNA, WISCONSIN 54130  
(920) 766-6305

**KAUKAUNA PUBLIC WORKS**  
207 REAUME AVENUE  
P.O. BOX 890  
KAUKAUNA, WISCONSIN 54130  
(920) 766-6337

**WISCONSIN DEPARTMENT OF NATURAL RESOURCES**  
625 E COUNTY ROAD Y, SUITE 700  
OSHKOSH, WISCONSIN 54901-9731  
(920) 424-7885

**OWNER:**  
**TANN CORPORATION**

**SURVEYOR:**  
**REI ENGINEERING, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784

**ENGINEER:**  
**REI ENGINEERING, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WI 54401  
(715) 675-9784  
PROJECT MANAGER  
JIM J. BORYSENKO, P.E.

**APPROVING AUTHORITIES:**  
CITY OF KAUKAUNA  
WDNR  
DSPS

**REI Engineering, INC.**  
4080 N. 20TH AVENUE  
WAUSAU, WISCONSIN 54401  
PHONE: 715.675.9784 FAX: 715.675.4060  
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**

NO SCALE

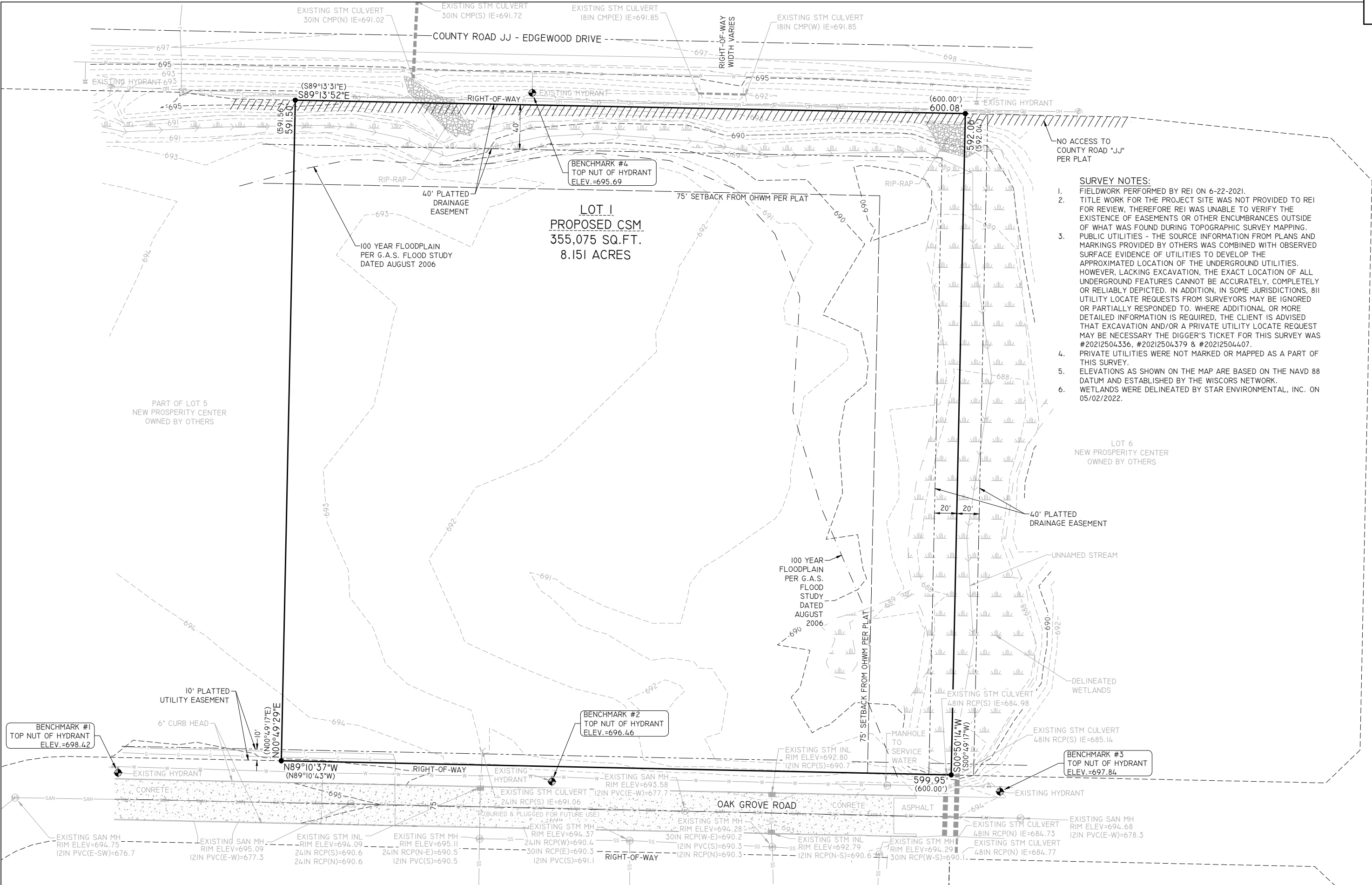


DATE	REVISION	BY	CHKD	SURVEYED BY: JLR,JJM	DESIGNED BY: GSW	SURVEY DATE: 06/22/21
				SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 08/31/23
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

**TITLE SHEET**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN

**REI**  
REI No. 9874  
SHEET C001

Item 4.c.



- SURVEY NOTES:**
1. FIELDWORK PERFORMED BY REI ON 6-22-2021.
  2. TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY MAPPING.
  3. PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY THE DIGGER'S TICKET FOR THIS SURVEY WAS #20212504336, #20212504379 & #20212504407.
  4. PRIVATE UTILITIES WERE NOT MARKED OR MAPPED AS A PART OF THIS SURVEY.
  5. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCORS NETWORK.
  6. WETLANDS WERE DELINEATED BY STAR ENVIRONMENTAL, INC. ON 05/02/2022.

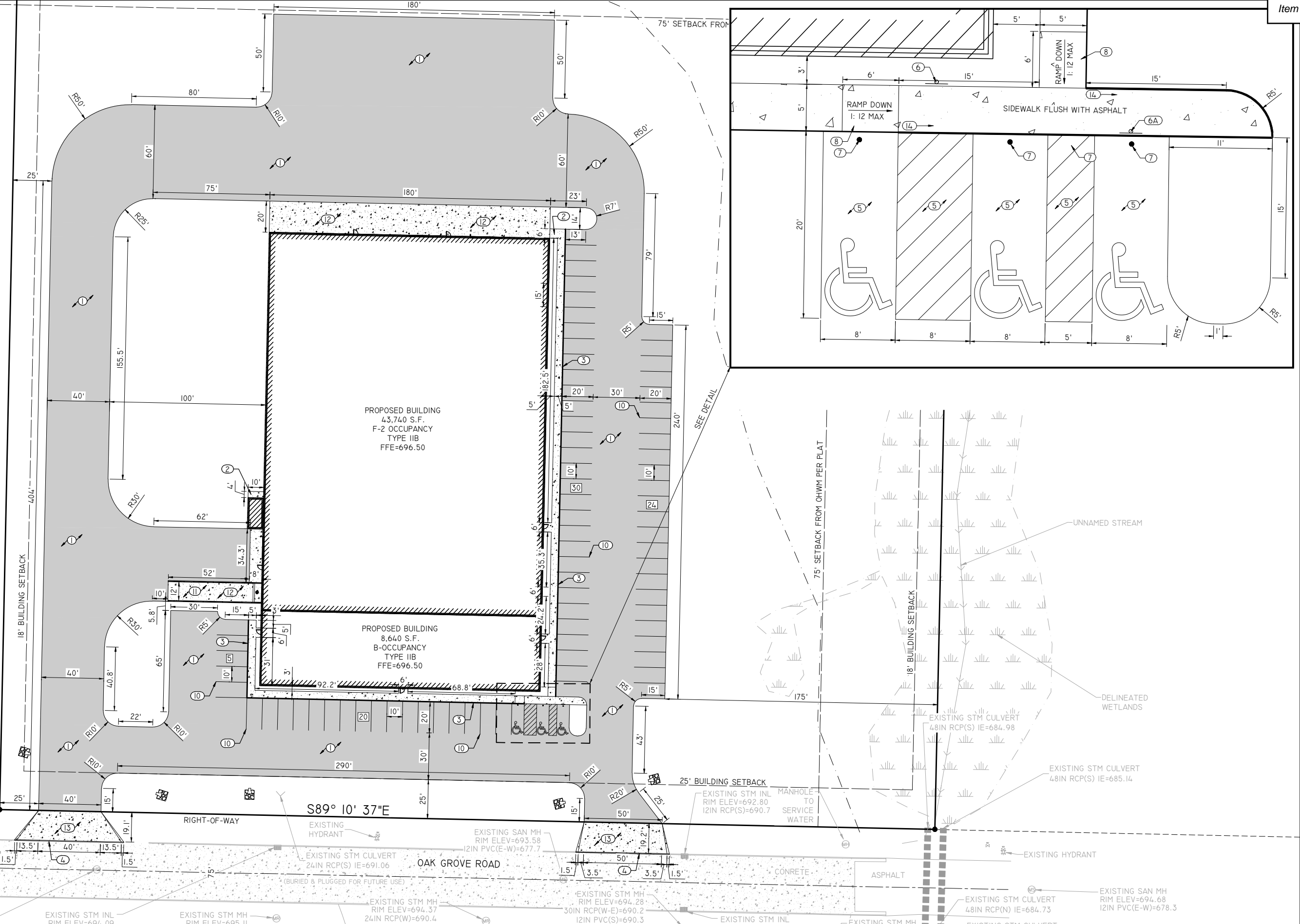
DRAWING FILE: P:\9800-9899\9874 - TANN CORP - LOT 5 IND PARK\DWG\PLANS\9874-C010-EXISTING.DWG LAYOUT: C010  
PLOTTED: AUG 31, 2023 - 3:45PM PLOTTED BY: GREG

KEYED NOTES

- HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL A/C800.
- 4" CONCRETE SIDEWALK. SEE DETAIL B/C800.
- SIDEWALK WITH INTEGRAL CURB. SEE DETAIL C/C800.
- CURB CUT FOR DRIVEWAY ENTRANCE. REMOVE EXISTING CURB HEAD.
- HANDICAP PARKING SPACES & STRIPING. SEE DETAIL D/C800.
- VAN ACCESSIBLE HANDICAP SIGN WITH DOUBLE ARROW. SEE DETAIL E/C800.
- HANDICAP SIGN. SEE DETAIL E/C800.
- PROPOSED BOLLARD. SEE DETAIL F/C800.
- SIDEWALK RAMP @ 1:12 SLOPE MAX.
- NOT USED.
- PAINTED STRIPING, YELLOW. (TYPICAL)
- PROPOSED TRUCK RAMP.
- PROPOSED 6" CONCRETE PAVEMENT. SEE DETAIL G/C800.
- CONCRETE DRIVEWAY APRON. SEE DETAIL H/C800.
- SIDEWALK FLUSH WITH PAVEMENT.

NOTES:

- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, S89°10'37"E, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

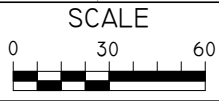


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**REI**

**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**



DATE	REVISION	BY	CHKD

SURVEYED BY: JLR, JJM	DESIGNED BY: GSW	SURVEY DATE: 06/22/21
SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 08/31/23
SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

**SITE PLAN**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN

**REI**  
REI No. 9874  
SHEET C100



KEYED NOTES

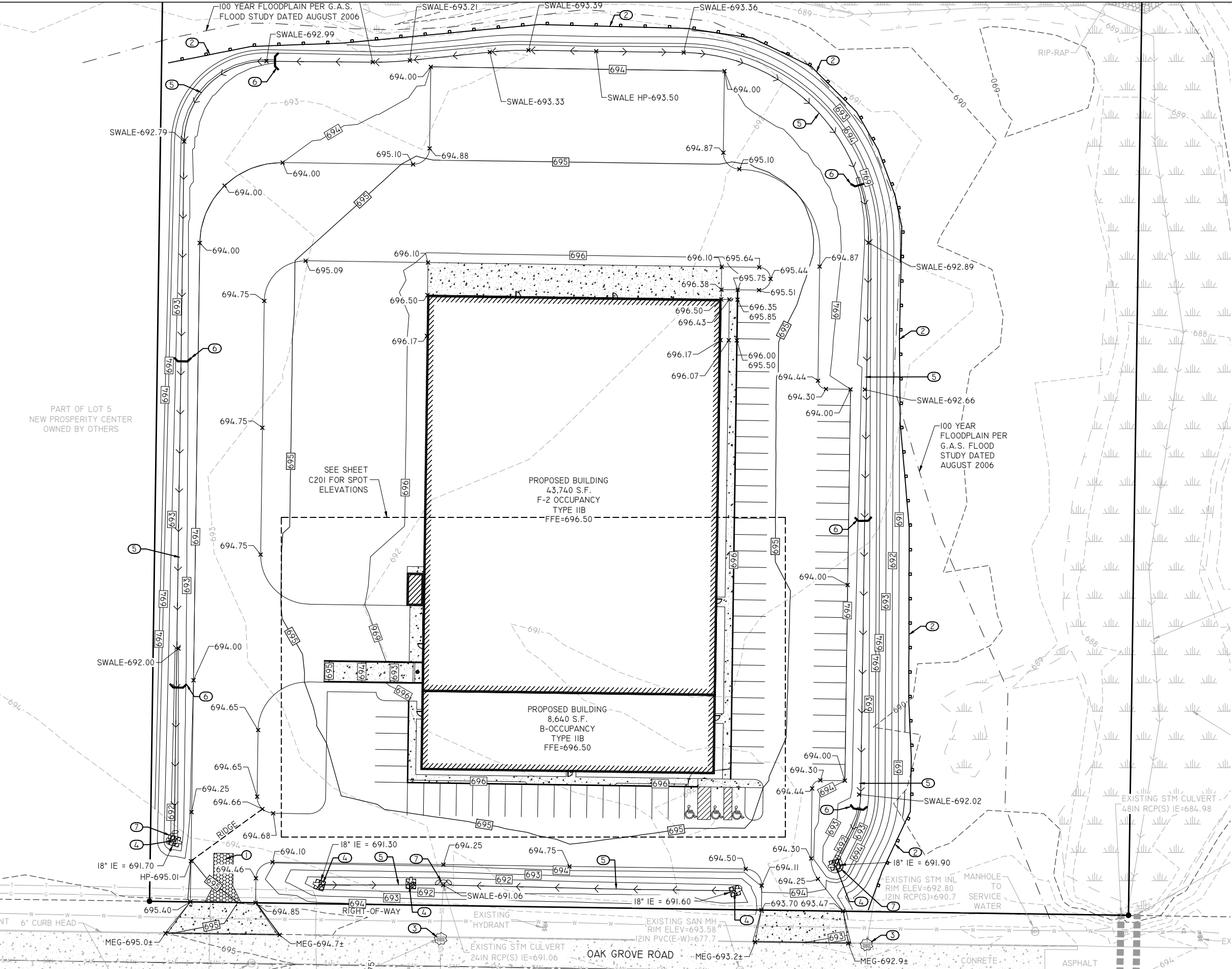
1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/C810.
2. INSTALL SILT FENCE. PROVIDE DOUBLE ROW OR TIE BACKS WHEN ADJACENT TO WETLANDS. SEE DETAIL B/C810.
3. PROVIDE INLET PROTECTION. SEE DETAIL C/C810.
4. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL D/C810.
5. CONSTRUCT VEGETATED DRAINAGE SWALE. SEE DETAIL E/C810.
6. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL F/C810.
7. PROVIDE CULVERT PROTECTION. SEE DETAIL G/C810.

SUGGESTED SEQUENCING:

- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE AND INLET / CULVERT PROTECTION ON EXISTING STORM STRUCTURES
- ROUGH GRADING
- INSTALL DITCH CHECKS IN SWALES
- BUILDING CONSTRUCTION
- SITE UTILITY INSTALLATION
- INSTALL CULVERT PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PARKING LOT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN ASPHALT 1" ABOVE GRASS.
- (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.
- (J) WETLANDS WERE DELINEATED BY STAR ENVIRONMENTAL, INC. ON 05/02/2022.



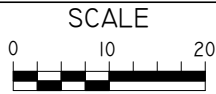
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PLOTTED: Aug 31, 2023 - 3:47PM PLOTTED BY: GREGW

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**REI**

**CIVIL & ENVIRONMENTAL  
ENGINEERING, SURVEYING**



DATE	REVISION	BY	CHKD	SURVEYED BY: JLR,JJM	DESIGNED BY: GSW	SURVEY DATE: 06/22/21
				SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 08/31/23
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: NAP

**SPOT DETAIL PLAN**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN

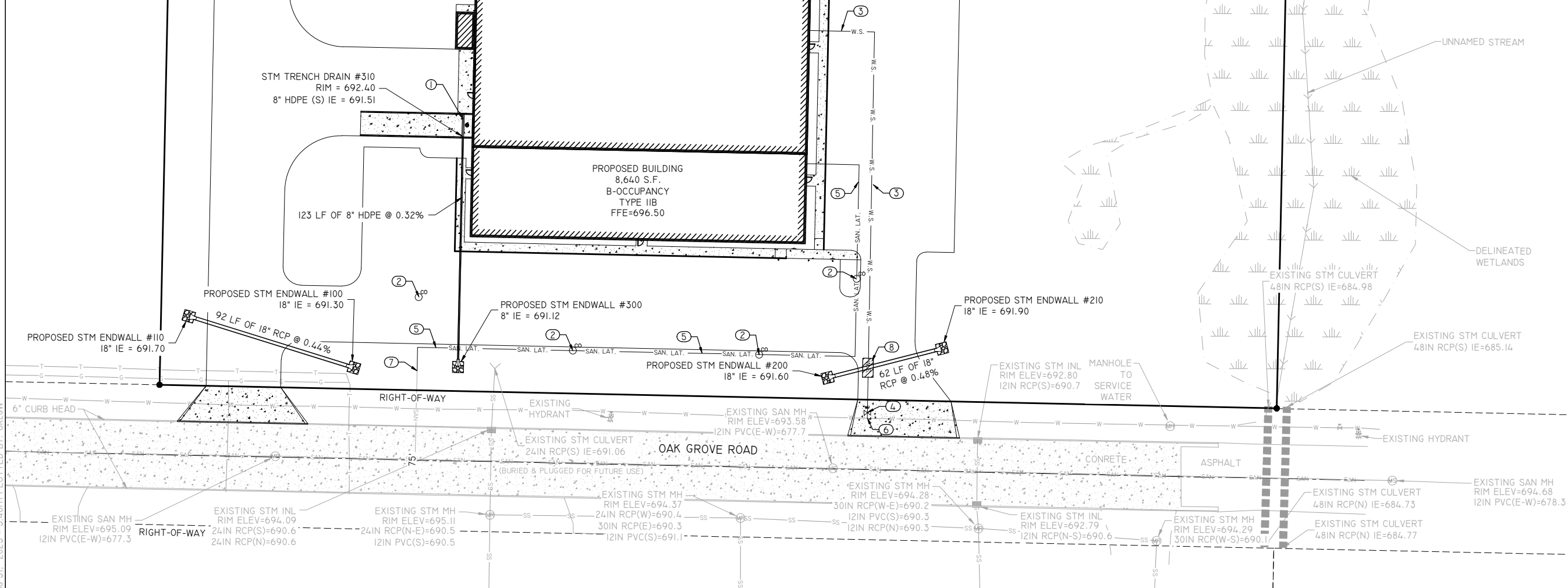
**REI**  
REI No. 9874  
SHEET C201

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PLOTTED: Aug 31, 2023 - 3:48PM PLOTTED BY: GREG W

PART OF LOT 5  
NEW PROSPERITY CENTER  
OWNED BY OTHERS

PROPOSED BUILDING  
43,740 S.F.  
F-2 OCCUPANCY  
TYPE IIB  
FFE=696.50

LOT 6  
NEW PROSPERITY CENTER  
OWNED BY OTHERS



## KEYED NOTES

1. INSTALL STORM TRENCH DRAIN. SEE DETAIL A/C820.
2. INSTALL 6" SANITARY CLEANOUT. SEE DETAIL B/C820.
3. INSTALL 243 LF OF 6" WATER SERVICE LATERAL.
4. INSTALL WATER GATE VALVE. SEE DETAIL C/C820.
5. INSTALL 379 LF OF 6" SANITARY SERVICE LATERAL @ 1.00% MINIMUM.
6. CONNECT TO EXISTING WATER MAIN WITH WET TAP AND TAPPING VALVE. SEE DETAIL D/C820.
7. CONNECT TO SANITARY STUB.
8. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL E/C820.

## NOTES:

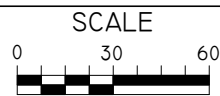
- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE REQUIRED HORIZONTAL AND VERTICAL PIPE SEPARATION BETWEEN SEWER AND WATER PIPES. SEE DETAIL F/C820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER, HORIZONTAL CLEARANCES ARE MEASURED FROM PIPE CENTER.
- (E) SEE DETAIL G/C820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

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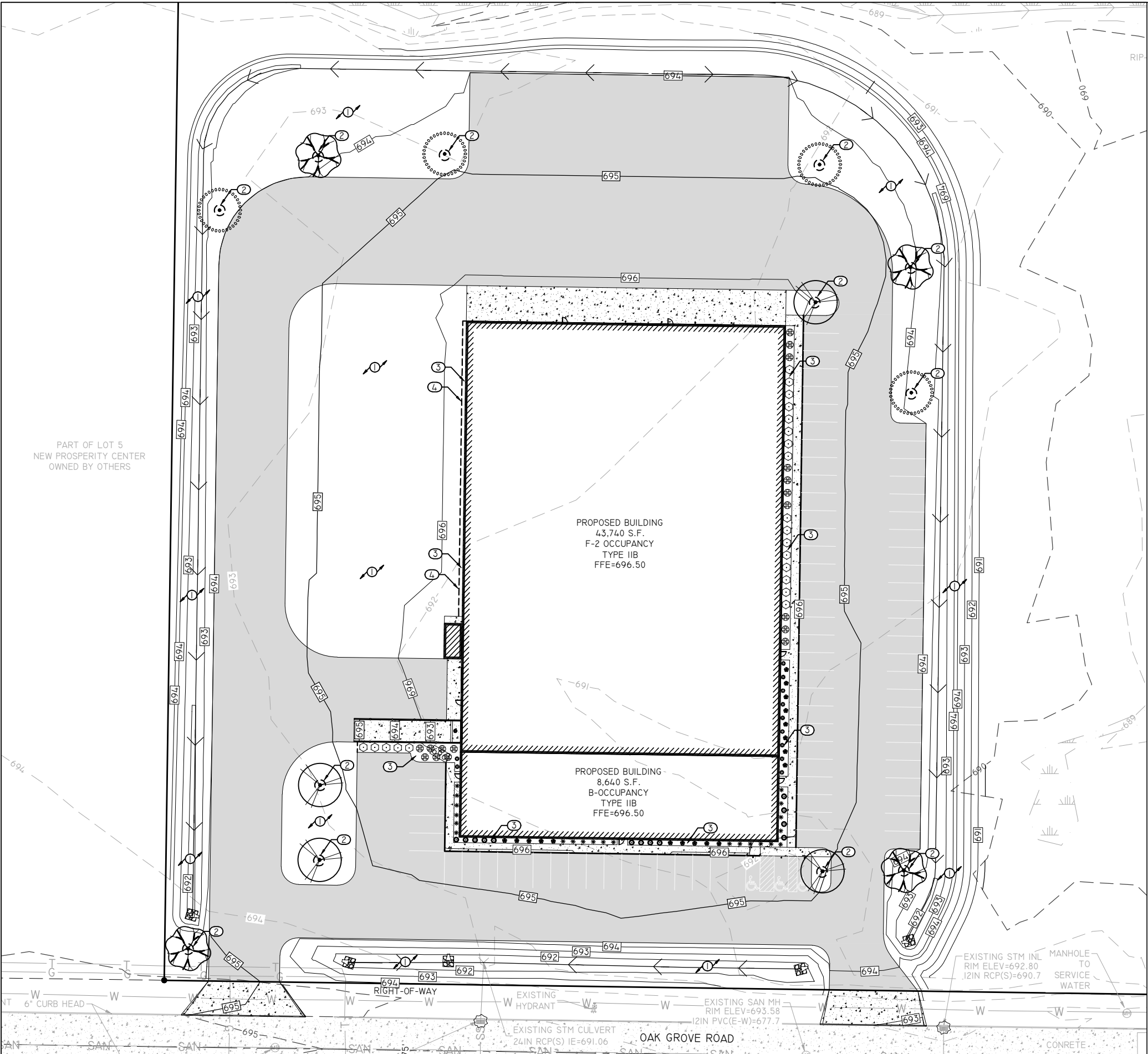


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				SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 08/31/23
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**UTILITY PLAN**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN



REI No. 9874  
SHEET C300












GENERAL NOTES:

- (A) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 5 WORKING DAYS PRIOR TO DEMOLITION, EXCAVATION OR ANY CONSTRUCTION ACTIVITY.
- (C) ALL PLANT MATERIAL SHALL BE GUARANTEED ONE (1) FULL YEAR UPON TOTAL COMPLETION OF PROJECT AND ACCEPTANCE BY OWNER, WITH A ONE TIME REPLACEMENT WARRANTY UPON REQUEST BY OWNER. WARRANTY EXPIRES AFTER FIRST FULL YEAR FOLLOWING PROJECT COMPLETION.
- (D) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 6" TOPSOIL DEPTH FOR ALL AREAS TO BE SEEDED/SODDED THROUGHOUT PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO SEED/SOD. TOPSOIL SHALL BE CLEAN AND FREE OF STONES, WEEDS AND OTHER UNDESIRABLE DEBRIS.
- (E) LANDSCAPE CONTRACTOR SHALL VERIFY MINIMUM 12" PLANTING SOIL DEPTH FOR ALL PROPOSED PLANTING BED AREAS THROUGHOUT THE PROJECT SITE. CONTRACTOR IS REQUIRED TO CORRECT ANY DEFICIENCIES PRIOR TO PLANT INSTALLATION. PLANTING SOIL & AREA SHALL BE CLEAN AND FREE OF STONES, WEEDS, CONCRETE WASTE AND OTHER UNDESIRABLE DEBRIS.
- (F) LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING TOPSOIL AND SEEDING OR SODDING ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING ALL R.O.W. AND ADJACENT PROPERTIES.
- (G) CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS AFTER LANDSCAPE CONSTRUCTION ACTIVITIES ARE COMPLETE AND APPROVED BY OWNER. \*THIS TO BE DONE DAILY AS DEEMED NECESSARY BY MUNICIPALITY.

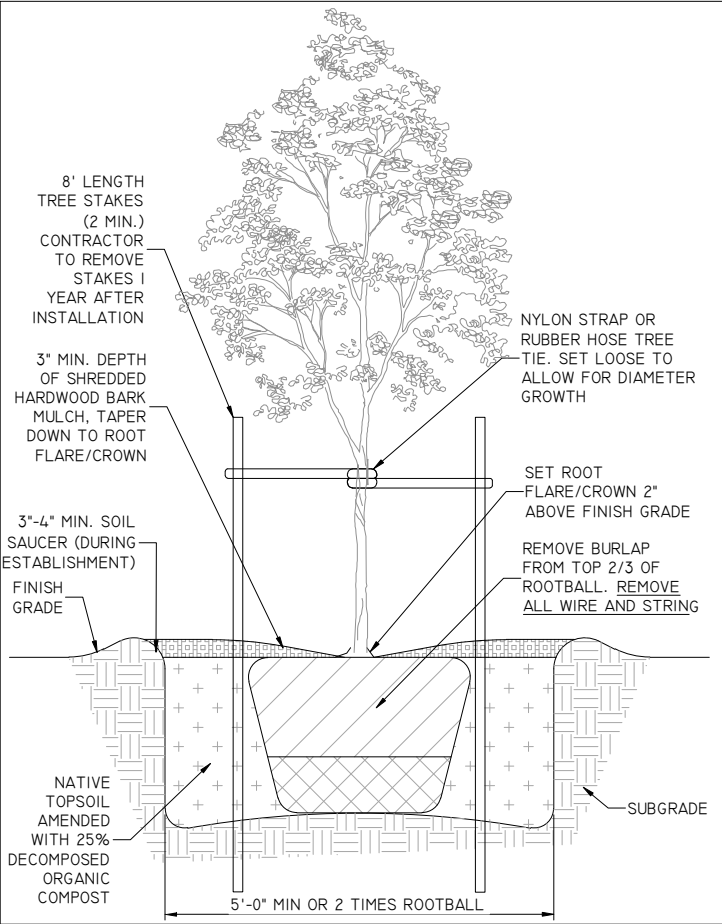
KEYED NOTES

- 1. GRASS SEED, FERTILIZER & MULCH (HYDROSEED), \*ALL AREAS NOTED ON PLAN & ALL DISTURBED AREAS DUE TO CONSTRUCTION ACTIVITY. REFER TO SHEET C200 (GRADING & EROSION CONTROL PLAN) FOR APPLICATION OF EMAT WITHIN SWALE BOTTOMS & SLOPED AREAS.
- 2. 6" DIAMETER WOOD MULCH TREE RING, 3"-4" DEPTH, DARK BROWN COLOR, \*ALL TREES PLANTED WITHIN SEEDED AREAS.
- 3. DECORATIVE STONE MULCH, 3"-4" ROUND COBBLES, 4"-5" DEPTH, WITH COMMERCIAL GRADE WEED BARRIER FABRIC UNDERLAYMENT.
- 6. ALUMINUM EDGING, CURV-RITE 200-SERIES, BRONZE COLOR.

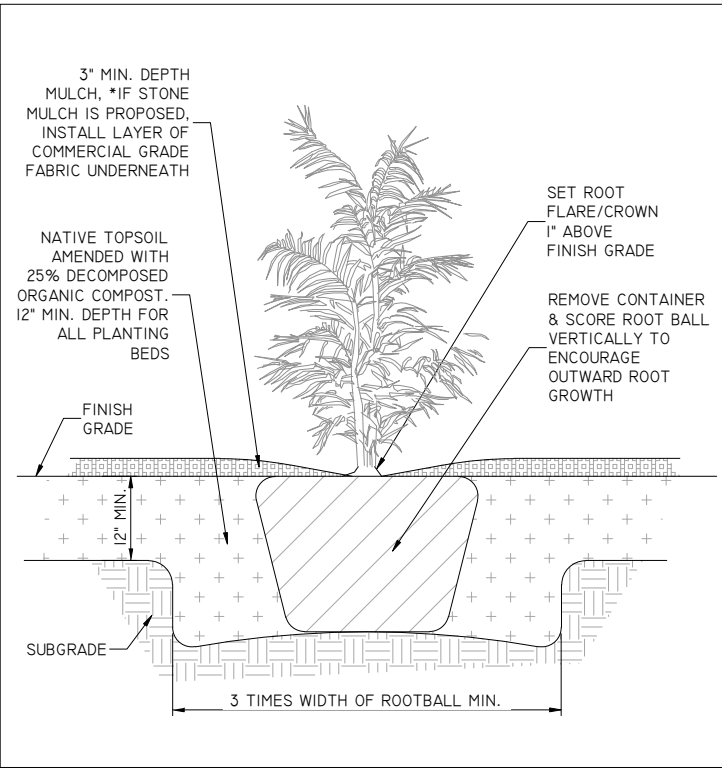
PLANT SCHEDULE

DECIDUOUS TREES	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	QTY
	Falla Fiesta® Sugar Maple	Acer saccharum 'Bailista'	2" Cal.	B&B	4
	Swamp White Oak	Quercus bicolor	2" Cal.	B&B	4
	Red Oak	Quercus rubra	2" Cal.	B&B	4
DECIDUOUS SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	QTY
	Arctic Fire® Red Twig Dogwood	Cornus sericea 'Farrow'	3 gal.	Pot	17
	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	3 gal.	Pot	21
PERENNIALS	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	QTY
	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.	Pot	22
	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 gal.	Pot	11
	Black-eyed Susan	Rudbeckia speciosa	1 gal.	Pot	18
	Prairie Dropseed	Sporobolus heterolepis	1 gal.	Pot	13

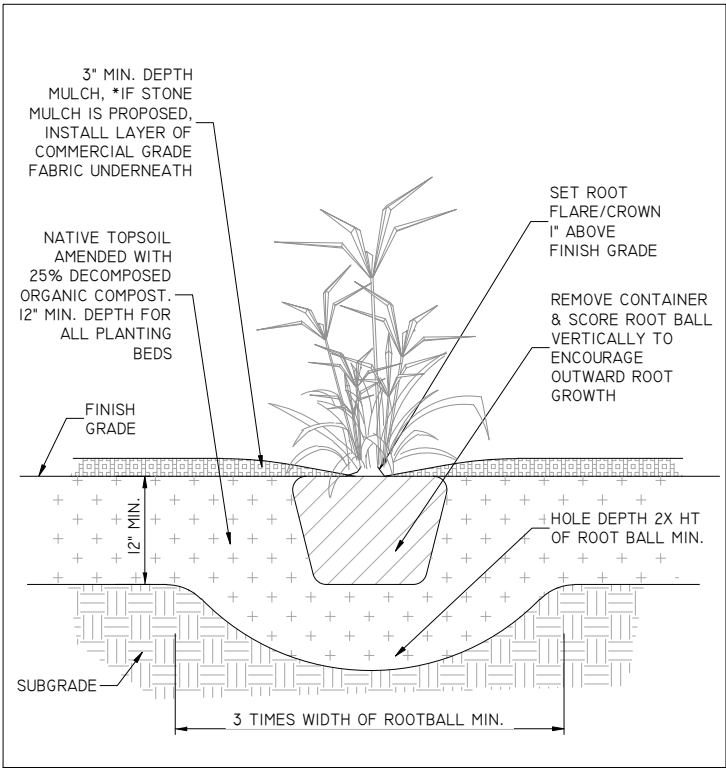
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PLOTTED: AUG 31, 2023 - 3:48PM PLOTTED BY: GREG



DECIDUOUS TREE - PLANTING DETAIL



SHRUB - PLANTING DETAIL



PERENNIAL - PLANTING DETAIL

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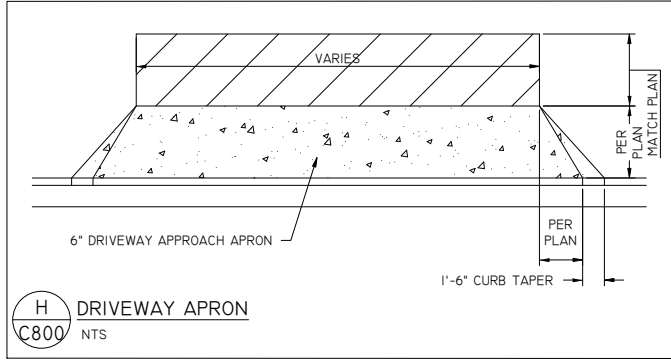
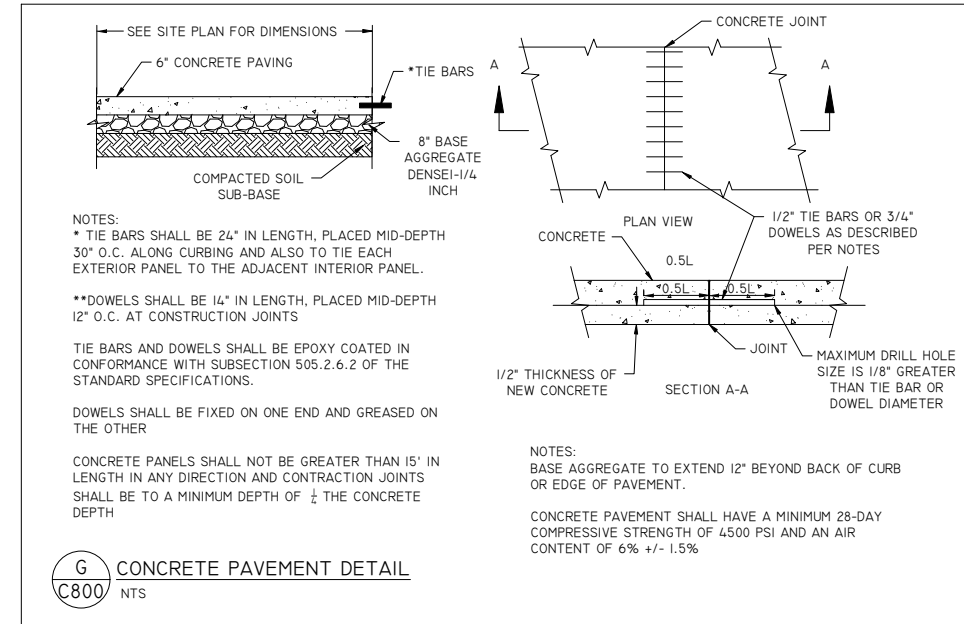
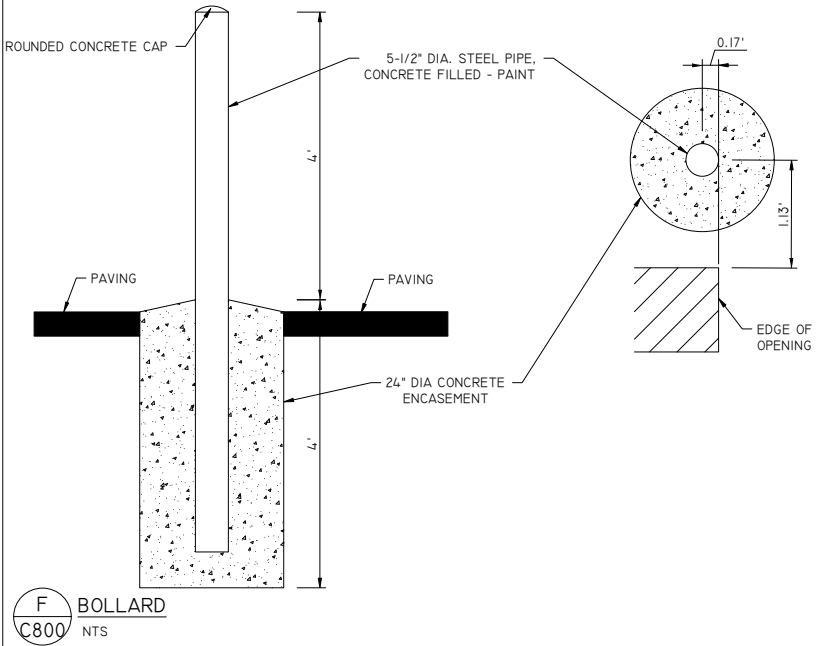
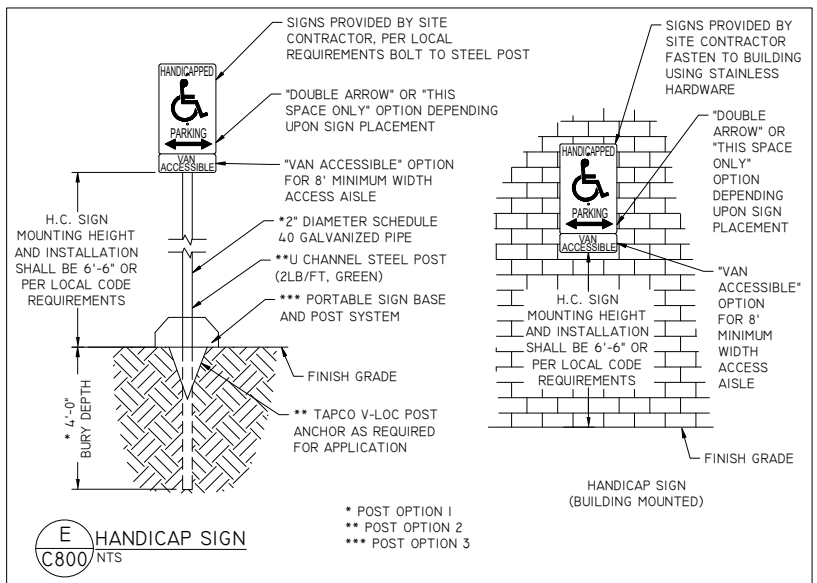
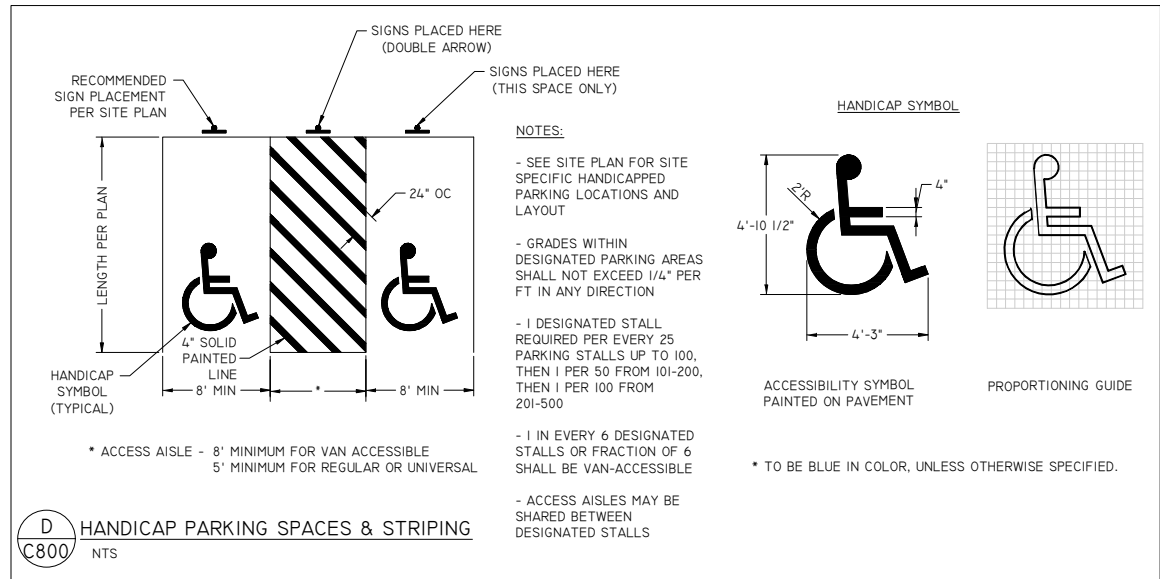
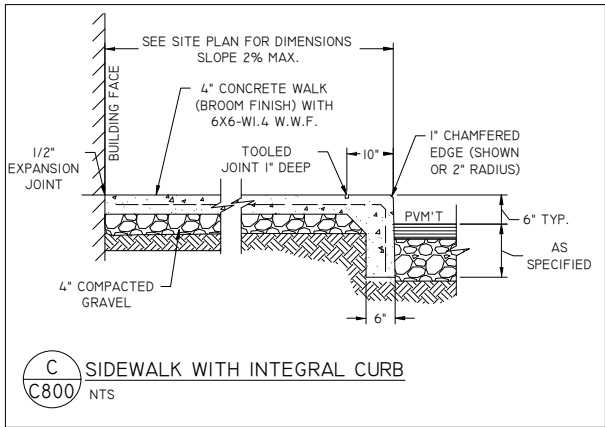
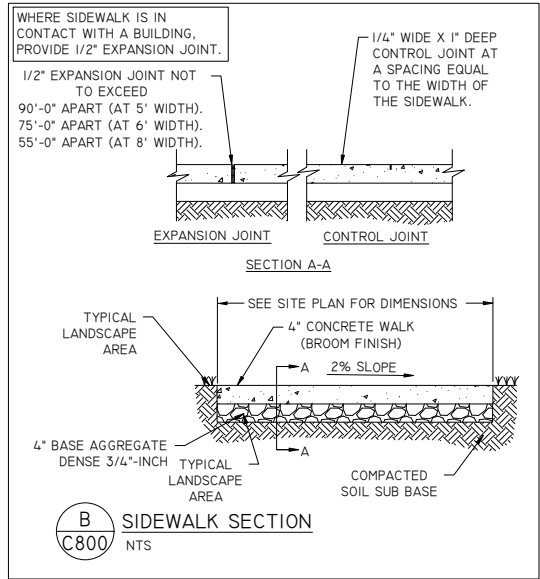
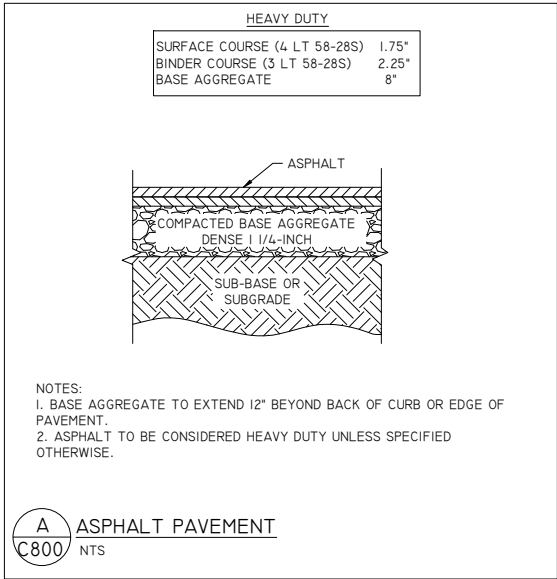
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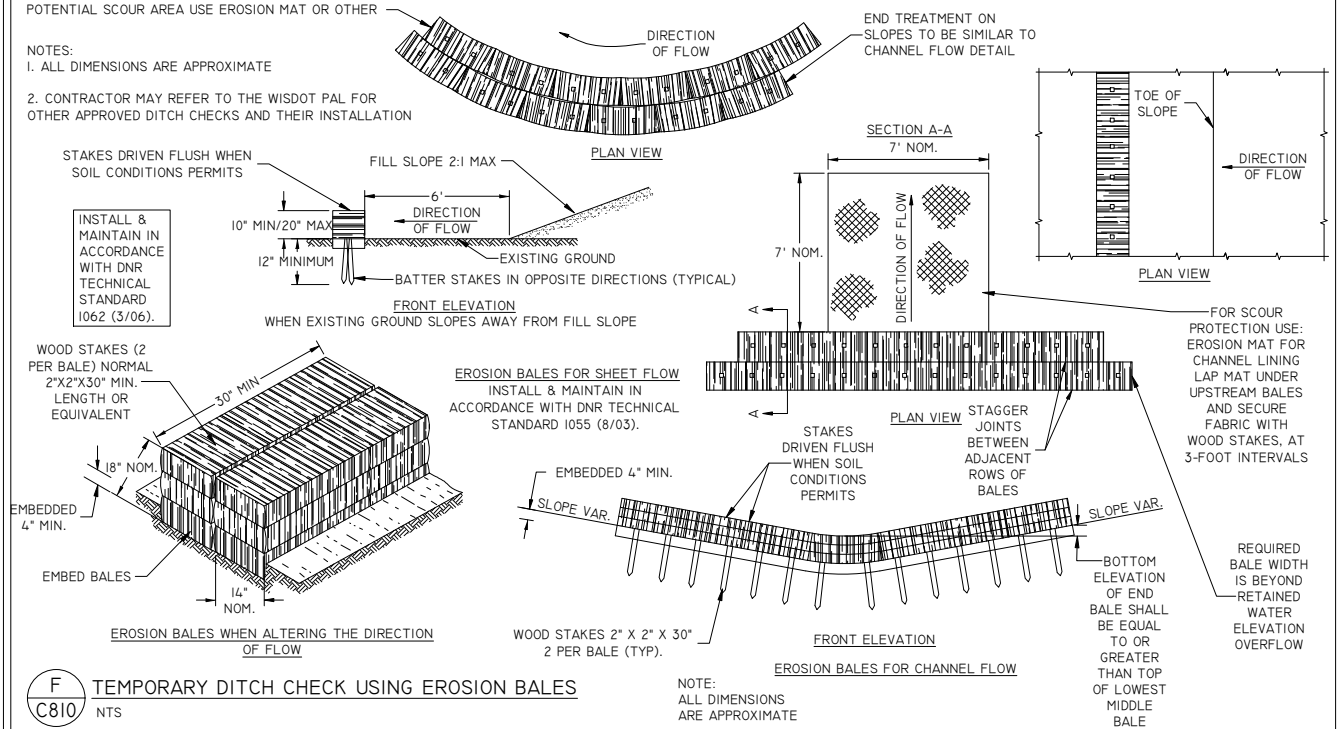
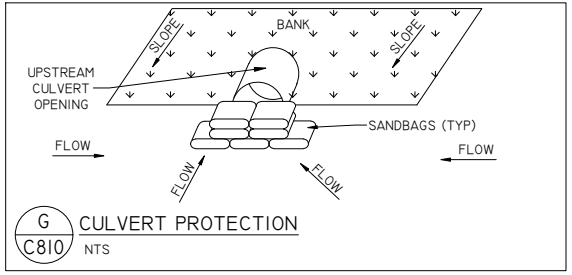
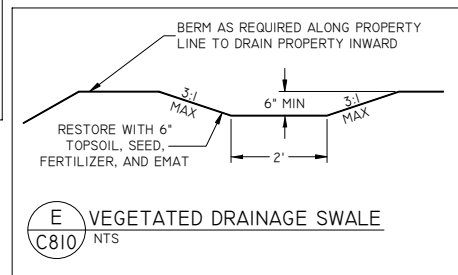
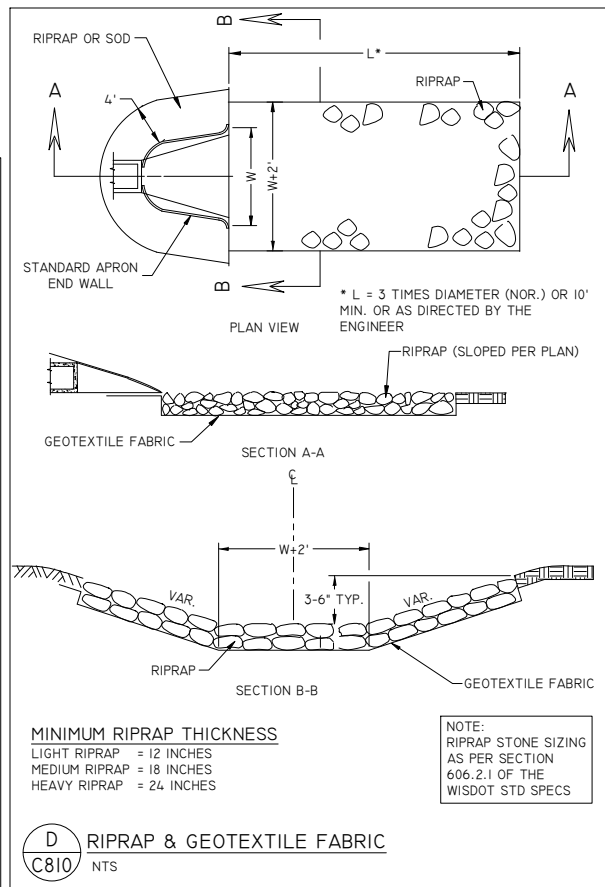
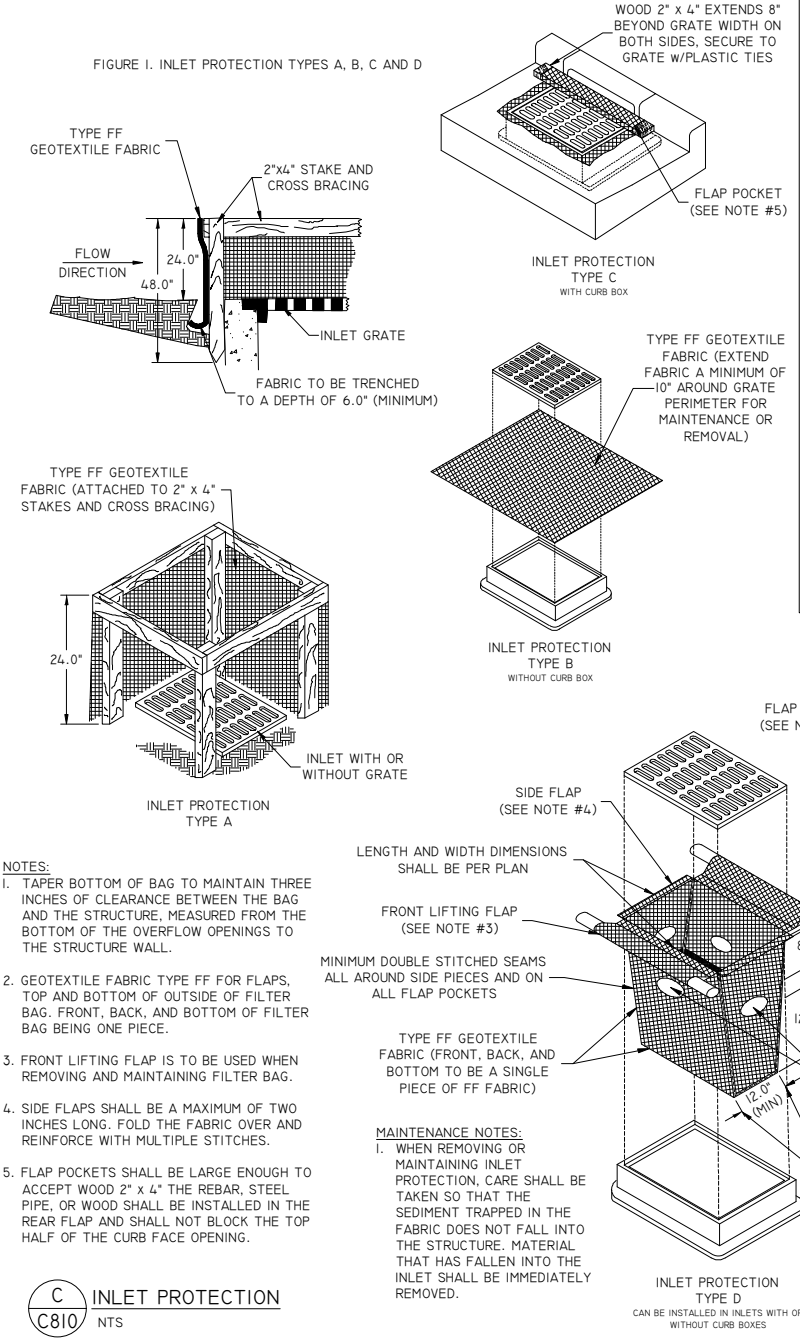
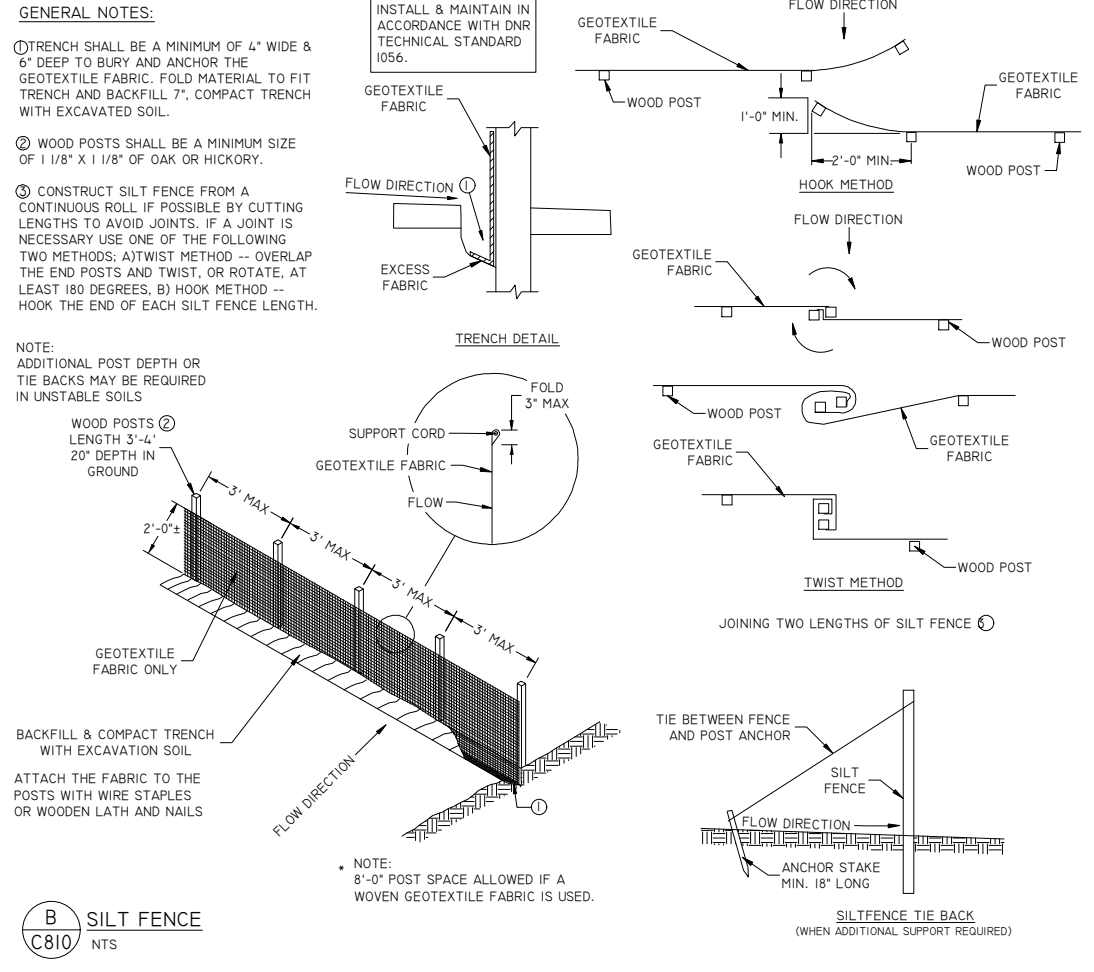
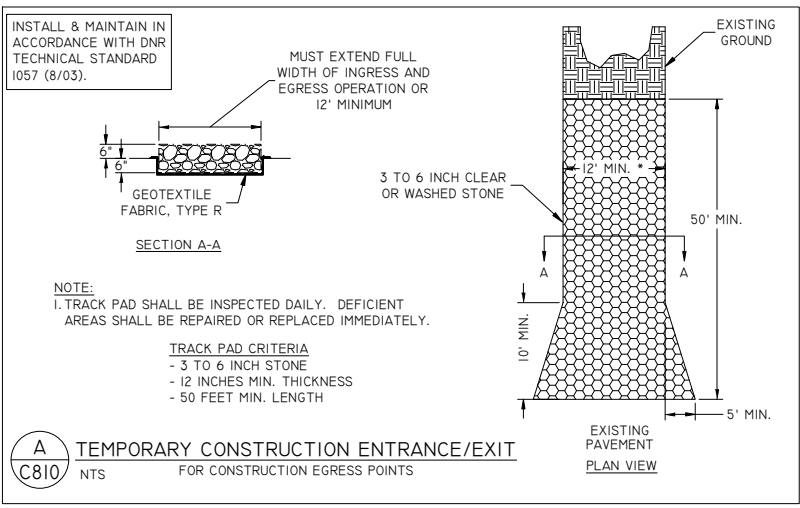
DATE	REVISION	BY	CHKD	SURVEYED BY: JLR,JJM	DESIGNED BY: GSW	SURVEY DATE: 06/22/21
				SURVEY CHKD BY: JWP	CIVIL CHKD BY: JJB	CIVIL DATE: 08/31/23
				SURVEY APVD BY: JWP	CIVIL APVD BY: JJB	DRAWN BY: KJS

**LANDSCAPE DETAILS**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN

**REI**  
REI No. 9874  
SHEET C401



DRAWING FILE: P:\9800-9899\9874 - TANN CORP - LOT 5 IND PARK\DWG\LANs\9874-C800-SITE DETAILS.DWG LAYOUT: C800  
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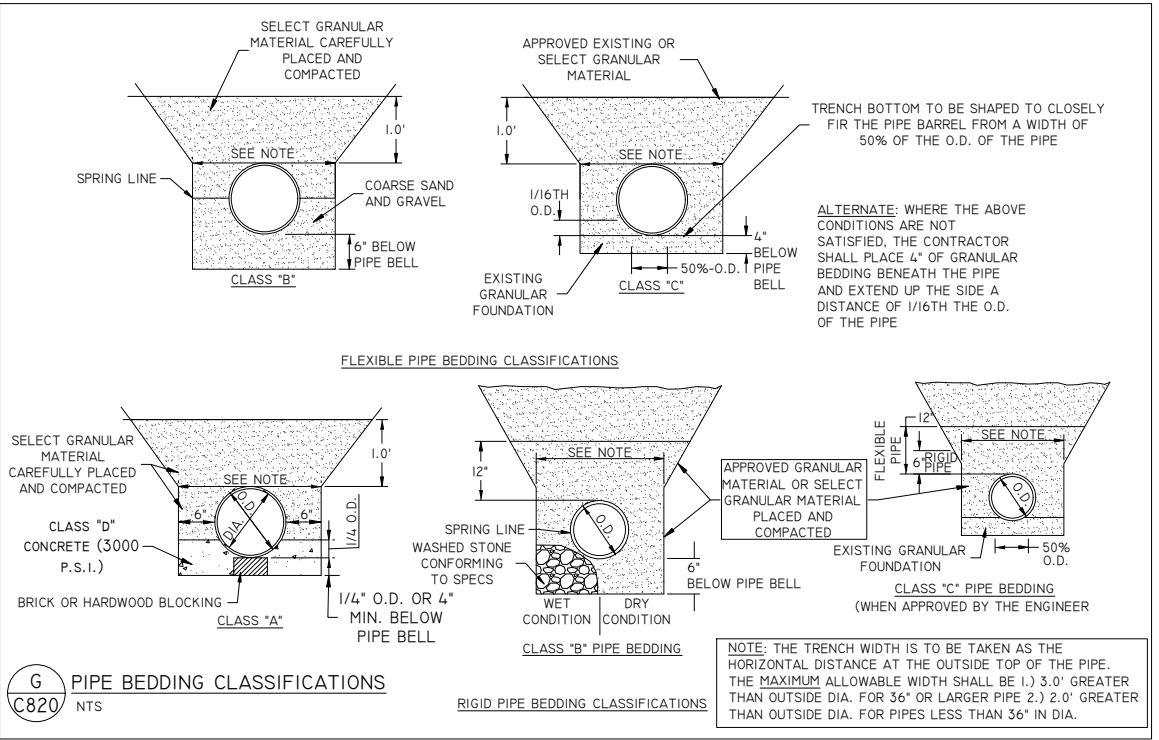
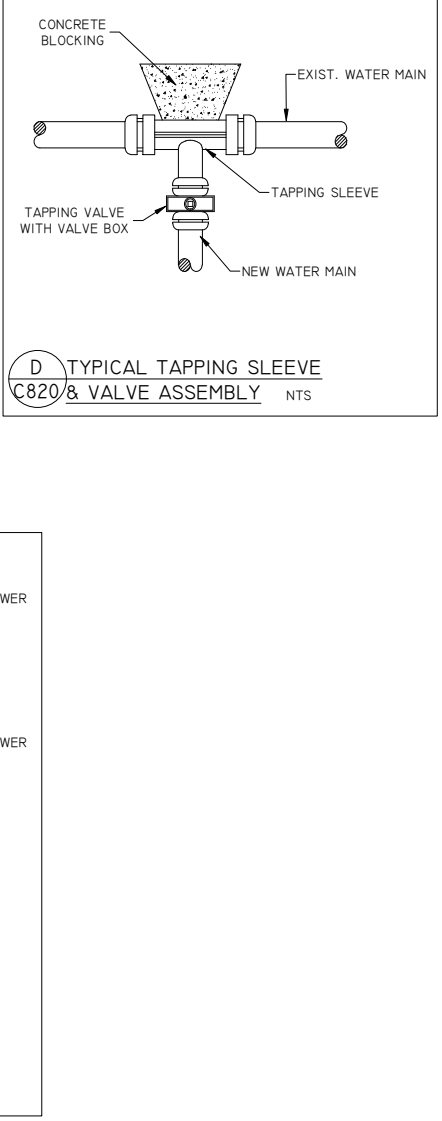
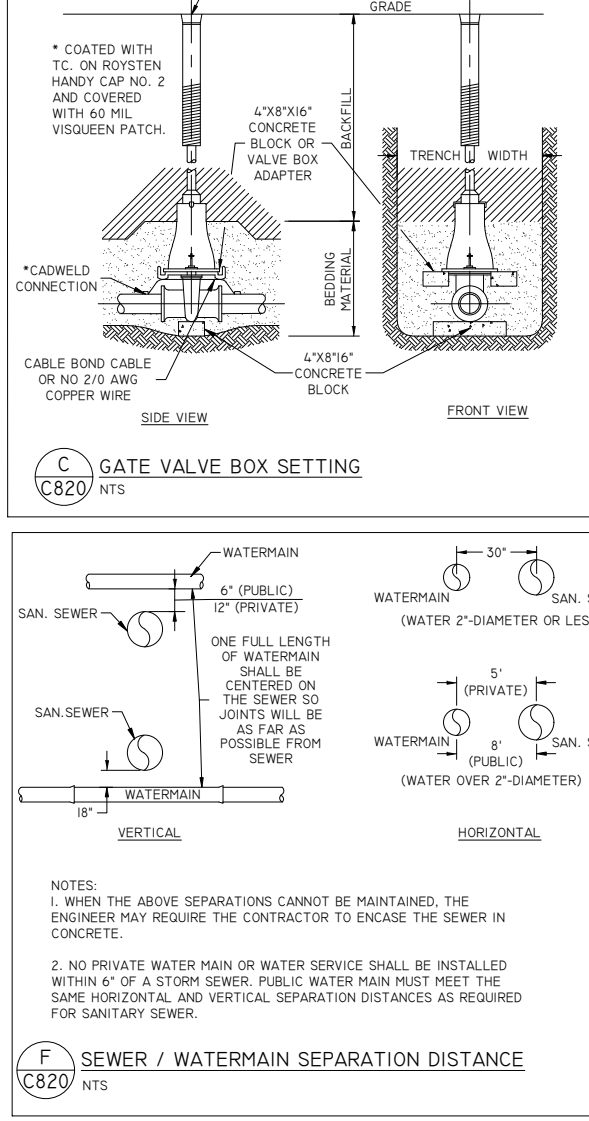
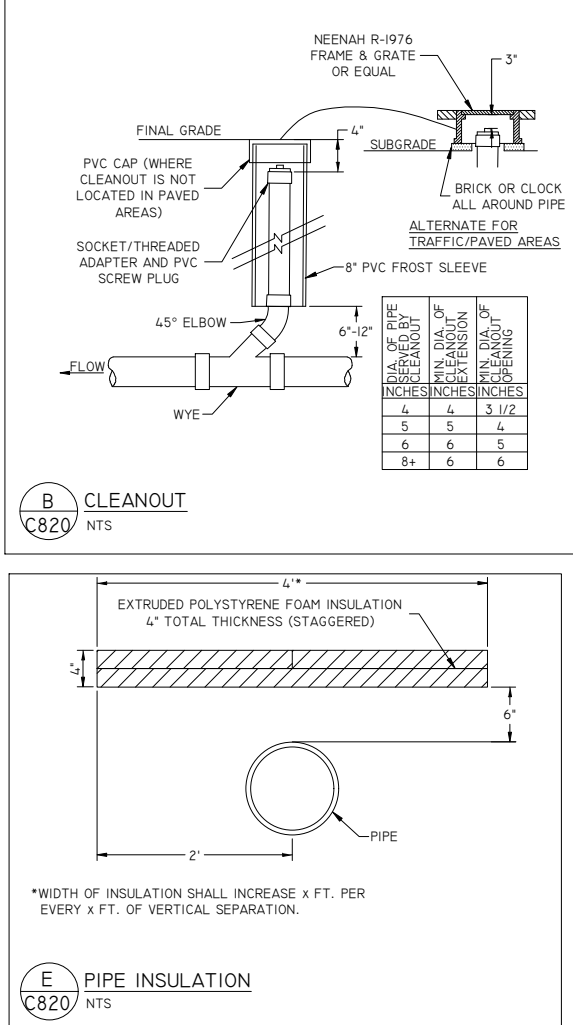
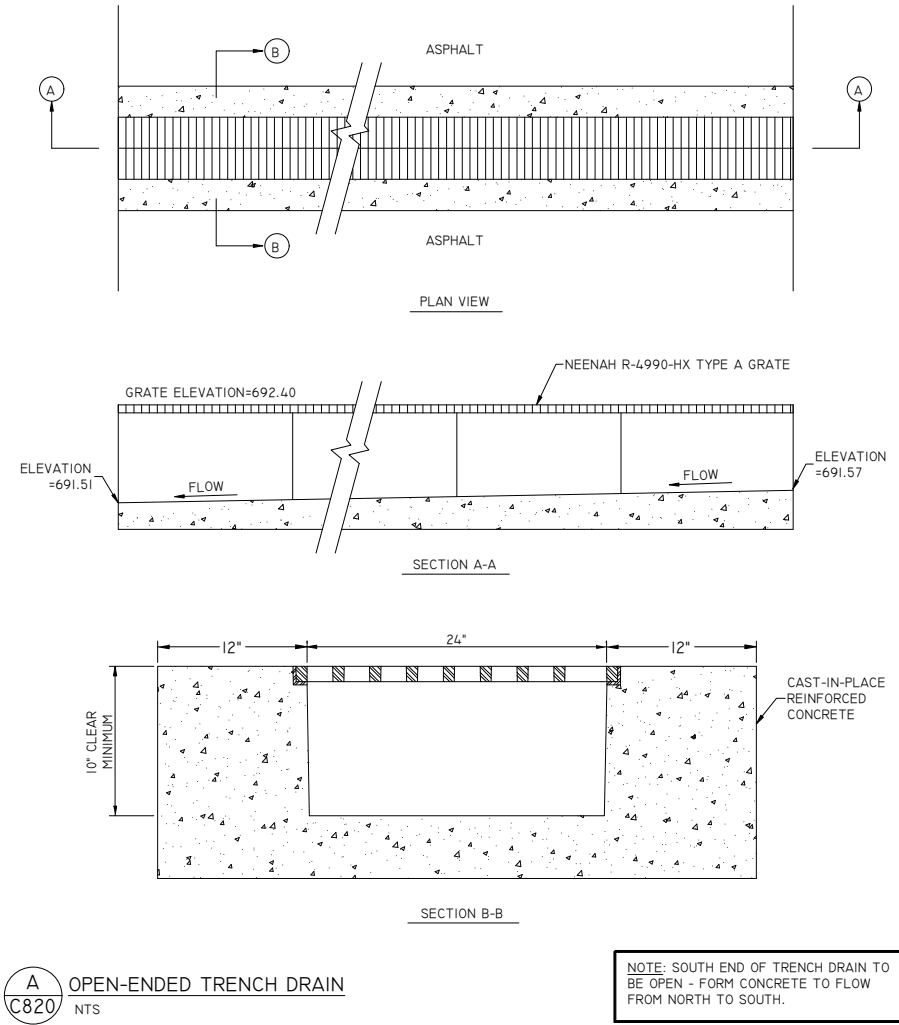
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DATE	REVISION	BY	CHKD	SURVEYED BY: JLR,JJM	DESIGNED BY: GSW	SURVEY DATE: 06/22/21
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**EROSION CONTROL DETAILS**  
TANN CORP  
OAK GROVE ROAD  
KAUKAUNA, WISCONSIN

**REI**  
REI No. 9874  
SHEET C810





DRAWING FILE: P:\9800-9899\9874 - TANN CORP - LOT 5 IND PARK\DWG\LANs\9874-C820-UTILITY DETAILS.DWG LAYOUT: C820  
PLOTTED: Aug 31, 2023 - 3:50PM PLOTTED BY: GREG



DRAWING FILE: P:\9800-9899\9874 - TANN CORP - LOT 5 IND PARK\DWG\LANS19874-C900-SPECS.DWG LAYOUT: C900  
PLOTTED: Aug 31, 2023 - 3:51PM PLOTTED BY: GREGW

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER’S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER’S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER’S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS , ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
9. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
10. CALL DIGGER’S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
13. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
14. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER’S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE’S WPDES PERMIT IS TERMINATED BY THE WDNR.
15. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTPS://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](https://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
16. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
17. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER’S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
18. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
19. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
20. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE REQUIREMENTS OF SECTION 208.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER’S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER’S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
21. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTING OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER’S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
22. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SECTION 211 OF THE WISDOT STANDARD SPECIFICATIONS.
23. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
24. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. CONCRETE PAVING SHALL CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE CURB AND GUTTER SHALL CONFORM TO THE APPLICABLE REGULATIONS OF SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE MATERIAL SHALL BE TYPE A OR A-FA AS DEFINED WITHIN SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
26. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED, EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 608 OF THE WISDOT STANDARD SPECIFICATIONS.
27. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SUB-SECTION 608.2 OF THE WISDOT STANDARD SPECIFICATIONS. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III OR STRONGER.
28. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE. ALL BENDS OR OTHER FITTINGS SHALL BE SCHEDULE 40.
29. POLYVINYL CHLORIDE PIPE FOR PRESSURE APPLICATIONS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, PRESSURE CLASS 150.
30. DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF ANSI A21.51 (AWWA C151). DUCTILE IRON PIPE SHALL BE CEMENT-MORTAR LINED AND COATED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.4 (AWWA C104). ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 UNLESS OTHERWISE SPECIFIED.
31. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
32. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(1)(C)2 AS REQUIRED BY SPS 382.30(11), SPS 382.36(7) & SPS 382.40(8).
33. RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECIFICATIONS, WITH THE GRADE BEING SPECIFIED ON THE PLANS. REFER TO SECTION 645 OF THE WISDOT STANDARD SPECIFICATIONS REGARDING GEOTEXTILE FABRIC FOR RIPRAP.
34. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER’S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION. PAVEMENT MARKINGS PLACED WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF SECTION 646 OF THE WISDOT STANDARD SPECS (EPOXY).
35. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF LEGALLY OFFSITE.
36. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
37. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
38. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

Item 4.c.

1. Standard Reflectance of 80/50/20 unless noted otherwise  
2. Not a Construction Document, for Design purposes only  
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise  
4. Standard outdoor calc points @ Grade unless noted otherwise  
5. Egress calc points @ 0" A.F.F.  
6. Mlazar Associates assumes no responsibility for installed light levels due to field conditions, etc.

Calculation Summary							
Scene: EXTERIOR							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EXTERIOR	Illuminance	Fc	0.53	12.5	0.0	N.A.	N.A.

Luminaire Schedule								
Scene: EXTERIOR								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
⊙	2	OA	HALO	RL56129S1EWH -4000K	Single	1249	14	0.900
⊙	8	OB	SLG	LCH4R253035G140K-30W	Single	2850	30	1.000
⊞	11	OC	SLG-Spring Lighting Group	WMC 35 G1 4K	Single	3591	28.2664	0.900
⊞	3	OD	SLG-Spring Lighting Group	WMC 80 G1 4K	Single	7824	64.3032	0.900
⊞	6	OE	SLG-Spring Lighting Group	WMC 145 G1 4K	Single	14500	125	0.900
⊕	14	R	SURELITES	APWR2 (1 HEAD)	Single	68	0.735	1.000

PHOTOMETRIC PLAN, WAREHOUSE

TANN CORPORATION  
KAUKAUNA, WI

RLMA Project #:137990

Drawn By: EP

Date:8/30/2023

Scale:1"=15'-0"

Comments

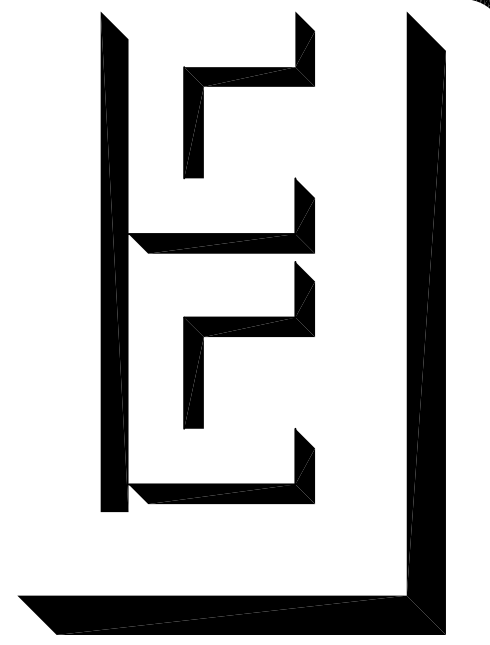
Date

#

Revisions

MLAZGAR ASSOCIATES  
14350 W. GLENDALE DR.  
NEW BERLIN, WI 53151  
(P) 414-943-1915  
(F) 952-943-8088  
www.mlazar.com





## URBAN CONSTRUCTION COMPANY

5909 N 39th Avenue  
Wausau, WI 54401  
TEL: 715-675-9425  
FAX: 715-675-9781

OWNER:

TANN Investments  
LLC

LOCATION:

Kaukauna, WI

PROJECT:

180'-0" x 243'-6"  
Manufacturing and 180'-0" x  
47'-6" Office

CONSULTANT:

REVISIONS:

#	Date	Description
0	7-24-2023	Released for Owner Review
1	8-8-2023	Released for Owner Review
2	8-10-2023	Released for Tilt-Up Wall Design
3	8-14-2023	Changed Office Layout

DRAWING #: 23-232

PROJECT #: 23-232

DRAWN BY: D.J.P.

CHECKED BY:

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PLOT DATE:

8/31/2023  
6:40 AM

☐ Preliminary  
☐ for Bid  
☒ for Construction

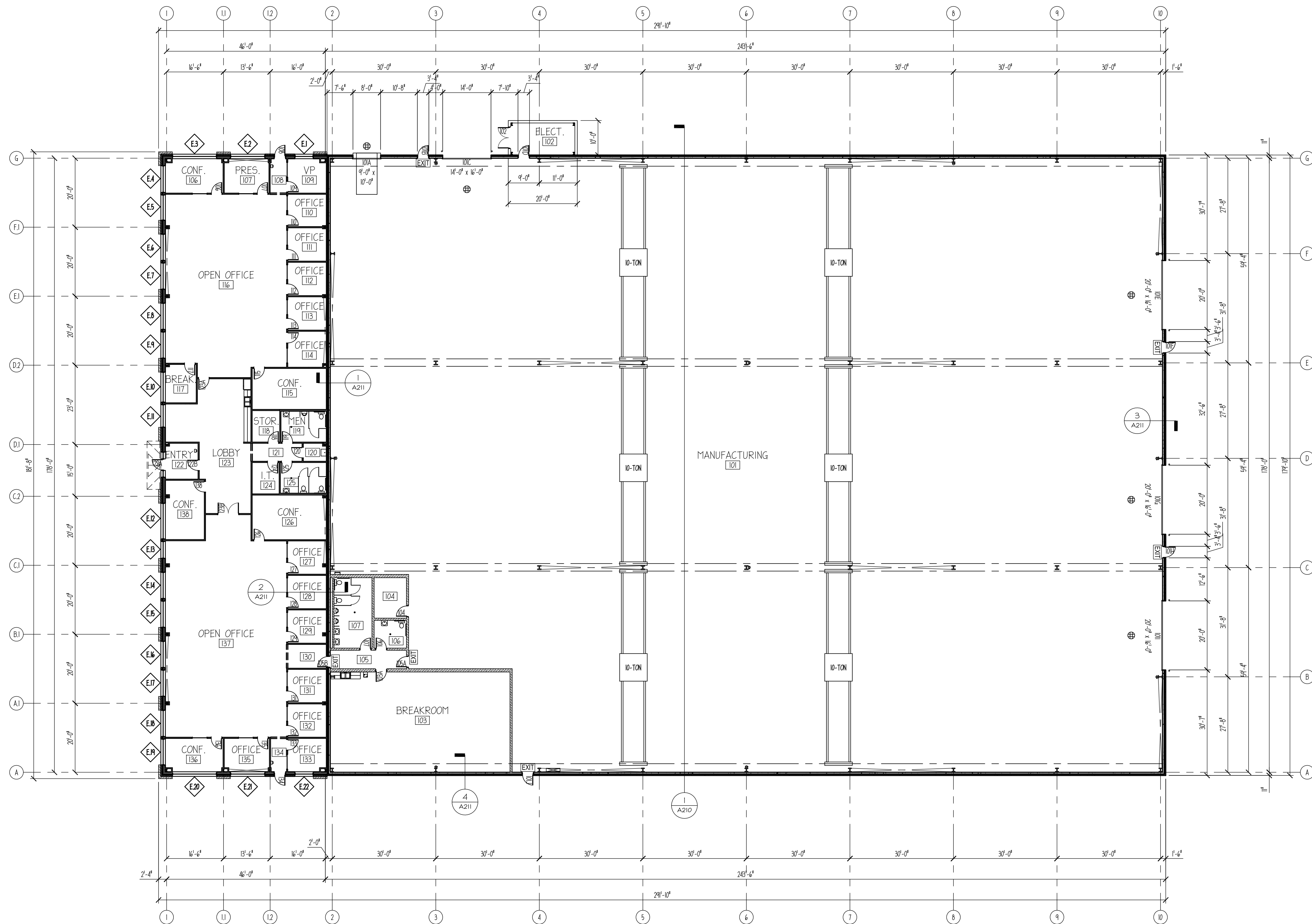
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Floor Plan

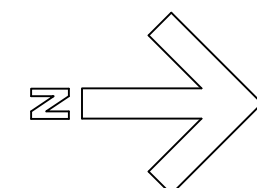
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OF



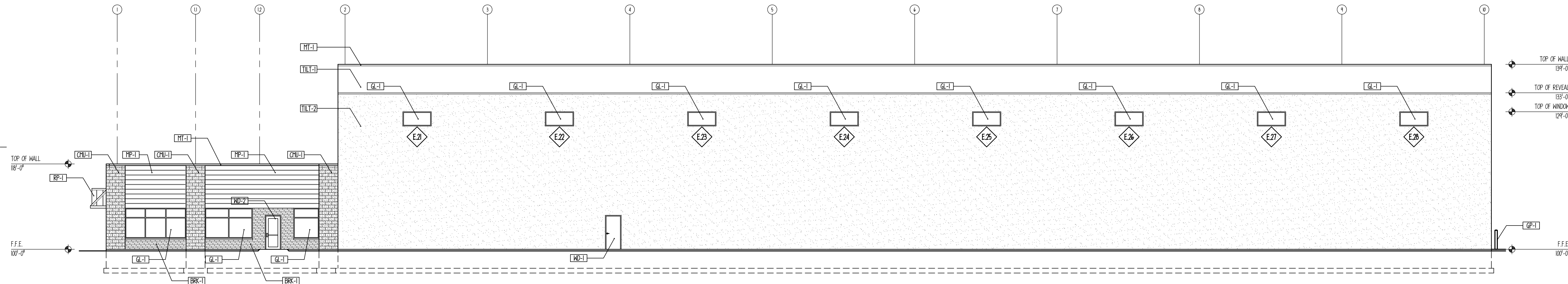
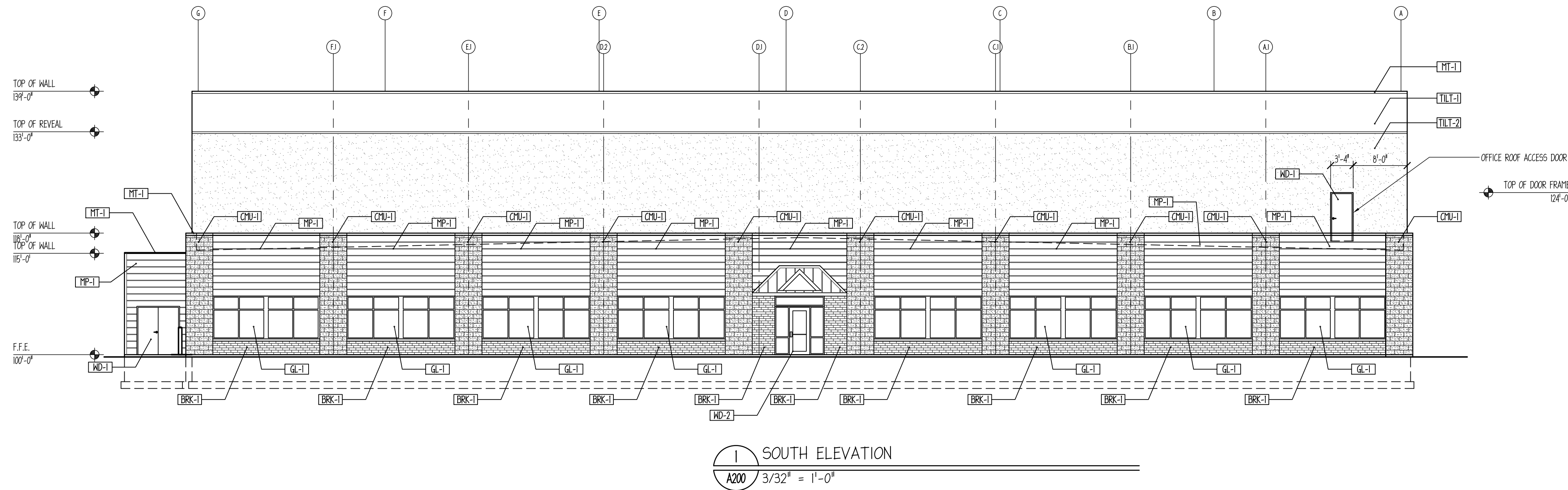
1 FLOOR PLAN  
A100 1/16" = 1'-0"



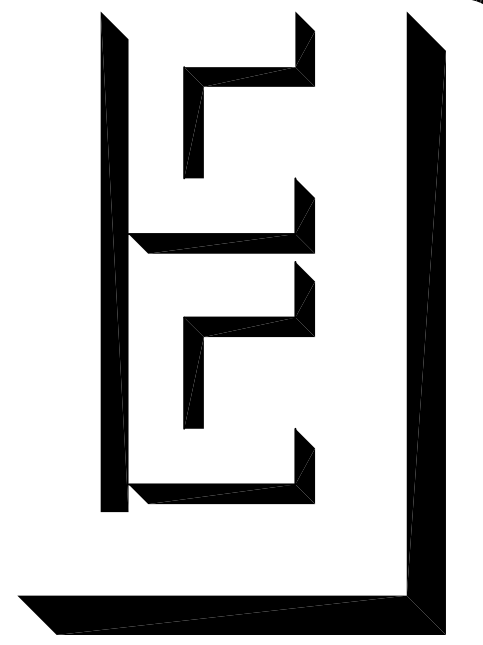


# EXTERIOR FINISH KEY NOTES

GP-1	CONCRETE FILLED BOLLARD WITH PVC COVER TYPE: PVC COVER YELLOW COLOR NOTES: REFER TO GUARD POST DETAIL
GR-1	STEEL GUARDRAIL COLOR: SAFETY YELLOW
CMU-1	CONCRETE MASONRY UNIT TYPE: 8" FULL FACE STANDARD GRAY UNIT LAID IN RUNNING BOND FINISH: CLEAR SEALER
BRK-1	CONCRETE BRICK TYPE: CONCRETE UTILITY BRICK COLOR: MANUFACTURERS STANDARD COLOR SELECTION
MT-1	METAL TRIM TYPE: CUSTOM FABRICATED METAL TRIM COLOR: MANUFACTURER STANDARD COLOR SELECTION
MP-1	METAL PANEL MFR: DIMENSIONAL METALS INC. STYLE: 1" FLUSH REVEAL - 12" (FR 102) COLOR: MANUFACTURER STANDARD COLOR SELECTION
RP-1	METAL ROOF PANEL MFR: BUTLER MANUFACTURING TYPE: VSR STANDING SEAM ARCHITECTURAL METAL ROOF COLOR: MANUFACTURER STANDARD COLOR SELECTION
TILT-1	SITE CAST TILT-UP CONCRETE WALL PANEL DESCRIPTION: SITE CAST TILT-UP CONCRETE WALL PANEL FINISH: SMOOTH FINISH COLOR: GRAY
TILT-2	SITE CAST TILT-UP CONCRETE WALL PANEL DESCRIPTION: SITE CAST TILT-UP CONCRETE WALL PANEL FINISH: TEXTURE FINISH COLOR: GRAY
GL-1	ALUMINUM GLASS WINDOWS MFR: TUBELIGHT COLOR: GRAY ANODIZED GLASS: 1" CLEAR LOW E
WD-1	METAL WALK DOOR TYPE: HOLLON METAL DOOR AND FRAME COLOR: GRAY
WD-2	ALUMINUM FRAME GLAS DOOR MFR: TUBELIGHT COLOR: GRAY ANODIZED GLASS: 1" CLEAR LOW E
OWD-1	SECTIONAL OVERHEAD DOOR MFR: CLOPAY 3720 COLOR: WHITE



2 EAST ELEVATION  
A200 3/32" = 1'-0"



**URBAN  
CONSTRUCTION  
COMPANY**

5909 N 39th Avenue  
Wausau, WI 54401  
TEL: 715-675-9425  
FAX: 715-675-9781

OWNER:

TANN Investments  
LLC

LOCATION:

Kaukauna, WI

PROJECT:

180'-0" x 243'-6"  
Manufacturing and 180'-0" x  
47'-6" Office

CONSULTANT:

REVISIONS:

#	Date	Description
0	8-10-2023	Original release
1	8-14-2023	Added Roof Access Door
2	8-28-2023	Added Exterior Finish Notes

DRAWING #: 23-232

PROJECT #: 23-232

DRAWN BY: DJP

CHECKED BY:

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PLOT DATE:

8/31/2023

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☐ Preliminary☐ for Bid☒ for Construction

SHEET TITLE

Exterior Elevations

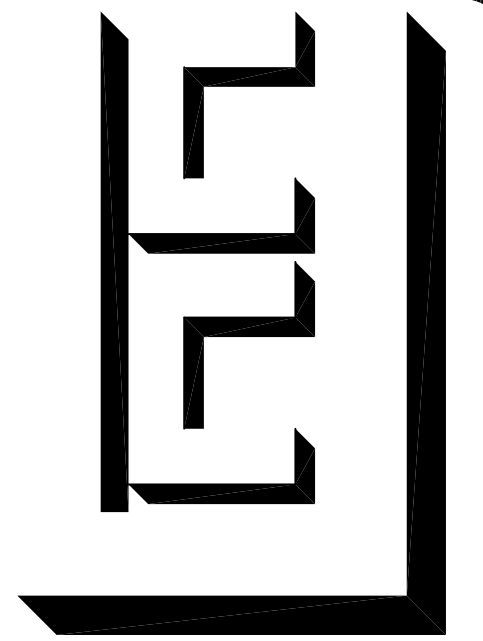
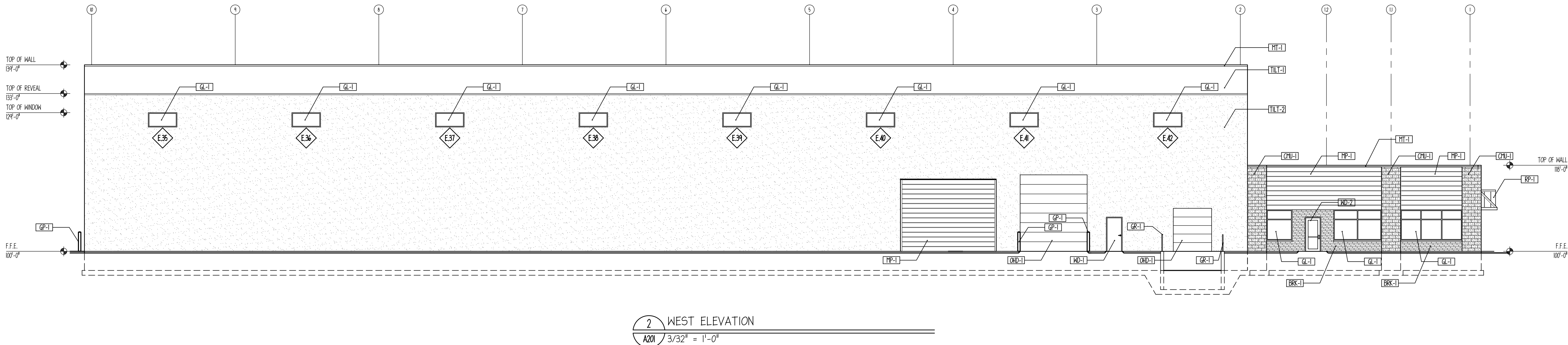
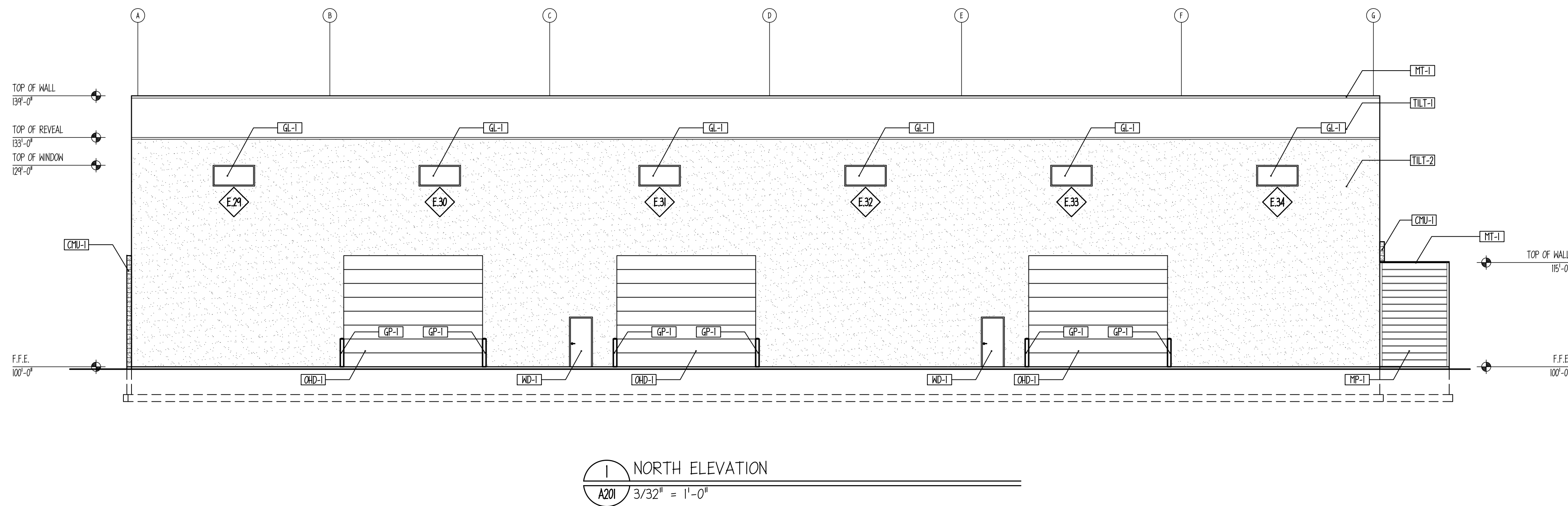
A200

SHEET

OF

## EXTERIOR FINISH KEY NOTES

GP-1	<p>CONCRETE FILLED BOLLARD WITH PVC COVER</p> <p>TYPE: PVC COVER YELLOW COLOR</p> <p>NOTES: REFER TO GUARD POST DETAIL</p>
GR-1	<p>STEEL GUARDRAIL</p> <p>COLOR: SAFETY YELLOW</p>
CMU-1	<p>CONCRETE MASONRY UNIT</p> <p>TYPE: 8" FULL FACE STANDARD GRAY UNIT LAID IN RUNNING BOND</p> <p>FINISH: CLEAR SEALER</p>
BRK-1	<p>CONCRETE BRICK</p> <p>TYPE: CONCRETE UTILITY BRICK</p> <p>COLOR: MANUFACTURERS STANDARD COLOR SELECTION</p>
MT-1	<p>METAL TRIM</p> <p>TYPE: CUSTOM FABRICATED METAL TRIM</p> <p>COLOR: MANUFACTURER STANDARD COLOR SELECTION</p>
TP-1	<p>METAL PANEL</p> <p>MFR: DIMENSIONAL METALS INC.</p> <p>STYLE: 1" FLUSH REVEAL - 12" (FR 102)</p> <p>COLOR: MANUFACTURER STANDARD COLOR SELECTION</p>
RP-1	<p>METAL ROOF PANEL</p> <p>MFR: BUTLER MANUFACTURING</p> <p>TYPE: VSR STANDING SEAM ARCHITECTURAL METAL ROOF</p> <p>COLOR: MANUFACTURER STANDARD COLOR SELECTION</p>
TILT-1	<p>SITE CAST TILT-UP CONCRETE WALL PANEL</p> <p>DESCRIPTION: SITE CAST TILT-UP CONCRETE WALL PANEL</p> <p>FINISH: SMOOTH FINISH</p> <p>COLOR: GRAY</p>
TILT-2	<p>SITE CAST TILT-UP CONCRETE WALL PANEL</p> <p>DESCRIPTION: SITE CAST TILT-UP CONCRETE WALL PANEL</p> <p>FINISH: TEXTURE FINISH</p> <p>COLOR: GRAY</p>
GL-1	<p>ALUMINUM GLASS WINDOWS</p> <p>MFR: TUBELIGHT</p> <p>COLOR: GRAY ANODIZED</p> <p>GLASS: 1" CLEAR LOW E</p>
WD-1	<p>METAL WALK DOOR</p> <p>TYPE: HOLLON METAL DOOR AND FRAME</p> <p>COLOR: GRAY</p>
WD-2	<p>ALUMINUM FRAME GLAS DOOR</p> <p>MFR: TUBELIGHT</p> <p>COLOR: GRAY ANODIZED</p> <p>GLASS: 1" CLEAR LOW E</p>
OWD-1	<p>SECTIONAL OVERHEAD DOOR</p> <p>MFR: CLOPAY 3720</p> <p>COLOR: WHITE</p>



**URBAN  
CONSTRUCTION  
COMPANY**

5909 N 39th Avenue  
Wausau, WI 54401  
TEL: 715-675-9425  
FAX: 715-675-9781

OWNER:

**TANN Investments  
LLC**

LOCATION:

Kaukauna, WI

PROJECT:

180'-0" x 243'-6"  
Manufacturing and 180'-0" x  
47'-6" Office

CONSULTANT:

REVISIONS:

#	Date	Description
0	8-10-2023	Original Release
1	8-14-2023	Updated Office Building Grid
2	8-28-2023	Added Exterior Finish Notes

DRAWING #: 23-232

PROJECT #: 23-232

DRAWN BY: DJP

CHECKED BY:

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PLOT DATE:

8/31/2023

6:41 AM

☐ Preliminary☐ for Bid☒ for Construction

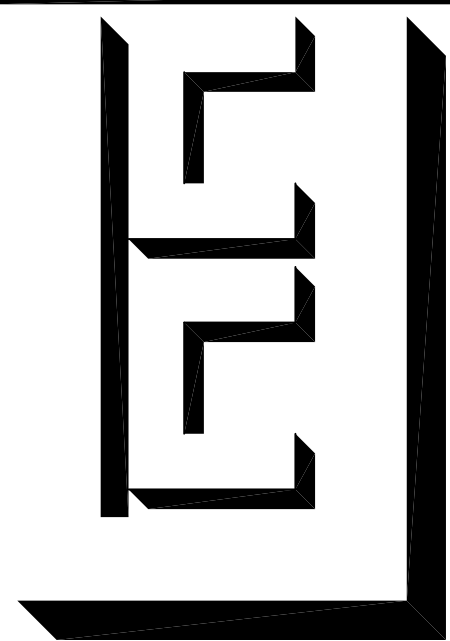
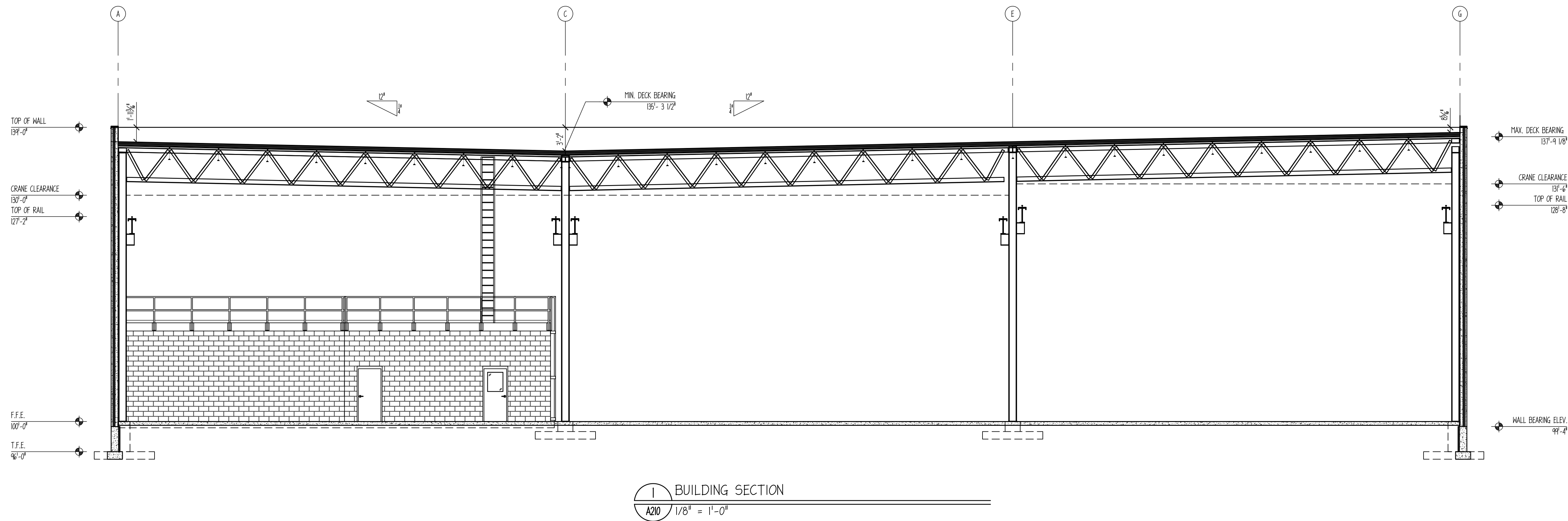
SHEET TITLE

Exterior Elevation

**A201**

SHEET

OF



**URBAN  
CONSTRUCTION  
COMPANY**

5909 N 39th Avenue  
Wausau, WI 54401  
TEL: 715-675-9425  
FAX: 715-675-9781

OWNER:

**TANN Investments  
LLC**

LOCATION:

**Kaukauna, WI**

PROJECT:

**180'-0" x 243'-6"  
Manufacturing and 180'-0" x  
47'-6" Office**

CONSULTANT:

REVISIONS:

#	Date	Description
0	8-1-2023	Original Release

DRAWING #:

23-232

PROJECT #:

23-232

DRAWN BY:

DJP

CHECKED BY:

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PLOT DATE:

8/31/2023  
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☐ Preliminary

☐ for Bid

☒ for Construction

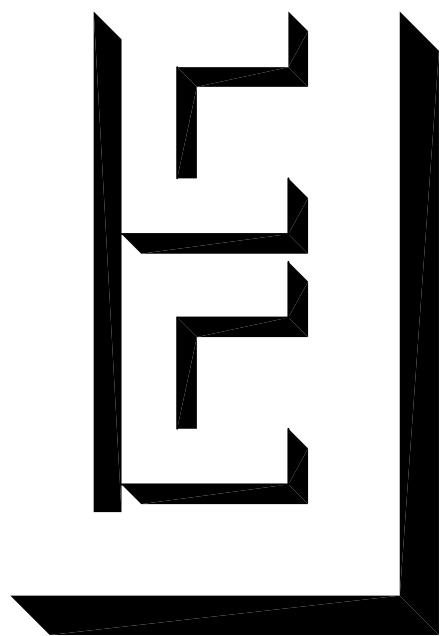
SHEET TITLE

**Manufacturing Building  
Section**

**A210**

SHEET

OF



**URBAN  
CONSTRUCTION  
COMPANY**

5909 N 39th Avenue  
Wausau, WI 54401  
TEL: 715-675-9425  
FAX: 715-675-9781

OWNER:

TANN Investments  
LLC

LOCATION:

Kaukauna, WI

PROJECT:

180'-0" x 243'-6"  
Manufacturing and 180'-0" x  
47'-6" Office

CONSULTANT:

REVISIONS:

#	Date	Description
0	8-23-2023	Original Release

DRAWING #: 23-232  
PROJECT #: 23-232  
DRAWN BY: DJP  
CHECKED BY:

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PLOT DATE:

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☐ Preliminary  
☐ for Bid  
☒ for Construction

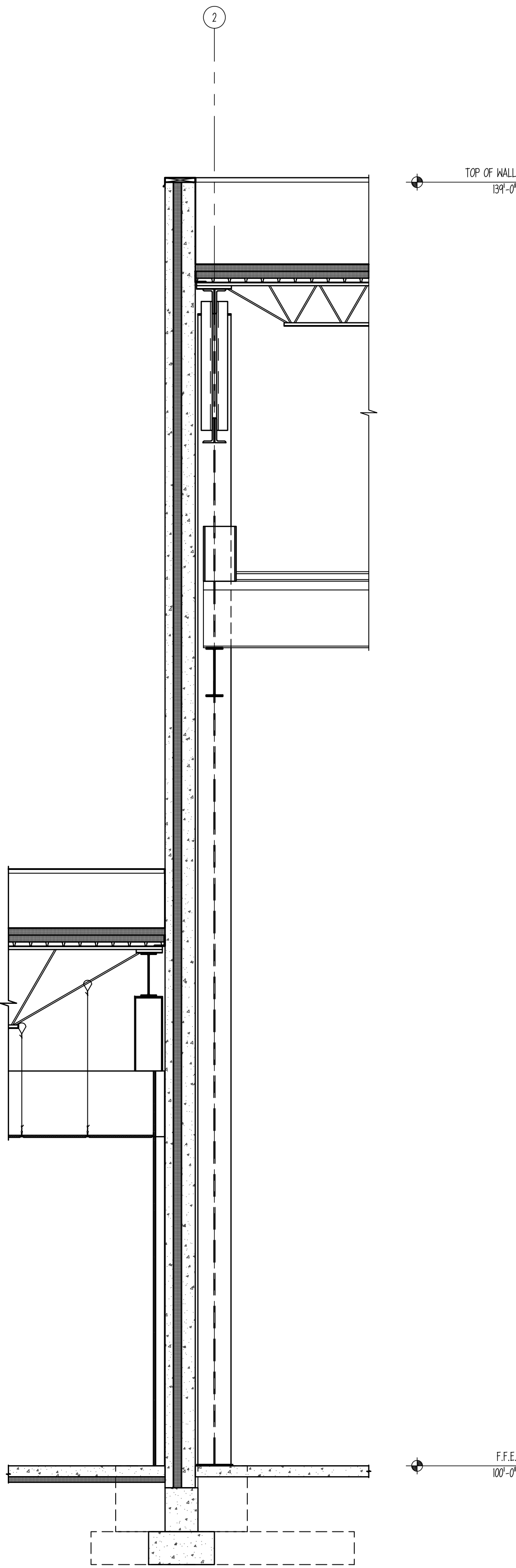
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Building Sections

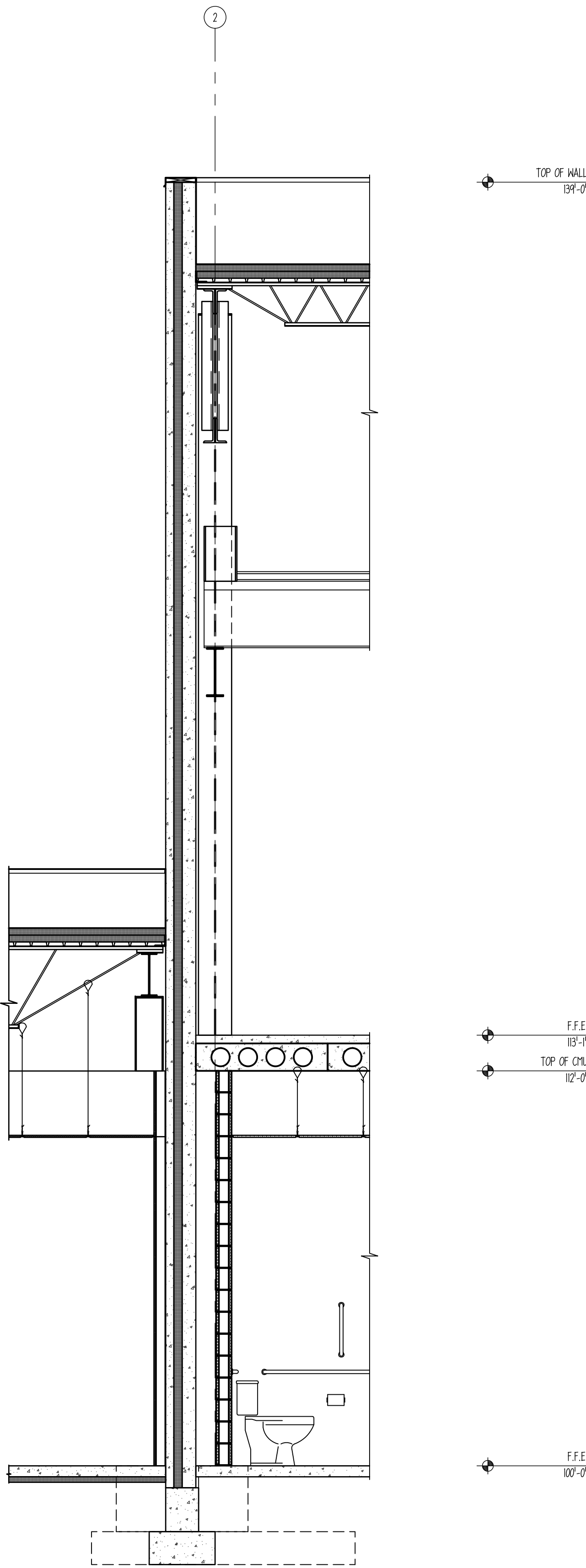
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SHEET

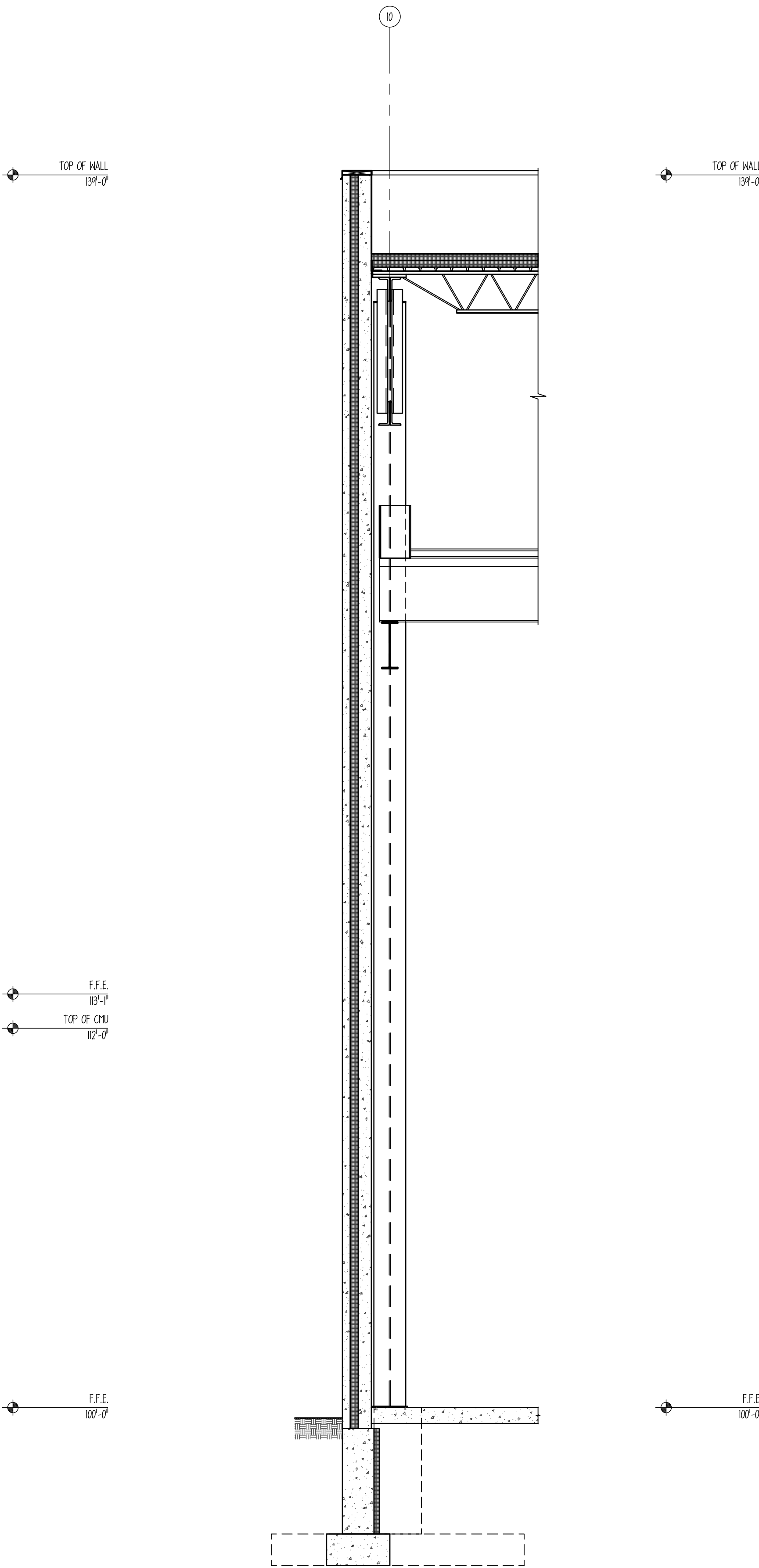
OF



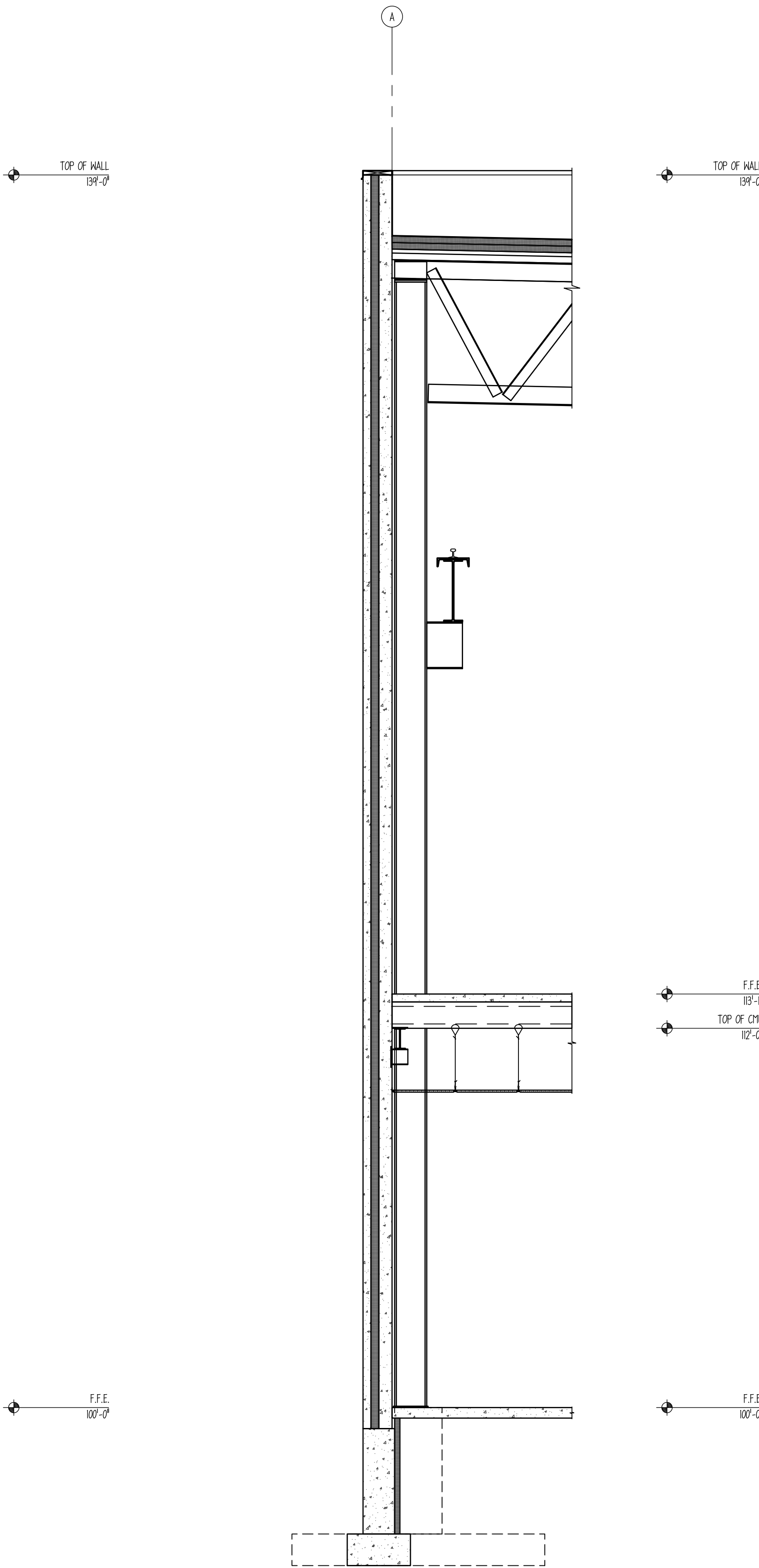
1 BUILDING SECTION AT GRID LINE 2  
A211 3/8" = 1'-0"



2 BUILDING SECTION AT GRID LINE 2  
A211 3/8" = 1'-0"



3 BUILDING SECTION AT GRID LINE 10  
A211 3/8" = 1'-0"



4 BUILDING SECTION AT GRID LINE 10  
A211 3/8" = 1'-0"