

INDUSTRIAL PARK COMMISSION

City of Kaukauna
Hydro View Room
Municipal Services Building
144 W. Second Street, Kaukauna



Tuesday, June 02, 2026 at 3:30 PM

AGENDA

In-Person in Hydro View Room, City of Kaukauna

1. Roll Call.
2. Approval of Minutes.
 - a. Approve Minutes from May 1, 2026
3. Old Business.
4. New Business.
 - a. Site Plan Review - Accurate Machine (1901 Hyland Avenue)
5. Other Business.
6. Adjourn.

NOTICES

IF REQUESTED THREE (3) DAYS PRIOR TO THE MEETING, A SIGN LANGUAGE INTERPRETER WILL BE MADE AVAILABLE AT NO CHARGE.



INDUSTRIAL PARK COMMISSION

City of Kaukauna

Hydro View Room

Municipal Services Building

144 W. Second Street, Kaukauna



Thursday, May 1, 2026 at 1:30 PM

MINUTES

In-Person in Hydro View Room

Dale Eggert called the meeting to order at 1:30 p.m.

1. Roll Call

Members Present: Dale Eggert, Glen Schilling, John Sundelius, Mike Vandeberg

Members Absent: Michael Avanzi, Nick Rieth, Ryan Gaffney

Other(s) Present: Associate Planner Adrienne Nelson, Director of Public Works and City Engineer John Neumeier, John Panetti of TEAM Industries, Lisa Arndt of TEAM Industries, TEAM Industries Representatives

Vandeberg made a motion to excuse the absent members. Seconded by Sundelius. The motion passed unanimously.

2. Approval of Minutes

- a. Approve Minutes from April 23, 2026

Schilling made a motion to approve the minutes from April 23, 2026. Seconded by Vandeberg. The motion passed unanimously.

3. Old Business

- a. None

4. New Business

- a. Team Industries – Parking Request on Prospect

John Panetti of TEAM Industries introduced himself and provided a brief overview of the company. They do not have a product line aside from positioners. Instead, the majority of their business relies on going out for competitive bid on every job. Their level of busyness depends on the number of winning bids, which makes it difficult to put together a

five or ten year plan. They grow by opportunity, and they are currently looking at the greatest opportunity in 38 years to expand. Currently, they're serving about forty to fifty customers in a fast paced industry and coordinating projects with a variety of different specs. Panetti showed two TEAM Industries videos to provide the Commission with a better understanding of the work they do. He also read a letter received from one of TEAM Industries customers, which thanked the company for the excellently made positioner that exceeded expectations and pleased the pipe welders using the positioners. TEAM Industries ships to several different countries, but the majority of business is done in the United States.

Schilling asked how TEAM Industries was addressing changes in the manufacturing industry.

Panetti explained that, originally, TEAM Industries worked a lot with the paper industry and breweries. Currently, they are doing work with data centers and refineries, and they expect growth in the powerplant industry due to increasing energy needs. TEAM Industries partners with their union and are committed to their employees and to building career jobs.

Lisa Arndt went into greater detail on TEAM Industries' request. Demand has shifted, with many vendors and customers wanting to pre-buy material, and TEAM Industries now requires more laydown room for piping and warehouse space for indoor storage. They need to expand to keep up with growth, and are requesting additional parking to meet this need. They are planning a 30,000 square foot addition to a plant in Kaukauna which would add an additional seventy jobs. They have been working hard to utilize their current space by eliminating employee parking to create more stabilized area, proactively maximizing what they can control, and creating around 23 locations to laydown rack. They've run into difficulties with expansion efforts because they still have a lease with Goodwill for one of their warehouses for eight more years and other businesses nearby are not looking to sell at this time. They looked at possibly purchasing property across from Maloney Road, but they had concerns with employee

safety while crossing the road. Arndt suggested having diagonal parking off of Prospect Lane. TEAM Industries staff would provide snow removal, and they don't believe it would cause issues for neighboring businesses given how trucks usually pull in.

Schilling asked staff if there were any additional concerns on their side.

Neumeier expressed concern about the use of a public right-of-way for a private business. TEAM Industries is a fantastic partner, but they might simply be outgrowing their site.

Nelson added that other concerns included safety/vision, truck maneuvering, snow removal, and access/operation of other businesses in the park. Additionally, the request would be in violation of the South Industrial Park Covenants, and could cause additional compliance issues for outside storage of materials. Staff recommended denial but, if the Industrial Park Commission were wanting to approve the request, suggested that the following conditions must be adhered to: that a site plan is submitted to the Industrial Park Commission, that 30-degree stalls are used to limit safety and vision concerns, that the maintenance and plowing of parking stall is performed by TEAM Industries, and that an easement or agreement is recorded with the City of Kaukauna for use of the City's right-of-way.

Schilling asked if TEAM Industries was a one shift operation.

Arndt explained that they ran two shifts, and Panetti added that they shifts were ten hours.

Sundelius pointed out that the City's Zoning Code requires a certain amount of off-street parking, and that TEAM Industries may need to go before the Board of Appeals to obtain a variance for their mentioned expansion. He asked if TEAM Industries had considered vacating the southeast portion of Prospect Lane so that it would come under private ownership.

Arndt explained that TEAM Industries had made that request.

Nelson clarified that this request raised concerns with proper EMS and fire access.

Arndt added that TEAM Industries will be getting additional space once their leases in some of their buildings are up, and they have first rights to a property when it sells. Unfortunately, they need a solution for parking now.

Sundelius pointed out that, if the Commission were to allow this, they may get similar requests in the future. On-street parking was a huge issue on Farmland Court by Griesbach Ready Mix and made it difficult for drivers to turn around in the cul-de-sac. He asked staff if that issue had ever been resolved.

Neumeier explained that on-street parking in that area was being eliminated. Griesbach Ready Mix sold to Peters Concrete, and the site is now being brought into compliance.

Schilling moved to adjourn to closed session.

Nelson explained that the Commission could not adjourn to closed session because the subject matter did not meet criteria.

TEAM Industries representatives departed as a courtesy to the Commission.

The Commission discussed TEAM Industries proposed request. The main concern raised was that the request seemed like a temporary solution to a larger issue. The Commission, however, was sympathetic to TEAM Industries pressing need for parking.

Sundelius suggested a compromise. Instead of letting TEAM Industries park diagonally adjacent to Prospect Lane, the City could temporarily lift parking restrictions for a year or two to allow for on-street parallel parking.

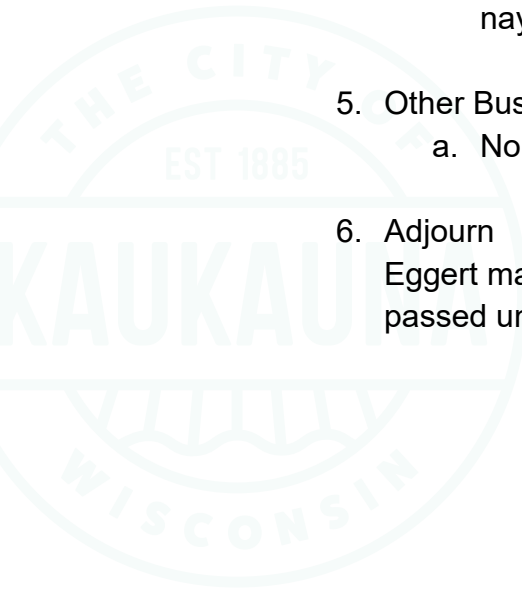
Neumeier explained that some of staff's concerns would actually be exaggerated by parallel parking, such as impacts on truck traffic and snow plowing. He also suggested that, for any agreement, one of the conditions be that the site be cleaned up and brought into compliance with covenants.

Eggert asked if it would be better to approve TEAM Industries' proposal, but just for one year, so cars are off the road and staff's concerns are mitigated.

Sundelius explained that it would be a capital expense to pave that area for only one year. He asked if the City was opposed to a cul-de-sac.

Nelson mentioned the concern for proper access to EMS and fire. Additionally, street vacations are difficult to do, especially if more than one property owner is adjacent to the area that is to be vacated.

Schilling made a motion to recommend to the Board of Public Protection and Safety to allow parking on the western side of Prospect Lane from one year after approval by Common Council. Seconded by Sundelius. Eggert, Schilling, and Sundelius said aye. Vandeberg said nay. The motion passed.

- 
5. Other Business
 - a. None

6. Adjourn

Eggert made a motion to adjourn. Seconded by Vandeberg. The motion passed unanimously. Adjourned at 2:45 p.m.



MEMO

PLANNING AND COMMUNITY DEVELOPMENT

To: Industrial Park Commission
 From: Adrienne Nelson, Associate Planner
 Date: June 1, 2026
 Re: Site Plan Review – Accurate Machine (1901 Hyland Avenue)

Accurate Mahine is a manufacturing business that produces parts for different facets of machining. This project will add an additional 1,740 square feet to their existing building.

Site Plan Review:

Site/Architectural: [17.32 \(10\) Supplementary District Regulations & Applicable Zoning](#)

All setback requirements for the Industrial Park District (IPD) and New Prosperity Center covenants are being met and all ordinances are being complied with to include zoning requirements. The current Accurate Machine building has a height of 19’ and the height of the addition will be the same. Currently, there is space for off-street parking on-site, but no official stalls are painted. During this addition, 23 off-street parking stalls will be created, with one being ADA compliant.

Landscape: [17.52 Landscaping Requirements](#)

A landscaping plan will need to be submitted and approved by City staff. The proposed plan will add three trees to the front yard to ensure compliance with landscaping requirements.

Lighting:

No concerns with lighting at this time.

Stormwater: [22 Stormwater Management](#)

The Erosion Control and Stormwater Management permit has been received by the Engineering Department and is currently being reviewed.

Ingress/Egress:

No concerns with traffic at this time.

Public Safety:

No concerns from Fire/Police at this time.

Façade: [17.53 Façade Standards](#)

The proposed site elevations meet façade requirements.

Staff Recommendation:

Staff recommend approval of the development with the following conditions:

- Prior to issuance of building permits, Stormwater and Erosion Control permits must be approved by the Engineering Department.
- Prior to issuance of building permits, a landscaping plan must be submitted and approved by City staff.





SITE PLAN REVIEW APPLICATION

PROPERTY OWNER	APPLICANT (IF DIFFERENT PARTY THAN OWNER)
Name: James Effa	Name: Andy Wassmann (Keller Inc.)
Mailing Address: [REDACTED]	Mailing Address: [REDACTED]
Phone: [REDACTED]	Phone: [REDACTED]
Email: [REDACTED]	Email: [REDACTED]

PROPERTY INFORMATION	
Describe the Proposed Project in Detail: Machining Addition	
Property Parcel (#): 322091200	
Site Address/Location: 1901 E. Hyland Avenue Kaukauna, WI 54130	
Current Zoning and Use: Industrial Park	
Proposed Zoning and Use: Industrial Park	
Existing Gross Floor Area of Building: 18,528	Proposed Gross Floor Area of Building: 20,268
Existing Building Height: 19ft	Proposed Building Height: 19ft
Existing Number of Off-Street Parking Spaces: 0	Proposed Number of Off-Street Parking Spaces: 0
Existing Impervious Surface Coverage Percentage: 27.8%	Proposed Impervious Surface Coverage Percentage: 29%

I certify that the attached drawings are, to the best of my knowledge, complete and drawn in accordance with all City of Kaukauna codes.

Owner/Agent Signature: Andy Wassmann 

Owner/Agent Name (printed): Andy Wassmann (Keller Inc.)

SITE PLAN REVIEW PROCEDURE

The plan review process is required for all new commercial, industrial, or multifamily buildings, as well as for building expansions/additions to structures.

Early in the process, consult the site application checklist shown below for a complete list of plan requirements and contact staff in the Planning and Community Development Department for initial direction and assistance. In addition, it is your responsibility to notify utility companies regarding your proposed development.

Completed site plans must be submitted 14 business days prior to the intended Plan Commission meeting. Those plans will be distributed amongst various city departments for an initial review. After review, questions, comments, and requested revisions will be returned to the applicant in advance of the Plan Commission meeting.

SITE PLAN CHECKLIST

- ✓ Completed site plan application
- ✓ Completed erosion control and stormwater management permit application and necessary fees
- ✓ Calculations for sanitary sewer and water
- ✓ Calculations for storm sewer design
- ✓ Site plan set to include:
 - Site plan layout and streets, including designated fire lanes
 - Utilities, grading, and drainage plan
 - Erosion control plan
 - Landscape and lighting plan
 - Architectural elevation and construction details
 - Floor plan set
 - Any other plans or information deemed necessary by the Planning and Community Development Department

SITE PLAN SUBMISSION

1. Email the Planning and Community Development Department at planning@kaukauna.gov
- OR
2. Drop off in-person or send by mail to City of Kaukauna, Attn: Planning and Community Development Department, 144 W. 2nd Street, Kaukauna, WI 54130

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA SQUARE FOOTAGES

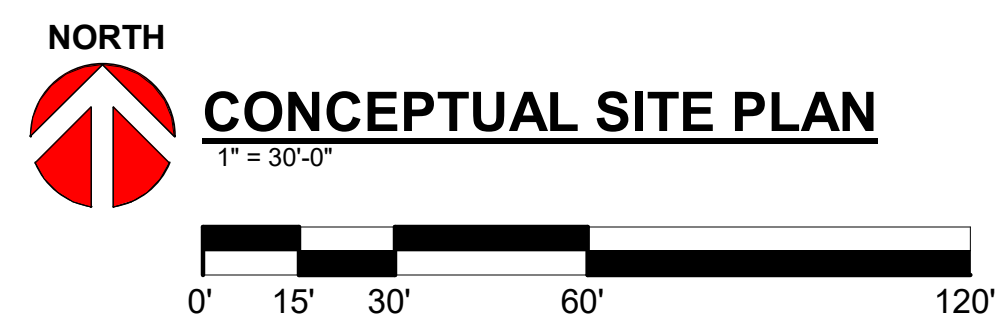
FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	18,528 S.F.	1,740 S.F.	20,268 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	18,528 S.F.	1,740 S.F.	20,268 S.F.
MEZZANINES	----- S.F.	----- S.F.	----- S.F.
FIRE AREA TOTALS	18,528 S.F.	1,740 S.F.	20,268 S.F.
REMODEL AREA TOTALS	----- S.F.	---% OF BUILDING AREA	

BUILDING CODE ANALYSIS

APPLICABLE CODES	
2021 International Building Code (w/ WI Amendments)	
ASHRAE Standard 90.1-2019	
2021 IEBC (Level # Alteration)	
OCCUPANCY	
F-2	
Accessory Use	---
Incidental Use	---
High-Piled Combustible Storage	NO
Hazardous Materials	NO
Multiple Control Areas	NO
HEIGHT & AREA	
Building Height: 17'0"	Maximum Allowed: 55'0"
Number of Stories: 1	Maximum Allowed: 1
Total Building Area: 20,268 S.F.	Maximum Allowed: UNLIMITED S.F.
Total Fire Area: 20,268 S.F.	Maximum Allowed: UNLIMITED S.F.
Mixed/Separated Occupancies	---
Unlimited Area Building	YES
CONSTRUCTION TYPE	
Construction Classification	IIB
Fire Separation Distance	..--
FIRE PROTECTION SYSTEMS	
Assumed Sprinkler Type	NONE
Fire Alarm System	NO
MEANS OF EGRESS	
Occupant Load	---
Panic Hardware	NO
STRUCTURAL DESIGN	
Risk Category	II
Design Loads	
Roof Live Load	20 psf
Walk-on IMP Ceiling Live Load	-- psf
Steel Framing	
Collateral Load	3 psf
Wood Truss	
Top Chord Dead Load	-- psf
Bottom Chord Load	-- psf
Mezzanine/Second Floor/Basement Live Load	-- psf
Point Load (Partition)	-- psf
Snow Load Criteria	
Ground Snow Load (Pg)	40 psf
Exposure Factor (Ce)	1.0
Thermal Factor (Ct)	1.0
Wind Loads	
Wind Load	115 MPH
Surface Roughness	B
Exposure Category	B
Earthquake Load Criteria	
Soil Site Class	D
Ss	.063
S1	.042
PLUMBING SYSTEMS	
Mens WC Required	1
Womens WC Required	1
Drinking Fountain Required	
Other Source	YES
Ambulatory Stall Required	NO
MECHANICAL SYSTEMS	
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU	
NO BOILERS OVER 15 PSI AND 10 HORSEPOWER	

SITE INFORMATION

SITE CONTENT		
Building Size	-- S.F.	--%
Hard Surface	-- S.F.	--%
Green Space	-- S.F.	--%
Parcel Size (Approx.)	-- S.F.	-- Acres
Parking Provided	-- Stalls	
Area of Disturbance	-- S.F.	
ZONING		
Property Zoning	FY .-. SY .-. RY .-. .-	
Setbacks	..--	
Hard Surface Setback	..--	
Coverage Limit	--%	
Greenspace Requirement	--%	
Parking Required	-- Stalls	
Refuse Enclosure	YES/NO	
RTU SCREENING	YES/NO	



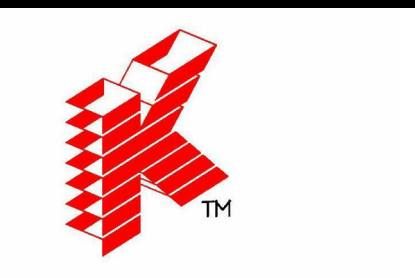
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PROPOSED FOR:

ACCURATE MACHINE

KAUKAUNA,

WISCONSIN



Keller
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REVISIONS		
1	02.18.2026	C. TEAFOE
2	03.13.2026	C. TEAFOE
3		
4		
5		
6		

PROJECT MANAGER:	
J. HALL	
DESIGNER:	
T. TISLAU	
INTERIOR DESIGNER:	

DRAWN BY:	
C. TEAFOE	
EXPEDITOR:	

SUPERVISOR:	

PRELIMINARY NO:	
P26018	
CONTRACT NO:	

DATE:	
01.27.2026	
SHEET:	
C1.0	

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET INDEX

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- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
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BUILDING & FIRE AREA SQUARE FOOTAGES

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APPLICABLE CODES
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 ASHRAE Standard 90.1-2019
 2021 IEBC (Level # Alteration)

OCCUPANCY
 Accessory Use
 Incidental Use
 High-Piled Combustible Storage
 Hazardous Materials
 Multiple Control Areas

HEIGHT & AREA
 Building Height: --"
 Number of Stories: --
 Total Building Area: --- S.F.
 Total Fire Area: --- S.F.
 Mixed/Separated Occupancies
 Unlimited Area Building

CONSTRUCTION TYPE
 Construction Classification
 Fire Separation Distance

FIRE PROTECTION SYSTEMS
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 Fire Alarm System

MEANS OF EGRESS
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 Panic Hardware

STRUCTURAL DESIGN
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 Design Loads
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 Walk-on IMP Ceiling Live Load
 Steel Framing
 Collateral Load
 Wood Truss
 Top Chord Dead Load
 Bottom Chord Load
 Mezzanine/Second Floor/Basement Live Load
 Point Load (Partition)
 Snow Load Criteria
 Ground Snow Load (Pg)
 Exposure Factor (Ce)
 Thermal Factor (Ct)
 Wind Loads
 Wind Load
 Surface Roughness
 Exposure Category
 Earthquake Load Criteria
 Soil Site Class
 Ss
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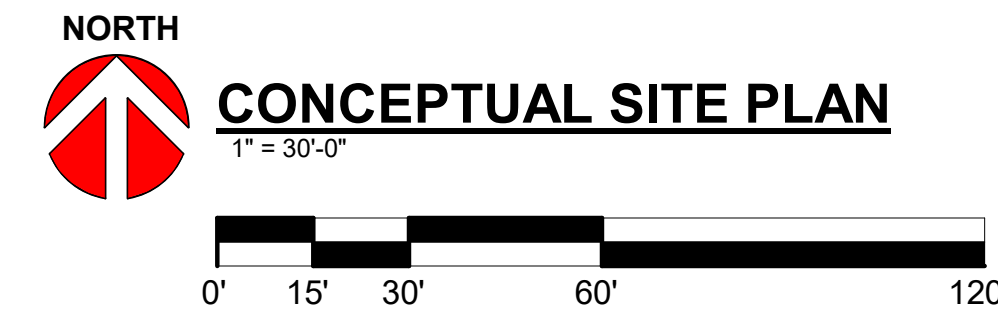
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 Other Source
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 NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
 NO BOILERS OVER 15 PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT
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 Green Space
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 Parking Provided
 Area of Disturbance

ZONING
 Property Zoning
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 Hard Surface Setback
 Coverage Limit
 Greenspace Requirement
 Parking Required
 Refuse Enclosure
 RTU SCREENING



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REVISIONS

NO.	DATE	BY
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INTERIOR DESIGNER: -----

DRAWN BY: C. TEAFOE

EXPEDITOR: -----

SUPERVISOR: -----

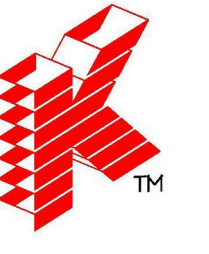
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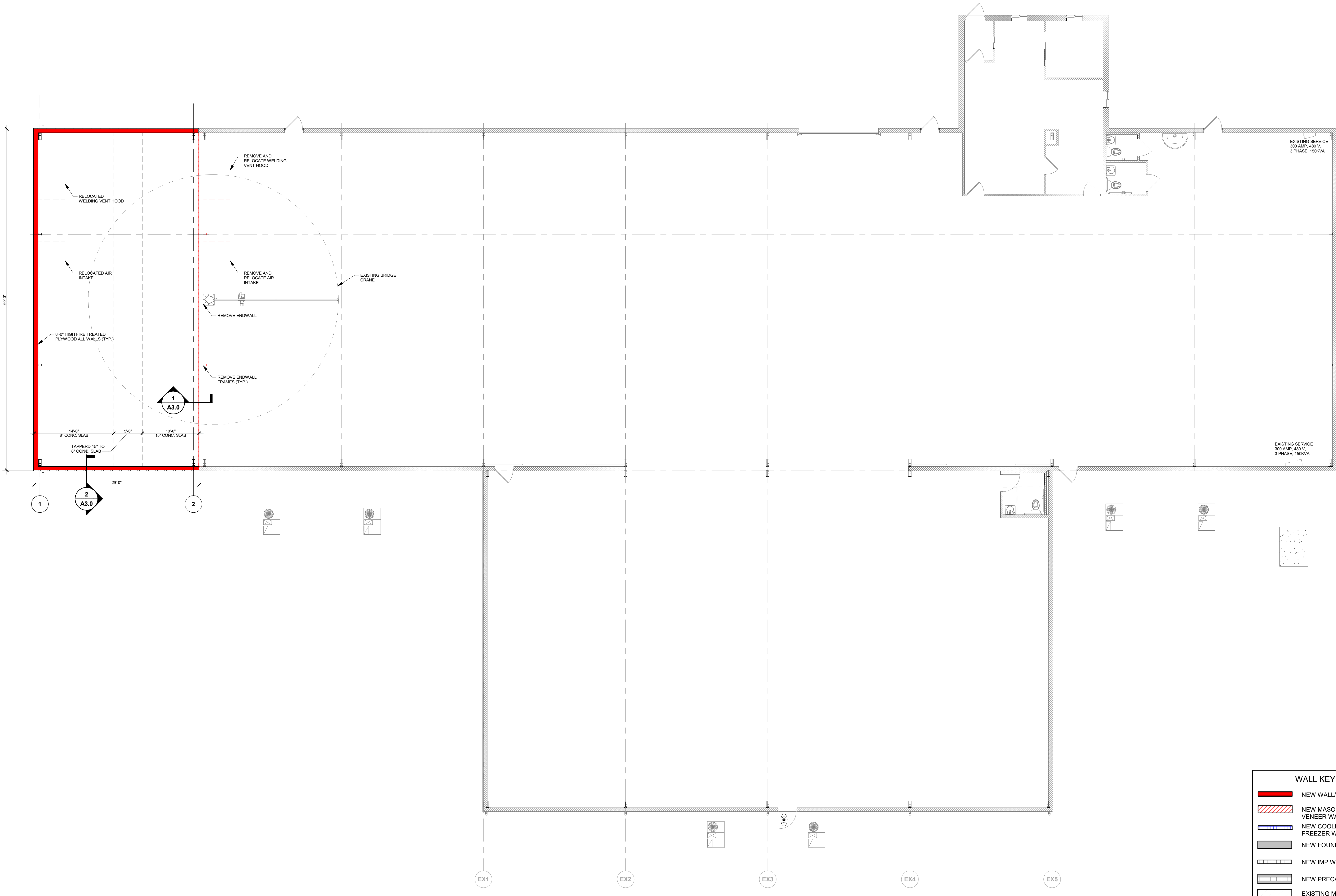
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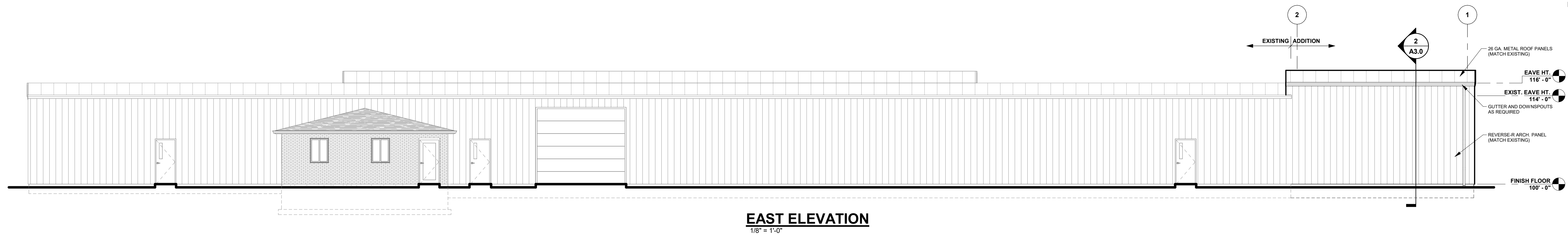
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WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/VENER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER

NORTH

FLOOR PLAN
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

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PLANNERS | ARCHITECTS | BUILDERS

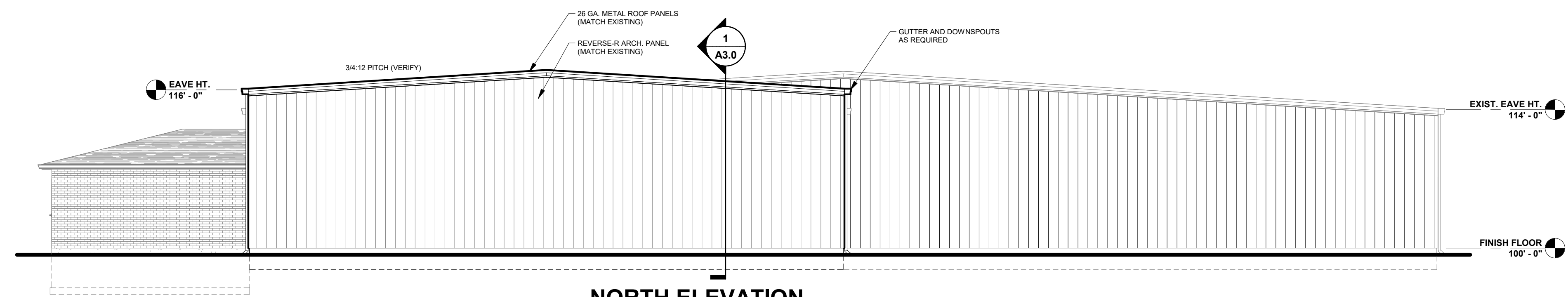
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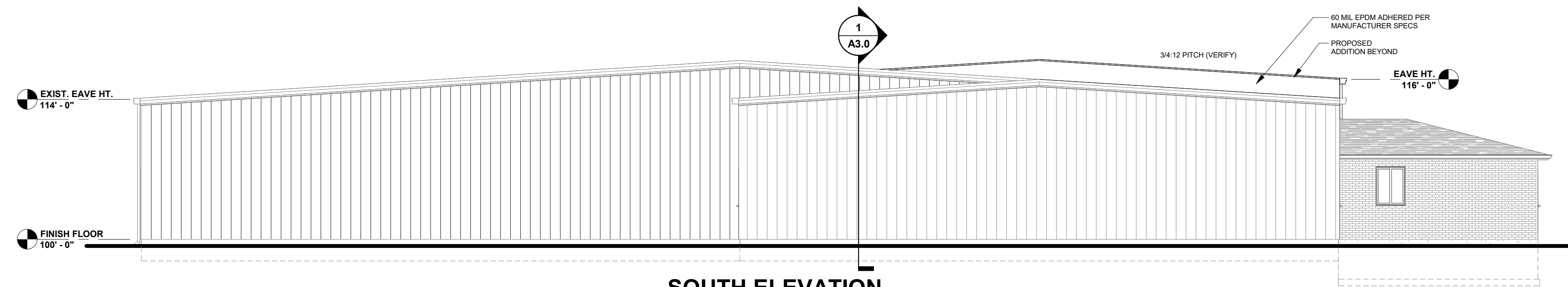
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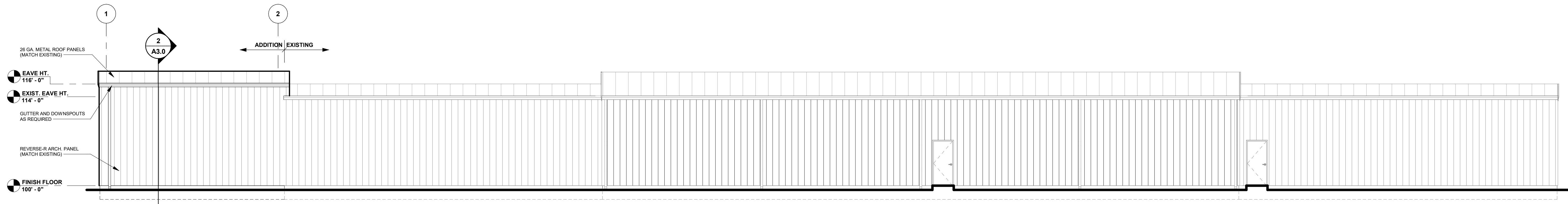
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NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

PROPOSED FOR:
ACCURATE MACHINE
1901 HYLAND AVENUE
KAUKAUNA,
WISCONSIN 54130

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REVISIONS

1	02.18.2026	C. TEAFOE
2	03.13.2026	C. TEAFOE
3		
4		
5		
6		

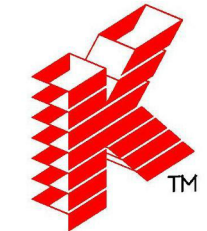
PROJECT MANAGER: J. HALL
DESIGNER: T. TISLAU
INTERIOR DESIGNER: _____
DRAWN BY: C. TEAFOE
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: P26018
CONTRACT NO: _____

DATE: 01.27.2026
SHEET: **A2.0**

DOOR & WINDOW VALUES

WINDOWS:	U VALUE	0.--
	SHGC	0.--
	VT	0.--
DOORS:	U VALUE	0.38
(SWINGING)		
O.H. DOORS:	U VALUE	0.11
(NON-SWINGING)		
DOORS:	U VALUE	0.--
(50% GLAZING)	SHGC	0.--
	VT	0.--

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Keller

PLANNERS | ARCHITECTS | BUILDERS

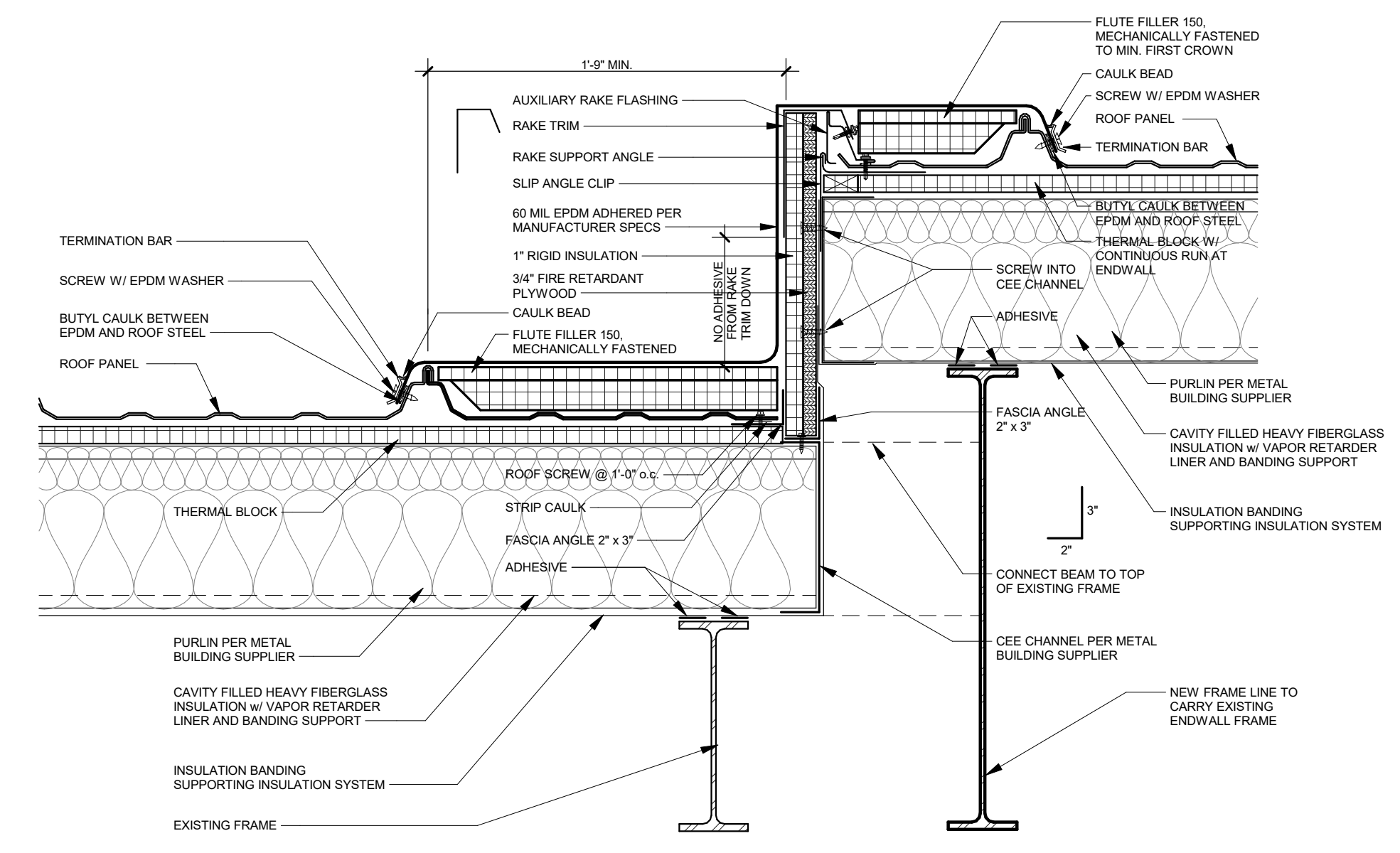
FOX CITIES
N216 State Road 55
P.O. Box 620
Kaukauna, WI 54130
PHONE (920) 766-2795 /
1-800-236-2534
FAX (920) 766-5004

MADISON
711 Loh Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
PHONE (608) 318-2337
FAX (608) 318-2337

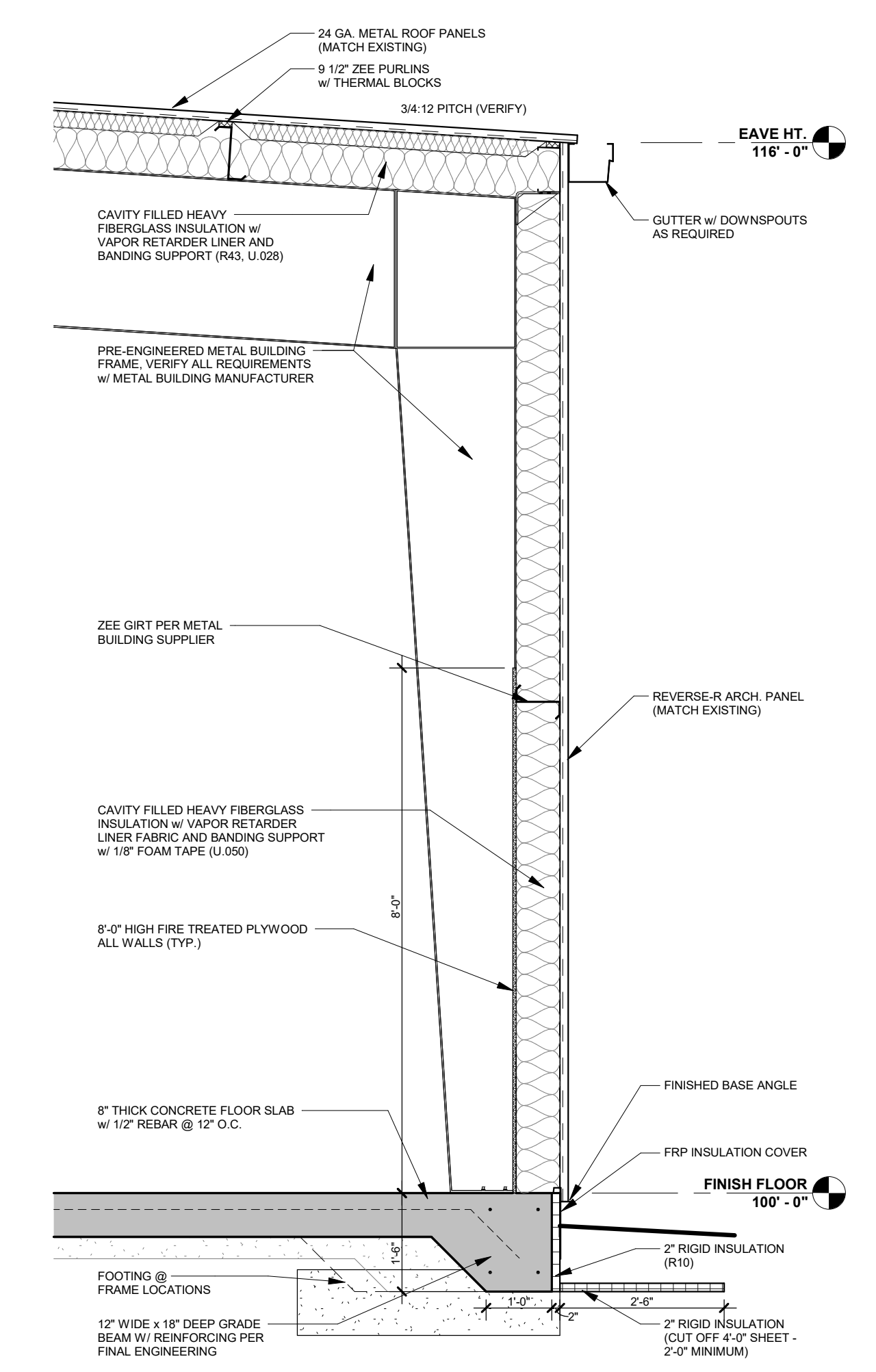
MILWAUKEE
W204 N11509
Coldwater Rd
Germantown, WI 53022
PHONE (262) 250-9710
1-800-236-2534
FAX (262) 250-9740

WAUSAU
5605 Libe Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

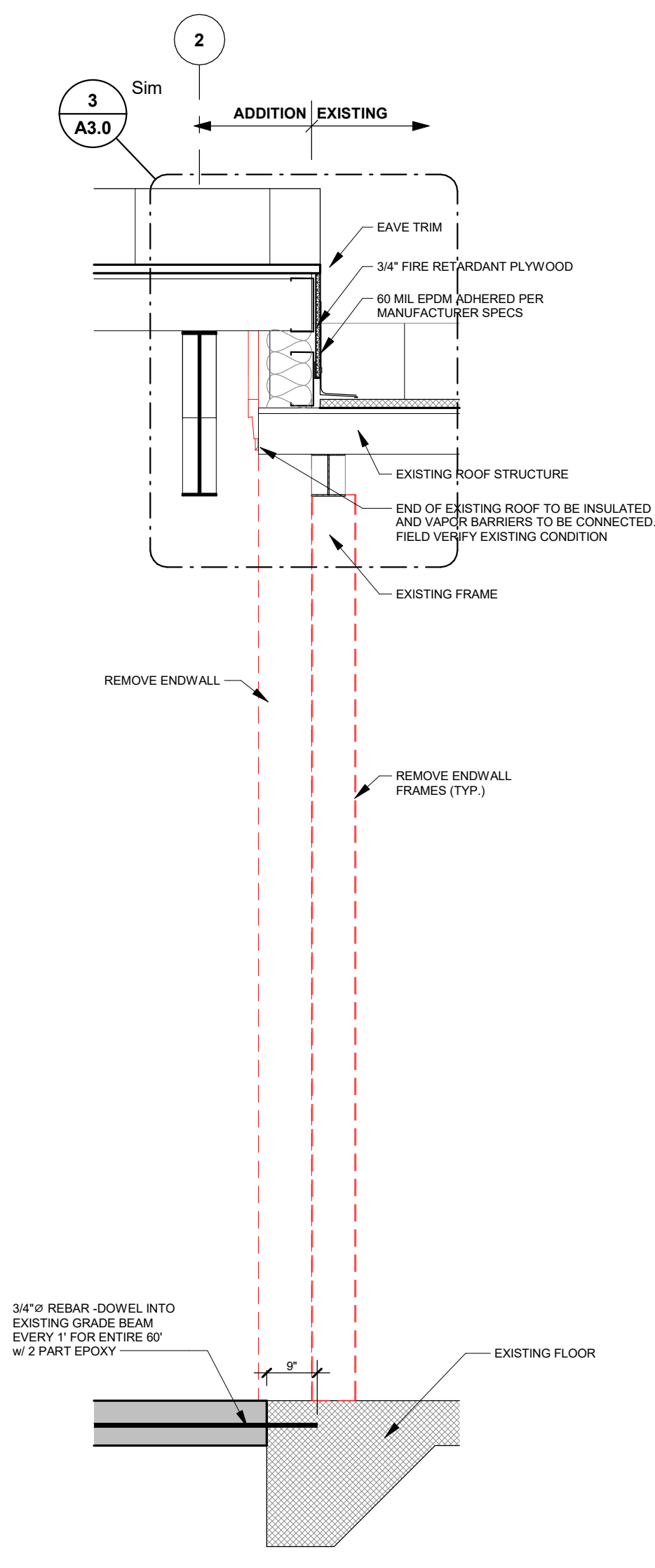
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3 HIGH/LOW CONDITION
A3.0 1 1/2" = 1'-0"



2 WALL SECTION
A3.0 1/2" = 1'-0"



1 SECTION @ EXISTING
A3.0 1/2" = 1'-0"

PROPOSED FOR:

ACCURATE MACHINE

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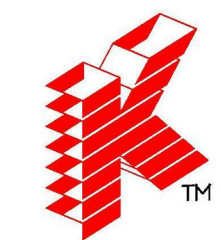
DATE:
01.27.2026

SHEET:
A3.0

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FOOTING SCHEDULE							
FTG.	FOOTING SIZE	FTG. REINFORCING	HAIRPIN SIZE	PIER SIZE	PIER REINFORCING	ANCHOR BOLTS	REMARKS

GENERAL NOTES
1. ALL SPECIFIED FOOTING REBAR IS IN ADDITION TO LONGITUDINAL REBAR IN ADJACENT CONTINUOUS WALL FOOTING.
2. #4 x 24" x 24" CORNER DOWELS AT 12" O.C. VERTICAL TO PASS THROUGH PIER CAGE.
3. FINAL WALLS, FOOTINGS, & REINFORCING SIZES PER FINAL ENGINEERING.



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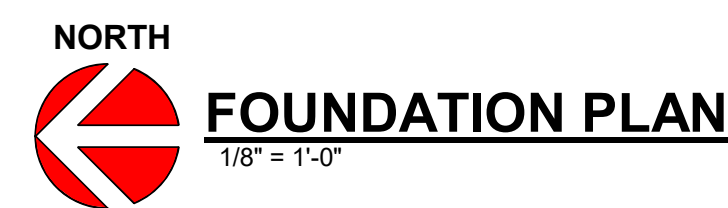
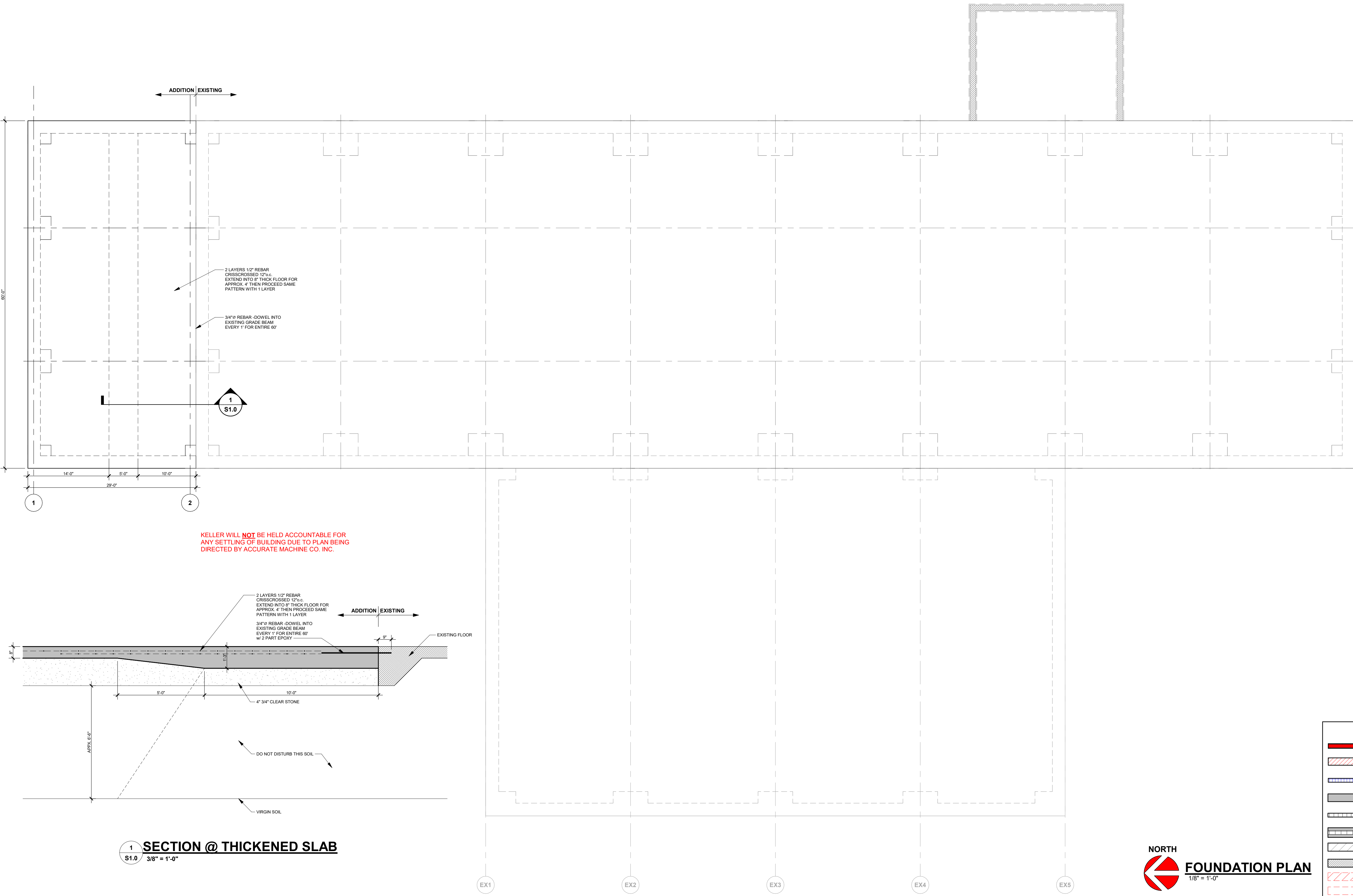
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DATE:
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WALL KEY

[Red Box]	NEW WALL/FURRING
[Hatched Box]	NEW MASONRY/VENERER WALL
[Blue Hatched Box]	NEW COOLER/FREEZER WALLS
[Grey Box]	NEW FOUNDATION WALL
[Dotted Box]	NEW IMP WALL
[Horizontal Hatched Box]	NEW PRECAST WALL
[Vertical Hatched Box]	EXISTING MASONRY WALL
[Cross-hatched Box]	TYPICAL EXISTING WALL
[Diagonal Hatched Box]	DEMO MASONRY WALL
[Dashed Box]	DEMO WALLS
[Dash-dot Box]	FIRE WALL OR FIRE BARRIER

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- S1.0 FOUNDATION PLAN

BUILDING & FIRE AREA SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	----- S.F.	----- S.F.	----- S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	----- S.F.	----- S.F.	----- S.F.
MEZZANINES	----- S.F.	----- S.F.	----- S.F.
FIRE AREA TOTALS	----- S.F.	----- S.F.	----- S.F.
REMODEL AREA TOTALS	----- S.F.	----- S.F.	----- S.F.

BUILDING CODE ANALYSIS

APPLICABLE CODES
 2021 International Building Code (w/ WI Amendments)
 ASHRAE Standard 90.1-2019
 2021 IEBC (Level # Alteration)

OCCUPANCY

 Accessory Use
 Incidental Use

 High-Piled Combustible Storage YES/NO
 Hazardous Materials YES/NO
 Multiple Control Areas YES/NO

HEIGHT & AREA
 Building Height: ---" Maximum Allowed: ---"
 Number of Stories: --- Maximum Allowed: ---
 Total Building Area: --- S.F. Maximum Allowed: --- S.F.
 Total Fire Area: --- S.F. Maximum Allowed: --- S.F.
 Mixed/Separated Occupancies
 Unlimited Area Building YES/NO

CONSTRUCTION TYPE
 Construction Classification -B
 Fire Separation Distance ---"

FIRE PROTECTION SYSTEMS
 Assumed Sprinkler Type ---
 Fire Alarm System YES/NO

MEANS OF EGRESS
 Occupant Load ---
 Panic Hardware YES/NO

STRUCTURAL DESIGN
 Risk Category ---
 Design Loads
 Roof Live Load --- psf
 Walk-on IMP Ceiling Live Load --- psf
 Steel Framing
 Collateral Load --- psf
 Wood Truss
 Top Chord Dead Load --- psf
 Bottom Chord Load --- psf
 Mezzanine/Second Floor/Basement Live Load --- psf
 Point Load (Partition) --- psf
 Snow Load Criteria
 Ground Snow Load (Pg) --- psf
 Exposure Factor (Ce) ---
 Thermal Factor (Ct) ---
 Wind Loads
 Wind Load --- MPH
 Surface Roughness ---
 Exposure Category ---
 Earthquake Load Criteria
 Soil Site Class ---
 Ss ---
 S1 ---

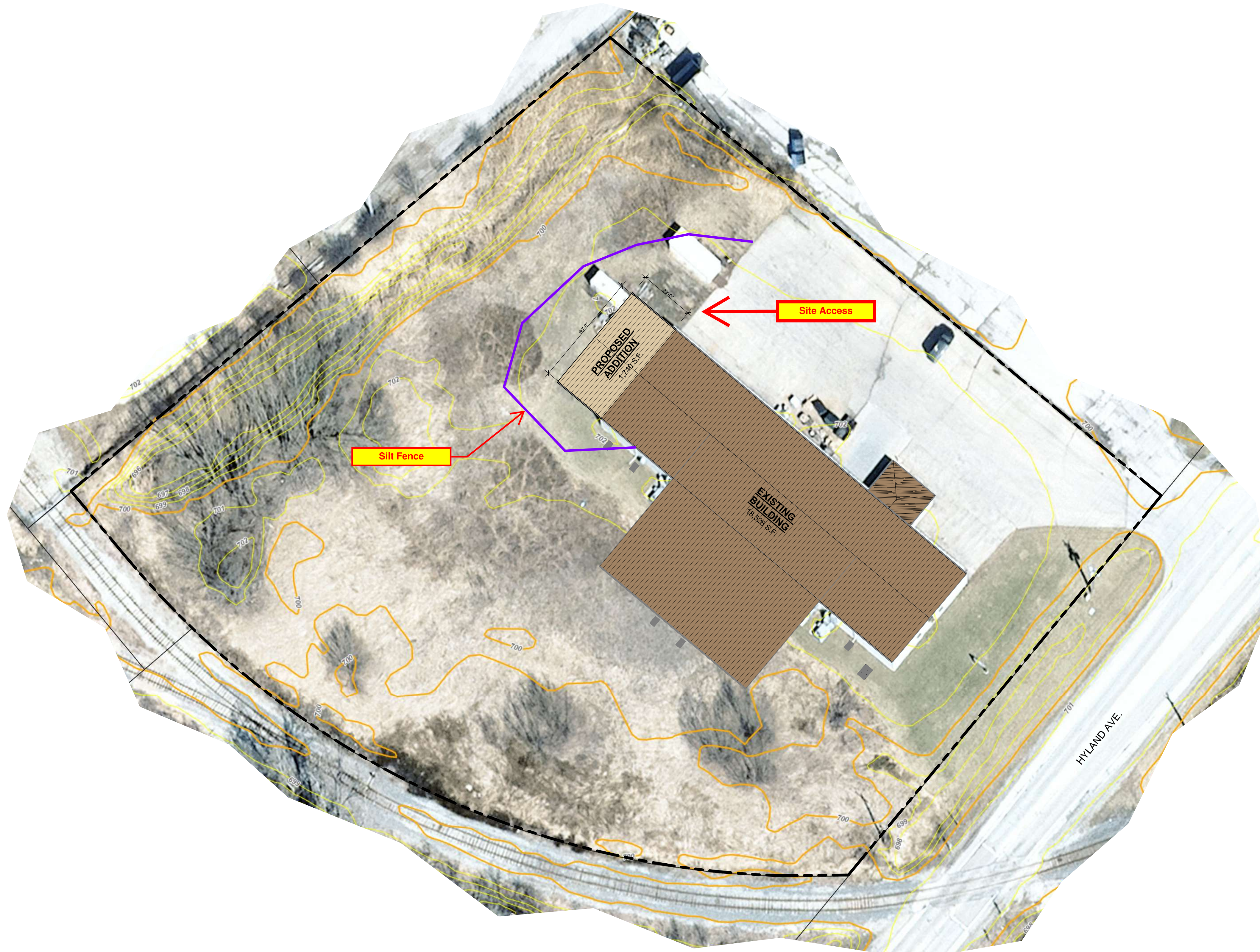
PLUMBING SYSTEMS
 Mens WC Required #
 Womens WC Required #
 Drinking Fountain Required #
 Other Source YES/NO
 Ambulatory Stall Required YES/NO

MECHANICAL SYSTEMS
 NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
 NO BOILERS OVER 15 PSI AND 10 HORSEPOWER

SITE INFORMATION

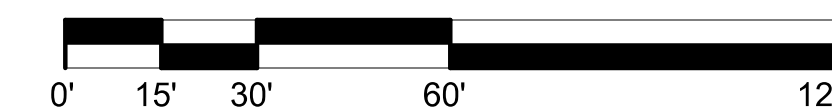
SITE CONTENT
 Building Size --- S.F. ---%
 Hard Surface --- S.F. ---%
 Green Space --- S.F. ---%
 Parcel Size (Approx.) --- S.F. --- Acres
 Parking Provided --- Stalls
 Area of Disturbance --- S.F.

ZONING
 Property Zoning ---
 Setbacks FY --- SY --- RY ---
 Hard Surface Setback ---"
 Coverage Limit ---%
 Greenspace Requirement ---%
 Parking Required --- Stalls
 Refuse Enclosure YES/NO
 RTU SCREENING YES/NO



CONCEPTUAL SITE PLAN

1" = 30'-0"



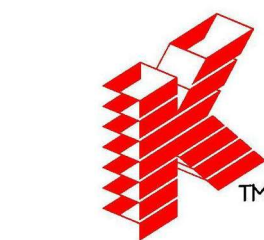
THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

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ACCURATE MACHINE

KAUKAUNA,

WISCONSIN



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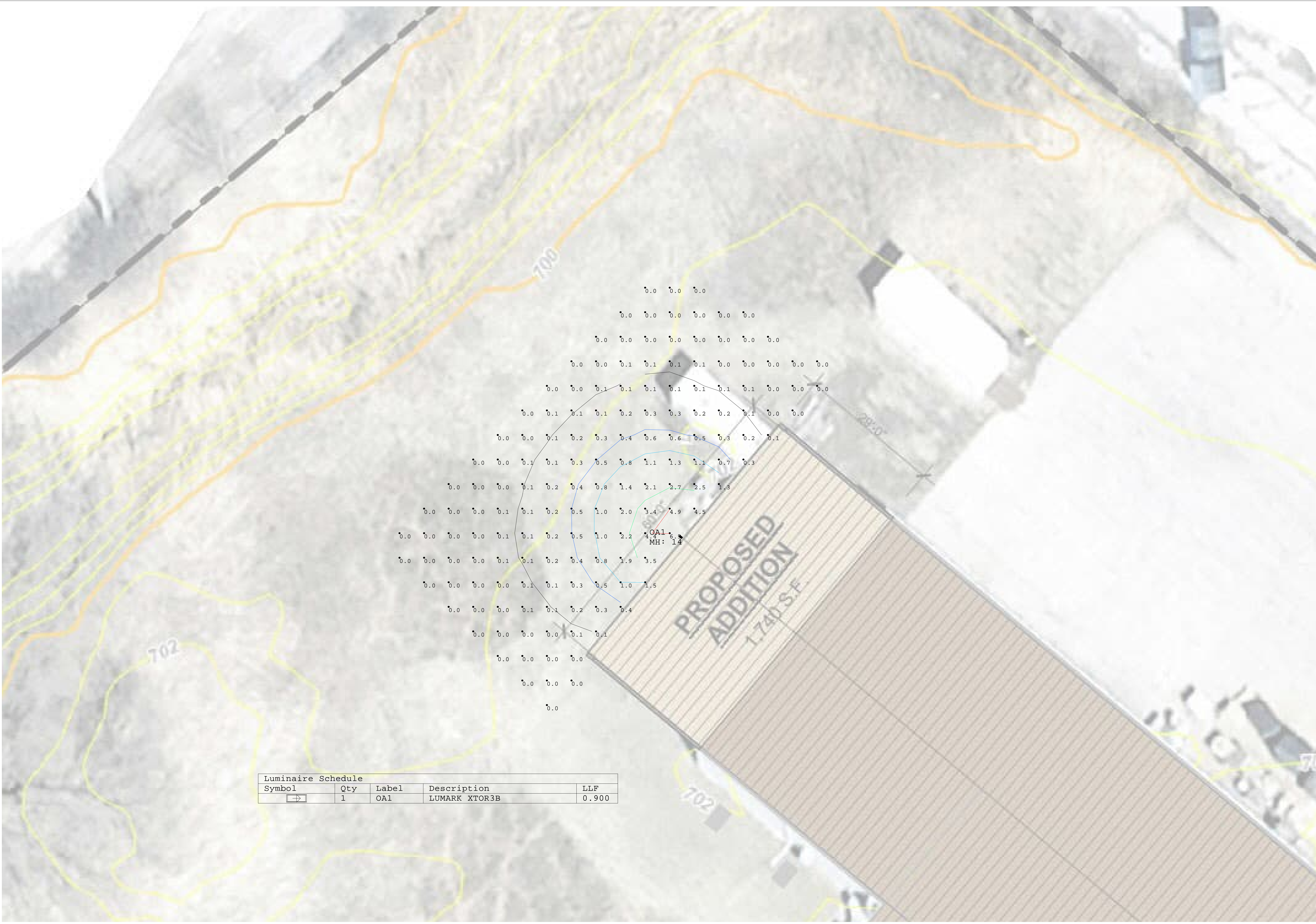
DATE:

01.27.2026

SHEET:

C1.0

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Luminaire Schedule				
Symbol	Qty	Label	Description	LLF
☞	1	OA1	LUMARK XTOR3B	0.900

ACCURATE MACHINE

RECORDS INFO
 DRAWN BY: CRH
 Date: 5/20/2026
 SCALE: 1/8"=1'
 JOB #: 97284

SHEET DESCRIPTION
 EXTERIOR
 LIGHTING
 LAYOUT

SHEET NO.
ES01

Project		Catalog #	XTOR3B	Type	OAI
Prepared by		Notes		Date	



Lumark

Crosstour Series

Wall Mount Luminaire

Product Certifications & Features



Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Energy and Performance Data page 3

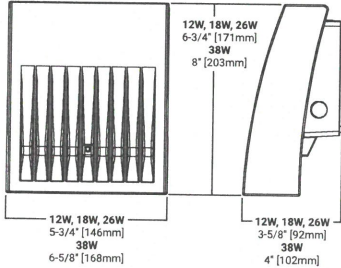
Quick Facts

- Available in 12W, 18W, 26, & 38W (900 - 3,100 lumens) models
- Available in 5000K or 4000K (CCT)
- Wall, inverted or pole mount
- Energy and maintenance savings up to 95% compared to HID

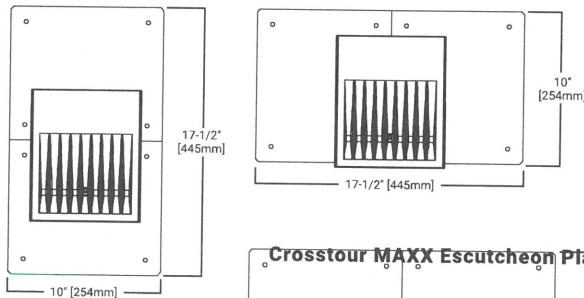
- Energy efficient illumination results in up to 177LPW
- Replaces 70W up to 450W HID equivalents
- Optional floodlighting kit converts from wall to floodlight, and pole mount

Dimensional Details

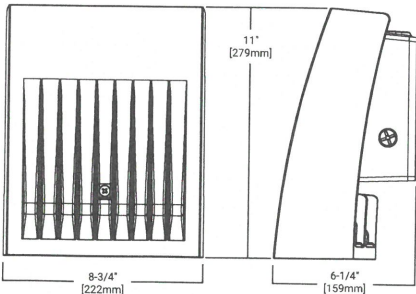
Crosstour Full Cut-off



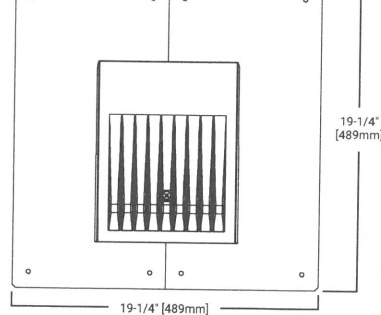
Crosstour Escutcheon Plates



Crosstour MAXX Full Cut-off



Crosstour MAXX Escutcheon Plate



Ordering Information

SAMPLE NUMBER: XTOR2B-W-WT-PC1

Domestic Preferences	Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
[Blank] =Standard BAA =Buy American Act ⁷ TAA =Trade Agreements Act ⁷ BABA =Build America Buy America Act ⁸	XTOR1B=Small Door, 12W XTOR2B=Small Door, 18W XTOR3B=Small Door, 26W XTOR4B=Medium Door, 38W	[Blank] =Bright White (Standard), 5000K W =Neutral White, 4000K Y =Warm White, 3000K	[Blank] =Carbon Bronze (Standard) WT =Summit White BK =Black BZ =Bronze AP =Grey GM =Graphite Metallic DP =Dark Platinum	PC1=Photocontrol 120V ² PC2=Photocontrol 208-277V ^{2,3} 347V=347V ⁴ HA=50°C High Ambient ⁴	XTORFLD-KNC=Knuckle Floodlight Kit ⁶ XTORFLD-TRN=Trunnion Floodlight Kit ⁶ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁶ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁶ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White
	Full Cutoff XTOR6B=MAXX, 58W XTOR8B=MAXX, 81W XTOR12B=MAXX, 102W Refractive Lens XTOR6BRL=MAXX, 58W XTOR8BRL=MAXX, 81W XTOR12BRL=MAXX, 102W				

<p>NOTES:</p> <ol style="list-style-type: none"> DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to designlights.org for details. Photocontrols are factory installed. Order PC2 for 347V models. Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination. Wire guard for wall/surface mount. Not for use with floodlight kit accessory. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 	<ol style="list-style-type: none"> Not available with HA option. Deep back box is standard for 347V, 480V, CBP, PMA, MS-L20 and MS/DIM-L20. Not available with CBP option. Thru-branch wiring not available with HA option or with 347V. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). Not available with MS-L20 and MS/DIM-L20 options. Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V lead. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information. For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20". 120V thru 277V only. Factory set to 50% power reduction after 15-minutes of inactivity. Dimming driver included. Includes integral photo sensor. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff, and more. Consult your lighting representative at Eaton for more information. 120V or 277V operation only. Operating temperatures -20°C to 25°C. Not available in XTOR12B or XTOR12BRL models. Replace XX with housing color.
---	---

Crosstour Stock Ordering Information

12W Series	18W Series	26W Series	38W Series
XTOR1B=12W, 5000K, Carbon Bronze	XTOR2B=18W, 5000K, Carbon Bronze	XTOR3B=26W, 5000K, Carbon Bronze	XTOR4B=38W, 5000K, Carbon Bronze
XTOR1B-WT=12W, 5000K, Summit White	XTOR2B-W=18W, 4000K, Carbon Bronze	XTOR3B-W=26W, 4000K, Carbon Bronze	XTOR4B-W=38W, 4000K, Carbon Bronze
XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT=18W, 5000K, Summit White	XTOR3B-WT=26W, 5000K, Summit White	XTOR4B-WT=38W, 5000K, Summit White
XTOR1B-W=12W, 4000K, Carbon Bronze	XTOR2B-PC1=18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1=26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1=38W, 5000K, 120V PC, Carbon Bronze
	XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1=26W, 4000K, 120V PC, Carbon Bronze	XTOR4B-W-PC1=38W, 4000K, 120V PC, Carbon Bronze
	XTOR2B-347V=18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V=26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V=38W, 5000K, Carbon Bronze, 347V
	XTOR2B-WT-PC1=18W, 5000K, 120V PC, Summit White	XTOR3B-PC2=26W, 5000K, 208-277V PC, Carbon Bronze	

Crosstour MAXX Stock Ordering Information

58W Series	81W Series	102W Series
FULL CUTOFF		
XTOR6B=58W, 5000K, Carbon Bronze	XTOR8B=81W, 5000K, Carbon Bronze	XTOR12B=102W, 5000K, Carbon Bronze
XTOR6B-PC1=58W, 5000K, 120V PC, Carbon Bronze	XTOR8B-PC1=81W, 5000K, 120V PC, Carbon Bronze	
XTOR6B-WT= 58W, 5000K, Summit White	XTOR8B-WT=81W, 5000K, Summit White	
XTOR6B-W=58W, 4000K, Carbon Bronze	XTOR8B-PC2=81W, 5000K, 208-277V PC, Carbon Bronze	
XTOR6B-PMA= 58W, 5000K, Pole Mount Arm, Carbon Bronze	XTOR8B-PMA=81W, 5000K, Pole Mount Arm, Carbon Bronze	
XTOR6B-PC2= 58W, 5000K, 208-277V PC, Carbon Bronze	XTOR8B-347V=81W, 5000K, Carbon Bronze, 347V	
REFRACTIVE LENS		
XTOR6BRL=58W, 5000K, Refractive Lens, Carbon Bronze	XTOR8BRL=81W, 5000K, Refractive Lens, Carbon Bronze	XTOR12BRL=102W, 5000K, Refractive Lens, Carbon Bronze
XTOR6BRL-PC1=58W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR8BRL-PC1=81W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR12BRL-W=102W, 4000K, Refractive Lens, Carbon Bronze
XTOR6BRL-WT=58W, 5000K, Refractive Lens, Summit White	XTOR8BRL-WT=81W, 5000K, Refractive Lens, Summit White	XTOR12RBL-347V=102W, 5000K, Refractive Lens, Carbon Bronze, 347V
XTOR6BRL-W=58W, 4000K, Refractive Lens, Carbon Bronze	XTOR8BRL-PC2=81W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	
XTOR6BRL-PMA=58W, 5000K, Refractive Lens, Pole Mount Arm, Carbon Bronze	XTOR8BRL-PMA=81W, 5000K, Refractive Lens, Pole Mount Arm, Carbon Bronze	
XTOR6BRL-PC2=58W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	XTOR8BRL-W=81W, 4000K, Refractive Lens, Carbon Bronze	
XTOR6BRL-347V=58W, 5000K, Refractive Lens, Carbon Bronze, 347V	XTOR8BRL-347V = 81W, 5000K, Refractive Lens, Carbon Bronze, 347V	

Product Specifications

Physical Characteristics

- Die-cast aluminum housing
- External back fin design extracts heat from the surface to thermally optimize design for longer luminaire life
- tool-less electrical connections with the supplied push-in connectors.
- supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes.

Optics

- Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
- Silicone-sealed optical LED chamber
- impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance
- Available in seven lumen packages; 5000K, 4000K and 3000K CCT

Electrical

- Standard universal voltage (120-277V, 50/60Hz)
- Driver incorporates 6kV surge protection
- -40°C minimum operating temperature
- 40°C maximum operating temperature
- <20% total harmonic distortion

Mounting

- Knuckle, Trunnion, Escutcheon Wall Plate

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Typical Applications

- Wall Mount, Bullet Flood, Pole Mount, Exterior wall, Walkway

Compliance

- BAA domestic preference option meets BAA requirements. See [DOMESTIC PREFERENCES](#) website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams. Please refer to the [DOMESTIC PREFERENCES](#) website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Shipping Data

- Small fixture=5 lbs. [2.36 kgs.]
- Small with sensor or CBP=10 lbs. [4.40 kgs.]
- Large fixture=12 lbs. [5.45 kgs.]
- Large with sensor or CBP=17 lbs. [7.73 kgs.]
- Large with sensor & CBP=21 lbs. [9.54 kgs.]

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Crosstour Power and Lumens

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) ¹	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating ²	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

Crosstour MAXX Power and Lumens

LED Information	XTOR6B	XTOR6BRL	XTOR6B-W	XTOR6BRL-W	XTOR6B-Y	XTOR6BRL-Y
Delivered Lumens	6,129	6,225	6,038	6,133	5,611	5,826
B.U.G. Rating	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	58W	58W	58W	58W	58W	58W

LED Information	XTOR8B	XTOR8BRL	XTOR8B-W	XTOR8BRL-W	XTOR8B-Y	XTOR8BRL-Y
Delivered Lumens	8,502	8,635	8,373	8,504	7,748	8,079
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	81W	81W	81W	81W	81W	81W

LED Information	XTOR12B	XTOR12BRL	XTOR12B-W	XTOR12BRL-W	XTOR12B-Y	XTOR12BRL-Y
Delivered Lumens	12,728	13,458	12,539	13,258	11,861	12,595
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	102W	102W	102W	102W	102W	102W

Crosstour Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
XTOR1B Model	
25°C	> 90%
40°C	> 89%
50°C	> 88%
XTOR2B Model	
25°C	> 89%
40°C	> 88%
50°C	> 87%
XTOR3B Model	
25°C	> 89%
40°C	> 88%
50°C	> 87%
XTOR4B Model	
25°C	> 89%
40°C	> 87%
50°C	> 87%

Crosstour MAXX Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)
XTOR6B Model	
25°C	> 90%
40°C	> 88%
50°C	> 88%
XTOR8B Model	
25°C	> 89%
40°C	> 87%
50°C	> 86%
XTOR12B Model	
25°C	> 89%
40°C	> 87%

Power and Lumens (Large + CBP)

Light Engine	XTOR1B	XTOR2B	XTOR3B	XTOR4B
Power (Watts)	12	18	26	38
Input Current @ 120V (A)	0.103A	0.15A	0.22A	0.34A
Input Current @ 208V (A)	0.060A	0.09A	0.13A	0.17A
Input Current @ 240V (A)	0.053A	0.08A	0.11A	0.17A
Input Current @ 277V (A)	0.048A	0.07A	0.10A	0.15A
Input Current @ 347V (A)	0.039A	0.06A	0.082A	0.12A

Note: Power and current based on full power consumption while CBP is charging.
Lumen outputs are while operating in emergency mode only.