



REGULAR PLANNING COMMISSION AGENDA

February 28, 2023 at 7:00 PM

Assembly Chambers/Zoom Webinar

<https://juneau.zoom.us/j/85332637622> or 1-669-444-9171 Webinar ID: 853 3263 7622

- A. **LAND ACKNOWLEDGEMENT**
- B. **ROLL CALL**
- C. **REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA**
- D. **APPROVAL OF MINUTES**

1. February 14, 2023 Draft Minutes, Regular Planning Commission - APPROVED

- E. **BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION**
- F. **PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**
- G. **ITEMS FOR CONSIDERATION**
- H. **CONSENT AGENDA**

2. **USE2022 0012**: Conditional Use Permit for Pederson Hill Nursery with Retail Sales - APPROVED AS RECOMMENDED

Applicant: Bobbi J Epperly

Location: 10460 Glacier Highway

DIRECTOR'S REPORT

The applicants request a Conditional Use Permit to develop an organic cut-flower and vegetable nursery with 14 hoop houses, multiple garden beds, a gravel driveway, and a parking area for customers on the southern portion of the lot. Seasonal retail sales will be open to the public May through September; or, customers may come by appointment or by ticketed sales events. Operating times when the nursery will be open to the public are tentatively planned for Monday through Sunday, 10:00 am to 6:00 pm.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings, and APPROVE WITH CONDITIONS the requested Conditional Use Permit. The permit would allow the development of a Nursery with retail sales.

3. **WCF2022 0001**: Installation of new Wireless Communication Facility Tower - APPROVED AS RECOMMENDED

Applicant: CCTHITA

Location: 5750 Concrete Way

DIRECTOR'S REPORT

The applicant requests a Special Use Permit to develop a new 62-foot, non-concealed wireless communications tower in an Industrial zone. The tower will be located next to the Tribal Emergency Operations Center (TEOC) for the Central Council of Tlingit and Haida Indian Tribes of Alaska (CCTHITA). The tower will improve communications by connecting remote Southeast Alaskan Tribal communities and emergency/first responders through the monitoring of established frequencies. The tower will also allow real time communications with the Village Public Safety Officer Program (VPSO) in Tribal communities.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings, and APPROVE WITH CONDITIONS the requested Special Use Permit. The permit would allow the development of a new 62-foot, non-concealed wireless communications tower.

4. **ARF2023 0001**: Design modifications to Phase 1, including structure reorientation and drainage modifications. - APPROVED AS RECOMMENDED

Applicant: Rooftop Properties LLC

Location: 7400 Glacier Highway

DIRECTOR'S REPORT

The applicant requests relocation of Unit Lot D to accommodate geotechnical conditions encountered on the site. The proposed change includes reorienting a detention pond. The recommended approval remains subject to the conditions of the original approval. If this modification to the ARS plan is approved, the lot relocation will be shown on the final plat.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and approve ARF2023 0001. The approval remains subject to the conditions of ARF2022 0001:

1. Establish unique names for the roadways in the subdivision.
2. Install signage where Vista del Sol Drive and the proposed subdivision road meet, with directional arrows depicting the split.
3. The developer will submit documentation of approval of the mail box location by the United States Post Office.

I. UNFINISHED BUSINESS**J. REGULAR AGENDA****K. OTHER BUSINESS****L. STAFF REPORTS**

M. COMMITTEE REPORTS

N. LIAISON REPORT

O. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

P. PLANNING COMMISSION COMMENTS AND QUESTIONS

Q. EXECUTIVE SESSION

R. SUPPLEMENTAL MATERIALS

[5.](#) Additional Materials Packet

S. ADJOURNMENT

ADA accommodations available upon request: Please contact the Clerk's office 36 hours prior to any meeting so arrangements can be made for closed captioning or sign language interpreter services depending on the meeting format. The Clerk's office telephone number is 586-5278, TDD 586-5351, e-mail: city.clerk@juneau.org.

DRAFT MINUTES

Agenda

Planning Commission

Regular Meeting

CITY AND BOROUGH OF JUNEAU

Michael LeVine, Chairman

February 14, 2023

I. LAND ACKNOWLEDGEMENT – Read by Vice Chair Voelckers.

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land, and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

II. ROLL CALL

Michael LeVine, Chairman, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held in Assembly Chambers of the Municipal Building, virtually via Zoom Webinar, and telephonically, to order at 7:01 p.m.

Commissioners present: Commissioners present in Chambers – Michael LeVine, Chairman; Paul Voelckers, Vice Chair; Matthew Bell; Erik Pedersen; Mandy Cole; Nina Keller

Commissioners present via video conferencing – Adam Brown; David Epstein

Commissioners absent: Travis Arndt, Clerk;

Staff present: Jill Maclean, CDD Director; Irene Gallion, Senior Planner; Lily Hagerup, CDD Administrative Assistant; Ilsa Lund, CDD Administrative Assistant; Sherri Layne, Law Assistant Municipal Attorney

Assembly members: None present

III. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA – Chair LeVine moved Other Business to the top of the agenda for the swearing in of new members and officer appointments.

IV. OTHER BUSINESS –

- A. Swearing in new members - Attorney Layne swore in new Commissioners Adam Brown, Nina Keller, and David Epstein
- B. Appointment of New officers

MOTION: *by Mr. Voelckers to appoint officers as follows:*

Chair – Michael LeVine

Vice-Chair – Mandy Cole

Clerk – Travis Arndt

Vice-Clerk – Eric Pedersen

The motion passed with no objection.

Mr. LeVine informed the commissioners that all new members will be added to the Title 49 committee and Mr. Arndt will chair. Mr. Voelckers will be liaison to the Public Works and Facilities committee. Opportunities to participate remain with the JCOS, Governance, and Wetlands Review committees.

V. APPROVAL OF MINUTES

- A. January 24, 2023 Draft Minutes, Regular Planning Commission

MOTION: *by Mr. Voelckers to approve the January 24, 2023 Planning Commission Regular Meeting minutes with corrections as described.*

VI. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION – by Mr. LeVine

VII. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS - None

VIII. ITEMS FOR RECONSIDERATION - None

IX. CONSENT AGENDA

Case Number: **SMF2022 0003:** Major Subdivision Final Plat on Chilkat Vistas Phase II creating 13 lots and 3 tracts in a D15 zone.

Applicant: Michael Heumann

Location: Hillcrest Avenue

SMF2022 0003 moved to Regular Agenda by request of public member

X. UNFINISHED BUSINESS

Prior to hearing the cases Mr. Voelckers declared a conflict and recused himself from both cases.

Case Number: **AME2022 0006:** Rezone approximately 3.7 acres in the Aak'w Kwaan District from MU2 to MU, eliminating setback requirements, lot coverage restrictions and height restrictions. - Continued from the January 24, 2023 Regular Planning Commission Meeting

Applicant: CCTHITA

Location: 250 Village Street

Staff Recommendation

Staff recommends the Planning Commission extend the rezone west to Capital Avenue, then forward a recommendation of APPROVAL to the Assembly.

STAFF PRESENTATION – By Director Maclean

APPLICANT PRESENTATION – Elias Turan, representing CCTHITA and Paul Voelckers, MRV Architects presented **AME2022 0006**

QUESTIONS FOR APPLICANT

Ms. Cole asked if the extension is T&H property. It is not. Ms. Cole asked if they know who the owner is. Mr. Voelckers explained that might be a question for the city.

COMMISSIONER DISCUSSION

Ms. Cole reiterated her question regarding ownership of the land. Ms. Maclean explained it is owned by private owners and not public owned. CBJ does not usually base zone boundaries on property lines because property lines can change. Using streets as boundaries is preferable as they do not often change.

Mr. Epstein asked if the property owner had been contacted. Ms. Maclean said they would have received abutter notices.

MOTION: *by Mr. Pedersen to accept staff's findings, analysis, and recommendations, and approve AME2022 0006.*

The motion passed with no objection.

Case Number: **AME2022 0008:** : Rezone approximately 5.1 acres in the Aak'w Kwaan District from MU2 to MU, eliminating setback requirements, lot coverage restrictions and height restrictions. - Continued from the January 24, 2023 Regular Planning Commission Meeting

Applicant: City and Borough of Juneau
Location: Willoughby Avenue

Staff Recommendation

Staff recommends the Planning Commission extend the rezone east to encompass the Four Points Sheraton (0.9 acres), then forward a recommendation of APPROVAL to the Assembly.

STAFF PRESENTATION – Presented with AME2022 0006

APPLICANT PRESENTATION – Dan Bleidorn, CBJ Lands Manager, presented and is available for questions

QUESTIONS FOR APPLICANT – Mr. LeVine asked why the city wants this rezone. Mr. Bleidorn said this makes sense to make this change along with the **AME2022 0006**. Mr. LeVine asked if the State Office Building parking garage would fall into this rezone. Mr. Bleidorn said it would not.

COMMISSIONER DISCUSSION – Ms. Cole asked for clarification what safeguards there are to discourage constructing very tall buildings. Ms. Maclean explained heights could be limited based on fire code or other safety plans.

MOTION: *by Ms. Cole to accept staff's findings, analysis, and recommendations, and approve AME2022 0008.*

The motion passed with no objection.

Mr. Voelckers rejoined the meeting to participate in the Regular Agenda

XI. REGULAR AGENDA (moved from Consent Agenda by a member of the public)

Case Number: **SMF2022 0003:** Major Subdivision Final Plat on Chilkat Vistas Phase II creating 13 lots and 3 tracts in a D15 zone.

Applicant: Michael Heumann

Location: Hillcrest Avenue

Staff Recommendation

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE WITH CONDITIONS the requested final plat. The permit would allow the final plat approval for the final plat review for Chilkat Vistas Phase II creating 13 lots and 3 tracts in a D15 zone. The approval is subject to the following conditions:

1. Bonding will be fully executed before the Chair of the Planning Commission signs the final plat.
2. CBJ General Engineering comments on the Applicant's draft plat dated January 24, 2023 must meet GE's requirements before the Chair of the Planning Commission signs the final plat.

STAFF PRESENTATION – By Director Maclean

QUESTIONS FOR STAFF – Mr. LeVine asked for some background on the project. Ms. Maclean gave a brief recap of the history of the property and explained that this property has been through the first two phases and the applicant is now seeking approval of the final plat.

PUBLIC COMMENT

Leslie Holzman – Ms. Holzman’s property in the Tamarack Trails condominiums neighbors the Chilkat Vistas development. She spoke to request a green buffer be added to the plan to restore privacy that was lost when trees were removed for construction.

Mr. Voelckers asked if the felled trees were on the applicants’ property or another parcel. Ms. Holzman acknowledged it is on the applicants’ property.

Ms. Keller noticed that the owner had said they would vegetate the area. Ms. Holzman said that is a verbal agreement but she would like to see something more.

APPLICANT COMMENTS

Mr. Heumann explained there was a windstorm that damaged trees which then needed to be cut for safety. He fully agrees with Ms. Holzman and intends to plant in the area.

Ms. Cole asked if he would have an objection to having a condition added. He was amenable to a condition but did not think it could be added to a final plat.

Mr. Epstein asked Attorney Layne for clarification whether the condition could be added. She said she is not certain but also believes this is not the kind of condition that can be added to a final plat.

MOTION: *by Mr. Voelckers to accept staff’s findings, analysis, and recommendations, and approve SMF2022 0003.*

Mr. Voelckers added, for the record, the Commission supports the applicant’s word that he will work with the neighbors to revegetate.

The motion passed with no objection.

XII. STAFF REPORTS

- Title 49 will meet February 23 at noon
- Lands, Housing and Economic committee work session this Friday at noon
-

Mr. Voelckers asked for an update on the hazardous mapping process. It will be heard on March 14 at a special meeting beginning at 5:30 p.m. immediately preceding the regular meeting at 7:00 p.m.

Mr. LeVine listed the members of the Title 49 Committee are Mr. Brown, Mr. Epstein, Mr. Bell, Ms. Keller, and Mr. Voelckers and strongly encouraged the other commissioners to please attend.

XIII. COMMITTEE REPORTS

- Ms. Cole reported she will be attending the work session on Friday.
- Mr. Voelckers reported JCOS met last week and the airport gave a presentation. JCOS asked for airport parking and rental car lots to include EV charging.

XIV. LIAISON REPORTS – None**XV. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS None****XVI. PLANNING COMMISSION COMMENTS AND QUESTIONS – Mr. LeVine welcomed the new Commissioners**

Mr. Voelckers asked for status on the Comp Plan. Ms. Maclean said she and Mr. Ciambor are working on hiring a project manager planner to oversee this.

XVII. EXECUTIVE SESSION None**XVIII. ADJOURNMENT – 8:17 p.m.
Next meeting February 28 7:00 p.m.**

Respectfully submitted by *Kathleen Jorgensen Business Assists (907)723-6134* 🇺🇸



Planning Commission

(907) 586-0715

PC_Comments@juneau.org

www.juneau.org/community-development/planning-commission

155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF DECISION

Date: March 2, 2023

Case No.: USE2022 0012

Bobbi Epperly
PO Box 34358
Juneau, AK 99803

Proposal: Conditional Use Permit for “*Pederson Hill Farm*” – a flower and vegetable nursery with retail sales.

Property Address: 10460 Glacier Highway

Legal Description: USS 3260 LT 6A

Parcel Code No.: 4B2201020071

Hearing Date: February 28, 2023

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated February 15, 2023, and APPROVED the Conditional Use Permit for a nursery with retail sales to be conducted as described in the project description and project drawings submitted with the application (and with the following conditions:)

1. Prior to commencement of use of the nursery, horses and horse corral shall be removed from Lot 6A.
2. Prior to commencement of the proposed use, wheel stops shall be installed in the customer parking area to define the location of parking spaces.
3. Prior to commencement of the proposed use, CDD-approved signage shall be posted for the van accessible parking space and a blue wheel stop shall be installed.

Attachments: February 15, 2023, memorandum from Jennifer Shields, Community Development, to the CBJ Planning Commission regarding USE2022 0012.

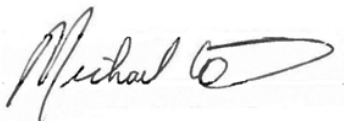
Bobbi Epperly
File No: USE2022 0012
March 2, 2023
Page 2 of 2

This Notice of Decision does not authorize construction activity. Prior to starting any project, it is the applicant’s responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, February 28, 2023.

Expiration Date: The permit will expire 18 months after the effective date, or August 28, 2024, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.



Michael Levine, Chair
Planning Commission

March 4, 2023

Date



Filed With City Clerk

March 6, 2023

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF REPORT
CONDITIONAL USE PERMIT USE2022 0012
HEARING DATE: FEBRUARY 28, 2023

(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

DATE: February 15, 2023
TO: Michael LeVine, Chair, Planning Commission
BY: Jennifer Shields, Planner II *Jennifer L. Shields*
THROUGH: Jill Maclean, AICP, Director

PROPOSAL: Applicant requests a Conditional Use Permit for “Pederson Hill Farm” – a flower and vegetable nursery with retail sales.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- Original Lot 6 created in 1954; single-family dwelling built in 2002.
- Seasonal retail sales will be open to the public May through September; or, customers may come by scheduled event.
- Horses will be removed from the property prior to nursery opening.

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - 49.15.330
 - 49.25.210
 - 49.25.300 19.210
 - 49.40.210
 - 49.80.120

GENERAL INFORMATION	
Property Owner	James J. Pietan; Bobbi J. Epperly
Applicant	Bobbi J. Epperly
Property Address	10460 Glacier Highway
Legal Description	USS 3260 LT 6A
Parcel Number	4B2201020070
Zoning	D10 (Multifamily Residential)
Land Use Designation	Medium Density Residential (MDR)
Lot Size	109,710 square feet (2.52 acres)
Water/Sewer	Public water and public sewer
Access	Glacier Highway
Existing Land Use	Residential
Associated Applications	N/A

The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit. A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES

North (D10SF)	Vacant, forest
South (D10)	Glacier Highway
East (D10)	Residential
West (D10)	Church

SITE FEATURES

Anadromous	No
Flood Zone	No
Hazard	No
Hillside	No
Wetlands	Yes
Parking District	No
Historic District	No
Overlay Districts	No

BACKGROUND INFORMATION

Project Description – The applicant is proposing to develop an organic cut-flower and vegetable nursery with 14 hoop houses, multiple garden beds, a gravel driveway, and a parking area for customers on the southern portion of the lot (Attachment A). The applicant’s long term goal is to offer a “you pick” flower farm where customers can come and pick their own bouquets of flowers.

Seasonal retail sales will be open to the public May through September; or, customers may come by appointment or by ticketed sales events. Operating times when the nursery will be open to the public are tentatively planned for Monday through Sunday, 10am to 6pm.

The nursery will be operated by the applicant and immediate family members, with no additional employees needed at this time.

Background – The original Lot 6 was created in 1954 through U.S. Survey 3260 (Attachment B), prior to zoning in the area.

The applicant resides in a single-family dwelling built in 2002 on the northern portion of the lot (Attachment D). A 350 square foot, detached accessory apartment was built nearby in 2016 (Attachment H). To the southeast of the



accessory apartment is a barn structure likely constructed in the 1970's, around the same time as the neighboring Lot 5A single-family dwelling. The site was connected to public water in 2002 and to public sewer in 2011.

This application was scheduled to go before the Planning Commission (Commission) in September 2022. However, during the review process an existing encroachment situation (barn structure built across a lot line) was discovered, and a lot line adjustment between Lots 5 and 6 was required prior to moving forward with the application. Subsequently, the applicant submitted a preliminary plat application (MIP2022-0011, Attachment K), and a final plat adjusting the lot line and correcting the encroachment issue was recorded on January 10, 2023 (Attachment L).



Looking southwest to the barn and accessory apt.

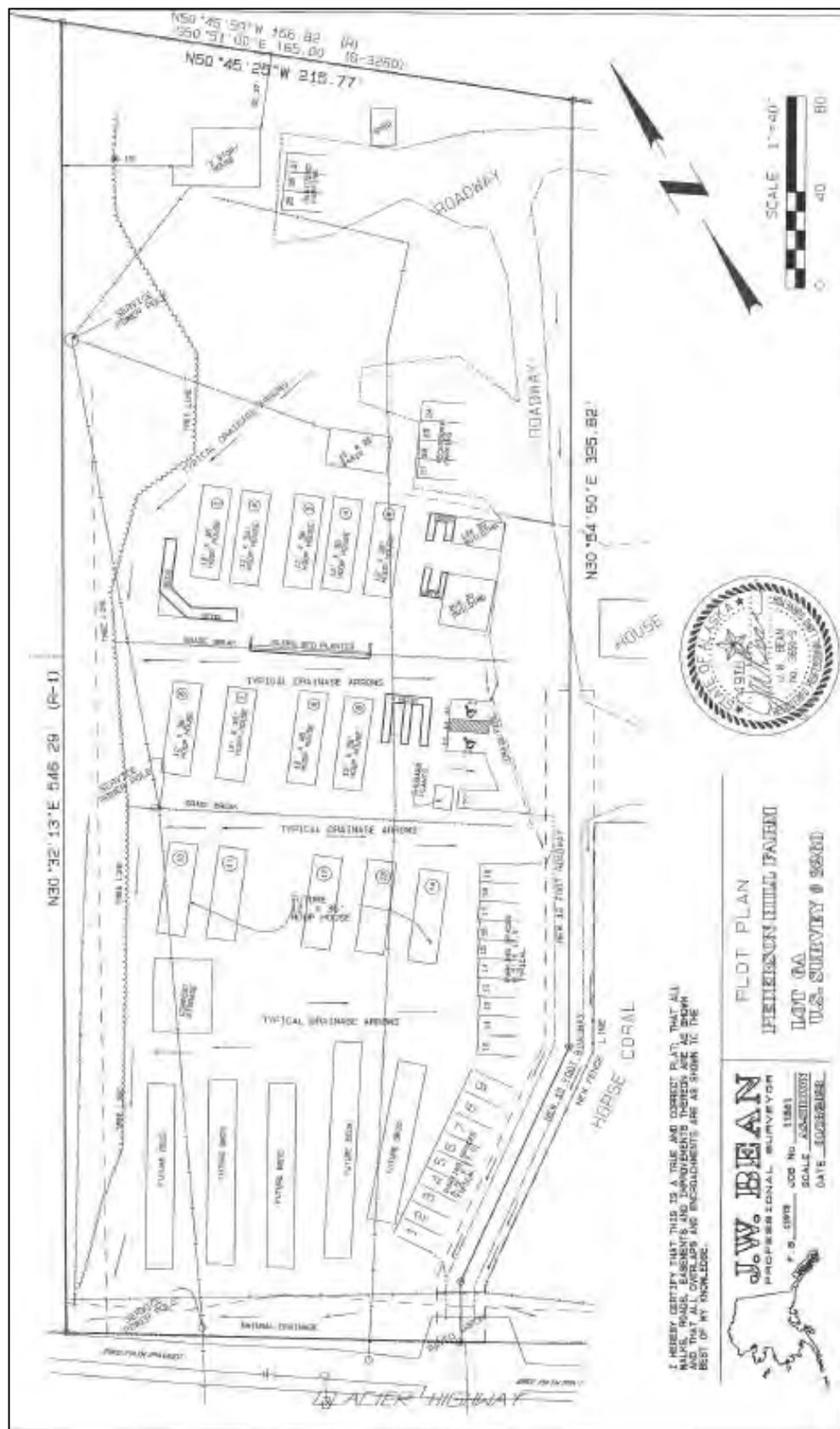
The table below summarizes relevant history for the lot and proposed development.

Year	Item	Summary
1954	Plat	U.S. Survey 3260 created original Lot 6 (Attachment B).
1998	DOT/PF	Glacier Highway right-of-way map shows the lot and driveway approach (Attachment C).
2002	Building Permit	BLD02-712 and UTL02-54 issued for a new single-family dwelling, water line connection, and septic system (Attachment D).
2003	DOT/PF	Driveway and Approach Road Permit for Lot 6 (Attachment E).
2004	Easement	Original access and utilities easement between Lots 5 and 6 vacated with Plat No. 2023-1 (Attachment F).
2013	Easement	DOT/PF highway and utility easement for Brotherhood Bridge reconstruction project along Glacier Highway (Attachment G).
2016	Accessory Apartment	AAP16-12, BLD16-300, UTL16-96 (water line), and UTL16-97 (sewer line) issued for a 350 square foot accessory apartment (rental cabin, Attachment H).
2022	Pre-Application Conference	PAC22-30 meeting held on June 29, 2022 regarding development of a nursery (Attachment A).
2022	Pre-Application Conference	Over-the-counter meeting held on October 12, 2022 regarding a lot line adjustment (Attachment I).
2022	As-Built Survey	Survey showing proposed lots 5A and 6A (Attachment J).
2022	Lot Line Adjustment	MIP22-11 Notice of Decision issued on December 21, 2022 (Attachment K).
2023	Plat	Lot line adjustment Plat No. 2023-1 recorded on January 10, 2023 (Attachment L).

ZONING REQUIREMENTS

Standard		Requirement	Proposed	Existing	Code Ref.
Lot	Size	6,000 square feet	No change	109,710 square feet	49.25.400
	Width	50 feet	No change	165.50 feet	49.25.400
	Depth	N/A	No change	546.86 feet	49.25.400
Setbacks	Front (Barn)	20 feet	No change	~300 feet	49.25.400
	Rear (House)	20 feet	No change	32.37 feet	49.25.400
	Side (NW, House)	5 feet	No change	46.19 feet	49.25.400
	Side (SE, Barn)	5 feet	No change	27.5 feet	49.25.400
	Street Side	13 feet	N/A	N/A	49.25.400
Lot Coverage Maximum		50% & 50%	No change	~8%	49.25.400
Vegetative Cover Minimum		30%	No change	~34%	49.50.300
Height	Permissible (House)	35 feet	No change	Two-Story	49.25.400
	Accessory (Apt., Barn)	25 feet	No change	One-Story	49.25.400
Maximum Dwelling Units		10/acre	No change	1	49.25.500
Use		Residential	1.110, Single-Family Dwelling w/AA 19.210, Nursery, commercial greenhouse with retail sales		49.25.300

SITE PLAN



ANALYSIS

CBJ 49.80.120 defines Nursery as, “land used to raise flowers, shrubs, and plants for sale”. Nurseries with on-site retail sales in the D10 Zoning District require a conditional use permit from the Commission (CBJ 49.25.300, USE 19.210).

Project Site – The lot is surrounded to the north by undeveloped, forested land zoned D10SF and currently owned by CBJ (Pederson Hill subdivision, approved by the Commission in 2019). Emmanuel Baptist Church is located to the west, with a line of trees blocking sight between the two properties.

The applicant owns Lot 5A to the southeast; this lot has a single-family structure as well as a horse corral that is currently shared between the southern portions of lots 5A and 6A. However, as part of the development plans for the nursery, the applicant intends to relocate the corral fence line and horses over to Lot 5A in March or April of 2023, weather permitting.



Garden Bed

The lot is fronted by Glacier Highway, an Alaska Department of Transportation/Public Facilities (DOT/PF) right-of-way (Attachment C), but is currently accessed through Lot 4A to the east known as “Swampy Acres”. In 2004, the lot was granted a Driveway and Approach Road Permit onto Glacier Highway in conjunction with construction of the single-family structure (Attachment E). A 2022 As-Built Survey shows the driveway approach/apron split jointly between Lots 5A and 6A (Attachment J) that will serve as the entry point for nursery customers.

Condition:

- 1. Prior to commencement of use of the nursery, horses and horse corral shall be removed from Lot 6A.**

Project Design – The applicant intends to build an internal fence to create a clear separation between the single-family structure and the accessory apartment and the nursery business activities to the south. The site currently has flower beds and garden areas for the applicant’s personal use in various areas that will be incorporated into the nursery layout and design.

The hoop houses will be temporary structures, approximately 12 feet by 36 feet, and primarily used for growing flowers. The coverings will be taken off each fall to protect the plastic from snow damage. In addition, the applicant plans to construct a rain catchment system to irrigate the gardens. The hoop houses will not be connected to utilities; the Building Division advises that if no utilities are involved, a building permit is not required.

With platting of the adjusted lot line, an existing shared access easement was abandoned and a new driveway easement was created to continue to provide access to Lots 5A and 6A. The new driveway easement straddles the lot line between the two lots, giving each direct and practical access to a public right-of-way through the frontage of the lot, as required by CBJ 49.35.250(b). Nursery customers will access the lot through the existing driveway approach apron onto a new gravel driveway, with customer parking spaces delineated by wheel stops.



Driveway Approach Apron

Traffic – According to CBJ 49.40.300(2), a traffic impact analysis is not required since the project will generate less than 250 Average Annual Daily Traffic. For this application, staff used the Institute of Transportation Engineers’ Trip Generation Manual (9th Edition) projections for a Nursery (Garden Center) on a Saturday, based upon the total commercial development acreage. This projection represents the highest estimated average daily trips across all categories including employees, gross floor area of building, and acreage.

Condition: None.

Use	Total Acreage	Trips Generated	Total Trips
Nursery (Garden Center)	~1.0	154.82 per acre	154.82
Total ADTs:			154.82

Vehicle Parking & Circulation – According to CBJ 49.40.210, twenty-three off-street parking spaces are required based upon a mix of residential and commercial parking requirements, including one ADA accessible space.

Use	Total Sq. Ft.	Spaces Required	Spaces Provided
Single-Family Structure	1,659	2	2
Accessory Apartment	350	1	1
Retail Commercial: 14 hoop houses at 12’ x 36’	6,048	1 space / 300 square feet of gross floor area	20.16 = 20
Total Parking Requirement:			23
Off-Street Loading Spaces Required:			0
ADA Accessible Spaces Required:			1

The Site Plan shows three existing off-street parking spaces near the single-family structure and four spaces near the accessory apartment. In addition, the Site Plan shows customer parking areas directly off of the driveway easement which can accommodate nineteen off-street parking spaces and two ADA accessible parking spaces in close proximity to the barn. An off-street loading space is not required for under 5,000 square feet of gross floor area per CBJ 49.40.210(c)(2).

Conditions:

2. Prior to commencement of the proposed use, wheel stops shall be installed in the customer parking area to define the location of parking spaces.
3. Prior to commencement of the proposed use, CDD-approved signage shall be posted for the van accessible parking space and a blue wheel stop shall be installed.

Non-motorized Transportation – Glacier Highway is classified as an arterial according to the CBJ adopted Roadway Classification Map, with a paved shoulder bordering the highway on both sides. In addition, a multi-use path and equestrian trail run along the right-of-way between Wild Meadow Lane and Engineer’s Cutoff Road.

Condition: None.

Proximity to Transit – Capital Transit operates Route 3 (Mendenhall Loop Counterclockwise), Route 4 (Mendenhall Loop Clockwise), Route 5 (University Express), and Route 15 (Valley/UAS Express) along Glacier Highway. A bus stop is located approximately 100 feet to the northwest.

Condition: None.

Noise – The hoop houses will not have lights or fans. Noise associated with the proposed development is not expected to be out of character with the existing residential neighborhood.

Condition: None.

Lighting – The applicant is not proposing any new lighting at this time. Since all nursery and produce products are sold outdoors, retail sales will be conducted between 10am to 6pm from May to September.

Vegetative Cover & Landscaping – CBJ 49.50.300 requires a minimum vegetative cover of 30%. This standard is met with ~ 35% existing vegetative cover plus the addition of flower and vegetable gardens that the nursery will provide.

Condition: None.

Habitat – No anadromous streams are on the property. The Army Corps of Engineers has identified a western portion of the property as being within a forested wetland; however, project development is not expected to impact these wetlands. Management authority of these wetlands, and any future addition of fill, lies with the Army Corps of Engineers.

Condition: None.

Drainage and Snow Storage – No modifications to existing drainage are proposed at this time. The property will have ample space off of the new driveway and customer parking area for snow storage (Attachment A).

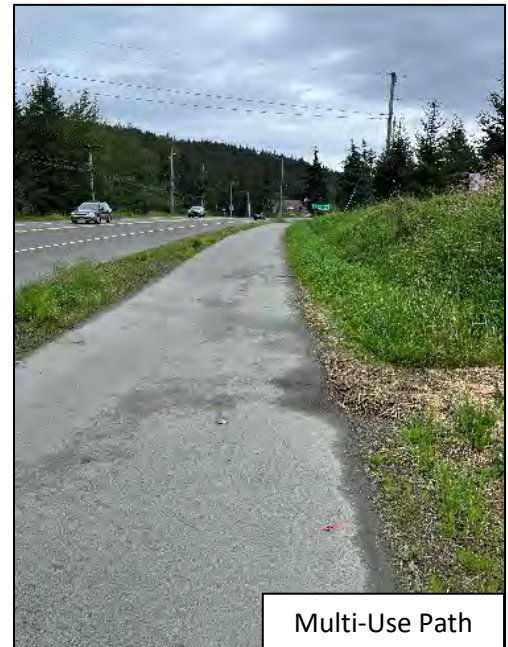
Condition: None.

Hazard Zones – The lot is not within a Special Flood Hazard Area. Using USGS contour data, the slope of the development area on the southern portion of the lot is ~ 6%.

Condition: None.

Public Health, Safety, and Welfare – The proposed development will promote public health, safety, and welfare by providing a source of local food security for the Juneau community. According to an article published by the Alaska Food Policy Council in June 2021 entitled, “2021 Alaska Food Security Investment Recommendations”:

- Alaska imports roughly 95% of food purchased (\$1.9 billion leaving the state).
- Alaska has a 3- to 5-day supply of most foods in grocery stores.
- 1 in 7 Alaskans are food insecure, including 1 in 5 kids (pre-pandemic).



No information has been reviewed that suggests the proposal will materially endanger the public health, safety, or welfare.

Condition: None.

Property Value or Neighborhood Harmony – Staff finds this use is in harmony with the area and should not decrease property value. Commercial activities and customer visits to the site will be seasonal and complimentary to nearby agricultural activities. As of the date of this report, staff has received four emails of support for the nursery.

Condition: None.

AGENCY REVIEW

CDD conducted an agency review comment period from August 17 through August 22, 2022. Agency review comments can be found in Attachment B.



Agency	Summary
Alaska DOT&PF	"The one comment we would want to make here is that we would encourage any future development of access for either of the new lots to be constructed through the shared access easement if the current established access was discontinued. I make this comment because I do not see any notes or stipulations regarding access included on the subject plat other than the delineation of the easement. As an ongoing effort to reduce the number of driveways along this corridor, we like to see such easements established and used when needed."
Capital City Fire and Rescue	There are no fire code or fire department concerns with this application.
CDD Building Division	During the pre-application review of this proposal, they advised the applicant that Utility Permit UTL2011-0032 for the connection to sewer service and decommissioning of the septic tank had not been finalized. [UTL2011-0032 was subsequently finalized on July 26, 2022.]
General Engineering	During the pre-application review of this proposal, they advised the applicant to coordinate with General Engineering for installation of a subtraction meter for the water irrigation services, and to submit a drainage plan to demonstrate no impact on border properties. [A drainage plan was submitted and subsequently approved on August 30, 2022 (Attachment A).]

PUBLIC COMMENTS

CDD conducted a public comment period from August 11 through August 22, 2022 for the originally scheduled Commission meeting, and from January 19 through February 24, 2023 for the February 28, 2023 Commission meeting. Public notice was mailed to property owners within 500 feet of the proposed development during both timeframes, and a public notice sign was also posted on site two weeks prior to both scheduled hearings (Attachment M). Public comments submitted at the time of writing this staff report can be found in Attachment N.

Name	Summary
Konnie Chitty	Support: Small businesses are an asset to the community and this one will be a fantastic opportunity for the community to enjoy for years to come.
Stefanie Fairchild	Support: Local agriculture should be supported and promoted, especially since Juneau is a difficult area for agriculture and the property is ideal for farming of this nature.
Cathy Munoz	Support: Having healthy, locally grown options for produce and flowers will benefit the community In multiple ways.
Judith Murphy	Support: Juneau has precious little agricultural land, and most of the good land is under development of one kind or another, so the applicant's project will showcase what can be done on a small piece of ground in the borough.

CONFORMITY WITH ADOPTED PLANS

The proposed development is in general conformity with the 2013 Comprehensive Plan and the 2015 Juneau Economic Development Plan.

PLAN	Chapter	Page No.	Item	Summary
2013 Comprehensive Plan	2	10	Sustainable Policy 2.1IA9	Protect ecosystems surrounding the community and preserve their inherent biodiversity.
	2	10	Sustainable Policy 2.1-IA10	Support the individual and commercial production of foods locally with careful evaluation of environmental impacts.
	10	130	Land Use Policy 10.2-IA4	Allow small-scale renewable energy facilities such as green houses for household food production on individual lots. Small-scale energy conservation, water conservation and subsistence farming facilities should be supported on residential lots and in residential neighborhoods throughout the borough.
	10	136	Land Use Policy 10.7-IA3	Designate land for community-scale food production, processing, and distribution.

PLAN	Chapter	Page No.	Item	Summary
	10	138	Land Use Policy 10.11-IA3	Review Land Use Code provisions regarding home-based, small-scale and medium-scale agriculture and harvesting of flora. Encourage such activities to use careful soil and water management practices, non-invasive and non-synthetic fertilizers and pesticides to assure sustainability over the long-term.
2015 Juneau Economic Development Plan	2	16	Economic Strategy	Support the ability of local entrepreneurs to take advantage of trending opportunities, innovation, and creativity, including agriculture and food production.

FINDINGS

Conditional Use Permit Criteria – Per CBJ 49.15.330 (e) & (f), Review of Director's & Commission's Determinations, the Director makes the following findings on the proposed development:

1. *Is the application for the requested conditional use permit complete?*

Analysis: No further analysis needed.

Finding: Yes. The application contains the information necessary to conduct a full review of the proposed operations. The application submittal by the applicant, including the appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.15.

2. *Is the proposed use appropriate according to the Table of Permissible Uses?*

Analysis: The application is for a Nursery, commercial greenhouse with retail sales. The use is listed at CBJ 49.25.300, Section 19.210 for the D10 Zoning District.

Finding: Yes. The requested permit is appropriate according to the Table of Permissible Uses.

3. *Will the proposed development comply with the other requirements of this chapter?*

Analysis: No further analysis needed.

Finding: Yes. With the recommended conditions, the proposed development will comply with Title 49.

4. *Will the proposed development materially endanger the public health, safety, or welfare?*

Analysis: No further analysis needed.

Finding: No. With appropriate conditions, the requested Nursery, in a D10 zoning district, will not materially endanger the public health or safety.

5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?

Analysis: No further analysis needed.

Finding: No. With appropriate conditions, the requested Nursery, in a D10 zoning district, will not substantially decrease the value or be out of harmony with the property in the neighboring area.

6. Will the proposed development be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans?

Analysis: No further analysis needed.

Finding: Yes. The proposed Nursery, with the recommended conditions, will be in general conformity with the 2013 Comprehensive Plan and the 2015 Juneau Economic Development Plan.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow operation of a Nursery with retail sales. Approval is subject to the following conditions:

1. Prior to commencement of use of the nursery, horses and horse corral shall be removed from Lot 6A.
2. Prior to commencement of the proposed use, wheel stops shall be installed in the customer parking area to define the location of parking spaces.
3. Prior to commencement of the proposed use, CDD-approved signage shall be posted for the van accessible parking space and a blue wheel stop shall be installed.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	1954 U.S. Survey 3260
Attachment C	1998 Glacier Highway ROW Map
Attachment D	2002 BLD02-712
Attachment E	2003 DOT/PF Driveway and Approach Road Permit
Attachment F	2004 Access and Utilities Easement
Attachment G	2013 DOT/PF Easement
Attachment H	2016 BLD16-300 for an Accessory Apartment
Attachment I	2022 Pre-Application Conference Final Report for Lot Line Adjustment
Attachment J	2022 As-Built Survey
Attachment K	2022 MIP22-11 Notice of Decision and Staff Report for Lot Line Adjustment
Attachment L	2023 Recorded Plat 2023-1
Attachment M	Abutters Notices and Public Notice Sign Photos
Attachment N	Public Comments



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 10460 Glacier Hwy Juneau, AK		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Lot 6 U.S.S 3260		
	Parcel Number(s) 4B2201020070		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Bobbi Epperly & James Pietan	Contact Person Bobbi Epperly	
	Mailing Address PO Box 34358 Juneau, AK 99803	Phone Number(s) 907-209-5574	
	E-mail Address bepperly@jci.net		
	LANDOWNER/ LESSEE CONSENT		
Required for Planning Permits, not needed on Building/ Engineering Permits.			
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:			
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.			
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
<div style="display: flex; justify-content: space-between;"> <div> <u>Bobbi Epperly</u> Landowner/Lessee (Printed Name) </div> <div> <u>Land Owner</u> Title (e.g.: Landowner, Lessee) </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div> <u>Bobbi Epperly</u> Landowner/Lessee (Signature) </div> <div> <u>7/21/22</u> Date </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div> <u>James Pietan</u> Landowner/Lessee (Printed Name) </div> <div> <u>Landowner</u> Title (e.g.: Landowner, Lessee) </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div> <u>James Pietan</u> Landowner/Lessee (Signature) </div> <div> <u>7/21/2022</u> Date </div> </div>			
<p>NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.</p>			
APPLICANT			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name) Bobbi Epperly	Contact Person		
Mailing Address	Phone Number(s)		
E-mail Address			
<div style="display: flex; justify-content: space-between;"> <div> <u>Bobbi Epperly</u> Applicant's Signature </div> <div> <u>7/21/22</u> Date of Application </div> </div>			

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials

TC

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

LSC 22-012

Date Received

7/21/22

24



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Retail Farm

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

☐ Accessory Apartment – Accessory Apartment Application (AAP)

☒ Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: 19.210.

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

☐ YES – Case # _____

☒ NO

UTILITIES PROPOSED *NA*

WATER: ☐ Public ☐ On Site

SEWER: ☐ Public ☐ On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 88,657 square feet

Total Area of Existing Structure(s) 3000 square feet

Total Area of Proposed Structure(s) 3960 square feet *11 10 x 36 Hoop Houses*

EXTERNAL LIGHTING

Existing to remain

☒ No

☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

Proposed

☒ No

☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

☒ Narrative including:

☒ Current use of land or building(s)

☒ Description of project, project site, circulation, traffic etc.

☒ Proposed use of land or building(s)

☒ How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

☐ Notice of Decision and case number

☐ Justification for the modification or extension

☐ Application submitted at least 30 days before expiration date

☒ Plans including:

☒ Site plan

☒ Floor plan(s)

☒ Elevation view of existing and proposed buildings *See Hoop house photo*

☒ Proposed vegetative cover

☒ Existing and proposed parking areas and proposed traffic circulation

NA ☐ Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES

	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ _____			
Pub. Not. Sign Deposit	\$ _____			
Total Fee	\$ _____			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

Date Received

Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outlined in CBJ 49.15.330

Pre-Application Conference: A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Application: An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - A. Site plan, floor plan and elevation views of existing and proposed structures
 - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
 - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
 - D. Existing and proposed lighting (including cut sheets for each type of lighting)
 - E. Existing and proposed vegetation with location, area, height and type of plantings
 - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

Public Notice Responsibilities: Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

7/21/2022

Pederson Hill Farm Conditional Use Permit Description/Summary

Did you know that 80% of all flowers in the United States are imported? There is currently a huge movement across the United States to bring back flower farming on a local level. By the time our local flowers arrive in Juneau they are already several weeks old. The same goes for our vegetables. Did you know that most imported flowers and vegetables have been treated with toxic pesticides, fertilizers and other chemicals that leave a large carbon footprint? Pederson Hill Farm is an organic farm free of pesticides and other toxic chemicals, using natural composting materials and organic substances.

In the CBJ Comprehensive plan it is stated in 2.1 - IA9 "Protect ecosystems surrounding the community and preserve their inherent biodiversity." Our flower farm will promote organic farming practices that will enhance and protect the local bee population, along with other pollenating insects. Section 2.1 - IA10 states, "Support the individual and commercial production of foods locally with careful evaluation of environmental impacts." Pederson Hill Farm will not only be producing flowers, but will also be producing locally grown vegetables. In section 10.2 - IA4 it is stated, "Revise the Land Use Code to allow small-scale renewable energy facilities, such as solar panels and wind turbines, as well as green houses for household food production on individual lots. Small-scale energy conservation, water conservation and subsistence farming facilities should be supported on residential lots and in residential neighborhoods throughout the borough." 10.7 - IA3 Designate land for community-scale food production, processing, and distribution. [see also 10.11 - IA3] My lot, located at 10460 Glacier Hwy, is one of the "last" original homestead properties in Juneau. It is rare for a Juneau resident to own a two acre parcel in the Mendenhall Valley/Auke Bay area. At one time Pederson Hill was considered "rural" with a dairy and other farming over the years.

What is the importance of growing flowers?

Having flowers around the home and office greatly improves people's moods and reduces the likelihood of stress-related depression. Flowers and ornamental plants increase levels of positive energy and help people feel secure and relaxed.

What is the importance of flowers in our environment?

Providing the seeds that make it possible to grow more plants, flowers benefit the environment by creating more carbon dioxide-absorbing and oxygen-radiating plants. Flowers also play a vital role in cleaning up other parts of our world.

What is the role of flowers in the ecosystem and in agriculture?

The main function of flowers is to attract pollinators to plants to ensure the reproduction and survival of the plant species. Many plants and pollinators have adapted characteristics to ensure a mutually beneficial relationship for each organism.

Currently, the majority of my property is and has been used as a horse coral. Starting this summer I am working on transforming my property into a cut flower and vegetable farm. Part A, the upper part, will be worked on this summer. Part B, the middle, will be worked on this fall (2022) and next spring (2023) and part C will hopefully be started during the summer or fall of 2023. Currently, there is a two to three year development goal.

The driveway will be reinstalled either this fall or in the spring of 2023. There is already a driveway apron and a driveway easement between 10460 Glacier Hwy and 10440 Glacier Hwy (See As-Built Survey). Currently, we share a driveway with Swampy Acres at 10400 Glacier Hwy. When we built our house in 2004 the bank made us put in our driveway (temporarily before giving it back to the horses), so there should already be a driveway permit on file. Essentially, we are just resurfacing an existing driveway.

Our residence has three parking spaces already and our rental has two parking spaces. Eleven retail parking spaces will be parallel with our driveway in section C. The handicapped parking space will be up by the little blue barn in part B.

The hoop houses will be covering the raised beds of flowers. Our long term goal is to offer a "you pick" model flower farm where customers can come and pick their own bouquet of flowers. This will only happen if the flowers can be successfully grown in our climate under hoop houses. Hoop houses are a critical part in being able to successfully grow cut flowers as it will protect the flowers from the elements. We will be starting off by offering "flower bar" events where a limited amount of tickets will be sold and customers can come and build their own bouquet from flowers already harvested.

The hoop houses will be 10ft by 36ft long and will be constructed out of rebar. This IS NOT a permanent structure and we plan to take off the plastic coverings every fall to protect the covers from snow/weather damage. Enclosed is a picture of the hoop houses on James St. that Glacier Gardens have constructed. Our hoop houses will be similar if not the same.

The lower gardens in part C will be used for additional flower and vegetable production. This area will also house piles of mulch and compost soil. There will be several smaller compost piles behind the gardens/hoop houses where by-products will be mulched and left to compost into soil for future use.

We plan to construct a rain catchment system to irrigate our gardens, thus conserving local water. As we witnessed this summer, with climate change, Juneau may be facing longer, hotter and drier stints of weather that can deplete our water sources. We may also be installing a subtraction meter as my water is currently metered, if we need to use city water.

Drainage is not being altered. The ditches along the property line between my property and the church will not be touched. We are only leveling out uneven ground and fixing soft areas.

There are no new utilities being installed. A porta potty will be on site if/when needed.

Pederson Hill Farm is a seasonal business; only open during the spring and summer months. Our hours of operation will be during daylight hours, thus lighting the parking areas is not necessary.

At this time there are no employees. It's just me, my son, my husband and my mother. Employees will be hired if/when our growth warrants it.

Pederson Hill Farm is a seasonal business operating during the months of April through October. Our farm will be open to the public May through September. During our first summer (2023) we will most likely be open minimal days/hours as we are still building our infrastructure and establishing plants. Tentatively, our future hours will be Monday through Sunday 10am-6pm during the five months where we are open to the public. It will depend on flower/vegetable availability.

My nearest neighbors are a church next door (hidden by a line of trees as seen in the site plan) and my parents' house (their property is currently in our names). Our property has been lumped in with the "Swampy Acres" Farm for the past 40 years, but we are not affiliated with that business. Swampy Acres is owned by my aunt and uncle, Jim and JoAnn Sidney. We have allowed them to use part of our property as a horse coral for many years. We also have had horses over the years, but currently no longer own a horse.

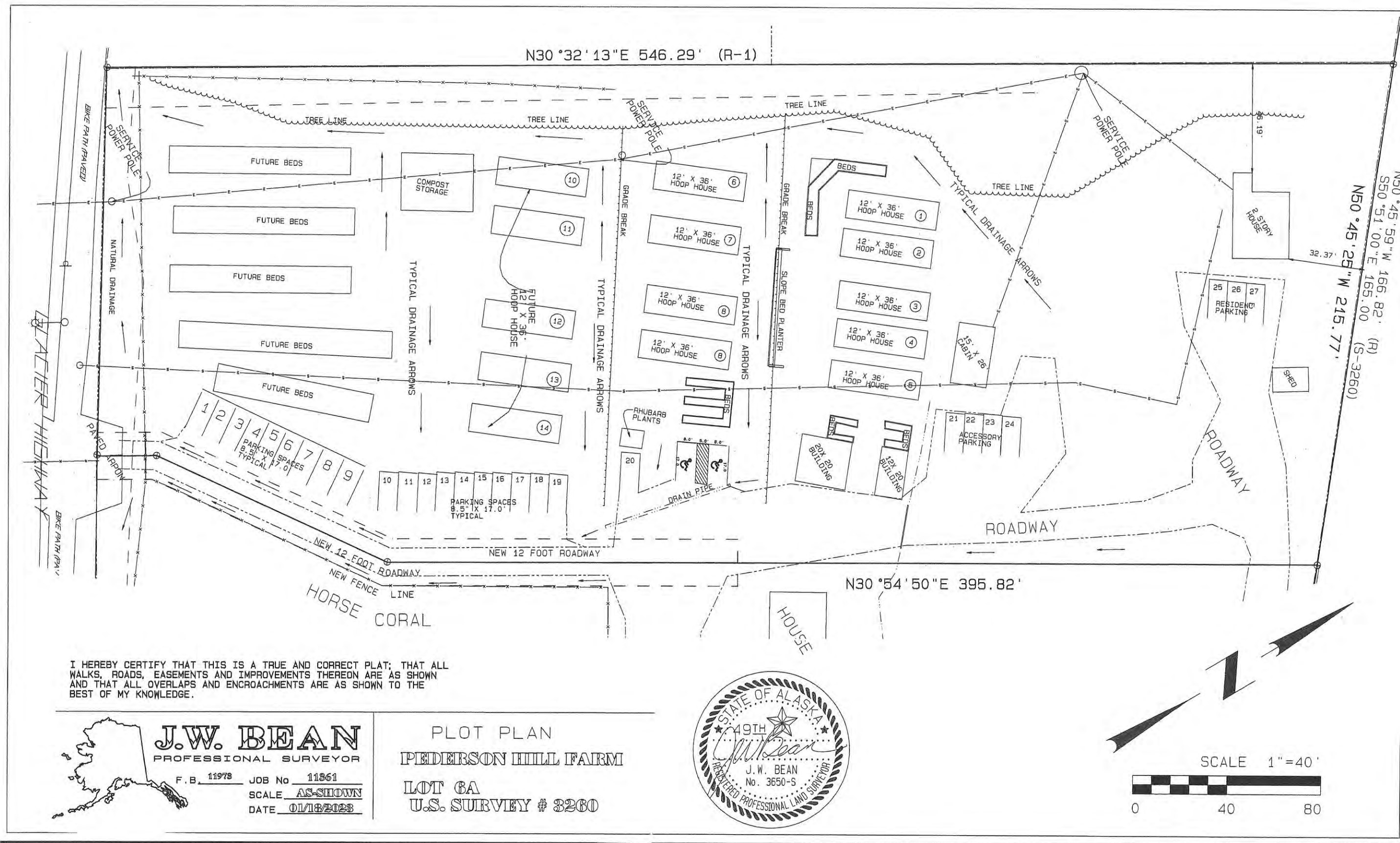
We believe that Pederson Hill Farm will be the first retail cut flower farm to be established in Juneau. It is important for Juneau to encourage and promote agricultural based businesses for local self-sustainability. Not only will my flowers be in our local grocery stores and sold to florists, but my vegetables will also be on the grocery store shelves. The two IGA stores are very interested in carrying my products, along with local florists.

Please let me know if you have any more questions.

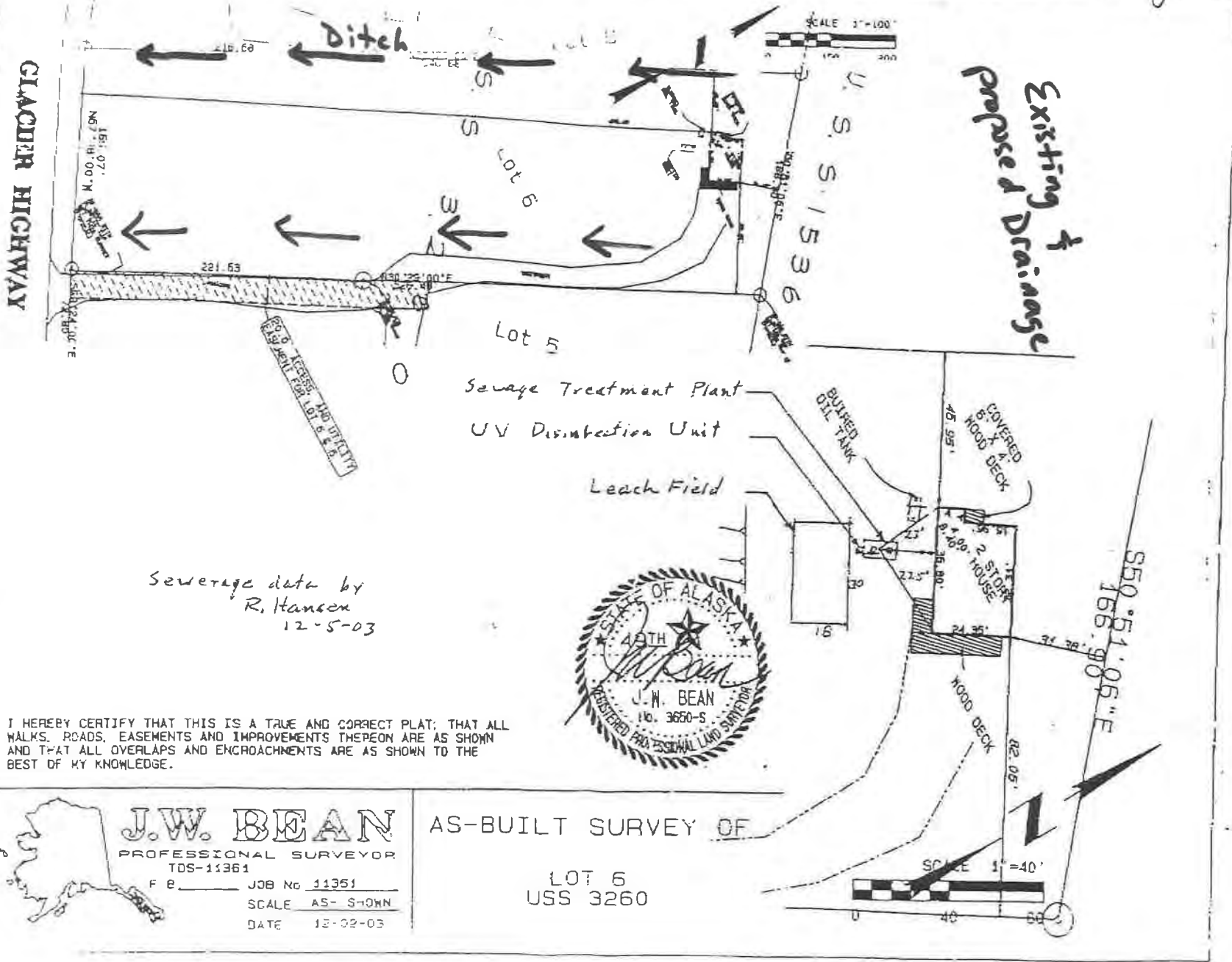
Sincerely,

Bobbi Epperly and James Pietan

907-209-5574



BLD 2002-00712 4B22 0102 0070 10460 Glacier Hwy.







(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

Pederson Hill Farm

Case Number: PAC2022 0030
 Applicant: Bobbi Epperly
 Property Owner: Bobbi Epperly & James Pietan
 Property Address: 10460 Glacier Hwy
 Parcel Code Number: 4B2201020070
 Site Size: 88,557 Square Feet
 Zoning: D10
 Existing Land Use: Residential

Conference Date: 29 June 2022

Report Issued: 11 July 2022

DISCLAIMER: Pre-application conferences are conducted for purposes of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application, and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Bobbi Epperly	Applicant	BEpperly@gci.net
Adrienne Scott	Planning	Adrienne.Scott@Juneau.org
Sydney Hawkins	Building	Sydney.Hawkins@Juneau.org
Charlie Ford	Building	Charlie.Ford@Juneau.org
Eric Vogel	General Engineering	Eric.Vogel@juneau.org

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

Applicant proposes a cut flower and vegetable farm that includes a retail area. Structures proposed would be temporary hoop houses.

Planning Division

1. **Zoning** – The property is zoned D10 (multifamily residential). Nurseries or commercial greenhouses with retail sales are allowed in the D10 zoning district with a conditional use permit (CBJ 49.25.300 Table of Permissible Uses 19.210).
2. **Subdivision** – NA
3. **Setbacks** – Front and rear yard setbacks are 20 feet, side yard setbacks are 5 feet.
4. **Height** – 35 feet, 25 feet for accessory uses.
5. **Access** – Glacier Highway. If a new driveway is proposed, it will require a permit from State of Alaska DOT. There is an access and utility easement for lots 5 and 6.
6. **Parking & Circulation**– Parking spaces of 8.5 by 17 feet are required. The below table is an estimate of parking spaces required based on provided site plan. Identify location and dimensions of all required spaces on the site plan.

Use	Parking Standard	Spaces required
Residence	2 spaces	2
Accessory Apartment	1 space	1
Retail Commercial: (9 hoop houses 10x40' = 3,600 square feet)	1 space per 300 square feet of gross floor area	12
Total spaces required, including 1 ADA compliant space*		15

*Accessible parking space shall be at least 13x17', including an access aisle of at least 5x17', and shall be designated as reserved by a sign showing the symbol of accessibility

7. **Lot Coverage** – Maximum lot coverage is 50% for permissible and conditional uses.
8. **Vegetative Coverage** – A minimum of 30% vegetative coverage is required.
9. **Lighting** – All parking areas shall be suitably lighted with full cut-off design and not produce off-site glare.
10. **Noise** – Noise is not anticipated to be out of character with existing neighborhood.
11. **Flood** – The lot is not within a mapped Special Flood Hazard Area.

Pre-Application Conference Final Report

12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The lot is not located in a mapped hazard area. Slopes do not appear to be in excess of 18%, a hillside endorsement will not be required.
13. **Wetlands** – If filling wetlands, contact the US Army Corps of Engineers.
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** – N/A
16. **Traffic** – A traffic impact analysis is not required if the project is anticipated to generate less than 150 average Annual Daily Traffic (ADT). The projections for a nursery (garden center) on a Saturday from the Institute of Transportation Engineer's Trip Generation Manual (9th Edition) are 154.82 ADT Per acre. Assuming a total of 1.5 acres of land, the total ADT would be 232.23.
17. **Nonconforming situations** – N/A

Building Division

18. **Building** – N/A
19. **Outstanding Permits** –
 - a. UTL20110032 – Connection to sewer service and decommission septic tank.

General Engineering/Public Works

20. **Engineering** – Coordinate with General Engineering for installation of a subtraction meter.
21. **Drainage** – A drainage plan shall be included in plans to demonstrate no impact on border properties.
22. **Utilities** – (water, power, sewer, etc.) See above comment on Subtraction meter.

Fire Marshal

23. **Fire Items/Access** – No comments at this time.

Other Applicable Agency Review

24. United States Army Corps of Engineers: (907) 753-2689
25. United States Fish and Wildlife Service: (907) 780-1160

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Conditional Use Permit Application

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Narrative including: current use of land or buildings, description of project, project site, circulation, traffic, proposed use of land, how the proposed use complies with the Comprehensive Plan.

Pre-Application Conference Final Report

3. Site plan including structures, parking, proposed traffic circulation, drainage, and proposed vegetative cover.

Exceptions to Submittal Requirements

Submittal requirements staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Conditional Use Permit: \$500
2. Public Notice Sign Preparation Fee: \$50
3. Public Notice Sign Deposit: \$100 (refundable if the sign is returned by the Monday following the Planning Commission meeting)

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.org

OR in person with payment made to:

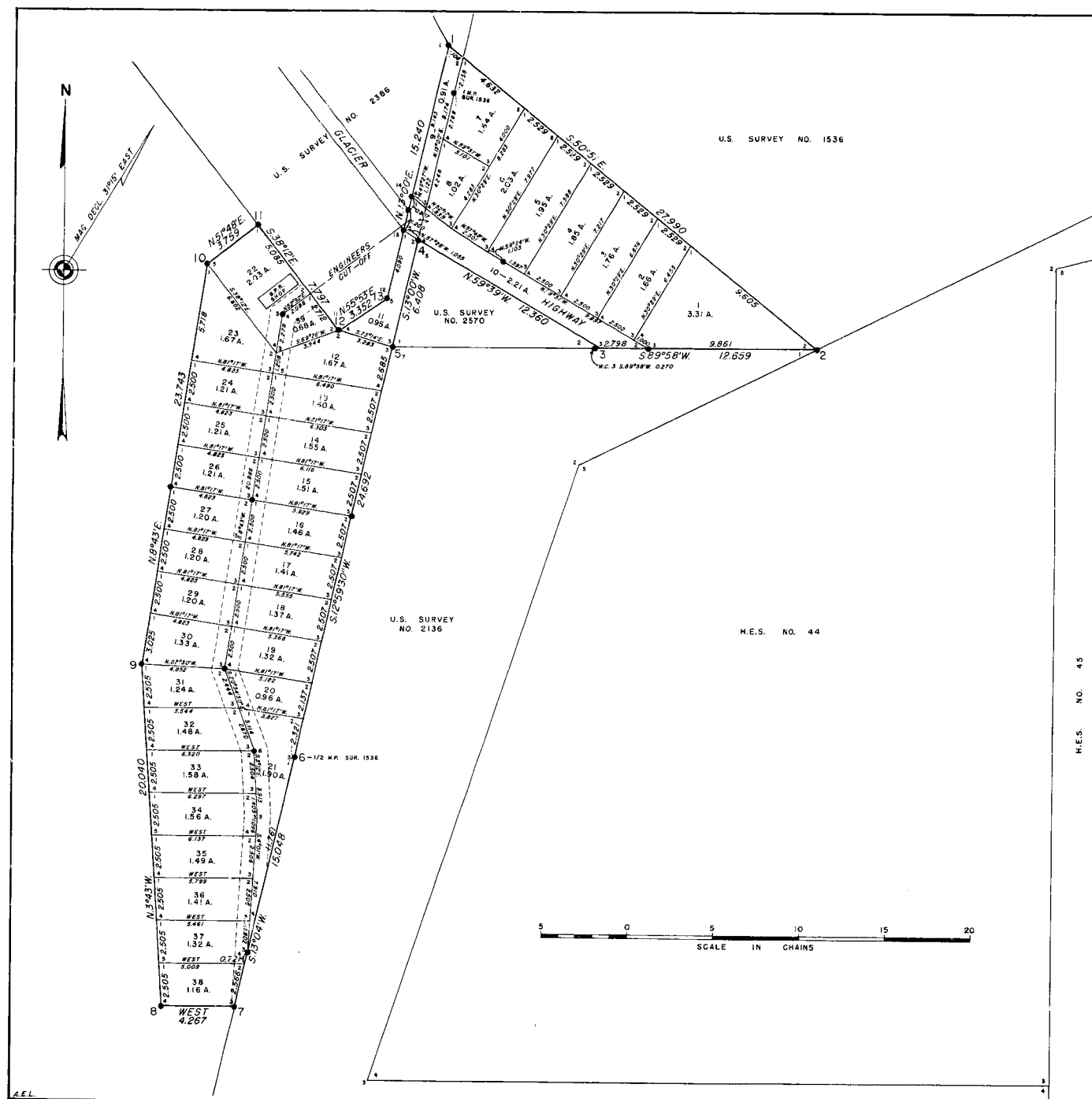
City & Borough of Juneau, Permit Center
 230 South Franklin Street
 Fourth Floor Marine View Center
 Juneau, AK 99801

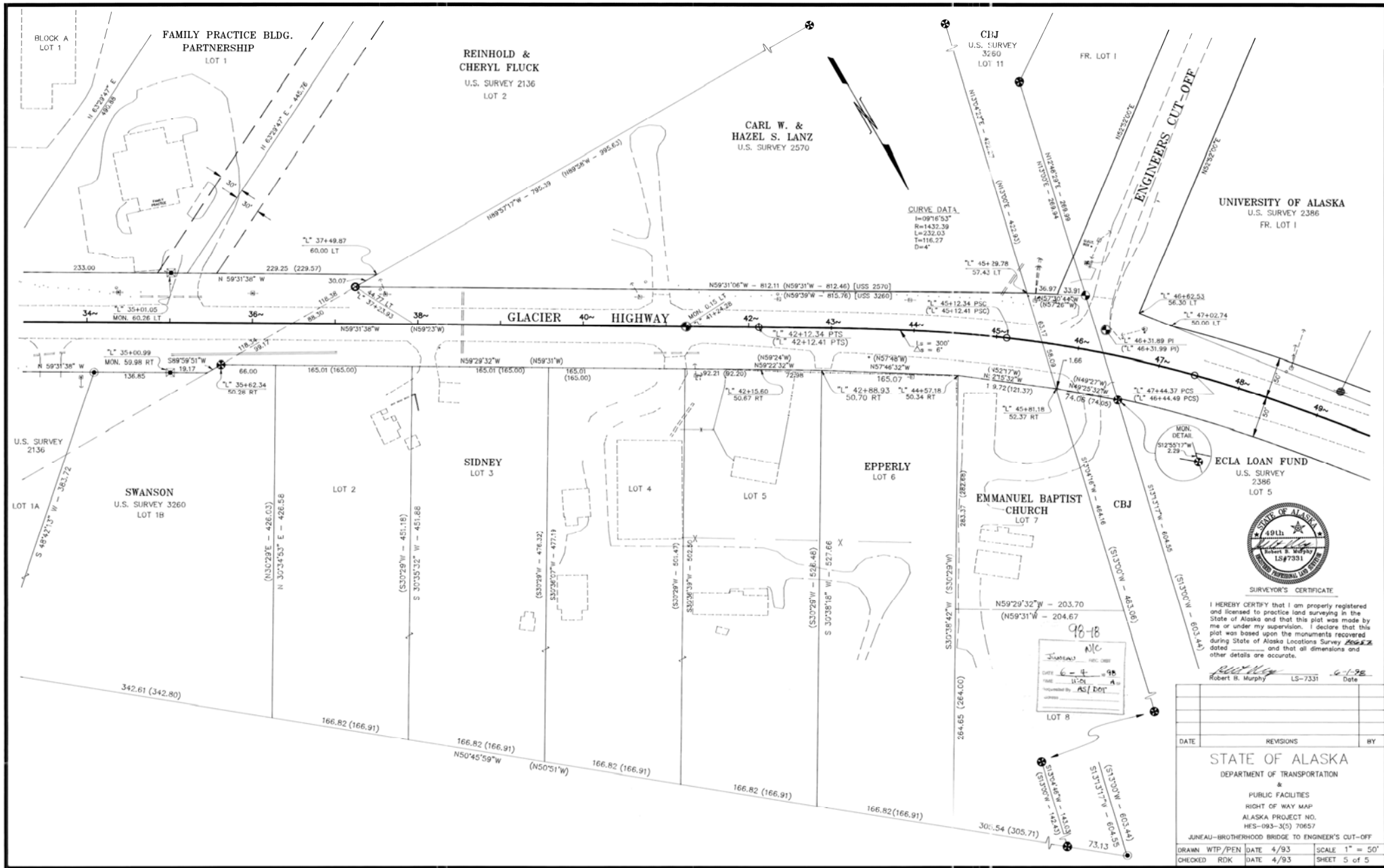
Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

49.15.330 Conditional Use Permit
 As-Built
 Conditional Use Permit Application
 Development Permit Application





Attachment C - 1998 Glacier Highway ROW Map



BUILDING PERMIT

Section H, Item 2.
Permit # **BLD2002-00712**
Proj #: PRJ2003-00011

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.
The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.htm.
Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address:	10460 GLACIER HWY	Issued Date: 2/18/2003
Permit Number:	BLD2002-00712	EPPELY NEW SFD
Project Description:	New single family dwelling.	Parcel No: 4B2201020070

Parcel Identification:	USS 3260 LT 6
------------------------	----------------------

Setbacks:	Zone: D1	Firm Zone: C
Front: 25 Ft. SW	Side 1: 15 Ft. NW	
Rear: 25 Ft. NE	Side 2: 15 Ft. SE	
Comments: PORTION OF LOT IS LIES WITHIN WETLAND CATEGORY C		

Owner: ESTHER K EPPELY	Applicant: JAMES SIDNEY
Address:	Address: 10400 GLACIER HWY
City: JUNEAU, AK 99803	City: JUNEAU, AK 99801

Fee Type	Date	Receipt	Amount Paid	Valuation for Permit Fee Calculations:		
1 Residential Plan Review	2/19/2002	15050	535.26	BUILDING PERMIT DWELL. WOOD FRAM	147,607.20	
1 Permit Fee	2/18/2003	15256	1,070.52	BUILDING PERMIT DECK	912.60	
				BUILDING PERMIT PORCHES	477.36	
Total Fees Paid:			1,605.78	Total Valuation:	148,997.16	

Project Conditions and Holds:

- 23.5 WFU total for house. 1-1/2" service required. 1-1/2"=26 WFU; 1-1/4"=15 WFU; 1"=8 WFU; 3/4"=3 WFU; 1/2"min branch to fixtures required.
- Shower & tub/shower valves must be anti-scald and set not over 120 degrees F.
- smoke detection and outlets per approved plans.
- Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.
- Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.					
100	Insp - Setbacks	105	Foundation Setback form	110	Insp - Excavation/Footing
115	Insp - Stemwalls/Form/Rebar	120	Insp - Temporary Power	140	Insp - Rough Framing
150	Insp - Rough Electrical	160	Insp - Rough Plumbing	170	Insp - Underslab Utilities
180	Insp - Vents	190	Insp - Firewall Separation	210	Insp - Yellow Tag Electrical
220	Insp - Woodstove/Chimney	230	Insp - Smoke Detection	240	Insp - Insulation
250	Insp - Cross Connection	255	Insp - Meter Yoke	257	Oil & Gas Piping/Tanks
260	Insp - Grading/Drainage	266	ADEC On-Site Sewer Final	280	Insp - Res Zoning Final
800	Insp - Residential Final				

in by

UTILITY PERMIT*

 Permit
UTL2 Section H, Item 2.
 Proj #: UTL2002-00054

*Permit is a general term which includes Water Connection Permits, Sewer Connection Permits, Water Inspections and Gas Inspections

Special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

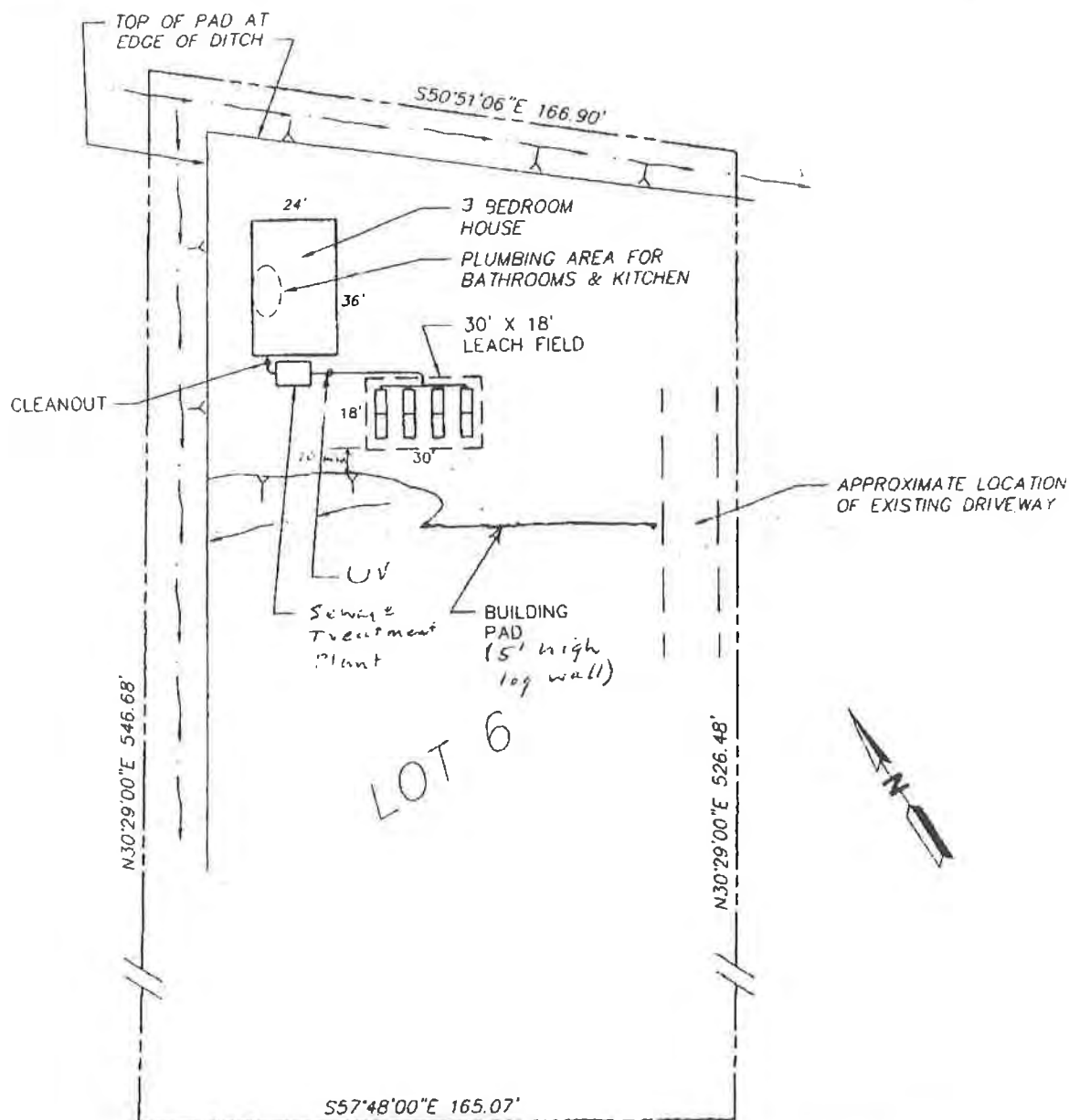
The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning **586-1703** or by written or faxed notification.
 The Online Building Inspection Request Form is at: www.juneau.ak.us/cdd/insp_req.htm.
 Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: 10460 GLACIER HWY		Issued Date: 4/16/2002	
Permit Number: UTL2002-00054	EPPELY WATER	Parcel No: 4B2201020070	
Project Description: 1" residential water connect			
Parcel Identification: USS 3260 LT 6			
Owner: ESTHER K EPPELY		Applicant: BOBBI EPPELY	
Address:		Address: PO BOX 34358	
City: JUNEAU, AK 99803		City: JUNEAU, AK 99803	
Fee Type	Date	Receipt	Amount Paid
2 Water Assessment Fee	4/16/2002	13411	750.00
Total Fees Paid:		750.00	
Project Conditions and Holds:			
1 Call for inspection prior to backfilling trench. 2 Minimum 3/4" waterline with 1 1/4" building supply and branches. 1 1/4" = 25 f.u., 1" = 15 f.u., 3/4" = 5 f.u. and 1/2" = 1 f.u.			
Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.			
080	Billing Authorization - Water	100	Insp - Water Meter/Yoke
120	Insp - Depth (Water)	130	Insp - Cross Conn Control
800	Insp - Water Final	110	Insp - Size of Water Service
		140	Insp - Pressure Test



SITE PLAN

SCALE: 1"=50'

RECEIVED

DEC 19 2002

PERMIT CENTER/CDD



Designed by Tim Hansen, EIT,
Checked by Ronald G. Hansen, PE

Onsite Primary Sewage Treatment and Disposal
LOT 6, USS 3260, Glacier Highway
Juneau, Alaska

DATE
May 10, 2002

Hansen Engineering Job # 510

SHEET 1 of 3

Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

EPPERLY NEW SFD - New single family dwelling.

Use Classification: SINGLE FAMILY AND DUPLEX

Building Permit No. BLD2002-00712

Occupancy Group: R-3

Construction Type: V-N

Owner of Building: ESTHER K & BOBBI J EPPERLY

Owner's Address:

PO BOX 034358

JUNEAU AK 99803

Building Address: 10460 GLACIER HWY

Code Edition: 1995 CABO

Occupant Load: N/A

Sprinklers Required: No

Legal Description of Building Lot:

USS 3260 LT 6

Building Official: Christian T. Roust, CBO



Signature

Parcel No: 4-B22-0-102-007-0

Date of Issuance: January 26, 2004

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

Permit No. 11780

State of Alaska
Department of Transportation and Public Facilities

Driveway and Approach Road Permit

This permit allows the permittee to construct and maintain a driveway or approach road within a State owned highway Right of Way.

<input checked="" type="checkbox"/> Residential/Private	<input type="checkbox"/> Commercial	<input type="checkbox"/> Government Agency
<p>Applicant: Bobbi Epperly</p> <p>Mailing Address:</p> <p>P.O. Box 34358</p> <p>Juneau, Ak 99801</p> <p>Contact Name: Bobbi Epperly</p> <p>E-mail Address: swampy@alaska.com</p> <p>Phone: (907) 789-5659 Fax: (907) 790-2457</p>		
<p>Driveway or Approach Road location (highway, subdivision, legal description milepost, etc.)</p> <p>LOT 6 USS 3260</p>		
<p>Proposed or Existing: EXISTING</p>	<p>Anticipated Completion Date: 06/30/2003</p>	
<p>Number of lots served: 1</p>	<p>Max. number of vehicles in any 1 hour: 1</p>	
<p>Zoning Designation: D-10</p>	<p>Proposed Land Use: residential</p>	

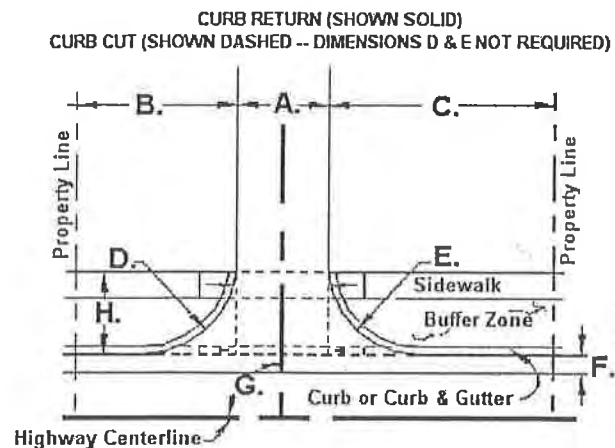
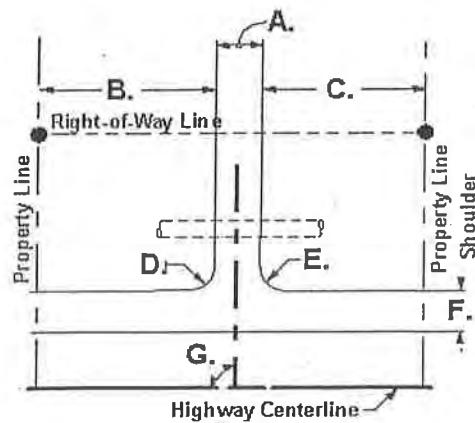
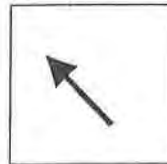
Attachment E - 2003 DOT, PF Driveway & Approach Road Permit



Permit No. 11780

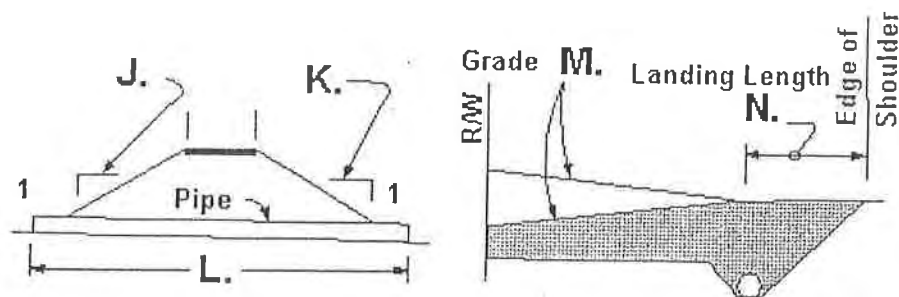
Driveway Specifications

Direction of North in relation to the drawing.



A.	Driveway width	20	feet
B.	Left edge clearance	20	feet
C.	Right edge clearance	20	feet
D.	Left return radius	20	feet
E.	Right return radius	20	feet
F.	Shoulder width	6	feet
G.	Approach angle	90	degrees
H.	Curb to sidewalk distance		feet
I.	Curb type	None	

Permit No. 11780



J.	Left driveway foreslope	3	:1
K.	Right driveway foreslope	3	:1
L.	Culvert length		Feet
M.	Landing grade	1	Percent
N.	Landing length	20	Feet
O.	Culvert size		inches
P.	Culvert type	Aluminum/Steel	
Q.	Ditch depth	5	feet
R.	Driveway surface type	Asphalt	
S.	Shoulder type	Paved	

Permittee upon signing this permit acknowledges and agrees to the following provisions:

This permit is not a property right but a temporary authorization, revocable by the State. (17 AAC 10.020 and 10.040)

If you damage any improvements within the State owned right of way, you will be responsible for returning them to their previous condition. The Department will inspect and approve the restored improvements. (17 AAC 10.065)

Permittee shall indemnify, defend and hold harmless the State, and its officers, employees, and contractors, from any and all claims or actions resulting from injury, death, loss, or damage sustained by any person or personal property resulting directly or indirectly from Permittee's use of or activities in the permitted area.

If driveway construction interferes with the public's safety and/or use of facilities within State owned right of way, you will be directed to stop work until adjustments are made.

A copy of this permit must be on site. If any of the conditions of this permit are violated, the State reserves the right to require the removal of all activities from the area.

Attachment E - 2003 DOT, PF Driveway & Approach Road Permit

Permit No. 11780

The Permit grants permission for driveway construction only, allowing access to and from your property onto a State maintained highway. It does not permit the following within the right of way or within that portion of a driveway that is within the right of way: (1) Parking of vehicles "for sale"; (2) Obstructions of any kind (i.e. logs, cables, fencing, etc.); (3) Advertising signs or banners/flags; (4) Parking vehicles with signs/advertising on the side.

Do not park equipment or stockpile material on the shoulder during non-working hours.

Permittee is responsible for sight distance clearing of brush and obstructions.

Driveway landings must be paved from pavement edge on all paved roads unless deemed otherwise by the State.

Please contact the Department for information about acceptable driveway markers (i.e., size, materials, distance, etc.) for placement within the right of way.

The State will not change its maintenance practices to accommodate your driveway or incur additional expense to clear snow berms or other obstacles resulting from the Department's activities.

You may not push or otherwise deposit snow or ice onto a highway in a manner, or in quantities, which may constitute a hazard to snow removal equipment or other traffic. (13 AAC 02.530)

Implement the traffic control plan and maintain traffic control devices in accordance with the Alaska Traffic Manual and any provisions and conditions noted.

All sign layouts shall conform to the Alaska Sign Design Specifications.

Fabricate special signs from engineering grade reflective sheeting on either sheet aluminum or plywood panels.

Adjust sign locations in the field to provide adequate separation from existing signs. All signs shall be visible.

Traffic control devices are not required for construction more than 2 feet behind curb, or farther than 15 feet beyond the shoulder.

Remove all traffic control devices when no longer needed.

Clean up litter or debris generated as a result of this driveway construction.

An inspection is required prior to reimbursement of your performance deposit. Please contact the Department for an inspection appointment after final construction of your driveway.

Attachments included as part of this permit are:**REQUIRED for ALL DRIVEWAYS:**

- ☐ Plat including notes of the placement of the driveway.
- ☒ Site plan.
- ☐ Proof of ownership.
- ☐ Traffic control plan.

REQUIRED for ALL APPROACH ROADS:

- ☐ Construction plans.
- ☐ Recorded plat or waiver including notes of the placement of the approach road.
- ☐ Traffic control plan.

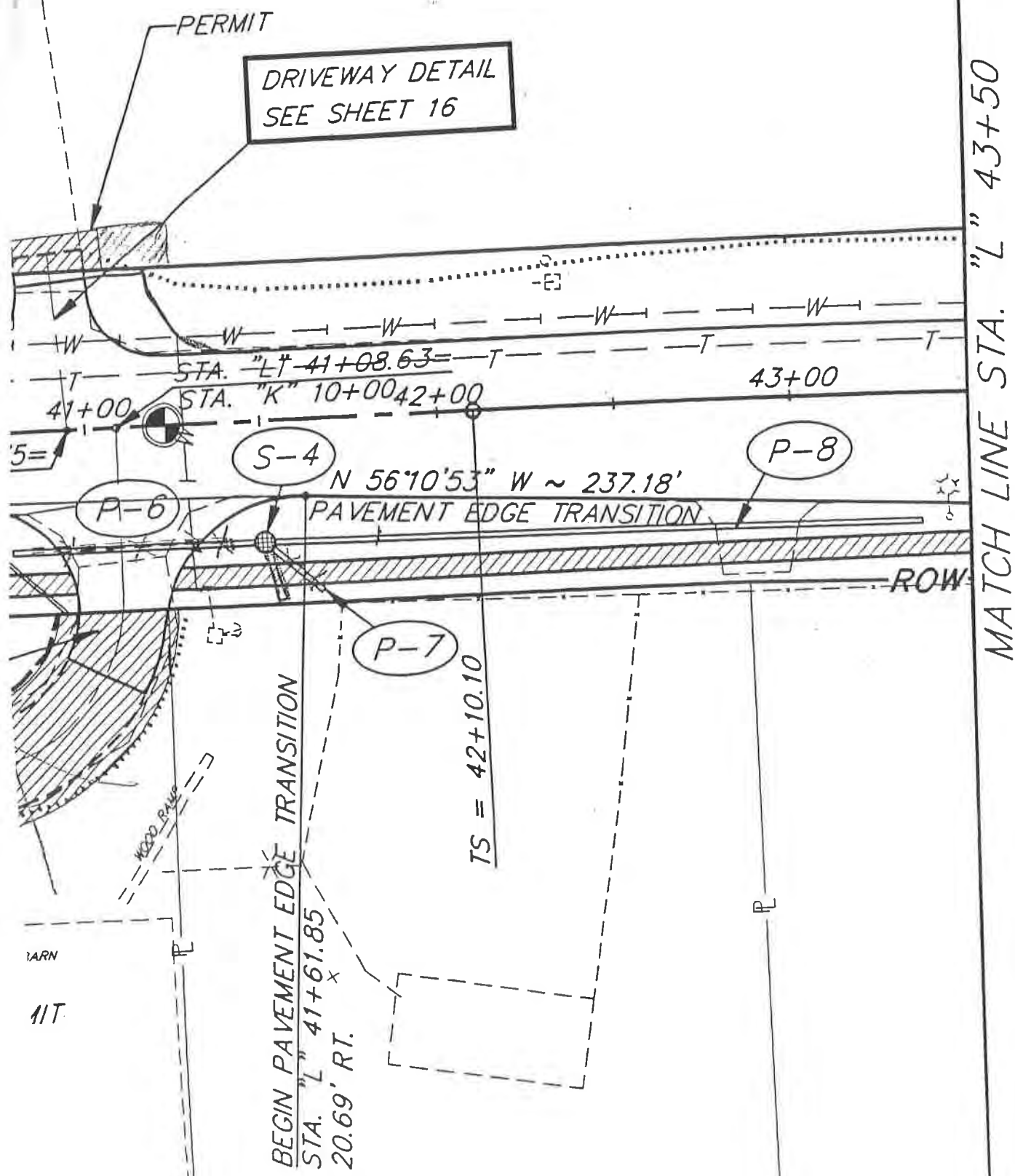
I, Jim Sidney, acknowledge that I am acting on behalf of the above named organization with the full authority to do so. I further acknowledge and accept that Jim Sidney shall comply with all the provisions and conditions that the Department of Transportation and Public Facilities has included as a condition of issuing this permit.

Jim Sidney
Permittee Signature

1/9/03
Date

George R Jackson
DOT&PF Signature

1-9-03
Date



Attachment E - 2003 DOT, PF Driveway & Approach Road Permit

RECEIVED
JAN 08 0 00 PM '03

2004-000105-0Recording Dist: 101 - Juneau
1/8/2004 9:43 AM Pages: 1 of 4

Section H, Item 2.

A
L
A
S
K
A

CC

GRANT OF EASEMENT

WHEREAS, Esther K. Epperly and Neils Peter Epperly are the legal owners of the real property more fully described as:

Lot Five (5), U.S. SURVEY 3260, Juneau Recording District, First Judicial District, State of Alaska,

EXCEPT THEREFROM that portion taken by the State of Alaska, Department of Transportation and Public Facilities, as disclosed by Right-of-Way Map 98-18, Juneau Recording District, First Judicial District, State of Alaska, (hereinafter "Servient Estate"); and

WHEREAS, the owner of the Servient Estate wishes to grant an easement for access, ingress, and egress across an existing driveway and utility easement located on the Servient Estate, more fully described as:

An easement on Lot Five (5), U.S.S. 3260 within the Juneau Recording District, Juneau, Alaska. Description of a 20.00 foot wide access and utilities for Lots Six (6) and Five (5) of U.S.S. 3260, more described as follows:

Beginning at a point on Glacier Highway R.O.W., and being a common corner of Lots 6 and 5;

Thence along the common lot line of Lots 6 and 5, N 30° 29'00"E, 272.48 feet;

Thence S 59° 31'00"E, 20.00 feet;

Thence S 30° 29'00"W, 272.52 feet to the said R.O.W.;

Thence along said R.O.W., N 59° 24'00"W, 20.00 feet.

Above described Easement contains, 5,450.01 square feet, more or less;

Said driveway and utility easement is more fully depicted on that certain As-Built Survey prepared by J. W. Bean, a Registered Professional Land Surveyor, dated December 2, 2003, which As-Built Survey is attached hereto as Exhibit "A", for the benefit of present and future owners of the real property, more fully described as:

Lot Six (6), U.S. Survey 3260, Juneau Recording District, First Judicial District, State of Alaska,

EXCEPT THEREFROM that portion taken by the State of Alaska, Department of Transportation and Public Facilities, as disclosed by Right-of-Way Map 98-18, Juneau Recording District, First Judicial District, State of Alaska, (hereinafter "Dominant Estate");

SCHADT LAW OFFICE

2909 Arctic Boulevard, Suite #103
Anchorage, Alaska 99503
Telephone: (907) 562-0990
Facsimile: (907) 562-0989

NOW, THEREFORE, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration in hand paid, the receipt and sufficiency of which is hereby acknowledged;

1. Easement. The owner of the Servient Estate hereby grants, for the benefit of the Dominant Estate, an easement for access, ingress and egress across an existing driveway and utility easement located on the Servient Estate as depicted on Exhibit A.

2. Covenant to Run with the Land. The burden and benefit of this agreement are intended to attach to and to run with the land and shall be binding and shall inure to the benefit of the parties hereto, their successors, heirs and assigns forever.

3. The owners of the Dominant Estate expressly acknowledge that at no time have they or their predecessors acquired an interest in the Servient Estate other than as set forth in this easement and that they acknowledge and agree that they shall not at any time claim an interest or estate, of any kind whatsoever, in the Servient Estate except as set forth herein.

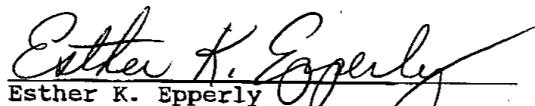
4. That, in consideration for the privileges granted herein, the owners of the Dominant Estate agree to adequately maintain the easement and to indemnify and hold the owners of the Servient Estate, their successors and assigns, harmless from any and all claims or damages which may arise or in any way be related to the owners of the Dominant Estate or their invitees' use of said driveway and utility easement as hereinabove described.

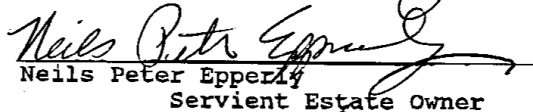
5. Term of Easement. The term of this easement shall be perpetual.


IN WITNESS WHEREOF, the undersigned have executed this Grant of Easement this ____ day of December, 2003.

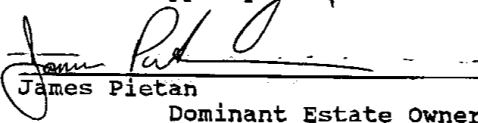
Return to:

Bobbi Epperly
PO Box 34358
Juneau, AK 99803


Esther K. Epperly


Neils Peter Epperly
Servient Estate Owner


Bobbi J. Epperly


James Pietan
Dominant Estate Owner

Servient Estate Owner's Address:
10440 Glacier Highway
Juneau, Alaska 99801

Grant of Easement

Page 2



2 of 4
2004-000106-0

Dominant Estate Owners' Address:
10460 Glacier Highway
Juneau, Alaska 99801

STATE OF ALASKA)
) ss.
First Judicial District)

THIS IS TO CERTIFY that on this 6TH day of JANUARY, 2004, before me, the undersigned, a Notary Public in and for Alaska, personally appeared **Esther K. Epperly and Neils Peter Epperly**, to me known and known to me to be the individuals named in and who executed the foregoing instrument and they acknowledged to me that they signed the same freely and voluntarily for the uses and purposes therein stated.

WITNESS my hand and official seal the day and year in this certificate first above written.

STATE OF ALASKA

OFFICIAL SEAL

Kerry J. Madsen

NOTARY PUBLIC

My Commission Expires 8/28/05



Kerry J. Madsen
NOTARY PUBLIC in and for Alaska

My Commission Expires: 8/28/2005

STATE OF ALASKA)
) ss.
First Judicial District)

THIS IS TO CERTIFY that on this 6TH day of JANUARY, 2004, before me, the undersigned, a Notary Public in and for Alaska, personally appeared **Bobbi J. Epperly and James Pietan**, to me known and known to me to be the individuals named in and who executed the foregoing instrument and they acknowledged to me that they signed the same freely and voluntarily for the uses and purposes therein stated.

WITNESS my hand and official seal the day and year in this certificate first above written.

STATE OF ALASKA

OFFICIAL SEAL

Kerry J. Madsen

NOTARY PUBLIC

My Commission Expires 8/28/05



Kerry J. Madsen
NOTARY PUBLIC in and for Alaska

My Commission Expires: 8/28/2005

SCHADT LAW OFFICE

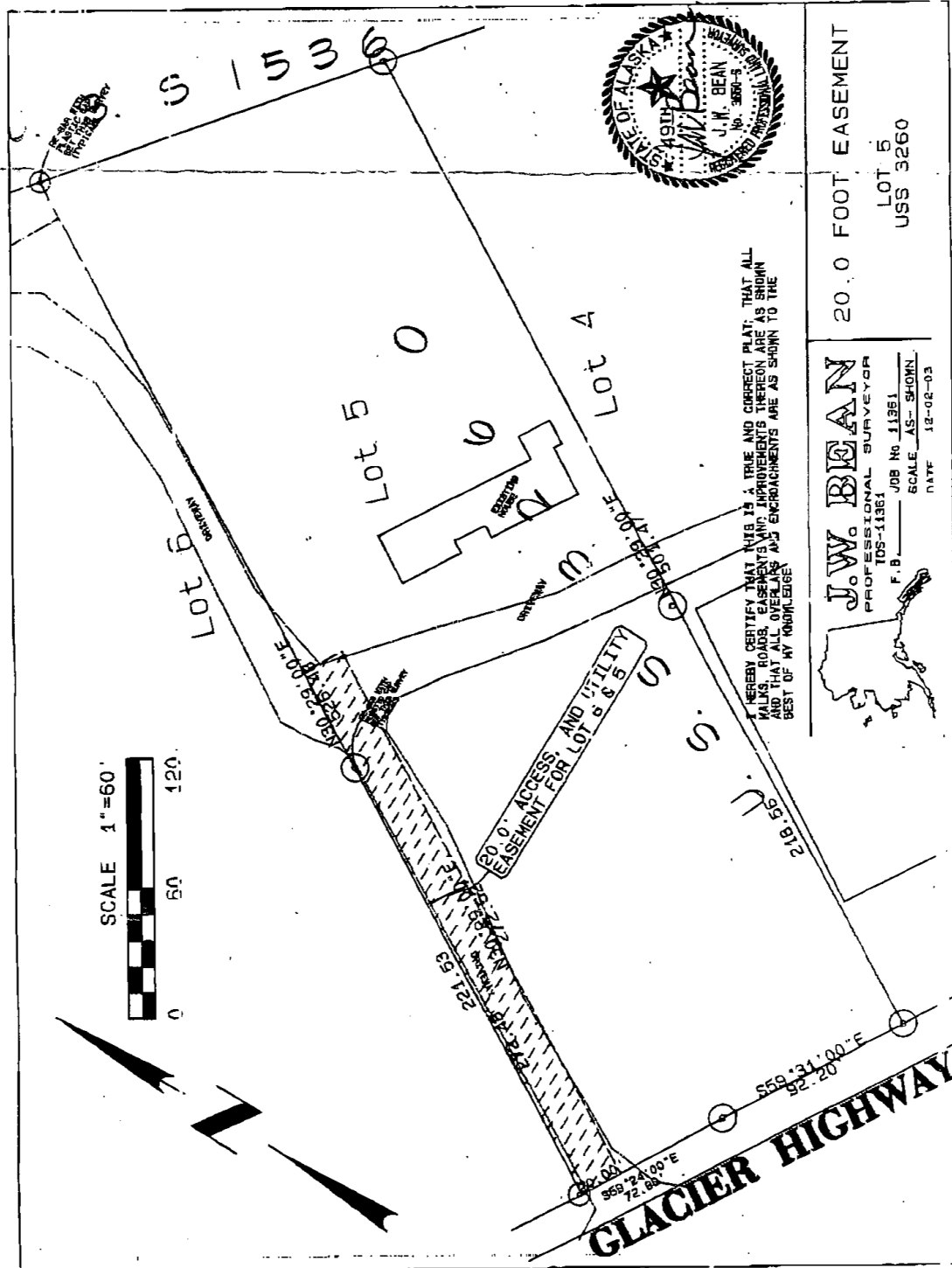
2909 Arctic Boulevard, Suite #103

Anchorage, Alaska 99503

Telephone: (907) 562-0950

Facsimile: (907) 562-0989





cc

A
L
A
S
K
A

2013-006331-0

Section H, Item 2.

Recording District 101 Juneau

09/13/2013 01:50 PM Page 1 of 4




**THIS COVER SHEET HAS BEEN ADDED TO
THIS DOCUMENT TO PROVIDE SPACE FOR
THE RECORDING DATA. THIS COVER
SHEET APPEARS AS THE FIRST PAGE OF
THE DOCUMENT IN THE OFFICIAL PUBLIC
RECORD.**

DO NOT DETACH

August 23, 2001

53

	STATE OF ALASKA
	DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES
	EASEMENT (Standard/Partial Property)
	PROJECT NAME: JNU-GLACIER HIGHWAY BROTHERHOOD BRIDGE REPLACEMENT
	STATE PROJECT #: 67987
	FEDERAL-AID PROJECT #: NH-BR-0933(019)
	PARCELS #: E-13

2059228
The GRANTORS, **JAMES J. PIETAN** and **BOBBI J. EPPERLY**, husband and wife, whose mailing address is **PO Box 34358, Juneau, Alaska 99803**, for and in consideration of **EIGHTEEN THOUSAND, NINE HUNDRED and NO/100 DOLLARS (\$18,900.00)**, and other valuable consideration, in hand paid, conveys and warrants to the GRANTEE, **STATE OF ALASKA, DEPARTMENT OF TRANSPORTATION & PUBLIC FACILITIES**, whose mailing address is **P.O. Box 112506, Juneau, Alaska 99811-2506**, its successors or assignees, a perpetual, full and unrestricted easement and right-of-way along, over, under, and across the following-described tract of land located in the State of Alaska:

A tract of land in Lot 6, U.S. SURVEY 3260, Juneau Recording District, First Judicial District, State of Alaska

which lies within the easement of right-of-way lines of Alaska Project No. 67987, delineated as to said tract of land on the plat attached hereto and made a part hereof as page three of this instrument and designated as Parcel No E-13. Said parcels, containing 2,515 square feet, more or less, in addition to existing right-of-way, is hereby conveyed to the State of Alaska, Department of Transportation and Public Facilities for the purpose(s) of:


constructing and maintaining a public highway and for all highway and utility purposes.

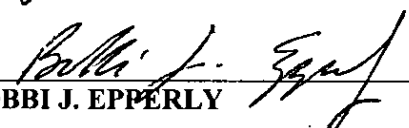
The Grantors will not accept any liability for any State of Alaska improvement projects on/in the easement area.

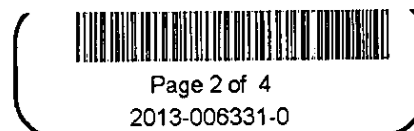
The above-named Grantors hereby covenants with the State of Alaska that said Grantor has good title to the above-described tract of land and covenants that the State of Alaska shall have quiet and peaceable possession thereof; and shall have a free and unrestricted right to maintain said facilities as long as the right-of-way of which this easement area is a part, remains a public way.

Dated this 22 day of August, 2013

Filed for Record at the Request of
and Return to:
State of Alaska – DOT&PF
P.O. Box 112506
Juneau, Alaska 99811-2506
State Business-No Charge


JAMES J. PIETAN


BOBBI J. EPPERLY



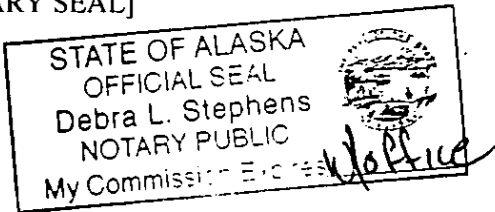
ACKNOWLEDGMENT OF GRANTORS

STATE OF ALASKA)
:
FIRST JUDICIAL DISTRICT)

On this 23rd day of August, 2013 before me, the undersigned, a Notary Public in and for the State of Alaska, personally appeared JAMES J. PIETAN and BOBBI J. EPPERLY, the Grantors, known to me to be the identical persons who executed the foregoing instrument and who acknowledged to me that they signed the same freely and voluntarily, with full knowledge of its contents, for the uses and purposes therein mentioned.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year above written.

[NOTARY SEAL]



Debra L. Stephens
Notary Public in and for the State of Alaska
My Commission Expires: 12/01/14

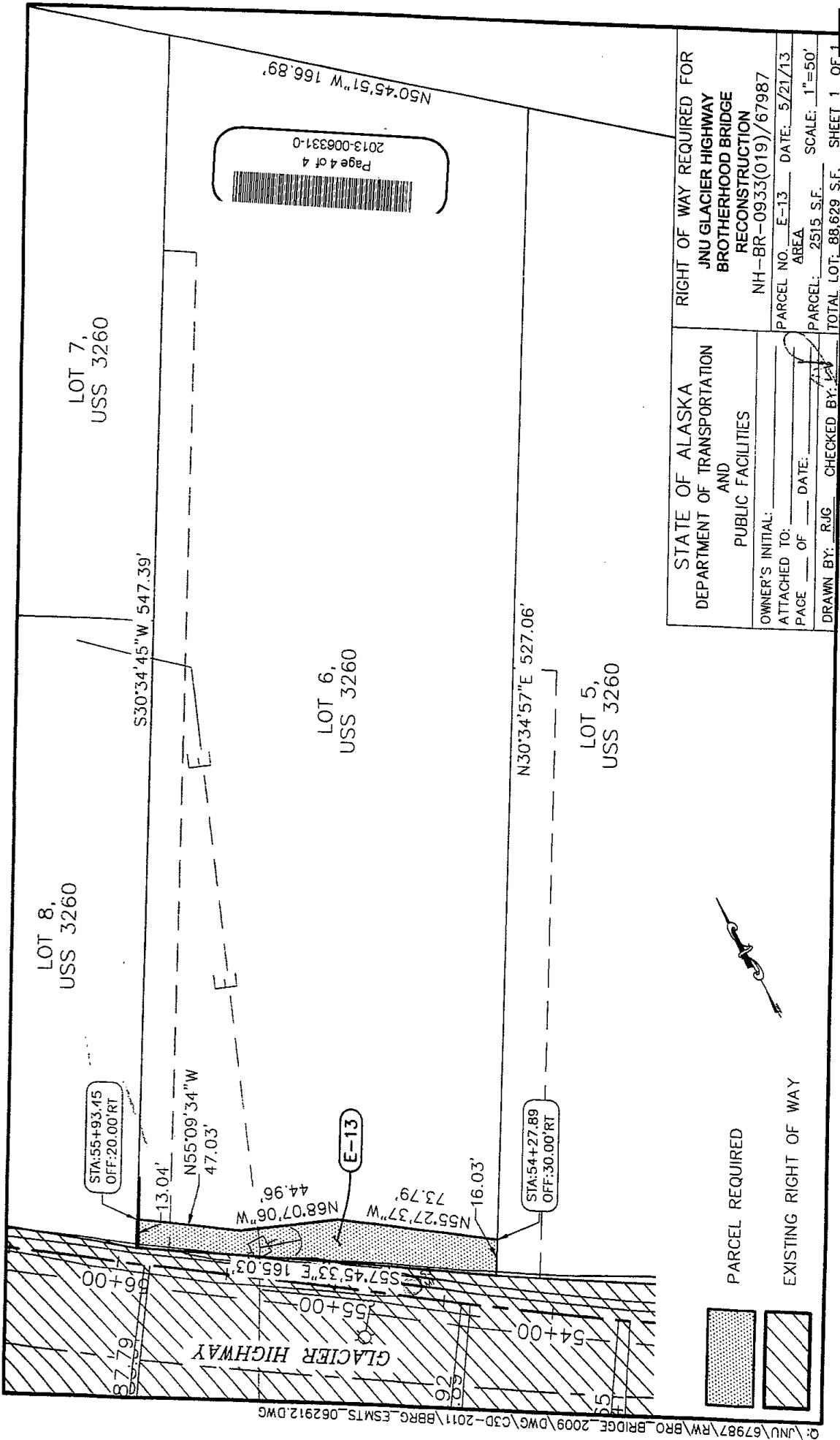
CERTIFICATE OF ACCEPTANCE

THIS IS TO CERTIFY that the STATE OF ALASKA, DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES, Grantee herein, acting by and through its Commissioner, hereby accepts for public purposes the real property, or interest therein, described in this instrument and consents to the recordation thereof.

IN WITNESS WHEREOF, I have hereunto set my hand this 9 day of September, 2013.

DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES

By: [Signature]
For the Commissioner



Section H, Item 2.

ACCESSORY APARTMENT APPLICATION

Section H, Item 2.

Project Number	Project Name (15 characters)	Case Number AAP 20160012	Date Received 5/11/16
----------------	------------------------------	-----------------------------	--------------------------

DESCRIBE THE ACCESSORY APARTMENT:

Efficiency log cabin apartment

TYPE OF ACCESSORY APARTMENT

- ☐ Attached to or Within a Single-Family Dwelling
 ☐ Associated With a Detached Garage
☐ Within a Two-Unit Common-Wall Dwelling
 ☒ Not Affiliated with Another Structure (Stand alone)

AREA OF APARTMENT

Net Floor Area 397 square feet

Areas common to more than one dwelling unit including entry ways, furnace rooms, laundry rooms, and interior stairways are not be included in the computation of net floor area.

PARKING

Existing Spaces 3 Proposed Total Spaces 3

(Parking dimensions must be a minimum of 8.5' X 17', and each parking space must be drawn to scale on the site plan.)

SITE INFORMATION

ZONING DISTRICT D10

UTILITIES AVAILABLE

MINIMUM LOT SIZE (\$49.25.400) _____

WATER: ☒ Public ☐ On Site

ACTUAL LOT SIZE**** 2 + acres

SEWER: ☒ Public ☐ On Site****

****Applicants please note that if the Actual Lot Size is less than the Minimum Lot Size required, the Accessory Apartment must be reviewed through the Conditional Use Permitting Process.

Permitting Process: ☐ Departmental Review ☐ Planning Commission

Fees (Departmental Approval)	Fees	Check No.	Receipt No.	Date
Application Fees	See Building Permit			
Fees (Conditional Use Permit)				
Application Fee	\$ _____			
Public Notice Sign Fee	\$ _____			
Public Notice Sign Deposit	\$ _____			
Total	\$ _____			

For more information regarding the permitting process and the submittals required for a complete application, please see the reverse side.

If you need any assistance filling out this form, please contact the Permit Center at 586-0770.

NOTE: MUST BE ACCOMPANIED BY DEVELOPMENT PERMIT APPLICATION FORM

DEVELOPMENT PERMIT APPLICATION

Project Number	CITY and BOROUGH of JUNEAU	Date Received: 5/11/16
Project Name (City Staff to Assign Name)		

PROJECT / APPLICANT INFORMATION	Project Description Accessory Apartment		
	PROPERTY LOCATION		
	Street Address 10460 Glacier Hwy	City/Zip Juneau 99801	
	Legal Description(s) of Parcel(s) (Subdivision, Survey, Block, Tract, Lot) USS 3260 Lot 6		
	Assessor's Parcel Number(s)		
	LANDOWNER/ LESSEE		
	Property Owner's Name Bobbi Epperly & James Pietan	Contact Person: Bobbi Epperly	Work Phone: 209-5574
	Mailing Address PO Box 34358 Juneau, AK 99803	Home Phone: 209-5574	Fax Number:
	E-mail Address: bepperly@pci.net	Other Contact Phone Number(s):	
	LANDOWNER/ LESSEE CONSENT ***Required for Planning Permits, not needed on Building/ Engineering Permits***		
<p>I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:</p> <p>A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.</p> <p>B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.</p> <p>X <u>Bobbi J. Epperly</u> Landowner/Lessee Signature <u>5/11/16</u> Date</p> <p>X _____ Landowner/Lessee Signature _____ Date</p> <p>NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.</p>			
APPLICANT If the same as OWNER, write "SAME" and sign and date at X below			
<p>Applicant's Name <u>Same</u> Contact Person: _____ Work Phone: _____</p> <p>Mailing Address _____ Home Phone: _____ Fax Number: _____</p> <p>E-mail Address _____ Other Contact Phone Number(s): _____</p> <p>X <u>Bobbi Epperly</u> Applicant's Signature <u>5/11/16</u> Date of Application</p>			

STAFF APPROVALS	OFFICE USE ONLY BELOW THIS LINE			
	Permit Type	SIGN	Date Received	Application Number(s)
	X Building/Grading Permit		5/11/16	BLD 2016 0300
	City/State Project Review and City Land Action			
	Inquiry Case (Fee In Lieu, Letter of ZC, Use Not Listed)			
	Mining Case (Small, Large, Rural, Extraction, Exploration)			
	Sign Approval (If more than one, fill in all applicable permit #'s)			
	Subdivision (Minor, Major, PUD, St. Vacation, St. Name Change)			
	X Use Approval (Allowable, Conditional, Cottage Housing, Mobile Home Parks, Accessory Apartment)		5/11/16	AAP 2016 0012 / AAG 2016 0012
	Variance Case (De Minimis and all other Variance case types)			
Wetlands Permits				
Zone Change Application				
Other (Describe)				
***Public Notice Sign Form filled out and in the file.				
Comments:			Permit Intake Initials	

F
1

All plumbing work must comply with the requirements of the 2012 UPC as modified by CBJ Title 19. Code

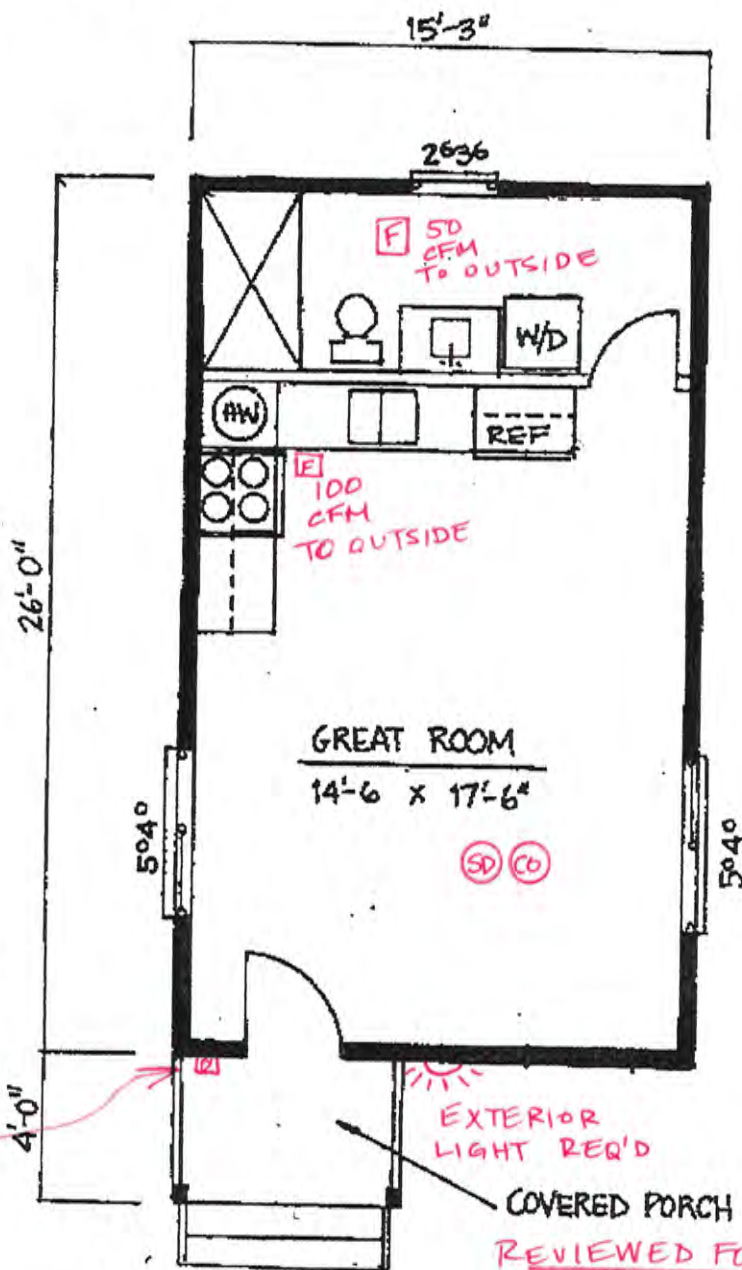
ACCESSORY APARTMENT

RECEIVED
MAY 1 2016
PERMIT CENTER

BLD 20160300

Mike Flanagan

All Electrical work must comply with the requirements of the 2014 NEC as modified by CBJ Title 19. Code



REVIEWED FOR CODE COMPLIANCE

Inspections will not be performed without CBJ approved plans on site.

MFS 5/16/16

EAGLE'S NEST 397

COPYRIGHT © 1995

Cedar Homes of Washington, Inc.
23209 131st Ave. SE * Snohomish, WA 98296 - 5420
360 / 668-8242
www.chwi.com cedarhomes@chwi.com

* SEE ALL PAGES

Fasteners, hangers and brackets used on the exterior of a building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.



BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **BLD20160300**

Case Description: New detached accessory apartment

Site Address: **10460 GLACIER HWY**

Check No. of Existing Dwelling Units: 1

Parcel No: 4B2201020070

No. of New Dwelling Units: 0

Legal Description: USS 3260 LT 6

No. of Removed Dwelling Units: 0

Applicant : BOBBI J EPPERLY
PO BOX 034358
JUNEAU AK 99803

PH1

(907) 789-56

PH2

(907) 790-27

209-5574

Owner: JAMES J PIETAN
BOBBI J EPPERLY
PO BOX 034358
JUNEAU AK 99803

Contractor: OWNER

PH: _____ FAX: _____

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
350	Residential-Single Family Resi	116.96	40,936.00
24	Utl & Misc-Porch	43.28	1,038.72

Total Valuation: \$41,974.72

Associated Cases:

None.

Parcel Tags:

Notes and Conditions:

Applicant's Signature

(Owner, Contractor or Authorized Agent)

Date

Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:00 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: 10460 GLACIER HWY

Permit Number: BLD20160300

Project Description: New detached accessory apartment

Issued Date : 05/19/2016

Parcel No: 4B2201020070

Parcel Information : USS 3260 LT 6

Setbacks:

Zone: D10:

Front: 20.00 Ft. SW

Side 1: 5.00 Ft. SE

Rear: 20.00 Ft. NE

Side 2: 5.00 Ft. NW

Street Side:

Comments:

Owner :

JAMES J PIETAN
BOBBI J EPPERLY
PO BOX 034358
JUNEAU AK 99803

Applicant :

BOBBI J EPPERLY
PO BOX 034358
JUNEAU AK 99803

Fee Type	Date	Receipt	Amount Paid
BLD- Bldg Permit Fee	05/11/2016	08061	\$512.70
BLD- Res Plan Review	05/11/2016	08061	\$256.35
Total Fees Paid:			\$769.05

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
350	Residential-Single Family R	116.96	40,936.00
24	Utl & Misc-Porch	43.28	1,038.72
Total Valuation:			\$41,974.72

Project Conditions and Holds:

Plan Review Comments - Please contact applicant ASAP after cabin kit has been deemed acceptable so that she can place order for delivery

Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Approved Fasteners - Fasteners hangars and brackets used on the exterior of the building and or used with pressure-preservative or fire retardant-treated woods shall be listed and approved products for such use.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Crawl Space Vapor Barrier - Under floor spaces and crawlspaces shall have a vapor retarder that is a minimum of 6 mil thick (0.15 mm) polyethylene film installed such that all edges are lapped a minimum of 6 inches (152 mm) and sealed with a permanent compatible sealing compound or adhesive. Such vapor retarder shall extend vertically up the foundation wall a minimum of 6 inches (152 mm) and be attached and sealed with a permanent compatible sealing compound or adhesive to the foundation wall. Vapor retarder shall not be attached to wood other than pressure preservative treated wood.

Shower Anti-scald Valve - All shower valves and combination tub/shower valves shall provide scald and thermal shock protection by means of an approved valve that conforms to ASSE 1016 or ASME A112.18.1 / CSA B125.1. The maximum water temperature supplied to these fixtures shall be 120 degrees fahrenheit per 2009 UPC section 418.

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Seismic Strap Water Heater - Residential - Residential water heaters shall be strapped within the upper 1/3 of its vertical dimension per 2009 UPC section 508.2.

Smoke and CO Detectors - Smoke and Carbon Monoxide detectors as required by applicable code must be operational prior to temporary occupancy and/ or final inspection approval, whichever is requested first.

Snow Stops - CBJ 19.04.R801.4 requires snow stops or other devices be implemented to prevent snow from discharging onto public ways, adjoining property, onto or against other buildings or in a manner that blocks exit from buildings.

UFER Ground - An approved UFER ground conductor must be installed and inspected per 2011 NEC article 250.52(A)(3).

Inspections Required: Call for inspection before covering or concealing any of the work described below: Inspections may be combined.

B-Sill Plate	B-Setback Verification	B-Foundation, Forms and Reinforcing Steel
B-Temporary Power	B-Framing	B-Rough Electrical
B-Yellow Tag Electrical	B-Under Slab Utilities	B-Rough Plumbing
B-Appliance/Chimney	B-Insulation/Vapor Barrier	B-Oil & Gas Piping/Tanks
B-Vents (Bath, Dryer, Kitchen, etc.)	B-Smoke /Carbon Monoxide Detectors	B-Cross Connection Control
B-Building Final	E-Grading/Drainage	E-General Engineering Final

* NOTE: "Utility Permit" is a generic term which includes Water Connection Permits, Sewer Connection Permits, Water Inspections and Sewer Inspections.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning **586-1703** or by written or faxed notification.
The Online Building Inspection Request Form is at: www.juneau.ak.us/cdd/insp_req.htm.
Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:00 AM for same day inspections.

Job Address: 10460 GLACIER HWY	Issued Date : 05/19/2016
Permit Number: UTL20160097	Parcel No: 4B2201020070
Project Description: Installaion of 1 1/2" water line for new accessory apartment with issuance of 1 1/2" meter modified 5/25/2016 to reduce size to 1" customer line and 1" meter	UTO Date: 05/18/2017

Parcel Information: USS 3260 LT 6
--

Owner : JAMES J PIETAN BOBBI J EPPERLY PO BOX 034358 JUNEAU AK 99803	Applicant : BOBBI J EPPERLY PO BOX 034358 JUNEAU AK 99803
--	---

Fee Type	Date	Receipt	Amount Paid
ENG- Water Assessment Fee	05/19/2016	00008	\$1,500.00
Total Fees Paid:			\$1,500.00

Project Conditions and Holds:

Utility Locates - Call the Utility Locate Council (586-1333) before digging.

Water Meter - Meter installation must be in accordance with CBJ STD 420 prior to issuance of TCO. Installation must include three 22 gauge multicolored conductors in 1/2" electrical conduit from main entrance of building to within 12" of meter register (not to exceed 100'). Allow an extra 2' of wire for meter connections. Meter must be installed with the following clearances: minimum 18" clearance above meter and minimum 12" clearance each side and below meter. Contact CBJ Utility Business Unit for meter issuance and remote readout installation, 586-0997, a minimum of 48 hours prior to meter issuance or remote readout installation.

Water Service Connection - For water service connection follow CBJ Standard Detail 419.

Water Turn On/Off - If water service is turned on or turned off at the curb stop by any person not specifically authorized by the water utility, a fee of \$100.00 shall be paid by the property owner.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

E-Size	E-Depth	E-Curb Box
E-Curb Stop	E-Access to Curb Stop V:	E-Thaw Wire
E-Pressure Test	E-Water Meter/Yoke	E-Cross Connection Cont
E-Thaw Waiver	E-Billing Authorization	E-ROW Restoration
E-Water Final		

Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

New detached accessory apartment

Building Address: 10460 GLACIER HWY

Occupancy Group: R-3*

Owner of Building: JAMES J PIETAN
BOBBI J EPPERLY
PO BOX 034358
JUNEAU AK 99803

Building Permit No. BLD20160300

Construction Type: Type V-B

Code Edition: 2006 IRC

Occupant Load:

Sprinklers: Required

Provided

Legal Description of Building Lot:

USS 3260 LT 6

Building Official: Charlie Ford, BO


Signature

Parcel No: 4-B22-0-102-007-0

Date of Issuance: December 19, 2016

Post this Certificate in a conspicuous place for the duration of the stated occupancy.



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

Case name

Case Number: PAC2022 Over-the-Counter
 Applicant: Bobbi Epperly
 Property Owners: James J Pietan; Bobbi J Epperly
 Property Addresses: 10460, 10460-B, and 10440 Glacier Hwy
 Parcel Code Numbers: 4B2201020070 / 4B2201020060
 Site Sizes: 88,557 square feet / 85,987 square feet
 Zoning: D10
 Existing Land Use: Residential

Conference Date: October 12, 2022

Report Issued: October 13, 2022

DISCLAIMER: Pre-application conferences are conducted for purposes of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application, and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Bobbi Epperly	Applicant	bepperly@gci.net
Jennifer Shields	Planning	Jennifer.shields@juneau.org
David Peterson	Planning	David.peterson@juneau.org

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The applicant is proposing a subdivision lot line adjustment in order to clear up access and encroachment issues. Specifically, the lots share a DOT&PF curb cut that is undeveloped past the right-of-way line; however, both lots are currently accessed through the Swampy Acres property at 10440 Glacier Highway. In addition, a barn structure is straddling the shared lot line between the existing lots. The impetus for this proposal is in relation to the applicant's Conditional Use Permit request (USE22-12) to develop a commercial nursery on Lot 6.

Planning Division

1. **Zoning** – D10 zoning district. Proposed lots will exceed the minimum lot size of 36,000 square feet (see below) and lot width required of 150 feet.
2. **Subdivision** – Both lots front onto a CBJ classified arterial roadway. Per CBJ 49.35.210(b)(3):
A parcel of land with less than 500 feet of frontage on a street, or with less than 350 feet in depth may be subdivided so as to allow access directly onto a minor arterial street if all of the following conditions are met:
 - (A) *All of the resulting lots must meet the minimum lot area standard for a single-family dwelling in the D-1 zoning district (36,000 square feet).*
 - (B) *All of the lots must share a common access point and further subdivision of the newly created lots is not allowed.*
 - (C) *Common access to all lots is required and back out parking is prohibited. The applicant must submit a plan that shows the feasibility of off street parking for all lots and an adequate area for a turnaround to prevent back out parking.*
 - (D) *The applicant must provide assurance in the form of an easement, plat note, and a maintenance agreement that is recorded with the subdivision, all of which must be acceptable to the director, that ensures the required common access will be constructed and maintained by the property owners.*
 - (E) *The proposed subdivision must meet all other applicable subdivision standards and requirements.*
3. **Setbacks** – Setbacks for the D10 zoning district are front and rear – 20 feet; sides – 5 feet. The barn on Lot 6 and the house on Lot 5 must meet the side setback requirement with the proposed, shared lot line.
4. **Height** – 35 feet for permissible uses, 25 feet for accessory uses.
5. **Access** – Per CBJ 49.35.250(b): *“Publicly maintained access within a subdivision. Unless otherwise provided in this section or in 49.15.420(a)(1), all lots must satisfy the minimum frontage requirement and have direct and practical access to the right-of-way through the frontage.”* **Both lots appear to have direct and practical access through a shared DOT&PF Driveway and Approach Road Permit; the existing approach location and width must be shown on the plat.** The applicant must provide assurance in the form of an easement, plat note, and a maintenance agreement that is recorded with the subdivision, all of which must be acceptable to the CDD Director, that ensures the required common access will be constructed and maintained by the property owners.
6. **Parking & Circulation**– Single-family dwellings require two off-street parking spaces, with one additional space required for an accessory apartment.
7. **Lot Coverage** – Maximum lot coverage is 50%

8. **Vegetative Coverage** – Minimum vegetative coverage is 30%
9. **Lighting** – N/A
10. **Noise** – N/A
11. **Flood** – N/A
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – N/A
13. **Wetlands** – N/A
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** – N/A
16. **Traffic** – N/A
17. **Nonconforming situations** – The lot line adjustment will resolve the barn setback encroachment.

Building Division

18. **Building** – No comments at this time.

General Engineering/Public Works

19. **Engineering** – Both lots have ample frontage, so they could construct their own driveways as far as CBJ is concerned. Since this is a DOT road and they have jurisdiction, the applicant should contact DOT ROW for further information. If the applicant wants to plat a private easement that straddles the property line, 20' width (10' either side of the line) would be appropriate to account for the typical mode of transportation utilized (car/truck).

Fire Marshal

20. **Fire Items/Access** – No comments at this time.

Other Applicable Agency Review

21. **DOT&PF** – Applicant is advised to confirm with DOT&PF that the proposed lot line adjustment is acceptable.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application (required with all permit types)
2. Subdivision Application

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. Required with Subdivision application:
 - a. Subdivision Checklist for Preliminary Plat
 - b. Preliminary plat

- c. Lot closure report
- d. A copy of this pre-application conference report
- e. Narrative including legal descriptions of properties, existing structures on the land, zoning district, density, access, current and proposed use of any structures, utilities available, unique characteristics of the land or structures.

Exceptions to Submittal Requirements

Submittal requirements staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Lot line adjustment application fee: \$160

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.org

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

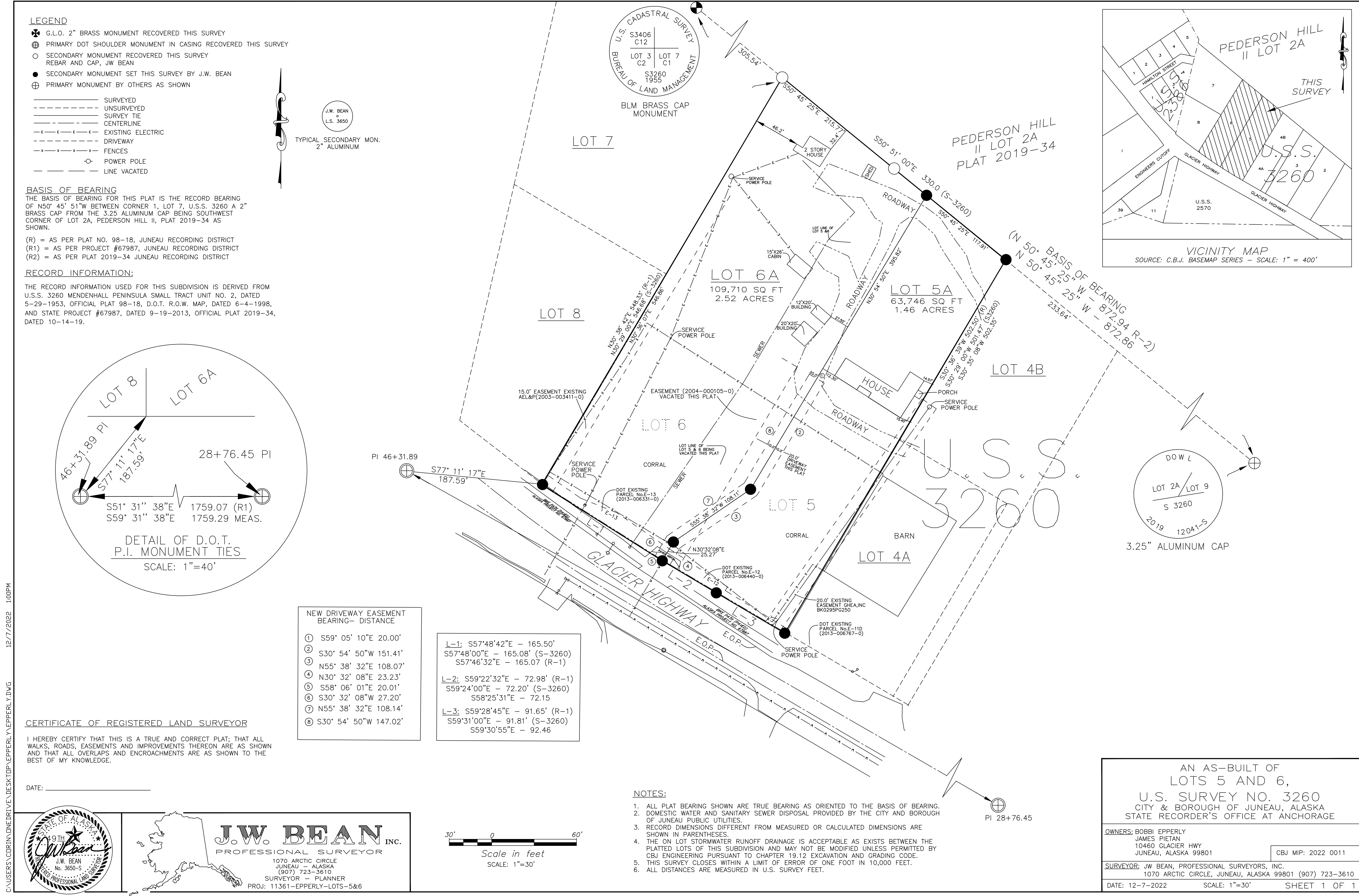
Web: www.juneau.org/community-development

Attachments:

Development Permit Application

Subdivision Preliminary Plat Checklist

Subdivision Application





(907) 586-0715
jill.maclean@juneau.org
www.juneau.org/community-development
155 S. Seward Street • Juneau, AK 99801

**COMMUNITY DEVELOPMENT
NOTICE OF DECISION**

Date: December 21, 2022
File No.: MIP2022 0011

Bobbi Epperly & James Pietan
10440 & 10460 Glacier Highway
Juneau Ak, 99801

Proposal: Applicant is seeking to adjust a lot line between two properties owned by the applicant.

Property Address: 10440 & 10460 Glacier Highway

Property Legal Description: USS 3260 Lot 5 & 6

Property Parcel Code No.: 4B2201020060 & 4B2201020070

Proposed Subdivision: Lots 5 & 6 of USS 3260

The Director of Community Development has **APPROVED** the preliminary plat for a lot line adjustment between lots 5&6 of USS 3260.

This approval is based on the preliminary plat dated 12/7/2022, attached hereto, and with the following conditions:

1. Prior to approval of the final plat, Certification from the CBJ Treasurer is required that all real property taxes and special assessments levied against the property for the year of recording have been paid.

This Notice of Decision does not authorize any construction activity. Prior to starting any development project, it is the applicant's responsibility to obtain a building permit for any and all improvements requiring a permit.

This Notice of Decision constitutes a final decision of the Director of the CBJ Community Development Department. Appeals must be brought to the CBJ Planning Commission in accordance with CBJ 49.20.110. Appeals must be filed by 4:30 PM on the day twenty days from the date the decision is filed.

Bobbi Epperly & James Pietan

File No.: MIP2022 0011

December 21, 2022

Page 2 of 2

Expiration Date: The permit will expire five (5) years from the effective date, or December 14, 2022 unless substantial construction progress has been made in construction of required improvements in accordance with the authorized plans, or an application for a final plat has been accepted.

If you have any questions regarding your project or anticipate any changes to your plans, please call the Community Development Department at (907) 586-0715.

Project Planner:



David Matthew Peterson, Planner II
Community Development Department



Jill Maclean, Director
Community Development Department

CC: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBI-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



DIRECTOR'S REVIEW STAFF REPORT
MINOR SUBDIVISION
MIP2022 0011

(907) 586-0715

CDD_Admin@juneau.org

www.juneau.org/community-development

155 S. Seward Street • Juneau, AK 99801

DATE: December 21, 2022**TO:** Jill Maclean, Director, AICP**BY:** David Matthew Peterson, Planner II

PROPOSAL: Applicant requests a minor subdivision for a lot line adjustment between two properties owned by the applicant.

STAFF RECOMMENDATION: Approval**KEY CONSIDERATIONS FOR REVIEW:**

- Setbacks
- Driveway Easement

PLANNING COMMISSION
REVIEW REQUIRED:

Planning Commission review is not required for this permit.

ASSEMBLY REVIEW REQUIRED:

Assembly review is not required for this permit.

STANDARD OF REVIEW:

A minor subdivision permit is required for all subdivisions resulting in 13 or fewer lots.

Code Provisions:

- CBJ 49.15.401
- CBJ 49.15.411
- CBJ 49.15.412
- CBJ 49.25.300
- CBJ 49.25.400
- CBJ 49.35.210
- CBJ 49.35.260
- CBJ 49.35.262
- CBJ 49.80

GENERAL INFORMATION	
Property Owner	Bobbi Epperly & James Pietan
Applicant	Bobbi Epperly & James Pietan
Property Address	10440 & 10460 Glacier Highway
Legal Description	USS3260 Lot 5 & 6
Parcel Number	4B2201020060 & 4B2201020070
Zoning	D10
Lot Size	85,987sf/1.97ac – 88,557sf/2.03ac
Water/Sewer	Yes/Yes
Access	Glacier Highway
Existing Land Use	Residential
Associated Applications	N/A

The Director shall decide on the case per CBJ 49.15.400(a) - Purpose and applicability. *The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.*

And per CBJ 49.15.401(a) - A minor subdivision permit is required for subdivisions resulting in 13 or fewer

SITE FEATURES AND ZONING



SURROUNDING ZONING AND LAND USES

North (D10SF)	Undeveloped
South (D10)	Storage
East (D10)	Residential/Barn
West (D10)	Church

SITE FEATURES

Anadromous	N/A
Flood Zone	N/A
Hazard	N/A
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	N/A

BACKGROUND INFORMATION

Project Description – To move forward with a Conditional Use Permit (USE22-12) for a commercial garden nursery, the existing encroachment situation (structure built across a lot line) must be corrected. Applicant is seeking a lot line adjustment between Lots 5 & 6. The lot line adjustment would correct the existing encroachment issue.

As the lot line is adjusted, the applicant would like to abandon an existing shared access easement and create a new driveway access easement so that both properties continue to be accessible. The new driveway easement would straddle the lot line between the two properties, using the property line as the centerline of the easement. The shape of the adjusted lot line is the result of a DOT&PF driveway apron that has remained undeveloped past the right of way line.



Background -

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
U.S. Survey No. 3260 Alaska	1954 recorded plat of Swampy Acres.

2007 Land Use Code Update	Letter addressing concerns over discovering the transition zone from D1 to D10. Letter attests that the transition zone has been in effect since 1987. Once the City extended the sewer service, in conjunction with the Local Improvement District (LID), would effectively change the Zoning from D1 to D10.
Planning Commission Notice of Decision	2012 official Re-zone of area recently connected to City Water and Sewer along Glacier Highway.

ANALYSIS

Dimensional Standards – The proposed lots as shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400. The CBJ 49.25.400 Dimensional Standards are listed below.

Standard		Requirement	Proposed Lot 5	Proposed Lot 6
MINIMUMS	Lot Size	6,000 sq. ft.	63,762.68 sq. ft.	109,666.13 sq. ft.
	Lot Width	50 ft.	215.55ft.	118.22ft.
	Setbacks	Front	20ft.	20ft.
		Rear	20ft.	20ft.
		Side	5ft.	5ft.
		Side	5ft.	5ft.
		Street Side	13ft.	13ft.

Density – The table below demonstrates how many dwelling units each lot can accommodate after the proposed subdivision has been completed.

Lot Number	Square Feet/Acre	Maximum Number of Dwelling Units
Lot 5	63,762.68 / 1.46	10 units per acre X 1.46ac = 14.6 = 15
Lot 6	109,666.13 / 2.52	10 units per acre X 2.52 = 25.2 = 26

Wetlands – N/A

Hazards – N/A

Habitat – N/A

PUBLIC AND PRIVATE IMPROVEMENTS

Item	Summary	Plat Note/Conditions
CBJ 49.35.210 Street Improvement Standards	N/A	
CBJ 49.35.210(i)(4)	N/A	

Item	Summary	Plat Note/Conditions
Roadway Construction Standards Waivers		
CB 49.35.310 Water Improvements	N/A	
CBJ 49.35.410 Sewer Improvements	N/A	
CBJ 49.35.510 Drainage	N/A	
CBJ 49.35.610 Non-motorized Access	N/A	

Traffic – According to CBJ 49.40.300(2) a traffic impact analysis IS NOT required.

Use	Total Units on Property(s)	Trips Generated	Total ADT's
Single Family Detached	2	9.52/dwelling	19.04

Access – Per CBJ 49.35.250(a) staff has determined that the primary access to the subdivision is Glacier Highway. The applicant has demonstrated that each lot will have direct and practical access to a public right-of-way through the frontage of the lot, as required by CBJ 49.35.250(b).

Lot Number	Primary access
Lot 5	Glacier Highway
Lot 6	Glacier Highway

Arterial Streets – According to the Roadway Classification Map, Glacier Highway, is classified as an arterial. The below table lists requirements for subdivisions along arterial streets.

Standard	Requirement	Met?	Plat Notes/Conditions
CBJ 49.35.210(b)(1)(2) Access Restricted	No lot created through the subdivision shall have direct access onto an arterial street. A separate access street or frontage road is required.	<input type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	N/A - No new lots are being created as the result of the lot line adjustment. Both properties have direct access to Glacier Highway. (2) Lots will be sharing a single driveway access.

Standard	Requirement	Met?	Plat Notes/Conditions
CBJ 49.35.210(b)(3) Access Exception – Parcels with less than 500 feet of frontage or 350 feet in depth	<ul style="list-style-type: none"> • All resulting lots meet or exceed 36,000 sq. ft. • All lots share a common access point; an easement is provided. • The applicant has submitted a plan demonstrating parking standards can be met – no back-out parking is allowed. • A signed maintenance agreement has been provided. 	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	<ul style="list-style-type: none"> • The lots will share an existing DOT driveway apron.

AGENCY REVIEW

CDD conducted an agency review comment period between: November 4, 2022 – November 18, 2022.

Agency	Summary
Capitol City Fire and Rescue	N/A
General Engineering	N/A
Planning	N/A
Cartography	N/A

PUBLIC COMMENTS

CDD conducted a public comment period between: December 1, 2022 – December 15, 2022. Public notice was mailed to neighbors directly abutting property. No comments were received.

PRELIMINARY PLAT FINDINGS

Per CBJ 49.15.401(f) the Director makes the following findings on the proposed development:

1. Does the final plat meet the criteria set forth in CBJ 49.15.411 and CBJ 49.35?

Finding: Yes. The final plat meets the requirements of CBJ 49.15.412 and CBJ 49.35.250.

2. Has the applicant complied with any conditions or plat notes required by the director in the notice of decision approving the preliminary plat?

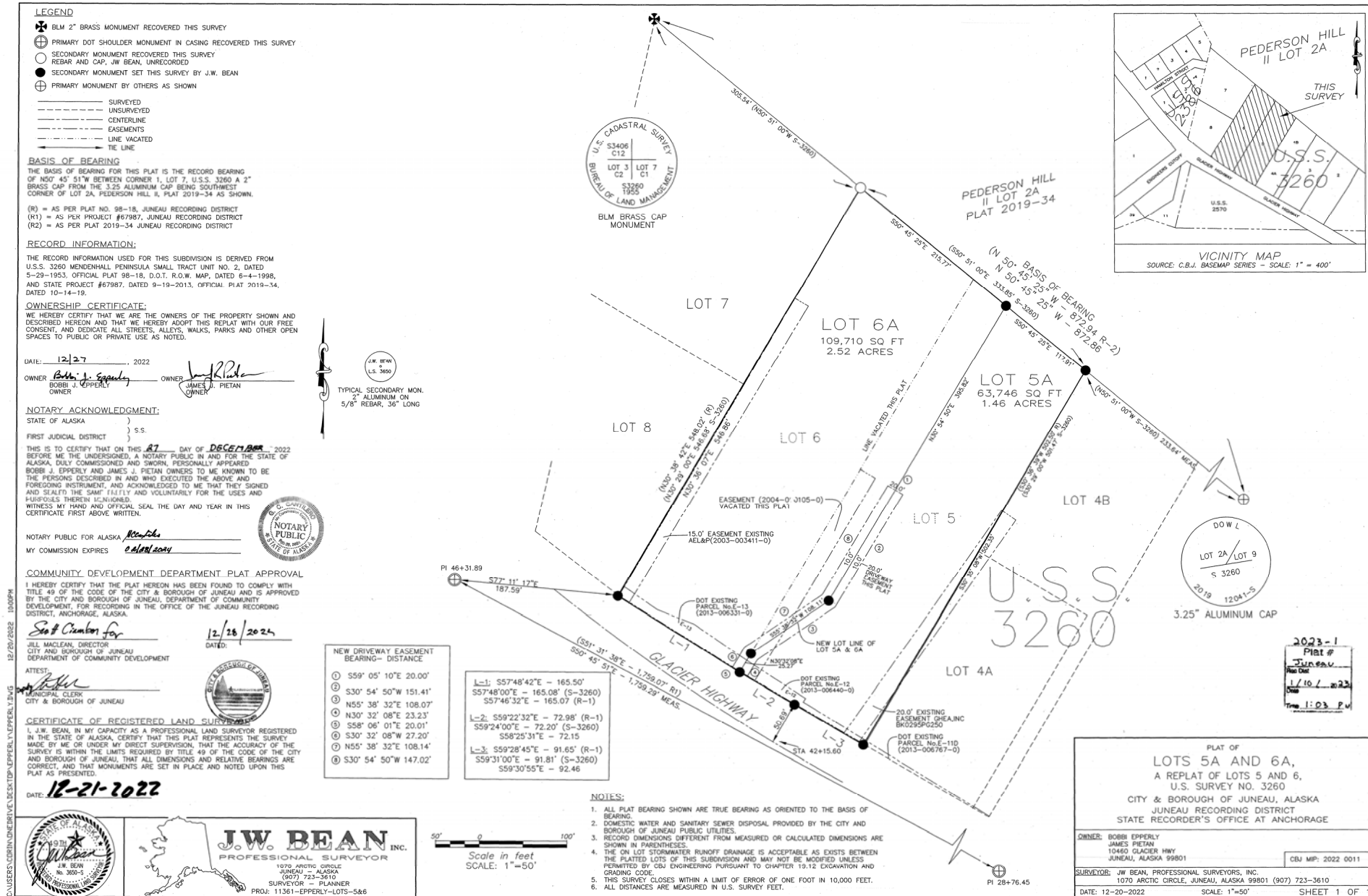
Finding: Yes. No conditions or plat notes have been added/required.

3. Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010

Finding: No. No improvements required.

RECOMMENDATION

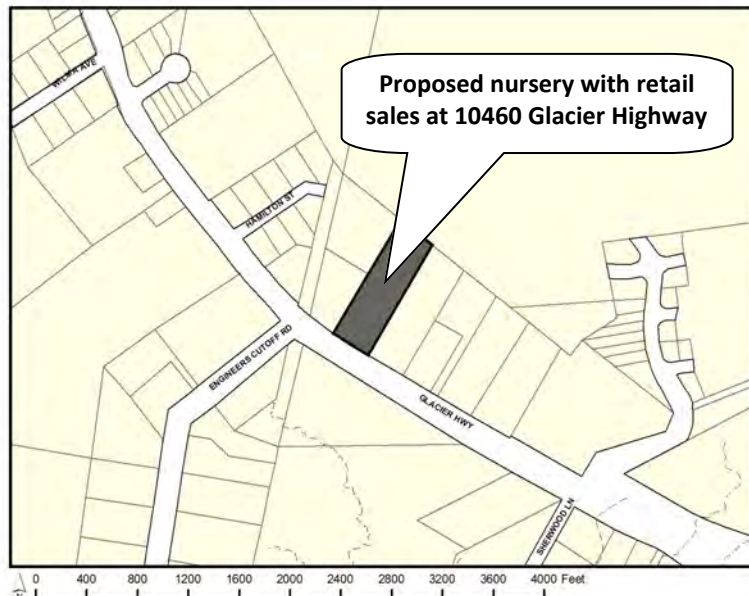
Staff recommends the Director APPROVE the requested Final Plat permit. The permit would allow both properties to have driveway access to Glacier Highway, and correct the encroachment issue that currently exists on the property.



Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



COMMUNITY DEVELOPMENT

155 S. Seward Street Juneau, Alaska 99801

TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a **Conditional Use Permit for a flower and vegetable nursery with retail sales at 10460 Glacier Highway** in a **D10 zone**.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **September 6, 2022**, at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes and more here as well.

Now through Aug. 22

Comments received during this period will be sent to the Planner, **Jennifer Shields**, to be included as an attachment in the staff report.

Aug. 23 — noon, Sept. 9

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, Sept 13, 2022

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/84149547128> and use the Webinar ID: 841 4954 7128 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

Sept. 14

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4139 ♦

Email: pc_comments@juneau.org

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Case No.: USE2022 0012

Parcel No.: 4B2201020070

CBJ Parcel Viewer: <http://epv.juneau.org>

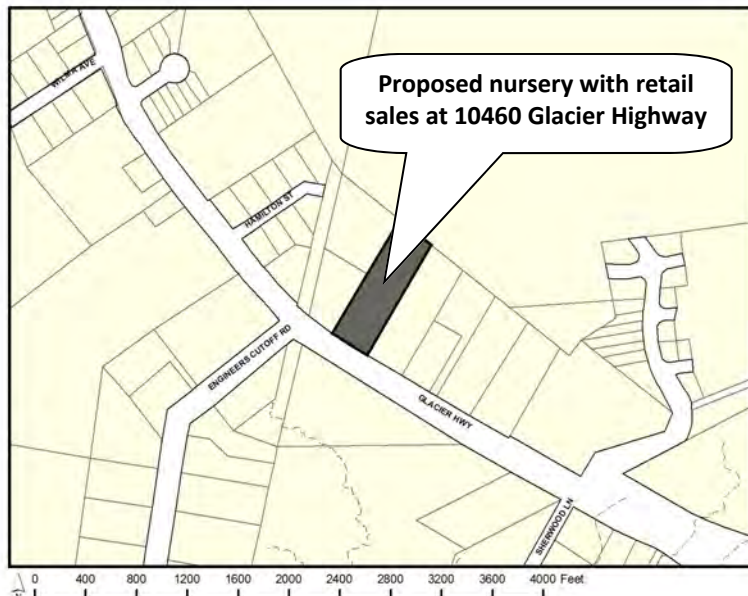
80



Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



COMMUNITY DEVELOPMENT

155 S. Seward Street Juneau, Alaska 99801

TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a **Conditional Use Permit for a flower and vegetable nursery with retail sales at 10460 Glacier Highway** in a **D10 zone**.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **February 21, 2023**, at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes and more here as well.

Now through Feb. 6

Comments received during this period will be sent to the Planner, **Jennifer Shields**, to be included as an attachment in the staff report.

Feb. 7 — noon, Feb. 24

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, Feb. 28, 2023

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/85332637622> and use the Webinar ID: 853 3263 7622 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

Mar. 1

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4139 ♦

Email: pc_comments@juneau.gov

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Case No.: USE2022 0012

Parcel No.: 4B2201020070

CBJ Parcel Viewer: <http://epv.juneau.org>

82



From: [Konnie Chitty](#)
To: [Jennifer Shields](#)
Subject: New Business
Date: Tuesday, August 2, 2022 8:06:52 AM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Good Morning Jennifer. I've heard the recent news of my neighbor wanting to start a business of vegetables and flowers... I'm all for it and of coarse all small businesses are an asset to our community. The new business will be located at 10460 Glacier Highway. With owner Bobby Epperson at the helm. its a YES from me ! Please consider a conditional use permit for this fantastic opportunity for our community to enjoy for years to come. thank-you, Konnie Chitty, 2771 Engineers Cutoff RD. Juneau

From: [Cathy Munoz](#)
To: [Jennifer Shields](#)
Subject: Pederson Hill Flower and Vegetable Farm
Date: Thursday, July 28, 2022 4:34:46 PM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hi Jennifer –

I am writing to support the conditional use permit for the Pederson Hill Flower and Vegetable Farm.

Having more local options for produce and flowers will benefit the community in multiple ways.

I am impressed with the hard work and dedication of proprietor Bobbi Epperly. She aims to bring healthy, locally grown produce to our community and I applaud her for that.

Please encourage adoption of a conditional use for this operation to allow for sustainable industries to flourish.

Sincerely, Cathy Munoz

Sent from [Mail](#) for Windows

From: [Jade Murphy](#)
To: [Jennifer Shields](#)
Subject: Pederson hill farm application
Date: Friday, July 29, 2022 9:42:24 AM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

I write in support of Pederson Hill Flower and Vegetable Farm, Ms Bobbi Epperly-Pietan's agricultural project.

I have known this property and family for nearly 40 years. I support their efforts in this regard. Juneau has precious little agricultural land, and most of the good land is under developments of one kind or another. Ms. Epperly-Pietan's project will showcase what can be done on a small piece of ground in the borough. The property is agricultural in nature, being part of a historical homestead, which should be preserved! With the growing interest in the "eat local" movement, businesses such as this should be embraced by the community.

I strongly urge the commission to support this application.

Judith L. Murphy



August 12, 2022

CBJ Planning Commission

155 S. Seward

Juneau, AK 99801

Attn: Jennifer Shields

Jennifer.shields@juneau.org

To Whom It May Concern:

I am writing a letter of support for the Pederson Hill Flower and Vegetable Farm that is seeking a conditional use permit in Juneau, Alaska. I feel that local agriculture should be supported and promoted. The pandemic and recent supply chain shortages, combined with inflation have demonstrated a greater need than ever for locally sourced and produced agricultural products. This farm will not only be able to supply the local florists but provided local produce to businesses and individuals alike.

Juneau is a difficult area for agriculture, as it has limited privately owned land suitable to development. All the agricultural properties of the past have been developed for housing and industrial uses. The property requesting permitting for this farm is ideal, as it is an established property that has been traditionally used for agricultural purposes.

If you have any questions or concerns, please feel free to contact me directly.

Sincerley,

Dr. Stefanie Fairchild



Planning Commission

(907) 586-0715

PC_Comments@juneau.org

www.juneau.org/community-development/planning-commission

155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION

NOTICE OF DECISION

Date: March 2, 2023

File No.: WCF2022 0001

Central Council of Tlingit & Haida Indian Tribes of Alaska

ATTN: Mr. Corey Padron

5750 Concrete Way

Juneau, AK 99801

Application For: A Wireless Communication Facility (WCF) Special Use Permit (SUP) for a new 62-foot, non-concealed tower in an Industrial zone.

Legal Description: JRM LT 9A

Property Address: 5750 Concrete Way

Parcel Code No.: 5B1201060171

Hearing Date: February 28, 2023

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated February 16, 2023, and APPROVED the Special Use Permit for a new 62-foot, non-concealed tower in an Industrial zone, to be conducted as described in the project description and project drawings submitted with the application and with the following conditions:

1. The tower shall display a sign no larger than four square feet with text in a sufficient font size to provide adequate notification to persons in the immediate area of the presence of an antenna that has transmission capabilities. The sign shall contain the name(s) of the owner(s) and operator(s) of the facility, an emergency phone number(s), and FCC registration number, if applicable.

Attachments: February 16, 2023 memorandum from Jennifer Shields, Community Development, to the CBJ Planning Commission regarding WCF2022 0001.

This Notice of Decision does not authorize construction activity. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030(c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, February 28, 2023.

Expiration Date: The permit will expire 18 months after the effective date, or August 28, 2024, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.



Michael LeVine, Chair
Planning Commission

March 4, 2023

Date



Filed With City Clerk

March 6, 2023

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



PLANNING COMMISSION STAFF REPORT
 SPECIAL USE PERMIT: WCF2022 0001
 HEARING DATE: FEBRUARY 28, 2023

(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

DATE: February 16, 2023
TO: Michael LeVine, Chair, Planning Commission
BY: Jennifer Shields, Planner II *Jennifer L. Shields*
THROUGH: Jill Maclean, Director, AICP

PROPOSAL: Applicant requests a Wireless Communication Facility (WCF) Special Use Permit (SUP) for a new 62-foot, non-concealed tower in an Industrial zone.

STAFF RECOMMENDATION: Approval with conditions

KEY CONSIDERATIONS FOR REVIEW:

- The tower will be located next to the Tribal Emergency Operations Center for the CCTHITA.
- The tower will improve communications between Southeast Alaskan Tribal communities and emergency/first responders.

GENERAL INFORMATION	
Property Owner	Central Council of Tlingit and Haida Indian Tribes of Alaska (CCTHITA)
Applicant	Corey Padron, CCTHITA
Property Address	5750 Concrete Way
Legal Description	JRM LT 9A
Parcel Number	5B1201060171
Zoning	Industrial (and D15, Lemon Creek)
Land Use Designation	HI (Heavy Industrial)
Lot Size	27,550 square feet
Water/Sewer	Public water and public sewer
Access	Concrete Way
Existing Land Use	Tribal Emergency Operations Center
Associated Applications	BLD21-526 (Tower Foundation)

ALTERNATIVE ACTIONS:

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

ASSEMBLY ACTION REQUIRED:

Assembly action is not required for this permit.

STANDARD OF REVIEW:

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
 - CBJ 49.65 Article IX
 - CBJ 49.80

The Commission shall hear and decide the case per CBJ 49.65.970(a) - As of the effective date of this article, no person shall be permitted to site, place, build, construct, modify, or prepare any site for the placement or use of WCF, except for those WCF identified in section CBJ 49.65.940, Table 1, without having first obtained a special use permit. All applicants for a special use permit and any modification of such facility shall comply with the requirements set forth in this section.

CBJ 49.65.900 – Wireless Communication Facilities Special Use Permit Purpose. *It is the purpose of this article to establish reasonable regulations for the placement, construction and modification of wireless communication facilities (WCF) consistent with the Telecommunications Act of 1996 and applicable law and:*

- (a) Promote the health, safety, and general welfare of the public and the City and Borough;*
- (b) Minimize the impacts of WCFs by establishing standards for siting, design and screening and by requiring consistency with the City and Borough's wireless telecommunications master plan;*
- (c) Encourage the collocation of antennas on existing structures thereby minimizing new visual impacts and reducing the need for new towers;*
- (d) Maintain the natural surroundings and character of the City and Borough;*
- (e) Preserve neighborhood harmony and scenic viewsheds and corridors as indicated in the Comprehensive Plan of the City and Borough of Juneau;*
- (f) Accommodate the growing need and demand for wireless communications services;*
- (g) Respond to the policies embodied in the Telecommunications Act of 1996 in such a manner as not to unreasonably discriminate between providers of functionally equivalent personal wireless services or to prohibit or have the effect of prohibiting personal wireless services; and*
- (h) Respond to the policies embodied in Section 6409(a) of the Spectrum Act (P.L. 112-96).*

SITE FEATURES AND ZONING



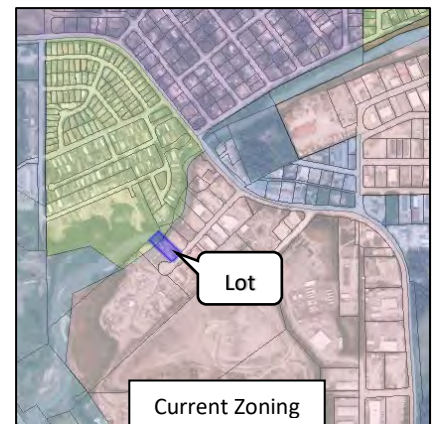
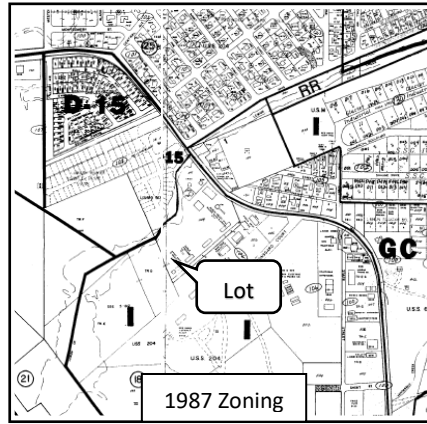
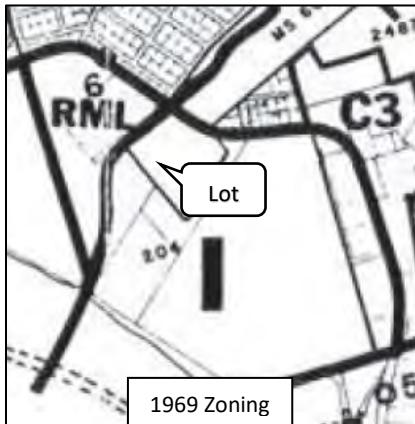
SURROUNDING ZONING AND LAND USES

North (D15)	Lemon Creek
South (Industrial)	Industrial
East (Industrial)	Industrial
West (Industrial)	Industrial

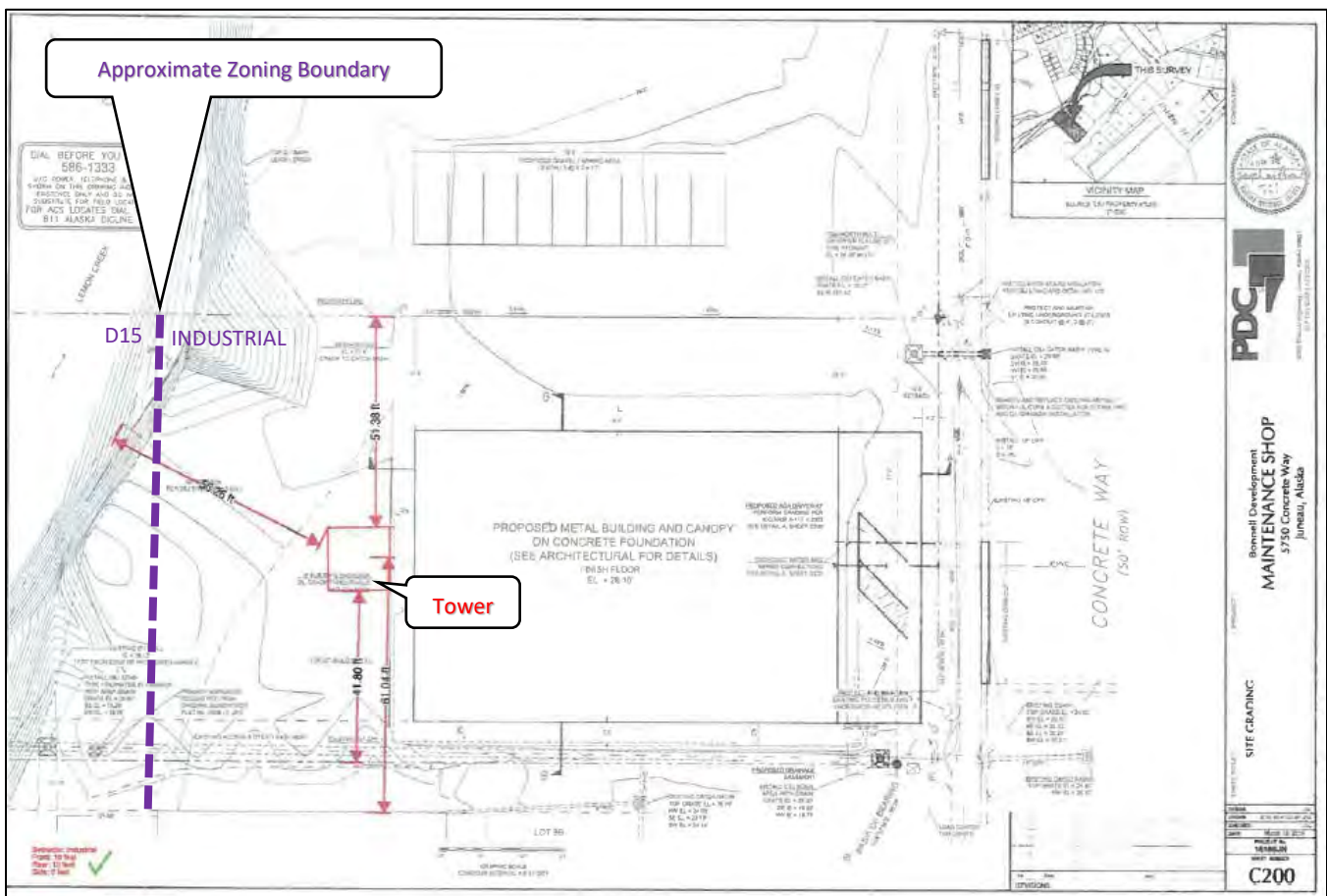
SITE FEATURES

Anadromous	Yes
Flood Zone	Yes
Hazard	No
Hillside	No
Wetlands	No
Parking District	No
Historic District	No
Overlay Districts	No

The current zoning map for the lot shows two zoning classifications: I (Industrial) on the majority of the lot where previous development has occurred and where the new tower is proposed; and D15 (Multi-Family Residential) on a fraction of the lot that borders Lemon Creek. It is likely that this split zoning is a result of an oversimplification of zoning boundaries over the years in relation to Lemon Creek's meandering channel, as illustrated by the historical zoning maps below.



SITE PLAN



BACKGROUND INFORMATION

Project Description – The applicant is proposing a new 62-foot, non-concealed Trylon KDSS radio communications tower at the CCTHITA Tribal Emergency Operations Center (TEOC, Attachment A).

Background – The tower project was originally funded by the Centers for Disease Control and Prevention (CDC) as a result of COVID-19 and the need to establish effective communications between Southeast Alaskan Tribal communities. The project has since been expanded to develop and improve emergency communications between Tribal villages, Tribal associations, and emergency/first response providers.

Specifically, the radio communication system will connect remote communities through the monitoring of established frequencies and by creating new communication links to allow real time communications with the Village Public Safety Officer Program (VPSO) in Tribal communities. The system will use a low wattage mobile radio communication system of 60 watts or less, and will be monitored by the U.S. Coast Guard (USCG) through their command center. According to the applicant, the project has been identified as a high priority by the USCG, VPSO, and Tribal communities.

In 2021, a Certificate of Occupancy was issued for a two-story structure on the lot (BLD17-578, Attachment F). Later that year, a building permit was issued to pour a “foundation only” for the tower (BLD21-526, Attachment A).

The table below summarizes relevant history for the subject parcel and proposed development.

Year	Item	Summary
2005	Plat	JRM Subdivision Plat No. 05-28 created the original Lot 9 (Attachment B).
2009	Plat	Plat No. 09-09 modified the lot and current created Lot 9A (Attachment C).
2017	Building Permit	BLD17-578 to construct a maintenance shop building (Attachment D).
2019	As-Built Survey	Survey showing the structure and setbacks from Lemon Creek (Attachment E).
2021	Certificate of Occupancy	Issued for the two-story structure (Attachment F).
2021	Pre-Application Conference	PAC21-30 held to review tower requirements (Attachment A).
2021	Building Permit	BLD21-526 Foundation only permit for the tower (Attachment A).

ANALYSIS

Project Site – The project site is located on a 27,550 square foot lot in the Lemon Creek industrial area, a developed area of metal buildings with industrial, storage, and commercial uses. The area has the typical aesthetics and characteristics of a working industrial neighborhood in terms of noise, dust, and associated visual impacts. The surrounding flat terrain of the area supports the operation of low wattage radio communications.

Three taller WCF's are visible in the area:

- One approximately 500 feet away at 5751 Concrete Way (JLS Properties, Inc.);
- One approximately 900 feet away at 5594 Tongard Court (Hildre); and
- One 1,600 feet away at 5541 Glacier Highway (Juneau and Douglas Telephone Company).

Condition: None.

Project Design – The proposed tower will be constructed on the back side of an existing metal building and will provide the infrastructure needed for low wattage radio antennas. It will have a self-supporting, triangular, lattice design constructed of galvanized steel, allowing it to be less visible on the skyline or when viewed from afar. The gray color of the weatherized steel will blend into the typical gray skies of Juneau.

An FAA Determination has specified that no tower lighting is required. No equipment shelters or cabinets associated with the tower are proposed. Other features of the tower and project design include the following (Attachment A):

Antennas and Cables: The tower has been designed to support a minimum of six antenna arrays as described on Trylon Drawing 170483.319.0301 (Attachment A). Some of the antennas will be flush mounted, and others will need to have stand-off brackets to isolate them from the tower structure. Utilities will not be connected to the tower, so the coaxial cables will be bundled and attached to one leg.

Security: There will be a lock cage on the ladder and an anti-climb shield will be attached at the base of the tower. In addition, there will be video surveillance and controlled access for authorized personnel only. The transmitting equipment will be installed inside the TEOC in a secured location.

Setbacks: The tower will have a breakpoint designed at 40 feet of elevation. CBJ 49.65.930(f)(2) requires a tower with breakpoints to have a minimum setback distance of 110 percent of the distance from the top of the structure to the breakpoint level of the structure, or the minimum yard setback requirements, whichever is greater. The height of the tower is 62 feet, with a breakpoint of 40 feet (i.e. 22 feet from the top of the tower). Therefore, the minimum setback required is 24.2 feet from the nearest property line. The proposed tower location is 41.80 feet from the nearest property line.

Structural Assessment: The tower has been designed, manufactured and supplied in accordance with the ANSI/TIA 222-H standard for Juneau, Alaska. This is the national standard for antennas and the supporting structures for antennas published by the Telecommunications Industry Association (TIA). An Alaska-licensed engineer conducted the structural assessment of the proposed tower and existing foundation.

Visual Impact Assessment: From the south, the existing two-story structure on the lot will obscure the tower's bottom half along Concrete Way, with only the upper portion of the tower seen above the roof line. From the north, trees and vegetation along Lemon Creek will block most of the tower view from residential areas in that direction. From the west, vegetation along Lemon Creek and the side of the landfill will block most views of the

tower from Egan Drive. From the east, industrial buildings and vegetation will block any view of the tower from beyond Glacier Highway. The applicant has submitted a zone of visibility map, “before” photos and “after” simulated renderings, and photos of the balloon test conducted in September 2022. Based upon these submittals, the tower will have minimal visual impact (Attachment A).

Condition:

1. **The tower shall contain a sign no larger than four square feet with text in a sufficient font size to provide adequate notification to persons in the immediate area of the presence of an antenna that has transmission capabilities. The sign shall contain the name(s) of the owner(s) and operator(s) of the facility, an emergency phone number(s), and FCC registration number, if applicable.**

Traffic – Staff does not anticipate the proposed use to add traffic to the existing site, excluding the limited traffic during construction and periodic maintenance.

Condition: None.

Parking and Circulation – The site has space for parking and is accessed from Concrete Way. Title 49 does not set parking requirements for WCF’s.

Condition: None.

Vegetative Cover and Landscaping – Industrial zoning requires five percent vegetative cover; the site has approximately 15% vegetative cover in the back of the lot along Lemon Creek. Native trees up to 75 feet tall are located along both streambanks, blocking most of the tower view from residential areas in that direction.



Condition: None.

Habitat – Lemon Creek is an anadromous stream included in the 2013 Comprehensive Plan, Appendix B. CBJ 49.70. 310 prohibits development within 50 feet of the ordinary high water mark of anadromous streams and prohibits disturbance within 25 feet. The proposed tower site is located outside of both of these stream setbacks and will not impact vegetation within the protected areas.

Condition: None.

Drainage – Drainage will be considered in the building permit review process.

Condition: None.

Hazard Zones – The proposed tower is not within a mapped hazard zone, and is on flat terrain. The northeast corner of the lot is within a Special Flood Hazard Area (SFHA) Zone AE and includes the Lemon Creek floodway. The proposed tower site is located outside of the SFHA.

Condition: None.

Public Health or Safety – The new tower will improve emergency communications between Tribal villages, Tribal associations, and emergency/first response providers by improving and creating communication links with the Village Public Safety Officer Program (VPSO) and Tribal communities. The system will be monitored by the U.S. Coast Guard (USCG) through their command center, and has been identified as a high priority by the USCG, VPSO, and Tribal communities.

Radio Frequency Safety: The WCF complies with the Telecommunications Act of 1996, and enforcement is the purview of the FCC. In 2019, the FCC reviewed exposure standards in light of 5G technology. The FCC determined no changes to standards were warranted (FCC press release, “*Chairman Pai Proposes to Maintain Current Radiofrequency Exposure Safety Standards*,” August 8, 2019). The applicant has provided a Radio Frequency Emissions Compliance Report signed by a qualified professional, whose credentials are included in Attachment A.

Infrastructure Safety Features: CBJ 49.65.930(b) requires that towers and support structures be reasonably shielded from unauthorized access, with access for only those who service them. There will be a lock cage on the ladder and an anti-climb shield will be attached at the base of the tower. In addition, there will be video surveillance and controlled access for authorized personnel only. The transmitting equipment will be installed inside the TEOC in a secured location.

Condition: None.

Property Value or Neighborhood Harmony – The proposed tower will not generate noise, traffic, or visual impact that is inconsistent with existing towers or neighboring residential uses.

Condition: None.

SPECIFIED USE REVIEW - CBJ 49.65 ARTICLE IX – WIRELESS COMMUNICATION FACILITIES

Tower Location –

Topic and Code Reference	Summary	Complies	Recommended Condition
CBJ 49.65.920 and CBJ 49.65.960(b) Location preference for new WCFs	The location was picked for the following reasons: 1) The tower will be in close proximity to the Tribal Emergency Operations Center and transmitting equipment located in the center; 2) The site is in an Industrial zoned area with road access and existing power cable connections; 2) Visibility of the tower will be limited; and 4) The CCTHITA owns the property and therefore makes the site economically viable.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.920(b)	The applicant has provided analysis as to why they cannot	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Topic and Code Reference	Summary	Complies	Recommended Condition
Collocation on existing WCF	collocate on existing facilities, including that the tower will be in close proximity to the Tribal Emergency Operations Center and transmitting equipment located in the center, and that CCTHITA owns the property and therefore makes the site economically viable.	<input type="checkbox"/> N/A	
CBJ 49.65.930(g) and CBJ 49.65.970(f)(3)(C) Natural Areas & View sheds	No natural areas or viewsheds, as defined in the 2013 Comprehensive plan, are impacted.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(f)(3)(A) State or local wildlife refuges	The tower is not proposed on a state or local wildlife refuge.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
CBJ 49.65.970(f)(3)(B) Public parks	The tower is not proposed in a public park.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
CBJ 49.65.970(f)(3)(D) Mendenhall Glacier	The proposed tower will not impact the view of the Mendenhall Glacier from the North Douglas boat launch nor the False Outer Point.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Wireless Communication Facility Design Criteria –

Topic and Code Reference	Summary	Complies	Recommended Condition
CBJ 49.65.930(a) Concealed and non-concealed antenna	The tower will not have concealed antennas due to the existing visual screening and industrial nature of the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(b) Site security	There will be a lock cage on the ladder and an anti-climb shield will be attached at the base of the tower. In addition, there will be video surveillance and controlled access for authorized personnel only. The	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Topic and Code Reference	Summary	Complies	Recommended Condition
	transmitting equipment will be installed inside the TEOC in a secured location.		
CBJ 49.65.930(c) Signage	Appropriate and required signage will be required to be installed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	1. The tower shall display a sign no larger than four square feet with text in a sufficient font size to provide adequate notification to persons in the immediate area of the presence of an antenna that has transmission capabilities. The sign shall contain the name(s) of the owner(s) and operator(s) of the facility, an emergency phone number(s), and FCC registration number, if applicable.
CBJ 49.65.930(d) and CBJ 49.65.970(c)(2)(B)(vi) Lighting	An FAA Determination has specified that no tower lighting is required.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(e)(1) and CBJ 49.65.960(n) Antenna arrays required	The tower will be 62 feet in height and will accommodate six antenna arrays.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(e)(2) Utilities	Utilities are provided to the site, with no additional utilities required.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(e)(3) WCF designed to blend with surrounding features	The tower will be located in an industrial zoning district, will be gray in color to blend into the surrounding features, and will have natural vegetative screening obscuring the facility.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(e)(4) Guy Wires Prohibited	Guy wires are not proposed.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(f) Setbacks	The height of the tower is 62 feet, with a breakpoint of 40 feet (i.e. 22 feet from the top of the tower). The minimum setback required is 24.2 feet from the nearest property line. The proposed tower location is 41.80 feet	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Topic and Code Reference	Summary	Complies	Recommended Condition
	from the nearest property line.		
CBJ 49.65.930(h) Compliance with the Master Plan	As discussed below, with recommended conditions, the proposed WCF is in general conformity with the Wireless Telecommunications Master Plan.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(i) Visibility	As previously discussed and illustrated with the balloon test, the proposed tower location will have minimal visual impact.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.930(j) and CBJ 49.65.960(r) Structural Assessment	Application packet, pages 37-81.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Special Use Permit Submittal Requirements –

Topic and Code Reference	Summary	Complies	Recommended Condition
CBJ 49.65.960(c) and CBJ 49.65.970(c)(2)(A) Design Criteria Narrative	Application packet, pages 93-97.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.960(d) Statement of Compliance with FCC Standards	Application packet, pages 23-30.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.960(p) Certification of Compliance with all Applicable Laws	Application packet, page 31.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.960(q) Statement of limits on collocation	N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	

CBJ 49.65.960(s) Certification of construction standards	Application packet, page 31.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.960(t) Compliance with FAA Regulations	Application packet, pages 32-36.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(C) Minimum Height Required	Application packet, pages 93-97.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(E) Propagation Study	Application packet, pages 124-125.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Visual Impact Assessment –

Topic and Code Reference	Summary	Complies	Recommended Condition
CBJ 49.65.970(c)(2)(B)(i) Zone of Visibility Map	Application packet, pages 99-104.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(B)(ii) Siting for Lease Adverse Impact	Application packet, pages 99-104.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(B)(iii) Before and after depiction of site	Application packet, pages 99-104. The site has effective view screening as demonstrated by the balloon test analysis.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(B)(iv) Visual Impact of Base	Application packet, pages 99-104.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(B)(v) Screening of Base	Application packet, pages 99-104. The existing two-story structure will screen the base.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
CBJ 49.65.970(c)(2)(D) Balloon Test	Application packet, pages 105-123.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

AGENCY REVIEW

CDD conducted an agency review comment period between January 18, 2023 and February 10, 2023. Agency review comments can be found in Attachment G.

Agency	Summary
U.S. Coast Guard	"Our Spectrum Manager took a look, and there shouldn't be any issues with this moving forward as there seems to be enough separation of the signals, and they won't be using the same frequencies that we use. If any issues arise in the future, we would be able to work with them to de-conflict."
Juneau International Airport	No comments.
Building Department	No comments.
Capital City Fire and Rescue	No comments.
General Engineering	No comments.
Police Department	No comments.

PUBLIC COMMENTS

CDD conducted a public comment period between January 20, 2023 and February 24, 2023. Public notice was mailed to property owners within 1,500 feet of the subject parcel (Attachment H). Two public notice signs were posted on-site, and one public notice sign was posted near the intersection of Concrete Way and Glacier Highway, two weeks prior to the scheduled hearing (Attachment I). No public comments have been received as of the date of this staff report.

CONFORMITY WITH ADOPTED PLANS

The proposed development is in general conformity with the 2013 Comprehensive Plan and the 2014 Wireless Telecommunications Master Plan.

PLAN	Chapter	Page No.	Item	Summary
2013 Comprehensive Plan	11	149	Land Use Designation	Complies with the Heavy Industrial land use designation of the Comprehensive Plan Land Use Maps.
	12	208-209	12.11	<i>To plan for and to establish land use controls on wireless communications facilities in a manner that is appropriate for the community and within the parameters established by federal law.</i>
2014 Wireless Telecommunications Master Plan		6	Policy 1	<i>To ensure the protection of the health and safety of the public with the development of wireless communication facilities.</i>
		6	Policy 2	<i>To protect aviation safety by coordinating with the Federal Aviation Administration (FAA) with the development of wireless communication facilities.</i>
		7	Policy 3	<i>To protect the natural environment with the development of wireless communication facilities.</i>

PLAN	Chapter	Page No.	Item	Summary
		7	Policy 4	<i>To protect the public interest and neighborhood harmony with wireless communication facilities.</i>
		8	Policy 5	<i>Promote land use efficiently with the collocation of wireless communication facilities to existing structures.</i>
		8	Policy 6	<i>To preserve the scenic viewsheds and corridors listed in the 2013 Comprehensive Plan with the development of wireless communication facilities.</i>

FINDINGS

Wireless Communication Facility Special Use Permit Approval Criteria – CBJ 49.65.970(f), Planning Commission Determination, states that the Planning Commission is authorized to review, analyze, evaluate and make decisions with respect to reviewing special use permits for WCFs. Per CBJ 49.65.970(d) and (f), Review of Director's and Commission's Determinations, the Director makes the following findings on the proposed development:

1. Is the application for the requested special use permit complete?

Analysis: No additional analysis required.

Finding: Yes. The application contains the information necessary to conduct full review of the proposed operations. The application submittal by the applicant, including the appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.65.900.

2. Was Public Notice of the Planning Commission consideration in compliance with CBJ 49.65.970(e)?

Analysis: Notice of the proposed Wireless Communication facility was provided in the Juneau Empire 10 days prior to the scheduled hearing; three (3) public notice signs were posted two (2) weeks prior to the scheduled hearing; and postcards were mailed to property owners within 1,500 feet of the proposed Wireless Communication Facility and to neighborhood associations listed with the Municipal Clerk.

Finding: Yes. Public notice of the proposed Wireless Communication Facility was provided in accordance with CBJ 49.65.970(e).

3. Is the proposed project consistent with safety and safety-related codes and requirements?

Analysis: No additional analysis required.

Finding: Yes. The proposed Wireless Communication Facility does comply with safety and safety-related codes and requirements.

4. Is the proposed use appropriate according to the purpose of the zoning district, and other specific zoning,

overlay, or land use designation?

Analysis: No additional analysis required.

Finding: Yes. The proposed development is appropriate according to the Table of Permissible Uses and the Comprehensive Plan Land Use Designation.

5. Is another approved WCF or WCF application that is available to the applicant present within the geographic search area?

Analysis: No additional analysis required.

Finding: No. The applicant has demonstrated that another WCF is not available in the geographic area.

6. Is the proposed site on, or eligible to be on, the National Register of Historic Places?

Analysis: No additional analysis required.

Findings: No. The proposed site is not on, or eligible to be on, the National Register of Historic Places.

7. Is the proposed site in an area commonly valued by the community as a whole for its natural or scenic properties?

Analysis: No additional analysis required.

Findings: No. The area is not valued by the community for natural or scenic properties. Additionally, the proposed site is not listed in the 2013 Comprehensive Plan as a scenic corridor.

8. For a proposed freestanding tower, did the applicant demonstrate that no existing structure or tower can accommodate the applicant's proposed use without increasing the height of the existing tower or structure or otherwise creating a greater visual impact; or that use of such existing facilities is technically infeasible or commercially impracticable?

Analysis: No additional analysis required.

Findings: Yes. The applicant has demonstrated that no existing tower can accommodate the applicants proposed use.

9. Will the proposed development be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans?

Analysis: No additional analysis required.

Findings: Yes. The proposed WCF, with recommended conditions, will be sited and constructed in general conformity with the 2013 Comprehensive Plan and the 2014 Wireless Telecommunications Master Plan.

10. Is the proposed development located on State or local wildlife refuges?

Analysis: No additional analysis required.

Findings: No. The proposed WCF is not located on State or local wildlife refuges.

11. Is the proposed development in any area designated as a public park, unless screened so as to minimize visual and noise impacts, and as long as public use will not be disrupted?

Analysis: No additional analysis required.

Findings: No. The proposed WCF is not located in an area designated as a public park.

12. Is the development in any area designated as a scenic corridor/viewshed identified in the Comprehensive Plan of the City and Borough of Juneau?

Analysis: No additional analysis required.

Findings: No. The proposed WCF is not in in any area designated as a scenic corridor/viewshed identified in the Comprehensive Plan of the City and Borough of Juneau

13. Is the development in any area that fully or partially obstructs the view of the Mendenhall Glacier from the waterfront roadway from the North Douglas boat launch facility to False Outer Point?

Analysis: No additional analysis required.

Findings: No. The proposed WCF will not obstruct views of the Mendenhall Glacier.

RECOMMENDATION

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Wireless Communication Facility Special Use Permit. The permit would allow the development of a new 62-foot, non-concealed tower in an Industrial zone.

The approval is subject to the following conditions:

1. The tower shall display a sign no larger than four square feet with text in a sufficient font size to provide adequate notification to persons in the immediate area of the presence of an antenna that has transmission capabilities. The sign shall contain the name(s) of the owner(s) and operator(s) of the facility, an emergency phone number(s), and FCC registration number, if applicable.

STAFF REPORT ATTACHMENTS

Item	Description
Attachment A	Application Packet
Attachment B	2005 JRM Subdivision Plat No. 05-28
Attachment C	2009 Plat No. 09-09
Attachment D	2017 BLD17-578
Attachment E	2019 As-Built Survey

Item	Description
Attachment F	2021 Certificate of Occupancy
Attachment G	Agency Comments
Attachment H	Abutters Notice
Attachment I	Public Notice Sign Photos



CBJ Permits Center

• 230 S. Franklin Street • (907) 586-0770

This checklist is required to complete an application for a Wireless Communication Facility (WCF) permit. Page numbers for each item are required. There are two types of WCF permits:

- A. WCF qualifies as Eligible Facility Request per 49.65.950(a) (**Streamlined Departmental Review**)
 - a. Submit items 1-13
- B. WCF requires Special Use permit (**Planning Commission Review**)
 - a. Submit items 1-19

Item No.	Required Item	Code Reference	Page Number (required)
APPLICATIONS	1. Completed Building Permit Application *FOUNDATION ONLY*		5-13
	2. Completed WCF Application		16-21
	3. Completed Development Permit Application including site address and CBJ Parcel Identification Number		14-15
	4. Fees (contact the Permit Center to determine amount)	49.85.100(18)	16
CERTIFICATIONS	5. A statement certifying that radio frequency emissions from the antenna array(s), both individually and cumulatively, will comply with FCC standards signed by a qualified person and accompanied with a statement of that person's professional qualifications	49.65.960(d)	23-30
	6. Certification that proposal complies with applicable laws pertaining to service offered	49.65.960(p)	31
	7. The following documents from a licensed Alaska Professional Engineer: <ul style="list-style-type: none"> Signed and stamped letter indicating the proposed WCF will be constructed, repaired, modified or restored in compliance with all current applicable technical, safety, and safety-related laws of the CBJ, State of Alaska, and Federal government Signed and stamped letter indicating the proposed WCF is in compliance with industry practices of the National Association of Tower Erectors 	49.65.960(s)	31

Item No.	Required Item	Code Reference	Page Number (required)
CERTIFICATIONS	8. Letter indicating compliance with FAA regulations in 14 CFR Part 77 (if applicable)	49.65.960(t)	32-36
	9. Disclosure of any agreements which limit and/or preclude the proposed WCF from being shared with new WCFs	49.65.960(q)	N/A
	10. Signed and stamped letter from a licensed Alaska Professional Engineer indicating the foundation and attachments meet EIA/TIA 222 G and local building code structure requirements for loads, including wind, snow, and ice (this shall also address the total number of required accommodated collocations, when applicable)	49.65.960(n) 49.65.960(r)	37-81
DESIGN	11. Site plan showing Site size and dimensions, and all existing and proposed structures, buildings, fences (their height) and landscaping	49.65.960(i), (k), (l), and (m)	83-85
	12. Proposed WCF type and design, lighting, height above grade, material, number of, color, any accessory structures, and number of collocations it can accommodate, if applicable	49.65.960(o)	86-91
	13. Location of any dwelling(s) within distance of tower equal to the height of tower (if applicable)	49.65.960(j)	N/A
STOP HERE FOR ELIGIBLE FACILITIES REQUEST. CONTINUE FOR SPECIAL USE PERMIT.			
NARRATIVE	14. A narrative describing all of the following:		
	<ul style="list-style-type: none"> Concealed & Non-concealed antenna Security Affects to mapped view sheds WCF Master Plan compliance 	<ul style="list-style-type: none"> Signage Lighting Design Criteria Setbacks Structural Assessment 	49.65.970(c)(2) (a) 49.65.930
	15. Description of how the design height is the minimum necessary for effective functioning of provider's network	49.65.970(c)(2) (C)	93-97
	16. For lighted towers: <ul style="list-style-type: none"> Description of type of light and how it complies with 49.65.930(d) (if required by FAA, the minimum intensity allowed by FAA) How it will not project directly onto adjacent surrounding property (use of buffers, louvers, etc.) 	49.65.970(c)(2) (B)(iv) 49.65.930(d)	N/A

Item No.	Required Item	Code Reference	Page Number (required)
ADDITIONAL STUDIES	17. Visual Impact Study: <ul style="list-style-type: none"> • Zone of Visibility map • Analysis demonstrating how the proposed WCF will be sited to be of least adverse impact on environment and its character while meeting applicant's network objectives • Illustration showing before and after views of proposed WCF from roadways, parks, public lands, historic districts and any other location where the site is visible to many people • Description of visual impact • Narrative or drawing describing how the base of the tower and accessory structures will be screened from views 	49.65.970(c)(2) (B)	99-104
	18. Balloon Test	49.65.970(c)(2) (D)	105-123
	19. Propagation Study	49.65.970(c)(2) (E)	124-125

WCF CHECKLIST APPLICATIONS ITEMS NO. 1-4

1. Completed Building Permit Application
2. Completed WCF Application
3. Completed Development Permit Application including site address and CBJ Parcel Identification Number
4. Fees (contact the Permit Center to determine amount)



BUILDING PERMIT

Permit

Section H, Item 3.

BLD20210526

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning **586-1703** or by written or by online form or Email.

The Online Building Inspection Request Form is at: www.juneau.org/community-development/cdd-inspection-request.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

All inspections must be requested before noon the business day prior. Same day inspections must be requested by calling 586-0770.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **5750 CONCRETE WAY**

Permit Number: **BLD20210526**

Project Description: Foundation Only permit for new communications tower.

Issued Date : **08/09/2021**

Parcel No: **5B1201060171**

Parcel Information : JRM LT 9A

Setbacks:

Zone: I:

Front: 10.00 Ft. SE

Side 1: 0.00 NE

Rear: 10.00 Ft. NW

Side 2: 0.00 SW

Street Side: 10.00 Ft.

Comments:

Owner :

CENTRAL COUNCIL OF TLINGIT & HAIDA
INDIAN TRIBES OF ALASKA
9097 GLACIER HWY
JUNEAU AK 99801

Applicant :

CENTRAL COUNCIL TLINGIT AND HAIDA IN
320 W WILLOUGHBY
JUNEAU AK 99801

Fee Type

Date

Receipt

Amount
Paid

BLD- Comm Plan Review

07/29/2021

63256

\$199.84

BLD- Bldg Permit Fee

07/29/2021

63256

\$307.44

Total Fees Paid:

\$507.28

Valuation for Permit Fee Calculations:

S.F. Type

Rate

Amount

20,000.00

Total Valuation:

\$20,000.00

Project Conditions and Holds:

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

Special Inspection - Special inspection by PDC for concrete. Provide final letter of approval before final inspection.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Foundation, Forms and Reinforcing Steel

B-Building Final



June 2, 2022

Festus LaChester IV
LFM Services
8350 River Place
Juneau, Alaska, 99801

RE: Final Special Inspection Report, I1728.22001

Dear LFM Services:

This letter represents the final special inspection report for the CCTHITA Tower located on Concrete Way, Lemon Creek in Juneau, Alaska. The special inspection items covered by RESPEC were:

- / Rebar inspection for the tower foundation
- / Concrete testing and compressive strength testing
- / High-strength bolting (turn-of-the-nut method)

Three special inspection reports, dated 4/14/22, 5/5 & 5/6/22, and 5/10/22, and the concrete compressive strength test report, dated 4/15/22, have been submitted.

RESPEC concludes that the structural work completed for the Communications Tower on Concrete Way in Lemon Creek was constructed in substantial conformance to the permitted plans, by Trylon, stamped 3/24/21. Discrepancies/modifications to the original plan set are summarized below. Specifics can be found in the special inspection reports (see attached).

- / The turn-of-the-nut method was performed as specified in the AISC. However, a tension calibrator (Skidmore Wilhelm) was not utilized during the pre-installation verification.

To the best of our knowledge, all items requiring special inspection were completed in accordance with the requirements indicated in the approved design drawings.

We appreciate the opportunity to have worked on this project with you. Please call if you have any questions or comments.

Sincerely,

Janice Wells, PE
Structural
Janice.Wells@respec.com



9109 MENDENHALL MALL RD.
SUITE 4
JUNEAU, AK 99801
907 780 6080



SPECIAL INSPECTION REPORT

Project:	CCTHITA Tower Foundation						Report No.:	1			
Client:	LFM Services			Date: April 14 th , 2022,							
Owner:											
RESPEC Project No.	11728.22001			Days:	S	M	T	W	TH	F	S
RESPEC Project Inspector: Scott Allan, WAQTC #1347	Weather:	Sunny	Overcast	Showers		Rain		Snow			
Contractor: LFM Services	Temp:	0-32	32-50	50-70		70-85		85 Up			
Engineer of Record: JINSHAN WANG P.E.S.E	Wind:	Still	Moderate	High		Comments: Varies by day					
	Humidity:	Dry	Moderate	Humid							

AVERAGE FIELD FORCE:

Contractor/Subcontractor	Operator	Manual	Remarks
LFM Services	-	2	Superintendent and Laborer

APRIL 14TH 2022

Special Inspector Scott Allan arrived on site at 9:50 AM for inspection of rebar for foundation of communications tower located on Concrete Way, Lemon Creek. Approved structural plans for the foundation call for 20 #8 bar straight bar vertical and equally spaced, 64 #8 C-shaped bars both ways top and bottom, and 30 #6 L shaped bar equally spaced. For the pillars 18 #4 bar 6" on center, and 6 #4 bar 12" on center with the top 6 being 6" on center. Inspector informed superintendent on site all rebar and form inspection in accordance with the approved structural drawings. At 10:00AM first concrete truck arrived on site. A sample was taken from the second truck roughly 1/3 of the way through the load that provided the following results:

Air entrainment: 6.0%

Slump: 5"

Temperature: 60°F

A sample was taken from the 5th truck which provided the following results:

Air entrainment: 6.5%

Slump: 4.5"

Temperature 60°

A total of 50 cubic yards of concrete was poured on this date for the foundation. A vibratory stinger was used to consolidate concrete on this pour. Six (6) concrete cylinders were cast and left to cure on site for 24 hours. Break schedule set at 3/7/28 for cylinders respectively.

Inspector departed site at 11:30 AM.

Special Inspection Report
I1728.22001 LFM Services CCTHITA Tower
April 14, 2022
Page 2

PHOTOS

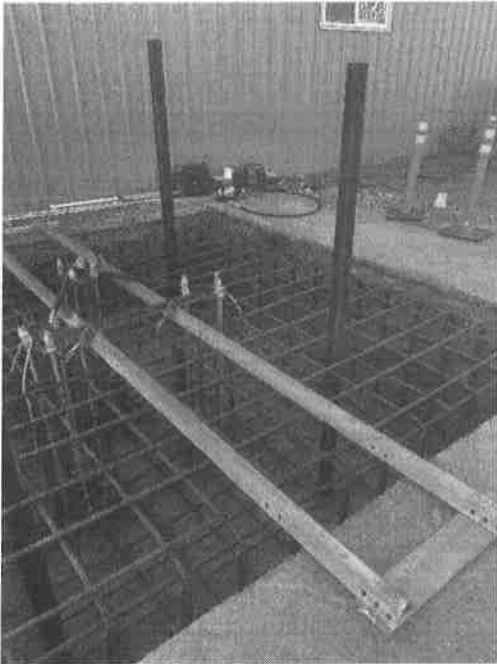


Photo 1 – (4/14/22) – Site upon arrival.

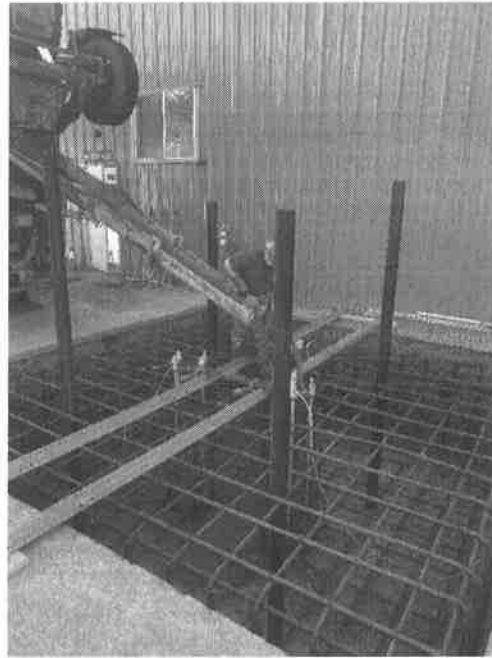


Photo 2 – (4/14/22) First truck of concrete dumping.



Photo 3 – (4/14/22) – Vibratory stinger being used to consolidate concrete.



Photo 4 – (4/14/22) – Site upon departure prior to finish work.



SPECIAL INSPECTION REPORT

Project:	CCTHITA Tower Foundation						Report No.:	2			
Client:	LFM Services			Date: May 5 th and 6 th , 2022							
Owner:											
RESPEC Project No.	I1728.22001			Days:	S	M	T	W	TH	F	S
RESPEC Project Inspector: Scott Allan, WAQTC #1347	Weather:	Sunny	Overcast	Showers		Rain		Snow			
Contractor: LFM Services	Temp:	0-32	32-50	50-70		70-85		85 Up			
Engineer of Record: JINSHAN WANG P.E S.E	Wind:	Still	Moderate	High		Comments: Varies by day					
	Humidity:	Dry	Moderate	Humid							

AVERAGE FIELD FORCE:

Contractor/Subcontractor	Operator	Manual	Remarks
LFM Services	-	1	Superintendent

MAY 5TH 2022

Special Inspector, Scott Allan, arrived on site at 9:50 AM for a structural bolt inspection of the communications tower located on Concrete Way, Lemon Creek. Upon arrival, Contractor had the 3 sections of the main body of the tower bolted together. Approved structural plans called for the diagonal steel to be bolted to the legs with 5/8" x 2" A325 bolts with flat washers and the diagonal pieces of steel to be connected to each other with 5/8" x 2 - 1/4" A325 with flat washers. Inspector verified correct bolt diameters, lengths, and "snug tightness" has been complied with. Inspector then marked the bolts with a Sharpie for the contractor to have a reference point for the "turns beyond snug tight" as specified in the A325 bolt tightening chart. Inspector informed superintendent on site all bolts in accordance with the approved structural drawings.

Inspector departed site at 10:45 AM.

MAY 6TH 2022

Special Inspector Scott Allan arrived on site at 2:50 PM for the structural bolt inspection of communications tower located on Concrete Way, Lemon Creek. Upon arrival, Inspector looked at the splicing of the legs of the tower, which were with 5/8" x 2-1/4" A325 bolts and a flat washer. Inspector then verified bolts from the previous visit had been turned "1/3 turns beyond snug tight" as specified in the A325 bolt tightening chart in the approved design drawings. Inspector found one loose bolt at the bottom of the leg attachment splice, that the contractor stated he would fix.

Inspector departed site at 3:30 PM.

Special Inspection Report

I1728.22001 LFM Services CCTHITA Tower

May 5-6, 2022

Page 2

PHOTOS



Photo 1 – (5/05/22) – Site upon arrival.



Photo 2 – (5/05/22) Mark of nut and washer for reference point for bolt tightening chart.



Photo 3 – (5/06/22) – Site upon arrival

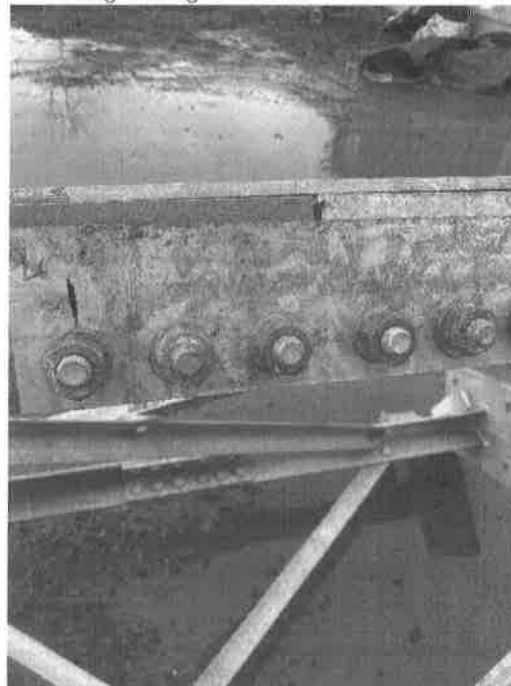


Photo 4 – (5/06/22) – Loose bolt found that contractor stated he would tighten.



SPECIAL INSPECTION REPORT

Project:	CCTHITA Tower Foundation						Report No.:	2			
Client:	LFM Services			Date: May 10 th , 2022							
Owner:											
RESPEC Project No.	I1728.22001			Days:	S	M	T	W	TH	F	S
RESPEC Project Inspector: Scott Allan, WAQTC #1347	Weather:	Sunny	Overcast	Showers		Rain		Snow			
Contractor: LFM Services	Temp:	0-32	32-50	50-70		70-85		85 Up			
Engineer of Record: JINSHAN WANG P.E S.E	Wind:	Still	Moderate	High		Comments: Varies by day					
	Humidity:	Dry	Moderate	Humid							

AVERAGE FIELD FORCE:

Contractor/Subcontractor	Operator	Manual	Remarks
LFM Services	-	1	Superintendent

MAY 10TH 2022

Special Inspector, Scott Allan, arrived on site at 10:30 AM for a structural bolt inspection of the communications tower located on Concrete Way, Lemon Creek. Upon arrival, Contractor had the 19' climbing ladder bolted together. Approved structural plans called for the steel to be spliced together with backing kits with (4) 1/2" x 1-1/2" A325 bolts. Inspector verified correct bolt diameters, lengths, and "snug tightness" has been complied with. Inspector then marked the bolts with a Sharpie for the contractor to have a reference point for the "turns beyond snug tight" as specified in the A325 bolt tightening chart. Inspector informed superintendent on site all bolts in accordance with the approved structural drawings.

Inspector departed site at 11:30 AM.

Special Inspection Report

I1728.22001 LFM Services CCTHITA Tower

May 10, 2022

Page 2

PHOTOS

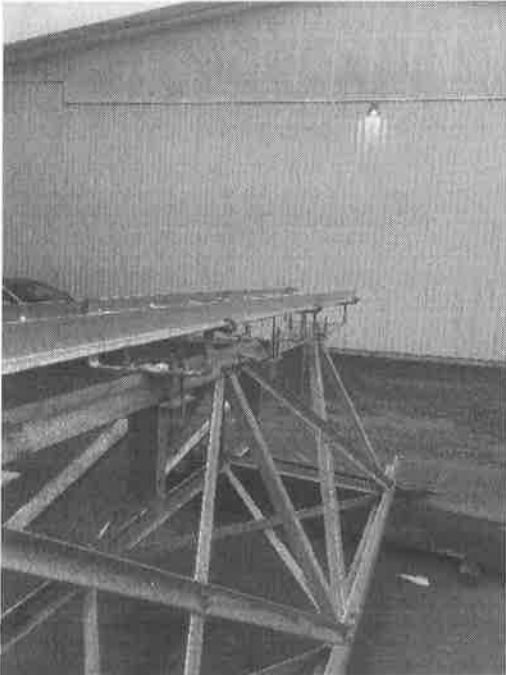


Photo 1 – (5/10/22) – Site upon arrival.



Photo 2 – (5/10/22) Mark of nut and washer for reference point for bolt tightening chart.




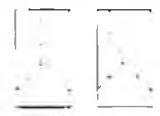


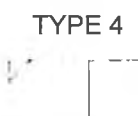

Photo 3 – (5/10/22) – Site upon arrival



Photo 4 – (5/10/22) – Damage to one of the ladder sections.

**CONCRETE CYLINDER
COMPRESSIVE STRENGTH TEST REPORT
ASTM C39/C39M-18**

9109 Mendenhall Mall Rd, Suite 1
Juneau, AK 99801
(907) 780-6060 ph.
(907) 586-3771 fax

PROJECT NAME:				CLIENT:				CONTRACTOR:				SUPPLIER:			
CCTHITA Tower Foundation				LFM Services				LFM Services				AGGPRO			
DATE RECEIVED	CYLINDER DESIGNATION	DATE MADE	DATE TO BE TESTED	DATE TESTED	LOAD AT FAILURE (POUNDS)	COMPRESSIVE STRENGTH (PSI)	AGE (DAYS)	TYPE OF FAILURE	WEIGHT OF CYLINDER (POUNDS)	DENSITY (PFC)	DATE REPORTED	DATE BILLED	ASTMC39/C39M BREAK TYPES  TYPE 1  TYPE 2  TYPE 3  TYPE 4  TYPE 5  TYPE 6		
2nd Truck Slump: 5" Air: 6% Temp: 60°F															
04/15/22	1A	04/14/22	04/18/22	04/18/22	34,790	2,770	4	1	8.41	144.6	04/18/22				
04/15/22	1B	04/14/22	04/21/22	04/21/22	46,805	3,720	7	2	8.38	144.0	04/21/22				
04/15/22	1C	04/14/22	05/12/22	05/12/22	73,645	5,860	28	2	8.34	143.4	05/12/22				
5th Truck Slump: 4.5" Air: 6.5% Temp: 60°F															
04/15/22	2A	04/14/22	04/18/22	04/18/22	34,355	2,730	4	1	8.41	144.6	04/18/22				
04/15/22	2B	04/14/22	04/21/22	04/21/22	47,380	3,770	7	2	8.38	144.0	04/21/22				
04/15/22	2C	04/14/22	05/12/22	05/12/22	71,515	5,690	28	2	8.34	143.4	05/12/22				



NOTE: ALL CYLINDERS TESTED ARE 4"X8" UNLESS OTHERWISE NOTED

RESPEC Project #: 11728.220



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 5750 Concrete Way Juneau Alaska 99801		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) Industrially zoned		
	Parcel Number(s) 5B1201060171		
	<input type="checkbox"/> This property located in the downtown historic district <input type="checkbox"/> This property located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Central Council of Tlingit & Haida	Contact Person Corey Padron	
	Mailing Address	Phone Number(s) 907-617-7617	
	E-mail Address cpadron@ccthita-nns.gov		
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X  Landowner/Lessee Signature		5/18/22 Date	* see attached email
X _____ Landowner/Lessee Signature		_____ Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant Same		Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X  Applicant's Signature		5/18/22 Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials JLS
Date Received 12-8-22 Complete submitted
119

Case Number
WCF22-001

Jennifer Shields

From: Corey Padron <cpadron@ccthita-nsn.gov>
Sent: Wednesday, June 15, 2022 12:04 PM
To: Jennifer Shields
Subject: RE: [EXTERNAL]WCF Application for 5750 Concrete Way

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Hello Jennifer, Yes, this is my signature and I do have authority to sign on behalf of Tlingit & Haida for this project.

I will gather the additional information requested in 2 below.

Thank you.

Corey Padron

From: Jennifer Shields <Jennifer.Shields@juneau.org>
Sent: Tuesday, June 14, 2022 4:59 PM
To: Corey Padron <cpadron@ccthita-nsn.gov>
Subject: [EXTERNAL]WCF Application for 5750 Concrete Way

Hello Mr. Padron,

Yesterday Jamie dropped off your application package for a WCF at 5750 Concrete Way. I am reviewing the materials for intake and had a couple of questions:

- 1) Is it your signature on the Development Permit Application (attached)? And do you have authority to sign on behalf of the Central Council?
- 2) From checklist item #11, I could not find the following documents from a licensed Alaska Professional Engineer:
 - Signed and stamped letter indicating the proposed WCF will be constructed, repaired, modified or restored in compliance with all current applicable technical, safety, and safety-related laws of the CBJ, State of Alaska, and Federal government
 - Signed and stamped letter indicating the proposed WCF is in compliance with industry practices of the National Association of Tower Erectors

In your submittal package, the "Attachment 8" pages were duplicates of "Attachment 6" ... maybe the documents listed above were supposed to be included with Attachment 8? If not, I've attached an example of the type of letter we will need.

Other than the items above, it looks like we have everything else needed to move forward. Please let me know if you have any questions.

Thank you!

Jennifer L. Shields | Planner II

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

Office: 907.586.0753 ext. 4139



WIRELESS COMMUNICATION FACILITY APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant	PROJECT SUMMARY: Tlingit & Haida has established a Department of Public Safety, and Tribal Emergency Operations Center (TEOC) at 5750 Concrete Way.	
	ZONING DISTRICT: (I) Industrial	
	PROPOSED WCF TYPE <input type="radio"/> Colocation <input checked="" type="radio"/> New Tower - <i>non-concealed</i> <input checked="" type="radio"/> Attached WCF <input type="radio"/> Eligible Facility Request	
	LIGHTING Proposed <input type="radio"/> YES (this application requires all items under 49.65.950 and 49.65.970, it will go through the Special Use Permit process) <input checked="" type="radio"/> NO Existing <input type="radio"/> YES <input checked="" type="radio"/> NO	
	STRUCTURE HEIGHT (in feet) 61 feet	
	Does the requested facility meet the criteria listed in Table 1 (CBJ 49.65.950(a))? <input type="radio"/> Yes Does the facility qualify as a substantial Change per 49.65.950(b)(1-6)? <input checked="" type="radio"/> Yes - Submit items under 49.65.960 with your application <input type="radio"/> No - this application meets Table 1 (49.65.950(a)) with no substantial changes <input checked="" type="radio"/> No - Submit items under 49.65.950 and 49.65.970. Proceed with the Special Use Permit process.	
ALL REQUIRED MATERIALS ATTACHED <input type="checkbox"/> Complete submittal checklist		

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

REQUIRED PERMIT				
Building Permit		Project falls under Table 1 (49.65.950)		
Special Use Permit		Project <i>does not</i> fall under Table 1		
REVIEW APPROVALS				
	Initials	Date		
Building	_____	_____		
Engineering	_____	_____		
Planning	_____	_____		
Fees	Fees	Check No.	Receipt No.	Date
Application Fee	\$ 850.00			
Public Notice Sign Fee	\$ 50.00			
Public Notice Sign Deposit	\$ 100.00			
Total	\$ 1,000.00			

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number WCF22-001	Date Received 12-9-22
---------------------------------	---------------------------------

121



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/CDD
 155 S. Seward Street • Juneau, AK 99801

Concrete Way Communications Tower

Case Number: PAC20210030

Applicant: Chris John and Corey Padron

Property Owner: Central Council of Tlingit & Haida

Property Address: 5750 Concrete Way

Parcel Code Number: 5B1201060171

Site Size: 27,550 Square Feet

Zoning: (I) Industrial

Existing Land Use: Vacant

Conference Date:	5/5/2021
Report Issued:	5/11/2021

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Chris John	Applicant	cjohn7@kpunet.net
Corey Padron	Applicant	cpadron@ccthita-nsn.gov
Sabrina Boone	Applicant	sboone@ccthita-nsn.gov
Royal Hill	Applicant	rhill@ccthita-nsn.gov
Allison Eddins	Planning	allison.eddins@juneau.org
Adrienne Scott	Permit Tech	adrienne.scott@juneau.org

Pre-Application Conference Final Report

Conference Summary**Questions/issues/agreements identified at the conference that weren't identified in the attached reports.**

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

The applicants are proposing a new non-concealed wireless communications tower that will not exceed 82 feet in an Industrial zoning district. According to CBJ 49.65.950 Table 1, this project requires a Special Use Permit that must be approved by the CBJ Planning Commission. If approved, the applicant would then apply for the Building Permit for the construction of the tower.

The definition of a Wireless Communication Tower does include radio antenna towers. The Director of Community Development weighed in and determined that this tower should be treated similar to JPD's radio towers and should go through the Special Use Permit process.

Planning Division

1. **Zoning** – The lot at 5750 Concrete Way is zoned Industrial.

2. **Submittal Requirements** –

- A new non-concealed freestanding tower requires a detailed explanation justifying why a co-location or concealed tower is not technically feasible or commercial impractical.
- A narrative explaining why the new non-concealed tower should be approved as proposed.
- A narrative explaining compliance with CBJ 49.65.930.
- A structural assessment of the tower must be conducted by a professional engineer licensed in the State of Alaska if the tower is within 61 feet from a dwelling, parking lot, playground, or right-of-way or if the tower is not constructed with breakpoint technology.
- Name, address, email address and phone number of all persons preparing the application and any required submittals.
- Name, address and phone number of the property owner, applicant, and facility owner.
- Postal address and tax map parcel number of the property;
- Zoning designation of the property on which the proposed WCF will be situated;
- Size of the property stated both in square feet and lot line dimensions, and a diagram showing the location of all lot lines;
- Locations of any dwellings within a radius equal to the height of the proposed tower from its base;
- Location, size and height of all structures on the property which is the subject of the application;
- Location, size and height of all proposed and existing antennas and all appurtenant structures;
- Type, locations and dimensions of all proposed and existing landscaping and fencing;
- The number, type and design of the WCFs proposed and the basis for the calculations of the WCF's capacity to accommodate multiple collocations;
- A detailed description of the proposed WCF and all related fixtures, structures, appurtenances and apparatus, including height above preexisting grade, materials, color and lighting;
- Certification that the application is in compliance with all applicable laws pertaining to the type of service offered;
- Applicant shall disclose in writing the existence of any agreement that would limit or preclude the ability of the applicant to share any new WCF that it constructs;

Pre-Application Conference Final Report

- Applicant shall furnish written certification by a professional engineer, licensed in the State of Alaska, that the WCF, foundation and appurtenant attachments are designed to meet relevant site and subsurface conditions, and will be constructed to meet EIA/TIA 222 G (as amended) and local building code structural requirements for loads, including wind, snow and ice loads for the specified number of collocations required in subsection 49.65.930(e)(1);

3. **Design Requirements –**

- The tower must be constructed to accommodate no fewer than four antenna arrays.
- All utilities must be installed underground and in compliance with all CBJ rules and regulations.
- The tower and all appurtenant or associated facilities with the tower shall be designed to blend with the structure it is affixed to or to be in harmony with the surrounding built environment.
- Guy wires are not allowed.
- The tower should be designed and located to minimize adverse visual impacts.

4. **Setbacks** – If the tower is not constructed with breakpoint technology, the minimum setback distance from the nearest property line must be equal to the height of the proposed tower. If the tower has breakpoint technology, the setback distance shall be equal to 110% of the distance from the top of the structure to the breakpoint level or the minimum yard setback requirements whichever is greater. In the Industrial zoning district the minimum yard setback requirements are 10 feet from the front and rear lot lines; there are no setback requirements from side lot lines. Any associated structures must comply with the required minimum setbacks.

5. **Height** – There are no height restrictions in the Industrial zoning district.

6. **Access** – The site will be accessed from Concrete Way

7. **Parking & Circulation** – There are no parking requirements associated with communication towers.

8. **Lot Coverage** – There are no lot coverage restrictions in the Industrial zoning district. However, there is the 50 foot setback requirement from the bank of Lemon Creek.

9. **Vegetative Coverage** – There is a 5% vegetative cover requirement in the Industrial zoning district.

10. **Lighting** – There is no lighting proposed for this tower.

11. **Noise** – Noise associated with the construction of this tower will not be out of character for the Industrial zoning district and surrounding uses.

12. **Flood** – A portion of this lot within the 50 foot stream side setback is within an AE flood zone. The proposed tower location is outside of this flood zone.

Note to planners: If the project is in a flood zone provide a copy of CBJ 49.70 Article IV, and advise that the project will need to be designed to meet provisions of this code.

13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – No known hazards on this lot.

14. **Wetlands** – No wetlands present on this lot.

15. **Habitat** – Lemon Creek is an anadromous water body. The tower and all associated structures must be located at least 50 feet from the bank.

16. **Plat or Covenant Restrictions** – None

17. **Traffic** – The proposed tower is not expected to generate daily traffic. Construction traffic will not be out of character with the zoning district and surrounding uses.

Pre-Application Conference Final Report

18. **Nonconforming situations** – No known nonconforming situations exist on this lot.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Wireless Communication Facility Application
3. Building Permit Application (once the WCF application is approved by the Planning Commission)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. See the submittal requirements above.

Exceptions to Submittal Requirements

Submittal requirements staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. N/A

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Application fee plus WCF application = \$850.00
2. Public notice sign = \$50.00
3. Public notice sign deposit (refundable if the sign is brought back following the Planning Commission meeting) = \$100
4. Building permit fees will be determined at time of application

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your Completed Application

You must submit your application(s) in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Fax: (907) 586-4529

Pre-Application Conference Final Report

Web: www.juneau.org/cdd

WCF CHECKLIST CERTIFICATIONS ITEMS NO. 5-10

5. A statement certifying that radio frequency emissions from the antenna array(s), both individually and cumulatively, will comply with FCC standards signed by a qualified person and accompanied with a statement of that person's professional qualifications.
6. Certification that proposal complies with applicable laws pertaining to service offered.
7. The following documents from a licensed Alaska Professional Engineer:
 - Signed and stamped letter indicating the proposed WCF will be constructed, repaired, modified or restored in compliance with all current applicable technical, safety, and safety-related laws of the CBJ, State of Alaska, and Federal government.
 - Signed and stamped letter indicating the proposed WCF is in compliance with industry practices of the National Association of Tower Erectors.
8. Letter indicating compliance with FAA regulations in 14 CFR Part 77 (if applicable).
9. Disclosure of any agreements which limit and/or preclude the proposed WCF from being shared with new WCFs.
10. Signed and stamped letter from a licensed Alaska Professional Engineer indicating the foundation and attachments meet EIA/TIA 222 G and local building code structure requirements for loads, including wind, snow, and ice (this shall also address the total number of required accommodated collocations, when applicable).



LEGACY COMM SERVICES

P.O. Box 7962

Ketchikan, AK 99901

907-225-3872 - cjohn7@kpunet.net

Chris John
Legacy Comm Services
Ketchikan, AK
September 1, 2021

To whom it may concern:

I hereby certify that the radio frequency emissions from the Tlingit Haida Council Juneau Emergency Operations Center radio antenna arrays, both individually and cumulatively, will comply with FCC standards. The antennas located on the new tower will comply with applicable laws pertaining to the radio service offered.

Sincerely,

A handwritten signature in cursive script, appearing to read "Chris John".

Chris John
Legacy Comm Services
Owner
cjohn7@kpunet.net
907-617-2294

**LEGACY COMM SERVICES**

P.O. Box 7962

Ketchikan, AK 99901

907-225-3872 - cjohn7@kpunet.net**Qualifications; Chris John, Re: radio system design and construction**

This information is provided at the request of the City and Borough of Juneau and shall be referred to as Response to c., "Attachment 3" to accompany letter dated September 1, 2021.


As part of the Tlingit Haida-Juneau Emergency Operations Center tower erection permit, a question has been asked regarding my qualifications to plan, design, license and install radio communications systems for my clients. In response to that, I provide the following;

I have been a radio/telecommunications manager and specialist for 54 years. Forty-one years were in service with the federal government. I have owned and operated a private radio communications business for 13 years since my federal retirement. My business, Legacy Comm Services, is a land mobile radio sales, service, design and consulting company.

In my 54 year career, I have had extensive experience in major communications system design, installation and maintenance. I have developed communications plans and handled radio frequency coordination and licensing with the FCC and NTIA throughout my career. I have built and licensed 100s of radio systems.

When I design, build, and implement a radio system for a client, I study radio coverage requirements and the local topography and other pertinent factors related to propagation of signal. Based on this information, I design the system for the best coverage possible while ensuring negligible cross propagation or interference. This same process was completed for Central Council of Tlingit Haida, and their radio system is being constructed to operate in compliance with all FCC standards and within the authorized parameters of their FCC licensed frequencies.

Signed,


Chris John

Legacy Comm Services
Owner/Lead Communications Engineer
cjohn7@kpunet.net
907-617-2294

9/19/2022
Date




[FCC Home](#) | [Search](#) | [Updates](#) | [E-Filing](#) | [Initiatives](#) | [For Consumers](#) | [Find People](#)


Universal Licensing System

[FCC](#) > [WTB](#) > [ULS](#) > [Online Systems](#) > License Search

[FCC Site Map](#)

Public Safety Pool, Conventional License - WRKS407 - TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA

[? HELP](#)

Control Points

[New Search](#) | [Printable Page](#) | [Reference Copy](#) | [Map License](#)

MAIN

ADMIN

LOCATIONS

FREQUENCIES

MAP

Call Sign

WRKS407

Radio Service

PW - Public Safety Pool,
Conventional
[Return to Main](#)

Control Points

- 1 101 8TH STREET, PRINCE OF WALES-HYDER, HYDABURG, AK
P:(907)617-7617
- 2 324 RAVEN BEAVER WAY, HOONAH-ANGOON, ANGOON, AK
P:(907)617-7617
- 3 737 SALMON WAY, HOONAH-ANGOON, PELICAN, AK
P:(907)671-7617
- 4 FIRST AND JONES STREET, PRINCE OF WALES-HYDER, KASAAN, AK
P:(907)671-7617

ULS Help

[ULS Glossary](#) - [FAQ](#) - [Online Help](#) - [Technical Support](#) - [Licensing Support](#)

ULS Online Systems

[CORES](#) - [ULS Online Filing](#) - [License Search](#) - [Application Search](#) - [Archive License Search](#)

About ULS

[Privacy Statement](#) - [About ULS](#) - [ULS Home](#)

Basic Search

By Call Sign

▼ =

SEARCH

[FCC](#) | [Wireless](#) | [ULS](#) | [CORES](#)
[Help](#) | [Tech Support](#)

Federal Communications Commission
45 L Street NE
Washington, DC 20554

Phone: 1-877-480-3201
TTY: 1-717-338-2824
[Submit Help Request](#)

ULS License

Public Safety Pool, Conventional License - WRKS407 - TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA

Frequencies Summary

Call Sign

WRKS407

Radio Service

PW - Public Safety Pool,
Conventional**20** Frequencies for all locations

20 Frequencies per Summary Page

SC = Special Condition TP = Termination Pending

Frequency	Loc#	Ant#	Freq ID	Station Class	Units	Paging Rec.	Output Power	Maximum ERP
000154.76250000	1	1	1	FB2	1		50.000	100.000
000154.76250000	2	1	1	FB2	1		50.000	100.000
000154.76250000	3	1	1	FB2	1		50.000	100.000
000154.76250000	4	1	1	FB2	1		50.000	100.000
000154.76250000	5	1	1	MO	5		50.000	50.000
000154.76250000	5	1	2	MO	15		4.000	4.000
000154.76250000	6	1	1	MO	5		50.000	50.000
000154.76250000	6	1	2	MO	15		4.000	4.000
000154.76250000	7	1	1	MO	5		50.000	50.000
000154.76250000	7	1	2	MO	15		4.000	4.000
000154.76250000	8	1	1	MO	5		50.000	50.000
000154.76250000	8	1	2	MO	15		4.000	4.000
000158.79000000	5	1	3	MO	5		50.000	50.000
000158.79000000	5	1	4	MO	15		4.000	4.000
000158.79000000	6	1	3	MO	5		50.000	50.000
000158.79000000	6	1	4	MO	15		4.000	4.000
000158.79000000	7	1	3	MO	5		50.000	50.000
000158.79000000	7	1	4	MO	15		4.000	4.000
000158.79000000	8	1	3	MO	5		50.000	50.000
000158.79000000	8	1	4	MO	15		4.000	4.000

20 Frequencies for all locations

20 Frequencies per Summary Page

ULS License

Public Safety Pool, Conventional License - WRKS407 - TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA

Call Sign	WRKS407	Radio Service	PW - Public Safety Pool, Conventional
Status	Active	Auth Type	Regular
Dates			
Grant	02/05/2021	Expiration	02/05/2031
Effective	02/05/2021	Cancellation	

Control Points

- 1** 101 8TH STREET, PRINCE OF WALES-HYDER, HYDABURG, AK
P: (907)617-7617
- 2** 324 RAVEN BEAVER WAY, HOONAH-ANGOON, ANGOON, AK
P: (907)617-7617
- 3** 737 SALMON WAY, HOONAH-ANGOON, PELICAN, AK
P: (907)671-7617

All Control Points (4).**Licensee**

FRN	0030113591	Type	Governmental Entity
-----	------------	------	---------------------

Licensee

TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA 9097 GLACIER HIGHWAY JUNEAU, AK 99801 ATTN JASON WILSON	P:(907)617-7617
--	-----------------

Contact

WASHINGTON RADIO REPORTS	P:(717)334-0668
	F:(717)334-6440
P.O. Box 3594	E:LPLANK@WRRONLINE.COM
GETTYSBURG, PA 17352	
ATTN LORY PLANK	

Land Mobile Data

Extended Implementation (Slow Growth)	Assoc.Call Signs
---	------------------

Eligibility

90.20 - WE ARE A GOVERNMENTAL ENTITY PROVIDING COMMUNITY SAFETY. RADIOS WILL BE USED FOR PUBLIC SAFETY COMMUNICATIONS

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Private Comm	Interconnected	No

Alien Ownership

ULS License

Public Safety Pool, Conventional License - WRMA716 - TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA

Control Points

Call Sign	WRMA716	Radio Service	PW - Public Safety Pool, Conventional
-----------	---------	---------------	--

Return to Main

Control Points

- | | |
|---|--|
| 1 | 1 CHURCH STREET, WRANGELL-PETERSBURG, KAKE, AK
P:(907)617-7617 |
| 2 | 1223 SHORELINE DRIVE, PRINCE OF WALES-HYDER, THORNE BAY, AK
P:(907)617-7617 |
| 3 | 2714 S TONGASS HIGHWAY, KETCHIKAN GATEWAY, SAXMAN, AK
P:(907)617-7617 |
| 4 | 5750 CONCRETE WAY, JUNEAU, JUNEAU, AK
P:(907)617-7617 |

ULS License

Public Safety Pool, Conventional License - WRMA716 - TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA

Frequencies Summary

Call Sign

WRMA716

Radio Service

PW - Public Safety Pool,
Conventional

15 Frequencies for all locations
 20 Frequencies per Summary Page

SC = Special Condition **TP** = Termination Pending

Frequency	Loc#	Ant#	Freq ID	Station Class	Units	Paging Rec.	Output Power	Maximum ERP
000151.45250000	5	1	3	MO	5		50.000	50.000
000151.45250000	5	1	4	MO	15		4.000	4.000
000151.45250000	6	1	3	MO	5		50.000	50.000
000151.45250000	6	1	4	MO	15		4.000	4.000
000151.45250000	7	1	3	MO	5		50.000	50.000
000151.45250000	7	1	4	MO	15		4.000	4.000
000154.25750000	1	1	1	FB2	1		50.000	100.000
000154.25750000	2	1	1	FB2	1		50.000	100.000
000154.25750000	3	1	1	FB2	1		50.000	500.000
000154.25750000	5	1	1	MO	5		50.000	50.000
000154.25750000	5	1	2	MO	15		4.000	4.000
000154.25750000	6	1	1	MO	5		50.000	50.000
000154.25750000	6	1	2	MO	15		4.000	4.000
000154.25750000	7	1	1	MO	5		50.000	50.000
000154.25750000	7	1	2	MO	15		4.000	4.000

15 Frequencies for all locations
 20 Frequencies per Summary Page



ENGINEERS, INC.

July 18, 2022

PND 222085

Ms. Jamie LaChester
Project Manager, LFM Services
8350 River Place
Juneau, AK 99801

Re: T&H Emergency Operations Tower

Dear Ms. LaChester:

Per your request, PND Engineers, Inc. (PND) has

The design criteria listed on the tower construction drawings, as stamped and signed by Jinshan Wang, Alaska SE 163624, is appropriate for the site. The design wind speed, design wind speed with icing, and the exposure category are appropriate for the site according to the Applied Technology Council Hazard Calculator which determines the appropriate design criteria for the standards adopted by the City and Borough of Juneau. The allowable foundation soil pressure is appropriate for the soil conditions encountered at the site and the standards adopted by the City and Borough of Juneau.

The scope of this review was to determine that the wireless communication tower will be constructed in compliance with all current applicable technical, safety and safety related laws of the City and Borough of Juneau, the State of Alaska and the Federal Government. The information provided in the construction documents provided to PND Engineers Inc., is sufficient for a licensed and qualified contractor to complete the scope of work within the applicable codes and safety standards and meets the standards for the National Association of Tower Erectors compliance.

If any of the information provided for review has been updated, this review may be affected and PND Engineers, Inc. should be allowed to review and new information to determine its effect on the structural integrity of the tower and foundation.

Hopefully, the above information meets your needs. If you have questions or need further information, please feel free to contact me.

Sincerely,
PND Engineers, Inc. | Juneau Office

Chris Gianotti, P.E., S.E. | Senior Engineer





Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study
2022-AAL-30-OE

Issued Date: 03/15/2022

Corey Pardon
Tlingit Haida Emergency Management
5750 Concrete way
Juneau, AK 99801

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower Tlingit & Haida Emergency Operations Tower
Location:	Juneau, AK
Latitude:	58-21-17.02N NAD 83
Longitude:	134-30-07.31W
Heights:	26 feet site elevation (SE) 61 feet above ground level (AGL) 87 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☐ At least 10 days prior to start of construction (7460-2, Part 1)
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 09/15/2023 unless:

- the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- extended, revised, or terminated by the issuing office.
- the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (907) 271-5863, or robert.van.haastert@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AAL-30-OE.

Signature Control No: 515011083-517938108

(DNE)

Robert van Haastert
Supervisor

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2022-AAL-30-OE

Section H, Item 3.

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
151.4525	151.4525	MHz	50	W
154.2575	154.2575	MHz	50	W

TOPO Map for ASN 2022-AAL-30-OE







December 8, 2022

Reference: 62 Foot Tall Self Supporting Tower for Juneau, Alaska
Breakpoint Letter
Trylon Job Number 170483

To Whom it May Concern,

As requested, we are pleased to submit this "Breakpoint Letter" for the 62 foot tall Self Support Tower to be constructed at the Juneau, Alaska site.

This tower has been designed, manufactured and supplied in accordance with the TIA 222-H standard for Juneau, Alaska. The tower has been designed to support antennas and transmission lines as described on Trylon Drawing 170483.319.0301 and the following;

Design Wind Speed: 131mph 3-sec gust (no ice), 50mph 3-sec gust (1" ice)
Structure Class: II
Exposure Category: C
Topographic Category: 1

This letter is to provide information on the breakpoint designed for this tower. The criteria that needs to be met is a breakpoint at a minimum height of 38 feet using a wind event that is greater than the design wind and tower loading criteria noted above. It should be understood, communications structures are designed in accordance with strict structural standards and it is extremely rare that well-maintained towers fail under normal operational conditions. However, in the highly unlikely event that this tower should experience operational failure, the failure mode will be a tower mast diagonal failure followed by a tower leg failure. The breakpoint for this tower is at the 40 foot elevation. It should be understood, that this break point design does not consider unpredictable extreme catastrophic events for which the structure is not designed. However, any damage to surrounding property caused by the tower failing during such an event would be relatively insignificant when compared to the damage caused to the surrounding property by the event itself.

If you have any questions, please contact the undersigned.

Sincerely,

Jinshan Wang, P.E., S.E.



21 South Field Drive - Elmira - ON N3B 1Y1 Canada - Tel: (519)-669-5421 - Fax: (519)-669-8912

www.trylon.com

To: City and Borough of Juneau
Community Development

From: Central Council of Tlingit & Haida Indian Tribes of Alaska
Corey L. Padrón
Emergency Operations Administrator
9097 Glacier Highway
Juneau, AK 99801

Re: Letter from your office dated July 11, 2022
“Incomplete Wireless Communication Facility Application – 5750 Concrete
Way”

Let this memo be our attestation that the Trylon Engineering plans identified as Job No. 170483 indicating “Customer Legacy Communications Services” are specifically for the Tlingit & Haida site at 5750 Concrete way in Juneau.

Legacy Communications is operating under a Service Agreement with Tlingit & Haida specifically to coordinate various components of this project.

Sincerely,



9/12/2022

Corey L. Padron

Public Safety - Emergency Operations Administrator
Central Council of Tlingit & Haida Indian Tribes of Alaska
PO Box 25500, Juneau, AK 99802
(907) 617-7617
cpadron@ccthita-nsn.gov

INSTALLATION DRAWINGS	
TRYLON DWG. NO.	DRAWING NAME
170483.319.0103	TITLE PAGE
170483.319.0301	TOWER PROFILE
170483.319.0302	TYPICAL PLAN VIEW
170483.319.0601	FOUNDATION INTERFACE DETAIL
170483.319.0602	FOUNDATION DETAILS
170483.319.0603	REBAR CHART
170483.319.0604	FOUNDATION NOTES
170483.319.0901	TEMPLATE ASSEMBLY
170483.319.1201	BASIC EIA GROUNDING
170483.319.1501	STUB LEG ASSEMBLY
170483.319.1502	MAST ASSEMBLY (0' - 19')
170483.319.1503	MAST ASSEMBLY (19' - 38')
170483.319.1504	MAST ASSEMBLY (38' - 42.75')
170483.319.1505	MAST ASSEMBLY (42.75' - 61.75')
170483.319.1801	LADDER BASE ASSY
170483.319.1802	19' CLIMBING LADDER
170483.319.1803	4.75' CLIMBING LADDER
170483.319.2401	LEG SPLICE DETAILS
170483.319.3001	UPPER ANTENNA MOUNTS
170483.319.3002	LOWER ANTENNA MOUNTS
170483.319.3003	MD (3-1/2" x 52") 1' V-S/O
170483.319.3004	MED ADJ PARALLEL CLAMP ASSY
170483.319.3601	ANTI-CLIMB ASSEMBLY
170483.319.3901	T-STYLE Tx-LINE BRACKET
170483.319.7201	GENERAL ASSEMBLY NOTES
FILE	BILL OF MATERIALS

JOB DESCRIPTION: 61.75' STR. KDSS TOWER
 SITE NAME: JUNEAU, ALASKA

TRYLON JOB NO.: 170483
 CUSTOMER: LEGACYCOMM

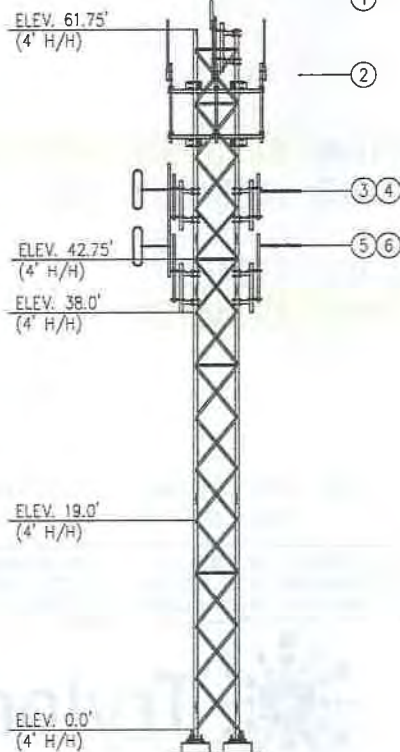
NOTE: PROFESSIONAL ENGINEERING STAMP APPLIES
 ONLY TO THE DRAWINGS INCLUDED HEREIN.

COPYRIGHT HEREIN IS THE PROPERTY OF TRYLON MANUFACTURING COMPANY LTD.
 ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT
 WRITTEN CONSENT OF TRYLON MANUFACTURING COMPANY LTD.



IN CASE OF EMERGENCY CALL:
 519-669-5421 (DAYS)
 1-877-572-9995 (EVENINGS AND WEEKENDS)

V 4" x 4" x 3/8"		L 2" x 2" x 3/16" (X-B)		L 2" x 2" x 3/16"	
LEG (50W)	DIAGONAL (44W)	HORIZONTAL (44W)	INSTALL DWG	SECTION WT (lbs)	LOWER SPLICE WT (lbs)
1503	1016	67	225	68	1376
1504	266	71	67	23	427
1505	1016	67	225	68	1376
1501/1502	1016	67	225	68	1376
TOTAL WT (lbs)		TOTAL WT (lbs)		TOTAL WT (lbs)	



LEGEND

A: V 4" x 4" x 1/4"

ANTENNA LOADING CHART							
No.	Description	Qty	Elev. (ft)	Azimuth (°TN)	TX Line Description	Qty	Status
1	CXL 2-SSL +Leg Mount	1	61.8	TBA	LDF4P-50A	1	I
2	CXL 108-185C +Face Mount	3	55	TBA	LDF4P-50A	3	I
3	SRL-210 +Leg Mount	1	50	TBA	LDF4P-50A	1	I
4	3 ELEMENT YAGI +Leg Mount	1	50	TBA	LDF4P-50A	1	I
5	SRL-210 +Leg Mount	1	45	TBA	LDF4P-50A	1	I
6	3 ELEMENT YAGI +Leg Mount	1	45	TBA	LDF4P-50A	1	I

STATUS: E-EXISTING, F-FUTURE, I-INITIAL, P-PROPOSED

TOWER DESIGNED TO:

DESIGN STANDARD: TIA-222-H

BASIC 3 SEC. GUST WIND SPEED: 131 mph

BASIC 3 SEC. GUST WIND SPEED WITH ICE: 50 mph

SERVICE WIND SPEED: 60 mph

BASIC ICE THICKNESS: 1.0 in

TOPOGRAPHIC CATEGORY: 1

EXPOSURE CATEGORY: C

RISK CATEGORY: 2

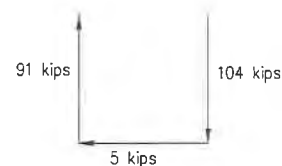
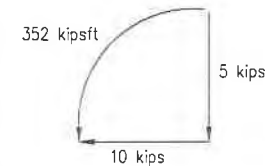
MAX. TOP ROTATION @ 91 mph: 0.14"

DESIGN PARAMETERS FROM "ATC HAZARDS BY LOCATION"

WEBSITE BASED ON LAT/LONG VALUES PROVIDED BY CUSTOMER

LATITUDE: 58.354904°

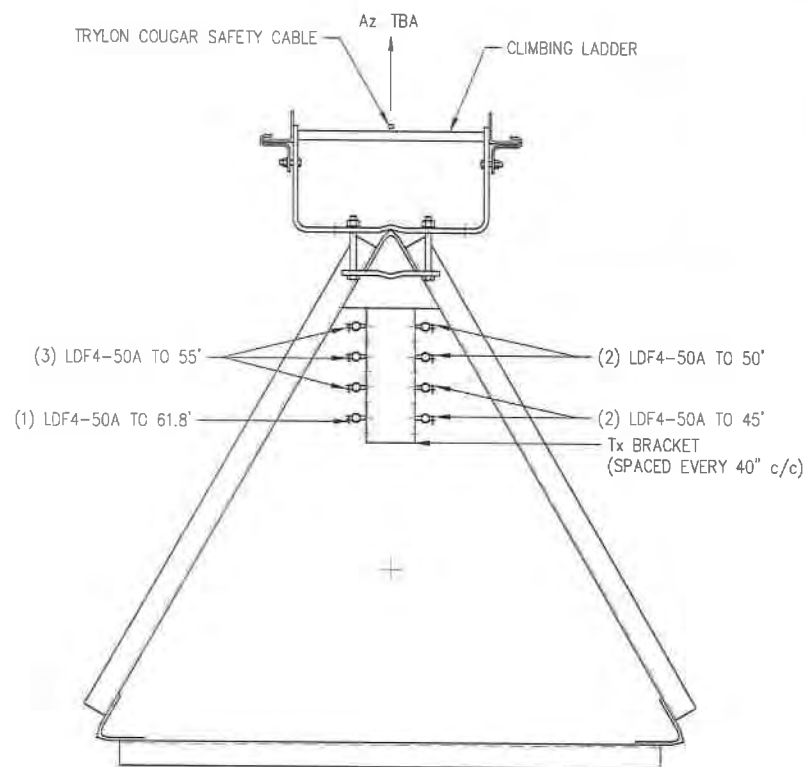
LONGITUDE: -134.502475°

LEG FOUNDATION LOADS
(PER FOUNDATION)

GLOBAL FOUNDATION LOADS

REV	DATE	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21
PREPARED BY: JINSHAN WANG DRAWING NUMBER: 0302 DATE: MAR 24, 2021			
STATE OF ALASKA 49TH JINSHAN WANG Date Mar 24, 2021 REGISTERED STRUCTURAL ENGINEER			
CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.			
CUSTOMER: LEGACYCOMM DATE: 03 FEB 21 TITLE: TOWER PROFILE		SITE: JUNEAU DATE: PS 170483.319.0301 130.000 JW	

NOTES: 1) REFER TO DWG 0302 FOR TYPICAL PLAN VIEW/TX LINE LAYOUT



REV.	BY	CHK	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER



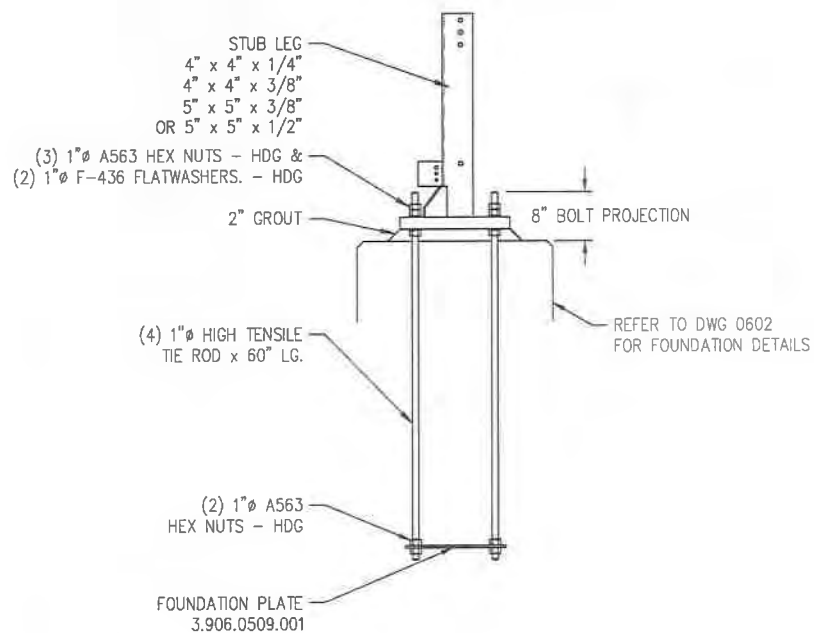
CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREON ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.



DRAWING NO.
170483.319.0302

CUSTOMER LEGACYCOMM	SITE: JUNEAU	SCALE: 10.000
DATE: 03 FEB 21	BY: MAW	CHK: PS
TITLE:		APP: JW

TYPICAL PLAN VIEW



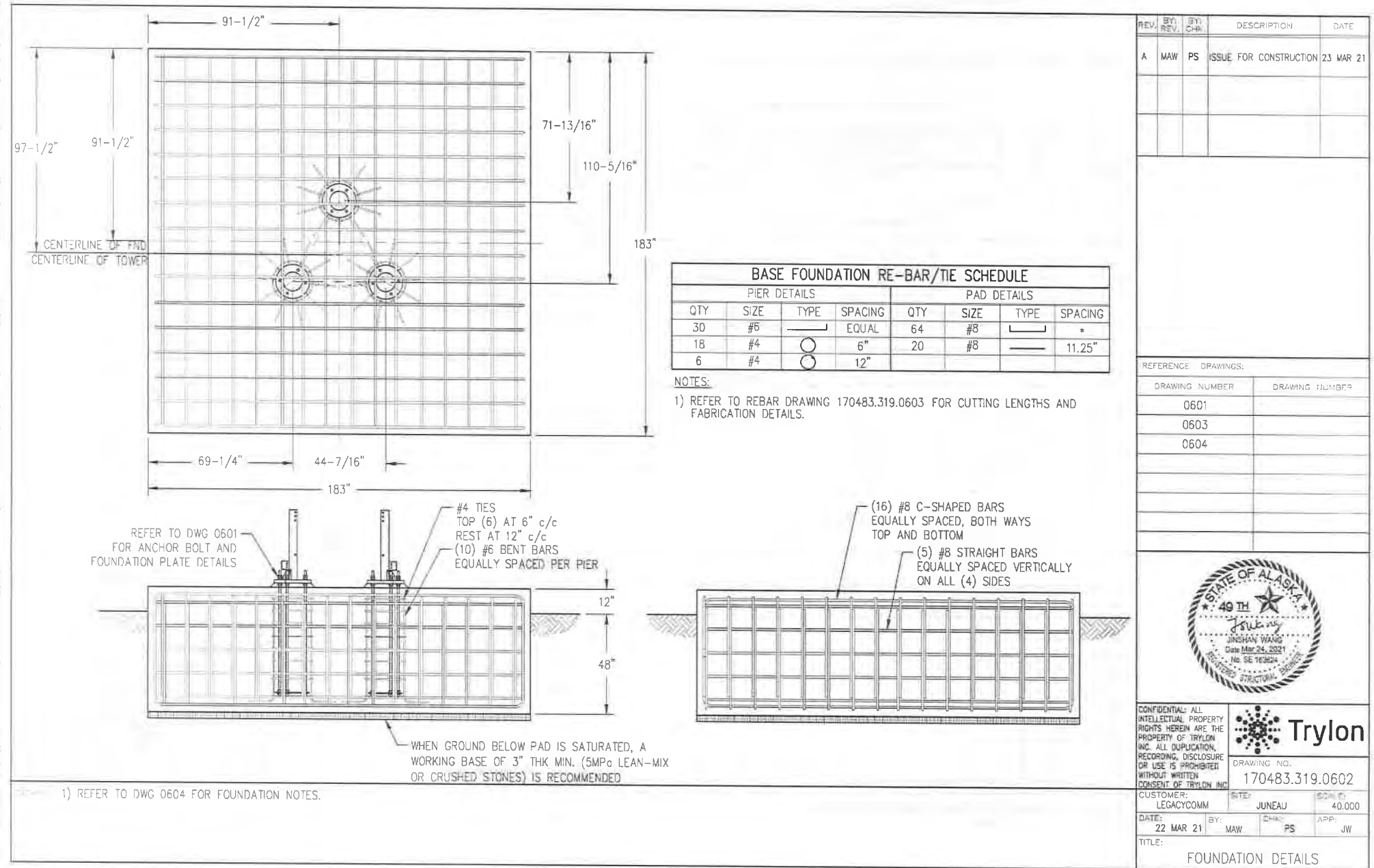
KDSS ANGLE LEG STANDARD
FOUNDATION KIT
 4.906.0017.001

NOTES:

REV	BY	DATE	DESCRIPTION
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21

REFERENCE	DRAWINGS
DRAWING NUMBER	DRAWING NUMBER
0602	

CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL DUPLICATION, REPRODUCTION, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.		
CUSTOMER LEGACYCOMM		SITE: JUNEAU
DATE: 02 FEB 21		DESIGNED BY: MAW
CHECKED BY: PS		DATE: 20.000
TITLE: FOUNDATION INTERFACE DETAIL		DRAWING NO: 170483.319.0601



[illegible]

149

FOUNDATION NOTES:**GENERAL:**

- 1) THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH THE WORK.
- 2) ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF ACI STANDARDS
- 3) FOUNDATIONS DESIGNED IN ACCORDANCE WITH THE LATEST ISSUE OF ACI STANDARDS.
ULTIMATE BEARING CAPACITY OF 2500 PSF, SUBMERGED SOIL CONDITIONS,
SOIL SUBMERGED DENSITY OF 60 PCF, NON-CORROSIVE SOIL (NO GEOTECH REPORT PROVIDED)
REPORT DATED:
- 4) PRESUMPTIVE SOIL PARAMETERS AND ASSUMPTIONS SHALL BE VALIDATED FOR SITE SPECIFIC CONDITIONS PRIOR TO INSTALLATION.
- 5) THE TOWER BASE PAD SHALL BE PLACED AGAINST UNDISTURBED SOIL.

CONCRETE:

- 1) CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF STANDARD ACI 318-14.
- 2) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF NOT LESS THAN 4000 PSI.
- 3) CONCRETE SHALL CONTAIN AN AIR ENTRAINING AGENT. TOTAL AIR CONTENT TO BE 5% TO 7% , FOR THE PARTICULAR SIZE OF AGGREGATE BEING USED. THE AIR ENTRAINING AGENT SHALL BE COMPATIBLE WITH THE WATER REDUCING AGENT.
- 4) THE MAXIMUM SIZE OF COARSE AGGREGATE SHALL BE 3/4".
- 5) THE USE OF CALCIUM CHLORIDE OR ACCELERATING ADMIXTURES IS PROHIBITED
- 6) SLUMP SHALL BE 3" +/- 1".
- 7) IF THE AIR TEMPERATURE IS 41 DEGREES F OR LESS, THE TEMPERATURE OF THE CONCRETE AT TIME OF PLACING, SHALL BE BETWEEN 59 AND 86 DEGREES F.
- 8) CHAMFER EXPOSED CORNERS OF CONCRETE (APPROX 3/4").
- 9) PROVIDE EFFECTIVE MEANS OF MAINTAINING THE TEMPERATURE OF CONCRETE IN PLACE AT A MINIMUM OF 50 DEGREES C AND A MAXIMUM OF 86 DEGREES F FOR THREE DAYS AFTER PLACING. WHEN THE MEAN DAILY AIR TEMPERATURE IS LESS THAN 41 DEGREES F PROVIDE PROTECTION FOR NEWLY PLACED CONCRETE BY MEANS OF SUITABLE ENCLOSURES OR RAISED COVERINGS, HEAT AND INSULATION.
- 10) ALL GROUT SHALL BE NON-FERROUS AND NON SHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 8000 PSI AT 28 DAYS, EDGES GROUT SHALL BE TAPERED OFF AT 45°.

REINFORCEMENT:

- 1) CLEAN REINFORCEMENT OF ANY LOOSE SCALE, DIRT OR OTHER COATINGS WHICH WOULD DESTROY OR REDUCE BONDING. REJECT BARS WITH KINKS OR BENDS NOT SHOWN ON THIS DRAWING.
- 2) ALL REINFORCEMENT SHALL HAVE A MINIMUM OF 3" CONCRETE COVER
- 3) REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING WITH ASTM A615 (GRADE 60)

BACKFILLING:

- 1) BACKFILL SHALL BE PLACED IN THIN LIFTS (MAXIMUM 6") AND COMPACTED TO A MINIMUM OF 95 PERCENT OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN THE EVENT THAT EXCAVATED MATERIALS ARE NOT SUITABLE FOR BACKFILL, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND COMPACT SUITABLE CLEAN MATERIAL TO MEET THAT REQUIREMENT.

STANDARDS:

- 1) FOUNDATIONS AND ANCHORS DESIGNED IN ACCORDANCE WITH EIA 222-H.
- 2) CONCRETE WORK IN ACCORDANCE WITH ACI 318-14
- 3) REINFORCEMENT FOR CONCRETE IN ACCORDANCE WITH ACI 318-14

A MAW PS ISSUE FOR CONSTRUCTION 23 MAR 21

IN THE EVENT OF CHANGES

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

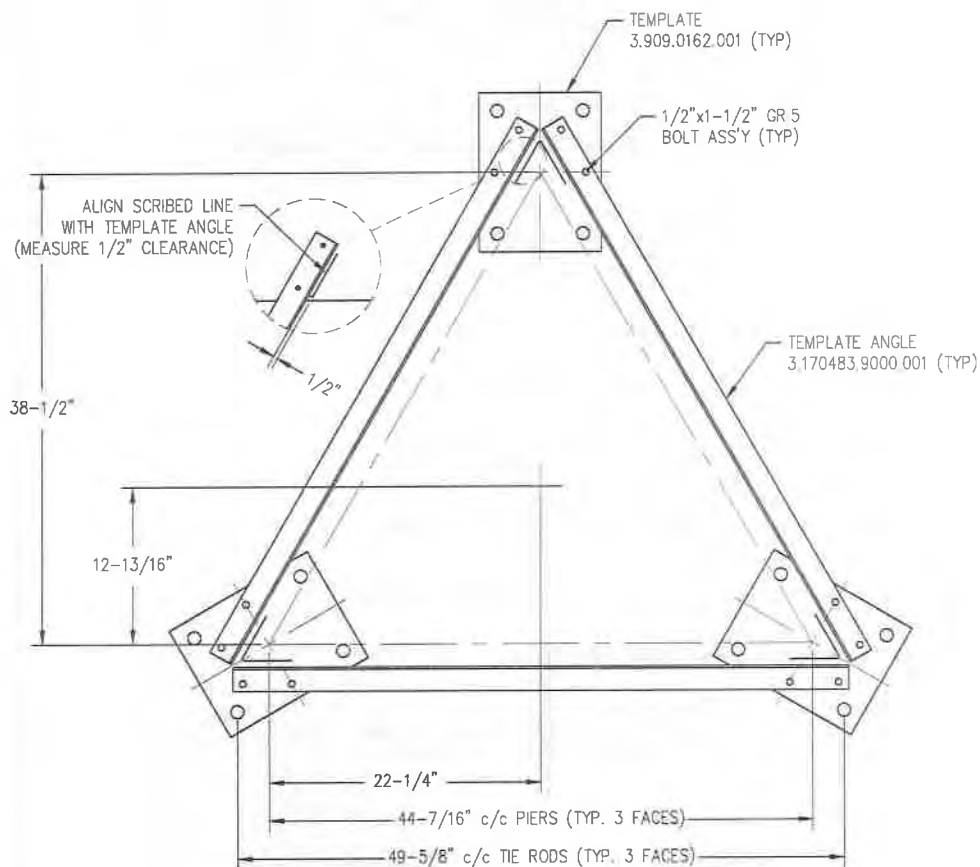


CONFIDENTIAL. ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYON
INC. ALL DISCLOSURE
RECORDING, DISCLOSURE
FOR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYON INC.



LEGACYCOMM JUNEAJ 1.000
22 MAR 21 MAW PS


FOUNDATION NOTES




NOTES: 1) FOUNDATION CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO POURING CONCRETE.

REV	BY	CHK	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE	DRAWINGS
DRAWING NUMBER	DRAWING NUMBER

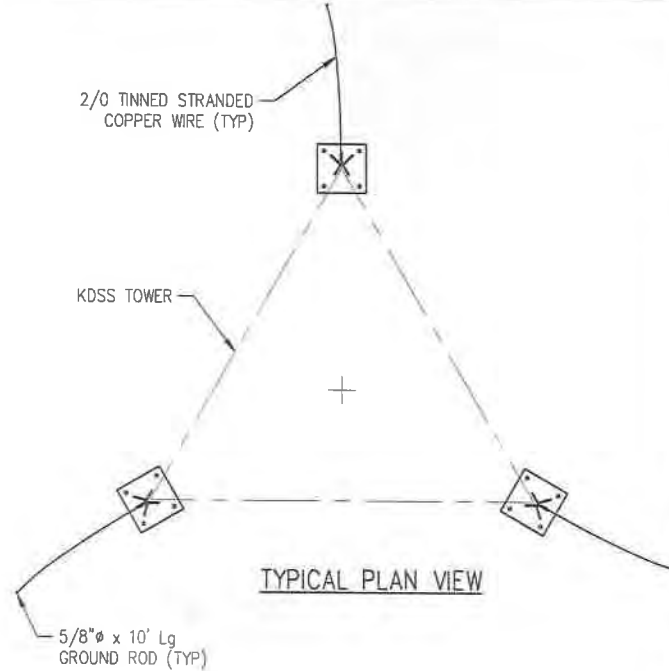
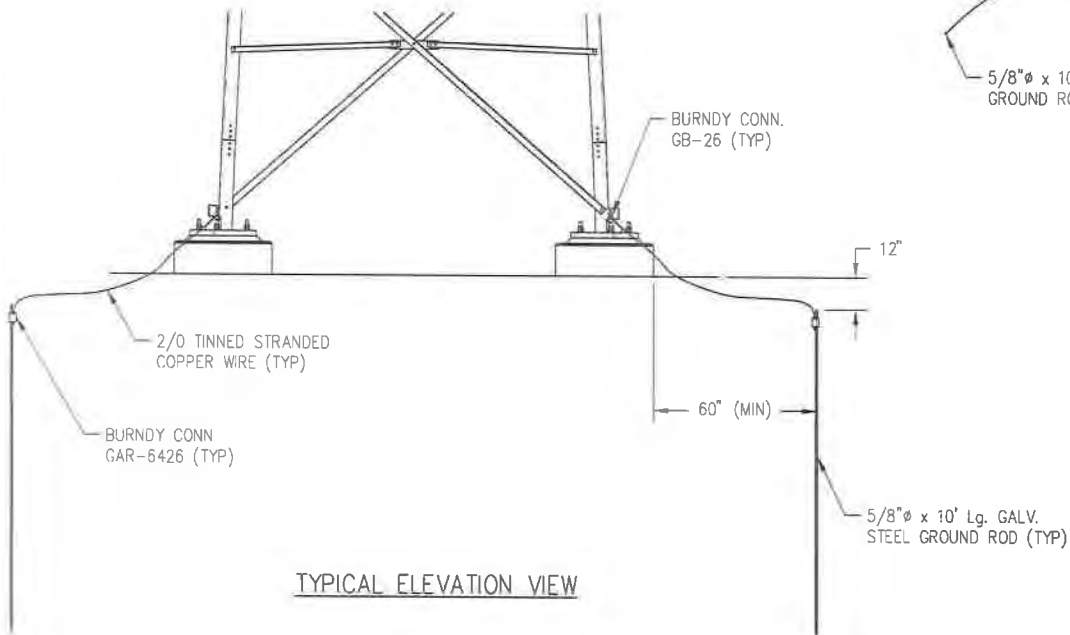


STATE OF ALASKA
49TH
JOSHUA WANG
Civil Engineer
No. SE-165201
REGISTERED STRUCTURAL ENGINEER

CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL REPRODUCTION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.		 <p>Trylon</p>
DRAWING NO: 170483.319.0901		SCALE: 10.000
CUSTOMER: LEGACYCOMM	SITE: JUNEAU	DATE: 02 FEB 21
BY: MAW	CHK: PS	APP: JW
TITLE: TEMPLATE ASSEMBLY		

NOTES:

- 1) ALL GROUND WIRE TO BE 2/0 TINNED STRANDED COPPER WIRE.
- 2) ALL GROUND RODS ARE TO BE PLACED A MINIMUM OF 5'-0" AND MAXIMUM OF 7'-0" FROM THE TOWER BASE.
- 3) ALL GROUND RODS TO BE 5/8" ϕ x 10'-0" Lg. GALVANIZED STEEL.
- 4) GROUND WIRE TO BE BURIED 1'-0" BELOW GROUND SURFACE.
- 5) ALL GROUNDING CONNECTIONS ARE TO BE CLEAN AND FREE OF PAINT AT THEIR MATING SURFACES.
- 6) GROUNDING WIRES MUST ALWAYS BE CONTINUOUS AND TRAVEL IN A "DOWNWARD" DIRECTION FREE FROM SHARP BENDS OR SUDDEN CHANGES IN DIRECTIONS.
- 7) IDEAL SITE GROUNDING SYSTEM RESISTANCE = 5 OHMS (MAXIMUM OF 50 OHMS).

**MATERIAL LIST:**

BELOW GRADE:
 3 pcs. GROUND ROD #3.912.0006.002
 20m 2/0 WIRE #1301201
 3 pcs. GAR-6426 #1303030

ABOVE GRADE:
 3 pcs GB-26 #1303110

REV.	BY:	CHK.	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE DRAWINGS:

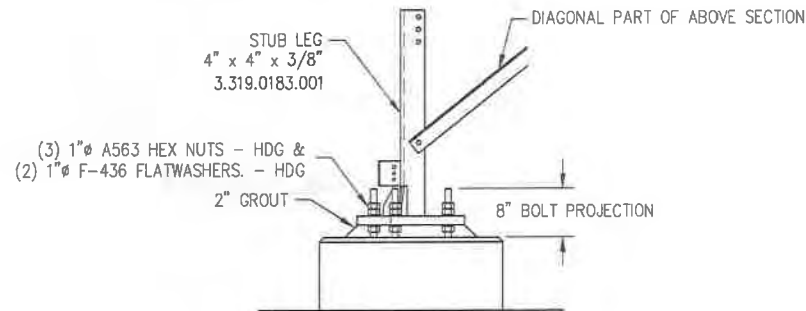
DRAWING NUMBER	DRAWING NUMBER

CONFIDENTIAL: ALL
 INTELLECTUAL PROPERTY
 RIGHTS HEREIN ARE THE
 PROPERTY OF TRYLON
 INC. ALL DUPLICATION,
 RECORDING, DISCLOSURE
 OR USE IS PROHIBITED
 WITHOUT WRITTEN
 CONSENT OF TRYLON INC.

Trylon
 DRAWING NO.
 170483.319.1201

CUSTOMER: LEGACYCOMM	SITE: JUNEAU	SCALE: 45,000
DATE: 02 FEB 21	BY: MAW	CHK: PS
APP: JW		


TITLE:
 BASIC EIA GROUNDING



NOTES:

REV	DATE	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION 21 MAR 21

REFERENCE	DRAWINGS
CONVNO	NUMBER



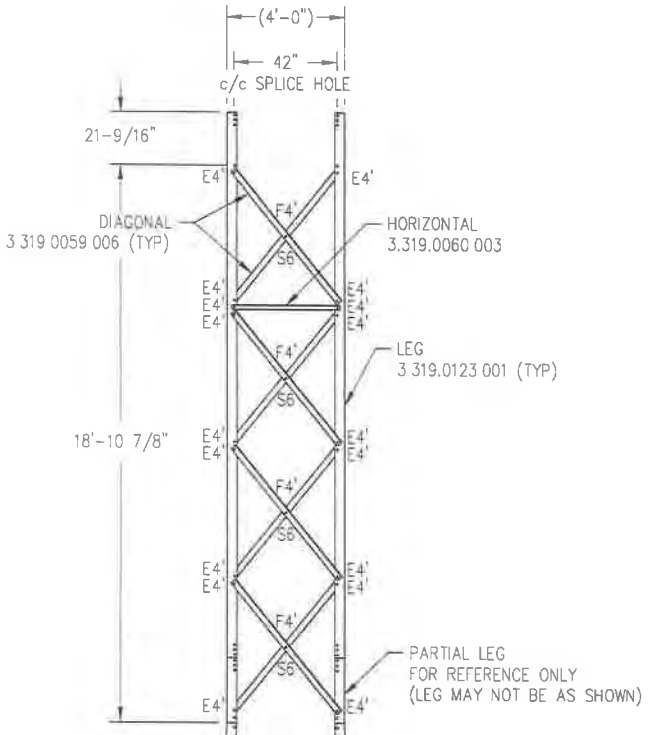
STATE OF ALASKA
49TH
JOSHUA WANG
Date Mar 24, 2021
No. SE 163844
REGISTERED STRUCTURAL ENGINEER

CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.




Trylon

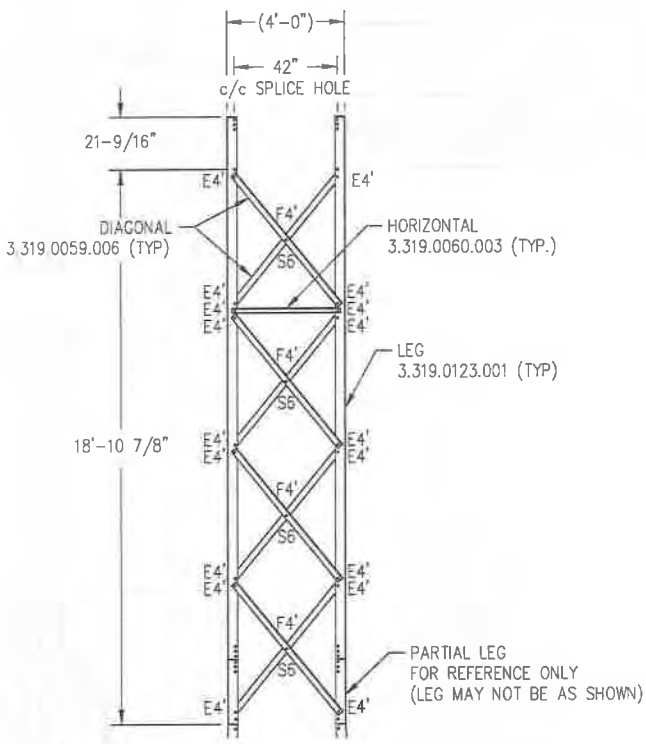
CUSTOMER: LEGACYCOMM		SITE: JUNEAU	SCALE: 20,000
DATE: 02 FEB 21	BY: MAW	CHECKED: PS	APP: JW
TITLE: STUB LEG ASSEMBLY			



BOLT SCHEDULE		
MARK	SIZE	QTY
E4'	5/8" x 2" A325 + FLATWASHER	54
F4'	5/8" x 2-1/4" A325 + FLATWASHER	12
S6	3/8"x2"x2" SPACER c/w 11/16"Ø HOLE	12

REV.	BY:	SY:	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21
ENG. REF. SA19.10404.02.01.01 LEG: V 4"x4"x3/8" HORIZ: L 2"x2"x3/16" DIAG: L 2"x2"x3/16"				
REFERENCE DRAWINGS:				
DRAWING NUMBER		DRAWING NUMBER		
7201				
<div><div>STATE OF ALASKA 49TH JINSHAN WANG Date Mar 24, 2021 No. BE 193264 REGISTERED STRUCTURAL ENGINEER</div><div> Trylon</div></div>				
CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.		DRAWING NO. 170483.319.1502		
CUSTOMER: LEGACYCOMM		SITE: JUNEAU	SCALE: 50,000	
DATE: 02 FEB 21	BY: MAW	CHK: PS	APP: JW	
TITLE: SECTION ASS'Y (0' - 19')				

1) REFER TO DWG 7201 FOR GENERAL ASSEMBLY NOTES.



BOLT SCHEDULE		
MARK	SIZE	QTY
E4'	5/8" x 2" A325 + FLATWASHER	54
F4'	5/8" x 2-1/4" A325 + FLATWASHER	12
S6	3/8"x2"x2" SPACER c/w 11/16"Ø HOLE	12

REV	DATE	DESCRIPTION
A	MAW PS	ISSUE FOR CONSTRUCTION 23 MAR 21

ENG. REF. SA19.10404.02.01.01
LEG: V 4"x4"x3/8"
HORIZ: L 2"x2"x3/16"
DIAG: L 2"x2"x3/16"

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER
7201	

STATE OF ALASKA
49TH
JULIUS WAAG
JULIUS WAAG
Date Mar 24, 2021
No. 58 163024
REGISTERED STRUCTURAL ENGINEER

CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.

Trylon

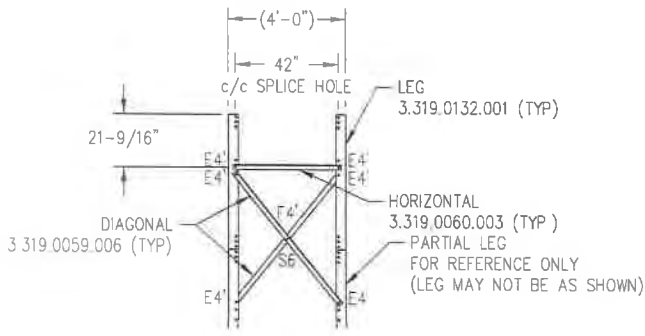
DRAWING NO. 170483.319.1503

CUSTOMER LEGACYCOMM SITE: JUNEAU SCALE: 50.000

DATE: 02 FEB 21 BY: MAW PS JW

TITLE: SECTION ASS'Y (19' - 38')

NOTES: 1) REFER TO DWG 7201 FOR GENERAL ASSEMBLY NOTES.



BOLT SCHEDULE		
MARK	SIZE	QTY
E4'	5/8" x 2" A325 + FLATWASHER	18
F4'	5/8" x 2-1/4" A325 + FLATWASHER	3
S6	SPACER 3/8"x2"x2" c/w 11/16"Ø HOLE	3

REV	BY	CHK	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	21 MAR 21

LEG: V 4"x4"x3/8"
HORIZ: L 2"x2"x3/16"
DIAG: L 2"x2"x3/16"

REFERENCE DRAWINGS:	
DRAWING NUMBER	DRAWING NUMBER
7201	

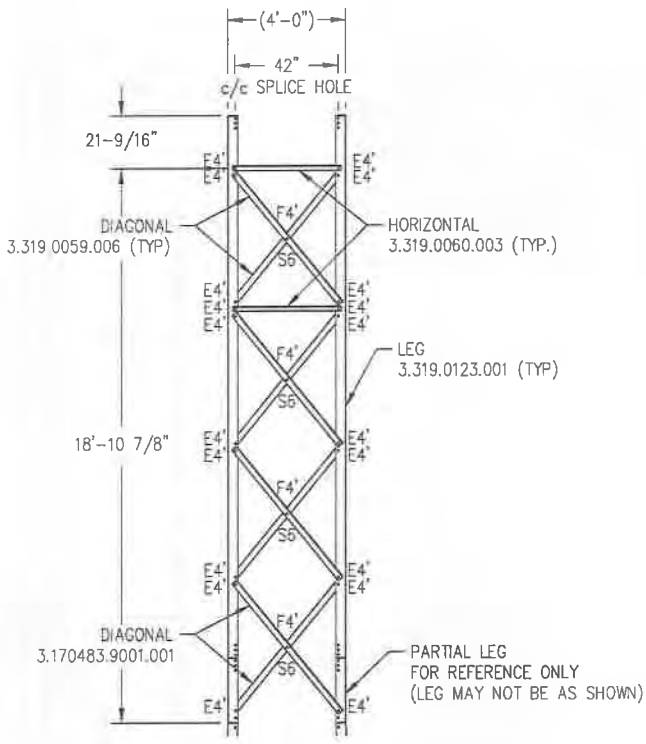


CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.

DRAWING NO.
170483.319.1504

CUSTOMER: LEGACYCOMM	SITE: JUNEAU	SCALE: 50.000
DATE: 03 FEB 21	BY: MAW	CHK: PS
TITLE: SECTION ASS'Y (38.0'-42.75')	APP: JW	

1) REFER TO DWG 7201 FOR GENERAL ASSEMBLY NOTES.



BOLT SCHEDULE		
MARK	SIZE	QTY
E4'	5/8" x 2" A325 + FLATWASHER	60
F4'	5/8" x 2-1/4" A325 + FLATWASHER	12
S6	3/8"x2"x2" SPACER c/w 11/16"ø HOLE	12

REV	BY	CHK	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

ENG REF SA19.10404.02.01.01 (MOD)
LEG: V 4"x4"x3/8"
HORIZ: L 2"x2"x3/16"
DIAG: L 2"x2"x3/16"

REFERENCE DRAWINGS:

DRAWING NUMBER	DATE
7201	



49 TH
JINSHAN WANG
Date Mar 24, 2021
REGISTERED STRUCTURAL ENGINEER

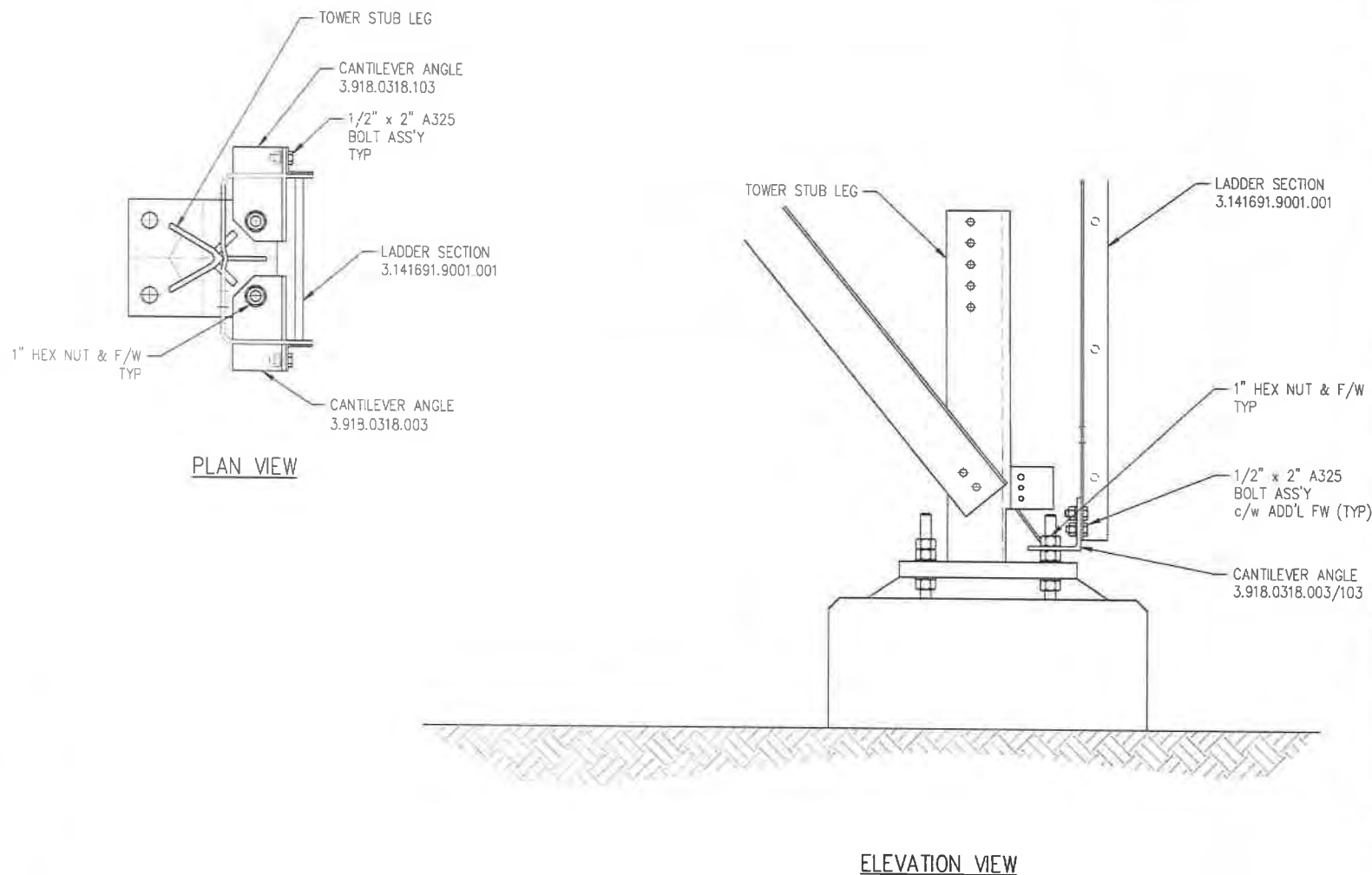


CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON INC. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON INC.

DRAWING NO: 170483.319.1505

CUSTOMER: LEGACYCOMM	STATE: JUNEAU	SCALE: 50.000
DATE: 02 FEB 21	BY: MAW	CHK: PS
TITLE: SECTION ASS'Y (42.75' - 61.75')		

NOTES: 1) REFER TO DWG 7201 FOR GENERAL ASSEMBLY NOTES.



REV.	BY	CHK.	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER



CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.

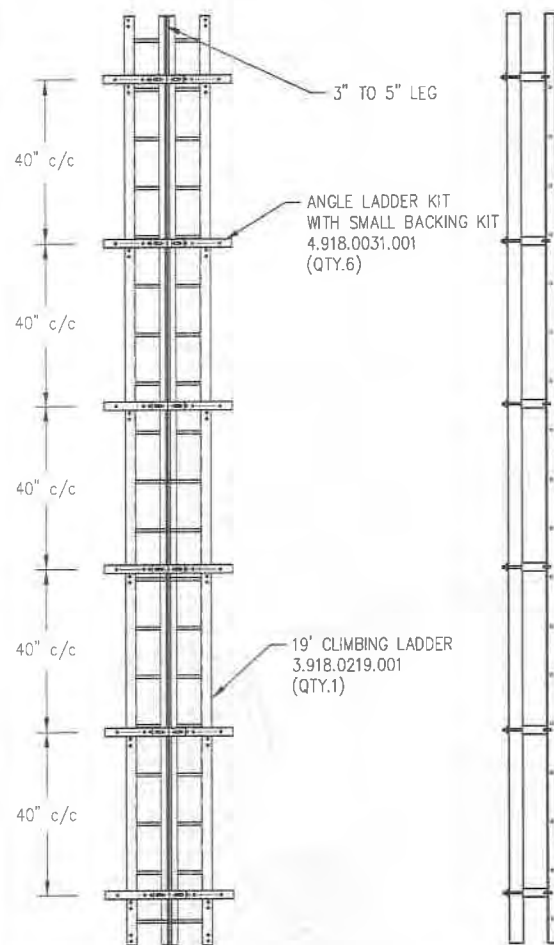


DRAWING NO.
170483.319.1801

CUSTOMER: LEGACYCOMM	SITE: JUNEAU	SCALE: 10.000
DATE: 02 FEB 21	BY: MAW	CHK: PS
TITLE: LADDER BASE ASSEMBLY	APP: JW	

19' CLIMBING LADDER WITH (6) SMALL BACKING KITS

KIT NUMBER 4.918.0051.001

SMALL BACKING PLATE
3.963.0182.0011/2" x 6" BOLT (Gr5)
c/w 1/2" HEX NUT
& 1/2" LOCK WASHER
& 1/2" FLAT WASHERLADDER BRACKET
3.918.0225.0011/2" J-BOLT
4.963.0001.080
(TYP)ANGLE LADDER KIT (SMALL)
KIT NUMBER 4.918.0031.001
(3" TO 5" LEGS)LADDER ON NEXT
SECTION OF TOWERTOP OF SECTION
(4) 1/2" x 1-1/2" A325
BOLT ASS'Y PER
SPlice PLATELADDER SPlice
3.918.0322.001
(2 PLACES)(4) 1/2" x 1-1/2" A325
BOLT ASS'Y PER
SPlice PLATELADDER SPlice
3.918.0322.001
(2 PLACES)

TYPICAL LADDER SPlice

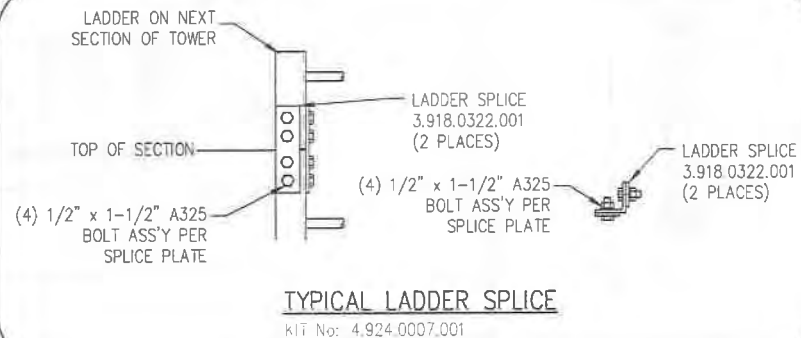
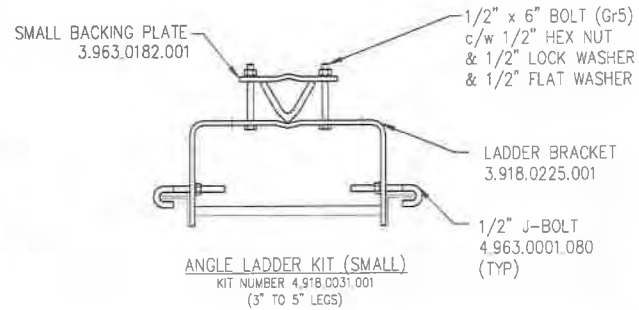
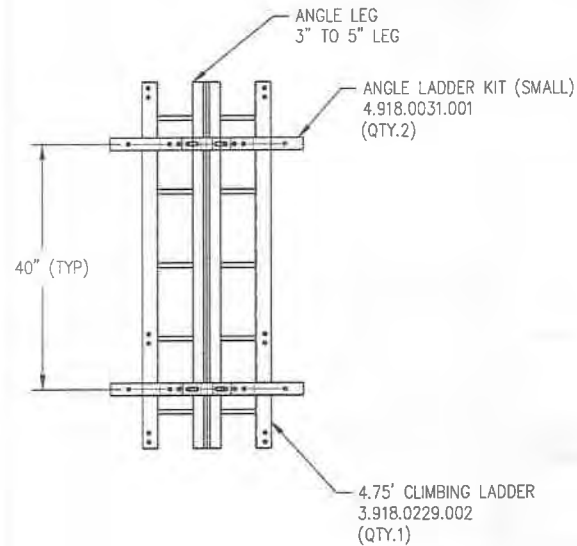
KIT No: 4.924.0007.001

NOTES:

REV	BY	DATE	DESCRIPTION
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21
			
			
CUSTOMER		DATE	SCALE
LEGACYCOMM		JUNEAU	30.000
DATE:	BY	DATE	BY
02 FEB 21	MAW	PS	JW
TITLE: 19' CLIMBING LADDER			



4.75' CLIMBING LADDER WITH (2) SMALL BACKING KITS
KIT NUMBER 4.918.0036.001



NOTES:

REV	BY	DATE	DESCRIPTION
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21

DRAWING NUMBER	DATE



CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.



DRAWING NO.
170483.319.1803

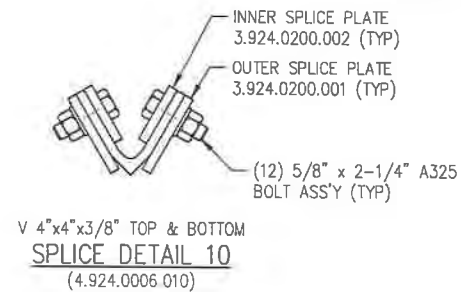
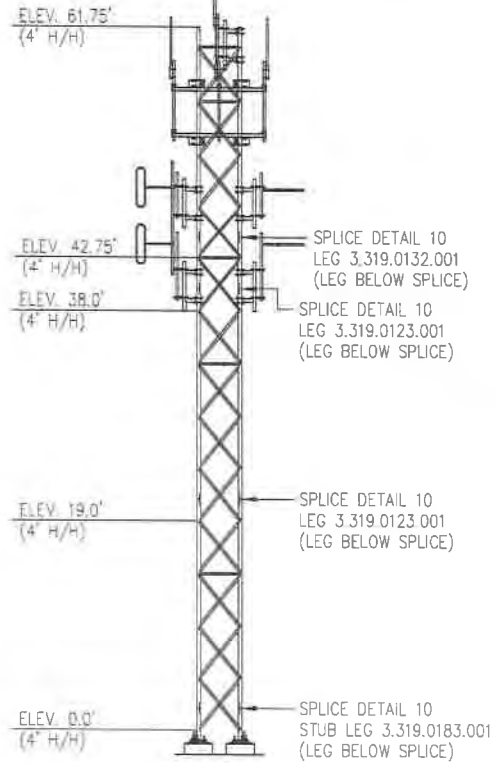
CUSTOMER	SITE	DATE	BY	CHKD
LEGACYCOMM	JUNEAU	02 FEB 21	MAW	PS
				JW

4.75' CLIMBING LADDER

LEG (50W)
INSTALL DWG

V 4" x 4" x 3/8"

1505
1504
1503
1501/1502



REV.	BY	CHK	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER

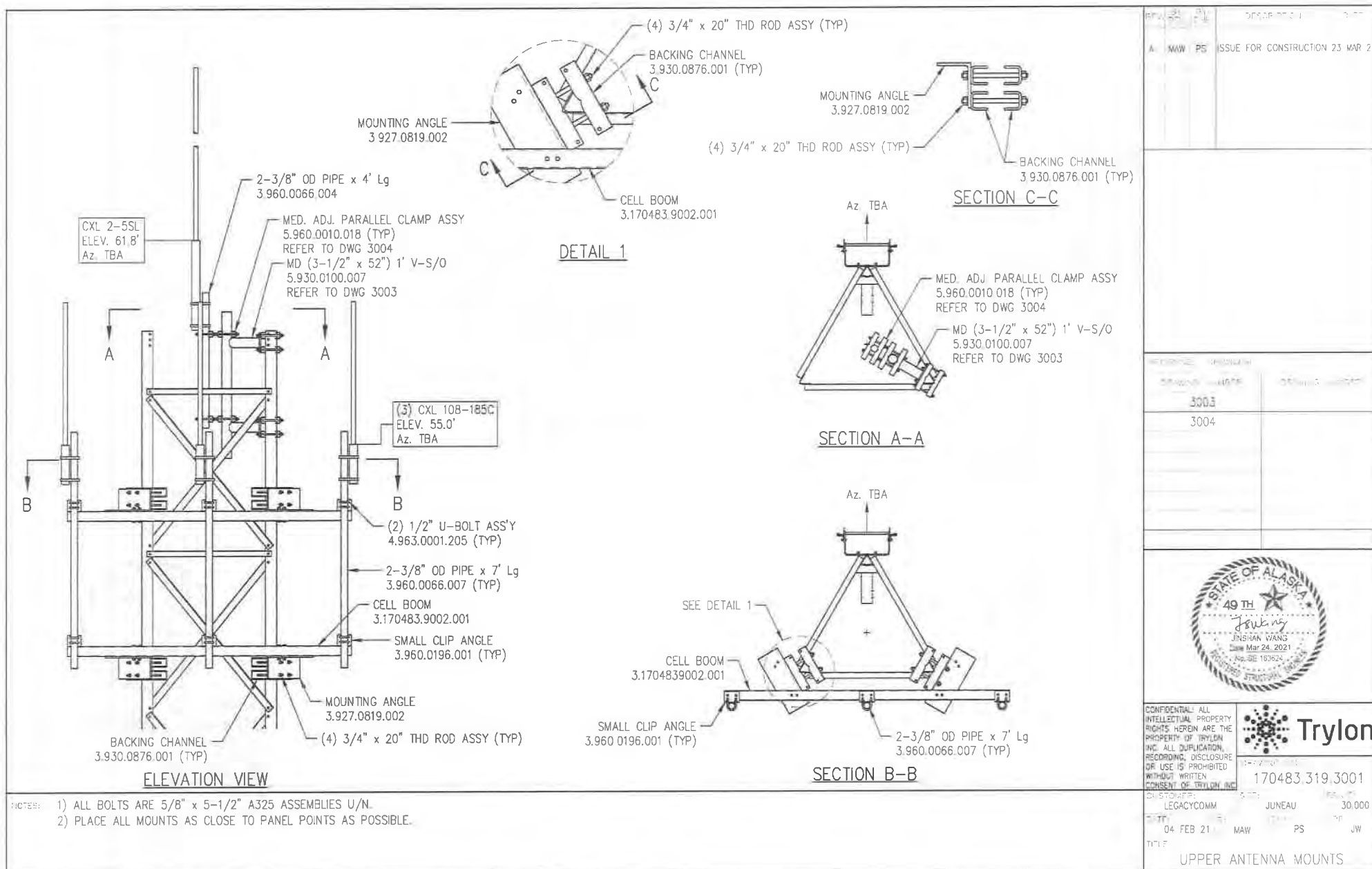


CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.



DRAWING NO.
170483.319.2401

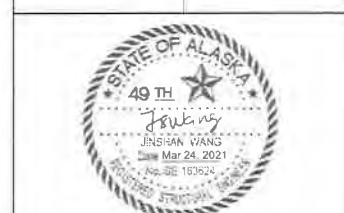
CUSTOMER: LEGACYCOMM	SITE: JUNEAU	SCALE: 130.000
DATE: 03 FEB 21	BY: MAW	CHK: PS
TITLE: LEG SPLICE DETAILS	APP: JW	



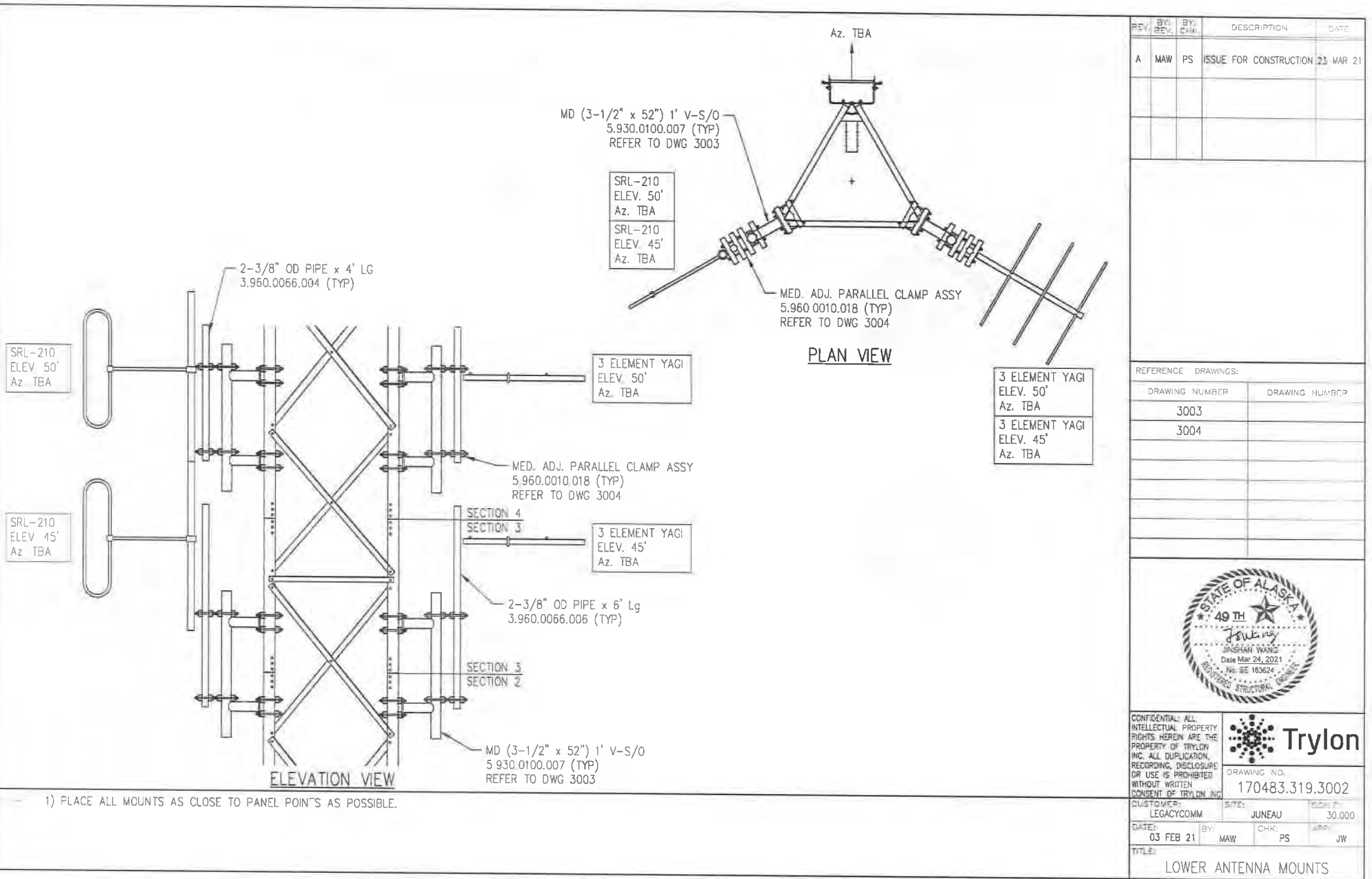
REV	DATE	DESCRIPTION	BY
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21

SECTION	3003
SECTION	3004

SECTION	3003
SECTION	3004

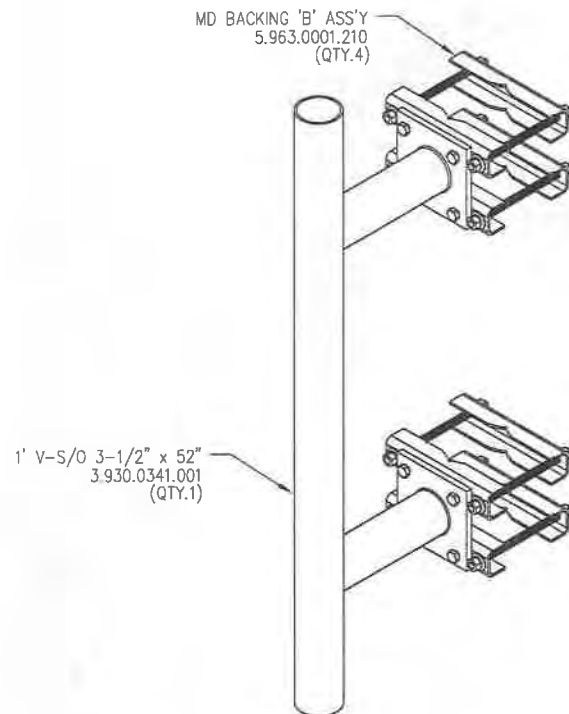
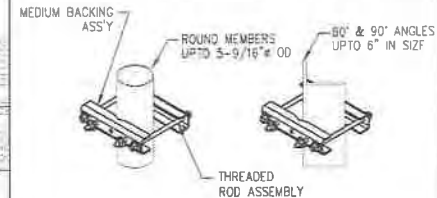


CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLEN INC. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLEN INC.	170483.319.3001
DISCLOSURE: LEGACYCOMM	JUNEAU 30.000
DATE: 04 FEB 21	MAW PS JW
TITLE	UPPER ANTENNA MOUNTS



MD (3-1/2" x 52") 1' V-S/O

KIT NUMBER 5.930.0100.007

MEDIUM BACKING ASSEMBLYMEDIUM BACKING ASSEMBLY (5.963.0001.210)

- | | |
|--------------------|----------------------------------|
| (2) 3.963.0209.001 | MEDIUM BACKING CHANNEL |
| (2) 4.963.0019.213 | C 2-1/4"x1-3/4"x3/16"x10-1/4" LG |
| (2) 1202021 | 1/2" x 13" THREADED ROD ASSY |
| | 1/2" x 1-1/2" BOLT ASS'Y |

REV	BY	DATE	DESCRIPTION
A	MAW	PS	ISSUE FOR CONSTRUCTION 23 MAR 21

APP'D	DATE	REVISED	DATE



CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.



DRAWING NO.
170483.319.3003

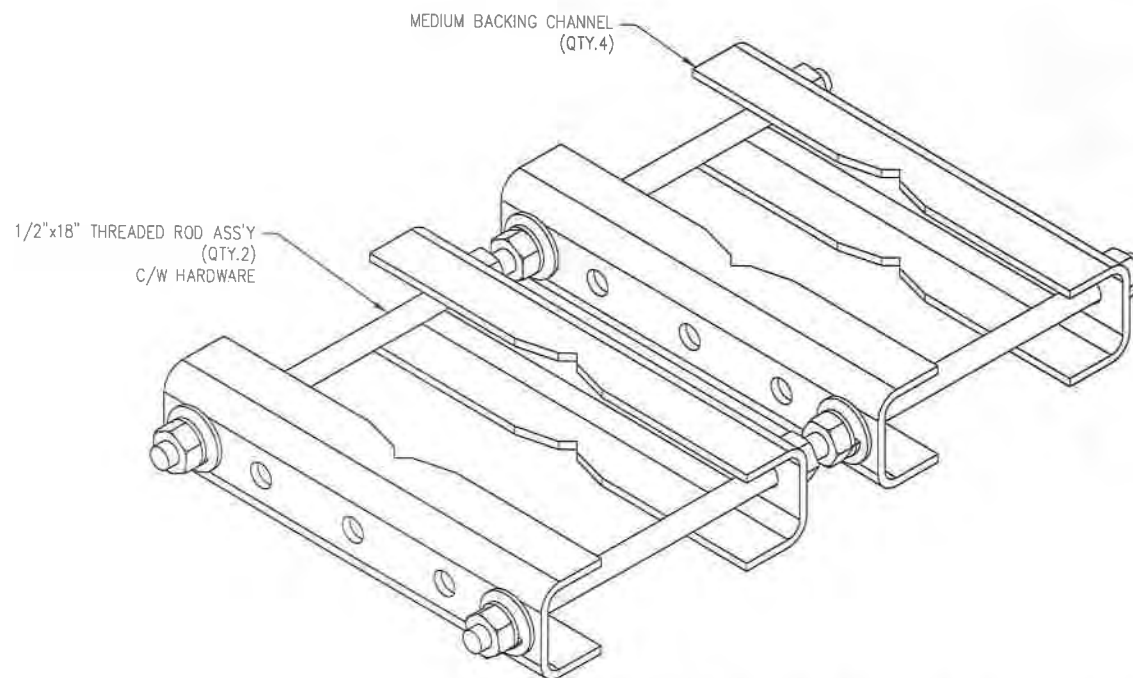
DESIGNED LEGACYCOMM	CHECKED JUNEAU	DATE 02 FEB 21	BY MAW	SCALE 1 000
APPROVED PS	DATE 02 FEB 21	BY JW	SCALE 1 000	

MD (3-1/2" X 52") 1' V-S/O

NOTES:

MEDIUM 18" ADJUSTABLE PARALLEL CLAMP ASS'Y

KIT NUMBER 5.960.0010.018

MEDIUM 18" ADJUSTABLE PARALLEL CLAMP ASS'Y (5.960.0010.018)

- (4) 3.963.0209.001 MEDIUM BACKING CHANNEL
- (2) 4.963.0019.218 1/2"x18" THREADED ROD ASS'Y
- (4) 1201120 1/2" HEX NUT
- (4) 1201121 1/2" LOCK WASHER
- (4) 1201122 1/2" FLAT WASHER

REV.	BY:	CHK:	DESCRIPTION	DATE
A	MAW	PS	ISSUE FOR CONSTRUCTION	23 MAR 21

REFERENCE DRAWINGS:

DRAWING NUMBER	DRAWING NUMBER

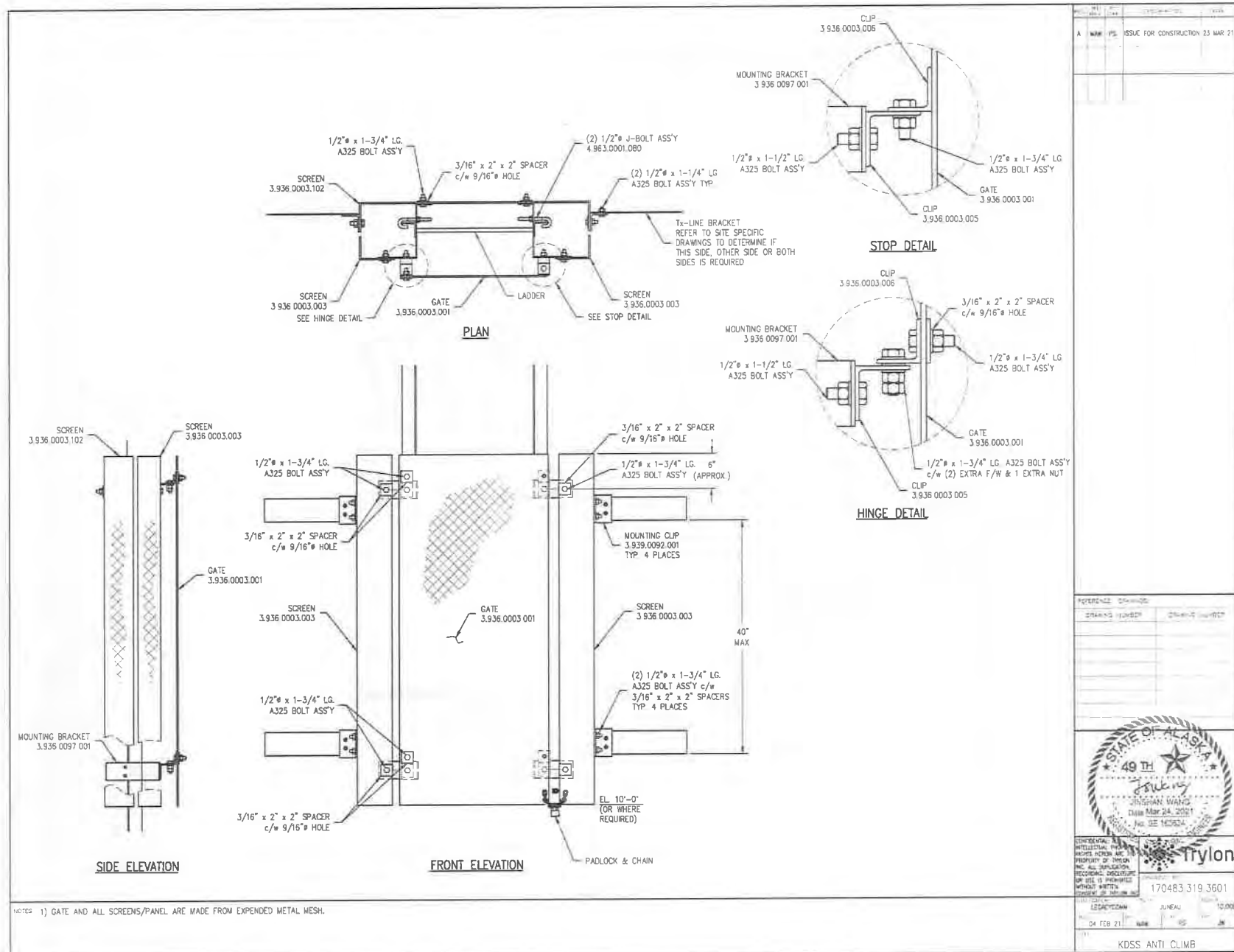


CONFIDENTIAL: ALL
INTELLECTUAL PROPERTY
RIGHTS HEREIN ARE THE
PROPERTY OF TRYLON
INC. ALL DUPLICATION,
RECORDING, DISCLOSURE
OR USE IS PROHIBITED
WITHOUT WRITTEN
CONSENT OF TRYLON INC.



DRAWING NO.
170483.319.3004

CUSTOMER: LEGACYCOMM	SITE: JUNEAU	DOCS: 1,000
DATE: 02 FEB 21	BY: MAW	CHK: PS
TITLE: MED ADJ PARALLEL CLAMP ASSY	DATE: 02 FEB 21	BY: MAW



BILL OF MATERIAL REPORT

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
1	9.906.1		BELOW GRADE FOUNDATION MATERIAL					—	—
	4.906.0017.001		KDSS STD FND KIT - (12) 1" TIE RODS (1 KIT PER TOWER)	1	EA			—	—
	3.906.0509.001	B	FOUNDATION PLATE (1" TIE ROD)	3	EA	21.60	LB	—	—
	4.906.9000.106		1" X 60" HIGH TENS TIE ROD ASS'Y	12	EA	184.80	LB	—	—
	3.906.9000.106	F	1" x60" HIGH TENS TIE ROD FULL THD HDG	M	EA	150.00	LB	—	—
	1202184		1" A563 DH HEX NUT - HDG	M	EA	32.40	LB	—	—
	1202215		1" F-436 FLAT WASHER - HDG	M	EA	2.16	LB	—	—
Page Sub Total Weight (not 5.)						390.96			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						390.96			

Attachment A - Application Packet

66

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
1	9.909.1		FOUNDATION TEMPLATE MATERIAL						
	3.909.0162.001	A	TEMPLATE (1" TIE ROD)	3	EA	20.70	LB	—	—
	3.170483.9000.001	A	TEMPLATE ANGLE	3	EA	30.60	LB	—	—
	1201132		1/2" X 1-1/2"HEX HEAD BOLT GR.5-HDG RACK	12	EA	1.48	LB	—	—
	1201120		1/2" HEX NUT GR. 5 - HDG RACK	12	EA	0.43	LB	—	—
	1201121		1/2" LOCK WASHER GR. 5 - HDG RACK	12	EA	0.12	LB	—	—
Page Sub Total Weight (not 5.)						53.33			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						53.33			

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
1	9.912.1		BELOW GRADE GROUNDING MATERIAL						
	3.912.0006.002	A	5/8" X 10' GROUND ROD	3	EA	31.50	LB		
	1301201		2/0 TINNED S.C.WIRE	20	M	27.00	LB		
	1303030		GAR 6426 BURNDY	3	EA	1.85	LB		
Page Sub Total Weight (not 5.)						60.35			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						60.35			

Attachment A - Application Packet

60

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>E</u>	<u>L</u>
2	9.915.1		MAST MATERIAL						
	3.319.0183.001	A	STUB LEG (STRAIGHT V4"X4"X3/8")	3	EA	298.80	LB		
Page Sub Total Weight (not 5.)						298.80			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						298.80			

Attachment A - Application Packet

60

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
2	9.915.2		MAST MATERIAL						
	4.319.0083.001		SA19.10404.02.01.01.0	1	EA			—	—
	3.319.0123.001	A	REGULAR LEG - V 4"x4"x3/8" (STR)	3	EA	570.60	LB	—	—
	3.319.0059.006	A	STRAIGHT 4' SECTION DIAGONAL	24	EA	352.80	LB	—	—
	3.319.0060.003	A	STRAIGHT 4' SECTION HORIZONTAL	3	EA	28.50	LB	—	—
	1202043		5/8" X 2" A325 BOLT ASS'Y - HDG PAILS	62	EA	25.61	LB	—	—
	3.963.0700.106	A	3/8" THK 1 HOLE SPACER (11/16" DIA)	13	EA	1.69	LB	—	—
	1202212		5/8" F-436 FLAT WASHER - HDG RACK	76	EA	2.96	LB	—	—
	1202044		5/8" X 2-1/4" A325 BOLT ASS'Y-HDG PAILS	13	EA	5.68	LB	—	—
Page Sub Total Weight (not 5.)						987.84			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						987.84			

Attachment A - Application Packet

70

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
2	9.915.3		MAST MATERIAL						
	4.319.0083.001		SA19.10404.02.01.01.0	1	EA				
	3.319.0123.001	A	REGULAR LEG - V 4"x4"x3/8" (STR)	3	EA	570.60	LB		
	3.319.0059.006	A	STRAIGHT 4' SECTION DIAGONAL	24	EA	352.80	LB		
	3.319.0060.003	A	STRAIGHT 4' SECTION HORIZONTAL	3	EA	28.50	LB		
	1202043		5/8" X 2" A325 BOLT ASS'Y - HDG PAILS	62	EA	25.61	LB		
	3.963.0700.106	A	3/8" THK 1 HOLE SPACER (11/16" DIA)	13	EA	1.69	LB		
	1202212		5/8" F-436 FLAT WASHER - HDG RACK	76	EA	2.96	LB		
	1202044		5/8" X 2-1/4" A325 BOLT ASS'Y-HDG PAILS	13	EA	5.68	LB		
Page Sub Total Weight (not 5.)						987.84			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						987.84			

Attachment A - Application Packet

71

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
2	9.915.4		MAST MATERIAL					—	—
	3.319.0132.001	A	REGULAR LEG - V 4"x4"x3/8" (STR)	3	EA	140.40	LB	—	—
	3.319.0060.003	A	STRAIGHT 4' SECTION HORIZONTAL	3	EA	28.50	LB	—	—
	3.319.0059.006	A	STRAIGHT 4' SECTION DIAGONAL	6	EA	88.20	LB	—	—
	1202043		5/8" X 2" A325 BOLT ASS'Y - HDG PAILS	18	EA	7.43	LB	—	—
	1202044		5/8" X 2-1/4" A325 BOLT ASS'Y-HDG PAILS	3	EA	1.31	LB	—	—
	1202212		5/8" F-436 FLAT WASHER - HDG RACK	21	EA	0.82	LB	—	—
	3.963.0700.106	A	3/8" THK 1 HOLE SPACER (11/16" DIA)	3	EA	0.39	LB	—	—
Page Sub Total Weight (not 5.)						267.05			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						267.05			

Attachment A - Application Packet

72

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
2	9.915.5		MAST MATERIAL					—	—
	4.319.0083.001		SA19.10404.02.01.01.0	1	EA			—	—
			(MODIFIED)						
	3.319.0123.001	A	REGULAR LEG - V 4"x4"x3/8" (STR)	3	EA	570.60	LB	—	—
	3.319.0059.006	A	STRAIGHT 4' SECTION DIAGONAL	18	EA	264.60	LB	—	—
	3.319.0060.003	A	STRAIGHT 4' SECTION HORIZONTAL	6	EA	57.00	LB	—	—
	1202043		5/8" X 2" A325 BOLT ASS'Y - HDG PAILS	62	EA	25.61	LB	—	—
	3.963.0700.106	A	3/8" THK 1 HOLE SPACER (11/16" DIA)	13	EA	1.69	LB	—	—
	1202212		5/8" F-436 FLAT WASHER - HDG RACK	76	EA	2.96	LB	—	—
	1202044		5/8" X 2-1/4" A325 BOLT ASS'Y-HDG PAILS	13	EA	5.68	LB	—	—
	3.170483.9001.001	A	X-BRACE DIAGONAL	6	EA	85.20	LB	—	—
Page Sub Total Weight (not 5.)						1,013.34			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						1,013.34			

Job Number :170483-62ft Straight KDSS Angle-Leg

LotID	Part ID	Rev	Description	Ext Qty	UM	Ext Weight	UM	L	P
2	9.918.1		LADDER MATERIAL						
	4.918.0069.001		BASE LADDER KIT - KDSS EXTERNAL	1	EA			—	—
	3.918.0318.003	A	CANTILEVER ANGLE (1" TIE RODS)	1	EA	9.60	LB	—	—
	3.918.0318.103	A	CANTILEVER ANGLE (1" TIE RODS)	1	EA	9.60	LB	—	—
	1202023		1/2" X 2" A325 BOLT ASS'Y - HDG RACK	4	EA	0.96	LB	—	—
	4.918.0051.001		19' LADDER WITH (6) SMALL BACKING KITS	3	EA			—	—
	3.918.0219.001	A	19' LADDER SECTION	3	EA	610.50	LB	—	—
	4.918.0031.001		ANGLE LADDER KIT (SMALL)	18	EA			—	—
	3.963.0182.001	-	SMALL BACKING PLATE	M	EA	28.80	LB	—	—
			FORMED						
	3.918.0225.001	A	LADDER BRACKET	M	EA	126.00	LB	—	—
	4.963.0001.080	-	1/2" J-BOLT - HDG	M	EA			—	—
	4.918.HDWR.001	A	LADDER HARDWARE KIT 1	M	EA	16.20	LB	—	—
			(2) 1201362 - 1/2" x 6" GR.5 BOLT FULL THREAD						
			(2) 1201120 - 1/2" GR.5 HEX NUT						
			(2) 1201121 - 1/2" GR.5 LOCK WASHER						
			(2) 1202211 - 1/2" F-436 FLAT WASHER						
	4.924.0007.001		ANGLE LADDER SPLICE KIT	3	EA			—	—
	3.918.0322.001	A	LADDER SPLICE	M	EA	13.20	LB	—	—
	4.918.HDWR.002	A	LADDER HARDWARE KIT 2	M	EA	2.70	LB	—	—
			(16) 1202021 - 1/2" x 1-1/2" A325 BOLT ASS'Y						
	4.918.0036.001		4.75' LADDER WITH (2) SMALL BACKING KITS	1	EA			—	—
	3.918.0229.002	A	4.75' LADDER SECTION	1	EA	53.60	LB	—	—
	4.918.0031.001		ANGLE LADDER KIT (SMALL)	2	EA			—	—
	3.963.0182.001	-	SMALL BACKING PLATE	M	EA	3.20	LB	—	—
			FORMED						
	3.918.0225.001	A	LADDER BRACKET	M	EA	14.00	LB	—	—
	4.963.0001.080	-	1/2" J-BOLT - HDG	M	EA			—	—
	4.918.HDWR.001	A	LADDER HARDWARE KIT 1	M	EA	1.80	LB	—	—
			(2) 1201362 - 1/2" x 6" GR.5 BOLT FULL THREAD						
			(2) 1201120 - 1/2" GR.5 HEX NUT						
			(2) 1201121 - 1/2" GR.5 LOCK WASHER						
			(2) 1202211 - 1/2" F-436 FLAT WASHER						
	4.924.0007.001		ANGLE LADDER SPLICE KIT	1	EA			—	—
	3.918.0322.001	A	LADDER SPLICE	M	EA	4.40	LB	—	—
	4.918.HDWR.002	A	LADDER HARDWARE KIT 2	M	EA	0.90	LB	—	—
			(16) 1202021 - 1/2" x 1-1/2" A325 BOLT ASS'Y						
Page Sub Total Weight (not 5.)						895.46			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						895.46			

Attachment A - Application Packet

74

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
2	9.924.1		SPLICE MATERIAL						
	4.924.0006.010		KDSS ANGLE LEG SPLICE #10	4	EA				
			V 4"x4"x3/8" TOP & BOTTOM						
	3.924.0200.001	A	OUTER SPLICE PLATE	24	EA	117.60	LB		
	3.924.0200.002	A	INNER SPLICE PLATE	24	EA	84.00	LB		
	1202044		5/8" X 2-1/4" A325 BOLT ASS'Y-HDG PAILS	152	EA	66.42	LB		
Page Sub Total Weight (not 5.)						268.02			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						268.02			

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
3	9.912.2		ABOVE GRADE GROUNDING MATERIAL						
	1303110		GB 26 BURNDY	3	EA	0.66	LB		
Page Sub Total Weight (not 5.)						0.66			
Page Sub Total Weight (5.)						0.00			
Page Sub Total Weight						0.66			

Attachment A - Application Packet

76

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

LotID	Part ID	Rev	Description	Ext Qty	UM	Ext Weight	UM	L	P
3	9.930.1		CELL MOUNT MATERIAL						
	3.927.0819.002	A	MOUNTING ANGLE	4	EA	180.00	LB	—	—
	3.930.0876.001	A	BACKING PLATE	16	EA	182.40	LB	—	—
	3.170483.9002.001	A	CELL BOOM	2	EA	186.20	LB	—	—
	1210010	-	3/4" X 20" HIGHTENS TIEROD FULL THD HDG	16	EA	58.08	LB	—	—
			WILLIAM B1S HIGH TENSILE TIE RODS						
			90 KSI YIELD MIN.						
			105 KSI ULTIMATE MIN.						
			FULL GALV.						
	1202182		3/4" A563 DH HEX NUT - HDG kanban	32	EA	5.89	LB	—	—
	1202213		3/4" F-436 FLAT WASHER - HDG kanban	32	EA	1.15	LB	—	—
	3.960.0196.001	A	qSMALL CLIP ANGLE	6	EA	27.00	LB	—	—
	3.960.0066.007	A	2.375" OD x 0.154" WALL x 7' PIPE	3	EA	80.49	LB	—	—
	4.963.0001.205	-	1/2" U-BOLT ASSEMBLY (2-3/8") KANBAN	12	EA		LB	—	—
	1202057		5/8" X 5-1/2" A325 BOLT ASS'Y - HDG	20	EA	14.74	LB	—	—
	5.930.0100.007		MD (3-1/2x52) 1' V-S/O; 4MBA	1	EA		LB	—	—
	3.930.0341.001	B	1' VERTICAL S/O (3-1/2" X 52")	1	EA	55.97	LB	—	—
	5.963.0001.210	-	MEDIUM BACKING 'B' ASSEMBLY	4	EA		LB	—	—
	3.963.0209.001	A	MEDIUM BACKING CHANNEL	M	EA	22.40	LB	—	—
			STAMP PART NUMBER						
	4.963.0019.213	-	1/2" X 13" GALV THREAD ROD ASS'Y	M	EA	7.20	LB	—	—
	1202021	-	1/2" X 1-1/2" A325 BOLT ASSY-HDG PAILS	M	EA	1.70	LB	—	—
			800 PER PAIL						
			ASSEMBLY:						
			1 x 1202251						
			1 x 1202211						
			1 x 1202180						
	5.960.0010.018		MEDIUM 18" ADJ. PARALLEL CLAMP ASS'Y	2	EA		LB	—	—
	3.963.0209.001	A	MEDIUM BACKING CHANNEL	8	EA	22.40	LB	—	—
			STAMP PART NUMBER						
	4.963.0019.218	-	1/2" X 18" GALV THREAD ROD ASS'Y	4	EA	4.80	LB	—	—
	1201120	-	1/2" HEX NUT GR. 5 - HDG RACK	8	EA	0.29	LB	—	—
	1201121	-	1/2" LOCK WASHER GR. 5 - HDG RACK	8	EA	0.08	LB	—	—
	1201122	-	1/2" FLAT WASHER GR. 5 - HDG RACK	8	EA	0.16	LB	—	—
	3.960.0066.004	A	2.375" OD x 0.154" WALL x 4' PIPE	1	EA	15.33	LB	—	—
Page Sub Total Weight (not 5.)						760.88			
Page Sub Total Weight (5.)						114.99			
Page Sub Total Weight						875.87			

Attachment A - Application Packet

77

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
3	9.930.2		CELL MOUNT MATERIAL						
	5.930.0100.007		MD (3-1/2x52) 1' V-S/O; 4MBA	4	EA			—	—
	3.930.0341.001	B	1' VERTICAL S/O (3-1/2" X 52")	4	EA	223.88	LB	—	—
	5.963.0001.210	-	MEDIUM BACKING 'B' ASSEMBLY	16	EA			—	—
	3.963.0209.001	A	MEDIUM BACKING CHANNEL	M	EA	89.60	LB	—	—
			STAMP PART NUMBER						
	4.963.0019.213	-	1/2" X 13" GALV THREAD ROD ASS'Y	M	EA	28.80	LB	—	—
	1202021	-	1/2" X 1-1/2" A325 BOLT ASSY-HDG PAILS	M	EA	6.78	LB	—	—
			800 PER PAIL						
			ASSEMBLY:						
			1 x 1202251						
			1 x 1202211						
			1 x 1202180						
	5.960.0010.018		MEDIUM 18" ADJ. PARALLEL CLAMP ASS'Y	8	EA			—	—
	3.963.0209.001	A	MEDIUM BACKING CHANNEL	32	EA	89.60	LB	—	—
			STAMP PART NUMBER						
	4.963.0019.218	-	1/2" X 18" GALV THREAD ROD ASS'Y	16	EA	19.20	LB	—	—
	1201120	-	1/2" HEX NUT GR. 5 - HDG RACK	32	EA	1.15	LB	—	—
	1201121	-	1/2" LOCK WASHER GR. 5 - HDG RACK	32	EA	0.32	LB	—	—
	1201122	-	1/2" FLAT WASHER GR. 5 - HDG RACK	32	EA	0.64	LB	—	—
	3.960.0066.006	A	2.375" OD x 0.154" WALL x 6' PIPE	2	EA	46.00	LB	—	—
	3.960.0066.004	A	2.375" OD x 0.154" WALL x 4' PIPE	2	EA	30.66	LB	—	—
			Page Sub Total Weight (not 5.)			76.66			
			Page Sub Total Weight (5.)			459.97			
			Page Sub Total Weight			536.63			

Attachment A - Application Packet

70

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>E</u>	<u>L</u>
3	9.936.1		ANTI-CLIMBER MATERIAL						
	4.936.0023.001		INTERIOR APEX ANGLE LADDER ANTI-CLIMBER	1	EA				
	3.936.0003.001	A	GATE	1	EA	21.00	LB		
	3.936.0003.102	A	SCREEN	1	EA	42.00	LB		
	3.936.0003.003	A	SCREEN	2	EA	16.80	LB		
	3.939.0092.001	A	MOUNTING CLIP	4	EA	8.00	LB		
	3.936.0003.005	A	CLIP	4	EA	2.12	LB		
	3.936.0003.006	A	CLIP	4	EA	1.68	LB		
	3.936.0097.001	A	MOUNTING BRACKET	4	EA	12.00	LB		
	4.963.0001.080	-	1/2" J-BOLT - HDG	8	EA				
	1202020		1/2" X 1-1/4" A325 BOLT ASS'Y - HDG	9	EA	1.79	LB		
	1202021		1/2" X 1-1/2" A325 BOLT ASSY-HDG PAILS	5	EA	1.06	LB		
			800 PER PAIL						
			ASSEMBLY:						
			1 x 1202251						
			1 x 1202211						
			1 x 1202180						
	1202022		1/2" X 1-3/4" A325 BOLT ASS'Y-HDG PAILS	24	EA	5.40	LB		
	1202180		1/2" A563 DH HEX NUT - HDG	3	EA	0.19	LB		
	1202211		1/2" F-436 FLAT WASHER - HDG RACK	5	EA	0.10	LB		
	3.963.0700.003	A	3/16" THK 1 HOLE SPACER (9/16" DIA)	20	EA	4.40	LB		
	2203031		#3 KALH MASTER PADLOCK	1	EA	0.44	LB		
	2203010		3/16" GR. 30 GALVANIZED CHAIN	2	FT	0.78	LB		
			Page Sub Total Weight (not 5.)			117.76			
			Page Sub Total Weight (5.)			0.00			
			Page Sub Total Weight			117.76			

Attachment A - Application Packet

70

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

<u>LotID</u>	<u>Part ID</u>	<u>Rev</u>	<u>Description</u>	<u>Ext Qty</u>	<u>UM</u>	<u>Ext Weight</u>	<u>UM</u>	<u>L</u>	<u>P</u>
3	9.939.1		W/G MATERIAL						
	5.939.0030.022		SM T-STYLE TX BRKT; 8 LINE; SBPB	20	EA			—	—
	3.939.0158.007	A	SMALL T-STYLE BRACKET - 8 LINES	20	EA	164.00	LB	—	—
	5.963.0001.002	-	SMALL BACKING PLATE 'B' ASS'Y	20	EA			—	—
	3.963.0182.001	-	SMALL BACKING PLATE	M 20	EA	32.00	LB	—	—
			FORMED						
	4.963.0019.210	-	1/2" X 10" GALV THREAD ROD ASS'Y	M 40	EA	30.00	LB	—	—
			2 flat washers, 2 lock washers, 2 nuts						
			Page Sub Total Weight (not 5.)			0.00			
			Page Sub Total Weight (5.)			226.00			
			Page Sub Total Weight			226.00			

Attachment A - Application Packet

00

Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

LotID	Part ID	Rev	Description	Ext Qty	UM	Ext Weight	UM	L	P
3	9.963.3		MISC. MATERIALS - ABOVE GRADE						
	4.963.0031.001		NAME PLATE KIT	1	EA				
	1209069		#6 X 3/8" U DRIVE SCREW STN.STL	4	EA				
	2208001	A	NAME PLATE 3.00 X 3.00 ALUMINUM .025 BLACK INK, ONE SIDE	1	EA	0.02	LB		

JOB NO: 170483
HEIGHT: 61.75'
TYPE: KDSS
STANDARD: TIA-222-H
WIND: 60 mph
ICE: 1 inch
INSTALLED: 2021

Page Sub Total Weight (not 5.) 0.02
Page Sub Total Weight (5.) 0.00
Page Sub Total Weight 0.02

Attachment A - Application Packet

01

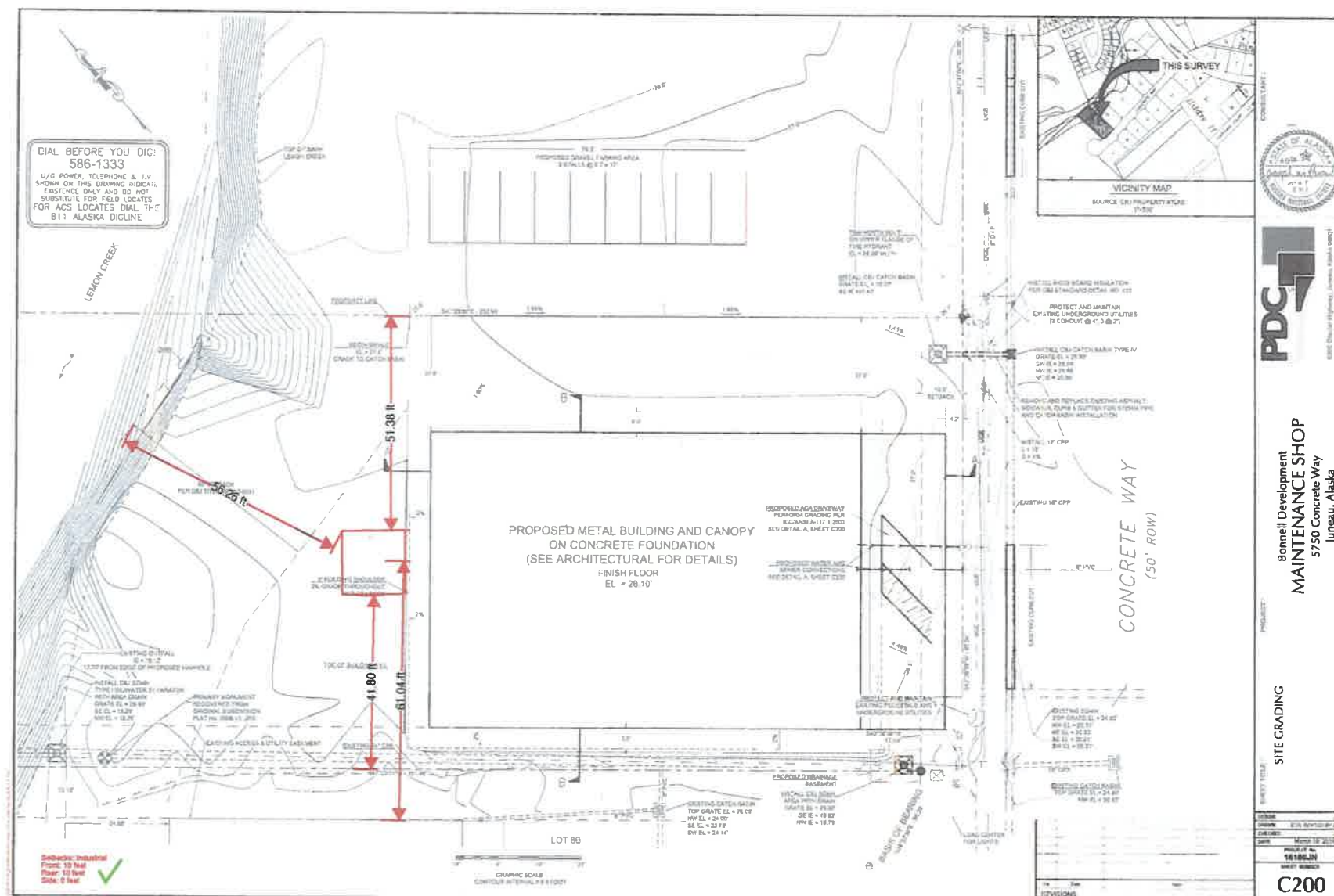
Section H, Item 3.

Job Number :170483-62ft Straight KDSS Angle-Leg

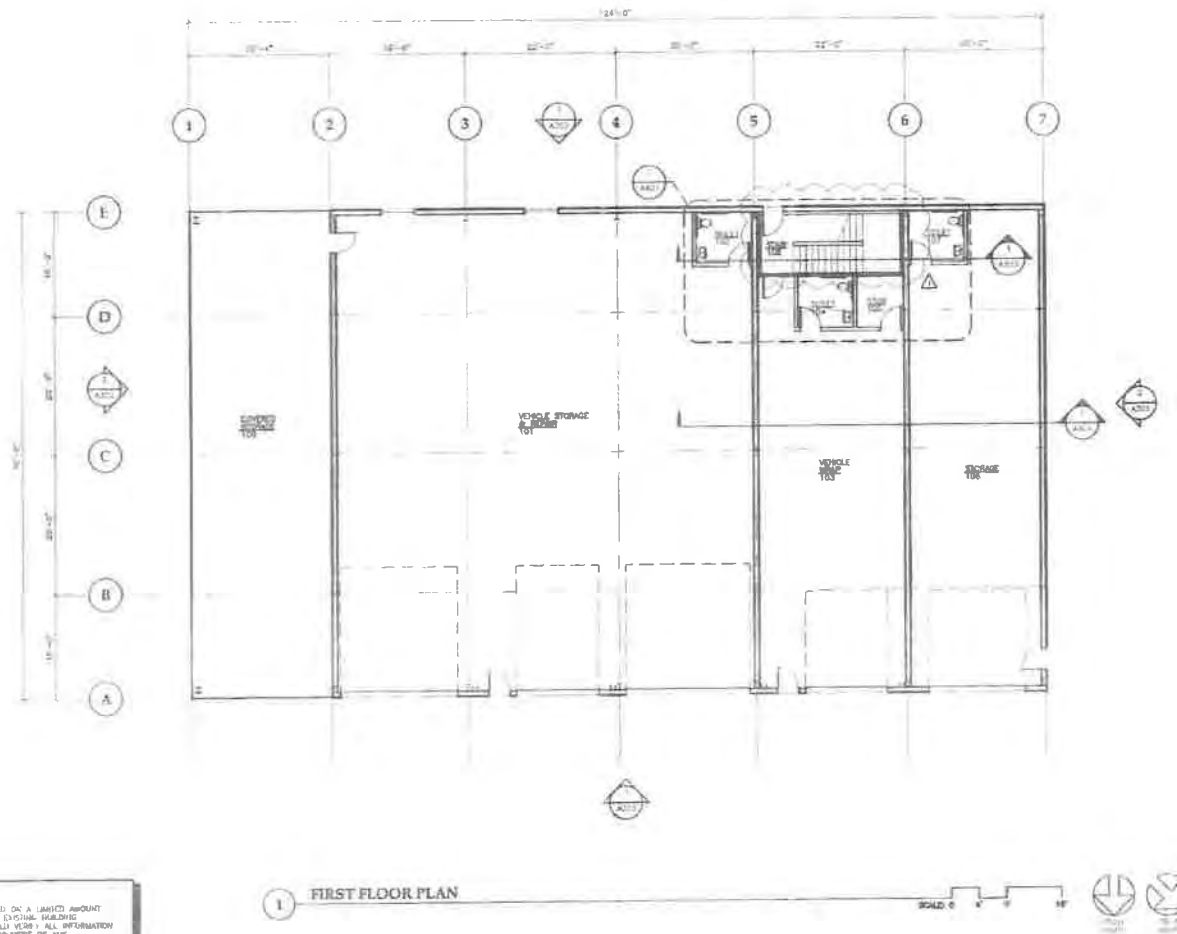
LotID	Part ID	Rev	Description	Ext Qty	UM	Ext Weight	UM	L	P
4	9.957.1		SAFETY MATERIAL						
	4.99.0300.000		100' 3/8" COUGAR CABLE KIT (NO SLIDER)	1	EA			—	—
	1705118	-	100 FT 3/8" SAFETY CABLE ASS'Y KANBAN C/W 3/8" THIMBLE & COMP. SLEEVE ONE END MTR to be delivered with all Safety Cables. Must meet the requirements as per CSA Standard Z259.2.5-12 Clause 4.5b, with a tensile strength of not less than 27 kN (6000 lbs.).	1	EA	24.30	LB	—	—
	9.963.4	-	INSTALLATION DRAWINGS	1	EA			—	—
	4.99.0203.000	-	STANDARD MOUNTING KIT	1	EA			—	—
	1705050	-	1/2" BOLT TYPE ANCH SHACK HDG W/LOC PIN *****OTHER*****	M	EA	0.73	LB	—	—
	1601092		3/8" H THIMBLE - HDG CROSBY	M	EA	0.22	LB	—	—
	1705020	-	3/8" U-BOLT" CLIP - HDG - OTHER	M	EA	1.32	LB	—	—
	1705040	-	1/2" X 12" J/J TURNBUCKLE - HDG OTHER	M	EA	2.31	LB	—	—
	2.85.0007.001	A	TENSION SPRING MATERIAL TO BE 302 S.S. MANUFACTURED SPRING TO BE RATED AT 130 LBS/IN	M	EA			—	—
	3.957.0071.001	A	SAFETY CABLE SUPPORT PLEASE SEND MATERIAL CERTS. WITH THESE PARTS.	M	EA	14.60	LB	—	—
	3.85.0026.003	-	BACK PLATE FOR CABLE SUPPORT-HDG	M	EA	2.00	LB	—	—
	1201136	-	1/2 X 2-1/2 HEX HEAD BOLT GR. 5 HDG RACK	M	EA	1.07	LB	—	—
	1201120	-	1/2" HEX NUT GR. 5 - HDG RACK	M	EA	0.29	LB	—	—
	1201121	-	1/2" LOCK WASHER GR. 5 - HDG RACK	M	EA	0.08	LB	—	—
	3.957.0060.001	B	TOP BRACKET PLATE	M	EA	1.20	LB	—	—
	1201350		1/2"X3"HX HD BOLT GR5FULL THRD HDG RACK	M	EA	0.41	LB	—	—
	4.99.0204.000	-	STAND-OFF BRACKET ASSEMBLY	3	EA			—	—
	3.85.0034.001	-	STAND-OFF BRACKET	M	EA	1.50	LB	—	—
	3.85.0012.001	-	RAIL CLAMPING BAR REFERENCE TRYLON DRAWING NO. 850012, REVISION B	M	EA	0.75	LB	—	—
			MOQ 10,000 PC						
	1201300	-	3/8"X2"HX HD BLT GR5 FULL THRD HDG RACK	M	EA	0.42	LB	—	—
	1201050	-	3/8" HEX NUT GR. 5 - HDG RACK	M	EA	0.12	LB	—	—
	1201051	-	3/8" LOCK WASHER GR. 5 - HDG RACK	M	EA	0.03	LB	—	—
	1702023		SAFETY CABLE METAL LABEL COUGAR REVISED SIZE: Quote #: S15-3015 2 5 X 5 (REVISED 1702023 PLATE) 2 SIDES 032 NATURAL ALUMINUM.	1	EA			—	—
			OLD SPEC 2 69 X 10 19 ALUMINUM .025 Die Cutting Quote # S13-1599						
	1404009		TY-RAP; 1/4" x 8" LG BLACK UV STD PACKAGES OF 100	2	EA	0.04	LB	—	—
			8" 50lb Tensile UV Resistant Black Nylon 6.6 Power Phase[REG] Locking Cable Tie						
	BOX-32106.5		32" X 10" X 6.5" CORRUGATED BOX 12"L X 8"W X 4"H ASTM D5118, D3951	1	EA		LB	—	—

WCF CHECKLIST DESIGN ITEMS NO. 11-13

11. Site plan showing Site size and dimensions, and all existing and proposed structures, buildings, fences (their height) and landscaping.
12. Proposed WCF type and design, lighting, height above grade, material, number of, color, any accessory structures, and number of collocations it can accommodate, if applicable.
13. Location of any dwelling(s) within distance of tower equal to the height of tower (if applicable).





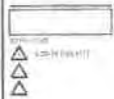


RECEIVED
APR 20 2018
PERMIT CENTER/CDD

**Jensen
Yorba
Lott
Inc.**
522 West 10th Street
Juneau, Alaska 99801
Phone 907-586-1070
Fax 907-586-3959
jensenyorbalott.com



Bonnell Development
MAINTENANCE SHOP
5750 Concrete Way
Juneau, Alaska



SHEET 1 OF 1
FIRST FLOOR
PLAN

DATE: February 28, 2018
FILE: 1704

A201

Concrete way com tower

Submittal Requirements

- 1
- 2
- 3
- 4
- 5. Festus LaChester IV 8350 River pl Juneau AK 99801 - LFMservicesllc@gmail.com -907-957-2375
- 6. Property & Facility owner -Central Council of Tlingit & Haida 9097 Glacier Hwy Juneau Ak 99801 Applicant - Central Council Of Tlingit & Haida 320 W. Willoughby Juneau Ak 99801
- 7. Postal address - 5750 Concrete Way Juneau AK 99801
- 8. Zoning - I Industrial
- 9. Property size in sq ft 27,550 sq ft lot line dimensions - + diagram showing location of all lot lines
- 10. There are no houses / dwelling within a radius equal to the height of the proposed tower from its base.
- 11. Need location, Size and height of all structures on the property
- 12. Need Location ,size and hight of proposed and existing antennas and all appurtenant structures
- 13.Type, locations and dimensions of all proposed and existing landscaping and fencing.
- 14. The number, type and design of the WCFs proposed and the basis for the calculations of the capacity to accommodate multiple collocations;
- 15.
- 16.
- 17
- 18

Submittal requirement #1 - A new non-concealed freestanding tower requires a- Detailed explanation justifying why a co -location or concealed tower is not technically feasible or commercial impractical.-

Having the Emergency First Responder Communications tower anywhere besides next to the Emergency Operations Center would be a financial hardship on the Tribal council , connecting the tower to the secured transmitting equipment would be impossible if it was anywhere else , There will be not utilities connected with this tower so the coaxial cables will be bundled and go from the tower to the building at the 30' level that be said the tower will be 5' from the building to

accommodate the needs of the Emergency Operations center for all of the villages and small communities in Southeast Alaska.

Submittal requirement #2

A narrative explaining why the new non-concealed tower should be approved as proposed -

Having the Communication tower next to the Emergency Operations Center will serve the Tribal Councils needs best. Putting the tower in any other location would not be cost efficient for the Tribal Council and the communities that they serve.

Submittal requirement #3

A Narrative explaining compliance with CBJ 49.65.930.

- A. Concealed and non-concealed Antenna
 - Some Antennas mounts will be flush mounted. However, some will need to have stand-off brackets to isolate the antennas from the tower structure.
 - The coaxial cables will be bundled and attached to one leg of the tower.
- B. Security of WCFs. All WCFs shall be located, fenced or otherwise secured in a manner that prevents unauthorized access.
 - An anti-climb shield will be attached at the base of the tower.
 - The transmitting e equipment will be installed inside the Emergency Operations Center in a secured environment.
- C. Signage.
 - There will be no shelter or cabinets outside of the E.O.C. building. Such sign can be attached to the tower if required
- D. Lighting
 - Lighting, nor FAA notification is not required.
- E. Design Criteria
 - This Tower is 60 feet tall
 - There will be no utilities connected with this tower. The coaxial cables will be bundled and go from the tower to the building at the 30' level. The Tower will be 5 feet from the building .
 - The tower will be gray galvanized in an industrial area.
 - The Tower is self-supporting. There will be no guy wires.
- F. Setbacks.
 -
 - ~~The tower is not constructed of breakpoint design.~~
 - There will be no appurtenant structures

G. WCFs shall not significantly affect natural areas or land designated as natural area park or scenic corridor/viewshed as identified in comprehensive plan of the city and borough of Juneau.

- NO

H. Master Plan

I. Visibility

- The tower will be located 5 feet next to the building housing the E.O.C. the tower will extend above the building by 25ft in an industrial area
- This is an industrial area and there is a cell tower across Concrete Way

J. Structural assessment

- We have provided the tower/foundation drawings that are certified by the engineers for the tower manufacturer.

Wireless communication Facility Application
For
T&H Com Tower on concrete way

1. Completed Building Permit Application - Not needed
2. Completed WCF Application - See Attachment #1 -
3. Completed Development Permit Application - see Attachment #2
4. Fees-
5. A statement certifying that radio frequency emissions from antenna array(s), both individually and cumulatively, will comply with FCC standards : Statement from Chris John - See Attachment #3
6. Site address and CBJ parcel identification number (tax ID) :
 - A. Address 5750 concrete way
 - B. Tax ID - 5B1201060171
7. Site size and dimension:- Size - 27,550 square feet See attached plan.
8. Site plans : see Attachment #4
9. Proposed WCF type and design , lighting, hight above ground, Material, number of , color, any accessory structures, and number of collations it can accommodate, if applicable.
 - A. WFC- type: Emergency First Responder Communications VHF/UHF
 - B. Lighting: - not needed
 - C. Hight above grade: - 61.75 '
 - D. Material: Galvanized steel and concrete foundation
 - E. Number of: 1 tower
 - F. Color: Gray
 - G. Any accessory structures: no
 - H. Number of collocations: none
10. Certification that proposal complies with applicable laws pertaining to service offered- See Attachment #5
11. The following documents from licenced Alaska Professional Engineer:- See Attachment #6
 - a. Signed and stamped letter indicating the proposed WCF will be constructed, repaired, modified or restored in compliance with all current applicable technical, safety, and safety-related laws of the CBJ, State of Alaska, and Federal government.
 - b. Signed and stamped letter indicating the proposed WCF is in compliance with industry practices of National Association of Tower Erectors
12. Letter indicating compliance with FAA regulations in 14 CFR Part 77 - See Attachment #7

13. Location of dwellings within distance of tower equal to the height of tower, disclosure of any agreements which limit and/or preclude the proposed WCF from being shared with new WCFs - NONE
14. Signed and stamped letter from a licensed Alaska Professional Engineer indicating the foundation and attachments meet EIA/TIA 222 G and local building code structure requirements for loads, including wind, snow and ice (this shall also address the total number of required accommodated collocations, when applicable) See Attachment #8
15. A narrative describing compliance with subsections under 49.65.930:

Concealed and non-concealed Antenna- Some of the antenna mounts will be flush mounted. However, some will need to have stand-off brackets to isolate the antennas from the tower structure. The coaxial cables will be bundled and will be attached to one leg of the tower.

Security - There will be a lock cage on the ladder, Video surveillance, and controlled access. Only authorized personnel access is allowed. The transmitting equipment will be installed inside the Emergency Operations Center in a secured environment.

Signage - There will be no signs on this WCF. There will be no equipment shelters or cabinets on site

Lighting- There will be no lighting on this WCF. There are no lighting requirements from the FAA.

Design criteria - This Tower is 60 Feet Tall. There will be no utilities connected with this tower. The coaxial cables will be bundled and go from the tower to building at the 30' level. The tower will be 5 feet from the building. The tower will be gray galvanized steel in an industrial area. The tower is self supporting and has no guy wires.

Setbacks- This tower is over 60 ft away from any other buildings besides the EOC building. ~~This WCF is not constructed of breakpoint design.~~ There will be no appurtenant structures.

View shed - This WCF will have little to no impact on the scenery or any significant effects to the community as it is smaller than the other cell or WCF towers in the area. It will be significantly hidden from the road, because it is behind the EOC facility.

Affects to mapped - This WCF should not affect the maps at all.

Master plan - The WCF master plan has been thoroughly read and will be followed as a guide line for this WCF that is being used for the Tlingit And Haida emergency operations for Public safety. So that the surrounding rural villages can get emergency services when they need it.

Viability- The tower will be located 5 feet next to the building where E.O.C is housed. The tower will extend above the building by 25ft in an industrial area. This is an industrial area and there is a cell tower across the street on Concrete Way.

Structural assessment - There is a signed letter from engineers that inspected the tower after assembled and the owner EOC (Central council of Tlingit & Haida) and will maintain and submit assessment every 5 years by July 1st.

16. Visual Impact Study consisting of: See Attachment #9

- A. Zone of Visibility Map
- B. Analysis demonstrating how proposed WCF will be sited to be of least adverse impact on environment and its character while meeting applicant's network objectives
- C. Illustration showing before and after views of proposed WCF from roadways, parks, public lands, historic districts and any other location where the site is visible to many people
- D. Description of visual impact - This is an industrial area and there is a cell tower across from Concrete Way.
- E. Narrative or drawing describing how the base tower and accessory structures will be screened from view - The tower will be located 5 feet next to the building housing the E.O.C. The tower extends above the building by 25ft in an industrial area.

17. For lighted tower: No lighting proposed

18. Narrative indicating that design height is the minimum necessary for effective functioning of the provider's network- This tower is the minimum height it can be for the Attached antennas to receive the signals to communicate with the rural villages for emergencies,

19. Visual impact assessment according to 49.65.970(c)(2)(B) See Attachment #10

20. Ballon test according to 49.65.970 (c) (2)(D)- See attachment See Attachment #11

21. Propagation study - See Attachment #12

WCF CHECKLIST NARRATIVE ITEMS NO. 14-16

14. Narrative.
15. Description of how the design height is the minimum necessary for effective functioning of provider's network.
16. For lighted towers:
 - Description of type of light and how it complies with 49.65.930(d) (if required by FAA, the minimum intensity allowed by FAA).
 - How it will not project directly onto adjacent surrounding property (use of buffers, louvers, etc.).

I. INTRODUCTION

Central Council of the Tlingit & Haida Indian Tribes (Tlingit & Haida Indian Tribes), Public Safety Department is requesting a Special Use or Conditional Use Permit to install a new 61.75' high Trylon KDSS Radio Communication Tower (the Project).

The radio tower will be installed at 5750 Concrete Way at the Tlingit & Haida Indian Tribes, Tribal Emergency Operations Center in Juneau, Alaska.

The base for the tower has already received approval from the City and Borough of Juneau and this application is for the tower component.

II. PROJECT LOCATION

The Project is located in the Lemon Creek industrial area on the west side of Concrete Way. The parcel and surrounding neighborhood is zoned Industrial. The character of the area is flat terrain within a largely developed area of metal buildings, industrial use, storage, and some commercial/retail. The area has typical aesthetics and characteristics of a working industrial neighborhood with noise, dust, and associated visual impacts. Limited pockets of native vegetation including trees are located along Lemon Creek and undeveloped parcels where native vegetation has reestablishing itself. The Project site is a large flat gravel lot with a large metal building. The tower would be located on the west side of the structure with only the upper portion of the tower seen above the roof line. Native trees (up to 75 feet tall) are located to the west of the property and along both streambanks of Lemon Creek. Three other permitted towers (by others) are found in the vicinity and within the Industrial zoned neighborhood.

III. PROJECT SITE SELECTION

The site was selected due to the existing location of the Tlingit & Haida Indian Tribes, Tribal Emergency Operations Center at 5750 Concrete Way. The surrounding flat open terrain supports the operation of low wattage radio communication.

IV. PROJECT DESCRIPTION

This Southeast Alaska regional project was originally funded by the Centers for Disease Control and Prevention (CDC) to respond to the communication needs as a result of COVID-19 and establishing effective communication between Southeast Alaskan Tribal communities. The project has been expanded to develop and improve emergency communications between Tribal villages and the Tribal associations and emergency/first response providers. To meet this need, a new radio communication system will connect remote communities through the monitoring of established frequencies and creating new communication links to allow real time communications with the Village Public Safety Officer Program (VPSO) and Tribal communities. The system uses low wattage mobile radio communication system of 60 watts or less and would be monitored by the US Coast Guard (USCG) 24/7 through their command center. The project has been identified as a high priority by USCG, VPSO, and Tribal communities. This radio communication system is expected to link 25 communities in Southeast Alaska and provide a critical needed communication link to improve health, safety and welfare for these communities.

Tlingit & Haida Indian Tribes proposed to construct a new 61.75' high Trylon KDSS radio communication tower on the west side of their existing metal building. The tower would provide the structure needed for the low wattage radio antennas.

V. INFRASTRUCTURE CONSIDERATIONS

Water and Wastewater

The proposed Project does not require a water connection or Borough service. The requested use will not generate a need for wastewater disposal.

Roadway and Access

The facility access is off of Concrete Way and through the site managed by Tlingit & Haida Indian Tribes. No additional traffic impacts would result once construction is completed.

Fire and Police

Fire and Police will not be negatively impacted, rather service improved for the twenty-five communities served by the communications link.

Other Utilities

Power and telephone service are existing on the property.

VI. HISTORICAL and CURRENT STATUS

The Project location houses the Tribal Emergency Operations Center at 5750 Concrete Way in the existing metal building owned and managed by Tlingit & Haida Indian Tribes. Prior to construction of the building, the site was undeveloped. The site is zoned Industrial and historically surrounded by the community's core industrial area with high impact industrial operations occurring in the vicinity of the Project.

VII. ENVIRONMENTAL CONSIDERATIONS

General Description

The facilities will not create unusual noise, traffic or other conditions or situations that may be objectionable, detrimental, or incompatible with the other permitted uses already found in the vicinity.

Flora and Fauna

The vegetation on the property consists entirely of native vegetation consistent within a recently developed site that has been cleared, regraded, and left to allow natural succession of plant communities. A majority of the native vegetation has already been removed as part of previous development of the site. The new tower would not remove additional vegetation other than native herbaceous material adjacent to the building for construction of the base and tower.

Native vegetation is found along the adjacent Lemon Creek to the west. Lemon Creek is an anadromous waterbody and is protected by the City and Borough of Juneau (CBJ). The CBJ streamside setbacks prohibit development within 50 feet of the banks of anadromous streams [CBJ 49.70. 310(a)(4)] and prohibit disturbance within 25 feet. The Project is located outside these stream setbacks and would not

impact vegetation within the protected areas. The CBJ Wetlands Atlas does not indicate the presence of wetlands within the uplands area or at the Project location.

Mammals that may be found include small rodents, members of the weasel family, porcupine, and bear passing through the site. Birds may include song birds, eagles, crows and ravens, gulls, and other native birds. The US Fish and Wildlife Service's Alaska Bald Eagle Nest Sites GIS map indicates no catalogued eagle nests in the immediate area of the Project.

The radio tower will not result in impacts related to erosion, increased run-off, or result in point source pollution to the surrounding landscape. There will be no additional environmental impacts as the site is already cleared and disturbed from its natural state.

Visual

Based on the visual simulations and balloon study, there will not be any significant visual impact to the site or neighborhood due to the existing surrounding industrial development and its existing visual impacts. The lower portion of the tower (35 feet) will be obscured by the existing metal building immediately adjacent to the tower. The remaining structure that is visible will be constructed of a light weight metal structure lacking bulk and mass within the landscape making it less obvious. The cool gray colored galvanized finish will reduce visual impacts and eliminate the opportunity for 'glint' and 'glare' from reflected sunlight on shiny surfaces. Additionally, there are numerous existing vertical structures in the immediate area including permitted cell towers, construction cranes, and other industrial development typical of the neighborhood. As a viewer moves further from the radio tower, its light weight structure and cool gray color will diminish the visual impacts upon the landscape. There is no light on the tower and at night there would be no visual impacts.

To the west and on the other side of Lemon Creek is a high-density residential neighborhood. Zoned D-15, this neighborhood would have some visual impacts from the Project. The existing vegetation along Lemon Creek and within the stream setbacks includes taller cottonwoods, alders and spruce (75 feet and less) and will provide some visual buffer of the tower from the adjacent residential neighborhood. This neighborhood is currently experiencing some visual impacts from the adjacent industrial development to the east of Lemon Creek and the visual impacts from the radio tower would not be inconsistent with the existing conditions.

Air Quality/Noise

The facility will have no long-term impacts on the air quality and ambient noise levels in the area beyond construction.

VIII. PLANNING AND LAND USE CONSIDERATIONS

Surrounding Land Uses

The site and area surrounding this parcel is zoned Industrial (I). To the west and across Lemon Creek is a D-15 neighborhood, to the north and across Glacier Highway the land is zoned General Commercial (GC). The site is within a larger expanse of industrial neighborhood. Much of the land is already developed.

Access to the site is via Concrete Way off of Glacier Highway. There will be no increase in traffic as the facility is unmanned. Development is consistent with the Industrial Land Use.

The Project is not located within the required CBJ property line setbacks for Industrial zoned land. The CBJ 49.25.400 - Minimum dimensional standards for the site is ten-feet from the property line for the front, rear, and street side, and zero feet for the side yard.

There are no parks, trails or other designated special use or sensitive landscapes or ecosystems identified in the immediate vicinity of the project that would be impacted by this Project.

All of the improvements are designed and constructed in accordance with the Telecommunications Act of 1996 (47 U.S.C. 332(C)), as amended, and the Federal Communication Commission's guidelines. The subject antenna and related equipment have been designed to comply with, and do comply with, all FCC guidelines.

IX. JUSTIFICATION FOR THE REQUEST

This Project will allow for the much-needed emergency communications between twenty-five Southeast Alaskan communities and emergency/first response providers. The radio communication link allows critical real time communications with the Village Public Safety Officer Program and Tribal communities to respond to emergencies through monitoring by the USCG, 24/7. The Project has been identified as a high priority by USCG, VPSO, and Tribal communities. This Project meets a much-needed priority to respond to health, safety and welfare issues in the region. The new radio tower facilitates the communication between the communities through the use of dependable and simple low wattage mobile radio links.

The proposed development will have no significant negative impact on the area. The facility is:

- Compatible with the existing uses in areas on and around the site;
- Does not have substantial negative impacts on scenic or open space resources within the area; and,
- Will not increase impacts to the landscape, ecosystems and natural environment. The facility has no significant adverse effects on recreational, historic or economic resources and will not create any greater impacts than those already existing.

X. CONCLUSION

Communication towers have become a common sight within our communities to meet the growing demand and where carriers strive to provide a consistent high-quality level of service. These typically are located within neighborhoods where existing impacts are currently occurring or the impacts are not significant including within areas zoned for industrial use. This Project provides a much-needed communication link currently not available using a tower structure consistent with others already permitted within the City and Borough.

To summarize, this proposed Project:

- Is not detrimental to persons or property, rather improves regional public safety;
- Is consistent with those found in lands zoned Industrial;
- Does not cause substantial environmental consequences;
- Is consistent with existing conditions already found within the immediate vicinity;
- Use is consistent with the intent of the telecommunications facilities code;

- The location of this facility is necessary to achieve its management due to existing Operations Center on site and to provide conditions to support a communication link regionally; and,
- The height of the antennas is the minimum necessary for the effective communication link to achieve the necessary coverage.


WCF CHECKLIST ADDITIONAL STUDIES ITEMS NO. 17-19

- 17. Visual Impact Study.
- 18. Balloon Test.
- 19. Propagation Study.

Untitled Map

Write a description for your map.

Legend

 T&H safety operations center

00

Section H, Item 3.



Google Earth

Image © 2022 Maxar Technologies

Image Landsat / Copernicus

200 ft

204



Untitled Map

Write a description for your map.

Legend



T&H safety operations center

100

Section H, Item 3.



T&H safety operations center

Google Earth

Image © 2022 Maxar Technologies

100 ft



205

7/14/2016

CBJ GIS property map - prototype Javascript browser with parcel search



BEFORE



AFTER



BEFORE



AFTER







CENTRAL COUNCIL

*Tlingit and Haida Indian Tribes of Alaska***Public Safety Department • Tribal Emergency Operations Center**

P.O. Box 25500 • Juneau, Alaska 99802 • 907.463.7730

To: Jill Maclean, Director of Community Development
City & Borough of Juneau, Planning Department
230 S. Franklin Street • 4th floor Marine View Building • Juneau, AK 99801
(907) 586-0753 ext. 4118

From: Jason Wilson, Director of Public Safety
Central Council of Tlingit & Haida Indian Tribes of Alaska
PO Box 25500 • Juneau, AK 99802
(907) 723-7354

Re: Scheduled Balloon Test for WCF Permit.

Director Maclean,

Per CBJ ordinance 49.65.970(c)(2)(D), this letter serves as our notice to you that on Thursday, September 15th, at 4:00pm, 2022 we will be conducting a "Balloon Test" as referenced in same ordinance.

The balloon test will meet all requirements of CBJ ordinance 49.65.970(c)(2)(D) including being flown for at least 72 consecutive hours, with one 24-hour period occurring on Saturday.

Upon completion of the test, we will submit photos and a narrative describing the date, time and duration of the test.

Thank you.

Sincerely,

Jason Wilson, Director of Public Safety
Central Council of Tlingit & Haida Indian Tribes of Alaska
PO Box 25500, Juneau, AK 99802
Office: (907) 463-7731 • Mobile: (907) 723-7354
jwilson@ccthita-nsn.gov

Included for reference;

CBJ Ordinance: 49.65.970(c)(2)(D),

(D) Balloon test. In order to better inform the public in the case of a new freestanding WCF, the applicant shall, prior to the public hearing on the application, hold a "balloon test." The applicant shall arrange to fly, or raise upon a temporary mast, a brightly colored balloon at the maximum height of the proposed new tower. The balloon shall have a diameter between three and six feet and shall contain no more than 115 cubic feet of gas. The applicant shall inform the director, in writing, of the dates and times of the test at least two days in advance and shall abide by any federal law requirements. The balloon shall be flown for at least 72 consecutive hours, with one 24-hour period occurring on a Saturday or Sunday. The applicant shall submit photos of the test and a narrative describing the date, time and duration of the test.

Central Council of Tlingit & Haida Indian Tribes of Alaska
Department of Public Safety – Emergency Operations Center
 (9097 Glacier Highway, Juneau, AK 99801 • (907) 463-7732)

Wireless Communications Facility (WCF) Visualization of Balloon Test

Test Duration: September 15, 2022 at 1600hr through September 19, 2022 at 0800hr.

Height: 62 feet

Location: 5750 Concrete Way, Juneau, AK 99801

GPS: 58°21'17", -134°30'07"

Owner: Central Council of Tlingit & Haida Indian Tribes of Alaska

Index:

- 0000. Satellite Imagery of Lemon Creek Area.
- 000. Satellite Imagery of Lemon Creek Area with Compass Points.
- 00. Topographic Map of Lemon Creek Area.
- 0. Aeronautical Chart of Lemon Creek Area.

- 1. Lemon Creek Area; WCF; Photo Locations Indicated.
- 2. Lemon Creek Area; WCF; Potential Sight Line Shading (minus manmade/Vegetative obstructions).

- 3. 5750 Concrete Way; WCF Project Location; Tower Foundation Visible.
- 4. 5750 Concrete Way; View from Parking Lot.

- 5. View from 5771 Concrete Way
- 6. View from 5690 Glacier Highway parking lot

- 7. Zoomed in View from 5690 Glacier Highway
- 8. View from 5765 Glacier Hwy

- 9. View from 5586 Tonsgard Ct
- 10. Zoomed in View from 5586 Tonsgard Ct. (Gas-n-Go Fleet)

- 11. View from apx 58.35008075517797, -134.50677940211736 Egan Drive
- 12. View from apx 58.35008075517797, -134.50677940211736 Egan Drive

- 13. View from apx 58.35068106153896, -134.50767926010514 Egan Drive
- 14. View from Walmart apx 58.35841333602672, -134.5181474768718 NOT visible

- 15. View from Eagles Rest at the end of Alaway Avenue
- 16. View from Eagles Rest near 21 Gull Way

On September 12, 2022, at 1633 hours, Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) provided notice to the Director of the City & Borough of Juneau (CBJ) Planning Department of its intent to conduct a "Balloon Test" related to Wireless Communications Facility project CBJ CDD #PAC20210030 at T&H 5750 Concrete Way, Juneau, AK 99801.

On September 12, 2022, at 0817hours, Tlingit & Haida received notification from CBJ acknowledging receipt of the September 12th email.

On September 15th, 2022, at 1600 hours, Tlingit & Haida elevated a 36inch diameter yellow balloon to approximately 62 feet above ground level at the site of the proposed WCF. The balloon flew at that location through the weekend and was removed at approximately 0800 hours on September 19, 2022.

Photos were taken of the balloon from all surrounding areas where it was visible (see attached photos). Photos were also taken utilizing a Matrice 300 drone with H20N 4k camera technology to visualize the actual line of site from the top of the tower's perspective (apx 62 feet).

a. Zone of visibility.

The proposed Tlingit & Haida radio communication tower will be located at the existing Tribal Emergency Operations Center (TEOC) at 5750 Concrete way in Lemon Creek with the base of the tower ground level at 27 feet ASL and top of the tower at 61 feet AGL or 88 feet elevation ASL. This proposed WCF is on the back side of the TEOC where the bottom half of the tower would be obscured by the building. Trees and vegetation to the North would block most of the tower view from that direction. Vegetation on the West side of the landfill and distance from the WCF would block the view from Egan Drive except those three photographed locations indicated on the map if you knew where to look. The landfill itself blocks the view from Glacier Highway to the S except for the partial view of the top from Gas-n-go if you know where to look. Industrial buildings and vegetation block any view from beyond Glacier highway to the East. The balloon test was not able to be visualized at any location beyond 750 meters and was barely visible if you knew where to look at 500 meters. Three significantly taller WCFs are visible in the area of our facility. One located 500 feet from our WCF at 5751 Glacier Highway, one 900 feet from our facility at 5594 Tonsgard Ct., and one 1600 feet to the East of our facility at 5541 Glacier Highway. The tower site (though probably not the tower) would be visible from the air and within 250 meters inside the industrial area of Concrete Way. Included is a 360-degree Zone of Visibility Map which simulates the potential of the 61-foot WCF visibility from the shaded locations if man-made and vegetative obstructions were not present.

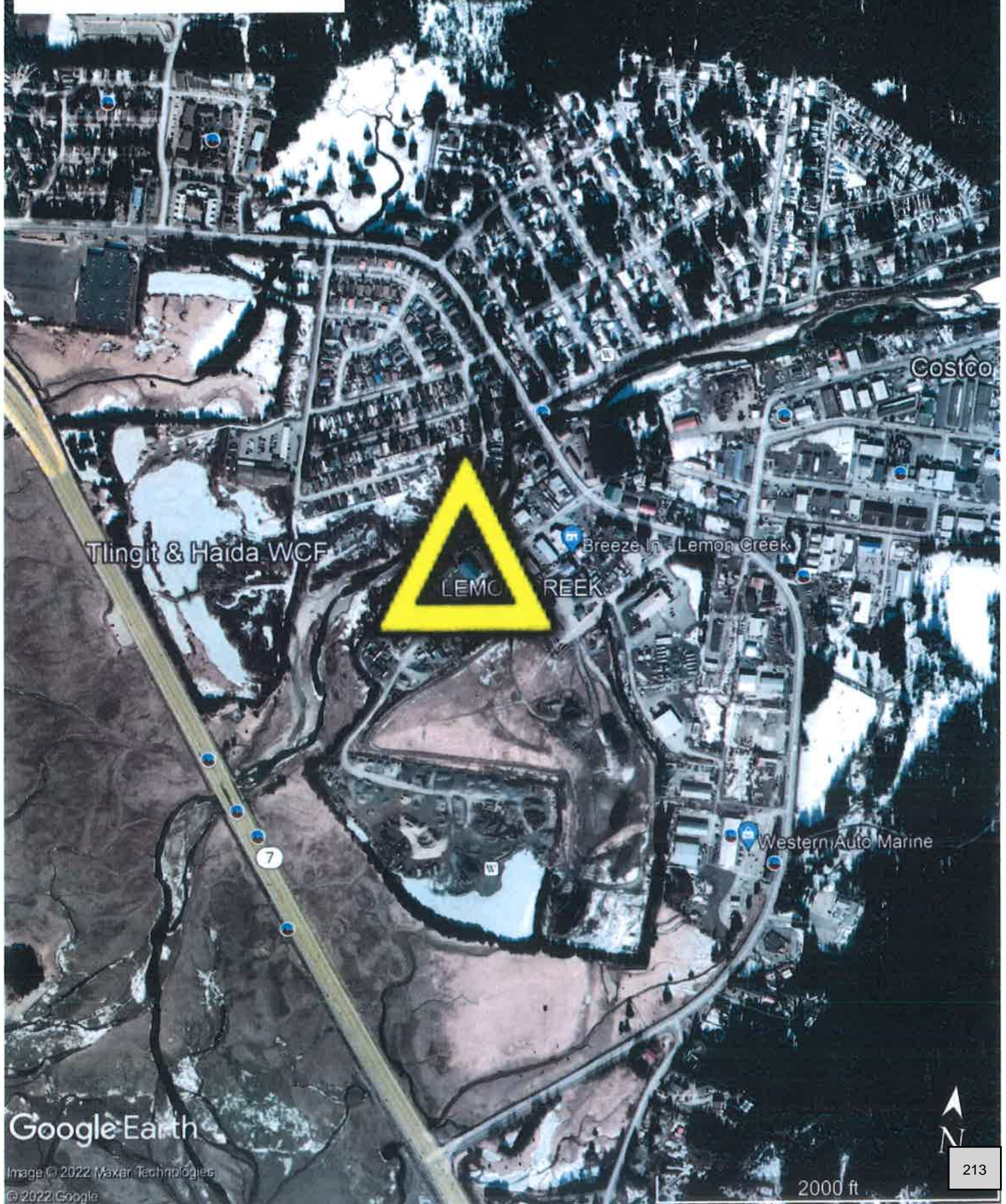
b. Analysis of WCF siting.

The proposed location of the new radio tower is in the middle of the Concrete Way industrial area closest to Agpro. Several other much taller WCF sites are located at 500, 900, and 1600 feet from our WCF location. Because of the location of our 61-foot tower behind our building next to Lemon Creek, it will be obstructed from almost all view from the North and it will blend it with the background foliage if viewed from the South. The proposed tower is a self-supporting four-foot triangular design constructed of galvanized steel. This tower will be of lattice construction and should exhibit an openness which will allow the tower to be less visible on the skyline or when viewed from afar. The gray color of the weatherized galvanizing will blend into the typical gray skies of Juneau, similar to the way grey painted air force planes are camouflaged in the sky.

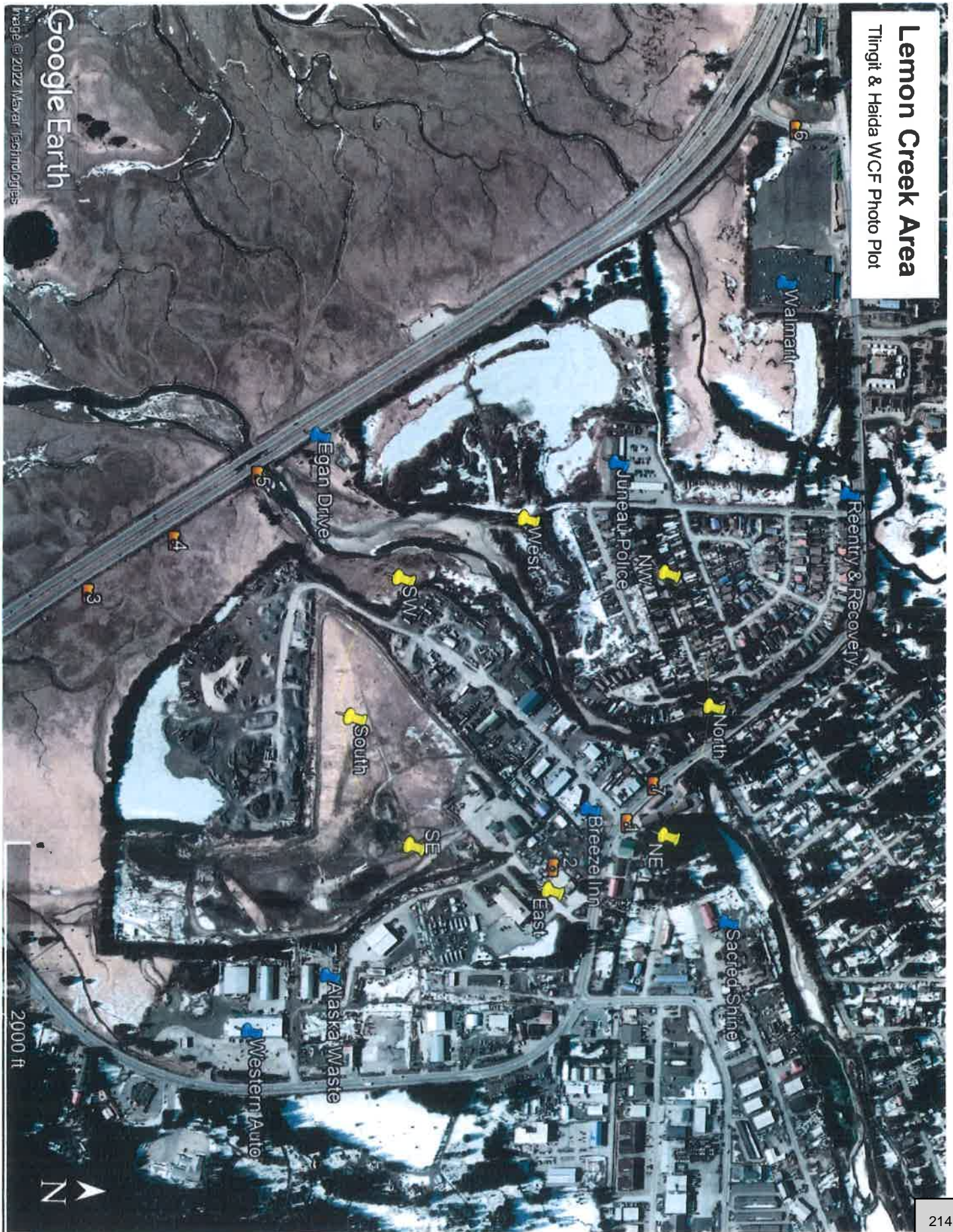
Tlingit & Haida WCF

5750 Concrete Way

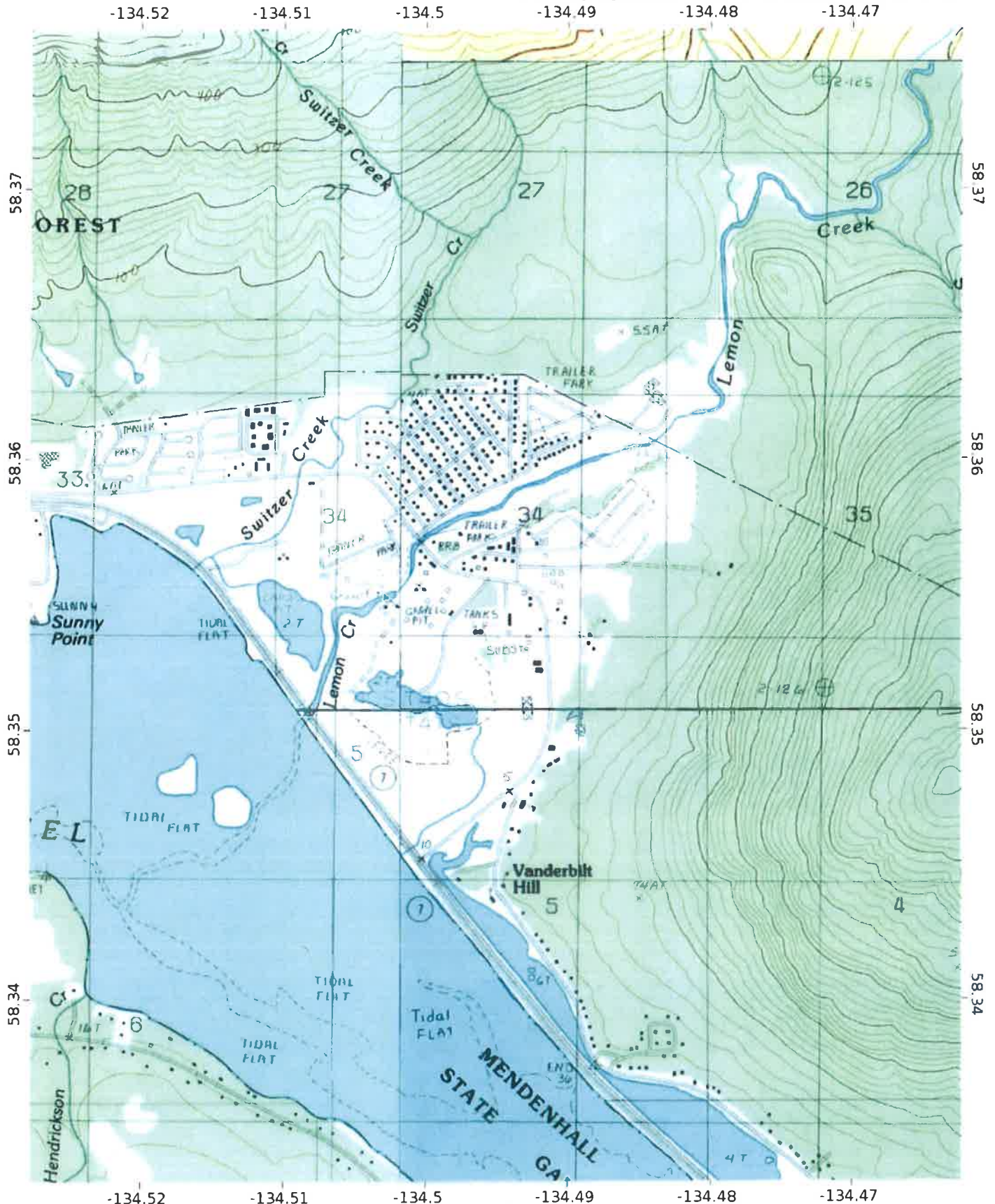
0000. Satellite Imagery of Lemon Creek Area



000. Satellite Imagery of Lemon Creek Area with Compass Points



00. Topographic Map of Lemon Creek Area.

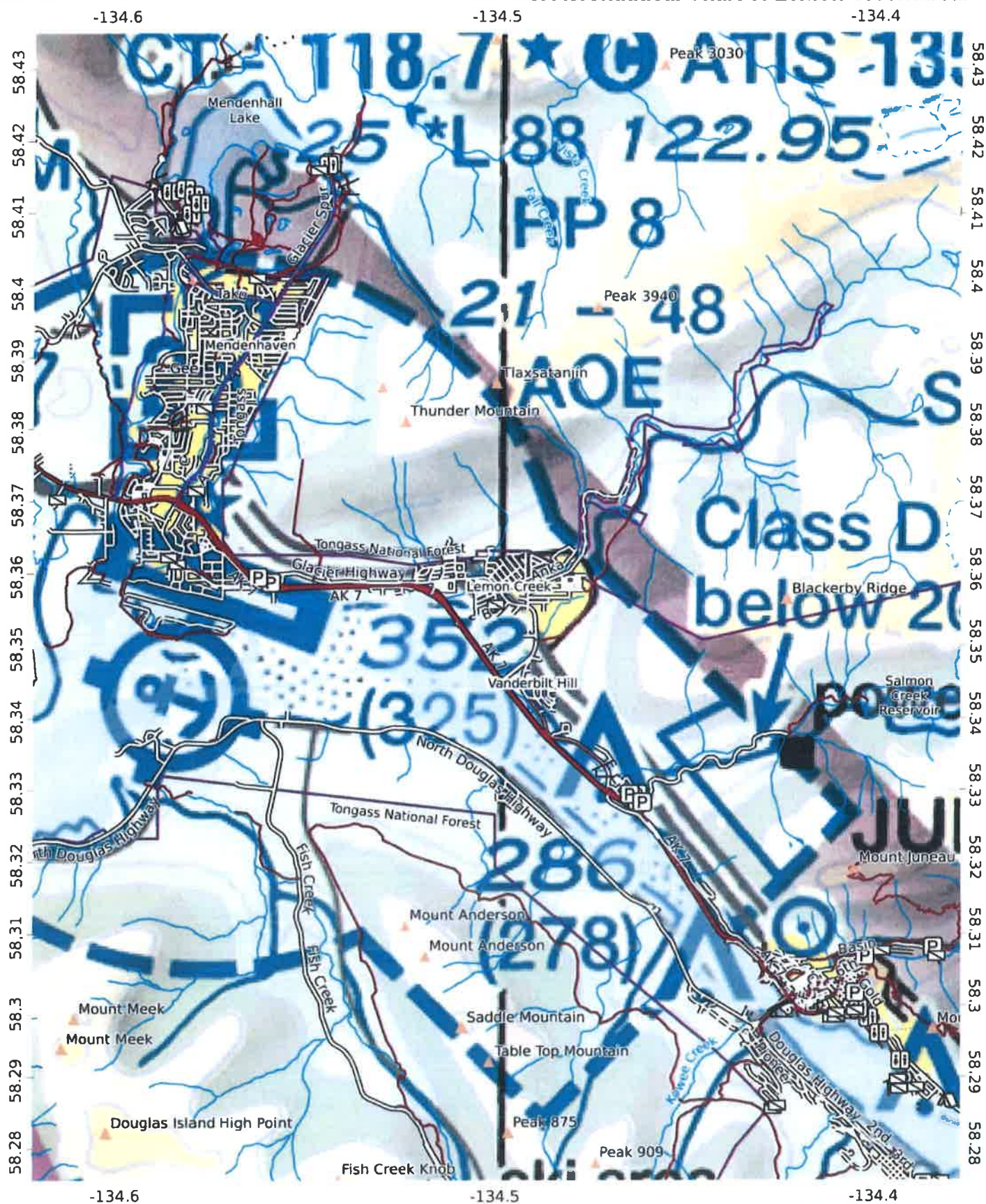


Lemon Creek Topo
WGS84
UTM Zone 8V



MN 18.50

0. Aeronautical Chart of Lemon Creek Area.



Lemon Creek Topo

WGS84

UTM Zone 8V



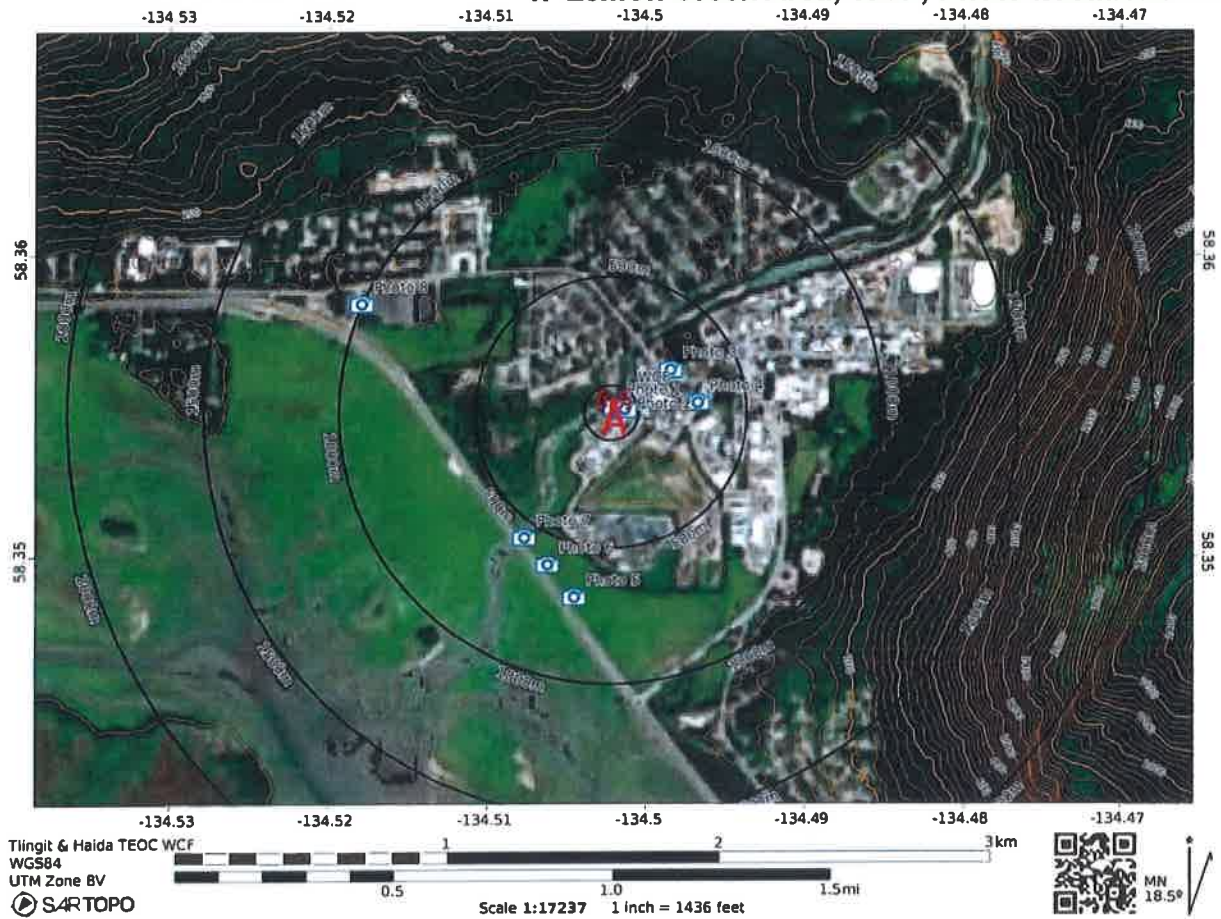
Scale 1:77627

1 inch = 1.2 miles

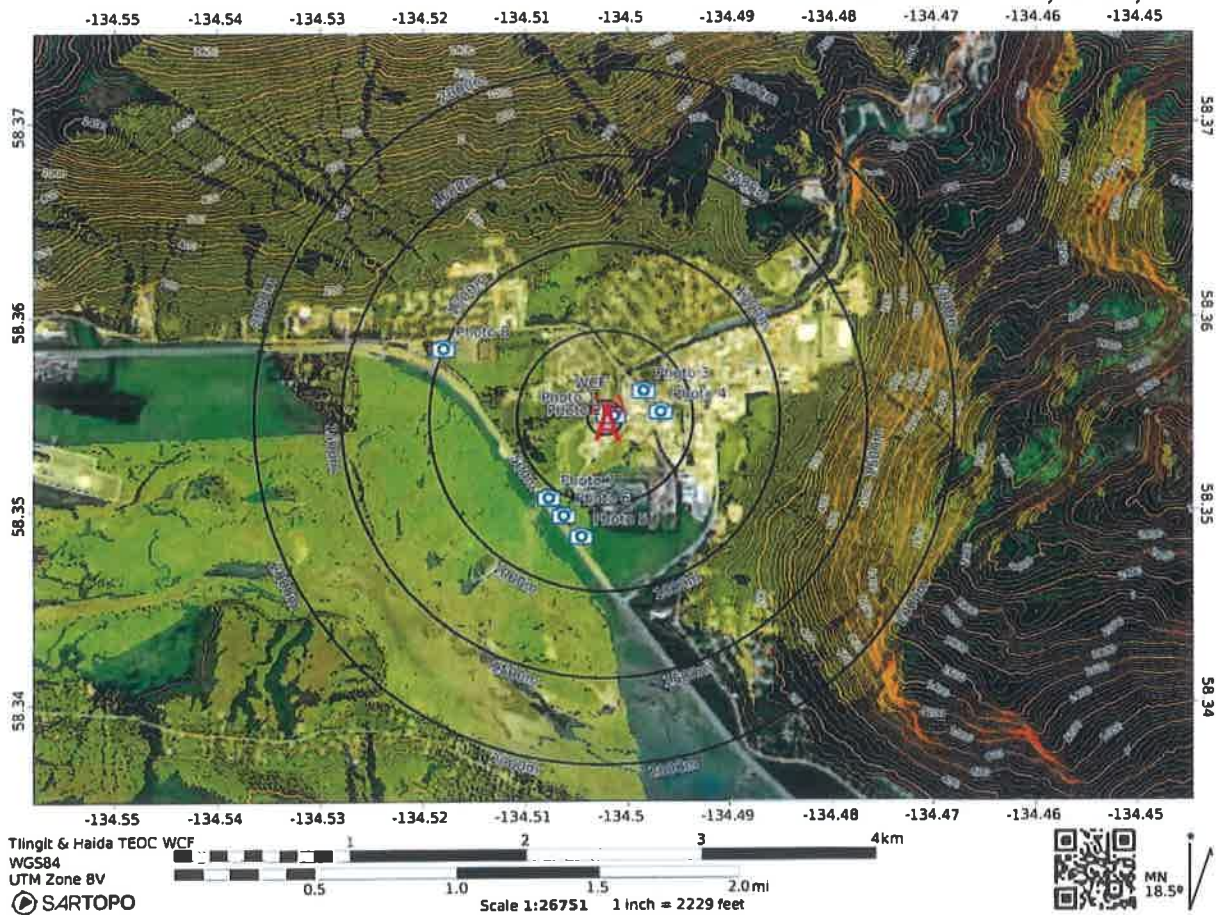


MN 18.5°

1. Lemon Creek Area; WCF; Photo Locations



2. Lemon Creek Area; WCF;



3. 5750 Concrete Way, Balloon at 62ft tower elevation.



4. View from East side of 5750 Concrete Way Site.



5. View from 5771 Concrete Way Site.



6. View from 5690 Glacier Highway



7. View from 5690 Glacier Highway.



8. View from 5765 Glacier Highway.



9. View from 5586 Tonsgard Ct



10. View from 5586 Tonsgard Ct. (Gas-n-Go Fleet)



11. View from apx 58.35008075517797, -134.50677940211736 Egan Drive



12. View from apx 58.35008075517797, -134.50677940211736 Egan Drive



13. View from apx 58.35068106153896, -134.50767926010514 Egan Drive



14. View from Walmart apx 58.35841333602672, -134.5181474768718 NOT visible



15. View from the end of Alaway Avenue



16. View from 21 Gull Way



17. North From Tower



18. North West From Tower



19. West From Tower



20. South West From Tower



21. South From Tower



22. South East From Tower



23. East From Tower



24. NE From Tower





LEGACY COMM SERVICES

P.O. Box 7962

Ketchikan, AK 99901

907-225-3872 - cjohn7@kpunet.net

Radio Propagation Study Information

History

The Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) is recognized by the United States of America as a federally recognized tribal government pursuant to Section 8 of the Act of June 19, 1935 (49 Stat.388), as amended by the Act of August 19, 1965 (79 Stat. 543), and the Tlingit and Haida Status Clarification Act (Public Law 103-454, Title II, 108 Stat. 4792). The Tribal Assembly is the general legislative and governing body of Tlingit & Haida. Its functions are to secure, preserve and exercise the inherent sovereign rights, powers, authorities, privileges, and immunities of Tlingit & Haida and all such other rights, powers, authorities, privileges, and immunities as Tlingit & Haida shall possess or be granted, to maintain a roll of and promote the general welfare of the tribal citizens of Tlingit & Haida, and to legislate for and govern Tlingit & Haida and its tribal citizens.

Project

Tlingit & Haida has established a Department of Public Safety, and Tribal Emergency Operations Center (TEOC) at 5750 Concrete Way.

The purpose of the TEOC is to monitor and respond to emergencies, threats, and disasters that could have a negative impact on any of the more than 31,000 tribal citizens located in Southeast Alaska and Nationwide

To this end, the TEOC is constructing a 61-foot steel tower where up to 8 fiberglass low watt antennas (100 watts or less, non-commercial) will be mounted to provide local and remote emergency communications to Tlingit & Haida's Tribal Department of Public Safety and Emergency Management. 7 of the proposed antennas will have a primary use of reception, where 1 antenna will be used for two-way communications via channels secured by the Tribe from the Federal Communications Commission.

Communications with communities outside of Juneau in southeast Alaska will be accomplished primarily through internet connections which will come into and out of the Juneau TEOC. The Juneau TEOC uses a radio channel for local Juneau communications and that radio equipment is installed in the Concrete Way TEOC. The antenna for this radio equipment will be located on a radio tower next to the TEOC. The purpose for the tower is to allow the antenna to clear the building by 20 feet so the building does not interfere with the reception of local radio signals.

Description of radio equipment and antenna at the TEOC location.

Physical Location 5750 Concrete Way, Juneau, Alaska

Radio Operating Mode VHF Narrowband FM

Radio Frequencies: Transmit 154.2575 Mhz, Receive 151.4525 Mhz

Radio Output Power 50 Watts at the Transmitter (non-commercial strength)

Antenna Length: 18 Feet

Tower Height: 61 Feet Above Ground Level

Propagation Determination

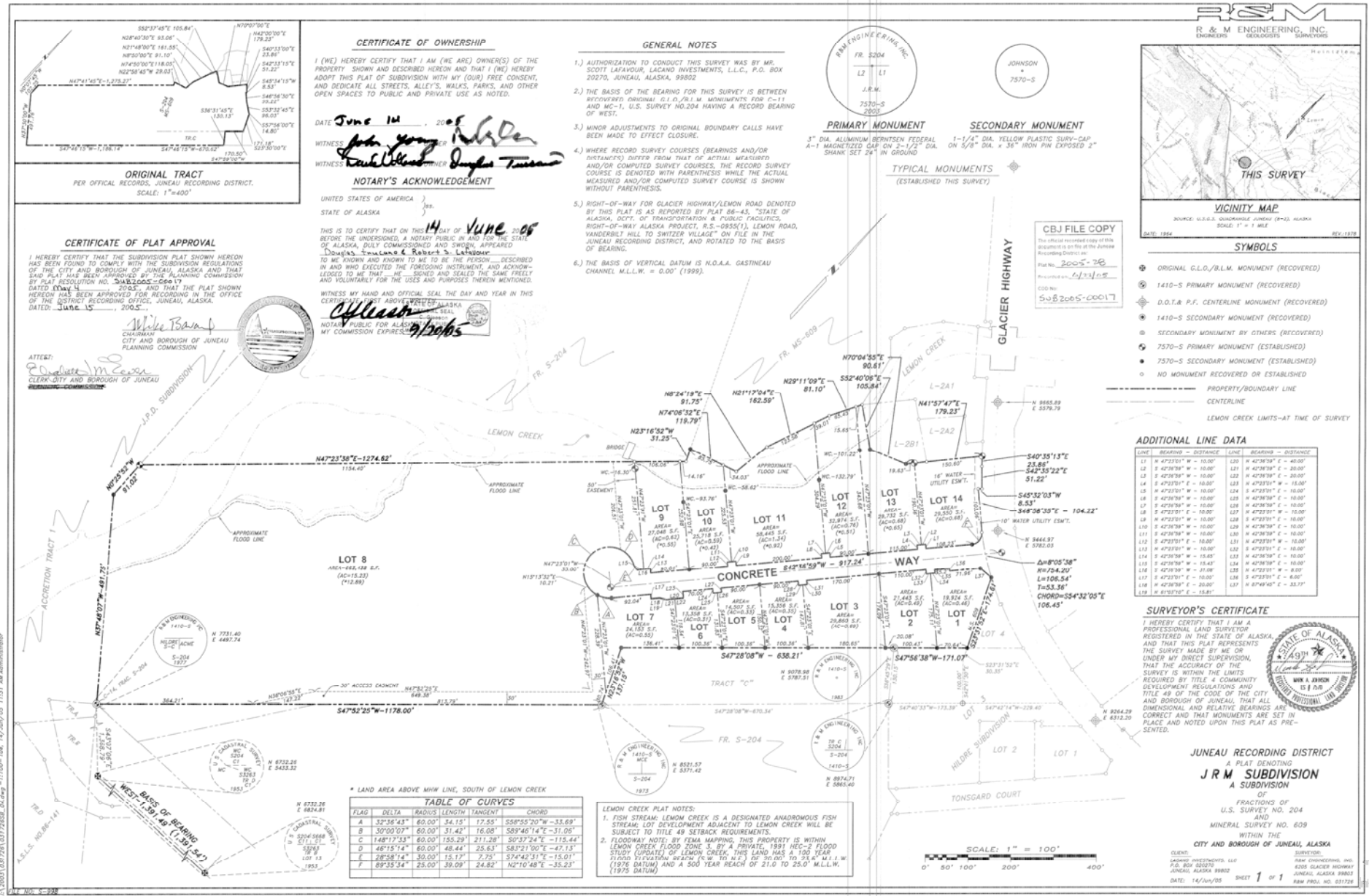
Propagation Range: Approximately 10-mile radius from antenna
(Shorter range will be realized where natural or manmade
barriers (such as building, and mountains exist)

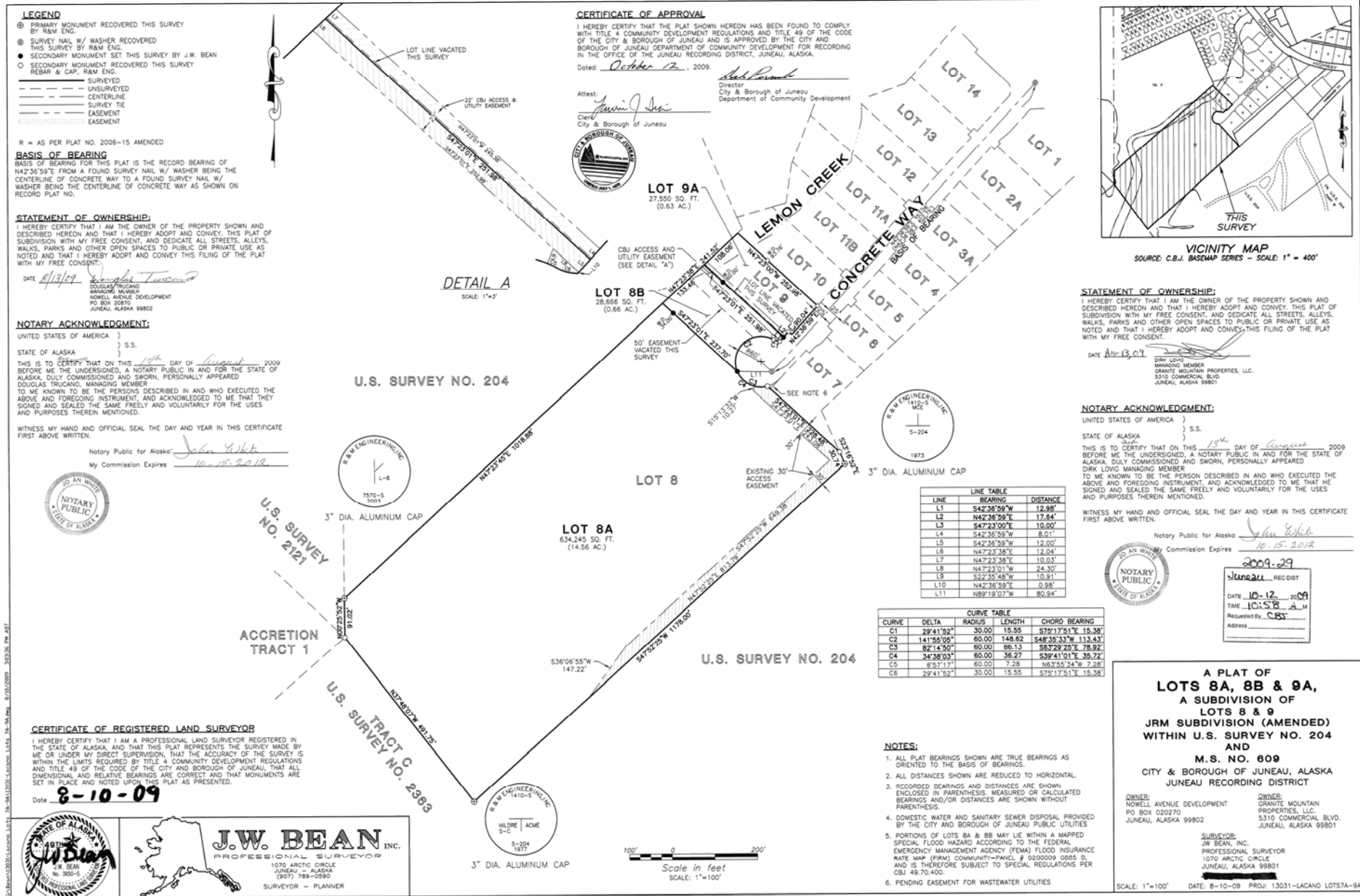
Propagation Interference: 154.2575 Mhz, and 151.4525 Mhz have been reserved with the
FCC for sole use by Tlingit & Haida TEOC. No cross-channel
propagation is possible at the less than 100-watt non-
commercial signal strengths used.

Signed,


Chris John
Legacy Comm Services
Owner/Lead Communications Engineer
cjohn7@kpunet.net
907-617-2294

2/28/2022
Date







BUILDING PERMIT

Section H, Item 3.

Permit No
BLD20170578

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:00 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **5750 CONCRETE WAY**
Permit Number: **BLD20170578**
Project Description: Foundation and grading Modified 2/7/18 to include steel building

Issued Date : **05/08/2018**
Parcel No: **5B1201060171**

Parcel Information : JRM LT 9A

Setbacks: Zone: I: Firm Zone: A
Front: 10.00 Ft. SE Side 1: 0.00 SW Stream side 50.00 Ft NW
Rear: 10.00 Ft. NW Side 2: 0.00 NE
Street Side: 10.00 Ft. NA

Comments: According to site plan submitted on April 2, 2018, the foundation will be 26 feet from the front lot line and 50 feet from the OHW of Lemon Creek.

Owner : **BONNELL DEVELOPMENT LLC**
PO BOX 20937
JUNEAU AK 99802-0937

Applicant : **SKY BONNELL**
PO BOX 021795
JUNEAU AK 99803

Fee Type	Date	Receipt	Amount Paid
BLD- Comm Plan Review	09/29/2017	09788	\$435.79
BLD- Bldg Permit Fee	09/29/2017	09788	\$670.44
BLD- Grading Permit Fee	09/29/2017	09788	\$40.57
Total Fees Paid:			\$1,146.80

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
8,680	Storage-Repair Garage	65.36	567,324.81
1,400	Residential-Single Family R	116.96	163,744.00
			65,000.00
Total Valuation:			\$796,068.81

Project Conditions and Holds:

.Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

50' Setback - All development, including grading and clearing of vegetation, must maintain a 50' setback from the ordinary high water (OHW) mark of [anadromous fish stream or lake]. The determination of the OHW mark must be made by CDD staff.

Approved Plans On Site - CBJ approved plans must be on site and available to the inspector. Inspections will not be performed and additional fees may apply if approved plans are not available to the inspectors.

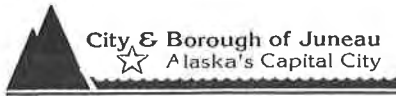
Backflow Assemblies - All testable backflow prevention assemblies must pass a test performed by a CBJ certified backflow prevention tester and a copy must be turned into the building department before a certificate of occupancy or final inspection is approved. Access and clearances for backflow assemblies shall conform to 2009 UPC section 603.3.4.

Balancing Report - Must submit passing air balance report prior to CO or final approval.

Steam & Hot Water Boilers - All steam & hot water boilers SHALL be protected with a low-water cutoff control per 2006 IMC section 1007.1 and 2012 IRC section M2002.5.

Attachment D - 2017 BLD17-578

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801



BUILDING PERMIT*

Section H, Item 3.

Permit NO.
BLD20170578
Page No. 2

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Public Use Lavatories - Hot water delivered to public use lavatories shall be limited to a maximum temperature of 120 degrees Fahrenheit by a device that conforms to ASSE 1070 or CSA B125.3. The water heater thermostat shall not be considered a control for meeting this provision per 2009 UPC section 413.1.

Shower Anti-scald Valve - All shower valves and combination tub/shower valves shall provide scald and thermal shock protection by means of an approved valve that conforms to ASSE 1016 or ASME A112.18.1 / CSA B125.1. The maximum water temperature supplied to these fixtures shall be 120 degrees Fahrenheit per 2015 UPC section 408.3.

Seismic Strap Water Heater - Commercial - Commercial water heaters shall be strapped within the upper 1/3 and lower 1/3 of its vertical dimension per 2009 UPC section 508.2.

Special Inspection - Special inspection by ____ for _____. Provide weekly inspection reports. And provide final letter(s) of approval before ____ (cover) (TCO) (CO) ____.

Verify Water Meter Installation - Meter installation must be in accordance with CBJ STD 420 prior to issuance of TCO. Installation must include three 22 gauge multicolored conductors in 1/2" electrical conduit from main entrance of building to within 12" of meter register (not to exceed 100'). Allow an extra 2' of wire for meter connections. Meter must be installed with the following clearances: minimum 18" clearance above meter and minimum 12" clearance each side and below meter. Contact CBJ Utility Business Unit for meter issuance and remote readout installation, 586-0997, a minimum of 48 hours prior to meter issuance or remote readout installation.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Electrical Final	B-Heat Piping	B-Mechanical Final
B-Plumbing Final	B-Setback Verification	B-Foundation, Forms and Reinforcing Steel
B-Temporary Power	B-Framing	B-Rough Electrical
B-Service/Panel	B-Yellow Tag Electrical	B-Under Slab Utilities
B-Rough Plumbing	B-Fire Separation/Rated Assemblies	B-Ventilation/Plenums & Ducts
B-Vents (Bath, Dryer, Kitchen, etc.)	B-Meter Yoke with Meter	B-Building Final



Application Date: September 29, 2017

BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **BLD20170578**

Case Description: Foundation and grading. Modified 02/07/2018 to include Steel Building.

Site Address: **5740 CONCRETE WAY**

Check No. of Existing Dwelling Units:

Parcel No: 5B1201060160

No. of New Dwelling Units: Legal Description: JRM LT ~~10~~ 9ANo. of Removed Dwelling Units:

Applicant : SKY BONNELL
PO BOX 021795
JUNEAU AK 99803

CEL 723-2931

Owner: BONNELL DEVELOPMENT LLC
PO BOX 20937
JUNEAU AK 99802-0937

Contractor: TO BE BID
AK

PH: _____ FAX: _____

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
			65,000.00
Total Valuation:			\$65,000.00

Associated Cases:

None.

Parcel Tags:

The engineering department is requiring all property owners within the JRM Subdivision, to utilize the existing storm water services to drain on lot runoff directly into the underground storm drain system.

Notes and Conditions:

Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

All development, including grading and clearing of vegetation, must maintain a 50' setback from the ordinary high water (OHW) mark of [anadromous fish stream or lake]. The determination of the OHW mark must be made by CDD staff.

Applicant's Signature
(Owner, Contractor or Authorized Agent)

Date


Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

235

Attachment D - 2017 BLD17-578



BUILDING PERMIT

Section H, Item 3.

Permit No
BLD20170578

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the Inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Note: City Ordinances REQUIRE a Final Inspection be approved for every Building Permit.

Inspections

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.

The Online Building Inspection Request Form is at: www.juneau.org/permits/inspect_request.php.

Work shall not proceed until the inspector has approved the various stages of construction. An approved Final Inspection is required.

Call before 7:00 AM for same day inspections.

Please provide the following information: 1 Permit Number, 2 Address, 3 Type of Inspection, 4 Date and Time and 5 Contact Name and Phone Number.

Job Address: **5740 CONCRETE WAY**

Issued Date : **10/20/2017**

Permit Number: **BLD20170578**

Parcel No: **5B1201060160**

Project Description: **Foundation and grading**

Parcel Information : JRM LT 10

Setbacks:

Zone: I:

Front: 10.00 Ft. SE

Side 1: 0.00 SW

Rear: 10.00 Ft. NW

Side 2: 0.00 NE

Street Side: 10.00 Ft. NA

Firm Zone: A

Stream side 50.00 Ft. NW

Comments: According to site plan submitted on Sept. 29, 2017, the fundation will be 26.3 feet from the front lot line and 50 feet from the OHW of Lemon Creek.

Owner :

**BONNELL DEVELOPMENT LLC
PO BOX 20937
JUNEAU AK 99802-0937**

Applicant :

**SKY BONNELL
PO BOX 021795
JUNEAU AK 99803**

Fee Type	Date	Receipt	Amount Paid
BLD- Comm Plan Review	09/29/2017	09788	\$435.79
BLD- Bldg Permit Fee	09/29/2017	09788	\$670.44
BLD- Grading Permit Fee	09/29/2017	09788	\$40.57
Total Fees Paid:			\$1,146.80

Valuation for Permit Fee Calculations:

S.F.	Type	Rate	Amount
			65,000.00
Total Valuation:			\$65,000.00

Project Conditions and Holds:

Asbuilt Survey May Be Req'd - Asbuilt Survey may be required before final inspection if CBJ inspector is unable to verify setbacks.

Foundation Setback Verification - Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.

50' Setback - All development, including grading and clearing of vegetation, must maintain a 50' setback from the ordinary high water (OHW) mark of [anadromous fish stream or lake]. The determination of the OHW mark must be made by CDD staff.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

B-Setback Verification

B-Foundation, Forms and Reinforcing Steel

B-Under Slab Utilities



Application Date: September 29, 2017

BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Case No: **BLD20170578**

Case Description: Foundation and Grading permit.

Site Address: **5750 CONCRETE WAY**Check No. of Existing Dwelling Units:

Parcel No: 5B1201060171

No. of New Dwelling Units:

Legal Description: JRM LT 9A

No. of Removed Dwelling Units:

Applicant : SKY BONNELL
PO BOX 021795
JUNEAU AK 99803

SKY BONNELL572@MSN.COM

CEL

723-2931

Owner: BONNELL DEVELOPMENT LLC
PO BOX 20937
JUNEAU AK 99802-0937

** ENTER CONTRACTOR **

PH: _____ FAX: _____

Valuation for Permit Fee Calculations:

S.F. Type

Rate

Amount

65,000.00

Total Valuation:

\$65,000.00

Associated Cases:

None.

Parcel Tags:

The engineering department is requiring all property owners within the JRM Subdivision, to utilize the existing storm water services to drain on lot runoff directly into the underground storm drain system.

Notes and Conditions:

Applicant's Signature

(Owner, Contractor or Authorized Agent)

Date

Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

237

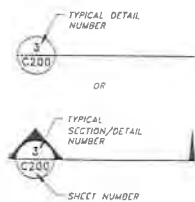
Attachment D - 2017 BLD17-578

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
2. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF, AND A SOLUTION GIVEN BY, THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR FOR SIMILAR WORK.
4. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THESE DRAWINGS
5. LARGE BOULDERS, HARDPAN, STUMPS, LOGS, ORGANICS AND GROUNDWATER MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING, DITCHING AND EXCAVATION OPERATIONS.
6. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
7. GRADES AND ALIGNMENTS SHOWN ON THESE PLANS ARE SUBJECT TO MINOR REVISIONS AS APPROVED BY THE ENGINEER AND/OR OWNER.
8. LOCATIONS OF EXISTING UNDERGROUND SEWER, WATER, TELEPHONE AND POWER UTILITIES SHOWN ON THESE PLANS WERE DERIVED FROM A COMBINATION OF RECORD AS-BUILTS AND/OR FIELD LOCATES. ACTUAL LOCATIONS MAY VARY FROM THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING THE EXISTING UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE RESULTING TO THESE UTILITIES DURING CONSTRUCTION SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. CALL "DIAL BEFORE YOU DIG" @ 586-1333 PRIOR TO ANY EXCAVATION ACTIVITIES
9. THE CONTRACTOR SHALL DELIVER ALL ASPHALT PAVEMENT REMOVED FROM THIS PROJECT TO AN APPROVED ASPHALT DISPOSAL SITE.
10. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE.
11. THE CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER OR OTHER MONUMENTS THAT WILL BE DISTURBED PRIOR TO ANY CONSTRUCTION ACTIVITIES. ALL MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RE-MONUMENTED AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. ALL SURVEY WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR. NOT ALL EXISTING PROPERTY CORNERS ARE NECESSARILY SHOWN ON THE PLANS.
12. THE CONTRACTOR'S HOURS OF OPERATION SHALL BE IN COMPLIANCE WITH THE CBJ NOISE ORDINANCE.
13. CIVIL CONTRACTOR SHALL COORDINATE WITH MECHANICAL, STRUCTURAL, AND ELECTRICAL PLANS AND GENERAL CONTRACTOR TO ENSURE THE PROJECT IS COORDINATED.
14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS NECESSARY DURING CONSTRUCTION.
15. GRADES FROM THE BUILDING PAD IS TO MATCH TO EXISTING GRADES ALONG THE EXTERIOR OF THE ADJACENT LOT AND LOT 10

GENERAL NOTES - SURVEY

1. THE BASIS OF HORIZONTAL CONTROL FOR THIS SURVEY IS THE CENTERLINE MONUMENT AT THE CENTER RADIUS OF CONCRETE WAY AND THE RECOVERED SECONDARY MONUMENT AT LOT 9A/8B.
2. THE BASIS OF VERTICAL CONTROL IS THE NORTH BOLT ON THE UPPER FLANGE OF THE FIRE HYDRANT AT LOT 9A AND LOT 10. THE ELEVATION IS 28.26' MLLW.
3. THE VERTICAL CONTROL IS TIED TO THE ADOT&PF MONUMENT 1 (TBM ML-236)
4. BEARINGS AND DISTANCES IN PARENTHESES ARE METES AND BOUNDS FOR THE TOP OF FILL.
5. THE FIELD WORK WAS PERFORMED ON MARCH 28, 2017, UTILIZING A TRIMBLE S7 ROBOTIC TOTAL STATION AND STANDARD LASER DISTANCE RANGING METHODS.
6. UTILITIES LOCATIONS WERE DERIVED FROM AS-BUILT DATA FROM CBJ PROJECT E05-070 AND OBSERVABLE EVIDENCE.
7. ALL DISTANCES AND ELEVATIONS ARE IN U.S. SURVEY FEET.
8. THIS SURVEY IS NOT A SUBDIVISION, AS PER AS 40 IS 900(5)(4)
9. BASIC FLOOD ELEVATIONS WERE DETERMINED BY SCALING LOT POSITIONS FROM FIRM PANEL 02110C1532D EFFECTIVE AUGUST 19 2013
10. LEWON CREEK IS DEFINED AS ANADROMOUS, PER ALASKA DEPARTMENT OF FISH AND GAME, LAST NOMINATED ON OCTOBER 30, 2007. IT IS SUBJECT TO A FIFTY FOOT (50') EASEMENT FROM THE ORDINARY HIGH WATER.
11. THE RECORD INFORMATION UTILIZED FOR THIS SURVEY ARE PLAT No. 2009-29, JPD, DATED OCTOBER 12, 2009, AND PLAT No. 2006-15, JPD, DATED JUNE 22, 2006.
12. THE ORDINARY HIGH WATER WAS LOCATED BASED ON THE VEGETATION LINE ALONG LEWON CREEK

REFERENCE BUBBLE EXPLANATION
N.T.S.

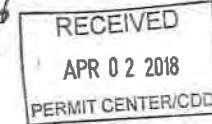
ABBREVIATIONS

AE&P	ALASKA ELECTRIC LIGHT & POWER
AP	ANGLE POINT
APPROX.	APPROXIMATE
BLOC.	BUILDING
BOE	BOTTOM OF EXCAVATION
BOF	BOTTOM OF FOOTING
BOP	BEGINNING OF PROJECT
CB	CATCH BASIN
CBJ	CITY & BOROUGH OF JUNEAU
CJ	CONTROL JOINT
CL	CENTERLINE
CLR	CLEAR DISTANCE
CWP	CORRUGATED METAL PIPE
CONC	CONCRETE
CP	CONTROL POINT
CPP	CORRUGATED POLYETHYLENE PIPE
CTE	CONNECT TO EXISTING
D1	DUCTILE IRON
D1P	DUCTILE IRON PIPE
DIA	DIAMETER
DOT/PP	STATE OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES
E-	EASTING
EL	ELEVATION
EDP	END OF PROJECT
EQ	EQUATION
ESCP	EROSION AND SEDIMENT CONTROL PLAN
EXP	EXPANSION
EXIST.	EXISTING
FD	FOUNDATION DRAIN
FG	FINISH GRADE
F.F.	FINISH FLOOR
FL	FLOW LINE
GALV	GALVANIZED
GP	GRADE POINT
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
MTE	MATCH TO EXISTING
N-	NORTHING
NFS	NON-FROST SUSCEPTIBLE
NTS	NOT TO SCALE
NVC	NO VERTICAL CURVE
OC	ON CENTER
DHW	ORDINARY HIGH WATER
PC	POINT OF CURVATURE
POC	POINT ON CURVE
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RT	RIGHT
ROW	RIGHT-OF-WAY
SCHD	SCHEDULE
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSDB	SANITARY SEWER BULKHEAD
STA	STATION
STD	STANDARD
TBM	TEMPORARY BENCH MARK
TOR	TOP OF BANK
TOP	TOP OF PIPE
TYP	TYPICAL
UE	UNDERGROUND ELECTRICAL
VERT	VERTICAL
W/	WITH

SYMBOLS

EXISTING	NEW	
		EDGE OF NEW SURFACE
		ASPHALT SAWCUT & MTE
		TOP OF BANK
		CUT SLOPE/TOP OF BANK
		TOP OF SLOPE
		STORM DRAIN PIPE
		WATER LINE
		WATER VALVE / ADJUST
		FIRE HYDRANT
		GUARD POSTS
		ELECTRIC TRANSFORMER
		TELEPHONE PEDESTAL
		CABLE TV PEDESTAL
		CATCH BASIN
		STORM DRAIN MANHOLE
		PRIMARY MONUMENT (RECOVERED)
		CENTERLINE MONUMENT (RECOVERED)
		SECONDARY MONUMENT (RECOVERED)
		SURVEY SPIKE (RECOVERED)
		SURVEYED LINE
		UNSURVEYED LINE
		SETBACK LINE
		EDGE OF STREAM (OHW)
		UNDERGROUND ELECTRIC
		CONTOUR LINE
		SLOPE PERCENTAGE
		SPOT ELEVATION
		TRAFFIC CONTROL SIGN
		STRUCTURE
		DRAINAGE FLOW DIRECTION

Approved Noted
John G
5/8/18



COMMITTEE



Bonnell Development
MAINTENANCE SHOP
5750 Concrete Way
Juneau, Alaska

PROJECT

NOTES, SYMBOLS
ABBREVIATIONS

SHEET

C100

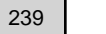
DATE

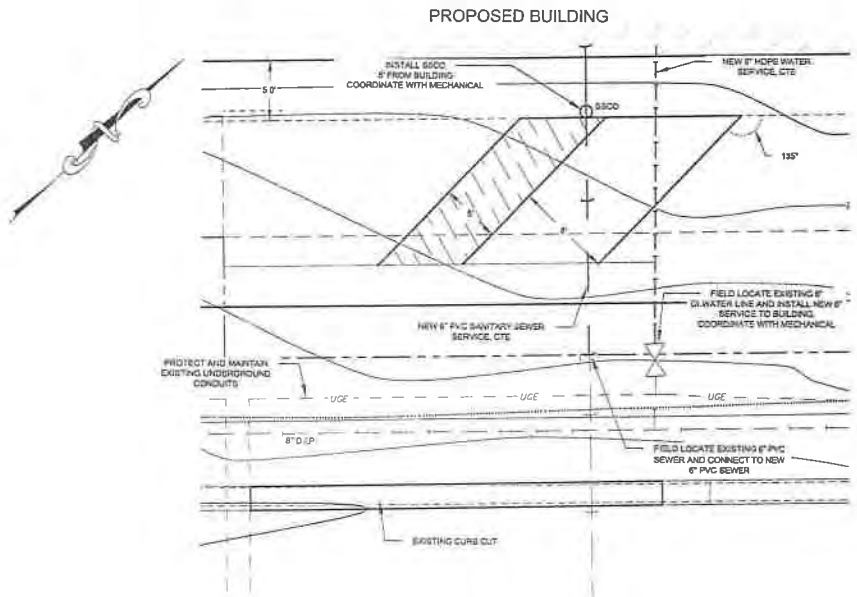
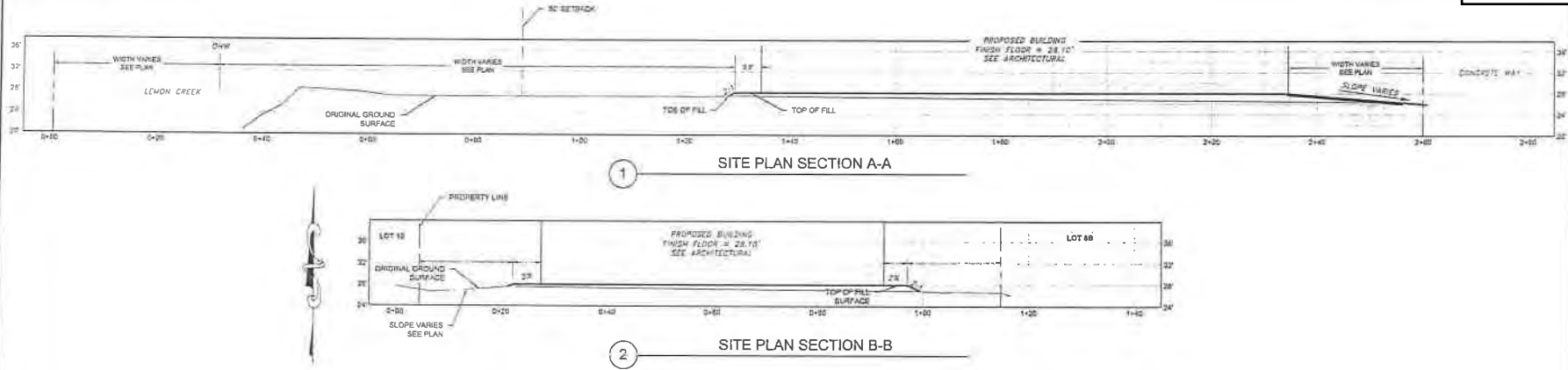
PROJECT No.

SHEET NUMBER

C100

C200





DETAIL A
SCALE: 1"=5'

RECEIVED
APR 02 2018
PERMIT CENTER

No.	Date	Item



Bonnell Development
MAINTENANCE SHOP
5750 Concrete Way
Juneau, Alaska

SHEET TITLE:
SITE CROSS SECTIONS

SECTION: C300
TITLE: C300
DATE: MARCH 06, 2018
PROJECT NO.: 16130-IN
WEEKLY RANGES:

Bonnell Development

MAINTENANCE SHOP

Section H, Item 3.

5750 Concrete Way
Juneau, Alaska
February 28, 2018

RECEIVED

APR 20 2013

PERMIT CENTER/CDD

ARCHITECT JENSEN YORBA LOTT, INC. 532 WEST 10TH STREET JUNEAU, ALASKA 99801 (907) 586-1070 FAX (907) 586-3859		CIVIL ENGINEER PDC, INC. ENGINEERS 2700 GAMBLE STREET, SUITE 500 ANCHORAGE, ALASKA 96505 (907) 743-3200 FAX (907) 743-3215		MECHANICAL ENGINEER PDC, INC. ENGINEERS P.O. BOX 21081 JUNEAU, AK 99802 (907) 780-6151 FAX (907) 780-6152		ELECTRICAL ENGINEER HAIGHT & ASSOCIATES, INC. 526 MAIN STREET JUNEAU, ALASKA 99801 (907) 586-9788 FAX (907) 586-3774	
SHEET INDEX							
A001	COVER SHEET PARTITIONS SCHEDULE & CODE SUMMARY	C100	NOTES, SYMBOLS, ABBREVIATIONS	M-001	LEGENDS AND ABBREVIATIONS	E100	LEGEND, PANEL, SCHEDULE, SINGLE LINE DIAGRAM
A002		C200	SITE GRADING	M-002	MECHANICAL SCHEDULES	E201	FIRST FLOOR PLAN ELECTRICAL
A201	FIRST FLOOR PLAN	C300	SITE CROSS SECTIONS	M-003	MECHANICAL SCHEDULES	E202	SECOND FLOOR PLAN ELECTRICAL
A202	SECOND FLOOR PLAN			M-201	UNDERFLOOR PLUMBING PLAN		
A301	EXTERIOR ELEVATIONS			M-202	FIRST FLOOR PLUMBING PLAN		
A302	EXTERIOR ELEVATIONS			M-203	SECOND FLOOR PLUMBING PLAN		
A303	BUILDING SECTION			M-301	UNDERFLOOR HVAC PLAN		
A304	BUILDING SECTION			M-302	FIRST FLOOR HVAC PLAN		
A401	ENLARGED FIRST FLOOR PLAN			M-303	SECOND FLOOR HVAC PLAN		
A402	ENLARGED SECOND FLOOR PLAN			M-401	PLUMBING DIAGRAMS		
A555	TYPICAL FIXTURE HEIGHTS			M-501	MECHANICAL DIAGRAMS		
A551	INTERIOR DETAILS			M-502	MECHANICAL DIAGRAMS		
				M-503	MECHANICAL DIAGRAMS		
				M-504	MECHANICAL & CONTROLS DIAGRAM		
				M-601	SPECIFICATIONS		
				M-602	SPECIFICATIONS		
ABBREVIATIONS				SYMBOLS			
AC	ANGLE	EMER	EMERGENCY	LAH	LAMINATE	RH	ROBE HOOK
ACM	ASPHALT CONCRETE	ENCL	ENCLOSURE	LAV	LAVATORY	RL	RAIL LEADER
ACP	ACUSTICAL CEILING PANEL	EPS	EXPANDED POLYSTYRENE	LB	LIGHT	RM	ROOM
ADJ	ADJUSTABLE	EQ	EQUAL	LT	LIGHT	RO	ROUGH OPENING
AFT	ASIDE FISH FLOOR	EOP	EQUIPMENT	MIR	MIRROR	RUB	RUBBER
AIB	AIR INFILTRATION BARRIER	EX	EXTENDING	MAX	MAXIMUM DENSITY OVERLAP	SASU	SELF ADHESIVE SHEET
AL	ALUMINUM	EXT	EXTENDING	MECH	MECHANICAL	SCD	SEAT COVER DISPENSER
APPROX	APPROXIMATE	EX	EXTENDING	MEMB	MEMBRANE	SCHD	SCHEDULE
ARCH	ARCHITECTURAL	FA	FIRE ALARM	MFR	MANUFACTURER	SF	SQUARE FOOT
ASB	ASBESTOS	FD	FIRE FLOOR	MIN	MINIMUM	SPR	SPRAYED FIRE-RESISTIVE
BLOC	BUILDING	FEN	FIRE FLOOR	MIS	MISCELLANEOUS	SHR	SHOWER
BKLG	BLOCKING	FF	FIRE FLOOR	MTC	MOUNTED	SHW	SHOWER
BM	BOOM	FIN	FIRE FLOOR	MUL	MULLION	SIM	SIMILAR
BT	BOTTOM	FLA	FLOOR	NTS	NOT TO SCALE	SND	SANITARY NAPKIN DISPENSER
CAB	CABINET	FLR	FLOOR	NIC	NOT IN CONTRACT	SNR	SANITARY NAPKIN RECEPTACLE
CB	CATCH BASIN	FOF	FACE OF FINISH	NO OR	NUMBER	SPEC	SPECIFICATIONS
CEM	CEMENT	FOS	FACE OF STUD	NOM	NOMINAL	SO	SQUARE
CG	CORNER GUARD	FR	FRONT	NTS	NOT TO SCALE	SOFT	SOFT
CI	CAST IRON	FRP	FIBER REINFORCED PLASTIC	OA	OVERALL	SS	STAINLESS STEEL
CLG	CEILING	FT	FOOT	OC	OUTSIDE CORNER	STD	STANDARD
COL	COLUMN	FTG	FOOTING	OD	OUTSIDE DIAMETER	STL	STEEL
CONC	CONCRETE	FUR	FURRING	OFI	OWNER FURNISHED	STRCT	STRUCTURAL
CONT	CONTINUOUS	GA	GALVANIZED	OFI	OWNER FURNISHED	SUSP	SUSPENDED
CTR	CENTER	GWB	GYP WALL BOARD	OPD	OFFICE	SY	SYNTHETIC
CTSK	COUNTERSINK	GYP	GYP	OPD	OFFICE	TC	TOP OF CURB
DBL	DOUBLE	HB	HOLLOW	OPD	OFFICE	TEMP	TEMPORARY
DEPT	DEPARTMENT	HW	HOLLOW	OPD	OFFICE	TAG	TAG
DET	DETAIL	HM	HOLLOW	OPD	OFFICE	TCC	TOP OF CONCRETE
DIA	DIAMETER	HORIZ	HORIZONTAL	OPD	OFFICE	TOD	TOP OF DECK
DM	DIMENSION	HT	HEIGHT	OPD	OFFICE	TRD	TRIM
DSP	DISPENSER	HW	HOT WATER	OPD	OFFICE	TRD	TRIM
DN	DOWN	ID	INSIDE DIAMETER	OPD	OFFICE	TRD	TRIM
DR	DOOR	INSUL	INSULATION	OPD	OFFICE	TRD	TRIM
DS	DOWNSPOUT	INT	INTERIOR	OPD	OFFICE	TRD	TRIM
DWG	DRAWING	JAN	JANITOR	OPD	OFFICE	TRD	TRIM
DWR	DRAWER	JNT	JOINT	OPD	OFFICE	TRD	TRIM
EA	EACH	LAB	LABORATORY	OPD	OFFICE	TRD	TRIM
ET	EXHAUST FAN			OPD	OFFICE	TRD	TRIM
EXT	EXTERIOR INSULATION			OPD	OFFICE	TRD	TRIM
EXT	EXTERIOR INSULATION			OPD	OFFICE	TRD	TRIM
EJ	EXPANSION JOINT			OPD	OFFICE	TRD	TRIM
EL	ELEVATION			OPD	OFFICE	TRD	TRIM
ELEC	ELECTRICAL			OPD	OFFICE	TRD	TRIM
ELEV	ELEVATOR			OPD	OFFICE	TRD	TRIM

REVISION

1. 10/1/18

2. 10/1/18

3. 10/1/18

4. 10/1/18

5. 10/1/18

6. 10/1/18

7. 10/1/18

8. 10/1/18

9. 10/1/18

10. 10/1/18

11. 10/1/18

12. 10/1/18

13. 10/1/18

14. 10/1/18

15. 10/1/18

16. 10/1/18

17. 10/1/18

18. 10/1/18

19. 10/1/18

20. 10/1/18

21. 10/1/18

22. 10/1/18

23. 10/1/18

24. 10/1/18

25. 10/1/18

26. 10/1/18

27. 10/1/18

28. 10/1/18

29. 10/1/18

30. 10/1/18

31. 10/1/18

32. 10/1/18

33. 10/1/18

34. 10/1/18

35. 10/1/18

36. 10/1/18

37. 10/1/18

38. 10/1/18

39. 10/1/18

40. 10/1/18

41. 10/1/18

42. 10/1/18

43. 10/1/18

44. 10/1/18

45. 10/1/18

46. 10/1/18

47. 10/1/18

48. 10/1/18

49. 10/1/18

50. 10/1/18

51. 10/1/18

52. 10/1/18

53. 10/1/18

54. 10/1/18

55. 10/1/18

56. 10/1/18

57. 10/1/18

58. 10/1/18

59. 10/1/18

60. 10/1/18

61. 10/1/18

62. 10/1/18

63. 10/1/18

64. 10/1/18

65. 10/1/18

66. 10/1/18

67. 10/1/18

68. 10/1/18

69. 10/1/18

70. 10/1/18

71. 10/1/18

72. 10/1/18

73. 10/1/18

74. 10/1/18

75. 10/1/18

76. 10/1/18

77. 10/1/18

78. 10/1/18

79. 10/1/18

80. 10/1/18

81. 10/1/18

82. 10/1/18

83. 10/1/18

84. 10/1/18

85. 10/1/18

86. 10/1/18

87. 10/1/18

88. 10/1/18

89. 10/1/18

90. 10/1/18

91. 10/1/18

92. 10/1/18

93. 10/1/18

94. 10/1/18

95. 10/1/18

96. 10/1/18

97. 10/1/18

98. 10/1/18

99. 10/1/18

100. 10/1/18

101. 10/1/18

102. 10/1/18

103. 10/1/18

104. 10/1/18

105. 10/1/18

106. 10/1/18

107. 10/1/18

108. 10/1/18

109. 10/1/18

110. 10/1/18

111. 10/1/18

112. 10/1/18

113. 10/1/18

114. 10/1/18

115. 10/1/18

116. 10/1/18

117. 10/1/18

118. 10/1/18

119. 10/1/18

120. 10/1/18

121. 10/1/18

122. 10/1/18

123. 10/1/18

124. 10/1/18

125. 10/1/18

126. 10/1/18

127. 10/1/18

128. 10/1/18

129. 10/1/18

130. 10/1/18

131. 10/1/18

132. 10/1/18

133. 10/1/18

134. 10/1/18

135. 10/1/18

136. 10/1/18

137. 10/1/18

138. 10/1/18

139. 10/1/18

140. 10/1/18

141. 10/1/18

142. 10/1/18

143. 10/1/18

144. 10/1/18

145. 10/1/18

146. 10/1/18

147. 10/1/18

148. 10/1/18

149. 10/1/18

150. 10/1/18

151. 10/1/18

152. 10/1/18

153. 10/1/18

154. 10/1/18

155. 10/1/18

156. 10/1/18

157. 10/1/18

158. 10/1/18

159. 10/1/18

160. 10/1/18

161. 10/1/18

162. 10/1/18

163. 10/1/18

164. 10/1/18

165. 10/1/18

166. 10/1/18

167. 10/1/18

168. 10/1/18

169. 10/1/18

170. 10/1/18

171. 10/1/18

172. 10/1/18

173. 10/1/18

174. 10/1/18

175. 10/1/18

176. 10/1/18

177. 10/1/18

178. 10/1/18

179. 10/1/18

180. 10/1/18

181. 10/1/18

182. 10/1/18

183. 10/1/18

184. 10/1/18

185. 10/1/18

186. 10/1/18

187. 10/1/18

188. 10/1/18

189. 10/1/18

190. 10/1/18

191. 10/1/18

192. 10/1/18

193. 10/1/18

194. 10/1/18

195. 10/1/18

196. 10/1/18

197. 10/1/18

198. 10/1/18

199. 10/1/18

200. 10/1/18

201. 10/1/18

202. 10/1/18

203. 10/1/18

204. 10/1/18

205. 10/1/18

206. 10/1/18

207. 10/1/18

208. 10/1/18

209. 10/1/18

210. 10/1/18

211. 10/1/18

212. 10/1/18

213. 10/1/18

214. 10/1/18

215. 10/1/18

216. 10/1/18

217. 10/1/18

218. 10/1/18

219. 10/1/18

220. 10/1/18

221. 10/1/18

222. 10/1/18

223. 10/1/18

224. 10/1/18

225. 10/1/18

226. 10/1/18

227. 10/1/18

228. 10/1/18

229. 10/1/18

230. 10/1/18

231. 10/1/18

232. 10/1/18

233. 10/1/18

234. 10/1/18

235. 10/1/18

236. 10/1/18

237. 10/1/18

238. 10/1/18

239. 10/1/18

240. 10/1/18

241. 10/1/18

242. 10/1/18

243. 10/1/18

244. 10/1/18

245. 10/1/18

246. 10/1/18

247. 10/1/18

248. 10/1/18

249. 10/1/18

250. 10/1/18

251. 10/1/18

252. 10/1/18

253. 10/1/18

254. 10/1/18

255. 10/1/18

256. 10/1/18

257. 10/1/18

258. 10/1/18

259. 10/1/18

260. 10/1/18

261. 10/1/18

262. 10/1/18

263. 10/1/18

264. 10/1/18

265. 10/1/18

266. 10/1/18

267. 10/1/18

268. 10/1/18

269. 10/1/18

270. 10/1/18

271. 10/1/18

272. 10/1/18

273. 10/1/18

274. 10/1/18

275. 10/1/18

276. 10/1/18

277. 10/1/18

278. 10/1/18

279. 10/1/18

280. 10/1/18

281. 10/1/18

282. 10/1/18

283. 10/1/18

284. 10/1/18

285. 10/1/18

286. 10/1/18

287. 10/1/18

288. 10/1/18

289. 10/1/18

290. 10/1/18

291. 10/1/18

292. 10/1/18

293. 10/1/18

294. 10/1/18

295. 10/1/18

296. 10/1/18

297. 10/1/18

298. 10/1/18

299. 10/1/18

300. 10/1/18

301. 10/1/18

302. 10/1/18

303. 10/1/18

304. 10/1/18

305. 10/1/18

306. 10/1/18

307. 10/1/18

308. 10/1/18

309. 10/1/18

310. 10/1/18

311. 10/1/18

312. 10/1/18

313. 10/1/18

314. 10/1/18

315. 10/1/18

316. 10/1/18

317. 10/1/18

318. 10/1/18

319. 10/1/18

320. 10/1/18

321. 10/1/18

322. 10/1/18

323. 10/1/18

324. 10/1/18

325. 10/1/18

326. 10/1/18

327. 10/1/18

328. 10/1/18

329. 10/1/18

330. 10/1/18

331. 10/1/18

332. 10/1/18

333. 10/1/18

334. 10/1/18

335. 10/1/18

336. 10/1/18

337. 10/1/18

338. 10/1/18

339. 10/1/18

340. 10/1/18

341. 10/1/18

342. 10/1/18

343. 10/1/18

344. 10/1/18

345. 10/1/18

346. 10/1/18

347. 10/1/18

348. 10/1/18

349. 10/1/18

350. 10/1/18

351. 10/1/18

352. 10/1/18

353. 10/1/18

354. 10/1/18

355. 10/1/18

356. 10/1/18

357. 10/1/18

358. 10/1/18

359. 10/1/18

360. 10/1/18

361. 10/1/18

362. 10/1/18

363. 10/1/18

364. 10/1/18

365. 10/1/18

366. 10/1/18

367. 10/1/18

368. 10/1/18

369. 10/1/18

370. 10/1/18

371. 10/1/18

372. 10/1/18

373. 10/1/18

374. 10/1/18

375. 10/1/18

376. 10/1/18

377. 10/1/18

378. 10/1/18

379. 10/1/18

380. 10/1/18

381. 10/1/18

382. 10/1/18

383. 10/1/18

384. 10/1/18

385. 10/1/18

386. 10/1/18

387. 10/1/18

388. 10/1/18

389. 10/1/18

390. 10/1/18

391. 10/1/18

392. 10/1/18

393. 10/1/18

394. 10/1/18

395. 10/1/18

396. 10/1/18

397. 10/1/18

398. 10/1/18

399. 10/1/18

400. 10/1/18

401. 10/1/18

402. 10/1/18

403. 10/1/18

404. 10/1/18

405. 10/1/18

406. 10/1/18

407. 10/1/18

408. 10/1/18

409. 10/1/18

410. 10/1/18

411. 10/1/18

412. 10/1/18

413. 10/1/18

414. 10/1/18

415. 10/1/18

416. 10/1/18

417. 10/1/18

418. 10/1/18

419. 10/1/18

420. 10/1/18

421. 10/1/18

422. 10/1/18

423. 10/1/18

424. 10/1/18

425. 10/1/18

426. 10/1/18

427. 10/1/18

428. 10/1/18

429. 10/1/18

430. 10/1/18

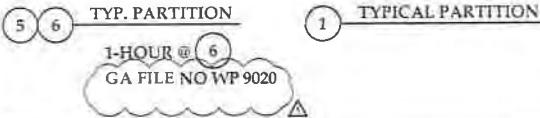
431. 10/1/18

432. 10/1/18

433. 10/1/18

434. 10/1/18

Section H, Item 3.





Please Attached GA File FC 1110

EGRESS WINDOW

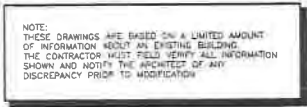
EGRESS WINDOW NOTE:	
MINIMUM NET CLEAR OPENING	5.75F
MINIMUM HEIGHT	24"
MINIMUM WIDTH	20"
MAXIMUM HEIGHT ABOVE FLOOR	44"









SHEET 001
 FIRST FLOOR
 PLAN

A201



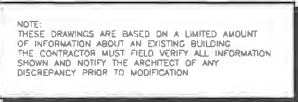


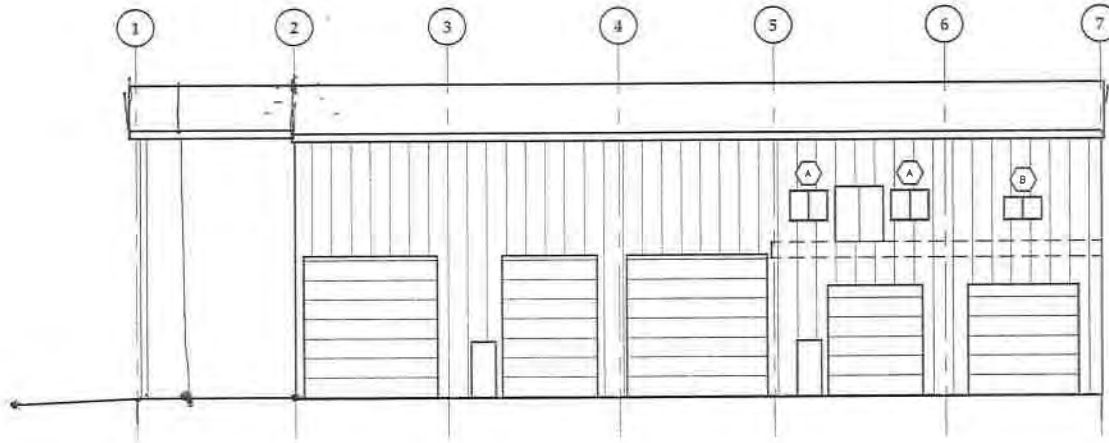




SECOND FLOOR
PLAN

DA 11 February 2010

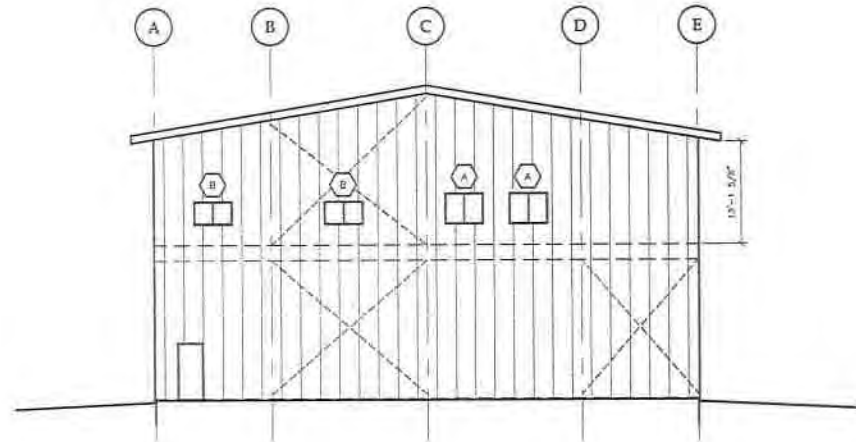
A202





1 EXTERIOR ELEVATION - SOUTH

SCALE: 0 4' 8' 16'



2 EXTERIOR ELEVATION - EAST

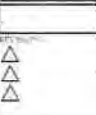
SCALE: 0 4' 8' 16'

NOTE:
THESE DRAWINGS ARE BASED ON A LIMITED AMOUNT
OF INFORMATION ABOUT AN EXISTING BUILDING.
THE CONTRACTOR MUST FIELD VERIFY ALL INFORMATION
SHOWN AND NOTIFY THE ARCHITECT OF ANY
DISCREPANCY PRIOR TO MODIFICATION.

RECEIVED
APR 02 2018
PERMIT CENTER/CDD



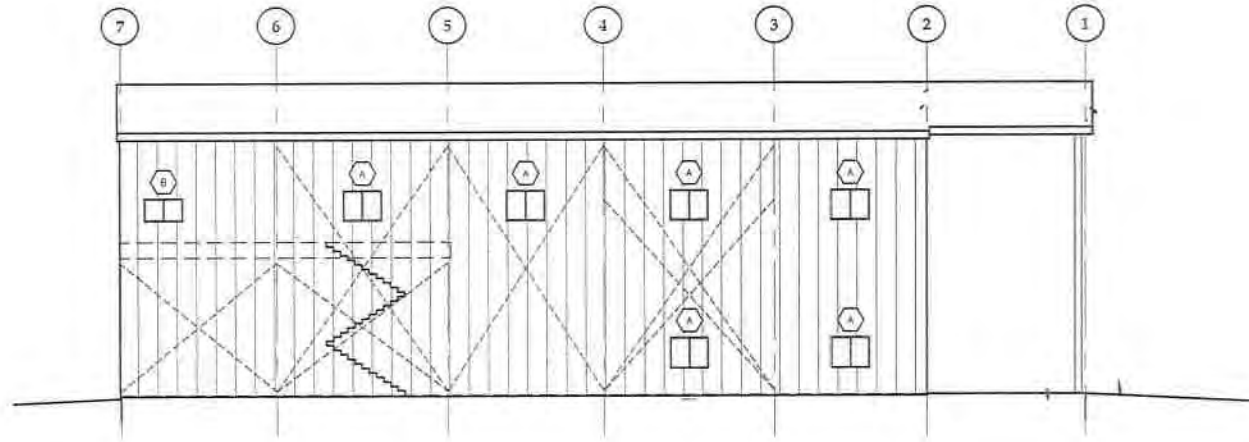
Bonnell Development
MAINTENANCE SHOP
5750 Concrete Way
Jensen, Alaska



NOT TO SCALE
EXTERIOR
ELEVATIONS

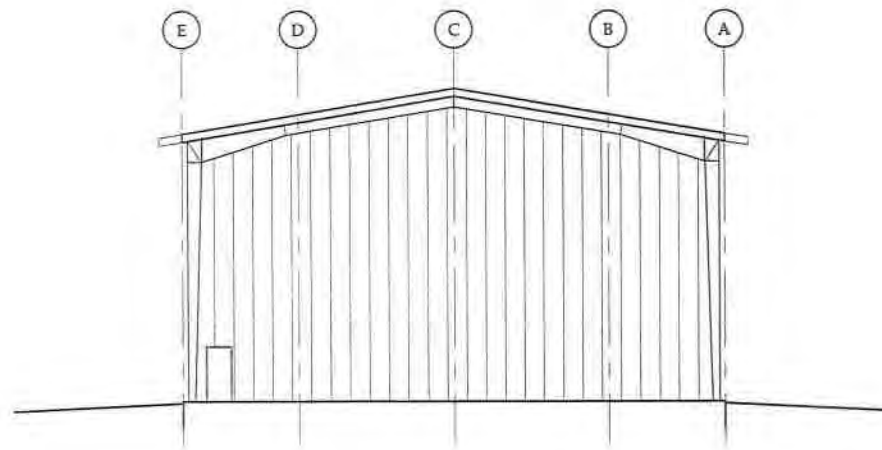
PLAT: 2017-2018
BY: 1704

A301



1 EXTERIOR ELEVATION - NORTH

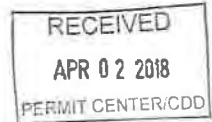
SCALE: 0 4' 8' 16'



2 EXTERIOR ELEVATION - WEST

SCALE: 0 4' 8' 16'

NOTE:
THESE DRAWINGS ARE BASED ON A LIMITED AMOUNT
OF INFORMATION ABOUT AN EXISTING BUILDING.
THE CONTRACTOR MUST FIELD VERIFY ALL INFORMATION
SHOWN AND NOTIFY THE ARCHITECT OF ANY
DISCREPANCY PRIOR TO MODIFICATION.

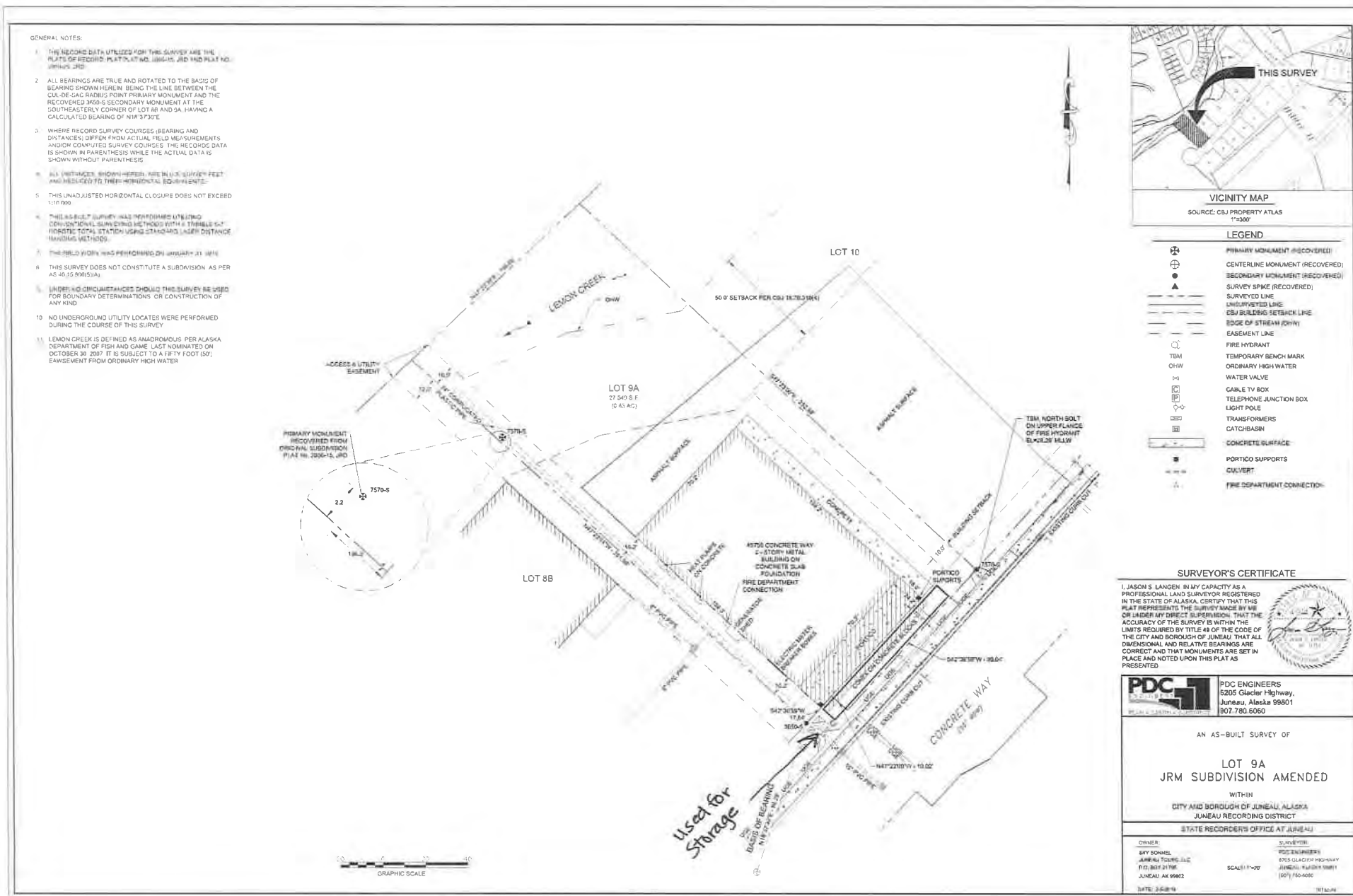


Bonnell Development
MAINTENANCE SHOP
5750 Concrete Way
Juneau, Alaska

TYPE:
△
△
△
SHEET 11 OF 11
EXTERIOR
ELEVATIONS

PLVT February 28, 2018

A302



Certificate of Occupancy

City & Borough of Juneau, Alaska

This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:

Foundation and grading Modified 2/7/18 to include steel building. Modified to change apartment to offices and break room.

Building Address: 5750 CONCRETE WAY

Occupancy Group: S-1 / B* / R-2

Owner of Building: CENTRAL COUNCIL OF TLINGIT & HAIDA
INDIAN TRIBES OF ALASKA
9097 GLACIER HWY
JUNEAU AK 99801

Building Permit No. BLD20170578

Construction Type: Type V-B

Code Edition: 2012 IBC

Occupant Load: N/A

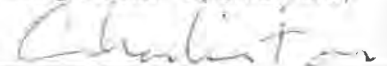
Sprinklers: Required Yes

Provided Yes

Legal Description of Building Lot:

JRM LT 9A

Building Official: Charlie Ford, BQ



Signature

Parcel No: 5-B12-0-106-017-1

Date of Issuance: May 17, 2021

Post this Certificate in a conspicuous place for the duration of the stated occupancy.

From: [Hixson, Ryan M LCDR USCG D17 \(USA\)](#)
To: [Jennifer Shields](#)
Subject: RE: WCF22-01 - CCT&H Wireless Communications Tower
Date: Monday, January 23, 2023 2:06:19 PM

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Jen,

Our Spectrum Manager took a look, and there shouldn't be any issues with this moving forward as there seems to be enough separation of the signals, and they won't be using the same frequencies that we use. If any issues arise in the future, we would be able to work with them to deconflict.

Let me know if you need anything else!

V/r
 LCDR Ryan Hixson
 D17 C5I & Security Div
 907-463-2222

From: Jennifer Shields <Jennifer.Shields@juneau.gov>
Sent: Thursday, January 19, 2023 4:57 PM
To: Hixson, Ryan M LCDR USCG D17 (USA) <Ryan.M.Hixson@uscg.mil>
Subject: [URL Verdict: Suspect][Non-DoD Source] WCF22-01 - CCT&H Wireless Communications Tower

LCDR Hixson,

Thank you for taking my phone call today regarding a new radio tower being proposed by the Central Council of the Tlingit and Haida. If you are not the appropriate point of contact, could you please forward this request on to the correct person?

Application:

Attached is a CBJ Wireless Communications Facility (WCF) application for a Special Use Permit to construct a new 62-foot tall wireless communications tower on property located at 5750 Concrete Way. This property is in an industrial zoning district.

Central Council of the Tlingit and Haida (CCT&H) has established a Department of Public Safety and Tribal Emergency Operations Center (TEOC) at this location. Specifically, the WCF will be used for Emergency First Responder Communications using VHF/UHF.

This request will be heard by the CBJ Planning Commission on February 28, 2023.

Agency Comments:

If you would like to submit formal comments on this development proposal, please submit them on the attached form, if possible, no later than Friday, January 27, 2023. If that does not give you enough time just let me know and we'll work something out.



Thank you in advance for your assistance.

Very Respectfully,

Jennifer L. Shields | Planner II

[Community Development Department](#) | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

Office: 907.586.0753 ext. 4139

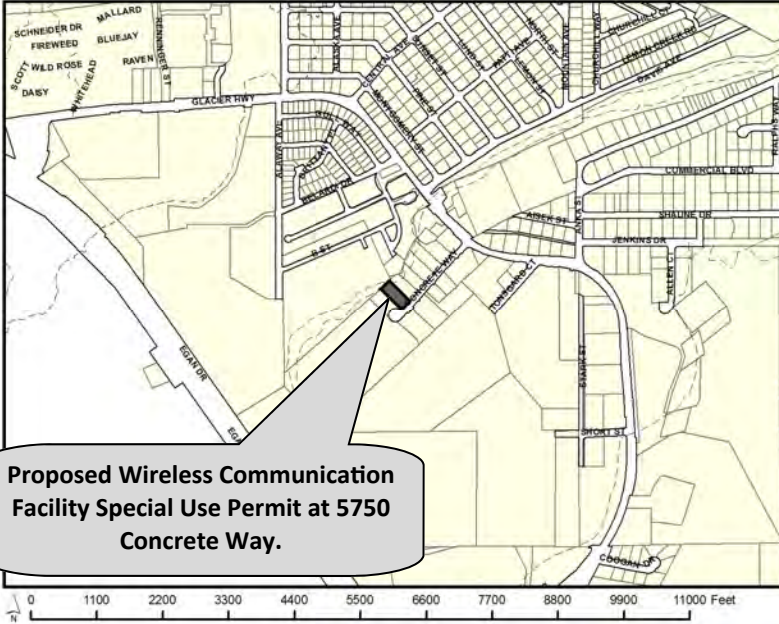
Note: My email changed to jennifer.shields@juneau.gov beginning on December 5, 2022.



Fostering excellence in development for this generation and the next.

Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission
Your Community, Your Voice



155 S. Seward Street Juneau, Alaska 99801

TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a **Wireless Communication Facility Special Use Permit at 5750 Concrete Way** in an **Industrial** zone.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **February 21, 2023** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through Feb. 6

Comments received during this period will be sent to the Planner, **Jennifer Shields**, to be included as an attachment in the staff report.

Feb. 7— noon, Feb. 24

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, Feb. 28 2023

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/85332637622> and use the Webinar ID: 853 3263 7622 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

Mar. 1

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4139 ♦

Email: pc_comments@juneau.gov

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Case No.: WCF2022 0001

Parcel No.: 5B1201060171

CBJ Parcel Viewer: <http://epv.juneau.org>

251



Facing towards creek

Facing towards Concrete Way



Facing towards highway





Planning Commission

(907) 586-0715

PC_Comments@juneau.org

www.juneau.org/community-development/planning-commission

155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF DECISION

Date: March 2, 2023

File No.: ARF2023 0001

Garrett Johnson
445 N 2000 W, Suite 7
Springville, UT 84663

Proposal: Final plan modification for the Phase 1, to develop 96 dwelling units on approximately three acres at 7400 Glacier Highway in a D18 Zone

Property Address: 7400 Glacier Highway, Juneau, Alaska 99801

Legal Description: USS 1568 Tract B1

Parcel Code No.: 5B1401010010

Hearing Date: February 28, 2023

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated February 16, 2023, and APPROVED WITH CONDITIONS the Alternative Residential Subdivision Final Plan, with modification for Phase 1, to develop 96 dwelling units on approximately three acres at 7400 Glacier Highway in a D18 Zone, to be conducted as described in the project description and project drawings submitted with the application.

The approval remains subject to the conditions of ARF2022 0001:

1. Establish unique names for the roadways in the subdivision.
2. Install signage where Vista del Sol Drive and the proposed subdivision road meet, with directional arrows depicting the split.
3. The developer will submit documentation of approval of the mail box location by the United States Post Office.

Attachments: February 16, 2023 memorandum from Irene Gallion, Community Development, to the CBJ Planning Commission regarding ARF2023 0001.


Garrett Johnson
File No.: ARF2023 0001
March 2, 2023
Page 2 of 2

This Notice of Decision does not authorize construction activity. Prior to starting any project, it is the applicant’s responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, February 28, 2023.

Expiration Date: The permit will expire 18 months after the effective date, or August 28, 2025 if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.



Michael LeVine, Chair
Planning Commission

March 4, 2023

Date



Filed With City Clerk

March 6, 2023

Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



(907) 586-0715
 CDD_Admin@juneau.org
 www.juneau.org/community-development
 155 S. Seward Street • Juneau, AK 99801

February 16, 2023

MEMO

To: Michael Levine, Chair, Planning Commission

From: Irene Gallion, Senior Planner

Through: Jill Maclean, AICP, Director

Parcel No.: 5B1401010010

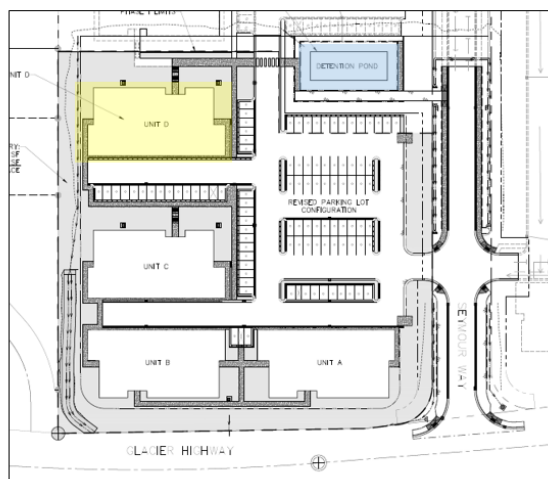
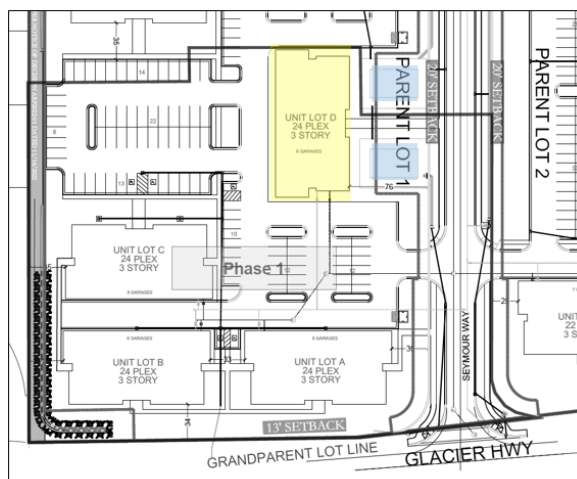
Legal Description: USS 1568 TR B1

Case Number: ARF2023 0001

RE: Final plan modification for the Phase 1, to develop 96 dwelling units on approximately three acres at 7400 Glacier Highway in a D18 Zone

Proposal:

In the attached application (Attachment A, B and C), the Applicant explains that geotechnical investigation has resulted in reorientation of Unit Lot B and modification of drainage retention. To summarize, the image below left shows the original orientation, and below right shows the revised orientation:



The original orientation is shown in Attachment D. The proposed orientation is shown in Attachment C.

Planning Commission Authority

Because the Planning Commission approved the original plan, the Commission must approve modifications unless otherwise conditioned to provide the Director the authority.

A reminder that there are two elements to an Alternative Residential Subdivision – the plan and the plat. If the Commission approves amending the plan to relocate Unit Lot D, the final plat (number not yet assigned) will reflect the change.

Background

The preliminary plan (ARP2022 0001) was approved at the November 8, 2022 meeting.

The final plan (ARF2022 0001) and the preliminary plat (SMP2022 0001) were approved at the December 12, 2022 meeting.

Agendas, support materials and meeting minutes from those meetings can be found at:

<https://juneau-ak.municodemeetings.com/>

Findings:

This modification does not change the findings from ARF2022 0001:

1. *Has the applicant complied with any conditions required in the notice of decision approving the preliminary plan?*

Analysis: Yes. The Applicant is proposing unique names for the subdivision roads, in accordance with revised guidance.

Finding: **Yes.** All conditions of preliminary plan approval have been met, modified or are operational/on-going.

2. *Has the applicant submitted homeowners' association (HOA), or similar, documents to be recorded with the final plat?*

Analysis: No additional analysis needed.

Finding: **Yes.** The applicant has submitted HOA documents to be recorded with the Alternative Residential Subdivision final plat.

3. *Does the final plan substantially conform to the approved preliminary plan and requirements of CBJ Title 49.15 Article 900?*

Analysis: The Final Plan for Phase 1 substantially conforms to the preliminary plan. In addition, snow storage, trash and open space details have been updated for the preliminary plan.

Finding: **Yes.** The final plan substantially conforms to the approved preliminary plan.

Recommendation:

Staff recommends the Planning Commission adopt the director's analysis and findings and **APPROVE WITH CONDITIONS** the final plan modification for the Phase 1, to develop 96 dwelling units on approximately three acres at 7400 Glacier Highway in a D18 Zone.

The approval remains subject to the conditions of ARF2022 0001:

1. Establish unique names for the roadways in the subdivision.
2. Install signage where Vista del Sol Drive and the proposed subdivision road meet, with directional arrows depicting the split.
3. The developer will submit documentation of approval of the mail box location by the United States Post Office.

Proposed motion (only needed if pulled from Consent):

If the Commissioner would like to discuss proposed changes: I move AME2021 0001 for discussion.

If the Commissioner would like to approve per the Director's recommendation: I move the Commission adopt the Director's analysis and findings, and approve AME2023 0001, Final Plan Modification for Phase 1, developing 96 dwelling units on approximately three acres at 7400 Glacier Highway in a D18 zone. Conditions approved under ARF2022 0001 remain in place. I ask for unanimous consent.

If the Commissioner would like to modify the Director's recommendation: I move approval of AME2021 0001, Final Plan Modification for Phase 1, and adopt the Director's analysis and findings with the following modifications: ...(List changes to scope, findings and conditions).

ATTACHMENTS

Item	Description
Attachment A	Application
Attachment B	Project Narrative
Attachment C	Revised project plan
Attachment D	Site plan from ARF2022 0001
Attachment E	Abutters Notice
Attachment F	Public Notice Sign
	Agency comments - none
	Public Comments - none



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 7400 Glacier Highway, Juneau, AK 99801		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) USS 1568 Tract B1, Juneau Recording District, First Judicial		
	Parcel Number(s) 5B1401010010		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner	Contact Person	
	Rooftop Properties, LLC	Garrett Johnson	
	Mailing Address	445 N 2000 W, Suite 7, Springville, UT 84663	Phone Number(s) (801) 262-9315 (801) 712-2631
	E-mail Address	garrett@pci1980.com	
LANDOWNER/ LESSEE CONSENT			
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> Garrett Johnson Landowner/Lessee (Printed Name) </div> <div style="width: 45%;"> Manager Title (e.g.: Landowner, Lessee) </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> X Landowner/Lessee (Signature) </div> <div style="width: 45%;"> 02/03/2023 Date </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> X _____ Landowner/Lessee (Printed Name) </div> <div style="width: 45%;"> _____ Title (e.g.: Landowner, Lessee) </div> </div>			
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> X _____ Landowner/Lessee (Signature) </div> <div style="width: 45%;"> _____ Date </div> </div>			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
APPLICANT If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)		Contact Person	
Same			
Mailing Address	Phone Number(s)		
E-mail Address			
X Applicant's Signature		02/03/2023 Date of Application	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Intake Initials
Date Received	260

Attachment A- Application

ALTERNATIVE RESIDENTIAL SUBDIVISION A

Section H, Item 4.

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Ridgeview Subdivision Phase 1 - Four unit lots with ninety-six apartments/condos.

TYPE OF ALTERNATIVE RESIDENTIAL SUBDIVISION APPROVAL REQUESTED (please see submittal requirements on reverse)

☐ Alternative Residential Subdivision (ARP)
Preliminary Plan Approval

☐ Alternative Residential Subdivision (ARF)
Final Plan Approval (or Extension)

☐ Amendment to Approved (ARP)
Preliminary Plan*

☒ Amendment to Approved (ARF)
Final Plan*

* Minor amendments will be reviewed by the Director; Major amendments will be reviewed by the Planning Commission.

LEGAL DESCRIPTION(S) OF PROPERTY INVOLVED

Number of Existing Parcels 1

Total Land Area 3.06 ac

Number of Resulting Parcels 1

PROPOSED USE OF LAND AND BUILDING(S)

Zoning District(s) D18

Percent Open Space 31.8%

Right-of-Way Frontage Proposed _____

Percent Buffer _____

Number of Dwelling Units Proposed 96

Density Proposed _____

Parking Proposed 115

Density Bonus ☒ YES ☐ NO

ALL REQUIRED MATERIALS ATTACHED

☐ Complete application per CBJ 49.15.940 (preliminary) or CBJ 49.15.950 (final)

☐ Pre-Application Conference notes

☐ Narrative including:

☐ Current use of land or building(s)

☐ Unique characteristics of land or building(s)

☐ How the proposed project conforms to the Comprehensive Plan and CBJ Title 49

☐ How the proposed project effects public health, safety, and welfare

☐ How the proposed project is in harmony with the surrounding neighborhood

☐ Preliminary development plan (detailed on page 2)

☐ Density Bonus

☐ Open Space

☐ Stream Setback

☐ Lower Income Households / Workforce Households

☐ Unusual Enhancements

☐ Public Right-of-Way Access

☐ Shared Use Pathways

☐ 5-Star Plus Energy Efficiency

☐ 6-Star Energy Efficiency

☐ High-efficiency Primary Heating Methods

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

Date Received

261

Alternative Residential Subdivision Application Instructions

Section H, Item 4.

Alternative Residential Subdivision outlined in CBJ 49.15.900

Each application for an Alternative Residential Subdivision is reviewed by the Planning Commission at a public hearing. The permit procedure is intended to provide the Commission the flexibility necessary to make decisions tailored to individual applications. The Commission may stipulate conditions to mitigate external adverse impacts from the proposed use. If it is determined that these impacts cannot be satisfactorily overcome, the permit shall be denied.

Pre-Application Conference: A pre-application conference is required prior to submitting an application. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via email at Permits@juneau.org.

Application: An application for an Alternative Residential Subdivision will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Alternative Residential Subdivision Application and a Development Permit Application forms.
2. **Fees:** The fee is dependent upon the number of residential structures involved. Any development, work or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** outlined in CBJ 49.15.940(b)(2). (Surveyed Plans Required)
 - a. The amount of land for housing, open space, buffer, access, parking, and pedestrian circulation
 - b. The number and types of housing units and proposed density
 - c. The natural features to be protected and hazards to be avoided
 - d. The public, if any, and private services to be provided

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies;
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Preliminary Plan Approval

Application Review & Hearing Procedure:

Review: The Community Development Department shall determine when the Alternative Residential Subdivision Application is complete and advise the developer. Within 60 days of determining that an application is complete, the Director shall schedule the preliminary plan for a public hearing.

Hearing: All Alternative Residential Subdivision applications must be reviewed by the Planning Commission. The Commission shall review the preliminary plan and approve, approve with conditions, or deny pursuant to 49.15.940.

Public Notice Responsibilities: As part of the Preliminary Plan Approval, proper public notice must be given as outlined in CBJ 49.15.230 which consists of the following:

The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, the department will mail abutters notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please speak with the Community Development Department for more information.

Final Plan Approval

After completion of all conditions and Commission approval of the preliminary plan in accordance with the Conditional Use permit procedures, the final plan shall be submitted for review and approval according to the following:

1. An application, fee, and a final plan must be submitted for Commission review.
2. Formation of a homeowners' association, or similar entity, is required, outlined in CBJ 49.15.950(b)(1)-(4).
3. The Commission may approve the final plan if it substantially conforms to the approved preliminary plan and all requirements of this article.

Phased Development: An applicant may develop an Alternative Residential Subdivision in phases, provided:

1. The initial application includes a preliminary development plan sufficient to assess the cumulative effects of the entire Alternative Residential Subdivision on the neighborhood and the environment according to the standards in subsection 49.15.940.
2. Each phase shall be so designed and implemented that, when considered with reference to any previously constructed phases but without reference to any subsequent phases, it meets the design standards applicable to the entire Alternative Residential Subdivision. Construction and completion of open space and common facilities serving each phase in an Alternative Residential Subdivision shall proceed at a rate no slower than that of other structures in the phase. No phase shall be eligible for final plan approval until all components of all preceding phases are substantially complete and homeowners' association documents have been approved.
3. Each phase of an Alternative Residential Subdivision shall be reviewed according to the provisions of this chapter then current. Each phase of an Alternative Residential Subdivision shall maintain design continuity with earlier phases. At no point during a phased development shall the cumulative density exceed that established in the approved preliminary plan.

Amendments

The developer of an Alternative Residential Subdivision may request an amendment to an approved preliminary or final Alternative Residential Subdivision plan. The request shall state the reasons for the amendment and shall be submitted in writing to the director, who shall inform the developer within 15 days whether the request shall be processed as a minor amendment or major amendment.

1. A minor amendment is a change consistent with the conditions of the original plan approval and would result in:
 - a. Insignificant change in the outward appearance of the development;
 - b. Insignificant impacts on surrounding properties;
 - c. Insignificant modification in the location or siting of buildings or open space;
 - d. No reduction in the number of parking spaces below that required;
 - e. A delay of no more than one year in the construction or completion schedule for the project or, in the case of a phased project, the phase for which the amendment is requested.
2. All other amendments shall be reviewed by the Commission upon payment of a filing fee and in accordance with the requirements of the original plan approval.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Ridgeview Subdivision 7400 Glacier Highway

Legal description of property to be subdivided:

USS 1568, Tract B1, Juneau Recording District, First Judicial District

Existing structures on the land:

There are no existing structures.

Zoning district:

D18 Multi Family

Density:

18-units/acre with density bonuses awarded in ARS Preliminary Plan.

Access:

Glacier Highway

Current and proposed use of any structures:

There are no current structures on the property. The proposed use of the structures to be built on the subdivision is multi-family housing with condominiums/apartments and townhomes.

Utilities available:

Yes, utilities are available along Glacier Highway.

Unique characteristics of the land or structure(s):

There are steep grades on portions of the property.

The Planning Commission approved Rooftop Properties, LLC Final Plan application on December 15, 2022, File No. ARF2022 0001.

Reason for this amendment:

This amendment to ARF2022 0001, Final Alternative Residential Subdivision Plan for Phase 1, is necessary due to issues between the Civil Design and the existing grades and soil conditions. As the Civil Design progressed and a Geotechnical Study performed following the December 15, 2022 ARF approval, the engineers determined that the orientation of Unit Lot D was not constructable and needed to be rotated counterclockwise ninety (90) degrees and moved to the West to align with Unit Lots B and C.

The open space, minimum parking and other requirements established in ARF2022 0001 have been maintained with this change; and there are no changes to the conditions of approval. The following tables summarize the Parking and Open Space Analyses.

Table 1 – Phase 1 Parking Analysis

	Units	One Bedroom	Two Bedroom	Total Parking Required	Garage Parking	Surface Parking Needed	Surface Parking Provided	Total Parking Provided	ADA Required	ADA Provided
Unit Lot A	24	16	8	28	8	20				
Unit Lot B	24	16	8	28	8	20				
Unit Lot C	24	16	8	28	8	20				
Unit Lot D	24	16	8	28	8	20				
Total	96	64	32	112	32	80	83	115	5	6

Table 2 – Phase 1 Open Space

	Total Area	Open Space Area	% Open
Phase 1	133,492 SF	42,492 SF	31.8%

These changes maintain the required buffer with the Vista Del Sol neighbors; and, as a benefit to the project due to this change is consolidating the detention pond and increasing the separation from Unit Lot D.

The changes are illustrated in the following graphic. See also the attached Sheet PH1, prepared by the civil engineer, Homeshore Engineering.

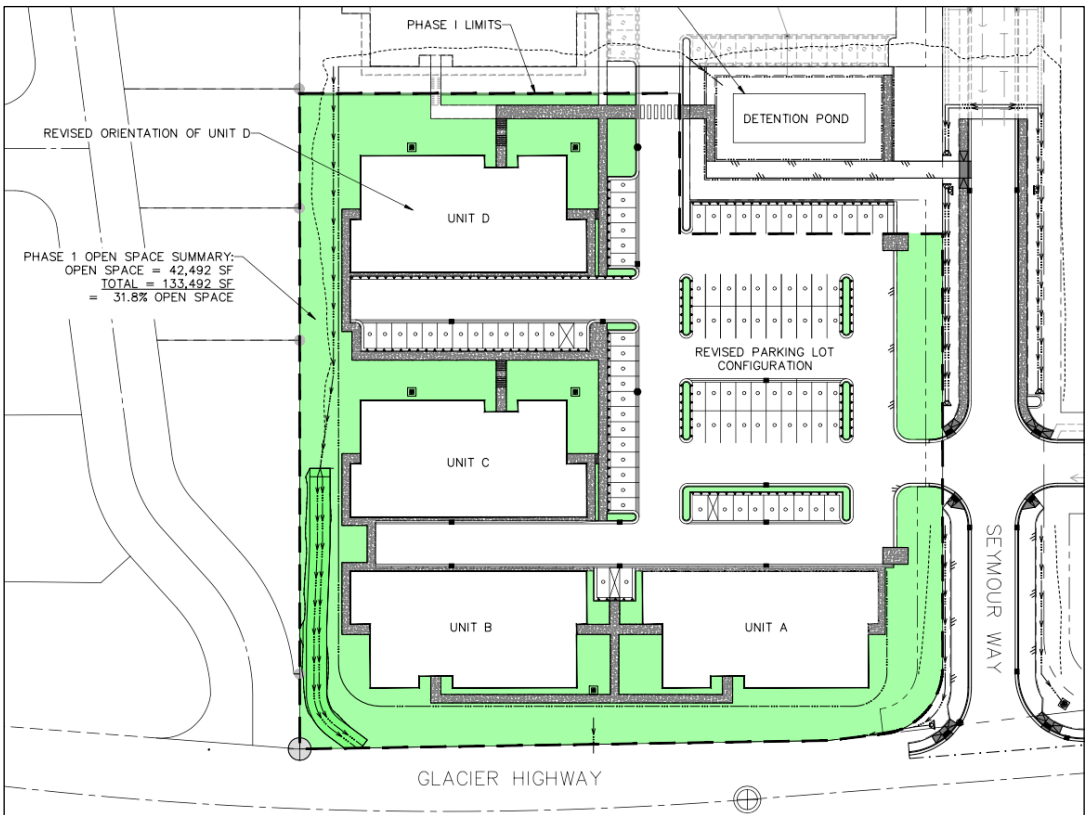
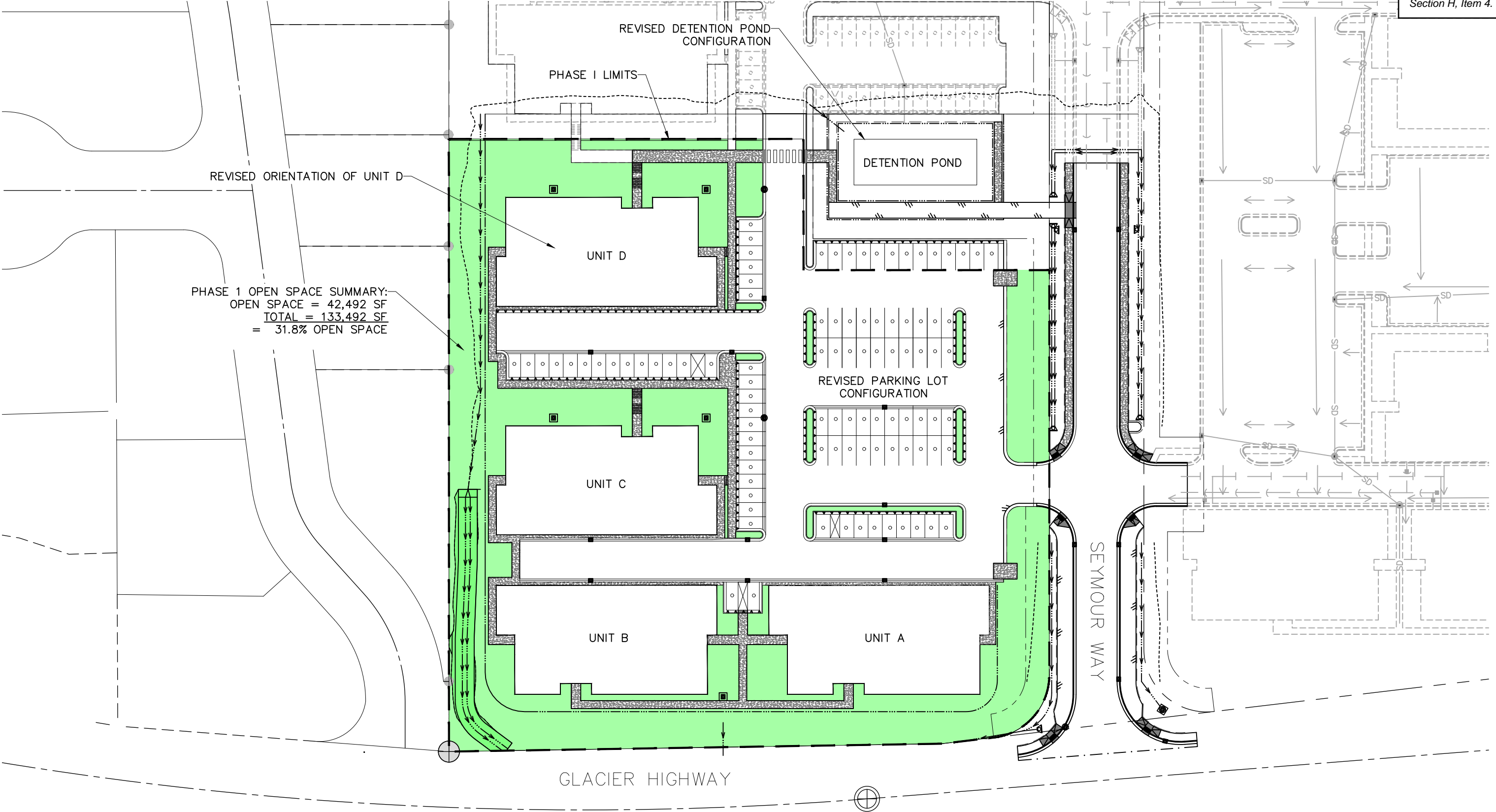


Figure 1 - Phase 1 Final Plan

C:\Users\Toby\Homeshore LLC\Homeshore - Shared\Projects\23-002 Ridgeview Subdivision - PH I Construction Docs\60 CAD\MC_RD_QV_23-002.dwg SAVED DATE: 2023-2-3 USER: TOBY



REVISIONS			
No.	DATE	DESCRIPTION	BY



6035 Sunset Street
Juneau, Alaska 99801
907-463-5395

Toby Lockhart
toby@homeshorellc.com
Candy Sims
candy@homeshorellc.com



RIDGEVIEW SUBDIVISION - PHASE I

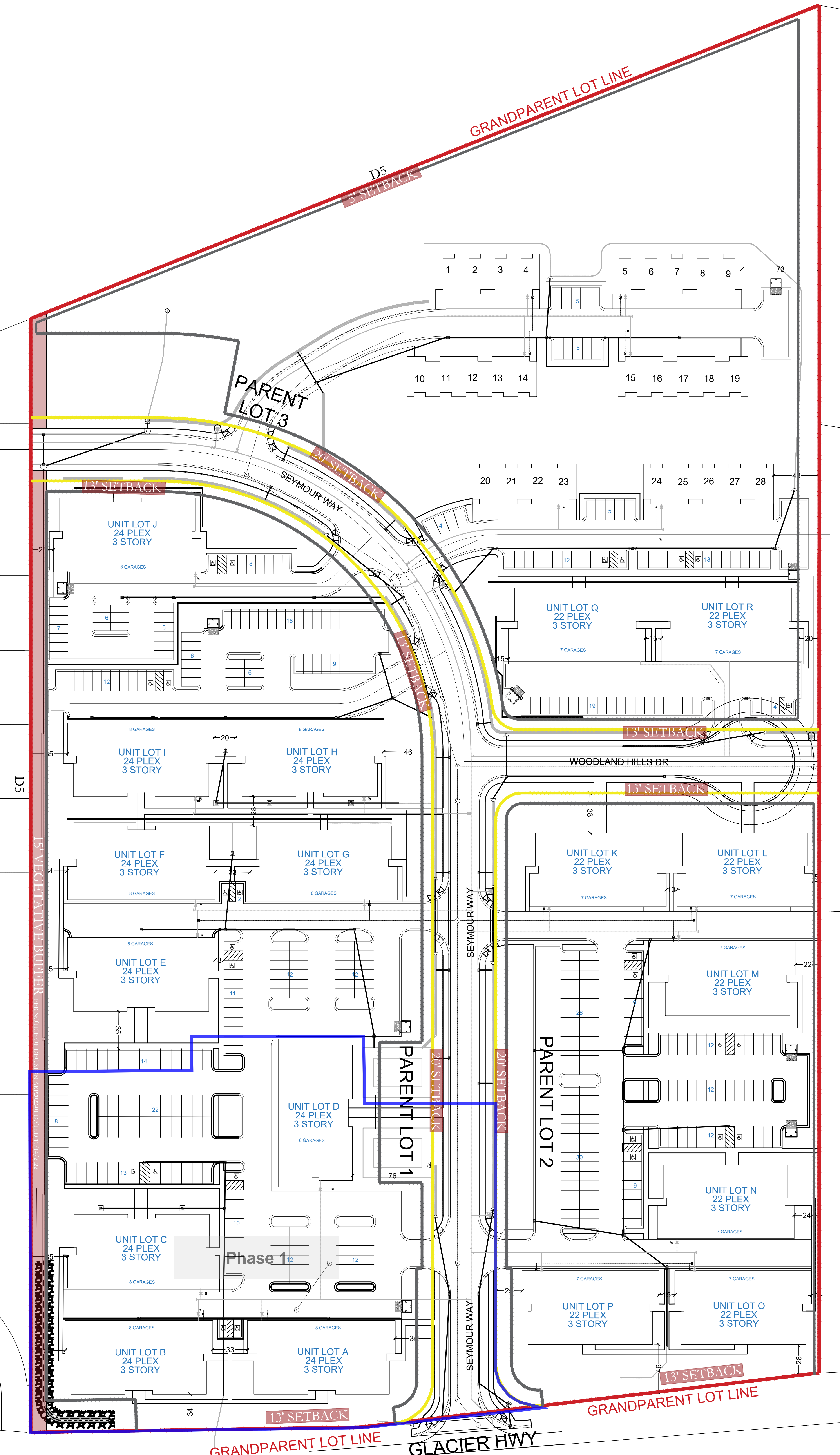
ARF2022 0001 AMENDMENT
SUMMARY OF PROPOSED CHANGES

PROJECT 23-002
DATE 02/02/2023

SHEET
PH 266

Attachment C- Revised project plan

DEVELOPER / PROPERTY OWNER / CLIENT		LANDSCAPE ARCHITECT / PLANNER		LICENSE STAMP		DRAWING INFO	
PCI ATT: BRANDON GRAY 801-358-5381 BRANDON@PC11980.COM						PRJ: JTA	
 DESIGN GROUP <i>Landscape Architecture / Planning & Visualization</i> 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pjdesigngroup.com						DRAWN: ACP	
						CHECKED: JMA	
						PLOT DATE: 12/6/2022	
LANDSCAPE PLAN COLOR				PRELIMINARY PLANS NOT FOR CONSTRUCTION			
LP-COLOR				LP-COLOR			

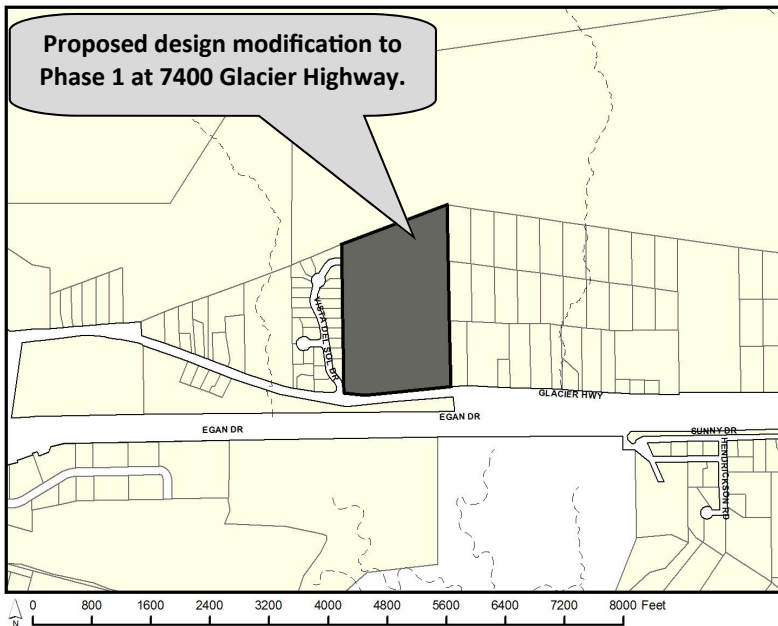


Invitation to Comment

Section H, Item 4.

On a proposal to be heard by the CBJ Planning Commission

Your Community, Your Voice



155 S. Seward Street Juneau, Alaska 99801

TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a design modification to Phase 1, **including structure reorientation and drainage modifications at 7400 Glacier Highway** in a **D18 Zone**.

PROJECT INFORMATION:

Project Information can be found at:

<https://juneau.org/community-development/short-term-projects>

PLANNING COMMISSION DOCUMENTS:

Staff Report expected to be posted **February 21, 2023** at

<https://juneau.org/community-development/planning-commission>

Find hearing results, meeting minutes, and more here, as well.

Now through Feb. 10

Comments received during this period will be sent to the Planner, **Irene Gallion**, to be included as an attachment in the staff report.

Feb. 10— noon, Feb. 24

Comments received during this period will be sent to Commissioners to read in preparation for the hearing.

HEARING DATE & TIME: 7:00 pm, Feb. 28 2023

This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <https://juneau.zoom.us/j/85332637622> and use the Webinar ID: 853 3263 7622 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).

You may also participate in person in City Hall Assembly Chambers, 155 S. Seward Street, Juneau, Alaska.

March 1

The results of the hearing will be posted online.

FOR DETAILS OR QUESTIONS,

Phone: (907)586-0753 ext. 4130 ♦

Email: pc_comments@juneau.gov

Mail: Community Development, 155 S. Seward Street, Juneau AK 99801

Case No.: ARF20230001

Parcel No.: 5B1401010010

CBJ Parcel Viewer: <http://epv.juneau.org>

268

Irene Gallion

From: Garrett Johnson <garrett@pci1980.com>
Sent: Thursday, February 9, 2023 3:18 PM
To: Irene Gallion
Subject: Ridgeview Public Notice Sign
Attachments: Screenshot 2023-02-09 at 10.13.03 AM.jpg

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

Irene,

Here's the photo with the sign installed. Do you need anything else from us? Thanks,

Garrett Johnson
(801) 712-2631



Additional Materials

Regular Planning Commission Meeting

Assembly Chambers

7:00 p.m.

Meeting Date: February 28, 2023

A. WCF2022 0001:

1. Staff Memo- Jennifer Shields, received 2/24/2023
2. Letter from Jinshan Wang, P.E., received 2/21/2023



{907} 586-0715
CDD_Admin@juneau.org
www.juneau.org/CDD
155 S. Seward Street • Juneau, AK 99801

February 24, 2023

MEMO

From: Jennifer Shields, Planner II

To: Michael Levine, Chair, Planning Commission

Through: Jill Maclean, AICP, Director of Community Development

Parcel No.: 5B1201060171

Legal Description: JRM LT 9A

Case Number: WCF2022 0001

RE: CCTHITA Wireless Tower – Security

On February 21, 2023, the applicant submitted the attached letter from Jinshan Wang, P.E., regarding new safety designs planned for the tower. Specifically, the ladder and associated safety climbing cable system will not be installed. Alternatively, the applicant has chosen to install three non-perforated anti-climbing panels on all three tower faces from an elevation of 5 feet to 13 feet. Servicing the tower will be carried out by using a man-lift.



February 21, 2023

Reference: 62 Foot Tall Self Supporting Tower for Juneau, Alaska
Removal of Ladder, Associated Safety Climbing Cable
System and Anti Climb Kit
Trylon Job Number 170483

To Whom it May Concern,

As requested in the Corey Padron email dated Feb 13, 2023 5:21 PM to our Brad Prentice (Subject: RE: Tlingit & Haida WCF) we have analyzed the referenced tower using the design criteria noted on our sealed installation drawing and the following;

1. Tower climbing ladder defined on page 9 of Bill of Materials not installed.
2. Safety Climbing Cable System defined on page 17 of Bill of Materials not installed.
3. Anti Climb Materials defined on page 14 of Bill of Materials and Drawing 170483.319.3601 not installed.
4. Non perforated Anti Climb panels supplied by others the full width of the tower mast will be installed on all three tower faces from elevation 5 to 13 feet.

This tower remains in conformance to the design criteria published on our sealed tower profile drawing (Drawing 170483.319.0301). We understand that servicing this tower will be carried out using a man-lift and that a "Tower Not to be Climbed; Access by Approved Man Lift" sign will be posted on the panels defined in the above item four.

If you have any questions, please contact the undersigned.

Sincerely,

Jinshan Wang, P.E.

